

Appendix B

Sunrise Specific Plan

Sunrise Specific Plan

City of San Marcos

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Sunrise Specific Plan

SP 18-0002

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1. Introduction

Welcome to the Sunrise Specific Plan (hereafter also noted as “Specific Plan” or “Plan”). The text within this document was carefully constructed at the request of the City of San Marcos and its intent is to provide the standards and regulations for the development of an attractive new residential community. The following chapters will guide the reader through the formulation of the Specific Plan and the proposed residential and open space development guidelines and the utilities, infrastructure, and public services needed for those land uses. The Specific Plan will provide details on vehicular and pedestrian circulation throughout the Plan area. It will provide financing options for public and private facilities. The Sunrise Specific Plan will also establish rules for the implementation and administration of development within the Sunrise Specific Plan area. Sunrise will add a robust residential development and recreational open space that embodies the character and values of the community and the City of San Marcos.

1.1. Overview of the Specific Plan

The Sunrise Specific Plan (Specific Plan) provides the City of San Marcos a comprehensive planning tool to help guide the orderly development of a new planned residential community in the southeastern portion of the City of San Marcos (**Figures 1-1 and 1-2**). The following information contained within this document, in conjunction with the City of San Marcos’ General Plan, will establish the development parameters allowed within the Plan area to include:

- Proposed land uses and their accompanying regulations and design standards (Chapter 2);
- A circulation plan to accommodate the free movement of vehicles, bicycles, and pedestrians through the Plan area and connection to existing infrastructure (Chapter 3);
- An overview of, and guidelines for, infrastructure facilities improvements including financing and phasing to support the development of the Plan area (Chapters 5, 6, and 7); and
- Mechanisms to implement development within the Specific Plan Area and the administrative processes required to approve development projects within the Plan area (Chapter 7).

Nestled within the eastern city limit, the 14.4-acre Sunrise Specific Plan Area was sensitive to designing a residential product in need within the community while simultaneously offering a high quality of life for future residents. To realize this vision this Specific Plan established the design parameters that will guide development of the residential multi-family community inclusive of recreational opportunities for residents. The project proposes a maximum of 192 multi-family residential dwelling units on approximately 14.4-acres for a maximum density of 13.3 du/acre. The Project proposes a mix of 2 and 3 story townhomes ranging in size from a minimum of approximately 1,190 sf to a maximum of approximately 1,890 sf. The Specific Plan area includes approximately 7.76-acres of open space, which is inclusive of landscaping, water quality features, and recreational and private open space. Combined, these aspects of the Specific Plan will help create a comprehensive and inclusive neighborhood for residents to enjoy. The Sunrise Specific Plan will add a new planned

residential multi-family community to complement the existing surrounding developments, while also contributing valuable housing to the City of San Marcos. Future development will be contingent upon the execution of the standards set forth within this document.

1.2. Planning Objectives

A Specific Plan allows the developer to form a comprehensive plan to develop the land uses and public facilities of the Specific Plan area while maintaining a degree of design flexibility to respond to future conditions. The Specific Plan must be consistent with the policies and development goals defined within the City of San Marcos's General Plan. The following objectives have been established to guide the development of the Sunrise Specific Plan within the parameters defined within the City of San Marcos' General Plan:

- Provide a multi-family housing opportunity through a range of unit types, sizes, and number of different bedroom counts, including 2, 3, and 4-bedroom units, as well as a range of affordability to accommodate a full spectrum of family demographics to contribute to the growing housing needs of the region;
- Create a development which accommodates adequate recreational open space within the Plan Area;
- Provide development standards to regulate the nature and appearance of all construction within the Sunrise Specific Plan area through integration of land form use, architectural design, unified landscape theme, and recreation areas;
- Design a safe and efficient circulation system that adequately supports the appropriate level of traffic in and around the Plan area, including vehicular, bicycle, pedestrian modes of travel;
- Develop a financing plan that provides for the efficient and timely provision of infrastructure and public services prior to and as development occurs;
- Implement a maintenance program which will ensure all common areas are maintained to standards set forth in the City's General Plan; and
- Finance and/or contribute to all appropriate community and city-wide infrastructure.

1.3. Specific Plan Purpose and Scope

The Sunrise Specific Plan is a comprehensive planning document that establishes development guidelines for the proposed residential community. The document will serve as the primary land use, policy, and regulatory document for the Plan area by providing an efficient development planning review process. The planning and review process emphasizes the direct and comprehensive correlation between land uses, public services, and infrastructure necessary to support those land uses. When implemented, these elements of the Specific Plan will form a cohesive and rational development able to adapt to the opportunities and constraints of the area.

The Specific Plan serves as both a policy document and a regulatory document for the systematic implementation of the policies and goals of the public agency's General Plan. As a policy document,

the Sunrise Specific Plan embodies the broad policy directives of the General Plan and applies those policies and goals to the establishment of specific objectives for the planning area. As a regulatory document, the Sunrise Specific Plan provides direction for the assignment of land uses and associated development, as well as the design and infrastructure capacity standards which must be met to facilitate the successful implementation of the Specific Plan. By incorporating the allowed land uses, development criteria, design standards, and infrastructure needs, The Specific Plan enables planners to create specific standards applicable to the Plan area. The Sunrise Specific Plan requires all subsequent development design and development documents, infrastructure, and financing plans to be consistent with the policies and regulations contained herein.

1.4. Specific Plan Authority

California Government Code §65450, in conjunction with the City of San Marcos Zoning Ordinance, Chapter 20.535, authorizes the City's legislative body to prepare and adopt Specific Plans. The Specific Plan will become the vessel for the systematic implementation of the City's General Plan within a defined area covered under the governing authority of the General Plan. Per California Government Code §65451, a specific plan shall contain the following written and graphic information:

- The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.
- The distribution, location, and extent of the uses of land, including open space, within the area covered by the Plan. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the Plan and needed to support the land uses described in the Plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

1.5. Contents of the Specific Plan

To comply with the requirements identified in Section 1.4, the Sunrise Specific Plan includes the following information:

- An introduction that includes the planning objectives for the Specific Plan which encompasses the goals of, and is consistent with, the General Plan regarding land use, circulation, resource management, community design, as well as public services and utilities (Chapter 1);
- Written descriptions and graphic illustrations of proposed land uses within the Specific Plan area, including clearly identified specific development patterns and design standards (Chapter 2);

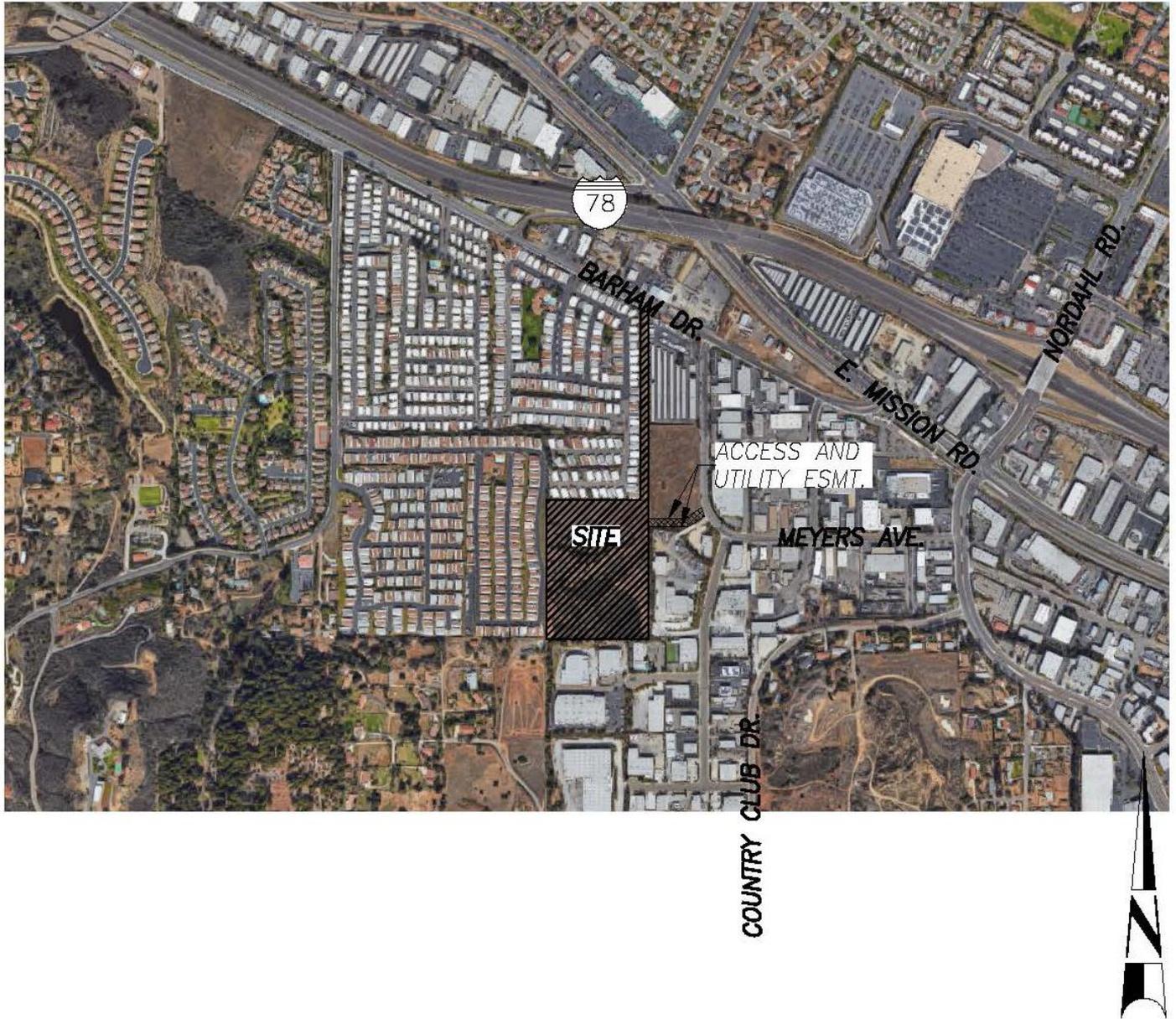
- Written descriptions and graphic illustrations of proposed vehicular, pedestrian circulation systems for the Plan area and the connections to adjacent public and private circulation networks (Chapter 3);
- A public service and facility plan that identifies the specific agencies and extent of public services and facilities necessary to serve the Plan area (Chapter 4 and 6);
- A utility and infrastructure plan that includes the location and extent of utility services necessary to serve the Plan area (Chapter 5)
- A public facility financing and phasing plan that provides the general outline for the financing mechanisms proposed and the phasing of public improvements to the Plan area (Chapter 6); and
- An implementation and amendment program that provides the mechanisms available for project review procedures and regulations for specific development within the Plan area and any future amendments to the Specific Plan (Chapter 7).

1.6. Plan Area Location and Setting

1.6.1. Regional and Local Setting

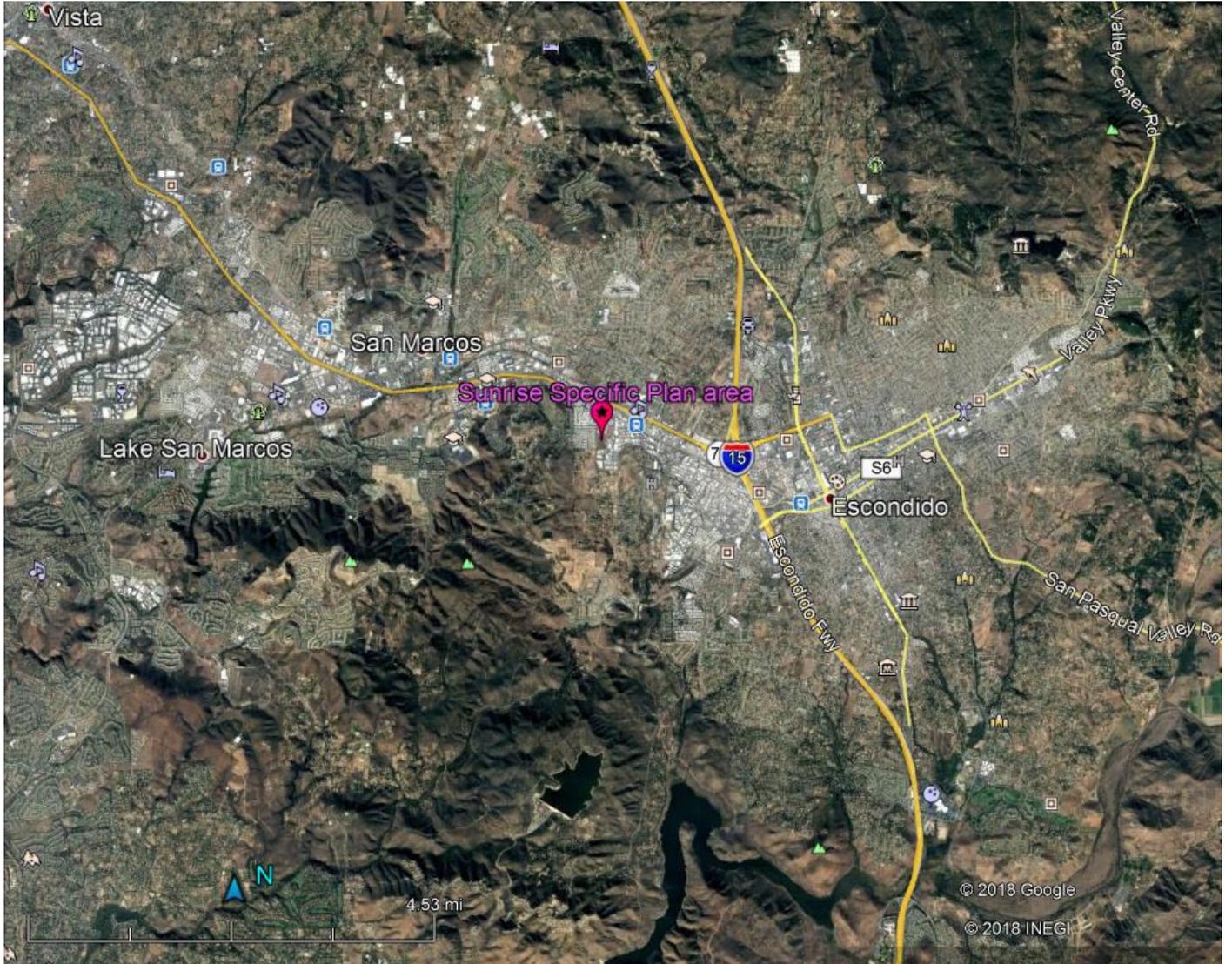
The Sunrise Specific Plan area encompasses approximately 14.4-acres and is situated at the City of San Marcos' southeastern limits (**Figure 1-1**). The official location according to the Title Report is "A portion of Lot 5 and Lot 7, in Section 18, Township 12 South, Range 2 West, partly in the City of San Marcos and partly in the unincorporated area of the County of San Diego, as evidenced by certificates of compliance recorded January 10, 2007 as instrument No. 2007-00198581 and February 2, 2007 as instrument No. 2007-0074634 of official records. The Plan area is currently within portions of two jurisdictions; the City of San Marcos and the County of San Diego, however the entirety of the project resides within the City of San Marcos sphere of influence. The Project proposes to annex the portions of parcels within the jurisdiction of the County San Diego into the jurisdiction of the City of San Marcos. The Local Agency Formation Commission (LAFCO) is responsible for review of the annexation into the City of San Marcos' jurisdiction as well as any district annexations. Once the LAFCO annexation process is complete, the project area will reside wholly within the City of San Marcos.

Regionally the Specific Plan area is located near major interstate freeways and local highways (**Figure 1-2**). Interstate 15 and Highway 78 comprise the two major transportation options closest to the Specific Plan area. Highway 78 is approximately 1 mile from Specific Plan area. From the Highway 78 Nordahl onramp, it is approximately an additional 1 mile to connect to Interstate 15. In addition to the highway system, Sprinter rail service and bus transit service are located approximately 0.3 miles from the Specific Plan area on East Mission Road. Together, the regional and local transportation network options allow the residents of the Sunrise Specific Plan area access to schools, employment, shopping, and entertainment options within the City of San Marcos, as well as broad connection options to San Diego and Riverside counties, and Southern California's schools, shopping and entertainment centers, and employment hubs.



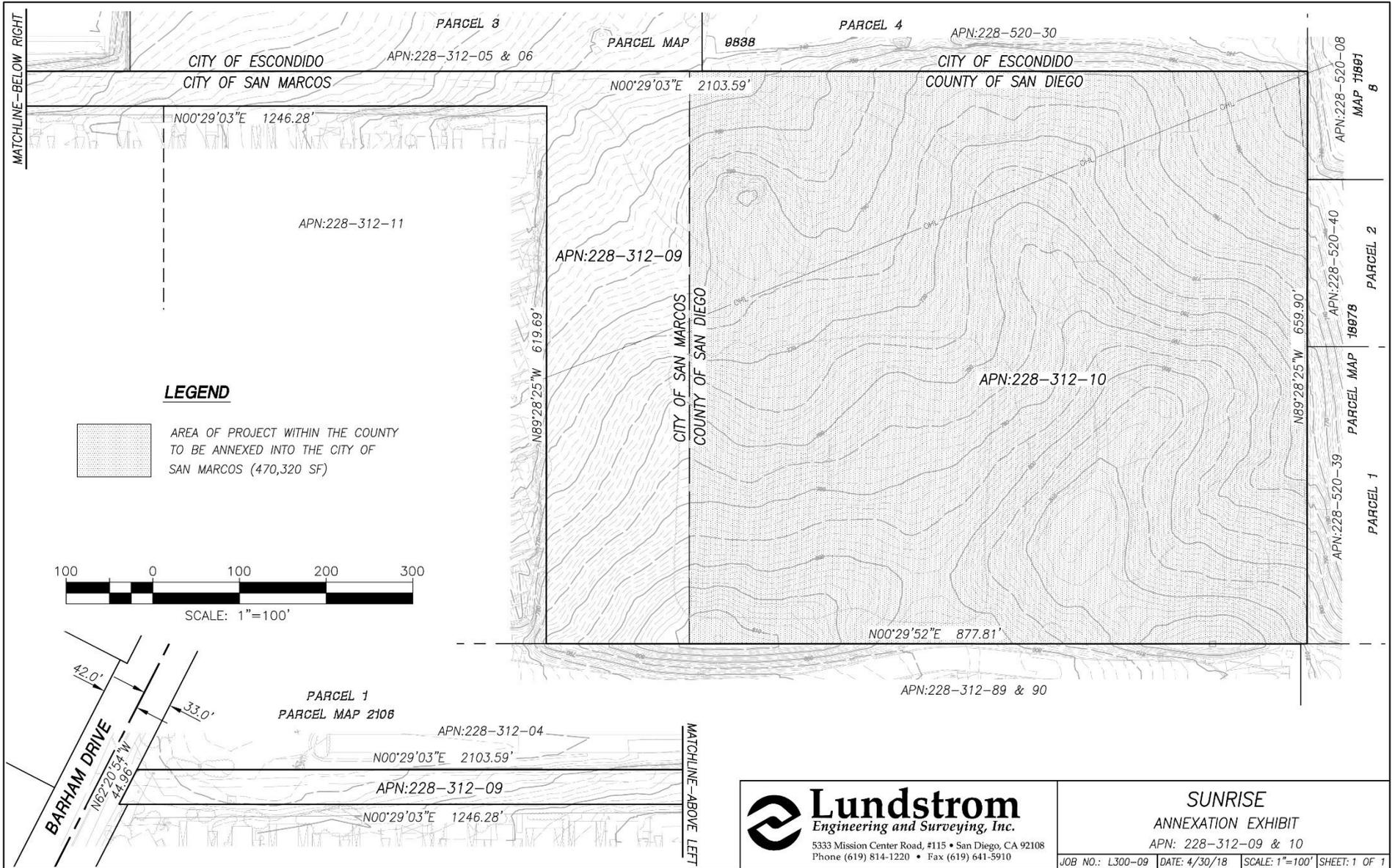
Vicinity Map
Sunrise Specific Plan

Figure 1-1



Regional Map
Sunrise Specific Plan

Figure 1-2



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SUNRISE
 ANNEXATION EXHIBIT
 APN: 228-312-09 & 10
 JOB NO.: L300-09 | DATE: 4/30/18 | SCALE: 1"=100' | SHEET: 1 OF 1

Annexation Exhibit

Sunrise Specific Plan

Figure 1-3

1.6.2. Surrounding Land Uses

The Sunrise Specific Plan area should be a complimentary land use, compatible with existing surrounding land uses. Typically, land uses should complement neighboring properties and create a logical transition of uses and density growing steadily denser toward an urban core. A proposed land use should not contrast with or negatively affect a neighboring property. The Sunrise Specific Plan area proposes a multi-family residential development which constitutes an appropriate transition from the light industrial commercial land uses and undeveloped land to the north, east, south, and the mobile home communities to west.

1.6.3. Plan Area Physical Characteristics

The Specific Plan area is comprised of two parcels for a total of approximately 14.4-acres. The proposed site is surrounded by existing development and is comprised of disturbed and vacant land and absent of any structures. Sparse vegetation and a few trees are scattered throughout the site.

The natural topography of the site slopes from the south to the north and east. The sites approximate elevation ranges from 694' to 820' in elevation above mean sea level.

1.6.4. Factors That Influence the Specific Plan

The following descriptions of the opportunities and constraints provide a portion of the factors that influence the development of the Sunrise Specific Plan. In addition to the opportunities and constraints, the Specific Plan also incorporates input from the City of San Marcos staff, as well as input from the neighboring public who may have a stake in the development of the Specific Plan area. Together, when applied to development, these factors help form the basis for comprehensive development within the Specific Plan area.

1.6.4.1. General Location

The Sunrise Specific Plan's general location supports the proposed multi-family residential land use. Ideally, residential land uses should be compatible with the surrounding built environment; taking advantage of existing infrastructure, transportation, and amenities. The Plan's location facilitates a symbiotic relationship between housing and employment centers within the region and is inclusive of transportation options which reduce greenhouse gas emissions, thereby establishing consistency with Senate Bill 375 (SB 375) (Sustainable Communities and Climate Protection Act of 2008). The Plan's proximity to Interstate 15 and Highway 78 and the Nordahl NCTD transit station make for an ideal connectivity to a regional transportation network, employment centers, and shopping and services in an area of rapid growth.

1.6.4.2. Topography

Generally, the topography of the site slopes from the southwest to the east and northeast corners. The steepest slopes occur at the northwest corner, which drops in elevation as the slope runs to the southeast and northeast corner of the site, which drops in elevation as it runs to the south. The site will require a grading variance and retaining walls to grade the site into usable pad areas. Several rock outcroppings are located on the property.

1.6.4.3. Surrounding Land Uses

The Specific Plan design is a compatible transition from the surrounding mobile home residential development and commercial and light industrial land uses in the area. Multi-family development should generally be sited between transitions from urban residential or business-oriented development and more suburban residential development. In that regard, the proposed location is ideal for a multi-family residential project area. The site is surrounded by commercial/light industrial developments and denser mobile home residential development. Therefore, the proposed multi-family project density is consistent with the surrounding land uses.

1.6.5. Relationship to Existing Plans and Regulations

Consistency between the City of San Marcos General Plan and this Specific Plan is required to comprehensively form the Specific Plan in a manner which accurately captures all elements needed to make informed development decisions. The General Plan elements described below contain goals and policies, which when incorporated into the Specific Plan, will set forth the policies and regulatory groundwork that all development within the Specific Plan area must meet to satisfy the requirements herein.

The Sunrise Specific Plan area is within the jurisdiction of the City of San Marcos and is a policy tool for the City to use in conjunction with the City's General Plan. The General Plan is the primary tool used to realize the development vision policy makers and the public desire for the future needs of their city. The policies and goals outlined in the General Plan establish the framework for instituting all future development within the City of San Marcos.

1.7. City of San Marcos General Plan

As the lead agency, the City of San Marcos has the authority to develop the General Plan and to ensure any subsequent plans or policies conform to the goals and policies of the General Plan. As noted in Section 1.4 and 1.5, the Sunrise Specific Plan must establish consistency with, and carry out the goals and policies as set forth in the General Plan. This section provides descriptions of the consistency between this Specific Plan and each Element of the City of San Marcos' General Plan.

1.7.1. Specific Plans

Chapter 20.250 of the San Marcos Zoning Ordinance establishes specific standards to regulate development by authority from the General Plan, describes specific plans as tools for the

systematic implementation of the San Marcos General Plan. As a planning tool, the specific plan derives its authority from state and local law to provide a more precise framework for the distribution of land uses, infrastructure, development standards, resource conservation, and implementation measures necessary to carry out the goals of the General Plan. The Sunrise Specific Plan accounts for the unique physical characteristics, constraints, and resources of the Plan area to provide specific development guidelines for projects within the Plan area. According to Government Code Section 65454, a specific plan must be consistent with the adopted General Plan. The Sunrise Specific Plan's consistency with the General Plan is described in more detail below.

1.7.2. Land Use and Community Design Element

The Land Use Element establishes the foundation for future growth the City Council and the community envisioned for land uses within the City of San Marcos. The Element carefully considers a sustainable balance of land uses which would help grow the City's economy and provide for a high quality of life for residents. The Sunrise Specific Plan establishes rules for the density, intensity, and land uses for development within the Plan area. Those land uses must conform to the goals of the Land Use Element and contribute to the vision the City anticipated for development. The Sunrise Specific Plan meets the intent of all Land Use Goals. A brief description of compatibility is provided below.

Specific Plan consistency with the General Plan will be met by designing an efficient and appropriate multi-family residential development which compliments its surrounding land uses and is sited near alternate modes of transportation. Existing utilities and facilities are close to the proposed Specific Plan area and any development will contribute its fair share to improve public facilities and services. The project design will promote the use of renewable energy and green building practices in compliance with State and local rules and regulations to reduce as much as possible any potential environmental impacts. Renewable energy and green building practices are discussed in more detail in Section 5.5 of this Plan. When applied, the standards set forth in this Specific Plan will complement the General Plan and will contribute a quality development to the community.

1.7.3. Mobility Element

The Mobility Element of the General Plan establishes the structure for a comprehensive, multi-modal transportation network throughout the City of San Marcos. The Element examines the strategic locations of transportation modes and methods to better connect the City's commercial and retail centers, industrial complexes, and residential neighborhoods, as well as connecting to the major regional transportation systems. When incorporated together, the components of the Mobility Element help provide a higher quality of life to residents by facilitating a cohesive network of transportation options that work to eliminate congestion and improve circulation throughout the City while also connecting the City of San Marcos to regional opportunities.

