

APPENDIX C

Cultural Report

1101-1115 MISSION STREET
SOUTH PASADENA, CALIFORNIA

Historic Resources Assessment and Impacts Analysis

Prepared for

Charlie Chen

CFT NV Developments LLC

Cherna Family Trust Office

July 2019



Draft

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1115 MISSION STREET

Historic Resources Assessment

Introduction

Executive Summary

Environmental Science Associates (ESA) was retained by Charlie Shen on behalf of CFT NV Developments LLC/Mission Bell Properties, LLC (Client) to prepare this Historical Resources Assessment Report (Report). The purpose of this Report is to identify and evaluate potential historical resources located within the Project Site for the proposed Mission Bell Project located at 1105-1115 Mission Street. Both 1101 and 1107 Mission Street were constructed in 1978 and are under 50 years in age, therefore, only 1115 Mission Street constructed in 1925, was evaluated for this report. The Subject Property, 1115 Mission Street, is located in South Pasadena (City), California, on assessor parcel number (APN) 5315-008-043 (-Subject Property). This Report, completed by ESA, was prepared to assess the existing commercial/industrial building, for eligibility as a historic resource for listing in the National Register of Historic Places (National Register or NR), California Register of Historical Resources (California Register or CR), and for local designation as a City of South Pasadena Landmark. The Report includes a discussion of the survey methods used, a brief overview of the history of the property and surrounding area, and the identification and evaluation of the Subject Property.

The Subject Property is situated in within the Raabs Subdivision and is improved with a two-story tall commercial building that was formally an industrial building. It was constructed in 1925 in the vernacular commercial style. And the contractor was D. Saylor. ESA's architectural historian Margarita Jerabek, Ph.D. conducted a site survey of the Subject Property on January 5, 2016, October 22, 2016, and completed an evaluation report on July 13, 2017. This survey documented the existing conditions of the property and surrounding vicinity. During the survey the Subject Property was documented with digital photography and recorded in California Department of Parks and Recreation (DPR) forms. ESA also conducted research on the Subject Property's construction and occupancy history within the development of the Raab's Suidivision.

This assessment report incorporates the results of the 2016 survey and evaluates Subject Property under the following contexts: 1920s Commercial and Industrial Development (1920-1929) and Early 20th Century Commercial Vernacular (1900-1950). ESA reaffirms our 2017 findings and concurs with the previous 2003 survey findings as "6L" ineligible for local listing or designation, may warrant special consideration in local planning." ESA's previous evaluation completed on July 13, 2017 stated that the building should have a status code of 6L, and GPA Consulting concurred in their peer review written in January 22, 2019 (a copy of the GPA letter is provided

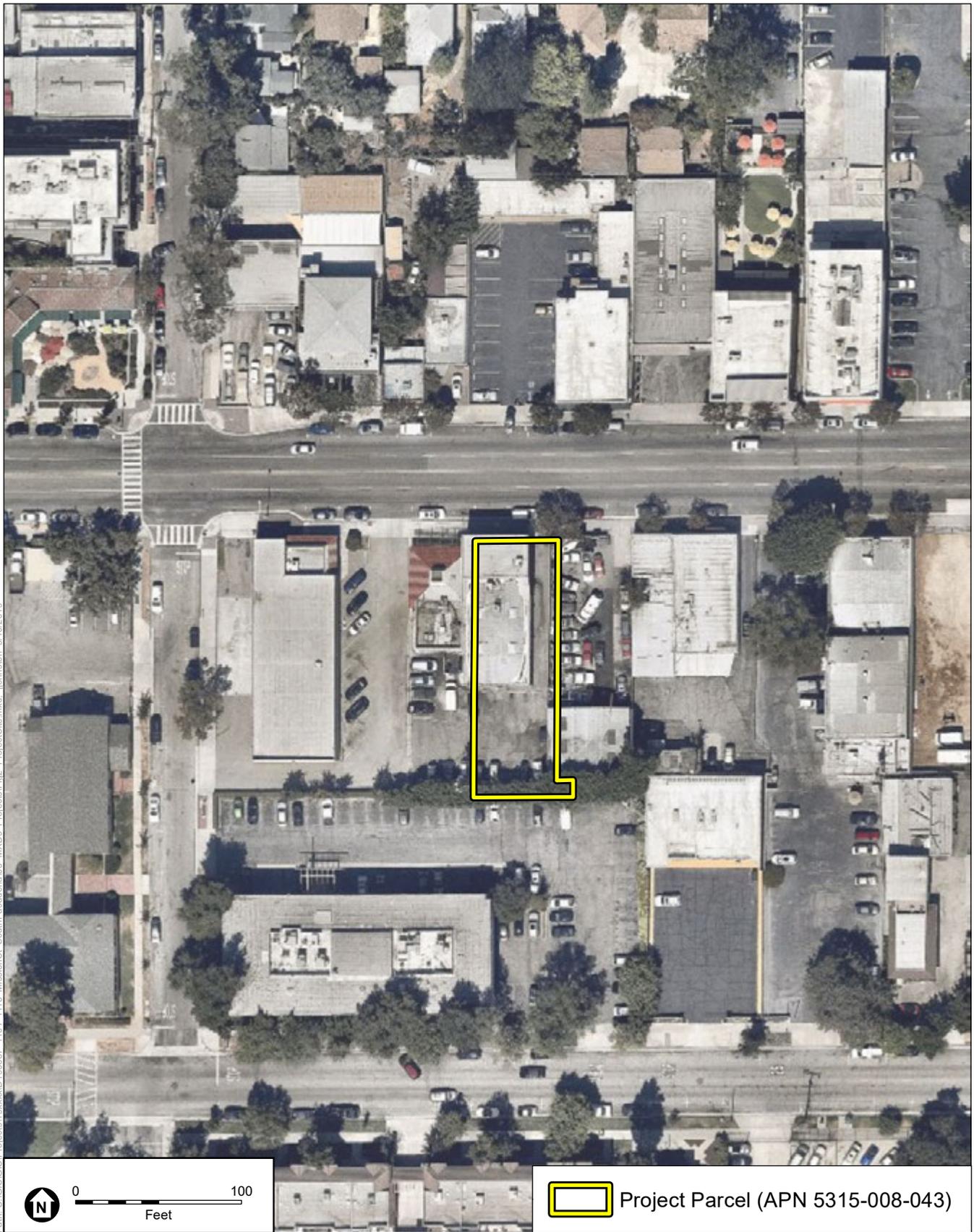
in **Appendix H**). Although the building's storefront is substantially altered and the brick on the side elevations is in poor condition, the buildings footprint, massing, enameled brick masonry primary (front) elevation, parapet, segmental arched openings on the east elevation, and wood-truss warehouse roof are characteristic components of the style. The integrity of the building has not changed since it was surveyed in 2003.

ESA also conducted an impacts analysis of the proposed project that would take place at the Subject Property. The Project site currently consists of three buildings, 1101, 1107, and 1115 Mission Street. Both 1101 and 1107 Mission Street were constructed in 1978 and since they are under 50 years in age, they do not qualify as historical resources. The Project proposes demolition of two of the buildings located at 1101-1107 Mission Street and construction of a new three story commercial and residential building on the site. The Project also proposes to retain and rehabilitate the two-story portion of 1115 Mission Street commercial and residential use, remove two-thirds of the existing one-story warehouse to the rear of 1115 Mission Street and construct a new two-story multi-family residential building on the parcel.

ESA found the proposed Project would have a less than significant impact on historical resources pursuant to CEQA 15064.5 (b). The Mission Bell Project would retain and rehabilitate the two-story brick commercial building at 1115 Mission Street that although ineligible as a historical resource, retains enough residual character as a 1920s vernacular commercial building to warrant consideration in local planning. ESA reviewed the plans for the proposed Project and found that the current remaining historic character of 1115 Mission Street would be retained and the proposed Project would conform with the Secretary of the Interior's Standards for Rehabilitation. Furthermore, ESA concludes that the proposed Project would result in a less than significant impact on historical resources both within the Project Site for the Mission Bell Project and within the surrounding vicinity. While the proposed project would have larger massing than buildings in the surrounding neighborhood, it will still be relatively modest in size and will not adversely impact the character or eligibility of the surrounding historical resources.

Project Location

The Subject Property evaluated in this assessment report is located on an approximately 31,113 square-foot site located at 1115 Mission Road in the City of South Pasadena on APN: 5315-008-043, shown on **Figure 1**, *Regional and Property Vicinity Map*. As mentioned above and shown in **Figure 2**, *Aerial Photograph of Subject Property*. The Subject Property is within the central portion of the City, approximately 0.24 miles south of State Route 110 (SR 110), 1.4 miles south of Interstate 210 (I-210), 1.81 miles south of Interstate 710 (I-710), and 2.17 miles south of California State Route 134 (SR-134). The Subject Property is improved with a two-story commercial building, and is bounded by Mission Street to the north, Fairview Avenue to the east, El Centro Street to the south, and Freemont Avenue to the west. The Subject Property is located in a neighborhood developed largely with industrial/commercial buildings and multi-family residences.



SOURCE: Mapbox 2018; County of Los Angeles 2019

1115 Mission Street, South Pasadena

Figure 2
Aerial Photograph of Subject Property

Research and Field Methodology

This Report was prepared by ESA's architectural historians, including Margarita Jerabek, Ph.D., Director of Historical Resources and Hanna Winzenried, M.Sc. both of whom meet and exceed the *Secretary of the Interior's Professional Qualification Standards* in history and architectural history. Professional qualifications are provided in **Appendix A**. The historical resources evaluation involved a review of the National Register and its annual updates, the California Register, the Statewide Historical Resources Inventory (HRI) database maintained by the State Office of Historic Preservation (OHP) and the City of South Pasadena's historic resources inventory to identify any previously recorded properties within or near the Subject Property. An intensive pedestrian survey was also undertaken to document the existing conditions of the property and vicinity. In addition, the following tasks were performed for the study:

- Conducted field inspections of the Subject Property and utilized the survey methodology of the State OHP.
- Photographed the Subject Property and associated landscape features, and examined other properties in the vicinity that exhibited potential architectural and/or historical associations.
- Conducted site-specific research on the property utilizing building permits, Sanborn Fire Insurance Maps (Sanborn Maps), City directories, historical photographs, Online Archive of California, Calisphere, University of Southern California (USC) Digital Collections, historical *Los Angeles Times*, and other published sources.
- Conducted archival records search through the California Historical Resources Information System at the South Central Coastal Information Center (SCCIC), at California State University, Fullerton.
- Conducted research at the City's Building and Safety and Planning departments as well as the Los Angeles County Office of the Assessor (Assessor).
- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- Evaluated potential historical resources based upon criteria used by the National Register, California Register, and City of Los Angeles Cultural Heritage Ordinance.

Regulatory Framework

Historical resources fall within the jurisdiction of the federal, state, and local designation programs. Federal laws provide the framework for the identification, and in certain instances, protection of historical resources. Additionally, state and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Public Resources Code (PRC), Section 5024.1, are the primary federal and state laws and regulations governing the evaluation and significance of historical resources of national, state, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

Federal Eligibility Criteria and Integrity Aspects

National Register of Historic Places

The National Register was established by the NHPA as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”¹ The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A. Associated with events that have made a significant contribution to the broad patterns of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. Yields, or may be likely to yield, information important in prehistory or history.²

Districts, sites, buildings, structures, and objects that are 50 years in age must meet one or more of the above criteria *and* retain integrity (that is, convey their significance) to be eligible for listing.

Under the National Register, a property can be significant not only for the way it was originally constructed, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and uses over a period of time.³

Within the concept of integrity, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association:

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

¹ 36 CFR Section 60.2.

² “Guidelines for Completing National Register Forms,” in National Register Bulletin 16, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the NRHP.

³ National Register Bulletin 15, p. 19.

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historic role. It involves *how*, not just where, the property is situated and its relationship to surrounding features and open space.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain key exterior materials dating from the period of its historic significance.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character.

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer.⁴

To retain historic integrity, a property will always possess most of the aspects and depending upon its significance, retention of specific aspects of integrity may be paramount for a property to convey its significance.⁵ Determining which of these aspects are most important to a particular

⁴ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, 44-45, <http://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, accessed July 7, 2013.

⁵ The National Register defines a property as an "area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places." A "Historic Property" is defined as "any prehistoric or historic district, site, building, structure, or object at the time it attained historic significance." Glossary of National Register Terms, http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_appendix_IV.htm, accessed June 1, 2013.

property requires knowing why, where and when a property is significant.⁶ For properties that are considered significant under National Register Criteria A and B, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation (National Register Bulletin 15)* explains, “a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).”⁷ In assessing the integrity of properties that are considered significant under National Register Criterion C, *National Register Bulletin 15* states, “a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.”⁸

State Register and Eligibility Criteria

California Register of Historical Resources

The OHP, as an office of the California Department of Parks and Recreation (DPR), implements the policies of the NHPA on a statewide level.

The OHP also carries out the duties as set forth in the PRC and maintains the HRI and the California Register. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state’s jurisdictions.

Also implemented at the state level, CEQA requires projects to identify any substantial adverse impacts which may affect the significance of identified historical resources.

The California Register was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is “an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”⁹ The criteria for eligibility for the California Register are based upon National Register criteria.¹⁰

⁶ National Register Bulletin 15, p. 44.

⁷ “A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.” Ibid, p. 46.

⁸ “A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.” Ibid.

⁹ PRC Section 5024.1(a).

¹⁰ PRC Section 5024.1(b).

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally Determined Eligible for the National Register;¹¹
- California Registered Historical Landmarks from No. 770 onward;
- Those California Points of Historical Interest (PHI) that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.¹²

Other resources which may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local LAHCMs, or designated under any local ordinance, such as an HPOZ.¹³

To be eligible for the California Register, a historical resource must be significant at the local, state, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historical resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing. Integrity is evaluated with regard to the retention of seven aspects of integrity similar to the National Register (location, design, setting, materials, workmanship, feeling, and association). Also like the National Register, it must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance. It is

¹¹ PRC Section 5024.1(d).

¹² PRC Section 5024.1(d).

¹³ PRC Section 5024.1(e)

possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.¹⁴

Local Cultural Heritage Ordinance and Eligibility Criteria City of South Pasadena

The City's Cultural Heritage Ordinance as defined in the South Pasadena Municipal Code, Chapter 2, Article IVH, establishes criteria and processes for designating improvements, sites, or natural features (historic resources) as local landmarks or historic districts. South Pasadena adopted the Cultural Heritage in 1971 that established the Cultural Heritage Commission (CHC) to advise the City Council on all preservation issues (Ord. No. 2187, § 2, 2009.). The CHC is charged with the ongoing responsibility for adopting specific criteria and recommendations for the designation of Landmarks and Historic Districts, subject to approval by the City Council, and is also authorized to develop standards and criteria for determination of appropriateness in reviewing applications for permits to construct, enhance, alter, modify, remodel, remove, demolish or affect any inventoried property, Landmark or Historic District. As well, the CHC can review and advise the City upon the conduct of land use, housing, redevelopment, municipal improvement and other types of planning programs undertaken by any agency of the City, County or State, as they relate to Landmarks and Historic Districts in the community.¹⁵ In 2008, the City initiated a project to review and revise the current ordinance and the CHC has been working since then to revise and refine the ordinance so that it better achieves the City's preservation goals.¹⁶

The designation criteria for Landmarks and Historic Districts and standards for the designation of landmarks and historic districts include any or all of the following, as applicable:

- (A) Its character, interest or value as a part of the heritage of the community;
- (B) Its location as a site of a significant historic event;
- (C) Its identification with a person, persons or groups who significantly contributed to the culture and development of the city, state or United States;
- (D) Its exemplification of a particular architectural style of an era of history of the city;
- (E) Its exemplification of the best remaining architectural type in a neighborhood;

¹⁴ Codified in California Code of Regulations, Title 14, Chapter 11.5, Section 4852(c) which can be accessed on the internet at <http://ohp.parks.ca.gov>

¹⁵ City of South Pasadena General Plan, Chapter V, Historic Preservation Element, page V-8 (<http://www.ci.south-pasadena.ca.us/modules/showdocument.aspx?documentid=216>, accessed, 2/5/14).

¹⁶ Agenda for the City of South Pasadena Cultural Heritage Commission, Special Meeting, Tuesday, February 4, 2014, Item 2, Draft Preservation Ordinance Revisions, Definitions Section (<http://www.ci.south-pasadena.ca.us/modules/showdocument.aspx?documentid=4050>, accessed 2/5/14).

- (F) Its identification as the work of a person or persons whose work has influenced the heritage of the city, the state or the United States;
- (G) Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials or craftsmanship;
- (H) It's being a part of or related to a square, park or other distinctive area which should be developed or preserved according to a plan based on a historic cultural or architectural motif;
- (I) Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;
- (J) Its potential of yielding information of archaeological interest;
- (K) Its integrity as a natural feature or environment that strongly contributes to the well-being of the people of the city;
- (L) Its significance as a distinguishable neighborhood or area whose components may lack individual distinction;

Preservation of South Pasadena's character and scale, including its urban design form and historic character, is given consideration in project review and design criteria are employed by the CHC and the Design Review Board for development projects within the City. Design review by either group takes into account the importance of maintaining scale and visual harmony in blending new construction and adaptive reuse of older structures.¹⁷

The CHC is responsible for the Design Review of proposed projects for properties within a designated historic district, and shall take action first on the Certification of Appropriateness and may provide the Planning Commission with recommendations on the subject zoning approval (South Pasadena Municipal Code 36.410.040 Design Review, D. Review Authority, 2. Cultural Heritage Commission (CHC) review). The CHC has the power and duty to approve or disapprove in whole or in part an application for a certificate of appropriateness regarding the demolition, alteration or removal of a landmark or an improvement or natural feature within a historic district or a structure or building listed on the cultural heritage inventory (Ord. No. 2187, § 2, 2009.)

The City of South Pasadena Residential Design Guidelines (Design Guidelines) supplement those found in the City's Zoning Code and serves as the basis for decisions by the Design Review Board, CHC and City staff. Part II of the Design Guidelines, the Design Guidelines for Alterations & Additions to Historic Residences (Historic Design Guidelines) is based upon the *Secretary of the Interior's Standards for the Treatment of Historic Properties* and assists the CHC in assessing projects for conformance with the City's Cultural Heritage Ordinance and the

¹⁷ Ibid.

California Environmental Quality Act (CEQA).¹⁸ The Historic Design Guidelines are intended to foster the preservation and rehabilitation of the character-defining features. The standard procedure for historic buildings is to identify, retain and preserve the form and detailing of the architectural materials and features that are important in defining the historic character of the structure. Additions or alterations are encouraged to be compatible with these historic features.

No building or structure which is listed on the cultural heritage inventory or within a historic district shall be demolished, removed, relocated or altered without first obtaining a certificate of appropriateness from the CHC in accordance with the provisions of Section 2.64 Demolition and alteration of the Cultural Heritage Ordinance. In considering the appropriateness of any alteration, new construction, reconstruction, relocation, restoration, remodeling or other modification of a landmark or an improvement or natural feature within a historic district, the commission shall consider, among other things:

1. The historical and architectural value and significance of the landmark or historic district;
2. The texture, material and color of the building or structure in question or its appurtenant fixtures, including signs and the relationship of such features to similar features of other buildings within the historic district;
3. The position of the building or structure in relation to the street or public way and to other buildings and structures; and
4. With respect to a historic district, the impact of the proposed alterations on the criteria and standards adopted by the city council for designation of the historic district.
5. In considering the appropriateness of any demolition, the Commission shall consider whether the improvement or natural feature is of such unusual or uncommon design, texture or materials that it could not be reproduced or be reproduced only with great difficulty and expense or whether retention of such would substantially aid in preserving and protecting a landmark or historic district. In the case of a demolition within a historic district, the commission shall make its determination based upon the impact to the criteria and standards adopted by the City Council for designation of the historic district.¹⁹

The City of South Pasadena Citywide Historic Context Statement (2014), describes the eligibility requirements for historic districts that fall within the Early 20th Century Development (1900-1919) and 1920s Residential Development (1920-1929) themes:

- Retain a majority of the contributors dating from the period of significance;
- reflect planning and design principles from the period;
- display most of the character-defining features of a residential subdivision, including the
 - original layout, street plan, and other planning features; and

¹⁸ City of South Pasadena Residential Design Guidelines, Part II: Design Guidelines for Alterations & Additions to Historic Residences, prepared by Architectural Resources Group Architects, Planners & Conservators, Inc, January 2009, pp. 7-50

¹⁹ South Pasadena Municipal Code, Chapter 2, Article IVH., Section 2.64

- retain the essential aspects of integrity.²⁰

The integrity considerations for historic districts under these themes were also described in the *City of South Pasadena Citywide Historic Context Statement* (2014)

A collection of residences from this period that are linked geographically may be eligible as a historic district. In order for a historic district to be eligible for designation, the majority of the components that add to the district's historic character must possess integrity, as must the district as a whole. A contributing property must retain integrity of location, design, setting, feeling, and association to adequately convey the significance of the historic district. Some alterations to individual buildings, such as replacement roof materials, replacement garage doors, and replacement of some windows (within original openings) may be acceptable as long as the district as a whole continues to convey its significance. Major alterations such as replacement of all windows, substantial additions that are visible from the public right-of-way or alter the original roofline, and enclosed porches and balconies would not be acceptable. Original tract features, such as street trees, street lights, and other planning features may also be contributing features to the historic district under this theme. Eligible historic districts may span several periods of development, as long as the district overall reflects a strong sense of time and place.²¹

²⁰ Historic Resources Group, "City of South Pasadena Citywide Historic Context Statement" (May 11, 2014): 74, 99.

²¹ Historic Resources Group, "City of South Pasadena Citywide Historic Context Statement" (May 11, 2014): 73, 98.

Environmental Setting

South Pasadena

By the 1920s, South Pasadena was a thriving residential suburb of Los Angeles. In the tradition of the early suburbs, commercial and industrial development was very minimal in South Pasadena for most of its early history. In the 1920s, that began to change and the residential neighborhood that pervaded South Pasadena began to shift in some places as development of multi-family residences and non-residential architecture began to increase.²² This change was made possible by a couple different factors. In 1920 water bonds passed increasing access to water in South Pasadena.²³ Shortly thereafter in 1923 a new zoning ordinance passed by the City of South Pasadena which allowed for the extension of the business district and loosened other zoning restrictions. The 1920s was also a time of great interest in civic improvements to South Pasadena. Land was purchased by the city for the creation of public parks, including 100 acres of the Arroyo Seco to the west of the city. The purchase of this section of the Arroyo Seco in 1922 allowed the city to make improvements to the area and encouraged development in the largely unoccupied section of South Pasadena between Orange Grove Avenue and the Arroyo Seco. This stretch of land was one of the last areas of the city that was not already developed or subdivided.²⁴

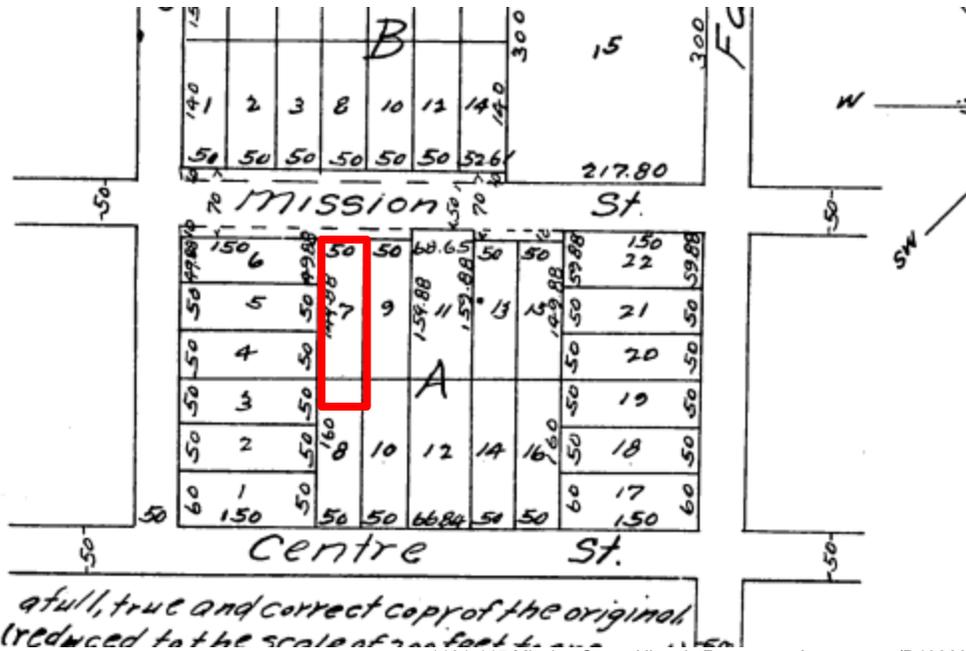
Raab's Subdivision (1887)

The Subject Property is lot 7 and the ten north feet of lot 8 of Raab's Subdivision. Raab's Subdivision is a portion of the Rancho San Pascual and a correction of a former survey by Jones C. Willard. It was surveyed in March 1887 by J. Norton C.E. (a portion of the subdivision is shown below in **Figure 3** and included in whole in **Appendix B**). As shown in Sanborns from 1910, the block where the Subject Property is located was mainly developed with single-family residences with a few empty lots including the Subject Property. The South Pasadena Methodist Church was located southwest of the Subject Property (**Figure 4**). By 1927, the Subject Property was developed but the block was still mainly developed with single-family residences (**Figure 5**). In 1930, there was a gas and oil station an auto sales store, and a dying and cleaning and iron works building east of the Subject Property and a gas and oil station west of the Subject Property. There were also two multi-family residences along with the existing single-family residences on the block (**Figure 6**). In 1951, there was also an electrical shop and a piano repair shop on the same block (**Figure 7**). By 1971, all of the residences on the block were demolished as was the Methodist church and it was then primarily developed as a commercial and industrial block (**Figure 8**).

²² Historic Resources Group, "City of South Pasadena Citywide Historic Context Statement," May 11, 2014.

²³ Jane Apostle, South Pasadena: A Centennial History (South Pasadena: South Pasadena Public Library, 2008), 87.

²⁴ Historic Resources Group, "City of South Pasadena Citywide Historic Context Statement," May 11, 2014.

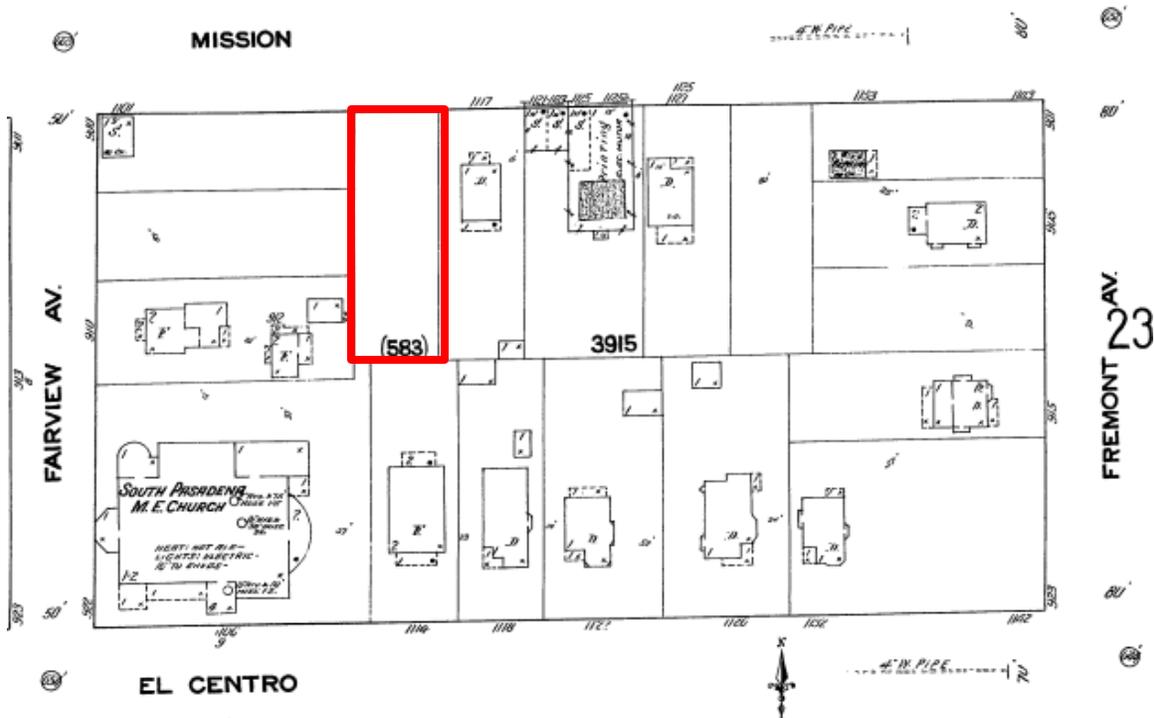


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SOURCE: Los Angeles County Department of Public Works

Figure 3

Excerpt of the Rabb's Subdivision, the Subject Property is outlined in red



1101-115 Mission Street Historic Resources Assessment/D190687.00

SOURCE: Los Angeles Public Library

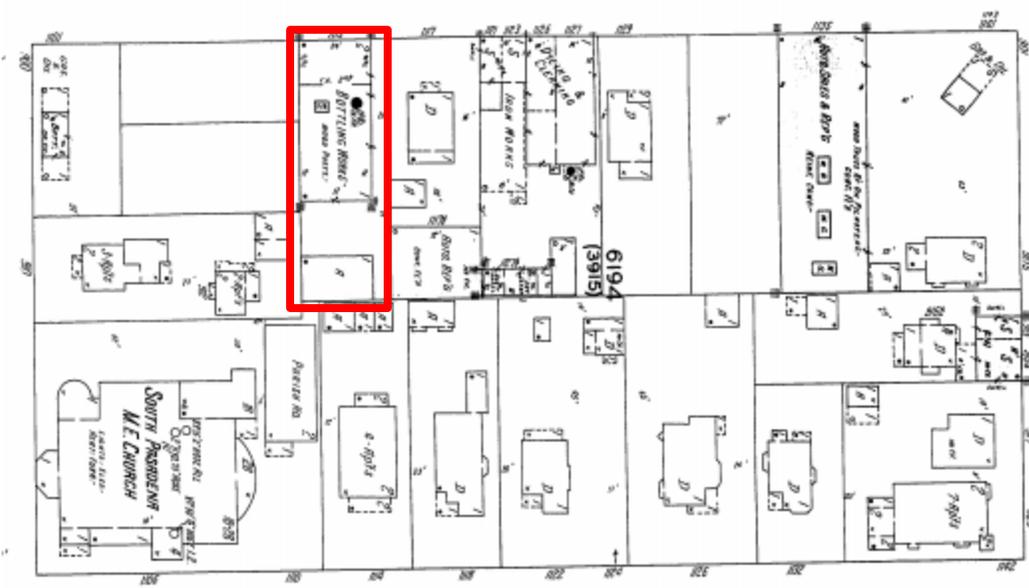
Figure 4
Excerpt of the 1910 Sanborn with the Subject Property outlined in red



1101-115 Mission Street Historic Resources Assessment/D190687.00

SOURCE: University of Southern
California, Santa Barbara
Library

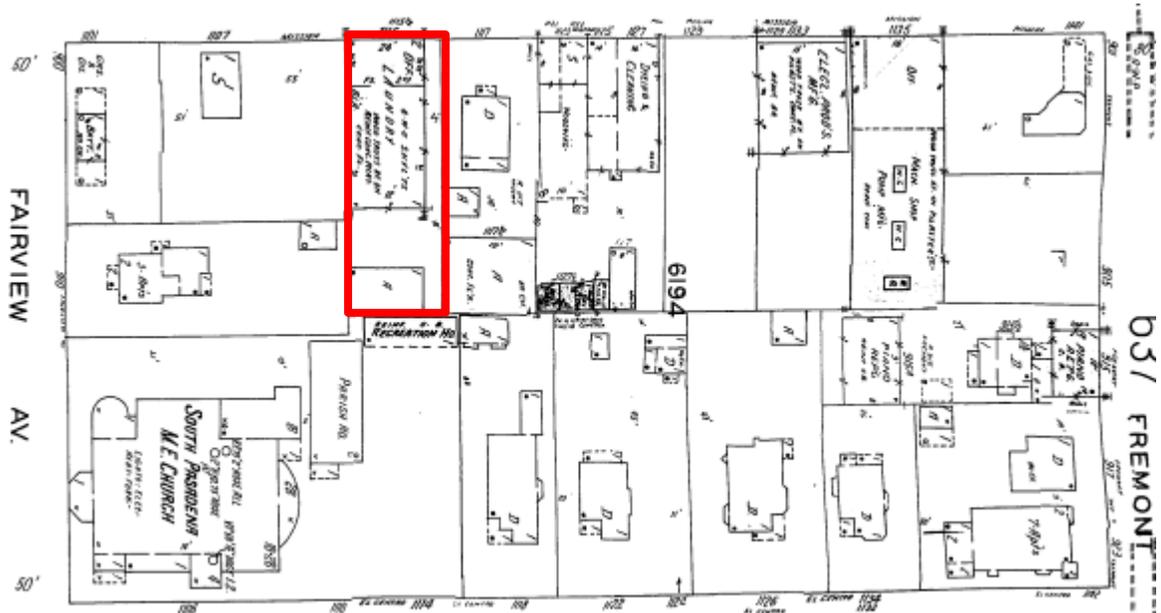
Figure 5
Excerpt of Aerial of the tract, 1927 (Subject Property outlined in red)



1101-115 Mission Street Historic Resources Assessment/D190687.00

SOURCE: Los Angeles Public Library

Figure 6
Excerpt of the 1930 Sanborn with the Subject Property outlined in red



1101-115 Mission Street Historic Resources Assessment/D190687.00

SOURCE: Los Angeles Public Library

Figure 7
Excerpt of the 1951 Sanborn with the Subject Property outlined in red



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SOURCE: University of Southern
California, Santa Barbara
Library

Figure 8

Excerpt of Aerial of the tract, 1971 (Subject Property outlined in red)

History of the Subject Property

Construction and Occupancy History of 1115 Mission Street

Construction History

The first building permit on file for the subject building was issued on May 1, 1921 for the construction of a new house valued at \$9,000 built by D. Saylor and owned by James McCluer (Building Permits are included in **Appendix D**). A business building announcement was published in *Southwest Builder and Contractor* for a “brick building at 1115 Mission St.” in March 25, 1921. The Los Angeles County Assessor record from January 31, 1934 states that the building was completed in 1925 and was constructed as a store with a concrete foundation, plaster and brick front façade, a composition roof, and was of good construction. Assessor records are provided in **Appendix E**. A 1927 photograph from the Huntington Library shows the Whistle Bottling Company store, which was located there at the time, with a different storefront than what is seen today. The storefront featured a large projecting window with marble bulkhead, plate glass window, and wood entrance ceiling. Another 1927 photograph showed a large plate glass window with one mullion down the middle. The walls appeared to be unglazed brick and concrete. The building was repaired in 1933 and plastered for a three-room apartment. Another remodel in 1978 reported by the County Assessor raised the effective age to 1943.²⁵ This history is summarized below in **Table 1**.

²⁵ Los Angeles County Assessor, Record for 1115 Mission Street, 1934-1978.

TABLE 1
1115 MISSION STREET, SOUTH PASADENA
SOUTH PASADENA DEPARTMENT OF PLANNING AND BUILDING PERMITS²⁶

Issued	Permit#	Owner	Architect/ Engineer	Contractor	Valuation	Description
03/01/1921	2644	James McCluer		D. Saylor	\$9,000	"New house"
12/09/1933	1264	Mrs. Mc Cluer		Harry A. Lewis	\$1,400	"Repairs"
01/02/1948	17500	A.E. Turner		John W. Lytle Roofing	\$196	"Reroof"
11/19/1954	32279	E.M. Turner (A.E. Turner?)		Fairfield Construction Company	\$250	"Parapet wall correction"
09/27/1960	44607	A.E. Turner (Superior Shirt Laundry)		Owner	\$100	"Cover walls & ceiling w/ plywood on existing store"
11/10/1961	47903	A.E. Turner		Virgin Roof Co.	\$120	"Reroof garage"
01/25/1966	59791	Larry Halvarson		Pasadena Awning Co.	\$260	"Install 2 canvas pull-up awnings; 16' x 30" extension"

Occupancy and Ownership History

Los Angeles-area directories and phone books, City of South Pasadena building permits on file with the City's Building Division, as well as U. S. Census data and other records were reviewed to determine if the Subject Property has any significant associations with the productive lives of historic personages.

The original owner was James H. McCluer. According to the South Pasadena and San Marino City Directory (1926, 1928, 1929), he was an employee at the Water Department (1926) and lived with his wife Kate at 1117 Mission Street, immediately east of the Subject Property. According to an advertisement in the *San Bernardino Sun* (March 25, 1925), the headquarters for a nationally known bottled beverage, the Whistle Bottling Company, operated from 1115 Mission Street in 1925. In 1926, the city directory listed A.E. Myers as president of the Whistle Bottling Company. In 1928-9, J.R. Irvine was the President. By 1932, the Whistle Bottling Company was not mentioned in the city directory. Building permits show that E. M. and A.E. Turner were the owners of the Subject Property in 1954. In 1960, A.E. Turner started Superior Shirt Laundry at the Subject Property and the business was operated at the building from 1960 to at least 1971. In 1965, the city directory listed Superior Shirt Laundry and Edwin B. Strong under the address. In 1974, Thomas A. Urton was the owner. In 1982, the owner was Luttrell's Upholstery. In 1992, the owner was Andrew Cherng.

²⁶ Documentation exists for all permits and certificates of occupancy listed in this table.

Architectural Description

The Subject Property is located at the south side of Mission Street between Fairview and Fairmont Avenues. Its primary (north) facade fronts Mission Street with two secondary facades (west and east) visible from the street. The rear (south) facade faces onto a surface parking for twelve automobiles, one car deep, with access from Fairview Avenue and a service alley. The southern parcel boundary is lined by a low hedge and a thin line of tall trees. The main (north) facade of the building is constructed to the parcel line at the sidewalk. It is a rectangular-plan, two-story two-part commercial block in a Commercial Vernacular style constructed of brick and is covered by a flat composition sheet roof (**Figure 9**). A one-story warehouse is attached at the rear. The primary facade is covered in white enameled brick laid in a running bond with a black speckled finish. The first-story glazed storefront (non-original replacement) is asymmetrically organized with a smaller eastern window, door and a larger western storefront window. The entrance is off-center as a part of the eastern window. The storefront windows have upper bands of divided sash and angled brick sills on top of raised concrete footings. A large rectangular masonry recess above the storefront is a place for the store's sign. There is a raised brick belt course between the first and the second levels. Two symmetrical window openings are on the second floor. The window openings (altered) are filled with incompatible non-original metal sash (two double-hung sash window on the east and a tripartite fixed window on the west). Above the second-story windows there is a decorative brick frieze of projecting angled brick. The building is crowned by a brick parapet and molded brick cornice.



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SOURCE: ESA, 2016

Figure 9
North Façade, view to southwest

The secondary (east) facade features a stepped brick transition between the two-story storefront and the one-story warehouse (**Figure 10**). The stepped parapet hides a stairway between the two roof levels. Light fixtures and electrical tubing are attached to the wall and tie rods from the seismic retrofit of the building are visible. At the transition between the two and one-story sections, there are two arched window openings with non-original vinyl double-hung sash windows surmounted by lintels consisting of two courses of brick. At the southern portion of the

facade is an original segmental-arched and recessed door opening with a non-original screen (alteration) and metal screen single door (alteration).



SOURCE: ESA, 2016

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Figure 10
Secondary (east) facade, view to northwest; detail views of windows and door

The other secondary (west) facade (altered) is two-story in the front and also one-story at the rear and has tie rods and a concrete sheer wall from its seismic retrofit visible (**Figure 11**). It has also been altered by the construction of the restaurant to the west which is attached to the concrete sheer wall abutted to the west wall of the Subject Property.



SOURCE: ESA, 2016

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Figure 11
Secondary (west) facade, view to southeast

The rear (south) facade has a garage door opening (altered) that has been infilled and a non-original single metal door (**Figure 12**).



SOURCE: ESA, 2016

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Figure 12
Secondary (south) facade of one-story warehouse, view north

The interior of the store (**Figure 13**) includes unpainted brick walls and exposed floor joists on the ceiling. The interior of the warehouse (**Figures 14 and 15**) includes a vaulted ceiling, wood-framed truss, concrete wall piers, and a rectangular skylight. The truss is a variation of the fan and double fink system with intersecting cross ties along the center.



SOURCE: ESA, 2016

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Figure 13
Store, unpainted brick of eastern perimeter wall



SOURCE: ESA, 2016

1101-115 Mission Street Historic Resources Assessment/D190687.00

Figure 14
Warehouse, vaulted ceiling supported by wood-framed truss



SOURCE: ESA, 2016

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Figure 15
Detail, back wall brick and concrete pier of warehouse

Historic Context

The historic context developed below presents the background necessary to evaluate the historic and architectural significance of the Subject Property, including the history of its construction and alterations. The preliminary period of significance associated with the Subject Property is 1925, the original year of construction of the Subject Property. ESA evaluated the Subject Property under the following historical and architectural themes associated with the Subject Property: 1920s Commercial and Industrial Development (1920-1929) and Early 20th Century Commercial Vernacular.

1920s Commercial and Industrial Development (1920-1920)²⁷



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SOURCE: ESA, 2016

Figure 16
Warehouse Security Trust & Savings, 1922, 824 Fair Oaks Avenue



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SOURCE: ESA, 2016

Figure 17
Detail, back wall brick and concrete pier of warehouse

The business center of South Pasadena was redefined during the 1920s as a result of two key factors: the adoption of the zoning ordinance, and the growing popularity of the Red Car Line. A portion of the zoning ordinance adopted in 1923 addressed the extension of commercial zoning along Fair Oaks Avenue. At the time, Fair Oaks Avenue was only zoned for commercial use as far south as El Centro Street, which bolstered development around the Fair Oaks Avenue and Mission Street intersection. The new ordinance

²⁷ Excerpt from Historic Resources Group, *City of South Pasadena Citywide Historic Context Statement*, prepared for the City of South Pasadena Planning & Building, December 16, 2014, 155-158.

extended commercial zoning southward along Fair Oaks Avenue to Monterey Road. A notable extant example of this southern expansion is the first building constructed south of El Centro Street following the adoption of the ordinance: the former Record Publishing Company (1922, 1108 Fair Oaks Avenue).²⁸

The zoning expansion allowed for a longer commercial corridor along the path of the Pasadena Short Line, and businesses could now take advantage of the pedestrian activity around secondary trolley stops further south. Customer-oriented businesses continued to develop along Fair Oaks Avenue throughout this period; it is likely that at least part of this trend can be attributed to an effort to capitalize on the pedestrian activity generated by the proximity of the trolley line.



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SOURCE: South Pasadena Public Library

Figure 18

Rialto Theatre: The Rialto Theatre is located at 1019 Fair Oaks Avenue; it is listed in the National Register and South Pasadena Landmark #25.

A notable addition to the Fair Oaks district during this period was the opening of the Rialto Theatre at 1023 Fair Oaks Avenue (listed in the National Register and South Pasadena Landmark #25). Designed by architect Lewis A. Smith, the Moorish-style theatre was built to showcase both film and vaudeville acts and featured a Wurlitzer organ. It opened on October 17, 1925, with the world premiere of the silent film *What Happened to Jones?* The theatre later showed its first “talkie” in 1929.

²⁸ Jane Apostol cites this building as the first to be completed following the adoption of the ordinance in 1923. However, construction on the building began in 1922, before the adoption of the ordinance. See Apostol, 89.

Commercial activity also continued to develop along Mission Street, following the course of the connecting trolley line. Businesses in this area were a mix of primarily service and trade establishments, as well as light manufacturing operations. Automobile-related businesses now comprised a significant portion of the commercial activity in this area, reflecting the popularity of the car as the transportation method of choice. Brick continued to be the most common method of construction for commercial buildings; most were one story in height; only eleven structures were two stories tall.



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SOURCE: Huntington Digital Library

Figure 19
Gas Station at Mission and Los Robles, 1930.

While most commercial buildings along this corridor represent modest vernacular examples, two high-style, artistic front commercial buildings remain extant. Baranger Studios, designed by architect G. A. Howard, opened in 1925 at 729 Mission Street (South Pasadena Landmark #27). The one-story brick Gothic Revival storefront was built for Arch and Hazel Baranger, who operated a successful wholesale business supplying motion displays to downtown jewelry stores. The animated Baranger displays were designed to stop traffic along busy sidewalks and were often leased by stores, who would recycle them on a regular basis to freshen their window displays.²⁹ The Lewis-Markey Building at 634-646 Mission Street, opposite the Baranger Studios, also exhibits a similar Gothic Revival style. Completed in 1928, the building housed an antique shop run by Anna and Ormond Lewis; its design was inspired by architecture Mrs. Lewis had admired while traveling in England.³⁰

²⁹ Rick Thomas, *Images of America: South Pasadena* (Charleston, SC: Arcadia Publishing, 2007), 106.

³⁰ Jane Apostol, *South Pasadena: A Centennial History* (South Pasadena, CA: South Pasadena Public Library, 1987), 99.



SOURCE: HRG, 2014

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Figure 20
Baranger Studios, completed in 1925. located at 729 Mission Avenue; it is designated South Pasadena Landmark #27.

Manufacturing operations continued to grow around the intersection of Mission Street and Meridian Avenue and included a food processing plant, bottling services, a print shop, and metal works. Large-scale operations such as the Patten & Davies Lumber Company, located on the former site of the South Pasadena Lumber Company, and the Violet Ray Ice Company were situated along the rail line and expanded the manufacturing district south to El Centro Street.

As the 1920s drew to a close, South Pasadena marked the loss of a significant business in the community. In 1928, the Edward H. Rust Nursery moved to Pasadena after forty-two years of business in the City. Located east of Fair Oaks Avenue, the Rust nursery was one of the earliest commercial operations established in South Pasadena, having been founded in 1884 by Edward Rust and his father, Horatio Nelson Rust. Many of the citrus groves in South Pasadena and San Marino had been started with Rust stock, and the nursery supplied trees and plants for many of the area's most prominent estates. Rust also supplied trees for the San Diego and San Francisco Expositions as well as William Wrigley's development of Catalina Island. The closure of the nursery marked the beginning of difficult times to come as the City moved towards the Great Depression.

Early 20th Century Commercial Vernacular (1900-1950)

In the citywide Historic Context Statement for the City of Pasadena it says of the commercial vernacular:

Although not an officially recognized style, “commercial vernacular” describes simple commercial structures with little decorative ornamentation, common in American cities

and towns of the late 19th and early 20th centuries. They are typically brick in construction, with minimal decorative detailing.³¹

Character-defining features include simple square rectangular form, flat roof with a flat or stepped parapet, brick façade, storefronts on the first story with a continuous transom window above, wood double hung windows on the second story, segmental arch windows and door openings on the secondary facades, and if there are any decorative features, they include cornices, friezes, quoins, and string courses. Acceptable alterations include the replacement of rooftop materials with compatible new roofing, minor additions that are not visible from the public right-of-way, replacements of the storefront in historic storefront openings, and the replacement of signage.³²

The advent of the 20th century saw a marked change in how commercial buildings were constructed. In the 19th century, commercial structures typically went up in small groups with related architectural elements employed across several buildings, or were built as infill with designs that drew on architectural elements from existing buildings to create visual cohesion. However, the new century brought with it a heightened sense of individualism, and the owners of commercial buildings now sought to have their buildings stand out from the surrounding built environment. The goal of this change was to draw in customers through the architecture of the building itself, and lead to several general design changes in commercial buildings. Storefront configurations were changed to maximize design space and interior light, and ornamentation and color were designed to attract the eye. These overarching changes in the philosophy of commercial architecture encouraged window shopping. The rise of plate glass, which allowed for larger, unobstructed display windows, facilitated the changes in storefront design. American vernacular commercial buildings took a variety of forms, including single-front, false-front, iron-front, and brick-front types. In some cases, elements from high-style architecture such as the Romanesque, Italianate, or Modern styles were incorporated into the design of the front façade. Brick-front was the most popular type of commercial vernacular architecture. These were typically one to three stories tall and tended to be narrow and deep, rarely more than four bays wide. Storage space or apartments usually occupied the upper floor or floors. A transom light typically extended over the door and display windows. This type usually employed one major cornice and other additional decorative elements to break up the brick front.³³

³¹ Historic Resources Group, *City of South Pasadena Citywide Historic Context Statement*, prepared for the City of South Pasadena Planning & Building, December 16, 2014, 266.

³² Historic Resources Group, *City of South Pasadena Citywide Historic Context Statement*, prepared for the City of South Pasadena Planning & Building, December 16, 2014, 266.

³³ Herbert Gottfried and Jan Jennings, *American Vernacular Buildings and Interiors, 1870-1960* (New York: W.W. Norton & Company, Inc., 2009), 233-264.



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SOURCE: Gottfried and Jennings,
*American Vernacular
Buildings and Interiors*,
242

Figure 21

Corner brick commercial building in Winters, California, built circa 1906

Evaluation

Previous Evaluations of the Subject Property

An archival records search was conducted to identify all known resources within the public right-of-way and the Project vicinity, which may have views of the Project Site for the purpose of analyzing potential indirect impacts. The archival records search involved review of the National Register of Historic Places (National Register); California Register of Historical Resources (California Register); California Historic Resources Inventory (HRI); the Mission Street Specific Plan, 1996; and the City’s Historic Resources Surveys, 2003 and 2015, to identify previously identified historical resources within the Project vicinity. A brief discussion of records search findings is provided below.

The Study Area was surveyed in 1991–94 by Leslie Heumann and Associates and the Luttrell’s Building at 1115 Mission Street was listed as a historic resource in the 1996 Mission Street Specific Plan completed by Leslie Heumann and Associates, and is therefore considered a historical resource pursuant to CEQA. The Luttrell’s Building at 1115 Mission Street was subsequently included in the 2003–04 reconnaissance-level City-wide survey completed by PCR Services Corporation and included in the City of South Pasadena’s Inventory of Historic Resources with an assigned California Historical Resources (CHR) Status Code (old system) of “5S3,” which at the time of the 2003 evaluation was described as “determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning”. The CHR Status Codes were revised effective August 2003, and the corresponding status code (new system) is currently 6L, or “determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.” The 2017 survey used the current definition of 5S3 and not the pre-August 2003 definition meaning that it “appears to be individually eligible for local listing or designation through survey evaluation.” However, ESA’s evaluation done on July 13, 2017 states that the building should have a status code of 6L, and GPA Consulting concurred in their peer

review written in January 22, 2019. The DPR Forms are provided in **Appendix I**. The Luttrell's Building at 1115 Mission Street is not a contributor to a designated or potential historic district.

Significance Evaluation

The Subject Property was evaluated under the following historical and architectural themes: 1920s Commercial and Industrial Development (1920-1929) and Early 20th Century Commercial Vernacular. ESA also conducted research on the Subject Property's construction and occupancy history, provided above. ESA evaluated the Subject Property against the criteria for listing in the National Register and California Register below, and under the criteria for listing in the South Pasadena Register following below.

Broad Patterns of History

With regard to broad patterns of history, the following are the relevant criteria:

- **National Register Criterion A:** Is associated with events that have made a significant contribution to the broad patterns of our history.
- **California Register Criterion 1:** Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The Subject Property was evaluated under the theme 1920s Commercial and Industrial Development (1920-1929). The subject building was constructed on Mission Street where commercial activity was developing following the connecting trolley line from Fair Oaks. Mission street was mainly comprised of service and trade businesses with some manufacturing operations. The Subject Property, built in 1925, was originally built as the headquarters for the nationally known bottled beverage, the Whistle Bottling Company, fitting with the trend of some manufacturing operations along Mission Street. Along with the rest of the commercial and industrial development in the area at that time, the Subject Property was built with brick, the most common construction material for commercial buildings. However, most of the buildings were constructed as one story tall with only eleven structures, including the Subject Property, being two stories tall. And like most of the buildings along the business corridor, it was built in a modest vernacular style. While the Subject Property does follow the patterns of commercial and industrial development of South Pasadena in the 1920s, it is not a particularly excellent example. It has a very modest design and does not stylistically stand out with other buildings from the same period of development such as the Baranger Studios or the Rialto Theatre. The only occupant of note was the Whistle Bottling company from 1926 until ca. 1931, however, material evidence of its association with the building has been erased by the many changes of use and tenant improvements that have altered the building. While the building retains integrity of location, it has lost its integrity of setting, design, workmanship, feeling and association due to the alterations of the storefront, side and rear elevations and interior since the time of its construction.

As a result, 1115 Mission Street does not appear to meet the significance requirements as an individual resource under National Register Criterion A, or California Register Criterion 1 as it is not a particularly excellent example of the commercial and industrial development of South Pasadena.

Significant Persons

With regard to associations with important persons, the following are the relevant criteria:

- **National Register Criterion B:** Is associated with the lives of persons significant in our past.
- **California Register Criterion 2:** Is associated with the lives of persons important in our past.

The occupancy and ownership history for the Subject Property was researched by reviewing City directories, building permits, Los Angeles County Assessor records, and the U. S. Census. The original owner was James H. McCluer. According to the South Pasadena and San Marino City Directory (1926, 1928, 1929), he was an employee at the Water Department (1926) and lived with his wife Kate at 1117 Mission Street, immediately east of the Subject Property. According an advertisement in the *San Bernardino Sun* (March 25, 1925), the headquarters for a nationally known bottled beverage, the Whistle Bottling Company, operated from 1115 Mission Street in 1925. In 1926, the city directory listed A.E. Myers as president of the Whistle Bottling Company. In 1928-9, J.R. Irvine was the President. By 1932, the Whistle Bottling Company was not mentioned in the city directory. Building permits show that E. M. and A.E. Turner were the owners of the Subject Property in 1954. In 1960, A.E. Turner started Superior Shirt Laundry at the Subject Property and the business was operated at the building from 1960 to at least 1971. In 1965, the city directory listed Superior Shirt Laundry and Edwin B. Strong under the address. In 1974, Thomas A. Urton was the owner. In 1982, the owner was Luttrell's Upholstery. In 1992, the owner was Andrew Cherng. The only occupant of note in the subject building was the Whistle Bottling company which was a locally important business, not a person.

Therefore, 1115 Mission Street does not meet the requirements under National Register Criterion B, or California Register Criterion 2.

Architecture

With regard to architecture, design, or construction, the following are the relevant criteria:

- **National Register Criterion C:** Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- **California Register Criterion 3:** Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

The Subject Property was evaluated under Criteria C/3 under the theme of Commercial Vernacular, that is defined by characteristic features including little decorative ornamentation, typical brick construction with a square or rectangular form, flat roof, a parapet, and storefronts on the first floor with two sash windows on the second floor. Allowable alterations to Vernacular commercial buildings include the replacement of rooftop materials and the replacement of the storefront. The Subject Property has an altered storefront on the first floor, altered windows and openings on the second floor, window and door alterations on the side and rear elevations, and the west elevation has been entirely altered with a concrete sheer wall and attached commercial

building. It is an extremely modest and substantially altered example of a vernacular commercial building and there are many better examples in South Pasadena, specifically located within the Mission West Historic Business District. These include 958 Mission Street, 1002 Mission Street, 1010 Mission Street, 1012 Mission Street, 1014 Mission Street, 1019 Mission Street, 1020 Mission Street, and 1030 Mission Street. **Therefore, ESA finds that 1115 Mission Street does not meet the significance requirements as an individual resource under National Register Criterion C, or California Register Criterion 3.**

Data

- **National Register Criterion D:** It yields, or may be likely to yield, information important in prehistory or history.
- **California Register Criterion 4:** Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. In order for these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. None of the buildings on the Subject Property appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known about the period in which they were constructed, their method of construction, or their design. The buildings reflect common building practices and materials of the early twentieth century, which have already been well documented. **Therefore, 1115 Mission Street does not meet the significance requirements under National Register Criterion D and California Register Criterion 4.**

South Pasadena Criteria

(A) Its character, interest or value as a part of the heritage of the community;

1115 Mission Road is associated with the commercial growth that took place in South Pasadena in the 1920s, especially the commercial and industrial spread west from Fair Oaks Avenue onto Mission Road. It was one of many Commercial Vernacular buildings constructed in Pasadena at that time. However, it is not a particularly notable example, nor did it effect the growth patterns of the city as a whole. The Whistle Bottling company occupied the building from 1926 until ca. 1931, however, material evidence of its association with the building has been erased by the many changes of use and tenant improvements that have altered the building. While the building retains integrity of location, it has lost its integrity of setting, design, workmanship, feeling and association due to the alterations of the storefront, side and rear elevations and interior since the time of its construction. Therefore, it is not significant under this criterion.

(B) Its location as a site of a significant historic event;

It is not the site of a significant historic event.

(C) Its identification with a person, persons or groups who significantly contributed to the culture and development of the city, state or United States;

It's most important association is with the Whistle Bottling Company. However, the company was only associated with the Subject Property for a few years and did not appear to be influential on local commercial and industrial activity in the city. Therefore, it is not significant under this criterion.

(D) Its exemplification of a particular architectural style of an era of history of the city;

The subject building is an altered example of a commercial and industrial vernacular building, as discussed above. Many similar examples of that style were constructed along Mission Road in the 1920s. Commercial and industrial businesses were developed west from Fair Oaks Avenue to Mission Street at that time. However, the Subject Property is not a particularly notable example, nor did it effect the growth patterns of the city as a whole. Therefore, it is not significant under this criterion.

(E) Its exemplification of the best remaining architectural type in a neighborhood;

It is an extremely modest and substantially altered example of a vernacular commercial building and there are many better examples in South Pasadena, specifically located within the Mission West Historic Business District. These include 958 Mission Street, 1002 Mission Street, 1010 Mission Street, 1012 Mission Street, 1014 Mission Street, 1019 Mission Street, 1020 Mission Street, and 1030 Mission Street. Therefore, it is not significant under this criterion.

(F) Its identification as the work of a person or persons whose work has influenced the heritage of the city, the state or the United States;

It is not an example of work done by any architect let alone done by a locally important architect. The contractor was identified in the original permits as D. Saylor who was not a person whose work has influenced the heritage of the city, the state or the United States.

(G) Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials or craftsmanship;

It is a very modest example of a vernacular commercial building with little to no architectural ornamentation. Therefore, it is not significant under this criterion.

(H) Its being a part of or related to a square, park or other distinctive area which should be developed or preserved according to a plan based on a historic cultural or architectural motif;

The Subject Property is located outside and east of the Mission West Historic Business District. It is one of many commercial and industrial buildings that were construed along Mission Street in the 1920s. However, the subject building is not located within the historic district. While it is an altered, ineligible historical resource, the building does retain some residual architectural character as a commercial/industrial structure from the 1920s.

(I) Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;

It is not located in a unique location nor does it have a unique singular physical characteristic representing an established and familiar visual feature of a neighborhood.

(J) Its potential of yielding information of archaeological interest;

It has no potential of yielding information of archaeological interest.

(K) Its integrity as a natural feature or environment that strongly contributes to the well-being of the people of the city;

Its integrity as a natural feature does not strongly contribute to the well-being of the people of South Pasadena.

(L) Its significance as a distinguishable neighborhood or area whose components may lack individual distinction;

The Subject Property is located outside and east of the Mission West Historic Business District. It is one of many commercial and industrial buildings were construed along Mission Street during the 1920s. However, the subject building is not located within the historic district.

