

APPENDIX M
PLAN SET, 3D RENDERINGS, SHADE & SHADOW ANALYSIS
AND VIEW SIMULATIONS

**M1
PLAN SET**

TRAMMELL CROW RESIDENTIAL ALEXAN MONROVIA

03.05.2019

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ARCHITECTURAL

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LOOKING SOUTHWEST AT LEASING AREA / ROOF DECK AMENITY

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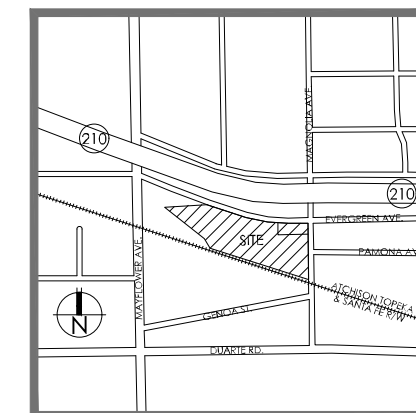
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VICINITY MAP

N.T.S.

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TRAMMELL CROW RESIDENTIAL

TRAMMELL CROW RESIDENTIAL
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DATE: 03-05-19
JOB NO.: 2016-252

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CS-1



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RESIDENTIAL BUILDING: CONSTRUCTION TYPE: TYPE III-A

PARKING STRUCTURE: CONSTRUCTION TYPE: TYPE I-A

ALLOWABLE BUILDING HEIGHT AND NUMBER OF STORIES

Table with columns: BUILDING TYPE, CONSTRUCTION TYPE, OCCUPANCY CLASSIFICATION, AUTOMATIC SPRINKLER SYSTEM, ALLOWABLE BUILDING HEIGHT PER TABLE 504.3, ALLOWABLE NUMBER OF STORIES PER TABLE 504.4, ALLOWABLE BUILDING HEIGHT PER TABLE 504.3, ALLOWABLE NUMBER OF STORIES PER TABLE 504.4. Includes sprinkler classifications (NS, S, S13R, S13D).

CODE SUMMARY

Table with columns: CODE, ADOPTED EDITION. Lists codes for Building, Fire, Energy, Mechanical, Plumbing, and Electrical.

NOTE: ALL THE RESIDENTIAL UNITS SHOWN IN THIS DEVELOPMENT PLAN ARE FOR LEASE.

Table with columns: (C.A.V.) CLEAN AIR VEHICLES STALLS REQUIRED (9'-0" x 19') - NON RESIDENTIAL, QUAN., RATIO, REQ'D. Rows for Leasing and Paid Parking.

PARKING SUMMARY

Table showing City Required Residential Parking (9'-0" x 19'-0") with columns: NUMBER OF UNITS, MINIMUM PARKING RATIO, STALLS REQUIRED. Includes Residential Units (768), Guest Parking (647), and City Required Non-Residential Parking (109).

Table titled 'TOTAL PARKING REQUIRED BY BEDROOM COUNT' with columns: UNIT TYPE, NUMBER OF BEDROOMS, NUMBER OF UNITS, TOTAL NUMBER PARKING REQ'D. Rows for Studio, 1 Bedroom, 2 Bedroom, 3 Bedroom.

Table titled 'ACTUAL PARKING COUNT BASED ON ADJUSTED RESIDENTIAL COUNT TO PROVIDE PAID PARKING SPACES' with columns: CATEGORY, QUANTITY. Includes Residential Spaces (613), Guest Spaces (100), Live Work Parking (9), Leasing Spaces (12), Paid Public Stalls (34).

Table titled '(H.C.) ACCESSIBLE STALLS REQUIRED (9' x 19')' with columns: CATEGORY, QTY., FACTOR, REQ'D. Includes Residents (13), Guest (5), Live Work Parking (1), Leasing (1), Paid Public Stalls (2).

Table titled '(E.V.C.S.) ELECTRIC VEHICLE STALLS REQUIRED (9' x 19')' with columns: CATEGORY, QTY., RATIO, REQ'D. Includes Residents (19), Guest (3), Live Work Parking (1), Leasing (0), Paid Public Stalls (0).

Table titled '(E.V.C.S.) ELECTRIC VEHICLE ACCESSIBLE STALLS REQUIRED (9' x 19')' with columns: CATEGORY, QTY., RATIO, REQ'D. Includes Residents (1), Guest (1), Live Work Parking (0), Leasing (0), Retail (0).

Table titled 'PARKING PROVIDED' with columns: LOCATION, UNITS PER FVFI, LEASING STALLS, LIVE WORK STALLS, PAID STALLS, RESIDENTIAL STALLS, GUEST STALLS, TOTAL STALLS. Rows for On Grade, Level 0-7, and Total Stalls.

1) REQUIRED EVCS STALLS ARE INCLUDED WITHIN THE REQUIRED CITY PARKING COUNT. 2) PROVIDED AND FUTURE EVCS STALLS QUALIFY AS DESIGNATED PARKING FOR CLEAN AIR VEHICLES.

ALEXAN MONROVIA MONROVIA, CA.

PROJECT DESCRIPTION

A 436 UNIT FOR RENT APARTMENT PROJECT CONSISTING OF 5-STORY TYPE III-A RESIDENTIAL BUILDING SURROUNDING A 7-STORY TYPE I-A PARKING STRUCTURE

GROSS LAND AREA: 6.77 ACRES
TOTAL UNITS: 436 UNITS
DENSITY: 64 DU/AC

Table with columns: PARCEL #, ADDRESS, A.P.N., EXIST. ZONING & GENERAL PLAN DESIGNATION, PROPOSED ZONING & GENERAL PLAN DESIGNATION. Lists parcels 5 through 30.

RESIDENTIAL BUILDING SUMMARY

Table with columns: UNITS, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, %, TOTAL. Rows for Studios, A1-A3, Live Work, and 1-3 BR'S.

UNIT SUMMARY

Table with columns: UNIT TYPE, UNIT NET SQ. FT., NUMBER OF UNITS, TOTAL NET SQ. FT., %, UNIT %. Rows for S1, A1-A3, Live Work, B1-B3, C1, and Total.

BIKE STORAGE PER MONROVIA BICYCLE MASTER PLAN

Table with columns: CATEGORY, SQ. FT., FACTOR, REQ'D, PROVIDED. Includes Non-Residential Bike Storage (Short Term) and Residential Bike Storage (Short and Long Term).

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BUILDING TABULATIONS

TCR TRAMMELL CROW RESIDENTIAL

TRAMMELL CROW RESIDENTIAL 5790 FLEET STREET SUITE 140, CARLSBAD CA 92008 (858) 531-3905

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A-1.1



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LOOKING NORTHWEST ON MAGNOLIA AVE.



LOOKING SOUTHWEST ON MAGNOLIA AVE.



LOOKING WEST AT RESIDENT ENTRY



LOOKING WEST AT PROJECT ENTRY

A-1.2.1

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PERSPECTIVE RENDERINGS

DATE: 03-05-19
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LOOKING NORTHWEST ON MAGNOLIA AVE. NEAR SOUTHEAST CORNER



LOOKING NORTHWEST ON MAGNOLIA AVE. NEAR NORTHEAST CORNER



LOOKING SOUTHEAST AT MONROVIA CANYON COURT



LOOKING SOUTHEAST AT AZUSA CANYON COURT



LOOKING WEST AT PROJECT ENTRY

A-1.2.2

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PERSPECTIVE VIGNETTES

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VIEW 1 - EXISTING BUILDINGS



VIEW 2 - EXISTING BUILDINGS



VIEW 3 - EXISTING BUILDINGS



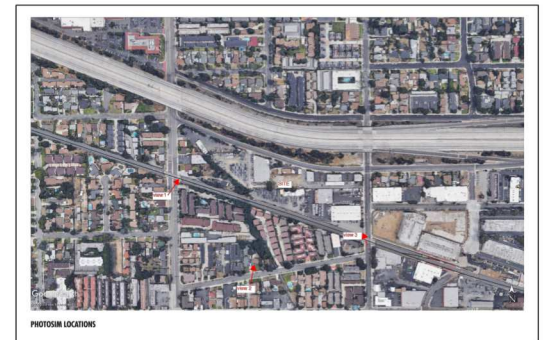
VIEW 1 - EXISTING BUILDINGS WITH PROPOSED BUILDING



VIEW 2 - EXISTING BUILDINGS WITH PROPOSED BUILDING



VIEW 3 - EXISTING BUILDINGS WITH PROPOSED BUILDING



A-1.2.3

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VIEW SIMULATIONS

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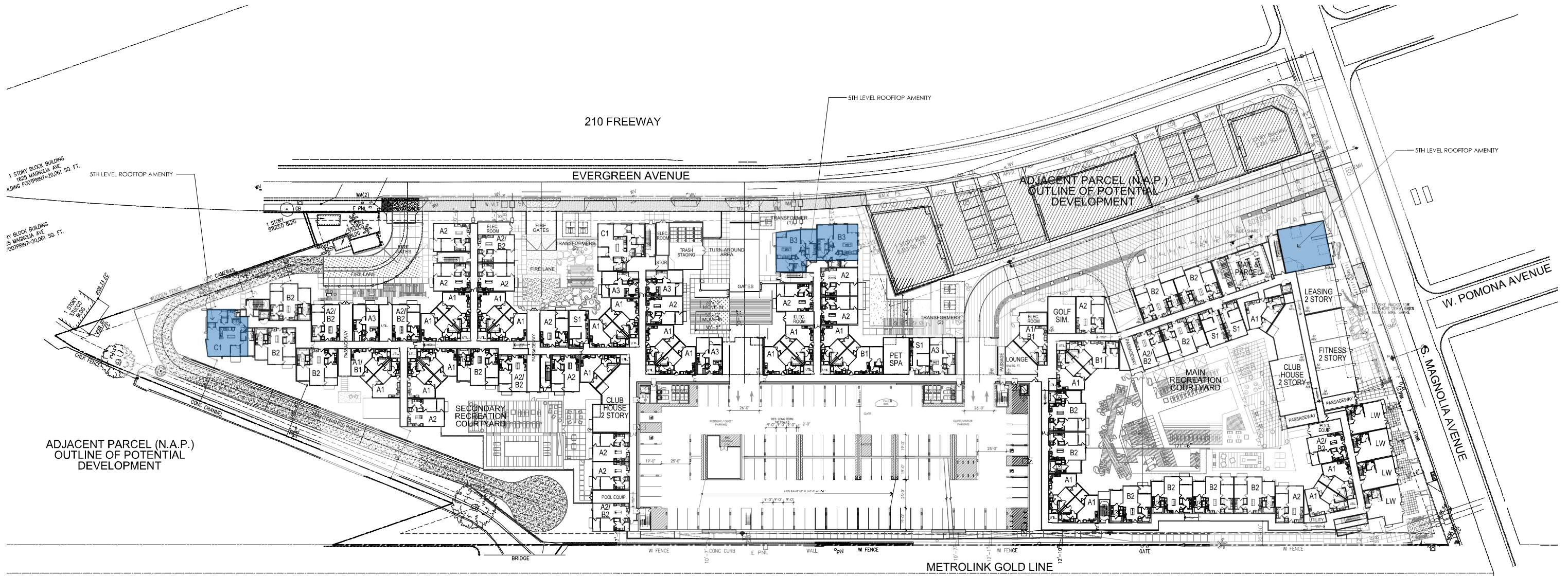
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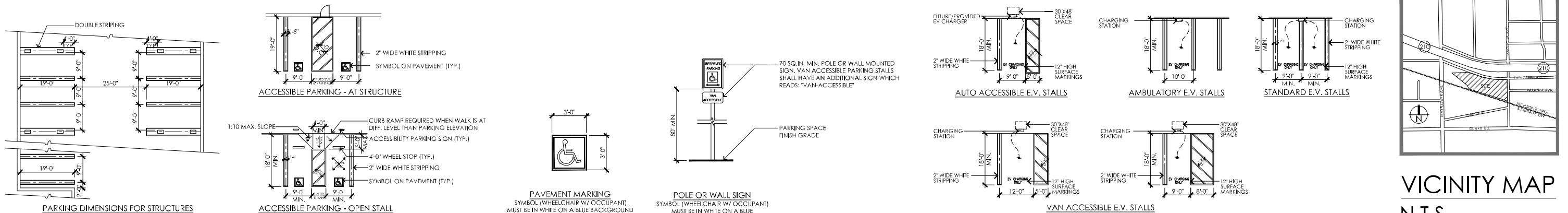


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- NOTES:**
- PLEASE SEE LANDSCAPE PLANS FOR PUBLIC OPEN SPACE LOCATIONS.
 - PLEASE SEE CIVIL PLANS FOR MORE INFORMATION.

*SEE CIVIL PLANS FOR ADDITIONAL GRADING INFO.

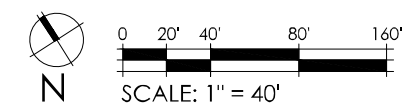


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CONCEPTUAL SITE PLAN



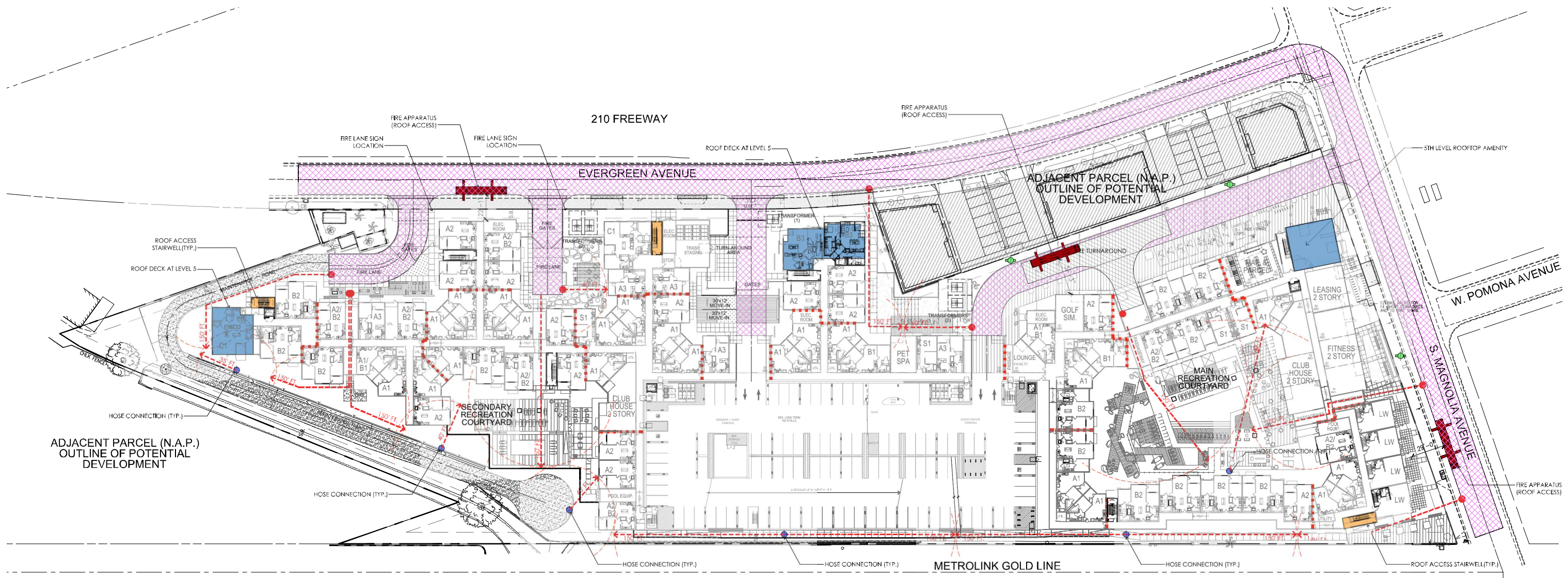
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NOTES:

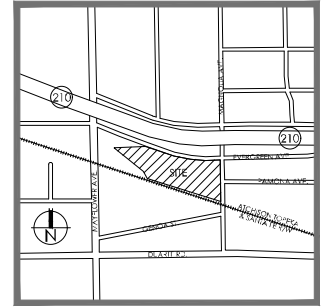
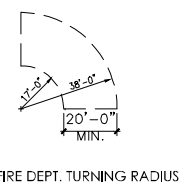
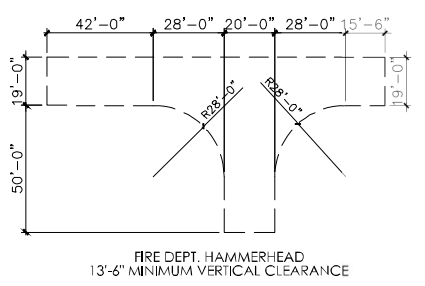
1. AN ON-SITE ACCESS ROAD SHALL BE PROVIDED FOR THE WEST SIDE OF THE PROJECT WITH A MINIMUM 26 FEET IN WIDTH AND PROVIDED WITH A MINIMUM 13 FEET 6 INCH HEIGHT CLEARANCE.
2. FIRE LANE MARKING AND SIGNAGE SHALL BE PROVIDED AS REQUIRED BY M.F.D.
3. FIRE HYDRANT SHALL BE PROVIDED ALONG ALL PUBLIC AND ON-SITE ACCESS ROADS. HYDRANT SHALL BE WITHIN 120 FEET OF THE STRUCTURE AND SPACED AT NO MORE THAN 200 FEET. THE MINIMUM FIRE FLOW SHALL BE 2,000 GPM AT 20 PSI.
4. A CLASS 1 STANDPIPE SYSTEM SHALL BE PROVIDED IN ALL STAIRWELLS ON ALL LEVELS INCLUDING THE ROOF AS SET FORTH BY BUILDING CODE AND FIRE CODE 905. STANDPIPES LOCATED BETWEEN STAIRWELLS MAY ALSO BE REQUIRED.
5. AN AUTOMATIC FIRE SPRINKLER SYSTEM AND FIRE ALARM AS SET FORTH BY FIRE CODE 903 AND 907.
6. DWELLING UNITS AND COMMON AREAS SHALL BE PROVIDED WITH VISIBLE ALARM NOTIFICATION APPLIANCES.
7. SMOKE ALARMS SHALL BE PROVIDED IN EACH ROOM FOR SLEEPING PURPOSES AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA.
8. CARBON MONOXIDE ALARMS SHALL BE PROVIDED EITHER WITHIN ALL SLEEPING UNITS OR ELSE THE BUILDING SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM SYSTEM THAT PROTECTS ALL COMMON AREAS.
9. A MINIMUM OF ONE RATED STAIRWELL SHALL EXTEND TO THE ROOF FOR EACH BUILDING.
10. ALL RATED EXIT STAIRWELLS SHALL HAVE KEYPED EXTERIOR DOORS ON THE GROUND LEVEL. KNOX BOXES SHALL BE PROVIDED ADJACENT TO ALL EXIT STAIRWELL EXTERIOR DOORS AT APPROVED LOCATIONS. A KNOX BOX SHALL ALSO BE PROVIDED ADJACENT TO THE MAIN ENTRANCE OF ALL BUILDINGS AT AN APPROVED LOCATION.
11. ALL BUILDINGS SHALL HAVE A MINIMUM OF ONE ELEVATOR CAPABLE OF ACCOMMODATING GENERAL STRETCHER DIMENSIONS.
12. AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED ON ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 6-INCH HIGH BY 3/4-INCH STROKE AND BE A CONTRASTING BACKGROUND.
13. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED PER CFC.
14. AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM SHALL BE PROVIDED.
15. A MINIMUM OF ONE STANDPIPE SYSTEM FOR USE DURING CONSTRUCTION SHALL BE PROVIDED. SUCH STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.

RESIDENTIAL BUILDING - 5 STORIES
 OCCUPANCY: R-2
 CONSTRUCTION: TYPE III-A
 RESIDENTIAL BUILDING AREA: 522,914 SQ. FT.

PARKING STRUCTURE - 7 LEVELS
 OCCUPANCY: S-2
 CONSTRUCTION: TYPE I-A
 PARKING STRUCTURE AREA: 292,312 SQ. FT.

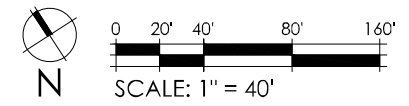
LEGEND

- FIRE ACCESS LANE (26' WIDE)
- ROOF DECK (@ LEVEL 5)
- ROOF ACCESS STAIRWELL
- FIRE SEPERATION WALL
- FIRE APPARATUS
- CLASS 1 STANDPIPE
- PROPOSED FIRE HYDRANT REFER TO CIVIL
- 150 FT. HOSE PULL
- FIRE DEPT. 'FIRE LANE' SIGNAGE (TYP.)



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FIRE ACCESS PLAN



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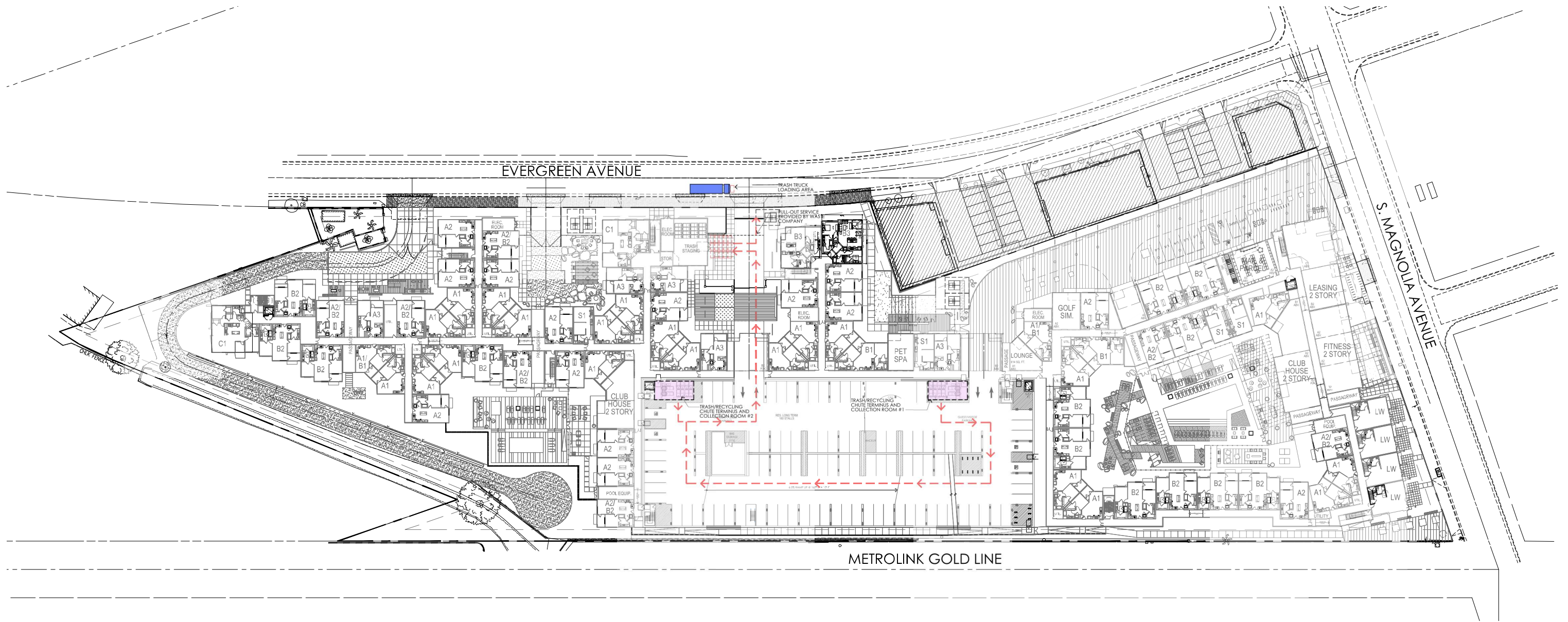
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TRASH NARRATIVE

Trash Truck Routing

Trucks will park at the building's entry along Evergreen Ave. The Waste company will pull out the bins from the trash staging area and move them to the trash loading area to commence operations (1000 ft. max).

Trash Rooms

Solid Waste:

- A min. total of twelve (12) 3-cu.yard trash bins are anticipated to be on site at all times for twice a week pick-up schedule.
 - Trash bins within each trash room: Trash Room #1 will have six (6) 3-cu.yard trash bins; Trash Room #2 will have six (6) 3-cu.yard trash bins.

Recyclable:

- A min. total of four (4) 3-cu.yard recycle bins are anticipated to be on site at all times for twice a week pick-up schedule.
 - Recycle bins each within trash room: Trash Room #1 will have two (2) 3-cu.yard trash bins; Trash Room #2 will have two (2) 3-cu.yard trash bins.

Dimensions for Trash Room #1 are +/- 15'-10" x 27'-5" (434 s.f.); Dimensions for Trash Room #2 are +/- 15'-10" x 27'-5" (434 s.f.).

Collection will be via recyclable and compacted solid waste trash chutes located within two separate enclosures located in the parking structure at each level. The two trash termination rooms will provide for a total number of twelve (12) 3-cu.yd. solid waste trash bins, four (4) 3-cu. yd. recycling bins.

Tenants will not access the trash termination rooms directly, but through trash-chute rooms located at every level of the building off the residential corridors.

The trash chutes will contain a mechanism that will allow complete shut-off in order to remove/replace the bins as they require emptying and limit access to all other floors when any one chute door is opened. A porter will be required to monitor the trash levels throughout the day as a part of daily duties. A vehicle appropriate for towing trash bins will be part of contracting with the service provider.

Satellite trash rooms for Residents will be monitored throughout the day as part of Property Managements duties and brought to the trash rooms located within the parking structure when full.

Staging Area

The Staging Area is where the collection of all bins will take place and where the hauler (trash truck) will pick-up the bins.

Maintenance of Trash Rooms

The maintenance of the trash rooms will be monitored and managed by Property Management.

Roll Out Service and Pick-up

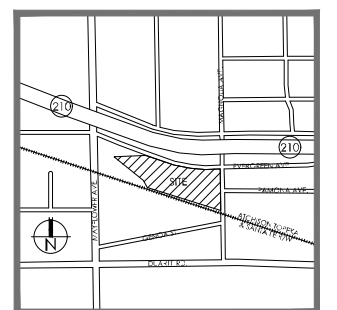
Trash collection bins will be moved from the two trash rooms at Level 1 (parking structure) with an appropriate retrieval vehicle (stinger-truck). The property owner will contract for the property management company to provide on-site trash management to ensure that full bins are replaced with empty ones. A

Service Provider will be contracted by the property owner to empty the bins as necessary per schedule.

The rental/ownership of the bins and the trash service for the tenants will be paid for by the building owner. The Service Provider will be contracted to provide stinger-truck service for conveyance of bins to the staging area and collection of bins from the staging area.

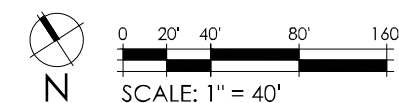
WASTE MANAGEMENT TRASH GENERATION TABULATION				
PER ATHENS WASTE MANAGEMENT CRITERIA				
UNITS	LOAD FACTOR: 1 BINS/9 DU	COMPACT FACTOR: 1 COMPACTED BIN PER 3 BIN	FREQUENCY OF PICK-UP PER WEEK	TOTAL BINS
436	48.44	16.15	2	8 MIN.

LEGEND



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WASTE MANAGEMENT PLAN



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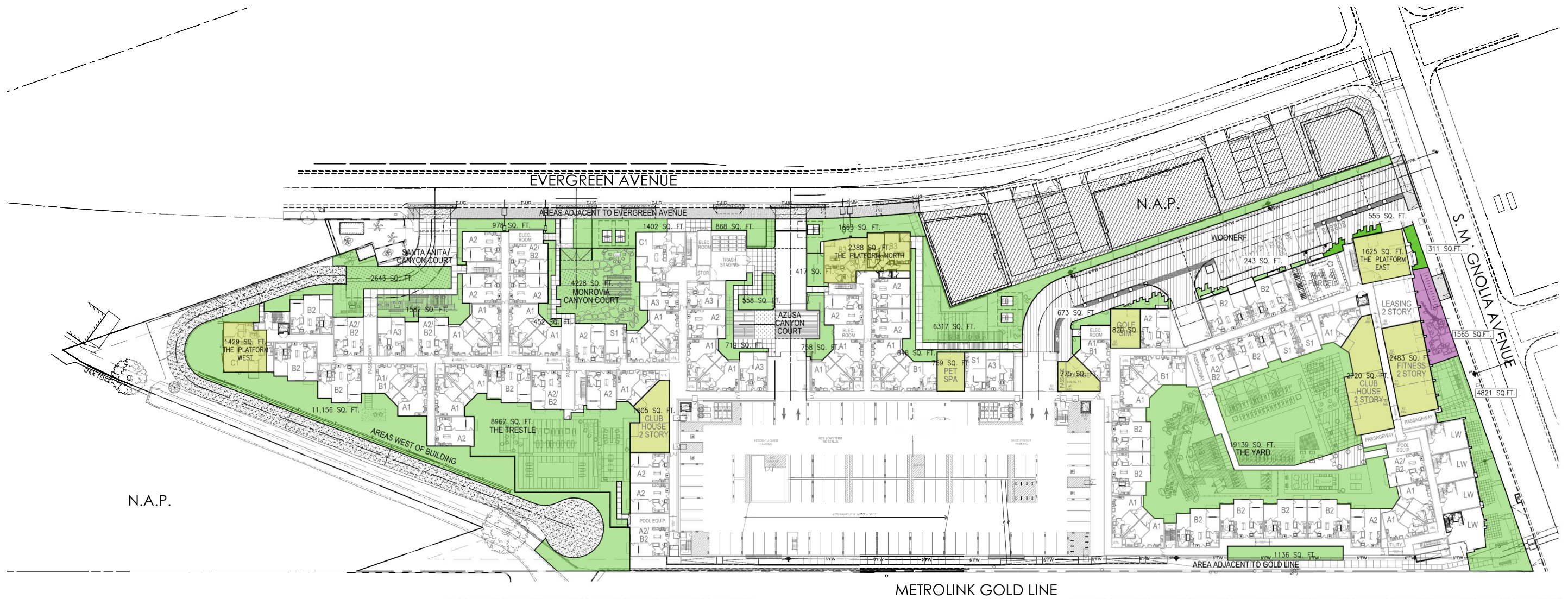
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INTERIOR RECREATIONAL AMENITIES		
LOCATIONS	BASE UNIT	S.F.
FITNESS CENTER	A2, A2, B2	2,483
CLUB HOUSE AT MAIN RECREATION AREA	A1, B1, A2, B2	2,720
GOLF SIMULATOR	A2	820
RESIDENT LOUNGE	A1	775
PET SPA	A3	759
CLUB HOUSE AT SECONDARY RECREATION AREA	A1, A2	1,605
TOTAL OPEN SPACE PROVIDED		9,162

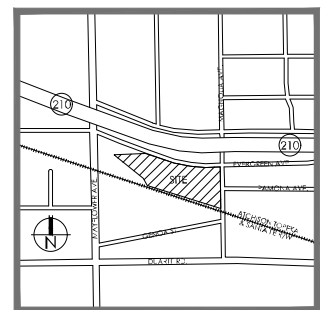
OPEN SPACE SUMMARY	
LOCATIONS	S.F.
THE YARD	19,139
THE TRESTLE	8,967
AZUSA CANYON COURT	2,452
MONROVIA CANYON COURT - MOTOR COURT	4,680
SANTA ANITA CANYON COURT	4,225
THE JUNCTION - AREAS ALONG WOONERF ENTRY DRIVE	8,081
THE TERMINAL - AREA AT ENTRY LOBBY	555
AREAS ALONG EVERGREEN AVE.	9,136
URBAN EDGE - AREAS ALONG MAGNOLIA AVE. (EXCLUDES PUBLIC SPACE)	4,821
AREAS WEST OF BUILDING	11,156
THE PLATFORM WEST - ROOF DECK	1,429
THE PLATFORM NORTH - ROOF DECK	2,388
THE PLATFORM EAST - ROOF DECK	1,625
AREA ADJACENT TO GOLD LINE	1,136
TOTAL OPEN SPACE PROVIDED	79,790

PRIVATE OPEN SPACE SUMMARY			
UNIT	NUMBER OF UNITS	PATIO/BALCONY S.F.	TOTAL S.F.
S1	20	0	0
A1	109	62	6,758
A2	107	72	7,704
A3	34	65	2,210
L/W	4	0	0
B1	25	69	1,725
B2	114	72	8,208
B3	8	65	520
C1	15	76	1,140
TOTAL	436	481	28,265