The Sunrise Specific Plan integrates into the City of San Marcos' transportation network by establishing a circulation plan based on the goals outlined within the Mobility Element. The Plan area will include a transportation network designed appropriately for the land uses and connecting to the City's existing infrastructure. The Plan area meets the goals of the Mobility Element because its proximity to multi-modal transportation facilities. The Nordahl transit station is a quick walk or bike ride from the project area and offers light rail (Sprinter) and bus (Breeze) services. The Plan area's proximity to the SR-78 freeway and Interstate 15 allow for easy regional connectivity to employment centers, shopping areas, and recreation opportunities. The Specific Plan area's internal road circulation and access plan creates a safe and free flow of vehicular, pedestrian, and bicycle traffic by incorporating traffic calming measures to promote safe driveways shared by all. When combined, these components help reduce greenhouse emissions and provide well-designed circulation systems and connectivity because the location of the Plan area is near existing transit, employment and retail centers along E. Mission Road. The components of the circulation plan, when met, help reduce emissions and satisfy the goals and policies of the San Marcos General Plan.

1.7.4. Conservation and Open Space Element

The Conservation and Open Space Element of the General Plan identifies natural, cultural, historic, and open space resources within the City of San Marcos. The goals provided within the Conservation and Open Space Element outline the policies and programs related to open space and resource conservation which must be incorporated into development and growth within the City of San Marcos.

The site is an infill development and is relatively flat and surrounded by existing development. No key biological resources or prominent land features have been identified within the Specific Plan area. Additionally, any landscaping within the Plan area must conform to strict water and other resource conservation measures. Any future development must implement engineering plans to treat all water runoff on site. Waste and recycling services established by this Plan also contribute to pollution reduction and resource conservation. By tying future development to specific conservation and open space requirements the Sunrise Specific Plan is consistent with the Conservation and Open Space Element.

1.7.5. Parks, Recreation, and Community Health Element

The purpose of the Parks, Recreation, and Community Health Element of the General Plan is to provide recreational opportunities which contribute to the health and well-being of the residents of San Marcos. The goals of the Element outline the amenities future development must provide to satisfy the intent of the General Plan.

The Sunrise Specific Plan area will strive to offer healthy and enjoyable recreational opportunities through the creation of private open space and community gathering areas for the Specific Plan area residents. The Specific Plan area will provide, at a minimum, the City's required public park

space, or in-lieu fees paid to the City to meet the intent of the Parks, Recreation, and Community Health Element.

1.7.6. Safety Element

The primary purpose of the Safety Element of the General Plan is to establish goals that promote the public health, safety, and welfare of residents and their property within the City of San Marcos. The Safety Element identifies and creates a plan for anticipated natural and human-caused safety concerns affecting city residents.

The Sunrise Specific Plan develops a plan for the implementation of public safety measures and first responders to help maintain the safety of the Plan area's residents, as well as its neighbors. By utilizing the most current building codes, the community's risk associated with geological hazards are reduced by utilizing the most up to date structural construction methods to reinforce dwelling units. Additionally, the site is an infill development site, surrounded by existing residential and commercial/light industrial development. The surrounding developed properties contributes to the defensible space of the site, reducing wildland fire risk. Structures will be required to include internal fire sprinklers to reduce damage from fire threats. In addition, two separate exits are provided, per San Marcos Fire Code, to assist in emergency egress for residents and emergency vehicle access to the site. Therefore, by the intrinsic location of the site, and the incorporation of all relevant building and safety codes, the risk of damage from wildland fires is mitigated through thoughtful design. These measures will maintain the Specific Plan's compliance with the City of San Marcos' Safety Element.

1.7.7. Noise Element

The purpose of the Noise Element of the General Plan is to identify potential problems and noise sources threatening community safety and comfort and to establish policies and programs that will limit or mitigate the community's exposure to excessive noise levels. It addresses both existing and foreseeable future noise abatement issues.

The Sunrise Specific Plan area has been designed as a multi-family residential development, which when built will create an appropriate use of the land. The future development will separate, reduce, or mitigate noise actively through engineered street design by providing double loaded driveways, which trap noise from exiting the site. Site design provides a perimeter wall, which will act as a sound attenuation wall thereby mitigating for external noise entering the site and internal noise from exiting the site. Utilizing current construction codes and standards provides additional measures preventing noise from entering dwelling units. If needed, Construction noise will be mitigated through proper maintenance of construction vehicles equipped with noise reduction intakes, exhaust mufflers, engine shrouds, in accordance with the manufacturers' recommendations. When possible, electrical power shall be used to run air compressors and power tools. Equipment staging areas should be located as far as feasible from neighboring occupied residences. Finally, noise attenuation techniques shall be employed, as needed, to ensure noise levels remain below 75 dBA Leq at the western and southern project boundary.

When combined, each design feature and construction mitigation measures, will conform the project to the City's General Plan Noise Element requirements.

1.7.8. Housing Element

The Housing Element of the San Marcos General Plan seeks to balance existing housing and future housing development within the city to meet the housing needs of city residents. Each element of the General Plan must be taken into consideration when developing the Housing Element to ensure comprehensive policies and goals are included in the Housing Element. Those policies and goals form a framework that the Sunrise Specific Plan will follow to systematically implement a comprehensive housing development plan that is consistent with the General Plan.

Multi-family residential development within the Sunrise Specific Plan area will encompass approximately 14.4-acres and will include a maximum of 192 multi-family residential dwelling units for an approximate total density of 13.3 dwelling units per-acre (du/acre). This residential density equates to the Medium Density Residential 1 (MDR1) land use designation of the San Marcos General Plan. The unit mix and variations of building types proposed for the Specific Plan area, which will include a variation of bedrooms, therefore providing a range of units and housing opportunities that will be attractive to potential residents across the economic spectrum. Therefore, the Sunrise Specific Plan area is consistent with the goals provided within the Housing Element of the General Plan.

1.8. Compliance with CEQA

An Environmental Impact Report (EIR) will be prepared for and accompany the Sunrise Specific Plan. The EIR is prepared in accordance with the California Environmental Quality Act (CEQA) and serves as a comprehensive environmental document for subsequent development within the Specific Plan area. The EIR examines the relationship the Specific Plan implementation may have on potential environmental impacts to the Plan area and makes determinations for mitigation measures to reduce impacts to below levels of significance. The EIR will be certified concurrently with the Specific Plan by the decision-making body.

A Mitigation Monitoring and Reporting Program (MMRP) must be adopted in accordance with Public Resources Code Section 21081.6 to ensure the proper implementation of the mitigation measures outlined within the EIR. All future development within the Plan area is required to adopt and implement the mitigation measures specified in the MMRP, if applicable.

Subsequent development proposals within the Sunrise Specific Plan area, if found by the City of San Marcos to be consistent with this Plan and the impact analysis and mitigation measures found in the certified EIR, may be approved and implemented without further public environmental review according to California Government Code Section 65457. Prior to amendment to this Specific Plan, the City of San Marcos shall determine if further environmental review and analysis is required to satisfy CEQA requirements.

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Chapter 2 Land Use and Design

2. Land use and Design

This chapter presents the objectives and standards that will govern all future community development within the Sunrise Specific Plan area. The Land Use and Design chapter of the Sunrise Specific Plan will not only establish rules of development within the Plan area, it will also establish a design theme. Design rules and themes create the foundation for the project area to create character, which will give residents a sense of place within their community. The following sections of this chapter present the meticulous design details for development within the Specific Plan area including such issues as assignment of land uses, residential development standards, and landscape and open space design and standards. This chapter will build upon those concepts and standards to ultimately develop an attractive and functional community reflective of the character of the City of San Marcos.

2.1. Design Objective

Sunrise strives to create an appealing residential community founded on solid design principals. The Plan area’s natural features provide an opportunity to create that appealing community through development that blends with its surroundings.

The Plan area will address community planning goals and will incorporate core recreational concepts into the development design. Through careful engineering the site will present a residential design conscious of open space placement and orderly circulation design thereby reducing the projects impacts and maximizing recreational opportunities. These goals include:

- Create a sustainable development through careful balancing of land use, connections to, and proximity to transportation options, and open space opportunities;
- Design a series of roadways that safely link the development to the larger community;
- Establish a neighborhood linked to the community through a multi-modal transportation system to include roads, pedestrian, and bicycle mobility options;
- Create a series of built features, using architecture design and landscape design, that provide a distinct built environment which is pleasing to residents and neighbors alike;
- Maintain the feel of the community through use of building materials that complement and enhance the surrounding environment and neighborhoods; and
- Create a distinct recreational environment though the careful placement of open space features that blend with natural land forms.

2.2. Land Use Plan

The following design elements and standards are intended to provide specific design parameters within the Sunrise Specific Plan area. When applied to the residential and landscape design, these regulations will encourage the orderly development of the residential and open space uses by providing explicit details on the parameters of development.

2.2.1. Land Use Plan Overview

The approximately 14.4-acre Sunrise Specific Plan will be comprised of two main land uses; a residential land use component and an open space land use component. These individual land uses will be subdivided to accommodate a multi-family residential development and two primary categories of open space use (active and passive open space). The 13.3 du/ac multi-family land use within the Specific Plan area equates to a Medium Density Residential (MDR1) 12.1-15.0 du/ac General Plan land use classification. Open space within the Specific Plan area will total approximately 6.16-acres and is the only other land use allowed within the Specific Plan area. Open space will be categorized in three primary forms, with the first two subdivided into several lesser categories; passive open space (landscaping, bio-retention basins, and open turf areas), recreational open space (community pool area, tot lot, barbeque stations, etc.), and 250 sf of private open space provided for each dwelling unit with ground floor living space and 50 sf of private open space for units with no usable ground floor living space. These features comprise a well-rounded residential neighborhood, supportive of community activities and the health of the residents. The division of land uses can be seen on **Figure 2-1**.

Table 2-1 Land Use Distribution

Land Use	Total Gross Area (in acres)	Target Density (DU/acre)	Proposed DU's	Project Density
Multi-Family Residential	3.78	12.1-15.0	192	13.3 ¹
Common Driveways & Alleys	4.45	n/a	n/a	n/a
Common Open Space area w/ grades 10% or greater	2.12	n/a	n/a	n/a
Common Open Space area w/ grades less than 10%	2.76	n/a	n/a	n/a
Private Open Space	0.99	n/a	n/a	n/a
Bio-Retention Areas	0.29	n/a	n/a	n/a
Open Space Subtotal	6.16	n/a	n/a	n/a
Site Total	14.4	12.1-15.0 du/ac	192	13.3 du/ac

¹Project density calculation includes the sites total gross acreage.

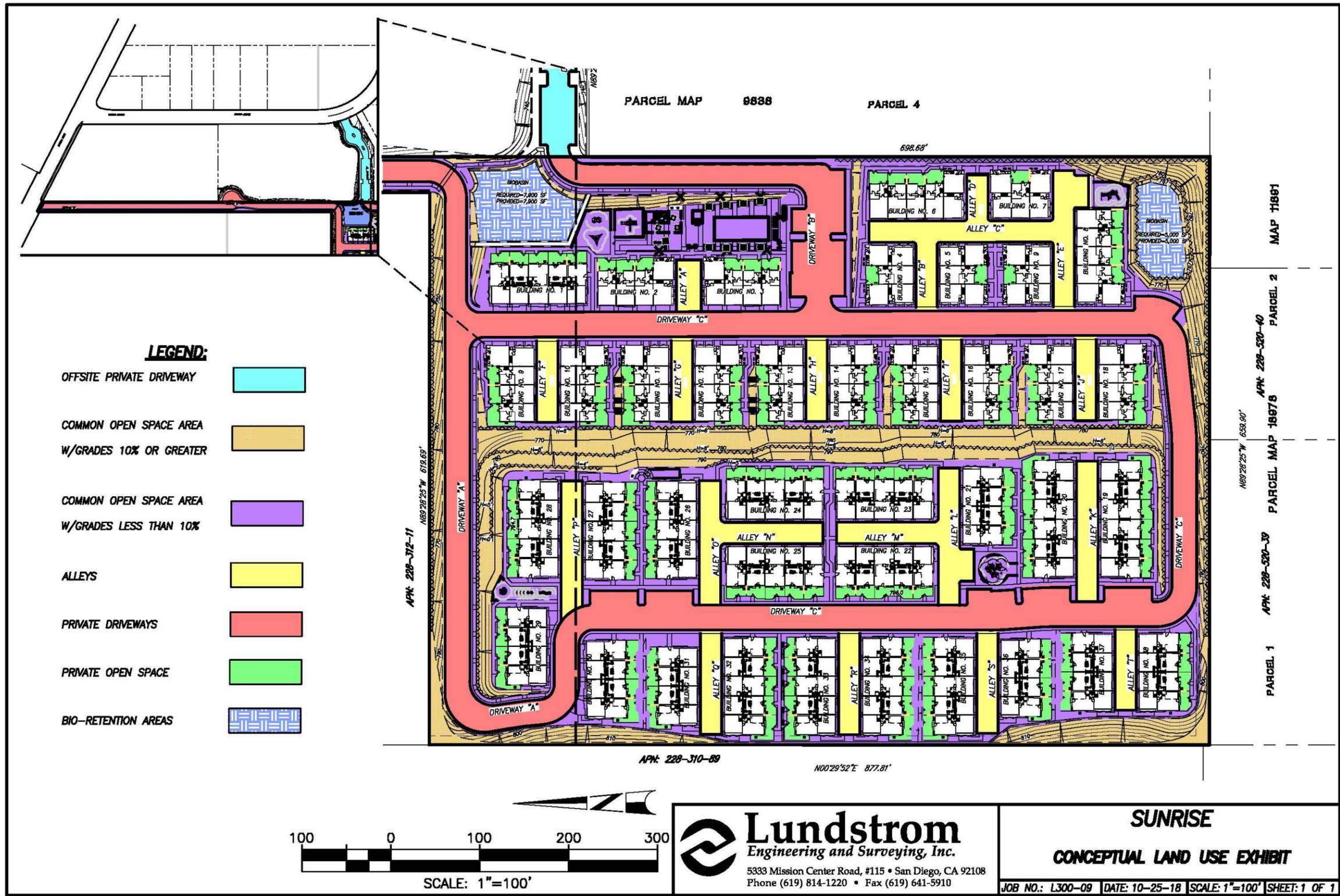
Chapter 2 Land Use and Design

The nature of this development lends itself to certain uses which would be appropriate for the residential and open space land use classifications. Therefore, a table of permitted, conditionally permitted, and prohibited land uses has been prepared for ease of reference (**Table 2-2**). Those uses not specifically listed in the table are subject to review based on the consistency within the purpose and intent of the land use categories and are subject to the approval of the Development Services Director. The Director may refer uses or interpretation of permitted uses to the Planning Commission.

Table 2-2 Permitted Land Uses

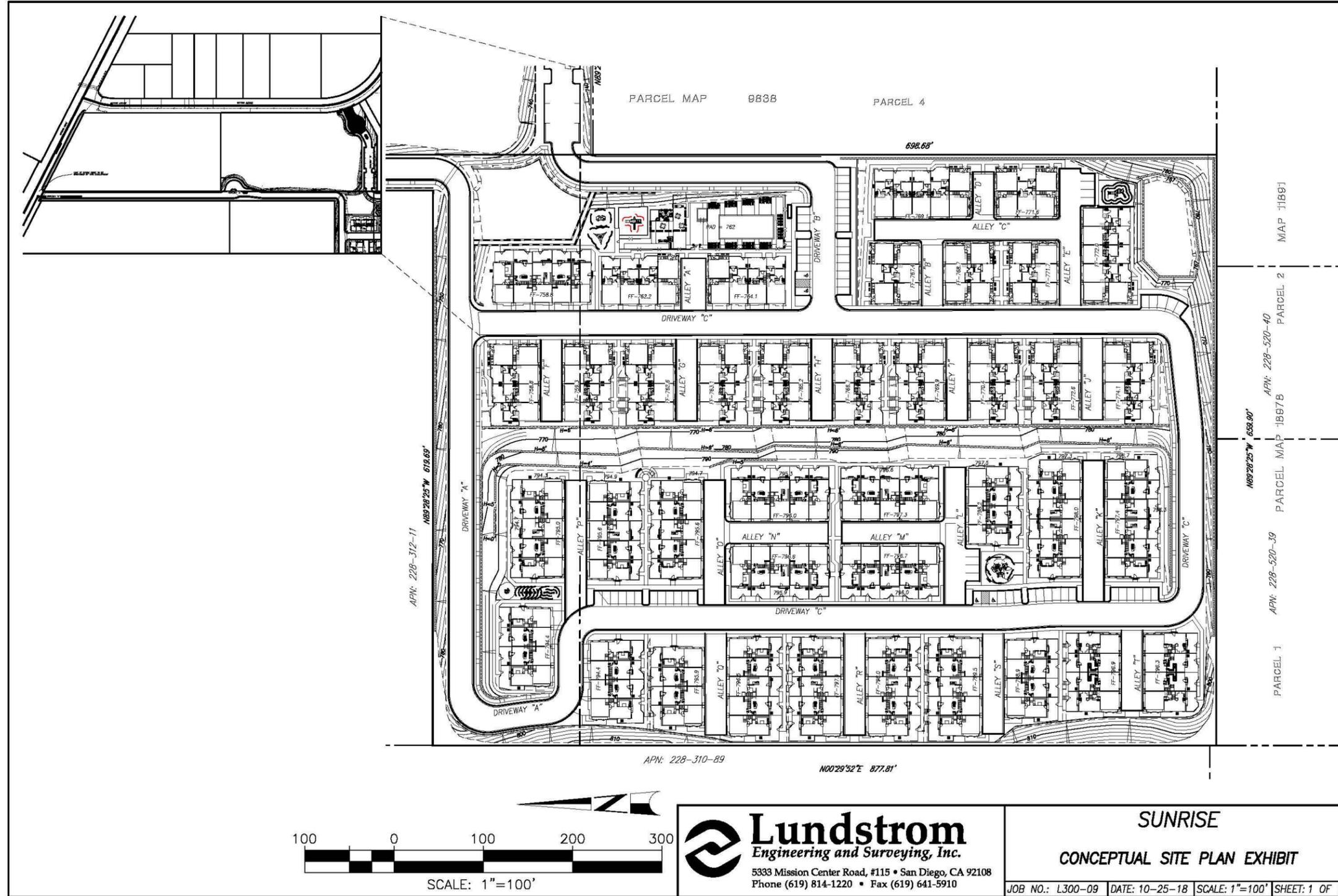
Land Use	Permitted, Conditionally Permitted, Prohibited
Residential Uses	
Multi-Family Dwelling	P
Private Residential Garage	P
Open Space Uses	
Recreational Open Space	P
Non-Commercial Horticulture	P
Accessory Uses	
In-Garage Electric/Natural Gas Fueling Stations	P
Rooftop Solar Energy/Water Heating Panels	P

Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X); and Temporary (T)



Conceptual Land Use Plan
 Sunrise Specific Plan

Figure 2-1



Conceptual Site Plan
Sunrise Specific Plan

Figure 2-2

2.2.2. Open Space Land Uses

Recreational and open space uses are important components to any development. These areas provide opportunities for relaxation and exercise, thereby enhancing the quality of life for the community. The Sunrise Specific Plan area features a variety of evenly distributed and strategically placed active and passive outdoor recreational opportunities. The open space land uses were designed to accommodate residents throughout the Specific Plan area. By distributing open space and recreational areas in carefully chosen locations throughout the site, the Specific Plan was able to accommodate residents by locating amenities within a short walk, thereby maximizing community accessibility.

The Plan area provides sub categories of passive and active open space to include; Common open space area with grades 10% or greater, common open space area with grades less than 10%, private open space, and biological retention areas. Total open space for the Specific Plan Area is approximately 6.19-acres; the first category mentioned is common open space with grades of 10% or greater. This category is by definition, according to the City of San Marcos Zoning Ordinance, open space which cannot be counted as usable open space. This category includes open space features such as landscaping, open turf areas, and biological retention areas, although for purposes of this section biological retention areas are classified separately. Common open space area with grades less than 10% include usable open space areas, which encourage relaxation activities such as observing nature, bird watching, painting, photography, and picnicking as well as recreational open space areas such as pool area, recreational facilities, tot lots, and barbeque stations. This category of open space encourages an active lifestyle which promotes physical activity and community areas and will create additional outdoor opportunities for residents of the community to enjoy a healthy lifestyle. The third category is private open space provided for each dwelling unit with ground for living space. This category will be discussed in further detail in Section 2.3.8. The last open space category, biological retention areas, are passive open space areas which are used to direct water during rain events to control for flooding and to treat water before its discharged from the site. Open space categories are clarified on **Figure 2-3 and Figure 2-4, Open Space Exhibit**.

As a recreational component of multi-family development within the City of San Marcos one tot lot is required for every 25 dwelling units with a minimum of 400 sf of play area for each tot lot. This would amount to approximately 8 tot lots distributed throughout the Specific Plan area with an approximate total of 3,100 sf of play area. It's anticipated due to multi-family condominium demographics, that the Sunrise project will have less young children than typical. Therefore, the Sunrise Specific Plan provides four common-area gathering spaces totaling 4,978-sf., inclusive of a multi-age tot lots, tot lots, barbeque counters, and open artificial turf and patio areas, which will facilitate usage from a broader age group (**Figure 2-5 through Figure 2-9**). In addition to the common-area gathering spaces, the Specific Plan area provides 10,283 sf of pool deck recreation area (**Figure 2-9**), which includes an additional 983-sf tot lot and 1,614-sf multi-age playground, a bocce ball court, pool, spa, and patio/bbq gathering space. By deviating slightly from the

Municipal Code, the Specific Plan area provides more overall square footage than otherwise allowed, which maximizes the potential for usage by a broader age group throughout the Specific Plan area.

COMMON OPEN SPACE CALCULATION FOR TWO STORY PRODUCT

BLDG TYPE	PLAN TYPE	UNITS/BLDG	NO. BLDGS	NO. UNITS	TOTAL UNITS	LIVEABLE AREA/UNIT	TOTAL LIVEABLE AREA
A (6 PLEX)	1	2	2	4	18	485	1940
	2	2	2	4	18	520	2080
	3	2	2	4	18	515	2060
B (5 PLEX)	1	2	12	24	55	485	11,640
	2	1	1	12	24	520	6,240
	3	2	1	24	55	515	12,360
C (4 PLEX)	1	2	7	14	28	485	6,790
	2	-	-	-	-	520	-
	3	2	-	14	28	515	7,210
TOTAL			21	100	100		50,320

COMMON OPEN SPACE REQUIRED 15,096 SF*

COMMON OPEN SPACE CALCULATION FOR THREE STORY PRODUCT

BLDG TYPE	PLAN TYPE	UNITS/BLDG	NO. BLDGS	NO. UNITS	TOTAL UNITS	LIVEABLE AREA/UNIT	TOTAL LIVEABLE AREA
A (6 PLEX)	1	1	2	2	12	-	-
	2	1	2	2	12	-	-
	3	2	2	4	12	310	1,860
	4	2	2	4	12	350	2,100
B (5 PLEX)	1	2	4	8	20	-	-
	2	2	4	8	20	-	-
	3	-	-	-	-	310	-
	4	1	4	4	12	350	1,400
C (5 PLEX)	1	1	12	12	60	-	-
	2	1	1	12	60	-	-
	3	1	1	12	60	310	3,700
	4	2	1	24	60	350	8,400
TOTAL			19	92	92		17,480