Conclusion

The Subject Property at 1115 Mission Street does not appear to be eligible as a historical resource under any of the National Register or California Register criteria, and also does not appear to meet any of the South Pasadena criteria for local listing. However, the Study Area was surveyed in 1991–94 by Leslie Heumann and Associates and the Luttrell’s Building at 1115 Mission Street was listed as a historic resource in the 1996 Mission Street Specific Plan completed by Leslie Heumann and Associates, and is therefore considered a historical resource pursuant to CEQA. The Subject Property is a substantially altered and very modest example of a brick vernacular commercial building and has been assigned a California Historical Resource Status Code of “6L”, “determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.”³⁴

³⁴ Peer Review, GPA Consulting, January 22, 2019.

Historic Character

The following list of features is a summary of the visual character of the exterior and interior front and back rooms of the Subject Property, including the site plan and landscape features. According to the National Park Service:

character refers to all those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment. The purpose [is to] identify those features or elements that give the building its visual character and that should be taken into account in order to preserve them to the maximum extent possible.³⁵

Included in **Appendix F** is a detailed analysis of the primary and contributing character-defining features for the building's current appearance. The features of the original 1921 design shown in historic photographs of the storefront in 1927 are different than what is seen today. According to the Assessor, the exterior material in 1934 was still good pressed brick and not the enameled brick seen today. Building permits do not show what alterations were done on the storefront. Primary character-defining features are by definition the most important and should be considered for retention in order to preserve and protect the eligibility of the Subject Property. Alteration or removal of these features should be avoided. Contributing character-defining features add to the character of a historic property and should be retained to the greatest extent feasible and rehabilitated as appropriate; however, more flexibility is given to these features as alterations to some contributing features may not adversely impact the Subject Property's potential eligibility as a historical resource. The greatest flexibility is afforded to non-contributing features; their complete removal does not usually adversely impact the significance of the Subject Property. Non-contributing features were not identified; if a feature is not listed below as significant or contributing, it can be assumed that the facade or feature is non-contributing. However, non-contributing alterations to significant or contributing character-defining features are noted in italics.

The overall primary features include the Subject Property's rectangular-shaped footprint; two-part massing with one-story at the rear, two-stories at the front; flat roof; and brick material. The commercial block features would be considered primary including the glazed brick wall surface at the front facade, storefront windows, the single-door opening, and the decorative brick course between the first and second stories. Additional primary elements include the second-story windows, the recessed sign area, the cornice, frieze, and angled sills. The majority of these features, other than the massing, are concentrated on the primary (north) façade. On the secondary (east) facade, the brick exterior, door opening, two window openings, and the stepped brick transition between the two and one-story sections are primary character-defining features.

³⁵ Lee H. Nelson, Preservation Brief 17: Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character, National Park Service, September 1988, <http://www.nps.gov/tps/how-to-preserve/briefs/17-architectural-character.htm>, accessed June 4, 2015.

On the interior, the partition wall separating front and back rooms and the back room's vaulted ceiling and piers are primary features.

CEQA Impacts Analysis

The thresholds for determining the significance of environmental effects on historical resources identified below are derived from the CEQA Guidelines as defined in §15064.5. Pursuant to this guidance, a project that would physically detract, either directly or indirectly, from the integrity and significance of the historical resource such that its eligibility for listing in the National Register, California Register or as a City Landmark would no longer be maintained, is considered a project that would result in a significant impact on the historical resource. Adverse impacts, that may or may not rise to a level of significance, result when one or more of the following occurs to a historical resource: demolition, relocation, conversion, rehabilitation, or alteration, or new construction on the site or in the vicinity.

Significance Thresholds

The thresholds for determining the significance of environmental effects on historical resources identified below are derived from the CEQA Guidelines as defined in §15064.5. Pursuant to this guidance, a project that would physically detract, either directly or indirectly, from the integrity and significance of the historical resource such that its eligibility for listing in the National Register, California Register or as a local register would no longer be maintained, is considered a project that would result in a significant impact on the historical resource. Adverse impacts, that may or may not rise to a level of significance, result when one or more of the following occurs to a historical resource: demolition, relocation, conversion, rehabilitation, or alteration, or new construction on the site or in the vicinity.

CEQA Guidelines

According to the State *CEQA Guidelines*, Section 15064.5(b) a project involves a “substantial adverse change” in the significance of the resource when one or more of the following occurs:

- Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.
- The significance of a historical resource is materially impaired when a project:
 - A. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in, the California Register of Historical Resources; or
 - B. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the PRC or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the PRC, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or

- C. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

Under CEQA, a proposed development must be evaluated to determine how it may impact the potential eligibility of a structure(s) or a site for designation as a historic resource. The Standards were developed as a means to evaluate and approve work for federal grants for historic buildings and then for the federal rehabilitation tax credit (see 36 Code of Federal Regulations [CFR] Section 67.7).

Analysis of Project Impacts

1. Project Description

The Project Applicant, Mission Bell Properties LLC (the “Applicant”) is proposing to construct a three-story mixed used building at 1101-1107 Mission Street, rehabilitate the existing historic building at 1115 Mission Street for adaptive reuse as mixed use, demolish a portion of the building at 1115 Mission and construct a two story residential building, and construct two levels of subterranean parking, (the proposed Project or Project) beneath the entire Project site. The Proposed Project would consist of 7,394 square feet of commercial space along the Mission Street and Fairview Avenue frontages and 36 residential units on the upper levels and in the interior of the site.

The Project site currently consists of three buildings. The Project proposes demolition of two of the three existing buildings located at 1101-1107 Mission Street and construction of a new three story commercial and residential building on the site. The Project also proposes to retain and rehabilitate the two-story portion of 1115 Mission Street commercial and residential use, remove two-thirds of the existing one-story warehouse to the rear of 1115 Mission Street and construct a new two-story multi-family residential building on the parcel. 1115 Mission Street will be preserved, renovated, and reused through rehabilitation of the building for new uses. The historical building will consist of 1,441 square feet of commercial retail. The proposed Project would add an additional 5,953 square feet of new commercial space along Mission Street designated for a restaurant or retail uses. In total, the commercial area for the Project will be 7,394 square feet.

Parking would be provided in two subterranean levels with a total of 109 parking. Primary pedestrian access to the Project site would be provided along Mission Street facing the commercial/retail area. Some street parking is available along Mission Street. Access to the subterranean parking structure would be provided along Fairview Avenue. The residential buildings would consist of a total of 36 units within approximately 33,281 square feet of area. Residential common areas comprise 4,395 square feet. The residences would be comprised of 24 one-bedroom units and 12 two-bedroom units. The ground floor will feature 9 units, private common areas, a gym, restaurant, and a dining area. The second-floor features 14 units. The third floor contains 13 units. The proposed Project would be no more than 40 feet in height.

The proposed Project includes landscaping and other outdoor improvements in connection with the development of the Project site. Drought-tolerant and ornamental landscaping with high-efficiency irrigation features would be placed throughout the Project site to provide shading opportunities and erosion control. The proposed Project would include public and resident courtyards, as well as private balconies for select units. Project drawings, including proposed demolition plans and new facades of the Subject Property by architect Dwight S. Bond of Workshop Design Collective, Inc., are included in **Appendix G**.

2. Direct Impacts

The Project will retain the subject building at 1115 Mission Street, which has been determined ineligible as a historical resource, and would not have a significant adverse impact to any historical resources on the Project Site. The Project will preserve and rehabilitate the primary façade, enhancing its historic character by replacement of the existing non-original first and second-story windows with period-appropriate new windows. Three compatible period-appropriate windows will be added to the first story of the existing west façade. A solid door, replacing a window, will be added to the east facade. As currently proposed, the Project retains the majority of the building's character-defining features. The proposed changes primarily affect the footprint and massing of the building by removal of two-thirds of the rear warehouse wing. However, the portion of the warehouse being retained will include examples of its brick construction, wall buttresses and roof truss. The Project will maintain the current street-facing façade and important character-defining features of the building. The Project has undergone Preservation Design Consultation and has received special consideration in maintaining its main façade and improving its historic appearance. Therefore, the Project will not have a significant impact on a historical resource pursuant to CEQA. After project completion Subject Property will continue to retain its status as a historic resource in the Mission Street Specific Plan, and would continue to retain its current 6L CHR status code.

ESA recommends the following mitigating measure as stated by GPA Consulting:

As the drawings evolve beyond the schematic level, compliance with the Standards shall be reviewed, monitored, and carried out to the satisfaction of the South Pasadena Cultural Heritage Commission (CHC). The permit set shall be submitted to the CHC for review and approval, prior to the issuance of building permits.³⁶

3. Indirect Impacts

A total of eighteen (18) historic resources are located within the vicinity of the Subject Property. Sixteen (16) of those resources would have direct streetscape views along Mission Street of the Project Site. Two (2) resources would have indirect views of the Project Site from nearby streets. Fifteen (15) of the resources are also historical resources under CEQA, while the other three buildings are eligible for special consideration in local planning. The 1100 block of Mission Street, the same block as the Subject Property, features four historic resources that would have streetscape views along Mission Street of the Project Site. The historic resources at 1108 and

³⁶ GPA Consulting, "Mission Bell Mixed-Use Project, 1105-15 Mission Street, South Pasadena," prepared for Tony Loccacciato, Partner, Meridian Consultants, January 22, 2019, 3.

1121-1127 Mission Street were evaluated as eligible for special consideration in local planning in 2003. The historic resource at 1128-1132 Mission Street was evaluated in 2003 as eligible for the California Register and the local register as an individual property. The 2003 survey also identified 1133 Mission Street as eligible for the local register as an individual property.

- 1108 Mission Street, Vernacular style commercial building constructed in 1926
- 1121-1127 Mission Street, the Schmiedeberg Building, Vernacular style commercial building constructed in 1927
- 1128-1132 Mission Street, the Jacobs Block, Vernacular style commercial building constructed in 1910
- 1133 Mission Street, the Day Ray Building, a 1947 Streamline/Regency style commercial building constructed in 1947

Eleven (11) of the historic resources are on the 1000 block of Mission Street, which is located to the west, across, and on the same side of Mission Street as the Subject Property, and would have streetscape views along Mission Street of the Project Site. All of these resources are contributors to the Mission West Historic Business District. The contributing buildings were constructed in the 1880s to 1920s. The Mission West Historic Business District is listed on the National Register and on the California Register. The Herlihy Block at 1020-1024 Mission Street was listed as a non-contributing building in the National Register nomination and is located within the vicinity. The contributors are described further in the following bullet points with status codes in parentheses:

- 950-966 Mission Street, Vernacular style Mission Arroyo Hotel Building constructed in 1923. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D) and local landmark #26. Approximately 0.16 miles (819 feet) northwest of the Project Site. Direct view of the Project Site.
- 1001-1007 Mission Street, Renaissance Revival style Alexander Block constructed in 1906. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.14 miles (735 feet) west of the Project Site. Direct view of the Project Site.
- 1002-1006 Mission Street, Vernacular style Shapiro Block, constructed in 1915. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.13 miles (680 feet) northwest of the Project Site. Direct view of the Project Site.
- 1008-1010 Mission Street, Vernacular style Edwards & Faw Building constructed in 1933. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D), though not listed in the City of South Pasadena's Inventory of Historic Resources. Approximately 0.03 miles (133 feet) northwest of the Project Site. Direct view of the Project Site.

- 1011-1017 Mission Street, Renaissance Revival influenced style Graham Block, constructed in 1908. Approximately 0.12 miles (615 feet) west of the Project Site. Direct view of the Project Site.
- 1012 Mission Street, Vernacular style Ashton Block, constructed in 1924. Approximately 0.11 miles (600 feet) northwest of the Project Site. Direct view of the Project Site.
- 1014-1018 Mission Street, Vernacular style commercial building constructed in 1924. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.10 miles (552 feet) northwest of the Project Site. Direct View of the Project Site.
- 1019 Mission Street, Vernacular style building constructed 1907. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.10 miles (531 feet) west of the Project Site. Direct view of the Project Site.
- 1028-1032 Mission Street, Vernacular style commercial building constructed 1906. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.07 miles (348 feet) northwest of the Project Site. Direct view of the Project Site.
- 1034 Mission Street, Vernacular style B. Anderson Building constructed 1906. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.06 miles (314 feet) northwest of the Project Site. Direct view of the Project Site.
- 1040 Mission Street, Spanish Colonial Revival style El Centro Market/Central Market constructed in the 1920s. Appears to be a contributor to the Mission West Historic Business District (addition) listed in the National and California Registers (3D) and determined individually eligible by the Keeper of the National Register and listed in the California Register (2S). Approximately 0.05 miles (238 feet) northwest of the Project Site. Direct view of the Project Site.

One resource is on the block to the east of the Subject Property and on the same side of the street. It would have streetscape views along Mission Street of the Project Site. The building was evaluated as eligible for the California Register and local register as an individual property in 2003.

- 1415 Mission Street, Spanish Colonial Revival-style Telephone Building constructed in 1931. Approximately 0.11 miles (576 feet) east of the Project Site. Direct view of the Project Site.

One resource is on the block to the west, and is on the same side of Mission Street as the Subject Property, and would be visible from its main facade on El Centro Street to the rear of the Project Site. The Project Site would not affect the streetscape of El Centro Street directly, but would

indirectly affect the setting of the resource. It is a contributor to the Mission West Historic Business District.

- 1020 El Centro Street, Mediterranean Revival style El Centro School constructed in 1928. Contributor to the Mission West Historic Business District listed in the National and California Registers (1D). Approximately 0.04 miles (231 feet) southwest of the Project Site. Indirect view of the Project Site.

One resource is on the same block as the Subject Property, but at the southeast corner. It is located at the northwest corner of El Centro Street and Fremont Avenue and would be visible from its main facade on Fremont Avenue to the rear of the Project Site. The Project Site would not affect the streetscape of Fremont Avenue directly, but would indirectly affect the setting of the resource. The building was evaluated as eligible for special consideration in local planning in 2003.

- 923 Fremont Avenue, Craftsman style multi-family residence constructed in 1912. Approximately 0.06 miles (326 feet) southeast of the Project Site. Indirect view of the Project Site.

Indirect impacts were analyzed to determine if the Project would result in a substantial material change to the integrity of the resources and their immediate surroundings that would detract from the significance of historical resources within the previously defined vicinity of the Project. In the Project vicinity there are 18 previously identified historic resources. Fifteen (15) of the resources are also historical resources under CEQA, while the other three buildings are eligible for special consideration in local planning.

Of the fifteen (15) historical resources identified in the Project vicinity, fourteen (14) have a direct view of the Project Site from Mission Street. One will have an indirect view of the Project's south and west facades. The Project will reduce the integrity of setting and feeling for these resources as the overall massing and the secondary facades that are visible along Mission Street are being changed and will not conform to the Standards discussed in the section below.

The vicinity includes a variety of historical resources: a commercial district, a former school, and a telephone exchange building. The Project, however, would alter Mission Street's original setting and feeling. The massing of the Project will change the feeling and setting of the low-rise commercial block of one and two-stories to a slightly higher three-story mass and a four-story elevator tower. It will also create a three-story anchor building at the corner of Mission Street and Fairview Avenue that will stand out from the consistent two-story streetscape. However, the Project does conform to the design guidelines provided in the Mission Street Specific Plan and would preserve the primary facade of the Subject Property. For more details, see the Table # below.

**TABLE 2
HISTORIC RESOURCES WITH VIEWS OF THE PROJECT SITE**

Historic Resource	Status Code	Feet from Project	View	Impacts
1108 Mission Street, Vernacular style commercial building constructed in 1926	5S3	87 feet north	Direct view	<ul style="list-style-type: none"> The Project will reduce the integrity of setting and feeling for the resource as the overall massing and the secondary facades that are visible along Mission Street are being changed The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.
1121-1127 Mission Street, the Schmiedeberg Building, Vernacular style commercial building constructed in 1927	5S3	60 feet east	Streetscape view along Mission Street of the Project Site	<ul style="list-style-type: none"> The Project will reduce the integrity of setting and feeling for the resource as the overall massing and the secondary facades that are visible along Mission Street are being changed The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.
1128-1132 Mission Street, the Jacobs Block, Vernacular style commercial building constructed in 1910	5S1 (5S3)	178.85 feet northeast	Direct view	<ul style="list-style-type: none"> The Project will reduce the integrity of setting and feeling for the resource as the overall massing and the secondary facades that are visible along Mission Street are being changed The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.
1133 Mission Street, the Day Ray Building, a 1947 Streamline/Regency style commercial building constructed in 1947	5S3	174 feet east	Streetscape view along Mission Street of the Project Site	<ul style="list-style-type: none"> The Project will reduce the integrity of setting and feeling for these resources as the overall massing and the secondary facades that are visible along Mission Street are being changed The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.
The Mission West Historic Business District	1S: listed on the National Register and on the California Register	174 Feet west	Direct view	<ul style="list-style-type: none"> The Project Site would not affect the streetscape of El Centro Street directly, but would indirectly affect the setting of the resource The massing of the Project will change the feeling and setting of the low-rise commercial block of one and two-stories to a slightly higher three-story mass and a four-story elevator tower. It will also create a three-story anchor building at the corner of Mission Street and Fairview Avenue that will stand out from the consistent two-story

Historic Resource	Status Code	Feet from Project	View	Impacts
				streetscape
				<ul style="list-style-type: none"> The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.
1415 Mission Street, Spanish Colonial Revival-style Telephone Building constructed in 1931.	5S1 (5S3)	576 feet east of the Project Site.	Direct view.	<ul style="list-style-type: none"> The Project will reduce the integrity of setting and feeling for these resources as the overall massing and the secondary facades that are visible along Mission Street are being changed The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.
923 Fremont Avenue, Craftsman style multi-family residence constructed in 1912	5S3	326 feet southeast of the Project Site	Indirect view	<ul style="list-style-type: none"> The Project Site would not affect the streetscape of Fremont Avenue directly, but would indirectly affect the setting of the resource. The historical resource would still remain eligible despite the Project. Therefore, the Project to enlarge and alter the Subject Property would not have significant adverse impact on the historical resource.

Regardless, the historical resources in the vicinity would still remain eligible despite the Project. Therefore, the would not have significant adverse impact on the historical resources in the vicinity.

Secretary of the Interior’s Standards Reviews

As mentioned above, under CEQA, a project that follows *the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing, Historic Buildings or the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the Historical Resource.³⁷ The rehabilitation of the Subject Property was analyzed for conformance with the Standards, as discussed below. New construction adjacent or in the vicinity of other historical resources to a historical resource is considered “related new construction” and numbers nine and ten of the Standards also apply to this Project.

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The Project would retain the street-facing exterior of the Subject Property, while removing the southern two-thirds of the warehouse. The store will retain its original retail use that will require

³⁷ California Environmental Quality Act, 15064.5 (3).

minimal change to its distinctive materials, features, spaces, and spatial relationships of the storefront. The spatial relationship between the warehouse and the store will be retained. However, alterations to the warehouse are required to adapt it to its proposed new use. The southern two-thirds of the warehouse will be removed. However, one-third of the warehouse will be preserved and will retain its character-defining wood-truss roof. Because the majority of the building's character will be preserved, this is considered a minimal change required for adaptive-reuse. Therefore, the Project would conform to Standard 1.

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The Project would retain the historic character of the Subject Property. The distinctive materials and features of the store will be retained or repaired and the spatial relationship between the two-story store and one-story warehouse's remaining section will be maintained. New construction will be placed at twenty feet to the west of the store, so that it retains its massing and design. The removal of distinctive materials, spaces, and spatial relationships that characterize the building's significant facades is largely avoided for the street-facing façade. However, underground parking will be accessed by a staircase behind the remaining part of the warehouse. The historic spatial relationship to the street will be altered by entry from behind the warehouse into a landscaped courtyard and alley. However, these are minor changes required for the Project that will not adversely affect the historic character of the Subject Property. Therefore, the Project would conform to Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The overall design does not create a false sense of historical development and does not add conjectural features from other historic properties to the building. Therefore, the Project would conform to Standard 3.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There have been no changes to the Subject Property that have acquired historic significance in their own right. Therefore, the Project would conform to Standard 4.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The enameled brick of the store's main facade is a distinctive material and the Project will retain the material. The brick construction on the side facade will be preserved. The proposed Project meets Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Any deteriorated brick features will be repaired first and if not possible to be repaired, will be replaced in kind. The deteriorated brick features on the side facades that are pulverizing due to paint will be repaired or replaced. Therefore, the proposed Project meets Standard 6.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical or physical treatments will be used in the Project. Therefore, the Project would conform to Standard 7.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Archaeological Resources were not considered as part of this study and are addressed separately in the EIR for the Mission Bell Project.

Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New construction would be differentiated from the former and will be compatible with the Building's massing, size, scale, and architectural features. While the new building adjacent to the property's west facade will be one and two stories higher than the Subject Property, it will be set back from the Subject Property. The new addition to the rear of the existing subject building extends the existing rectangular footprint, and would not be visible from the street front. Although the roofline would be raised by the Project, the raised portion of the roof does not exceed the store's current height and is set back from the primary facade, maintaining the original massing along the street front (north) façade. The Project would not destroy historic materials that characterize the Subject Property, as discussed above, and is compatible with the massing, scale and architectural features of the Subject Property. Therefore, the Project would conform to Standard 9.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

As previously described, the Project would remove two-thirds of the warehouse and create new openings on the side facades. These alterations would not detract from the character of the Subject Property that would retain the majority of its defining features after Project completion. Therefore, if removed in the future, the essential form and integrity of the historic property and its

environment would be unimpaired. If the new construction is removed in the future, the essential form and integrity of the Subject Property and of other historical resources and district in the Project vicinity would be unimpaired. The proposed Project conforms to Standard 10.

Conclusion

The Project Site is improved with a commercial and warehouse building constructed in 1921, which has been previously evaluated and assigned a CHR Status Code of 6L, indicating that it is ineligible for listing at the national, state, and local level but may warrant special consideration in local planning. However, the Luttrell's Building at 1115 Mission Street is included in the Mission Street Specific Plan, and therefore is still considered a historical resource pursuant to CEQA. The proposed Project would retain the original store, including the primary (north) facade, and demolish two-thirds of the warehouse. It would replace the demolished portion of the one-story warehouse with a two-story multi-family residential building. Three period appropriate windows and an outdoor dining alley will be added to the west façade, and a door will be added to the east facade. New underground parking will be accessed by a staircase behind the remaining part of the warehouse. The Project will retain the important primary features of the Subject Property and the proposed alterations to the building would meet the overall spirit of the Standards for Rehabilitation: "Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." Further, the historic building will maintain its current street-facing façade and important primary character-defining features. The Project has undergone Preservation Design Consultation and has received special consideration in maintaining the historic building's main façade, improving its historic appearance and making necessary repairs so that the building will be preserved and continue in use. A mitigation measure is recommended above to further ensure the project complies with the Standards. Therefore, the Project will not have a significant impact on a historical resource pursuant to CEQA. After project completion with mitigation incorporated Subject Property will continue to retain its status as a historic resource in the Mission Street Specific Plan, and would continue to retain its current 6L CHR status code.

Indirect impacts were analyzed to determine if the Project would result in a substantial material change to the integrity of the resources and their immediate surroundings that would detract from the significance of historical resources within a defined vicinity of the Project. In this regard, the Project will erode the surrounding resources' integrity of setting and feeling as the overall massing, and three facades of the Subject Property are being changed and will not conform to the Secretary of the Interior's Standards. Regardless, the historical resources in the vicinity would still remain eligible despite the Project. Therefore, the Project would not have significant adverse impact on the historical resources in the vicinity.

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Appendix A

Professional Qualifications





Margarita Jerabek, PhD

Historic Resources Director

EDUCATION

Ph.D., Art History,
University of California,
Los Angeles

M.A., Architectural
History, School of
Architecture, University
of Virginia

Certificate of Historic
Preservation, School of
Architecture, University
of Virginia

B.A., Art History,
Oberlin College

30 YEARS EXPERIENCE

AWARDS

2014 Preservation
Award, The Dunbar
Hotel, L.A. Conservancy

2014 Westside Prize,
The Dunbar Hotel,
Westside Urban Forum

2014 Design Award:
Tongva Park & Ken
Genser Square,
Westside Urban Forum

Preservation Design
Awards, RMS Queen
Mary Conservation Plan
2012; and Restoration
and Exhibit Design for
Home Savings,
Montebello, 2016,
California Preservation
Foundation

PROFESSIONAL AFFILIATIONS

California Preservation
Foundation

Santa Monica
Conservancy

Society of Architectural
Historians, Life Member

American Institute of
Architects (AIA),
National Allied Member

Margarita Jerabek has 30 years of professional practice in the United States with an extensive background in historic preservation, architectural history, art history and decorative arts, and historical archaeology. She specializes in Visual Art and Culture, 19th-20th Century American Architecture, Modern and Contemporary Architecture, Architectural Theory and Criticism, Urbanism, and Cultural Landscape, and is a regional expert on Southern California architecture. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History. Margarita has managed and conducted a wide range of technical studies in support of environmental compliance projects, developed preservation and conservation plans, and implemented preservation treatment projects for public and private clients in California and throughout the United States.

Relevant Experience

Margarita has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area and Southern California. She provides expert assistance to public agencies and private clients in environmental review, from due diligence through planning/design review and permitting and when necessary, implements mitigation and preservation treatment measures on behalf of her clients. As primary investigator and author of hundreds of technical reports, plan review documents, preservation and conservation plans, HABS/HAER/HALS reports, construction monitoring reports, salvage reports and relocation plans, she is a highly experienced practitioner and expert in addressing historical resources issues while supporting and balancing project goals.

She is an expert in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the NHPA, NEPA, Section 4(f) of the Department of Transportation Act, CEQA, and local ordinances and planning requirements. Margarita regularly performs assessments to ensure conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and assists clients with adaptive reuse/rehabilitation projects by providing preservation design and treatment consultation, agency coordination, legally defensible documentation, construction monitoring and conservation treatment.

Margarita is a regional expert on Southern California architecture. She has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area as well as in Ventura, Orange, Riverside, San Bernardino and San Diego counties. Beyond her technical skill, she is a highly experienced project manager with broad national experience throughout the United States. She currently manages ESA's on-call historic preservation services with the City of Santa Monica, and Los Angeles Unified School District.



Hanna Winzenried

Architectural Historian

EDUCATION

MSc Historic Conservation, Oxford Brookes University

BA, European Studies, Brigham Young University

3 YEARS OF EXPERIENCE

PROFESSIONAL AFFILIATIONS

The Society for the Protection of Ancient Buildings

Historic England

National Trust for Places of Historic Interest or Natural Beauty

Hanna is an architectural historian with 3 years of academic and professional experience performing building conservation, historic research, and field surveys and conducting plan reviews for conformance with local regulations and ordinances. Prior to joining ESA, she has 1.5 years of experience with the City of Los Angeles, Department of Planning, in the Office of Historic Resources Historic Preservation Overlay Zones (HPOZ) Unit. Her experience and education both in California and abroad have given her a wide set of interdisciplinary skills, including strong technical and research skills.

Relevant Experience

9120 W. Olympic Boulevard Preliminary Assessment and Character Defining Features Analysis for the Harkham Hillel Hebrew Academy, Beverly Hills, CA.

Contributor. ESA prepared a Phase I Historic Resources Assessment for the modernist educational building at 9120 W. Olympic Boulevard. The purpose of the report is to identify and evaluate potential historic resources. The subject property was built in 1963 as the largest Jewish day school. It was built in the Modernist architectural style by the renowned architect Sydney Eisenshtate. The Academy enrollment has outgrown the existing space, and the school is looking for a way to expand its square footage. Hanna performed research and prepared of the reports.

Universal Hilton Environmental Impacts Report and Historic Resources Technical Report for 555 W Universal Terrace Parkway, Los Angeles, CA.

Contributor. ESA prepared an Environmental Impacts Report including a Historic Resources Technical Report. The Universal Hilton Hotel was designed by master architect, William L. Pereira in 1983 in the postmodern style. The hotel was designed to accommodate visitors to the Universal Theme Parks. The hotel management wants to expand the number of rooms by building a large addition. Hanna performed research and assisted in the preparation of the report.

361 Myrtle Street Peer Review Letter for the residence at 361 Myrtle Street, Glendale, CA. *Contributor.* ESA prepared a peer review letter to conduct a peer review of previous historic resource evaluations and analyze potential cumulative impacts of the demolition for the property at 361 Myrtle Street. Previous evaluations and the impact of demolishing the residence were reviewed and analyzed. Hanna performed research and assisted with the preparation of the report.

Nestor Way Affordable Housing Project Historical Resources Technical Report, San Diego, CA.

Contributor. ESA prepared a Historical Resources Technical Report for 1120 and 1130 Nestor Way on behalf of the Federal Housing Administration. The site is improved with a Methodist church built in 1896 in the Gothic Revival architectural style and multiple ancillary buildings. The City of San

Diego is planning on constructing permanent supportive housing containing 100 units, consisting of multi-family affordable housing for formerly homeless seniors 55 years of age and older. Hanna performed research and assisted with the preparation of the reports.

Nelles School Site Redevelopment, Whittier, CA. *Contributor.* ESA oversaw the documentation and architectural salvage of the Fred C. Nelles School. Brookfield Residential plans on redeveloping the whole site into a residential neighborhood while maintaining four historically significant structures. Hanna helped draft a documentation and architectural features salvage plan according to the character defining features list and oversaw the deconstruction of the other school buildings to ensure the architectural features were salvaged correctly.

Riverside Cement Company, Crestmore Plant HAER, Jurupa Valley, CA. *Contributor.* ESA prepared two Historic American Engineering Records for the Crestmore Plant for the White Cement Mill and for the Stock House. The Riverside Cement Company, Crestmore Plant was a former cement plant that was initially constructed in 1909, although went through multiple periods of alteration. Developers proposed an industrial and open space development at the facility. Hanna helped drafts HAERs which had to be made as a mitigating measure for deconstruction of the historically eligible buildings, the White Cement Mill and the Stock House.

Previous Work Experience

Department of City Planning, City of Los Angeles. *Student, Professional Worker.* Hanna assisted HPOZ staff with client walk-ins, which included conducting design review, drafting casework letters/certificates, and performing public outreach/presentations regarding adoption of HPOZs. She conducted field surveys of several HPOZs, using photography and making note of historical elements. She corrected technical elements on databases of HPOZ properties and research historical patterns of neighborhood growth. Hanna also communicated with project applicants to improve their projects' conformance with preservation guidelines.

Museum of Peoples and Cultures, Brigham Young University. *Collections Manager.* Hanna made an itinerary of the entire Brigham Young University (BYU) ethnographic collection. Hanna designed and implemented a social media marketing campaign. She took pictures of 400 objects for the digital collection. She helped develop a new way to house kachina dolls and Polynesian necklaces. She cataloged 25 objects in a collection and housed them for storage.

History Department, Brigham Young University. *Intern.* As part of her duties as an intern, Hanna cataloged and transcribed historic letters to and from Senator Bancroft found in the BYU digital collections. Hanna also created a marketing plan to raise campus awareness for "Europe in a Nutshell" and helped to inaugurate the international event with prominent world leaders.

Publications and Presentations

"Knobs and Knockers: The Conservation of Arts and Crafts Metal Fixtures and Fittings," Oxford Brookes University (2015).

Appendix B

Raab's Subdivision



MAP

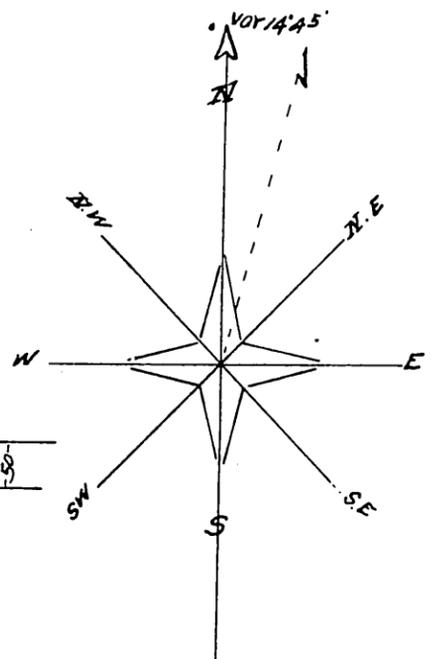
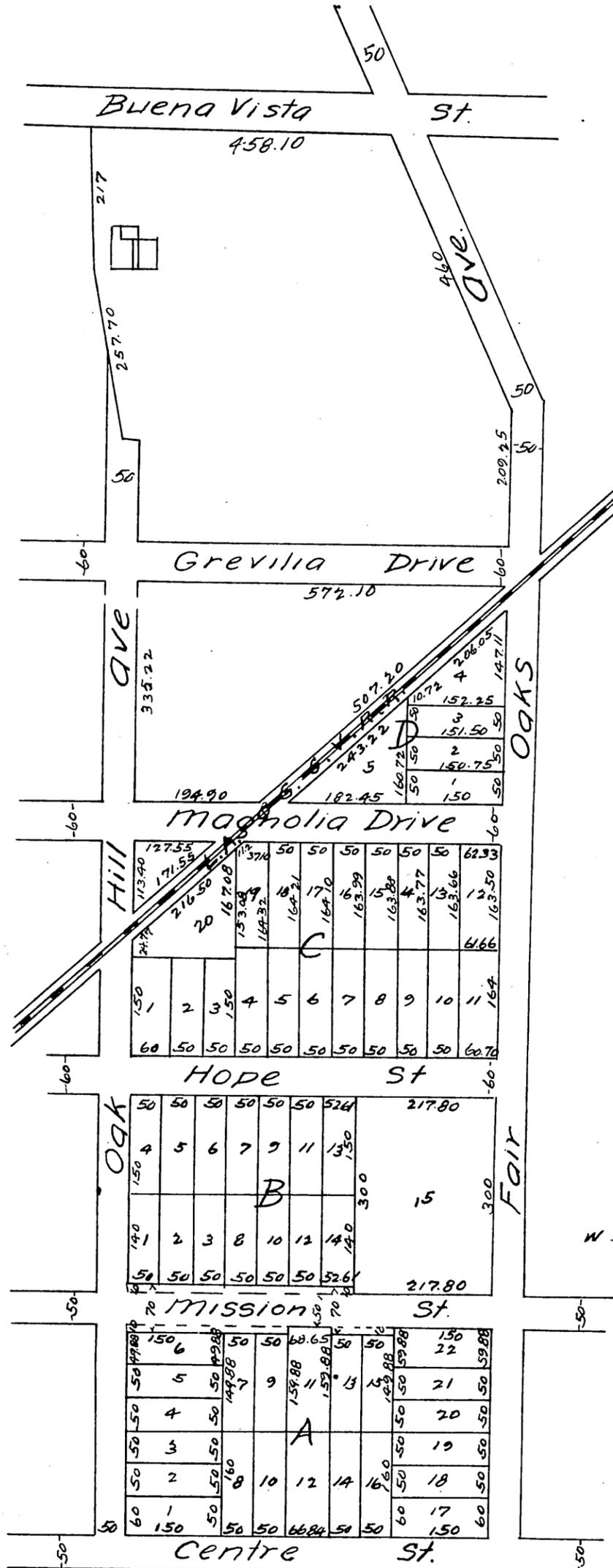
OF

Raab's Subdivision

South Pasadena Los Angeles Co. California.

Being a part of the Rancho San Pascual,
and a correction of a former survey by Jones & Willard.
Surveyed Mar 1887 by J. Norton C. E.

Scale 100 ft = 1 inch
50 100 150 200



a full, true and correct copy of the original
(reduced to the scale of 200 feet to one inch)
recorded April 8, 1887, at 26 min past 12 m.
at request of D. Raab,
Frank A. Gibson County Recorder.
By Geo Bugbee Deputy.

Appendix C

Sanborn Maps



238
SOUTH PASADENA

232

MISSION

237
DIAMOND AV.

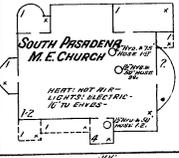
238
FREMONT AV.

FAIRVIEW AV.



(583)

3915



EL CENTRO

244



234

MISSION

238

FREMONT AV.

MOUND AV.

FAIR OAKS AV.

246

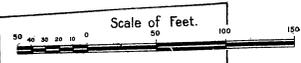
3916

3917



EL CENTRO

245

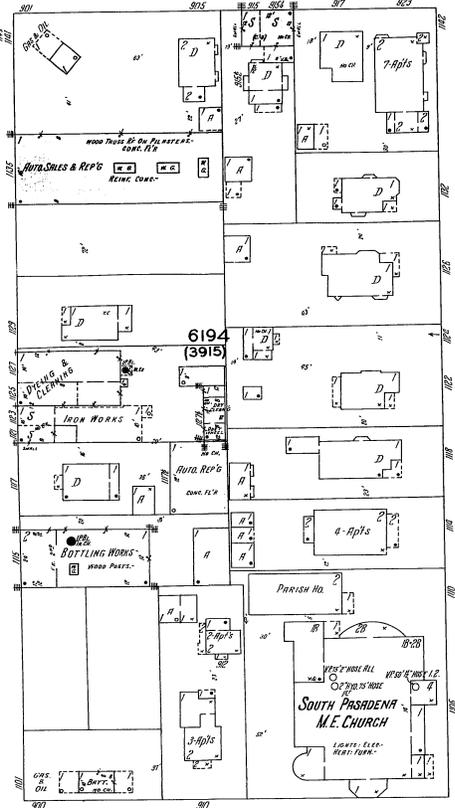


PASADENA CAL. VOL. 8
635
 37-238-243-244 VOL. 2
SOUTH PASADENA

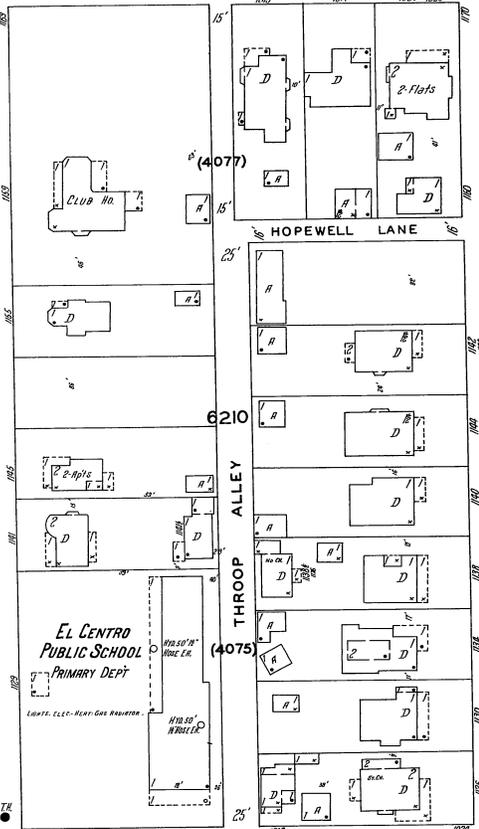


619

637 FREMONT AV.



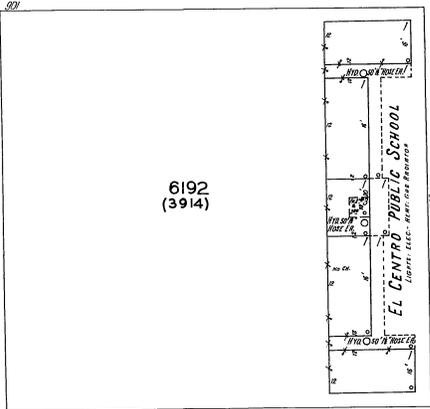
FAIRVIEW AV.



FAIRVIEW AV.

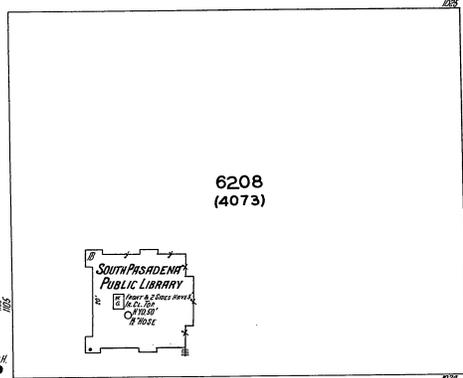
MISSION

618

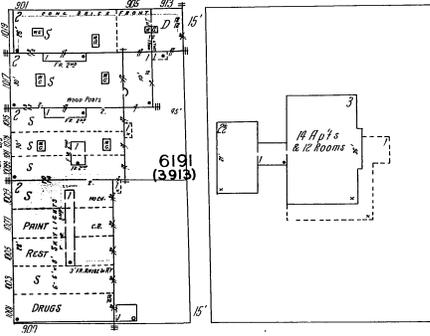


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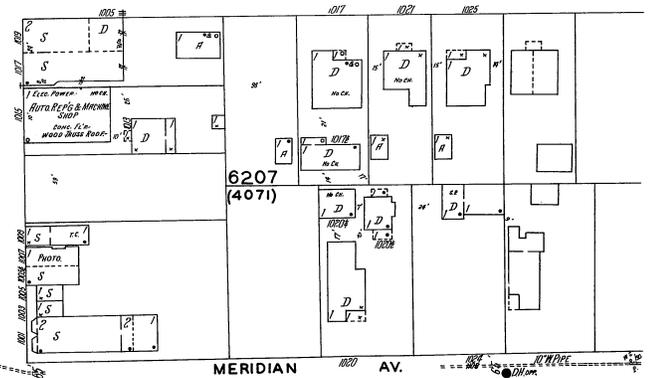
EL CENTRO



SCALE 50 FT. TO ONE INCH
 Copyright 1920 by the Standard Map Co.



MERIDIAN AV.



MERIDIAN AV.

633

636

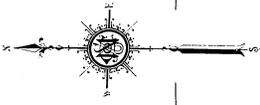
OXLEY

WINDSOR PL.

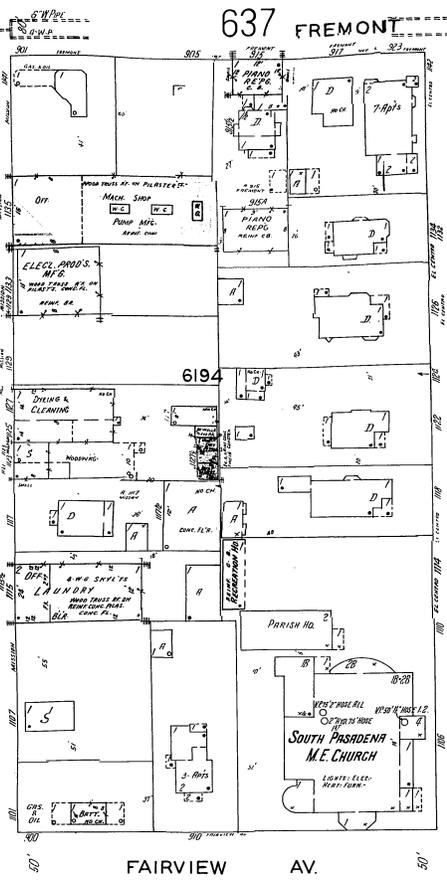
HOPEWELL LANE

637 FREMONT AV.

(309) CAT. 07
 PASADENA CAL. VOL. 2
635
 (237-238-243-244 VOL. 2)
SOUTH PASADENA



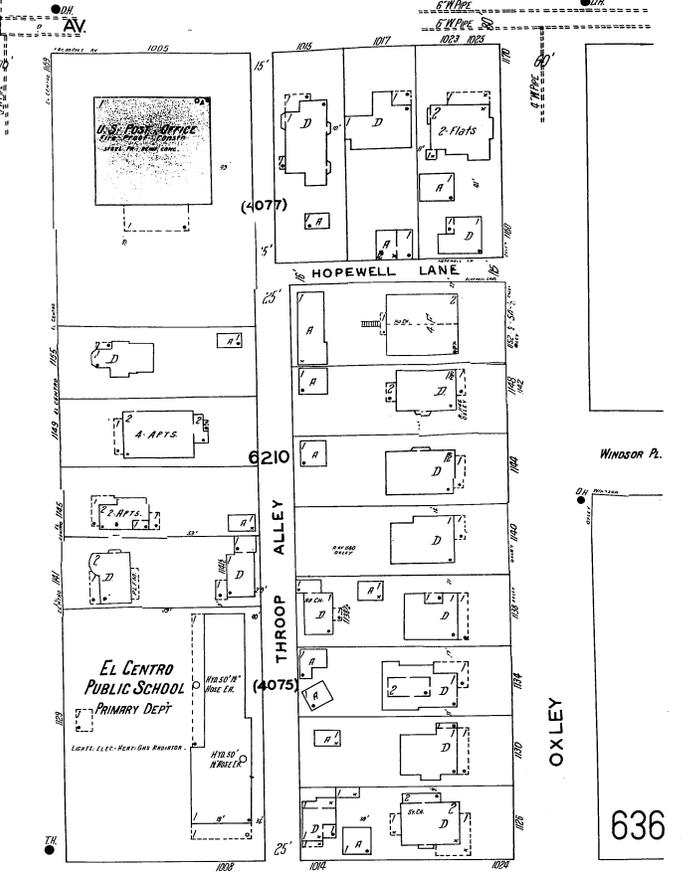
619



637 FREMONT AV.

6194

FAIRVIEW AV.

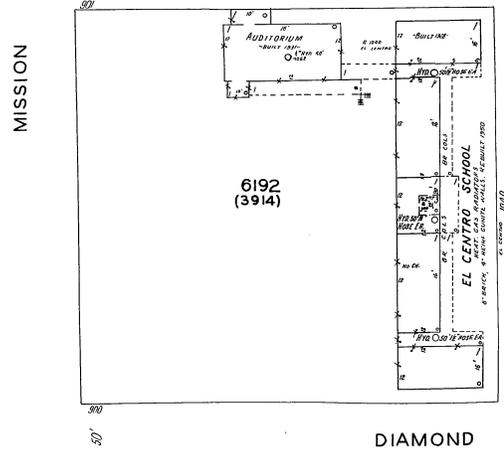


FAIRVIEW AV.

THROOP ALLEY

636

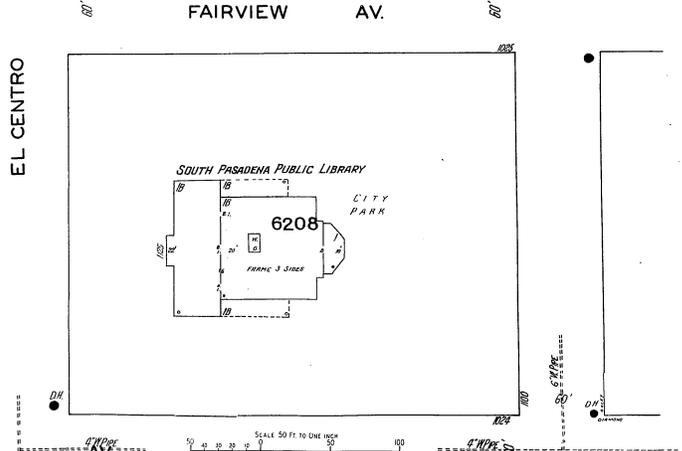
618



MISSION

6192 (3914)

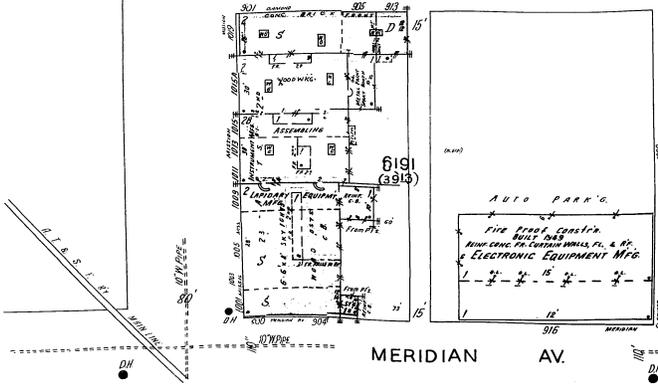
DIAMOND



EL CENTRO

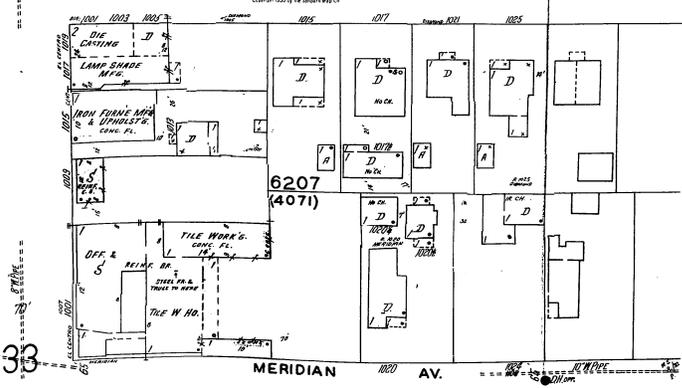
SOUTH PASADENA PUBLIC LIBRARY
 6208
 CITY PARK
 FRANCIS J. STREET

FAIRVIEW AV.



MERIDIAN AV.

6191 (3913)



MERIDIAN AV.

6207 (4071)

638

Appendix D

Building Permits

115 Mission Street

Lot 7, Block A, Raab Subdivision

1115

Lot 7



CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street

DATE: 2/10/64

OWNER: Superior Shirt Laundry

CONTRACTOR: Torr Electric

PERMIT NUMBER: 53856 VALUE: FEE: 3.50

JOB: 1 2HP motor; 1 5HP motor

ROUGH INSPECTION

FINAL INSPECTION

INSPECTOR: *Chaven*

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street DATE: 2/13/64
OWNER: Superior Shirt Laundry
CONTRACTOR: Morrow & Holman
PERMIT NUMBER: 53881 VALUE: FEE: 4.00
JOB: 1 water pipe

ROUGH INSPECTION

Replacement of commercial washing machine -
discharges into indirect drain -

FINAL INSPECTION 2-14-64

INSPECTOR: *Lowford*

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission DATE: June 25, 65
OWNER: Superior Shirt Laundry
CONTRACTOR: Torr Elect.
PERMIT NUMBER: 58225 VALUE: FEE: \$2.20
JOB: 2 receptacles

ROUGH INSPECTION

6-28-65

FINAL INSPECTION

6-28-65

INSPECTOR:



ADDRESS 1115 Mission St. DATE 1/25/66
 OWNER Larry Halvarson
 CONTRACTOR Pasadena Awning Co. Sy 3-6602
 PERMIT NUMBER 59791 VALUE \$260.00 FEE \$3.00
 JOB Install 2 canvas pull-up awnings
16'x30" extension
Rough-Inspection

Work Not Started 2-4-66 Type
2-8-66 Type
Work Not Started 2-10-66 Free

Final Inspection 2-25-66
 Inspector A.E. Smith

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street

DATE: 9/30/63

OWNER: Superior Shirt Laundry

CONTRACTOR: Torr Electric

PERMIT NUMBER: 52959

VALUE:

FEE:

3.00

JOB: 120V Boiler control

ROUGH INSPECTION

FINAL INSPECTION

INSPECTOR:

10-1-63
Craven

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street

DATE: 9/23/63

OWNER: Superior Shirt Laundry

CONTRACTOR: Morrow & Holman

PERMIT NUMBER: 52892

VALUE:

FEE: 6.00

JOB: 1 water heater; 1 gas pipe

ROUGH INSPECTION

9-20-63 - Gas test ok SRN.

9-23-63 - Slabbing Gas line -
Sewer Vent Pipe Section

← OK When Elect. ok

FINAL INSPECTION

INSPECTOR:

AG#.-

200^m BTU.-

115V - Safety. Basoid.

200° Safety limit on line from
Boiler to Storage -

No popoff on Boilers -

Popoff on Storage tank -

No Water line permit -

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street DATE: 5/13/63
OWNER: Superior shirt Laundry
CONTRACTOR: Torr Electric
PERMIT NUMBER: 51911 VALUE: FEE: 2.50
JOB: 1-3/4HP motor (fan)

ROUGH INSPECTION

FINAL INSPECTION

INSPECTOR:

5-14-63
Crown

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street

DATE: 5/29/62

OWNER: Superior Shirt Laundry

CONTRACTOR: Morrow & Holman

PERMIT NUMBER: 49318

VALUE:

FEE: 4.00

JOB: gas pipe

ROUGH INSPECTION

FINAL INSPECTION

INSPECTOR:

5-29-62
[Signature]

PARICOR BOILER

2035 E. 37TH L.A. 587

A.D. 38263.

CITY OF SOUTH PASADENA

JOB CARD

ADDRESS: 1115 Mission Street DATE: June 8, 1962
OWNER: Superior Shirt Co.
CONTRACTOR: Sid E. Parker Boiler Mfg. Co.
PERMIT NUMBER: 49384 VALUE: FEE: 3.00
JOB: Steam Boiler

ROUGH INSPECTION

FINAL INSPECTION

INSPECTOR:

6-1-62.

SKINNER

JOB CARD

Address: 1115 Mission Street

Date: Nov. 10, 1961

Owner: A. E. Turner

Contractor: Virgin Roof Co.

Permit Number: 47903 Value: 120.00 Fee: 3.00

Job: Reroof garage

Rough Inspection

Final Inspection 11-24-61

Inspector

Inspector *Nelson*

JOB CARD

Address: 1115 Mission Street

Date: Oct. 31, 1960

Owner: Superior Shirt Laundry

Contractor: Torr Electric

Permit Number: 44813

Value:

Fee: 3.80

Job: 2 switches; 4 receptacles; 2 light fix; 1 motor
~~BLANKET PERMIT~~

Rough Inspection

Final Inspection

Inspector

Inspector

JOB CARD

Address: 1115 Mission Street

Date: Oct. 11, 1960

Owner: Superior Shirt

Contractor: Torr Electric

Permit Number: 44697

Value:

Fee: 2.40

Job: 1 switch, 3 light fixtures

Rough Inspection

Final Inspection 10-13-60

Inspector

Crawley
Inspector

J O B C A R D

Address: 1115 Mission Street

Date: Sept. 27, 1960

Owner: A. E. Turner (Superior Shirt Laundry)

Contractor: Owner

Permit Number: 44607

Value: 100.00

Fee: 2.00

Job: cover walls & ceiling w/plywood on existing store front.

Rough Inspection

Final Inspection

Inspector

Inspector

CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS

LOCATION

1115 Mission St

LOT

BLOCK

TRACT

OWNER

E. M. Turner

DESCRIPTION

Parapet Wall Correction

\$ 250⁰⁰-

DATE

NUMBER

CLASSIFICATION

CONTRACTOR

PERMIT
FEE

11-19-54

32279

PLAN CHECKING

BUILDING

TEMP POWER

ELEC. WIRING

EXCAVATION

PLUMBING

SEWER

HOUSE CONN.

DRIVEWAY

FURNACE

Jarchild Const Co

200

CITY OF SOUTH PASADENA

JOB CARD

BUILDING DEPARTMENT

LOCATION: 1115 Mission St

E. M. Turner

BUILDING: Parapet Wall Connection

SUBS IN:

GENERAL CONTRACTOR: Fairchild Const Co

PERMIT No. 32279 11/19/54

ELECTRICAL "

PLUMBING "

ITEM	DATE CALLED	TIME	DATE INSPECT		DATE CLEARED	INSPECTOR
			(1)	(2)		
TRENCHES		A.M. P.M.				
SEWER CONNECTION		A.M. P.M.				
FRAME (INCLUDING VENTS & FURN.)		A.M. P.M.				
ROUGH ELECT.		A.M. P.M.				
ROUGH PLUMBING		A.M. P.M.				
INSIDE LATH OUTSIDE		A.M. P.M.				
FINAL PLUMB.		A.M. P.M.				
FINAL ELECT.		A.M. P.M.				
FINAL BUILD.		A.M. P.M.				
CLEAN UP		A.M. P.M.				

OK
 11-22-54
 E.M.T.

ITEM**DATE****REMARKS**

**CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS**

LOCATION

1115 - MISSION ST.

LOT

BLOCK

TRACT

OWNER

A. E. TURNER

DESCRIPTION

RE ROOF

\$ 196.00

DATE

NUMBER

CLASSIFICATION

CONTRACTOR

PERMIT
FEE

1-2-48

17500

BUILDING

JOHN W. LYLE Roofing

2 00

ELEC. WIRING

ELEC. FIXTURES

PLUMBING

SEWER

HOUSE CONN.

DRIVEWAY

FURNACE

CITY OF SOUTH PASADENA

BUILDING AND ALLIED PERMITS

LOCATION

1115 MISSION ST.

LOT

7

BLOCK A TRACT

RAAB SUB.

OWNER

MRS. McCLUER

REPAIRS

TRENCH	FRAME	WIRING	RGH. PLMB.	SEWER	FIN. PLMB.	FIN. BLDG.	ELEC. FD
--------	-------	--------	------------	-------	------------	------------	----------

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	ESTIMATED COST
12-9-33	1264	BUILDING	HARRY A. LEWIS	1400 00
12-23-33	1278	ELEC. WIRING	C. L. PEIRCE	145
		ELEC. FIXTURES		
12-13-33	1267	PLUMBING	FREEMAN & HEINS	300
		SEWER		
		HOUSE CONN.		

**CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS**

LOCATION 1115 MISSION

LOT 7 BLOCK A TRACT REABS

OWNER JAMES MCCLUER

NEW HOUSE

TRENCH	FRAME	WIRING	RGH. PLMB.	SEWER	FIN. PLMB.	FIN. BLDG.	ELEC. FIX.
--------	-------	--------	------------	-------	------------	------------	------------

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	ESTIMATED COST
------	--------	----------------	------------	----------------

<u>3-1-21</u>	<u>2644</u>	<u>BUILDING</u>	<u>D. SAYLOR</u>	<u>9000</u> °°
		<u>ELEC. WIRING</u>		
		<u>ELEC. FIXTURES</u>		
		<u>PLUMBING.</u>		
		<u>SEWER</u>		
		<u>HOUSE CONN.</u>		

NUMBER
&
STREET

1115 Mission St.

5-11-82

PUBLIC WORKS DEPARTMENT
MISCELLANEOUS FEE RECEIPTBUILDING DIVISION • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101

RECEIVED FROM

Luttrell's Upholstery

MAIL ADDRESS

1115 Mission St
S.P. 91030

FOR:

 *PLAN CHECK FEE FOR VALUE OF \$ _____ FILING FEE FOR PLANNING COMMISSION OR ZONING. A.C.O. _____ _____ _____ _____ _____ _____

REMARKS _____

AMOUNT DUE \$ 100.00WHEN PROPERLY VALIDATED, BELOW, THIS IS A RECEIPT FOR THE AMOUNT
SHOWN ON THE VALIDATION STAMP.

: 212 111

100.00 A ←

*WARNING: Plan Check Fees, where no action is taken by the applicant in Ninety
(90) Days and no Building Permit is issued, are forfeited to the City.