PUBLIC OPEN SPACE SUMMARY	
LOCATIONS	S.F.
PLAZA AT S. MAGNOLIA AVE.	1,565
TOTAL PUBLIC OPEN SPACE PROVIDED	1,565

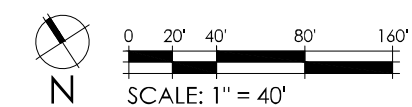
LEGEND

- AT GRADE OPEN SPACE
- ROOF DECK/ INTERIOR OPEN SPACE
- PUBLIC OPEN SPACE



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OPEN SPACE PLAN



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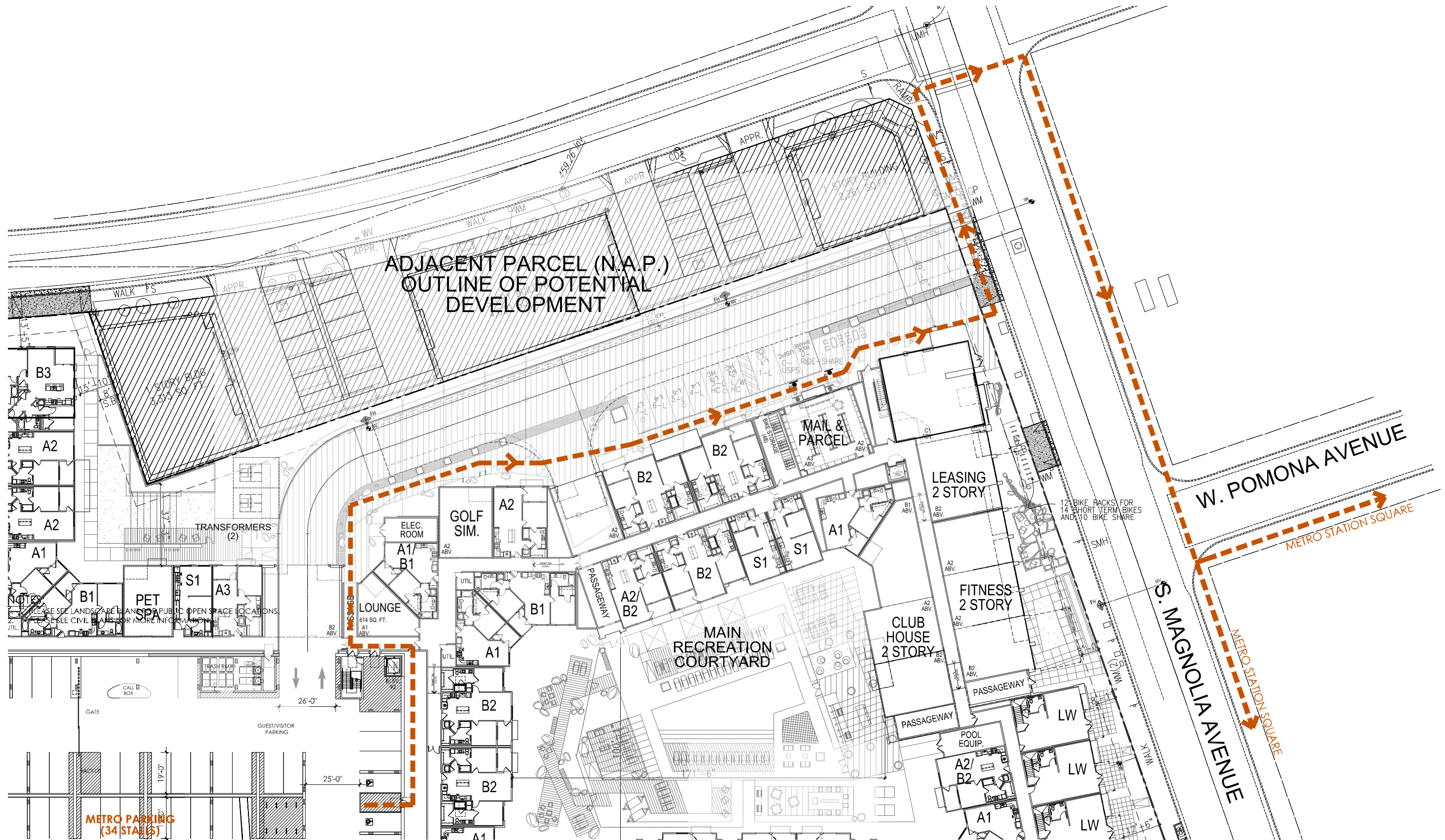
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A-1.6

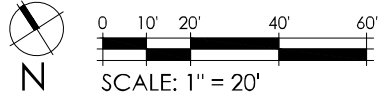


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METRO STATION SQUARE PATH

A-1.7



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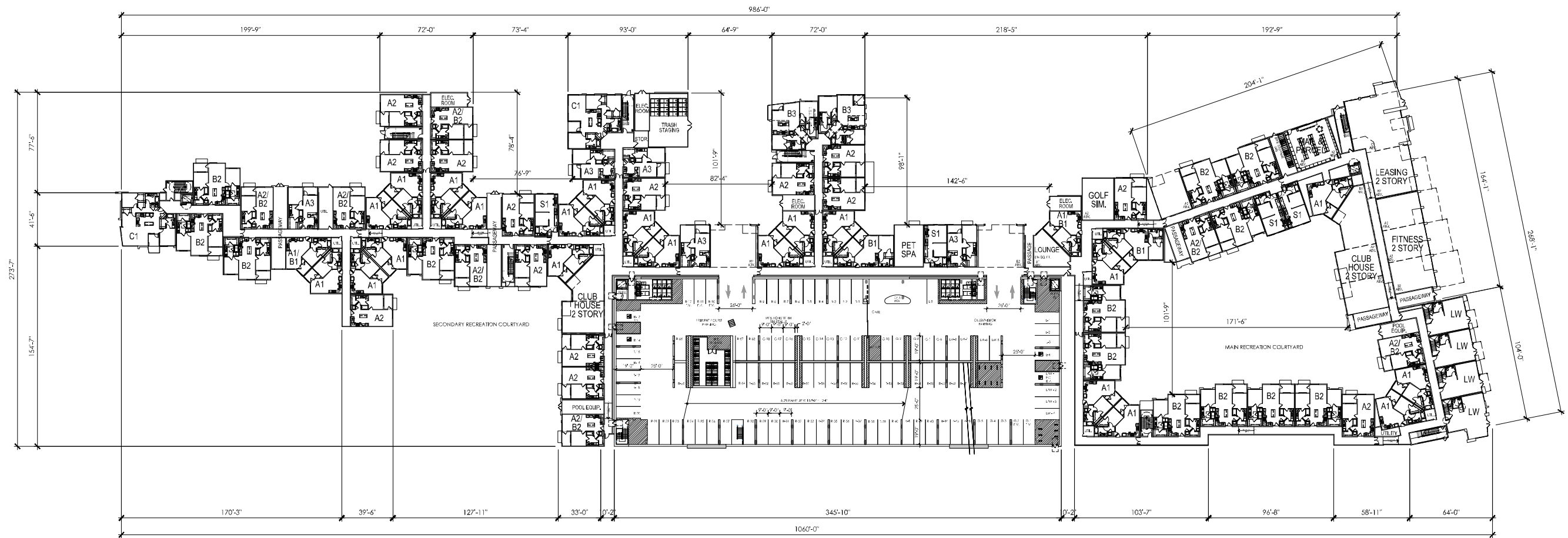
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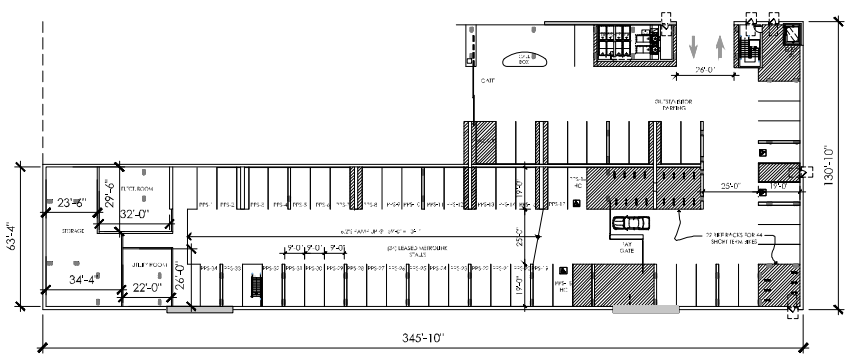
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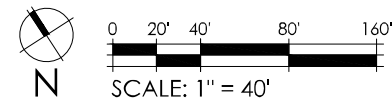


LEVEL 1



LEVEL 0

BUILDING PLAN - LEVELS 1 AND 0 A-2.1



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JOB NO.: 2016-252

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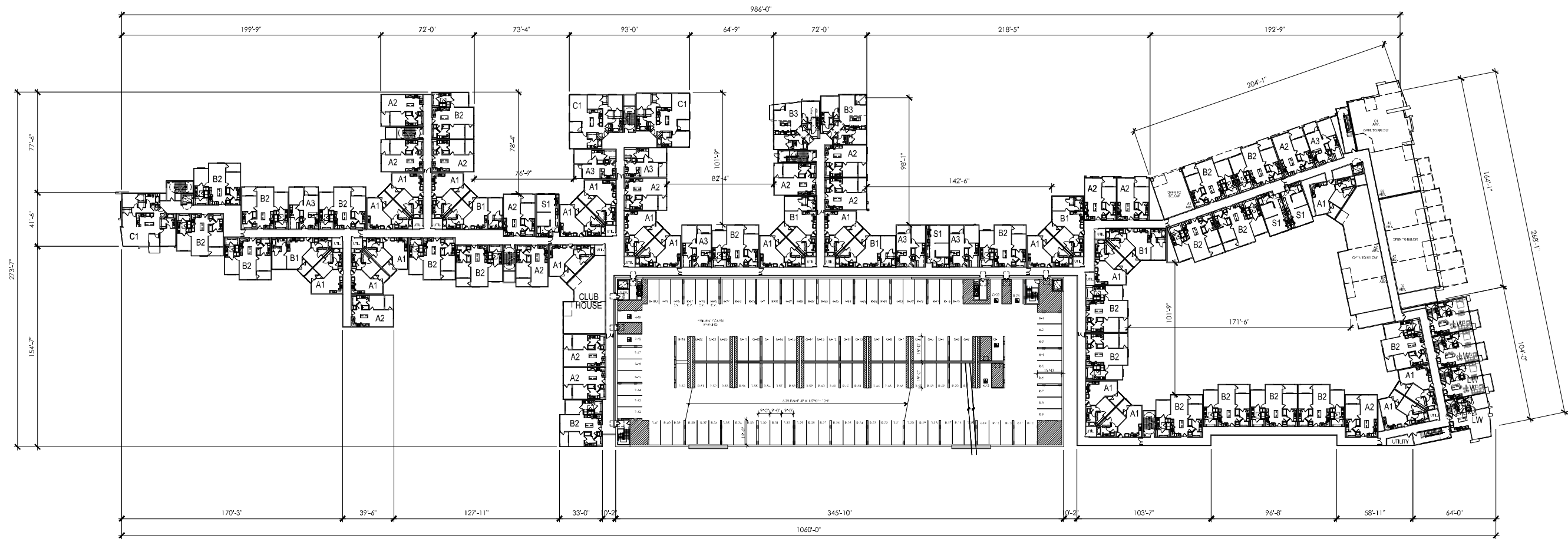
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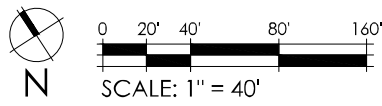


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A-2.2



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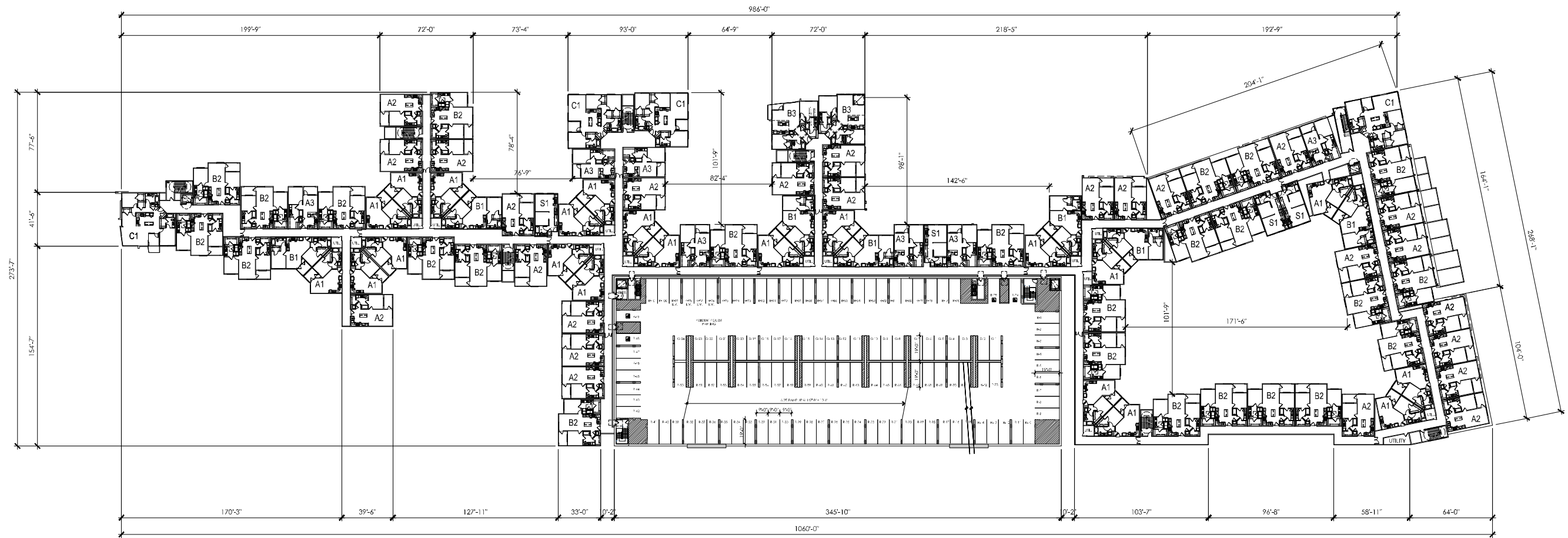
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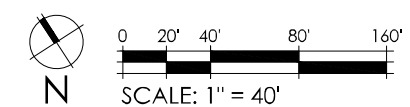
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BUILDING PLAN - LEVEL 3



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A-2.3

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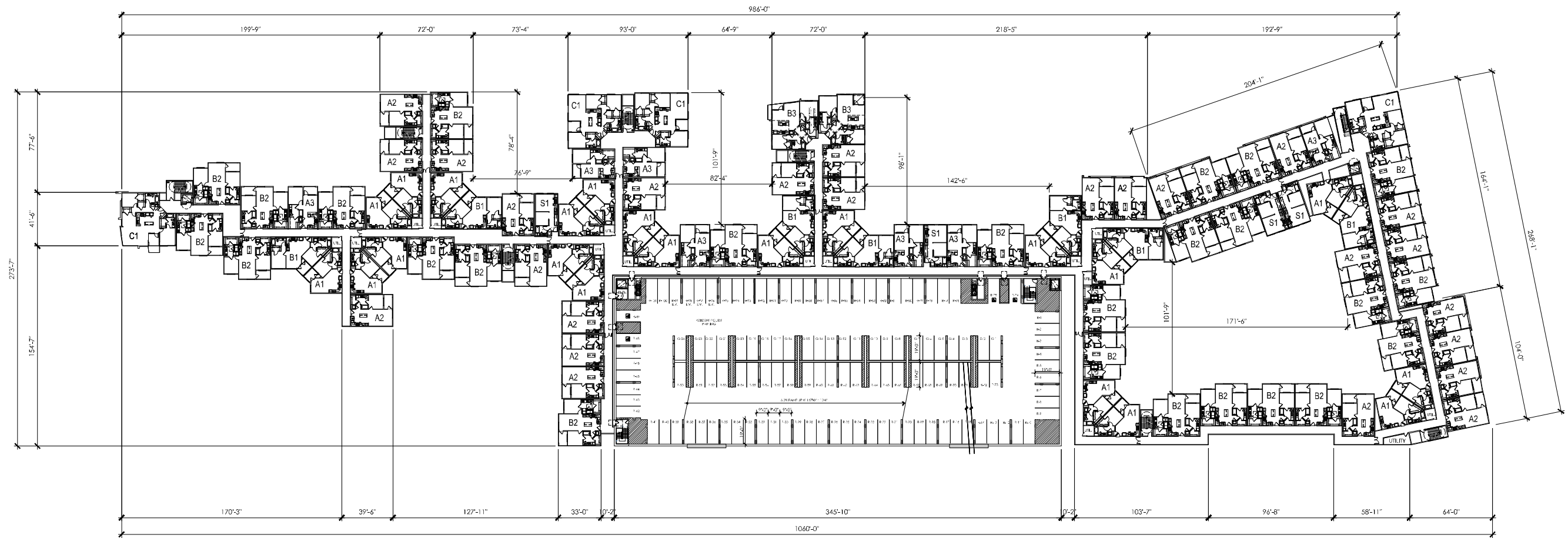
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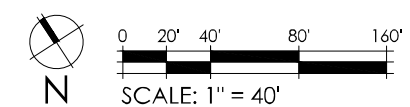
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BUILDING PLAN - LEVEL 4



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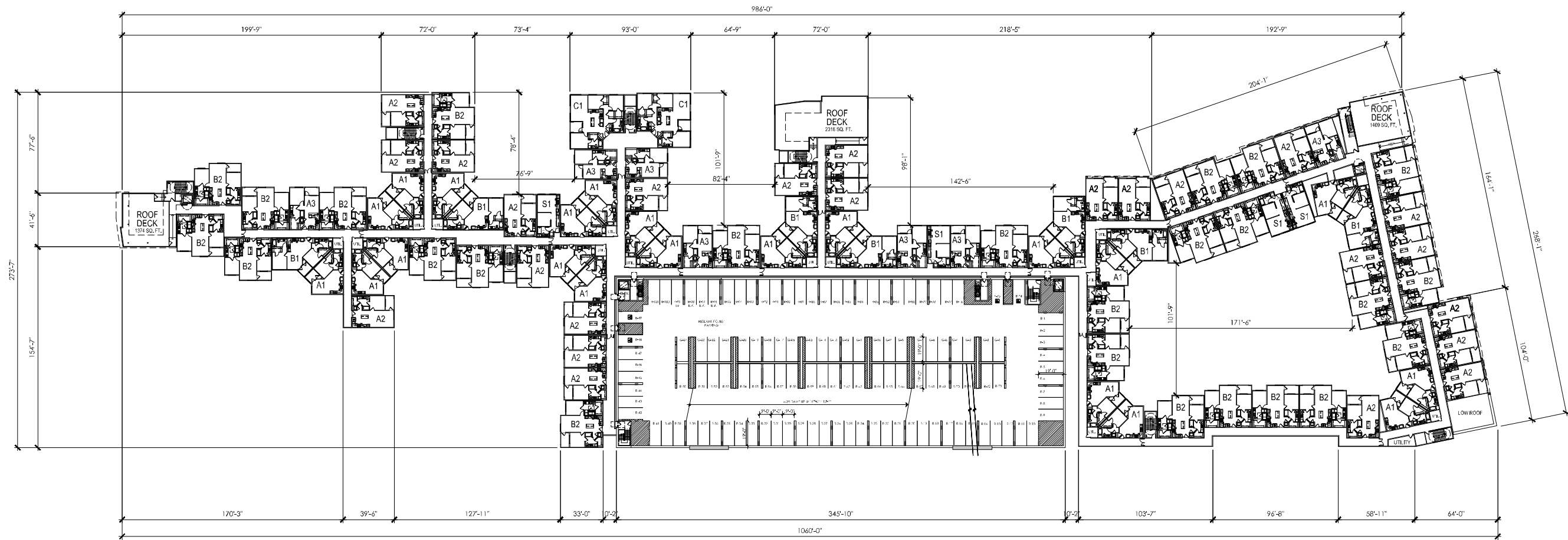
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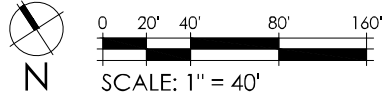


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BUILDING PLAN - LEVEL 5

A-2.5



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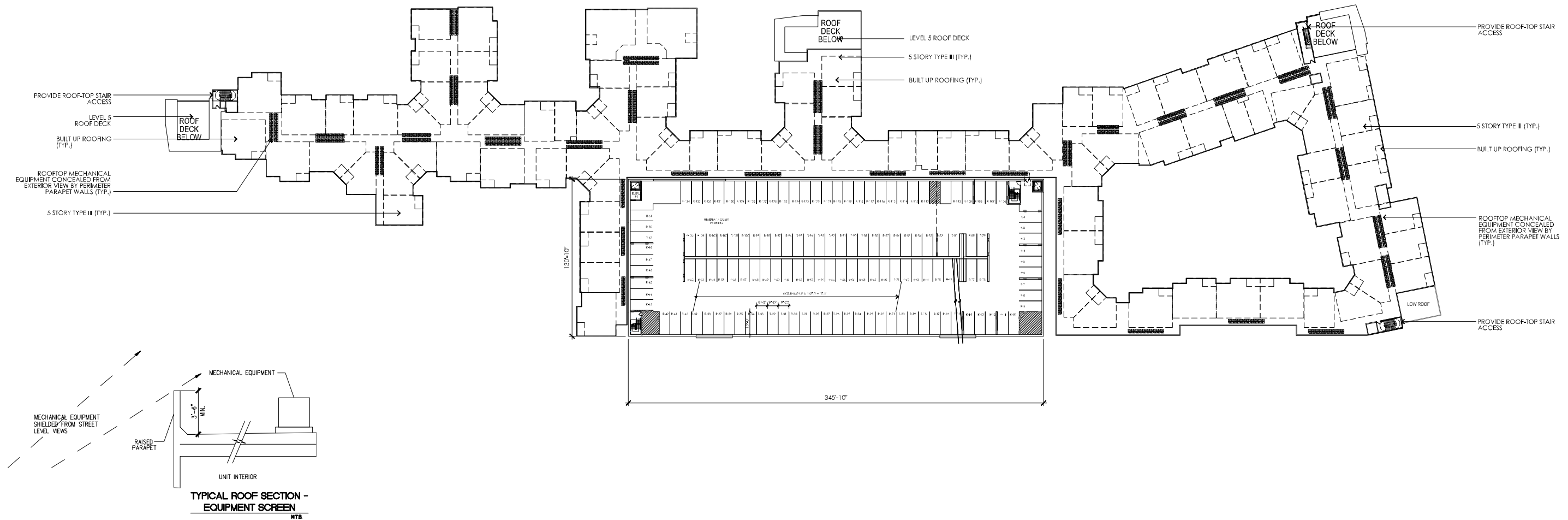
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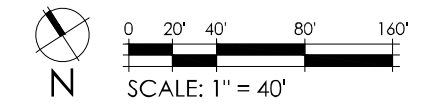
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BUILDING PLAN - LEVEL 6



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A-2.6

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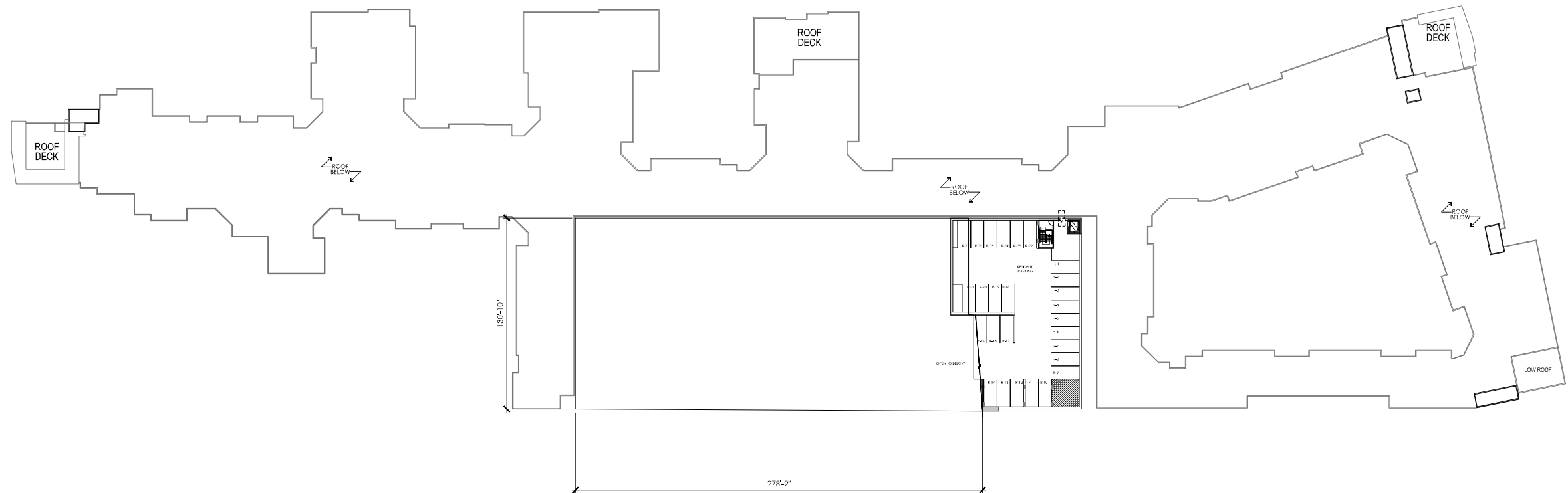
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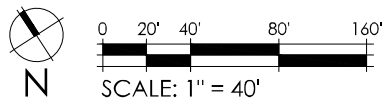
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BUILDING PLAN - LEVEL 7



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A-2.7



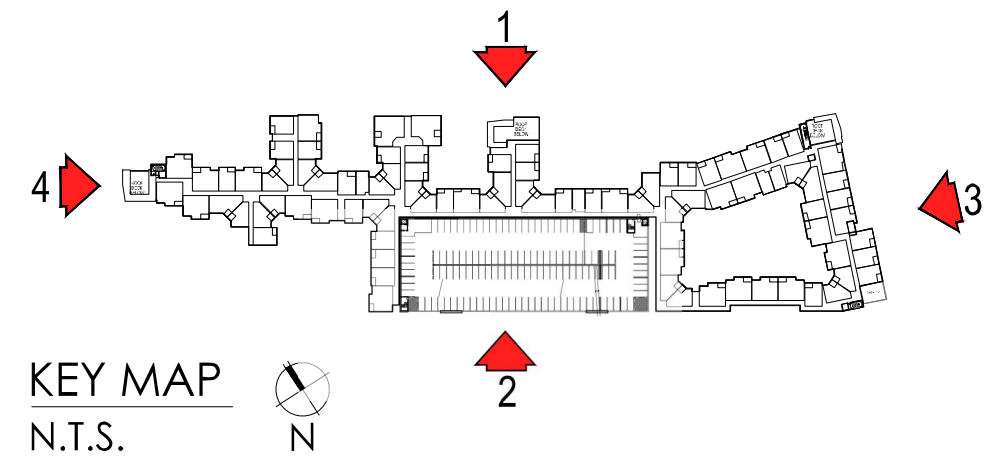
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1. NORTH ELEVATION
SEE SHEET A-3.2 FOR DETAILED ELEVATION

2. SOUTH ELEVATION
SEE SHEET A-3.3 FOR DETAILED ELEVATION

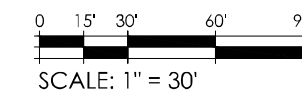
3. EAST ELEVATION
SEE SHEET A-3.4 FOR DETAILED ELEVATION

4. WEST ELEVATION
SEE SHEET A-3.4 FOR DETAILED ELEVATION



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ELEVATIONS



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A-3.1



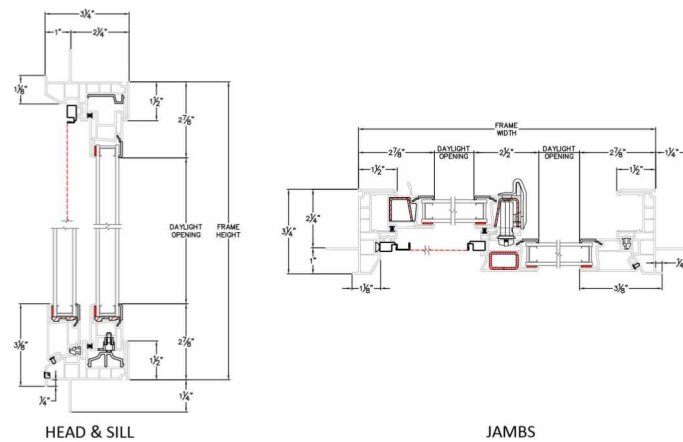
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1. NORTH ELEVATION



NORTH ELEVATION (CONT'D.)



WINDOW DETAIL TYP.

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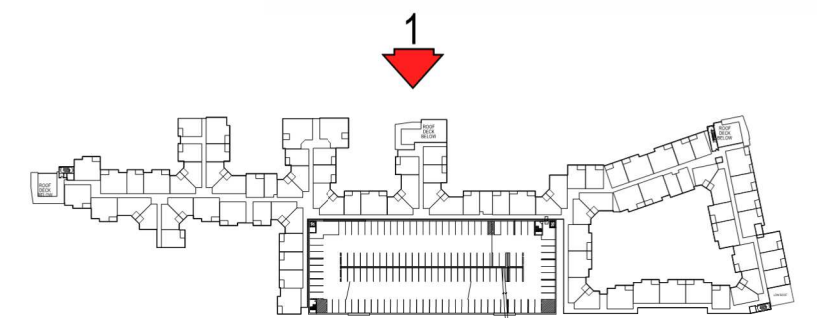
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MATERIALS LEGEND

1a	LA HABRA EXTERIOR PLASTER 20/30 FLOAT FINISH - PAINT GRADE	18	MATCH SW 9161 'DUSTBLU' IN 20/30 FLOAT FINISH
1b	LA HABRA EXTERIOR PLASTER 16/20 FLOAT FINISH - PAINT GRADE	19	MATCH SW 9161 'DUSTBLU' IN 16/20 FLOAT FINISH
2	HARDIE PLANK SIDING	20	LA HABRA STUCCO X50 'CRYSTAL WHITE' IN 20/30 FLOAT FINISH
3	APAVISA PORCELAIN TILE 'JUNOON' BEIGE NATURAL	21	A HABRA STUCCO X50 'CRYSTAL WHITE' IN 16/20 FLOAT FINISH
4	DECORATIVE WIDE FLANGE TRIM	22	MATCH SW 7075 'WEB GRAY' IN 20/30 FLOAT FINISH
5	WIDE FLANGE TRELIS W/ WOOD SLATS	23	MATCH SW 7075 'WEB GRAY' IN 16/20 FLOAT FINISH
6	MILGARD VINYL WINDOWS 'CLAY'	24	AESPAN 'PERCEPTION COLLECTION' CONCEALED FASTENED PANELS IN 'METALLIC SILVER' OR 'TOWN GRAY'
7	KAWNEER OR EQUAL ALUMINUM STOREFRONT 'MED, DARK BRONZE'	26	MATCH SW 6515 'LEISURE BLUE' IN 16/20 FINISH
8	METAL MESH RAILING	27	MATCH SW 6514 'RESPITE' IN 20/30 FLOAT FINISH
9	METAL RAILING WITH COMPOSITE SLATS	28	MATCH SW 6004 'MINK' IN 20/30 FLOAT FINISH
10	GLASS RAILING	29	MATCH SW7505 'MANOR HOUSE' IN 16/20 FLOAT FINISH
11	METAL RAILING	30	MATCH SW 7703 'EARTHEN JUG' IN 20/30 FLOAT FINISH
12	FLOOR GRES PORCELAIN TILE 'FLOWTECH' AGED BRONZE	31	MATCH SW 6005 'FOLKSTONE' IN 2030 FLOAT FINISH
13	EXPOSED FASTNER SHORT RIB PERFORATED PANELS	32	MATCH SW 7603 'POOL HOUSE' IN 16/20 FLOAT FINISH
14	ORCO BLOCK SPLIT FACE PLANTERS 'BLACK 250'	33	MATCH SW 9167 'POLISHED CONCRETE' IN 20/30 FLOAT FINISH
15	ORCO BLOCK C.M.U. PLANTERS W/COMPOSITE WOOD SLATS		
17	GABION WALL		

THIS MATERIALS LEGEND IS A COMPLETE MATERIAL AND COLOR LIST FOR THE PROJECT. SOME IDENTIFIED NUMBERS DO NOT OCCUR ON THESE ELEVATIONS AND RELATE TO THE MATERIAL SAMPLE ON THE MATERIAL BOARD.

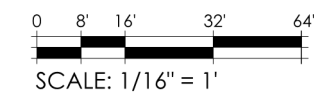


KEY MAP

N.T.S.

