

# **APPENDIX A**

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## **Initial Study with Appendices Notice of Preparation (NOP) NOP Comment Letters**



## The Morrison Project

Case Number: ENV-2018-2294-EIR

**Project Location:** 1220-1246 South Hope Street, Los Angeles, California, 90015

**Community Plan Area:** Central City

**Council District:** 14—Huizar

**Project Description:** The Project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy (SRO) hotel (“Phase I Existing”), the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (“Phase I Expansion”), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building (“Phase II Hotel and Residential Tower”). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project would also include a 3,060 square-foot basement bar and lounge, 15,891 square feet of ground floor restaurant and retail space, 10,415 square feet of ground floor hotel and residential lobby space, 14,052 square feet of event and meeting room space, and 39,199 square feet of amenity spaces. The Project includes 215 parking spaces to be located within three levels of subterranean parking.

**PREPARED FOR:**

The City of Los Angeles  
Department of City Planning

**PREPARED BY:**

EcoTierra Consulting, Inc.

**APPLICANT:**

Morrison Hotel, LLC and Morrison Residential, LLC





# INITIAL STUDY

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# INITIAL STUDY

## 1 INTRODUCTION

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An application for the proposed Morrison Project (“Project”) has been submitted to the City of Los Angeles Department of City Planning for discretionary review. The Department of City Planning, as Lead Agency, has determined that the Project is subject to the California Environmental Quality Act (CEQA), and the preparation of an Initial Study is required.

This Initial Study (IS) evaluates potential environmental effects resulting from construction, implementation, and operation of the proposed Project. This Initial Study has been prepared in accordance with CEQA (Public Resources Code §21000 et seq.), the State CEQA Guidelines (Title 14, California Code of Regulations, §15000 et seq.), and the City of Los Angeles CEQA Guidelines (1981, amended 2006). Based on the analysis provided within this Initial Study, the City has concluded that the Project may result in significant impacts on the environment and the preparation of an Environmental Impact Report (EIR) is required. This Initial Study and EIR is intended as an informational document and is ultimately required to be adopted by the decision-making body prior to Project approval by the City.

### 1.1 PURPOSE OF AN INITIAL STUDY

The California Environmental Quality Act was enacted in 1970 with several basic purposes: (1) to inform governmental decision makers and the public about the potential significant environmental effects of proposed projects; (2) to identify ways that environmental damage can be avoided or significantly reduced; (3) to prevent significant, avoidable damage to the environment by requiring changes in projects through the use of feasible alternatives or mitigation measures; and (4) to disclose to the public the reasons behind a project’s approval even if significant environmental effects are anticipated.

An Initial Study is a preliminary analysis conducted by the Lead Agency, in consultation with other agencies (responsible or trustee agencies, as applicable), to determine whether there is substantial evidence that a project may have a significant effect on the environment. If the Initial Study shows that there is no substantial evidence, in light of the whole record before the agency, that the project may have a significant effect on the environment, the Lead Agency shall prepare a Negative Declaration. If the Initial Study identifies potentially significant effects but revisions have been made by or agreed to by the applicant that would avoid the effects or mitigate the effects to a point where clearly no significant effects would occur, a Mitigated Negative Declaration is appropriate. If the Initial Study concludes that neither a Negative Declaration or Mitigated Negative Declaration is appropriate, an EIR is normally required.<sup>1</sup>

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<sup>1</sup> State CEQA Guidelines Section 15063(b)(1) identifies the following three options for the Lead Agency when there is substantial evidence that the project may cause a significant effect on the environment: “(A) Prepare an EIR, or (B) Use a previously prepared EIR which the Lead Agency determines would adequately analyze the project at hand, or (C) Determine, pursuant to a program EIR, tiering, or another appropriate process, which of a project’s effects were adequately examined by an earlier EIR or negative declaration.”

## 1.2 ORGANIZATION OF THE INITIAL STUDY

This Initial Study is organized into sections as follows:

### 1 INTRODUCTION

Describes the purpose and content of the Initial Study and provides an overview of the CEQA process.

### 2 EXECUTIVE SUMMARY

Provides Project information, identifies key areas of environmental concern, and includes a determination whether the project may have a significant effect on the environment.

### 3 PROJECT DESCRIPTION

Provides a description of the environmental setting and the Project, including project characteristics and a list of discretionary actions.

### 4 EVALUATION OF ENVIRONMENTAL IMPACTS

Contains the completed Initial Study Checklist and discussion of the environmental factors that would be potentially affected by the Project.

## 1.3 CEQA PROCESS

In compliance with the State CEQA Guidelines, the City, as the Lead Agency for the Project, will provide opportunities for the public to participate in the environmental review process. As described below, throughout the CEQA process, an effort will be made to inform, contact, and solicit input on the Project from various government agencies and the general public, including stakeholders and other interested parties.

### 1.3.1 Initial Study

At the onset of the environmental review process, the City has prepared this Initial Study to determine if the proposed Project may have a significant effect on the environment. This Initial Study determined that the proposed Project may have a significant effect(s) on the environment and an EIR will be prepared.

A Notice of Preparation (NOP) is prepared to notify public agencies and the general public that the lead agency is starting the preparation of an EIR for the proposed project. The NOP and Initial Study are circulated for a 30-day review and comment period. During this review period, the lead agency requests comments from agencies and the public on the scope and content of the environmental information to be included in the EIR. After the close of the 30-day review and comment period, the lead agency continues the preparation of the Draft EIR and any associated technical studies, which may be expanded in consideration of the comments received on the NOP.

### 1.3.2 Draft EIR

Once the Draft EIR is complete, a Notice of Completion and Availability is prepared to inform public agencies and the general public of the availability of the document and the locations where the document can be reviewed. The Draft EIR and Notice of Availability are circulated for a 45-

day review and comment period. The purpose of this review and comment period is to provide public agencies and the general public an opportunity to review the Draft EIR and comment on the adequacy of the document, including the analysis of environmental effects, the mitigation measures presented to reduce potentially significant impacts, and the alternatives analysis. After the close of the 45-day review and comment period, responses to all comments on environmental issues are prepared.

### **1.3.3 Final EIR**

The lead agency prepares a Final EIR, which incorporates the Draft EIR or a revision to the Draft EIR, comments received on the Draft EIR and list of commenters, and responses to significant environmental points raised in the review and consultation process.

The decision-making body then considers the Final EIR, together with any comments received during the public review process, and may certify the Final EIR and approve the project. In addition, when approving a project for which an EIR has been prepared, the lead agency must prepare findings for each significant effect identified, a statement of overriding considerations if there are significant impacts that cannot be mitigated, and a mitigation monitoring and reporting program to ensure that all proposed mitigation measures are implemented.

If the Project is approved, then within five days of the action, the City files a Notice of Determination with the County Clerk. The Notice of Determination is posted by the County Clerk within 24 hours of receipt. This begins a 30-day statute of limitations on legal challenges to the approval under CEQA. The ability to challenge the approval in court may be limited to those persons who objected to the approval of the project, and to issues that were presented to the Lead Agency by any person, either orally or in writing, during the public comment period.



# INITIAL STUDY

## 2 EXECUTIVE SUMMARY

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<b>PROJECT TITLE</b>	<b>THE MORRISON PROJECT</b>
ENVIRONMENTAL CASE NO.	ENV-2018-2294-EIR
RELATED CASES	ZA-2018-2293-MCUP-CUX-DD-SPR

<b>PROJECT LOCATION</b>	<b>1220-1240 SOUTH HOPE STREET, LOS ANGELES, CA 90015</b>
COMMUNITY PLAN AREA	CENTRAL CITY
GENERAL PLAN DESIGNATION	HIGH DENSITY RESIDENTIAL
ZONING	[Q]R5-4D-O
COUNCIL DISTRICT	14—HUIZAR

<b>LEAD CITY AGENCY</b>	<b>CITY OF LOS ANGELES DEPARTMENT OF CITY PLANNING</b>
STAFF CONTACT	MINDY NGUYEN
ADDRESS	221 NORTH FIGUEROA STREET, SUITE 1350 LOS ANGELES, CA 90012
PHONE NUMBER	(213) 847-3674
EMAIL	MINDY.NGUYEN@LACITY.ORG

<b>APPLICANT</b>	<b>MORRISON HOTEL, LLC AND MORRISON RESIDENCES, LLC C/O RICHARD HEYMAN</b>
ADDRESS	1605 CAHUENGA BOULEVARD LOS ANGELES, CA 90028
PHONE NUMBER	(323) 466-1400



## PROJECT DESCRIPTION

The Project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy (SRO) hotel (“Phase I Existing”), the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (“Phase I Expansion”), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building (“Phase II Hotel and Residential Tower”). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project would also include a 3,060 square-foot basement bar and lounge, 15,891 square feet of ground floor restaurant and retail space, 10,415 square feet of ground floor hotel and residential lobby space, 14,052 square feet of event and meeting room space, and 39,199 square feet of amenity spaces. The Project includes 215 parking spaces to be located within three levels of subterranean parking.

(For additional detail, see “Section 3. PROJECT DESCRIPTION”).

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## ENVIRONMENTAL SETTING

The Project Site is located in a highly developed urban neighborhood at the intersection of South Hope Street and Pico Boulevard in the South Park neighborhood of the Central City Community Plan area, approximately 500-feet east of the Los Angeles Metropolitan Transportation Authority’s light-rail train (LRT) station at Pico Boulevard and Flower Street. The Site is zoned [Q]R5-4D-O, for High Density Residential in Height District 4 with a “D” Development Limitation and in an Oil Drilling Overlay, and is currently developed with four commercial buildings, ranging in height from two- to four-stories, including the existing four-story Morrison Hotel, a single-room occupancy (SRO) hotel with 111 rooms. The Site is located in a Transit Priority Area (TPA), the Greater Downtown Housing Incentive Area, the Los Angeles State Enterprise Zone, and the City Center Redevelopment Plan Project Area.

The land uses within the general vicinity are characterized by a mix of low- to medium-intensity industrial, commercial, and residential uses, which vary widely in building style and period of construction. The surrounding properties include industrial, commercial retail, residential, and surface parking lots. Specifically, the Project Site is bounded by a commercial industrial building to the north, an alley, mixed-use residential, commercial, and surface parking to the east, Pico Boulevard and mixed-use residential to the south, and Hope Street and commercial industrial and surface parking to the west. Properties in the surrounding area are designated and zoned R5 for Multiple Dwelling Zone and C2 for Commercial Zone.

(For additional detail, see “Section 3. PROJECT DESCRIPTION”).

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## OTHER PUBLIC AGENCIES WHOSE APPROVAL IS REQUIRED

(e.g. permits, financing approval, or participation agreement)

None.

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## CALIFORNIA NATIVE AMERICAN CONSULTATION

Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

Outreach to California Native American tribes traditionally and culturally affiliated with the Project area began on December 12, 2018. During the notification period, the Gabrieleño Band of Mission Indians – Kizh Nation responded and requested consultation with the City. Consultation with this tribe occurred on December 12, 2018. The tribe identified potential tribal cultural resources and provided recommended mitigation measures that are included in the environmental analysis for this resource category and will be further analyzed in an EIR to determine the impact level of significance in compliance with CEQA.

*Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.*

## ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” as indicated by the checklist on the following pages.

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Aesthetics                       | <input checked="" type="checkbox"/> Greenhouse Gas Emissions  | <input checked="" type="checkbox"/> Public Services                    |
| <input type="checkbox"/> Agriculture & Forestry Resources | <input type="checkbox"/> Hazards & Hazardous Materials        | <input type="checkbox"/> Recreation                                    |
| <input checked="" type="checkbox"/> Air Quality           | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation                     |
| <input type="checkbox"/> Biological Resources             | <input checked="" type="checkbox"/> Land Use / Planning       | <input checked="" type="checkbox"/> Tribal Cultural Resources          |
| <input checked="" type="checkbox"/> Cultural Resources    | <input type="checkbox"/> Mineral Resources                    | <input checked="" type="checkbox"/> Utilities / Service Systems        |
| <input checked="" type="checkbox"/> Energy                | <input checked="" type="checkbox"/> Noise                     | <input type="checkbox"/> Wildfire                                      |
| <input checked="" type="checkbox"/> Geology / Soils       | <input checked="" type="checkbox"/> Population / Housing      | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

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## DETERMINATION

(To be completed by the Lead Agency)

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions on the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Mindy Nguyen  
PRINTED NAME

City Planner  
TITLE

SIGNATURE

DATE

## EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of a mitigation measure has reduced an effect from "Potentially Significant Impact" to "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analysis," as described in (5) below, may be cross referenced).
- 5) Earlier analysis must be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR, or negative declaration. Section 15063 (c)(3)(D). In this case, a brief discussion should identify the following:
  - a) Earlier Analysis Used. Identify and state where they are available for review.
  - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c) Mitigation Measures. For effects that are "Less Than Significant With Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated
- 7) Supporting Information Sources: A sources list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whichever format is selected.
- 9) The explanation of each issue should identify:
  - a) The significance criteria or threshold, if any, used to evaluate each question; and
  - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

# INITIAL STUDY

## 3 PROJECT DESCRIPTION

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### 3.1 PROJECT SUMMARY

The Project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy (SRO) hotel (“Phase I Existing”), the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (“Phase I Expansion”), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building (“Phase II Hotel and Residential Tower”). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project would also include a 3,060 square-foot basement bar and lounge, 15,891 square feet of ground floor restaurant and retail space, 10,415 square feet of ground floor hotel and residential lobby space, 14,052 square feet of event and meeting room space, and 39,199 square feet of amenity spaces. The Project includes 215 parking spaces to be located within three levels of subterranean parking.

### 3.2 ENVIRONMENTAL SETTING

#### 3.2.1 Project Location

The Project Site is located in a highly developed urban neighborhood at the intersection of South Hope Street and Pico Boulevard in the South Park neighborhood of the Central City Community Plan (“Community Plan”) area (See Figure 2-1, Vicinity and Regional Map). The Project Site consists of five contiguous lots associated with Assessor Parcel Numbers 5139-022-003, 5139-022-004, 5139-022-020, 5139-022-006, and 5139-022-021 (the “Project Site”). The relatively flat Project Site is approximately 56,325 square feet (1.29 acres) in size and bound by a commercial industrial building to the north, an alleyway to the east, Pico Boulevard to the south, and Hope Street to the west (see Figure 2-1, Regional Vicinity and Project Location).

Regional access to the area of the Project Site is provided by the Santa Monica Freeway (I-10) via Olive Street approximately 0.23 miles to the south and the Harbor Freeway (SR-110) via 9<sup>th</sup> Street, approximately 0.6 miles to the northwest. Local access to the Project Site is provided via Hope Street and Pico Boulevard. The Los Angeles County Metropolitan Transportation Authority (“Metro”) and City of Los Angeles Department of Transportation (LADOT) provide regional light rail and local bus service in the Project Site area, respectively. The Pico Station serving the Metro light rail Blue and Expo lines is less than 500 feet west of the Project Site on Flower Street north of Pico Boulevard. In addition, Metro runs multiple bus lines, including local and rapid lines, along Pico Boulevard with stops at Grand Avenue, Flower Street, and Figueroa Street.

### 3.2.2 Existing Conditions

The Project Site comprises five (5) parcels along the southwest side of the block bounded by 12<sup>th</sup> Street to the north, Grand Avenue to the east, Pico Boulevard to the south, and Hope Street to the west. The Project Site is currently developed with two one-story and one two-story commercial industrial buildings fronting Hope Street built around 1918; the four-story Morrison Hotel, built in 1914 at the corner of Hope Street and Pico Boulevard; and an associated surface parking lot adjacent to the Morrison Hotel containing 32 parking spaces and comprised of approximately 56,325 square feet. The three commercial industrial buildings on the Project Site are currently used as office/warehouse buildings. The Morrison Hotel has 111 SRO units and has been unoccupied since 2008.<sup>2</sup> SurveyLA identified the Morrison Hotel as eligible for listing in the California Register and for designation as a Historic Cultural Monument (HCM). The survey found the Morrison Hotel to be significant as an “excellent example of a 1910s hotel in Downtown Los Angeles, exhibiting essential characteristics of the property type; reflects early patterns of commercial development in Los Angeles’ central business district. The building was immortalized on the album cover of The Doors’ 1970 album *Morrison Hotel*,”<sup>3</sup> but that the building does not retain sufficient integrity for listing in the National Register due to alterations, including storefront modifications and window infill.<sup>4</sup>

The Project Site has a General Plan land use designation of High Density Residential under the Central City Community Plan. The Los Angeles Municipal Code (LAMC) establishes the zoning for the Project Site as [Q]R5-4D-O, for High Density Residential in Height District 4 with “Q” Qualified Conditions and a “D” Development Limitation, pursuant to Ordinance No. 164307-SA3030, within an Oil Drilling Overlay.

Pursuant to LAMC § 12.21 A.18, uses permitted in the C2 zone are permitted on lots zoned R5 within the Central City Community Plan area. Thus, hotel, restaurant, retail, and multi-family dwelling unit developments are permitted uses within the R5 Zone.

The Q Condition on the Project Site limits the permitted uses to: (i) residential uses permitted in the R5 Zone; (ii) hotels, motels, and apartment hotels; (iii) parking buildings, provided such parking is accessory to the main use of the lot; (iv) any other uses permitted in the C4 Zone within buildings which were in existence on the lot upon the effective date of this ordinance; (v) any other use permitted in the C4 Zone provided the floor area ratio of such use does not exceed 2:1; and (vi) any other uses permitted in the C4 Zone

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<sup>2</sup> The Applicant intends to coordinate with the Community Redevelopment Agency of Los Angeles to provide replacement units on a one-to-one basis consistent with the Wiggins Settlement Agreement and Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas.

<sup>3</sup> Architectural Resources Group, "Historic Resources Survey Report: Central City Community Plan Area," SurveyLA Los Angeles Historic Resources Survey (City of Los Angeles Office of Historic Resources, May 2016), Appendix A: Individual Resources, page 69.

<sup>4</sup> Architectural Resources Group, "Historic Resources Survey Report: Central City Community Plan Area," SurveyLA Los Angeles Historic Resources Survey (City of Los Angeles Office of Historic Resources, May 2016), Appendix A: Individual Resources, page 69.

provided the development plan is approved by the City Planning Commission and California Redevelopment Agency.

The D Limitation on the site restricts the Floor Area Ratio (FAR) to 6:1 unless: (i) the project is approved under Section 512.4 for the transfer of floor area (TFAR) under the City Center Redevelopment Plan (“Redevelopment Plan”); (ii) the project is approved under Section 512.2 of the Redevelopment Plan for the rehabilitation and/or remodeling of existing buildings; or (iii) the project is approved pursuant to any TFAR procedure adopted by the City. Section 512.2 states that “[n]otwithstanding the maximum Floor Area Ratios [...] structures which existed in the Project Area prior to the adoption of this Plan may be expanded in size in connection with the rehabilitation or remodeling of such structures.” This Section further provides that if the existing structure has an FAR of less than 6:1, then the expansion is limited to no more than 25 percent above the maximum FAR, or 7.5:1.

The Project Site is also located in the Greater Downtown Housing Incentive Area (Zoning Information Bulletin (ZI) 2385), the Los Angeles State Enterprise Zone (ZI-2374), and the City Center Redevelopment Plan Project Area, the Adaptive Reuse Incentive Area (ARIA), Central City Parking District (CCPD), and the Downtown Business District (DBD).<sup>5</sup> Pursuant to ZI 2385, as part of the Greater Downtown Housing Incentive Area (GDHIA), the permissible density of the Project is unlimited.

The Project is located within a Transit Priority Area (TPA) pursuant to Senate Bill 743, due to its proximity to a “major transit stop” as defined in Public Resources Code Section 21064.3. SB 743 defines a TPA as an area within one-half mile of a major transit stop that is existing or planned. A major transit stop is a site containing a rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the AM and PM peak commute periods. An infill site refers to a lot located within an urban area that has been previously developed, or a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. As shown on Figure 2-2, Project Site and Transit Priority Area, the Project Site is within a TPA.<sup>6</sup>

### 3.2.3 Surrounding Land Uses

The Project Site is located in downtown Los Angeles, in an area that has been developed since the late 1800s. The Project Site has frontage along Hope Street and Pico Boulevard. The land uses within the general vicinity are characterized by a mix of low- to medium-intensity industrial, commercial, and residential uses, which vary widely in building style and period of construction. The surrounding properties include industrial, commercial

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<sup>5</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>6</sup> City of Los Angeles Department of City Planning, Zoning Information File ZA No. 2452, Transit Priority Areas (TPAs)/Exemptions to Aesthetics and Parking Within TPAs Pursuant to CEQA. Available at: <http://zimas.lacity.org/documents/zoneinfo/ZI2452.pdf>. Accessed April 4, 2019.

retail, residential, and surface parking lots. The properties in the surrounding area are zoned R5 and C2.

The Project Site is bound by a commercial industrial building to the north; an alleyway, mixed-use residential, commercial, and a surface parking to the east; Pico Boulevard and mixed-use residential to the south; and Hope Street, commercial industrial uses, and a surface parking to the west (see Figure 2-1, Regional Vicinity and Project Location).

For the street segments that abut the Project Site, Hope Street is classified as an Avenue II and Pico Boulevard is classified as an Avenue I in the City’s Mobility Plan 2035.

### 3.3 DESCRIPTION OF PROJECT

#### 3.3.1 Project Overview

The Project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot SRO hotel (“Phase I Existing”), the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (“Phase I Expansion”), and the new construction of approximately 273,106 square-foot, mixed-use hotel and residential building (“Phase II Hotel and Residential Tower”). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project would also include a 3,060 square-foot basement bar and lounge, 15,891 square feet of ground floor restaurant and retail space, 10,415 square feet of ground floor hotel and residential lobby space, 14,052 square feet of event and meeting room space, and 39,189 square feet of amenity spaces. The Project includes 215 parking spaces to be located within three subterranean levels. A Conceptual Site Plan is shown on Figure 2-3, Plot Plan, and floor plans are shown on Figures 2-4 through 2-21 and elevations are shown on Figures 2-22 through 2-25. Table 2-1, Project Demolition Summary, summarizes the land uses that would be demolished by the Project, and Table 2-2, Project Development Summary, summarizes the proposed land uses.

**Table 2-1  
Project Demolition Summary**

Address	Existing Land Use	APN	Amount
1220 South Hope Street	Commercial Industrial	5139022003	9,300 sf
1224 South Hope Street	Commercial Industrial	5139022004	7,750 sf
1240 South Hope Street	Commercial Industrial	5139022020	15,500 sf
427 West Pico Boulevard	Surface Parking Lot	5139022021	9,461sf
<i>sf = square feet</i> <i>Source: EcoTierra Consulting, May 2018.</i>			



**Table 2-2  
Project Development Summary**

Land Use	Size
<b>Hotel Rooms</b>	
Existing Hotel – Phase I (Adaptive Reuse)	69 rm
New Construction – Phase I Expansion	231 rm
New Construction – part of Phase II Hotel and Residential Tower	150 rm
<b>Total Hotel Rooms</b>	<b>450 rm</b>
<b>Residential Units - part of Phase II Hotel and Residential Tower</b>	
1 bedroom	60 du
2 bedrooms	72 du
3 bedrooms (Penthouse units)	3 du
<b>Total Residential Units</b>	<b>135 du</b>
<b>Provided Open Space</b>	
Common Open Space	11,450 sf
Recreation Room	2,167 sf
Private Open Space (Balconies)	3,750 sf
<b>Total Open Space</b>	<b>17,367 sf</b>
<b>Commercial and Amenity Space</b>	
Hotel Lobby	9,105 sf
Hotel Bar / Lounge	3,060 sf
Hotel Retail / Restaurant #1	7,466 sf
Hotel Restaurant #2	6,600 sf
Retail	1,825 sf
Residential Lobby	1,310 sf
Event/Ballroom	6,855 sf
Amenity Terrace (2 <sup>nd</sup> Floor, uncovered)	2,203 sf
Meeting Space (2 <sup>nd</sup> floor)	1,232 sf
Amenity (2 <sup>nd</sup> floor, covered)	7,806 sf
Amenity (3 <sup>rd</sup> floor, covered)	3,225 sf
Amenity Terrace (3 <sup>rd</sup> floor, uncovered)	6,267 sf
Meeting Space (13 <sup>th</sup> floor)	5,965 sf
Amenity Terrace (13 <sup>th</sup> floor, uncovered)	3,121 sf
Amenity Terrace (13 <sup>th</sup> floor, covered)	2,907 sf
Club Room	559 sf
Amenity Terrace (14 <sup>th</sup> floor, uncovered)	5,383 sf
Amenity Terrace (14 <sup>th</sup> floor, covered)	1,443 sf
Amenity Terrace (27 <sup>th</sup> floor, uncovered)	2,938 sf
Amenity Terrace (27 <sup>th</sup> floor, covered)	940 sf
Resident Lounge (27 <sup>th</sup> floor)	2,407 sf
<b>Total Commercial and Amenity Space (excluding rooms and units)</b>	<b>82,617 sf</b>
<i>du = dwelling units; rm = rooms; sf = square feet Source: Steinberg Architects, March 2019.</i>	

The Project's development of Phase I Existing, located at the southwestern portion of the Project Site, would adaptively reuse the existing four-story Morrison Hotel, with the hotel lobby fronting Hope Street, and approximately 6,600 square feet of ground floor restaurant

use at the corner of Hope Street and Pico Boulevard. Phase I Existing would also include a bar/lounge in the basement level along Hope Street and 69 hotel guest rooms on Levels 2 through 4. Phase I Existing would remain four stories overall with a maximum height of 52 feet above grade.

Phase I Expansion, located at the southeastern portion of the Project Site, would include 1,825 square feet of retail space along Pico Boulevard and provide 231 hotel guest rooms on Levels 2 through 12, meeting space on Level 13, and covered and uncovered amenity space with a pool on Level 14. Phase I Expansion would be 14 stories with a maximum height of 172 feet above grade.

Phase II Hotel and Residential Tower, located on the northern portion of the Project Site, would include 7,466 square feet of ground floor commercial restaurant and retail space along Hope Street. Phase II Hotel lobby entrance would front Hope Street and the residential lobby would be accessible along the internal vehicular driveway at the northern portion of the Project Site. Level 2 of the Phase II Hotel and Residential Tower would include an outdoor amenity terrace along Hope Street, event/meeting space, and hotel amenities. Levels 3 through 8 would include 150 hotel guest rooms, with an additional 3,225 square feet of amenity space located on Level 3. Levels 9 through 27 would include 135 residential units, with a terrace, pool, and club room located on Level 13 and a terrace, pool, and resident lounge provided on Level 27. The Phase II Hotel and Residential Tower would be 27 stories with a maximum height of 315 feet above grade.

A public paseo would provide mid-block pedestrian access from Hope Street to the existing alleyway and include outdoor seating and landscaping. The paseo would be open to the sky and connect the proposed outdoor dining areas with the indoor dining, retail, and lobby spaces. Vehicular access would be provided off of Hope Street and from the existing alley. Overall, the Project proposes a Floor Area Ratio (FAR) of 7.5:1.

The Project Applicant is requesting a Vesting Tentative Tract Map (VTT), Site Plan Review (SPR), Master Conditional Use Permit for Alcohol (MCUP), Conditional Use Permit for Live Entertainment (CUX), and a 20-percent reduction in required parking in conjunction with the Applicant's Conditional Use Permit requests. See Requested Permits and Approvals discussion below for more information regarding the discretionary requests that are part of the Project.

### **3.3.2 Design and Architecture**

The buildings in the area of the Project Site vary in age and architectural style. The Project would reuse and rehabilitate the existing Morrison Hotel, built in 1914, while expanding and constructing a new building on the block in a contemporary architectural style. As the Project is located within the South Park community of downtown Los Angeles, the Proposed Project buildings have been designed to be compatible with the urban nature of the existing community, which includes new and old industrial, residential, and general commercial uses in buildings varying from one level to skyscrapers. Conceptual renderings of the Project can be seen on Figures 2-26 and 2-27, Project Renderings, which include views of the Project in context with its surroundings.

Although the Project is comprised of two buildings, the articulation of each of the buildings serves to resemble multiple buildings with heights which step down toward Hope Street.

The Project includes an outdoor second floor deck along Hope Street and several green walls at varying levels. The design of the Project building facades alternates between different textures, colors, materials, and distinctive architectural treatments. See Figure 2-36, Exterior Materials, for various materials proposed for the Project exterior.

### **3.3.3 Open Space and Landscaping**

Based on the total number of residential units proposed, the Project is required to provide 15,525 square feet of open space pursuant to LAMC Section 12.21 G.2. The Project would meet this requirement by providing 11,450 square feet of outdoor common open space located on Level 1 (approximately 4,451 square feet of outdoor seating and landscaping), on Level 13 (approximately 3,121 square feet of outdoor terrace space with swimming pool and spa), and Level 27 (approximately 3,878 square feet of terrace space); 2,167 square feet of interior common open space via a recreation room located on Level 27; and 3,750 square feet of private residential balconies located on Levels 9 through 26, for a total of 17,367 square feet of usable open space as shown in Table 2-2, above, thereby exceeding LAMC requirements by approximately 1,841 square feet. Also refer to Figures 2-28 through 2-35 for Open Space Illustrations. The Project would provide up to approximately 25,202 square feet of amenity space (covered and uncovered) throughout levels 2, 3, 13, 14, and 27, inclusive of the aforementioned common open space. A public paseo would provide pedestrian mid-block access from Hope Street to the existing alleyway and include outdoor seating and landscaping. The paseo would be open to the sky and would connect the proposed outdoor dining areas with the indoor dining, retail, and lobby spaces.

The Project would be required to provide at least 34 trees and 2,863 square feet of landscaping. Currently, there are 10 street trees within the public right-of-way adjacent to the Project Site. These trees would be removed and replaced pursuant to the LAMC as part of the Project. In addition, the Project would comply with LAMC requirements for trees and landscaping.

### **3.3.4 Access, Circulation, and Parking**

Pedestrian access to the Project's various components would be provided by entry points on Pico Boulevard and Hope Street. Vehicular access into the shared three-level subterranean parking garage for the hotel, commercial, and residential uses would be available from the northern portion of the Project Site, with ingress at Hope Street, and ingress and egress at the northern portion of the alleyway.

The Project is located within the ARIA, CCPD, and the DBD. Pursuant to LAMC § 12.21 A.4(i), (p), and (x), parking for the Project shall be provided as shown in Table 2-3, Required Vehicle Parking for the Project.

**Table 2-3  
Required Vehicle Parking for the Project**

<b>Land Use</b>	<b>Size</b>	<b>Parking Ratio</b>	<b>Parking Required</b>
<b>Phase I Existing</b>			
Guest Rooms (SRO)	69	No Parking Required per LAMC § 12.21 A.4(x)	None
Basement Restaurant Ground Floor Restaurant			
<b>Phase I Expansion</b>			
Guest Rooms	231 rooms	1 space per 2 guest rooms, first 20 guest rooms 1 space per 4 guest rooms, second 20 guest rooms 1 space per 6 guest rooms, all remaining guest rooms	47 spaces
Retail	1,825 sf	1 space per 1,000 sf	2 spaces
Roof Deck (covered)	1,433 sf	1 space per 1,000 sf	1 space
Meeting Space	5,965 sf	1 space per 1,000 sf	6 spaces
<b>Phase II Hotel and Residential</b>			
Guest Rooms	150 rooms	1 space per 2 guest rooms, first 20 guest rooms 1 space per 4 guest rooms, second 20 guest rooms 1 space per 6 guest rooms, all remaining guest rooms	33 spaces
Dwelling Units	1 Bedroom: 60 units	1 space per dwelling unit less than three habitable rooms	60 spaces
	2 Bedroom: 72 units 3 Bedroom: 3 units	1.25 space per dwelling unit equal to or greater than three habitable rooms	94 spaces
Amenity Space/Club Room	14,497 sf	1 space per 1,000 sf	14 spaces
Restaurant / Retail	7,466 sf	1 space per 1,000 sf	7 spaces
Ballroom / Event Space	6,855 sf	1 space per 100 sf	69 spaces
Meeting Space	1,232 sf	1 space per 1,000 sf	1 space
<b>Total Required Parking</b>			<b>334</b>
sf = square feet			

The Applicant is requesting a 20-percent reduction in required vehicle parking in conjunction with the request for other conditional use approvals, subject to LAMC § 12.24 S. Thus, upon approval of the Conditional Use, the total parking required may be reduced by 67 spaces, or a new total of 267 spaces for all uses.

Pursuant to LAMC § 12.21 A.16(c), buildings undergoing a change of use shall not be required to provide bicycle parking spaces. Therefore, the Existing Hotel portion of the Project is not required to provide bicycle parking spaces. Bicycle parking for the Phase I Expansion and Phase II Hotel and Residential Tower, however, shall be provided pursuant to LAMC § 12.21 A.16, as shown below in Table 2-4, Bicycle Parking Required by the Project.

**Table 2-4  
Bicycle Parking Required by the Project**

<b>Use</b>	<b>Size</b>	<b>Parking Ratio</b>	<b>Parking Required<sup>a</sup></b>
<b>Commercial</b>			
Amenity Space/Club Room	14,497 sf	1 ST per 10,000 SF 1 LT per 10,000 SF	2 ST 2 LT
Restaurant/Retail	10,724 sf	1 ST per 2,000 SF 1 LT per 2,000 SF	5 ST 5 LT
Meeting Space	7,197 sf	1 ST per 10,000 SF 1 LT per 10,000 SF	2 ST 2 LT
Ballroom	6,855 sf	1 ST per 350 SF 1 LT per 700 SF	20 ST 10 LT
<b>Residential</b>			
Guest Rooms	381 guest rooms	1 ST per 10 guest rooms 1 LT per 10 guest rooms	38 ST 38 LT
Dwelling Units (135 units total)	1-25 du	1 ST per 10 dwelling units 1 LT per 1 dwelling unit	2 ST 25 LT
	26-100 du	1 ST per 15 dwelling units 1 LT per 1.5 dwelling units	5 ST 50 LT
	101-135 du	1 ST per 20 dwelling units 1 LT per 2 dwelling units	2 ST 17 LT
Subtotal ST Required Subtotal LT Required <b>Subtotal Bicycle Parking Required (combined)</b>			76 ST 149 LT <b>225 spaces total</b>
<p>a Some values have been rounded as appropriate to reflect LAMC minimums (e.g., minimum of 2 short- and 2 long-term bicycle parking spaces for commercial uses) as well as fractions up to and including 0.5 have been rounded down per LAMC Section 12.21 A.16(b).</p> <p>ST= short term bicycle parking LT = long term bicycle parking</p>			

Further, the Applicant is also requesting to replace vehicle parking spaces with bicycle parking spaces, pursuant to LAMC § 12.21 A.4, up to a maximum of 30 percent for non-residential uses, and 15 percent for residential uses. The Project is required to provide 100 parking spaces for non-residential uses, and 234 parking spaces for residential uses. Thus, 24 parking spaces for non-residential uses, and 28 parking spaces for residential uses (total of 52 parking spaces) may be replaced with bicycle parking.

In conjunction with the maximum permitted bicycle replacement per the LAMC, the resulting number of required vehicle parking spaces would be 215 parking spaces. As shown in Table 2-5, Vehicle Parking Provided by the Project, the Project would provide 215 vehicular parking spaces.

**Table 2-5  
Vehicle Parking Provided by the Project**

<b>Land Use</b>	<b>Code-Required Parking</b>	<b>20% Reduction</b>	<b>Revised Parking Subtotal</b>	<b>Bicycle Replacement</b>	<b>Revised Parking Total</b>
Non-Residential	100 spaces	-20 spaces (20%)	80 spaces	-24 spaces (30%)	56
Residential	234 spaces	-47 spaces (20%)	187 spaces	-28 spaces (15%)	159
<b>Total Required</b>	334 spaces	-67 spaces	267 spaces	-52 spaces	<b>215 spaces</b>

Exclusive of the Phase I Existing, the Project consists of a total of 39,273 square feet of commercial space, 381 guest rooms, and 135 dwelling units. As shown above, the Project is required to provide 76 short-term bicycle parking spaces and 149 long-term bicycle parking spaces, for a total of 225 bicycle parking spaces.

As described above in Table 2-4, the Project would replace 52 vehicle parking spaces with bicycle parking spaces at a ratio of four bicycle parking spaces for every vehicle parking space, pursuant to LAMC § 12.21 A.4. At 52 parking spaces, the Project is required to provide a total of 208 bicycle parking spaces to satisfy the replacement of 52 parking spaces. Thus, as the Project would provide 225 Code-required bicycle parking spaces, no additional bicycle parking spaces are required.

### **3.3.5 Lighting and Signage**

New Project signage would be used for building identification, wayfinding, and security markings. Exterior lights would be wall- or ground-mounted and shielded away from adjacent land uses. Building security lighting would be used at all entry/exits and would remain on from dusk to dawn, and would be designed to prevent light trespass onto adjacent properties. Signage for the commercial uses would be in conformance with the LAMC.

### **3.3.6 Site Security**

Given the residential and hotel uses on the Project Site, the Project would operate 24 hours per day. Business hours for commercial operations would likely be within the range of 6:00 AM to 2:00 AM, depending on the requirements of the individual commercial use. The Project would provide security features including, but not limited to, controlled access to residential and hotel areas, and video surveillance.

### **3.3.7 Sustainability Features**

The Project would be compliant with the Los Angeles Green Building code and California Energy/Title 24 requirements, and would include, but not be limited to, the following features:

- Energy efficient elevator;
- Low-flow faucets, shower heads, and toilets;
- Energy efficient mechanical systems;
- Energy efficient glazing and window frames; and
- Energy efficient lighting.

Moreover, in accordance with CEQA Guidelines Appendix F, the Project's Environmental Impact Report will provide further information as to energy conservation, energy implications, and the energy-consuming equipment and processes that would be used during Project construction and operation. Design features of the Project, energy supplies that would serve the Project, and total estimated daily vehicle trips that would be generated by the Project will also be analyzed. An analysis of the Project's consistency with Appendix F will be provided in the EIR.

The Project's open space would include street trees and outdoor amenity terraces, available for both public and private use. The Project will comply with the City's requirements for tree planting to enhance the outdoor environment.

### **3.3.8 Anticipated Construction Schedule**

The Project would be constructed over approximately 36 months. Construction activities would include the demolition of the existing buildings at 1220, 1224, and 1240 Hope Street and removal of the existing surface parking lot, and two phases of grading, excavation, and building construction for the Phase I Expansion and the Phase II Hotel and Residential Tower. Demolition activities are anticipated to start in 2020, and construction completion and building occupancy is anticipated in 2023.

The grading, construction, and finishing of the Project would take place in two, two-year phases. Phase 1 involves the Phase I Existing and Phase I Expansion and would include grading (one month), demolition and preparation (three months), construction (16 months), and finishing (four months). Phase 2 involves the Phase II Hotel and Residential Tower and would include grading (four months), construction (16 months), and finishing (four months). The two phases would overlap for one year.

The Project is estimated to require a net export of approximately 45,900 cubic yards of soil. Exported materials would likely be disposed at Sunshine Canyon Landfill in Sylmar. The Project's haul route would be considered by the City as part of its review of the Project's entitlement requests.

## **3.4 REQUESTED PERMITS AND APPROVALS**

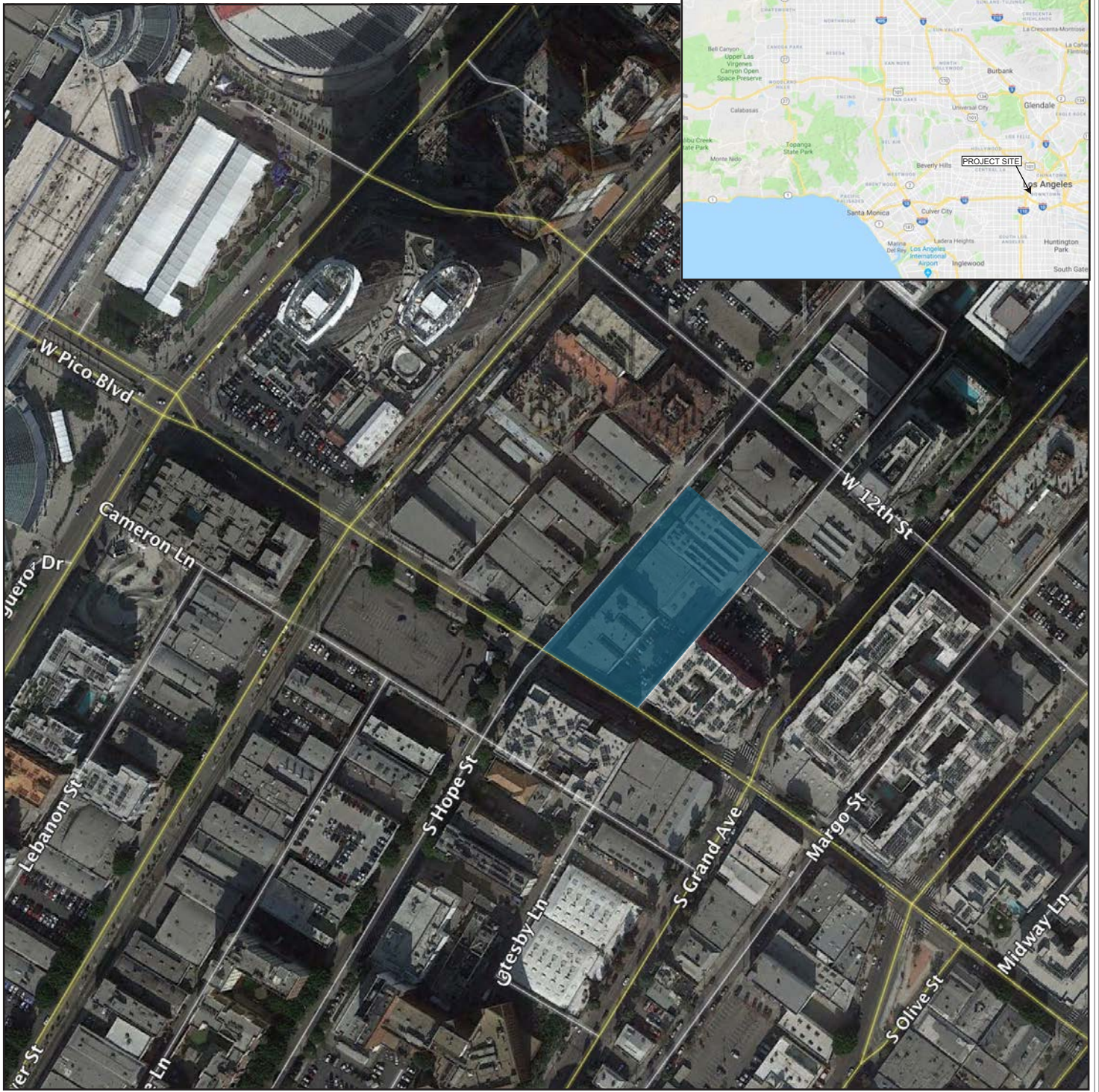
The list below includes the anticipated requests for approval of the Project. The Environmental Impact Report will analyze impacts associated with the Project and will provide environmental review sufficient for all necessary entitlements and public agency actions associated with the Project. The discretionary entitlements, reviews, permits, and approvals required to implement the Project include, but are not necessarily limited to, the following:

- (1) Pursuant to LAMC Section 17.15, a Vesting Tentative Tract (VTT) for the merger of lots and the subdivision of airspace for condominium purposes; a waiver of the dedication requirement for Pico Boulevard and Hope Street to permit the continued maintenance of the 12-foot wide sidewalk and existing street wall on said streets in lieu of the required dedications to the public right-of-way; and a haul route approval;
- (2) Pursuant to LAMC Section 12.24 W.1, a Master Conditional Use Permit (MCUP) to permit the sale of alcoholic beverages for on-site consumption within: (1) the basement

bar and lounge; (2) the two ground-floor restaurants; and (3) throughout the hotel, including in-room mini-bars and on rooftop amenity decks;

- (3) Pursuant to LAMC Section 12.24 W.18, a Conditional Use Permit for Live Entertainment (CUX) to permit dancing and live-entertainment in the bar/lounge, restaurant and hotel uses;
- (4) Pursuant to LAMC Section 12.24 S, a request for a 20-percent reduction in required vehicle parking in conjunction with the request for other Conditional Use approvals;
- (5) Pursuant to LAMC Section 16.05 E, Site Plan Review (SPR) to permit the development consisting of more than 50 residential units and guest rooms;
- (6) Any other permits or approvals by other City agencies regarding findings of consistency with the City Center Redevelopment Plan; and
- (7) Other discretionary and ministerial permits and approvals that may be deemed necessary, including, but not limited to, temporary street closure permits, grading permits, excavation permits, foundation permits, building permits, and sign permits in order to execute and implement the Project.



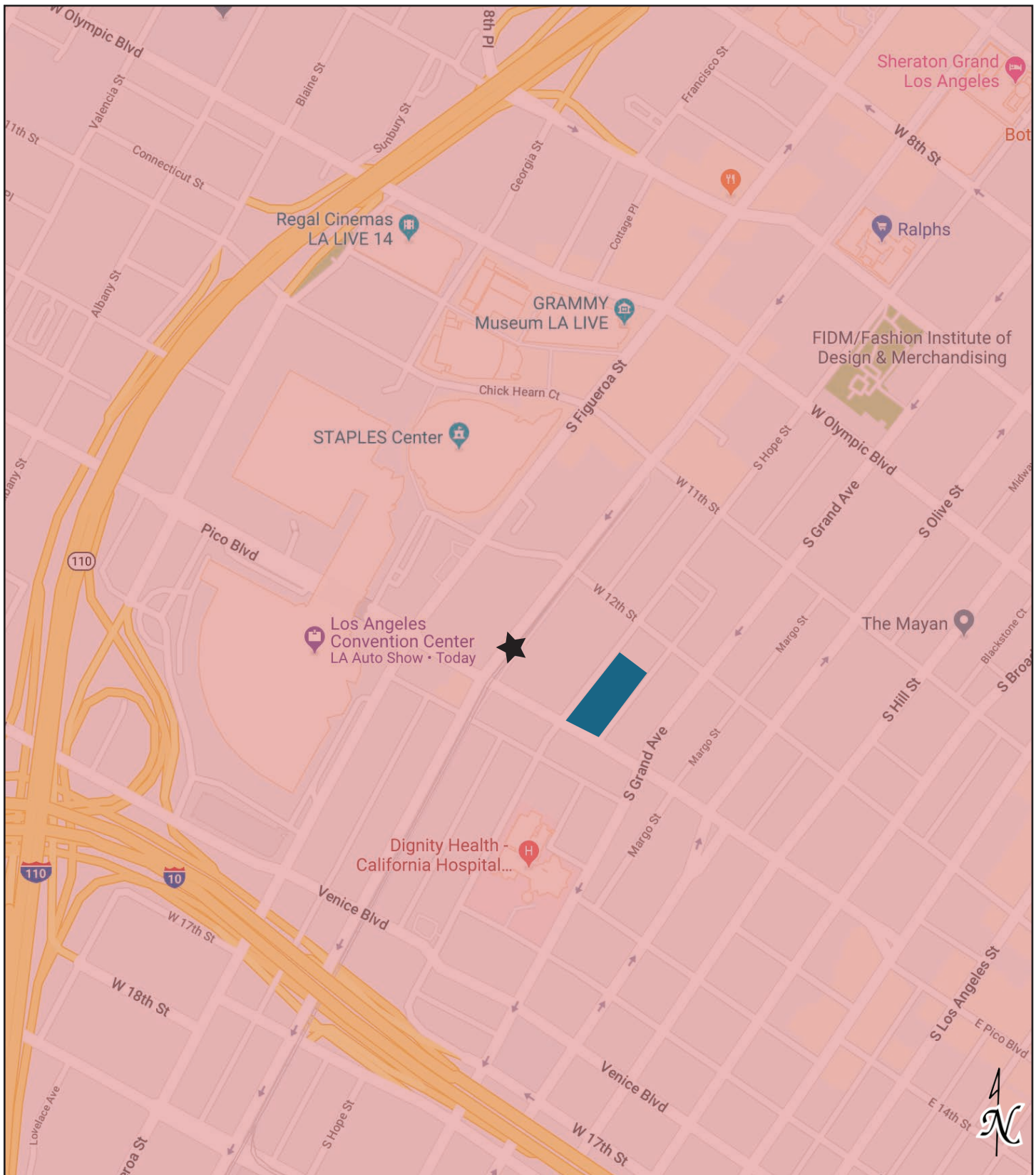


 Project Site  
Source: GoogleEarth, August 2018.



Figure 2-1  
Regional Vicinity and Project Location Map



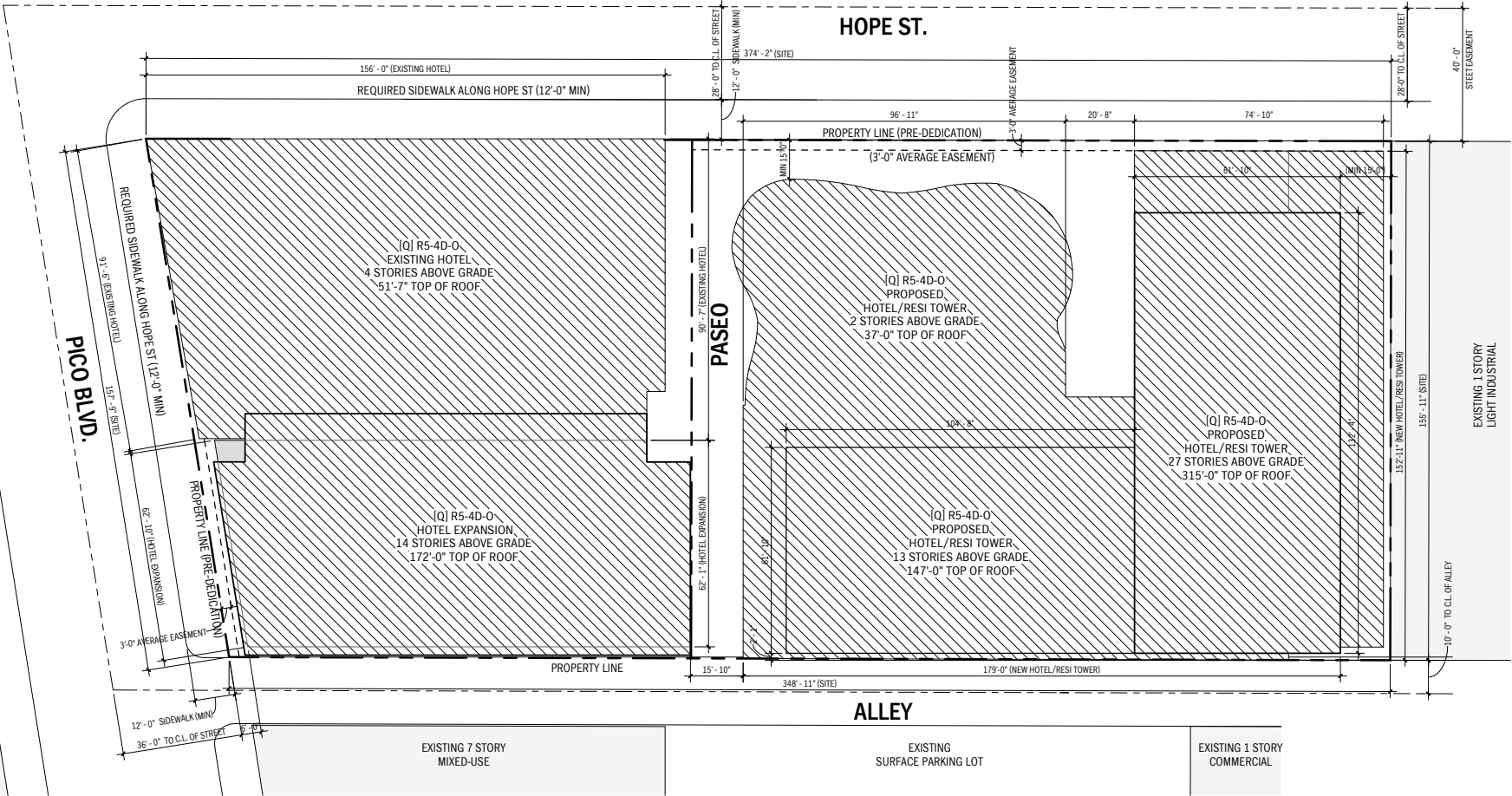


- Project Site
- Transit Priority Area
- Metro Pico Station

Source: Google Maps, December 2018.

Figure 2-2  
Project Site and Transit Priority Area

EXISTING 1 STORY COMMERCIAL	EXISTING 1 STORY LIGHT INDUSTRIAL	EXISTING 1 STORY LIGHT INDUSTRIAL	EXISTING SURFACE PARKING LOT	EXISTING 1 STORY COMMERCIAL	EXISTING SURFACE PARKING LOT	EXISTING 1 STORY LIGHT INDUSTRIAL		
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Source: Steinberg Hart, July 2018.



Figure 2-3  
Plot Plan



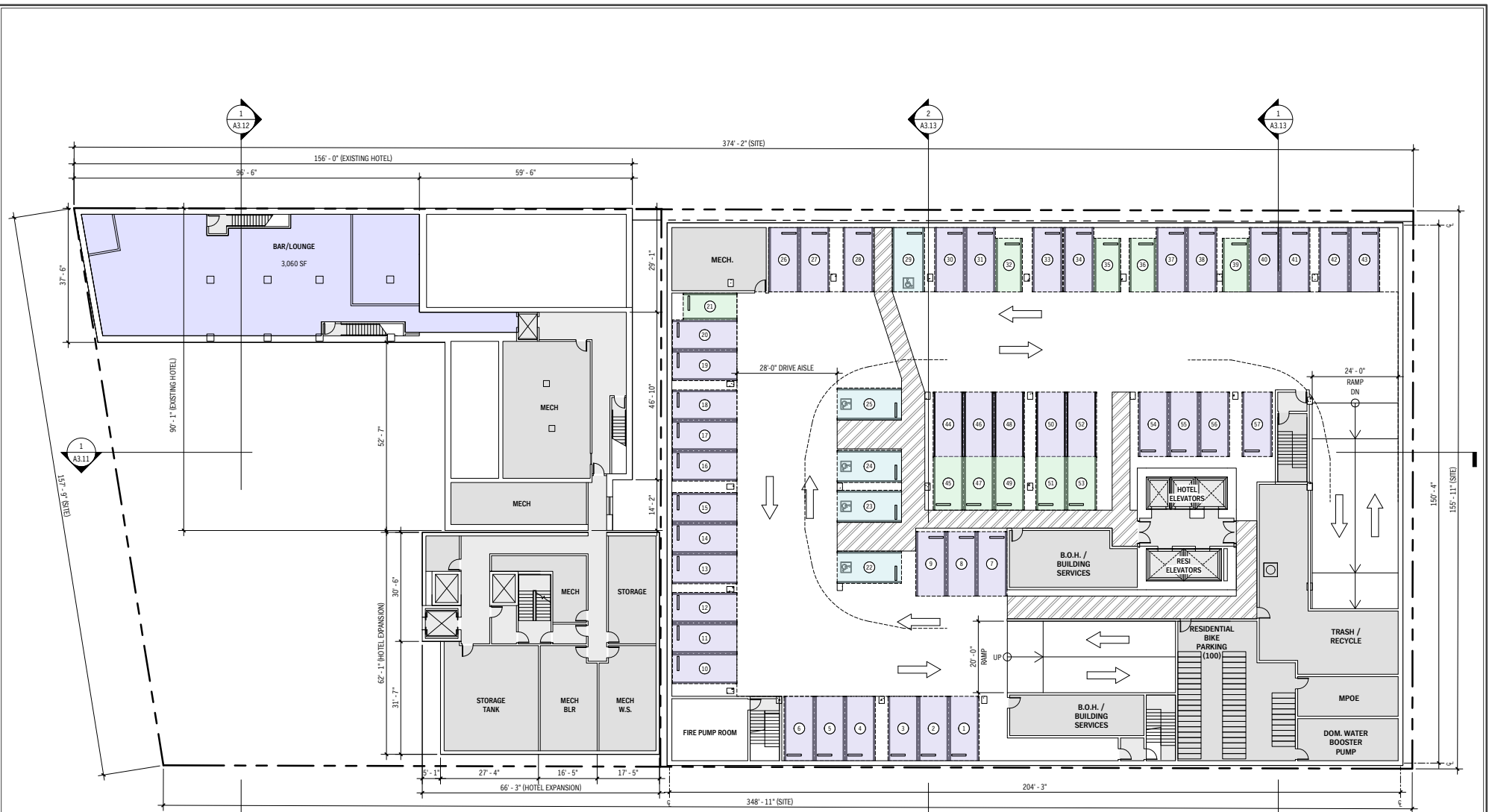
Source: Steinberg Hart, July 2018.

Figure 2-4  
Floor Plan – Level B3



Source: Steinberg Hart, July 2018.

Figure 2-5  
Floor Plan – Level B2



- STANDARD (42 SPACES)
- COMPACT (10 SPACES)
- ACCESSIBLE (5 SPACES)

Source: Steinberg Hart, July 2018.



Figure 2-6  
Floor Plan – Level B1







Source: Steingart Hart, December 2018.

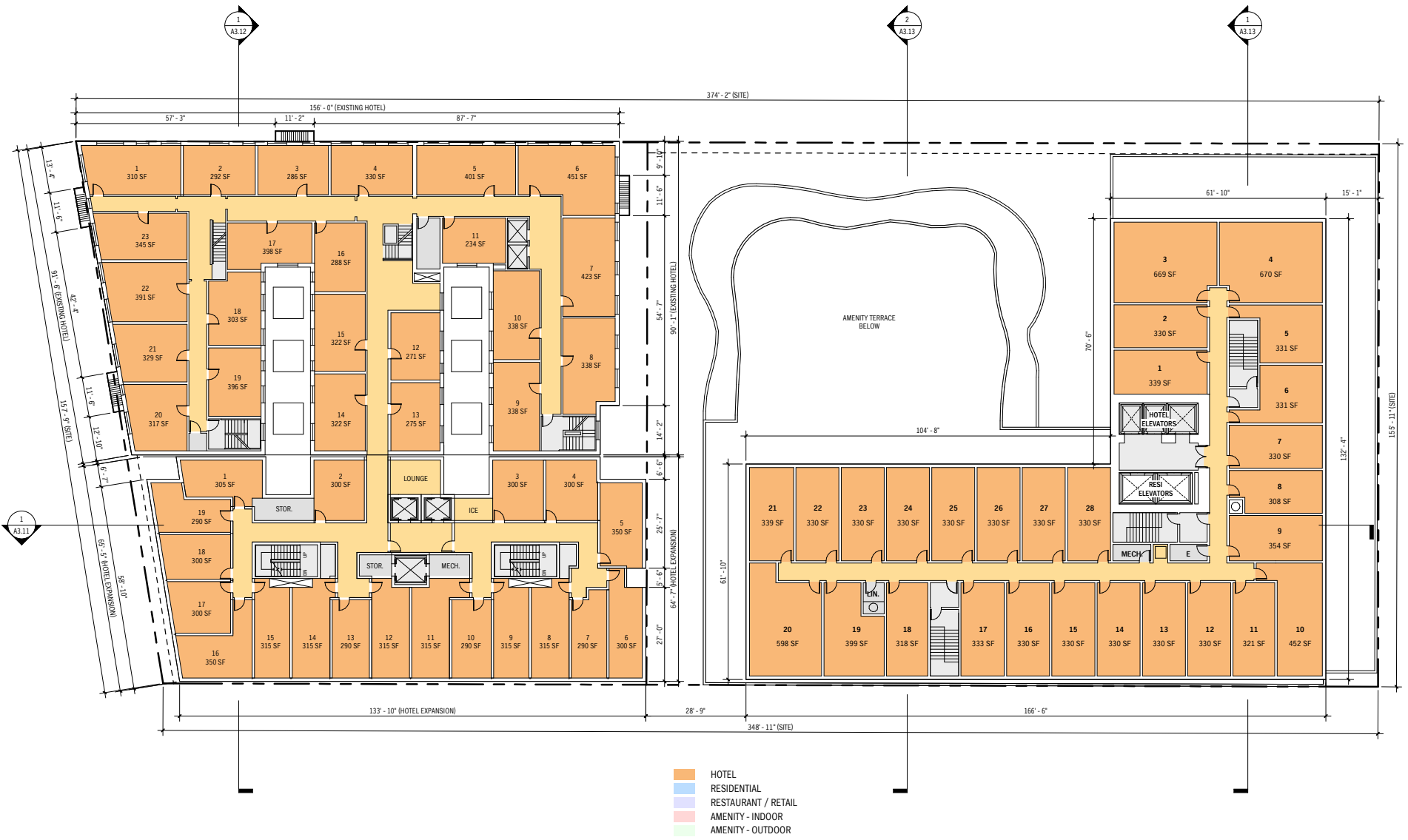
Figure 2-8  
Floor Plan - Level 2





Source: Steinberg Hart, December 2018.

Figure 2-9  
Floor Plan - Level 3



Source: Steingart Hart, December 2018.

Figure 2-10  
Floor Plan – Level 4



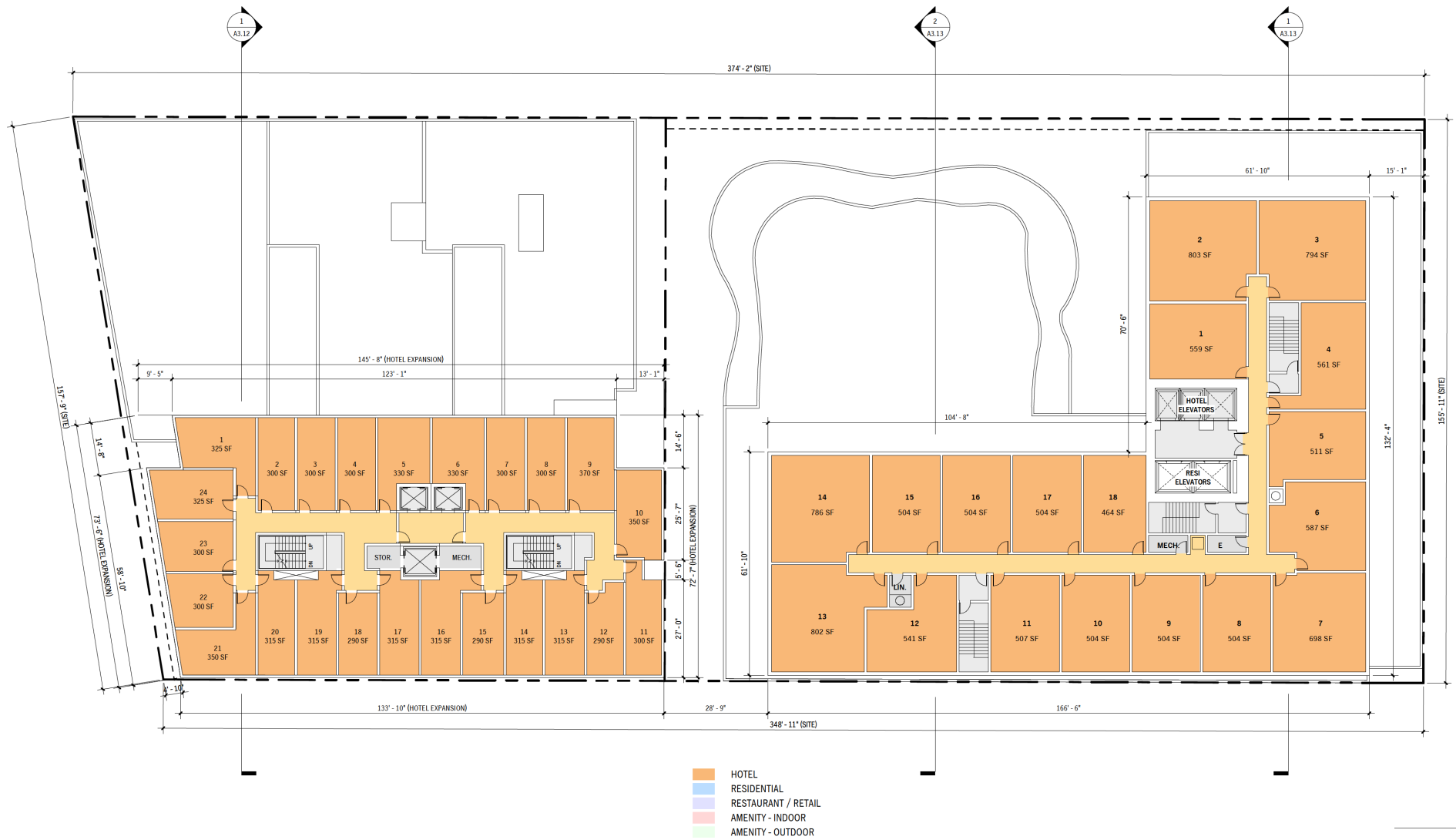
Source: Steinberg Hart, December 2018.

Figure 2-11  
Floor Plan – Levels 5 & 6



Source: Steingberg Hart, December 2018.

Figure 2-12  
Floor Plan – Level 7



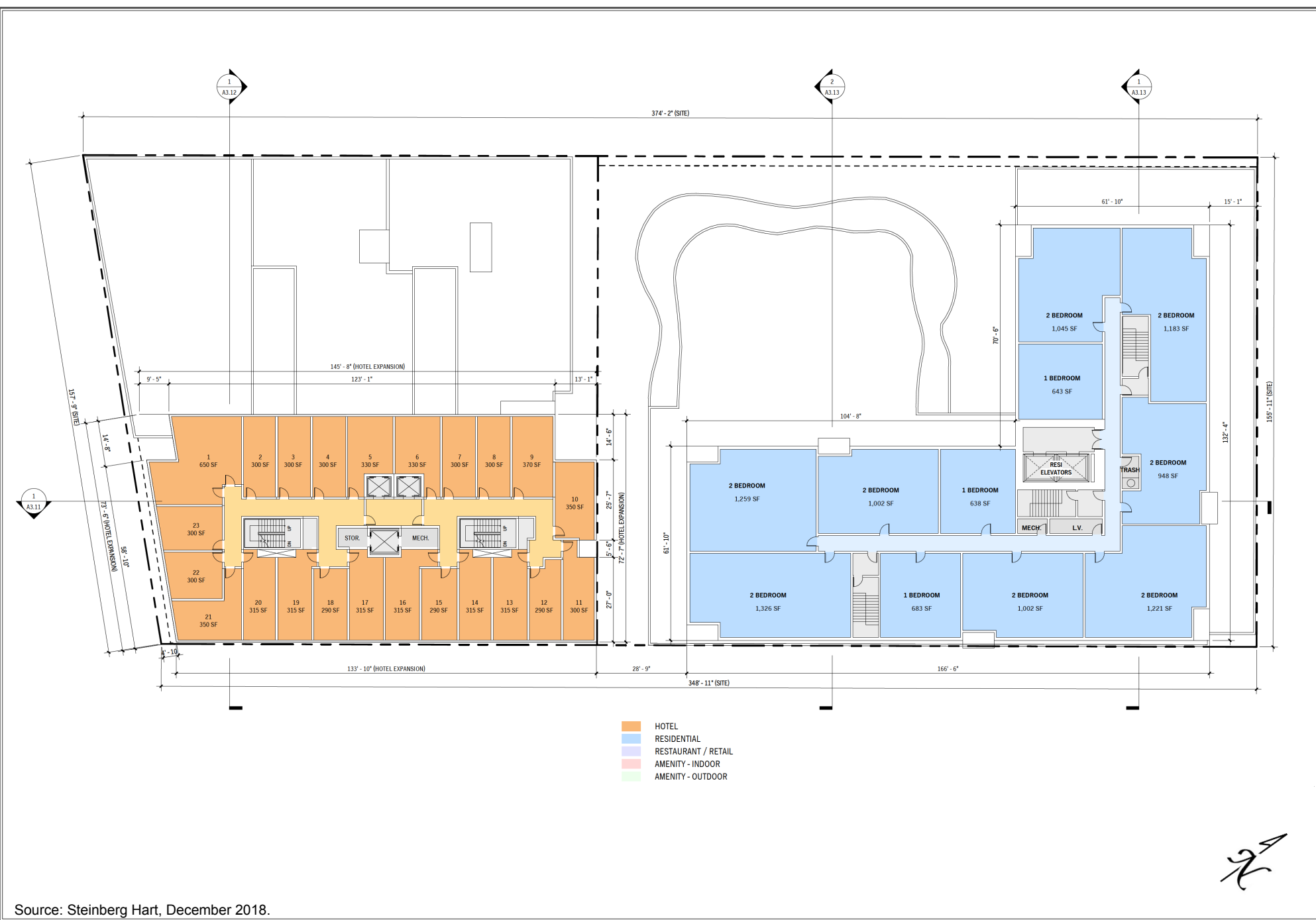
Source: Steingberg Hart, December 2018.

Figure 2-13  
Floor Plan - Level 8



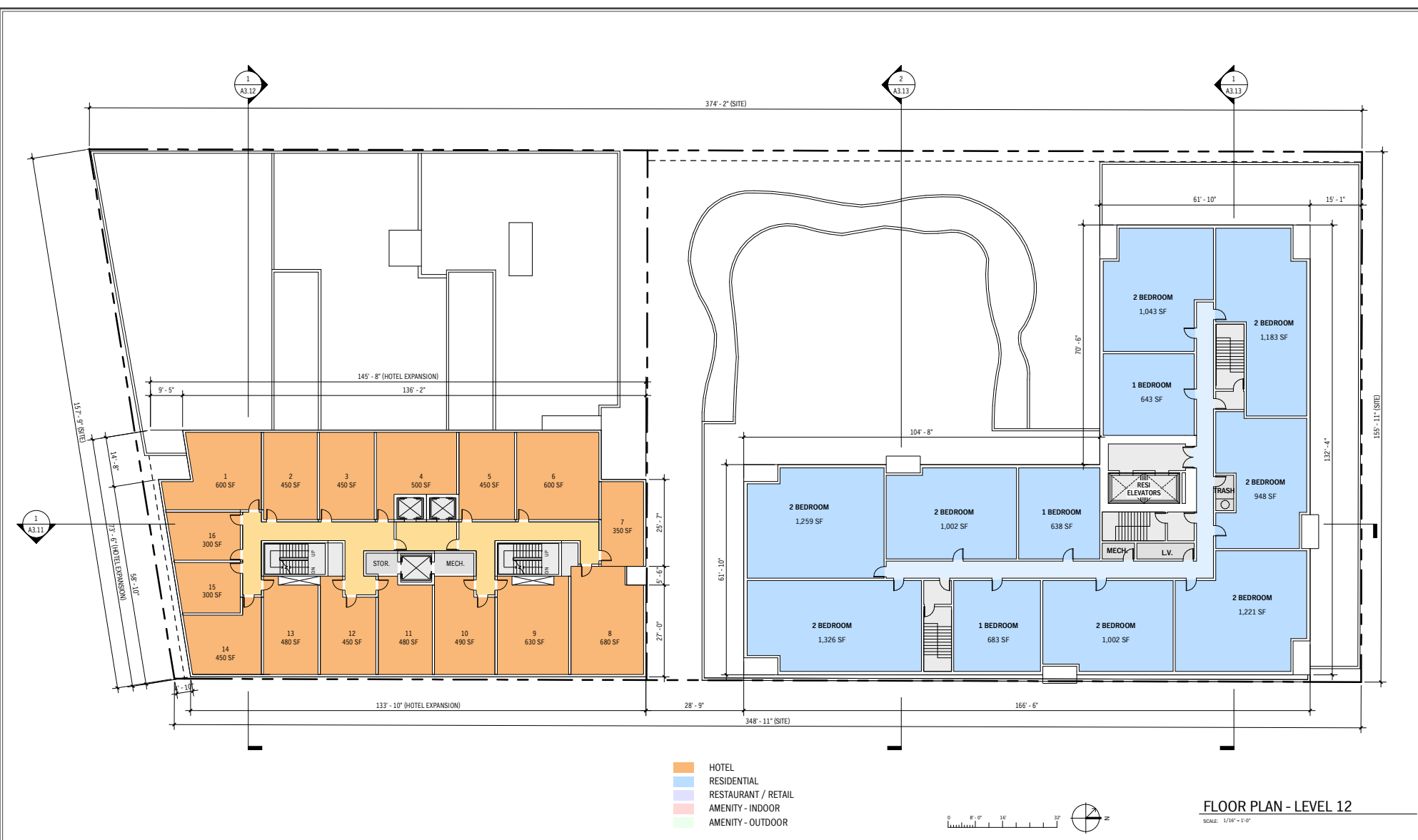
Source: Steingberg Hart, December 2018.

Figure 2-14  
Floor Plan – Level 9



Source: Steinberg Hart, December 2018.

Figure 2-15  
Floor Plan – Levels 10 & 11



- HOTEL
- RESIDENTIAL
- RESTAURANT / RETAIL
- AMENITY - INDOOR
- AMENITY - OUTDOOR



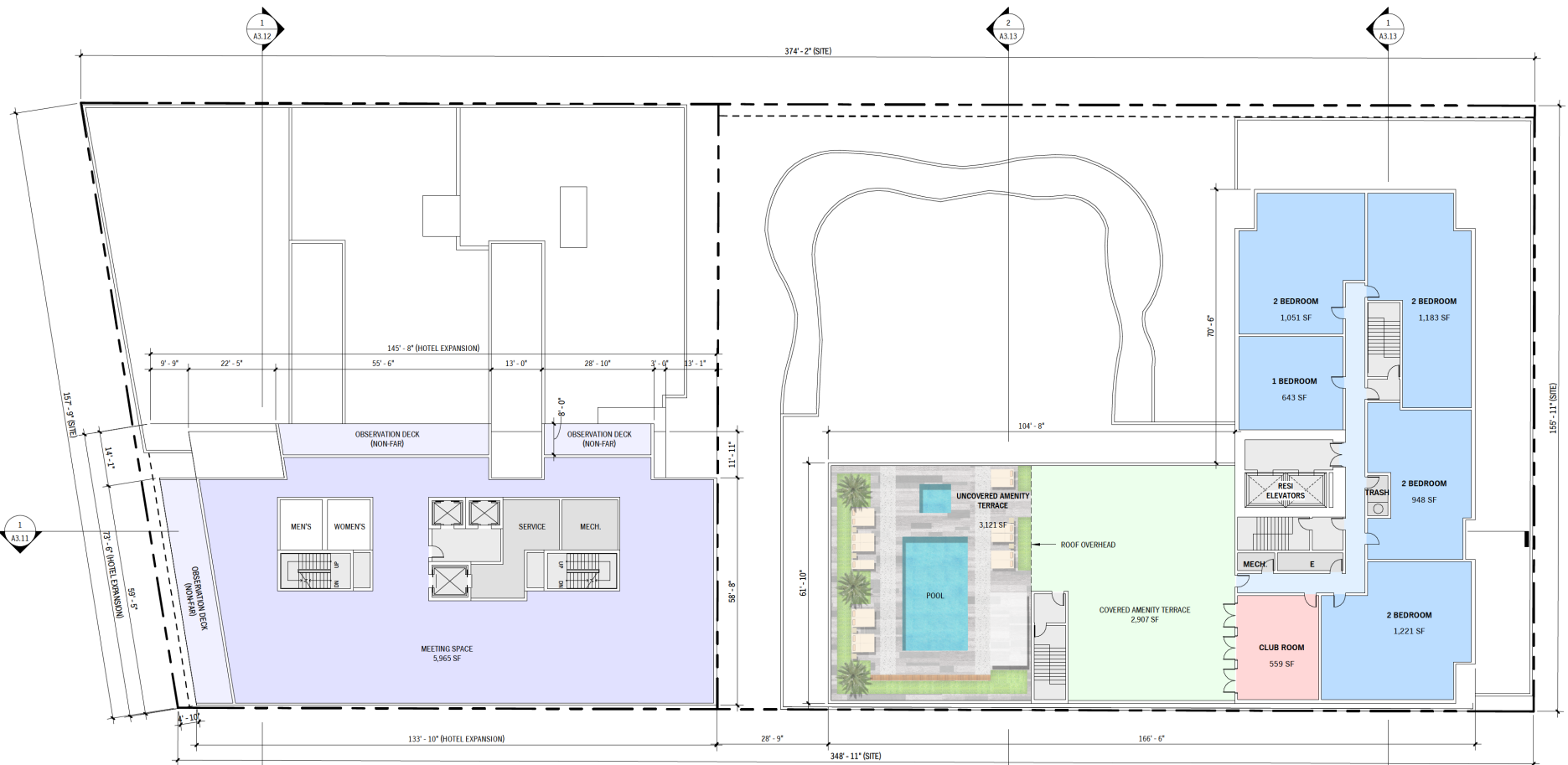
**FLOOR PLAN - LEVEL 12**  
SCALE: 1/16" = 1'-0"

Source: Steinberg Hart, December 2018.



**Figure 2-16**  
**Floor Plan - Level 12**



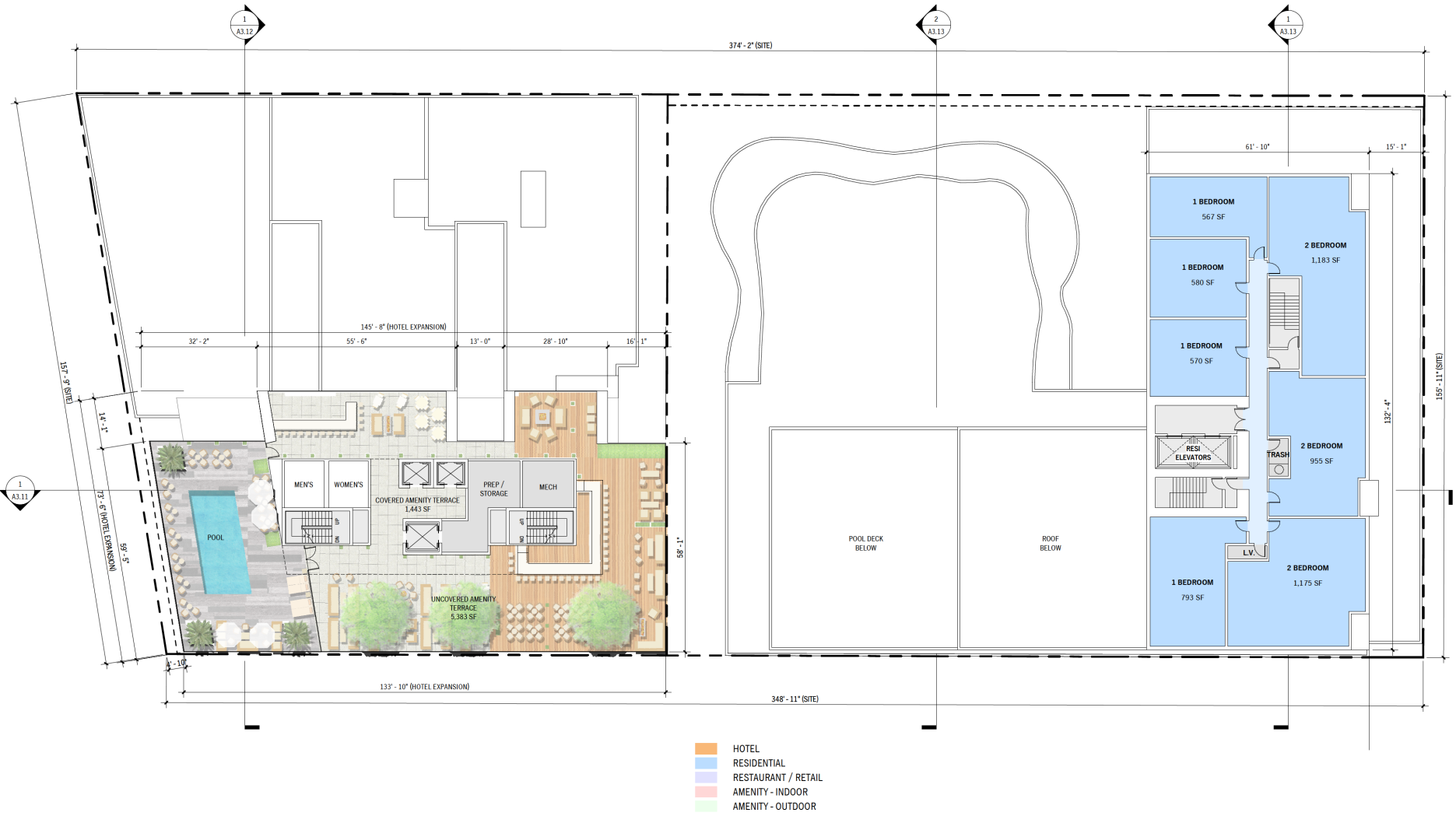


- HOTEL
- RESIDENTIAL
- RESTAURANT / RETAIL
- AMENITY - INDOOR
- AMENITY - OUTDOOR

Source: Steinberg Hart, December 2018.

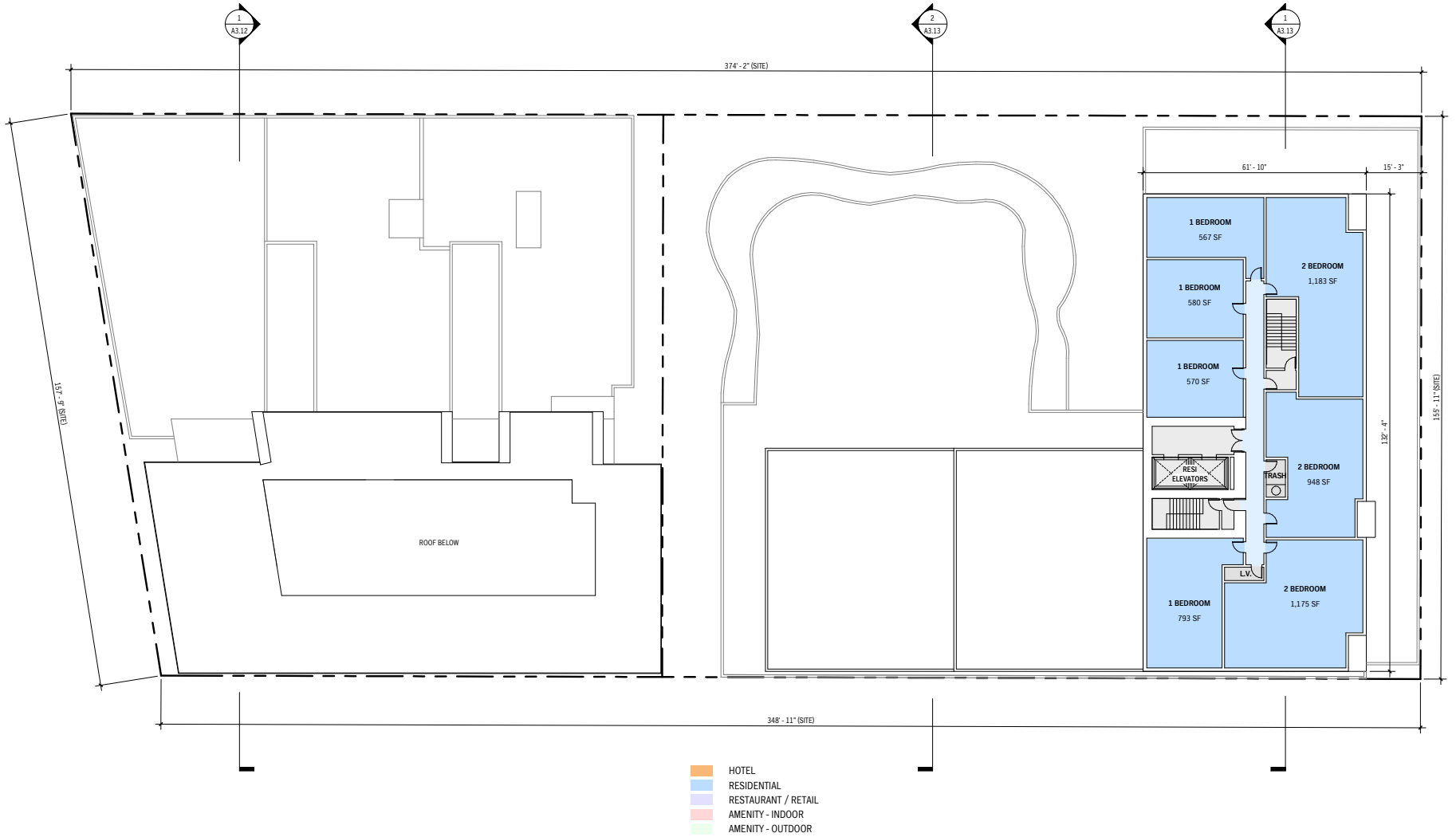


Figure 2-17  
Floor Plan – Level 13



Source: Steingberg Hart, December 2018.

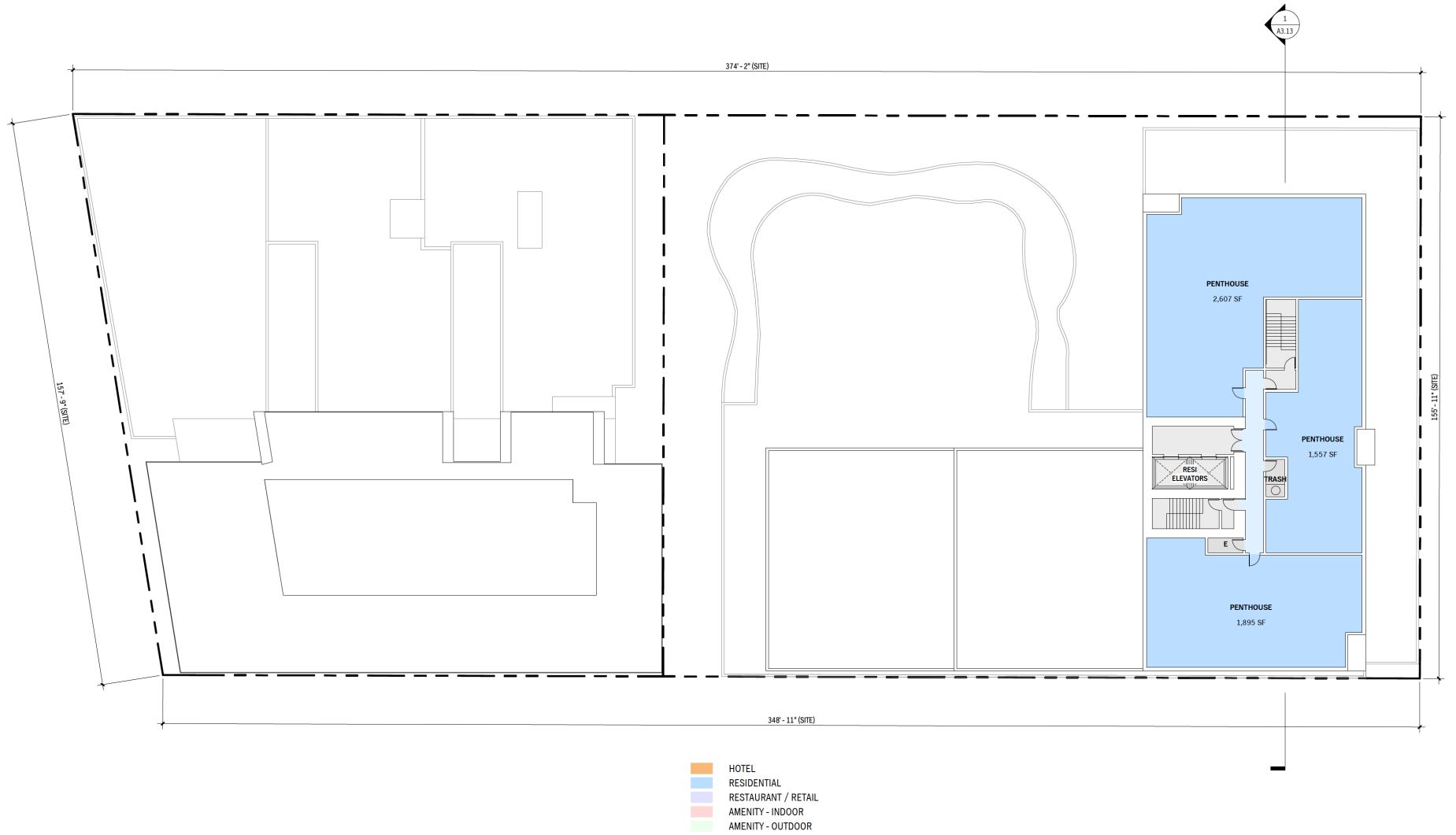
Figure 2-18  
Floor Plan – Levels 14



Source: Steinberg Hart, December 2018.



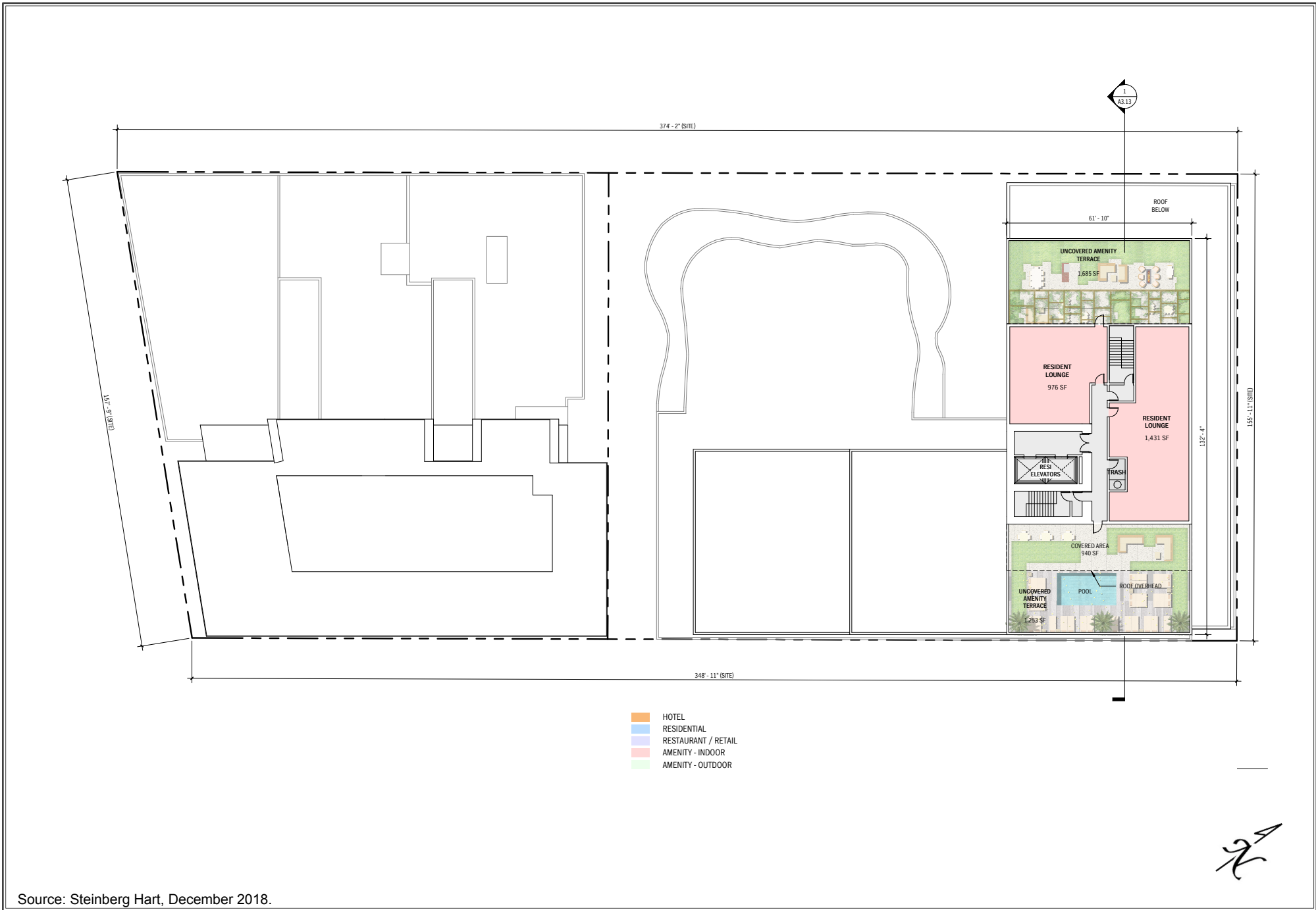
Figure 2-19  
Floor Plan – Levels 15-25



Source: Steinberg Hart, December 2018.



Figure 2-20  
Floor Plan – Level 26



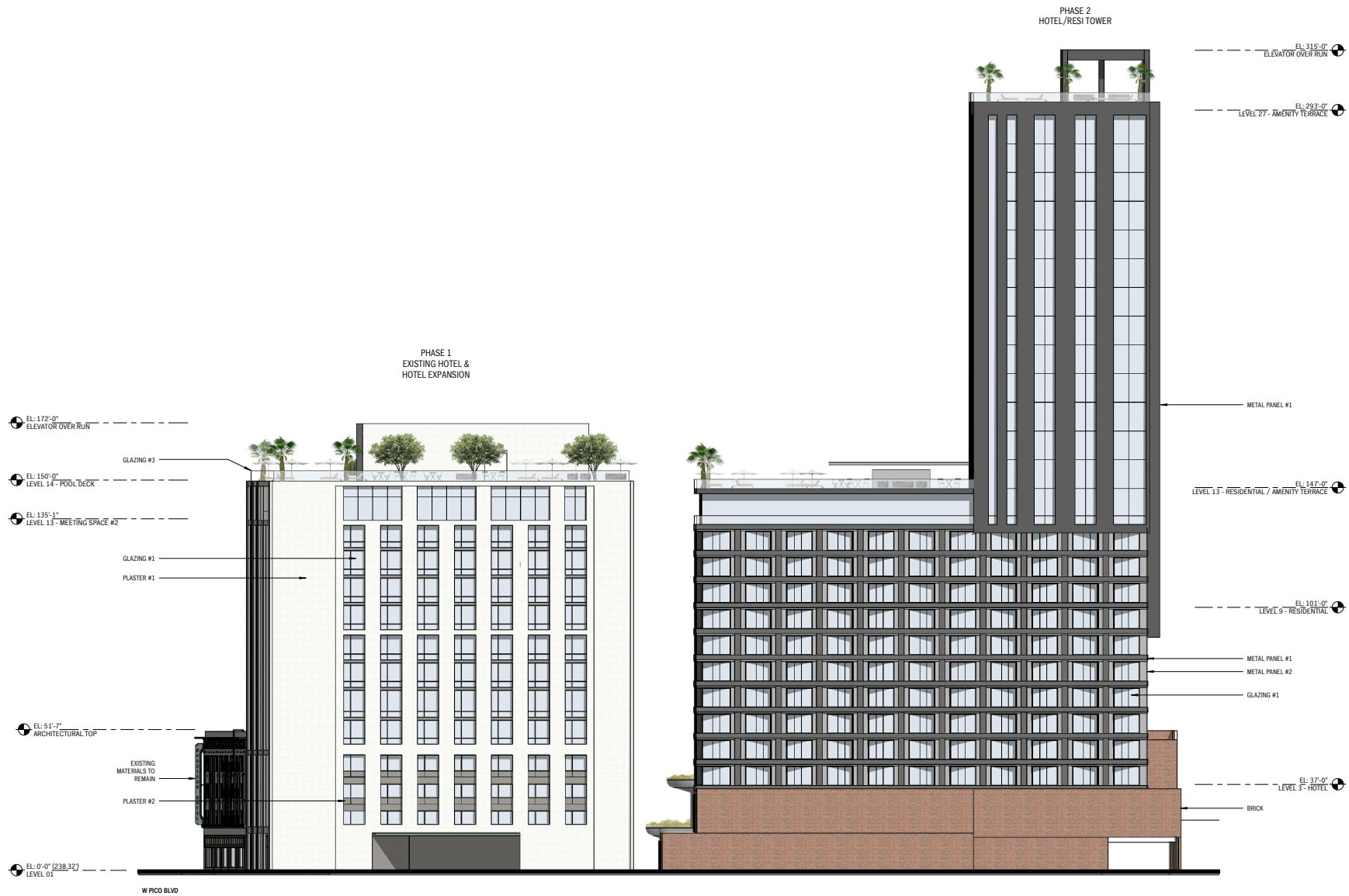
Source: Steinberg Hart, December 2018.

Figure 2-21  
Floor Plan – Level 27



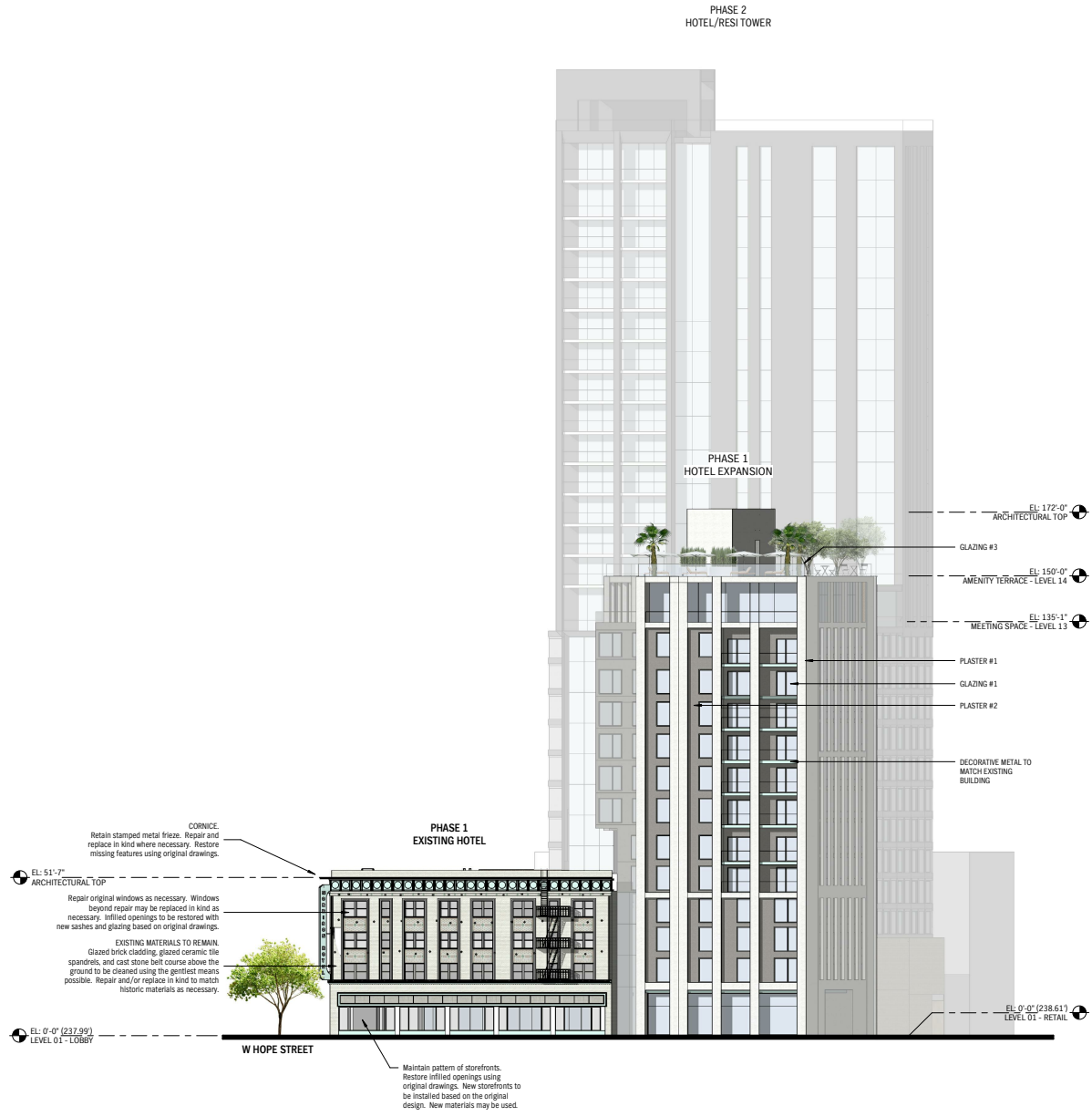
Source: Steinberg Hart, December 2018.

Figure 2-22  
West Elevation



Source: Steinberg Hart, December 2018.

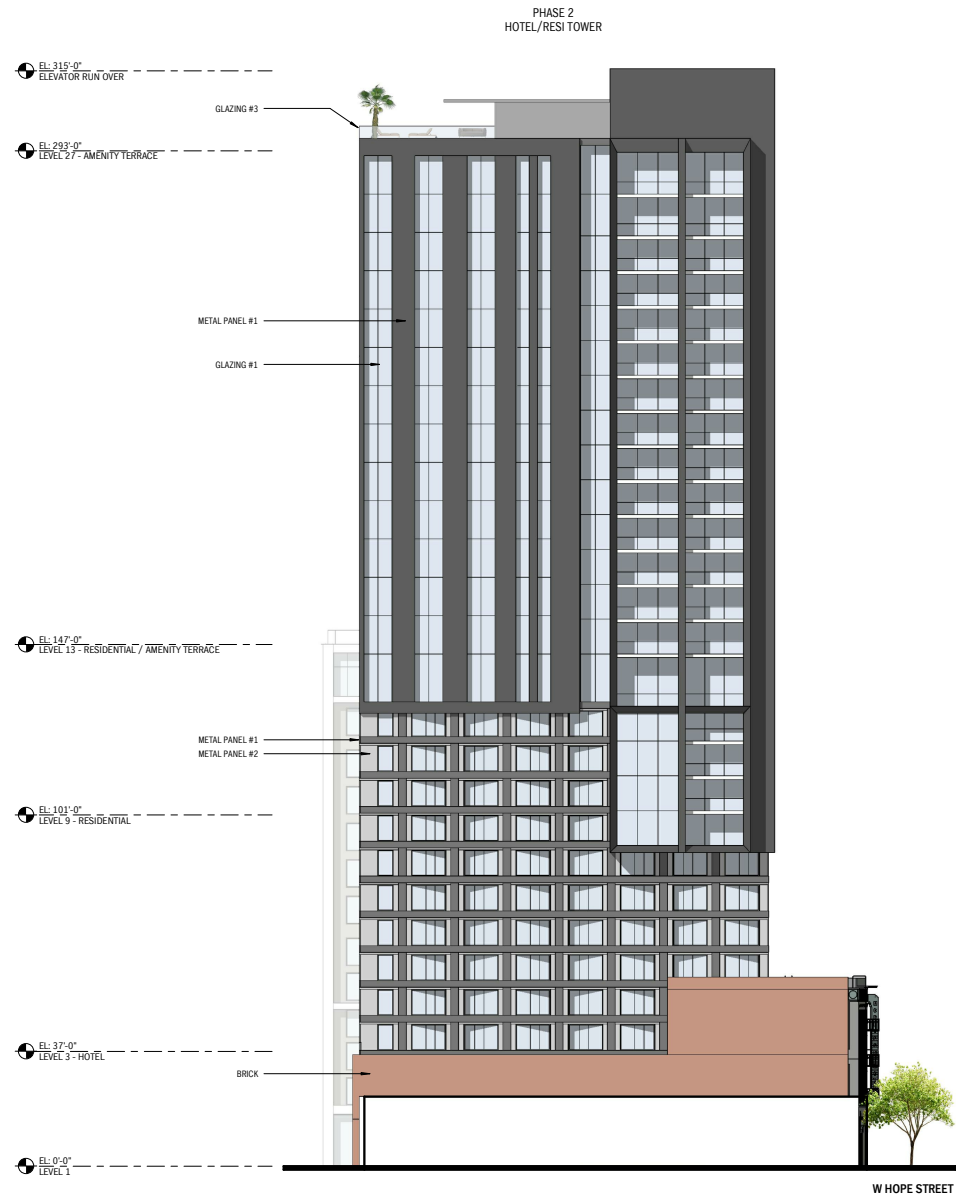
Figure 2-23  
East Elevation



Source: Steinberg Hart, December 2018.

Figure 2-24  
North Elevation





Source: Steinberg Hart, December 2018.

Figure 2-25  
South Elevation



Source: Steinberg Hart, July 2018.

Figure 2-26  
Project Rendering



Source: Steinberg Hart, July 2018.

Figure 2-27  
Project Rendering



TREE LEGEND

	NAME	WUCOLS	QUANTITY
	Existing Tree	-	9
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive Tree	L	16
	<i>Podocarpus macrophyllus</i> Yew Podocarpus	M	4
	<i>Podocarpus henkelii</i> Long Leaf Yellow Wood	M	7
	<i>Washingtonia filifera</i> California Fan Palm	L	9

KEYNOTE LEGEND






- |   |                                      |
|---|--------------------------------------|
| 1. PROPERTY LINE  | 11. SHORT-TERM BIKE RACKS, TYP.      |
| 2. PLANTING AREA, TYP.                                  | 12. OUTDOOR FURNITURE, TYP.          |
| 3. PLANTER WALL   | 13. DECORATIVE BRICK PAVING          |
| 4. PLANTING POT, TYP.                                   | 14. INTEGRAL COLOR CONC. PAVER, TYP. |
| 5. EXISTING TREE, TYP.                                  | 15. WOOD DECK PAVER                  |
| 6. PROPOSED TREE, TYP.                                  | 16. BOLLARD, TYP.                    |
| 7. FOCAL POINT WATER FEATURE                            | 17. IPE WOOD BENCH, TYP.             |
| 8. HANGING LIGHTS                                       | 18. SWIMMING POOL/SPA                |
| 9. VINE COVERED TRELLIS                                 | 19. UMBRELLA, TYP.                   |
| 10. SIDEWALK DESIGN PER DOWNTOWN<br>LA DESIGN GUIDELINE | 20. FIRE PIT, TYP.                   |
|   | 21. BBQ                              |



Source: Steinberg Hart, July 2018.

Figure 2-28  
Landscape Plan – Level 1

TREE LEGEND

	Existing Tree	-	9
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive Tree	L	16
	<i>Podocarpus macrophyllus</i> Yew Podocarpus	M	4
	<i>Podocarpus henkelii</i> Long Leaf Yellow Wood	M	7
	<i>Washingtonia filifera</i> California Fan Palm	L	9

KEYNOTE LEGEND






- |   |                                      |
|---|--------------------------------------|
| 1. PROPERTY LINE  | 11. SHORT-TERM BIKE RACKS, TYP.      |
| 2. PLANTING AREA, TYP.                                  | 12. OUTDOOR FURNITURE, TYP.          |
| 3. PLANTER WALL   | 13. DECORATIVE BRICK PAVING          |
| 4. PLANTING POT, TYP.                                   | 14. INTEGRAL COLOR CONC. PAVER, TYP. |
| 5. EXISTING TREE, TYP.                                  | 15. WOOD DECK PAVER                  |
| 6. PROPOSED TREE, TYP.                                  | 16. BOLLARD, TYP.                    |
| 7. FOCAL POINT WATER FEATURE                            | 17. IPE WOOD BENCH, TYP.             |
| 8. HANGING LIGHTS                                       | 18. SWIMMING POOL/SPA                |
| 9. VINE COVERED TRELLIS                                 | 19. UMBRELLA, TYP.                   |
| 10. SIDEWALK DESIGN PER DOWNTOWN<br>LA DESIGN GUIDELINE | 20. FIRE PIT, TYP.                   |
|   | 21. BBQ                              |



Source: Steinberg Hart, July 2018.

Figure 2-29  
Landscape Plan – Level 2

TREE LEGEND

	Existing Tree	-	9
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive Tree	L	16
	<i>Podocarpus macrophyllus</i> Yew Podocarpus	M	4
	<i>Podocarpus henkelii</i> Long Leaf Yellow Wood	M	7
	<i>Washingtonia filifera</i> California Fan Palm	L	9

KEYNOTE LEGEND






- |   |                                      |
|---|--------------------------------------|
| 1. PROPERTY LINE  | 11. SHORT-TERM BIKE RACKS, TYP.      |
| 2. PLANTING AREA, TYP.                                  | 12. OUTDOOR FURNITURE, TYP.          |
| 3. PLANTER WALL   | 13. DECORATIVE BRICK PAVING          |
| 4. PLANTING POT, TYP.                                   | 14. INTEGRAL COLOR CONC. PAVER, TYP. |
| 5. EXISTING TREE, TYP.                                  | 15. WOOD DECK PAVER                  |
| 6. PROPOSED TREE, TYP.                                  | 16. BOLLARD, TYP.                    |
| 7. FOCAL POINT WATER FEATURE                            | 17. IPE WOOD BENCH, TYP.             |
| 8. HANGING LIGHTS                                       | 18. SWIMMING POOL/SPA                |
| 9. VINE COVERED TRELLIS                                 | 19. UMBRELLA, TYP.                   |
| 10. SIDEWALK DESIGN PER DOWNTOWN<br>LA DESIGN GUIDELINE | 20. FIRE PIT, TYP.                   |
|   | 21. BBQ                              |



Source: Steinberg Hart, July 2018.

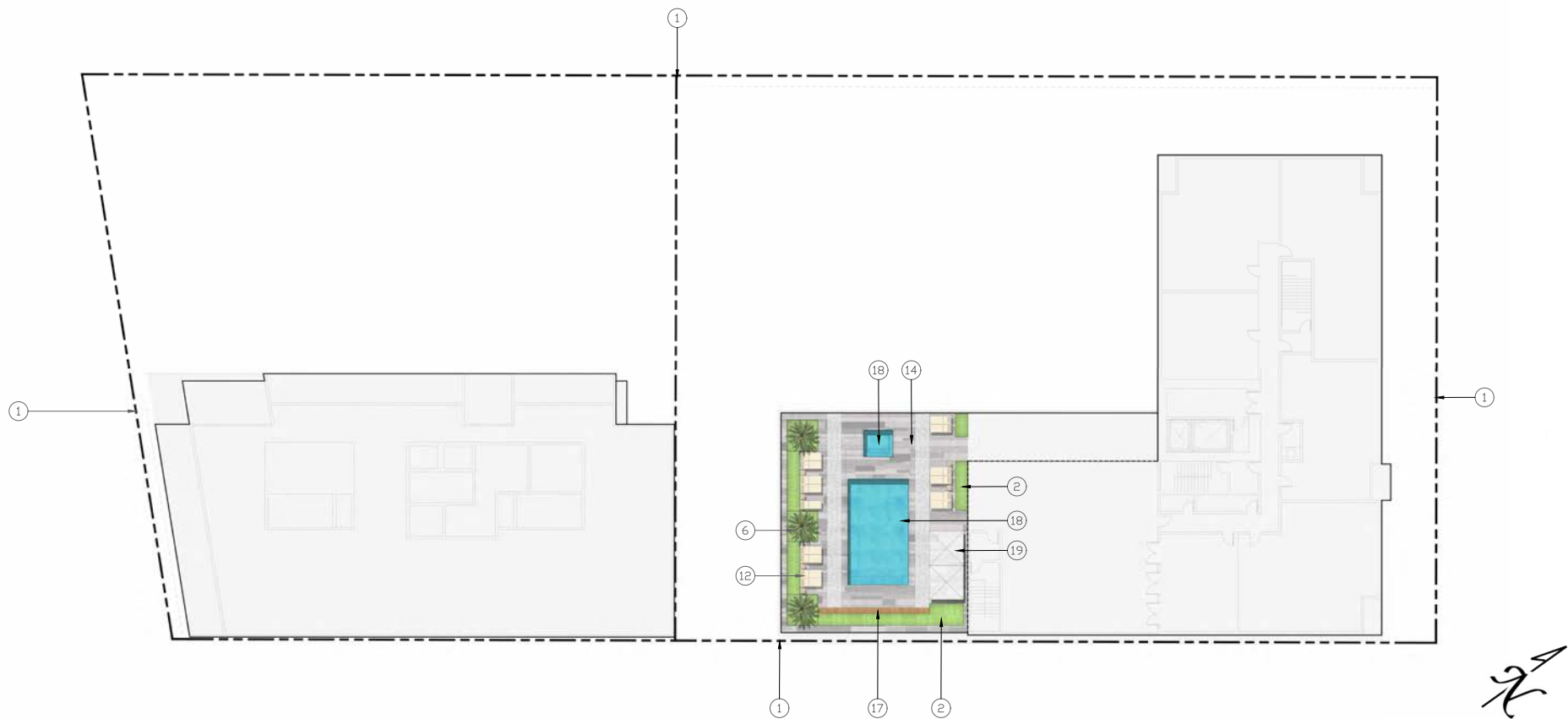
Figure 2-30  
Landscape Plan – Level 3

TREE LEGEND

	Existing Tree	-	9
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive Tree	L	16
	<i>Podocarpus macrophyllus</i> Yew Podocarpus	M	4
	<i>Podocarpus henkelii</i> Long Leaf Yellow Wood	M	7
	<i>Washingtonia filifera</i> California Fan Palm	L	9

KEYNOTE LEGEND






- |   |                                      |
|---|--------------------------------------|
| 1. PROPERTY LINE  | 11. SHORT-TERM BIKE RACKS, TYP.      |
| 2. PLANTING AREA, TYP.                                  | 12. OUTDOOR FURNITURE, TYP.          |
| 3. PLANTER WALL   | 13. DECORATIVE BRICK PAVING          |
| 4. PLANTING POT, TYP.                                   | 14. INTEGRAL COLOR CONC. PAVER, TYP. |
| 5. EXISTING TREE, TYP.                                  | 15. WOOD DECK PAVER                  |
| 6. PROPOSED TREE, TYP.                                  | 16. BOLLARD, TYP.                    |
| 7. FOCAL POINT WATER FEATURE                            | 17. IPE WOOD BENCH, TYP.             |
| 8. HANGING LIGHTS                                       | 18. SWIMMING POOL/SPA                |
| 9. VINE COVERED TRELLIS                                 | 19. UMBRELLA, TYP.                   |
| 10. SIDEWALK DESIGN PER DOWNTOWN<br>LA DESIGN GUIDELINE | 20. FIRE PIT, TYP.                   |
|   | 21. BBQ                              |



Source: Steinberg Hart, July 2018.

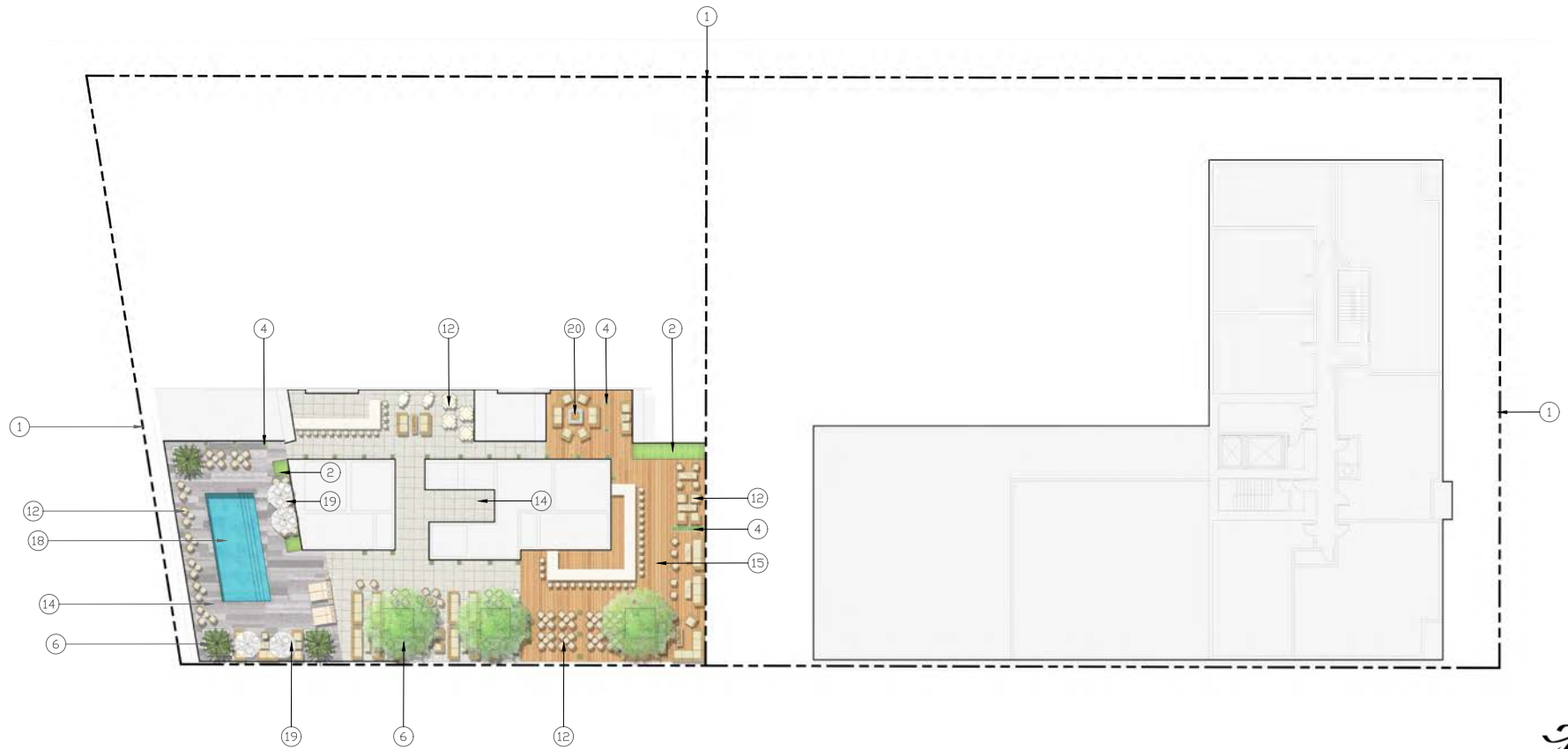
Figure 2-31  
Landscape Plan – Level 13

TREE LEGEND

	Existing Tree	-	9
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive Tree	L	16
	<i>Podocarpus macrophyllus</i> Yew Podocarpus	M	4
	<i>Podocarpus henkelii</i> Long Leaf Yellow Wood	M	7
	<i>Washingtonia filifera</i> California Fan Palm	L	9

KEYNOTE LEGEND

- |   |                                      |
|---|--------------------------------------|
| 1. PROPERTY LINE  | 11. SHORT-TERM BIKE RACKS, TYP.      |
| 2. PLANTING AREA, TYP.                                  | 12. OUTDOOR FURNITURE, TYP.          |
| 3. PLANTER WALL   | 13. DECORATIVE BRICK PAVING          |
| 4. PLANTING POT, TYP.                                   | 14. INTEGRAL COLOR CONC. PAVER, TYP. |
| 5. EXISTING TREE, TYP.                                  | 15. WOOD DECK PAVER                  |
| 6. PROPOSED TREE, TYP.                                  | 16. BOLLARD, TYP.                    |
| 7. FOCAL POINT WATER FEATURE                            | 17. IPE WOOD BENCH, TYP.             |
| 8. HANGING LIGHTS                                       | 18. SWIMMING POOL/SPA                |
| 9. VINE COVERED TRELLIS                                 | 19. UMBRELLA, TYP.                   |
| 10. SIDEWALK DESIGN PER DOWNTOWN<br>LA DESIGN GUIDELINE | 20. FIRE PIT, TYP.                   |
|   | 21. BBQ                              |








Source: Steinberg Hart, July 2018.

Figure 2-32  
Landscape Plan – Level 14

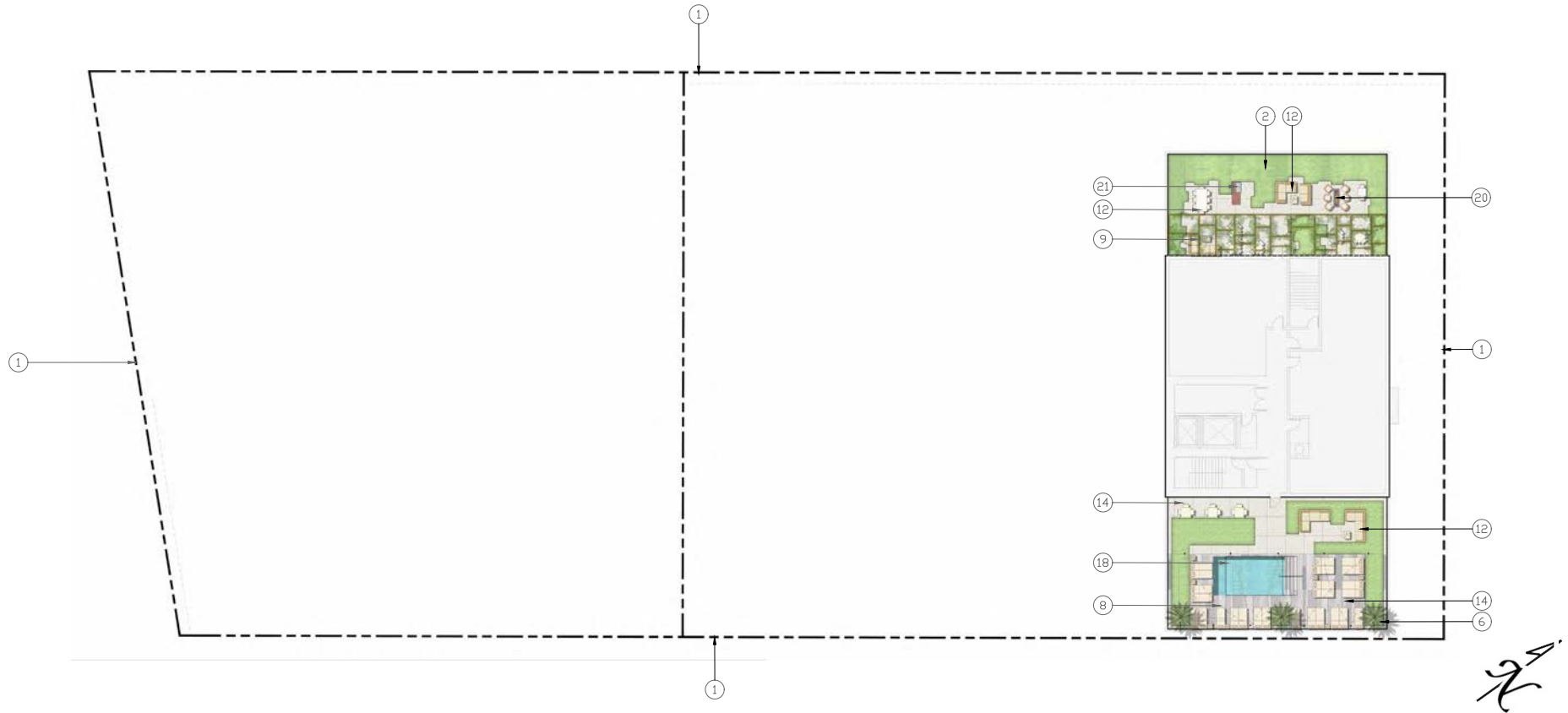


TREE LEGEND

	Existing Tree	-	9
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive Tree	L	16
	<i>Podocarpus macrophyllus</i> Yew Podocarpus	M	4
	<i>Podocarpus henkelii</i> Long Leaf Yellow Wood	M	7
	<i>Washingtonia filifera</i> California Fan Palm	L	9

KEYNOTE LEGEND

- |   |                                      |
|---|--------------------------------------|
| 1. PROPERTY LINE  | 11. SHORT-TERM BIKE RACKS, TYP.      |
| 2. PLANTING AREA, TYP.                                  | 12. OUTDOOR FURNITURE, TYP.          |
| 3. PLANTER WALL   | 13. DECORATIVE BRICK PAVING          |
| 4. PLANTING POT, TYP.                                   | 14. INTEGRAL COLOR CONC. PAVER, TYP. |
| 5. EXISTING TREE, TYP.                                  | 15. WOOD DECK PAVER                  |
| 6. PROPOSED TREE, TYP.                                  | 16. BOLLARD, TYP.                    |
| 7. FOCAL POINT WATER FEATURE                            | 17. IPE WOOD BENCH, TYP.             |
| 8. HANGING LIGHTS                                       | 18. SWIMMING POOL/SPA                |
| 9. VINE COVERED TRELLIS                                 | 19. UMBRELLA, TYP.                   |
| 10. SIDEWALK DESIGN PER DOWNTOWN<br>LA DESIGN GUIDELINE | 20. FIRE PIT, TYP.                   |
|   | 21. BBQ                              |



Source: Steinberg Hart, July 2018.

Figure 2-33  
Landscape Plan – Level 27



*Dietes iridioides*  
African Iris



*Dianella tasmanica* 'Silver Streak'  
Silver Streak Flax Lily



*Agapanthus africanus*  
Lily of the Nile



*Tulbaghia violacea* 'Tricolor'  
Tri-Color Society Garlic



*Philodendron*



*Anigozanthos flavidus*  
Kangaroo Paw 'Bush Gerns'



*Muhlenbergia capillaris* 'Lenca'  
Pink Muhly Grass



*Rosmarinus officinalis* 'Tuscan Blue'  
Tuscan Blue Rosemary



*Grevillea noellii*  
Noell Grevillea



*Juncus patens*  
California Gray Rush



*Nassella tenuissima*  
Mexican feathergrass



*Myrtus communis compacta*  
Dwarf Myrtle



*Rosmarinus officinalis* 'Tuscan Blue'  
Tuscan Blue Rosemary



No Mow Fescue



*Lavandula angustifolia* 'Hidcote Blue'  
Hidcote Blue English Lavender



*Rosmarinus officinalis* 'Upright'  
Upright Rosemary



*Carex divisa*  
Berkeley Sedge



*Rhaphtolepis indica* 'Ballerina'  
Ballerina Indian Hawthorn



*Euonymus japonicus* 'Microphyllus  
Variegatus'  
Variegated Boxleaf Euonymus



*Agave attenuata*  
Fox Tail Agave



*Kalanchoe thyrsiflora* 'Desert Rose'  
Desert Rose Paddle Plant



*Fescuta glauca*  
Blue Fescue



*Callistemon citrinus* 'Little John'  
Dwarf Bottlebrush



*Phoenix dactylifera*  
Date palm



*Olea europaea* 'fruitless'  
Fruitless Olive Tree



*Podocarpus macrophyllus*  
Yew Podocarpus



*Podocarpus henkelii*  
Long Leafed Yellowwood



Yoodoo Aeonium  
Giant Red Aeonium



*Carex morrowii* 'Aurea-variegata'  
Variegated Japanese Sedge



Senecio



*Carrisa macrocarpa* 'Luttle'  
Dwarf Natal Plum

Source: Steinberg Hart, July 2018.





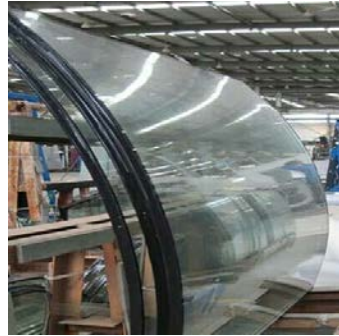
Source: Steinberg Hart, July 2018.

Figure 2-35  
Landscape Plan – Inspiration Images





GLAZING #1: VISION GLASS, HIGH PERFORMANCE IGU, LOW REFLECTIVE



GLAZING #2: VISION GLASS, CURVED IGU, LOW REFLECTIVE



GLAZING #3: TEMPERED GLASS GUARDRAIL, LOW REFLECTIVE



METAL PANEL #1  
DARK GRAY



METAL PANEL #2  
SILVER GRAY



BRICK



PLASTER #1  
ECRU, SAND FLOAT FINISH



PLASTER #2  
DARK TAUPE, SAND FLOAT FINISH



PLASTER #3  
WHITE, SMOOTH FINISH

Source: Steinberg Hart, July 2018.

# INITIAL STUDY

## 4 ENVIRONMENTAL IMPACT ANALYSIS

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The following discussion provides responses to each of the questions set forth in the City of Los Angeles Initial Study Checklist. The responses below provide an initial analysis of potential environmental impacts, indicate those issues that are expected to be further analyzed in an Environmental Impact Report (EIR), and demonstrate why other issues, which will not result in potentially significant environmental impacts, do not need to be analyzed further in an EIR. The questions with responses that indicate a “Potentially Significant Impact” do not presume that a significant environmental impact would, in fact, result from the Project. Rather, such responses indicate those issues will be further analyzed in an EIR to determine the impact level of significance in compliance with CEQA.

### I. AESTHETICS

Senate Bill (SB) 743 [Public Resources Code (PRC) §21099(d)] sets forth new guidelines for evaluating project transportation impacts under CEQA, as follows: “Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area (TPA) shall not be considered significant impacts on the environment.” PRC Section 21099 defines a “transit priority area” as an area within 0.5 mile of a major transit stop that is “existing or planned, if the planned stop is scheduled to be completed within the planning horizon included in a Transportation Improvement Program adopted pursuant to Section 450.216 or 450.322 of Title 23 of the Code of Federal Regulations.” PRC Section 21064.3 defines “major transit stop” as “a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.” PRC Section 21099 defines an “employment center project” as “a project located on property zoned for commercial uses with a floor area ratio of no less than 0.75 and that is located within a transit priority area. PRC Section 21099 defines an “infill site” as a lot located within an urban area that has been previously developed, or on a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. This state law supersedes the aesthetic impact thresholds in the 2006 *L.A. CEQA Thresholds Guide*, including those established for aesthetics, obstruction of views, shading, and nighttime illumination.

The related City of Los Angeles Department of City Planning Zoning Information (ZI) File ZI No. 2452 provides further instruction concerning the definition of transit priority projects and that “visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impact as defined in the City’s CEQA Threshold Guide shall not be considered an impact for infill projects within TPAs pursuant to CEQA.”<sup>7</sup>

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<sup>7</sup> City of Los Angeles Department of City Planning, Zoning Information File ZA No. 2452, Transit Priority Areas (TPAs)/Exemptions to Aesthetics and Parking Within TPAs Pursuant to CEQA. Available at: <http://zimas.lacity.org/documents/zoneinfo/ZI2452.pdf>. Accessed April 4, 2019.

PRC Section 21099 applies to the Project. Therefore, the Project is exempt from aesthetic impacts. The analysis in this initial study is for informational purposes only and not for determining whether the Project will result in significant impacts to the environment. Any aesthetic impact analysis in this initial study is included to discuss what aesthetic impacts would occur from the Project if PRC Section 21099(d) was not in effect. As such, nothing in the aesthetic impact discussion in this initial study shall trigger the need for any CEQA findings, CEQA analysis, or CEQA mitigation measures.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Except as provided in Public Resources Code Section 21099 would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a. Have a substantial adverse effect on a scenic vista?   | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?  | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. Substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?   | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**a. Have a substantial adverse effect on a scenic vista?**

**Less Than Significant Impact.** The approximately 1.29-acre Project Site is relatively flat and currently developed with an existing hotel, its associated surface parking lot, and three, two-story commercial industrial buildings. The existing buildings are built out to the lot line at the street frontages and vehicle access to the Project Site is provided via Pico Boulevard and the adjacent alley. Nearly the entire site is paved except for existing street tree planters. There are no prominent topographical features on the Project Site from which scenic vistas could be viewed, nor does the Project Site contain a scenic vista. The existing viewshed at the Project Site is defined by existing urban downtown development with commercial and mixed-use residential structures nearby of varying mass, height, and design.

The Project would include the rehabilitation and adaptive reuse of the existing four-story hotel, with a maximum building height of 52 feet above grade, the development of a 14-story hotel expansion with a maximum building height of 172 feet above grade, and a new 27-story hotel/residential tower with a maximum building height of 315 feet above grade. The new hotel/residential tower would provide three levels of subterranean parking that would serve the entire development. Although the proposed Project would be taller than the existing buildings on site, the Project would not directly obstruct an existing public view of a scenic vista, as views of a scenic vista are not readily available from that location. Any existing, albeit limited, views to distant scenic vistas would be from private view points in the surrounding land uses. A significant impact occurs only when a proposed project adversely affects the public view of a scenic vista and, therefore, impacts to private views are not considered to be significant and no further analysis is required. Furthermore, pursuant to CEQA Section 21099(d) and ZI-2452, the Project would not result in a significant impact on aesthetics. Therefore, impacts would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings, or other locally recognized desirable aesthetic natural feature within a state scenic highway?**

**Less Than Significant Impact.** The Project Site is located in a highly urbanized area of the City of Los Angeles. There are no State-designated scenic highways or highways eligible for scenic designation in the Project Site vicinity. There are also no City-designated scenic highways in the Project Site vicinity.<sup>8</sup> The nearest designated scenic highway to the Project Site is the Arroyo Seco Historic Parkway, a portion of the Pasadena Freeway (SR-110) north of the interchange with the Hollywood Freeway (US-101).<sup>9</sup> This scenic highway is approximately two miles north of the Project Site and is not visible from the Project Site at the street level. The Project is not located along or within the scenic vistas nor viewsheds of the designated Arroyo Seco Historic Parkway scenic highway.

Thus, the Project would not substantially damage scenic resources such as rock outcroppings, protected trees, or historic buildings within a State scenic highway. Pursuant to CEQA Section 21099(d) and ZI 2452, the Project would not result in a significant impact on aesthetics. Therefore, impacts would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**c. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?**

**Less Than Significant Impact.** The Project Site is located in a highly urbanized area of downtown Los Angeles' South Park neighborhood of the Central City Community Plan; therefore,

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<sup>8</sup> California Department of Transportation, California Scenic Highway Mapping System, Los Angeles County, website: [http://www.dot.ca.gov/hq/LandArch/16\\_livability/scenic\\_highways/langeles.htm](http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/langeles.htm), accessed: May 2018.

<sup>9</sup> California Department of Transportation, California Scenic Highway Mapping System, Los Angeles County, website: [http://www.dot.ca.gov/hq/LandArch/16\\_livability/scenic\\_highways/langeles.htm](http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/langeles.htm), accessed: May 2018.

the applicable threshold with respect to the Project is consistency with applicable zoning and other regulations governing scenic quality.

The Project would include the rehabilitation and adaptive reuse of the existing four-story hotel with a maximum building height of 52 feet above grade, the development of a 14-story hotel expansion with a maximum building height of 172 feet above grade, and a new 27-story hotel/residential tower with a maximum building height of 315 feet above grade. The Project would extend beyond the height of the existing four-story hotel and two-story commercial industrial buildings on-site. Thus, the Project would result in a change in the visual character of the Project Site and surrounding area. Visual simulations of the Project as viewed in context with the area around the Project Site can be seen in Figures 2-26 and 2-27 in the Project Description.

### *Zoning Consistency*

The Project's maximum building height would not exceed 315 feet (27 stories), as measured from grade to the highest point of the roof. The Project would redevelop a site that currently contains a four-story hotel, surface parking lot and two one-story and one two-story commercial industrial buildings in conjunction with the adaptive reuse and expansion of the existing hotel and construction of a new hotel and residential development with event/meeting space, ground-floor commercial retail space, and ground floor restaurant uses in two buildings above three subterranean parking levels.

Phase I Existing would remain four stories overall with a maximum height of 52 feet above grade; Phase I Expansion would be 14 stories with a maximum height of height of 172 feet above grade; and Phase II Hotel and Residential Tower would be 27 stories with a maximum building height of 315 feet above grade.

The existing four-story hotel is similar in height to the existing mixed-use residential building across Pico Boulevard from the Project Site, which is seven stories tall. Along Hope Street, the Project includes an outdoor third floor deck and several green walls at different levels. The Phase II Hotel and Residential Tower is two stories fronting Hope Street at the building line, stepping up to the full 27 stories in height toward the rear of the Project Site.

The Project site is located in Height District 4, which permits unlimited height and a 13:1 FAR. However, there is a D limitation on the site which restricts the FAR to 6:1 unless: (i) the project is approved under Section 512.4 for the transfer of floor area (TFAR) under the City Center Redevelopment Plan ("Redevelopment Plan"); (ii) the project is approved under Section 512.2 of the Redevelopment Plan for the rehabilitation and/or remodeling of existing buildings; or (iii) the project is approved pursuant to any TFAR procedure adopted by the City.

The existing hotel, built in 1914, 88 years prior to the adoption of the Redevelopment Plan in 2002, would be rehabilitated and remodeled as part of a unified development which includes the hotel expansion and new construction of the hotel and residential tower. The hotel has an existing FAR of approximately 3.3:1. Section 512.2 states that "[n]otwithstanding the maximum Floor Area Ratios [...] structures which existed in the Project Area prior to the adoption of this Plan may be expanded in size in connection with the rehabilitation or remodeling of such structures." This Section further provides that if the existing structure has a FAR of less than 6:1, then the expansion is limited to no more than 25 percent above the maximum FAR, or 7.5:1. As such, the



Section 512.2 exception applies to the Project and would be permitted to have a maximum FAR of approximately 7.5:1.

### *Other Scenic Quality Regulations*

The *Downtown Design Guide: Design for A Livable Downtown* (Design Guide) integrates urban design standards and guidelines with new street and sidewalk standards for Downtown. The Design Guide defines criteria for building massing, street wall, ground floor treatment, and architectural detail and signage.

The resulting overall development would be larger than the immediately surrounding structures compared to the existing massing at the Project Site. This increased visibility would occur on nearby roadways and adjoining sidewalks bordering the site, and the greater height and mass would increase the visibility of the Project Site from nearby properties. Even with increased size, however, the Project would be generally consistent with the urban viewshed of the surrounding area even as the Project would be taller than existing buildings. The Project would be generally built to its adjacent right-of-way lot lines. To reduce the massing of the Project, the Project would be articulated with a variety of breaks along its frontage on Hope Street, which would also provide visual interest (see Figures 2-26 and 2-27 in the Project Description). The existing hotel would retain its four-story building mass with the 14-story Phase I Expansion set further back toward the alleyway. The Phase II Hotel and Residential Tower would provide similar massing with two stories fronting Hope Street at the property line and 13-story and 27-story portions of the building set further back toward the alleyway. A public paseo would provide mid-block pedestrian access from Hope Street to the existing alleyway, providing a physical break between the Phase I Expansion building and the Phase II Hotel and Residential Tower. This paseo would be open from ground level to the sky providing a visual corridor through the Project Site. The Project's massing would be similar to existing and planned mid- and high-rise buildings in the Project vicinity.

The buildings in the Project area vary in age and architectural style. The Project would adaptively reuse and rehabilitate the existing Morrison Hotel, built in 1914, while expanding and constructing new buildings on the block to the east and north, respectively, in a contemporary architectural style. As the Project is located within the South Park neighborhood of downtown Los Angeles, the Project buildings have been designed to be compatible with the nature of the existing community, which includes new and old industrial, residential, and general commercial uses in buildings varying from one level to skyscrapers. Conceptual renderings of the Project can be seen on Figures 2-26 and 2-27, Project Renderings, in the Project Description, which include views of the Project in context with its surroundings.

The articulation of each of the Project's buildings serves to resemble several buildings with height stepped down toward Hope Street. The Project's architectural material selection and color palette would contribute to the aesthetic character of surrounding environment. The design alternates between different textures, colors, materials, and distinctive architectural treatments and avoids dull and repetitive facades. As a result of the proposed building's architectural style and contemporary design, the Project would be effectively integrated into the aesthetics of the urban viewshed. Thus, the proposed design would not detract from the visual character or quality of the Project Site and its surroundings nor substantially degrade the existing visual character or quality of the site and its surroundings. The Project would be consistent with the criteria established in

the Design Guide. Therefore, impacts would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?**

**Less than Significant Impact.**

*Light*

The Project is located in a well-lit urbanized area of the City where there are moderate to high levels of ambient nighttime lighting, including street lighting, vehicle headlights, architectural and security lighting, and indoor building illumination (light emanating from structures that passes through windows). The Project Site is located within an urban environment; thus, light emanating from any one source contributes to the overall lighting impacts rather than being solely responsible for lighting impacts on a particular use. As uses surrounding the Project Site are already impacted by lighting from existing development within the area, any additional amount of new light sources must be noticeably visible to light-sensitive uses to have any notable effect.

The Project would have the potential to alter lighting patterns in the area of the Project Site as compared with the existing structures and surface parking on site. Night lighting for the Project would be provided to illuminate building entrances, driveways, commercial use, and for security. Although the amount of light emanating from the Project would represent an increase over current light levels, the Project would be designed to comply with LAMC Section 93.0117 (Outdoor Lighting Affecting Residential Property)<sup>10</sup>, which prohibits outdoor lighting sources from causing the windows and outdoor recreation/habitable areas of residential units from being illuminated by more than two foot candles, or from receiving direct glare from the light source; and any proposed signage would be required to comply with LAMC Section 14.4.4 E (Sign Illumination Limitations), which prohibits sign lighting from producing a light intensity of greater than three foot candles above ambient lighting as measured from the nearest residentially zoned property.

Additionally, headlights from vehicles entering and exiting the Project's subterranean parking levels from Hope Street at night would be an increased source of light due to the greater intensity of use at the site. However, light from vehicle headlights would not directly shine upon any nearby light-sensitive land use for any substantial amount of time as commercial land uses are located to the west of the Project Site across Hope Street and east of the Project Site across the alley, and commercial uses are not considered light-sensitive land uses.

It is anticipated that the amount of light emanating from the Project would represent an increase over current light levels. Even so, the Project's compliance with the City's regulatory compliance measures, including LAMC Sections 12.21 A.5(k), 14.4.4 E, and 93.0117, would require outdoor lighting to be designed and installed with shielding so that the source of the light (e.g., the bulb) cannot be seen from adjacent residential properties, the public right-of-way, or from above so as to minimize light trespass. Therefore, the Project would not create a new source of substantial light that would adversely affect day or nighttime views in the area.

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<sup>10</sup> Direct glare, as used in LAMC Section 93.0117, is a glare resulting from high luminance or insufficiently shielded light sources that is in the field of view.

## Glare

Potential reflective surfaces in the Project vicinity include vehicles traveling and parked on streets in the vicinity of the Project Site and exterior building windows. Excessive glare not only restricts visibility, but also increases the ambient heat reflectivity in a given area.

The Project would incorporate both solid and glass surfaces. Exterior building materials of the proposed building would use various non-reflective material designed to minimize the transmission of glare from the Project's buildings. All proposed vehicle parking spaces would be located within three subterranean levels, thereby minimizing potential glare from vehicles. Furthermore, the Project's compliance with the City's existing regulations, including LAMC Section 93.0117 (Outdoor Lighting Affecting Residential Property), which prohibits outdoor lighting sources from causing the windows and outdoor recreation/habitable areas of residential units from being illuminated by more than two foot candles, or from receiving direct glare from the light source, would ensure potential glare impacts are not significant. Moreover, the Project would not use polished metals in its design. Therefore, the Project would not create a new source of substantial glare that would adversely affect day or nighttime views in the area. Therefore, impacts would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

## II. AGRICULTURE AND FORESTRY RESOURCES

*In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.*

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Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Result in the loss of forest land or conversion of forest land to non-forest use?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?**

**No Impact.** The Project Site is fully developed with a hotel, commercial structures, and a surface parking lot, and is located in a highly developed area of the City. According to the State Farmland Mapping and Monitoring Program's most recent Farmland mapping data for Los Angeles County, neither the Project site nor the surrounding area are designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.<sup>11</sup> Thus, Project implementation would not result in the loss of State-designated Farmland. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

<sup>11</sup> State of California Department of Conservation, Division of Land Resource Protection, Farmland Mapping and Monitoring Program, Los Angeles County Important Farmland 2016, published July 2017, website: <ftp://ftp.consrv.ca.gov/pub/dlrp/FMMP/pdf/2016/los16.pdf>, accessed: April 2019.

**b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?**

**No Impact.** The Project Site is zoned [Q]R5-4D-O. Thus, the Project Site is not zoned for agricultural use, nor are there any agricultural uses currently occurring at the Project Site or within the surrounding area. Additionally, according to the State's most recent Williamson Act land data, neither the Project Site nor the surrounding area are under a Williamson Act contract.<sup>12</sup> Therefore, the Project would not conflict with existing zoning for agricultural uses or a Williamson Act contract. No impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?**

**No Impact.** In the City of Los Angeles, forest land is a permitted use in areas zoned OS (Open Space); however, the City does not have specific zoning for timberland or timberland production. The Project Site is zoned [Q]R5-4D-O. Thus, the Project Site is not zoned for forest land, timberland, or timberland production land uses and the Project would not conflict with existing zoning for forest land or timberland. No impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Result in the loss of forest land or conversion of forest land to non-forest use?**

**No Impact.** The Project Site is entirely developed with a hotel, commercial buildings, and a surface parking lot, and is located in a heavily developed area of the City. No forest land exists on or in the vicinity of the Project Site, and Project implementation would not result in the loss or conversion of forest land. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?**

**No Impact.** The Project Site is entirely developed and located in a heavily developed area of the City. No agricultural uses, designated Farmland, or forest land uses occur at the Project Site or within the surrounding area. As such, implementation of the Project would not result in the conversion of existing Farmland, agricultural uses, or forest land on- or off-site. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

### **III. AIR QUALITY**

*Where available, the significance criteria established by the South Coast Air Quality Management District (SCAQMD) may be relied upon to make the following determinations.*

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<sup>12</sup> State of California Department of Conservation, Division of Land Resource Protection, State of California Williamson Act Contract Land, Los Angeles County Williamson Act FY 2015/2016, published 2016, website: [ftp://ftp.consrv.ca.gov/pub/dlrp/wa/LA\\_15\\_16\\_WA.pdf](ftp://ftp.consrv.ca.gov/pub/dlrp/wa/LA_15_16_WA.pdf), accessed: May 2018.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Expose sensitive receptors to substantial pollutant concentrations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**a. Conflict with or obstruct implementation of the applicable air quality plan?**

**Potentially Significant Impact.** The potential impacts of a project are compared with the applicable Air Quality Management Plan (AQMP) to determine consistency. The City, including the Project Site, is within the South Coast Air Basin (Basin), and the South Coast Air Quality Management District (SCAQMD) is directly responsible for reducing emissions from stationary (area and point), mobile, and indirect sources to meet federal and State ambient air quality standards. SCAQMD has responded to this requirement by preparing a series of AQMPs. The Governing Board of SCAQMD adopted the most recent of these on March 3, 2017. This AQMP, referred to as the 2016 AQMP, was prepared to comply with the federal and State Clean Air Acts and amendments, to accommodate growth, to reduce the high levels of pollutants in the Basin, to meet federal and State air quality standards, and to minimize the fiscal impact that pollution control measures have on the local economy. The 2016 AQMP identifies the control measures that will be implemented over a 20-year horizon to reduce major sources of pollutants. However, as construction and operation of the Project could result in an increase in emissions that could affect implementation of the 2016 AQMP, impacts may be significant. Therefore, the Project's air quality impacts and consistency with the 2016 AQMP will be further evaluated in the EIR.

**b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?**

**Potentially Significant Impact.** The Basin, wherein the Project Site is located, is currently in nonattainment for ozone, lead, and particulate matter. The construction and operation of a new intensity of development from the Project could emit criteria air pollutants that could potentially contribute to a cumulatively considerable net increase of criteria air pollutants. Therefore, impacts

may be significant and the Project's potential net increase of any criteria pollutants will be further evaluated in the EIR.

**c. Expose sensitive receptors to substantial pollutant concentrations?**

**Potentially Significant Impact.** SCAQMD currently recommends that impacts to sensitive receptors be considered significant when emissions generated at a project site cause localized pollutant levels to exceed state ambient air quality standards at sensitive receptors, or where a project causes an increase in local contaminants during construction and operation of the project. Land uses such as primary and secondary schools, hospitals, and convalescent homes are considered to be sensitive to poor air quality because the very young, the old, and the infirm are more susceptible to respiratory infections and other air quality-related health problems than the general public. Residential land uses are considered to be sensitive because people in residential areas are often at home for extended periods of time, so they could be exposed to pollutants for extended periods of time. Recreational areas are considered to be moderately sensitive to poor air quality because vigorous exercise associated with recreation places a high demand on the human respiratory function. Sensitive receptors near the Project Site include, but are not limited to, the Onyx mixed-use residential development at 242 W. Pico Boulevard, currently under construction, and the E on Grand mixed-use residential development at 1249 S. Grand Avenue. Additional sensitive receptors may also be identified during the preparation of the subsequent CEQA document. The construction and operation of a new intensity of development from the Project could emit concentrations of air pollutants near these sensitive receptors. Emissions from construction activities have the potential to generate localized emissions that may expose sensitive receptors to harmful pollutant concentrations. Therefore, impacts may be significant and the Project's potential to emit concentrations of air pollutants during construction and/or operation will be further evaluated in the EIR.

**d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?**

**Less Than Significant Impact.** The Project involves the construction and operation of a mixed-use hotel, residential, and commercial development, which includes land uses that are not typically associated with odor complaints according to the SCAQMD. The Project does not include industrial, agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting, refineries, landfills, dairies, and fiberglass molding and other land-uses that typically result in emissions associated with odor complaints, based on the SCAQMD *CEQA Air Quality Handbook*. Potential emissions that may lead to odors during construction activities include equipment exhaust. However, these emissions and any associated odors would be localized and temporary in nature and would not be sufficient to affect a substantial number of people or result in a nuisance as defined by SCAQMD Rule 402. During Project operation, the Project would introduce new retail, restaurant, and residential uses to the area and would not result in activities that emit odors. Trash receptacles would be contained, located, and maintained in a manner that promotes odor control, no substantially adverse odor impacts are anticipated. Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

## IV. BIOLOGICAL RESOURCES

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Would the project:

- |  |                          |                          |                                     |                                     |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?   | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?  | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |



**a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?**

**No Impact.** The Project Site is currently developed with a hotel, commercial buildings, and a surface parking lot within a highly developed area of the City. According to Exhibit C-2 of the L.A. CEQA Thresholds Guide, the Project Site and surrounding area are not identified as a biological resource area.<sup>13</sup> Moreover, the Project Site and immediately surrounding area are not within or near a designated Significant Ecological Area.<sup>14</sup> The Project Site does not contain any habitat capable of sustaining any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service. Additionally, there are no known locally designated natural communities on the Project Site or in the immediate vicinity, nor is the Project Site located immediately adjacent to undeveloped natural open space or a natural water source that may otherwise serve as habitat for State- or federally-listed species. Therefore, the Project would have no impact on candidate, sensitive, or special status species and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?**

**No Impact.** The Project Site is currently developed with a hotel, commercial buildings, and a surface parking lot within a highly developed area of the City. No riparian or other sensitive habitat areas are located on or adjacent to the Project Site.<sup>15,16</sup> As discussed above, neither the Project Site nor adjacent areas are within a biological resource area or Significant Ecological Area. As such, implementation of the Project would not result in any adverse impacts to riparian habitat or other sensitive natural communities. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?**

**No Impact.** The Project Site is currently developed with a hotel, commercial buildings, and a surface parking lot within a highly developed area of the City. The National Wetlands Inventory does not identify any wetlands in the vicinity of the Project Site.<sup>17</sup> The State of California Wetlands

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<sup>13</sup> City of Los Angeles, L.A. CEQA Thresholds Guide, 2006, Exhibit C-2, Biological Resource Areas (Metro Geographical Area), page C-11.

<sup>14</sup> Los Angeles County Department of Regional Planning, Planning & Zoning Information, GIS-NET3 online database, website: <http://planning.lacounty.gov/gisnet3>, accessed: May 2018.

<sup>15</sup> City of Los Angeles, L.A. CEQA Thresholds Guide, 2006, Exhibit C-2, Biological Resource Areas (Metro Geographical Area), page C-11.

<sup>16</sup> U.S. Fish and Wildlife Service, National Wetlands Inventory, Wetlands Mapper, website: <http://www.fws.gov/wetlands/Data/Mapper.html>, accessed: May 2018.

<sup>17</sup> U.S. Fish and Wildlife Service, National Wetlands Inventory, Wetlands Mapper, website: <http://www.fws.gov/wetlands/Data/Mapper.html>, accessed: May 2018.

does not identify any wetlands in the vicinity of the Project Site.<sup>18</sup> Furthermore, the Project Site does not support any riparian or wetland habitat, as defined by Section 404 of the Clean Water Act. As such, implementation of the Project would not have a substantial adverse effect on federally protected wetlands. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?**

**Less Than Significant Impact.** The Project Site is currently developed with a hotel, commercial buildings, and a surface parking lot within a highly developed area of the City. According to the City of Los Angeles Conservation Element, wildlife corridors are land segments that connect two or more large habitat areas and provide a habitat for movement of animals between those areas.<sup>19</sup> Although the City of Los Angeles has not formally identified wildlife corridors, studies have identified several wildlife corridors, including corridors between the Santa Susana Mountains and the Simi Hills and between the Simi Hills and the Santa Monica Mountains and connections between the Santa Monica Mountains and the Verdugo and San Gabriel Mountains. There are no wildlife corridors or native wildlife nursery sites in the Project vicinity. However, the 10 existing Indian Laurel Fig trees located within the public right-of-way would be removed during construction of the Project. Indian Laurel Fig trees are not protected under the LAMC and the City's Native Tree Protection Ordinance. These trees may provide temporary suitable habitat for nesting migratory birds, which are protected under the federal Migratory Bird Treaty Act (MBTA). The MBTA, which is an international treaty ratified in 1918, protects migratory nongame native bird species (as listed in 50 C.F.R. Section 10.13) and their nests. Additionally, Sections 3503, 3503.5, and 3513 of the California Fish and Game Code prohibit the take of any birds and their active nests, including raptors and other migratory nongame birds (as listed under the MBTA). Tree removals would be undertaken pursuant to applicable City permits and requirements. The Project would be required to comply with these existing federal and State laws (i.e., MBTA and California Fish and Game Code, respectively). Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (e.g., oak trees or California walnut woodlands)?**

**Less Than Significant Impact.** Based on the Protected Tree Report (see Appendix A to this Initial Study), there are no existing trees located on the Project Site, and 10 existing street trees within the right-of-way adjacent to the Project Site.<sup>20</sup> The City's Protected Tree Ordinance (Ordinance No. 177,404 identifies four protected tree species which include the Oak tree, the Southern California Black Walnut, the Western Sycamore, and the California Bay. The 10 street

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<sup>18</sup> California Wetlands Portal, available at: [https://www.mywaterquality.ca.gov/eco\\_health/wetlands/](https://www.mywaterquality.ca.gov/eco_health/wetlands/), accessed January 14, 2019.

<sup>19</sup> City of Los Angeles Department of City Planning, Los Angeles City General Plan Conservation Element, Adopted September 2001, page II-31.

<sup>20</sup> Protected Tree Report, 828 Fifth Street, Suite 3 Santa Monica, California 90403, Cy Carlberg, April 19, 2018. See Appendix A to this study.

trees identified in the Protected Tree Report are all Indian Laurel Fig trees and therefore not protected species.

Therefore, construction of the Project would not affect any protected trees. Moreover, the Project proposes to provide approximately 34 new trees as part of the Project’s landscape plan, consistent with the LAMC requirement of one tree for every four dwelling units. Therefore, the Project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?**

**No Impact.** The Project Site is currently developed with a hotel, commercial buildings, and a surface parking lot in a developed area of the City. No sensitive habitat areas are located on or adjacent to the Project Site. The Project Site and its vicinity are not part of any draft or adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan.<sup>21</sup> Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**V. CULTURAL RESOURCES**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Disturb any human remains, including those interred outside of dedicated cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**a. Cause a substantial adverse change in the significance of a historical resource pursuant to State CEQA Guidelines §15064.5?**

**Potentially Significant Impact.** Section 15064.5 of the State CEQA Guidelines defines an historical resource as: 1) a resource listed in or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources; 2) a resource

<sup>21</sup> California Department of Fish and Wildlife, California Regional Conservation Plans, October 2017, website: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=68626&inline>, accessed: May 2018.

listed in a local register of historical resources or identified as significant in an historical resource survey meeting certain state guidelines; or 3) an object, building, structure, site, area, place, record or manuscript which a lead agency determines to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided that the lead agency's determination is supported by substantial evidence in light of the whole record.

The Project Site includes three existing commercial buildings and the existing Morrison Hotel, built in 1914. The Morrison Hotel, located on the Project site at 1246-48 South Hope Street, was identified by SurveyLA as eligible for listing in the California Register of Historical Resources and for designation as a Los Angeles Historic-Cultural Monument. The Project proposes to rehabilitate and adaptively reuse the Morrison Hotel as part of the Project, and therefore a historical resources report will be prepared to analyze the existing building, its history, and the proposed reuse of the building. The Project has been designed with the intent to rely on the Secretary of the Interior Standards so that integrity of the existing historic ho is not compromised through the adaptive reuse of the Morrison Hotel and new construction of the new Hotel and Residential Tower.

The existing commercial buildings on the Project Site would also be demolished as part of the Project. According to review of historical data, the on-site commercial buildings were built by 1918. As the Project proposes to rehabilitate the hotel building and demolish the commercial buildings over 50 years in age. Therefore, impacts may be significant and the Project's potential to cause a substantial adverse change in the significance of a historical resource will be further evaluated in the EIR.

**b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to State CEQA Guidelines §15064.5?**

**Potentially Significant Impact.** Section 15064.5 of the State CEQA Guidelines defines significant archaeological resources as resources which meet the criteria for historical resources, as discussed above, or resources which constitute unique archaeological resources.

Based on a review of City of Los Angeles Prehistoric and Historic Archaeological Sites and Survey Areas Map, the Project Site and immediately surrounding areas do not contain any known archaeological sites or archaeological survey areas.<sup>22</sup> In addition, the Project Site is located in a highly urbanized area of the City of Los Angeles and has been subject to past disturbance, including grading and construction of the existing buildings and paving of the surface parking lot. Any archaeological resources that may have existed near the surface of the Project Site are likely to have been disturbed or previously removed. However, the Project would likely result in deeper excavations than previously performed on the site. As such, previously unknown archaeological resources may exist beneath the Project Site that could be uncovered during excavation activities and impacts may be significant and the Project's potential to cause a substantial adverse change in the significance of an archaeological resource will be further evaluated in the EIR.

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<sup>22</sup> City of Los Angeles, Citywide General Plan Framework Final Environmental Impact Report, certified August 2001, Figure CR-1 – Prehistoric and Historic Archaeological Sites and Survey Areas in the City of Los Angeles, page 2.15-3.

**c. Disturb any human remains, including those interred outside of dedicated cemeteries?**

**Less Than Significant Impact.** Phase I and II Environmental Site Assessment (ESA) investigations of the Project Site determined that historic uses of the property include a portion of Fiesta Park with open bleachers as of 1906 and the existing commercial building with retail and commercial uses as of 1913.<sup>23</sup> The Phase I and II ESAs did not find any evidence of cemeteries or burials in the historic records for the site.<sup>24</sup> As such, there are no known human remains within the Project Site. However, previously unknown human remains may exist beneath the Project Site that could be encountered during Project excavation and grading activities. While no formal cemeteries, other places of human internment, or burial grounds sites are known to occur within the immediate Project Site area, there is always a possibility that human remains could be encountered during construction. If previously unknown human remains are found during excavation, the Project would follow procedures as detailed in the California Health and Safety Code Section 7050.5. If human remains of Native American origin are discovered during Project construction, the Project would comply with State laws, which fall within the jurisdiction of the Native American Heritage Commission (Public Resources Code Section 5097), relating to the disposition of Native American burials. Therefore, through compliance with existing State regulations related to human remains, impacts to unknown human remains that could be inadvertently discovered at the Project Site would be less than significant, no mitigation measures are required, and no further evaluation of this topic is required in the EIR.

**VI. ENERGY**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<sup>23</sup> Phase I Environmental Site Assessment of 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard Los Angeles, California, Alpha Environmental, September 23, 2015; and Phase II Environmental Site Assessment Report, 1220-1246 S. Hope St. and 427 W. Pico Blvd., Los Angeles, California 90015, Andersen Environmental, November 13, 2015, page 17.

<sup>24</sup> Phase I Environmental Site Assessment of 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard Los Angeles, California, Alpha Environmental, September 23, 2015; and Phase II Environmental Site Assessment Report, 1220-1246 S. Hope St. and 427 W. Pico Blvd., Los Angeles, California 90015, Andersen Environmental, November 13, 2015.

**a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?**

**Potentially Significant Impact.** The Project would consume energy during construction and operational activities. Sources of energy for these activities would include electricity usage, natural gas consumption, and transportation fuels such as diesel and gasoline. During Project construction, energy would be consumed in the form of electricity associated with the conveyance of water used for dust control and, on a limited basis, powering lights, electronic equipment, or other construction activities necessitating electrical power. Construction activities, including the construction of new buildings and facilities, typically do not involve the consumption of natural gas. Project construction would also consume energy in the form of petroleum-based fuels associated with the use of off-road construction vehicles and equipment on the Project Site, construction worker travel to and from the Project Site, and delivery and haul truck trips (e.g., hauling of demolition material to off-site reuse and disposal facilities). During operation of the Project, energy would be consumed for multiple purposes, including, but not limited to, heating/ventilating/air conditioning (HVAC); refrigeration; lighting; and the use of electronics, equipment, and machinery. Energy would also be consumed during Project operations related to water usage, solid waste disposal, and vehicle trips. Should the consumption of energy during Project construction and operation exceed available local or regional supplies or infrastructure, a significant impact could occur. Therefore, the Project's consumption of energy may be significant and will be further calculated and evaluated in the EIR.

**b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?**

**Potentially Significant Impact.** As discussed above, the Project would consume energy during construction and operation in the form of electricity, natural gas, and transportation fuel. The Project could result in a significant impact to state or local plans for renewable energy or energy efficiency if it failed to meet energy efficiency standards for equipment or prevented energy suppliers from meeting renewable energy source targets. Therefore, the Project's consumption of energy and its effects on renewable energy plans and energy efficiency requirements may be significant and will be further calculated and evaluated in the EIR.

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## VII. GEOLOGY AND SOILS

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Directly or indirectly cause substantial adverse effects, including the risk of loss, injury, or death involving:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv. Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The following analysis incorporates the findings of the *Preliminary Geotechnical Engineering Investigation* prepared by GeoConcepts, Inc., dated March 31, 2017 (“Geotechnical Report”) (the report is available as Appendix B of this Initial Study).

**a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:**

**i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.**

**Less Than Significant Impact.** The Project Site is located in the seismically active region of Southern California. Numerous active and potentially active faults with surface expressions (fault traces) have been mapped adjacent to, within, and beneath the City. Active earthquake faults are faults where surface rupture has occurred within the last 11,000 years. The Alquist-Priolo Earthquake Fault Zoning Act was passed in 1972 to mitigate the hazards of surface faulting and fault rupture to built structures. Surface rupture of a fault generally occurs within 50 feet of an active fault line. The Project Site is not located within a designated Alquist-Priolo Earthquake Fault Zone.<sup>25</sup> There are several active faults in the metropolitan region, including the Sierra Madre Fault Zone along the south edge of the Sierra Madre Mountains, the Raymond Fault in San Marino, and the Hollywood and Santa Monica faults along the Hollywood Hills and Santa Monica Mountains. The nearest active fault is the Puente Hills Blind Thrust, a subsurface, horizontal fault plane that runs about 25 miles from Brea, across the lower San Gabriel Valley, going northwest into downtown Los Angeles, and further northwest ending just before Griffith Park.<sup>26</sup> Because the Puente Hills Fault is a horizontal fault with no line (“trace”) at the ground surface, it is not possible to provide a map distance from the Project Site to the fault; however, according to the City, the Project Site is within the Puente Hills Fault Zone.<sup>27</sup> In addition, the Project Site is not located within a City-designated Fault Rupture Study Area.<sup>28</sup> Thus, the potential for fault rupture at the Project Site would be low. Further, the Project would be required to comply with applicable state and local building and seismic codes and implement all site- and Project-specific design recommendations contained in a Geotechnical Engineering Investigation/GeoHazards Evaluation that would be submitted to the Los Angeles Department of Building and Safety for review and approval prior to Project Approval. Conformance with current Building Code requirements and site-specific design recommendations in the Geotechnical Engineering Investigation/GeoHazards Evaluation would minimize the potential for people on the Project Site to sustain loss, injury, or death as a result of fault rupture. The Project would involve the partial demolition, adaptive reuse, and expansion of an existing structure to be utilized for commercial and hotel purposes in accordance with allowed uses under existing zoning and no proposed uses would have the potential to directly or indirectly exacerbate existing potential for fault rupture. Therefore, impacts

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<sup>25</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>26</sup> John H. Shaw, Andreas Plesch, James F. Dolan, Thomas L. Pratt, and Patricia Fiore, Puente Hills Blind-Thrust System, Los Angeles, California, *Bulletin of the Seismological Society of America*, Vol. 92, No. 8, pp. 2946–2960, December 2002.

<sup>27</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>28</sup> Los Angeles General Plan Safety Element, Exhibit A, Alquist–Priolo Special Study Zones & Fault Rupture Study Areas, p. 47 (November 1996).



would be less than significant and no mitigation is required. No further evaluation of this topic is required in the EIR.

## ii. Strong seismic ground shaking?

**Less Than Significant Impact.** The California Supreme Court ruling in *California Building Industry Assn. v. Bay Area Air Quality Management District* (62 Cal.4th 369) (*CBIA v. BAAQMD*) held that CEQA generally does not require a lead agency to consider the impacts of the existing environment on the future residents or users of a project, such as the potential for substantial adverse effects on people or structures from strong seismic ground shaking from earthquakes. The type of development expected to occur under the Project is typical of urban environments and would not involve mining operations, deep excavation into the earth, or boring of large areas creating unstable seismic conditions or stresses in the earth's crust. Furthermore, there are no active or potentially active faults that traverse the Project Site. Based on the above, development of the Project would not directly or indirectly exacerbate seismic conditions on the Project Site or in the area, therefore, impacts related to strong seismic ground shaking would be less than significant.

Furthermore, a review of the geologic conditions at the Project Site indicates that the Project Site is located in the seismically active region of Southern California and, therefore, is susceptible to ground shaking during a seismic event. The nearest active fault to the Project Site is the Puente Hills Blind Thrust. The Puente Hills Fault is a subsurface, horizontal fault plane that runs about 25 miles from Brea, across the lower San Gabriel Valley, going northwest into downtown Los Angeles, and further northwest ending just before Griffith Park.<sup>29</sup> Because the Puente Hills Fault is a horizontal fault with no line ("trace") at the ground surface, it is not possible to provide a map distance from the Project Site to the fault; however, according to the City, the Project Site is within the Puente Hills Fault zone.<sup>30</sup>

In addition to the Puente Hills Fault, other known active faults that could produce significant ground shaking at the Project Site include the San Andreas, Whittier Elsinore, San Fernando, Santa Susana, Newport-Inglewood, Malibu Coast, Hollywood, Raymond, Sierra Madre, and San Gabriel Faults are considered active faults capable of producing strong seismic waves (ground shaking) on the Project Site.<sup>31</sup> Therefore, the Project Site is susceptible to ground shaking during a seismic event. However, Project construction would be consistent with all applicable provisions of the Los Angeles Building Code, the recommendations of the Geotechnical Report (see Appendix B of this Initial Study), and conditions of approval from LADBS Grading Division. Conformance with current Los Angeles Building Code requirements would minimize the potential for structures on the Project Site to sustain substantial damage during an earthquake as modern buildings are designed to resist ground shaking through the use of shear panels, moment frames, and reinforcement. The potential seismic hazard to the Project Site would not be higher than in most areas of the City or elsewhere in the region. Therefore, impacts would be less than

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<sup>29</sup> John H. Shaw, Andreas Plesch, James F. Dolan, Thomas L. Pratt, and Patricia Fiore, Puente Hills Blind-Thrust System, Los Angeles, California, Bulletin of the Seismological Society of America, Vol. 92, No. 8, pp. 2946–2960, December 2002.

<sup>30</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>31</sup> GeoConcepts, Inc., Preliminary Geotechnical Engineering Investigation, 1246 S. Hope Street & 427 W. Pico Boulevard, Los Angeles California, March 31, 2017, pp. 4-7.

significant with respect to risk of loss, injury, or death involving strong seismic ground shaking. No further evaluation of this topic is required in the EIR.

### iii. Seismic-related ground failure, including liquefaction?

**Less Than Significant Impact.** Liquefaction describes a phenomenon where cyclic stresses, which are produced by earthquake-induced ground motions, create excess pore pressures in cohesionless soils. As a result, the soils may acquire a high degree of mobility, which can lead to lateral spreading, consolidation and settlement of loose sediments, ground oscillation, flow failure, loss of bearing strength, ground fissuring, and sand boils, and other damaging deformations. This phenomenon occurs only below the water table, but after liquefaction has developed, it can propagate upward into overlying, non-saturated soils as excess pore water escapes. The possibility of liquefaction occurring at a given site is dependent upon the occurrence of a significant earthquake in the vicinity, sufficient groundwater to cause high pore pressures, and on the grain size, relative density, and confining pressures of the soil at the site.

According to the Geotechnical Report, the State of California Geologic Survey Seismic Hazard Zone, Hollywood Quadrangle Map, Earthquake Fault Zones and Seismic Hazard Zones Hollywood 7.5 Minute Quadrangle, the City of Los Angeles Safety Element<sup>32</sup> and City of Los Angeles Department of Planning Zoning Information and Map Access System (ZIMAS) Parcel Profile Report<sup>33</sup> the Project Site is not located within an area identified as having potential for liquefaction.

Groundwater seeps were encountered at depths of 157.5 and 187.5 feet during the geotechnical investigation on the Project Site. Seasonal fluctuations of groundwater levels may occur by varying amounts of rainfall, irrigation and recharge. Based on the depth to groundwater and the dense nature of the alluvium soil, the Geotechnical Report determined that lateral spreads and seismically induced settlement should not pose any significant hazard to the Project. Furthermore, the Project would not propose deep mining operations or boring into the earth's crust into a known fault that could otherwise cause in whole or in part seismic-related ground failure. Additionally, LADBS would review the plans for consistency with the findings and recommendations of *Geotechnical Engineering Investigation* and the Building Code. LADBS would require that a *Final Geotechnical Engineering Investigation*, incorporating all findings and recommendations, be prepared and approved prior to the issuance of any grading or building permits. Therefore, impacts related to seismic-related ground failure including liquefaction would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

### iv. Landslides?

**No Impact.** The Project Site and surrounding area consist of relatively flat topography. The Project Site is not located within an area identified by the City as having a potential for landslides,

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<sup>32</sup> City of Los Angeles Safety Element, Exhibit B: Areas Susceptible to Liquefaction in the City of Los Angeles, October 1993, page 49.

<sup>33</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: July 2018.

or of a known landslide.<sup>34,35</sup> Furthermore, the Project Site is not in the path of any known or potential landslides. Thus, the Project does not propose substantial alteration to the existing topography and would not directly or indirectly exacerbate existing environmental conditions related to landslides. Therefore, no impacts would occur, and no further evaluation of this topic is required in the EIR.

**b. Result in substantial soil erosion or the loss of topsoil?**

**Less Than Significant Impact.** The Project Site is currently improved with a hotel, commercial buildings, and a surface parking lot. Nearly the entire approximately 1.29-acre Project Site is paved with impervious surfaces except for street tree planters. The area surrounding the Project Site is completely developed and would not be susceptible to indirect erosional processes (e.g., uncontrolled runoff) caused by the Project. During construction, Project grading and excavation would expose relatively low amounts of soil for a limited time, allowing for possible erosion. However, due to the temporary nature of the soil exposure during the grading and excavation processes, substantial erosion is unlikely to occur. Furthermore, during this period, the Project would be required to prevent the transport of sediments from the Project Site by stormwater runoff and winds through the use of appropriate Best Management Practices (BMPs). These BMPs would be detailed in the required Stormwater Pollution Prevention Program (SWPPP), which must be acceptable to the City and in compliance with the latest National Pollutant Discharge Elimination System (NPDES) permit requirements. As part of the SWPPP, BMPs would be implemented during construction to reduce sedimentation and erosion levels to the extent possible. In addition, Project construction contractors would be required to comply with City grading permit regulations, which require necessary measures, plans, and inspections to reduce sedimentation and erosion. Therefore, any potential impacts related to soil erosion would be reduced to a less-than-significant level with compliance with regulatory requirements that include implementation of BMPs, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?**

**Less Than Significant Impact.** Potential impacts with respect to liquefaction and landslide potential are evaluated in Questions 6(a)(iii) and (iv) above.

Subsidence occurs when a large portion of land is displaced vertically, usually due to the withdrawal of groundwater, oil, or natural gas. Soils that are particularly subject to subsidence include those with high silt or clay content. The Project Site is underlain by artificial fill and Quaternary earth materials. The Project Site is not located within an area of known ground subsidence. No large-scale extraction of groundwater, gas, oil, or geothermal energy is occurring or planned at the Project Site or in the general Project Site vicinity. The Project Site is not located over an old mine or a cave and will not induce an earthquake as explained above. Therefore, the Project will not result in subsidence. In addition, groundwater and petroleum are not currently

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<sup>34</sup> State of California, California Geological Survey, Landslide Inventory Map of the Hollywood Quadrangle, April 2013.

<sup>35</sup> City of Los Angeles Department of City Planning, Los Angeles City General Plan Safety Element, Exhibit C, Landslide Inventory & Hillside Areas, Adopted November 1996, page 51.

being extracted from the Project Site and would not be extracted as part of the Project. Thus, subsidence as a result of such activities would not occur. Furthermore, safe construction practices would be exercised through required compliance with the Building Code and conditions of approval provided by LADBS, which includes building foundation requirements appropriate to Project Site conditions.

Subsurface explorations, or borings, were performed by a hollow stem drill rig excavating into the underlying earth materials. Explorations were excavated to a maximum depth of 201 feet. The location of the borings are shown on the plot map in the Geotechnical Report and detailed descriptions of the earth materials encountered during the field exploration are provided in Appendix I to the Geotechnical Report (Appendix B of this Initial Study). Artificial fill was encountered during the geotechnical investigation on the Project Site in all four borings. Fill generally consists of sand to clayey silt with sand. The fill is likely the result of past grading or construction activities at the Project Site. Native soil was encountered beneath the fill. The Geotechnical Report recommends that the proposed building be supported on foundations that are embedded into alluvium. The Project would be required to incorporate this and all other recommendations of the Geotechnical Report as part of the Project approval and building permit process.

The Project in and of itself does not propose injection of water into the soils nor would it trigger an earthquake. The Project would not be located on a geologic unit or on soil that is unstable, or that would become unstable as a result of the Project, and potentially result in an on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse. Therefore, impacts related to soil stability would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Be located on expansive soil, as defined in Table 18 1 B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?**

**Less Than Significant Impact.** Expansion and contraction of volume can occur when expansive soils undergo alternating cycles of wetting (swelling) and drying (shrinking). During these cycles, the volume of the soil changes markedly, and can cause structural damage to buildings and infrastructure. Expansive soil was not encountered during the geotechnical site investigation. Nonetheless, construction of the Project would comply with the California Building Code and Los Angeles Building Code, which include building foundation requirements appropriate to site-specific conditions, the recommendations enumerated in the Geotechnical Report, and the conditions of approval from LADBS Grading Division. As such, the Project is not located on expansive soil conditions and consequently would not create direct or indirect risks to life or property would be created. Therefore, impacts would be less than significant with respect to expansive soils, and no mitigation measures are necessary. No further evaluation of this topic is required in the EIR.

**e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?**

**No Impact.** The Project Site is located in a developed area of the City, which is served by a wastewater collection, conveyance, and treatment system operated by the City. The Project would connect to the existing wastewater system. No septic tanks or alternative disposal systems are

necessary, nor are they proposed. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR

**f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?**

**Potentially Significant Impact.** The Project Site is relatively flat, completely paved, and does not contain any unique geological features. There are no known paleontological resources within the Project Site.<sup>36</sup> Although the Project Site has been previously disturbed and developed since the 1890s, and no paleontological resources have been identified on site or in the vicinity, the Project Site and surroundings are within an area identified as having surface sediments with unknown fossils potential.<sup>37</sup> In addition, the Project would require additional ground disturbance that would likely involve deeper excavation than previously performed at the site into native soils that may contain paleontological resources and impacts may be significant and the Project’s potential to directly or indirectly destroy a unique paleontological resource or site or unique geologic feature will be further evaluated in the EIR.

**VIII. GREENHOUSE GAS EMISSIONS**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?**

**Potentially Significant Impact.** Greenhouse gas (GHG) emissions refer to a group of emissions that are believed to affect global climate conditions. These gases trap heat in the atmosphere and the major concern is that increases in GHG emissions are causing global climate change. Global climate change is a change in the average weather on the earth that can be measured by wind patterns, storms, precipitation, and temperature. The construction and operation of the Project would have the potential to generate GHG emissions, either directly or indirectly. Therefore,

<sup>36</sup> City of Los Angeles, Citywide General Plan Framework Final Environmental Impact Report, certified August 2001, Figure CR-2 – Vertebrate Paleontological Resources in the City of Los Angeles, page 2.15-4.

<sup>37</sup> City of Los Angeles, Citywide General Plan Framework Final Environmental Impact Report, certified August 2001, Figure CR-3 – Invertebrate Paleontological Resource Sensitivity Areas in the City of Los Angeles, page 2.15-5.

impacts may be significant and the Project's generation of GHG emissions will be further evaluated in the EIR.

**b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?**

**Potentially Significant Impact.** The construction and operation of the Project would have the potential to generate GHG emissions, which may be inconsistent or in some way represent a substantial hindrance to employing the policies or obtaining the goals of GHG-reduction plans. Therefore, impacts may be significant and the Project's consistency with applicable plans, policies, and regulations adopted for the purpose of reducing the emission of greenhouse gases will be further evaluated in the EIR.

**IX. HAZARDS AND HAZARDOUS MATERIALS**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?**

**Less Than Significant Impact.** The types and amounts of hazardous materials that would be used in connection with the Project would be typical of those used in other hotel, residential, and commercial developments (e.g., cleaning solvents, pesticides for landscaping, painting supplies, and petroleum products). Construction of the Project would also involve the temporary use of potentially hazardous materials, including vehicle fuels, paints, oils, and transmission fluids. However, all potentially hazardous materials would be contained, stored, and used in accordance with manufacturers' instructions and handled in compliance with applicable federal, State, and local regulations. Any associated risk would be adequately reduced to a less-than-significant level through compliance with these standards and regulations. Thus, the Project would not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials. Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?**

**Less Than Significant Impact.** Due to the age of the existing hotel and commercial structures and potentially hazardous past industrial and auto-related uses that may have been associated with the Project Site, hazardous materials could be present on-site. Due to the age of the on-site buildings, asbestos-contained materials (ACMs) and lead-based paints (LBPs) may also be present in the existing buildings. Moreover, the Project Site is located within a designated Methane Zone, which indicates a potential for methane intrusions emanating from geologic formations.<sup>38</sup>

During construction, any ACMs would be removed by a licensed abatement contractor in accordance with all federal, State and local regulations prior to demolition. Mandatory compliance with applicable federal and State standards and procedures would reduce risks associated ACMs to acceptable levels.

<sup>38</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

With respect to LBP, the contractor will comply with the OSHA Lead In Construction Standard and Cal/OSHA Construction Safety Orders, Lead Section 1532.1, Title 8, California Code of Regulations. Mandatory compliance with applicable federal and State standards and procedures would reduce risks associated with LBP to acceptable levels.

With respect to methane, the City adopted Ordinance No. 175,790 in March 2004. The Ordinance includes information describing the test protocols, design parameters, and installation procedures for the methane gas mitigation systems; and requires mitigation for methane gas intrusion into buildings located within a Methane Zone or Methane Buffer Zone as established under Sections 91.7101 et seq. of the Los Angeles Municipal Code. The Methane Investigation (Appendix C of this Initial Study) prepared for the Project Site in accordance with the City's regulations found no detectible reading of methane during the testing conducted at the Project Site as part of the investigation. With less than two inches of water-column gas pressure, the Project falls under Design Level III (see Table 1A in Appendix C), requiring compliance with the appropriate regulatory measures pursuant to the LAMC.<sup>39</sup> Therefore, compliance with the regulations governing methane gas and methane zones in the City (Section 91.7103 of the LAMC) would ensure that potential impacts would be less than significant.

The Phase I Environmental Site Assessment (Phase I) conducted by Alpha Environmental on September 23, 2015 determined that the Site was historically utilized for industrial/commercial purposes including auto repair, gasoline station, car wash, and wholesale distribution. Based on this historic data, and because the former gasoline station was considered a recognized environmental condition (REC), a Phase II Environmental Site Assessment (Phase II) was conducted by Andersen Environmental on November 13, 2015 (see Appendix D of this Initial Study for both the Phase I and Phase II). The Phase II included a geophysical survey in select areas of the Project Site and four borings in an attempt to evaluate if historical operations have significantly impacted the subsurface.

The likely former locations of underground storage tanks (USTs) and dispenser islands associated with the previous gasoline station were identified by the geophysical survey. Four soil borings were advanced in the area to a maximum depth of 10 feet below ground surface (bgs), and one soil sample from each boring was collected and analyzed for total petroleum hydrocarbons with carbon chain characterization (TPHcc). A soil vapor probe was installed in each boring, and soil vapor samples were collected from all probes for volatile organic compounds (VOCs) analysis.

As discussed in additional detail in the Phase II (see Appendix D of this Initial Study), the assessment did not detect any petroleum hydrocarbons in soil. Two VOCs (methylene chloride and styrene) were detected at low concentrations. California Human Health Screening Levels (CHHSLs) have not been established for these VOCs, which are low-priority pollutants and not typically drivers in vapor intrusion investigations. Furthermore, since the detected concentrations are almost an order of magnitude below the Regional Screening Levels (RSLs) that have been

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<sup>39</sup> It should be noted that while the methane investigation (Appendix C) refers to the Project requiring a "passive methane mitigation system," a project's design pursuant to the appropriate methane mitigation system based on the LAMC's methane testing requirements is a regulatory compliance measure, and does not constitute an actual measure to mitigate a potentially significant project-specific impact under CEQA. Therefore, the requirement for a passive methane mitigation system does not constitute a mitigation measure.



established by the US Environmental Protection Agency (USEPA) for Industrial Air, their presence is not considered to represent a risk to human health.

Based on the investigative results of the Phase II indicating the absence of USTs, the presence of only low concentrations of VOCs that do not pose an unacceptable risk to human health, or evidence that an on-Site release has significantly impacted the subsurface, the Phase II did not recommend any further action or mitigation.

Compliance with the regulations governing ACMs, LBPs, methane gas and methane zones in the City (Section 91.7103 of the LAMC) would ensure that potential impacts would be less than significant; no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?**

**No Impact.** There are no existing or planned school sites within a quarter-mile of the Project Site. The nearest school to the Project Site is Alliance Dr. Olga Mohan High School at 644 West 17<sup>th</sup> Street, approximately 0.37 miles to the southwest. Construction of the Project would involve the temporary use of potentially hazardous materials, including vehicle fuels, paints, oils, and transmission fluids, and project operation would involve the limited use of hazardous materials typically used in the maintenance of mixed-use projects incorporating hotel, residential, and commercial uses (e.g., cleaning solutions, solvents, pesticides for landscaping, painting supplies and petroleum products). However, all potentially hazardous materials would be used, stored, and disposed of in accordance with manufacturers' specifications and in compliance with applicable federal, State, and local regulations. As such, the use of such materials would not create a significant hazard to any nearby schools, albeit none are within a quarter-mile. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?**

**Less Than Significant Impact.** California Government Code Section 65962.5 requires various State agencies to compile lists of hazardous waste disposal facilities, unauthorized releases from underground storage tanks, contaminated drinking water wells and solid waste facilities where there is known migration of hazardous waste and submit such information to the Secretary for Environmental Protection on at least an annual basis.