PERMANENT

NUMBER & STREET

1115 MISSION, 7/14/80

APPLICATION FOR A SIGN PERMIT
BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR OWNER STATE LIC. NO.
MAIL ADDRESS CITY BUS. LIC.
ENGINEER STATE LIC. NO.
MAIL ADDRESS PHONE
OWNER DO CALIF. PINE PHONE 799-7167
MAIL ADDRESS 1115 MISSION

DESCRIPTION OF WORK

28" x 30' WALL SIGN
WOOD SIGN 5/8 PLYWOOD
ONLY SIGN PERMITTED

GROUND SIGN [] TEMPORARY SIGN [] WALL SIGN [X]
ROOF SIGN [] PROJECTING SIGN [] COMB. SIGN []

VALUATION \$ 125.00

NOTE! PROVIDE PLOT PLAN ON BACK OF ORIGINAL COPY

SIGN MANUFACTURER SELF TOTAL KVA NONE
NOTE: THE U. L. APPROVAL DECAL SHALL BE EXPOSED FOR ELECTRICAL INSPECTOR AT TIME OF INSPECTION.
PLAN CHECK FEE & VALIDATION

INFORMATION PROVIDED BY BUILDING DEPARTMENT
LOT NO. 7 BLOCK NO. A TRACT RAAB
USE ZONE CM FIRE ZONE F
CHECKER'S APPROVAL
P. C. FEE 101.075000 \$ 10.07
PERMIT FEE

WHEN PROPERLY VALIDATED, BELOW, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK DESCRIBED HEREON.

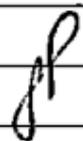
: 967 514 010.07A

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

Bernice L. Hessing
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

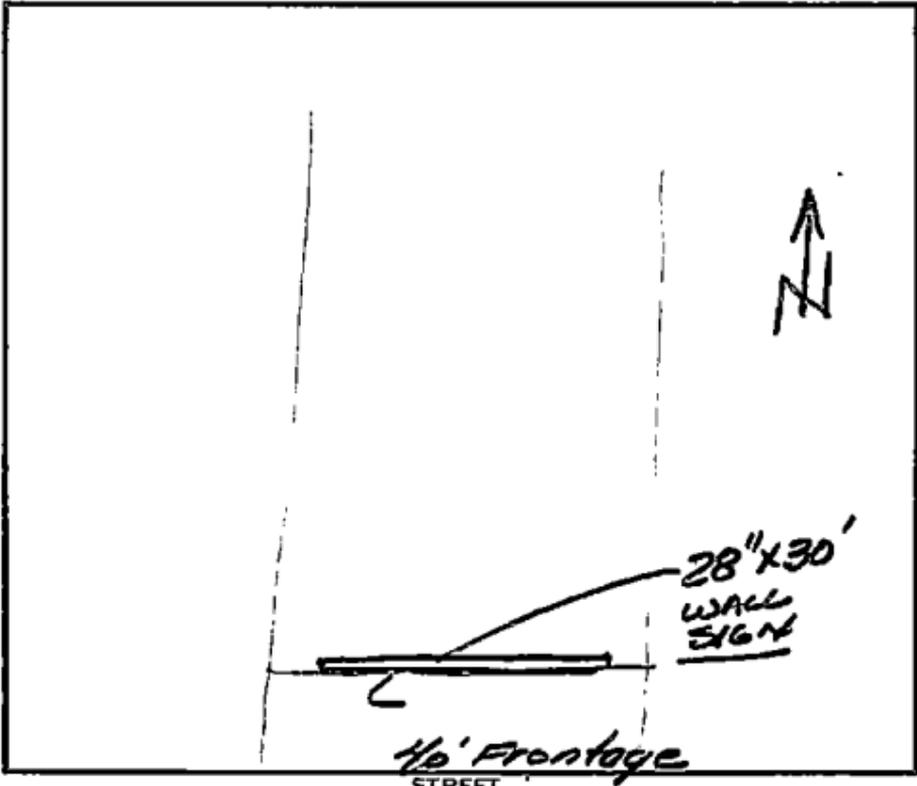
PERMANENT

INSPECTIC. RECORD

	DATE	APPROVED
EXCAVATION		
CONNECTION		
FRAMING		
PARTIAL OR MISC. INSPECTIONS		
FINAL	1/29/81	

PLOT PLAN

NOTE: LOCATE ALL STRUCTURES ON LOT.



NUMBER
&
STREET

1115 Mission St. ^{750.00}

APPLICATION FOR AN
ELECTRICAL PERMIT
BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR <i>Mudrack Electric</i>	STATE LIC. NO. 21862v
MAIL ADDRESS 1012 Fair Oaks Dr.	PHONE 7997526
OWNER <i>Superior Shirt Laundry</i>	CITY LIC. NO. 7991
MAIL ADDRESS 1115 Mission St.	OWNER PHONE 899203

DESCRIPTION OF WORK

NEW BUILDING	EXISTING BUILDING	NO SERV CHANGE	RECONNECT OR RESEAL
--------------	-------------------	----------------	---------------------

FEE COMPUTATION

FIXTURES	RECEPTACLES	SWITCHES	First 10 @ 25¢ ea Ea. Additional @ 15¢ ea.	\$
RANGES	OVENS	GARB. DISP.	} @ 1.50 ea.	\$
WATER HTR.	FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W		Ceiling Heaters Up to 1650 W		
WASHING MACHINES			@ 1.00 ea.	\$
220 VOLT OUTLETS			@ 25¢ ea.	\$
SIGN FIXTURES			@ 2.00 ea.	\$
AIR HEATERS OVER 1650 W			@ 2.50 ea.	\$
TEMPORARY POWER POLE			2.00 (NO ADD'L FEE)	\$
NEW SERVICE UP TO 100 AMPS			2.00	\$
" " 200 AMPS			2.50	\$
" " 400 AMPS			3.00	\$
" OVER 400 AMPS			3.50	\$
Motors under 2 hp @ 1.50 ea.	\$		Motors 50 - 100 hp @ 5.00 ea.	\$
<i>1-5hp</i> Motors 2-8 hp @ 2.00 ea.	\$ 2.00		Motors 100-500 hp @ 10.00 ea.	\$
Motors 8-15 hp @ 2.50 ea.	\$		Motors 500-1000 hp @ 15.00 ea.	\$
Motors 15-50 hp @ 3.00 ea.	\$		Motors over 1000 hp @ 20.00 ea.	\$

COLUMN TOTAL → \$ 2.00

INVESTIGATION FEE		\$
OTHER		\$
BLANKET PERMIT	3.00	\$
ELECTRICAL PERMIT	2.50	\$ 2.50
TOTAL		\$ 4.50

WHEN PROPERLY VALIDATED
HERE, THIS FORM CONSTITUTES
A PERMIT FOR THE WORK
DESCRIBED HEREON.

424815 N -4.50 EL

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

E. Mudrack

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT
PERMANENT

INSPECTION RECORD

T. P. P.	DATE	APPROVED
GROUND WORK		
ROUGH WIRING		
FINISH		
FIXTURES		
EDISON NOTIFIED		
PARTIAL OR MISC. INSPECTIONS		

FINAL ELECTRICAL INSPECTION

10-20-70 *[Signature]*

NUMBER & STREET

1115 Mission

PUBLIC WORKS DEPARTMENT
MISCELLANEOUS FEE RECEIPT

BUILDING DIVISION • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-8101

RECEIVED FROM

So. Caly. Pine Furniture

MAIL ADDRESS

FOR:

*PLAN CHECK FEE FOR VALUE OF \$ _____

FILING FEE FOR PLANNING COMMISSION OR ZONING.

Commercial C.O.

REMARKS

AMOUNT DUE \$ 100.00

WHEN PROPERLY VALIDATED, BELOW, THIS IS A RECEIPT FOR THE AMOUNT SHOWN ON THE VALIDATION STAMP.

172 320

100.00 A ←

*WARNING: Plan Check Fees, where no action is taken by the applicant in Ninety (90) Days and no Building Permit is issued, are forfeited to the City.

PERMANENT

NUMBER
&
STREET

1115 Mission St.

MISCELLANEOUS FEE RECEIPT
BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

RECEIVED FROM

Shirley K. Nelson P. Eng.

MAIL ADDRESS

FOR:

- PLAN CHECK FEE FOR VALUE OF \$ _____
- FILING FEE FOR PLANNING COMMISSION OR ZONING.
- _____
- _____
- Commercial C.O.
- _____
- _____
- _____
- _____

REMARKS

AMOUNT DUE \$ 500

WHEN PROPERLY VALIDATED, BELOW, THIS IS A RECEIPT FOR THE AMOUNT SHOWN ON THE VALIDATION STAMP.

*WARNING: PLAN CHECK FEES 770 028 WHICH ARE NOT TAKEN OFF OF APPLICATION IN NINETY (90) DAYS AND NO BUILDING PERMIT IS ISSUED, ARE FORFEITED TO THE CITY.

PERMANENT

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena, California 91030
(818) 789-9101

PLANNING & BUILDING DIVISION 2279

PLAN CHECK APPLICATION

Building Address <u>1115 Mission St. S. Pasadena</u>		
Lot No.	Block	Tract
Owner <u>Mr. Andrew Cherng</u>		
Mailing Address <u>157 S. Pasadena Av.</u>		
City <u>S. Pasadena</u>	Zip <u>91030</u>	Tel. <u>(213) 57-3698</u>
Arch., Engr., Designer <u>Ining Lu</u> *		
Address <u>2500 E. FOOTHILL BLVD #211</u>		Tel. <u>818 795-1250</u>
City <u>Pasadena</u>	Zip <u>91107</u>	State Lic. No. <u>S.C. 3042</u>
Proposed Construction <u>Seismic Strengthening</u>		
<u>Div. 88 Full Compliance</u>		

Sq. Ft. Size <u>4620#</u>	No. Stories <u>2</u>	No. Dw. Units <u>—</u>
New <input type="checkbox"/>	Add. <input type="checkbox"/>	Alter. <input type="checkbox"/>
Repair <input checked="" type="checkbox"/>	Demolition <input type="checkbox"/>	
U.B.C. Edition <u>91</u>	Type Const. <u>V</u>	Occ. Group <u>B-2</u>
Occ. Load	F. D. Appr. Required <input type="checkbox"/>	H. D. Appr. Required <input type="checkbox"/>
Grading Permit <input type="checkbox"/>	Obtained <input type="checkbox"/>	N.A. <input type="checkbox"/>
Use Permit Required <input type="checkbox"/>	Des. Rev. Required <input type="checkbox"/>	APN <u>PA110</u>
No. Bedrooms	Lot Size	
Special Conditions		

VALUATION: \$ 40,000

F	PLAN CHECKING FEE		
E	TOTAL	<u>#826</u>	<u>22718</u>
E	Permit No. <u>13727</u>		Date <u>10-27-92</u>
S			

***WARNING:** Plan Check Fees, where no action is taken by the applicant in One Hundred Eighty (180) Days and no Building Permit is Issued, are forfeited to the City.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant Ining Lu Date 10-27-92

Mailing Address 2500 E. FOOTHILL BLVD #211

City, State, Zip Pasadena, Ca. 91107

NUMBER & STREET

1115 Mission St.

8100.-

APPLICATION FOR AN ELECTRICAL PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR <i>Mudleson Electric</i>	STATE LIC. NO. 218622
MAIL ADDRESS 1012 Fair Oaks Dr.	PHONE 7997526
OWNER <i>Superior Shirt Laundry</i>	CITY LIC. NO. 2410
MAIL ADDRESS 1115 Mission St.	OWNER PHONE Sy 99205

DESCRIPTION OF WORK

NEW BUILDING	EXISTING BUILDING	NO SERV. CHANGE	RECONNECT OR RESEAL
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FEE COMPUTATION

FIXTURES	RECEPTACLES	SWITCHES	First 10 @ 25c ea. Ea. Additional @ 15c ea.	\$
RANGES	OVENS	GARB. DISP.	} @ 1.50 ea.	\$
WATER HTR.	FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W		Ceiling Heaters Up to 1650 W		

WASHING MACHINES	@ 1.00 ea.	\$
220 VOLT OUTLETS	@ .25c ea.	\$
SIGN FIXTURES	@ 2.00 ea.	\$
AIR HEATERS OVER 1650 W	@ 2.50 ea.	\$
TEMPORARY POWER POLE	2.00 (NO ADD'L FEE)	\$
NEW SERVICE UP TO 100 AMPS	2.00	\$
" " 200 AMPS	2.50	\$
" " 400 AMPS	3.00	\$
" OVER 400 AMPS	3.50	\$

1-1/2 hp	Motors under 2 hp @ 1.50 ea.	\$ 1.50	Motors 50-100 hp @ 5.00 ea.	\$
	Motors 2-8 hp @ 2.00 ea.	\$	Motors 100-500 hp @ 10.00 ea.	\$
	Motors 8-15 hp @ 2.50 ea.	\$	Motors 500-1000 hp @ 15.00 ea.	\$
	Motors 15-50 hp @ 3.00 ea.	\$	Motors over 1000 hp @ 20.00 ea.	\$

COLUMN TOTAL → \$ 1.50

INVESTIGATION FEE		\$
OTHER		\$
BLANKET PERMIT	3.00	\$
ELECTRICAL PERMIT	2.50	\$ 2.50
TOTAL		\$ 4.00

WHEN PROPERLY VALIDATED
HERE, THIS FORM CONSTITUTES
A PERMIT FOR THE WORK
DESCRIBED HEREON.

1287 1/2 6 N -4.00 EL

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

E. Mudleson

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT
PERMANENT

INSPECTION RECORD

	DATE	APPROVED
T.P.P.		
GROUND WORK		
ROUGH WIRING		
FINISH		
FIXTURES		
EDISON NOTIFIED		
PARTIAL OR MISC. INSPECTIONS		
<u>LEFT CORRECTIONS —</u>		
1- IDENTIFY CKTS.		
2- ADD'L STRAPPING	4-8-71	Dwan
FINAL ELECTRICAL INSPECTION	5-13-71	Dwan

NUMBER

&
STREET

1115 MISSION ST.

PUBLIC WORKS DEPARTMENT

APPLICATION FOR A
PLUMBING PERMIT

BUILDING DIVISION • CITY OF SOUTH PASADENA, CALIFORNIA

TELEPHONE 799-9101

CONTRACTOR <i>MORROW & HOLMAN</i>	ST. LIC. NO. <i>119485</i>
MAIL ADDRESS <i>1115 MISSION ST.</i>	CITY LIC. NO.
<i>SOUTH PASADENA</i>	PHONE <i>799-3115</i>
OWNER <i>M & H PLUMBING</i>	PHONE
MAIL ADDRESS	

PROPOSED USE		USE ZONE
NO. EACH FIXTURE	NO. EACH FIXTURE	NO. EACH FIXTURE
BATHTUBS	ACC. SINKS	WASHING MACHINES
STALL SHOWERS	FLOOR SINKS AND DRAINS	WATER HEATERS
LAVATORY'S	"P" TRAPS	VENTS
WATER CLOSETS	GARBAGE DISPOSALS	WATER PIPE
URINALS	DISHWASHERS	SPRINKLER SYSTEM
KITCHEN SINKS	LAUNDRY TRAYS	DRINKING FOUNTAINS

TOTAL FOR ABOVE FIXTURES	@ 4.00	\$ <u>4.00</u>
SAND OR GREASE TRAPS	@ 5.00	\$ _____
GAS PIPE SYSTEM, 1.5 OUTLETS	5.00	\$ _____
+ EACH ADDITIONAL OUTLET	1.00	\$ _____
SOIL OR VENT PIPE ALTER OR REPAIR	4.00	\$ _____
DILUTING TANK OR WATER SOFTENER	7.00	\$ _____
BUILDING DRAIN, ALTER OR REPAIR	8.00	\$ _____
SEWERS, CESSPOOLS, SEPTIC TANKS	@ 12.00	\$ _____
SWIM POOL	20.00	\$ _____
ADDITIONAL INSPECTION	@ 10.00	\$ _____
INVESTIGATION FEE		\$ _____
OTHER <i>SOLAR WATER HEATING</i>		\$ _____
BLANKET PERMIT <i>AIRRO # SP-1974</i>	6.00	\$ _____
PLUMBING PERMIT	5.00	\$ <u>5.00</u>
WHEN PROPERLY VALIDATED, HERE, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.	TOTAL FEE \$	<u>9.00</u>

X

Morrow & Holman

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

PERMANENT

2-3 009.00 A

INSPECTION RECORD

GROUND WORK	DATE	APPROVED
WATER LINES		
ROUGH PLUMBING		
SHOWER PAN		
SEWER, SEPTIC TANK		
HEATER VENTS		
GAS TEST		
GAS CO. NOTIFIED		
PARTIAL OR MISC. INSPECTIONS		
FINAL PLUMBING INSPECTION	7/16/79	8

NUMBER & STREET

1115 Mission St.

APPLICATION FOR AN ELECTRICAL PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR <i>Mendlesohn Electric</i>	STATE LIC. NO. 218622
MAIL ADDRESS 1012 Fair Oaks Ave.	PHONE 7597526
OWNER <i>Superior Shirt Laundry</i>	CITY LIC. NO. 2410
MAIL ADDRESS 1115 Mission St.	OWNER PHONE 5999205

DESCRIPTION OF WORK

NEW BUILDING	EXISTING BUILDING	NO SERV. CHANGE	<input checked="" type="checkbox"/> RECONNECT OR RESEAL
--------------	-------------------	-----------------	---

FEE COMPUTATION				
FIXTURES	RECEPTACLES	SWITCHES	First 10 @ 25c ea. Ea. Additional @ 15c ea.	\$

RANGES	OVENS	GARB. DISP.	} @ 1.50 ea.	\$
WATER HTR.	FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W		Ceiling Heaters Up to 1650 W		

WASHING MACHINES @ 1.00 ea. \$

220 VOLT OUTLETS @ .25c ea. \$

SIGN FIXTURES @ 2.00 ea. \$

AIR HEATERS OVER 1650 W @ 2.50 ea. \$

TEMPORARY POWER POLE 2.00 (NO ADD'L FEE) \$

NEW SERVICE UP TO 100 AMPS *100 Amp* 2.00 \$ *2.00*

" " 200 AMPS 2.50 \$

" " 400 AMPS 3.00 \$

" OVER 400 AMPS 3.50 \$

Motors under 2 hp @ 1.50 ea.	\$	Motors 50-100 hp @ 5.00 ea.	\$
Motors 2-8 hp @ 2.00 ea.	\$	Motors 100-500 hp @ 10.00 ea.	\$
Motors 8-15 hp @ 2.50 ea.	\$	Motors 500-1000 hp @ 15.00 ea.	\$
Motors 15-50 hp @ 3.00 ea.	\$	Motors over 1000 hp @ 20.00 ea.	\$

————— COLUMN TOTAL —————> \$

INVESTIGATION FEE \$

OTHER \$

BLANKET PERMIT 3.00 \$

ELECTRICAL PERMIT 2.50 \$ *2.50*

TOTAL \$ *4.50*

WHEN PROPERLY VALIDATED
HERE, THIS FORM CONSTITUTES
A PERMIT FOR THE WORK
DESCRIBED HEREON.

17643 1 E -4.50 fl

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

E. Mendlesohn

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT
PERMANENT

INSPECTION RECORD

	DATE	APPROVED
T. P. P.		
GROUND WORK		
ROUGH WIRING	7-27-71	<i>[Signature]</i>
FINISH		
FIXTURES		
EDISON NOTIFIED	7-27-71	<i>[Signature]</i>
PARTIAL OR MISC. INSPECTIONS		
FINAL ELECTRICAL INSPECTION	7-27-71	<i>[Signature]</i>

NUMBER
&
STREET

1115 Mission

MISCELLANEOUS FEE RECEIPT
BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-0101 • 682-2175

RECEIVED FROM

John R. Lusk

MAIL ADDRESS

2290 Adair

San Marino

FOR:

*PLAN CHECK FEE FOR VALUE OF \$ _____

FILING FEE FOR PLANNING COMMISSION OR ZONING.

C.O.

REMARKS _____

AMOUNT DUE \$ 5.00

WHEN PROPERLY VALIDATED, BELOW, THIS IS A RECEIPT FOR THE AMOUNT SHOWN ON THE VALIDATION STAMP.

7134 5 0 -5.00 115

*WARNING: PLAN CHECK FEES, WHERE NO ACTION IS TAKEN BY THE APPLICANT IN NINETY (90) DAYS AND NO BUILDING PERMIT IS ISSUED, ARE FORFEITED TO THE CITY.

PERMANENT

NUMBER
&
STREET

1115 Mission St.

Ready.

APPLICATION FOR AN
ELECTRICAL PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR	Torr Electric	STATE LIC. NO.	171664
MAIL ADDRESS	1327 Huntington Dr.	PHONE	79959110
OWNER	Superior Shirt Laundry	CITY LIC. NO.	
MAIL ADDRESS		OWNER PHONE	

DESCRIPTION OF WORK

NEW BUILDING	*	EXISTING BUILDING	*	NO SERV. CHANGE	RECONNECT OR RESEAL
--------------	---	-------------------	---	-----------------	---------------------

FEE COMPUTATION					
FIXTURES	RECEPTACLES	SWITCHES	First 10 @ 25c ea. Ea. Additional @ 15c ea.		\$.75

RANGES	OVENS	GARB. DISP.	} @ 1.50 ea.	\$
WATER HTR.	FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W		Ceiling Heaters Up to 1650 W		

WASHING MACHINES	@ 1.00 ea.	\$
------------------	------------	----

220 VOLT OUTLETS	@ .25c ea.	\$
------------------	------------	----

SIGN FIXTURES	@ 2.00 ea.	\$
---------------	------------	----

AIR HEATERS OVER 1650 W	@ 2.50 ea.	\$
-------------------------	------------	----

TEMPORARY POWER POLE	2.00 (NO ADD'L FEE)	\$
----------------------	---------------------	----

NEW SERVICE UP TO 100 AMPS	2.00	\$
----------------------------	------	----

" " 200 AMPS	2.50	\$
--------------	------	----

" " 400 AMPS	3.00	\$
--------------	------	----

" OVER 400 AMPS	3.50	\$
-----------------	------	----

Motors under 2 hp @ 1.50 ea.	\$	Motors 50-100 hp @ 5.00 ea.	\$
Motors 2-8 hp @ 2.00 ea.	\$	Motors 100-500 hp @ 10.00 ea.	\$
Motors 8-15 hp @ 2.50 ea.	\$	Motors 500-1000 hp @ 15.00 ea.	\$
Motors 15-50 hp @ 3.00 ea.	\$	Motors over 1000 hp @ 20.00 ea.	\$

————— COLUMN TOTAL —————> \$

INVESTIGATION FEE		\$
-------------------	--	----

OTHER		\$
-------	--	----

BLANKET PERMIT	3.00	\$
----------------	------	----

ELECTRICAL PERMIT	2.50	\$ 2.50
-------------------	------	---------

TOTAL		\$ 3.25
--------------	--	----------------

WHEN PROPERLY VALIDATED
HERE, THIS FORM CONSTITUTES
A PERMIT FOR THE WORK
DESCRIBED HEREON.

5990810 N -3.25 EL

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

George Torricelli
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT
PERMANENT

NUMBER & STREET

1115 MISSION ST.

APPLICATION FOR AN ELECTRICAL PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR	TORR ELECTRIC	STATE LIC. NO.	171
MAIL ADDRESS	1327 HUNTINGTON DR.	PHONE	5795946
OWNER	SUPERIOR SHIRT LAUNDRY	CITY LIC. NO.	
MAIL ADDRESS	SAME	OWNER PHONE	

DESCRIPTION OF WORK

NEW BUILDING	EXISTING BUILDING	NO SERV. CHARGE	RECOVERED OR RESEAL
	X	X	
FEE COMPUTATION			
FIXTURES	RECEPTACLES	SWITCHES	First 10 @ 25c ea. Ea. Additional @ 15c ea.
		1	\$ 25
RANGES	OVENS	GARB. DISP.	} @ 1.50 ea. \$
WATER HTR.	FAN OUTLET	DISH WSHR.	
Wall Heaters Up to 1650 W		Ceiling Heaters Up to 1650 W	
WASHING MACHINES			@ 1.00 ea. \$
220 VOLT OUTLETS			@ .25c ea. \$
SIGN FIXTURES			@ 2.00 ea. \$
AIR HEATERS OVER 1650 W			@ 2.50 ea. \$
TEMPORARY POWER POLE			2.00 (NO ADD'L FEE) \$
NEW SERVICE UP TO 100 AMPS			2.00 \$
" " 200 AMPS			2.50 \$
" " 400 AMPS			3.00 \$
" OVER 400 AMPS			3.50 \$
- 1/2 HP	Motors under 2 hp @ 1.50 ea.	\$ 150	Motors 50-100 hp @ 5.00 ea. \$
- 3 HP	Motors 2-8 hp @ 2.00 ea.	\$ 200	Motors 100-500 hp @ 10.00 ea. \$
	Motors 8-15 hp @ 2.50 ea.	\$	Motors 500-1000 hp @ 15.00 ea. \$
	Motors 15-50 hp @ 3.00 ea.	\$	Motors over 1000 hp @ 20.00 ea. \$
			COLUMN TOTAL → \$ 360
INVESTIGATION FEE			\$
OTHER			\$
BLANKET PERMIT		3.00	\$
ELECTRICAL PERMIT		2.50	\$ 260
TOTAL			\$ 625

AIR COMP. & BOILER PUMP

WHEN PROPERLY VALIDATED HERE, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.

3912¹³ 1 11 -6.25 EL

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

George Torricelli
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

PERMANENT

INSPECTION RECORD

	DATE	APPROVED
T. P. P.		
GROUND WORK		
ROUGH WIRING		
FINISH		
FIXTURES		
EDISON NOTIFIED		
PARTIAL OR MISC. INSPECTIONS		
FINAL ELECTRICAL INSPECTION	12-9-67	<i>Smith</i>

NUMBER
&
STREET

1115 MISSION

APPLICATION FOR A
BUILDING PERMIT
BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR none (self)	ST. LIC. NO. 119485
MAIL ADDRESS	PHONE 7993115
ARCHITECT ENGINEER none	ST. LIC. NO.
MAIL ADDRESS	PHONE
OWNER THOMAS URTON	PHONE 7993115
MAIL ADDRESS 1500 El Centro, So. Pasadena, Calif.	

DESCRIPTION OF WORK

NEW	ADDITION	ALTERATION	REPAIR	DEMOLISH
				<input checked="" type="checkbox"/>
FLOOR AREA (SQ. FT.)	NO. OF STORIES		NO. OF DWELLING UNITS	
PRESENT BLDG. USE	PROPOSED BLDG. USE			
DESCRIBE WORK TO BE DONE	Demolish storage shed			

NOTE! PROVIDE PLOT PLAN ON BACK OF ORIGINAL COPY

EXTERIOR WALL MATERIAL	ROOFING MATERIAL	
LOT WIDTH	LOT DEPTH	LOT AREA
VALUATION: NOTE! INCLUDE ALL LABOR, MAT., WIRING, PLMG., HEAT, ETC. \$400.		
PLAN CHECK FEE & VALIDATION		

BUILDING DEPARTMENT USE ONLY				
LOT 7	BLOCK	TRACT TROOP GATES E LOOK SUB - A		
USE ZONE C-1	FIRE ZONE I	OCC. F-2	TYPE BUILD. I	
REQUIRED SET BACKS	FRONT	SIDE	SIDE	REAR
ENG. DEPT. APPROVAL		ZONING APPROVAL		
PERMIT FEE				
APPROVED W/OUT PLANS		PERMANENT PLAN	CHECKER'S APPROVAL	

WHEN PROPERLY VALIDATED BELOW, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.

7094326 D -5.00 80

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

x *Thomas G. Urton*
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

PERMANENT

INSPECTION RECORD

	DATE	APPROVED
TEMP POWER		
FORMS, FOOTING & SETBACKS		
REINFORCING & CELLS		
SUBFRAME		
ROOFING		
FIREPLACE		
FRAME		
VENEER		
EXT. LATH.		
INT. LATH.		
PARKING REQ'S		
ZONING REQ'S		
FIRE DEPT.		
PARTIAL OR MISC. INSPECTIONS		
FINAL BUILDING	6-27-74	<i>Agree</i>

SETBACKS:	SIDE	SIDE	FRONT
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PLOT PLAN

NUMBER & STREET

1115 Mission

APPLICATION FOR A BUILDING PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR Morrow & Holman	ST. LIC. NO. 119485
MAIL ADDRESS 1500 El Centro, So Pas.	PHONE 549-3114
ARCHITECT ENGINEER	ST. LIC. NO. 119485
MAIL ADDRESS	PHONE
OWNER Thomas A. Urton	PHONE
MAIL ADDRESS 1808 Via Ladera, La Habra	

DESCRIPTION OF WORK

NEW	ADDITION	ALTERATION	REPAIR	DEMOLISH
		X		
FLOOR AREA (SQ. FT.)	NO. OF STORIES 2		NO. OF DWELLING UNITS	
PRESENT BLDG. USE Commercial	PROPOSED BLDG. USE same			
DESCRIBE WORK TO BE DONE Drop ceiling				

NOTE! PROVIDE PLOT PLAN ON BACK OF ORIGINAL COPY

EXTERIOR WALL MATERIAL	ROOFING MATERIAL	
LOT WIDTH	LOT DEPTH	LOT AREA
VALUATION: NOTE! INCLUDE ALL LABOR, MAT., WIRING, PLMG., HEAT, ETC. \$		#450.00
PLAN CHECK FEE & VALIDATION		

BUILDING DEPARTMENT USE, ONLY

LOT	BLOCK	TRACT		
USE ZONE	FIRE ZONE	OCC.	TYPE BUILD.	
REQUIRED SET BACKS	FRONT	SIDE	SIDE	REAR
ENG. DEPT APPROVAL		ZONING APPROVAL		
PERMIT FEE				
APPROVED W/OUT PLANS	PERMANENT PLAN	CHECKER'S APPROVAL		

WHEN PROPERLY VALIDATED BELOW, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.

7072320 B = 5.00 RB

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

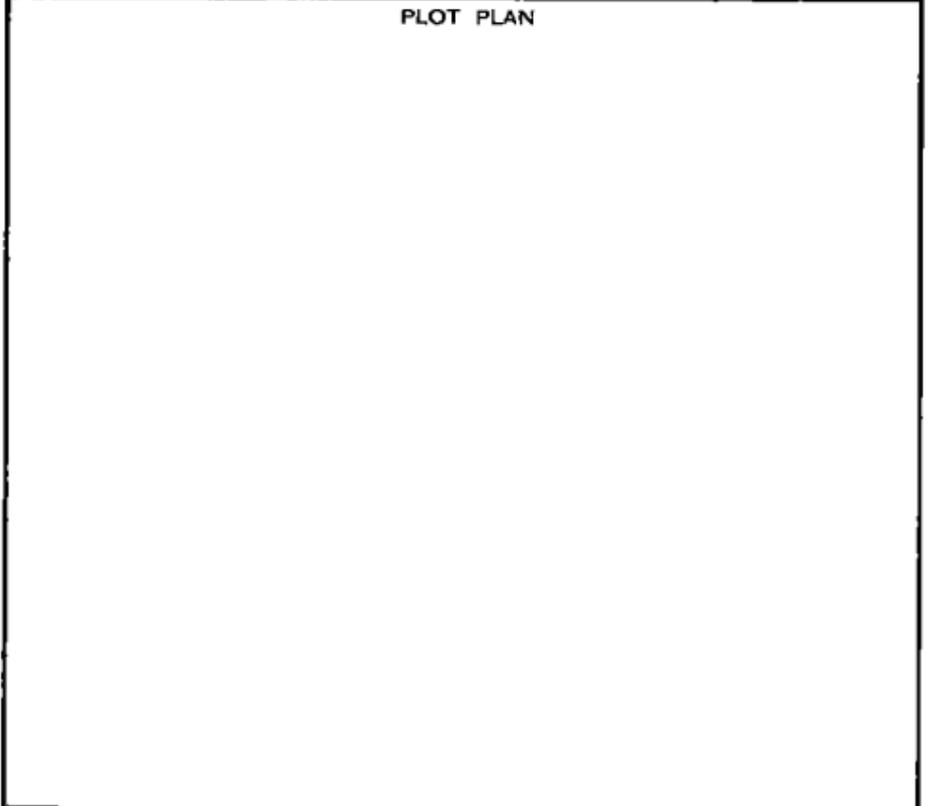
Thomas A. Urton
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

PERMANENT

INSPECTION RECORD

	DATE	APPROVED
TEMP POWER		
FORMS, FOOTING & SETBACKS		
REINFORCING & CELLS		
SUBFRAME		
ROOFING		
FIREPLACE		
FRAME TIE WIRES	6-24-74	Approved
VENEER		
EXT. LATH.		
INT. LATH.		
PARKING REQ'S		
ZONING REQ'S		
FIRE DEPT.		
PARTIAL OR MISC. INSPECTIONS		
FINAL BUILDING	7-26-74	Approved

SETBACKS:			
FRONT	SIDE	SIDE	FRONT



NUMBER & STREET

1115 Mission St.

500

APPLICATION FOR AN ELECTRICAL PERMIT
 BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
 TELEPHONE 799-9101 • 682-2175

CONTRACTOR <i>Mendlesohn Electric</i>	STATE LIC. NO. <i>218622</i>
MAIL ADDRESS <i>1012 Fair Oaks Ln.</i>	PHONE <i>7997526</i>
OWNER <i>Morson & Holman Plumbing</i>	CITY LIC. NO. <i>444</i>
MAIL ADDRESS <i>1115 Mission St.</i>	OWNER PHONE <i>293115</i>

DESCRIPTION OF WORK

NEW BUILDING	EXISTING BUILDING	NO SERV CHANGE	RECONNECT OR RESEAL
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FEE COMPUTATION				
FIXTURES <i>12</i>	RECEPTACLES	SWITCHES <i>2</i>	First 10 @ 25c ea. Ea. Additional @ 15c ea.	\$ 3.10

RANGES	OVENS	GARB. DISP.	} @ 1.50 ea.	\$
WATER HTR.	FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W	Ceiling Heaters Up to 1650 W			

WASHING MACHINES	@ 1.00 ea.	\$
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220 VOLT OUTLETS	@ .25c ea.	\$
------------------	------------	----

SIGN FIXTURES	@ 2.00 ea.	\$
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AIR HEATERS OVER 1650 W	@ 2.50 ea.	\$
-------------------------	------------	----

TEMPORARY POWER POLE	2.00 (NO ADD'L FEE)	\$
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NEW SERVICE UP TO 100 AMPS	2.00	\$
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" " 200 AMPS	2.50	\$
--------------	------	----

" " 400 AMPS	3.00	\$
--------------	------	----

" OVER 400 AMPS	3.50	\$
-----------------	------	----

Motors under 2 hp @ 1.50 ea.	\$	Motors 50-100 hp @ 5.00 ea.	\$
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Motors 2-8 hp @ 2.00 ea.	\$	Motors 100-500 hp @ 10.00 ea.	\$
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Motors 8-15 hp @ 2.50 ea.	\$	Motors 500-1000 hp @ 15.00 ea.	\$
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Motors 15-50 hp @ 3.00 ea.	\$	Motors over 1000 hp @ 20.00 ea.	\$
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COLUMN TOTAL	\$
--------------	----

INVESTIGATION FEE	\$
-------------------	----

OTHER	\$
-------	----

BLANKET PERMIT	3.00	\$
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ELECTRICAL PERMIT	2.50	\$ 2.50
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TOTAL	\$ 5.60
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WHEN PROPERLY VALIDATED
 HERE, THIS FORM CONSTITUTES
 A PERMIT FOR THE WORK
 DESCRIBED HEREON.

7055318 N -5.40 EL

E. Mendlesohn

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

PERMANENT

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

INSPECTION RECORD

I. P. P.	DATE	APPROVED
GROUND WORK		
ROUGH WIRING	6-24-74	D. Suco
FINISH		
FIXTURES		
EDISON NOTIFIED		
PARTIAL OR MISC. INSPECTIONS		
	h	
FINAL ELECTRICAL INSPECTION	7-26-74	D. Suco

PUBLIC WORKS DEPT.
CITY OF SOUTH PASADENA

Mar 24 10 51 AM '66

PLEASE INITIAL & PASS ON	
DATE:	
MURCALIS	
ODINO	
BERNARDI	
CHRYN	
DELMON	
ROSS	

Mr. Lawrence Halverson
Superior Shirt Laundry
1115 Mission Street
South Pasadena, California

Dear Mr. Halverson:

The Planning Commission wishes to extend its congratulations to you for the manner in which you have contributed to the appearance of our City by the imagination and good taste you have employed in improving the premises at 1115 Mission Street. All commissioners join me in expressing our appreciation and best wishes for your continued success.

The minutes of the Planning Commission meeting of March 21, 1966 reflect this appreciation.

Sincerely,

SOUTH PASADENA CITY
PLANNING COMMISSION

By
IVAN A. PETERS,
Chairman

IAP/d
cc: Director of Building
and Zoning

IAP

RECEIVED
MAR 24 1966
BUILDING DEPT.

CITY OF SOUTH PASADENA

PLANNING AND BUILDING DIVISION

COMMERCIAL CERTIFICATE OF OCCUPANCY

THIS IS TO CERTIFY that the COMMERCIAL BUILDING
(description of building or structure)

existing at 1115 MISSION
(number and street)

Occupancy Group B2 Type UNK Use Zone C.M Fire Zone 1

OWNER TOM URTON ADDRESS 1800 VIA LADERA
LA HOYRA HEIGHTS, CA.

OCCUPANT DELEIN A. PEREZ HOME ADDRESS 1717 MISSION

has been inspected and the occupancy and use thereof is hereby

APPROVED DENIED

JOHN J. BERNARDI
Director of Public Works and City Engineer.

BY: [Signature] Planning & Building Div. Date 6/26/80

BY: [Signature] Fire Department Date 6/27/80

The following is the applicable section of the South Pasadena City Code, which states the need for a Certificate of Occupancy:

36.164(2) Other than residential. In the event of any change of occupants or tenants of any building, or portion thereof or any land, used for other than residential purposes, no new occupant or tenant shall occupy or use any such building, or portion thereof or any land until a new Certificate of Occupancy has been issued by the Director of Public Works and City Engineer, with the approval of the Chief of the Fire Department.

36.164(3) Change of Use. In the event of any change of use of any building, or portion thereof, or land, no such change of use shall be instituted until a new Certificate of Occupancy shall have been issued by the Director of Public Works and City Engineer with the approval of the Chief of the Fire Department.

FEE \$100.00

APPLICANT: Dionisia A. Glessing

PHONE NO: 681-2697 DATE 6-26-80

PERMIT NO: 172

CITY OF SOUTH PASADENA

PLANNING AND BUILDING DIVISION

COMMERCIAL CERTIFICATE OF OCCUPANCY

THIS IS TO CERTIFY that the STORE FRONT (BRICK)
(description of building or structure)

existing at 1115 MISSION
(number and street)

Occupancy Group B2 Type VN Use Zone CM Fire Zone _____

OWNER THOMAS VRTON ADDRESS _____

OCCUPANT B. D. LUTTRELL HOME ADDRESS 1025 MILAN SO. PASA

has been inspected and the occupancy and use thereof is hereby

APPROVED DENIED

JOHN J. BERNARDI
Director of Public Works and City Engineer.

BY: [Signature] Planning & Building Div. Date 5/12/82

BY: [Signature] Fire Department Date 5/25/82

.....

The following is the applicable section of the South Pasadena City Code, which states the need for a Certificate of Occupancy:

36.164(2) Other than residential. In the event of any change of occupants or tenants of any building, or portion thereof or any land, used for other than residential purposes, no new occupant or tenant shall occupy or use any such building, or portion thereof or any land until a new Certificate of Occupancy has been issued by the Director of Public Works and City Engineer, with the approval of the Chief of the Fire Department.

36.164(3) Change of Use. In the event of any change of use of any building, or portion thereof, or land, no such change of use shall be instituted until a new Certificate of Occupancy shall have been issued by the Director of Public Works and City Engineer with the approval of the Chief of the Fire Department.

FEE \$100.00

APPLICANT: B. D. Luttrell

PHONE NO: 441-4004 DATE 5/11/82

PERMIT NO: _____

NUMBER

STREET

1115 Mission St

APPLICATION FOR A BUILDING PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 789-9101 • 682-2175

CONTRACTOR	Owner	ST. LIC. NO.
MAIL ADDRESS		PHONE
ARCHITECT ENGINEER		ST. LIC. NO.
MAIL ADDRESS		PHONE
OWNER	Thomas A Horton	PHONE 599-3115
MAIL ADDRESS	1800 Via Ladera La Habra	

DESCRIPTION OF WORK

NEW	ADDITION	ALTERATION <input checked="" type="checkbox"/>	REPAIR	DEMOLISH
FLOOR AREA (SQ. FT.)	NO. OF STORIES		NO. OF DWELLING UNITS	
PRESENT BLDG. USE	PROPOSED BLDG. USE			

DESCRIBE WORK TO BE DONE: NON STRUCTURAL REMODEL OF 2nd FLOOR

APT. & ADD BATH TO WAREHOUSE AREA

NOTE! PROVIDE PLOT PLAN ON BACK OF ORIGINAL COPY

EXTERIOR WALL MATERIAL	ROOFING MATERIAL	
LOT WIDTH	LOT DEPTH	LOT AREA
VALUATION: NOTE! INCLUDE ALL LABOR, MAT., WIRING, PLUMB, HEAT, ETC. \$ 8000.00		
PLAN CHECK FEE & VALIDATION		

BUILDING DEPARTMENT USE, ONLY

LOT 7	BLOCK A	TRACT RAAB SUBDIVISION		
USE ZONE C-M	FIRE ZONE I	OCC H&F 2	TYPE BUILD. III 1HR	
REQUIRED SET BACKS	FRONT	SIDE	SIDE	REAR
ENG. DEPT. APPROVAL		ZONING APPROVAL		
PERMIT FEE 44.00 + smi .56 = \$44.56 TOTAL				
APPROVED W/OUT PLANS YES	PERMANENT PLAN NO	CHECKER'S APPROVAL [Signature]		

WHEN PROPERLY VALIDATED BELOW, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HERON.

1 042 21 044.56A -

X Thomas A. Horton
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

I have carefully read and examined the above application and find the same to be true and conform to the provisions of the Laws and Ordinances governing building construction will be complied with as specified herein or not. No person shall be employed in violation of the Labor Code of California. I agree not to occupy or allow occupancy of any building authorized by a final inspection has been received.

INSPECTION RECORD

	DATE	APPROVED
TEMP POWER		
FORMS, FOOTING & SETBACKS		
REINFORCING & CELLS		
SUBFRAME		
ROOFING		
FIREPLACE		
FRAME		
VENEER		
EXT. LATH.		
INT. LATH.		
PARKING REQ'S		
ZONING REQ'S		
FIRE DEPT.		
PARTIAL OR MISC. INSPECTIONS		
FINAL BUILDING		

SETBACKS:

FRONT

____ SIDE

____ SIDE

FRONT

PLOT PLAN

STREET

NUMBER & STREET

JOB ADDRESS
1115 Mission St. 700.00

APPLICATION FOR AN ELECTRICAL PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR <i>Mendleson Electric</i>	STATE LIC. NO. 296150
MAIL ADDRESS <i>1012 Fair Oaks Ave.</i>	PHONE 7997526
OWNER <i>T. Urton</i>	CITY LIC. NO. 7418
MAIL ADDRESS <i>1500 El Centro St.</i>	OWNER PHONE 7993115

DESCRIPTION OF WORK

NEW BUILDING	EXISTING BUILDING	NO SERV. CHANGE	RECONNECT OR RESEAL
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FEE COMPUTATION

FIXTURES	RECEPTACLES	SWITCHES	First 10 @ 25c ea. Ea. Additional @ 15c ea.	\$
RANGES	OVENS	GARB. DISP.	} @ 1.50 ea.	\$
WATER HTR.	FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W	Ceiling Heaters Up to 1650 W			
WASHING MACHINES			@ 1.00 ea.	\$
220 VOLT OUTLETS			@ .25c ea.	\$
SIGN FIXTURES			@ 2.00 ea	\$
AIR HEATERS OVER 1650 W			@ 2.50 ea.	\$
TEMPORARY POWER POLE			2.00 (NO ADD'L FEE)	\$
NEW SERVICE UP TO 100 AMPS			2.00	\$
" " 200 AMPS			2.50	\$
" " 400 AMPS			3.00	\$
" OVER 400 AMPS			3.50	\$
Motors under 2 hp @ 1.50 ea.	\$		Motors 50-100 hp @ 5.00 ea.	\$
Motors 2-8 hp @ 2.00 ea.	\$		Motors 100-500 hp @ 10.00 ea.	\$
Motors 8-15 hp @ 2.50 ea.	\$		Motors 500-1000 hp @ 15.00 ea.	\$
Motors 15-50 hp @ 3.00 ea.	\$		Motors over 1000 hp @ 20.00 ea.	\$
COLUMN TOTAL →				\$
INVESTIGATION FEE				\$
OTHER				\$
BLANKET PERMIT			3.00	\$ 3.00
ELECTRICAL PERMIT			2.50	\$ 2.50
TOTAL				\$ 5.50

WHEN PROPERLY VALIDATED
HERE, THIS FORM CONSTITUTES
A PERMIT FOR THE WORK
DESCRIBED HEREON.

1 027 BY 21

00550A

X *E. Mendleson*
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

I have carefully read and examined the above application and find the same to be true and provisions of the Laws and Ordinances governing building construction will be complied specified herein or not. No person shall be employed in violation of the Labor Code of California. I agree not to occupy or allow occupancy of any building authorized by this final inspection has been received.

PERMANENT

NUMBER

STREET

1115 Mission Street

APPLICATION FOR A
PLUMBING PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA

TELEPHONE 798-9101 • 682-2175

CONTRACTOR

Morrow & Holman Plumbing, Inc.

ST. LIC. NO.

119485

MAIL ADDRESS

1500 El Centro Avenue

CITY LIC. NO.

D-6913

South Pasadena, Ca.

PHONE
799-3115

OWNER

Thomas A. Urton

PHONE
799-3115

MAIL ADDRESS

1800 Via Ladera, La Habra, Ca.

PROPOSED
USEUSE
ZONE

NO. EACH FIXTURE	NO. EACH FIXTURE	NO. EACH FIXTURE
BATHUBS	ACC. SINKS	WASHING MACHINES
1 STALL SHOWERS	FLOOR SINKS AND DRAINS	1 WATER HEATERS
3 LAVATORYS	"P" TRAPS	VENTS
3 WATER CLOSETS	1 GARBAGE DISPOSALS	WATER PIPE
1 URINALS	DISHWASHERS	SPRINKLER SYSTEM
2 KITCHEN SINKS	LAUNDRY TRAYS	1 DRINKING FOUNTAINS

TOTAL FOR ABOVE FIXTURES	@ 2.00 ea.	\$ 26.00
SAND OR GREASE TRAPS	@ 2.50	\$
GAS PIPE SYSTEM, 1.5 OUTLETS	2.50	\$ 2.50
+ EACH ADDITIONAL OUTLET	.50	\$
SOIL OR VENT PIPE ALTER OR REPAIR	2.00	\$
DILUTING TANK OR WATER SOFTENER	3.50	\$
BUILDING DRAIN, ALTER OR REPAIR	4.00	\$
SEWERS, CESSPOOLS, SEPTIC TANKS	@ 6.00 ea.	\$
SWIM POOL	10.00	\$
ADDITIONAL INSPECTION	@ 5.00 hr.	\$
INVESTIGATION FEE		\$
OTHER		\$
BLANKET PERMIT	3.00	\$ 3.00
PLUMBING PERMIT	2.50	\$
WHEN PROPERLY VALIDATED, HERE, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.	TOTAL FEE \$	31.50

713 513

03150A - 1

X

Thomas A. Urton

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

PERMANENT

INSPECTION RECORD

GROUND WORK	DATE	APPROVED
WATER LINES		
ROUGH PLUMBING		
SHOWER PAN		
SEWER, SEPTIC TANK		
HEATER VENTS		
GAS TEST		
GAS CO. NOTIFIED		
PARTIAL OR MISC. INSPECTIONS		
FINAL PLUMBING INSPECTION		

NUMBER
&
STREET

1115 Mission St.

APPLICATION FOR AN
ELECTRICAL PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2175

CONTRACTOR <i>Mendlesohn Electric</i>	STATE LIC. NO. <i>296150</i>
MAIL ADDRESS <i>1012 Fair Oaks Ave</i>	PHONE <i>7997526</i>
OWNER <i>T. Urton</i>	CITY LIC. NO. <i>7418</i>
MAIL ADDRESS <i>1500 El Centro</i>	OWNER PHONE <i>7993115</i>

DESCRIPTION OF WORK

NEW BUILDING	<input checked="" type="checkbox"/>	EXISTING BUILDING	<input type="checkbox"/>	NO SERV. CHANGE	<input type="checkbox"/>	RECORRECT OR RESEAL	<input type="checkbox"/>
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FEE COMPUTATION

11 FIXTURES	RECEPTACLES <i>20</i>	9 SWITCHES	First 10 @ 25¢ ea. Ea. Additional @ 15¢ ea.	\$ 7.00
RANGES	OVENS	1 GARB. DISP.	} @ 1.50 ea.	\$ 4.50
WATER HTR.	1 FAN OUTLET	DISH WSHR.		
Wall Heaters Up to 1650 W	1	Ceiling Heaters Up to 1650 W		
WASHING MACHINES			@ 1.00 ea.	\$
220 VOLT OUTLETS			@ .25¢ ea.	\$
SIGN FIXTURES			@ 2.00 ea.	\$
AIR HEATERS OVER 1650 W			@ 2.50 ea.	\$
TEMPORARY POWER POLE			2.00 (NO ADD'L FEE)	\$
NEW SERVICE UP TO 100 AMPS			2.00	\$
" " 200 AMPS			2.50	\$
" " 400 AMPS			3.00	\$
" OVER 400 AMPS			3.50	\$
Motors under 2 hp @ 1.50 ea.	\$		Motors 50-100 hp @ 5.00 ea.	\$
Motors 2-8 hp @ 2.00 ea.	\$		Motors 100-500 hp @ 10.00 ea.	\$
Motors 8-15 hp @ 2.50 ea.	\$		Motors 500-1000 hp @ 15.00 ea.	\$
Motors 15-50 hp @ 3.00 ea.	\$		Motors over 1000 hp @ 20.00 ea.	\$
COLUMN TOTAL →				\$
INVESTIGATION FEE				\$
OTHER				\$
BLANKET PERMIT			3.00	\$
ELECTRICAL PERMIT	<i>SUPPLMT. TO #027</i>		2.50	\$
TOTAL				\$ <i>11.50</i>

WHEN PROPERLY VALIDATED
HERE, THIS FORM CONSTITUTES
A PERMIT FOR THE WORK
DESCRIBED HEREON.

011 412

01150A - 1

X E. Mendlesohn

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

PERMANENT

NUMBER & STREET 1115 Mission

APPLICATION FOR A BUILDING PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA
TELEPHONE 799-9101 • 682-2178

CONTRACTOR <u>OWNER</u>	ST. LIC. NO.
MAIL ADDRESS	PHONE
ARCHITECT ENGINEER	ST. LIC. NO.
MAIL ADDRESS	PHONE
OWNER <u>Thomas A. Urton</u>	PHONE <u>697-3071</u>
MAIL ADDRESS <u>1800 Via Ladera, La Habra</u>	

DESCRIPTION OF WORK

NEW	ADDITION	ALTERATION	REPAIR	DEMOLISH
FLOOR AREA (SQ. FT.)	NO. OF STORIES		NO. OF DWELLING UNITS	
PRESENT BLDG. USE	PROPOSED BLDG. USE			

DESCRIBE WORK TO BE DONE INSTALL 2hr door on EAST wall
INSTALL header 4x10 header ON STAIR CASE

NOTE! PROVIDE PLOT PLAN ON BACK OF ORIGINAL COPY

EXTERIOR WALL MATERIAL	ROOFING MATERIAL	
LOT WIDTH	LOT DEPTH	LOT AREA
VALUATION: NOTE! INCLUDE ALL LABOR, MAT., WIRING, PLMG., HEAT, ETC. <u>\$ 500.00</u>		

PLAN CHECK FEE & VALIDATION

BUILDING DEPARTMENT USE ONLY				
LOT	BLOCK	TRACT		
USE ZONE	FIRE ZONE	OCC.	TYPE BUILD.	
REQUIRED SET BACKS	FRONT	SIDE	SIDE	REAR
ENG. DEPT. APPROVAL	ZONING APPROVAL			
PERMIT FEE	<u>\$ 5.00 + Smp = \$ 5.07</u>			
APPROVED W/OUT PLANS	PERMANENT PLAN	CHECKER'S APPROVAL		

WHEN PROPERLY VALIDATED BELOW, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.

1 058 §-2

005.07A

X Thomas A. Urton

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

PERMANENT



City of South Pasadena

REQUEST FOR FINAL INSPECTION

ADDRESS 1115 Mission St DATE: 01/26/05

- TO: Planning Department Public Works Department
 Fire Department Other _____

DESCRIPTION OF PROJECT

- ReRoof No Debris
 Addition to Single Family Dwelling (_____ sq. ft.)
 New Dwelling (No. of Stories: _____ Front/Back House)
 New Apartment or Condominium (No. of Units: _____)
 Addition to Commercial Building (_____ sq. ft.)
 New Commercial Building
 Commercial Tenant Improvement
 Other _____

The applicant has requested final occupancy of the project referenced above. With your approval and when deemed appropriate by the Building Division, the building permit will be finalized and where appropriate a Certificate of Completed Construction will be issued.

Final is granted.

[Signature]
Signature
FIRE PREVENTION
Title
MAY 27, 2005
Date

Signature

Title

Date



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission St. 05/26/05
ADDRESS DATE
D. Van Dusen Page 1 of 1
TIME INSPECTOR'S NAME

- ① Final Inspection on Plumbing - OK
- ② Final Inspection on Elect. - OK
- ③ Final Inspection on Roof - OK
- ④ The Planning Department will
mark the Final Building walk
through before final sign off.



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission Street

ADDRESS

04/27/05

DATE

9:30

TIME

INSPECTOR'S NAME

Page _____ of _____

- ① OK to Cover walls in ADA Bathroom
- ② Rough Plumbing OK
- ③ Shower Wall - OK to cover.
- ④ OK to Drywall Both sides of Shower Wall
- ⑤ Call for Waste Line Inspection
- ⑥ ADA Bathroom.



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission St.

ADDRESS

4/26/05

DATE

9:05

TIME

D. VanDusen

INSPECTOR'S NAME

Page 1 of 1

- ① Copy of Engineers Observation must be on site during Inspection.
- ② Expose (2) sill plates so we can inspect the connections made by the Contractor according to Letter dated 4-19-05 - as per Engineers Revision.
- ③ Call For Inspection when Ready.
- ④ Drywall Nailing is OK not Noddy South Wall - OK to under tape
OK to Drywall over side of Sheer Wall



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission St 4.26.5 -
ADDRESS DATE

9:11 R. Ramirez Page 1 of 1
TIME INSPECTOR'S NAME

① NO ACCESS TO
INSPECT SHEAR WALLS.

② CALL FOR REINSPECTION
WHEN ACCESS WILL BE
PROVIDED -



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 MISSION ST

ADDRESS

4 26 9

DATE

9:11

TIME

R. R. Ramirez

INSPECTOR'S NAME

Page

1 of 1

(1) NO ACCESS TO

INSPECT EXTERIOR WALLS

(2) call for reinspection

when access will be

provided.



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

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Fax: (626) 403-7221

CORRECTION NOTICE

1115 MISSION ST.

ADDRESS

DATE

TIME

INSPECTOR'S NAME

Page ____ of ____

- ①. Provide special inspect for EPOXY HD-10A. OR STRUCT. OBSERV. REPORT.
- ②. HAVE SPEC. SKETS FOR HANDICAP BATH. APPROVED. (ALL FRAMING)
- ③. All other R-FRAMING OK
- ④. OBTAIN REQ'D ELECT. & PLUMB. PERMITS PRIOR TO WORK.



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 MISSION 3/23/05
ADDRESS DATE

11:15 O. Dimin Page 1 of 1
TIME INSPECTOR'S NAME

= STOP WORK ORDER =

T.I. WORK W/OUT PERMIT

DEMO WORK AND CONSTRUCTION

OF PARTITION WALLS IN PROGRESS.

(DEMO CREW DID SOME OVER

DEMO, SUBMIT STRUCTURAL PLANS

TO BLDG DEPT FOR APPROVAL FOR

RESTORATION OF FRAMING WHICH

IS NOT COVERED ON PLANS PREVIOUSLY

SUBMITTED FOR PLAN CHECKING)



CITY OF SOUTH PASADENA

• 1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission St 6/10/05
ADDRESS DATE

9:40 AM. Mike J.M. Page 1 of 1
TIME INSPECTOR'S NAME

① For Reroot final; corrections made final

~~② No BLDG Dept Require
Bring Insp Copy to BLDG
Dept office ^{OK 6/10/05} we can
sign off for final~~



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission St 6/19/05
ADDRESS DATE

9:20 AM. Mike J.M. Page 1 of 1
TIME INSPECTOR'S NAME

① For Reroof inspection
Correction for A/C Line for
condensation to be extended
to approve drain outlet.
jk.

② Make Correction; Call
for reinspection for
final when ready.



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 Mission / 1107 Mission ?
ADDRESS DATE 05/27/06

TIME _____
INSPECTOR'S NAME DeVan DeLeon Page 1 of 1

- ① This is two Businesses in one Building. We have finished the Business
- ② 1115 mission including the Roof.
- ③ 1107 mission is next to 1115 and the roof was redone at the same time as 1115 mission —
- ④ I would not finish the Roof @ the 1107 mission address due to a large amount of condensation water Pooled up on top of the new roof. Contacted the manager of 1107 he will contact the owner of the Building.