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ELEVATIONS



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A-3.2



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NORTH ELEVATION 1B



NORTH ELEVATION 1C

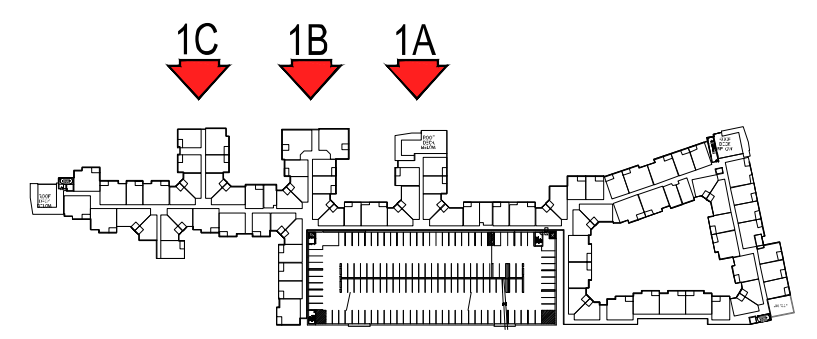


NORTH ELEVATION 1A

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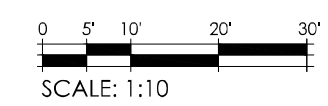
MATERIALS LEGEND			
1a	LA HABRA EXTERIOR PLASTER 20/30 FLOAT FINISH - PAINT GRADE	18	MATCH SW 9161 'DUSTBLU' IN 20/30 FLOAT FINISH
1b	LA HABRA EXTERIOR PLASTER 16/20 FLOAT FINISH - PAINT GRADE	19	MATCH SW 9161 'DUSTBLU' IN 16/20 FLOAT FINISH
2	HARDIE PLANK SIDING	20	LA HABRA STUCCO X50 'CRYSTAL WHITE' IN 20/30 FLOAT FINISH
3	APAVISA PORCELAIN TILE 'JUNOON' BEIGE NATURAL	21	A HABRA STUCCO X50 'CRYSTAL WHITE' IN 16/20 FLOAT FINISH
4	DECORATIVE WIDE FLANGE TRIM	22	MATCH SW 7075 'WEB GRAY' IN 20/30 FLOAT FINISH
5	WIDE FLANGE TRELIS W/ WOOD SLATS	23	MATCH SW 7075 'WEB GRAY' IN 16/20 FLOAT FINISH
6	MILGARD VINYL WINDOWS 'CLAY'	24	AESPAN 'PERCEPTION COLLECTION' CONCEALED FASTENED PANELS IN 'METALLIC SILVER' OR 'TOWN GRAY'
7	KAWNEER OR EQUAL ALUMINUM STOREFRONT 'MED. DARK BRONZE'	26	MATCH SW 6515 'LEISURE BLUE' IN 16/20 FINISH
8	METAL MESH RAILING	27	MATCH SW 6514 'RESPIRE' IN 20/30 FLOAT FINISH
9	METAL RAILING WITH COMPOSITE SLATS	28	MATCH SW 6004 'MINK' IN 20/30 FLOAT FINISH
10	GLASS RAILING	29	MATCH SW7505 'MANOR HOUSE' IN 16/20 FLOAT FINISH
11	METAL RAILING	30	MATCH SW 7703 'EARTHEN JUG' IN 20/30 FLOAT FINISH
12	FLOOR GRES PORCELAIN TILE 'FLOWTECH' AGED BRONZE	31	MATCH SW 6005 'FOLKSTONE' IN 2030 FLOAT FINISH
13	EXPOSED FASTNER SHORT RIB PERFORATED PANELS	32	MATCH SW 7403 'POOL HOUSE' IN 16/20 FLOAT FINISH
14	ORCO BLOCK 'SPLIT FACE' PLANTERS 'BLACK 250'	33	MATCH SW 9167 'POLISHED CONCRETE' IN 20/30 FLOAT FINISH
15	ORCO BLOCK C.M.U. PLANTERS W/COMPOSITE WOOD SLATS		
17	GABION WALL		

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ENLARGED ELEVATIONS



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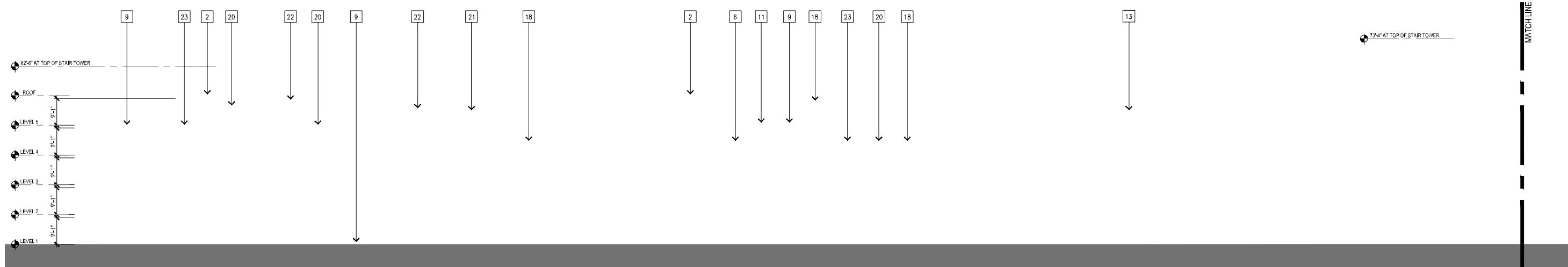
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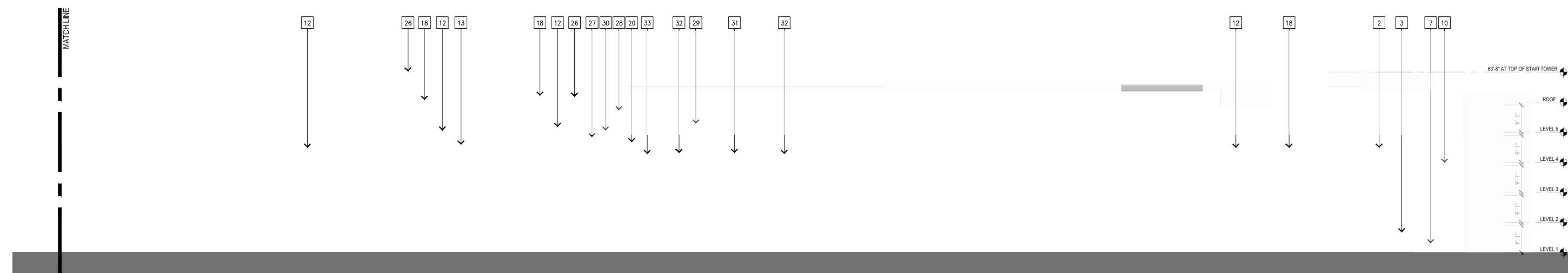
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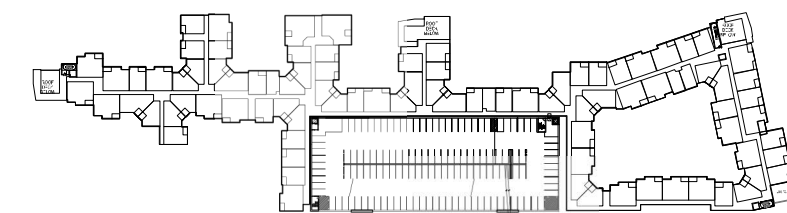
2. SOUTH ELEVATION



SOUTH ELEVATION (CONT'D.)

MATERIALS LEGEND	
1a	LA HABRA EXTERIOR PLASTER 20/30 FLOAT FINISH - PAINT GRADE
1b	LA HABRA EXTERIOR PLASTER 16/20 FLOAT FINISH - PAINT GRADE
2	HARDIE PLANK SIDING
3	APAVISA PORCELAIN TILE 'JUNOON' BEIGE NATURAL
4	DECORATIVE WIDE FLANGE TRIM
5	WIDE FLANGE TRELLIS W/ WOOD SLATS
6	MILGARD VINYL WINDOWS 'CLAY'
7	KAWNEER OR EQUAL ALUMINUM STOREFRONT 'MED. DARK BRONZE'
8	METAL MESH RAILING
9	METAL RAILING WITH COMPOSITE SLATS
10	GLASS RAILING
11	METAL RAILING
12	FLOOR GRES PORCELAIN TILE 'FLOWTECH' AGED BRONZE
13	EXPOSED FASTNER SHORT RIB PERFORATED PANELS
14	ORCO BLOCK SPLIT FACE PLANTERS 'BLACK 250'
15	ORCO BLOCK C.M.U. PLANTERS W/COMPOSITE WOOD SLATS
17	GABION WALL
18	MATCH SW 9161 'DUSTBLU' IN 20/30 FLOAT FINISH
19	MATCH SW 9161 'DUSTBLU' IN 16/20 FLOAT FINISH
20	LA HABRA STUCCO X50 'CRYSTAL WHITE' IN 20/30 FLOAT FINISH
21	A HABRA STUCCO X50 'CRYSTAL WHITE' IN 16/20 FLOAT FINISH
22	MATCH SW 7075 'WEB GRAY' IN 20/30 FLOAT FINISH
23	MATCH SW 7075 'WEB GRAY' IN 16/20 FLOAT FINISH
24	AESPAN 'PERCEPTION COLLECTION' CONCEALED FASTENED PANELS IN 'METALLIC SILVER' OR 'TOWN GRAY'
26	MATCH SW 6515 'LEISURE BLUE' IN 16/20 FINISH
27	MATCH SW 6514 'RESPIRE' IN 20/30 FLOAT FINISH
28	MATCH SW 6004 'MINK' IN 20/30 FLOAT FINISH
29	MATCH SW7505 'MANOR HOUSE' IN 16/20 FLOAT FINISH
30	MATCH SW 7703 'EARTHEN JUG' IN 20/30 FLOAT FINISH
31	MATCH SW 6005 'FOLKSTONE' IN 2030 FLOAT FINISH
32	MATCH SW 7603 'POOL HOUSE' IN 16/20 FLOAT FINISH
33	MATCH SW 9167 'POLISHED CONCRETE' IN 20/30 FLOAT FINISH

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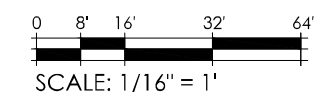
KEY MAP



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ELEVATIONS



A-3.3



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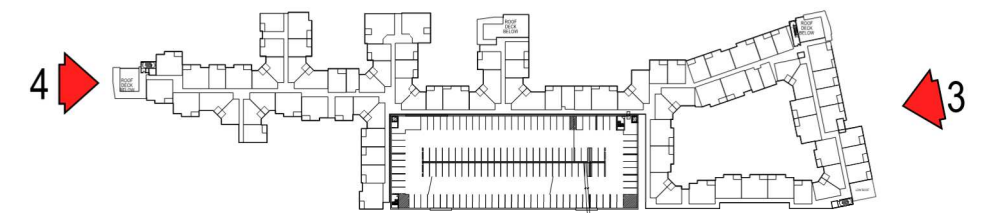
3. EAST ELEVATION



4. WEST ELEVATION

MATERIALS LEGEND			
1a	LA HABRA EXTERIOR PLASTER 20/30 FLOAT FINISH - PAINT GRADE	18	MATCH SW 9161 'DUSTBLU' IN20/30 FLOAT FINISH
1b	LA HABRA EXTERIOR PLASTER 16/20 FLOAT FINISH - PAINT GRADE	19	MATCH SW 9161 'DUSTBLU' IN16/20 FLOAT FINISH
2	HARDIE PLANK SIDING	20	LA HABRA STUCCO X50 'CRYSTAL WHITE' IN 20/30 FLOAT FINISH
3	APAVISA PORCELAIN TILE 'JUNOON' BEIGE NATURAL	21	A HABRA STUCCO X50 'CRYSTAL WHITE' IN 16/20 FLOAT FINISH
4	DECORATIVE WIDE FLANGE TRIM	22	MATCH SW 7075 'WEB GRAY' IN 20/30 FLOAT FINISH
5	WIDE FLANGE TRELLIS W/ WOOD SLATS	23	MATCH SW 7075 'WEB GRAY' IN 16/20 FLOAT FINISH
6	MILGARD VINYL WINDOWS 'CLAY'	24	AESPAN 'PERCEPTION COLLECTION' CONCEALED FASTENED PANELS IN 'METALLIC SILVER' OR 'TOWN GRAY'
7	KAWNEER OR EQUAL ALUMINUM STOREFRONT 'MED. DARK BRONZE'	26	MATCH SW 6515 'LEISURE BLUE' IN 16/20 FINISH
8	METAL MESH RAILING	27	MATCH SW 6514 'RESPITE' IN 20/30 FLOAT FINISH
9	METAL RAILING WITH COMPOSITE SLATS	28	MATCH SW 6004 'MINK' IN 20/30 FLOAT FINISH
10	GLASS RAILING	29	MATCH SW7505 'MANOR HOUSE' IN 16/20 FLOAT FINISH
11	METAL RAILING	30	MATCH SW 7703 'EARTHEN JUG' IN 20/30 FLOAT FINISH
12	FLOOR GRES PORCELAIN TILE 'FLOWTECH' AGED BRONZE	31	MATCH SW 6005 'FOLKSTONE' IN 2030 FLOAT FINISH
13	EXPOSED FASTNER SHORT RIB PERFORATED PANELS	32	MATCH SW 7603 'POOL HOUSE' IN 16/20 FLOAT FINISH
14	ORCO BLOCK SPLIT FACE PLANTERS 'BLACK 250'	33	MATCH SW 9167 'POLISHED CONCRETE' IN 20/30 FLOAT FINISH
15	ORCO BLOCK C.M.U. PLANTERS W/COMPOSITE WOOD SLATS		
17	GABION WALL		

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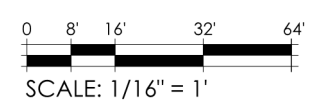


KEY MAP



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ELEVATIONS



A-3.4

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(858) 531-3905

DATE: 03-05-19
JOB NO.: 2016-252
ARCHITECTS ORANGE
144 NORTH ORANGE ST., ORANGE, CA 92886
(714) 639-9860



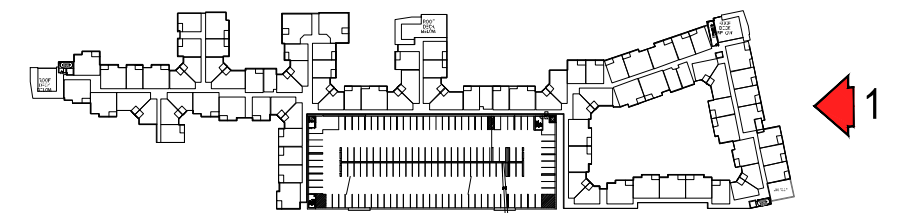
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1. EAST ELEVATION (MAGNOLIA)

MATERIALS LEGEND	
1a	LA HABRA EXTERIOR PLASTER 20/30 FLOAT FINISH - PAINT GRADE
1b	LA HABRA EXTERIOR PLASTER 16/20 FLOAT FINISH - PAINT GRADE
2	HARDIE PLANK SIDING
3	APAVISA PORCELAIN TILE 'JUNOON' BEIGE NATURAL
4	DECORATIVE WIDE FLANGE TRIM
5	WIDE FLANGE TRELLIS W/ WOOD SLATS
6	MILGARD VINYL WINDOWS 'CLAY'
7	KAWNEER OR EQUAL ALUMINUM STOREFRONT 'MED. DARK BRONZE'
8	METAL MESH RAILING
9	METAL RAILING WITH COMPOSITE SLATS
10	GLASS RAILING
11	METAL RAILING
12	FLOOR GRES PORCELAIN TILE 'FLOWTECH' AGED BRONZE
13	EXPOSED FASTNER SHORT RIB PERFORATED PANELS
14	ORCO BLOCK SPLIT FACE PLANTERS 'BLACK 250'
15	ORCO BLOCK C.M.U. PLANTERS W/COMPOSITE WOOD SLATS
17	GABION WALL
18	MATCH SW 9161 'DUSTBLU' IN 20/30 FLOAT FINISH
19	MATCH SW 9161 'DUSTBLU' IN 16/20 FLOAT FINISH
20	LA HABRA STUCCO X50 'CRYSTAL WHITE' IN 20/30 FLOAT FINISH
21	A HABRA STUCCO X50 'CRYSTAL WHITE' IN 16/20 FLOAT FINISH
22	MATCH SW 7075 'WEB GRAY' IN 20/30 FLOAT FINISH
23	MATCH SW 7075 'WEB GRAY' IN 16/20 FLOAT FINISH
24	AESPAN 'PERCEPTION COLLECTION' CONCEALED FASTENED PANELS IN 'METALLIC SILVER' OR 'TOWN GRAY'
26	MATCH SW 6515 'LEISURE BLUE' IN 16/20 FINISH
27	MATCH SW 6514 'RESPIRE' IN 20/30 FLOAT FINISH
28	MATCH SW 6004 'MINK' IN 20/30 FLOAT FINISH
29	MATCH SW7505 'MANOR HOUSE' IN 16/20 FLOAT FINISH
30	MATCH SW 7703 'EARTHEN JUG' IN 20/30 FLOAT FINISH
31	MATCH SW 6005 'FOLKSTONE' IN 2030 FLOAT FINISH
32	MATCH SW 7603 'POOL HOUSE' IN 16/20 FLOAT FINISH
33	MATCH SW 9167 'POLISHED CONCRETE' IN 20/30 FLOAT FINISH

THIS MATERIALS LEGEND IS A COMPLETE MATERIAL AND COLOR LIST FOR THE PROJECT. SOME IDENTIFIED NUMBERS DO NOT OCCUR ON THESE ELEVATIONS AND RELATE TO THE MATERIAL SAMPLE ON THE MATERIAL BOARD.



KEY MAP

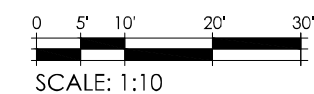


N.T.S.

*SEE CIVIL PLANS FOR ADDITIONAL GRADING INFO.

ENLARGED ELEVATIONS

A-3.4.1



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1. EAST ELEVATION



2. WEST ELEVATION



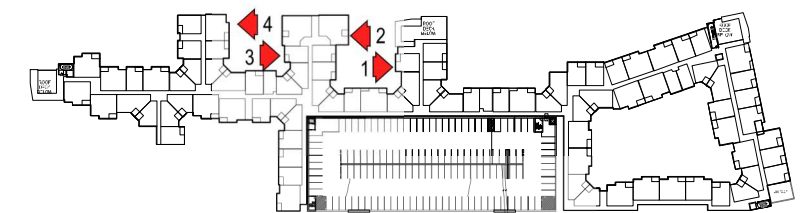
3. EAST ELEVATION



4. WEST ELEVATION

MATERIALS LEGEND			
1a	LA HABRA EXTERIOR PLASTER 20/30 FLOAT FINISH - PAINT GRADE	18	MATCH SW 9161 'DUSTBLU' IN 20/30 FLOAT FINISH
1b	LA HABRA EXTERIOR PLASTER 16/20 FLOAT FINISH - PAINT GRADE	19	MATCH SW 9161 'DUSTBLU' IN 16/20 FLOAT FINISH
2	HARDIE PLANK SIDING	20	LA HABRA STUCCO X50 'CRYSTAL WHITE' IN 20/30 FLOAT FINISH
3	APAVISA PORCELAIN TILE 'JUNOON' BEIGE NATURAL	21	A HABRA STUCCO X50 'CRYSTAL WHITE' IN 16/20 FLOAT FINISH
4	DECORATIVE WIDE FLANGE TRIM	22	MATCH SW 7075 'WEB GRAY' IN 20/30 FLOAT FINISH
5	WIDE FLANGE TRELLIS W/ WOOD SLATS	23	MATCH SW 7075 'WEB GRAY' IN 16/20 FLOAT FINISH
6	MILGARD VINYL WINDOWS 'CLAY'	24	AESPAN 'PERCEPTION COLLECTION' CONCEALED FASTENED PANELS IN 'METALLIC SILVER' OR 'TOWN GRAY'
7	KAWNEER OR EQUAL ALUMINUM STOREFRONT 'MED. DARK BRONZE'	26	MATCH SW 6515 'LEISURE BLUE' IN 16/20 FINISH
8	METAL MESH RAILING	27	MATCH SW 6514 'RESPITE' IN 20/30 FLOAT FINISH
9	METAL RAILING WITH COMPOSITE SLATS	28	MATCH SW 6004 'MINK' IN 20/30 FLOAT FINISH
10	GLASS RAILING	29	MATCH SW7505 'MANOR HOUSE' IN 16/20 FLOAT FINISH
11	METAL RAILING	30	MATCH SW 7703 'EARTHEN JUG' IN 20/30 FLOAT FINISH
12	FLOOR GRES PORCELAIN TILE 'FLOWTECH' AGED BRONZE	31	MATCH SW 6005 'FOLKSTONE' IN 2030 FLOAT FINISH
13	EXPOSED FASTNER SHORT RIB PERFORATED PANELS	32	MATCH SW 7603 'POOL HOUSE' IN 16/20 FLOAT FINISH
14	ORCO BLOCK SPLIT FACE PLANTERS 'BLACK 250'	33	MATCH SW 9167 'POLISHED CONCRETE' IN 20/30 FLOAT FINISH
15	ORCO BLOCK C.M.U. PLANTERS W/COMPOSITE WOOD SLATS		
17	GABION WALL		

THIS MATERIALS LEGEND IS A COMPLETE MATERIAL AND COLOR LIST FOR THE PROJECT. SOME IDENTIFIED NUMBERS DO NOT OCCUR ON THESE ELEVATIONS AND RELATE TO THE MATERIAL SAMPLE ON THE MATERIAL BOARD.



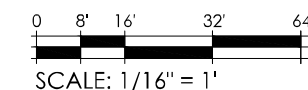
KEY MAP



N.T.S.

*SEE CIVIL PLANS FOR ADDITIONAL GRADING INFO.

COURTYARD ELEVATIONS



A-3.5



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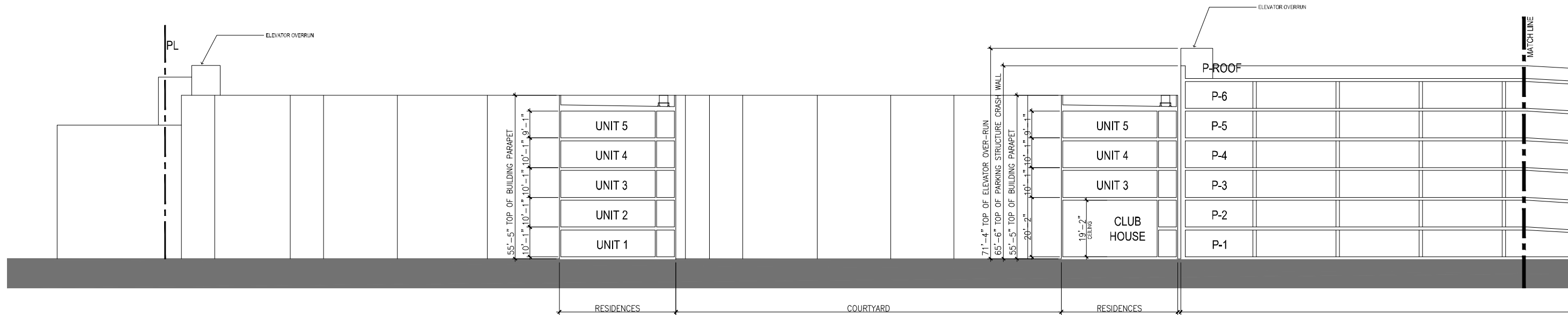
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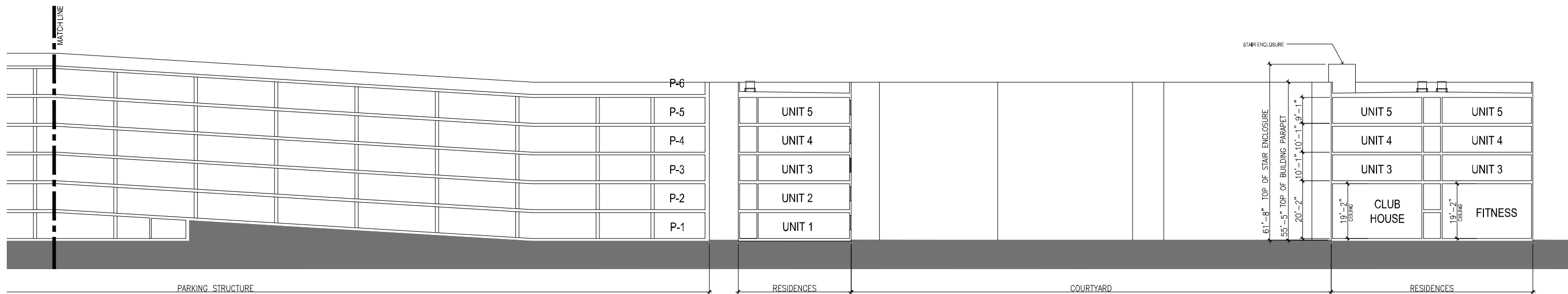
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JOB NO.: 2016-252

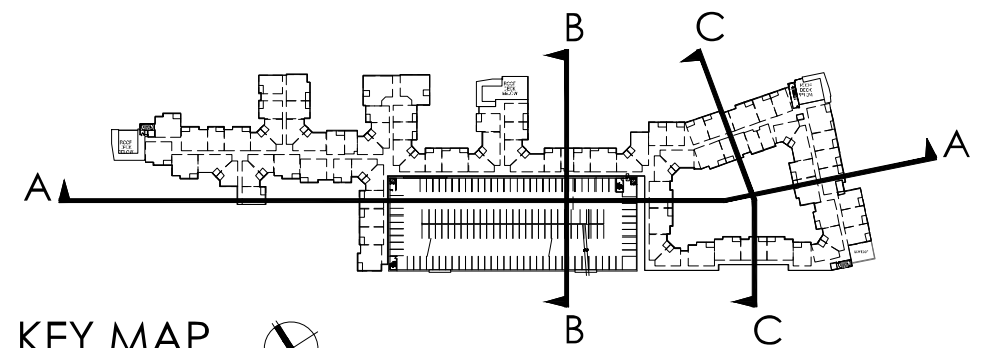
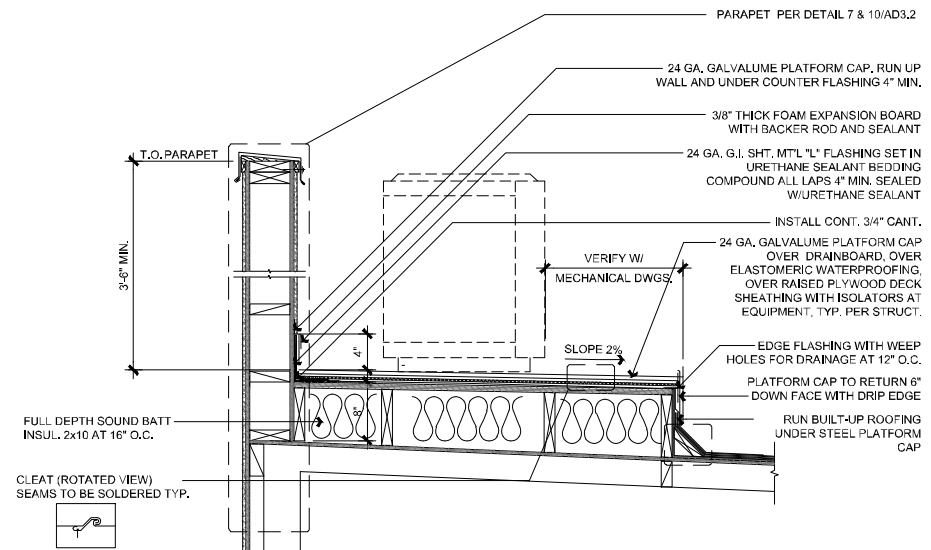
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SECTION A

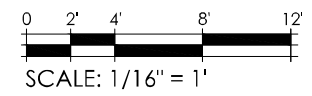


SECTION A



KEY MAP
N.T.S.

SECTIONS



A-3.6

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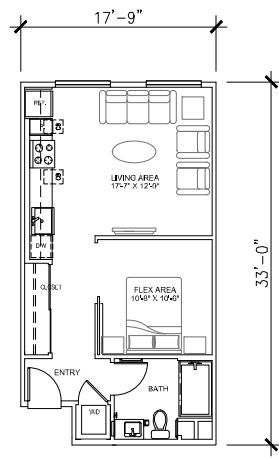
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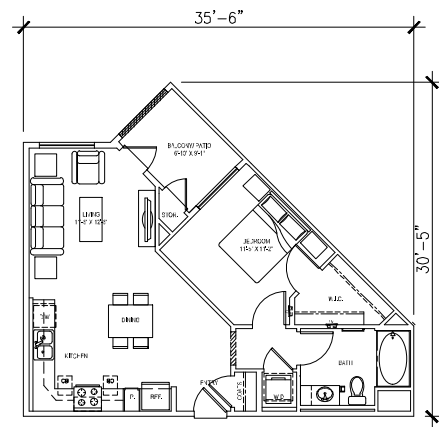
MECHANICAL EQUIPMENT PLATFORM @ PARAPET

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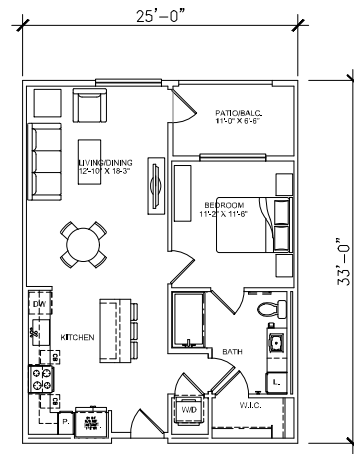




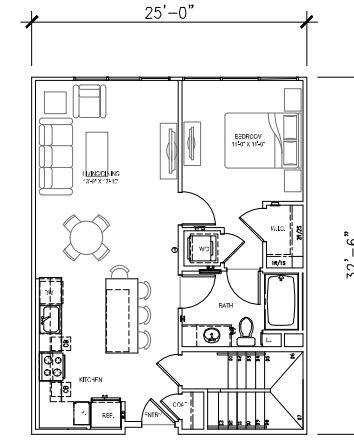
STUDIO S1
STUDIO - 1 BATH
LIVABLE AREA: 589 SQ. FT.



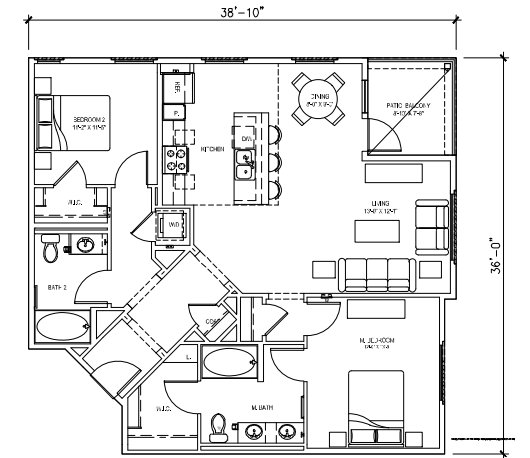
UNIT A1
1 BEDROOM - 1 BATH
LIVABLE AREA: 698 SQ. FT.
PATIO/BALCONY: 62 SQ. FT.



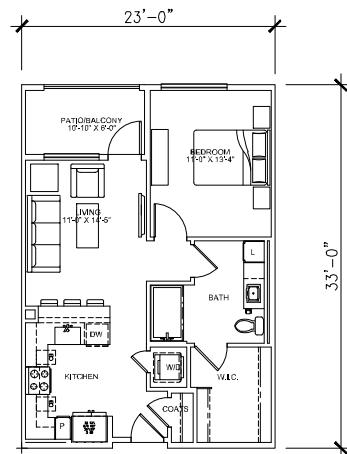
UNIT A2
1 BEDROOM - 1 BATH
LIVABLE AREA: 745 SQ. FT.
PATIO/BALCONY: 72 SQ. FT.



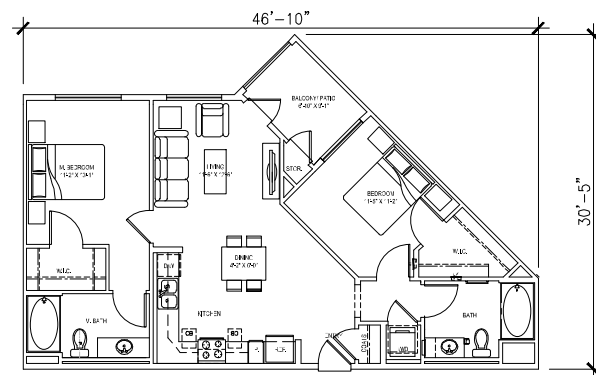
LIVE - WORK - UPPER LEVEL



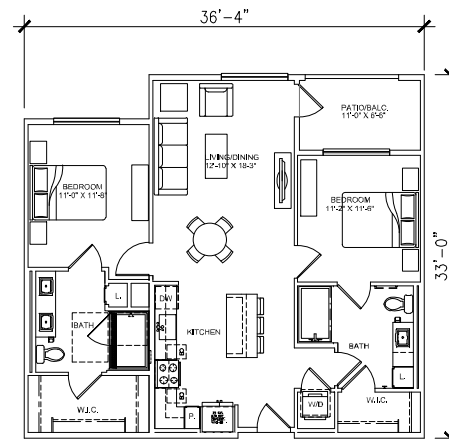
UNIT B3: 2BR / 2BA
LIVABLE AREA: 1246 SQ. FT.
PATIO/BALCONY: 65 SQ. FT.



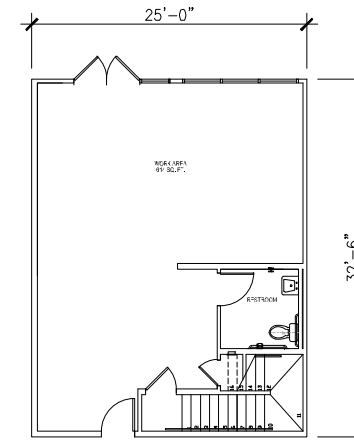
UNIT A3
1 BEDROOM - 1 BATH
LIVABLE AREA: 686 SQ. FT.
PATIO/BALCONY: 65 SQ. FT.



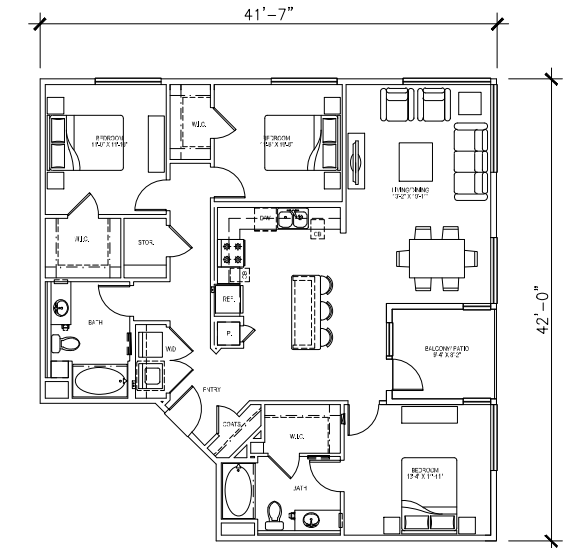
UNIT B1
2 BEDROOM - 2 BATH
LIVABLE AREA: 981 SQ. FT.
PATIO/BALCONY: 69 SQ. FT.