As identified by the Phase I conducted for the Project Site, the Project Site is listed on multiple databases researched by Environmental Data Resources, Inc., including Environmental Data Resources' proprietary database of historic gas stations (EDRUS Hist Auto Stat) and Resource and Recovery Conservation Act's Database of Small Quantity Generators (RCRA-SQG).<sup>40</sup> Based on this historic data, and because the former gasoline station was considered a recognized environmental condition (REC), a Phase II Environmental Site Assessment (Phase II) was

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<sup>40</sup> Phase I Environmental Site Assessment of 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard Los Angeles, California, Alpha Environmental, September 23, 2015, page 44.

conducted by Andersen Environmental on November 13, 2015 (see Appendix D of this Initial Study for both the Phase I and Phase II). The Phase II included a geophysical survey in select areas of the Project Site and four borings in an attempt to evaluate if historical operations have significantly impacted the subsurface.

As discussed above under question (d), the likely former locations of underground storage tanks (USTs) and dispenser islands associated with the previous gasoline station were identified by the geophysical survey. Four soil borings were advanced in the area to a maximum depth of 10 feet below ground surface (bgs), and one soil sample from each boring was collected and analyzed for total petroleum hydrocarbons with carbon chain characterization (TPHcc). A soil vapor probe was installed in each boring, and soil vapor samples were collected from all probes for volatile organic compounds (VOCs) analysis.

As discussed in additional detail in the Phase II (see Appendix D of this Initial Study), the assessment did not detect any petroleum hydrocarbons in soil. Two VOCs (methylene chloride and styrene) were detected at low concentrations. California Human Health Screening Levels (CHHSLs) have not been established for these VOCs, which are low-priority pollutants and not typically drivers in vapor intrusion investigations. Furthermore, since the detected concentrations are almost an order of magnitude below the Regional Screening Levels (RSLs) that have been established by the US Environmental Protection Agency (USEPA) for Industrial Air, their presence is not considered to represent a risk to human health.

Based on the investigative results of the Phase II indicating the absence of USTs, the presence of only low concentrations of VOCs that do not pose an unacceptable risk to human health, or evidence that an on-Site release has significantly impacted the subsurface, the Phase II did not recommend any further action or mitigation. Therefore, the Project would not create a significant hazard to the public or the environment; no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?**

**No Impact.** The Project Site is not located within any airport's influence area nor within two miles of an existing airport.<sup>41</sup> The nearest airports are Santa Monica Airport, approximately 10 miles to the west of the Project Site, and Los Angeles International Airport, approximately 10 miles southwest of the Project Site. Therefore, no safety hazards or excessive noise from airports would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?**

**Less Than Significant Impact.** According to the Safety Element of the City of Los Angeles General Plan, the Project Site is located approximately 800 feet to the west of Figueroa Street, a

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<sup>41</sup> Los Angeles County Airport Land Use Commission, Airports and Airport Influence Areas, June 2012, website:[http://planning.lacounty.gov/assets/upl/project/ALUC\\_Airports\\_June2012\\_rev2d.pdf](http://planning.lacounty.gov/assets/upl/project/ALUC_Airports_June2012_rev2d.pdf), accessed: May 2018.

designated disaster route, which may be utilized for an evacuation route during an emergency.<sup>42</sup> Project construction activities would not require temporary street and/or lane closure(s) on Figueroa Street as far as 800 feet from the Project Site. If lane closures are necessary to local streets adjacent to the Project Site, the remaining travel lanes would be maintained in accordance with standard construction management plans that would be implemented to ensure adequate emergency access and circulation. With regards to operation, the Project would comply with access requirements from the Los Angeles Fire Department (LAFD) and would not impede emergency access within the Project vicinity. Therefore, the Project would not cause an impediment along the City's designated disaster routes or impair the implementation of the City's emergency response plan. Impacts related to the implementation of the City's emergency response plan would be less than significant, and no mitigation measures would be required. No further analysis of this topic is required in the EIR.

**g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?**

**Less Than Significant Impact.** The Project Site is located within Fire District No. 1, which is an area of the City wherein additional developmental regulations are required to be implemented to address fire hazards.<sup>43</sup> Additional developmental regulations include adding a roof covering; building with walls, floors, roofs, and supporting structural members that have a minimum of one-hour fire-resistance-rated constructions; and other provisions detailed in Volume 2, Chapter 72, Section 7204 of the Los Angeles Building Code. However, the Project Site is located within a highly developed area of the City and does not include wildlands or high fire hazard terrain or vegetation. The Project Site is not within a Very High Fire Hazard Severity Zone,<sup>44</sup> nor is the Project Site or surrounding area within a wildland fire hazard area.<sup>45</sup> Therefore, the Project would not directly or indirectly expose people or structures to a significant risk of loss, injury, or death as a result of exposure to wildland fires. Impacts related to wildland fires would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

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<sup>42</sup> Los Angeles County Department of Public Works, Disaster Route Maps, City of Los Angeles Central Area, website: <http://dpw.lacounty.gov/dsg/disasterRoutes/map/Los%20Angeles%20Central%20Area.pdf>, accessed: May 2018.

<sup>43</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>44</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>45</sup> City of Los Angeles Department of City Planning, General Plan Safety Element, Exhibit D, Selected Wildlife Hazard Areas in the City of Los Angeles, Adopted November 1996, page 53.

## X. HYDROLOGY AND WATER QUALITY

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:				
i. Result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv. Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?

**Less Than Significant Impact.** The Los Angeles Regional Water Quality Control Board (LARWQCB) issued a Municipal Storm Water NPDES Permit (No. CAS004001) in December 2001 that requires new development and redevelopment projects to incorporate storm water

mitigation measures. Under the Municipal Storm Water NPDES Permit, redevelopment is defined as any land-disturbing activity that “results in the creation, addition, or replacement of 5,000 sf or more of impervious surface area on an already developed site.”<sup>46</sup> Depending on the type of project, either a Standard Urban Stormwater Mitigation Plan (SUSMP) or a Site Specific Mitigation Plan is required to reduce the quantity and improve the quality of rainfall runoff that leaves the project site. SUSMPs are required for the following uses:

- Single-Family Hillside Residences over one acre
- Housing developments (including single-family homes, multi-family homes, condominiums, and apartments) of ten or more units
- Industrial/Commercial developments of one acre or more of impervious surface area
- Automotive service facilities (SIC 5013, 5014, 5541, 7532-7534, and 7536-7539)
- Retail gasoline outlets
- Restaurants (SIC 5812)
- Parking lots with 5,000 square feet or more of surface area, including accessory driveways, or with 25 or more parking spaces
- Projects located in, adjacent to, or discharging directly to a designated Environmentally Sensitive Area (ESA)

The Project would be required to implement a SUSMP. The Project does not include any point-source discharge (discharge of polluted water from a single point such as a sewage-outflow pipe). Additionally, for construction activities, the Applicant would be required to prepare and implement a SUSMP, in accordance with Chapter IX, Division 70 of the LAMC and the NPDES General Permit for Discharges of Storm Water Associated with Construction Activity. The SUSMP would detail the treatment measures and Best Management Practices (BMPs) to control pollutants and an erosion control plan that outlines erosion and sediment control measures that would be implemented during the construction and post-construction phases of Project development. As Project construction would disturb more than one acre of soil, the Project would be required to obtain coverage under the NPDES Construction General Permit (Order No. 2012-0006-DWQ) pursuant to NPDES requirements. In accordance with NPDES requirements, a Storm Water Pollution Prevention (SWPP) Plan would be developed and implemented during Project construction. Construction-phase housekeeping measures for control of contaminants such as petroleum products, paints and solvents, detergents, fertilizers, and pesticides would be contained within the project SWPP Plan. The SWPP Plan would contain BMPs to minimize primarily construction-related water quality impacts, but also contains some permanent BMPs. The SUSMP consists of structural BMPs built into the project for ongoing water quality purposes over the life of the Project. The Project would also be required to comply with the City’s Low Impact Development (LID) Ordinance (Ordinance No. 181,899), which promotes the use of natural infiltration systems, evapotranspiration, and the reuse of stormwater. Therefore, impacts

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<sup>46</sup> County of Los Angeles LID Ordinance, Title 12, Section 12.84.

would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?**

**Potentially Significant Impact.** Operation of the Project would use a municipal water supply and does not propose the use of any wells or other means of extracting groundwater. The City also imports the majority of its potable water supply from sources outside the Los Angeles Basin. Though the Project would not extract groundwater or use wells, potential impacts to groundwater resources and supply may result due to the development of the Project. A water resources report for the Project Site would assess and account for potential impacts to groundwater supplies and the local groundwater table. Therefore, impacts may be significant and the Project's potential to substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that sustainable groundwater management may be impeded will be further evaluated in the EIR.

**c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:**

**i. Result in substantial erosion or siltation on- or off-site;**

**Less Than Significant Impact.** There are no streams or rivers that traverse the Project Site. The entire Project Site and the majority of the area surrounding the Project Site is completely developed and would not be susceptible to indirect erosional processes (e.g., uncontrolled runoff) caused by the Project. The Project Site is relatively flat and grading on the site would not alter existing landforms and drainage patterns. As the Project Site is entirely developed, stormwater is conveyed via the existing drainage network on site to curb drains to the west along South Hope Street and to the south along Pico Boulevard. During construction, grading and excavation would expose limited amounts of soils for a limited time, allowing for possible erosion. However, due to the temporary nature of the soil exposure during the grading and excavation processes, no substantial erosion would occur. Furthermore, during this period, the Project would be required to prevent the transport of sediments from the project site by stormwater runoff and winds through the use of appropriate BMPs. These BMPs would be detailed in a SWPPP, which must be acceptable to the City and in compliance with the NPDES Stormwater Regulations.

Long-term operation of the Project would not result in substantial soil erosion or loss of topsoil as the majority of the Project Site would be covered by the structure and paving, while the remaining portions of the Project Site would be covered with irrigated landscaping. The Project's proposed landscaped areas would reduce stormwater runoff and reduce peak flows. No exposed areas subject to erosion would be created or affected by the Project. During operation, the Project would implement BMPs to ensure compliance with SUSMP and LID requirements. Thus, the Project would not alter the existing drainage pattern of the site or surrounding area such that substantial erosion, siltation, or on- or off-site flooding would occur. Therefore, impacts would be less than significant, and no mitigation measures are required. No further analysis of this issue is not required in the EIR.

**ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;**

**Less Than Significant Impact.** There are no streams or rivers that traverse the Project Site. The Project Site is relatively flat and grading on the site would not alter existing landforms and drainage patterns. The Project Site is currently developed with commercial buildings, a hotel, and surface parking areas. The Project Site is not located adjacent to a stream or river. The majority of the area surrounding the Project Site is completely developed and would not be susceptible to indirect erosional processes (e.g., uncontrolled runoff) caused by the Project. The Project Site and vicinity are served by existing storm drains along Hope Street that empty into 18-inch drainage pipes along Pico Boulevard.<sup>47</sup>

During construction, a SUSMP implemented in accordance with Chapter IX, Division 70 of the LAMC and the NPDES General Permit for Discharges of Storm Water Associated with Construction Activity would control the rate and amount of surface runoff from the site. The SUSMP would detail the treatment measures and BMPs to control pollutants and an erosion control plan that outlines erosion and sediment control measures that would be implemented during the construction and post-construction phases of Project development. Construction-phase housekeeping measures for control of contaminants such as petroleum products, paints and solvents, detergents, fertilizers, and pesticides would be contained within the Project SWPP Plan. The SWPP Plan would contain BMPs to minimize primarily construction-related water quality impacts, but also contains some permanent BMPs.

The Project would be required to comply with the City's LID Ordinance and the Project SUSMP. The SUSMP consists of structural BMPs built into the Project for ongoing water quality purposes over the life of the Project. During operation, the Project would be required to control stormwater runoff using best management practices, including site specific measures incorporated into the final Project plans, which would be reviewed by the Bureau of Engineering (BOE) prior to issuance of grading and building permits. Thus, the Project would not substantially increase the rate or amount of surface runoff on the Project site in a manner which would result in flooding on- or off-site. Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or**

**Less Than Significant Impact.** As discussed in 10(a) and 10(c(ii)) above, the Project would be required to control stormwater runoff using best management practices, including site specific measures incorporated into the final Project plans, which would be reviewed by BOE prior to issuance of grading and building permits. Final plan check by BOE would ensure that adequate capacity is available in the storm drain system prior to Project approval. Stormwater runoff would continue to drain into the existing City storm drain system. The Project Site and vicinity are served by existing storm drains that empty into 18-inch pipes along Pico Boulevard. The Applicant would be responsible for providing the necessary storm drain infrastructure improvements to connect

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<sup>47</sup> Navigate LA. Website <http://navigatea.lacity.org/navigatea/>. Accessed August 2018.

with the existing drainage system. Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

#### **iv. Impede or redirect flood flows?**

**No Impact.** According to the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map, the Project Site is within Zone X – Other Areas, which is a designation for areas determined to be outside the 100-year flood hazard area.<sup>48</sup> Thus, the Project Site is not located within a designated 100-year flood plain area, and the Project would not place structures that would impede or redirect flood flows within a 100-year flood plain. Therefore, no impacts related to flooding would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

#### **d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?**

**No Impact.** Inundation of water, including through 100-year storm flooding, tsunami, seiche, can result in the release of pollutants as floodwaters that have encountered such pollutants (such as oil and grease deposits on driving surfaces, trash, and stored chemicals required for cleaning and maintenance) recede. However, according to FEMA Flood Insurance Rate Map, the Project Site is within Zone X – Other Areas, which is a designation for areas determined to be outside the 100-year flood hazard area.<sup>49</sup> In addition, according to the Safety Element of the City General Plan, the Project Site is not located within a flood control basin or within a potential inundation area.<sup>50</sup> The Project Site is also not within an area potentially impacted by a tsunami as the Project Site is approximately 14 miles from the Pacific Ocean.<sup>51</sup> There are also no major water bodies in the vicinity of the Project Site that would put the site at risk of inundation by seiche. As such, no flooding, tsunami, or seiche events which would result in the release of pollutants due to inundation are expected to impact the Project Site. Therefore, no impacts would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

#### **e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?**

**Potentially Significant Impact.** As detailed in 10.(a) above, the Project does not include any point-source discharge (discharge of polluted water from a single point such as a sewage-outflow pipe) and would be required to prepare and implement a SUSMP, in accordance with Chapter IX, Division 70 of the LAMC and the NPDES General Permit for Discharges of Storm Water Associated with Construction Activity. The SUSMP consists of structural BMPs built into the project for ongoing water quality purposes over the life of the Project. Additionally, in accordance with NPDES requirements, a Storm Water Pollution Prevention (SWPP) Plan would be developed and implemented during Project construction. Therefore, the Project would not conflict with or

<sup>48</sup> Federal Emergency Management Agency, Flood Insurance Rate Map, Los Angeles County, California, FEMA Map Number 06037C1620F, effective September 26, 2008, website: <http://msc.fema.gov/portal>, accessed: May 2018.

<sup>49</sup> Federal Emergency Management Agency, Flood Insurance Rate Map, Los Angeles County, California, FEMA Map Number 06037C1620F, effective September 26, 2008, website: <http://msc.fema.gov/portal>, accessed: May 2018.

<sup>50</sup> City of Los Angeles Department of City Planning, General Plan Safety Element, Exhibit G, Inundation & Tsunami Hazard Areas in the City of Los Angeles, Adopted November 1996, page 59.

<sup>51</sup> City of Los Angeles Department of City Planning, General Plan Safety Element, Exhibit G, Inundation & Tsunami Hazard Areas in the City of Los Angeles, Adopted November 1996, page 59.



obstruct implementation of a water quality control plan. Impacts would be less than significant, and no mitigation measures are required.

However, as discussed in 10.(b) above, though the Project would not extract groundwater or use wells, potential impacts to groundwater resources and supply may result due to the development of the Project, particularly during subterranean excavation if groundwater is encountered. Therefore, impacts may be significant and the Project’s potential to substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that sustainable groundwater management may be impeded in conflict with sustainable groundwater management plans will be further evaluated in the EIR.

## XI. LAND USE AND PLANNING

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### a. Physically divide an established community?

**Less Than Significant Impact.** The Project Site is located within the boundaries of the Central City Community Plan, in the highly urbanized South Park district of downtown Los Angeles, and is currently improved with a hotel, three commercial buildings, and a surface parking lot. The Project would renovate and expand the existing hotel, demolish the three existing commercial buildings, and construct a new mixed-use tower containing hotel uses, residential units, and commercial space. The Project would provide a mix of hotel, residential, and commercial retail/restaurant uses. As such, the Project would be an infill Project providing uses in keeping with the mixed-use character of the surrounding area. The Project Site is bound by a commercial industrial building to the north, an alleyway, mixed-use residential, commercial, and surface parking to the east, Pico Boulevard and mixed-use residential to the south, and Hope Street, commercial industrial uses, and a surface parking to the west. All proposed development would occur within the boundaries of the Project Site as it currently exists. The majority of the Central City Community Plan area consists of a mix of commercial and industrial uses, with multi-family residential, public facilities, and open space located in smaller pockets in the area. Given its infill character, the Project would not introduce land uses that are inconsistent with development in the local area or affect existing land use relationships. Therefore, the Project would not physically divide an established neighborhood or community and related impacts would be less than significant, and no mitigation measures would be required. No further evaluation of this topic is required in the EIR.

**b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?**

**Potentially Significant Impact.** The Project Site is located in the Central City Community Plan Area, the Los Angeles State Enterprise Zone, the Greater Downtown Housing Incentive Area, the Adaptive Reuse Incentive Area, and the City Center Redevelopment Project Area. The Project requires several discretionary approvals including a Vesting Tentative Tract, Site Plan Review, Conditional Use Permits, and a parking reduction. Therefore, impacts may be significant and a consistency analysis of the Project’s entitlements and approvals with applicable land use plans, policies, and regulations will be further evaluated in the EIR.

**XII. MINERAL RESOURCES**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?**

**Less Than Significant Impact.** The Project Site is located within the boundaries of the State-designated LA Downtown Oil Field; <sup>52</sup> however, the Project Site is fully developed and no oil wells are present.<sup>53, 54</sup>

The Project Site is also located within an MRZ-2 Zone.<sup>55</sup> MRZ-2 sites contain potentially significant sand and gravel deposits which are to be conserved; however, much of the area within the MRZ-2 sites in the City was developed with structures prior to the MRZ-2 classification and, therefore, is unavailable for extraction (e.g., the Project Site). <sup>56</sup> The Project Site has been

<sup>52</sup> City of Los Angeles Department of City Planning, Los Angeles City General Plan Safety Element, Exhibit E, Oil Field and Oil Drilling Areas, Adopted November 1996, page 55.  
<sup>53</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.  
<sup>54</sup> California Department of Conservation, Division of Oil, Gas & Geothermal Resources, Well Finder, website: <https://maps.conservation.ca.gov/doggr/wellfinder/#close>, accessed May 2018.  
<sup>55</sup> City of Los Angeles Department of City Planning, Los Angeles City General Plan Conservation Element, Exhibit A, Mineral Resources, Adopted September 2001.  
<sup>56</sup> City of Los Angeles Department of City Planning, Los Angeles City General Plan Conservation Element, Exhibit A, Mineral Resources, Adopted September 2001.

developed with a hotel and three commercial buildings as early as 1914 and is not used for oil or mineral extraction. The Project would not affect any extraction activities associated with the LA Downtown Oil Field as the Project would not involve, directly or indirectly, the extraction of oil or the removal of existing oils wells. Existing wells within the LA Downtown Oil Field would continue extraction activities unaffected by the construction and operation of the Project, and there would be no impact on existing or future regionally important mineral extraction sites. Furthermore, the Project would not involve mineral extraction activities, nor are any such activities presently occurring on the Project Site. Therefore, impacts related to mineral resources would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?**

**Less Than Significant Impact.** The Project Site is within the State-designated boundaries of the LA Downtown Oil Field and an MRZ-2 Zone. However, there are no oil extraction operations, drilling, or mining of mineral resources at the Project Site. Moreover, existing wells associated with the LA Downtown Oil Field would continue extraction activities unaffected by the construction and operation of the Project. Therefore, development of the Project would not result in the loss of availability of a mineral resource that would be of value to the residents of the State or a locally-important mineral resource, or mineral resource recovery site, as delineated on a local general plan, specific plan, or land use plan. Therefore, impacts related to availability of a locally-important mineral resource recovery site would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**XIII. NOISE**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project result in:				
a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Generation of excessive groundborne vibration or groundborne noise levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?**

**Potentially Significant Impact.** The Project Site is improved with a hotel, three commercial buildings, and a surface parking lot. Existing sources of noise at the Project Site generally consist of noise from commercial and hotel activity, traffic along area roadways, and vehicles using the parking lot. Construction of the Project would require the use of heavy equipment for demolition, grading, excavation and foundation preparation, the installation of utilities, paving, and building construction. During each construction phase there would be a different mix of equipment operating and noise levels would vary based on the amount of equipment in operation and the location of each activity. During operation of the Project, on-site operational noise would be generated by heating, ventilation, air conditioning (HVAC) equipment installed for the new structures, and by use of outdoor amenity areas. Therefore, implementation of the Project has the potential to result in an increase in ambient noise levels during both construction and operation. The EIR will describe the existing noise environment, and the potential increases in noise in the project area from construction equipment including peak estimated construction noise levels that could occur at the nearest sensitive uses during construction of the Project, and from operation of the Project including noise generated by on-site equipment or increase in traffic.

Construction and operation of the Project would increase both temporary and long-term noise, which could exceed City noise standards. Therefore, impacts may be significant and the Project's potential to generate temporary or permanent increase in ambient noise will be further evaluated in the EIR.

**b. Generation of excessive groundborne vibration or groundborne noise levels?**

**Potentially Significant Impact.** Vibration is sound radiated through the ground. The rumbling sound caused by the vibration of surfaces is called groundborne noise. The construction of the Project, including excavation and grading activities, may generate groundborne vibration and groundborne noise and could therefore result in adverse impacts related to building damage or human annoyance. Therefore, impacts may be significant and the Project's potential to generate excessive groundborne vibration or noise levels will be further evaluated in the EIR.

**c. For a project located within the vicinity of a private airstrip or an airport land use plan, or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?**

**No Impact.** As discussed in response to Checklist Question VIII(e) above, the Project Site is not located within the vicinity of a private airstrip, an airport's influence area, or within two miles of a public or public use airport. The nearest public airports are Santa Monica Airport, approximately 10 miles to the west of the Project Site, and Los Angeles International Airport, approximately 10 miles southwest of the Project Site. Moreover, the Project Site is not located within an existing or

projected noise contour associated with an airport.<sup>57</sup> The nearest private airstrip is located at the Goodyear Blimp Base Airport in the City of Carson, approximately 13 miles south from the Project Site. Therefore, no impacts related to airport noise would occur, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

#### XIV. POPULATION AND HOUSING

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?**

**Potentially Significant Impact.** The Project would include approximately 135 residential units, 450 hotel guest rooms, a basement bar and lounge, a ground floor restaurant and bar, additional restaurant and retail space, meeting room space, and pools and amenities. The Project would generate new residents on-site as well as employees at the hotel and within the commercial spaces. Therefore, impacts may be significant and the Project’s potential to induce substantial unplanned population growth in an area will be further evaluated in the EIR.

**b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?**

**Potentially Significant Impact.** A significant impact may occur if a project would result in displacement of existing housing units, including people within occupied housing units, necessitating construction of replacement housing elsewhere. The existing hotel on the Project Site has 111 Single Room Occupancy (SRO) units and has been unoccupied since 2008. Consistent with the settlement agreement in *Wiggins v. Board of Directors of the Community Redevelopment Agency of the City of Los Angeles* (Case No. BC 276472 r/t BC 277539) (the “Wiggins Settlement Agreement”) and Development Guidelines and Controls for Residential Hotels in the City Center and Central Industrial Redevelopment Project Areas, replacement units

<sup>57</sup> Los Angeles County Airport Land Use Commission, Los Angeles County Airport Land Use Plan, Airport Influence Area figures, adopted December 19, 1991, revised December 4, 2004; website: <http://planning.lacounty.gov/view/alup/>; accessed: May 2018.

will be provided for under a Replacement Housing Plan (RHP). The RHP will be submitted to the Community Redevelopment Agency of the City of Los Angeles (CRA/LA) Board of Commissioners for approval prior to issuance of building permits for the Project. The location, design, and construction and/or rehabilitation of the replacement units will occur following and separate from the City's approval of the Project. Therefore, impacts may be significant and the Project's potential to displace substantial numbers of people and housing will be further evaluated in the EIR.

## XV. PUBLIC SERVICES

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Fire protection?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Police protection?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other public facilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### a. Fire protection?

**Potentially Significant Impact.** The nearest fire station to the Project Site is Fire Station 10, located at 1335 South Olive Street, approximately 0.4 miles to the southeast of the Project Site. Fire Station 9 is located at 430 East 7<sup>th</sup> Street, approximately 1.3 miles northeast of the Project Site. The Project would include approximately 135 residential units, 450 hotel guest rooms, a basement bar and lounge, a ground floor restaurant and bar, additional restaurant and retail space, meeting room space, and pools and amenities, which would generate new residents, employees, and visitors on the Project Site. The redevelopment of the Project Site and subsequent increase in on-site population could increase the number of emergency calls to LAFD. Therefore, impacts may be significant and the Project's potential to result in a substantial adverse physical impact related to Fire Protection Services will be further evaluated in the EIR.

### b. Police protection?

**Potentially Significant Impact.** The Project Site is serviced by the Central Community Police Station, located at 251 East 6<sup>th</sup> Street, Los Angeles, CA 90014, approximately one-mile northeast

of the Project Site. The Project Site is located in Reporting District 182 (Central Area). The Project would include approximately 135 residential units, 450 hotel guest rooms, a basement bar and lounge, a ground floor restaurant and bar, additional restaurant and retail space, meeting room space, and pools and amenities on the Project Site, which would generate new residents, employees, and visitors on the Project Site. The redevelopment of the Project Site and subsequent increase in on-site population could increase the number of service calls to LAPD from the Project Site, as well as responses to thefts, vehicle burglaries, vehicle damage, traffic-related incidents, and crimes against persons could potentially increase as a result of the increased on-site activity and increased traffic on adjacent streets and arterials. Therefore, impacts may be significant and the Project’s potential to result in a substantial adverse physical impact related to Police Protection Services will be further evaluated in the EIR.

**c. Schools?**

**Less Than Significant Impact.** As shown in Table 3-1 below, the Los Angeles Unified School District (LAUSD) schools that serve the Project Site include 9<sup>th</sup> Street Elementary School, John H. Liechty Middle School, and, as the Project Site is within the Belmont Zone of Choice, students in this zone have the choice of attending Miguel Contreras Learning Complex, Ramon C. Cortines School of Visual & Performing Arts, Belmont Senior High, and Edward R. Roybal Learning Center.

**Table 3-1  
LAUSD Schools Serving the Project Site**

School Type (Grade)	School Name	Location	Distance from the Project Site
Elementary School (Grades K-6)	9 <sup>th</sup> Street	835 Stanford Avenue	1.5 miles
Middle School (Grades 7-8)	John H. Liechty	650 S. Union Avenue	1.6 miles
Senior High School (Grades 9-12)	Miguel Contreras Learning Complex	322 Lucas Avenue	1.7 miles
Senior High School (Grades 9-12)	Ramon C. Cortines School of Visual & Performing Arts	450 N. Grand Avenue	2.3 miles
Senior High School (Grades 9-12)	Belmont Senior High	1575 W. 2nd Street	2.1 miles
Senior High School (Grades 9-12)	Edward R. Roybal Learning Center	1200 Colton Street	2.9 miles
<i>Source: LAUSD Resident School Finder, website: <a href="http://rsi.lausd.net/ResidentSchoolIdentifier/">http://rsi.lausd.net/ResidentSchoolIdentifier/</a>, Accessed: November 2018.</i>			

The Project would include approximately 135 residential units, 450 hotel guest rooms, a basement bar and lounge, a ground floor restaurant and bar, additional restaurant and retail space, meeting room space, and pools and amenities on the Project Site, which would generate new residents, employees, and visitors on the Project Site. During construction, construction workers are not likely to relocate their households as a consequence of the construction job opportunities presented by the Project because construction workers move from construction site to construction site throughout the region. However, with the construction of 135 residential units, future Project residents may have school-aged children that could generate increased demand on LAUSD schools currently serving the Project Site. As shown in Table 3-2, below, using the applicable LAUSD student generation rates for the Project’s land uses, the Project would generate

approximately 56 new students consisting of 31 elementary school students, 8 middle school students, and 17 high school students.

**Table 3-2  
Estimated Project Student Generation**

Land Use	Size	Students Generated <sup>a, b</sup>		
		Elementary (K-6)	Middle School (7-8)	High School (9-12)
Residential Units	135 units	31	8	17
<sup>a</sup> Based on Student Generation factors provided in the Los Angeles Unified School District, Level 1 Developer Fee Study, March 2017 <sup>b</sup> Rounded to the nearest whole number. Source (table): EcoTierra Consulting, 2018.				

Although it is likely that some of the students generated by the Project would already be enrolled in LAUSD schools, charter, or private schools, for a conservative analysis, it is assumed that all students generated by the Project would be new to the school district.

The Leroy F. Greene School Facilities Act of 1998 (SB 50) sets a maximum level of fees a developer may be required to pay to mitigate a project’s impacts on school facilities. The maximum fees authorized under SB 50 apply to zone changes, general plan amendments, zoning permits and subdivisions. Development fees are required to be paid pursuant to development conditions of approval. Pursuant to SB 50, the payment of these school fee amounts provided for in Government Code Sections 65995, 65995.5, and 65995.7 would constitute full and complete mitigation for school facilities. That is to say, SB 50 states that the exclusive method of mitigating the impact of school facilities according to CEQA is to pay the maximum school fees and that such fees are “deemed to provide full and complete school facilities mitigation” related to the adequacy of school facilities when considering approval or the establishment of conditions for the approval of a development project (Government Code 65996[a] and [b]).

Pursuant to California Government Code Section 65995.5-7, the LAUSD has Level 1 Fees on for new residential and commercial construction, based on square footage, within the boundaries of the LAUSD. Accordingly, project applicant(s) are required to pay school fees to LAUSD to offset the impact of additional student enrollment at schools serving the project area.

Pursuant to State law, payment of the school fees established by the LAUSD in accordance with existing rules and regulations regarding the calculation and payment of such fees, would, by law, mitigate the Project’s impacts on any schools. Thus, impacts on school facilities during Project construction would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Parks?**

**Less Than Significant Impact.** As shown on Figure 3-1, Parks and Recreational Facilities within Two-Mile Radius, there are no existing parks or recreational facilities currently located on the Project site or within the immediate surrounding area. The Project would generate new residents, employees, and visitors on the Project Site. Based on the total number of residential units proposed, the Project is required to provide 15,525 square feet of open space pursuant to LAMC Section 12.21 G.2. The Project would meet this requirement by providing 11,450 square feet of outdoor common open space, 2,167 square feet of indoor common open space via a recreation

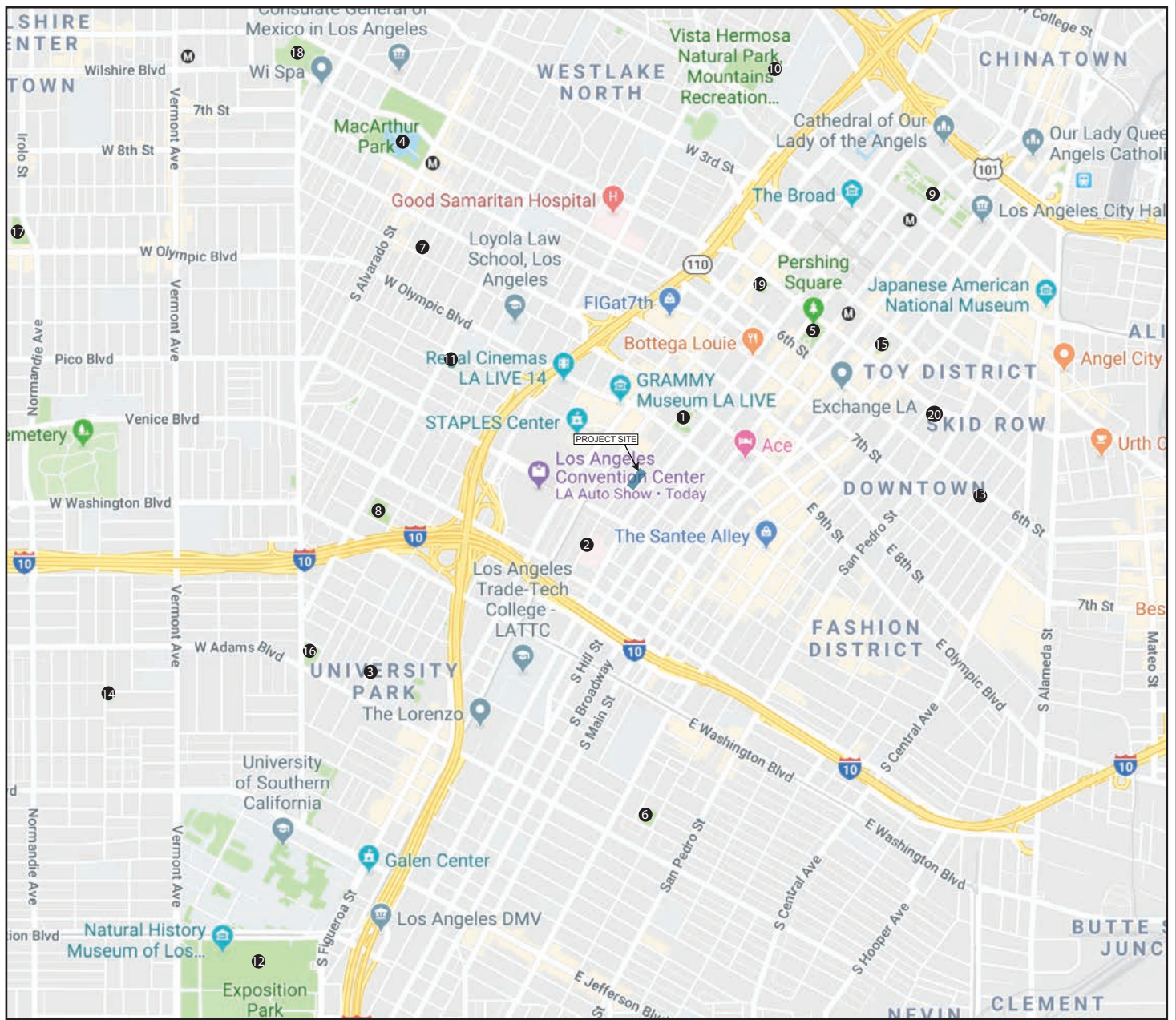


room, and 3,750 square feet of private residential balconies, for a total of 16,278 square feet of usable open space. The Project would provide up to approximately 25,202 square feet of amenity space (covered and uncovered) throughout levels 2, 3, 13, 14, and 27, thus offsetting the need for additional park or recreational facilities in the area. Also refer to Figures 2-28 through 2-35 in Project Description, for open space illustrations.

In addition, the City's new Park Fee Ordinance became effective on January 11, 2017. The Ordinance amends Sections 12.21, 12.33, 17.03, 17.12 and 17.58 of the LAMC, deletes Sections 17.07 and 19.01 of the LAMC, and adds Section 19.17 of the LAMC. The Ordinance increases Quimby fees, provides a new impact fee for non-subdivision projects, eliminates the deferral of park fees for market rate projects that include residential units, increases the fee spending radii from the site from which the fee is collected, provides for early City consultation for subdivision projects or projects with over 50 units in order to identify means to dedicate land for park space, and updates the provisions for credits against park fees. In addition, pursuant to LAMC Section 21.10.3(a)(1) (Dwelling Unit Construction Tax), the City imposes a tax of \$200 per dwelling unit on the construction of all new dwelling units and modification of existing dwelling units to be paid to the Department of Building and Safety. These taxes are placed into a "Park and Recreational Sites and Facilities Fund" to be used exclusively for the acquisition and development of park and recreational sites.

Furthermore, LAMC Section 17.12, the City's parkland dedication ordinance enacted under the Quimby Act, provides a formula for satisfying park and recreational uses for residential subdivisions through parkland dedication, payment of in-lieu fees, and/or provision of on-site open space, subject to determination by the Advisory Agency. Implementation of regulatory requirements would ensure that impacts to parks would be less than significant through compliance with applicable LAMC requirements related to the provision and/or funding of parks and recreational spaces. Therefore, impacts would be less than significant no mitigation measures are required and no further evaluation of this topic is required in the EIR.

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- |   |  |
|---|--|
| 1: Grand Hope Park: 919 S. Grand Avenue                 | 11: Plunge City Park: 1300 W. Olympic Boulevard              |
| 2: Work Park: 1338 S. Hope Street                       | 12: Exposition Park: 700 Exposition Park Drive               |
| 3: St. James Park: Adams Boulevard and Severance Street | 13: Gladys Park: 808 E. 6th Street                           |
| 4: MacArthur Park: 2230 6th Street                      | 14: Richardson Family Park: 2700 S. Budlong Avenue           |
| 5: Pershing Square: 532 S. Olive Street                 | 15: Spring Street Park: 428 S. Spring Street                 |
| 6: Trinity Park: 2415 Trinity Street                    | 16: Hoover Recreation Center: 101 W. 25th Street             |
| 7: Hope and Peace Park: 843 S. Bonnie Brae Street       | 17: Seoul International Park: 3250 San Marino Street         |
| 8: Toberman Park: 1725 Toberman Street                  | 18: Lafayette Recreation Center: 625 S. Lafayette Park Place |
| 9: Grand Park: 200 N. Grand Avenue                      | 19: Maguire Gardens: S. Flower Street                        |
| 10: Vista Hermosa Natural Park: 100 N. Toluca Street    | 20: San Julian Park: 312 E. 5th Street                       |

■ Project Site

Source: Google Maps, December 2018.



Figure 3-1  
Parks and Recreational Facilities within Two-Mile Radius

**e. Other public facilities?**

**Potentially Significant Impact.** The Project would generate new residents, employees, and visitors on the Project Site, which could result in an increased demand for library materials and expanded library facilities. In addition to libraries, roadway improvements and/or dedications may be required by the Bureau of Engineering, the construction of which could have an adverse significant impact. Therefore, the Project’s potential to increase demand on public facilities will be further evaluated in the EIR.

**XVI. RECREATION**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facilities would occur or be accelerated?**

**Less Than Significant Impact.** As discussed in Checklist Question 13.(a)(iv) and shown on Figure 3-1, Parks and Recreational Facilities within Two-Mile Radius, there are no existing parks or recreational facilities currently located on the Project site or within the surrounding area. Based on the total number of residential units proposed, the Project is required to provide 15,525 square feet of open space pursuant to LAMC Section 12.21G.2. The Project would meet this requirement by providing 11,450 square feet of outdoor common open space, 2,167 square feet of indoor common open space via a recreation room, and 3,750 square feet of private residential balconies, for a total of 17,367 square feet of usable open space. The Project would also provide up to approximately 25,202 square feet of amenity space (covered and uncovered) throughout levels 2, 3, 1-3, 14, and 27, thus offsetting the need for additional park or recreational facilities in the area. Also refer to Figures 2-28 through 2-35 in Project Description, for open space illustrations. In addition, the City’s new Park Fee Ordinance became effective on January 11, 2017. The Ordinance amends Sections 12.21, 12.33, 17.03, 17.12 and 17.58 of the LAMC, deletes Sections 17.07 and 19.01 of the LAMC, and adds Section 19.17 of the LAMC. The Ordinance increases Quimby fees, provides a new impact fee for non-subdivision projects, eliminates the deferral of park fees for market rate projects that include residential units, increases the fee spending radii from the site from which the fee is collected, provides for early City consultation for subdivision

projects or projects with over 50 units in order to identify means to dedicate land for park space, and updates the provisions for credits against park fees. In addition, pursuant to LAMC Section 21.10.3(a)(1) (Dwelling Unit Construction Tax), the City imposes a tax of \$200 per dwelling unit on the construction of all new dwelling units and modification of existing dwelling units to be paid to the Department of Building and Safety. These taxes are placed into a “Park and Recreational Sites and Facilities Fund” to be used exclusively for the acquisition and development of park and recreational sites.

Furthermore, LAMC Section 17.12, the City’s parkland dedication ordinance enacted under the Quimby Act, provides a formula for satisfying park and recreational uses for residential subdivisions through parkland dedication, payment of in-lieu fees, and/or provision of on-site open space, subject to determination by the Advisory Agency. Implementation of regulatory requirements would ensure that impacts to parks would be less than significant through compliance with applicable LAMC requirements related to the provision and/or funding of parks and recreational spaces. Therefore, impacts related to substantial physical deterioration of parks or other recreational facilities would be less than significant. Therefore, no mitigation measures are required and no further evaluation of this topic is required in the EIR.

**b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?**

**Less Than Significant Impact.** As discussed in Checklist Question 13(a)(iv) and shown on Figure 3-1, Parks and Recreational Facilities within Two-Mile Radius, there are no existing parks or recreational facilities currently located on the Project site or within the surrounding area. Based on the total number of residential units proposed, the Project is required to provide 15,525 square feet of open space pursuant to LAMC Section 12.21G.2. The Project would meet this requirement by providing 11,450 square feet of outdoor common open space, 2,167 square feet of indoor open space via a recreation room, and 3,750 square feet of private residential balconies, for a total of 17,367 square feet of usable open space. The Project would also provide up to approximately 25,202 square feet of amenity space (covered and uncovered) throughout levels 2, 3, 13, 14, and 27, thus offsetting the need for additional park or recreational facilities in the area. Also refer to Figures 2-28 through 2-35 in Project Description, for open space illustrations.

As discussed above, implementation of regulatory requirements would ensure that impacts to parks would be less than significant through compliance with applicable LAMC requirements related to the provision and/or funding of parks and recreational spaces. Therefore, construction or expansion of recreational facilities would not be necessary and impacts would be less than significant.

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## XVII. TRANSPORTATION

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Result in inadequate emergency access?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**a. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?**

**Potentially Significant Impact.** The Project would require the use of a variety of construction vehicles throughout the Project's construction. Typical construction schedules create trips outside of the traffic peak hours. It is anticipated that there would be no hauling during the PM peak hour and that construction workers would arrive at the Project Site prior to the AM peak hour. During Project operation, the Project would generate new residents on the Project Site in addition to on-site employees and visitors of the hotel and commercial spaces, which would result in increased vehicle trips on area roadways that could degrade the existing performance levels of roadway facilities. To address the increasing public concern that traffic congestion is impacting the quality of life and economic vitality of the State of California, the Congestion Management Program (CMP) was enacted by Proposition 111. The CMP designated a transportation network including all State highways and some arterials within the County to be monitored by local jurisdictions. If a standard of measure deteriorates on the CMP network, then local jurisdictions must prepare a deficiency plan to be in conformance with the CMP program. The CMP requires that new development projects analyze potential project impacts on CMP monitoring locations if an EIR is prepared for the project. When a CMP analysis is required, the CMP methodology requires the analysis of traffic conditions at all CMP arterial monitoring intersections where a project would add 50 or more trips during either the AM or PM weekday peak hours. The CMP also requires that traffic studies analyze mainline freeway monitoring locations where a project would add 150

or more trips in either direction during either AM or PM weekday peak hours. The Project would cause traffic and vehicular trips to be directed to the roadway segments and intersections adjacent to and in the vicinity of the Project Site. Therefore, the impact of the Project's additional traffic on CMP intersections and freeway segments may be significant and will further be evaluated in the EIR.

To encourage and facilitate the use of public transportation and bicycle use, the proposed Project would provide approximately 76 short-term bicycle parking spaces and 149 long-term bicycle parking spaces, for a Project total of 225 bicycle parking spaces. This proposed quantity of bicycle parking spaces would comply with LAMC requirements. Nonetheless, operation of the Project would generate new residents, employees, and visitors on the Project Site which may increase the demand for public transit and affect the performance of existing transit conditions in the area. Therefore, the Project's potential impacts may be significant. The Project's consistency with applicable programs, plans, ordinances, and policies related to traffic and circulation, pedestrian flows, mass transit utilization, and bicycle routes will be further evaluated in the EIR.

**b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?** <sup>58</sup>

**Potentially Significant Impact.** To address the increasing public concern that traffic congestion is impacting the quality of life and economic vitality of the State of California, the Congestion Management Program (CMP) was enacted by Proposition 111. The CMP designated a transportation network including all State highways and some arterials within the County to be monitored by local jurisdictions. If a standard of measure deteriorates on the CMP network, then local jurisdictions must prepare a deficiency plan to be in conformance with the CMP program. The CMP requires that new development projects analyze potential project impacts on CMP monitoring locations if an EIR is prepared for the project. When a CMP analysis is required, the CMP methodology requires the analysis of traffic conditions at all CMP arterial monitoring intersections where a project would add 50 or more trips during either the AM or PM weekday peak hours. The CMP also requires that traffic studies analyze mainline freeway monitoring locations where a project would add 150 or more trips in either direction during either AM or PM weekday peak hours. The Project would cause traffic and vehicular trips to be directed to the roadway segments and intersections adjacent to and in the vicinity of the Project Site. Therefore, the impact of the Project's additional traffic on CMP intersections and freeway segments may be significant and will be evaluated further in the EIR.

**c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?**

**Less Than Significant Impact.** The Project proposes a land use that would complement the surrounding urban development and utilizes the existing roadway network. The Project would have two vehicular access points: one from Hope Street and one from the alleyway. This vehicle

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<sup>58</sup> While this Appendix G Checklist Question has been modified by the Natural Resources Agency to address consistency with CEQA Guidelines section 15064.3, subdivision (b), which relates to use of the vehicle miles travelled (VMT) as the methodology for evaluating traffic impact, the City has not yet adopted a VMT methodology to address this updated Appendix G Checklist Question. Thus, the analysis is based on LADOT's adopted methodology under its Transportation Impact Study Guidelines, which requires use of LOS to evaluate traffic impacts of a Project.

access would provide access into the shared parking garage for the Project within the three subterranean parking levels. The Project's driveways would conform to the City's design standards and would provide adequate sight distance, sidewalks, and pedestrian movement controls meeting the City's requirements to protect pedestrian safety. The Project's driveways would also conform to the City's applicable emergency access requirements as set forth by the Department of Transportation (LADOT) and the LAFD. Furthermore, the Project design would be reviewed by the Department of City Planning, LADBS, and the LAFD during the City's plan review process to ensure all applicable requirements are met. Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

**d. Result in inadequate emergency access?**

**Potentially Significant Impact.** Construction of the Project could result in temporary blockage of adjacent street lanes. While it is expected that the majority of construction activities for the Project would be confined on-site, short-term construction activities may temporarily affect emergency access on segments of adjacent streets during certain periods of the day. Therefore, impacts may be significant and the Project's potential to result in inadequate emergency access will be further evaluated in the EIR.

**XVIII. TRIBAL CULTURAL RESOURCES**

Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**a. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is: Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?**

**Potentially Significant Impact.** Assembly Bill 52 (AB 52), signed into law on September 25, 2014, requires lead agencies to evaluate a project's potential to impact Tribal Cultural Resources (TCRs) and establishes a formal notification and, if requested, consultation process for California Native American Tribes as part of CEQA. TCRs include sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American Tribe that are eligible for inclusion in the California Register or included in a local register of historical resources. AB 52 also gives lead agencies the discretion to determine, supported by substantial evidence, whether a resource qualifies as a TCR. Consultation is required upon request by a California Native American tribe that has previously requested that the City provide it with notice of such projects, and that is traditionally and culturally affiliated with the geographic area of a project.

The Project Site is located in a highly urbanized area of the Central City Community Plan Area of the City of Los Angeles, and has been partially disturbed by past development activities. However, the Project would involve the excavation and export of approximately 45,900 cubic yards of on-site soils for the development of three levels of subterranean parking. Thus, the potential exists for the discovery of tribal cultural resources and impacts may be significant. The Project's potential to cause a substantial adverse change in the significant of tribal cultural resources will therefore be further analyzed in the EIR.

**b. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is: A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?**

**Potentially Significant Impact.** Pursuant to AB 52, if a lead agency determines that a project may cause a substantial adverse change to a TCR, the lead agency must consider measures to mitigate that impact. PRC Section 21074 provides a definition of a TCR. In order to be considered a TCR, a resource must be either: 1) listed, or determined to be eligible for listing, on the national, State, or local register of historic resources, or 2) a resource that the lead agency chooses, in its discretion supported by substantial evidence, to treat as a TCR. In the latter instance, the lead agency must determine that the resource meets the criteria for listing in the State register of historic resources or City Designated Cultural Resource. As mentioned above, a TCR includes sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American Tribe that are eligible for inclusion in the California Register or included

in a local register of historical resources. A substantial adverse change to a TCR is a significant effect on the environment under CEQA. Because the Project would include excavation to depths of approximately 31 feet below grade, and thus, not previously disturbed in order to construct three levels of subterranean parking, and given that the AB 52 Tribal notification/consultation process has not been completed to date, this potential impact will be further evaluated in the EIR.

## XIX. UTILITIES AND SERVICE SYSTEMS

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?**

**Potentially Significant Impact.** The Project would increase the demand for water and the generation of wastewater, consequently increasing the demand of treatment facilities compared

to existing conditions such that physical expansion of the treatment facilities or construction of a new treatment facility may be required. In addition, the amount and direction of stormwater flow could be altered by the development of the Project as demolition, rehabilitation and adaptive reuse, and construction of the Project would alter the Project Site. The Project would result in an increase in consumption of electrical power and natural gas during both construction and operation such that existing supply facilities may need to be expanded or relocated. The Project would also require the construction of new on-site telecommunication lines and connection to existing off-site lines. Therefore, impacts may be significant and the Project's potential to increase the demand of treatment facilities, require or result in new facilities, and to result in significant environmental effects resulting from expansion or relocation of electrical and natural gas supply facilities will be further evaluated in the EIR.

**b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?**

**Potentially Significant Impact.** The demand for water on the Project Site would increase with the development of approximately 135 residential units, 450 hotel guest rooms, a basement bar and lounge, a ground floor restaurant and bar, additional restaurant and retail space, meeting room space, and pools and amenities. Therefore, impacts may be significant and the Project's ability to serve the project given available water supplies during normal, dry, and multiple-dry years will be further evaluated in the EIR.

**c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?**

**Potentially Significant Impact.** The Project would increase the generation of wastewater conveyed to the wastewater treatment system. Further analysis is required to determine whether the Project's added wastewater could result in a significant impact on the City's wastewater treatment capacity. Therefore, the Project's potential to increase wastewater will be further evaluated in the EIR.

**d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?**

**Potentially Significant Impact.** The Project would generate construction and demolition solid waste as well as daily solid waste during the operation of the Project, which would be recycled or landfilled. Therefore, impacts may be significant and the Project's potential to exceed state or local standards or capacity infrastructure or to impair the attainment of solid waste reduction goals will be further evaluated in the EIR.

**e. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?**

**Less Than Significant Impact.** The Project would generate solid waste that is typical of a residential and neighborhood commercial mixed-use project, and would be consistent with all federal, State, and local statutes and regulations regarding proper disposal. Additionally, the amount of solid waste that would be generated by the Project would be further reduced through source reduction and recycling programs.

LABS's Solid Resources Citywide Recycling Division develops and implements source reduction, recycling, and reuse programs in the City. The Solid Resources Citywide Recycling Division provides technical assistance to public and private recyclers, manages the collection and disposal programs for Household Hazardous Waste (HHW), and helps create markets for recycled materials. In order to help meet the diversion goals of California Integrated Waste Management Act of 1989 (AB 939) and the City, the City adopted the Citywide Construction and Demolition Waste Recycling Ordinance (Ordinance No. 181,519). This ordinance, which became effective January 1, 2011, requires that all haulers and contractors responsible for handling construction and demolition waste obtain a Private Solid Waste Hauler Permit from the Bureau of Sanitation prior to collecting, hauling and transporting construction and demolition waste. It requires that all construction and demolition waste generated within City limits be taken to City certified construction and demolition waste processors, where the waste would be recycled to the extent feasible.

AB 939 was enacted to reduce, recycle, and reuse solid waste generated in the state to the maximum extent feasible. Specifically, AB 939 required cities and counties to identify an implementation schedule to divert 50 percent of the total waste stream from landfill disposal by 2000. AB 939 also required each city and county to promote source reduction, recycling, and safe disposal or transformation. Cities and counties were required to maintain 50 percent diversion past the year 2000. The City surpassed the state-mandated 50 percent diversion rate for 2000 and achieved a 58.8 percent diversion rate. In 2001, the City adopted a 70 percent diversion rate goal by the year 2020. During his term of office, Mayor Antonio Villaraigosa revised the diversion rate goal to 75 percent by 2013, and the City adopted a new goal of "Zero Waste" by the year 2025. The City had a diversion rate of 20.6 percent in 1990, 46.0 percent by 1995, and 65.2 percent by 2000. By the end of 2011, the City achieved a diversion rate of 76.4 percent.

This landfill diversion rate exceeds the 75 percent diversion mandate by 2020 set forth in AB 374.<sup>59</sup> The Bureau of Sanitation's Solid Resources Citywide Recycling Division (SRCRD) develops and implements source reduction, recycling, and re-use programs in the City.<sup>60</sup> The SRCRD provides technical assistance to public and private recyclers, manages the collection and disposal programs for Household Hazardous Waste, and helps create markets for recycled materials.<sup>61</sup> Furthermore, AB 341 requires multi-family residential developments with five units or more to provide for recycling services on site.

In March 2006, the Los Angeles City Council adopted RENEW LA, a 20-year plan with the primary goal of shifting from waste disposal to resource recovery within the City, resulting in "zero waste" by 2030. The City of Los Angeles Space Allocation Ordinance (Ordinance No. 171,687) requires that development projects include a recycling area or room of specified size on the Project Site.

The Project includes a trash and recycling room on level B1, and trash and recycling rooms on each floor; the Project would comply with these and all regulations related to construction and

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<sup>59</sup> California Department of Resources and Recycling, California's 75 Percent Initiative, website: <http://www.calrecycle.ca.gov/75percent/>, accessed: April 2016.

<sup>60</sup> Los Angeles Bureau of Sanitation, Solid Resources, Construction and Demolition Recycling Guide, website: [http://www.lacitysan.org/solid\\_resources/recycling/c&d.htm](http://www.lacitysan.org/solid_resources/recycling/c&d.htm), accessed: April 2016.

<sup>61</sup> Los Angeles Bureau of Sanitation, Solid Resources, Construction and Demolition Recycling Guide, website: [http://www.lacitysan.org/solid\\_resources/recycling/c&d.htm](http://www.lacitysan.org/solid_resources/recycling/c&d.htm), accessed: April 2016.

operational solid waste. Therefore, solid waste impacts from operation of the Project would be less than significant and no mitigation measures are required. No further evaluation of this topic is required in the EIR.

## XX. WILDFIRE

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones would the project:

- |  |                          |                          |                                     |                                     |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a. Substantially impair an adopted emergency response plan or emergency evacuation plan?   | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?  | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

### a. Substantially impair an adopted emergency response plan or emergency evacuation plan?

**Less Than Significant Impact.** As detailed in 9.(f) above, the Project Site is located approximately 800 feet to the west of Figueroa Street, a designated disaster route, which may be utilized for an evacuation route during an emergency.<sup>62</sup> Project construction activities would not require temporary street and/or lane closure(s) on Figueroa Street as far as 800 feet from the Project Site. If lane closures are necessary to local streets adjacent to the Project Site, the remaining travel lanes would be maintained in accordance with standard construction management plans that would be implemented to ensure adequate emergency access and circulation. With regards to operation, the Project would comply with access requirements from the Los Angeles Fire Department (LAFD) and would not impede emergency access within the

<sup>62</sup> Los Angeles County Department of Public Works, Disaster Route Maps, City of Los Angeles Central Area, website: <http://dpw.lacounty.gov/dsg/disasterRoutes/map/Los%20Angeles%20Central%20Area.pdf>, accessed: May 2018.

Project vicinity. Therefore, the Project would not cause an impediment along the City's designated disaster routes or impair the implementation of the City's emergency response plan. Impacts related to the implementation of the City's emergency response plan would be less than significant, and no mitigation measures would be required. No further analysis of this topic is required in the EIR.

**b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?**

**No Impact.** As detailed in 9.(g) above, the Project Site is located within a highly developed area of the City and does not include wildlands or high fire hazard terrain or vegetation. The Project Site is not within a Very High Fire Hazard Severity Zone,<sup>63</sup> nor is the Project Site or surrounding area within a wildland fire hazard area.<sup>64</sup> Therefore, the Project would not exacerbate wildfire risks and no exposure of Project occupants to pollutant concentrations from a wildfire would occur. Accordingly, no impact would occur and no mitigation is required. No further evaluation of this topic is required in the EIR.

**c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?**

**Less Than Significant Impact.** The Project would involve the partial demolition, adaptive reuse, and expansion of an existing structure in the highly urbanized South Park neighborhood of downtown Los Angeles. No roads, fuel breaks, or emergency water sources would be installed or maintained. Installation of any required power lines or other utilities would be done in accordance with applicable City building codes and utility provider policies. However, as detailed in 9.(g) above, the Project Site is located within Fire District No. 1, which is an area of the City wherein additional developmental regulations are required to be implemented to address fire hazards.<sup>65</sup> Additional developmental regulations include adding a roof covering; building with walls, floors, roofs, and supporting structural members that have a minimum of one-hour fire-resistance-rated constructions; and other provisions detailed in Volume 2, Chapter 72, Section 7204 of the Los Angeles Building Code. The Project would be required to comply with all developmental regulations. Compliance with all building code, developmental regulations, and utility providers requirements and policies would ensure that the Project would not exacerbate fire risks and impacts would be less than significant. No further evaluation of this topic is required in the EIR.

**d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?**

**Less Than Significant Impact.** The Project would be required to comply with all development regulations and City building codes with regard to fire safety and would not exacerbate the

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<sup>63</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

<sup>64</sup> City of Los Angeles Department of City Planning, General Plan Safety Element, Exhibit D, Selected Wildlife Hazard Areas in the City of Los Angeles, Adopted November 1996, page 53.

<sup>65</sup> City of Los Angeles Department of City Planning, Zone Information & Map Access System, website: <http://zimas.lacity.org>, accessed: May 2018.

potential for fire at the Site. Any installation of on-site power lines required to provide the Project with electricity and connections to existing power lines would be conducted in coordination and under the supervision of the utility provider. Further, the Project Site and the surrounding vicinity are flat and no major slopes that would be susceptible to flooding or landslide are located nearby. Accordingly, the Project would not expose people or structures to such hazards and impacts would be less than significant. No further evaluation of this topic is required in the EIR.

## XXI. MANDATORY FINDINGS OF SIGNIFICANCE

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?**

**Potentially Significant Impact.** The Project would not substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal. As noted in the foregoing analysis, significant impacts may result to



Cultural Resources. Therefore, the Project's potential to eliminate important examples of the major periods of California history or prehistory will be further evaluated in the EIR.

**b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?**

**Potentially Significant Impact.** For the purpose of this Initial Study, a significant cumulative impact may occur if a project, in combination with the related projects, would result in impacts that would be less than significant when viewed separately, but would be significant when viewed together. The impacts of the Project could potentially combine with the impacts of related projects. For those environmental issues discussed above that are to be analyzed in the EIR, the EIR will include an analysis of the cumulative impacts associated with those environmental issues. The following is a list of the cumulative impacts analyses to be included in the EIR:

- Air Quality
- Cultural Resources
- Energy
- Geology and Soils
- Greenhouse Gas Emissions
- Hazards and Hazardous Materials
- Hydrology and Water Quality
- Land Use and Planning
- Noise
- Population and Housing
- Public Services
- Transportation
- Tribal Cultural Resources
- Utilities and Service Systems

As the following analysis provides, due to the distance of most of the related projects from the Project Site and specific on-site and surrounding conditions, the Project would not result in significant cumulative impacts for any of the following environmental issues:

### **Aesthetics**

Development of the Project in conjunction with other development projects would likely result in an intensification of existing prevailing land uses in an already heavily urbanized area of the City. Development of any additional projects is expected to generally occur in accordance with adopted plans and regulations, including LAMC requirements regarding building heights, setbacks, massing and lighting. With respect to the overall visual quality of the surrounding neighborhood, similar to the Project, any additional projects would be required to submit a landscape plan and signage plan (if proposed) to the Department of City Planning for review and approval prior to the issuance of grading permits. Any approvals granted to related projects are expected to allow landscape and signage that would be aesthetically compatible with the surrounding neighborhood. Additionally, as a qualifying infill project within a TPA in accordance with State

CEQA Statute Section 21099(d), and pursuant to SB 743 and ZI No. 2452, the Project would not have a significant impact with regard to visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impacts as a matter of law. Therefore, the Project would not have cumulatively considerable aesthetic impacts. Other qualifying infill projects within a TPA would similarly not result in significant impacts. Cumulative impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required.

### **Agriculture and Forestry Resources**

Development of the Project in combination with other development projects would not result in the conversion of State-designated Farmland or existing agricultural activities or zoning to non-agricultural uses. The Project Site and surrounding area are also not under a Williamson Act contract. Moreover, the Project Site is not zoned for forest land, timberland, or Timberland Production, nor would the Project result in the loss of forest land. Thus, the Project would not contribute to a cumulative loss of forest land or conversion to non-forest land uses. Therefore, no cumulative impacts would occur and no mitigation measures are required, nor would the Project result in a cumulatively considerable impact. No further evaluation of this topic is required.

### **Biological Resources**

As discussed above, the Project would not result in a potentially significant impact to biological resources. The Project Site is currently developed with a hotel, commercial buildings, and a surface parking lot in a highly developed area of the City. No riparian or other sensitive habitat areas are located on or adjacent to the Project Site. As discussed above, neither the Project Site nor adjacent areas are within a biological resource area or Significant Ecological Area. The Project Site does not contain any habitat capable of sustaining any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service. Furthermore, the Project Site does not support any riparian or wetland habitat, as defined by Section 404 of the Clean Water Act. Tree removals would be undertaken pursuant to applicable City permits and requirements. The Project would be required to comply with these existing federal and State laws (i.e., MBTA and California Fish and Game Code, respectively). Thus, the Project would not have a considerable contribution to any significant cumulative biological resource impact. Therefore, impacts would be less than significant, and no mitigation measures are required. No further evaluation of this topic is required.

### **Mineral Resources**

As discussed above, the Project would result in a less than significant impact on mineral resources. The Project would not involve mineral extraction activities, nor are any such activities presently occurring on the Project Site. The Project Site is within the State-designated boundaries of the LA Downtown Oil Field and an MRZ-2 Zone. However, there are no oil extraction operations, drilling, or mining of mineral resources at the Project Site. Moreover, existing wells associated with the LA Downtown Oil Field would continue extraction activities unaffected by the construction and operation of the Project. Therefore, development of the Project would not result in the loss of availability of a mineral resource that would be of value to the residents of the State or a locally-important mineral resource, or mineral resource recovery site, as delineated on a local

general plan, specific plan, or land use plan. Thus, the Project would not have a considerable contribution to a potential cumulative impact on mineral resources, and cumulative impacts would be less than significant. No mitigation measures are required, and no further evaluation of this topic is required.

### **Wildfire**

As discussed above, the Project would result in a less than significant impact on wildfire. The Project would result in a temporary, insignificant impact on Figueroa Street, which is a designated disaster route, during construction. Moreover, the Project is located within a highly developed area of the City that does not include wildlands or high fire hazard terrain or vegetation. The Project would comply with all development regulations, and compliance with all building code, development regulations, and utility providers' requirements and policies would ensure that the Project would not exacerbate fire risks and impacts would be less than significant. Likewise, other development projects in the Project vicinity would also be located in a highly developed area in the City and subject to similar development regulations. The Project would not have a considerable contribution to a potential cumulative impact on wildfire, and cumulative impacts would be less than significant. No mitigation measures are required, and no further evaluation of this topic is required.

### **c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?**

**Potentially Significant Impact.** The analysis contained in this Initial Study concludes that the Project may result in potentially significant impacts. Therefore, potentially significant impacts may result which will be further evaluated in the EIR.



## The Morrison Project Appendices

Case Number: ENV-2018-2294-EIR

**Project Location:** 1220-1246 South Hope Street, Los Angeles, California, 90015

**Community Plan Area:** Central City

**Council District:** 14—Huizar

**Project Description:** The Project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy (SRO) hotel (“Phase I Existing”), the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (“Phase I Expansion”), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building (“Phase II Hotel and Residential Tower”). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project would also include a 3,060 square-foot basement bar and lounge, 15,891 square feet of ground floor restaurant and retail space, 10,415 square feet of ground floor hotel and residential lobby space, 14,052 square feet of event and meeting room space, and 39,199 square feet of amenity spaces. The Project includes 215 parking spaces to be located within three levels of subterranean parking.

**PREPARED FOR:**

The City of Los Angeles  
Department of City Planning

**PREPARED BY:**

EcoTierra Consulting, Inc.

**APPLICANT:**

Morrison Hotel, LLC and Morrison Residential, LLC

# **MORRISON PROJECT APPENDICES**

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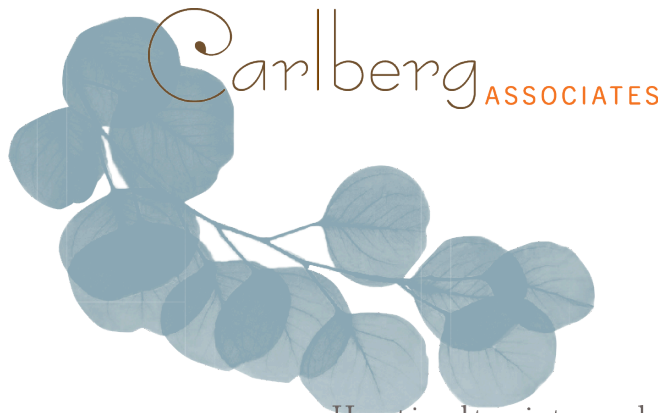
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- B. Preliminary Geotechnical Engineering Investigation
- C. Methane Investigation
- D. Phase I and Phase II Environmental Site Assessments

# **APPENDIX A**

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## **Arborist Tree Report**



Horticulturists and  
Registered Consulting  
**ARBORISTS**

**CITY OF LOS ANGELES TREE REPORT  
1220 SOUTH HOPE STREET  
LOS ANGELES, CALIFORNIA 90015**

**SUBMITTED TO:**

**CODY SARGEANT  
SHEPPARD MULLIN RICHTER & HAMPTON LLP  
333 SOUTH HOPE STREET, 43<sup>RD</sup> FLOOR  
LOS ANGELES, CALIFORNIA 90071-1422**

**PREPARED BY:**

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**APRIL 19, 2018**

**[www.cycarlberg.com](http://www.cycarlberg.com)**

**1220 SOUTH HOPE STREET, LOS ANGELES – CITY OF LOS ANGELES TREE REPORT**

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April 19, 2018

Sheppard Mullin Richter & Hampton LLP  
333 South Hope Street, 43<sup>rd</sup> Floor  
Los Angeles, CA 90071-1422  
Via email to Cody Sargeant, Sheppard Mullin (csargeant@sheppardmullin.com)

**Re: 1220 South Hope Street, Los Angeles, California 90015 (APN 5139022003)**

Dear Mr. Sargeant,

This letter addresses our office's site visit of April 18, 2018 to the properties collectively known as 1220 South Hope Street in Los Angeles, California. We were retained to visit the properties and determine if any trees considered protected by the City of Los Angeles Tree Preservation Ordinance No. 177.044, "significant" as set forth by the City of Los Angeles Planning Department, or City rights-of-way trees were present. The table on the following page sets forth the data for the ten City rights-of-way trees that were inventoried. There were no trees on the private properties nor were there any trees on contiguous properties affected by proposed construction.

Please feel welcome to contact me at our Santa Monica office if you have any immediate questions or concerns.

Respectfully submitted,

Cy Carlberg, Registered Consulting Arborist

Principal, Carlberg Associates

*Santa Monica Office*  
[cy@cy Carlberg.com](mailto:cy@cy Carlberg.com)



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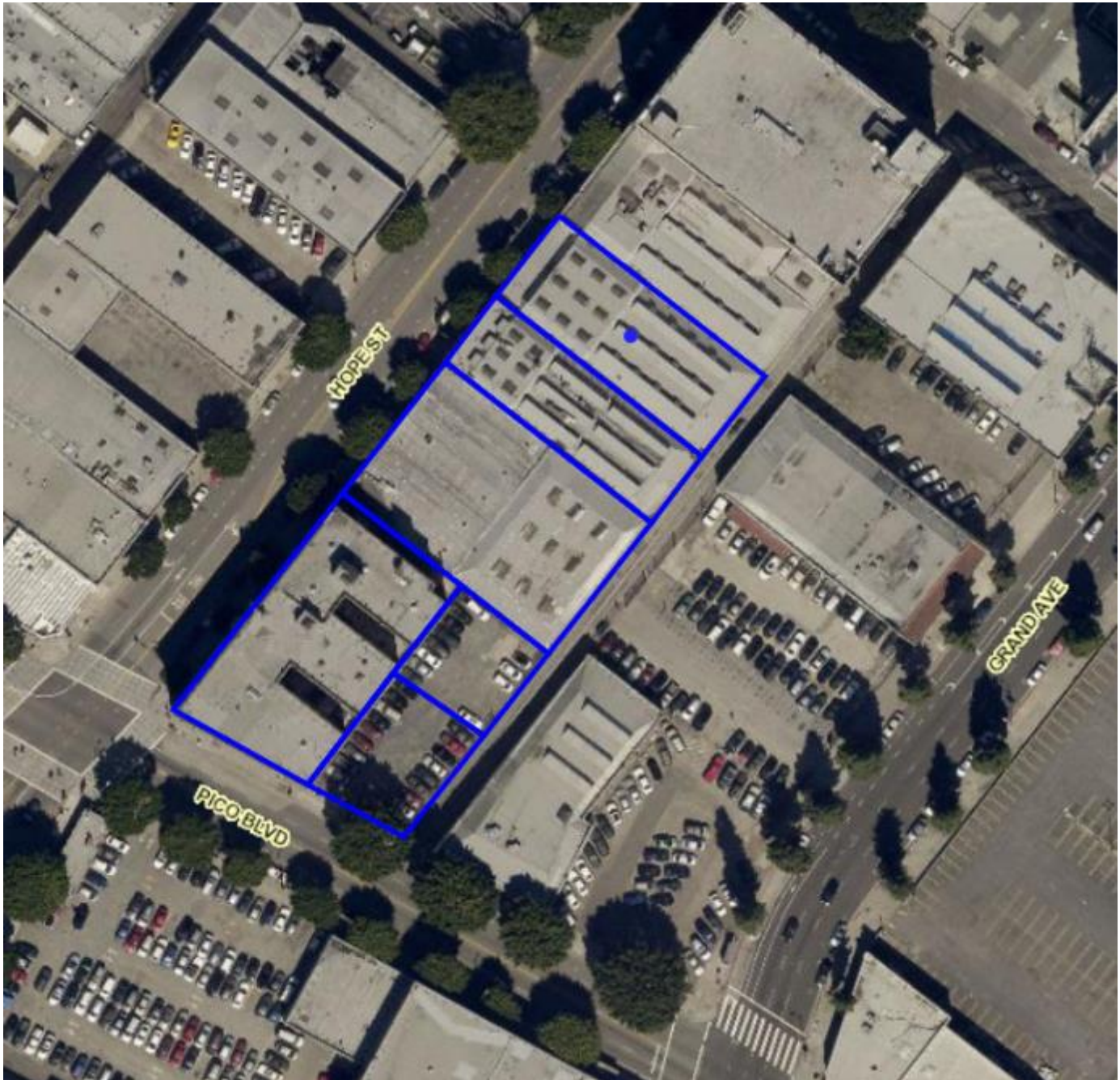
[www.cycarlberg.com](http://www.cycarlberg.com)

**TABLE 1 – INVENTORY OF TREES**

Tree #	Common Name	Botanical Name	Dbh(s)* at 4.5 feet (inches)	Height (feet)	Canopy Spread (feet)	Health Grade	Structure Grade	Protected Tree Y/N
<b>City of Los Angeles Rights-of-Way Trees</b>								
ST1	Indian laurel fig	<i>Ficus microcarpa</i>	13.5	25	22	A	B	Right-of-Way
ST2	Indian laurel fig	<i>Ficus microcarpa</i>	14	25	27	A	B	Right-of-Way
ST3	Indian laurel fig	<i>Ficus microcarpa</i>	14	25	28	A	B	Right-of-Way
ST4	Indian laurel fig	<i>Ficus microcarpa</i>	13.5	25	28	A	B	Right-of-Way
ST5	Indian laurel fig	<i>Ficus microcarpa</i>	18	30	30	A	B	Right-of-Way
ST6	Indian laurel fig	<i>Ficus microcarpa</i>	18.5	30	30	A	B	Right-of-Way
ST7	Indian laurel fig	<i>Ficus microcarpa</i>	13.5	25	27	A	B	Right-of-Way
ST8	Indian laurel fig	<i>Ficus microcarpa</i>	11	25	20	A	B	Right-of-Way
ST9	Indian laurel fig	<i>Ficus microcarpa</i>	16	25	21	A	B	Right-of-Way
ST10	Indian laurel fig	<i>Ficus microcarpa</i>	23	35	40	A	B	Right-of-Way

\* DBH – diameter at breast height. A forestry term describing a tree trunk’s diameter measured at 4.5 feet above grade. Often used as a representation of tree size.

EXHIBIT A - AERIAL IMAGE OF SUBJECT PROPERTY



Aerial image of subject property  
1220 South Hope Street, Los Angeles  
Image Source: Zimas



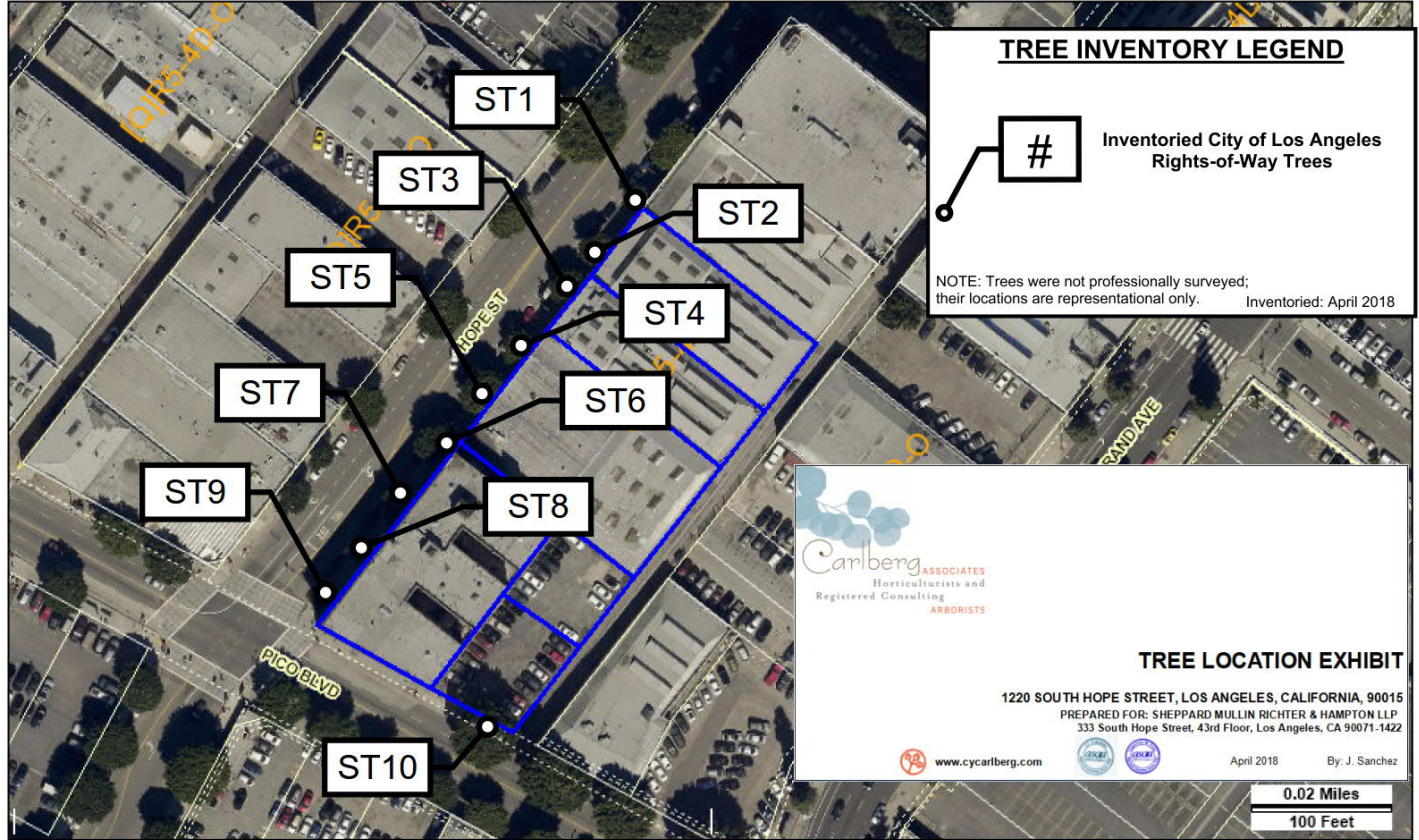


EXHIBIT B - REDUCED COPY OT TREE LOCATION MAP  
(Full-sized drawing to be part of the submittal)

ZIMAS PUBLIC

2014 Digital Color-Ortho

City of Los Angeles  
Department of City Planning



Address: 1220 S HOPE ST  
APN: 5139022003  
PIN #: 126A207 108

Tract: TR 17683  
Block: None  
Lot: 3  
Arb: None

Zoning: [Q]R5-4D-O  
General Plan: High Density Residential

www.cycarlberg.com April 2018 By: J. Sanchez

0.02 Miles  
100 Feet





EXHIBIT C – CAPTIONED PHOTOGRAPHS











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## DEFINITION OF HEALTH AND STRUCTURE GRADES

Health and structure ratings of the trees are based on the archetype tree of the same species through a subjective evaluation of its physiological health, aesthetic quality, and structural integrity.

Overall physiological condition (health) and structural condition are rated A-F:

### Health

A) Outstanding – Exceptional trees of good growth form and vigor for their age class; exhibiting very good to excellent health as evidenced by normal to exceptional shoot growth during current season, good bud development and leaf color, lack of leaf, twig or branch dieback throughout the crown, and the absence of decay, bleeding, or cankers. Common leaf and/or twig pests may be noted at very minor levels.

B) Above average – Good to very good trees that exhibit minor necrotic or physiological symptoms of stress and/or disease; shoot growth is less than reasonably expected, leaf color is less than optimal in some areas, the crown may be thinning, minor levels of leaf, twig, and branch dieback may be present, and minor areas of decay, bleeding, or cankers may be manifesting. Minor amounts of epicormic growth may be present. Minor amounts of fire damage or mechanical damage may be present. Still healthy, but with moderately diminished vigor and vitality. No significant decline noted.

C) Average – Average, moderately good trees whose growth habit and physiological or fire-induced symptoms indicate an equal chance to either decline or continue with good health into the near future. Most of these trees exhibit moderate to significant small deadwood in outer crown areas, decreased shoot growth and diminished leaf color and mass. Some stem and branch dieback is usually present and epicormic growth may be moderate to extensive. Cavities, pockets of decay, relatively significant fire damage, bark exfoliation, or cracks may be present. Moderate to significant amounts of insect or disease symptoms may be present; the tree may be shaded or crowded in such a way that it is expected to negatively impact the lifespan of the tree. Tree may be in early decline.

D) Below Average/Poor - trees whose growth habit and physiological or fire-induced symptoms indicate significant, irreversible decline. Most of these trees exhibit significant dieback of wood in the crown, possibly accompanied by significant epicormic sprouting. Shoot growth and leaf color and mass is either significantly diminished or nonexistent throughout the crown. Cavities, pockets of decay, significant fire damage, bark exfoliation, and/or cracks may be present. Significant amounts of insect or disease symptoms may be present; the tree may be shaded or crowded in such a way that it has negatively impacted the lifespan of the tree. Tree appears to be in irreversible decline.

F) Dead or in spiral of decline – this tree exhibits very little to no signs of life.

### STRUCTURE

A) Outstanding – Trees with outstanding structure for their species exhibit trunk and branch arrangement and orientation that result in a sturdy form or architecture that resists failure under normal circumstances. The spacing, orientation, and size of the branches relative to the trunk are quintessential for the species and free from defects. No outward sign of decay or pathological disease is present. Some trees exhibit naturally inherent branching defects, like multiple, narrow points of attachment from one point on the trunk, which would preclude them from achieving an “A” grade.





- B) Above average - Trees with good to very good structure for their species. They exhibit trunk and branch arrangement and orientation that result in a relatively sturdy form or architecture that resists failure under normal circumstances, but may have some mechanical damage, over-pruning, or other minor structural defects. The spacing, orientation, and size of the branches relative to the trunk are still in the normal range for the species, but they exhibit a minor degree of defects. Minor, sub-critical levels of decay or pathological disease may be present, but the degree of damage is not yet structurally significant. Trees that exhibit naturally inherent branching defects, like multiple, narrow points of attachment from one point on the trunk, would generally fall in to this category. A small percentage of the canopy may be shaded or crowded, but not in such a way that it is expected to negatively impact the structural integrity or lifespan of the tree.
- C) Average - Trees with moderately good structure for their species, but with obvious defects. They exhibit trunk and branch arrangement and orientation that result in a less than sturdy form or architecture, which reduces their resistance to failure under normal circumstances. Moderate levels of mechanical damage, over-pruning, or other structural defects may be present. The spacing, orientation, and size of some of the branches relative to the trunk are not in the normal range for the species. Moderate to significant levels of decay or pathological disease may be present that increase the likelihood of structural instability. Influences such as an excessive trunk lean, slope erosion, root pruning, or other growth-inhibiting factors may be present. A moderate to significant percentage of the canopy may be shaded or crowded in such a way that it is expected to negatively impact the structural integrity or lifespan of the tree. Risk of full or partial failure in the near future appears to be moderately elevated.
- D) Well Below Average/Poor - Trees poor structure for their species and with obvious defects. They exhibit trunk and branch arrangement and orientation that result in a significantly less than sturdy form or architecture, significantly reducing their resistance to failure under normal circumstances. Significant levels of mechanical damage, over-pruning, or other structural defects may be present. The spacing, orientation, and size of many of the branches relative to the trunk are not in the normal range for the species. Significant levels of decay or pathological disease may be present that increase the likelihood of structural instability. Influences such as an excessive trunk lean, slope erosion, root pruning, or other growth-inhibiting factors may be present. A significant percentage of the canopy may be shaded or crowded in such a way that it is expected to negatively impact the structural integrity or lifespan of the tree. Risk of full or partial failure in the near future appears to be advanced.
- F) Severely Compromised – trees with very poor structure and numerous or severe defects due to growing conditions, historical or recent pruning, mechanical damage, history of limb or trunk failures, advanced decay, disease, or severe fire damage. Risk of full or partial failure in the near future appears to be severe.



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Education B.S., Landscape Architecture, California State Polytechnic University, Pomona, 1985  
Graduate, Arboricultural Consulting Academy, American Society of Consulting Arborists, Chicago, Illinois, February 2002  
Graduate, Municipal Forestry Institute, Lied, Nebraska, 2012

Experience Consulting Arborist, Carlberg Associates, 1998-present  
Manager of Grounds Services, California Institute of Technology, Pasadena, 1992-1998  
Director of Grounds, Scripps College, Claremont, 1988-1992

Certificates Certified Arborist (#WE-0575A), International Society of Arboriculture, 1990  
Registered Consulting Arborist (#405), American Society of Consulting Arborists, 2002  
Certified Urban Forester (#013), California Urban Forests Council, 2004  
Certified Tree Risk Assessor (#1028), International Society of Arboriculture, 2011

#### AREAS OF EXPERTISE

Ms. Carlberg is experienced in the following areas of tree management and preservation:

- Tree health and risk assessment
- Master Planning
- Tree inventories and reports to satisfy jurisdictional requirements
- Expert Testimony
- Post-fire assessment, valuation, and mitigation for trees and native plant communities
- Value assessments for native and non-native trees
- Pest and disease identification
- Guidelines for oak preservation
- Selection of appropriate tree species
- Planting, pruning, and maintenance specifications
- Tree and landscape resource mapping – GPS, GIS, and AutoCAD
- Planning Commission, City Council, and community meetings representation

#### PREVIOUS CONSULTING EXPERIENCE

Ms. Carlberg has overseen residential and commercial construction projects to prevent damage to protected and specimen trees. She has thirty-five years of experience in arboriculture and horticulture and has performed tree health evaluation, value and risk assessment, and expert testimony for private clients, government agencies, cities, school districts, and colleges. Representative clients include:

The Huntington Library and Botanical Gardens  
The Los Angeles Zoo and Botanical Gardens  
The Rose Bowl and Brookside Golf Course, Pasadena  
Walt Disney Concert Hall and Gardens  
The Art Center College of Design, Pasadena  
Pepperdine University  
Loyola Marymount University  
The Claremont Colleges (Pomona, Scripps, CMC, Harvey Mudd,  
Claremont Graduate University, Pitzer, Claremont University Center)  
Quinn, Emanuel, Urquhart and Sullivan (attorneys at law)

The City of Claremont  
The City of Beverly Hills  
The City of Pasadena  
The City of Los Angeles  
The City of Santa Monica  
Santa Monica/Malibu Unified School District  
San Diego Gas & Electric  
Los Angeles Department of Water and Power  
Rancho Santa Ana Botanic Garden, Claremont  
Latham & Watkins, LLP (attorneys at law)

#### AFFILIATIONS

Ms. Carlberg serves with the following national, state, and community professional organizations:

- California Urban Forests Council, Board Member, 1995-2006
- Street Tree Seminar, Past President, 2000-present
- American Society of Consulting Arborists Academy, Faculty Member, 2003-2005, 2014
- American Society of Consulting Arborists, Board of Directors, 2013-Present
- Member, Los Angeles Oak Woodland Habitat Conservation Strategic Alliance, 2010-present



# **APPENDIX B**

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## **Preliminary Geotechnical Engineering Investigation**



**PRELIMINARY GEOTECHNICAL  
ENGINEERING INVESTIGATION**

**Proposed 13-Story Hotel Expansion  
Over Partial One Level Subgrade Parking  
&  
22-Story Residential Building  
Over 3-4 Levels Subgrade Parking**

**1246 S. Hope Street  
&  
427 W. Pico Boulevard  
Los Angeles, California**

**for**

**Five Chairs**

**Attn: Richard Heyman  
1605 Cahuenga Blvd.  
Los Angeles, CA 90028**

**Project 5076**

**March 31, 2017**

# PRELIMINARY GEOTECHNICAL ENGINEERING INVESTIGATION

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## **INTRODUCTION**

This report presents the results of a Preliminary Geotechnical Engineering Investigation on a portion of the subject property. The purpose of this investigation has been to ascertain the subsurface conditions pertaining to the proposed project. The work performed for the project included reconnaissance mapping, description of earth materials, obtaining representative samples of earth materials, laboratory testing, engineering analyses, and preparation of this report. Results of the project include findings, conclusions, and appropriate recommendations.

## **SCOPE**

The scope of this investigation included the following:

- Review of preliminary plans by Steinberg.
- Review of 4 borings. Explorations were backfilled with the excavated materials but not compacted.
- Preparation of the enclosed Plot Map and Cross Sections, (see Appendix I).
- Sampling of representative earth materials, laboratory testing, and engineering analyses (see Appendix II).
- Review of referenced materials and available public reports at the City of Los Angeles (see Appendix V).
- Presentation of findings, conclusions, and recommendations for the proposed project.

A general plot map was prepared from data collected from NavigateLA and utilized as a base map for this investigation. Preliminary design concept by Steinberg was used as a basis for the preliminary recommendations.

The scope of this investigation is limited to the project area explored as depicted on the Plot Map. This report has not been prepared for use by other parties or for purposes other than the proposed project. GeoConcepts, Inc. should be consulted to determine if additional work is required when our work is used by others or if the scope of the project has changed. If the project is delayed for more than one year, this office should be contacted to verify the current site conditions and to prepare an update report.

## **PROPOSED DEVELOPMENT**

It is our understanding that the site will be developed with a 13-story hotel expansion and basement expansion. A portion of the 13-story hotel expansion will be over the basement expansion and remaining portion at grade. In addition a 22-story residential building surrounded by 2 two-story podium all underlain by 3-4 levels of subgrade parking. The proposed development is depicted on the enclosed Plot Map and Cross-Sections.

The proposed hotel expansion will be supported on conventional foundations with anticipated foundations will range from 10 to 15 kips per lineal foot and 600-800 kips for column foundations



The proposed 22-story residential building will be supported on mat foundation. It is anticipated that the mat will impart pressures between 6,000 & 10,000 pounds per square foot (psf) on the underlying soil. The surrounding podium structure may be supported on conventional foundations with anticipated foundations will range from 10 to 15 kips per lineal foot and 500-700 kips for column foundations

Grading will consist of excavation for the subgrade parking and retaining wall backfilling. Final plans have not been prepared and await the conclusions and recommendations of this investigation. These plans should be reviewed by GeoConcepts, Inc. to ensure that our recommendations have been followed.

## **SITE DESCRIPTION**

### **Location and Description**

Access to the property is via Pico Boulevard and Hope Street (see Location Map in Appendix I). The property is bounded to the west by Hope Street, to the east by an alley, to the south by Pico Boulevard and north by commercial building. The southern portion of the property is developed with a 4-story hotel with a partial basement and surface parking lot. The central and northern portions of the site are development with one to two commercial buildings.

### **Drainage**

Surface water at the site consists of direct precipitation onto the property.

### **Groundwater**

No active surface groundwater seeps or springs were observed on the subject site. The subsurface exploration did encounter groundwater seepage at a depth of 157.5 & 187.5 feet. The depth to seeps/perched water groundwater, when encountered in the explorations, is only valid for the date of exploration. Based on the Seismic Hazard Zone Report by the California Geological Survey (formerly Division of Mines and Geology), the depth to historical high groundwater level is greater than 100 feet below the surface. Seasonal fluctuations of groundwater levels may occur by varying amounts of rainfall, irrigation and recharge.

## **FIELD EXPLORATION**

The scope of the field exploration was developed based on the preliminary design concepts by Steinberg available at the time of the exploration and was limited due to the existing portion of the site. The locations of the explorations are depicted on the Plot Map and Cross Sections.

The field exploration of the site was conducted on November 6, December 30 and 31, 2015 and February 9, 2017. The geotechnical conditions were mapped by a representative of this office (refer to Exploration Logs). Subsurface exploration was performed by a hollow stem drill rig excavating into the underlying earth materials. Explorations were excavated to a maximum depth of 201 feet. Casing was placed within Boring 1 and the annular space around the casing was backfilled with bentonite slurry. The remaining explorations were backfilled and tamped upon completion of drilling. However, some settlement within exploration areas should be anticipated.

Detailed descriptions of the earth materials encountered during the field exploration are provided in the Boring Logs in Appendix I.

Undisturbed and bulk samples representative of the earth materials were obtained and transported to our laboratory. Undisturbed Modified California (MC) samples and Standard Penetration Test (SPT) samples were obtained within the explorations through the use of a thin-walled steel sampler with successive blows of an auto-hammer dropped thirty inches (30"). MC samples were retained in brass rings of two and one-half inches (2½") in diameter and one inch (1") in height. The samples were transported in moisture tight containers. The results of the laboratory testing and a summary of the test procedures are included within Appendix II.

## **SUMMARY OF FINDINGS**

### **Previous Work**

No geology and/or geotechnical reports were found on file at the City of Los Angeles covering the sites.

### **Stratigraphy**

The earth materials encountered on the subject property are briefly described below. Approximate depths and more detailed descriptions are given in the enclosed Exploration Logs (see Appendix I).

#### **Artificial Fill (Af)**

Artificial fill was encountered on the subject site. Fill materials were presumably placed during past grading. Fill was encountered in all of the borings. Fill generally consists of coarse grained silty sand.

#### **Quaternary Alluvium (Qal)**

Alluvial deposits occupy the site. Alluvium is weathered bedrock material and sediments that have been eroded from natural slopes and deposited in generally flat lying areas. Alluvium primarily consists of medium brown to yellowish brown to gray, dense to very dense, silty sand to gravelly sands. These deposits were encountered within all three of the exploratory borings ranging to the depth of the exploration.

## **Excavation Characteristics**

Subsurface exploration was performed through the use of a hollow-stem drill rig excavating into the fill and alluvium. Excavation difficulty is considered normal within the earth materials encountered and should not be limited to consideration of rippability of the earth material. Cohesionless sandy material, although easy to remove, may be subject to sloughing and caving. Therefore difficulty may be encountered maintaining an open excavation. Fine grained materials such as clays and silts may increase in density with depth due to overburden pressure. Thus, difficulty excavating into the material may increase with depth.

## **Landslides**

Landslides are a mass wasting phenomenon in mountainous and hillside areas which include a wide range of movements. In Southern California common slope movements include shallow surficial slumps and flows, deep-seated rotational and translational bedrock failures, and rock falls. Landslides occur when the stability of the slopes change to an unstable condition resulting from a number of factors. Common natural factors include the physical and/or chemical weathering of earth materials, unfavorable geologic structure relative to the slope geometry, erosion at the toe of a slope, and precipitation. These factors may be further aggravated by human activities such as excavations, removal of lateral support at the toe of a slope, surcharge at the top of a slope, clearing of vegetation, alteration of drainage, and the addition of water from irrigation and leaking pipes.

The subject site is relatively flat with very little topography which precludes the potential for landslides and/or other hazards typically associated with hillside properties.

## **Seismic Hazards**

### **Earthquake Faults**

The Alquist-Priolo Earthquake Fault Zoning (AP) Act was passed into law following the destructive February 9, 1971 San Fernando earthquake. The intent of the Act is to increase public safety by reducing the siting of most structures for human occupancy across an active fault. The Act only addresses the hazard of surface fault rupture and is not directed toward other earthquake hazards. The property is not located within an Alquist-Priolo Earthquake Fault Zone. The general locations of major faults within Southern California are depicted on a fault map provided by the USGS in Appendix I.

### **Active Faults**

The following active faults are capable of producing seismic waves (ground shaking) on the subject property. A summary description of the closest active faults and potentially active faults to the site are described herein and labeled by number on the map below. An active fault, as defined by the State Mining and Geology Board, is one, which has "had surface displacement within Holocene time (about the last 11,000 years)".

The San Andreas Fault zone (42) is the dominant active fault in California. Geologic studies show that over the past 1,400 to 1,500 years large earthquakes have occurred at about 150-year intervals on the southern San Andreas Fault. It consists of numerous subparallel faults of varied lengths in a zone generally 0.3 to 1.5 km wide in Southern California. The dip of the fault is near vertical and the sense of motion is right lateral. Historically, the 1857 Fort Tejon earthquake with an estimated magnitude of 7.9 ruptured the ground surface from the vicinity of Cholame (near Paso Robles) to somewhere between the Cajon Pass and San Geronio Pass (Wrightwood), approximately 200 miles. Studies of offset stream channels indicate that as much as (29) feet of movement occurred in 1857. The fault extends from the Gulf of California northward to the Cape Mendocino area where it continues along the ocean floor, approximately 750 miles in length.

The Northridge earthquake occurred on January 17, 1994, in the San Fernando Valley. The epicenter was about 1 mile south-southwest of Northridge at a focal depth of 12 miles. The surface wave magnitude was issued by the National Earthquake Information Center at  $M_w=6.7$ . This event occurred on a previously unrecognized south-dipping blind reverse fault without surface rupture. This earthquake produced the strongest ground motions ever instrumentally recorded in an urban setting in North America. Damage was wide-spread with sections of major freeways collapsed include some parking structures and office buildings. Common surface disruptions included buckled curbs and sidewalks, fissured concrete and asphalt, and rupture of utility lines which are generally aligned in northwest and east-west directions. Shattered ridges were reported along Mulholland Drive in the Sherman Oaks area, consisting of intense ground disturbances associated with strong vibratory ground motions within the north trending ridges underlain by shale of the Lower Modelo formation.

The Whittier-Elsinore fault zone (60) consists of several subparallel, overlapping and en echelon fault strands in a zone up to 1.2 km wide. It extends nearly 125 miles from the Mexican border to the northern edge of the San Fernando Valley. Seismicity includes the Whittier Narrows earthquake of October 1, 1987 with a magnitude of 5.9 and an epicenter in the city of Rosemead. This earthquake occurred on a previously unknown and concealed thrust fault. There was no reported surface rupture from the earthquake. Also, numerous close and scattered small earthquakes have occurred in historic time near and along the fault.

The San Fernando fault (45) consists of five major en echelon strands at least 9.5 miles in length. The "San Fernando" earthquake of February 9, 1971 produced a magnitude of  $M_w 6.5$  at a depth of 8.4 km along an east west trending reverse fault with a northerly dip. The length of the surface rupture was about 9.5 miles and ground shaking lasted for approximately 60 seconds. The earthquake ruptured the northwestern end of the Sierra Madre Fault zone forming the San Fernando Fault. Major damage included the Olive View and Veterans Administration Hospitals and collapse of freeway overpasses. Landslides occurred in the Upper Lake area of Van Norman Lakes. Additionally the Van Norman Dam and the Pacoima Dam were severely damaged.

The eastern portion of the Santa Susana fault (52) ruptured during the 1971 San Fernando Earthquake. The Santa Susana fault consists of several strands in a zone as wide as 1 km. It generally strikes from north 75 degrees west to north 50 degrees east and dips to the north. The fault is a high angle reverse fault. The fault appears to have been generated by northeast-

southwest oriented compressional stress.

The Newport-Inglewood fault zone (31) consists of several strands that extend from offshore by Laguna Beach to either merge with or be truncated by the Malibu-Santa Monica fault zone near Beverly Hills. The fault has a length of about 45 miles. It was the source of the "Long Beach" earthquake, which occurred on March 10, 1933 with a magnitude of 6.3. Numerous small earthquakes have occurred in historic time along and near the fault zone. The fault zone is easily observed by an alignment of hills and mesas including Cheviot Hills, Baldwin Hills, Rosecrans Hills, Dominguez Hills, Signal Hill, Reservoir Hill, Alamitos Heights, Landing Hill, Bolsa Chica Mesa, and Newport Mesa.

In June 1995, two portions of the Malibu Coast fault zone (27) were reclassified as active fault zones by the State of California. On August 16, 2007, the fault zone near the east side of Malibu Bluff Park was removed from the State of California Earthquake Fault Zone map by the State of California. The east west trending Malibu Coast fault consists of several subparallel strands in a zone as wide as 0.5 km, with a length of at least 17 miles. It strikes east west and dips (45) to (80) degrees to the north. The Malibu Coast fault has the potential to produce a large Maximum Credible Peak and Repeatable Acceleration on the subject property. The duration of the Malibu Coast fault is estimated at (11) seconds assuming fault end nucleation and unidirectional rupture propagation, (Bolt, 1981). The Malibu Coast fault is thought to be part of other faults such as the Santa Monica fault and Hollywood fault that separate the Transverse Ranges on the north from the Peninsula Range on the south. Two Malibu Earthquakes occurred with Magnitudes of  $M_L$  5.2 and  $M_L$  5.0 on January 1, 1979 and January 18, 1989, respectively. It was reported that only minor damage occurred in the areas closest to the epicenter.

The Hollywood fault zone (22) extends along the base of the Santa Monica Mountains. This fault was added to the list of active fault by the State of California in 2014. Generally, the Hollywood fault extends eastward for a distance of 15 km through Beverly Hills, West Hollywood, and Hollywood to the Los Angeles River. The fault is primarily expressed at the ground surface by scarp-like features. This is a left-reverse fault with an estimated slip rate between 0.33 mm/yr and 0.75 mm/yr, (Petersen and Wesnousky 1994).

The Raymond fault (39) is a combination fault with reverse and left slip movement that acts as a groundwater barrier within the densely populated San Gabriel Valley. The activity of the fault is attested to by the numerous geomorphic features found along its entire length of approximately 14 miles. Scattered small earthquakes have occurred north of the fault trace. It may be the source of the 1855 Los Angeles earthquake. The Raymond fault is an east-trending fault made up of other faults such as the Hollywood and Santa Monica faults that separate the Transverse Ranges on the north from the Peninsula Range on the south.

The Sierra Madre fault zone (53) is often divided into five main segments; Vasquez Creek fault, Clamshell fault (10), Sawpit Canyon fault (10), Duarte fault and the Cucamonga fault (14). The Sierra Madre earthquake of June 28, 1991 ( $M_w$ 5.8) was in the San Gabriel Mountains. An estimated 33.5 million dollars of damage has been reported. The Sierra Madre fault zone is about 75 km long. It's a thrust fault system along the south edge of the San Gabriel Mountains. The east end of the Sierra Madre fault zone intersects the San Jacinto fault and the San Andreas Fault. The 1971 San Fernando earthquake occurred on the San Fernando-Sunland

segment of the Sierra Madre fault zone.

The San Gabriel fault (46) consists of several en echelon fault strands in a zone approximately 0.5 km wide, with a length of about 90 miles. The fault trends northwestward and subparallel to the San Andreas Fault. As of March 1, 1988, a portion of the Newhall segment of the fault zone was reclassified as an active fault. Fault activity has been dated between 1550 and 3500 years before present within the Newhall segment. The youngest ground rupture event has broken alluvial beds to within five feet of the ground surface. Geologic evidence suggests 38 miles of right lateral offset has occurred between 14 million and 3 million years ago and may have functioned as an ancestral branch of the San Andreas Fault. Recent studies suggest that major strike slip movement has become inactive and dip slip movement is active at the present time.

### Potentially Active Faults

A potentially active fault, as defined by the State Mining and Geology Board, is one, which has had surface displacement during Quaternary time (last 1.6 million years). "These faults are those based on available data along which no known historical ground surface ruptures or earthquakes have occurred. These faults, however, show strong indications of geologically recent activity". The following list provides potentially active faults that are capable of producing seismic waves (ground shaking) on the property.

The Santa Monica fault (50) extends east from the coastline in Pacific Palisades through Santa Monica and West Los Angeles and merges with the Hollywood fault. Several local geologists believe portions of the Santa Monica fault zone are active. Currently, it is listed by the State of California as a potentially active fault. Portions of the fault zone may change to "active" and be placed within the Alquist-Priolo Earthquake Fault Zone as additional geologic reports are submitted to the State containing evidence of Holocene activity. The Santa Monica fault consists of one or more fault strands, with a poorly known geometry. Generally, the fault strikes northeast 60 to 80 degrees and dips 45 to 65 degrees northwest at depth with a few near vertical surface traces. The length of the fault is at least 25 miles. The composite local mechanism of fault displacement is a reverse left lateral along the Santa Monica-Hollywood-Raymond fault zone. The Santa Monica and Hollywood faults may be part of a larger fault system that includes Malibu Coast, Raymond and Cucamonga fault system. This fault zone forms the central portion of a major tectonic boundary separating the east west trending Transverse Ranges province to the north from the northwest trending Peninsular Ranges province to the south.

The Benedict Canyon fault zone trends eastward through the Santa Monica Mountains. The fault may be part of the Hollywood-Santa Monica-Raymond fault system. The activity of the fault is based on offsets in groundwater bearing sediments that correlate with steep dipping gravity gradients. The fault extends through Universal City and along the north side of the eastern part of the Santa Monica Mountains.

The Simi fault (54) consists of a single strand that bifurcates at the western end. Generally, it strikes north 70-80 degrees east and dips 60 to 75 degrees north with a length of about 31-km.

The Mission Hills fault (30) is an east west trending fault with a length of about 9 km. The fault is presumed to be a single strand that strikes north 80 degrees east to east west and dips about 80 degrees to the north.

The Chatsworth fault (8) is a reverse fault which juxtaposes Cretaceous Chatsworth formation and Paleocene Martinez formation over Miocene Modelo formation within the San Fernando Valley.

The Palos Verdes Hills fault (35) consists of several en echelon strands locally in a zone as wide as 2 km with a length of 50 miles. It strikes north between 20 and 60 degrees west with dips of 70 degrees to the southwest.

### Seismic Effects

During an earthquake there are several primary geologic hazards such as ground rupture, ground shaking, landslides, and liquefaction that can adversely affect property, structures, and improvements. On hillside properties, the potential exists for landsliding from ground shaking which may adversely affect property, structures, and improvements. Properties near and along the coastline may potentially be affected by inundation due to tsunamis generated from a seismic event. The State of California has prepared maps that detail areas which may require assessment for ground rupture, landsliding and/or liquefaction. Strong ground shaking is the primary hazard that causes damage from earthquakes and these areas have been zoned with a high level of seismic shaking hazard. The historical earthquake record in Southern California is less than 200 years; therefore, potential damage from a seismic event is not limited areas that have experienced damage in the past. Based on the above discussion, earthquake insurance with building code upgrades is suggested.

There are several active and/or potentially active faults that could possibly affect the site within Los Angeles County. Although all of Southern California is within a seismically active region, some areas have a higher potential for seismic damage than others. The current scientific technology does not provide for accurate prediction of the time, location, or magnitude of an earthquake event.

It should be understood that the following discussion is an evaluation of risk and degree of potential damage to a structure if a fault were to rupture on or near the site and does not imply that a fault may or may not be present beneath the site. An assessment of damage to the structure is based on the Modified Mercalli Intensity Scale which is correlated to observed damage from seismic events. Intensity/damage associated with an earthquake is not directly correlated to magnitude. For a given magnitude of an earthquake, the intensity/damage to a structure may vary depending on the subsurface earth materials, type of fault rupture, hypocenter depth, and local building practices in effect during the construction of a structure.

An evaluation of the seismic effects on a property is designed to provide the client with rational and believable seismic data that could affect the property during the lifetime of the proposed improvements. The minimum design acceleration for a project is listed in the Building Code. It is recommended that the structural design of the proposed project be based on current design and acceleration practices of similar projects in the area. The project structural designer should

review and verify all of the seismic design parameters prior to utilizing the information for the design.

### Ground Rupture

Ground rupture is the result of movement from an active fault. A fault is a fracture in the crust of the earth along which rocks on one side have moved relative to those on the other side. No known active fault is mapped on the subject site.

### Ground Shaking

Ground shaking caused by an earthquake is likely to occur at the site during the lifetime of the development due to the proximity of several active and potentially active faults. Generally, on a regional scale, quantitative predictions of ground motion values are linked to peak acceleration and repeatable acceleration, which are a response to earthquake magnitudes relative to the fault distance from the subject property. Southern California major earthquakes are generally the result of large-scale earth processes in which the Pacific plate slides northwestward relative to the North American plate at about 2 inches/year.

The potential for lurching, surface manifestations, landslides, and topographic related features from ground/seismic shaking can occur almost anywhere in Southern California. Proper maintenance of properties can mitigate some of the potential for these types of manifestations, but the potential cannot be completely eliminated. Many structures were built before earthquake codes were adopted; others were built according to codes formulated when less was known about the intensity of near-fault shaking. Therefore, the margin of safety is difficult to quantify.

A publicly available computer program provided by the United States Geological Survey (USGS) was utilized for the probabilistic prediction of peak horizontal ground acceleration from digitized design maps of Maximum Considered Earthquake (MCE) ground response. A summary of the seismic design parameters is provided in Appendix III. The project structural designer should verify all of the input parameters and review all of the resulting seismic design parameters prior to utilizing the information for the design.

### Tsunamis & Seiches

Properties located along the coastline have a potential for inundation from a tsunami. Tsunamis are ocean waves produced by sudden water displacement resulting generally from offshore earthquakes, large submarine landslides or submarine volcanic eruptions. Once generated, a tsunami can travel thousands of miles at high speeds up to 400 miles per hour. However, the topography of the sea floor and Channel Islands may minimize the risk of a large tsunami generated from a distant offshore earthquake impacting the Southern California coast.

The 1964 Alaskan Earthquake produced sea waves of less than four feet in the Los Angeles Harbor. The 1960 Chilean Earthquake produced sea waves of about five feet at Redondo Beach. Little data exists to evaluate the potential for a local tsunami generated off the coast of Southern California. Historically, two documented tsunamis have been generated off the coast of Southern California. The 1812 Santa Barbara Earthquake was reported to generate (10) to



(12) foot high sea waves at Gaviota. The 1927 Point Arguello Ms 7.3 Earthquake produced run-up heights of (5) feet at Port San Luis.

The lower threshold for tsunami development is considered to be about a magnitude of M6.5. Offshore faults and the Santa Monica faults appear capable of producing a magnitude of M6.5 earthquake and conceivably producing a sea wave. In their 2003 study, Evaluation of Tsunami Risk to Southern California Coastal Cities, Legg et al modeled tsunami propagation and run-up from a potential M7 to M7.4 magnitude earthquake on the offshore Catalina fault near Santa Catalina Island. The report concluded that run-up heights along the coast of Southern California could be on the order of 2 to 4 meters. Their stated recurrence times are on the order of a few hundred years for a large earthquake on offshore faults. The site is not located along the beach; therefore, there is very little potential for inundation of the site from a tsunami event.

Seiches are waves with low-energy within reservoirs, lakes, and bays that are generally produced by strong earthquake shaking. The proposed project is not located near a reservoir, lake, or bay; therefore, the potential for damage to the site from a seiche is nil.

#### Earthquake Induced Landslides

The State of California has prepared Seismic Hazard Zone Reports to regionally map areas of potential increased risk of permanent ground displacement based on historic occurrence of landslide movement, local topographic expression, and geological and geotechnical subsurface conditions. The maps may not identify all areas that have potential for earthquake-induced landsliding, strong ground shaking, or other earthquake-related geologic hazards. The subject site is not located within an earthquake-induced landslide hazard zone on the State of California Seismic Hazard Map.

The subject site is relatively flat with very little topography which precludes the potential for landslides and/or other hazards typically associated with hillside properties.

#### Liquefaction

The State of California has prepared Seismic Hazard Zone Reports to regionally map areas where historic occurrence of liquefaction, or local geological, geotechnical and groundwater conditions indicate a potential for permanent ground displacement. The maps may not identify all areas that have potential for liquefaction, strong ground shaking, and other earthquake and geologic hazards. The subject site is not located within a liquefaction hazard zone on the State of California Seismic Hazard Zone Map.

Liquefaction is a process by which sediments below the water table temporarily lose strength and behave as a viscous liquid rather than a solid. The types of sediments most susceptible are clay-free deposits of sand and silts; occasionally gravel liquefies. Liquefaction can occur when seismic waves, primarily shear waves, pass through saturated granular layers distorting the granular structure, and causing loosely packed groups of particles to collapse. These collapses increase the pore-water pressure between grains if drainage cannot occur. If the pore-water pressure rises to a level approaching the weight of the overlying soil, the granular layer temporarily behaves as a viscous liquid rather than a solid.

In the liquefied condition, soil may deform with little shear resistance; deformations large enough to cause damage to buildings and other structures are called ground failures. The ease with which a soil can be liquefied depends primarily on the looseness of the material, the depth, thickness and areal extent of the liquefied layer, the ground slope and the distribution of loads applied by buildings and other structures.

Liquefaction induced ground deformations (detailed below) will have an effect on the proposed and existing development that can result in significant structural damage, collapse or partial collapse of a structure, especially if there is significant differential settlement or lateral spreading between adjacent structural elements. Even without collapse, significant settlement or lateral spreading could result in significant structural damage including, but not limited to, blocked doors and windows that could trap occupants.

### Surface Manifestations

The determination of whether surface manifestation of liquefaction (such as sand boils, ground fissures etc.) will occur during earthquake shaking at a level-ground site can be made using the method outlined by Ishihara (1985). It is emphasized that settlement may occur, even with the absence of surface manifestation. Youd and Garris (1994 and 1995) evaluated the Ishihara method and concluded that the method is not appropriate for level ground sites subject to lateral spreading and/or ground oscillation.

Based upon the depth to groundwater, dense nature of alluvium, surface manifestations of liquefaction should not pose any significant hazard to the proposed development provided the recommendations contained within this report are followed and maintained.

### Lateral Spreads

Whereas the potential for flow slides may exist at a building site, the degradation in undrained shear resistance arising from liquefaction may lead to limited lateral spreads (of the order of feet or less) induced by earthquake inertial loading. Such spreads can occur on gently sloping ground or where nearby drainage or stream channels can lead to static shear stress biases on essentially horizontal ground (Youd, 1995). At larger cyclic shear strains, the effects of dilation may significantly increase post liquefaction undrained shear resistance. However, incremental permanent deformations will still accumulate during portions of the earthquake load cycles when low residual resistance is available. Such low resistance will continue even while large permanent shear deformations accumulate through a ratcheting effect. Such effects have recently been demonstrated in centrifuge tests to study liquefaction induced lateral spreads, as described by Balakrishnan et al. (1998). Once earthquake loading has ceased, the effects of dilation under static loading can mitigate the potential for a flow slide.

It is clear from past earthquakes that damage to structures can be severe, if permanent ground displacements on the order of several feet occur. However, during the Northridge earthquake significant damage to building structures (floor slab and wall cracks) occurred with less than one (1) foot of lateral spread. The complexities of post-liquefaction behavior of soils noted above, coupled with the additional complexities of potential pore water pressure redistribution effects

and the nature of earthquake loading on the sliding mass, lead to difficulties in providing specific guidelines for lateral spread evaluations.

Based upon the depth to groundwater, dense nature of the alluvium, liquefaction lateral spreads should not pose any significant hazard to the proposed development.

### Seismically Induced Settlements

Seismic settlement occurs when cohesionless soils densify as result of ground shaking. Typically seismically induced settlement is greatest in loose cohesionless sands. Lee and Albaisa (1974) and Yoshimi (1975) studied the volumetric strains (or settlements) in saturated sands due to dissipation of excess pore pressures generated in saturated granular soils by the cyclic ground motions. The volumetric strain, in the absence of lateral flow or spreading, results in settlement. Liquefaction-induced settlement could result in collapse or partial collapse of a structure, especially if there is significant differential settlement between adjacent structural elements. Even without collapse, significant settlement could result in blocked doors and windows that could trap occupants.

The soils encountered at the subject site consist of dense silty sand and sand with clay binder. Although the magnitude of the seismically induced settlement is not readily predicted, based upon the depth to groundwater, dense nature of alluvium, seismically induced settlement should not pose any significant hazard to the proposed development provided the recommendations contained within this report followed and maintained.

### **Seismic Velocity Measurements**

Downhole seismic velocity measurements were performed by GeoPentech in Boring No. 1, which was drilled to a depth of 201 feet below the existing ground surface. The results are included within the Downhole Seismic Survey Results report by GeoPentech dated March 22, 2016. The soils from 0-100 feet were determined to have a  $V_{s30}$  (ft/sec) of 1450 ft/sec.

### **CONCLUSIONS**

1. Based on the results of this investigation and a thorough review of the proposed development, as discussed, the project is suitable for the intended use providing the following recommendations are incorporated into the design and subsequent construction of the project. Also, the development must be performed in an acceptable manner conforming to building code requirements of the controlling governing agency.
2. Based on the State of California Seismic Hazard Maps, the subject site is not located within a liquefaction or earthquake-induced landslide hazard zone.
3. Based on the seismic velocity measurement the soils would be are considered very dense and should be classified as Site Class C.

4. Based upon field observations, laboratory testing and analysis, the alluvium found in the explorations at the proposed basement elevations should possess sufficient strength to support the development.

## **RECOMMENDATIONS**

### **Specific**

1. The proposed 13-story hotel expansion over partial one level subgrade parking should be supported on foundations embedded into dense alluvium.
2. The proposed 22-story residential building over 3-4 levels of subgrade parking should be supported on foundations embedded into the dense alluvium encountered at the basement elevation.
3. The soils chemistry results should be incorporated into the design of the proposed project.
4. The property owner shall maintain the site as outlined in the Drainage and Maintenance Section.

### **Drainage and Maintenance**

Maintenance of properties must be performed to minimize the chance of serious damage and/or instability to improvements. Most problems are associated with or triggered by water. Therefore, a comprehensive drainage system should be designed and incorporated into the final plans. In addition, pad areas should be maintained and planted in a way that will allow this drainage system to function as intended. The property owner shall be fully responsible for dampness or water accumulation caused by alteration in grading, irrigation or installation of improper drainage system, and failure to maintain drain systems. The following are specific drainage, maintenance, and landscaping recommendations. Reductions in these recommendations will reduce their effectiveness and may lead to damage and/or instability to the improvements. It is the responsibility of the property owner to ensure that improvements, structures and drainage devices are maintained in accordance with the following recommendations and the requirements of all applicable government agencies.

#### **Drainage**

Positive pad drainage should be incorporated into the final plans. The pad should slope away from the footings at a minimum five percent slope for a horizontal distance of ten feet. In areas where there is insufficient space for the recommended ten foot horizontal distance concrete or other impermeable surface should be provided for a minimum of three feet adjacent the structure. Pad drainage should be at a minimum of two percent slope where water flow over lawn or other planted areas. Drainage swales should be provided with area drains about every fifteen feet. Area drains should be provided in the rear and side yards to collect drainage. All drainage from the pad should be directed so that water does not pond adjacent to the foundations or flow toward them. Roof gutters and downspouts are required for the proposed structures and should be connected into a buried area drain system. All drainage from the site

should be collected and directed via non-erosive devices to a location approved by the building official. Area drains, subdrains, weep holes, roof gutters and downspouts should be inspected periodically to ensure that they are not clogged with debris or damaged. If they are clogged or damaged, they should be cleaned out or repaired.

### Landscaping (Planting)

The property owner is advised not to develop planter areas between patios, sidewalk and structures. Planters placed immediately adjacent to the structures are not recommended. If planters are proposed immediately adjacent to structures, impervious above-grade or below-grade planter boxes with solid bottoms and drainage pipes away from the structure are suggested. All slopes should be maintained with a dense growth of plants, ground-covering vegetation, shrubs and trees that possess dense, deep root structures and require a minimum of irrigation. Plants surrounding the development should be of a variety that requires a minimum of watering. It is recommended that a landscape architect be consulted regarding planting adjacent to improvements. It will be the responsibility of the property owner to maintain the planting. Alterations of planting schemes should be reviewed by the landscape architect.

### Irrigation

An adequate irrigation system is required to sustain landscaping. Over-watering resulting in runoff and/or ground saturation must be avoided. Irrigation systems must be adjusted to account for natural rainfall conditions. Any leaks or defective sprinklers must be repaired immediately. To mitigate erosion and saturation, automatic sprinkling systems must be adjusted for rainy seasons. A landscape architect should be consulted to determine the best times for landscape watering and the proper usage.

### Pools/Plumbing

Leakage from a swimming pool or plumbing can produce a perched groundwater condition that may cause instability or damage to improvements. Therefore, all plumbing should be leak-free.

### **Grading and Earthwork**

Proposed grading will consist of excavation for the proposed subgrade parking and retaining wall backfilling and foundation excavations.

Following the completion of the excavation, the subgrade soils should be evaluated by the project geotechnical engineer to verify their suitability to support the foundation loads of the proposed development. This evaluation may include probing and proof-rolling to identify any soft, loose or otherwise unstable soils that must be removed. Some localized areas of deeper excavation may be required if additional fill materials or dry, loose, porous or otherwise unsuitable materials are encountered at the base of the excavation.

## **Foundations**

It is recommended that the proposed structure be founded into alluvium encountered at the proposed basement elevation.

### **Conventional**

The minimum continuous footing size is (24) inches wide and (24) inches deep into the alluvium found at the basement elevation, measured from the lowest adjacent grade. Continuous footings may be proportioned, using a bearing value of (4200) pounds per square foot. Column footings placed into the alluvium at basement elevation may be proportioned, using a bearing value of (6000) pounds per square foot, and should be a minimum of (2) feet in width and (24) inches deep, below the lowest adjacent grade. The allowable bearing capacity presented above may be increased 20% for each additional foot of width or depth up to (10,000) pounds per square foot.

All continuous footings shall be reinforced with a minimum of (4) #5 bars, two placed near the top and two near the bottom. Reinforcing recommendations are minimums and may be revised by the structural engineer.

The bearing values given above are net bearing values; the weight of concrete below grade may be neglected. These bearing values may be increased by one-third (1/3) for temporary loads, such as, wind and seismic forces.

All footing excavation depths will be measured from the lowest adjacent grade of recommended bearing material. Footing depths will not be measured from any proposed elevations or grades. Any foundation excavations that are not the recommended depth into the recommended bearing materials will not be acceptable to this office.

Lateral loads may be resisted by friction at the base of the conventional foundations with a maximum embedment of (5) feet and by passive resistance within the alluvium. A coefficient of friction of (0.35) may be used between the foundations and the alluvium. The passive resistance may be assumed to act as a fluid with a density of (300) pounds per cubic foot. A maximum passive earth pressure of (3000) pounds per square foot may be assumed.

### **Mat Foundation Recommendations**

The proposed structure may be supported on mat foundation system embedded into the alluvium. Rigid and flexible mat foundation design values are presented below:

Although foundation loads were not available at the time of this investigation, it is anticipated that the mat foundation load will range from 8,000 to 10,000 psf. It is anticipated that a mat foundation would be on the order of 5 feet thick.

*Conventional rigid method:*

The mat foundation may be proportioned using an average bearing value of (10,000) pounds per square foot. The mat foundation structural design should be done by the project structural engineer.

*Approximate flexible method:*

The coefficient of subgrade reaction of foundations measuring (1x1) square foot,  $k_1$ , may be taken as (300) lb/in<sup>3</sup>. The mat foundation structural design should be done by the project structural engineer.

The bearing values given above are net bearing values; the weight of concrete below grade may be neglected. These bearing values may be increased by one-third (1/3) for temporary loads, such as, wind and seismic forces.

All footing excavation depths will be measured from the lowest adjacent grade of recommended bearing material. Footing depths will not be measured from any proposed elevations or grades. Any foundation excavations that are not the recommended depth into the recommended bearing materials will not be acceptable to this office.

Vapor retarder/waterproofing design and inspection of installation is not the responsibility of the geotechnical engineer (most often the responsibility of the architect). GeoConcepts, Inc. does not practice in the field of water and moisture vapor transmission evaluation/mitigation. Therefore, we recommend that a qualified person/firm be engaged/consulted to evaluate the general and specific water and moisture vapor transmission paths and any impact on the proposed development. This person/firm should provide recommendations for mitigation of potential adverse impact of water and moisture vapor transmission on various components of the structure as deemed necessary. The actual waterproofing design shall be provided by the architect, structural engineer or contractor with experience in waterproofing

In order to promote good building practices and alert the rest of the design/construction team of the appropriate standards and expert recommendations pertaining to vapor barriers/retarders, engineers (especially those aware of the issues surrounding below-slab moisture protection and its effects on the success of their projects) should consider recommending and citing specific performance characteristics. The following paragraph includes criteria from the latest standards and expert recommendations and should be considered for use in your firm's own recommendations:

*Vapor barrier shall consist of a minimum 15 mil extruded polyolefin plastic (no recycled content or woven materials permitted). Permeance as tested before and after mandatory conditions (ASTM E 1745 Section 7.1 and Sub-Paragraph 7.1.1-7.1.5): less than 0.01 perms [grains/(ft<sup>2</sup>-hr-inHg)] and comply with the ASTM E 1745 Class A requirements. Install vapor barrier according to ASTM E1643, including proper perimeter seal. Basis of design: Stego Wrap Vapor Barrier 15 mil and Stego Crete Claw Tape (perimeter seal tape). Approved Alternatives: Vaporguard by Reef Industries, Sundance 15 mil Vapor Barrier by Sundance Inc.*

### **Settlement**

Settlement of the proposed building supported on conventional foundations will occur. Settlement of (1/2) to (1) inches between walls, within 20 feet or less, of each other, and under similar loading conditions, are considered normal. Total settlement on the order of (1.5) inches should be anticipated.

Settlement of proposed mat foundation is anticipated. Based on the current loading condition, settlements are estimated to range from (2.5) to (3.0) inches under the heavily-loaded center of the proposed mat foundation, and settlements are estimated to range from (1.0) to (1.5) inch under the edge of the proposed mat foundation.

### **Expansive Soils**

Expansive soil was not encountered on the subject property that is anticipated affect the proposed development. Expansive soils can be a problem, as variation in moisture content will cause a volume change in the soil. Expansive soils heave when moisture is introduced and contract as they dry. During inclement weather and/or excessive landscape watering, moisture infiltrates the soil and causes the soil to heave (expansion). When drying occurs the soils will shrink (contraction). Repeated cycles of expansion and contraction of soils can cause pavement, concrete slabs on grade and foundations to crack. This movement can also result in misalignment of doors and windows. To reduce the effect of expansive soils, foundation systems are usually deepened and/or provided with additional reinforcement design by the structural engineer. Planning of yard improvements should take into consideration maintaining uniform moisture conditions around structures. Soils should be kept moist, but water should not be allowed to pond. These designs are intended to reduce, but will not eliminate deflection and cracking and do not guarantee or warrant that cracking will not occur.

### **Excavations**

Excavations ranging in vertical height up to 45 feet will be required for the subgrade parking. Conventional excavation equipment may be used to make these excavations. Excavations should expose alluvium. Shoring is anticipated to be required for all the excavations due to the adjacent structures, street and alley. This should be verified by the project geotechnical engineer during construction so that modifications can be made if variations in the soil occur.

#### Temporary Shoring

The following information on the design and installation of the shoring is as complete as possible at this time. It is suggested that a review of the final shoring plans and specifications be made by this office prior to bidding or negotiating with a shoring contractor be made.

One method of shoring would consist of steel soldier piles, placed in drilled holes and backfilled with concrete. The soldier piles may be designed as cantilevers or laterally braced utilizing drilled tie-back anchors or raker braces.



## Soldier Piles

Drilled cast-in-place soldier piles should be placed no closer than 2 diameters on center. The minimum diameter of the piles is 18 inches. Structural concrete should be used for the soldier piles below the excavation; lean-mix concrete may be employed above that level. As an alternative, lean-mix concrete may be used throughout the pile where the reinforcing consists of a wideflange section. The slurry must be of sufficient strength to impart the lateral bearing pressure developed by the wideflange section to the earth materials. For design purposes, an allowable passive value for the earth materials below the bottom plane of excavation, may be assumed to be 300 pounds per square foot per foot. To develop the full lateral value, provisions should be implemented to assure firm contact between the soldier piles and the undisturbed earth materials.

The frictional resistance between the soldier piles and retained earth material may be used to resist the vertical component of the anchor load. The coefficient of friction may be taken as 0.4 based on uniform contact between the steel beam and lean-mix concrete and retained earth. The portion of soldier piles below the plane of excavation may also be employed to resist the downward loads. The downward capacity may be determined using a frictional resistance of 450 pounds per square foot. The minimum depth of embedment for shoring piles is 5 feet below the bottom of the footing excavation.

The exploration was performed using a hollow stem drill rig and although no caving was detected it is difficult to detect caving in hollow stem boring. Casing may be required should caving be experienced in the saturated earth materials. If casing is used, extreme care should be employed so that the pile is not pulled apart as the casing is withdrawn. At no time should the distance between the surface of the concrete and the bottom of the casing be less than 5 feet.

Groundwater was not encountered during exploration, although seepage was encountered at depths of 157.5 & 187.5 feet below grade. Therefore, it is not anticipated that the proposed shoring piles will encounter water. If groundwater is encountered, piles placed below the water level will require the use of a tremie to place the concrete into the bottom of the hole. A tremie shall consist of a water-tight tube having a diameter of not less than 10 inches with a hopper at the top. The tube shall be equipped with a device that will close the discharge end and prevent water from entering the tube while it is being charged with concrete. The tremie shall be supported so as to permit free movement of the discharge end over the entire top surface of the work and to permit rapid lowering when necessary to retard or stop the flow of concrete. The discharge end shall be closed at the start of the work to prevent water entering the tube and shall be entirely sealed at all times, except when the concrete is being placed. The tremie tube shall be kept full of concrete. The flow shall be continuous until the work is completed and the resulting concrete seal shall be monolithic and homogeneous. The tip of the tremie tube shall always be kept about five feet below the surface of the concrete and definite steps and safeguards should be taken to insure that the tip of the tremie tube is never raised above the surface of the concrete.

A special concrete mix should be used for concrete to be placed below water. The design shall provide for concrete with a strength of 1,000 psi over the initial job specification. An admixture that reduces the problem of segregation of paste/aggregates and dilution of paste shall be included. The slump shall be commensurate to any research report for the admixture, provided that it shall also be the minimum for a reasonable consistency for placing when water is present.

### Lagging

It is anticipated that lagging will be required throughout the entire depth of the excavation. Soldier piles and anchors should be designed for the full anticipated pressures. Due to arching in the earth materials, the pressure on the lagging will be less. It is recommended that the lagging be designed for the full design pressure but may be limited to a maximum of 400 pounds per square foot.

### Lateral Pressures

A triangular distribution of lateral earth pressure should be utilized for the design of cantilevered shoring system. A trapezoidal distribution of lateral earth pressure would be appropriate where shoring is to be restrained at the top by bracing or tie backs. Equivalent fluid pressures for the design of cantilevered and restrained shoring are presented in the following table:

Height of Shoring (feet)	Active Pressure Equivalent Fluid Pressure (pcf) Triangular Distribution of Pressure	Restrained Shoring System Lateral Earth Pressure (pcf) (At-Rest Pressure) Triangular Distribution of Pressure	Restrained Shoring System Lateral Earth Pressure (psf)* (At-Rest Pressure) Trapezoidal Distribution of Pressure
15 feet	36	52	35H
35 feet	40	52	35H
45 feet	40	52	35H

\*Where H is the height of the shoring in feet.

Additional active pressures should be applied where the shoring will be surcharged by adjacent traffic or structures.

### Tied-Back Anchors

Tie-back anchors may be used to resist lateral loads. Friction anchors consisting of high stress thread bars are recommended. For design purposes, it may be assumed that the active wedge adjacent to the shoring is defined by a plane drawn 35 degrees with the vertical through the bottom plane of the excavation. Friction anchors should extend a minimum of 20 feet beyond the potentially active wedge and to greater lengths if necessary to develop the desired capacities.

Drilled friction anchors may be designed for a skin friction of 300 pounds per square foot. Pressure grouted anchor may be designed for a skin friction of 2,000 pounds per square foot. Where belled anchors are utilized, the capacity of belled anchors may be designed by assuming the diameter of the bonded zone is equivalent to the diameter of the bell. Only the frictional resistance developed beyond the active wedge would be effective in resisting lateral loads. Anchors should be placed at least 6 feet on center to be considered isolated.

It is recommended that at least 3 of the initial anchors have their capacities tested to 200 percent of their design capacities for a 24-hour period to verify their design capacity. The total deflection during the 24-hour 200 percent test should not exceed 12 inches. During the 24-hour tests, the anchor deflection should not exceed 0.75 inches measured after the 200 percent test load is applied.

All anchors should be tested to at least 150 percent of design load. The total deflection during this test should not exceed 12 inches. The rate of creep under the 150 percent test load should not exceed 0.1 inch over a 15 minute period in order for the anchor to be approved for the design loading.

After a satisfactory test, each anchor should be locked-off at the design load. This should be verified by rechecking the load in the anchor. The load should be within 10 percent of the design load. Where satisfactory tests are not attained, the anchor diameter and/or length should be increased or additional anchors be installed until satisfactory test results are obtained. The installation and testing of the anchors should be observed by a representative of this firm. Minor caving during drilling of the anchors should be anticipated.

### Raker Braces

The proposed soldier piles may be laterally supported by raker braces supported by temporary footings, or dead-men. Temporary footings inclined at an angle of 45 degrees to the horizontal may be designed for an allowable bearing value of 1500 psf. To utilize this allowable bearing pressure, the inclined footings should be a minimum of 24 inches in width, and should be embedded a minimum of 24 inches below the lowest adjacent grade. An increase of 300 pounds per square foot may be utilized for each additional foot of width.

### Deflection

It is difficult to accurately predict the amount of deflection of a shored embankment. It should be realized that some deflection will occur. It is estimated that the deflection could be on the order of one-half inch at the top of the shored embankment. If greater deflection occurs during construction, additional bracing may be necessary to minimize settlement of adjacent buildings and utilities in adjacent streets and alleys. If desired to reduce the deflection, a greater active pressure could be used in the shoring design. Where internal bracing is used, the rakers should be tightly wedged to minimize deflection. The proper installation of the raker braces and the wedging will be critical to the performance of the shoring.

## Monitoring

Because of the depth of the excavation, some mean of monitoring the performance of the shoring system is suggested. The monitoring should consist of periodic surveying of the lateral and vertical locations of the tops of all soldier piles and the lateral movement along the entire lengths of selected soldier piles. Also, some means of periodically checking the load on selected anchors will be necessary, where applicable.

## Shoring Observations

It is critical that the installation of shoring is observed by a representative of this office. Many building officials require that shoring installation should be performed during the continuous observations of the geotechnical engineer. The observations are made so that modifications of the recommendations can be made if variations in the earth material or groundwater conditions occur. Also the observations will allow for a report to be prepared on the installation of shoring for the use of the local building official.

## **Excavations Maintenance – Erosion Control**

The following recommendations should be considered a part of the excavation/erosion control plan for the subject site and are intended to supplement, but not supersede nor limit the erosion control plans produced by the Project Civil Engineer and/or Qualified SWPPP Developer. These recommendations should be implemented during periods required by the Building Code (typically between the months of October and April) or at any time of the year prior to a predicted rain event. Consideration should also be given to potential local sources of water/runoff such as existing drainage pipes or irrigation systems that remain in operation during construction activities.

### Open Excavations:

All open excavations shall be protected from inclement weather, including areas above and at the toe of the excavation. This is required to keep the excavations from becoming saturated. Saturation of the excavation may result in a relaxation of the soils which may result in failures. Water/runoff should be diverted away from the excavation and not be allowed to flow over the excavation in a concentrated manner.

### Open Trenches/Foundation Excavations:

No water should be allowed to pond adjacent to or flow into open trenches. All open trenches shall be covered with plastic sheeting that is anchored with sandbags. Areas around the trenches should be sloped away from the trenches to prevent water runoff from flowing into or ponding adjacent to the trenches.

After the inclement weather has ceased, the excavations shall be reviewed by the project geotechnical engineer and geologist for safety prior to recommencement of work. Foundation excavations that remain open during inclement weather shall be reviewed by the project geotechnical engineer and geologist prior to the placement of steel and concrete to ensure that proper embedment and contact with the bearing material have been maintained.

**Open Pile/Caisson Excavations:**

All pile/caisson excavations should be reviewed and poured prior to the onset of inclement weather. It is not recommended that any pile/caisson excavations remain open through any inclement weather. However, if it is necessary to leave pile/caisson excavations open during inclement weather, all water and runoff shall be diverted away from and prevented from entering the pile/caisson excavations. Pile/caisson excavations that remain open during inclement weather shall be reviewed by the project geotechnical engineer and geologist prior to the placement of steel and concrete to ensure that proper embedment has been maintained. The base of all end-bearing caissons shall be re-cleaned to ensure contact with the proper bearing material. All stockpiled cuttings from the pile borings shall be removed.

**Grading In Progress:**

During the inclement time of the year, or during periods prior to the onset of rain, all fill that has been spread and is awaiting compaction shall be compacted before stopping work for the day or before stopping work because of inclement weather. These fills, once compacted, shall have the surface sloped to drain to one area where water may be removed.

Additionally, it is suggested that all stock-piled fill materials be covered with plastic sheeting. This action will reduce the potential for the moisture content of the fill from becoming too high for compaction. If the fill stockpile is not covered during inclement weather, then aerating the fill to reduce the moisture content would be required. This action is generally very time consuming and may result in construction delays. Work may recommence, after the rain event, once the site has been reviewed by the project geotechnical engineer.

**Retaining Walls**

Cantilever retaining walls should be designed to resist an active earth pressure such as that exerted by compacted backfill. Retaining walls up to (45) feet in height may be designed per the following table. The 'active' pressure assumes that the wall will be allowed to deflect 0.01H to 0.02H. Basement walls and other walls where horizontal movement is restricted at the top or not allowed to deflect shall be designed for at-rest pressure.

Height of Retained Material (ft)	Active Equivalent Fluid Weight (p.c.f.)	At-Rest Pressure Fluid Weight (p.c.f.)
15	50	60
35	53	65
45	53	65

In addition to lateral earth pressure, these retaining walls should be designed to resist the surcharge imposed by the proposed structures, footings, any adjacent buildings, or by adjacent traffic surcharge.

The wall pressure stated assumes that the wall has been backfilled as outlined below with a permanent drainage system. Proper compaction of the backfill is recommended to provide lateral support to adjacent properties. Even with proper compaction of required backfill, settlement of the backfill may occur. Accordingly, utility lines, footings, slabs, or falsework should be planned and designed to accommodate potential settlement.

Walls to be backfilled must be reviewed by the project Geotechnical Engineer prior to commencement of the backfilling operation.

1. Adequate permanent drainage is required behind the wall to minimize the buildup of hydrostatic pressures. A perforated pipe, with perforations placed down, shall be installed at the base of the wall footing. The pipe shall be encased in at least one foot (1') of three-quarter inch (3/4") gravel. The pipe shall exit from behind the retaining wall and drain to a location approved by the architect or civil engineer.

When space does not permit the installation of standard pipe and gravel drainage system, i.e. walls adjacent the property line, a flat drainage product is acceptable subject to approval of the governing agency. It is recommended that a drainage composite geotextile (such as MiraDrain / QuickDrain) be placed at the base of the proposed retaining wall. The drainage composite geotextile will provide comparable drainage to the conventional four inch perforated pipe encased in gravel per Code Sections 1805.4.2 and 1805.4.3.

If a drainage system is not provided the walls should be designed to resist an external hydrostatic pressure due to water in addition to the lateral earth pressure in Retaining Wall section. The entire wall should be design for full hydrostatic pressure based on a water level at the ground surface. In addition, floors would need to be designed for hydrostatic uplift and waterproofed.

2. A continuous vertical drain, consisting of a gravel blanket six inches (6") thick or geotextile vertical drainage system, shall be placed along the back side of the wall to within 2 feet of the ground surface.
3. Water and moisture affecting retaining walls is a common post-construction complaint. Poorly applied or omitted waterproofing can lead to standing water inside the building or efflorescence on the wall.

It is recommended that the retaining walls be waterproofed. Waterproofing design and inspection of installation is not the responsibility of the geotechnical engineer. GeoConcepts, Inc. does not practice in the field of water and moisture vapor transmission evaluation/mitigation. Therefore, we recommend that a qualified person/firm be engaged/consulted to evaluate the general and specific water and moisture vapor transmission paths and any impact on the proposed development. This person/firm should provide recommendations for mitigation of potential adverse impact of water and moisture vapor transmission on various components of the structure as deemed necessary. The actual waterproofing design shall be provided by the architect, structural engineer or contractor with experience in waterproofing.

4. After the wall backdrain system has been placed and the waterproofing installed, fill may be placed, if sufficient room allows, in layers not exceeding four inches (4") in thickness and compacted to 90 percent of the maximum density, as determined by ASTM D 1557. Where cohesionless soil having less than (15) percent finer than (0.005) millimeters is used for fill, the fill material shall be compacted to a minimum of (95) percent of the maximum dry density.
5. Where space does not permit compaction of material behind the wall (<24 inches wide), a granular backfill shall be used. This granular backfill shall consist of one-half inch (1/2") to three-quarter inch (3/4") crushed rock and should be densified by tamping into place. The crushed rock backfill should not exceed a depth of ten feet.
6. All granular free-draining wall backfills shall be capped with a clayey compacted soil within the upper two feet (2') of the wall backfill. This compacted material should start below the required wall freeboard.

Lateral Earth Pressure Due to Earth Motion

Cantilever retaining walls should be designed to resist an active earth pressure due to earth motion, if required by the building official, distributed as a triangle pressure. Retaining walls up to (45) feet in height may be designed per the following table. The seismic equivalent fluid pressure is in addition to static earth pressures. The seismic loading is based on a horizontal acceleration coefficient of 0.29 (one-half of two-thirds of  $PGA_m$ ).

Surface Slope of Retained Material Horizontal to Vertical	Seismically Induced Earth Pressure - Equivalent Fluid Weight p.c.f.
Level	6
Level	8
Level	10

Surcharge from Adjacent Structures:

In addition to lateral earth pressure, the proposed shoring and retaining walls should be designed to resist the surcharge imposed by the proposed structures, footings, any adjacent buildings, or by adjacent traffic surcharge.

Slabs on Grade

Slabs on grade should be reinforced with minimum #4 reinforcing bars, placed at (16) inches on center each way and supported on alluvium. Provisions for cracks should be incorporated into the design and construction of the foundation system, slabs, and proposed floor coverings. Concrete slabs should have sufficient control joints spaced at a maximum of approximately 8 feet. These recommendations are considered minimums unless superseded by the project structural engineer.

Vapor retarder/waterproofing design and inspection of installation is not the responsibility of the geotechnical engineer (most often the responsibility of the architect). GeoConcepts, Inc. does not practice in the field of water and moisture vapor transmission evaluation/mitigation. Therefore, we recommend that a qualified person/firm be engaged/consulted to evaluate the general and specific water and moisture vapor transmission paths and any impact on the proposed development. This person/firm should provide recommendations for mitigation of potential adverse impact of water and moisture vapor transmission on various components of the structure as deemed necessary. The actual waterproofing design shall be provided by the architect, structural engineer or contractor with experience in waterproofing

In order to promote good building practices and alert the rest of the design/construction team of the appropriate standards and expert recommendations pertaining to vapor barriers/retarders, engineers (especially those aware of the issues surrounding below-slab moisture protection and its effects on the success of their projects) should consider recommending and citing specific performance characteristics. The following paragraph includes criteria from the latest standards and expert recommendations and should be considered for use in your firm's own recommendations:

*Vapor barrier shall consist of a minimum 15 mil extruded polyolefin plastic (no recycled content or woven materials permitted). Permeance as tested before and after mandatory conditions (ASTM E 1745 Section 7.1 and Sub-Paragraph 7.1.1-7.1.5): less than 0.01 perms [grains/(ft<sup>2</sup>-hr-inHg)] and comply with the ASTM E 1745 Class A requirements. Install vapor barrier according to ASTM E1643, including proper perimeter seal. Basis of design: Stego Wrap Vapor Barrier 15 mil and Stego Crete Claw Tape (perimeter seal tape). Approved Alternatives: Vaporguard by Reef Industries, Sundance 15 mil Vapor Barrier by Sundance Inc.*

## **REVIEWS**

### **Plan Review and Plan Notes**

The final grading, building, and/or structural plans shall be reviewed and approved by the consultants to ensure that all recommendations are incorporated into the design or shown as notes on the plan.

The final plans should reflect the following:

1. The Preliminary Geotechnical Engineering Investigation by GeoConcepts, Inc. is a part of the plans.
2. Plans must be reviewed and signed by GeoConcepts, Inc.
3. The project geotechnical engineer must review all grading.
4. The project geotechnical engineer shall review all foundations.



## **Construction Review**

Reviews will be required to verify all geotechnical work. It is required that all footing excavations, seepage pits, and grading be reviewed by this office. This office should be notified at least **two working days** in advance of any field reviews so that staff personnel may be made available.

The property owner should take an active role in project safety by assigning responsibility and authority to individuals qualified in appropriate construction safety principles and practices. Generally, site safety should be assigned to the general contractor or construction manager that is in control of the site and has the required expertise, which includes but not limited to construction means, methods and safety precautions.

## **LIMITATIONS**

### **General**

This report is intended to be used only in its entirety. No portion or section of the report, by itself, is designed to completely represent any aspect of the project described herein. If any reader requires additional information or has questions regarding this report, GeoConcepts, Inc. should be contacted.

Subsurface conditions were interpreted on the basis of our field explorations and past experience. Although, between exploratory excavations, subsurface earth materials may vary in type, strength and many other properties from those interpreted. The findings, conclusions and recommendations presented herein are for the soil conditions encountered in the specific locations. Earth materials and conditions immediately adjacent to, or beneath those observed may have different characteristics, such as, earth type, physical properties and strength. Other soil conditions due to non-uniformity of the soil conditions or manmade alterations may be revealed during construction. If subsurface conditions differ from those encountered in the described exploration, this office should be advised immediately so that further recommendations may be made if required. If it is desired to minimize the possibility of such changes, additional explorations and testing can/should be performed.

Findings, conclusions and recommendations presented herein are based on experience and background. Therefore, findings, conclusions and recommendations are professional opinions and are not meant to indicate a control of nature.

This preliminary report provides information regarding the findings on the subject property. It is not designed to provide a guarantee that the site will be free of hazards in the future, such as but not limited to, landslides, slippage, liquefaction, expansive soils, differential settlement, debris flows, seepage, concentrated drainage or flooding. It may not be possible to eliminate all hazards, but homeowners must maintain their property and improve deficiencies to minimize these hazards.

**This report may not be copied. If you wish to purchase additional copies, you may order them from this office.**

**CONSTRUCTION NOTICE**

Construction can be challenging. GeoConcepts, Inc. has provided this report to advise you of the general site conditions, geotechnical feasibility of the proposed project, and overall site stability. It must be understood that the professional opinions provided herein are based upon subsurface data, laboratory testing, analyses, and interpretation thereof. Recommendations contained herein are based upon surface reconnaissance and minimum subsurface explorations deemed suitable by your consultants.

Although quantities for foundation concrete and steel may be estimated based on the findings provided in this report, provision should be made for possible changes in quantities during construction. If it is desired to minimize the possibility of such changes, additional exploration and testing should be considered. However, you must be aware that depths and magnitudes will most likely vary between explorations given in the report.

We appreciate the opportunity of serving you on this project. If you have any questions concerning this report, please contact the undersigned.

Respectfully submitted,  
GEOCONCEPTS, INC.



Scott J. Walter  
Project Engineer  
GE 2476  
SJW/KNC/RMH/RD: 5076-4  
Distribution: (3) Addressee

**APPENDIX I**

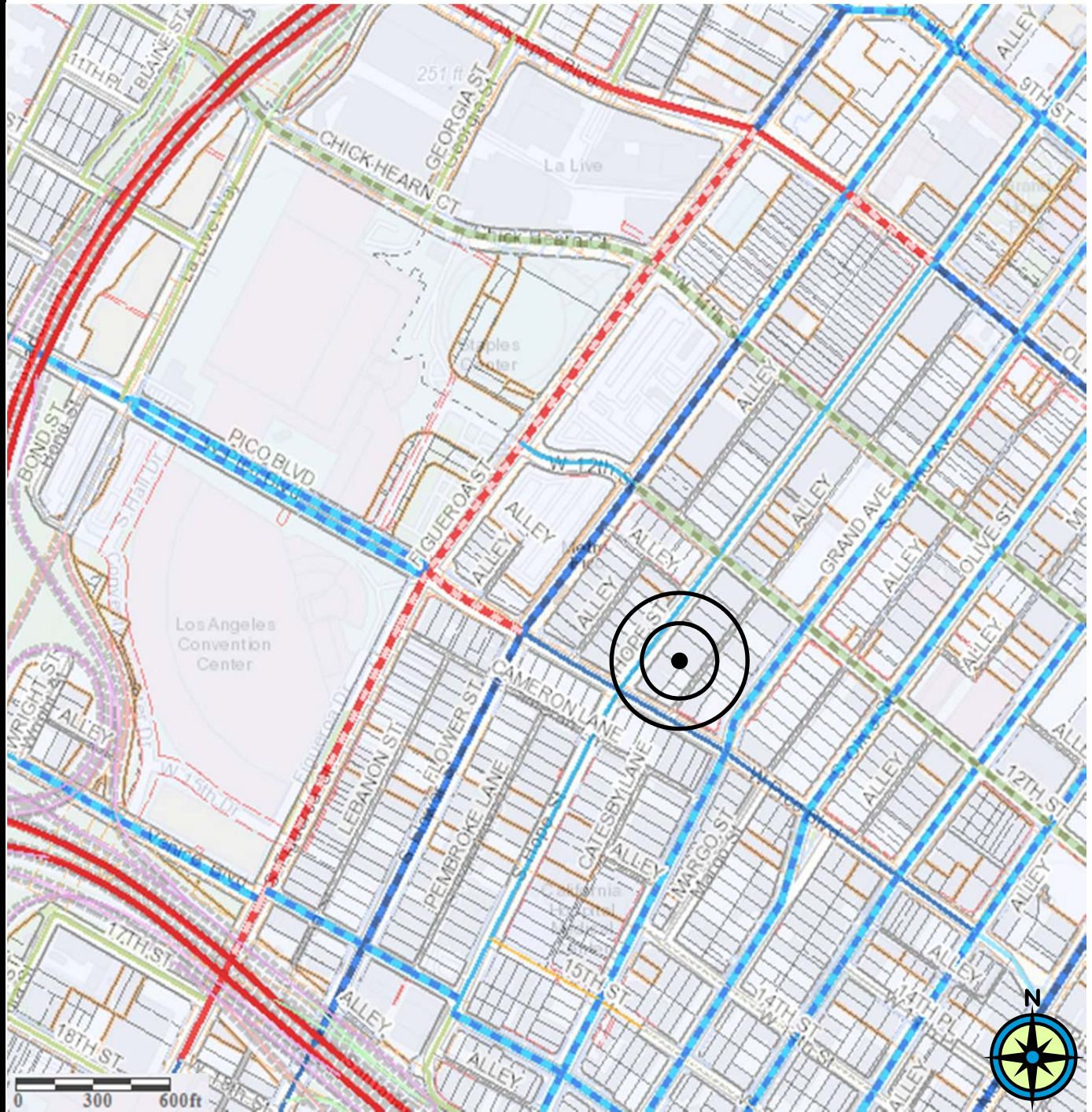
**SITE INFORMATION**

Location Map  
Groundwater Map  
Regional Geologic Map  
USGS Fault Map  
Seismic Hazard Map

Plot Map  
Cross Sections

Field Exploration  
Borings 1 through 4

# LOCATION MAP



Reference:

City of Los Angeles, Bureau of Engineering, NavigateLA

Scale: As Shown



# GROUNDWATER MAP

● Borehole Site

— 30 — Depth to ground water in feet

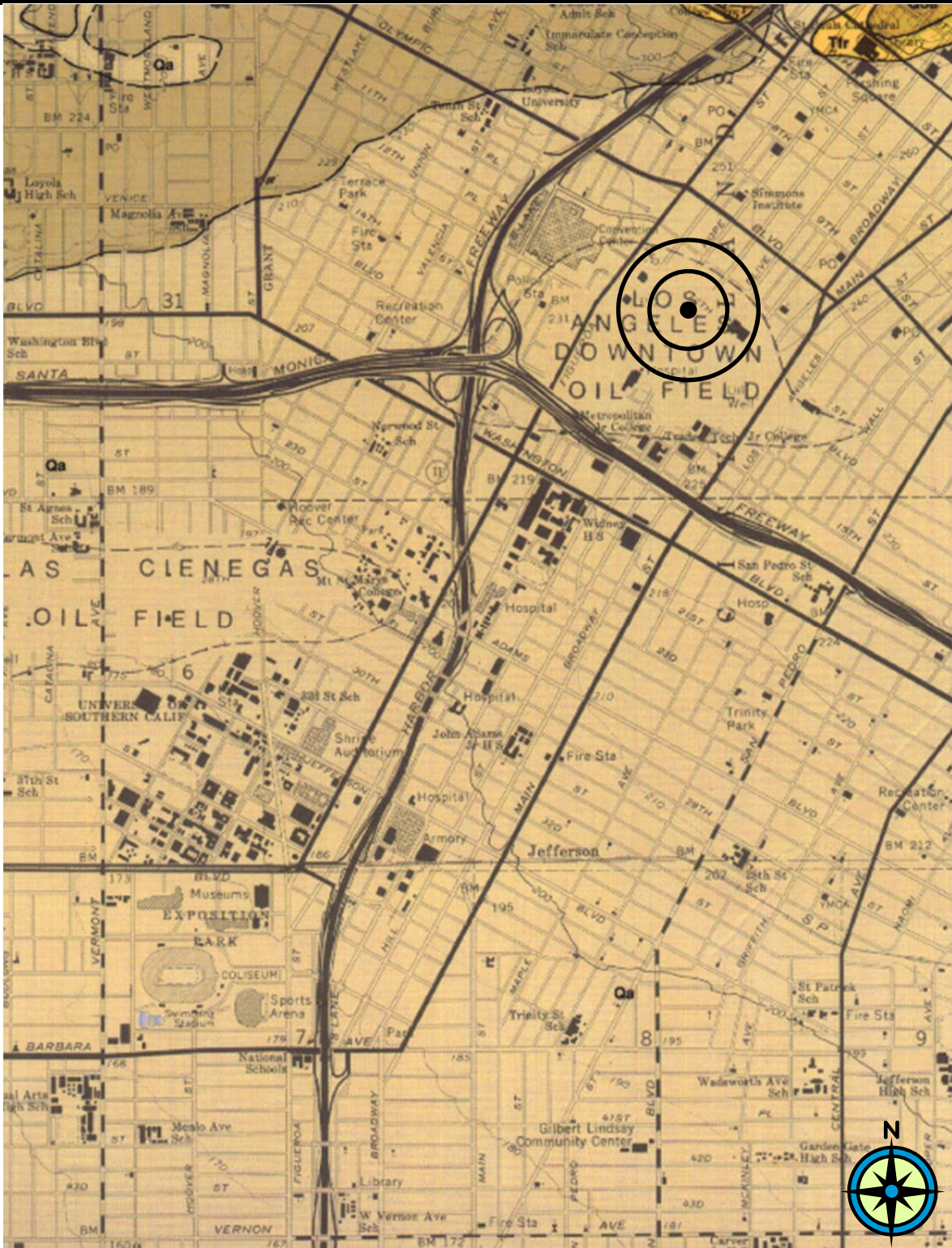


Reference:

State of California Seismic Hazard Report, Hollywood Quadrangle

Scale: As Shown

# REGIONAL GEOLOGIC MAP

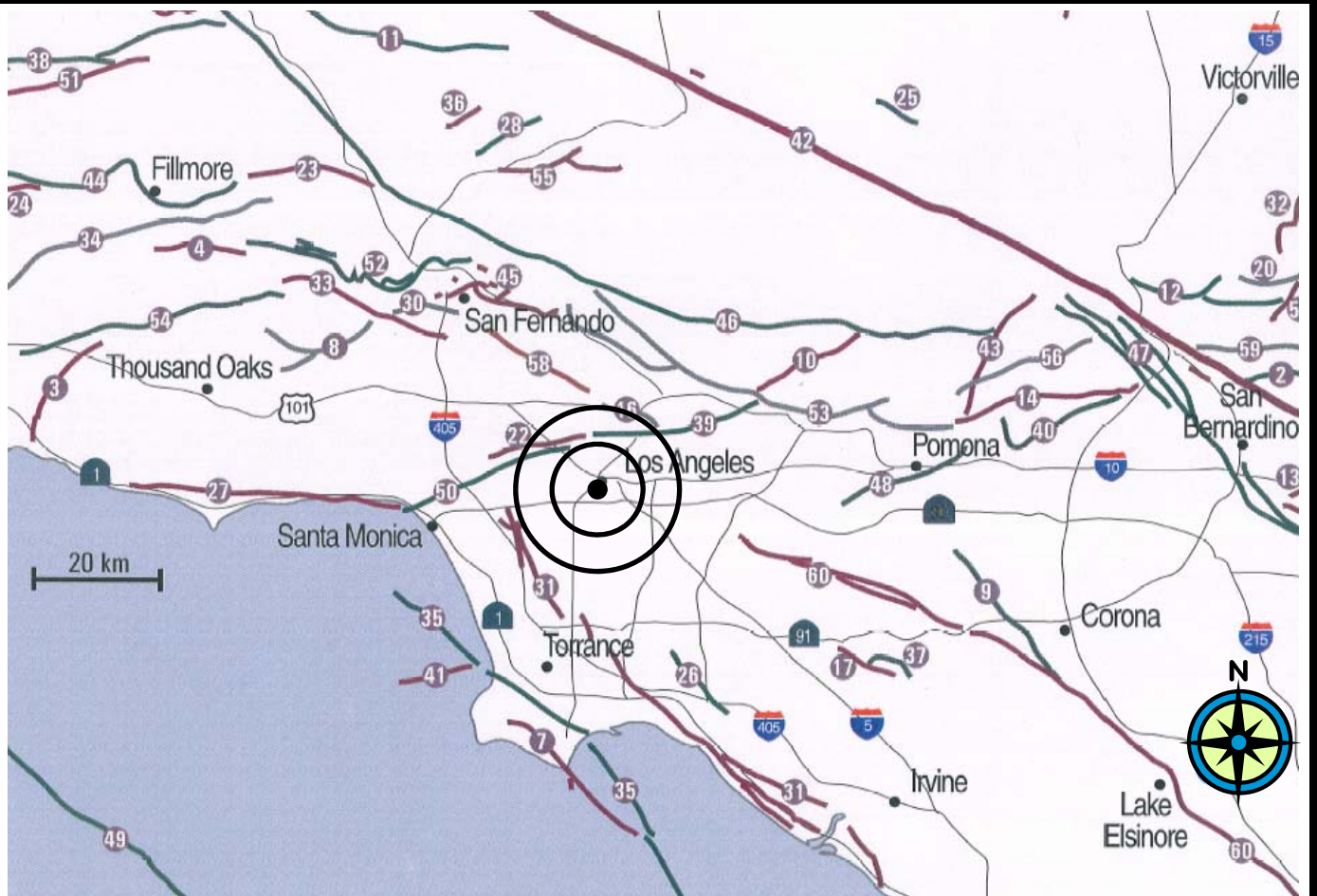


Reference: Dibble Geologic Map, Hollywood Quadrangle

Scale: 1" = 5280'



# USGS FAULT MAP



Lisa Wald, U.S. Geologic Survey (modified from SCEC).

- |                             |                                  |   |
|-----------------------------|----------------------------------|---|
| 1 Alamo thrust              | 21 Helendale fault               | 41 Redondo Canyon fault                 |
| 2 Arrowhead fault           | 22 Hollywood fault               | 42 San Andreas Fault                    |
| 3 Bailey fault              | 23 Holser fault                  | 43 San Antonio fault                    |
| 4 Big Mountain fault        | 24 Lion Canyon fault             | 44 San Cayetano fault                   |
| 5 Big Pine fault            | 25 Llano fault                   | 45 San Fernando fault zone              |
| 6 Blake Ranch fault         | 26 Los Alamitos fault            | 46 San Gabriel fault zone               |
| 7 Cabrillo fault            | 27 Malibu Coast fault            | 47 San Jacinto fault                    |
| 8 Chatsworth fault          | 28 Mint Canyon fault             | 48 San Jose fault                       |
| 9 Chino fault               | 29 Mirage Valley fault zone      | 49 Santa Cruz-Santa Catalina Ridge f.z. |
| 10 Clamshell-Sawpit fault   | 30 Mission Hills fault           | 50 Santa Monica fault                   |
| 11 Clearwater fault         | 31 Newport Inglewood fault zone  | 51 Santa Ynez fault                     |
| 12 Cleghorn fault           | 32 North Frontal fault zone      | 52 Santa Susana fault zone              |
| 13 Crafton Hills fault zone | 33 Northridge Hills fault        | 53 Sierra Madre fault zone              |
| 14 Cucamonga fault zone     | 34 Oak Ridge fault               | 54 Simi fault                           |
| 15 Dry Creek                | 35 Palos Verdes fault zone       | 55 Soledad Canyon fault                 |
| 16 Eagle Rock fault         | 36 Pelona fault                  | 56 Stoddard Canyon fault                |
| 17 El Modeno                | 37 Peralta Hills fault           | 57 Tunnel Ridge fault                   |
| 18 Frazier Mountain thrust  | 38 Pine Mountain fault           | 58 Verdugo fault                        |
| 19 Garlock fault zone       | 39 Raymond fault                 | 59 Waterman Canyon fault                |
| 20 Grass Valley fault       | 40 Red Hill (Etiwanda Ave) fault | 60 Whittier fault                       |

Reference: U. S. G. S: active fault (red) and potentially active fault (green)

# SEISMIC HAZARD MAP

## Earthquake-Induced Landslides

Areas where previous occurrence of landslide movement, or local topographic, geological, geotechnical and subsurface water conditions indicate a potential for permanent ground displacements such that mitigation as defined in Public Resources Code Section 2693(c) would be required.



## Liquefaction

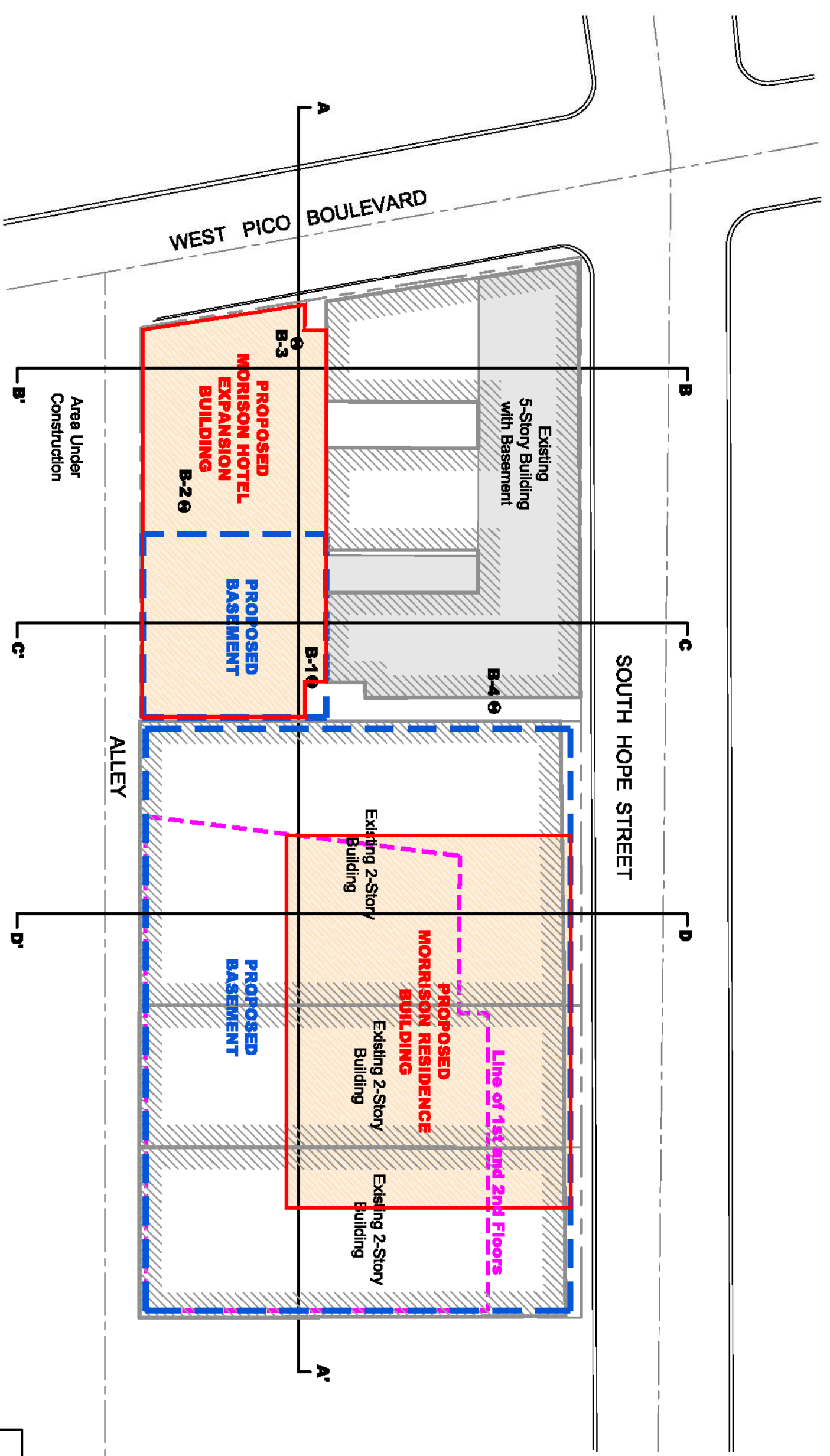
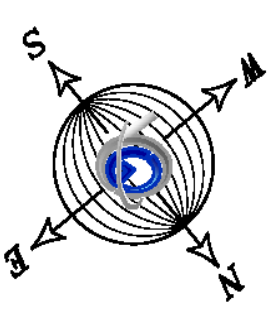
Areas where historic occurrence of liquefaction, or local geological, geotechnical and groundwater conditions indicate a potential for permanent ground displacements such that mitigation as defined in Public Resources Code Section 2693(c) would be required.



Reference: State of California, Seismic Hazard Map of the Hollywood Quadrangle

Scale: As Shown





Explanation	
B-4	Location of Borings
D-D'	Line of Cross Section

**GeoConcepts**  
 Geology - Geotechnical Engineering  
 14428 Hamlin Street, Suite 200, Van Nuys, CA 91401  
 Ph (818) 994-8895 | Fax (818) 994-8599 | www.GeoConceptsInc.com

Description:

## Plot Map

Base Map Provided By:

### STINBERG FIVE CHAIRS

Project Address:

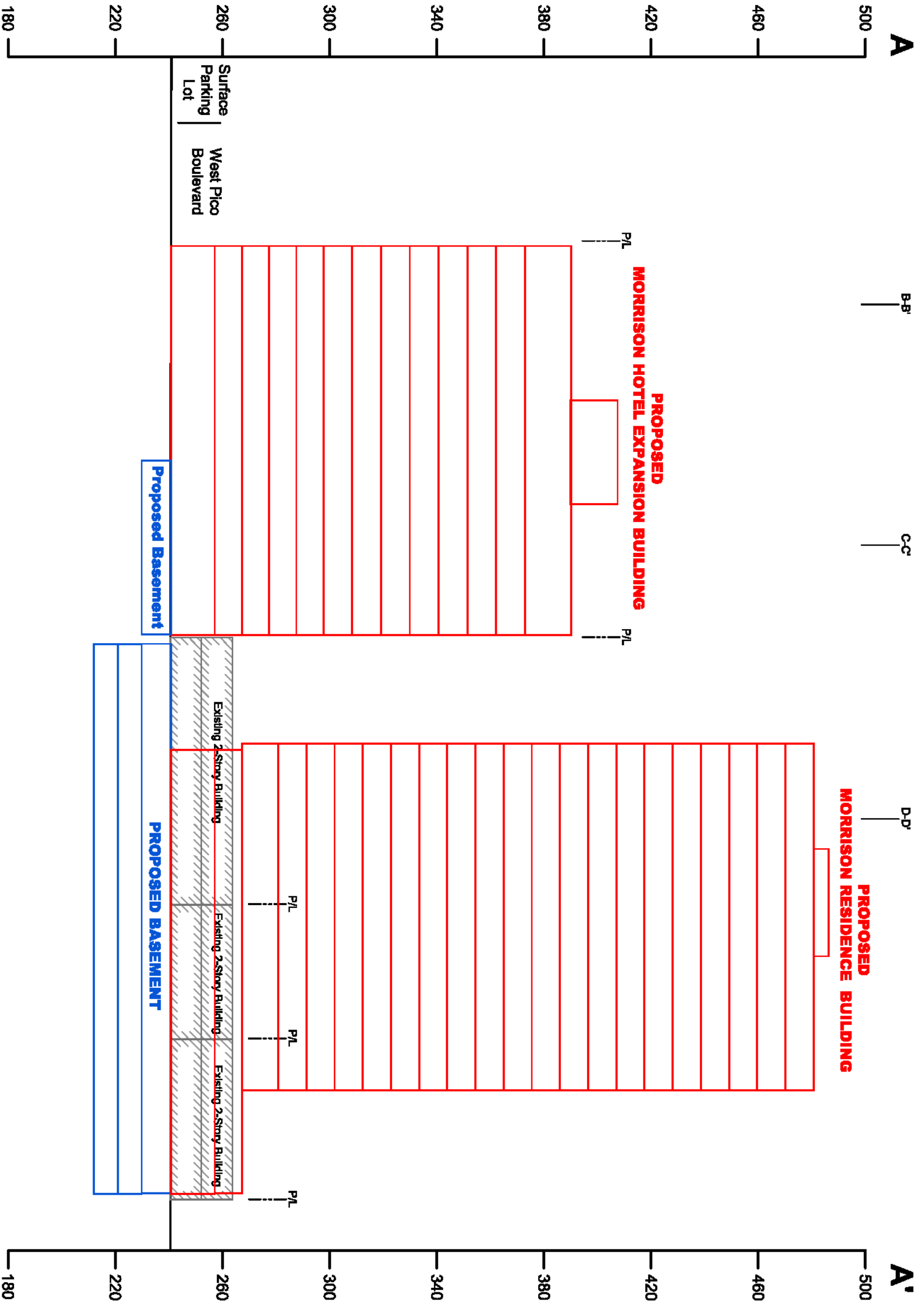
**1222 South Hope Street**  
**Los Angeles, California**

Date: **March 2017**

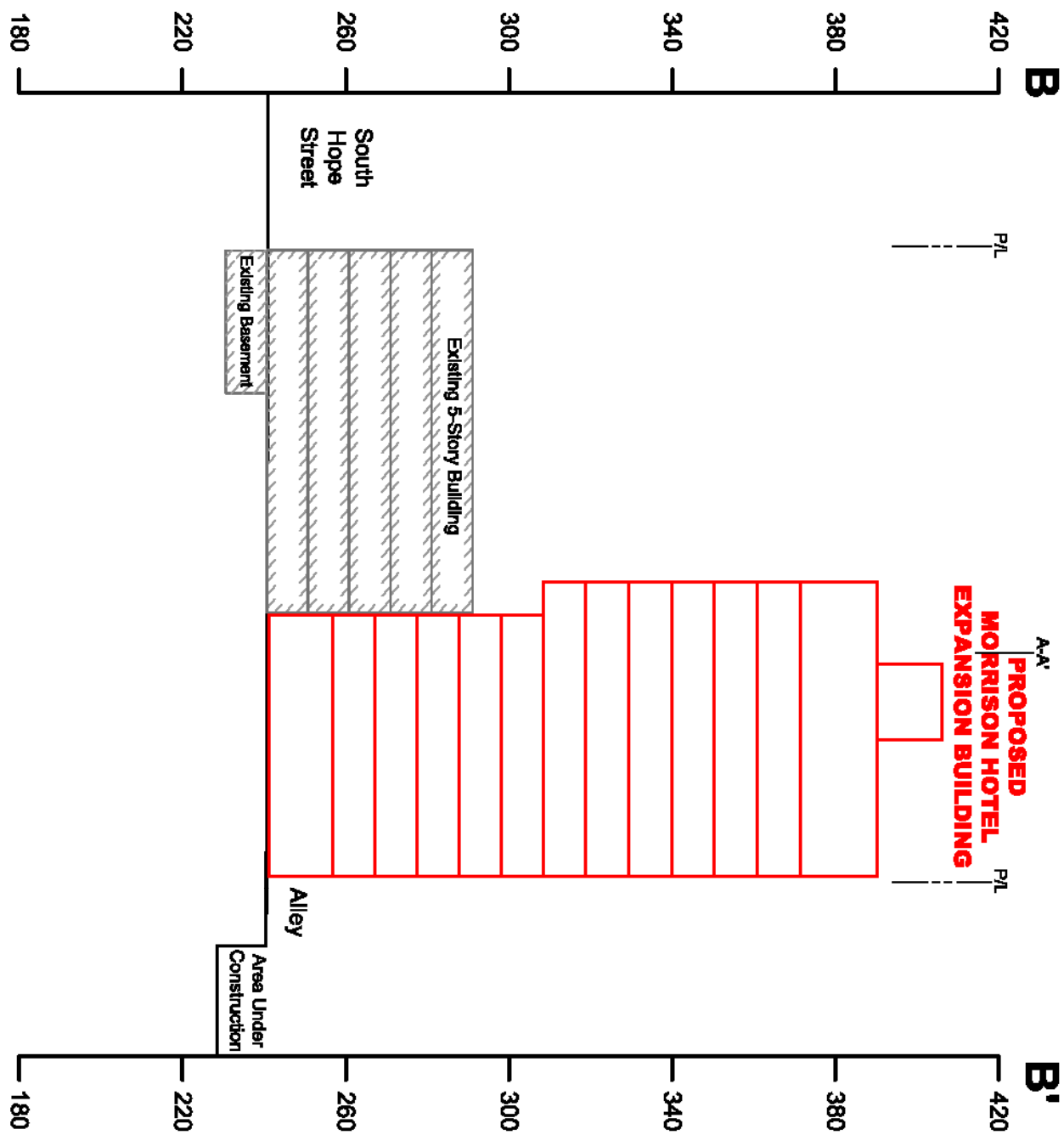
Scale: **1" = 40'**

Job No.: **5076-2**

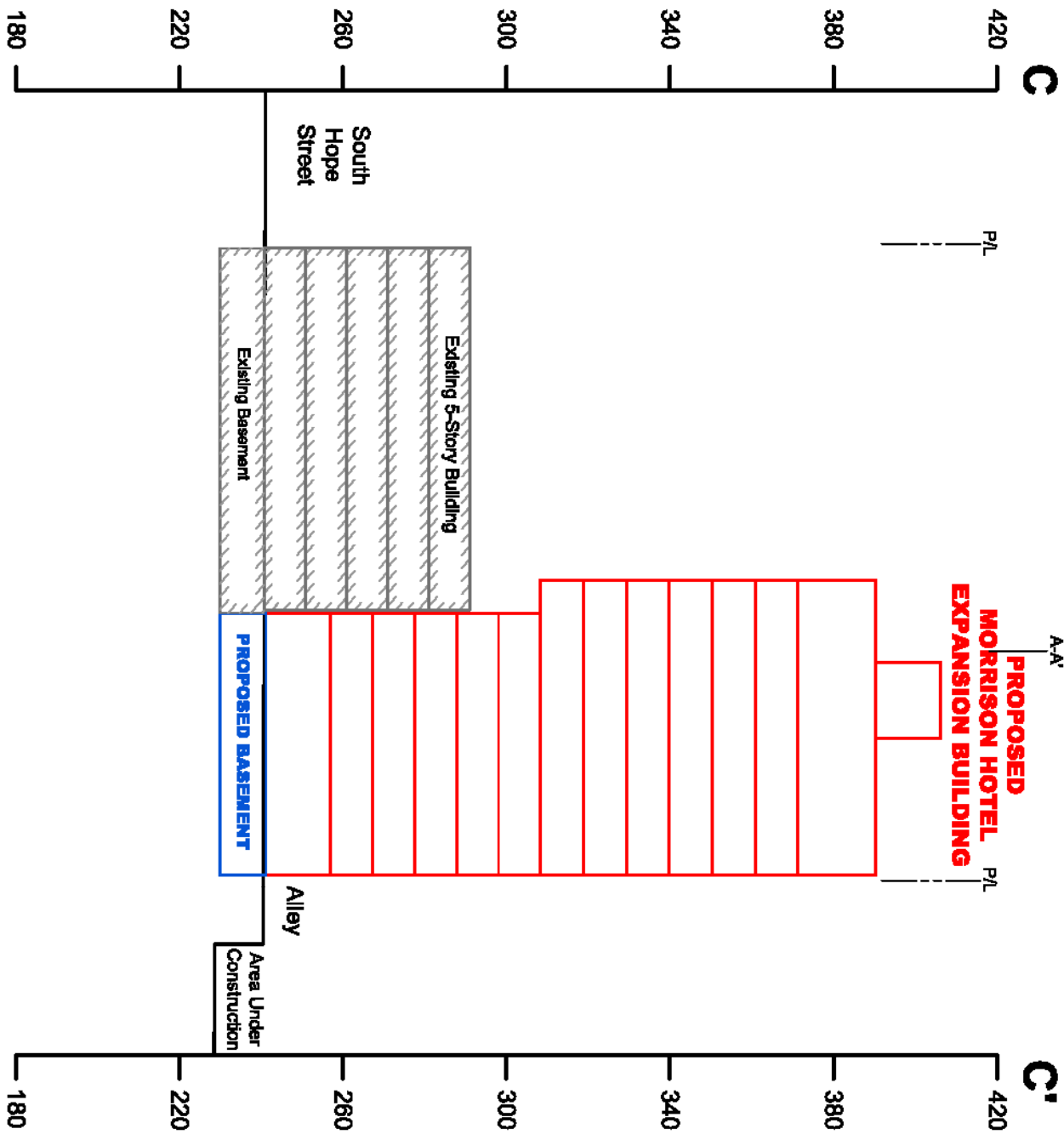
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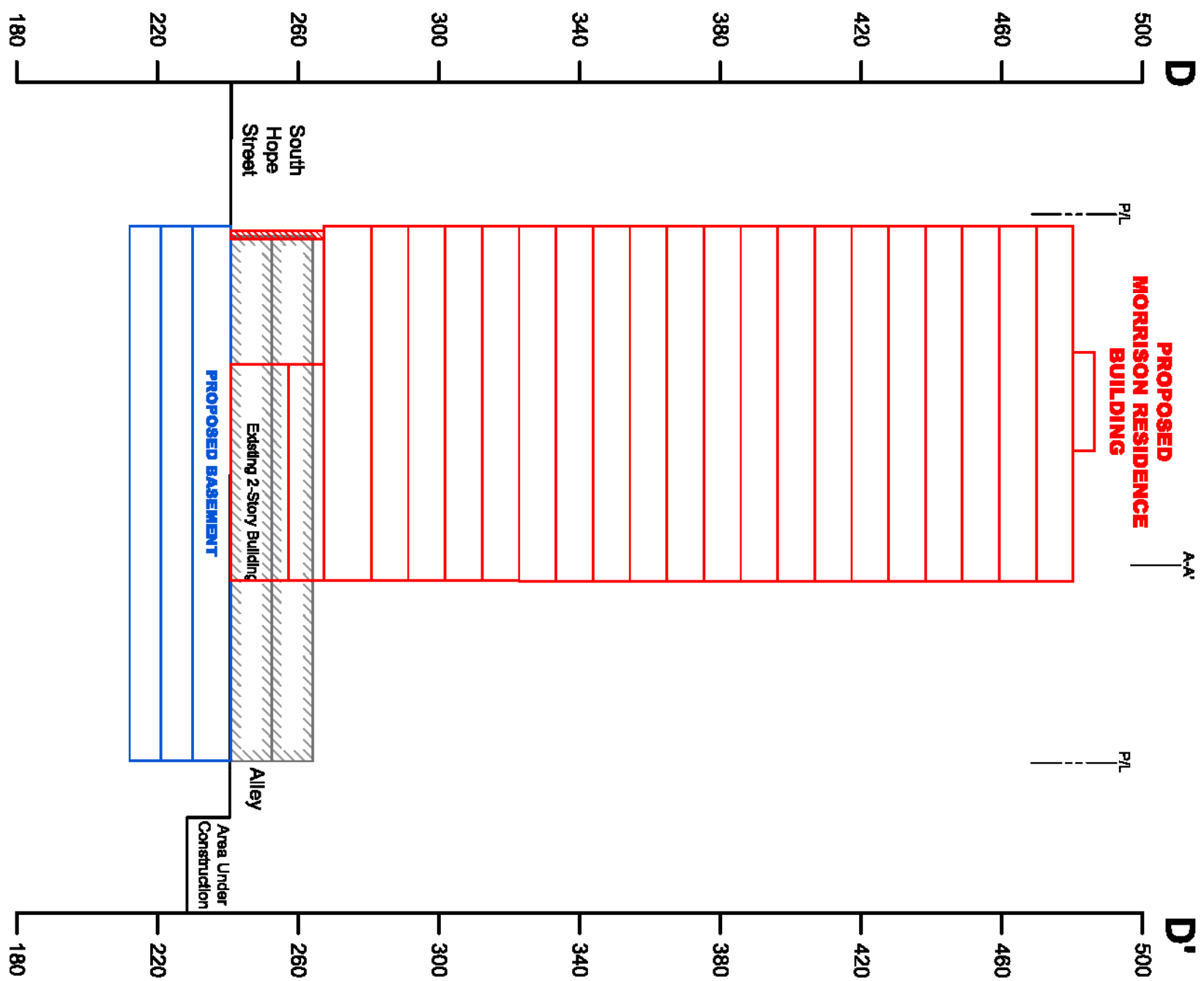


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## BORING: B-1

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: December 31, 2015

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
b - bedding    j - joint s - shear      f - fault						[Cross-hatched pattern]	0.0' - 3.0" <b>ASPHALT</b>
	5	110	45	▲	5	[Dotted pattern]	3.0" - 2.0' <b>ARTIFICIAL FILL; Af</b> , silty sand, dark brown, slightly moist, fine to coarse grained
	6	113	57	▲			<b>2.0' - 201.0' ALLUVIUM; Qal</b>
		2	113	▲			@2.5' silty sand, medium brown, slightly moist, fine to medium grained, slightly porous
			85	▲			@5.0' silty sand, medium brown, slightly moist, fine to medium grained
		1	120	▲	10		@7.5' silty sand to sand, medium brown, fine to coarse grained, slightly moist, gravels up to 1" in length
				▲			@10.0' silty sand to sand, medium brown, slightly moist, fine to coarse grained, gravels up to 2" in length
		6	122	▲	15		@15.0' sand, yellowish greenish gray, slightly moist to moist, fine to coarse grained, gravels up to 1/2" in length
				▲			
		7	112	▲	20		@20.0' silty sand to sand, dark yellowish brown, slightly moist to moist, fine to coarse grained, gravels up to 2" in length
				▲			
		8	112	▲	25		@25.0' silty sand, dark yellowish brown, moist, fine to coarse grained, strong hydrocarbon odor
				▲			
		8	113	▲	30		@30.0' silty sand, grayish brown, moist, fine to coarse grained, strong hydrocarbon odor, gravels up to 1/2" in length to silty sand, grayish brown, moist, fine to medium grained
				▲			
		7	115	▲	35		@35.0' silty sand to sand, light brown, moist, fine to coarse grained, hydrocarbon odor, gravels up to 1/2" in length
				▲			
		9	111	▲	40		@40.0' silty sand to sand, light brown, moist, fine to coarse grained, gravels up to 1/2" in length
				▲			
			64	X			@42.5' silty sand to sand, light brown, moist, fine to coarse grained, gravels up to 1/2" in length
				▲			
		11	107	▲	45		@45.0' sand, olive brown, moist, fine to medium grained, gravels up to 1/4" in length
				▲			
			41	X		[Dotted pattern]	@47.5' sandy silt with minor clay, olive brown, fine to medium grained, very dense

## BORING: B-1

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: December 31, 2015

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
b - bedding    j - joint s - shear      f - fault	7	104	51	▲	55	x x x x x x x x x x	@50.0' silty sand with minor clay, medium brown, slightly moist, fine to medium grained
			36	▲			@52.5' clayey sand, medium brown to brown, moist, fine to medium grained
	9	108	51	▲	60	x x x x x x x x x x	@55.0' silty sand with clay, medium brown to brown, moist, fine to medium grained
			38	▲			@57.5' silty sand with clay, medium brown to brown, moist, fine to medium grained
	10	105	45	▲	65	x x x x x x x x x x	@60.0' silty sand with minor clay, light brown to medium brown, moist, fine to medium grained
			24	▲			@62.5' clayey sand, medium brown to yellowish brown, moist, fine to medium grained
	13	112	41	▲	70	x x x x x x x x x x	@65.0' silty sand, medium brown to yellowish brown, moist, fine to medium grained
			75	▲			@67.5' silty sand, medium brown to yellowish brown, moist, fine to medium grained
	7	120	86	▲	75	x x x x x x x x x x	@70.0' sand, light yellowish brown, moist, fine to medium grained
			85	▲			@72.5' sand, light yellowish brown, moist, fine to medium grained
	8	111	81	▲	80	o o o o o o o o o o	@75.0' silty sand with minor clay, medium brown, moist, fine to coarse grained, hydrocarbon odor
			89	▲			@77.5' silty sand to sand, light yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
	1	117	90	▲	85	o o o o o o o o o o	@80.0' silty sand to sand, light yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
			47	▲			@82.5' silty sand to sand, light yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
	3	117	80	▲	90	o o o o o o o o o o	@85.0' silty sand to sand, light yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
			86	▲			@87.5' silty sand to sand, light yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
	5	111	87	▲	95	o o o o o o o o o o	@90.0' silty sand to sand, light yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
			70	▲			@92.5' sand, light yellowish brown, moist, fine to medium grained
	8	120	84	▲		o o o o o o o o o o	@95.0' sand, light yellowish brown, moist, fine to medium grained
			24	▲			@97.5' sandy silt, olive brown and grayish brown, moist, fine grained to medium grained

## BORING: B-1

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: December 31, 2015

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
b - bedding    j - joint s - shear      f - fault	15	96	51	▲	100.0		@100.0' sandy silt, olive brown and grayish brown, moist, fine grained to medium grained
			89	×	102.5		@102.5' sandy silt, olive brown and grayish brown, moist, fine grained to medium grained
	2	115	71	▲	105.0	● ● ● ● ●	@105.0' sand with silt, light yellowish brown, slightly moist, fine to medium grained, gravels up to 1" in length
			97	×	107.5	● ● ● ● ●	@107.5' sand, light yellowish brown, slightly moist, fine to medium grained, gravels up to 1" in length
	3	114	85	▲	110.0	● ● ● ● ●	@110.0' silty sand, medium brown, slightly moist, fine to medium grained
			89	×	112.5	● ● ● ● ●	@112.5' gravelly sand, grayish brown, moist, fine to coarse grained, gravels up to 1" in length
	7	118	89	▲	115.0	● ● ● ● ●	@115.0' gravelly sand, grayish brown, moist, fine to coarse grained, gravels up to 1" in length
			98	×	117.5	● ● ● ● ●	@117.5' gravelly sand, grayish brown, moist, fine to coarse grained, gravels up to 1" in length
	8	112	87	▲	120.0	● ● ● ● ●	@120.0' silty sand, yellowish brown to medium brown, moist, fine to medium grained
			80	×	122.5	● ● ● ● ●	@122.5' silty sand, medium brown, slightly moist, fine to medium grained, gravels up to 1/2" in length
	2	114	77	▲	125.0	● ● ● ● ●	@125.0' sand, light yellowish brown, slightly moist, fine to medium grained
			82	×	127.5	● ● ● ● ●	@127.5' silty sand, medium brown, slightly moist, fine to medium grained, gravels up to 1/2" in length
	3	110	89	▲	130.0	● ● ● ● ●	@130.0' silty sand, medium brown, slightly moist, fine to medium grained, gravels up to 1/2" in length
			73	×	132.5	● ● ● ● ●	@132.5' sand, medium brown, slightly moist, fine to medium grained, gravels up to 1/2" in length
	4	111	50	▲	135.0	● ● ● ● ●	@135.0' sand, yellowish brown, slightly moist, fine to medium grained
			78	×	137.5	● ● ● ● ●	@137.5' sand, yellowish brown, slightly moist, fine to medium grained
	3	111	50	▲	140.0	● ● ● ● ●	@140.0' silty sand, yellowish brown, slightly moist, fine to medium grained
			97	×	142.5	● ● ● ● ●	@142.5' silty sand, yellowish brown, slightly moist, fine to medium grained
	5	115	83	▲	145.0	x x x x	@145.0' silty sand, light grayish brown, slightly moist, fine to medium grained
			70	×	145.0	x x x x	@145.0' sandy silt, light grayish brown, slightly moist, fine to medium grained

## BORING: B-1

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: December 31, 2015

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
b - bedding    j - joint s - shear      f - fault	5	100	81	▲	150.0	x	@150.0' sandy silt, grayish brown, slightly moist, fine to medium grained
			99	▲	152.5	x	@152.5' sandy silt, grayish brown, slightly moist, fine to medium grained
	6	106	88	▲	155.0	x	@155.0' silty sand, yellowish brown, moist, fine to medium grained
			64	▲	157.5	x	@157.5' silty sand, yellowish brown, moist, fine to medium grained, perched water
	15	103	96	▲	160.0	x	@160.0' sandy silt to silty sand, dark brown, moist, fine to medium grained
			60	▲	162.5	x	@162.5' sandy silt to silty sand, dark brown, moist, fine to medium grained
	20	102	80	▲	165.0	x	@165.0' sandy silt to silty sand, grayish brown, wet, fine to medium graine
			69	▲	167.5	x	@167.5' clayey sand, dark gray, moist, fine to medium grained
	10	111	67	▲	170.0	x	@170.0' clayey sand, dark gray, moist, fine to medium grained
			50	▲	172.5	x	@172.5' sandy silt with minor clay, dark grayish brown, slightly moist to moist, fine to medium grained
	7	116	83	▲	175.0	x	@175.0' sandy silt with minor clay, dark grayish brown, slightly moist to moist, fine to medium grained
			99	▲	177.5	x	@177.5' sandy silt with minor clay, dark grayish brown, slightly moist to moist, fine to medium grained
	9	115	83	▲	180.0	x	@180.0' sandy silt, bluish gray, moist, fine to medium grained
			67	▲	182.5	x	@182.5' sandy silt, bluish gray, moist, fine to medium grained
	15	104	81	▲	185.0	x	@185.0' silty sand, dark bluish gray, moist, fine to medium grained
			76	▲	187.5	x	@187.5' sandy silt, dark bluish gray, moist, fine to medium grained, perched water
	7	117	50	▲	190.0	x	@190.0' sand, bluish gray, moist, fine to coarse grained
			84	▲	192.5	x	@192.5' sand, bluish gray, wet, fine to coarse grained, gravels up to 3/4" in length
	13	120	83	▲	195.0	x	@195.0' sand, bluish gray, wet, fine to coarse grained, gravels up to 3/4" in length
			73	▲	197.5	x	@197.5' sand, bluish gray, wet, fine to coarse grained, gravels up to 3/4" in length



### BORING: B-1

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: December 31, 2015

LOGGED BY: KNC

ATTITUDES  b - bedding    j - joint s - shear      f - fault	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
	14	119	79	200		@200.0' sand, bluish gray, wet, fine to coarse grained, gravels up to 3/4" in length
				205		Total Depth 201 Feet Perched Groundwater @157.5 and @187.5 8" Hollow Stem Auger with Autohammer
				210		
				215		
				220		
				225		
				230		
				235		
				240		
				245		
				250		



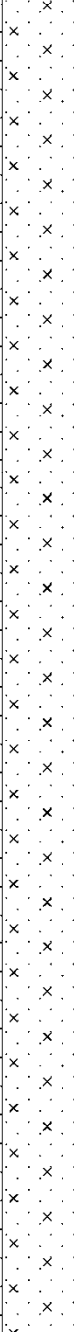
### BORING: B-2

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: January 5, 2016

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
						0.0' - 3.0" ASPHALT
						3.0" - 2.0' ARTIFICIAL FILL; Af
						2.0' - 81.0' ALLUVIUM; Qal,
Shear	6	113	78	5		@5.0' silty sand, medium brown, slightly moist, fine to medium grained, slightly porous
	5	109	50	10		@10.0' silty sand, light brown to yellowish brown, slightly moist, fine to coarse grained, gravels up to 1" in length
			50	15		@15.0' no recovery
	5	115	57	20		@20.0' silty sand, medium brown to grayish brown, slightly moist, fine to coarse grained, gravels up to 2" in length
Shear	9	113	99	25		@25.0' silty sand to sand, yellowish brown, moist, fine to coarse grained, gravels up to 1.5" in length
Shear	11	114	40	30		@30.0' silty clayey sand, grayish brown to greenish gray, moist, fine to coarse grained, gravels up to 3/4" in length, rock fragments
Shear	11	115	66	35		@35.0' silty sand with minor clay, greenish gray, moist, fine to coarse grained, gravels up to 3/4" in length
	11	115	63	40		@40.0' silty sand with minor clay, moist, hydrocarbon odor, greenish gray, moist, fine to medium grained
Consolidation	12	112	84	45		@45.0' clayey silt, greenish gray, moist, fine grained

### BORING: B-2

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: January 5, 2016

LOGGED BY: KNC

ATTITUDES <small>b - bedding j - joint s - shear f - fault</small>	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
	10	113	87			@50.0' silty sand with minor clay, yellowish brown, moist, fine to medium grained
	9	121	79	55		@55.0' silty sand with clay, grayish brown, moist, fine to medium grained
Consolidation	10	116	78	60		@60.0' silty sand with clay, grayish brown, moist, fine to medium grained
Consolidation	10	119	76	65		@65.0' sandy silt, greenish brown, moist, fine to medium grained
	2	118	50	70		@70.0' sand, light brown, slightly moist, fine to coarse grained, gravels up to 1.5" in length
Consolidation	3	119	50	75		@75.0' sand with silt, light brown, slightly moist, fine to coarse grained, gravels up to 1.5" in length
Shear	3	119	50	80		@80.0' sand, light brown, slightly moist, fine to coarse grained, gravels up to 1.5" in length
Total Depth 81.0 Feet No Groundwater 8" Hollow Stem Auger with Autohammer						
					85	
					90	
					95	





### BORING: B-3

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: January 5, 2016

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
							0.0' - 3.0" ASPHALT
							3.0" - 2.0' ARTIFICIAL FILL; Af
							2.0' - 81.0' ALLUVIUM; Qal,
Shear	4	117	75	▲	5		@5.0' silty sand, medium brown, slightly moist, fine to medium grained, gravels up to 1/2" in length
					10		@10.0' silty sand, light brown, slightly moist, fine to medium grained, gravel up to 1/2" in length
Shear	2	110	50	▲	15		@15.0' silty sand, medium brown, slightly moist, fine to coarse grained, gravels up to 1" in length
					20		@20.0' silty sand, medium brown, slightly moist, fine to coarse grained, gravels up to 2" in length
Shear	5	118	84	▲	25		@25.0' silty sand, medium brown, slightly moist, fine to coarse grained, gravels up to 2" in length
					30		@30.0' silty sand with minor clay, grayish brown, moist, fine to coarse grained, gravels up to 2" in length
					35		@35.0' sand, brown, moist, fine to coarse grained
					40		@40.0' sand with minor silt, orangish brown, moist, fine to coarse grained, few gravels up to 1/2" in length
Consolidation	15	104	47	▲	45		@45.0' silt, yellowish brown, moist, fine grained

### BORING: B-3

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: January 5, 2016

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
Shear <small>b - bedding    j - joint s - shear      f - fault</small>	13	100	56	▲			@50.0' silt, yellowish brown, moist, fine grained
Consolidation	12	113	46	▲	55		@55.0' clayey sand, medium brown, moist, fine to medium grained
	10	115	40	▲	60		@60.0' sandy silt with clay binder, medium brown, moist, fine to medium grained
	14	104	36	▲	65		@65.0' sandy silt, medium brown, moist, fine to medium grained
Consolidation	5	123	50	▲	70		@70.0' sandy silt to silty sand, yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/4" in length
Consolidation	2	124	82	▲	75	● ● ● ● ●	@75.0' silty sand, yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/2" in length
	4	126	90	▲	80	● ● ● ● ●	@80.0' silty sand, yellowish brown, slightly moist, fine to coarse grained, gravels up to 1/2" in length
Total Depth 81.0 Feet No Groundwater 8" Hollow Stem Auger with Autohammer							
					85		
					90		
					95		

## BORING: B-4

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: February 9, 2017

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
b - bedding    j - joint s - shear      f - fault							
						[Cross-hatch pattern]	0.0' - 1.0' <b>CONCRETE</b>
						[Dotted pattern]	1.0' - 3.0' <b>ARTIFICIAL FILL; Af</b> , sandy clay, dark brown, moist, fine to medium grained, concrete fragments
	6	117	35	▲	5	[Dotted pattern]	3.0' - 71.0' <b>ALLUVIUM; Qal</b> , @5.0' clayey sand, medium brown, moist, fine to coarse grained, gravels up to 1" in length
	4	117	40	▲	10	[Dotted pattern]	@10.0' gravelly sand, brown, moist, fine to coarse grained, gravels up to 1.5" in length
	5	114	50	▲	15	[Dotted pattern]	@15.0' silty sand, brown to grayish brown, slightly moist, fine to coarse grained, gravels up to 1" in length
	9	115	51	○	20	[Dotted pattern]	@20.0' no recovery
	5	115	50	▲	25	[Dotted pattern]	@25.0' silty sand, grayish brown, slightly moist, fine to coarse grained, occasional to frequent gravels up to 1.5" in length, cobbles up top 3.5" in length, strong hydrocarbon odor
	6	113	50	▲	30	[Dotted pattern]	@30.0' clayey silt, brownish gray, slightly moist, fine to medium grained, hydrocarbon odor
	4	116	50	▲	35	[Dotted pattern]	@35.0' sand, medium brown, slightly moist, fine to coarse grained
	7	117	50	▲	40	[Dotted pattern]	@40.0' clayey sand, dark gray, moist, fine to coarse grained, hydrocarbon odor
	6	117	51	▲	45	[Dotted pattern]	@45.0' sand, brownish gray, slightly moist, fine to medium grained, hydrocarbon odor

### BORING: B-4

ADDRESS: 1222 S. Hope Street

PROJECT NO.: 5076

DATE LOGGED: February 9, 2017

LOGGED BY: KNC

ATTITUDES	WATER CONTENT, %	UNIT DRY WEIGHT, PCF	BLOWS/FOOT	SAMPLES	DEPTH, FT	GRAPHIC LOG	DESCRIPTION
b - bedding    j - joint s - shear      f - fault	12	110	61	▲	50		@50.0' silty clay, reddish brown, slightly moist, fine to medium grained
	12	107	60	▲	55		@55.0' silty clay, reddish brown, moist, fine grained
	13	109	50	▲	60		@60.0' sandy clay to clayey sand, medium brown, slightly moist, fine to coarse grained
	14	114	41	▲	65		@65.0' silty clay, yellowish brown, slightly moist, fine grained
	3	112	50	▲	70		@70.0' silty sand, light brown, slightly moist, fine to medium grained, few gravels up to 1" in length
	Total Depth 71.0 Feet No Groundwater 8" Hollow Stem Auger						

**APPENDIX II**

**LABORATORY TESTING**

Laboratory Procedures

Laboratory Recapitulation 1

Laboratory Recapitulation 2

Figures S.1 through S.15

Figures C.1 through C.22



## **LABORATORY PROCEDURES**

Laboratory testing was performed on samples obtained as outlined in the Field Exploration section of this report. All samples were sent to the laboratory for examination, testing in general conformance to specified test methods, and classification, using the Unified Soil Classification System and group symbol.