CITY OF SOUTH PASADENA

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

CORRECTION NOTICE

1115 MISSION / 1107 MISSION ? ADDRESS DATE 05/27/05

TIME INSPECTOR'S NAME D. Van Dusen Page 1 of 1

- (1) This is two Buildings in one Building. We have finished the Business @ 1115 mission including the Roof
- (2) 1107 mission is next to 1115 and the Roof was Redone at the same time as 1115 mission -
- (3) I would not finish the Roof @ the 1107 mission Address due to a large amount of Condensation water Pooled up on top of the new Roof. contacted the manager of 1107. He will contact the owner of the Building

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101

PLANNING & BUILDING DIVISION

BUILDING PERMIT

Building Address <u>1115 Mission St. S. Pasadena</u>			U.B.C. Edition <u>91</u> Type Const. <u>I-N</u>	Occ. Load <u>—</u>	Occ. Group <u>B-2</u>
Lot No.	Tract	Tract	USE ZONE <u>CM</u>	Variance Required <u>NO</u>	Appr.
Owner <u>Panda Management Co. Inc.</u>			Lot Size <u>—</u>		
Mailing Address <u>143 Pasadena Ave.</u>					
City <u>So. Pasadena, Ca.</u>	Zip <u>91030</u>	Tel. <u>259-1835</u>	VALUATION: \$ <u>40,000.00</u>		
Contractor <u>A&L Construction</u>			BUILDING FEE <u>\$349.50</u>		
Address <u>1310 N. Westlyn Pl</u>			S.M.I. FEE <u>\$8.40</u>		
City <u>Pasadena, Ca.</u>	Zip <u>91104</u>	Tel. <u>797-0432</u>	PLAN CHECKING FEE		
State Lic. & Classif. <u>283250-B-1</u>	City Lic. No.		F PLAN CHECKING FEE		
Arch., Engr., Designer <u>Iring Lu</u>			E Energy Compl. Fee		
Address <u>2500 E. foothill suit 211</u>	Tel.		S Penalty		
City <u>Pasadena</u>	Zip <u>91107</u>	State Lic. No. <u>3042</u>	PAID		
Proposed Construction <u>BRICK GARAGE (SEISMIC) STRENGTHENING & RETROFIT</u>			SPECIAL INSP.		
Sq. Ft. Size <u>460</u>	EXISTING Structure No. <u>—</u>	NEW Structure No. <u>#1</u>	PERMIT NO. <u>13885</u>	WORKERS COMP. EXP. <u>07/01/93</u>	PROCESSED BY: <u>JM.</u> Date: <u>12/8/92</u>
<input type="checkbox"/> New <input type="checkbox"/> Add. <input type="checkbox"/> Demolition <input type="checkbox"/>			LICENSED CONTRACTOR'S DECLARATION I hereby affirm that I am licensed under provisions of Chapter 9 of the Business and Professions Code, and my license is in full force and effect. Exp. Date: <u>02/28/94</u> Signature of Contractor: <u>Alta Lopez</u>		
WORKER'S COMPENSATION DECLARATION I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C.). Policy No. <u>0342632-92</u> Company: <u>State fund</u>			OWNER-BUILDER DECLARATION I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500). <input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.) <input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.) <input type="checkbox"/> I am exempt under Sec. _____, B.&P.C. for this reason: _____		
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California. Date: _____ Applicant: _____ NOTICE TO APPLICANT: If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.			CONSTRUCTION LENDING AGENCY I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.) Lender's Name: <u>None</u> Lender's Address: _____		
I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. Signature of Applicant: <u>Alta Lopez</u> Date: <u>12-7-92</u> Mailing Address: <u>1310 N. Westlyn Pl.</u> City, State, Zip: <u>Pasadena, Ca. 91104</u>			Date: _____ Owner: _____		

INSPECTOR COPY

CONST. HRS. 8 AM-7 PM ONLY
ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

INSPECTION RECORD

Partial completion - to comp

FOUNDATION: (Gr. Certif. Comp. Tests, Setbacks, Forms, Reinf. Steel, Excavation.	12/10/92	JDM
FLOOR SLAB/LISTS., GIRDERS: Mesh, Vap. Barrier, Blkg., Spans, Access, Vents, Tr. Lmbr.		
MASONRY: Reinf., Mortar Jts., Grout Lifts, Clean-Outs, Bolts.		
ROOF SHTG: Nailing, Diaph. Backing, Material Grade and Thickness, Roof Drains.		
FRAMING: Walls, Raft., Jts., Backing, Bracing, Nailing, Backing, Diaphr. Draft Stops.		
INSULATION: Thickness, R-Values, Piping, Sound Caulking.		
FIREWALLS: Material, Thickness, Dampers, Doors, Closers, Fusible Links.		
INTERIOR LATH/DRY WALL: Nailing, Supports, Laps, Joint Reinf.		
EXTERIOR LATH/SIDING: Mesh, Fasteners, Laps, Paper, Thickness, Backing.	2/16/93	JDM
FINAL INSPECTION: Finish Grading Certif., Slope Plant., Energy Compl. Card Posted, Pkg. Access, Fire Doors, Exits, Locking Devices, Landings, House Numbers, Weather Stripping, Pl./Engr. Clear.	2/17/93	JDM

INSPECTION NOTES

9/16/92 Shear wall & Seismic Bolt

12/30/92 Det 2/56 5/6/92 JDM

1/11/93 Det 9/56 JDM

2/2/93 Parapet bolts, Straps & 1/2" 1

2/3/93 Rebar parapet walls JDM

SWIMMING POOL/SPA

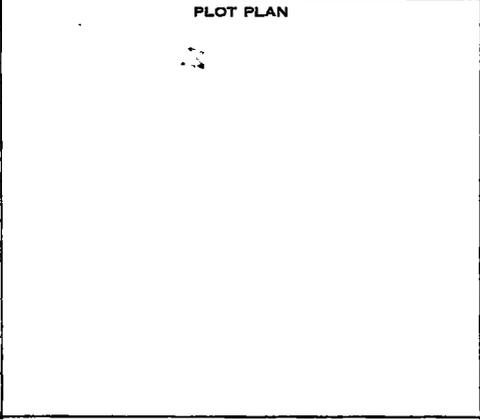
EXCAV. REINF. SETBACKS: Radius Sil., Bonding, Exp. Soil, Ramp Loc., Surcharge.		
FENCE/GATES: Height, Closers, Accessibility, Latches, Stability.		
FINAL INSPECTION		

SETBACKS:

FRONT	SIDE	SIDE	FRONT
-------	------	------	-------

MISCELLANEOUS

SPRAY PAINT BOOTH:		
RETAINING WALL		
DUST COLLECTION SYSTEM:		
VENEER:		
RE-ROOF:		
SIGN(S):		
INSPECTION	DATE	INSP. SIGN.



STREET
PLEASE PLAN A 1" SQ. SCALE



City of South Pasadena

1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

ELECTRICAL PERMIT APPLICATION

QTY.

ITEM

FEES

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: LSH Date: 4-20-05

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall promptly comply with those provisions.

Signature: LSH Date: 4-20-05

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: GIL CHARASH

Signature: LSH Date: 4-20-05

SITE ADDRESS <u>115 Mission St.</u>		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME		
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME		LICENSE NO.
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
CONTACT PERSON <u>RAFAEL SHAKHOVY</u>		
PHONE NUMBER <u>310 710-4226</u>		
CONTRACTOR'S NAME <u>GIL CHARASH</u>		
STREET ADDRESS <u>1335-D Riverside Dr. #118</u>		
CITY	STATE	ZIP CODE
<u>SHERMAN OAKS</u>	<u>CA</u>	<u>91143</u>
LICENSE CLASS <u>B</u>	LICENSE NUMBER <u>840724</u>	EXPIRATION DATE <u>6-31-06</u>
PHONE NUMBER <u>323 855-4448</u>		
WORKERS' COMPENSATION INSURANCE COMPANY NAME		
WORKER'S COMP. INSURANCE POLICY NUMBER	EXPIRATION DATE	

	New residential construction	
Less than 3 units:	sq. ft.	\$
3 or more units:	sq. ft.	\$
1	Outlet Boxes(s) for receptacles, switches, lights & similar	1.24
	First 20	\$
	21 or more	\$
22	Lighting Fixture(s)	24.80
	First 20	\$
	21 or more	\$
	Branch circuit(s) (in lieu of Outlet Box fees above)	1.62
	First 10 branch circuits	\$
	11 to 40 branch circuits	\$
	Residential appliances	\$
	Nonresidential appliances	\$
	Power apparatus (size in HP, KW, or kVA)	
	Over 1 but not over 10	\$
	Over 10 but not over 50	\$
	Over 50 but not over 100	\$
	Signs, outline lighting, and marquees	
	Supplied from one branch circuit	\$
	Additional circuits within the same sign	\$
	Service New Change Size:	\$
	Switchboards, subpanels, motor control centers	
	0 to 399A	\$
	400A to 1,000A	\$
	Over 1,000A	\$
	Misc. apparatus, conduit, and conductors	\$
	Temporary power pole(s)	\$
	Temporary distribution system	\$
	Subtotal	27.60
	Plan Checking Fee	\$
	Additional Plan Checking Fee	\$
	Plan Maintenance Fee	\$
	Permit Issuance Fee	\$
	Total Permit Fee	35.47

PLAN CHECK NUMBER	INITIALS	DATE
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
PERMIT NUMBER <u>13427</u>	INITIALS <u>MR</u>	DATE <u>4-20-05</u>
<u>RECH 105556</u>		
DATE OF FINAL	FINAL BY	

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101

Tel 799-9101 BUILDING DEPARTMENT

ELECTRICAL PERMIT

department of PLANNING and BUILDING

Building Address: **1115 S. MISSION**
 Lot Tract: _____
 No. _____
 Owner: **PMC PROCETY**
 Mailing Address: **899 EL CENTRO ST**
 City: **SOUTH PASADENA CA 91030**
 Contractor: **KEN MARCEL CONST**
 Address: **1125 S. GARFIELD AVE**
 City: **ALHAMBRA** Zip: **CA 91801**
 State Lic. No. & Classif.: **568012** City Lic. No.: **C105885**

WORKER'S COMPENSATION DECLARATION
 I hereby affirm that I have a certificate of consent to self-insure or a certificate of workers' compensation insurance or a certified copy thereof (Sec. 4800, Lab. C.).
 Policy No.: **EXEMPT**

CONSTRUCTION LENDING AGENCY
 I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)
 Lender's Name: **DASE**
 Lender's Address: _____

LICENSED CONTRACTOR'S DECLARATION
 I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
 Exp. Date: **5/31/95** Signature of Contractor: **[Signature]**

OWNER-BUILDER DECLARATION
 I hereby affirm that I am exempt from the Contractor's License Law for the following reasons (Sec. 7031.5, Business and Professions Codes):
 I, as owner of the property, or my employees with wages at their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business & Professions Codes.)
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044 Business and Professions Code.)
 I am exempt under Sec. _____, B.&P.C. for this reason _____
 Date: _____ Owner: _____

PERMIT NO.: **68791** WORKERS COMP. EXP. **EXEMPT** PROCESSED BY: **[Signature]** Date: **10/18/94**

DEPARTMENT OF PLANNING AND BUILDING
 APPLICATION FOR AN ELECTRICAL PERMIT
 BUILDING DIVISION • CITY OF SOUTH PASADENA, CALIFORNIA
PERMIT TO COMPLETE:

DESCRIPTION OF WORK			
NEW BUILDING	EXISTING BUILDING	NO SERV. CHANGE	RECONNECT OR RESEAL
FEE COMPUTATION			
FIGURES	RECEPTACLES	SWITCHES First 10 @ 50c ea. Ea. Additional @ 30c ea. \$	
RANGES	OVENS	GARB. DISP.	
WATER HTR	FAN OUTLET	DISH WBLR.	
Well Heaters Up to 1650 W		Ceiling Heaters Up to 1650 W	
WASHING MACHINES		@ 7.50	\$
220 VOLT OUTLETS—CCT		@ 5.00	\$
SIGN FIXTURES—CCT		@ 10.00	\$
AIR HEATERS OVER 1650 W		@ 5.00	\$
TEMPORARY POWER POLE		@ 10.00	\$
NEW SERVICE UP TO 100 AMPS		@ 10.00	\$
NEW METER 200 AMPS		@ 12.50	\$
" 400 AMPS		@ 25.00	\$
" Over 400 AMPS		@ 50.00	\$
Meters under 2 hp @ 85.00 ea.	\$	Meters 50-100 hp @ 10.00 ea.	\$
Meters 2-8 hp @ 4.00 ea.	\$	Meters 100-500 hp @ 20.00 ea.	\$
Meters 8-15 hp @ 6.00 ea.	\$	Meters 500-1000 hp @ 30.00 ea.	\$
Meters 15-60 hp @ 6.00 ea.	\$	Meters over 1000 hp @ 40.00 ea.	\$
COLUMN TOTAL → \$			

POOL OR SPA : \$20.00 POOL & SPA : \$30.00 } \$ _____

VALUATION: \$		
PERMIT FEE		
INVESTIGATION FEE		
P PLAN CHECKING FEE		
E ENERGY COMPL. FEE		
E BLANKET PERMIT		
S ELECTRICAL PERMIT		
TOTAL	15.00	27.50

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant: **[Signature]** Date: **10/18/94**
 Mailing Address: **1125 S. GARFIELD AVE**
 City, State, Zip: **ALHAMBRA CA 91801**
Tel (818) 308-3910

CASHIER USE



City of South Pasadena

1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

BUILDING PERMIT APPLICATION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: [Signature] Date: 4-4-05

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent from an insurer for workers' compensation, as provided for in Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain a certificate of consent from the State Compensation Insurance Fund for the performance of the work for which this permit is issued. The workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: [Signature] Date: 4-4-05

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Gil Charrash

Signature: [Signature] Date: 4-4-05

DESCRIPTION OF WORK REBUILD RENOVATE PARTIAL WALLS WALL MODIFICATIONS HANDICAP RESTROOM		
OCCUPANCY GROUP B-1	TYPE OF CONSTRUCTION	AREA
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
NUMBER OF STORIES	FIRE SPRINKLERS <input type="checkbox"/> YES <input type="checkbox"/> NO	CODE IN EFFECT
STATISTICAL CLASSIFICATION NO.:	UNITS:	PLANNING FILE NO.
\$ <u>10,500.00</u>	INITIAL VALUATION	\$ <u>36.25</u> REVISED VALUATION
PLAN CHECK FEE <u>1/2 HR.</u>		
ADDITIONAL PLAN CHECK FEE		\$ _____
PLAN CHECK NUMBER 013241	INITIALS MR	DATE 3/15/05
BE401750		
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
<input type="checkbox"/> SCHOOL FEES PAID	<input type="checkbox"/> SCAQMD	
<input type="checkbox"/> SANITATION DIST. PAID	<input type="checkbox"/> INDUSTRIAL WASTE APPROVAL	
<input type="checkbox"/> HEALTH DEPT. APPROVAL	<input type="checkbox"/> OSHA PERMIT OBTAINED	
<input type="checkbox"/> FIRE DEPT. APPROVAL	<input type="checkbox"/> PUBLIC WORKS FEES PAID	
BUILDING PERMIT FEE	\$	<u>263.54</u>
ISSUANCE FEE	\$	<u>27.75</u>
SMIP FEE	\$	<u>(2.31)</u>
PLAN MAINTENANCE FEE	\$	
INVESTIGATION FEE	\$	<u>263.54</u>
	\$	
TOTAL	\$	<u>554.83</u>
PERMIT NUMBER 113332	INITIALS MR	DATE 4/4/05
RECEIVED PAID - FINANCE COMPUTERIZ. DEPT. <u>[Signature]</u>		
DATE OF FINAL <u>05/26/05</u>		

SITE ADDRESS <u>1115 MISSION ST. So. PAs.</u>		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNERS NAME <u>RAFAEL SHACHORY</u>		
STREET ADDRESS <u>1115 MISSION ST</u>		
CITY <u>So. PAs.</u>	STATE <u>CA</u>	ZIP CODE <u>91030</u>
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME <u>EDWARD DEERMANCY CROSS</u>		LICENSE NO.
STREET ADDRESS <u>1214 HUNTINGTON DR.</u>		
CITY <u>So. PAs.</u>	STATE <u>CA</u>	ZIP CODE <u>91030</u>
PHONE NUMBER <u>626 403 6040</u>		
CONTACT PERSON		
PHONE NUMBER		
CONTRACTOR'S NAME <u>Gil Charrash</u>		
STREET ADDRESS <u>13351-D RIVERSIDE DR. #118</u>		
CITY <u>SNEEMAN ARES</u>	STATE <u>CA</u>	ZIP CODE <u>91423</u>
LICENSE CLASS <u>3</u>	LICENSE NUMBER <u>840724</u>	EXPIRATION DATE <u>6/30/06</u>
PHONE NUMBER <u>323 955-4448</u>		
WORKERS' COMPENSATION INSURANCE COMPANY NAME <u>EXEMPT</u>		
WORKERS' COMP. INSURANCE POLICY NUMBER		EXPIRATION DATE

NO.	INSPECTION	DATE	INSPECTOR
-----	------------	------	-----------

REQUIRED BUILDING INSPECTIONS AND APPROVALS

B1	Soils Engineer's Approval		
B2	Location and Setbacks		
B3	Foundation/Trench Forms	02/20/05	Bill White
B4	Structural Concrete Slab on Grade		
B5	Raised Floor Framing		
B6	Underfloor Insulation		
B7	First Level Floor Diaphragm		
B8	Second Level Floor Diaphragm		
B9	Third Level Floor Diaphragm		
B10	Roof Diaphragm		
B11	Concrete Deck		
B12	Steel Framing		
B13	Fire Dept. Frame Inspection		
B14	Bldg. Dept. Frame Inspection	02/20/05	Bill White
B15	Fire Sprinkler Hangers		
B16	Insulation/Weather Stripping		
B17	Interior Lath and/or Drywall	05/20/05	Bill White
B18	Exterior Lath		
B19	Rated Horizontal Assemblies		
B20	Rated Wall Assemblies		
B21	Rated Opening Protection		
B22	Rated Shaft Construction		
B23	T-Bar Ceilings		
B24	Lot Drainage		
B25	Planning Dept. Approval		
B26	Fire Dept. Approval		
B27	Public Works Dept. Approval		

DESCRIBE COMPLETELY THE INTENDED USE OF ALL SPACE APPLICABLE TO THIS BUILDING PERMIT

THE FOLLOWING STATEMENT MUST BE SIGNED BY THE BUILDING OWNER. WHEN APPROVED BY THE BUILDING OFFICIAL, THE OWNER'S AGENT MAY SIGN FOR PERMITS OTHER THAN THE INITIAL OR SHELL BUILDING PERMIT.

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amounts specified on the hazardous materials information guide? YES NO

I have read the hazardous material information guide and the SCAQMD permitting checklist. I understand my requirements under the State of California Health and Safety Code Section 25505, 25533, and 25634 concerning hazardous materials reporting.

If the answer to the question above was yes, will the proposed building or modified facility be within 1000 feet of the outer boundary of a school. YES NO

OWNER AGENT

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines. YES NO

NAME: _____

SIGNATURE: _____

PEDESTRIAN PROTECTION: _____

DATE APPROVED: _____

DATE PERMITTED TO BE REMOVED: _____

INSPECTION NOTES

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: _____

Lender's Address: _____



City of South Pasadena

1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

ELECTRICAL PERMIT APPLICATION

QTY.

ITEM

FEES

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: [Signature] Date: 4-20-05

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

I have obtained all necessary permits or consent to self-insure for workers' compensation provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall comply with those provisions.

Signature: [Signature] Date: 4-20-05

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

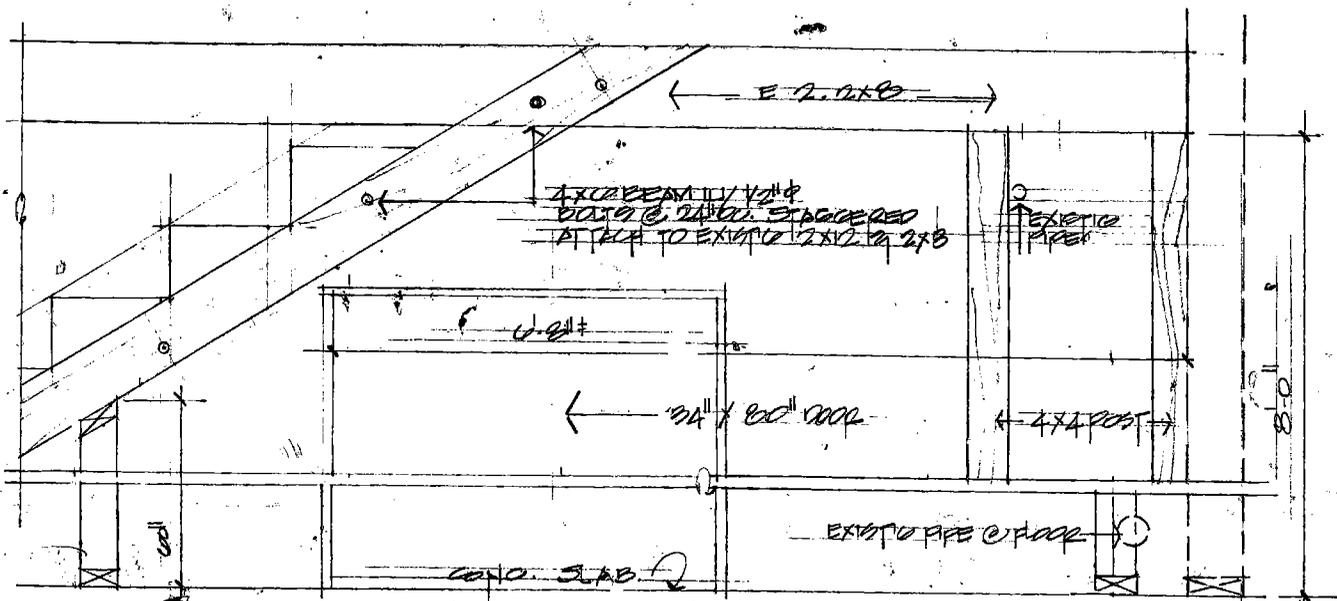
Name: Gil Chirash

Signature: [Signature] Date: 4-20-05

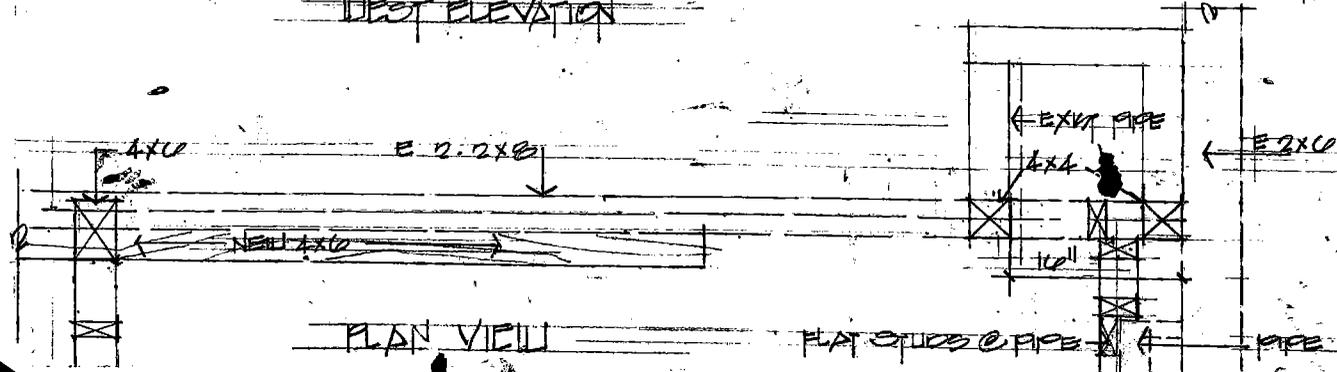
SITE ADDRESS <u>115 Mission St.</u>		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME		
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME		LICENSE NO.
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
CONTACT PERSON <u>Rafael Shakhoviy</u>		
PHONE NUMBER <u>310 710 4226</u>		
CONTRACTOR'S NAME <u>Gil Chirash</u>		
STREET ADDRESS <u>13551-D Riverside Dr. #118</u>		
CITY	STATE	ZIP CODE
<u>Shelton Oaks</u>	<u>CA</u>	<u>91423</u>
LICENSE CLASS <u>B</u>	LICENSE NUMBER <u>840724</u>	EXPIRATION DATE <u>6-30-06</u>
PHONE NUMBER <u>323 855-4448</u>		
WORKERS' COMPENSATION INSURANCE COMPANY NAME		
WORKERS' COMP. INSURANCE POLICY NUMBER		EXPIRATION DATE

New residential construction		
Less than 3 units:	sq. ft.	\$
3 or more units:	sq. ft.	\$
<u>1</u>	Outlet Box(es) for receptacles, switches, lights & similar	\$ <u>1.24</u>
<u>22</u>	Lighting Fixture(s)	\$ <u>24.80</u>
	First 20	\$ <u>1.62</u>
	21 or more	\$
Branch circuit(s) (in lieu of Outlet Box fees above)		
	First 10 branch circuits	\$
	11 to 40 branch circuits	\$
	Residential appliances	\$
	Nonresidential appliances	\$
Power apparatus (size in HP, KW, or kVA)		
	Over 1 but not over 10	\$
	Over 10 but not over 50	\$
	Over 50 but not over 100	\$
Signs, outline lighting, and marquees		
	Supplied from one branch circuit	\$
	Additional circuits within the same sign	\$
	Service New Change Size:	\$
	Switchboards, subpanels, motor control centers	\$
	0 to 399A	\$
	400A to 1,000A	\$
	Over 1,000A	\$
	Misc. apparatus, conduit, and conductors	\$
	Temporary power pole(s)	\$
	Temporary distribution system	\$
	Subtotal	\$ <u>27.60</u>
	Plan Checking Fee	\$
	Additional Plan Checking Fee	\$
	Plan Maintenance Fee	\$
	Permit Issuance Fee	\$ <u>27.75</u>
	Total Permit Fee	\$ <u>55.41</u>

PLAN CHECK NUMBER	INITIALS	DATE
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
PERMIT NUMBER <u>013427</u>	INITIALS <u>MR</u>	DATE <u>4-20-05</u>
DATE FINAL <u>05/24/05</u>	DATE <u>[Signature]</u>	



WEST ELEVATION



PLAN VIEW

PLAN STUDS @ FIVE' & PIPE

JOHN H. HAIGH & ASSOCIATES, INC.
STRUCTURAL ENGINEERS

479 S. Marengo Ave., Suite A / Pasadena, Ca 91101

Phone: (626) 395-7451 Fax: (626) 395-7454

Building Official
City of South Pasadena
Dept of Building & Safety
1414 Mission St

4-19-05

Subject: Request for acceptance un-inspected anchor installation & Sill reinforcement clarification.

Re: Tennant Remodel
1115 Mission St.
South Pasadena, Ca.

It has been called to my attention by the Contractor on referenced site that the hold down epoxy grouted anchor rod for the new HD-10 hold down was placed without Deputy Inspection. The new Simpson hold down is located in the east west wall that separates the two story front of the building from the single story back of the building. Additionally, the contractor has related that Reggie, the inspector for the city will not allow any additional work to proceed until the non inspection issue is resolved.

I have been to the site with Edward Dagermogy, the architect of record to go over the reconstruction of the stud framing in the same east west oriented wall with the contractor prior to the placement of the epoxy setting of the all thread anchor rod. At this point in time, with the dowel already installed, there is no way to inspect the installation. The only two options are to have the anchor tested, or to move the hold down over to the other side of the post and drill a new hole and install the new rod with the required inspection.

I have been told by the contractor that the as-built installation consisted of :

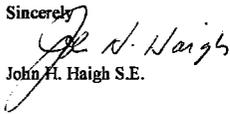
1. The epoxy used was CIA GEL 7000, Manufactured by Covert Products ICC ER-4846
2. The embedment depth of the threaded rod is the 7 inch curb plus 14 inches into the existing foundation below. 14 inches is enough to develop the required strength of the hold down.

The only justification I can offer for requesting the City of South Pasadena to accept the as-built condition, without testing is that this hold down is a new one, placed at the jamb of the door, where it creates a longer length of effective shear wall than the anchor provided during the original seismic retrofit, which was buried farther back from the opening, and was approved as a part of the original retrofit. The original hold down is still there, so we have actually made the original wall more effective, by increasing the distance between the hold down and the anchorage of the other end of the wall to the exterior URM wall.

A second issue is that the code requires 3x sill plates when the shear in the shear wall exceeds 300 plf. We cannot remove the existing 2x sill, because this same east west wall is a bearing wall. What we have done in the past when similar conditions arise is to add a sill blocking plate on top of the existing plate and runs stud to stud (approximately 15 inches long face of stud to face of stud). The foundation bolts are extended up to capture both sill plates, and the edge nailing along the bottom of the shear wall is staggered between the two sill plates to prevent splitting. If the foundation bolts are not long enough to grab the top sill plate, I would suggest removing all debris from the top of the original sill plate and epoxying the interface before placing the block. The Epoxy will glue the two plates together making them act as one piece. We have used this method of laminating two pieces of wood together before and had the joints tested. The wood sheared away from the epoxy joint every time.

Hopefully this letter will be accepted and the Stop Order rescinded, so the Contractor can complete the reconstruction of the wall. Please call if you have any questions.

Sincerely,


John H. Haigh S.E.

1926-108-760

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE [] ZONING [] BLDG [] ELEC [] GRAD []

ZONING BLDG ELEC GRAD

ALL OBSERVED NON-COMPLIANCE IS SUBJECT TO FURTHER REVIEW AND REVISION. THESE PLANS AND/OR CALCULATIONS ARE NOT BEING REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE [] ZONING [] BLDG [] ELEC [] GRAD [] CODE(S) ONLY. ALL WORK MUST BE IN ACCORDANCE WITH THE CURRENTLY ADOPTED CITY ORDINANCES REGARDING THE [] ZONING [] BLDG [] ELEC [] GRAD [] INFORMATION PRESENTED ON THESE PLANS.

THESE PLANS HAVE NOT BEEN REVIEWED FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.

PLANNING DIVISION	DATE	BUILDING DIVISION	DATE
INITIALS	DATE	INITIALS	DATE
		<i>[Signature]</i>	4/20/05

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY



City of South Pasadena

1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

REROOF APPLICATION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

1, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code)

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Shane Gutierrez Date: 4/12/05

BUILDING AND SAFETY PERMIT REGULATION

I affirm under penalty of perjury on the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: Irene Gutierrez Date: 4-12-05

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Irene Gutierrez

Signature: Irene Gutierrez Date: 4-12-05

DESCRIPTION OF WORK	
<input type="checkbox"/> Reroof Over Existing	<input checked="" type="checkbox"/> Tear-Off and Reroof
<input type="checkbox"/> New Plywood and Roof	<input type="checkbox"/> Metal Roof of Existing
<input type="checkbox"/> Other <u>Tear-off apply one layer</u>	
<u>28lb. one layer of 11lb. hot mop. one layer of 20lb. on tile area apply 2 layers of 30lb. hot mop. then reset tiles</u>	
TYPE OF STRUCTURE	
<input type="checkbox"/> RESIDENTIAL	<input checked="" type="checkbox"/> NONRESIDENTIAL
AREA	CODE IN EFFECT
<u>65 sq</u> SQUARES / SQ. FT	
\$ <u>18,500.00</u>	\$ _____
INITIAL VALUATION	REVISED VALUATION
PRE-ROOF INSPECTION IS REQUIRED	
DO NOT COVER THE ROOF UNTIL APPROVAL FROM THE CITY BUILDING INSPECTOR HAS BEEN OBTAINED	
ANY PORTION OF THE ROOF WHICH IS COVERED WITHOUT INSPECTION SHALL BE ENTIRELY UNCOVERED AT THE EXPENSE OF THE APPLICANT	
BUILDING PERMIT FEE	\$ <u>343.45</u>
ISSUANCE FEE	\$ <u>27.75</u>
	\$ _____
	\$ _____
	\$ _____
	\$ _____
	\$ _____
	\$ <u>371.20</u>
PERMIT NUMBER	TOTAL
<u>013385</u> <u>013385</u>	
INITIALS	DATE
<u>MR</u>	<u>4-12-05</u>
DATE OF FINAL INSPECTION	
<u>05/25/06</u>	<u>[Signature]</u>

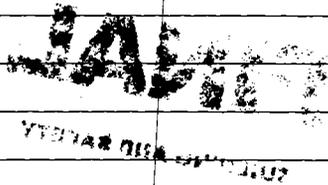
SITE ADDRESS		
<u>1115 Mission St.</u>		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME		
<u>Rafael Shachov</u>		
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME		LICENSE NO.
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
CONTACT PERSON		
PHONE NUMBER		
CONTRACTOR'S NAME		
<u>A. Gutierrez Roofing Co.</u>		
STREET ADDRESS		
<u>1406 E. 58th Dr.</u>		
CITY	STATE	ZIP CODE
<u>Los Angeles</u>	<u>Ca</u>	<u>90001</u>
LICENSE CLASS	LICENSE NUMBER	EXPIRATION DATE
<u>C39</u>	<u>486247</u>	<u>1/06</u>
PHONE NUMBER		
<u>323-583-0745</u>		
WORKER'S COMPENSATION INSURANCE COMPANY NAME		
<u>State Fund</u>		
WORKER'S COMP. INSURANCE POLICY NUMBER	EXPIRATION DATE	
<u>1766733</u>	<u>10/05.</u>	

FINAL BUILDING AND SAFETY

MR
MR

INSPECTION NOTES

NO	INSPECTION	DATE	INSPECTOR
REQUIRED BUILDING INSPECTIONS AND APPROVALS			
R1	Prerof, Tear Off, or Sheathing	4-13-05	RN
R2	Final Roof Inspection	05/24/05	W. B. G.



CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: _____

Lender's Address: _____



City of South Pasadena

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 Office Hrs: 7:30 am to 5:00 pm, M-Th
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 Phone Number (626) 403-7220
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BUILDING PERMIT APPLICATION

OWNER-BUILDER DECLARATION

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I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Shanna Rockenbach Date: 8/25/05

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: Shanna Rockenbach Date: 8/25/05

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Shanna Rockenbach
 Signature: Shanna Rockenbach Date: 8/25/05

DESCRIPTION OF WORK <u>1) 27' x 1', Redwood Sign, Non Illuminated</u> <u>1) 28' DE, Blade Sign/Redwood w/aluminum bracket</u>		
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
NUMBER OF STORIES	FIRE SPRINKLERS <input type="checkbox"/> YES <input type="checkbox"/> NO	CODE IN EFFECT <u>2002 LACBC</u>
STATISTICAL CLASSIFICATION NO.: <u>93C</u> UNITS		PLANNING FILE NO.
\$ <u>2,982</u> INITIAL VALUATION	\$ _____ REVISED VALUATION	
PLAN CHECK FEE <u>1/2 HR</u>	\$ <u>36.25</u>	
ADDITIONAL PLAN CHECK FEE <u>PER # 80404</u>		
PLAN CHECK NUMBER <u>13966</u>	INITIALS <u>AR</u>	DATE <u>8/31/05</u>
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
<input type="checkbox"/> SCHOOL FEES PAID	<input type="checkbox"/> SCAQMD	
<input type="checkbox"/> SANITATION DIST. PAID	<input type="checkbox"/> INDUSTRIAL WASTE APPROVAL	
<input type="checkbox"/> HEALTH DEPT. APPROVAL	<input type="checkbox"/> OSHA PERMIT OBTAINED	
<input type="checkbox"/> FIRE DEPT. APPROVAL	<input type="checkbox"/> PUBLIC WORKS FEES PAID	
BUILDING PERMIT FEE	\$ <u>112.37</u>	
ISSUANCE FEE	\$ <u>27.75</u>	
SMIP FEE	\$ <u>0.63</u>	
PLAN MAPPING FEE	\$ _____	
EXPIRED <u>8-31-06</u>		
PERMIT NUMBER <u>13967</u>	INITIALS <u>AR</u>	DATE <u>8/31/05</u>
DATE OF FINAL	TOTAL \$ <u>140.12</u>	
FINAL BY		

SITE ADDRESS <u>115 Mission St</u>		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME <u>Mission Bell Prop trust</u>		
STREET ADDRESS <u>1930 Walnut Grove Ave</u>		
CITY <u>Rosemead</u>	STATE <u>CA</u>	ZIP CODE
PHONE NUMBER <u>626.307.2261</u>		
PRINCIPAL DESIGNER'S NAME <u>Shanna Rockenbach</u>		
LICENSE NO.		
STREET ADDRESS <u>918 S. Myrtle Ave</u>		
CITY <u>Monrovia</u>	STATE <u>CA</u>	ZIP CODE <u>91016</u>
PHONE NUMBER <u>626.359.6643</u>		
CONTACT PERSON <u>Shanna Rockenbach</u>		
PHONE NUMBER <u>626.359.6643</u>		
CONTRACTOR'S NAME <u>B & H Sign Co. / Tim Rockenbach</u>		
STREET ADDRESS <u>918 S Myrtle Ave</u>		
CITY <u>Monrovia</u>	STATE <u>CA</u>	ZIP CODE <u>91016</u>
LICENSE CLASS <u>C61/D42</u>	LICENSE NUMBER <u>826102</u>	EXPIRATION DATE <u>10/31/05</u>
PHONE NUMBER <u>626.359.6643</u>		
WORKERS' COMPENSATION INSURANCE COMPANY NAME <u>State Fund</u>		
WORKERS' COMP. INSURANCE POLICY NUMBER <u>CA 29538565</u>	EXPIRATION DATE <u>11/05</u>	

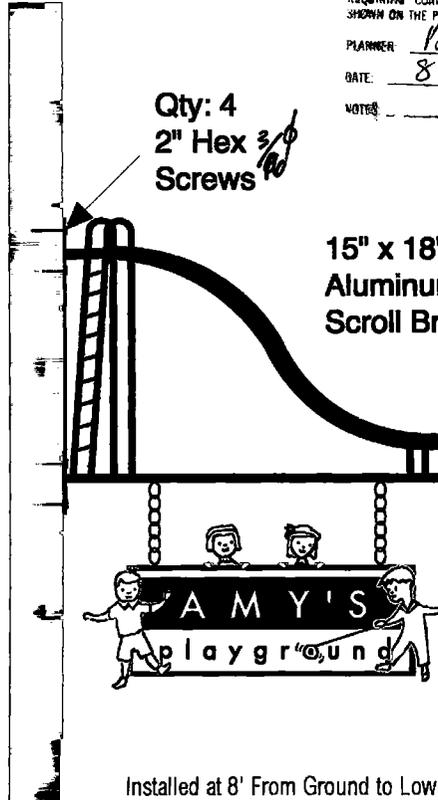
1-718-214

THIS CERTIFIES THAT THESE PLANS HAVE BEEN CHECKED FOR SUBSTANTIAL COMPLIANCE WITH APPLICABLE CODES. PLANS ARE SUBJECT TO FURTHER REVIEW, AND CORRECTIONS. NEITHER CERTIFICATION NOR ISSUANCE OF A PERMIT SHALL BE CONSTRUED AS APPROVAL OF CODE VIOLATIONS NOR PREVENT THE BUILDING OFFICIAL FROM HEREAFTER REQUIRING CORRECTION OF CODE VIOLATIONS WHETHER SHOWN ON THE PLANS OR NOT.

PLANNER: [Signature]

DATE: 8/31/05

NOTES: _____



Qty: 4
2" Hex 3/16"
Screws

15" x 18" Custom
Aluminum 1/4" thick
Scroll Bracket

Installed at 8' From Ground to Lowest Point



Job Name:	Amy's Playground	Date:	8/25/05
Address:	1115 Mission St.	Revised:	
City:	South Pasadena		
Drawn By:	Lindsay Bradley		

NOTES:
Exterior Building Signage Sandblasted Redwood

The above artwork/layout is the exclusive property of B&H Sign Company, Inc. and may not be used in whole or in part by the client to obtain future bids or designs from other sign companies or to obtain city approval without the expressed written consent of B&H Sign Company, Inc. If the above artwork is used without the consent of B&H Sign Company, Inc., the "Client" is responsible for artwork labor compensation at a rate of \$50.00 per hour, with a minimum of 3 hours charged. Electrical Connections & Obstructions: B&H Sign Company, Inc. will connect electrical within 3 feet of sign. If necessary, power must be provided to sign location by others. Polarity must correct and ground wires must be complete. In the event B&H Sign Company, Inc. encounters unforeseen obstructions under ground or in or behind wall price is subject to change.

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL
COMPLIANCE WITH THE CITY OF SOUTH PASADENA
ZONING ORDINANCE AND THE CITY OF SOUTH PASADENA
BUILDING DEPARTMENT REGULATIONS. THE REVIEW WAS LIMITED TO THE
SUBJECT MATTER OF THE PERMIT ONLY.

WALL SIGN

ZONING

ALL OTHERS

ADDITIONAL INFORMATION

LIANCE WITH

APPROVED BY:	DATE:
<i>AR</i>	8/31/05

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY

Fabrication Brackets, assembled with 1/2" x 5" dowels 2 per panel

27'

12" f & n & learn AMY'S PLAYGROUND gifts & parties

8/31/05
[Signature]



From grade to bottom
of sign 12.5'

Qty: 16
2-1/2" Tapcon
Screws



 918 S. MYRTLE AVE., NORWOOD, CA 91018 P. 626.389.8643 F. 626.389.0027	Job Name: Amy's Playground	Date: 8/25/05	NOTES: Exterior Building Signage Sandblasted Redwood
	Address: 1115 Mission St.	Revised:	
	City: South Pasadena		
	Drawn By: Lindsay Bradley		

The above artwork/layout is the exclusive property of B&H Sign Company, Inc. and may not be used in whole or in part by the client to obtain future bids or designs from other sign companies or to obtain city approval without the expressed written consent of B&H Sign Company, Inc. If the above artwork is used without the consent of B&H Sign Company, Inc., the "Client" is responsible for artwork labor compensation at a rate of \$95.00 per hour, with a minimum of 3 hours charged.

Electrical Connections & Obstructions: B&H Sign Company, Inc. will connect electrical within 3 feet of sign. If necessary, power must be provided to sign location by others. Polarity must correct and ground wires must be complete. In the event B&H Sign Company, Inc. encounters unforeseen obstructions under ground or in or behind wall price is subject to change.

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL
COMPLIANCE WITH THE FOLLOWING CODE(S) ONLY

ZONING BLDG ELEC MECH PLMB GRAD _____

ALL OBSERVED NONCOMPLIANCE HAS BEEN CORRECTED. THESE PLANS ARE SUBJECT TO FURTHER REVIEW AND CORRECTIONS. THE APPROVAL OF THESE PLANS AND/OR CALCULATIONS SHALL NOT BE HELD TO BE AN APPROVAL OF ANY VIOLATION OF FEDERAL OR STATE LAW, OR COUNTY OR CITY ORDINANCE.

ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH THE CURRENTLY ADOPTED CODES AND ORDINANCES REGARDLESS OF THE INFORMATION PRESENTED ON THESE PLANS.

THESE PLANS HAVE NOT BEEN REVIEWED FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT

PLANNING DIVISION		BUILDING DIVISION	
INITIALS	DATE	INITIALS	DATE
		AB	8/31/05

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY

CITY OF SOUTH PASADENA

BUILDING DEPARTMENT

COMMERCIAL CERTIFICATE OF OCCUPANCY

THIS IS TO CERTIFY that the Two story bldg (Superior Laundry)
(description of building or structure)

located at 1115 Mission
(number and street)

Occupancy Group F-2 Type UNK. Use Zone C-M Fire Zone I

OWNER MR. THOMAS URTON ADDRESS _____

OCCUPANT Mission Antique Market HOME ADDRESS John R Tunk
2290 Adams, San Marino

has been inspected and the occupancy and use thereof is hereby

APPROVED YES

DENIED _____

Fire Dept. Pat E Land

Build. Dept. Frank Arco

DATE: 7/19/74

DATE: 7/19/74

The following is the applicable section of the South Pasadena City Code,
which sets forth the need for a Certificate of Occupancy:

16413) Other than residential. In the event of any change of occupants
or tenants of any building, or portion thereof or any land, used
for other than residential purposes, no new occupant or tenant
shall occupy or use any such building, or portion thereof or any
land until a new Certificate of Occupancy has been issued by the
Director of Planning & Building, with the approval of the Chief
of the Fire Department.

16414) Change of use. In the event of any change of use of any building,
or portion thereof, or land, no such change of use shall be
instituted until a new Certificate of Occupancy shall have been
issued by the Director of Planning & Building with the approval
of the Chief of the Fire Department.

FEE \$ 5.00

APPLICANT [Signature]

PHONE NO. 799-7327 DATE: 7/5/74

PERMIT NO. 7134

CITY OF SOUTH PASADENA

PLANNING AND BUILDING DIVISION

COMMERCIAL CERTIFICATE OF OCCUPANCY

THIS IS TO CERTIFY that the COMMERCIAL BUILDING
(description of building or structure)

existing at 1115 MISSION ST
(number and street)

Occupancy Group B2 Type VN Use Zone C/M Fire Zone 1

OWNER THOMAS A URTON ADDRESS 1800 VIA LADEIRA, LA HABRA ^{CA 90631}

OCCUPANT J.W. BROS., INC. HOME ADDRESS 1115 MISSION ST.

has been inspected and the occupancy and use thereof is hereby

APPROVED DENIED

JOHN J. BERNARDI
Director of Public Works and City Engineer.

BY: [Signature] Planning & Building Div... Date 9/10/81

BY: [Signature] Fire Department Date 9/5/81

.....

The following is the applicable section of the South Pasadena City Code, which states the need for a Certificate of Occupancy:

36.164(2) Other than residential. In the event of any change of occupants or tenants of any building, or portion thereof or any land, used for other than residential purposes, no new occupant or tenant shall occupy or use any such building, or portion thereof or any land until a new Certificate of Occupancy has been issued by the Director of Public Works and City Engineer, with the approval of the Chief of the Fire Department.

36.164(3) Change of Use. In the event of any change of use of any building, or portion thereof, or land, no such change of use shall be instituted until a new Certificate of Occupancy shall have been issued by the Director of Public Works and City Engineer with the approval of the Chief of the Fire Department.

FEE \$100.00

APPLICANT: [Signature]

PHONE NO: _____ DATE 8/26/81

PERMIT NO: _____

CITY OF SOUTH PASADENA
PLANNING AND BUILDING DIVISION

COMMERCIAL CERTIFICATE OF OCCUPANCY

THIS IS TO CERTIFY THAT THE Payke Gymnastics
(description of proposed use, activity & occupancy)

EXISTING AT 115 Mission
(number and street)

OCCUPANCY GROUP _____ TYPE _____ USE ZONE _____

OWNER Stanley Liu ADDRESS 899 El Centro PHONE 818 799-9898

OCCUPANT Parvin Peik ADDRESS 711 Mound Ave PHONE 818 799-9422
(home)

STAFF ROUTING

PLANNING WRC APPROVED / DENIED DATE 12/7/94

BUILDING _____ APPROVED / DENIED DATE _____

FIRE Peik APPROVED / DENIED DATE 1-25-95

THIS SITE HAS BEEN INSPECTED AND THE OCCUPANCY AND USE THEREOF IS
APPROVED ✓ DENIED _____

THE FOLLOWING IS THE APPLICABLE SECTION OF THE SOUTH PASADENA CITY CODE, WHICH STATES THE NEED FOR A CERTIFICATE OF OCCUPANCY:

36.164(2) OTHER THAN RESIDENTIAL. IN THE EVENT OF ANY CHANGE OF OCCUPANTS OR TENANTS OF ANY BUILDING, OR PORTION THEREOF OR ANY LAND, USED FOR OTHER THAN RESIDENTIAL PURPOSES, NO NEW OCCUPANT OR TENANT SHALL OCCUPY OR USE ANY SUCH BUILDING, OR PORTION THEREOF OR ANY LAND UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED BY THE DIRECTOR OF PLANNING & BUILDING, WITH THE APPROVAL OF THE CHIEF OF THE FIRE DEPARTMENT.

36.164(3) CHANGE OF USE. IN THE EVENT OF ANY CHANGE OF USE OF ANY BUILDING, OR PORTION THEREOF, OR LAND, NO SUCH CHANGE OF USE SHALL BE INSTITUTED UNTIL A NEW CERTIFICATE OF OCCUPANCY SHALL HAVE BEEN ISSUED BY THE DIRECTOR OF PLANNING & BUILDING, WITH THE APPROVAL OF THE CHIEF OF THE FIRE DEPARTMENT.

FEE 75.00

APPLICANT Parvin M. Peik

7/93

PERMIT NO. _____ DATE 1/31/95

NO.	INSPECTION	DATE	INSPECTOR
REQUIRED BUILDING INSPECTIONS AND APPROVALS			
B1	Soils Engineer's Approval		
B2	Location and Setbacks		
B3	Foundation/Trench Forms		
B4	Structural Concrete Slab On Grade		
B5	Raised Floor Framing		
B6	Underfloor Insulation		
B7	First Level Floor Diaphragm		
B8	Second Level Floor Diaphragm		
B9	Third Level Floor Diaphragm		
B10	Roof Diaphragm		
B11	Concrete Deck		
B12	Steel Framing		
B13	Fire Dept. Frame Inspection		
B14	Building Dept. Frame Inspection		
B15	Fire Sprinkler Hangers		
B16	Insulation/Weather Stripping		
B17	Interior Lath and/or Drywall		
B18	Exterior Lath		
B19	Rated Floor/Ceiling Assemblies		
B20	Rated Wall Assemblies		
B21	Rated Opening Protection		
B22	Rated Shaft Construction		
B23	T-Bar Ceilings		
B24	Lot Drainage		
B25	Planning Department Approval		
B26	Fire Department Approval		
B27	Public Works Dept. Approval		
B28	Final Building Inspection		

DESCRIBE COMPLETELY THE INTENDED USE OF ALL SPACE APPLICABLE TO THIS BUILDING PERMIT

THE FOLLOWING STATEMENT MUST BE SIGNED BY THE BUILDING OWNER. WHEN APPROVED BY THE BUILDING OFFICIAL, THE OWNER'S AGENT MAY SIGN FOR PERMITS OTHER THAN THE INITIAL OR SHELL BUILDING PERMIT.

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amounts specified on the hazardous materials information guide? YES NO

I have read the hazardous material information guide and the SCAQMD permitting checklist. I understand my requirements under the State of California Health and Safety Code Section 25505, 25533, and 25634 concerning hazardous materials reporting.

If the answer to the question above was yes, will the proposed building or modified facility be within 1000 feet of the outer boundary of a school. YES NO

OWNER AGENT

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines. YES NO

NAME: _____

SIGNATURE: _____

PEDESTRIAN PROTECTION:

DATE APPROVED: _____

DATE PERMITTED TO BE REMOVED: _____

INSPECTION NOTES *Prc roof approval for 1/2 of roof only the EAST half*

*Prc roof & sheathing OK West half
OK to apply Built-up roofing 10/10/97*

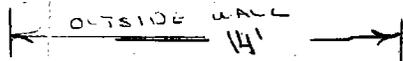
CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: _____

Lender's Address: _____

State Fire Marshal Reserves Right
To Require Ventilated Enclosure
Around Cleaning Equipment If Toxic
Concentration of Vapor Develops.



LA 8267ECP

WESTINGHOUSE
CLEANING
UNIT

BDC ADI

TERMINATE DUCT NOT LESS THAN
8 FT. FROM ANY BUILDING OPENING

MARTIN
RECLAIMER
H 30 FT.

BOILER

← EXISTING

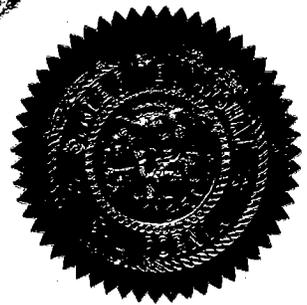
APPROVAL IS SUBJECT TO

- Local ordinances
- Field Inspection and Tests
- Notations hereon
- Provisions of State laws and regulations

NOTE:

State fire marshal does not
for structural requirements.

EXISTING
Permit letter 3-29-71
EXHAUST FAN EACH MACHINE
SHALL BE IN AUTOMATIC OPERATION
WHEN DOOR IS OPEN



REVISIONS					
NO.	DATE	BY			
1			SUPERIOR SHIRT LDY		
2			1115 MISSION SQ. PASADENA		
3			DRAWN BY RO	SCALE 1/4" = 1'	MATERIAL
4			CHK'D	DATE	DRAWING NO.
5			TRACED	APP'D	

FH JAMES LA 222 0248

So. Pasadena Bldg Dept.

MAR 9 1971

Superior Shirt Laundry & Cleaners

1115 Mission

So. Pasadena

Plan approved 3-29-71

File: LA 8267 E GP

STATE FIRE MARSHAL
107 SOUTH BROADWAY
ROOM 9035
LOS ANGELES, CALIF. 90012

So. Pasadena B.D.

RECEIVED

MAR 30 1971

BUILDING DEPT.

March 29, 1971

Refer to
File No.: LA 82678 CP

- L. N. & G. A. Salvoraon
- SUPERIOR SHIRT LAUNDRY & CLEANERS
- 1115 Mission
- South Pasadena, California

Gentlemen:

THIS COMMUNICATION IS A PERMIT FOR:

establishment of
construction of a building or room in
additional construction in
reconstruction of
installation of machinery in
addition of machinery in
machinery rearrangement in
machinery replacement in

a clothes cleaning establishment at the above address.

Your attention is called to local ordinances, rules and regulations, and restrictions by Zoning and Planning Commissions and agencies. Local requirements more stringent than those administered by this Office shall apply. This permit is not a guarantee that local authorities will sanction the proposal and you are therefore cautioned to investigate thoroughly before continuing further with this undertaking.

In areas where a local or County Building Permit is required, the enclosed plan approved MARCH 30, 19 71, should be submitted to the building authority.

NOTE: Prior to the operation of a NEW dry cleaning plant, a license is required by the State Board of Dry Cleaners.

Certificate of Completion is contingent upon satisfactory compliance with the following:

This approval is for the installation of:

1 WESTINGHOUSE MODEL #BDC-1 AD1 DRY CLEANING MACHINE

1 MARTIN MODEL #30 PT RECLAIMER/TUMBLER.

Final approval, however, is contingent upon compliance with notations shown on plans approved March 29, 1971 and the following:

- C
O
P
Y
1. Every clothes cleaning establishment shall be staffed by not less than one (1) qualified person whenever the processes of cleaning and dry cleaning are being performed. The possession of a valid operator's registration certificate as defined in Sections 511(b)(3) and 511(b)(6), Article 2, Chapter 6, State Department of Professional and Vocational Standards, Title 16, California Administrative Code, Rules and Regulations of the State Board of Dry Cleaners, shall be considered *prima facie* evidence of personnel qualifications.
 2. This Office reserves the right to require the installation of a ventilated enclosure around all cleaning equipment in the event that a toxic concentration of vapor develops. Such enclosure shall conform to the requirements of Section 13401 of the Health and Safety Code.
 3. All processes consisting of washing, extracting, and deodorizing solvent-cleaned articles shall take place in equipment approved for that purpose by the State Fire Marshal.
 4. The equipment, its installation, operation, and maintenance shall conform with all applicable laws and regulations of any other governmental agency.
 5. An approved full face piece canister type breathing device shall be provided for the protection of the operator whenever a greater than normal concentration of toxic fumes or vapors is present.
 6. An approved 2 $\frac{1}{2}$ -gallon pressure operated, water type, or equivalent fire extinguisher shall be installed. Extinguisher location shall be determined at field inspection. The fire extinguisher shall be serviced and maintained in accordance with manufacturer's instructions printed on each extinguisher.

March 29, 1971
LA 8267E CP

7. Piping shall be installed in a manner so that no exitway or working area is obstructed. Reclaimed solvent shall be piped to an approved solvent storage tank or to the cleaning machine proper.
8. Reference is made to the Martin Model #30 PF Reclaimer/Tumbler; the manual shutoff switch for the cylinder exhaust fan shall be eliminated from the side of the tumbler and the arrangement of exhaust fan control shall be such that whenever the loading door is open the exhaust fan will be in operation and damper open.
9. Reference is made to the Westinghouse Model #BDC-1 ADL Dry Cleaning Machine; the arrangement of exhaust fan control shall be such that whenever the loading door is open the exhaust fan will be in operation and damper open.
10. Terminate vent ducts not less than eight feet (8') from any building opening.
11. A minimum of thirty-six inches (36") of operating clearance shall be maintained for operation of all machines. Exit passages shall not be less than thirty-six inches (36") clear width. Machinery shall be located not less than eighteen inches (18") from any walls in order to afford sufficient room for cleaning and maintenance.
12. Solvent pumps shall be designed to prevent leaking of solvent. All pumps except vacuum pumps from solvent condensers shall be equipped with a pressure release device to prohibit pressures in excess of fifty pounds per square inch.

NOTE: It is recommended that the Los Angeles County Air Pollution District be contacted prior to installation.

This permit does not encompass the question of structural stability nor abrogate any more restrictive requirements by other agencies.