COMMON OPEN SPACE REQUIRED 5,244 SF*

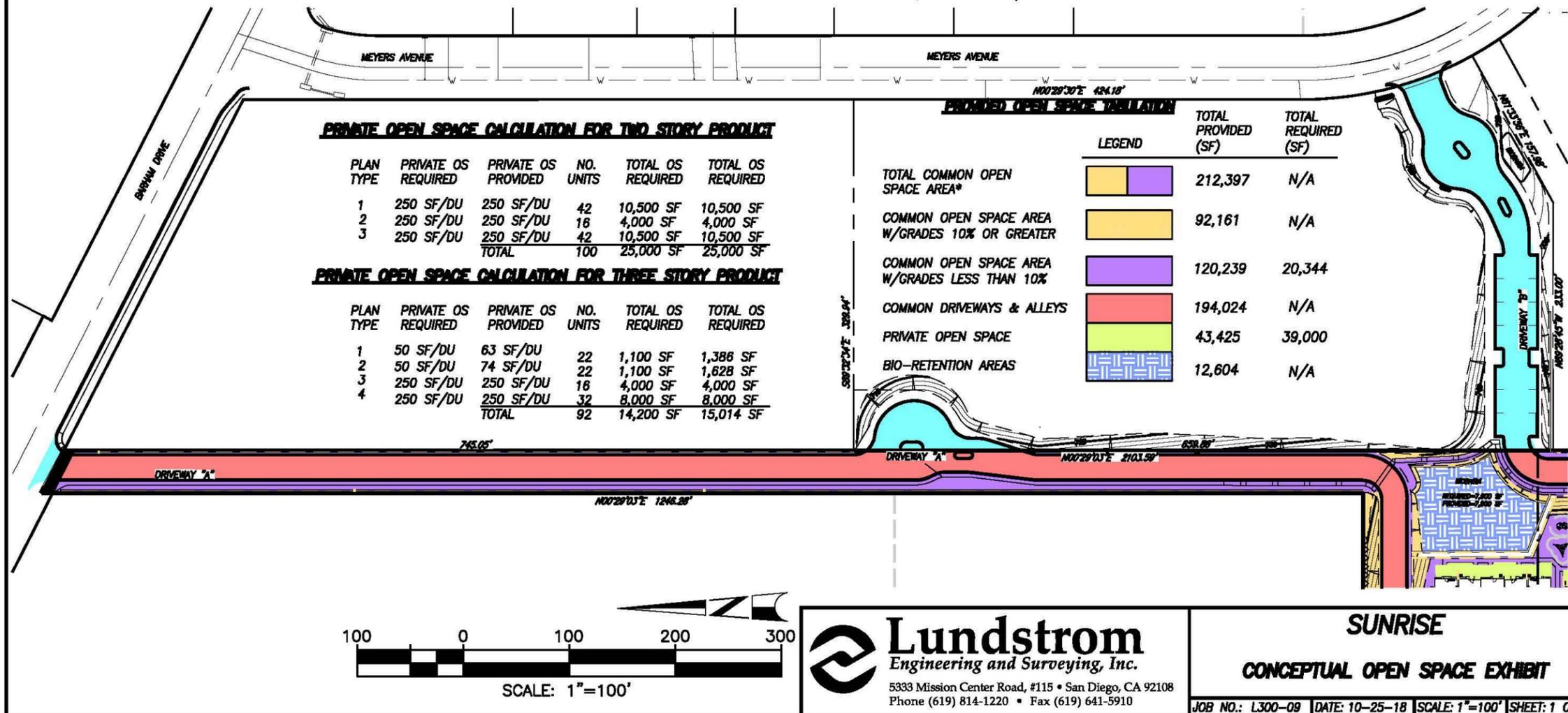
COMMON OPEN SPACE REQUIRED*

COMMON OPEN SPACE REQUIRED FOR TWO STORY PRODUCT 15,096 SF

COMMON OPEN SPACE REQUIRED FOR THREE STORY PRODUCT 5,244 SF

COMMON OPEN SPACE REQUIRED *20,344 SF

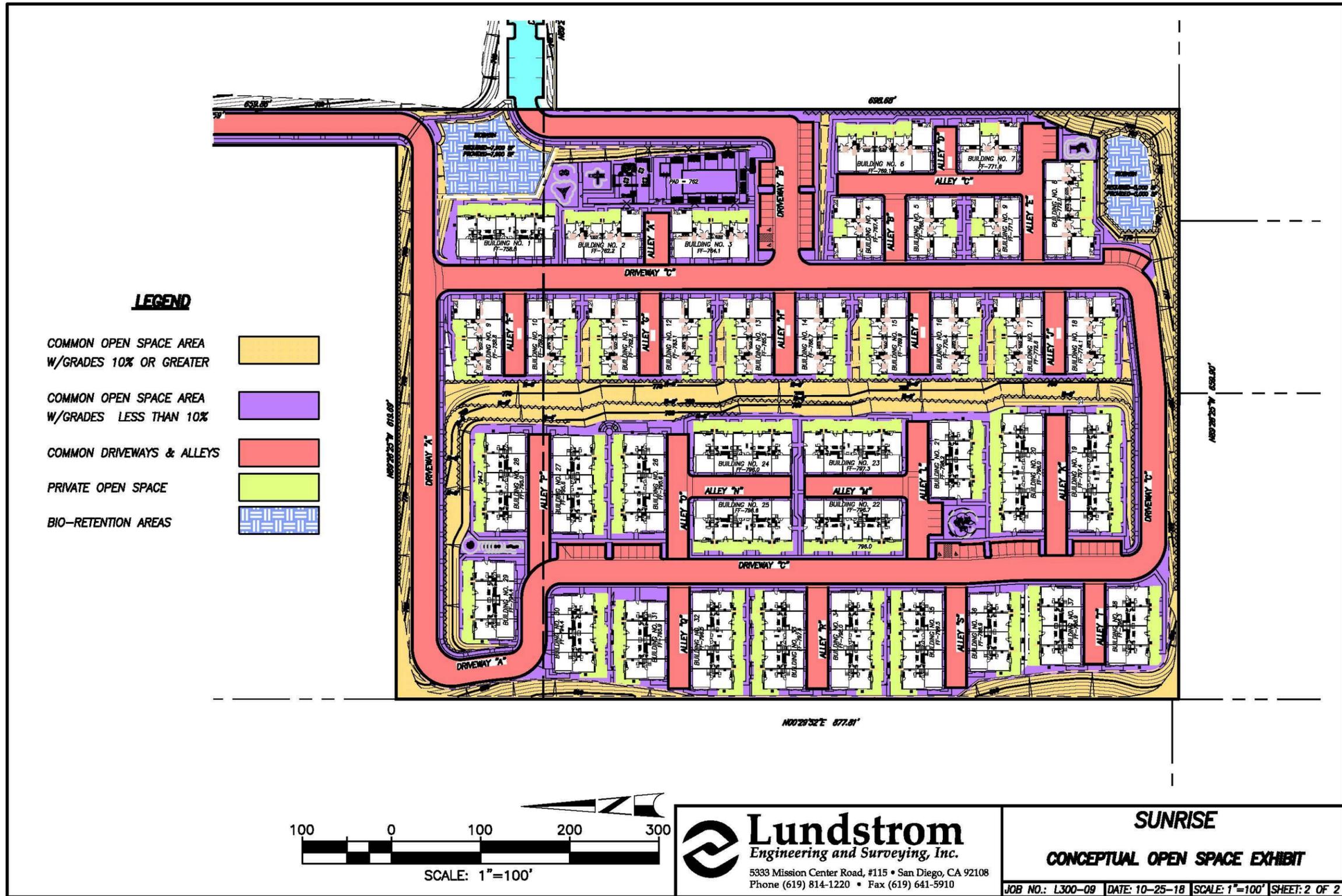
REQUIRED COMMON OPEN SPACE AREA = 30% OF THE TOTAL GROUND FLOOR LIVEABLE AREA



Conceptual Open Space Exhibit Sheet 1

Sunrise Specific Plan

Figure 2-3



Conceptual Open Space Exhibit Sheet 2
 Sunrise Specific Plan

Figure 2-4

The Specific Plan proposes to provide five main common recreational open space areas. A pool deck recreation area will provide residents with amenities such as a 25’ x 75’ pool, a 10’ x 13’ spa, pool building with storage area, barbeque counter and patio space, bocce ball and horseshoe area, an 983-sf tot lot, and 1,614-sf multi-age playground area. Common Gathering Area #1 is 1,075 sf and will provide residents with a multi-play tower for children aged 2-5 and an artificial turf area. Common Gathering Area #2 totals 1,175 sf and will include a tot lot and playhouses for children aged 2-5 and an artificial turf area. Common Gathering Area #3 will include 1,745 sf of space inclusive of a regulus climb structure for children aged 5-12 and an artificial turf area. The overlook area will provide 557-sf of space and will include an overlook area, a barbeque counter, and artificial turf area. These recreational facilities have been strategically placed throughout the Specific Plan area and will provide residents with relaxation opportunities and communal gathering space where they can enjoy time with friends, family, and neighbors.

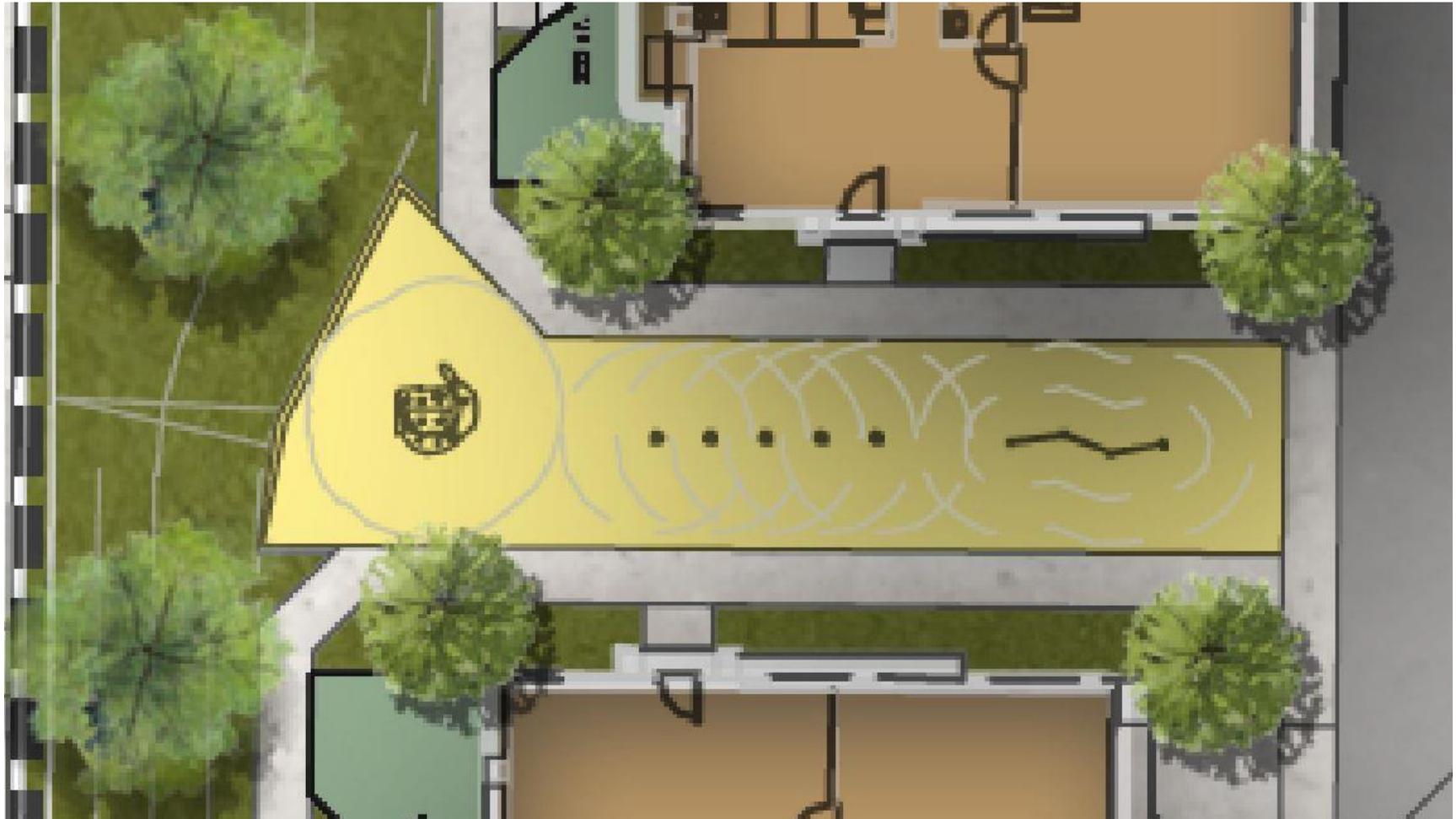
Table 2-3 Common Recreational Open Space Amenities

Open Space Amenity	Approximate Square Footage	Amenities Provided
Pool Deck Recreation Area	10,283	25’ x 75’ Pool 10’ x 13’ Spa Pool Building (includes restrooms, storage area & pool equipment) Barbeque Counter & Patio Space 800 sf Bocce Ball Court/Horseshoe Pit Multi-Age Playground Area (1,614 sf) Tot Lot (983 sf)
Common Area Gathering Space #1	1,075	Multi-Play Tower Artificial Turf Area
Common Area Gathering Space #2	1,175	Tot Lot & Playhouses Artificial Turf Area
Common Area Gathering Space #3	1,745	Regulus Climb Structure Artificial Turf Area
Overlook Area	557	Overlook Area Barbeque Counter Artificial Turf Area



Conceptual Common Open Space Area 1
Sunrise Specific Plan

Figure 2-5



Conceptual Common Open Space Area 2
Sunrise Specific Plan

Figure 2-6



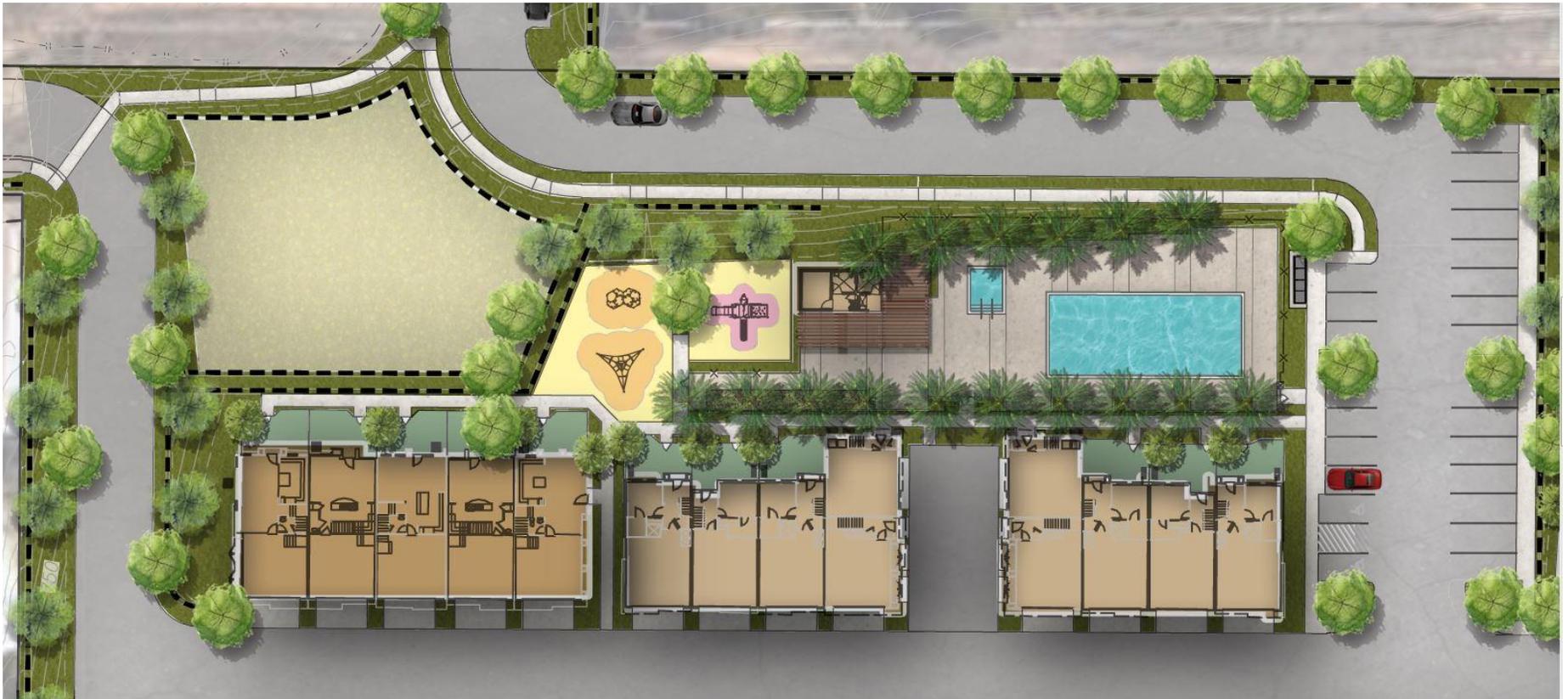
Conceptual Common Open Space Area 3
Sunrise Specific Plan

Figure 2-7



Conceptual Overlook Area
Sunrise Specific Plan

Figure 2-8



Conceptual Pool Deck Recreation Area
Sunrise Specific Plan

Figure 2-9

2.2.3. Residential Land Uses

The Sunrise Specific Plan is comprised of 192 multi-family residential units situated on approximately 14.4 gross acres. Residential land uses are situated on approximately 6.64 acres of the 14.4-acre site. Multi-family residential dwelling units are comprised of two product mixes: 2-story townhome product totaling 100 units and 3-story townhome product totaling 92 units.

Orderly implementation of the residential component of the Specific Plan requires established rules and regulations, which guide development of the residential development. Section 2.3 provides the regulations residential development must meet to satisfy this Specific Plan.

2.3. Residential Design and Development Standards

2.3.1. Architectural Styles

An important part of any Specific Plan which includes a residential component is the architectural home styles, along with landscaping, which help to strongly define a community's character. To create successful communities, architectural design must embody methods which are flexible enough to meet the changing needs of the consumer market yet, must also be visually pleasing products complementary to the surrounding neighborhoods. For those reasons mentioned above, the proposed architectural style has been presented for inclusion in the Sunrise Specific Plan area and was chosen based on its historic popularity with homeowners in California.

The following overview offers a brief description of the look and feel for the architectural style which could be offered within the Plan area. It should be noted that architecture within the Plan area should not be limited to only the style presented below. Additional architectural styles not represented in the following text should be allowed within the Plan area so long as any proposed architecture is found to be an appropriate design by the City of San Marcos Development Services Department and consistent with design guidelines set forth in the sections below.

Contemporary Brownstone – Contemporary Brownstone style blends classic elements with modern construction techniques. The simple and bold individual massing of each townhome creates a unique identity for each home. Stylized features such as the sloped parapets, metal awnings and recessed windows give the project a contemporary appearance. The modern style is then complimented with stone and brick veneer at the ground floor to add traditional character. The color blocking reinforces the strategy of breaking down larger building façades into pedestrian oriented scale. This style was chosen as it respects the adjacent commercial and industrial buildings while giving the project a residential feel.

2.3.2. Floor Plans and Elevations

Providing multiple variations of floor plans for each product type allows for a variety of building elevations, which enhances the visual landscape of the Specific Plan area. Both the 2-story and 3-story product types included within the Specific Plan area offer multiple floor plans within several different building elevations. Including a variety of floor plans helps to create distinction between building façades and contributes to street scene variation and community character.

The Specific Plan area provides a maximum of seven floor plans and six building composites (elevations) with several alternate elevations available. Unit types and building types may be considered interchangeable. Final configurations will be approved by the City of San Marcos Development Services Department. Sunrise architectural floor plans and elevations can be seen on **Figure 2-9** through **Figure 2-37**.

Table 2-4 Unit, Building, and Parking Summary

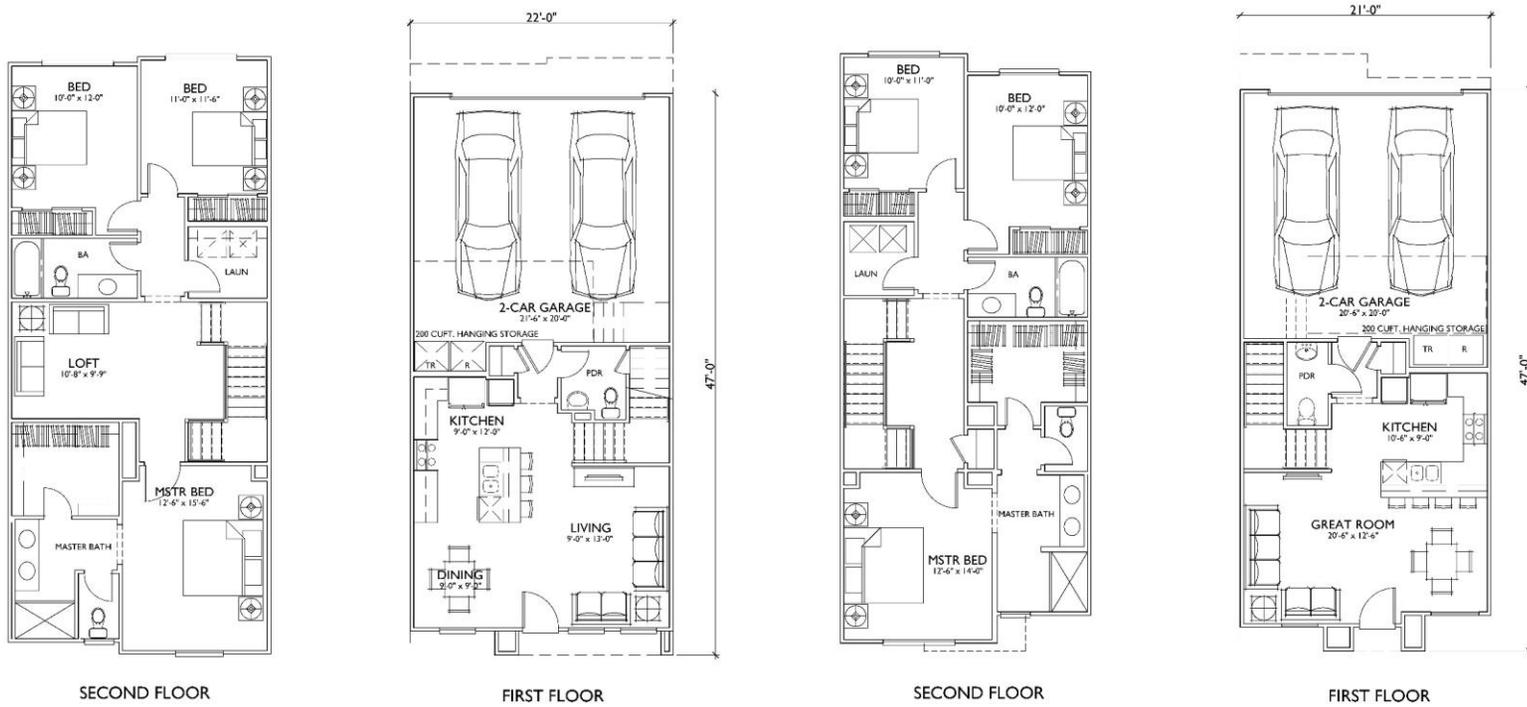
Dwelling Unit Summary			Building Composite Summary	
Two-Story Townhomes				
Plan Type	Square Footage	Units Count	Bldg./Total Floor Plans	Total Buildings
Plan 1 3B/2.5B	1,440 sf	42	Building A = (2x Plan One, 2x Plan Two, 2x Plan Three)	2
Plan 2 3B/2.5B	1,565 sf	16	Building B = (2x Plan One, 1 Plan Two, 2x Plan 3)	12
Plan 3 4B/2.5B	1,590 sf	42	Building C = (2x Plan One, 2x Plan Three)	7
Subtotal Units		100	Subtotal Two-Story Buildings	21
Three-Story Townhomes				
Plan Type	Square Footage	Unit Counts	Bldg./Total Floor Plans	Total Buildings
Plan 1 2B/2B	1,190 sf	22	Bldg. A = (Plan one, Plan Two, 2x Plan Three, 2x Plan four)	2
Plan 2 3B/3B	1,505 sf	22	Bldg. B = (2x Plan One, 2x Plan Two, Plan 4)	4
Plan 3 3B/3.5B	1,730 sf	16	Bldg. C = (Plan One, Plan Two, Plan Three, 2x Plan Four)	12
Plan 4 4B/3.5B	1,890 sf	32	Subtotal Three-Story Buildings	19
Subtotal		92 Units		
Total Multi-Family Dwelling Units		192	Total Buildings	40
Parking Matrix				
<u>Parking Required</u> 192 du x 2.33 = 448 spaces			<u>Parking Provided</u> Garages 384 spaces <u>Open 80 spaces</u> Total 464 Spaces	

2.3.2.1. Two-Story Product

Two-story product mix for the Sunrise Specific Plan area includes a total of 42 Plan One floor plans, 16 Plan Two floor plans, and 42 Plan Three floor plans. Those floor plans are included within three building composites. Building A includes a total of six units; 2 Plan One units, 2 Plan Two units, and 2 Plan Three units. Building B includes a total of five units; 2 Plan One units, 1 Plan Two unit, and 2 Plan Three units. Building C includes a total of four units; 2 Plan One units, and 2 Plan Three units.

2.3.2.2. Three-Story Product

Three-story product mix for the Sunrise Specific Plan includes a total of 22 Plan One units, 22 Plan Two units, 16 Plan Three units, and 32 Plan Four units. Three-story units are included within three building composites. Building A includes 1 Plan One unit, 1 Plan Two-unit, 2 Plan Three units, and 2 Plan Four units. Building B composites include 2 Plan One units, 2 Plan Two units, and 1 Plan Four unit. Building C is comprised of 1 Plan One unit, 1 Plan Two-unit, 1 Plan Three unit, and 2 Plan Four units.



PLAN 2: 3BD/2.5BA
 1ST FLR - 515 S.F.
 2ND FLR- 1050 S.F.
 TOTAL 1565 S.F.

PLAN 1: 3BD/2.5BA
 1ST FLR - 485 S.F.
 2ND FLR- 955 S.F.
 TOTAL 1440 S.F.

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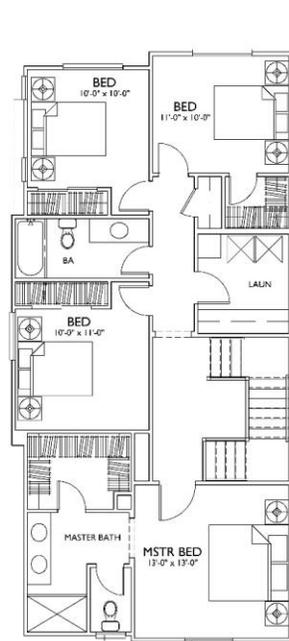
SUNRISE
 OCTOBER 25, 2018
 SCALE: 0 4 8 12

TWO STORY - UNIT PLANS
 SUMMA ARCHITECTURE
 5256 S. Mission Road, Ste 404
 Bonsall, CA 92003
 760.724.1198
 A-1

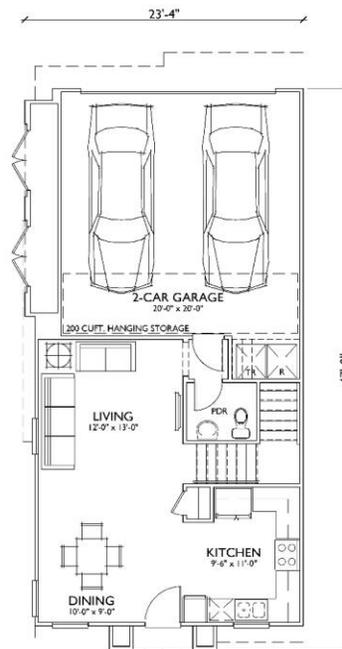
Two-Story Unit Plans

Sunrise Specific Plan

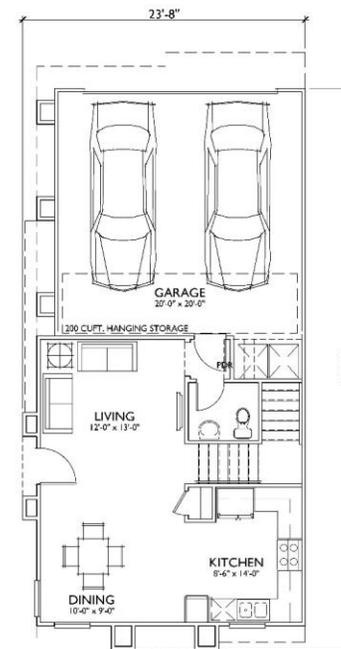
Figure 2-10



SECOND FLOOR



FIRST FLOOR



FIRST FLOOR
PLAN 3B

PLAN 3:	4BD/2.5BA
1ST FLR -	525 S.F.
2ND FLR -	1065 S.F.
TOTAL	1590 S.F.