### **Moisture and Density Tests**

The dry unit weight and moisture content of the undisturbed samples were determined. The results are tabulated in the Laboratory Recapitulation - Table 1.

### **Shear Tests**

Direct single-shear tests were performed with a direct shear machine. The desired normal load is applied to the specimen and allowed to come to equilibrium. The rate of deflection on the sample is approximately 0.005 inches per minute. The samples are tested at higher and/or lower normal loads in order to determine the angle of internal friction and the cohesion. The results are plotted on the Shear Test Diagrams and the results tabulated in the Laboratory Recapitulation - Table 1.

### **Consolidation**

Consolidation tests were performed on samples, within the brass ring, to predict the soils behavior under a specific load. Porous stones are placed in contact with top and bottom of the samples to permit to allow the addition or release of water. Loads are applied in several increments and the results are recorded at selected time intervals. Samples are tested at field and increased moisture content. The results are plotted on the Consolidation Test Curve and the load at which the water is added as noted on the drawing.

### **pH (CTM 532)**

A sample of dry soil and distilled water are placed in a flask and allowed to stand for approximately an hour to stabilize. The pH is measured using a pH meter that has been compensated for temperature. The results are tabulated in the Laboratory Recapitulation - Table 2.

### **Minimum Resistivity (CTM 532)**

The electrical resistivity of each soil specimen is conducted in a two-stage process using the soil box method. The first stage measures the resistivity of the soil in its as-received condition and the second stage records the value after saturation with distilled water. The results are tabulated in the Laboratory Recapitulation - Table 2.

**Chloride Content (CTM 422)**

A sample of dry soil is mixed with distilled water and allowed to stand overnight. The top aliquot of the sample is mixed with chloride indicator and titrated over silver nitrate solution. The chloride content is determined by the difference of the volumes required to complete titration. The results are tabulated in the Laboratory Recapitulation - Table 2.

**Sulfate Content (CTM 417)**

A sample of dry soil is mixed with distilled water and allowed to stand overnight. The top aliquot is mixed with distilled water and a conditioning agent. The solution is then placed in a photometer and the value recorded. The process is repeated with the addition of barium chloride. The sulfate content is determined by the difference of the photometer readings. The results are tabulated in the Laboratory Recapitulation - Table 2.

LABORATORY RECAPITULATION 1 PROJECT: 1222 S. Hope Street PROJECT NO.: 5076						
Exploration	Depth (ft)	Material	Dry Density In Situ (P.C.F.)	Moisture Content (%)	Cohesion (K.S.F)	Friction Angle (degree)
B-1	2.5	Qa	110.1	4.8		
B-1	5	Qa	112.8	5.9		
B-1	7.5	Qa	113.1	1.9		
B-1	10	Qa	119.9	1	0.1	33
B-1	15	Qa	122	6.2		
B-1	20	Qa	112.1	7.3	0.15	32
B-1	25	Qa	112.1	8		
B-1	30		113.4	7.6		
B-1	35	Qa	114.6	7.1		
B-1	40	Qa	110.9	9.2	0.05	35
B-1	45	Qa	107.3	11		
B-1	47.5	Qa (BAG)				
B-1	50	Qa	103.5	7.3	0.175	33
B-1	55	Qa	107.5	8.7		
B-1	60	Qa	105.3	10.2		
B-1	65	Qa	111.8	12.8	0.15	33
B-1	70	Qa	119.6	6.9		
B-1	75	Qa	111.4	8		
B-1	77.5	Qa (BAG)				
B-1	80	Qa	117.5	1.4	0.1	37
B-1	85	Qa	117.3	3.2		
B-1	90	Qa	111.2	5.2		
B-1	95	Qa	120.2	7.7		
B-1	100	Qa	95.7	15.2		
B-1	105	Qa	115.2	1.5		
B-1	110	Qa	113.8	3.3		
B-1	115	Qa	117.9	7		
B-1	120	Qa	111.8	8.3		
B-1	125	Qa	113.5	2		
B-1	130	Qa	110	2.8		
B-1	135	Qa	111.1	3.7		
B-1	140	Qa	111.4	3.4		
B-1	145	Qa	115.3	5.1		
B-1	150	Qa	100.3	5.1		
B-1	155	Qa	106.2	6.2		
B-1	160	Qa	103.2	14.9		
B-1	165	Qa	102.3	20		

B-1	170	Qa	111.4	10.2		
B-1	175	Qa	116.5	6.9		
B-1	180	Qa	114.9	9		
B-1	185	Qa	104	14.9		
B-1	190	Qa	116.8	6.6		
B-1	195	Qa	120.1	12.8		
B-1	200	Qa	118.6	14.1		
B-2	5	Qa	113.1	5.6	0.1	31
B-2	10	Qa	109.4	4.9		
B-2	15	Qa				
B-2	20	Qa	115.4	4.9		
B-2	25	Qa	112.9	8.7	0.1	36
B-2	30	Qa	113.9	11.5	0.3	35
B-2	35	Qa	115.1	10.7	0.2	36
B-2	40	Qa	115.1	11.3		
B-2	45	Qa	111.8	12.1		
B-2	50	Qa	113.3	9.9		
B-2	55	Qa	120.8	8.6		
B-2	60	Qa	116.2	10		
B-2	65	Qa	119.5	10.1		
B-2	70	Qa	118.3	2.4		
B-2	75	Qa	118.5	3		
B-2	80	Qa	118.9	2.5	0.15	36
B-3	5	Qa	117.4	3.8	0.15	36
B-3	10	Qa	118.7	4.8		
B-3	15	Qa	110.2	2.4	0.1	35
B-3	20	Qa	124.8	3		
B-3	25	Qa	118	4.8	0.1	36
B-3	30	Qa	128	5.1		
B-3	35	Qa	115.4	9.3		
B-3	40	Qa	122.2	8		
B-3	45	Qa	103.9	15		
B-3	50	Qa	100.3	13.3	0.35	28
B-3	55	Qa	113	11.6		
B-3	60	Qa	114.7	9.9		
B-3	65	Qa	104.3	14.2		
B-3	70	Qa	122.6	4.9		
B-3	75	Qa	124	2.4		
B-3	80	Qa	126.1	4		
B-4	5	Qal	116.9	5.7		
B-4	10	Qal	116.8	4.2	0.15	33
B-4	15	Qal	114	4.8		

B-4	20		115.2	8.7	0.1	33
B-4	25	Qal	114.9	4.7		
B-4	30		112.8	5.9		
B-4	35		116.5	4.1	0.075	36
B-4	40		117.4	7.4		
B-4	45		117.3	5.7	0.2	34
B-4	50		109.6	12		
B-4	55		107.1	12.3	0.1	36
B-4	60		109.1	13.3		
B-4	65		113.7	14.4	0.15	37
B-4	70		112.2	2.7		

**LABORATORY RECAPITULATION 2**

**PROJECT: 1222 S. Hope Street**

**PROJECT NO.: 5076**

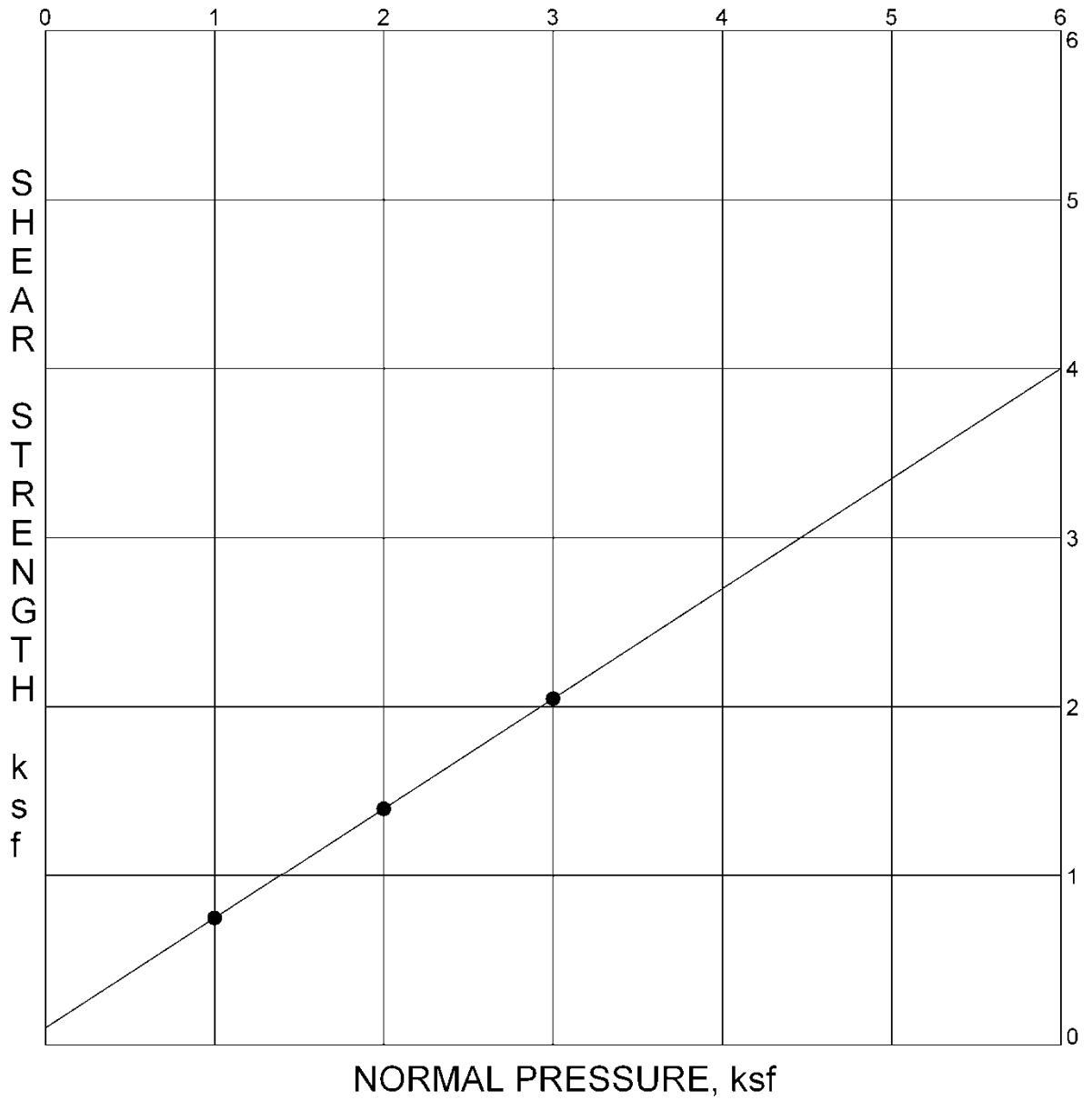
<b>Exploration</b>	<b>Depth (ft)</b>	<b>pH</b>	<b>As-Is Soil Resistivity (ohm-cm)</b>	<b>Minimum Soil Resistivity (ohm-cm)</b>	<b>Chloride (%)</b>	<b>Sulphate (%)</b>
B-1	25	7.67	20000	5500	0.003	0.00312
B-1	47.5	7.94	2400	1900	0.002	0.00291
B-1	77.5	6.61	120000	11000	0.004	0.00033

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 10.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 1.0	Dry Density: 119.9	Phi (deg): 33.0
Saturated: 15.0		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

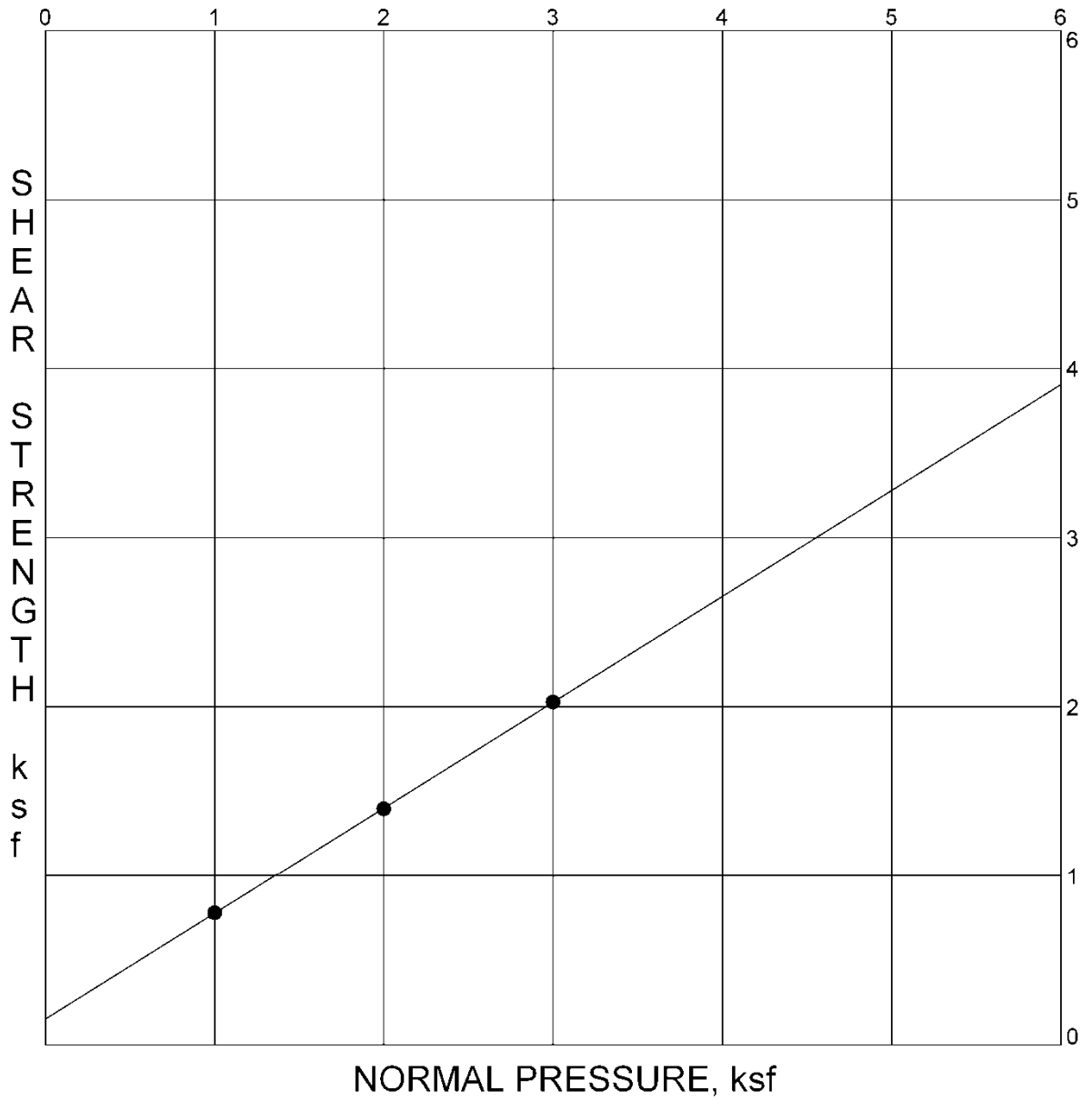
Figure S.1

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 20.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 7.3	Dry Density: 112.1	Phi (deg): 32.0
Saturated: 18.6		Cohesion (ksf): 0.150

**SHEAR TEST DIAGRAM**

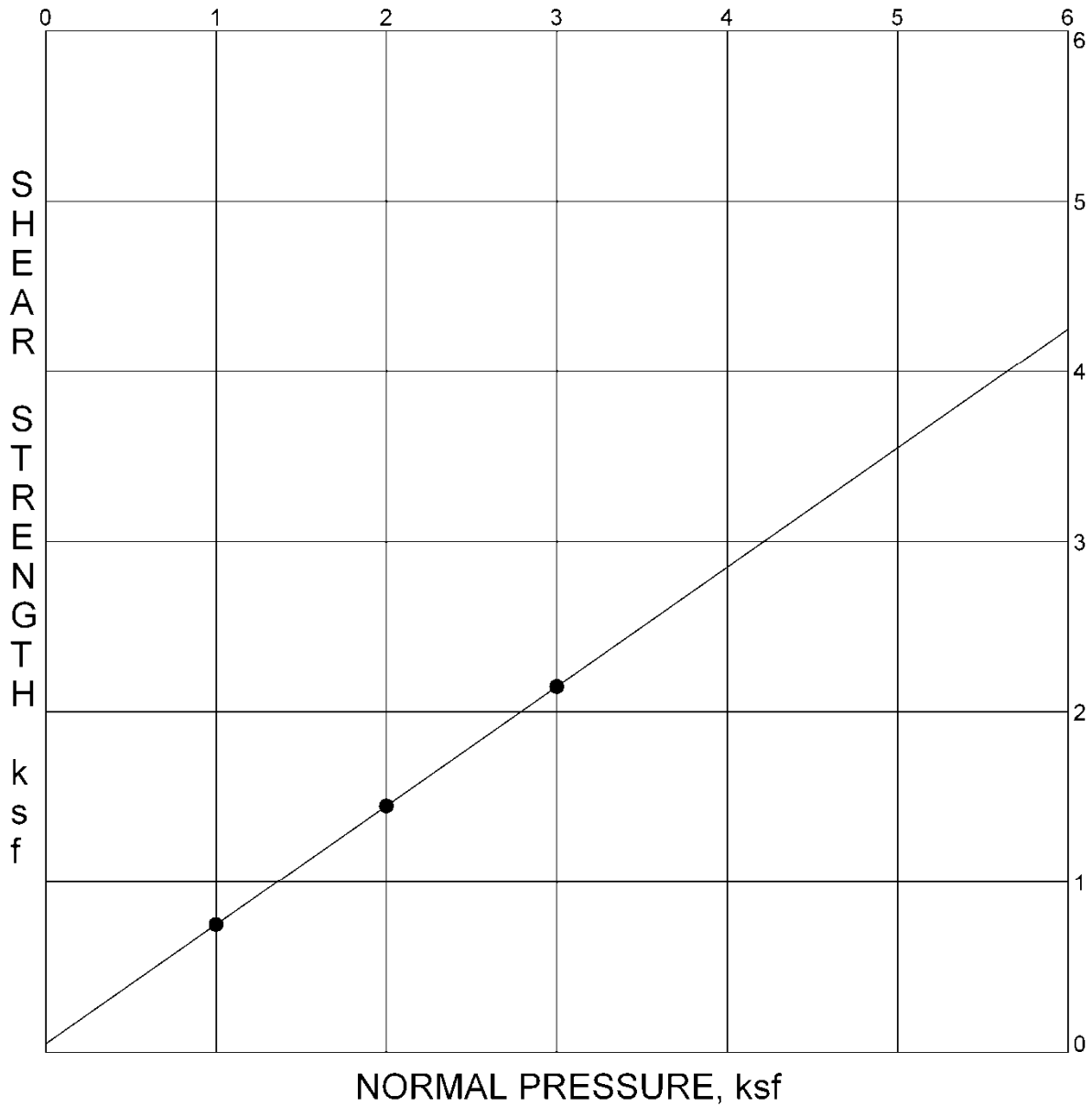
Figure S.2

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 40.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 9.2	Dry Density: 110.9	Phi (deg): 35.0
Saturated: 19.2		Cohesion (ksf): 0.050

**SHEAR TEST DIAGRAM**

Figure S.3

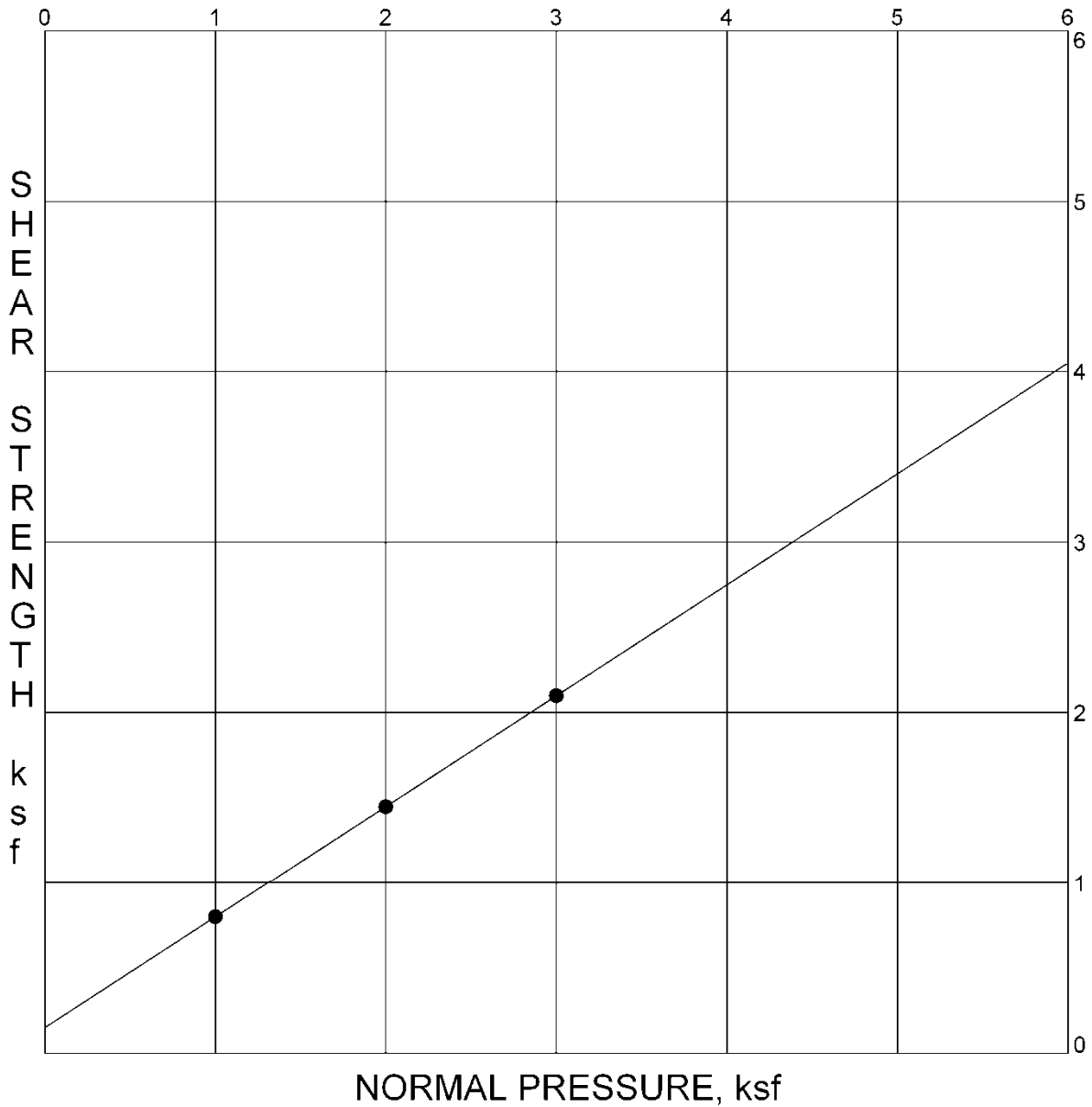


PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 50.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 7.3	Dry Density: 103.5	Phi (deg): 33.0
Saturated: 23.2		Cohesion (ksf): 0.175

**SHEAR TEST DIAGRAM**

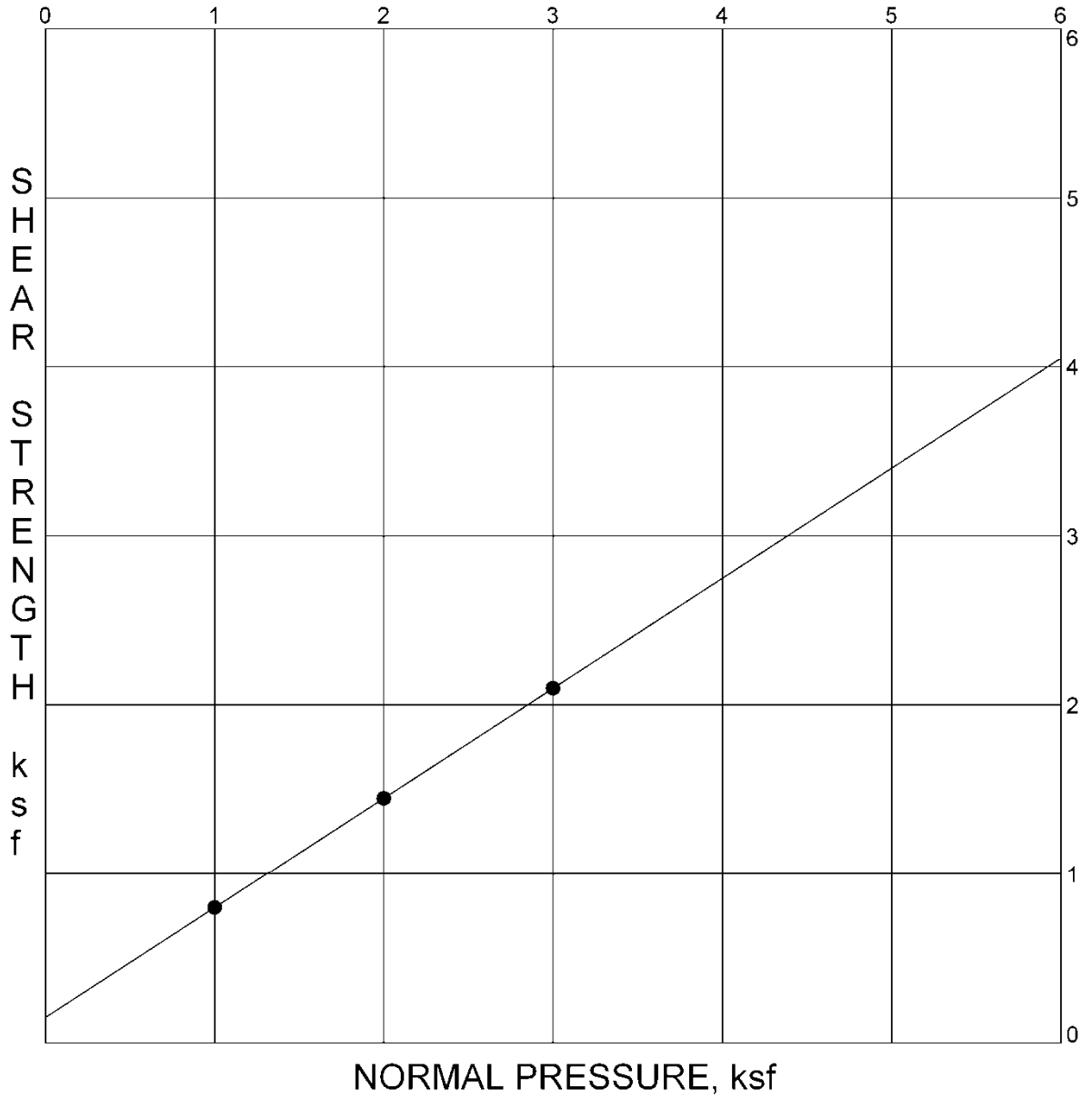
Figure S.4

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 65.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 12.8	Dry Density: 111.8	Phi (deg): 33.0
Saturated: 18.7		Cohesion (ksf): 0.150

**SHEAR TEST DIAGRAM**

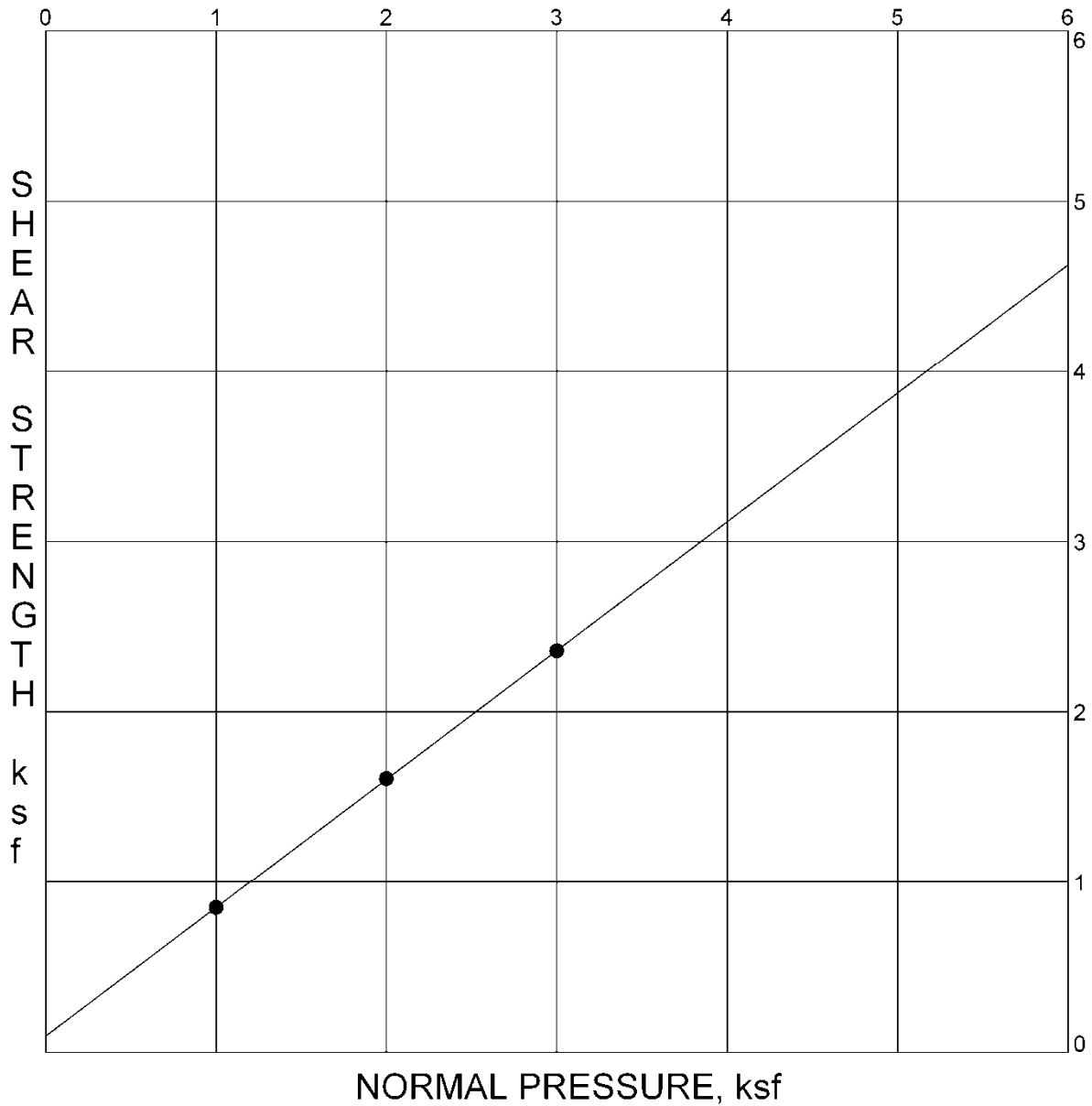
Figure S.5

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 80.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 1.4	Dry Density: 117.5	Phi (deg): 37.0
Saturated: 16.0		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

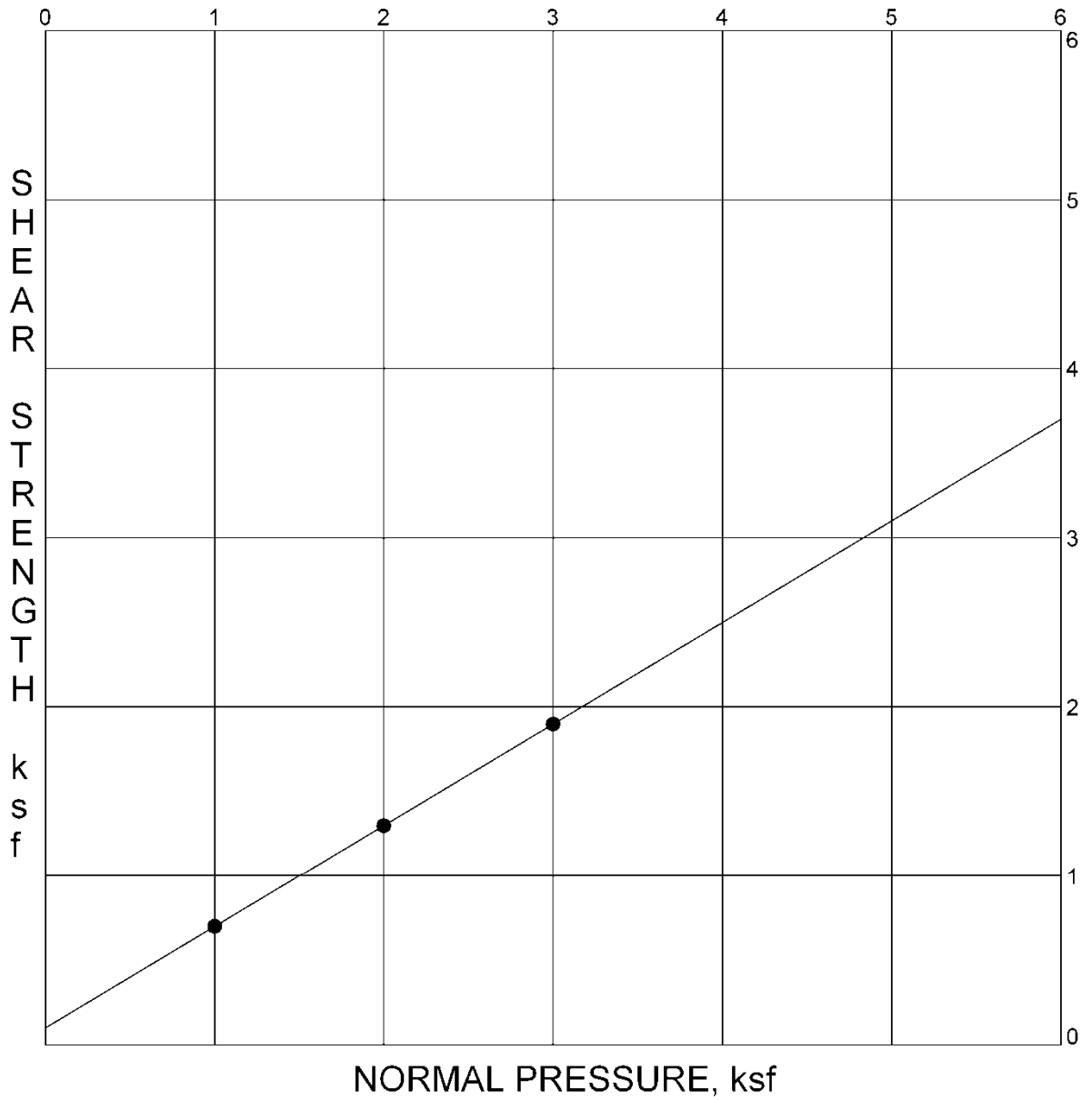
Figure S.6

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 5.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 5.6	Dry Density: 113.1	Phi (deg): 31.0
Saturated: 18.1		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

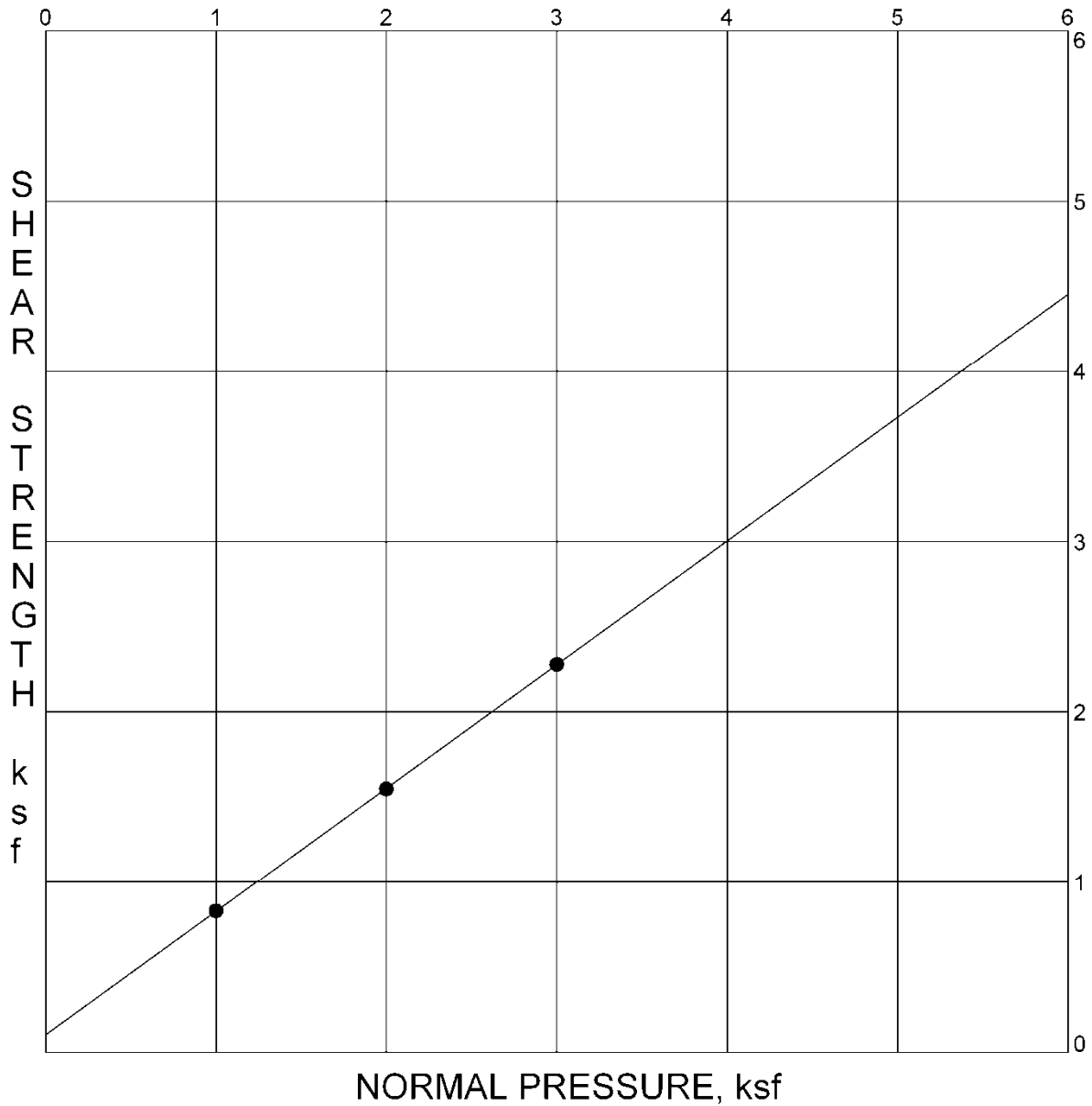
Figure S.7

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 25.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 8.7	Dry Density: 112.9	Phi (deg): 36.0
Saturated: 18.2		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

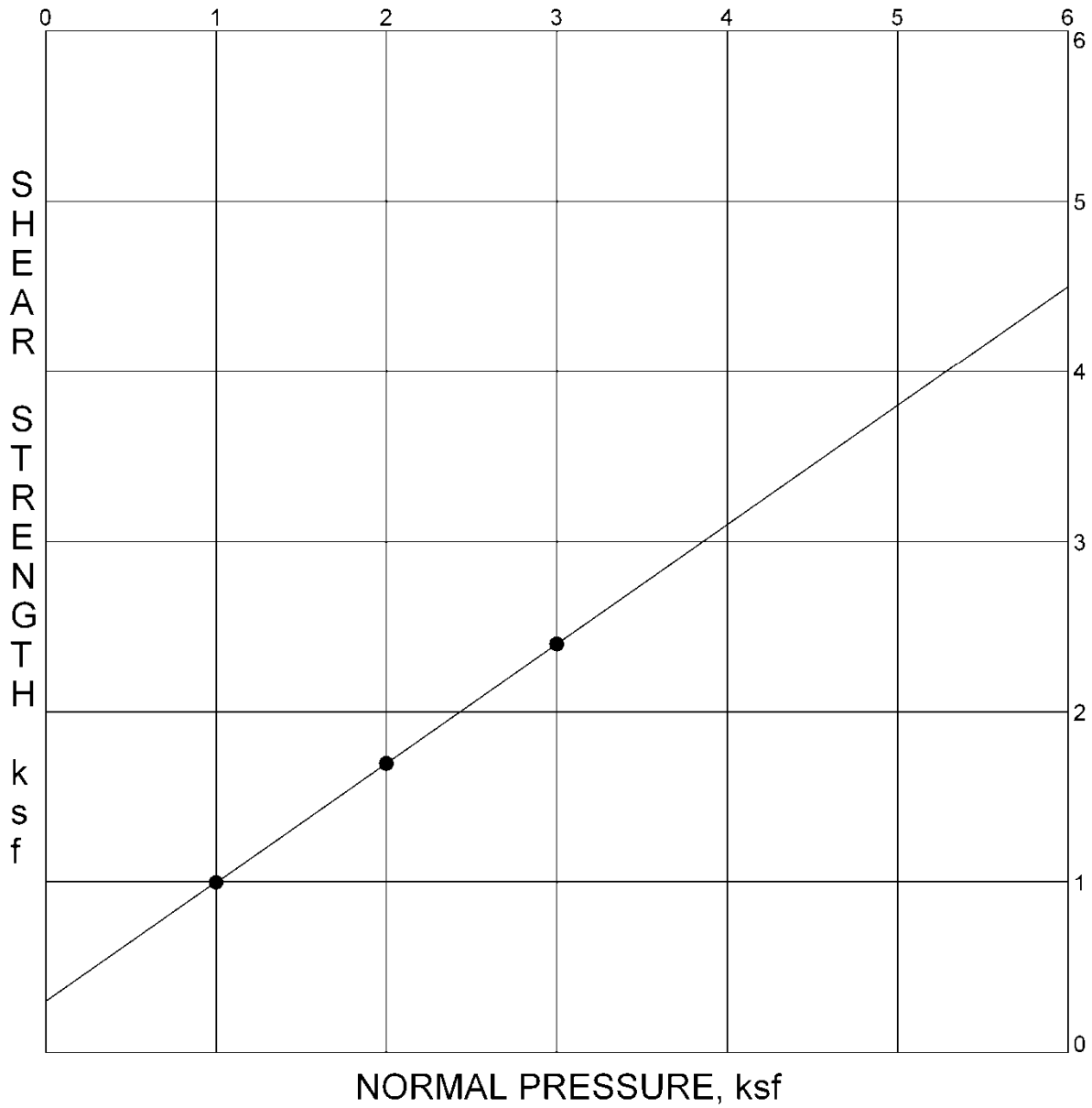
Figure S.8

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 30.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 11.5	Dry Density: 113.9	Phi (deg): 35.0
Saturated: 17.7		Cohesion (ksf): 0.300

**SHEAR TEST DIAGRAM**

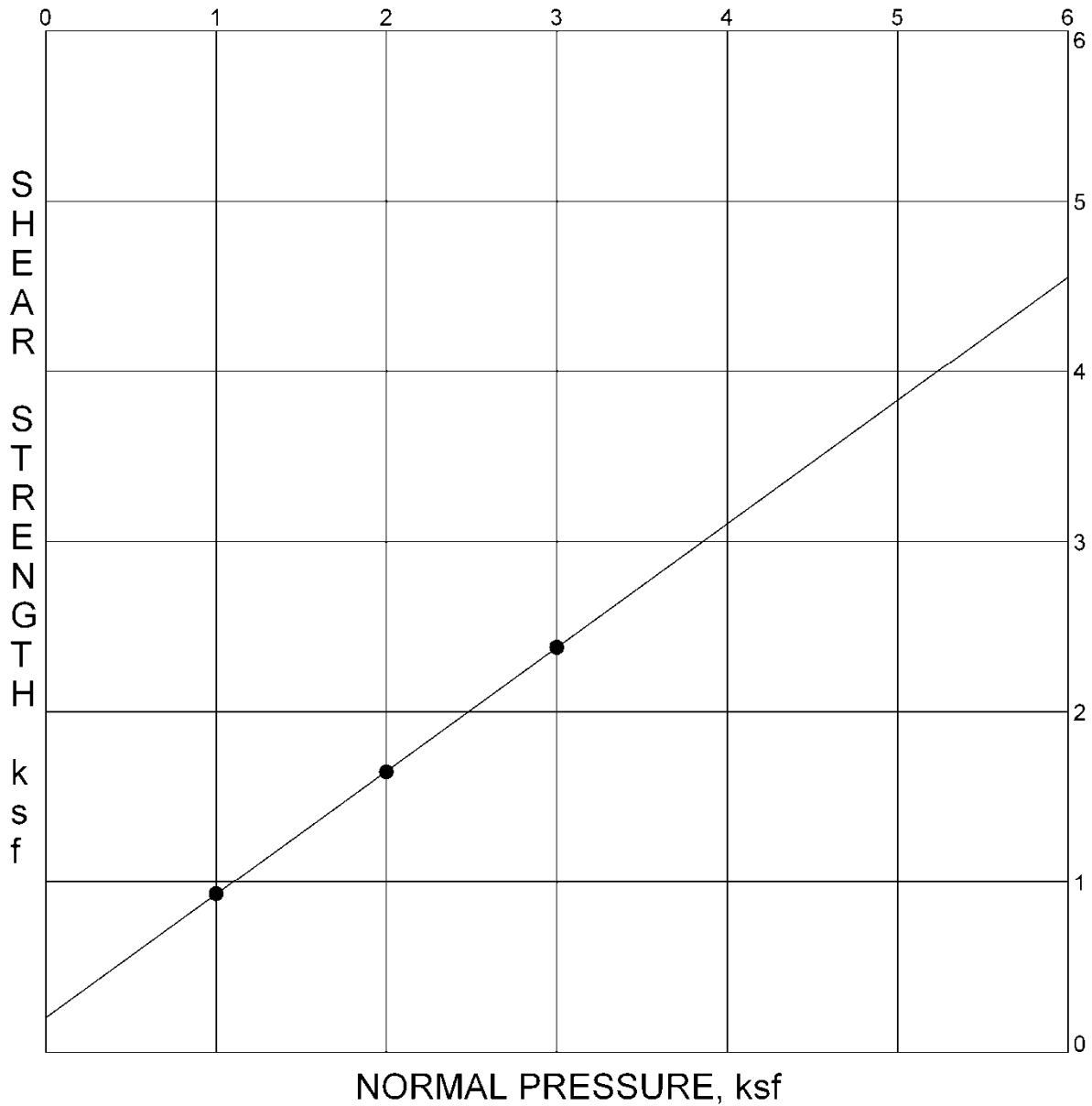
Figure S.9

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 35.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 10.7	Dry Density: 115.1	Phi (deg): 36.0
Saturated: 17.1		Cohesion (ksf): 0.200

**SHEAR TEST DIAGRAM**

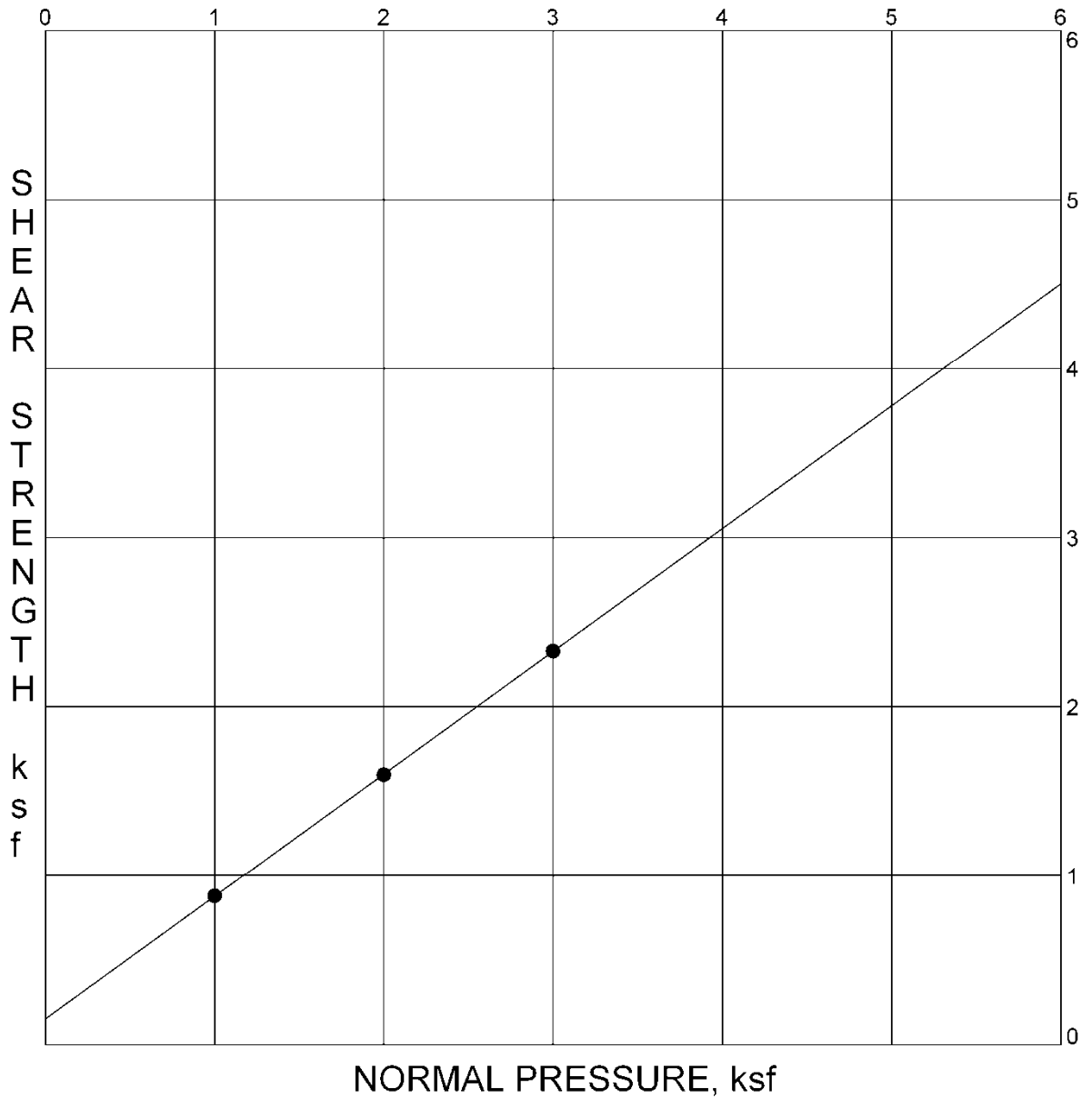
Figure S.10

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 80.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 2.5	Dry Density: 118.9	Phi (deg): 36.0
Saturated: 15.4		Cohesion (ksf): 0.150

**SHEAR TEST DIAGRAM**

Figure S.11

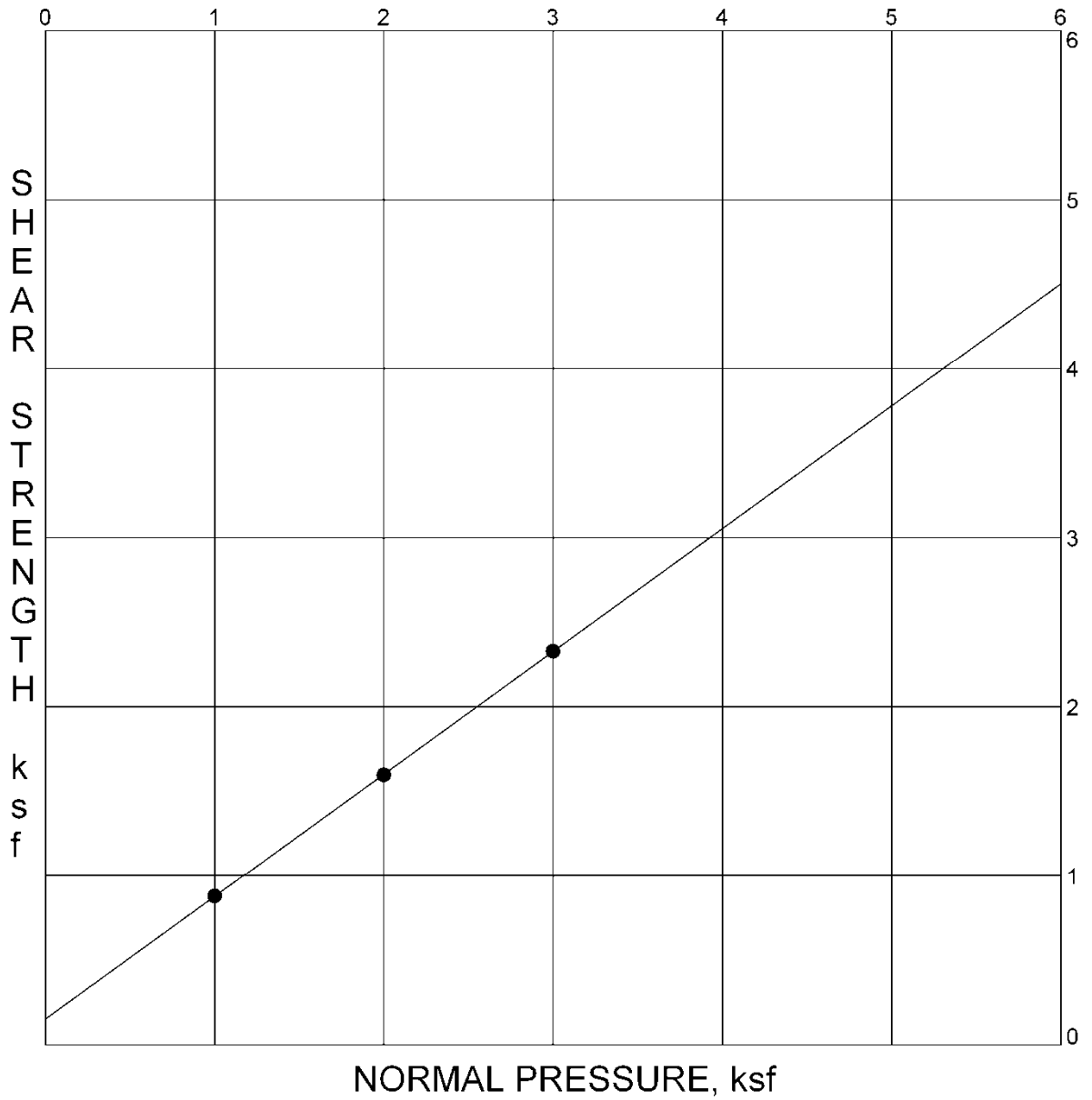


PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 5.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 3.8	Dry Density: 117.4	Phi (deg): 36.0
Saturated: 16.1		Cohesion (ksf): 0.150

**SHEAR TEST DIAGRAM**

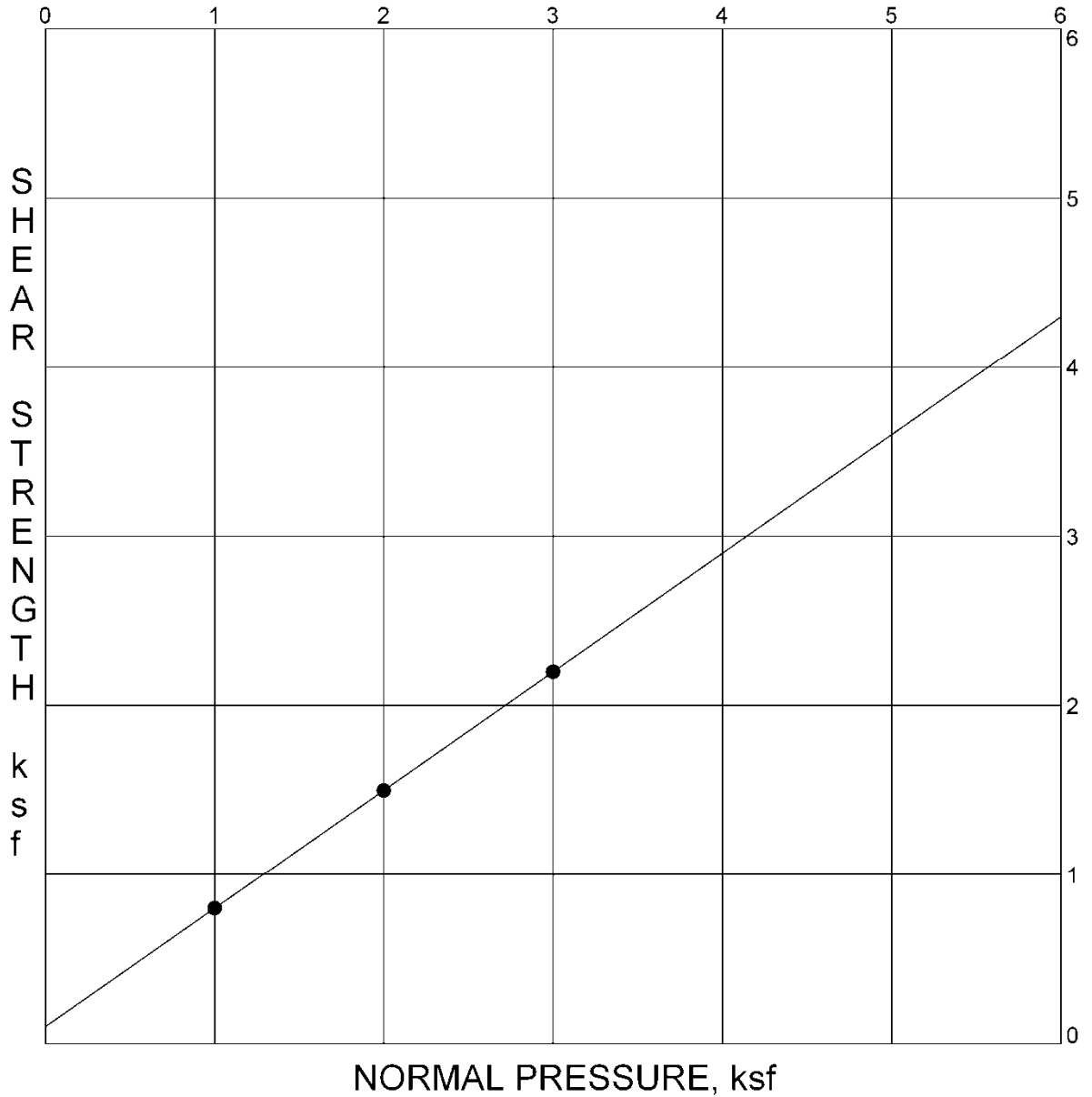
Figure S.12

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 15.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 2.4	Dry Density: 110.2	Phi (deg): 35.0
Saturated: 19.5		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

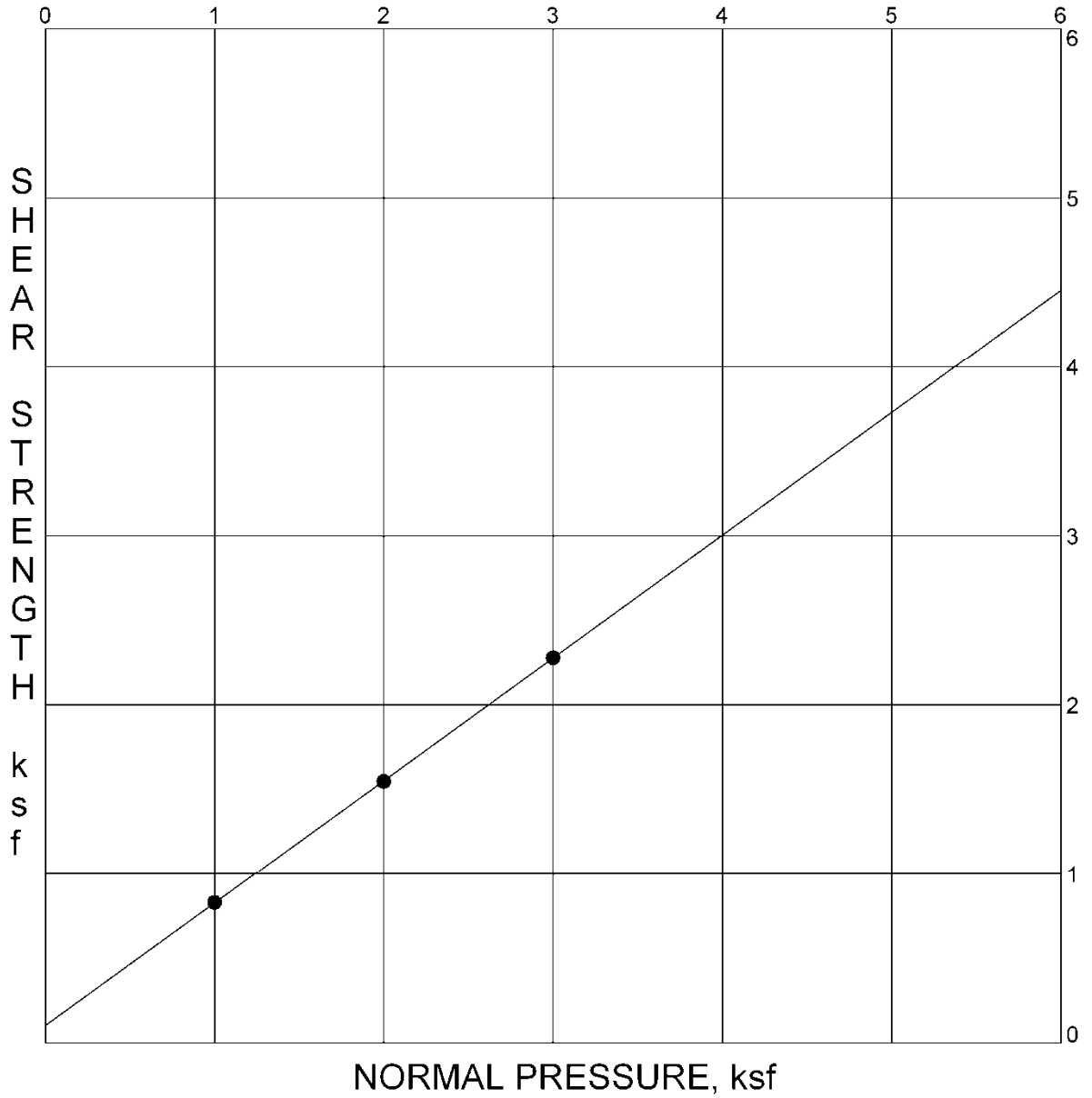
Figure S.13

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 25.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 4.8	Dry Density: 118.0	Phi (deg): 36.0
Saturated: 15.8		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

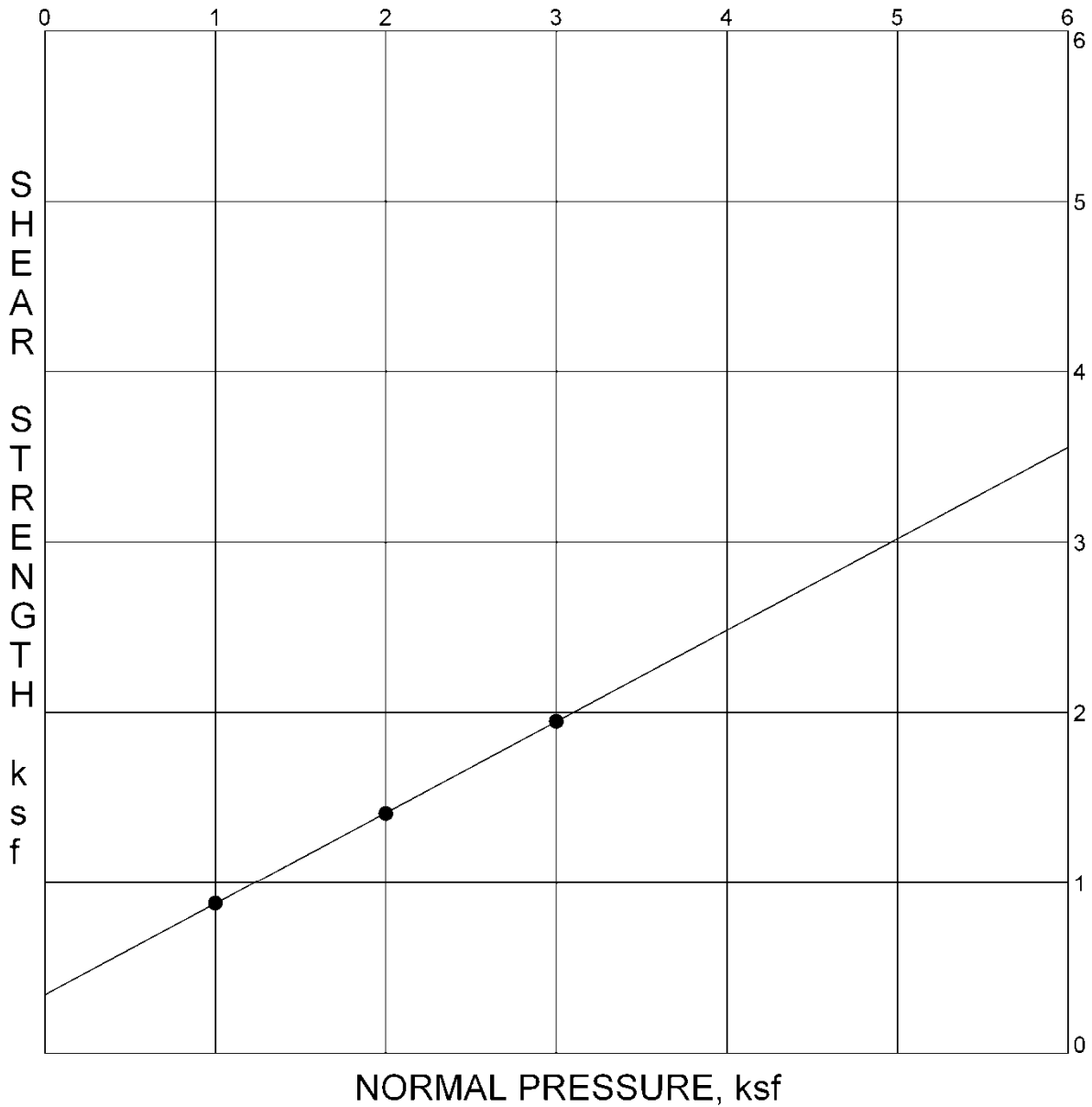
Figure S.14

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 50.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 13.3	Dry Density: 100.3	Phi (deg): 28.0
Saturated: 25.1		Cohesion (ksf): 0.350

**SHEAR TEST DIAGRAM**

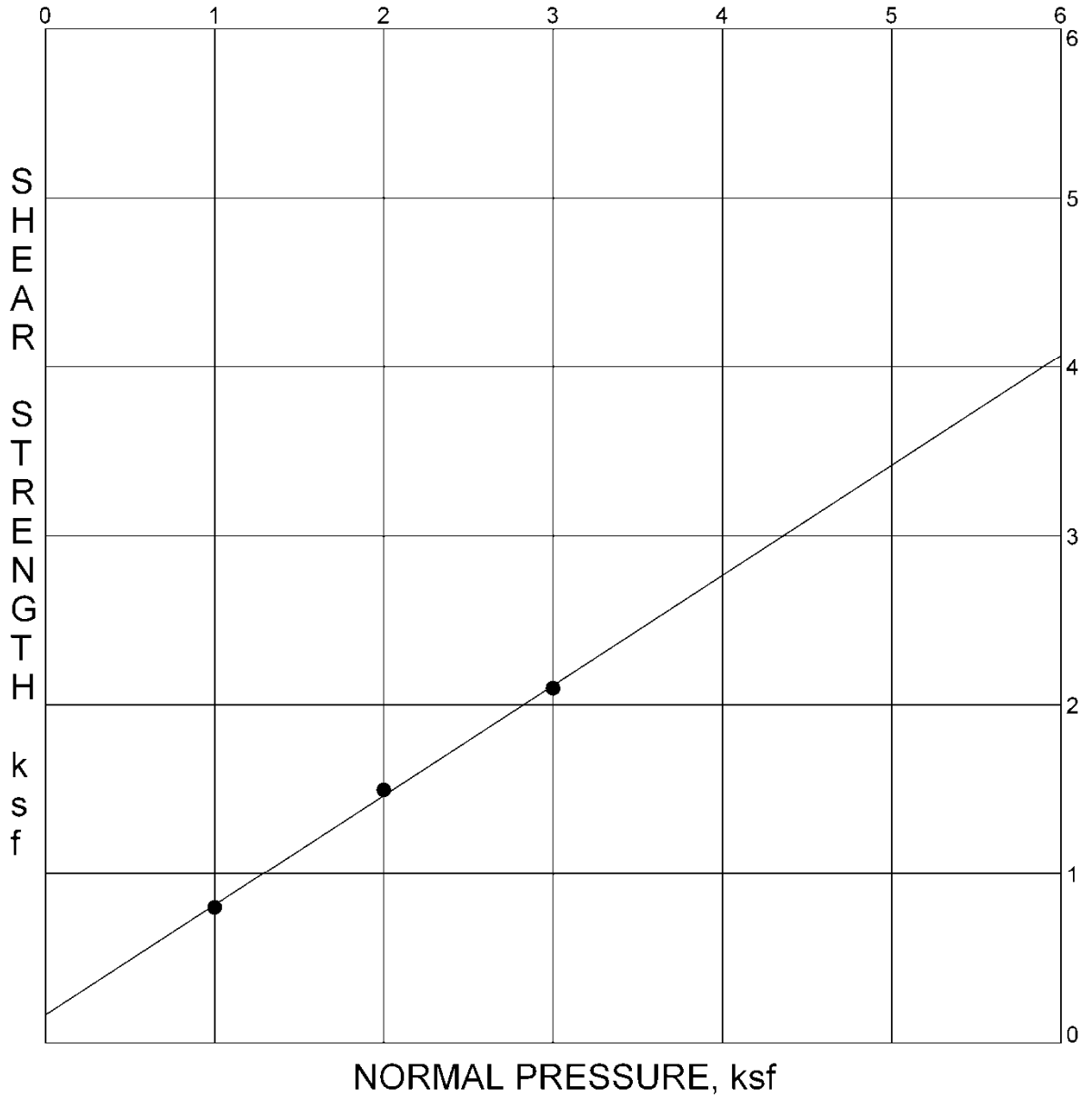
Figure S. 15

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 10.0

DESCRIPTION: Qal



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 4.2	Dry Density: 116.8	Phi (deg): 33.0
Saturated: 16.4		Cohesion (ksf): 0.150

**SHEAR TEST DIAGRAM**

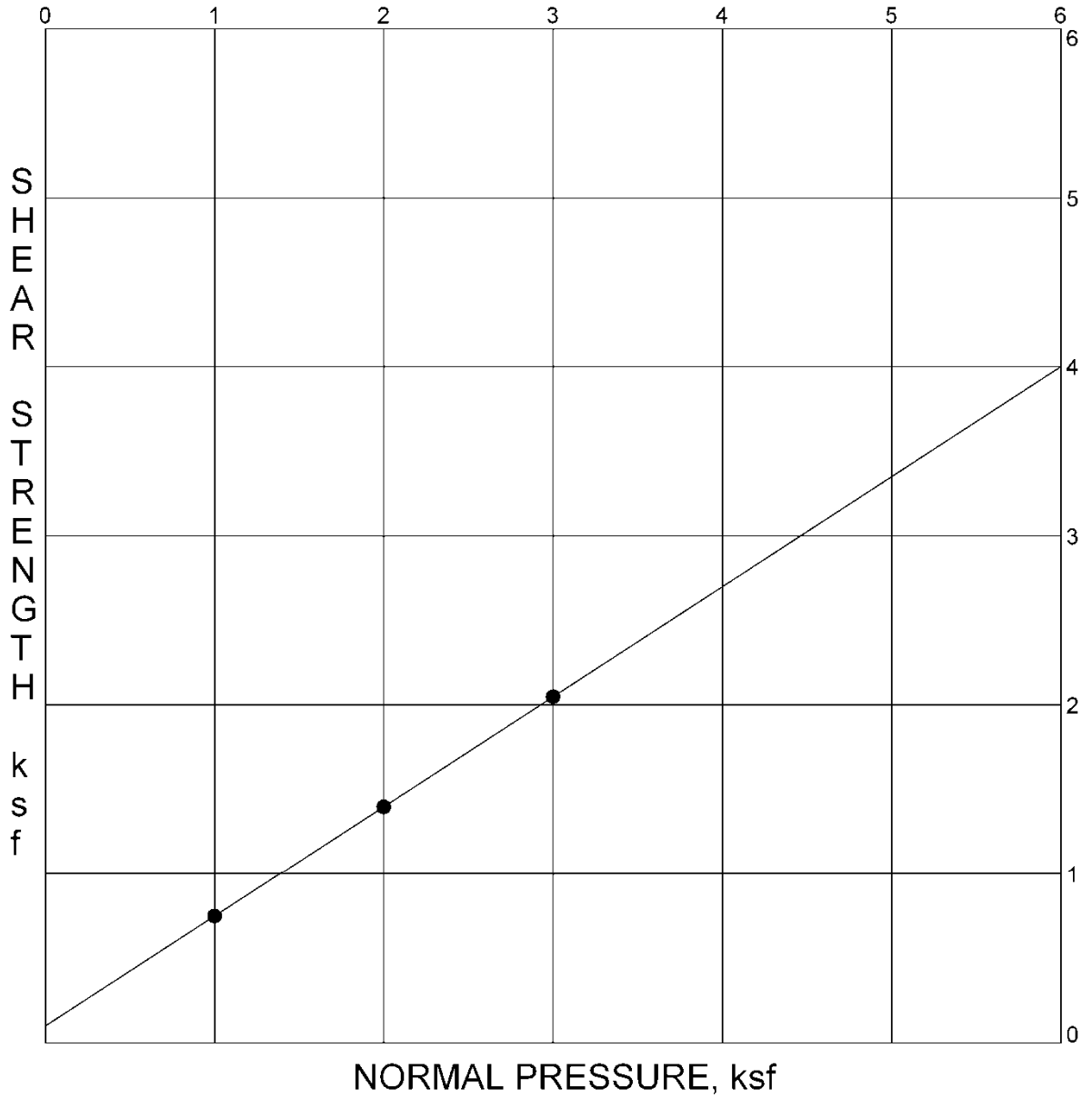
Figure S.16

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 20.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 8.7	Dry Density: 115.2	Phi (deg): 33.0
Saturated: 17.1		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

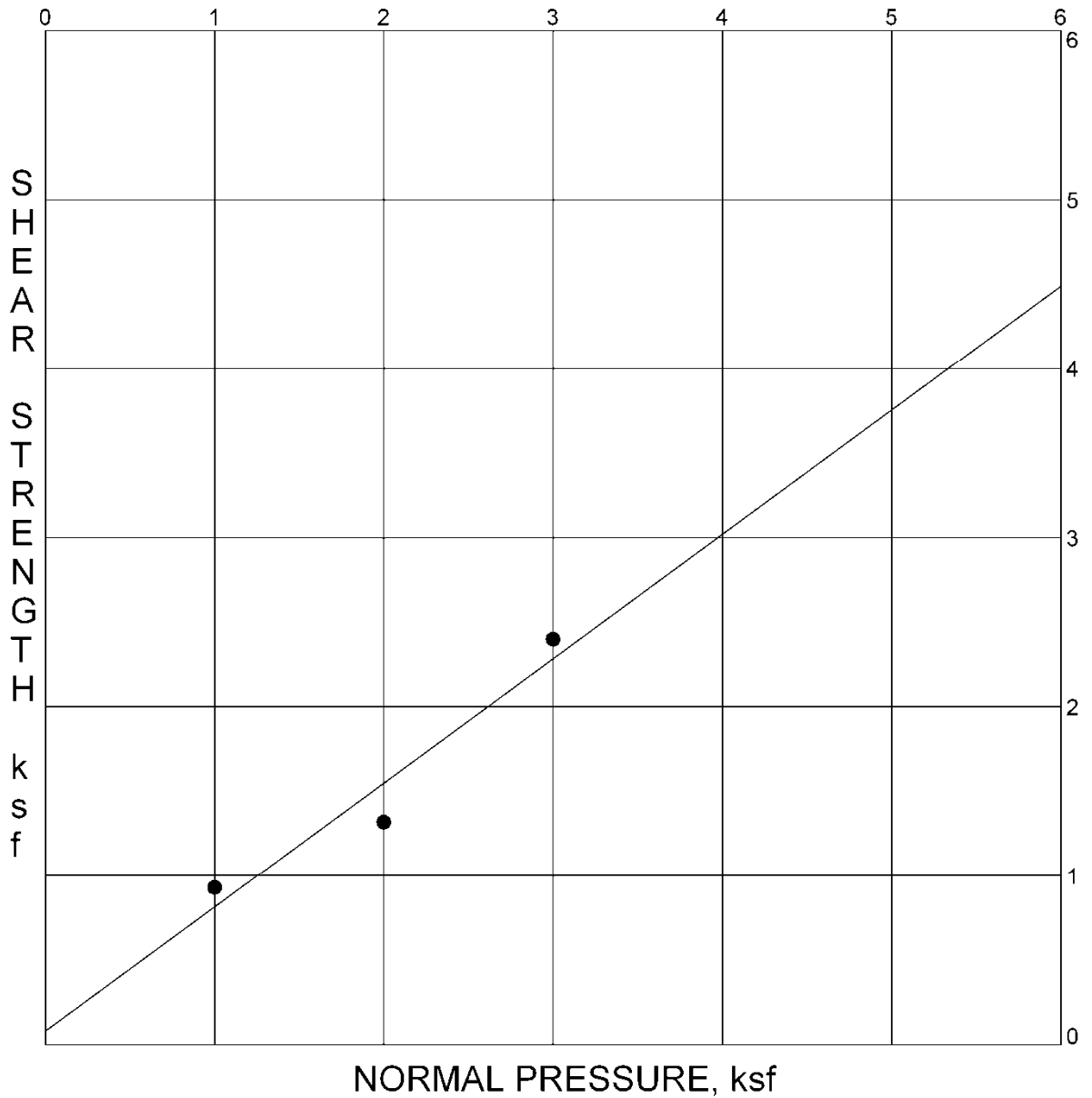
Figure S.17

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 35.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 4.1	Dry Density: 116.5	Phi (deg): 36.0
Saturated: 16.5		Cohesion (ksf): 0.075

**SHEAR TEST DIAGRAM**

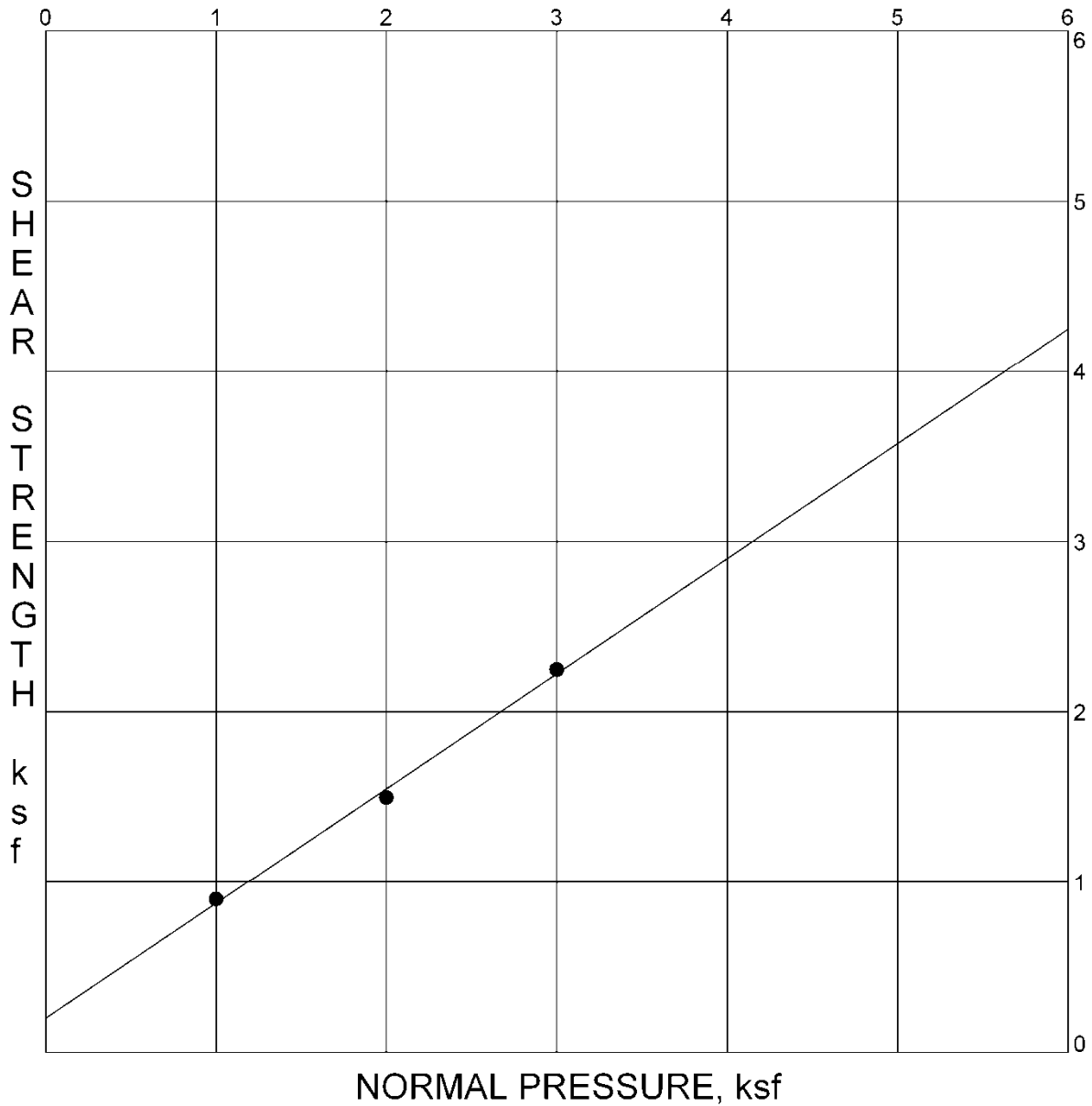
Figure S.18

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 45.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 5.7	Dry Density: 117.3	Phi (deg): 34.0
Saturated: 16.1		Cohesion (ksf): 0.200

**SHEAR TEST DIAGRAM**

Figure S.19

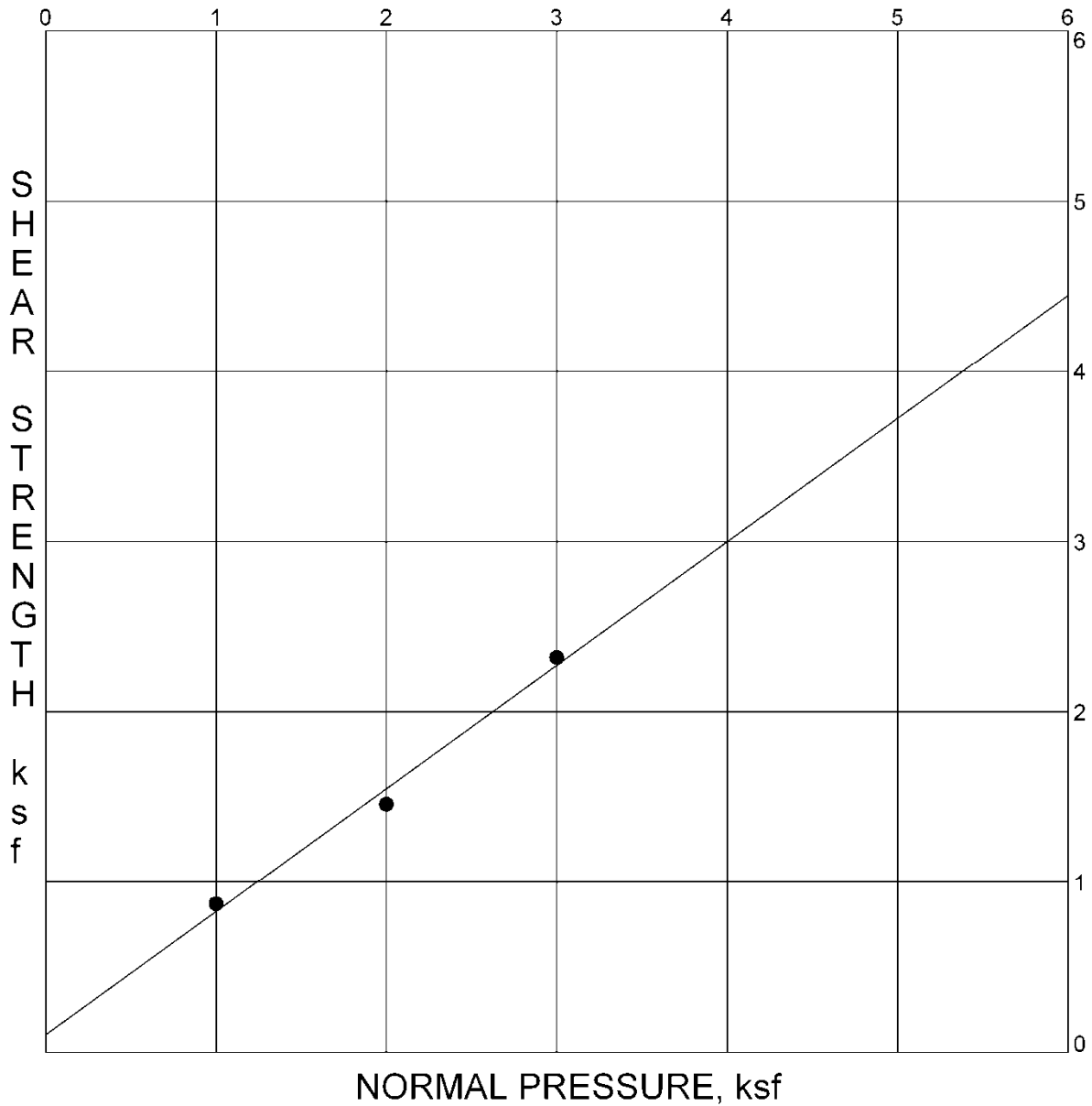


PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 55.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 12.3	Dry Density: 107.1	Phi (deg): 36.0
Saturated: 21.2		Cohesion (ksf): 0.100

**SHEAR TEST DIAGRAM**

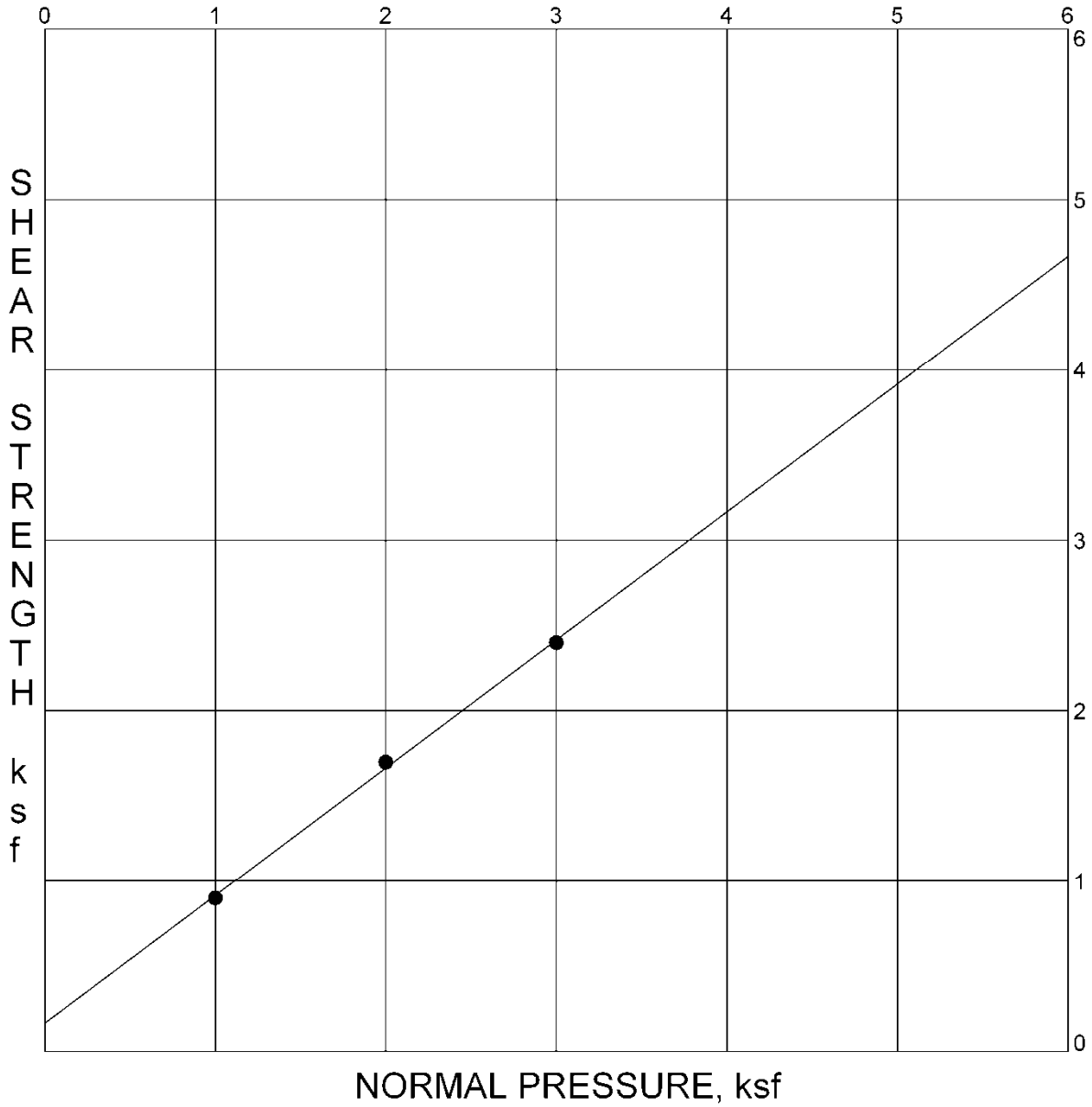
Figure S.20

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 65.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Ultimate Strength
Insitu: 14.4	Dry Density: 113.7	Phi (deg): 37.0
Saturated: 17.8		Cohesion (ksf): 0.150

**SHEAR TEST DIAGRAM**

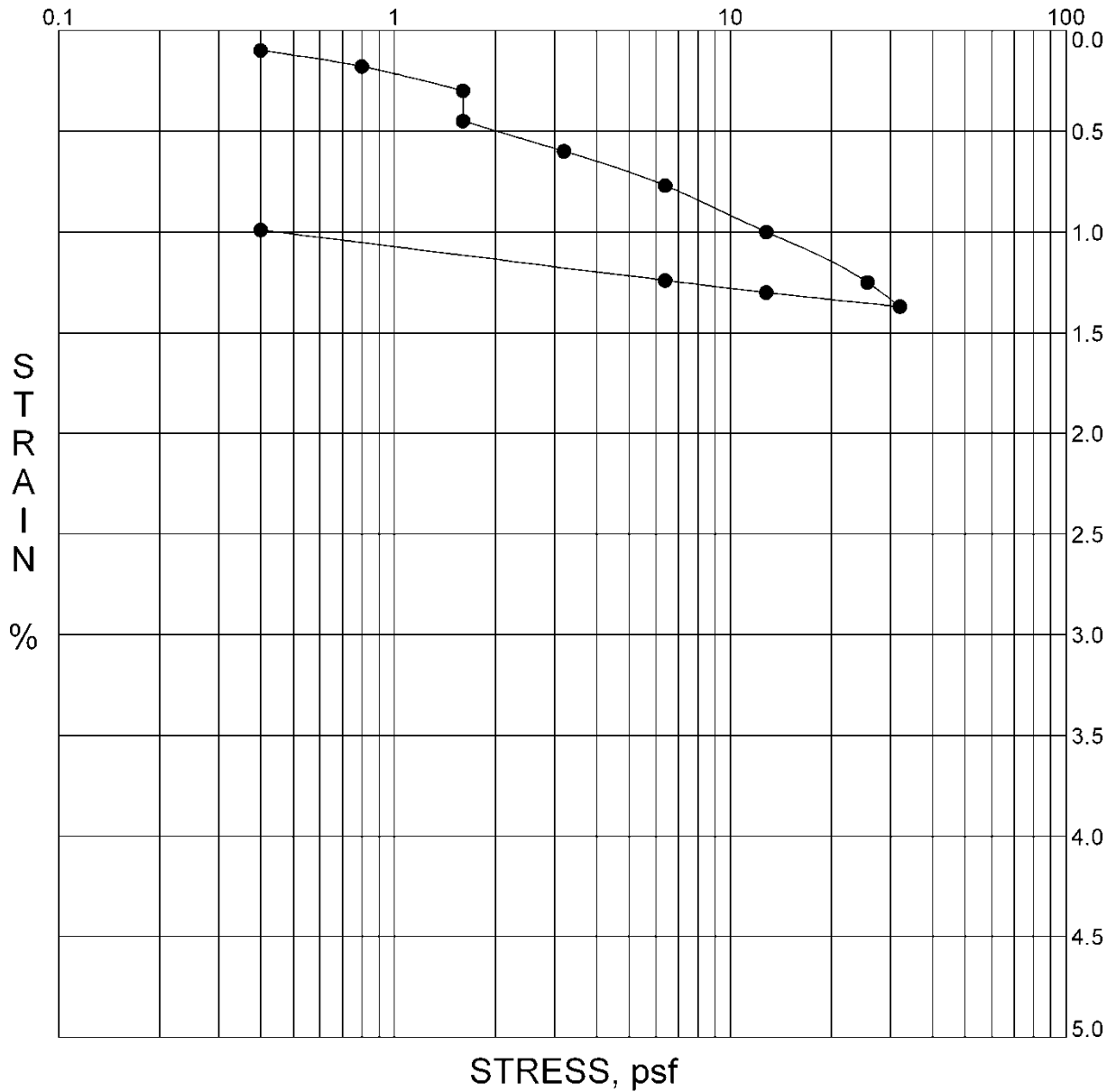
Figure S.21

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 40.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 9.2	Dry Density: 110.9	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

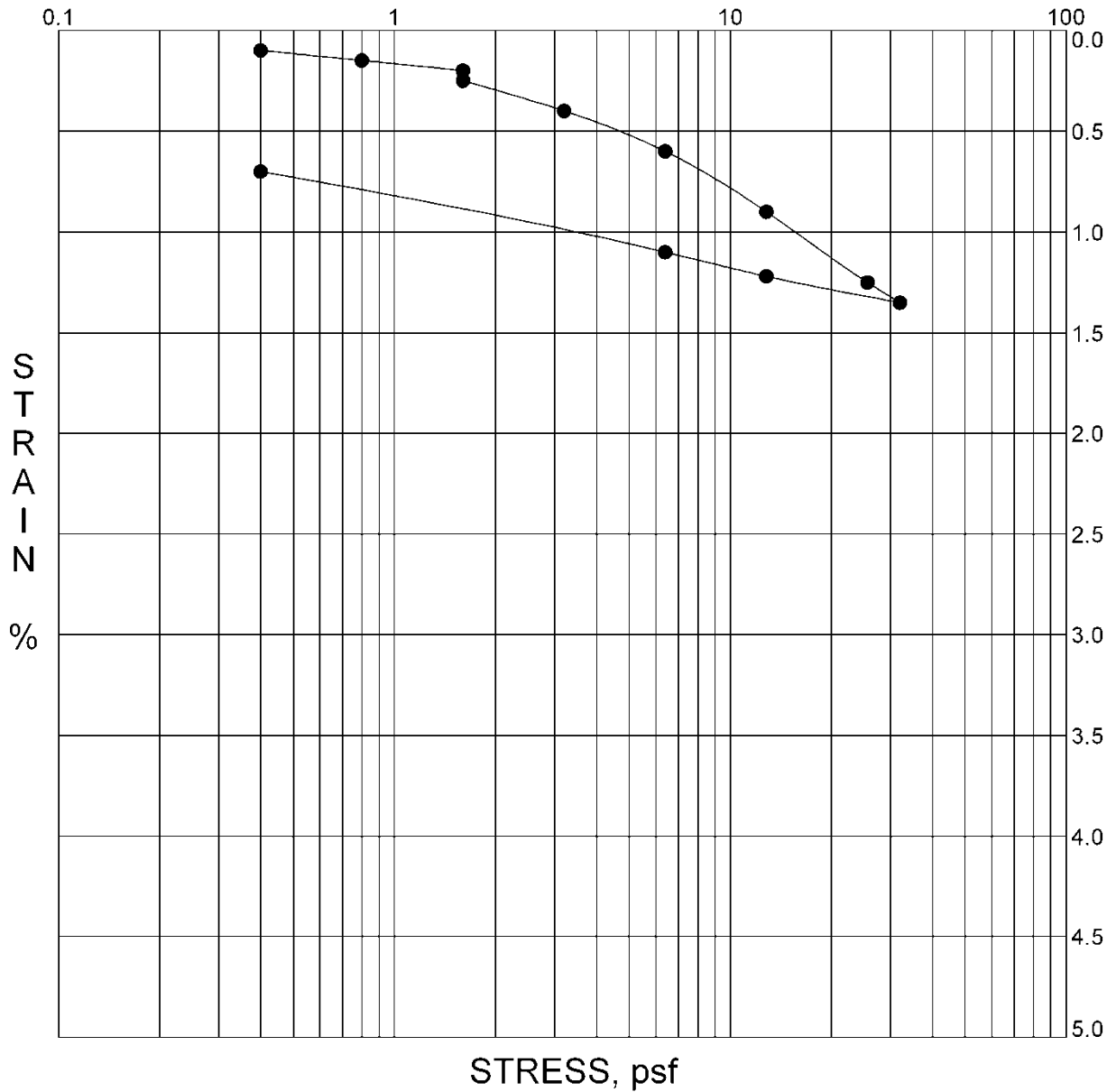
Figure C.1

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 45.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 11.0	Dry Density: 107.3	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

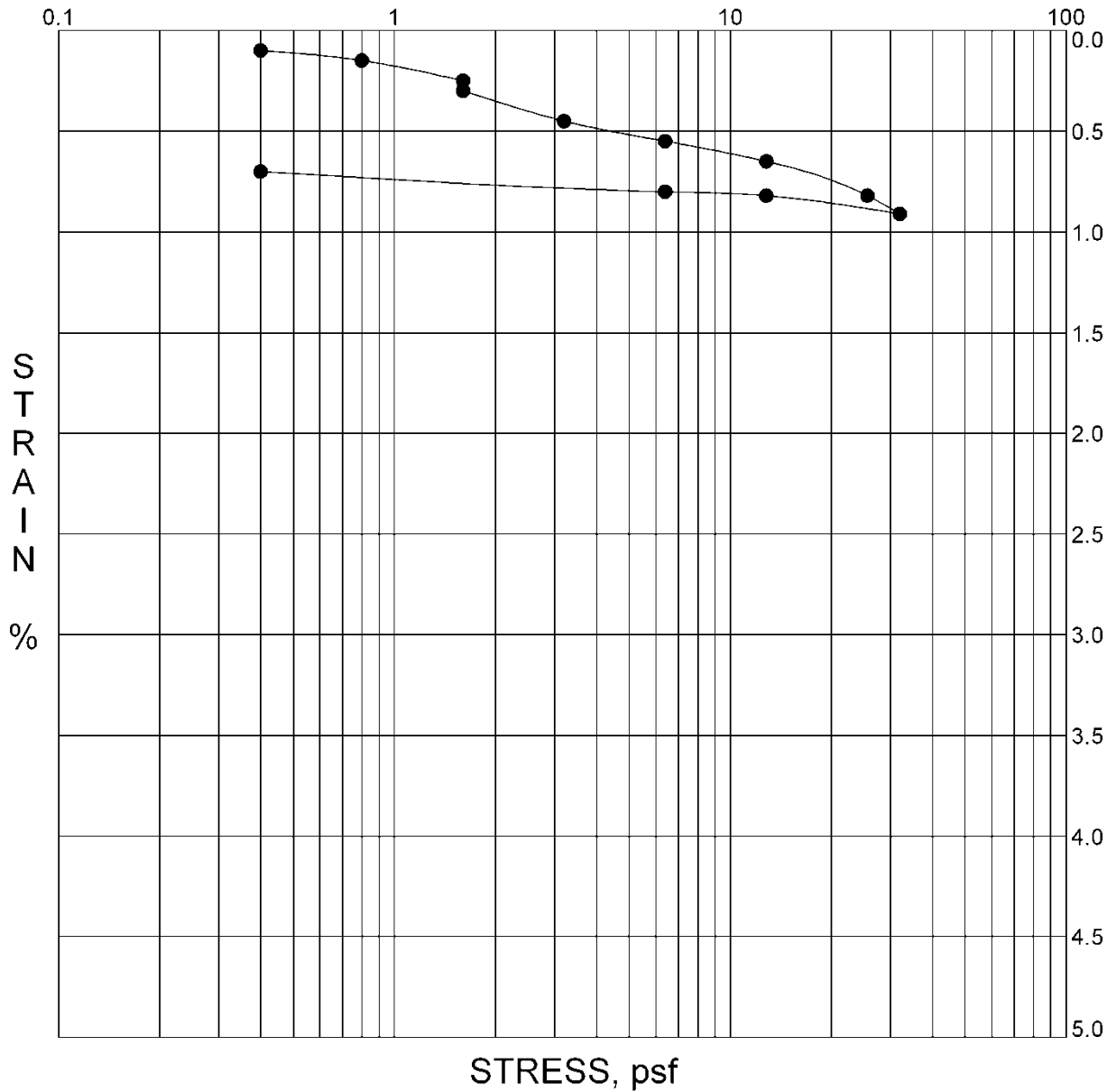
Figure C.2

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 60.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 10.2	Dry Density: 105.3	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

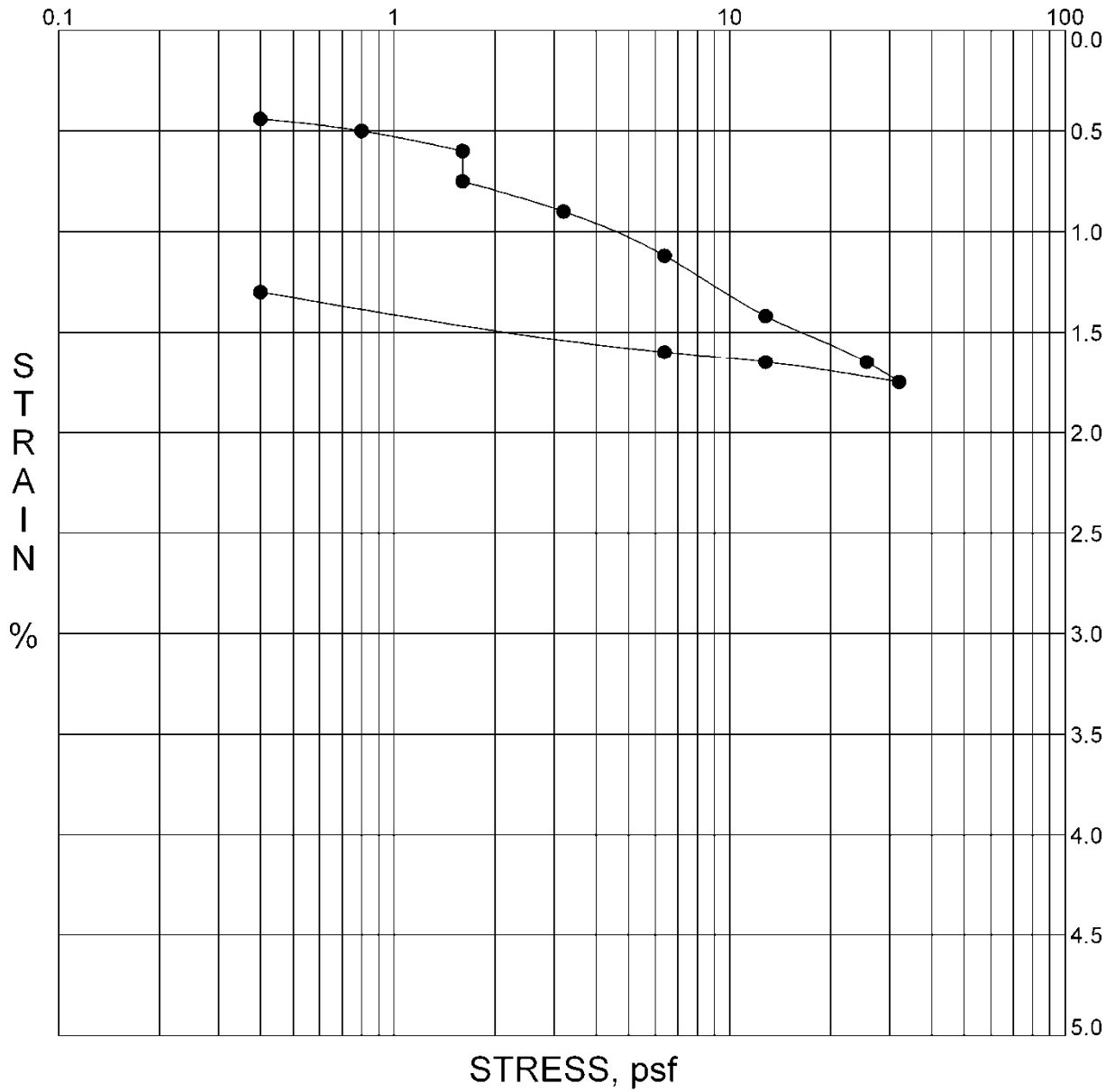
Figure C.3

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 75.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 8.0	Dry Density: 111.4	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

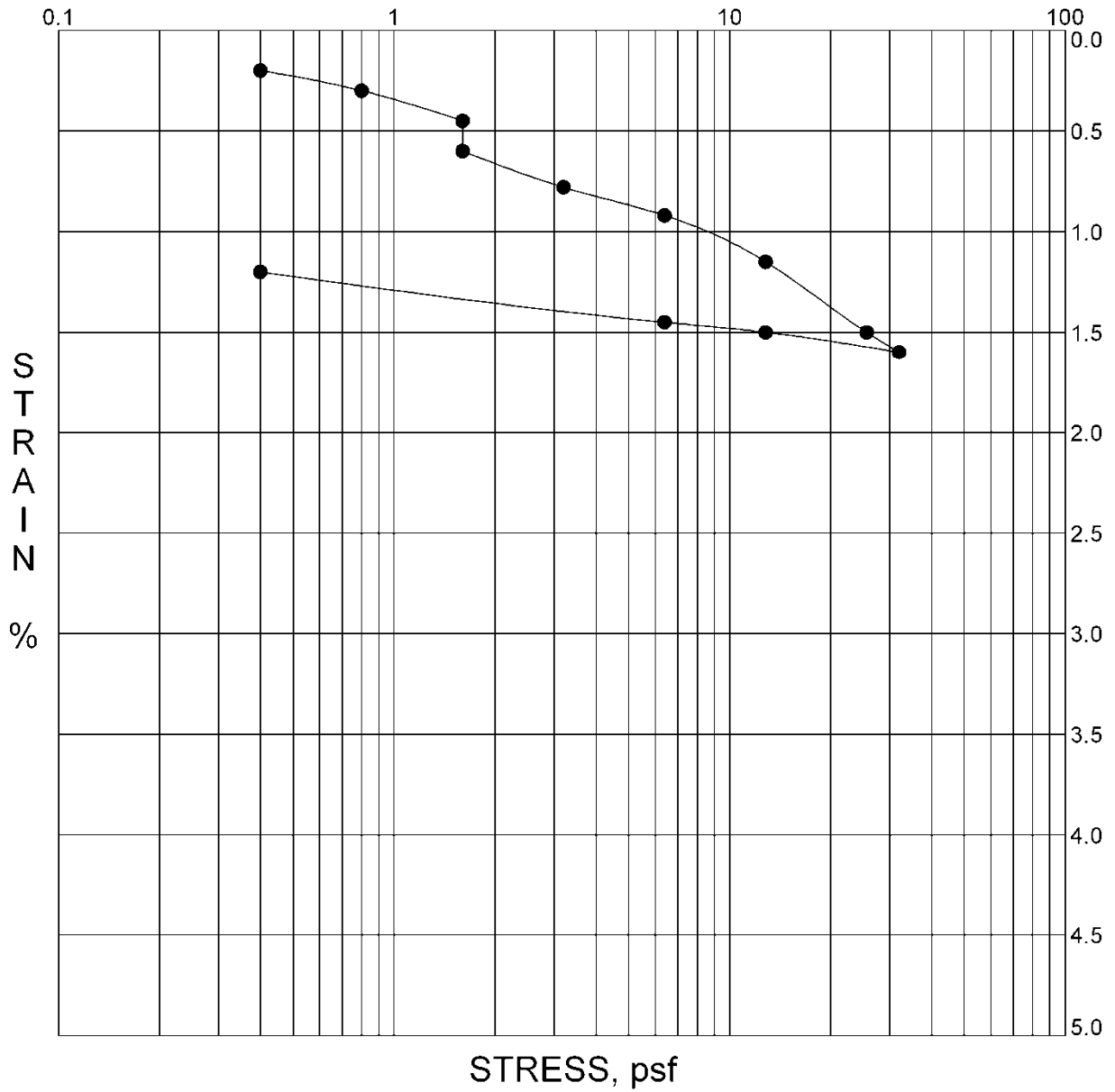
Figure C.4

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 90.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 5.2	Dry Density: 111.2	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

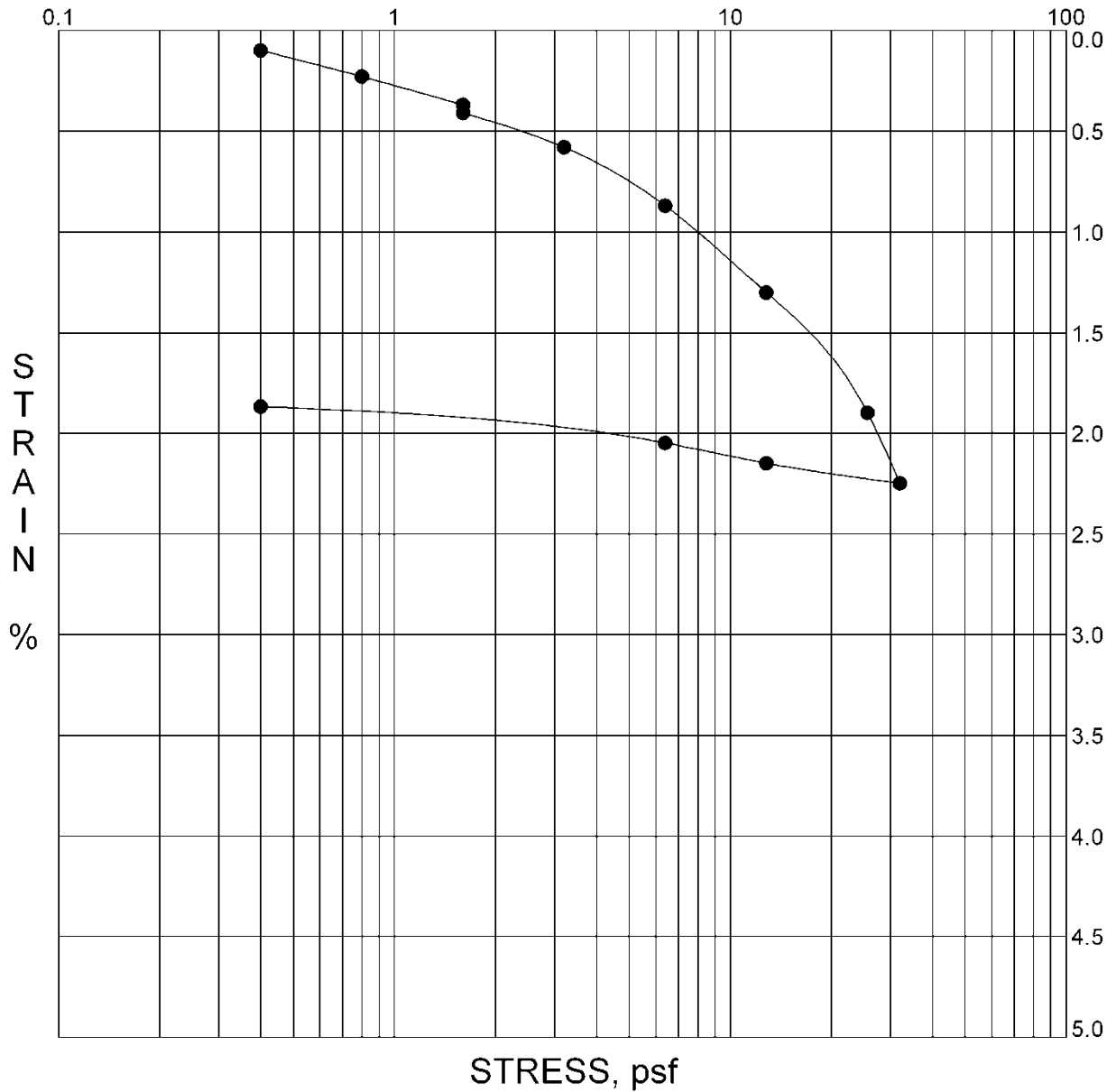
Figure C.5

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 100.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 15.2	Dry Density: 95.7	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

Figure C.6

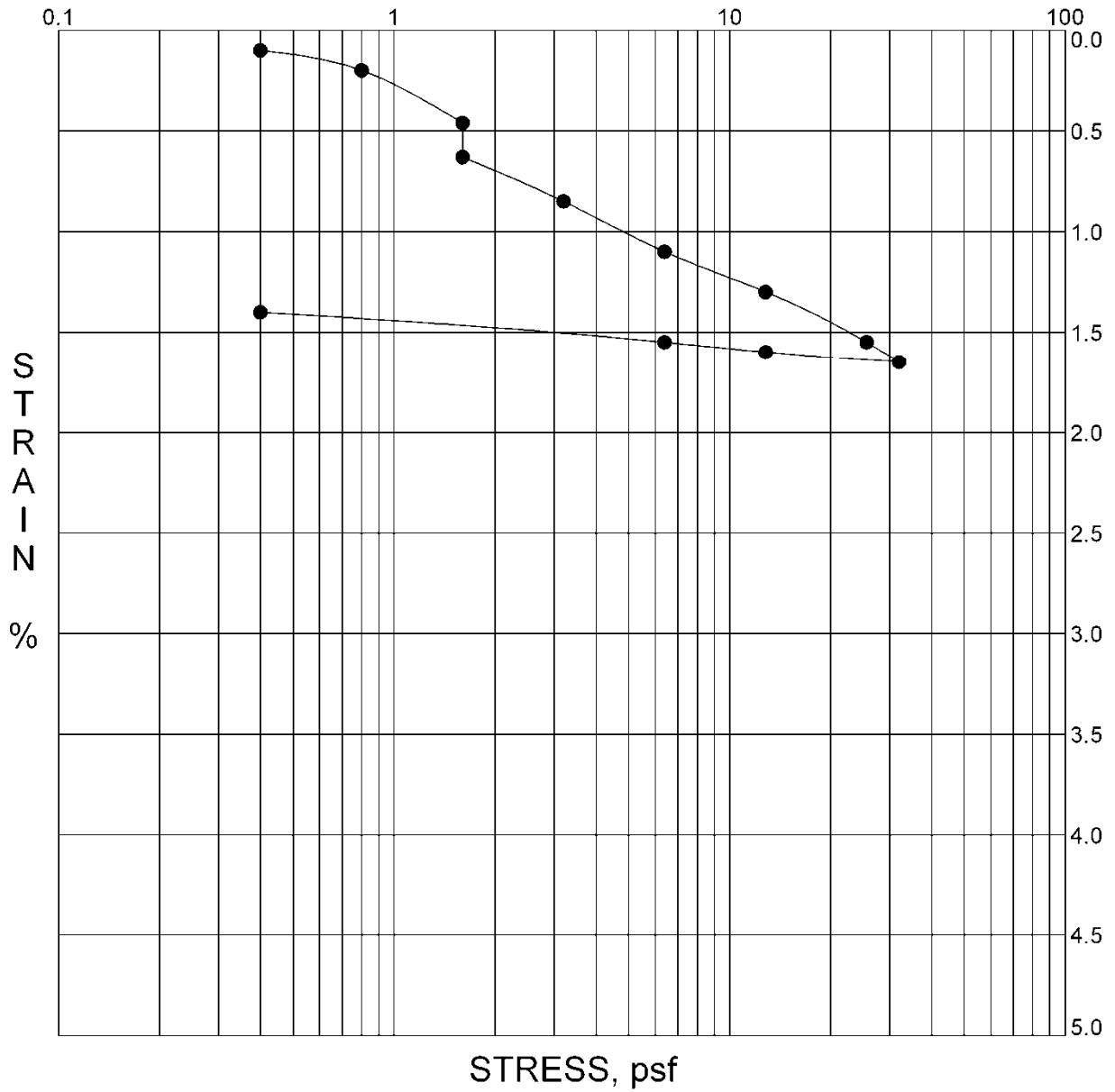


PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 105.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 1.5	Dry Density: 115.2	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

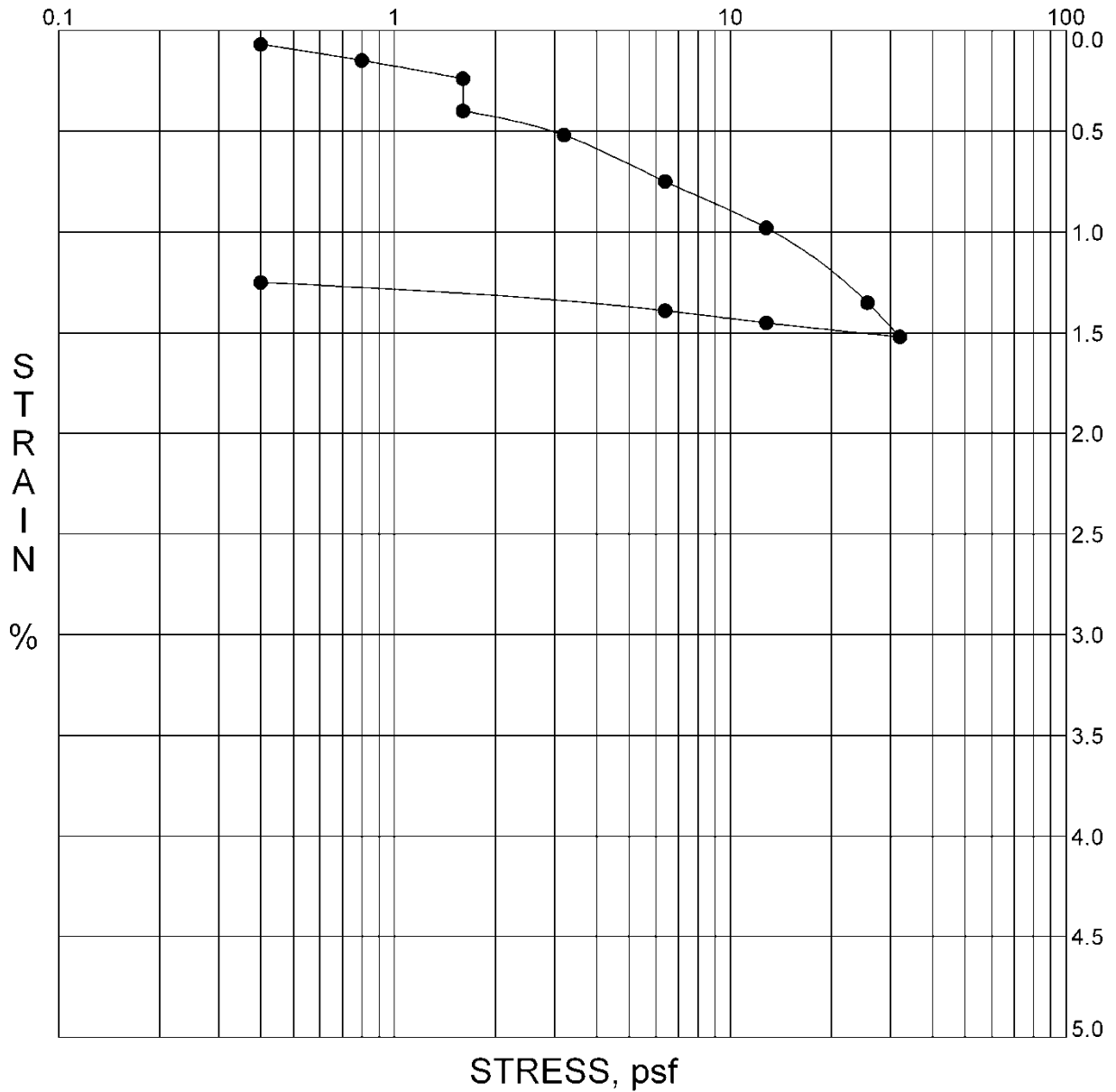
Figure C.7

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 115.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 7.0	Dry Density: 117.9	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

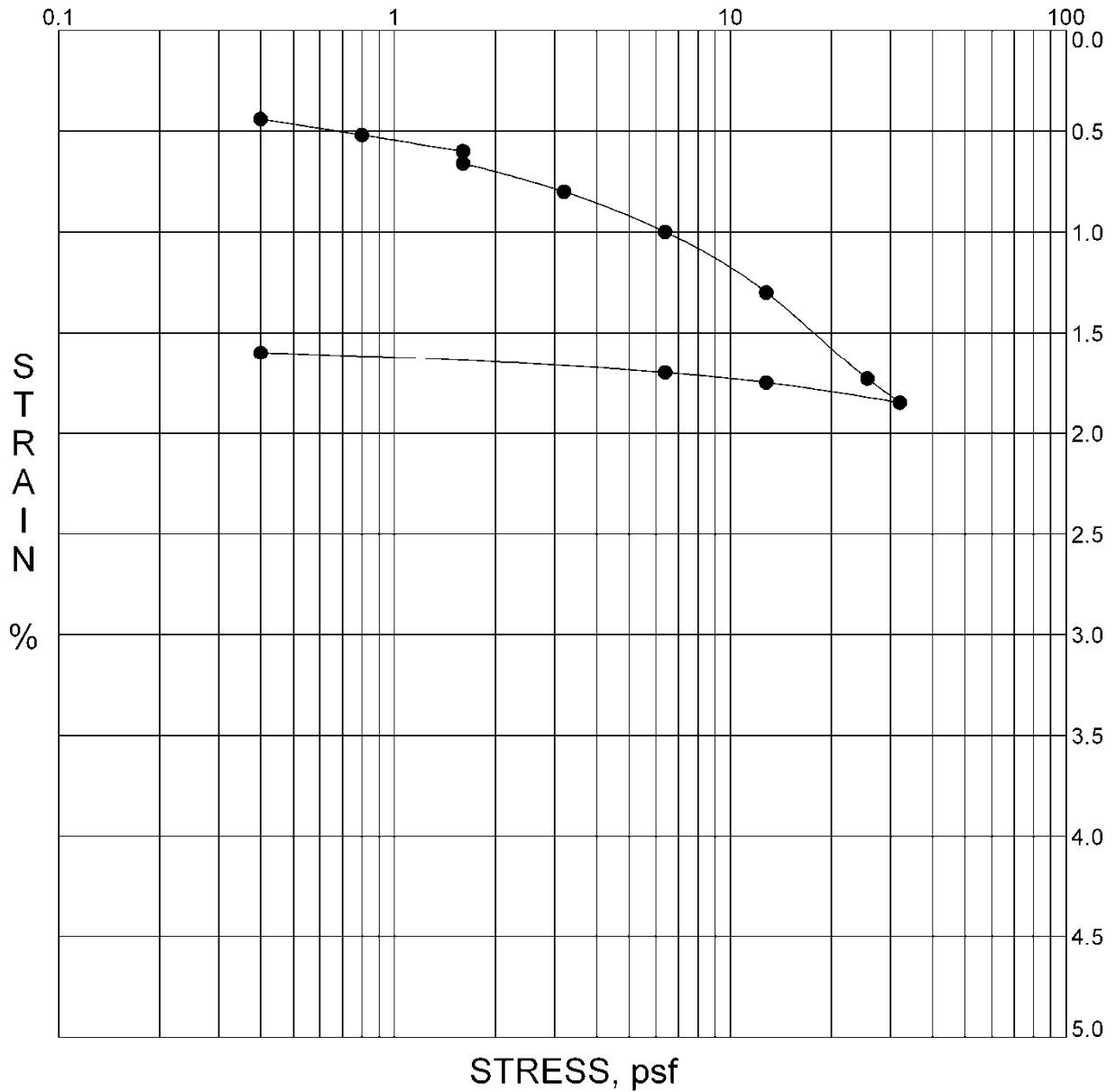
Figure C.8

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 135.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 3.7	Dry Density: 111.1	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

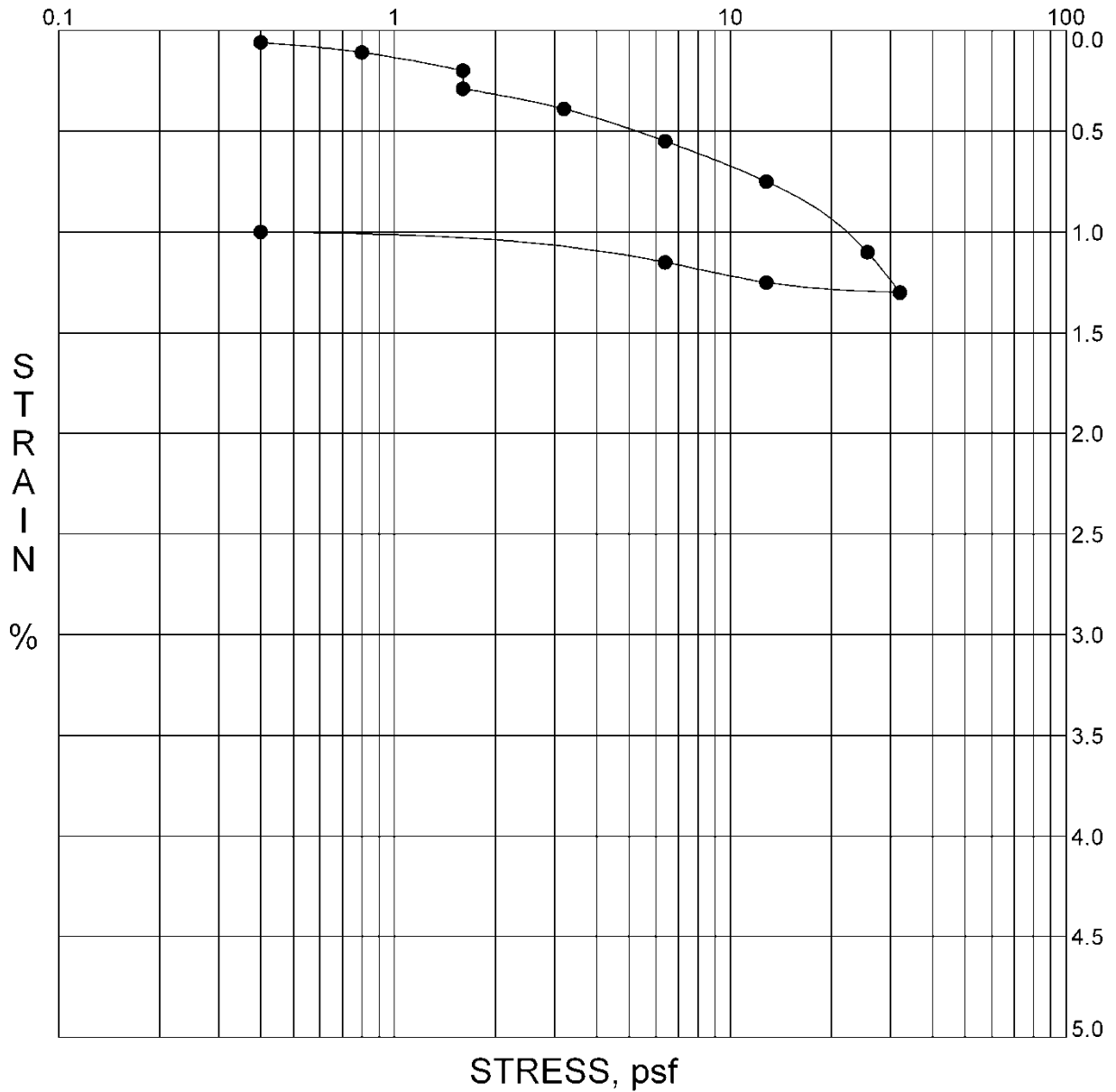
Figure C.9

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 145.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 5.1	Dry Density: 115.3	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

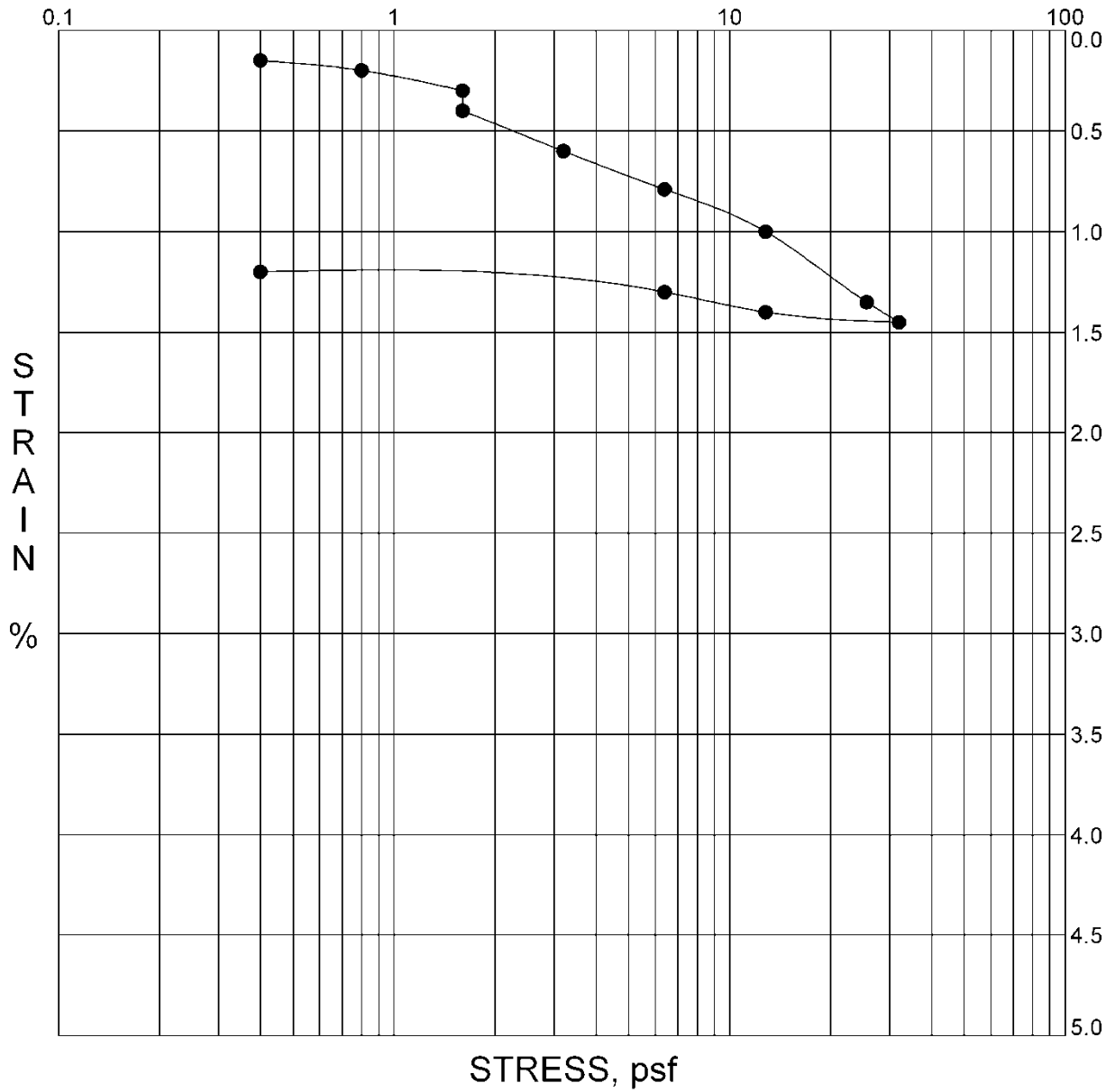
Figure C.10

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 160.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 14.9	Dry Density: 103.2	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

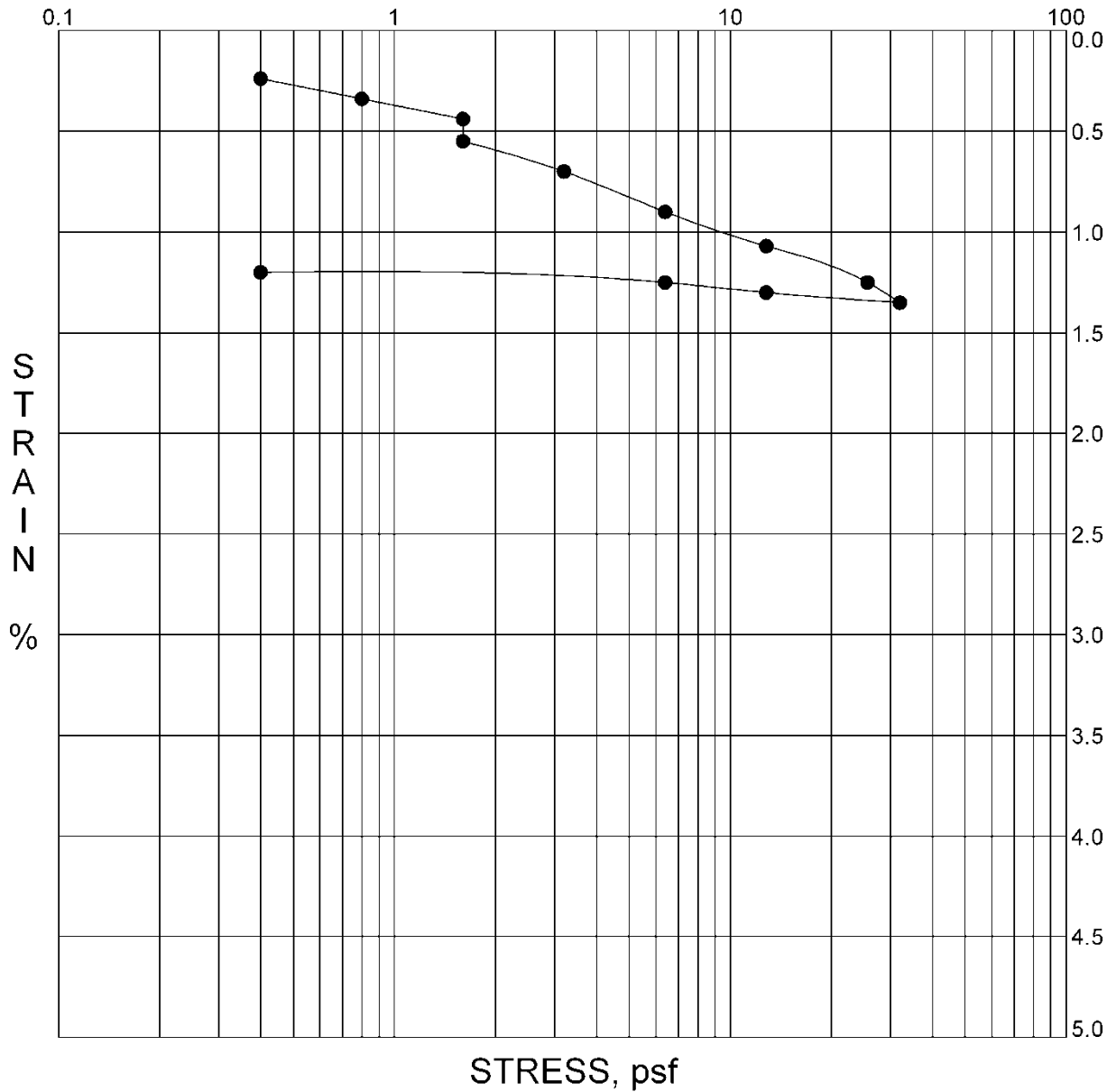
Figure C.11

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 170.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 10.2	Dry Density: 111.4	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

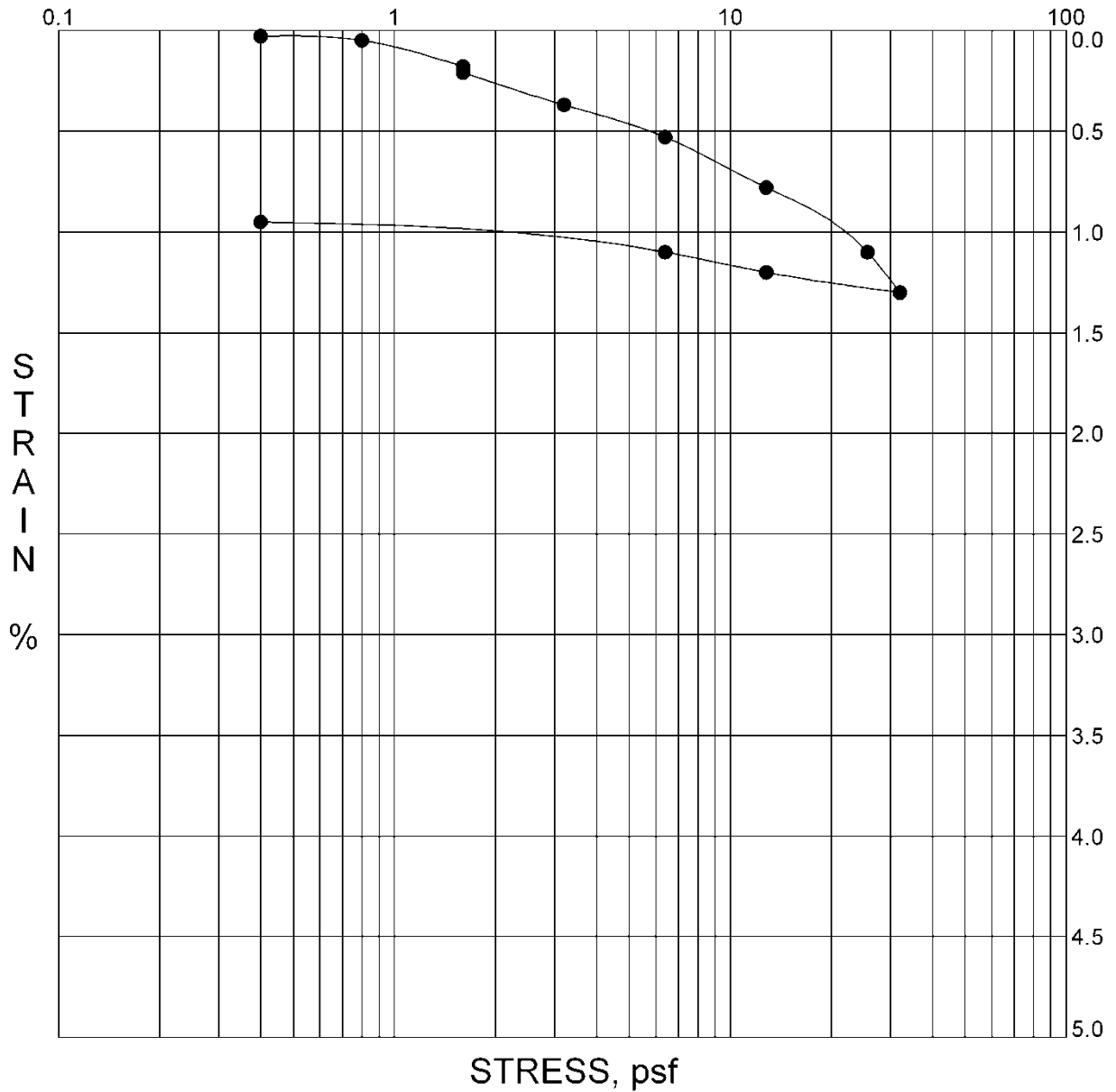
Figure C.12

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 180.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 9.0	Dry Density: 114.9	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

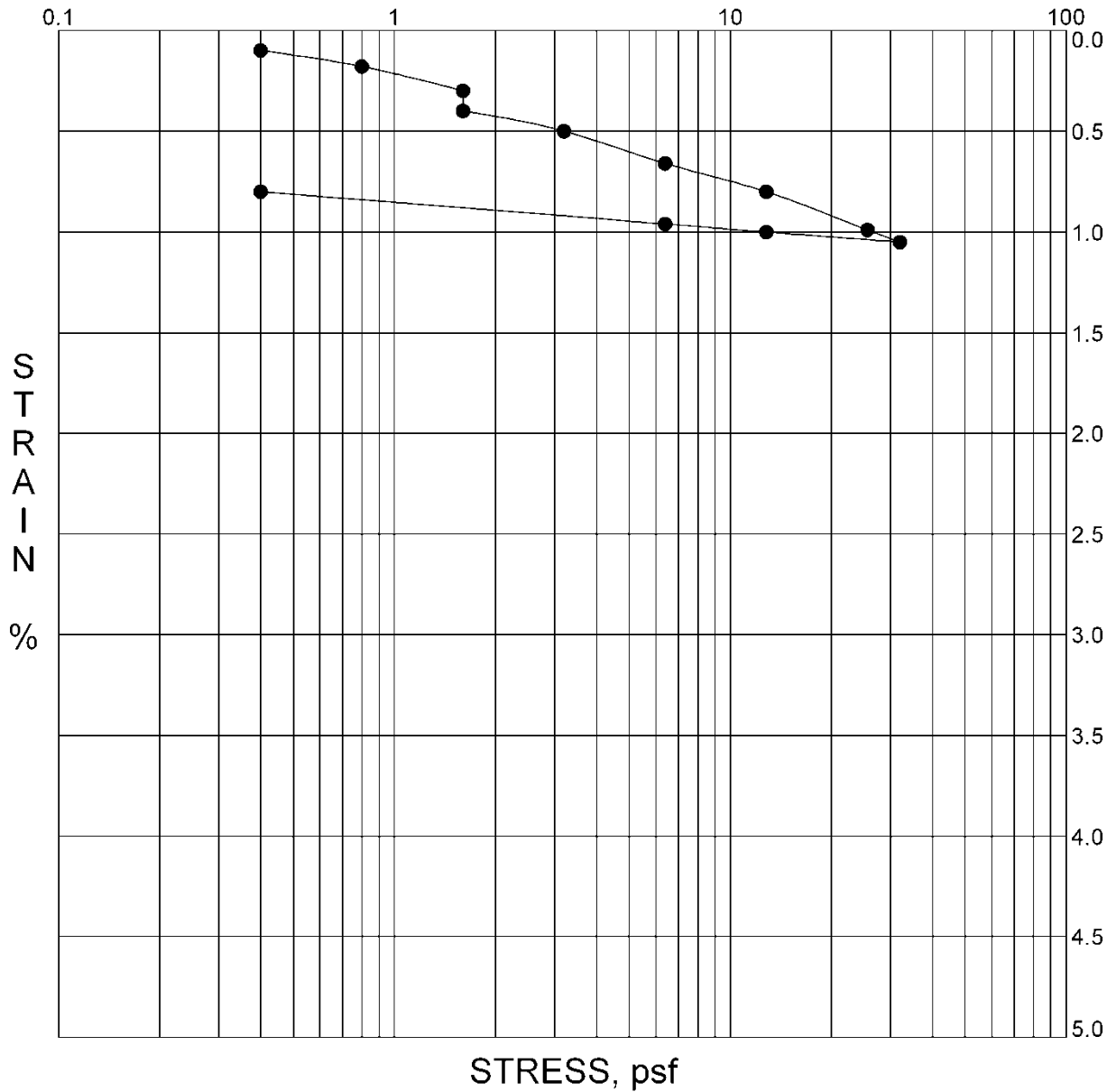
Figure C.13

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-1 @ 190.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 6.6	Dry Density: 116.8	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

Figure C.14

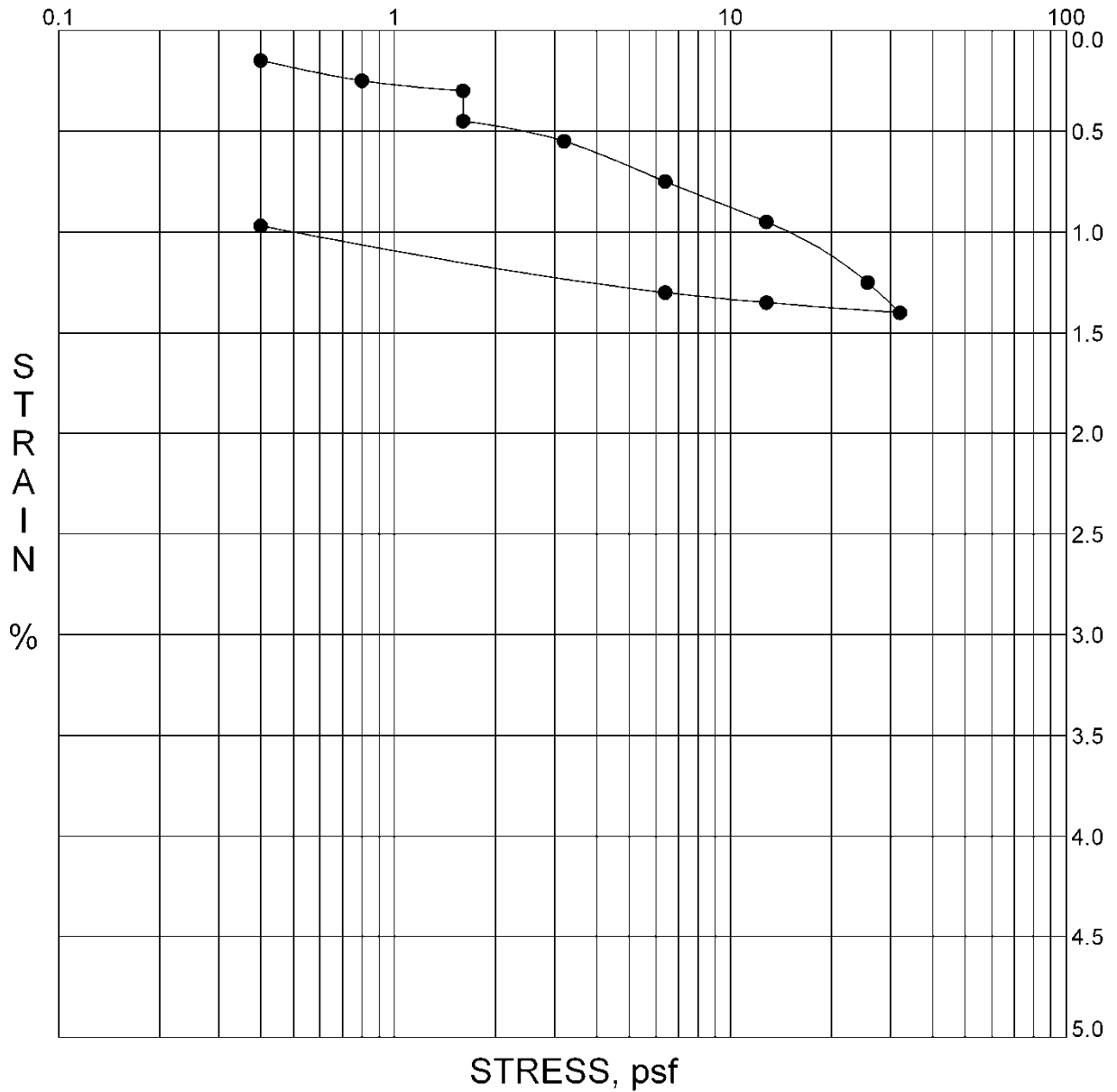


PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 45.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 12.1	Dry Density: 111.8	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

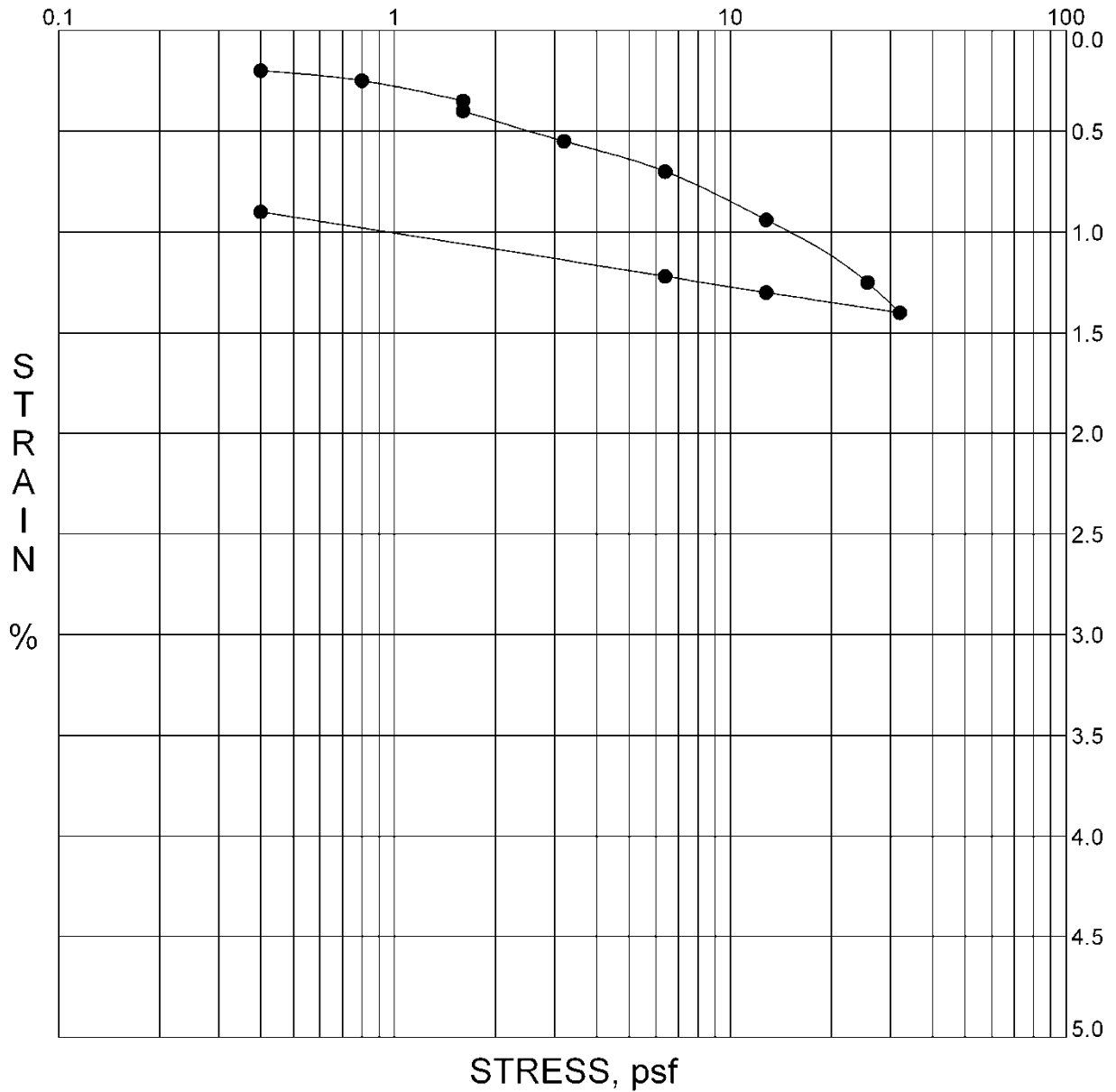
Figure C.15

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 60.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 10.0	Dry Density: 116.2	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

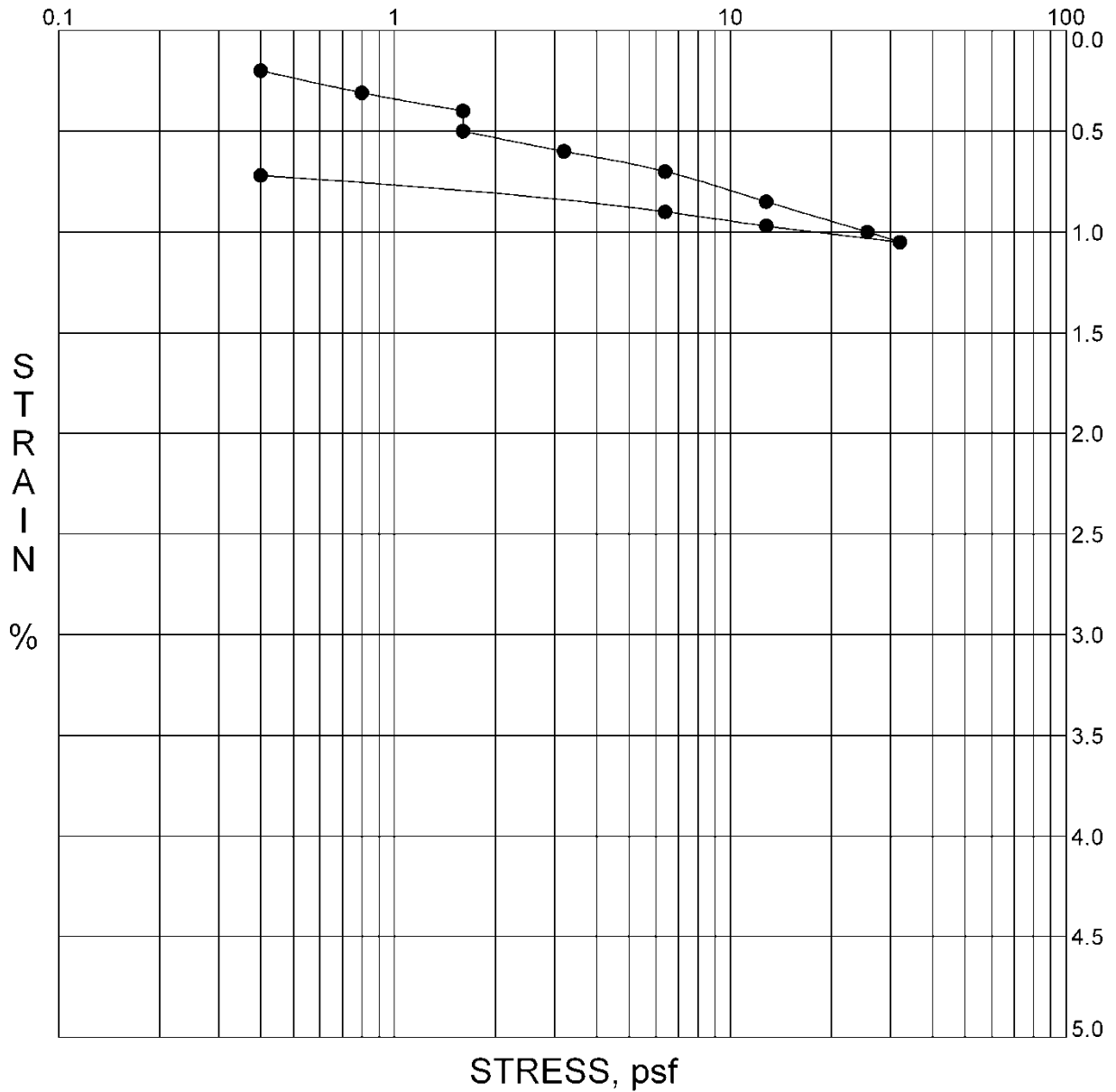
Figure C.16

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 65.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 10.1	Dry Density: 119.5	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

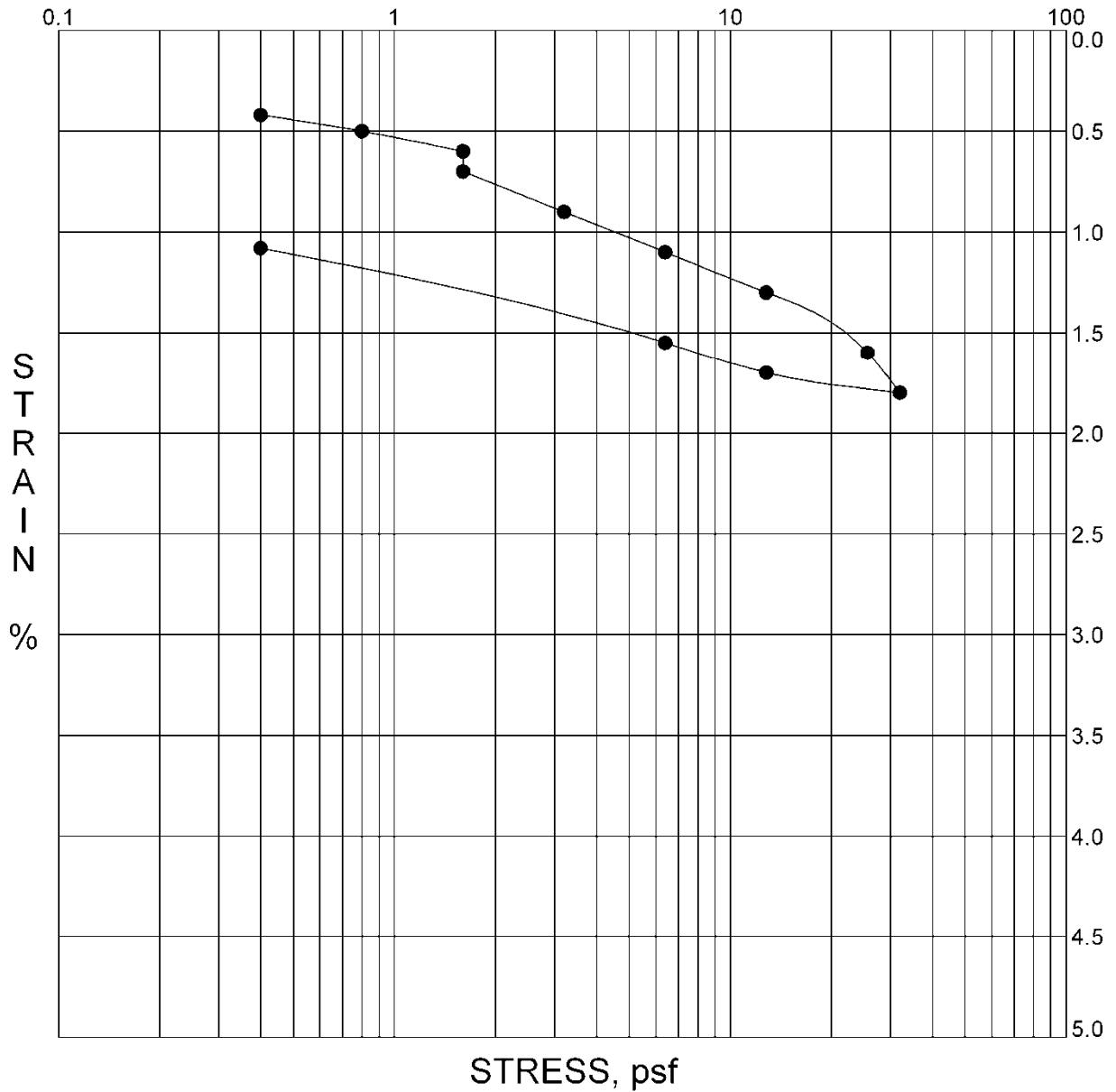
Figure C.17

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-2 @ 75.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 3.0	Dry Density: 118.5	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

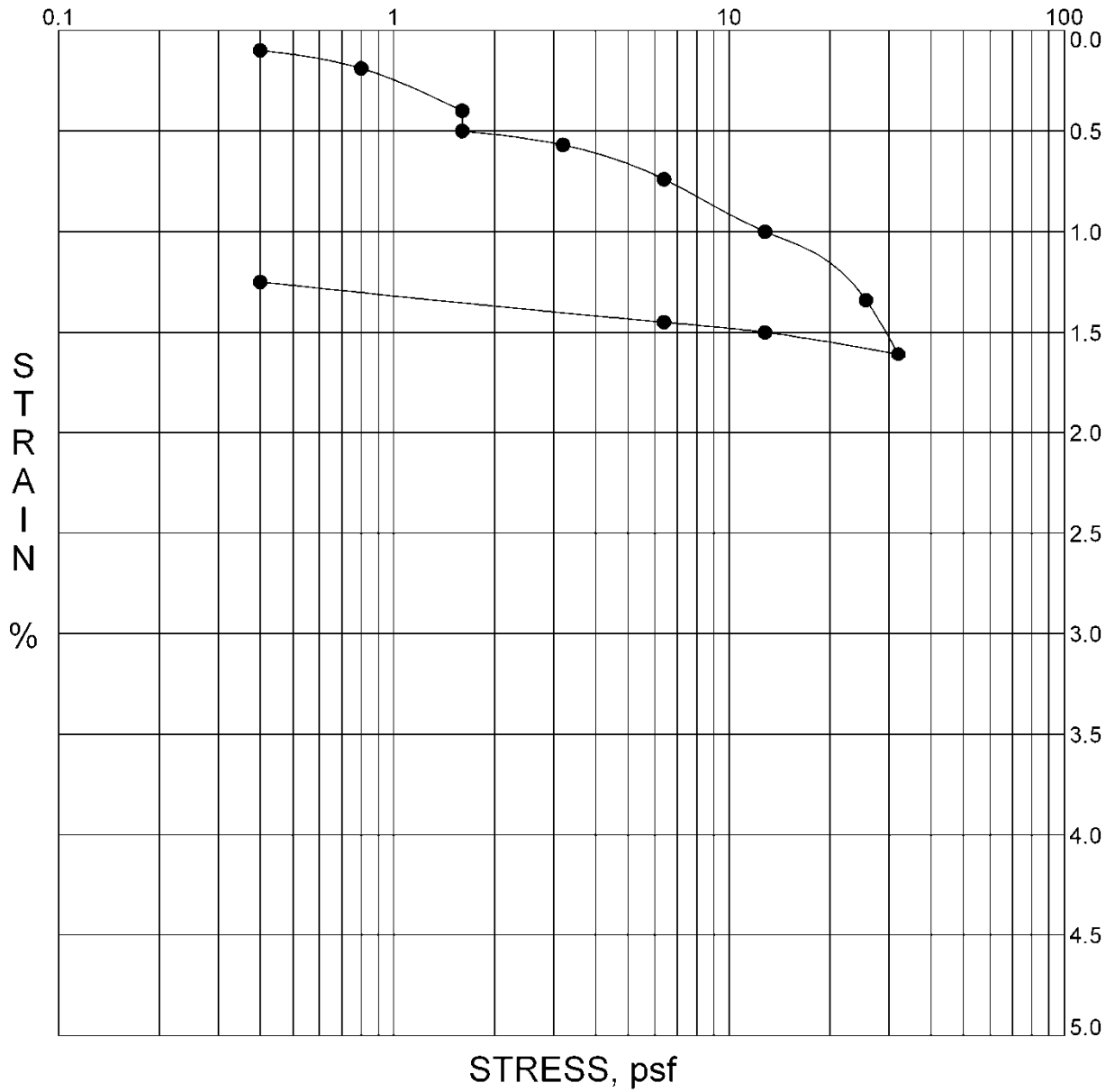
Figure C.18

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 45.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 15.0	Dry Density: 103.9	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

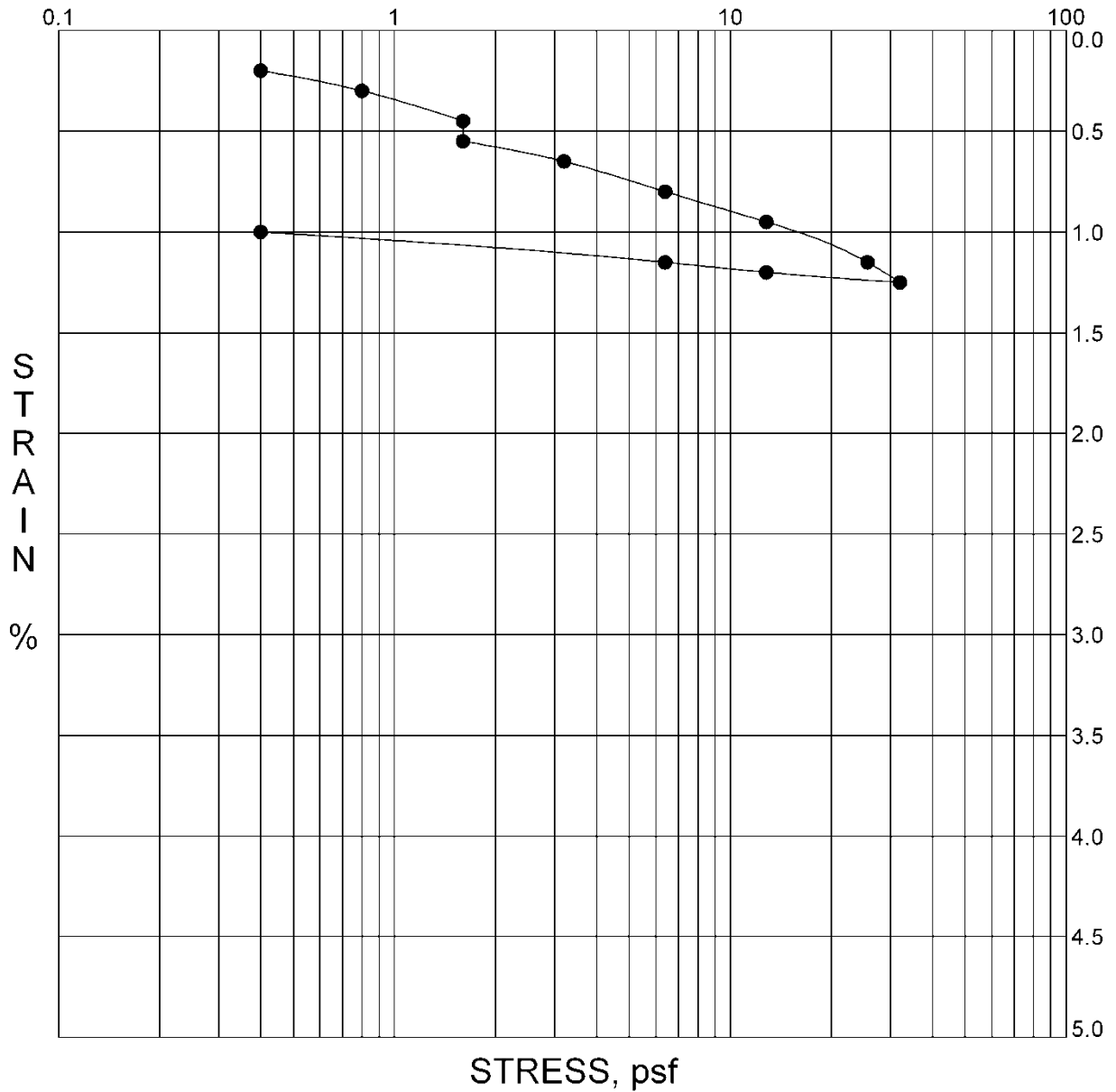
Figure C.19

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 55.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 11.6	Dry Density: 113.0	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