Yours very truly,

HRA:el
cc So. Pasadena Fire Dept.
cc So. Pasadena Bldg. Dept.,
(w/plan)
cc Deputy D. A. Sims,
(w/plan)
cc St. Board of Dry Cleaners,
(w/C-C)

ALBERT E. HOLE
State Fire Marshal

BY

JOHN SHANNIAN
Senior Deputy

Appendix E

Assessor Records

Book _____
Index _____
Page _____

No. 1115 Mission 5315

Tract Raab. 8

Lot No. 1E17S17 7 Block No. A

Examined by S. R. TURNER Date 1-31-34

CLASS	ROOF	HEATING	DECORATING
Garages ✓ Stores ✓ Lofts Factories Warehouses	Plat. Hip Plain Tile Tin. Shingle Gravel Composition ✓ <i>Summerhill</i>	Fireplaces Wood. Coal Oil or Gas Furnace Steam ✓	Ornamental Medium Cheap
	Construction	PLUMBING	ELEVATOR
FOUNDATION	Good ✓ Medium Cheap	No. of Fixtures	Hand, Freight Automatic Elec. Hydraulic Bronze Enclos. Iron
Concrete ✓ Brick		Good, Medium Cheap, Sewer Cesspool	Miscellaneous
	WALLS	LIGHTING	Fire Escapes Metal Windows Sprinkler " Basement " Entire Bldg.
FRONT	Brick, Tile Concrete	Gas, Electric Good, Medium Cheap	CONDITION
Copper, Wood Plat. Sheet G's Pressed Enameled Blue, Brick ✓ Terra Cotta Stone, Tile Plaster	Exterior Dec. Enameled Brick Good, Pressed ✓ Cheap " " Blue or sel. com " Plaster Ornamental Medium, Cheap	INTERIOR	Good Medium Poor 1 1/2
		Finished Unfinished ✓	

OCCUPANCY

Owner, Rented, Vacant _____

Year Built 1925

Basement: _____

Finished _____

Unfinished _____

Cement Floor 1

No. of Stories 1 1/2

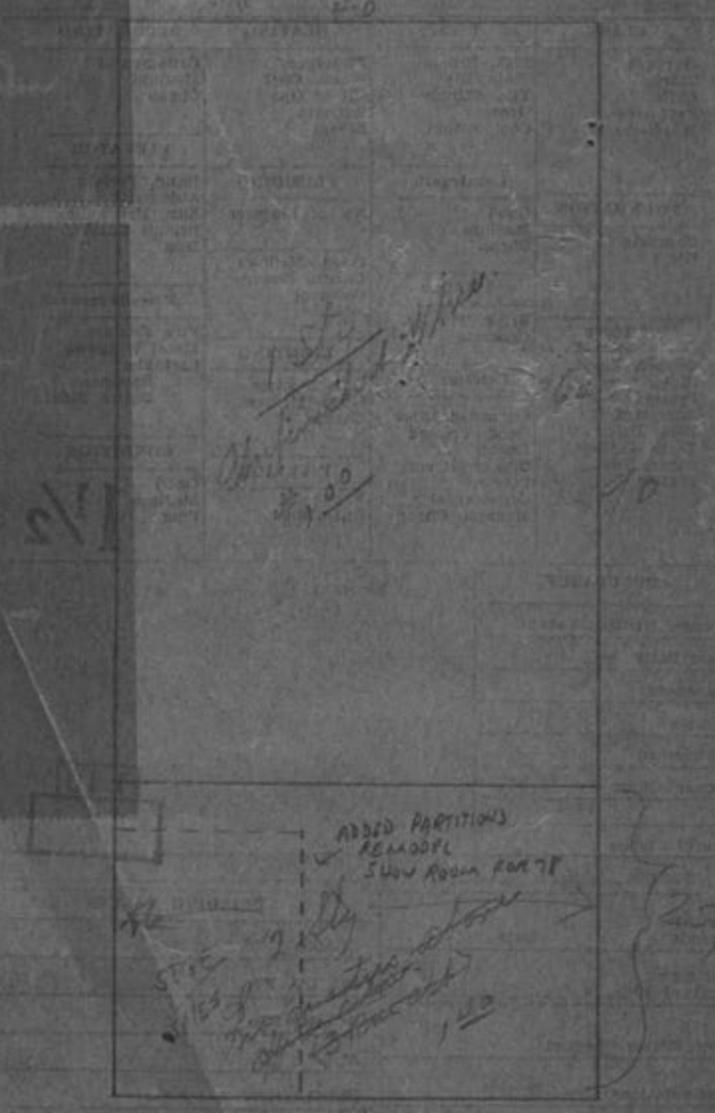
OWNER M. O. Clark

Remarks: *This Bldg. Redrawn
of old ship & repairs & alterations
now has 1 R.R. Partly finished
for living (3 run apt) suitable to
begin from 1925*

1.10
3740

BUILDING VALUES	
No. of Permit <u>1264</u> Date <u>12/9/33</u>	CLASS
Estimated Cost of Bldg. <u>\$1400 Repairs</u>	NO. CU. FT.
Cost Factor Checked	NO. SQ. FT. <u>7080</u>
Computations " <u>6</u>	At \$ <u>1.40</u>
Entered on Map Book <u>S 605</u>	BLDG. COST <u>\$7914.</u>
Compared <u>Ed</u> <u>3400</u>	BENT. COST <u>\$2560.</u>
	HEAT-COST <u>\$144.</u>
	TOTAL COST <u>\$5616</u>
	PER CENT DEP. <u>13.0165</u>
	% UTILITY DEP.
	DEP. VALUE <u>\$4857.</u>
	ASSESSED VALUE <u>\$2430.</u>

Black Tin Pipe Wood frame
Ded. 100 No. 100
Remodded
for 70
40
Ref. 15032
n.m. 75-100



RIDGE
90 x 140 = 12600
26140 = 10400
200607 9/20/64 100 int. alt. 26140 = 10400
7 solution N.A.V. Ring 7066/6. (6)

Appendix F

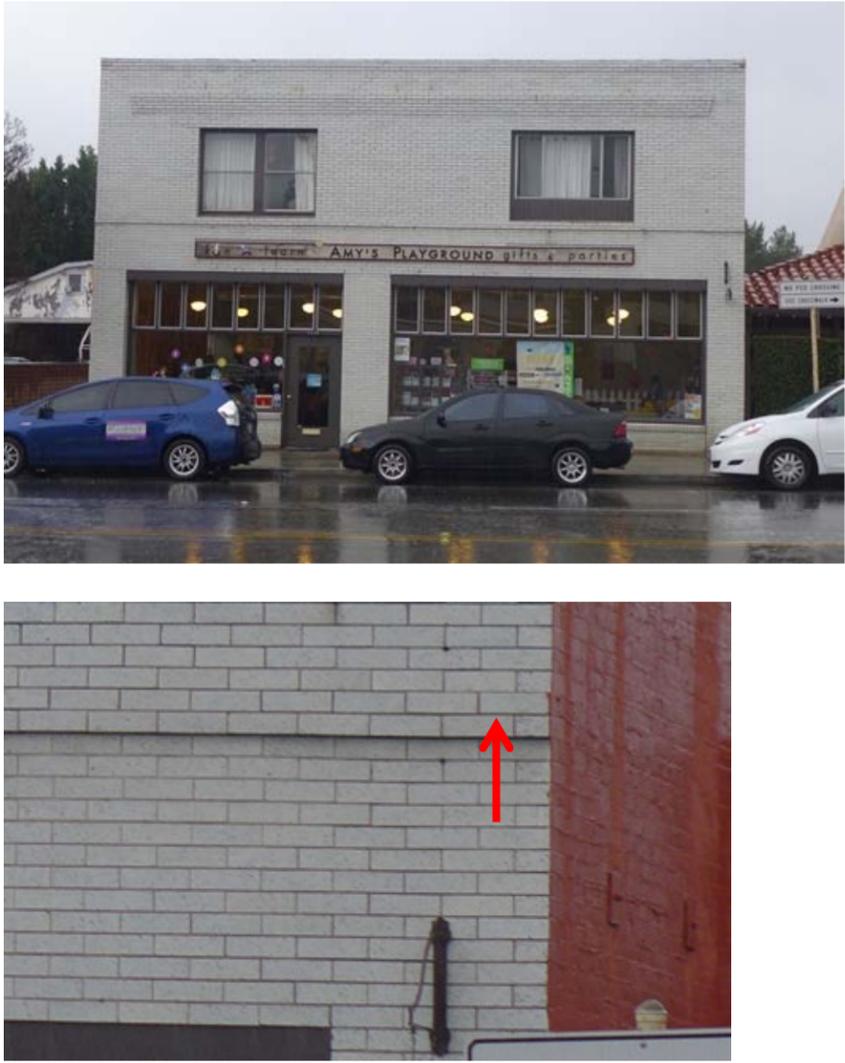
Character-Defining Features



CHARACTER-DEFINING FEATURES TABLE: 1115 MISSION STREET, SOUTH PASADENA, CALIFORNIA

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
Exterior (Overall)	Rectangular footprint	 <p>Source: Google Maps</p>	Primary	Removal of two-thirds of Warehouse. New construction will also be in a rectangular footprint, but will be longer in length.	None	Retain all of warehouse.
	Overall rectangular massing consisting of two stories along Mission Street and one story at rear (south side)		Primary	New construction will be two-stories at the rear.	None	Retain all of warehouse.

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Roof: Two-story front (north side of subject property) section covered by flat roof surrounded on all four sides by brick parapet; one-story rear (south side of subject property) section covered by vaulted roof and enclosed by brick parapet</p>	 <p>Source: Google Earth</p>	<p>Primary</p>	<p>North portion will be angled for water runoff and northern one-third portion of the warehouse will remain vaulted with the stairway to the north portion's roof; roof of south two-third of warehouse will be demolished.</p>	<p>None</p>	<p>Retain all of warehouse.</p>
<p>North Elevation (Mission Street): Primary</p>	<p>Glazed brick exterior wall, running bond and speckled finish</p>		<p>Primary</p>	<p>None</p>	<p>None</p>	<p>None</p>

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Projecting brick coursing, consisting of two courses of glazed brick, between first and second story		Primary	None	None	None

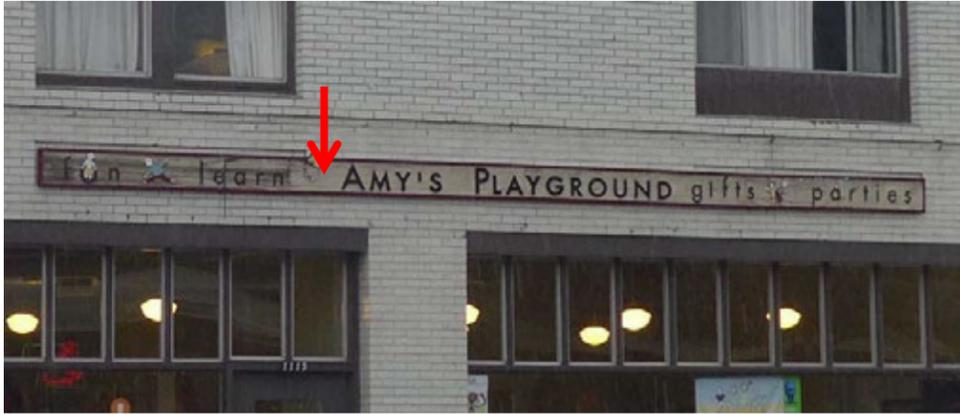
Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Project glazed brick band above second story windows consisting of six courses of glazed brick; four courses of angled glazed bricks surmounted by two courses of glazed brick; angled corners</p>		<p>Primary</p>	<p>None</p>	<p>None</p>	<p>None</p>

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Projecting glazed brick cornice, consisting of three courses of glazed brick, along parapet; top two courses of glazed brick project beyond lower course</p>		<p>Primary</p>	<p>None</p>	<p>None</p>	<p>None</p>

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Two rectangular window openings, fitted with wood surrounds, at second floor (windows appear to be replacements and therefore non-contributing)		Primary	Replacement of non-original windows with historic period appropriate style ones	None	None
	Rectangular masonry recess, five courses in height above storefronts		Primary	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Two storefront window openings fitted with wood surrounds and mullions (glazing appears to be replaced and therefore non-contributing), rectangular; opening at northeast corner of building larger than opening at northwest corner</p>		<p>Primary</p>	<p>Replacement of non-original windows with in-kind wood.</p>	<p>None</p>	<p>None</p>
	<p>Single door opening fitted with wood surrounds set into northeastern storefront (door appears to be replaced and therefore non-contributing)</p>		<p>Primary</p>	<p>Replacement of non-original door with solid door with metal grate and hardware.</p>	<p>None</p>	<p>None</p>

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Recessed glazed brick wall below storefront window openings surmounted by glazed masonry window sill; bricks comprising window sill angled</p>		<p>Primary</p>	<p>None</p>	<p>None</p>	<p>None</p>
	<p>Raised concrete footings below each storefront window opening</p>		<p>Contributing</p>	<p>None</p>	<p>None</p>	<p>None</p>

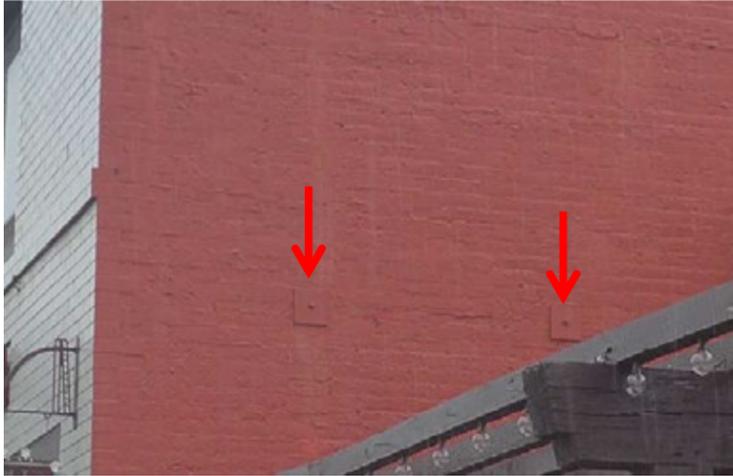
Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Projecting sign		Non-contributing	Removal	Removal of non-contributing feature is acceptable.	None
	Signage		Non-contributing	Removal	Removal of non-contributing feature is acceptable.	Signage that is appropriate to historic building, attached as to not damage the brick, and within the recess panel

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
East Elevation: Contributing	Two-story height at front end (north side) of subject property, with one-story height at rear (south side); stepped brick transition between two-story and one-story section		Primary	Demolish southern two-thirds of east elevation.	None	Retain all of warehouse.
	Brick exterior wall (painted finish/water proofing non-contributing)		Primary	Demolish southern two-thirds of east elevation.	None	Retain all of warehouse.

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Arched entryway surmounted by lintel consisting of two courses of brick (door non-contributing)		Contributing	Demolish southern two-thirds of east elevation, including this door.	None	Retain all of warehouse.
	Two arched window openings surmounted by lintels consisting of two courses of brick (windows non-contributing)		Contributing	Removal of southern window, addition of new door at location of northern window	None	Retain window openings, instead of adding new door.

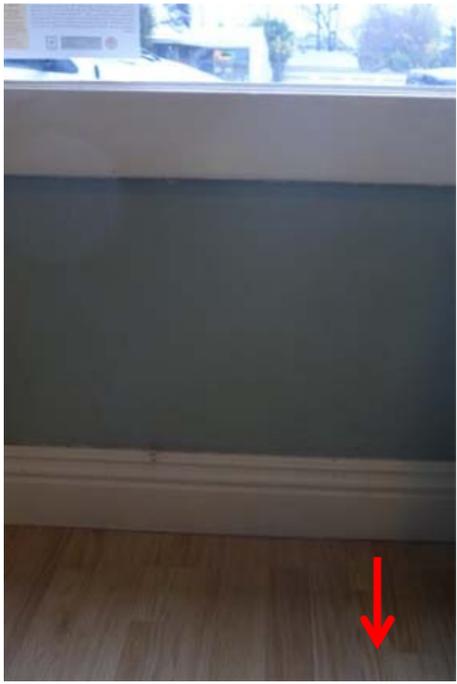
Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Light fixtures and electrical tubing		Non-contributing	Removal	Removal of non-contributing feature is acceptable.	None
	Plates installed as part of seismic retrofit for unreinforced masonry		Non-contributing	None	None	None

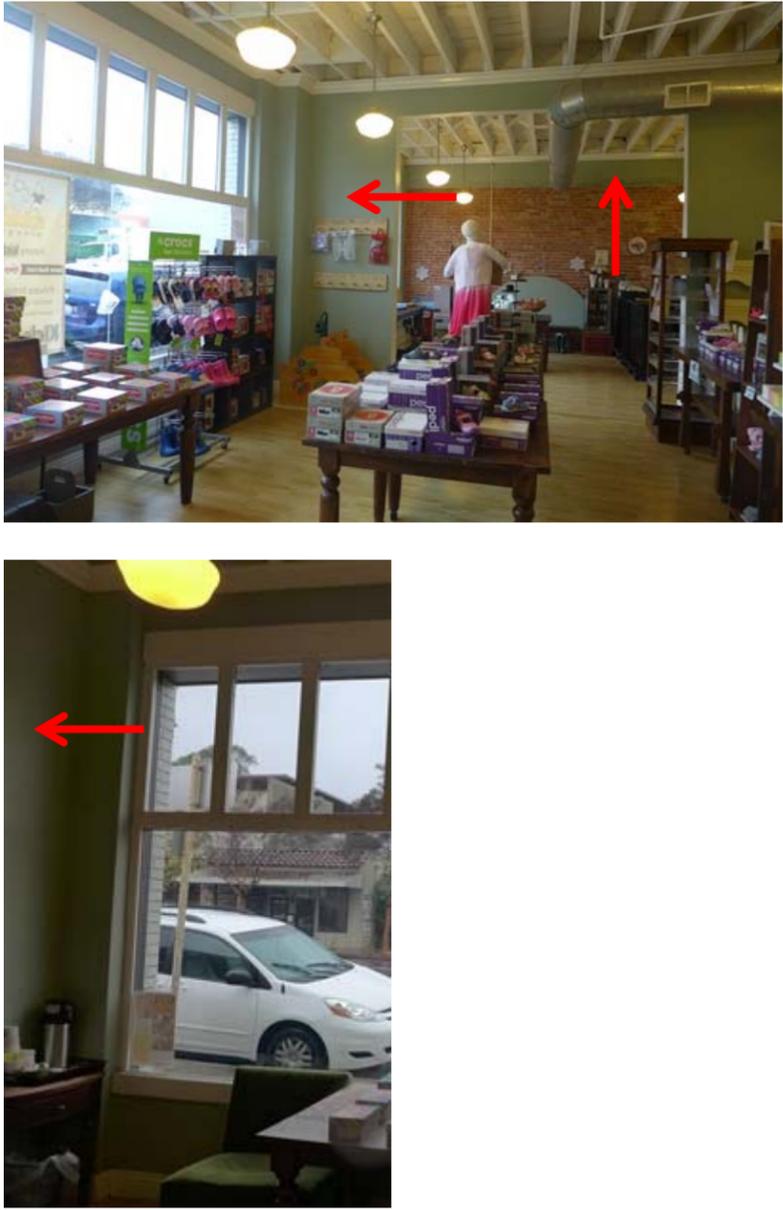
Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Metal mailbox		Non-Contributing	Removal	Removal of non-contributing feature is acceptable.	None
West Elevation: Contributing	Two-story height at front end (north side) of subject property, with one-story height at rear (south side)		Contributing	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Brick exterior wall (painted finish/water proofing non-contributing)		Contributing	Addition of three windows	None	None
	Bolts installed as part of seismic retrofit for unreinforced masonry		Non-contributing	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
South Elevation (Rear): Contributing	One-story height and rectangular massing		Contributing	Demolish and build new south elevation that will match existing in height and massing.	None	Retain all of warehouse.
	Brick exterior wall (painted finish/water proofing non-contributing)		Contributing	Demolish and build new south elevation.	None	Retain all of warehouse.

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Garage door opening with projecting brick surrounds (infill panel and single metal door non-contributing)		Contributing	Demolish and build new south elevation with no opening.	None	Retain all of warehouse.

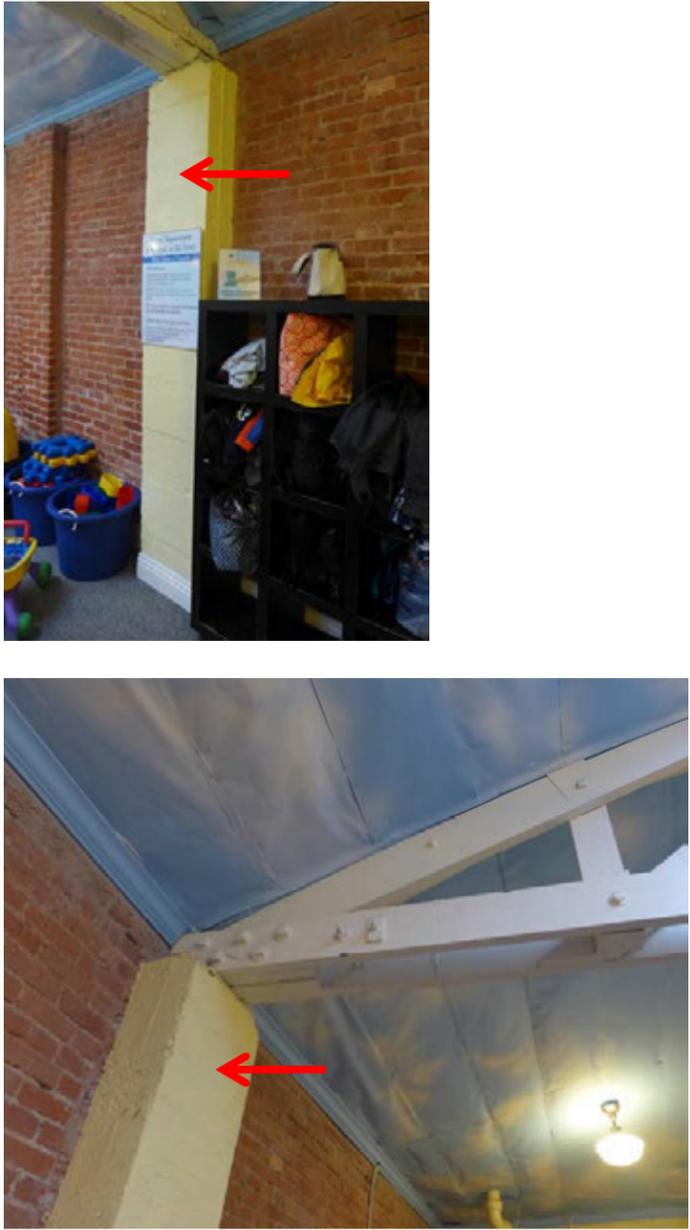
Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
Interior: Front (North) Room	Front Room: Red brick (laid in common bond) perimeter wall on east side of building (light green painted finish non-contributing)		Primary	None	None	None
	Front Room: Wood floor		Non-contributing	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Front Room: central partition wall and eastern perimeter wall		Non-contributing	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Front Room: Exposed floor joists		Non-contributing	None	None	None
	Front Room: Baseboard		Non-contributing	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Front Room: Molding		Non-contributing	None	None	None
	Front Room: Lighting fixtures		Non-contributing	None	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
Interior: Back (South) Room	Back Room: Red brick (laid in common bond) perimeter wall and pilasters		Primary	Two-thirds of back room will be demolished.	None	Retain all of warehouse.

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Back Room: concrete piers supporting roof truss system (painted finish non-contributing)</p>		<p>Primary</p>	<p>Two-thirds of back room will be demolished.</p>	<p>None</p>	<p>Retain all of warehouse.</p>

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	<p>Back Room: vaulted ceiling supported by wood-framed truss system; variation of fan and double fink truss systems along width of room, with intersecting cross ties along the center (ceiling material non-contributing)</p>		<p>Primary</p>	<p>Two-thirds of back room will be demolished.</p>	<p>None</p>	<p>Retain all of warehouse.</p>

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Back Room: carpet		Non-contributing	Removal	Removal of non-contributing feature is acceptable.	None
	Back Room: Baseboard, painted white		Non-contributing	Removal	Removal of non-contributing feature is acceptable.	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Back Room: Lighting Fixtures		Non-contributing	Removal	Removal of non-contributing feature is acceptable.	None
	Back Room: Partition wall separating front and back rooms		Primary	Retain wall with arched openings.	None	None

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Back Room: south and east interior (painted finish non-contributing)		Non-contributing	Demolition of south two-thirds of back room.	None	Retain all of warehouse.
	Back Room: Rectangular skylights symmetrically placed		Non-contributing	Demolition of south two-thirds of back room and two-thirds of skylights.	None	Retain all of warehouse.

Type	Feature	Photograph	Character Defining Feature (Primary or Contributing)	Proposed Alteration/Treatment	Explanation/Reasoning	Recommendations
	Back Room: Molding		Non-contributing	Demolition of south two-thirds of back room.	None	Retain all of warehouse.

Appendix G

Proposed Project Plans



CFT MISSION BELL CENTER

MIXED USE COMMERCIAL AND MULTIFAMILY RESIDENTIAL

1101-1115 MISSION STREET, SOUTH PASADENA, CA

REVISED ENTITLEMENTS SUBMITTAL, 02.27.19

PROJECT DESCRIPTION:

3 STORY MIXED USE PROJECT

THE PROJECT CAN BE DESCRIBED AS A (3) STORY MIXED USE BUILDING WITH (2) STORIES OF PARKING BELOW GRADE. THE SITE ALSO CONTAINS A (2) STORY MASONRY BUILDING WHICH IS DEEMED HISTORIC TO THE CITY OF SOUTH PASADENA WHICH IS A CRITICAL PART OF THE PROJECT'S OVERALL DESIGN.

THE PROJECT PROPOSES (35) NEW RESIDENTIAL UNITS AND REFURBISHES (1) EXISTING UNIT AS 1 BEDROOM LOFTS, FLATS, AND 2 BEDROOM FLATS. THE GROUND FLOOR COMMERCIAL SPACE 7,394 SF INCLUDING THE HISTORIC BUILDING.

BUILDING INFORMATION:

BUILDING INFORMATION

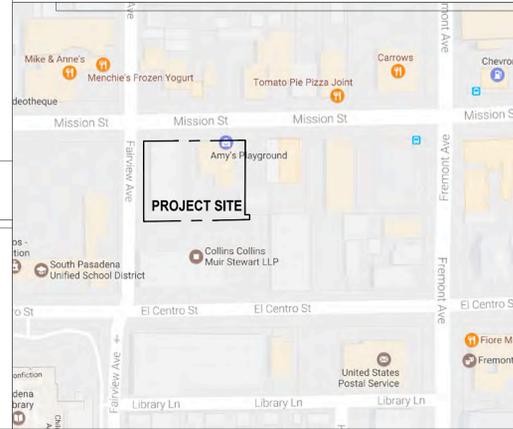
NUMBER OF STORIES: 3
TYPE OF CONSTRUCTION: TYPE V-B OVER TYPE I PODIUM AND BASEMENT/S
USE: MULTIFAMILY USES OVER COMMERCIAL AND PARKING USES
OCCUPANCY: A2, M, R2, AND S2 OCCUPANCIES
LOT AREA: 31,113 SF
LOT COVERAGE: 69% LOT COVERAGE

APPLICABLE CODES:

PROJECT SHALL COMPLY WITH:

2017 CALIFORNIA BUILDING CODE
2017 CALIFORNIA GREEN BUILDING CODE
2017 CALIFORNIA ELECTRICAL CODE
2017 CALIFORNIA PLUMBING CODE
2017 CALIFORNIA MECHANICAL CODE
2017 TITLE 24 ENERGY COMPLIANCE

VICINITY MAP:



PROJECT DATA:

CLIENT CONTACT

CHARLIE SHEN
CFT DEVELOPMENTS, LLC
1683 WALNUT GROVE AVENUE
ROSEMEAD, CA 91770
626.372.8122

PROJECT ADDRESS

1101-1115 MISSION STREET
SOUTH PASADENA, CA 91030

COMBINED LOT AREA: 31,113 S.F.

ASSESSOR PARCEL NO. (APN): 5315-008-045, 5315-008-043

PROPERTY BOUNDARY DESCRIPTION: *TR=RAABS
SUBDIVISION LOT 5 AND EX OF ST LOT 6 BLK A AND THROOP
GATES AND COOKS SUBDIVISION N 10 FT OF LOT 3 AND ALL OF
LOT 4 BLK C

REGION / CLUSTER: 27 / 27614

GENERAL NOTES:

A. GENERAL NOTES

- INTERPRETATION OF DRAWINGS AND DOCUMENTS: EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE BEFORE EXECUTING ANY WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. THE ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN CONDITIONS OR SITUATIONS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OR SAFETY OF THE PROJECT.
- ADHERENCE TO PLANS: STRICT ADHERENCE TO THE CONSTRUCTION DOCUMENTS MUST BE MAINTAINED. NO CHANGES SHALL BE MADE IN THE PROJECT WHICH DEVIATE FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE OWNER AND ARCHITECT.
- WORKING DRAWING: FIGURED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALE MEASUREMENTS. IN CASE OF ANY DOUBT ON THE PART OF THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE ARCHITECT FOR AN INTERPRETATION BEFORE PROCEEDING WITH HIS WORK.
- SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO CONTRACTOR'S APPROVAL FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE PROJECT WORK.
- WHEREVER IN THESE DRAWINGS ANY MATERIAL OR PROCESS IS INDICATED, IT IS FOR THE PURPOSE OF FACILITATING DESCRIPTION OF THE MATERIAL OR PROCESS DESIRED. THE CONTRACTOR MAY OFFER ANY MATERIAL OR PROCESS WHICH SHALL BE DEEMED EQUIVALENT BY THE ENGINEER AND THE ARCHITECT TO THAT MATERIAL OR PROCESS INDICATED OR SPECIFIED.
- UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE OF THE KIND AND QUALITY OF MATERIALS.
- IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.

B. PERMITS AND REGULATIONS

- EACH CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE PROCEEDING WITH HIS RESPECTIVE INSTALLATION AND SHALL ARRANGE AND PAY FOR ANY INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE APPLICABLE BUILDING CODE, AND LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.
- IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ANY FEDERAL, STATE AND LOCAL OR MUNICIPAL LAW, ORDINANCE, RULES OR DEPARTMENTAL REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT WORK. IF ANY OF THE CONTRACTOR'S WORK SHALL BE DONE CONTRARY THERETO WITHOUT SUCH NOTICE HE SHALL BEAR ALL COST ARISING THEREFROM.

C. PROTECTION OF WORK & PROPERTY

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF HIS WORK. HE SHALL PROVIDE, DURING THE PROGRESS OF HIS WORK, EVERY AND ALL SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, INJURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJOINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND EVERY PART THEREOF AND FOR ALL MATERIALS, TOOLS, APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.

C. PROTECTION OF WORK & PROPERTY (CONT.)

- THE CONTRACTOR ASSUMES ALL RISKS, HAZARDS AND CONDITIONS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT, AND EVEN IF THE PERFORMANCE OF THE CONTRACT INVOLVES A GREATER EXPENDITURE OF MONEY THAN THE CONTRACTOR EXPECTED AT THE TIME OF BIDDING. NO ALLOWANCE WILL BE MADE ON ACCOUNT THEREOF, AND THE CONTRACTOR SHALL CONTINUE WITH AND COMPLETE THE WORK.

D. SUPERVISION

- THE CONTRACTOR SHALL GIVE PERSONAL SUPERVISION TO THE WORK, USING HIS BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE SITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY HIM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATION DELIVERED TO THE FOREMAN BY THE ARCHITECT SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.

E. DAMAGES IN THE WORK

- THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ALTER BY ADDING TO OR DEDUCTING FROM THE WORK COVERED IN THE CONTRACT. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT NO EXTRA WORK OR CHANGES SHALL BE DONE WITHOUT WRITTEN ORDER FROM THE ARCHITECT. SUCH ORDERS SHALL COVER THE AGREED PRICE AND TERMS OF EXTRA WORK OF CHANGES, IF WORK IS TO BE OMITTED, THEN PROPER CREDIT FOR SUCH OMITTED WORK SHALL BE GIVEN THE OWNER.

F. CLEANING BUILDING AND PREMISES

- PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE EXTERIOR AND INTERIOR OF THE BUILDING, INCLUDING FIXTURES, EQUIPMENT, FLOORS AND HARDWARE, REMOVING ALL PLASTER SPOTS, STAINS, PAINT SPOTS AND ACCUMULATED DUST AND DIRT. THIS SHALL INCLUDE THOROUGH CLEANING OF ALL ROOFS, WINDOW SILLS AND LEDGES, HORIZONTAL PROJECTIONS, STEPS, RAILS, SIDEWALKS OR OTHER SURFACES WHERE DEBRIS MAY HAVE COLLECTED. WASH AND POLISH ALL GLASS.

G. GUARANTEES

- EXCEPT AS OTHERWISE SPECIFIED, ALL WORK SHALL BE GUARANTEED IN WRITING BY THE CONTRACTOR AGAINST DEFECTS RESULTING FROM DEFECTIVE MATERIALS, POOR WORKMANSHIP OR FAULTY EQUIPMENT, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FILING THE NOTICE OF COMPLETION AND THE ACCEPTANCE OF THE BUILDING BY THE OWNER. IF WITHIN THE GUARANTEE PERIOD CORRECTION OF FAULTY MATERIALS OR WORKMANSHIP IS NECESSARY IN THE OPINION OF THE OWNER, THE CONTRACTOR SHALL PROMPTLY, UPON RECEIPT OF NOTICE FROM THE OWNER AND WITHOUT EXPENSE TO THE OWNER, CORRECT FAULTY MATERIALS OR WORKMANSHIP.

H. VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS

- WHEN APPLICABLE THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING LOCATING AND DESCRIBING ALL UNDERGROUND UTILITIES LOCATED ON THE SITE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: GAS LINES, WATER LINES, SANITARY SEWERS, TELEPHONE LINES, AND ELECTRIC LINES.

H. TRANSPORTATION OF EXCAVATED MATERIAL

- WHEN APPLICABLE, THE CONTRACTOR SHALL TRANSPORT ALL EXCAVATED MATERIAL NOT REQUIRED FOR RE-COMPACTION TO AN APPROVED LANDFILL SITE OUTSIDE THE COASTAL ZONE. PROVIDE TRIP TICKETS FOR ALL EXCAVATED MATERIAL REMOVED FROM THE PROJECT.

ABBREVIATIONS:

&	AND	FIN	FINISHED	PSF	POUNDS PER SQUARE FOOT
@	AT	FIN	FINISH	PSI	POUNDS PER SQUARE INCH
d	PENNY	FL	FLOOR	PT	POINT
f	ANGLE	FLASH	FLASHING	PTOF	PRESSURE TREATED
↓	PERPENDICULAR	FLUOR	FLUORESCENT		DOUGLAS FIR
A/C	AIR CONDITIONER /	FOC	FACE OF CONCRETE	Q	QUARTZ
AB	CONDITIONING	FOF	FACE OF FINISH	QT	QUARRY TILE
ABV	ANCHOR BOLT	FOM	FACE OF MASONRY	QTY	QUANTITY
AC	ASPHALTIC CONCRETE	FOP	FACE OF PLYWOOD	R	RISER
AD	AREA DRAIN	FOS	FACE OF STUDS	RAD	RADIUS
ADA	AMERICANS WITH	FOW	FACE OF WALL	RCP	REFLECTED CEILING PLAN
	DISABILITIES ACT	FP	FIREPROOF FIREPLACE	RD	ROOF DRAIN
ADJ	ADJUSTABLE / ADJACENT	FT	FOOT OR FEET	REF	REFERENCE
AFF	ABOVE FINISHED FLOOR	FTG	FOOTING	REG	REFRIGERATOR
AFG	ABOVE FINISHED GRADE	FURR	FURRING	REIN	REGISTER
AFS	ABOVE FINISHED SLAB	GA	GAUGE	REIN	REINFORCE(D)
AL / ALUM	ALUMINUM	GALV	GALVANIZE(D)	REQ	REQUIRED
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	REV	REVISE / REVISION
AND	AND/ID	GL	GLASS / GLAZING	RFL	REFLECTED
AP	ACCESS PANEL	GR	GRADE	RH	RIGHT HAND, ROUND HEAD
APPROX	APPROXIMATELY	GYP	GYP/SUM	RI	ROUGH OPENING
ARCH	ARCHITECT(URAL)	GYP BD	GYP/SUM BOARD	RO	ROUGH OPENING
ASPH	ASPHALT	HB	HOSE BIB	RWD	REDWOOD
ASTM	AMERICAN SOCIETY FOR	HDR	HEADER	S	SOUTH
	TESTING MATERIALS	HDWR	HARDWARE	SCHED	SCHEDULE
AUTO	AUTOMATIC	HOR / HORIZ	HORIZONTAL	SD	STORM DRAIN
AVG	AVERAGE	HP	HIGH POINT HORSEPOWER	SECT	SECTION
BD	BOARD	HR	HANDRAIL, HOUR	SF	SQUARE FEET
BET	BETWEEN	HT	HEIGHT	SHT	SHEET
BITUM	BITUMINOUS	HTR	HEATER	SHTG	SHEATHING
BLDG	BUILDING	HVAC	HEATING / VENTILATION / AIR	SHWR	SHOWER
BLK	BLOCK		CONDITIONING	SIM	SIMILAR
BLKG	BLOCKING	HW (R)	HOT WATER (RETURN)	SMACNA	RE THE ARCH SHEET METAL
BN	BOUNDARY NAILING	ID	INSIDE DIAMETER		MANUAL
BOT	BOTTOM	IN	INCH / INCHES	SOG	SLAB ON GRADE
CAB	CABINET	INCL	INCLUDE(D) / INCLUDING	SPEC	SPECIFY / SPECIFICATION
CB	CATCH BASIN	INSUL	INSULATE / INSULATION	SQ	SQUARE
CF	CUBIC FOOT	INT	INTERIOR	SGFT	SQUARE FEET
CI	CAST IRON CONTRACTOR	JT	JOINT	SOIN	SQUARE INCHES
	INSTALLED	LAM	LAMINATE(D)	SS	STAINLESS STEEL
CIP	CAST IN PLACE	LAV	LAVATORY	ST	STONE
CJ	CONTROL JOINT, CEILING	LB	LAG BOLT	STD	STANDARD
	JOIST	LB(S)	POUND(S)	STL	STEEL
CL	CENTER LINE	LF	LINEAR FOOT (FEET)	STOR	STORAGE
CLG	CEILING	LH	LEFT HAND	STRUC	STRUCTURE / STRUCTURAL
CLOS	CLOSET	LIB	LIBRARY	SUSP	SUSPENDED
CLR	CLEAR	LP	LOW POINT	SYM	SYMMETRICAL
CMU	CONCRETE MASONRY UNIT	LT	LIGHT	SYN	SYNTHETIC
CO	CLEAR/CLEAR OUT	LVR	LOUVER	SYS	SYSTEM
COL	COLUMN	MACH	MACHINE	T&B	TOP AND BOTTOM
CONC	CONCRETE	MAINT	MAINTENANCE	T&G	TONGUE AND GROOVE
CONST	CONSTRUCTION	MAS	MASONRY	T&T	TO BE DETERMINED
CONT	CONTINUOUS	MATL	MATERIAL	TBD	TO BE SELECTED
CORR	CORRIDOR	MAX	MAXIMUM	TEL	TELEPHONE
CSK	COUNTERSINK	MB	MACHINE BOLT	TEMP	TEMPORARY /
DBL	DOUBLE	MECH	MECHANICAL		TEMPERATURE
DEMO	DEMOLISH / DEMOLITION	MEMB	MEMBRANE	THK	THICK
DF	DOUGLAS FIR	MEZZ	MEZZANINE	THRU	THROUGH
DIA	DIAMETER	MFR	MANUFACTURE(R)	TOC	TOP OF CONCRETE
DIAG	DIAGONAL	MIN	MINIMUM	TOS	TOP OF SLAB
DIM	DIMENSION	MISC	MISCELLANEOUS	TOW	TOP OF WALL
DIV	DIVISION	MR	MOISTURE RESISTANT	TV	TELEVISION
DN	DOWN	MTL	METAL	TYP	TYPICAL
DS	DOWNSPOUT	(N)	NEW	UL	UNDERWRITER'S
DWG	DRAWING	N	NORTH		LABORATORY
(E)	EXISTING	NA OR N/A	NOT AVAILABLE / APPLICABLE	UNF / UNFIN	UNFINISHED
E	EAST	NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
EA	EACH	NO / #	NUMBER	UON	UNLESS OTHERWISE NOTED
EJ	EXPANSION JOINT	NOM	NOMINAL	UPS	UNINTERRUPTIBLE POWER
EL	ELEVATION	NTS	NOT TO SCALE		SUPPLY
ELEC	ELECTRICAL	OC	ON CENTER	V	VOLT
ELEV	ELEVATOR	OD	OUTSIDE DIAMETER	VB	VAPOR BARRIER
EMER	EMERGENCY	OFI	OWNER FURNISHED	VERT	VERTICAL
EN	EDGE NAIL		CONTRACTOR INSTALLED	VEST	VESTIBULE
ENG	ENGINEER	OPG / OPNG	OPENING	VGDF	VERTICAL GRAIN DOUGLAS FIR
EQ	EQUIPMENT	OZ	OUNCE	VIF	VERIFY IN FIELD
EQPT	EQUIPMENT	P	PAINT (NUMBER - SEE SPECS)	VNR	VENEER
EQUIP	EQUIPMENT	PED	PEDESTAL	VOL	VOLUME
EST	ESTIMATE	PER	PERIMETER	VTR	VENT THRU ROOF
EXIST	EXISTING	PERF	PERFORATED	W	WEST
EXP	EXPANSION	PERP	PERPENDICULAR	W	WITH
EXT	EXTERIOR	PL	PROPERTY LINE	W/O	WITHOUT
FAST	FASTENER	PLAS	PLASTER	WC	WATER CLOSET
FAU	FORCED AIR UNIT	PLYWD	PLYWOOD	WD	WOOD
FBO	FURNISHED BY OWNER	POC	POINT OF CONNECTION	WF	WIDE FLANGE
FCO	FLOOR CLEAN OUT	PR	PAIR	WH	WATER HEATER
FD	FLOOR DRAIN	PRCST	PRE-CAST	WI	WROUGHT IRON
FF	FINISHED FLOOR	PREFAB	PREFABRICATED	WIN	WINDOW
FG	FINISHED GRADE	PROP	PROPERTY	WP	WATERPROOF(ING)
FH	FLAT HEAD			WPT	WORK POINT
				WWF	WELDED WIRE FABRIC
				YD	YARD

PROJECT TEAM:

ARCHITECT

WORKSHOP DESIGN COLLECTIVE, INC.

1010 SYCAMORE AVENUE, 208
SOUTH PASADENA, CA 91030
C. 310-874-5214
F. 323-258-4749
CONTACT: DWIGHT BOND

LANDSCAPE ARCHITECT

SUPERJACENT

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CONTACT: CHRIS TORRES

CIVIL ENGINEER

SOUTHLAND CIVIL ENGINEERING

& SURVEY, LLP

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T. 626-486-2555, X 204
CONTACT: LARRY MAR

HISTORIC ARCHITECT

ESA ASSOCIATES

233 WILSHIRE BLVD.
SANTA MONICA, CA 90401
T. 310-451-4488
CONTACT: MARGARITA JERABEK

SHEET INDEX:

#	SHEET NAME	ENTITLEMENTS	5TH SHEET ISSUE				
			PC SUBMITTAL	RE-CHECK SET	PERMIT SET	XX.XX.XX	XX.XX.XX
A-0.00	COVER SHEET	•					
A-0.01	PROJECT SUMMARY	•					
A-0.02	SYMBOLS	•					
A-0.03	DESIGN PROCESS	•					
A-0.04	SITE CONTEXT	•					
A-0.05	SITE DEMO	•					
A-0.10	3D VIEWS	•					
A-0.11	3D VIEWS	•					
A-0.12	3D VIEWS	•					
A-0.13	3D VIEWS	•					
A-0.14	3D VIEWS	•					
A-0.15	3D VIEWS	•					
A-0.16	3D VIEWS	•					
A-0.17	3D VIEWS	•					
A-1.00	CONTEXT PLAN	•					
A-1.01	CONTEXT ELEVATIONS	•					
A-1.02	SITE PLAN	•					
A-1.03	SURVEY	•					
A-1.10	HISTORIC BLDG L1 PLANS	•					
A-1.11	HISTORIC BLDG L2 PLANS	•					
A-1.12	HISTORIC BLDG ROOF PLANS	•					
A-1.20	HISTORIC BLDG ELEVATIONS	•					
A-1.21	HISTORIC BLDG ELEVATIONS	•					
A-1.22	HISTORIC BLDG SECTIONS	•					
A-2.00	B2 PLAN	•					
A-2.01	B1 PLAN	•					
A-2.10	L1 PLAN	•					
A-2.20	L2 PLAN	•					
A-2.30	L3 PLAN	•					
A-2.40	ROOF PLAN	•					
A-3.10	ELEVATIONS	•					
A-3.11	ELEVATIONS	•					
A-4.10	SECTIONS	•					
A-4.11	SECTIONS	•					
A-4.12	SECTIONS	•					
A-4.13	SECTIONS	•					
A-5.10	WALL SECTION	•					
A-6.10	WINDOW + DOOR SCHEDULE	•					
A-6.11	WINDOW + DOOR SCHEDULE	•					
A-6.12	WINDOW + DOOR SCHEDULE	•					
A-7.10	ENLARGED UNIT PLANS	•					
A-7.11	ENLARGED UNIT PLANS	•					
A-7.12	ENLARGED UNIT PLANS	•					
A-7.13	ENLARGED UNIT PLANS						

GRAPHIC SYMBOLS

GRAPHIC SYMBOLS:

	NORTH ARROW (DARK LINE INDICATES NORTH)		KEY NOTE IDENTIFICATION
	MATCH LINE INDICATOR (SHADED PORTION IS SIDE OF LINE CONSIDERED)		FINISH MATERIAL CALL OUT
	ELEVATION DRAWING NUMBER SHEET NUMBER		WALL OR PARTITION TYPE
	BUILDING ELEVATION		SCOPE OF REVISION
	SECTION DRAWING NUMBER SHEET NUMBER		ADDENDUM
	BUILDING SECTION		PLAN CHANGE (REVISION NUMBER)
	DETAIL DRAWING NUMBER SHEET NUMBER		ALIGN
	DETAIL SECTION		STOREFRONT NUMBER
	BUILDING COMPONENT BUILDING COMPONENT DESCRIPTION		WINDOW + DOOR NUMBER
	MATERIAL CALLOUT		FINISH CONC. SLAB ELEVATION / FIN CEILING ELEVATION
	DETAIL IDENTIFICATION		THERMOSTAT
	DETAIL / ENLARGED PLAN REFERENCE		DOOR TYPE
	GRID LINE OR COLUMN IDENTIFICATION		PARTITION WHERE OCCURS TYPICAL DIMENSION TO DOOR, UNLESS OTHERWISE NOTED
	DATUM POINT OR ELEVATION MARK		ROOM NAME
	HEIGHT INDICATION		ROOM NUMBER
	LEVEL LINE AND CONTROL POINT INDICATOR		SLAB STEP IN ELEVATION
	FLOOR/LEVEL INDICATION		BREAK LINE INDICATOR
	EXISTING SPOT ELEVATION		PATH OF TRAVEL FOR EXITING
	NEW FINISH ELEVATION		TRENCH DRAIN
	NEW SPOT ELEVATION		RECESSED WALL FIRE EXTINGUISHER CABINET

SITE SYMBOLS:

	GAS METER, TYPICAL
	WATER METER, TYPICAL
	WATER BACK-FLOW PREVENTER, TYPICAL
	EXTERIOR LIGHTING BOLLARD
	PARKING SPACE COUNT
	FIRE HYDRANT (N) OR (E)
	MAN HOLE COVER (N) OR (E)
	STREET LIGHT STANDARD (N) OR (E)
	PARKING LOT LIGHT STANDARD
	PROPERTY LINE
	EXITING AND PATH OF TRAVEL - BUILDING
	FIRE DEPARTMENT CONNECTION POINT
	ON GRADE ELECTRICAL TRANSFORMER AND PAD
	HANDICAP PARKING SYMBOL
	VEHICLE DIRECTION PATH
	ADA PATH OF TRAVEL STRIPING

DISCIPLINE IDENTIFICATION INDEX:

A	ARCHITECTURAL
C	CIVIL
E	ELECTRICAL
FP	FIRE PROTECTION (DESIGN-BUILD)
L	LANDSCAPE/PLANTING/IRRIGATION
M	MECHANICAL/HVAC
P	PLUMBING
S	STRUCTURAL
SH	SHORING
VT	ELEVATOR

TEXT SYMBOLS:

&	AND
∠	ANGLE
@	AT
x	BY
⊕	CENTERLINE
+/-	PLUS AND MINUS
ℓ	FLOW LINE
#	NUMBER, POUND
/	PER
⊥	PERPENDICULAR
∕	PITCH, SLOPE
∅	ROUND, DIAMETER
'	FOOT
"	INCH

CEILING / WALL SYMBOLS:

	ACOUSTICAL TILE CEILING GRID
	SUPPLY DIFFUSER OR GRILLE
	EXHAUST FAN WITH LIGHT COMBO
	LINEAR DIFFUSER/RETURN
	RETURN AIR GRILL
	LINEAR FLUORESCENT WALL MOUNTED LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	CEILING MOUNT LIGHT FIXTURE
	DECORATIVE PENDANT LIGHT FIXTURE
	RECESSED DOWNLIGHT
	WALL-WASHER
	WALL MOUNTED LIGHT FIXTURE (i.e. SCONCE)
	TRACK LIGHTING REFER TO PLAN FOR NUMBER OF SPOT LIGHTS
	ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
	SMOKE OR HEAT DETECTOR
	SPRINKLER HEAD
	ACCESS PANEL
	SPEAKER
	FIRE ALARM DEVICE
	FLUORESCENT STRIP LIGHT
	EXTERIOR WALL MOUNTED LIGHT FIXTURE
	MECHANICAL DUCT THROUGH CEILING/FLOOR ASSEMBLY
	LIGHT SWITCH 3-WAY
	DIMMER SWITCH
	DUPLEX RECEPTACLE OUTLET
	QUAD RECEPTACLE OUTLET
	TELE/DATA OUTLET
	TELEPHONE OUTLET
	WALL J-BOX
	FLOOR MOUNTED QUAD RECEPTACLE OUTLET
	FLOOR MOUNTED TELE/DATA OUTLET
	FLOOR MOUNTED FURNITURE POWER FEED
	HARDWIRE FLOOR J-BOX
	WALL MOUNTED FIRE STROBE
	STAIR MOUNTED STEP LIGHT (SITE LIGHTING PLAN ONLY)
	OVER HEAD WATER CURTAIN
	DROPPED SOFFIT
	FINISH CEILING ELEVATION

MATERIAL INDICATIONS:

	ACOUSTICAL TILE
	ASPHALT PAVING
	BRICK
	CARPET
	CERAMIC TILE
	CONCRETE IN SECTION
	CONCRETE MASONRY UNIT
	EARTH, SOIL
	FERROUS METAL
	GLASS (SMALL SCALE)
	GLAZING
	GLASS UNIT MASONRY
	GYPSUM BOARD
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL LATH AND PLASTER
	METAL STUD PARTITION
	PLASTER, SAND, GROUT, MORTAR, GYP BD CEILING
	PLYWOOD
	POROUS FILL (STONE, GRAVEL, ETC.)
	PRE CAST CONCRETE
	SHEET METAL
	SHIM OR BLOCKING
	STONE
	WOOD, FINISHED
	WOOD, ROUGH

project:
CFT Mission Bell Center
Mixed Use Project
1101-1115 Mission Street
South Pasadena, CA 91030

owner:
Mission Bell Properties, LLC
1683 Walnut Grove Avenue
Rosemead, CA 91770

Dwight S. Bond C33276



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SYMBOLS

workshop design collective, inc.
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workshopdesigncollective@gmail.com

sheet

A-0.02

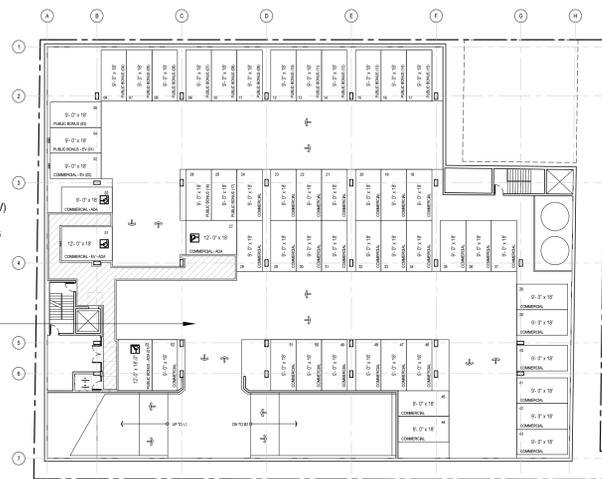
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B2 PLAN

scale: 1" = 30'-0" 0' 15' 30'



B1 PLAN

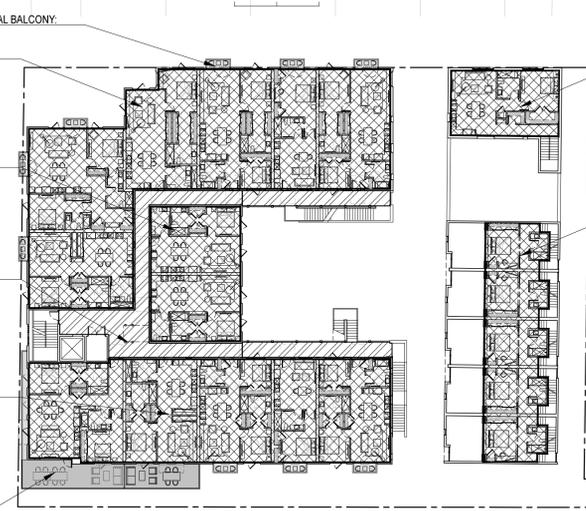
scale: 1" = 30'-0" 0' 15' 30'

- 52 FULL SIZE SPACES
- 1 ADA VAN SPACE
- 1 ADA FULL SIZE SPACE
- 54 RESIDENTIAL SPACES
- 1 EV-ADA VAN SPACE (1 EV)
- 1 FULL SIZE SPACE (1 EV)
- 2 RESIDENTIAL EV SPACES
- 56 TOTAL SPACES
- ** 6 SURPLUS SPACES **
- 34 FULL SIZE SPACES (1 EV)
- 1 ADA VAN SPACE (1 EV)
- 1 ADA FULL SIZE SPACE
- 36 COMMERCIAL SPACES
- 16 PUBLIC BONUS SPACES
- 1 ADA VAN SPACE (1 EV)
- 17 PUBLIC BONUS SPACES
- 53 TOTAL SPACES
- ** 6 SURPLUS SPACES **



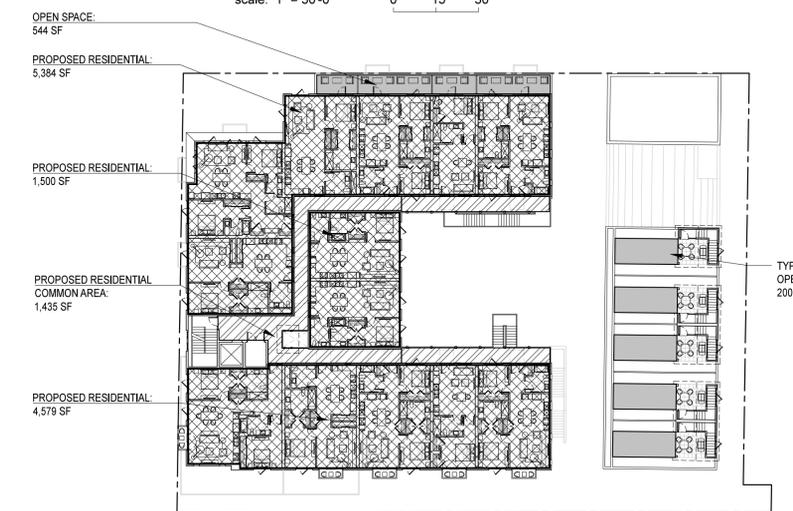
L1 PLAN

scale: 1" = 30'-0" 0' 15' 30'



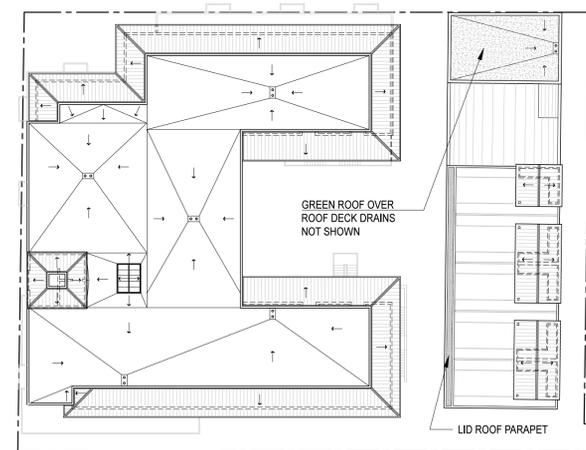
L2 PLAN

scale: 1" = 30'-0" 0' 15' 30'



L3 PLAN

scale: 1" = 30'-0" 0' 15' 30'



ROOF PLAN

scale: 1" = 30'-0" 0' 15' 30'

OPEN SPACE CALCULATION:

8,441 SF
 814 SF
 544 SF
 24 SF X 14 BALCONIES = 336 SF
 551 SF
 200 SF X 5 ROOF DECKS = 1,000 SF
TOTAL OPEN SPACE: 11,686 SF

- COMMERCIAL AREA
- COMMERCIAL COMMON AREA
- RESIDENTIAL AREA
- RESIDENTIAL COMMON AREA
- OPEN SPACE



PROJECT SUMMARY (DEVELOPMENT STANDARDS)

HISTORIC SITE AREA PER SURVEY	7,256.5 SF
NEW PROJECT SITE AREA:	23,856.5 SF
TOTAL SITE AREA:	31,113 SF
HISTORIC SITE ALLOWABLE F.A.R.:	7,256.5 SF X 0.8 = 5,805.2 SF
NEW PROJECT (BONUS SITE) F.A.R.:	23,856.5 X 1.5 = 35,784.75 SF
PROPOSED ALLOWABLE SITE F.A.R.:	41,589.95 SF
PROPOSED DENSITY:	35 NEW DU + 1 EXISTING DU = 36 DU 31,113 SF / 36 DU = 1 DU / 864.25 SF
OPEN SPACE REQUIREMENT:	275 SF OPEN SPACE / DU 9,900 SF FOR 36 DU
ALLOWABLE HEIGHT:	32 FT. FOR BY RIGHT, 2 STORIES 40 FT. FOR BONUS SITE, 3 STORIES
PARKING REQUIRED:	RETAIL - 4 / 1,000 SF RESTAURANT - 4 / 1,000 SF (PER MSSP, EXCEPTION 6.2.2.A, TABLE 8) 1 BED - 1 / DU 2 BED - 2 / DU

PROJECT SUMMARY (PROPOSED PROJECT)

TOTAL RESIDENTIAL AREA:	33,281 SF
TOTAL RESIDENTIAL COMMON AREA:	4,395 SF*
TOTAL COMMERCIAL AREA:	7,394 SF
TOTAL COMMERCIAL COMMON AREA:	583 SF*
TOTAL PROJECT FLOOR AREA:	45,653 SF
*NOT INCLUDED IN NET PROJECT FLOOR AREA.	
TOTAL NET PROJECT FLOOR AREA	33,281 SF + 7,394 SF = 40,675 SF
	40,675 SF < 41,589.95 SF ALLOWABLE FAR

BONUS PARKING CALCULATION	35,784.75 - (23,856.5 X 0.8) = 16,699.55 SF	17 PUBLIC BONUS SPACES REQD.
TOTAL PARKING REQUIRED:	30 (RESTAURANT / RETAIL) B1 LVL 17 (BONUS) B1 LVL 50 (RESIDENTIAL) B2 LVL 97 TOTAL REQUIRED ON SITE.	

TOTAL PARKING PROVIDED:	109 PROVIDED (56 ON B2, 53 ON B1) 12 SURPLUS SPACES
-------------------------	---

PROPOSED RESIDENTIAL MIX:	(5) 1 BED LOFTS, (17) 1 BED, (14) 2 BED, 36 TOTAL DU
---------------------------	--

PROPOSED COMMERCIAL MIX:	5,953 SF RESTAURANTS (24 SPACES) 1,441 SF RETAIL (6 SPACES)
--------------------------	--

OPEN SPACE PROVIDED:	(9,900 SF REQUIRED) 1,336 SF 10,374 SF
TOTAL OPEN SPACE PROVIDED	11,686 SF PROVIDED

PROJECT SUMMARY (FLOOR AREA BY LEVEL)

L1: RETAIL:	5,953 SF (NEW) 1,441 SF (HISTORIC BLDG) 7,394 SF
TOTAL L1 RETAIL:	7,394 SF
PARKING REQUIRED:	30 SPACES (24 REST, 6 RETAIL)

L1: RETAIL COMMON AREA:	583 SF
-------------------------	---------------

L1: RESIDENTIAL UNIT MIX:	(5) 1 BEDROOM LOFTS (2) 1 BEDROOM FLATS (2) 2 BEDROOM FLATS 9 TOTAL DU
---------------------------	--

L1: RESIDENTIAL AREA:	3,221 SF (LOFTS) 3,733 SF (FLATS) 6,954 SF
TOTAL L1 RESIDENTIAL AREA:	6,954 SF
PARKING REQUIRED:	11 SPACES REQD.

L1: RESIDENTIAL COMMON AREA:	1,465 SF
------------------------------	-----------------

TOTAL L1 RETAIL FLOOR AREA:	7,977 SF
TOTAL L1 RESIDENTIAL FLOOR AREA:	8,419 SF

TOTAL L1 FLOOR AREA (NEW AND HISTORIC)	16,396 SF
TOTAL L1 FLOOR AREA (NEW)	14,955 SF

L2: RESIDENTIAL UNIT MIX:	(8) 1 BEDROOM FLATS (5) 2 BEDROOM FLATS (1) 1 BEDROOM, HISTORIC FLAT 14 TOTAL DU
---------------------------	--

L2: RESIDENTIAL AREA:	13,989 SF (FLATS - LOFTS) 875 SF (HISTORIC FLAT) 14,864 SF
TOTAL L2 RESIDENTIAL AREA:	14,864 SF
PARKING REQUIRED:	19 SPACES REQD.