UNIT B2
2 BEDROOM - 2 BATH
UNIT AREA: 1074 SQ. FT.
PATIO/BALCONY: 72 SQ. FT.



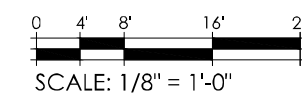
LIVE - WORK - LOWER LEVEL
1 BEDROOM - 1 BATH + WORKSPACE
1ST FLOOR WORK AREA: 813 SQ. FT.
2ND FLOOR LIVABLE AREA: 748 SQ. FT.
TOTAL AREA: 1561 SQ. FT.



UNIT C1
3 BEDROOM - 2 BATH
LIVABLE AREA: 1481 SQ. FT.
PATIO/BALCONY: 76 SQ. FT.

PRIVATE OPEN SPACE			
UNIT	PATIO/BALCONY	QTY	TOTAL S.F.
S1	0	20	0
A1	62	109	6,758
A2	72	107	7,704
A3	65	34	2,210
L/W	0	4	0
B1	69	25	1,725
B2	72	114	8,208
B3	65	8	520
C1	76	15	1,140

UNIT PLANS



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DATE: 03-05-19
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- 18 Sherwin Williams SW 9161 Dustblu in 20/30 Flat Finish
- 19 Sherwin Williams SW 9161 Dustblu in 16/20 Finish
- 20 LaHabra Stucco - 50 Crystal White in 20/30 Flat Finish
- 21 LaHabra Stucco - 50 Crystal White in 16/20 Finish
- 22 Sherwin Williams SW 7050 Web Gray in 20/30 Flat Finish
- 23 Sherwin Williams SW 7050 Web Gray in 16/20 Finish
- 26 Sherwin Williams SW 6515 Leisure Blue in 16/20 Finish
- 27 Sherwin Williams SW 6514 Respite in 20/30 Flat Finish
- 28 Sherwin Williams SW 6004 Mink in 20/30 Flat Finish
- 29 Sherwin Williams SW 7505 Manor House in 16/20 Finish
- 30 Sherwin Williams SW 7703 Earthen Jug in 20/30 Flat Finish
- 31 Sherwin Williams SW 6005 Folkstone in 20/30 Flat Finish
- 32 Sherwin Williams SW 7603 Pool House in 16/20 Finish
- 33 Sherwin Williams SW 9167 Polished Concrete in 20/30 Flat Finish
- 34 Sherwin Williams SW 7076 Cyberspace

- 1a La Habra Exterior Plaster 20/30 Flat Finish Paint Grade
- 1b La Habra Exterior Plaster 16/20 Finish Paint Grade
- 2 Hardie Plank Lap Siding 5/16" Select Cedarmill Finish w/ 6" Exposed Face Paint Grade to match SW 7075 Web Gray
- 3 Apavisa Porcelain Tile Junoon Beige Natural
- 4 Decorative Wide Flange Trim Paint to match SW 7076 Cyberspace
- 5 Wide Flange Trellis w/ Composite Wood Slats Metal Frame paint to match SW 7076 Cyberspace
- 6 Milgard Vinyl Windows Clay
- 7 Kawneer or Equal Aluminum Storefront Medium Dark Bronze
- 8 Metal Mesh Railing Paint to match SW 7076 Cyberspace
- 9 Metal Railing w/ Composite Slats Metal Frame paint to match SW 7076 Cyberspace
- 10 Glass Railing at Featured Corner Units Vitro Architectural Glass Pacifica or Solar Blue
- 11 Metal Railing Paint to match SW 7076 Cyberspace
- 12 Floor Gres Porcelain Tile Fowtech Aged Bronze
- 13 Centria Ecoscreen Perforated Panels BR5-36
- 14 Orco Block C.M.U. Planters Burnished Back 500 Medium Weight w/ Laliclete Grout 45 Raven
- 15 Orco Block C.M.U. Planters w/ Composite Wood Slats
- 17 Gabion Wall
- 24 AEPSPAN Concealed Fastened Metal Wall Panels Perception Collection Old Town Gray

ALEXAN MONROVIA MONROVIA, CALIFORNIA

COLOR & MATERIAL BOARD

DATE: 03-05-19
JOB NO.: 2016-252

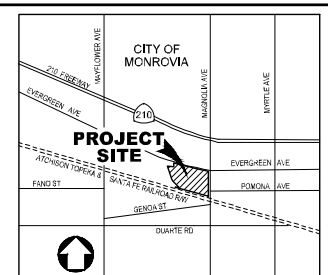
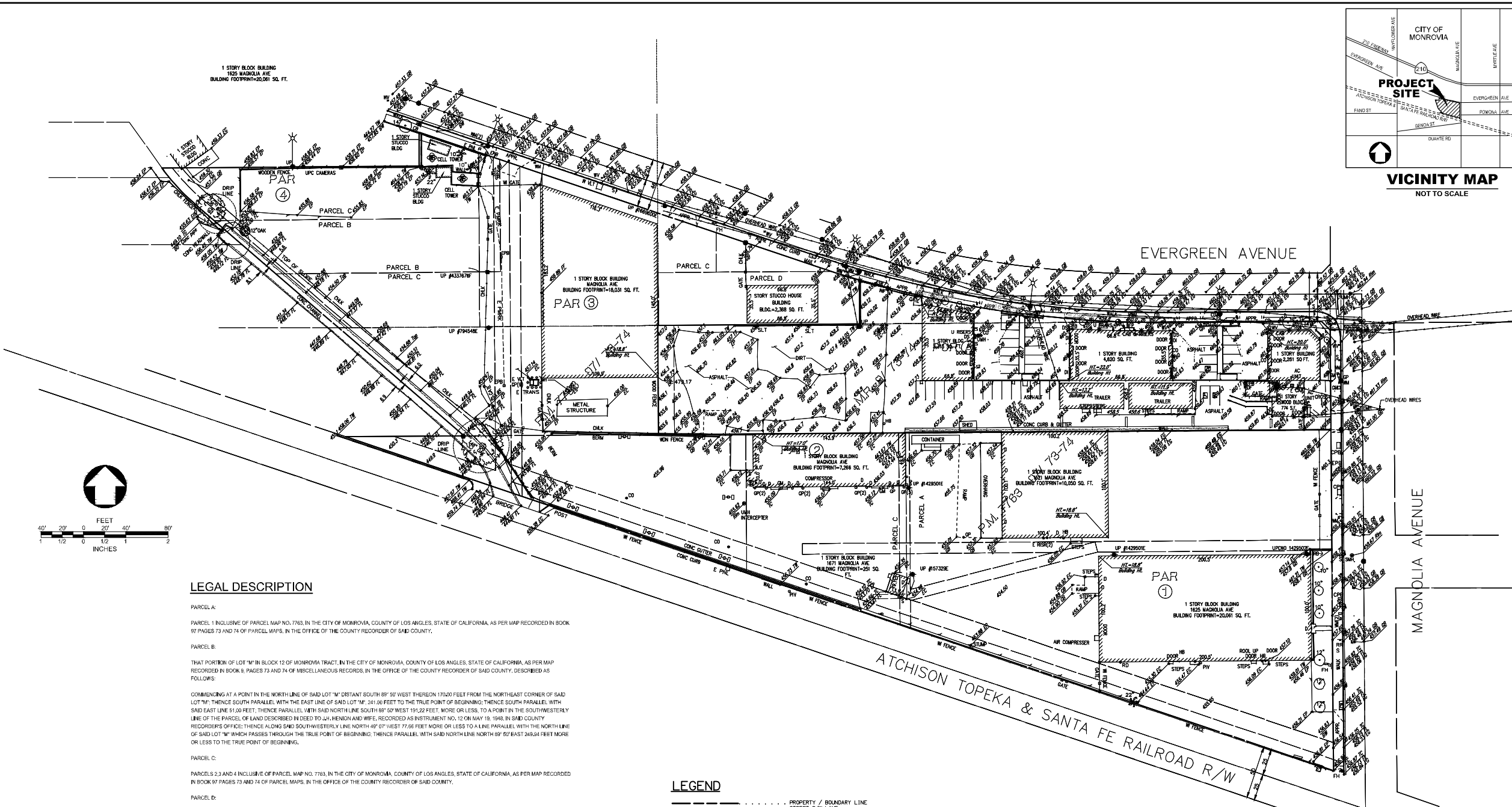
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S. MAGNOLIA AVE APARTMENT MONROVIA, CA
TCR 5790 FLEET STREET SUITE 140 CARLSBAD, CA 92008 T. 858.531.3905

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Date	Description

LEGAL DESCRIPTION

PARCEL A:
 PARCEL 1 INCLUSIVE OF PARCEL MAP NO. 7763, IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 97 PAGES 73 AND 74 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:
 THAT PORTION OF LOT "M" IN BLOCK 12 OF MONROVIA TRACT, IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGES 73 AND 74 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE NORTH LINE OF SAID LOT "M" DISTANT SOUTH 89° 50' WEST THEREON 17020 FEET FROM THE NORTH-EAST CORNER OF SAID LOT "M"; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID LOT "M" 241.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH PARALLEL WITH SAID EAST LINE 51.00 FEET; THENCE PARALLEL WITH SAID NORTH LINE SOUTH 89° 52' WEST 191.22 FEET, MORE OR LESS, TO A POINT IN THE SOUTH-WESTERLY LINE OF THE PARCEL OF LAND DESCRIBED IN DEED TO J.W. HENION AND WIFE, RECORDED AS INSTRUMENT NO. 12 ON MAY 18, 1948, IN SAID COUNTY RECORDER'S OFFICE; THENCE ALONG SAID SOUTH-WESTERLY LINE NORTH 49° 07' WEST 77.66 FEET MORE OR LESS TO A LINE PARALLEL WITH THE NORTH LINE OF SAID LOT "M" WHICH PASSES THROUGH THE TRUE POINT OF BEGINNING; THENCE PARALLEL WITH SAID NORTH LINE NORTH 89° 50' EAST 249.94 FEET MORE OR LESS TO THE TRUE POINT OF BEGINNING.

PARCEL C:
 PARCELS 2,3 AND 4 INCLUSIVE OF PARCEL MAP NO. 7763, IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 97 PAGES 73 AND 74 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL D:
 PARCEL 1:
 THE SOUTHERLY 50 FEET OF THE WESTERLY 100 FEET OF THAT PORTION OF BLOCK 12 OF MONROVIA TRACT, IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9 PAGES 73 AND 74 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 BEGINNING AT A POINT IN THE WEST LINE OF MAGNOLIA AVENUE, DISTANCE THEREON 1650 FEET SOUTH FROM THE CENTER LINE OF HUNTINGTON DRIVE (FORMERLY FALLING LEAF AVENUE), THENCE WEST 634.50 FEET TO THE PROLONGATION NORTHERLY OF THE EAST LINE OF LOT "M", BLOCK 12 OF SAID TRACT, THENCE SOUTH ALONG PROLONGATION OF SAID EAST LINE OF LOT "M" TO THE NORTH-EAST CORNER OF LOT "M"; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT "M" AND THE PROLONGATION THEREOF SOUTHERLY 343.08 FEET, MORE OR LESS, TO THE CENTER LINE OF EVERGREEN AVENUE; THENCE EAST ALONG THE CENTER LINE OF EVERGREEN AVENUE AS VACATED, 634.50 FEET TO THE WEST LINE OF MAGNOLIA AVENUE, THENCE NORTH ALONG THE WEST LINE OF MAGNOLIA AVENUE TO THE POINT OF BEGINNING.
 EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA IN THE DEED RECORDED JANUARY 18, 1968 AS INSTRUMENT NO. 428, OFFICIAL RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 THAT PORTION OF BLOCK 12 OF SAID MONROVIA TRACT, LYING WITHIN THAT CERTAIN PARCEL OF LAND CONVEYED TO CHARLES B. SIMONS AND DOROTHY M. SIMONS, BY DEED RECORDED IN BOOK 5124, PAGE 298 OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTH-EAST CORNER OF SAID PARCEL OF LAND, THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL OF LAND, WESTERLY 26.81 FEET TO THE INTERSECTION THEREOF WITH A CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 1026.00 FEET; THENCE ALONG SAID CURVE SOUTHEASTERLY AN ARC DISTANCE OF 28.09 FEET TO A POINT IN THE EASTERLY LINE OF SAID PARCEL OF LAND, DISTANT ALONG SAID EASTERLY LINE, SOUTHERLY 8.35 FEET FROM THE POINT OF BEGINNING; THENCE ALONG SAID EASTERLY LINE NORTHERLY 6.07 FEET TO SAID POINT OF BEGINNING.
 SAID LAND IS SHOWN AS PART OF PARCEL "L," ON RECORD OF SURVEYS RECORDED IN BOOK 69, PAGE 39, RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
PARCEL 2:
 THAT PORTION OF THAT CERTAIN PARCEL OF LAND IN BLOCK 12 OF THE MONROVIA TRACT, IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9 PAGES 73 AND 74 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CONVEYED TO THE STATE OF CALIFORNIA, BY DEED RECORDED IN BOOK 03000 PAGE 526, OFFICIAL RECORDS, IN SAID OFFICE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE SOUTHERLY LINE OF SAID PARCEL OF LAND, DISTANT ALONG SAID SOUTHERLY LINE SOUTH 88° 53' 58" WEST 26.81 FEET FROM THE SOUTHEASTERN CORNER OF SAID PARCEL OF LAND, SAID POINT BEING THE INTERSECTION OF SAID SOUTHERLY LINE WITH A CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 1026.00 FEET; THENCE NORTH-WESTERLY ALONG SAID CURVE FROM A TANGENT WHICH BEARS NORTH 71° 58' 22" WEST THROUGH AN ANGLE OF 61° 58' 22" AN ARC DISTANCE OF 17.42 FEET; THENCE TANGENT TO SAID CURVE NORTH 71° 00' 00" WEST 67.55 FEET; THENCE SOUTH 1° 08' 58" EAST 27.67 FEET TO A POINT IN SAID SOUTHERLY LINE DISTANT ALONG SAID SOUTHERLY LINE SOUTH 88° 53' 58" WEST 80.23 FEET FROM THE POINT OF BEGINNING; THENCE ALONG SAID SOUTHERLY LINE NORTH 88° 53' 58" EAST 80.23 FEET TO SAID POINT OF BEGINNING.
 EXCEPT FROM SAID PARCEL NO. 2, ALL MINERALS, OILS, GASES AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN THAT MAY BE WITHIN OR UNDER THE PARCEL OF LAND HEREBY ABOVE DESCRIBED, WITHOUT HOWEVER, THE RIGHT TO DRILL, DIG, OR MINE THROUGH THE SURFACE THEREOF, AS RESERVED BY THE STATE OF CALIFORNIA, BY DEED RECORDED JANUARY 16, 1968 AS INSTRUMENT NO. 762, OF OFFICIAL RECORDS.
 APN: 8807-009-041 (AFFECTS: PARCEL A) 8807-009-042 (AFFECTS: PARCEL 2 OF PARCEL C)
 8807-009-043 (AFFECTS: PARCEL 3 OF PARCEL C) 8807-009-044 (AFFECTS: PARCEL 4 OF PARCEL C)
 8807-009-022 (AFFECTS: PORTION OF PARCEL B) AND 8807-009-024 (AFFECTS: PORTION OF PARCEL B)
 8807-009-016 (AFFECTS: PARCEL D)

LEGEND

---	PROPERTY / BOUNDARY LINE
---	STREET R/W LINE
---	CURB LINE (FROM 1"=20" ON TO 1"=200')
---	CURB LINE (1"=10', 1"=8', 1"=16')
---	CENTER LINE
---	FLOW LINE
---	LOT LINE / PARCEL LINE
---	EASEMENT LINE (W=WIDTH)
---	CONTOUR LINE (APPROXIMATE)
---	OVERHANG LINE
---	FENCE LINE
---	GUARD RAIL
---	RETAINING WALL
---	CONC. BLOCK WALL
---	EDGE OF ASPHALT PAVING
---	CONCRETE PAVING
---	AREA DRAIN
---	CATCH BASIN W/ACCESS HOLE
---	MANHOLE (SEWER, STORM DRAIN, POWER, TELEPHONE)
---	POWER POLE (P.P.) / TELEPHONE POLE (T.P.)
---	SION (ALL KINDS)
---	STREET LIGHT
---	TRAFFIC SIGNAL
---	TRAFFIC SIGNAL W/STREET LIGHT
---	YARD LIGHT
---	FIRE HYDRANT
---	DOWNPOUT
---	POST INDICATOR VALVE
---	DIRECTION OF WATER DRAINAGE FLOW
---	PARKING METER
---	GAS / WATER METER
---	GAS / WATER VALVE
---	ELEC./STREET LIGHT/TRAFFIC/UNKNOWN PULL BOX
---	TREE IN WELL W/TRUNK DIAMETER
---	PLANTER
---	GUARD POST
---	APPROACH (DRIVEWAY)
---	BACKFLOW PREVENTER
---	CLEAN OUT
---	CHAIN LINK (FENCE/GATE)
---	BENCHMARK
---	TOPOGRAPHIC SPOT ELEVATION, NO LEADER
---	BACK OF WALK ELEVATION
---	EDGE OF CONCRETE ELEVATION
---	EDGE OF CUTTER ELEVATION
---	EDGE OF PAVEMENT ELEVATION
---	FLOW LINE ELEVATION
---	TOP OF CURB ELEVATION
---	TOP OF GATE ELEVATION
---	TOP OF WALL ELEVATION
---	MANHOLE R/W ELEVATION
---	MANHOLE INVERT ELEVATION
---	CURB DRAIN
---	RECORD LOT / PARCEL NUMBER (1:100,00')
---	RECORD DIMENSION OR BEARING IF DIFFERENT THAN MEASURED
---	IMPROVEMENT FACE
---	IMPROVEMENT EDGE
---	IMPROVEMENT END
---	NORTH/EAST/SOUTH/WEST LOCATION OF IMPROVEMENT
---	W/ RESPECT TO REFERENCE NORTH AND PROPERTY LINE.
---	ADJACENT PROPERTY OWNER

BENCHMARK: 4G3072
 LOS ANGELES COUNTY PUBLIC WORKS SURVEY SECTION L & N IN W CB 5 FT N/O BGR NW COR. MONTANA AVE. AND MYRTLE AVE.
 ELEV. 472.844 FEET ADJUSTMENT: .2005

PLANS PREPARED BY:
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 27220 Tambrary Lane, Suite 190
 Valencia, CA 91355
 (661) 219-6000 (661) 775-2718 fax
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Seal/Signature

Project Name

Project Number

As Indicated
 Scale

EXISTING TOPOGRAPHY

Title

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**DEMOLITION PLAN
(SHEET 1 OF 2)**

Title

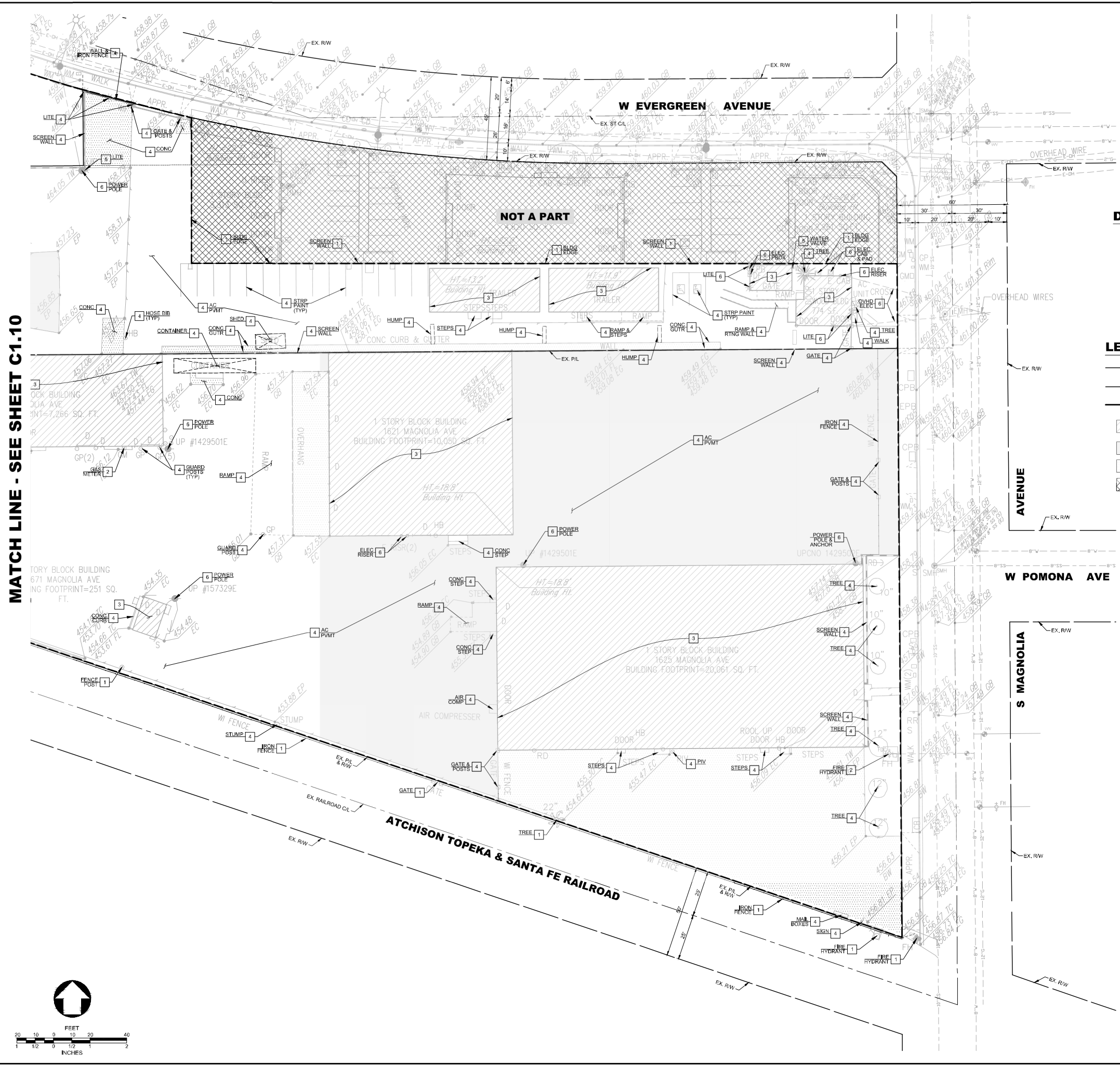
C1.00

DEMOLITION NOTES

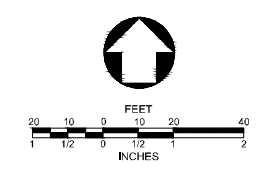
- 1 PROTECT IN PLACE EXISTING
- 2 REMOVE AND RELOCATE EXISTING
- 3 DEMOLISH EXISTING BUILDING / TRAILER
- 4 REMOVE EXISTING
- 5 EXISTING TO REMAIN
- 6 REMOVE AND RELOCATE BY OTHERS
- 7 CUT AND CAP EXISTING

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- DEMOLITION LIMIT
- REMOVE EXISTING BUILDINGS/TRAILER, INCLUDING CONCRETE STEPS, OVERHANG & ROOF DRAINS
- REMOVE EXISTING ASPHALT CONCRETE PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT
- NOT A PART OF THE PROJECT



MATCH LINE - SEE SHEET C1.10



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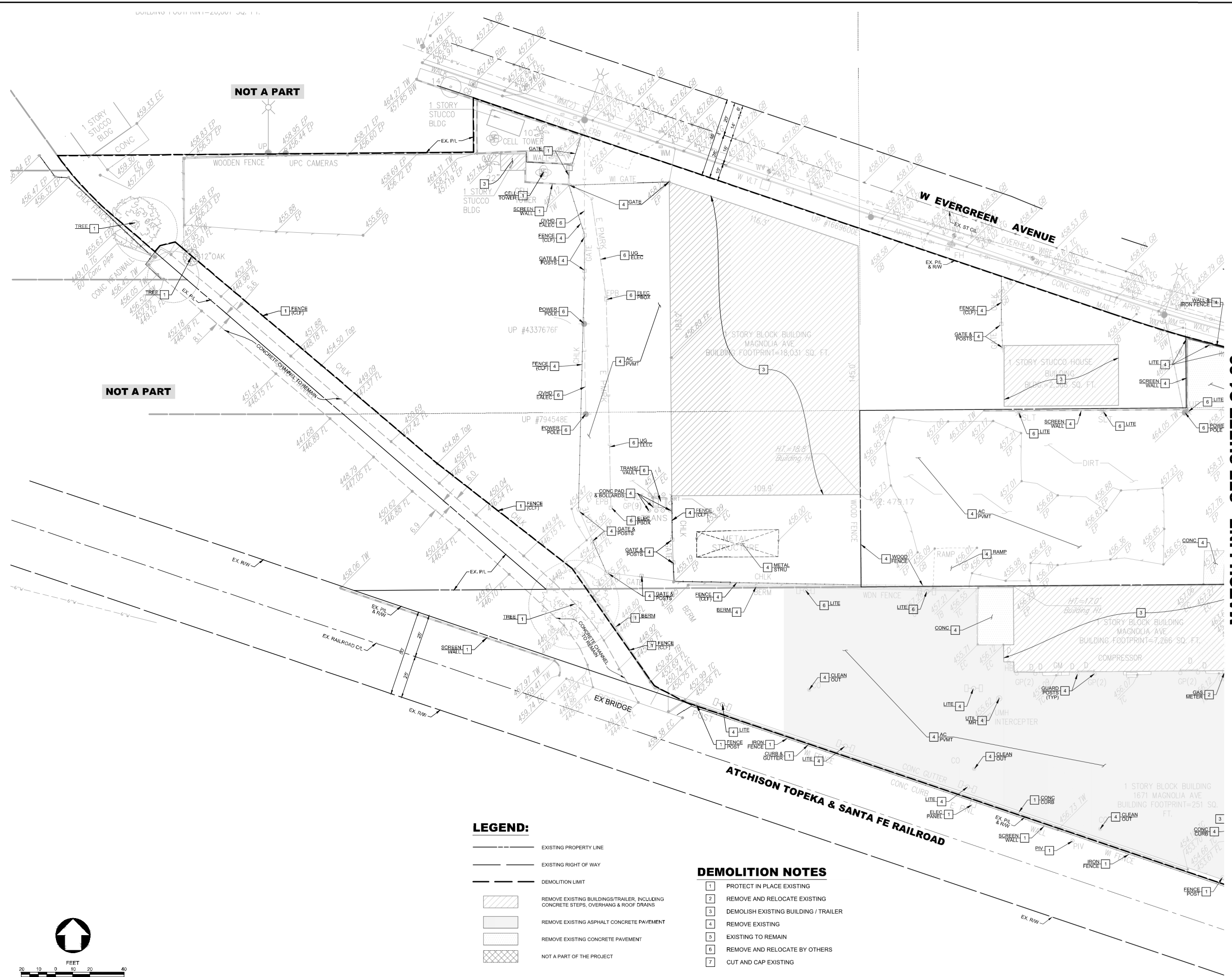
Project Number

As indicated
Scale

**DEMOLITION PLAN
(SHEET 2 OF 2)**

Title

C1.10



NOT A PART

NOT A PART

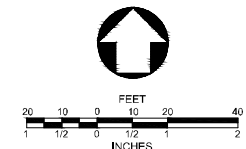
MATCH LINE - SEE SHEET C1.00

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- DEMOLITION LIMIT
- [Hatched Box] REMOVE EXISTING BUILDINGS/TRAILER, INCLUDING CONCRETE STEPS, OVERHANG & ROOF DRAINS
- [Dotted Box] REMOVE EXISTING ASPHALT CONCRETE PAVEMENT
- [Dotted Box] REMOVE EXISTING CONCRETE PAVEMENT
- [Cross-hatched Box] NOT A PART OF THE PROJECT

DEMOLITION NOTES

- 1 PROTECT IN PLACE EXISTING
- 2 REMOVE AND RELOCATE EXISTING
- 3 DEMOLISH EXISTING BUILDING / TRAILER
- 4 REMOVE EXISTING
- 5 EXISTING TO REMAIN
- 6 REMOVE AND RELOCATE BY OTHERS
- 7 CUT AND CAP EXISTING



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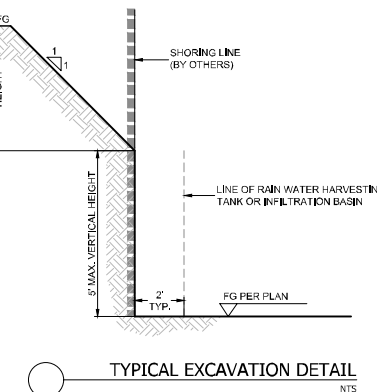
Project Number

As indicated
Scale

**ROUGH GRADING
PLAN**

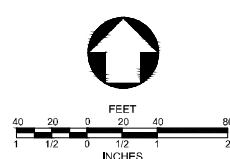
Title

C2.00



EARTHWORK SUMMARY		
	CUT (CY)	FILL (CY)
SITE	7,200	9,600
R & R (SHRINKAGE 8%)		800
SUBTOTAL	7,200	10,400
NET IMPORT (CY)		3,200

- LEGEND:**
- EXISTING PROPERTY LINE
 - EXISTING RIGHT OF WAY
 - STREET CENTERLINE
 - 100 EXISTING CONTOUR
 - 100 PROPOSED CONTOUR
 - SHORING LINE (SHORING BY OTHERS)
 - INFILTRATION BASIN/RAIN WATER HARVESTING
 - NOT A PART OF THE PROJECT



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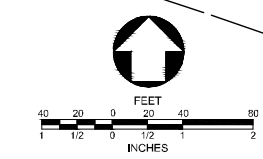
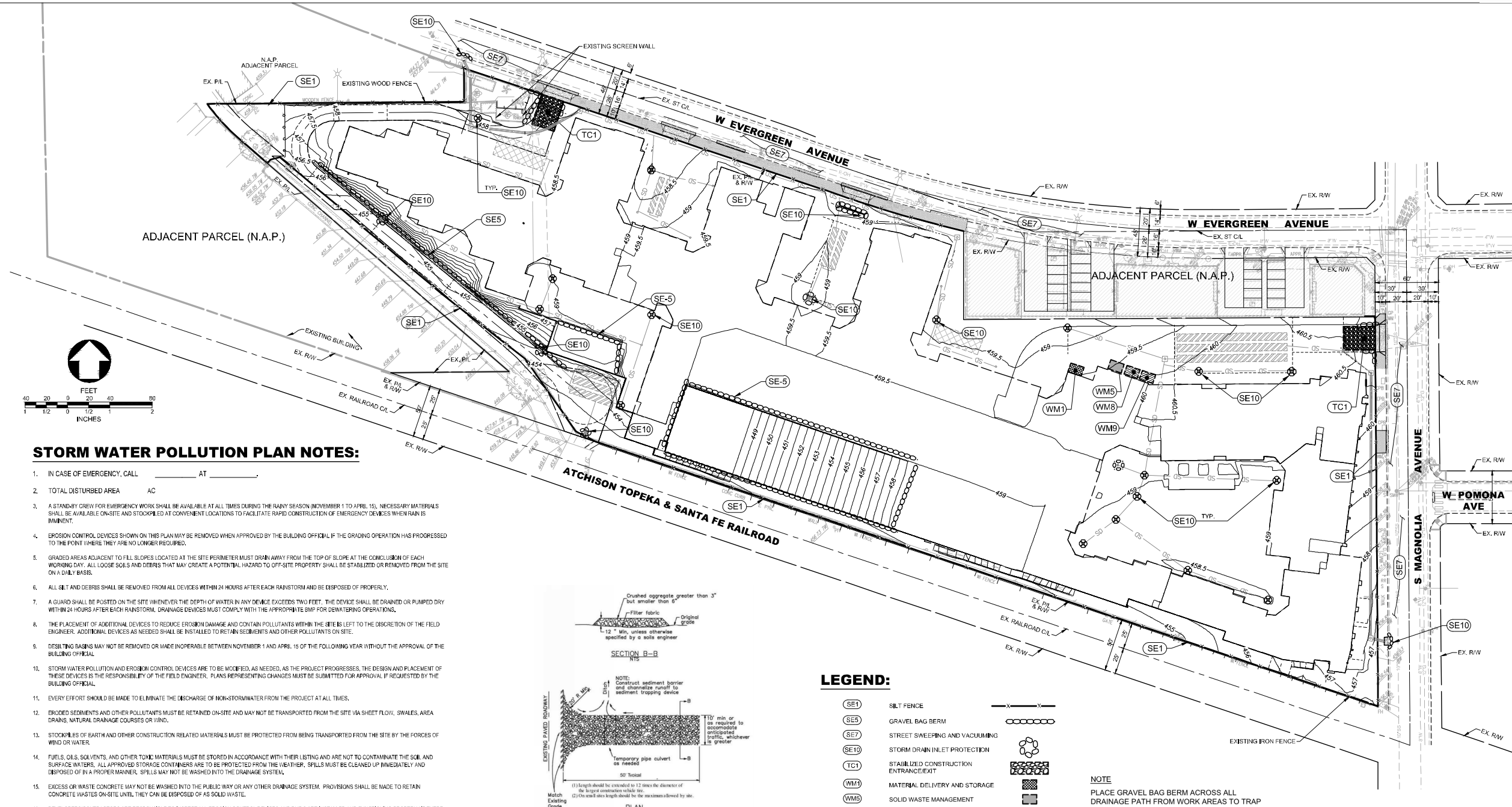
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EROSION & SEDIMENT CONTROL PLAN

Title

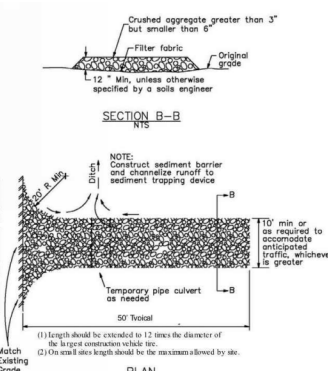
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STORM WATER POLLUTION PLAN NOTES:

- IN CASE OF EMERGENCY, CALL _____ AT _____
- TOTAL DISTURBED AREA _____ AC
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS GR OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY. IF THERE IS A 4% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL. (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- THE CONTRACTOR SHALL INSTALL PORTABLE WHEEL WASH STATIONS FOR THE DURATION OF CONSTRUCTION ACTIVITIES TO PREVENT THE SPREAD OF INVASIVE WEED SEED FROM THE TIRE TREADS OF VEHICLES ENTERING AND LEAVING THE PROJECT SITES. THE SEEDS COLLECTED FROM THE DEBRIS BASINS OF THESE WASH STATIONS SHALL BE DISPOSED OF IN GREEN WASTE OR TRASH RECEPTACLES WHEN THE BASINS REQUIRE MAINTENANCE.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.