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OCTOBER 25, 2018

SCALE: 0 4 8 12

TWO STORY - UNIT PLANS



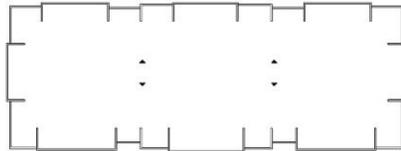
5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

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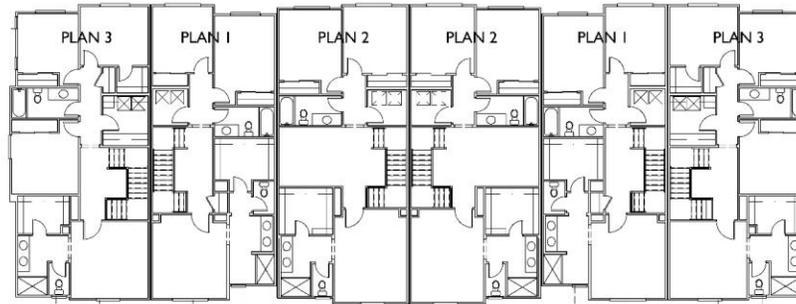
Two-Story Unit Plans (Continued)

Sunrise Specific Plan

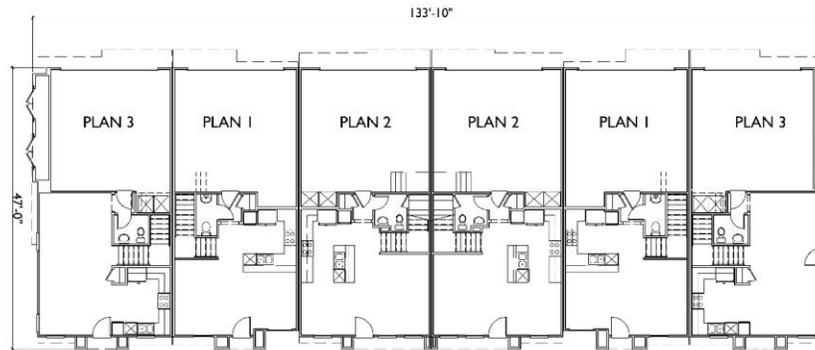
Figure 2-11



ROOF PLAN 1/16"=1"



SECOND FLOOR



FIRST FLOOR

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SUNRISE

OCTOBER 25, 2018

SCALE: 0 8 16 24

TWO STORY - BLDG A COMPOSITE



5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

A-3

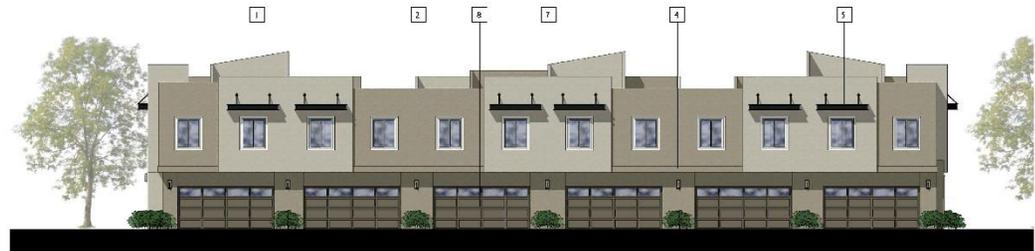
Two-Story Building A Composite

Sunrise Specific Plan

Figure 2-12



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELLIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)

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SUNRISE

DECEMBER 14, 2018

SCALE: 0 8 16 24

TWO STORY - BLDG A1 ELEVATION



5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

A-4

Two-Story Bldg. A1 Elevations

Sunrise Specific Plan

Figure 2-13



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)

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(760) 944-7511

SUNRISE

DECEMBER 14, 2018

SCALE: 0 8 16 24

TWO STORY - BLDG A2 ELEVATION



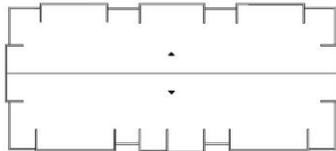
5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

A-5

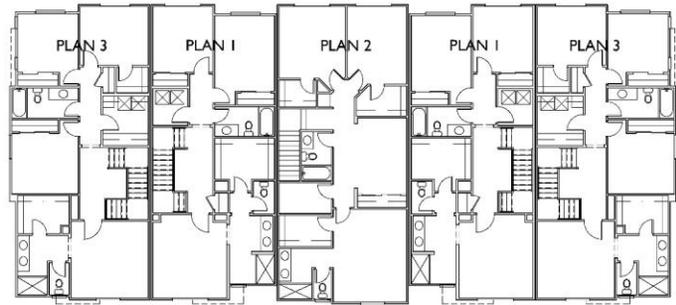
Two-Story Bldg. A2 Elevations

Sunrise Specific Plan

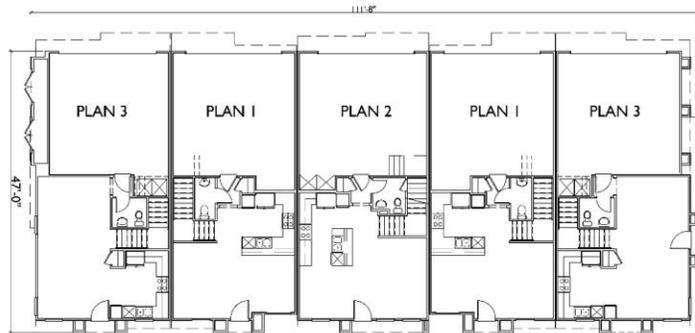
Figure 2-14



ROOF PLAN 1/16"=1"



SECOND FLOOR



FIRST FLOOR

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 (760) 944-7511

SUNRISE

OCTOBER 25, 2018

SCALE: 0 8 16 24

TWO STORY - BLDG B COMPOSITE



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 760.724.1198

A-6

Two-Story Building B Composite

Sunrise Specific Plan

Figure 2-15



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR (OPTIONAL WINDOWS)

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SCALE: 0 8 16 24

TWO STORY - BLDG B1 ELEVATION



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A-7

Two-Story Bldg. B1 Elevations

Sunrise Specific Plan

Figure 2-16



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)

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TWO STORY - BLDG B1 ALT ELEVATION



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A-8

Two-Story Bldg. B1 Alternate Elevations

Figure 2-17

Sunrise Specific Plan



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)

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TWO STORY - BLDG B2 ELEVATION



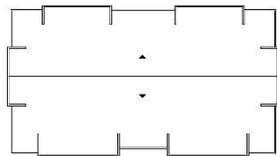
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A-9

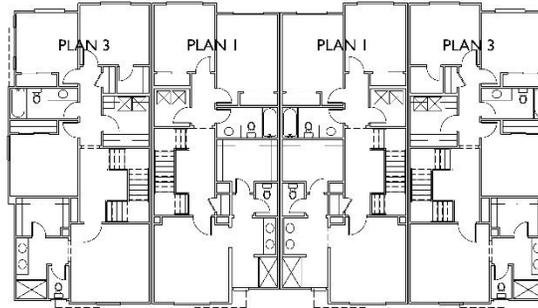
Two-Story Bldg. B2 Elevations

Sunrise Specific Plan

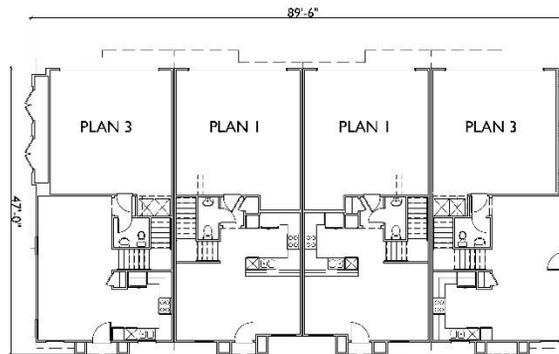
Figure 2-18



ROOF PLAN 1/16"=1"



SECOND FLOOR



FIRST FLOOR

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TWO STORY - BLDG C COMPOSITE



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A-9

Two-Story Bldg. C Composite

Sunrise Specific Plan

Figure 2-19



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELLIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)

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TWO STORY - BLDG C1 ELEVATION



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A-11

Two-Story Bldg. C1 Elevations

Sunrise Specific Plan

Figure 2-20



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR (OPTIONAL WINDOWS)

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DECEMBER 14, 2018

SCALE: 0 8 16 24

TWO STORY - BLDG C2 ELEVATION



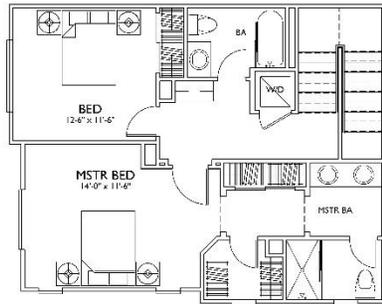
5256 S. Mission Road, Ste 404
 Bonsall, CA 92003
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A-12

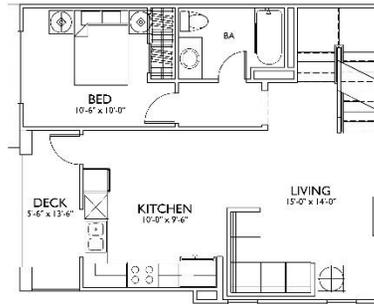
Two-Story Bldg. C2 Elevations

Sunrise Specific Plan

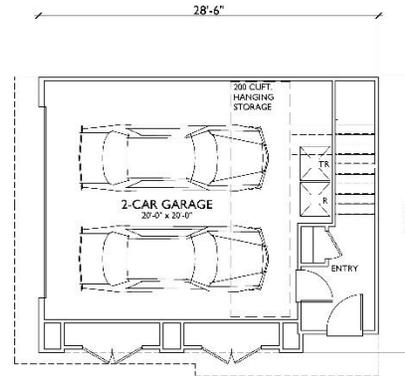
Figure 2-21



THIRD FLOOR

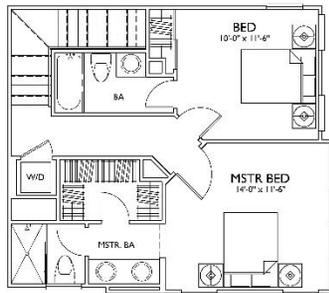


SECOND FLOOR

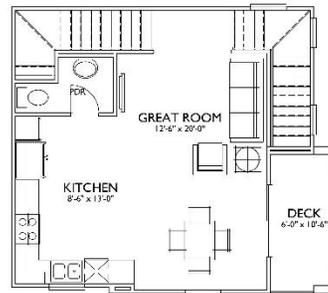


FIRST FLOOR

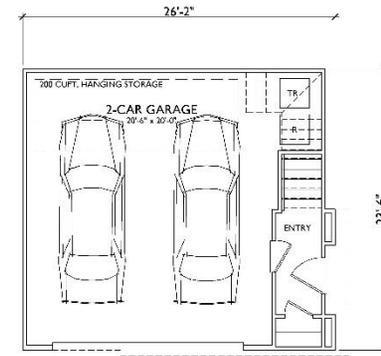
PLAN 2: 3BD/3BA
 1ST FLR - 115 S.F.
 2ND FLR - 630 S.F.
 3RD FLR - 760 S.F.
 TOTAL 1,505 S.F.



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 1: 2BD/2BA
 1ST FLR - 65 S.F.
 2ND FLR - 540 S.F.
 3RD FLR - 585 S.F.
 TOTAL 1,190 S.F.

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SCALE: 0 4 8 12

THREE STORY - UNIT PLANS

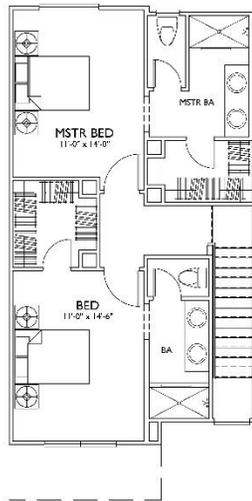


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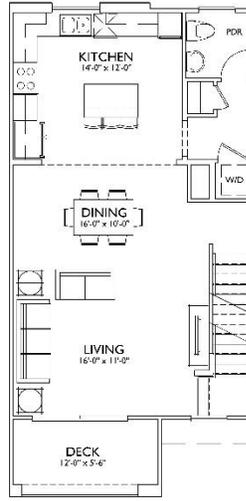
A-12

Three-Story Unit Plans
Sunrise Specific Plan

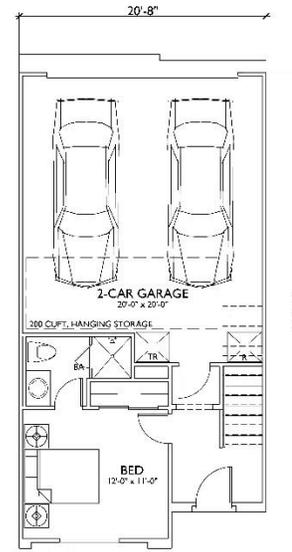
Figure 2-22



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 3:	3BD/3.5BA
1ST FLR -	305 S.F.
2ND FLR -	710 S.F.
3RD FLR -	705 S.F.
TOTAL	1,730 S.F.

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SCALE: 0 4 8 12

THREE STORY - UNIT PLANS



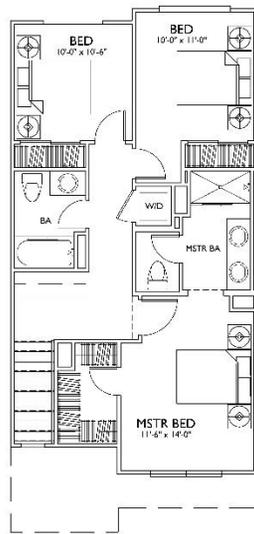
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A-14

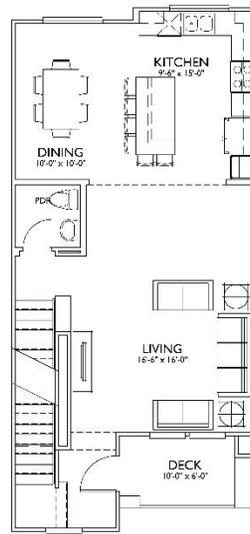
Three-Story Unit Plans (Continued)

Sunrise Specific Plan

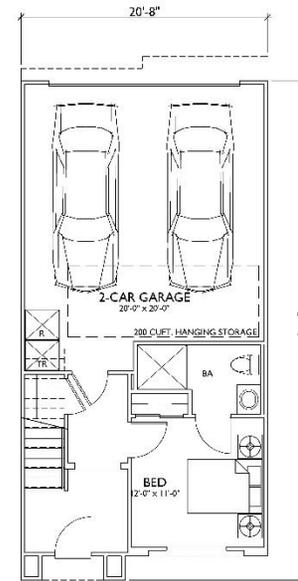
Figure 2-23



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 4:	4BD/3.5BA
1ST FLR -	340 S.F.
2ND FLR -	775 S.F.
3RD FLR -	775 S.F.
TOTAL	1,890 S.F.

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THREE STORY - UNIT PLANS



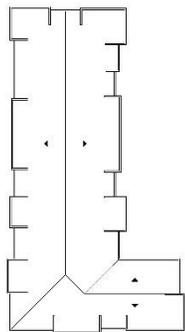
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A-15

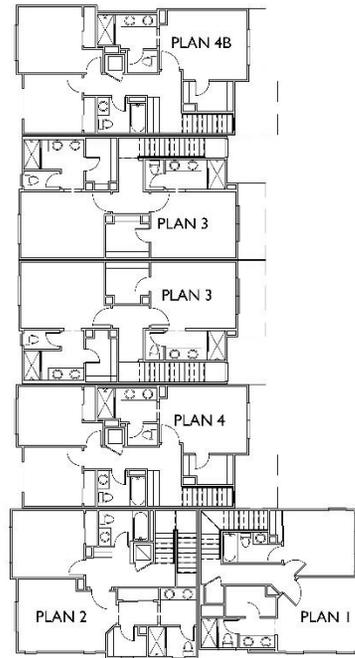
Three-Story Unit Plans (Continued)

Sunrise Specific Plan

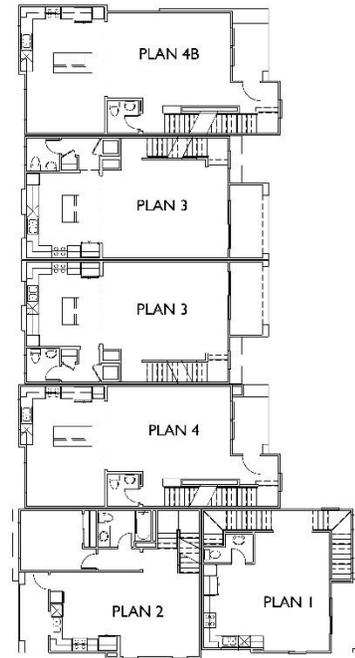
Figure 2-24



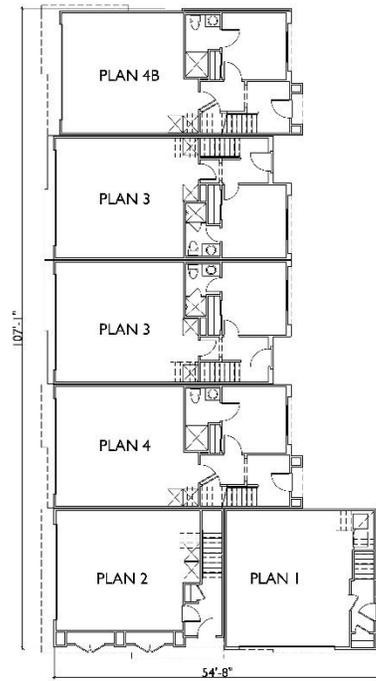
ROOF PLAN 1/16"=1"



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

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THREE STORY - BLDG A COMPOSITE



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A-16

Three-Story Bldg. A Composite

Sunrise Specific Plan

Figure 2-25



REAR



RIGHT



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)
- 8 DECORATIVE POTSHelf
- 9 DECORATIVE METAL GRILLE

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SCALE: 0 8 16 24

THREE STORY - BLDG A1 ELEVATION

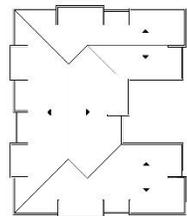


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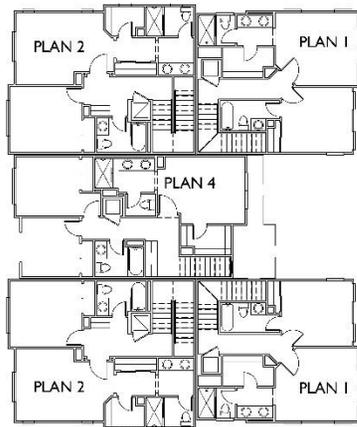
A-17

Three-Story Bldg. A1 Elevations
Sunrise Specific Plan

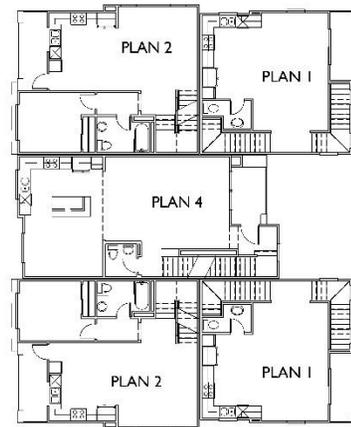
Figure 2-26



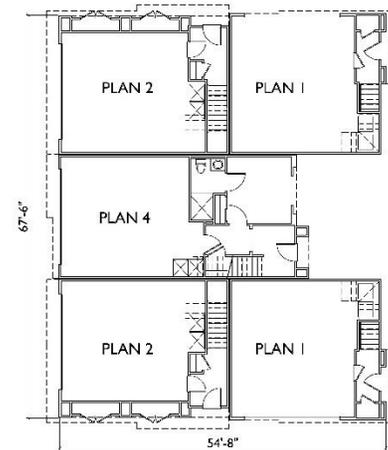
ROOF PLAN 1/16"=1"



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

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THREE STORY - BLDG B COMPOSITE



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A-18

**Three-Story Bldg. B Composite
 Sunrise Specific Plan**

Figure 2-27



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELLIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)
- 9 METAL RAILING

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THREE STORY - BLDG B1 ELEVATION



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A-19

Three-Story Bldg. B1 Elevations
Sunrise Specific Plan

Figure 2-28



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELLIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR
(OPTIONAL WINDOWS)
- 9 METAL RAILING

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THREE STORY - BLDG B1 ELEVATION

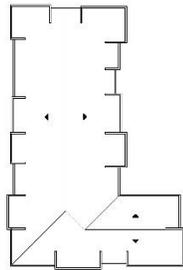


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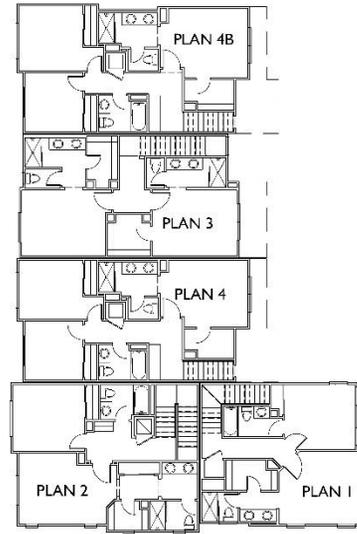
A-19

Three-Story Bldg. B2 Elevations
Sunrise Specific Plan

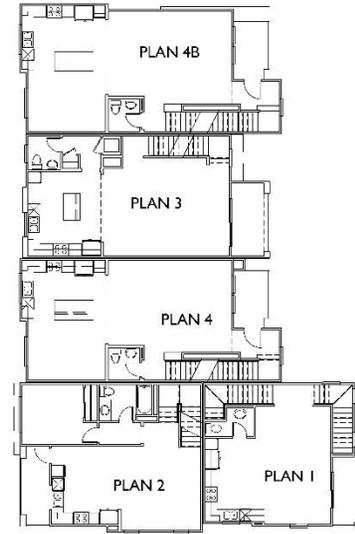
Figure 2-29



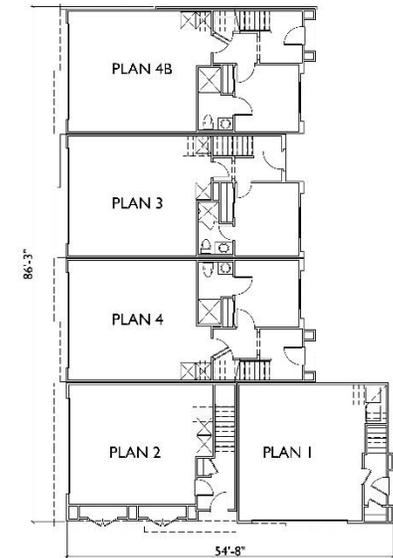
ROOF PLAN 1/16"=1"



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

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THREE STORY - BLDG C COMPOSITE



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A-21

Three-Story Bldg. C Composite Sunrise Specific Plan

Figure 2-30



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELLIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR (OPTIONAL WINDOWS)
- 9 METAL RAILING

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THREE STORY - BLDG C1 ELEVATION



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A-22

Three-Story Bldg. C1 Elevations
Sunrise Specific Plan

Figure 2-31



REAR



RIGHT



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE METAL AWNING
- 6 DECORATIVE TRELLIS
- 7 EXTERIOR LIGHTING
- 8 SECTIONAL GARAGE DOOR
- (OPTIONAL WINDOWS)
- 9 METAL RAILING

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THREE STORY - BLDG C1-ALT ELEVATION



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A-23

**Three-Story Bldg. C1 Alternate Elevations
 Sunrise Specific Plan**

Figure 2-32



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR (OPTIONAL WINDOWS)
- 8 DECORATIVE POTSHELF
- 9 DECORATIVE METAL GRILLE

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SCALE: 0 8 16 24

THREE STORY - BLDG C2 ELEVATION



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A-24

Three-Story Bldg. C2 Elevations
Sunrise Specific Plan

Figure 2-33



RIGHT



REAR



LEFT



FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - BRICK VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE STUCCO AWNING
- 6 EXTERIOR LIGHTING
- 7 SECTIONAL GARAGE DOOR (OPTIONAL WINDOWS)
- 8 DECORATIVE POTSHELF
- 9 DECORATIVE METAL GRILLE

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SCALE: 0 8 16 24

THREE STORY - BLDG C2 ALT ELEVATION



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A-25

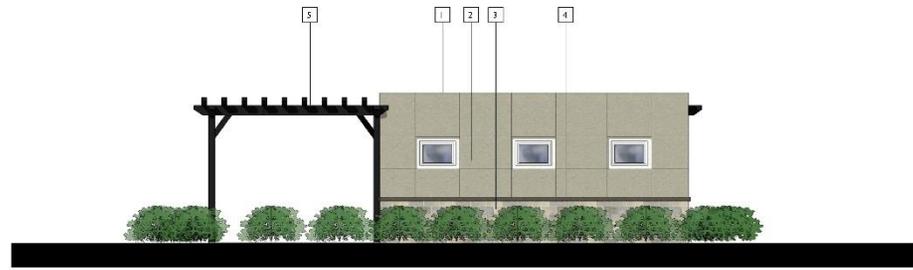
Three-Story Bldg. C2 Alternate Elevations

Figure 2-34

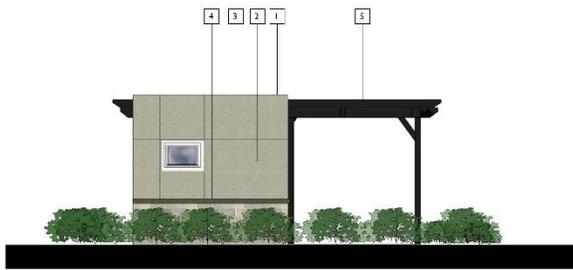
Sunrise Specific Plan



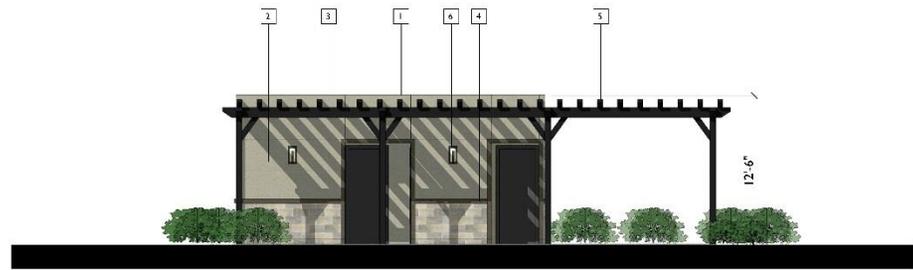
REAR



RIGHT



LEFT

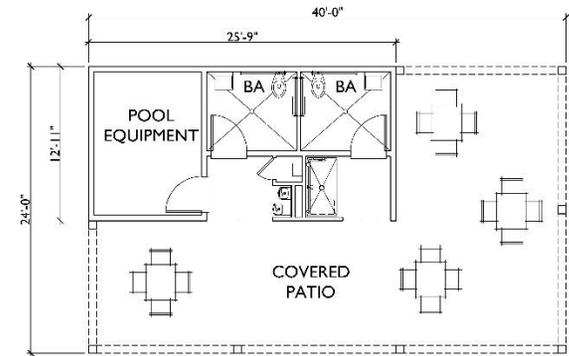


FRONT



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 WALL - STUCCO
- 3 WALL - STONE VENEER
- 4 TRIM - 2X STUCCO
- 5 DECORATIVE TRELIS
- 6 EXTERIOR LIGHTING