L2: RESIDENTIAL COMMON AREA:	1,495 SF
------------------------------	-----------------

TOTAL L2 FLOOR AREA (NEW AND HISTORIC)	16,359 SF
TOTAL L2 FLOOR AREA (NEW)	15,484 SF

L3: RESIDENTIAL UNIT MIX:	(5) 1 BEDROOM FLATS (3) 1 BED + DEN FLATS (5) 2 BEDROOM FLATS 13 TOTAL DU
---------------------------	---

L3: RESIDENTIAL AREA:	11,463 SF (FLATS) 18 SPACES REQD.
-----------------------	--------------------------------------

L3: RESIDENTIAL COMMON AREA:	1,435 SF
------------------------------	-----------------

TOTAL L3 FLOOR AREA (NEW)	12,898 SF
----------------------------------	------------------

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 Rosemead, CA 91770

Dwight S. Bond C33276
 architect's stamp



consultant

revisions

file	
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reviewed	

issued	date	by
Entitlements	07.12.2017	
Rev. Entitlements	10.23.2017	
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title
 project number 16.20.00
 scale as noted
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PROJECT SUMMARY

workshop design collective, inc.
 1010 Sycamore Avenue, unit # 208
 South Pasadena, California 91030
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 workshopdesigncollective@gmail.com

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SITE DEMO

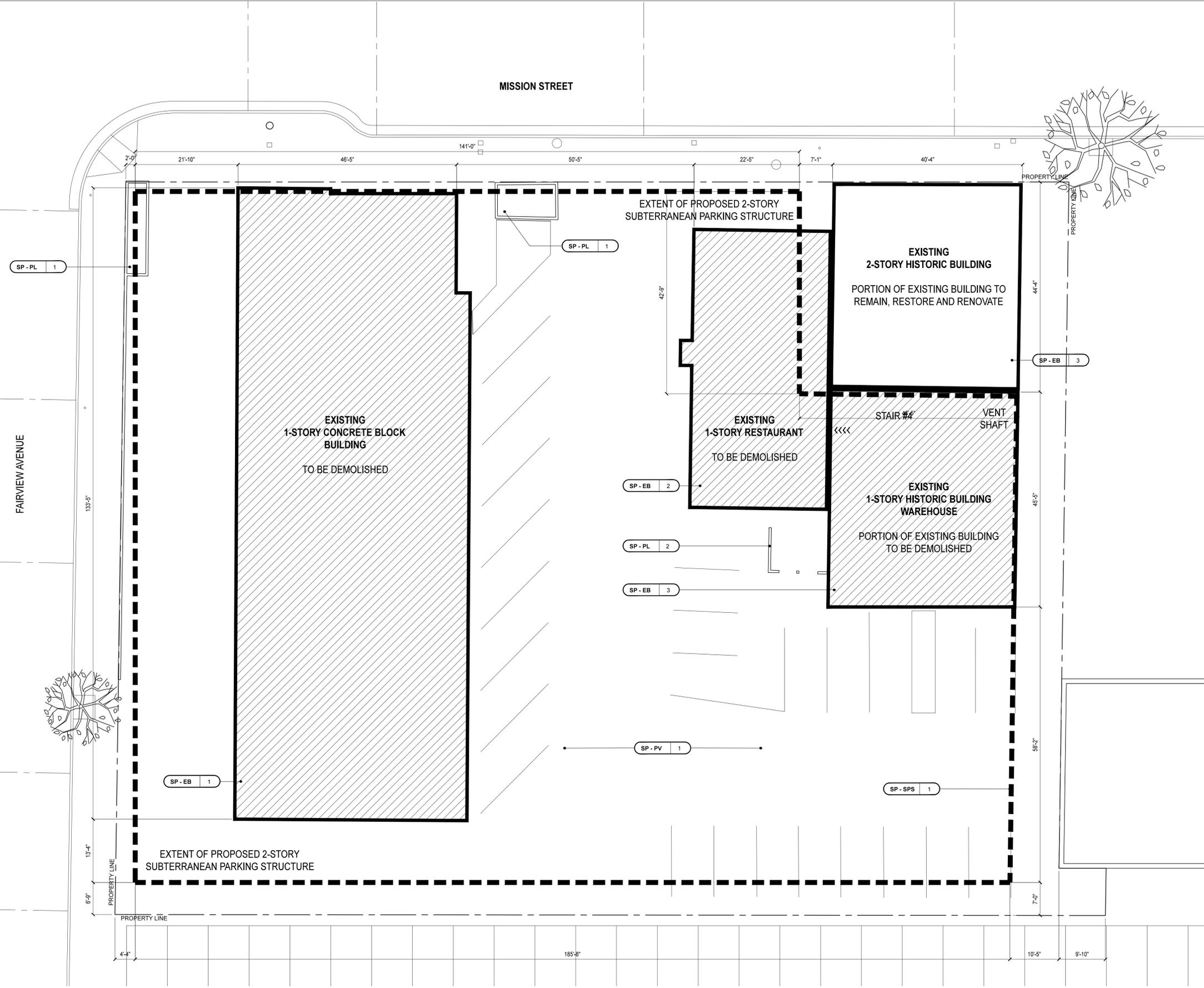
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SITE PLAN

scale: 1" = 10'-0" 0' 2' 5' 10'



EXISTING SITE BUILDING FOOTPRINTS

HISTORIC BUILDING / WAREHOUSE:	3,625.6 SF
1 STORY RESTAURANT	1,776.2 SF
1 STORY CONCRETE BLOCK BLDG.	6,611.9 SF
TOTAL EXISTING SITE FOOTPRINT	12,013.7 SF

SITE PLAN KEYNOTES

SITE PLAN EXISTING BUILDINGS:

- SP-EB 1. Demo existing concrete block Entemann's building.
- SP-EB 2. Demo existing concrete block and plaster restaurant.
- SP-EB 3. Partially demo existing 1115 Mission Street building. See sheets A - 1.10 to A - 1.22.

SITE PLAN PLANTERS AND TRASH ENCLOSURE:

- SP-PL 1. Demo existing concrete block planters.
- SP-PL 2. Demo existing trash enclosure.

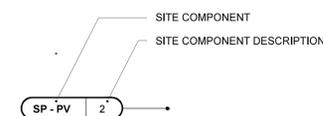
SITE PLAN ASPHALT PAVING:

- SP-PV 1. Demo all existing asphalt paving.

SUBTERRANEAN PARKING STRUCTURE:

- SP-SPS 1. Excavate dashed area for 2-story subterranean parking structure.

SITE PLAN SYMBOLS



NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. REFER TO LANDSCAPE PLANS FOR TYPE AND QUANTITY OF LANDSCAPE SPECIES AND HARDSCAPE FINISH MATERIALS.

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CONTEXT PLAN

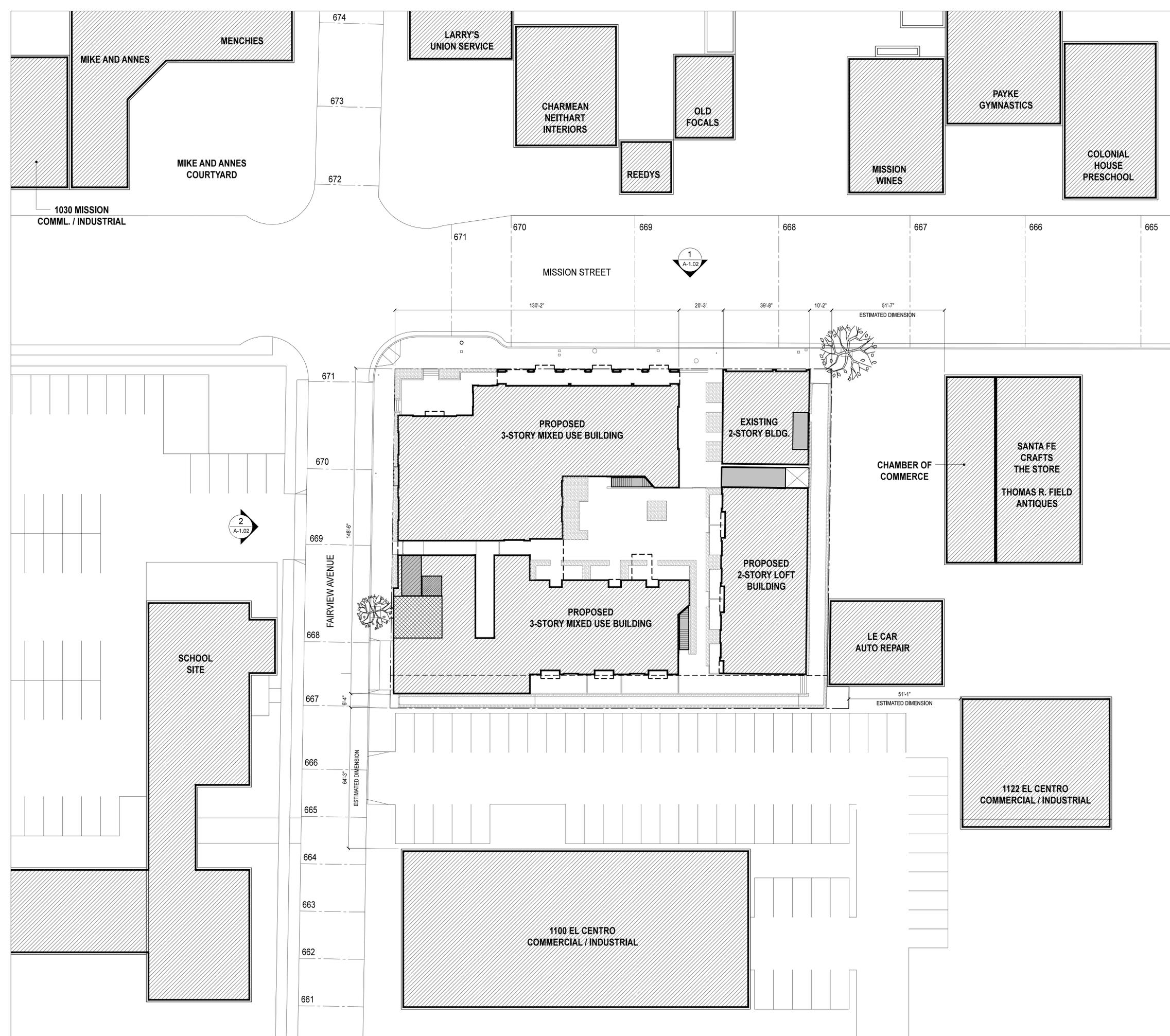
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A-1.00

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CONTEXT PLAN

scale: 1" = 20'-0" 0' 4' 10' 20'

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
 3. REFER TO LANDSCAPE PLANS FOR TYPE AND QUANTITY OF LANDSCAPE SPECIES AND HARDSCAPE FINISH MATERIALS.



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CONTEXT ELEVATIONS

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SANTE FE CRAFTS
THOMAS R. FIELD

CHAMBER OF
COMMERCE

LE CAR AUTO REPAIR

SIDE
YARD

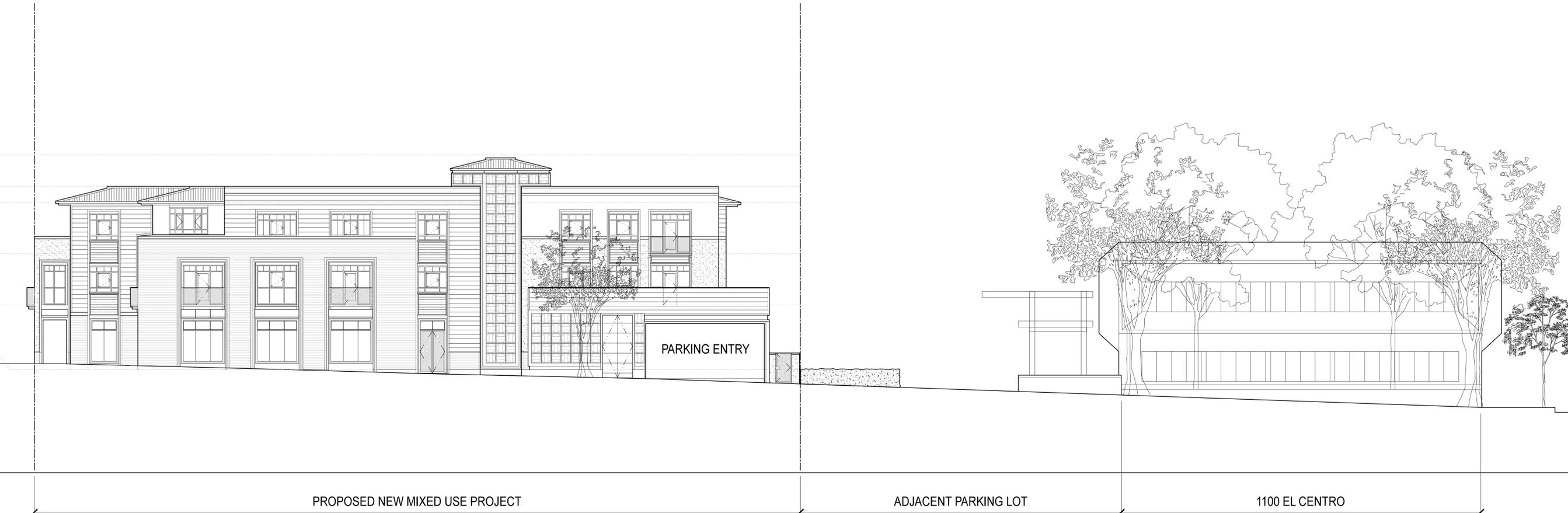
RENOVATED
HISTORIC 1115 BLDG.

GARDEN
ALLEY SEATING

PROPOSED NEW MIXED USE PROJECT

MISSION ELEVATION

scale: 1" = 10'-0" 0' 2' 5' 10'



PARKING ENTRY

PROPOSED NEW MIXED USE PROJECT

ADJACENT PARKING LOT

1100 EL CENTRO

FAIRVIEW ELEVATION

scale: 1" = 10'-0" 0' 2' 5' 10'

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SITE PLAN

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sheet

A-1.02

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SITE PLAN KEYNOTES

SITE PLAN PAVING:

- SP-PV 1. New concrete paving.
- 2. New concrete tile paving.
- 3. See sheet, L2.01.

SITE PLAN LANDSCAPE:

- SP-LAND 1. New landscaping, see sheets L8.0 and L8.01.
- 2. Existing street tree to remain.

SITE PLAN GATES AND WALLS:

- SP-GW 1. New metal gates with perforated panels.
- 2. New metal gates with mesh infill.
- 3. New painted concrete block perimeter wall with steel troweled stucco finish.

SITE PLAN FURNITURE, FIXTURES, AND EQUIPMENT:

- SP-FFE 1. New flexible cafe seating, tables and chairs.
- 2. New common area patio lounge furniture.

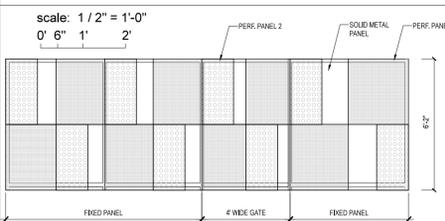
SITE PLAN UTILITIES:

- SP-UT 1. Underground existing powerpole lines.
- 2. Proposed location for Fire Department Connection.

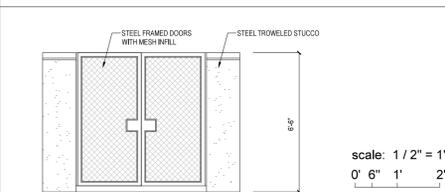
SITE PLAN SIDEWALKS:

- SP-SW 1. New curb cut for vehicular driveway.
- 2. Replace existing curb cuts with concrete curbs and gutters per South Pasadena standards.
- 3. New proposed parkway plantings along street edge, see sheet L2.01.
- 4. Existing light pole to remain.
- 5. Existing Manhole covers.
- 6. Existing street sign to remain.

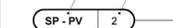
PRIVACY GATE ELEVATION (SP-GW - 1)



SECURITY GATE ELEVATION (SP-GW - 2)



SITE PLAN SYMBOLS

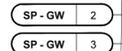
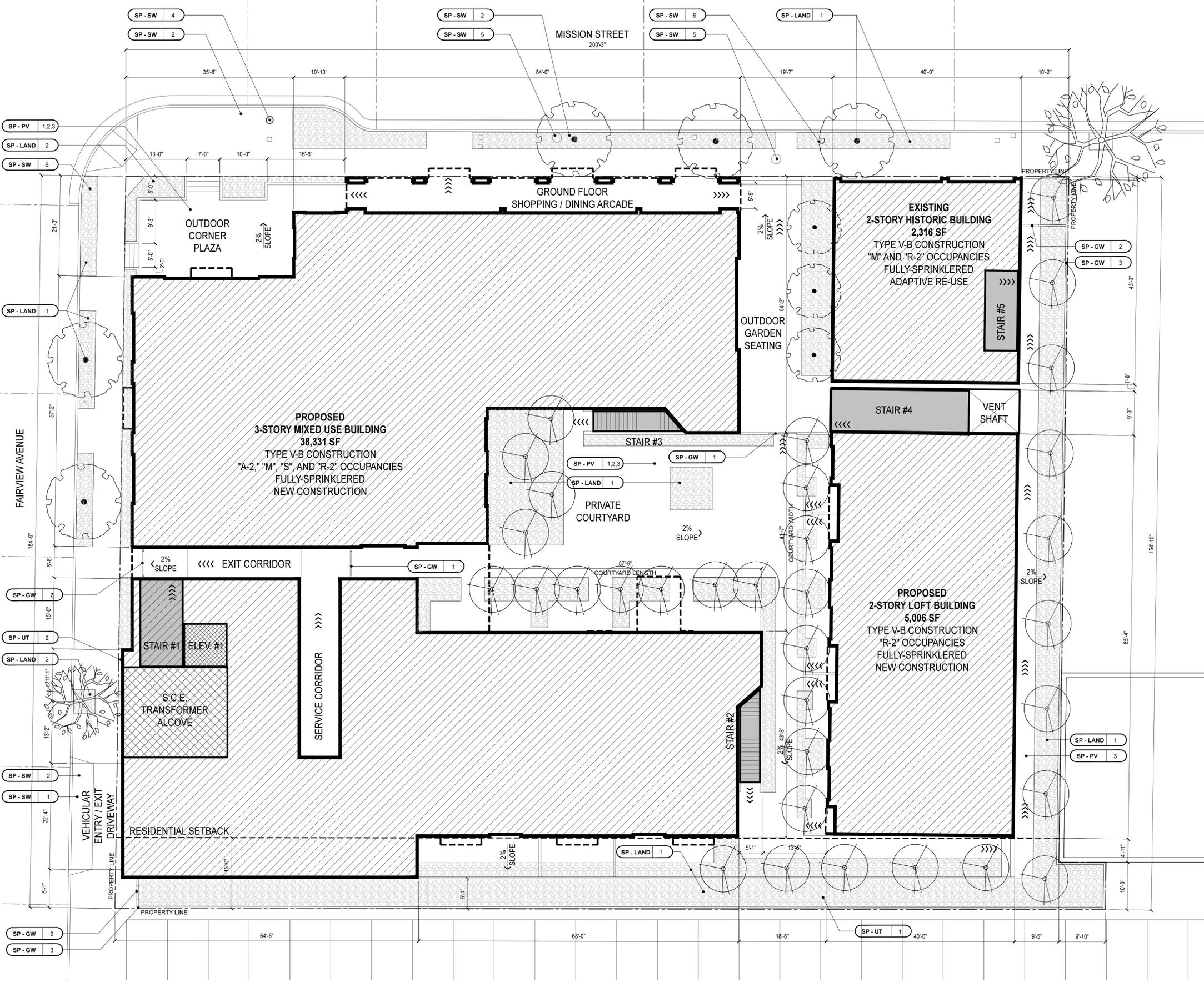


NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. REFER TO LANDSCAPE PLANS FOR TYPE AND QUANTITY OF LANDSCAPE SPECIES AND HARDSCAPE FINISH MATERIALS.

SITE PLAN

scale: 1" = 10'-0" 0' 2' 5' 10'



NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
3. REFER TO LANDSCAPE PLANS FOR TYPE AND QUANTITY OF LANDSCAPE SPECIES AND HARDSCAPE FINISH MATERIALS.

NRIM=672.78
 INV=658.03
 12" O.D. PIPE

ASPH

MISSION STREET
 N 90°00'00" E

BASIS OF BEARINGS
 VARIABLE WIDTH PUBLIC STREET
 VARIABLE WIDTH ASPHALT ROADWAY

ASPH

OFF SITE PARKING

WORKSHOP

project:
CFT Mission Bell Center
 Mixed Use Project
 1101-1115 Mission Street
 South Pasadena, CA 91030

owner:
 Mission Bell Properties, LLC
 1683 Walnut Grove Avenue
 Rosemead, CA 91770

Dwight S. Bond C33276
 architect's stamp

consultant

revisions	file	drawn	reviewed
issued	date	by	
Entitlements	07.12.2017		
Rev. Entitlements	10.23.2017		
Rev. Entitlements	04.06.2018		
Rev. Entitlements	09.14.2018		
Rev. Entitlements	02.27.2019		

title	project number	scale	date
	16.20.00	as noted	February 27, 2019

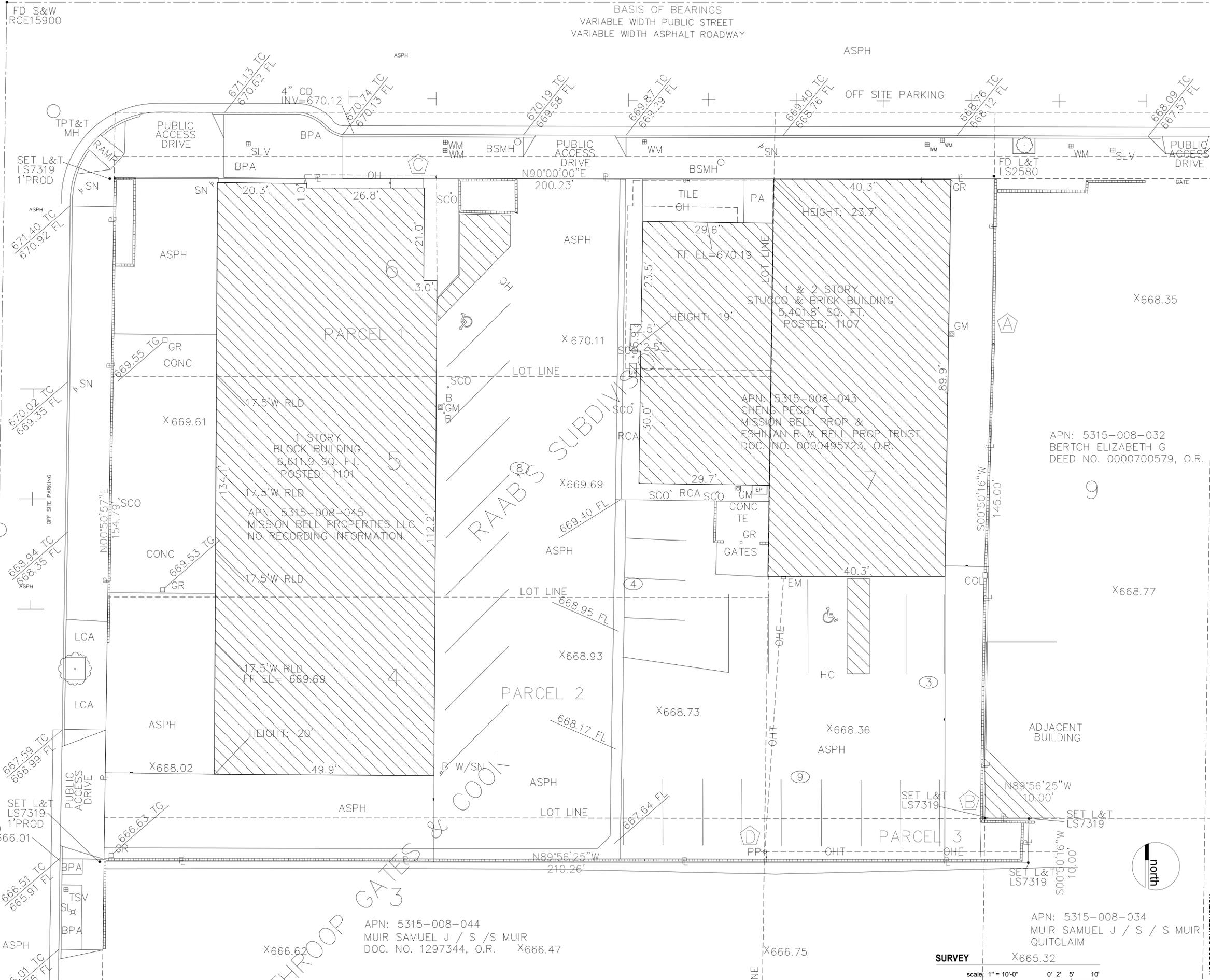
SURVEY

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 South Pasadena, California 91030
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A-1.03

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SMH
 NRIM=668.78
 INV=MH FULL
 FLOW: UNKNOWN

OAK HILL AVENUE
 50' WIDE PUBLIC STREET
 28' WIDE ASPHALT ROADWAY



scale: 1" = 10'-0" 0' 2' 5' 10'

NOT FOR CONSTRUCTION

1115 MISSION DEMO AND RESTORATION KEYNOTES

- DEMO WALLS:**
- D-WALL 1. Drywall, ceiling and floor moulding.
 - 2. Exterior stucco.
 - 3. Demo existing Brick walls.
 - 4. Demo existing exterior paint; repair or replace existing brick and mortar as needed.
- DEMO DOORS:**
- D-DOOR 1. Solid core steel doors and frame.
 - 2. Metal doors and frame, retain for future re-use.
 - 3. Wood hollow core interior door and frame.
 - 4. Closers, hinges, and hardware.
- DEMO WINDOWS:**
- D-WIN 1. Aluminum storefront.
 - 2. Wood framed windows.
 - 3. Single pane glazing.
 - 4. Dual pane glazing.
- DEMO INTERIOR CEILINGS:**
- D-CLG 1. Drywall and batt insulation.
 - 2. Wood framed trusses, save and restore or future re-use.
- DEMO ROOFING:**
- D-RF 1. Roofing, mechanical equipment and skylights.
- DEMO EXTERIOR PAINT:**
- D-EP 1. Exterior paint covering existing brick facade.
- NEW WALLS:**
- N-WALL 1. New brick wall cladding with restored existing brick and mortar to match.
 - 2. New 2 x framing with drywall and batt insulation.
- NEW DOORS:**
- N-DOOR 1. New solid core door with restored metal grate and hardware, PAINTED.
- NEW WINDOWS:**
- N-WIN 1. New wood Jeldwen windows with dual glazing.
 - 2. Restore existing storefront and glazing.
- NEW PAINT:**
- N-P 1. D. EDWARDS - Molasses, DE 6399, Flat Finish.
 - 2. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.

project:
CFT Mission Bell Center
 Mixed Use Project
 1101-1115 Mission Street
 South Pasadena, CA 91030

owner:
 Mission Bell Properties, LLC
 1683 Walnut Grove Avenue
 Rosemead, CA 91770

Dwight S. Bond C33276
 architect's stamp



consultant

revisions

file	date	by

issued _____ date _____ by _____

Entitlements 07.12.2017
Rev. Entitlements 10.23.2017
Rev. Entitlements 04.06.2018
Rev. Entitlements 09.14.2018
Rev. Entitlements 02.27.2019

title
 project number 16.20.00
 scale as noted
 date February 27, 2019

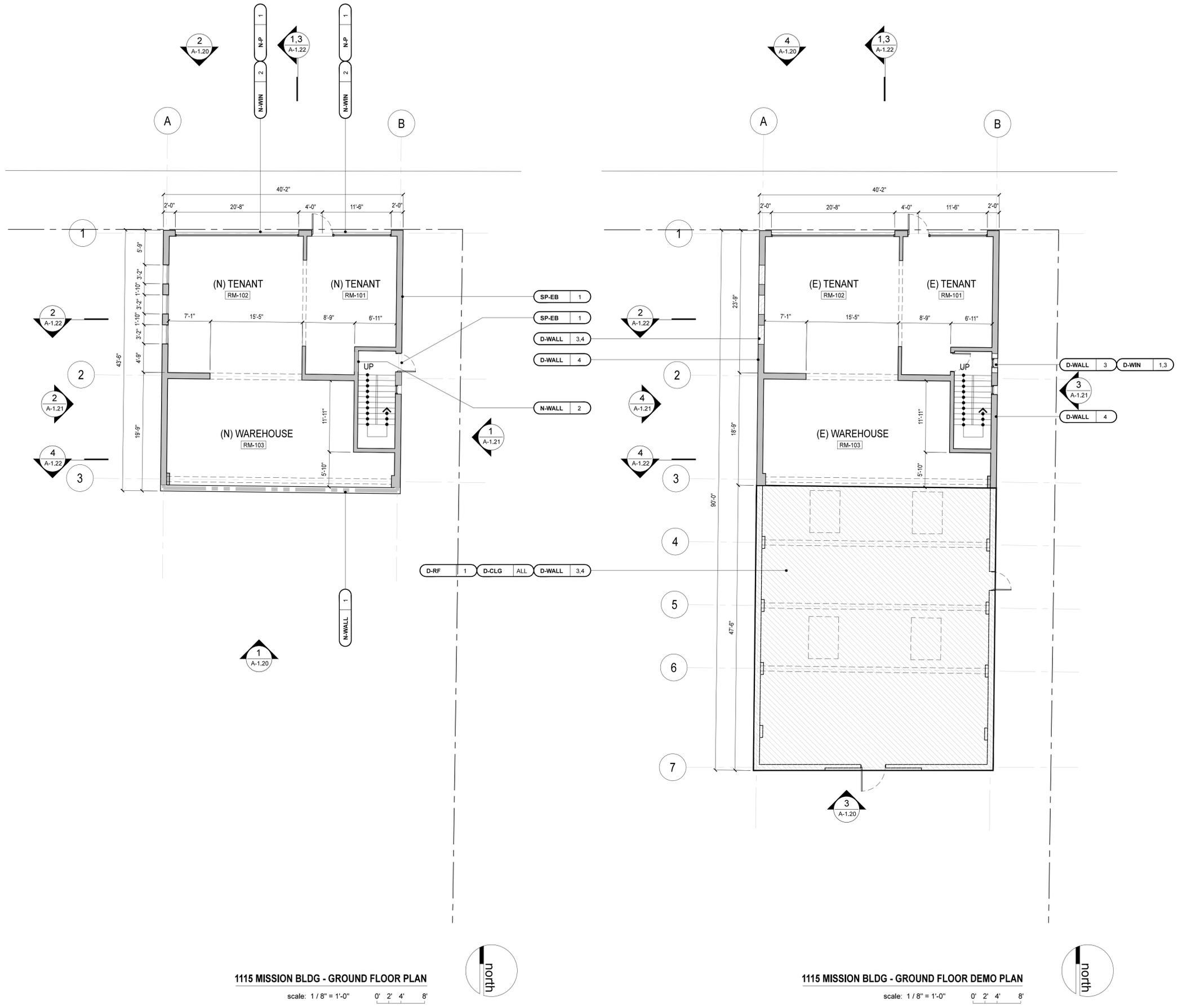
1115 MISSION GROUND FLR. PLANS

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A-1.10

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1115 MISSION BLDG - GROUND FLOOR PLAN
 scale: 1/8" = 1'-0" 0' 2' 4' 8'

1115 MISSION BLDG - GROUND FLOOR DEMO PLAN
 scale: 1/8" = 1'-0" 0' 2' 4' 8'

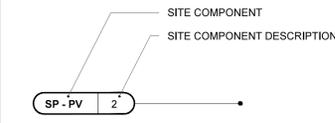
DEMO PLAN - WALL TYPE SYMBOLS

EXISTING EXTERIOR AND INTERIOR WALLS TO REMAIN

NEW EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS.

EXISTING EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS TO BE DEMOLISHED.

SITE NOTE SYMBOLS



NOT FOR CONSTRUCTION

1115 MISSION DEMO AND RESTORATION KEYNOTES

- DEMO WALLS:**
- D-WALL 1. Drywall, ceiling and floor moulding.
 - 2. Exterior stucco.
 - 3. Demo existing Brick walls.
 - 4. Demo existing exterior paint, repair or replace existing brick and mortar as needed.
- DEMO DOORS:**
- D-DOOR 1. Solid core steel doors and frame.
 - 2. Metal doors and frame, retain for future re-use.
 - 3. Wood hollow core interior door and frame.
 - 4. Closers, hinges, and hardware.
- DEMO WINDOWS:**
- D-WIN 1. Aluminum storefront.
 - 2. Wood framed windows.
 - 3. Single pane glazing.
 - 4. Dual pane glazing.
- DEMO INTERIOR CEILINGS:**
- D-CLG 1. Drywall and batt insulation.
 - 2. Wood framed trusses, save and restore or future re-use.
- DEMO ROOFING:**
- D-RF 1. Roofing, mechanical equipment and skylights.
- DEMO EXTERIOR PAINT:**
- D-EP 1. Exterior paint covering existing brick facade.
- NEW WALLS:**
- N-WALL 1. New brick wall cladding with restored existing brick and mortar to match.
 - 2. New 2 x framing with drywall and batt insulation.
- NEW DOORS:**
- N-DOOR 1. New solid core door with restored metal grate and hardware, PAINTED.
- NEW WINDOWS:**
- N-WIN 1. New wood Jeldwen windows with dual glazing.
 - 2. Restore existing storefront and glazing.
- NEW PAINT:**
- N-P 1. D. EDWARDS - Molasses, DE 6399, Flat Finish.
 - 2. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.

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Dwight S. Bond C33276
 architect's stamp



consultant

revisions

file	date	by

issued _____ date _____ by _____

Entitlements	date
Rev. Entitlements	07.12.2017
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Rev. Entitlements	09.14.2018
Rev. Entitlements	02.27.2019

title

project number 16.20.00
 scale as noted
 date February 27, 2019

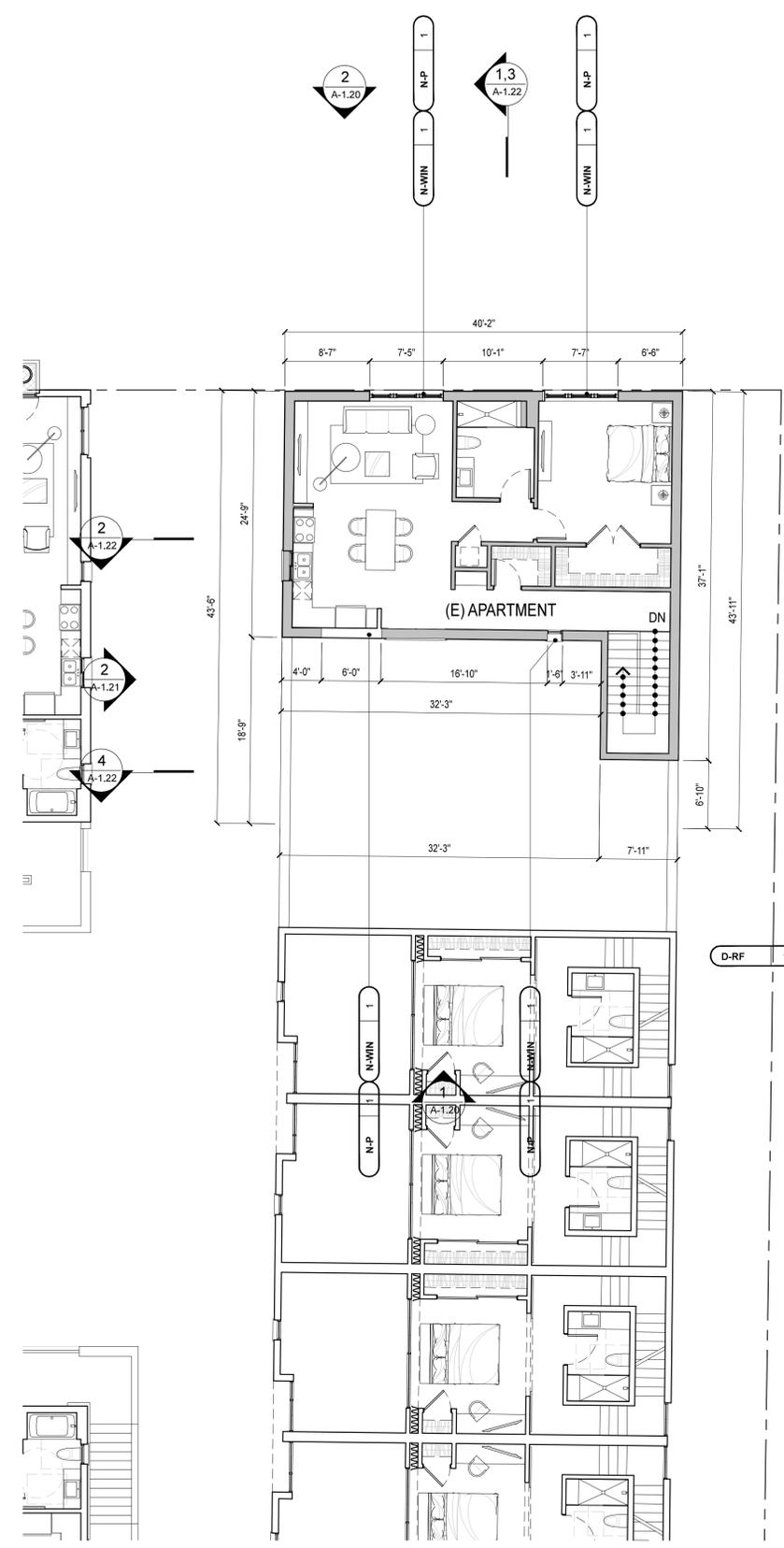
1115 MISSION SECOND FLR. PLANS

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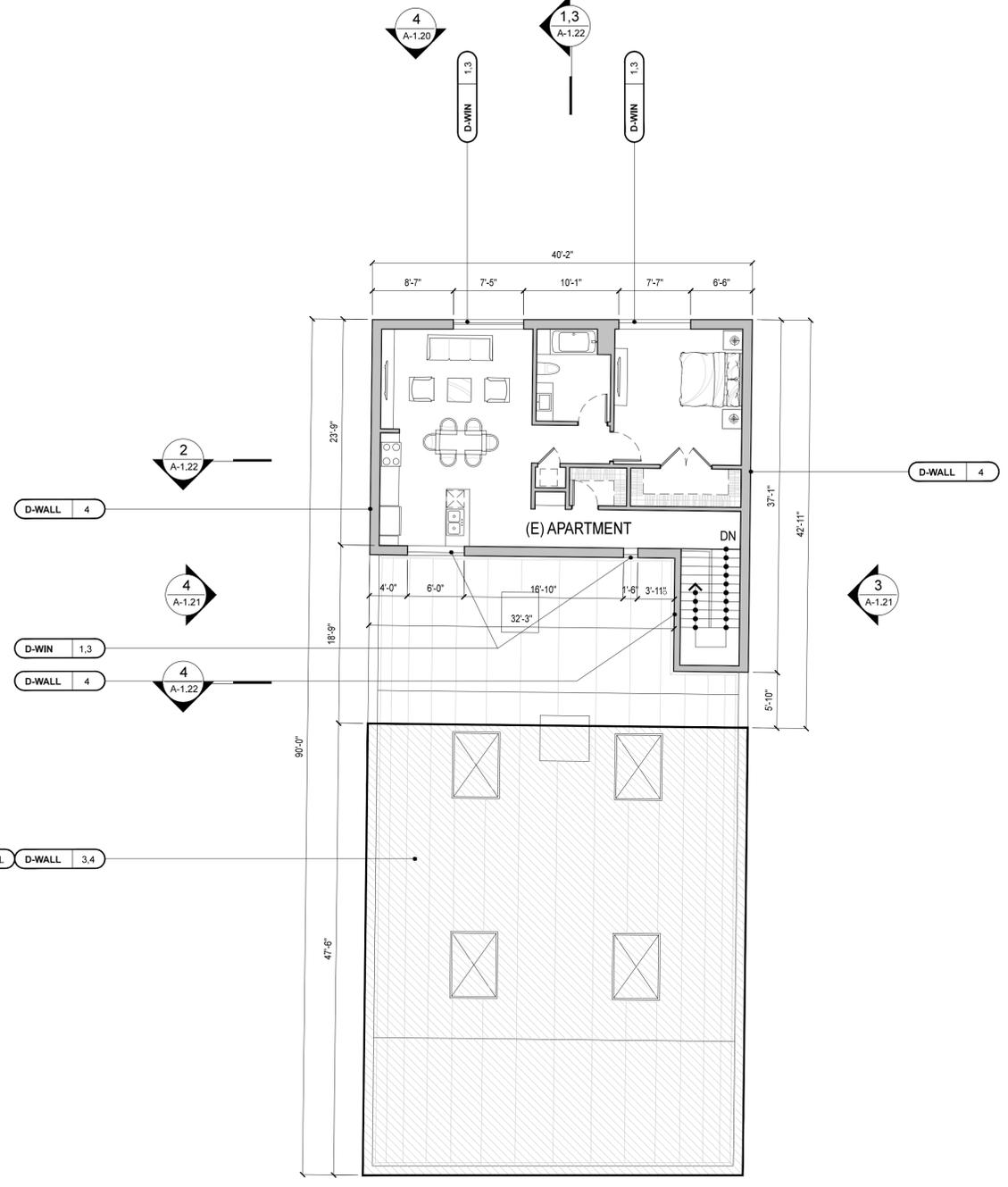
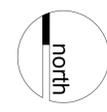
A-1.11

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1115 MISSION BLDG - SECOND FLOOR PLAN

scale: 1/8" = 1'-0" 0' 2' 4' 8'



1115 MISSION BLDG - SECOND FLOOR DEMO PLAN

scale: 1/8" = 1'-0" 0' 2' 4' 8'



DEMO PLAN - WALL TYPE SYMBOLS

- EXISTING EXTERIOR AND INTERIOR WALLS TO REMAIN
- NEW EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS.
- EXISTING EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS TO BE DEMOLISHED.

SITE NOTE SYMBOLS

- SITE COMPONENT
 - SITE COMPONENT DESCRIPTION
- SP - PV 2

NOT FOR CONSTRUCTION

1115 MISSION DEMO AND RESTORATION KEYNOTES

- DEMO WALLS:**
- D-WALL 1. Drywall, ceiling and floor moulding.
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 3. Demo existing Brick walls.
 4. Demo existing exterior paint; repair or replace existing brick and mortar as needed.
- DEMO DOORS:**
- D-DOOR 1. Solid core steel doors and frame.
 2. Metal doors and frame, retain for future re-use.
 3. Wood hollow core interior door and frame.
 4. Closers, hinges, and hardware.
- DEMO WINDOWS:**
- D-WIN 1. Aluminum storefront.
 2. Wood framed windows.
 3. Single pane glazing.
 4. Dual pane glazing.
- DEMO INTERIOR CEILINGS:**
- D-CLG 1. Drywall and batt insulation.
 2. Wood framed trusses, save and restore or future re-use.
- DEMO ROOFING:**
- D-RF 1. Roofing, mechanical equipment and skylights.
- DEMO EXTERIOR PAINT:**
- D-EP 1. Exterior paint covering existing brick facade.
- NEW WALLS:**
- N-WALL 1. New brick wall cladding with restored existing brick and mortar to match.
 2. New 2 x framing with drywall and batt insulation.
- NEW DOORS:**
- N-DOOR 1. New solid core door with restored metal grate and hardware, PAINTED.
- NEW WINDOWS:**
- N-WIN 1. New wood Jeldwen windows with dual glazing.
 2. Restore existing storefront and glazing.
- NEW PAINT:**
- N-P 1. D. EDWARDS - Molasses, DE 6399, Flat Finish.
 2. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.

project:
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Dwight S. Bond C33276
 architect's stamp



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revisions	
file	_____
drawn	_____
reviewed	_____

issued	date	by
Entitlements	07.12.2017	
Rev. Entitlements	10.23.2017	
Rev. Entitlements	04.06.2018	
Rev. Entitlements	09.14.2018	
Rev. Entitlements	02.27.2019	

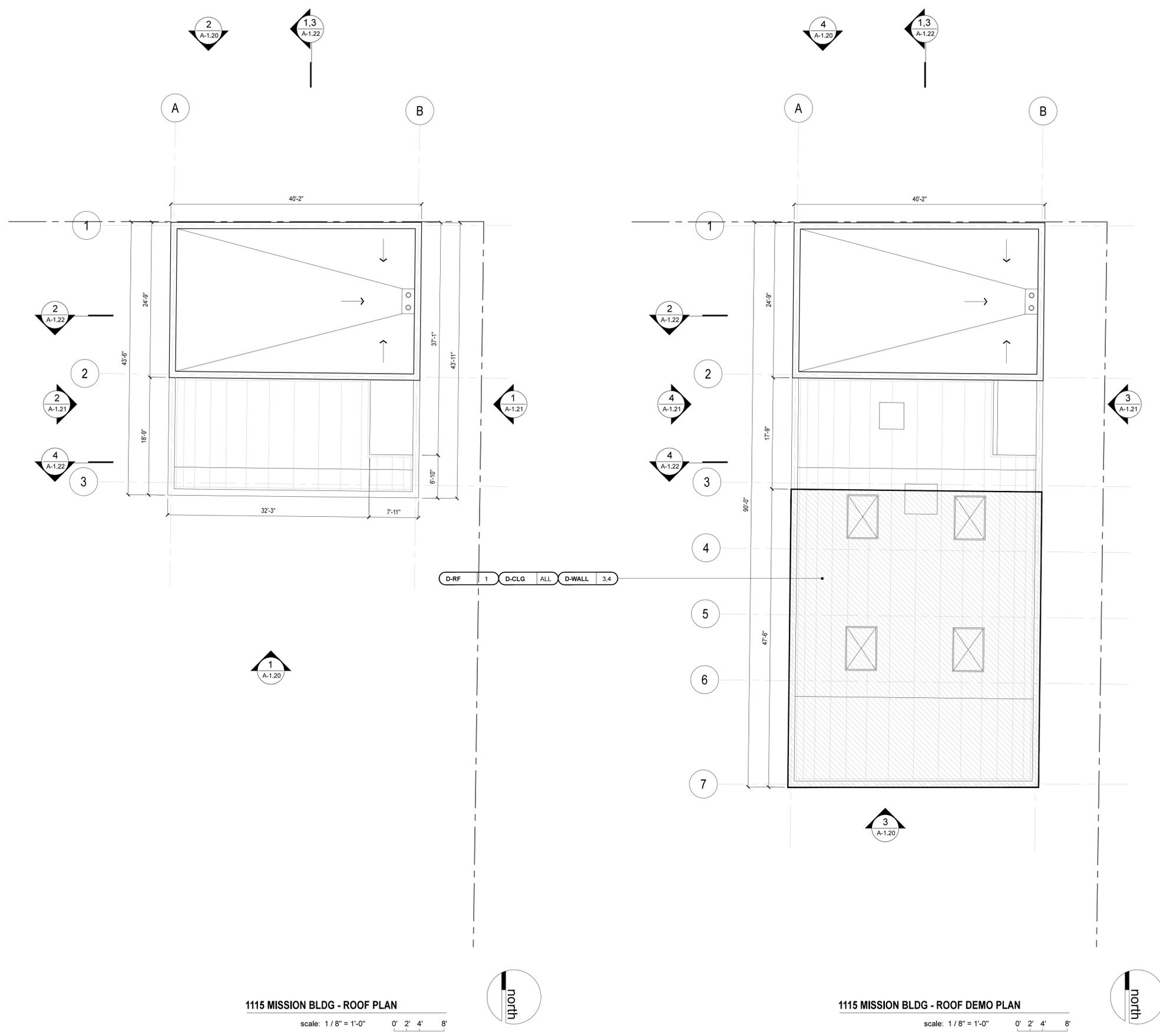
title	
project number	16.20.00
scale	as noted
date	February 27, 2019

1115 MISSION ROOF PLANS

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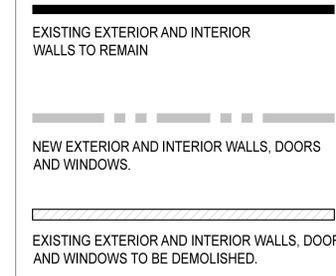
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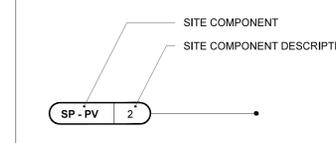
1115 MISSION BLDG - ROOF PLAN
 scale: 1/8" = 1'-0" 0' 2' 4' 8'

1115 MISSION BLDG - ROOF DEMO PLAN
 scale: 1/8" = 1'-0" 0' 2' 4' 8'

DEMO PLAN - WALL TYPE SYMBOLS



SITE NOTE SYMBOLS



NOT FOR CONSTRUCTION

project:
CFT Mission Bell Center
 Mixed Use Project
 1101-1115 Mission Street
 South Pasadena, CA 91030

owner:
 Mission Bell Properties, LLC
 1683 Walnut Grove Avenue
 Rosemead, CA 91770

Dwight S. Bond C33276
 architect's stamp



consultant

revisions	
file	_____
drawn	_____
reviewed	_____
issued	_____ date _____ by _____
Entitlements	07.12.2017
Rev. Entitlements	10.23.2017
Rev. Entitlements	04.06.2018
Rev. Entitlements	09.14.2018
Rev. Entitlements	02.27.2019

title
 project number 16.20.00
 scale as noted
 date February 27, 2019

1115 MISSION ELEVATIONS

workshop design collective, inc.
 1010 Sycamore Avenue, unit # 208
 South Pasadena, California 91030
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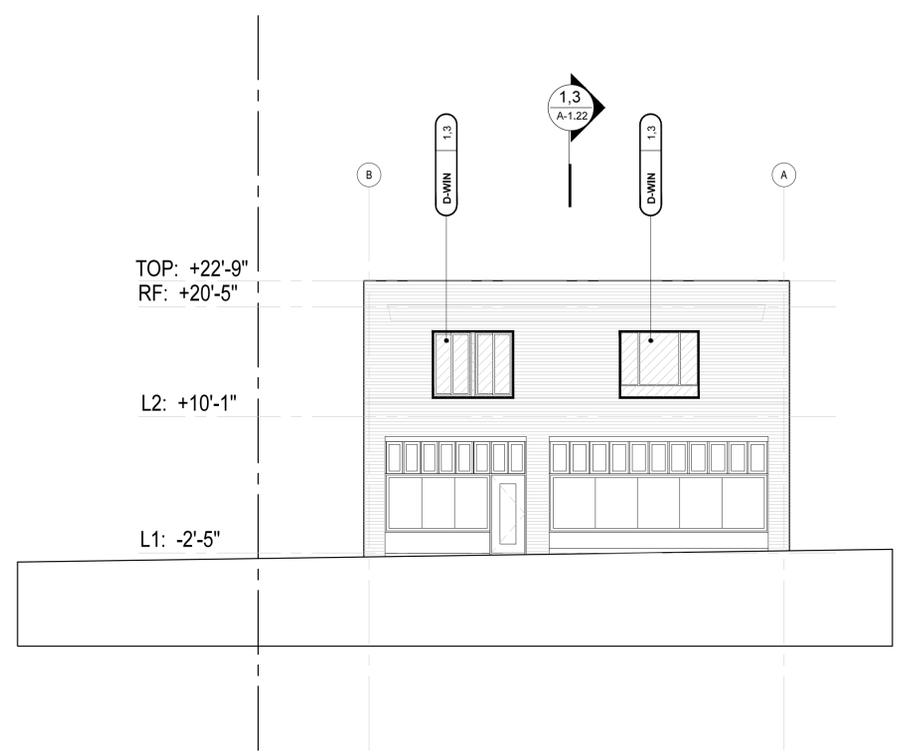
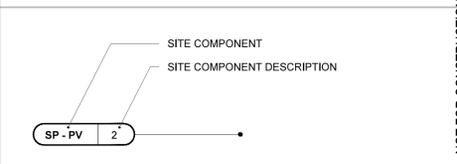
1115 MISSION DEMO AND RESTORATION KEYNOTES

- DEMO WALLS:**
- D-WALL
1. Drywall, ceiling and floor moulding.
 2. Exterior stucco.
 3. Demo existing Brick walls.
 4. Demo existing exterior paint, repair or replace existing brick and mortar as needed.
- DEMO DOORS:**
- D-DOOR
1. Solid core steel doors and frame.
 2. Metal doors and frame, retain for future re-use.
 3. Wood hollow core interior door and frame.
 4. Closers, hinges, and hardware.
- DEMO WINDOWS:**
- D-WIN
1. Aluminum storefront.
 2. Wood framed windows.
 3. Single pane glazing.
 4. Dual pane glazing.
- DEMO INTERIOR CEILINGS:**
- D-CLG
1. Drywall and batt insulation.
 2. Wood framed trusses, save and restore or future re-use.
- DEMO ROOFING:**
- D-RF
1. Roofing, mechanical equipment and skylights.
- DEMO EXTERIOR PAINT:**
- D-EP
1. Exterior paint covering existing brick facade.
- NEW WALLS:**
- N-WALL
1. New brick wall cladding with restored existing brick and mortar to match.
 2. New 2 x framing with drywall and batt insulation.
- NEW DOORS:**
- N-DOOR
1. New solid core door with restored metal grate and hardware, PAINTED.
- NEW WINDOWS:**
- N-WIN
1. New wood Jeldwen windows with dual glazing.
 2. Restore existing storefront and glazing.
- NEW PAINT:**
- N-P
1. D. EDWARDS - Molasses, DE 6399, Flat Finish.
 2. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.

DEMO PLAN - WALL TYPE SYMBOLS

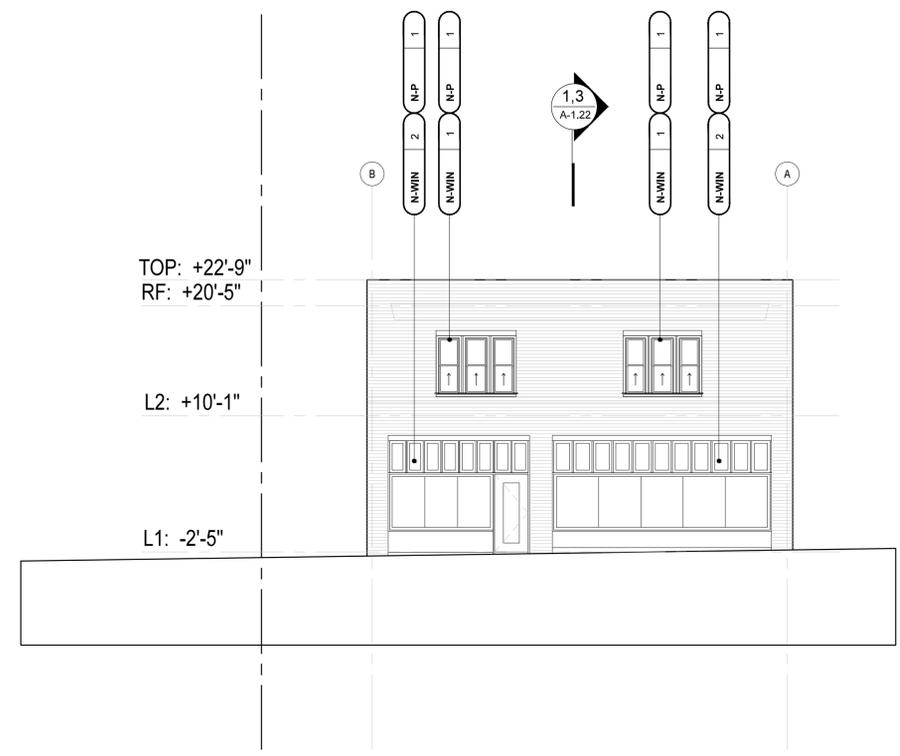
- EXISTING EXTERIOR AND INTERIOR WALLS TO REMAIN
- NEW EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS.
- EXISTING EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS TO BE DEMOLISHED.

SITE NOTE SYMBOLS



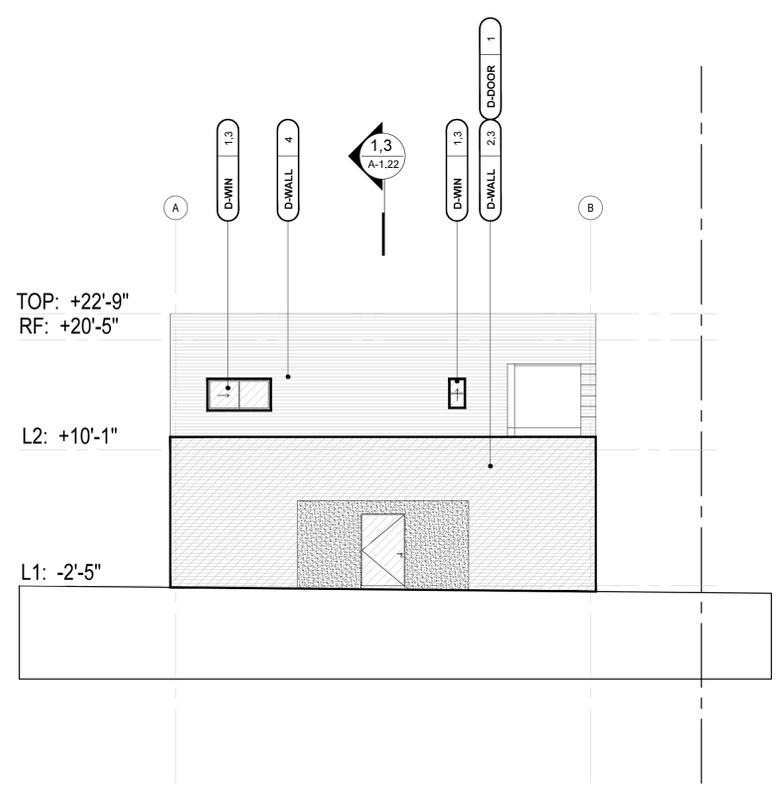
4. 1115 MISSION BLDG - EXISTING NORTH ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



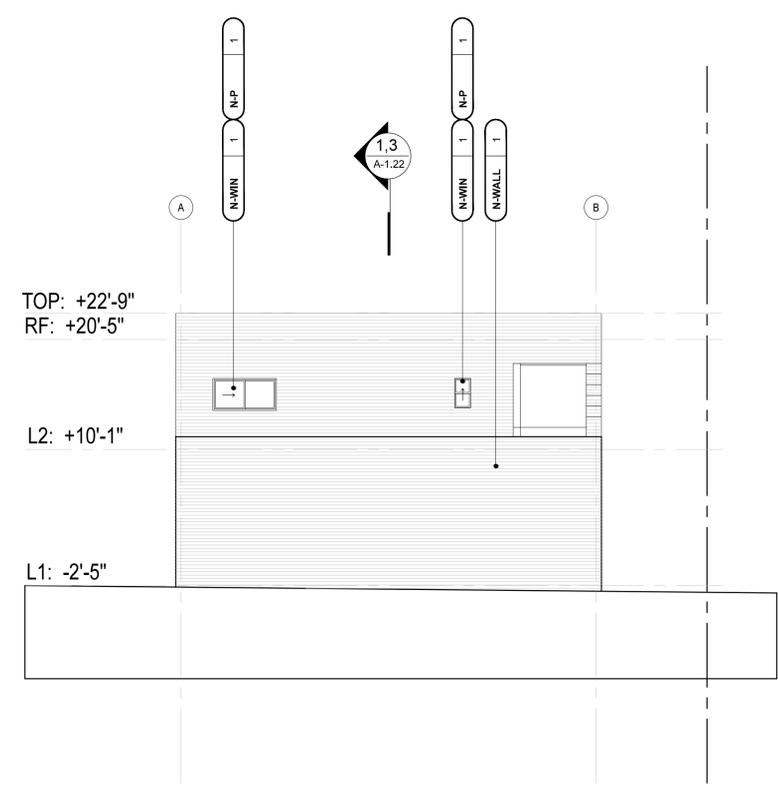
2. 1115 MISSION BLDG - PROPOSED NORTH ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



3. 1115 MISSION BLDG - EXISTING SOUTH ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



1. 1115 MISSION BLDG - PROPOSED SOUTH ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'

NOT FOR CONSTRUCTION

project:
CFT Mission Bell Center
 Mixed Use Project
 1101-1115 Mission Street
 South Pasadena, CA 91030

owner:
 Mission Bell Properties, LLC
 1683 Walnut Grove Avenue
 Rosemead, CA 91770

Dwight S. Bond C33276
 architect's stamp



consultant

revisions

file	
drawn	
reviewed	

issued	date	by
Entitlements	07.12.2017	
Rev. Entitlements	10.23.2017	
Rev. Entitlements	04.06.2018	
Rev. Entitlements	09.14.2018	
Rev. Entitlements	02.27.2019	

title

project number	16.20.00
scale	as noted
date	February 27, 2019

1115 MISSION ELEVATIONS

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 South Pasadena, California 91030
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1115 MISSION DEMO AND RESTORATION KEYNOTES

- DEMO WALLS:**
- D-WALL 1. Drywall, ceiling and floor moulding.
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- DEMO WINDOWS:**
- D-WIN 1. Aluminum storefront.
 - 2. Wood framed windows.
 - 3. Single pane glazing.
 - 4. Dual pane glazing.
- DEMO INTERIOR CEILINGS:**
- D-CLG 1. Drywall and batt insulation.
 - 2. Wood framed trusses, save and restore or future re-use.
- DEMO ROOFING:**
- D-RF 1. Roofing, mechanical equipment and skylights.
- DEMO EXTERIOR PAINT:**
- D-EP 1. Exterior paint covering existing brick facade.
- NEW WALLS:**
- N-WALL 1. New brick wall cladding with restored existing brick and mortar to match.
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- NEW WINDOWS:**
- N-WIN 1. New wood Jeldwen windows with dual glazing.
 - 2. Restore existing storefront and glazing.
- NEW PAINT:**
- N-P 1. D. EDWARDS - Molasses, DE 6399, Flat Finish.
 - 2. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.