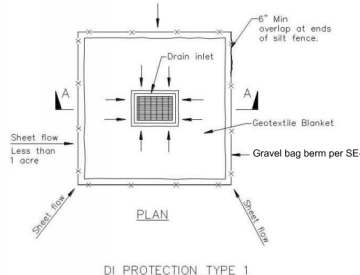
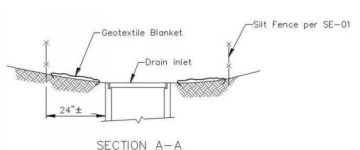


LEGEND:

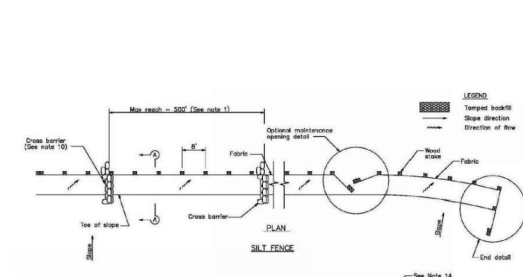
- (SE1) SILT FENCE
- (SE5) GRAVEL BAG BERM
- (SE7) STREET SWEEPING AND VACUUMING
- (SE10) STORM DRAIN INLET PROTECTION
- (TC1) STABILIZED CONSTRUCTION ENTRANCE/EXIT
- (WM1) MATERIAL DELIVERY AND STORAGE
- (WM5) SOLID WASTE MANAGEMENT
- (WM6) CONCRETE WASTE MANAGEMENT
- (WM9) SANITARY/SEPTIC WASTE MANAGEMENT

NOTE
PLACE GRAVEL BAG BERM ACROSS ALL DRAINAGE PATH FROM WORK AREAS TO TRAP SEDIMENT TRANSPORT PRIOR TO DISCHARGE INTO DRAIN OR LEAVING PROPERTY

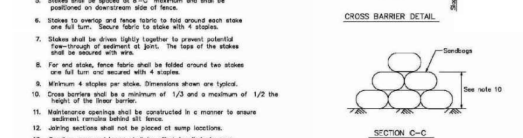
- | | |
|---|--|
| EROSION CONTROL | EQUIPMENT TRACKING CONTROL |
| EC1 SCHEDULING | TC1 STABILIZED CONSTRUCTION ENTRANCE/EXIT |
| EC2 PRESERVATION OF EXISTING VEGETATION | TC2 STABILIZED CONSTRUCTION ROADWAY |
| EC3 HYDRAULIC MULCH | TC3 ENTRANCE/OUTLET TIRE WASH |
| EC4 HYDROSEEDING | |
| EC5 SOIL BINDERS | NON-STORMWATER MANAGEMENT |
| EC6 STRAW MULCH | NS1 WATER CONSERVATION PRACTICES |
| EC7 GEOTEXTILES AND MATS | NS2 DEWATERING OPERATIONS |
| EC8 WOOD MULCHING | NS3 PAVING AND GRINDING OPERATIONS |
| EC9 EARTH DIKES AND DRAINAGE SWALES | NS4 TEMPORARY STREAM CROSSING |
| EC10 VELOCITY DISSIPATION DEVICES | NS5 CLEAR WATER DIVERSION |
| EC11 SLOPE DRAINS | NS6 ILLEGAL CONNECTION/DISCHARGE |
| EC12 STREAMBANK STABILIZATION | NS7 POTABLE WATER IRRIGATION |
| EC13 RESERVED | NS8 VEHICLE AND EQUIPMENT CLEANING |
| EC14 COMPOST BLANKETS | NS9 VEHICLE AND EQUIPMENT FUELING |
| EC15 SOIL PREPARATION/ROUGHENING | NS10 VEHICLE AND EQUIPMENT MAINTENANCE |
| EC16 NON-VEGETATED STABILIZATION | NS11 PILE DRIVING OPERATIONS |
| | NS12 CONCRETE CURING |
| | NS13 CONCRETE FINISHING |
| | NS14 MATERIAL AND EQUIPMENT USE |
| | NS15 DEMOLITION ADJACENT TO WATER |
| | NS16 TEMPORARY BATCH PLANTS |
| TEMPORARY SEDIMENT CONTROL | WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL |
| SE1 SILT FENCE | WM1 MATERIAL DELIVERY AND STORAGE |
| SE2 SEDIMENT BASIN | WM2 MATERIAL USE |
| SE3 SEDIMENT TRAP | WM3 STOCKPILE MANAGEMENT |
| SE4 CHECK DAM | WM4 SPILL PREVENTION AND CONTROL |
| SE5 FIBER ROLLS | WM5 SOLID WASTE MANAGEMENT |
| SE6 GRAVEL BAG BERM | WM6 HAZARDOUS WASTE MANAGEMENT |
| SE7 STREET SWEEPING AND VACUUMING | WM7 CONTAMINATION SOIL MANAGEMENT |
| SE8 SAND BAG BARRIER | WM8 CONCRETE WASTE MANAGEMENT |
| SE9 STRAW BALE BARRIER | WM9 SANITARY/SEPTIC WASTE MANAGEMENT |
| SE10 STORM DRAIN INLET PROTECTION | WM10 LIQUID WASTE MANAGEMENT |
| SE11 ACTIVE TREATMENT SYSTEMS | |
| SE12 TEMPORARY SILT DIKE | |
| SE13 COMPOST SOCKS AND BERMS | |
| SE14 BIOFILTER BAGS | |
| WIND EROSION CONTROL | |
| WE1 WIND EROSION CONTROL | |



NOTES:
1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
2. Not applicable in paved areas.
3. Not applicable with concentrated flows.



NOTES:
1. Construct the length of each mesh so that the change in line direction is 90 degrees and the mesh length within 500'.
2. The top 1/2" of mesh shall be buried under soil.
3. Stake dimensions are nominal.
4. Dimension may vary to fit field conditions.
5. Stakes shall be spaced at 4'-0" maximum and shall be installed on downstream side of fence.
6. Stakes to crimp and fence fabric to fit around each stake one full turn. Secure fabric to stake with 4 stakes.
7. Stakes shall be driven tightly together to prevent potential penetration of sediment to joint. The top of the stakes shall be buried with soil.
8. For all stakes, fence fabric shall be folded around face stakes one full turn and secured with 4 stakes.
9. Minimum 4 stakes per stake. Dimensions shown are typical.
10. Cross barriers shall be a minimum of 1/2" and a maximum of 1/2" the height of the silt fence.
11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind all times.
12. Existing structures shall not be placed on silt fence locations.
13. Sandbags used and layers shall be offset to alternate gaps.
14. Add 3-4 bags to cross barrier on downstream side of silt fence on needed to prevent failure of assembly and as a drainage base on the thin of disturbance.





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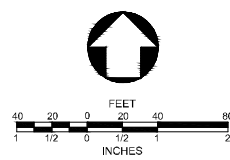
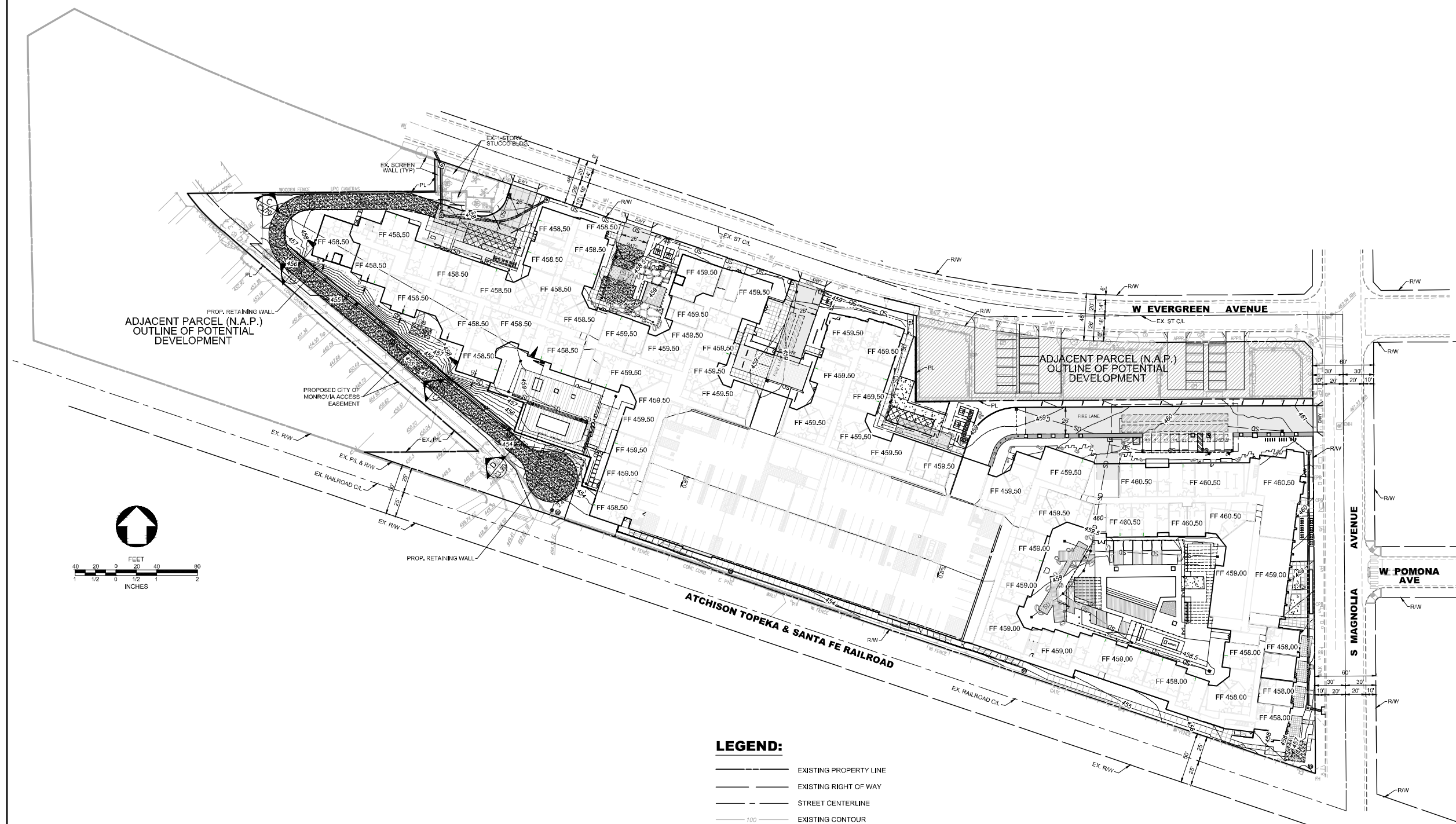
As indicated
Scale

**OVERALL
GRADING PLAN**

Title

C3.00

REVISED 3/5/2019



LEGEND:

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- STREET CENTERLINE
- 100 EXISTING CONTOUR
- 100 PROPOSED CONTOUR
- 80 PROPOSED STORM DRAIN LINE
- [Hatched Box] NOT A PART OF THE PROJECT
- [Solid Grey Box] FIRE LANE
- [Dotted Box] ACCESS ROAD
- [Cross-hatched Box] INFILTRATION BASIN
- [Diagonal-hatched Box] RAINWATER HARVESTING SYSTEM

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APARTMENT** MONROVIA, CA

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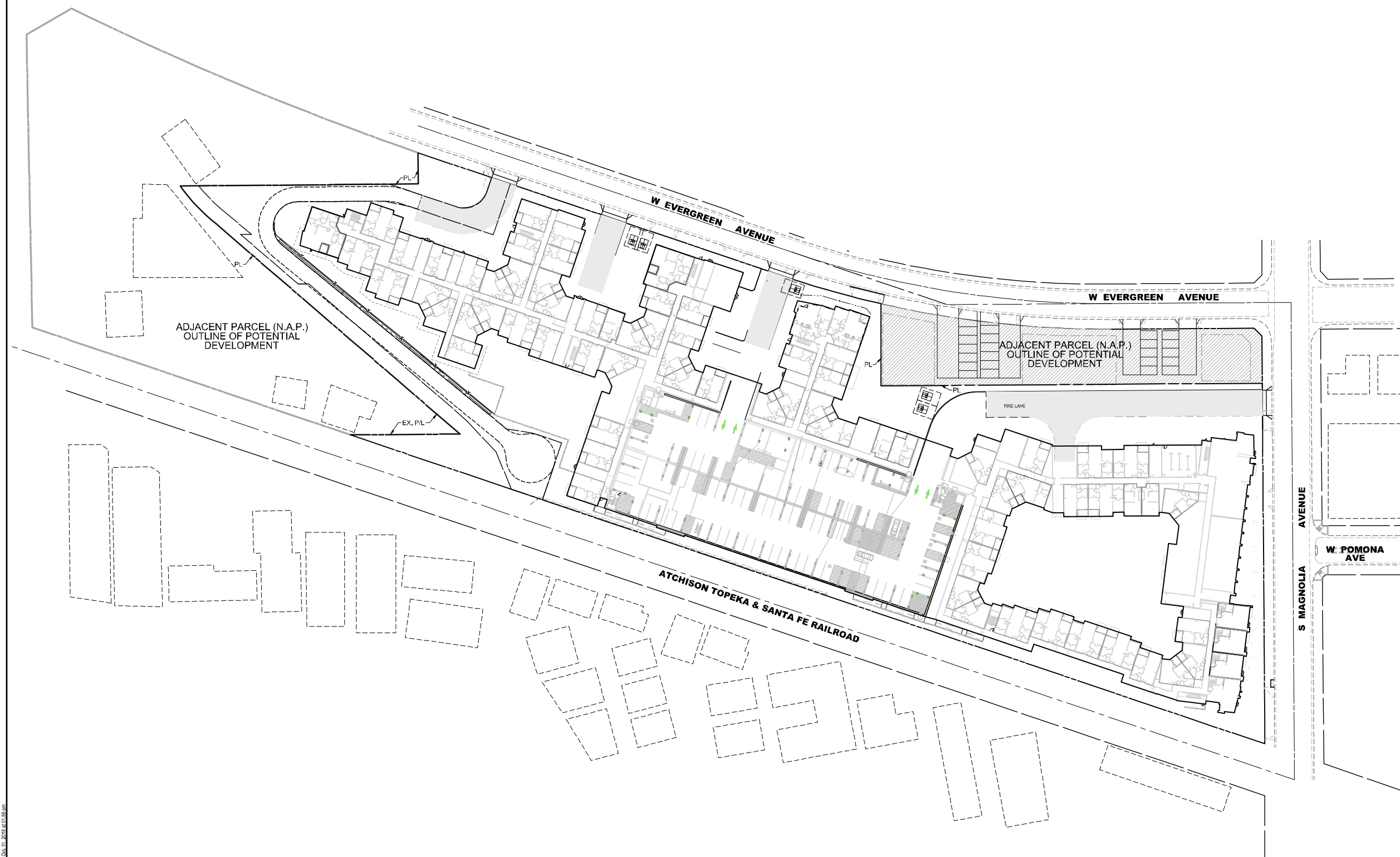
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Scale

**PROXIMITY TO
ADJACENT
BLDGS**

Title

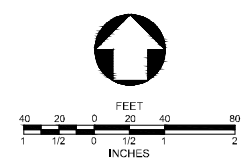
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REVISED 3/5/2019



LEGEND:

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- STREET CENTERLINE
- - - - EXISTING BUILDING
- PROPOSED BUILDING



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CONSTRUCTION NOTES

- 1 CONSTRUCT CONCRETE CURB PER SPPWC PLAN 120-1, A1-6(150)
- 2 CONSTRUCT RETAINING WALL, TYPE 7B PER SPPWC STD. PLAN 616-3 OR APPROVED SIMILAR
- 3 CONSTRUCT 4" CONCRETE WALK PER DETAIL 3 ON SHEET C5.00, FINISH PER LANDSCAPE
- 4 6" THICK REINFORCED CONCRETE PAVEMENT PER DETAIL 1 ON C5.00
- 5 CONSTRUCT 15' WIDE ACCESS ROAD PER DETAIL ON SHEET 5.00
- 6 CONSTRUCT CONCRETE DRIVEWAY PER SEPARATE PERMIT
- 7 CONSTRUCT FLUSH CURB, 0" OF PER SPPWC PLAN 120-1, TYPE A1
- 8 INSTALL 24"x24" BROOKS AREA DRAIN OR APPROVED SIMILAR
- 9 INSTALL PVC STORM DRAIN, SLOPE & LENGTH PER PLAN
- 10 INSTALL PVC STORM DRAIN OVERFLOW, SLOPE & LENGTH PER PLAN
- 11 INSTALL STORM DRAIN CLEANOUT PER DETAIL ON SHEET 7 C5.19
- 12 INSTALL STORM DRAIN MANHOLE PER SPPWC STD. PLAN 321-2
- 13 INSTALL INFILTRATION BASIN, SIZE PER PLAN PER DETAIL 5 ON SHEET C5.00
- 14 INSTALL RAINWATER HARVESTING SYSTEM PER DETAIL ON SHEET C5.00
- 15 INSTALL 12"x24" CATCHBASIN, ZURN MODEL Z887, WITH CONNECTING TRENCH DRAIN 6" W x 12" D, ZURN MODEL Z886 WITH REINFORCED SLOTTED STAINLESS STEEL GRATE CLASS C, OR APPROVED EQUAL
- 16 EXISTING ADJUST TO GRADE
- 17 3" WIDE LONGITUDINAL GUTTER PER DETAIL 4 ON SHEET C5.00
- 18 12"x12" BROOKS AREA DRAIN OR APPROVED SIMILAR

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Project Name

Project Number

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Scale

**GRADING AND
DRAINAGE PLAN
(SHEET 1 OF 6)**

Title

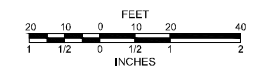
C3.10

MATCH LINE - SEE SHEET C3-20

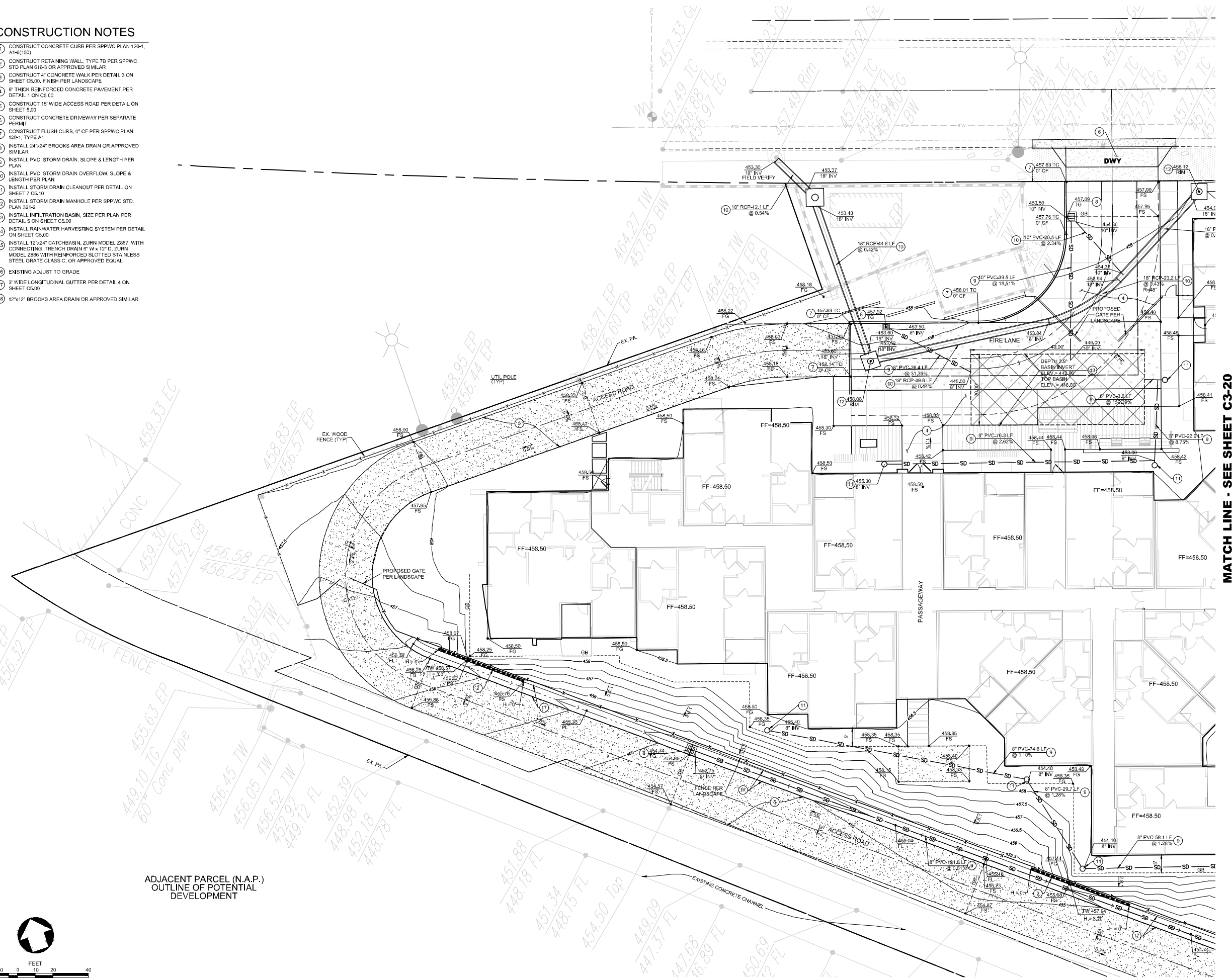
MATCH LINE - SEE SHEET C3.60

REVISED 3/5/2019

ADJACENT PARCEL (N.A.P.)
OUTLINE OF POTENTIAL
DEVELOPMENT



DATE PLOTTED: 03/05/2019 10:58:00 AM



CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE CURB PER SPPWC PLAN 120-1, A1-(8/15)
2. CONSTRUCT RETAINING WALL, TYPE 78 PER SPPWC STD PLAN 618-3 OR APPROVED SIMILAR
3. CONSTRUCT 4" CONCRETE WALK PER DETAIL 3 ON SHEET C5.00, FINISH PER LANDSCAPE
4. 6" THICK REINFORCED CONCRETE PAVEMENT PER DETAIL 1 ON C5.00
5. CONSTRUCT 18" WIDE ACCESS ROAD PER DETAIL ON SHEET 5.00
6. CONSTRUCT CONCRETE DRIVEWAY PER SEPARATE PERMIT
7. CONSTRUCT FLUSH CURB, 0" CF PER SPPWC PLAN 120-1, TYPE A1
8. INSTALL 24"x24" BROOKS AREA DRAIN OR APPROVED SIMILAR
9. INSTALL PVC STORM DRAIN, SLOPE & LENGTH PER PLAN
10. INSTALL PVC STORM DRAIN OVERFLOW, SLOPE & LENGTH PER PLAN
11. INSTALL STORM DRAIN CLEANOUT PER DETAIL ON SHEET 7 C5.10
12. INSTALL STORM DRAIN MANHOLE PER SPPWC STD. PLAN 321-2
13. INSTALL INFILTRATION BASIN, SIZE PER PLAN PER DETAIL 5 ON SHEET C5.00
14. INSTALL RAINWATER HARVESTING SYSTEM PER DETAIL ON SHEET C5.00
15. INSTALL 12"x24" CATCH-BASIN, ZURN MODEL Z867, WITH CONNECTING FRENCH DRAIN 6" W x 12" D, ZURN MODEL Z866 WITH REINFORCED SLOTTED STAINLESS STEEL GRATE CLASS C, OR APPROVED EQUAL
16. EXISTING ADJUST TO GRADE
17. 3" WIDE LONGITUDINAL GUTTER PER DETAIL 4 ON SHEET C5.00
18. 12"x12" BROOKS AREA DRAIN OR APPROVED SIMILAR

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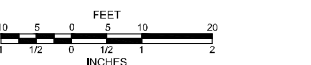
Project Name

Project Number

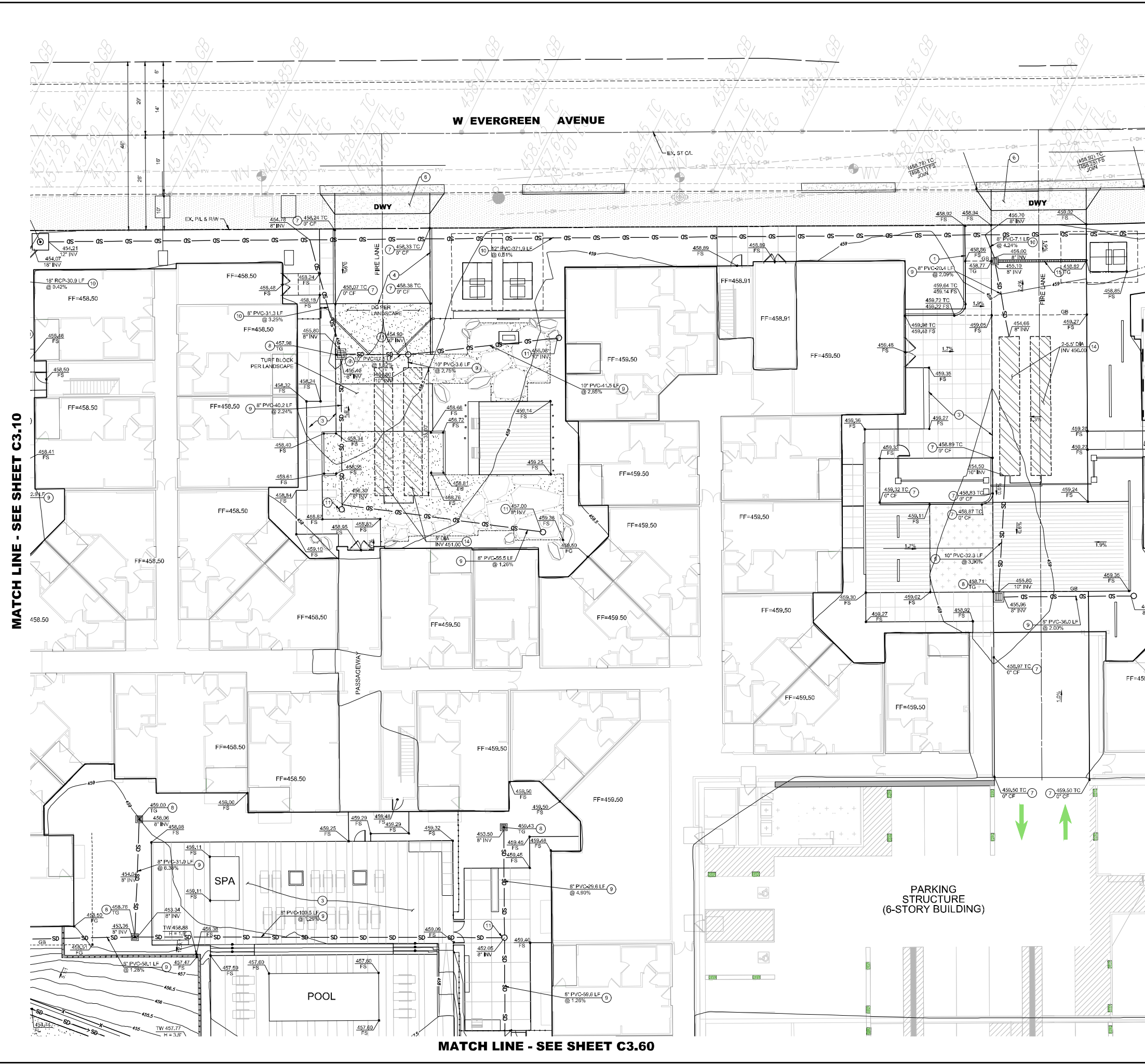
As indicated
 Scale

**GRADING AND
 DRAINAGE PLAN
 (SHEET 2 OF 6)**

C3-20



REVISED 3/5/2019

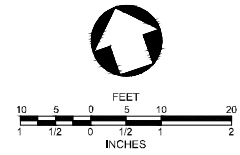


MATCH LINE - SEE SHEET C3.10

MATCH LINE - SEE SHEET C3.30

MATCH LINE - SEE SHEET C3.60

DATE PLOTTED: 03/11/2019 10:58 AM



CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE CURB PER SPPWC PLAN 120-1, A1-6150.
2. CONSTRUCT RETAINING WALL, TYPE 7B PER SPPWC STD PLAN 616-3 OR APPROVED SIMILAR.
3. CONSTRUCT 4" CONCRETE WALK PER DETAIL 3 ON SHEET C5.00, FINISH PER LANDSCAPE.
4. 8" THICK REINFORCED CONCRETE PAVEMENT PER DETAIL 1 ON C5.00.
5. CONSTRUCT 15' WIDE ACCESS ROAD PER DETAIL ON SHEET 5.00.
6. CONSTRUCT CONCRETE DRIVEWAY PER SEPARATE PERMIT.
7. CONSTRUCT FLUSH CURBS, 0" CF PER SPPWC PLAN 120-1, TYPE A1.
8. INSTALL 24"x24" BROOKS AREA DRAIN OR APPROVED SIMILAR.
9. INSTALL PVC STORM DRAIN, SLOPE & LENGTH PER PLAN.
10. INSTALL PVC STORM DRAIN OVERFLOW, SLOPE & LENGTH PER PLAN.
11. INSTALL STORM DRAIN CLEANOUT PER DETAIL ON SHEET 7 C5.10.
12. INSTALL STORM DRAIN MAN-HOLE PER SPPWC STD. PLAN 321-2.
13. INSTALL INFILTRATION BASIN, SIZE PER PLAN PER DETAIL 5 ON SHEET C5.00.
14. INSTALL RAINWATER HARVESTING SYSTEM PER DETAIL ON SHEET C5.00.
15. INSTALL 12"x24" CATCHBASIN, ZURN MODEL Z887, WITH CONNECTING TRENCH DRAIN 6" W x 12" D, ZURN MODEL Z886 WITH REINFORCED SLOTTED STAINLESS STEEL GRATE CLASS C, OR APPROVED EQUAL.
16. EXISTING ADJUST TO GRADE.
17. 3" WIDE LONGITUDINAL GUTTER PER DETAIL 4 ON SHEET C5.00.
18. 12"x12" BROOKS AREA DRAIN OR APPROVED SIMILAR.