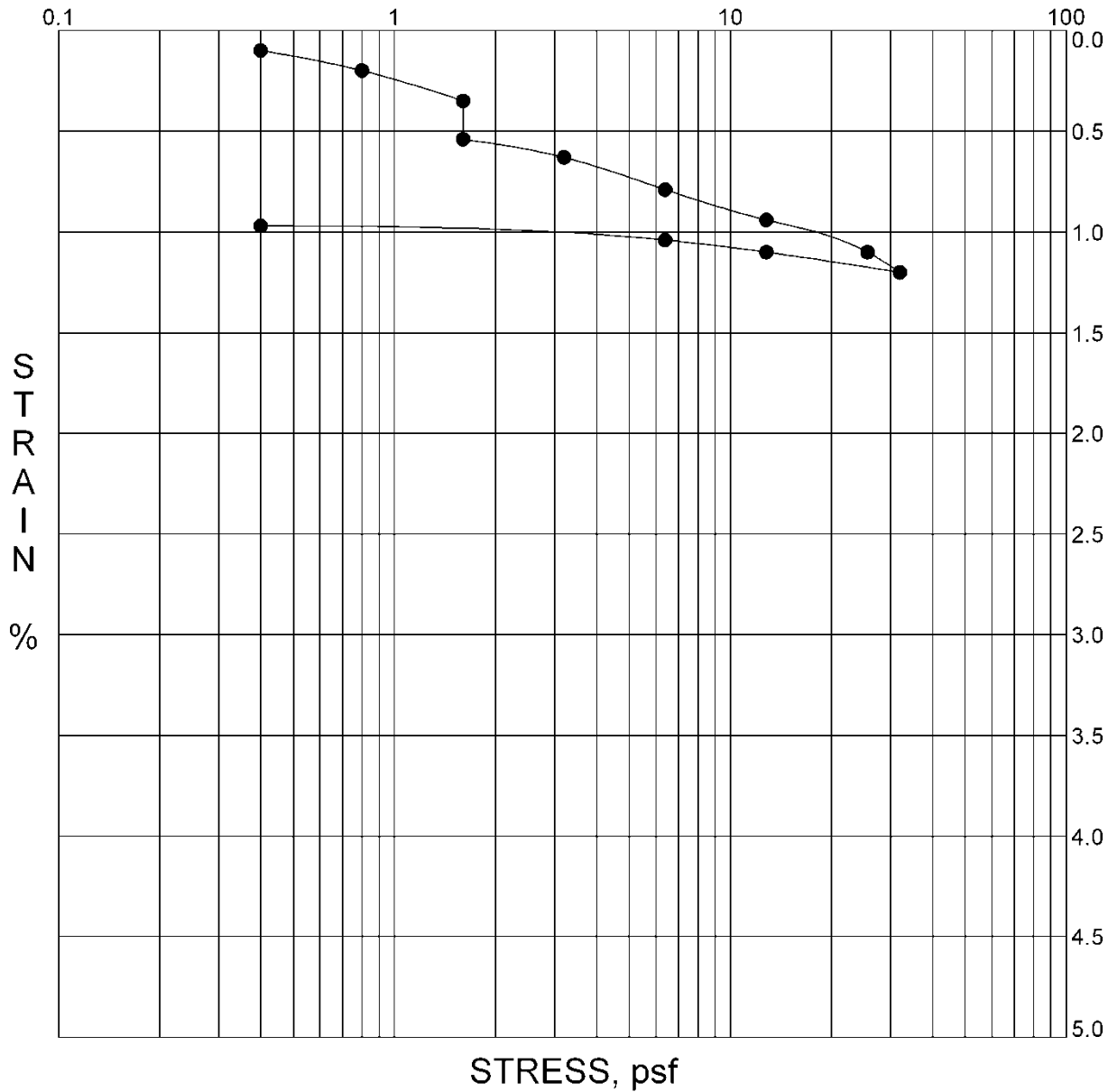
Figure C.20

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 70.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 4.9	Dry Density: 122.6	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

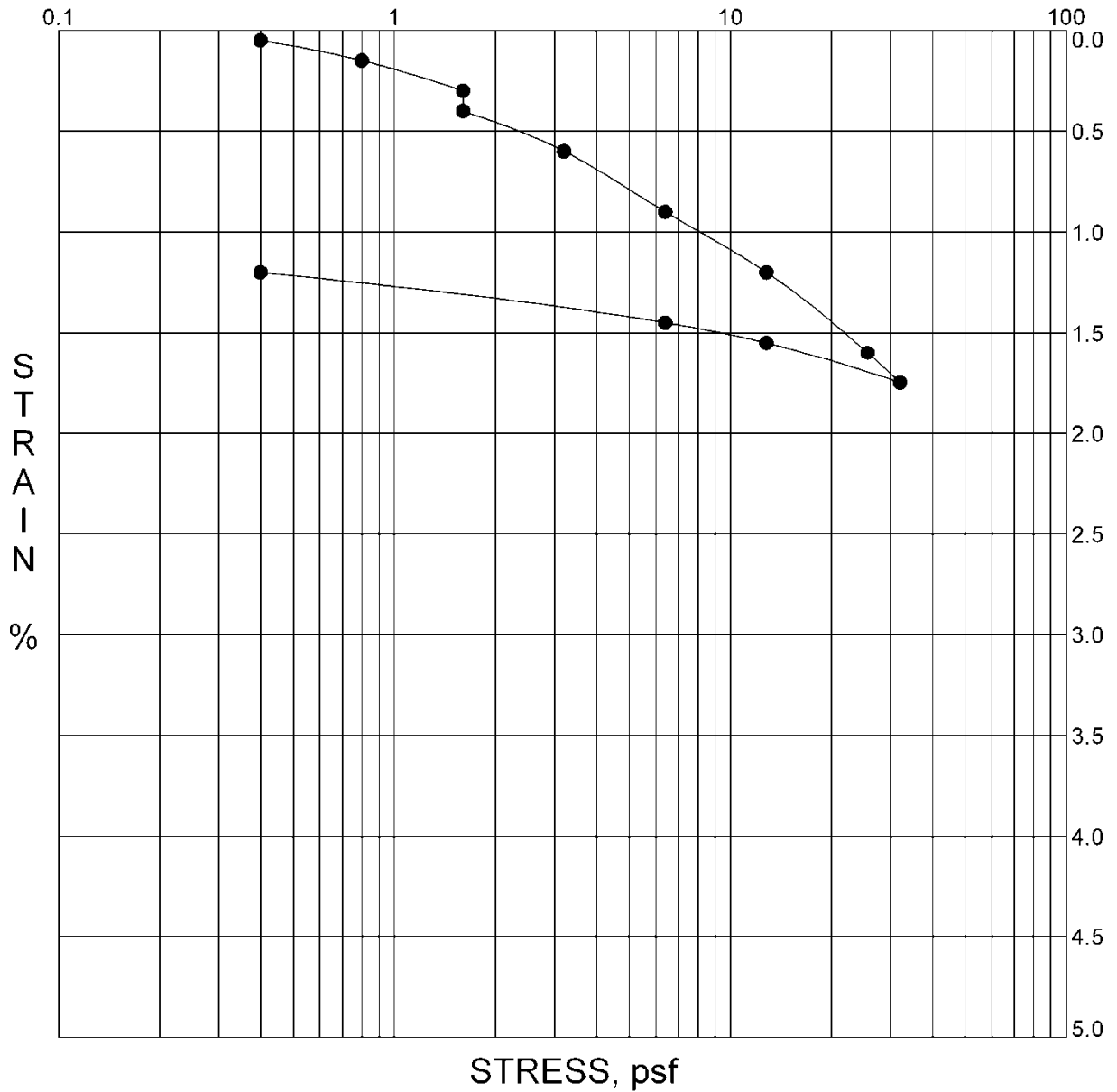
Figure C.21

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-3 @ 75.0

DESCRIPTION: Qa



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 2.4	Dry Density: 124.0	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

Figure C.22

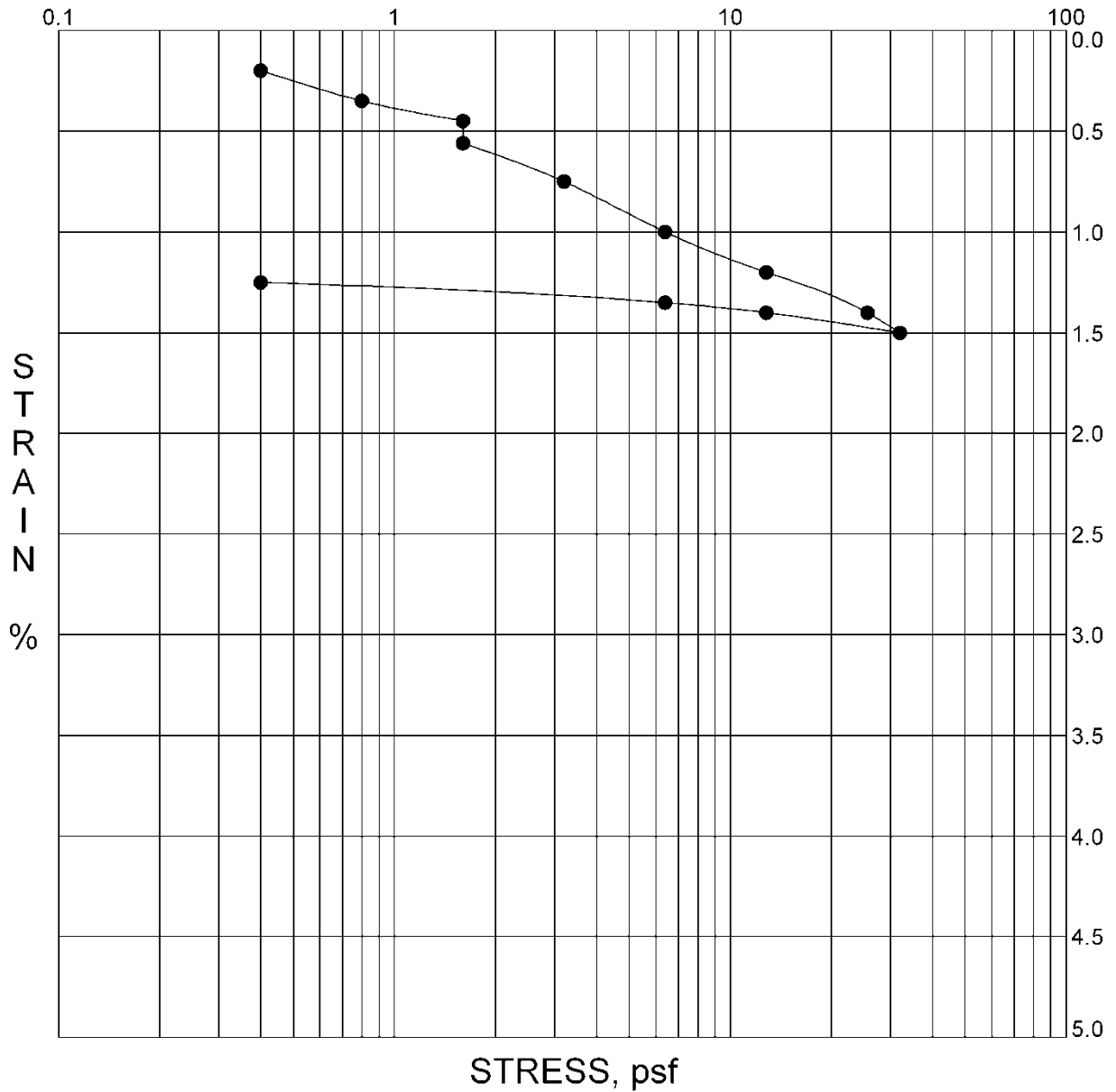


PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 10.0

DESCRIPTION: Qa1



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 4.2	Dry Density: 116.8	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

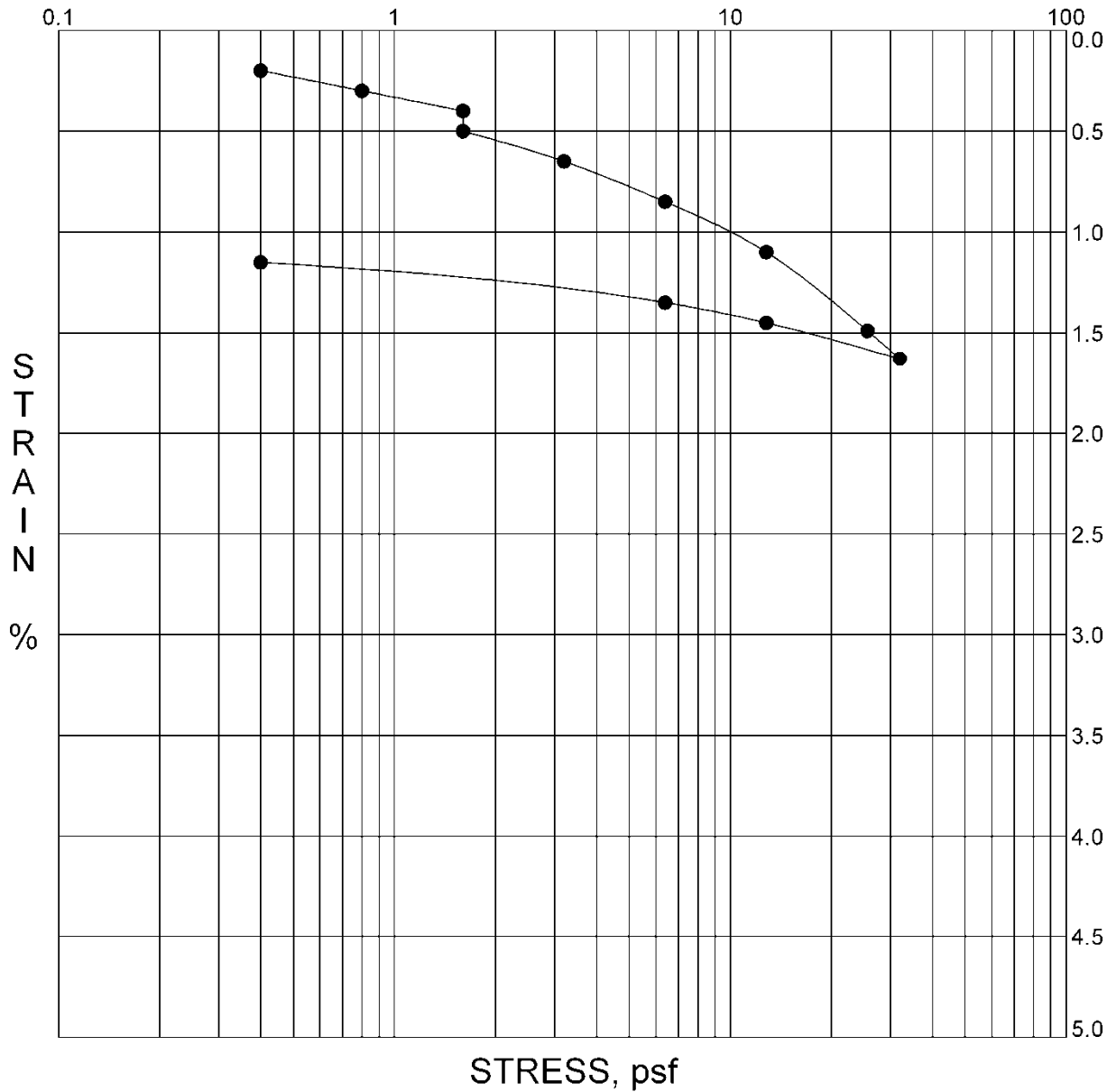
Figure C.23

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 20.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 8.7	Dry Density: 115.2	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

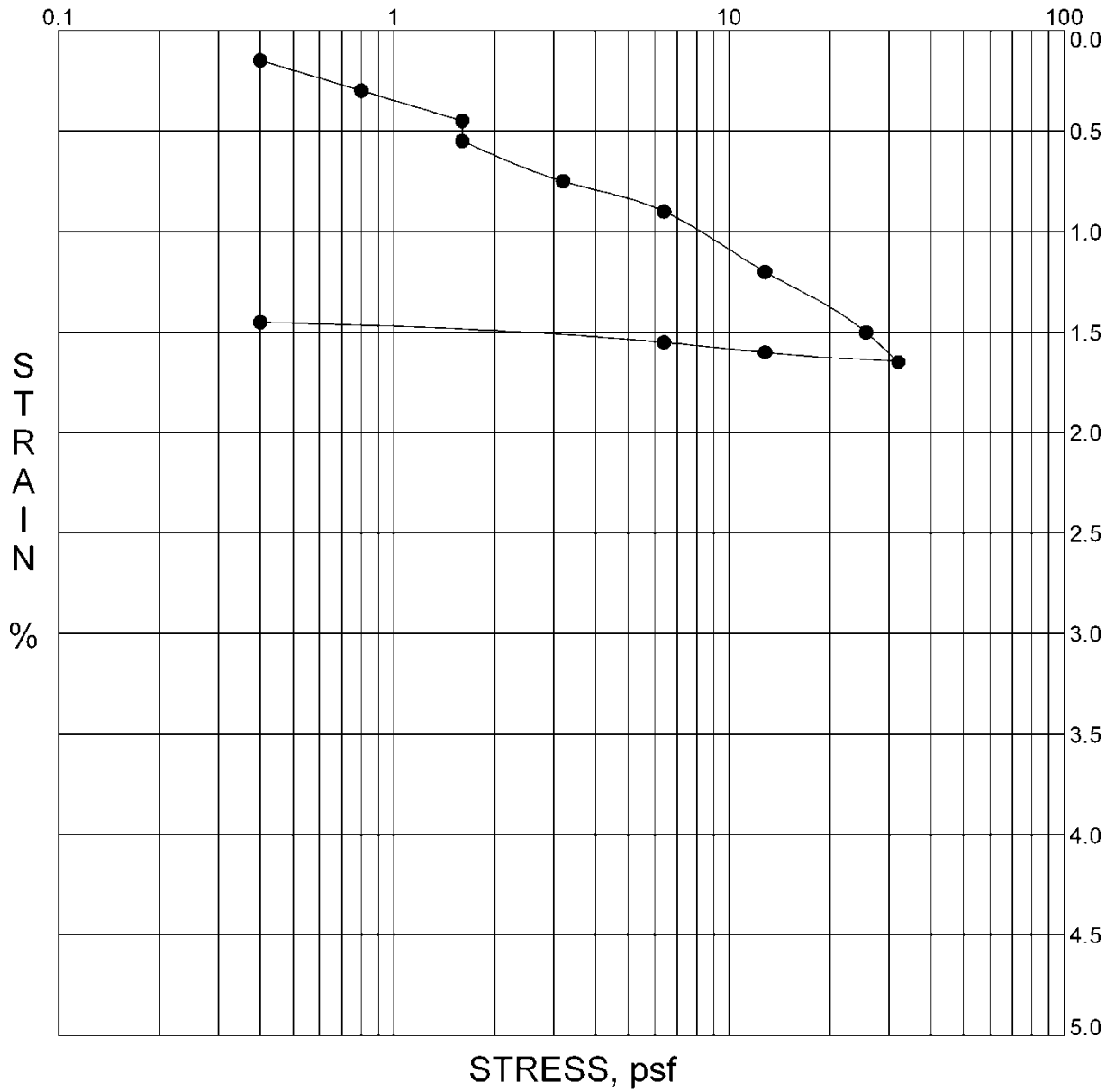
Figure C.24

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 25.0

DESCRIPTION: Qal



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 4.7	Dry Density: 114.9	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

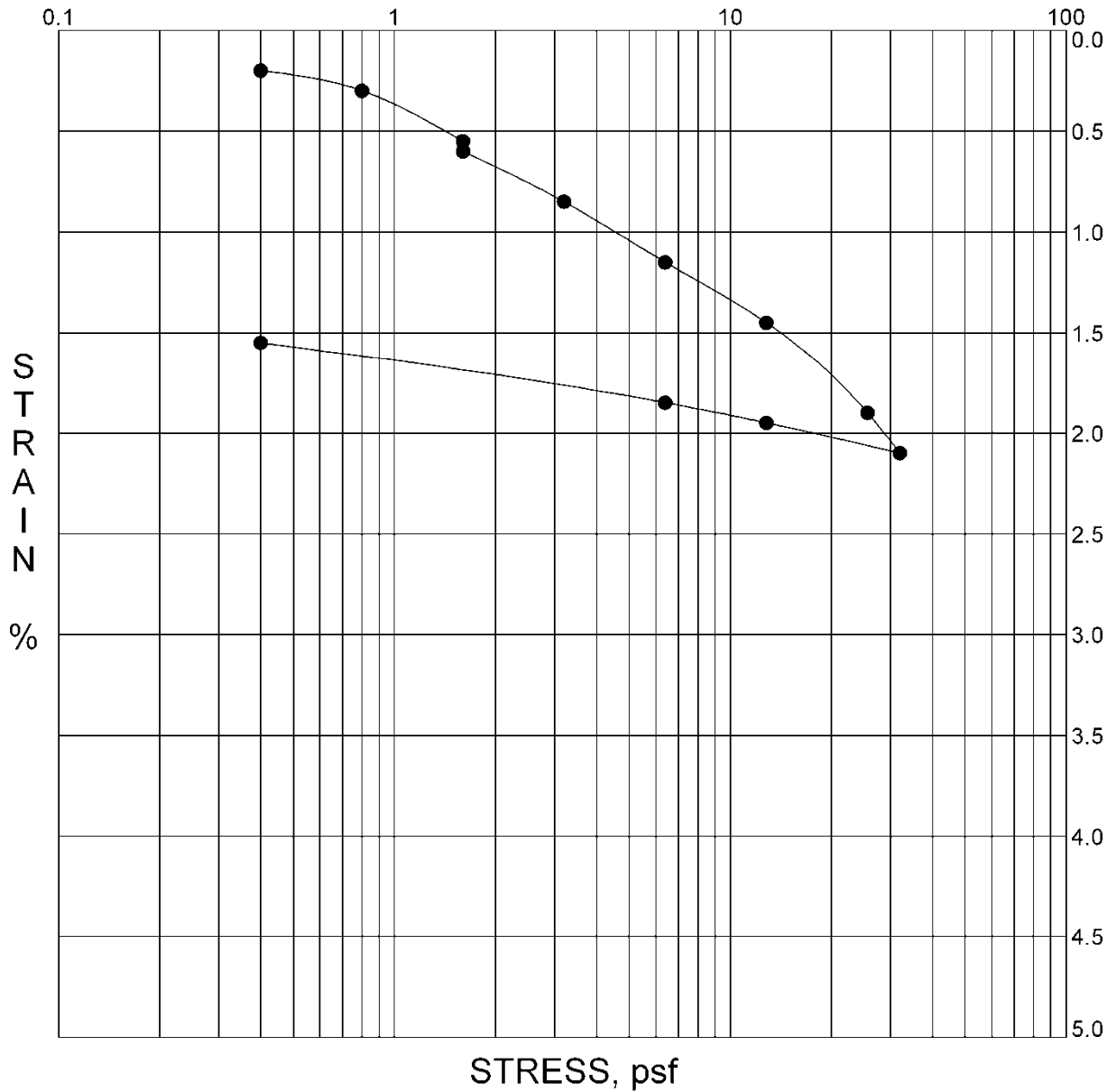
Figure C.25

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 30.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 5.9	Dry Density: 112.8	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

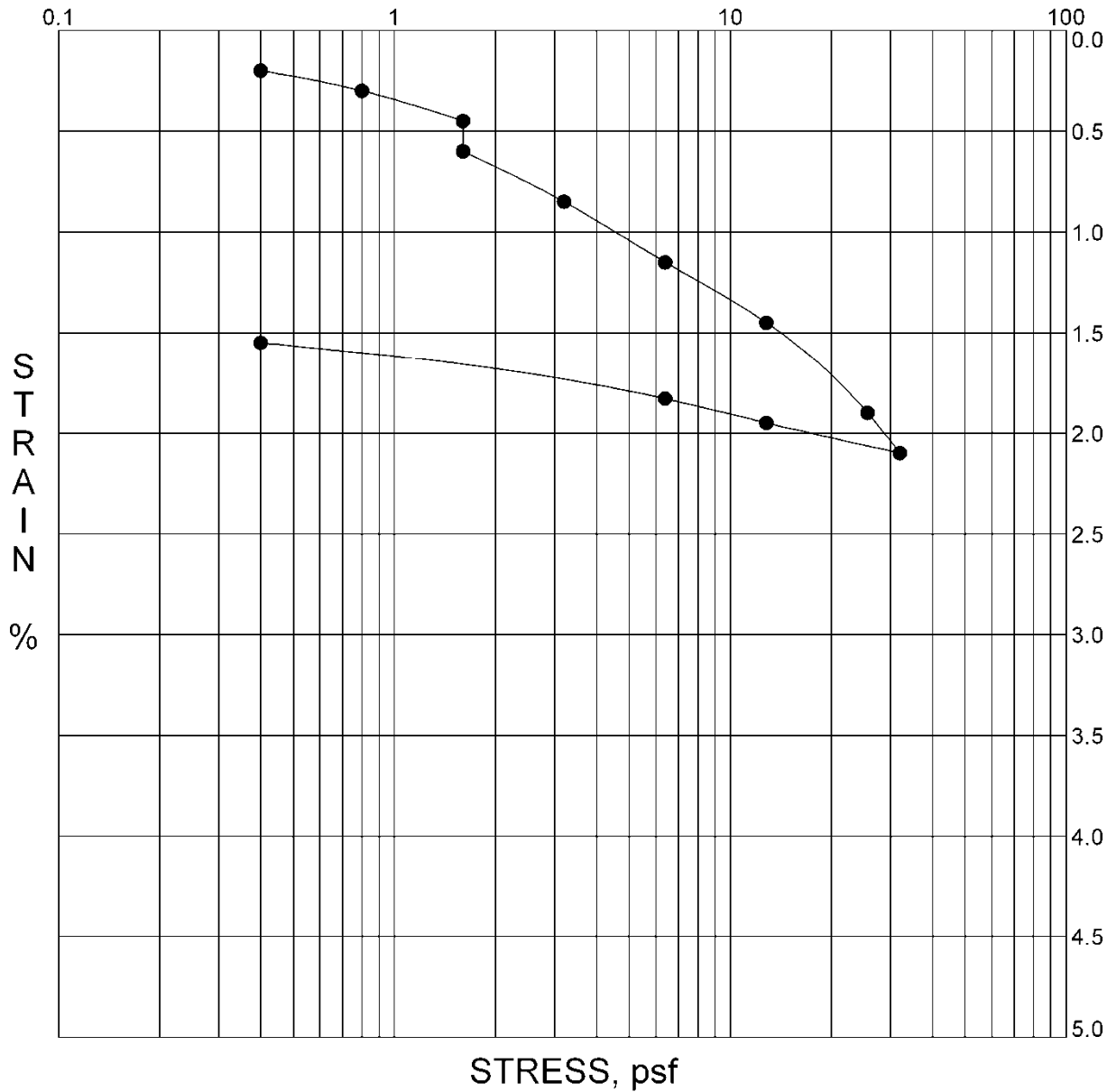
Figure C.26

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 35.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
Insitu: 4.1	Dry Density: 116.5	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

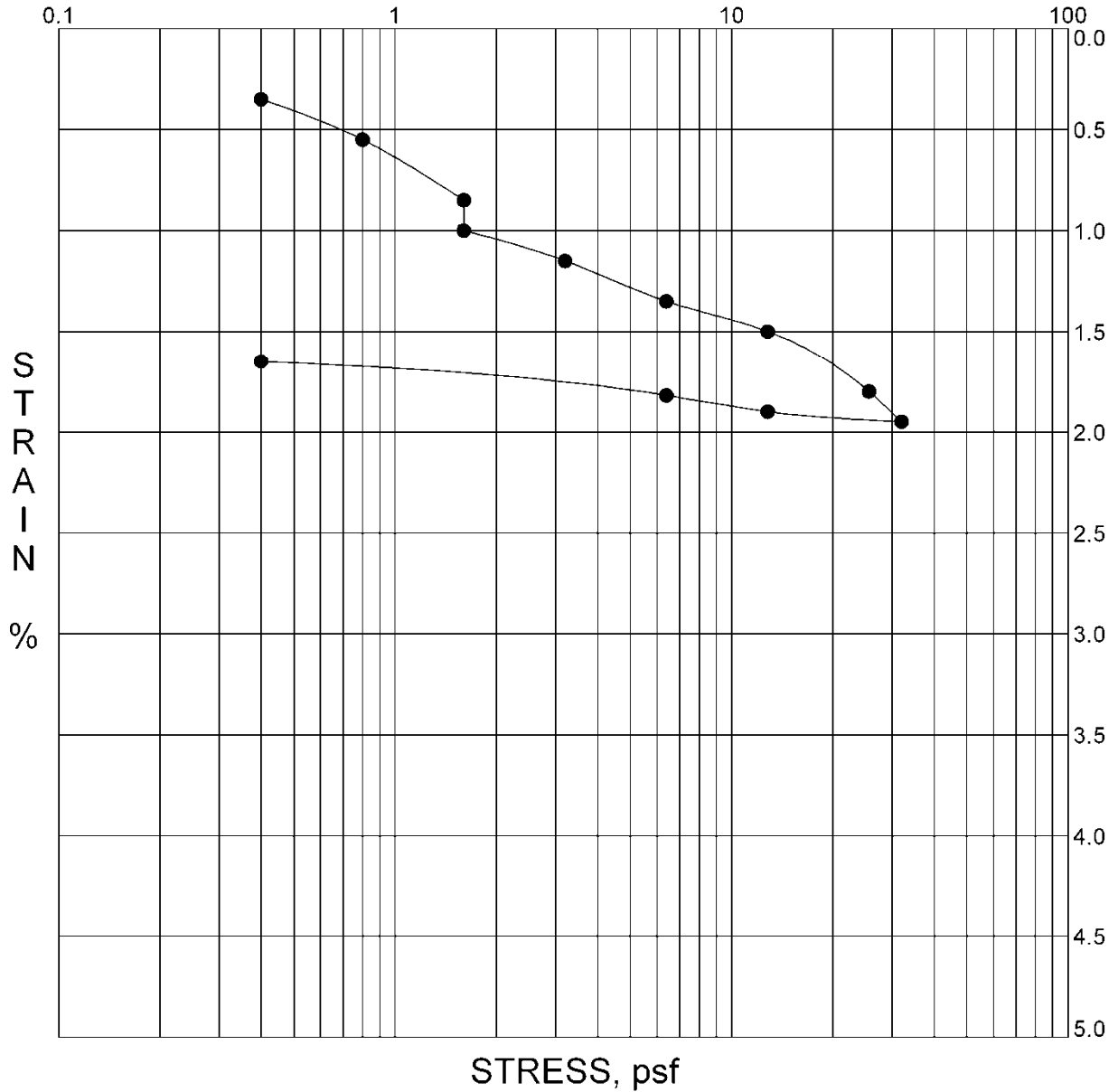
Figure C.27

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 45.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 5.7	Dry Density: 117.3	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

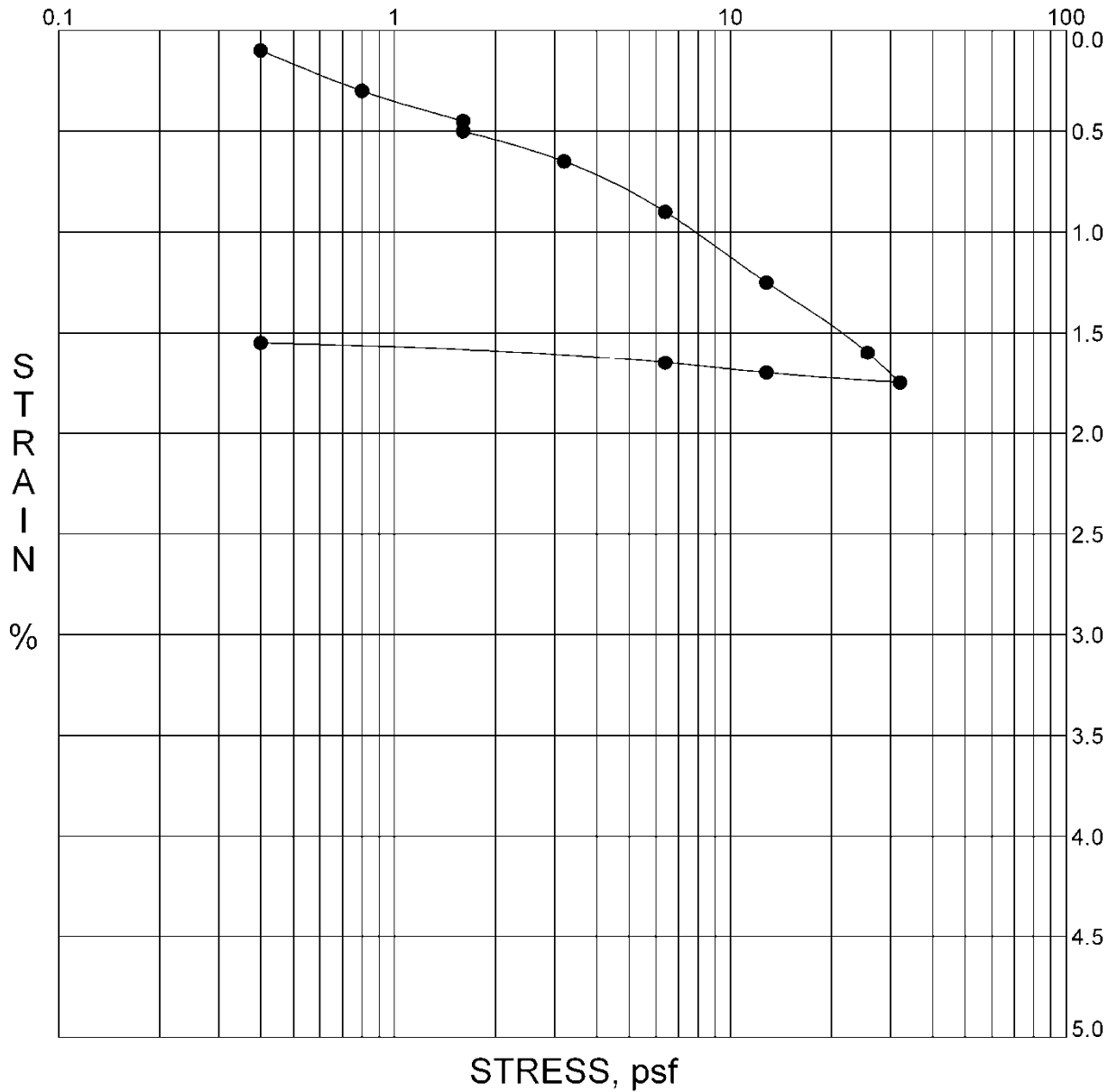
Figure C.28

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 55.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 12.3	Dry Density: 107.1	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

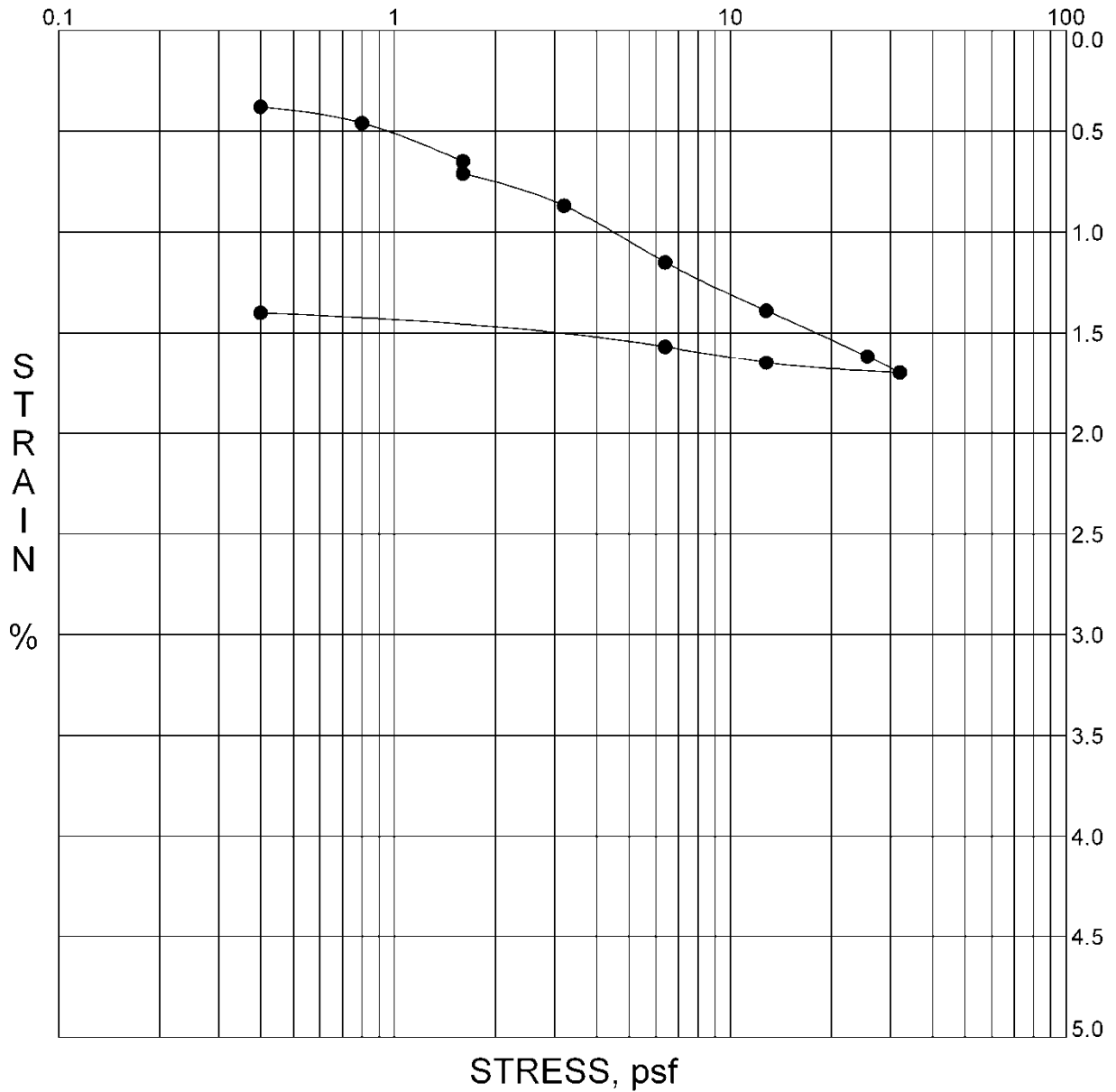
Figure C.29

PROJECT LOCATION: 1222 S. Hope Street

PROJECT NO.: 5076

SAMPLE LOCATION: B-4 @ 65.0

DESCRIPTION:



**Test Results**

Moisture Content (%)	Density (pcf)	Water Added At
In situ: 14.4	Dry Density: 113.7	1600 lbs.

**CONSOLIDATION TEST DIAGRAM**

Figure C.30



**APPENDIX III**

**ANALYSES**

Bearing Capacity

Lateral Design

Slope Stability

Seismic Evaluation

<b>BEARING CAPACITY ANALYSIS</b>		
CALCULATE THE ULTIMATE AND ALLOWABLE BEARING CAPACITIES OF THE BEARING MATERIAL LISTED BELOW USING HANSEN'S METHOD. (REFERENCE: J. BOWLES, <i>FOUNDATION ANALYSIS AND DESIGN</i> , 1988, p. 188-194).		
<b>CALCULATION PARAMETERS</b>		
EARTH MATERIAL: Qa		EMBEDMENT DEPTH: 2 feet
SHEAR DIAGRAM: 0		PAD LENGTH: 2 feet
COHESION: 50 psf		PAD WIDTH: 2 feet
PHI ANGLE: 35 degrees		SLOPE ANGLE: 0 degrees
DENSITY: 120 pcf		PAD INCLINATION: 0 degrees
SAFETY FACTOR: 4		
FOOTING TYPE: P Pad		
<b>CALCULATED RESULTS</b>		
HANSEN'S SHAPE, DEPTH, AND INCLINATION FACTORS		
Nq = 33.30	Dq = 1.25	Sy = 0.60
Nc = 46.12	Gc = 1.00	Dy = 1.00
Ny = 33.92	Bc = 1.00	ly = 1.00
Sc = 1.72	Iq = 1.00	Gy = 1.00
Sq = 1.70	Ic = 1.00	Gq = 1.00
Dc = 1.40	Bq = 1.00	By = 1.00
CALCULATED ULTIMATE BEARING CAPACITY (Qult)	25,047.9 pounds	
ALLOWABLE BEARING CAPACITY (Qa = Qult / fs)	6,262.0 pounds	
PERCENT INCREASE FOR EMBEDMENT DEPTH	33.6%	

<b>BEARING CAPACITY ANALYSIS</b>	
CALCULATE THE ULTIMATE AND ALLOWABLE BEARING CAPACITIES OF THE BEARING MATERIAL LISTED BELOW USING HANSEN'S METHOD. (REFERENCE: J. BOWLES, <i>FOUNDATION ANALYSIS AND DESIGN</i> , 1988, p. 188-194).	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	EMBEDMENT DEPTH: 2 feet
SHEAR DIAGRAM: 0	FOOTING LENGTH: 100 feet
COHESION: 50 psf	FOOTING WIDTH: 2 feet
PHI ANGLE: 35 degrees	SLOPE ANGLE: 0 degrees
DENSITY: 120 pcf	FOOTING INCLINATION: 0 degrees
SAFETY FACTOR: 4	
FOOTING TYPE: S Strip	
<b>CALCULATED RESULTS</b>	
HANSEN'S SHAPE, DEPTH, AND INCLINATION FACTORS	
Nq = 33.30	Dq = 1.25
Nc = 46.12	Gc = 1.00
Ny = 33.92	Bc = 1.00
Sc = 1.01	Iq = 1.00
Sq = 1.01	Ic = 1.00
Dc = 1.40	Bq = 1.00
	Sy = 0.99
	Dy = 1.00
	Iy = 1.00
	Gy = 1.00
	Gq = 1.00
	By = 1.00
CALCULATED ULTIMATE BEARING CAPACITY (Qult)	17,479.6 pounds
ALLOWABLE BEARING CAPACITY (Qa = Qult / fs)	4,369.9 pounds
PERCENT INCREASE FOR EMBEDMENT DEPTH	28.7%

<b>PASSIVE EARTH PRESSURE</b>			
USE RANKINE'S METHOD TO CALCULATE THE PASSIVE EARTH PRESSURE. USE THE PROCEDURE IN NAVFAC DM-7, 1982, (p 7.2-21, Figure 2).			
<b>CALCULATION PARAMETERS</b>			
EARTH MATERIAL: Qa		SAFETY FACTOR (fs):	1.5
SHEAR DIAGRAM: 0		INITIAL SEARCH DEPTH:	1
COHESION: 50 psf		FINAL SEARCH DEPTH:	10
PHI ANGLE: 35 degrees		LIMIT PASSIVE (Y OR N):	Y
DENSITY: 120 pcf		MAXIMUM PASSIVE:	100,000.0 pounds
		Cd (C/fs):	33.3 psf
		PhiD = atan(tan(phi)/fs) =	25.0 degrees
FOOTING DEPTH (feet)	TOTAL PASSIVE FORCE Pp (pounds)	PASSIVE EARTH PRESSURE AT DEPTH - SigmaP (psf)	INCREASE IN PASSIVE EARTH PRESSURE WITH EMBEDMENT DEPTH (psf/f)
1	252.7	400.6	400.6
2	801.3	696.6	295.9
3	1,645.8	992.5	295.9
4	2,786.3	1,288.4	295.9
5	4,222.7	1,584.4	295.9
6	5,955.0	1,880.3	295.9
7	7,983.3	2,176.2	295.9
8	10,307.5	2,472.2	295.9
9	12,927.7	2,768.1	295.9
10	15,843.7	3,064.1	295.9

<b>RETAINING WALL</b>	
<p>CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.</p>	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	WALL HEIGHT: 15 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY: 135 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1.5	FINAL FAILURE ANGLE: 70 degrees
WALL FRICTION: 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 33.3 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 25.0 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0 %g
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	58 degrees
AREA OF TRIAL FAILURE WEDGE	70.2 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	9475.2 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	17.0 feet
DEPTH OF TENSION CRACK	0.6 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	9.0 feet
<b>CALCULATED HORIZONTAL THRUST ON WALL</b>	<b>5536.2 pounds</b>
<b>CALCULATED EQUIVALENT FLUID PRESSURE</b>	<b>49.2 pcf</b>
<b>DESIGN EQUIVALENT FLUID PRESSURE</b>	<b>50.0 pcf</b>

<b>RETAINING WALL</b>	
CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL OKABE METHOD USED TO CALCULATE SEISMIC FORCES.	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	WALL HEIGHT: 15 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY: 135 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1	FINAL FAILURE ANGLE: 70 degrees
WALL FRICTION: 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 50.0 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 35.0 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0.29 %g
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	50 degrees
AREA OF TRIAL FAILURE WEDGE	94.2 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	12716.2 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	18.7 feet
DEPTH OF TENSION CRACK	0.7 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	12.0 feet
<b>CALCULATED HORIZONTAL THRUST ON WALL</b>	<b>6303.4 pounds</b>

**RETAINING WALL**

CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.

**CALCULATION PARAMETERS**

EARTH MATERIAL:	Qa	WALL HEIGHT	35 feet
SHEAR DIAGRAM:	0	BACKSLOPE ANGLE:	0 degrees
COHESION:	50 psf	SURCHARGE:	0 pounds
PHI ANGLE:	35 degrees	SURCHARGE TYPE:	U Uniform
DENSITY	135 pcf	INITIAL FAILURE ANGLE:	40 degrees
SAFETY FACTOR:	1.5	FINAL FAILURE ANGLE:	70 degrees
WALL FRICTION	0 degrees	INITIAL TENSION CRACK:	5 feet
CD (C/FS):	33.3 psf	FINAL TENSION CRACK:	40 feet
PHID = ATAN(TAN(PHI)/FS) =	25.0 degrees		
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0 %g		
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g		

**CALCULATED RESULTS**

CRITICAL FAILURE ANGLE	57 degrees
AREA OF TRIAL FAILURE WEDGE	397.4 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	53642.6 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	40.4 feet
DEPTH OF TENSION CRACK	1.1 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	22.0 feet
<b>CALCULATED HORIZONTAL THRUST ON WALL</b>	<b>32050.8 pounds</b>
<b>CALCULATED EQUIVALENT FLUID PRESSURE</b>	<b>52.3 pcf</b>
<b>DESIGN EQUIVALENT FLUID PRESSURE</b>	<b>53.0 pcf</b>

<b>RETAINING WALL</b>	
<p>CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL OKABE METHOD USED TO CALCULATE SEISMIC FORCES.</p>	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	WALL HEIGHT: 35 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY: 135 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1	FINAL FAILURE ANGLE: 70 degrees
WALL FRICTION: 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 50.0 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 35.0 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0.29 %g
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	49 degrees
AREA OF TRIAL FAILURE WEDGE	532.3 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	71865.1 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	45.7 feet
DEPTH OF TENSION CRACK	0.5 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	30.0 feet
<b>CALCULATED HORIZONTAL THRUST ON WALL</b>	<b>36828.6 pounds</b>



<b>RETAINING WALL</b>	
CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBE-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	WALL HEIGHT 45 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY 135 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1.5	FINAL FAILURE ANGLE: 70 degrees
WALL FRICTION 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 33.3 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 25.0 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> ) 0 %g	
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> ) 0 %g	
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	57 degrees
AREA OF TRIAL FAILURE WEDGE	657.5 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	88760.7 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	53.2 feet
DEPTH OF TENSION CRACK	0.3 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	29.0 feet
<b>CALCULATED HORIZONTAL THRUST ON WALL</b>	<b>53517.5 pounds</b>
<b>CALCULATED EQUIVALENT FLUID PRESSURE</b>	<b>52.9 pcf</b>
<b>DESIGN EQUIVALENT FLUID PRESSURE</b>	<b>53.0 pcf</b>

<b>RETAINING WALL</b>	
CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	WALL HEIGHT: 45 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY: 135 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1	FINAL FAILURE ANGLE: 70 degrees
WALL FRICTION: 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 50.0 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 35.0 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> ) 0.29 %g	
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> ) 0 %g	
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	49 degrees
AREA OF TRIAL FAILURE WEDGE	879.4 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	118723.6 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	57.9 feet
DEPTH OF TENSION CRACK	1.3 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	38.0 feet
<b>CALCULATED HORIZONTAL THRUST ON WALL</b>	<b>61586.0 pounds</b>

<b>SHORING PILE</b>	
CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	RETAINED LENGTH: 15 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY: 120 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1.25	FINAL FAILURE ANGLE: 70 degrees
PILE FRICTION: 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 40.0 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 29.3 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0 %g
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	60 degrees
AREA OF TRIAL FAILURE WEDGE	64.6 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	7748.9 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	16.0 feet
DEPTH OF TENSION CRACK	1.1 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	8.0 feet
<b>CALCULATED THRUST ON PILE</b>	<b>3959.3 pounds</b>
<b>CALCULATED EQUIVALENT FLUID PRESSURE</b>	<b>35.2 pcf</b>
<b>DESIGN EQUIVALENT FLUID PRESSURE</b>	<b>36.0 pcf</b>

<b>SHORING PILE</b>	
CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBE-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.	
<b>CALCULATION PARAMETERS</b>	
EARTH MATERIAL: Qa	RETAINED LENGTH: 35 feet
SHEAR DIAGRAM: 0	BACKSLOPE ANGLE: 0 degrees
COHESION: 50 psf	SURCHARGE: 0 pounds
PHI ANGLE: 35 degrees	SURCHARGE TYPE: U Uniform
DENSITY: 120 pcf	INITIAL FAILURE ANGLE: 40 degrees
SAFETY FACTOR: 1.25	FINAL FAILURE ANGLE: 70 degrees
PILE FRICTION: 0 degrees	INITIAL TENSION CRACK: 5 feet
CD (C/FS): 40.0 psf	FINAL TENSION CRACK: 40 feet
PHID = ATAN(TAN(PHI)/FS) = 29.3 degrees	
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0 %g
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g
<b>CALCULATED RESULTS</b>	
CRITICAL FAILURE ANGLE	59 degrees
AREA OF TRIAL FAILURE WEDGE	367.1 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	44057.3 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	38.8 feet
DEPTH OF TENSION CRACK	1.7 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	20.0 feet
<b>CALCULATED THRUST ON PILE</b>	<b>23613.8 pounds</b>
<b>CALCULATED EQUIVALENT FLUID PRESSURE</b>	<b>38.6 pcf</b>
<b>DESIGN EQUIVALENT FLUID PRESSURE</b>	<b>39.0 pcf</b>

**SHORING PILE**

CALCULATE THE DESIGN MINIMUM EQUIVALENT FLUID PRESSURE (EFP) FOR PROPOSED RETAINING WALLS. THE WALL HEIGHT AND BACKSLOPE AND SURCHARGE CONDITIONS ARE LISTED BELOW. ASSUME THE BACKFILL IS SATURATED WITH NO EXCESS HYDROSTATIC PRESSURE. THE MONONOBEL-OKABE METHOD USED TO CALCULATE SEISMIC FORCES.

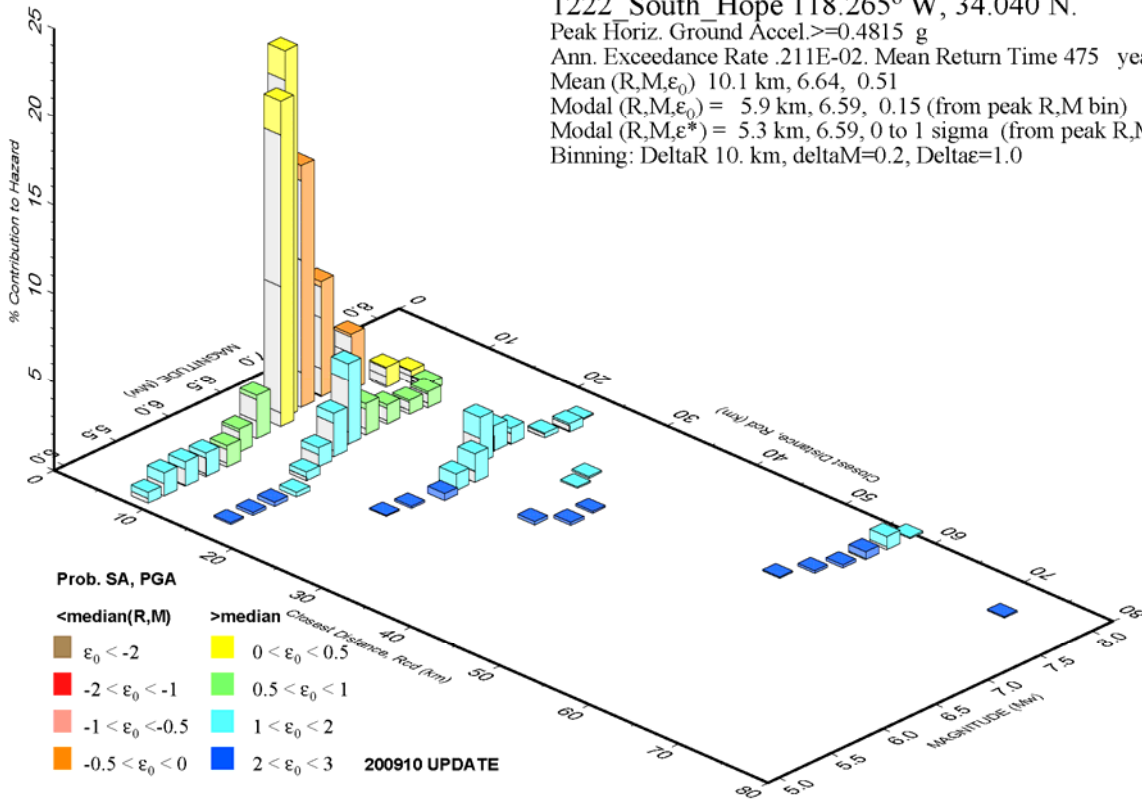
**CALCULATION PARAMETERS**

EARTH MATERIAL:	Qa	RETAINED LENGTH	45 feet
SHEAR DIAGRAM:	0	BACKSLOPE ANGLE:	0 degrees
COHESION:	50 psf	SURCHARGE:	0 pounds
PHI ANGLE:	35 degrees	SURCHARGE TYPE:	U Uniform
DENSITY	120 pcf	INITIAL FAILURE ANGLE:	40 degrees
SAFETY FACTOR:	1.25	FINAL FAILURE ANGLE:	70 degrees
PILE FRICTION	0 degrees	INITIAL TENSION CRACK:	5 feet
CD (C/FS):	40.0 psf	FINAL TENSION CRACK:	40 feet
PHID = ATAN(TAN(PHI)/FS) =	29.3 degrees		
HORIZONTAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>h</sub> )	0 %g		
VERTICAL PSEUDO STATIC SEISMIC COEFFICIENT (k <sub>v</sub> )	0 %g		

**CALCULATED RESULTS**

CRITICAL FAILURE ANGLE	60 degrees
AREA OF TRIAL FAILURE WEDGE	583.7 square feet
TOTAL EXTERNAL SURCHARGE	0.0 pounds
WEIGHT OF TRIAL FAILURE WEDGE	70048.1 pounds
NUMBER OF TRIAL WEDGES ANALYZED	1116 trials
LENGTH OF FAILURE PLANE	50.0 feet
DEPTH OF TENSION CRACK	1.7 feet
HORIZONTAL DISTANCE TO UPSLOPE TENSION CRACK	25.0 feet
<b>CALCULATED THRUST ON PILE</b>	<b>39634.0 pounds</b>
<b>CALCULATED EQUIVALENT FLUID PRESSURE</b>	<b>39.1 pcf</b>
<b>DESIGN EQUIVALENT FLUID PRESSURE</b>	<b>40.0 pcf</b>

PSH Deaggregation on NEHRP C soil  
 1222\_South\_Hope 118.265° W, 34.040 N.  
 Peak Horiz. Ground Accel.  $\geq 0.4815$  g  
 Ann. Exceedance Rate .211E-02. Mean Return Time 475 years  
 Mean (R,M, $\epsilon_0$ ) 10.1 km, 6.64, 0.51  
 Modal (R,M, $\epsilon_0$ ) = 5.9 km, 6.59, 0.15 (from peak R,M bin)  
 Modal (R,M, $\epsilon^*$ ) = 5.3 km, 6.59, 0 to 1 sigma (from peak R,M, $\epsilon$  bin)  
 Binning: DeltaR 10. km, deltaM=0.2, Delta $\epsilon$ =1.0



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 **Design Maps Detailed Report**

ASCE 7-10 Standard (34.04035°N, 118.26482°W)

Site Class C – “Very Dense Soil and Soft Rock”, Risk Category I/II/III

Section 11.4.1 — Mapped Acceleration Parameters

Note: Ground motion values provided below are for the direction of maximum horizontal spectral response acceleration. They have been converted from corresponding geometric mean ground motions computed by the USGS by applying factors of 1.1 (to obtain  $S_g$ ) and 1.3 (to obtain  $S_1$ ). Maps in the 2010 ASCE-7 Standard are provided for Site Class B. Adjustments for other Site Classes are made, as needed, in Section 11.4.3.

From [Figure 22-1](#) <sup>[1]</sup>  $S_g = 2.285 \text{ g}$

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From [Figure 22-2](#) <sup>[2]</sup>  $S_1 = 0.804 \text{ g}$

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Section 11.4.2 — Site Class

The authority having jurisdiction (not the USGS), site-specific geotechnical data, and/or the default has classified the site as Site Class C, based on the site soil properties in accordance with Chapter 20.

Table 20.3-1 Site Classification

Site Class	$\bar{v}_s$	$\bar{N}$ or $\bar{N}_{ch}$	$\bar{s}_u$
A. Hard Rock	>5,000 ft/s	N/A	N/A
B. Rock	2,500 to 5,000 ft/s	N/A	N/A
C. Very dense soil and soft rock	1,200 to 2,500 ft/s	>50	>2,000 psf
D. Stiff Soil	600 to 1,200 ft/s	15 to 50	1,000 to 2,000 psf
E. Soft clay soil	<600 ft/s	<15	<1,000 psf
Any profile with more than 10 ft of soil having the characteristics:			
<ul style="list-style-type: none"> <li>■ Plasticity index <math>PI &gt; 20</math>,</li> <li>■ Moisture content <math>w \geq 40\%</math>, and</li> <li>■ Undrained shear strength <math>\bar{s}_u &lt; 500 \text{ psf}</math></li> </ul>			
F. Soils requiring site response analysis in accordance with Section 21.1	See Section 20.3.1		

For SI: 1ft/s = 0.3048 m/s 1lb/ft<sup>2</sup> = 0.0479 kN/m<sup>2</sup>



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Section 11.4.3 — Site Coefficients and Risk-Targeted Maximum Considered Earthquake (MCE<sub>R</sub>) Spectral Response Acceleration Parameters

Table 11.4-1: Site Coefficient F<sub>a</sub>

Site Class	Mapped MCE <sub>R</sub> Spectral Response Acceleration Parameter at Short Period				
	S <sub>s</sub> ≤ 0.25	S <sub>s</sub> = 0.50	S <sub>s</sub> = 0.75	S <sub>s</sub> = 1.00	S <sub>s</sub> ≥ 1.25
A	0.8	0.8	0.8	0.8	0.8
B	1.0	1.0	1.0	1.0	1.0
C	1.2	1.2	1.1	1.0	1.0
D	1.6	1.4	1.2	1.1	1.0
E	2.5	1.7	1.2	0.9	0.9
F	See Section 11.4.7 of ASCE 7				

Note: Use straight-line interpolation for intermediate values of S<sub>s</sub>

**For Site Class = C and S<sub>s</sub> = 2.285 g, F<sub>a</sub> = 1.000**

Table 11.4-2: Site Coefficient F<sub>v</sub>

Site Class	Mapped MCE <sub>R</sub> Spectral Response Acceleration Parameter at 1-s Period				
	S <sub>1</sub> ≤ 0.10	S <sub>1</sub> = 0.20	S <sub>1</sub> = 0.30	S <sub>1</sub> = 0.40	S <sub>1</sub> ≥ 0.50
A	0.8	0.8	0.8	0.8	0.8
B	1.0	1.0	1.0	1.0	1.0
C	1.7	1.6	1.5	1.4	1.3
D	2.4	2.0	1.8	1.6	1.5
E	3.5	3.2	2.8	2.4	2.4
F	See Section 11.4.7 of ASCE 7				

Note: Use straight-line interpolation for intermediate values of S<sub>1</sub>

**For Site Class = C and S<sub>1</sub> = 0.804 g, F<sub>v</sub> = 1.300**



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Equation (11.4-1):  $S_{MS} = F_a S_s = 1.000 \times 2.285 = 2.285 \text{ g}$

---

Equation (11.4-2):  $S_{M1} = F_v S_1 = 1.300 \times 0.804 = 1.045 \text{ g}$

---

Section 11.4.4 — Design Spectral Acceleration Parameters

Equation (11.4-3):  $S_{DS} = \frac{2}{3} S_{MS} = \frac{2}{3} \times 2.285 = 1.523 \text{ g}$

---

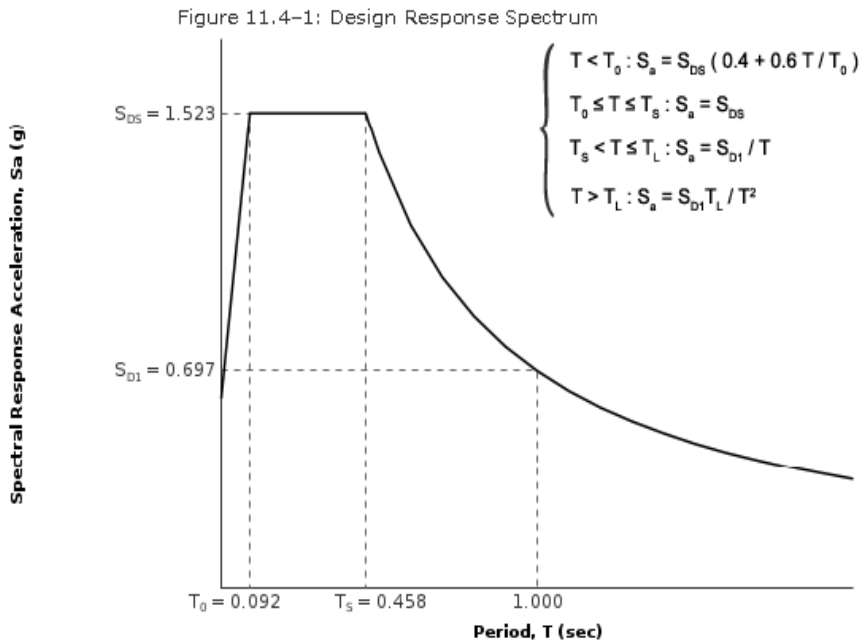
Equation (11.4-4):  $S_{D1} = \frac{2}{3} S_{M1} = \frac{2}{3} \times 1.045 = 0.697 \text{ g}$

---

Section 11.4.5 — Design Response Spectrum

From [Figure 22-12](#) <sup>[3]</sup>

$T_L = 8 \text{ seconds}$

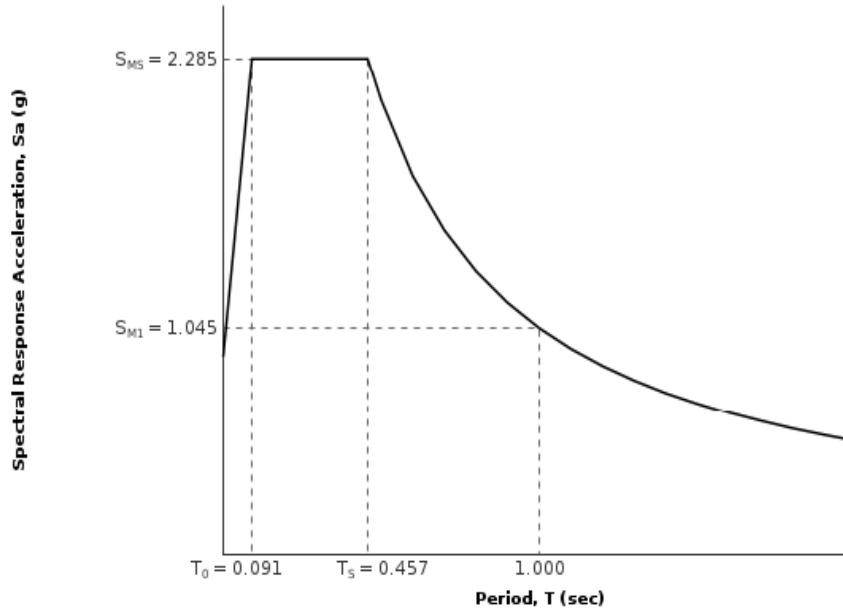


3/18/2016

Design Maps Detailed Report

### Section 11.4.6 — Risk-Targeted Maximum Considered Earthquake (MCE<sub>R</sub>) Response Spectrum

The MCE<sub>R</sub> Response Spectrum is determined by multiplying the design response spectrum above by 1.5.



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Design Maps Detailed Report

Section 11.8.3 — Additional Geotechnical Investigation Report Requirements for Seismic Design Categories D through F

From [Figure 22-7](#) <sup>[4]</sup>

$$PGA = 0.852$$

Equation (11.8-1):

$$PGA_M = F_{PGA}PGA = 1.000 \times 0.852 = 0.852 \text{ g}$$

Table 11.8-1: Site Coefficient  $F_{PGA}$

Site Class	Mapped MCE Geometric Mean Peak Ground Acceleration, PGA				
	PGA ≤ 0.10	PGA = 0.20	PGA = 0.30	PGA = 0.40	PGA ≥ 0.50
A	0.8	0.8	0.8	0.8	0.8
B	1.0	1.0	1.0	1.0	1.0
C	1.2	1.2	1.1	1.0	1.0
D	1.6	1.4	1.2	1.1	1.0
E	2.5	1.7	1.2	0.9	0.9
F	See Section 11.4.7 of ASCE 7				

Note: Use straight-line interpolation for intermediate values of PGA

**For Site Class = C and PGA = 0.852 g,  $F_{PGA} = 1.000$**

Section 21.2.1.1 — Method 1 (from Chapter 21 – Site-Specific Ground Motion Procedures for Seismic Design)

From [Figure 22-17](#) <sup>[5]</sup>

$$C_{RS} = 0.957$$

From [Figure 22-18](#) <sup>[6]</sup>

$$C_{R1} = 0.973$$

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Section 11.6 — Seismic Design Category

Table 11.6-1 Seismic Design Category Based on Short Period Response Acceleration Parameter

VALUE OF $S_{DS}$	RISK CATEGORY		
	I or II	III	IV
$S_{DS} < 0.167g$	A	A	A
$0.167g \leq S_{DS} < 0.33g$	B	B	C
$0.33g \leq S_{DS} < 0.50g$	C	C	D
$0.50g \leq S_{DS}$	D	D	D

For Risk Category = I and  $S_{DS} = 1.523 g$ , Seismic Design Category = D

Table 11.6-2 Seismic Design Category Based on 1-S Period Response Acceleration Parameter

VALUE OF $S_{D1}$	RISK CATEGORY		
	I or II	III	IV
$S_{D1} < 0.067g$	A	A	A
$0.067g \leq S_{D1} < 0.133g$	B	B	C
$0.133g \leq S_{D1} < 0.20g$	C	C	D
$0.20g \leq S_{D1}$	D	D	D

For Risk Category = I and  $S_{D1} = 0.697 g$ , Seismic Design Category = D

Note: When  $S_i$  is greater than or equal to 0.75g, the Seismic Design Category is **E** for buildings in Risk Categories I, II, and III, and **F** for those in Risk Category IV, irrespective of the above.

Seismic Design Category  $\equiv$  "the more severe design category in accordance with Table 11.6-1 or 11.6-2" = E

Note: See Section 11.6 for alternative approaches to calculating Seismic Design Category.

References

1. Figure 22-1: [http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-1.pdf](http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-1.pdf)
2. Figure 22-2: [http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-2.pdf](http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-2.pdf)
3. Figure 22-12: [http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-12.pdf](http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-12.pdf)
4. Figure 22-7: [http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-7.pdf](http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-7.pdf)
5. Figure 22-17: [http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-17.pdf](http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-17.pdf)
6. Figure 22-18: [http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010\\_ASCE-7\\_Figure\\_22-18.pdf](http://earthquake.usgs.gov/hazards/designmaps/downloads/pdfs/2010_ASCE-7_Figure_22-18.pdf)

## **APPENDIX IV**

### **REFERENCES**

1. Abramson, Lee W., et. al., Slope Stability and Stabilization Methods (Wiley & Sons, New York: 1996).
2. Bowles, Joseph, E., Foundation Analysis and Design (McGraw-Hill, New York: 1988).
3. California Department of Conservation, Division of Mines and Geology, 1998, Maps of Known Active Fault Near-Source Zones in California and Adjacent Portions of Nevada.
4. Lamar, D. L., 1991, Geology of the Elysian Park-Repetto Hills Area, Los Angeles County California: California Division of mines and geology, Special Report 101.
5. Hoots, H. W., 1930, Geology of the eastern part of the Santa Monica Mountains, Los Angeles County, California: U. S. Geological Survey, Professional Paper 165-C.
6. Monahan, Edward J., PE, Construction of and on Compacted Fills (Wiley & Sons, New York: 1986).
7. Naval Facilities Engineering Command Foundations and Earth Structures - Design Manual 7.02 (Naval Publications and Forms Center, Philadelphia: 1986).
8. Northridge Earthquake January 17, 1994, preliminary reconnaissance report: Earthquake Engineering Research Institute, March 1994.
9. Poulos, H. G., and Davis, E. H., Pile Foundation Analysis and Design (Wiley & Sons, New York: 1980).
10. Taylor, Donald W., Fundamentals of Soil Mechanics (Wiley & Sons, New York: 1948).
11. Terzaghi, Karl, Peck, Ralph B., Mesri, Gholamreza, Soil Mechanics in Engineering Practice (Wiley & Sons, New York: 1996).

# **APPENDIX C**

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## **Methane Investigation**

January 8, 2019  
Job # J3662

To: Sheppard Mullin  
333 South Hope Street, 43<sup>rd</sup> Floor,  
Los Angeles, CA – 90071-1422

Attn: Mr. Cody T. Sargent

Tel: 213-620-1780  
Direct: 213-617-4246  
Email: [csargeant@sheppardmullin.com](mailto:csargeant@sheppardmullin.com)

Subj: Site Methane Investigation Report for a new mixed residential hotel  
building to be built with 3 levels of subterranean parking, at:

1220-1246 S. Hope St. & 427-435 W. Pico Bl., Los Angeles, CA – 90015



**METHANE**  
SPECIALISTS

621 Via Alondra  
Suite 610  
Camarillo, California 93012

TEL: 805.987.5356  
FAX: 805.987.3968

[methanespecialists.com](http://methanespecialists.com)

Methane Specialists is pleased to submit this report with the results of our subsurface methane investigation for the project mentioned above. The purpose of the investigation was to measure subsurface soil gas concentrations and pressures of methane at the subject site to determine site-specific methane mitigation requirements prescribed by the City of Los Angeles Department of Building and Safety (Division 71 of the Los Angeles Building Code). This investigation was conducted in accordance with our proposal dated November 15, 2018.

#### Project Information

The Project Site is on an approximately 56,325 square-foot parcel (1.29 acre), in the City of Los Angeles. This Project proposes the construction of a new mixed residential hotel building to be built with 3 levels of subterranean parking. Refusal was met in boring down to a minimum of approximately 21 feet, below surface grade (bsg), at all three deep probesets (DP-1, DP-2 and DP-3). Similarly, actual ground water was not met while drilling down to below a depth of at least 21 feet, bsg, at all three deep probesets. A geotechnical report was not provided to us before the writing of this report. However, nearby projects report the historical groundwater to be greater than 100 feet, bsg, in this vicinity. Therefore, the historical groundwater level is taken to be approximately greater than 100 feet, bsg. This would be approximately greater than 60 feet, below where an impermeable membrane could be required to be installed under the lowest floor slab, at approximately 40 (zero) feet, bsg.

The site is within an area which the City of Los Angeles designates as a Methane Zone (Source: ZIMAS Parcel Profile Report (enclosed)).

## City of Los Angeles Methane Requirements

Requirements for control of methane intrusion in the City of Los Angeles are specified in Division 71 of Article 1, Chapter IX of the Los Angeles Municipal Code (“Division 71”). Since the project is within the Methane Zone, the Los Angeles Department of Building and Safety (LADBS) has the authority to withhold permits for construction unless detailed plans for adequate protection against methane intrusion are submitted, if testing leads to methane mitigation being required.

The level of methane protection required depends upon the “design methane concentration,” which is defined in Division 71 as “the highest concentration of methane gas found during site testing.” Site testing is required to determine the design concentration, unless the developer accepts the most stringent methane mitigation requirements (“Level V”). If site testing is performed (e.g., to document that a lower level of mitigation is justified), then it must follow a protocol published by the Department of Building and Safety, “Site Testing Standards for Methane” (P/BC 2002-101, November 30, 2004).

P/BC 2002-101 prescribes a three-step process for methane evaluation:

- (1) Scheduling site testing either before or 30 days after any site grading;
- (2) Conducting shallow soil gas tests (not less than 4 feet, bsg); and
- (3) Installing and using multiple-depth gas probe sets where the highest concentrations of soil gases are expected to be found

For the first step, site testing was scheduled for January 7, and 8, 2019. Methane Specialists also notified Underground Service Alert of Southern California to mark the site for underground utilities, and the utilities were subsequently marked and cleared.

For the second step, P/BC 2002-101 requires one shallow sampling location for every 10,000 square feet, or portion thereof, of site area, with a minimum of two shallow soil gas probe locations. Since the parcel area is approximately 56,325 square feet, six (6) shallow sampling locations were required.

The third step in the City’s methane evaluation process is to collect a minimum of two samples at multiple depths, and at least one multiple-depth probeset per every 20,000 square feet, or portion thereof. Thus, the minimum of three (3) multiple-depth deep gas probe sets were also required.

### Shallow Soil Gas Probe Testing

City Guidelines require that one shallow-depth probe be installed for every 10,000 square feet of site area where the highest concentration of soil gas is most likely to be found, with a minimum of two shallow gas probes, regardless of the total area of the site. Since the total square footage of the parcel is approximately 56,325 square feet, Methane Specialists installed the required minimum of six (6) shallow methane probes at a depth of 4 feet bsg (see Probe Location Map).



The six shallow gas probes (SP-1 through SP-3) were drilled and installed, starting on January 7, 2019. Methane Specialists used a direct-push drill rig to hydraulically drive a 1.50-inch rod into the ground to a depth of approximately 4 feet, bsg. A ¼” polyethylene probe was then inserted into the boreholes. Approximately six inches of sand was placed in the boreholes, above and below the probe, to provide a sampling area. Bentonite was then added to the top of each of the boreholes. A hydrated bentonite plug was then placed above the bentonite, in each borehole, to form a seal. Methane Specialists recorded all the readings. (see attached Probe Detail)

Shallow probe site testing was conducted on January 7, and 8, 2019.

### Multiple-Depth Gas Probe Set Testing

City Guidelines also require that one multiple-depth deep probe set be installed for every 20,000 square feet of site area where the highest concentration of soil gas is most likely to be found, with a minimum of two multiple-depth deep gas probe sets, regardless of the total area of the site. Since the total area of the site is approximately 56,325 square feet, Methane Specialists drilled and installed the required three (3) multiple-depth deep probesets (DP-1, through DP-3), also starting on January 7, 2019.

The multiple-depth deep probes were also installed using direct-push drilling equipment in the same manner as were the shallow gas probes. The deep probes were installed as triple-well clusters, down to greater than 21 feet, bsg, for each DP-1, DP-2 and DP-3. Refusal was met at least 21 feet, bsg, of DP-1, DP-2 and DP-3. The ground water level was not encountered down to a depth greater than approximately 21 feet, bsg, at each deep probeset. In all cases, at each probe depth, approximately twelve inches of sand was placed in the borehole around each of the probes. Each sand layer, of each probe, was separated by a layer of bentonite, between the sampling elevations. A hydrated, bentonite, plug was then placed onto the top of each borehole to form a seal.

Multiple-depth probe site testing was similarly conducted on January 7, and 8, 2019.

### Sampling and Analysis

For field data sampling and analysis, Methane Specialists measured these probes for methane with a RKI Eagle portable, gas-sampling meter. The lower limit for reporting methane levels with the RKI Eagle is 500 ppmv (parts per million by volume).

The RKI Eagle was calibrated against standard calibrant samples by trained Methane Specialists staff members.

The probe pressures were all measured with a Dwyer Magnehelic Differential Pressure Gauge with a minimum scale division of 0.1 inch of water (H<sub>2</sub>O).

## Results of Shallow Gas Probe and Multiple-Depth Gas Probe Analysis

The attached Form 1 shows the results of the analysis of both the shallow, and the multiple, depth deep probe sets.

## Recommendations

In summary, for this project located in the Methane Zone, no detectable reading of methane was recorded while testing at this site. However, as per Table 1A (enclosed), this project falls under Design Level II, with less than 2 inches of water-column gas-pressure. In accordance with said Methane Code Table 1A, this project requires only a passive methane mitigation system.

## Disclaimer

All discussion in this report is based on information provided by the client, as well as data and conditions, as they existed at the time and date of testing at the site. Should any detail, or condition, change from that original information, then, re-consideration of the conclusions in this report could become justified. Methane Specialists cannot be held accountable for the consequences of relevant information which was not previously provided. Nor can Methane Specialists be held accountable for the consequences of changes in the project scope, or of project site conditions.

This report has been prepared for the sole use of the client, exclusively, for the completion of the subject project, alone. No other application, or interpretation, of this report is to be granted, or implied, or otherwise made, without first obtaining direct, written permission, exclusively from Methane Specialists.

Respectfully,  
Methane Specialists



Kirby N. Arriola, P.E. (C-31416)

# INDEX OF ENCLOSURES

PARCEL PROFILE REPORT

METHANE PROBE LOCATION MAP

TYPICAL METHANE PROBE SET DETAIL

FORM 1, PART 2 – TEST DATA

TABLE 1 –MITIGATION REQUIREMENTS

FORM 1, PART 1 – CERTIFIED RESULTS



# City of Los Angeles Department of City Planning

## 11/14/2018 PARCEL PROFILE REPORT

**PROPERTY ADDRESSES**

1220 S HOPE ST

**ZIP CODES**

90015

**RECENT ACTIVITY**

ZA-2018-2293-MCUP-CUX-DD-SPR

**CASE NUMBERS**

CPC-2017-432-CPU-CA

CPC-2010-213-CA

CPC-2008-4502-GPA

CPC-2008-4502-GPA

CPC-2005-361-CA

CPC-2005-1124-CA

CPC-2005-1122-CA

CPC-1994-225-CPU-ZC

CPC-1986-606-GPC

CPC-17168

ORD-164307-SA3030

ORD-137036

ORD-135901

ORD-129944

ORD-128690

ZA-2018-2293-MCUP-CUX-ZV-DD-SPR

VTT-82183

ENV-2018-2294-EIR

ENV-2017-433-EIR

ENV-2013-3392-CE

ENV-2010-214-ND

ENV-2008-4505-ND

ENV-2008-4505-ND

ENV-2005-362-CE

ENV-2005-1125-CE

ENV-2005-1123-CE

ENV-1998-107-MND

**Address/Legal Information**

PIN Number	126A207 108
Lot/Parcel Area (Calculated)	9,355.3 (sq ft)
Thomas Brothers Grid	PAGE 634 - GRID D5
Assessor Parcel No. (APN)	5139022003
Tract	TR 17683
Map Reference	M B 429-47/48
Block	None
Lot	3
Arb (Lot Cut Reference)	None
Map Sheet	126A207

**Jurisdictional Information**

Community Plan Area	Central City
Area Planning Commission	Central
Neighborhood Council	Downtown Los Angeles
Council District	CD 14 - José Huizar
Census Tract #	2079.00
LADBS District Office	Los Angeles Metro

**Planning and Zoning Information**

Special Notes	None
Zoning	[Q]R5-4D-O
Zoning Information (ZI)	ZI-2385 Greater Downtown Housing Incentive Area ZI-2452 Transit Priority Area in the City of Los Angeles ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE
General Plan Land Use	High Density Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Areas
Affordable Housing Linkage Fee	

Residential Market Area	Medium-High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 4
CRA - Community Redevelopment Agency	City Center Redevelopment Project
Central City Parking	Yes
Downtown Parking	Yes
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

#### Assessor Information

Assessor Parcel No. (APN)	5139022003
APN Area (Co. Public Works)*	0.215 (ac)
Use Code	3100 - Industrial - Light Manufacturing - One Story
Assessed Land Val.	\$6,055,128
Assessed Improvement Val.	\$31,212
Last Owner Change	12/30/2016
Last Sale Amount	\$20,500,205
Tax Rate Area	13264
Deed Ref No. (City Clerk)	1668306
	1437283
	1172718

#### Building 1

Year Built	1918
Building Class	C5A
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	9,300.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

#### Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	Yes
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None

#### Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	Within Fault Zone
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse

Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

#### **Economic Development Areas**

Business Improvement District	GREATER SOUTH PARK
Opportunity Zone	No
Promise Zone	South Los Angeles Transit Empowerment Zone
Renewal Community	Los Angeles
Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
Targeted Neighborhood Initiative	None

#### **Housing**

Direct all Inquiries to	Housing+Community Investment Department
Telephone	(866) 557-7368
Website	<a href="http://hcidia.lacity.org">http://hcidia.lacity.org</a>
Rent Stabilization Ordinance (RSO)	No
Ellis Act Property	No

#### **Public Safety**

Police Information	
Bureau	Central
Division / Station	Central
Reporting District	182
Fire Information	
Bureau	Central
Batallion	1
District / Fire Station	10
Red Flag Restricted Parking	No

SEARCH NO

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 2016051702003002-23

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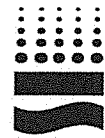
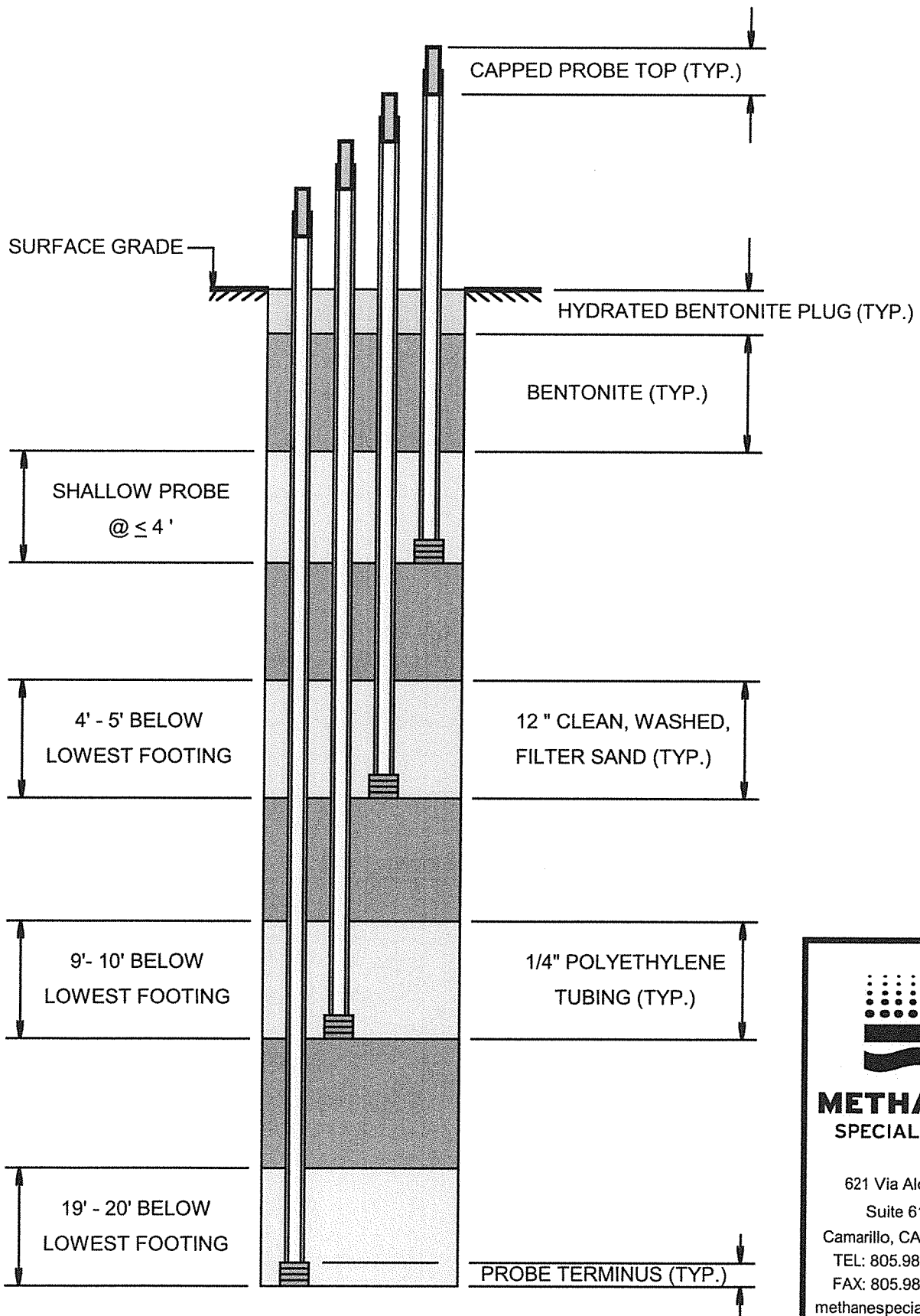
# J3662: 1220-1246 S. HOPE STREET & 427-435 W. PICO BLVD., LOS ANGELES, CA - 90015



2017



MAPPING AND GIS  
 SERVICES  
 SCALE 1" = 80'



**METHANE  
SPECIALISTS**

621 Via Alondra  
Suite 610  
Camarillo, CA - 93012  
TEL: 805.987.5356  
FAX: 805.987.3968  
methanespecialists.com

**TEMPORARY MULTI-STAGE GAS MONITORING PROBES FOR METHANE**



FORM 1 ( CONTINUED ) - CERTIFICATE OF COMPLIANCE FOR METHANE TEST DATA

P/BC 2002-101

Part 2: Test Data - Shallow Soil Gas Test and Gas Probe Test

Site Address: 1220-1246 S. Hope St. & 427-433 W. Pico Blvd., Los Angeles, CA - 90015 Job # 3662

Description of Gas Analysis Instrument(s):

Instrument Name and Model: RKI Eagle Instrument Accuracy: 500 ppm/v.

City of Los Angeles Testing License #: 10202 Page 1 of 1

Date	Time	Probe Set #	Stabilized CH4 Concentration (ppm/v)	Pressure (inches of water-column)	Probe Depth (feet)	Descriptions / Comments: <i>no perched water was met</i> <i>- Refusal was met as noted below</i> <i>- Groundwater was not met as noted below</i>
01/07/2019	02:20	SP-1	< 500	< 0.1	4	
"	02:15	DP-1	< 500	< 0.1	5	
"	02:10	DP-1	< 500	< 0.1	10	
"	02:05	DP-1	< 500	< 0.1	21	<i>(Refusal was met, and groundwater level was not met)</i>
"	02:45	SP-2	< 500	< 0.1	4	
"	02:40	DP-2	< 500	< 0.1	5	
"	02:35	DP-2	< 500	< 0.1	10	
"	02:30	DP-2	< 500	< 0.1	26	<i>(Refusal was met, and groundwater level was not met)</i>
"	03:05	SP-3	< 500	< 0.1	4	
"	03:00	DP-3	< 500	< 0.1	5	
"	02:55	DP-3	< 500	< 0.1	10	
"	02:50	DP-3	< 500	< 0.1	24	<i>(Refusal was met, and groundwater level was not met)</i>
"	02:45	SP-4	< 500	< 0.1	4	
"	02:45	SP-5	< 500	< 0.1	4	
"	02:45	SP-6	< 500	< 0.1	4	
01/08/2019	5:15	SP-1	< 500	< 0.1	4	
"	5:10	SP-1	< 500	< 0.1	5	
"	5:05	DP-1	< 500	< 0.1	10	
"	5:00	DP-1	< 500	< 0.1	21	<i>&lt;= Maximum Stabilized CH4 Reading</i>
"	5:35	SP-2	< 500	< 0.1	4	
"	5:30	DP-2	< 500	< 0.1	5	
"	5:25	DP-2	< 500	< 0.1	10	
"	5:20	DP-2	< 500	< 0.1	26	
"	5:55	SP-3	< 500	< 0.1	4	
"	5:50	DP-3	< 500	< 0.1	5	
"	5:45	DP-3	< 500	< 0.1	10	
"	5:40	DP-3	< 500	< 0.1	24	
"	6:00	SP-4	< 500	< 0.1	4	
"	6:05	SP-5	< 500	< 0.1	4	
"	6:10	SP-6	< 500	< 0.1	4	

INSTRUMENTATION CALIBRATION RECORD:

WATER ENCOUNTERED: (Y) (N) DEPTH: ( see above )

DATE: 01/07/2019 TIME: 7:30 A.M. INIT: RC REFUSAL: (Y) (N) DEPTH: ( see above )

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ INIT: \_\_\_\_\_ COMMENTS: "< 500 ppmv" <=> "Non-Detect" <=> "ND"

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ INIT: \_\_\_\_\_ TESTER: Ramon Camacho

## TABLE 1A - MITIGATION REQUIREMENTS FOR METHANE ZONE

SITE DESIGN LEVEL		LEVEL I		LEVEL II		LEVEL III		LEVEL IV		LEVEL V	
DESIGN METHANE CONCENTRATION (ppm/v)		0 - 100		101 - 1,000		1,001 - 5,000		5,001 - 12,500		>12,500	
DESIGN METHANE PRESSURE (inches of water column)		≤2"	>2"	≤2"		>2"		≤2"	>2"	ALL PRESSURES	
PASSIVE SYSTEM	DE-WATERING SYSTEM *		X*	X*	X*		X*	X*	X*	X*	
	SUB-SLAB VENT SYSTEM	PERFORATED HORIZONTAL PIPES	X	X	X		X	X	X	X	X
		GRAVEL BLANKET UNDER MEMBRANE	2"	2"	2"		3"	2"	3"	2"	4"
		GRAVEL THICKNESS SURROUNDING PIPES	2"	2"	2"		3"	2"	3"	2"	4"
		VENT RISERS +	X+	X+	X+		X+	X+	X+	X+	X+
	IMPERVIOUS MEMBRANE		X	X	X		X	X	X	X	X
ACTIVE SYSTEM	SUB-SLAB VENT SYSTEM	MECHANICAL EXTRACTION SYSTEM +								X+	
	LOWEST OCCUPIED SPACE SYSTEM	GAS DETECTION SYSTEM					X	X	X	X	X
		MECHANICAL VENTILATION SYSTEM			X		X	X	X	X	X
		ALARM SYSTEM			X		X	X	X	X	X
	CONTROL PANEL			X		X	X	X	X	X	X
MISC. SYSTEM	TRENCH DAM		X	X	X		X	X	X	X	
	CONDUIT OR CABLE SEAL FITTINGS		X	X	X		X	X	X	X	
	ADDITIONAL VENT RISERS +									X+	


- X** ⇒ Required, as per the Methane Code of the City of Los Angeles.
- \*** ⇒ De-Watering not required when the maximum historical high groundwater table elevation, or projected post-construction groundwater level, is more than twelve inches below the bottom of the perforated horizontal pipes.
- +** ⇒ Vent risers maximum spacing shall be less than, or equal to, 100 Linear Feet, measured between vent risers.

**FORM 1 - CERTIFICATE OF COMPLIANCE FOR METHANE TEST DATA**

P/BC 2002-101

Part 1: Certification Sheet

Site Address: 1220-1246 S. Hope St. & 427-435 W. Pico Blvd., Los Angeles, CA - 90015 Job No. 3662  
 Legal Description: Tract: 17683 Lot(s): 3 through 7 Block: ( un-numbered )  
 Building Use: new "mixed residential hotel building" to be built with "3 levels of subterranean parking"

Name of Architect, Engineer, or Geologist: <b>Kirby N. Arriola, P.E.</b>	Architect's, Engineer's or Geologist's Stamp  
Mailing Address: <b>Methane Specialists 621 Via Alondra, # 610 Camarillo, CA - 93012</b>	
Telephone: <b>(805) 987-5356</b>	
Name of Testing Laboratory: <b>Methane Specialists</b>	
City Test Lab License #: <b>10202</b>	
Telephone: <b>(805) 987-5356</b>	

I hereby certify that I have tested the above site for the purposes of methane mitigation and that all procedures were conducted by a City of Los Angeles licensed testing agency in conformity with the requirements of the LADBS Information Bulletin P/BC 2002-101. Where the inspection and testing of all or part of the work above is delegated, full responsibility shall be assumed by the architect, engineer or geologist whose signature is affixed hereon.

Signed: *Kirby N. Arriola* Date: 8 Jan 2019

**Required Data:** lowest Floor level is ~40' below surface grade (bsg) > 60' above est. **Hist. Ground Water >100', bsg**

- \* Project is in the (**Methane Zone**) or (~~Methane Buffer Zone~~). (lowest depth drilled is > 21' bsg)
- \* Depth of Groundwater observed during testing: > 21' below the Impervious Membrane (at > 21' below surface)
- \* Depth of Historical High Ground Water Table Elevation\*: > 60' below the Impervious Membrane (at > 40' bsg)
- \* Design Methane Concentration\*\*: < 500 parts per million in volume (ppm/v). (i.e.: < 1% LEL)
- \* Design Methane Pressure Value\*\*\*: < 2.0 inches of water column.
- \* Site Design Level: (Level I, Level II, Level III, Level IV, Level V) with < 2.0 inches of water column

**Dewatering:**

- \* Dewatering (is) (**is not**) required for methane mitigation per Section 91.7104.3.7. (subject to **Final Geotech Report**)
- \* Pump discharge rate not provided cubic feet per minute per reference geology or soil report:

dated: \_\_\_\_\_

**Additional Investigation:**

- \* Additional Investigation (was) (**was not**) conducted. (by **Methane Specialists**)

**Latest Grading on Site:**

- \* Date of last grading on site (was) (**was not**) more than 30 days before Site Testing.

**Notes:**

- \* Historical High Ground Water Table Elevation shall mean the highest recorded elevation of ground water based on historical records and field investigations as determined by the engineer for the methane mitigation system.
- \*\* Design Methane Concentration shall mean the highest recorded measured methane concentration from either Shallow Soil Gas Test or any Probe Set on the site.
- \*\*\* Design Methane Pressure shall mean the highest total pressure measured for any Gas Probe Set on the site.

# **APPENDIX D**

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## **Phase I and Phase II Environmental Site Assessments**

# Phase I Environmental Site Assessment

*of*

1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard  
Los Angeles, California



*Prepared for*

**PICO VENTURE LTD LLC**



- Target Property
- Sites at elevations higher than or equal to the target property
- Sites at elevations lower than the target property
- Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Landfill Sites
- Dept. Deletion Sites





# Phase I Environmental Site Assessment

*of*

1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard  
Los Angeles, California

*Prepared for*

**PICO VENTURE LTD LLC**

*Prepared by*

**ALPHA ENVIRONMENTAL**

A handwritten signature in blue ink, appearing to read "C.A. S. Evans", with a checkmark-like flourish at the end.

**Christopher Evans  
Project Environmental Geologist**

A handwritten signature in blue ink, appearing to read "Saurabh Jawa", with a checkmark-like flourish at the end.

**Saurabh Jawa  
Project Manager/Senior Environmental Engineer**

September 23, 2015  
Project # 1507.90015.1732

**CONSULTING ENVIRONMENTAL ENGINEERS**

21818 CRAGGY VIEW STREET, SUITE 203, CHATSWORTH, CALIFORNIA 91311  
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## EXECUTIVE SUMMARY

This report, prepared for Pico Venture Ltd LLC, presents findings of a Phase I Environmental Site Assessment (ESA) of the property located at 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California (“Site”/ “subject property”). The objective of this assessment was to identify *recognized environmental conditions* (RECs). The term *recognized environmental conditions* means the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: (1) due to release to the environment, (2) under conditions indicative of a release to the environment, or (3) under conditions that pose a material threat of a future release to the environment. To accomplish this, the Site was visually examined, relevant regulatory records were reviewed, and the Site history was researched, pursuant to the scope of work and guidelines of ASTM E 1527-13 and the EPA’s Final Rule for All Appropriate Inquiry (AAI).

The Site reconnaissance, review of information available from federal/state databases and local regulatory agencies, and the Site history researched indicate that the Site has generally been used for industrial/commercial (auto repair, gasoline station, and wholesale distribution) purposes. In summary we have identified the following:

### RECONNAISSANCE:

- The subject property is improved with four contiguous commercial/industrial buildings along with an associated asphalt-paved parking lot.
  - ▶ The northern most building (1220 South Hope Street) and the contiguous building to the south (1224 South Hope Street) consist of an industrial warehouse buildings and a small office area. The buildings are currently being used as clothing distribution warehouses.
  - ▶ The next contiguous property to the south (1240 South Hope Street) consists of an industrial warehouse building and associated parking lot. The associated asphalt-paved parking lot, situated to the southeast of the building, is also used for public parking purposes. Several patches were noted on the northeast portion of the associated parking lot.
  - ▶ The last contiguous land parcel to the south (1246-1248 West Pico Boulevard) consists of a multi-story commercial building (hotel with ground floor store fronts). The hotel consists of four stories and a partial basement level, located along the west portion of the building. The subject building was vacant at the time of Alpha’s Site reconnaissance.
  - ▶ The surrounding properties generally consist of commercial (retail) buildings and construction sites. No significant environmental concerns were identified during our Site and adjacent property reconnaissance.

### HISTORICAL REVIEW:

- Our historical review, extending back to 1890, indicated that the Site was improved with a single-family dwelling in 1890. By 1906, the subject property comprised a portion of a park. By 1913, the subject property was improved with the present-day commercial hotel building (1246-1248 South Hope Street). In 1918, the subject property was developed with three contiguous industrial (warehouse) buildings (1220-1240 South Hope Street), completing the present-day configuration of the Site. The subject property has been occupied for various commercial/industrial uses throughout until the present day. Former occupants have included several auto repair businesses, various electrical wholesale distributors, a wholesale photographic supplies company, a book binding business, a grocery store, a car wash, a gas station, a leather goods store, and a restaurant, among

others. No significant environmental concerns were identified related to former Site occupants, except for the historical occupancy of the Site by a car wash and service station from approximately 1923-1929 and 1931-1942, respectively, and a book binding company from approximately 1961-1990.

REGULATORY REVIEW:

- The Site is listed on multiple databases researched by Environmental Data Resources, Inc., including: EDR US Hist Auto Stat and RCRA-SQG. These databases are generally related to the former on-Site gasoline station (427 West Pico Boulevard), former auto repair operations (1220 South Hope Street), and the former occupancy of the Site (1240 South Hope Street) by a book binding company.
- Records reviewed from the City of Los Angeles Bureau of Sanitation included an application for an industrial waste permit for a non-destructive testing laboratory, located at 1248 South Hope Street. The permit indicates 550-gallons per day of cutting oils will be generated and treated via a three compartment clarifier. The permit also indicates the laboratory was not yet installed at the time of application (1965).
- Records reviewed from the LACPHI included several inspections reports (1976-1984), a hazardous waste control program file, and a hazardous waste producer survey for the "Bookbinders Company," located at 1240 South Hope Street. The records indicate the generation of waste oil through the use of several machines (side stitching, hole punch, move folding, compressor, etc.). The records further indicate the use of typewash (solvent) to clean the machinery and the generation of approximately 15 gallons of waste solvent per month. A record lists the raw materials used by the business as paper, white glue, Safety Kleen solvent, hot melt adhesive, and typewash.

ENVIRONMENTAL CONDITIONS:

- The former occupancy of the Site (427 West Pico Boulevard) by a car wash from at least 1923 to 1929 represents an environmental concern related to the potential for current/former on-Site clarifiers.
- Environmental concerns were identified related to the former occupancy of the Site (427 West Pico Boulevard) by a fuel service station from at least 1931 to 1942. The absence of records related to the removal of underground storage tanks (USTs) as well as potential unauthorized releases of petroleum hydrocarbons represents an environmental concern.
- The occupancy of the Site (1240 South Hope Street) by a book binding company (from at least 1961 to 1990) represents an environmental concern related to the storage/handling of hazardous substances (glues and solvents), as indicated by the local agency records reviewed. Subsurface media (soil/soil vapor/groundwater) may be impacted from incidental spills during storage/handling of hazardous substances expected during the routine industrial operations at the this portion of the subject property.
- The former occupancy of the Site (1220-1240 South Hope Street) by various automotive repair facilities from at least 1919 to 1929 represents some environmental concerns. Shallow soil in the vicinity of concrete joints or cracks may have been impacted from incidental spills from routine auto repair operations in the past. However, this shallow contamination (if any) is expected to be minor and localized, and would be subject to naturally occurring biodegradation. Considering the time elapsed since repair operations ceased (approximately 86 years), this potential near surface soil contamination from surface spills represents a *de minimis*<sup>1</sup> condition.
- The former occupancy of the Site (1248 South Hope Street) by a laboratory for non destructive testing

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<sup>1</sup> The term *de minimis* conditions refers to conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not RECs or *Controlled RECs*.



(1967-1976) represents some environmental concern related to the reported use of an on-Site clarifier and up to 550-gallon per day of cutting oil. However, the former laboratory was underlain by a basement, and the location of the clarifier was not stated.

- The site is located in the City of Los Angeles designated methane zone. The City of Los Angeles and DOGGR may have additional requirements, such as methane mitigation measures or methane testing, prior to any new construction on-Site.

We have performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-13 of 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California, the Site/subject property. Any exceptions to, or deletions from this practice are described in section 1.3 - 1.6 of this report. This assessment has revealed no evidence of RECs in connection with the subject property, except for:

- The former occupancy of the Site (427 Pico Boulevard) by a car wash (from at least 1923 to 1929) and a gasoline service station from 1931 to 1942 represents an REC, related to the lack of records to demonstrate the absence of former USTs and associated contamination from potential leaks from the USTs, dispensers, underground piping, and former clarifiers commonly associated with car washing operations.
- Subsurface media (soil/soil vapor/groundwater) may have been impacted by potential on-Site sources of hazardous substances such as petroleum products and solvents from previous on-Site activities (book binding for approximately 30 years).

Based on the findings of this Phase I ESA, it is Alpha's opinion that a limited Phase II investigation is warranted at this time to demonstrate the absence of USTs, hoists or clarifiers and verify subsurface soil conditions at the Site. The limited Phase II investigation should include a geophysical survey, a soil vapor survey, and soil sampling in the areas of concern.

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## 1.0 INTRODUCTION

At the request of Pico Venture Ltd LLC (*Client*), Alpha Environmental (Alpha) has completed a Phase I Environmental Site Assessment (ESA) report for the subject property located at 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California (“Site”/ “subject property”). The subject property is improved with multiple contiguous industrial/commercial warehouse buildings along with an associated asphalt-paved parking lot. Figure 1, Site Location Map, shows the location of the Site in relation to surrounding features. Site specific features are shown on Figure 2, Aerial Photo Map, and ground-level photographs are presented in Appendix A.

### 1.1 Purpose

The purpose of this Phase I ESA is to identify, to the extent feasible, as per ASTM E1527-13 guidelines/requirements, *recognized environmental conditions* (RECs) in connection with the subject property. The term recognized environmental conditions means the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: (1) due to release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. The term is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not RECs or Controlled RECs.

A Controlled REC is a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority), with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls). Also, not an REC is a past or Historical REC, which is a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable

regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This Phase I ESA represents a “due diligence” effort to determine the previous ownership and uses of the property consistent with good commercial and customary practice related to the environmental integrity of the Site within the respective ASTM E1527-13 guidelines. This investigation may satisfy one of the requirements to qualify for one of the Landowner Liability Protections (LLPs) under the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) liability, 42 U.S.C. §§9601(35)(A), 9601 (40), 9607(b), 9607(q), 9607<sup>2</sup>.

## 1.2 Regulatory Background Information

The CERCLA as amended by the Superfund Amendments and Reauthorization Act of 1986 (SARA), and the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (“Brownfields Amendments”) required the Environmental Protection Agency (EPA) to establish federal standards and practices for conducting “All Appropriate Inquiry” (AAI). On November 1, 2005 the EPA established, the *EPA’s Standards and Practices for All Appropriate Inquiries; Final Rule* (40 CFR Part 312), effective November 1, 2006. The EPA’s Final Rule is applicable to the:

- **Environmental Professional** conducting the Phase I Environmental Site Assessment, and any;
- **Person(s)** seeking to qualify for the innocent landowner, contiguous property owner, or bonafide prospective purchaser limitations on CERCLA liability, the “landowner liability protections,” or LLPs.

The EPA’s Final Rule is the process of evaluating a property’s environmental conditions and assessing potential liability for any contamination, which is intended to result in the identification of RECs.

In conjunction with the development of EPA’s Final Rule setting federal standards for the conduct of “All Appropriate Inquiries,” ASTM International updated their E1527-05 standard in 2013. The EPA establishes that the new ASTM E1527-13 Phase I ESA Standard is consistent and compliant

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<sup>2</sup>§:Refers to sections in the EPA’s Final Rule for AAI.

with EPA's final rule and may be used to comply with the provisions of the rule.

### 1.3 Detailed Scope of Services

This Phase I ESA Report documents the results of the all appropriate inquiries investigation that was conducted under the supervision and/or responsible charge of an environmental professional, as per EPA's Final Rule. The inquiry of the environmental professional takes into account *commonly known or reasonably ascertainable information about the subject property*, (§ 312.30), *the degree of obviousness of the presence or likely presence of contamination at the property*, and *the ability to detect the contamination by appropriate investigation* (§ 312.31) and includes the following requirements as set forth in CERCLA section 101(35)(B)(iii):

- **Interviews with Past and Present Owners, Operators and Occupants (§ 312.23):** Interview with past/current owner(s), operators, and occupant(s) of the subject property, as necessary to meet the objectives and performance factors of EPA's Final Rule, to collect information on past uses and ownerships of the property, and to identify potential conditions that may indicate the presence of releases or threatened releases of hazardous substances at the subject property. Additionally, in cases where the subject property is abandoned and there is evidence of potential unauthorized use(s) or uncontrolled access, interviews with the owners/occupants of neighboring and nearby properties is required.
- **Reviews of Historical Sources of Information (§ 312.24):** Review of historical sources of information about the property to ensure that a continuous record of land uses is assembled to create a comprehensive assessment of the potential for releases of hazardous substances at the property. Historical documents and records may include, but are not limited to, aerial photographs, fire insurance maps, building department records, chain-of-title documents, and land use records. Historical sources of information must be reviewed as far back in time as the property contained structures or the property was used for agricultural, residential, commercial, industrial or governmental purposes, or back to 1940, whichever is earlier.
- **Searches for Recorded Environmental Cleanup Liens (§312.25):** If not provided by the prospective property owner (*user*), and if requested by the *user*, the environmental professional will conduct a search for environmental cleanup liens against the subject property that are filed or recorded under federal, state, tribal, or local law, to identify environmental response actions that were taken to address past releases at, on or to the subject property.
- **Reviews of Federal, State, Tribal and Local government records (§312.26):** Federal, tribal, state and local government records or databases of government records of the subject property and adjoining properties must be reviewed and include:
  - 1.) Records of reported releases or threatened releases including site investigation reports

- 2.) Records of activities, conditions or incidents likely to cause or contribute to releases or threatened releases, including landfill, other disposal unit location, storage tank, hazardous waste handler/generator records and permits; federal, tribal and state government listings of sites identified as priority cleanup sites and spill reporting records
  - 3.) CERCLIS records
  - 4.) Public Health Records
  - 5.) Emergency Response Notification System records
  - 6.) Registries or publicly available lists of engineering controls, institutional controls, including environmental land use restrictions, if requested by the *user*.
- **Visual Inspections of the Facility and of Adjoining Properties (§312.27):** A visual on-site inspection of the subject property and facilities and improvements on the subject property, including a visual inspection of the areas where hazardous substances may be or may have been used, stored, treated, handled, or disposed. A visual inspection of adjoining properties, from the subject property line, public rights-of way, or other vantage point.
  - **Report:** Preparation of this report documenting the results and conclusions of the all appropriate inquiries investigation; including our opinion regarding the presence of RECs at the subject property and the identification of any data gaps and their significance.

Our scope of services was performed in general accordance with our proposal dated July 20, 2015.

#### **1.4 Significant Assumptions**

Alpha Environmental assumes that the purpose of this Phase I is to provide appropriate inquiry into the previous ownership and use of the site consistent with good commercial and customary practice in an effort to minimize liability. Alpha also assumes that the *user provided information* was furnished in good faith, and the information obtained from the regulatory database provider, previous assessment reports, and other outside sources is true and reliable. Alpha believes that the user is aware that even with the proper application of the above methodologies and requirements, (ASTM E1527-13) that this study is not intended to be a definitive investigation of contamination at the subject property, and should not be construed as an assurance or guarantee for the absence of environmental contamination in connection with the subject property. Given that the scope of this assessment is limited and is conducted according to the § 312.30 and § 312.31 provisions of the Final Rule, conditions which could not be identified may exist on the property.

#### **1.5 Limitations and Exceptions**

This report was prepared in conformance to meet or exceed the scope and practice as set forth by the American Society for Testing & Materials (ASTM) Standard Practice E 1527-13, “*Standard*

*Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process.*” No tests were conducted, and no samples of air, water, soil, or building materials were taken. This practice does not address whether requirements in addition to all appropriate inquiry have been met in order to qualify for the LLPs. This practice does not address requirements of any local, state or local laws or of any federal laws other than the all appropriate inquiry provisions of the LLPs. Users are cautioned that federal, state, and local laws may impose environmental assessment obligations that are beyond the scope of this practice. Users should also be aware that there are likely to be other legal obligations with regard to hazardous substances or petroleum products discovered on the property that are not addressed in this practice and that may pose risks of civil and/or criminal sanctions for non-compliance.

### **1.6 Special Terms and Conditions**

No special terms or conditions have been incorporated into the preparation of this report. There were also no limiting physical conditions, such as rain or lack of electrical power, that had a limiting effect on the Site inspection, except for a lack of electricity in a basement portion of the subject property (1246 West Pico Boulevard) limiting visibility.

### **1.7 User Reliance**

This report is for the express use of the client, its successors, partners, and lenders. Reliance upon this report by others is prohibited, unless with the expressed agreement by Alpha.



## **2.0 USER (CLIENT) PROVIDED INFORMATION**

The ASTM E1527-13 outlines specific *User Responsibilities*. These tasks are to be performed by the User and are developed to help the environmental professional to identify the possibility of RECs in connection with the subject property. These responsibilities do not require the technical expertise of an Environmental Professional and are generally not performed by *Environmental Professionals* conducting a Phase I ESA. Alpha has prepared a request form in order to facilitate the collection of this information, which was provided to the User at the initiation of this investigation. The following provisions summarize the information/documentation provided to Alpha by the User (Mr. Sauli Danpour, representing Pico Venture Ltd LLC).

### **2.1 Title Records**

A Preliminary Title Report (PTR) prepared by Western Resources Title, dated April 13, 2015, was provided by the Client for review. No environmental concerns were noted after reviewing the PTR. A copy of the PTR is attached in Appendix B.

### **2.2 Environmental Liens or Activity and Use Limitations (AULs)**

The User is not aware of any environmental liens or AULs related to the subject property.

### **2.3 Specialized Knowledge**

The User did not indicate any specialized knowledge regarding the subject property.

### **2.4 Valuation Reduction for Environmental Issues**

The User is not aware of a valuation reduction of the subject property due to outstanding environmental issues.

### **2.5 Owner, Property Manager, and Occupant Information**

Information provided by the owner, property manager, and/or occupants of the Site are included in Section 6.0 - Interviews.

### **2.6 Reason for Performing Phase I ESA**

The reason for performing this Phase I ESA is to conduct due diligence for client with respect to the

sale of the subject property and to satisfy requirements under 40 CFR 312 for conducting All Appropriate Inquiries for Landowner Liability Protections (LLP).

## **2.7 Previous Phase I ESA Reports**

Four previous Phase I ESA reports were prepared for the subject property: two by Alpha Environmental, dated December 13, 2005 (1224 South Hope Street and 1246-1248 South Hope Street) and two by AEI Consultants, dated August 30, 2005 and May 15, 2006 (1240 South Hope Street and 1220 South Hope Street, respectively). See Appendix D for a copy of the text portion of these reports. See section 5.4 for a summary of the previous Phase I ESAs.

## **2.8 Other**

No other pertinent information was provided by the User/Client.

### 3.0 SITE DESCRIPTION

#### 3.1 Site Location

The Site is located in the southern downtown area of the City of Los Angeles, California. It is situated on the northeastern corner of the intersection of West Pico Boulevard and South Hope Street, extending to approximately 180 feet south of West 12<sup>th</sup> Street (see Figure 2 for Aerial Photo Map). The facility is characterized by the following approximate coordinates on the Hollywood, California, United States Geological Survey (USGS) map, 7.5 Minute Series (Topographic).

Latitude	34° 2' 23.64" N
Longitude	118° 15' 53.28" W
Township	T1S
Range	R13W
Meridian	San Bernardino

#### 3.2 Legal Description and County Assessor's Information

The subject property is assigned with Los Angeles County Assessor's Parcel Numbers (APNs) 5139-022-003, -004, -006, -016, and -017. The legal description of the property is presented in the PTR attached in Appendix B. According to the ownership summary presented within the PTR, the subject property is owned by "Pico Venture LTD, LLC. as to parcels A, B, C, and D" and "Hope Pico Company, as to parcel E." As per the PTR, parcels A, B, C, and D correspond to parcels 5139-022-003, -004, -016, and -017, respectively, while parcel E corresponds to parcel 5139-022-006. The following table summarizes the information obtained from the Los Angeles County Assessors Office:

APN	Address	Year Built/Effective Year Built	Building Size
5139-022-003	1220 South Hope Street	1918	9,300 SF
5139-022-004	1224 South Hope Street	1918	7,750 SF
5139-022-006	1246 South Hope Street	1914	49,668 SF
5139-022-016	1240 South Hope Street	1918/1940	15,500 SF
5139-022-017	N/A	1937	5,280 SF

A copy of the PPR and a parcel map for the subject property are attached as Appendix C.

### 3.3 General Characteristics - Property and Vicinity

The Site is situated within a commercial development in the City of Los Angeles. The surrounding properties generally consist of commercial (retail) buildings and construction sites.

### 3.4 Current Use of the Property

As per observations made during the Site reconnaissance, the Site is currently occupied for various commercial purposes. The following table summarizes the current use of the subject building:

Address	Description of Occupants
1220 and 1224 South Hope Street	“Mizrani Gardner;” clothing distribution warehouses.
1240 South Hope Street	Warehouse used for parking, part of public parking lot located to the east of 1246 South Hope Street. Also has offices on a mezzanine level.
1246 South Hope Street	Currently vacant (former hotel and commercial retail building).

### 3.5 Description of Property Structures and Other Improvements

The subject property is improved with four contiguous commercial/industrial buildings along with an associated asphalt-paved parking lot. The northern most building (1220 South Hope Street) and the contiguous building to the south (1224 South Hope Street) consist of an industrial warehouse buildings and a small office area. The next contiguous building to the south (1240 South Hope Street) consists of an industrial warehouse building and associated parking lot. The interior is currently used for public parking purposes. Office space is located on a mezzanine level situated on the west side of the subject building. The associated asphalt-paved public parking lot, situated to the southeast of the building, is also used for public parking purposes. The last contiguous building to the south (1246-1248 West Pico Boulevard) consists of a commercial building (hotel with store fronts). The hotel consists of four stories and a partial basement level, located along the west portion of the building. The subject building also consists of three store fronts.

#### 3.5.1 Property Utilities

The following table summarizes the utilities which furnish the subject property.

Type	Responsible Party/Company
Electricity	Los Angeles Department of Water and Power

Type	Responsible Party/Company
Natural Gas	The Gas Company
Potable Water	Los Angeles Department Water and Power
Sanitary Sewer	City of Los Angeles
Storm Sewer	City/County of Los Angeles
Solid Waste Disposal	Private Contractors

### 3.6 Current Uses of the Adjoining Properties

As an integral part of our reconnaissance, we examined the immediately adjacent properties from the subject property line, public rights-of-way, or other vantage points. This examination was for potential environmental risks similar to those we looked for at the subject property. The following table summarizes our observations of the adjoining properties.

Direction	Use	Detailed Description	Environmental Concerns Identified
Northeast	Commercial	A commercial building is located to the northeast of the subject property at 1210 South Hope Street. No signs were noted indicating occupancy.	No
Southeast	Commercial	To the southeast of the Site (from north to south) are: a commercial building occupied by "MTM Special Ops Watches" (1225 South Grand Avenue), a parking lot, and a construction site.	No
Southwest	Commercial	West Pico Boulevard bounds the Site to the southwest, beyond which is a construction site undergoing excavation.	No
Northwest	Commercial	South Hope Street bounds the Site to the northwest, beyond which is (from north to south): a commercial building undergoing renovation (1221 South Hope Street), an additional commercial building occupied by "Bluebird Office Supplies" (1225 South Hope Street), a parking lot, a commercial building occupied by "Store Fixtures" (1235 South Hope Street), an additional parking lot, a commercial building with no signs indicating occupancy (1241 South Hope Street), and a commercial building occupied by "Vamos Asistencia Legal" (501 West Pico Boulevard).	No

We observed no obvious indications of a major spill, unauthorized releases, or indications of remediation activities on properties in the vicinity of the Site. No significant environmental concerns were apparent during our adjacent property reconnaissance.

## 4.0 ENVIRONMENTAL SETTING

### 4.1 Regional Physiographic and Geologic Conditions

The Site is located within the Coastal Plain, which is situated in the northwest corner of the Peninsular Range geomorphic province. The Peninsular Range geomorphic province extends south from Santa Monica to the tip of Baja California. This geomorphic province consists of essentially northwest-trending mountain ranges and associated valleys.

The Coastal Plain is bounded by the Santa Monica Mountains on the north and west, the La Merced Hills, Puente Hills, Peralta/Santiago Hills, and San Joaquin Hills to the northeast, east, and south. The Coastal Plain slopes gently from the bordering highlands toward the ocean with seven main stream channels that drain the area. These include the Los Angeles River, Rio Hondo River, San Gabriel River, Coyote Creek, Santa Ana River, Santiago Creek, and San Diego Channel. The Los Angeles River is located approximately 2 miles east of the Site.

As per the Geologic Map of California, Los Angeles Sheet 1969 (Sixth printing 1991), the Site is underlain with Quaternary-age *Alluvium*.

### 4.2 Topography

The United States Geological Survey (USGS), Hollywood, California Quadrangle 7.5-Minute series topographic map was reviewed for this ESA. According to the contour lines on the topographic map, the Site is at an elevation of approximately 240 feet above mean sea level (msl). The general topographic gradient in the vicinity of the Site is towards the southwest.

### 4.3 Groundwater Conditions

Online records obtained from Geotracker for a neighboring Leaking Underground Storage Tank (LUST) site (NASA Oil-Blaine, located at 1045 Blaine Street, approximately 2,850 feet northwest of the Site) indicates that groundwater was encountered at approximately 100.33 to 117.40 feet below ground surface (bgs). The groundwater flow direction in the vicinity of this facility was reportedly towards the south at a gradient of 0.025 feet/foot (as per the First Semiannual 2010 Groundwater Monitoring Report, prepared by Coffey Environments, dated July 15, 2010).

Note that the actual groundwater flow direction is often locally influenced by factors such as underground structures, seasonal fluctuations, soil and bedrock geology, production wells, and other factors beyond the scope of this study. The actual groundwater flow direction under the Site can be accurately determined only by installing groundwater monitoring wells, which was beyond the scope of this project.

#### **4.4 Oil and Gas Wells**

The Division of Oil, Gas, and Geothermal Resources (DOGGR) website indicates the Site is located in the central portion of the Los Angeles Downtown Oil Field and there are numerous oil/gas wells within a 1-mile search distance of the Site. Additionally, as per the Los Angeles City Zone Information Map Access System (ZIMAS) website, the subject property is located within the Methane Zone. Given the numerous historical oil and gas well drilling in the Site vicinity and the Site's location within the Methane Zone, the potential of methane gas seepage is a regional environmental concern for the Site area. The City of Los Angeles and DOGGR may have additional requirements, such as methane mitigation measures or methane testing, prior to any new construction on-Site.

## 5.0 SITE RECONNAISSANCE

### 5.1 Methodology and Limiting Conditions

The Site reconnaissance consisted of an on-Site walk through of the entire property while observing any improvements and noting evidence of present or potential environmental concerns on the property. The objective of the Site reconnaissance is to obtain information indicating the likelihood of identifying *recognized environmental conditions* and to look for unusual features that may indicate environmental concerns in connection with the property. On July 29, 2015, Ms. Andrea Christian, a Project Environmental Engineer from Alpha, conducted a Site reconnaissance of the subject property and of the immediately adjacent properties.

Ms. Christian searched the subject property for the presence of discolored soil or pavement; unusual odors; storage, dumping, or disposal of hazardous substances; transformers; underground or above-ground storage tanks (USTs or ASTs); drums or other containers; wells, sumps, clarifiers, and elevator pits; general condition of the building; and evidence of other activities that may have generated hazardous substances.

Alpha's findings are limited to the conditions observed on the subject property on July 29, 2015 and poor lighting in the basement of 1246 South Hope Street due to lack of electricity. Photographs of the subject property are included in Appendix A and an Aerial Photo Map is presented as Figure 2.

### 5.2 General Site Setting

The Site is situated within a commercial development in the City of Los Angeles. The surrounding properties generally consist of commercial (retail) buildings and construction sites.

### 5.3 Observations

The following table summarizes Alpha's Site reconnaissance and observations of the subject property and adjacent properties (from areas of public access):



Condition	Observed Evidence		Description/Comments
	On-Site	Adjacent Properties	
Hazardous Substances/Petroleum Products	No	No	
Other Regulated Chemicals	Yes	No	Various retail-size cleaning supplies noted within 1220-1224 South Hope Street.
Underground Storage Tanks (USTs)	No	No	
Aboveground Storage Tanks (ASTs)	No	No	
Transformers or equipment potentially containing Polychlorinated Biphenyls (PCBs)	No	No	
Drums and other containers of hazardous substances, petroleum products, or other unidentified contents	No	No	
Mounds, depressions, or filled or graded areas suggesting trash or other solid waste disposal	No	No	
Waste water or any discharge into a drain, ditch, or stream	Yes	No	Floor drains noted on the warehouse floor of 1224 South Hope Street.
Pits, ponds, or lagoons	No	No	
Standing pools of liquid	No	No	
Sumps, clarifiers	No	No	
Distinct odors of hydrocarbons, solvents, or waste oils	No	No	
Stained soil or pavement	No	No	
Wells (active, inactive, or abandoned)	No	No	
Smoke, fumes, or dust being released	No	No	
Septic systems or cesspools	No	No	
Soil, swamps, marshes, bogs, and/or vegetation typical to a wetland	No	No	
Discolored/stressed vegetation	No	No	

In addition to the above information, Alpha made the following observations:

- The subject property is improved with four contiguous commercial/industrial buildings along with an associated asphalt-paved parking lot.

- The northern most building (1220 South Hope Street) and the contiguous building to the south (1224 South Hope Street) consist of industrial warehouse buildings and a small office area. The buildings are currently being used as clothing distribution warehouses. A mezzanine level was noted in 1224 South Hope Street. Additionally, a small floor drain was noted inside 1220 South Hope Street. See photos 4-7 in Appendix A.
- The next contiguous building to the south (1240 South Hope Street) consists of an industrial warehouse building and associated parking lot. The interior is currently used for public parking purposes. Office space is located on a mezzanine level situated on the west side of the subject building. The associated asphalt-paved public parking lot, situated to the southeast of the building, is also used for public parking purposes. Several patches were noted on the northeast portion of the associated parking lot. See photos 2, 3, 8, and 9 in Appendix A.
- The last contiguous building to the south (1246-1248 West Pico Boulevard) consists of a commercial building (hotel with store fronts). The hotel consists of four stories and a partial basement level, located along the west portion of the building. The basement was divided and accessible from several areas throughout the subject building. The subject building also consists of three store fronts. The subject building was vacant at the time of Site reconnaissance and was in generally poor physical condition. See photos 10-12 in Appendix A.
- No visible smoke, fumes, or dust were noted being released from the Site.
- No indications of USTs, wells, or pits were observed on-Site.
- No discolored soil or distressed vegetation was observed.
- No indications of illegal dumping or disposal of hazardous materials were observed.

No significant environmental concerns were observed at the Site during our reconnaissance.

#### **5.4 Former Environmental Assessment Reports**

Several former environmental reports associated with the subject property were provided to Alpha by the Client. Copies of portions of each former report is presented in Appendix D. Summaries of each of the these former reports are provided below:

**Phase I ESA:** prepared for 1240 South Hope (APNs 5139-022-016 and 5139-022-017) by AEI Consultants (AEI), dated August 30, 2005.

- The subject property was located on the east side of South Hope Street and the north side of Pico Boulevard. The property was improved with a two-story building of brick and concrete construction.

The building was occupied by “Prestige Parking” which was utilizing the building for as a storage facility for furniture. In addition to the building, the subject property was improved with an asphalt-paved parking area located to the south of the building. The building was developed in 1918, while the parking area was developed in 1937.

- Based on a review of historical sources AEI reported the subject property was undeveloped, vacant land prior to 1906. It was then developed with Fiesta Park for use as a recreational area. An electric equipment store occupied the subject property as early as 1918 until circa 1954. In 1921, a battery and electrical service facility occupied the subject property until circa 1954. An auto brake shop occupied the subject property between 1921 until approximately 1950. A garage and warehouse occupied the subject property as early as 1944 until circa 1960. As early as 1951, various offices were located on the subject property. Bookbinders Company occupied the subject property from 1960 to 1994. The current occupancy of the property, Prestige Parking Inc., had been at the property since at least 2004.
- AEI’s investigation revealed environmental issues associated with the subject property. Due to the age of the subject building, there was a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. All suspected ACMs and painted surfaces were observed in good condition and were not expected to pose a health and safety concern to occupants at that time. Additionally, the occupancy of the property by a an electric equipment store, a battery and electrical service facility, an auto brake shop, a garage and warehouse, and a book binding company represented an environmental issue. As per AEI, operations typically associated with those businesses include the use of small quantities of petroleum hydrocarbons, waste oil, metals, paints, and solvents. AEI conducted an interview with the business owner, Mr. Samson who stated the book binding company occupied the property for approximately 45 years. Per Mr. Samson, the company did not perform printing operations on-site and, consequently, did not use inks or solvents during the period of occupancy. The previous businesses may have utilized the aforementioned hazardous materials on-site, however, based on the building size, it was presumed that the on-site operations were small-scale and resulted in small quantities of materials used. In addition, AEI, did not observe the presence of direct conduits to the subsurface or significant staining throughout the building. Based on the small scale operations on-site, the lack of conduits and the presumed small quantities used, AEI concluded the former presence of the businesses was not expected to represent a significant environmental concern.
- AEI recommended no further investigations for the subject property at that time.

**Phase I ESA:** prepared for 1224 South Hope (APN 5139-022-004) by Alpha Environmental (Alpha), dated December 13, 2005.

- The subject site was improved with a 2-story commercial industrial/warehouse building occupied by a garment manufacturing facility named “Lanado, Inc.” No environmental concerns were observed during our site reconnaissance.
- A historical review, extending back to 1906 (Sanborn map), indicates that the subject site was a portion of Fiesta Park with open bleachers. The subject site was redeveloped with the present day commercial building in 1918. The site had generally been occupied for warehouse purposes throughout. No environmental concerns were identified in Alpha’s historical review.

- The regulatory research of federal, state, and local agencies and databases did not indicate soil or groundwater contamination at the subject site from on-Site or off-site sources.
- It was Alpha's opinion, that no further investigation related to soil or groundwater was warranted at that time, if the site was to be re-used for commercial purposes similar to its past/present use. However, the subject site was located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the general methane mitigation requirements.

**Phase I ESA:** prepared for 1246-1428 South Hope (APN 5139-022-006) by Alpha Environmental (Alpha), dated December 13, 2005.

- The subject site was improved with a 4-story multi-unit commercial (hotel) building named and operated as "Morrison Hotel." No environmental concerns were observed during our site reconnaissance.
- A historical review, extending back to 1906 (Sanborn map), indicated that the subject site was occupied by a commercial building and was a part of open field named "Fiesta Park." As per a building permit dated 1913 the subject site was redeveloped with the present day commercial building. The subject building was generally occupied by hotel and retail stores throughout. No environmental concerns were identified as a result of Alpha's historical review.
- The regulatory research of federal, state, and local agencies and databases did not indicate soil or groundwater contamination at the subject site from on-site or off-site sources.
- It was Alpha's opinion, that no further investigation related to soil or groundwater is warranted at this time, if the site was to be re-used for commercial purposes similar to its past/present use. However, the subject site was located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the Los Angeles city's general methane mitigation requirements.

**Phase I ESA:** prepared for 1220 South Hope (APN 5139-022-003) by AEI Consultants (AEI), dated May 15, 2006.

- The subject property was located "on the east side of South Hope Street between West 12<sup>th</sup> Street to the north and West Pico Boulevard to the south. The property was improved with a single-story warehouse building with an office/storage mezzanine. The building was occupied by "SE Displays," which was utilizing the building as a storage warehouse for metal display merchandises. The building was developed with the current improvements in 1918."
- Based on review of historical sources, "the subject property was developed with the warehouse building in 1918 to be used as a paint shop. It was not clear whether the property was eventually used as a paint shop or not. Prior to 1918, the subject property occupied a portion of a park named "Fiesta

Park.” Throughout its history, the subject property was generally used as a store and a warehouse. From at least 1950 to circa 1955, the subject property was used as a machine shop.”

- AEI’s investigation revealed environmental issues associated with the subject property. “Due to the age of the subject building, there was a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. All suspected ACMs and painted surfaces were observed in good condition and were not expected to pose a health and safety concern to occupants at that time. Additionally, the occupancy of the property by a machine shop represented an environmental issue. Machine shops typically utilize chemicals including but not limited to cutting oils, lubricating oils, and degreasers. Additionally, machine shops typically generate waste oil from cleaning various machines. However, based on the short period of time the machine shop was located on-site (approximately 5 years), the former storage and use of hazardous materials on the subject property was not expected to represent a significant environmental concern.”
- AEI recommended “no further investigations for the subject property” at that time.

## 6.0 INTERVIEWS

### 6.1 Interviews with Owner

An interview was conducted with Mr. Sauli Danpour (owner) during the Site reconnaissance. According to Mr. Danpour, he has owned the property since 1997. Mr. Danpour indicated the warehouse located at 1220 South Hope Street was occupied by a company that stored fixtures (type not specified) until 2006. Additionally, Mr. Danpour indicated the warehouse located at 1224 South Hope Street was occupied by a clothing company until 2006. It was then vacant until last year. As per Mr. Danpour, the warehouse located at 1240 South Hope Street has been used for parking since 2006. He believes it was vacant before that. According to Mr. Danpour, 1246-1248 South Hope Street was occupied by a hotel with store fronts into March 2006. The hotel has been vacant since then. The store fronts were previously occupied by a restaurant (vacant throughout Mr. Danpour's ownership), a store selling display equipment for clothing (mannequins, racks, etc.), and a clothing store. To the best of his knowledge at the time, Mr. Holter was not aware of past chemical spills/leaks or other conditions that would represent an environmental concern to the Site. He was also unaware of any previous/current on-Site USTs, ASTs, or clarifiers.

### 6.2 Interviews with Site Manager

The Site is owner managed; see Section 6.1 above for a summary of the interview conducted with the Site owner.

### 6.3 Interviews with Occupants

A brief interview was conducted with Peter, the owner of "Mizrani Gardner" (1220 & 1224 South Hope Street), during our Site reconnaissance. According to Peter, he has owned the properties (warehouses), for approximately one year. As per Peter, 1220 South Hope Street was previously occupied by a business selling wood flooring and carpeting. He believes 1224 South Hope Street was previously vacant. According to Peter, his company was formerly located off Site in a building previously located on the east adjacent property (currently a construction site). Peter indicated the former building was demolished in approximately January/February 2015.

#### **6.4 Interviews with Local Government Officials**

Government officials were contacted via phone and written requests (see Section 7.2 and 12.0, References).

#### **6.5 Interviews with Others**

No other pertinent interviews were conducted as a part of this ESA.

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## 7.0 RECORDS REVIEW

The purpose of the records review is to obtain and review records that will help identify RECs in connection with the property. In addition, some records to be reviewed pertain to properties within an additional *approximate minimum search distance*, and not just to the property, in order to help assess the likelihood of problems from migrating *hazardous substances* or petroleum products. Alpha's record review was conducted to meet or exceed the minimum search distance requirement of ASTM E1527-13.

### 7.1 Regulatory Agency Record Search

Alpha Environmental subcontracted Environmental Data Resources, Inc. (EDR) to perform the regulatory agency record search for the subject property, and a report was generated based on that search. We reviewed EDR's report to determine if the Site or any nearby properties are known to have a past or present record of actual or possible environmental impact, or are under investigation for an environmental impact. The following records were reviewed for possible mention based on the subject property's address and other sites within the list-specified radius. We have included a brief description of the standard environmental databases, and some additional environmental databases. A copy of "The EDR - Radius Map Report" is included in Appendix E.

#### **FEDERAL AGENCY RECORDS:**

- **FEDERAL NATIONAL PRIORITY LIST (NPL)**: National Priorities List (Superfund), is a subset of CERCLIS and identifies over 1,200 abandoned or uncontrolled hazardous waste sites which have been identified as possibly representing a long-term threat to the public health and the environment, under the Superfund Program. The information is compiled by the U.S. Environmental Protection Agency (EPA), and the sites on this list are a priority for EPA's enforcement and cleanup efforts. Only NPL sites can receive CERCLA funding.
- **FEDERAL DELISTED NPL SITE LIST**: National Priority List Deletions. The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 cfr 300.425(e), sites may be deleted from the NPL where no further response is appropriate.
- **FEDERAL COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION AND LIABILITY INFORMATION SYSTEM (CERCLIS) LIST**: This list contains data on potentially hazardous waste sites that have been reported to the EPA by states, municipalities, private companies, and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to be on the NPL List or sites which are in the screening and assessment phase for possible inclusion on the NPL.
- **FEDERAL CERCLIS NFRAP SITE LIST (CERCLIS-NFRAP)**: The NFRAP label indicates No Further Remedial Action Planned. These are sites that have been removed from CERCLIS. After initial investigation, either no contamination was found, contamination was removed quickly, or the contamination was not serious enough to require Federal Superfund action or NPL consideration.



- **FEDERAL RCRA CORRACTS FACILITIES LIST (CORRACTS-RCRA)**: Resource Conservation and Recovery Act Information, is EPAs comprehensive information system. CORRACTS identifies hazardous waste handlers with RCRA corrective action activity. Corrective actions may be required beyond the facility's boundary and can be required regardless of when the release occurred.
- **FEDERAL RCRA NON-CORRACTS TSD**: RCRA includes selective information on sites which generate, transport, store, treat, and/or dispose (TSD) of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA).
- **RCRA GENERATORS LIST**: The Resource Conservation and Recovery Act of 1976 provides for "cradle to grave" or from the point of generation to the point of disposal regulation of hazardous wastes. RCRA requires regulation of hazardous waste generators, transporters, and storage/treatment/disposal sites. RCRA Large Quantity Generators (LQGs) are facilities which generate at least 1,000 kg/month of non-acutely hazardous waste or 1 kg/month of acutely hazardous waste. RCRA Small Quantity Generators (SQG) are facilities that generate less than 1,000 kg/month of non-acutely hazardous waste.
- **ENGINEERING CONTROLS SITE LIST (US ENG CONTROLS)**: A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.
- **INSTITUTIONAL CONTROLS SITE LIST (US INST CONTROL)**: US INST CONTROL lists sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.
- **EMERGENCY RESPONSE NOTIFICATION SYSTEM (ERNS)**: The ERNS is a national computer database used to store information on unauthorized releases of oil and hazardous substances. The program is a cooperative effort of the EPA, the Department of Transportation Research and Special Program Administration's John Volpe National Transportation System Center, and the National Response Center.
- **HAZARDOUS MATERIALS INFORMATION REPORTING SYSTEM (HMIRS)**: The Hazardous Materials Information Reporting System (HMIRS) database contains hazardous material spill incidents reported to the Department of Transportation (DOT).
- **US BROWNFIELDS SITES**: Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Targeted Brownfields Assessments (TBA) Program is designed to aid in cleaning up and reinvesting in these properties which takes development pressures off of undeveloped, open land, and both improves and protects the environment
- **TOXIC CHEMICAL RELEASE INVENTORY SYSTEM (TRIS)**: TRIS identifies facilities which release toxic chemicals to the air, water, and land in reportable quantities under SARA Title III Section 313.

**STATE AND LOCAL RECORDS:**

- **ANNUAL WORKPLAN (AWP)**: Known Hazardous Waste Sites. California Department of Toxic Substances Control's (DTSC's) Annual Workplan (AWP), formerly BEP, identifies known hazardous substance sites targeted for cleanup.
- **CAL-SITES (CALs)**: The CAL-SITES list (previously known as the Abandoned Sites Program Information system [ASPIS]) contains information on potential hazardous waste sites that have been identified by the Historical Abandoned Site Survey Program.
- **CORTESE**: The Cortese database identifies public drinking water wells with detectable levels of contamination, hazardous substance sites selected for remedial action, sites with known toxic material identified through the

abandoned site assessment program, sites with USTs having a reportable release, and all solid waste disposal facilities from which there is known migration.

- **LEAKING UNDERGROUND STORAGE TANKS (LUST)**: The LUST database reports contain an inventory of reported leaking underground storage tank incidents. The data come from the State Water Resources Control Board Leaking Underground Storage Tank Information System.
- **CALIFORNIA HAZARDOUS MATERIAL INCIDENT REPORTING SYSTEM (CHMIRS)**: CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).
- **PROPOSITION 65 NOTIFICATION RECORDS (NOTIFY 65)**: NOTIFY 65 contains facility notifications about any release which could impact drinking water or expose the public to a potential health risk.
- **TOXIC PITS (TPC)**: The Toxic Pits Clean-Up Act places strict limitations on the discharge of liquid hazardous wastes into surface impoundments, toxic ponds, pits, and lagoons. Regional Water Quality Control Boards (RWQCBs) are required to inspect all surface impoundments annually. In addition, every facility was required to file a Hydrogeological Assessment Report. Recent legislation allows the Department of Health Services (DHS) to exempt facilities that closed on or before December 31, 1985, if it can be shown that no significant environmental risk remains.
- **STATE LANDFILL/SOLID WASTE INFORMATION SYSTEMS (SWIS)**: The California Waste Management Board maintains an inventory of active, inactive, and closed solid waste disposal and transfer facilities.
- **WMUDS/SOLID WASTE ASSESSMENT TEST (SWAT)**: The State Water Resource Control Board ranks all solid waste disposal sites throughout the state on the basis of the potential threat they may pose to water quality. Sites are tested to see whether there is hazardous waste leakage from the landfill.
- **PERMITTED UNDERGROUND STORAGE TANKS-STATE WATER QUALITY BOARD (UST)**: The Cortese Bill (AB2013) enacted in 1983, required registration of all USTs with State Water Quality Board by July 1, 1984. About 176,000 tanks and surface impounds were registered between 1984 and 1987. An amendment (AB1413) was passed in 1987, effectively removing the State Board from the registration processes starting January 1, 1988. The data reflects the information collected by the state between 1974 and 1987. Home and farm heating fuel tanks with capacities of ,100 gallons or less and structures such as "sumps, separators, storm drains, catch basins, oil field gathering lines, refinery pipe lines, lagoons, evaporation ponds, well cellars, separation sumps, lined and unlined pits, sumps and lagoons" except those defined as UST under HSWA may be regulated to protect water quality under the Porter - Cologne Water Quality Control Act.
- **HAZARDOUS WASTE INFORMATION SYSTEM (HAZNET)**: Includes Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method.
- **ACTIVE TOXIC SITE INVESTIGATIONS (SLIC)**: This report contains a list of Active Toxic Site Investigations that are under the direction of the Regional Water Quality Control Board.

**TRIBAL RECORDS:**

- **INDIAN RESERV**: Indian Reservations. This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.
- **INDIAN LUST**: Leaking Underground Storage Tanks on Indian Land.
- **INDIAN UST**: Underground Storage Tanks on Indian Land.

### 7.1.1 Summary of Regulatory Agency Records Review

This database search lists sites by a reference number. EDR Map ID Numbers are generally larger for sites that are farther away from the subject property. A detailed description of each of the following databases is included in the EDR report included in Appendix E. The following table summarizes the findings of the database search performed by EDR, Inc.:

Database	Target Property	Search Distance (Miles)	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
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#### STANDARD ENVIRONMENTAL RECORDS

NPL		1.000	0	0	0	0	NR	0
Proposed NPL		1.000	0	0	0	0	NR	0
NPL LIENS		0.125	0	NR	NR	NR	NR	0
Delisted NPL		1.000	0	0	0	0	NR	0
CERCLIS		0.500	0	1	0	NR	NR	1
FEDERAL FACILITY		1.000	0	0	0	0	NR	0
CERC-NFRAP		0.500	0	0	1	NR	NR	1
CORRACTS		1.000	0	0	0	0	NR	0
RCRA-TSDF		0.500	0	0	0	NR	NR	0
RCRA-LQG		0.250	0	0	NR	NR	NR	0
RCRA-SQG	X	0.250	5	15	NR	NR	NR	21
RCRA-CESQG		0.250	0	0	NR	NR	NR	0
US ENG CONTROLS		0.500	0	0	0	NR	NR	0
US INST CONTROL		0.500	0	0	0	NR	NR	0
LUCIS		0.500	0	0	0	NR	NR	0
ERNS		0.125	0	NR	NR	NR	NR	0
RESPONSE		1.000	0	0	0	0	NR	0
ENVIROSTOR		1.000	0	1	1	15	NR	17
SWF/LF		0.500	0	0	0	NR	NR	0
LUST		0.500	0	4	8	NR	NR	12
SLIC		0.500	0	3	1	NR	NR	4
INDIAN LUST		0.500	0	0	0	NR	NR	0
UST		0.250	1	8	NR	NR	NR	9
AST		0.250	0	0	NR	NR	NR	0
INDIAN UST		0.250	0	0	NR	NR	NR	0
FEMA UST		0.250	0	0	NR	NR	NR	0
INDIAN VCP		0.500	0	0	0	NR	NR	0
VCP		0.500	0	1	1	NR	NR	2

#### ADDITIONAL ENVIRONMENTAL RECORDS

US BROWNFIELDS		0.500	0	0	0	NR	NR	0
ODI		0.125	0	NR	NR	NR	NR	0
DEBRIS REGION 9		0.500	0	0	0	NR	NR	0
SWRCY		0.500	0	0	1	NR	NR	1
HAULERS		TP	NR	NR	NR	NR	NR	0
INDIAN ODI		0.500	0	0	0	NR	NR	0
WMUDS/SWAT		0.500	0	0	0	NR	NR	0
US CDL		TP	NR	NR	NR	NR	NR	0
HIST Cal-Sites		1.000	0	0	0	0	NR	0
SCH		0.250	0	0	NR	NR	NR	0

Toxic Pits		1.000	0	0	0	0	NR	0
AOCONCERN		1.000	0	0	0	0	NR	0
CDL		TP	NR	NR	NR	NR	NR	0
US HIST CDL		TP	NR	NR	NR	NR	NR	0
CA FID UST		0.250	3	14	NR	NR	NR	17
HIST UST		0.250	1	6	NR	NR	NR	7
SWEEPS UST		0.250	5	14	NR	NR	NR	19
LIENS 2		TP	NR	NR	NR	NR	NR	0
LIENS		TP	NR	NR	NR	NR	NR	0
DEED		0.500	0	0	0	NR	NR	0
HMIRS		0.125	0	NR	NR	NR	NR	0
CHMIRS		0.125	1	NR	NR	NR	NR	1
LDS		TP	NR	NR	NR	NR	NR	0
MCS		TP	NR	NR	NR	NR	NR	0
SPILLS 90		0.125	0	NR	NR	NR	NR	0
RCRA NonGen / NLR		0.250	0	0	NR	NR	NR	0
DOT OPS		TP	NR	NR	NR	NR	NR	0
DOD		1.000	0	0	0	0	NR	0
FUDS		1.000	0	0	0	0	NR	0
CONSENT		1.000	0	0	0	0	NR	0
ROD		1.000	0	0	0	0	NR	0
UMTRA		0.500	0	0	0	NR	NR	0
US MINES		0.250	0	0	NR	NR	NR	0
TRIS		0.125	0	NR	NR	NR	NR	0
TSCA		0.125	0	NR	NR	NR	NR	0
FTTS		0.125	0	NR	NR	NR	NR	0
HIST FTTS		TP	NR	NR	NR	NR	NR	0
SSTS		0.125	0	NR	NR	NR	NR	0
ICIS		TP	NR	NR	NR	NR	NR	0
PADS		0.125	0	NR	NR	NR	NR	0
MLTS		0.125	1	NR	NR	NR	NR	1
RADINFO		TP	NR	NR	NR	NR	NR	0
FINDS	X	0.125	6	NR	NR	NR	NR	7
RAATS		0.125	0	NR	NR	NR	NR	0
RMP		TP	NR	NR	NR	NR	NR	0
CA BOND EXP. PLAN		1.000	0	0	0	0	NR	0
NPDES		TP	NR	NR	NR	NR	NR	0
UIC		TP	NR	NR	NR	NR	NR	0
Cortese		0.500	0	0	0	NR	NR	0
HIST CORTESE		0.500	0	1	4	NR	NR	5
CUPA Listings		0.250	0	0	NR	NR	NR	0
Notify 65		1.000	0	0	0	0	NR	0
LA Co. Site Mitigation		0.125	0	NR	NR	NR	NR	0
DRYCLEANERS		0.250	0	1	NR	NR	NR	1
WIP		0.250	0	1	NR	NR	NR	1
LOS ANGELES CO. HMS		0.125	0	NR	NR	NR	NR	0
ENF		TP	NR	NR	NR	NR	NR	0
HAZNET		0.125	22	NR	NR	NR	NR	22
EMI		0.125	1	NR	NR	NR	NR	1
INDIAN RESERV		1.000	0	0	0	0	NR	0
SCRD DRYCLEANERS		0.500	0	0	0	NR	NR	0
WDS		0.125	0	NR	NR	NR	NR	0
Financial Assurance		TP	NR	NR	NR	NR	NR	0
PROC		0.500	0	0	0	NR	NR	0
HWT		0.250	0	0	NR	NR	NR	0
HWP		1.000	0	0	0	1	NR	1

MWMP		0.250	0	0	NR	NR	NR	0
LEAD SMELTERS		TP	NR	NR	NR	NR	NR	0
US AIRS		TP	NR	NR	NR	NR	NR	0
EPA WATCH LIST		TP	NR	NR	NR	NR	NR	0
US FIN ASSUR		TP	NR	NR	NR	NR	NR	0
COAL ASH EPA		0.500	0	0	0	NR	NR	0
PCB TRANSFORMER		TP	NR	NR	NR	NR	NR	0
COAL ASH DOE		TP	NR	NR	NR	NR	NR	0
2020 COR ACTION		0.250	0	0	NR	NR	NR	0
PRP		TP	NR	NR	NR	NR	NR	0

**EDR HIGH RISK HISTORICAL RECORDS**

EDR MGP		1.000	0	0	0	0	NR	0
EDR US Hist Auto Stat	X	0.250	43	62	NR	NR	NR	107
EDR US Hist Cleaners		0.250	15	14	NR	NR	NR	29

**EDR RECOVERED GOVERNMENT ARCHIVES**

RGA LUST		0.500	0	2	4	NR	NR	6
RGA LF		0.500	0	0	0	NR	NR	0

NOTES: TP = Target Property  
NR = Not Requested at this Search Distance  
Sites may be listed in more than one database

**7.1.2 Discussion of Regulatory Database Findings****Site:**

The subject property is listed on the following databases researched by EDR:

- ***Boston Robt (EDR Map ID #A1)*** located at 427 West Pico Boulevard, is listed on the EDR US Hist Auto Stat database, which reports the Type as “Gasoline and Oil Service Stations” and the Name as “McDonald W.E.” (1933), “Boston Robt” (1937), and “Benton Bros Service” (1942).
- ***Warren F. L. (EDR Map ID #A2)*** located at 1220 South Hope Street, is listed on the EDR US Hist Auto Stat database which reports the Type as “Automobile Repairing and Service Stations” and the Year as “1924, 1929.
- ***Bookbinders Co (EDR Map ID #A3)*** located at 1240 South Hope Street, is listed on the RCRA-SQG database, which indicates that the Site is a small quantity generator of non-hazardous waste and that no violations are reported for this facility.

The following table summarizes the findings of the *Standard Environmental Records* per ASTM E1527-13 guidelines within the search-specified distance, along with our comments regarding their environmental significance:

Listings	Comment
<b>1 CERCLIS</b> <i>Comprehensive Environmental Response, Compensation &amp; Liability Information System</i>	Located approximately 1,100 feet away from the Site, hence considering the distance, not a significant environmental concern to the Site.
<b>1 CERC-NFRAP</b> <i>Archived CERCLIS sites</i>	Located more than ¼-mile away from the subject property, hence, considering the distance, not a significant environmental concern to the Site.
<b>20 RCRA-LQG</b> <i>Resource Conservation &amp; Recovery Act- Large Quantity Generators</i>	This database reports a permitted activity; not located adjacent to the Site. Hence, not a significant environmental concern to the Site.
<b>18 RCRA-SQG</b> <i>Resource Conservation and Recovery Act - Small Quantity Generators</i>	<p>This database reports a permitted activity; of the 18 listings, 15 are not located adjacent to the Site, therefore, not a significant environmental concern to the Site.</p> <p>The remaining 3 listings are located adjacent to the northeast (“Freelance Inc;” 1717 South Figueroa Street), southeast (“The Carrera Center;” 1826 South Figueroa Street), and southwest (“Downtown Porsche Audi;” 631 West Washington Boulevard). No violations were found; listings on their own do not represent a significant environmental concern to the Site.</p>
<b>17 ENVIROSTOR</b> <i>State-Equivalent CERCLIS, from the Department of Toxic Substances Control</i>	Located more than ¼-mile away from the subject property, hence, considering the distance, not a significant environmental concern to the Site.
<b>12 LUST</b> <i>Leaking Underground Storage Tank incidents</i>	Of the 12 listings, 8 are located more than ¼-mile away from the Site; hence, considering the distance, not a significant environmental concern to the Site. The remaining listings are located more than ⅛-mile away from the Site and report a status of “Completed - Case Closed.” Considering the distance and status, not a significant environmental concern to the Site.
<b>4 SLIC</b> <i>Spills, Leaks, Investigations, Cleanup</i>	Of the 4 listings, 1 is located more than ¼-mile away from the subject property, therefore, considering the distance, not a significant environmental concern to the Site. The remaining 3 listings are located more than ⅛-mile away from the subject property, with a status of “Completed - Case Closed.” Hence, considering the distance and status, not a significant environmental concern to the Site.
<b>9 UST</b> <i>Registered Underground Storage Tanks</i>	Database reports a permitted activity. Not located adjacent to the Site; therefore not a significant environmental concern to the Site.
<b>1 CA VCP</b> <i>Voluntary Cleanup Program</i>	Located more than ⅛-mile away from the subject property, hence, considering the distance, not a significant environmental concern to the Site.

A review of the *Additional Environmental Records*, *EDR High Risk Historical Records*, and *EDR Recovered Government Archives* did not reveal any other listings that would represent a significant environmental concern to the Site.

In addition to the mapped sites, other sites are sometimes listed in the Orphan Summary. These sites may be out of the search range or have incomplete or improper addresses and could not be plotted within the specified search radius. A review of this list and the mapped sites discussed above by Alpha, reveal no listings of Orphan Sites within a 1-mile radius of the Site that appear to be of environmental consequence to the subject property.

Considering the Site's location, and the relative locations of the listed facilities, none of the off-site environmental elements appear to be impacting the soil/groundwater beneath the Site at this time, except for the former occupancy of the Site (427 West Pico Boulevard) by a gas station from at least 1933 to 1942 as well as the former on-Site occupancy (1240 South Hope Street) of a book binding company.

## **7.2 Additional Environmental Record Sources**

### **7.2.1 Agency Records**

The following agencies were contacted for public records search request to determine if they have files for hazardous substances and/or USTs related to the subject property. Copies of significant referenced records are attached as Appendix F.

#### **City of Los Angeles Fire Department – HAZMAT and UST Divisions**

The City of Los Angeles Fire Department (LAFD) was contacted to conduct a record search regarding hazardous substances and USTs at the Site. The UST and HAZMAT Divisions of the LAFD indicated that they do not have any records for the subject property.

#### **City of Los Angeles Department of Public Works - Bureau of Sanitation**

The City of Los Angeles Bureau of Sanitation was contacted regarding a record search for files related to waste disposal and/or clarifiers located on-Site. They indicated that the following records were available for the Site:

- An application for an industrial waste permit for a non-destructive testing laboratory, located at 1248 South Hope Street. The application reports the permit was approved on

February 26, 1965. The application indicates the waste as 87% sodium petroleum sulphate and reports the material is the same as “cutting oils,” except in refined conditions. The permit indicates 550-gallons per day (gpd) will be generated and treated via a three compartment clarifier. The permit also indicates the laboratory was not yet installed at the time of application.

### **Los Angeles County Public Health Investigation (LACPHI)**

Alpha contacted the LACPHI regarding information about hazardous substances and industrial waste for the subject property. The LACPHI indicated that they have the following records for the subject property:

#### **1240 South Hope Avenue**

- Inspections Reports for the “Bookbinders Company” from 1976 and 1982-1984. The reports indicate the generation of waste oil through the use of stapling and folding machines.
- A Hazardous Waste Control Program file from 1984 for the “Bookbinders Company.” The file indicates the use of several machines (side stitching, hole punch, move folding, compressor, etc.) that generate waste oil. The file indicates the company receives a 55-gallon drum of new oil every two years. Additionally, the file indicates the use of typewash to clean the machinery. Per the file, Safety Kleen picks up the rags used to clean the machinery every month. According to the file, chlorinated hydrocarbons are not used.
- A Hazardous Waste Producer Survey file from 1983 for the “Bookbinders Company.” The file lists the raw materials as paper, white glue, Safety Kleen solvent, hot-melt adhesive, and typewash. According to the file the business generates approximately 15 gallons of waste solvent per month.

### **South Coast Air Quality Management District (SCAQMD)**

The SCAQMD was contacted regarding a record search for violations, site inspections, and equipment used on the Site. An online search of the SCAQMD database indicated that they do not have any records for the subject property.

### **California Regional Water Quality Control Board (RWQCB)**

The RWQCB was contacted regarding a record search for hazardous substances and USTs on the Site. The RWQCB notified Alpha that they do not have files for the subject property.

## **7.3 Historical Use of Property Record Search**

The purpose of consulting historical sources is to develop a history of the previous uses of the property and the surrounding area, to help identify the likelihood of past uses having led to RECs in connection with the property.



### 7.3.1 Building Records

Alpha Environmental visited the City of Los Angeles Department of Building and Safety to review building records (building permits and certificates of occupancy) for the Site. Copies of the referenced building records are included in Appendix G. The following table summarizes our review of the building records:

**Summary of Building Records**

Address	Year	Type	Description
1220 South Hope Street	1918	BP	Building permit issued for a new building.
	1928	BP	Issued to Wagner Electric Corp for the remodel of the building from an auto repair body-and-fender shop to an auto-electric supplies company.
	1959	BP	Issued to George Montgomery for general plumbing work performed at a bearings storage and sales company.
1224 South Hope Street	1918	BP	Building permit issued for a new building.
	1919	BP	Issued to Larter Auto Works for the construction of a stock room at an auto repair business.
	1928	BP	Issued to Atwater Kent Radia Co for the installation of a partition for a show room and offices. The permit indicates the building is vacant, but was previously occupied by an auto body repair business.
	1951	BP	Issued to Montgomery Property Inc. for the installation of new partitions at a store.
1240 South Hope Street	1921	BP	Issued to Electric Equipment Co for the construction of a mezzanine level at an auto-service business.
	1933	BP	Issued to Electric Equipment Co for work on awnings at a store.
	1947	BP	Issued to Wagner Electric Corp for the addition of a storage room for a wholesale electric supplies company.
	1961	BP	Issued to Montgomery Management Co for the closing in of an existing opening for a book-bindery business.
	1968	BP	Issued to Francis Montgomery for repair work to skylights at a printing company.
	1985	BP	Issued to Pine Tree Co for general remodeling at a printing business.
1246 South Hope Street	1913	BP	Building permit issued for the construction of a new hotel and stores building.
	1922	BP	Building permit issued for remodeling work done for a hotel.
	1936	BP	Issued to Montgomery Properties Ltd for general tenant improvement at a hotel.
	1951	BP	Issued to Montgomery Properties for the alteration of a parapet wall at a hotel and store.
	1977	BP	Issued to Manuel Dorame for the installation of a wall in the lobby of a hotel.

Address	Year	Type	Description
1248 South Hope Street	1914	BP	Building permit issued for the addition of a partition to divide a store within an apartment building. Issued to Montgomery Management Co for the installation of a new store front at a hotel. Issued to Morrison Hotel LA for re-roofing work to be performed at a hotel.
	1961	BP	
	1990	BP	
427 West Pico Boulevard	1923	BP	Issued to the Wilshire Oil Co for the construction of a wash rack. Installation of three awnings at a service station.
	1931	BP	
437 West Pico Boulevard	1963	BP	Issued for a change of occupancy to a grocery deli. The permit indicates the store was vacant before.
441 West Pico Boulevard	1948	SP	Install metal face signs at a drug store. Install new restroom at a restaurant.
	1954	BP	

Notes: BP = Building Permit; SP = Sign Permit

Based on the building records review, environmental concerns were identified related to the historical use of portions of the Site for automobile repair/service and gas station purposes.

### 7.3.2 Sanborn Maps

Historical Sanborn Map Company Fire Insurance risk maps were researched to identify past Site occupancy as well as business occupancies in the Site vicinity. The Sanborn Map Company produced detailed maps of urban structure information on buildings which were present, as well as their commercial use, if any. According to the EDR Certified Sanborn Map Report, Sanborn Map coverage is available for the Site and vicinity for the years 1890, 1894, 1906, 1950, 1953, 1955, 1958, 1960, 1962, 1963, 1967, 1968, and 1970. See Appendix H for a copy of the Sanborn Map Report.

#### Sanborn Map Review

Year	Source	Description
1890	EDR	<u>Site</u> : The Site is improved with a single-family dwelling. <u>Adjacent Properties</u> : <i>Northeast</i> - Consists of vacant land. <i>Southeast</i> - Consists of vacant land. <i>Southwest</i> - Improved with a single-family dwelling. <i>Northwest</i> - Developed with several single-family dwellings and small detached structures.
1894	EDR	<u>Site</u> : No significant changes were apparent. <u>Adjacent Properties</u> : No significant changes were apparent, except for a portion of the southeast adjacent property is now improved with a greenhouse. Additionally, the adjacent property to the northwest has been improved with an additional dwelling.

Year	Source	Description
1906	EDR	<p><u>Site:</u> The subject property is a portion of a open field named Fiesta Park with open bleachers. The southwest portion of the Site is improved with a shed.</p> <p><u>Adjacent Properties:</u>  <i>Northeast</i> - Consists of Fiesta Park.  <i>Southeast</i> - Consists of Fiesta Park.  <i>Southwest</i> - Improved with single-family dwellings and a church.  <i>Northwest</i> - Improved with several new dwellings and multi-family dwellings.</p>
1950	EDR	<p><u>Site:</u>  <i>1220 South Hope Street:</i> Improved with the present-day warehouse building. Occupied by a machine shop and roller bearing manufacturing.  <i>1224 South Hope Street:</i> Improved with the present-day warehouse building and is occupied by a wholesale photo supplies company.  <i>1240 South Hope Street:</i> Improved with the present-day warehouse building. The north portion is occupied by a auto brake shop, the south portion is occupied by an electrical equipment business, and the east portion of the Site is utilized as an auto warehouse.  <i>1246-1248 South Hope Street:</i> Improved with the present-day hotel building (“Morrison Hotel”). Additionally, the building is occupied by a restaurant and three stores. The south portion of the hotel is addressed 433-441 South Pico Boulevard  <i>427 West Pico Boulevard:</i> Improved with a parking lot.</p> <p><u>Adjacent Properties:</u>  <i>Northeast</i> - Improved with the present-day commercial building and occupied by a bearings company.  <i>Southeast</i> - The north portion is improved with the present-day commercial building and is occupied by a bowling equipment servicing company. The central portion is improved with a structure and occupied by an auto repair company. Additionally, a portion of the present-day parking lot is noted on the central portion. The south portion is improved with a store.  <i>Southwest</i> - Improved with several stores and a restaurant.  <i>Northwest</i> - The north portion is improved with the present-day commercial buildings occupied by a store and an auto supplies company. The central portion is improved with the present-day parking lot, the commercial building occupied by a store, and vacant land. The south portion is improved with the present-day commercial buildings, occupied by various stores. 501 West Pico Boulevard is labeled as a dry cleaner.</p>
1953	EDR	<p><u>Site:</u> No significant changes were apparent except 1220 South Hope Street is now labeled as a auto service business. Additionally, 1224 South Hope Street is now labeled as a wood-drafting supplies company, while 1240 South Hope Street is no longer labeled as an auto brake shop; now occupied by a store. The auto warehouse portion is now labeled as a warehouse. No changes are noted at 1246-1248 South Hope Street except the restaurant is now labeled as a store.</p> <p><u>Adjacent Properties:</u> No significant changes were apparent except, the commercial building located adjacent to the southeast previously labeled as bowling equipment servicing company is now labeled as a trunk and luggage manufacturer. Additionally, the building located on the south portion of the southeast adjacent property is now labeled as an office and a shoe machine repair company. No coverage is available for the southwest.</p>
1955	EDR	<p><u>Site:</u> No significant changes were apparent, except 1240 South Hope Street is now labeled as an auto warehouse.</p> <p><u>Adjacent Properties:</u> No significant changes were apparent. No coverage is available for the southwest</p>

Year	Source	Description
1958	EDR	<u>Site:</u> No significant changes. <u>Adjacent Properties:</u> No significant changes, except a portion of the building located on the south portion of the southeast adjacent property is no longer labeled as an office; it is now occupied by a clothing factory.
1960	EDR	<u>Site:</u> No significant changes, except 1220 South Hope Street is no longer labeled as auto repair; it is now occupied by a store. Additionally, 1240 South Hope Street is now labeled as being vacant. <u>Adjacent Properties:</u> No significant changes were apparent, except the structure located on the central portion of the southeast adjacent property previously labeled as an auto repair business is now labeled as vacant.
1962	EDR	<u>Site:</u> No significant changes apparent, except 1240 South Hope Street is now labeled as being occupied by a book binding company. <u>Adjacent Properties:</u> No significant changes were apparent, except the structure located on the central portion of the southeast adjacent property previously labeled as being vacant is now labeled as a uniform warehouse. No coverage is available for the southwest.
1963	EDR	<u>Site:</u> No significant changes. <u>Adjacent Properties:</u> No significant changes were apparent, except the structure located on the south portion of the southeast adjacent property previously labeled as a clothing factory is now labeled as being vacant.
1967	EDR	<u>Site:</u> No significant changes. <u>Adjacent Properties:</u> No significant changes were apparent, except 501 West Pico, previously labeled as a dry cleaner, is now labeled as vacant. No coverage is available for the southwest.
1968	EDR	<u>Site:</u> No significant changes. <u>Adjacent Properties:</u> No significant changes.
1970	EDR	<u>Site:</u> No significant changes. <u>Adjacent Properties:</u> No significant changes.

Based on the Sanborn Map review, environmental concerns were identified associated with previous occupancies of the Site by auto repair business, machine shops, and a book binding company. Additional environmental concerns were identified associated with the previous occupancy of the adjacent property to the northwest by a dry cleaning business (501 West Pico Boulevard).

### 7.3.3 Aerial Photographs

Alpha Environmental researched available historical aerial photographs of the Site area obtained from various internet sources, including Nationwide Environmental Title Research, LLC (NETR) and Google Earth, as well as Alpha's aerial photograph archives. The photographs reviewed are listed, and the findings are summarized in the following table (see Appendix I for excerpts of some of the aerial photographs reviewed).

**Aerial Photographs Review**

Date	Source	Description
1938	Alpha Archives	<p><u>Site:</u>  <i>1220 South Hope Street:</i> Improved with a structure resembling the present-day warehouse building..  <i>1224 South Hope Street:</i> Improved with a structure resembling the present-day warehouse building.  <i>1240 South Hope Street:</i> Improved with a structure resembling the present-day warehouse building.  <i>1246-1248 South Hope Street:</i> Improved with a structure resembling the present-day hotel building.  <i>427 West Pico Boulevard:</i> Improved with a paved lot. Additionally, several small structures are apparent on the northeast and south portions of the lot, possibly associated with a former on-Site gas station, noted in the EDR (see section 7.1.2).  <u>Adjacent Properties:</u>  <i>Northeast -</i> Improved with a structure resembling the present-day commercial building.  <i>Southeast -</i> The north portion is improved with a structure resembling the present-day commercial building. The central portion is improved with a structure resembling the building noted in the 1950 Sanborn Map (see section 7.3.2). Additionally, a portion of the present-day parking lot is noted on the central portion. The south portion is improved with a structure resembling the commercial building noted in the 1950 Sanborn Map.  <i>Southwest -</i> Improved with several structures resembling the commercial buildings noted in the 1950 Sanborn Map.  <i>Northwest -</i> The north portion appears to consist of vacant land, while the central portion is improved with a structure resembling the present-day commercial building and vacant land. The south portion is improved with several structures resembling the present-day commercial buildings.</p>
1948	NETR	<p><u>Site:</u> No significant changes were apparent.  <u>Adjacent Properties:</u> No significant changes were apparent, except the north portion of the northwest adjacent property appears to have been improved with a structure resembling the present-day commercial building and the vacant land now appears to be used as a parking area. Additionally, the vacant land located to the south of the structure situated on the central portion of the northwest adjacent property now appears to consist of a parking area.</p>
1952	NETR	<p><u>Site:</u> No significant changes were apparent, except the small structure located on the northeast corner of the lot (427 West Pico Boulevard) is no longer apparent.  <u>Adjacent Properties:</u> No significant changes were apparent.</p>
1964	NETR	<p><u>Site:</u> No significant changes were apparent, except the structures located on the lot (427 West Pico Boulevard) are no longer apparent.  <u>Adjacent Properties:</u> No significant changes were apparent.</p>
1972, 1980, 1989, 1994, 2003, 2004	NETR	<p><u>Site:</u> No significant changes were apparent.  <u>Adjacent Properties:</u> No significant changes were apparent.</p>
2005	NETR	<p><u>Site:</u> No significant changes were apparent.  <u>Adjacent Properties:</u> No significant changes were apparent, except the structures located on the southwest adjacent property are no longer apparent. The property now consists of a paved lot, resembling the present-day public parking lot.</p>

Date	Source	Description
2012	NETR	<u>Site</u> : No significant changes were apparent. <u>Adjacent Properties</u> : No significant changes were apparent.
2015	Google Earth	<u>Site</u> : No significant changes were apparent. <u>Adjacent Properties</u> : No significant changes were apparent, except the structure located on the south portion of the southeast adjacent property is no longer apparent; vacant land is now visible.

Based on the review of aerial photographs, no significant environmental concerns were identified except for the possible occupancy of the Site (427 West Pico Boulevard) by a gas station from at least 1938 to 1952.

### 7.3.4 Title Records

A PTR prepared by Western Resources Title, dated April 13, 2015, was provided by the Client for review. No environmental concerns were noted after reviewing the PTR. A 50-year Chain-of-Title was not researched as part of this ESA.

### 7.3.5 Historical City Directories

Alpha Environmental previously obtained historical city directories from EDR to identify historical tenant occupancies for the subject property. Business directories including city, cross reference, and telephone directories were reviewed, if available, at approximately five-year intervals for the years spanning 1920 through 2006. For those years not listed below, the subject address was not found in any of the databases searched by EDR. A copy of the EDR City Directory Abstract Report is attached in Appendix J.

- **1220 South Hope Street:** General uses have included automotive repair (1924-1929), “Wagner Electric Corporation” - manufacturers of motors, transformers, fans, hydraulic brakes (1933-1937), “Leonard Harold & Co Inc. of California” (1962), and “S E Distribution Co.” (2000-2008).
- **1224 South Hope Street:** General uses have included “Carter Automobile Works” - sheet metal works, fenders (1924), “Atwater Kent Radio” - distributors (1929), “Thomas Ray Inc.” - batteries, radio tubes, refrigerators (1929-1937), wholesale photographic supplies (1942), “Leitz A Co - The Surveyors Instruments” (1958-1967), “Elle Designs” (1986-1990), “Firooz International LLC” (2000), and “Lanado Inc.” (2000-2006).
- **1240 South Hope Street:** General uses have included various electrical equipment distributors - speedometers, hydraulic brakes, among others (1924-1942), “Bookbinders

- Company” (1962-1990), “Nice Textile” (2000), “Consulting Inc.” (2006), and “Excel Parking” (2006).
- **1246 South Hope Street:** General uses have included “Morrison Hotel” (1924-2006) and Morrison Hotel Apartments (2000). Additionally, individual names are listed indicating residential use (1924-2000)
  - **1248 South Hope Street:** General uses have included a restaurant (1924-1929), a first aid supplies store (1933-1937), “Wiss of California” (1962), a laboratory for non destructive testing (1967-1976), “Gardina Patrol” (1981), and a sports wear business (1986-1990). Additionally, an individual name is listed on 1942.
  - **427 West Pico Boulevard:** General uses have included an auto laundry/car wash(1929) and a gas station (1942).
  - **433 West Pico Boulevard:** General uses have included a distributor of Falls Tires and Tubes (1924) and a grading and marking company (1981).
  - **437 West Pico Boulevard:** General uses have included a western union telegraph business (1929-1942), a grocery store (1967-1971), a leather goods store (1981), a fashion business (1990), and a fixtures store (2006-2013). The “Rosslyn Hotel” is listed in 1942 and an individual name is reported in 1986.
  - **441 West Pico Boulevard:** General uses have included the “Loos Vincent Rubber Co” (1924), a restaurant (1929), a drug store (1942), a sporting goods store (1958-1971), a thrift shop (1976), “La Caleza” (1981-1990), and “Los Molcajetes” (2000).

Based on the Historical City Directories review, some environmental concerns were identified associated with the previous on-Site occupancies of an auto repair facility and a gasoline station.

### **7.3.6 Environmental Liens and Activity/Use Limitations (AULs)**

According to the available information reviewed by Alpha and provided by the Client, based on reasonably ascertainable records, no environmentally-related liens or AULs have been recorded against the property. In addition to the information received from the user, the research included a review of:

- The PTR by Western Resources Title dated April 13, 2015, for a mention of recorded liens or AULs related to the subject property; and
- The federal and state databases provided by EDR related to Deed Restriction and/or AULs.

Alpha was not requested to perform an Environmental Lien search, we recommend that the owner utilize a professional title search firm or a title insurance company to conduct a search of reasonably ascertainable records for environmentally-related liens or AULs that have been recorded against the property.



## **8.0 NON-SCOPE CONSIDERATIONS**

### **8.1 Asbestos Containing Building Materials (ACBM) and Lead Based Paint (LBP)**

The use of Asbestos Containing Building Materials (ACBM) and Lead Based Paint (LBP) was prohibited by the Environmental Protection Agency (EPA) in the late 1970's. Based on the age of the buildings (constructed between 1918 and 1937), ACBM and LBP may have been used in the construction of some of the buildings. However, an asbestos and/or LBP survey/sampling was not within the scope of work of this investigation. If renovation, remodeling, repair or demolition of the building is anticipated, a comprehensive asbestos or LBP survey would be warranted. Paint should not be left in peeling/chipping/shredding condition. No peeling/chipping/shredding paint surface was apparent during our Site reconnaissance.

### **8.2 Radon**

Radon sampling was not within the scope of work of this Phase I ESA.

### **8.3 Wetlands**

No soil, swamps, marshes, bogs, and vegetation typical to a wetland were observed during our Site reconnaissance. A wetlands map review was not within the scope of work of this investigation.

### **8.4 Regional Environmental Conditions/NEPA ® Check**

The National Environmental Policy Act of 1969 (NEPA) requires that Federal agencies include in their decision-making processes appropriate and careful consideration of all environmental effects and actions, analyze potential environmental effects of proposed actions and their alternatives for public understanding and scrutiny, avoid or minimize adverse effects of proposed actions, and restore and enhance environmental quality as much as possible. A NEPA Check report provides maps and data which may be used in conjunction with additional research, to determine whether a proposed site or action will have significant environmental effect. A NEPA Check report was not requested by the client.

### **8.5 Client-Specific Services**

No additional services were requested by the Client.

## 9.0 DATA GAPS

As defined by ASTM E1527-13 and 40 CFR 312 a *data gap* is a lack of or inability to obtain information required for this investigation despite *good faith* efforts to gather such information. As per AAI requirements, our historical research did not extend to raw land or prior to its first development, hence, it would be considered a data gap. However, as per the resources referenced the earliest available information was from 1894, when the subject property was improved for residential use. In Alpha's opinion this data gap is not significant and does not impact the conclusions of this report. Alpha's investigation of this subject property was not hindered by any lack of data/information. Our research is complete and has been conducted according to the standards set by 40 CFR 312, in *good faith* and to the best of our knowledge.

## 10.0 FINDINGS and OPINIONS

### 10.1 General Description of Findings

The following table summarizes the findings and observations made during Alpha's Phase I ESA of 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California.

Item	Environmental Concern	Comments
<b><i>Environmental Conditions</i></b>		
Oil & Gas Wells	No	However, the Site is located in the Methane Zone designated by the City of Los Angeles. Additional methane testing or mitigation measures may be required by the City of Los Angeles Building and Safety Department prior to any new building construction.
Hazardous Substances	Yes	See discussion following the table.
Petroleum Hydrocarbon or other Regulated Chemical Contaminants	Yes	See discussion following the table.
USTs &ASTs or other Containers of Chemical Substances	Yes	See discussion following the table.
Waste Generation/Storage/Disposal	Yes	See discussion following the table.
<b><i>Reconnaissance</i></b>		
Site Reconnaissance	No	The subject property is improved with four contiguous commercial/industrial buildings along with an associated asphalt-paved parking lot.
Adjacent Properties Reconnaissance	No	The surrounding properties generally consist of commercial (retail) buildings and construction sites.
<b><i>Interviews</i></b>		
Interview with Owner	No	Indicated no knowledge of environmental concerns.
Interview with Site Manager	N/A	
Interview with Occupants	No	Indicated no knowledge of environmental concerns.
Interview with Local Government Officials	No	
Interview with Others	N/A	No other pertinent interviews were conducted.
<b><i>Records Review</i></b>		
Regulatory Agency Records (Database Research)	Yes	See discussion following the table.
Local Agency Records	Yes	See comments following the table.
<b><i>Historical Use of Property Records</i></b>		
Building Records	Yes	See discussion following the table.

Item	Environmental Concern	Comments
Sanborn Maps	No	Indicated on-Site auto sales/repair facilities, machine shops, and book binding – see comments following the table.
Aerial Photographs	Yes	Indicated structures possibly associated with former gasoline station noted in the EDR – see comments following the table.
Title Records	N/A	No title report was provided to Alpha for review.
City Directories	Yes	See discussion following the table.
<b><i>Other</i></b>		
Environmental Liens & Activity/Use Limitations (AULs)	No	None identified by EDR.
Data Gaps	No	No significant data gaps identified. (See Section 9.0 for details).

## 10.2 Opinions

As per ASTM E1527-13 Alpha is required to include our opinion(s) on the impact of conditions (if any) to the property, which were identified during this investigation. Following is a summary of our findings and Alpha’s opinion based on this investigation.

### ***Environmental Conditions:***

- The former occupancy of the Site (427 West Pico Boulevard) by a car wash from at least 1923 to 1929 represents an environmental concern related to the potential for current/former on-Site clarifiers.
- Environmental concerns were identified related to the former occupancy of the Site (427 West Pico Boulevard) by a fuel service station from at least 1931 to 1942. The absence of records related to the removal of underground storage tanks (USTs) as well as potential unauthorized releases of petroleum hydrocarbons represents an environmental concern.
- The occupancy of the Site (1240 South Hope Street) by a book binding company (from at least 1961 to 1990) represents an environmental concern related to the storage/handling of hazardous substances (glues and solvents), as indicated by the local agency records reviewed. Subsurface media (soil/soil vapor/groundwater) may be impacted from incidental spills during storage/handling of hazardous substances expected during the routine industrial operations at the this portion of the subject property.
- The former occupancy of the Site (1220-1240 South Hope Street) by various automotive repair facilities from at least 1919 to 1929 represents some environmental concerns. Shallow soil in the vicinity of concrete joints or cracks may have been impacted from incidental spills from routine auto repair operations in the past. However, this shallow contamination (if any) is expected to be minor and localized, and would be subject to naturally occurring

biodegradation. Considering the time elapsed since repair operations ceased (approximately 86 years), this potential near surface soil contamination from surface spills represents a *de minimis* condition.

- The former occupancy of the Site (1248 South Hope Street) by a laboratory for non destructive testing (1967-1976) represents some environmental concern related to the reported use of an on-Site clarifier and up to 550-gallon per day of cutting oil. However, the former laboratory was underlain by a basement, and the location of the clarifier was not stated.
- The site is located in the City of Los Angeles designated methane zone. The City of Los Angeles and DOGGR may have additional requirements, such as methane mitigation measures or methane testing, prior to any new construction on-Site.

***Previous Environmental Assessments:***

- A former Phase I ESA was conducted by AEI Consultants for the subject property (1240 South Hope Street - APNs 5139-022-016, -017) dated August 30, 2005. AEI concluded the following:
  - ▶ The property was improved with a two-story building of brick and concrete construction. In addition to the building, the subject property was improved with an asphalt-paved parking area located to the south of the building. The building was developed in 1918, while the parking area was developed in 1937.
  - ▶ Based on a review of historical sources AEI reported the subject property was undeveloped, vacant land prior to 1906. It was then developed with Fiesta Park for use as a recreational area. An electric equipment store occupied the subject property as early as 1918 until circa 1954. In 1921, a battery and electrical service facility occupied the subject property until circa 1954. An auto brake shop occupied the subject property between 1921 until approximately 1950. A garage and warehouse occupied the subject property as early as 1944 until circa 1960. As early as 1951, various offices were located on the subject property. Bookbinders Company occupied the subject property from 1960 to 1994. The current occupancy of the property, Prestige Parking Inc., had been at the property since at least 2004.
  - ▶ AEI's investigation revealed environmental issues associated with the subject property. Additionally, the occupancy of the property by a an electric equipment store, a battery and electrical service facility, an auto brake shop, a garage and warehouse, and a book binding company represented an environmental issue. As per AEI, operations typically associated with those businesses include the use of small quantities of petroleum hydrocarbons, waste oil, metals, paints, and solvents. AEI conducted an interview with the business owner, Mr. Samson who stated the book binding company occupied the property for approximately 45 years. Per Mr. Samson, the company did not perform printing operations on-site and, consequently, did not use inks or solvents during the period of occupancy. Based on the small scale operations on-site, the lack of conduits and the presumed small quantities used, AEI concluded the former presence of the businesses was not expected to represent a significant environmental concern.

- ▶ AEI recommended no further investigations for the subject property at that time.
- A former Phase I ESA was conducted by Alpha for the subject property (1224 South Hope Street - APN 5139-022-004), dated December 13, 2005. Alpha concluded the following:
  - ▶ A historical review, extending back to 1906 (Sanborn map), indicates that the subject site was a portion of Fiesta Park with open bleachers. The subject site was redeveloped with the present day commercial building in 1918. The site had generally been occupied for warehouse purposes throughout.
  - ▶ It was Alpha's opinion, that no further investigation related to soil or groundwater was warranted at this time, if the site was to be re-used for commercial purposes similar to its past/present use. However, the subject site was located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the general methane mitigation requirements.
- A former Phase I ESA was conducted by Alpha for the subject property (1246-1248 South Hope Street - APN 5139-022-006), dated December 13, 2005. Alpha concluded the following:
  - ▶ A historical review, extending back to 1906 (Sanborn map), indicated that the subject site was occupied by a commercial building and was a part of open field named "Fiesta Park." As per a building permit dated 1913 the subject site was redeveloped with the present day commercial building. The subject building was generally occupied by hotel and retail stores throughout.
  - ▶ It was Alpha's opinion, that no further investigation related to soil or groundwater is warranted at this time, if the site was to be re-used for commercial purposes similar to its past/present use. However, the subject site was located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the Los Angeles city's general methane mitigation requirements.
- A former Phase I ESA was conducted by AEI Consultants for the subject property (1220 South Hope Street - APN 5139-022-003), dated May 15, 2006. AEI concluded the following:
  - ▶ Based on review of historical sources, the subject property was developed with the warehouse building in 1918. Throughout its history, the subject property was generally used as a store and a warehouse. From at least 1950 to circa 1955, the subject property was used as a machine shop.
  - ▶ The occupancy of the property by a machine shop represented an environmental issue. However, based on the short period of time the machine shop was located on-site

(approximately 5 years), the former storage and use of hazardous materials on the subject property was not expected to represent a significant environmental concern.

- ▶ AEI recommended no further investigations for the subject property at that time.

***Reconnaissance:***

- The subject property is improved with four contiguous commercial/industrial buildings along with an associated asphalt-paved parking lot.
  - ▶ The northern most building (1220 South Hope Street) and the contiguous building to the south (1224 South Hope Street) consist of an industrial warehouse buildings and a small office area. The buildings are currently being used as clothing distribution warehouses.
  - ▶ The next contiguous property to the south (1240 South Hope Street) consists of an industrial warehouse building and associated parking lot. The associated asphalt-paved parking lot, situated to the southeast of the building, is also used for public parking purposes. Several patches were noted on the northeast portion of the associated parking lot.
  - ▶ The last contiguous land parcel to the south (1246-1248 West Pico Boulevard) consists of a multi-story commercial building (hotel with ground floor store fronts). The hotel consists of four stories and a partial basement level, located along the west portion of the building. The subject building was vacant at the time of Alpha's Site reconnaissance.
  - ▶ The surrounding properties generally consist of commercial (retail) buildings and construction sites. No significant environmental concerns were identified during our Site and adjacent property reconnaissance.

***Interviews:***

- No significant environmental concerns were identified as a result of the interviews conducted during this ESA.

***Records Review:***

- The Site is listed on multiple databases researched by Environmental Data Resources, Inc., including: EDR US Hist Auto Stat and RCRA-SQG. These databases are generally related to the former on-Site gasoline station (427 West Pico Boulevard), former auto repair operations (1220 South Hope Street), and the former occupancy of the Site (1240 South Hope Street) by a book binding company.
- Records reviewed from the City of Los Angeles Bureau of Sanitation included an application for an industrial waste permit for a non-destructive testing laboratory, located at 1248 South Hope Street. The permit indicates 550-gallons per day of cutting oils will be generated and treated via a three compartment clarifier. The permit also indicates the laboratory was not yet installed at the time of application (1965).