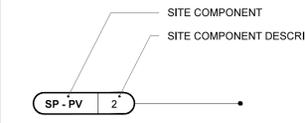
DEMO PLAN - WALL TYPE SYMBOLS

EXISTING EXTERIOR AND INTERIOR WALLS TO REMAIN

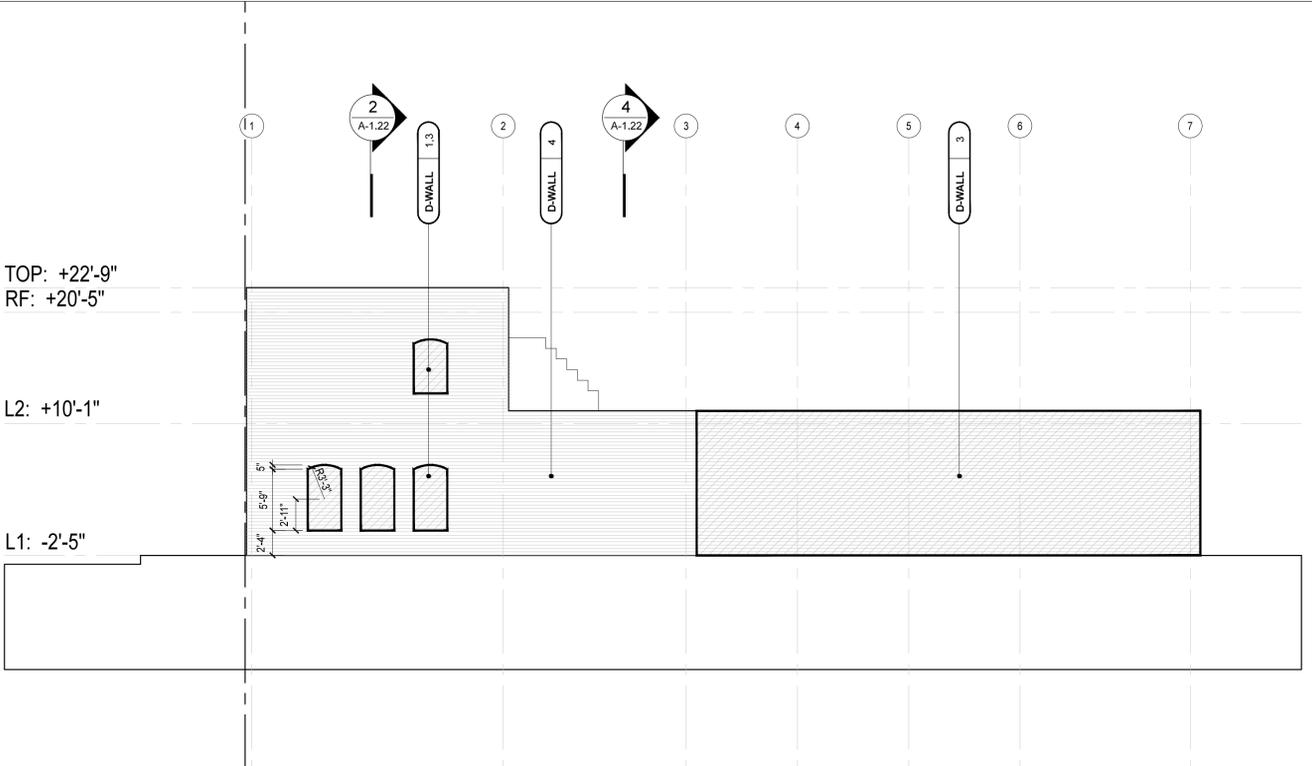
NEW EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS.

EXISTING EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS TO BE DEMOLISHED.

SITE NOTE SYMBOLS

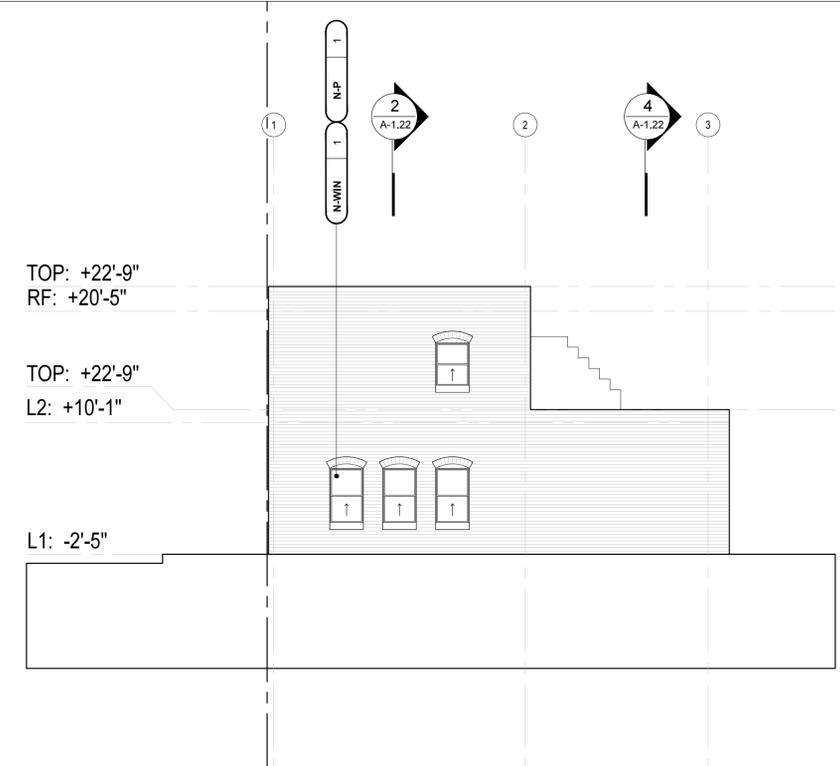


NOT FOR CONSTRUCTION



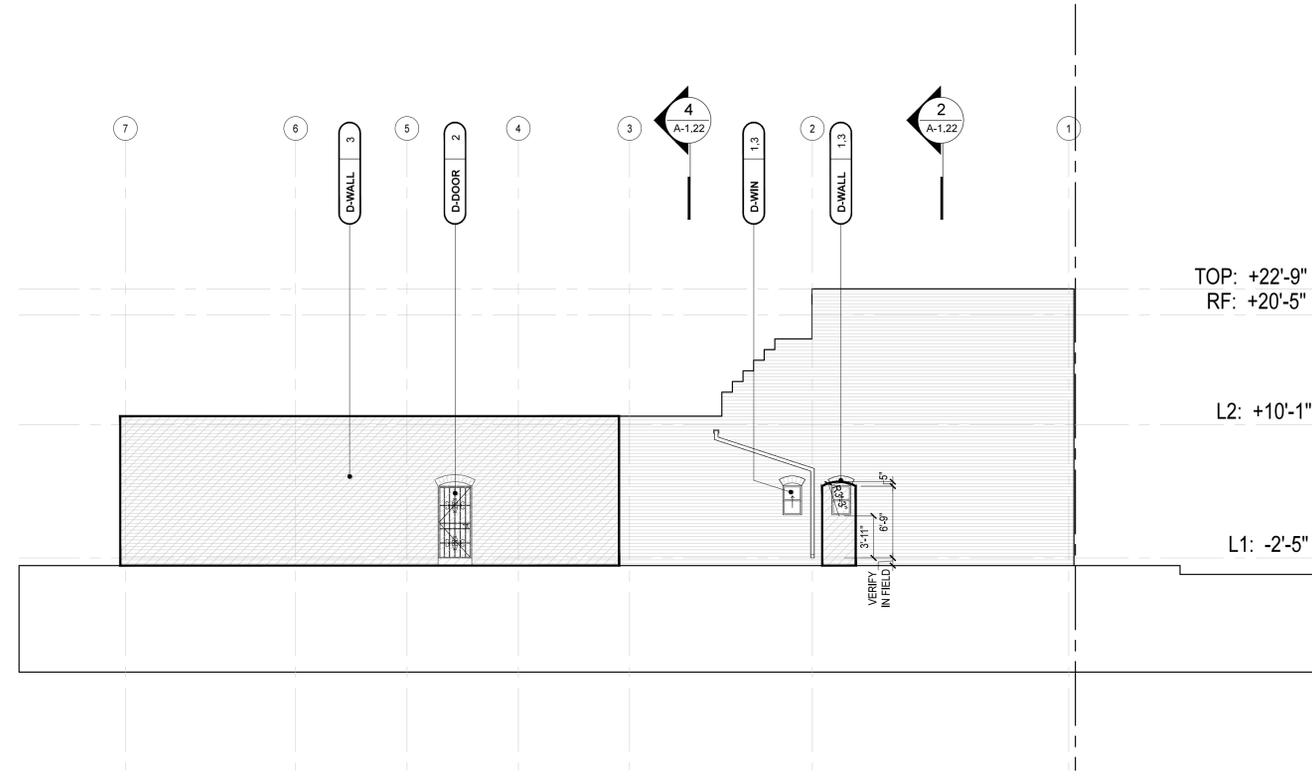
4. 1115 MISSION BLDG - EXISTING WEST ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



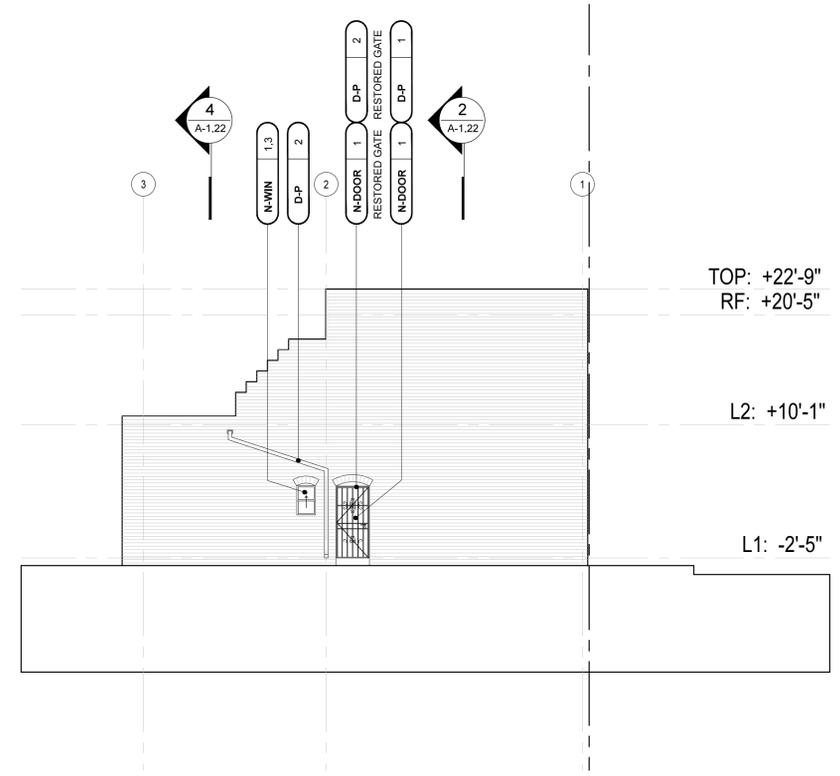
2. 1115 MISSION BLDG - PROPOSED WEST ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



3. 1115 MISSION BLDG - EXISTING EAST ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



1. 1115 MISSION BLDG - PROPOSED EAST ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'

1115 MISSION DEMO AND RESTORATION KEYNOTES

- DEMO WALLS:**
- D-WALL 1. Drywall, ceiling and floor moulding.
 - 2. Exterior stucco.
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- N-DOOR 1. New solid core door with restored metal grate and hardware, PAINTED.
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- N-WIN 1. New wood Jeldwen windows with dual glazing.
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Rev. Entitlements	04.06.2018	
Rev. Entitlements	09.14.2018	
Rev. Entitlements	02.27.2019	

title

project number	date
16.20.00	February 27, 2019

1115 MISSION SECTIONS

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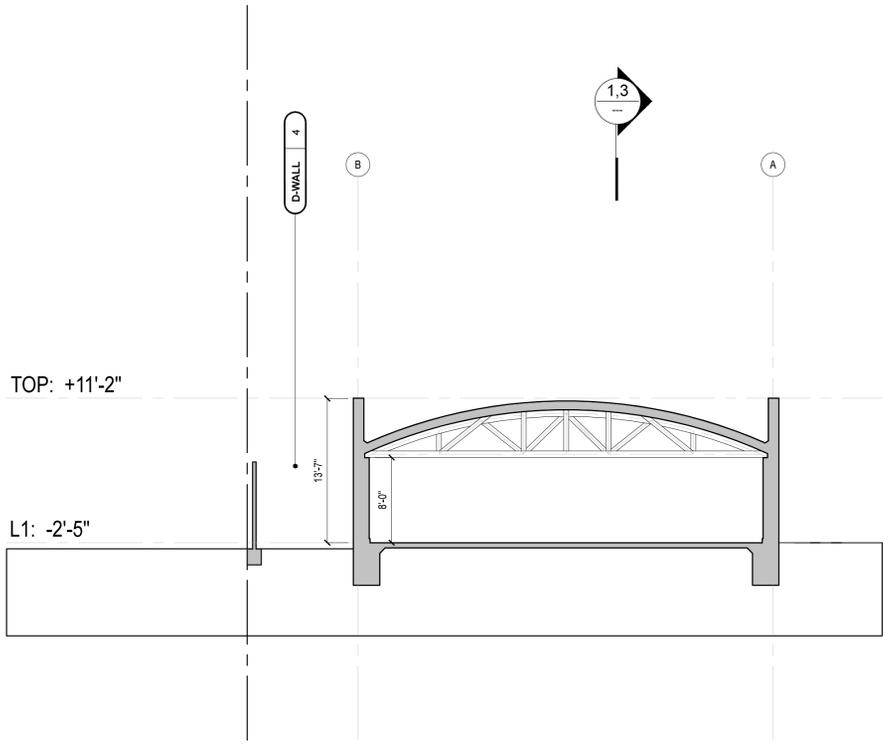
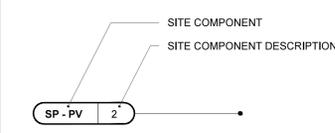
DEMO PLAN - WALL TYPE SYMBOLS

EXISTING EXTERIOR AND INTERIOR WALLS TO REMAIN

NEW EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS.

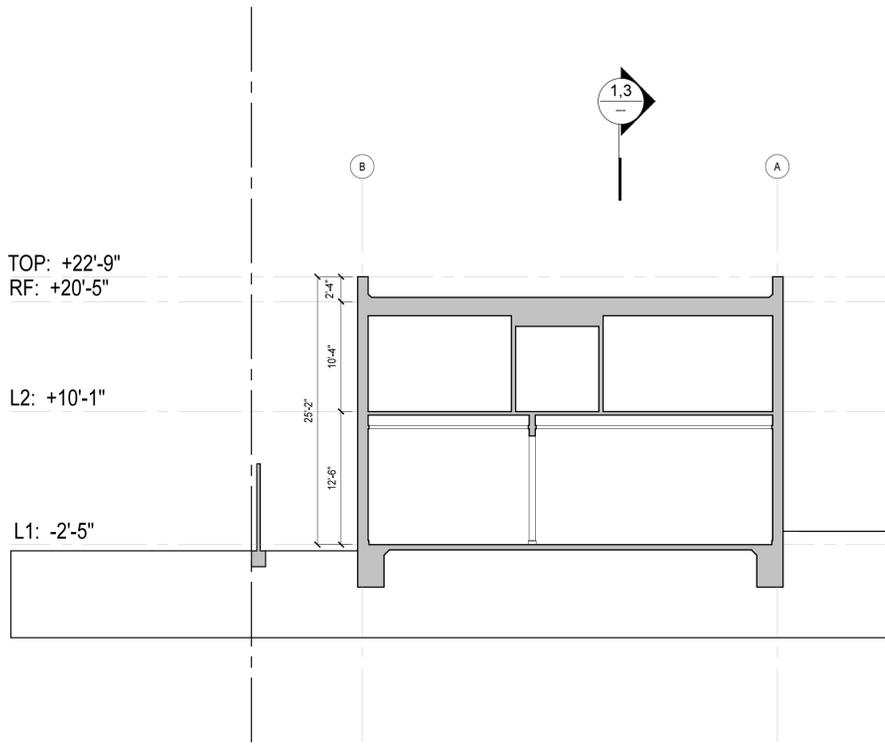
EXISTING EXTERIOR AND INTERIOR WALLS, DOORS AND WINDOWS TO BE DEMOLISHED.

SITE NOTE SYMBOLS



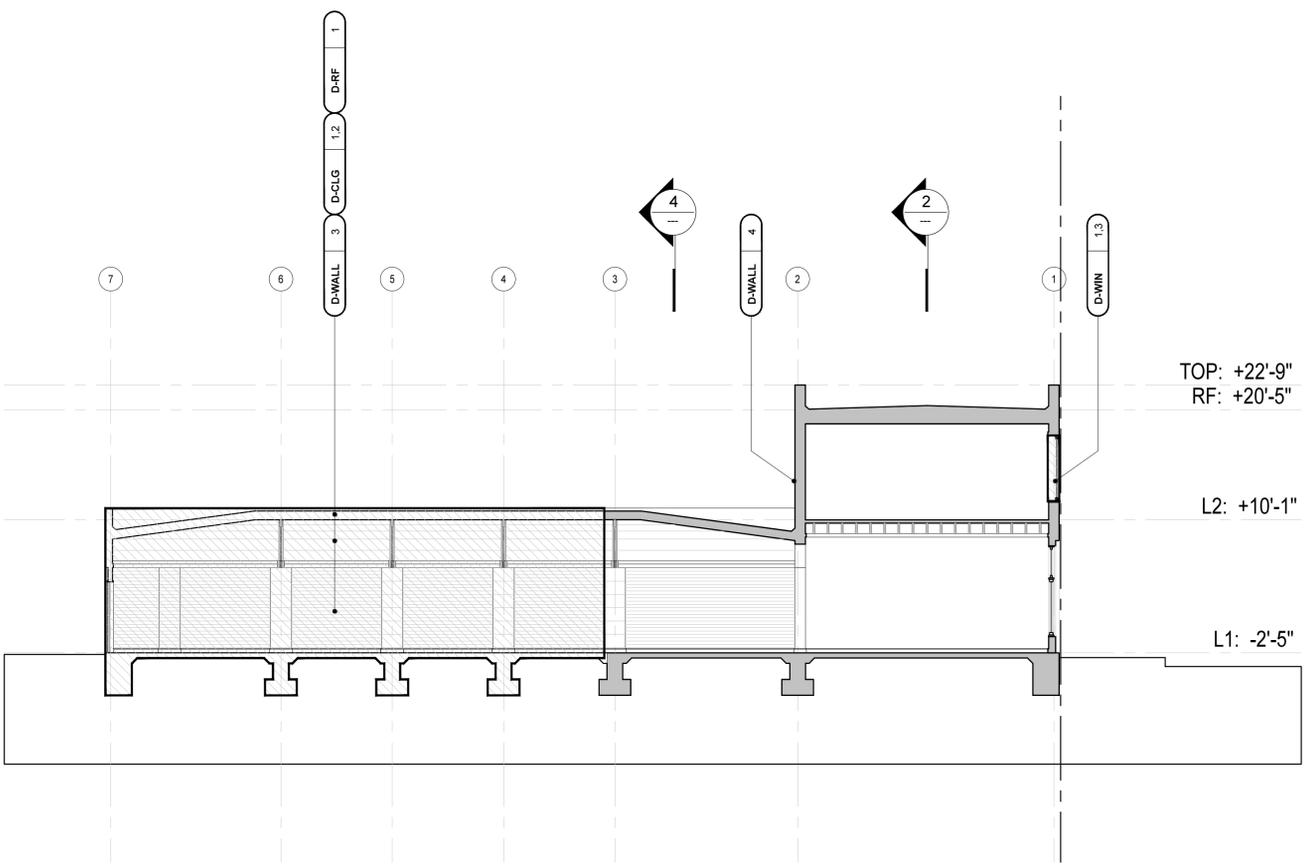
4. 1115 MISSION BLDG - BUILDING SECTION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



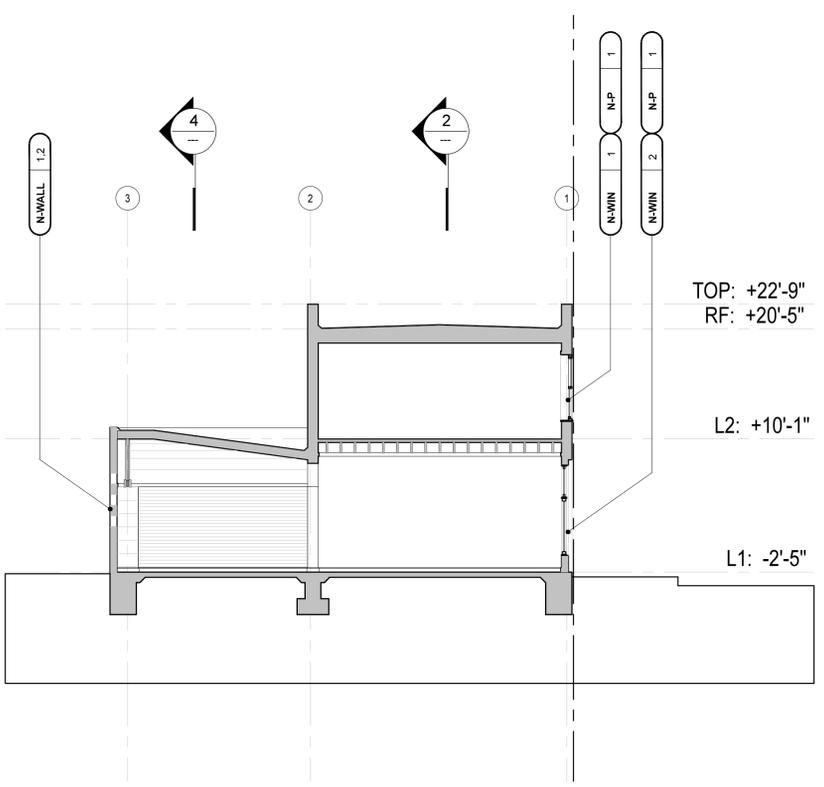
2. 1115 MISSION BLDG - BUILDING SECTION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



3. 1115 MISSION BLDG - EXISTING BUILDING SECTION

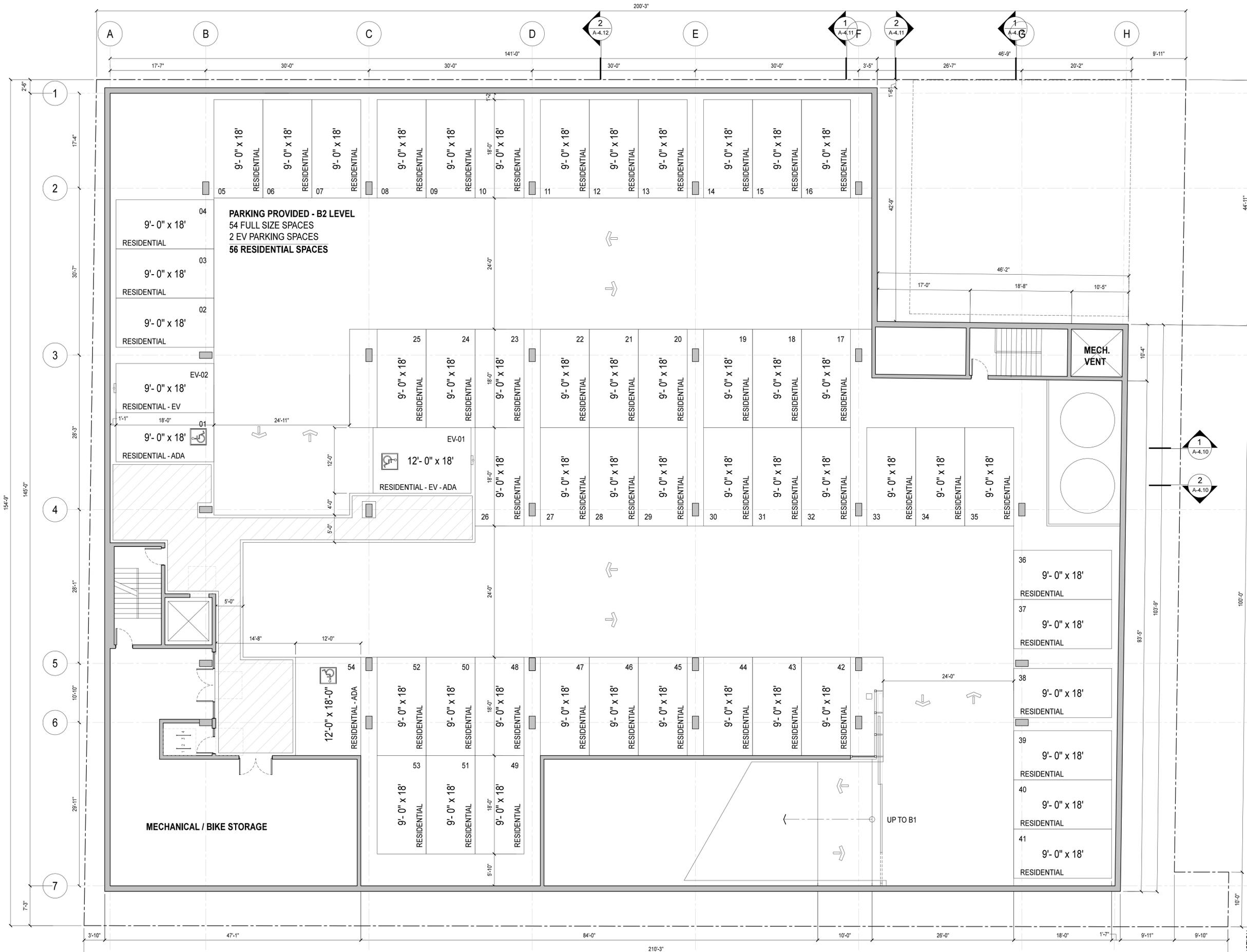
scale: 1/8" = 1'-0" 0' 2' 4' 8'



1. 1115 MISSION BLDG - PROPOSED BUILDING SECTION

scale: 1/8" = 1'-0" 0' 2' 4' 8'

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BASEMENT FLOOR - B2 PLAN

scale: 1/8" = 1'-0" 0' 2' 4' 8'



project:
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 Mixed Use Project
 1101-1115 Mission Street
 South Pasadena, CA 91030

owner:
 Mission Bell Properties, LLC
 1683 Walnut Grove Avenue
 Rosemead, CA 91770

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 architect's stamp



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revisions

file	date	by
Entitlements	07.12.2017	
Rev. Entitlements	10.23.2017	
Rev. Entitlements	04.06.2018	
Rev. Entitlements	09.14.2018	
Rev. Entitlements	02.27.2019	

title
 project number 16.20.00
 scale as noted
 date February 27, 2019

BASEMENT B2 PLAN

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Rev. Entitlements	02.27.2019	

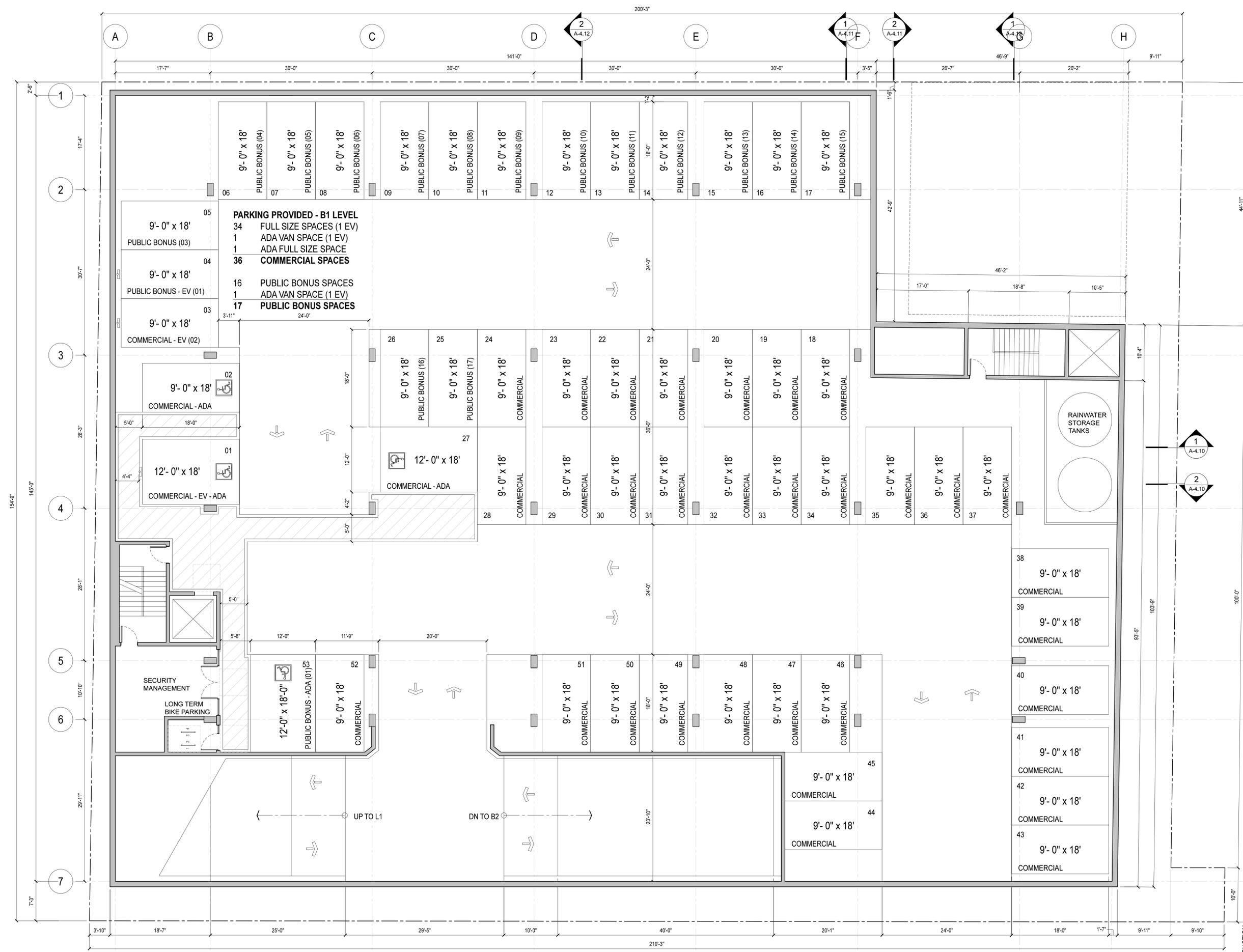
title
 project number 16.20.00
 scale as noted
 date February 27, 2019

BASEMENT B1 PLAN

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BASEMENT FLOOR - B1 PLAN
 scale: 1/8" = 1'-0" 0' 2' 4' 8'



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issued	date	by
Entitlements	07.12.2017	
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title
 project number 16.20.00
 scale as noted
 date February 27, 2019

GROUND FLOOR PLAN

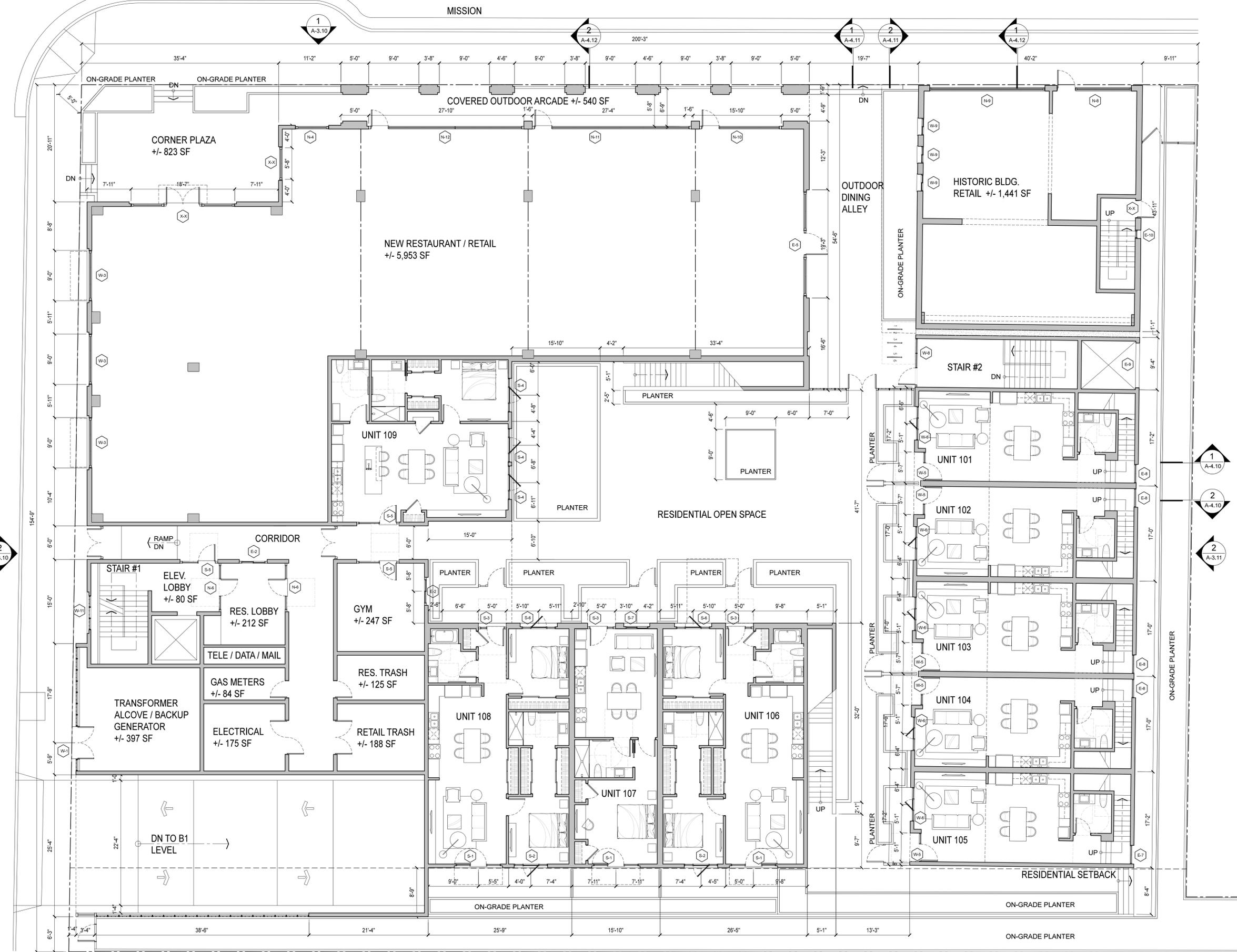
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GROUND FLOOR - L1 PLAN
 scale: 1 / 8" = 1'-0" 0' 2' 4' 8'



FAIRVIEW



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revisions
 file _____
 drawn _____
 reviewed _____

issued _____ date _____ by _____
Entitlements 07.12.2017
Rev. Entitlements 10.23.2017
Rev. Entitlements 04.06.2018
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Rev. Entitlements 02.27.2019

title
 project number 16.20.00
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SECOND FLOOR PLAN

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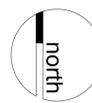
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SECOND FLOOR - L2 PLAN

scale: 1/8" = 1'-0" 0' 2' 4' 8'



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reviewed		

issued	date	by
Entitlements	07.12.2017	
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title

project number	16.20.00
scale	as noted
date	February 27, 2019

THIRD FLOOR PLAN

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THIRD FLOOR - L3 PLAN

scale: 1/8" = 1'-0" 0' 2' 4' 8'



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Entitlements	07.12.2017	
Rev. Entitlements	10.23.2017	
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Rev. Entitlements	09.14.2018	
Rev. Entitlements	02.27.2019	

title
 project number 16.20.00
 scale as noted
 date February 27, 2019

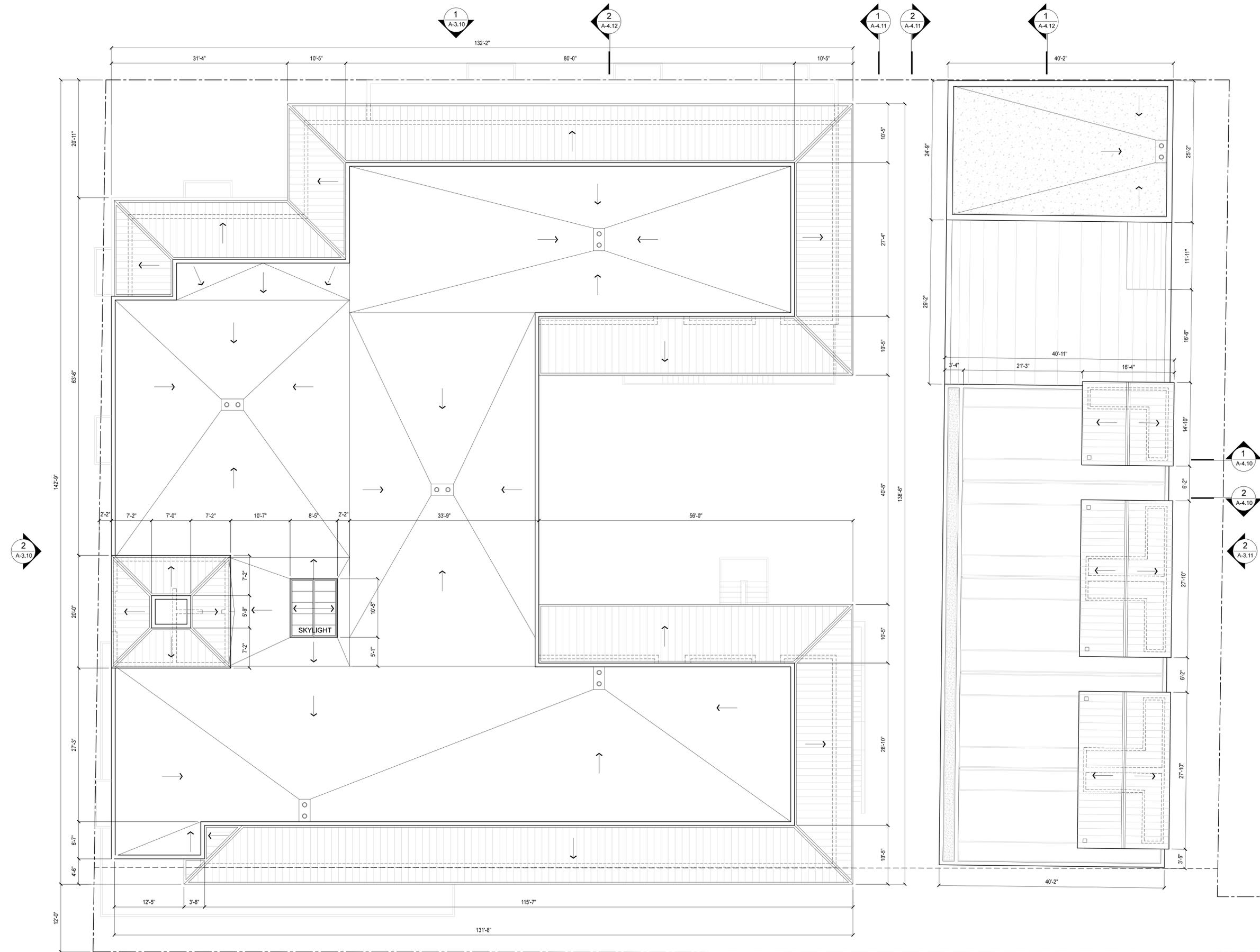
ROOF PLAN

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ROOF PLAN

scale: 1 / 8" = 1'-0" 0' 2' 4' 8'



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project number	16.20.00
scale	as noted
date	February 27, 2019

ELEVATIONS

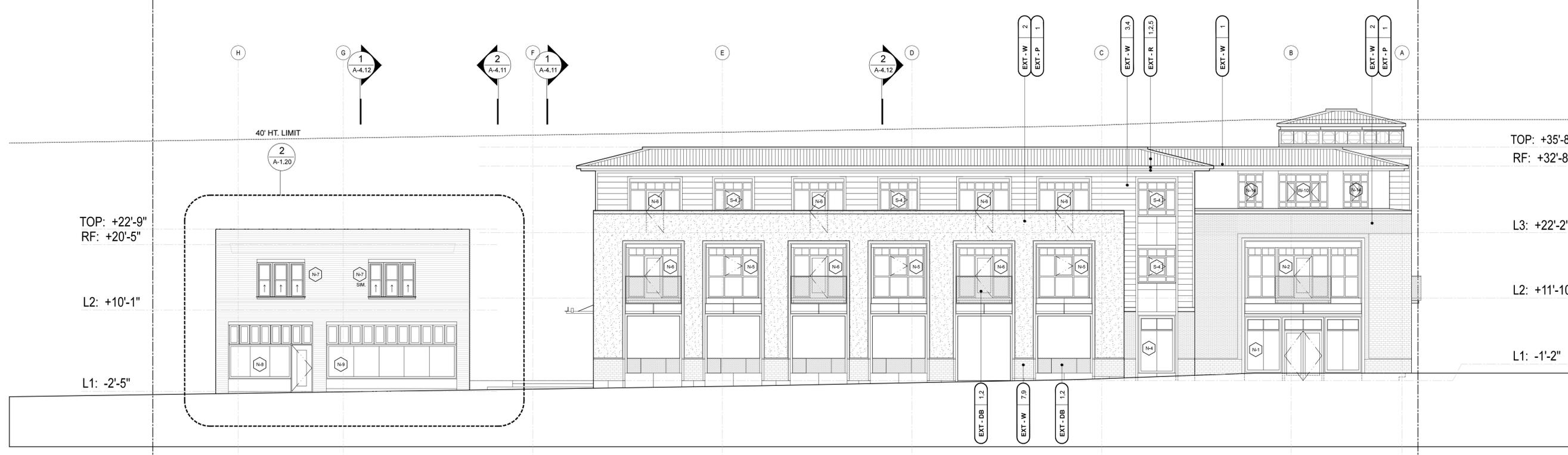
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NORTH ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



WEST ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'

EXTERIOR MATERIAL NOTES

ROOFING: EXT-R 1. Standing seam metal roof. 2. 2 x D.F. Fascia, PAINTED. 3. 4 x exposed roof rafter framing, PAINTED. 4. 1 x IPE T&G Eave cladding. 5. Metal gutters and downspouts, PAINTED.	EXTERIOR WALLS: EXT-W 1. Steel troweled plaster, 40 Dove Gray integral color, La Habra or other. 2. Santa Barbara troweled plaster, PAINTED. 3. James Hardie Beaded Cedarmill lap siding, Iron Gray color.	4. James Hardie Smooth trim, Iron Gray color. 5. Mission Tile West, Cement tile, 8 x 8, La Espanola. 6. Precast GFRC panels, Davis Outback 677 color. 7. Arto Antik thin brick cladding.	8. Grout, #09 Natural Gray 9. Mortar color, Davis color #MC89, to match existing mortar color from 1115 Building. 10. IPE wood storefront, SEALED. 11. Vine wire grid.	EXTERIOR METALS: EXT-MTL DECK BALCONY: EXT-DB 1. Metal panel cladding, BLACK. 2. Laser cut aluminum panels with aluminum fasteners, ANNOIDIZED and Sealed. 1. IPE Wood top rail, Sealed. 2. Bar stock custom wrought iron railing, PAINTED.	EXTERIOR PAINT: EXT-P 1. D. EDWARDS - Igloo, DEW 379, Flat Finish. 2. D. EDWARDS - Molasses, DE 6399, Flat Finish. 3. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.	EXTERIOR GLAZING: EXT-G 1. Aluminum dual glazed Arcadia storefront, BLACK color. 2. Jeld-Wen Wood clad dual glazed windows, DARK CHOCOLATE color.	EXTERIOR DOORS: EXT-D 1. Wood clad aluminum door with dual glazing and muttons. 2. Custom steel framed door with laser cut infill, PAINTED. 3. Custom steel framed door with mesh infill, PAINTED.
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project:
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Entitlements	07.12.2017	
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title	
project number	16.20.00
scale	as noted
date	February 27, 2019

ELEVATIONS

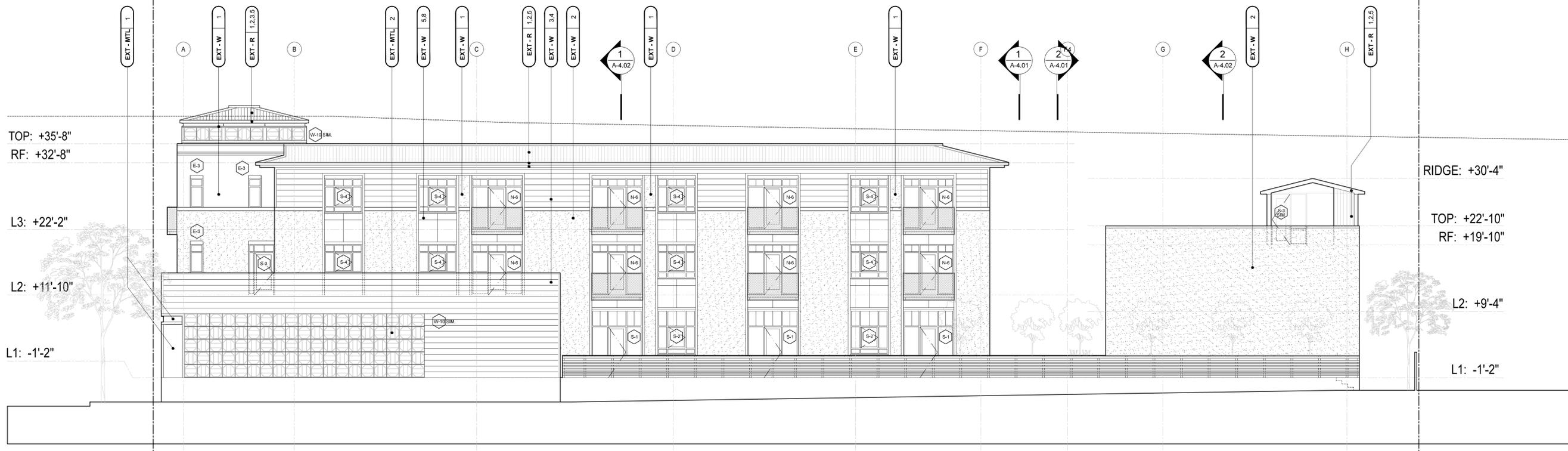
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A-3.11

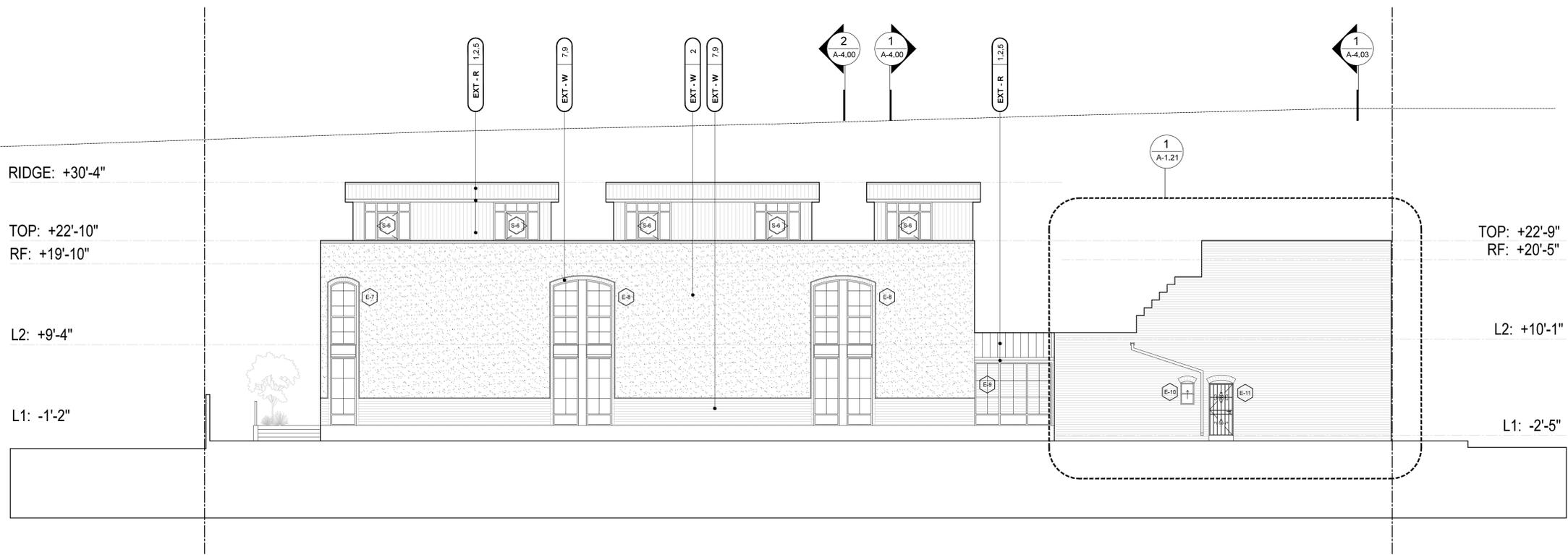
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SOUTH ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



EAST ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'

EXTERIOR MATERIAL NOTES

ROOFING: EXT-R	1. Standing seam metal roof.	EXTERIOR WALLS: EXT-W	1. Steel troweled plaster, 40 Dove Gray integral color, La Habra or other.	4. James Hardie Smooth trim, Iron Gray color.	EXTERIOR METALS: EXT-MTL	1. Metal panel cladding, BLACK.	EXTERIOR PAINT: EXT-P	1. D. EDWARDS - Igloo, DEW 379, Flat Finish.	EXTERIOR GLAZING: EXT-G	1. Aluminum dual glazed Arcadia storefront, BLACK color.	EXTERIOR DOORS: EXT-D	1. Wood clad aluminum door with dual glazing and muttons.
	2. 2 x D.F. Fascia, PAINTED.		2. Santa Barbara troweled plaster, PAINTED.	5. Mission Tile West, Cement tile, 8 x 8, La Espanola.		2. Laser cut aluminum panels with aluminum fasteners, ANNODIZED and Sealed.		2. D. EDWARDS - Molasses, DE 6399, Flat Finish.		2. Jeld-Wen Wood clad dual glazed windows, DARK CHOCOLATE color.		2. Custom steel framed door with laser cut infill, PAINTED.
3. 4 x exposed roof rafter framing, PAINTED.	3. James Hardie Beaded Cedarmill lap siding, Iron Gray color.	6. Precast GFRC panels, Davis Outback 677 color.	6. Grout, #09 Natural Gray	10. IPE wood storefront, SEALED.	2. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.	3. Custom steel framed door with mesh infill, PAINTED.						
4. 1 x IPE T&G Eave cladding.	7. Arto Antik thin brick cladding.	7. Arto Antik thin brick cladding.	9. Mortar color, Davis color #MC89, to match existing mortar color from 1115 Building.	11. Vine wire grid.								
5. Metal gutters and downspouts, PAINTED.												
					DECK BALCONY: EXT-DB	1. IPE Wood top rail, Sealed.						
						2. Bar stock custom wrought iron railing, PAINTED.						