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Project Number

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Scale

**GRADING AND
DRAINAGE PLAN
(SHEET 3 OF 6)**

Title

C3.30

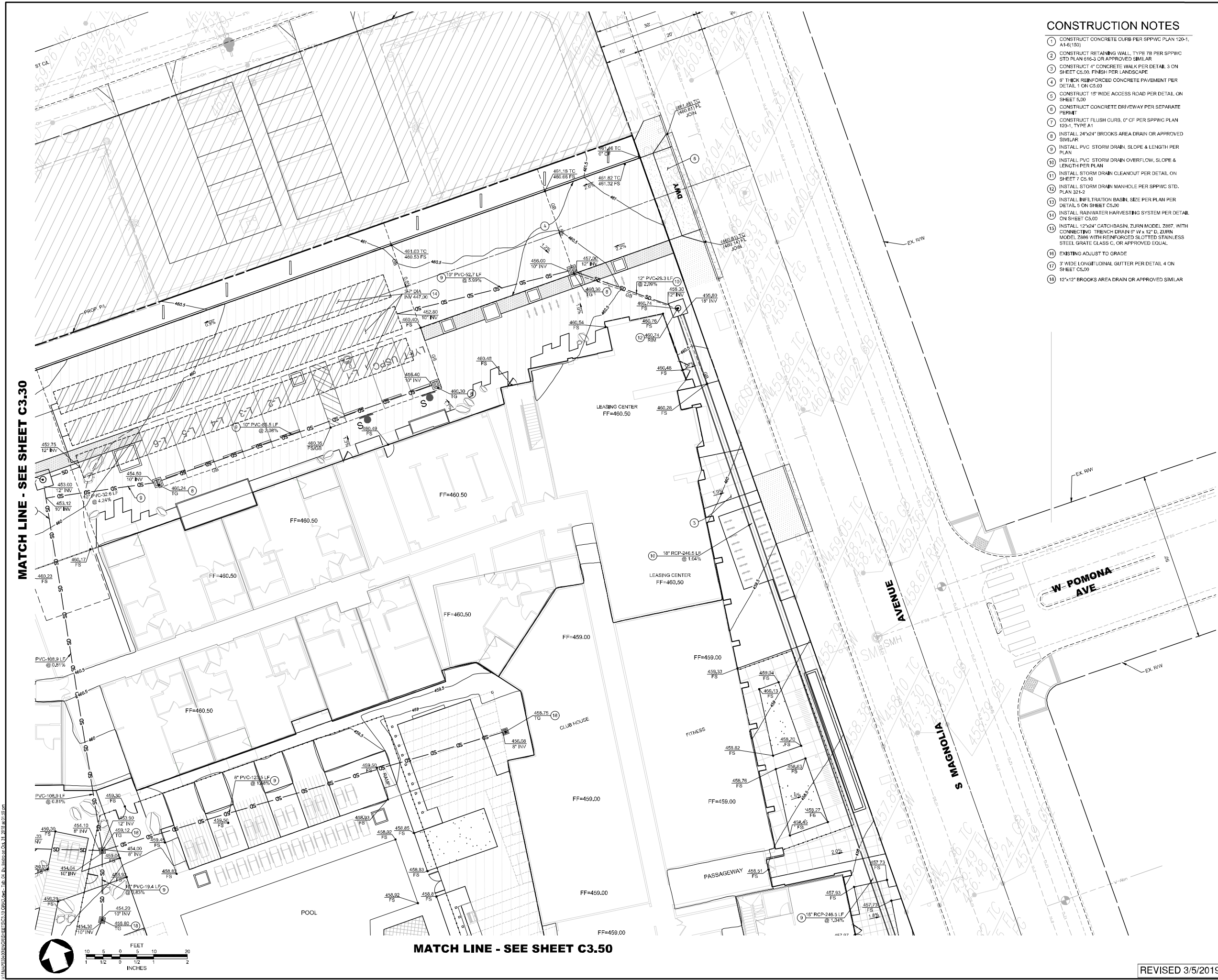
REVISED 3/5/2019

MATCH LINE - SEE SHEET C3-20

MATCH LINE - SEE SHEET C3.40

MATCH LINE - SEE SHEET C3.60

\\MAPL03\BUREAU\PROJECTS\2019\C3.30\DWG\C3.30.dwg, TCR, CS, B, 10/26/2019, 10:58:11 AM, 10/26/2019



CONSTRUCTION NOTES

- 1 CONSTRUCT CONCRETE CURB PER SPPWC PLAN 120-1, A1-B(150)
- 2 CONSTRUCT RETAINING WALL, TYPE 7B PER SPPWC STD PLAN 616-3 OR APPROVED SIMILAR
- 3 CONSTRUCT 4" CONCRETE WALK PER DETAIL 3 ON SHEET C5.00. FINISH PER LANDSCAPE
- 4 6" THICK REINFORCED CONCRETE PAVEMENT PER DETAIL 1 ON C5.00
- 5 CONSTRUCT 15' WIDE ACCESS ROAD PER DETAIL ON SHEET 5.00
- 6 CONSTRUCT CONCRETE DRIVEWAY PER SEPARATE PERMIT
- 7 CONSTRUCT FLUSH CURB, 0" CF PER SPPWC PLAN 120-1, TYPE A1
- 8 INSTALL 24"x24" BROOKS AREA DRAIN OR APPROVED SIMILAR
- 9 INSTALL PVC STORM DRAIN, SLOPE & LENGTH PER PLAN
- 10 INSTALL PVC STORM DRAIN OVERFLOW, SLOPE & LENGTH PER PLAN
- 11 INSTALL STORM DRAIN CLEANOUT PER DETAIL ON SHEET 7 C5.10
- 12 INSTALL STORM DRAIN MANHOLE PER SPPWC STD. PLAN 32-12
- 13 INSTALL INFILTRATION BASIN, SIZE PER PLAN PER DETAIL 5 ON SHEET C5.00
- 14 INSTALL RAINWATER HARVESTING SYSTEM PER DETAIL ON SHEET C5.00
- 15 INSTALL 22"x24" CATCH BASIN, ZURN MODEL 2867, WITH CONNECTING TRENCH DRAIN 8" W x 12" D, ZURN MODEL 2886 WITH REINFORCED SLOTTED STAINLESS STEEL GRATE CLASS C, OR APPROVED EQUAL
- 16 EXISTING ADJUST TO GRADE
- 17 3" WIDE LONGITUDINAL GUTTER PER DETAIL 4 ON SHEET C5.00
- 18 12"x12" BROOKS AREA DRAIN OR APPROVED SIMILAR

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Seal / Signature

Project Name

Project Number

As indicated
Scale

GRADING AND DRAINAGE PLAN (SHEET 4 OF 6)

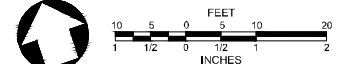
Title

C3.40

REVISED 3/5/2019

MATCH LINE - SEE SHEET C3.30

MATCH LINE - SEE SHEET C3.50



DATE PLOTTED: 03/11/2019 10:58 AM

MATCH LINE - SEE SHEET C3.40

CONSTRUCTION NOTES

- 1 CONSTRUCT CONCRETE CURB PER SPPWC PLAN 120-1, A1-8(10)
- 2 CONSTRUCT RETAINING WALL, TYPE 7B PER SPPWC STD PLAN 616-3 OR APPROVED SIMILAR
- 3 CONSTRUCT 4" CONCRETE WALK PER DETAIL 3 ON SHEET C5.00, FINISH PER LANDSCAPE
- 4 8" THICK REINFORCED CONCRETE PAVEMENT PER DETAIL 1 ON C5.00
- 5 CONSTRUCT 15' WIDE ACCESS ROAD PER DETAIL ON SHEET 5.00
- 6 CONSTRUCT CONCRETE DRIVEWAY PER SEPARATE PERMIT
- 7 CONSTRUCT FLUSH CURB, 0" CF PER SPPWC PLAN 120-1, TYPE A1
- 8 INSTALL 24"x24" BROOKS AREA DRAIN OR APPROVED SIMILAR
- 9 INSTALL PVC STORM DRAIN, SLOPE & LENGTH PER PLAN
- 10 INSTALL PVC STORM DRAIN OVERFLOW, SLOPE & LENGTH PER PLAN
- 11 INSTALL STORM DRAIN CLEANOUT PER DETAIL ON SHEET 7 C3.10
- 12 INSTALL STORM DRAIN MANHOLE PER SPPWC STD. PLAN 321-2
- 13 INSTALL INFILTRATION BASIN, SIZE PER PLAN PER DETAIL 5 ON SHEET C5.00
- 14 INSTALL RAINWATER HARVESTING SYSTEM PER DETAIL ON SHEET C5.00
- 15 INSTALL 12"x24" CATCHBASIN, ZURN MODEL Z887, WITH CONNECTING TRENCH DRAIN 5" x 12" D, ZURN MODEL Z886 WITH REINFORCED SLOTTED STAINLESS STEEL GRATE CLASS C, OR APPROVED EQUAL
- 16 EXISTING ADJUST TO GRADE
- 17 3" WIDE LONGITUDINAL GUTTER PER DETAIL 4 ON SHEET C5.00
- 18 12"x12" BROOKS AREA DRAIN OR APPROVED SIMILAR

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Project Name

Project Number

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Scale

GRADING AND
DRAINAGE PLAN
(SHEET 5 OF 6)

Title

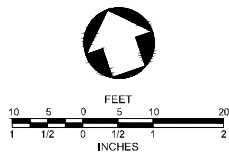
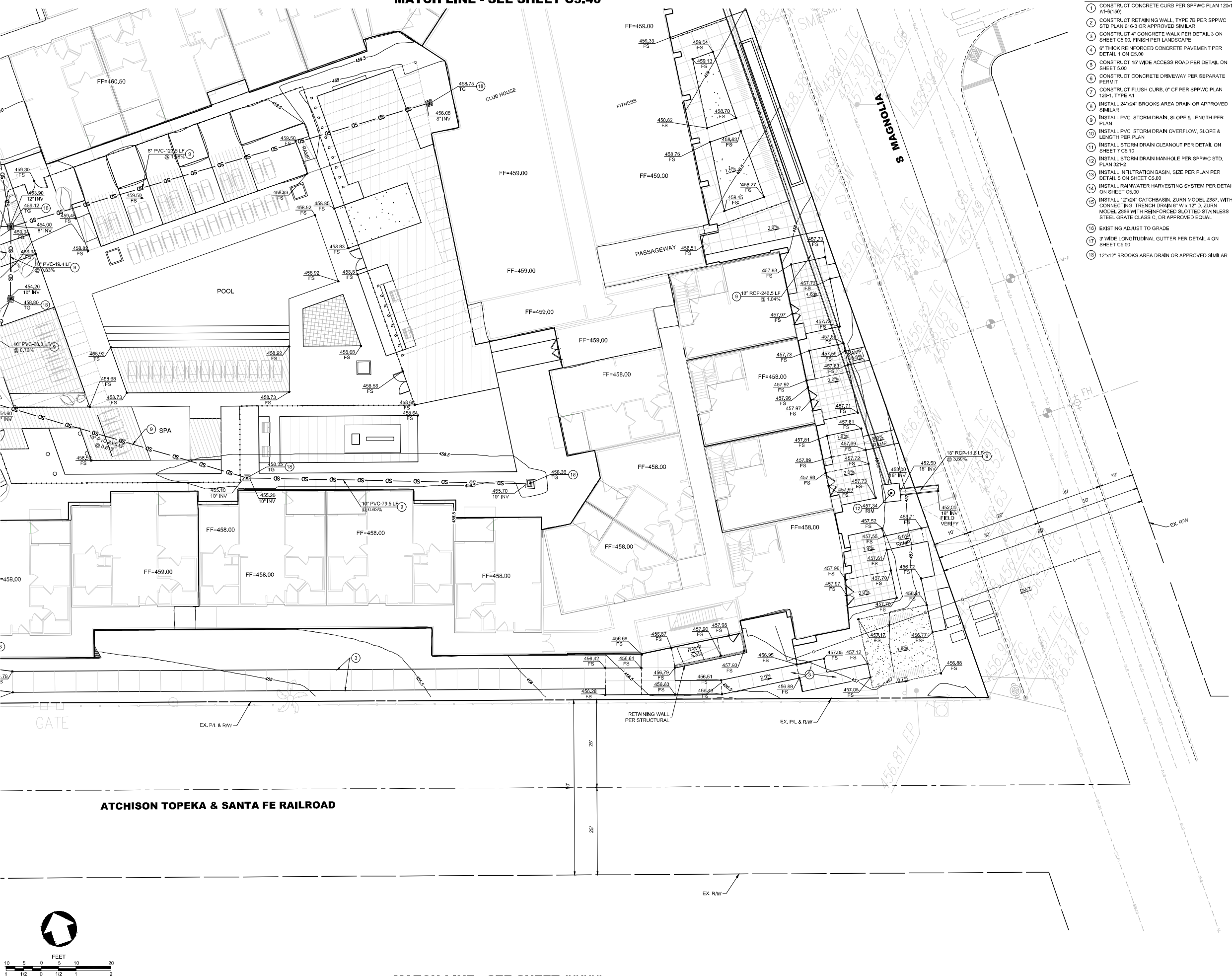
C3.50

MATCH LINE - SEE SHEET C3.40 & C3.60

MATCH LINE - SEE SHEET C3.40 & C3.60

MATCH LINE - SEE SHEET #####

REVISED 3/5/2019





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Project Name

Project Number

As indicated
Scale

GRADING AND
DRAINAGE PLAN
(SHEET 6 OF 6)

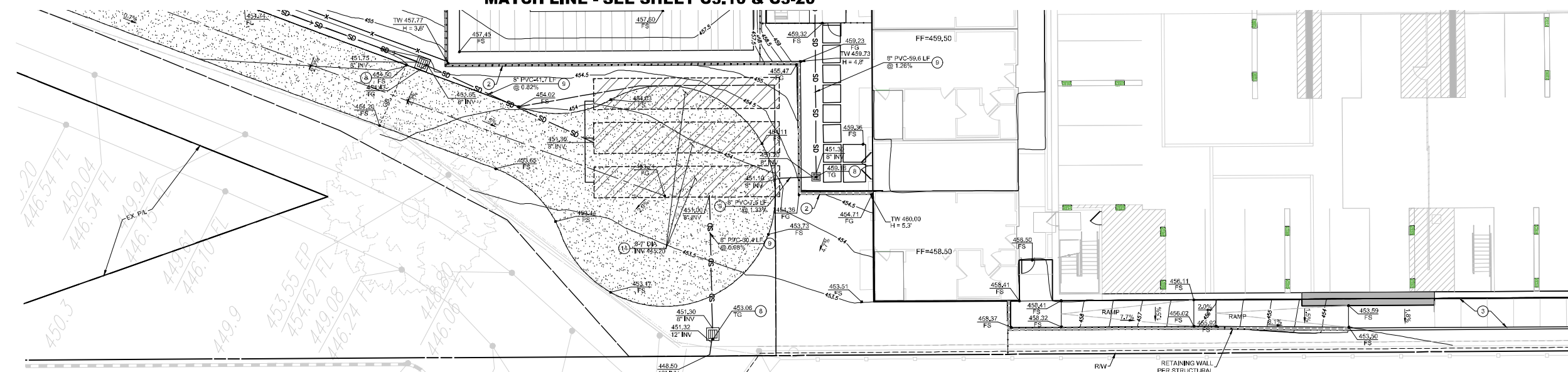
C3.60

REVISED 3/5/2019

MATCH LINE - SEE SHEET C3.10 & C3-20

MATCH LINE - SEE BELOW LEFT HEREON

MATCH LINE - SEE SHEET C3.50

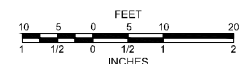


ATCHISON TOPEKA & SANTA FE RAILROAD

PARKING
STRUCTURE
(6-STORY BUILDING)

CONSTRUCTION NOTES

- 1 CONSTRUCT CONCRETE CURB PER SPPWC PLAN 120-1, A1-6(150)
- 2 CONSTRUCT RETAINING WALL, TYPE 7B PER SPPWC STD PLAN 616-3 OR APPROVED SIMILAR
- 3 CONSTRUCT 4" CONCRETE WALK PER DETAIL 3 ON SHEET C5.00, FINISH PER LANDSCAPE
- 4 6" THICK REINFORCED CONCRETE PAVEMENT PER DETAIL 1 ON C5.00
- 5 CONSTRUCT 15' WIDE ACCESS ROAD PER DETAIL ON SHEET 5.00
- 6 CONSTRUCT CONCRETE DRIVEWAY PER SEPARATE PERMIT
- 7 CONSTRUCT FLUSH CURB, 0" OF PER SPPWC PLAN 120-1, TYPE A1
- 8 INSTALL 24"x24" BROOKS AREA DRAIN OR APPROVED SIMILAR
- 9 INSTALL PVC STORM DRAIN, SLOPE & LENGTH PER PLAN
- 10 INSTALL PVC STORM DRAIN OVERFLOW, SLOPE & LENGTH PER PLAN
- 11 INSTALL STORM DRAIN CLEANOUT PER DETAIL ON SHEET 7 C5.10
- 12 INSTALL STORM DRAIN MANHOLE PER SPPWC STD. PLAN 321-2
- 13 INSTALL INFILTRATION BASIN, SIZE PER PLAN PER DETAIL 5 ON SHEET C5.00
- 14 INSTALL RAINWATER HARVESTING SYSTEM PER DETAIL ON SHEET C5.00
- 15 INSTALL 12"x24" CATCH BASIN, ZURN MODEL Z807, WITH CONNECTING TRENCH DRAIN 6" W x 12" D, ZURN MODEL Z886 WITH REINFORCED SLOTTED STAINLESS STEEL GRATE CLASS C, OR APPROVED EQUAL
- 16 EXISTING ADJUST TO GRADE
- 17 3" WIDE LONGITUDINAL GUTTER PER DETAIL 4 ON SHEET C5.00
- 18 12"x12" BROOKS AREA DRAIN OR APPROVED SIMILAR



MATCH LINE - SEE ABOVE RIGHT HEREON

MATCH LINE - SEE ABOVE RIGHT HEREON



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Project Name

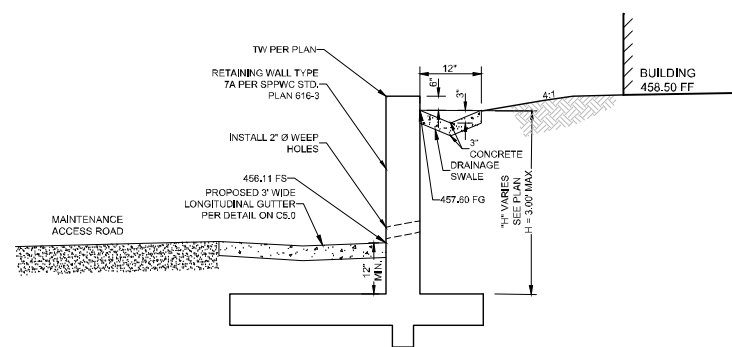
Project Number

As indicated
Scale

SECTIONS

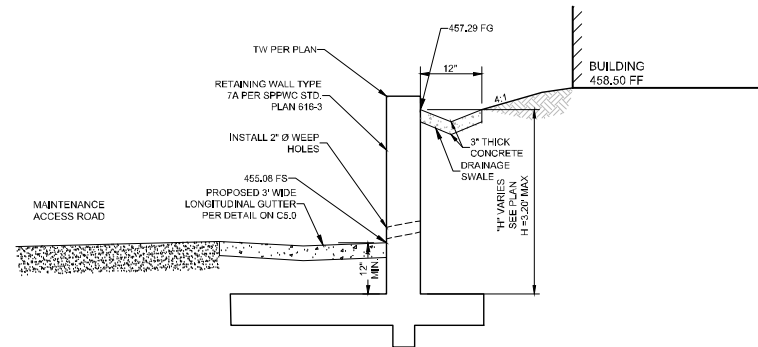
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C3.70



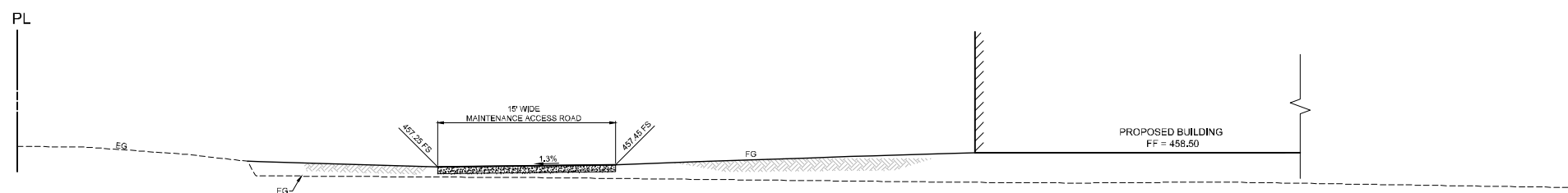
RETAINING WALL SECTION A

NTS



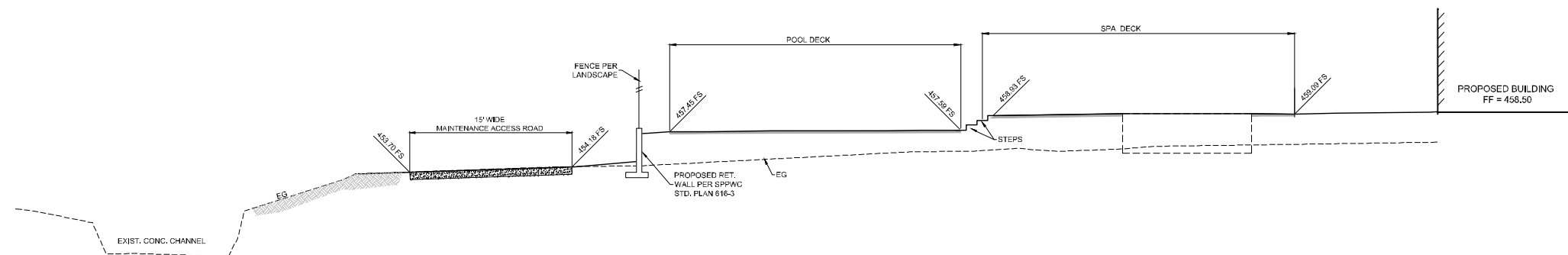
RETAINING WALL SECTION B

NTS



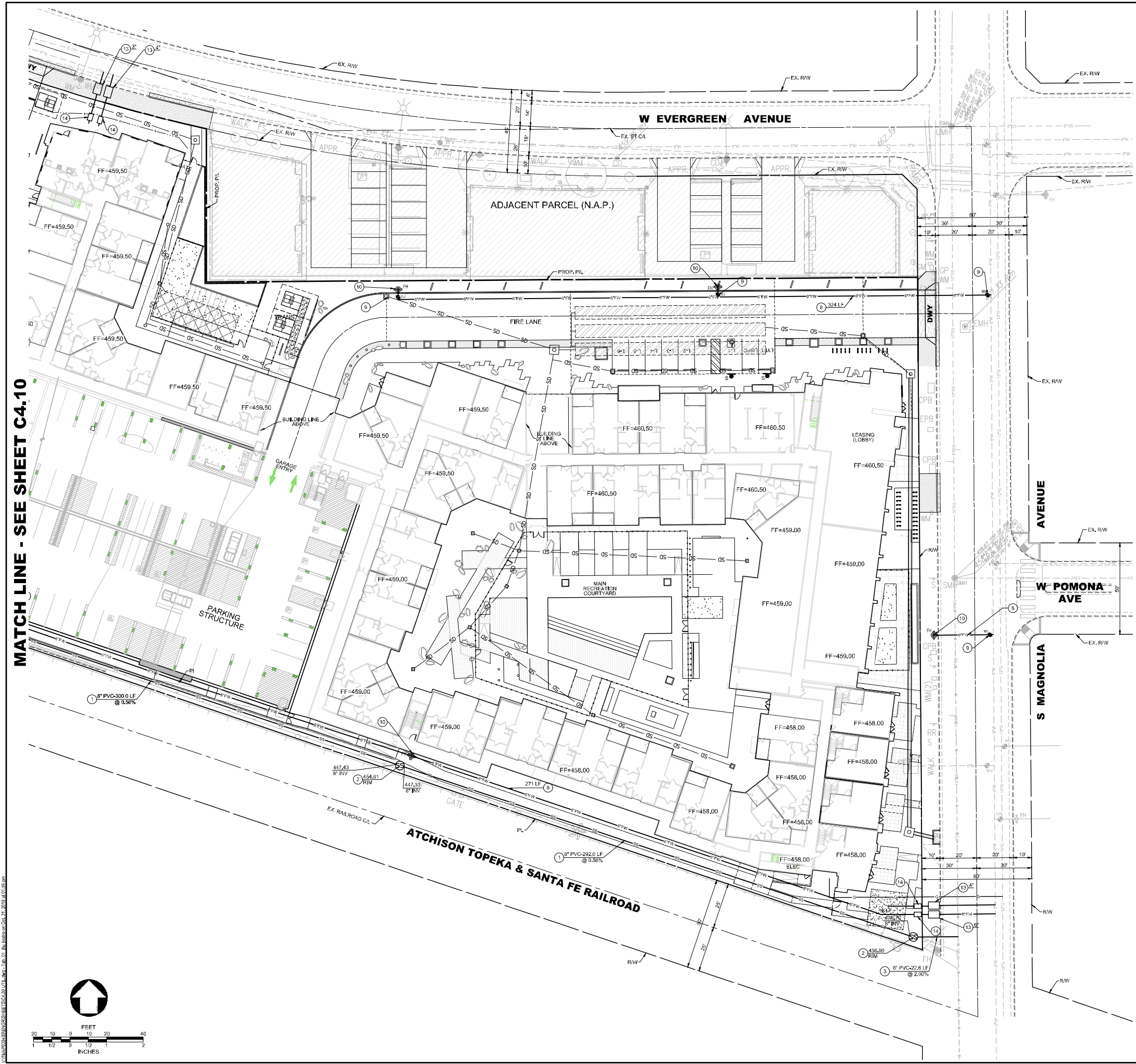
RETAINING WALL SECTION C

SCALE 1" = 5'



RETAINING WALL SECTION D

SCALE 1" = 5'



CONSTRUCTION NOTES

- 1 INSTALL SANITARY SEWER, PVC SDR35, SIZE, LENGTH & SLOPE PER PLAN
- 2 CONSTRUCT SANITARY SEWER MANHOLE PER SPPWC STD PLAN 200-3
- 3 INSTALL HOUSE CONNECTION SEWER PER SPPWC STD. PLAN 222-2
- 4 BUILDING POINT OF CONNECTION. REFER TO MEP FOR CONTINUATION
- 5 INSTALL CLEANOUT STRUCTURE PER SPPWC STD. PLAN 204-2
- 6 FIRE HOSE CONNECTION, REFER TO ARCHMEP PLANS FOR LOCATION
- 7 INSTALL DOMESTIC WATER LINE, SIZE AND LENGTH PER PLAN
- 8 INSTALL FIRE WATER LINE, SIZE AND LENGTH PER PLAN
- 9 INSTALL GATE VALVE, SIZE PER PLAN
- 10 INSTALL FIRE HYDRANT
- 11 CONSTRUCT THRUST BLOCK PER DETAIL 6 ON SHEET C5.10
- 12 INSTALL WATER VALVE
- 13 INSTALL FIRE WATER METER, SIZE PER PLAN
- 14 INSTALL BACK FLOW PREVENTER

NOTE:
ALL UTILITIES ON SITE ARE PRIVATE

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TCR TRAMMELL CROW RESIDENTIAL
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Project Name

Project Number

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Scale

**UTILITY PLAN
(SHEET 1 OF 2)**

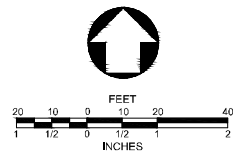
Title

C4.00

REVISED 3/5/2019

MATCH LINE - SEE SHEET C4.10

\\MAPS\PROJECTS\RESIDENTIAL\2019\10_01_Bldgs\DWG\C4.00_11_2018.dwg





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Project Name

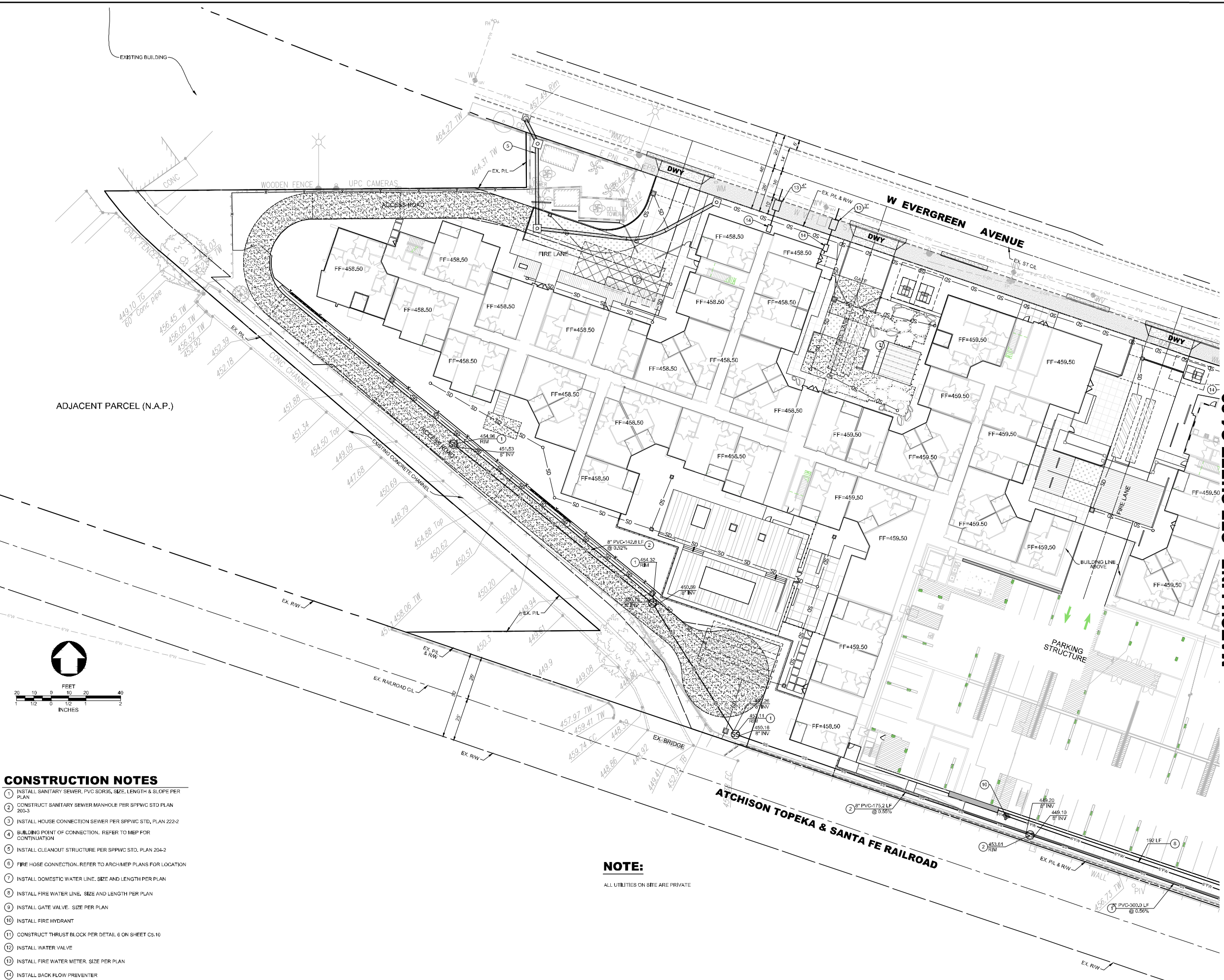
Project Number

As indicated
Scale

UTILITY PLAN
(SHEET 2 OF 2)

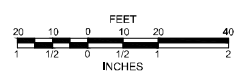
Title

C4.10



MATCH LINE - SEE SHEET C4.00

ADJACENT PARCEL (N.A.P.)