- Records reviewed from the LACPHI included several inspections reports (1976-1984), a hazardous waste control program file, and a hazardous waste producer survey for the “Bookbinders Company,” located at 1240 South Hope Street. The records indicate the generation of waste oil through the use of several machines (side stitching, hole punch, move folding, compressor, etc.). The records further indicate the use of typewash (solvent) to clean the machinery and the generation of approximately 15 gallons of waste solvent per month. A record lists the raw materials used by the business as paper, white glue, Safety Kleen solvent, hot melt adhesive, and typewash.

***Historical Use Records:***

- Our historical review, extending back to 1890, indicated that the Site was improved with a single-family dwelling in 1890. By 1906, the subject property comprised a portion of a park. By 1913, the subject property was improved with the present-day commercial hotel building (1246-1248 South Hope Street). In 1918, the subject property was developed with three contiguous industrial (warehouse) buildings (1220-1240 South Hope Street), completing the present-day configuration of the Site. The subject property has been occupied for various commercial/industrial uses throughout until the present day. Former occupants have included several auto repair businesses, various electrical wholesale distributors, a wholesale photographic supplies company, a book binding business, a grocery store, a car wash, a gas station, a leather goods store, and a restaurant, among others. No significant environmental concerns were identified related to former Site occupants, except for the historical occupancy of the Site by a car wash and service station from approximately 1923-1929 and 1931-1942, respectively, and a book binding company from approximately 1961-1990.



## 11.0 CONCLUSION AND RECOMMENDATIONS

We have performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-13 of 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California, the Site/subject property. Any exceptions to, or deletions from this practice are described in section 1.3 - 1.6 of this report. This assessment has revealed no evidence of RECs in connection with the subject property, except for:

- The former occupancy of the Site (427 Pico Boulevard) by a car wash (from at least 1923 to 1929) and a gasoline service station from 1931 to 1942 represents an REC, related to the lack of records to demonstrate the absence of former USTs and associated contamination from potential leaks from the USTs, dispensers, underground piping, and former clarifiers commonly associated with car washing operations.
- Subsurface media (soil/soil vapor/groundwater) may have been impacted by potential on-Site sources of hazardous substances such as petroleum products and solvents from previous on-Site activities (book binding for approximately 30 years).

Based on the findings of this Phase I ESA, it is Alpha's opinion that a limited Phase II investigation is warranted at this time to demonstrate the absence of USTs, hoists or clarifiers and verify subsurface soil conditions at the Site. The limited Phase II investigation should include a geophysical survey, a soil vapor survey, and soil sampling in the areas of concern.

## 12.0 REFERENCES

### 12.1 Regulatory Records and Public Documents

- City of Los Angeles Department of Building and Safety, visited on August 11, 2015.
- City of Los Angeles Fire Department – UST and HAZMAT Divisions, contacted on July 21, 2015.
- Los Angeles City Department of Public Works - Bureau of Sanitation, contacted on July 21, 2015.
- Los Angeles County Public Health Investigation, contacted on July 21, 2015.
- South Coast Air Quality Management District, contacted on July 21, 2015.
- California Regional Water Quality Control Board, contacted on July 21, 2015.
- Division of Oil, Gas, and Geothermal Resources online Well Finder database.

### 12.2 Published References

- EDR Radius Map Report with GeoCheck, dated August 5, 2015.
- EDR City Directory Abstract, dated August 5, 2015.
- EDR Certified Sanborn Map Report, dated August 5, 2015.
- Property Profile Report obtained from Los Angeles County Assessor's Office.
- Phase I Environmental Site Assessment, prepared by AEI Consultants for the subject property (1220 South Hope Street), dated May 15, 2006.
- Phase I Environmental Site Assessment, prepared by Alpha Environmental for the subject property (1224 South Hope Street), dated December 13, 2005.
- Phase I Environmental Site Assessment, prepared by AEI Consultants for the subject property (1240 South Hope Street), dated August 30, 2005.
- Phase I Environmental Site Assessment, prepared by Alpha Environmental for the subject property (1246-1248 South Hope Street), dated December 13, 2005.
- Geologic Map of California, Los Angeles , published 1969 (Sixth printing 1991).
- U.S. Geological Survey, Hollywood, California, quadrangle - 7.5-minute series topographic map.

## 13.0 ENVIRONMENTAL PROFESSIONALS

### 13.1 Environmental Professional(s) Signature(s)

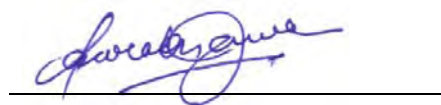
This Phase I ESA Report documents the results of the all appropriate inquiries investigation which was conducted under the supervision and/or responsible charge of an environmental professional, as per EPA's Final Rule. This inquiry of the environmental professional took into account *commonly known or reasonably ascertainable information about the subject property*, (§ 312.30), *the degree of obviousness of the presence or likely presence of contamination at the property*, and *the ability to detect the contamination by appropriate investigation* (§ 312.31) and includes the requirements as set forth in CERCLA section 101(35)(B)(iii).

### 13.2 Environmental Professional(s) Qualification(s)

This investigation included a Site reconnaissance, observation of neighboring properties, hydrogeological, and historical research. This investigation was performed by Christopher Evans, Project Environmental Geologist, under the direct supervision and/or responsible charge of the Environmental Professional, Saurabh Jawa, Senior Environmental Engineer. They are employed by Alpha Environmental and are properly trained and licensed to perform these functions. Mr. Evans has a Bachelor's degree in Geology, and Mr. Jawa has a Bachelor's degree in Environmental Engineering and a Master's degree in Business Administration. He has 25 years of experience in the environmental field that includes conducting Phase I, II, and III Environmental Site assessments.

"I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in §312.10 of this part."

"I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 No CFR Part 312."



**Saurabh Jawa**  
**Project Manager/Senior Environmental Engineer**

## 14.0 LIABILITY RELEASE

The conclusions presented in this report are professional opinions based solely upon indicated data described in this report, visual observations of the Site and vicinity, and our interpretation of the available historical information and documents reviewed, as described in this report. They are intended exclusively for the purpose outlined herein and the site locations and project indicated. This report is intended for the sole use of the Client. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or reuse of this documents or the findings, conclusions, or recommendations presented herein is at the sole risk of said user.

It should be recognized that this study was not intended to be a definitive investigation of contamination at the subject property and the conclusions provided are not necessarily inclusive of all the possible conditions. Given that the scope of services for this investigation was limited and that exploratory borings, soil and/or groundwater sampling or analytical testing were not undertaken, it is possible that currently unrecognized subsurface contamination may exist at the Site. Alpha Environmental makes no representations regarding the value or marketability of the Site or the suitability for any particular use, and none should be inferred based on this Report.

This Environmental Site Assessment report has been prepared to report information of the obvious general environmental condition and hazardous waste present on the property. The information in this report is based upon the observations and sound engineering judgments according to prevailing standard of care at the time of the Environmental Site Assessment. Based on the apparent conditions of the facility uncovered during investigation and record searches, no representation, warranties, or guarantees either expressed or implied are given with respect to concealed or latent problems on the Site.

## **15.0 CONFIDENTIALITY**

Alpha Environmental agrees to hold the information contained in this report or any portion thereof, confidential. This report or information contained herein will not be released to any party except as required by law, without consent from the client. Upon the approval of the client the report may be issued to any interested party.



*FIGURES*



118°17.000' W

118°16.000' W

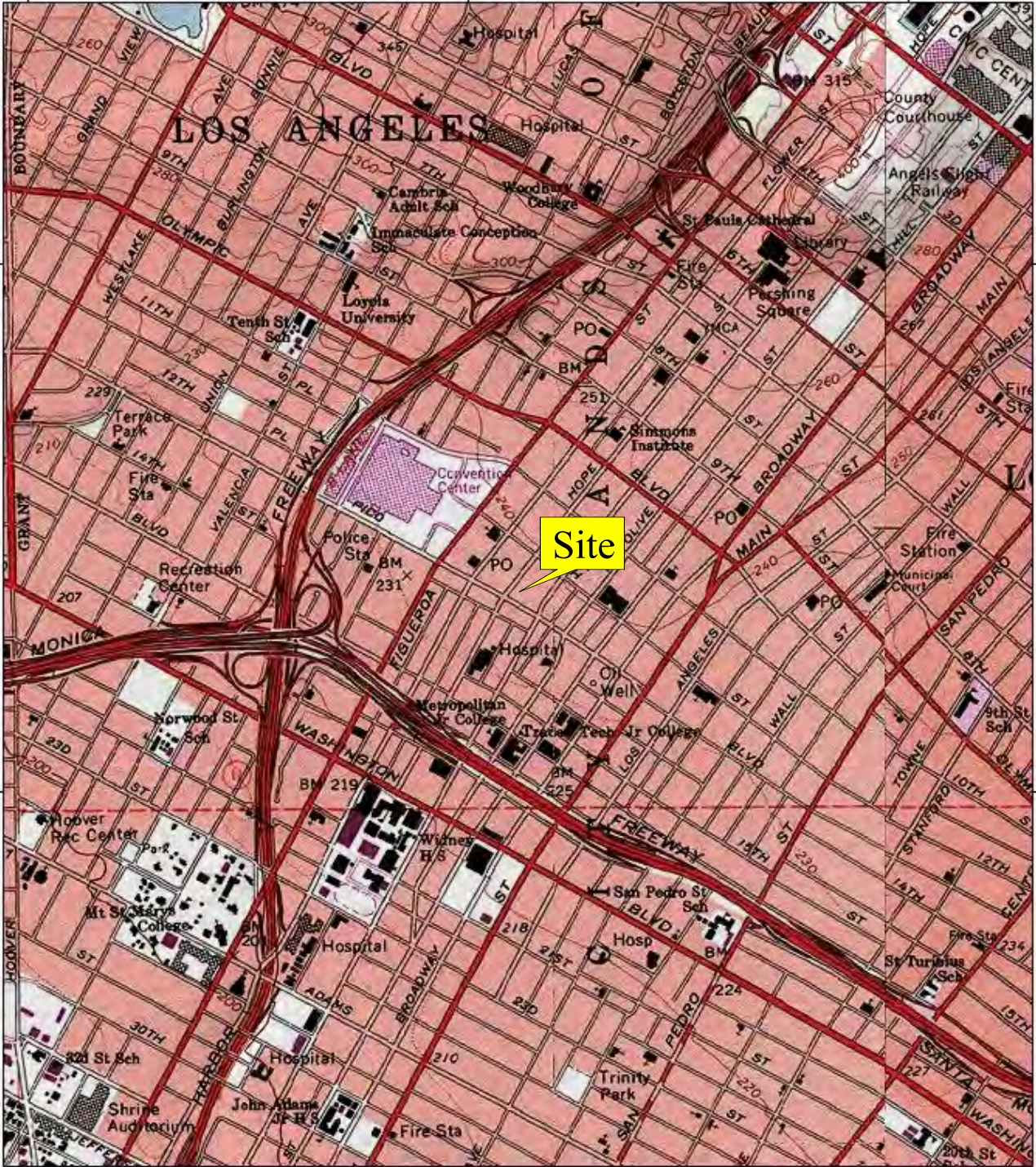
WGS84 118°15.000' W

34°03.000' N

34°03.000' N

34°02.000' N

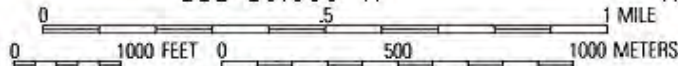
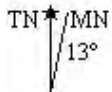
34°02.000' N



118°17.000' W

118°16.000' W

WGS84 118°15.000' W



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**1220-1246 South Hope Street and  
427 West Pico Boulevard  
Los Angeles, California 90015**

**ALPHA ENVIRONMENTAL**  
21818 Craggy View Street, Suite 203  
Chatsworth, California 91311

**SITE LOCATION  
MAP**

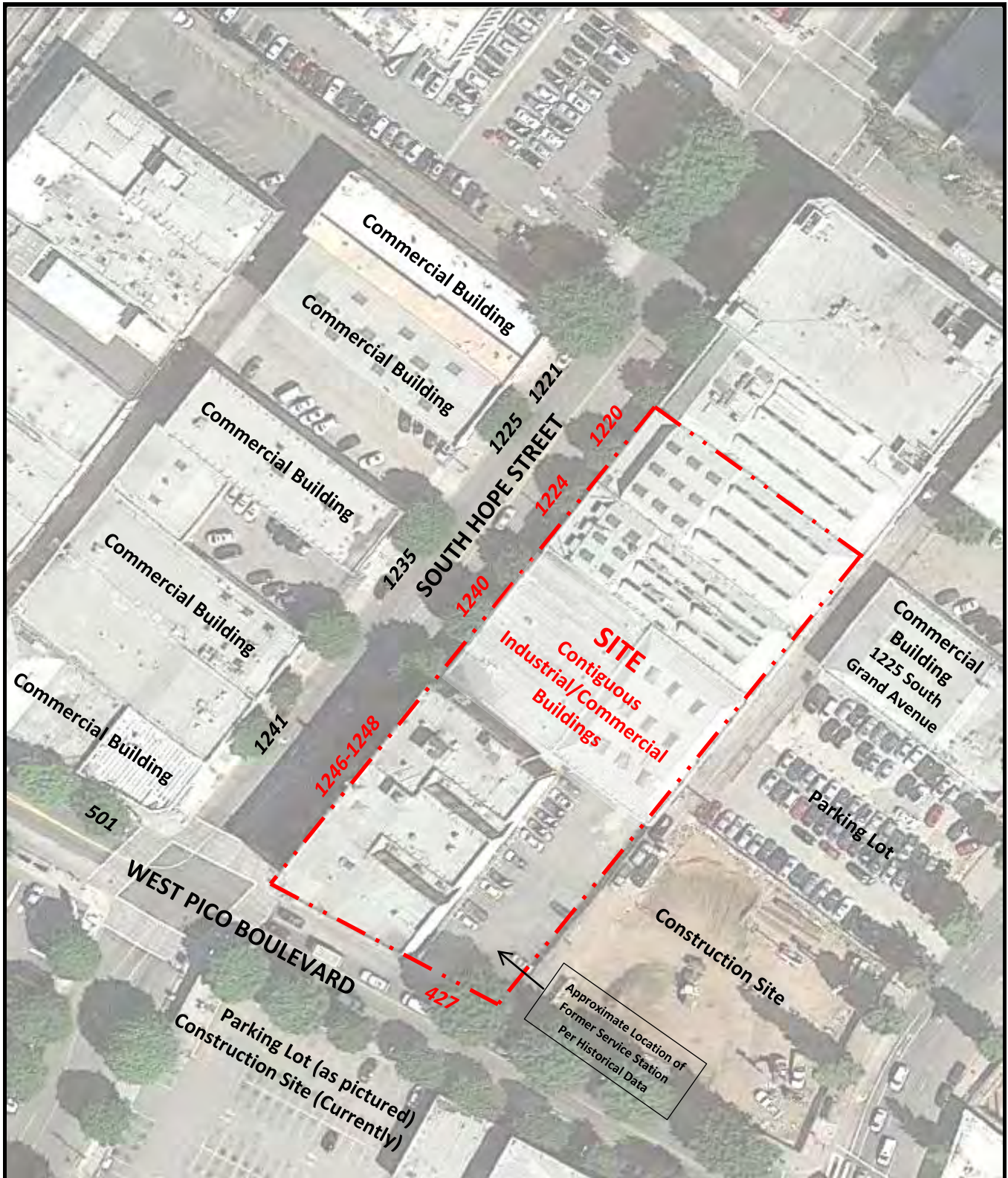


**FIGURE**

**1**

SOURCE: USGS Hollywood (1994)  
USGS Los Angeles(1994)  
7.5 Minute Series Topographic Maps





Site: 1220-1246 South Hope Street and 427  
 West Pico Boulevard  
 Los Angeles, California 90015



ALPHA ENVIRONMENTAL  
 21818 Craggy View Street, Suite 203  
 Chatsworth, CA 91311

Figure 2

Aerial Photo Map

Source: Google Earth (2015 image)





*APPENDIX A*  
*Facility Photographs*

**Photographs:** 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California 90015



1. **Site:** View of the Site (industrial warehouse buildings and commercial hotel building), looking south across South Hope Street.



2. **Site Exterior:** View of the public parking lot associated with 1240 South Hope Street (red building), looking northeast from West Pico Boulevard.



3. **Site Exterior:** View of several patches noted on the northeast corner of the public parking lot associated with 1240 South Hope Street.



4. **Site Interior:** View of a portion of the clothing distribution storage area located within 1220 and 1224 South Hope Street.

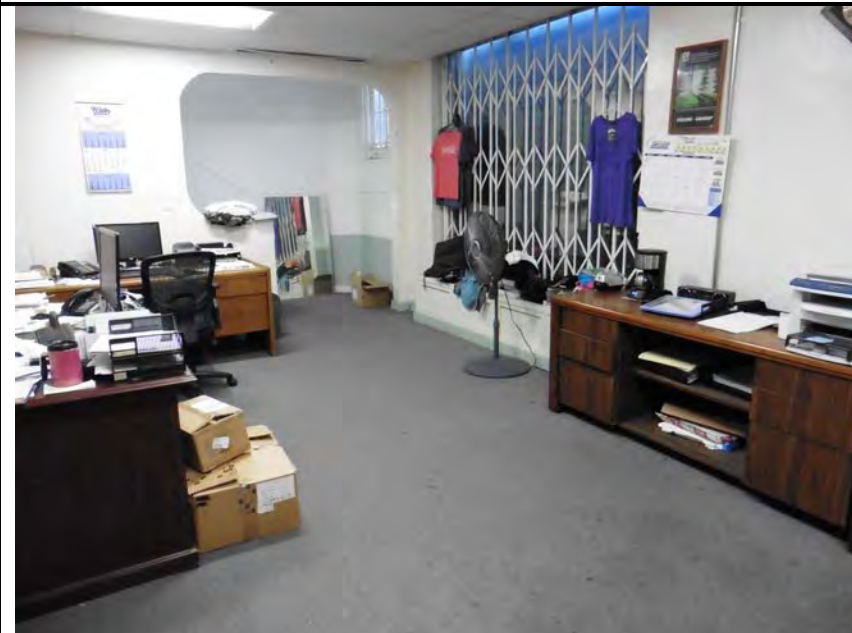




5. **Site Interior:** Additional view of the clothing distribution warehouse area.



6. **Site Interior:** View of a small floor drain located in 1220 South Hope Street.



7. **Site Interior:** View of the office area located within 1224 South Hope Street.



8. **Site Interior:** View of the public parking area located within 1240 South Hope Street.





9. **Site Interior:** View of an office area located within 1240 South Hope Street.



10. **Site Interior:** View of a vacant commercial space, located within 1246-1248 South Hope Street.



11. **Site Interior:** View of the basement area, located on the west side of 1246-1248 South Hope Street.



12. **Site Interior** View of a vacant residential room, located within 1246-1248 South Hope Street.





13. **Northeast Adjacent:** Commercial building (1210 South Hope Street), looking southwest from South Hope Street.



14. **Southeast Adjacent:** Commercial building (1225 South Grand Avenue), looking northeast from South Grand Avenue.



15. **Southeast Adjacent:** View of a construction site, located on the southern portion of the southeast adjacent property.



16. **Southwest Adjacent:** View of an additional construction site, looking south from West Pico Boulevard.





17. **Northwest Adjacent:** Commercial buildings, located at (from left to right) 1225 and 1221 South Hope Street, looking northwest.



18. **Northwest Adjacent:** Commercial building, located at 1235 South Hope Street, looking northwest.



19. **Northwest Adjacent:** Commercial building, located at 1241 South Hope Street, looking northwest.



20. **Northwest Adjacent:** Commercial building, located at 501 West Pico Boulevard, looking west.



*APPENDIX B*  
*User Provided Information*

**UPDATE #2**



625 The City Drive, Suite 150, Orange, CA 92868  
(714)748-7000

Eric Rustigian  
Glen Oaks Escrow-Glendale  
6100 San Fernando Road  
Glendale, CA 91201

Customer Reference: 1240 South Hope Street

Order Number: 76417 (MK)

Title Officer: Mike Kovacs  
Phone: (714)748-7000  
Fax No.: (714)852-4097  
E-Mail: kovacsteam@westernresourcetitle.com

Buyer:  
Owner: Pico Venture LTD LLC  
Property: **1220-1246 South Hope Street  
Los Angeles, CA**

**PRELIMINARY REPORT**

First American Title Insurance Company

In response to the above referenced application for a policy of title insurance, this company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.

The printed Exceptions and Exclusions from the coverage of said Policy or Policies are set forth in Exhibit A attached. Copies of the Policy forms should be read. They are available from the office which issued this report.

**Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.**

**It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.**

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.



Dated as of April 13, 2015 at 7:30 A.M.

The form of Policy of title insurance contemplated by this report is:

ALTA Ext Loan Policy 1056.06 (1) (2006)  
ALTA Std Owner Policy 1402.06 (2006)

A specific request should be made if another form or additional coverage is desired.

Title to said estate or interest at the date hereof is vested in:

**PICO VENTURE LTD, LLC., A CALIFORNIA LIMITED LIABILITY COMPANY, AS TO  
PARCELS A, B, C, AND D**

**HOPE PICO COMPANY, A CALIFORNIA LIMITED LIABILITY COMPANY, AS TO PARCEL  
E**

The estate or interest in the land hereinafter described or referred to covered by this Report is:

**A fee as to Parcels A, B, C, D and E, an easement as to Parcels B1 and E1**

The Land referred to herein is described as follows:

(See attached Legal Description)

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in said policy form would be as follows:

1. General and special taxes and assessments for the fiscal year 2015-2016, a lien not yet due or payable.
2. General and special taxes and assessments for the fiscal year 2014-2015.

First Installment:	\$12,559.84, PAID
Penalty:	\$0.00
Second Installment:	\$12,559.84, PAID
Penalty:	\$0.00
Tax Rate Area:	44-13264
A. P. No.:	5139-022-003

Affects Parcel A

3. General and special taxes and assessments for the fiscal year 2014-2015.

First Installment: \$10802.59, PAID  
Penalty: \$0.00  
Second Installment: \$10802.58, PAID  
Penalty: \$0.00  
Tax Rate Area: 44-13264  
A. P. No.: 5139-022-004

Affects Parcel B

4. General and special taxes and assessments for the fiscal year 2014-2015.

First Installment: \$35739.13, PAID  
Penalty: \$0.00  
Second Installment: \$35739.12, PAID  
Penalty: \$0.00  
Tax Rate Area: 44-13264  
A. P. No.: 5139-022-016

Affects Parcel C

5. General and special taxes and assessments for the fiscal year 2014-2015.

First Installment: \$9552.93, PAID  
Penalty: \$0.00  
Second Installment: \$9552.93, PAID  
Penalty: \$0.00  
Tax Rate Area: 44-13264  
A. P. No.: 5139-022-017

Affects Parcel D

6. General and special taxes and assessments for the fiscal year 2014-2015.

First Installment: \$12058.59, PAID  
Penalty: \$0.00  
Second Installment: \$12058.58, PAID  
Penalty: \$0.00  
Tax Rate Area: 44-13264  
A. P. No.: 5139-022-006

Affects Parcel E

7. The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.

8. The lien of a Special Tax resulting from the inclusion of the property in a Mello-Roos Community Facilities District and the sale of bonds by the district.

9. The lien of bonds and assessment liens, if applicable, collected with the general and special taxes.

**MATTERS AFFECTS PARCELS A, B, C AND D**

10. Any rights which may exist or arise by reason of a party wall on the Northeasterly and Southwesterly line of Lot 3, as disclosed by the showing on the map of Tract No. 17683, of the "center line of 1.08 feet wide brick wall."
11. Any rights which may exist or arise by reason of a party wall on the Northeasterly and Southwesterly line of Lot 4, and Northwesterly line of Lot 5, as disclosed by the showing on the map of Tract No. 17683, of the "center line of 1.08 feet wide brick wall."
12. A subsurface oil and gas lease, executed by Francis J. Montgomery as lessor and Standard Oil Company of California, a corporation as lessee, recorded June 16, 1961 as Book M-792 Page 347 of Official Records, affecting the land lying below a depth of 500 feet from the surface thereof, without the right of surface entry.

Defects, liens, encumbrances or other matters affecting the leasehold estate, whether or not shown by the public records.

13. An easement for ingress and egress to a loading door and incidental purposes in the document recorded January 9, 1964 as Instrument No. 1964-1511 of Official Records.

**MATTER AFFECTS PARCEL E**

14. An easement for public utilities and incidental purposes in the document recorded January 9, 1964 as Instrument No. 1964-1511 of Official Records.
15. Covenants, conditions, restrictions and easements in the document recorded August 29, 1997 as Instrument No. 1997-1348597 of Official Records, which provide that a violation thereof shall not defeat or render invalid the lien of any first mortgage or deed of trust made in good faith and for value, but deleting any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, sexual orientation, familial status, disability, handicap, national origin, genetic information, gender, gender identity, gender expression, source of income (as defined in California Government Code § 12955(p)) or ancestry, to the extent such covenants, conditions or restrictions violation 42 U.S.C. § 3604(c) or California Government Code § 12955. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.
16. Easements, covenants and conditions contained in the deed, recorded August 29, 1997 as Instrument No. 1348597 of Official Records. Reference being made to said document for full particulars.

Affects Parcel E only

17. The terms and provisions contained in the document entitled "Memorandum summarizing non-confidential provision of notice of intention to withdraw accomodation from rent or lease" recorded June 6, 2005 as Instrument No. 20051313387 of Official Records.

Affects Parcel E only

18. The terms and provisions contained in the document entitled "Notice of temporary vacant and secured rental units" recorded August 7, 2012 as Instrument No. 2012-1165493 of Official Records.

Affects Parcel E only

19. The terms and provisions contained in the document entitled "Notice of residential hotel status determination" recorded July 12, 2013 as Instrument No. 2013-01029369, July 24, 2013 as Instrument No. 2013-01088890 and August 6, 2013 as Instrument No. 2013-1154425, all of Official Records.

Affects Parcel E only

20. A financing statement recorded March 13, 2006 as Instrument No. 06-0534327 of Official Records.

Debtor: Pico Venture LTD, LLC  
Secured party: United Commercial Bank

Affects Parcel C only

A continuation statement was recorded September 20, 2010 as Instrument No. 2010-01327374 of Official Records.

21. A Deed of Trust to secure an original indebtedness of \$10,900,000.00 recorded October 1, 2013 as Instrument No. 2013-1418857 of Official Records.

Dated: SEPTEMBER 18, 2013  
Trustor: PICO VENTURE LTD, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND BY HOPE PICO COMPANY, LIMITED LIABILITY COMPANY, A CALIFORNIA LIMITED LIABILITY COMPANY  
Trustee: FIDELITY NATIONAL TITLE COMPANY  
Beneficiary: HIC ACCEPTANCE LLC., A CALIFORNIA LIMITED LIABILITY COMPANY

22. A Deed of Trust to secure an original indebtedness of \$3,000,000.00 recorded February 10, 2006 as Instrument No. 2006-318394 of Official Records.

Dated: FEBRUARY 8, 2006  
Trustor: HOPE PICO COMPANY, LLC  
Trustee: FIDELITY NATIONAL TITLE INSURANCE COMPANY  
Beneficiary: REGENCY PROPERTIES, LLC AN INDIANA LIMITED LIABILITY COMPANY

Affects Parcel E only

According to the public records, the beneficial interest under the deed of trust was assigned to PHOENIX MORTGAGE CORPORATION by assignment recorded August 16, 2013 as Instrument No. 2013-1207381 of Official Records.

A document recorded October 1, 2013 as Instrument No. 2013-1418858 of Official Records provides that the lien or charge of the deed of trust was subordinated to the lien or charge of the deed of trust recorded October 1, 2013 as Instrument No. 2013-1418857 of Official Records.

23. The effect of a document entitled "Notice for Temporary Vacant and Secured Rental Units", recorded January 30, 2015 as Instrument No. 2015-0112404 of Official Records.
24. Rights of parties in possession.
25. With respect to PICO VENTURE LTD, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY:
  - a. A copy of its operating agreement and any amendments thereto;
  - b. If it is a California limited liability company, that a certified copy of its articles of organization (LLC-1) and any certificate of correction (LLC-11), certificate of amendment (LLC-2), or restatement of articles of organization (LLC-10) be recorded in the public records;
  - c. If it is a foreign limited liability company, that a certified copy of its application for registration (LLC-5) be recorded in the public records;
  - d. With respect to any deed, deed of trust, lease, subordination agreement or other document or instrument executed by such limited liability company and presented for recordation by the Company or upon which the Company is asked to rely, that such document or instrument be executed in accordance with one of the following, as appropriate:
    - (i) If the limited liability company properly operates through officers appointed or elected pursuant to the terms of a written operating agreement, such document must be executed by at least two duly elected or appointed officers, as follows: the chairman of the board, the president or any vice president, and any secretary, assistant secretary, the chief financial officer or any assistant treasurer;
    - (ii) If the limited liability company properly operates through a manager or managers identified in the articles of organization and/or duly elected pursuant to the terms of a written operating agreement, such document must be executed by at least two such managers or by one manager if the limited liability company properly operates with the existence of only one manager.
  - e. Other requirements which the Company may impose following its review of the material required herein and other information which the Company may require

26. With respect to HOPE PICO COMPANY, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY:
- a. A copy of its operating agreement and any amendments thereto;
  - b. If it is a California limited liability company, that a certified copy of its articles of organization (LLC-1) and any certificate of correction (LLC-11), certificate of amendment (LLC-2), or restatement of articles of organization (LLC-10) be recorded in the public records;
  - c. If it is a foreign limited liability company, that a certified copy of its application for registration (LLC-5) be recorded in the public records;
  - d. With respect to any deed, deed of trust, lease, subordination agreement or other document or instrument executed by such limited liability company and presented for recordation by the Company or upon which the Company is asked to rely, that such document or instrument be executed in accordance with one of the following, as appropriate:
    - (i) If the limited liability company properly operates through officers appointed or elected pursuant to the terms of a written operating agreement, such document must be executed by at least two duly elected or appointed officers, as follows: the chairman of the board, the president or any vice president, and any secretary, assistant secretary, the chief financial officer or any assistant treasurer;
    - (ii) If the limited liability company properly operates through a manager or managers identified in the articles of organization and/or duly elected pursuant to the terms of a written operating agreement, such document must be executed by at least two such managers or by one manager if the limited liability company properly operates with the existence of only one manager.
  - e. Other requirements which the Company may impose following its review of the material required herein and other information which the Company may require
27. Statements of information from all parties to the transaction.

<b>INFORMATIONAL NOTES</b>
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Note: The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than the certain dollar amount set forth in any applicable arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. If you desire to review the terms of the policy, including any arbitration clause that may be included, contact the office that issued this Commitment or Report to obtain a sample of the policy jacket for the policy that is to be issued in connection with your transaction.

The map attached, if any, may or may not be a survey of the land depicted hereon. First American expressly disclaims any liability for loss or damage which may result from reliance on this map except to the extent coverage for such loss or damage is expressly provided by the terms and provisions of the title insurance policy, if any, to which this map is attached.

1. This report is preparatory to the issuance of an ALTA Loan Policy. We have no knowledge of any fact which would preclude the issuance of the policy with CLTA endorsement forms 100 and 116 and if applicable, 115 and 116.2 attached.

When issued, the CLTA endorsement form 116 or 116.2, if applicable will reference a(n) Industrial Property known as 1220-1246 South Hope Street, Los Angeles, California.

2. According to the public records, there has been no conveyance of the land within a period of twenty-four months prior to the date of this report, except as follows:

None

SECTION 12413.1, CALIFORNIA INSURANCE CODE, COMMONLY KNOWN AS ASSEMBLY BILL 512, BECAME EFFECTIVE JANUARY 1, 1990. THIS LEGISLATION DEALS WITH THE DISBURSEMENT OF FUNDS DEPOSITED WITH ANY TITLE ENTITY ACTING IN AN ESCROW OR SUBESCROW CAPACITY. THE LAW REQUIRES THAT ALL FUNDS BE DEPOSITED AND COLLECTED BY THE TITLE ENTITY'S ESCROW AND/OR SUBESCROW ACCOUNT PRIOR TO DISBURSEMENT OF ANY FUNDS. SOME METHODS OF FUNDING MAY SUBJECT FUNDS TO A HOLDING PERIOD WHICH MUST EXPIRE BEFORE ANY FUNDS MAY BE DISBURSED. IN ORDER TO AVOID ANY SUCH DELAYS, ALL FUNDINGS SHOULD BE DONE THROUGH WIRE TRANSFER, CERTIFIED CHECK OR CHECKS DRAWN ON CALIFORNIA FINANCIAL INSTITUTIONS.

FOR YOUR CONVENIENCE, THE FOLLOWING IS WESTERN RESOURCES TITLE COMPANY WIRING INSTRUCTIONS:

EAST WEST BANK  
1900 AVENUE OF THE STARS  
LOS ANGELES, CA 90067

ABA ROUTING #322070381  
CREDIT WESTERN RESOURCES TITLE COMPANY  
TITLE TRUST ACCOUNT #83234005

REFERENCE: Mike Kovacs , TITLE OFFICER  
WRTC ORDER NO.: 76417

WHEN THIS ORDER CLOSSES AND WESTERN RESOURCES TITLE COMPANY HAS CLEARED FUNDS TO DISBURSE THROUGH SUBESCROW, WE WILL DEDUCT FROM LOAN PROCEEDS ALL TITLE CHARGES, TAXES, WIRE FEES, DELIVERY FEES AND \$25.00 PER DEMAND OVER TWO (2), IF ANY.

PRIVACY NOTICE (15 U.S.C. 6801 AND 16 CFR PART 313):

WE COLLECT NONPUBLIC PERSONAL INFORMATION ABOUT YOU FROM INFORMATION YOU PROVIDE ON FORMS AND DOCUMENTS AND FROM OTHER PEOPLE SUCH AS YOUR LENDER, REAL ESTATE AGENT, ATTORNEY, ESCROW, ETC. WE DO NOT DISCLOSE ANY NONPUBLIC PERSONAL INFORMATION ABOUT OUR CUSTOMERS OR FORMER CUSTOMERS TO ANYONE, EXCEPT AS PERMITTED BY LAW. WE RESTRICT ACCESS TO NONPUBLIC PERSONAL INFORMATION ABOUT YOU TO THOSE EMPLOYEES WHO NEED TO KNOW THAT INFORMATION IN ORDER TO PROVIDE PRODUCTS OR SERVICES TO YOU. WE MAINTAIN PHYSICAL, ELECTRONIC AND PROCEDURAL SAFEGUARDS THAT COMPLY WITH FEDERAL REGULATIONS TO GUARD YOUR NONPUBLIC PERSONAL INFORMATION.



**LEGAL DESCRIPTION**

Real property in the **City of Los Angeles**, County of **Los Angeles**, State of **California**, described as follows:

**PARCEL A:**

**LOT 3 OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429 PAGE(S) 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.**

**EXCEPT THEREFROM THAT PORTION OF SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE.**

**PARCEL B:**

**LOT 4 OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429 PAGES 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.**

**EXCEPT THEREFROM ALL OIL, GAS, AND MINERALS TYING BELOW A DEPTH OF 500 FEET MEASURED VERTICALLY FROM THE SURFACE OF SAID LAND, BUT WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN THE DEED RECORDED JANUARY 18, 1982 AS INSTRUMENT NO. 82-50530, OFFICIAL RECORDS.**

**PARCEL B1:**

**AS EASEMENT FOR PARTY WALL PURPOSES, MORE PARTICULARLY FOR REPAIR AND MAINTENANCE OF SUCH PARTY WALL, OVER THE SOUTHWEST 54/100 FEET OF LOT 3 OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429 PAGES 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.**

**PARCEL C:**

**LOT 5 OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429 PAGE(S) 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.**

**PARCEL C1:**

**THAT PORTION OF LOT 7, OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429 PAGE(S) 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING NORTHEASTERLY OF A STRAIGHT LINE BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 7 DISTANT SOUTHWESTERLY 66 FEET FROM THE NORTHERLY CORNER OF SAID LOT 7 AND EXTENDING TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 7 DISTANT SOUTHWESTERLY 62 FEET FROM THE EASTERLY CORNER OF SAID LOT 7.**

**EXCEPT THEREFROM ALL OIL, GAS AND MINERALS LYING BELOW A DEPTH OF 500 FEET MEASURED VERTICALLY FROM THE SURFACE OF SAID LAND, BUT WITHOUT THE RIGHT OF SURFACE ENTRY AS RESERVED IN DEEDS RECORDED DECEMBER 29, 1971 AS INSTRUMENT NO. 3638, 3639 3640, 3641, AND DECEMBER 30, 1971 AS INSTRUMENT NO. 4546, ALL OF OFFICIAL RECORDS.**

**PARCEL D:**

**THAT PORTION OF LOT 7, OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429 PAGE(S)47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING SOUTHWESTERLY OF A STRAIGHT LINE BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 7 DISTANT SOUTHWESTERLY 66 FEET FROM THE NORTHERLY CORNER OF SAID LOT 7 AND EXTENDING TO A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 7 DISTANT SOUTHWESTERLY 62 FEET FROM THE EASTERLY CORNER OF SAID LOT 7.**

**PARCEL E:**

**LOT 6 OF TRACT NO. 17683, AS PER MAP RECORDED IN BOOK 429, PAGES 47 AND 48 OF MAPS , IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY .**

**EXCEPT THEREFROM ALL OIL, GAS AND MINERALS LYING BELOW A DEPTH OF 500 FEET VERTICALLY FROM THE SURFACE OF SAID LAND, BUT WITHOUT THE RIGHT OF SURFACE ENTRY IN DEED RECORDED JANUARY 9, 1964, AS INSTRUMENT NO. 1511 OF OFFICIAL RECORDS .**

**PARCEL E1:**

**AN EASEMENT FOR INGRESS AND EGRESS TO A LOADING DOOR LOCATED IN THE SOUTHEASTERLY SIDE OF THE EXISTING STRUCTURE OF LOT 6 OF TRACT NO. 17683, OVER AND ACROSS THE SOUTHWESTERLY 15 FEET OF THE NORTHEASTERLY 42.5 FEET LOT 7 OF TRACT NO. 17683, A LIKE EASEMENT OVER AND ACROSS THE SOUTHWESTERLY 15 FEET OF THE NORTHEASTERLY 99 FEET OF SAID LOT 7, AND A LIKE EASEMENT OVER AND ACROSS THE NORTHWESTERLY 5 FEET OF THE SOUTHWESTERLY 18.5 FEET OF THE NORTHEASTERLY 84 FEET OF SAID LOT 7, SAID EASEMENT SHALL TERMINATE IN THE EVENT THE EXISTING FOUR-STORY HOTEL STRUCTURE ON SAID LOT 6, AS REMOVED OR IN THE EVENT A STRUCTURE IS BUILT ON SAID LOT 7, THAT WILL PREVENT ACCESS TO EITHER OF THE LOADING DOORS REACHED BY SAID EASEMENTS.**

**APN: 5139-022-003 and 5139-022-004 and 5139-022-016 and 5139-022-017 and 5139-022-006**

**EXHIBIT A  
LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS (BY POLICY TYPE)**

**CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (02-03-10)  
EXCLUSIONS**

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
  - (a) building;
  - (b) zoning;
  - (c) land use;
  - (d) improvements on the Land;
  - (e) land division; and
  - (f) environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
  - (a) that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
  - (b) that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
  - (c) that result in no loss to You; or
  - (d) that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
5. Failure to pay value for Your Title.
6. Lack of a right:
  - (a) to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
  - (b) in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

**LIMITATIONS ON COVERED RISKS**

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows: For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

<b><u>Your Deductible Amount</u></b>	<b><u>Our Maximum Dollar Limit of Liability</u></b>
Covered Risk 16: 1% of Policy Amount or \$2,500.00 (whichever is less)	\$10,000.00
Covered Risk 18: 1% of Policy Amount or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 19: 1% of Policy Amount or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 21: 1% of Policy Amount or \$2,500.00 (whichever is less)	\$5,000.00

**ALTA RESIDENTIAL TITLE INSURANCE POLICY (6-1-87)  
EXCLUSIONS**

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning:
  - (a) and use
  - (b) improvements on the land

- (c) and division
- (d) environmental protection

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date.  
This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.

2. The right to take the land by condemning it, unless:
  - (a) a notice of exercising the right appears in the public records on the Policy Date
  - (b) the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking
3. Title Risks:
  - (a) that are created, allowed, or agreed to by you
  - (b) that are known to you, but not to us, on the Policy Date -- unless they appeared in the public records
  - (c) that result in no loss to you
  - (d) that first affect your title after the Policy Date -- this does not limit the labor and material lien coverage in Item 8 of Covered Title Risks
4. Failure to pay value for your title.
5. Lack of a right:
  - (a) to any land outside the area specifically described and referred to in Item 3 of Schedule A OR
  - (b) in streets, alleys, or waterways that touch your land

This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

**2006 ALTA LOAN POLICY (06-17-06)**  
**EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (i) the occupancy, use, or enjoyment of the Land;
  - (ii) the character, dimensions, or location of any improvement erected on the Land;
  - (iii) the subdivision of land; or
  - (iv) environmental protection;

or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
  - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
  - (b) not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
  - (a) a fraudulent conveyance or fraudulent transfer, or
  - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

**EXCEPTIONS FROM COVERAGE**

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

**2006 ALTA OWNER'S POLICY (06-17-06)**  
**EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (i) the occupancy, use, or enjoyment of the Land;
  - (ii) the character, dimensions, or location of any improvement erected on the Land;
  - (iii) the subdivision of land; or
  - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
  - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
  - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
  - (b) not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 or 10); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
  - (a) a fraudulent conveyance or fraudulent transfer, or
  - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

**EXCEPTIONS FROM COVERAGE**

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.

5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

**ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (07-26-10)**  
**EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
  - (i) the occupancy, use, or enjoyment of the Land;
  - (ii) the character, dimensions, or location of any improvement erected on the Land;
  - (iii) the subdivision of land; or
  - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.  
(b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
  - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
  - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 28); or
  - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11(b) or 25.
8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
  - (a) a fraudulent conveyance or fraudulent transfer, or
  - (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.

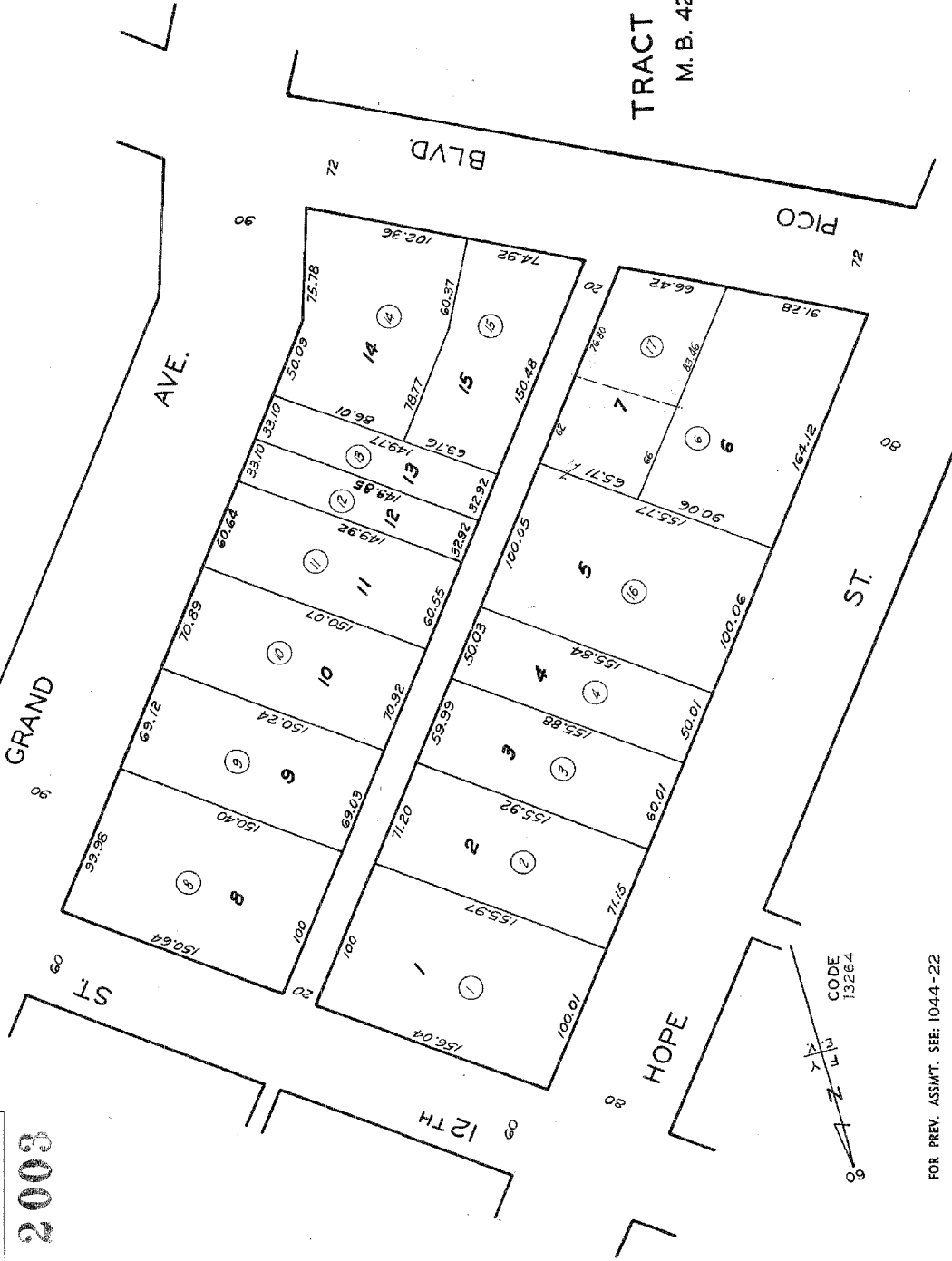
160160/2001  
25/22/05  
6043-88  
02/27/02

TRACT NO. 17683  
M. B. 429-47-48

ASSESSOR'S MAP  
COUNTY OF LOS ANGELES, CALIF.

5139 | 22  
SCALE 1" = 60'

2003



FOR PREV. ASSMNT. SEE: 1044-22







*APPENDIX C*  
*Property Profile Report*

## Parcel Details

- Property records are kept at the Headquarters Office
- How frequently is this site updated?  
(and other FAQs)

### Property Information

**Assessor's ID No:** 5139-022-003  
**Address:** 1220 S HOPE ST LOS ANGELES CA 90015  
**Property Type:** Commercial / Industrial  
**Region / Cluster:** 23 / 23810  
**Tax Rate Area (TRA):** 13264

- [View Assessor Map](#)
- [View Index map](#)

### Recent Sales Information

**Latest Sale Date:**  
**Indicated Sale Price:**

[Search for Recent Sales](#)

### 2014 Roll Values

**Recording Date:** 06/29/2006  
**Land:** \$1,810,000  
**Improvements:** \$80,000  
**Personal Property:** \$0  
**Fixtures:** \$0  
**Homeowners' Exemption:** \$0  
**Real Estate Exemption:** \$0  
**Personal Property Exemption:** \$0  
**Fixture Exemptions:** \$0

- [2014 Annual taxes](#)
- [Property tax payment FAQs](#)
- [Estimate supplemental taxes](#)

### Property Boundary Description


TRACT NO 17683 LOT 3

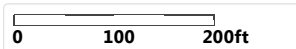
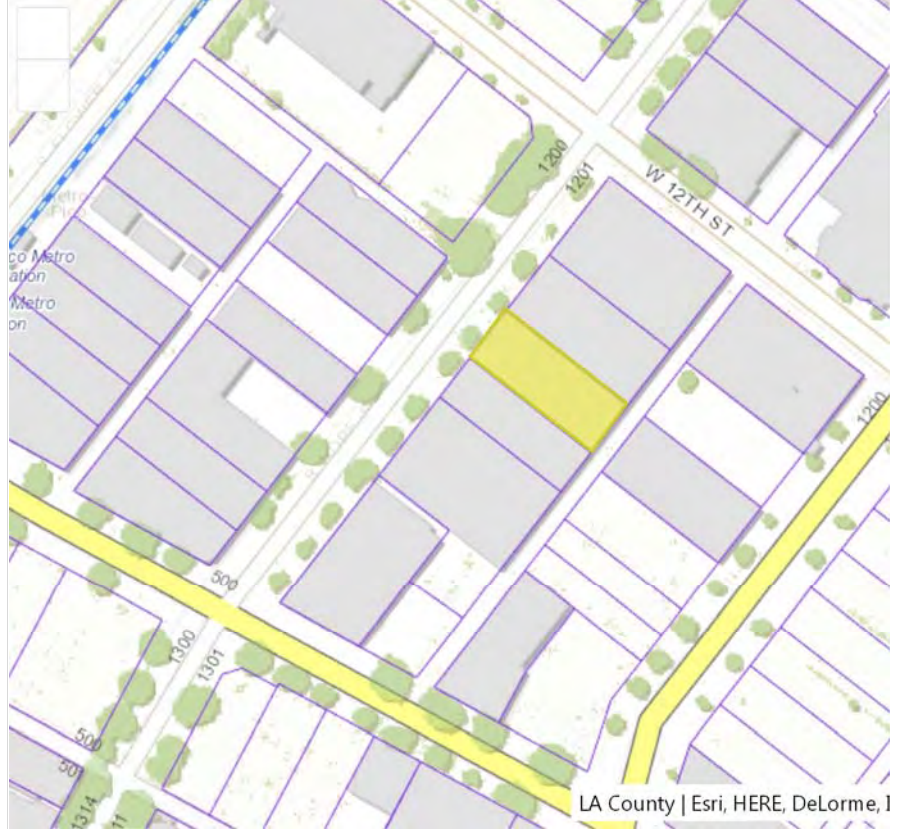
### Building Description

#### Building Improvement 1

**Square Footage:** 9,300  
**Year Build / Effective Year Built:** 1918 / 1918  
**Bedrooms / Bathrooms:** 0 / 0  
**Units:** 0

I want to...

 LACounty Street Map



## Parcel Details

- [Property records are kept at the Headquarters Office](#)
- [How frequently is this site updated?](#)  
(and other FAQs)

### Property Information

**Assessor's ID No:** 5139-022-004  
**Address:** 1224 S HOPE ST LOS ANGELES CA 90015  
**Property Type:** Commercial / Industrial  
**Region / Cluster:** 23 / 23810  
**Tax Rate Area (TRA):** 13264

- [View Assessor Map](#)
- [View Index map](#)

### Recent Sales Information

**Latest Sale Date:**  
**Indicated Sale Price:**

[Search for Recent Sales](#)

### 2014 Roll Values

**Recording Date:** 04/18/2006  
**Land:** \$1,580,000  
**Improvements:** \$50,000  
**Personal Property:** \$0  
**Fixtures:** \$0  
**Homeowners' Exemption:** \$0  
**Real Estate Exemption:** \$0  
**Personal Property Exemption:** \$0  
**Fixture Exemptions:** \$0

- [2014 Annual taxes](#)
- [Property tax payment FAQs](#)
- [Estimate supplemental taxes](#)

### Property Boundary Description


TRACT NO 17683 LOT 4

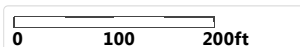
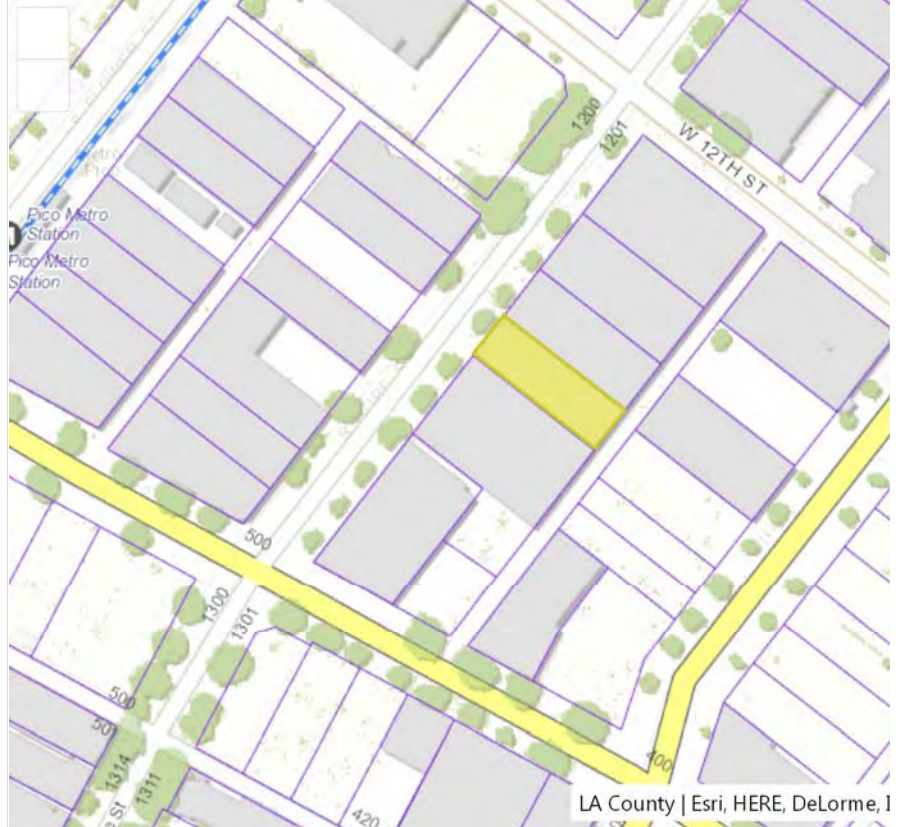
### Building Description

#### Building Improvement 1

**Square Footage:** 7,750  
**Year Build / Effective Year Built:** 1918 / 1918  
**Bedrooms / Bathrooms:** 0 / 0  
**Units:** 0

I want to...

 LACounty Street Map





## Parcel Details

- Property records are kept at the Headquarters Office
- How frequently is this site updated?  
(and other FAQs)

### Property Information

**Assessor's ID No:** 5139-022-016  
**Address:** 1240 S HOPE ST LOS ANGELES CA 90015  
**Property Type:** Commercial / Industrial  
**Region / Cluster:** 23 / 23810  
**Tax Rate Area (TRA):** 13264

- [View Assessor Map](#)
- [View Index map](#)

### Recent Sales Information

**Latest Sale Date:**  
**Indicated Sale Price:**

[Search for Recent Sales](#)

### 2014 Roll Values

**Recording Date:** 03/07/2006  
**Land:** \$5,495,943  
**Improvements:** \$63,540  
**Personal Property:** \$0  
**Fixtures:** \$0  
**Homeowners' Exemption:** \$0  
**Real Estate Exemption:** \$0  
**Personal Property Exemption:** \$0  
**Fixture Exemptions:** \$0

- [2014 Annual taxes](#)
- [Property tax payment FAQs](#)
- [Estimate supplemental taxes](#)

### Property Boundary Description


TRACT NO 17683 LOT 5 AND LOT COM AT MOST N COR OF LOT 7 TH SE ON NE LINE OF SD LOT TO SE LINE OF SD LOT TH SW THEREON 62 FT TH NW TO A PT IN NW LINE ... SEE MAPBOOK FOR MISSING PORTION ... LOT 7

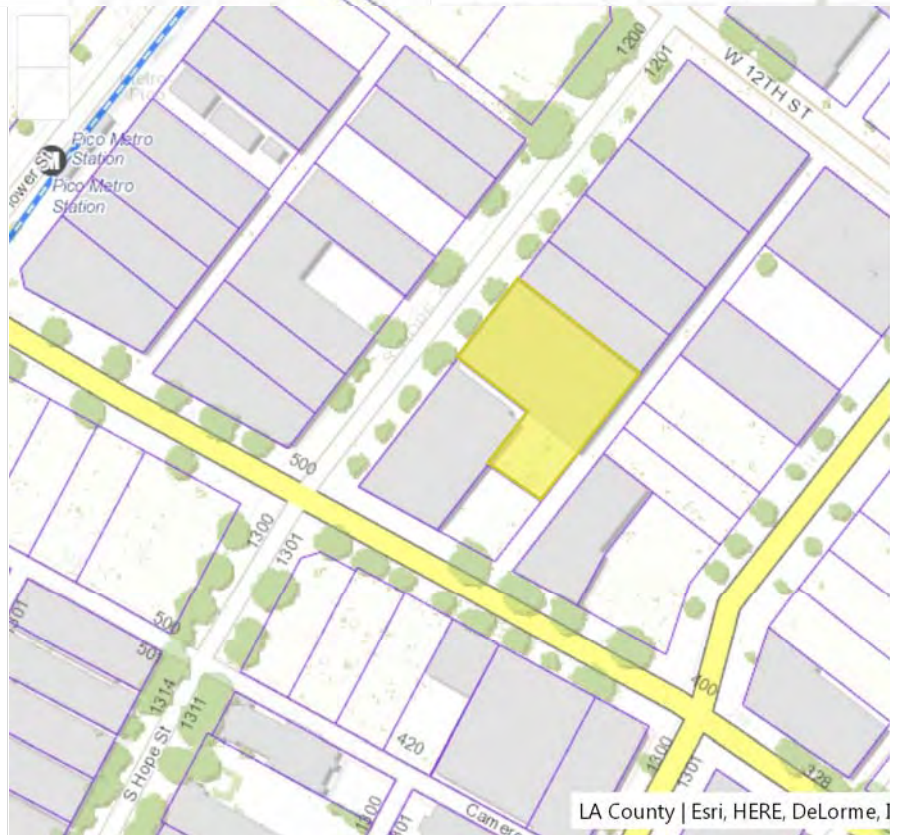
### Building Description

#### Building Improvement 1

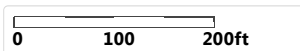
**Square Footage:** 15,500  
**Year Build / Effective Year Built:** 1918 / 1940  
**Bedrooms / Bathrooms:** 0 / 0  
**Units:** 0

I want to...

 LACounty Street Map



LA County | Esri, HERE, DeLorme, I



## Parcel Details

- Property records are kept at the Headquarters Office
- How frequently is this site updated?  
(and other FAQs)

### Property Information

**Assessor's ID No:** 5139-022-006  
**Address:** 1246 S HOPE ST LOS ANGELES CA 90015  
**Property Type:** Commercial / Industrial  
**Region / Cluster:** 23 / 23810  
**Tax Rate Area (TRA):** 13264

- [View Assessor Map](#)
- [View Index map](#)

### Recent Sales Information

**Latest Sale Date:**  
**Indicated Sale Price:**

[Search for Recent Sales](#)

### 2014 Roll Values

**Recording Date:** 08/29/1997  
**Land:** \$735,948  
**Improvements:** \$566,613  
**Personal Property:** \$0  
**Fixtures:** \$0  
**Homeowners' Exemption:** \$0  
**Real Estate Exemption:** \$0  
**Personal Property Exemption:** \$0  
**Fixture Exemptions:** \$0

- [2014 Annual taxes](#)
- [Property tax payment FAQs](#)
- [Estimate supplemental taxes](#)

### Property Boundary Description


TRACT NO 17683 LOT 6

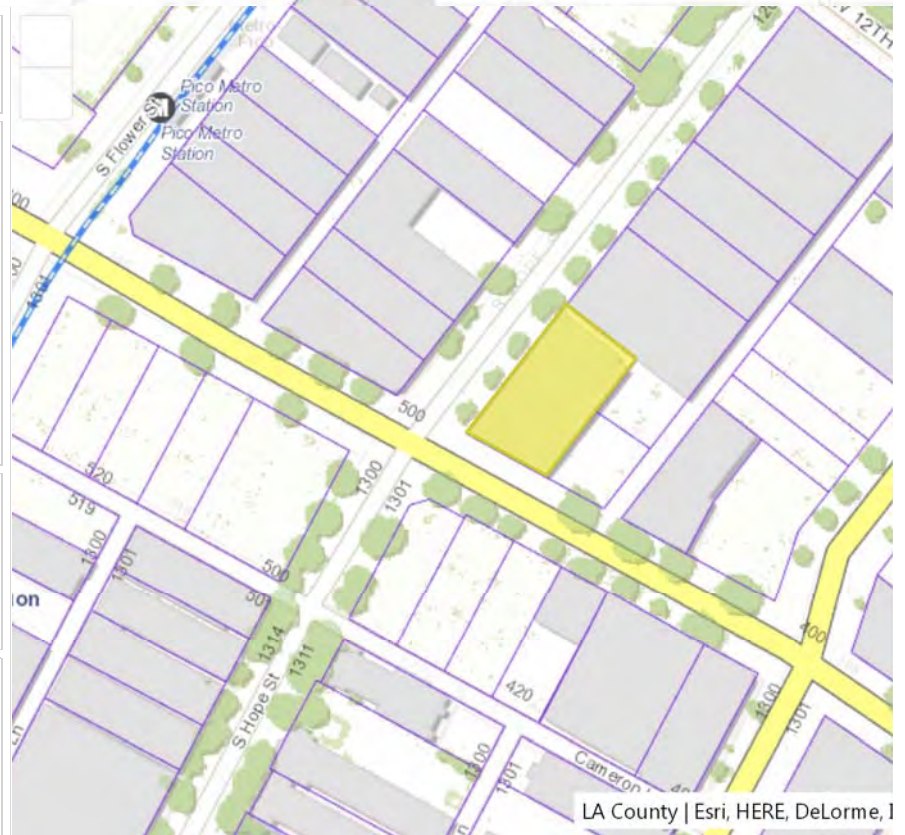
### Building Description

#### Building Improvement 1

**Square Footage:** 49,668  
**Year Build / Effective Year Built:** 1914 / 1914  
**Bedrooms / Bathrooms:** 0 / 0  
**Units:** 0

I want to...

 LACounty Street Map



0 100 200ft

## Parcel Details

- Property records are kept at the Headquarters Office
- How frequently is this site updated? (and other FAQs)

### Property Information

**Assessor's ID No:** 5139-022-017  
**Address:** Address Not Available  
**Property Type:** Commercial / Industrial  
**Region / Cluster:** 23 / 23810  
**Tax Rate Area (TRA):** 13264

- [View Assessor Map](#)
- [View Index map](#)

### Recent Sales Information

**Latest Sale Date:**  
**Indicated Sale Price:**

[Search for Recent Sales](#)

### 2014 Roll Values

**Recording Date:** 03/07/2006  
**Land:** \$1,465,955  
**Improvements:** \$2,784  
**Personal Property:** \$0  
**Fixtures:** \$0  
**Homeowners' Exemption:** \$0  
**Real Estate Exemption:** \$0  
**Personal Property Exemption:** \$0  
**Fixture Exemptions:** \$0

- [2014 Annual taxes](#)
- [Property tax payment FAQs](#)
- [Estimate supplemental taxes](#)

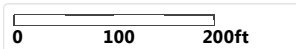
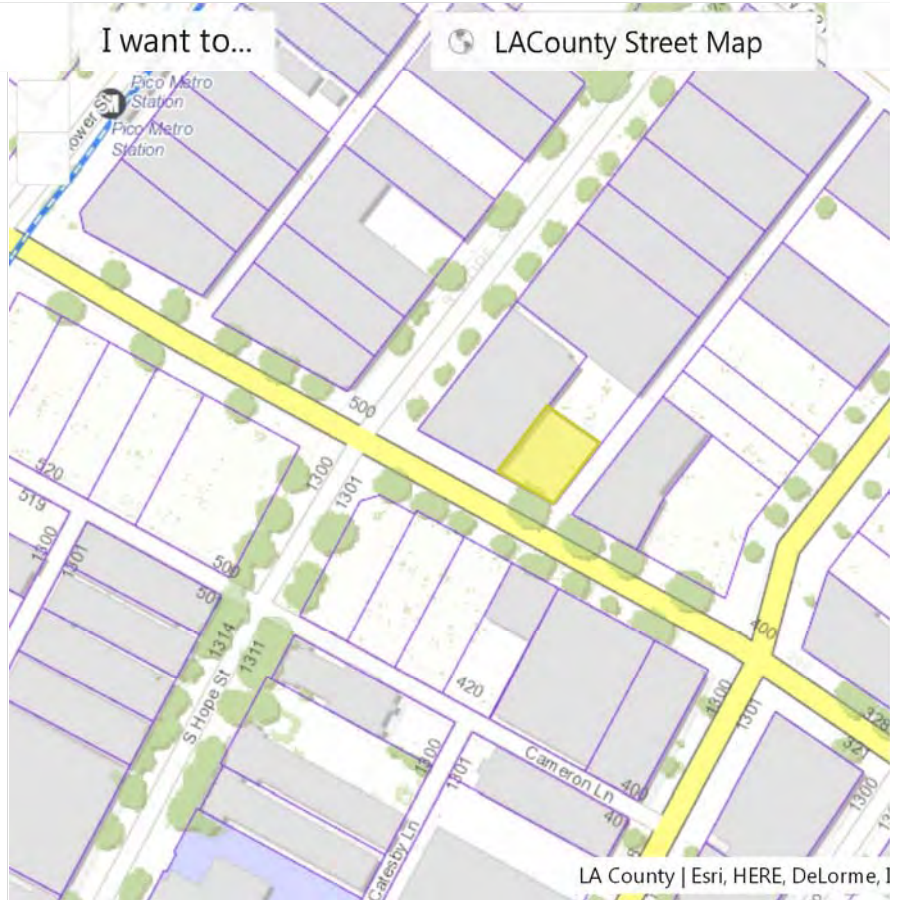
### Property Boundary Description

TRACT NO 17683 LOT COM AT MOST W COR OF LOT 7 TH NE ON NW LINE OF SD LOT 83.46 FT TH SE TO A PT NE ON SE LINE OF SD LOT 76.8 FT FROM MOST S COR OF ... SEE MAPBOOK FOR MISSING PORTION ... BEG PART OF LOT 7

### Building Description

#### Building Improvement 1

**Square Footage:** 5,280  
**Year Build / Effective Year Built:** / 1937  
**Bedrooms / Bathrooms:** 0 / 0  
**Units:** 0





2015



MAPPING AND GIS SERVICES SCALE 1" = 80'





*APPENDIX D*  
*Previous*  
*Environmental Reports*





*Phase I ESA  
(1220 South Hope)  
- AEI Consultants*

**ALPHA**  
ENVIRONMENTAL


May 15, 2006

**PHASE I  
ENVIRONMENTAL SITE ASSESSMENT**

1220 South Hope Street  
Los Angeles, California 90015

AEI Project No. 28882

Prepared For

 **聯合銀行**  
**UNITED COMMERCIAL BANK**  
199 South Los Robles Avenue, Suite 780  
Pasadena, California 91101

Prepared By

**AEI CONSULTANTS**  
2447 Pacific Coast Highway, Suite 101  
Hermosa Beach, California 90254  
(310) 798-4255

**AEI**

## EXECUTIVE SUMMARY

AEI Consultants (AEI) was retained by United Commercial Bank to conduct a Phase I Environmental Site Assessment (ESA), in conformance with the scope and limitations of ASTM Standard Practice E1527-00, for the property located at 1220 South Hope Street in the City of Los Angeles, Los Angeles County, California. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report.

### *Property Description*

The subject property is located on the east side of South Hope Street between West 12<sup>th</sup> Street to the north and West Pico Boulevard to the south in a mixed commercial and industrial area of Los Angeles. The property totals approximately 9,355 square feet and is improved with a single-story warehouse building with office/storage mezzanine totaling approximately 9,300 square feet. The building is currently occupied by SE Displays which utilizes the building as a storage warehouse for metal display merchandises. No parking spaces were available for the subject property. A roll-up door was observed on the eastern end of the building. The property was developed with the current improvements in 1918.

Based on a review of historical sources, the subject property was developed with a single-story warehouse building in 1918 to be used as a paint shop. However, it is not clearly known whether the subject property was eventually used as a paint shop or not. Prior to 1918, the subject property occupied a portion of a park named "Fiesta Park." Throughout its history, the subject property has generally been used as a store and a warehouse. From at least 1950 to circa 1955, the subject property was used as a machine shop. Since 1995, the subject property has been occupied by SE Displays.

The immediately surrounding properties consist of an industrial building to the north (1210 South Hope Street); an industrial building to the east across an alley; commercial buildings to the west across South Hope Street (1221 & 1225 South Hope Street); and an industrial building to the south (1224 South Hope Street).

Based upon topographic map interpretation and site observations, the direction of groundwater flow beneath the subject property is inferred to be to the southwest.

### *Findings*

Recognized environmental conditions (RECs) are defined by the ASTM Standard Practice E1527-00 as the presence or likely presence of any hazardous substances or petroleum products under conditions that indicate an existing release, a past release, or a material threat of a release into structures on the property or into the ground, groundwater, or surface water of the property. AEI's investigation has revealed the following recognized environmental conditions associated with the subject property or nearby properties:

- No on-site recognized environmental conditions were identified during the course of this investigation.

Historical recognized environmental conditions (HRECs) are defined by the ASTM Standard Practice E1527-00 as an environmental condition which in the past would have been considered a recognized environmental condition, but which may or may not be considered a recognized environmental condition currently. AEI's investigation has revealed the following historical recognized environmental conditions associated with the subject property or nearby properties:

- No on-site historical recognized environmental conditions were identified during the course of this investigation.

Environmental issues include environmental concerns identified by AEI that warrant discussion but do not qualify as recognized environmental conditions, as defined by the ASTM Standard Practice E1527-00. AEI's investigation has revealed the following environmental issues associated with the subject property or nearby properties:

- Due to the age of the subject property building, there is a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. All suspect ACMs and painted surfaces were observed in good condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.
- According to a 1950 Sanborn map, the subject property was formerly occupied by a machine shop and a roller bearing manufacturer. Machine shops typically utilize chemicals including but not limited to cutting oils, lubricating oils, and degreasers. In addition, machine shops typically generate waste oil from cleaning various machines they use. Additionally, at the time that the former machine shop operated on-site, the regulatory measures governing the use of hazardous materials of this nature were not as stringent as they are today. However, based on the short period of time the machine shop was located on-site, (approximately 5 years) the former storage and use of hazardous materials on the subject property is not expected to represent a significant environmental concern

### ***Conclusions, Opinions, and Recommendations***

AEI's investigation has revealed no evidence of recognized environmental conditions associated with the subject property or nearby properties. AEI recommends no further investigations for the subject property at this time.

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## **1.0 INTRODUCTION**

---

This report documents the methods and findings of the Phase I Environmental Site Assessment (ESA) of the property located at 1220 South Hope Street in the City of Los Angeles, Los Angeles County, California (Figure 1: Site Location Map, Figure 2: Site Map, and Appendix A: Property Photographs).

### **1.1 Scope of Work**

The purpose of the Phase I Environmental Site Assessment is to identify potential environmental liabilities associated with the presence of hazardous materials, their use, storage, and disposal at and in the vicinity of the subject property, as well as regulatory non-compliance that may have occurred at the subject property. Property assessment activities focused on: 1) a review of federal, state, and local lists that identify and describe underground fuel tank sites, leaking underground fuel tank sites, hazardous waste generation sites, and hazardous waste storage and disposal facility sites within the ASTM approximate minimum search distance; 2) a property and surrounding site reconnaissance with personnel interviews to identify environmental contamination; and 3) a review of historical sources to help ascertain previous land use at the site and in the surrounding area.

The goal of AEI Consultants in conducting the environmental site assessment was to identify the presence or likely presence of any hazardous substances or petroleum products on the property that may indicate an existing release, a past release, or a material threat of a release of any hazardous substance or petroleum product into the soil, groundwater, or surface water of the property.

### **1.2 Limitations**

Property conditions, as well as local, state, and federal regulations can change significantly over time. Therefore, the recommendations and conclusions presented as a result of this study apply strictly to the environmental regulations and property conditions existing at the time the study was performed. Available information has been analyzed using currently accepted assessment techniques and it is believed that the inferences made are reasonably representative of the property. AEI Consultants makes no warranty, expressed or implied, except that the services have been performed in accordance with generally accepted environmental property assessment practices applicable at the time and location of the study.

Considerations identified by ASTM as beyond the scope of a Phase I ESA that may affect business environmental risk at a given property include the following: asbestos-containing materials, radon, lead-based paint, lead in drinking water, wetlands, regulatory compliance, cultural and historic resources, industrial hygiene, health and safety, ecological resources, endangered species, indoor air quality, and high voltage lines. These environmental issues or conditions may warrant assessment based on the type of the property transaction; however, they are considered non-scope issues under ASTM Standard Practice E1527-00.

If requested by the client, these non-scope issues are discussed in Section 5.2. Otherwise, the purpose of this investigation is solely to satisfy one of the requirements to qualify for the

innocent landowner defense under the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA), that is, ASTM Standard Practice E1527-00 constitutes "all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice" as defined in 42 USC § 9601(35)(B), referenced in the ASTM Standard Practice E1527-00.

The Phase I Environmental Site Assessment is not, and should not be construed as, a warranty or guarantee about the presence or absence of environmental contaminants that may affect the property. Neither is the assessment intended to assure clear title to the property in question. The sole purpose of investigation into property title records is to ascertain a historical basis of prior land use.

### **1.3 Reliance**

This investigation was prepared for the sole use and benefit of United Commercial Bank. Neither this report, nor any of the information contained herein shall be used or relied upon for any purpose by any person or entity other than United Commercial Bank.

### **1.4 Limiting Conditions**

Pursuant to ASTM Standards, historical sources were obtained to document property use back to the property's first developed use or back to 1940, whichever is earlier. Historical data source failure may occur when standard historical sources are not reasonably ascertainable. Based on the quality of historical data obtained for this assessment, AEI does not expect historical data source failure to impact the conclusions or recommendations of this report.

The performance of this Phase I Environmental Site Assessment was limited by the following condition:

- Pursuant to ASTM Standard E1527 Section 7.1.4.2, information that is obtainable within a reasonable time frame is information that will be provided by the source within 20 calendar days of receiving a public information request. Based on the expected response time of over 20 calendar days for the Los Angeles County Department of Health Services (DHS), records from this agency are not considered reasonably ascertainable. However, based on the quality of information obtained from other sources, this limitation is not expected to alter the findings of this investigation. If issues of an environmental concern are identified upon review of these records, an addendum to this report will be issued.
- At the time of the visual assessment, AEI's visibility was limited due to the storage of boxes in the warehouse area. However, all available spaces were observed and no environmentally significant risks were observed.

## **2.0 SITE AND VICINITY DESCRIPTION**

### **2.1 Site Location and Description**

The subject property is located on the east side of South Hope Street between West 12<sup>th</sup> Street to the north and West Pico Boulevard to the south. The property totals approximately 9,355 square feet and is improved with a single-story warehouse building with office/storage mezzanine totaling approximately 9,300 square feet. The building is currently occupied by SE Displays which utilizes the building as a storage warehouse for metal display merchandises. No parking spaces were available for the subject property. A roll-up door was observed on the eastern end of the building. The property was developed with the current improvements in 1918.

According to the Los Angeles Department of Planning, the subject property is identified with the following Assessor's Parcel Number (APN): 5139-022-003. Heating and cooling systems on the subject property are fueled by natural gas and electricity provided by the Southern California Gas Company and Los Angeles Department of Water & Power (LADWP), respectively. Potable water and sewage disposal are provided by municipal services.

Refer to Figure 1: Site Location Map, Figure 2: Site Map, and Appendix A: Property Photographs for site location.

### **2.2 Site and Vicinity Characteristics**

The subject property is located in a mixed commercial and industrial area of Los Angeles. The immediately surrounding properties consist of an industrial building to the north (1210 South Hope Street); an industrial building to the east across an alley; commercial buildings to the west across South Hope Street (1221 & 1225 South Hope Street); and an industrial building to the south (1224 South Hope Street).

### **2.3 Geology and Hydrogeology**

According to the United States Department of Agriculture's Report and General Soil Map for Los Angeles County, the area surrounding the subject property is underlain by soils of the Hanford association. Hanford soils consist of well-drained soils on flood plains and alluvial fans. In a typical profile the surface layer is light brownish gray fine sandy loam seven inches thick. The material to a depth of 60 inches or more is yellowish-brown coarse sandy loam and gravelly coarse sand substratum. In the Los Angeles basin, these soils are used almost exclusively for residential and industrial purposes.

Hanford soils make up the remaining 5 percent. These soils are used primarily for residential development. Small areas are used for non-irrigated grain and for irrigated orchards.

Based on a review of the USGS Hollywood Quadrangle Topographic Map, the subject property is situated 240 feet above mean sea level, and the local topography is sloping to the southwest. The nearest surface water is the Los Angeles River, located approximately 2.13 miles to the east. Based on topographic map interpretation, the inferred flow direction of groundwater at the subject property is to the southwest.



### **3.0 HISTORICAL REVIEW OF SITE AND VICINITY**

According to historical sources, the current subject property building was constructed in 1918 by Pinet Estate to be used as a paint shop. Prior to 1918, the subject property occupied a portion of a park named "Fiesta Park." Throughout its history, the subject property has generally been used as a store and a warehouse. From at least 1950 to circa 1955, the subject property was used as a machine shop. Since 1995, the subject property has been occupied by SE Displays.

#### **3.1 Aerial Photograph Review**

On May 10, 2006, AEI Consultants reviewed aerial photographs of the subject property and surrounding area. Aerial photographs were reviewed for the following years:

Date: 1928  
Scale: 1 : 18,000

Date: 1976  
Scale: 1 : 24,000

Date: 1938  
Scale: 1 : 20,000

Date: 1982  
Scale: 1 : 36,000

Date: 1947  
Scale: 1 : 24,000

Date: 1994  
Scale: 1 : 40,000

Date: 1956  
Scale: 1 : 14,000

Date: 2002  
Scale: 1 : 40,000

Date: 1965  
Scale: 1 : 24,000

In the 1928 aerial photograph, the subject property and most of the surrounding properties appear to be developed as they are today. The subject property and adjacent properties to the north and south appear exactly as they are today with rectangular industrial buildings. The adjacent properties to the east and south appear to be developed with industrial buildings as well.

No significant changes were noted in the 1938 aerial photograph.

No significant changes were noted in the 1947 aerial photograph, except additions of new rectangular industrial buildings are visible to the west and northeast of the subject property.

No significant changes were noted in the 1956, 1965, 1976, 1982, and 1994,

In the 2002 aerial photograph, the subject property and the surrounding properties appear to be developed as they are today with rectangular industrial buildings.

High-quality copies of reviewed aerial photographs are included as Figure 3.

## 3.2 Local Agencies

Local agencies, such as environmental health departments, fire prevention bureaus, and building departments are contacted to identify any current or previous reports of hazardous materials use, storage, and/or unauthorized releases that may have impacted the subject property.

### 3.2.1 Health Department

On April 18, 2006, the Los Angeles County Department of Health Services- Hazardous Materials Division (DHS) was contacted to review files on the subject property and nearby sites of concern. Files at the DHS may contain information regarding hazardous materials storage, as well as information regarding unauthorized releases of petroleum hydrocarbons or other contaminants that may affect the soil or groundwater in the area.

Due to time constraints associated with this report, AEI was not able to obtain records from the DHS. However, based on the detailed information gathered from other historical sources, such as aerial photographs and city directories, the absence of this information is not expected to alter the overall findings of this investigation. If issues of an environmental concern are identified upon review of these records, an addendum to this report will be issued.

### 3.2.2 Fire Department

On April 27, 2006, the Los Angeles Fire Department (LAFD) was contacted for information on the subject property and/or nearby sites of concern to identify any evidence of previous or current hazardous material usage.

No information indicating any underground storage tanks or any current or historical storage of hazardous materials on the subject property was on file with the LAFD.

### 3.2.3 Building Department

On April 27, 2006, the Los Angeles Department of Building and Safety (LABDS) was visited for information on the subject property in order to identify historical tenants and property use. Please refer to the following table for a listing of permits reviewed:

*Building Permits Reviewed: 1220 South Hope Street*

Year(s)	Applicant	Description of Permit / Building Use
1918	Pinet Estate	Building permit to construct a new building to be used as a paint shop
1944	N/A	Building permit to remodel / store
1955	Winslow B. Felis Co.	Building permit to add an awning / store

According to the records reviewed at the LADBS, the subject property was developed with the existing warehouse building in 1918 by Pinet Estate for use as a paint shop. From 1944 to 1955, the subject property was used as a store. From other historical sources, it appears that the subject property has generally been used as a store and a warehouse throughout its history.

### **3.2.4 Department of Oil and Gas**

Department of Oil and Gas (DOG) maps concerning the subject property and nearby properties were reviewed. DOG maps contain information regarding oil and gas development.

According to the DOG map, there are no oil or gas wells within 500 feet of the subject property. No environmental concerns were noted during the DOG map review.

### **3.2.5 Air Quality Management District**

On April 27, 2006, the South Coast Air Quality Management District (SCAQMD) was contacted for information regarding any Permits to Operate (PTO), Notices of Violation (NOV), or Notices to Comply (NTC) records for the subject property associated with air emission equipment primarily from stationary sources of air pollution, such as dry cleaning machines, boilers, and/or underground storage tanks.

No information regarding any PTOs, NOV, or NTCs were on record at the SCAQMD for the subject property.

### **3.3 Sanborn Fire Insurance Maps**

Sanborn Fire Insurance maps were developed in the late 1800s and early 1900s for use as an assessment tool for fire insurance rates in urbanized areas. A search was made of Los Angeles Public Library's collection of Sanborn Fire Insurance maps on April 27, 2006. Sanborn maps were available and reviewed for the years 1906 and 1950.

In the 1906 Sanborn map, the subject property and surrounding properties to the north, east, and south are shown as portions of Fiesta Park. The adjacent properties to the west across South Hope Street are depicted with residential dwellings.

In the 1950 Sanborn map, the subject property is depicted with a warehouse building labeled "Machine Shop" and "Roller Bearing Manufacturing." The adjacent properties to the north and south are depicted with what appears to be warehouse buildings labeled "Bearings WKS" and "Whole Photo Supplies," respectively. The adjacent property to the east is depicted with what appears to be a warehouse building labeled "Bowling Equipment Services" while the adjacent properties to the west across South Hope Street are depicted with two rectangular buildings (Auto Supply and unknown).

According to a 1950 Sanborn map, the subject property was formerly occupied by a machine shop and a roller bearing manufacturer. Machine shops typically utilize chemicals including but not limited to cutting oils, lubricating oils, and degreasers. In addition, machine shops typically generate waste oil from cleaning various machines they use. Additionally, at the time that the former machine shop operated on-site, the regulatory measures governing the use of hazardous materials of this nature were not as stringent as they are today. However, based on the short period of time the machine shop was located on-site, (approximately 5 years) the former storage and use of hazardous materials on the subject property is not expected to represent a significant environmental concern

### 3.4 City Directories

A search of historic city directories was conducted for the subject property at Haines Company and the Sherman library on April 18, 2006. Directories were available and reviewed for the years 1949 through 1974. The following table summarizes the results of the city directory search:

*City Directory Search Results: 1220 South Hope Street*

Year(s)	Occupant Listed
1949	Clawson & Bawls, Inc.
1956	No listing
1959	Leonard Harold Co.
1964	H. Leonard Co. Inc.
1969-1974	No listing

Based on a review of historic city directories, the subject property was occupied by Clawson & Bawls, Inc. as early as 1949. From at least 1959 to 1964, the subject property had been occupied by Leonard Harold Company. No environmental concerns were noted during the city directory review.

### 3.5 Client-Provided Information and Interviews

The client did not report to AEI any environmental liens encumbering the subject property or report any information to AEI regarding previous uses or ownership of the subject property that indicated recognized environmental conditions in connection with the subject property. The client did not provide any title records to AEI for review.

Mr. Dan Daneshrad, a broker for the subject property, was interviewed for this investigation. Mr. Daneshrad was not aware of any pending, threatened, or past litigation relevant to hazardous substances or petroleum products in, on, or from the subject property; any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the subject property; or any notices from a governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products.

Mr. Mike McEntee, a representative of the owner, stated that the subject property has been occupied by SE Displays since 1995. Mr. McEntee also noted that the subject property was previously used as a furniture store prior to 1995.

### 3.6 Previous Reports Reviewed

No prior environmental reports in association with the subject property were made available to AEI during the course of this investigation.

## 4.0 REVIEW OF REGULATORY AGENCY RECORDS

The following information was obtained through a search of electronically compiled federal, state, county, and city databases provided by Track Info Services Environmental FirstSearch. The database search includes regulatory agency lists of known or potential hazardous waste sites, landfills, hazardous waste generators, and disposal facilities in addition to sites under investigation. The information provided in this report was obtained from publicly available sources. The locations of the sites listed in this report are plotted with a geographic information system utilizing geocoding of site addresses. The accuracy of these locations is generally +/- 300 feet. AEI's field representative has attempted to confirm the locations of listings on or adjacent to the subject property. Refer to the radius map (Appendix B: Regulatory Database Review Report) for the locations of the sites in relation to the subject property.

### 4.1 Records Summary

DATABASE REVIEWED	SUBJECT PROPERTY	ADJACENT PROPERTY
Identification as National Priorities List (NPL) "Superfund" site	No	No
Identification as RCRA CORRACTS site	No	No
Identification as State (CalSites SPL/SCL) site	No	No
Identification as CERCLIS/NFRAP site	No	No
Reported as leaking underground storage tanks (LUST) site	No	No
Identification as solid waste landfill (SWLF)	No	No
Registered underground/aboveground storage tanks (UST/AST)	No	No
Identification as an Emergency Response Notification Systems (ERNS) site	No	No
Identification as hazardous waste handler and/or generator (RCRA-TSD, LG-GEN and/or SM-GEN)	No	No
Identification as SPILLS Site	No	No

The subject property was not identified during the regulatory database search.

## 4.2 Contaminant Migration

Migration of petroleum hydrocarbon or volatile organic compound (VOC) contamination is generally via groundwater. Therefore, only those contaminant release sites located hydrologically up gradient relative to the subject property are expected to represent a potential environmental concern to the subject property. Contaminated sites located hydrologically down gradient of the subject property are not expected to represent a potential threat to the groundwater quality beneath the subject property. Sites that are situated hydrologically cross-gradient relative to the subject property are not expected to represent a concern unless close proximity allows for the potential of lateral migration. As discussed in Section 2.3, groundwater in the vicinity of the subject property is assumed to flow to the southwest.

## 4.3 Record Details

National Priorities List (NPL) is EPA's national listing of contaminated sites targeted for cleanup because they pose a threat to human health and the environment. The Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA or Superfund) authorizes and requires the EPA to investigate, categorize, and enforce the cleanup of hazardous waste sites on the NPL. An NPL site on or near a particular property may threaten the environmental integrity of the property or affect its marketability.

No sites within a 1-mile radius of the subject property were identified during the NPL database search.

CORRACTS is an EPA-maintained database of Resource Conservation and Recovery Act (RCRA) facilities undergoing "corrective action". A "corrective action order" is issued when there has been a release of hazardous waste or constituents into the environment from a RCRA facility. Corrective actions may be required beyond the facility's boundary and can be required regardless of when the release occurred, even if it predates RCRA.

No sites within a 1-mile radius of the subject property were identified during the CORRACTS database search.

California Sites (CalSites) are provided by the California Environmental Protection Agency, Department of Toxic Substances Control and include state equivalent NPL (SPL) and CERCLIS (SCL) sites.

One site within a 1-mile radius of the subject property was identified during the CalSites database search. This site is located more than  $\frac{1}{8}$ -mile from the subject property. Based on the relative distance, the current regulatory status and the assumed direction of groundwater flow, this site is not expected to represent a significant environmental concern.

CERCLIS/NFRAP is a list of sites that the EPA has investigated or is presently investigating for release or threatened release of hazardous substances, which may be subject to review in accordance with the terms and conditions of the Comprehensive Environmental Response,

Compensation, and Liability Act of 1980 (CERCLA, also known as Superfund). Sites listed on the "No Further Remedial Action Planned" (NFRAP) database are sites where, following an initial investigation, no contamination was found, contamination was removed quickly, or the contamination was not serious enough to require federal Superfund or NPL consideration.

No sites within a 1/2-mile radius of the subject property were identified during the CERCLIS/NFRAP database search.

**Leaking Underground Storage Tanks (LUST) List** is a list produced by the Regional Water Quality Control Board (RWQCB) of known sites with current or former leaking underground storage tanks on the premises.

Two sites within a 1/2-mile radius of the subject property were identified during the LUST database search. Both of these sites are located more than 1/8-mile from the subject property. Based on the relative distance, the current regulatory status and the assumed direction of groundwater flow, these sites are not expected to represent a significant environmental concern.

**Solid Waste Landfills (SWLF)** is a database generated by the State of California Solid Waste Information System (SWIS), which includes active and inactive landfills and transfer stations within the state maintained by the California Integrated Waste Management Board.

No sites within a 1/2-mile radius of the subject property were identified during the SWLF database search.

**Underground/Aboveground Storage Tanks (UST/AST) List** is a comprehensive listing of registered underground and aboveground storage tanks located within the State of California.

Twenty-four sites within a 1/4-mile radius of the subject property were identified during the UST/AST database search. None of these sites are located adjacent to the subject property. Due to the lack of a documented release or factors discussed in the LUST segment of Section 4.3, the storage of hazardous materials within registered tanks is not a significant environmental concern.

**Emergency Response Notification Systems (ERNS) List** is EPA's database of emergency response actions.

No sites within a 1/8-mile radius of the subject property were identified during the ERNS database search.

**Resource Conservation and Recovery Act (RCRA) Program** identifies and tracks hazardous waste from the point of generation to the point of disposal. Information from the RCRA database is divided into three categories: TSD, LG GEN and SM GEN. The TSD category is searched to a 1/2-mile radius and tracks facilities which treat, store and/or dispose of hazardous waste. LG GEN, or large generators, are facilities that generate more than 1000 kg of hazardous waste per month. SM GEN, or small generators, are facilities that generate between 100 and

1000 kg of hazardous waste per month. The LG-GEN and SM-GEN databases are searched up to a 1/8-mile radius from the subject property.

No sites within a 1/2-mile radius of the subject property were identified during the RCRA-TSD database search.

Two sites within a 1/8-mile radius of the subject property were identified during the RCRA (LG- and SM-GEN) database search. None of these sites are located adjacent to the subject property.

The storage, treatment, disposal and/or generation of hazardous materials at these sites are not a significant environmental concern based on the lack of a documented release or factors discussed in prior segments of Section 4.3.

*SPILLS sites* are provided by the Regional Water Quality Control Board (RWQCB). This list includes sites that have recorded spills, leaks, investigations, and cleanups.

No sites within a 1/8-mile radius of the subject property were identified during the SPILLS database search.



## 5.0 SITE INSPECTION AND RECONNAISSANCE

On May 9, 2006, a site reconnaissance of the subject property and adjacent properties was conducted by Mr. Joseph Kim of AEI in order to obtain information indicating the likelihood of recognized environmental conditions at the subject property and adjacent properties as specified in ASTM Standard Practice E1527-00 §8.4.2, 8.4.3 and 8.4.4.

### 5.1 On-Site Observations

Identified		Observation
Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substances and/or Petroleum Products in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground & Underground Hazardous Substance or Petroleum Product Storage Tanks (ASTs / USTs)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substance and Petroleum Product Containers and Unidentified Containers not in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unidentified Substance Containers
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical or Mechanical Equipment Likely to Contain PCBs
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior Stains or Corrosion
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Strong, Pungent or Noxious Odors
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool of Liquid
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drains and Sumps
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pits, Ponds and Lagoons
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stained Soil or Pavement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stressed Vegetation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solid Waste Disposal or Evidence of Fill Materials
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Waste Water Discharges
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wells
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Systems
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other

None of the above listed items was observed during the site inspection. The subject property is currently occupied by SE Display which utilizes the building as a storage warehouse for metal display merchandises. On-site operation consists of storage of metal display merchandises. No hazardous materials or petroleum products are utilized during this activity.

### 5.2 Non-ASTM Services

#### *Asbestos-Containing Building Materials*

For buildings constructed prior to 1980, the Code of Federal Regulations (29 CFR 1926.1101) states that all thermal system insulation (boiler insulation, pipe lagging, and related materials) and surface materials must be designated as "presumed asbestos-containing material" (PACM) unless proven otherwise through sampling in accordance with the standards of the Asbestos Hazard Emergency Response Act.

Due to the age of the subject property building, there is a potential that ACMs are present. The condition and friability of the identified suspect ACMs is noted in the following table:

*Suspect Asbestos Containing Materials (ACMs)*

Material	Location	Friable	Condition
Drywall Systems	Office Mezzanine	No	Good
Roofing Systems	Roof	Not Inspected	Not Inspected

All observed suspect ACMs were in good condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.

Regardless of building construction date, the EPA's National Emission Standards for Hazardous Air Pollutants (NESHAP) requires that an asbestos survey adhering to AHERA sampling protocol be performed prior to demolition or renovation activities that may disturb ACMs. This requirement is typically enforced by the local air pollution control or air quality management district, and specifies that all suspect asbestos-containing materials (ACMs) be sampled to determine the presence or absence of asbestos prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants. Similarly, OSHA regulations require that specific work practices be implemented when handling construction materials and debris that contain lead-containing materials (see below).

#### **Lead-Based Paint**

Lead-based paint is defined as any paint, varnish, stain, or other applied coating that has 1 mg/cm<sup>2</sup> (or 5,000 ug/g by dry weight) or more of lead. Section 1017 of the Housing and Urban Development Guidelines, Residential Lead-Based Paint Hazard Reduction Act of 1992, otherwise known as "Title X", defines a lead-based paint hazard as "any condition that causes exposure to lead that would result in adverse human health effects" resulting from lead-contaminated dust, bare, lead-contaminated soil, and/or lead-contaminated paint that is deteriorated or present on accessible, friction, or impact surfaces. Therefore, under Title X, intact lead-based paint on most walls and ceilings would not be considered a "hazard", although the paint should be maintained and its condition monitored to ensure that it does not deteriorate and become a hazard. Additionally, Section 1018 of this law directed HUD and EPA to require the disclosure of known information on lead-based paint and lead-based paint hazards before the sale or lease of most housing built before 1978. Most private housing, public housing, Federally owned housing, and housing receiving Federal assistance are affected by this rule.

In buildings constructed after 1978, it is very unlikely that lead-based paint is present. Due to the age of the subject property building, there is a potential that lead-based paint is present. Both interior and exterior painted surfaces were observed to be in good condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.

Local regulations may apply to lead-based paint in association with building renovation/demolition and worker/occupant protection. Actual material samples would need to be collected in order to determine if lead-based paint is present.

## ***Radon***

Radon is a naturally-occurring, odorless, invisible gas. Natural radon levels vary and are closely related to geologic formations. Radon may enter buildings through basement sumps or other openings.

The US EPA has prepared a map to assist National, State, and local organizations to target their resources and to implement radon-resistant building codes. The map divides the country into three Radon Zones, Zone 1 being those areas with the average predicted indoor radon concentration in residential dwellings exceeding the EPA Action limit of 4.0 picoCuries per Liter (pCi/L). It is important to note that the EPA has found homes with elevated levels of radon in all three zones, and the EPA recommends site specific testing in order to determine radon levels at a specific location. However, the map does give a valuable indication of the propensity of radon gas accumulation in structures.

Radon sampling was not requested as part of this investigation. According to the US EPA, the radon zone level for the area is Zone 2, which has a predicted average indoor screening level between 2 pCi/L and 4 pCi/L, below the action level of 4.0 pCi/L set forth by the EPA.

## ***Drinking Water Sources and Lead in Drinking Water***

The Los Angeles Department of Water & Power supplies potable water to the subject property. The most recent water quality report states that lead levels in the areas water supply were non-detect and therefore are well within standards established by the USEPA.

## ***Mold/Indoor Air Quality Issues***

Molds are simple, microscopic organisms, which can often be seen in the form of discoloration, frequently green, gray, white, brown or black. Molds grow by digesting organic material and gradually destroy whatever they grow on. Mold spores primarily cause health problems through the inhalation of mold spores or the toxins they emit when they are present in large numbers. This can occur primarily when there is active mold growth within places where people live or work.

Mold, if present, may or may not visually manifest itself. Neither the individual completing this inspection, nor AEI has any liability for the identification of mold-related concerns except as defined in applicable industry standards. In short, this Phase I ESA should not be construed as a mold survey or inspection.

While a specific mold survey or study of indoor air quality (IAQ) in the building is beyond the scope of this assessment, AEI noted no indication of a significant IAQ problem during the site reconnaissance.

During the assessment, AEI inspected the accessed areas of the buildings for evidence of excessive or amplified mold growth, or for conditions favorable for mold growth (e.g. water damaged areas). No evidence of excessive or amplified mold growth was identified during the assessment.

### 5.3 Adjacent Property Reconnaissance Findings

Identified		Observation
Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substances and/or Petroleum Products in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground & Underground Hazardous Substance or Petroleum Product Storage Tanks (ASTs / USTs)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substance and Petroleum Product Containers and Unidentified Containers not in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unidentified Substance Containers
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Electrical or Mechanical Equipment Likely to Contain PCBs
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior Stains or Corrosion
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Strong, Pungent or Noxious Odors
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool of Liquid
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drains and Sumps
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pits, Ponds and Lagoons
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stained Soil or Pavement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stressed Vegetation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solid Waste Disposal or Evidence of Fill Materials
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Waste Water Discharges
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wells
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Systems
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other

#### ***Electrical or Mechanical Equipment with the Potential to Contain PCBs***

Toxic polychlorinated biphenyls (PCBs) were commonly used historically in electrical equipment such as transformers, fluorescent lamp ballasts, and capacitors. According to United States EPA regulation 40 CFR, Part 761, there are three categories for classifying such equipment: <50 ppm of PCBs is considered "Non-PCB"; between 50 and 500 ppm is considered "PCB-Contaminated"; and >500 ppm is considered "PCB-Containing".

The management of potential PCB-containing transformers is the responsibility of the local utility or the transformer owner. Actual material samples need to be collected to determine if transformers are PCB-containing.

A pole-mounted transformer was observed on the adjacent site during the site inspection. No spills, staining or leaks were observed on or around the transformer. Based on the good condition of the equipment, the transformer is not expected to represent a significant environmental concern.

## 6.0 FINDINGS AND CONCLUSIONS

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### *Findings*

Recognized environmental conditions (RECs) are defined by the ASTM Standard Practice E1527-00 as the presence or likely presence of any hazardous substances or petroleum products under conditions that indicate an existing release, a past release, or a material threat of a release into structures on the property or into the ground, groundwater, or surface water of the property. AEI's investigation has revealed the following recognized environmental conditions associated with the subject property or nearby properties:

- No on-site recognized environmental conditions were identified during the course of this investigation.

Historical recognized environmental conditions (HRECs) are defined by the ASTM Standard Practice E1527-00 as an environmental condition which in the past would have been considered a recognized environmental condition, but which may or may not be considered a recognized environmental condition currently. AEI's investigation has revealed the following historical recognized environmental conditions associated with the subject property or nearby properties:

- No on-site historical recognized environmental conditions were identified during the course of this investigation.

Environmental issues include environmental concerns identified by AEI that warrant discussion but do not qualify as recognized environmental conditions, as defined by the ASTM Standard Practice E1528-00. AEI's investigation has revealed the following environmental issues associated with the subject property or nearby properties:

- Due to the age of the subject property building, there is a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. All suspect ACMs and painted surfaces were observed in good condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.
- According to a 1950 Sanborn map, the subject property was formerly occupied by a machine shop and a roller bearing manufacturer. Machine shops normally utilize chemicals including but limited to cutting oils, lubricating oils, and degreasers. In addition, machine shops normally generate waste oil from cleaning various machines they use. Additionally, at the time that the former machine shop operated on-site, the regulatory measures governing the use of hazardous materials of this nature were not as stringent as they are today. However, based on the short period of time the machine shop was located on-site, the former storage and use of hazardous materials on the subject property is not expected to represent a significant environmental concern.

***Conclusions, Opinions, and Recommendations***

AEI's investigation has revealed no evidence of recognized environmental conditions associated with the subject property or nearby properties. AEI recommends no further investigations for the subject property at this time.

## 7.0 SIGNATURE OF ENVIRONMENTAL PROFESSIONALS

---

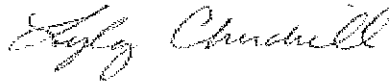
AEI Consultants has performed a Phase I Environmental Site Assessment for the property located at 1220 South Hope Street in the City of Los Angeles, Los Angeles County, California, in conformance with the scope and limitations of ASTM Standard Practice E1527-00. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report.

Prepared By:



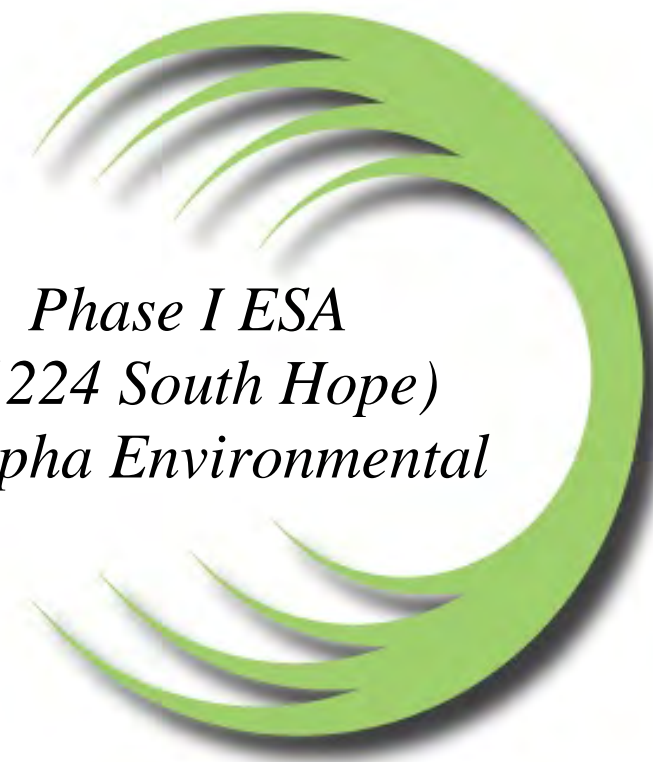
Joseph Kim  
Project Manager

Reviewed By:



Lyly Churchill, REA, M.S.  
Senior Author,





*Phase I ESA  
(1224 South Hope)  
- Alpha Environmental*





# Phase I Environmental Site Assessment

*of*

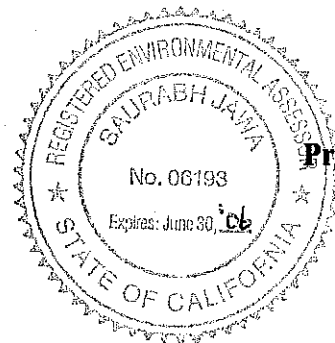
1224 South Hope Street  
Los Angeles, California 90015

*Prepared for*

**UNITED COMMERCIAL BANK**

*Prepared by*

**ALPHA ENVIRONMENTAL**



*A. Kathirvel*

**Kathirvel Arumugam**

**Project Environmental Engineer**

*Saurabh Jawa*

**Saurabh Jawa, REA 06193**

**Project Manager/Sr. Environmental Engineer**

December 13, 2005  
Project # 511.90015.406



## EXECUTIVE SUMMARY

This report, prepared for United Commercial Bank (*Client*) by Alpha Environmental (Alpha) presents findings of a Phase I Environmental Site Assessment (ESA) of the property located at 1224 South Hope Street, Los Angeles, California. The objective of this assessment was to identify *recognized environmental conditions*. The term *recognized environmental conditions* (REC) means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water at the site. To accomplish this, the site was visually examined, relevant regulatory records were reviewed, and the site history was researched.

The site reconnaissance, review of information available from federal/state databases and local regulatory agencies, and the site history researched indicate that the subject site was generally used for commercial purposes.

In summary we have identified the following:

### RECONNAISSANCE:

- The subject site is improved with a 2-story commercial industrial/warehouse building occupied by a garment manufacturing facility named "Lanado, Inc." No environmental concerns were observed during our site reconnaissance.

### HISTORICAL REVIEW:

- The historical review, extending back to 1906 (Sanborn map), indicates that the subject site was a portion of Fiesta Park with open bleachers. The subject site was redeveloped with the present day commercial building in 1918. The site has generally been occupied for warehouse purposes throughout. No environmental concerns were identified in Alpha's historical review.

### REGULATORY RESEARCH:

- The regulatory research of federal, state, and local agencies and databases did not indicate soil or groundwater contamination at the subject site from on-site or off-site sources.

Alpha has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-00 of 1224 South Hope Street, Los Angeles, California, the subject site. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report. This assessment has revealed no evidence of *recognized environmental conditions* in connection with the subject site. It is Alpha's opinion, that no further investigation related to soil or groundwater is warranted at this time, if the site is to be re-used for commercial purposes similar to its past/present use. However, the subject site is located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the general methane mitigation requirements.



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## 1.0 INTRODUCTION

At the request of United Commercial Bank (*Client*), Alpha Environmental has completed a Phase I ESA report for the subject site located at 1224 South Hope Street in Los Angeles, County of Los Angeles, California. The subject site is improved with a 2-story commercial industrial/warehouse building occupied by a garment manufacturing facility named "Lanado, Inc." Figure 1, Site Location Map, shows the site in relation to surrounding features. Site specific features along with adjacent properties are shown on Figure 2, Facility Layout Map. Ground-level photographs of the site are presented in Appendix A.

### 1.1 Purpose

The purpose of this ESA is to identify, to the extent feasible pursuant to the processes prescribed in ASTM E-1527 (guidelines), *recognized environmental conditions* (RECs) in connection with the subject site. The term RECs means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water at the site. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include *de minimis* conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not RECs.

A Phase I ESA represents a "due diligence" effort related to the environmental integrity of the subject site within the respective ASTM guidelines. This investigation may satisfy one of the requirements to qualify for the innocent landowner defense under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA).



## 1.2 Scope of Work

The ESA is a general characterization of environmental concerns based on readily available information and site observations. The following services were provided for this assessment:

- **Site/Adjacent Reconnaissance**: Visual reconnaissance of the site and surrounding area to observe existing conditions and operations at the site and to check for indications of obvious sources of contamination.
- **Interviews**: Interview with current owner/occupants of the property. Interview with local government officials and environmental lead agency.
- **Records Review**:
  - Review of maps and literature pertaining to the geologic and hydrogeologic characteristics of the site.
  - Review of readily available documents, maps, photographs, and interviews with knowledgeable persons to evaluate past land uses.
  - Review of available environmental lists/reports published by state and federal agencies to determine if the site or nearby properties are listed as having a present or past environmental problem, are under investigation, or are regulated by state or federal environmental agencies.
- **Report**: Preparation of this report containing our findings, conclusions, and recommendations.

The scope of work was performed in general accordance with our proposal dated November 29, 2005.

## 1.2 Limitations/Exceptions

Access to the interior of the building was not available. As per the real estate agent Mr. Dan Daneshrad, access won't be available due to unco-operation tenant.

## 1.3 Involved Parties/Information Sources

The Property Profile Report was obtained from Los Angeles County Assessor's office. The report is attached in Appendix B. Environmental Data Resources, Inc. (EDR), a service maintaining a comprehensive database of pertinent environmentally-related records, was subcontracted for the task



of performing the record search. EDR's database was researched for facilities within a maximum 1-mile-radius of the subject site. A report was generated based on those regulatory records. That report is attached in its complete form in Appendix C.

This investigation included a site reconnaissance, observation of neighboring properties, hydrogeological, and historical research. This investigation was performed by Kathirvel Arumugam, Project Environmental Engineer and Saurabh Jawa, Senior Environmental Engineer. Mr. Arumugam has Master's degree in Environmental Engineering and has 3 years experience conducting environmental assessments. Mr. Jawa is a California Registered Environmental Assessor (REA 06193) and has Bachelor's degree in Environmental Engineering and Master's degree in Business Administration. He has 15 years experience in the environmental field that included Phase I, II, & III Environmental Site Assessments. They are employed by Alpha Environmental and are properly trained and licensed to perform these functions.



## 2.0 SITE OVERVIEW

This section describes the location of the facility, the ownership, and description of the property.

### 2.1 Site Location

The site is located at 1224 South Hope Street in the City and County of Los Angeles, California (see Figure 1). The subject site is situated on the east side of South Hope Street about 231 feet south of its intersection with 12<sup>th</sup> Street. The facility is characterized by the following approximate coordinates on the Hollywood, California, United States Geological Survey (USGS) map, 7.5-Minute Series (Topographic).

Latitude	34° 2' 22.6"N
Longitude	118° 15' 55.4"W
Section	32
Township	T1S
Range	R13W
Meridian	San Bernardino

### 2.2 Site Description

The subject property is assigned with assessor's parcel number (APN) 5139-022-004. The rectangular-shaped parcel is improved with a 2-story commercial industrial/warehouse building occupied by a garment manufacturing facility. The building occupies 100% of the subject parcel. According to the property information report obtained from the Los Angeles County Office of the Assessor, a 7,750 square-foot building was built in 1918. The subject site is designated with a property type of "Commercial/Industrial." A copy of the property profile of the subject site along with the assessor's parcel map is attached as Appendix B.





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### 3.0 ENVIRONMENTAL SETTING

#### 3.1 Regional Physiographic and Geologic Setting

The Coastal Plain is bounded by the Santa Monica Mountains on the north, the La Merced Hills, Puente Hills, Peralta/Santiago Hills, and San Joaquine Hills to the northeast, east and south. This coastal plain slopes gently from the bordering highlands toward the ocean with seven main stream channels, the Los Angeles River, Rio Hondo River, San Gabriel River, Coyote Creek, Santa Ana River, Santiago Creek and San Diego Creek, draining the area. The site is located on the western most extension of the La Merced Hills also known as the Elysian Hills. The terrain in the area is generally low rolling with the site at an elevation of approximately 300 feet based on the referenced USGS Quadrangle.

The site is located in the Peninsular Range geomorphic province, which extend south from Santa Monica to the tip of Baja California. This Coastal Plain is in the northwest corner of the Peninsular Range geomorphic province. The Peninsular Range province consists of essentially northerly and northwesterly trending mountain ranges and associated valleys.

The major land forms of the Coastal Plain consist of bordering highlands and foothills, older plains and hills, and younger alluvial plains, the rivers which drain the area, and the offshore topography. Since the site is located on the western edge of the La Merced Hills, it is underlain by bedrock that is generally considered to be non-water bearing. The bedrock is composed of siltstone from the Miocene Age Puente Formation. Because of the complex geological history of Southern California many faults were created that potentially impact the migration of groundwater. No such fault is in near proximity to the site. Even if one were near the site, the underlying bedrock is considered to be non- water bearing, therefore, the fault would not impact the migration of groundwater.

As part of the development of this area of Los Angeles, some grading was performed to construct roads and buildable lots. The areas of minor fill as well as the underlying weathered bedrock may contain some local areas of perched groundwater. This water is typically limited in aerial extent and confined to the upper 30 or 40 feet. It usually migrates down the topography or along an utility



trench. As such, the flow direction is difficult to ascertain but would tend to flow southwesterly. Since the potential quantity of groundwater is limited, this perched water does not represent a conduit for distant sites to impact the subject property. Also, hazardous substance releases that have occurred in the bedrock do not typically migrate great distances due to the low permeability of the formation.

The major land forms of the Coastal Plain consist of bordering highlands and foothills, older plains and hills, and younger alluvial plains, the rivers which drain the area, and the offshore topography. The terrain in the area is generally flat or gently sloping towards the southwest with the site at an elevation of approximately 238 feet based on the previously referenced USGS 7.5-Minute Hollywood, California Topographic Map.(see Section 2.1.)

As per the Geologic Map of California, Los Angeles Sheet, published in 1969 (sixth printing, 1991), the near-surface soils in the site vicinity are composed of *Quaternary-age recent alluvium*, which generally consist of unconsolidated, loose sand, and gravel, over older alluvial deposits of the Lakewood Formation.

### 3.2 Local Hydrogeology

According to the Los Angeles County Department of Public Works Hydrologic Records, there are currently no active wells in the area. On November 18, 2004, groundwater was measured at a depth of 243.3 feet in the closest well to the site (Well # 2778). This well is located near the intersection of Los Angeles River and East Washington Boulevard, about 3 mile southeast of the site. Considering the distance, this well may not represent the actual groundwater depth beneath the subject site. However, shallow perched groundwater may occur less than 50 feet deep and would generally follow the topographic gradient to the south-southwest.

As per the LACDPW Groundwater Contour Maps, the groundwater just south of the area is moderately deep. However, there are no groundwater contours in the area of the subject site. Perched groundwater may be present in low permeability silt or clay layers when and where they exist.



The groundwater gradient beneath the site likely follows the topographic gradient which is towards the south-southwest. The depositional direction of the alluvial sediments appears to be toward the south-southwest. The potential contaminant sources most likely to affect the site are either upgradient, upslope, or opposite the depositional direction of sediments. For this site, these potential sources would generally be the ones north-northeast portions of the site.

Note that the actual groundwater flow direction is often locally influenced by factors such as underground structures, seasonal fluctuations, soil and bedrock geology, production wells, and other factors beyond the scope of this study. The actual groundwater flow direction under the site can be accurately determined only by installing groundwater monitoring wells, which was beyond the scope of this project.

### 3.3 Oil and Gas Wells

A review of maps and records of the California Division of Oil and Gas (CDOG) Wildcat Well Map W-62 and the Los Angeles Downtown Oil Field (Map 161-4), assembled in the 1997 Munger Map Book indicates that two oil/gas well has been drilled within a ½-mile search radius of the subject site. The closest well (located about 730 feet southeast of the subject site) is the "Broadway Corehole" well drilled in 1963 to a total depth of 6,220 feet. Both wells are shown as *uncompleted abandoned*.

According to the City of Los Angeles Bureau of Engineering, Citywide Methane Ordinance Map A-20960, the subject site is located within a potential methane and methane buffer zone. Hence, methane gas seepage represents an occupancy, health and safety concern. Alpha contacted the City of Los Angeles Bureau of Engineering regarding the information related to the methane gas seepage regulations. They directed Alpha to contact the Grading Department and the Building and Safety Division.

As per the City of Los Angeles Department of Building and Safety, additions, alterations, repairs, changes of use or changes of occupancy to existing buildings should comply with the general methane mitigation requirements. The mitigation requirements include site testing and methane mitigation systems such as the passive, active and miscellaneous systems.



## 4.0 SITE INVESTIGATION

### 4.1 Site Reconnaissance

On December 6, 2005, Mr. Kathirvel Arumugam, an Alpha Environmental representative experienced in similar environmental site assessments, conducted a site reconnaissance of the subject site. The objective of this reconnaissance was to look for unusual features that may indicate environmental concerns. The subject site was searched for the presence of discolored soil or pavement; unusual odors; storage, dumping or disposal of hazardous materials; transformers; underground or aboveground storage tanks (USTs or ASTs), drums or other containers; wells, sumps, clarifiers and elevator pits; general condition of the building; and other evidence of activities which may have generated hazardous materials. Photographs of the subject site are included in Appendix A and an Facility Layout Map is presented as Figure 2.

Based on Mr. Arumugam's reconnaissance the following observations were made:

- The subject site is improved with a 2-story commercial industrial/warehouse building occupied by a garment manufacturing facility named "Lanado, Inc." (Note: Access to the interior of the building was not available).
- The building on the subject property appeared to be in a fair physical condition.
- No visible smoke, fumes, or dust were noted being released from the site.
- No stains or distinct odors of hydrocarbons, solvents, or waste oils were noted.
- No vegetation or paved soil did not appear to be distressed or discolored.
- No indications of the presence of USTs, sumps, clarifiers, pits, ponds, lagoons, or wells were observed at the subject site.
- No ASTs or other containers of chemicals or hazardous materials were observed at the subject site.
- No indications of illegal dumping or disposal of hazardous materials were observed.
- No potential Polychlorinated Biphenyl (PCB) containing electrical equipment such as pad-mounted transformers were observed at the subject site.



Based on our site reconnaissance (exterior only), no significant environmental concerns that would represent RECs were identified.

#### **4.2 Asbestos-Containing Building Materials (ACBM)**

The use of asbestos in building materials was prohibited by the Environmental Protection Agency (EPA) in the late 1970's. The building was constructed in 1918. Based on the age of this building, asbestos-containing building materials (ACBM) may have been used in the construction of the building. An ACBM survey was not within the scope of work of this investigation.

#### **4.3 Potable Water Source**

The water purveyor for the subject site is the Los Angeles Department of Water and Power (LADWP). It is the responsibility of LADWP to provide customers with potable water in compliance with California State Maximum Contaminant Levels (MCLs) for primary drinking water constituents in water supplied to the public.

#### **4.4 Adjacent Property Reconnaissance**

As an integral part of our reconnaissance we examined the immediately adjacent properties from areas of public access. This examination was for potential environmental risks similar to those we looked for at the subject site.

- North:** Adjacent to the north is a commercial building at 1210 South Hope Street. No sign was posted on the building to indicate its occupancy.
- East:** A public alley bounds the east side of the subject site and across it is an asphalt-paved parking lot associated with a commercial building occupied by "Rag Zone Inc." at 1225 Grand Avenue.
- South:** Adjacent to the south is a commercial/industrial building occupied by "Nice Textile" at 1240 South Hope Street.
- West:** South Hope Street bounds the west side of the subject site and across it is a commercial building occupied by "Blue Bird Office Supplies" at 1225 South Hope Street.



We observed no obvious indications of a major spill, unauthorized releases, or indications of remediation activities on properties in the site vicinity. No significant environmental concerns were apparent during our adjacent property reconnaissance.

#### **4.5 Interviews**

As a part of this assessment Alpha Environmental requested an interview questionnaire be completed by site knowledgeable personnel. An interview questionnaire was completed on December 8, 2005 by Mr. Dan Daneshrad (Real Estate Agent) representing the owner completed the "company" portion of the questionnaire. A copy of the completed questionnaire is attached as Appendix D. Most questions on the questionnaire were responded to as "unknown." However, nine of the questions responded to as "no", indicated that Mr. Daneshrad has no knowledge of any government notifications or environmental liens related to past or recurrent violations.

Additionally, as per information received from Mr. Daneshrad during our site reconnaissance, the subject building is presently occupied by a garment manufacturing facility named "Lanado, Inc." for the last 20 years. He also indicated that the building was always been used for warehousing purposes. No environmental concerns that would represent RECs were identified at the subject site as a result of the interview.



## 5.0 SITE HISTORY

### 5.1 Sanborn Maps Research

Historical Sanborn Map Company Fire Insurance risk maps were researched to identify past site occupancy as well as business occupancies in the site vicinity. The Sanborn Map Company produced detailed maps of urban structure information on buildings which were present, as well as their commercial use, if any. As per the California State University, Northridge (CSUN) Geography Map Library, and Los Angeles Public Library database, Sanborn map coverage was available for this area for the years 1906, 1949, and 1953.

<u>Year</u>	<u>Description</u>
-------------	--------------------

1906:	<u>Subject Site:</u> The subject site is a portion of a open field named Fiesta Park with open bleachers.
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	<u>Adjacent Properties:</u> The adjacent properties to the north, east, and south is a portion of Fiesta Park and open bleachers. The adjacent property to the west, across South Hope Street, are single-family dwellings.
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1949:	<u>Subject Site:</u> The subject site is improved with a 2-story industrial/warehouse building occupied by a wholesale photo supplies facility.
-------	---

	<u>Adjacent Properties:</u>
--	-----------------------------

	<i>North:</i> To the north is a commercial/industrial building occupied by a machine shop and a roller bearing manufacturing facility.
--	--

	<i>East:</i> To the east, across a public alley, are two commercial buildings occupied by an auto repair facility and a bowling equipment servicing/warehouse facility.
--	---

	<i>South:</i> To the south is a commercial building occupied by an auto brake shop, and a warehouse for automobiles.
--	--

	<i>West:</i> To the west, across South Hope Street, is a commercial building occupied by auto supplies facility.
--	--

1953:	<u>Subject Site:</u> The 2-story commercial building is now seen occupied by a wholesale drafting supplies facility.
-------	--

	<u>Adjacent Properties:</u>
--	-----------------------------

	<i>North:</i> To the north is a commercial/industrial building occupied by an auto service facility.
--	--

	<i>East:</i> To the east, across a public alley, are two commercial buildings occupied by an auto repair facility and a Trunk & Luggage manufacturing company.
--	--

	<i>South:</i> To the south is a commercial building occupied by a retail store, and a warehouses.
--	---

	<i>West:</i> No significant changes were noted.
--	---



Based on the review of Sanborn maps, no obvious environmental concerns were noted at the subject site.

## 5.2 Building Records

### City of Los Angeles Department of Building and Safety

Alpha Environmental requested the City of Los Angeles Department of Building and Safety to provide the building records (building permits and certificates of occupancy) for the subject site addressed 1224 South Hope Street. The reviewed building records are summarized in the table below. Copies of some of the referenced building records are included in Appendix E.

**Summary of Building Records for 1224 South Hope Street**

Date	Type	Issued to	Issued for	Use of Site
8/29/19	BP	Larter Auto works	Build stock room	-
7/30/28	BP	Electrical Equipment Co.	Alteration	Store room
8/6/28	BP	Activator Kent Radio Co.	Add partitions for show room and offices, plastic partitions and new plumbing & vault	Vacant and was auto body repair plant
5/8/39	BP	AGFA Ansco Corp	Alterations	Store
8/7/41	BP	-	Alterations	Office and store
3/2/51	BP	Montgomery Property, Inc.	Install new wood partitions	Store
9/25/51	BP	Montgomery Properties	Alter parapet wall	Store building
7/22/85	MP	Karl H. Forster	Water heaters	-
4/1/86	MP	Elle Designs	Air inlets-outlets, day & night fan coil, comfort cooling compressor	-
4/15/88	BP	Marion H. Montgomery	Full compliance with Div 33 rating class III	Office/warehouse
2/7/89	BP	Marion H. Montgomery	Detail change	Office/warehouse
5/21/91	BP	Montgomery Management	Tear off hot mop, built up 90 Sq	Warehouse

Notes: BP= Building permit; MP= Mechanical Permit.

Based on the review of the building records, the former use of the subject site by an auto repair or body shop (prior to 1928) represents an environmental concern related to storage and handling of





hazardous materials such as solvents, thinners, oils, etc. typical of these types of facilities. However, considering the short duration of occupancy and the time elapsed (77 years), it does not represent a significant environmental concern to the subject site. Additionally, sub-surface contamination (if any) would be subject to naturally occurring attenuation over a period of time, hence, representing a *de minimis* condition.

### 5.3 Aerial Photograph Research

Alpha Environmental researched and reviewed available historical aerial photographs of the subject site area obtained from Rupp Aerial Photography (Rupp Aerial), and from other internet sources. The photographs reviewed are listed, and the findings are summarized in the following table.

**Aerial Photographs Review**

Date	Source	Description
5/22/38	Rupp Aerial	<u>Subject Site:</u> The subject site appears to be improved with the present day commercial/industrial building. <u>Adjacent Properties:</u> The adjacent properties appear to be improved with the present day commercial buildings.
12/4/52	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
7/28/64	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
10/25/72	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
4/1/85	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
1/24/92	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent on the adjacent properties with an exception of the adjacent property to the east (across alley). This adjacent property appears to be the present day parking lot associated with a commercial building.
5/31/94	USGS	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
3/29/04	USGS	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.

Based on the review of aerial photographs, no obvious environmental concerns were noted at the subject site.



---

## 6.0 REGULATORY RESEARCH

### 6.1 Permits and Enforcement History

The following agencies were contacted to determine if they have files for hazardous materials and underground storage tanks (USTs) related to the subject site.

#### **City of Los Angeles Fire Department- UST Division**

Alpha contacted the City of Los Angeles Fire Department – UST Division regarding information related to USTs or hazardous materials at the subject site. They indicated that they have no records related to USTs at the subject property.

#### **City of Los Angeles Fire Department- Hazardous Materials (HAZMAT) Division**

Alpha contacted the LAFD-HAZMAT division regarding information related to hazardous materials at the subject property. They indicated that they have no records related to the subject site.

#### **South Coast Air Quality Management District (SCAQMD)**

The SCAQMD was contacted regarding a record search for violations, site inspections, and equipment used on the subject site. The SCAQMD notified Alpha Environmental that they have no files related to violation, inspections, and equipment used on the subject site.

#### **California Regional Water Quality Control Board (RWQCB)**

The Spills, Leaks, Investigation and Cleanups (SLIC) and UST divisions of the California RWQCB was contacted regarding a record search for hazardous materials and USTs on the subject site. They indicated that they have no records for the subject site.

### 6.2 Record Search

Alpha Environmental subcontracted Environmental Data Resources, Inc. (EDR) to perform the regulatory agency record search for the subject site. We reviewed EDR's report to determine if the



site or any nearby properties are known to have a past or present record of actual or possible environmental impact, or are under investigation for an environmental impact. The following records were reviewed for listings based on the subject site's address and other sites within the list-specified radius. We have included a brief description of each of the databases listed. A copy of "The EDR - Radius Map Report" is included in Appendix C.

#### **FEDERAL RECORDS**

- **National Priority List (NPL)**: This is a National Priority List compiled by the U.S. Environmental Protection Agency EPA. The sites on this list are prioritized as to their significant risks to human health and the environment. Only NPL sites can receive CERCLA funding.
- **Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS)**: This is a list contains data on potentially hazardous waste sites that have been reported to the EPA by states, municipalities, private companies, and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to be on the NPL List or sites which are in the screening and assessment phase for possible inclusion on the NPL. The NFRAP label indicates No Further Remedial Action Planned. These are sites that have been removed from CERCLIS. After initial investigation, either no contamination was found, contamination was removed quickly, or the contamination was not serious enough to require Federal Superfund action or NPL consideration.
- **Resource Conservation and Recovery Information System (RCRIS-TSD)** : RCRIS includes selective information on sites which generate, transport, store, treat, and/or dispose (TSD) of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA).
- **RCRA Generators List**: The Resource Conservation and Recovery Act of 1976 provides for "cradle to grave" or from the point of generation to the point of disposal regulation of hazardous wastes. RCRA requires regulation of hazardous waste generators, transporters, and storage/treatment/disposal sites. RCRA Large Quantity Generators (LQGs) are facilities which generate at least 1,000 kg/month of non-acutely hazardous waste or 1 kg/month of acutely hazardous waste. RCRA Small Quantity Generators (SQG) are facilities that generate less than 1,000 kg/month of non-acutely hazardous waste.
- **Emergency Response Notification System (ERNS)**: The ERNS is a national computer database used to store information on unauthorized releases of oil and hazardous substances. The program is a cooperative effort of the EPA, the Department of Transportation Research and Special Program Administration's John Volpe National Transportation System Center, and the National Response Center.
- **Toxic Chemical Release Inventory System (TRIS)** TRIS identifies facilities which release toxic chemicals to the air, water, and land in reportable quantities under SARA Title III Section 313.

#### **STATE AND LOCAL RECORDS**

- **Annual Workplan (AWP)**: Known Hazardous Waste Sites. California Department of Toxic Substances Control's (DTSC's) Annual Workplan (AWP), formerly BEP, identifies known hazardous substance sites targeted for cleanup.
- **CAL-SITES (CAL)** The CAL-SITES list (previously known as the Abandoned Sites Program Information system [ASPIS]) contains information on potential hazardous waste sites that have been identified by the Historical Abandoned Site Survey Program.



- **California Hazardous Material Incident Reporting System (CHMIRS)**: CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).
- **State of California Office of Planning and Research (Cortese)**: This database identifies public drinking water wells with detectable levels of contamination, hazardous substance sites selected for remedial action, sites with known toxic material identified through the abandoned site assessment program, sites with USTs having a reportable release, and all solid waste disposal facilities from which there is known contaminant migrations.
- **Proposition 65 Notification Records (NOTIFY 65)**: NOTIFY 65 contains facility notifications about any release which could impact drinking water or expose the public to a potential health risk.
- **Toxic Pits (TPC)**: The Toxic Pits Clean-Up Act places strict limitations on the discharge of liquid hazardous wastes into surface impoundments, toxic ponds, pits, and lagoons. Regional Water Quality Control Boards (RWQCBs) are required to inspect all surface impoundments annually. In addition, every facility was required to file a Hydrogeological Assessment Report. Recent legislation allows the Department of Health Services (DHS) to exempt facilities that closed on or before December 31, 1985, if it can be shown that no significant environmental risk remains.
- **State Landfill/Solid Waste Information Systems (SWIS)**: The California Waste Management Board maintains an inventory of active, inactive, and closed solid waste disposal and transfer facilities.
- **WMUDS/Solid Waste Assessment Test (SWAT)**: The State Water Resource Control Board ranks all solid waste disposal sites throughout the state on the basis of the potential threat they may pose to water quality. Sites are tested to see whether there is hazardous waste leakage from the landfill.
- **Leaking Underground Storage Tanks (LUST)**: The LUST list contains an inventory of reported leaking USTs and provides information related to the extent to which the soil and groundwater have been affected, as well as the status of clean-up activities related to the release.
- **Bond Expenditure Plan (BEP)**: Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds.
- **Permitted Underground Storage Tanks-State Water Quality Board (UST)**: The Cortese Bill (AB2013) enacted in 1983, required registration of all USTs with State Water Quality Board by July 1, 1984. About 176,000 tanks and surface impounds were registered between 1984 and 1987. An amendment (AB1413) was passed in 1987, effectively removing the State Board from the registration processes starting January 1, 1988. The data reflects the information collected by the state between 1974 and 1987. Home and farm heating fuel tanks with capacities of 1,100 gallons or less and structures such as "sumps, separators, storm drains, catch basins, oil field gathering lines, refinery pipe lines, lagoons, evaporation ponds, well cellars, separation sumps, lined and unlined pits, sumps and lagoons" except those defined as UST under HSWA may be regulated to protect water quality under the Porter - Cologne Water Quality Control Act.
- **Hazardous Waste Information System (HAZNET)**: Includes Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method.
- **Active Toxic Site Investigations (SLIC)**: This report contains a list of Active Toxic Site Investigations that are under the direction of the Regional Water Quality Control Board.

In addition to the above-mentioned Federal, State and Local Records, EDR also researched Tribal and EDR Proprietary Records. Following is a partial list of the databases researched. For a complete



list and detailed description of the databases researched, see "The EDR-Radius Map Report" which is included in Appendix C.

**TRIBAL RECORDS**

- **INDIAN RESERV:** Indian Reservations. This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.
- **INDIAN LUST:** Leaking Underground Storage Tanks on Indian Land.
- **INDIAN UST:** Underground Storage Tanks on Indian Land.

**EDR PROPRIETARY RECORDS**

- **Former Manufactured Gas (Coal Gas) Sites:** This list contains information on the existence of coal gas sites.

**6.2.1 Summary of Regulatory Agency Records Review**

This database search lists sites by a reference number. EDR Map ID Numbers are generally larger for sites that are farther away from the subject site. The following table summarizes the findings of the database search performed by EDR, Inc.:

Database	Target Property	Search Distance (Miles)	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
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**Federal Records**

NPL		1.125	0	0	0	0	0	0
Proposed NPL		1.125	0	0	0	0	0	0
Delisted NPL		1.125	0	0	0	0	0	0
NPL Liens		0.250	0	0	NR	NR	NR	0
CERCLIS		0.625	0	0	1	0	NR	1
CERC-NFRAP		0.375	0	0	0	NR	NR	0
CORRACTS		1.125	0	0	0	0	0	0
RCRA TSD		0.625	0	0	0	0	NR	0
RCRA Lg. Quan. Gen.		0.375	0	0	0	NR	NR	0
RCRA Sm. Quan. Gen.	X	0.375	4	11	18	NR	NR	33
ERNS		0.250	0	0	NR	NR	NR	0
HMIRS		0.250	0	0	NR	NR	NR	0
US ENG CONTROLS		0.625	0	0	0	0	NR	0
US INST CONTROL		0.625	0	0	0	0	NR	0
DOD		1.125	0	0	0	0	0	0
FUDS		1.125	0	0	0	0	0	0
US BROWNFIELDS		0.625	0	0	0	0	NR	0
CONSENT		1.125	0	0	0	0	0	0
ROD		1.125	0	0	0	0	0	0
UMTRA		0.625	0	0	0	0	NR	0
ODI		0.125	0	NR	NR	NR	NR	0



IRIS		0.250	0	0	NR	NR	NR	0
TSCA		0.250	0	0	NR	NR	NR	0
FTTS		0.250	0	0	NR	NR	NR	0
SSTS		0.250	0	0	NR	NR	NR	0
PADS		0.250	0	0	NR	NR	NR	0
MLTS		0.250	0	0	NR	NR	NR	0
MINES		0.375	0	0	0	NR	NR	0
FINDS	X	0.250	5	12	NR	NR	NR	17
RAATS		0.250	0	0	NR	NR	NR	0

**State or Local Records**

AWP		1.125	0	0	0	0	0	0
Cal-Sites		1.125	0	0	0	0	0	0
Toxic Pits		1.125	0	0	0	0	0	0
CA Bond Exp. Plan		1.125	0	0	0	0	0	0
NFA		0.375	0	0	0	NR	NR	0
NFE		0.375	0	0	0	NR	NR	0
REF		0.375	0	0	0	NR	NR	0
SCH		0.375	0	0	0	NR	NR	0
State Landfill		0.625	0	0	0	0	NR	0
CA WDS		0.125	0	NR	NR	NR	NR	0
WMUDS/SWAT		0.625	0	0	0	0	NR	0
Cortese		0.625	0	1	4	2	NR	7
LUST		0.625	0	1	4	2	NR	7
SLIC		0.625	0	2	2	0	NR	4
AOCONCERN		1.125	0	0	0	0	0	0
UST		0.375	1	5	12	NR	NR	18
CA FID UST		0.375	3	10	23	NR	NR	36
HIST UST		0.375	1	6	13	NR	NR	20
AST		0.250	0	0	NR	NR	NR	0
SWRCY		0.625	0	0	1	0	NR	1
SWEEPS UST		0.375	5	10	24	NR	NR	39
CHMIRS		0.125	0	NR	NR	NR	NR	0
Notify 65		1.125	0	0	0	0	0	0
LA Co. Site Mitigation		0.250	0	1	NR	NR	NR	1
DEED		0.250	0	0	NR	NR	NR	0
VCP		0.625	0	0	0	0	NR	0
CLEANERS		0.375	0	2	0	NR	NR	2
Los Angeles Co. HMS		0.250	0	0	NR	NR	NR	0
WIP		0.375	0	0	1	NR	NR	1
HAZNET		0.250	12	31	NR	NR	NR	43
EMI		0.250	1	8	NR	NR	NR	9

**Tribal Records**

INDIAN RESERV		1.125	0	0	0	0	0	0
INDIAN LUST		0.625	0	0	0	0	NR	0
INDIAN UST		0.375	0	0	0	NR	NR	0

**EDR Proprietary Records**

COAL GAS		1.125	0	0	0	0	0	0
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NOTES: TP = Target Property  
NR = Not Requested at this Search Distance  
Sites may be listed in more than one database



As mentioned in the above table, the EDR database search found no listings within the list-specified search radius in the following databases.

**Federal Records**

<b>NPL</b>	National Priority List
<b>Proposed NPL</b>	Proposed National Priority List Sites
<b>Delisted NPL</b>	National Priority List Deletions
<b>NPL Liens</b>	Federal Superfund Liens
<b>CERC-NFRAP</b>	CERCLIS No Further Remedial Action Planned
<b>CORRACTS</b>	Corrective Action Report
<b>RCRA-TSDF</b>	Resource Conservation and Recovery Act Information
<b>RCRA-LQG</b>	Resource Conservation and Recovery Act Information
<b>ERNS</b>	Emergency Response Notification System
<b>HMIRS</b>	Hazardous Materials Information Reporting System
<b>US ENG CONTROLS</b>	Engineering Controls Sites List
<b>US INST CONTROL</b>	Sites with Institutional Controls
<b>DOD</b>	Department of Defense Sites
<b>FUDS</b>	Formerly Used Defense Sites
<b>US BROWNFIELDS</b>	A Listing of Brownfields Sites
<b>CONSENT</b>	Superfund (CERCLA) Consent Decrees
<b>ROD</b>	Records Of Decision
<b>UMTRA</b>	Uranium Mill Tailings Sites
<b>ODI</b>	Open Dump Inventory
<b>TRIS</b>	Toxic Chemical Release Inventory System
<b>TSCA</b>	Toxic Substances Control Act
<b>FTTS INSP</b>	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
<b>SSTS</b>	Section 7 Tracking Systems
<b>PADS</b>	PCB Activity Database System
<b>MLTS</b>	Material Licensing Tracking System
<b>MINES</b>	Mines Master Index File
<b>RAATS</b>	RCRA Administrative Action Tracking System

**State or Local Records**

<b>AWP</b>	Annual Workplan Sites
<b>Cal-Sites</b>	Calsites Database
<b>Toxic Pits</b>	Toxic Pits Cleanup Act Sites
<b>CA BOND EXP. PLAN</b>	Bond Expenditure Plan
<b>NFA</b>	No Further Action Determination
<b>NFE</b>	Properties Needing Further Evaluation
<b>REF</b>	Unconfirmed Properties Referred to Another Agency
<b>SCH</b>	School Property Evaluation Program
<b>SWF/LF</b>	Solid Waste Information System
<b>CA WDS</b>	Waste Discharge System
<b>WMUDS/SWAT</b>	Waste Management Unit Database
<b>AOCONCERN</b>	San Gabriel Valley Areas of Concern
<b>AST</b>	Aboveground Petroleum Storage Tank Facilities
<b>CHMIRS</b>	California Hazardous Material Incident Report System
<b>Notify 65</b>	Proposition 65 Records
<b>DEED</b>	Deed Restriction Listing
<b>VCP</b>	Voluntary Cleanup Program Properties
<b>LOS ANGELES CO. HMS</b>	HMS: Street Number List

**Tribal Records**INDIAN RESERV  
INDIAN LUST  
INDIAN USTIndian Reservations  
Leaking Underground Storage Tanks on Indian Land  
Underground Storage Tanks on Indian Land**EDR Proprietary Records**

Coal Gas

Coal Gas

**6.2.2 Discussion of Regulatory Database Findings**

The subject site located at 1224 South Hope Street is not listed on any of the above-referenced databases. (Note: A EDR Report prepared for the subject site and an immediately adjoining property to the south is used for preparation of this report. Hence, the adjacent properties addressed at 1240-1248 South Hope Street is listed as a target property). There are 15 RCRA-SQG, 17 FINDS, 2 SLIC, 6 UST, 13 CA FID UST, 7 HIST UST, 15 SWEEPS UST, 1 LA Co. Site Mitigation, 2 CLEANERS, 43 HAZNET, and 9 EMI listings within a ¼-mile search radius. These databases including the RCRA-SQG, UST, CA FID UST, HIST UST, EMI and HAZNET listings report permitted activities and by themselves do indicate that a release has occurred or not represent a significant environmental concern to the subject site.

Within a ¼-mile search radius, the relatively more significant listings are 1 Cortese and 1 LUST listings. The Cortese database generally reports leaking tank sites. This is an older state of California database and is no longer updated. No status or detail is usually reported in these Cortese listings. However, these sites are also listed in the LUST database. Following is the detail of the LUST listing reported within a ¼-mile radius of the subject site (distances from the site are taken directly from the EDR database report).

- ***City of Los Angeles, Los Angeles Convention Center, Gretag Imaging Inc, FUI Photo Film USA Inc, and AGFA Corporation (EDR Map # N 61, N63, N64, N65, N66, N67, & N69)*** located at 1201 South Figueroa Street (reported to be about 1,019 feet to the north-northwest) is listed on the FINDS, HAZNET, CA FID UST, HIST UST, CLEANERS, CA WDS, SWEEPS UST, LUST, Cortese, databases. The LUST database reports the *Chemical* as "Gasoline," the *Case Type* as "Soil only," and the *Status* as "Case Closed." Considering the distance, case type and status, this listing does not represent a significant environmental concern to the subject site.





Additionally, within ¼-1 mile search radius, EDR reports that there are 1 CERCLIS, 18 RCRA-SQG, 6 Cortese, 6 LUST, 2 SLIC, 12 UST, 23 CA FID UST, 13 HIST UST, 1 SWRCY, 24 SWEEPS UST, and 1 WIP listings. Out of the 6 LUST listings, 4 LUST listings are reported to have regulatory status of "Case Closed." Considering the distance, the other LUST, Cortese, and SLIC listings do not represent an environmental concern to the subject site. Considering the distance, the other reported listings do not appear to represent a significant environmental concern to the subject site.

In addition to the mapped sites, other sites are sometimes listed in the Orphan Summary. These sites may be out of the search range or have incomplete or improper addresses and could not be plotted within the specified search radius. A review of this list revealed no listings of Orphan Sites that appear to be of significant environmental consequence within a 1-mile-radius of the site.

Considering the site's location, hydrogeology, and the status and the relative location of the listed facilities, none of the off-site environmental elements appear to be impacting the soil or groundwater beneath the subject site at this time.



## 7.0 DISCUSSION AND CONCLUSIONS

- **Petroleum Hydrocarbon Contamination:** No sources of petroleum hydrocarbon contamination were observed at the subject site during our site reconnaissance. The regulatory research of federal, state, and local agencies and databases did not indicate soil or groundwater contamination at the subject site from on-site sources. The historical review of the subject site indicated that it was formerly (prior to 1928) occupied by an auto repair or body shop which represents an environmental concern related to storage and handling of hazardous materials such as solvents, thinners, oils, etc. typical of these types of facilities. However, considering the short duration of occupancy and the time elapsed (77 years), it does not represent a significant environmental concern to the subject site. Additionally, sub-surface contamination (if any) would be subject to naturally occurring attenuation over a period of time, hence, representing a *de minimis* condition.
- **Other Chemical Contamination:** There is no physical indication that the soil of the project area is contaminated with environmentally regulated chemicals at the time of this assessment.
- **Underground Storage Tanks (USTs):** The reconnaissance (exterior only) and regulatory research of federal, state, and local agencies and databases did not indicate the presence of USTs at the site.
- **Aboveground Storage Tanks (ASTs):** The reconnaissance (exterior only) and regulatory research of federal, state, and local agencies and databases did not indicate the presence of ASTs at the site or on the adjacent properties.
- **Polychlorinated Biphenyls (PCBs):** The use of PCBs was prohibited by the United States Environmental Protection Agency (EPA) in late 1970's. No potential PCB-containing equipment such as pad-mounted transformers were identified at the subject site.
- **Landfills:** There are no landfill listings reported within a 1/2-mile radius of the subject site.



- **Air Emissions:** No air emissions (visible dust, smoke, or fumes) were noted being released from the site.
- **Waste Generation, Storage, and Disposal:** No indications of waste generation, storage, or disposal were observed at the subject site.
- **Pesticides, Herbicides, and Fungicides:** Our historical review does not indicate past agricultural activities on the site and on neighboring properties. Hence, herbicides, pesticides, and/or fungicides are not likely to pose a significant environmental concern to the subject site.
- **Asbestos-Containing Building Materials (ACBM):** The use of asbestos in building materials was prohibited by the EPA in the late 1970's. The building was constructed in 1918. Based on the age of this building, asbestos-containing building materials (ACBM) may have been used in the construction of the building. An ACBM survey was not within the scope of work of this investigation. If renovation, remodeling, repair or demolition of the buildings is anticipated, a comprehensive asbestos survey would be warranted.
- **Regulatory Actions:** We found no indication of regulatory actions at the subject site.
- **Known Site Problems:** No known site problems were indicated in our research of the subject site.
- **Regional Environmental Problems:** There are no indications of regional environmental problems presented in the records we reviewed that would conclusively demonstrate an impact on the subject site. The regional groundwater contamination is not known to be a concern for the safe use and occupancy of the subject site.



- ***Final Conclusion:*** Alpha has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-00 of 1224 South Hope Street, Los Angeles, California, the subject site. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report. This assessment has revealed no evidence of *recognized environmental conditions* in connection with the subject site. It is Alpha's opinion, that no further investigation related to soil or groundwater is warranted at this time, if the site is to be re-used for the commercial/industrial purposes similar to its past/present use. However, the subject site is located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the general methane mitigation requirements.



## 8.0 REFERENCES

### 8.1 Request for Regulatory Records and Public Documents

The following local lead agencies were contacted by Alpha Environmental:

- City of Los Angeles Department of Building and Safety, contacted on December 13, 2005.
- Los Angeles Fire Department- UST Division, contacted on November 30, 2005.
- Los Angeles Fire Department- HAZMAT Division, contacted on November 30, 2005.
- South Coast Air Quality Management District (SCAQMD), contacted on November 30, 2005.
- California Regional Water Quality Control Board (RWQCB), contacted on November 30, 2005.

### 8.2 Published References

- Environmental Data Resources, Inc., The EDR Radius Map report dated December 13, 2005.
- U.S. Geological Survey, Hollywood, California, quadrangle—7.5-minute topographic map.
- Property Information Report obtained from Los Angeles County Office of the Assessor.
- Bulletin No. 104, "*Planned Utilization of the Ground Water Basins of the Coastal Plain of Los Angeles County.*"
- Geologic Map of California, Los Angeles Sheet, published in 1969 (sixth printing, 1991).
- Munger Map Book, California / Alaska Oil and Gas Fields, 1997.
- Citywide Methane Ordinance Map A-20960 from City of Los Angeles Bureau of Engineering.



## 9.0 LIABILITY RELEASE

The conclusions presented in this report are professional opinions based solely upon indicated data described in this report, visual observations of the site and vicinity, and our interpretation of the available historical information and documents reviewed, as described in this report. They are intended exclusively for the purpose outlined herein and the site locations and project indicated. This report is intended for the sole use of the Client. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or reuse of this documents or the findings, conclusions, or recommendations presented herein is at the sole risk of said user.

It should be recognized that this study was not intended to be a definitive investigations of contamination at the subject site and the conclusions provided are not necessarily inclusive of all the possible conditions. Given that the scope of services for this investigation was limited and that exploratory borings, soil and/or groundwater sampling or analytical testing were not undertaken, it is possible that currently unrecognized subsurface contamination may exist at the site. Alpha Environmental makes no representations regarding the value or marketability of the site or the suitability for any particular use, and none should be inferred based on this Report.

This Environmental Site Assessment report has been prepared to report information of the obvious general environmental condition and hazardous waste present on the property. The information in this report is based upon the observations and sound engineering judgments according to prevailing standard of care at the time of the Environmental Site Assessment. Based on the apparent conditions of the facility uncovered during investigation and record searches, no representation, warranties, or guarantees either expressed or implied are given with respect to concealed or latent problems on the site.



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## 10.0 CONFIDENTIALITY

Alpha Environmental agrees to hold the information contained in this report or any portion thereof, confidential. This report or information contained herein will not be released to any party except as required by law, without consent from the client. Upon the approval of the client the report may be issued to the designated party.



*Phase I ESA  
(1240 South Hope)  
- AEI Consultants*



August 30, 2005

AEI Project No. 27329

**PHASE I  
ENVIRONMENTAL SITE ASSESSMENT**

1240 South Hope Street  
Los Angeles, California 90015  
*Vacant Land*

Prepared For

**Mercogroup**  
761 Terminal Street  
Los Angeles, California 90021

Prepared By

**AEI CONSULTANTS**  
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Hermosa Beach, California 90254  
(310) 798-4255

**AEI**

## EXECUTIVE SUMMARY

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AEI Consultants (AEI) was retained by Mercogroup to conduct a Phase I Environmental Site Assessment (ESA), in conformance with the scope and limitations of ASTM Standard Practice E1527-00, for the property located at 1240 South Hope Street in the City of Los Angeles, Los Angeles County, California. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report.

### *Property Description*

The subject property is located on the east side of South Hope Street and the north side of Pico Boulevard in a mixed commercial and industrial area of Los Angeles. The property totals approximately 25,022 square feet and is improved with a two-story building of brick and concrete construction, totaling approximately 15,500 square feet. The building is currently occupied by Prestige Parking for use as a storage facility for furniture. In addition to the building, the subject property is improved with an asphalt-paved parking area to the south of the building. The building at the subject property was developed in 1918, while the parking area was developed in 1937.

South Hope Street borders the subject property to the west, beyond which are commercial buildings. Pico Boulevard and the Morrison Hotel border the subject property to the south, beyond which is a parking lot. An unnamed alleyway borders the subject property to the east, beyond which is a commercial building and a parking lot. A light industrial manufacturer borders the subject property to the north.

Based on a review of historical sources, the subject property was undeveloped, vacant land prior to 1906 when it was developed with the Fiesta Park for use as a recreational area. An electric equipment store occupied the subject property as early as 1918 until circa 1954. In 1921, a battery and electrical service facility occupied the subject property until circa 1954. An auto brake shop occupied the subject property between 1921 until approximately 1950. A garage and warehouse occupied the subject property as early as 1944 until circa 1960. As early as 1951, various offices were located on the subject property. Bookbinders Company occupied the subject property from 1960 to 1994. The current occupant of the property, Prestige Parking Inc., has been at the property since at least 2004.

Based upon topographic map interpretation, the direction of groundwater flow beneath the subject property is inferred to be to the southwest.

### *Findings*

Recognized environmental conditions (RECs) are defined by the ASTM Standard Practice E1527-00 as the presence or likely presence of any hazardous substances or petroleum products under conditions that indicate an existing release, a past release, or a material threat of a release into structures on the property or into the ground, groundwater, or surface water of the property.

AEI's investigation has revealed the following recognized environmental conditions associated with the subject property or nearby properties:

- No on-site recognized environmental conditions were identified during the course of this investigation.

Historical recognized environmental conditions (HRECs) are defined by the ASTM Standard Practice E1527-00 as an environmental condition which in the past would have been considered a recognized environmental condition, but which may or may not be considered a recognized environmental condition currently. AEI's investigation has revealed the following historical recognized environmental conditions associated with the subject property or nearby properties:

- No on-site historical recognized environmental conditions were identified during the course of this investigation.

Environmental issues include environmental concerns identified by AEI that warrant discussion but do not qualify as recognized environmental conditions, as defined by the ASTM Standard Practice E1527-00. AEI's investigation has revealed the following environmental issues associated with the subject property or nearby properties:

- Due to the age of the subject property building(s), there is a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. All suspect ACMs and painted surfaces were observed in decent condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.
- According to historical sources, the subject property was formerly occupied by an electric equipment store (1918-1954), a battery and electrical service facility (1921-1954), an auto brake shop (1921-1950), a garage and warehouse (1944-1960), and Bookbinders Company (1960 to 1994). Operations typically associated with these businesses include the use of small quantities of petroleum hydrocarbons, waste oil, metals, paints, and solvents. According to the business owner, Mr. Samson, Bookbinders has occupied the subject property for approximately 45 years. Mr. Samson stated that Bookbinders has not performed printing operations onsite and, consequently, did not use inks or solvents during the period of occupancy. The previous businesses may have utilized the previously stated hazardous materials onsite; however, based on the building size, it is presumed that the onsite operations were small-scale and resulted in small quantities of materials used. In addition, AEI did not observe the presence of direct conduits to the subsurface or significant staining throughout the building. Based on the small-scale of operations onsite, the lack of conduits, and the presumed small quantities used, the former presence of these businesses is not expected to represent a significant environmental concern.

***Conclusions, Opinions, and Recommendations***

**AEI's investigation has revealed no evidence of recognized environmental conditions associated with the subject property or nearby properties. AEI recommends no further investigations for the subject property at this time.**

## 1.0 INTRODUCTION

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This report documents the methods and findings of the Phase I Environmental Site Assessment (ESA) of the property located at 1240 South Hope Street in the City of Los Angeles, Los Angeles County, California (Figure 1: Site Location Map, Figure 2: Site Map, and Appendix A: Property Photographs).

### 1.1 Scope of Work

The purpose of the Phase I Environmental Site Assessment is to identify potential environmental liabilities associated with the presence of hazardous materials, their use, storage, and disposal at and in the vicinity of the subject property, as well as regulatory non-compliance that may have occurred at the subject property. Property assessment activities focused on: 1) a review of federal, state, and local lists that identify and describe underground fuel tank sites, leaking underground fuel tank sites, hazardous waste generation sites, and hazardous waste storage and disposal facility sites within the ASTM approximate minimum search distance; 2) a property and surrounding site reconnaissance with personnel interviews to identify environmental contamination; and 3) a review of historical sources to help ascertain previous land use at the site and in the surrounding area.

The goal of AEI Consultants in conducting the environmental site assessment was to identify the presence or likely presence of any hazardous substances or petroleum products on the property that may indicate an existing release, a past release, or a material threat of a release of any hazardous substance or petroleum product into the soil, groundwater, or surface water of the property.

### 1.2 Limitations

Property conditions, as well as local, state, and federal regulations can change significantly over time. Therefore, the recommendations and conclusions presented as a result of this study apply strictly to the environmental regulations and property conditions existing at the time the study was performed. Available information has been analyzed using currently accepted assessment techniques and it is believed that the inferences made are reasonably representative of the property. AEI Consultants makes no warranty, expressed or implied, except that the services have been performed in accordance with generally accepted environmental property assessment practices applicable at the time and location of the study.

Considerations identified by ASTM as beyond the scope of a Phase I ESA that may affect business environmental risk at a given property include the following: asbestos-containing materials, radon, lead-based paint, lead in drinking water, wetlands, regulatory compliance, cultural and historic resources, industrial hygiene, health and safety, ecological resources, endangered species, indoor air quality, and high voltage lines. These environmental issues or conditions may warrant assessment based on the type of the property transaction; however, they are considered non-scope issues under ASTM Standard Practice E1527-00.

If requested by the client, these non-scope issues are discussed in Section 5.2. Otherwise, the purpose of this investigation is solely to satisfy one of the requirements to qualify for the innocent landowner defense under the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA), that is, ASTM Standard Practice E1527-00 constitutes "all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice" as defined in 42 USC § 9601(35)(B), referenced in the ASTM Standard Practice E1527-00.

The Phase I Environmental Site Assessment is not, and should not be construed as, a warranty or guarantee about the presence or absence of environmental contaminants that may affect the property. Neither is the assessment intended to assure clear title to the property in question. The sole purpose of investigation into property title records is to ascertain a historical basis of prior land use.

### **1.3 Reliance**

This investigation was prepared for the sole use and benefit of Mercogroup. Neither this report, nor any of the information contained herein shall be used or relied upon for any purpose by any person or entity other than Mercogroup.

### **1.4 Limiting Conditions**

Pursuant to ASTM Standards, historical sources were obtained to document property use back to the property's first developed use or back to 1940, whichever is earlier. Historical data source failure may occur when standard historical sources are not reasonably ascertainable. Based on the quality of historical data obtained for this assessment, AEI does not expect historical data source failure to impact the conclusions or recommendations of this report.

The performance of this Phase I Environmental Site Assessment was not limited in any way. AEI was granted full and complete access to the subject property.

## 2.0 SITE AND VICINITY DESCRIPTION

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### 2.1 Site Location and Description

The subject property is located on the east side of South Hope Street and north side of Pico Boulevard. The property totals approximately 25,022 square feet and is improved with a two-story building of concrete and brick construction, totaling approximately 15,500 square feet. The building is currently occupied by Prestige Parking for use as a storage facility for furniture. The type of material being stored at the property is predominantly furniture. In addition to the building, the subject property is improved with an asphalt-paved parking area to the south of the building. According to the broker of the subject property, Mr. Gary J. Herman, Jr., the building was constructed in 1918 while the parking area was developed in 1937.

According to the Los Angeles County Assessor's Office, the subject property is identified by the Assessor Parcel Numbers (APNs) 5139-022-016 and -017, and the building at the subject property was developed in 1918, while the parking area was developed in 1937. Heating and cooling systems on the subject property are fueled by natural gas and electricity is provided by the Los Angeles Department of Water and Power (LADWP). Potable water and sewage disposal are provided by municipal services.

Refer to Figure 1: Site Location Map, Figure 2: Site Map, and Appendix A: Property Photographs for site location.

### 2.2 Site and Vicinity Characteristics

The subject property is located in a mixed commercial and industrial area of Los Angeles. South Hope Street borders the subject property to the west, beyond which are commercial buildings. Pico Boulevard and the Morrison Hotel border the subject property to the south, beyond which is a parking lot. An unnamed alleyway borders the subject property to the east, beyond which is a commercial building and a parking lot. A light industrial manufacturer borders the subject property to the north.

### 2.3 Geology and Hydrogeology

According to the United States Department of Agriculture's Report and General Soil Map for Los Angeles County, the area surrounding the subject property is underlain by soils of the Hanford association. Hanford soils consist of well-drained soils on flood plains and alluvial fans. In a typical profile the surface layer is light brownish gray fine sandy loam seven inches thick. The material to a depth of 60 inches or more is yellowish-brown coarse sandy loam and gravelly coarse sand substratum. In the Los Angeles basin, these soils are used almost exclusively for residential and industrial purposes.

Based on a review of the USGS Hollywood Quadrangle Topographic Map, the subject property is situated 239 feet above mean sea level, and the local topography is sloping to the southwest. The nearest surface water is a small lake in Macarthur Park, located approximately 1.5 miles to

the north. Based on topographic map interpretation, the inferred flow direction of groundwater at the subject property is to the southwest.



### **3.0 HISTORICAL REVIEW OF SITE AND VICINITY**

According to historical sources, the current subject property building was constructed in 1918 for commercial use. Prior to the construction of the building, the property was formerly developed with the Fiesta Park as early as 1906. Prior to the that, the subject property was undeveloped.

According to historical sources, the subject property was formerly occupied by an electric equipment store (1918-1954), a battery and electrical service facility (1921-1954), an auto brake shop (1921-1950), a garage and warehouse (1944-1960), and Bookbinders Company (1960 to 1994). Operations typically associated with these businesses include the use of small quantities of petroleum hydrocarbons, waste oil, metals, paints, and solvents. According to the business owner, Mr. Samson, Bookbinders has occupied the subject property for approximately 45 years. Mr. Samson stated that Bookbinders has not performed printing operations onsite and, consequently, did not use inks or solvents during the period of occupancy. The previous businesses may have utilized the previously stated hazardous materials onsite; however, based on the building size, it is presumed that the onsite operations were small-scale and resulted in small quantities of materials used. In addition, AEI did not observe the presence of direct conduits to the subsurface or significant staining throughout the building. Based on the small-scale of operations onsite, the lack of conduits, and the presumed small quantities used, the former presence of these businesses is not expected to represent a significant environmental concern.

#### **3.1 Aerial Photograph Review**

On August 17, 2005, AEI Consultants reviewed aerial photographs of the subject property and surrounding area. Aerial photographs were reviewed for the following years:

Date: 1948 Scale: 1" = 500'	Date: 1980 Scale: 1" = 500'
Date: 1952 Scale: 1" = 500'	Date: 1987 Scale: 1" = 528'
Date: 1968 Scale: 1" = 500'	Date: 1994 Scale: 1" = 500'
Date: 1972 Scale: 1" = 500'	Date: 2004 Scale: 1" = 528'

In the 1948 aerial photograph, the subject property appears to be developed with the current building and a parking lot. South Hope Street is visible to the west of the property and Pico Boulevard is visible to the south of the property. An unnamed alleyway and South Grand Avenue are also visible to the east of the property. The surrounding properties to the north, east,

and west appear to be developed with commercial structures that are similar to those present today. The properties to the south appear to have been developed with commercial buildings.

No significant changes were noted in the 1952, 1968, 1972, 1980, 1987, and 1994 aerial photographs.

In the 2004 aerial photograph, the subject property and surrounding properties are developed as they are today. The properties adjacent to the east, north, west and south appear to be developed with the current parking lots and the commercial and industrial buildings.

High-quality copies of reviewed aerial photographs are included as Figure 3.

### **3.2 Local Agencies**

Local agencies, such as environmental health departments, fire prevention bureaus, and building departments are contacted to identify any current or previous reports of hazardous materials use, storage, and/or unauthorized releases that may have impacted the subject property.

#### **3.2.1 Planning Department**

On August 17, 2005, the City of Los Angeles Department of Planning (LADP) was contacted for information on the subject property in order to identify historical tenants and property use.

According to LADP, the following addresses were identified in association with the subject property in addition to the current address (1240 South Hope Street): 1230 and 1236 South Hope Street. All three addresses were included in the research through local agencies and historical sources.

#### **3.2.2 Health Department**

On August 10, 2005, the Los Angeles County Public Health Investigation (LACPHI) was contacted to review files on the subject property and nearby sites of concern. Files at the LACPHI may contain information regarding hazardous materials storage, as well as information regarding unauthorized releases of petroleum hydrocarbons or other contaminants that may affect the soil or groundwater in the area.

No information indicating current or previous hazardous materials use or storage on the subject property was on file with the LACPHI.

#### **3.2.3 Fire Department**

On August 10, 2005, the Los Angeles City Fire Department (LAFD) was contacted for information on the subject property and/or nearby sites of concern to identify any evidence of previous or current hazardous material usage.

According to the LAFD, a hazardous materials file existed for the subject property; however, this file was destroyed due to deactivation status of the account (the business was no longer present onsite). The policy at the LAFD is to destroy all records that are more than five years old. An attempt was made to obtain an inventory summary of this file, but there was no information on file. Thus, no information indicating any current or historical storage of hazardous materials on the subject property was available at the LAFD. In addition, no records in association with underground storage tanks (USTs) were found for the subject property.

### 3.2.4 Building Department

On August 17, 2005, the City of Los Angeles Department of Building and Safety (LADBS) was visited for information on the subject property in order to identify historical tenants and property use. Please refer to the following table for a listing of permits reviewed:

#### Building Permits Reviewed

Year(s)	Applicant	Description of Permit / Building Use
1918	Ponst Co.	Electric Equipment
1921	Electric Equipment Co.	Battery and Electrical, Battery and Electrical Service, Auto Service
1928, 1933	Electric Equipment Co.	Electrical Parts Store Room, Store
1943, 1944	Montgomery Properties	Stores
1949	Wagner Electric Co.	Store Wholesale
1951	Montgomery Properties	Offices and Garages
1960	Montgomery Management	Garage Parking, Office and Warehouse
1960	Bookbinders Company	Office and Factory
1968	Francis Montgomery	Printing
1968, 1975	Montgomery Management Co.	Printing, Printing Plant
1985, 1989	Pine Tree Company	Printing, Manufacturing, Manufacturing

According to building records and the Los Angeles County Tax Assessor, the current building was constructed in 1918 for commercial use. The subject property was occupied by an auto service facility in 1921. Based on the building records, it is unclear how long this business occupied the subject property. This business is further discussed in Section 3.3.

In 1960, Bookbinders Company, also identified as Montgomery Management, constructed an office and a factory on the subject property. In 1968 and 1975, Francis Montgomery/Montgomery Management Co. (current owner) is listed as operating a printing plant onsite. Likewise, in 1985 and 1989, Pine Tree Company (also associated with Montgomery Management and Bookbinders Company) is listed as operating a printing and manufacturing facility onsite.

An interview was conducted with Mr. Jeff Samson, the President of Bookbinders Company, who informed AEI Consultants that the operations of Bookbinders Company did not consist of any printing at any time while they occupied the subject property. Mr. Samson also informed AEI that Bookbinders was the only tenant present onsite as early as 1960 to the present. Mr. Samson further stated that Francis Montgomery/Montgomery Management Co. is the owner of the

property and Pine Tree Company is the name of their property management company. Therefore, the building records classified under those names relates entirely to Bookbinders Company, who performed no printing operations at the subject property. The information obtained during the interview with Mr. Samson has made it clear that the classification of printing that is listed in the building department records is misleading, and is ultimately incorrect. Based on the statements made by Mr. Samson, the operations of Bookbinders Company are not expected to represent a significant environmental concern.

### **3.2.5 Department of Oil and Gas**

Department of Oil and Gas (DOG) maps concerning the subject property and nearby properties were reviewed. DOG maps contain information regarding oil and gas development.

According to the DOG map, there are no oil or gas wells within 500 feet of the subject property. No environmental concerns were noted during the DOG map review.

### **3.3 Sanborn Fire Insurance Maps**

Sanborn Fire Insurance maps were developed in the late 1800s and early 1900s for use as an assessment tool for fire insurance rates in urbanized areas. A search was made of Seattle Public Library's collection of Sanborn Fire Insurance maps on August 13, 2005. Sanborn maps were available and reviewed for the years 1888, 1894, 1906, 1944, and 1954.

In the 1888 and 1894 Sanborn maps, the subject property and the surrounding properties to the north, east and west are undeveloped. The property to the west of the subject property is depicted with residences and undeveloped land. South Hope Street and Pico Boulevard are depicted to the west and south of the property, respectively.

In the 1906 Sanborn map, the subject property and surrounding properties to the north, south, and east are developed with the Fiesta Park. The adjacent property to the west is depicted with residences.

In the 1944 Sanborn map, the subject property is depicted with the present-day commercial building. The front (western) portion of the property is occupied by an Automobile Brake Shop and a store that is associated with electrical equipment. It is reasonable to conclude that this Automobile Brake Shop had occupied the property since 1921, when an Auto Service was identified as a tenant in the building records. Therefore, this Automobile Brake Shop occupied the subject property for at least 23 years. The site inspection revealed no conduits, such as drains, or significant staining located within the property building. Due to the lack of conduits, it is unlikely that any hazardous substances or petroleum products that may have been released onsite permeated into the soil or groundwater at the subject property. Likewise, the size of the Automobile Brake Shop was no larger than 7,500 square feet. If any hazardous substances or petroleum products associated with this business were released at the subject property, the quantity would not have been large enough to represent a significant environmental concern.

Based on the lack of conduits at the subject property and the small-scale operations, the Automobile Brake Shop is not expected to represent a significant environmental concern.

The back (eastern) portion of the property is occupied by an Automobile House and a Warehouse. The adjacent property to the north is depicted with a wholesale photo supply store, and the adjacent properties to the south are depicted with the Morrison Hotel and stores. The adjacent properties to the west are depicted with stores, while the adjacent properties to the east are depicted with an automobile repair shop, an undeveloped parcel of land and a store.

In the 1954 Sanborn map, the subject property is depicted with the present-day commercial building. The front (western) portion of the property is occupied by store that is associated with electrical equipment. The back (eastern) portion of the property is occupied by a warehouse. The adjacent property to the north is depicted with a wholesale drafting supply store, and the adjacent properties to the south are depicted with the Morrison Hotel and stores. The adjacent properties to the west are depicted with stores, while the adjacent properties to the east are depicted with an auto repair shop, an area for automobile storage, shoe machine repair shop and an office.

### 3.4 City Directories

A search of historic city directories was conducted for the subject property at LOCATION on August 18, 2005. Directories were available and reviewed for the years 1956, 1959, 1964, 1969, 1974, 1979, 1984, 1989, 1994, 1999, and 2004. The following table summarizes the results of the city directory search:

*City Directory Search Results*

Year(s)	Occupant Listed
1956, 1959	No listings
1964, 1969, 1974, 1979, 1984, 1989, 1994	Bookbinders Company
1999	No listings
2004	Prestige Parking Inc.

According to city directories, Bookbinders Company has occupied the subject property as early as 1964. Based on information previously discussed, no environmental concerns were noted during the city directory review.

### 3.5 Client-Provided Information and Interviews

The client, Mercogroup, did not report to AEI any environmental liens encumbering the subject property or report any information to AEI regarding previous uses or ownership of the subject property that indicated recognized environmental conditions in connection with the subject property. The client did not provide any title records to AEI for review.

Mr. Gary J. Herman, Jr., the broker, was interviewed for this investigation. Mr. Herman, Jr. was not aware of any pending, threatened, or past litigation relevant to hazardous substances or petroleum products in, on, or from the subject property; any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the subject property; or any notices from a governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products.

### **3.6 Previous Reports Reviewed**

No prior environmental reports in association with the subject property were made available to AEI during the course of this investigation.

#### 4.0 REVIEW OF REGULATORY AGENCY RECORDS

The following information was obtained through a search of electronically compiled federal, state, county, and city databases provided by Environmental FirstSearch. The database search includes regulatory agency lists of known or potential hazardous waste sites, landfills, hazardous waste generators, and disposal facilities in addition to sites under investigation. The information provided in this report was obtained from publicly available sources. The locations of the sites listed in this report are plotted with a geographic information system utilizing geocoding of site addresses. The accuracy of these locations is generally +/- 300 feet. AEI's field representative has attempted to confirm the locations of listings on or adjacent to the subject property. Refer to the radius map (Appendix B: Regulatory Database Review Report) for the locations of the sites in relation to the subject property.

##### 4.1 Records Summary

DATABASE REVIEWED	SUBJECT PROPERTY	ADJACENT PROPERTY
Identification as National Priorities List (NPL) "Superfund" site	No	No
Identification as RCRA CORRACTS site	No	No
Identification as State (CalSites SPL/SCL) site	No	No
Identification as CERCLIS/NFRAP site	No	No
Reported as leaking underground storage tanks (LUST) site	No	No
Identification as solid waste landfill (SWLP)	No	No
Registered underground/aboveground storage tanks (UST/AST)	No	No
Identification as an Emergency Response Notification Systems (ERNS) site	No	No
Identification as hazardous waste handler and/or generator (RCRA-TSD, LG-GEN and/or SM-GEN)	Yes	No
Identification as SPILLS Site	No	No

The subject property was identified during the regulatory database search as a RCRA-GEN site.

#### 4.2 Contaminant Migration

Migration of petroleum hydrocarbon or volatile organic compound (VOC) contamination is generally via groundwater. Therefore, only those contaminant release sites located hydrologically upgradient relative to the subject property are expected to represent a potential environmental concern to the subject property. Contaminated sites located hydrologically downgradient of the subject property are not expected to represent a potential threat to the groundwater quality beneath the subject property. Sites that are situated hydrologically cross-gradient relative to the subject property are not expected to represent a concern unless close proximity allows for the potential of lateral migration. As discussed in Section 2.3, groundwater in the vicinity of the subject property is assumed to flow to the southwest.

#### 4.3 Record Details

National Priorities List (NPL) is EPA's national listing of contaminated sites targeted for cleanup because they pose a threat to human health and the environment. The Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA or Superfund) authorizes and requires the EPA to investigate, categorize, and enforce the cleanup of hazardous waste sites on the NPL. An NPL site on or near a particular property may threaten the environmental integrity of the property or affect its marketability.

No sites within a 1-mile radius of the subject property were identified during the NPL database search.

CORRACTS is an EPA-maintained database of Resource Conservation and Recovery Act (RCRA) facilities undergoing "corrective action". A "corrective action order" is issued when there has been a release of hazardous waste or constituents into the environment from a RCRA facility. Corrective actions may be required beyond the facility's boundary and can be required regardless of when the release occurred, even if it predates RCRA.

No sites within a 1-mile radius of the subject property were identified during the CORRACTS database search.

California Sites (CalSites) are provided by the California Environmental Protection Agency, Department of Toxic Substances Control and include state equivalent NPL (SPL) and CERCLIS (SCL) sites.

Six sites within a 1-mile radius of the subject property were identified during the CalSites database search. These sites are located more than 1/4-mile from the subject property. Based on the relative distance, assumed direction of groundwater flow, and/or identification of responsible parties, these sites are not expected to represent significant environmental concerns.

CERCLIS/NFRAP is a list of sites that the EPA has investigated or is presently investigating for release or threatened release of hazardous substances, which may be subject to review in accordance with the terms and conditions of the Comprehensive Environmental Response,



Compensation, and Liability Act of 1980 (CERCLA, also known as Superfund). Sites listed on the "No Further Remedial Action Planned" (NFRAP) database are sites where, following an initial investigation, no contamination was found, contamination was removed quickly, or the contamination was not serious enough to require federal Superfund or NPL consideration.

No sites within a 1/2-mile radius of the subject property were identified during the CERCLIS/NFRAP database search.

Leaking Underground Storage Tanks (LUST) List is a list produced by the Regional Water Quality Control Board (RWQCB) of known sites with current or former leaking underground storage tanks on the premises.

Five sites within a 1/2-mile radius of the subject property were identified during the LUST database search. These sites are all located more than 1/4-mile from the subject property. Based on the relative distance, assumed direction of groundwater flow, and/or identification of responsible parties, these sites are not expected to represent significant environmental concerns.

Solid Waste Landfills (SWLF) is a database generated by the State of California Solid Waste Information System (SWIS), which includes active and inactive landfills and transfer stations within the state maintained by the California Integrated Waste Management Board.

No sites within a 1/4-mile radius of the subject property were identified during the SWLF database search.

Underground/Aboveground Storage Tanks (UST/AST) List is a comprehensive listing of registered underground and aboveground storage tanks located within the State of California.

Twenty-two sites within a 1/4-mile radius of the subject property were identified during the UST/AST database search. None of these sites are located adjacent to the subject property. Due to the lack of a documented release or factors discussed in the LUST segment of Section 4.3, the storage of hazardous materials within registered tanks is not a significant environmental concern.

Emergency Response Notification Systems (ERNS) List is EPA's database of emergency response actions.

No sites within a 1/4-mile radius of the subject property were identified during the ERNS database search.

Resource Conservation and Recovery Act (RCRA) Program identifies and tracks hazardous waste from the point of generation to the point of disposal. Information from the RCRA database is divided into three categories: TSD, LG GEN and SM GEN. The TSD category is searched to a 1/4-mile radius and tracks facilities which treat, store and/or dispose of hazardous waste. LG GEN, or large generators, are facilities that generate more than 1000 kg of hazardous waste per month. SM GEN, or small generators, are facilities that generate between 100 and

1000 kg of hazardous waste per month. The LG-GEN and SM-GEN databases are searched up to a  $\frac{1}{4}$ -mile radius from the subject property.

No sites within a  $\frac{1}{2}$ -mile radius of the subject property were identified during the RCRA-TSD database search.

Two sites, other than the subject property, within a  $\frac{1}{4}$ -mile radius of the subject property, were identified during the RCRA (LG-and SM-GEN) database search. The subject property is discussed below:

- The subject property, identified as Bookbinders Company, was listed as a RCRA-GEN site. According to the database, this site is listed as a small quantity generator producing approximately 100-1,000 kilograms of hazardous waste per month. Based on the lack of violations in regard to this generator, it is not expected to represent a significant environmental concern.

The remaining two sites are not located adjacent to the subject property.

The storage, treatment, disposal and/or generation of hazardous materials at these sites is not a significant environmental concern based on the lack of a documented release or factors discussed in prior segments of Section 4.3.

SPILLS sites are provided by the Regional Water Quality Control Board (RWQCB). This list includes sites that have recorded spills, leaks, investigations, and cleanups.

No sites within a  $\frac{1}{4}$ -mile radius of the subject property were identified during the SPILLS database search.

**5.0 SITE INSPECTION AND RECONNAISSANCE**

On August 12, 2005, a site reconnaissance of the subject property and adjacent properties was conducted by Steve Birenbaum and Jaime Guillen of AEI in order to obtain information indicating the likelihood of recognized environmental conditions at the subject property and adjacent properties as specified in ASTM Standard Practice E1527-00 §8.4.2, 8.4.3 and 8.4.4.

**5.1 On-Site Observations**

Identified		Observation
Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substances and/or Petroleum Products in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground & Underground Hazardous Substance or Petroleum Product Storage Tanks (ASTs / USTs)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substances and Petroleum Product Containers and Unidentified Containers not in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unidentified Substance Containers
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical or Mechanical Equipment Likely to Contain PCBs
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior Stains or Corrosion
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Strong, Pungent or Noxious Odors
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool of Liquid
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drains and Sumps
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pits, Ponds and Lagoons
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stained Soil or Pavement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stressed Vegetation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solid Waste Disposal or Evidence of Fill Materials
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Waste Water Discharges
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wells
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Systems
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other

None of the above listed items were observed during the site inspection. The subject property is currently occupied by Prestige Parking Inc. for storage of furniture. No hazardous materials or petroleum products are utilized during these activities.

**Electrical or Mechanical Equipment with the Potential to Contain PCBs**

Toxic polychlorinated biphenyls (PCBs) were commonly used historically in electrical equipment such as transformers, fluorescent lamp ballasts, and capacitors. According to United States EPA regulation 40 CFR, Part 761, there are three categories for classifying such equipment: <50 ppm of PCBs is considered "Non-PCB"; between 50 and 500 ppm is considered "PCB-Contaminated"; and >500 ppm is considered "PCB-Containing".

No transformers were observed on the subject property during the site inspection.



***Drains and Sumps***

No storm drains were observed in the parking area of the subject property.

**5.2 Non-ASTM Services*****Asbestos-Containing Building Materials***

For buildings constructed prior to 1980, the Code of Federal Regulations (29 CFR 1926.1101) states that all thermal system insulation (boiler insulation, pipe lagging, and related materials) and surface materials must be designated as "presumed asbestos-containing material" (PACM) unless proven otherwise through sampling in accordance with the standards of the Asbestos Hazard Emergency Response Act.

Due to the age of the subject property building, there is a potential that ACMs are present. The condition and friability of the identified suspect ACMs is noted in the following table:

***Suspect Asbestos Containing Materials (ACMs)***

Material	Location	Friable	Condition
Drywall Systems	Throughout building interior	No	Good
12"x12" Vinyl Floor Tile	Restrooms	No	Good
Vinyl Cove Base	Offices	No	Good
Carpet Mastic	Offices	No	Good
2'x4' Ceiling Panels	Offices	No	Good to Fair
12"x12" Ceiling Tile	Offices	No	Good
Roofing Systems	Roof	Not Inspected	Not Inspected

Due to the age of the subject property building, there is a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. Overall, all suspect ACMs and painted surfaces were observed in good condition and do not pose a health and safety concern to the occupants of the subject property at this time. A few ceiling tiles, however, were noted during the inspection to have signs of water damage. Should the ceiling tiles be replaced, the identified suspect ACMs would need to be sampled to confirm the presence or absence of asbestos prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants. AEI recommends the implementation of an Operations and Maintenance (O & M) Plan to protect the health and safety of the building occupants.

Regardless of building construction date, the EPA's National Emission Standards for Hazardous Air Pollutants (NESHAP) requires that an asbestos survey adhering to AHERA sampling protocol be performed prior to demolition or renovation activities that may disturb ACMs. This requirement is typically enforced by the local air pollution control or air quality management district, and specifies that all suspect asbestos-containing materials (ACMs) be sampled to determine the presence or absence of asbestos prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants. Similarly, OSHA regulations require that specific work practices be implemented when handling construction materials and debris that contain lead-containing materials (see below).

### ***Lead-Based Paint***

Lead-based paint is defined as any paint, varnish, stain, or other applied coating that has 1 mg/cm<sup>2</sup> (or 5,000 ug/g by dry weight) or more of lead. Section 1017 of the Housing and Urban Development Guidelines, Residential Lead-Based Paint Hazard Reduction Act of 1992, otherwise known as "Title X", defines a lead-based paint hazard as "any condition that causes exposure to lead that would result in adverse human health effects" resulting from lead-contaminated dust, bare, lead-contaminated soil, and/or lead-contaminated paint that is deteriorated or present on accessible, friction, or impact surfaces. Therefore, under Title X, intact lead-based paint on most walls and ceilings would not be considered a "hazard", although the paint should be maintained and its condition monitored to ensure that it does not deteriorate and become a hazard. Additionally, Section 1018 of this law directed HUD and EPA to require the disclosure of known information on lead-based paint and lead-based paint hazards before the sale or lease of most housing built before 1978. Most private housing, public housing, Federally owned housing, and housing receiving Federal assistance are affected by this rule.

In buildings constructed after 1978, it is very unlikely that lead-based paint is present. Due to the age of the subject property building, there is a potential that lead-based paint is present. Both interior and exterior painted surfaces were observed to be in good condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.

Local regulations may apply to lead-based paint in association with building renovation/demolition and worker/occupant protection. Actual material samples would need to be collected in order to determine if lead-based paint is present.

### ***Radon***

Radon is a naturally-occurring, odorless, invisible gas. Natural radon levels vary and are closely related to geologic formations. Radon may enter buildings through basement sumps or other openings.

The US EPA has prepared a map to assist National, State, and local organizations to target their resources and to implement radon-resistant building codes. The map divides the country into three Radon Zones, Zone 1 being those areas with the average predicted indoor radon concentration in residential dwellings exceeding the EPA Action limit of 4.0 pCi/L. It is important to note that the EPA has found homes with elevated levels of radon in all three zones, and the EPA recommends site specific testing in order to determine radon levels at a specific location. However, the map does give a valuable indication of the propensity of radon gas accumulation in structures.

Radon sampling was not requested as part of this investigation. According to the US EPA, the radon zone level for the area is Zone 2, which has a predicted average indoor screening level between 2 pCi/L and 4 pCi/L, below the action level of 4.0 pCi/L set forth by the EPA.

***Drinking Water Sources and Lead in Drinking Water***

The Metropolitan Water District supplies potable water to the subject property. The most recent water quality report states that lead levels in the areas water supply were non-detect and therefore are well within standards established by the USEPA.

***Mold/Indoor Air Quality Issues***

Molds are simple, microscopic organisms, which can often be seen in the form of discoloration, frequently green, gray, white, brown or black. Molds grow by digesting organic material and gradually destroy whatever they grow on. Mold spores primarily cause health problems through the inhalation of mold spores or the toxins they emit when they are present in large numbers. This can occur primarily when there is active mold growth within places where people live or work.

Mold, if present, may or may not visually manifest itself. Neither the individual completing this inspection, nor AEI has any liability for the identification of mold-related concerns except as defined in applicable industry standards. In short, this Phase I ESA should not be construed as a mold survey or inspection.

While a specific mold survey or study of indoor air quality (IAQ) in the building is beyond the scope of this assessment, AEI noted no indication of a significant IAQ problem during the site reconnaissance.

During the assessment, AEI inspected the accessed areas of the buildings for evidence of excessive or amplified mold growth, or for conditions favorable for mold growth (e.g. water damaged areas). No evidence of excessive or amplified mold growth was identified during the assessment.

During the on-site reconnaissance, the following obvious visual signs of mold growth or conditions conducive for mold growth were observed.

Location	Size of Area Affected	Condition
Second Floor Office; Ceiling	8' x 8'	Apparent water damage

Please refer to Appendix A for related photographs.

**5.3 Adjacent Property Reconnaissance Findings**

Identified		Observation
Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substances and/or Petroleum Products in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground & Underground Hazardous Substance or Petroleum Product Storage Tanks (ASTs / USTs)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Substance and Petroleum Product Containers and Unidentified Containers not in Connection with Property Use
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unidentified Substance Containers
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electrical or Mechanical Equipment Likely to Contain PCBs
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior Stains or Corrosion
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Strong, Pungent or Noxious Odors
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool of Liquid
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drains and Sumps
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pits, Ponds and Lagoons
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stained Soil or Pavement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stressed Vegetation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solid Waste Disposal or Evidence of Fill Materials
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Waste Water Discharges
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wells
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Systems
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other

None of the above listed items were observed during the site inspection.

## 6.0 FINDINGS AND CONCLUSIONS

### *Findings*

Recognized environmental conditions (RECs) are defined by the ASTM Standard Practice E1527-00 as the presence or likely presence of any hazardous substances or petroleum products under conditions that indicate an existing release, a past release, or a material threat of a release into structures on the property or into the ground, groundwater, or surface water of the property. AEI's investigation has revealed the following recognized environmental conditions associated with the subject property or nearby properties:

- No on-site recognized environmental conditions were identified during the course of this investigation.