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REC BUILDING



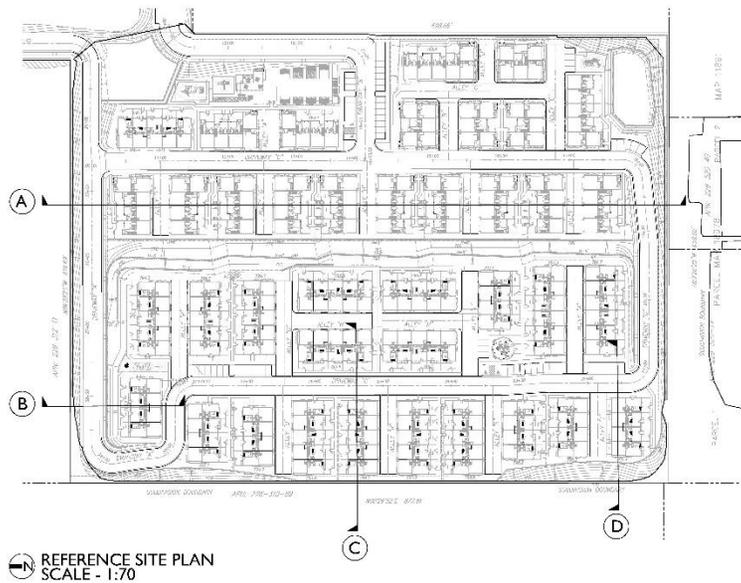
5256 S. Mission Road, Ste 404
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A-24

Recreational Bldg. Elevations

Sunrise Specific Plan

Figure 2-35



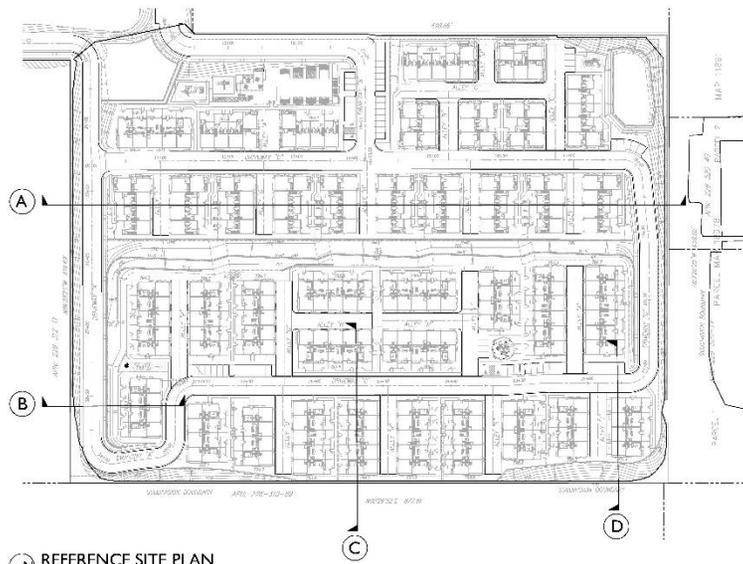
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SUNRISE
DECEMBER 14, 2018
SCALE: 0 20 40 60

CONCEPTUAL SITE SECTIONS
SUMMA ARCHITECTURE
5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198
A-27

Recreational Conceptual Site Sections
Sunrise Specific Plan

Figure 2-36



REFERENCE SITE PLAN
SCALE - 1:70



SECTION B



SECTION C

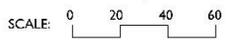


SECTION D

SAN MARCOS, CA
INTEGRAL COMMUNITIES
2235 Encinitas Blvd., Suite 216
Encinitas, CA 92024
(760) 944-7511

SUNRISE

DECEMBER 14, 2018



CONCEPTUAL SITE SECTIONS



5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

A-28

Recreational Conceptual Site Sections (Cont'd)

Figure 2-37

Sunrise Specific Plan

2.3.3. Building Materials, Accents, and Colors

Materials and building colors are key factors for each building within the Sunrise Specific Plan area, but they also contribute to the community’s character. Materials must be selected which are appropriate for each façade and contribute to enhancing the neighborhoods visual theme. Colors and materials should complement each other, and they should match the theme of the specific style of home to which they are applied. In addition, materials and colors for the homes within the Sunrise Specific Plan area should not significantly clash with materials and colors of surrounding developments but should complement those neighboring developments and add depth to the community. The following table outlines materials which are proposed within the Specific Plan area, however alternative materials may be allowed so long as they are determined to be acceptable by the Development Services Department. A table of materials appropriate to the proposed architectural styles for this development is included below (**Table 2-5, Building Materials and Colors**).

Materials – Buildings within the Sunrise Specific Plan area will utilize materials such as wood, stone veneer, stucco, and brick. Metal accents and trims are acceptable within the Specific Plan area.

Colors – Building color is an integral component of any community and helps unify building elements of each specific architectural style, creates variation of street scape, and builds on the foundation of the community’s character. Color palettes should be carefully chosen through available color product lines to achieve a reasonable representation of a particular architectural style lending authenticity to the final product. Specific colors should be chosen to complement architectural materials and features. The following bullets outline the goals for color use within the Specific Plan area:

- Colors palettes should vary for building types within the Specific Plan area to improve the visual interest of streetscapes,
- Avoid the use of identical color palettes where possible for adjacent buildings,
- Deep to light valued earth and natural tones colors are preferred for exterior walls,
- Accents should implement the use of colors which complement the palette of the main structure; and
- Each building façade should present several colors to create variation.

Table 2-5 Building Materials and Colors

Materials	Colors
Wood	Pure White
Brick	Brown, Beige, and/or tans
Stone veneer	Gray tones
Stucco	Tea Chest
	Smokehouse
	Cream

2.3.4. Heights and Stories

Building heights and stories add variation and depth to the street scene of residential developments. Builders should reference the following design parameters as well as the types of materials needed for residential product design to conform to the following standards. Any multi-family residential product proposed for the Sunrise Specific Plan Area must not exceed 40 feet or three stories in height. Two-story buildings are proposed to be approximately 30-feet in height, while three-story buildings will reach approximately 38-feet in height. **Table 2-6, Heights and Stories**, provides information on maximum building heights as well as actual building heights.

Table 2-6 Heights and Stories

Two-Story Buildings		Three-Story Buildings	
Maximum Height	35'	Maximum Height	45'
Precise Height	29'8"	Precise Height	37'6"

2.3.5. Density

The principal residential land use within the Sunrise Specific Plan area would be classified as Medium Density Residential 1 (MDR1). The Sunrise Specific Plan area includes 192 units on 14.4-acres of land for a total gross density of 13.3 du/acre, which is consistent with The City of San Marcos’ MDR1 General Plan Land Use classification, 12.1-15.0 du/acre.

2.3.6. Massing and Scale

Massing and scale provide the visual identity between residential dwelling units and the environment. Those qualities help dictate the placement, size, and form for multi-family residential buildings within the Specific Plan area. Building type placement within the Specific Plan area was studied to achieve the best possible groupings as well as providing transition massing between the neighboring mobile homes and industrial structures, thereby enhancing the visual character of the neighborhood. Incorporation of the following design concepts should be considered for the architecture within the Specific Plan area:

- Utilize building-form massing elements, such as angles, towers, and other building elements to distinguish architecture,
- Vertically and horizontally articulate building design for both front and rear elevations through architectural design elements such as, but not limited to, windows, and off-set roof planes,
- Use second floor massing changes to create variation in the building form; and
- Where possible avoid the use of long unbroken surfaces.

2.3.7. Building Setbacks

The location of the Specific Plan area as shown on Figure 1-3 precludes setbacks from primary streets. Applicable setbacks for multi-family development within the Plan area include interior/private street setbacks, alley setbacks, parking setbacks, and building separation.

Table 2-7 Building Setbacks

Development Standard	Setback
Interior/Private driveways (Interior PL)	5'
Alley	No more than 3' or 18'+
Property Boundary (adjacent to separate lot or zone)	10'
Parking (any property line)	10'
Building Separation	10'

2.3.8. Private Open Space

Private open space adds value for residents of multi-family dwelling units by affording residents usable outdoor space for their enjoyment. Private open space is required within the Specific Plan area for each multi-family dwelling unit containing ground floor living space. For units with usable ground floor living area 250 sf of private open space is required. For units with no usable ground floor living space 50 sf of private open space is required. A total of 40,264 sf of private open space is provided within the Specific Plan area. The following table provides details for the required open space to be provided and the expected private open space included within the Specific Plan area.

Table 2-8 Private Open Space Standards

Plan Type	Required Private Open Space	Private Open Space Provided	No. of Units	Total Private Open Space Required	Total Private Open Space Provided
Two-Story Product					
1	250 sf/du	250 sf/du	42	10,500 sf	10,500 sf
2	250 sf/du	250 sf/du	16	4,000 sf	4,000 sf
3	250 sf/du	250 sf/du	42	10,500 sf	10,500 sf
Total			100	25,000 sf	25,000 sf
Three-Story Product					
1	50 sf/du	63 sf/du	22	1,100 sf	1,386 sf
2	50 sf/du	74 sf/du	22	1,100 sf	1,628 sf
3	250 sf du	250 sf/du	16	4,000 sf	4,000 sf
4	250 sf/du	250 sf/du	32	8,000 sf	8,000 sf
Total			92	14,200 sf	15,014 sf

2.3.9. Garages

Garage space is a vital component for residential projects. Garages provide off-street parking freeing up valuable street parking space for visitors while protecting residents’ vehicles from the elements, as well as providing space to store waste receptacles. Each multi-family residential dwelling unit within the Sunrise Specific Plan area will provide at the minimum, a two-car garage. Proposed garage dimensions for dwelling units in the Specific Plan area are a minimum of 20-feet by 20-feet. Accurate dimensions for each plan type are provided below in Table 2-9.

Table 2-9 Garage & Parking Standards

Two-Story Building Garage Standards		Three-Story Building Garage Standards	
Plan Type	Garage Standard	Plan Type	Garage Standard
1	2-car 20'6" x 20'0"	1	2-car 20'0" x 20'0"
2	2-car 21'6" x 20'0"	2	2-car 20'0" x 20'0"
3	2-car 20'0" x 20'0"	3	2-car 20'0" x 20'0"
		4	2-car 20'0" x 20'0"
Guest Parking			
Open Spaces		80	
ADA Spaces		4	
Total Guest Parking		84	

2.4. Landscape Design Guidelines

Along with architecture, landscaping helps form an identity and theme for development. Landscaping must be carefully considered to meld architecture with the landscape to form an attractive neighborhood, which is both functional and water efficient. To assure development of an attractive and cohesive community the following landscape guidelines have been provided. A landscape concept for the project can be seen on **Figure 2-38, Illustrative Landscape Concept Plan**. Developers and/or builders will use the following information on the design, materials, lighting, and themes, which shall be incorporated into the Sunrise Specific Plan area. Although provided, the following information should be considered conceptual in nature. Minor changes may be necessary due to changing material guidelines, design theme modifications, or changes to State or local regulations. Final landscape design shall be approved by City of San Marcos Development Services Department.

Irrigation within the Specific Plan area shall utilize the following:

- Install automatic controllers which feature evapotranspiration or moisture sensing data, with manual and automatic shut-off,
- Low volume heads, subsurface irrigation system designed to prevent runoff, low head drainage, and overspray,
- Group plants by hydrozones and irrigate hydrozones separately.

2.4.1. Plant Material Guidelines

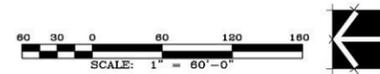
The Plant Material Guideline provided below in **Table 2-10** is intended to provide developers and/or builders of the Sunrise Specific Plan area with guidelines for landscape plantings of locations such as entries, streetscapes, and common open space areas. Plant materials selected for the project area should be chosen based on a multitude of factors and should strengthen the overall character of the community.

Plants used in the Sunrise Specific Plan will be subdivided into two categories. The first category includes residential landscaping, while the second category covers slope plantings. These plants

will conform to the City of San Marcos' requirement to utilize draught tolerant and California native plant palettes when designing and implementing landscaping on all projects in the City of San Marcos. Landscaping in Sunrise has been designed to use specific plants in certain areas of the landscaping. These plants and the applicable planting areas are defined in Table 2-9 below.

All plants and trees included on the Sunrise Plant Material Guidelines have been chosen for their appropriateness to the Specific Plan area theme, local climate tolerance, soil conditions, and level of maintenance intensity. The selected plants are well suited to the local soils and have proven to flourish within the project area's climate and are consistent with AB 1881 requirements and the City of San Marcos Water Efficient Landscape Ordinance (WELO) and Municipal Code, Title 20. The plant materials are tolerant of a wide range of temperatures and require very little water consumption. No non-native invasive plant species shall be used, per appendix N of the MSCP Subarea Plan, California Exotic Pest Plant Council List A-1, and California Invasive Plant Council (Cal-IPC). All street trees planted within 10' of public improvements shall have root barriers.

This Plant Material Guidelines should be considered fluid and subject to change, with final approval determined by the City of San Marcos Development Services Department. Should changes be necessary to the Plant Material Guidelines, the newly selected plants and trees should be similar in tolerance and water usage to the conceptual list provided. If those requirements are met, any proposed changes to the Plant Legend shall be considered minor. Details on any proposed changes to the Plant Legend are provided in Chapter 7, Amendments and Implementation.



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Illustrative Landscape Concept Plan
Sunrise Specific Plan

Figure 2-38

Table 2-10 Plant Material Guideline

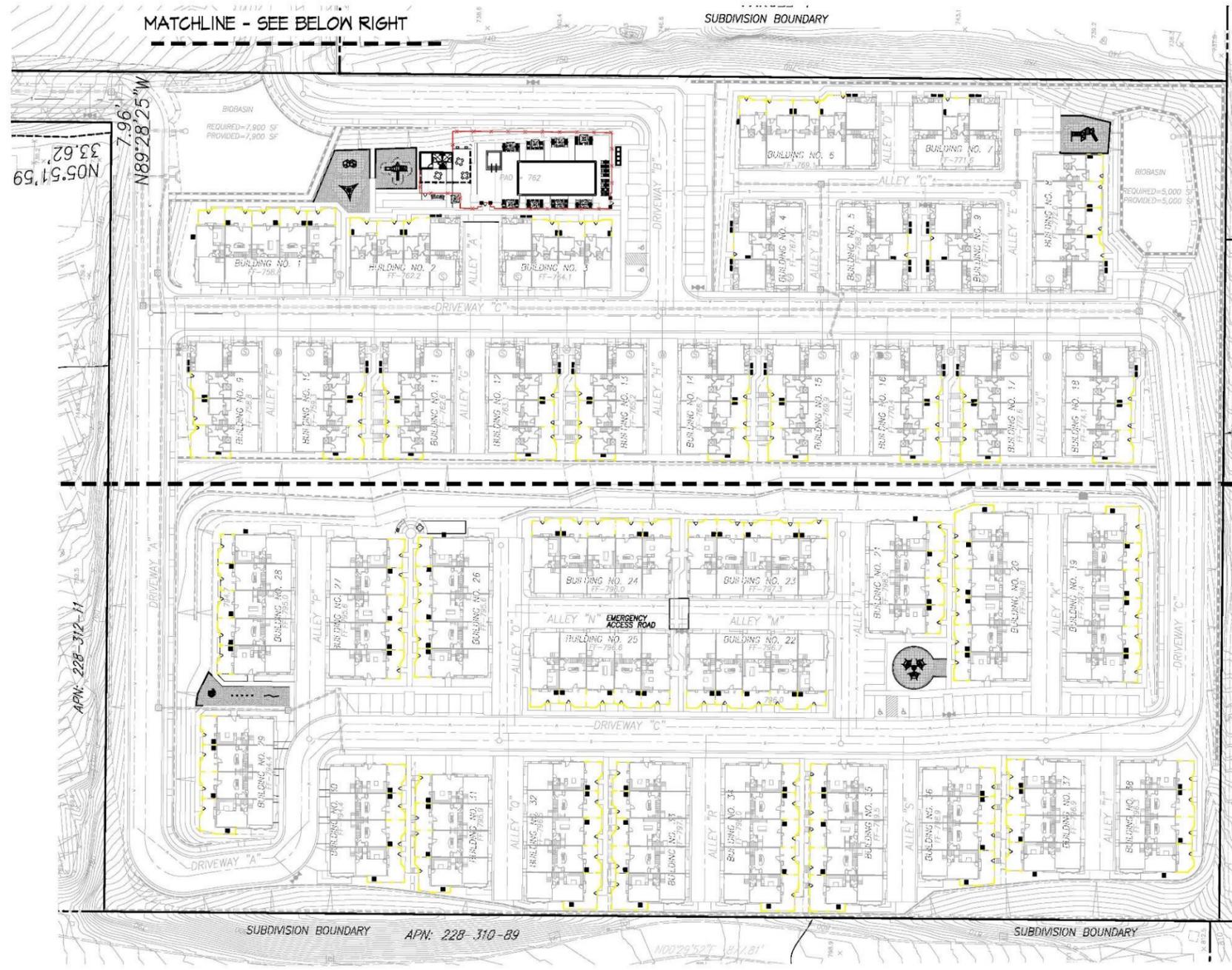
Latin Name	Common Name	Mature Height & Spread	Planting Size
Common Area Landscaping			
Trees			
LOPHOSTEMON CONFERTA	BRISBANE BOX	50'x45'	100%/24" BOX
LAGERSTROEMIA INDICA	CRAPE MYRTLE	25'x25'	100%/24" BOX
LYONOTHAMNUS FLORIBUNDUS ssp. ASPLENIFOLIUS	FERNLEAF CATALINA IRONWOOD	25'x25'	100%/24" BOX
ERIOBOTRYA JAPONICA	LOQUAT	20'x20'	100%/24" BOX
PLATANUS ACERIFOLIA	LONDON PLANE TREE	40'x30'	100%/24" BOX.
TIPUANA TIPU	TIPU TREE	40'x50'	100%/24" BOX
ULMUS PARVIFOLIA	CHINESE ELM	40'x40'	100%/24" BOX
JACARANDA MIMOSIFOLIA	JACARANDA	40'x30'	100%/24" BOX
KOELREUTARIA PANICULATA	GOLDEN RAIN TREE	35'x35'	100%/24" BOX
OLEA EUROPEA	OLIVE TREE	25'x25'	100%/24" BOX
QUERCUS AGRIFOLIA	COAST LIVE OAK	40'x50'	100%/24" BOX
CERCIS OCCIDENTALIS	SWEET REDBUD	20'x20'	100%/24" BOX
GEIGERA PARVIFLORA	AUSTRALIAN WILLOW	30'x20'	100%/24" BOX
PITTOSPORUM VIRIDIFLORUM	CAPE PITTOSPORUM	25'x25'	100%/24" BOX
LIQUIDAMBAR STYRACIFLUA	SWEET GUM	70'x35'	100%/24" BOX
Shrubs Groundcovers & Vines			
AGAPANTHUS SPECIES	LILY OF THE NILE		1 GAL.
AGAVE ATTENUATA	AGAVE		1 GAL.
AGAVE VILMORINIANA	OCTOPUS AGAVE		1 GAL.
ALOE SPP.	ALOE		1 GAL.
ANIGOZANTHOS SPECIES	KANGAROO PAW		1 GAL.
BOUGAINVILLEA SPP.	BOUGAINVILLEA		1 GAL.
CAREX SPP.	SEDGE		1 GAL.
DISTICTIS SPECIES	TRUMPET VINE		1 GAL.
HEMEROCALLIS HYBRIDS	DAYLILY		1 GAL.
JASMINUM POLYANTHUM	PINK JASMINE		1 GAL.
LANTANA MONTEVIDENSIS	TRAILING LANTANA		1 GAL.
LIRIOPE MUSCARI	LILY TURF		1 GAL.
LIGUSTRUM JAPONICA TEXANUM	JAPANESE PRIVET		1 GAL.
MUHLENBERGIA RIGENS 'REGAL MIST'	DEER GRASS		1 GAL.
PENNISETUM 'HAMELN'	FOUNTAIN GRASS		1 GAL.
PHOENIX ROEBELENI	PIGMY DATE PALM		1 GAL.
PHORMIUM TENAX	NEW ZEALAND FLAX		1 GAL.
PITTOSPORUM SPP.	PITTOSPORUM		1 GAL.
PODOCARPUS MAKI	SHRUBBY YEW PINE		1 GAL.
RHAPHIOLEPIS INDICA	INDIA HAWTHORN		1 GAL.
STRELITZIA NICOLAI	GIANT BIRD OF PARADISE		1 GAL.
STRELITZIA REGINAE	BIRD OF PARADISE		1 GAL.
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE		1 GAL.
Slope Planting			

Latin Name	Common Name	Mature Height & Spread	Planting Size
Trees			
ARBUTUS UNEDO	STRAWBERRY TREE	25'x25'	100%/24" BOX
METROSIDEROS TOMENTOSA	NEW ZEALAND CHRISTMAS TREE	35'x30'	100%/24" BOX
RHUS LANCEA	AFRICAN SUMAC	25'x25'	100%/24" BOX
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	25'x25'	100%/24" BOX
Shrubs, Groundcovers & Vines			
AGAVE VILMORINIANA	OCTOPUS AGAVE		1 GAL.
CISTUS PURPUREUS	ROCK ROSE		1 GAL.
ENCELIA CALIFORNICA	CALIFORNIA BRITTLEBUSH		1 GAL.
HETEROMELES ARBUTIFOLIA	TOYON		1 GAL.
LUPINUS ARBOREUS	LUPINE		1 GAL.
RHUS INTEGRIFOLIA	LEMONADE BERRY		1 GAL.
RHUS LAURINA	LAUREL SUMAC		1 GAL.
Native Hydroseed			
CAREX PANSA	SEDGE		PLUGS @ 20" ON CENTER

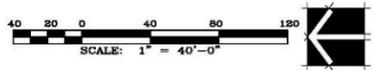
2.4.2. Walls, Fences, and Entry Monuments

Walls, fences, and monuments within the Specific Plan area are functional boundaries framing outdoor spaces and complementary pieces of the landscape design. Walls, fences, and monuments create partitions between private open space, screen the development from roadways, reduce noise from roadways, and enhance the overall site design. A general overview of wall and fence locations can be seen on **Exhibit 2-39**.

Walls and Fencing – Generally walls and fences within the Plan area are designed to function in three ways; they shall act as aesthetic boundaries for open space, sound attenuation, or retaining barriers along roadways or lots, fencing around recreational areas, and as privacy fencing between private open space for multi-family dwelling units. Fence and wall types include tubular steel, split face block/earth-tone color, living hedge with tubular steel gate, wood, or vinyl privacy fencing. Walls and fences should also be designed in such a way as to become a visual amenity, compatible with the surrounding natural landscapes colors and materials.



- FENCE AND WALL LEGEND**
- RETAINING WALL PER CIVIL ENG.
 - POOL AND REC. AREA - 5' TEE STEEL FENCING
 - PATIO FENCE - 42" WOOD FENCE, MASONRY, TUBE STEEL OR HEDGE
 - A/C UNIT PER ARCHITECT
 - A/C UNIT PER ARCHITECT



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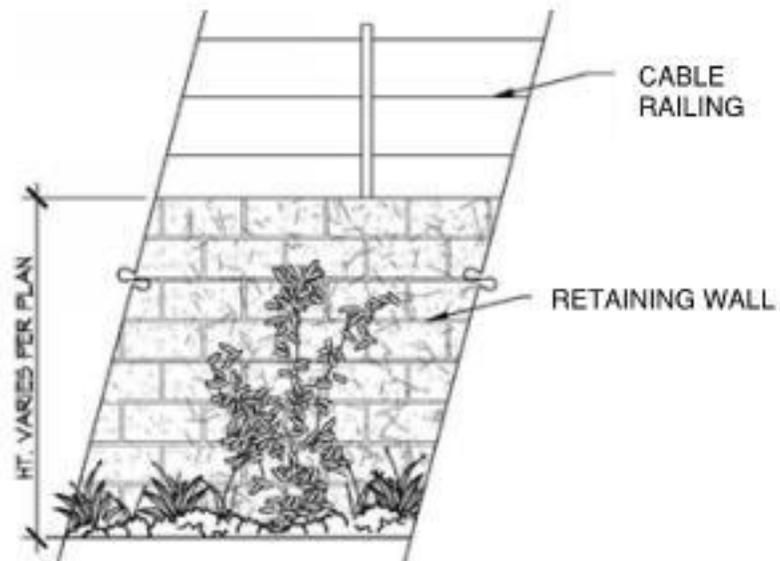
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 & PLANNING**

Conceptual Wall and Fence Exhibit
 Sunrise Specific Plan

Figure 2-39

Masonry retention walls are suitable along the perimeter of the Specific Plan area, and as retaining walls in areas where engineering requires more stability and strength. Masonry retaining walls are located along the perimeter of the Plan area. Additionally, masonry retaining walls should be split face block and may feature a cable rail fence option on the top of the wall as shown on **Figure 2-40, Combination Fence & Retaining Wall**. Walls may be required for private open space situated on ground floor multi-family dwelling units adjacent to circulation driveways or alleys.

Figure 2-40 Combination Fence & Retaining Wall



Examples of walls proposed for the Specific Plan area can be seen on **Figure 2-41, Wall Examples**. Retaining walls may incorporate fencing along the top of the wall. That fencing will be cable railing fencing as seen on the **Figure 2-40**.

Figure 2-41 Wall Examples



Private open space fencing should be 3'-6" high wood, vinyl, block, or tubular steel and fire resistant as needed (**Figure 2-42**). Living walls (hedges) are encouraged as a private open space fencing option. Fencing around recreational areas should be tubular steel or other similar material and design.