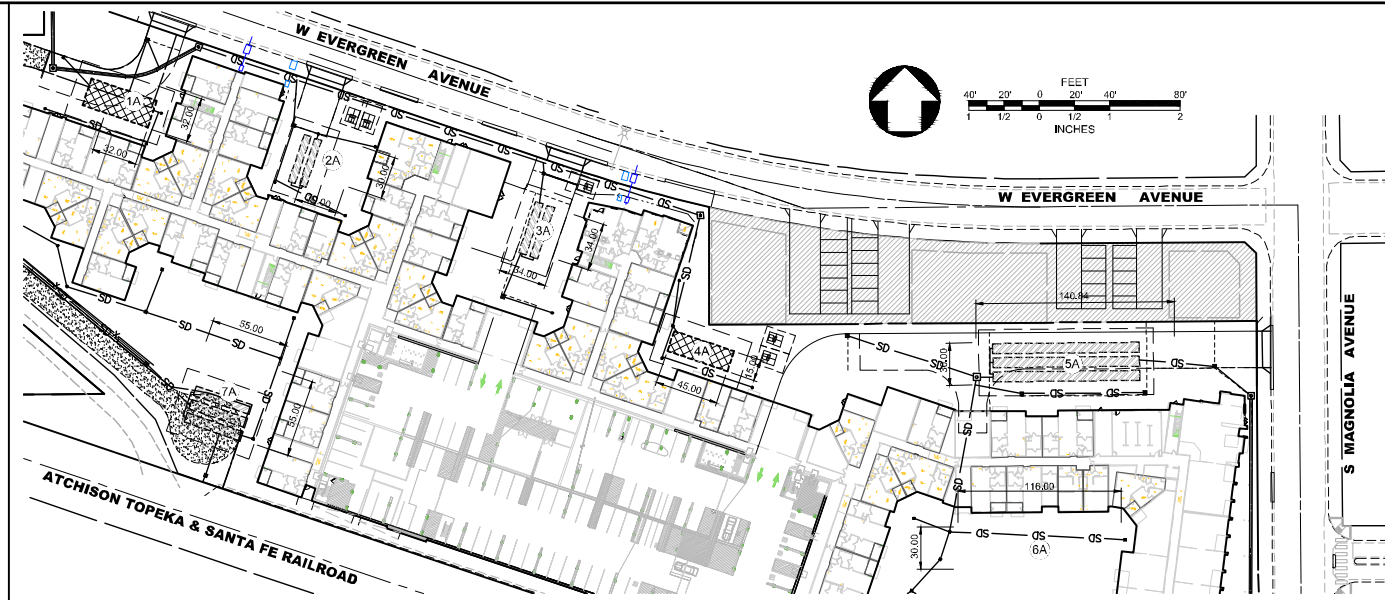
CONSTRUCTION NOTES

- 1 INSTALL SANITARY SEWER, PVC SDR35, SIZE, LENGTH & SLOPE PER PLAN
- 2 CONSTRUCT SANITARY SEWER MANHOLE PER SPPWC STD PLAN 204-3
- 3 INSTALL HOUSE CONNECTION SEWER PER SPPWC STD, PLAN 222-2
- 4 BUILDING POINT OF CONNECTION, REFER TO MEP FOR CONTINUATION
- 5 INSTALL CLEANOUT STRUCTURE PER SPPWC STD, PLAN 204-2
- 6 FIRE HOSE CONNECTION, REFER TO ARCH/MEP PLANS FOR LOCATION
- 7 INSTALL DOMESTIC WATER LINE, SIZE AND LENGTH PER PLAN
- 8 INSTALL FIRE WATER LINE, SIZE AND LENGTH PER PLAN
- 9 INSTALL GATE VALVE, SIZE PER PLAN
- 10 INSTALL FIRE HYDRANT
- 11 CONSTRUCT THRUST BLOCK PER DETAIL 6 ON SHEET C5-10
- 12 INSTALL WATER VALVE
- 13 INSTALL FIRE WATER METER, SIZE PER PLAN
- 14 INSTALL BACK FLOW PREVENTER

NOTE:
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REVISED 3/5/2019

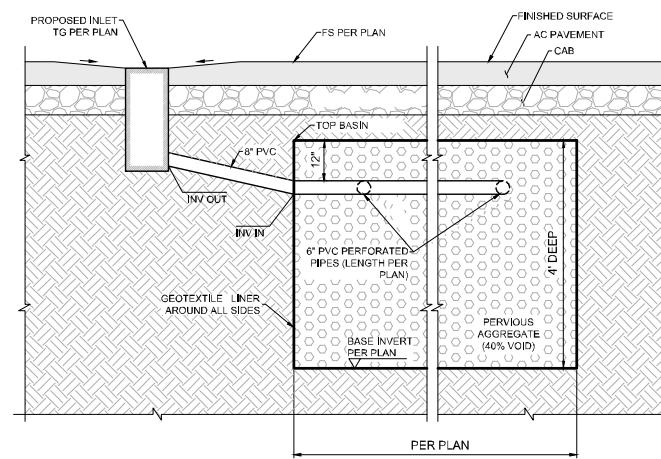
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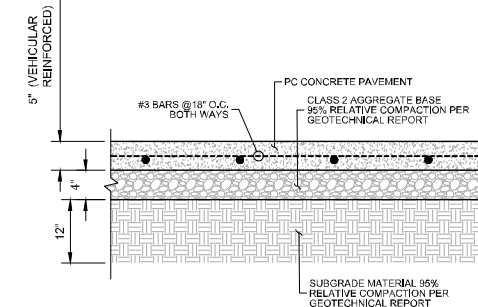
INFILTRATION BASIN LAYOUTS
NOT TO SCALE

LID CALCULATIONS							
SUBAREA	1A	2A	3A	4A	5A	6A	7A
DRAINAGE AREA	0.46	0.41	0.53	0.31	1.98	1.00	1.43
FLOW PATH LENGTH	128	155	125	118	581	276	267
FLOW PATH SLOPE	0.005	0.005	0.005	0.005	0.005	0.005	0.005
RAINFALL DEPTH	1.1	1.1	1.1	1.1	1.1	1.1	1.1
SOIL TYPE	006	006	006	006	006	006	006
IMPERVIOUS	0.9	0.9	0.9	0.9	0.9	0.9	0.9
RUNOFF VOLUME	1495	1332	1722	1008	6430	5196	4644
PEAK FLOW RATE	0.174	0.148	0.200	0.123	0.466	0.472	0.422
INFILTRATION RATE*	0.48	0.48	0.48	0.48	0.48	0.48	0.48
POROSITY	40	40	40	40	40	40	40
DRY WELL							
DRY WELL AREA REQUIRED	974	868	1122	657	4186	3383	3023
CALCULATED DEPTH	3.84'	3.84'	3.84'	3.84'	3.84'	3.84'	3.84'
DEPTH**	15'	15'	15'	15'	15'	15'	15'
DRY WELL AREA PROVIDED	1024	900	1156	676	4225	3481	3025

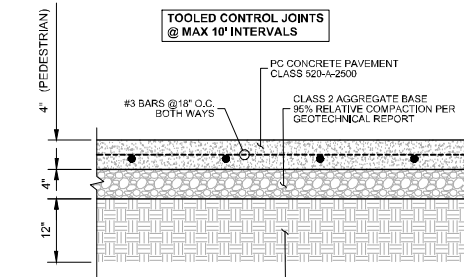
*ADJUSTED RATE. STORM WATER ARE TO BE PRETREATED, DOWNSPOUT AND CATCH BASINS SHALL HAVE FILTERS.
**THIS IS APPROXIMATE DEPTH AND IT IS SUBJECT TO CHANGE PER THE DIRECTION OF GEOTECHNICAL ENGINEER.



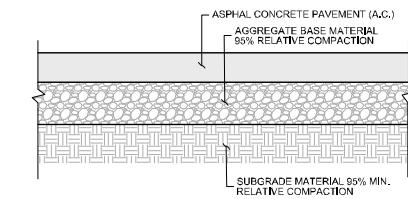
5 TYPICAL INFILTRATION BASIN DETAIL
NOT TO SCALE



1 TYP. REINF. CONCRETE PAVEMENT (VEHICULAR)
NOT TO SCALE



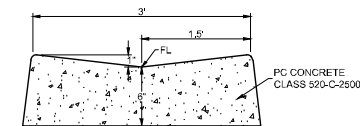
2 TYPICAL CONCRETE WALK
NOT TO SCALE



A.C. PAVEMENT TYPE	ASPHALT CONCRETE (INCHES)	BASE COURSE (INCHES)	RECOMPACTED SUBGRADE (INCHES)
PARKING	3"	4"	12"
DRIVEWAYS	3"	5"	12"
TRASH TRUCK & FIRE LANES	4"	8"	12"

NOTE: PAVEMENT SECTIONS ARE BASED ON GEOTECHNICAL REPORT RECOMMENDATIONS

3 TYPICAL AC PAVEMENT DETAIL
NOT TO SCALE



4 CONC. LONGITUDINAL GUTTER
NOT TO SCALE

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Seal / Signature

Project Name

Project Number

As Indicated
Scale

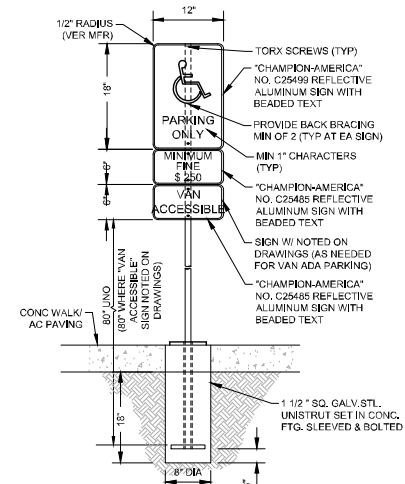
DETAILS
(SHEET 1 OF 2)

Title

C5.00

REVISED 3/5/2019

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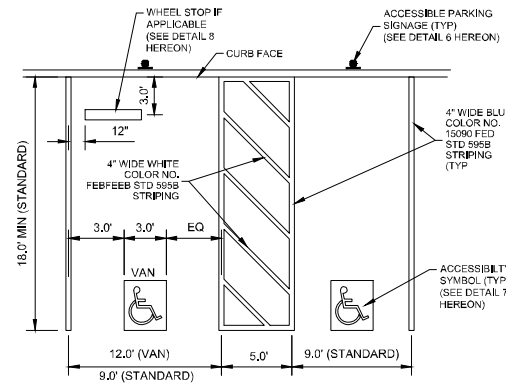
11 ACCESSIBLE ACCESS PARKING SIGNAGE DETAIL
NOT TO SCALE

SIGN AND IDENTIFICATION:

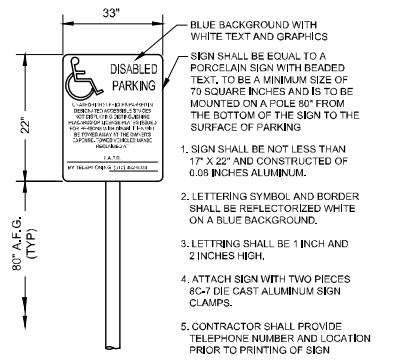
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSON. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO (COLOR NO. 15090 IN FEDERAL STANDARD 595B)
- CHARACTERS AND SYMBOLS SHALL BE WHITE ON BLUE BACKGROUND. (COLOR NO. 15090 PER FED STD 595B)

INTERNATIONAL SYMBOL OF ACCESSIBILITY NOTES:

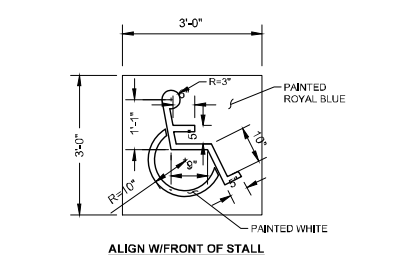
- 3"x3" SURFACE IDENTIFICATION AT ALL ACCESSIBLE PARKING STALLS.



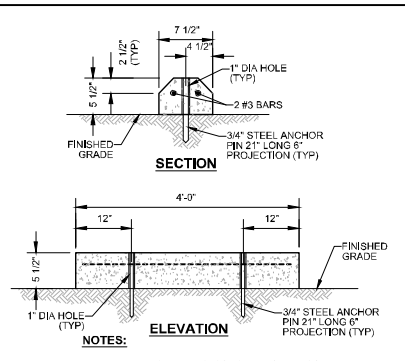
8 DOUBLE ACCESSIBLE PARKING STALLS DETAIL
NOT TO SCALE



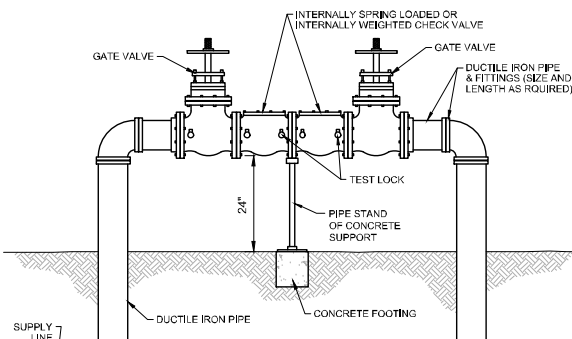
12 SITE ACCESSIBILITY TOW AWAY DETAIL
NOT TO SCALE



13 INTERNATIONAL SYMBOL OF ACCESSIBILITY DETAIL
NOT TO SCALE



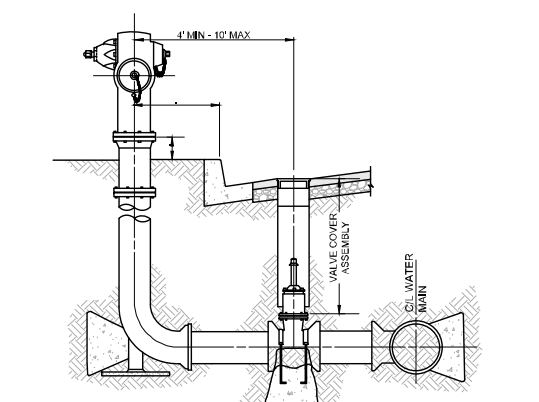
14 CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



9 BACKFLOW PREVENTION ASSEMBLY

NOTES:

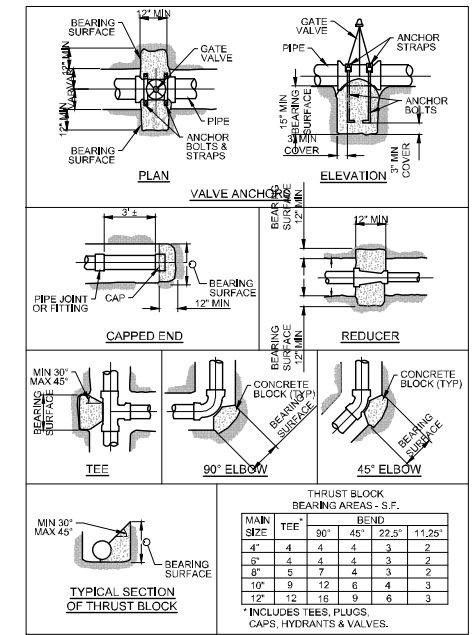
- THE DEVICE SHALL BE PREASSEMBLED AS A UNIT AT THE FACTORY. IF FURNISHED OTHERWISE, EACH COMPONENT SHALL MEET CURRENT AWWA OR USC SPECIFICATIONS.
- INSTALLATIONS AND MATERIALS SHALL CONFORM TO CURRENT LOCAL AND DHS CODE.
- ALL PIPES AND FITTINGS SHALL BE DUCTILE IRON EXCEPT AS SPECIFIED ON THE MAIN SUPPLY LINE.
- VALVES SHALL BE OUTSIDE STEM AND YOKE.



10 FIRE HYDRANT ASSEMBLY
NOT TO SCALE

NOTES:

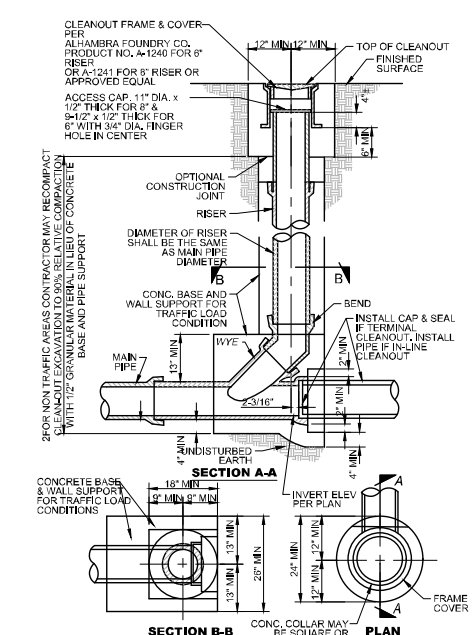
- BARRICADES, FENCES, WALLS, LANDSCAPING, ETC. SHALL NOT BE INSTALLED OR PLANTED WITHIN 3 FEET OF A HYDRANT
- FIRE HYDRANT SHALL BE ONE OF THE FOLLOWING:
A. CLOW/RICH - NO. 550, 555 OR 850
B. JAMES JONES - NO. J 3700 - FLUTED BARREL
C. MUELLER - A 480 - E
- HYDRANT SHALL BE SUPPLIED WITH 2-1/2"x4" OUTLETS AND 1-1/4" OR 1-3/4" PENTAGON NUTS ON CAPS AND OPERATING VALVES
- HYDRANT SHALL BE PAINTED WITH "O.S.H.A. SAFETY YELLOW" AMERITONE 719 OR APPROVED EQUAL
- HYDRANT BURY, VALVE AND TEE SHALL HAVE EITHER RING-TITE JOINTS OR MECHANICAL JOINTS COMPATIBLE WITH PIPE MATERIAL USED
- ALL PIPE AND FITTINGS FOR HYDRANT INSTALLATION SHALL BE CLASS 200



6 THRUST AND ANCHOR BLOCK DETAILS
NOT TO SCALE

GENERAL NOTES:

- ALL THRUST/ANCHOR BLOCKS SHALL BEAR AGAINST UNDISTURBED SOIL
- CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS
- ALL ANCHOR RODS AND ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIA & ANCHOR STRAPS SHALL BE 1/2" X 2" BAR
- THRUST BLOCK DESIGN IS BASED ON A WATER PRESSURE OF 150 PSI, AND A MAXIMUM ALLOWABLE SOIL BEARING VALUE OF 2000 PSF FOR MAXIMUM SOIL BEARING VALUES OF 1000 PSF INCREASE BEARING VALUES BY A FACTOR OF 2
- THE RATIO OF WIDTH TO HEIGHT OF THRUST BLOCKS SHALL NOT EXCEED 1.5 TO 1
- ANCHOR BLOCKS FOR VERTICAL BENDS SHALL BE CONSTRUCTED PER SPECIAL DETAIL



7 TYPICAL CLEANOUT DETAIL
NOT TO SCALE

NOTES:

- PIPE DIAMETER AND INVERT ELEVATION PER PLAN.
- PIPE AND FITTINGS EXCEPT AS OTHERWISE SHOWN HEREON SHALL BE OF THE SAME MATERIAL AS THE SEWER
- PIPES AND FITTINGS SHALL BE PROPERLY ALIGNED AND MAINTAINED WHILE CONCRETE IS BEING PLACED AND ALLOWED TO HARDEN. JOINTS FOR PIPES AND FITTINGS SHALL BE MADE PRIOR TO PLACING CONCRETE. CONCRETE FOR BEDDING, ENCASEMENT, AND WALL SUPPORT FOR PIPES AND FITTINGS SHALL BE PLACED UNIFORMLY AROUND THE PIPE AND FITTINGS AS SHOWN HEREON TO MAINTAIN PROPER ALIGNMENT AND SHALL BE CLASS 420-C-2000
- THE ACCESS FRAME AND CAP SHALL BE CAST IRON. THE FINGER HOLES MAY BE DRILLED OUT OR MAY BE BLOCKED OFF PRIOR TO CASTING. THEY SHALL NOT BE PUNCHED OUT
- CLEANOUT COVERS TO BE MANUFACTURED DOMESTIC MATERIALS

Date Description

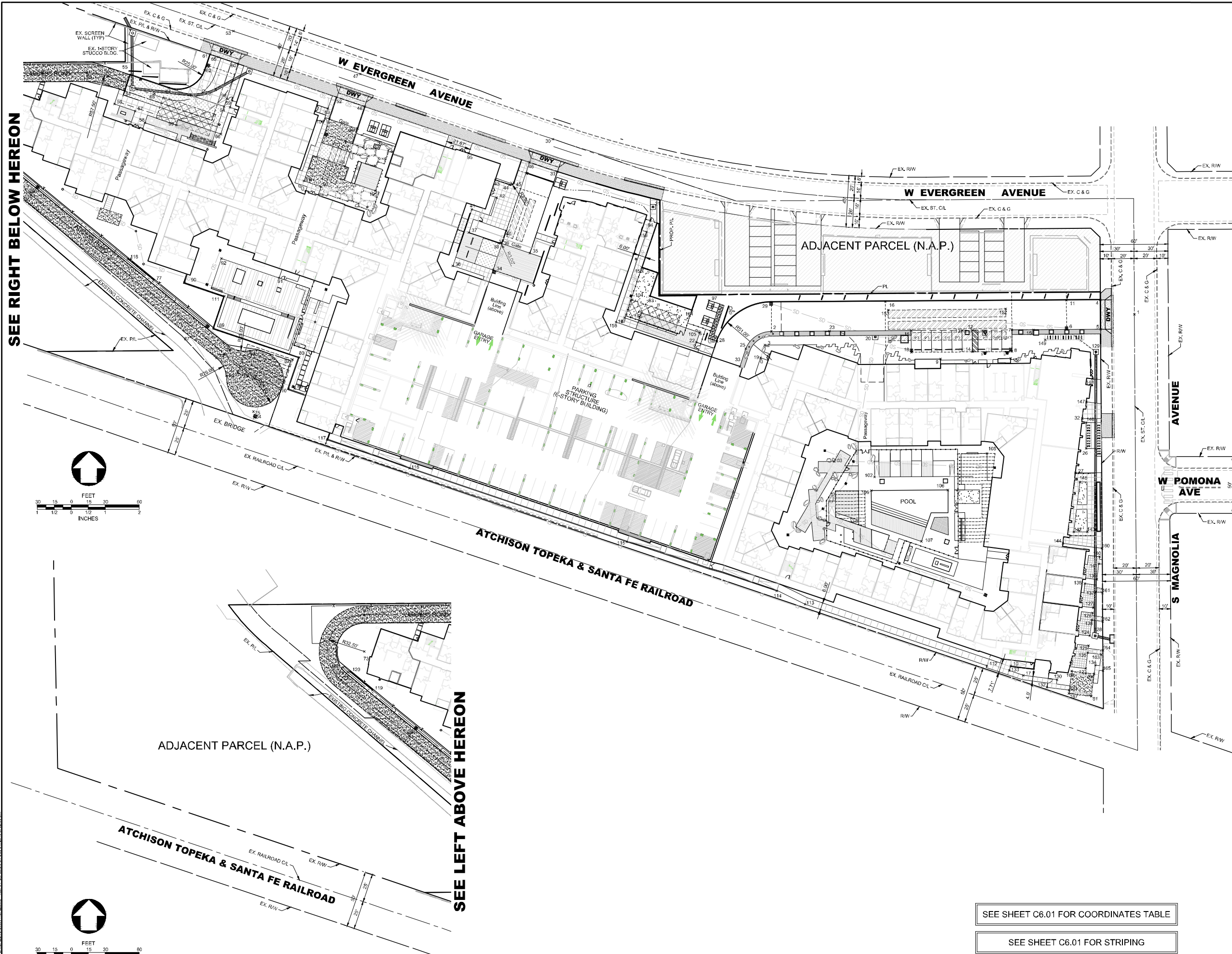
Professional Engineer
No. C 74143
Exp. 06-30-2018
CIVIL
STATE OF CALIFORNIA

Project Name
Project Number
As Indicated
Scale

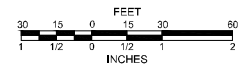
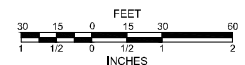
DETAILS
(SHEET 2 OF 2)

C5.10

SEE RIGHT BELOW HEREON



SEE LEFT ABOVE HEREON



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Project Name

Project Number

As Indicated
 Scale

**HORIZONTAL CONTROL
AND STRIPING PLAN
(SHT 1 OF 2)**

Title

SEE SHEET C6.01 FOR COORDINATES TABLE

SEE SHEET C6.01 FOR STRIPING

C6.00

REVISED 3/5/2019

\\\sml\p2019\03\C6.00\C6.00.dwg, Job: 01, Rev: 01, Date: 03-05-2019, 11:53:00 AM

GENERAL NOTES:

- ALL STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2012, CALTRANS STANDARD PLANS AND SPECIFICATIONS (JULY 2010), AND CITY OF GLENDALE STANDARD PLANS. SEE CALTRANS STANDARD PLANS 420A-2) AND 424A-5) FOR STRIPING DETAILS INCLUDING INSTALLATION AND REMOVAL OF RAISED PAVEMENT MARKERS.
- ALL WORK AND MATERIALS FOR THE FURNISHING AND APPLICATION OF TRAFFIC STRIPES, PAVEMENT MARKINGS, AND PAVEMENT MARKERS SHALL CONFORM TO THE CALTRANS STANDARD SPECIFICATIONS, SECTIONS 84 AND 85.
- ALL TRAFFIC STRIPES AND PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- STRIPING SHALL BE CAT TRACKED AND APPROVED BY THE CITY ENGINEER PRIOR TO FINAL INSTALLMENT.
- PRIOR TO COMPLETION OF THE FINAL SIGNING AND STRIPING, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER WHEN THE STRIPING LAYOUT IS COMPLETE BEFORE APPLYING ANY PAVEMENT MARKERS.
- LANE WIDTHS SHALL BE MEASURED BETWEEN THE CENTER LINES OF EACH ADJACENT SINGLE OR DOUBLE STRIPS OR CURB FACE AS APPROPRIATE.
- ALL LANE LINES AT INTERSECTION APPROACHES AND DEPARTURES SHALL BEGIN AND END WITH 30 FEET OF CONTINUOUS PAINT (TYP).
- CONTRACTOR SHALL REMOVE ALL CONFLICTING PAINTED LINES, MARKINGS AND PAVEMENT LEGENDS BY WET SANDBLASTING. SANDBLASTING DEBRIS SHALL BE REMOVED CONTINUOUSLY DURING SANDBLASTING OPERATIONS.
- PAVEMENT THAT IS DAMAGED DUE TO THE REMOVAL OF MARKERS OR STRIPING SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER.
- LOCATION OF PAVEMENT LEGENDS SHALL MATCH THE CITY STANDARDS AND STENCILS.
- SIGNING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBJECT TO CITY ENGINEER'S APPROVAL. ALL SIGNS SHALL CONFORM TO THE CALIFORNIA MUTCD 2012, FIGURE 3B-102.
- ALL SIGN FACE REFLECTIVE SHEETING SHALL BE HIGH INTENSITY GRADE WITH PROTECTIVE OVERLAY FILM.
- A SINGLE BLUE RAISED REFLECTIVE PAVEMENT MARKER SHALL BE INSTALLED ADJACENT TO ALL EXISTING FIRE HYDRANTS IN ACCORDANCE WITH CALIFORNIA MUTCD 2012, FIGURE 3B-102.
- ALL DAMAGED OR OBLITERATED PAVEMENT MARKINGS AND ARROWS SHALL BE REAPPLIED IN KIND AS DIRECTED BY THE CITY ENGINEER.

CONSTRUCTION NOTES

- APPLY PARKING STALL STRIPING 4" WHITE SOLID LINE
- APPLY DOUBLE ACCESSIBLE PARKING STALL STRIPING PER DETAIL ON SHEET C5.10
- APPLY TYPICAL PARKING SYMBOL OF ACCESSIBILITY PER DETAIL PER DETAIL ON SHEET C5.10
- INSTALL ACCESSIBILITY PARKING SIGNAGE PER DETAIL ON SHEET C5.10
- APPLY 4" WHITE DIAGONAL STRIPING AT 2FT ON CENTER
- INSTALL SITE TOW AWAY SIGN PER DETAIL ON SHEET C5.10
- INSTALL CONCRETE WHEEL STOP PER DETAIL ON SHEET C5.10

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Project Number

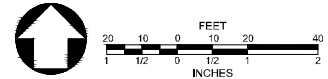
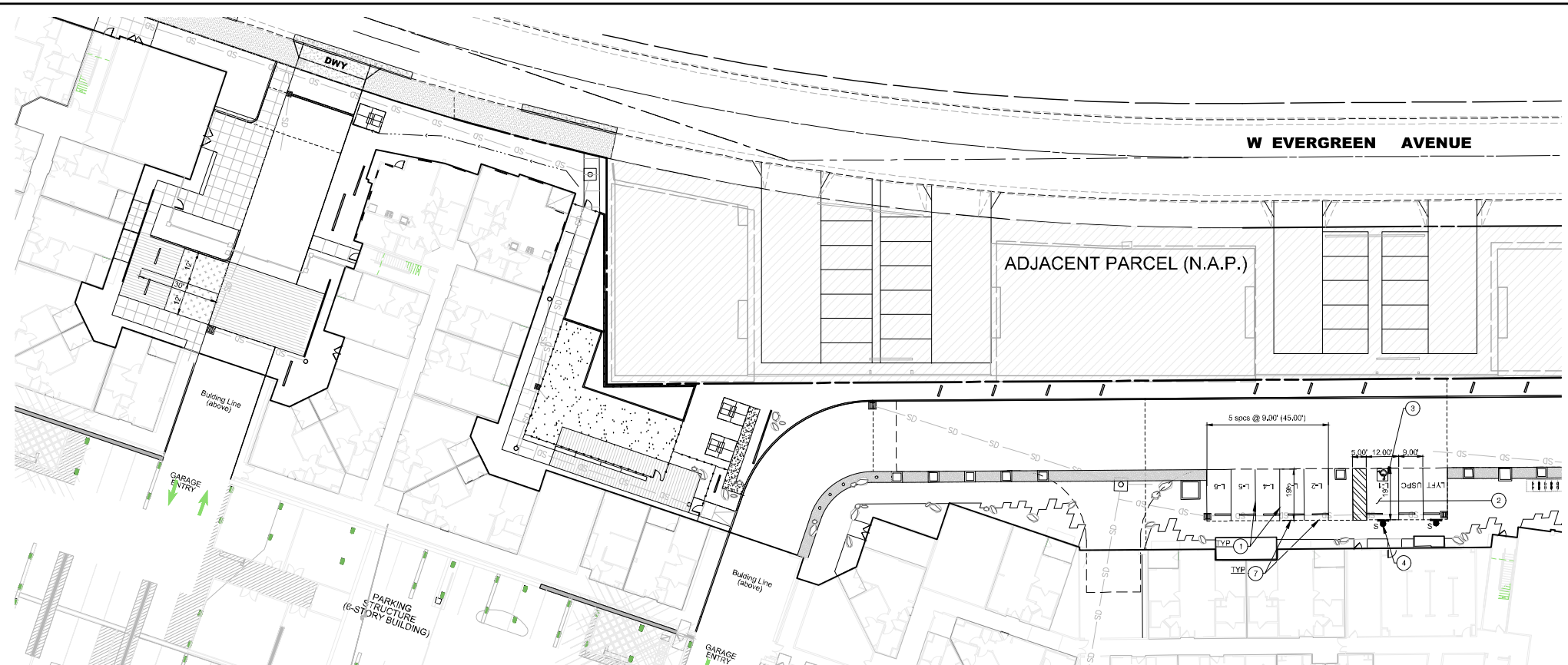
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 Scale

**HORIZONTAL CONTROL
 AND STRIPING PLAN
 (SHT 2 OF 2)**

Title

C6.10

REVISED 3/5/2019

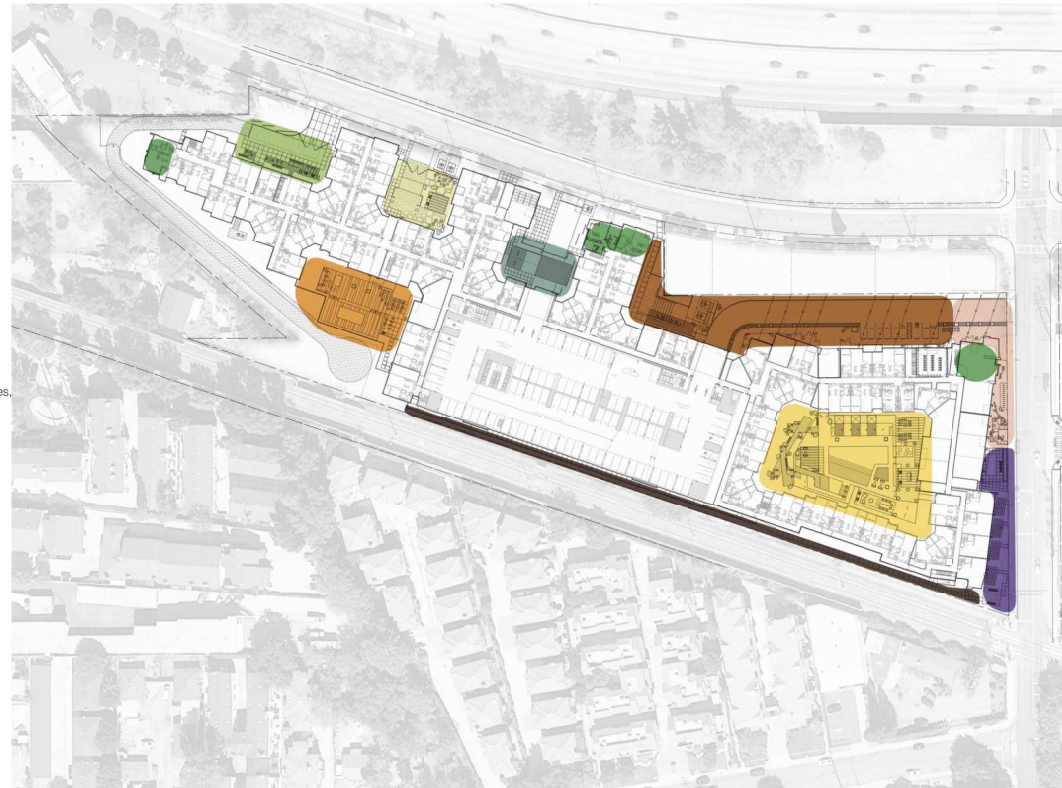


COORDINATES TABLE			COORDINATES TABLE			COORDINATES TABLE			COORDINATES TABLE			COORDINATES TABLE		
NO.	NORTHING	EASTING	NO.	NORTHING	EASTING	NO.	NORTHING	EASTING	NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
1	19897.72	50000.74	41	19990.44	49415.69	81	19960.54	49962.68	121	20059.50	48971.79	161	19651.86	49972.52
2	19892.59	49680.13	42	20000.66	49437.76	82	19857.99	49257.26	122	20063.74	48957.76	162	19626.73	49972.71
3	19870.65	49674.48	43	20016.24	49436.27	83	19865.82	49215.77	123	19856.11	49967.71	163	19697.41	49971.35
4	19910.51	49970.65	44	20011.92	49449.04	84	19906.58	49223.71	124	19614.05	49961.35	164	19601.34	49972.90
5	19884.52	49970.84	45	20013.81	49452.84	85	19843.00	49198.91	125	19805.23	49960.24	165	19683.18	49973.03
6	19884.31	49940.82	46	20032.01	49466.56	86	20003.03	49026.50	126	19634.17	49963.88	166	19682.88	49945.33
7	19893.98	49892.53	47	20109.91	49317.07	87	19877.79	49167.47	127	19638.77	49964.46	167	19663.03	49942.84
8	19864.98	49892.66	48	20081.16	49321.09	88	19832.31	49259.15	128	19613.91	49966.08			
9	19858.44	49829.56	49	20028.81	49303.33	89	19885.36	49187.54	129	19864.57	49966.76			
10	19587.39	49891.41	50	20010.37	49282.38	90	19925.71	49161.84	130	19575.44	49932.35			
11	19910.31	49940.89	51	20015.44	49267.38	91	19929.83	49245.50	131	19566.01	49943.21			
12	19893.66	49857.54	52	20089.48	49296.46	92	19947.12	49194.34	132	19568.50	49923.42			
13	19883.60	49845.54	53	20147.71	49205.18	93	19913.82	49572.69	133	19583.38	49960.05			
14	19864.75	49857.68	54	20081.14	49198.93	94	19980.38	49573.28	134	19588.08	49966.15			
15	19858.87	49891.54	55	20109.15	49114.02	95	20039.92	49412.95	135	19599.00	49959.46			
16	19909.23	49780.71	56	20083.34	49100.03	96	20081.74	49314.53	136	19627.94	49963.10			
17	19570.14	49902.58	57	20077.17	49118.29	97	19910.07	49626.08	137	19652.66	49966.20			
18	19864.29	49803.67	58	20066.85	49126.94	98	20088.08	49196.28	138	19660.11	49957.06			
19	19859.42	49670.68	59	20080.56	49202.01	99	20064.93	49154.51	139	19663.74	49967.80			
20	19877.80	49771.87	60	20118.97	49209.19	100	20070.07	49289.80	140	19683.86	49970.13			
21	19992.56	49575.57	61	20127.30	49184.56	101	20006.77	49330.48	141	19677.83	49969.35			
22	19873.18	49613.91	62	20113.17	49179.79	102	19754.22	49771.28	142	19705.74	49947.14			
23	19882.89	49731.53	63	20079.29	49285.61	103	19767.95	49735.49	143	19705.83	49959.14			
24	19580.38	49965.18	64	20094.94	49109.22	104	19910.53	49556.99	144	19695.66	49937.54			
25	19867.42	49657.54	65	20124.89	49191.67	105	19881.70	49616.79	145	19749.76	49952.67			
26	19779.29	49598.07	66	20066.87	49194.01	106	19742.69	49836.02	146	19802.18	49957.92			
27	19757.72	49948.62	67	20097.62	49148.14	107	19697.36	49812.64	147	19820.49	49958.64			
28	19873.87	49631.99	68	20092.74	49135.35	108	19774.90	49870.55	148	19840.82	49963.93			
29	19908.54	49679.96	69	20110.86	49075.64	109	19742.20	49768.35	149	19875.18	49921.92			
30	20052.43	49487.19	70	20107.84	49094.49	110	19832.02	49253.78	150	19884.11	49911.42			
31	20023.74	49491.21	71	20110.18	48986.44	111	19913.78	49197.14	151	19883.38	49803.54			
32	19805.76	49954.86	72	20052.54	48968.08	112	19587.59	49870.44	152	19902.53	49987.21			
33	19851.67	49652.22	73	20077.68	48986.69	113	19641.86	49709.80	153	19901.47	49783.21			
34	19936.95	49434.45	74	19859.30	49190.02	114	19853.52	49684.94	154	19901.16	49610.17			
35	19951.84	49466.92	75	19811.97	49222.74	115	19897.01	49552.62	155	19899.14	49565.24			
36	19940.54	49398.83	76	19883.00	49197.51	116	19781.89	49380.62	156	19890.81	49543.04			
37	19970.05	49413.03	77	19927.91	49134.70	117	19788.99	49287.65	157	19894.58	49550.84			
38	19960.65	49439.29	78	19841.01	49224.16	118	19946.69	49111.79	158	19939.02	49565.66			
39	19962.54	49443.09	79	19845.85	49208.93	119	20043.51	48993.67	159	19970.40	49569.91			
40	19971.69	49446.18	80	19859.81	49263.17	120	20059.82	48973.77	160	19691.31	49972.12			