Historical recognized environmental conditions (HRECs) are defined by the ASTM Standard Practice E1527-00 as an environmental condition which in the past would have been considered a recognized environmental condition, but which may or may not be considered a recognized environmental condition currently. AEI's investigation has revealed the following historical recognized environmental conditions associated with the subject property or nearby properties:

- No on-site historical recognized environmental conditions were identified during the course of this investigation.

Environmental issues include environmental concerns identified by AEI that warrant discussion but do not qualify as recognized environmental conditions, as defined by the ASTM Standard Practice E1527-00. AEI's investigation has revealed the following environmental issues associated with the subject property or nearby properties:

- Due to the age of the subject property building(s), there is a potential that asbestos-containing materials (ACMs) and/or lead-based paint are present. All suspect ACMs and painted surfaces were observed in decent condition and are not expected to pose a health and safety concern to the occupants of the subject property at this time.
- According to historical sources, the subject property was formerly occupied by an electric equipment store (1918-1954), a battery and electrical service facility (1921-1954), an auto brake shop (1921-1950), a garage and warehouse (1944-1960), and Bookbinders Company (1960 to 1994). Operations typically associated with these businesses include the use of small quantities of petroleum hydrocarbons, waste oil, metals, paints, and solvents. According to the business owner, Mr. Samson, Bookbinders has occupied the subject property for approximately 45 years. Mr. Samson stated that Bookbinders has not performed printing operations onsite and, consequently, did not use inks or solvents during the period of occupancy. The previous businesses may have utilized the previously stated hazardous materials onsite; however, based on the building size, it is presumed that the onsite operations were small-scale and resulted in small quantities of materials used. In addition, AEI did not observe the presence of direct conduits to the subsurface or significant staining



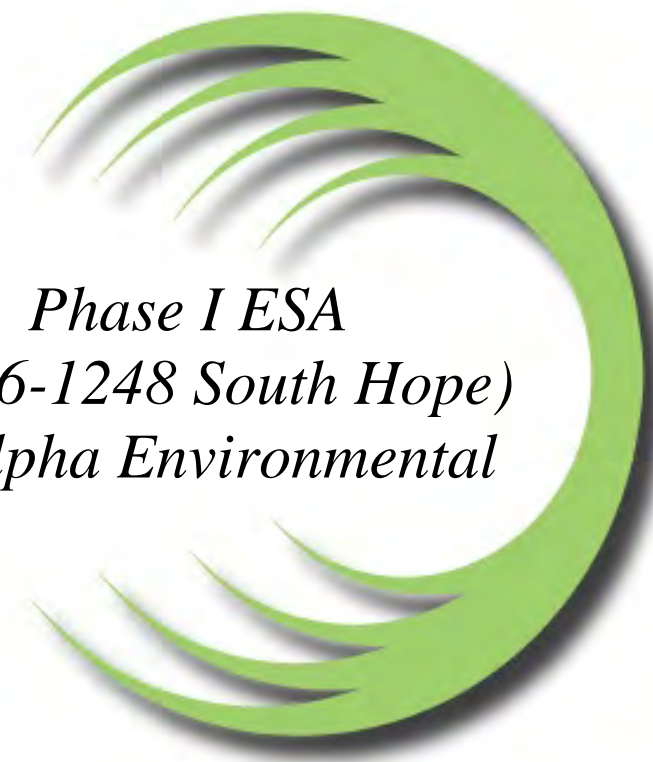
throughout the building. Based on the small-scale of operations onsite, the lack of conduits, and the presumed small quantities used, the former presence of these businesses is not expected to represent a significant environmental concern.

***Conclusions, Opinions, and Recommendations***

AEI's investigation has revealed no evidence of recognized environmental conditions associated with the subject property or nearby properties. AEI recommends no further investigations for the subject property at this time.

## **7.0 SIGNATURE OF ENVIRONMENTAL PROFESSIONALS**

AEV Consultants has performed a Phase I Environmental Site Assessment for the property:



*Phase I ESA  
(1246-1248 South Hope)  
- Alpha Environmental*

**ALPHA**  
ENVIRONMENTAL



# Phase I Environmental Site Assessment

*of*

1246-1248 South Hope Street  
Los Angeles, California 90015

*Prepared for*

**UNITED COMMERCIAL BANK**

*Prepared by*

**ALPHA ENVIRONMENTAL**



*A. Kathirvel*

**Kathirvel Arumugam  
Project Environmental Engineer**

*Saurabh Jawa*

**Saurabh Jawa, REA 06193  
Project Manager/Sr. Environmental Engineer**

December 13, 2005  
Project # 511.90015.405



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## EXECUTIVE SUMMARY

This report, prepared for United Commercial Bank (*Client*) by Alpha Environmental (Alpha) presents findings of a Phase I Environmental Site Assessment (ESA) of the property located at 1246-1248 South Hope Street, Los Angeles, California. The objective of this assessment was to identify *recognized environmental conditions*. The term *recognized environmental conditions* (REC) means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water at the site. To accomplish this, the site was visually examined, relevant regulatory records were reviewed, and the site history was researched.

The site reconnaissance, review of information available from federal/state databases and local regulatory agencies, and the site history researched indicate that the subject site was generally used for commercial purposes.

In summary we have identified the following:

### RECONNAISSANCE:

- The subject site is improved with a 4-story multi-unit commercial (hotel) building named and operated as "Morrison Hotel." No environmental concerns were observed during our site reconnaissance.

### HISTORICAL REVIEW:

- The historical review, extending back to 1906 (Sanborn map), indicates that the subject site was occupied by a commercial building and was a part of open field named "Fiesta Park." As per a building permit dated 1913 the subject site was redeveloped with the present day commercial building. The subject building was generally occupied by hotel and retail stores throughout. No environmental concerns were identified as a result of Alpha's historical review.

### REGULATORY RESEARCH:

- The regulatory research of federal, state, and local agencies and databases did not indicate soil or groundwater contamination at the subject site from on-site or off-site sources.

Alpha has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-00 of 1246-1248 South Hope Street, Los Angeles, California, the subject site. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report. This assessment has revealed no evidence of *recognized environmental conditions* in connection with the subject site. It is Alpha's opinion, that no further investigation related to soil or groundwater is warranted at this time, if the site is to be re-used for commercial purposes similar to its past/present use. However, the subject site is located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the Los Angeles city's general methane mitigation requirements.



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## 1.0 INTRODUCTION

At the request of United Commercial Bank (*Client*), Alpha Environmental has completed a Phase I ESA report for the subject site located at 1246-1248 South Hope Street in the City and County of Los Angeles, California. The subject site is improved with a 4-story multi-unit commercial (hotel) building named and operated as "Morrison Hotel." Figure 1, Site Location Map, shows the site in relation to surrounding features. Site specific features along with adjacent properties are shown on Figure 2, Facility Layout Map. Ground-level photographs of the site are presented in Appendix A.

### 1.1 Purpose

The purpose of this ESA is to identify, to the extent feasible pursuant to the processes prescribed in ASTM E-1527 (guidelines), *recognized environmental conditions* (RECs) in connection with the subject site. The term RECs means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water at the site. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include *de minimis* conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not RECs.

A Phase I ESA represents a "due diligence" effort related to the environmental integrity of the subject site within the respective ASTM guidelines. This investigation may satisfy one of the requirements to qualify for the innocent landowner defense under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA).





## 1.2 Scope of Work

The ESA is a general characterization of environmental concerns based on readily available information and site observations. The following services were provided for this assessment:

- **Site/Adjacent Reconnaissance**: Visual reconnaissance of the site and surrounding area to observe existing conditions and operations at the site and to check for indications of obvious sources of contamination.
- **Interviews**: Interview with current owner/occupants of the property. Interview with local government officials and environmental lead agencies.
- **Records Review**:
  - Review of maps and literature pertaining to the geologic and hydrogeologic characteristics of the site.
  - Review of readily available documents, maps, photographs, and interviews with knowledgeable persons to evaluate past land uses.
  - Review of available environmental lists/reports published by state and federal agencies to determine if the site or nearby properties are listed as having a present or past environmental problem, are under investigation, or are regulated by state or federal environmental agencies.
- **Report**: Preparation of this report containing our findings, conclusions, and recommendations.

The scope of work was performed in general accordance with our proposal dated November 29, 2005.

## 1.3 Involved Parties/Information Sources

The Property information Report was obtained from Los Angeles County Assessor's office. The report is attached in Appendix B. Environmental Data Resources, Inc. (EDR), a service maintaining a comprehensive database of pertinent environmentally-related records, was subcontracted for the task of performing the record search. EDR's database was researched for facilities within a maximum 1-mile-radius of the subject site. A report was generated based on those regulatory records. That report is attached in its complete form in Appendix C.



This investigation included a site reconnaissance, observation of neighboring properties, hydrogeological, and historical research. This investigation was performed by Kathirvel Arumugam, Project Environmental Engineer and Saurabh Jawa, Senior Environmental Engineer. Mr. Arumugam has Master's degree in Environmental Engineering and has 3 years experience conducting environmental assessments. Mr. Jawa is a California Registered Environmental Assessor (REA 06193) and has Bachelor's degree in Environmental Engineering and Master's degree in Business Administration. He has 15 years experience in the environmental field that included Phase I, II, & III Environmental Site Assessments. They are employed by Alpha Environmental and are properly trained and licensed to perform these functions.



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## 2.0 SITE OVERVIEW

This section describes the location of the facility, the ownership, and description of the property.

### 2.1 Site Location

The site is located at 1246-1248 South Hope Street in the City and County of Los Angeles, California (see Figure 1). The subject site is situated on the northeast corner of the intersection of South Hope Street and West Pico Boulevard. The facility is characterized by the following approximate coordinates on the Hollywood, California, United States Geological Survey (USGS) map, 7.5-Minute Series (Topographic).

Latitude	34° 2' 22.6"N
Longitude	118° 15' 55.4"W
Section	32
Township	T1S
Range	R13W
Meridian	San Bernardino

### 2.2 Site Description

The subject property is assigned with assessor's parcel number (APN) 5139-022-006. The rectangular-shaped parcel is improved with a 4-story multi-unit commercial building occupied by "Morrison Hotel." The building occupies the entire portion of the site. According to the property information report obtained from the Los Angeles County Office of the Assessor, a 49,668 square-foot building was built in 1914. The subject site is designated with a property type of "Commercial/Industrial." A copy of the property profile of the subject site along with the assessor's parcel map is attached as Appendix B.



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### 3.0 ENVIRONMENTAL SETTING

#### 3.1 Regional Physiographic and Geologic Setting

The Coastal Plain is bounded by the Santa Monica Mountains on the north, the La Merced Hills, Puente Hills, Peralta/Santiago Hills, and San Joaquine Hills to the northeast, east and south. This coastal plain slopes gently from the bordering highlands toward the ocean with seven main stream channels, the Los Angeles River, Rio Hondo River, San Gabriel River, Coyote Creek, Santa Ana River, Santiago Creek and San Diego Creek, draining the area. The site is located on the western most extension of the La Merced Hills also known as the Elysian Hills. The terrain in the area is generally low rolling with the site at an elevation of approximately 300 feet based on the referenced USGS Quadrangle.

The site is located in the Peninsular Range geomorphic province, which extend south from Santa Monica to the tip of Baja California. This Coastal Plain is in the northwest corner of the Peninsular Range geomorphic province. The Peninsular Range province consists of essentially northerly and northwesterly trending mountain ranges and associated valleys.

The major land forms of the Coastal Plain consist of bordering highlands and foothills, older plains and hills, and younger alluvial plains, the rivers which drain the area, and the offshore topography. Since the site is located on the western edge of the La Merced Hills, it is underlain by bedrock that is generally considered to be non-water bearing. The bedrock is composed of siltstone from the Miocene Age Puente Formation. Because of the complex geological history of Southern California many faults were created that potentially impact the migration of groundwater. No such fault is in near proximity to the site. Even if one were near the site, the underlying bedrock is considered to be non- water bearing, therefore, the fault would not impact the migration of groundwater.

As part of the development of this area of Los Angeles, some grading was performed to construct roads and buildable lots. The areas of minor fill as well as the underlying weathered bedrock may contain some local areas of perched groundwater. This water is typically limited in aerial extent and confined to the upper 30 or 40 feet. It usually migrates down the topography or along an utility



trench. As such, the flow direction is difficult to ascertain but would tend to flow southwesterly. Since the potential quantity of groundwater is limited, this perched water does not represent a conduit for distant sites to impact the subject property. Also, hazardous substance releases that have occurred in the bedrock do not typically migrate great distances due to the low permeability of the formation.

The major land forms of the Coastal Plain consist of bordering highlands and foothills, older plains and hills, and younger alluvial plains, the rivers which drain the area, and the offshore topography. The terrain in the area is generally flat or gently sloping towards the southwest with the site at an elevation of approximately 238 feet based on the previously referenced USGS 7.5-Minute Hollywood, California Topographic Map.(see Section 2.1.)

As per the Geologic Map of California, Los Angeles Sheet, published in 1969 (sixth printing, 1991), the near-surface soils in the site vicinity are composed of *Quaternary-age recent alluvium*, which generally consist of unconsolidated, loose sand, and gravel, over older alluvial deposits of the Lakewood Formation.

### 3.2 Local Hydrogeology

According to the Los Angeles County Department of Public Works Hydrologic Records, there are currently no active wells in the area. On November 18, 2004, groundwater was measured at a depth of 243.3 feet in the closest well to the site (Well # 2778). This well is located near the intersection of Los Angeles River and East Washington Boulevard, about 3 mile southeast of the site. Considering the distance, this well may not represent the actual groundwater depth beneath the subject site. However, shallow perched groundwater may occur less than 50 feet deep and would generally follow the topographic gradient to the south-southwest.

As per the LACDPW Groundwater Contour Maps, the groundwater just south of the area is moderately deep. However, there are no groundwater contours in the area of the subject site. Perched groundwater may be present in low permeability silt or clay layers when and where they exist.



The groundwater gradient beneath the site likely follows the topographic gradient which is towards the south-southwest. The depositional direction of the alluvial sediments appears to be toward the south-southwest. The potential contaminant sources most likely to affect the site are either upgradient, upslope, or opposite the depositional direction of sediments. For this site, these potential sources would generally be the ones north-northeast portions of the site.

Note that the actual groundwater flow direction is often locally influenced by factors such as underground structures, seasonal fluctuations, soil and bedrock geology, production wells, and other factors beyond the scope of this study. The actual groundwater flow direction under the site can be accurately determined only by installing groundwater monitoring wells, which was beyond the scope of this project.

### 3.3 Oil and Gas Wells

A review of maps and records of the California Division of Oil and Gas (CDOG) Wildcat Well Map W-62 and the Los Angeles Downtown Oil Field (Map 161-4), assembled in the 1997 Munger Map Book indicates that two oil/gas well has been drilled within a ½-mile search radius of the subject site. The closest well (located about 700 feet southeast of the subject site) is the "Broadway Corehole" well drilled in 1963 to a total depth of 6,220 feet. Both wells are shown as *uncompleted abandoned*.

According to the City of Los Angeles Bureau of Engineering, Citywide Methane Ordinance Map A-20960, the subject site is located within a potential methane and methane buffer zone. Hence, methane gas seepage represents an occupancy, health and safety concern. Alpha contacted the City of Los Angeles Bureau of Engineering regarding the information related to the methane gas seepage regulations. They directed Alpha to contact the Grading Department and the Building and Safety Division.

As per the City of Los Angeles Department of Building and Safety, additions, alterations, repairs, changes of use or changes of occupancy to existing buildings should comply with the general methane mitigation requirements. The mitigation requirements include site testing and methane mitigation systems such as the passive, active and miscellaneous systems.



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## 4.0 SITE INVESTIGATION

### 4.1 Site Reconnaissance

On December 6, 2005, Mr. Kathirvel Arumugam, an Alpha Environmental representative experienced in similar environmental site assessments, conducted a site reconnaissance of the subject site. The objective of this reconnaissance was to look for unusual features that may indicate environmental concerns. The subject site was searched for the presence of discolored soil or pavement; unusual odors; storage, dumping or disposal of hazardous materials; transformers; underground or aboveground storage tanks (USTs or ASTs), drums or other containers; wells, sumps, clarifiers and elevator pits; general condition of the building; and other evidence of activities which may have generated hazardous materials. Photographs of the subject site are included in Appendix A and an Facility Layout Map is presented as Figure 2.

Based on Mr. Arumugam's reconnaissance the following observations were made:

- The subject site is improved with a 4-story multi-unit commercial building named and operated as "Morrison Hotel."
- One suspended elevator was observed within the subject building. Elevator equipment was located on the roof (access not available).
- The building on the subject property appeared to be in a fair physical condition.
- No visible smoke, fumes, or dust were noted being released from the site.
- No stains or distinct odors of hydrocarbons, solvents, or waste oils were noted.
- No vegetation or unpaved soil was observed.
- No indications of the presence of USTs, sumps, clarifiers, pits, ponds, lagoons, or wells were observed at the subject site.
- No ASTs or other containers of chemicals or hazardous materials were observed at the subject site.
- No indications of illegal dumping or disposal of hazardous materials were observed.
- No potential Polychlorinated Biphenyl (PCB) containing electrical equipment such as pad-



mounted transformers were observed at the subject site.

Based on our site reconnaissance, no significant environmental concerns that would represent RECs were identified.

#### **4.2 Asbestos-Containing Building Materials (ACBM)**

The use of asbestos in building materials was prohibited by the Environmental Protection Agency (EPA) in the late 1970's. The building was constructed in 1914. Based on the age of this building, asbestos-containing building materials (ACBM) may have been used in the construction of the building. An ACBM survey was not within the scope of work of this investigation.

#### **4.3 Potable Water Source**

The water purveyor for the subject site is the Los Angeles Department of Water and Power (LADWP). It is the responsibility of LADWP to provide customers with potable water in compliance with California State Maximum Contaminant Levels (MCLs) for primary drinking water constituents in water supplied to the public.

#### **4.4 Adjacent Property Reconnaissance**

As an integral part of our reconnaissance we examined the immediately adjacent properties from areas of public access. This examination was for potential environmental risks similar to those we looked for at the subject site.

***Northeast:*** Adjacent to the northeast is a commercial building occupied by "Nice Textile" at 1240 South Hope Street and

***Southeast:*** Is fenced (paved) lot used for miscellaneous storage of tables, clothes, wooden frames, plastic boxes, etc. Across a public alley, is a commercial building occupied by "Wholesale Clothing & Jobbers" at 417 West Pico Boulevard.

***Southwest:*** West Pico Boulevard bounds the southwest side of the subject site and across it is a commercial building occupied by "Kiko's Restaurant" at 1306 South Hope Street, and a commercial parking lot named "Prestige Parking" at 422-432 West Pico Boulevard. To the southwest across the intersection of South Hope Street and West Pico Boulevard is a





commercial parking lot named "Prestige Unique Way Parking" at 500 West Pico Boulevard

**Northwest:** South Hope Street bounds the northwest side of the subject site and across it are three commercial buildings. No sign was posted to indicate the occupancy of two commercial buildings (501 West Pico Boulevard and 1245 South Hope Street). "GNS Fashion, Inc." occupies the commercial building addressed as 1241 South Hope Street.

We observed no obvious indications of a major spill, unauthorized releases, or indications of remediation activities on properties in the site vicinity. No significant environmental concerns were apparent during our adjacent property reconnaissance.

#### 4.5 Interviews

As a part of this assessment Alpha Environmental requested an interview questionnaire be completed by site knowledgeable personnel. An interview questionnaire was completed on December 8, 2005 by Mr. Dan Daneshrad (Real Estate Agent) representing the owner completed the "company" portion of the questionnaire. A copy of the completed questionnaire is attached as Appendix D. Most questions on the questionnaire were responded to as "unknown." However, one of the questions responded to as "no", indicated that Mr. Daneshrad has no knowledge of any government notifications or environmental liens related to past or recurrent violations.

As per Mr. Daneshrad, the subject building is about 80 years old and it was always been used as a hotel. He also indicated that the building is equipped with one rope elevator and it does not have any Polychlorinated Biphenyl (PCB) containing oil. No environmental concerns that would represent RECs were identified at the subject site as a result of the interview.



## 5.0 SITE HISTORY

### 5.1 Sanborn Maps Research

Historical Sanborn Map Company Fire Insurance risk maps were researched to identify past site occupancy as well as business occupancies in the site vicinity. The Sanborn Map Company produced detailed maps of urban structure information on buildings which were present, as well as their commercial use, if any. As per the California State University, Northridge (CSUN) Geography Map Library, and Los Angeles Public Library database, Sanborn map coverage was available for this area for the years 1906, 1949, and 1953.

<u>Year</u>	<u>Description</u>
-------------	--------------------

1906:	<u>Subject Site:</u> The subject site is a portion of a open field named Fiesta Park with open bleachers and is improved with a combination of 1 & 2-story building used as an air ship shed.
-------	---

	<u>Adjacent Properties:</u>
--	-----------------------------

	<i>Northeast &amp; Southwest:</i> The adjacent properties to the northeast and southeast is a portion of a open field named Fiesta Park with open bleachers.
--	--

	<i>Southwest:</i> West Pico Boulevard bounds the southwest side of the subject site and across it is a 1 & 2-story building occupied by "United Brethren Church," two single-family dwellings, a detached auto garage and a tent. To the southwest across the intersection of South Hope Street and West Pico Boulevard is a commercial building occupied by "Clara Barton Hospital" and a small out house building.
--	--

	<i>Northwest:</i> To the northwest, across South Hope Street, are two single-family dwellings, one apartment building, and a vacant lot.
--	--

1949:	<u>Subject Site:</u> The subject site is improved with the present day 4-story commercial building occupied by a hotel named "Morrison Hotel," restaurant, drug store, 2 retail stores, and a telegraph office. The southwest portion of the building has a basement. The subject site is also addressed at 433-441 West Pico Boulevard.
-------	--

	<u>Adjacent Properties:</u>
--	-----------------------------

	<i>Northeast:</i> To the northeast is a commercial building occupied by an auto brake shop, and a warehouse for automobiles.
--	--

	<i>Southeast:</i> To the southeast is parking lot.
--	--

	<i>Southwest:</i> West Pico Boulevard bounds the southwest side of the subject site and across it are commercial/retail buildings occupied by a restaurant and retail stores. To the south across the intersection of South Hope Street and West Pico Boulevard is a commercial building occupied by warehouses of wood posts.
--	--



*Northwest:* To the northwest, across South Hope Street, are three commercial/retail store buildings. The building addressed as 501-503 West Pico Boulevard is occupied by a dry cleaning facility and retail stores.

1953: Subject Site: No significant changes were apparent.

Adjacent Properties:

*Northeast:* To the northeast is a commercial building occupied by a retail store and a warehouses.

*Southeast:* No significant changes were noted.

*Southwest:* No significant changes were noted.

*Northwest:* Already existing buildings are occupied by a washing machine repair facility and manufacturing and warehouse facility for quilt & pillows. The building addressed as 501-503 West Pico Boulevard occupied by retail stores.

Based on the review of Sanborn maps, no obvious environmental concerns were noted at the subject site.

## 5.2 Building Records

### City of Los Angeles Department of Building and Safety

Alpha Environmental requested the City of Los Angeles Department of Building and Safety to provide the building records (building permits and certificates of occupancy) for the subject site addressed 1246-1248 South Hope Street. Additionally, Alpha requested the building records for the subject site addressed 433-441 West Pico Boulevard (Sanborn map address). The reviewed building records are summarized in the table below. Copies of some of the referenced building records are included in Appendix E.

**Summary of Building Records for 1246-1248 South Hope Street**

Date	Address	Type	Issued to	Issued for	Use of Site
12/11/13	1246 & 1248	BP	Mr. Victor Panet	Erection of 4-story building	Hotel & store
11/9/14	1248	BP	Eastman	Alterations	Apartments
11/16/36	1246	BP	Montgomery Properties Ltd	Alterations	Hotel
10/20/39	1246	BP	Montgomery Property Inc.	New composition roof	Hotel



6/6/41	1246	BP	Horrison Hotel	To recover entrance canopy and reset standards	Hotel
10/9/51	1246	BP	Montgomery Properties	Alter parapet walls along Hope Street and Pico Boulevard	Stores and Hotel
6/14/61	1248	BP	Montgomery Management Co.	Install new store front and change window to door opening	Stores and Hotel
2/4/74	1246	BP	Manuel Dorame	Comply with fire safety standard	Hotel
1/24/77	1246	BP	Manuel Dorame	Install new non-bearing wall and door in lobby	Hotel
11/25/85	1246	PP	-	Water heaters and cloth washers	-
4/10/87	1246	BP	Mr. Rudy Ramos	Comply with Dorothy MAE ordinance	Apartment
2/18/88	1246 & 1248	BP	Rudy Ramos	Full compliance with Div. 88 Alt I, Calls III A	Retails & Apartments
3/13/89	1246	MP	Rudy Ramos	Replace governor rope	Morrison Hotel

**Summary of Building Records for 433-441 West Pico Boulevard**

Date	Address	Type	Issued to	Issued for	Use of Site
7/16/15	433-435	BP	H. J. Panet	Alterations	Stores & Hotel
1/11/17	433-435	BP	Pacific Rubber Co	Put partitions on both stores and put private offices	-
6/19/20	437	BP	Western Union	Alterations	Stores and hotel
6/10/26	441	BP	-	Alterations	Store room and hotel
3/20/40	437	BP	Western Union	To recover awning	Office
6/12/46	439	BP	Montgomery Properties, Inc.	Alterations	Store
11/15/48	441	BP	Arden Farm Co.	-	Drug store
9/16/54	441	BP	Francis Montgomery	Install new mens toilet room	Restaurant
5/5/80	441	BP	Al Flores	Interior non-bearing partitions	Restaurant
2/12/97	433-441	BP	Sahid Aminpour	Changing 5 windows with same size windows	Residential/ Commercial

Notes: BP= Building permit; PP= Plumbing Permit; MP= Mechanical Permit.



Based on the review of the building records, no environmental concerns that would represent RECs were identified.

### 5.3 Aerial Photograph Research

Alpha Environmental researched and reviewed available historical aerial photographs of the subject site area obtained from Rupp Aerial Photography (Rupp Aerial), and from other internet sources. The photographs reviewed are listed, and the findings are summarized in the following table.

**Aerial Photographs Review**

Date	Source	Description
5/22/38	Rupp Aerial	<u>Subject Site:</u> The subject site appears to have the present day building improvements. <u>Adjacent Properties:</u> <i>Northeast:</i> Appear to be present day commercial/industrial building and parking lot. <i>Southeast:</i> Appears to be a parking lot. <i>Southwest:</i> Across West Pico Boulevard, appear to be two commercial buildings. <i>Northwest:</i> Improvements across South Hope Street, appear to be present day commercial buildings.
12/4/52	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
7/28/64	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
10/25/72	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
4/1/85	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
1/24/92	Rupp Aerial	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent on the adjacent properties with an exception of the adjacent property to the southwest (across the intersection of South Hope Street and West Pico Boulevard). This adjacent property appears to be improved with the present day commercial parking lot.
5/31/94	USGS	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.
3/29/04	USGS	<u>Subject Site:</u> No significant changes were apparent. <u>Adjacent Properties:</u> No significant changes were apparent.

Based on the review of aerial photographs, no obvious environmental concerns were noted at the subject site.



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## 6.0 REGULATORY RESEARCH

### 6.1 Permits and Enforcement History

The following agencies were contacted to determine if they have files for hazardous materials and underground storage tanks (USTs) related to the subject site.

#### **City of Los Angeles Fire Department- UST Division**

Alpha contacted the City of Los Angeles Fire Department – UST Division regarding information related to USTs or hazardous materials at the subject site. They indicated that they have no records related to USTs at the subject property.

#### **City of Los Angeles Fire Department- Hazardous Materials (HAZMAT) Division**

Alpha contacted the LAFD-HAZMAT division regarding information related to hazardous materials at the subject property. They indicated that they have no records related to the subject site.

#### **South Coast Air Quality Management District (SCAQMD)**

The SCAQMD was contacted regarding a record search for violations, site inspections, and equipment used on the subject site. The SCAQMD notified Alpha Environmental that they have no files related to violation, inspections, and equipment used on the subject site.

#### **California Regional Water Quality Control Board (RWQCB)**

The Spills, Leaks, Investigation and Cleanups (SLIC) and UST divisions of the California RWQCB was contacted regarding a record search for hazardous materials and USTs on the subject site. They indicated that they have no records for the subject site.

### 6.2 Record Search

Alpha Environmental subcontracted Environmental Data Resources, Inc. (EDR) to perform the regulatory agency record search for the subject site. We reviewed EDR's report to determine if the



site or any nearby properties are known to have a past or present record of actual or possible environmental impact, or are under investigation for an environmental impact. The following records were reviewed for listings based on the subject site's address and other sites within the list-specified radius. We have included a brief description of each of the databases listed. A copy of "The EDR - Radius Map Report" is included in Appendix C.

#### **FEDERAL RECORDS**

- **National Priority List (NPL)**: This is a National Priority List compiled by the U.S. Environmental Protection Agency EPA. The sites on this list are prioritized as to their significant risks to human health and the environment. Only NPL sites can receive CERCLA funding.
- **Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS)**: This is a list contains data on potentially hazardous waste sites that have been reported to the EPA by states, municipalities, private companies, and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to be on the NPL List or sites which are in the screening and assessment phase for possible inclusion on the NPL. The NFRAP label indicates No Further Remedial Action Planned. These are sites that have been removed from CERCLIS. After initial investigation, either no contamination was found, contamination was removed quickly, or the contamination was not serious enough to require Federal Superfund action or NPL consideration.
- **Resource Conservation and Recovery Information System (RCRIS-TSD)**: RCRIS includes selective information on sites which generate, transport, store, treat, and/or dispose (TSD) of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA).
- **RCRA Generators List**: The Resource Conservation and Recovery Act of 1976 provides for "cradle to grave" or from the point of generation to the point of disposal regulation of hazardous wastes. RCRA requires regulation of hazardous waste generators, transporters, and storage/treatment/disposal sites. RCRA Large Quantity Generators (LQGs) are facilities which generate at least 1,000 kg/month of non-acutely hazardous waste or 1 kg/month of acutely hazardous waste. RCRA Small Quantity Generators (SQG) are facilities that generate less than 1,000 kg/month of non-acutely hazardous waste.
- **Emergency Response Notification System (ERNS)**: The ERNS is a national computer database used to store information on unauthorized releases of oil and hazardous substances. The program is a cooperative effort of the EPA, the Department of Transportation Research and Special Program Administration's John Volpe National Transportation System Center, and the National Response Center.
- **Toxic Chemical Release Inventory System (TRIS)**: TRIS identifies facilities which release toxic chemicals to the air, water, and land in reportable quantities under SARA Title III Section 313.

#### **STATE AND LOCAL RECORDS**

- **Annual Workplan (AWP)**: Known Hazardous Waste Sites. California Department of Toxic Substances Control's (DTSC's) Annual Workplan (AWP), formerly BEP, identifies known hazardous substance sites targeted for cleanup.
- **CAL-SITES (CALS)**: The CAL-SITES list (previously known as the Abandoned Sites Program Information system [ASPIS]) contains information on potential hazardous waste sites that have been identified by the Historical Abandoned Site Survey Program.



- **California Hazardous Material Incident Reporting System (CHMIRS)**: CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).
- **State of California Office of Planning and Research (Cortese)**: This database identifies public drinking water wells with detectable levels of contamination, hazardous substance sites selected for remedial action, sites with known toxic material identified through the abandoned site assessment program, sites with USTs having a reportable release, and all solid waste disposal facilities from which there is known contaminant migrations.
- **Proposition 65 Notification Records (NOTIFY 65)**: NOTIFY 65 contains facility notifications about any release which could impact drinking water or expose the public to a potential health risk.
- **Toxic Pits (TPC)**: The Toxic Pits Clean-Up Act places strict limitations on the discharge of liquid hazardous wastes into surface impoundments, toxic ponds, pits, and lagoons. Regional Water Quality Control Boards (RWQCBs) are required to inspect all surface impoundments annually. In addition, every facility was required to file a Hydrogeological Assessment Report. Recent legislation allows the Department of Health Services (DHS) to exempt facilities that closed on or before December 31, 1985, if it can be shown that no significant environmental risk remains.
- **State Landfill/Solid Waste Information Systems (SWIS)**: The California Waste Management Board maintains an inventory of active, inactive, and closed solid waste disposal and transfer facilities.
- **WMUDS/Solid Waste Assessment Test (SWAT)**: The State Water Resource Control Board ranks all solid waste disposal sites throughout the state on the basis of the potential threat they may pose to water quality. Sites are tested to see whether there is hazardous waste leakage from the landfill.
- **Leaking Underground Storage Tanks (LUST)**: The LUST list contains an inventory of reported leaking USTs and provides information related to the extent to which the soil and groundwater have been affected, as well as the status of clean-up activities related to the release.
- **Bond Expenditure Plan (BEP)**: Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds.
- **Permitted Underground Storage Tanks-State Water Quality Board (UST)**: The Cortese Bill (AB2013) enacted in 1983, required registration of all USTs with State Water Quality Board by July 1, 1984. About 176,000 tanks and surface impounds were registered between 1984 and 1987. An amendment (AB1413) was passed in 1987, effectively removing the State Board from the registration processes starting January 1, 1988. The data reflects the information collected by the state between 1974 and 1987. Home and farm heating fuel tanks with capacities of 1,100 gallons or less and structures such as "sumps, separators, storm drains, catch basins, oil field gathering lines, refinery pipe lines, lagoons, evaporation ponds, well cellars, separation sumps, lined and unlined pits, sumps and lagoons" except those defined as UST under HSWA may be regulated to protect water quality under the Porter - Cologne Water Quality Control Act.
- **Hazardous Waste Information System (HAZNET)**: Includes Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method.
- **Active Toxic Site Investigations (SLIC)**: This report contains a list of Active Toxic Site Investigations that are under the direction of the Regional Water Quality Control Board.

In addition to the above-mentioned Federal, State and Local Records, EDR also researched Tribal and EDR Proprietary Records. Following is a partial list of the databases researched. For a complete





list and detailed description of the databases researched, see "The EDR-Radius Map Report" which is included in Appendix C.

**TRIBAL RECORDS**

- **INDIAN RESERV:** Indian Reservations. This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.
- **INDIAN LUST:** Leaking Underground Storage Tanks on Indian Land.
- **INDIAN UST:** Underground Storage Tanks on Indian Land.

**EDR PROPRIETARY RECORDS**

- **Former Manufactured Gas (Coal Gas) Sites:** This list contains information on the existence of coal gas sites.

**6.2.1 Summary of Regulatory Agency Records Review**

This database search lists sites by a reference number. EDR Map ID Numbers are generally larger for sites that are farther away from the subject site. The following table summarizes the findings of the database search performed by EDR, Inc.:

Database	Target Property	Search Distance (Miles)	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
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**Federal Records**

NPL		1.125	0	0	0	0	0	0
Proposed NPL		1.125	0	0	0	0	0	0
Delisted NPL		1.125	0	0	0	0	0	0
NPL Liens		0.250	0	0	NR	NR	NR	0
CERCLIS		0.625	0	0	1	0	NR	1
CERC-NFRAP		0.375	0	0	0	NR	NR	0
CORRACTS		1.125	0	0	0	0	0	0
RCRA TSD		0.625	0	0	0	0	NR	0
RCRA Lg. Quan. Gen.		0.375	0	0	0	NR	NR	0
RCRA Sm. Quan. Gen.	X	0.375	4	11	18	NR	NR	33
ERNS		0.250	0	0	NR	NR	NR	0
HMIRS		0.250	0	0	NR	NR	NR	0
US ENG CONTROLS		0.625	0	0	0	0	NR	0
US INST CONTROL		0.625	0	0	0	0	NR	0
DOD		1.125	0	0	0	0	0	0
FUDS		1.125	0	0	0	0	0	0
US BROWNFIELDS		0.625	0	0	0	0	NR	0
CONSENT		1.125	0	0	0	0	0	0
ROD		1.125	0	0	0	0	0	0
UMTRA		0.625	0	0	0	0	NR	0
ODI		0.125	0	NR	NR	NR	NR	0



TRIS		0.250	0	0	NR	NR	NR	0
TSCA		0.250	0	0	NR	NR	NR	0
FTTS		0.250	0	0	NR	NR	NR	0
SSTS		0.250	0	0	NR	NR	NR	0
PADS		0.250	0	0	NR	NR	NR	0
MLTS		0.250	0	0	NR	NR	NR	0
MINES		0.375	0	0	0	NR	NR	0
FINDS	X	0.250	5	12	NR	NR	NR	17
RAATS		0.250	0	0	NR	NR	NR	0

**State or Local Records**

AWP		1.125	0	0	0	0	0	0
Cal-Sites		1.125	0	0	0	0	0	0
Toxic Pits		1.125	0	0	0	0	0	0
CA Bond Exp. Plan		1.125	0	0	0	0	0	0
NFA		0.375	0	0	0	NR	NR	0
NFE		0.375	0	0	0	NR	NR	0
REF		0.375	0	0	0	NR	NR	0
SCH		0.375	0	0	0	NR	NR	0
State Landfill		0.625	0	0	0	0	NR	0
CA WDS		0.125	0	NR	NR	NR	NR	0
WMUDS/SWAT		0.625	0	0	0	0	NR	0
Cortese		0.625	0	1	4	2	NR	7
LUST		0.625	0	1	4	2	NR	7
SLIC		0.625	0	2	2	0	NR	4
AOCONCERN		1.125	0	0	0	0	0	0
UST		0.375	1	5	12	NR	NR	18
CA FID UST		0.375	3	10	23	NR	NR	36
HIST UST		0.375	1	6	13	NR	NR	20
AST		0.250	0	0	NR	NR	NR	0
SWRCY		0.625	0	0	1	0	NR	1
SWEEPS UST		0.375	5	10	24	NR	NR	39
CHMIRS		0.125	0	NR	NR	NR	NR	0
Notify 65		1.125	0	0	0	0	0	0
LA Co. Site Mitigation		0.250	0	1	NR	NR	NR	1
DEED		0.250	0	0	NR	NR	NR	0
VCP		0.625	0	0	0	0	NR	0
CLEANERS		0.375	0	2	0	NR	NR	2
Los Angeles Co. HMS		0.250	0	0	NR	NR	NR	0
WIP		0.375	0	0	1	NR	NR	1
HAZNET		0.250	12	31	NR	NR	NR	43
EMI		0.250	1	8	NR	NR	NR	9

**Tribal Records**

INDIAN RESERV		1.125	0	0	0	0	0	0
INDIAN LUST		0.625	0	0	0	0	NR	0
INDIAN UST		0.375	0	0	0	NR	NR	0

**EDR Proprietary Records**

COAL GAS		1.125	0	0	0	0	0	0
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NOTES: TP = Target Property  
NR = Not Requested at this Search Distance  
Sites may be listed in more than one database



As mentioned in the above table, the EDR database search found no listings within the list-specified search radius in the following databases.

**Federal Records**

<b>NPL</b>	National Priority List
<b>Proposed NPL</b>	Proposed National Priority List Sites
<b>Delisted NPL</b>	National Priority List Deletions
<b>NPL Liens</b>	Federal Superfund Liens
<b>CERC-NFRAP</b>	CERCLIS No Further Remedial Action Planned
<b>CORRACTS</b>	Corrective Action Report
<b>RCRA-TSDF</b>	Resource Conservation and Recovery Act Information
<b>RCRA-LQG</b>	Resource Conservation and Recovery Act Information
<b>ERNS</b>	Emergency Response Notification System
<b>HMIRS</b>	Hazardous Materials Information Reporting System
<b>US ENG CONTROLS</b>	Engineering Controls Sites List
<b>US INST CONTROL</b>	Sites with Institutional Controls
<b>DOD</b>	Department of Defense Sites
<b>FUDS</b>	Formerly Used Defense Sites
<b>US BROWNFIELDS</b>	A Listing of Brownfields Sites
<b>CONSENT</b>	Superfund (CERCLA) Consent Decrees
<b>ROD</b>	Records Of Decision
<b>UMTRA</b>	Uranium Mill Tailings Sites
<b>ODI</b>	Open Dump Inventory
<b>TRIS</b>	Toxic Chemical Release Inventory System
<b>TSCA</b>	Toxic Substances Control Act
<b>FTTS INSP</b>	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
<b>SSTS</b>	Section 7 Tracking Systems
<b>PADS</b>	PCB Activity Database System
<b>MLTS</b>	Material Licensing Tracking System
<b>MINES</b>	Mines Master Index File
<b>RAATS</b>	RCRA Administrative Action Tracking System

**State or Local Records**

<b>AWP</b>	Annual Workplan Sites
<b>Cal-Sites</b>	Calsites Database
<b>Toxic Pits</b>	Toxic Pits Cleanup Act Sites
<b>CA BOND EXP. PLAN</b>	Bond Expenditure Plan
<b>NFA</b>	No Further Action Determination
<b>NFE</b>	Properties Needing Further Evaluation
<b>REF</b>	Unconfirmed Properties Referred to Another Agency
<b>SCH</b>	School Property Evaluation Program
<b>SWF/LF</b>	Solid Waste Information System
<b>CA WDS</b>	Waste Discharge System
<b>WMUDS/SWAT</b>	Waste Management Unit Database
<b>AOCONCERN</b>	San Gabriel Valley Areas of Concern
<b>AST</b>	Aboveground Petroleum Storage Tank Facilities
<b>CHMIRS</b>	California Hazardous Material Incident Report System
<b>Notify 65</b>	Proposition 65 Records
<b>DEED</b>	Deed Restriction Listing
<b>VCP</b>	Voluntary Cleanup Program Properties
<b>LOS ANGELES CO. HMS</b>	HMS: Street Number List

**Tribal Records**

INDIAN RESERV

Indian Reservations

INDIAN LUST

Leaking Underground Storage Tanks on Indian Land

INDIAN UST

Underground Storage Tanks on Indian Land

**EDR Proprietary Records**

Coal Gas

Coal Gas

**6.2.2 Discussion of Regulatory Database Findings**

The subject site located at 1246-1248 South Hope Street is not listed on any of the above-referenced databases. (Note: A EDR Report prepared for the subject site and an immediately adjoining property to the northeast is used for preparation of this report. Hence, the adjacent properties addressed at 1224-1240 South Hope Street is listed as a target property). There are 15 RCRA-SQG, 17 FINDS, 2 SLIC, 6 UST, 13 CA FID UST, 7 HIST UST, 15 SWEEPS UST, 1 LA Co. Site Mitigation, 2 CLEANERS, 43 HAZNET, and 9 EMI listings within a ¼-mile search radius. These databases including the RCRA-SQG, UST, CA FID UST, HIST UST, EMI and HAZNET listings report permitted activities and by themselves do indicate that a release has occurred or not represent a significant environmental concern to the subject site.

Within a ¼-mile search radius, the relatively more significant listings are 1 Cortese and 1 LUST listings. The Cortese database generally reports leaking tank sites. This is an older state of California database and is no longer updated. No status or detail is usually reported in these Cortese listings. However, these sites are also listed in the LUST database. Following is the detail of the LUST listing reported within a ¼-mile radius of the subject site (distances from the site are taken directly from the EDR database report).

- ***City of Los Angeles, Los Angeles Convention Center, Gretag Imaging Inc, FUI Photo Film USA Inc, and AGFA Corporation (EDR Map # N 61, N63, N64, N65, N66, N67, & N69)*** located at 1201 South Figueroa Street (reported to be about 1,019 feet to the north-northwest) is listed on the FINDS, HAZNET, CA FID UST, HIST UST, CLEANERS, CA WDS, SWEEPS UST, LUST, Cortese, databases. The LUST database reports the *Chemical* as "Gasoline," the *Case Type* as "Soil only," and the *Status* as "Case Closed." Considering the distance, case type and status, this listing does not represent a significant environmental concern to the subject site.



Additionally, within ¼-1 mile search radius, EDR reports that there are 1 CERCLIS, 18 RCRA-SQG, 6 Cortese, 6 LUST, 2 SLIC, 12 UST, 23 CA FID UST, 13 HIST UST, 1 SWRCY, 24 SWEEPS UST, and 1 WIP listings. Out of the 6 LUST listings, 4 LUST listings are reported to have regulatory status of "Case Closed." Considering the distance, the other LUST, Cortese, and SLIC listings do not represent an environmental concern to the subject site. Considering the distance, the other reported listings do not appear to represent a significant environmental concern to the subject site.

In addition to the mapped sites, other sites are sometimes listed in the Orphan Summary. These sites may be out of the search range or have incomplete or improper addresses and could not be plotted within the specified search radius. A review of this list revealed no listings of Orphan Sites that appear to be of significant environmental consequence within a 1-mile-radius of the site.

Considering the site's location, hydrogeology, and the status and the relative location of the listed facilities, none of the off-site environmental elements appear to be impacting the soil or groundwater beneath the subject site at this time.



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## 7.0 DISCUSSION AND CONCLUSIONS

- ***Petroleum Hydrocarbon Contamination:*** No sources of petroleum hydrocarbon contamination were observed at the subject site during our site reconnaissance. The regulatory research of federal, state, and local agencies and databases did not indicate soil or groundwater contamination at the subject site from on-site sources.
- ***Other Chemical Contamination:*** There is no physical indication that the soil of the project area is contaminated with environmentally regulated chemicals at the time of this assessment.
- ***Underground Storage Tanks (USTs):***The reconnaissance and regulatory research of federal, state, and local agencies and databases did not indicate the presence of USTs at the site or on the adjacent properties.
- ***Aboveground Storage Tanks (ASTs):*** The reconnaissance and regulatory research of federal, state, and local agencies and databases did not indicate the presence of ASTs at the site or on the adjacent properties.
- ***Polychlorinated Biphenyls (PCBs):*** The use of PCBs was prohibited by the United States Environmental Protection Agency (EPA) in late 1970's. No potential PCB-containing equipment such as pad-mounted transformers were identified at the subject site. The elevator equipment is located on the roof. It is reported to be suspended (rope) elevator and not hydraulic. Hence, it is unlikely to represent a threat to sub-surface soil of the subject site.
- ***Landfills:*** There are no landfill listings reported within a ½-mile radius of the subject site.
- ***Air Emissions:*** No air emissions (visible dust, smoke, or fumes) were noted being released from the site.



- **Waste Generation, Storage, and Disposal:** No indications of waste generation, storage, or disposal were observed at the subject site.
- **Pesticides, Herbicides, and Fungicides:** Our historical review does not indicate past agricultural activities on the site and on neighboring properties. Hence, herbicides, pesticides, and/or fungicides are not likely to pose a significant environmental concern to the subject site.
- **Asbestos-Containing Building Materials (ACBM):** The use of asbestos in building materials was prohibited by the EPA in the late 1970's. The building was constructed in 1914. Based on the age of this building, asbestos-containing building materials (ACBM) may have been used in the construction of the building. An ACBM survey was not within the scope of work of this investigation. If renovation, remodeling, repair or demolition of the buildings is anticipated, a comprehensive asbestos survey would be warranted.
- **Regulatory Actions:** We found no indication of regulatory actions at the subject site.
- **Known Site Problems:** No known site problems were indicated in our research of the subject site.
- **Regional Environmental Problems:** There are no indications of regional environmental problems presented in the records we reviewed that would conclusively demonstrate an impact on the subject site. The regional groundwater contamination is not known to be a concern for the safe use and occupancy of the subject site.
- **Final Conclusion:** Alpha has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-00 of 1246-1248 South Hope Street, Los Angeles, California, the subject site. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report. This assessment has revealed no evidence of *recognized environmental conditions* in connection with the subject site. It is Alpha's opinion, that no



further investigation related to soil or groundwater is warranted at this time, if the site is to be re-used for the commercial purposes similar to its past/present use. However, the subject site is located within the methane zone. As per the City of Los Angeles Department of Building and Safety, additions/alterations/repairs/changes of use or occupancy to existing buildings should comply with the general Los Angeles city's methane mitigation requirements.





## 8.0 REFERENCES

### 8.1 Request for Regulatory Records and Public Documents

The following local lead agencies were contacted by Alpha Environmental:

- City of Los Angeles Department of Building and Safety, contacted on December 13, 2005.
- Los Angeles Fire Department- UST Division, contacted on November 30, 2005.
- Los Angeles Fire Department- HAZMAT Division, contacted on November 30, 2005.
- South Coast Air Quality Management District (SCAQMD), contacted on November 30, 2005.
- California Regional Water Quality Control Board (RWQCB), contacted on November 30, 2005.

### 8.2 Published References

- Environmental Data Resources, Inc., The EDR Radius Map report dated December 13, 2005.
- U.S. Geological Survey, Hollywood, California, quadrangle—7.5-minute topographic map.
- Property Information Report obtained from Los Angeles County Office of the Assessor.
- Bulletin No. 104, "*Planned Utilization of the Ground Water Basins of the Coastal Plain of Los Angeles County.*"
- Geologic Map of California, Los Angeles Sheet, published in 1969 (sixth printing, 1991).
- Munger Map Book, California / Alaska Oil and Gas Fields, 1997.
- Citywide Methane Ordinance Map A-20960 from City of Los Angeles Bureau of Engineering.



## 9.0 LIABILITY RELEASE

The conclusions presented in this report are professional opinions based solely upon indicated data described in this report, visual observations of the site and vicinity, and our interpretation of the available historical information and documents reviewed, as described in this report. They are intended exclusively for the purpose outlined herein and the site locations and project indicated. This report is intended for the sole use of the Client. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or reuse of this documents or the findings, conclusions, or recommendations presented herein is at the sole risk of said user.

It should be recognized that this study was not intended to be a definitive investigations of contamination at the subject site and the conclusions provided are not necessarily inclusive of all the possible conditions. Given that the scope of services for this investigation was limited and that exploratory borings, soil and/or groundwater sampling or analytical testing were not undertaken, it is possible that currently unrecognized subsurface contamination may exist at the site. Alpha Environmental makes no representations regarding the value or marketability of the site or the suitability for any particular use, and none should be inferred based on this Report.

This Environmental Site Assessment report has been prepared to report information of the obvious general environmental condition and hazardous waste present on the property. The information in this report is based upon the observations and sound engineering judgments according to prevailing standard of care at the time of the Environmental Site Assessment. Based on the apparent conditions of the facility uncovered during investigation and record searches, no representation, warranties, or guarantees either expressed or implied are given with respect to concealed or latent problems on the site.



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## 10.0 CONFIDENTIALITY

Alpha Environmental agrees to hold the information contained in this report or any portion thereof, confidential. This report or information contained herein will not be released to any party except as required by law, without consent from the client. Upon the approval of the client the report may be issued to the designated party.



*APPENDIX E*  
*Regulatory Agency*  
*Research Report*

**ALPHA**  
ENVIRONMENTAL

**1220-1248 S Hope St and 427-441 W Pico Blvd**

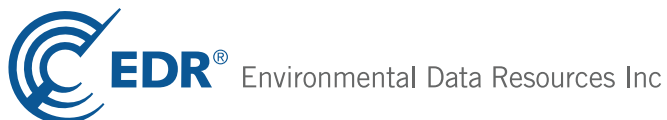
1220 South Hope Street

Los Angeles, CA 90015

Inquiry Number: 4374160.2s

August 05, 2015

## The EDR Radius Map™ Report with GeoCheck®



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*Thank you for your business.*  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### TARGET PROPERTY INFORMATION

#### ADDRESS

1220 SOUTH HOPE STREET  
LOS ANGELES, CA 90015

#### COORDINATES

Latitude (North): 34.0399000 - 34° 2' 23.64"  
Longitude (West): 118.2648000 - 118° 15' 53.28"  
Universal Transverse Mercator: Zone 11  
UTM X (Meters): 383246.9  
UTM Y (Meters): 3767106.8  
Elevation: 240 ft. above sea level

### USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5630741 HOLLYWOOD, CA  
Version Date: 2012  
  
East Map: 5630795 LOS ANGELES, CA  
Version Date: 2012

### AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20120505  
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:  
 1220 SOUTH HOPE STREET  
 LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	BOSTON ROBT	427 W PICO BLVD	EDR US Hist Auto Stat		TP
A2	WARREN F L	1220 S HOPE ST	EDR US Hist Auto Stat		TP
A3	BOOKBINDERS CO	1240 S HOPE ST	RCRA-SQG, FINDS		TP
A4	HUTHSING BROS	1245 S HOPE ST	EDR US Hist Auto Stat	Lower	26, 0.005, WSW
A5	WOLFE E H	1215 S HOPE ST	EDR US Hist Auto Stat	Higher	30, 0.006, North
A6	EXCELSIOR CLEANERS	501 W PICO BLVD	EDR US Hist Cleaners	Lower	39, 0.007, WSW
B7	PICO HOPE AUTO SERVI	500 W PICO BLVD	EDR US Hist Auto Stat	Lower	40, 0.008, WSW
B8	HOWELL W R	506 W PICO BLVD	EDR US Hist Auto Stat	Lower	64, 0.012, WSW
A9	GENERAL AUTO ELECTRI	1211 S HOPE ST	EDR US Hist Auto Stat	Higher	69, 0.013, NNE
A10	LITTLE JOHN	1210 S HOPE ST	HAZNET	Higher	70, 0.013, NNE
A11	CLEGHORN R W	1210 S HOPE ST	EDR US Hist Auto Stat	Higher	70, 0.013, NNE
B12	SHEPARD THOMASON CO	508 W PICO BLVD	EDR US Hist Auto Stat	Lower	72, 0.014, WSW
B13	SUN YUEN	515 W PICO BLVD	EDR US Hist Cleaners	Lower	95, 0.018, WSW
B14	WESTERN MECHANICAL W	516 W PICO BLVD	EDR US Hist Auto Stat	Lower	105, 0.020, WSW
B15	JOY DESIGN	424 W PICO BLVD	RCRA-SQG, FINDS	Lower	120, 0.023, SW
B16	MODA INC	424 W PICO BLVD	FINDS	Lower	120, 0.023, SW
C17	POLLACK LOUIS	420 W PICO BLVD	EDR US Hist Cleaners	Lower	147, 0.028, South
B18	SHEPARD THOMASON CO	506 508 W PICO BLVD	EDR US Hist Auto Stat	Lower	159, 0.030, WSW
B19	SNYDER F G	531 W PICO BLVD	EDR US Hist Cleaners	Lower	161, 0.030, WSW
B20	1X AHMANSON COMMERC	530 W PICO BLVD	HAZNET	Lower	161, 0.030, WSW
C21	BREWER E E	416 W PICO BLVD	EDR US Hist Auto Stat	Lower	169, 0.032, SSE
D22	REO MOTOR CAR CO OF	1200 S HOPE ST	EDR US Hist Auto Stat	Higher	174, 0.033, NNE
D23	BASEMENT FASHION	1200 S HOPE ST	HAZNET	Higher	174, 0.033, NNE
B24	STUMMEL C J	535 W PICO BLVD	EDR US Hist Cleaners	Lower	177, 0.034, West
B25	CAMP G N	534 W PICO BLVD	EDR US Hist Auto Stat	Lower	178, 0.034, WSW
C26	APPELBAUM HARRY	410 W PICO BLVD	EDR US Hist Cleaners	Lower	200, 0.038, SSE
B27		500 CAMERON LN	CHMIRS	Lower	204, 0.039, SW
D28	PLUECK H J	514 W 12TH ST	EDR US Hist Auto Stat	Higher	206, 0.039, NNE
E29	UNITED MOTOR SERVICE	1225 S GRAND AVE	EDR US Hist Auto Stat	Higher	208, 0.039, ESE
E30	MULTI TIME MACHINE I	1225 SOUTH GRAND AVE	MLTS	Higher	208, 0.039, ESE
C31	KIENTZ H A	1230 S GRAND AVE	EDR US Hist Auto Stat	Higher	217, 0.041, ESE
E32	BROMME L H	1216 S GRAND AVE	EDR US Hist Auto Stat	Higher	217, 0.041, East
C33	DWYRE WINIFRED	1244 S GRAND AVE	EDR US Hist Cleaners	Higher	224, 0.042, SE
B34	DICKSON K G	1324 S HOPE ST	EDR US Hist Auto Stat	Lower	267, 0.051, SW
E35	CAMPUS CASUAL DIVISI	1201 S GRAND AVE	HAZNET	Higher	275, 0.052, East
E36	METRO SERVICE STATIO	1201 S GRAND AVE	EDR US Hist Auto Stat	Higher	275, 0.052, East
B37	VILLA METROPOLITANO	1328 SOUTH HOPE ST	HAZNET	Lower	279, 0.053, SW
B38	VILLA METROPOLITANO	1328 SO HOPE ST	HAZNET	Lower	279, 0.053, SW
D39	KINNEY W J	1144 S HOPE ST	EDR US Hist Auto Stat	Higher	328, 0.062, NNE



MAPPED SITES SUMMARY

Target Property Address:  
 1220 SOUTH HOPE STREET  
 LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">F40</a>	ATLAS AUTO WORKS	1338 S HOPE ST	EDR US Hist Auto Stat	Lower	333, 0.063, SW
<a href="#">F41</a>	MAC LEAN MOTOR CA CO	1333 S HOPE ST	EDR US Hist Auto Stat	Lower	353, 0.067, SW
<a href="#">C42</a>	TRI-WAY CONTRACTORS,	1317 S GRAND AVE	CA FID UST, SWEEPS UST	Lower	357, 0.068, South
<a href="#">C43</a>	GREILER FRANK	1312 S GRAND AVE	EDR US Hist Auto Stat	Lower	360, 0.068, South
<a href="#">F44</a>	EL PUEBLO COMMUNITY	1332 HOPE ST	HAZNET	Lower	394, 0.075, SSW
<a href="#">C45</a>	BORNSTEIN MAX	329 W PICO BLVD	EDR US Hist Cleaners	Lower	407, 0.077, SSE
<a href="#">C46</a>	PIERCE F E	330 W PICO BLVD	EDR US Hist Cleaners	Lower	415, 0.079, SSE
<a href="#">G47</a>	DU BOIS X J	1330 S GRAND AVE	EDR US Hist Auto Stat	Lower	417, 0.079, South
<a href="#">H48</a>	LEE SING	1256 S FLOWER ST	EDR US Hist Cleaners	Lower	439, 0.083, NW
<a href="#">I49</a>	POPE SHAPIRO	1300 S FLOWER ST	EDR US Hist Auto Stat	Lower	446, 0.084, West
<a href="#">H50</a>	FARMERS NEW WORLD LI	1238 S FLOWER ST	SWEEPS UST	Higher	448, 0.085, NW
<a href="#">H51</a>	SOVEREIGN/RING MANAG	1248 S FLOWER ST	UST, SWEEPS UST	Higher	448, 0.085, NW
<a href="#">H52</a>	IDEAL AUTOMOTIVE SER	1238 S FLOWER ST	EDR US Hist Auto Stat	Higher	448, 0.085, NW
<a href="#">H53</a>	HARRY ROSENBLATT & S	1248 S FLOWER ST	CA FID UST	Higher	448, 0.085, NW
<a href="#">H54</a>	FARMERS NEW WORLD/LI	1238 S FLOWER ST	SWEEPS UST	Higher	448, 0.085, NW
<a href="#">H55</a>	CO OPERATIVE AUTO RE	1246 S FLOWER ST	EDR US Hist Auto Stat	Higher	448, 0.085, NW
<a href="#">H56</a>	SCHAEFER A E	1225 S FLOWER ST	EDR US Hist Auto Stat	Higher	448, 0.085, NNW
<a href="#">F57</a>	BOSTON ROBT	1360 S HOPE ST	EDR US Hist Auto Stat	Lower	460, 0.087, SW
<a href="#">J58</a>	WILKINSON J E	315 W 12TH ST	EDR US Hist Auto Stat	Higher	464, 0.088, East
<a href="#">H59</a>	ARENA	1225 FLOWER ST	HAZNET	Higher	492, 0.093, NW
<a href="#">I60</a>	ALEXANDER JAS	611 W PICO BLVD	EDR US Hist Cleaners	Lower	496, 0.094, West
<a href="#">I61</a>	ALEXANDER SAML	610 W PICO BLVD	EDR US Hist Cleaners	Lower	496, 0.094, West
<a href="#">F62</a>	MILLIGAN NEWELL CO	1365 S HOPE ST	EDR US Hist Auto Stat	Lower	496, 0.094, SW
<a href="#">G63</a>		1350 S GRAND AVE	EDR US Hist Auto Stat	Lower	510, 0.097, South
<a href="#">I64</a>	1X PRESTEIGE PRODUCT	1323 SOUTH FLOWER ST	HAZNET	Lower	519, 0.098, WSW
<a href="#">I65</a>	1X PRESTIGE PRODUCTS	1323 S FLOWER ST	HAZNET	Lower	519, 0.098, WSW
<a href="#">I66</a>	MALONE PEPPER	1324 S FLOWER ST	EDR US Hist Auto Stat	Lower	519, 0.098, WSW
<a href="#">K67</a>	CR AND A CUSTOM INC	312 W PICO BLVD	RCRA-SQG, HAZNET	Lower	526, 0.100, SE
<a href="#">K68</a>	CR AND A CUSTOM INC	312 W PICO BLVD	FINDS	Lower	526, 0.100, SE
<a href="#">K69</a>	C R & A CUSTOM INC	312 W PICO BLVD	HAZNET	Lower	526, 0.100, SE
<a href="#">G70</a>		1354 S GRAND AVE	EDR US Hist Auto Stat	Lower	529, 0.100, South
<a href="#">G71</a>	FIX UP AUTO	1354 S GRAND AVE	HAZNET	Lower	529, 0.100, South
<a href="#">L72</a>	BUCK PAUL	1334 S FLOWER ST	EDR US Hist Auto Stat	Lower	544, 0.103, WSW
<a href="#">L73</a>	GLOBE BEARING CO L T	1338 S FLOWER ST	HAZNET	Lower	544, 0.103, WSW
<a href="#">G74</a>	GRAND AV DYE HOUSE	1358 S GRAND AVE	EDR US Hist Cleaners	Lower	549, 0.104, South
<a href="#">M75</a>	WHITLEY JAS	1148 S GRAND AVE	EDR US Hist Auto Stat	Higher	565, 0.107, ENE
<a href="#">L76</a>	CHRISTINE O'DONOVAN	1349 S FLOWER	HAZNET	Lower	566, 0.107, WSW
<a href="#">N77</a>	SAFETY SYSTEM SERVIC	1140 S HOPE ST	EDR US Hist Auto Stat	Higher	575, 0.109, NNE
<a href="#">M78</a>	LEE TONG	1146 S GRAND AVE	EDR US Hist Cleaners	Higher	576, 0.109, ENE

MAPPED SITES SUMMARY

Target Property Address:  
 1220 SOUTH HOPE STREET  
 LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">I79</a>	94982	634 W PICO BLVD	HIST UST	Lower	586, 0.111, West
<a href="#">I80</a>	LUIS MARTIN HERNANDE	634 W PICO BLVD	CA FID UST, SWEEPS UST	Lower	586, 0.111, West
<a href="#">I81</a>	MILLER HEYMAN	638 W PICO BLVD	EDR US Hist Cleaners	Lower	601, 0.114, West
<a href="#">L82</a>	GLOBE AUTO	1358 S FLOWER	RCRA-SQG, FINDS	Lower	611, 0.116, WSW
<a href="#">L83</a>	GLOBE AUTO BODY	1360 S FLOWER ST	EMI	Lower	617, 0.117, WSW
<a href="#">L84</a>	GLOBE AUTO BODY INC	1360 S FLOWER ST	HAZNET	Lower	617, 0.117, WSW
<a href="#">L85</a>		1360 S FLOWER ST	EDR US Hist Auto Stat	Lower	617, 0.117, WSW
<a href="#">J86</a>	G12 PARTNERS	1235 S OLIVE ST	HAZNET	Higher	621, 0.118, ESE
<a href="#">J87</a>	BRAKE SHOP THE INC	1227 S OLIVE ST	EDR US Hist Auto Stat	Higher	622, 0.118, ESE
<a href="#">L88</a>	LONGFELLOW SHOP THE	1362 S FLOWER ST	EDR US Hist Auto Stat	Lower	623, 0.118, WSW
<a href="#">J89</a>	OLSON R C	1234 S OLIVE ST	EDR US Hist Auto Stat	Higher	631, 0.120, ESE
<a href="#">J90</a>	DETROIT FENDER CO	1228 S OLIVE ST	EDR US Hist Auto Stat	Higher	632, 0.120, ESE
<a href="#">L91</a>	3 D SILKSCREENING AN	1366 S FLOWER ST	RCRA-SQG, FINDS, HAZNET	Lower	637, 0.121, WSW
<a href="#">L92</a>	FREELANCE INC	1336 FLOWER	RCRA-SQG, FINDS	Lower	637, 0.121, WSW
<a href="#">J93</a>	READY REPRODUCTIONS	1212 S OLIVE ST	HAZNET	Higher	642, 0.122, ESE
<a href="#">J94</a>	SMITH I D	1212 S OLIVE ST	EDR US Hist Auto Stat	Higher	642, 0.122, ESE
<a href="#">J95</a>	FONTAINE A H	1206 S OLIVE ST	EDR US Hist Auto Stat	Higher	649, 0.123, ESE
<a href="#">O96</a>	HOPE PLACE HOUSING C	1401 S HOPE ST	HAZNET	Lower	655, 0.124, SW
<a href="#">J97</a>	KNASTER TRUST	1200 SOUTH OLIVE ST	HAZNET	Higher	656, 0.124, ESE
<a href="#">J98</a>	SIDNEY AND LINDA KAS	1200 S OLIVE ST	HAZNET	Higher	656, 0.124, ESE
<a href="#">L99</a>	Y S PRINTING	1348 S FLOWER ST STE	RCRA-SQG, FINDS	Lower	665, 0.126, WSW
<a href="#">P100</a>	ARCO #5033	1151 S FLOWER ST	RGA LUST	Higher	679, 0.129, North
<a href="#">P101</a>	ARCO #5033	1151 S FLOWER ST	LUST	Higher	679, 0.129, North
<a href="#">K102</a>	SHELLENBERGER W R	1313 S OLIVE ST	EDR US Hist Auto Stat	Lower	696, 0.132, SSE
<a href="#">P103</a>	MC KENNA E J	1147 S FLOWER ST	EDR US Hist Auto Stat	Higher	697, 0.132, North
<a href="#">O104</a>	CALIFORNIA HOSPITAL	1414 S HOPE ST	HIST UST	Lower	707, 0.134, SW
<a href="#">O105</a>	CALIFORNIA MEDICAL C	1414 S HOPE ST	CA FID UST, SWEEPS UST	Lower	707, 0.134, SW
<a href="#">P106</a>	THOMPSON C J	1145 S FLOWER ST	EDR US Hist Auto Stat	Higher	708, 0.134, North
<a href="#">Q107</a>	CALIFORNIA HOSPITAL	1401 S GRAND AVE	RCRA-SQG, FINDS, CA FID UST, HAZNET	Lower	755, 0.143, South
<a href="#">Q108</a>	CALIFORNIA MEDICAL C	1401 S GRAND AVE	UST, SWEEPS UST	Lower	755, 0.143, South
<a href="#">Q109</a>	CIGNA HEALTHPLANS OF	1400 S GRAND AVE	RCRA-SQG, FINDS	Lower	758, 0.144, South
<a href="#">Q110</a>	LOGAN R J	1400 S GRAND AVE	EDR US Hist Auto Stat	Lower	758, 0.144, South
<a href="#">O111</a>	TRAVIS EARL	1427 S HOPE ST	EDR US Hist Auto Stat	Lower	769, 0.146, SW
<a href="#">R112</a>	SPEEDO ELECTRIC CO	1155 S OLIVE ST	EDR US Hist Auto Stat	Higher	791, 0.150, East
<a href="#">P113</a>	WING QUONG	1124 S FLOWER ST	EDR US Hist Cleaners	Higher	800, 0.152, North
<a href="#">S114</a>	LOWENSTEIN JOS	1229 S HILL ST	EDR US Hist Auto Stat	Higher	810, 0.153, SE
<a href="#">Q115</a>	LIVINGSTON CHAS R	320 W 14TH ST	EDR US Hist Auto Stat	Lower	811, 0.154, South
<a href="#">Q116</a>	PILLACK PROPERTY	1410 GRAND AVE	LUST	Lower	816, 0.155, South
<a href="#">Q117</a>	TRIPP H M	1406 S GRAND AVE	EDR US Hist Auto Stat	Lower	817, 0.155, South

MAPPED SITES SUMMARY

Target Property Address:  
1220 SOUTH HOPE STREET  
LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
S118	YAGER C A	221 W PICO BLVD	EDR US Hist Auto Stat	Lower	817, 0.155, SE
R119	TRANSAMERICA OCCIDEN	1150 S OLIVE ST	CA FID UST, SWEEPS UST, EMI	Higher	820, 0.155, East
R120	SCHERER S A	1148 S OLIVE ST	EDR US Hist Auto Stat	Higher	822, 0.156, East
T121	GRANT W L	1418 S FLOWER ST	EDR US Hist Cleaners	Lower	825, 0.156, WSW
U122	LA FIRE STATION 10	1335 S OLIVE ST	RCRA-SQG, FINDS	Lower	826, 0.156, SSE
U123	LOS ANGELES FIRE STA	1335 S OLIVE ST	CA FID UST	Lower	826, 0.156, SSE
U124	LOS ANGELES FIRE STA	1335 S OLIVE ST	UST, SWEEPS UST	Lower	826, 0.156, SSE
U125	FIRE STATION #10	1335 S OLIVE ST	HIST UST	Lower	826, 0.156, SSE
V126	J AND J FORD DBA FAM	1248 S FIGUEROA ST	RCRA-SQG, FINDS	Lower	832, 0.158, WNW
N127	KIM Y H	426 W 11TH ST	EDR US Hist Cleaners	Higher	834, 0.158, NE
W128	MOSES F N	1101 S GRAND AVE	EDR US Hist Auto Stat	Higher	845, 0.160, NE
U129	GRAND PRIX AUTO BODY	1340 S OLIVE ST	RCRA-SQG, FINDS	Lower	847, 0.160, SSE
U130	B M AUTO RECONSTRU	1340 S OLIVE ST	EDR US Hist Auto Stat	Lower	847, 0.160, SSE
V131	LORD MOTOR CAR CO	1240 S FIGUEROA ST	EDR US Hist Auto Stat	Lower	850, 0.161, NW
V132	HEIDE HENRY	1237 S FIGUEROA ST	EDR US Hist Auto Stat	Lower	860, 0.163, NW
R133	LUARD L S	1138 S OLIVE ST	EDR US Hist Auto Stat	Higher	862, 0.163, East
R134	CLEGHORN ROBT	1137 S OLIVE ST	EDR US Hist Auto Stat	Higher	864, 0.164, East
V135	CITY OF LOS ANGELES	1301 S FIGUEROA ST	CA FID UST, SWEEPS UST	Lower	867, 0.164, WNW
V136	L A CONVENTION CENTE	1301 S FIGUEROA ST	UST	Lower	867, 0.164, WNW
X137	LOS ANGELES CONVENTI	1201 S FIGUEROA ST	CA FID UST, HIST UST, SWEEPS UST, WDS	Higher	877, 0.166, NNW
X138	L A CONVENTION CENTE	1201 S FIGUEROA ST	UST	Higher	877, 0.166, NNW
X139	CONVENTION CENTER	1201 FIGUEROA ST S	HIST CORTESE, LUST, ENF	Higher	877, 0.166, NNW
X140	CITY OF L A GENERAL	1201 S FIGUEROA ST	DRYCLEANERS	Higher	877, 0.166, NNW
X141	LOS ANGELES CONVENTI	1201 S FIGUEROA ST	RCRA-SQG	Higher	877, 0.166, NNW
X142	FUJI PHOTO FILM USA	1201 S FIGUEROA ST B	RCRA-SQG	Higher	877, 0.166, NNW
V143	RYAN A G	713 W PICO BLVD	EDR US Hist Cleaners	Lower	879, 0.166, WNW
R144	TRANSAMERICA CENTER/	1133 S OLIVE ST	UST	Higher	882, 0.167, East
R145	TRANSAMERICA OCCIDEN	1133 S OLIVE ST	CA FID UST, SWEEPS UST	Higher	882, 0.167, East
R146	LUARD L S	1133 S OLIVE ST	EDR US Hist Auto Stat	Higher	882, 0.167, East
R147	SERVICE STATION 2686	1133 S OLIVE ST	HIST UST	Higher	882, 0.167, East
T148	ATMUR TOM	1434 S FLOWER ST	EDR US Hist Auto Stat	Lower	887, 0.168, WSW
R149	JOHNSON J W REAR	1132 S OLIVE ST	EDR US Hist Auto Stat	Higher	888, 0.168, East
Q150		1414 S GRAND AVE	EDR US Hist Auto Stat	Lower	895, 0.170, SSW
V151	KENYON F W	726 W PICO BLVD	EDR US Hist Auto Stat	Lower	895, 0.170, WNW
V152	APPLEBAUM HARRY	726 W PICO BLVD	EDR US Hist Cleaners	Lower	895, 0.170, WNW
R153	MORRIS J H	1130 S OLIVE ST	EDR US Hist Auto Stat	Higher	898, 0.170, East
X154	KELLY J J	811 W 12TH ST	EDR US Hist Auto Stat	Lower	898, 0.170, NW
R155	HOFFMAN JOHANNA MRS	1128 S OLIVE ST	EDR US Hist Auto Stat	Higher	906, 0.172, East
Y156	BEKINS RECORDS MANAG	1335 S FIGUEROA ST	HIST UST	Lower	908, 0.172, West

MAPPED SITES SUMMARY

Target Property Address:  
 1220 SOUTH HOPE STREET  
 LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">Y157</a>	BEKINS RECORDS MANAG	1335 S FIGUEROA ST	CA FID UST, SWEEPS UST	Lower	908, 0.172, West
<a href="#">R158</a>	KELLEY BROS	1127 S OLIVE ST	EDR US Hist Auto Stat	Higher	909, 0.172, ENE
<a href="#">Z159</a>	BIG TICKET PROD ASIA	1100 S FLOWER	RCRA-SQG, FINDS	Higher	925, 0.175, North
<a href="#">R160</a>	HOFFMAN E H	1122 S OLIVE ST	EDR US Hist Auto Stat	Higher	933, 0.177, ENE
<a href="#">X161</a>	HOLMES O W	823 W 12TH ST	EDR US Hist Auto Stat	Lower	947, 0.179, NW
<a href="#">AA162</a>	THOMPSON C H	224 W 12TH ST	EDR US Hist Auto Stat	Higher	952, 0.180, ESE
<a href="#">AA163</a>	CAIN EARL	225 W 12TH ST	EDR US Hist Auto Stat	Higher	955, 0.181, ESE
<a href="#">AA164</a>	TIMPE A M	225 W 12TH ST	EDR US Hist Cleaners	Higher	955, 0.181, ESE
<a href="#">X165</a>	FIRESTONE HOME AUTO	1165 S FIGUEROA ST	EDR US Hist Auto Stat	Higher	956, 0.181, NNW
<a href="#">R166</a>	RISDEN C W	1115 S OLIVE ST	EDR US Hist Auto Stat	Higher	963, 0.182, ENE
<a href="#">R167</a>	WHITLEY J A	1114 S OLIVE ST	EDR US Hist Auto Stat	Higher	970, 0.184, ENE
<a href="#">AA168</a>	MORWAY STEPH	217 W 12TH ST	EDR US Hist Auto Stat	Higher	983, 0.186, ESE
<a href="#">Z169</a>	PROPERTY UNDER CONST	1050-1070 FLOWER ST.	LUST	Higher	1000, 0.189, NNE
<a href="#">Z170</a>	PROPERTY UNDER CONST	1050-1070 FLOWER ST.	RGA LUST	Higher	1000, 0.189, NNE
<a href="#">AA171</a>	SOMMERS L O	211 W 12TH ST	EDR US Hist Auto Stat	Higher	1010, 0.191, ESE
<a href="#">AB172</a>		1360 S FIGUEROA ST	EDR US Hist Auto Stat	Lower	1025, 0.194, WSW
<a href="#">AB173</a>	L A ARENA COLLISION	1360 S FIGUEROA ST	RCRA-SQG, FINDS	Lower	1025, 0.194, WSW
<a href="#">AB174</a>	SERVICE CORP INTERN	1500 S FIGUEROA ST	CA FID UST, SWEEPS UST	Lower	1025, 0.194, WSW
<a href="#">AC175</a>	CAMP G N	1100 S OLIVE ST	EDR US Hist Auto Stat	Higher	1033, 0.196, ENE
<a href="#">AD176</a>	LOUGH JACK	1305 S HILL ST	EDR US Hist Auto Stat	Lower	1037, 0.196, SE
<a href="#">AA177</a>	KEMP B V	1207 S HILL ST	EDR US Hist Auto Stat	Higher	1042, 0.197, ESE
<a href="#">AA178</a>	EKLUND FRANK	1216 S HILL ST	EDR US Hist Auto Stat	Higher	1046, 0.198, ESE
<a href="#">AE179</a>	CITY OF LOS ANGELES	1450 GRAND	SLIC	Lower	1050, 0.199, SSW
<a href="#">AB180</a>	RED ROWE	1417 S FIGUEROA ST	CA FID UST, SWEEPS UST	Lower	1052, 0.199, WSW
<a href="#">Z181</a>	SPECK TIMMERMAN	607 W 11TH ST	EDR US Hist Auto Stat	Higher	1078, 0.204, North
<a href="#">AF182</a>	DEMOCRATIC NATIONAL	1111 SOUTH FIGUEROA	CERCLIS	Higher	1089, 0.206, North
<a href="#">AF183</a>	STAPLES CENTER	1111 S FIGUEROA ST	UST	Higher	1089, 0.206, North
<a href="#">AF184</a>	CITY OF LOS ANGELES	1111 FIGUEROA	SLIC	Higher	1089, 0.206, North
<a href="#">AF185</a>	CITY OF LOS ANGELES	1111 S FIGUEROA	SLIC	Higher	1089, 0.206, North
<a href="#">AG186</a>	SCHARCH GRIGGS	1261 TRENTON WY	EDR US Hist Auto Stat	Lower	1094, 0.207, WNW
<a href="#">AA187</a>	OCCUPANT	1149 S HILL ST	CA FID UST, SWEEPS UST, WIP	Higher	1095, 0.207, ESE
<a href="#">AA188</a>	TRANSAMERICA CORP.	1149 S HILL ST	UST	Higher	1095, 0.207, ESE
<a href="#">AA189</a>		1149 S HILL ST	EDR US Hist Cleaners	Higher	1095, 0.207, ESE
<a href="#">AE190</a>	SAMUELS J R	1513 S GRAND AVE	EDR US Hist Cleaners	Lower	1105, 0.209, SSW
<a href="#">AE191</a>	MANTES C R	1518 S GRAND AVE	EDR US Hist Auto Stat	Lower	1112, 0.211, SSW
<a href="#">AG192</a>	KEEDY G M	810 W PICO BLVD	EDR US Hist Auto Stat	Lower	1117, 0.212, WNW
<a href="#">AH193</a>	WILLYS DISTRIBUTORS	1058 S HOPE ST	EDR US Hist Auto Stat	Higher	1121, 0.212, NNE
<a href="#">AA194</a>	FOWLER L D	1129 S HILL ST	EDR US Hist Auto Stat	Higher	1124, 0.213, East
<a href="#">W195</a>	NEW WELL HAND LAUNDR	1056 S GRAND AVE	EDR US Hist Cleaners	Higher	1131, 0.214, NE

MAPPED SITES SUMMARY

Target Property Address:  
 1220 SOUTH HOPE STREET  
 LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">AI196</a>	KELLEY BROS	1127 S HILL ST	EDR US Hist Auto Stat	Higher	1135, 0.215, East
<a href="#">AJ197</a>	REAGAN KAZAR	1055 S GRAND AVE	EDR US Hist Auto Stat	Higher	1141, 0.216, NE
<a href="#">AG198</a>	NATIONAL CAR RENTAL	820 W PICO BLVD	CA FID UST, SWEEPS UST	Lower	1148, 0.217, WNW
<a href="#">AG199</a>	NATIONAL CAR RENTAL	820 W PICO BLVD	HIST UST	Lower	1148, 0.217, WNW
<a href="#">AJ200</a>	HANSEN SERVICE	1053 S GRAND AVE	EDR US Hist Auto Stat	Higher	1153, 0.218, NE
<a href="#">AG201</a>	KEEDY G M	819 W PICO BLVD	EDR US Hist Auto Stat	Lower	1175, 0.223, WNW
<a href="#">AK202</a>	BUSCH R E	1504 S FLOWER ST	EDR US Hist Auto Stat	Lower	1176, 0.223, SW
<a href="#">AL203</a>	JAPAN AUTO	239 W 15TH ST	RCRA-SQG, FINDS, HAZNET	Lower	1184, 0.224, South
<a href="#">AF204</a>	POST POST	1100 S FIGUEROA ST	EDR US Hist Auto Stat	Higher	1187, 0.225, North
<a href="#">205</a>	WARD HOWARD F INC	1058 S FLOWER ST	EDR US Hist Auto Stat	Higher	1193, 0.226, NNE
<a href="#">AG206</a>	HORWITZ JACOB	823 W PICO BLVD	EDR US Hist Cleaners	Lower	1194, 0.226, WNW
<a href="#">AG207</a>	EISENBERG SAML	827 W PICO BLVD	EDR US Hist Cleaners	Lower	1214, 0.230, WNW
<a href="#">AM208</a>	KINCAID AUTO SERVICE	1515 S HOPE ST	EDR US Hist Auto Stat	Lower	1226, 0.232, SW
<a href="#">AK209</a>	OLSON R C	1516 S FLOWER ST	EDR US Hist Auto Stat	Lower	1228, 0.233, SW
<a href="#">AK210</a>	L A IMPRINTS	1516 S FLOWER ST	RCRA-SQG, FINDS	Lower	1228, 0.233, SW
<a href="#">AC211</a>	WILSON L C	208 W 11TH ST	EDR US Hist Cleaners	Higher	1232, 0.233, East
<a href="#">AN212</a>	SKLAR ISEDORE	159 W 12TH ST	EDR US Hist Cleaners	Higher	1243, 0.235, ESE
<a href="#">AI213</a>	ASSOCIATED PRESS	1111 S HILL ST	RCRA-SQG, FINDS	Higher	1243, 0.235, East
<a href="#">214</a>	BAUMANN JOS	1409 S HILL ST	EDR US Hist Cleaners	Lower	1254, 0.237, SSE
<a href="#">AM215</a>	RUDD H B	1521 S HOPE ST	EDR US Hist Auto Stat	Lower	1255, 0.238, SW
<a href="#">AL216</a>	WALSHE RANK	224 W 15TH ST	EDR US Hist Auto Stat	Lower	1263, 0.239, South
<a href="#">AB217</a>	LA CONVENTION CENTER	1501 S FIGUEROA ST	UST	Lower	1269, 0.240, WSW
<a href="#">AN218</a>	TRANSAMERICA REALTY	150 W 12TH ST	CA FID UST, SWEEPS UST	Higher	1277, 0.242, ESE
<a href="#">AD219</a>	TRANSAMERICA OCCIDEN	150 W PICO BLVD	CA FID UST, SWEEPS UST	Lower	1284, 0.243, SE
<a href="#">AI220</a>	FC BROADWAY AND HILL	1108 S HILL STREET	VCP, ENVIROSTOR	Higher	1292, 0.245, East
<a href="#">AL221</a>	BURKE D C	1531 S OLIVE ST	EDR US Hist Auto Stat	Lower	1293, 0.245, South
<a href="#">AD222</a>	POPHAM H H	147 W PICO BLVD	EDR US Hist Auto Stat	Lower	1294, 0.245, SE
<a href="#">AL223</a>	CALIF PEDIATRIC & FA	1530 S OLIVE	RCRA-SQG, FINDS	Lower	1300, 0.246, South
<a href="#">224</a>	PRATT W M	1027 S OLIVE ST	EDR US Hist Auto Stat	Higher	1304, 0.247, ENE
<a href="#">AH225</a>	WARD GRIFFEN	1030 S HOPE ST	EDR US Hist Auto Stat	Higher	1306, 0.247, NE
<a href="#">AL226</a>	UNITED SCREEN PRINTI	215 W 15TH ST	RCRA-SQG, FINDS	Lower	1313, 0.249, South
<a href="#">227</a>	HOWIE A S	1102 S HILL ST	EDR US Hist Auto Stat	Higher	1317, 0.249, East
<a href="#">228</a>	SHELL SERVICE STATIO	504 OLYMPIC BLVD. W.	LUST	Higher	1513, 0.287, NE
<a href="#">229</a>	FC BROADWAY AND HILL	1201 S MAIN STREET	VCP, ENVIROSTOR	Lower	1540, 0.292, ESE
<a href="#">230</a>	STAPLES ARENA	740-750 WEST 10TH PL	SLIC	Higher	1568, 0.297, NNW
<a href="#">231</a>	UNOCAL CORPORATION	730 OLYMPIC BLVD	HIST CORTESE, LUST, EMI	Higher	1596, 0.302, NNE
<a href="#">232</a>	MOBIL #11-H3K	1600 HILL ST S	LUST	Lower	1651, 0.313, South
<a href="#">233</a>	DOWNTOWN CAR WASH	811 OLYMPIC BLVD W	LUST	Higher	1715, 0.325, North
<a href="#">AO234</a>	NEMAN BROTHERS	1525 S BROADWAY	RGA LUST	Lower	1748, 0.331, SSE

MAPPED SITES SUMMARY

Target Property Address:  
 1220 SOUTH HOPE STREET  
 LOS ANGELES, CA 90015

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">AO235</a>	DEPT. OF GEN SERVICE	1525 S BROADWAY	RGA LUST	Lower	1748, 0.331, SSE
<a href="#">AO236</a>	CAL ST, GEN SERV DEP	1525 S BROADWAY	LUST, EMI	Lower	1748, 0.331, SSE
<a href="#">237</a>	HULL LUMBER CO.	658 VENICE BLVD	RGA LUST	Lower	2003, 0.379, WSW
<a href="#">238</a>	JOHNSON BRONZE CO	1818 S GRAND AVE	CERC-NFRAP	Lower	2087, 0.395, SSW
<a href="#">239</a>	UNOCAL/GREAT WESTERN	1817 HOPE	HIST CORTESE	Lower	2285, 0.433, SSW
<a href="#">240</a>	G & P RECYCLING CENT	110 E 17TH ST	SWRCY	Lower	2417, 0.458, SSE
<a href="#">241</a>	801 TOWER BUILDING	845 FIGUEROA AVE S	HIST CORTESE, LUST	Higher	2529, 0.479, NNE
<a href="#">AP242</a>	MOBIL #11-HOQ	419 WASHINGTON BLVD	HIST CORTESE, LUST	Lower	2563, 0.485, SW
<a href="#">AP243</a>	LOS ANGELES TRADE TE	400 W. WASHINGTON BL	RGA LUST	Lower	2593, 0.491, SSW
<a href="#">AP244</a>	LA TRADE TECH	400 W WASHINGTON	RCRA-SQG, FINDS, NPDES, LUST, HAZNET, EMI	Lower	2593, 0.491, SSW
<a href="#">245</a>	JEFFRIES BANKNOTE CO	1330 WEST PICO BLVD	ENVIROSTOR	Higher	2664, 0.505, WNW
<a href="#">246</a>	JOHNSON BRONZE COMPA	1818 S. GRAND AVENUE	ENVIROSTOR	Higher	2725, 0.516, NE
<a href="#">247</a>	BELMONT NEW PRIMARY	927-937 BLAINE STREE	SCH, ENVIROSTOR	Higher	3253, 0.616, NNW
<a href="#">248</a>	BELMONT PRIMARY CENT	950 SOUTH ALBANY STR	SCH, ENVIROSTOR	Higher	3502, 0.663, NNW
<a href="#">249</a>	UNITED BUILDING ASSO	707 S BROADWAY #411	ENVIROSTOR	Higher	3729, 0.706, ENE
<a href="#">AQ250</a>	LOS ANGELES UNITED I	650 S. HILL STREET #	ENVIROSTOR	Higher	3959, 0.750, NE
<a href="#">AQ251</a>	ATLAS PRECIOUS METAL	640 S HILL ST	HWP	Higher	4021, 0.762, NE
<a href="#">AQ252</a>	M & M HOLDING, LLC	629 S. HILL STREET #	ENVIROSTOR	Higher	4093, 0.775, NE
<a href="#">253</a>	LAUSD MASTER AGREEME	1449 SOUTH SAN PEDRO	SCH, ENVIROSTOR	Lower	4244, 0.804, SE
<a href="#">AR254</a>	PARK CENTRAL BUILDIN	412 W 6TH ST	RCRA-SQG, FINDS, ENVIROSTOR	Higher	4271, 0.809, NE
<a href="#">AR255</a>	MGR JEWELRY	314 W SIXTH STREET	EMI, ENVIROSTOR	Higher	4328, 0.820, NE
<a href="#">256</a>	GOOD SAMARITAN HOSPI	1225 WILSHIRE	LUST, ENVIROSTOR	Higher	4669, 0.884, North
<a href="#">257</a>	SOUTH CENTRAL AREA N	231 EAST 23RD STREET	SCH, ENVIROSTOR	Lower	4686, 0.887, South
<a href="#">258</a>	GRATTS NEW PRIMARY C	WEST 6TH STREET/BIXE	SCH, ENVIROSTOR	Higher	5028, 0.952, North
<a href="#">259</a>	ORTHOPEDIC HOSPITAL	WEST ADAMS BOULEVARD	SCH, ENVIROSTOR	Lower	5140, 0.973, SSW
<a href="#">260</a>	ROYAL PLATING CO	787 E 15TH ST	RCRA-SQG, FINDS, CA FID UST, UST, HIST UST, SWEEPS...	Lower	5155, 0.976, SE

# EXECUTIVE SUMMARY

## TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report:

<u>Site</u>	<u>Database(s)</u>	<u>EPA ID</u>
BOSTON ROBT 427 W PICO BLVD LOS ANGELES, CA	EDR US Hist Auto Stat	N/A
WARREN F L 1220 S HOPE ST LOS ANGELES, CA	EDR US Hist Auto Stat	N/A
BOOKBINDERS CO 1240 S HOPE ST LOS ANGELES, CA 90015	RCRA-SQG EPA ID:: CA0000134619  FINDS Registry ID:: 110002613805	CA0000134619

## DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

NPL..... National Priority List  
Proposed NPL..... Proposed National Priority List Sites  
NPL LIENS..... Federal Superfund Liens

### ***Federal Delisted NPL site list***

Delisted NPL..... National Priority List Deletions

### ***Federal CERCLIS list***

FEDERAL FACILITY..... Federal Facility Site Information listing

### ***Federal RCRA CORRACTS facilities list***

CORRACTS..... Corrective Action Report

### ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

## EXECUTIVE SUMMARY

### ***Federal RCRA generators list***

RCRA-LQG..... RCRA - Large Quantity Generators  
RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

### ***Federal institutional controls / engineering controls registries***

US ENG CONTROLS..... Engineering Controls Sites List  
US INST CONTROL..... Sites with Institutional Controls  
LUCIS..... Land Use Control Information System

### ***Federal ERNS list***

ERNS..... Emergency Response Notification System

### ***State- and tribal - equivalent NPL***

RESPONSE..... State Response Sites

### ***State and tribal landfill and/or solid waste disposal site lists***

SWF/LF..... Solid Waste Information System

### ***State and tribal leaking storage tank lists***

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

### ***State and tribal registered storage tank lists***

AST..... Aboveground Petroleum Storage Tank Facilities  
INDIAN UST..... Underground Storage Tanks on Indian Land  
FEMA UST..... Underground Storage Tank Listing

### ***State and tribal voluntary cleanup sites***

INDIAN VCP..... Voluntary Cleanup Priority Listing

### **ADDITIONAL ENVIRONMENTAL RECORDS**

#### ***Local Brownfield lists***

US BROWNFIELDS..... A Listing of Brownfields Sites

#### ***Local Lists of Landfill / Solid Waste Disposal Sites***

ODI..... Open Dump Inventory  
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations  
HAULERS..... Registered Waste Tire Haulers Listing  
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands  
WMUDS/SWAT..... Waste Management Unit Database

#### ***Local Lists of Hazardous waste / Contaminated Sites***

US CDL..... Clandestine Drug Labs



## EXECUTIVE SUMMARY

HIST Cal-Sites.....	Historical Calsites Database
SCH.....	School Property Evaluation Program
Toxic Pits.....	Toxic Pits Cleanup Act Sites
AOCONCERN.....	San Gabriel Valley Areas of Concern
CDL.....	Clandestine Drug Labs
US HIST CDL.....	National Clandestine Laboratory Register

### **Local Land Records**

LIENS 2.....	CERCLA Lien Information
LIENS.....	Environmental Liens Listing
DEED.....	Deed Restriction Listing

### **Records of Emergency Release Reports**

HMIRS.....	Hazardous Materials Information Reporting System
LDS.....	Land Disposal Sites Listing
MCS.....	Military Cleanup Sites Listing
SPILLS 90.....	SPILLS 90 data from FirstSearch

### **Other Ascertainable Records**

RCRA NonGen / NLR.....	RCRA - Non Generators / No Longer Regulated
DOT OPS.....	Incident and Accident Data
DOD.....	Department of Defense Sites
FUDS.....	Formerly Used Defense Sites
CONSENT.....	Superfund (CERCLA) Consent Decrees
ROD.....	Records Of Decision
UMTRA.....	Uranium Mill Tailings Sites
US MINES.....	Mines Master Index File
TRIS.....	Toxic Chemical Release Inventory System
TSCA.....	Toxic Substances Control Act
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
SSTS.....	Section 7 Tracking Systems
ICIS.....	Integrated Compliance Information System
PADS.....	PCB Activity Database System
RADINFO.....	Radiation Information Database
RAATS.....	RCRA Administrative Action Tracking System
RMP.....	Risk Management Plans
CA BOND EXP. PLAN.....	Bond Expenditure Plan
NPDES.....	NPDES Permits Listing
UIC.....	UIC Listing
Cortese.....	"Cortese" Hazardous Waste & Substances Sites List
CUPA Listings.....	CUPA Resources List
Notify 65.....	Proposition 65 Records
LA Co. Site Mitigation.....	Site Mitigation List
LOS ANGELES CO. HMS.....	HMS: Street Number List
ENF.....	Enforcement Action Listing
INDIAN RESERV.....	Indian Reservations
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
WDS.....	Waste Discharge System
Financial Assurance.....	Financial Assurance Information Listing
PROC.....	Certified Processors Database

## EXECUTIVE SUMMARY

HWT.....	Registered Hazardous Waste Transporter Database
MWMP.....	Medical Waste Management Program Listing
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
EPA WATCH LIST.....	EPA WATCH LIST
US FIN ASSUR.....	Financial Assurance Information
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
COAL ASH DOE.....	Steam-Electric Plant Operation Data
2020 COR ACTION.....	2020 Corrective Action Program List
PRP.....	Potentially Responsible Parties

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP..... EDR Proprietary Manufactured Gas Plants

### EDR RECOVERED GOVERNMENT ARCHIVES

#### ***Exclusive Recovered Govt. Archives***

RGA LF..... Recovered Government Archive Solid Waste Facilities List

### SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

### STANDARD ENVIRONMENTAL RECORDS

#### ***Federal CERCLIS list***

CERCLIS: The Comprehensive Environmental Response, Compensation and Liability Information System contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the CERCLIS list, as provided by EDR, and dated 10/25/2013 has revealed that there is 1 CERCLIS site within approximately 0.5 miles of the target property.

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DEMOCRATIC NATIONAL	1111 SOUTH FIGUEROA	N 1/8 - 1/4 (0.206 mi.)	AF182	113

### ***Federal CERCLIS NFRAP site List***

CERC-NFRAP: Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

A review of the CERC-NFRAP list, as provided by EDR, and dated 10/25/2013 has revealed that there is 1 CERC-NFRAP site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JOHNSON BRONZE CO	1818 S GRAND AVE	SSW 1/4 - 1/2 (0.395 mi.)	238	155

### ***Federal RCRA generators list***

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 03/10/2015 has revealed that there are 20 RCRA-SQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
LOS ANGELES CONVENTI	1201 S FIGUEROA ST	NNW 1/8 - 1/4 (0.166 mi.)	X141	93
FUJI PHOTO FILM USA	1201 S FIGUEROA ST B	NNW 1/8 - 1/4 (0.166 mi.)	X142	95
<b>BIG TICKET PROD ASIA</b>	<b>1100 S FLOWER</b>	<b>N 1/8 - 1/4 (0.175 mi.)</b>	<b>Z159</b>	<b>101</b>
<b>ASSOCIATED PRESS</b>	<b>1111 S HILL ST</b>	<b>E 1/8 - 1/4 (0.235 mi.)</b>	<b>AI213</b>	<b>127</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JOY DESIGN</b>	<b>424 W PICO BLVD</b>	<b>SW 0 - 1/8 (0.023 mi.)</b>	<b>B15</b>	<b>13</b>
<b>CR AND A CUSTOM INC</b>	<b>312 W PICO BLVD</b>	<b>SE 0 - 1/8 (0.100 mi.)</b>	<b>K67</b>	<b>33</b>
<b>GLOBE AUTO</b>	<b>1358 S FLOWER</b>	<b>WSW 0 - 1/8 (0.116 mi.)</b>	<b>L82</b>	<b>44</b>
<b>3 D SILKSCREENING AN</b>	<b>1366 S FLOWER ST</b>	<b>WSW 0 - 1/8 (0.121 mi.)</b>	<b>L91</b>	<b>49</b>
<b>FREELANCE INC</b>	<b>1336 FLOWER</b>	<b>WSW 0 - 1/8 (0.121 mi.)</b>	<b>L92</b>	<b>50</b>
<b>Y S PRINTING</b>	<b>1348 S FLOWER ST STE</b>	<b>WSW 1/8 - 1/4 (0.126 mi.)</b>	<b>L99</b>	<b>56</b>
<b>CALIFORNIA HOSPITAL</b>	<b>1401 S GRAND AVE</b>	<b>S 1/8 - 1/4 (0.143 mi.)</b>	<b>Q107</b>	<b>62</b>
<b>CIGNA HEALTHPLANS OF</b>	<b>1400 S GRAND AVE</b>	<b>S 1/8 - 1/4 (0.144 mi.)</b>	<b>Q109</b>	<b>66</b>
<b>LA FIRE STATION 10</b>	<b>1335 S OLIVE ST</b>	<b>SSE 1/8 - 1/4 (0.156 mi.)</b>	<b>U122</b>	<b>73</b>
<b>J AND J FORD DBA FAM</b>	<b>1248 S FIGUEROA ST</b>	<b>WNW 1/8 - 1/4 (0.158 mi.)</b>	<b>V126</b>	<b>76</b>
<b>GRAND PRIX AUTO BODY</b>	<b>1340 S OLIVE ST</b>	<b>SSE 1/8 - 1/4 (0.160 mi.)</b>	<b>U129</b>	<b>78</b>
<b>L A ARENA COLLISION</b>	<b>1360 S FIGUEROA ST</b>	<b>WSW 1/8 - 1/4 (0.194 mi.)</b>	<b>AB173</b>	<b>108</b>
<b>JAPAN AUTO</b>	<b>239 W 15TH ST</b>	<b>S 1/8 - 1/4 (0.224 mi.)</b>	<b>AL203</b>	<b>120</b>

## EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>L A IMPRINTS</b>	<b>1516 S FLOWER ST</b>	<b>SW 1/8 - 1/4 (0.233 mi.)</b>	<b>AK210</b>	<b>125</b>
<b>CALIF PEDIATRIC &amp; FA</b>	<b>1530 S OLIVE</b>	<b>S 1/8 - 1/4 (0.246 mi.)</b>	<b>AL223</b>	<b>134</b>
<b>UNITED SCREEN PRINTI</b>	<b>215 W 15TH ST</b>	<b>S 1/8 - 1/4 (0.249 mi.)</b>	<b>AL226</b>	<b>136</b>

### **State- and tribal - equivalent CERCLIS**

ENVIROSTOR: The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

A review of the ENVIROSTOR list, as provided by EDR, and dated 05/04/2015 has revealed that there are 17 ENVIROSTOR sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>FC BROADWAY AND HILL</b> Status: Active Facility Id: 60002032	<b>1108 S HILL STREET</b>	<b>E 1/8 - 1/4 (0.245 mi.)</b>	<b>AI220</b>	<b>131</b>
JEFFRIES BANKNOTE CO Status: Refer: Other Agency Facility Id: 19270326	1330 WEST PICO BLVD	WNW 1/2 - 1 (0.505 mi.)	245	171
JOHNSON BRONZE COMPA Status: Refer: Other Agency Facility Id: 19340506	1818 S. GRAND AVENUE	NE 1/2 - 1 (0.516 mi.)	246	172
<b>BELMONT NEW PRIMARY</b> Status: Inactive - Needs Evaluation Facility Id: 19750090	<b>927-937 BLAINE STREE</b>	<b>NNW 1/2 - 1 (0.616 mi.)</b>	<b>247</b>	<b>173</b>
<b>BELMONT PRIMARY CENT</b> Status: Certified Facility Id: 19590009	<b>950 SOUTH ALBANY STR</b>	<b>NNW 1/2 - 1 (0.663 mi.)</b>	<b>248</b>	<b>176</b>
UNITED BUILDING ASSO Status: Refer: Other Agency Facility Id: 71003260	707 S BROADWAY #411	ENE 1/2 - 1 (0.706 mi.)	249	180
LOS ANGELES UNITED I Status: Refer: Other Agency Facility Id: 71003114	650 S. HILL STREET #	NE 1/2 - 1 (0.750 mi.)	AQ250	181
M & M HOLDING, LLC Status: Refer: Other Agency Facility Id: 71003306	629 S. HILL STREET #	NE 1/2 - 1 (0.775 mi.)	AQ252	184
<b>PARK CENTRAL BUILDIN</b> Status: Refer: Other Agency Facility Id: 71003138	<b>412 W 6TH ST</b>	<b>NE 1/2 - 1 (0.809 mi.)</b>	<b>AR254</b>	<b>188</b>
<b>MGR JEWELRY</b> Status: Refer: Other Agency Facility Id: 71003112	<b>314 W SIXTH STREET</b>	<b>NE 1/2 - 1 (0.820 mi.)</b>	<b>AR255</b>	<b>193</b>

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>GOOD SAMARITAN HOSPI</b> Status: Refer: Other Agency Facility Id: 71003074	<b>1225 WILSHIRE</b>	<b>N 1/2 - 1 (0.884 mi.)</b>	<b>256</b>	<b>194</b>
<b>GRATTS NEW PRIMARY C</b> Status: Certified Facility Id: 19880042	<b>WEST 6TH STREET/BIXE</b>	<b>N 1/2 - 1 (0.952 mi.)</b>	<b>258</b>	<b>201</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>FC BROADWAY AND HILL</b> Status: Active Facility Id: 60002033	<b>1201 S MAIN STREET</b>	<b>ESE 1/4 - 1/2 (0.292 mi.)</b>	<b>229</b>	<b>141</b>
<b>LAUSD MASTER AGREEME</b> Status: Active Facility Id: 19820019	<b>1449 SOUTH SAN PEDRO</b>	<b>SE 1/2 - 1 (0.804 mi.)</b>	<b>253</b>	<b>185</b>
<b>SOUTH CENTRAL AREA N</b> Status: No Further Action Facility Id: 19590012	<b>231 EAST 23RD STREET</b>	<b>S 1/2 - 1 (0.887 mi.)</b>	<b>257</b>	<b>197</b>
<b>ORTHOPEDIC HOSPITAL</b> Status: Certified Facility Id: 19230002	<b>WEST ADAMS BOULEVARD</b>	<b>SSW 1/2 - 1 (0.973 mi.)</b>	<b>259</b>	<b>206</b>
<b>ROYAL PLATING CO</b> Status: Certified O&M - Land Use Restrictions Only Facility Id: 19340770	<b>787 E 15TH ST</b>	<b>SE 1/2 - 1 (0.976 mi.)</b>	<b>260</b>	<b>210</b>

### **State and tribal leaking storage tank lists**

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the State Water Resources Control Board Leaking Underground Storage Tank Information System.

A review of the LUST list, as provided by EDR, and dated 06/15/2015 has revealed that there are 12 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #5033 Status: Completed - Case Closed Global Id: T0603708034	1151 S FLOWER ST	N 1/8 - 1/4 (0.129 mi.)	P101	58
<b>CONVENTION CENTER</b> Status: Completed - Case Closed Facility Id: 900150089 Status: Case Closed Global Id: T0603700551 Global ID: T0603700551	<b>1201 FIGUEROA ST S</b>	<b>NNW 1/8 - 1/4 (0.166 mi.)</b>	<b>X139</b>	<b>87</b>
PROPERTY UNDER CONST Status: Completed - Case Closed Global Id: T0603519348	1050-1070 FLOWER ST.	NNE 1/8 - 1/4 (0.189 mi.)	Z169	105
SHELL SERVICE STATIO Status: Completed - Case Closed Global Id: T0603789214	504 OLYMPIC BLVD. W.	NE 1/4 - 1/2 (0.287 mi.)	228	137

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>UNOCAL CORPORATION</b> Status: Completed - Case Closed Facility Id: 900150070 Status: Case Closed Global Id: T0603700550 Global ID: T0603700550	<b>730 OLYMPIC BLVD</b>	<b>NNE 1/4 - 1/2 (0.302 mi.)</b>	<b>231</b>	<b>144</b>
DOWNTOWN CAR WASH Status: Completed - Case Closed Global Id: T10000003408	811 OLYMPIC BLVD W	N 1/4 - 1/2 (0.325 mi.)	233	149
<b>801 TOWER BUILDING</b> Status: Completed - Case Closed Facility Id: 900170125 Status: Case Closed Global Id: T0603700592 Global ID: T0603700592	<b>845 FIGUEROA AVE S</b>	<b>NNE 1/4 - 1/2 (0.479 mi.)</b>	<b>241</b>	<b>156</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PILLACK PROPERTY Status: Completed - Case Closed Facility Id: I-14091 Status: Case Closed Global Id: T0603704135 Global ID: T0603704135	1410 GRAND AVE	S 1/8 - 1/4 (0.155 mi.)	Q116	69
MOBIL #11-H3K Status: Completed - Case Closed Facility Id: 900150098 Status: Case Closed Global Id: T0603700552 Global ID: T0603700552	1600 HILL ST S	S 1/4 - 1/2 (0.313 mi.)	232	147
<b>CAL ST, GEN SERV DEP</b> Status: Completed - Case Closed Global Id: T0603735696	<b>1525 S BROADWAY</b>	<b>SSE 1/4 - 1/2 (0.331 mi.)</b>	<b>AO236</b>	<b>152</b>
<b>MOBIL #11-HOQ</b> Status: Completed - Case Closed Facility Id: 900150034 Status: Case Closed Global Id: T0603700546 Global ID: T0603700546	<b>419 WASHINGTON BLVD</b>	<b>SW 1/4 - 1/2 (0.485 mi.)</b>	<b>AP242</b>	<b>158</b>
<b>LA TRADE TECH</b> Status: Completed - Case Closed Global Id: T0603761703	<b>400 W WASHINGTON</b>	<b>SSW 1/4 - 1/2 (0.491 mi.)</b>	<b>AP244</b>	<b>161</b>

SLIC: SLIC Region comes from the California Regional Water Quality Control Board.

A review of the SLIC list, as provided by EDR, and dated 06/15/2015 has revealed that there are 4 SLIC sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF LOS ANGELES Facility Status: Remediation	1111 FIGUEROA	N 1/8 - 1/4 (0.206 mi.)	AF184	114

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF LOS ANGELES Global Id: SL163772345 Facility Status: Completed - Case Closed	1111 S FIGUEROA	N 1/8 - 1/4 (0.206 mi.)	AF185	115
STAPLES ARENA Global Id: SLT4L8561883 Facility Status: Open - Remediation	740-750 WEST 10TH PL	NNW 1/4 - 1/2 (0.297 mi.)	230	144

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF LOS ANGELES Global Id: SLT4L1501772 Facility Status: Completed - Case Closed Facility Status: Site Assessment	1450 GRAND	SSW 1/8 - 1/4 (0.199 mi.)	AE179	111

### **State and tribal registered storage tank lists**

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the State Water Resources Control Board's Hazardous Substance Storage Container Database.

A review of the UST list, as provided by EDR, and dated 06/15/2015 has revealed that there are 9 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SOVEREIGN/RING MANAG</b> Facility Id: 24784	<b>1248 S FLOWER ST</b>	<b>NW 0 - 1/8 (0.085 mi.)</b>	<b>H51</b>	<b>27</b>
L A CONVENTION CENTE Facility Id: 23877	1201 S FIGUEROA ST	NNW 1/8 - 1/4 (0.166 mi.)	X138	87
TRANSAMERICA CENTER/ Facility Id: 24766	1133 S OLIVE ST	E 1/8 - 1/4 (0.167 mi.)	R144	96
STAPLES CENTER Facility Id: 24138	1111 S FIGUEROA ST	N 1/8 - 1/4 (0.206 mi.)	AF183	114
TRANSAMERICA CORP. Facility Id: 24768	1149 S HILL ST	ESE 1/8 - 1/4 (0.207 mi.)	AA188	116

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>CALIFORNIA MEDICAL C</b> Facility Id: 24940	<b>1401 S GRAND AVE</b>	<b>S 1/8 - 1/4 (0.143 mi.)</b>	<b>Q108</b>	<b>65</b>
<b>LOS ANGELES FIRE STA</b> Facility Id: 24801	<b>1335 S OLIVE ST</b>	<b>SSE 1/8 - 1/4 (0.156 mi.)</b>	<b>U124</b>	<b>75</b>
L A CONVENTION CENTE Facility Id: 23878	1301 S FIGUEROA ST	WNW 1/8 - 1/4 (0.164 mi.)	V136	82
LA CONVENTION CENTER Facility Id: 23879	1501 S FIGUEROA ST	WSW 1/8 - 1/4 (0.240 mi.)	AB217	129

## EXECUTIVE SUMMARY

### **State and tribal voluntary cleanup sites**

VCP: Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

A review of the VCP list, as provided by EDR, and dated 05/04/2015 has revealed that there are 2 VCP sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>FC BROADWAY AND HILL</b> Status: Active Facility Id: 60002032	<b>1108 S HILL STREET</b>	<b>E 1/8 - 1/4 (0.245 mi.)</b>	<b>AI220</b>	<b>131</b>

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>FC BROADWAY AND HILL</b> Status: Active Facility Id: 60002033	<b>1201 S MAIN STREET</b>	<b>ESE 1/4 - 1/2 (0.292 mi.)</b>	<b>229</b>	<b>141</b>

### **ADDITIONAL ENVIRONMENTAL RECORDS**

#### **Local Lists of Landfill / Solid Waste Disposal Sites**

SWRCY: A listing of recycling facilities in California.

A review of the SWRCY list, as provided by EDR, and dated 06/15/2015 has revealed that there is 1 SWRCY site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>G &amp; P RECYCLING CENT</b> Cert Id: RC203217.001	<b>110 E 17TH ST</b>	<b>SSE 1/4 - 1/2 (0.458 mi.)</b>	<b>240</b>	<b>156</b>

#### **Local Lists of Registered Storage Tanks**

CA FID UST: The Facility Inventory Database contains active and inactive underground storage tank locations. The source is the State Water Resource Control Board.

A review of the CA FID UST list, as provided by EDR, and dated 10/31/1994 has revealed that there are 17 CA FID UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>HARRY ROSENBLATT &amp; S</b> Facility Id: 19056300 Status: A	<b>1248 S FLOWER ST</b>	<b>NW 0 - 1/8 (0.085 mi.)</b>	<b>H53</b>	<b>28</b>
<b>TRANSAMERICA OCCIDEN</b> Facility Id: 19020393 Status: A	<b>1150 S OLIVE ST</b>	<b>E 1/8 - 1/4 (0.155 mi.)</b>	<b>R119</b>	<b>72</b>



## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>LOS ANGELES CONVENTI</b> Facility Id: 19001844 Status: I	<b>1201 S FIGUEROA ST</b>	<b>NNW 1/8 - 1/4 (0.166 mi.)</b>	<b>X137</b>	<b>82</b>
<b>TRANSAMERICA OCCIDEN</b> Facility Id: 19038113 Status: A	<b>1133 S OLIVE ST</b>	<b>E 1/8 - 1/4 (0.167 mi.)</b>	<b>R145</b>	<b>96</b>
<b>OCCUPANT</b> Facility Id: 19027841 Status: A	<b>1149 S HILL ST</b>	<b>ESE 1/8 - 1/4 (0.207 mi.)</b>	<b>AA187</b>	<b>115</b>
<b>TRANSAMERICA REALTY</b> Facility Id: 19010041 Status: I	<b>150 W 12TH ST</b>	<b>ESE 1/8 - 1/4 (0.242 mi.)</b>	<b>AN218</b>	<b>129</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>TRI-WAY CONTRACTORS,</b> Facility Id: 19008975 Status: A	<b>1317 S GRAND AVE</b>	<b>S 0 - 1/8 (0.068 mi.)</b>	<b>C42</b>	<b>24</b>
<b>LUIS MARTIN HERNANDE</b> Facility Id: 19015518 Status: I	<b>634 W PICO BLVD</b>	<b>W 0 - 1/8 (0.111 mi.)</b>	<b>I80</b>	<b>42</b>
<b>CALIFORNIA MEDICAL C</b> Facility Id: 19011484 Status: A	<b>1414 S HOPE ST</b>	<b>SW 1/8 - 1/4 (0.134 mi.)</b>	<b>O105</b>	<b>60</b>
<b>CALIFORNIA HOSPITAL</b> Facility Id: 19000622 Status: A	<b>1401 S GRAND AVE</b>	<b>S 1/8 - 1/4 (0.143 mi.)</b>	<b>Q107</b>	<b>62</b>
<b>LOS ANGELES FIRE STA</b> Facility Id: 19024445 Status: A	<b>1335 S OLIVE ST</b>	<b>SSE 1/8 - 1/4 (0.156 mi.)</b>	<b>U123</b>	<b>75</b>
<b>CITY OF LOS ANGELES</b> Facility Id: 19056575 Status: A	<b>1301 S FIGUEROA ST</b>	<b>WNW 1/8 - 1/4 (0.164 mi.)</b>	<b>V135</b>	<b>81</b>
<b>BEKINS RECORDS MANAG</b> Facility Id: 19008046 Status: A	<b>1335 S FIGUEROA ST</b>	<b>W 1/8 - 1/4 (0.172 mi.)</b>	<b>Y157</b>	<b>100</b>
<b>SERVICE CORP INTERN</b> Facility Id: 19054691 Status: I	<b>1500 S FIGUEROA ST</b>	<b>WSW 1/8 - 1/4 (0.194 mi.)</b>	<b>AB174</b>	<b>109</b>
<b>RED ROWE</b> Facility Id: 19056494 Status: A	<b>1417 S FIGUEROA ST</b>	<b>WSW 1/8 - 1/4 (0.199 mi.)</b>	<b>AB180</b>	<b>112</b>
<b>NATIONAL CAR RENTAL</b> Facility Id: 19054289 Status: I	<b>820 W PICO BLVD</b>	<b>WNW 1/8 - 1/4 (0.217 mi.)</b>	<b>AG198</b>	<b>118</b>
<b>TRANSAMERICA OCCIDEN</b> Facility Id: 19056453 Status: A	<b>150 W PICO BLVD</b>	<b>SE 1/8 - 1/4 (0.243 mi.)</b>	<b>AD219</b>	<b>130</b>

## EXECUTIVE SUMMARY

HIST UST: Historical UST Registered Database.

A review of the HIST UST list, as provided by EDR, and dated 10/15/1990 has revealed that there are 7 HIST UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>LOS ANGELES CONVENTI</b> Facility Id: 00000052638	<b>1201 S FIGUEROA ST</b>	<b>NNW 1/8 - 1/4 (0.166 mi.)</b>	<b>X137</b>	<b>82</b>
SERVICE STATION 2686 Facility Id: 00000007907	1133 S OLIVE ST	E 1/8 - 1/4 (0.167 mi.)	R147	97

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
94982 Facility Id: 00000062697	634 W PICO BLVD	W 0 - 1/8 (0.111 mi.)	I79	41
CALIFORNIA HOSPITAL Facility Id: 00000019072	1414 S HOPE ST	SW 1/8 - 1/4 (0.134 mi.)	O104	60
FIRE STATION #10 Facility Id: 00000047462	1335 S OLIVE ST	SSE 1/8 - 1/4 (0.156 mi.)	U125	76
BEKINS RECORDS MANAG Facility Id: 00000063635	1335 S FIGUEROA ST	W 1/8 - 1/4 (0.172 mi.)	Y156	100
NATIONAL CAR RENTAL Facility Id: 00000061108	820 W PICO BLVD	WNW 1/8 - 1/4 (0.217 mi.)	AG199	119

SWEEPS UST: Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

A review of the SWEEPS UST list, as provided by EDR, and dated 06/01/1994 has revealed that there are 19 SWEEPS UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FARMERS NEW WORLD LI Status: A Comp Number: 9022	1238 S FLOWER ST	NW 0 - 1/8 (0.085 mi.)	H50	27
<b>SOVEREIGN/RING MANAG</b> Status: A Comp Number: 6655	<b>1248 S FLOWER ST</b>	<b>NW 0 - 1/8 (0.085 mi.)</b>	<b>H51</b>	<b>27</b>
FARMERS NEW WORLD/LI Status: A Comp Number: 9036	1238 S FLOWER ST	NW 0 - 1/8 (0.085 mi.)	H54	28
<b>TRANSAMERICA OCCIDEN</b> Status: A Comp Number: 5211	<b>1150 S OLIVE ST</b>	<b>E 1/8 - 1/4 (0.155 mi.)</b>	<b>R119</b>	<b>72</b>
<b>LOS ANGELES CONVENTI</b> Status: A Comp Number: 2905	<b>1201 S FIGUEROA ST</b>	<b>NNW 1/8 - 1/4 (0.166 mi.)</b>	<b>X137</b>	<b>82</b>
<b>TRANSAMERICA OCCIDEN</b> Status: A Comp Number: 6073	<b>1133 S OLIVE ST</b>	<b>E 1/8 - 1/4 (0.167 mi.)</b>	<b>R145</b>	<b>96</b>

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>OCCUPANT</b> Status: A Comp Number: 6072	<b>1149 S HILL ST</b>	<b>ESE 1/8 - 1/4 (0.207 mi.)</b>	<b>AA187</b>	<b>115</b>
<b>TRANSAMERICA REALTY</b> Comp Number: 7466	<b>150 W 12TH ST</b>	<b>ESE 1/8 - 1/4 (0.242 mi.)</b>	<b>AN218</b>	<b>129</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>TRI-WAY CONTRACTORS,</b> Comp Number: 4305	<b>1317 S GRAND AVE</b>	<b>S 0 - 1/8 (0.068 mi.)</b>	<b>C42</b>	<b>24</b>
<b>LUIS MARTIN HERNANDE</b> Comp Number: 3573	<b>634 W PICO BLVD</b>	<b>W 0 - 1/8 (0.111 mi.)</b>	<b>I80</b>	<b>42</b>
<b>CALIFORNIA MEDICAL C</b> Comp Number: 1378	<b>1414 S HOPE ST</b>	<b>SW 1/8 - 1/4 (0.134 mi.)</b>	<b>O105</b>	<b>60</b>
<b>CALIFORNIA MEDICAL C</b> Status: A Comp Number: 5821	<b>1401 S GRAND AVE</b>	<b>S 1/8 - 1/4 (0.143 mi.)</b>	<b>Q108</b>	<b>65</b>
<b>LOS ANGELES FIRE STA</b> Status: A Tank Status: A Comp Number: 2631	<b>1335 S OLIVE ST</b>	<b>SSE 1/8 - 1/4 (0.156 mi.)</b>	<b>U124</b>	<b>75</b>
<b>CITY OF LOS ANGELES</b> Status: A Comp Number: 8050	<b>1301 S FIGUEROA ST</b>	<b>WNW 1/8 - 1/4 (0.164 mi.)</b>	<b>V135</b>	<b>81</b>
<b>BEKINS RECORDS MANAG</b> Comp Number: 3774	<b>1335 S FIGUEROA ST</b>	<b>W 1/8 - 1/4 (0.172 mi.)</b>	<b>Y157</b>	<b>100</b>
<b>SERVICE CORP INTERN</b> Comp Number: 7978	<b>1500 S FIGUEROA ST</b>	<b>WSW 1/8 - 1/4 (0.194 mi.)</b>	<b>AB174</b>	<b>109</b>
<b>RED ROWE</b> Comp Number: 7398	<b>1417 S FIGUEROA ST</b>	<b>WSW 1/8 - 1/4 (0.199 mi.)</b>	<b>AB180</b>	<b>112</b>
<b>NATIONAL CAR RENTAL</b> Comp Number: 3324	<b>820 W PICO BLVD</b>	<b>WNW 1/8 - 1/4 (0.217 mi.)</b>	<b>AG198</b>	<b>118</b>
<b>TRANSAMERICA OCCIDEN</b> Comp Number: 7184	<b>150 W PICO BLVD</b>	<b>SE 1/8 - 1/4 (0.243 mi.)</b>	<b>AD219</b>	<b>130</b>

### **Records of Emergency Release Reports**

CHMIRS: The California Hazardous Material Incident Report System contains information on reported hazardous material incidents, i.e., accidental releases or spills. The source is the California Office of Emergency Services.

A review of the CHMIRS list, as provided by EDR, and dated 06/15/2015 has revealed that there is 1 CHMIRS site within approximately 0.125 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported OES Incident Number: 7-5030	500 CAMERON LN	SW 0 - 1/8 (0.039 mi.)	B27	17

## EXECUTIVE SUMMARY

### ***Other Ascertainable Records***

MLTS: The Material Licensing Tracking System is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and are subject to NRC licensing requirements.

A review of the MLTS list, as provided by EDR, and dated 03/31/2015 has revealed that there is 1 MLTS site within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MULTI TIME MACHINE I	1225 SOUTH GRAND AVE	ESE 0 - 1/8 (0.039 mi.)	E30	19

FINDS: The Facility Index System contains both facility information and "pointers" to other sources of information that contain more detail. These include: RCRIS; Permit Compliance System (PCS); Aerometric Information Retrieval System (AIRS); FATES (FIFRA [Federal Insecticide Fungicide Rodenticide Act] and TSCA Enforcement System, FTTS [FIFRA/TSCA Tracking System]; CERCLIS; DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes); Federal Underground Injection Control (FURS); Federal Reporting Data System (FRDS); Surface Impoundments (SIA); TSCA Chemicals in Commerce Information System (CICS); PADS; RCRA-J (medical waste transporters/disposers); TRIS; and TSCA. The source of this database is the U.S. EPA/NTIS.

A review of the FINDS list, as provided by EDR, and dated 01/18/2015 has revealed that there are 6 FINDS sites within approximately 0.125 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JOY DESIGN</b>	<b>424 W PICO BLVD</b>	<b>SW 0 - 1/8 (0.023 mi.)</b>	<b>B15</b>	<b>13</b>
MODA INC	424 W PICO BLVD	SW 0 - 1/8 (0.023 mi.)	B16	14
CR AND A CUSTOM INC	312 W PICO BLVD	SE 0 - 1/8 (0.100 mi.)	K68	35
<b>GLOBE AUTO</b>	<b>1358 S FLOWER</b>	<b>WSW 0 - 1/8 (0.116 mi.)</b>	<b>L82</b>	<b>44</b>
<b>3 D SILKSCREENING AN</b>	<b>1366 S FLOWER ST</b>	<b>WSW 0 - 1/8 (0.121 mi.)</b>	<b>L91</b>	<b>49</b>
<b>FREELANCE INC</b>	<b>1336 FLOWER</b>	<b>WSW 0 - 1/8 (0.121 mi.)</b>	<b>L92</b>	<b>50</b>

HIST CORTESE: The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSTATES]. This listing is no longer updated by the state agency.

A review of the HIST CORTESE list, as provided by EDR, and dated 04/01/2001 has revealed that there are 5 HIST CORTESE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>CONVENTION CENTER</b> Reg Id: 900150089	<b>1201 FIGUEROA ST S</b>	<b>NNW 1/8 - 1/4 (0.166 mi.)</b>	<b>X139</b>	<b>87</b>
<b>UNOCAL CORPORATION</b> Reg Id: 900150070	<b>730 OLYMPIC BLVD</b>	<b>NNE 1/4 - 1/2 (0.302 mi.)</b>	<b>231</b>	<b>144</b>
<b>801 TOWER BUILDING</b> Reg Id: 900170125	<b>845 FIGUEROA AVE S</b>	<b>NNE 1/4 - 1/2 (0.479 mi.)</b>	<b>241</b>	<b>156</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
UNOCAL/GREAT WESTERN Reg Id: 3211	1817 HOPE	SSW 1/4 - 1/2 (0.433 mi.)	239	155
<b>MOBIL #11-HOQ</b> Reg Id: 900150034	<b>419 WASHINGTON BLVD</b>	<b>SW 1/4 - 1/2 (0.485 mi.)</b>	<b>AP242</b>	<b>158</b>

## EXECUTIVE SUMMARY

**DRYCLEANERS:** A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaners' agents; linen supply; coin-operated laundries and cleaning; drycleaning plants except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

A review of the DRYCLEANERS list, as provided by EDR, and dated 02/18/2015 has revealed that there is 1 DRYCLEANERS site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF L A GENERAL EPA Id: CAD981631716 EPA Id: CAD981988876	1201 S FIGUEROA ST	NNW 1/8 - 1/4 (0.166 mi.)	X140	92

**WIP:** Well Investigation Program case in the San Gabriel and San Fernando Valley area.

A review of the WIP list, as provided by EDR, and dated 07/03/2009 has revealed that there is 1 WIP site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>OCCUPANT</b>	<b>1149 S HILL ST</b>	<b>ESE 1/8 - 1/4 (0.207 mi.)</b>	<b>AA187</b>	<b>115</b>

**HAZNET:** The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000-1,000,000 annually, representing approximately 350,000-500,000 shipments. Data from non-California manifests & continuation sheets are not included at the present time. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, & disposal method. The source is the Department of Toxic Substance Control is the agency. This database begins with calendar year 1993.

A review of the HAZNET list, as provided by EDR, and dated 12/31/2013 has revealed that there are 22 HAZNET sites within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
LITTLE JOHN GEPaid: CAC002518367	1210 S HOPE ST	NNE 0 - 1/8 (0.013 mi.)	A10	11
BASEMENT FASHION GEPaid: CAC001427128	1200 S HOPE ST	NNE 0 - 1/8 (0.033 mi.)	D23	16
CAMPUS CASUAL DIVISI GEPaid: CAC000875224	1201 S GRAND AVE	E 0 - 1/8 (0.052 mi.)	E35	21
ARENA GEPaid: CAC001177472	1225 FLOWER ST	NW 0 - 1/8 (0.093 mi.)	H59	30
G12 PARTNERS GEPaid: CAC002718935	1235 S OLIVE ST	ESE 0 - 1/8 (0.118 mi.)	J86	47
READY REPRODUCTIONS GEPaid: CAL000172809	1212 S OLIVE ST	ESE 0 - 1/8 (0.122 mi.)	J93	52
KNASTER TRUST GEPaid: CAC001138496	1200 SOUTH OLIVE ST	ESE 0 - 1/8 (0.124 mi.)	J97	55
SIDNEY AND LINDA KAS GEPaid: CAC002112032	1200 S OLIVE ST	ESE 0 - 1/8 (0.124 mi.)	J98	56
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
1X AHMANSON COMMERC GEPaid: CAC000829616	530 W PICO BLVD	WSW 0 - 1/8 (0.030 mi.)	B20	15

## EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
VILLA METROPOLITANO GEPaid: CAC001132856	1328 SOUTH HOPE ST	SW 0 - 1/8 (0.053 mi.)	B37	21
VILLA METROPOLITANO GEPaid: CAC001239568	1328 SO HOPE ST	SW 0 - 1/8 (0.053 mi.)	B38	22
EL PUEBLO COMMUNITY GEPaid: CAC002140641	1332 HOPE ST	SSW 0 - 1/8 (0.075 mi.)	F44	25
1X PRESTEIGE PRODUCT GEPaid: CAC000280281	1323 SOUTH FLOWER ST	WSW 0 - 1/8 (0.098 mi.)	I64	32
1X PRESTIGE PRODUCTS GEPaid: CAC000797872	1323 S FLOWER ST	WSW 0 - 1/8 (0.098 mi.)	I65	32
<b>CR AND A CUSTOM INC</b> GEPaid: CAR000205021	<b>312 W PICO BLVD</b>	<b>SE 0 - 1/8 (0.100 mi.)</b>	<b>K67</b>	<b>33</b>
C R & A CUSTOM INC GEPaid: CAL000348479	312 W PICO BLVD	SE 0 - 1/8 (0.100 mi.)	K69	36
FIX UP AUTO GEPaid: CAL000222806	1354 S GRAND AVE	S 0 - 1/8 (0.100 mi.)	G71	37
GLOBE BEARING CO L T GEPaid: CAD981613128	1338 S FLOWER ST	WSW 0 - 1/8 (0.103 mi.)	L73	38
CHRISTINE O'DONOVAN GEPaid: CAC000764224	1349 S FLOWER	WSW 0 - 1/8 (0.107 mi.)	L76	40
GLOBE AUTO BODY INC GEPaid: CAL000324876	1360 S FLOWER ST	WSW 0 - 1/8 (0.117 mi.)	L84	46
<b>3 D SILKSCREENING AN</b> GEPaid: CAR000105155	<b>1366 S FLOWER ST</b>	<b>WSW 0 - 1/8 (0.121 mi.)</b>	<b>L91</b>	<b>49</b>
HOPE PLACE HOUSING C GEPaid: CAC000775104	1401 S HOPE ST	SW 0 - 1/8 (0.124 mi.)	O96	54

EMI: Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies

A review of the EMI list, as provided by EDR, and dated 12/31/2012 has revealed that there is 1 EMI site within approximately 0.125 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GLOBE AUTO BODY Facility Id: 50699	1360 S FLOWER ST	WSW 0 - 1/8 (0.117 mi.)	L83	45

HWP: Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

A review of the HWP list, as provided by EDR, and dated 05/26/2015 has revealed that there is 1 HWP site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ATLAS PRECIOUS METAL EPA Id: CAL000098454 Cleanup Status: OPERATING PERMIT	640 S HILL ST	NE 1/2 - 1 (0.762 mi.)	AQ251	182

## EXECUTIVE SUMMARY

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR US Hist Auto Stat: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR US Hist Auto Stat list, as provided by EDR, has revealed that there are 105 EDR US Hist Auto Stat sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
WOLFE E H	1215 S HOPE ST	N 0 - 1/8 (0.006 mi.)	A5	10
GENERAL AUTO ELECTRI	1211 S HOPE ST	NNE 0 - 1/8 (0.013 mi.)	A9	11
CLEGHORN R W	1210 S HOPE ST	NNE 0 - 1/8 (0.013 mi.)	A11	12
REO MOTOR CAR CO OF	1200 S HOPE ST	NNE 0 - 1/8 (0.033 mi.)	D22	16
PLUECK H J	514 W 12TH ST	NNE 0 - 1/8 (0.039 mi.)	D28	19
UNITED MOTOR SERVICE	1225 S GRAND AVE	ESE 0 - 1/8 (0.039 mi.)	E29	19
KIENTZ H A	1230 S GRAND AVE	ESE 0 - 1/8 (0.041 mi.)	C31	20
BROMME L H	1216 S GRAND AVE	E 0 - 1/8 (0.041 mi.)	E32	20
METRO SERVICE STATIO	1201 S GRAND AVE	E 0 - 1/8 (0.052 mi.)	E36	21
KINNEY W J	1144 S HOPE ST	NNE 0 - 1/8 (0.062 mi.)	D39	23
IDEAL AUTOMOTIVE SER	1238 S FLOWER ST	NW 0 - 1/8 (0.085 mi.)	H52	28
CO OPERATIVE AUTO RE	1246 S FLOWER ST	NW 0 - 1/8 (0.085 mi.)	H55	29
SCHAEFER A E	1225 S FLOWER ST	NNW 0 - 1/8 (0.085 mi.)	H56	29
WILKINSON J E	315 W 12TH ST	E 0 - 1/8 (0.088 mi.)	J58	29
WHITLEY JAS	1148 S GRAND AVE	ENE 0 - 1/8 (0.107 mi.)	M75	40
SAFETY SYSTEM SERVIC	1140 S HOPE ST	NNE 0 - 1/8 (0.109 mi.)	N77	40
BRAKE SHOP THE INC	1227 S OLIVE ST	ESE 0 - 1/8 (0.118 mi.)	J87	48
OLSON R C	1234 S OLIVE ST	ESE 0 - 1/8 (0.120 mi.)	J89	48
DETROIT FENDER CO	1228 S OLIVE ST	ESE 0 - 1/8 (0.120 mi.)	J90	48
SMITH I D	1212 S OLIVE ST	ESE 0 - 1/8 (0.122 mi.)	J94	53
FONTAINE A H	1206 S OLIVE ST	ESE 0 - 1/8 (0.123 mi.)	J95	53
MC KENNA E J	1147 S FLOWER ST	N 1/8 - 1/4 (0.132 mi.)	P103	59
THOMPSON C J	1145 S FLOWER ST	N 1/8 - 1/4 (0.134 mi.)	P106	61
SPEEDO ELECTRIC CO	1155 S OLIVE ST	E 1/8 - 1/4 (0.150 mi.)	R112	68
LOWENSTEIN JOS	1229 S HILL ST	SE 1/8 - 1/4 (0.153 mi.)	S114	68
SCHERER S A	1148 S OLIVE ST	E 1/8 - 1/4 (0.156 mi.)	R120	73
MOSES F N	1101 S GRAND AVE	NE 1/8 - 1/4 (0.160 mi.)	W128	78
LUARD L S	1138 S OLIVE ST	E 1/8 - 1/4 (0.163 mi.)	R133	81
CLEGHORN ROBT	1137 S OLIVE ST	E 1/8 - 1/4 (0.164 mi.)	R134	81
LUARD L S	1133 S OLIVE ST	E 1/8 - 1/4 (0.167 mi.)	R146	97
JOHNSON J W REAR	1132 S OLIVE ST	E 1/8 - 1/4 (0.168 mi.)	R149	98
MORRIS J H	1130 S OLIVE ST	E 1/8 - 1/4 (0.170 mi.)	R153	99
HOFFMAN JOHANNA MRS	1128 S OLIVE ST	E 1/8 - 1/4 (0.172 mi.)	R155	99
KELLEY BROS	1127 S OLIVE ST	ENE 1/8 - 1/4 (0.172 mi.)	R158	101
HOFFMAN E H	1122 S OLIVE ST	ENE 1/8 - 1/4 (0.177 mi.)	R160	103
THOMPSON C H	224 W 12TH ST	ESE 1/8 - 1/4 (0.180 mi.)	AA162	103
CAIN EARL	225 W 12TH ST	ESE 1/8 - 1/4 (0.181 mi.)	AA163	103
FIRESTONE HOME AUTO	1165 S FIGUEROA ST	NNW 1/8 - 1/4 (0.181 mi.)	X165	104

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RISDEN C W	1115 S OLIVE ST	ENE 1/8 - 1/4 (0.182 mi.)	R166	104
WHITLEY J A	1114 S OLIVE ST	ENE 1/8 - 1/4 (0.184 mi.)	R167	104
MORWAY STEPH	217 W 12TH ST	ESE 1/8 - 1/4 (0.186 mi.)	AA168	105
SOMMERS L O	211 W 12TH ST	ESE 1/8 - 1/4 (0.191 mi.)	AA171	107
CAMP G N	1100 S OLIVE ST	ENE 1/8 - 1/4 (0.196 mi.)	AC175	110
KEMP B V	1207 S HILL ST	ESE 1/8 - 1/4 (0.197 mi.)	AA177	110
EKLUND FRANK	1216 S HILL ST	ESE 1/8 - 1/4 (0.198 mi.)	AA178	111
SPECK TIMMERMAN	607 W 11TH ST	N 1/8 - 1/4 (0.204 mi.)	Z181	113
WILLYS DISTRIBUTORS	1058 S HOPE ST	NNE 1/8 - 1/4 (0.212 mi.)	AH193	117
FOWLER L D	1129 S HILL ST	E 1/8 - 1/4 (0.213 mi.)	AA194	117
KELLEY BROS	1127 S HILL ST	E 1/8 - 1/4 (0.215 mi.)	AI196	118
REAGAN KAZAR	1055 S GRAND AVE	NE 1/8 - 1/4 (0.216 mi.)	AJ197	118
HANSEN SERVICE	1053 S GRAND AVE	NE 1/8 - 1/4 (0.218 mi.)	AJ200	119
POST POST	1100 S FIGUEROA ST	N 1/8 - 1/4 (0.225 mi.)	AF204	123
WARD HOWARD F INC	1058 S FLOWER ST	NNE 1/8 - 1/4 (0.226 mi.)	205	123
PRATT W M	1027 S OLIVE ST	ENE 1/8 - 1/4 (0.247 mi.)	224	135
WARD GRIFFEN	1030 S HOPE ST	NE 1/8 - 1/4 (0.247 mi.)	AH225	135
HOWIE A S	1102 S HILL ST	E 1/8 - 1/4 (0.249 mi.)	227	137
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUTHSING BROS	1245 S HOPE ST	WSW 0 - 1/8 (0.005 mi.)	A4	9
PICO HOPE AUTO SERVI	500 W PICO BLVD	WSW 0 - 1/8 (0.008 mi.)	B7	10
HOWELL W R	506 W PICO BLVD	WSW 0 - 1/8 (0.012 mi.)	B8	10
SHEPARD THOMASON CO	508 W PICO BLVD	WSW 0 - 1/8 (0.014 mi.)	B12	12
WESTERN MECHANICAL W	516 W PICO BLVD	WSW 0 - 1/8 (0.020 mi.)	B14	13
SHEPARD THOMASON CO	506 508 W PICO BLVD	WSW 0 - 1/8 (0.030 mi.)	B18	15
BREWER E E	416 W PICO BLVD	SSE 0 - 1/8 (0.032 mi.)	C21	16
CAMP G N	534 W PICO BLVD	WSW 0 - 1/8 (0.034 mi.)	B25	17
DICKSON K G	1324 S HOPE ST	SW 0 - 1/8 (0.051 mi.)	B34	20
ATLAS AUTO WORKS	1338 S HOPE ST	SW 0 - 1/8 (0.063 mi.)	F40	23
MAC LEAN MOTOR CA CO	1333 S HOPE ST	SW 0 - 1/8 (0.067 mi.)	F41	23
GREILER FRANK	1312 S GRAND AVE	S 0 - 1/8 (0.068 mi.)	C43	24
DU BOIS X J	1330 S GRAND AVE	S 0 - 1/8 (0.079 mi.)	G47	26
POPE SHAPIRO	1300 S FLOWER ST	W 0 - 1/8 (0.084 mi.)	I49	26
BOSTON ROBT	1360 S HOPE ST	SW 0 - 1/8 (0.087 mi.)	F57	29
MILLIGAN NEWELL CO	1365 S HOPE ST	SW 0 - 1/8 (0.094 mi.)	F62	31
Not reported	1350 S GRAND AVE	S 0 - 1/8 (0.097 mi.)	G63	31
MALONE PEPPER	1324 S FLOWER ST	WSW 0 - 1/8 (0.098 mi.)	I66	32
Not reported	1354 S GRAND AVE	S 0 - 1/8 (0.100 mi.)	G70	37
BUCK PAUL	1334 S FLOWER ST	WSW 0 - 1/8 (0.103 mi.)	L72	38
Not reported	1360 S FLOWER ST	WSW 0 - 1/8 (0.117 mi.)	L85	46
LONGFELLOW SHOP THE	1362 S FLOWER ST	WSW 0 - 1/8 (0.118 mi.)	L88	48
SHELLENBERGER W R	1313 S OLIVE ST	SSE 1/8 - 1/4 (0.132 mi.)	K102	59
LOGAN R J	1400 S GRAND AVE	S 1/8 - 1/4 (0.144 mi.)	Q110	67
TRAVIS EARL	1427 S HOPE ST	SW 1/8 - 1/4 (0.146 mi.)	O111	67
LIVINGSTON CHAS R	320 W 14TH ST	S 1/8 - 1/4 (0.154 mi.)	Q115	68
TRIPP H M	1406 S GRAND AVE	S 1/8 - 1/4 (0.155 mi.)	Q117	71
YAGER C A	221 W PICO BLVD	SE 1/8 - 1/4 (0.155 mi.)	S118	71
B M AUTO RECONSTRU	1340 S OLIVE ST	SSE 1/8 - 1/4 (0.160 mi.)	U130	80
LORD MOTOR CAR CO	1240 S FIGUEROA ST	NW 1/8 - 1/4 (0.161 mi.)	V131	81
HEIDE HENRY	1237 S FIGUEROA ST	NW 1/8 - 1/4 (0.163 mi.)	V132	81
ATMUR TOM	1434 S FLOWER ST	WSW 1/8 - 1/4 (0.168 mi.)	T148	98
Not reported	1414 S GRAND AVE	SSW 1/8 - 1/4 (0.170 mi.)	Q150	98
KENYON F W	726 W PICO BLVD	WNW 1/8 - 1/4 (0.170 mi.)	V151	98
KELLY J J	811 W 12TH ST	NW 1/8 - 1/4 (0.170 mi.)	X154	99



## EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HOLMES O W	823 W 12TH ST	NW 1/8 - 1/4 (0.179 mi.)	X161	103
Not reported	1360 S FIGUEROA ST	WSW 1/8 - 1/4 (0.194 mi.)	AB172	107
LOUGH JACK	1305 S HILL ST	SE 1/8 - 1/4 (0.196 mi.)	AD176	110
SCHARCH GRIGGS	1261 TRENTON WY	WNW 1/8 - 1/4 (0.207 mi.)	AG186	115
MANTES C R	1518 S GRAND AVE	SSW 1/8 - 1/4 (0.211 mi.)	AE191	117
KEEDY G M	810 W PICO BLVD	WNW 1/8 - 1/4 (0.212 mi.)	AG192	117
KEEDY G M	819 W PICO BLVD	WNW 1/8 - 1/4 (0.223 mi.)	AG201	120
BUSCH R E	1504 S FLOWER ST	SW 1/8 - 1/4 (0.223 mi.)	AK202	120
KINCAID AUTO SERVICE	1515 S HOPE ST	SW 1/8 - 1/4 (0.232 mi.)	AM208	124
OLSON R C	1516 S FLOWER ST	SW 1/8 - 1/4 (0.233 mi.)	AK209	124
RUDD H B	1521 S HOPE ST	SW 1/8 - 1/4 (0.238 mi.)	AM215	128
WALSHE RANK	224 W 15TH ST	S 1/8 - 1/4 (0.239 mi.)	AL216	129
BURKE D C	1531 S OLIVE ST	S 1/8 - 1/4 (0.245 mi.)	AL221	133
POPHAM H H	147 W PICO BLVD	SE 1/8 - 1/4 (0.245 mi.)	AD222	133

EDR US Hist Cleaners: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR US Hist Cleaners list, as provided by EDR, has revealed that there are 29 EDR US Hist Cleaners sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DWYRE WINIFRED	1244 S GRAND AVE	SE 0 - 1/8 (0.042 mi.)	C33	20
LEE TONG	1146 S GRAND AVE	ENE 0 - 1/8 (0.109 mi.)	M78	41
WING QUONG	1124 S FLOWER ST	N 1/8 - 1/4 (0.152 mi.)	P113	68
KIM Y H	426 W 11TH ST	NE 1/8 - 1/4 (0.158 mi.)	N127	78
TIMPE A M	225 W 12TH ST	ESE 1/8 - 1/4 (0.181 mi.)	AA164	104
Not reported	1149 S HILL ST	ESE 1/8 - 1/4 (0.207 mi.)	AA189	116
NEW WELL HAND LAUNDR	1056 S GRAND AVE	NE 1/8 - 1/4 (0.214 mi.)	W195	118
WILSON L C	208 W 11TH ST	E 1/8 - 1/4 (0.233 mi.)	AC211	126
SKLAR ISEDORE	159 W 12TH ST	ESE 1/8 - 1/4 (0.235 mi.)	AN212	126

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EXCELSIOR CLEANERS	501 W PICO BLVD	WSW 0 - 1/8 (0.007 mi.)	A6	10
SUN YUEN	515 W PICO BLVD	WSW 0 - 1/8 (0.018 mi.)	B13	12
POLLACK LOUIS	420 W PICO BLVD	S 0 - 1/8 (0.028 mi.)	C17	15
SNYDER F G	531 W PICO BLVD	WSW 0 - 1/8 (0.030 mi.)	B19	15
STUMMEL C J	535 W PICO BLVD	W 0 - 1/8 (0.034 mi.)	B24	16
APPELBAUM HARRY	410 W PICO BLVD	SSE 0 - 1/8 (0.038 mi.)	C26	17
BORNSTEIN MAX	329 W PICO BLVD	SSE 0 - 1/8 (0.077 mi.)	C45	25
PIERCE F E	330 W PICO BLVD	SSE 0 - 1/8 (0.079 mi.)	C46	26
LEE SING	1256 S FLOWER ST	NW 0 - 1/8 (0.083 mi.)	H48	26
ALEXANDER JAS	611 W PICO BLVD	W 0 - 1/8 (0.094 mi.)	I60	30
ALEXANDER SAML	610 W PICO BLVD	W 0 - 1/8 (0.094 mi.)	I61	31
GRAND AV DYE HOUSE	1358 S GRAND AVE	S 0 - 1/8 (0.104 mi.)	G74	39
MILLER HEYMAN	638 W PICO BLVD	W 0 - 1/8 (0.114 mi.)	I81	44
GRANT W L	1418 S FLOWER ST	WSW 1/8 - 1/4 (0.156 mi.)	T121	73

## EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RYAN A G	713 W PICO BLVD	WNW 1/8 - 1/4 (0.166 mi.)	V143	96
APPLEBAUM HARRY	726 W PICO BLVD	WNW 1/8 - 1/4 (0.170 mi.)	V152	99
SAMUELS J R	1513 S GRAND AVE	SSW 1/8 - 1/4 (0.209 mi.)	AE190	117
HORWITZ JACOB	823 W PICO BLVD	WNW 1/8 - 1/4 (0.226 mi.)	AG206	123
EISENBERG SAML	827 W PICO BLVD	WNW 1/8 - 1/4 (0.230 mi.)	AG207	124
BAUMANN JOS	1409 S HILL ST	SSE 1/8 - 1/4 (0.237 mi.)	214	128

### EDR RECOVERED GOVERNMENT ARCHIVES

#### ***Exclusive Recovered Govt. Archives***

RGA LUST: The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the State Water Resources Control Board in California.

A review of the RGA LUST list, as provided by EDR, has revealed that there are 6 RGA LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #5033	1151 S FLOWER ST	N 1/8 - 1/4 (0.129 mi.)	P100	57
PROPERTY UNDER CONST	1050-1070 FLOWER ST.	NNE 1/8 - 1/4 (0.189 mi.)	Z170	107

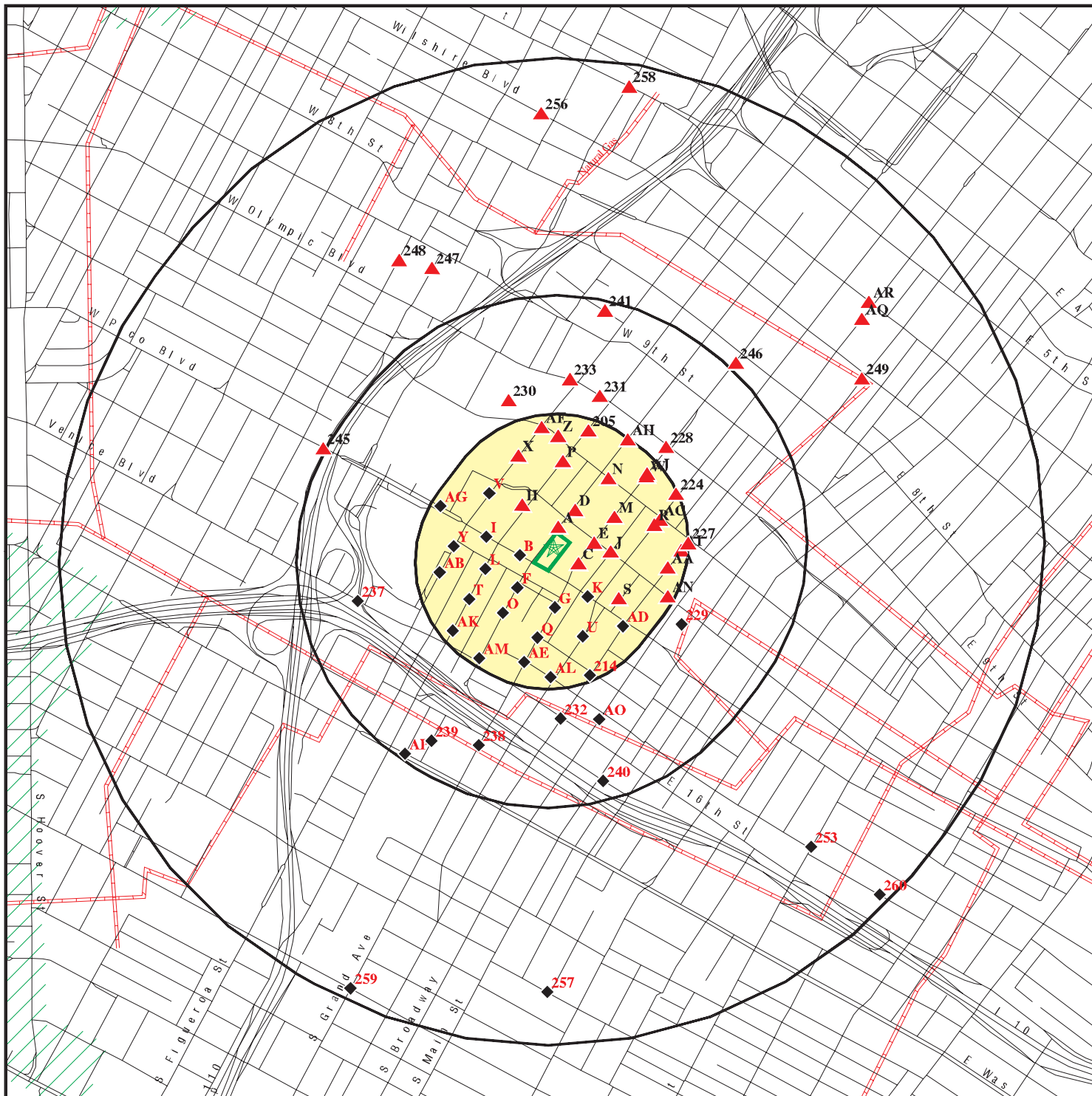
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NEMAN BROTHERS	1525 S BROADWAY	SSE 1/4 - 1/2 (0.331 mi.)	AO234	152
DEPT. OF GEN SERVICE	1525 S BROADWAY	SSE 1/4 - 1/2 (0.331 mi.)	AO235	152
HULL LUMBER CO.	658 VENICE BLVD	WSW 1/4 - 1/2 (0.379 mi.)	237	154
LOS ANGELES TRADE TE	400 W. WASHINGTON BL	SSW 1/4 - 1/2 (0.491 mi.)	AP243	161

## EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 4 records.

<u>Site Name</u>	<u>Database(s)</u>
BUSINESS SERVICE CENTER GARAGE	LUST
WEST LAWN-LA CENTRAL LIBRARY	LUST
VACAN LOT/CTMC LLC	LUST
JEWELRY DESIGN CENTER	ENVIROSTOR

# OVERVIEW MAP - 4374160.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Pipelines

100-year flood zone

500-year flood zone

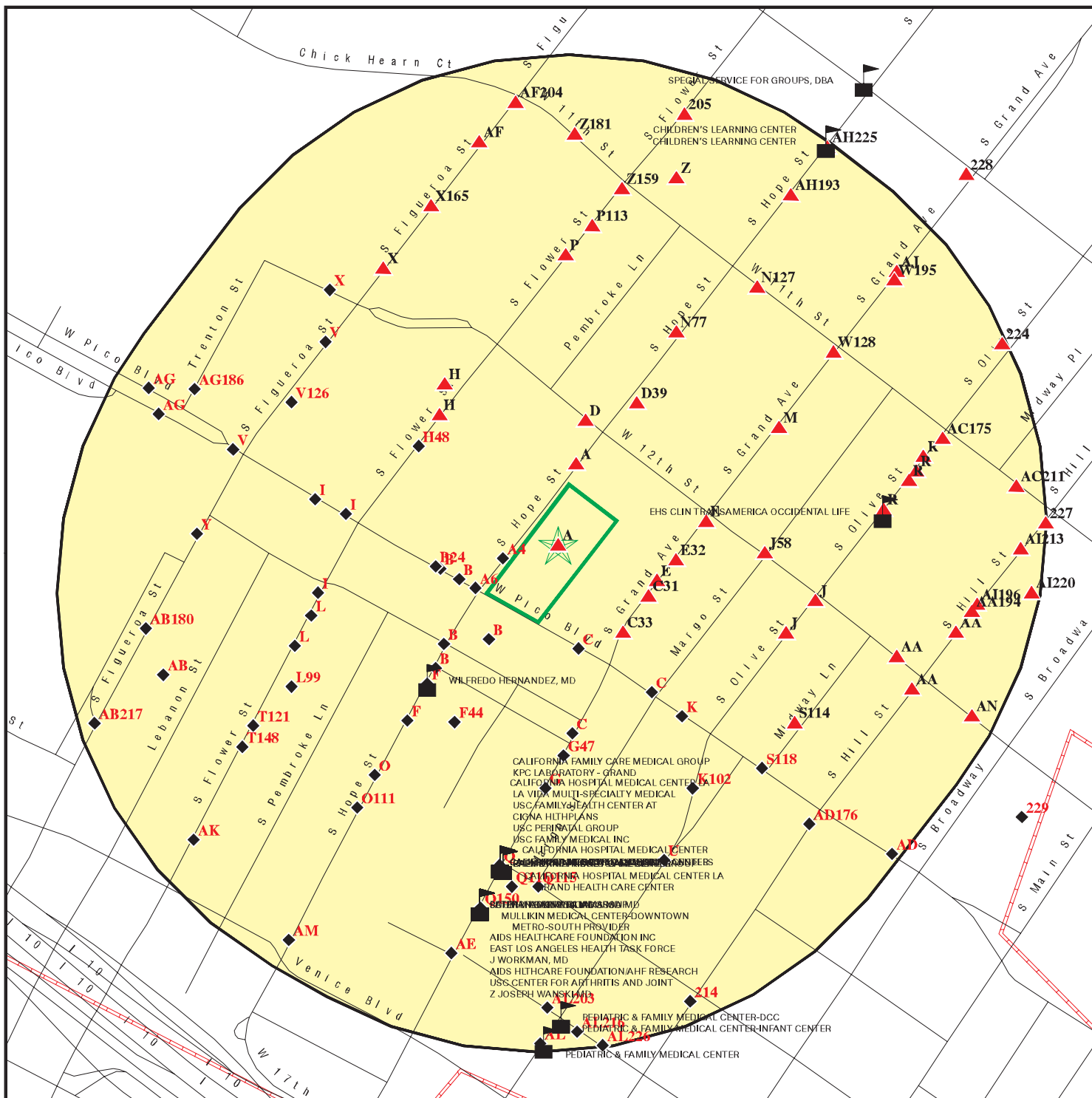
Areas of Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 ADDRESS: 1220 South Hope Street  
 Los Angeles CA 90015  
 LAT/LONG: 34.0399 / 118.2648

CLIENT: Alpha Environmental  
 CONTACT: Jesus Juvenal  
 INQUIRY #: 4374160.2s  
 DATE: August 05, 2015 2:22 pm

# DETAIL MAP - 4374160.2S



- Target Property
- Sites at elevations higher than or equal to the target property
- Sites at elevations lower than the target property
- Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
- Pipelines
- 100-year flood zone
- 500-year flood zone
- Areas of Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 ADDRESS: 1220 South Hope Street  
 Los Angeles CA 90015  
 LAT/LONG: 34.0399 / 118.2648

CLIENT: Alpha Environmental  
 CONTACT: Jesus Juvenal  
 INQUIRY #: 4374160.2s  
 DATE: August 05, 2015 2:24 pm

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>STANDARD ENVIRONMENTAL RECORDS</b>								
<b><i>Federal NPL site list</i></b>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	0.125		0	NR	NR	NR	NR	0
<b><i>Federal Delisted NPL site list</i></b>								
Delisted NPL	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS list</i></b>								
CERCLIS	0.500		0	1	0	NR	NR	1
FEDERAL FACILITY	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS NFRAP site List</i></b>								
CERC-NFRAP	0.500		0	0	1	NR	NR	1
<b><i>Federal RCRA CORRACTS facilities list</i></b>								
CORRACTS	1.000		0	0	0	0	NR	0
<b><i>Federal RCRA non-CORRACTS TSD facilities list</i></b>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA generators list</i></b>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250	1	5	15	NR	NR	NR	21
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<b><i>Federal institutional controls / engineering controls registries</i></b>								
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
LUCIS	0.500		0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS	0.125		0	NR	NR	NR	NR	0
<b><i>State- and tribal - equivalent NPL RESPONSE</i></b>								
RESPONSE	1.000		0	0	0	0	NR	0
<b><i>State- and tribal - equivalent CERCLIS ENVIROSTOR</i></b>								
ENVIROSTOR	1.000		0	1	1	15	NR	17
<b><i>State and tribal landfill and/or solid waste disposal site lists</i></b>								
SWF/LF	0.500		0	0	0	NR	NR	0
<b><i>State and tribal leaking storage tank lists</i></b>								
LUST	0.500		0	4	8	NR	NR	12

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SLIC	0.500		0	3	1	NR	NR	4
INDIAN LUST	0.500		0	0	0	NR	NR	0
<b>State and tribal registered storage tank lists</b>								
UST	0.250		1	8	NR	NR	NR	9
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
<b>State and tribal voluntary cleanup sites</b>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VCP	0.500		0	1	1	NR	NR	2
<b>ADDITIONAL ENVIRONMENTAL RECORDS</b>								
<b>Local Brownfield lists</b>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>Local Lists of Landfill / Solid Waste Disposal Sites</b>								
ODI	0.125		0	NR	NR	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	1	NR	NR	1
HAULERS	TP		NR	NR	NR	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
WMUDS/SWAT	0.500		0	0	0	NR	NR	0
<b>Local Lists of Hazardous waste / Contaminated Sites</b>								
US CDL	TP		NR	NR	NR	NR	NR	0
HIST Cal-Sites	1.000		0	0	0	0	NR	0
SCH	0.250		0	0	NR	NR	NR	0
Toxic Pits	1.000		0	0	0	0	NR	0
AOCONCERN	1.000		0	0	0	0	NR	0
CDL	TP		NR	NR	NR	NR	NR	0
US HIST CDL	TP		NR	NR	NR	NR	NR	0
<b>Local Lists of Registered Storage Tanks</b>								
CA FID UST	0.250		3	14	NR	NR	NR	17
HIST UST	0.250		1	6	NR	NR	NR	7
SWEEPS UST	0.250		5	14	NR	NR	NR	19
<b>Local Land Records</b>								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LIENS	TP		NR	NR	NR	NR	NR	0
DEED	0.500		0	0	0	NR	NR	0
<b>Records of Emergency Release Reports</b>								
HMIRS	0.125		0	NR	NR	NR	NR	0
CHMIRS	0.125		1	NR	NR	NR	NR	1

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
LDS	TP		NR	NR	NR	NR	NR	0
MCS	TP		NR	NR	NR	NR	NR	0
SPILLS 90	0.125		0	NR	NR	NR	NR	0
<b>Other Ascertainable Records</b>								
RCRA NonGen / NLR	0.250		0	0	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		0	0	0	0	NR	0
ROD	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
TRIS	0.125		0	NR	NR	NR	NR	0
TSCA	0.125		0	NR	NR	NR	NR	0
FTTS	0.125		0	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	0.125		0	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	0.125		0	NR	NR	NR	NR	0
MLTS	0.125		1	NR	NR	NR	NR	1
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	0.125	1	6	NR	NR	NR	NR	7
RAATS	0.125		0	NR	NR	NR	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
CA BOND EXP. PLAN	1.000		0	0	0	0	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
Cortese	0.500		0	0	0	NR	NR	0
HIST CORTESE	0.500		0	1	4	NR	NR	5
CUPA Listings	0.250		0	0	NR	NR	NR	0
Notify 65	1.000		0	0	0	0	NR	0
LA Co. Site Mitigation	0.125		0	NR	NR	NR	NR	0
DRYCLEANERS	0.250		0	1	NR	NR	NR	1
WIP	0.250		0	1	NR	NR	NR	1
LOS ANGELES CO. HMS	0.125		0	NR	NR	NR	NR	0
ENF	TP		NR	NR	NR	NR	NR	0
HAZNET	0.125		22	NR	NR	NR	NR	22
EMI	0.125		1	NR	NR	NR	NR	1
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
WDS	0.125		0	NR	NR	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
PROC	0.500		0	0	0	NR	NR	0
HWT	0.250		0	0	NR	NR	NR	0
HWP	1.000		0	0	0	1	NR	1
MWMP	0.250		0	0	NR	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0



## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP	1.000		0	0	0	0	NR	0
EDR US Hist Auto Stat	0.250	2	43	62	NR	NR	NR	107
EDR US Hist Cleaners	0.250		15	14	NR	NR	NR	29

### EDR RECOVERED GOVERNMENT ARCHIVES

#### ***Exclusive Recovered Govt. Archives***

RGA LUST	0.500		0	2	4	NR	NR	6
RGA LF	0.500		0	0	0	NR	NR	0
- Totals --		4	104	148	21	16	0	293

#### NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A1**  
**Target**  
**Property**

**BOSTON ROBT**  
**427 W PICO BLVD**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**

**1009080535**  
**N/A**

**Site 1 of 9 in cluster A**

**Actual:**  
**240 ft.**

**EDR Historical Auto Stations:**

Name: MC DONALD W E  
Year: 1933  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: BOSTON ROBT  
Year: 1937  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: BENTON BROS SERVICE  
Year: 1942  
Type: GASOLINE AND OIL SERVICE STATIONS

**A2**  
**Target**  
**Property**

**WARREN F L**  
**1220 S HOPE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**

**1009079275**  
**N/A**

**Site 2 of 9 in cluster A**

**Actual:**  
**240 ft.**

**EDR Historical Auto Stations:**

Name: WARREN F L  
Year: 1924  
Type: AUTOMOBILE REPAIRING

Name: WARREN F L  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

**A3**  
**Target**  
**Property**

**BOOKBINDERS CO**  
**1240 S HOPE ST**  
**LOS ANGELES, CA 90015**

**RCRA-SQG**  
**FINDS**

**1000886258**  
**CA0000134619**

**Site 3 of 9 in cluster A**

**Actual:**  
**240 ft.**

**RCRA-SQG:**

Date form received by agency: 02/11/1994  
Facility name: BOOKBINDERS CO  
Facility address: 1240 S HOPE ST  
LOS ANGELES, CA 90015  
EPA ID: CA0000134619  
Mailing address: S HOPE ST  
LOS ANGELES, CA 90015  
Contact: STEVE SMITH  
Contact address: 1240 S HOPE ST  
LOS ANGELES, CA 90015  
Contact country: US  
Contact telephone: (213) 748-6261  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BOOKBINDERS CO (Continued)**

**1000886258**

hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: BOOKBINDERS CO  
Owner/operator address: 1240 S HOPE ST  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 748-6261  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002613805

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

A4  
WSW  
< 1/8  
0.005 mi.  
26 ft.

**HUTHSING BROS**  
**1245 S HOPE ST**  
**LOS ANGELES, CA**  
**Site 4 of 9 in cluster A**

EDR US Hist Auto Stat 1009077224  
N/A

Relative:  
Lower  
Actual:  
239 ft.

EDR Historical Auto Stations:  
Name: BUSCH EICKS  
Year: 1924  
Type: AUTOMOBILE REPAIRING

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HUTHSING BROS (Continued)**

1009077224

Name: HUTHSING BROS  
Year: 1924  
Type: AUTOMOBILE REPAIRING

A5  
North  
< 1/8  
0.006 mi.  
30 ft.

**WOLFE E H**  
**1215 S HOPE ST**  
**LOS ANGELES, CA**  
**Site 5 of 9 in cluster A**

EDR US Hist Auto Stat

1009078885  
N/A

Relative:  
Higher

EDR Historical Auto Stations:

Name: WOLFE E H  
Year: 1924  
Type: AUTOMOBILE REPAIRING

Actual:  
241 ft.

A6  
WSW  
< 1/8  
0.007 mi.  
39 ft.

**EXCELSIOR CLEANERS DYERS**  
**501 W PICO BLVD**  
**LOS ANGELES, CA**  
**Site 6 of 9 in cluster A**

EDR US Hist Cleaners

1009188684  
N/A

Relative:  
Lower

EDR Historical Cleaners:

Name: GURTZ WM  
Year: 1933  
Type: CLOTHES PRESSERS AND CLEANERS

Actual:  
238 ft.

Name: EXCELSIOR CLEANERS DYERS  
Year: 1937  
Type: CLOTHES PRESSERS AND CLEANERS

B7  
WSW  
< 1/8  
0.008 mi.  
40 ft.

**PICO HOPE AUTO SERVICE CO**  
**500 W PICO BLVD**  
**LOS ANGELES, CA**  
**Site 1 of 16 in cluster B**

EDR US Hist Auto Stat

1009078036  
N/A

Relative:  
Lower

EDR Historical Auto Stations:

Name: PICO HOPE AUTO SERVICE CO  
Year: 1933  
Type: AUTOMOBILE REPAIRING

Actual:  
238 ft.

B8  
WSW  
< 1/8  
0.012 mi.  
64 ft.

**HOWELL W R**  
**506 W PICO BLVD**  
**LOS ANGELES, CA**  
**Site 2 of 16 in cluster B**

EDR US Hist Auto Stat

1009080230  
N/A

Relative:  
Lower

EDR Historical Auto Stations:

Name: BURMAN MORRIS  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

Actual:  
238 ft.

Name: HOWELL W R

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HOWELL W R (Continued)**

**1009080230**

Year: 1933  
Type: AUTOMOBILE REPAIRING

**A9  
NNE  
< 1/8  
0.013 mi.  
69 ft.**

**GENERAL AUTO ELECTRIC  
1211 S HOPE ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat**

**1009076563  
N/A**

**Site 7 of 9 in cluster A**

**Relative:  
Higher**

EDR Historical Auto Stations:

Name: GENERAL AUTO ELECTRIC  
Year: 1929

**Actual:  
241 ft.**

Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

**A10  
NNE  
< 1/8  
0.013 mi.  
70 ft.**

**LITTLE JOHN  
1210 S HOPE ST  
LOS ANGELES, CA 90015**

**HAZNET**

**S112920560  
N/A**

**Site 8 of 9 in cluster A**

**Relative:  
Higher**

HAZNET:

envid: S112920560  
Year: 2002  
GEPaid: CAC002518367  
Contact: STEVE HAGBERG  
Telephone: 2137493616  
Mailing Name: Not reported  
Mailing Address: 100 E CEDAR AVE BLDG 9  
Mailing City,St,Zip: BURBANK, CA 915020000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Aqueous solution with total organic residues 10 percent or more  
Disposal Method: Recycler  
Tons: 0.22  
Facility County: Los Angeles

**Actual:  
241 ft.**

envid: S112920560  
Year: 2002  
GEPaid: CAC002518367  
Contact: STEVE HAGBERG  
Telephone: 2137493616  
Mailing Name: Not reported  
Mailing Address: 100 E CEDAR AVE BLDG 9  
Mailing City,St,Zip: BURBANK, CA 915020000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Other organic solids  
Disposal Method: Transfer Station  
Tons: 0.05  
Facility County: Los Angeles

envid: S112920560  
Year: 2002  
GEPaid: CAC002518367

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LITTLE JOHN (Continued)**

**S112920560**

Contact: STEVE HAGBERG  
Telephone: 2137493616  
Mailing Name: Not reported  
Mailing Address: 100 E CEDAR AVE BLDG 9  
Mailing City,St,Zip: BURBANK, CA 915020000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Recycler  
Tons: 0.02  
Facility County: Los Angeles

---

**A11** **CLEGHORN R W** **EDR US Hist Auto Stat** **1009079858**  
**NNE** **1210 S HOPE ST** **N/A**  
**< 1/8** **LOS ANGELES, CA**  
**0.013 mi.**  
**70 ft.** **Site 9 of 9 in cluster A**

**Relative:** EDR Historical Auto Stations:  
**Higher** Name: CLEGHORN R W  
Year: 1933  
**Actual:** Type: AUTOMOBILE REPAIRING  
**241 ft.**

---

**B12** **SHEPARD THOMASON CO** **EDR US Hist Auto Stat** **1009078835**  
**WSW** **508 W PICO BLVD** **N/A**  
**< 1/8** **LOS ANGELES, CA**  
**0.014 mi.**  
**72 ft.** **Site 3 of 16 in cluster B**

**Relative:** EDR Historical Auto Stations:  
**Lower** Name: SHEPARD THOMASON CO  
Year: 1929  
**Actual:** Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS  
**238 ft.**

---

**B13** **SUN YUEN** **EDR US Hist Cleaners** **1009189201**  
**WSW** **515 W PICO BLVD** **N/A**  
**< 1/8** **LOS ANGELES, CA**  
**0.018 mi.**  
**95 ft.** **Site 4 of 16 in cluster B**

**Relative:** EDR Historical Cleaners:  
**Lower** Name: SAN YUEN  
Year: 1933  
**Actual:** Type: LAUNDRIES CHINESE  
**238 ft.**  
Name: SUN YUEN  
Year: 1937  
Type: LAUNDRIES CHINESE  
Name: SUN YUEN  
Year: 1942  
Type: LAUNDRIES ORIENTAL

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**B14**  
**WSW**  
**< 1/8**  
**0.020 mi.**  
**105 ft.**

**WESTERN MECHANICAL WORKS INC**  
**516 W PICO BLVD**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**    **1009080930**  
**N/A**

**Site 5 of 16 in cluster B**

**Relative:**  
**Lower**

EDR Historical Auto Stations:

Name: WESTERN MECHANICAL WORKS INC  
Year: 1924  
Type: AUTOMOBILE REPAIRING

**Actual:**  
**238 ft.**

Name: HILLS O B  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**B15**  
**SW**  
**< 1/8**  
**0.023 mi.**  
**120 ft.**

**JOY DESIGN**  
**424 W PICO BLVD**  
**LOS ANGELES, CA 90015**

**RCRA-SQG**    **1004678383**  
**FINDS**    **CAR000108357**

**Site 6 of 16 in cluster B**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 10/31/2001  
Facility name: JOY DESIGN  
Facility address: 424 W PICO BLVD  
LOS ANGELES, CA 90015  
EPA ID: CAR000108357  
Contact: CHOE KYU  
Contact address: 424 W PICO BLVD  
LOS ANGELES, CA 90015  
Contact country: US  
Contact telephone: (213) 749-7737  
Contact email: Not reported  
EPA Region: 09

**Actual:**  
**237 ft.**

Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: KYU CHOE  
Owner/operator address: 424 W PICO BLVD  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 759-7737  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOY DESIGN (Continued)**

**1004678383**

On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D001  
. Waste name: IGNITABLE WASTE

. Waste code: D018  
. Waste name: BENZENE

. Waste code: D039  
. Waste name: TETRACHLOROETHYLENE

. Waste code: D040  
. Waste name: TRICHLOROETHYLENE

Violation Status: No violations found

**FINDS:**

Registry ID: 110012191680

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**B16**  
**SW**  
**< 1/8**  
**0.023 mi.**  
**120 ft.**

**MODA INC**  
**424 W PICO BLVD**  
**LOS ANGELES, CA 90015**

**Site 7 of 16 in cluster B**

**FINDS 1008152995**  
**N/A**

**Relative:**  
**Lower**

**FINDS:**

Registry ID: 110018972922

**Environmental Interest/Information System**

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

**Actual:**  
**237 ft.**



MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>C17</b> South < 1/8 0.028 mi. 147 ft.	<b>POLLACK LOUIS</b> 420 W PICO BLVD LOS ANGELES, CA  Site 1 of 9 in cluster C  EDR Historical Cleaners: Name: POLLACK LOUIS Year: 1937 Type: CLOTHES PRESSERS AND CLEANERS	<b>EDR US Hist Cleaners</b>	<b>1009193082</b> N/A
Relative: Lower			
Actual: 238 ft.			

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<b>B18</b> WSW < 1/8 0.030 mi. 159 ft.	<b>SHEPARD THOMASON CO</b> 506 508 W PICO BLVD LOS ANGELES, CA  Site 8 of 16 in cluster B  EDR Historical Auto Stations: Name: SHEPARD THOMASON CO Year: 1924 Type: AUTOMOBILE REPAIRING	<b>EDR US Hist Auto Stat</b>	<b>1009122782</b> N/A
Relative: Lower			
Actual: 237 ft.			

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<b>B19</b> WSW < 1/8 0.030 mi. 161 ft.	<b>SNYDER F G</b> 531 W PICO BLVD LOS ANGELES, CA  Site 9 of 16 in cluster B  EDR Historical Cleaners: Name: SNYDER F G Year: 1924 Type: CLOTHES CLEANERS PRESSERS AND DYERS	<b>EDR US Hist Cleaners</b>	<b>1009187479</b> N/A
Relative: Lower			
Actual: 238 ft.			

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<b>B20</b> WSW < 1/8 0.030 mi. 161 ft.	<b>1X AHMANSON COMMERCIAL DEV CO</b> 530 W PICO BLVD LOS ANGELES, CA 90015  Site 10 of 16 in cluster B  HAZNET: envid: S112846543 Year: 1993 GEPAID: CAC000829616 Contact: AHMANSON COMMERCIAL DEV CO Telephone: 0000000000 Mailing Name: Not reported Mailing Address: Not reported Mailing City,St,Zip: LOS ANGELES 900170000 Gen County: Not reported TSD EPA ID: AZD982441263 TSD County: Not reported Waste Category: Other organic solids Disposal Method: Treatment, Incineration Tons: 2.14999999999 Facility County: Los Angeles	<b>HAZNET</b>	<b>S112846543</b> N/A
Relative: Lower			
Actual: 238 ft.			

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

<b>C21</b> <b>SSE</b> < 1/8 0.032 mi. 169 ft.	<b>BREWER E E</b> 416 W PICO BLVD LOS ANGELES, CA  Site 2 of 9 in cluster C	<b>EDR US Hist Auto Stat</b>	<b>1009080114</b> N/A
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<b>Relative:</b> Lower	EDR Historical Auto Stations: Name: BREWER E E Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS
<b>Actual:</b> 239 ft.	

<b>D22</b> <b>NNE</b> < 1/8 0.033 mi. 174 ft.	<b>REO MOTOR CAR CO OF CALIFORNIA INC (REOS EXCLUSIVE</b> 1200 S HOPE ST LOS ANGELES, CA  Site 1 of 4 in cluster D	<b>EDR US Hist Auto Stat</b>	<b>1009078116</b> N/A
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<b>Relative:</b> Higher	EDR Historical Auto Stations: Name: REO MOTOR CAR CO OF CALIFORNIA INC (REOS EXCLUSIVE Year: 1924 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> 242 ft.	

<b>D23</b> <b>NNE</b> < 1/8 0.033 mi. 174 ft.	<b>BASEMENT FASHION</b> 1200 S HOPE ST LOS ANGELES, CA 90015  Site 2 of 4 in cluster D	<b>HAZNET</b>	<b>S112890603</b> N/A
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<b>Relative:</b> Higher	HAZNET: envid: S112890603 Year: 1999 GEPAID: CAC001427128 Contact: AZIZ KHALILI Telephone: 2137484890 Mailing Name: Not reported Mailing Address: 1200 S HOPE ST Mailing City,St,Zip: LOS ANGELES, CA 900150000 Gen County: Not reported TSD EPA ID: CAD028409019 TSD County: Not reported Waste Category: Tank bottom waste Disposal Method: Treatment, Tank Tons: .4170 Facility County: Los Angeles
<b>Actual:</b> 242 ft.	

<b>B24</b> <b>West</b> < 1/8 0.034 mi. 177 ft.	<b>STUMMEL C J</b> 535 W PICO BLVD LOS ANGELES, CA  Site 11 of 16 in cluster B	<b>EDR US Hist Cleaners</b>	<b>1009190627</b> N/A
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<b>Relative:</b> Lower	EDR Historical Cleaners: Name: STUMMEL C J Year: 1929 Type: CLOTHES PRESSERS CLEANERS AND REPAIRERS
<b>Actual:</b> 238 ft.	

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**B25**  
**WSW**  
**< 1/8**  
**0.034 mi.**  
**178 ft.**

**CAMP G N**  
**534 W PICO BLVD**  
**LOS ANGELES, CA**  
  
**Site 12 of 16 in cluster B**

**EDR US Hist Auto Stat**    **1009080262**  
**N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**238 ft.**

EDR Historical Auto Stations:

Name:	LOWRY E L
Year:	1929
Type:	GASOLINE AND OIL SERVICE STATION
Name:	LOWRY E L
Year:	1933
Type:	GASOLINE AND OIL SERVICE STATIONS
Name:	LOWRY E L
Year:	1937
Type:	GASOLINE AND OIL SERVICE STATIONS
Name:	CAMP G N
Year:	1942
Type:	GASOLINE AND OIL SERVICE STATIONS

**C26**  
**SSE**  
**< 1/8**  
**0.038 mi.**  
**200 ft.**

**APPELBAUM HARRY**  
**410 W PICO BLVD**  
**LOS ANGELES, CA**  
  
**Site 3 of 9 in cluster C**

**EDR US Hist Cleaners**    **1009192712**  
**N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**239 ft.**

EDR Historical Cleaners:

Name:	APPELBAUM HARRY
Year:	1937
Type:	LAUNDRIES HAND

**B27**  
**SW**  
**< 1/8**  
**0.039 mi.**  
**204 ft.**

**500 CAMERON LN**  
**LOS ANGELES, CA**  
  
**Site 13 of 16 in cluster B**

**CHMIRS**    **S109039605**  
**N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**236 ft.**

CHMIRS:

OES Incident Number:	7-5030
OES notification:	08/22/2007
OES Date:	Not reported
OES Time:	Not reported
Incident Date:	Not reported
<b>Date Completed:</b>	<b>Not reported</b>
Property Use:	Not reported
Agency Id Number:	Not reported
Agency Incident Number:	Not reported
Time Notified:	Not reported
Time Completed:	Not reported
Surrounding Area:	Not reported
Estimated Temperature:	Not reported
Property Management:	Not reported
More Than Two Substances Involved?:	Not reported
Resp Agncy Personel # Of Decontaminated:	Not reported
Responding Agency Personel # Of Injuries:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

(Continued)

S109039605

Responding Agency Personel # Of Fatalities: Not reported  
Others Number Of Decontaminated: Not reported  
Others Number Of Injuries: Not reported  
Others Number Of Fatalities: Not reported  
Vehicle Make/year: Not reported  
Vehicle License Number: Not reported  
Vehicle State: Not reported  
Vehicle Id Number: Not reported  
CA DOT PUC/ICC Number: Not reported  
Company Name: Not reported  
Reporting Officer Name/ID: Not reported  
Report Date: Not reported  
Facility Telephone: Not reported  
Waterway Involved: Not reported  
Waterway: Not reported  
Spill Site: Not reported  
Cleanup By: Reporting Party  
Containment: Not reported  
What Happened: Not reported  
Type: Not reported  
Measure: Not reported  
Other: Not reported  
Date/Time: Not reported  
Year: 2007  
Agency: Los Angeles County Fire  
Incident Date: 8/20/2007 12:00:00 AM  
Admin Agency: Los Angeles City Fire Department  
Amount: Not reported  
Contained: Yes  
Site Type: Road  
E Date: Not reported  
Substance: Petroleum Naphta  
Gallons: 2  
Unknown: 0  
Substance #2: Not reported  
Substance #3: Not reported  
Evacuations: 0  
Number of Injuries: 0  
Number of Fatalities: 0  
#1 Pipeline: Not reported  
#2 Pipeline: Not reported  
#3 Pipeline: Not reported  
#1 Vessel >= 300 Tons: Not reported  
#2 Vessel >= 300 Tons: Not reported  
#3 Vessel >= 300 Tons: Not reported  
Evacs: Not reported  
Injuries: Not reported  
Fatafs: Not reported  
Comments: Not reported  
Description: **\*\*Historical\*\*** An unknown party abandoned a 55 gallon drum containing Petroleum Naphta. The drum was located on its side and had released approximately 2 gallons. The drum was uprighted and the release was cleaned up. The drum was legally disposedd of by the City of Los Angeles.