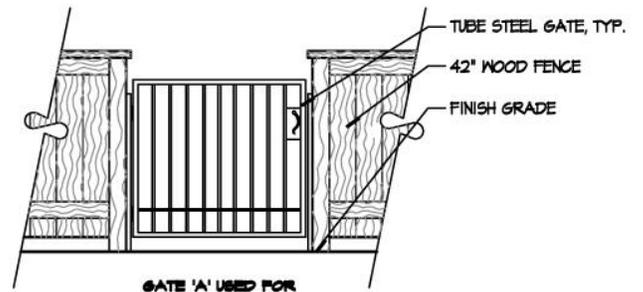
Wood/Vinyl Fence



Pool Fence



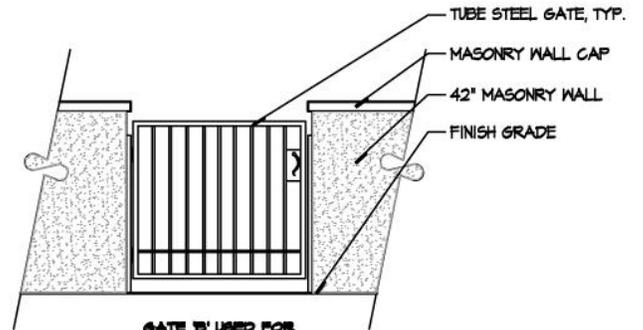
Tubular Steel Fence



GATE 'A' USED FOR WOOD FENCE



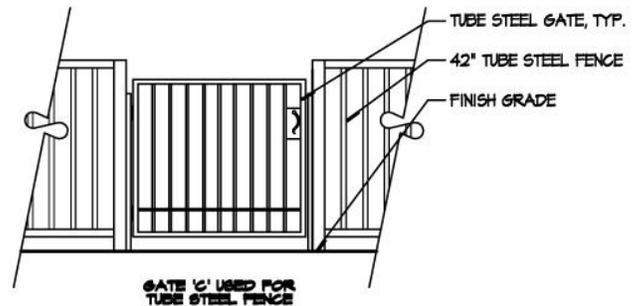
Stucco Wall



GATE 'B' USED FOR MASONRY WALL



Living Hedge



GATE 'C' USED FOR TUBE STEEL FENCE

(B) PATIO GATE OPTIONS

SCALE: 1/2" = 1'

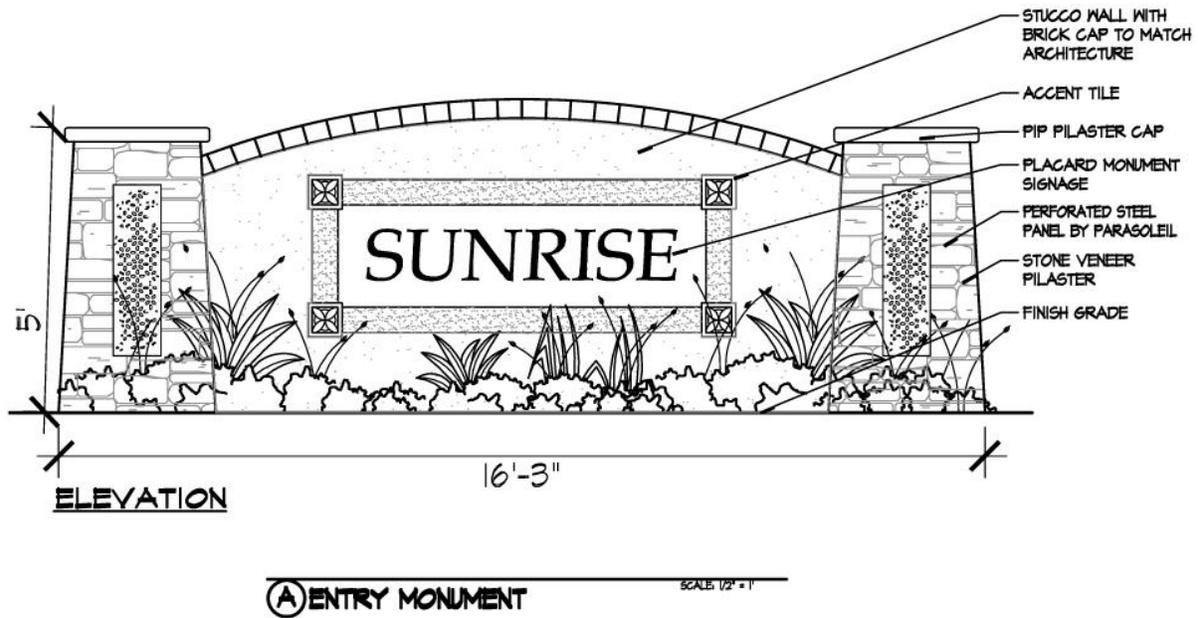
Fence and Gate Examples

Figure 2-42

Sunrise Specific Plan

Monuments – Monuments within the Specific Plan area shall accent the overall landscape design and provide focal points within the development as well as the entrance to the Plan area. The Plan area may incorporate a monument located at the primary entrance as a prominent feature of the landscape design. Monuments within the Plan area shall incorporate materials compatible with the surrounding natural landscape features and the Sunrise Garden landscape design. A variety of materials may be used to design monuments. Some of these materials may include tile, stucco, stone veneer plaster, metal-work, draught tolerant shrubs and trees, or other draught tolerant vegetation. Monuments may include accent lighting. Entry monuments shall be limited to a maximum of 6’ in height and setback a minimum of 5’ from any property line. Precise details for entry monuments will be provided with plans submitted for the construction of monuments. A concept of the entry monument area, and entry monument concept elevation are provided on **Figure 2-43**.

Figure 2-43 Conceptual Monument Design



2.4.3. Lighting

Lighting within Specific Plan area shall be used to accent landscaping and provide safety and accent lighting for multi-family building clusters. All lighting within the Plan area shall be energy efficient, architecturally appropriate fixtures designed to minimize glare, conflict, and light pollution, while providing illumination levels that create a safe environment for both vehicles and pedestrians. To achieve these goals, all areas of the community will be aptly lit to coincide with their relevant use and activities. Street area lights will be full cut-off fixtures and will utilize house-side shields to reduce light trespass and prevent light pollution. Lighting using the highest efficiency fixtures and lamps are preferred.

Common area lighting within the Plan area will be used to enhance and complement the character of the development. Lighting will need to be varied and appropriate for each use within the common areas of the development. Conceptual lighting fixtures and locations are illustrated on **Exhibit 2-44**. During the construction drawing phase, the builders will submit drawing details providing light fixtures (cut sheets) to the City of San Marcos for conformance with the lighting ordinance and standards.



LIGHTING LEGEND

-  INTERIOR STREET LIGHTING
-  ACCENT LIGHTING
-  OUTDOOR WALL LIGHT



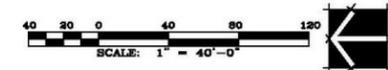
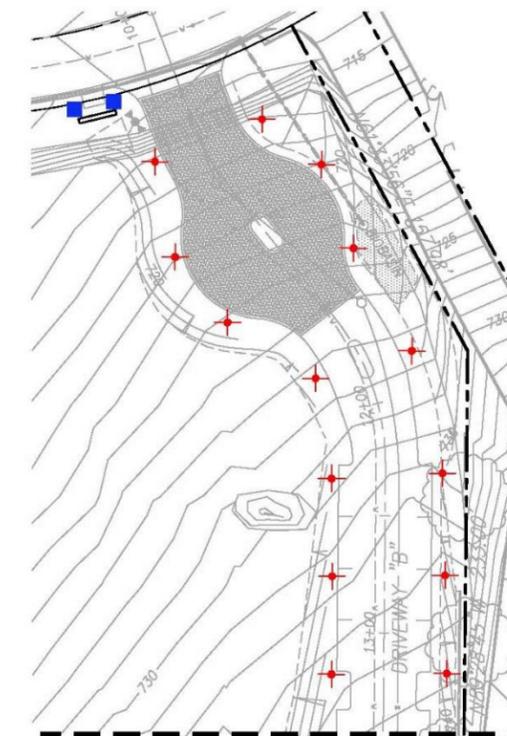
IMAGE A
12' TR TRIBUTE STREET LIGHT
COOPER INDUSTRIES



IMAGE B
CAMBRIA 203 ACCENT LIGHT
COOPER INDUSTRIES



IMAGE C
OUTDOOR MALL LIGHT
COOPER INDUSTRIES




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Conceptual Site Lighting Exhibit
Sunrise Specific Plan

Figure 2-44

Chapter 3 Circulation Plan

3. Circulation Plan

The Sunrise Circulation Plan is an integrated component of the Sunrise Specific Plan and facilitates an interconnected mobility system for bicycles, pedestrians, and vehicles. The Circulation Plan provides residents with the blueprint for safe movement within the Specific Plan area, secondary emergency access, and connections to existing roadways within the vicinity of the Plan area, and access to regional arterial and highway networks. Private internal driveways and alleys have been designed to be a minimum of 24-feet in width from curb to curb. The Sunrise Specific plan includes three internal driveways and 19 private alleys to access multi-family buildings as well as connections to Barham Drive and Meyers Road at the entrances to the project area. **Table 3-1** and section 3.2 describe details of roadway design. **Exhibit 3-1** displays the Circulation Plan concept.

Vehicular, bicycle, and pedestrian circulation within the Sunrise Specific Plan area features two main arterials which will allow free movement through the Plan area. Private driveway “A” accesses Sunrise from Barham Drive to the north and flows east and south into the Specific Plan area, intersecting private driveway “C.” Private driveway “C” loops through the Specific Plan area connecting from private driveway “A” at two points and connecting to private driveway “B” at the eastern portion of the Specific Plan area. Internal traffic calming measures such as speed limit signs and stop signs will improve the overall safety of circulation within the Specific Plan area.

The following sections provide additional detail on each element of circulation within the Sunrise Specific Plan area. The information and standards provided herein should be utilized as the primary standard for the driveways and alleys, streetscapes, and safety measures designed within the Specific Plan area. All private internal driveway paved area within the Specific Plan will be a minimum of 24’ in width. All sidewalks within the Specific Plan area will be a minimum of 4’ in width. Where the Specific Plan is silent on a particular design aspect, the City of San Marcos Municipal Code, or the City of San Marcos standards, whichever standard is applicable, shall take precedence.

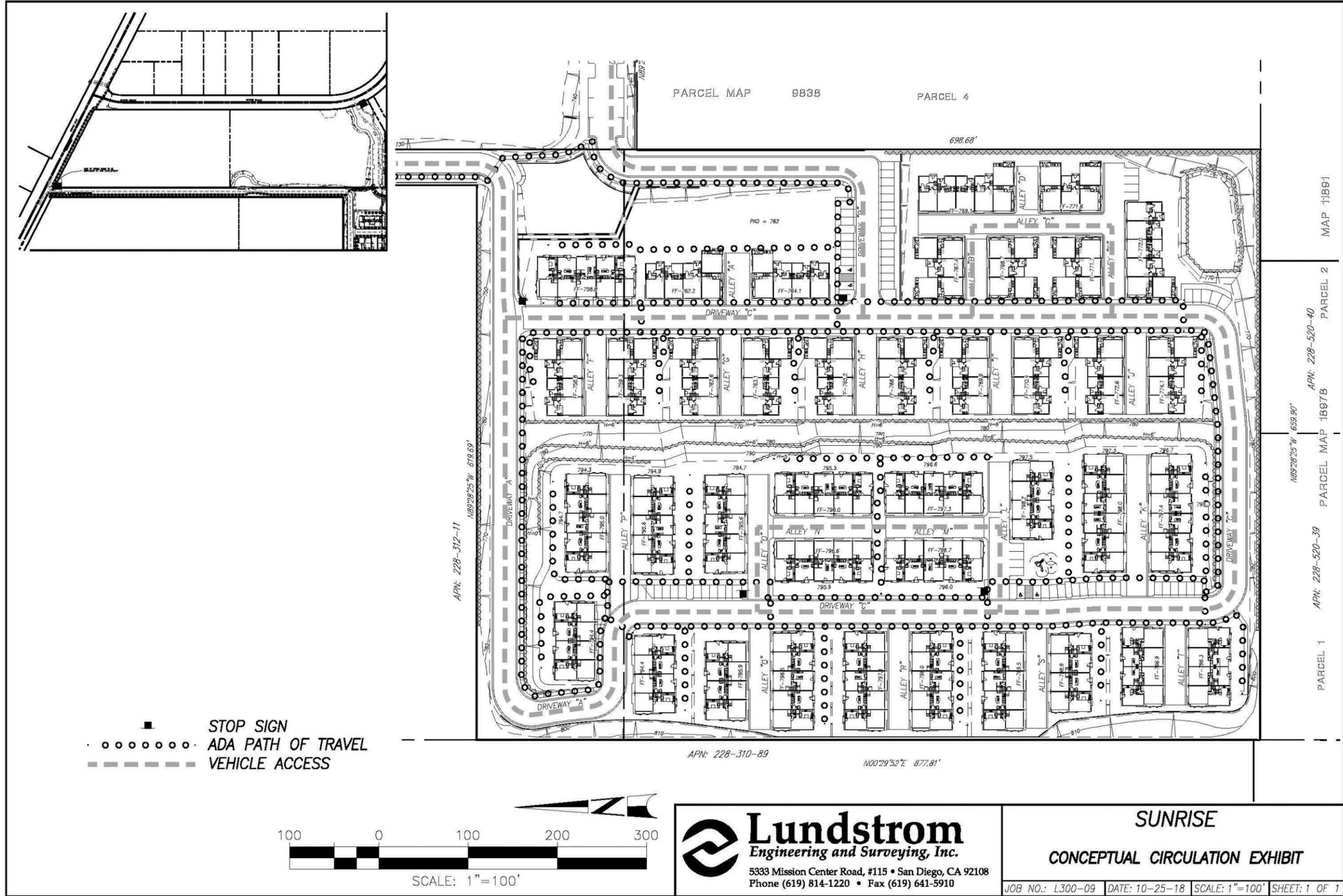
Table 3-1 Internal Private Driveways & Alleys

Roadway Type	Street Section Width (feet)	Provided Pavement Width (feet) ¹	Vehicle Lanes	Lane Width	Street Parking	Pedestrian Component
Private Driveway “A”	32’6”	24’	2	12’	None	4’ Sidewalk on one side
Private Driveway “B”	48’	48’	2	12’	Yes	4’ Sidewalk on one side ²
Private Driveway “C” (includes a portion of Private Driveway “A”)	44’	44’	2	14’	16’ (one side)	4’ Sidewalk on one side
Private Alley’s	24’	24’ (3.’ min. garage setback)	2	12’	None	None

¹All driveways and alleys meet State and local standards for emergency vehicle access.

²Provided for a portion of the private driveway.

Figure 3-1 Conceptual Circulation Plan



Conceptual Circulation Plan
 Sunrise Specific Plan

Figure 3-1

3.1. Streets and Circulation

Internal Private driveways and alleys proposed within the Specific Plan area are neighborhood streets designed to accommodate the level of traffic generated by the project. Internal roadways are designed to provide the safe and quiet movement of pedestrian and vehicle traffic through the Plan area and to provide attractive frontages to residential lots. A typical cross section for the proposed private driveways and alleys can be seen on **Exhibit 3-2**.

3.1.1. Driveways

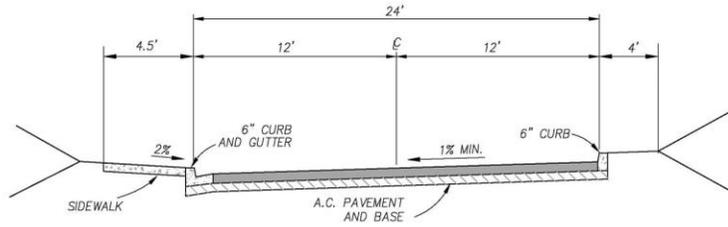
Private Driveway “A” – This private internal driveway connects to Barham Drive to the north of the Specific Plan area. The driveway is located on the northern portion of the Plan area and merges with driveway “C” which loops through the center of the Plan area and connects back to driveway “A” at the northeast portion of the site. Driveway “A” is a 32.5’ roadway section with a 4.5’ sidewalk on one side and a 4’ setback on the opposite side of the roadway. This driveway features two 12-foot travel lanes with 6” curb and gutter on one lane and a 6” curb on the opposite side. Where driveway “A” merges with driveway “C,” the dimensions will be the same as driveway “C.”

Private Driveway “B” – Private driveway “B” is an internal private driveway which connects the Specific Plan area to Meyers Avenue to the east. This internal driveway is a total of 48’ in width and features two 12’ travel lanes with 16’ perpendicular parking on one side of the driveway and 8’ wide parallel parking on the opposite side of the driveway.

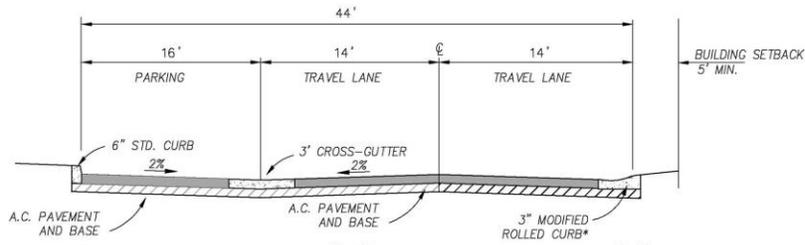
Private driveway “C” – This driveway is 44’ wide two-lane driveway which connects to the remainder of Driveway “A”. Each travel lane is 14’ wide. Driveway “C” will include a 6” curb and a 16’ parking area to one side. The opposite side of the driveway will include a 3” modified rolled curb. Driveway “C” includes a 6’6” sidewalk.

3.1.2. Alleys

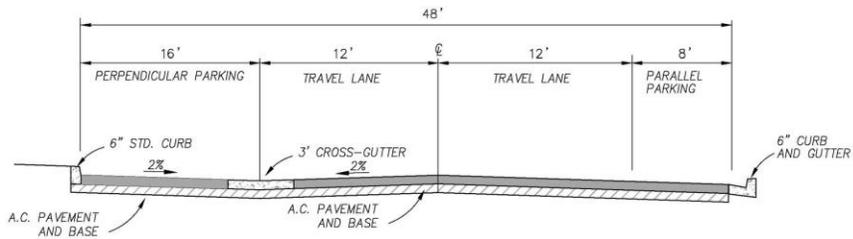
Private Alleys – The Specific Plan area will include minimum 24’ wide alleys for residents to access their dwelling units. Alleys will at a minimum feature two 12’ wide travel lanes with a concrete header to one side and a 3” modified rolled curb on the opposite edge of the travel lane. Where buildings occur, the private alleys will include a 6” curb and gutter on either side of the alley.



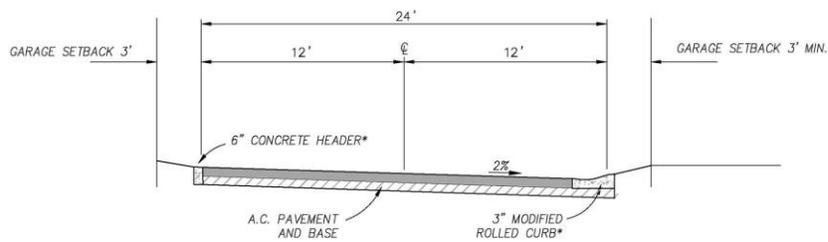
PRIVATE DRIVEWAY "A" (BARHAM TO DRIVEWAY "C")
NOT TO SCALE



PRIVATE DRIVEWAYS "C" AND REMAINDER "A"
NOT TO SCALE



PRIVATE DRIVEWAY "B"
NOT TO SCALE



PRIVATE ALLEYS

*6" CURB AND GUTTER PROVIDED WHERE NO BUILDINGS OCCUR
NOT TO SCALE

Private Driveway & Alley Cross Section

Figure 3-2

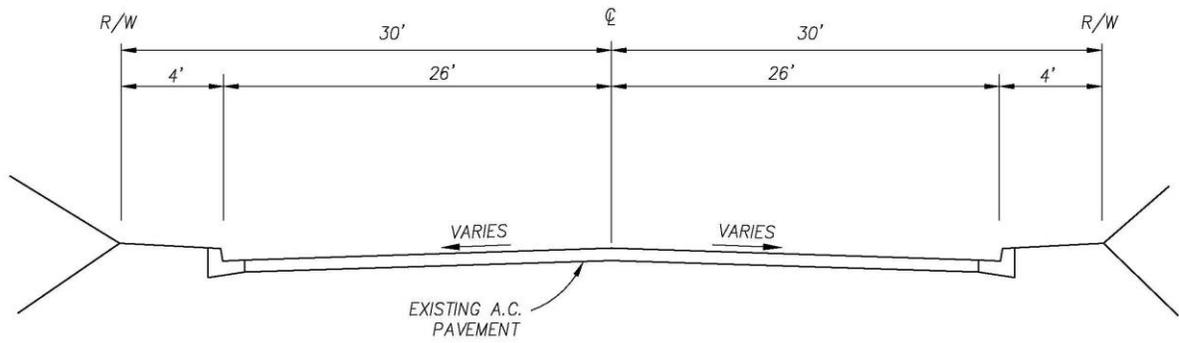
Sunrise Specific Plan

3.1.3. External Roadways

Two external roadways are adjacent to the Specific Plan area. Barham road is located to the north of the SPA and Meyers Road is located to the east of the SPA. Both external roadways offer access to the Plan area as well as connection to regional highways and alternative forms of transportation.

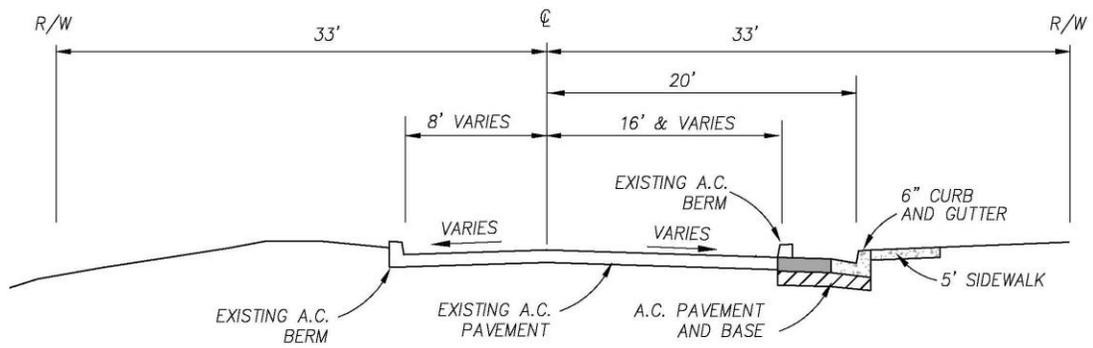
Barham Drive – The existing condition of Barham Drive at the access point for the Specific Plan is a 2-lane collector road with a 5' sidewalk. Concrete sidewalk exists to the west of the project and transitions to asphalt walkway to the east of the site. The road at the project frontage incorporates a 76' right-of-way with a varied 8-12' travel lane and on the project side, a varying 16' travel lane with an existing 6" curb and gutter on the opposite travel lane.

Meyers Avenue – Meyers Avenue is 60' right-of-way with two existing 26' paved areas on each side of the street. The easement width includes 4' of landscape right-of-way to either side of the travel lanes.



EXISTING MEYERS AVENUE

NOT TO SCALE



BARHAM DRIVE

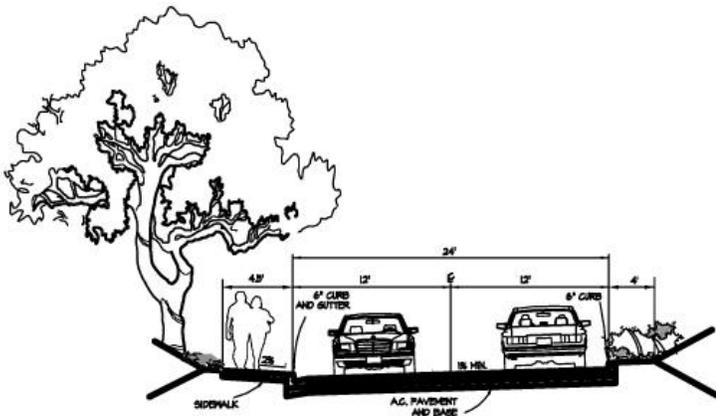
NOT TO SCALE

3.1.4. Streetscapes

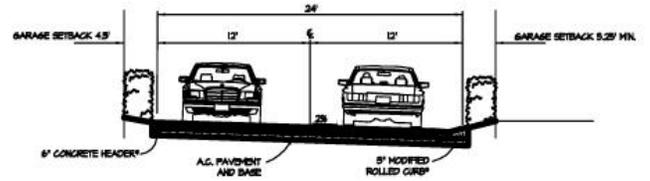
Streetscapes will provide landscape sections to enhance the visual experience while traveling within the Sunrise Specific Plan area and will complement landscaping adjacent to multi-family residential buildings and open spaces. Typical streetscape sections incorporated safety and aesthetics into their design as roadways must maintain sight distance minimums and prevent obscured intersections, while attaining attractive scenery. Both internal roadways and existing external adjacent streets have provided streetscape designs for consideration. Refer to Chapter 2, Section 2.4.1, **Table 2-9, Plant Material Guideline** for the plant material guidelines for streetscapes. Internal and external streetscape sections are shown on **Figure 3-4**.

Internal Driveways and Alley Streetscapes – Internal driveways “A” and “B” have been designed to incorporate street trees and landscaping to enhance the visual experience within the community. Private alleys offer landscaping within the setback area between the buildings and the alley.

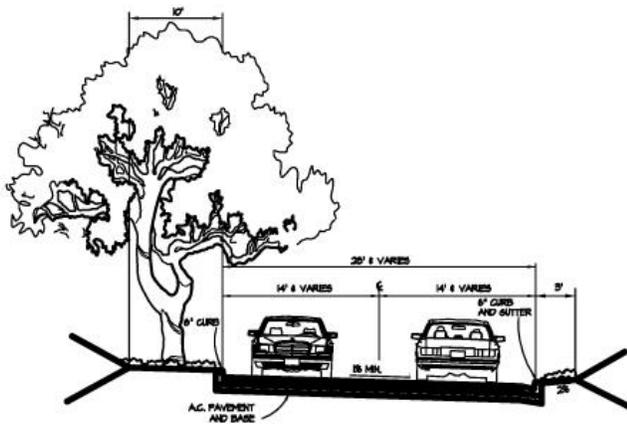
Existing Adjacent Roadway Streetscapes – Landscaping exists on the external adjacent roadways on Barham Drive and Meyers Avenue. The Specific Plan area proposes no changes to those roadway landscapes.