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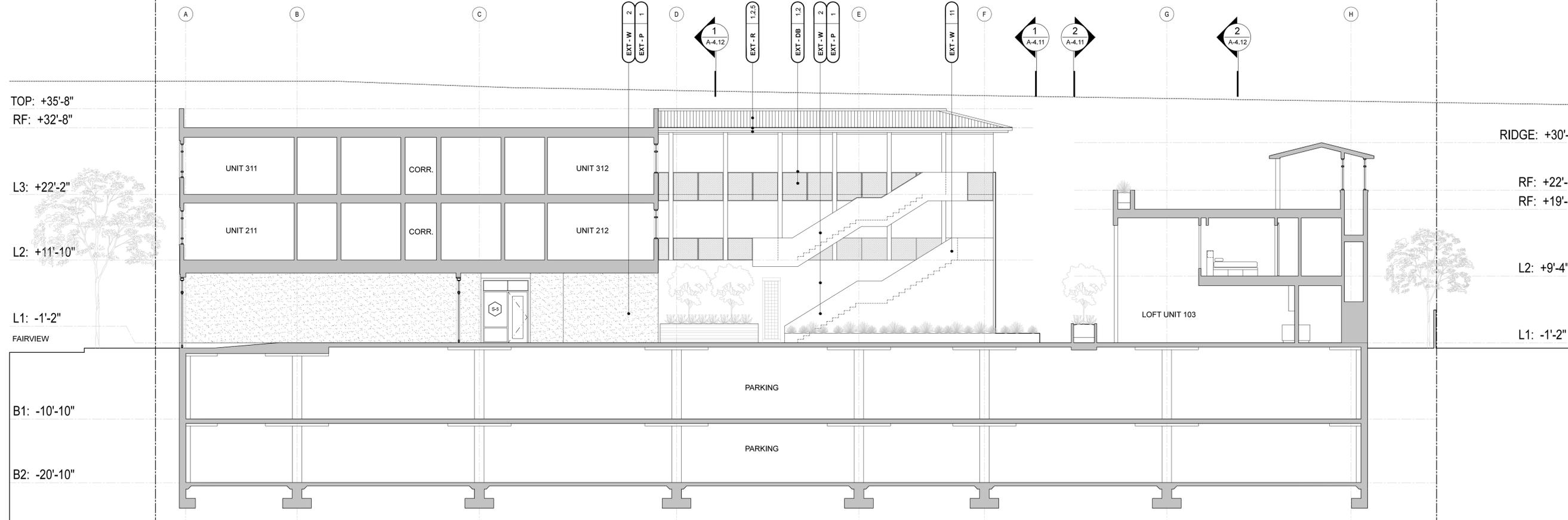
SECTIONS

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TOP: +35'-8"
 RF: +32'-8"

L3: +22'-2"

L2: +11'-10"

L1: -1'-2"

FAIRVIEW

B1: -10'-10"

B2: -20'-10"

RIDGE: +30'-4"

RF: +22'-10"

RF: +19'-10"

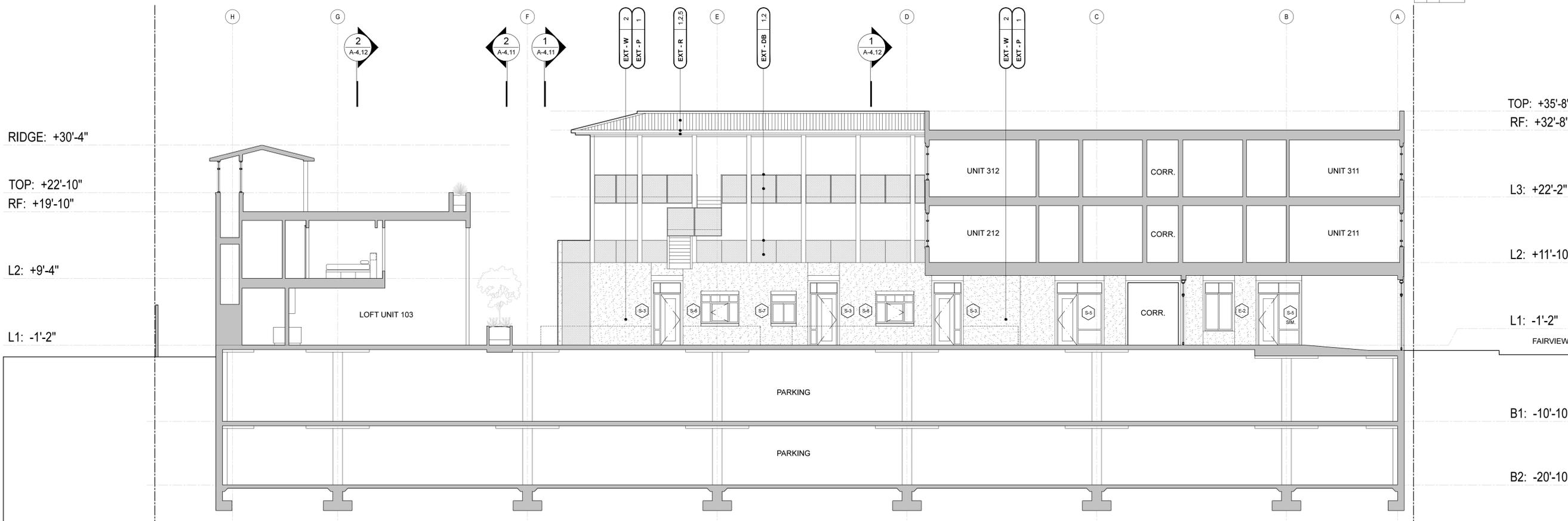
L2: +9'-4"

L1: -1'-2"

SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

SECTION - 1

scale: 1 / 8" = 1'-0" 0' 2' 4' 8'



RIDGE: +30'-4"

TOP: +22'-10"

RF: +19'-10"

L2: +9'-4"

L1: -1'-2"

FAIRVIEW

B1: -10'-10"

B2: -20'-10"

TOP: +35'-8"

RF: +32'-8"

L3: +22'-2"

L2: +11'-10"

L1: -1'-2"

FAIRVIEW

SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

SECTION - 2

scale: 1 / 8" = 1'-0" 0' 2' 4' 8'

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09.14.2018	Rev. Entitlements
02.27.2019	Rev. Entitlements

title

project number	16.20.00
scale	as noted
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SECTIONS

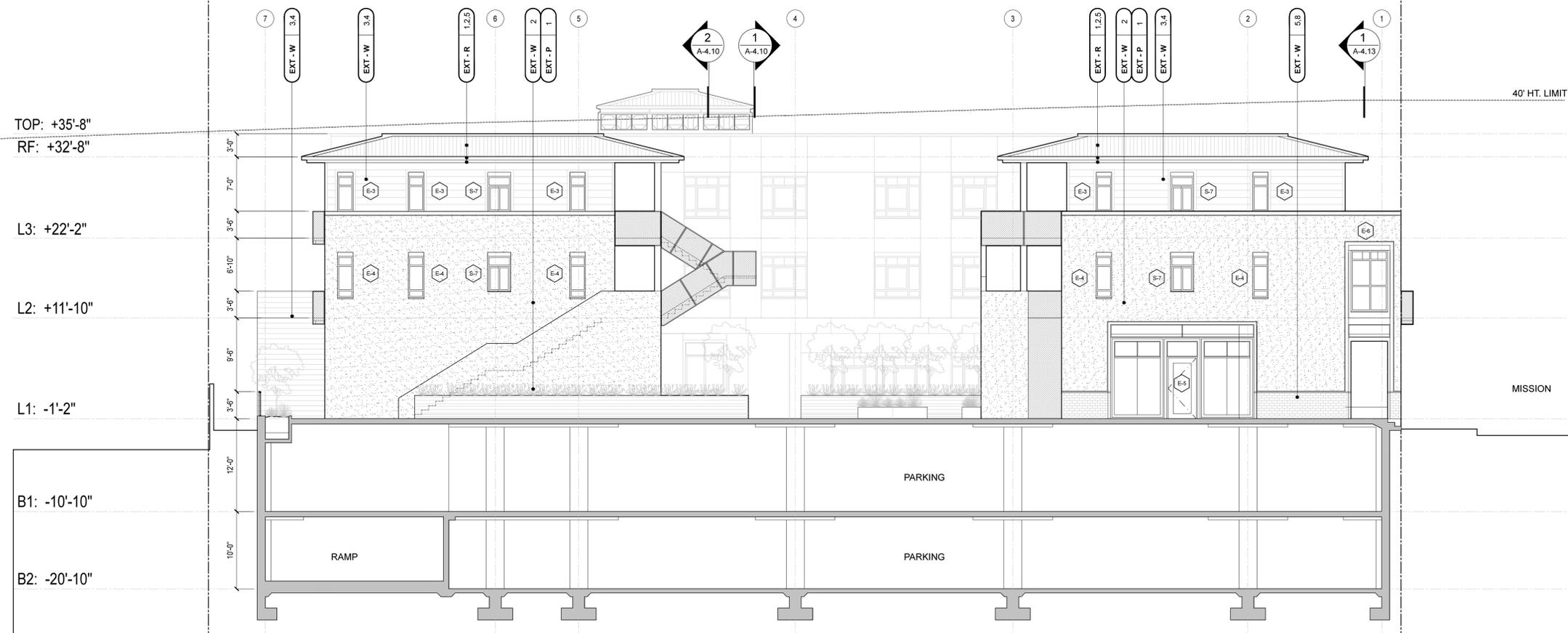
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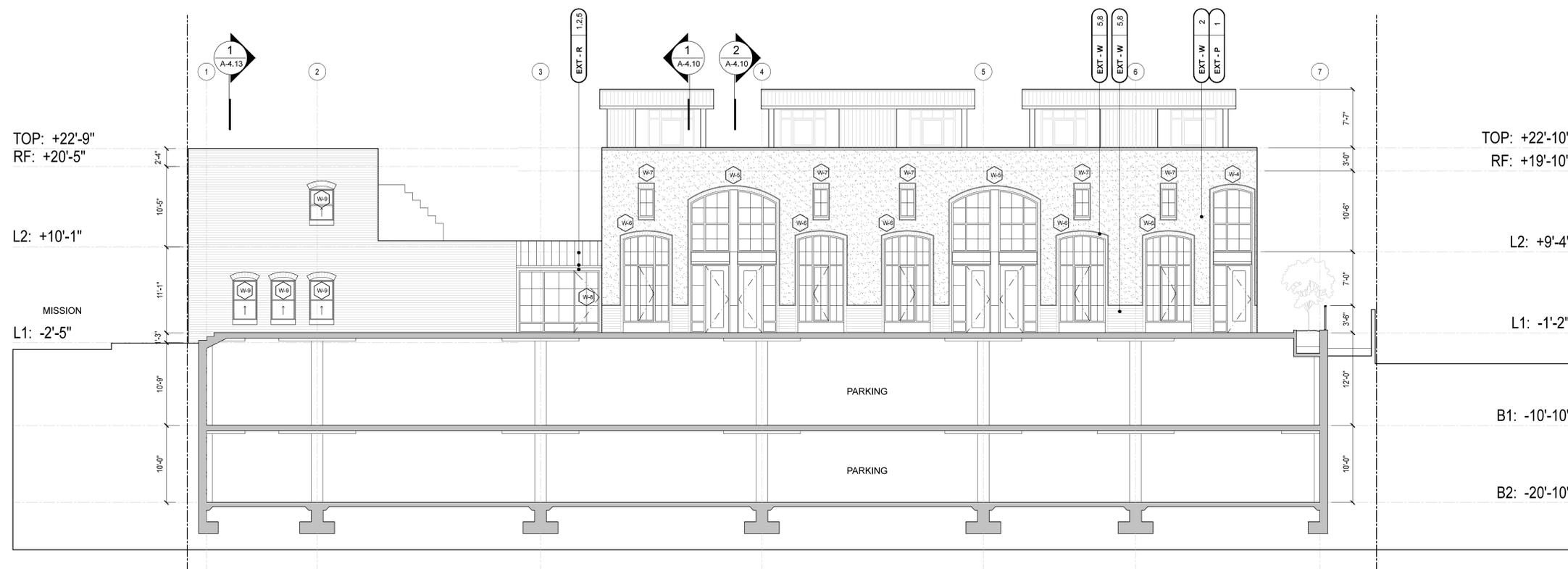
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SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

SECTION - 1

scale: 1/8" = 1'-0" 0' 2' 4' 8'



SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

SECTION - 2

scale: 1/8" = 1'-0" 0' 2' 4' 8'

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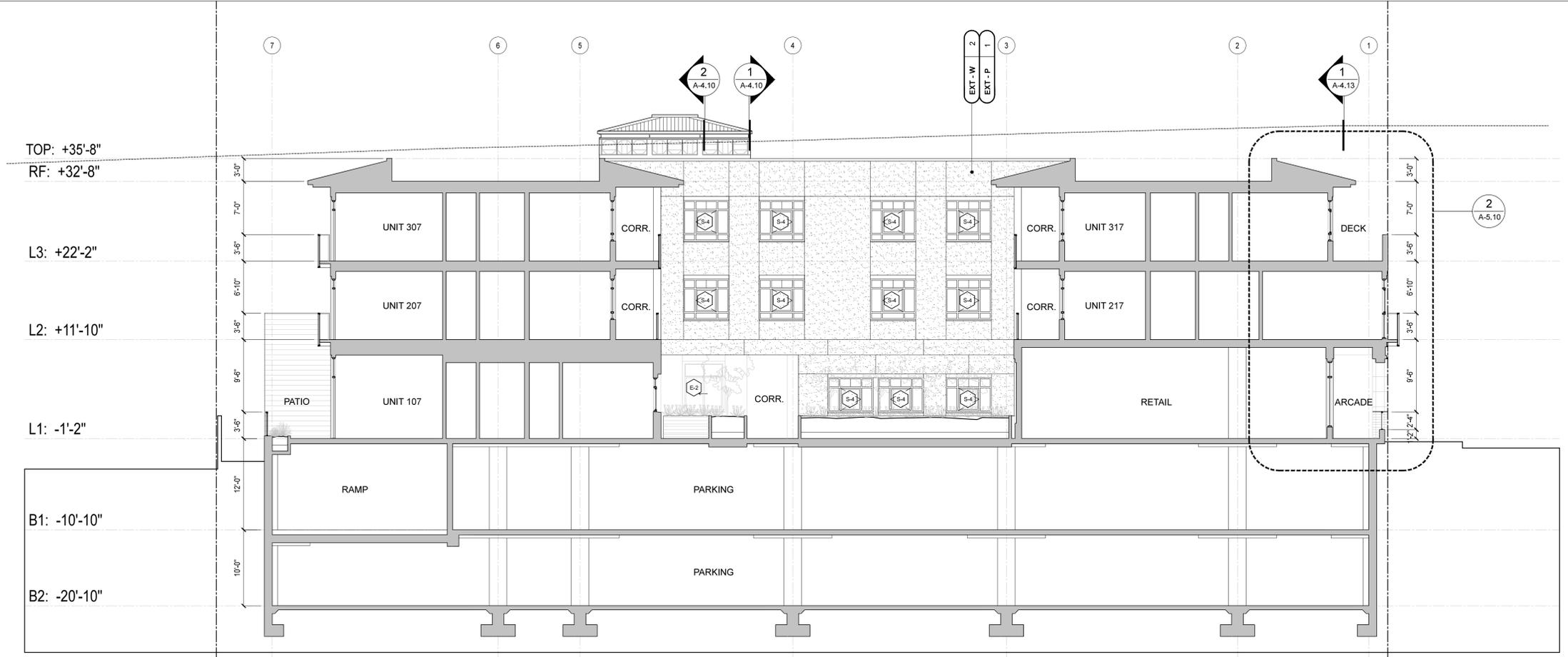
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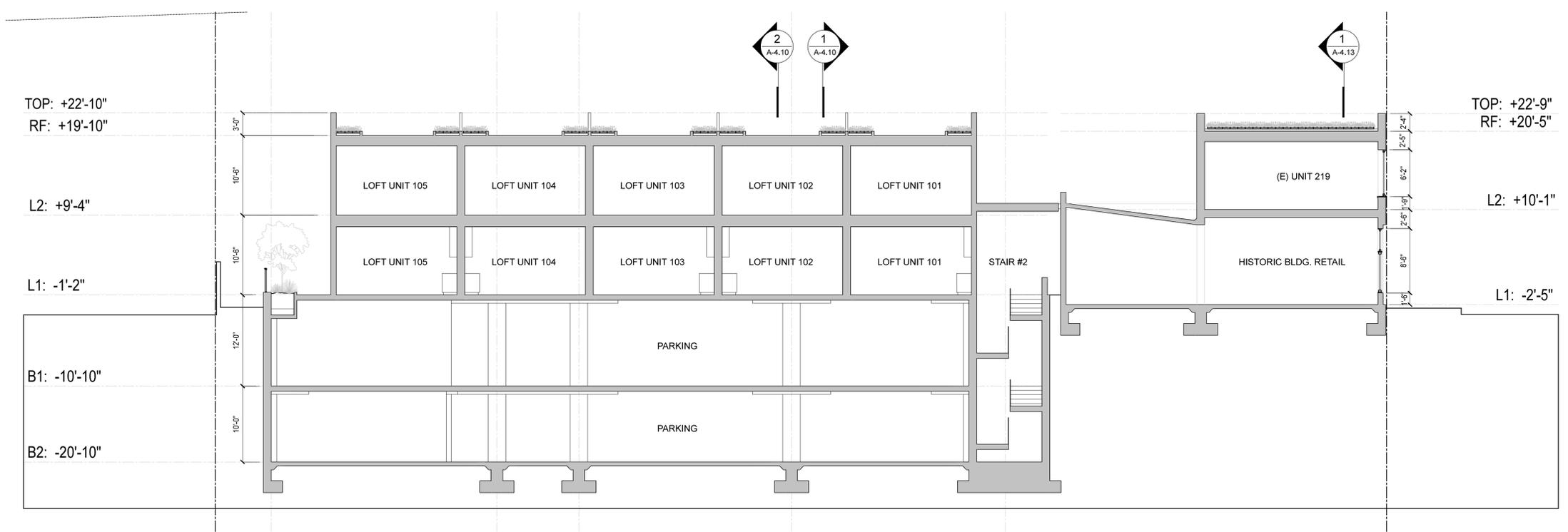
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SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

SECTION - 1

scale: 1 / 8" = 1'-0" 0' 2' 4' 8'



SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

SECTION - 2

scale: 1 / 8" = 1'-0" 0' 2' 4' 8'

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title

project number	16.20.00
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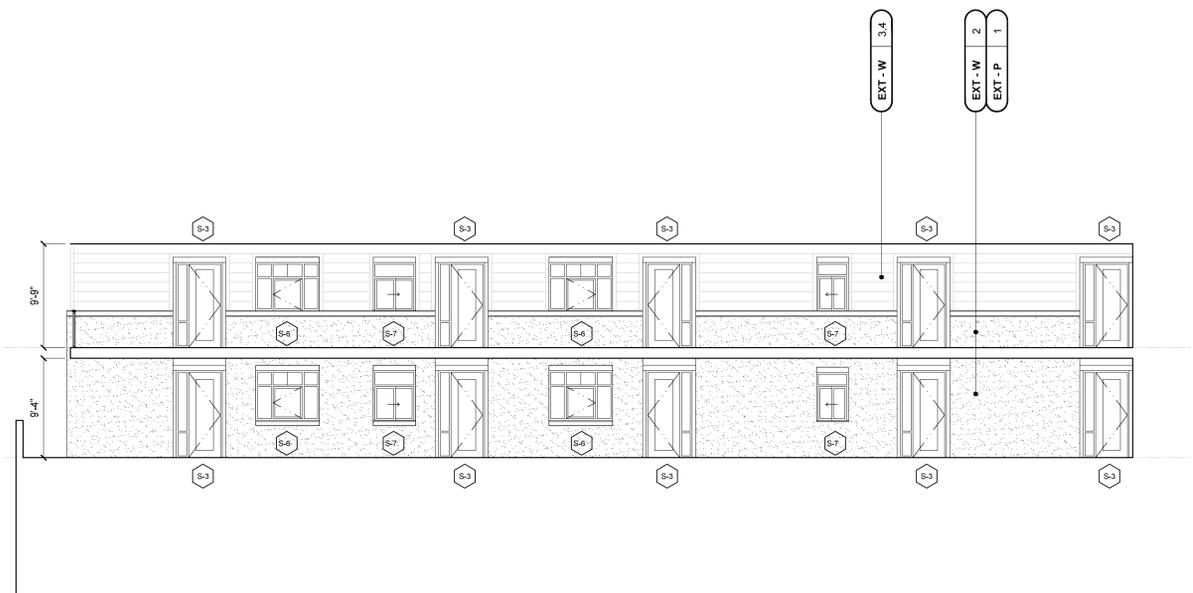
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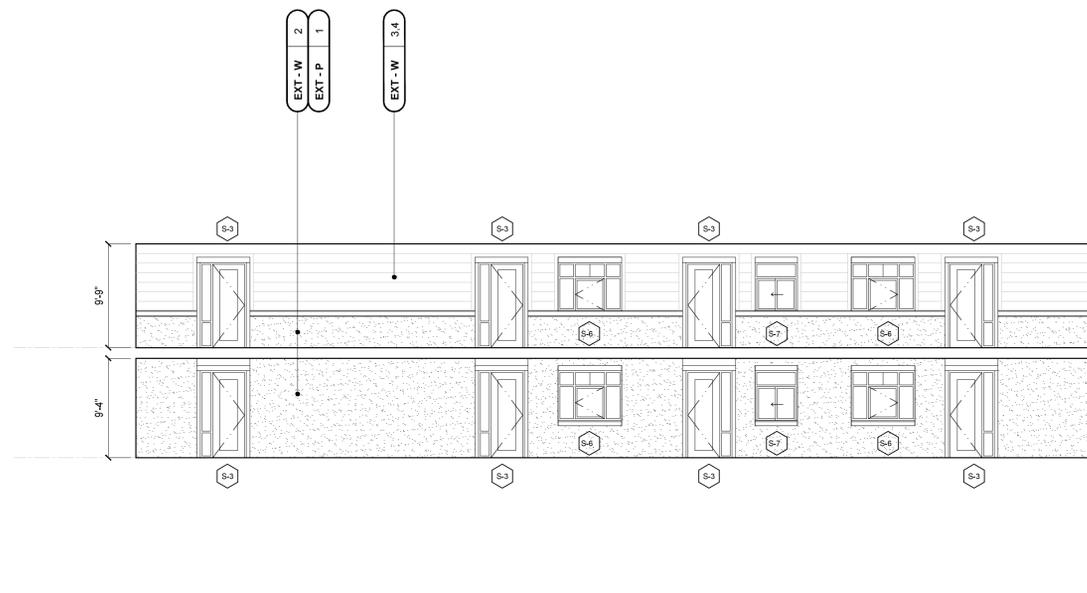
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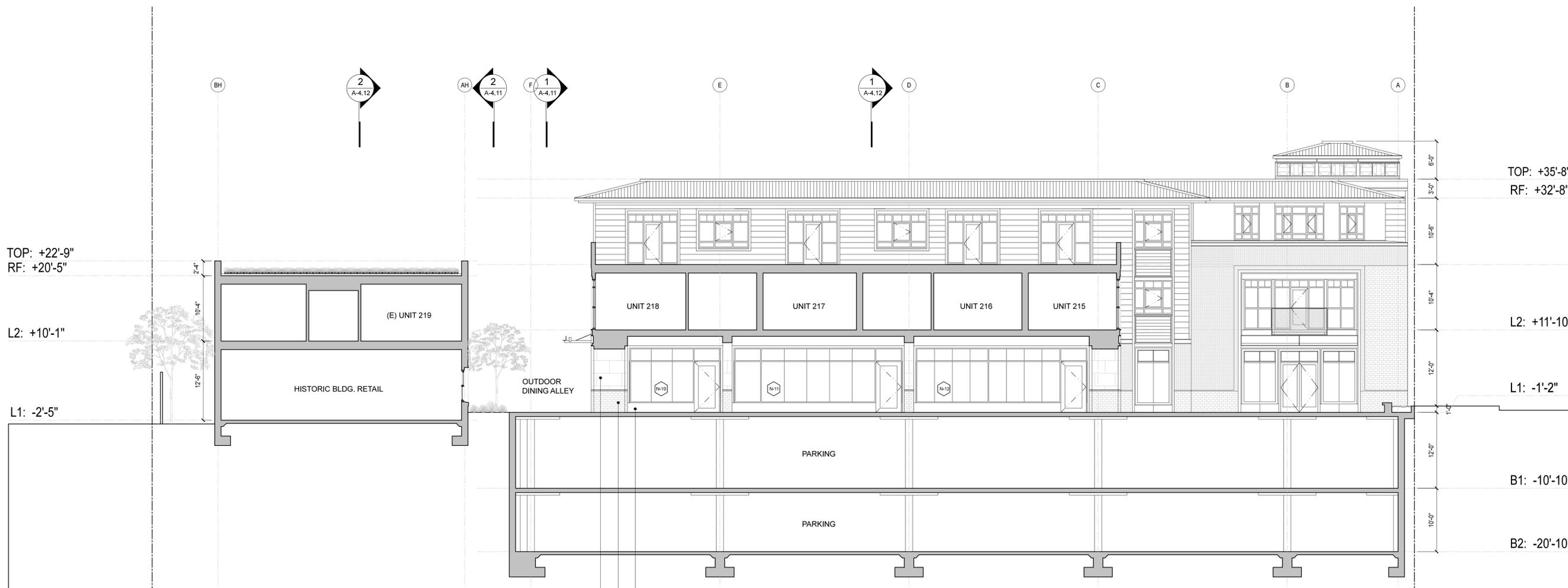
SECTION - 3 EXIT BALCONY ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



SECTION - 2 EXIT BALCONY ELEVATION

scale: 1/8" = 1'-0" 0' 2' 4' 8'



SECTION - 1

scale: 1/8" = 1'-0" 0' 2' 4' 8'

SEE SHT. A - 3.10 FOR EXTERIOR MATERIAL NOTES

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 Mixed Use Project
 1101-1115 Mission Street
 South Pasadena, CA 91030

owner:
 Mission Bell Properties, LLC
 1683 Walnut Grove Avenue
 Rosemead, CA 91770

Dwight S. Bond C33276
 architect's stamp



consultant

revisions

file	date	by

issued

file	date	by

Entitlements

Rev. Entitlements	date

title

project number	scale	date
16.20.00	as noted	February 27, 2019

WALL SECTION

workshop design collective, inc.
 1010 Sycamore Avenue, unit # 208
 South Pasadena, California 91030
 p. 323.258.4749 c. 310.874.5214
 workshopdesigncollective@gmail.com

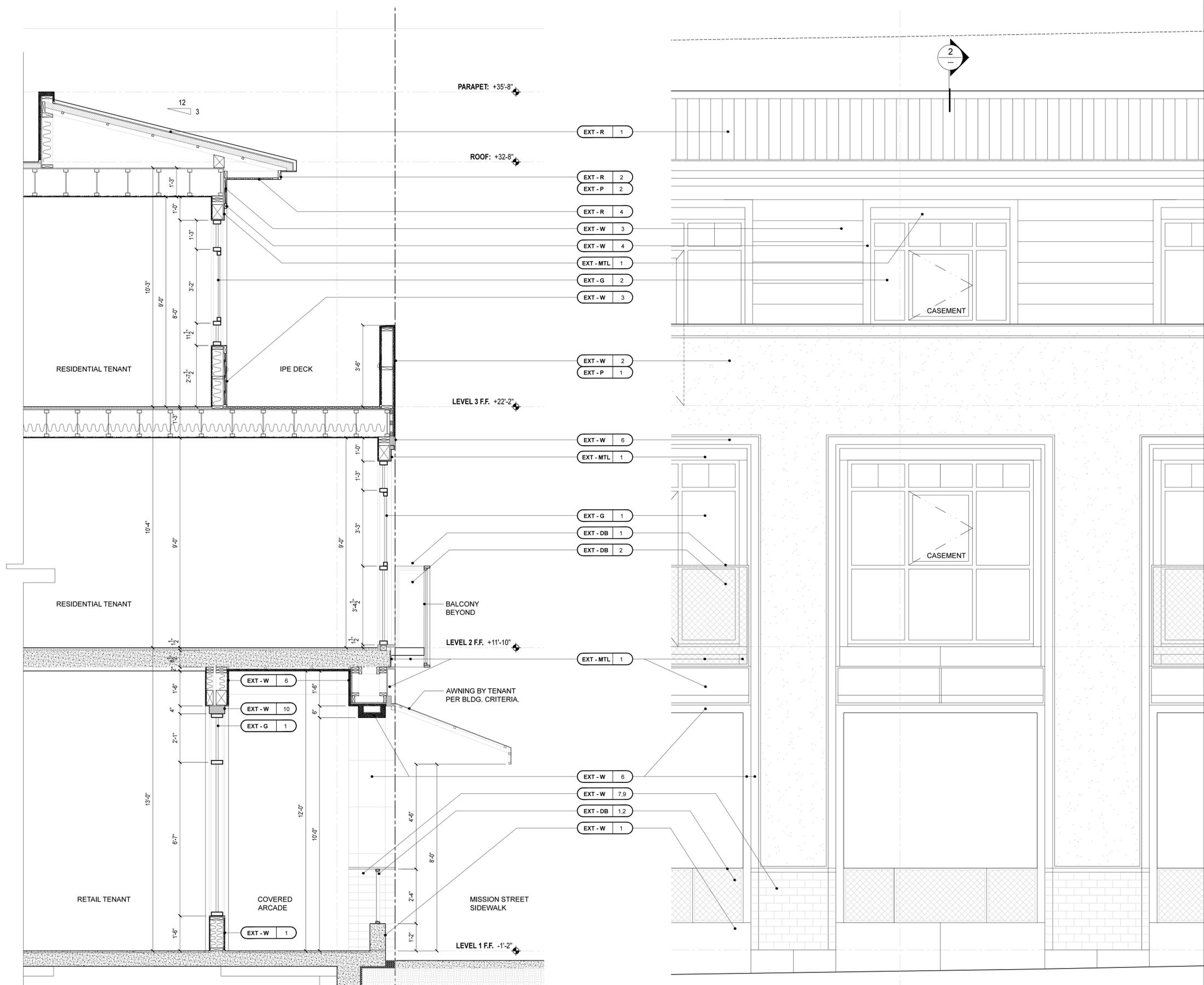
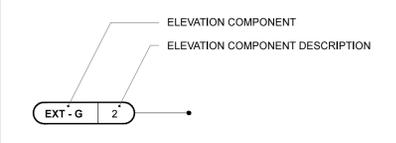
sheet

A-5.10
 All material appearing herein constitutes original and unpublished work of, and may not be duplicated, used or disclosed without written consent of, WORKSHOP design collective, inc.

EXTERIOR SECTION / ELEVATION KEYNOTES

- ROOFING:**
1. Standing seam metal roof, COOL CHARCOAL color.
- EXT-R**
2. 2 x D.F. Fascia, PAINTED.
 3. 4 x exposed roof rafter framing, PAINTED.
 4. 1 x IPE Eave cladding.
 5. Metal gutters and downspouts, PAINTED.
- EXTERIOR WALLS:**
1. Steel troweled plaster, 40 Dove Gray integral color, La Habra or other.
 2. Santa Barbara troweled plaster, PAINTED.
 3. James Hardie Beaded Cedarmill lap siding, Iron Gray color.
 4. James Hardie Smooth trim, Iron Gray color.
 5. Mission Tile West, Cement tile, 8 x 8, La Espanola.
 6. Precast GFRC panels, Davis Outback 677 color.
 7. Arto Antik thin brick cladding.
 8. Grout, #09 Natural Gray
 9. Mortar color, Davis color #MC89, to match existing mortar color from 1115 Building.
 10. IPE wood storefront, SEALED.
 11. Vine wire grid.
- EXTERIOR METALS:**
1. Metal panel cladding, BLACK.
 2. Laser cut aluminum panels with aluminum fasteners, ANNODIZED and Sealed.
- EXT-MTL**
- DECK BALCONY:**
1. IPE Wood top rail, Sealed.
 2. Bar stock custom wrought iron railing, PAINTED.
- EXT-DB**
- EXTERIOR PAINT:**
1. D. EDWARDS - Igloo, DEW 379, Flat Finish.
 2. D. EDWARDS - Molasses, DE 6399, Flat Finish.
 3. D. EDWARDS - Stargazing, DE6336, Semi Gloss Finish.
- EXT-P**
- EXTERIOR GLAZING:**
1. Aluminum dual glazed Arcadia storefront, DARK BRONZE color.
 2. Jeld-Wen Wood clad dual glazed windows, DARK CHOCOLATE color.
- EXT-G**
- EXTERIOR DOORS:**
1. Wood clad aluminum door with dual glazing and muttons.
 2. Custom steel framed door with laser cut infill, PAINTED.
 3. Custom steel framed door with mesh infill, PAINTED
- EXT-D**

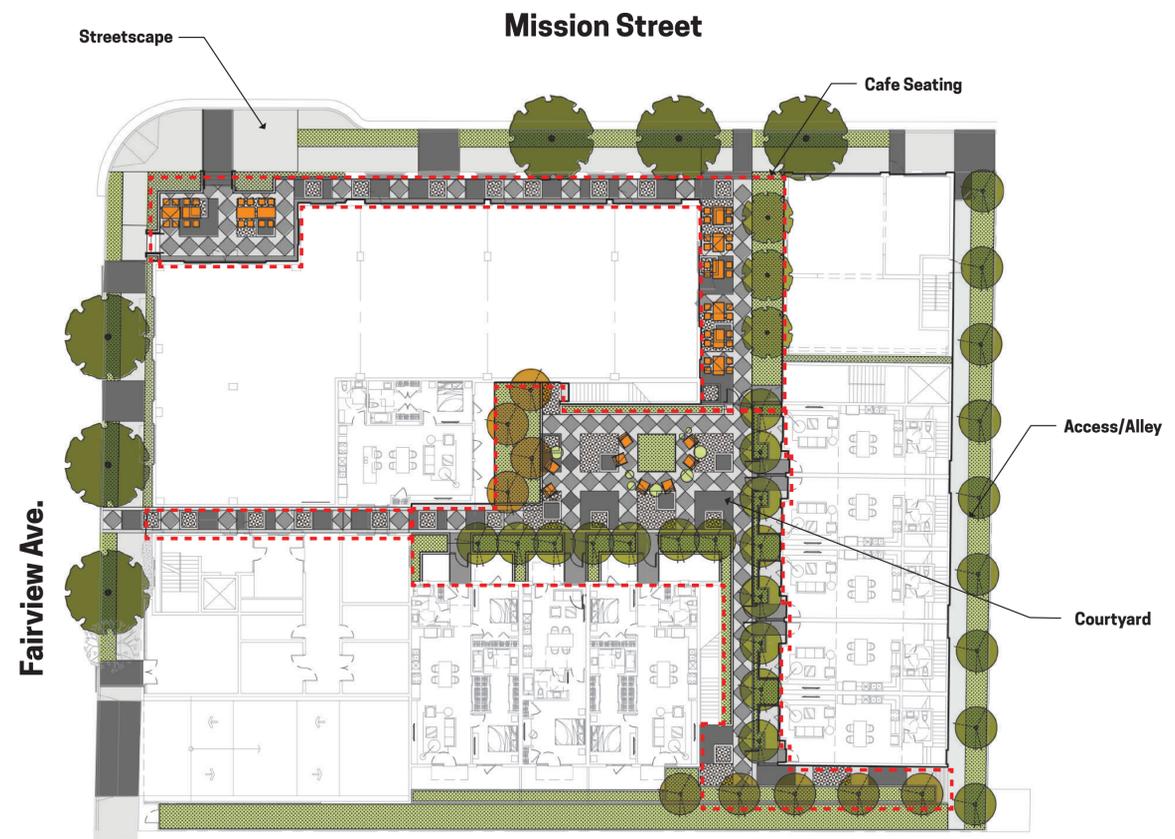
ELEVATION NOTE SYMBOLS



2. WALL SECTION
 scale: 1/2" = 1'-0"
 0" 6" 12" 24"

1. PARTIAL ELEVATION
 scale: 1/2" = 1'-0"
 0" 6" 12" 24"

NOT FOR CONSTRUCTION



PROJECT 1101 Mission St
South Pasadena, CA 91030

PROJECT ID 1614

superjacent
LANDSCAPE ARCHITECTURE + URBAN DESIGN
www.superjacent.com

KEY PLAN	CONSULTANTS
ISSUED FOR	Entitlements Package
REVISIONS	

DRAWING NUMBER	SCALE	DATE	DRAWING TITLE
L2.00	1" = 20'	3/31/17	SITE PLAN

INCHES PRINTED ON 24" X 36" SHEET



PROJECT 1101 Mission St
South Pasadena, CA 91030

PROJECT ID 1614

superjacent
LANDSCAPE ARCHITECTURE + URBAN DESIGN
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CONSULTANTS

ISSUED FOR Entitlements Package

REVISIONS

REF PLAN

Total Open Space: 8396 sq. ft.
Total Planting Area: 4268 sq. ft.
Total Trees: 36 Trees
(36 Trees in project/ one tree per unit)

DRAWING TITLE **HARDSCAPE PLAN**

DATE 3/31/17

SCALE 1/8" = 1'-0"

DRAWING NUMBER **L2.01**



Parkway Planting

No-Mow Lawn



'UC Verde' Buffalograss
Buchloe dactyloides

Trees



Tree Type #1
Platanus racemosa



Tree Type #2
Olea europaea 'Swan Hill'



Tree Type #3
Citrus x tangelo 'Minneola'



Tree Type #4
Arctostaphylos manzanita



Tree Type #5
Ginkgo Biloba

Tree Type #6
Street trees species to be determined by the Urban Forestry department of South Pasadena



Lavender
Lavandula angustifolia



Whitebark Ceanothus
Ceanothus leucodermis

Raised Planter B



Lavender
Lavandula angustifolia



Torch Aloe
Aloe arborescens

Sculptural Planter



Canary Island Dragon Tree
Dracena draco



Golden Barrel Cactus
Echinocactus grusonii

Planter Pots



Elephant's Ear Kalanchoe
Kalanchoe beharensis



Octopus Agave
Agave vilmoriniana



Sharkskin Agave
Agave 'Sharkskin'



Swiss Cheese Plant
Monstera deliciosa

Raised Planter A



Lavender
Senecio serpens



Peruvian Apple Cactus
Cereus peruvianus

Vine Planter, Screening, and Trees



Creeping Fig
Ficus pumila



Yew Pine
Podocarpus Maki

PROJECT 1101 Mission St
South Pasadena, CA 91030

PROJECT ID 1614

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CONSULTANTS	
ISSUED FOR	Entitlements Package
REVISIONS	
KEY PLAN	

DRAWING TITLE **PLANTING PALETTE**

DATE 3/31/17

SCALE NTS

DRAWING NUMBER **L8.00**



PROJECT 1101 Mission St
South Pasadena, CA 91030

PROJECT ID 1614

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CONSULTANTS	
ISSUED FOR	Entitlements Package
REVISIONS	
REV PLAN	

DRAWING TITLE **PLANTING ZONES**

DATE 3/31/17

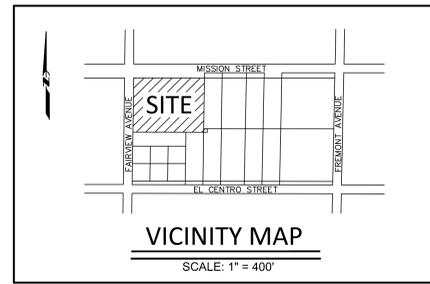
SCALE 1/8" = 1'-0"

DRAWING NUMBER **L8.01**



VESTING TENTATIVE PARCEL MAP NO. 78267 FOR CONDOMINIUM PURPOSES

IN THE CITY OF SOUTH PASADENA, THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
 PARCEL 1: LOTS 5, 6, 7 IN BLOCK "A" OF RAAB'S SUBDIVISION, EXCEPT THEREFROM THE NORTHERLY 5 FEET OF SAID LOTS 6 AND 7;
 PARCEL 2: LOT 4, BLOCK C AND THE NORTH 10 FEET OF LOT 3, BLOCK C OF THROOP GATES AND COOK SUBDIVISION; PARCEL 3: THE
 NORTHERLY 10 FEET OF LOT 8 AND THE NORTHERLY 10 FEET OF THE WESTERLY 10 FEET OF LOT 10, BLOCK 1 OF RAAB'S SUBDIVISION



PROJECT DESCRIPTION:
 THE PROJECT CAN BE DESCRIBED AS A (3) THREE STORY MIXED USE BUILDING WITH (2) TWO STORIES OF PARKING BELOW GRADE. THE SITE ALSO CONTAINS A (2) STORY MASONRY BUILDING WHICH IS DEEMED HISTORIC TO THE CITY OF SOUTH PASADENA WHICH IS A CRITICAL PART OF THE PROJECT'S OVERALL DESIGN.

THE PROJECT PROPOSES (35) NEW RESIDENTIAL UNITS AND REFURBISHES (1) EXISTING UNIT AS 1 BEDROOM LOFTS, FLATS, AND 2 BEDROOM FLATS. THE GROUND FLOOR COMMERCIAL SPACE 7,335 SF INCLUDING THE HISTORIC BUILDING.

BUILDING INFORMATION:
 NUMBER OF STORIES: 3
 TYPE OF CONSTRUCTION: TYPE V-B OVER TYPE I PODIUM
 USE: MULTIFAMILY USES OVER COMMERCIAL AND PARKING USES
 OCCUPANCY: A2, M, R2 AND S2 OCCUPANCIES
 LOT AREA: 31,113 SF
 LOT COVERAGE: 69% LOT COVERAGE

GENERAL NOTES:
 ASSESSOR'S PARCEL: APNS # 5315-008-045 & 5315-008-043
 ZONING: MISSION STREET SPECIFIC PLAN (MSSP)
 SITE AREA: 0.71 ACRE (31,113 SQ.FT.)
 NO EASEMENTS OF RECORD PER COMMONWEALTH LAND TITLE INSURANCE COMPANY GUARANTEE NO. CA-SFXFC-IMP-81G28-117-09193603, DATED 9/20/17.

LEGAL DESCRIPTION:
 REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

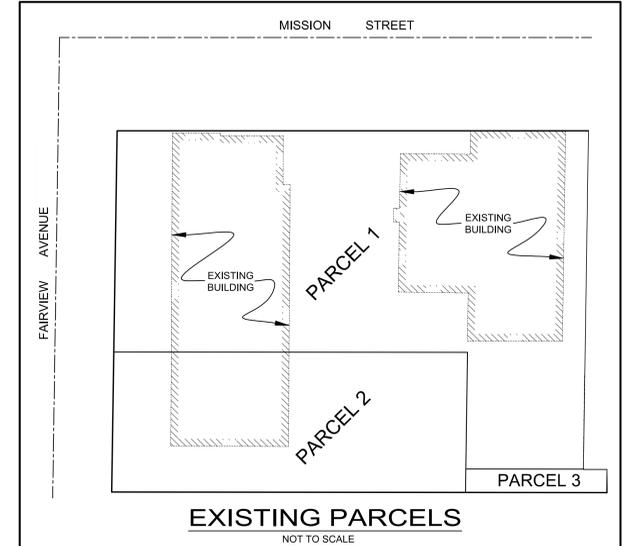
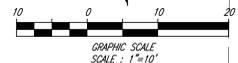
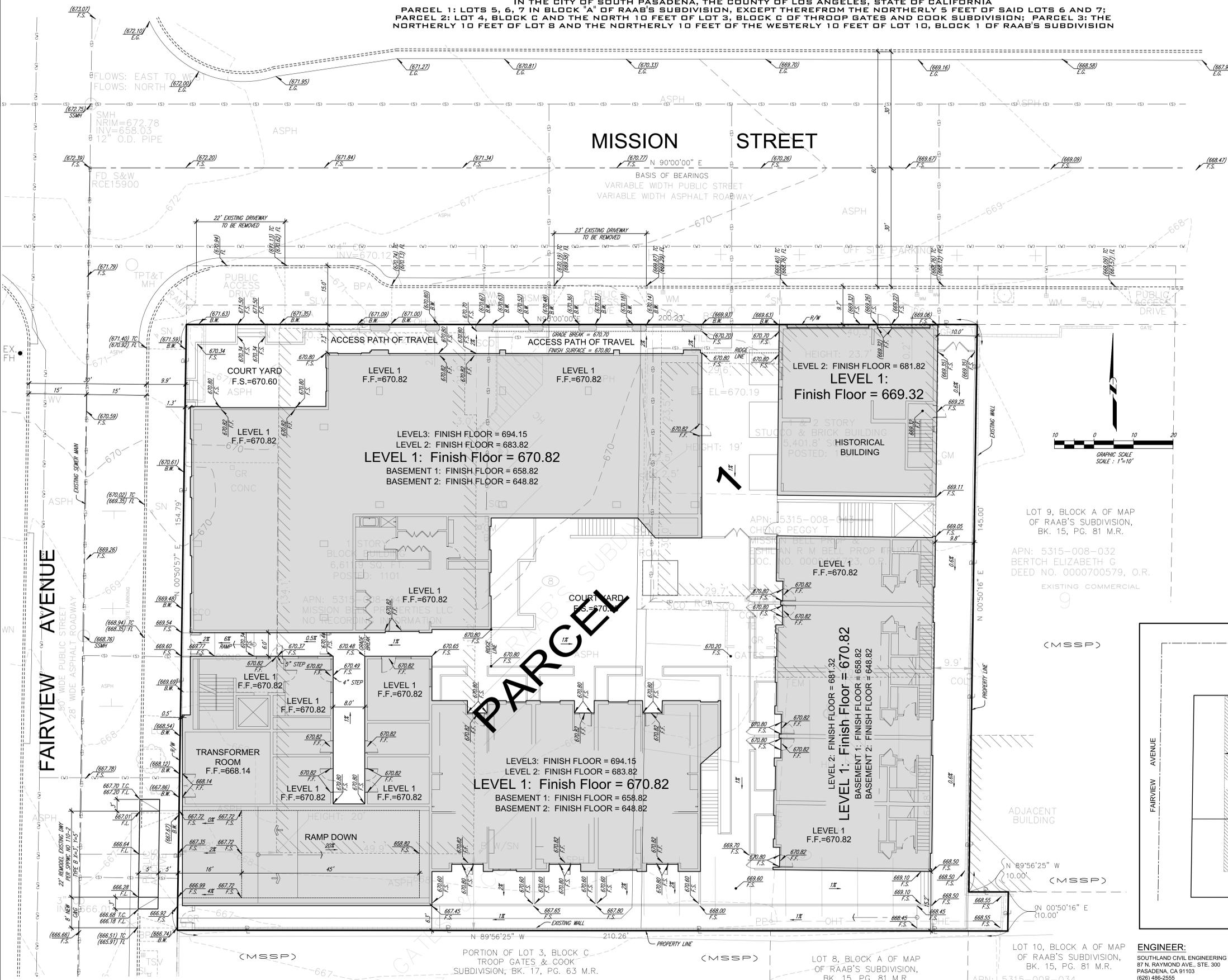
PARCEL 1:
 LOTS 5, 6, 7 IN BLOCK "A" OF RAAB'S SUBDIVISION, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE 81 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM THE NORTHERLY 5 FEET OF SAID LOTS 6 AND 7.

PARCEL 2:
 LOT 4, BLOCK C AND THE NORTH 10 FEET OF LOT 3, BLOCK C OF THROOP GATES AND COOK SUBDIVISION, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGE 63 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:
 THE NORTHERLY 10 FEET OF LOT 8 AND THE NORTHERLY 10 FEET OF THE WESTERLY 10 FEET OF LOT 10, BLOCK A OF RAAB'S SUBDIVISION, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE 81 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARING:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF MISSION STREET. BEING N 90° 00' 00" E (EAST) PER MAP OF RAAB'S SUBDIVISION RECORDED IN BOOK 15, PG. 81, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.

BENCHMARK:
 BENCHMARK (LEAD AND TAG L5699) LOCATED IN THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF EL CENTRO AND FREMONT AVENUE.
 ELEVATION = 653.87 (DATUM CITY OF SOUTH PASADENA)



BENCH MARK:
 BENCHMARK (LEAD AND TAG L5699) LOCATED IN THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF EL CENTRO AND FREMONT AVENUE.
 ELEVATION = 653.87 (DATUM CITY OF SOUTH PASADENA)

DATE	BY	REVISIONS

Southland Civil Engineering & Survey, LLP
 87 N. Raymond Ave., Ste. 300, Pasadena, CA 91103
 TEL: (818) 796-2555, FAX: (818) 796-2556
 www.SouthlandCivil.com



SOUTHLAND CIVIL ENGINEERING AND SURVEYING, LLP
 ENGINEER: LARRY J. MUIR, P.E.
 DESIGNED BY: BKL
 DRAWN BY: BKL
 CHECKED BY: LARRY J. MUIR, P.E.
 DRAWING SCALE: 1"=10'

Vesting Tentative Parcel Map NO. 78267 FOR CONDOMINIUM PURPOSES
 1101-1115 MISSION STREET
 SOUTH PASADENA, CA 91103
 CFT DEVELOPMENTS, LLC
 1683 WALNUT GROVE AVENUE
 ROSEMead, CA 91770-5111

TPM-1
 SHEET 1 OF 1 SHEETS

REVISIONS (DESIGN STAGE ONLY)
 REVISIONS (CONSTRUCTION ONLY)
 Drawing Name: 01_VTPM.dwg
 Last Edit Date: Oct 09, 2019 - 1:34pm
 Drawing Location: J:\2380-16010\PLANNING
 AutoCAD Version: AutoCAD 2016

APN: 5315-008-044
 MUIR SAMUEL J / S / S MUIR
 DOC. NO. 1297344, O.R.
 EXISTING COMMERCIAL

APN: 5315-008-032
 BERTCH ELIZABETH G
 DEED NO. 0000700579, O.R.
 EXISTING COMMERCIAL

APN: 5315-008-045, 043
 CHING PEGGY T
 DEED NO. 0000700579, O.R.
 EXISTING COMMERCIAL

APN: 5315-008-034
 MUIR SAMUEL J / S / S MUIR
 QUITCLAIM
 EXISTING COMMERCIAL

APN: 5315-008-034
 MUIR SAMUEL J / S / S MUIR
 QUITCLAIM
 EXISTING COMMERCIAL

APN: 5315-008-045, 043
 COMMERCIAL DUE DILIGENCE SERVICES
 3550 W ROBINSON STREET, 3RD FLR
 NORMAN, OKLAHOMA 73072
 (405) 378-5800

APN: 5315-008-045, 043
 CFT DEVELOPMENTS, LLC
 1683 WALNUT GROVE AVENUE
 ROSEMead, CA 91770
 (626) 372-8122

APN: 5315-008-045, 043
 MISSION BELL PROPERTIES, LLC
 1101-1115 MISSION STREET
 SOUTH PASADENA, CA 91103
 (626) 372-8122

DATE: 10/25/2017

Appendix H

GPA Consulting Memorandum





MEMORANDUM

Date: January 22, 2019
For: Tony Locacciato, Partner, Meridian Consultants
From: Christine Miller Cruie, Senior Architectural Historian, GPA Consulting
Subject: Mission Bell Mixed-Use Project, 1105-15 Mission Street, South Pasadena

We are pleased to provide you with our analysis of the Historic Resources Assessment and CEQA Impacts Analysis (ESA-PCR, July 2017, or 2017 report) submitted to the City of South Pasadena by the Project applicant. The Project encompasses 1101, 1107, and 1115 Mission Street over two parcels (5315-008-045 and 5315-008-043). It is GPA's understanding the Project includes: the partial demolition of the rear section of 1115 Mission Street, demolition of 1101 and 1107 Mission Street, the construction of a garage as an addition to 1115 Mission Street, the construction of new residential buildings on the parcels (spanning two-to-four stories in overall height), and the construction of driveways and landscaping.

Overall, the 2017 report was well researched and applied the appropriate regulations and guidelines. However, GPA identified areas that require additional clarification. The status of 1115 Mission Street as a historical resource defined by CEQA is unclear and there is conflicting information in the record. Information regarding the Project plans is insufficient to complete a thorough analysis. While the demolition plans and the preliminary rehabilitation plans for the remaining portions of 1115 Mission Street are adequate, the plans for new construction and site development are missing from the 2017 report. Finally, the results are too conclusory, both regarding the conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Standards) and regarding the analysis of indirect impacts under CEQA.

GPA offers the following comments regarding the 2017 report:

1. The status of 1115 Mission Street as an historical resource under CEQA is unclear. The 2017 report erroneously states 1115 Mission Street was not evaluated in the 2015/16 *City of South Pasadena Historic Resources Survey* (Historic Resources Group, June 2017). It was evaluated as part of the 2015/16 survey, but clarification is needed regarding the appropriate status code (see Figure 1).

Some confusion may exist over the previous status code, assigned in July 2003. Prior to the implementation in the status code change in August 2003, the 5S3 code meant "Not eligible for local listing, is eligible for special consideration in local planning." The corresponding current code would be 6L, or "Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning." It appears that the 2015/16 survey used the current

definition of 5S3, not the pre-August-2003 definition. The 2003 status code for 1115 Mission Street in the 2015/16 survey appears to be incorrect (Figure 1).

1115 Mission Street was surveyed as part of the 2015/16 survey and was assigned the status code of 5S3, or “Appears to be individually eligible for local listing or designation through survey evaluation.” However, in the 2017 report, ESA concurred with the previous designation of 6L, “Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.”

Based on a review of the existing data, GPA agrees that 6L is a most appropriate status code for 1115 Mission Street. If the City concurs with this recommendation, the information in 2015/16 survey should be revised accordingly.

South Pasadena Inventory of Cultural Resources: 2015-2016 Survey Recommendations								
Address	Street Name	Suffix	District Name	Previous Status Code	2016 Status Code	Designated	Planning Feature	Evaluation Reason
1029	Mission	St	Mission West Historic Business District	1	1	X		This property is part of a designated district in the National Register of Historic Places. Designated landmarks were not re-evaluated as part of this study.
1034	Mission	St	Mission West Historic Business District			X		This property is part of a designated district in the National Register of Historic Places. Designated landmarks were not re-evaluated as part of this study.
1040	Mission	St	Mission West Historic Business District Addition	3D	3D/3S			This property was listed in the South Pasadena City Inventory of Addresses (now referred to as the South Pasadena Inventory of Cultural Resources) prior to 2015; the previous evaluation is being carried forward. The property was re-evaluated in the 2015-2016 Citywide Survey Update. It appears individually eligible for listing in the National Register of Historic Places.
1108	Mission	St		5S3	5S3			This property was re-evaluated during the 2015-2016 survey as part of an update to the City of South Pasadena's list of potential historic resources (City Inventory of Addresses). It appears eligible for local listing.
1115	Mission	St		5S3	5S3			This property was re-evaluated during the 2015-2016 survey as part of an update to the City of South Pasadena's list of potential historic resources (City Inventory of Addresses). It appears eligible for local listing.

Figure 1: Excerpt from 2015/16 Survey.

2. If 1115 Mission Street has a status code of 6L, it is GPA's opinion that it is not automatically a historical resource for the purposes of CEQA. Historical resources include properties listed or eligible for listing in the California Register. Historical resources may also include properties listed under a local ordinance, or identified as significant in a historic resources survey. Public agencies must treat these properties as historical resources unless a preponderance of evidence demonstrates otherwise. 1115 Mission Street does not meet this minimum definition of a historical resource because the 6L status code means ineligible for local listing or designation through local government review process. Even if a property is not already listed, determined eligible, or identified as significant in a survey, it may still be considered a historical resource by the Lead Agency. Thus, it is up to the Lead Agency, in this case the City of South Pasadena, to determine if they want to take a conservative position and consider it a historical resource. That may be the prudent position given the fact that 1115 Mission Street was identified as a historical resource in the 1996 Mission Street Specific Plan. It was apparently the intent of the City at that time for the building to be treated as a historical resource for advance planning and land use management purposes.
3. The 2017 report indicates that the proposed project does not fully conform with the Standards for Rehabilitation. If the City decides to consider 1115 Mission Street as a historical resource under CEQA, GPA would argue that the proposed alterations to the building *would* meet the overall spirit of the Standards for Rehabilitation: “Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.” The City may want to consider including the mitigation measure below to ensure that the Project complies with the Standards, as the drawings are further developed.



Mitigation Measure: As the drawings evolve beyond the schematic level, compliance with the Standards shall be reviewed, monitored, and carried out to the satisfaction of the South Pasadena Cultural Heritage Commission (CHC). The permit set shall be submitted to the CHC for review and approval, prior to the issuance of building permits.

4. The Project description included in the 2017 report is not clearly defined. The report was prepared in July, and the attached plans are dated May, but only pertain to the rehabilitation of 1115 Mission Street, as opposed to the full scope of the Project. The Project entitlement plans dated September 2018 include the development of the multiple parcels, inclusive of the rehabilitation of 1115 Mission Street, as well as the construction of new buildings that range in two to four stories in height. GPA recommends the inclusion of appropriate pages from the September 2018 entitlement plans as an attachment to clearly illustrate the undertaking as a whole.
5. While we concur that the direct impacts on 1115 Mission Street would be less than significant after the proposed Mitigation Measure, CEQA also requires the analysis of indirect impacts. It is unclear how the 2017 report could conclude that the Project would not have a significant adverse impact on historical resources in the vicinity without the benefit of the 2018 plans.
6. In order to fully assess the potential for indirect impacts under CEQA, two additional figures would be helpful. First, a Project Location Map would help orient the reader. Second, a Project Study Area Map is necessary to assess the potential for indirect impacts under CEQA. The map should include: 1) the physical footprint of the Project, 2) the boundary for the Study Area, and 3) all previously identified historical resources. In addition, photographs to and from the Project and the historical resources within the Project Study Area would better illustrate the analysis.
7. In addition, the CEQA analysis for indirect impacts should have a higher level of detail with an analysis of potential impacts for each historical resource. However, it is not necessary to include an analysis for potential impacts for each district contributor, especially when the contributors are separated from the Project by intervening buildings. The impact analysis should include the historic district as a whole and any individually eligible or listed historical resources. Furthermore, it would be appropriate to refine the Project Study Area to eliminate other historical resources, as identified in the 2017 report, that are separated from the Project by intervening buildings, as there would be no potential for impact. Thus, only the historical resources in the immediate vicinity would require more analysis before concluding that Project would not have a significant adverse impact.

Thank you again for this opportunity to provide a review. If you have any additional questions, please let me know. I can be reached at 310-792-2690 or at christine@gpaconsulting-us.com.

Appendix I

DPR Forms



Primary #
HRI #
Trinomial
NRHP Status Code 5S3

PRIMARY RECORD

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

Resource Name or #: (Assigned by recorder) 1115 MISSION STREET

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted

a. County Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 1115 MISSION STREET City South Pasadena Zip 91030

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ mN

e. Other Locational Data (e.g. Parcel #, directions to resource, elevation, etc., as appropriate)

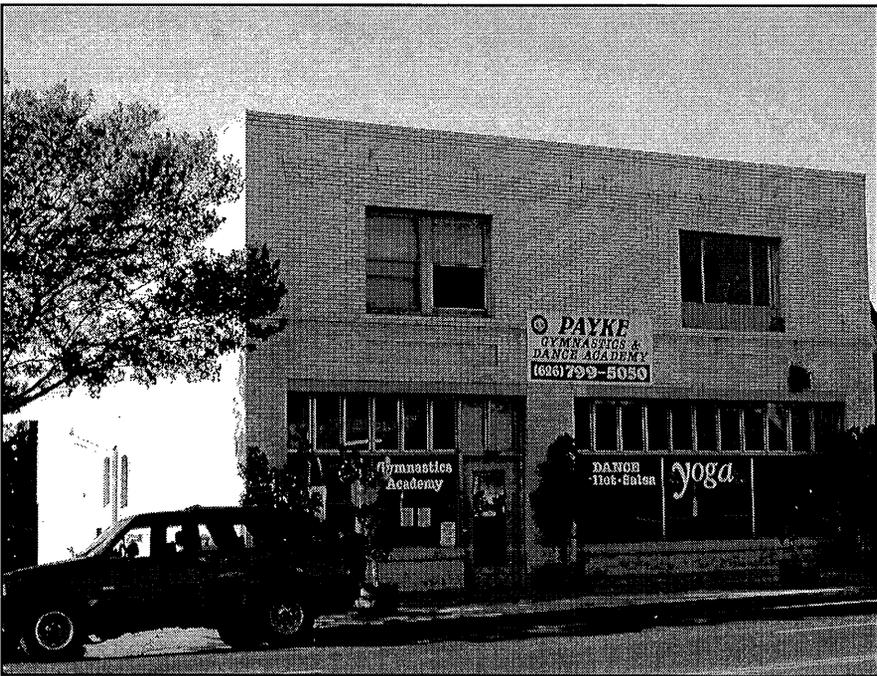
Parcel No. 5315-008-043

P3 Description: (Describe resources and its major elements. Include design, materials, condition, alterations, size, and boundaries)

This two-story commercial block is located on the south side of Mission between Fairview and Fremont. The brick vernacular building is capped by a flat roof with a change in bonding pattern near the cornice. The two second-story windows consist of a pair of double-hung sash and an altered picture window. On the Mission elevation the first story consists primarily of a glazed storefront with minimal detail. The entrance is located off center between flanking plate glass windows with upper bands of divided sash and brick sills.

P3b. Resource Attributes: (List attributes and codes) HP 6. 1-3 story commercial building

P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b Description of Photo:
(View, date, accession #)

P6. Date Constructed/Age and Sources:
 Prehistoric Historic Both
1921

P7. Owner Address:
Peggy T. Cheng
899 El Centro St
South Pasadena CA 91030

P8. Recorded by:
(Name, affiliation, and address)
J. Ostashay, P. Moruzzi
PCR Services Corp.
233 Wilshire Bl., Ste. 130
Santa Monica, CA 90401

P9. Date Recorded: 6/9/2003

P10. Survey Type: (Describe)
Intensive Level Survey

P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Leslie Heumann, City of South Pasadena, Cultural Heritage Inventory - Historic Resources Survey, 1994

Attachments: NONE Continuation Sheet District Record Rock Art Record
 Location Map Building, Structure, and Object Record Linear Feature Record Artifact Record
 Sketch Map Archaeological Record Milling Station Record Photograph Record
 Other: (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

NRHP Status Code: 5S3

Page 2 of 2

Resource Name or # (Assigned by recorder) 1115 MISSION STREET

B1. Historic Name: *Whistle Bottling Company*

B2. Common Name *1115 Mission Street*

B3. Original Use: *Commercial*

B4. Present Use: *Commercial*

B5. Architectural Style: *Vernacular Masonry*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed in 1921 for James McCluer, cost \$9,000.

1933: Repairs for Mrs. McCluer, cost \$1,400.

1954: Parapet wall correction for E.M. Turner, cost \$250.

1960: Cover walls on storefront with plywood for A.E. Turner (Superior Shirt Laundry), cost \$100.

1992: Seismic upgrading for Panda Management Company, cost \$40,000.

B7. Moved? No Yes Unknown Date:

Original Location:

B8. Related Features:

B9a. Architect: *Unknown*

B9b. Builder: *D. Saylor*

B10. Significance: Theme: *Commercial Architecture*

Area *South Pasadena*

Period of Significance: *1921*

Property Type *Commercial*

Applicable Criteria *A, B, C*

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Building permits show that store building was constructed in 1921 for James McCluer by builder D. Saylor at an approximate cost of \$9,000. In 1933, repairs were undertaken for Mrs. McCluer at a const of \$1,400. E.M. Turner paid \$250 for parapet wall correction in 1954. A.E. Turner covered the walls and ceiling of the storefront with plywood for the Superior Shirt Laundry at a cost of \$100. In 1992, Panda Management Company paid approximately \$40,000 for seismic upgrading. The 1926 city directory indicates that the Whistle Bottling Company occupied the building, appearing again in the 1930 directory. From 1934 until at least 1938, the building shared tenant, Hub Roof Company and DeFord Laundry. The 1952-53 directory lists only the Superior Shirt Laundry at the address. Current research did not uncover any evidence that the history of the property is associated with significant events or persons important to the city, region, state, or nation and no important architect, designer, or builder was identified with the resource. Although the vernacular masonry building incorporates elements of the style (brick construction, flat roof, parapet, fenestration), its design and construction method, typical of vernacular masonry commercial buildings of similar vintage in South Pasadena, are neither distinctive nor representative enough to render the bulding an important example of properties of its type. Therefore, the resource does not appear to be eligible for listing either in the National Register or California Register under any criteria. Further, this vernacular masonry commercial building is not eligible for separate listing or designation under the City of South Pasadena's Landmark ordinance because it is reflective of a relatively common architectural style and building type in the city. However, as a relatively intact example of the style, the resource is eligible for special consideration in local planning.

B11. Additional Resource Attributes: (List attributes and codes) *HP 6. 1-3 story commercial building*

B12. References:

Sanborn Maps; Tax Assessor Records; Building Permits; Tract Maps; City Directories; J. Apostol, South Pasadena: A Centennial History 1888-1988; Gebhard & Winter. Architecture in Los Angeles; South Pasadena Public Library Special History Collection.

B13. Remarks:

B14. Evaluator: *J. Ostashay, P. Moruzzi*
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PCR Services Corp.

Date of Evaluation:

6/9/2003

(This space reserved for official comments.)