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

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<b>D28</b> <b>NNE</b> < 1/8 0.039 mi. 206 ft.	<b>PLUECK H J</b> <b>514 W 12TH ST</b> <b>LOS ANGELES, CA</b>  <b>Site 3 of 4 in cluster D</b>	<b>EDR US Hist Auto Stat</b>	<b>1009084585</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>  <b>Actual:</b> 242 ft.	EDR Historical Auto Stations: Name: PLUECK H J Year: 1942 Type: AUTOMOBILE REPAIRING
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<b>E29</b> <b>ESE</b> < 1/8 0.039 mi. 208 ft.	<b>UNITED MOTOR SERVICE INC</b> <b>1225 S GRAND AVE</b> <b>LOS ANGELES, CA</b>  <b>Site 1 of 5 in cluster E</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079265</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>  <b>Actual:</b> 241 ft.	EDR Historical Auto Stations: Name: UNITED MOTOR SERVICE INC Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS
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<b>E30</b> <b>ESE</b> < 1/8 0.039 mi. 208 ft.	<b>MULTI TIME MACHINE INC.</b> <b>1225 SOUTH GRAND AVE</b> <b>LOS ANGELES, CA 90015</b>  <b>Site 2 of 5 in cluster E</b>	<b>MLTS</b>	<b>1010149508</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>  <b>Actual:</b> 241 ft.	MLTS: License Number: 04-23946-01E First License Date: 05/30/07 License Date: 05/30/07 Lic. Expiration Date: 05/31/17 Contact Name: MIKE GEE Contact Phone: 213-741-0808 Institution Code: 23946 Department/Bldg: AMERICAN WATCH COMINITURE LAMP DIVISION States Allowing Use: Not reported Store Material Use: No Redistribution Use: No Incinerate Use: No Burial Use: No Last Inspection Date: 12/06/12 Next Inspection Date: 12/06/17 Licensee Contact: RSO Inspector Name: MIKE GEE
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MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>C31</b> <b>ESE</b> <b>&lt; 1/8</b> <b>0.041 mi.</b> <b>217 ft.</b>	<b>KIENTZ H A</b> <b>1230 S GRAND AVE</b> <b>LOS ANGELES, CA</b>  <b>Site 4 of 9 in cluster C</b>	<b>EDR US Hist Auto Stat</b>	<b>1009080892</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: KIENTZ H A Year: 1937 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> <b>241 ft.</b>	Name: GRABLE J H Year: 1942 Type: AUTOMOBILE REPAIRING

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<b>E32</b> <b>East</b> <b>&lt; 1/8</b> <b>0.041 mi.</b> <b>217 ft.</b>	<b>BROMME L H</b> <b>1216 S GRAND AVE</b> <b>LOS ANGELES, CA</b>  <b>Site 3 of 5 in cluster E</b>	<b>EDR US Hist Auto Stat</b>	<b>1009080116</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: BROMME L H Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS
<b>Actual:</b> <b>242 ft.</b>	

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<b>C33</b> <b>SE</b> <b>&lt; 1/8</b> <b>0.042 mi.</b> <b>224 ft.</b>	<b>DWYRE WINIFRED</b> <b>1244 S GRAND AVE</b> <b>LOS ANGELES, CA</b>  <b>Site 5 of 9 in cluster C</b>	<b>EDR US Hist Cleaners</b>	<b>1009187737</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Cleaners: Name: DWYRE WINIFRED Year: 1924 Type: CLOTHES CLEANERS PRESSERS AND DYERS
<b>Actual:</b> <b>240 ft.</b>	

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<b>B34</b> <b>SW</b> <b>&lt; 1/8</b> <b>0.051 mi.</b> <b>267 ft.</b>	<b>DICKSON K G</b> <b>1324 S HOPE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 14 of 16 in cluster B</b>	<b>EDR US Hist Auto Stat</b>	<b>1009077873</b> <b>N/A</b>
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<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name: PAC AUTOMOTIVE SERVICE INC Year: 1924 Type: AUTOMOBILE SERVICE STATIONS
<b>Actual:</b> <b>236 ft.</b>	Name: DICKSON K G Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**E35**      **CAMPUS CASUAL DIVISION**  
**East**      **1201 S GRAND AVE**  
**< 1/8**      **LOS ANGELES, CA 90007**  
**0.052 mi.**  
**275 ft.**      **Site 4 of 5 in cluster E**

**HAZNET**      **S112849118**  
**N/A**

**Relative:**      HAZNET:  
**Higher**      envid:              S112849118  
                          Year:                  1993  
**Actual:**      GEPAID:            CAC000875224  
**243 ft.**      Contact:            CHROMALLOY AMERICAN CORP  
                          Telephone:          0000000000  
                          Mailing Name:      Not reported  
                          Mailing Address:   ROBERT IULIUCCI/SEQUA  
                          Mailing City,St,Zip: HACKENSACK, NJ 076010000  
                          Gen County:        Not reported  
                          TSD EPA ID:        CAD067786749  
                          TSD County:        Not reported  
                          Waste Category:    Asbestos containing waste  
                          Disposal Method:   Disposal, Land Fill  
                          Tons:                0.84279999999  
                          Facility County:    Los Angeles

**E36**      **METRO SERVICE STATION**  
**East**      **1201 S GRAND AVE**  
**< 1/8**      **LOS ANGELES, CA**  
**0.052 mi.**  
**275 ft.**      **Site 5 of 5 in cluster E**

**EDR US Hist Auto Stat**      **1009077846**  
**N/A**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:                METRO SERVICE STATION  
                          Year:                  1924  
**Actual:**      Type:                AUTOMOBILE SERVICE STATIONS  
**243 ft.**

**B37**      **VILLA METROPOLITANO**  
**SW**      **1328 SOUTH HOPE ST**  
**< 1/8**      **LOS ANGELES, CA 90015**  
**0.053 mi.**  
**279 ft.**      **Site 15 of 16 in cluster B**

**HAZNET**      **S112868080**  
**N/A**

**Relative:**      HAZNET:  
**Lower**      envid:              S112868080  
                          Year:                  1996  
**Actual:**      GEPAID:            CAC001132856  
**236 ft.**      Contact:            Not reported  
                          Telephone:          0000000000  
                          Mailing Name:      Not reported  
                          Mailing Address:   3325 WILSHIRE BLVD  
                          Mailing City,St,Zip: LOS ANGELES, CA 900100000  
                          Gen County:        Not reported  
                          TSD EPA ID:        CAD067786749  
                          TSD County:        Not reported  
                          Waste Category:    Asbestos containing waste  
                          Disposal Method:   Disposal, Land Fill  
                          Tons:                1.6856  
                          Facility County:    Los Angeles  
  
                          envid:                S112868080

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VILLA METROPOLITANO (Continued)**

**S112868080**

Year: 1995  
GEPaid: CAC001132856  
Contact: Not reported  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 3325 WILSHIRE BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900100000  
Gen County: Not reported  
TSD EPA ID: AZD049318009  
TSD County: Not reported  
Waste Category: Other inorganic solid waste  
Disposal Method: Transfer Station  
Tons: .0375  
Facility County: Los Angeles

envid: S112868080  
Year: 1995  
GEPaid: CAC001132856  
Contact: Not reported  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 3325 WILSHIRE BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900100000  
Gen County: Not reported  
TSD EPA ID: CAD067786749  
TSD County: Not reported  
Waste Category: Asbestos containing waste  
Disposal Method: Disposal, Land Fill  
Tons: 101.1360  
Facility County: Los Angeles

**B38**  
**SW**  
**< 1/8**  
**0.053 mi.**  
**279 ft.**

**VILLA METROPOLITANO LTD PARTNERSHIP**  
**1328 SO HOPE ST**  
**LOS ANGELES, CA 90015**

**HAZNET** **S112876891**  
**N/A**

**Site 16 of 16 in cluster B**

**Relative:**  
**Lower**

HAZNET:  
envid: S112876891  
Year: 1996  
GEPaid: CAC001239568  
Contact: NON-PROFIT ORGANIZATION  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: C/O EL PUEBLO COMM DEV CORP  
Mailing City,St,Zip: LOS ANGELES, CA 900100000  
Gen County: Not reported  
TSD EPA ID: AZD982465866  
TSD County: Not reported  
Waste Category: Polychlorinated biphenyls and material containing PCBs  
Disposal Method: Transfer Station  
Tons: .2512  
Facility County: Los Angeles

**Actual:**  
**236 ft.**



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**D39**      **KINNEY W J**      **EDR US Hist Auto Stat**      **1009080005**  
**NNE**      **1144 S HOPE ST**           **N/A**  
**< 1/8**      **LOS ANGELES, CA**  
**0.062 mi.**  
**328 ft.**      **Site 4 of 4 in cluster D**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:      KINNEY W J  
                    Year:      1924  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**243 ft.**  
  
                    Name:      STANDARD AUTO SERVICE CO  
                    Year:      1929  
                    Type:      AUTOMOBILE REPAIRING AND SERVICE STATIONS

**F40**      **ATLAS AUTO WORKS**      **EDR US Hist Auto Stat**      **1009080022**  
**SW**      **1338 S HOPE ST**           **N/A**  
**< 1/8**      **LOS ANGELES, CA**  
**0.063 mi.**  
**333 ft.**      **Site 1 of 5 in cluster F**

**Relative:**      EDR Historical Auto Stations:  
**Lower**      Name:      ATLAS AUTO WORKS  
                    Year:      1929  
**Actual:**      Type:      AUTOMOBILE REPAIRING AND SERVICE STATIONS  
**236 ft.**  
  
                    Name:      ATLAS AUTO WORKS LTD  
                    Year:      1933  
                    Type:      AUTOMOBILE REPAIRING  
  
                    Name:      ATLAS AUTO WORKS LTD  
                    Year:      1937  
                    Type:      AUTOMOBILE REPAIRING  
  
                    Name:      ATLAS AUTO WORKS  
                    Year:      1942  
                    Type:      AUTOMOBILE REPAIRING

**F41**      **MAC LEAN MOTOR CA CO**      **EDR US Hist Auto Stat**      **1009079550**  
**SW**      **1333 S HOPE ST**           **N/A**  
**< 1/8**      **LOS ANGELES, CA**  
**0.067 mi.**  
**353 ft.**      **Site 2 of 5 in cluster F**

**Relative:**      EDR Historical Auto Stations:  
**Lower**      Name:      MAC LEAN MOTOR CA CO  
                    Year:      1924  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**236 ft.**

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**C42**  
**South**  
**< 1/8**  
**0.068 mi.**  
**357 ft.**

**TRI-WAY CONTRACTORS, INC**  
**1317 S GRAND AVE**  
**LOS ANGELES, CA 90015**

**CA FID UST**    **S101584147**  
**SWEEPS UST**    **N/A**

**Site 6 of 9 in cluster C**

**Relative:**  
**Lower**

CA FID UST:  
 Facility ID: 19008975  
 Regulated By: UTNKA  
 Regulated ID: Not reported  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: 2130000000  
 Mail To: Not reported  
 Mailing Address: 1317 S GRAND AVE  
 Mailing Address 2: Not reported  
 Mailing City,St,Zip: LOS ANGELES 900150000  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNS Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**Actual:**  
**237 ft.**

**SWEEPS UST:**

Status: Not reported  
 Comp Number: 4305  
 Number: Not reported  
 Board Of Equalization: Not reported  
 Referral Date: Not reported  
 Action Date: Not reported  
 Created Date: Not reported  
 Owner Tank Id: Not reported  
 SWRCB Tank Id: Not reported  
 Tank Status: Not reported  
 Capacity: Not reported  
 Active Date: Not reported  
 Tank Use: Not reported  
 STG: Not reported  
 Content: Not reported  
 Number Of Tanks: Not reported

**C43**  
**South**  
**< 1/8**  
**0.068 mi.**  
**360 ft.**

**GREILER FRANK**  
**1312 S GRAND AVE**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**    **1009079950**  
**N/A**

**Site 7 of 9 in cluster C**

**Relative:**  
**Lower**

EDR Historical Auto Stations:  
 Name: GREILER FRANK  
 Year: 1929  
 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS  
  
 Name: GREILER FRANK  
 Year: 1933  
 Type: AUTOMOBILE REPAIRING  
  
 Name: GREILER FRANK

**Actual:**  
**237 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GREILER FRANK (Continued)**

**1009079950**

Year: 1937  
Type: AUTOMOBILE REPAIRING

Name: GREILER FRANK  
Year: 1942  
Type: AUTOMOBILE REPAIRING

**F44 EL PUEBLO COMMUNITY DEVELOPMENT**  
**SSW 1332 HOPE ST**  
**< 1/8 LOS ANGELES, CA 91101**  
**0.075 mi.**  
**394 ft. Site 3 of 5 in cluster F**

**HAZNET S112900317**  
**N/A**

**Relative:**  
**Lower**

HAZNET:  
envid: S112900317  
Year: 1999  
Actual: GEPaid: CAC002140641  
235 ft. Contact: EL PUEBLO COMMUNITY DEVELOPMNT  
Telephone: 6265641988  
Mailing Name: Not reported  
Mailing Address: 234 E COLORADO BLVD STE 300  
Mailing City,St,Zip: PASADENA, CA 911010000  
Gen County: Not reported  
TSD EPA ID: AZD982465866  
TSD County: Not reported  
Waste Category: Polychlorinated biphenyls and material containing PCBs  
Disposal Method: Recycler  
Tons: .1256  
Facility County: Los Angeles

**C45 BORNSTEIN MAX**  
**SSE 329 W PICO BLVD**  
**< 1/8 LOS ANGELES, CA**  
**0.077 mi.**  
**407 ft. Site 8 of 9 in cluster C**

**EDR US Hist Cleaners 1009189307**  
**N/A**

**Relative:**  
**Lower**

EDR Historical Cleaners:  
Name: BORNSTEIN MAX  
Year: 1933  
Actual: Type: CLOTHES PRESSERS AND CLEANERS  
239 ft.  
Name: BORNSTEIN MAX  
Year: 1937  
Type: CLOTHES PRESSERS AND CLEANERS

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

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<b>C46</b> <b>SSE</b> <b>&lt; 1/8</b> <b>0.079 mi.</b> <b>415 ft.</b>	<b>PIERCE F E</b> <b>330 W PICO BLVD</b> <b>LOS ANGELES, CA</b>  <b>Site 9 of 9 in cluster C</b>	<b>EDR US Hist Cleaners</b>	<b>1009193079</b> <b>N/A</b>
<b>Relative:</b> <b>Lower</b>	EDR Historical Cleaners: Name: PIERCE F E Year: 1937 Type: CLOTHES PRESSERS AND CLEANERS		
<b>Actual:</b> <b>239 ft.</b>			

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<b>G47</b> <b>South</b> <b>&lt; 1/8</b> <b>0.079 mi.</b> <b>417 ft.</b>	<b>DU BOIS X J</b> <b>1330 S GRAND AVE</b> <b>LOS ANGELES, CA</b>  <b>Site 1 of 5 in cluster G</b>	<b>EDR US Hist Auto Stat</b>	<b>1009078994</b> <b>N/A</b>
<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name: DU BOIS X J Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS		
<b>Actual:</b> <b>236 ft.</b>	Name: KNIGHT MOTOR SERVICE Year: 1933 Type: AUTOMOBILE REPAIRING		

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<b>H48</b> <b>NW</b> <b>&lt; 1/8</b> <b>0.083 mi.</b> <b>439 ft.</b>	<b>LEE SING</b> <b>1256 S FLOWER ST</b> <b>LOS ANGELES, CA</b>  <b>Site 1 of 9 in cluster H</b>	<b>EDR US Hist Cleaners</b>	<b>1009190636</b> <b>N/A</b>
<b>Relative:</b> <b>Lower</b>	EDR Historical Cleaners: Name: LEE SING Year: 1929 Type: LAUNDRIES ORIENTAL		
<b>Actual:</b> <b>239 ft.</b>			

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<b>I49</b> <b>West</b> <b>&lt; 1/8</b> <b>0.084 mi.</b> <b>446 ft.</b>	<b>POPE SHAPIRO</b> <b>1300 S FLOWER ST</b> <b>LOS ANGELES, CA</b>  <b>Site 1 of 9 in cluster I</b>	<b>EDR US Hist Auto Stat</b>	<b>1009077893</b> <b>N/A</b>
<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name: POPE SHAPIRO Year: 1924 Type: AUTOMOBILE SERVICE STATIONS		
<b>Actual:</b> <b>237 ft.</b>			

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**H50**      **FARMERS NEW WORLD LIFE INSUR/SOVEREIGN RING MGMT CO**      **SWEEPS UST**      **S106926092**  
**NW**      **1238 S FLOWER ST**           **N/A**  
**< 1/8**      **LOS ANGELES, CA 90015**  
**0.085 mi.**  
**448 ft.**      **Site 2 of 9 in cluster H**

**Relative:**      **SWEEPS UST:**  
**Higher**      Status:      Active  
                   Comp Number:      9022  
**Actual:**      Number:      9  
**240 ft.**      Board Of Equalization:      Not reported  
                   Referral Date:      03-29-94  
                   Action Date:      03-29-94  
                   Created Date:      03-29-94  
                   Owner Tank Id:      Not reported  
                   SWRCB Tank Id:      Not reported  
                   Tank Status:      Not reported  
                   Capacity:      Not reported  
                   Active Date:      Not reported  
                   Tank Use:      Not reported  
                   STG:      Not reported  
                   Content:      Not reported  
                   Number Of Tanks:      Not reported

**H51**      **SOVEREIGN/RING MANAGEMENT**      **UST**      **U003781145**  
**NW**      **1248 S FLOWER ST**      **SWEEPS UST**      **N/A**  
**< 1/8**      **LOS ANGELES, CA 90015**  
**0.085 mi.**  
**448 ft.**      **Site 3 of 9 in cluster H**

**Relative:**      **UST:**  
**Higher**      Facility ID:      24784  
                   Permitting Agency:      LOS ANGELES, CITY OF  
**Actual:**      Latitude:      34.0414864  
**240 ft.**      Longitude:      -118.2652298

**SWEEPS UST:**  
 Status:      Active  
 Comp Number:      6655  
 Number:      1  
 Board Of Equalization:      Not reported  
 Referral Date:      08-20-93  
 Action Date:      02-17-94  
 Created Date:      02-29-88  
 Owner Tank Id:      Not reported  
 SWRCB Tank Id:      Not reported  
 Tank Status:      Not reported  
 Capacity:      Not reported  
 Active Date:      Not reported  
 Tank Use:      Not reported  
 STG:      Not reported  
 Content:      Not reported  
 Number Of Tanks:      Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**H52**      **IDEAL AUTOMOTIVE SERVICE**      **EDR US Hist Auto Stat**      **1009082041**  
**NW**      **1238 S FLOWER ST**           **N/A**  
 < 1/8      **LOS ANGELES, CA**  
 0.085 mi.  
 448 ft.      **Site 4 of 9 in cluster H**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:      IDEAL AUTOMOTIVE SERVICE  
                     Year:      1937  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**240 ft.**

Name:      IDEAL AUTOMOTIVE SERVICE  
 Year:      1942  
 Type:      AUTOMOBILE REPAIRING

**H53**      **HARRY ROSENBLATT & SONS**      **CA FID UST**      **S101588067**  
**NW**      **1248 S FLOWER ST**           **N/A**  
 < 1/8      **LOS ANGELES, CA 90015**  
 0.085 mi.  
 448 ft.      **Site 5 of 9 in cluster H**

**Relative:**      CA FID UST:  
**Higher**      Facility ID:      19056300  
                     Regulated By:      UTNKA  
**Actual:**      Regulated ID:      Not reported  
**240 ft.**      Cortese Code:      Not reported  
                     SIC Code:      Not reported  
                     Facility Phone:      2130000000  
                     Mail To:      Not reported  
                     Mailing Address:      1248 S FLOWER ST  
                     Mailing Address 2:      Not reported  
                     Mailing City,St,Zip:      LOS ANGELES 900150000  
                     Contact:      Not reported  
                     Contact Phone:      Not reported  
                     DUNs Number:      Not reported  
                     NPDES Number:      Not reported  
                     EPA ID:      Not reported  
                     Comments:      Not reported  
                     Status:      Active

**H54**      **FARMERS NEW WORLD/LIFE INSURANCE**      **SWEEPS UST**      **S106926093**  
**NW**      **1238 S FLOWER ST**           **N/A**  
 < 1/8      **LOS ANGELES, CA 90015**  
 0.085 mi.  
 448 ft.      **Site 6 of 9 in cluster H**

**Relative:**      SWEEPS UST:  
**Higher**      Status:      Active  
                     Comp Number:      9036  
**Actual:**      Number:      1  
**240 ft.**      Board Of Equalization:      Not reported  
                     Referral Date:      04-19-94  
                     Action Date:      04-19-94  
                     Created Date:      04-19-94  
                     Owner Tank Id:      Not reported  
                     SWRCB Tank Id:      Not reported  
                     Tank Status:      Not reported  
                     Capacity:      Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FARMERS NEW WORLD/LIFE INSURANCE (Continued)**

**S106926093**

Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

**H55  
NW  
< 1/8  
0.085 mi.  
448 ft.**

**CO OPERATIVE AUTO REPAIR CO  
1246 S FLOWER ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009081178  
N/A**

**Site 7 of 9 in cluster H**

**Relative:  
Higher**

EDR Historical Auto Stations:

Name: CO OPERATIVE AUTO REPAIR CO  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**Actual:  
240 ft.**

**H56  
NNW  
< 1/8  
0.085 mi.  
448 ft.**

**SCHAEFER A E  
1225 S FLOWER ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009078756  
N/A**

**Site 8 of 9 in cluster H**

**Relative:  
Higher**

EDR Historical Auto Stations:

Name: SCHAEFER A E  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

**Actual:  
240 ft.**

**F57  
SW  
< 1/8  
0.087 mi.  
460 ft.**

**BOSTON ROBT  
1360 S HOPE ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009079799  
N/A**

**Site 4 of 5 in cluster F**

**Relative:  
Lower**

EDR Historical Auto Stations:

Name: BOSTON ROBT  
Year: 1933  
Type: GASOLINE AND OIL SERVICE STATIONS

**Actual:  
235 ft.**

Name: BRIGGS W M  
Year: 1942  
Type: GASOLINE AND OIL SERVICE STATIONS

**J58  
East  
< 1/8  
0.088 mi.  
464 ft.**

**WILKINSON J E  
315 W 12TH ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009080190  
N/A**

**Site 1 of 10 in cluster J**

**Relative:  
Higher**

EDR Historical Auto Stations:

Name: WILKINSON J E  
Year: 1924  
Type: AUTOMOBILE REPAIRING

**Actual:  
243 ft.**

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**WILKINSON J E (Continued)**

**1009080190**

Name: WILKINSON J E  
 Year: 1929  
 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

Name: WILKINSON J E  
 Year: 1933  
 Type: AUTOMOBILE REPAIRING

Name: WILKINSON J E  
 Year: 1937  
 Type: AUTOMOBILE REPAIRING

Name: WILKINSON J E  
 Year: 1942  
 Type: AUTOMOBILE REPAIRING

**H59**      **ARENA**  
**NW**      **1225 FLOWER ST**  
**< 1/8**    **LOS ANGELES, CA 90017**  
**0.093 mi.**  
**492 ft.**    **Site 9 of 9 in cluster H**

**HAZNET**    **S112872081**  
**N/A**

**Relative:**    HAZNET:  
**Higher**      envid:            S112872081  
                   Year:             1999  
**Actual:**      GEPaid:          CAC001177472  
**240 ft.**      Contact:        LA ARENA COMPANY INC  
                   Telephone:      2139960122  
                   Mailing Name:   Not reported  
                   Mailing Address: 865 S FIGUEROA STE 3340  
                   Mailing City,St,Zip: LOS ANGELES, CA 900170000  
                   Gen County:     Not reported  
                   TSD EPA ID:     AZC950823111  
                   TSD County:     Not reported  
                   Waste Category: Asbestos containing waste  
                   Disposal Method: Not reported  
                   Tons:            3.3712  
                   Facility County: Los Angeles

**I60**      **ALEXANDER JAS**  
**West**    **611 W PICO BLVD**  
**< 1/8**    **LOS ANGELES, CA**  
**0.094 mi.**  
**496 ft.**    **Site 2 of 9 in cluster I**

**EDR US Hist Cleaners**    **1009188335**  
**N/A**

**Relative:**    EDR Historical Cleaners:  
**Lower**      Name:            ALEXANDER JAS  
                   Year:            1924  
**Actual:**      Type:            CLOTHES CLEANERS PRESSERS AND DYERS  
**237 ft.**



MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

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<b>I61</b> West < 1/8 0.094 mi. 496 ft.	<b>ALEXANDER SAML</b> 610 W PICO BLVD LOS ANGELES, CA  <b>Site 3 of 9 in cluster I</b>	<b>EDR US Hist Cleaners</b>	<b>1009189251</b> N/A
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<b>Relative:</b> Lower	EDR Historical Cleaners:	
	Name: ALEXANDER SAML Year: 1929 Type: CLOTHES PRESSERS CLEANERS AND REPAIRERS	
<b>Actual:</b> 237 ft.	Name: BROWN TANIA MRS Year: 1933 Type: LAUNDRIES HAND	
	Name: ALEXANDER EWEL Year: 1937 Type: CLOTHES PRESSERS AND CLEANERS	

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<b>F62</b> SW < 1/8 0.094 mi. 496 ft.	<b>MILLIGAN NEWELL CO</b> 1365 S HOPE ST LOS ANGELES, CA  <b>Site 5 of 5 in cluster F</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079425</b> N/A
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<b>Relative:</b> Lower	EDR Historical Auto Stations:	
	Name: MILLIGAN NEWELL CO Year: 1933 Type: AUTOMOBILE REPAIRING	
<b>Actual:</b> 235 ft.	Name: NEWELL G A CO Year: 1937 Type: AUTOMOBILE REPAIRING	

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<b>G63</b> South < 1/8 0.097 mi. 510 ft.	<b>1350 S GRAND AVE</b> LOS ANGELES, CA 90015  <b>Site 2 of 5 in cluster G</b>	<b>EDR US Hist Auto Stat</b>	<b>1015212625</b> N/A
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<b>Relative:</b> Lower	EDR Historical Auto Stations:	
	Name: YUCATAN TRANSMISSIONS Year: 2005 Address: 1350 S GRAND AVE	
<b>Actual:</b> 235 ft.	Name: YUCATAN TRANSMISSIONS 1 Year: 2006 Address: 1350 S GRAND AVE	

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>I64</b> <b>WSW</b> < 1/8 0.098 mi. 519 ft.	<b>1X PRESTEIGE PRODUCTS CORPORATION</b> <b>1323 SOUTH FLOWER STREET</b> <b>LOS ANGELES, CA 90015</b>  <b>Site 4 of 9 in cluster I</b>	<b>HAZNET</b>	<b>S112837928</b> <b>N/A</b>
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<b>Relative:</b> <b>Lower</b>	HAZNET: envid: S112837928 Year: 2005
<b>Actual:</b> <b>236 ft.</b>	GEPAID: CAC000280281 Contact: THOMAS HODULEK, MANAGER Telephone: 2137498102 Mailing Name: Not reported Mailing Address: -- Mailing City,St,Zip: LOS ANGELES, CA 900150000 Gen County: Not reported TSD EPA ID: CAD009466392 TSD County: Not reported Waste Category: Other empty containers 30 gallons or more Disposal Method: Recycler Tons: 10 Facility County: Los Angeles

---

<b>I65</b> <b>WSW</b> < 1/8 0.098 mi. 519 ft.	<b>1X PRESTIGE PRODUCTS</b> <b>1323 S FLOWER ST</b> <b>LOS ANGELES, CA 90015</b>  <b>Site 5 of 9 in cluster I</b>	<b>HAZNET</b>	<b>S112845749</b> <b>N/A</b>
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<b>Relative:</b> <b>Lower</b>	HAZNET: envid: S112845749 Year: 1993
<b>Actual:</b> <b>236 ft.</b>	GEPAID: CAC000797872 Contact: CHUCK BUTTE Telephone: 0000000000 Mailing Name: Not reported Mailing Address: 1323 S FLOWER ST Mailing City,St,Zip: LOS ANGELES, CA 900150000 Gen County: Not reported TSD EPA ID: CAT080013352 TSD County: Not reported Waste Category: Oil/water separation sludge Disposal Method: Recycler Tons: 0.83399999999 Facility County: Los Angeles

---

<b>I66</b> <b>WSW</b> < 1/8 0.098 mi. 519 ft.	<b>MALONE PEPPER</b> <b>1324 S FLOWER ST</b> <b>LOS ANGELES, CA</b>  <b>Site 6 of 9 in cluster I</b>	<b>EDR US Hist Auto Stat</b>	<b>1009077923</b> <b>N/A</b>
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<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name: MALONE PEPPER Year: 1933
<b>Actual:</b> <b>236 ft.</b>	Type: AUTOMOBILE REPAIRING

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**K67**  
**SE**  
 < 1/8  
 0.100 mi.  
 526 ft.

**CR AND A CUSTOM INC**  
**312 W PICO BLVD**  
**LOS ANGELES, CA 90015**

**RCRA-SQG** 1014387070  
**HAZNET** CAR000205021

**Site 1 of 4 in cluster K**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 02/09/2010

Facility name: CR AND A CUSTOM INC

Facility address: 312 W PICO BLVD  
 LOS ANGELES, CA 90015

EPA ID: CAR000205021

Contact: MASOUD RAD

Contact address: 312 W PICO BLVD  
 LOS ANGELES, CA 90015

Contact country: US

Contact telephone: 213-749-4440

Contact email: MASOUD@CRACUSTOM.COM

EPA Region: 09

Classification: Small Small Quantity Generator

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Actual:**  
 239 ft.

Owner/Operator Summary:

Owner/operator name: MASOUD RAD

Owner/operator address: Not reported  
 Not reported

Owner/operator country: Not reported

Owner/operator telephone: Not reported

Legal status: Private

Owner/Operator Type: Operator

Owner/Op start date: 12/01/1993

Owner/Op end date: Not reported

Owner/operator name: MASOUD RAD

Owner/operator address: 312 W PICO BLVD  
 LOS ANGELES, CA 90015

Owner/operator country: US

Owner/operator telephone: 213-749-4440

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: 12/01/1993

Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Mixed waste (haz. and radioactive): No

Recycler of hazardous waste: No

Transporter of hazardous waste: No

Treater, storer or disposer of HW: No

Underground injection activity: No

On-site burner exemption: No

Furnace exemption: No

Used oil fuel burner: No

Used oil processor: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CR AND A CUSTOM INC (Continued)**

**1014387070**

User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D001  
. Waste name: IGNITABLE WASTE

Violation Status: No violations found

**HAZNET:**

envid: 1014387070  
Year: 2013  
GEPaid: CAR000205021  
Contact: MASOUD RAD  
Telephone: 2137494440  
Mailing Name: Not reported  
Mailing Address: 312 W PICO BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Los Angeles  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.9  
Facility County: Not reported

envid: 1014387070  
Year: 2011  
GEPaid: CAR000205021  
Contact: MASOUD RAD  
Telephone: 2137494440  
Mailing Name: Not reported  
Mailing Address: 312 W PICO BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.792  
Facility County: Los Angeles

envid: 1014387070  
Year: 2010  
GEPaid: CAR000205021  
Contact: MASOUD RAD  
Telephone: 2137494440  
Mailing Name: Not reported  
Mailing Address: 312 W PICO BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD982444481  
TSD County: Not reported  
Waste Category: Other organic solids  
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CR AND A CUSTOM INC (Continued)**

**1014387070**

Tons: 0.1  
 Facility County: Los Angeles

envid: 1014387070  
 Year: 2010  
 GEPAID: CAR000205021  
 Contact: MASOUD RAD  
 Telephone: 2137494440  
 Mailing Name: Not reported  
 Mailing Address: 312 W PICO BLVD  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County: Not reported  
 TSD EPA ID: CAD008252405  
 TSD County: Not reported  
 Waste Category: Unspecified solvent mixture  
 Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
 Tons: 3.96  
 Facility County: Los Angeles

envid: 1014387070  
 Year: 2010  
 GEPAID: CAR000205021  
 Contact: MASOUD RAD  
 Telephone: 2137494440  
 Mailing Name: Not reported  
 Mailing Address: 312 W PICO BLVD  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County: Not reported  
 TSD EPA ID: CAD982444481  
 TSD County: Not reported  
 Waste Category: Unspecified aqueous solution  
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)  
 Tons: 0.231  
 Facility County: Los Angeles

[Click this hyperlink](#) while viewing on your computer to access additional CA\_HAZNET: detail in the EDR Site Report.

**K68**  
**SE**  
 < 1/8  
 0.100 mi.  
 526 ft.

**CR AND A CUSTOM INC**  
**312 W PICO BLVD**  
**LOS ANGELES, CA 90015**  
**Site 2 of 4 in cluster K**

**FINDS 1012219543**  
**N/A**

**Relative:**  
**Lower**

FINDS:

Registry ID: 110040517697

**Actual:**  
**239 ft.**

Environmental Interest/Information System  
 RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**K69**  
**SE**  
**< 1/8**  
**0.100 mi.**  
**526 ft.**

**C R & A CUSTOM INC**  
**312 W PICO BLVD**  
**LOS ANGELES, CA 90015**

**HAZNET** **S113157664**  
**N/A**

**Site 3 of 4 in cluster K**

**Relative:**  
**Lower**

HAZNET:

envid: S113157664  
Year: 2012  
GEPaid: CAL000348479  
Contact: MASOUD RAD  
Telephone: 2137494440  
Mailing Name: Not reported  
Mailing Address: 312 W PICO BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Los Angeles  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.792  
Facility County: Los Angeles

**Actual:**  
**239 ft.**

envid: S113157664  
Year: 2011  
GEPaid: CAL000348479  
Contact: MASOUD RAD  
Telephone: 2137494440  
Mailing Name: Not reported  
Mailing Address: 312 W PICO BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.792  
Facility County: Los Angeles

envid: S113157664  
Year: 2010  
GEPaid: CAL000348479  
Contact: MASOUD RAD  
Telephone: 2137494440  
Mailing Name: Not reported  
Mailing Address: 312 W PICO BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
Tons: 0.9  
Facility County: Los Angeles

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**G70**  
South  
< 1/8  
0.100 mi.  
529 ft.

**1354 S GRAND AVE**  
**LOS ANGELES, CA 90015**

**EDR US Hist Auto Stat**

**1015213148**  
**N/A**

**Site 3 of 5 in cluster G**

**Relative:**  
**Lower**  
  
**Actual:**  
**235 ft.**

EDR Historical Auto Stations:  
Name: YUCATAN TRANSMISSION 1  
Year: 2005  
Address: 1354 S GRAND AVE

**G71**  
South  
< 1/8  
0.100 mi.  
529 ft.

**FIX UP AUTO**  
**1354 S GRAND AVE**  
**LOS ANGELES, CA 90015**

**HAZNET**

**S113112393**  
**N/A**

**Site 4 of 5 in cluster G**

**Relative:**  
**Lower**  
  
**Actual:**  
**235 ft.**

HAZNET:  
envid: S113112393  
Year: 2002  
GEPaid: CAL000222806  
Contact: BONG KIM  
Telephone: 2137466339  
Mailing Name: Not reported  
Mailing Address: 1354 S GRAND AVE  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD982444481  
TSD County: Not reported  
Waste Category: Waste oil and mixed oil  
Disposal Method: Transfer Station  
Tons: 0.45  
Facility County: Los Angeles

envid: S113112393  
Year: 2002  
GEPaid: CAL000222806  
Contact: BONG KIM  
Telephone: 2137466339  
Mailing Name: Not reported  
Mailing Address: 1354 S GRAND AVE  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD008252405  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Recycler  
Tons: 0.13  
Facility County: Los Angeles

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**L72**      **BUCK PAUL**      **EDR US Hist Auto Stat**      **1009080228**  
**WSW**      **1334 S FLOWER ST**  
**< 1/8**      **LOS ANGELES, CA**  
**0.103 mi.**  
**544 ft.**      **Site 1 of 11 in cluster L**

**Relative:**      EDR Historical Auto Stations:  
**Lower**      Name:              BUCK PAUL  
                     Year:                1929  
**Actual:**      Type:                AUTOMOBILE REPAIRING AND SERVICE STATIONS  
**235 ft.**

**L73**      **GLOBE BEARING CO L T D**      **HAZNET**      **S113007839**  
**WSW**      **1338 S FLOWER ST**  
**< 1/8**      **LOS ANGELES, CA 90015**  
**0.103 mi.**  
**544 ft.**      **Site 2 of 11 in cluster L**

**Relative:**      HAZNET:  
**Lower**      envid:              S113007839  
                     Year:                2002  
**Actual:**      GEPAID:            CAD981613128  
**235 ft.**      Contact:            THOMAS JOHNSON  
                     Telephone:        --  
                     Mailing Name:     Not reported  
                     Mailing Address:  PMB 129 2155 VERDUGO BLVD  
                     Mailing City,St,Zip: MONTROSE, CA 910201628  
                     Gen County:        Not reported  
                     TSD EPA ID:        CAT080013352  
                     TSD County:        Not reported  
                     Waste Category:   Waste oil and mixed oil  
                     Disposal Method:  Recycler  
                     Tons:                0.33  
                     Facility County:    Los Angeles

envid:              S113007839  
 Year:                2000  
 GEPAID:            CAD981613128  
 Contact:            THOMAS JOHNSON  
 Telephone:        --  
 Mailing Name:     Not reported  
 Mailing Address:  PMB 129 2155 VERDUGO BLVD  
 Mailing City,St,Zip: MONTROSE, CA 910201628  
 Gen County:        Not reported  
 TSD EPA ID:        CAT080013352  
 TSD County:        Not reported  
 Waste Category:   Waste oil and mixed oil  
 Disposal Method:  Recycler  
 Tons:                1.25  
 Facility County:    Los Angeles

envid:              S113007839  
 Year:                1994  
 GEPAID:            CAD981613128  
 Contact:            WALTER T MORGAN & GWENDOLA M J  
 Telephone:        0000000000  
 Mailing Name:     Not reported  
 Mailing Address:  1338 S FLOWER ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County:        Not reported  
 TSD EPA ID:        CAD099452708



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**GLOBE BEARING CO L T D (Continued)**

**S113007839**

TSD County: Not reported  
 Waste Category: Unspecified oil-containing waste  
 Disposal Method: Recycler  
 Tons: 3.5862  
 Facility County: Los Angeles

envid: S113007839  
 Year: 1993  
 GEPAID: CAD981613128  
 Contact: WALTER T MORGAN & GWENDOLA M J  
 Telephone: 0000000000  
 Mailing Name: Not reported  
 Mailing Address: 1338 S FLOWER ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County: Not reported  
 TSD EPA ID: CAD099452708  
 TSD County: Not reported  
 Waste Category: Waste oil and mixed oil  
 Disposal Method: Recycler  
 Tons: 3.69039999999  
 Facility County: Los Angeles

envid: S113007839  
 Year: 1993  
 GEPAID: CAD981613128  
 Contact: WALTER T MORGAN & GWENDOLA M J  
 Telephone: 0000000000  
 Mailing Name: Not reported  
 Mailing Address: 1338 S FLOWER ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County: Not reported  
 TSD EPA ID: CAD099452703  
 TSD County: Not reported  
 Waste Category: Waste oil and mixed oil  
 Disposal Method: Not reported  
 Tons: 3.69039999999  
 Facility County: Los Angeles

[Click this hyperlink](#) while viewing on your computer to access  
 1 additional CA\_HAZNET: record(s) in the EDR Site Report.

**G74**  
**South**  
**< 1/8**  
**0.104 mi.**  
**549 ft.**

**GRAND AV DYE HOUSE**  
**1358 S GRAND AVE**  
**LOS ANGELES, CA**  
  
**Site 5 of 5 in cluster G**

**EDR US Hist Cleaners**    **1009185188**  
**N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**235 ft.**

EDR Historical Cleaners:

Name: GRAND AV DYE HOUSE  
 Year: 1924  
 Type: CLOTHES CLEANERS PRESSERS AND DYERS

Name: COULTAS ALICE M  
 Year: 1929  
 Type: CLOTHES PRESSERS CLEANERS AND REPAIRERS

Name: WONG FRANK  
 Year: 1942

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRAND AV DYE HOUSE (Continued)**

1009185188

Type: LAUNDRIES ORIENTAL

M75  
ENE  
< 1/8  
0.107 mi.  
565 ft.

**WHITLEY JAS**  
1148 S GRAND AVE  
LOS ANGELES, CA

EDR US Hist Auto Stat

1009081492  
N/A

Site 1 of 2 in cluster M

Relative:  
Higher

EDR Historical Auto Stations:

Name: WHITLEY JAS  
Year: 1933

Actual:  
245 ft.

Type: AUTOMOBILE REPAIRING

L76  
WSW  
< 1/8  
0.107 mi.  
566 ft.

**CHRISTINE O'DONOVAN**  
1349 S FLOWER  
LOS ANGELES, CA 90015

HAZNET

S112843658  
N/A

Site 3 of 11 in cluster L

Relative:  
Lower

HAZNET:

envid: S112843658  
Year: 1996  
GEPaid: CAC000764224  
Contact: CHRISTINE O'DONOVAN  
Telephone: 6196223575  
Mailing Name: Not reported  
Mailing Address: 944 FRANCISCO ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: IRC957100891  
TSD County: Not reported  
Waste Category: Asbestos containing waste  
Disposal Method: Disposal, Land Fill  
Tons: 4.2140  
Facility County: Los Angeles

Actual:  
235 ft.

N77  
NNE  
< 1/8  
0.109 mi.  
575 ft.

**SAFETY SYSTEM SERVICE CO**  
1140 S HOPE ST  
LOS ANGELES, CA

EDR US Hist Auto Stat

1009077241  
N/A

Site 1 of 2 in cluster N

Relative:  
Higher

EDR Historical Auto Stations:

Name: CLEGHORN R W  
Year: 1924  
Type: AUTOMOBILE REPAIRING

Actual:  
244 ft.

Name: CLAXTON R E  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

Name: SAFETY SYSTEM SERVICE CO  
Year: 1937  
Type: AUTOMOBILE REPAIRING

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SAFETY SYSTEM SERVICE CO (Continued)**

1009077241

Name: SAFETY SYSTEM SERVICE CO  
Year: 1942  
Type: AUTOMOBILE REPAIRING

M78  
ENE  
< 1/8  
0.109 mi.  
576 ft.

**LEE TONG**  
**1146 S GRAND AVE**  
**LOS ANGELES, CA**  
**Site 2 of 2 in cluster M**

EDR US Hist Cleaners 1009193473  
N/A

Relative:  
Higher

EDR Historical Cleaners:  
Name: LEE TONG  
Year: 1942  
Type: LAUNDRIES ORIENTAL

Actual:  
245 ft.

I79  
West  
< 1/8  
0.111 mi.  
586 ft.

**94982**  
**634 W PICO BLVD**  
**LOS ANGELES, CA 90015**  
**Site 7 of 9 in cluster I**

HIST UST U001560591  
N/A

Relative:  
Lower

HIST UST:  
Region: STATE  
Facility ID: 00000062697  
Facility Type: Gas Station  
Other Type: Not reported  
Contact Name: HERNANDEZ,LUIS  
Telephone: 2137499725  
Owner Name: CHEVRON U.S.A. INC.  
Owner Address: 575 MARKET  
Owner City,St,Zip: SAN FRANCISCO, CA 94105  
Total Tanks: 0004

Actual:  
237 ft.

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Container Construction Thickness: 0000370  
Leak Detection: Stock Inventor

Tank Num: 002  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Container Construction Thickness: 0000370  
Leak Detection: Stock Inventor

Tank Num: 003  
Container Num: 3  
Year Installed: Not reported  
Tank Capacity: 00001000  
Tank Used for: WASTE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

94982 (Continued)

U001560591

Type of Fuel: Not reported  
Container Construction Thickness: 0000370  
Leak Detection: Stock Inventor  
  
Tank Num: 004  
Container Num: 4  
Year Installed: Not reported  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Container Construction Thickness: 0000370  
Leak Detection: Stock Inventor

180  
West  
< 1/8  
0.111 mi.  
586 ft.

LUIS MARTIN HERNANDEZ  
634 W PICO BLVD  
LOS ANGELES, CA 90015

CA FID UST S101584782  
SWEEPS UST N/A

Site 8 of 9 in cluster I

Relative:  
Lower

CA FID UST:  
Facility ID: 19015518  
Regulated By: UTKNI  
Regulated ID: 00062697  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2137499725  
Mail To: Not reported  
Mailing Address: 575 MARKET ST  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Inactive

Actual:  
237 ft.

SWEEPS UST:

Status: Not reported  
Comp Number: 3573  
Number: Not reported  
Board Of Equalization: 44-013117  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-003573-000001  
Tank Status: Not reported  
Capacity: 10000  
Active Date: Not reported  
Tank Use: CHEMICAL  
STG: PRODUCT  
Content: UNKNOWN  
Number Of Tanks: 4  
  
Status: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LUIS MARTIN HERNANDEZ (Continued)**

**S101584782**

Comp Number: 3573  
Number: Not reported  
Board Of Equalization: 44-013117  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-003573-000002  
Tank Status: Not reported  
Capacity: 10000  
Active Date: Not reported  
Tank Use: CHEMICAL  
STG: PRODUCT  
Content: UNKNOWN  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 3573  
Number: Not reported  
Board Of Equalization: 44-013117  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-003573-000003  
Tank Status: Not reported  
Capacity: 1000  
Active Date: Not reported  
Tank Use: CHEMICAL  
STG: PRODUCT  
Content: UNKNOWN  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 3573  
Number: Not reported  
Board Of Equalization: 44-013117  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-003573-000004  
Tank Status: Not reported  
Capacity: 10000  
Active Date: Not reported  
Tank Use: CHEMICAL  
STG: PRODUCT  
Content: UNKNOWN  
Number Of Tanks: Not reported

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>I81</b> West < 1/8 0.114 mi. 601 ft.	<b>MILLER HEYMAN</b> 638 W PICO BLVD LOS ANGELES, CA  Site 9 of 9 in cluster I  EDR Historical Cleaners: Name: MILLER HEYMAN Year: 1924 Type: CLOTHES CLEANERS PRESSERS AND DYERS	EDR US Hist Cleaners	1009186698 N/A
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<b>L82</b> WSW < 1/8 0.116 mi. 611 ft.	<b>GLOBE AUTO</b> 1358 S FLOWER LOS ANGELES, CA 90015  Site 4 of 11 in cluster L  RCRA-SQG: Date form received by agency: 09/04/1991 Facility name: GLOBE AUTO Facility address: 1358 S FLOWER LOS ANGELES, CA 90015  EPA ID: CAD983604752 Contact: JAVID SAMAD Contact address: 1358 S FLOWER LOS ANGELES, CA 90015  Contact country: US Contact telephone: (213) 746-2233 Contact email: Not reported EPA Region: 09 Classification: Small Small Quantity Generator Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time  Owner/Operator Summary: Owner/operator name: MATT ARDAKANI Owner/operator address: 1360 S FLOWER LOS ANGELES, CA 90015  Owner/operator country: Not reported Owner/operator telephone: (213) 747-6261 Legal status: Private Owner/Operator Type: Owner Owner/Op start date: Not reported Owner/Op end date: Not reported  Handler Activities Summary: U.S. importer of hazardous waste: No Mixed waste (haz. and radioactive): No Recycler of hazardous waste: No Transporter of hazardous waste: No Treater, storer or disposer of HW: No Underground injection activity: No On-site burner exemption: No Furnace exemption: No Used oil fuel burner: No Used oil processor: No	RCRA-SQG FINDS	1000596503 CAD983604752
--	---	-------------------	----------------------------

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**GLOBE AUTO (Continued)**

**1000596503**

User oil refiner: No  
 Used oil fuel marketer to burner: No  
 Used oil Specification marketer: No  
 Used oil transfer facility: No  
 Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002860100

**Environmental Interest/Information System**

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**L83**  
**WSW**  
**< 1/8**  
**0.117 mi.**  
**617 ft.**

**GLOBE AUTO BODY**  
**1360 S FLOWER ST**  
**LOS ANGELES, CA 90015**

**Site 5 of 11 in cluster L**

**EMI S106831822**  
**N/A**

**Relative:**  
**Lower**

**EMI:**  
 Year: 1987  
 County Code: 19  
 Air Basin: SC  
 Facility ID: 50699  
 Air District Name: SC  
 SIC Code: 7538  
 Air District Name: SOUTH COAST AQMD  
 Community Health Air Pollution Info System: Not reported  
 Consolidated Emission Reporting Rule: Not reported  
 Total Organic Hydrocarbon Gases Tons/Yr: 1  
 Reactive Organic Gases Tons/Yr: 0  
 Carbon Monoxide Emissions Tons/Yr: 0  
 NOX - Oxides of Nitrogen Tons/Yr: 0  
 SOX - Oxides of Sulphur Tons/Yr: 0  
 Particulate Matter Tons/Yr: 0  
 Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

**Actual:**  
**235 ft.**

Year: 1990  
 County Code: 19  
 Air Basin: SC  
 Facility ID: 50699  
 Air District Name: SC  
 SIC Code: 7538  
 Air District Name: SOUTH COAST AQMD  
 Community Health Air Pollution Info System: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**GLOBE AUTO BODY (Continued)**

**S106831822**

Consolidated Emission Reporting Rule: Not reported  
 Total Organic Hydrocarbon Gases Tons/Yr: 1  
 Reactive Organic Gases Tons/Yr: 0  
 Carbon Monoxide Emissions Tons/Yr: 0  
 NOX - Oxides of Nitrogen Tons/Yr: 0  
 SOX - Oxides of Sulphur Tons/Yr: 0  
 Particulate Matter Tons/Yr: 0  
 Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

**L84**  
**WSW**  
 < 1/8  
 0.117 mi.  
 617 ft.

**GLOBE AUTO BODY INC**  
**1360 S FLOWER ST**  
**LOS ANGELES, CA 90015**  
 Site 6 of 11 in cluster L

**HAZNET S113149852**  
**N/A**

**Relative:**  
**Lower**

HAZNET:  
 envid: S113149852  
 Year: 2007  
 Actual: GEPaid: CAL000324876  
 235 ft. Contact: MATT ARDAKANI  
 Telephone: 2137476261  
 Mailing Name: Not reported  
 Mailing Address: 1360 S FLOWER ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900152908  
 Gen County: Not reported  
 TSD EPA ID: CAD008252405  
 TSD County: Not reported  
 Waste Category: Unspecified solvent mixture  
 Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
 Tons: 0.19  
 Facility County: Los Angeles

**L85**  
**WSW**  
 < 1/8  
 0.117 mi.  
 617 ft.

**1360 S FLOWER ST**  
**LOS ANGELES, CA 90015**  
 Site 7 of 11 in cluster L

**EDR US Hist Auto Stat 1015214029**  
**N/A**

**Relative:**  
**Lower**

EDR Historical Auto Stations:  
 Name: GLOBE AUTO BODY INCORPORATED  
 Year: 1999  
 Address: 1360 S FLOWER ST  
 Name: GLOBE AUTO BODY INC  
 Year: 2001  
 Address: 1360 S FLOWER ST  
 Name: GLOBE AUTO BODY INC  
 Year: 2002  
 Address: 1360 S FLOWER ST  
 Name: GLOBE AUTO REPAIR  
 Year: 2003  
 Address: 1360 S FLOWER ST  
 Name: GLOBE AUTO BODY INC



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**(Continued)**

**1015214029**

Year: 2004  
 Address: 1360 S FLOWER ST

Name: GLOBE AUTO BODY INC  
 Year: 2005  
 Address: 1360 S FLOWER ST

Name: GLOBE AUTO BODY INC  
 Year: 2006  
 Address: 1360 S FLOWER ST

Name: GLOBE AUTO BODY INC  
 Year: 2007  
 Address: 1360 S FLOWER ST

Name: GLOBE AUTO BODY INC  
 Year: 2008  
 Address: 1360 S FLOWER ST

Name: GLOBE AUTO BODY INC  
 Year: 2009  
 Address: 1360 S FLOWER ST

Name: GLOBE AUTO BODY INC  
 Year: 2012  
 Address: 1360 S FLOWER ST

**J86  
 ESE  
 < 1/8  
 0.118 mi.  
 621 ft.**

**G12 PARTNERS  
 1235 S OLIVE ST  
 LOS ANGELES, CA 90015**

**HAZNET S117284175  
 N/A**

**Site 2 of 10 in cluster J**

**Relative:  
 Higher**

HAZNET:  
 envid: S117284175  
 Year: 2013  
 GEPAID: CAC002718935  
 Contact: MARCO ASTANI  
 Telephone: Not reported  
 Mailing Name: Not reported  
 Mailing Address: 9595 WILSHIRE BLVD STE 1010  
 Mailing City,St,Zip: BEVERLY HILLS, CA 902122510  
 Gen County: Los Angeles  
 TSD EPA ID: NVT330010000  
 TSD County: 99  
 Waste Category: Not reported  
 Disposal Method: Landfill Or Surface Impoundment That Will Be Closed As Landfill( To Include On-Site Treatment And/Or Stabilization)  
 Tons: 8.4  
 Facility County: Not reported

**Actual:  
 242 ft.**

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

---

<b>J87</b> <b>ESE</b> < 1/8 0.118 mi. 622 ft.	<b>BRAKE SHOP THE INC</b> <b>1227 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 3 of 10 in cluster J</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079792</b> <b>N/A</b>
---	---	------------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: BRAKE SHOP THE INC Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS
<b>Actual:</b> 242 ft.	

---

<b>L88</b> <b>WSW</b> < 1/8 0.118 mi. 623 ft.	<b>LONGFELLOW SHOP THE</b> <b>1362 S FLOWER ST</b> <b>LOS ANGELES, CA</b>  <b>Site 8 of 11 in cluster L</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079600</b> <b>N/A</b>
---	---	------------------------------	---------------------------------

<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name: LONGFELLOW SHOP THE Year: 1924 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> 235 ft.	
	Name: MANGLITZ SMITH Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

---

<b>J89</b> <b>ESE</b> < 1/8 0.120 mi. 631 ft.	<b>OLSON R C</b> <b>1234 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 4 of 10 in cluster J</b>	<b>EDR US Hist Auto Stat</b>	<b>1009078875</b> <b>N/A</b>
---	--	------------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: OLSON R C Year: 1924 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> 242 ft.	

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<b>J90</b> <b>ESE</b> < 1/8 0.120 mi. 632 ft.	<b>DETROIT FENDER CO</b> <b>1228 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 5 of 10 in cluster J</b>	<b>EDR US Hist Auto Stat</b>	<b>1009080847</b> <b>N/A</b>
---	--	------------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: DETROIT FENDER CO Year: 1937 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> 242 ft.	

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

L91  
WSW  
< 1/8  
0.121 mi.  
637 ft.

**3 D SILKSCREENING AND PRINTING**  
**1366 S FLOWER ST**  
**LOS ANGELES, CA 90015**

**RCRA-SQG** 1004678107  
**FINDS** CAR000105155  
**HAZNET**

**Site 9 of 11 in cluster L**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 09/13/2001

Facility name: 3 D SILKSCREENING AND PRINTING

Facility address: 1366 S FLOWER ST  
LOS ANGELES, CA 90015

EPA ID: CAR000105155

Contact: JACK ELIAKIM

Contact address: 1366 S FLOWER ST  
LOS ANGELES, CA 90015

Contact country: US

Contact telephone: (213) 747-5155

Contact email: Not reported

EPA Region: 09

Classification: Small Small Quantity Generator

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: 3 D CORP

Owner/operator address: 414 W PICO BLVD  
LOS ANGELES, CA 90015

Owner/operator country: Not reported

Owner/operator telephone: (213) 743-9988

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: Not reported

Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Mixed waste (haz. and radioactive): No

Recycler of hazardous waste: No

Transporter of hazardous waste: No

Treater, storer or disposer of HW: No

Underground injection activity: No

On-site burner exemption: No

Furnace exemption: No

Used oil fuel burner: No

Used oil processor: No

User oil refiner: No

Used oil fuel marketer to burner: No

Used oil Specification marketer: No

Used oil transfer facility: No

Used oil transporter: No

. Waste code: D001

. Waste name: IGNITABLE WASTE

. Waste code: D018

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**3 D SILKSCREENING AND PRINTING (Continued)**

**1004678107**

. Waste name: BENZENE  
. Waste code: D039  
. Waste name: TETRACHLOROETHYLENE  
. Waste code: D040  
. Waste name: TRICHLOROETHYLENE  
Violation Status: No violations found

**FINDS:**

Registry ID: 110012231995

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**HAZNET:**

envid: 1004678107  
Year: 2003  
GEPaid: CAR000105155  
Contact: Jack Eliakim  
Telephone: 2137475155  
Mailing Name: Not reported  
Mailing Address: 1366 S Flower St  
Mailing City,St,Zip: Los Angeles, CA 90015  
Gen County: Not reported  
TSD EPA ID: CAT000613976  
TSD County: Not reported  
Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L  
Disposal Method: Transfer Station  
Tons: 0.08  
Facility County: Los Angeles

**L92**  
**WSW**  
**< 1/8**  
**0.121 mi.**  
**637 ft.**

**FREELANCE INC**  
**1336 FLOWER**  
**LOS ANGELES, CA 90015**  
**Site 10 of 11 in cluster L**

**RCRA-SQG 1000819806**  
**FINDS CAD983658071**

**Relative:**  
**Lower**

**RCRA-SQG:**

Date form received by agency: 01/22/1993  
Facility name: FREELANCE INC  
Facility address: 1336 FLOWER  
LOS ANGELES, CA 90015  
EPA ID: CAD983658071  
Mailing address: S HOPE  
LOS ANGELES, CA 90015  
Contact: RICHARD BALBOA  
Contact address: 1359 S HOPE  
LOS ANGELES, CA 90015  
Contact country: US

**Actual:**  
**235 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FREELANCE INC (Continued)**

**1000819806**

Contact telephone: (213) 745-5100  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: RICHARD BALBOA  
Owner/operator address: 1359 S HOPE  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 745-5100  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002891693

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**J93**  
**ESE**  
**< 1/8**  
**0.122 mi.**  
**642 ft.**

**READY REPRODUCTIONS**  
**1212 S OLIVE ST**  
**LOS ANGELES, CA 90015**

**HAZNET**    **S113090882**  
**N/A**

**Site 6 of 10 in cluster J**

**Relative:**  
**Higher**

HAZNET:

envid:                S113090882  
 Year:                 2009  
 GEPAID:             CAL000172809  
 Contact:             ROBERT REITZ  
 Telephone:          2137492041  
 Mailing Name:       Not reported  
 Mailing Address:    1212 S OLIVE ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County:         Not reported  
 TSD EPA ID:         CAD981402522  
 TSD County:         Not reported  
 Waste Category:     Photochemicals/photoprocessing waste  
 Disposal Method:   Metals Recovery Including Retoring,Smelting,Chemicals,Ect  
 Tons:                 0.3753  
 Facility County:     Los Angeles

**Actual:**  
**243 ft.**

envid:                S113090882  
 Year:                 2008  
 GEPAID:             CAL000172809  
 Contact:             ROBERT REITZ  
 Telephone:          2137492041  
 Mailing Name:       Not reported  
 Mailing Address:    1212 S OLIVE ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County:         Not reported  
 TSD EPA ID:         ARD981057870  
 TSD County:         Not reported  
 Waste Category:     Other organic solids  
 Disposal Method:   Fuel Blending Prior To Energy Recovery At Another Site  
 Tons:                 0.125  
 Facility County:     Los Angeles

envid:                S113090882  
 Year:                 2008  
 GEPAID:             CAL000172809  
 Contact:             ROBERT REITZ  
 Telephone:          2137492041  
 Mailing Name:       Not reported  
 Mailing Address:    1212 S OLIVE ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County:         Not reported  
 TSD EPA ID:         CAD981402522  
 TSD County:         Not reported  
 Waste Category:     Photochemicals/photoprocessing waste  
 Disposal Method:   Metals Recovery Including Retoring,Smelting,Chemicals,Ect  
 Tons:                 0.68805  
 Facility County:     Los Angeles

envid:                S113090882  
 Year:                 2007  
 GEPAID:             CAL000172809  
 Contact:             ROBERT REITZ

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**READY REPRODUCTIONS (Continued)**

**S113090882**

Telephone: 2137492041  
 Mailing Name: Not reported  
 Mailing Address: 1212 S OLIVE ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County: Not reported  
 TSD EPA ID: CAD981402522  
 TSD County: Not reported  
 Waste Category: Photochemicals/photoprocessing waste  
 Disposal Method: Metals Recovery Including Retoring,Smelting,Chemicals,Ect  
 Tons: 0.75  
 Facility County: Los Angeles

envid: S113090882  
 Year: 2007  
 GEPAID: CAL000172809  
 Contact: ROBERT REITZ  
 Telephone: 2137492041  
 Mailing Name: Not reported  
 Mailing Address: 1212 S OLIVE ST  
 Mailing City,St,Zip: LOS ANGELES, CA 900150000  
 Gen County: Not reported  
 TSD EPA ID: ARD981057870  
 TSD County: Not reported  
 Waste Category: Other organic solids  
 Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site  
 Tons: 0.1  
 Facility County: Los Angeles

[Click this hyperlink](#) while viewing on your computer to access  
 12 additional CA\_HAZNET: record(s) in the EDR Site Report.

**J94**  
**ESE**  
 < 1/8  
 0.122 mi.  
 642 ft.

**SMITH I D**  
**1212 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**    **1009081481**  
**N/A**

**Site 7 of 10 in cluster J**

**Relative:**  
**Higher**

EDR Historical Auto Stations:  
 Name: WAY SERVICE CO  
 Year: 1933  
 Type: AUTOMOBILE REPAIRING  
  
 Name: SMITH I D  
 Year: 1937  
 Type: AUTOMOBILE REPAIRING

**Actual:**  
 243 ft.

**J95**  
**ESE**  
 < 1/8  
 0.123 mi.  
 649 ft.

**FONTAINE A H**  
**1206 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**    **1009080957**  
**N/A**

**Site 8 of 10 in cluster J**

**Relative:**  
**Higher**

EDR Historical Auto Stations:  
 Name: FONTAINE A H  
 Year: 1933  
 Type: AUTOMOBILE REPAIRING

**Actual:**  
 243 ft.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FONTAINE A H (Continued)**

**1009080957**

Name: FONTAINE A H  
Year: 1937  
Type: AUTOMOBILE REPAIRING

Name: FONTAINE A H  
Year: 1942  
Type: AUTOMOBILE REPAIRING

**O96  
SW  
< 1/8  
0.124 mi.  
655 ft.**

**HOPE PLACE HOUSING CORP  
1401 S HOPE ST  
LOS ANGELES, CA 90015**

**HAZNET S112844658  
N/A**

**Site 1 of 4 in cluster O**

**Relative:  
Lower**

HAZNET:  
envid: S112844658  
Year: 1998  
GEPaid: CAC000775104  
Contact: HOPE PLACE HOUSING CORP  
Telephone: 2134871922  
Mailing Name: Not reported  
Mailing Address: 1401 S HOPE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD009007626  
TSD County: Not reported  
Waste Category: Asbestos containing waste  
Disposal Method: Disposal, Land Fill  
Tons: .1685  
Facility County: Los Angeles

**Actual:  
234 ft.**

envid: S112844658  
Year: 1998  
GEPaid: CAC000775104  
Contact: HOPE PLACE HOUSING CORP  
Telephone: 2134871922  
Mailing Name: Not reported  
Mailing Address: 1401 S HOPE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD000088252  
TSD County: Not reported  
Waste Category: Off-specification, aged or surplus organics  
Disposal Method: Transfer Station  
Tons: .2293  
Facility County: Los Angeles

envid: S112844658  
Year: 1998  
GEPaid: CAC000775104  
Contact: HOPE PLACE HOUSING CORP  
Telephone: 2134871922  
Mailing Name: Not reported  
Mailing Address: 1401 S HOPE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD982444481  
TSD County: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HOPE PLACE HOUSING CORP (Continued)**

**S112844658**

Waste Category: Latex waste  
Disposal Method: Transfer Station  
Tons: .2293  
Facility County: Los Angeles

envid: S112844658  
Year: 1998  
GEPaid: CAC000775104  
Contact: HOPE PLACE HOUSING CORP  
Telephone: 2134871922  
Mailing Name: Not reported  
Mailing Address: 1401 S HOPE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD000088252  
TSD County: Not reported  
Waste Category: Empty containers less than 30 gallons  
Disposal Method: Transfer Station  
Tons: .0375  
Facility County: Los Angeles

envid: S112844658  
Year: 1997  
GEPaid: CAC000775104  
Contact: HOPE PLACE HOUSING CORP  
Telephone: 2134871922  
Mailing Name: Not reported  
Mailing Address: 1401 S HOPE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: AZR000005454  
TSD County: Not reported  
Waste Category: Polychlorinated biphenyls and material containing PCBs  
Disposal Method: Recycler  
Tons: 2.2040  
Facility County: Los Angeles

[Click this hyperlink](#) while viewing on your computer to access  
1 additional CA\_HAZNET: record(s) in the EDR Site Report.

**J97**  
**ESE**  
**< 1/8**  
**0.124 mi.**  
**656 ft.**

**KNASTER TRUST**  
**1200 SOUTH OLIVE ST**  
**LOS ANGELES, CA 90015**  
**Site 9 of 10 in cluster J**

**HAZNET S112868612**  
**N/A**

**Relative:**  
**Higher**

HAZNET:  
envid: S112868612  
Year: 1996  
GEPaid: CAC001138496  
Contact: KNASTER TRUST  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 1201 SOUTH OLIVE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD009007626  
TSD County: Not reported

**Actual:**  
**243 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**KNASTER TRUST (Continued)**

**S112868612**

Waste Category: Asbestos containing waste  
Disposal Method: Disposal, Land Fill  
Tons: 58.9960  
Facility County: Los Angeles

**J98  
ESE  
< 1/8  
0.124 mi.  
656 ft.**

**SIDNEY AND LINDA KASTNER TRUST  
1200 S OLIVE ST  
LOS ANGELES, CA 90015**

**HAZNET S112897928  
N/A**

**Site 10 of 10 in cluster J**

**Relative:  
Higher**

HAZNET:

envid: S112897928  
Year: 1999

**Actual:  
243 ft.**

GEPaid: CAC002112032  
Contact: SIDNEY AND LINDA KASTNER TRUST  
Telephone: 2137491923  
Mailing Name: Not reported  
Mailing Address: 1201 S OLIVE ST  
Mailing City,St,Zip: LOS ANGELES, CA 900150000  
Gen County: Not reported  
TSD EPA ID: CAD000088252  
TSD County: Not reported  
Waste Category: Contaminated soil from site clean-up  
Disposal Method: Transfer Station  
Tons: 6.7424  
Facility County: Los Angeles

**L99  
WSW  
1/8-1/4  
0.126 mi.  
665 ft.**

**Y S PRINTING  
1348 S FLOWER ST STE B  
LOS ANGELES, CA 90015**

**RCRA-SQG 1000886371  
FINDS CA0000198101**

**Site 11 of 11 in cluster L**

**Relative:  
Lower**

RCRA-SQG:

Date form received by agency: 03/31/1994  
Facility name: Y S PRINTING  
Facility address: 1348 S FLOWER ST STE B  
LOS ANGELES, CA 90015  
EPA ID: CA0000198101  
Mailing address: S FLOWER ST STE B  
LOS ANGELES, CA 90015  
Contact: SOON KWON  
Contact address: 1348 S FLOWER ST STE B  
LOS ANGELES, CA 90015  
Contact country: US  
Contact telephone: (213) 749-8939  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Actual:  
234 ft.**

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**Y S PRINTING (Continued)**

**1000886371**

Owner/Operator Summary:

Owner/operator name: SOON KWON  
 Owner/operator address: 1348 S FLOWER ST STE B  
 LOS ANGELES, CA 90015  
 Owner/operator country: Not reported  
 Owner/operator telephone: (213) 749-8939  
 Legal status: Private  
 Owner/Operator Type: Owner  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
 Mixed waste (haz. and radioactive): No  
 Recycler of hazardous waste: No  
 Transporter of hazardous waste: No  
 Treater, storer or disposer of HW: No  
 Underground injection activity: No  
 On-site burner exemption: No  
 Furnace exemption: No  
 Used oil fuel burner: No  
 Used oil processor: No  
 User oil refiner: No  
 Used oil fuel marketer to burner: No  
 Used oil Specification marketer: No  
 Used oil transfer facility: No  
 Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002615377

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**P100**  
**North**  
**1/8-1/4**  
**0.129 mi.**  
**679 ft.**

**ARCO #5033**  
**1151 S FLOWER ST**  
**LOS ANGELES, CA**  
**Site 1 of 5 in cluster P**

**RGA LUST S114574112**  
**N/A**

**Relative:**  
**Higher**

RGA LUST:

2012	ARCO #5033	1151 S FLOWER ST
2011	ARCO #5033	1151 S FLOWER ST
2010	ARCO #5033	1151 S FLOWER ST
2009	ARCO #5033	1151 S FLOWER ST
2008	ARCO #5033	1151 S FLOWER ST

**Actual:**  
**244 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s) EDR ID Number  
EPA ID Number

**P101** ARCO #5033  
**North** 1151 S FLOWER ST  
**1/8-1/4** LOS ANGELES, CA  
**0.129 mi.**  
**679 ft.** Site 2 of 5 in cluster P

**LUST** S109117550  
N/A

**Relative:**  
**Higher**

LUST:  
Region: STATE  
Global Id: T0603708034  
Latitude: 34.042115  
Longitude: -118.265642  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 04/09/2013  
Lead Agency: Not reported  
Case Worker: EL  
Local Agency: Not reported  
RB Case Number: Not reported  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

**Actual:**  
**244 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603708034  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES  
Email: eloy.luna@lacity.org  
Phone Number: Not reported

Global Id: T0603708034  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Status History:

Global Id: T0603708034  
Status: Completed - Case Closed  
Status Date: 04/09/2013

Global Id: T0603708034  
Status: Open - Case Begin Date  
Status Date: 08/31/1995

Global Id: T0603708034  
Status: Open - Site Assessment  
Status Date: 11/07/1995

Global Id: T0603708034

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ARCO #5033 (Continued)**

**S109117550**

Status: Open - Site Assessment  
 Status Date: 01/17/1996

Global Id: T0603708034  
 Status: Open - Site Assessment  
 Status Date: 05/20/1996

Global Id: T0603708034  
 Status: Open - Verification Monitoring  
 Status Date: 06/03/1996

Regulatory Activities:

Global Id: T0603708034  
 Action Type: Other  
 Date: 11/07/1995  
 Action: Leak Reported

Global Id: T0603708034  
 Action Type: ENFORCEMENT  
 Date: 04/09/2013  
 Action: Closure/No Further Action Letter

Global Id: T0603708034  
 Action Type: Other  
 Date: 08/31/1995  
 Action: Leak Discovery

**K102**  
**SSE**  
 1/8-1/4  
 0.132 mi.  
 696 ft.

**SHELLENBERGER W R**  
**1313 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009079687**  
**N/A**

**Site 4 of 4 in cluster K**

**Relative:**  
**Lower**

EDR Historical Auto Stations:

Name: SHELLENBERGER W R  
 Year: 1924  
 Type: AUTOMOBILE REPAIRING

**Actual:**  
**237 ft.**

Name: MARING SAUNDERS  
 Year: 1933  
 Type: AUTOMOBILE REPAIRING

**P103**  
**North**  
 1/8-1/4  
 0.132 mi.  
 697 ft.

**MC KENNA E J**  
**1147 S FLOWER ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009081733**  
**N/A**

**Site 3 of 5 in cluster P**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name: MC KENNA E J  
 Year: 1937  
 Type: AUTOMOBILE REPAIRING

**Actual:**  
**244 ft.**

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**O104** CALIFORNIA HOSPITAL MEDICAL CE  
**SW** 1414 S HOPE ST  
 1/8-1/4 LOS ANGELES, CA 90015  
 0.134 mi.  
 707 ft. **Site 2 of 4 in cluster O**

**HIST UST** U001560603  
 N/A

**Relative:**  
**Lower**

HIST UST:  
 Region: STATE  
 Facility ID: 00000019072  
 Facility Type: Other  
 Other Type: HOSPITAL  
 Contact Name: RICHARD SEARS  
 Telephone: 2137425896  
 Owner Name: LUTHERAN HOSPITAL SOCIETY OF  
 Owner Address: 1423 SOUTH GRAND AVE.  
 Owner City,St,Zip: LOS ANGELES, CA 90015  
 Total Tanks: 0002

**Actual:**  
 233 ft.

Tank Num: 001  
 Container Num: ONE  
 Year Installed: 1963  
 Tank Capacity: 00006000  
 Tank Used for: PRODUCT  
 Type of Fuel: DIESEL  
 Container Construction Thickness: Not reported  
 Leak Detection: Visual, Stock Inventor

Tank Num: 002  
 Container Num: TWO  
 Year Installed: 1963  
 Tank Capacity: 00007480  
 Tank Used for: PRODUCT  
 Type of Fuel: Not reported  
 Container Construction Thickness: 9  
 Leak Detection: Visual, Stock Inventor

**O105** CALIFORNIA MEDICAL CENTER  
**SW** 1414 S HOPE ST  
 1/8-1/4 LOS ANGELES, CA 90015  
 0.134 mi.  
 707 ft. **Site 3 of 4 in cluster O**

**CA FID UST** S101617166  
**SWEEPS UST** N/A

**Relative:**  
**Lower**

CA FID UST:  
 Facility ID: 19011484  
 Regulated By: UTNKA  
 Regulated ID: 00019072  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: 2137425896  
 Mail To: Not reported  
 Mailing Address: 1423 S GRAND AVE  
 Mailing Address 2: Not reported  
 Mailing City,St,Zip: LOS ANGELES 900150000  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNs Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**Actual:**  
 233 ft.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CALIFORNIA MEDICAL CENTER (Continued)**

**S101617166**

**SWEEPS UST:**

Status: Not reported  
Comp Number: 1378  
Number: Not reported  
Board Of Equalization: 44-011758  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-001378-000001  
Tank Status: Not reported  
Capacity: 6000  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: PRODUCT  
Content: DIESEL  
Number Of Tanks: 2

Status: Not reported  
Comp Number: 1378  
Number: Not reported  
Board Of Equalization: 44-011758  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-001378-000002  
Tank Status: Not reported  
Capacity: 7480  
Active Date: Not reported  
Tank Use: CHEMICAL  
STG: PRODUCT  
Content: UNKNOWN  
Number Of Tanks: Not reported

**P106**  
**North**  
**1/8-1/4**  
**0.134 mi.**  
**708 ft.**

**THOMPSON C J**  
**1145 S FLOWER ST**  
**LOS ANGELES, CA**  
**Site 4 of 5 in cluster P**

**EDR US Hist Auto Stat 1009083907**  
**N/A**

**Relative:**  
**Higher**  
**Actual:**  
**244 ft.**

EDR Historical Auto Stations:  
Name: THOMPSON C J  
Year: 1942  
Type: GASOLINE AND OIL SERVICE STATIONS

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**Q107**  
**South**  
**1/8-1/4**  
**0.143 mi.**  
**755 ft.**

**CALIFORNIA HOSPITAL MEDICAL CENTER**  
**1401 S GRAND AVE**  
**LOS ANGELES, CA 90015**

**Site 1 of 8 in cluster Q**

**RCRA-SQG** **1000818924**  
**FINDS** **CAD983648593**  
**CA FID UST**  
**HAZNET**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 12/29/1998

Facility name: CALIFORNIA HOSPITAL MEDICAL CENTER

Facility address: 1401 S GRAND AVE  
LOS ANGELES, CA 90015

EPA ID: CAD983648593

Contact: KAREN HORLICK

Contact address: 1401 S GRAND AVE  
LOS ANGELES, CA 90015

Contact country: US

Contact telephone: (213) 742-5482

Contact email: Not reported

EPA Region: 09

Classification: Small Small Quantity Generator

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: CATHOLIC HEALTH CARE WEST  
Owner/operator address: 790 E COLORADO BLVD STE 600  
PASADENA, CA 91101

Owner/operator country: Not reported

Owner/operator telephone: (626) 744-2300

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: Not reported

Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Mixed waste (haz. and radioactive): No

Recycler of hazardous waste: No

Transporter of hazardous waste: No

Treater, storer or disposer of HW: No

Underground injection activity: No

On-site burner exemption: No

Furnace exemption: No

Used oil fuel burner: No

Used oil processor: No

User oil refiner: No

Used oil fuel marketer to burner: No

Used oil Specification marketer: No

Used oil transfer facility: No

Used oil transporter: No

. Waste code: D001

. Waste name: IGNITABLE WASTE

. Waste code: D002



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CALIFORNIA HOSPITAL MEDICAL CENTER (Continued)**

**1000818924**

- . Waste name: CORROSIVE WASTE
- . Waste code: D003
- . Waste name: REACTIVE WASTE
- . Waste code: U122
- . Waste name: FORMALDEHYDE
- . Waste code: U151
- . Waste name: MERCURY
- . Waste code: U239
- . Waste name: BENZENE, DIMETHYL- (I,T) (OR) XYLENE (I)

Violation Status: No violations found

**FINDS:**

Registry ID: 110002884816

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**CA FID UST:**

Facility ID: 19000622  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2137482411  
Mail To: Not reported  
Mailing Address: 1401 S GRAND AVE  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**HAZNET:**

envid: 1000818924  
Year: 2013  
GEPaid: CAD983648593  
Contact: M A MUNIZ-DIR FACS & CONSTRCTN  
Telephone: 2137425888  
Mailing Name: Not reported  
Mailing Address: 1401 S GRAND AVE  
Mailing City,St,Zip: LOS ANGELES, CA 900153010

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CALIFORNIA HOSPITAL MEDICAL CENTER (Continued)**

**1000818924**

Gen County: Los Angeles  
TSD EPA ID: CAD099452708  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Other Recovery Of Reclamation For Reuse Including Acid Regeneration,  
Organics Recovery Ect  
Tons: 0.209  
Facility County: Not reported

envid: 1000818924  
Year: 2012  
GEPaid: CAD983648593  
Contact: M A MUNIZ-DIR FACS & CONSTRCTN  
Telephone: 2137425888  
Mailing Name: Not reported  
Mailing Address: 1401 S GRAND AVE  
Mailing City,St,Zip: LOS ANGELES, CA 900153010  
Gen County: Los Angeles  
TSD EPA ID: CAD099452708  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Other Recovery Of Reclamation For Reuse Including Acid Regeneration,  
Organics Recovery Ect  
Tons: 0.209  
Facility County: Los Angeles

envid: 1000818924  
Year: 2012  
GEPaid: CAD983648593  
Contact: M A MUNIZ-DIR FACS & CONSTRCTN  
Telephone: 2137425888  
Mailing Name: Not reported  
Mailing Address: 1401 S GRAND AVE  
Mailing City,St,Zip: LOS ANGELES, CA 900153010  
Gen County: Los Angeles  
TSD EPA ID: CAD099452708  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Other Recovery Of Reclamation For Reuse Including Acid Regeneration,  
Organics Recovery Ect  
Tons: 0.209  
Facility County: Los Angeles

envid: 1000818924  
Year: 2011  
GEPaid: CAD983648593  
Contact: M A MUNIZ-DIR FACS & CONSTRCTN  
Telephone: 2137425888  
Mailing Name: Not reported  
Mailing Address: 1401 S GRAND AVE  
Mailing City,St,Zip: LOS ANGELES, CA 900153010  
Gen County: Not reported  
TSD EPA ID: CAD099452708  
TSD County: Not reported  
Waste Category: Waste oil and mixed oil  
Disposal Method: Other Recovery Of Reclamation For Reuse Including Acid Regeneration,  
Organics Recovery Ect

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CALIFORNIA HOSPITAL MEDICAL CENTER (Continued)**

**1000818924**

Tons: 0.209  
 Facility County: Los Angeles

envid: 1000818924  
 Year: 2011  
 GEPAID: CAD983648593  
 Contact: M A MUNIZ-DIR FACS & CONSTRCTN  
 Telephone: 2137425888  
 Mailing Name: Not reported  
 Mailing Address: 1401 S GRAND AVE  
 Mailing City,St,Zip: LOS ANGELES, CA 900153010  
 Gen County: Not reported  
 TSD EPA ID: CAD099452708  
 TSD County: Not reported  
 Waste Category: Waste oil and mixed oil  
 Disposal Method: Other Recovery Of Reclamation For Reuse Including Acid Regeneration,  
 Organics Recovery Ect

Tons: 0.209  
 Facility County: Los Angeles

[Click this hyperlink](#) while viewing on your computer to access 116 additional CA\_HAZNET: record(s) in the EDR Site Report.

**Q108**  
**South**  
**1/8-1/4**  
**0.143 mi.**  
**755 ft.**

**CALIFORNIA MEDICAL CENTER**  
**1401 S GRAND AVE**  
**LOS ANGELES, CA 90015**  
**Site 2 of 8 in cluster Q**

**UST U003781264**  
**SWEEPS UST N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**233 ft.**

UST:  
 Facility ID: 24940  
 Permitting Agency: LOS ANGELES, CITY OF  
 Latitude: 34.03712  
 Longitude: -118.26547

SWEEPS UST:  
 Status: Active  
 Comp Number: 5821  
 Number: 1  
 Board Of Equalization: Not reported  
 Referral Date: 07-26-93  
 Action Date: 07-26-93  
 Created Date: 02-29-88  
 Owner Tank Id: Not reported  
 SWRCB Tank Id: Not reported  
 Tank Status: Not reported  
 Capacity: Not reported  
 Active Date: Not reported  
 Tank Use: Not reported  
 STG: Not reported  
 Content: Not reported  
 Number Of Tanks: Not reported

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**Q109**  
**South**  
**1/8-1/4**  
**0.144 mi.**  
**758 ft.**

**CIGNA HEALTHPLANS OF S CA**  
**1400 S GRAND AVE**  
**LOS ANGELES, CA 90015**

**RCRA-SQG** **1000597785**  
**FINDS** **CAD983618125**

**Site 3 of 8 in cluster Q**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 02/06/1992  
 Facility name: CIGNA HEALTHPLANS OF S CA  
 Facility address: 1400 S GRAND AVE  
 LOS ANGELES, CA 90015

**Actual:**  
**233 ft.**

EPA ID: CAD983618125  
 Mailing address: E HUNTINGTON DR  
 ARCADIA, CA 91006

Contact: PAULETTE SHAW  
 Contact address: 450 E HUNTINGTON DR  
 ARCADIA, CA 91006

Contact country: US  
 Contact telephone: (818) 445-3000  
 Contact email: Not reported

EPA Region: 09  
 Classification: Small Small Quantity Generator  
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: ROSS LOOS HEALTHPLANS OF CA INC  
 Owner/operator address: 505 N BRAND BLVD LEGAL DEPT  
 GLENDALE, CA 91203

Owner/operator country: Not reported  
 Owner/operator telephone: (818) 500-6376  
 Legal status: Private

Owner/Operator Type: Owner  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
 Mixed waste (haz. and radioactive): No  
 Recycler of hazardous waste: No  
 Transporter of hazardous waste: No  
 Treater, storer or disposer of HW: No  
 Underground injection activity: No  
 On-site burner exemption: No  
 Furnace exemption: No  
 Used oil fuel burner: No  
 Used oil processor: No  
 User oil refiner: No  
 Used oil fuel marketer to burner: No  
 Used oil Specification marketer: No  
 Used oil transfer facility: No  
 Used oil transporter: No

Violation Status: No violations found

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CIGNA HEALTHPLANS OF S CA (Continued)**

**1000597785**

**FINDS:**

Registry ID: 110002868335

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**Q110**  
**South**  
**1/8-1/4**  
**0.144 mi.**  
**758 ft.**

**LOGAN R J**  
**1400 S GRAND AVE**  
**LOS ANGELES, CA**  
**Site 4 of 8 in cluster Q**

**EDR US Hist Auto Stat** **1009078741**  
**N/A**

**Relative:**  
**Lower**

**EDR Historical Auto Stations:**

Name: WESSELS L N  
Year: 1929

**Actual:**  
**233 ft.**

Type: GASOLINE AND OIL SERVICE STATION

Name: WESSELS L N  
Year: 1933  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: FOLEY SANFORD  
Year: 1937  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: LOGAN R J  
Year: 1942  
Type: GASOLINE AND OIL SERVICE STATIONS

**O111**  
**SW**  
**1/8-1/4**  
**0.146 mi.**  
**769 ft.**

**TRAVIS EARL**  
**1427 S HOPE ST**  
**LOS ANGELES, CA**  
**Site 4 of 4 in cluster O**

**EDR US Hist Auto Stat** **1009079200**  
**N/A**

**Relative:**  
**Lower**

**EDR Historical Auto Stations:**

Name: MC CLUAN TRAVIS  
Year: 1924

**Actual:**  
**233 ft.**

Type: AUTOMOBILE REPAIRING

Name: TRAVIS EARL  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

**R112**      **SPEEDO ELECTRIC CO**      **EDR US Hist Auto Stat**      **1009080883**  
**East**      **1155 S OLIVE ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.150 mi.**  
**791 ft.**      **Site 1 of 16 in cluster R**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:      SPEEDO ELECTRIC CO  
                   Year:      1937  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**245 ft.**

**P113**      **WING QUONG**      **EDR US Hist Cleaners**      **1009190294**  
**North**      **1124 S FLOWER ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.152 mi.**  
**800 ft.**      **Site 5 of 5 in cluster P**

**Relative:**      EDR Historical Cleaners:  
**Higher**      Name:      WING QUONG  
                   Year:      1924  
**Actual:**      Type:      LAUNDRIES ORIENTAL  
**245 ft.**

**S114**      **LOWENSTEIN JOS**      **EDR US Hist Auto Stat**      **1009079595**  
**SE**      **1229 S HILL ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.153 mi.**  
**810 ft.**      **Site 1 of 2 in cluster S**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:      SCHNEIDER W J  
                   Year:      1924  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**240 ft.**  
                   Name:      LOWENSTEIN JOS  
                   Year:      1929  
                   Type:      AUTOMOBILE REPAIRING AND SERVICE STATIONS

**Q115**      **LIVINGSTON CHAS R**      **EDR US Hist Auto Stat**      **1009077744**  
**South**      **320 W 14TH ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.154 mi.**  
**811 ft.**      **Site 5 of 8 in cluster Q**

**Relative:**      EDR Historical Auto Stations:  
**Lower**      Name:      LIVINGSTON CHAS R  
                   Year:      1924  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**233 ft.**  
                   Name:      LIVINGSTON C B  
                   Year:      1929  
                   Type:      AUTOMOBILE REPAIRING AND SERVICE STATIONS  
                   Name:      LIVINGSTON C R  
                   Year:      1933  
                   Type:      AUTOMOBILE REPAIRING  
                   Name:      HILL AUTO BODY WORKS

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LIVINGSTON CHAS R (Continued)**

1009077744

Year: 1937  
Type: AUTOMOBILE REPAIRING  
  
Name: AINSWORTH ARTH  
Year: 1942  
Type: AUTOMOBILE REPAIRING

**Q116** **PILLACK PROPERTY**  
**South** **1410 GRAND AVE**  
**1/8-1/4** **EAST LOS ANGELES, CA 90245**  
**0.155 mi.**  
**816 ft.** **Site 6 of 8 in cluster Q**

**LUST** **S104916213**  
**N/A**

**Relative:**  
**Lower**

**LUST:**  
Region: STATE  
Global Id: T0603704135  
Latitude: 34.0370135  
Longitude: -118.2652686  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 01/26/1990  
Lead Agency: Not reported  
Case Worker: JOA  
Local Agency: Not reported  
RB Case Number: I-14091  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Aviation  
Site History: Not reported

**Actual:**  
**233 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

**Contact:**

Global Id: T0603704135  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Global Id: T0603704135  
Contact Type: Local Agency Caseworker  
Contact Name: JOHN AWUJO  
Organization Name: LOS ANGELES COUNTY  
Address: 900 S FREMONT AVE  
City: ALHAMBRA  
Email: jawujo@dpw.lacounty.gov  
Phone Number: 6264583507

**Status History:**

Global Id: T0603704135  
Status: Completed - Case Closed  
Status Date: 01/26/1990

Global Id: T0603704135

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PILLACK PROPERTY (Continued)**

**S104916213**

Status: Open - Case Begin Date  
Status Date: 01/26/1990

Regulatory Activities:  
Global Id: T0603704135  
Action Type: Other  
Date: 01/26/1990  
Action: Leak Reported

**LUST REG 4:**

Region: 4  
Regional Board: 04  
County: Los Angeles  
Facility Id: I-14091  
Status: Case Closed  
Substance: 1  
Substance Quantity: Not reported  
Local Case No: Not reported  
Case Type: Soil  
Abatement Method Used at the Site: Not reported  
Global ID: T0603704135  
W Global ID: W0607701254  
Staff: UNK  
Local Agency: 19000  
Cross Street: Not reported  
Enforcement Type: Not reported  
Date Leak Discovered: Not reported  
Date Leak First Reported: 1/26/1990  
Date Leak Record Entered: 2/5/1990  
Date Confirmation Began: Not reported  
Date Leak Stopped: Not reported  
Date Case Last Changed on Database: 2/16/1990  
Date the Case was Closed: 1/26/1990  
How Leak Discovered: Not reported  
How Leak Stopped: Not reported  
Cause of Leak: Not reported  
Leak Source: Not reported  
Operator: Not reported  
Water System: UNOCAL - JIM SCOTT  
Well Name: Not reported  
Approx. Dist To Production Well (ft): 5591.98947487533417639747716  
Source of Cleanup Funding: Not reported  
Preliminary Site Assessment Workplan Submitted: Not reported  
Preliminary Site Assessment Began: Not reported  
Pollution Characterization Began: Not reported  
Remediation Plan Submitted: Not reported  
Remedial Action Underway: Not reported  
Post Remedial Action Monitoring Began: Not reported  
Enforcement Action Date: Not reported  
Historical Max MTBE Date: Not reported  
Hist Max MTBE Conc in Groundwater: Not reported  
Hist Max MTBE Conc in Soil: Not reported  
Significant Interim Remedial Action Taken: Not reported  
GW Qualifier: Not reported  
Soil Qualifier: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PILLACK PROPERTY (Continued)**

**S104916213**

Organization: Not reported  
Owner Contact: Not reported  
Responsible Party: RICHARD B. PILLACK  
RP Address: 4315 INGLEWOOD BOULEVARD, LOS ANGELES, 90066  
Program: LUST  
Lat/Long: 34.0370135 / -1  
Local Agency Staff: Not reported  
Beneficial Use: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Suspended: Not reported  
Assigned Name: 3901254-001GEN  
Summary: Not reported

**Q117** **TRIPP H M** **EDR US Hist Auto Stat** **1009077929**  
**South** **1406 S GRAND AVE** **N/A**  
**1/8-1/4** **LOS ANGELES, CA**  
**0.155 mi.**  
**817 ft.** **Site 7 of 8 in cluster Q**

**Relative:** EDR Historical Auto Stations:  
**Lower** Name: KLOSTER OSCAR  
Year: 1924  
**Actual:** Type: AUTOMOBILE REPAIRING  
**233 ft.**  
Name: TRIPP H M  
Year: 1924  
Type: AUTOMOBILE REPAIRING  
Name: TRIPP H M  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS  
Name: MANTES C R  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**S118** **YAGER C A** **EDR US Hist Auto Stat** **1009080626**  
**SE** **221 W PICO BLVD** **N/A**  
**1/8-1/4** **LOS ANGELES, CA**  
**0.155 mi.**  
**817 ft.** **Site 2 of 2 in cluster S**

**Relative:** EDR Historical Auto Stations:  
**Lower** Name: YAGER C A  
Year: 1937  
**Actual:** Type: AUTOMOBILE REPAIRING  
**238 ft.**  
Name: DICKSON K G  
Year: 1937  
Type: AUTOMOBILE REPAIRING  
Name: DICKSON K G  
Year: 1942  
Type: AUTOMOBILE REPAIRING

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**R119**      **TRANSAMERICA OCCIDENTAL LIFE**  
**East**      **1150 S OLIVE ST**  
**1/8-1/4**     **LOS ANGELES, CA 90015**  
**0.155 mi.**  
**820 ft.**     **Site 2 of 16 in cluster R**

**CA FID UST**    **S101585150**  
**SWEEPS UST**   **N/A**  
**EMI**

**Relative:**  
**Higher**

CA FID UST:  
Facility ID:            19020393  
Regulated By:        UTKNA  
Regulated ID:        Not reported  
Cortese Code:        Not reported  
SIC Code:             Not reported  
Facility Phone:      2137422671  
Mail To:               Not reported  
Mailing Address:     1150 S OLIVE ST  
Mailing Address 2:   Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact:               Not reported  
Contact Phone:       Not reported  
DUNS Number:        Not reported  
NPDES Number:      Not reported  
EPA ID:                Not reported  
Comments:            Not reported  
Status:                Active

**Actual:**  
**245 ft.**

SWEEPS UST:  
Status:                Active  
Comp Number:        5211  
Number:                1  
Board Of Equalization: Not reported  
Referral Date:        03-05-93  
Action Date:          04-05-94  
Created Date:        02-29-88  
Owner Tank Id:        Not reported  
SWRCB Tank Id:      Not reported  
Tank Status:          Not reported  
Capacity:              Not reported  
Active Date:          Not reported  
Tank Use:              Not reported  
STG:                    Not reported  
Content:                Not reported  
Number Of Tanks:    Not reported

EMI:

Year:                    1990  
County Code:          19  
Air Basin:              SC  
Facility ID:            74186  
Air District Name:     SC  
SIC Code:               6311  
Air District Name:     SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**TRANSAMERICA OCCIDENTAL LIFE (Continued)**

**S101585150**

Particulate Matter Tons/Yr: 0  
 Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1995  
 County Code: 19  
 Air Basin: SC  
 Facility ID: 74186  
 Air District Name: SC  
 SIC Code: 6311  
 Air District Name: SOUTH COAST AQMD  
 Community Health Air Pollution Info System: Not reported  
 Consolidated Emission Reporting Rule: Not reported  
 Total Organic Hydrocarbon Gases Tons/Yr: 0  
 Reactive Organic Gases Tons/Yr: 0  
 Carbon Monoxide Emissions Tons/Yr: 0  
 NOX - Oxides of Nitrogen Tons/Yr: 0  
 SOX - Oxides of Sulphur Tons/Yr: 0  
 Particulate Matter Tons/Yr: 0  
 Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

<p><b>R120</b>  <b>East</b>  <b>1/8-1/4</b>  <b>0.156 mi.</b>  <b>822 ft.</b></p>	<p><b>SCHERER S A</b>  <b>1148 S OLIVE ST</b>  <b>LOS ANGELES, CA</b></p> <p><b>Site 3 of 16 in cluster R</b></p> <p>EDR Historical Auto Stations:        Name: SCHERER S A        Year: 1929        Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS</p>	<p><b>EDR US Hist Auto Stat</b></p>	<p><b>1009078758</b>  <b>N/A</b></p>
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<p><b>T121</b>  <b>WSW</b>  <b>1/8-1/4</b>  <b>0.156 mi.</b>  <b>825 ft.</b></p>	<p><b>GRANT W L</b>  <b>1418 S FLOWER ST</b>  <b>LOS ANGELES, CA</b></p> <p><b>Site 1 of 2 in cluster T</b></p> <p>EDR Historical Cleaners:        Name: GRANT W L        Year: 1924        Type: CLOTHES CLEANERS PRESSERS AND DYERS</p>	<p><b>EDR US Hist Cleaners</b></p>	<p><b>1009188367</b>  <b>N/A</b></p>
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<p><b>U122</b>  <b>SSE</b>  <b>1/8-1/4</b>  <b>0.156 mi.</b>  <b>826 ft.</b></p>	<p><b>LA FIRE STATION 10</b>  <b>1335 S OLIVE ST</b>  <b>LOS ANGELES, CA 90012</b></p> <p><b>Site 1 of 6 in cluster U</b></p> <p>RCRA-SQG:        Date form received by agency: 03/09/1987        Facility name: LA FIRE STATION 10        Facility address: 1335 S OLIVE ST        LOS ANGELES, CA 90012        EPA ID: CAD981963309        Mailing address: 200 N MAIN RM EIGHTH HUNDRED C</p>	<p><b>RCRA-SQG</b>  <b>FINDS</b></p>	<p><b>1000229468</b>  <b>CAD981963309</b></p>
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Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA FIRE STATION 10 (Continued)

1000229468

Contact: LOS ANGELES, CA 90012  
Contact address: ENVIRONMENTAL MANAGER  
1335 S OLIVE ST  
LOS ANGELES, CA 90012  
Contact country: US  
Contact telephone: (213) 485-2527  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: CITY OF LA  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Municipal  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Municipal  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**LA FIRE STATION 10 (Continued)**

**1000229468**

Registry ID: 110002756884

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**U123**  
**SSE**  
**1/8-1/4**  
**0.156 mi.**  
**826 ft.**

**LOS ANGELES FIRE STATION #10**  
**1335 S OLIVE ST**  
**LOS ANGELES, CA 90015**  
**Site 2 of 6 in cluster U**

**CA FID UST** **S101585515**  
**N/A**

**Relative:**  
**Lower**

CA FID UST:  
 Facility ID: 19024445  
 Regulated By: UTNKA  
 Regulated ID: 00047462  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: 2134855846  
 Mail To: Not reported  
 Mailing Address: 200 N MAIN STREET-ROOM  
 Mailing Address 2: Not reported  
 Mailing City, St, Zip: LOS ANGELES 900150000  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNs Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**Actual:**  
**235 ft.**

**U124**  
**SSE**  
**1/8-1/4**  
**0.156 mi.**  
**826 ft.**

**LOS ANGELES FIRE STATION 10**  
**1335 S OLIVE ST**  
**LOS ANGELES, CA 90015**  
**Site 3 of 6 in cluster U**

**UST** **U003781158**  
**SWEEPS UST** **N/A**

**Relative:**  
**Lower**

UST:  
 Facility ID: 24801  
 Permitting Agency: LOS ANGELES, CITY OF  
 Latitude: 34.038741  
 Longitude: -118.2624684

**Actual:**  
**235 ft.**

SWEEPS UST:  
 Status: Active  
 Comp Number: 2631

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LOS ANGELES FIRE STATION 10 (Continued)**

**U003781158**

Number: 4  
Board Of Equalization: 44-012042  
Referral Date: 03-05-93  
Action Date: 03-31-94  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002631-000001  
Tank Status: A  
Capacity: 1000  
Active Date: 04-20-88  
Tank Use: M.V. FUEL  
STG: P  
Content: DIESEL  
Number Of Tanks: 1

**U125  
SSE  
1/8-1/4  
0.156 mi.  
826 ft.**

**FIRE STATION #10  
1335 S OLIVE ST  
LOS ANGELES, CA 90015  
Site 4 of 6 in cluster U**

**HIST UST U001560611  
N/A**

**Relative:  
Lower  
Actual:  
235 ft.**

HIST UST:  
Region: STATE  
Facility ID: 00000047462  
Facility Type: Other  
Other Type: FIRE STATION  
Contact Name: Not reported  
Telephone: 2134856939  
Owner Name: CITY OF LOS ANGELES  
Owner Address: 200 N. MAIN ST.  
Owner City,St,Zip: LOS ANGELES, CA 90012  
Total Tanks: 0001  
  
Tank Num: 001  
Container Num: FS10-1  
Year Installed: Not reported  
Tank Capacity: 00001000  
Tank Used for: PRODUCT  
Type of Fuel: DIESEL  
Container Construction Thickness: Not reported  
Leak Detection: Stock Inventor

**V126  
WNW  
1/8-1/4  
0.158 mi.  
832 ft.**

**J AND J FORD DBA FAMILY FORD  
1248 S FIGUEROA ST  
LOS ANGELES, CA 90015  
Site 1 of 8 in cluster V**

**RCRA-SQG 1000352533  
FINDS CAD982516676**

**Relative:  
Lower  
Actual:  
238 ft.**

RCRA-SQG:  
Date form received by agency: 06/18/1997  
Facility name: J AND J FORD DBA FAMILY FORD  
Facility address: 1248 S FIGUEROA ST  
LOS ANGELES, CA 90015  
EPA ID: CAD982516676  
Contact: LEO BROWN  
Contact address: 1248 S FIGUEROA ST

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**J AND J FORD DBA FAMILY FORD (Continued)**

**1000352533**

LOS ANGELES, CA 90015  
Contact country: US  
Contact telephone: (213) 746-3673  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: J AND J FORD MARY SPIZZIRI  
Owner/operator address: 1248 S FIGUEROA ST  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 746-3673  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002839108

Environmental Interest/Information System

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**J AND J FORD DBA FAMILY FORD (Continued)**

**1000352533**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

<b>N127</b>	<b>KIM Y H</b>	<b>EDR US Hist Cleaners</b>	<b>1009185616</b>
<b>NE</b>	<b>426 W 11TH ST</b>		<b>N/A</b>
<b>1/8-1/4</b>	<b>LOS ANGELES, CA</b>		
<b>0.158 mi.</b>			
<b>834 ft.</b>	<b>Site 2 of 2 in cluster N</b>		
<b>Relative:</b>	EDR Historical Cleaners:		
<b>Higher</b>	Name:	KIM Y H	
	Year:	1924	
<b>Actual:</b>	Type:	CLOTHES CLEANERS PRESSERS AND DYERS	
<b>246 ft.</b>			

<b>W128</b>	<b>MOSES F N</b>	<b>EDR US Hist Auto Stat</b>	<b>1009080466</b>
<b>NE</b>	<b>1101 S GRAND AVE</b>		<b>N/A</b>
<b>1/8-1/4</b>	<b>LOS ANGELES, CA</b>		
<b>0.160 mi.</b>			
<b>845 ft.</b>	<b>Site 1 of 2 in cluster W</b>		
<b>Relative:</b>	EDR Historical Auto Stations:		
<b>Higher</b>	Name:	MOSES F N	
	Year:	1933	
<b>Actual:</b>	Type:	GASOLINE AND OIL SERVICE STATIONS	
<b>247 ft.</b>			
	Name:	MOSES F N	
	Year:	1937	
	Type:	GASOLINE AND OIL SERVICE STATIONS	
	Name:	MOSES F N	
	Year:	1942	
	Type:	GASOLINE AND OIL SERVICE STATIONS	

<b>U129</b>	<b>GRAND PRIX AUTO BODY</b>	<b>RCRA-SQG</b>	<b>1000293998</b>
<b>SSE</b>	<b>1340 S OLIVE ST</b>	<b>FINDS</b>	<b>CAD981160294</b>
<b>1/8-1/4</b>	<b>LOS ANGELES, CA 90015</b>		
<b>0.160 mi.</b>			
<b>847 ft.</b>	<b>Site 5 of 6 in cluster U</b>		
<b>Relative:</b>	RCRA-SQG:		
<b>Lower</b>	Date form received by agency: 10/19/1998		
	Facility name:	GRAND PRIX AUTO BODY	
<b>Actual:</b>	Facility address:	1340 S OLIVE ST	
<b>234 ft.</b>		LOS ANGELES, CA 900153019	
	EPA ID:	CAD981160294	
	Contact:	RAYMOND KUBOTA	
	Contact address:	1340 S OLIVE ST	
		LOS ANGELES, CA 900153019	
	Contact country:	US	
	Contact telephone:	(213) 748-8612	



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRAND PRIX AUTO BODY (Continued)**

**1000293998**

Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: RAYMOND S KUBOTA  
Owner/operator address: 262 S ARDEN BLVD  
LOS ANGELES, CA 90004  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 938-9503  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999

Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

. Waste code: D001  
. Waste name: IGNITABLE WASTE

Historical Generators:

Date form received by agency: 09/01/1996  
Site name: GRAND PRIX AUTO BODY  
Classification: Small Quantity Generator

Violation Status: No violations found

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRAND PRIX AUTO BODY (Continued)**

**1000293998**

FINDS:

Registry ID: 110002677988

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

U130  
SSE  
1/8-1/4  
0.160 mi.  
847 ft.

**B M AUTO RECONSTRUCTION**  
**1340 S OLIVE ST**  
**LOS ANGELES, CA**  
**Site 6 of 6 in cluster U**

**EDR US Hist Auto Stat 1009079051**  
**N/A**

**Relative:**  
**Lower**

EDR Historical Auto Stations:

Name: B M AUTO REONSTRUCTION  
Year: 1933  
Type: AUTOMOBILE REPAIRING

Name: B M AUTO RECONSTRUCTION  
Year: 1937  
Type: AUTOMOBILE REPAIRING

Name: B M AUTO RECONSTRUCTION CO  
Year: 1942  
Type: AUTOMOBILE REPAIRING

Name: GRAND PRIX AUTO BODY  
Year: 1999  
Address: 1340 S OLIVE ST

Name: GRAND PRIX AUTO BODY  
Year: 2001  
Address: 1340 S OLIVE ST

Name: GRAND PRIX AUTO BODY  
Year: 2002  
Address: 1340 S OLIVE ST

Name: GRAND PRIX AUTO BODY  
Year: 2003  
Address: 1340 S OLIVE ST

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
V131 NW 1/8-1/4 0.161 mi. 850 ft.	<b>LORD MOTOR CAR CO</b> 1240 S FIGUEROA ST LOS ANGELES, CA  Site 2 of 8 in cluster V	EDR US Hist Auto Stat	1009079603 N/A
Relative: Lower	EDR Historical Auto Stations: Name: LORD MOTOR CAR CO Year: 1924 Type: AUTOMOBILE REPAIRING		
Actual: 239 ft.			
V132 NW 1/8-1/4 0.163 mi. 860 ft.	<b>HEIDE HENRY</b> 1237 S FIGUEROA ST LOS ANGELES, CA  Site 3 of 8 in cluster V	EDR US Hist Auto Stat	1009079445 N/A
Relative: Lower	EDR Historical Auto Stations: Name: HEIDE HENRY Year: 1924 Type: AUTOMOBILE REPAIRING		
Actual: 239 ft.			
R133 East 1/8-1/4 0.163 mi. 862 ft.	<b>LUARD L S</b> 1138 S OLIVE ST LOS ANGELES, CA  Site 4 of 16 in cluster R	EDR US Hist Auto Stat	1009082057 N/A
Relative: Higher	EDR Historical Auto Stations: Name: LUARD L S Year: 1942 Type: AUTOMOBILE REPAIRING		
Actual: 245 ft.			
R134 East 1/8-1/4 0.164 mi. 864 ft.	<b>CLEGHORN ROBT</b> 1137 S OLIVE ST LOS ANGELES, CA  Site 5 of 16 in cluster R	EDR US Hist Auto Stat	1009080789 N/A
Relative: Higher	EDR Historical Auto Stations: Name: CLEGHORN ROBT Year: 1937 Type: AUTOMOBILE REPAIRING		
Actual: 246 ft.			
V135 WNW 1/8-1/4 0.164 mi. 867 ft.	<b>CITY OF LOS ANGELES</b> 1301 S FIGUEROA ST LOS ANGELES, CA 90015  Site 4 of 8 in cluster V	CA FID UST SWEEPS UST	S101588329 N/A
Relative: Lower	CA FID UST: Facility ID: 19056575 Regulated By: UTNKA Regulated ID: Not reported Cortese Code: Not reported		
Actual: 236 ft.			

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CITY OF LOS ANGELES (Continued)**

**S101588329**

SIC Code: Not reported  
 Facility Phone: 2137411151  
 Mail To: Not reported  
 Mailing Address: 1301 S FIGUEROA ST  
 Mailing Address 2: Not reported  
 Mailing City,St,Zip: LOS ANGELES 90015  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNS Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**SWEEPS UST:**

Status: Active  
 Comp Number: 8050  
 Number: 4  
 Board Of Equalization: Not reported  
 Referral Date: 12-01-92  
 Action Date: 12-01-92  
 Created Date: 08-10-92  
 Owner Tank Id: Not reported  
 SWRCB Tank Id: Not reported  
 Tank Status: Not reported  
 Capacity: Not reported  
 Active Date: Not reported  
 Tank Use: Not reported  
 STG: Not reported  
 Content: Not reported  
 Number Of Tanks: Not reported

V136  
 WNW  
 1/8-1/4  
 0.164 mi.  
 867 ft.

**L A CONVENTION CENTER**  
**1301 S FIGUEROA ST**  
**LOS ANGELES, CA 90015**  
 Site 5 of 8 in cluster V

**UST U003780360**  
**N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**236 ft.**

UST:  
 Facility ID: 23878  
 Permitting Agency: LOS ANGELES, CITY OF  
 Latitude: 34.04062  
 Longitude: -118.26805

X137  
 NNW  
 1/8-1/4  
 0.166 mi.  
 877 ft.

**LOS ANGELES CONVENTION CENTER**  
**1201 S FIGUEROA ST**  
**LOS ANGELES, CA 90015**  
 Site 1 of 9 in cluster X

**CA FID UST 1000303628**  
**HIST UST N/A**  
**SWEEPS UST**  
**WDS**

**Relative:**  
**Higher**  
  
**Actual:**  
**240 ft.**

CA FID UST:  
 Facility ID: 19001844  
 Regulated By: UTKNI  
 Regulated ID: 00052638  
 Cortese Code: Not reported  
 SIC Code: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LOS ANGELES CONVENTION CENTER (Continued)**

**1000303628**

Facility Phone: 2137411151  
Mail To: Not reported  
Mailing Address: 200 N MAIN STREET-ROOM  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Inactive

HIST UST:

Region: STATE  
Facility ID: 00000052638  
Facility Type: Other  
Other Type: CONVENTION CENTER  
Contact Name: ROBERT KING  
Telephone: 2137411151  
Owner Name: LOS ANGELES CITY  
Owner Address: 200 N. MAIN ST.  
Owner City,St,Zip: LOS ANGELES, CA 90012  
Total Tanks: 0005

Tank Num: 001  
Container Num: #2  
Year Installed: 1968  
Tank Capacity: 00002000  
Tank Used for: PRODUCT  
Type of Fuel: DIESEL  
Container Construction Thickness: 12  
Leak Detection: Stock Inventor

Tank Num: 002  
Container Num: #1  
Year Installed: 1968  
Tank Capacity: 00002000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Container Construction Thickness: 12  
Leak Detection: Stock Inventor

Tank Num: 003  
Container Num: #3  
Year Installed: 1968  
Tank Capacity: 00000280  
Tank Used for: PRODUCT  
Type of Fuel: DIESEL  
Container Construction Thickness: 12  
Leak Detection: Stock Inventor

Tank Num: 004  
Container Num: #4  
Year Installed: 1968  
Tank Capacity: 00000280  
Tank Used for: PRODUCT

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LOS ANGELES CONVENTION CENTER (Continued)**

**1000303628**

Type of Fuel: DIESEL  
Container Construction Thickness: 12  
Leak Detection: Stock Inventor

Tank Num: 005  
Container Num: #5  
Year Installed: 1968  
Tank Capacity: 00000280  
Tank Used for: PRODUCT  
Type of Fuel: DIESEL  
Container Construction Thickness: 12  
Leak Detection: Stock Inventor

**SWEEPS UST:**

Status: Not reported  
Comp Number: 2905  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002905-000001  
Tank Status: Not reported  
Capacity: 2000  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: PRODUCT  
Content: DIESEL  
Number Of Tanks: 5

Status: Not reported  
Comp Number: 2905  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002905-000002  
Tank Status: Not reported  
Capacity: 2000  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: PRODUCT  
Content: REG UNLEADED  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 2905  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002905-000003

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LOS ANGELES CONVENTION CENTER (Continued)**

**1000303628**

Tank Status: Not reported  
Capacity: 280  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: PRODUCT  
Content: DIESEL  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 2905  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002905-000004  
Tank Status: Not reported  
Capacity: 280  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: PRODUCT  
Content: DIESEL  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 2905  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002905-000005  
Tank Status: Not reported  
Capacity: 280  
Active Date: Not reported  
Tank Use: M.V. FUEL  
STG: PRODUCT  
Content: DIESEL  
Number Of Tanks: Not reported

Status: Active  
Comp Number: 2905  
Number: 4  
Board Of Equalization: Not reported  
Referral Date: 04-09-93  
Action Date: 04-19-94  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LOS ANGELES CONVENTION CENTER (Continued)**

**1000303628**

Number Of Tanks: Not reported

WDS:

Facility ID: Los Angeles River 196400033  
Facility Type: Other - Does not fall into the category of Municipal/Domestic, Industrial, Agricultural or Solid Waste (Class I, II or III)  
Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.  
NPDES Number: CAG994003 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board  
Subregion: 4  
Facility Telephone: 2137654672  
Facility Contact: Gregory Lissow  
Agency Name: LOS ANGELES CONVENTION CENTER  
Agency Address: Not reported  
Agency City,St,Zip: 0  
Agency Contact: Not reported  
Agency Telephone: Not reported  
Agency Type: City  
SIC Code: 7389  
SIC Code 2: Not reported  
Primary Waste Type: Designated/Influent or Solid Wastes that pose a significant threat to water quality because of their high concentrations (E.G., BOD, Hardness, TRF, Chloride). 'Manageable' hazardous wastes (E.G., inorganic salts and heavy metals) are included in this category.  
Primary Waste: MISCEL  
Waste Type2: Not reported  
Waste2: Miscellaneous (Includes wastes from dewatering, recreational lake overflow, swimming pool wastes, water ride wastewater, ground water seepage and other wastes of this type)  
Primary Waste Type: Designated/Influent or Solid Wastes that pose a significant threat to water quality because of their high concentrations (E.G., BOD, Hardness, TRF, Chloride). 'Manageable' hazardous wastes (E.G., inorganic salts and heavy metals) are included in this category.  
Secondary Waste: Not reported  
Secondary Waste Type: Not reported  
Design Flow: 0  
Baseline Flow: 0  
Reclamation: No reclamation requirements associated with this facility.  
POTW: The facility is not a POTW.  
Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.  
Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**X138**     **L A CONVENTION CENTER**  
**NNW**     **1201 S FIGUEROA ST**  
**1/8-1/4**   **LOS ANGELES, CA 90015**  
**0.166 mi.**  
**877 ft.**     **Site 2 of 9 in cluster X**

**UST**     **U003780359**  
**N/A**

**Relative:**     UST:  
**Higher**        Facility ID:             23877  
                         Permitting Agency:    LOS ANGELES, CITY OF  
**Actual:**        Latitude:                34.0415478  
**240 ft.**         Longitude:              -118.2682049

**X139**     **CONVENTION CENTER**  
**NNW**     **1201 FIGUEROA ST S**  
**1/8-1/4**   **LOS ANGELES, CA 90015**  
**0.166 mi.**  
**877 ft.**     **Site 3 of 9 in cluster X**

**HIST CORTESE**     **S101296999**  
**LUST**                 **N/A**  
**ENF**

**Relative:**     HIST CORTESE:  
**Higher**        Region:                 CORTESE  
                         Facility County Code:    19  
**Actual:**        Reg By:                 LTNKA  
**240 ft.**         Reg Id:                 900150089

LUST:  
Region:                 STATE  
Global Id:              T0603700551  
Latitude:               34.040463  
Longitude:             -118.268681  
Case Type:             Not reported  
Status:                 Completed - Case Closed  
Status Date:          08/13/1998  
Lead Agency:          Not reported  
Case Worker:          EL  
Local Agency:         Not reported  
RB Case Number:      900150089  
LOC Case Number:     Not reported  
File Location:         Not reported  
Potential Media Affect:    Soil  
Potential Contaminants of Concern: Gasoline  
Site History:           Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Contact:  
Global Id:              T0603700551  
Contact Type:          Regional Board Caseworker  
Contact Name:          YUE RONG  
Organization Name:     LOS ANGELES RWQCB (REGION 4)  
Address:                320 W. 4TH ST., SUITE 200  
City:                     Los Angeles  
Email:                   yrong@waterboards.ca.gov  
Phone Number:         Not reported

Global Id:              T0603700551  
Contact Type:          Local Agency Caseworker  
Contact Name:          ELOY LUNA  
Organization Name:     LOS ANGELES, CITY OF  
Address:                200 North Main Street, Suite 1780  
City:                     LOS ANGELES

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONVENTION CENTER (Continued)**

**S101296999**

Email: eloy.luna@lacity.org  
Phone Number: Not reported

Status History:

Global Id: T0603700551  
Status: Completed - Case Closed  
Status Date: 08/13/1998

Global Id: T0603700551  
Status: Open - Case Begin Date  
Status Date: 05/11/1988

Global Id: T0603700551  
Status: Open - Site Assessment  
Status Date: 09/20/1988

Regulatory Activities:

Global Id: T0603700551  
Action Type: Other  
Date: 05/11/1988  
Action: Leak Discovery

Global Id: T0603700551  
Action Type: Other  
Date: 06/10/1988  
Action: Leak Reported

LUST REG 4:

Region: 4  
Regional Board: 04  
County: Los Angeles  
Facility Id: 900150089  
Status: Case Closed  
Substance: Gasoline  
Substance Quantity: Not reported  
Local Case No: Not reported  
Case Type: Soil  
Abatement Method Used at the Site: Not reported  
Global ID: T0603700551  
W Global ID: W0607701254  
Staff: UNK  
Local Agency: 19050  
Cross Street: PICO BLVD  
Enforcement Type: Not reported  
Date Leak Discovered: 5/11/1988  
Date Leak First Reported: 6/10/1988  
Date Leak Record Entered: 9/15/1988  
Date Confirmation Began: Not reported  
Date Leak Stopped: Not reported  
Date Case Last Changed on Database: 8/13/1998  
Date the Case was Closed: 8/13/1998  
How Leak Discovered: OM  
How Leak Stopped: Not reported  
Cause of Leak: Not reported  
Leak Source: Piping

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONVENTION CENTER (Continued)**

**S101296999**

Operator: MUNICIPAL AUDITORIUM DEPT.  
Water System: UNOCAL - JIM SCOTT  
Well Name: Not reported  
Approx. Dist To Production Well (ft): 3846.2843250405816586509063843  
Source of Cleanup Funding: Piping  
Preliminary Site Assessment Workplan Submitted: Not reported  
Preliminary Site Assessment Began: Not reported  
Pollution Characterization Began: 9/20/1988  
Remediation Plan Submitted: Not reported  
Remedial Action Underway: Not reported  
Post Remedial Action Monitoring Began: Not reported  
Enforcement Action Date: Not reported  
Historical Max MTBE Date: Not reported  
Hist Max MTBE Conc in Groundwater: Not reported  
Hist Max MTBE Conc in Soil: Not reported  
Significant Interim Remedial Action Taken: Not reported  
GW Qualifier: Not reported  
Soil Qualifier: Not reported  
Organization: Not reported  
Owner Contact: Not reported  
Responsible Party: E BROOKES TREIDLER  
RP Address: SAME AS ABOVE  
Program: LUST  
Lat/Long: 34.0421633 / -1  
Local Agency Staff: PEJ  
Beneficial Use: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Suspended: Not reported  
Assigned Name: 3901254-001GEN  
Summary: DISCOVERED BY PRIME LOSS NOTE FROM PUMP, SO DISPENSER REMOVED FROM SERVICE

**ENF:**

Region: 4  
Facility Id: 238610  
Agency Name: Los Angeles Convention Center  
Place Type: Service/Commercial  
Place Subtype: Service/Commercial Site, NEC  
Facility Type: All other facilities  
Agency Type: Privately-Owned Business  
# Of Agencies: 1  
Place Latitude: 34.042226  
Place Longitude: -118.26655  
SIC Code 1: 7389  
SIC Desc 1: Business Services, NEC  
SIC Code 2: 7999  
SIC Desc 2: Amusement and Recreation Services, NEC  
SIC Code 3: Not reported  
SIC Desc 3: Not reported  
NAICS Code 1: Not reported  
NAICS Desc 1: Not reported  
NAICS Code 2: Not reported  
NAICS Desc 2: Not reported  
NAICS Code 3: Not reported  
NAICS Desc 3: Not reported  
# Of Places: 1

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CONVENTION CENTER (Continued)**

**S101296999**

Source Of Facility:	Reg Meas
Design Flow:	0.016
Threat To Water Quality:	3
Complexity:	C
Pretreatment:	X - Facility is not a POTW
Facility Waste Type:	Miscellaneous
Facility Waste Type 2:	Not reported
Facility Waste Type 3:	Not reported
Facility Waste Type 4:	Not reported
Program:	NPDNONMUNIPRCS
Program Category1:	NPDESWW
Program Category2:	NPDESWW
# Of Programs:	1
WDID:	4B196400033
Reg Measure Id:	193902
Reg Measure Type:	Enrollee
Region:	4
Order #:	R4-2004-0058
Npdes# CA#:	CAG994003
Major-Minor:	Minor
Npdes Type:	OTH
Reclamation:	N - No
Dredge Fill Fee:	Not reported
301H:	Not reported
Application Fee Amt Received:	Not reported
Status:	Historical
Status Date:	04/21/2010
Effective Date:	06/30/1998
Expiration/Review Date:	02/03/2005
Termination Date:	12/20/2005
WDR Review - Amend:	Not reported
WDR Review - Revise/Renew:	Not reported
WDR Review - Rescind:	Not reported
WDR Review - No Action Required:	Not reported
WDR Review - Pending:	Not reported
WDR Review - Planned:	Not reported
Status Enrollee:	Y
Individual/General:	I
Fee Code:	Not reported
Direction/Voice:	Passive
Enforcement Id(EID):	253306
Region:	4
Order / Resolution Number:	NOV
Enforcement Action Type:	Notice of Violation
Effective Date:	05/18/2004
Adoption/Issuance Date:	05/18/2004
Achieve Date:	Not reported
Termination Date:	05/18/2004
ACL Issuance Date:	Not reported
EPL Issuance Date:	Not reported
Status:	Historical
Title:	NOV sent 5/18/04 for overdue 1Q04 DMR.
Description:	NOV sent 5/18/04 for overdue 1Q04 DMR.
Program:	NPDNONMUNIPRCS
Latest Milestone Completion Date:	Not reported
# Of Programs1:	1
Total Assessment Amount:	0.00

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONVENTION CENTER (Continued)**

**S101296999**

Initial Assessed Amount:	0.00
Liability \$ Amount:	0.00
Project \$ Amount:	0.00
Liability \$ Paid:	0.00
Project \$ Completed:	0.00
Total \$ Paid/Completed Amount:	0.00
Region:	4
Facility Id:	238610
Agency Name:	Los Angeles Convention Center
Place Type:	Service/Commercial
Place Subtype:	Service/Commercial Site, NEC
Facility Type:	All other facilities
Agency Type:	Privately-Owned Business
# Of Agencies:	1
Place Latitude:	34.042226
Place Longitude:	-118.26655
SIC Code 1:	7389
SIC Desc 1:	Business Services, NEC
SIC Code 2:	7999
SIC Desc 2:	Amusement and Recreation Services, NEC
SIC Code 3:	Not reported
SIC Desc 3:	Not reported
NAICS Code 1:	Not reported
NAICS Desc 1:	Not reported
NAICS Code 2:	Not reported
NAICS Desc 2:	Not reported
NAICS Code 3:	Not reported
NAICS Desc 3:	Not reported
# Of Places:	1
Source Of Facility:	Reg Meas
Design Flow:	0.016
Threat To Water Quality:	3
Complexity:	C
Pretreatment:	X - Facility is not a POTW
Facility Waste Type:	Miscellaneous
Facility Waste Type 2:	Not reported
Facility Waste Type 3:	Not reported
Facility Waste Type 4:	Not reported
Program:	NPDPNONMUNIPRCS
Program Category1:	NPDESWW
Program Category2:	NPDESWW
# Of Programs:	1
WDID:	4B196400033
Reg Measure Id:	193902
Reg Measure Type:	Enrollee
Region:	4
Order #:	R4-2004-0058
Npdes# CA#:	CAG994003
Major-Minor:	Minor
Npdes Type:	OTH
Reclamation:	N - No
Dredge Fill Fee:	Not reported
301H:	Not reported
Application Fee Amt Received:	Not reported
Status:	Historical
Status Date:	04/21/2010

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**CONVENTION CENTER (Continued)**

**S101296999**

Effective Date: 06/30/1998  
 Expiration/Review Date: 02/03/2005  
 Termination Date: 12/20/2005  
 WDR Review - Amend: Not reported  
 WDR Review - Revise/Renew: Not reported  
 WDR Review - Rescind: Not reported  
 WDR Review - No Action Required: Not reported  
 WDR Review - Pending: Not reported  
 WDR Review - Planned: Not reported  
 Status Enrollee: Y  
 Individual/General: I  
 Fee Code: Not reported  
 Direction/Voice: Passive  
 Enforcement Id(EID): 228151  
 Region: 4  
 Order / Resolution Number: SEL  
 Enforcement Action Type: Staff Enforcement Letter  
 Effective Date: 02/17/2000  
 Adoption/Issuance Date: Not reported  
 Achieve Date: Not reported  
 Termination Date: 02/17/2000  
 ACL Issuance Date: Not reported  
 EPL Issuance Date: Not reported  
 Status: Historical  
 Title: Level 1 enforcement letter sent 2/17/00 for 3 overdue DMRs.-  
 4B190106034  
 Description: Level 1 enforcement letter sent 2/17/00 for 3 overdue DMRs.  
 Program: NPDNONMUNIPRCS  
 Latest Milestone Completion Date: Not reported  
 # Of Programs1: 1  
 Total Assessment Amount: 0.00  
 Initial Assessed Amount: 0.00  
 Liability \$ Amount: 0.00  
 Project \$ Amount: 0.00  
 Liability \$ Paid: 0.00  
 Project \$ Completed: 0.00  
 Total \$ Paid/Completed Amount: 0.00

**X140  
 NNW  
 1/8-1/4  
 0.166 mi.  
 877 ft.**

**CITY OF L A GENERAL SERVICES  
 1201 S FIGUEROA ST  
 LOS ANGELES, CA 90015**

**DRYCLEANERS S104566831  
 N/A**

**Site 4 of 9 in cluster X**

**Relative:  
 Higher**

DRYCLEANERS:  
 EPA Id: CAD981631716  
 NAICS Code: 81232  
 NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
 SIC Code: 7211  
 SIC Description: Power Laundries, Family and Commercial  
 Create Date: 04/10/1987  
 Facility Active: Yes  
 Inactive Date: Not reported  
 Facility Addr2: Not reported  
 Owner Name: CITY OF LA DEPT OF GENERAL SVS  
 Owner Address: 111 E 1ST ST RM 600  
 Owner Address 2: Not reported  
 Owner Telephone: 2139228546

**Actual:  
 240 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CITY OF L A GENERAL SERVICES (Continued)**

**S104566831**

Contact Name: EMMANUEL AMESI  
Contact Address: 111 E FIRST STREET, ROOM 600  
Contact Address 2: Not reported  
Contact Telephone: 2139783798  
Mailing Name: Not reported  
Mailing Address 1: 111 E FIRST ST RM 600  
Mailing Address 2: Not reported  
Mailing City: LOS ANGELES  
Mailing State: CA  
Mailing Zip: 900120000  
Owner Fax: Not reported  
Region Code: 2139228511

EPA Id: CAD981988876  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7211  
SIC Description: Power Laundries, Family and Commercial  
Create Date: 07/03/1987  
Facility Active: No  
Inactive Date: 06/30/2005  
Facility Addr2: Not reported  
Owner Name: CITY OF L A DEPT OF GEN SRVCS  
Owner Address: 419 S SPRING ST 12TH FLOOR  
Owner Address 2: Not reported  
Owner Telephone: 2134737746  
Contact Name: SHARI KUROKI MGMT ANALYST  
Contact Address: 419 S SPRING ST 12TH FLOOR  
Contact Address 2: Not reported  
Contact Telephone: 2134737748  
Mailing Name: DGS-CITY HALL SOUTH  
Mailing Address 1: 419 S SPRING ST 12TH FLOOR  
Mailing Address 2: Not reported  
Mailing City: LOS ANGELES  
Mailing State: CA  
Mailing Zip: 900130000  
Owner Fax: Not reported  
Region Code: Not reported

X141  
NNW  
1/8-1/4  
0.166 mi.  
877 ft.

**LOS ANGELES CONVENTION CTR**  
**1201 S FIGUEROA ST**  
**LOS ANGELES, CA 90015**  
**Site 5 of 9 in cluster X**

**RCRA-SQG 1000180081**  
**CAD981988876**

**Relative:**  
**Higher**

RCRA-SQG:  
Date form received by agency: 07/17/1989  
Facility name: LOS ANGELES CONVENTION CTR  
Facility address: 1201 S FIGUEROA ST  
LOS ANGELES, CA 90015  
EPA ID: CAD981988876  
Mailing address: 200 N SPRING ST NO 220  
LOS ANGELES, CA 90012  
Contact: ED SCHAAK  
Contact address: 1201 S FIGUEROA ST  
LOS ANGELES, CA 90015  
Contact country: US  
Contact telephone: (213) 485-7435

**Actual:**  
**240 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LOS ANGELES CONVENTION CTR (Continued)**

**1000180081**

Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: LOS ANGELES CITY OF  
Owner/operator address: 200 N SPRING ST STE 220  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 485-7435  
Legal status: Municipal  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999

Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Municipal  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

X142  
NNW  
1/8-1/4  
0.166 mi.  
877 ft.

**FUJI PHOTO FILM USA INC**  
**1201 S FIGUEROA ST BOOTH 401**  
**LOS ANGELES, CA 90015**

**RCRA-SQG 1004675642**  
**CAR000075465**

**Site 6 of 9 in cluster X**

**Relative:  
Higher**

RCRA-SQG:

Date form received by agency: 05/25/2001

Facility name: FUJI PHOTO FILM USA INC

Facility address: 1201 S FIGUEROA ST BOOTH 401

L A CONV CNTR  
LOS ANGELES, CA 90015

EPA ID: CAR000075465

Mailing address: 1100 KING GEORGE POST RD  
EDISON, NJ 08837

Contact: KEVIN JEFFRIES

Contact address: 1100 KING GEORGE POST RD  
EDISON, NJ 08837

Contact country: US

Contact telephone: (732) 857-3175

Contact email: Not reported

EPA Region: 09

Classification: Small Small Quantity Generator

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: FUJI PHOTO FILM USA INC

Owner/operator address: 555 TAXTER RD  
ELMSFORD, NY 10523

Owner/operator country: Not reported

Owner/operator telephone: (732) 857-3175

Legal status: Private

Owner/Operator Type: Owner

Owner/Op start date: Not reported

Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Mixed waste (haz. and radioactive): No

Recycler of hazardous waste: No

Transporter of hazardous waste: No

Treater, storer or disposer of HW: No

Underground injection activity: No

On-site burner exemption: No

Furnace exemption: No

Used oil fuel burner: No

Used oil processor: No

User oil refiner: No

Used oil fuel marketer to burner: No

Used oil Specification marketer: No

Used oil transfer facility: No

Used oil transporter: No

Waste code: D011

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FUJI PHOTO FILM USA INC (Continued)**

**1004675642**

Waste name: SILVER  
Violation Status: No violations found

V143  
WNW  
1/8-1/4  
0.166 mi.  
879 ft.

**RYAN A G**  
**713 W PICO BLVD**  
**LOS ANGELES, CA**  
**Site 6 of 8 in cluster V**

**EDR US Hist Cleaners** **1009192102**  
**N/A**

Relative: EDR Historical Cleaners:  
Lower Name: RYAN A G  
Year: 1937  
Actual: Type: CLOTHES PRESSERS AND CLEANERS  
236 ft.

R144  
East  
1/8-1/4  
0.167 mi.  
882 ft.

**TRANSAMERICA CENTER/GARAGE**  
**1133 S OLIVE ST**  
**LOS ANGELES, CA 90015**  
**Site 6 of 16 in cluster R**

**UST** **U003880021**  
**N/A**

Relative: UST:  
Higher Facility ID: 24766  
Permitting Agency: LOS ANGELES, CITY OF  
Actual: Latitude: 34.0413454  
246 ft. Longitude: -118.2606204

R145  
East  
1/8-1/4  
0.167 mi.  
882 ft.

**TRANSAMERICA OCCIDENTAL**  
**1133 S OLIVE ST**  
**LOS ANGELES, CA 90015**  
**Site 7 of 16 in cluster R**

**CA FID UST** **S101586091**  
**SWEEPS UST** **N/A**

Relative: CA FID UST:  
Higher Facility ID: 19038113  
Regulated By: UTNKA  
Actual: Regulated ID: Not reported  
246 ft. Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2137422671  
Mail To: Not reported  
Mailing Address: 1133 S OLIVE ST  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

SWEEPS UST:  
Status: Active  
Comp Number: 6073

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TRANSAMERICA OCCIDENTAL (Continued)**

**S101586091**

Number: 1  
Board Of Equalization: Not reported  
Referral Date: 03-05-93  
Action Date: 03-05-93  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

R146  
East  
1/8-1/4  
0.167 mi.  
882 ft.

**LUARD L S**  
**1133 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009077906**  
**N/A**

**Site 8 of 16 in cluster R**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name: LUARD L S  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**Actual:**  
**246 ft.**

Name: LUARD L S  
Year: 1937  
Type: AUTOMOBILE REPAIRING

R147  
East  
1/8-1/4  
0.167 mi.  
882 ft.

**SERVICE STATION 2686**  
**1133 S OLIVE ST**  
**LOS ANGELES, CA 90015**

**HIST UST U001560630**  
**N/A**

**Site 9 of 16 in cluster R**

**Relative:**  
**Higher**

HIST UST:

Region: STATE  
Facility ID: 00000007907  
Facility Type: Gas Station  
Other Type: Not reported  
Contact Name: OCCIDENTAL LIFE INS.  
Telephone: 0000000000  
Owner Name: UNION OIL COMPANY OF CALIFORNI  
Owner Address: 3701 WILSHIRE BOULEVARD-SUITE  
Owner City,St,Zip: LOS ANGELES, CA 90010  
Total Tanks: 0002

**Actual:**  
**246 ft.**

Tank Num: 001  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00008000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Container Construction Thickness: Not reported  
Leak Detection: Stock Inventor

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SERVICE STATION 2686 (Continued)**

**U001560630**

Tank Num: 002  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00008000  
Tank Used for: PRODUCT  
Type of Fuel: PREMIUM  
Container Construction Thickness: Not reported  
Leak Detection: Stock Inventor

**T148 ATMUR TOM EDR US Hist Auto Stat 1009075823**  
**WSW 1434 S FLOWER ST N/A**  
**1/8-1/4 LOS ANGELES, CA**  
**0.168 mi. Site 2 of 2 in cluster T**  
**887 ft.**

**Relative: EDR Historical Auto Stations:**  
**Lower Name: ATMUR TOM**  
**Year: 1924**  
**Actual: Type: AUTOMOBILE REPAIRING**  
**233 ft.**

**R149 JOHNSON J W REAR EDR US Hist Auto Stat 1009080717**  
**East 1132 S OLIVE ST N/A**  
**1/8-1/4 LOS ANGELES, CA**  
**0.168 mi. Site 10 of 16 in cluster R**  
**888 ft.**

**Relative: EDR Historical Auto Stations:**  
**Higher Name: JOHNSON J W REAR**  
**Year: 1933**  
**Actual: Type: AUTOMOBILE REPAIRING**  
**246 ft.**

**Q150 EDR US Hist Auto Stat 1015224082**  
**SSW 1414 S GRAND AVE N/A**  
**1/8-1/4 LOS ANGELES, CA 90015**  
**0.170 mi. Site 8 of 8 in cluster Q**  
**895 ft.**

**Relative: EDR Historical Auto Stations:**  
**Lower Name: PLAYA VISTA CAR CARE LTD**  
**Year: 2002**  
**Actual: Address: 1414 S GRAND AVE**  
**232 ft.**

**V151 KENYON F W EDR US Hist Auto Stat 1009082565**  
**WNW 726 W PICO BLVD N/A**  
**1/8-1/4 LOS ANGELES, CA**  
**0.170 mi. Site 7 of 8 in cluster V**  
**895 ft.**

**Relative: EDR Historical Auto Stations:**  
**Lower Name: KENYON F W**  
**Year: 1937**  
**Actual: Type: AUTOMOBILE REPAIRING**  
**236 ft.**

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>V152</b> <b>WNW</b> <b>1/8-1/4</b> <b>0.170 mi.</b> <b>895 ft.</b>	<b>APPLEBAUM HARRY</b> <b>726 W PICO BLVD</b> <b>LOS ANGELES, CA</b>  <b>Site 8 of 8 in cluster V</b>	<b>EDR US Hist Cleaners</b>	<b>1009192726</b> <b>N/A</b>
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<b>Relative:</b> <b>Lower</b>	EDR Historical Cleaners: Name: APPLEBAUM HARRY Year: 1942 Actual: Type: LAUNDRIES STEAM <b>236 ft.</b>
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<b>R153</b> <b>East</b> <b>1/8-1/4</b> <b>0.170 mi.</b> <b>898 ft.</b>	<b>MORRIS J H</b> <b>1130 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 11 of 16 in cluster R</b>	<b>EDR US Hist Auto Stat</b>	<b>1009082494</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: MORRIS J H Year: 1942 Actual: Type: AUTOMOBILE REPAIRING <b>246 ft.</b>
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<b>X154</b> <b>NW</b> <b>1/8-1/4</b> <b>0.170 mi.</b> <b>898 ft.</b>	<b>KELLY J J</b> <b>811 W 12TH ST</b> <b>LOS ANGELES, CA</b>  <b>Site 7 of 9 in cluster X</b>	<b>EDR US Hist Auto Stat</b>	<b>1009078241</b> <b>N/A</b>
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<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name: KELLY BROS Year: 1933 Actual: Type: GASOLINE AND OIL SERVICE STATIONS <b>239 ft.</b>  Name: KELLY J J Year: 1937 Type: GASOLINE AND OIL SERVICE STATIONS
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<b>R155</b> <b>East</b> <b>1/8-1/4</b> <b>0.172 mi.</b> <b>906 ft.</b>	<b>HOFFMAN JOHANNA MRS</b> <b>1128 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 12 of 16 in cluster R</b>	<b>EDR US Hist Auto Stat</b>	<b>1009080933</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: HOFFMAN E H Year: 1933 Actual: Type: AUTOMOBILE REPAIRING <b>246 ft.</b>  Name: HOFFMAN JOHANNA MRS Year: 1937 Type: AUTOMOBILE REPAIRING  Name: HOFFMAN E H Year: 1942 Type: AUTOMOBILE REPAIRING
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Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**Y156** **BEKINS RECORDS MANAGEMENT**  
**West** **1335 S FIGUEROA ST**  
**1/8-1/4** **LOS ANGELES, CA 90015**  
**0.172 mi.**  
**908 ft.** **Site 1 of 2 in cluster Y**

**HIST UST** **U001560597**  
**N/A**

**Relative:**  
**Lower**

HIST UST:  
Region: STATE  
Facility ID: 00000063635  
Facility Type: Other  
Other Type: WAREHOUSE  
Contact Name: STEVE CASEY  
Telephone: 2134669271  
Owner Name: BEKINS MOVING AND STORAGE COMP  
Owner Address: 910 GRAND CENTRAL AVENUE  
Owner City,St,Zip: GLENDALE, CA 91201  
Total Tanks: 0003

**Actual:**  
**235 ft.**

Tank Num: 001  
Container Num: #6  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: 06  
Container Construction Thickness: Not reported  
Leak Detection: None

Tank Num: 002  
Container Num: #1  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: 06  
Container Construction Thickness: Not reported  
Leak Detection: None

Tank Num: 003  
Container Num: #2  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: 06  
Container Construction Thickness: Not reported  
Leak Detection: None

**Y157** **BEKINS RECORDS MANAGEMENT**  
**West** **1335 S FIGUEROA ST**  
**1/8-1/4** **LOS ANGELES, CA 90015**  
**0.172 mi.**  
**908 ft.** **Site 2 of 2 in cluster Y**

**CA FID UST** **S101617164**  
**SWEEPS UST** **N/A**

**Relative:**  
**Lower**

CA FID UST:  
Facility ID: 19008046  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2134669271  
Mail To: Not reported  
Mailing Address: 1335 S FIGUEROA ST

**Actual:**  
**235 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BEKINS RECORDS MANAGEMENT (Continued)**

**S101617164**

Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**SWEEPS UST:**

Status: Not reported  
Comp Number: 3774  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

**R158**  
**ENE**  
**1/8-1/4**  
**0.172 mi.**  
**909 ft.**

**KELLEY BROS**  
**1127 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat** **1009081040**  
**N/A**

**Site 13 of 16 in cluster R**

**Relative:**  
**Higher**

EDR Historical Auto Stations:  
Name: KELLEY BROS  
Year: 1942  
Type: AUTOMOBILE REPAIRING

**Actual:**  
**246 ft.**

**Z159**  
**North**  
**1/8-1/4**  
**0.175 mi.**  
**925 ft.**

**BIG TICKET PROD ASIAN MKT PL**  
**1100 S FLOWER**  
**LOS ANGELES, CA 90015**

**RCRA-SQG** **1001075653**  
**FINDS** **CAR000007419**

**Site 1 of 4 in cluster Z**

**Relative:**  
**Higher**

RCRA-SQG:  
Date form received by agency: 12/11/1995  
Facility name: BIG TICKET PROD ASIAN MKT PL  
Facility address: 1100 S FLOWER  
LOS ANGELES, CA 900151113  
EPA ID: CAR000007419  
Mailing address: W OLYMPIC BLVD STE 303  
LOS ANGELES, CA 900641113  
Contact: HUGH CONLON  
Contact address: 11811 W OLYMPIC BLVD STE 303  
LOS ANGELES, CA 900641113

**Actual:**  
**245 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BIG TICKET PROD ASIAN MKT PL (Continued)**

**1001075653**

Contact country: US  
Contact telephone: (213) 749-4075  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: BIPACIFIC MKTNG EXHIBTG INC  
Owner/operator address: 1100 S FLOWER ST STE 300  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 748-8488  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002909283

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.



MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

---

<b>R160</b> <b>ENE</b> <b>1/8-1/4</b> <b>0.177 mi.</b> <b>933 ft.</b>	<b>HOFFMAN E H</b> <b>1122 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 14 of 16 in cluster R</b>	<b>EDR US Hist Auto Stat</b>	<b>1009078186</b> <b>N/A</b>
---	---	------------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name:               HOFFMAN E H Year:                1929 Type:                AUTOMOBILE REPAIRING AND SERVICE STATIONS
<b>Actual:</b> <b>246 ft.</b>	

---

<b>X161</b> <b>NW</b> <b>1/8-1/4</b> <b>0.179 mi.</b> <b>947 ft.</b>	<b>HOLMES O W</b> <b>823 W 12TH ST</b> <b>LOS ANGELES, CA</b>  <b>Site 8 of 9 in cluster X</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079516</b> <b>N/A</b>
--	--	------------------------------	---------------------------------

<b>Relative:</b> <b>Lower</b>	EDR Historical Auto Stations: Name:               LEASA ALVA Year:                1929 Type:                GASOLINE AND OIL SERVICE STATION  Name:                TWELFTH GEORGIA SUPER SERVICE Year:                1933 Type:                GASOLINE AND OIL SERVICE STATIONS  Name:                HOLMES O W Year:                1942 Type:                GASOLINE AND OIL SERVICE STATIONS
<b>Actual:</b> <b>239 ft.</b>	

---

<b>AA162</b> <b>ESE</b> <b>1/8-1/4</b> <b>0.180 mi.</b> <b>952 ft.</b>	<b>THOMPSON C H</b> <b>224 W 12TH ST</b> <b>LOS ANGELES, CA</b>  <b>Site 1 of 11 in cluster AA</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079620</b> <b>N/A</b>
--	--	------------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name:               THOMPSON C H Year:                1924 Type:                AUTOMOBILE REPAIRING
<b>Actual:</b> <b>243 ft.</b>	

---

<b>AA163</b> <b>ESE</b> <b>1/8-1/4</b> <b>0.181 mi.</b> <b>955 ft.</b>	<b>CAIN EARL</b> <b>225 W 12TH ST</b> <b>LOS ANGELES, CA</b>  <b>Site 2 of 11 in cluster AA</b>	<b>EDR US Hist Auto Stat</b>	<b>1009079484</b> <b>N/A</b>
--	---	------------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name:               CAIN EARL Year:                1933 Type:                AUTOMOBILE REPAIRING
<b>Actual:</b> <b>243 ft.</b>	

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

---

<b>AA164</b> <b>ESE</b> <b>1/8-1/4</b> <b>0.181 mi.</b> <b>955 ft.</b>	<b>TIMPE A M</b> <b>225 W 12TH ST</b> <b>LOS ANGELES, CA</b>  <b>Site 3 of 11 in cluster AA</b>	<b>EDR US Hist Cleaners</b>	<b>1009191558</b> <b>N/A</b>
--	---	-----------------------------	---------------------------------

<b>Relative:</b> <b>Higher</b>	EDR Historical Cleaners: Name: TIMPE A M Year: 1937 Type: CLEANERS GARMENTS CURTAINS AND DRAPERIES
<b>Actual:</b> <b>243 ft.</b>	

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<b>X165</b> <b>NNW</b> <b>1/8-1/4</b> <b>0.181 mi.</b> <b>956 ft.</b>	<b>FIRESTONE HOME AUTO SUPPLY SERVICE STORES</b> <b>1165 S FIGUEROA ST</b> <b>LOS ANGELES, CA</b>  <b>Site 9 of 9 in cluster X</b>	<b>EDR US Hist Auto Stat</b>	<b>1009081501</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: FIRESTONE AUTO SUPPLY SERVICE STORES Year: 1937 Type: GASOLINE AND OIL SERVICE STATIONS
<b>Actual:</b> <b>242 ft.</b>	
	Name: FIRESTONE HOME AUTO SUPPLY SERVICE STORES Year: 1942 Type: GASOLINE AND OIL SERVICE STATIONS

---

<b>R166</b> <b>ENE</b> <b>1/8-1/4</b> <b>0.182 mi.</b> <b>963 ft.</b>	<b>RISDEN C W</b> <b>1115 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 15 of 16 in cluster R</b>	<b>EDR US Hist Auto Stat</b>	<b>1009078121</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: RISDEN C W Year: 1924 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> <b>246 ft.</b>	

---

<b>R167</b> <b>ENE</b> <b>1/8-1/4</b> <b>0.184 mi.</b> <b>970 ft.</b>	<b>WHITLEY J A</b> <b>1114 S OLIVE ST</b> <b>LOS ANGELES, CA</b>  <b>Site 16 of 16 in cluster R</b>	<b>EDR US Hist Auto Stat</b>	<b>1009082014</b> <b>N/A</b>
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<b>Relative:</b> <b>Higher</b>	EDR Historical Auto Stations: Name: WHITLEY J A Year: 1937 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> <b>246 ft.</b>	

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**AA168**  
**ESE**  
**1/8-1/4**  
**0.186 mi.**  
**983 ft.**

**MORWAY STEPH**  
**217 W 12TH ST**  
**LOS ANGELES, CA**  
**Site 4 of 11 in cluster AA**

**EDR US Hist Auto Stat**    **1009079434**  
**N/A**

**Relative:**  
**Higher**  
  
**Actual:**  
**243 ft.**

EDR Historical Auto Stations:  
Name: MORWAY STEPH  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**Z169**  
**NNE**  
**1/8-1/4**  
**0.189 mi.**  
**1000 ft.**

**PROPERTY UNDER CONSTRUCTION**  
**1050-1070 FLOWER ST. S.**  
**LOS ANGELES, CA 90015**  
**Site 2 of 4 in cluster Z**

**LUST**    **S106915902**  
**N/A**

**Relative:**  
**Higher**  
  
**Actual:**  
**246 ft.**

LUST:  
Region: STATE  
Global Id: T0603519348  
Latitude: 34.043664  
Longitude: -118.263497  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 03/09/2007  
Lead Agency: Not reported  
Case Worker: CET  
Local Agency: Not reported  
RB Case Number: 900150107  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Heating Oil / Fuel Oil  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**Contact:**

Global Id: T0603519348  
Contact Type: Local Agency Caseworker  
Contact Name: TBD  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 N. MAIN ST. RM. 970  
City: LOS ANGELES  
Email: Not reported  
Phone Number: 2134826528

Global Id: T0603519348  
Contact Type: Regional Board Caseworker  
Contact Name: CHANDRA TYLER  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: Not reported  
City: R4 UNKNOWN  
Email: cetyler@waterboards.ca.gov  
Phone Number: Not reported

**Status History:**

Global Id: T0603519348  
Status: Completed - Case Closed  
Status Date: 03/09/2007

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PROPERTY UNDER CONSTRUCTION (Continued)**

**S106915902**

Global Id: T0603519348  
Status: Open - Case Begin Date  
Status Date: 12/02/2003

Global Id: T0603519348  
Status: Open - Site Assessment  
Status Date: 12/02/2003

Global Id: T0603519348  
Status: Open - Site Assessment  
Status Date: 09/17/2004

Regulatory Activities:

Global Id: T0603519348  
Action Type: ENFORCEMENT  
Date: 03/06/2007  
Action: Site Visit / Inspection / Sampling

Global Id: T0603519348  
Action Type: Other  
Date: 09/17/2004  
Action: Leak Reported

Global Id: T0603519348  
Action Type: Other  
Date: 12/02/2003  
Action: Leak Discovery

Global Id: T0603519348  
Action Type: ENFORCEMENT  
Date: 01/11/2005  
Action: Staff Letter

Global Id: T0603519348  
Action Type: ENFORCEMENT  
Date: 03/09/2007  
Action: Closure/No Further Action Letter

Global Id: T0603519348  
Action Type: RESPONSE  
Date: 02/11/2005  
Action: Other Report / Document

Global Id: T0603519348  
Action Type: REMEDIATION  
Date: 12/02/2003  
Action: Excavation

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

Z170  
NNE  
1/8-1/4  
0.189 mi.  
1000 ft.

**PROPERTY UNDER CONSTRUCTION**  
**1050-1070 FLOWER ST. S.**  
**LOS ANGELES, CA**  
  
**Site 3 of 4 in cluster Z**

**RGA LUST**    **S114672489**  
**N/A**

**Relative:**  
**Higher**

RGA LUST:

2012	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2011	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2010	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2009	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2008	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2007	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2006	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.
2005	PROPERTY UNDER CONSTRUCTION	1050-1070 FLOWER ST. S.

**Actual:**  
**246 ft.**

AA171  
ESE  
1/8-1/4  
0.191 mi.  
1010 ft.

**SOMMERS L O**  
**211 W 12TH ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**    **1009079998**  
**N/A**

**Site 5 of 11 in cluster AA**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name:	SOMMERS L O
Year:	1929
Type:	AUTOMOBILE REPAIRING AND SERVICE STATIONS
Name:	SOMMERS L O
Year:	1933
Type:	AUTOMOBILE REPAIRING
Name:	SOMMERS L O
Year:	1937
Type:	AUTOMOBILE REPAIRING
Name:	HUNT A F
Year:	1942
Type:	AUTOMOBILE REPAIRING
Name:	SOMMERS L O
Year:	1942
Type:	AUTOMOBILE REPAIRING

**Actual:**  
**242 ft.**

AB172  
WSW  
1/8-1/4  
0.194 mi.  
1025 ft.

**1360 S FIGUEROA ST**  
**LOS ANGELES, CA 90015**

**EDR US Hist Auto Stat**    **1015214028**  
**N/A**

**Site 1 of 5 in cluster AB**

**Relative:**  
**Lower**

EDR Historical Auto Stations:

Name:	L A ARENA COLLISION CENTER
Year:	1999
Address:	1360 S FIGUEROA ST

**Actual:**  
**233 ft.**

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
--	------	-------------	--------------------------------

<b>AB173</b> <b>WSW</b> <b>1/8-1/4</b> <b>0.194 mi.</b> <b>1025 ft.</b>	<b>L A ARENA COLLISION CENTER</b> <b>1360 S FIGUEROA ST</b> <b>LOS ANGELES, CA 90015</b>  <b>Site 2 of 5 in cluster AB</b>	<b>RCRA-SQG</b> <b>FINDS</b>	<b>1000105004</b> <b>CAD981992902</b>
---	--	---------------------------------	--

**Relative:** RCRA-SQG:  
**Lower** Date form received by agency: 02/21/1997  
 Facility name: L A ARENA COLLISION CENTER  
 Facility address: 1360 S FIGUEROA ST  
 LOS ANGELES, CA 90015  
 EPA ID: CAD981992902  
 Mailing address: P O BOX 151055  
 1360 S FIGUEROA ST  
 LOS ANGELES, CA 90015  
 Contact: LINDA HOLCOMB  
 Contact address: P O BOX 151055 1360 S FIGUEROA ST  
 LOS ANGELES, CA 900151055  
 Contact country: US  
 Contact telephone: (213) 746-7594  
 Contact email: Not reported  
 EPA Region: 09  
 Classification: Small Small Quantity Generator  
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**  
 Owner/operator name: NOT REQUIRED  
 Owner/operator address: NOT REQUIRED  
 NOT REQUIRED, ME 99999  
 Owner/operator country: Not reported  
 Owner/operator telephone: (415) 555-1212  
 Legal status: Private  
 Owner/Operator Type: Operator  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported  
  
 Owner/operator name: LUZ C VIGNALI  
 Owner/operator address: P O BOX 151055  
 LOS ANGELES, CA 90015  
 Owner/operator country: Not reported  
 Owner/operator telephone: (213) 746-7594  
 Legal status: Private  
 Owner/Operator Type: Owner  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported

**Handler Activities Summary:**  
 U.S. importer of hazardous waste: No  
 Mixed waste (haz. and radioactive): No  
 Recycler of hazardous waste: No  
 Transporter of hazardous waste: No  
 Treater, storer or disposer of HW: No  
 Underground injection activity: No  
 On-site burner exemption: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**L A ARENA COLLISION CENTER (Continued)**

**1000105004**

Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 02/17/1987  
Site name: L A ARENA COLLISION CENTER  
Classification: Small Quantity Generator

Violation Status: No violations found

FINDS:

Registry ID: 110002769638

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

AB174  
WSW  
1/8-1/4  
0.194 mi.  
1025 ft.

**SERVICE CORP INTERN  
1500 S FIGUEROA ST  
LOS ANGELES, CA 90025**

**CA FID UST S101586997  
SWEEPS UST N/A**

**Site 3 of 5 in cluster AB**

Relative:  
Lower

CA FID UST:  
Facility ID: 19054691  
Regulated By: UTNKI  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2130000000  
Mail To: Not reported  
Mailing Address: UNK  
Mailing Address 2: Not reported  
Mailing City, St, Zip: LOS ANGELES 900250000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Inactive

Actual:  
233 ft.

SWEEPS UST:

Status: Not reported  
Comp Number: 7978

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SERVICE CORP INTERN (Continued)**

**S101586997**

Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

**AC175  
ENE  
1/8-1/4  
0.196 mi.  
1033 ft.**

**CAMP G N  
1100 S OLIVE ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009081466  
N/A**

**Site 1 of 2 in cluster AC**

**Relative:  
Higher**

EDR Historical Auto Stations:

Name: CAMP G N  
Year: 1937

**Actual:  
247 ft.**

Type: GASOLINE AND OIL SERVICE STATIONS

**AD176  
SE  
1/8-1/4  
0.196 mi.  
1037 ft.**

**LOUGH JACK  
1305 S HILL ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009077902  
N/A**

**Site 1 of 3 in cluster AD**

**Relative:  
Lower**

EDR Historical Auto Stations:

Name: PRICE R E  
Year: 1924  
Type: AUTOMOBILE REPAIRING

**Actual:  
238 ft.**

Name: LOUGH JACK  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**AA177  
ESE  
1/8-1/4  
0.197 mi.  
1042 ft.**

**KEMP B V  
1207 S HILL ST  
LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009081752  
N/A**

**Site 6 of 11 in cluster AA**

**Relative:  
Higher**

EDR Historical Auto Stations:

Name: KEMP B V  
Year: 1933  
Type: AUTOMOBILE REPAIRING

**Actual:  
242 ft.**

Name: SIMONIN RENE  
Year: 1933  
Type: AUTOMOBILE REPAIRING



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**KEMP B V (Continued)**

**1009081752**

Name: KEMP B V  
 Year: 1942  
 Type: AUTOMOBILE REPAIRING

**AA178**  
**ESE**  
**1/8-1/4**  
**0.198 mi.**  
**1046 ft.**

**EKLUND FRANK**  
**1216 S HILL ST**  
**LOS ANGELES, CA**  
**Site 7 of 11 in cluster AA**

**EDR US Hist Auto Stat**

**1009081401**  
**N/A**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name: EKLUND FRANK  
 Year: 1933  
 Type: AUTOMOBILE REPAIRING

**Actual:**  
**242 ft.**

**AE179**  
**SSW**  
**1/8-1/4**  
**0.199 mi.**  
**1050 ft.**

**CITY OF LOS ANGELES - MERCY HOUSING PROJECT**  
**1450 GRAND**  
**LOS ANGELES, CA 90245**  
**Site 1 of 3 in cluster AE**

**SLIC S106386932**  
**N/A**

**Relative:**  
**Lower**

SLIC:

Region: STATE  
**Facility Status: Completed - Case Closed**  
 Status Date: 05/12/2011  
 Global Id: SLT4L1501772  
 Lead Agency: LOS ANGELES RWQCB (REGION 4)  
 Lead Agency Case Number: Not reported  
 Latitude: 34.0359018301402  
 Longitude: -118.265762329102  
 Case Type: Cleanup Program Site  
 Case Worker: DY  
 Local Agency: Not reported  
 RB Case Number: 0150  
 File Location: Regional Board  
 Potential Media Affected: Indoor Air, Soil, Soil Vapor  
 Potential Contaminants of Concern: Benzene, Other Chlorinated Hydrocarbons, Tetrachloroethylene (PCE), Toluene, Trichloroethylene (TCE), Xylene

**Actual:**  
**231 ft.**

Site History:

The subject site (Site) was a former machine shop, then used as a parking lot from the 1990s-2002. PCE was encountered in soil and soil gas mostly in area of the former machine shop, however lower concentrations of benzene, toluene, ethylbenzene, and xylenes were also detected at the Site. Soil excavation was completed at the Site in 2004 and a sub-slab vapor barrier and passive ventilation system were installed when the Site was redeveloped as Grand Avenue affordable housing in 2005-2006. The Site has completed 1 year of indoor air and sub-slab monitoring. The Site received a No Further Action letter on May 12, 2011. COCs: Primarily chlorinated solvents, minor BTEX Status: Soil excavation completed, sub-slab vapor barrier and passive vent sys installed, site completed 1 yr of indoor air and sub slab mon. Ready for Closure Review HHRA: Submitted and reviewed/approved by OEHHA Env Cov: No Env Just: No? Low income housing?

Click here to access the California GeoTracker records for this facility:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

CITY OF LOS ANGELES - MERCY HOUSING PROJECT (Continued)

S106386932

SLIC REG 4:

Region: 4  
Facility Status: Site Assessment  
SLIC: 0150  
Substance: VOCs  
Staff: DY

AB180  
WSW  
1/8-1/4  
0.199 mi.  
1052 ft.

RED ROWE  
1417 S FIGUEROA ST  
LOS ANGELES, CA 90015  
Site 4 of 5 in cluster AB

CA FID UST S101588252  
SWEEPS UST N/A

Relative:  
Lower

CA FID UST:

Facility ID: 19056494  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 7147379975  
Mail To: Not reported  
Mailing Address: 1417 S FIGUEROA ST  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

Actual:  
233 ft.

SWEEPS UST:

Status: Not reported  
Comp Number: 7398  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**Z181**  
**North**  
**1/8-1/4**  
**0.204 mi.**  
**1078 ft.**

**SPECK TIMMERMAN**  
**607 W 11TH ST**  
**LOS ANGELES, CA**  
**Site 4 of 4 in cluster Z**

**EDR US Hist Auto Stat**

**1009080882**  
**N/A**

**Relative:**  
**Higher**  
  
**Actual:**  
**245 ft.**

EDR Historical Auto Stations:  
 Name: SPECK TIMMERMAN  
 Year: 1937  
 Type: AUTOMOBILE REPAIRING

**AF182**  
**North**  
**1/8-1/4**  
**0.206 mi.**  
**1089 ft.**

**DEMOCRATIC NATIONAL CONVENTION - STAPLES CENTER**  
**1111 SOUTH FIGUEROA STREET**  
**LOS ANGELES, CA 90015**  
**Site 1 of 5 in cluster AF**

**CERCLIS**

**1005440840**  
**CASFN0905578**

**Relative:**  
**Higher**  
  
**Actual:**  
**244 ft.**

CERCLIS:  
 Site ID: 0905578  
 EPA ID: CASFN0905578  
 Facility County: LOS ANGELES  
 Short Name: DEMOCRATIC CONVENTION  
 Congressional District: 33  
 IFMS ID: 09GC  
 SMSA Number: Not reported  
 USGC Hydro Unit: Not reported  
 Federal Facility: Not a Federal Facility  
 DMNSN Number: 0.00000  
 Site Orphan Flag: Not reported  
 RCRA ID: Not reported  
 USGS Quadrangle: Not reported  
 Site Init By Prog: R  
 NFRAP Flag: Not reported  
 Parent ID: Not reported  
 RST Code: Not reported  
 EPA Region: 09  
 Classification: Not reported  
 Site Settings Code: Not reported  
 NPL Status: Not on the NPL  
 DMNSN Unit Code: Not reported  
 RBRAC Code: Not reported  
 RResp Fed Agency Code: Not reported  
 Non NPL Status: Removal Only Site (No Site Assessment Work Needed)  
 Non NPL Status Date: 01/10/02  
 Site Fips Code: 06037  
 CC Concurrence Date: / /  
 CC Concurrence FY: Not reported  
 Alias EPA ID: Not reported  
 Site FUDS Flag: Not reported

CERCLIS Site Contact Name(s):  
 Contact ID: 13003854.00000  
 Contact Name: Leslie Ramirez  
 Contact Tel: (415) 972-3978  
 Contact Title: Site Assessment Manager (SAM)  
 Contact Email: Not reported  
  
 Contact ID: 13003858.00000  
 Contact Name: Sharon Murray

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DEMOCRATIC NATIONAL CONVENTION - STAPLES CENTER (Continued)**

**1005440840**

Contact Tel: (415) 972-4250  
Contact Title: Site Assessment Manager (SAM)  
Contact Email: Not reported

Contact ID: 13004003.00000  
Contact Name: Carl Brickner  
Contact Tel: Not reported  
Contact Title: Site Assessment Manager (SAM)  
Contact Email: Not reported

Alias Comments: Not reported  
Site Description: To track counter-terrorism actions and funding for the Democratic national convention at the Staples Center in LA.

CERCLIS Assessment History:

Action Code: 001  
Action: REMOVAL  
Date Started: 08/09/00  
Date Completed: 08/18/00  
Priority Level: Cleaned up  
Operable Unit: SITEWIDE  
Primary Responsibility: EPA Fund-Financed  
Planning Status: Not reported  
Urgency Indicator: Time Critical  
Action Anomaly: Not reported

For detailed financial records, contact EDR for a Site Report.:

[Click this hyperlink](#) while viewing on your computer to access 23 additional US CERCLIS Financial: record(s) in the EDR Site Report.

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**AF183**     **STAPLES CENTER**  
**North**     **1111 S FIGUEROA ST**  
**1/8-1/4**     **LOS ANGELES, CA 90015**  
**0.206 mi.**  
**1089 ft.**     **Site 2 of 5 in cluster AF**

**UST**     **U003780575**  
**N/A**

**Relative:**     **UST:**  
**Higher**     Facility ID: 24138  
Permitting Agency: LOS ANGELES, CITY OF  
**Actual:**     Latitude: 34.044474  
**244 ft.**     Longitude: -118.265769

---

**AF184**     **CITY OF LOS ANGELES - STAPLES ARENA**  
**North**     **1111 FIGUEROA**  
**1/8-1/4**     **LOS ANGELES, CA 90015**  
**0.206 mi.**  
**1089 ft.**     **Site 3 of 5 in cluster AF**

**SLIC**     **S106387148**  
**N/A**

**Relative:**     **SLIC REG 4:**  
**Higher**     Region: 4  
Facility Status: Remediation  
**Actual:**     SLIC: 0856  
**244 ft.**     Substance: TPH/VOCs/Metals  
Staff: DY

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**AF185**  
**North**  
**1/8-1/4**  
**0.206 mi.**  
**1089 ft.**

**CITY OF LOS ANGELES - STAPLES ARENA**  
**1111 S FIGUEROA**  
**LOS ANGELES, CA 90015**

**SLIC S103975297**  
**N/A**

**Site 4 of 5 in cluster AF**

**Relative:**  
**Higher**

SLIC:  
 Region: STATE  
**Facility Status: Completed - Case Closed**  
 Status Date: 06/01/2005  
 Global Id: SL163772345  
 Lead Agency: LOS ANGELES RWQCB (REGION 4)  
 Lead Agency Case Number: Not reported  
 Latitude: 34.0450144589412  
 Longitude: -118.266491889954  
 Case Type: Cleanup Program Site  
 Case Worker: DY  
 Local Agency: Not reported  
 RB Case Number: 0856  
 File Location: Not reported  
 Potential Media Affected: Not reported  
 Potential Contaminants of Concern: Not reported  
 Site History: Not reported

**Actual:**  
**244 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

**AG186**  
**WNW**  
**1/8-1/4**  
**0.207 mi.**  
**1094 ft.**

**SCHARCH GRIGGS**  
**1261 TRENTON WY**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009079592**  
**N/A**

**Site 1 of 7 in cluster AG**

**Relative:**  
**Lower**

EDR Historical Auto Stations:  
 Name: SCHARCH GRIGGS  
 Year: 1924  
 Type: AUTOMOBILE REPAIRING

**Actual:**  
**236 ft.**

**AA187**  
**ESE**  
**1/8-1/4**  
**0.207 mi.**  
**1095 ft.**

**OCCUPANT**  
**1149 S HILL ST**  
**LOS ANGELES, CA 90015**

**CA FID UST S101585711**  
**SWEEPS UST N/A**  
**WIP**

**Site 8 of 11 in cluster AA**

**Relative:**  
**Higher**

CA FID UST:  
 Facility ID: 19027841  
 Regulated By: UTNKA  
 Regulated ID: Not reported  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: 2137422671  
 Mail To: Not reported  
 Mailing Address: 1149 S HILL ST  
 Mailing Address 2: Not reported  
 Mailing City,St,Zip: LOS ANGELES 900150000  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNs Number: Not reported  
 NPDES Number: Not reported

**Actual:**  
**243 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**OCCUPANT (Continued)**

**S101585711**

EPA ID: Not reported  
Comments: Not reported  
Status: Active

**SWEEPS UST:**

Status: Active  
Comp Number: 6072  
Number: 9  
Board Of Equalization: Not reported  
Referral Date: 03-10-93  
Action Date: 03-10-93  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

**WIP:**

Region: 4  
File Number: 108.0100  
**File Status: Not reported**  
Staff: UNIDENTIFIED  
Facility Suite: Not reported

**AA188**  
**ESE**  
**1/8-1/4**  
**0.207 mi.**  
**1095 ft.**

**TRANSAMERICA CORP.**  
**1149 S HILL ST**  
**LOS ANGELES, CA 90015**

**UST U003880022**  
**N/A**

**Site 9 of 11 in cluster AA**

**Relative:**  
**Higher**

**UST:**  
Facility ID: 24768  
Permitting Agency: LOS ANGELES, CITY OF  
Latitude: 34.0406283  
Longitude: -118.2597308

**Actual:**  
**243 ft.**

**AA189**  
**ESE**  
**1/8-1/4**  
**0.207 mi.**  
**1095 ft.**

**1149 S HILL ST**  
**LOS ANGELES, CA 90015**

**EDR US Hist Cleaners 1014978185**  
**N/A**

**Site 10 of 11 in cluster AA**

**Relative:**  
**Higher**

**EDR Historical Cleaners:**  
Name: SLOANS DRY CLEANERS & LAUNDRY  
Year: 1999  
Address: 1149 S HILL ST  
  
Name: JOY CLEANERS  
Year: 2003  
Address: 1149 S HILL ST

**Actual:**  
**243 ft.**

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
AE190 SSW 1/8-1/4 0.209 mi. 1105 ft.	<b>SAMUELS J R</b> 1513 S GRAND AVE LOS ANGELES, CA  Site 2 of 3 in cluster AE	EDR US Hist Cleaners	1009192108 N/A
Relative: Lower	EDR Historical Cleaners: Name: SAMUELS J R Year: 1937 Type: CLOTHES PRESSERS AND CLEANERS		
Actual: 231 ft.			
AE191 SSW 1/8-1/4 0.211 mi. 1112 ft.	<b>MANTES C R</b> 1518 S GRAND AVE LOS ANGELES, CA  Site 3 of 3 in cluster AE	EDR US Hist Auto Stat	1009082655 N/A
Relative: Lower	EDR Historical Auto Stations: Name: MANTES C R Year: 1937 Type: AUTOMOBILE REPAIRING		
Actual: 231 ft.			
AG192 WNW 1/8-1/4 0.212 mi. 1117 ft.	<b>KEEDY G M</b> 810 W PICO BLVD LOS ANGELES, CA  Site 2 of 7 in cluster AG	EDR US Hist Auto Stat	1009081038 N/A
Relative: Lower	EDR Historical Auto Stations: Name: KEEDY G M Year: 1942 Type: AUTOMOBILE REPAIRING		
Actual: 235 ft.			
AH193 NNE 1/8-1/4 0.212 mi. 1121 ft.	<b>WILLYS DISTRIBUTORS SERVICE</b> 1058 S HOPE ST LOS ANGELES, CA  Site 1 of 2 in cluster AH	EDR US Hist Auto Stat	1009082021 N/A
Relative: Higher	EDR Historical Auto Stations: Name: WILLYS DISTRIBUTORS SERVICE Year: 1937 Type: AUTOMOBILE REPAIRING		
Actual: 248 ft.			
AA194 East 1/8-1/4 0.213 mi. 1124 ft.	<b>FOWLER L D</b> 1129 S HILL ST LOS ANGELES, CA  Site 11 of 11 in cluster AA	EDR US Hist Auto Stat	1009081697 N/A
Relative: Higher	EDR Historical Auto Stations: Name: FOWLER L D Year: 1937 Type: GASOLINE AND OIL SERVICE STATIONS		
Actual: 244 ft.			

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**W195**      **NEW WELL HAND LAUNDRY**      **EDR US Hist Cleaners**      **1009188695**  
**NE**      **1056 S GRAND AVE**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.214 mi.**  
**1131 ft.**      **Site 2 of 2 in cluster W**

**Relative:**      EDR Historical Cleaners:  
**Higher**      Name:      NEW WELL HAND LAUNDRY  
                     Year:      1933  
**Actual:**      Type:      LAUNDRIES CHINESE  
**249 ft.**

**AI196**      **KELLEY BROS**      **EDR US Hist Auto Stat**      **1009082564**  
**East**      **1127 S HILL ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.215 mi.**  
**1135 ft.**      **Site 1 of 3 in cluster AI**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:      KELLEY BROS  
                     Year:      1937  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**244 ft.**

**AJ197**      **REAGAN KAZAR**      **EDR US Hist Auto Stat**      **1009083112**  
**NE**      **1055 S GRAND AVE**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.216 mi.**  
**1141 ft.**      **Site 1 of 2 in cluster AJ**

**Relative:**      EDR Historical Auto Stations:  
**Higher**      Name:      REAGAN KAZAR  
                     Year:      1942  
**Actual:**      Type:      GASOLINE AND OIL SERVICE STATIONS  
**249 ft.**

**AG198**      **NATIONAL CAR RENTAL SYSTEM, IN**      **CA FID UST**      **S101586637**  
**WNW**      **820 W PICO BLVD**      **SWEEPS UST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA 90015**  
**0.217 mi.**  
**1148 ft.**      **Site 3 of 7 in cluster AG**

**Relative:**      CA FID UST:  
**Lower**      Facility ID:      19054289  
                     Regulated By:      UTKNI  
**Actual:**      Regulated ID:      00061108  
**235 ft.**      Cortese Code:      Not reported  
                     SIC Code:      Not reported  
                     Facility Phone:      2137463194  
                     Mail To:      Not reported  
                     Mailing Address:      7700 S FRANCE AVE  
                     Mailing Address 2:      Not reported  
                     Mailing City, St, Zip:      LOS ANGELES 900150000  
                     Contact:      Not reported  
                     Contact Phone:      Not reported  
                     DUNs Number:      Not reported  
                     NPDES Number:      Not reported  
                     EPA ID:      Not reported  
                     Comments:      Not reported  
                     Status:      Inactive



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**NATIONAL CAR RENTAL SYSTEM, IN (Continued)**

**S101586637**

**SWEEPS UST:**

Status: Not reported  
 Comp Number: 3324  
 Number: Not reported  
 Board Of Equalization: Not reported  
 Referral Date: Not reported  
 Action Date: Not reported  
 Created Date: Not reported  
 Owner Tank Id: Not reported  
 SWRCB Tank Id: 19-050-003324-000001  
 Tank Status: Not reported  
 Capacity: 12000  
 Active Date: Not reported  
 Tank Use: M.V. FUEL  
 STG: PRODUCT  
 Content: REG UNLEADED  
 Number Of Tanks: 1

**AG199  
 WNW  
 1/8-1/4  
 0.217 mi.  
 1148 ft.**

**NATIONAL CAR RENTAL SYSTEM,INC  
 820 W PICO BLVD  
 LOS ANGELES, CA 90015  
 Site 4 of 7 in cluster AG**

**HIST UST U001560622  
 N/A**

**Relative:  
 Lower**

**HIST UST:**

Region: STATE  
 Facility ID: 00000061108  
 Facility Type: Other  
 Other Type: CAR RENTAL  
 Contact Name: ANNE MCCLELLAND  
 Telephone: 2137463194  
 Owner Name: NATIONAL CAR RENTAL SYSTEM  
 Owner Address: 7700 FRANCE AVENUE SOUTH  
 Owner City,St,Zip: MINNEAPOLIS, CA 55435  
 Total Tanks: 0001

**Actual:  
 235 ft.**

Tank Num: 001  
 Container Num: 1  
 Year Installed: Not reported  
 Tank Capacity: 00012000  
 Tank Used for: PRODUCT  
 Type of Fuel: UNLEADED  
 Container Construction Thickness: Not reported  
 Leak Detection: Stock Inventor

**AJ200  
 NE  
 1/8-1/4  
 0.218 mi.  
 1153 ft.**

**HANSEN SERVICE  
 1053 S GRAND AVE  
 LOS ANGELES, CA  
 Site 2 of 2 in cluster AJ**

**EDR US Hist Auto Stat 1009081305  
 N/A**

**Relative:  
 Higher**

**EDR Historical Auto Stations:**

Name: HANSEN SERVICE  
 Year: 1937  
 Type: GASOLINE AND OIL SERVICE STATIONS

**Actual:  
 249 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

AG201  
WNW  
1/8-1/4  
0.223 mi.  
1175 ft.

**KEEDY G M**  
**819 W PICO BLVD**  
**LOS ANGELES, CA**

EDR US Hist Auto Stat

1009078217  
N/A

Site 5 of 7 in cluster AG

Relative:  
Lower

EDR Historical Auto Stations:

Name: KEEDY G M  
Year: 1929

Actual:  
235 ft.

Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

Name: KEEDY G M  
Year: 1937  
Type: AUTOMOBILE REPAIRING

AK202  
SW  
1/8-1/4  
0.223 mi.  
1176 ft.

**BUSCH R E**  
**1504 S FLOWER ST**  
**LOS ANGELES, CA**

EDR US Hist Auto Stat

1009077935  
N/A

Site 1 of 3 in cluster AK

Relative:  
Lower

EDR Historical Auto Stations:

Name: BUSCH R E  
Year: 1937

Actual:  
231 ft.

Type: AUTOMOBILE REPAIRING

Name: BUSCH R E  
Year: 1942  
Type: AUTOMOBILE REPAIRING

AL203  
South  
1/8-1/4  
0.224 mi.  
1184 ft.

**JAPAN AUTO**  
**239 W 15TH ST**  
**LOS ANGELES, CA 90015**

RCRA-SQG  
FINDS  
HAZNET

1000597601  
CAD983616186

Site 1 of 5 in cluster AL

Relative:  
Lower

RCRA-SQG:

Date form received by agency: 01/16/1992  
Facility name: JAPAN AUTO  
Facility address: 239 W 15TH ST  
LOS ANGELES, CA 90015

Actual:  
231 ft.

EPA ID: CAD983616186  
Contact: MITS MORIYAMA  
Contact address: 239 W 15TH ST  
LOS ANGELES, CA 90015

Contact country: US  
Contact telephone: (213) 748-6188  
Contact email: Not reported  
EPA Region: 09

Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: TED TANABE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JAPAN AUTO (Continued)**

**1000597601**

Owner/operator address: 239 W 15TH ST  
LOS ANGELES, CA 90015  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 748-6188  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002866881

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZNET:

envid: 1000597601  
Year: 1998  
GEPID: CAD983616186  
Contact: TED TANABE  
Telephone: 2137486188  
Mailing Name: Not reported  
Mailing Address: 1760 COLLEGE VIEW DR  
Mailing City,St,Zip: MONTEREY PARK, CA 917543042  
Gen County: Not reported  
TSD EPA ID: CAD093459485  
TSD County: Not reported  
Waste Category: Organic liquids with metals (Alkaline solution (pH >= 12.5) with metals)  
Disposal Method: Transfer Station  
Tons: .1250

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JAPAN AUTO (Continued)**

**1000597601**

Facility County: Los Angeles  
  
envid: 1000597601  
Year: 1998  
GEPaid: CAD983616186  
Contact: TED TANABE  
Telephone: 2137486188  
Mailing Name: Not reported  
Mailing Address: 1760 COLLEGE VIEW DR  
Mailing City,St,Zip: MONTEREY PARK, CA 917543042  
Gen County: Not reported  
TSD EPA ID: CAT000613893  
TSD County: Not reported  
Waste Category: Aqueous solution with total organic residues less than 10 percent  
Disposal Method: Transfer Station  
Tons: .2375  
Facility County: Los Angeles

envid: 1000597601  
Year: 1997  
GEPaid: CAD983616186  
Contact: TED TANABE  
Telephone: 2137486188  
Mailing Name: Not reported  
Mailing Address: 1760 COLLEGE VIEW DR  
Mailing City,St,Zip: MONTEREY PARK, CA 917543042  
Gen County: Not reported  
TSD EPA ID: CAT080013352  
TSD County: Not reported  
Waste Category: Unspecified aqueous solution  
Disposal Method: Recycler  
Tons: .2293  
Facility County: Los Angeles

envid: 1000597601  
Year: 1995  
GEPaid: CAD983616186  
Contact: TED TANABE  
Telephone: 2137486188  
Mailing Name: Not reported  
Mailing Address: 1760 COLLEGE VIEW DR  
Mailing City,St,Zip: MONTEREY PARK, CA 917543042  
Gen County: Not reported  
TSD EPA ID: CAD099452708  
TSD County: Not reported  
Waste Category: Unspecified aqueous solution  
Disposal Method: Recycler  
Tons: .4586  
Facility County: Los Angeles

envid: 1000597601  
Year: 1993  
GEPaid: CAD983616186  
Contact: TED TANABE  
Telephone: 2137486188  
Mailing Name: Not reported  
Mailing Address: 1760 COLLEGE VIEW DR

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JAPAN AUTO (Continued)**

**1000597601**

Mailing City,St,Zip: MONTEREY PARK, CA 917543042  
Gen County: Not reported  
TSD EPA ID: CAT080013352  
TSD County: Not reported  
Waste Category: Unspecified aqueous solution  
Disposal Method: Recycler  
Tons: 0.2293  
Facility County: Los Angeles

[Click this hyperlink](#) while viewing on your computer to access additional CA\_HAZNET: detail in the EDR Site Report.

**AF204**  
**North**  
**1/8-1/4**  
**0.225 mi.**  
**1187 ft.**

**POST POST**  
**1100 S FIGUEROA ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**

**1009077751**  
**N/A**

**Site 5 of 5 in cluster AF**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name: POST POST  
Year: 1924  
Type: AUTOMOBILE SERVICE STATIONS

**Actual:**  
**245 ft.**

**205**  
**NNE**  
**1/8-1/4**  
**0.226 mi.**  
**1193 ft.**

**WARD HOWARD F INC**  
**1058 S FLOWER ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat**

**1009081268**  
**N/A**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name: WARD H F INC  
Year: 1937  
Type: AUTOMOBILE REPAIRING

**Actual:**  
**247 ft.**

Name: WARD HOWARD F INC  
Year: 1942  
Type: AUTOMOBILE REPAIRING

**AG206**  
**WNW**  
**1/8-1/4**  
**0.226 mi.**  
**1194 ft.**

**HORWITZ JACOB**  
**823 W PICO BLVD**  
**LOS ANGELES, CA**

**EDR US Hist Cleaners**

**1009191241**  
**N/A**

**Site 6 of 7 in cluster AG**

**Relative:**  
**Lower**

EDR Historical Cleaners:

Name: HORWITZ JACOB  
Year: 1937  
Type: CLOTHES PRESSERS AND CLEANERS

**Actual:**  
**235 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AG207**      **EISENBERG SAML**      **EDR US Hist Cleaners**      **1009187739**  
**WNW**      **827 W PICO BLVD**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.230 mi.**  
**1214 ft.**      **Site 7 of 7 in cluster AG**

**Relative:**      EDR Historical Cleaners:  
**Lower**      Name:      EISENBERG SAML  
                    Year:      1924  
**Actual:**      Type:      CLOTHES CLEANERS PRESSERS AND DYERS  
**235 ft.**  
  
                    Name:      EISENBERG SAML  
                    Year:      1929  
                    Type:      CLOTHES PRESSERS CLEANERS AND REPAIRERS

**AM208**      **KINCAID AUTO SERVICE**      **EDR US Hist Auto Stat**      **1009080053**  
**SW**      **1515 S HOPE ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.232 mi.**  
**1226 ft.**      **Site 1 of 2 in cluster AM**

**Relative:**      EDR Historical Auto Stations:  
**Lower**      Name:      KINCAID AUTO SERVICE  
                    Year:      1924  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**230 ft.**  
  
                    Name:      HANSEN A C  
                    Year:      1933  
                    Type:      AUTOMOBILE REPAIRING  
  
                    Name:      SEYFRIED E J  
                    Year:      1937  
                    Type:      AUTOMOBILE REPAIRING

**AK209**      **OLSON R C**      **EDR US Hist Auto Stat**      **1009075822**  
**SW**      **1516 S FLOWER ST**      **N/A**  
**1/8-1/4**      **LOS ANGELES, CA**  
**0.233 mi.**  
**1228 ft.**      **Site 2 of 3 in cluster AK**

**Relative:**      EDR Historical Auto Stations:  
**Lower**      Name:      ASSEMBLY GARAGE  
                    Year:      1924  
**Actual:**      Type:      AUTOMOBILE REPAIRING  
**231 ft.**  
  
                    Name:      OLSON R C  
                    Year:      1929  
                    Type:      AUTOMOBILE REPAIRING AND SERVICE STATIONS  
  
                    Name:      OLSON R C  
                    Year:      1933  
                    Type:      AUTOMOBILE REPAIRING  
  
                    Name:      OLSON R C  
                    Year:      1937  
                    Type:      AUTOMOBILE REPAIRING  
  
                    Name:      BENNETT IRWIN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**OLSON R C (Continued)**

**1009075822**

Year: 1942  
Type: AUTOMOBILE REPAIRING

**AK210  
SW  
1/8-1/4  
0.233 mi.  
1228 ft.**

**L A IMPRINTS  
1516 S FLOWER ST  
LOS ANGELES, CA 90015**

**RCRA-SQG 1004676450  
FINDS CAR000085480**

**Site 3 of 3 in cluster AK**

**Relative:  
Lower**

**RCRA-SQG:**

**Actual:  
231 ft.**

Date form received by agency: 10/31/2000  
Facility name: L A IMPRINTS  
Facility address: 1516 S FLOWER ST  
LOS ANGELES, CA 90015  
EPA ID: CAR000085480  
Contact: JOSE DURON  
Contact address: 1516 S FLOWER ST  
LOS ANGELES, CA 90015  
Contact country: US  
Contact telephone: (213) 747-2113  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: TIM HALL  
Owner/operator address: 1043 WESTWOOD BLVD  
LOS ANGELES, CA 90024  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 747-2113  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**L A IMPRINTS (Continued)**

**1004676450**

- . Waste code: D001
- . Waste name: IGNITABLE WASTE
  
- . Waste code: D018
- . Waste name: BENZENE
  
- . Waste code: D039
- . Waste name: TETRACHLOROETHYLENE
  
- . Waste code: D040
- . Waste name: TRICHLOROETHYLENE

Violation Status: No violations found

**FINDS:**

Registry ID: 110012229551

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**AC211**  
**East**  
**1/8-1/4**  
**0.233 mi.**  
**1232 ft.**

**WILSON L C**  
**208 W 11TH ST**  
**LOS ANGELES, CA**

**EDR US Hist Cleaners**

**1009191687**  
**N/A**

**Site 2 of 2 in cluster AC**

**Relative:**  
**Higher**

EDR Historical Cleaners:

Name: WILSON L C  
 Year: 1929

**Actual:**  
**246 ft.**

Type: CLOTHES PRESSERS CLEANERS AND REPAIRERS

**AN212**  
**ESE**  
**1/8-1/4**  
**0.235 mi.**  
**1243 ft.**

**SKLAR ISEDORE**  
**159 W 12TH ST**  
**LOS ANGELES, CA**

**EDR US Hist Cleaners**

**1009189552**  
**N/A**

**Site 1 of 2 in cluster AN**

**Relative:**  
**Higher**

EDR Historical Cleaners:

Name: SKLAR ISEDORE  
 Year: 1929  
 Type: CLOTHES PRESSERS CLEANERS AND REPAIRERS

**Actual:**  
**242 ft.**

Name: SKLAR ISAAC  
 Year: 1933  
 Type: CLOTHES PRESSERS AND CLEANERS



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**AI213**      **ASSOCIATED PRESS**  
**East**        **1111 S HILL ST**  
**1/8-1/4**      **LOS ANGELES, CA 90015**  
**0.235 mi.**  
**1243 ft.**      **Site 2 of 3 in cluster AI**

**RCRA-SQG**    **1000327991**  
**FINDS**        **CAD982522054**

**Relative:**  
**Higher**

RCRA-SQG:

Date form received by agency: 11/27/1989  
 Facility name: ASSOCIATED PRESS  
 Facility address: 1111 S HILL ST  
                           LOS ANGELES, CA 90015  
 EPA ID: CAD982522054  
 Contact: ENVIRONMENTAL MANAGER  
 Contact address: 1111 S HILL ST  
                           LOS ANGELES, CA 90015  
 Contact country: US  
 Contact telephone: (213) 746-1200  
 Contact email: Not reported  
 EPA Region: 09  
 Classification: Small Small Quantity Generator  
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Actual:**  
**245 ft.**

Owner/Operator Summary:

Owner/operator name: ASSOCIATED PRESS  
 Owner/operator address: NOT REQUIRED  
                                   NOT REQUIRED, ME 99999  
 Owner/operator country: Not reported  
 Owner/operator telephone: (415) 555-1212  
 Legal status: Private  
 Owner/Operator Type: Owner  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
 Owner/operator address: NOT REQUIRED  
                                   NOT REQUIRED, ME 99999  
 Owner/operator country: Not reported  
 Owner/operator telephone: (415) 555-1212  
 Legal status: Private  
 Owner/Operator Type: Operator  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
 Mixed waste (haz. and radioactive): No  
 Recycler of hazardous waste: No  
 Transporter of hazardous waste: No  
 Treater, storer or disposer of HW: No  
 Underground injection activity: No  
 On-site burner exemption: No  
 Furnace exemption: No  
 Used oil fuel burner: No  
 Used oil processor: No

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ASSOCIATED PRESS (Continued)**

**1000327991**

User oil refiner: No  
 Used oil fuel marketer to burner: No  
 Used oil Specification marketer: No  
 Used oil transfer facility: No  
 Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002841051

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

214  
 SSE  
 1/8-1/4  
 0.237 mi.  
 1254 ft.

**BAUMANN JOS**  
**1409 S HILL ST**  
**LOS ANGELES, CA**

**EDR US Hist Cleaners 1009188879**  
**N/A**

**Relative:**  
**Lower**  
  
**Actual:**  
**232 ft.**

EDR Historical Cleaners:  
 Name: BAUMANN JOS  
 Year: 1924  
 Type: CLOTHES CLEANERS PRESSERS AND DYERS

AM215  
 SW  
 1/8-1/4  
 0.238 mi.  
 1255 ft.