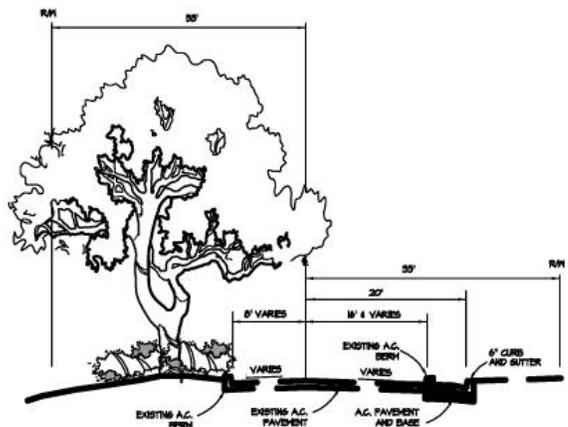
PRIVATE DRIVEWAY "A"
SCALE 1"=10'



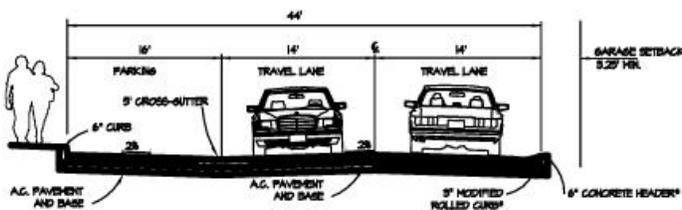
PRIVATE ALLEYS
6" CURB AND GUTTER PROVIDED WHERE NO BUILDINGS OCCUR
SCALE 1"=10'



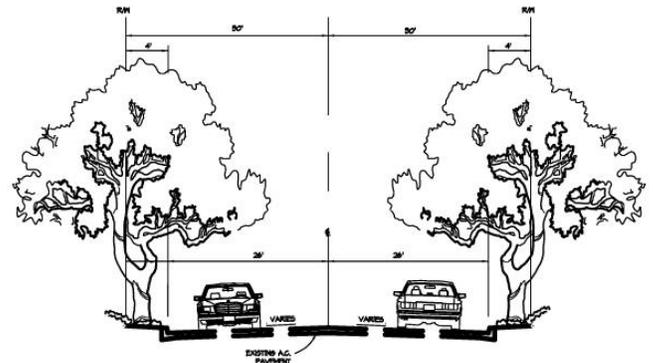
PRIVATE DRIVEWAY "B"
SCALE 1"=10'



BARHAM DRIVE
SCALE 1"=10'



PRIVATE DRIVEWAYS "C" AND PORTION "A"
SCALE 1"=10'



EXISTING MEYERS AVENUE
SCALE 1"=10'

Landscaped Street Sections
Sunrise Specific Plan

Figure 3-4

3.2. Specific Plan Area Access

Adequate access to the project is a key component of circulation. The Sunrise Specific Plan area provides two access points to the residential development. The entries provided will act as primary and secondary emergency access and egress for the Plan area. One access point is located on Barham Drive. This access will connect the project to Barham via 24' private driveway "A." The second access point for the Specific Plan area is located on Meyers Avenue. This access point connects the Plan area to Meyers Avenue via 28' wide private driveway "B."

3.2.1. Emergency Access

Every new development must be able to provide adequate facilities and access for emergency responders to deliver life and safety services to the community. The California Fire Code, along with local fire agency authorities, administers the rules and regulations on fire access design. At a minimum, the Sunrise Specific Plan area must present a design which affords fire and emergency responders suitable fire access roads dimensions and surfaces (Chapter 5, § 503.1 through 503.4 of the California Fire Code), an adequate number of emergency rated entrances to the community (Appendix D, §D106 of the California Fire Code), and entryway gate access for first responders (Chapter 5 of the California Fire Code, §503.6). Two points of entry have been identified for the Plan area and designed to meet the design requirements codified in the California Fire Code. **Table 3-3** provides information on the accessibility of entries to the Specific Plan area. Both the Barham Drive entrance and the Meyers Avenue entrance meet the qualifications for emergency access to for the Specific Plan area. Private Streets "A" and "B" have been designed to accommodate fire and emergency apparatus as detailed in **Table 3-1** and **Section 3.1.1**.

3.3. Regional Connectivity

As noted in Chapter 1, the Sunrise Specific Plan area is connected regionally to San Diego County and north to Riverside County via Highway 78 to the Interstate 15 connection. An existing system of expressways, arterial highways, and local roads such as the previously mentioned Barham Road and Meyers Avenue links the Specific Plan area to the City of San Marcos' circulation system and ultimately to Highway 78, which lies approximately 0.5 miles northeast of the Plan area. These connections allow for convenient and rapid access to and from the Specific Plan area to other communities, shopping centers, and employment centers thereby relieving some stress residents would otherwise feel with limited transportation route options.

3.4. Alternative Transportation Options

Alternate forms of transportation help alleviate many modern congestion problems for municipalities while also reducing strain on environmental resources. The City of San Marcos' General Plan includes policies and goals for new development to meet so they are in conformance with local and state climate and transportation goals. The Sunrise Specific Plan area also encompasses the intent of San Diego Association of Government's (SANDAG) Transit Oriented Development (TOD). While not

specifically applying for the TOD the project's density, product type, and most importantly the project's location, are consistent with several strategies outlined in SANDAG's Regional Transit Oriented Development Strategy such as Strategy #2; which facilitates access to employment centers through transit stations, Strategy #3; which promotes walking and biking to transit stations, connecting people to jobs in transit oriented districts, and Strategy #9; which the project would pay into community facilities and infrastructure programs. The features mentioned above help facilitate alternative transit usage and helps to reduce the overall vehicle trips, thereby reduce the projects regional carbon footprint. The following section will provide information on available alternative transportation options and how this Specific Plan incorporates those options to conform to agency policy.

3.4.1. Public Transit

Public transportation access provides a pivotal role in the accessibility of goods and services throughout the City of San Marcos for residents of the Specific Plan area who are looking for alternative transportation options, while also reducing traffic congestion through reductions in personal vehicle use. Establishing alternative public transportation options allows municipalities to meet local and State transportation and environmental goals. Locally, the Sunrise Specific Plan must comply with the standards and policies set forth within the City of San Marcos' Mobility Element of the General Plan. Regionally and statewide, public transit is a factor in lowering reliance on individual vehicle use so the City, and Sunrise Specific Plan, can play their respective parts in the implementation of California Assembly Bill 32 (AB 32), which mandates the reduction of greenhouse gas emissions locally, regionally, and statewide to sustainable levels.

To achieve the previously discussed goals, the City of San Marcos has established public transportation options and mandates that any Specific Plan within the City must be compliant with the Mobility Element of the General Plan and AB 32. The City of San Marcos utilizes the North County Transit District (NCTD) for Coaster rail service, Sprinter light rail service, and Breeze bus service for connections throughout the County of San Diego. Sprinter service operates between Escondido and Oceanside with connections to Interstate 5 and the Coaster rail service operating out of the City of Oceanside. The NCTD operates the Nordahl Road Sprinter and Breeze transit station within a short walk from the Specific Plan area. Connections to Orange County can be made via the Metrolink in Oceanside. Similarly, connections to Riverside Transit Authority buses can be made via the transit station in Oceanside and Escondido. Both the Metrolink connection in Oceanside and the Riverside Transit Authority Bus connection in Oceanside and Escondido are accessible through Sprinter light rail service. These public transit options will offer residents of the Sunrise Specific Plan area quick access to a variety of alternative modes of transportation.

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Chapter 4 Public Services and Facilities Plan

4. Public Services and Facilities Plan

The Sunrise Public Services and Facilities Plan focuses on those services and facilities related to the Specific Plan Area, which are required to provide a safe, healthy, and well-rounded community. This section will provide details on the scope of services and facilities needed to provide a comprehensive development while minimizing impacts to existing service providers and infrastructure including districts and schools for children of the Plan area, community facilities, police and fire protection, and finally solid waste disposal. Details on the financing and maintenance of public services and facilities the developer must provide can be read in Chapter 6.

The US Census Bureau has compiled information related to the average number of people per household. Based on the 2010 census, the City of San Marcos General Plan Housing Element determined the average population of San Marcos equates to 3.05 persons-per-household. The 192 units proposed in the Plan area would equate to an increase of approximately 589 new residents to the City of San Marcos. The impacts and contributions those additional residents have on public services and facilities are explained in more detail below.

4.1. Schools

This section of the Sunrise Specific Plan will identify the school districts and individual schools which school age children residing within the Plan area will attend. The San Marcos Unified School District will provide educational instruction for children residing within the Specific Plan Area. The following institutions have been identified as the primary education providers to the Plan area. Elementary school students residing in the Sunrise Specific Plan Area will attend Knob Hill Elementary School located at 1825 Knob Hill Road. Knob Hill Elementary is located approximately one mile north of the plan area. Middle school age students will attend Woodland Park Middle School located approximately 1.5 miles from the Specific Plan Area at 1270 Rock Springs Road. All high school students living within the Specific Plan Area will attend Mission Hills High School which is located approximately one mile from the Specific Plan Area at 1 Mission Hills Court.

Table 4-1 Schools

School	Address
Knob Hill Elementary School	1825 Knob Hill Rd. San Marcos, Ca 92069
Woodland Park Middle School	1270 Rock Springs Rd. San Marcos, Ca 92069
Mission Hills High School	1 Mission Hills Ct. San Marcos, Ca 92069

The developer, and/or builder for the Sunrise Specific Plan area will offset its expected increase in students through monetary contributions in the form of school district development fees paid to the San Marcos Unified School District.

4.2. Parks, Recreation, and Open Space

The Sunrise Specific Plan area incorporates private park and recreation space, and open space as a component of the land use concept. A total of 6.19-acres of open space is distributed throughout the Specific Plan area. Per the City's Municipal Code, which is consistent with the Quimby Act, a total of 5 acres of park space is required for every 1000 residents generated by a proposed project. The applicant/developer has the option to pay in-lieu fees as opposed to the development or dedication of new public park space to the City of San Marcos. Those fees are used by the City to construct new public park space and recreation facilities or to maintain existing public park and recreation facilities.

4.3. Library Services

The Sunrise Specific Plan area is served by the San Diego County Library System. The San Marcos branch is located at 2 Civic Center Drive and is approximately two miles from the Plan area. The San Marcos branch offers a variety of services to the public including book and music rentals, computer access, as well as literary programs and other programs beneficial to the community. Additional library resources are provided to the public through the two colleges located in San Marcos. Palomar Community College located at 1140 West Mission Road is a short distance from the Plan area and provides free access to materials with valid picture identification and proof of current mailing address. California State University San Marcos (CSUSM) is approximately four miles from Sunrise Gardens. Purchase of an annual Community Borrower Card for \$30.00 allows the public access to privileges at CSUSM.

4.4. Fire Protection

The Sunrise Specific Plan is located within the San Marcos Fire Protection District boundary. The San Marcos Fire Department (SMFD) will provide fire protection for urban and wildland fires and emergency services to the entire Plan area. SMFD services San Marcos with four stations, the closest of which is Fire Station Three located at 404 Woodland Parkway approximately 1.3 miles from the plan area. Fire Station Three houses one paramedic engine company, one paramedic truck company. The Sunrise Specific Plan area is surrounded by existing development however, the Plan area is located within close proximity to open space areas with slopes, fuel, and fire hazards, within the County of San Diego which may require wildland fire protection provided by the County Fire Authority and augmented by the SMFD. Residents of the Sunrise Specific Plan area, in accordance with the Community Wildfire Protection Plan (CWPP) and Hazard Risk Assessment (HRA) doctrines adopted by the SMFD, shall be required to comply with the rules and regulations established within the CWPP and HRA. The measures incorporated in the above text contribute to the Sunrise Specific Plan's comprehensive approach to fire safety.

4.5. Police Protection

Police protection for the Sunrise Specific Plan shall be provided by the County of San Diego Sheriff's Department. The County Sheriff provides contract law enforcement services to the City of San Marcos through the station located at 182 Santar Place located within City limits. The station's location is

approximately 1.3 miles from the Plan area and provides services to San Marcos and the surrounding unincorporated areas.

Community law enforcement services are provided year-round, 24-hours a day. The Sheriff's Department offers a variety of services to help keep the community safe. Deputies are responsible for general patrol services including traffic enforcement, suppression of drug activities, and response to theft and gang-related crimes. The San Marcos station has the only ASTREA (Sheriff's Aviation) landing pad in the County providing assistance to ground units and extending the range deputies can patrol. Additional services to the community include detective units responsible for crime investigations, the Community Oriented Policing and Problem Solving (COPPS) program assigned to investigate community quality of life issues, crime prevention units, crime analysis, and senior volunteers, as well as various administrative services. Child Protective Services, Adult Protective Services, and Juvenile Probation all operate out of the San Marcos Station. Together, these services offer the Sunrise Plan area comprehensive law enforcement to help maintain community safety.

4.6. Solid Waste Disposal

Solid waste collection and recycling services to the Specific Plan area shall be provided by EDCO Waste & Recycling. Non-recyclable waste, including general trash and green materials, is collected and transported to the Sycamore Sanitary Landfill in Santee. Recyclable materials are transferred to the Escondido Resources Recovery Transfer Station for further processing. Household hazardous waste can be disposed free of charge for residents of San Marcos at the Vista HHW Collection Facility at 1145 E. Taylor Street or the Poway HHW Collection Facility at 12325 Crosthwaite Circle.

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Chapter 5 Grading and Utilities Plan

5. Grading and Utilities Plan

The Grading and Utilities Plan provides the description of the infrastructure necessary to support each proposed land use within the Sunrise Specific Plan area. This section will discuss in detail the distribution, capacity, size, and extent of grading and utilities which must be constructed and installed to facilitate a safe and efficient residential community. Information will be provided for grading and the following utilities: water, wastewater, stormwater drainage and detention, electricity and natural gas, and telephone and cable services. **Table 5-1** identifies the utility providers anticipated for the Sunrise Specific Plan Area.

Table 5-1 Utility Providers

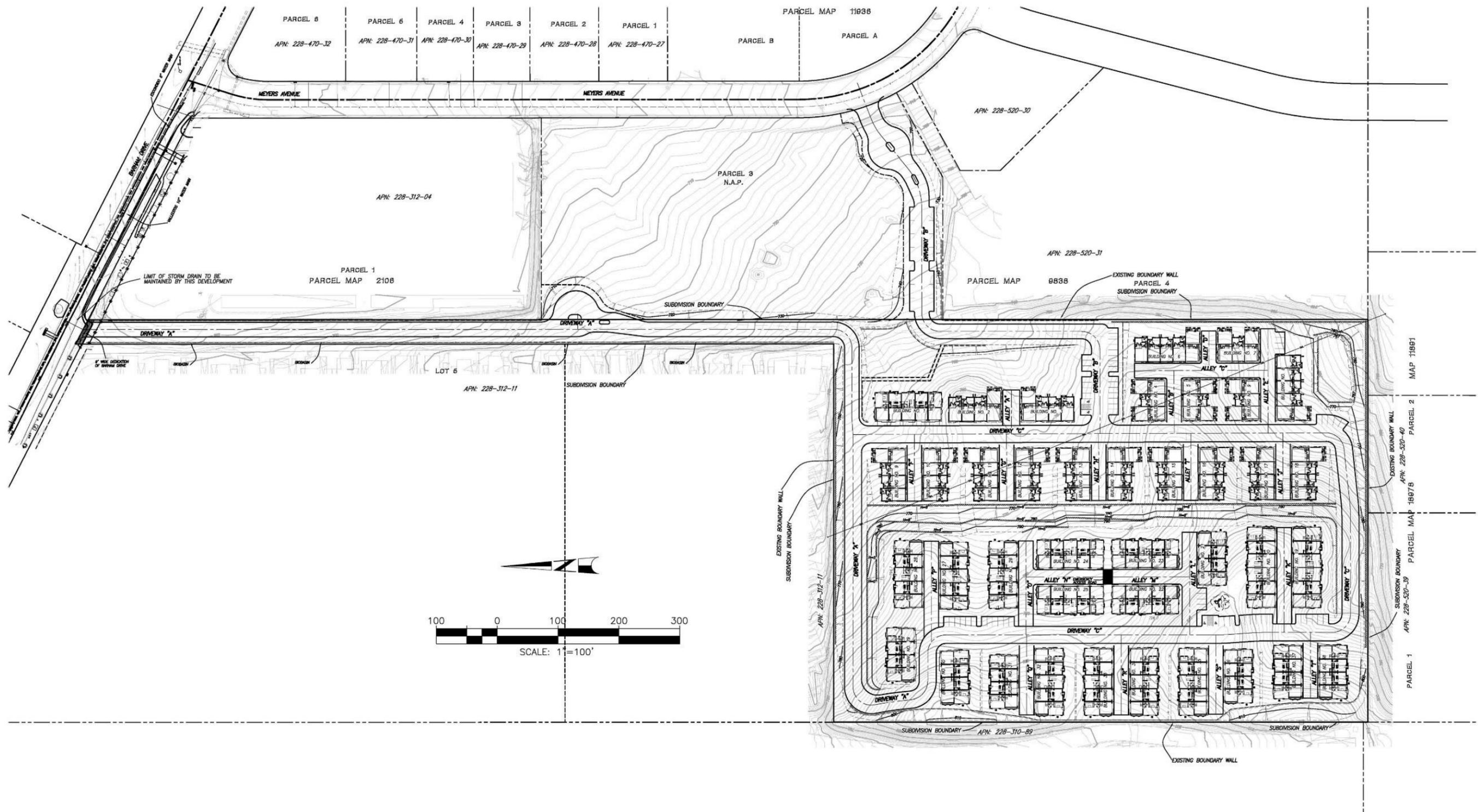
<i>Utility</i>	<i>Provider</i>
<i>Water</i>	Rincon Del Diablo District/Vallecitos Water District
<i>Wastewater</i>	Vallecitos Water District or City of Escondido as determined by applicant and agencies
<i>Stormwater Drainage and Detention</i>	Developer/Builder
<i>Natural Gas</i>	SDG&E
<i>Electricity</i>	SDG&E
<i>Telephone and Cable</i>	Cox Communications

5.1. Grading

This project proposes to clear and grub all remaining vegetation within the property limits, demolish any existing improvements and private utilities, and perform mass grading activities over the entire site with a total of 78,800 CY of cut and 78,800 CY of fill (**Figure 5-1**). Rough grading will prepare pads for each residential lot, interior driveway and alley sections to subgrade, and further define drainage courses, recreation and amenity areas. Final and precise grading activities during the ultimate build-out of the project at the time of vertical construction would include taking roads, lots, and landscape areas to finish grades with final surface/hardscape/planting installations and preparation of the ground for any foundations for proposed residential buildings/community buildings.

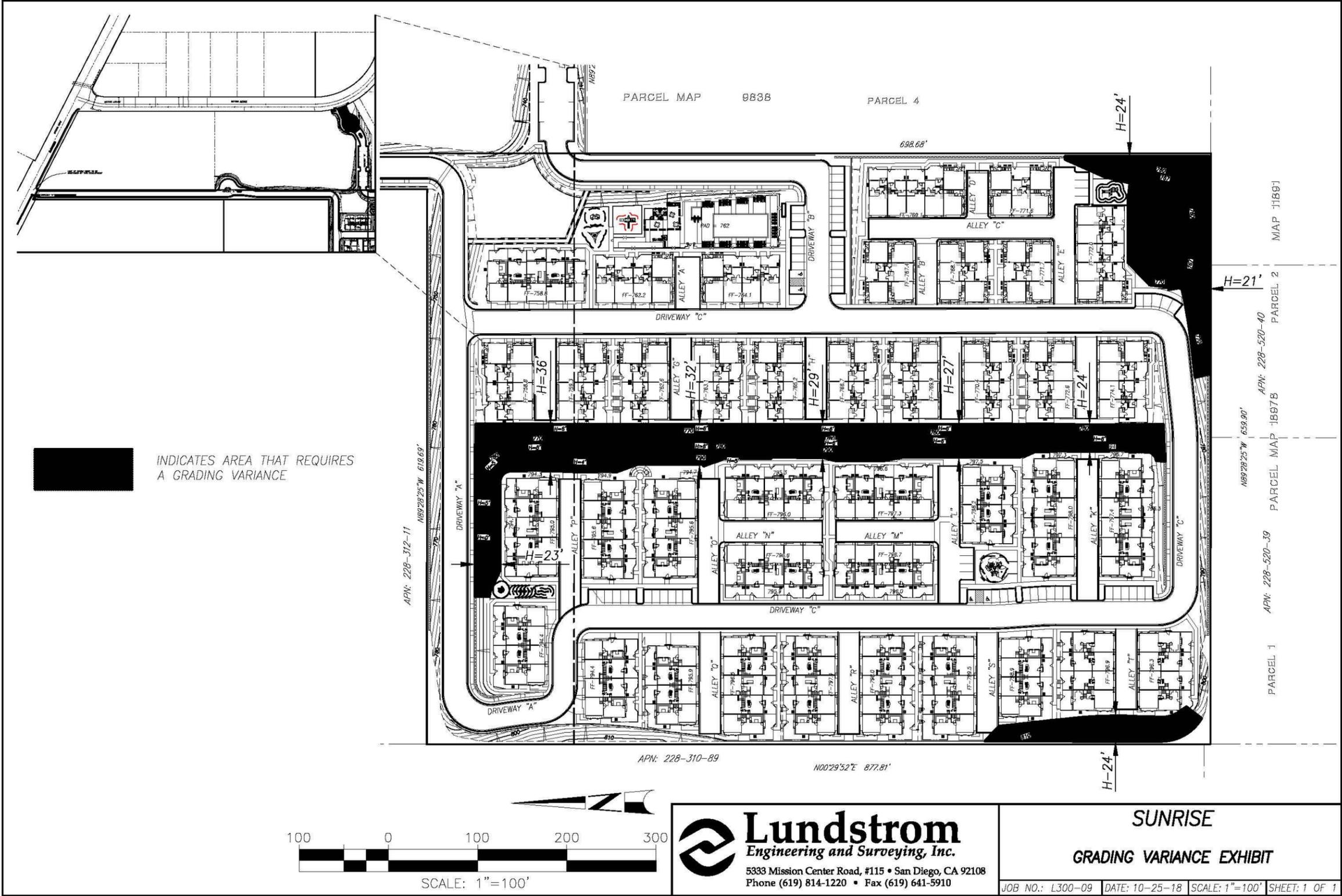
5.1.1. Grading Variances

A grading variance will be required for several slopes within the Specific Plan area which exceed 20 feet in height. Approval of a grading variance allows for grading of two main pads separated approximately on a north-south centerline of the project area. The variance also allows for shorter slope heights, which will be combined with a keystone wall as noted in Chapter 2, **Figure 2-39**. **Figure 5-2** presents the areas within the Specific Plan area that contain slopes in excess of 20' in height.



Conceptual Grading Plan
 Sunrise Specific Plan

Figure 5-1



Grading Variance Exhibit
Sunrise Specific Plan

Figure 5-2

5.2. Potable Water Supply

Water service for potable residential use and fire service to the Sunrise Specific Plan Area will be provided by either the Rincon Del Diablo Municipal Water District (Rincon) or Vallecitos Water District (VWD). A Will-Serve Letter Request form will be obtained from Rincon and/or VWD to determine they have the capacity to serve the Plan area's water needs, fire flow capacity, and landscape irrigation needs. The Sunrise Specific Plan area is located entirely within the boundaries of Rincon, which serves approximately 30,000 residents and businesses, however VWD may provide potable water service to the Specific Plan area. Negotiations between the districts and the applicant will determine the agency of service. The District services several local municipalities, portions of the County of San Diego.

In either water service provision scenario, water lines within the Specific Plan area will consist of an 8" fire main and a 6" domestic main water line. Both lines will circulate beneath the main driveways throughout the Specific Plan area as shown on **Figure 5-3**. the 8" fire main and 6" domestic water line will loop through alley's "L," "M," "N," and "O" from driveway "C" and will loop through alley's "B," "C," and "E" off of driveway "C." the 8" fire main and 6" domestic water lines will connect to existing 10" public water main underneath Barham Drive and an existing 8" public water main underneath Meyers Avenue.

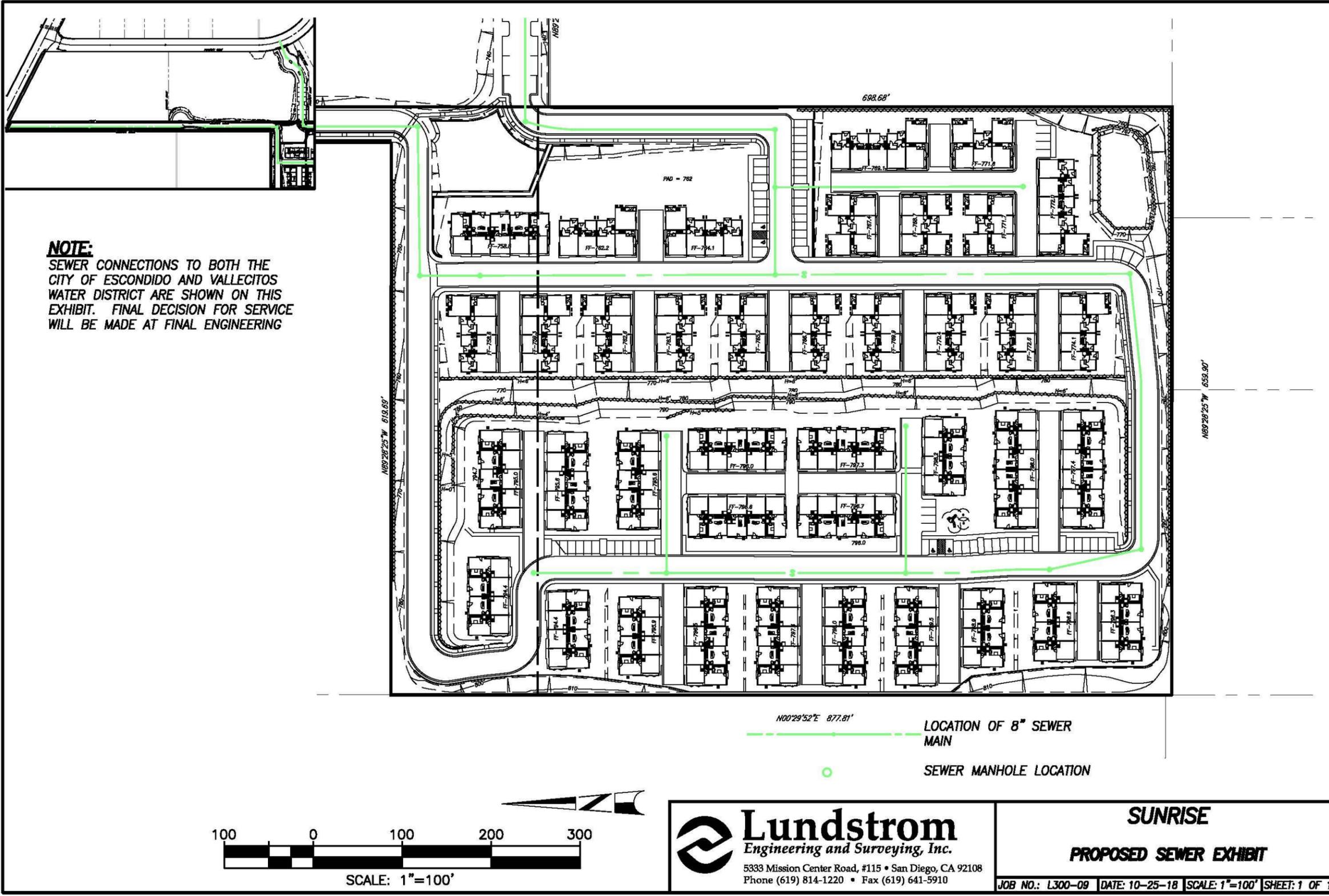
5.3. Wastewater

Wastewater service to the Sunrise Specific Plan area will be provided by either Vallecitos Water District or The City of Escondido, which previously determined has existing sewer capacity to serve the expected buildout of the Plan area.