I:\MAPS\2019\03\05\HORIZONTAL CONTROL AND STRIPING PLAN (SHT 2 OF 2).DWG, Thu, 03/05/2019 10:04:31 AM, 2019/03/05 10:04:31 AM

Legend

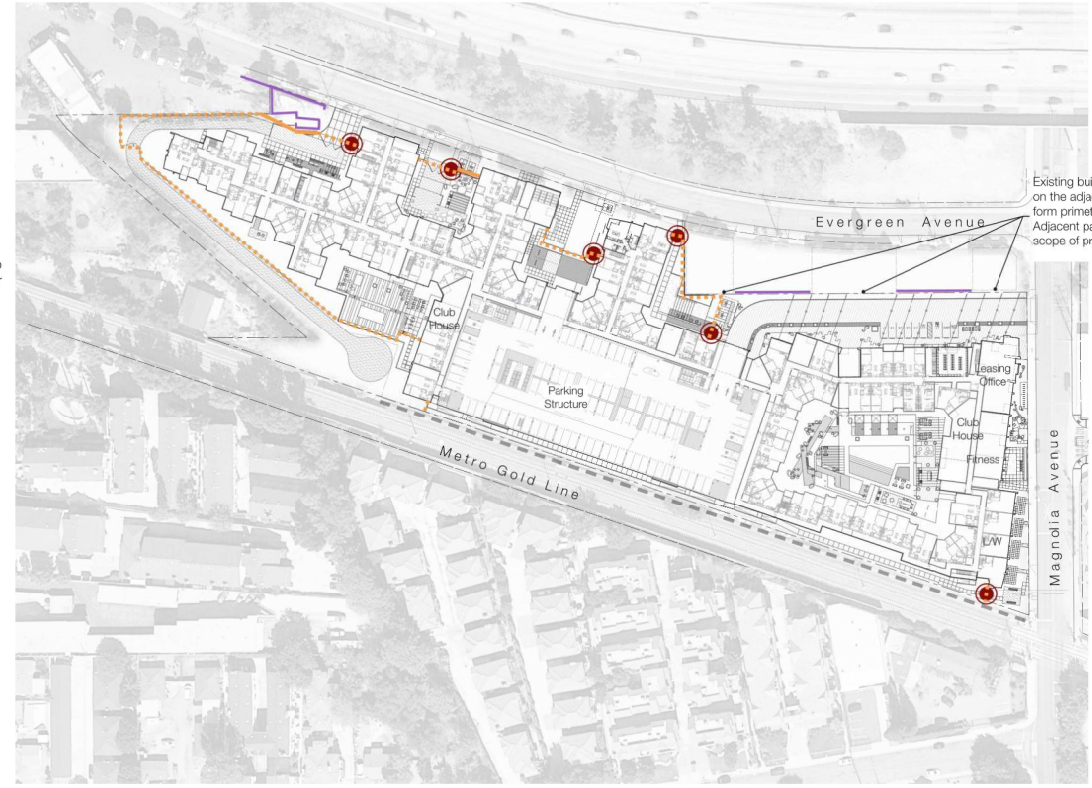
- The Terminal**
Public plaza, leasing entrance, bike parking, shaded seating
- The Junction**
Arrival sequence, visitor parking "Wooner" shared street, private dog park
- The Yard**
Pool, spa, lounges, table games, outdoor kitchen, firepits, stage
- The Zoetrope**
Private pedestrian access, public art viewable from Gold Line rides
- The Trestle**
Pool, spa, natural landscape areas, outdoor kitchen, firepit
- The Platforms**
Roofdecks, mountain views, lounges, outdoor kitchens, yoga deck
- Santa Anita Canyon Court**
Lawn, outdoor kitchen, lounge deck, wood materials theme
- Monrovia Canyon Court**
Games area, outdoor kitchen, firepits, stone materials theme
- Azusa Canyon Court**
Move-in parking, photo-op art wall, steel materials theme
- Urban Edge**
Private outdoor fitness, shaded seating area, live/work patios



Concept Diagram

Legend

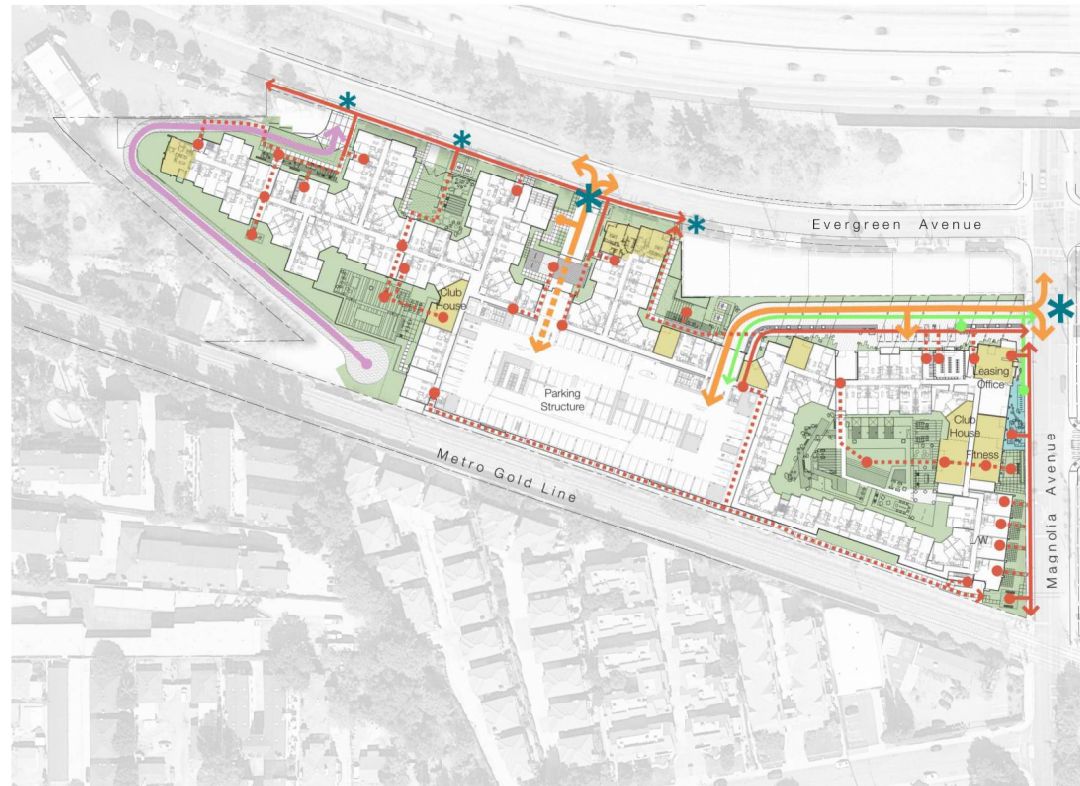
- Perimeter Wall (See page 5 for wall type & heights)
- Perimeter Fencing (See page 5 for wall type & heights)
- Existing Block Wall to Remain (See page 5 for wall type & heights)
- Existing Metro Fence to Remain (See page 5 for wall type & heights)
- Private Pedestrian Gate



Perimeter Fence and Wall Diagram

Legend

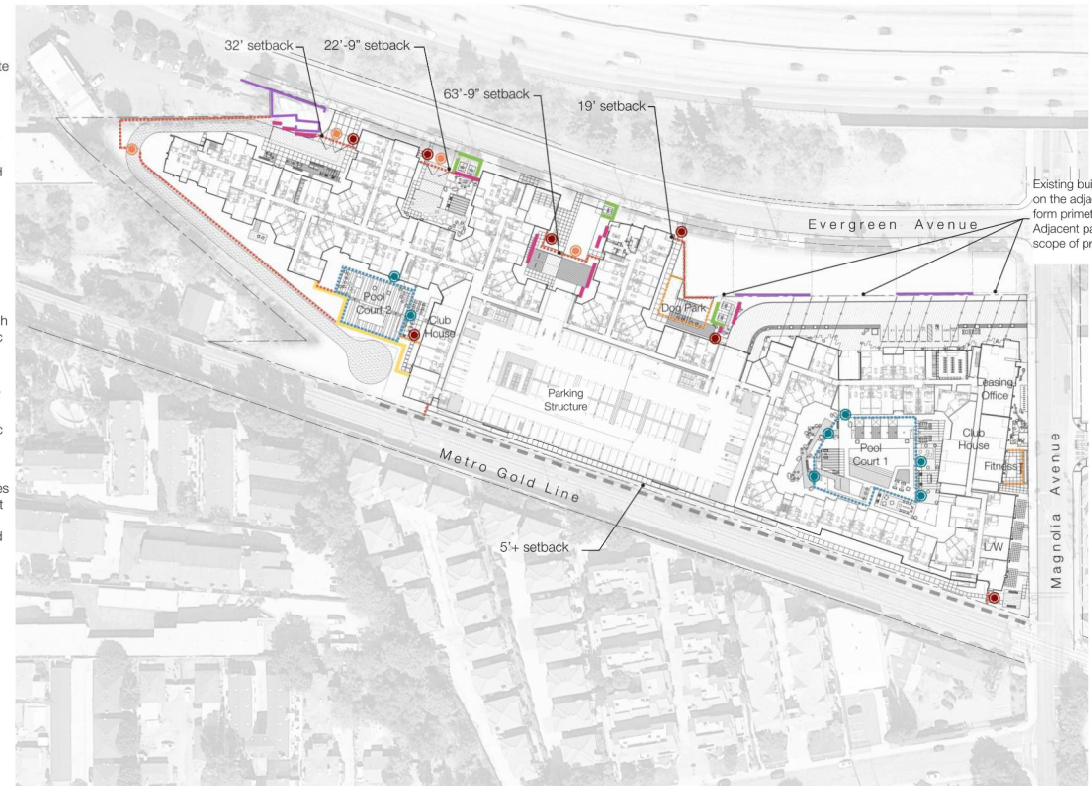
- Vehicular (Public)
- Vehicular (Private)
- Vehicular (Maintenance)
- Bicycle (Public)
- Pedestrian (Public)
- Pedestrian (Private)
- At Grade Open Space
- Roof Deck/Interior Open Space
- Public Open Space
- Primary Entry
- Secondary Entry



Public/Private Circulation Diagram

Legend

- Concrete Retaining Wall (3'-4'H) Natural gray concrete
- Decorative Screen Wall (6'H Max.) Constructed from steel and/or block w/ a decorative finish or veneer of tile, steel, wood, or stone to match building colors and aesthetic
- Tubular Steel Fence (4'H) "Dark Bronze" finish to match building colors and aesthetic
- Tubular Steel Fence (6'H Max.) "Dark Bronze" finish to match building colors and aesthetic
- Pool Enclosure Fence (5'H Min - 6'H Max.) Constructed from steel and/or glass, finish to match building colors and aesthetic
- Utility Screen (6'H Max.) Screening materials may include hedges and/or green screen product with climbing vines. Colors to match building colors and aesthetic
- Existing Block Wall (Approx. 6'H) On adjacent parcel, protect in place
- Existing Metro Fence (Ht. varies) On metro property, protect in place
- Pedestrian Gate
- Vehicular Gate
- Pool Gate



Fence and Wall Type Diagram

ALEXAN MONROVIA MONROVIA, CALIFORNIA

TCR
TRAMMELL CROW RESIDENTIAL

TRAMMELL CROW RESIDENTIAL
5790 FLEET STREET SUITE 140, CARLSBAD CA 92008
(858) 531-3905

Site Analysis DATE: 03.05.19
JOB NO.:

ARCHITECTS ORANGE
144 NORTH ORANGE ST., ORANGE, CA 92886
(714) 639-9860

L1.00
EPTDESIGN



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Legend

- Roof Deck A**
Views north to the mountain.
Views south and west to private property to be screened by architecture and planting.
- Roof Deck B**
Views north to the mountains.
- Roof Deck C**
Views north to the mountains, and commercial properties.
Views east to multi-family housing.
- Existing tree buffer screens views onto property.



View Analysis

Legend

- 1 Enhanced paving with zero-curb and no lane striping
 - 2 18" High raised P.P planter (10) doubles with seating - Concrete finish to match architectural building
 - 3 18" High raised steel planter (2)
 - 4 Lounge seating at ride share waiting area
 - 5 Short term bikes (14) and bike share (10)
 - 6 Fire lane and turnaround
 - 7 Overhead pendant lighting - Installing with 14"6" HT. Min. CLR.
 - 8 Vehicular parking
 - 9 Bollard (4)
 - 10 Feature wall
 - 11 Transformers
 - 12 Parking signage
 - 13 Truncated dome paving
 - 14 Public garden plaza with stationary furniture
- Planting Area**
 - Lamandra longifolia Breeze
 - Pennisetum orientale 'Karley Rose'
 - Pittosporum crassifolium
 - Agave
 - Boulder
 - Screen Planting
 - Bambusa textilis
 - Small Shade Tree
 - Lagerstroemia indica
 - Specimen Tree
 - Platanus racemosa



Enlargement Plan at Woonerf Area

Legend

- Existing Oak Tree (Protect in Place)
- Existing Tree (Protect in Place)
- Existing Palm (To Be Removed)
- Existing Vegetation (Protect in Place)
- Existing Tree of Heaven (Protect in Place)

Existing Trees

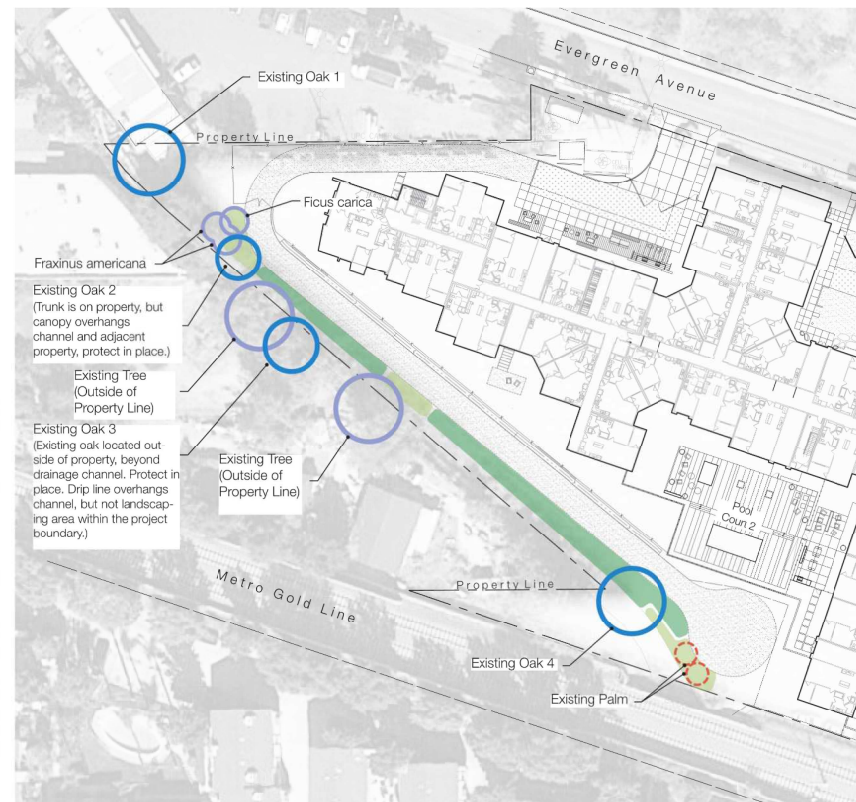
Oak Tree 2 (Protect in Place)



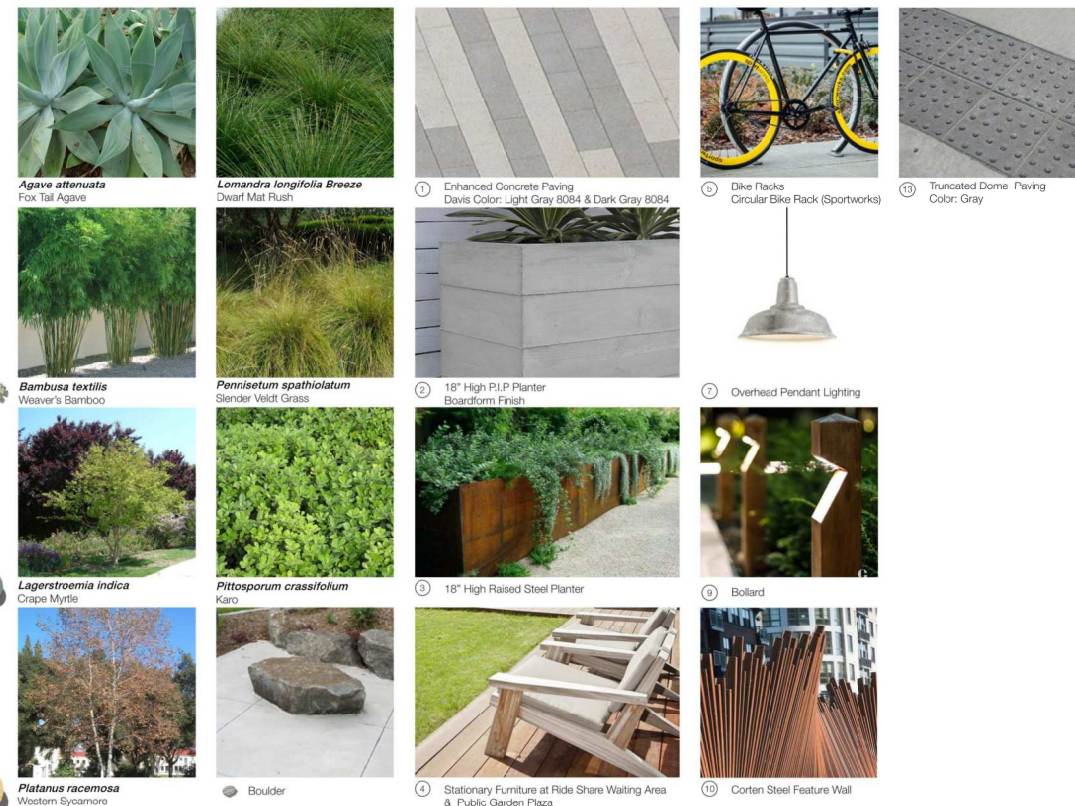
Fraxinus americana
Ficus carica (Protect in Place)



Existing Tree Diagram



Note:
Refer to Enlargement Plan for material locations.



Planting and Material Imagery

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Site Analysis & Enlargement Plan

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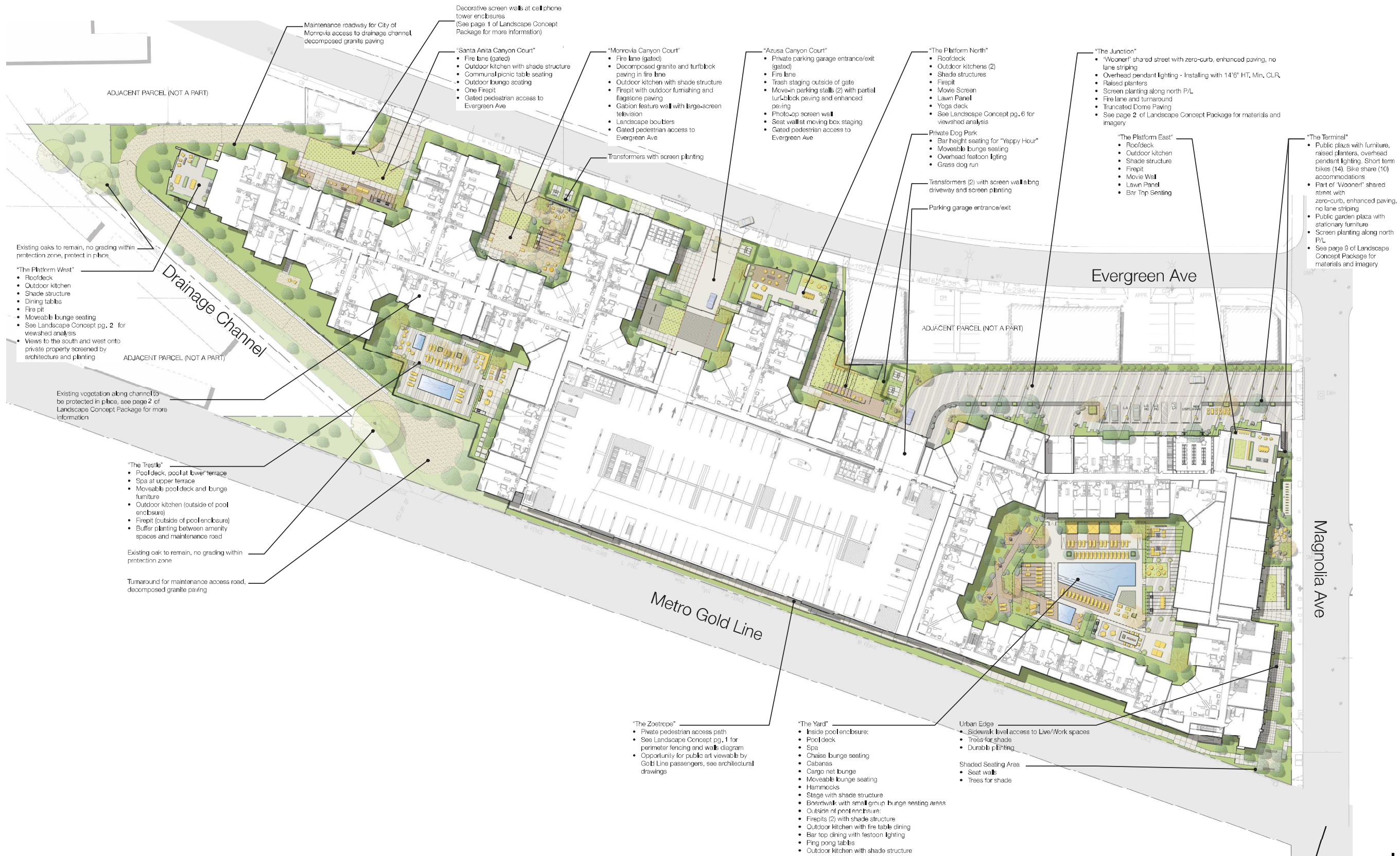
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- Existing oaks to remain, no grading within protection zone, protect in place
- ADJACENT PARCEL (NOT A PART)
- Drainage Channel
- ADJACENT PARCEL (NOT A PART)
- Existing vegetation along channel to be protected in place, see page 2 of Landscape Concept Package for more information
- "The Platform West"**
- Roofdeck
 - Outdoor kitchen
 - Shade structure
 - Dining tables
 - Fire pit
 - Moveable lounge seating
 - See Landscape Concept pg. 2 for viewshed analysis
 - Views to the south and west onto private property screened by architecture and planting

- "The Treble"**
- Pool deck, pool at lower terrace
 - Spa at upper terrace
 - Moveable pool deck and lounge furniture
 - Outdoor kitchen (outside of pool enclosure)
 - Firepit (outside of pool enclosure)
 - Buffer planting between amenity spaces and maintenance road
- Existing oak to remain, no grading within protection zone
- Turnaround for maintenance access road, decomposed granite paving

- "The Zoetrope"**
- Private pedestrian access path
 - See Landscape Concept pg. 1 for perimeter fencing and wall diagram
 - Opportunity for public art viewable by GoT Line passengers, see architectural drawings

- "The Yard"**
- Inside pool enclosure:
 - Pool deck
 - Spa
 - Chaise lounge seating
 - Cabanas
 - Cargo net lounge
 - Moveable lounge seating
 - Hammocks
 - Stage with shade structure
 - Boardwalk with small group lounge seating areas
 - Outside of pool enclosure:
 - Firepits (2) with shade structure
 - Outdoor kitchen with fire table dining
 - Bar top dining with festoon lighting
 - Ping pong tables
 - Outdoor kitchen with shade structure

- Urban Edge**
- Sidewalk level access to Live/Work spaces
 - Trees for shade
 - Durable pEinting
- Shaded Seating Area**
- Seat walls
 - Trees for shade

- "The Terminal"**
- Public plaza with furniture, raised planters, overhead pendant lighting, Short term bikes (14), Bike share (10) accommodations
 - Part of "Woerner" shared street with zero-curb, enhanced paving, no lane striping
 - Public garden plaza with stationary furniture
 - Screen planting along north P/L
 - See page 9 of Landscape Concept Package for materials and imagery

- "The Junction"**
- "Woerner" shared street with zero-curb, enhanced paving, no lane striping
 - Overhead pendant lighting - Installing with 14"6" HT, Min, CLR
 - Raised planters
 - Screen planting along north P/L
 - Fire lane and turnaround
 - Truncated Dome Paving
 - See page 2 of Landscape Concept Package for materials and imagery

- "The Platform East"**
- Roofdeck
 - Outdoor kitchen
 - Shade structure
 - Firepit
 - Movie Wall
 - Lawn Panel
 - Bar Top Seating

- "The Platform North"**
- Roofdeck
 - Outdoor kitchens (2)
 - Shade structures
 - Firepit
 - Movie Screen
 - Lawn Panel
 - Yoga deck
 - See Landscape Concept pg. 6 for viewshed analysis

- "Azusa Canyon Court"**
- Private parking garage entrance/exit (gated)
 - Fire lane
 - Trash staging outside of gate
 - Move-in parking stalls (2) with partial turf-block paving and enhanced paving
 - Photowall screen wall
 - Seat wall at moving box staging
 - Gated pedestrian access to Evergreen Ave

- "Monrovia Canyon Court"**
- Fire lane (gated)
 - Decomposed granite and turfblock paving in fire lane
 - Outdoor kitchen with shade structure
 - Firepit with outdoor furnishing and flagstone paving
 - Gabion feature wall with large-screen television
 - Landscaped boulders
 - Gated pedestrian access to Evergreen Ave

- "Santa Anita Canyon Court"**
- Fire lane (gated)
 - Outdoor kitchen with shade structure
 - Communal picnic table seating
 - Outdoor lounge seating
 - One Firepit
 - Gated pedestrian access to Evergreen Ave

Maintenance roadway for City of Monrovia access to drainage channel, decomposed granite paving

Decorative screen walls at cell phone tower enclosures (See page 1 of Landscape Concept Package for more information)

Transformers with screen planting

- Private Dog Park**
- Bar height seating for "Yappy Hour"
 - Moveable lounge seating
 - Overhead festoon lighting
 - Grass dog run

- Transformers (2) with screen wall**
- Screening driveway and screen planting

Parking garage entrance/exit

Evergreen Ave

ADJACENT PARCEL (NOT A PART)

Magnolia Ave

Metro Gold Line



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Illustrative Plan

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Outdoor Amenity Plan

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M2
3D RENDERINGS









M3
SHADE AND SHADOW ANALYSIS



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JUNE 21 10:00 am



SHADE/SHADOW STUDY

DATE: 07.09.19
JOB NO. 2016-252

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JUNE 21 11:00 am

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JUNE 21 2:00 pm



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M4
VIEW SIMULATIONS



VIEW 1 - EXISTING BUILDINGS



VIEW 2 - EXISTING BUILDINGS



VIEW 3 - EXISTING BUILDINGS



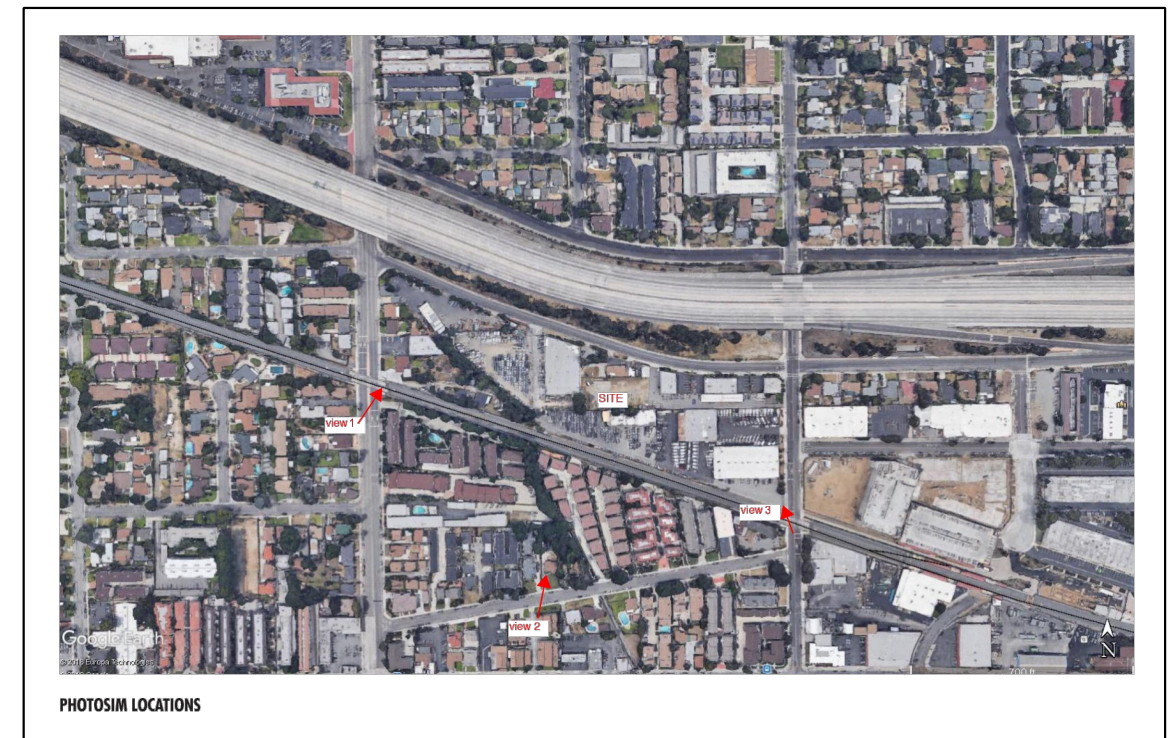
VIEW 1 - EXISTING BUILDINGS WITH PROPOSED BUILDING



VIEW 2 - EXISTING BUILDINGS WITH PROPOSED BUILDING



VIEW 3 - EXISTING BUILDINGS WITH PROPOSED BUILDING



A-1.2.3

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VIEW SIMULATIONS

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