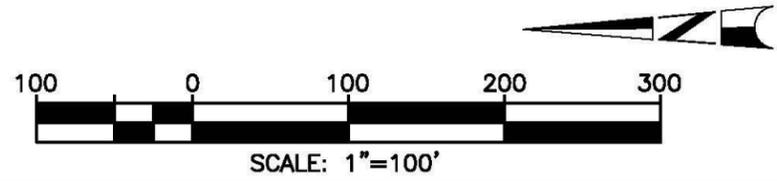
Studies conducted for the Plan area determined the approximate flows of wastewater from the development. Based on those conclusions, two internal pipe sizes are proposed for the Specific Plan area. Preliminary sewer design concluded an 8-inch PVC sewer main will be needed to adequately service individual homes and community areas discharging wastewater (**Figure 5-4**). Pipes will be located underneath the internal private driveways and alleys.

The City of Escondido is the preferred option to provide wastewater. Under this scenario, wastewater lines will flow southeasterly toward Meyers Avenue where the internal private 8" sewer main will connect to an 8" public sewer main. The 8" line will be located under driveway "C" and will contain lines that connect alley's "L," "O," and "E" to the 8" sewer main.

If VWD ultimately provides wastewater service to the project would extend an 8" sewer main line approximately 965 linear feet from the project frontage on Barham Drive west to connect with an existing 8" sewer main. This option would require approximately an additional 800 linear feet of internal sewer lines.



NOTE:
SEWER CONNECTIONS TO BOTH THE CITY OF ESCONDIDO AND VALLECITOS WATER DISTRICT ARE SHOWN ON THIS EXHIBIT. FINAL DECISION FOR SERVICE WILL BE MADE AT FINAL ENGINEERING



Lundstrom
Engineering and Surveying, Inc.
5333 Mission Center Road, #115 • San Diego, CA 92108
Phone (619) 814-1220 • Fax (619) 641-5910

SUNRISE
PROPOSED SEWER EXHIBIT
JOB NO.: L300-09 | DATE: 10-25-18 | SCALE: 1"=100' | SHEET: 1 OF 1

Proposed Sewer Exhibit
Sunrise Specific Plan

Figure 5-4

5.4. Stormwater Management

Statewide rules and regulations require that stormwater runoff from rain events must be appropriately captured and conveyed into treatment systems, so that water runoff does not increase water flows onto adjacent properties or properties downstream, which could potentially cause damage.

The Sunrise Specific Plan area has carefully studied stormwater flows and identified two points of entry for flows into and through the site. Two large biofiltration basins are located at the northeast and southeast corners of the Plan area. The northeast biofiltration basin is approximately 7,606 sf, while the southeast biofiltration basin is approximately 5,000 sf. Stormwater flows will be conveyed to filtration systems through storm drains, where water will be cleaned prior to being discharged. The locations of the Plan's biofiltration basins are illustrated on the **Open Space Exhibit, Figure 2-3 and Figure 2-4.**

5.5. Dry Utilities

Dry Utilities are the primary power generation source for the Sunrise Specific Plan area. Electricity and gas will provide heat, air conditioning, and any other power generating source for each home or common-area facility within the development. Solar power generating systems, alternative green energy systems, or alternative energy programs may be utilized for alternative power generation for the Specific Plan area to supplement electrical and gas systems; however, any proposed solar generation system, alternative green energy system, or alternative energy program must be compliant with State regulations or local ordinances. A description of dry utility distribution is provided in the following sections.

5.5.1. Electricity

Electrical service distribution systems within the Sunrise Specific Plan area shall be provided by San Diego Gas & Electric (SDG&E). The project area will connect to a 12KV line in a vault underneath Meyers Avenue and underground the 69KV lines at the project frontage on Barham Drive.

Developers of the Sunrise Specific Plan area will be required to hire a contractor to provide all trenching, backfill, substructures, conduits, and transformer pads necessary for electrical utility installation work. Should SDG&E find installation of extra facilities are required for system reliability, it shall be the responsibility of the developer to perform the related work aforementioned in this section. SDG&E shall be responsible for the installation of necessary cables, connectors, and pad mounted equipment as required.

5.5.2. Gas

SDG&E maintains a gas distribution system within Meyers Avenue. The gas lines will be extended to the developable area within the Sunrise Specific Plan area through the same joint trench alignment as electric, cable, and telephone facilities.

5.5.3. Cable and Telephone

Cable and telephone service will be provided through Cox Communications. Cable connections will be stubbed for the property at the time of construction for dry utilities. Residents will be able to choose to connect to cable and telephone via a number of packages offered through Cox Communications.

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Chapter 6 Public Facilities and Financing Plan

6. Public Facilities and Financing Plan

This section describes the various options for financing of the required improvements for the Sunrise Specific Plan. A detailed financing plan should be prepared to ensure improvements to the Specific Plan area are implemented in a successful manner and within an orderly timeframe. The financing plan will establish specific methods of financing to achieve the goals and policies set forth in this Chapter.

Financing mechanisms for each improvement shall be timed with any proposed phasing of the Specific Plan area, established conditions of approval, and site plan and/or design review approval. The following descriptions provide information of possible methods, which could be employed to finance improvements of the Specific Plan area. It should be noted there may be other sources not listed below which would fulfill any mandates for the financing of improvements.

6.1. Methods of Financing for Public Improvements and Services

The developer or builder shall be responsible for their fair share of financing construction of any public improvements as well as the entirety of private infrastructure improvements required to support development within the Sunrise Specific Plan area. Improvements may include, however, may not be limited to, construction of internal and adjacent streets, water lines, sewer lines, and storm drains, and electrical and gas power delivery systems. The developer or builder can use a combination of financing mechanisms to achieve the required construction and maintenance of facilities and improvements; however, the developer or builder shall be ultimately responsible for all fair share costs identified with implementation of development within the Sunrise Specific Plan area, including but not limited to, costs associated with infrastructure construction, compliance with any mitigation measures identified within the EIR conditions of approval, or any other associated requirements which may need to be fulfilled.

6.1.1. Developer Funded Options

Many of the onsite facilities to be constructed will be financed and constructed entirely by the developer or builder. Some examples of these types of improvements are onsite private streets, utility connections from main trunk lines, and storm drain facilities. In the case of electricity connections, the developer or builder may be required to use the electricity providers' construction crews or contractors provided from an approved list determined by the energy provider. In those cases, correspondence will occur between the parties to establish the funding method, at a cost to the developer or builder, to finance those improvements.

6.1.2. Special Assessment Districts

Special assessment districts may be used by the City of San Marcos to pay for improvements within a defined area so long as the property owner votes to allow the assessment to proceed. Once an approval vote has been made, the City has the authority to form the special assessment district by the authority of the Improvement Act of 1911, and the Municipal Improvement Act of 1913. The property owners will bond to pay for improvements such as streets, storm drains,

sidewalks, landscape and lighting, water and sewer services, and other similar public improvements.

6.1.3. Community Facilities Districts and Mello-Roos

The City of San Marcos may use a Community Facility District and require Mello-Roos to finance public improvements for the Specific Plan area. The Mello-Roos, Community Facilities Act of 1982 allows the City to establish special districts and to levy special taxes and issue tax exempt bonds to finance those improvements. Mello-Roos do not require municipalities to show any specific special benefit to assessed properties, therefore they may be used to finance a broad range of general improvements such as police and fire facilities, libraries, parks, and any improvements which may benefit specific properties.

6.1.4. Other Funding Sources

The developer or builder may secure other sources of funding to construct and maintain public and private facilities such as government grants, private developer coalitions, or various bonds not specifically mentioned above.

6.2. Financing of Public Improvements and Services

The orderly development of the Specific Plan area requires the procurement of sufficient funding for public facilities and services. The following summaries provide detail on financing of facilities and services for the Sunrise Specific Plan area required to be available at the time of need. The sections described below will provide information on specific financing options and implementation methods for facilities and service within the Specific Plan area.

6.2.1. Circulation Improvements

The Sunrise Specific Plan area includes a comprehensive circulation plan, which includes private road improvements and may be required to provide public road improvements, public utility upgrades or other infrastructure improvements. Development within the Specific Plan area is contingent upon the financing and maintenance of both private internal streets and external public road improvements, public streetscape improvements, and any mitigation measures for traffic impacts identified in the traffic study produced for the EIR.

Internal private streets will be financed in whole, by the developer or builder.

Improvements to public external roads, right-of-way areas, landscaped medians, and landscaping adjacent to the projects frontage identified by the City of San Marcos or the City of Escondido may be financed and constructed by the developer and/or builder.

6.2.2. Fire, Paramedics & Law Enforcement Services and Facilities

Fire and Paramedic Services and facilities

The Sunrise Specific Plan area is within the San Marcos Fire Protection District. To offset impacts to fire, paramedic, and law enforcement services and facilities the developer and/or builder will

pay fees to the City of San Marcos. Service to the Specific Plan area shall be provided by the San Marcos Fire Department (SMFD). The developer will pay its fair share contribution to the City of San Marcos' CFD for fire service to the Specific Plan area. Future homeowners will be assessed annual fees for this district with increases as determined by the City.

Law Enforcement Services and Facilities

The County of San Diego Sheriff's Department, under contract with the City of San Marcos, will provide police protection services to the Sunrise Specific Plan area. The Sunrise Specific Plan developer shall pay its fair share contribution to the City of San Marcos' CFD for law enforcement service. Future homeowners will be assessed annual fees for this district with increases as determined by the City.

6.2.3. Schools

The Sunrise Specific Plan Area is located within the San Marcos Unified School District (SMUSD). Impacts to SMUSD will be mitigated by a per square foot fee paid by the developer to the school district and based on total residential dwelling unit square footage.

6.2.4. Recreational Facilities, Parks, and Open Space

All categories of open space located within the Sunrise Specific Plan area, including common-area open space, parks, water quality features, and biological conservation areas, will be financed and constructed by the developer. Maintenance responsibilities of recreational facilities, parks, and open space are described in section 6.4. The developer and/or builder will pay Public Facilities Fees to offset the projects impacts to City-owned parks and recreation facilities.

6.3. Operational and Maintenance of Public Improvements and Private Facilities

Maintenance of open space, recreational facilities, water quality features, private streets, public streets, water and sewer systems, and landscaping of public rights-of-way are important components to the image of Sunrise and the functionality and safety of stormwater movement. This Section will define each entity responsible for maintenance of public improvements and private facilities which will have a prolonged impact on the Specific Plan areas appearance.

There are several options for funding operation and maintenance of public and private facilities and landscaping. For operation and maintenance of private facilities, the Specific Plan area will require the formation of a homeowner's association (HOA). Private facility maintenance areas will be the financial responsibility of the HOA and will be maintained privately. These areas include, but are not limited to, common area open space, onsite landscaping, parks, HOA pool facilities, onsite streets, and water quality basins and associated facilities. Landscaping within each private lot within the Specific Plan area shall be the sole responsibility of the homeowner. Operation and maintenance responsibilities are defined in detail below.

- Private parks and common area facilities maintenance within Sunrise shall be the responsibility of the Sunrise HOA(s).

- Maintenance of common area landscaping within the Sunrise Specific Plan area shall be the responsibility of the Sunrise HOA(s).
- Maintenance of landscaping within individual dwelling unit private open space shall be the responsibility of the homeowner.
- Maintenance within front yards of multifamily residential units shall be the responsibility of the HOA(s).
- Private streets, landscaped parkways, and entry monuments and gates shall be maintained by the Sunrise HOA(s).
- All private storm drain systems within the Specific Plan area will be maintained by the Rincon Del Diablo and/or VWD agencies.
- Public sewer systems, and water systems within the Sunrise Specific Plan area will be maintained by the Rincon Del Diablo and/or VWD agencies respectively.
- Maintenance of landscaping, lighting, and storm drain systems, in public right-of-way easements along public streets shall be the responsibility of the City of San Marcos and the City of Escondido, with an assessment paid by the property owner.
- Public street maintenance shall be the responsibility of the City of San Marcos and the City of Escondido.
- Onsite private streets shall be the responsibility of the Sunrise HOA(s).

Table 6-1 Financing and Maintenance Responsibilities

Improvement	Installation/Financing Responsibility	Long-term Maintenance Responsibility
Common Area landscaping	Developer	HOA(s)
Private Open Space	Developer	HOA(s)
Private Recreational Facilities	Developer	HOA(s)
Private Streets	Developer	HOA(s)
Public Streets	n/a	n/a
Public Landscaping in rights-of-way	CFD/Developer	CFD
Private Storm Drain Systems	Developer	HOA
Public Storm Drain Systems	Developer	City of Escondido
Public Water	Developer	Rincon Del Diablo
Public Sewer	Developer	VWD/City of Escondido
Private Water	Developer	HOA(s)
Private Sewer	Developer	HOA(s)

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Chapter 7 Administration and Implementation

7. Administration and Implementation

This chapter of the Sunrise Specific Plan is essential to establishing a thorough review process for proposed discretionary entitlements and other processes which may become necessary within the Plan area. Sections within this chapter form the procedures for review of entitlements and modifications or amendments to the Specific Plan (i.e., administration authority of the Plan, descriptions of the entitlements to be processed concurrently with this Specific Plan, compliance with CEQA, and substantial conformance and amendments to the Plan). Those rules, regulations, and processes outlined within this chapter govern the lead agency's implementation of development within the Plan area.

In addition to the Sunrise Specific Plan implementation, several discretionary entitlements will also be processed concurrently. This section provides a detailed description of the mechanisms needed for implementation of the Specific Plan and should be the primary document consulted when questions arise concerning future development or development changes within the Sunrise Specific Plan area. As the lead agency, The City of San Marcos is responsible for the administration of the Sunrise Specific Plan and as such is responsible for ensuring the rules and procedures described herein are implemented in a consistent manner with all City rules, regulations and policies. California Government Code 65451 (a) (4) and 65452 gives the City discretion to address subjects in the Specific Plan the City deems necessary for proper implementation of the General Plan.

7.1. Project Review Procedures and Future Entitlements

This section outlines the procedures necessary to review entitlement efforts for all development within the Sunrise Specific Plan area. The intent of the development and design review process is to ensure development proposals are consistent with the provisions of the Sunrise Specific Plan and are compatible with surrounding land uses. The Development Review process may include, but is not limited to, subdivision maps, plot/site plans, final engineering plans, architectural building plans, landscape plans, and materials boards. Conformance with the Sunrise Specific Plan is contingent upon the thorough review process of the aforementioned plans.

Specific Plan Authority

The Sunrise Specific Plan is to be adopted by Ordinance by the San Marcos City Council and used as the primary guiding document for review of all subsequent discretionary entitlements within the confines of the Specific Plan Area. As a regulatory document, successful implementation of a development project within the Plan area is contingent upon meeting the land use and associated design, development, and infrastructure standards, and other policies outlined herein.

The Sunrise Specific Plan establishes development design, infrastructure, and implementation parameters and incorporates those standards through reference of applicable Zoning Ordinance or other appropriate standards and provisions, or the City of San Marcos Municipal Code, to establish specific zoning standards, which govern all development within the Plan area. Any proposed development and design activities within the Sunrise Specific Plan area must be consistent with the established parameters of this Plan. Should any requirements contained

herein of the Sunrise Specific Plan conflict with the City of San Marcos Municipal Code, the Sunrise Specific Plan shall be the primary document used to resolve the conflict. If the Sunrise Specific Plan is silent on any issues, the City of San Marcos Municipal Code, or other applicable adopted City standard(s) shall be referred to for regulations and standards.

Administration

Several entities may/shall be responsible for the administration and enforcement of the Sunrise Specific Plan. The City of San Marcos' Development Services Department is the primary agency responsible for the implementation, administration, and enforcement of the Sunrise Specific Plan. The homeowner's association or other comparable group established for the Sunrise Specific Plan area shall be responsible for the enforcement of private property and open space easement requirements pursuant to standards identified herein as well as any covenants, conditions, and restrictions (CC&R's) developed separately from this Plan.

7.2. Project Processing

In addition to this Specific Plan, the City of San Marcos is concurrently processing a General Plan Amendment, Multi-Family Site Development Plan, Grading Variance, a Prezone, Tentative Subdivision Map, Conditional Use Permit and a Rezone. LAFCO action will be required to annex parcel 228-312-10 from the County of San Diego to the City of San Marcos as well as annexations for sewer service. Any future development projects within the Specific Plan area may be subject to further review and subsequent discretionary permits and approval from the City of San Marcos Development Services Department. Examples of subsequent approvals include site plans, final maps, grading plans, improvement plans, and building permits. Application, fee, and processing requirements shall be in accordance with the City's regulations, unless modified by this Plan. Project application will be reviewed for consistency with the Sunrise Specific Plan and all pertinent development standards, design standards, and mitigation measures identified during the environmental review process, as well as other applicable conditions of approval adopted as part of this Specific Plan. Applications for subsequent development projects or public improvements and other activities will be reviewed by the Development Services Department using established procedures for consistency with this Plan. Review and analysis of a subsequent project permit(s) may trigger additional conditions the City determines to be reasonably necessary to ensure the projects application and or plans achieve compliance with this Specific Plan. Procedures to amend the Sunrise Specific Plan are detailed in Section 7.4 below, should the applicant or City staff determine changes in the project area would trigger an amendment to this Specific Plan in order to remain compliant with the adopted Specific Plan/General Plan.

Project processing regulations described within this Plan apply to all development proposed within the Sunrise Specific Plan area. The following items described address only the entitlements the City of San Marcos has the authority to grant and shall be processed to complete the development of the Sunrise Specific Plan area:

Chapter 7 Administration and Implementation

Annexation

Parcel 228-312-10 within the Specific Plan is currently located within the County of San Diego’s jurisdiction. The City sphere of influence extends to some parcels beyond the hard-line city boundary, which may be able to receive services more efficiently from the host City. The County parcel 228-312-10 is isolated from County services, better served through the City of San Marcos, and located within the City of San Marcos Sphere of Influence and therefore able to be considered for annexation into the City of San Marcos boundary. Annexation of Light the Industrial (LI) parcel 228-312-10 from the County of San Diego into the City of San Marcos is proposed and must be recommended by the City of San Marcos Council to proceed to LAFCO to be considered for annexation. In addition, annexation for VWD sewer service boundary will be required.

General Plan Amendment

A General Plan Amendment is necessary to rezone parcel 228-312-10 within the County from Light Industrial (LI) to Specific Plan (SP) and 228-312-09 in the City from Mobile Home Park (R-MHP) to Specific Plan (SP). The rezone from LI and R-MHP to Specific Plan will allow the Specific Plan to provide rules and regulations for a residential development. The project as planned will be consistent with other multi-family residential densities within the City of San Marcos. Once the zoning is changed to SP, the Sunrise Specific Plan area will be consistent with, and able to implement, the goals and policies of the San Marcos General Plan.

Multi-Family Site Development Plan

The Multi-Family Site Development Plan ensures the development of multi-family structures conserves the value of adjacent properties by respecting adjacent design standards and aesthetics. Multi-Family Site Development Plans ensure architectural design, setbacks, heights and stories, open space, parking requirements, utilities, and trash enclosures conform with the City’s adopted design Manuals and guidelines.

Rezone

A rezone will be required to change parcel 228-312-10 within the County from Light Industrial (LI) to Specific Plan (SP) and 228-312-09 in the City from Mobile Home Park (R-MHP) to Specific Plan (SP).

Specific Plan

A Specific Plan is required to develop the site as a multi-family residential development as described in this Specific Plan. A Specific Plan is required to be reviewed and approved concurrently with the Multi-Family Site Development Plan application. The Specific Plan establishes the development rules and regulations of all land uses within the Plan area boundary. Upon adoption of the Specific Plan by the San Marcos City Council, all development within the Plan area must conform to the regulations of the Plan and all other entitlements required for this project.

Conditional Use Permit

A Conditional Use Permit is included with the entitlement of the proposed project for potential use of a rock crusher on site.

7.2.1. Environmental Review

Each subsequent development project requiring discretionary approval shall be reviewed to ensure consistency and compliance with the California Environmental Quality Act (CEQA) Guidelines 15162(c). The Environmental Impact Report (EIR) shall be certified concurrently with the Sunrise Specific Plan and shall serve as the primary environmental document for all subsequent discretionary entitlements within the Plan area. Each discretionary development application shall be reviewed on a project-by-project basis to determine consistency with the certified EIR. Subsequent administrative approvals are not subject to CEQA review, because they do not trigger the exercise of the City's discretionary powers (CEQA Guidelines 15060[c] [1]). Projects which are not fully consistent with the Specific Plan will require additional analysis for only those factors which create potential impacts. Additional analysis will be performed through the analysis methods described in Section 7.2.1.1.

7.2.1.1. Options for Further CEQA Review of Subsequent Discretionary Approvals

Subsequent determinations of the level of environmental review for discretionary approvals will be determined by the City of San Marcos in accordance with CEQA.

7.2.2. Substantial Conformance and Specific Plan Amendment

Substantial Conformance

Changes in housing market trends and the economy may necessitate slight modifications to the Specific Plan area, thereby prompting minor modifications to the Specific Plan. California Government Code 65452 grants the City of San Marcos the authority to make minor modifications to the Specific Plan to account for market force changes, either administratively through the Planning Manager's review or through the Planning Commission. The applicant may submit an application to the City of San Marcos' Development Services Department, which may include maps, text, and or technical studies describing the nature and intent of minor modifications. Upon submittal, the Planning Manager will make a determination as to the applicability of the Substantial Conformance. The Planning Manager may delegate his/her administrative decision to the Planning Commission and conversely the applicant may apply to the Planning Commission for administrative decision. Modifications of the following items are deemed consistent with the General Plan and Specific Plan:

- **Multi-Family Site Development Plan** – Changes to the site development plan such as but not limited to plotting and elevation will be considered administrative level changes and may be reviewed under the minor modification process.

- **Setbacks** – For changes related to setbacks refer to Section 2.2.6 for a list of minimum front, side, and rear setbacks;
- **Architectural Styles** – Section 2.2.4 includes the guidelines for architectural design and community features;
- **Walls and Fencing** – Section 2.3.2 provides guidance for the design and styles of walls and fencing;
- **Landscaping** – Refer to Section 2.3 for all landscaping guidelines and a list of suitable plants for the Sunrise Specific Plan area;
- Final facility sizing and alignment for water, sewer, and storm drain improvements (with concurrence from the City Engineer);
- Removal of unnecessary utility infrastructure or design changes to utility infrastructure (with concurrence from the City Engineer);
- Final alignment, width, or grade of public or private streets within the Specific Plan area as long as the design changes are within general conformance with the Specific Plan and the exhibits herein;
- Changes in landscaping materials or location, wall materials or locations, entry design, fencing, signage, gates, lighting and streetscape design so long as the design changes are consistent with the conceptual landscape designs for the Specific Plan;
- Minor architectural changes in relation to design materials;
- Addition or relocation of accessory structures (i.e. detached garages, guest homes, sheds) as long as the relocation conforms to the approved development standards;
- Changes to design guidelines the Planning Manager determines to be of superior design aesthetic;
- Minor changes that modify or realign lot lines, pad levels, grading line adjustments, or changes to overall grading quantities within the Plan area (with concurrence from the City Engineer);
- Changes in the location or size of private parks or recreational areas (with concurrence from the Community Services and Planning Manager);
- As long as the change does not create a net increase of the Specific Plan’s total peak hour ADT identified in the Sunrise Specific Plan’s EIR, any change that: (1) expands or contracts the geographic area of a planning area within the outer boundaries of the Specific Plan; (2) changes land uses, including density and intensity changes, height and setback changes, or substitution of uses (as long as the use and development standards are allowed within the respective planning area); (3) change in housing type (e.g. single family units to duplexes), so long as the housing type is allowed; (4) decreases the total number of units, so long as the density is within the acceptable range presented within the Specific Plan; or (5) changes the sequencing or thresholds for development phasing;
- Changes necessary to comply with final conditions of approval in City issued permits, regulations, and approvals issued by other agencies with jurisdiction over the project;

- Minor changes to planning area boundaries provided that the total acreage of the affected planning area does not increase or decrease by more than 10%;
- Revisions to the number of dwelling units within a planning area provided that the total number of units within the Specific Plan area as a whole does not exceed the maximum number of units allowed by the Specific Plan and the maximum density allowed in any given planning area is not exceeded;
- Changes initiated from amendments to permits from other agencies with jurisdiction over the project, which are deemed minor modifications under the other agencies' rules and regulations governing such approvals;

Substantial Conformance is a necessary tool the City can use to help develop the Specific Plan area. The conceptual land use plan and general guidelines and regulations set forth in this Specific Plan require a modification process to allow minor design changes to conform to the intent of the Specific Plan. The land uses and development yield identified herein have been carefully analyzed in the EIR. The results of the EIR analysis and subsequent mitigation requirements are valid for minor modifications to the land uses and development yields which result in equal to or a reduction in vehicular trips generated during peak-hour travel times. Minor adjustments, including substitutions and density changes, therefore are allowable under this Specific Plan as Substantial Conformance, provided they do not result in an increase in trip generation for peak-hour travel times. Proposed development projects within the Specific Plan area, which exceed the trip generation thresholds identified in the EIR, may still be processed as Substantial Conformance, so long as no new mitigation measures are required to offset the increase in traffic impacts. Similarly, any change that does not create new significant unmitigated environmental impacts that would require a subsequent or supplemental Environmental Impact Report pursuant to Public Resources Code Section 21166, changes that do not violate any applicable public safety and health standards as applied to each line item herein, and any other minor modifications, similar to those listed above and deemed minor by the Planning Manager, which are in keeping with the intent of the Specific Plan would be considered as Substantial Conformance. A revision to the Plan will not be considered minor if the revision causes an impact for the adjacent property or property owner that is determined to surpass the level of significance as determined by City guidelines for each studied environmental subject as described in the Final EIR, and as determined by the Planning Manager.

Other Revisions

Should the Planning Manager for the City of San Marcos determine a proposed revision does not meet the criteria from the above-listed minor modification guidelines, then a Revised Tentative Tract Map, Plot Plan, and/or a modification to the Site Plan, whichever is determined to be appropriate by the Planning Manager, can be processed without concurrently processing a formal amendment to the Specific Plan. The Planning Manager shall determine the applicable process by referencing the procedures stated herein with the Subdivision Ordinance or Zoning Ordinance.

Formal Amendments

If no minor modification mechanism can be applied from the defined parameters listed previously in this chapter or as determined by the Planning Manager, a formal amendment to the Specific Plan shall be required. California Government Code, Section 65453 allows for discretionary Specific Plan Amendment procedures and regulations and allows for the amendment approval by the Planning Commission and City Council of the City of San Marcos. The City of San Marcos shall process all formal Specific Plan Amendments with additional environmental review unless the proposed changes do not warrant additional environmental review in accordance with the **“Options for Further CEQA Review of Subsequent Discretionary Approvals”** as described in Section 7.2.1.1.