**RUDD H B**  
**1521 S HOPE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009080928**  
**N/A**

**Site 2 of 2 in cluster AM**

**Relative:**  
**Lower**  
  
**Actual:**  
**230 ft.**

EDR Historical Auto Stations:  
 Name: OCONNOR J J  
 Year: 1929  
 Type: GASOLINE AND OIL SERVICE STATION  
  
 Name: RUDD H B  
 Year: 1933  
 Type: GASOLINE AND OIL SERVICE STATIONS

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

---

<b>AL216</b> South 1/8-1/4 0.239 mi. 1263 ft.	<b>WALSHE RANK</b> 224 W 15TH ST LOS ANGELES, CA Site 2 of 5 in cluster AL	EDR US Hist Auto Stat	1009079271 N/A
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<b>Relative:</b> Lower	EDR Historical Auto Stations: Name: WALSHE RANK Year: 1924 Type: AUTOMOBILE REPAIRING
<b>Actual:</b> 231 ft.	Name: WALSHE RANK Year: 1929 Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

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<b>AB217</b> WSW 1/8-1/4 0.240 mi. 1269 ft.	<b>LA CONVENTION CENTER</b> 1501 S FIGUEROA ST LOS ANGELES, CA 90015 Site 5 of 5 in cluster AB	UST	U003780361 N/A
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<b>Relative:</b> Lower	UST: Facility ID: 23879 Permitting Agency: LOS ANGELES, CITY OF
<b>Actual:</b> 231 ft.	Latitude: 34.03833 Longitude: -118.26953

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<b>AN218</b> ESE 1/8-1/4 0.242 mi. 1277 ft.	<b>TRANSAMERICA REALTY SERVICES</b> 150 W 12TH ST LOS ANGELES, CA 90015 Site 2 of 2 in cluster AN	CA FID UST SWEEPS UST	S101584268 N/A
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<b>Relative:</b> Higher	CA FID UST: Facility ID: 19010041 Regulated By: UTKNI Regulated ID: Not reported Cortese Code: Not reported SIC Code: Not reported Facility Phone: 2130000000 Mail To: Not reported Mailing Address: 150 W 12TH ST Mailing Address 2: Not reported Mailing City, St, Zip: LOS ANGELES 900150000 Contact: Not reported Contact Phone: Not reported DUNS Number: Not reported NPDES Number: Not reported EPA ID: Not reported Comments: Not reported Status: Inactive
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<b>SWEEPS UST:</b>	Status: Not reported Comp Number: 7466 Number: Not reported Board Of Equalization: Not reported Referral Date: Not reported
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Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TRANSAMERICA REALTY SERVICES (Continued)**

**S101584268**

Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: 0

**AD219  
SE  
1/8-1/4  
0.243 mi.  
1284 ft.**

**TRANSAMERICA OCCIDENTAL LIFE  
150 W PICO BLVD  
LOS ANGELES, CA 90015**

**CA FID UST S101588213  
SWEEPS UST N/A**

**Site 2 of 3 in cluster AD**

**Relative:  
Lower**

CA FID UST:  
Facility ID: 19056453  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2130000000  
Mail To: Not reported  
Mailing Address: 150 W PICO BLVD  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900150000  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:  
237 ft.**

SWEEPS UST:  
Status: Not reported  
Comp Number: 7184  
Number: Not reported  
Board Of Equalization: Not reported  
Referral Date: Not reported  
Action Date: Not reported  
Created Date: Not reported  
Owner Tank Id: Not reported  
SWRCB Tank Id: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Active Date: Not reported  
Tank Use: Not reported  
STG: Not reported  
Content: Not reported  
Number Of Tanks: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**AI220**      **FC BROADWAY AND HILL 1108 SOUTH HILL**  
**East**        **1108 S HILL STREET**  
**1/8-1/4**      **LOS ANGELES, CA 90015**  
**0.245 mi.**  
**1292 ft.**      **Site 3 of 3 in cluster AI**

**VCP**      **S117038678**  
**ENVIROSTOR**      **N/A**

**Relative:**  
**Higher**

VCP:

**Actual:**  
**245 ft.**

Facility ID: 60002032  
 Site Type: Voluntary Cleanup  
 Site Type Detail: Voluntary Cleanup  
 Site Mgmt. Req.: NONE SPECIFIED  
 Acres: 1.06  
 National Priorities List: NO  
 Cleanup Oversight Agencies: SMBRP  
 Lead Agency: SMBRP  
 Lead Agency Description: DTSC - Site Cleanup Program  
 Project Manager: Haissam Salloum  
 Supervisor: Sayareh Amirebrahimi  
 Division Branch: Cleanup Chatsworth  
 Site Code: 301670-11  
 Assembly: 53  
 Senate: 30  
 Special Programs Code: Voluntary Cleanup Program  
 Status: Active  
 Status Date: 07/14/2014  
 Restricted Use: NO  
 Funding: Responsible Party  
 Lat/Long: 34.03961 / -118.2600  
 APN: NONE SPECIFIED  
 Past Use: UNDERGROUND STORAGE TANKS  
 Potential COC: 30022, 30027, 30272, 30484, 30593  
 Confirmed COC: 30022,30484,30272,30593,30027  
 Potential Description: SOIL, SV  
 Alias Name: 301670-11  
 Alias Type: Project Code (Site Code)  
 Alias Name: 60002032  
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Preliminary Endangerment Assessment Report  
 Completed Date: 10/09/2014  
 Comments: Not reported

Completed Area Name: PROJECT WIDE  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Risk Assessment Report  
 Completed Date: 12/30/2014  
 Comments: Not reported

Completed Area Name: PROJECT WIDE  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Design/Implementation Workplan  
 Completed Date: 02/10/2015  
 Comments: Not reported

Completed Area Name: PROJECT WIDE  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Voluntary Cleanup Agreement

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FC BROADWAY AND HILL 1108 SOUTH HILL (Continued)**

**S117038678**

Completed Date: 07/09/2014  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**ENVIROSTOR:**

Facility ID: 60002032  
Status: Active  
Status Date: 07/14/2014  
Site Code: 301670-11  
Site Type: Voluntary Cleanup  
Site Type Detailed: Voluntary Cleanup  
Acres: 1.06  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Haissam Salloum  
Supervisor: Sayareh Amirebrahimi  
Division Branch: Cleanup Chatsworth  
Assembly: 53  
Senate: 30  
Special Program: Voluntary Cleanup Program  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Responsible Party  
Latitude: 34.03961  
Longitude: -118.2600  
APN: NONE SPECIFIED  
Past Use: UNDERGROUND STORAGE TANKS  
Potential COC: Tetrachloroethylene (PCE) Trichloroethylene (TCE) Ethylbenzene  
Naphthalene Xylenes  
Confirmed COC: Tetrachloroethylene (PCE) Naphthalene Ethylbenzene Xylenes  
Trichloroethylene (TCE)  
Potential Description: SOIL, SV  
Alias Name: 301670-11  
Alias Type: Project Code (Site Code)  
Alias Name: 60002032  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 10/09/2014  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Risk Assessment Report

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FC BROADWAY AND HILL 1108 SOUTH HILL (Continued)**

**S117038678**

Completed Date: 12/30/2014  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Design/Implementation Workplan  
Completed Date: 02/10/2015  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 07/09/2014  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**AL221**  
**South**  
**1/8-1/4**  
**0.245 mi.**  
**1293 ft.**

**BURKE D C**  
**1531 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009080762**  
**N/A**

**Site 3 of 5 in cluster AL**

**Relative:**  
**Lower**

EDR Historical Auto Stations:

Name: JONES J L  
Year: 1933  
Type: GASOLINE AND OIL SERVICE STATIONS

**Actual:**  
**231 ft.**

Name: JONES J L  
Year: 1937  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: BURKE D C  
Year: 1942  
Type: GASOLINE AND OIL SERVICE STATIONS

**AD222**  
**SE**  
**1/8-1/4**  
**0.245 mi.**  
**1294 ft.**

**POPHAM H H**  
**147 W PICO BLVD**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009078103**  
**N/A**

**Site 3 of 3 in cluster AD**

**Relative:**  
**Lower**

EDR Historical Auto Stations:

Name: POPHAM H H  
Year: 1924  
Type: AUTOMOBILE REPAIRING

**Actual:**  
**237 ft.**

Name: BARNES R E

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**POPHAM H H (Continued)**

**1009078103**

Year: 1933  
Type: AUTOMOBILE REPAIRING

**AL223**  
**South**  
**1/8-1/4**  
**0.246 mi.**  
**1300 ft.**

**CALIF PEDIATRIC & FAMILY MED CTR**  
**1530 S OLIVE**  
**LOS ANGELES, CA 90015**

**RCRA-SQG** **1000249797**  
**FINDS** **CAD982490096**

**Site 4 of 5 in cluster AL**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 09/01/1996  
Facility name: CALIF PEDIATRIC & FAMILY MED CTR  
Facility address: 1530 S OLIVE  
LOS ANGELES, CA 90015  
EPA ID: CAD982490096  
Contact: Not reported  
Contact address: Not reported  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Actual:**  
**231 ft.**

Owner/Operator Summary:

Owner/operator name: CALIF PEDIATRIC & FAMILY MED CTR  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999

Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CALIF PEDIATRIC & FAMILY MED CTR (Continued)**

**1000249797**

On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 05/25/1990  
Site name: CALIF PEDIATRIC & FAMILY MED CTR  
Classification: Large Quantity Generator

Violation Status: No violations found

FINDS:

Registry ID: 110002829422

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

224  
ENE  
1/8-1/4  
0.247 mi.  
1304 ft.

**PRATT W M**  
**1027 S OLIVE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009078370**  
**N/A**

Relative:  
Higher

EDR Historical Auto Stations:

Name: PRATT W M  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

Actual:  
249 ft.

AH225  
NE  
1/8-1/4  
0.247 mi.  
1306 ft.

**WARD GRIFFEN**  
**1030 S HOPE ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009079274**  
**N/A**

**Site 2 of 2 in cluster AH**

Relative:  
Higher

EDR Historical Auto Stations:

Name: WARD GRIFFEN  
Year: 1929  
Type: AUTOMOBILE REPAIRING AND SERVICE STATIONS

Actual:  
249 ft.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

AL226  
South  
1/8-1/4  
0.249 mi.  
1313 ft.

**UNITED SCREEN PRINTING**  
**215 W 15TH ST**  
**LOS ANGELES, CA 90015**  
**Site 5 of 5 in cluster AL**

**RCRA-SQG 1000399362**  
**FINDS CAD981998982**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 09/01/1996  
Facility name: UNITED SCREEN PRINTING  
Facility address: 215 W 15TH ST  
LOS ANGELES, CA 90015  
EPA ID: CAD981998982  
Mailing address: W 15TH ST  
LOS ANGELES, CA 90015  
Contact: Not reported  
Contact address: Not reported  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: CHOI SOO BUM  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**UNITED SCREEN PRINTING (Continued)**

**1000399362**

Used oil fuel burner: No  
 Used oil processor: No  
 User oil refiner: No  
 Used oil fuel marketer to burner: No  
 Used oil Specification marketer: No  
 Used oil transfer facility: No  
 Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002771830

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**227**  
**East**  
**1/8-1/4**  
**0.249 mi.**  
**1317 ft.**

**HOWIE A S**  
**1102 S HILL ST**  
**LOS ANGELES, CA**

**EDR US Hist Auto Stat 1009080178**  
**N/A**

**Relative:**  
**Higher**

**EDR Historical Auto Stations:**

Name: HOWIE A S  
 Year: 1929  
 Type: GASOLINE AND OIL SERVICE STATION

**Actual:**  
**246 ft.**

Name: HOWIE A S  
 Year: 1937  
 Type: GASOLINE AND OIL SERVICE STATIONS

**228**  
**NE**  
**1/4-1/2**  
**0.287 mi.**  
**1513 ft.**

**SHELL SERVICE STATION**  
**504 OLYMPIC BLVD. W.**  
**LOS ANGELES, CA 90015**

**LUST S108087193**  
**N/A**

**Relative:**  
**Higher**

**LUST:**

Region: STATE  
 Global Id: T0603789214  
 Latitude: 34.0429341987085  
 Longitude: -118.261127471924  
 Case Type: Not reported  
 Status: Completed - Case Closed  
 Status Date: 07/15/2013  
 Lead Agency: Not reported  
 Case Worker: MT  
 Local Agency: Not reported  
 RB Case Number: 900150125  
 LOC Case Number: Not reported

**Actual:**  
**252 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**S108087193**

File Location: Regional Board  
Potential Media Affect: Aquifer used for drinking water supply  
Potential Contaminants of Concern: Gasoline, MTBE / TBA / Other Fuel Oxygenates  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603789214  
Contact Type: Regional Board Caseworker  
Contact Name: MARYAM TAIDY  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: LOS ANGELES  
Email: mtaidy@waterboards.ca.gov  
Phone Number: 2135766741

Global Id: T0603789214  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES  
Email: eloy.luna@lacity.org  
Phone Number: Not reported

Status History:

Global Id: T0603789214  
Status: Completed - Case Closed  
Status Date: 07/15/2013

Global Id: T0603789214  
Status: Open - Case Begin Date  
Status Date: 02/07/2005

Global Id: T0603789214  
Status: Open - Eligible for Closure  
Status Date: 01/09/2013

Global Id: T0603789214  
Status: Open - Site Assessment  
Status Date: 02/07/2005

Global Id: T0603789214  
Status: Open - Site Assessment  
Status Date: 01/10/2008

Regulatory Activities:

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 04/15/2012  
Action: Monitoring Report - Quarterly

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 07/15/2009  
Action: Monitoring Report - Semi-Annually

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**S108087193**

Global Id:	T0603789214
Action Type:	Other
Date:	02/28/2005
Action:	Leak Reported
Global Id:	T0603789214
Action Type:	ENFORCEMENT
Date:	06/15/2009
Action:	Staff Letter
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	04/15/2009
Action:	Monitoring Report - Quarterly
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	10/15/2007
Action:	Monitoring Report - Quarterly
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	10/15/2011
Action:	Monitoring Report - Quarterly
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	08/31/2006
Action:	Other Report / Document
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	01/22/2009
Action:	Soil and Water Investigation Workplan
Global Id:	T0603789214
Action Type:	ENFORCEMENT
Date:	05/07/2013
Action:	Notification - Preclosure
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	07/15/2008
Action:	Monitoring Report - Quarterly
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	01/15/2008
Action:	Monitoring Report - Quarterly
Global Id:	T0603789214
Action Type:	RESPONSE
Date:	10/15/2010
Action:	Monitoring Report - Semi-Annually
Global Id:	T0603789214
Action Type:	RESPONSE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**S108087193**

Date: 01/07/2011  
Action: Soil and Water Investigation Report

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 04/15/2010  
Action: Monitoring Report - Semi-Annually

Global Id: T0603789214  
Action Type: ENFORCEMENT  
Date: 07/15/2013  
Action: Closure/No Further Action Letter

Global Id: T0603789214  
Action Type: ENFORCEMENT  
Date: 07/28/2006  
Action: Staff Letter

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 04/15/2011  
Action: Monitoring Report - Semi-Annually

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 07/15/2010  
Action: Monitoring Report - Semi-Annually

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 10/15/2012  
Action: Monitoring Report - Quarterly

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 07/06/2007  
Action: Tank Removal Report / UST Sampling Report

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 01/10/2008  
Action: Soil and Water Investigation Workplan

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 11/15/2013  
Action: Well Destruction Report

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 06/30/2011  
Action: Site Assessment Report

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 12/28/2012  
Action: Request for Closure - Regulator Responded

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**S108087193**

Global Id: T0603789214  
Action Type: Other  
Date: 02/07/2005  
Action: Leak Discovery

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 04/15/2008  
Action: Monitoring Report - Quarterly

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 10/15/2009  
Action: Monitoring Report - Semi-Annually

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 10/15/2008  
Action: Monitoring Report - Quarterly

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 01/15/2009  
Action: Monitoring Report - Quarterly

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 01/07/2011  
Action: Soil and Water Investigation Workplan

Global Id: T0603789214  
Action Type: RESPONSE  
Date: 01/15/2013  
Action: Monitoring Report - Quarterly

229  
ESE  
1/4-1/2  
0.292 mi.  
1540 ft.

**FC BROADWAY AND HILL 1201 SOUTH MAIN  
1201 S MAIN STREET  
LOS ANGELES, CA 90015**

VCP S117038679  
ENVIROSTOR N/A

**Relative:  
Lower**

VCP:  
Facility ID: 60002033  
Site Type: Voluntary Cleanup  
Site Type Detail: Voluntary Cleanup  
Site Mgmt. Req.: NONE SPECIFIED  
Acres: 1.1  
National Priorities List: NO  
Cleanup Oversight Agencies: SMBRP  
Lead Agency: SMBRP  
Lead Agency Description: DTSC - Site Cleanup Program  
Project Manager: Haissam Salloum  
Supervisor: Sayareh Amirebrahimi  
Division Branch: Cleanup Chatsworth  
Site Code: 301671-11  
Assembly: 53  
Senate: 30

**Actual:  
239 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FC BROADWAY AND HILL 1201 SOUTH MAIN (Continued)**

**S117038679**

Special Programs Code: Voluntary Cleanup Program  
Status: Active  
Status Date: 07/14/2014  
Restricted Use: NO  
Funding: Responsible Party  
Lat/Long: 34.03762 / -118.2600  
APN: NONE SPECIFIED  
Past Use: VEHICLE MAINTENANCE, VEHICLE MAINTENANCE  
Potential COC: 30003, 30025, 30550, 30593, 30025, 30272, 30593  
Confirmed COC: 30003-NO,30025,30593-NO,30550-NO,, ,30025,30272,30593  
Potential Description: SV  
Alias Name: 301671-11  
Alias Type: Project Code (Site Code)  
Alias Name: 60002033  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 10/20/2014  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Risk Assessment Report  
Completed Date: 12/30/2014  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Design/Implementation Workplan  
Completed Date: 02/10/2015  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 07/09/2014  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 60002033  
Status: Active  
Status Date: 07/14/2014  
Site Code: 301671-11  
Site Type: Voluntary Cleanup



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FC BROADWAY AND HILL 1201 SOUTH MAIN (Continued)**

**S117038679**

Site Type Detailed: Voluntary Cleanup  
Acres: 1.1  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Haissam Salloum  
Supervisor: Sayareh Amirebrahimi  
Division Branch: Cleanup Chatsworth  
Assembly: 53  
Senate: 30  
Special Program: Voluntary Cleanup Program  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Responsible Party  
Latitude: 34.03762  
Longitude: -118.2600  
APN: NONE SPECIFIED  
Past Use: VEHICLE MAINTENANCE, VEHICLE MAINTENANCE  
Potential COC: Benzene TPH-gas Toluene Xylenes TPH-gas Ethylbenzene Xylenes  
Confirmed COC: 30003-NO TPH-gas 30593-NO 30550-NO TPH-gas Ethylbenzene Xylenes  
Potential Description: SV  
Alias Name: 301671-11  
Alias Type: Project Code (Site Code)  
Alias Name: 60002033  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 10/20/2014  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Risk Assessment Report  
Completed Date: 12/30/2014  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Design/Implementation Workplan  
Completed Date: 02/10/2015  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 07/09/2014  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**FC BROADWAY AND HILL 1201 SOUTH MAIN (Continued)**

**S117038679**

Schedule Due Date: Not reported  
 Schedule Revised Date: Not reported

**230**  
**NNW**  
 1/4-1/2  
 0.297 mi.  
 1568 ft.

**STAPLES ARENA**  
**740-750 WEST 10TH PLACE**  
**LOS ANGELES, CA 90015**

**SLIC S106485978**  
**N/A**

**Relative:**  
**Higher**

SLIC:

Region: STATE  
**Facility Status: Open - Remediation**  
 Status Date: 06/30/2002  
 Global Id: SLT4L8561883  
 Lead Agency: LOS ANGELES RWQCB (REGION 4)  
 Lead Agency Case Number: Not reported  
 Latitude: 34.0436098443794  
 Longitude: -118.269174098969  
 Case Type: Cleanup Program Site  
 Case Worker: DY  
 Local Agency: Not reported  
 RB Case Number: 0856A  
 File Location: Not reported  
 Potential Media Affected: Not reported  
 Potential Contaminants of Concern: Not reported  
 Site History: Not reported

**Actual:**  
**243 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

**231**  
**NNE**  
 1/4-1/2  
 0.302 mi.  
 1596 ft.

**UNOCAL CORPORATION**  
**730 OLYMPIC BLVD**  
**LOS ANGELES, CA 90015**

**HIST CORTESE S103065777**  
**LUST N/A**  
**EMI**

**Relative:**  
**Higher**

HIST CORTESE:

Region: CORTESE  
 Facility County Code: 19  
 Reg By: LTNKA  
 Reg Id: 900150070

**Actual:**  
**250 ft.**

LUST:

Region: STATE  
 Global Id: T0603700550  
 Latitude: 34.044564  
 Longitude: -118.263789  
 Case Type: Not reported  
 Status: Completed - Case Closed  
 Status Date: 06/30/1994  
 Lead Agency: Not reported  
 Case Worker: EL  
 Local Agency: Not reported  
 RB Case Number: 900150070  
 LOC Case Number: Not reported  
 File Location: Not reported  
 Potential Media Affect: Soil

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNOCAL CORPORATION (Continued)**

**S103065777**

Potential Contaminants of Concern: Other Solvent or Non-Petroleum Hydrocarbon  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603700550  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Global Id: T0603700550  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES  
Email: eloy.luna@lacity.org  
Phone Number: Not reported

Status History:

Global Id: T0603700550  
Status: Completed - Case Closed  
Status Date: 06/30/1994

Global Id: T0603700550  
Status: Open - Case Begin Date  
Status Date: 03/30/1994

Global Id: T0603700550  
Status: Open - Remediation  
Status Date: 03/30/1994

Regulatory Activities:

Global Id: T0603700550  
Action Type: Other  
Date: 03/30/1994  
Action: Leak Reported

LUST REG 4:

Region: 4  
Regional Board: 04  
County: Los Angeles  
Facility Id: 900150070  
Status: Case Closed  
Substance: Hydrocarbons  
Substance Quantity: Not reported  
Local Case No: Not reported  
Case Type: Soil  
Abatement Method Used at the Site: Not reported  
Global ID: T0603700550

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNOCAL CORPORATION (Continued)**

**S103065777**

W Global ID: W0607701254  
Staff: UNK  
Local Agency: 19050  
Cross Street: FIGUEROA ST  
Enforcement Type: Not reported  
Date Leak Discovered: Not reported  
Date Leak First Reported: 3/30/1994  
Date Leak Record Entered: 6/30/1995  
Date Confirmation Began: Not reported  
Date Leak Stopped: Not reported  
Date Case Last Changed on Database: 6/30/1995  
Date the Case was Closed: 6/30/1994  
How Leak Discovered: Not reported  
How Leak Stopped: Not reported  
Cause of Leak: Not reported  
Leak Source: Not reported  
Operator: OLD CASE #960105-23  
Water System: UNOCAL - JIM SCOTT  
Well Name: Not reported  
Approx. Dist To Production Well (ft): 2846.8846760983907604686488895  
Source of Cleanup Funding: Not reported  
Preliminary Site Assessment Workplan Submitted: Not reported  
Preliminary Site Assessment Began: Not reported  
Pollution Characterization Began: Not reported  
Remediation Plan Submitted: Not reported  
Remedial Action Underway: 3/30/1994  
Post Remedial Action Monitoring Began: Not reported  
Enforcement Action Date: Not reported  
Historical Max MTBE Date: Not reported  
Hist Max MTBE Conc in Groundwater: Not reported  
Hist Max MTBE Conc in Soil: Not reported  
Significant Interim Remedial Action Taken: Not reported  
GW Qualifier: Not reported  
Soil Qualifier: Not reported  
Organization: Not reported  
Owner Contact: Not reported  
Responsible Party: UNOCAL  
RP Address: 376 S VALENCIA BREA CA 92621  
Program: LUST  
Lat/Long: 34.0444172 / -1  
Local Agency Staff: PEJ  
Beneficial Use: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Suspended: Not reported  
Assigned Name: 3901254-001GEN  
Summary: Not reported

**EMI:**

Year: 1990  
County Code: 19  
Air Basin: SC  
Facility ID: 76680  
Air District Name: SC  
SIC Code: 1311  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNOCAL CORPORATION (Continued)**

**S103065777**

Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

232  
South  
1/4-1/2  
0.313 mi.  
1651 ft.

**MOBIL #11-H3K**  
**1600 HILL ST S**  
**LOS ANGELES, CA 90015**

**LUST S104406279**  
**N/A**

**Relative:**  
**Lower**

**LUST:**  
Region: STATE  
Global Id: T0603700552  
Latitude: 34.034365  
Longitude: -118.264466  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 06/22/1992  
Lead Agency: Not reported  
Case Worker: WR  
Local Agency: Not reported  
RB Case Number: 900150098  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

**Actual:**  
**229 ft.**

Click here to access the California GeoTracker records for this facility:

**Contact:**  
Global Id: T0603700552  
Contact Type: Local Agency Caseworker  
Contact Name: TBD  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 N. MAIN ST. RM. 970  
City: LOS ANGELES  
Email: Not reported  
Phone Number: 2134826528  
  
Global Id: T0603700552  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

**Status History:**  
Global Id: T0603700552  
Status: Completed - Case Closed  
Status Date: 06/22/1992

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MOBIL #11-H3K (Continued)**

**S104406279**

Global Id: T0603700552  
Status: Open - Case Begin Date  
Status Date: 10/08/1987

Global Id: T0603700552  
Status: Open - Site Assessment  
Status Date: 10/15/1987

Regulatory Activities:

Global Id: T0603700552  
Action Type: Other  
Date: 10/08/1987  
Action: Leak Discovery

Global Id: T0603700552  
Action Type: Other  
Date: 10/08/1987  
Action: Leak Stopped

Global Id: T0603700552  
Action Type: Other  
Date: 10/15/1987  
Action: Leak Reported

LUST REG 4:

Region: 4  
Regional Board: 04  
County: Los Angeles  
Facility Id: 900150098  
Status: Case Closed  
Substance: Gasoline  
Substance Quantity: Not reported  
Local Case No: Not reported  
Case Type: Soil  
Abatement Method Used at the Site: EDET  
Global ID: T0603700552  
W Global ID: W0605100582  
Staff: UNK  
Local Agency: 19050  
Cross Street: 16TH  
Enforcement Type: Not reported  
Date Leak Discovered: 10/8/1987  
Date Leak First Reported: 10/15/1987  
Date Leak Record Entered: 11/11/1987  
Date Confirmation Began: Not reported  
Date Leak Stopped: 10/8/1987  
Date Case Last Changed on Database: 6/22/1992  
Date the Case was Closed: 6/22/1992  
How Leak Discovered: Tank Test  
How Leak Stopped: Not reported  
Cause of Leak: UNK  
Leak Source: UNK  
Operator: WEBER, WAYNE R.  
Water System: YMCA CAMP OF LOS ANGELES 2  
Well Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MOBIL #11-H3K (Continued)**

**S104406279**

Approx. Dist To Production Well (ft): 6350.7678810875241252358130425  
Source of Cleanup Funding: UNK  
Preliminary Site Assessment Workplan Submitted: Not reported  
Preliminary Site Assessment Began: Not reported  
Pollution Characterization Began: 10/15/1987  
Remediation Plan Submitted: Not reported  
Remedial Action Underway: Not reported  
Post Remedial Action Monitoring Began: Not reported  
Enforcement Action Date: Not reported  
Historical Max MTBE Date: Not reported  
Hist Max MTBE Conc in Groundwater: Not reported  
Hist Max MTBE Conc in Soil: Not reported  
Significant Interim Remedial Action Taken: Not reported  
GW Qualifier: Not reported  
Soil Qualifier: Not reported  
Organization: Not reported  
Owner Contact: Not reported  
Responsible Party: MOBIL OIL CORP  
RP Address: 3800 W ALAMEDA AVE, #700, BURBANK, CA 91505  
Program: LUST  
Lat/Long: 34.0346047 / -1  
Local Agency Staff: PEJ  
Beneficial Use: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Suspended: Not reported  
Assigned Name: 2600582-001GEN  
Summary: Not reported

233  
North  
1/4-1/2  
0.325 mi.  
1715 ft.

**DOWNTOWN CAR WASH**  
**811 OLYMPIC BLVD W**  
**LOS ANGELES, CA 90015**

**LUST S111345541**  
**N/A**

**Relative:**  
**Higher**

LUST:

**Actual:**  
**249 ft.**

Region: STATE  
Global Id: T10000003408  
Latitude: 34.045429  
Longitude: -118.264462  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 07/23/2013  
Lead Agency: Not reported  
Case Worker: MB  
Local Agency: Not reported  
RB Case Number: 900150134  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Aquifer used for drinking water supply  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

Contact:  
Global Id: T10000003408  
Contact Type: Regional Board Caseworker

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DOWNTOWN CAR WASH (Continued)**

**S111345541**

Contact Name: MAGDY BAIADY  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: LOS ANGELES  
Email: mbaiady@waterboards.ca.gov  
Phone Number: 2135766699

Status History:

Global Id: T10000003408  
Status: Completed - Case Closed  
Status Date: 07/23/2013

Global Id: T10000003408  
Status: Open - Case Begin Date  
Status Date: 03/25/2003

Global Id: T10000003408  
Status: Open - Eligible for Closure  
Status Date: 02/05/2013

Global Id: T10000003408  
Status: Open - Site Assessment  
Status Date: 03/25/2003

Regulatory Activities:

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 01/23/2013  
Action: Tank Removal Report / UST Sampling Report

Global Id: T10000003408  
Action Type: ENFORCEMENT  
Date: 03/25/2003  
Action: Referral to Regional Board

Global Id: T10000003408  
Action Type: ENFORCEMENT  
Date: 01/09/2012  
Action: Staff Letter

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 02/02/2012  
Action: Request for Closure

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 02/02/2012  
Action: Soil and Water Investigation Report

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 02/06/2012  
Action: Other Report / Document

Global Id: T10000003408



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DOWNTOWN CAR WASH (Continued)**

**S111345541**

Action Type: RESPONSE  
Date: 02/02/2012  
Action: Tank Removal Report / UST Sampling Report

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 02/02/2012  
Action: Soil and Water Investigation Workplan

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 02/02/2012  
Action: Soil and Water Investigation Workplan

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 07/15/2003  
Action: Monitoring Report - Quarterly

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 10/15/2002  
Action: Monitoring Report - Quarterly

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 03/15/2003  
Action: Monitoring Report - Quarterly

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 01/15/2012  
Action: Monitoring Report - Semi-Annually

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 01/15/2004  
Action: Monitoring Report - Quarterly

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 08/29/2013  
Action: Well Destruction Report

Global Id: T10000003408  
Action Type: ENFORCEMENT  
Date: 03/21/2013  
Action: Notification - Preclosure

Global Id: T10000003408  
Action Type: RESPONSE  
Date: 01/15/2012  
Action: Monitoring Report - Semi-Annually

Global Id: T10000003408  
Action Type: Other  
Date: 03/25/2003

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**DOWNTOWN CAR WASH (Continued)**

**S111345541**

Action: Leak Reported

Global Id: T10000003408  
 Action Type: ENFORCEMENT  
 Date: 07/23/2013  
 Action: Closure/No Further Action Letter

**AO234  
 SSE  
 1/4-1/2  
 0.331 mi.  
 1748 ft.**

**NEMAN BROTHERS  
 1525 S BROADWAY  
 LOS ANGELES, CA**

**RGA LUST S114660339  
 N/A**

**Site 1 of 3 in cluster AO**

**Relative:  
 Lower**

RGA LUST:

2012	NEMAN BROTHERS	1525 S BROADWAY
2011	NEMAN BROTHERS	1525 S BROADWAY
2010	NEMAN BROTHERS	1525 S BROADWAY
2009	NEMAN BROTHERS	1525 S BROADWAY
2008	NEMAN BROTHERS	1525 S BROADWAY

**Actual:  
 230 ft.**

**AO235  
 SSE  
 1/4-1/2  
 0.331 mi.  
 1748 ft.**

**DEPT. OF GEN SERVICE OF STATE  
 1525 S BROADWAY  
 LOS ANGELES, CA**

**RGA LUST S114610351  
 N/A**

**Site 2 of 3 in cluster AO**

**Relative:  
 Lower**

RGA LUST:

2010	DEPT. OF GEN SERVICE OF STATE	1525 S BROADWAY
2009	DEPT. OF GEN SERVICE OF STATE	1525 S BROADWAY
2008	DEPT. OF GEN SERVICE OF STATE	1525 S BROADWAY

**Actual:  
 230 ft.**

**AO236  
 SSE  
 1/4-1/2  
 0.331 mi.  
 1748 ft.**

**CAL ST, GEN SERV DEPT  
 1525 S BROADWAY  
 LOS ANGELES, CA 90015**

**LUST S106827687  
 EMI N/A**

**Site 3 of 3 in cluster AO**

**Relative:  
 Lower**

LUST:

Region: STATE  
 Global Id: T0603735696  
 Latitude: 33.9777821  
 Longitude: -118.2783035  
 Case Type: Not reported  
 Status: Completed - Case Closed  
 Status Date: 10/14/2011  
 Lead Agency: Not reported  
 Case Worker: EL  
 Local Agency: Not reported  
 RB Case Number: Not reported  
 LOC Case Number: Not reported  
 File Location: Not reported  
 Potential Media Affect: Soil  
 Potential Contaminants of Concern: Diesel  
 Site History: Not reported

**Actual:  
 230 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CAL ST, GEN SERV DEPT (Continued)**

**S106827687**

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603735696  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES  
Email: eloy.luna@lacity.org  
Phone Number: Not reported

Global Id: T0603735696  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Status History:

Global Id: T0603735696  
Status: Completed - Case Closed  
Status Date: 10/14/2011

Global Id: T0603735696  
Status: Open - Case Begin Date  
Status Date: 03/13/1989

Global Id: T0603735696  
Status: Open - Remediation  
Status Date: 11/18/1993

Global Id: T0603735696  
Status: Open - Site Assessment  
Status Date: 03/13/1989

Global Id: T0603735696  
Status: Open - Site Assessment  
Status Date: 08/04/1993

Global Id: T0603735696  
Status: Open - Site Assessment  
Status Date: 09/07/2005

Regulatory Activities:

Global Id: T0603735696  
Action Type: Other  
Date: 10/05/2005  
Action: Leak Reported

Global Id: T0603735696  
Action Type: Other  
Date: 03/10/1993  
Action: Leak Discovery

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CAL ST, GEN SERV DEPT (Continued)**

**S106827687**

Global Id: T0603735696  
Action Type: ENFORCEMENT  
Date: 10/14/2011  
Action: Closure/No Further Action Letter

**EMI:**

Year: 1993  
County Code: 19  
Air Basin: SC  
Facility ID: 7077  
Air District Name: SC  
SIC Code: 9199  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1995  
County Code: 19  
Air Basin: SC  
Facility ID: 7077  
Air District Name: SC  
SIC Code: 9199  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

237  
WSW  
1/4-1/2  
0.379 mi.  
2003 ft.

**HULL LUMBER CO.  
658 VENICE BLVD  
LOS ANGELES, CA**

**RGA LUST S114633923  
N/A**

**Relative:  
Lower**

RGA LUST: 2004 HULL LUMBER CO. 658 VENICE BLVD

**Actual:  
233 ft.**

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**238**  
**SSW**  
**1/4-1/2**  
**0.395 mi.**  
**2087 ft.**

**JOHNSON BRONZE CO**  
**1818 S GRAND AVE**  
**LOS ANGELES, CA 90017**

**CERC-NFRAP**    **1003878961**  
**CAD981425002**

**Relative:**  
**Lower**

CERC-NFRAP:  
Site ID: 0902427  
Federal Facility: Not a Federal Facility  
NPL Status: Not on the NPL  
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**Actual:**  
**226 ft.**

CERCLIS-NFRAP Site Contact Details:

Contact Sequence ID: 13285254.00000  
Person ID: 13003854.00000  
  
Contact Sequence ID: 13290849.00000  
Person ID: 13003858.00000  
  
Contact Sequence ID: 13296707.00000  
Person ID: 13004003.00000

CERCLIS-NFRAP Site Alias Name(s):

Alias Name: PARKER HANNIFIN/ELDERMANN DIV (OWNR/OP)  
Alias Address: 1814 S GRAND AVE  
LOS ANGELES, CA 90017  
  
Alias Name: WILEY ADAMS & BERNICE GERBER TRUSTS  
Alias Address: Not reported  
CA

CERCLIS-NFRAP Assessment History:

Action: PRELIMINARY ASSESSMENT  
Date Started: 07/01/86  
Date Completed: 04/01/87  
Priority Level: NFRAP-Site does not qualify for the NPL based on existing information  
  
Action: ARCHIVE SITE  
Date Started: / /  
Date Completed: 04/01/87  
Priority Level: Not reported  
  
Action: DISCOVERY  
Date Started: / /  
Date Completed: 07/01/86  
Priority Level: Not reported

**239**  
**SSW**  
**1/4-1/2**  
**0.433 mi.**  
**2285 ft.**

**UNOCAL/GREAT WESTERN BANK**  
**1817 HOPE**  
**LOS ANGELES, CA 90015**

**HIST CORTESE**    **S105024622**  
**N/A**

**Relative:**  
**Lower**

HIST CORTESE:  
Region: CORTESE  
Facility County Code: 19  
Reg By: LTNKA  
Reg Id: 3211

**Actual:**  
**224 ft.**

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**240**  
**SSE**  
**1/4-1/2**  
**0.458 mi.**  
**2417 ft.**

**G & P RECYCLING CENTER**  
**110 E 17TH ST**  
**LOS ANGELES, CA 90015**

**SWRCY** **S116682506**  
**N/A**

**Relative:**  
**Lower**

SWRCY:  
 Reg Id: 203217  
 Cert Id: RC203217.001  
 Mailing Address: 5425 W 64th St  
 Mailing City: Los Angeles  
 Mailing State: CA  
 Mailing Zip Code: 90056  
 Website: Not reported  
 Email: Not reported  
 Phone Number: (323) 533-8531  
 Grand Father: N  
 Rural: N  
 Operation Begin Date: 04/16/2014  
 Aluminium: Y  
 Glass: Y  
 Plastic: Y  
 Bimetal: Y  
 Agency: N/A  
 Monday Hours Of Operation: 8:30 am - 4:30 pm  
 Tuesday Hours Of Operation: 8:30 am - 4:30 pm  
 Wednesday Hours Of Operation: 8:30 am - 4:30 pm  
 Thursday Hours Of Operation: 8:30 am - 4:30 pm  
 Friday Hours Of Operation: 8:30 am - 4:30 pm  
 Saturday Hours Of Operation: 8:30 am - 4:30 pm  
 Sunday Hours Of Operation: 8:30 am - 4:30 pm  
 Organization ID: 196269  
 Organization Name: G & P Recycling Inc

**Actual:**  
**228 ft.**

**241**  
**NNE**  
**1/4-1/2**  
**0.479 mi.**  
**2529 ft.**

**801 TOWER BUILDING**  
**845 FIGUEROA AVE S**  
**LOS ANGELES, CA 90017**

**HIST CORTESE** **S102423552**  
**LUST** **N/A**

**Relative:**  
**Higher**

HIST CORTESE:  
 Region: CORTESE  
 Facility County Code: 19  
 Reg By: LTNKA  
 Reg Id: 900170125

**Actual:**  
**254 ft.**

LUST:  
 Region: STATE  
 Global Id: T0603700592  
 Latitude: 34.047249  
 Longitude: -118.262391  
 Case Type: Not reported  
 Status: Completed - Case Closed  
 Status Date: 03/04/1996  
 Lead Agency: Not reported  
 Case Worker: YR  
 Local Agency: Not reported  
 RB Case Number: 900170125  
 LOC Case Number: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**801 TOWER BUILDING (Continued)**

**S102423552**

File Location: Not reported  
Potential Media Affect: Aquifer used for drinking water supply  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603700592  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Global Id: T0603700592  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES  
Email: eloy.luna@lacity.org  
Phone Number: Not reported

Status History:

Global Id: T0603700592  
Status: Completed - Case Closed  
Status Date: 03/04/1996

Global Id: T0603700592  
Status: Open - Case Begin Date  
Status Date: 10/19/1993

Regulatory Activities:

Global Id: T0603700592  
Action Type: Other  
Date: 10/19/1993  
Action: Leak Reported

LUST REG 4:

Region: 4  
Regional Board: 04  
County: Los Angeles  
Facility Id: 900170125  
Status: Case Closed  
Substance: Gasoline  
Substance Quantity: Not reported  
Local Case No: Not reported  
Case Type: Groundwater  
Abatement Method Used at the Site: Excavate and Dispose  
Global ID: T0603700592  
W Global ID: W0607701254  
Staff: UNK

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**801 TOWER BUILDING (Continued)**

**S102423552**

Local Agency: 19050  
 Cross Street: Not reported  
 Enforcement Type: Not reported  
 Date Leak Discovered: Not reported  
 Date Leak First Reported: 10/19/1993  
 Date Leak Record Entered: 3/30/1995  
 Date Confirmation Began: Not reported  
 Date Leak Stopped: Not reported  
 Date Case Last Changed on Database: 3/4/1996  
 Date the Case was Closed: 3/4/1996  
 How Leak Discovered: Not reported  
 How Leak Stopped: Not reported  
 Cause of Leak: Not reported  
 Leak Source: Not reported  
 Operator: Not reported  
 Water System: UNOCAL - JIM SCOTT  
 Well Name: Not reported  
 Approx. Dist To Production Well (ft): 1935.0000758261973303136318966  
 Source of Cleanup Funding: Not reported  
 Preliminary Site Assessment Workplan Submitted: Not reported  
 Preliminary Site Assessment Began: Not reported  
 Pollution Characterization Began: Not reported  
 Remediation Plan Submitted: Not reported  
 Remedial Action Underway: Not reported  
 Post Remedial Action Monitoring Began: Not reported  
 Enforcement Action Date: Not reported  
 Historical Max MTBE Date: Not reported  
 Hist Max MTBE Conc in Groundwater: Not reported  
 Hist Max MTBE Conc in Soil: Not reported  
 Significant Interim Remedial Action Taken: Yes  
 GW Qualifier: Not reported  
 Soil Qualifier: Not reported  
 Organization: Not reported  
 Owner Contact: Not reported  
 Responsible Party: UNION BANK  
 RP Address: P.O. BOX 926, LA PUENTE, CA 91747-0926  
 Program: LUST  
 Lat/Long: 34.0469421 / -1  
 Local Agency Staff: PEJ  
 Beneficial Use: Not reported  
 Priority: Not reported  
 Cleanup Fund Id: Not reported  
 Suspended: Not reported  
 Assigned Name: 3901254-001GEN  
 Summary: Not reported

**AP242 MOBIL #11-HOQ**  
**SW 419 WASHINGTON BLVD W**  
**1/4-1/2 LOS ANGELES, CA 90015**  
**0.485 mi.**  
**2563 ft. Site 1 of 3 in cluster AP**

**HIST CORTESE S104406278**  
**LUST N/A**

**Relative:** HIST CORTESE:  
**Lower** Region: CORTESE  
 Facility County Code: 19  
**Actual:** Reg By: LTNKA  
**223 ft.** Reg Id: 900150034



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MOBIL #11-HOQ (Continued)**

**S104406278**

LUST:

Region: STATE  
Global Id: T0603700546  
Latitude: 33.9814125  
Longitude: -118.4629615  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 01/11/1995  
Lead Agency: Not reported  
Case Worker: YR  
Local Agency: Not reported  
RB Case Number: 900150034  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Aquifer used for drinking water supply  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603700546  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Global Id: T0603700546  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES  
Email: eloy.luna@lacity.org  
Phone Number: Not reported

Status History:

Global Id: T0603700546  
Status: Completed - Case Closed  
Status Date: 01/11/1995

Global Id: T0603700546  
Status: Open - Case Begin Date  
Status Date: 12/13/1988

Global Id: T0603700546  
Status: Open - Site Assessment  
Status Date: 01/09/1989

Regulatory Activities:

Global Id: T0603700546  
Action Type: Other  
Date: 12/13/1988

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

MOBIL #11-HOQ (Continued)

S104406278

Action: Leak Reported

LUST REG 4:

Region: 4  
Regional Board: 04  
County: Los Angeles  
Facility Id: 900150034  
Status: Case Closed  
Substance: Gasoline  
Substance Quantity: Not reported  
Local Case No: Not reported  
Case Type: Groundwater  
Abatement Method Used at the Site: Excavate and Dispose  
Global ID: T0603700546  
W Global ID: W0607701254  
Staff: UNK  
Local Agency: 19050  
Cross Street: FLOWER  
Enforcement Type: Not reported  
Date Leak Discovered: Not reported  
Date Leak First Reported: 12/13/1988  
Date Leak Record Entered: Not reported  
Date Confirmation Began: Not reported  
Date Leak Stopped: Not reported  
Date Case Last Changed on Database: 1/11/1995  
Date the Case was Closed: 1/11/1995  
How Leak Discovered: OM  
How Leak Stopped: Not reported  
Cause of Leak: Other Cause  
Leak Source: Tank  
Operator: Not reported  
Water System: UNOCAL - JIM SCOTT  
Well Name: Not reported  
Approx. Dist To Production Well (ft): 7115.1758766953338957133814769  
Source of Cleanup Funding: Tank  
Preliminary Site Assessment Workplan Submitted: Not reported  
Preliminary Site Assessment Began: Not reported  
Pollution Characterization Began: 1/9/1989  
Remediation Plan Submitted: Not reported  
Remedial Action Underway: Not reported  
Post Remedial Action Monitoring Began: Not reported  
Enforcement Action Date: Not reported  
Historical Max MTBE Date: Not reported  
Hist Max MTBE Conc in Groundwater: Not reported  
Hist Max MTBE Conc in Soil: Not reported  
Significant Interim Remedial Action Taken: Yes  
GW Qualifier: Not reported  
Soil Qualifier: Not reported  
Organization: Not reported  
Owner Contact: Not reported  
Responsible Party: L.A. COUNTY TRANSPORTATION COM  
RP Address: C  
Program: LUST  
Lat/Long: 34.0336656 / -1  
Local Agency Staff: PEJ  
Beneficial Use: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MOBIL #11-HOQ (Continued)**

**S104406278**

Priority: Not reported  
 Cleanup Fund Id: Not reported  
 Suspended: Not reported  
 Assigned Name: 3901254-001GEN  
 Summary: ACCIDENTAL PUNCTURE OF UNDERGROUND STORAGE TANK DURING INSTALLATION OF 3 MONITORING WELLS. THE SITE WILL BE USED AS SUBSTATION LOCATION AND RIGHT-OF-WAY FOR METRO LIGHT RAIL PROJECT (MLRP).

**AP243 LOS ANGELES TRADE TECH COLLEGE RGA LUST S114645336**  
**SSW 400 W. WASHINGTON BL. N/A**  
**1/4-1/2 LOS ANGELES, CA**  
**0.491 mi.**  
**2593 ft. Site 2 of 3 in cluster AP**

**Relative:** RGA LUST:  
**Lower** 2012 LOS ANGELES TRADE TECH COLLEGE 400 W. WASHINGTON BL.  
 2011 LOS ANGELES TRADE TECH COLLEGE 400 W. WASHINGTON BL.  
**Actual:** 2010 LOS ANGELES TRADE TECH COLLEGE 400 W. WASHINGTON BL.  
**223 ft.** 2009 LOS ANGELES TRADE TECH COLLEGE 400 W. WASHINGTON BL.  
 2008 LOS ANGELES TRADE TECH COLLEGE 400 W. WASHINGTON BL.

**AP244 LA TRADE TECH RCRA-SQG 1000904937**  
**SSW 400 W WASHINGTON FINDS CA0000198911**  
**1/4-1/2 LOS ANGELES, CA 90015 NPDES**  
**0.491 mi. Site 3 of 3 in cluster AP LUST**  
**2593 ft. HAZNET**  
**EMI**

**Relative:** RCRA-SQG:  
**Lower** Date form received by agency: 03/31/1994  
**Actual:** Facility name: LA TRADE TECH  
**223 ft.** Facility address: 400 W WASHINGTON  
 LOS ANGELES, CA 90007  
 EPA ID: CA0000198911  
 Mailing address: W WASHINGTON  
 LOS ANGELES, CA 90007  
 Contact: BILL SMITH  
 Contact address: 400 W WASHINGTON  
 LOS ANGELES, CA 90007  
 Contact country: US  
 Contact telephone: (213) 744-9409  
 Contact email: Not reported  
 EPA Region: 09  
 Classification: Small Small Quantity Generator  
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**  
 Owner/operator name: L A COMMUNITY COLLEGE DIST  
 Owner/operator address: 770 WILSHIRE BLVD  
 LOS ANGELES, CA 90017  
 Owner/operator country: Not reported  
 Owner/operator telephone: (213) 891-2000

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LA TRADE TECH (Continued)**

**1000904937**

Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Violation Status: No violations found

**FINDS:**

Registry ID: 110002615411

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**CRITERIA AND HAZARDOUS AIR POLLUTANT INVENTORY**

**NPDES:**

Npdes Number: CAS000002  
Facility Status: Terminated  
Agency Id: 0  
Region: 4  
Regulatory Measure Id: 410032  
Order No: 2009-0009-DWQ  
Regulatory Measure Type: Enrollee  
Place Id: Not reported  
WDID: 4 19C360060  
Program Type: Construction  
Adoption Date Of Regulatory Measure: Not reported  
Effective Date Of Regulatory Measure: 12/16/2010  
Expiration Date Of Regulatory Measure: Not reported  
Termination Date Of Regulatory Measure: 10/14/2013  
Discharge Name: Los Angeles Trade Technical College  
Discharge Address: 2100 South Flower Street  
Discharge City: Los Angeles

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

Discharge State:	California
Discharge Zip:	90007
RECEIVED DATE:	Not reported
PROCESSED DATE:	Not reported
STATUS CODE NAME:	Not reported
STATUS DATE:	Not reported
PLACE SIZE:	Not reported
PLACE SIZE UNIT:	Not reported
FACILITY CONTACT NAME:	Not reported
FACILITY CONTACT TITLE:	Not reported
FACILITY CONTACT PHONE:	Not reported
FACILITY CONTACT PHONE EXT:	Not reported
FACILITY CONTACT EMAIL:	Not reported
OPERATOR NAME:	Not reported
OPERATOR ADDRESS:	Not reported
OPERATOR CITY:	Not reported
OPERATOR STATE:	Not reported
OPERATOR ZIP:	Not reported
OPERATOR CONTACT NAME:	Not reported
OPERATOR CONTACT TITLE:	Not reported
OPERATOR CONTACT PHONE:	Not reported
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	Not reported
OPERATOR TYPE:	Not reported
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported
DEVELOPER CITY:	Not reported
DEVELOPER STATE:	Not reported
DEVELOPER ZIP:	Not reported
DEVELOPER CONTACT NAME:	Not reported
DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	Not reported
EMERGENCY PHONE NO:	Not reported
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERCIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESCRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	Not reported
RECEIVING WATER NAME:	Not reported
CERTIFIER NAME:	Not reported
CERTIFIER TITLE:	Not reported
CERTIFICATION DATE:	Not reported
PRIMARY SIC:	Not reported
SECONDARY SIC:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

TERTIARY SIC:	Not reported
Npdes Number:	Not reported
Facility Status:	Not reported
Agency Id:	Not reported
Region:	4
Regulatory Measure Id:	410032
Order No:	Not reported
Regulatory Measure Type:	Construction
Place Id:	Not reported
WDID:	4 19C360060
Program Type:	Not reported
Adoption Date Of Regulatory Measure:	Not reported
Effective Date Of Regulatory Measure:	Not reported
Expiration Date Of Regulatory Measure:	Not reported
Termination Date Of Regulatory Measure:	10/14/2013
Discharge Name:	Not reported
Discharge Address:	Not reported
Discharge City:	Not reported
Discharge State:	Not reported
Discharge Zip:	Not reported
RECEIVED DATE:	12/08/2010
PROCESSED DATE:	12/16/2010
STATUS CODE NAME:	Terminated
STATUS DATE:	12/13/2013
PLACE SIZE:	2
PLACE SIZE UNIT:	Acres
FACILITY CONTACT NAME:	Bill Smith
FACILITY CONTACT TITLE:	Director of Facilities
FACILITY CONTACT PHONE:	213-763-3612
FACILITY CONTACT PHONE EXT:	Not reported
FACILITY CONTACT EMAIL:	smithb@lattc.edu
OPERATOR NAME:	Los Angeles Trade Technical College
OPERATOR ADDRESS:	2100 South Flower Street
OPERATOR CITY:	Los Angeles
OPERATOR STATE:	California
OPERATOR ZIP:	90007
OPERATOR CONTACT NAME:	Bill Smith
OPERATOR CONTACT TITLE:	Not reported
OPERATOR CONTACT PHONE:	213-763-3612
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	smithb@lattc.edu
OPERATOR TYPE:	Other
DEVELOPER NAME:	Los Angeles Trade Technical College
DEVELOPER ADDRESS:	2100 South Flower Street
DEVELOPER CITY:	Los Angeles
DEVELOPER STATE:	California
DEVELOPER ZIP:	90007
DEVELOPER CONTACT NAME:	Bill Smith
DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	N
EMERGENCY PHONE NO:	213-763-3600
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

CONSTYPE COMMERTIAL IND: Not reported  
CONSTYPE ELECTRICAL LINE IND: Not reported  
CONSTYPE GAS LINE IND: Not reported  
CONSTYPE INDUSTRIAL IND: Not reported  
CONSTYPE OTHER DESRIPTION: Educational  
CONSTYPE OTHER IND: Y  
CONSTYPE RECONS IND: Not reported  
CONSTYPE RESIDENTIAL IND: Not reported  
CONSTYPE TRANSPORT IND: Not reported  
CONSTYPE UTILITY DESCRIPTION: Not reported  
CONSTYPE UTILITY IND: Not reported  
CONSTYPE WATER SEWER IND: Not reported  
DIR DISCHARGE USWATER IND: N  
RECEIVING WATER NAME: Not reported  
CERTIFIER NAME: Charissa Leach  
CERTIFIER TITLE: QSD  
CERTIFICATION DATE: 08-DEC-10  
PRIMARY SIC: Not reported  
SECONDARY SIC: Not reported  
TERTIARY SIC: Not reported

LUST:

Region: STATE  
Global Id: T0603761703  
Latitude: 34.028088  
Longitude: -118.260664  
Case Type: Not reported  
Status: Completed - Case Closed  
Status Date: 04/10/2013  
Lead Agency: Not reported  
Case Worker: EL  
Local Agency: Not reported  
RB Case Number: 24220  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: MTBE / TBA / Other Fuel Oxygenates  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

Contact:

Global Id: T0603761703  
Contact Type: Regional Board Caseworker  
Contact Name: YUE RONG  
Organization Name: LOS ANGELES RWQCB (REGION 4)  
Address: 320 W. 4TH ST., SUITE 200  
City: Los Angeles  
Email: yrong@waterboards.ca.gov  
Phone Number: Not reported

Global Id: T0603761703  
Contact Type: Local Agency Caseworker  
Contact Name: ELOY LUNA  
Organization Name: LOS ANGELES, CITY OF  
Address: 200 North Main Street, Suite 1780  
City: LOS ANGELES

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LA TRADE TECH (Continued)**

**1000904937**

Email: eloy.luna@lacity.org  
Phone Number: Not reported

Status History:

Global Id: T0603761703  
Status: Completed - Case Closed  
Status Date: 04/10/2013

Global Id: T0603761703  
Status: Open - Case Begin Date  
Status Date: 09/28/2006

Global Id: T0603761703  
Status: Open - Site Assessment  
Status Date: 03/03/2008

Regulatory Activities:

Global Id: T0603761703  
Action Type: Other  
Date: 01/08/2007  
Action: Leak Reported

Global Id: T0603761703  
Action Type: Other  
Date: 09/28/2006  
Action: Leak Discovery

Global Id: T0603761703  
Action Type: ENFORCEMENT  
Date: 04/10/2013  
Action: Closure/No Further Action Letter

Global Id: T0603761703  
Action Type: ENFORCEMENT  
Date: 04/28/2008  
Action: Staff Letter

HAZNET:

envid: 1000904937  
Year: 2001  
GEPaid: CA0000198911  
Contact: BILL SMITH  
Telephone: 2137449409  
Mailing Name: Not reported  
Mailing Address: 400 W WASHINGTON BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900154108  
Gen County: Not reported  
TSD EPA ID: CAT000613976  
TSD County: Not reported  
Waste Category: Hydrocarbon solvents (benzene, hexane, Stoddard, Etc.)  
Disposal Method: Transfer Station  
Tons: 0.41  
Facility County: Los Angeles

envid: 1000904937



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

Year: 1998  
GEPaid: CA0000198911  
Contact: L A COMMUNITY COLLEGE DIST  
Telephone: 2137449409  
Mailing Name: Not reported  
Mailing Address: 400 W WASHINGTON BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900154108  
Gen County: Not reported  
TSD EPA ID: NVT330010000  
TSD County: Not reported  
Waste Category: Polychlorinated biphenyls and material containing PCBs  
Disposal Method: Not reported  
Tons: .4408  
Facility County: Los Angeles

envid: 1000904937  
Year: 1998  
GEPaid: CA0000198911  
Contact: L A COMMUNITY COLLEGE DIST  
Telephone: 2137449409  
Mailing Name: Not reported  
Mailing Address: 400 W WASHINGTON BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900154108  
Gen County: Not reported  
TSD EPA ID: CAD093459485  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Transfer Station  
Tons: .0333  
Facility County: Los Angeles

envid: 1000904937  
Year: 1997  
GEPaid: CA0000198911  
Contact: L A COMMUNITY COLLEGE DIST  
Telephone: 2137449409  
Mailing Name: Not reported  
Mailing Address: 400 W WASHINGTON BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900154108  
Gen County: Not reported  
TSD EPA ID: CAD093459485  
TSD County: Not reported  
Waste Category: Unspecified solvent mixture  
Disposal Method: Transfer Station  
Tons: .0333  
Facility County: Los Angeles

EMI:

Year: 1987  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8221  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 2  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1990  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1995  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 3  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1996  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 1  
NOX - Oxides of Nitrogen Tons/Yr: 4  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1997  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1998  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1999  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 2000  
County Code: 19  
Air Basin: SC  
Facility ID: 12989

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 4  
Reactive Organic Gases Tons/Yr: 3  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 2001  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8222  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 2  
Reactive Organic Gases Tons/Yr: 1  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 2009  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8221  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1.8283059313563801  
Reactive Organic Gases Tons/Yr: 1.6001050000000001  
Carbon Monoxide Emissions Tons/Yr: 30.1492900000000001  
NOX - Oxides of Nitrogen Tons/Yr: 1.96069  
SOX - Oxides of Sulphur Tons/Yr: 0.036287  
Particulate Matter Tons/Yr: 1.0868930000000001  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0.69364435999999996

Year: 2010  
County Code: 19  
Air Basin: SC  
Facility ID: 12989  
Air District Name: SC  
SIC Code: 8221  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0.18198426118081601

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

LA TRADE TECH (Continued)

1000904937

Reactive Organic Gases Tons/Yr: 7.3160000000000003E-2  
Carbon Monoxide Emissions Tons/Yr: 1.1231  
NOX - Oxides of Nitrogen Tons/Yr: 1.2995399999999999  
SOX - Oxides of Sulphur Tons/Yr: 6.8960000000000002E-3  
Particulate Matter Tons/Yr: 1.1118300000000001  
Part. Matter 10 Micrometers & Smllr Tons/Yr: 1.0279654199999999

245  
WNW  
1/2-1  
0.505 mi.  
2664 ft.

JEFFRIES BANKNOTE COMPANY  
1330 WEST PICO BLVD  
LOS ANGELES, CA 90015

ENVIROSTOR S101480580  
N/A

Relative:  
Higher

ENVIROSTOR:

Actual:  
240 ft.

Facility ID: 19270326  
Status: Refer: Other Agency  
Status Date: 08/21/1995  
Site Code: Not reported  
Site Type: Historical  
Site Type Detailed: \* Historical  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: \* Mmonroy  
Division Branch: Cleanup Chatsworth  
Assembly: 53  
Senate: 30  
Special Program: \* RCRA 3012 - Past Haz Waste Disp Inven Site  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 34.04237  
Longitude: -118.2740  
APN: 5135035020  
Past Use: NONE SPECIFIED  
Potential COC: Lead Chromium VI Nickel  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: 5135035020  
Alias Type: APN  
Alias Name: CAD028528230  
Alias Type: EPA Identification Number  
Alias Name: 110002640624  
Alias Type: EPA (FRS #)  
Alias Name: 19270326  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Screening  
Completed Date: 11/07/1994  
Comments: DATABASE VALIDATION PROGRAM CONFIRMS NFA FOR DTSC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JEFFRIES BANKNOTE COMPANY (Continued)**

**S101480580**

Completed Document Type: Preliminary Assessment Report  
Completed Date: 01/27/1984  
Comments: FACILITY DRIVE-BY ASAP. NO HAZ WASTE PROB OBSERVED. SUBMIT TO EPA PRELIM ASSESS DONE RCRA 3012

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* Discovery  
Completed Date: 09/26/1983  
Comments: FACILITY IDENTIFIED ID FROM ERRIS

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

246  
NE  
1/2-1  
0.516 mi.  
2725 ft.

**JOHNSON BRONZE COMPANY**  
**1818 S. GRAND AVENUE**  
**LOS ANGELES, CA 90017**

**ENVIROSTOR S101480797**  
**N/A**

**Relative:**  
**Higher**

ENVIROSTOR:

**Actual:**  
**259 ft.**

Facility ID: 19340506  
Status: Refer: Other Agency  
Status Date: 08/15/1995  
Site Code: Not reported  
Site Type: Historical  
Site Type Detailed: \* Historical  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Referred - Not Assigned  
Division Branch: Cleanup Chatsworth  
Assembly: 59  
Senate: 30  
Special Program: \* Site Char & Assess Grant (CERCLA 104)  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 34.03388  
Longitude: -118.2675  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: \* HALOGENATED SOLVENTS \* OIL/WATER SEPARATION SLUDGE \* UNSPECIFIED SOLVENT MIXTURES  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: JOHNSON AUTOMOTIVE  
Alias Type: Alternate Name  
Alias Name: PARKER HANNIFIN CORP(1968-PRESENT)

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**JOHNSON BRONZE COMPANY (Continued)**

**S101480797**

Alias Type: Alternate Name  
 Alias Name: CAD981425002  
 Alias Type: CERCLIS ID  
 Alias Name: 19340506  
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
 Completed Sub Area Name: Not reported  
 Completed Document Type: \* Discovery  
 Completed Date: 09/11/1981  
 Comments: FACILITY IDENTIFIED ID BY 1947 PAC TEL DIR. BEARINGS: BABBITT, BRONZE, ETC.

Future Area Name: Not reported  
 Future Sub Area Name: Not reported  
 Future Document Type: Not reported  
 Future Due Date: Not reported  
 Schedule Area Name: Not reported  
 Schedule Sub Area Name: Not reported  
 Schedule Document Type: Not reported  
 Schedule Due Date: Not reported  
 Schedule Revised Date: Not reported

247  
 NNW  
 1/2-1  
 0.616 mi.  
 3253 ft.

**BELMONT NEW PRIMARY CENTER NO. 11B**  
**927-937 BLAINE STREET**  
**LOS ANGELES, CA 90015**

**SCH S105628546**  
**ENVIROSTOR N/A**

**Relative:**  
**Higher**

SCH:

**Actual:**  
**256 ft.**

Facility ID: 19750090  
 Site Type: School Investigation  
 Site Type Detail: School  
 Site Mgmt. Req.: NONE SPECIFIED  
 Acres: 0.39  
 National Priorities List: NO  
 Cleanup Oversight Agencies: SMBRP  
 Lead Agency: SMBRP  
 Lead Agency Description: DTSC - Site Cleanup Program  
 Project Manager: Not reported  
 Supervisor: Javier Hinojosa  
 Division Branch: Southern California Schools & Brownfields Outreach  
 Site Code: 304339  
 Assembly: 53  
 Senate: 30  
 Special Program Status: Not reported  
 Status: Inactive - Needs Evaluation  
 Status Date: 09/29/2005  
 Restricted Use: NO  
 Funding: School District  
 Latitude: 34.05227  
 Longitude: -118.2527  
 APN: NONE SPECIFIED  
 Past Use: VEHICLE MAINTENANCE  
 Potential COC: Lead  
 Confirmed COC: 30013-NO

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BELMONT NEW PRIMARY CENTER NO. 11B (Continued)**

**S105628546**

Potential Description: NONE SPECIFIED  
Alias Name: BELMONT NEW PRIMARY CENTER NO. 11B (EXP)  
Alias Type: Alternate Name  
Alias Name: LAUSD-BELMONT NEW PRIMARY CENTER # 11 B  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 304339  
Alias Type: Project Code (Site Code)  
Alias Name: 19750090  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 10/22/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 11/18/2002  
Comments: The project was completed in September 2005.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 19750090  
Status: Inactive - Needs Evaluation  
Status Date: 09/29/2005  
Site Code: 304339  
Site Type: School Investigation  
Site Type Detailed: School  
Acres: 0.39  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Not reported  
Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 30



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BELMONT NEW PRIMARY CENTER NO. 11B (Continued)**

**S105628546**

Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: School District  
Latitude: 34.05227  
Longitude: -118.2527  
APN: NONE SPECIFIED  
Past Use: VEHICLE MAINTENANCE  
Potential COC: Lead  
Confirmed COC: 30013-NO  
Potential Description: NONE SPECIFIED  
Alias Name: BELMONT NEW PRIMARY CENTER NO. 11B (EXP)  
Alias Type: Alternate Name  
Alias Name: LAUSD-BELMONT NEW PRIMARY CENTER # 11 B  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 304339  
Alias Type: Project Code (Site Code)  
Alias Name: 19750090  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 10/22/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 11/18/2002  
Comments: The project was completed in September 2005.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

248  
NNW  
1/2-1  
0.663 mi.  
3502 ft.

**BELMONT PRIMARY CENTER NO. 11**  
**950 SOUTH ALBANY STREET**  
**LOS ANGELES, CA 90015**

**SCH S105954501**  
**ENVIROSTOR N/A**

**Relative:**  
**Higher**

SCH:

**Actual:**  
**254 ft.**

Facility ID: 19590009  
Site Type: School Cleanup  
Site Type Detail: School  
Site Mgmt. Req.: NONE SPECIFIED  
Acres: 0.4  
National Priorities List: NO  
Cleanup Oversight Agencies: SMBRP  
Lead Agency: SMBRP  
Lead Agency Description: DTSC - Site Cleanup Program  
Project Manager: Not reported  
Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Site Code: 304271  
Assembly: 53  
Senate: 24  
Special Program Status: Not reported  
Status: Certified  
Status Date: 06/02/2003  
Restricted Use: NO  
Funding: School District  
Latitude: 34.04808  
Longitude: -118.2708  
APN: NONE SPECIFIED  
Past Use: \* RETIAL - MISC.  
Potential COC: Lead  
Confirmed COC: Lead  
Potential Description: SOIL  
Alias Name: BELMONT PRIMARY CENTER #11  
Alias Type: Alternate Name  
Alias Name: BELMONT PRIMARY CENTER NO. 11  
Alias Type: Alternate Name  
Alias Name: LAUSD-BELMONT PRIMARY CENTER #11  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 110033618137  
Alias Type: EPA (FRS #)  
Alias Name: 304271  
Alias Type: Project Code (Site Code)  
Alias Name: 19590009  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 11/02/2002  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BELMONT PRIMARY CENTER NO. 11 (Continued)**

**S105954501**

Completed Date: 05/05/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 03/07/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 06/02/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 05/06/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 03/22/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 01/23/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 05/21/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* CEQA  
Completed Date: 01/24/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* Public Participation  
Completed Date: 02/13/2003  
Comments: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BELMONT PRIMARY CENTER NO. 11 (Continued)**

**S105954501**

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**ENVIROSTOR:**

Facility ID: 19590009  
Status: Certified  
Status Date: 06/02/2003  
Site Code: 304271  
Site Type: School Cleanup  
Site Type Detailed: School  
Acres: 0.4  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Not reported  
Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 24  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: School District  
Latitude: 34.04808  
Longitude: -118.2708  
APN: NONE SPECIFIED  
Past Use: \* RETIAL - MISC.  
Potential COC: Lead  
Confirmed COC: Lead  
Potential Description: SOIL  
Alias Name: BELMONT PRIMARY CENTER #11  
Alias Type: Alternate Name  
Alias Name: BELMONT PRIMARY CENTER NO. 11  
Alias Type: Alternate Name  
Alias Name: LAUSD-BELMONT PRIMARY CENTER #11  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 110033618137  
Alias Type: EPA (FRS #)  
Alias Name: 304271  
Alias Type: Project Code (Site Code)  
Alias Name: 19590009  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 11/02/2002

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BELMONT PRIMARY CENTER NO. 11 (Continued)**

**S105954501**

Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 05/05/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 03/07/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 06/02/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 05/06/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 03/22/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 01/23/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 05/21/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* CEQA  
Completed Date: 01/24/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BELMONT PRIMARY CENTER NO. 11 (Continued)**

**S105954501**

Completed Sub Area Name: Not reported  
Completed Document Type: \* Public Participation  
Completed Date: 02/13/2003  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

249  
ENE  
1/2-1  
0.706 mi.  
3729 ft.

**UNITED BUILDING ASSOCIATES  
707 S BROADWAY #411  
LOS ANGELES, CA 90014**

**ENVIROSTOR S110494422  
N/A**

**Relative:  
Higher**

**ENVIROSTOR:**

Facility ID: 71003260  
Status: Refer: Other Agency  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Chatsworth  
Assembly: Not reported  
Senate: Not reported  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 0  
Longitude: 0  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAL000059257  
Alias Type: EPA Identification Number  
Alias Name: 71003260  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNITED BUILDING ASSOCIATES (Continued)**

**S110494422**

Comments: Not reported  
  
Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**AQ250  
NE  
1/2-1  
0.750 mi.  
3959 ft.**

**LOS ANGELES UNITED INVESTMENT CO.  
650 S. HILL STREET #1010  
LOS ANGELES, CA 90014**

**ENVIROSTOR S110494021  
N/A**

**Site 1 of 3 in cluster AQ**

**Relative:  
Higher**

ENVIROSTOR:

**Actual:  
264 ft.**

Facility ID: 71003114  
Status: Refer: Other Agency  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Chatsworth  
Assembly: Not reported  
Senate: Not reported  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 0  
Longitude: 0  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD982522344  
Alias Type: EPA Identification Number  
Alias Name: 110009547598  
Alias Type: EPA (FRS #)  
Alias Name: 71003114  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**LOS ANGELES UNITED INVESTMENT CO. (Continued)**

**S110494021**

Future Area Name: Not reported  
 Future Sub Area Name: Not reported  
 Future Document Type: Not reported  
 Future Due Date: Not reported  
 Schedule Area Name: Not reported  
 Schedule Sub Area Name: Not reported  
 Schedule Document Type: Not reported  
 Schedule Due Date: Not reported  
 Schedule Revised Date: Not reported

**AQ251**  
**NE**  
**1/2-1**  
**0.762 mi.**  
**4021 ft.**

**ATLAS PRECIOUS METALS INC**  
**640 S HILL ST**  
**LOS ANGELES, CA 90014**  
**Site 2 of 3 in cluster AQ**

**HWP S107145812**  
**N/A**

**Relative:**  
**Higher**

HWP:  
 EPA Id: CAL000098454  
 Cleanup Status: OPERATING PERMIT  
 Latitude: 34.04975  
 Longitude: -118.2540  
 Facility Type: Permitted - Operating  
 Facility Size: Standardized Series Small Quantity Series C  
 Team: LORI KOCH  
 Supervisor: ALFRED WONG  
 Site Code: 301156  
 Assembly District: 53  
 Senate District: 30  
 Public Information Officer: Not reported

**Actual:**  
**265 ft.**

Activities:  
 EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Not reported  
 Event Description: Mod Class 1\* - Prior Approval Required - FINAL PERMIT MODIFICATION (EXPIRES)  
 Actual Date: 05/22/2016

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2  
 Event Description: New Operating Permit - FINAL PART A & PART B RECEIVED  
 Actual Date: 12/23/2005

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2  
 Event Description: New Operating Permit - FINAL PERMIT (EFFECTIVE)  
 Actual Date: 05/23/2006

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2  
 Event Description: New Operating Permit - APPLICATION PART A RECEIVED  
 Actual Date: 12/23/2003



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ATLAS PRECIOUS METALS INC (Continued)**

**S107145812**

EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Not reported
Event Description:	Mod Class 1* - Prior Approval Required - DISCLOSURE (CLEARED)
Actual Date:	02/09/2011
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2
Event Description:	New Operating Permit - APPLICATION PART B RECEIVED
Actual Date:	12/23/2003
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2
Event Description:	New Operating Permit - DRAFT PERMIT
Actual Date:	01/30/2006
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2
Event Description:	Mod Class 1 - No Prior Approval Required - FINAL PERMIT MODIFICATION (EXPIRES)
Actual Date:	05/22/2016
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Not reported
Event Description:	Mod Class 1* - Prior Approval Required - FINAL PERMIT MODIFICATION (EFFECTIVE)
Actual Date:	05/23/2006
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2
Event Description:	Mod Class 1 - No Prior Approval Required - FINAL PERMIT MODIFICATION (EFFECTIVE)
Actual Date:	05/23/2006
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Not reported
Event Description:	Mod Class 1* - Prior Approval Required - FINAL PERMIT MODIFICATION
Actual Date:	03/18/2011
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2
Event Description:	Mod Class 1 - No Prior Approval Required - FINAL PERMIT MODIFICATION
Actual Date:	05/08/2008
EPA Id:	CAL000098454
Facility Type:	Permitted - Operating
Unit Names:	Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ATLAS PRECIOUS METALS INC (Continued)**

**S107145812**

Event Description: New Operating Permit - FINAL PERMIT  
 Actual Date: 04/13/2006

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2

Event Description: New Operating Permit - FINAL PERMIT (EXPIRES)  
 Actual Date: 05/22/2016

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2

Event Description: New Operating Permit - CEQA DETERMINATION  
 Actual Date: 04/10/2006

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2

Event Description: New Operating Permit - ADMINISTRATIVE REVIEW COMPLETE  
 Actual Date: 02/22/2004

EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Unit Names: Ball Mill #1 and #2, Roasting Kiln #1 and #2, Vibratory Screen #1 and #2

Event Description: New Operating Permit - PUBLIC COMMENT (BEGIN)  
 Actual Date: 01/30/2006

Alias:  
 EPA Id: CAL000098454  
 Facility Type: Permitted - Operating  
 Alias Type: Project Code (Site Code)  
 Alias: 301156

**AQ252**  
**NE**  
**1/2-1**  
**0.775 mi.**  
**4093 ft.**

**M & M HOLDING, LLC**  
**629 S. HILL STREET #1202**  
**LOS ANGELES, CA 90014**  
**Site 3 of 3 in cluster AQ**

**ENVIROSTOR S110494027**  
**N/A**

**Relative:**  
**Higher**

ENVIROSTOR:  
 Facility ID: 71003306  
 Status: Refer: Other Agency  
 Status Date: Not reported  
 Site Code: Not reported  
 Site Type: Tiered Permit  
 Site Type Detailed: Tiered Permit  
 Acres: Not reported  
 NPL: NO  
 Regulatory Agencies: NONE SPECIFIED  
 Lead Agency: NONE SPECIFIED  
 Program Manager: Not reported  
 Supervisor: Not reported

**Actual:**  
**266 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**M & M HOLDING, LLC (Continued)**

**S110494027**

Division Branch: Cleanup Chatsworth  
Assembly: Not reported  
Senate: Not reported  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 0  
Longitude: 0  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAL000213712  
Alias Type: EPA Identification Number  
Alias Name: 71003306  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1 Non-Submittal  
Completed Date: 04/30/2001  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

253  
SE  
1/2-1  
0.804 mi.  
4244 ft.

**LAUSD MASTER AGREEMENT  
1449 SOUTH SAN PEDRO STREET  
LOS ANGELES, CA 90015**

**SCH S111752578  
ENVIROSTOR N/A**

**Relative:  
Lower**

SCH:

**Actual:  
231 ft.**

Facility ID: 19820019  
Site Type: School Investigation  
Site Type Detail: School  
Site Mgmt. Req.: NONE SPECIFIED  
Acres: 0  
National Priorities List: NO  
Cleanup Oversight Agencies: SMBRP  
Lead Agency: SMBRP  
Lead Agency Description: DTSC - Site Cleanup Program  
Project Manager: Shahir Haddad  
Supervisor: Thomas Cota  
Division Branch: Southern California Schools & Brownfields Outreach  
Site Code: 300774  
Assembly: 53

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LAUSD MASTER AGREEMENT (Continued)**

**S111752578**

Senate: 30  
Special Program Status: Voluntary Cleanup Program  
Status: Active  
Status Date: 07/01/1998  
Restricted Use: NO  
Funding: School District  
Latitude: 34.03085  
Longitude: -118.2553  
APN: NONE SPECIFIED  
Past Use: \* EDUCATIONAL SERVICES  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: LAUSD  
Alias Type: Alternate Name  
Alias Name: LAUSD MASTER AGREEMENT  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 300774  
Alias Type: Project Code (Site Code)  
Alias Name: 19820019  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Letter - Demand  
Completed Date: 02/16/2012  
Comments: First Collection Letter Inv# I00937, J01444, 04SM2023, 05SM1035 and 05SM1885.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Letter - Demand  
Completed Date: 03/23/2012  
Comments: 2nd Collection Letter for Invoices I00937, J01444, 04SM2023, 05SM1035 and 05SM1885.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: School Cleanup Agreement  
Completed Date: 06/17/2013  
Comments: Fully executed MSCA sent (FedEx) to District.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 04/29/2013  
Comments: Fully executed sent (FedEx) to District.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Amendment - Order/Agreement  
Completed Date: 11/06/2013  
Comments: Not reported

Completed Area Name: PROJECT WIDE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LAUSD MASTER AGREEMENT (Continued)**

**S111752578**

Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**ENVIROSTOR:**

Facility ID: 19820019  
Status: Active  
Status Date: 07/01/1998  
Site Code: 300774  
Site Type: School Investigation  
Site Type Detailed: School  
Acres: 0  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Shahir Haddad  
Supervisor: Thomas Cota  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 30  
Special Program: Voluntary Cleanup Program  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: School District  
Latitude: 34.03085  
Longitude: -118.2553  
APN: NONE SPECIFIED  
Past Use: \* EDUCATIONAL SERVICES  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: LAUSD  
Alias Type: Alternate Name  
Alias Name: LAUSD MASTER AGREEMENT  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 300774  
Alias Type: Project Code (Site Code)  
Alias Name: 19820019  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Letter - Demand

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LAUSD MASTER AGREEMENT (Continued)**

**S111752578**

Completed Date: 02/16/2012  
Comments: First Collection Letter Inv# I00937, J01444, 04SM2023, 05SM1035 and 05SM1885.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Letter - Demand  
Completed Date: 03/23/2012  
Comments: 2nd Collection Letter for Invoices I00937, J01444, 04SM2023, 05SM1035 and 05SM1885.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: School Cleanup Agreement  
Completed Date: 06/17/2013  
Comments: Fully executed MSCA sent (FedEx) to District.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 04/29/2013  
Comments: Fully executed sent (FedEx) to District.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Amendment - Order/Agreement  
Completed Date: 11/06/2013  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

AR254  
NE  
1/2-1  
0.809 mi.  
4271 ft.

**PARK CENTRAL BUILDING**  
**412 W 6TH ST**  
**LOS ANGELES, CA 90014**  
**Site 1 of 2 in cluster AR**

**RCRA-SQG 1000596822**  
**FINDS CAD983608027**  
**ENVIROSTOR**

**Relative:**  
**Higher**

RCRA-SQG:  
Date form received by agency: 09/01/1996  
Facility name: PARK CENTRAL BUILDING  
Facility address: 412 W 6TH ST  
LOS ANGELES, CA 90014  
EPA ID: CAD983608027  
Contact: Not reported

**Actual:**  
**267 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARK CENTRAL BUILDING (Continued)**

**1000596822**

Contact address: Not reported  
Not reported  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Land type: Facility is not located on Indian land. Additional information is not known.  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: WILLIAM BLOOMFIELD  
Owner/operator address: 412 W 6TH ST  
LOS ANGELES, CA 90014  
Owner/operator country: Not reported  
Owner/operator telephone: (213) 627-3998  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

**Historical Generators:**

Date form received by agency: 09/01/1996  
Site name: PARK CENTRAL BUILDING  
Classification: Small Quantity Generator

Date form received by agency: 03/30/1994  
Site name: PARK CENTRAL BUILDING  
Classification: Large Quantity Generator

Date form received by agency: 10/18/1991  
Site name: PARK CENTRAL BUILDING  
Classification: Large Quantity Generator

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARK CENTRAL BUILDING (Continued)**

**1000596822**

Facility Has Received Notices of Violations:

Regulation violated: Not reported  
Area of violation: Generators - General  
Date violation determined: 03/08/2000  
Date achieved compliance: 10/01/2004  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 06/19/2001  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: Not reported  
Area of violation: Formal Enforcement Agreement or Order  
Date violation determined: 03/08/2000  
Date achieved compliance: 10/01/2004  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 06/19/2001  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: Not reported  
Area of violation: Generators - General  
Date violation determined: 03/08/2000  
Date achieved compliance: 10/01/2004  
Violation lead agency: State  
Enforcement action: SINGLE SITE CA/FO  
Enforcement action date: 10/01/2004  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: Not reported  
Area of violation: Formal Enforcement Agreement or Order  
Date violation determined: 03/08/2000  
Date achieved compliance: 10/01/2004  
Violation lead agency: State  
Enforcement action: SINGLE SITE CA/FO  
Enforcement action date: 10/01/2004  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARK CENTRAL BUILDING (Continued)**

**1000596822**

Regulation violated: FR - 262.10-12.A  
Area of violation: Generators - General  
Date violation determined: 03/09/1994  
Date achieved compliance: 03/09/1999  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 10/01/2004  
Evaluation: NOT A SIGNIFICANT NON-COMPLIER  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 03/08/2000  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Generators - General  
Date achieved compliance: 10/01/2004  
Evaluation lead agency: State

Evaluation date: 03/08/2000  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Formal Enforcement Agreement or Order  
Date achieved compliance: 10/01/2004  
Evaluation lead agency: State

Evaluation date: 03/08/2000  
Evaluation: SIGNIFICANT NON-COMPLIER  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 03/09/1994  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Generators - General  
Date achieved compliance: 03/09/1999  
Evaluation lead agency: State Contractor/Grantee

**FINDS:**

Registry ID: 110009535351

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARK CENTRAL BUILDING (Continued)**

**1000596822**

Registry ID: 110009548891

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ENVIROSTOR:

Facility ID: 71003138  
Status: Refer: Other Agency  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Chatsworth  
Assembly: Not reported  
Senate: Not reported  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 0  
Longitude: 0  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD983608027  
Alias Type: EPA Identification Number  
Alias Name: 71003138  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PARK CENTRAL BUILDING (Continued)**

1000596822

Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

AR255 MGR JEWELRY  
NE 314 W SIXTH STREET  
1/2-1 LOS ANGELES, CA 90014  
0.820 mi.  
4328 ft. Site 2 of 2 in cluster AR

EMI S106835553  
ENVIROSTOR N/A

Relative:  
Higher

EMI:  
Year: 1990  
County Code: 30  
Air Basin: SC  
Facility ID: 57386  
Air District Name: SC  
SIC Code: 3369  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Actual:  
265 ft.

ENVIROSTOR:

Facility ID: 71003112  
Status: Refer: Other Agency  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Chatsworth  
Assembly: 53  
Senate: 30  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 34.04695  
Longitude: -118.2524  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MGR JEWELRY (Continued)**

**S106835553**

Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD982519704  
Alias Type: EPA Identification Number  
Alias Name: 71003112  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

256  
North  
1/2-1  
0.884 mi.  
4669 ft.

**GOOD SAMARITAN HOSPITAL ER ENTRANCE**  
**1225 WILSHIRE**  
**LOS ANGELES, CA 90017**

**LUST S110493875**  
**ENVIROSTOR N/A**

**Relative:**  
**Higher**

LUST:

Region: STATE  
Global Id: T10000004822  
Latitude: 34.053355  
Longitude: -118.265582  
Case Type: Not reported  
Status: Open - Eligible for Closure  
Status Date: 02/04/2015  
Lead Agency: Not reported  
Case Worker: MC  
Local Agency: Not reported  
RB Case Number: Not reported  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Not reported  
Potential Contaminants of Concern: Diesel  
Site History: Not reported

**Actual:**  
**340 ft.**

Click here to access the California GeoTracker records for this facility:

Contact:

Global Id: T10000004822  
Contact Type: Local Agency Caseworker  
Contact Name: GREG STEVENS  
Organization Name: LOS ANGELES, CITY OF  
Address: 221 N Figueroa St  
City: LOS ANGELES  
Email: gregory.stevens@lacity.org  
Phone Number: 2134826527

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GOOD SAMARITAN HOSPITAL ER ENTRANCE (Continued)**

**S110493875**

Global Id: T10000004822  
Contact Type: Regional Board Caseworker  
Contact Name: MATTHEW COHEN  
Organization Name: SWRCB  
Address: 1001 I Street  
City: SACRAMENTO  
Email: mcohen@waterboards.ca.gov  
Phone Number: 9163415751

Status History:

Global Id: T10000004822  
Status: Open - Case Begin Date  
Status Date: 07/26/2005

Global Id: T10000004822  
Status: Open - Eligible for Closure  
Status Date: 12/12/2013

Global Id: T10000004822  
Status: Open - Eligible for Closure  
Status Date: 02/04/2015

Global Id: T10000004822  
Status: Open - Site Assessment  
Status Date: 06/11/2013

Regulatory Activities:

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 01/28/2015  
Action: State Water Board Closure Order

Global Id: T10000004822  
Action Type: RESPONSE  
Date: 04/05/2005  
Action: Soil and Water Investigation Report

Global Id: T10000004822  
Action Type: RESPONSE  
Date: 08/19/2004  
Action: Soil and Water Investigation Report

Global Id: T10000004822  
Action Type: RESPONSE  
Date: 12/27/2005  
Action: Soil and Water Investigation Report

Global Id: T10000004822  
Action Type: RESPONSE  
Date: 05/06/1986  
Action: Site Assessment Report

Global Id: T10000004822  
Action Type: RESPONSE  
Date: 07/17/2013  
Action: Correspondence

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GOOD SAMARITAN HOSPITAL ER ENTRANCE (Continued)**

**S110493875**

Global Id: T10000004822  
Action Type: RESPONSE  
Date: 05/20/2013  
Action: Correspondence

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 05/07/2013  
Action: Notice of Violation - #20136

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 09/17/1996  
Action: Closure/No Further Action Letter

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 09/17/1986  
Action: Technical Correspondence / Assistance / Other

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 06/06/1986  
Action: Notice to Comply

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 09/18/1987  
Action: Technical Correspondence / Assistance / Other

Global Id: T10000004822  
Action Type: ENFORCEMENT  
Date: 05/09/1986  
Action: Referral to Regional Board

Global Id: T10000004822  
Action Type: Other  
Date: 07/26/2005  
Action: Leak Discovery

Global Id: T10000004822  
Action Type: Other  
Date: 08/08/2005  
Action: Leak Reported

**ENVIROSTOR:**

Facility ID: 71003074  
Status: Refer: Other Agency  
Status Date: Not reported  
Site Code: Not reported  
Site Type: Tiered Permit  
Site Type Detailed: Tiered Permit  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GOOD SAMARITAN HOSPITAL ER ENTRANCE (Continued)**

**S110493875**

Program Manager: Not reported  
Supervisor: Not reported  
Division Branch: Cleanup Chatsworth  
Assembly: 53  
Senate: 24  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: Not reported  
Latitude: 34.05335  
Longitude: -118.2655  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD982485625  
Alias Type: EPA Identification Number  
Alias Name: 71003074  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Not reported  
Completed Sub Area Name: Not reported  
Completed Document Type: Not reported  
Completed Date: Not reported  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

257  
South  
1/2-1  
0.887 mi.  
4686 ft.

**SOUTH CENTRAL AREA NEW HS (SANTEE DAIRY)**  
**231 EAST 23RD STREET**  
**LOS ANGELES, CA 90011**

**SCH S107737369**  
**ENVIROSTOR N/A**

Relative:  
Lower

SCH:

Actual:  
217 ft.

Facility ID: 19590012  
Site Type: School Investigation  
Site Type Detail: School  
Site Mgmt. Req.: NONE SPECIFIED  
Acres: 22  
National Priorities List: NO  
Cleanup Oversight Agencies: SMBRP  
Lead Agency: SMBRP  
Lead Agency Description: DTSC - Site Cleanup Program  
Project Manager: Shahir Haddad  
Supervisor: Shahir Haddad  
Division Branch: Southern California Schools & Brownfields Outreach

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTH CENTRAL AREA NEW HS (SANTEE DAIRY) (Continued)**

**S107737369**

Site Code: 304247  
Assembly: 53  
Senate: 30  
Special Program Status: Not reported  
Status: No Further Action  
Status Date: 06/22/2007  
Restricted Use: NO  
Funding: School District  
Latitude: 34.05227  
Longitude: -118.2527  
APN: NONE SPECIFIED  
Past Use: \* RETIAL - MISC.  
Potential COC: Benzene, Lead, Tetrachloroethylene (PCE, TPH-diesel)  
Confirmed COC: 30022-NO, 30024-NO, 30003-NO, 30013-NO  
Potential Description: SOIL, SV  
Alias Name: LAUSD-SANTEE DIARY SITE  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: SANTEE DAIRY  
Alias Type: Alternate Name  
Alias Name: SOUTH CENTRAL AREA NEW HIGH SCHOOL  
Alias Type: Alternate Name  
Alias Name: 304247  
Alias Type: Project Code (Site Code)  
Alias Name: 19590012  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 03/07/2002  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 05/20/2002  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 03/11/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 04/01/2003  
Comments: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTH CENTRAL AREA NEW HS (SANTEE DAIRY) (Continued)**

**S107737369**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 04/28/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 04/28/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 06/03/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Other Report  
Completed Date: 09/14/2005  
Comments: DTSC letter completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 06/22/2007  
Comments: CRU Memo completed.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**ENVIROSTOR:**

Facility ID: 19590012  
Status: No Further Action  
Status Date: 06/22/2007  
Site Code: 304247  
Site Type: School Investigation  
Site Type Detailed: School  
Acres: 22  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Shahir Haddad  
Supervisor: Shahir Haddad  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 30  
Special Program: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTH CENTRAL AREA NEW HS (SANTEE DAIRY) (Continued)**

**S107737369**

Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: School District  
Latitude: 34.05227  
Longitude: -118.2527  
APN: NONE SPECIFIED  
Past Use: \* RETIAL - MISC.  
Potential COC: Benzene Lead Tetrachloroethylene (PCE TPH-diesel)  
Confirmed COC: 30022-NO 30024-NO 30003-NO 30013-NO  
Potential Description: SOIL, SV  
Alias Name: LAUSD-SANTEE DIARY SITE  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: SANTEE DAIRY  
Alias Type: Alternate Name  
Alias Name: SOUTH CENTRAL AREA NEW HIGH SCHOOL  
Alias Type: Alternate Name  
Alias Name: 304247  
Alias Type: Project Code (Site Code)  
Alias Name: 19590012  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 03/07/2002  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 05/20/2002  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 03/11/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 04/01/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 04/28/2003

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTH CENTRAL AREA NEW HS (SANTEE DAIRY) (Continued)**

**S107737369**

Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 04/28/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 06/03/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Other Report  
Completed Date: 09/14/2005  
Comments: DTSC letter completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 06/22/2007  
Comments: CRU Memo completed.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

258  
North  
1/2-1  
0.952 mi.  
5028 ft.

**GRATTS NEW PRIMARY CENTER  
WEST 6TH STREET/BIXEL STREET  
LOS ANGELES, CA 90017**

**SCH S105628645  
ENVIROSTOR N/A**

**Relative:  
Higher**

SCH:

**Actual:  
376 ft.**

Facility ID: 19880042  
Site Type: School Cleanup  
Site Type Detail: School  
Site Mgmt. Req.: NONE SPECIFIED  
Acres: 2.8  
National Priorities List: NO  
Cleanup Oversight Agencies: SMBRP  
Lead Agency: SMBRP  
Lead Agency Description: DTSC - Site Cleanup Program  
Project Manager: Not reported  
Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Site Code: 304283  
Assembly: 53

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRATTS NEW PRIMARY CENTER (Continued)**

**S105628645**

Senate: 24  
Special Program Status: Not reported  
Status: Certified  
Status Date: 01/11/2008  
Restricted Use: NO  
Funding: School District  
Latitude: 34.05440  
Longitude: -118.2620  
APN: NONE SPECIFIED  
Past Use: RESIDENTIAL AREA  
Potential COC: Lead  
Confirmed COC: NONE SPECIFIED  
Potential Description: IA, SOIL, SV  
Alias Name: GRATTS NEW PRIMARY CENTER  
Alias Type: Alternate Name  
Alias Name: LAUSD-GRATTS NEW PC  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 110033620703  
Alias Type: EPA (FRS #)  
Alias Name: 304283  
Alias Type: Project Code (Site Code)  
Alias Name: 19880042  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 12/30/2008  
Comments: The project is now considered complete.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 10/12/2004  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 05/15/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Workplan  
Completed Date: 03/25/2004  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Workplan  
Completed Date: 01/09/2007  
Comments: Tech memo approved.

Completed Area Name: PROJECT WIDE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRATTS NEW PRIMARY CENTER (Continued)**

**S105628645**

Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Workplan  
Completed Date: 12/15/2006  
Comments: Site previously demolished and graded; requires changes to scope of investigation.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 03/28/2007  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 06/15/2007  
Comments: DTSC approved the Removal Action Workplan as final.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Fieldwork  
Completed Date: 07/06/2007  
Comments: fieldwork has been completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Remedial Action Completion Report  
Completed Date: 09/26/2007  
Comments: Approval of Removal Action Completion Report

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 03/20/2006  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 10/15/2004  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 05/11/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRATTS NEW PRIMARY CENTER (Continued)**

**S105628645**

Completed Date: 01/11/2008  
Comments: The project has been certified by management.  
  
Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**ENVIROSTOR:**

Facility ID: 19880042  
Status: Certified  
Status Date: 01/11/2008  
Site Code: 304283  
Site Type: School Cleanup  
Site Type Detailed: School  
Acres: 2.8  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Not reported  
Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 24  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: School District  
Latitude: 34.05440  
Longitude: -118.2620  
APN: NONE SPECIFIED  
Past Use: RESIDENTIAL AREA  
Potential COC: Lead  
Confirmed COC: NONE SPECIFIED  
Potential Description: IA, SOIL, SV  
Alias Name: GRATTS NEW PRIMARY CENTER  
Alias Type: Alternate Name  
Alias Name: LAUSD-GRATTS NEW PC  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: 110033620703  
Alias Type: EPA (FRS #)  
Alias Name: 304283  
Alias Type: Project Code (Site Code)  
Alias Name: 19880042  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRATTS NEW PRIMARY CENTER (Continued)**

**S105628645**

Completed Date: 12/30/2008  
Comments: The project is now considered complete.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 10/12/2004  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Phase 1  
Completed Date: 05/15/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Workplan  
Completed Date: 03/25/2004  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Workplan  
Completed Date: 01/09/2007  
Comments: Tech memo approved.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Workplan  
Completed Date: 12/15/2006  
Comments: Site previously demolished and graded; requires changes to scope of investigation.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Supplemental Site Investigation Report  
Completed Date: 03/28/2007  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 06/15/2007  
Comments: DTSC approved the Removal Action Workplan as final.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Fieldwork  
Completed Date: 07/06/2007  
Comments: fieldwork has been completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Remedial Action Completion Report  
Completed Date: 09/26/2007  
Comments: Approval of Removal Action Completion Report

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRATTS NEW PRIMARY CENTER (Continued)**

**S105628645**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 03/20/2006  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 10/15/2004  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Inspections/Visit (Non LUR)  
Completed Date: 05/11/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 01/11/2008  
Comments: The project has been certified by management.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

259  
SSW  
1/2-1  
0.973 mi.  
5140 ft.

**ORTHOPEDIC HOSPITAL MAGNET HIGH SCHOOL  
WEST ADAMS BOULEVARD/SOUTH GRAND AVENUE  
LOS ANGELES, CA 90007**

**SCH S107736972  
ENVIROSTOR N/A**

**Relative:  
Lower**

SCH:

**Actual:  
206 ft.**

Facility ID: 19230002  
Site Type: School Cleanup  
Site Type Detail: School  
Site Mgmt. Req.: NONE SPECIFIED  
Acres: 4.15  
National Priorities List: NO  
Cleanup Oversight Agencies: SMBRP  
Lead Agency: SMBRP  
Lead Agency Description: DTSC - Site Cleanup Program  
Project Manager: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORTHOPEDIC HOSPITAL MAGNET HIGH SCHOOL (Continued)**

**S107736972**

Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Site Code: 304196  
Assembly: 53  
Senate: 30  
Special Program Status: Not reported  
Status: Certified  
Status Date: 05/30/2003  
Restricted Use: NO  
Funding: School District  
Latitude: 34.02905  
Longitude: -118.2708  
APN: NONE SPECIFIED  
Past Use: \* MANU - APPAREL & OTHER TEXTILE PRODUCTS  
Potential COC: Lead, Polynuclear aromatic hydrocarbons (PAHs)  
Confirmed COC: Lead, Polynuclear aromatic hydrocarbons (PAHs)  
Potential Description: SOIL  
Alias Name: LA USD-ORTHOPEDIC HOSPITAL MAGNET HS/CDE  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: ORTHOPAEDIC HOSPITAL MAGNET HIGH SCHOOL  
Alias Type: Alternate Name  
Alias Name: 110033607121  
Alias Type: EPA (FRS #)  
Alias Name: 304196  
Alias Type: Project Code (Site Code)  
Alias Name: 19230002  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 11/19/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 05/29/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 12/27/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Workplan

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORTHOPEDIC HOSPITAL MAGNET HIGH SCHOOL (Continued)**

**S107736972**

Completed Date: 10/26/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 05/29/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 05/30/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: CEQA - Initial Study/ Neg. Declaration  
Completed Date: 12/27/2001  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**ENVIROSTOR:**

Facility ID: 19230002  
Status: Certified  
Status Date: 05/30/2003  
Site Code: 304196  
Site Type: School Cleanup  
Site Type Detailed: School  
Acres: 4.15  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: Not reported  
Supervisor: Javier Hinojosa  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 30  
Special Program: Not reported  
Restricted Use: NO  
Site Mgmt Req: NONE SPECIFIED  
Funding: School District  
Latitude: 34.02905  
Longitude: -118.2708  
APN: NONE SPECIFIED  
Past Use: \* MANU - APPAREL & OTHER TEXTILE PRODUCTS  
Potential COC: Lead Polynuclear aromatic hydrocarbons (PAHs)  
Confirmed COC: Lead Polynuclear aromatic hydrocarbons (PAHs)

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORTHOPEDIC HOSPITAL MAGNET HIGH SCHOOL (Continued)**

**S107736972**

Potential Description: SOIL  
Alias Name: LA USD-ORTHOPEDIC HOSPITAL MAGNET HS/CDE  
Alias Type: Alternate Name  
Alias Name: LOS ANGELES UNIFIED SCHOOL DISTRICT  
Alias Type: Alternate Name  
Alias Name: ORTHOPAEDIC HOSPITAL MAGNET HIGH SCHOOL  
Alias Type: Alternate Name  
Alias Name: 110033607121  
Alias Type: EPA (FRS #)  
Alias Name: 304196  
Alias Type: Project Code (Site Code)  
Alias Name: 19230002  
Alias Type: Envirostor ID Number

Completed Info:  
Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Environmental Oversight Agreement  
Completed Date: 02/10/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 11/19/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 05/29/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 12/27/2001  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Workplan  
Completed Date: 10/26/2000  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 05/29/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Cost Recovery Closeout Memo  
Completed Date: 05/30/2003  
Comments: Not reported

Completed Area Name: PROJECT WIDE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORTHOPEDIC HOSPITAL MAGNET HIGH SCHOOL (Continued)**

**S107736972**

Completed Sub Area Name: Not reported  
Completed Document Type: CEQA - Initial Study/ Neg. Declaration  
Completed Date: 12/27/2001  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

260  
SE  
1/2-1  
0.976 mi.  
5155 ft.

**ROYAL PLATING CO**  
**787 E 15TH ST**  
**LOS ANGELES, CA 90021**

**RCRA-SQG 1000148255**  
**FINDS CAD008252173**  
**CA FID UST**  
**UST**  
**HIST UST**  
**SWEEPS UST**  
**DEED**  
**VCP**  
**HAZNET**  
**EMI**  
**ENVIROSTOR**

Relative:  
Lower

Actual:  
232 ft.

**RCRA-SQG:**

Date form received by agency: 09/01/1996  
Facility name: ROYAL PLATING CO  
Facility address: 787 E 15TH ST  
LOS ANGELES, CA 90021  
EPA ID: CAD008252173  
Contact: Not reported  
Contact address: Not reported  
Not reported  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: GOLNICK STANLEY  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Historical Generators:

Date form received by agency: 08/18/1980  
Site name: ROYAL PLATING CO  
Classification: Large Quantity Generator

Violation Status: No violations found

FINDS:

Registry ID: 110002630840

Environmental Interest/Information System

California Department of Toxic Substances Control EnviroStor System (DTSC-EnviroStor) is an online search and Geographic Information System (GIS) tool for identifying sites that have known contamination or sites for which there may be reasons to investigate further. The EnviroStor database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

CA FID UST:

Facility ID: 19028175  
Regulated By: UTNKA  
Regulated ID: 00041151  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 2137495006  
Mail To: Not reported  
Mailing Address: 787 E 15TH ST  
Mailing Address 2: Not reported  
Mailing City,St,Zip: LOS ANGELES 900210000  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

UST:

Facility ID: 24452  
Permitting Agency: LOS ANGELES, CITY OF  
Latitude: 34.030808  
Longitude: -118.251317

HIST UST:

Region: STATE  
Facility ID: 00000041151  
Facility Type: Other  
Other Type: PLATING WORKS  
Contact Name: TIEMAN MICHAEL  
Telephone: 0000000000  
Owner Name: ROYAL PLATING WORKS  
Owner Address: 787 E. 15TH ST.  
Owner City,St,Zip: LOS ANGELES, CA 90021  
Total Tanks: 0002

Tank Num: 001  
Container Num: 1  
Year Installed: 1981  
Tank Capacity: 00001500  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Container Construction Thickness: 1/4  
Leak Detection: Not reported

Tank Num: 002  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Container Construction Thickness: Not reported  
Leak Detection: None

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

**SWEEPS UST:**

Status: Active  
Comp Number: 2183  
Number: 2  
Board Of Equalization: 44-012166  
Referral Date: 05-04-93  
Action Date: 05-04-93  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002183-000001  
Tank Status: A  
Capacity: 1500  
Active Date: 04-20-88  
Tank Use: CHEMICAL  
STG: P  
Content: UNKNOWN  
Number Of Tanks: 2

Status: Active  
Comp Number: 2183  
Number: 2  
Board Of Equalization: 44-012166  
Referral Date: 05-04-93  
Action Date: 05-04-93  
Created Date: 02-29-88  
Owner Tank Id: Not reported  
SWRCB Tank Id: 19-050-002183-000002  
Tank Status: A  
Capacity: Not reported  
Active Date: 04-20-88  
Tank Use: CHEMICAL  
STG: P  
Content: UNKNOWN  
Number Of Tanks: Not reported

**DEED:**

Envirostor ID: 19340770  
Area: PROJECT WIDE  
Sub Area: Not reported  
Site Type: VOLUNTARY CLEANUP  
Status: CERTIFIED O&M - LAND USE RESTRICTIONS ONLY  
Agency: Not reported  
Covenant Uploaded: Not reported  
Deed Date(s): 03/20/2001

**VCP:**

Facility ID: 19340770  
Site Type: Voluntary Cleanup  
Site Type Detail: Voluntary Cleanup  
Site Mgmt. Req.: DAY, HOS, LUC, NDEV, NSUB, SCH, RES  
Acres: 0.63  
National Priorities List: NO  
Cleanup Oversight Agencies: DTSC  
Lead Agency: DTSC  
Lead Agency Description: \* DTSC  
Project Manager: Poonam Acharya

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Supervisor: Emad Yemut  
Division Branch: Southern California Schools & Brownfields Outreach  
Site Code: 300638  
Assembly: 53  
Senate: 30  
Special Programs Code: Voluntary Cleanup Program  
Status: Certified O&M - Land Use Restrictions Only  
Status Date: 08/23/2013  
Restricted Use: YES  
Funding: Responsible Party  
Lat/Long: 34.02945 / -118.2526  
APN: 5132-026-038, 5132026038  
Past Use: METAL PLATING - CHROME, METAL PLATING - OTHER  
Potential COC: 30003, 30005, 30013, 30022, 30108, 30160, 30272, 30407, 30550, 30577, 30593  
Confirmed COC: 30550,30577,30022,30108,30160,30272,30407,30003,30005,30013,30593  
Potential Description: SOIL  
Alias Name: ALAN BAILEY  
Alias Type: Alternate Name  
Alias Name: ASSOCIATED PLATING  
Alias Type: Alternate Name  
Alias Name: EVERGREEN INVESTMENTS  
Alias Type: Alternate Name  
Alias Name: ROYAL PLATING  
Alias Type: Alternate Name  
Alias Name: 5132-026-038  
Alias Type: APN  
Alias Name: 5132026038  
Alias Type: APN  
Alias Name: 110033607103  
Alias Type: EPA (FRS #)  
Alias Name: 300638  
Alias Type: Project Code (Site Code)  
Alias Name: 19340770  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 10/07/2008  
Comments: Annual Deed Restriction Inspection completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 10/12/2009  
Comments: LUC inspection completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 05/23/2011  
Comments: LUC inspection for FY 2010-2011 completed and site is in compliance with LUC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 07/03/2012  
Comments: Inspection completed for the 2011/2012 fiscal year. No violation of LUC was observed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 10/18/2012  
Comments: Inspection Checklist sent to DTSC by owner. No violations of the LUR exist. Follow up inspection to be completed next fiscal year (2013-2014) along with 5 year Review.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction  
Completed Date: 03/20/2001  
Comments: Deed Restriction entered.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 01/02/1997  
Comments: DTSC and Alan Bailey, the property owner executed a Voluntary Cleanup Agreement for a Preliminary Endangerment Assessment for the site property.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 07/18/2006  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 11/03/1997  
Comments: On November 3, 1997, DTSC approved a Preliminary Endangerment Assessment Equivalent. DTSC determined that "No Further Action" is necessary with respect to hazardous substances in the soil. However, a deed restriction limiting site use to commercial/ industrial was required.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

HAZNET:

envid: 1000148255  
Year: 1996  
GEPaid: CAD008252173

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Contact: GOLNICK STANLEY  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 787 E 15TH ST  
Mailing City,St,Zip: LOS ANGELES, CA 900210000  
Gen County: Not reported  
TSD EPA ID: CAD089446710  
TSD County: Not reported  
Waste Category: Halogenated solvents (chloroforms, methyl chloride, perchloroethylene, etc)  
Disposal Method: Not reported  
Tons: .2293  
Facility County: Los Angeles

envid: 1000148255  
Year: 1996  
GEPAID: CAD008252173  
Contact: GOLNICK STANLEY  
Telephone: 0000000000  
Mailing Name: Not reported  
Mailing Address: 787 E 15TH ST  
Mailing City,St,Zip: LOS ANGELES, CA 900210000  
Gen County: Not reported  
TSD EPA ID: CAD089446710  
TSD County: Not reported  
Waste Category: Other organic solids  
Disposal Method: Not reported  
Tons: .2500  
Facility County: Los Angeles

**EMI:**

Year: 1987  
County Code: 19  
Air Basin: SC  
Facility ID: 16475  
Air District Name: SC  
SIC Code: 3471  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 7  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1990  
County Code: 19  
Air Basin: SC  
Facility ID: 16475  
Air District Name: SC  
SIC Code: 3471  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Total Organic Hydrocarbon Gases Tons/Yr: 12  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smllr Tons/Yr: 0

**ENVIROSTOR:**

Facility ID: 19340770  
Status: Certified O&M - Land Use Restrictions Only  
Status Date: 08/23/2013  
Site Code: 300638  
Site Type: Voluntary Cleanup  
Site Type Detailed: Voluntary Cleanup  
Acres: 0.63  
NPL: NO  
Regulatory Agencies: DTSC  
Lead Agency: DTSC  
Program Manager: Poonam Acharya  
Supervisor: Emad Yemut  
Division Branch: Southern California Schools & Brownfields Outreach  
Assembly: 53  
Senate: 30  
Special Program: Voluntary Cleanup Program  
Restricted Use: YES  
Site Mgmt Req: DAY, HOS, LUC, NDEV, NSUB, SCH, RES  
Funding: Responsible Party  
Latitude: 34.02945  
Longitude: -118.2526  
APN: 5132-026-038, 5132026038  
Past Use: METAL PLATING - CHROME, METAL PLATING - OTHER  
Potential COC: Benzene Total Chromium (1:6 ratio Cr VI:Cr III Lead  
Tetrachloroethylene (PCE Cadmium and compounds Cyanide (free  
Ethylbenzene Nickel Toluene 1,2,4-Trimethylbenzene Xylenes  
Confirmed COC: Toluene 1,2,4-Trimethylbenzene Tetrachloroethylene (PCE Cadmium and  
compounds Cyanide (free Ethylbenzene Nickel Benzene Total Chromium  
(1:6 ratio Cr VI:Cr III Lead Xylenes  
Potential Description: SOIL  
Alias Name: ALAN BAILEY  
Alias Type: Alternate Name  
Alias Name: ASSOCIATED PLATING  
Alias Type: Alternate Name  
Alias Name: EVERGREEN INVESTMENTS  
Alias Type: Alternate Name  
Alias Name: ROYAL PLATING  
Alias Type: Alternate Name  
Alias Name: 5132-026-038  
Alias Type: APN  
Alias Name: 5132026038  
Alias Type: APN  
Alias Name: 110033607103  
Alias Type: EPA (FRS #)  
Alias Name: 300638  
Alias Type: Project Code (Site Code)  
Alias Name: 19340770  
Alias Type: Envirostor ID Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 10/07/2008  
Comments: Annual Deed Restriction Inspection completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 10/12/2009  
Comments: LUC inspection completed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 05/23/2011  
Comments: LUC inspection for FY 2010-2011 completed and site is in compliance with LUC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 07/03/2012  
Comments: Inspection completed for the 2011/2012 fiscal year. No violation of LUC was observed.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 10/18/2012  
Comments: Inspection Checklist sent to DTSC by owner. No violations of the LUR exist. Follow up inspection to be completed next fiscal year (2013-2014) along with 5 year Review.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction  
Completed Date: 03/20/2001  
Comments: Deed Restriction entered.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 01/02/1997  
Comments: DTSC and Alan Bailey, the property owner executed a Voluntary Cleanup Agreement for a Preliminary Endangerment Assessment for the site property.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 07/18/2006  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ROYAL PLATING CO (Continued)**

**1000148255**

Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 11/03/1997  
Comments: On November 3, 1997, DTSC approved a Preliminary Endangerment Assessment Equivalent. DTSC determined that "No Further Action" is necessary with respect to hazardous substances in the soil. However, a deed restriction limiting site use to commercial/ industrial was required.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

Count: 4 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
LOS ANGELES	S114458558	BUSINESS SERVICE CENTER GARAGE	604 15TH ST E	90015	LUST
LOS ANGELES	S110493956	JEWELRY DESIGN CENTER	404 W. 7TH STREET #221	90014	ENVIROSTOR
LOS ANGELES	S114458556	WEST LAWN-LA CENTRAL LIBRARY	524 FLOWER ST S	90071	LUST
LOS ANGELES	S117351965	VACAN LOT/CTMC LLC	2455 WASHINGTON BLVD E	90021	LUST

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Number of Days to Update:** Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

#### NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 03/26/2015	Source: EPA
Date Data Arrived at EDR: 04/08/2015	Telephone: N/A
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/09/2015
Number of Days to Update: 75	Next Scheduled EDR Contact: 10/19/2015
	Data Release Frequency: Quarterly

#### NPL Site Boundaries

##### Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 7  
Telephone: 913-551-7247

EPA Region 4  
Telephone 404-562-8033

EPA Region 8  
Telephone: 303-312-6774

EPA Region 5  
Telephone 312-886-6686

EPA Region 9  
Telephone: 415-947-4246

EPA Region 10  
Telephone 206-553-8665

#### Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 03/26/2015	Source: EPA
Date Data Arrived at EDR: 04/08/2015	Telephone: N/A
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/09/2015
Number of Days to Update: 75	Next Scheduled EDR Contact: 10/19/2015
	Data Release Frequency: Quarterly

#### NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal Delisted NPL site list***

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 03/26/2015	Source: EPA
Date Data Arrived at EDR: 04/08/2015	Telephone: N/A
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/09/2015
Number of Days to Update: 75	Next Scheduled EDR Contact: 10/19/2015
	Data Release Frequency: Quarterly

## ***Federal CERCLIS list***

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 11/11/2013	Telephone: 703-412-9810
Date Made Active in Reports: 02/13/2014	Last EDR Contact: 05/29/2015
Number of Days to Update: 94	Next Scheduled EDR Contact: 09/07/2015
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 03/26/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/08/2015	Telephone: 703-603-8704
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 07/10/2015
Number of Days to Update: 64	Next Scheduled EDR Contact: 10/19/2015
	Data Release Frequency: Varies

## ***Federal CERCLIS NFRAP site List***

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 11/11/2013	Telephone: 703-412-9810
Date Made Active in Reports: 02/13/2014	Last EDR Contact: 05/29/2015
Number of Days to Update: 94	Next Scheduled EDR Contact: 09/07/2015
	Data Release Frequency: Quarterly

## ***Federal RCRA CORRACTS facilities list***

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/10/2015  
Date Data Arrived at EDR: 03/31/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 72

Source: EPA  
Telephone: 800-424-9346  
Last EDR Contact: 06/26/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Quarterly

## ***Federal RCRA non-CORRACTS TSD facilities list***

### **RCRA-TSDF: RCRA - Treatment, Storage and Disposal**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/10/2015  
Date Data Arrived at EDR: 03/31/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 72

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 06/26/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Quarterly

## ***Federal RCRA generators list***

### **RCRA-LQG: RCRA - Large Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/10/2015  
Date Data Arrived at EDR: 03/31/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 72

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 06/26/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Quarterly

### **RCRA-SQG: RCRA - Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/10/2015  
Date Data Arrived at EDR: 03/31/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 72

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 06/26/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Quarterly

### **RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/10/2015  
Date Data Arrived at EDR: 03/31/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 72

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 06/26/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal institutional controls / engineering controls registries***

### US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 03/16/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/17/2015	Telephone: 703-603-0695
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 06/01/2015
Number of Days to Update: 77	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Varies

### US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 03/16/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/17/2015	Telephone: 703-603-0695
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 06/01/2015
Number of Days to Update: 77	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Varies

### LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/28/2015	Source: Department of the Navy
Date Data Arrived at EDR: 05/29/2015	Telephone: 843-820-7326
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 05/18/2015
Number of Days to Update: 13	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Varies

## ***Federal ERNS list***

### ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 03/30/2015	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 03/31/2015	Telephone: 202-267-2180
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 06/26/2015
Number of Days to Update: 63	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Annually

## ***State- and tribal - equivalent NPL***

### RESPONSE: State Response Sites

Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

Date of Government Version: 05/04/2015	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 05/05/2015	Telephone: 916-323-3400
Date Made Active in Reports: 05/14/2015	Last EDR Contact: 08/04/2015
Number of Days to Update: 9	Next Scheduled EDR Contact: 11/16/2015
	Data Release Frequency: Quarterly

## ***State- and tribal - equivalent CERCLIS***

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ENVIROSTOR: EnviroStor Database

The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

Date of Government Version: 05/04/2015	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 05/05/2015	Telephone: 916-323-3400
Date Made Active in Reports: 05/14/2015	Last EDR Contact: 08/04/2015
Number of Days to Update: 9	Next Scheduled EDR Contact: 11/16/2015
	Data Release Frequency: Quarterly

## **State and tribal landfill and/or solid waste disposal site lists**

### SWF/LF (SWIS): Solid Waste Information System

Active, Closed and Inactive Landfills. SWF/LF records typically contain an inventory of solid waste disposal facilities or landfills. These may be active or inactive facilities or open dumps that failed to meet RCRA Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 05/18/2015	Source: Department of Resources Recycling and Recovery
Date Data Arrived at EDR: 05/20/2015	Telephone: 916-341-6320
Date Made Active in Reports: 06/05/2015	Last EDR Contact: 05/20/2015
Number of Days to Update: 16	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Quarterly

## **State and tribal leaking storage tank lists**

### LUST REG 6V: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Inyo, Kern, Los Angeles, Mono, San Bernardino counties.

Date of Government Version: 06/07/2005	Source: California Regional Water Quality Control Board Victorville Branch Office (6)
Date Data Arrived at EDR: 06/07/2005	Telephone: 760-241-7365
Date Made Active in Reports: 06/29/2005	Last EDR Contact: 09/12/2011
Number of Days to Update: 22	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

### LUST REG 7: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Imperial, Riverside, San Diego, Santa Barbara counties.

Date of Government Version: 02/26/2004	Source: California Regional Water Quality Control Board Colorado River Basin Region (7)
Date Data Arrived at EDR: 02/26/2004	Telephone: 760-776-8943
Date Made Active in Reports: 03/24/2004	Last EDR Contact: 08/01/2011
Number of Days to Update: 27	Next Scheduled EDR Contact: 11/14/2011
	Data Release Frequency: No Update Planned

### LUST REG 5: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Alameda, Alpine, Amador, Butte, Colusa, Contra Costa, Calveras, El Dorado, Fresno, Glenn, Kern, Kings, Lake, Lassen, Madera, Mariposa, Merced, Modoc, Napa, Nevada, Placer, Plumas, Sacramento, San Joaquin, Shasta, Solano, Stanislaus, Sutter, Tehama, Tulare, Tuolumne, Yolo, Yuba counties.

Date of Government Version: 07/01/2008	Source: California Regional Water Quality Control Board Central Valley Region (5)
Date Data Arrived at EDR: 07/22/2008	Telephone: 916-464-4834
Date Made Active in Reports: 07/31/2008	Last EDR Contact: 07/01/2011
Number of Days to Update: 9	Next Scheduled EDR Contact: 10/17/2011
	Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## LUST REG 9: Leaking Underground Storage Tank Report

Orange, Riverside, San Diego counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 03/01/2001	Source: California Regional Water Quality Control Board San Diego Region (9)
Date Data Arrived at EDR: 04/23/2001	Telephone: 858-637-5595
Date Made Active in Reports: 05/21/2001	Last EDR Contact: 09/26/2011
Number of Days to Update: 28	Next Scheduled EDR Contact: 01/09/2012
	Data Release Frequency: No Update Planned

## LUST: Geotracker's Leaking Underground Fuel Tank Report

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state. For more information on a particular leaking underground storage tank sites, please contact the appropriate regulatory agency.

Date of Government Version: 06/15/2015	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/17/2015	Telephone: see region list
Date Made Active in Reports: 07/14/2015	Last EDR Contact: 06/17/2015
Number of Days to Update: 27	Next Scheduled EDR Contact: 09/28/2015
	Data Release Frequency: Quarterly

## LUST REG 1: Active Toxic Site Investigation

Del Norte, Humboldt, Lake, Mendocino, Modoc, Siskiyou, Sonoma, Trinity counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/01/2001	Source: California Regional Water Quality Control Board North Coast (1)
Date Data Arrived at EDR: 02/28/2001	Telephone: 707-570-3769
Date Made Active in Reports: 03/29/2001	Last EDR Contact: 08/01/2011
Number of Days to Update: 29	Next Scheduled EDR Contact: 11/14/2011
	Data Release Frequency: No Update Planned

## LUST REG 2: Fuel Leak List

Leaking Underground Storage Tank locations. Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, Santa Clara, Solano, Sonoma counties.

Date of Government Version: 09/30/2004	Source: California Regional Water Quality Control Board San Francisco Bay Region (2)
Date Data Arrived at EDR: 10/20/2004	Telephone: 510-622-2433
Date Made Active in Reports: 11/19/2004	Last EDR Contact: 09/19/2011
Number of Days to Update: 30	Next Scheduled EDR Contact: 01/02/2012
	Data Release Frequency: Quarterly

## LUST REG 3: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Monterey, San Benito, San Luis Obispo, Santa Barbara, Santa Cruz counties.

Date of Government Version: 05/19/2003	Source: California Regional Water Quality Control Board Central Coast Region (3)
Date Data Arrived at EDR: 05/19/2003	Telephone: 805-542-4786
Date Made Active in Reports: 06/02/2003	Last EDR Contact: 07/18/2011
Number of Days to Update: 14	Next Scheduled EDR Contact: 10/31/2011
	Data Release Frequency: No Update Planned

## LUST REG 6L: Leaking Underground Storage Tank Case Listing

For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/09/2003	Source: California Regional Water Quality Control Board Lahontan Region (6)
Date Data Arrived at EDR: 09/10/2003	Telephone: 530-542-5572
Date Made Active in Reports: 10/07/2003	Last EDR Contact: 09/12/2011
Number of Days to Update: 27	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## LUST REG 8: Leaking Underground Storage Tanks

California Regional Water Quality Control Board Santa Ana Region (8). For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/14/2005  
Date Data Arrived at EDR: 02/15/2005  
Date Made Active in Reports: 03/28/2005  
Number of Days to Update: 41

Source: California Regional Water Quality Control Board Santa Ana Region (8)  
Telephone: 909-782-4496  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: Varies

## LUST REG 4: Underground Storage Tank Leak List

Los Angeles, Ventura counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/07/2004  
Date Data Arrived at EDR: 09/07/2004  
Date Made Active in Reports: 10/12/2004  
Number of Days to Update: 35

Source: California Regional Water Quality Control Board Los Angeles Region (4)  
Telephone: 213-576-6710  
Last EDR Contact: 09/06/2011  
Next Scheduled EDR Contact: 12/19/2011  
Data Release Frequency: No Update Planned

## SLIC: Statewide SLIC Cases

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 06/15/2015  
Date Data Arrived at EDR: 06/17/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 27

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 06/17/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Varies

## SLIC REG 1: Active Toxic Site Investigations

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2003  
Date Data Arrived at EDR: 04/07/2003  
Date Made Active in Reports: 04/25/2003  
Number of Days to Update: 18

Source: California Regional Water Quality Control Board, North Coast Region (1)  
Telephone: 707-576-2220  
Last EDR Contact: 08/01/2011  
Next Scheduled EDR Contact: 11/14/2011  
Data Release Frequency: No Update Planned

## SLIC REG 2: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/30/2004  
Date Data Arrived at EDR: 10/20/2004  
Date Made Active in Reports: 11/19/2004  
Number of Days to Update: 30

Source: Regional Water Quality Control Board San Francisco Bay Region (2)  
Telephone: 510-286-0457  
Last EDR Contact: 09/19/2011  
Next Scheduled EDR Contact: 01/02/2012  
Data Release Frequency: Quarterly

## SLIC REG 3: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/18/2006  
Date Data Arrived at EDR: 05/18/2006  
Date Made Active in Reports: 06/15/2006  
Number of Days to Update: 28

Source: California Regional Water Quality Control Board Central Coast Region (3)  
Telephone: 805-549-3147  
Last EDR Contact: 07/18/2011  
Next Scheduled EDR Contact: 10/31/2011  
Data Release Frequency: Semi-Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SLIC REG 4: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/17/2004  
Date Data Arrived at EDR: 11/18/2004  
Date Made Active in Reports: 01/04/2005  
Number of Days to Update: 47

Source: Region Water Quality Control Board Los Angeles Region (4)  
Telephone: 213-576-6600  
Last EDR Contact: 07/01/2011  
Next Scheduled EDR Contact: 10/17/2011  
Data Release Frequency: Varies

## SLIC REG 5: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/01/2005  
Date Data Arrived at EDR: 04/05/2005  
Date Made Active in Reports: 04/21/2005  
Number of Days to Update: 16

Source: Regional Water Quality Control Board Central Valley Region (5)  
Telephone: 916-464-3291  
Last EDR Contact: 09/12/2011  
Next Scheduled EDR Contact: 12/26/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 6V: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/24/2005  
Date Data Arrived at EDR: 05/25/2005  
Date Made Active in Reports: 06/16/2005  
Number of Days to Update: 22

Source: Regional Water Quality Control Board, Victorville Branch  
Telephone: 619-241-6583  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 6L: SLIC Sites

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/07/2004  
Date Data Arrived at EDR: 09/07/2004  
Date Made Active in Reports: 10/12/2004  
Number of Days to Update: 35

Source: California Regional Water Quality Control Board, Lahontan Region  
Telephone: 530-542-5574  
Last EDR Contact: 08/15/2011  
Next Scheduled EDR Contact: 11/28/2011  
Data Release Frequency: No Update Planned

## SLIC REG 7: SLIC List

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/24/2004  
Date Data Arrived at EDR: 11/29/2004  
Date Made Active in Reports: 01/04/2005  
Number of Days to Update: 36

Source: California Regional Quality Control Board, Colorado River Basin Region  
Telephone: 760-346-7491  
Last EDR Contact: 08/01/2011  
Next Scheduled EDR Contact: 11/14/2011  
Data Release Frequency: No Update Planned

## SLIC REG 8: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2008  
Date Data Arrived at EDR: 04/03/2008  
Date Made Active in Reports: 04/14/2008  
Number of Days to Update: 11

Source: California Region Water Quality Control Board Santa Ana Region (8)  
Telephone: 951-782-3298  
Last EDR Contact: 09/12/2011  
Next Scheduled EDR Contact: 12/26/2011  
Data Release Frequency: Semi-Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SLIC REG 9: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/10/2007	Source: California Regional Water Quality Control Board San Diego Region (9)
Date Data Arrived at EDR: 09/11/2007	Telephone: 858-467-2980
Date Made Active in Reports: 09/28/2007	Last EDR Contact: 08/08/2011
Number of Days to Update: 17	Next Scheduled EDR Contact: 11/21/2011
	Data Release Frequency: Annually

## INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 03/17/2015	Source: EPA Region 6
Date Data Arrived at EDR: 05/01/2015	Telephone: 214-665-6597
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 52	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 09/30/2014	Source: EPA Region 4
Date Data Arrived at EDR: 03/03/2015	Telephone: 404-562-8677
Date Made Active in Reports: 03/13/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 10	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Semi-Annually

## INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 02/03/2015	Source: EPA Region 1
Date Data Arrived at EDR: 04/30/2015	Telephone: 617-918-1313
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/31/2015
Number of Days to Update: 53	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 04/30/2015	Source: EPA Region 8
Date Data Arrived at EDR: 05/05/2015	Telephone: 303-312-6271
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 48	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

## INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 01/08/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/08/2015	Telephone: 415-972-3372
Date Made Active in Reports: 02/09/2015	Last EDR Contact: 07/31/2015
Number of Days to Update: 32	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

## INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 02/03/2015	Source: EPA Region 10
Date Data Arrived at EDR: 02/12/2015	Telephone: 206-553-2857
Date Made Active in Reports: 03/13/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 29	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/30/2015	Source: EPA, Region 5
Date Data Arrived at EDR: 05/29/2015	Telephone: 312-886-7439
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 24	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 03/30/2015	Source: EPA Region 7
Date Data Arrived at EDR: 04/28/2015	Telephone: 913-551-7003
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 55	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

### **State and tribal registered storage tank lists**

#### UST: Active UST Facilities

Active UST facilities gathered from the local regulatory agencies

Date of Government Version: 06/15/2015	Source: SWRCB
Date Data Arrived at EDR: 06/17/2015	Telephone: 916-341-5851
Date Made Active in Reports: 07/06/2015	Last EDR Contact: 06/17/2015
Number of Days to Update: 19	Next Scheduled EDR Contact: 09/28/2015
	Data Release Frequency: Semi-Annually

#### AST: Aboveground Petroleum Storage Tank Facilities

A listing of aboveground storage tank petroleum storage tank locations.

Date of Government Version: 08/01/2009	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 09/10/2009	Telephone: 916-327-5092
Date Made Active in Reports: 10/01/2009	Last EDR Contact: 07/13/2015
Number of Days to Update: 21	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Quarterly

## INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 02/03/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 04/30/2015	Telephone: 617-918-1313
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/31/2015
Number of Days to Update: 53	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 09/30/2014	Source: EPA Region 4
Date Data Arrived at EDR: 03/03/2015	Telephone: 404-562-9424
Date Made Active in Reports: 03/13/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 10	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Semi-Annually



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/30/2015	Source: EPA Region 5
Date Data Arrived at EDR: 05/26/2015	Telephone: 312-886-6136
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 27	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 03/17/2015	Source: EPA Region 6
Date Data Arrived at EDR: 05/01/2015	Telephone: 214-665-7591
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 52	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Semi-Annually

## INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 09/23/2014	Source: EPA Region 7
Date Data Arrived at EDR: 11/25/2014	Telephone: 913-551-7003
Date Made Active in Reports: 01/29/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 65	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 04/30/2015	Source: EPA Region 8
Date Data Arrived at EDR: 05/05/2015	Telephone: 303-312-6137
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 48	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

## INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 12/14/2014	Source: EPA Region 9
Date Data Arrived at EDR: 02/13/2015	Telephone: 415-972-3368
Date Made Active in Reports: 03/13/2015	Last EDR Contact: 07/31/2015
Number of Days to Update: 28	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

## INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 05/06/2015	Source: EPA Region 10
Date Data Arrived at EDR: 05/19/2015	Telephone: 206-553-2857
Date Made Active in Reports: 06/22/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 34	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010	Source: FEMA
Date Data Arrived at EDR: 02/16/2010	Telephone: 202-646-5797
Date Made Active in Reports: 04/12/2010	Last EDR Contact: 07/10/2015
Number of Days to Update: 55	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Varies

## **State and tribal voluntary cleanup sites**

### INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 04/20/2009
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: Varies

### INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 09/29/2014	Source: EPA, Region 1
Date Data Arrived at EDR: 10/01/2014	Telephone: 617-918-1102
Date Made Active in Reports: 11/06/2014	Last EDR Contact: 06/26/2015
Number of Days to Update: 36	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Varies

### VCP: Voluntary Cleanup Program Properties

Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

Date of Government Version: 05/04/2015	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 05/05/2015	Telephone: 916-323-3400
Date Made Active in Reports: 05/14/2015	Last EDR Contact: 08/04/2015
Number of Days to Update: 9	Next Scheduled EDR Contact: 11/16/2015
	Data Release Frequency: Quarterly

## **ADDITIONAL ENVIRONMENTAL RECORDS**

### **Local Brownfield lists**

#### US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 03/23/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/24/2015	Telephone: 202-566-2777
Date Made Active in Reports: 06/02/2015	Last EDR Contact: 06/24/2015
Number of Days to Update: 70	Next Scheduled EDR Contact: 10/05/2015
	Data Release Frequency: Semi-Annually

### **Local Lists of Landfill / Solid Waste Disposal Sites**

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009  
Date Data Arrived at EDR: 05/07/2009  
Date Made Active in Reports: 09/21/2009  
Number of Days to Update: 137

Source: EPA, Region 9  
Telephone: 415-947-4219  
Last EDR Contact: 07/22/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: No Update Planned

## ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985  
Date Data Arrived at EDR: 08/09/2004  
Date Made Active in Reports: 09/17/2004  
Number of Days to Update: 39

Source: Environmental Protection Agency  
Telephone: 800-424-9346  
Last EDR Contact: 06/09/2004  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## SWRCY: Recycler Database

A listing of recycling facilities in California.

Date of Government Version: 06/15/2015  
Date Data Arrived at EDR: 06/17/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 47

Source: Department of Conservation  
Telephone: 916-323-3836  
Last EDR Contact: 06/17/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Quarterly

## HAULERS: Registered Waste Tire Haulers Listing

A listing of registered waste tire haulers.

Date of Government Version: 05/26/2015  
Date Data Arrived at EDR: 05/28/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 8

Source: Integrated Waste Management Board  
Telephone: 916-341-6422  
Last EDR Contact: 05/18/2015  
Next Scheduled EDR Contact: 08/31/2015  
Data Release Frequency: Varies

## INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998  
Date Data Arrived at EDR: 12/03/2007  
Date Made Active in Reports: 01/24/2008  
Number of Days to Update: 52

Source: Environmental Protection Agency  
Telephone: 703-308-8245  
Last EDR Contact: 05/01/2015  
Next Scheduled EDR Contact: 08/17/2015  
Data Release Frequency: Varies

## WMUDS/SWAT: Waste Management Unit Database

Waste Management Unit Database System. WMUDS is used by the State Water Resources Control Board staff and the Regional Water Quality Control Boards for program tracking and inventory of waste management units. WMUDS is composed of the following databases: Facility Information, Scheduled Inspections Information, Waste Management Unit Information, SWAT Program Information, SWAT Report Summary Information, SWAT Report Summary Data, Chapter 15 (formerly Subchapter 15) Information, Chapter 15 Monitoring Parameters, TPCA Program Information, RCRA Program Information, Closure Information, and Interested Parties Information.

Date of Government Version: 04/01/2000  
Date Data Arrived at EDR: 04/10/2000  
Date Made Active in Reports: 05/10/2000  
Number of Days to Update: 30

Source: State Water Resources Control Board  
Telephone: 916-227-4448  
Last EDR Contact: 08/04/2015  
Next Scheduled EDR Contact: 11/23/2015  
Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## **Local Lists of Hazardous waste / Contaminated Sites**

### **US CDL: Clandestine Drug Labs**

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 02/25/2015	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 03/10/2015	Telephone: 202-307-1000
Date Made Active in Reports: 03/25/2015	Last EDR Contact: 05/29/2015
Number of Days to Update: 15	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Quarterly

### **HIST CAL-SITES: Calsites Database**

The Calsites database contains potential or confirmed hazardous substance release properties. In 1996, California EPA reevaluated and significantly reduced the number of sites in the Calsites database. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

Date of Government Version: 08/08/2005	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 08/03/2006	Telephone: 916-323-3400
Date Made Active in Reports: 08/24/2006	Last EDR Contact: 02/23/2009
Number of Days to Update: 21	Next Scheduled EDR Contact: 05/25/2009
	Data Release Frequency: No Update Planned

### **SCH: School Property Evaluation Program**

This category contains proposed and existing school sites that are being evaluated by DTSC for possible hazardous materials contamination. In some cases, these properties may be listed in the CalSites category depending on the level of threat to public health and safety or the environment they pose.

Date of Government Version: 05/04/2015	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 05/05/2015	Telephone: 916-323-3400
Date Made Active in Reports: 05/14/2015	Last EDR Contact: 08/04/2015
Number of Days to Update: 9	Next Scheduled EDR Contact: 11/16/2015
	Data Release Frequency: Quarterly

### **TOXIC PITS: Toxic Pits Cleanup Act Sites**

Toxic PITS Cleanup Act Sites. TOXIC PITS identifies sites suspected of containing hazardous substances where cleanup has not yet been completed.

Date of Government Version: 07/01/1995	Source: State Water Resources Control Board
Date Data Arrived at EDR: 08/30/1995	Telephone: 916-227-4364
Date Made Active in Reports: 09/26/1995	Last EDR Contact: 01/26/2009
Number of Days to Update: 27	Next Scheduled EDR Contact: 04/27/2009
	Data Release Frequency: No Update Planned

### **CDL: Clandestine Drug Labs**

A listing of drug lab locations. Listing of a location in this database does not indicate that any illegal drug lab materials were or were not present there, and does not constitute a determination that the location either requires or does not require additional cleanup work.

Date of Government Version: 12/31/2014	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 03/10/2015	Telephone: 916-255-6504
Date Made Active in Reports: 03/18/2015	Last EDR Contact: 07/13/2015
Number of Days to Update: 8	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 02/25/2015	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 03/10/2015	Telephone: 202-307-1000
Date Made Active in Reports: 03/25/2015	Last EDR Contact: 05/29/2015
Number of Days to Update: 15	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: No Update Planned

## **Local Lists of Registered Storage Tanks**

### CA FID UST: Facility Inventory Database

The Facility Inventory Database (FID) contains a historical listing of active and inactive underground storage tank locations from the State Water Resource Control Board. Refer to local/county source for current data.

Date of Government Version: 10/31/1994	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 09/05/1995	Telephone: 916-341-5851
Date Made Active in Reports: 09/29/1995	Last EDR Contact: 12/28/1998
Number of Days to Update: 24	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

### UST MENDOCINO: Mendocino County UST Database

A listing of underground storage tank locations in Mendocino County.

Date of Government Version: 09/23/2009	Source: Department of Public Health
Date Data Arrived at EDR: 09/23/2009	Telephone: 707-463-4466
Date Made Active in Reports: 10/01/2009	Last EDR Contact: 06/01/2015
Number of Days to Update: 8	Next Scheduled EDR Contact: 09/14/2015
	Data Release Frequency: Annually

### HIST UST: Hazardous Substance Storage Container Database

The Hazardous Substance Storage Container Database is a historical listing of UST sites. Refer to local/county source for current data.

Date of Government Version: 10/15/1990	Source: State Water Resources Control Board
Date Data Arrived at EDR: 01/25/1991	Telephone: 916-341-5851
Date Made Active in Reports: 02/12/1991	Last EDR Contact: 07/26/2001
Number of Days to Update: 18	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

### SWEEPS UST: SWEEPS UST Listing

Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

Date of Government Version: 06/01/1994	Source: State Water Resources Control Board
Date Data Arrived at EDR: 07/07/2005	Telephone: N/A
Date Made Active in Reports: 08/11/2005	Last EDR Contact: 06/03/2005
Number of Days to Update: 35	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## **Local Land Records**

### LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 02/18/2014  
Date Data Arrived at EDR: 03/18/2014  
Date Made Active in Reports: 04/24/2014  
Number of Days to Update: 37

Source: Environmental Protection Agency  
Telephone: 202-564-6023  
Last EDR Contact: 07/22/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

## LIENS: Environmental Liens Listing

A listing of property locations with environmental liens for California where DTSC is a lien holder.

Date of Government Version: 06/11/2015  
Date Data Arrived at EDR: 06/16/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 28

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 06/05/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Varies

## DEED: Deed Restriction Listing

Site Mitigation and Brownfields Reuse Program Facility Sites with Deed Restrictions & Hazardous Waste Management Program Facility Sites with Deed / Land Use Restriction. The DTSC Site Mitigation and Brownfields Reuse Program (SMBRP) list includes sites cleaned up under the program's oversight and generally does not include current or former hazardous waste facilities that required a hazardous waste facility permit. The list represents deed restrictions that are active. Some sites have multiple deed restrictions. The DTSC Hazardous Waste Management Program (HWMP) has developed a list of current or former hazardous waste facilities that have a recorded land use restriction at the local county recorder's office. The land use restrictions on this list were required by the DTSC HWMP as a result of the presence of hazardous substances that remain on site after the facility (or part of the facility) has been closed or cleaned up. The types of land use restriction include deed notice, deed restriction, or a land use restriction that binds current and future owners.

Date of Government Version: 06/08/2015  
Date Data Arrived at EDR: 06/09/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 35

Source: DTSC and SWRCB  
Telephone: 916-323-3400  
Last EDR Contact: 06/09/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Semi-Annually

## **Records of Emergency Release Reports**

### HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/30/2015  
Date Data Arrived at EDR: 03/31/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 72

Source: U.S. Department of Transportation  
Telephone: 202-366-4555  
Last EDR Contact: 06/26/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Annually

### CHMIRS: California Hazardous Material Incident Report System

California Hazardous Material Incident Reporting System. CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).

Date of Government Version: 06/15/2015  
Date Data Arrived at EDR: 07/28/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 6

Source: Office of Emergency Services  
Telephone: 916-845-8400  
Last EDR Contact: 07/28/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

### LDS: Land Disposal Sites Listing

The Land Disposal program regulates of waste discharge to land for treatment, storage and disposal in waste management units.

Date of Government Version: 06/15/2015  
Date Data Arrived at EDR: 06/17/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 27

Source: State Water Quality Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 06/17/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## MCS: Military Cleanup Sites Listing

The State Water Resources Control Board and nine Regional Water Quality Control Boards partner with the Department of Defense (DoD) through the Defense and State Memorandum of Agreement (DSMOA) to oversee the investigation and remediation of water quality issues at military facilities.

Date of Government Version: 06/15/2015	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/17/2015	Telephone: 866-480-1028
Date Made Active in Reports: 07/14/2015	Last EDR Contact: 06/17/2015
Number of Days to Update: 27	Next Scheduled EDR Contact: 09/28/2015
	Data Release Frequency: Quarterly

## SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 06/06/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 02/22/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 50	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## **Other Ascertainable Records**

### RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 03/10/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/31/2015	Telephone: (415) 495-8895
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 06/26/2015
Number of Days to Update: 72	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Varies

### DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/31/2012	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 08/07/2012	Telephone: 202-366-4595
Date Made Active in Reports: 09/18/2012	Last EDR Contact: 08/04/2015
Number of Days to Update: 42	Next Scheduled EDR Contact: 11/16/2015
	Data Release Frequency: Varies

### DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 11/10/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 07/14/2015
Number of Days to Update: 62	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Semi-Annually

### FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/06/2014  
Date Data Arrived at EDR: 09/10/2014  
Date Made Active in Reports: 09/18/2014  
Number of Days to Update: 8

Source: U.S. Army Corps of Engineers  
Telephone: 202-528-4285  
Last EDR Contact: 07/08/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Varies

## CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/31/2014  
Date Data Arrived at EDR: 04/17/2015  
Date Made Active in Reports: 06/02/2015  
Number of Days to Update: 46

Source: Department of Justice, Consent Decree Library  
Telephone: Varies  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Varies

## ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 11/25/2013  
Date Data Arrived at EDR: 12/12/2013  
Date Made Active in Reports: 02/24/2014  
Number of Days to Update: 74

Source: EPA  
Telephone: 703-416-0223  
Last EDR Contact: 06/12/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Annually

## UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010  
Date Data Arrived at EDR: 10/07/2011  
Date Made Active in Reports: 03/01/2012  
Number of Days to Update: 146

Source: Department of Energy  
Telephone: 505-845-0011  
Last EDR Contact: 05/26/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 12/30/2014  
Date Data Arrived at EDR: 12/31/2014  
Date Made Active in Reports: 01/29/2015  
Number of Days to Update: 29

Source: Department of Labor, Mine Safety and Health Administration  
Telephone: 303-231-5959  
Last EDR Contact: 06/03/2015  
Next Scheduled EDR Contact: 09/14/2015  
Data Release Frequency: Semi-Annually

## TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2013  
Date Data Arrived at EDR: 02/12/2015  
Date Made Active in Reports: 06/02/2015  
Number of Days to Update: 110

Source: EPA  
Telephone: 202-566-0250  
Last EDR Contact: 01/29/2015  
Next Scheduled EDR Contact: 06/08/2015  
Data Release Frequency: Annually

## TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2012  
Date Data Arrived at EDR: 01/15/2015  
Date Made Active in Reports: 01/29/2015  
Number of Days to Update: 14

Source: EPA  
Telephone: 202-260-5521  
Last EDR Contact: 06/25/2015  
Next Scheduled EDR Contact: 10/05/2015  
Data Release Frequency: Every 4 Years

**FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**  
FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009  
Date Data Arrived at EDR: 04/16/2009  
Date Made Active in Reports: 05/11/2009  
Number of Days to Update: 25

Source: EPA/Office of Prevention, Pesticides and Toxic Substances  
Telephone: 202-566-1667  
Last EDR Contact: 05/20/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Quarterly

**FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**  
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009  
Date Data Arrived at EDR: 04/16/2009  
Date Made Active in Reports: 05/11/2009  
Number of Days to Update: 25

Source: EPA  
Telephone: 202-566-1667  
Last EDR Contact: 05/20/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Quarterly

**HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing**

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006  
Date Data Arrived at EDR: 03/01/2007  
Date Made Active in Reports: 04/10/2007  
Number of Days to Update: 40

Source: Environmental Protection Agency  
Telephone: 202-564-2501  
Last EDR Contact: 12/17/2007  
Next Scheduled EDR Contact: 03/17/2008  
Data Release Frequency: No Update Planned

**HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing**

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006  
Date Data Arrived at EDR: 03/01/2007  
Date Made Active in Reports: 04/10/2007  
Number of Days to Update: 40

Source: Environmental Protection Agency  
Telephone: 202-564-2501  
Last EDR Contact: 12/17/2008  
Next Scheduled EDR Contact: 03/17/2008  
Data Release Frequency: No Update Planned

**SSTS: Section 7 Tracking Systems**

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2009  
Date Data Arrived at EDR: 12/10/2010  
Date Made Active in Reports: 02/25/2011  
Number of Days to Update: 77

Source: EPA  
Telephone: 202-564-4203  
Last EDR Contact: 07/22/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Annually

## ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 01/23/2015  
Date Data Arrived at EDR: 02/06/2015  
Date Made Active in Reports: 03/09/2015  
Number of Days to Update: 31

Source: Environmental Protection Agency  
Telephone: 202-564-5088  
Last EDR Contact: 07/09/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: Quarterly

## PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 07/01/2014  
Date Data Arrived at EDR: 10/15/2014  
Date Made Active in Reports: 11/17/2014  
Number of Days to Update: 33

Source: EPA  
Telephone: 202-566-0500  
Last EDR Contact: 07/17/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: Annually

## MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/31/2015  
Date Data Arrived at EDR: 04/09/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 63

Source: Nuclear Regulatory Commission  
Telephone: 301-415-7169  
Last EDR Contact: 06/04/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Quarterly

## RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 04/07/2015  
Date Data Arrived at EDR: 04/09/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 63

Source: Environmental Protection Agency  
Telephone: 202-343-9775  
Last EDR Contact: 07/09/2015  
Next Scheduled EDR Contact: 10/19/2015  
Data Release Frequency: Quarterly

## FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 01/18/2015  
Date Data Arrived at EDR: 02/27/2015  
Date Made Active in Reports: 03/25/2015  
Number of Days to Update: 26

Source: EPA  
Telephone: (415) 947-8000  
Last EDR Contact: 06/10/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

## RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 02/01/2015	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/13/2015	Telephone: 202-564-8600
Date Made Active in Reports: 03/25/2015	Last EDR Contact: 07/22/2015
Number of Days to Update: 40	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2011	Source: EPA/NTIS
Date Data Arrived at EDR: 02/26/2013	Telephone: 800-424-9346
Date Made Active in Reports: 04/19/2013	Last EDR Contact: 05/29/2015
Number of Days to Update: 52	Next Scheduled EDR Contact: 09/07/2015
	Data Release Frequency: Biennially

## CA BOND EXP. PLAN: Bond Expenditure Plan

Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds. It is not updated.

Date of Government Version: 01/01/1989	Source: Department of Health Services
Date Data Arrived at EDR: 07/27/1994	Telephone: 916-255-2118
Date Made Active in Reports: 08/02/1994	Last EDR Contact: 05/31/1994
Number of Days to Update: 6	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## NPDES: NPDES Permits Listing

A listing of NPDES permits, including stormwater.

Date of Government Version: 05/18/2015	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/20/2015	Telephone: 916-445-9379
Date Made Active in Reports: 06/11/2015	Last EDR Contact: 05/20/2015
Number of Days to Update: 22	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## UIC: UIC Listing

A listing of wells identified as underground injection wells, in the California Oil and Gas Wells database.

Date of Government Version: 11/19/2014	Source: Department of Conservation
Date Data Arrived at EDR: 12/15/2014	Telephone: 916-445-2408
Date Made Active in Reports: 01/29/2015	Last EDR Contact: 06/19/2015
Number of Days to Update: 45	Next Scheduled EDR Contact: 09/28/2015
	Data Release Frequency: Varies

## CORTESE: "Cortese" Hazardous Waste & Substances Sites List

The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites).

Date of Government Version: 06/24/2015	Source: CAL EPA/Office of Emergency Information
Date Data Arrived at EDR: 06/26/2015	Telephone: 916-323-3400
Date Made Active in Reports: 07/14/2015	Last EDR Contact: 06/26/2015
Number of Days to Update: 18	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Quarterly

## HIST CORTESE: Hazardous Waste & Substance Site List

The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CAL SITES]. This listing is no longer updated by the state agency.

Date of Government Version: 04/01/2001	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/22/2009	Telephone: 916-323-3400
Date Made Active in Reports: 04/08/2009	Last EDR Contact: 01/22/2009
Number of Days to Update: 76	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## NOTIFY 65: Proposition 65 Records

Listings of all Proposition 65 incidents reported to counties by the State Water Resources Control Board and the Regional Water Quality Control Board. This database is no longer updated by the reporting agency.

Date of Government Version: 10/21/1993	Source: State Water Resources Control Board
Date Data Arrived at EDR: 11/01/1993	Telephone: 916-445-3846
Date Made Active in Reports: 11/19/1993	Last EDR Contact: 06/17/2015
Number of Days to Update: 18	Next Scheduled EDR Contact: 10/05/2015
	Data Release Frequency: No Update Planned

## DRYCLEANERS: Cleaner Facilities

A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaner's agents; linen supply; coin-operated laundries and cleaning; drycleaning plants, except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

Date of Government Version: 02/18/2015	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 02/20/2015	Telephone: 916-327-4498
Date Made Active in Reports: 03/12/2015	Last EDR Contact: 07/31/2015
Number of Days to Update: 20	Next Scheduled EDR Contact: 09/21/2015
	Data Release Frequency: Annually

## WIP: Well Investigation Program Case List

Well Investigation Program case in the San Gabriel and San Fernando Valley area.

Date of Government Version: 07/03/2009	Source: Los Angeles Water Quality Control Board
Date Data Arrived at EDR: 07/21/2009	Telephone: 213-576-6726
Date Made Active in Reports: 08/03/2009	Last EDR Contact: 06/22/2015
Number of Days to Update: 13	Next Scheduled EDR Contact: 10/12/2015
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ENF: Enforcement Action Listing

A listing of Water Board Enforcement Actions. Formal is everything except Oral/Verbal Communication, Notice of Violation, Expedited Payment Letter, and Staff Enforcement Letter.

Date of Government Version: 04/30/2015	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/01/2015	Telephone: 916-445-9379
Date Made Active in Reports: 05/13/2015	Last EDR Contact: 07/24/2015
Number of Days to Update: 12	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Varies

## HAZNET: Facility and Manifest Data

Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method. This database begins with calendar year 1993.

Date of Government Version: 12/31/2013	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 10/15/2014	Telephone: 916-255-1136
Date Made Active in Reports: 11/19/2014	Last EDR Contact: 07/17/2015
Number of Days to Update: 35	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Annually

## EMI: Emissions Inventory Data

Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies.

Date of Government Version: 12/31/2012	Source: California Air Resources Board
Date Data Arrived at EDR: 03/25/2014	Telephone: 916-322-2990
Date Made Active in Reports: 04/28/2014	Last EDR Contact: 06/25/2015
Number of Days to Update: 34	Next Scheduled EDR Contact: 10/05/2015
	Data Release Frequency: Varies

## INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 12/08/2006	Telephone: 202-208-3710
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 07/14/2015
Number of Days to Update: 34	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Semi-Annually

## SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2011	Telephone: 615-532-8599
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 05/21/2015
Number of Days to Update: 54	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Varies

## MWMP: Medical Waste Management Program Listing

The Medical Waste Management Program (MWMP) ensures the proper handling and disposal of medical waste by permitting and inspecting medical waste Offsite Treatment Facilities (PDF) and Transfer Stations (PDF) throughout the state. MWMP also oversees all Medical Waste Transporters.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/07/2015  
Date Data Arrived at EDR: 06/09/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 35

Source: Department of Public Health  
Telephone: 916-558-1784  
Last EDR Contact: 06/09/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Varies

## COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 07/01/2014  
Date Data Arrived at EDR: 09/10/2014  
Date Made Active in Reports: 10/20/2014  
Number of Days to Update: 40

Source: Environmental Protection Agency  
Telephone: N/A  
Last EDR Contact: 06/12/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Varies

## HWT: Registered Hazardous Waste Transporter Database

A listing of hazardous waste transporters. In California, unless specifically exempted, it is unlawful for any person to transport hazardous wastes unless the person holds a valid registration issued by DTSC. A hazardous waste transporter registration is valid for one year and is assigned a unique registration number.

Date of Government Version: 07/13/2015  
Date Data Arrived at EDR: 07/14/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 20

Source: Department of Toxic Substances Control  
Telephone: 916-440-7145  
Last EDR Contact: 07/14/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: Quarterly

## HWP: EnviroStor Permitted Facilities Listing

Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

Date of Government Version: 05/26/2015  
Date Data Arrived at EDR: 05/28/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 8

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 05/28/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Quarterly

## Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 05/18/2015  
Date Data Arrived at EDR: 05/22/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 14

Source: California Integrated Waste Management Board  
Telephone: 916-341-6066  
Last EDR Contact: 05/18/2015  
Next Scheduled EDR Contact: 08/31/2015  
Data Release Frequency: Varies

## Financial Assurance 1: Financial Assurance Information Listing

Financial Assurance information

Date of Government Version: 04/30/2015  
Date Data Arrived at EDR: 05/01/2015  
Date Made Active in Reports: 05/13/2015  
Number of Days to Update: 12

Source: Department of Toxic Substances Control  
Telephone: 916-255-3628  
Last EDR Contact: 07/24/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

## PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011  
Date Data Arrived at EDR: 10/19/2011  
Date Made Active in Reports: 01/10/2012  
Number of Days to Update: 83

Source: Environmental Protection Agency  
Telephone: 202-566-0517  
Last EDR Contact: 07/31/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### PROC: Certified Processors Database

A listing of certified processors.

Date of Government Version: 06/15/2015  
Date Data Arrived at EDR: 06/17/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 27

Source: Department of Conservation  
Telephone: 916-323-3836  
Last EDR Contact: 06/17/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Quarterly

### EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013  
Date Data Arrived at EDR: 03/21/2014  
Date Made Active in Reports: 06/17/2014  
Number of Days to Update: 88

Source: Environmental Protection Agency  
Telephone: 617-520-3000  
Last EDR Contact: 08/04/2015  
Next Scheduled EDR Contact: 11/23/2015  
Data Release Frequency: Quarterly

### US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/09/2015  
Date Data Arrived at EDR: 03/10/2015  
Date Made Active in Reports: 03/25/2015  
Number of Days to Update: 15

Source: Environmental Protection Agency  
Telephone: 202-566-1917  
Last EDR Contact: 05/14/2015  
Next Scheduled EDR Contact: 08/31/2015  
Data Release Frequency: Quarterly

### PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 10/25/2013  
Date Data Arrived at EDR: 10/17/2014  
Date Made Active in Reports: 10/20/2014  
Number of Days to Update: 3

Source: EPA  
Telephone: 202-564-6023  
Last EDR Contact: 05/14/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

### 2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 04/22/2013  
Date Data Arrived at EDR: 03/03/2015  
Date Made Active in Reports: 03/09/2015  
Number of Days to Update: 6

Source: Environmental Protection Agency  
Telephone: 703-308-4044  
Last EDR Contact: 05/14/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Varies

### LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/25/2014  
Date Data Arrived at EDR: 11/26/2014  
Date Made Active in Reports: 01/29/2015  
Number of Days to Update: 64

Source: Environmental Protection Agency  
Telephone: 703-603-8787  
Last EDR Contact: 07/07/2015  
Next Scheduled EDR Contact: 10/19/2015  
Data Release Frequency: Varies

## LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001  
Date Data Arrived at EDR: 10/27/2010  
Date Made Active in Reports: 12/02/2010  
Number of Days to Update: 36

Source: American Journal of Public Health  
Telephone: 703-305-6451  
Last EDR Contact: 12/02/2009  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/16/2014  
Date Data Arrived at EDR: 10/31/2014  
Date Made Active in Reports: 11/17/2014  
Number of Days to Update: 17

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/22/2015  
Data Release Frequency: Annually

## WDS: Waste Discharge System

Sites which have been issued waste discharge requirements.

Date of Government Version: 06/19/2007  
Date Data Arrived at EDR: 06/20/2007  
Date Made Active in Reports: 06/29/2007  
Number of Days to Update: 9

Source: State Water Resources Control Board  
Telephone: 916-341-5227  
Last EDR Contact: 05/20/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Quarterly

## US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/16/2014  
Date Data Arrived at EDR: 10/31/2014  
Date Made Active in Reports: 11/17/2014  
Number of Days to Update: 17

Source: EPA  
Telephone: 202-564-2496  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/05/2015  
Data Release Frequency: Annually

## FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 02/06/2006  
Date Made Active in Reports: 01/11/2007  
Number of Days to Update: 339

Source: U.S. Geological Survey  
Telephone: 888-275-8747  
Last EDR Contact: 07/14/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: N/A



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005

Date Data Arrived at EDR: 08/07/2009

Date Made Active in Reports: 10/22/2009

Number of Days to Update: 76

Source: Department of Energy

Telephone: 202-586-8719

Last EDR Contact: 07/13/2015

Next Scheduled EDR Contact: 10/28/2015

Data Release Frequency: Varies

## EDR HIGH RISK HISTORICAL RECORDS

### *EDR Exclusive Records*

#### EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A

Date Data Arrived at EDR: N/A

Date Made Active in Reports: N/A

Number of Days to Update: N/A

Source: EDR, Inc.

Telephone: N/A

Last EDR Contact: N/A

Next Scheduled EDR Contact: N/A

Data Release Frequency: No Update Planned

#### EDR US Hist Auto Stat: EDR Exclusive Historic Gas Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A

Date Data Arrived at EDR: N/A

Date Made Active in Reports: N/A

Number of Days to Update: N/A

Source: EDR, Inc.

Telephone: N/A

Last EDR Contact: N/A

Next Scheduled EDR Contact: N/A

Data Release Frequency: Varies

#### EDR US Hist Cleaners: EDR Exclusive Historic Dry Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A

Date Data Arrived at EDR: N/A

Date Made Active in Reports: N/A

Number of Days to Update: N/A

Source: EDR, Inc.

Telephone: N/A

Last EDR Contact: N/A

Next Scheduled EDR Contact: N/A

Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## EDR RECOVERED GOVERNMENT ARCHIVES

### *Exclusive Recovered Govt. Archives*

#### RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Resources Recycling and Recovery in California.

Date of Government Version: N/A	Source: Department of Resources Recycling and Recovery
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/13/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 196	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

#### RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the State Water Resources Control Board in California.

Date of Government Version: N/A	Source: State Water Resources Control Board
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/30/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 182	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

## COUNTY RECORDS

### ALAMEDA COUNTY:

#### Contaminated Sites

A listing of contaminated sites overseen by the Toxic Release Program (oil and groundwater contamination from chemical releases and spills) and the Leaking Underground Storage Tank Program (soil and ground water contamination from leaking petroleum USTs).

Date of Government Version: 01/21/2015	Source: Alameda County Environmental Health Services
Date Data Arrived at EDR: 01/28/2015	Telephone: 510-567-6700
Date Made Active in Reports: 02/26/2015	Last EDR Contact: 08/10/2015
Number of Days to Update: 29	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Semi-Annually

#### Underground Tanks

Underground storage tank sites located in Alameda county.

Date of Government Version: 07/21/2015	Source: Alameda County Environmental Health Services
Date Data Arrived at EDR: 07/22/2015	Telephone: 510-567-6700
Date Made Active in Reports: 08/03/2015	Last EDR Contact: 07/13/2015
Number of Days to Update: 12	Next Scheduled EDR Contact: 10/28/2015
	Data Release Frequency: Semi-Annually

### AMADOR COUNTY:

#### CUPA Facility List

Cupa Facility List

Date of Government Version: 06/05/2015	Source: Amador County Environmental Health
Date Data Arrived at EDR: 06/09/2015	Telephone: 209-223-6439
Date Made Active in Reports: 07/10/2015	Last EDR Contact: 06/05/2015
Number of Days to Update: 31	Next Scheduled EDR Contact: 09/21/2015
	Data Release Frequency: Varies

### BUTTE COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA Facility Listing

Cupa facility list.

Date of Government Version: 11/20/2014  
Date Data Arrived at EDR: 11/24/2014  
Date Made Active in Reports: 01/07/2015  
Number of Days to Update: 44

Source: Public Health Department  
Telephone: 530-538-7149  
Last EDR Contact: 07/13/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: No Update Planned

## CALVERAS COUNTY:

### CUPA Facility Listing

Cupa Facility Listing

Date of Government Version: 07/15/2015  
Date Data Arrived at EDR: 07/17/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 17

Source: Calveras County Environmental Health  
Telephone: 209-754-6399  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Quarterly

## COLUSA COUNTY:

### CUPA Facility List

Cupa facility list.

Date of Government Version: 06/11/2014  
Date Data Arrived at EDR: 06/13/2014  
Date Made Active in Reports: 07/07/2014  
Number of Days to Update: 24

Source: Health & Human Services  
Telephone: 530-458-0396  
Last EDR Contact: 06/12/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Varies

## CONTRA COSTA COUNTY:

### Site List

List includes sites from the underground tank, hazardous waste generator and business plan/2185 programs.

Date of Government Version: 05/26/2015  
Date Data Arrived at EDR: 05/29/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 13

Source: Contra Costa Health Services Department  
Telephone: 925-646-2286  
Last EDR Contact: 08/03/2015  
Next Scheduled EDR Contact: 11/16/2015  
Data Release Frequency: Semi-Annually

## DEL NORTE COUNTY:

### CUPA Facility List

Cupa Facility list

Date of Government Version: 05/19/2015  
Date Data Arrived at EDR: 05/22/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 14

Source: Del Norte County Environmental Health Division  
Telephone: 707-465-0426  
Last EDR Contact: 07/31/2015  
Next Scheduled EDR Contact: 11/16/2015  
Data Release Frequency: Varies

## EL DORADO COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA Facility List

CUPA facility list.

Date of Government Version: 05/26/2015  
Date Data Arrived at EDR: 05/29/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 7

Source: El Dorado County Environmental Management Department  
Telephone: 530-621-6623  
Last EDR Contact: 08/03/2015  
Next Scheduled EDR Contact: 11/16/2015  
Data Release Frequency: Varies

## FRESNO COUNTY:

### CUPA Resources List

Certified Unified Program Agency. CUPA's are responsible for implementing a unified hazardous materials and hazardous waste management regulatory program. The agency provides oversight of businesses that deal with hazardous materials, operate underground storage tanks or aboveground storage tanks.

Date of Government Version: 07/13/2015  
Date Data Arrived at EDR: 07/14/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 20

Source: Dept. of Community Health  
Telephone: 559-445-3271  
Last EDR Contact: 07/06/2015  
Next Scheduled EDR Contact: 10/19/2015  
Data Release Frequency: Semi-Annually

## HUMBOLDT COUNTY:

### CUPA Facility List

CUPA facility list.

Date of Government Version: 03/11/2015  
Date Data Arrived at EDR: 03/13/2015  
Date Made Active in Reports: 03/24/2015  
Number of Days to Update: 11

Source: Humboldt County Environmental Health  
Telephone: N/A  
Last EDR Contact: 07/14/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## IMPERIAL COUNTY:

### CUPA Facility List

Cupa facility list.

Date of Government Version: 04/27/2015  
Date Data Arrived at EDR: 04/28/2015  
Date Made Active in Reports: 05/13/2015  
Number of Days to Update: 15

Source: San Diego Border Field Office  
Telephone: 760-339-2777  
Last EDR Contact: 07/24/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

## INYO COUNTY:

### CUPA Facility List

Cupa facility list.

Date of Government Version: 09/10/2013  
Date Data Arrived at EDR: 09/11/2013  
Date Made Active in Reports: 10/14/2013  
Number of Days to Update: 33

Source: Inyo County Environmental Health Services  
Telephone: 760-878-0238  
Last EDR Contact: 05/21/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## KERN COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Underground Storage Tank Sites & Tank Listing Kern County Sites and Tanks Listing.

Date of Government Version: 05/19/2015  
Date Data Arrived at EDR: 06/18/2015  
Date Made Active in Reports: 07/22/2015  
Number of Days to Update: 34

Source: Kern County Environment Health Services Department  
Telephone: 661-862-8700  
Last EDR Contact: 06/12/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

## KINGS COUNTY:

### CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

Date of Government Version: 05/26/2015  
Date Data Arrived at EDR: 05/28/2015  
Date Made Active in Reports: 06/15/2015  
Number of Days to Update: 18

Source: Kings County Department of Public Health  
Telephone: 559-584-1411  
Last EDR Contact: 05/21/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## LAKE COUNTY:

### CUPA Facility List

Cupa facility list

Date of Government Version: 05/05/2015  
Date Data Arrived at EDR: 05/07/2015  
Date Made Active in Reports: 05/20/2015  
Number of Days to Update: 13

Source: Lake County Environmental Health  
Telephone: 707-263-1164  
Last EDR Contact: 07/20/2015  
Next Scheduled EDR Contact: 11/02/2015  
Data Release Frequency: Varies

## LOS ANGELES COUNTY:

### San Gabriel Valley Areas of Concern

San Gabriel Valley areas where VOC contamination is at or above the MCL as designated by region 9 EPA office.

Date of Government Version: 03/30/2009  
Date Data Arrived at EDR: 03/31/2009  
Date Made Active in Reports: 10/23/2009  
Number of Days to Update: 206

Source: EPA Region 9  
Telephone: 415-972-3178  
Last EDR Contact: 06/17/2015  
Next Scheduled EDR Contact: 10/05/2015  
Data Release Frequency: No Update Planned

### HMS: Street Number List

Industrial Waste and Underground Storage Tank Sites.

Date of Government Version: 11/24/2014  
Date Data Arrived at EDR: 01/30/2015  
Date Made Active in Reports: 03/04/2015  
Number of Days to Update: 33

Source: Department of Public Works  
Telephone: 626-458-3517  
Last EDR Contact: 07/10/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: Semi-Annually

### List of Solid Waste Facilities

Solid Waste Facilities in Los Angeles County.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/20/2015  
Date Data Arrived at EDR: 07/21/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 13

Source: La County Department of Public Works  
Telephone: 818-458-5185  
Last EDR Contact: 07/21/2015  
Next Scheduled EDR Contact: 11/02/2015  
Data Release Frequency: Varies

## City of Los Angeles Landfills

Landfills owned and maintained by the City of Los Angeles.

Date of Government Version: 03/05/2009  
Date Data Arrived at EDR: 03/10/2009  
Date Made Active in Reports: 04/08/2009  
Number of Days to Update: 29

Source: Engineering & Construction Division  
Telephone: 213-473-7869  
Last EDR Contact: 07/20/2015  
Next Scheduled EDR Contact: 11/02/2015  
Data Release Frequency: Varies

## Site Mitigation List

Industrial sites that have had some sort of spill or complaint.

Date of Government Version: 01/15/2015  
Date Data Arrived at EDR: 01/29/2015  
Date Made Active in Reports: 03/10/2015  
Number of Days to Update: 40

Source: Community Health Services  
Telephone: 323-890-7806  
Last EDR Contact: 07/15/2015  
Next Scheduled EDR Contact: 11/02/2015  
Data Release Frequency: Annually

## City of El Segundo Underground Storage Tank

Underground storage tank sites located in El Segundo city.

Date of Government Version: 03/30/2015  
Date Data Arrived at EDR: 04/02/2015  
Date Made Active in Reports: 04/13/2015  
Number of Days to Update: 11

Source: City of El Segundo Fire Department  
Telephone: 310-524-2236  
Last EDR Contact: 07/17/2015  
Next Scheduled EDR Contact: 11/02/2015  
Data Release Frequency: Semi-Annually

## City of Long Beach Underground Storage Tank

Underground storage tank sites located in the city of Long Beach.

Date of Government Version: 03/03/2015  
Date Data Arrived at EDR: 05/26/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 16

Source: City of Long Beach Fire Department  
Telephone: 562-570-2563  
Last EDR Contact: 07/27/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Annually

## City of Torrance Underground Storage Tank

Underground storage tank sites located in the city of Torrance.

Date of Government Version: 06/03/2015  
Date Data Arrived at EDR: 06/04/2015  
Date Made Active in Reports: 07/06/2015  
Number of Days to Update: 32

Source: City of Torrance Fire Department  
Telephone: 310-618-2973  
Last EDR Contact: 06/04/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: Semi-Annually

## MADERA COUNTY:

### CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/28/2015  
Date Data Arrived at EDR: 05/29/2015  
Date Made Active in Reports: 06/15/2015  
Number of Days to Update: 17

Source: Madera County Environmental Health  
Telephone: 559-675-7823  
Last EDR Contact: 05/22/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## MARIN COUNTY:

### Underground Storage Tank Sites

Currently permitted USTs in Marin County.

Date of Government Version: 10/08/2014  
Date Data Arrived at EDR: 10/22/2014  
Date Made Active in Reports: 12/15/2014  
Number of Days to Update: 54

Source: Public Works Department Waste Management  
Telephone: 415-499-6647  
Last EDR Contact: 07/06/2015  
Next Scheduled EDR Contact: 10/19/2015  
Data Release Frequency: Semi-Annually

## MERCED COUNTY:

### CUPA Facility List

CUPA facility list.

Date of Government Version: 05/22/2015  
Date Data Arrived at EDR: 05/26/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 10

Source: Merced County Environmental Health  
Telephone: 209-381-1094  
Last EDR Contact: 05/22/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## MONO COUNTY:

### CUPA Facility List

CUPA Facility List

Date of Government Version: 06/01/2015  
Date Data Arrived at EDR: 06/03/2015  
Date Made Active in Reports: 07/06/2015  
Number of Days to Update: 33

Source: Mono County Health Department  
Telephone: 760-932-5580  
Last EDR Contact: 06/01/2015  
Next Scheduled EDR Contact: 09/14/2015  
Data Release Frequency: Varies

## MONTEREY COUNTY:

### CUPA Facility Listing

CUPA Program listing from the Environmental Health Division.

Date of Government Version: 06/30/2015  
Date Data Arrived at EDR: 07/07/2015  
Date Made Active in Reports: 07/16/2015  
Number of Days to Update: 9

Source: Monterey County Health Department  
Telephone: 831-796-1297  
Last EDR Contact: 05/26/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## NAPA COUNTY:

### Sites With Reported Contamination

A listing of leaking underground storage tank sites located in Napa county.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/05/2011  
Date Data Arrived at EDR: 12/06/2011  
Date Made Active in Reports: 02/07/2012  
Number of Days to Update: 63

Source: Napa County Department of Environmental Management  
Telephone: 707-253-4269  
Last EDR Contact: 06/01/2015  
Next Scheduled EDR Contact: 09/14/2015  
Data Release Frequency: No Update Planned

## Closed and Operating Underground Storage Tank Sites

Underground storage tank sites located in Napa county.

Date of Government Version: 01/15/2008  
Date Data Arrived at EDR: 01/16/2008  
Date Made Active in Reports: 02/08/2008  
Number of Days to Update: 23

Source: Napa County Department of Environmental Management  
Telephone: 707-253-4269  
Last EDR Contact: 06/01/2015  
Next Scheduled EDR Contact: 09/14/2015  
Data Release Frequency: No Update Planned

## NEVADA COUNTY:

### CUPA Facility List

CUPA facility list.

Date of Government Version: 06/03/2015  
Date Data Arrived at EDR: 06/04/2015  
Date Made Active in Reports: 07/22/2015  
Number of Days to Update: 48

Source: Community Development Agency  
Telephone: 530-265-1467  
Last EDR Contact: 07/31/2015  
Next Scheduled EDR Contact: 11/16/2015  
Data Release Frequency: Varies

## ORANGE COUNTY:

### List of Industrial Site Cleanups

Petroleum and non-petroleum spills.

Date of Government Version: 05/01/2015  
Date Data Arrived at EDR: 05/12/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 24

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 05/06/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Annually

### List of Underground Storage Tank Cleanups

Orange County Underground Storage Tank Cleanups (LUST).

Date of Government Version: 05/01/2015  
Date Data Arrived at EDR: 05/12/2015  
Date Made Active in Reports: 06/08/2015  
Number of Days to Update: 27

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 05/06/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

### List of Underground Storage Tank Facilities

Orange County Underground Storage Tank Facilities (UST).

Date of Government Version: 05/01/2015  
Date Data Arrived at EDR: 05/12/2015  
Date Made Active in Reports: 06/11/2015  
Number of Days to Update: 30

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 05/12/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

## PLACER COUNTY:



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Master List of Facilities

List includes aboveground tanks, underground tanks and cleanup sites.

Date of Government Version: 03/10/2015  
Date Data Arrived at EDR: 03/12/2015  
Date Made Active in Reports: 03/18/2015  
Number of Days to Update: 6

Source: Placer County Health and Human Services  
Telephone: 530-745-2363  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Semi-Annually

## RIVERSIDE COUNTY:

### Listing of Underground Tank Cleanup Sites

Riverside County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 07/15/2015  
Date Data Arrived at EDR: 07/17/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 17

Source: Department of Environmental Health  
Telephone: 951-358-5055  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/05/2015  
Data Release Frequency: Quarterly

### Underground Storage Tank Tank List

Underground storage tank sites located in Riverside county.

Date of Government Version: 07/15/2015  
Date Data Arrived at EDR: 07/17/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 17

Source: Department of Environmental Health  
Telephone: 951-358-5055  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/05/2015  
Data Release Frequency: Quarterly

## SACRAMENTO COUNTY:

### Toxic Site Clean-Up List

List of sites where unauthorized releases of potentially hazardous materials have occurred.

Date of Government Version: 05/07/2015  
Date Data Arrived at EDR: 07/24/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 10

Source: Sacramento County Environmental Management  
Telephone: 916-875-8406  
Last EDR Contact: 07/22/2015  
Next Scheduled EDR Contact: 10/19/2015  
Data Release Frequency: Quarterly

### Master Hazardous Materials Facility List

Any business that has hazardous materials on site - hazardous material storage sites, underground storage tanks, waste generators.

Date of Government Version: 05/07/2015  
Date Data Arrived at EDR: 07/27/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 7

Source: Sacramento County Environmental Management  
Telephone: 916-875-8406  
Last EDR Contact: 07/22/2015  
Next Scheduled EDR Contact: 10/19/2015  
Data Release Frequency: Quarterly

## SAN BERNARDINO COUNTY:

### Hazardous Material Permits

This listing includes underground storage tanks, medical waste handlers/generators, hazardous materials handlers, hazardous waste generators, and waste oil generators/handlers.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/30/2015  
Date Data Arrived at EDR: 07/07/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 7

Source: San Bernardino County Fire Department Hazardous Materials Division  
Telephone: 909-387-3041  
Last EDR Contact: 05/12/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

## SAN DIEGO COUNTY:

### Hazardous Materials Management Division Database

The database includes: HE58 - This report contains the business name, site address, business phone number, establishment 'H' permit number, type of permit, and the business status. HE17 - In addition to providing the same information provided in the HE58 listing, HE17 provides inspection dates, violations received by the establishment, hazardous waste generated, the quantity, method of storage, treatment/disposal of waste and the hauler, and information on underground storage tanks. Unauthorized Release List - Includes a summary of environmental contamination cases in San Diego County (underground tank cases, non-tank cases, groundwater contamination, and soil contamination are included.)

Date of Government Version: 09/23/2013  
Date Data Arrived at EDR: 09/24/2013  
Date Made Active in Reports: 10/17/2013  
Number of Days to Update: 23

Source: Hazardous Materials Management Division  
Telephone: 619-338-2268  
Last EDR Contact: 06/05/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Quarterly

### Solid Waste Facilities

San Diego County Solid Waste Facilities.

Date of Government Version: 10/31/2014  
Date Data Arrived at EDR: 11/21/2014  
Date Made Active in Reports: 12/29/2014  
Number of Days to Update: 38

Source: Department of Health Services  
Telephone: 619-338-2209  
Last EDR Contact: 07/22/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

### Environmental Case Listing

The listing contains all underground tank release cases and projects pertaining to properties contaminated with hazardous substances that are actively under review by the Site Assessment and Mitigation Program.

Date of Government Version: 03/23/2010  
Date Data Arrived at EDR: 06/15/2010  
Date Made Active in Reports: 07/09/2010  
Number of Days to Update: 24

Source: San Diego County Department of Environmental Health  
Telephone: 619-338-2371  
Last EDR Contact: 06/03/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: No Update Planned

## SAN FRANCISCO COUNTY:

### Local Oversight Facilities

A listing of leaking underground storage tank sites located in San Francisco county.

Date of Government Version: 09/19/2008  
Date Data Arrived at EDR: 09/19/2008  
Date Made Active in Reports: 09/29/2008  
Number of Days to Update: 10

Source: Department Of Public Health San Francisco County  
Telephone: 415-252-3920  
Last EDR Contact: 05/06/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

### Underground Storage Tank Information

Underground storage tank sites located in San Francisco county.

Date of Government Version: 11/29/2010  
Date Data Arrived at EDR: 03/10/2011  
Date Made Active in Reports: 03/15/2011  
Number of Days to Update: 5

Source: Department of Public Health  
Telephone: 415-252-3920  
Last EDR Contact: 05/06/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Quarterly

## SAN JOAQUIN COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## San Joaquin Co. UST

A listing of underground storage tank locations in San Joaquin county.

Date of Government Version: 06/22/2015  
Date Data Arrived at EDR: 06/26/2015  
Date Made Active in Reports: 07/06/2015  
Number of Days to Update: 10

Source: Environmental Health Department  
Telephone: N/A  
Last EDR Contact: 06/17/2015  
Next Scheduled EDR Contact: 10/05/2015  
Data Release Frequency: Semi-Annually

## SAN LUIS OBISPO COUNTY:

### CUPA Facility List

Cupa Facility List.

Date of Government Version: 05/22/2015  
Date Data Arrived at EDR: 05/26/2015  
Date Made Active in Reports: 06/10/2015  
Number of Days to Update: 15

Source: San Luis Obispo County Public Health Department  
Telephone: 805-781-5596  
Last EDR Contact: 05/20/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## SAN MATEO COUNTY:

### Business Inventory

List includes Hazardous Materials Business Plan, hazardous waste generators, and underground storage tanks.

Date of Government Version: 07/20/2015  
Date Data Arrived at EDR: 07/22/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 12

Source: San Mateo County Environmental Health Services Division  
Telephone: 650-363-1921  
Last EDR Contact: 06/15/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Annually

### Fuel Leak List

A listing of leaking underground storage tank sites located in San Mateo county.

Date of Government Version: 06/10/2015  
Date Data Arrived at EDR: 06/16/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 28

Source: San Mateo County Environmental Health Services Division  
Telephone: 650-363-1921  
Last EDR Contact: 06/10/2015  
Next Scheduled EDR Contact: 06/29/2015  
Data Release Frequency: Semi-Annually

## SANTA BARBARA COUNTY:

### CUPA Facility Listing

CUPA Program Listing from the Environmental Health Services division.

Date of Government Version: 09/08/2011  
Date Data Arrived at EDR: 09/09/2011  
Date Made Active in Reports: 10/07/2011  
Number of Days to Update: 28

Source: Santa Barbara County Public Health Department  
Telephone: 805-686-8167  
Last EDR Contact: 05/22/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## SANTA CLARA COUNTY:

### Cupa Facility List

Cupa facility list

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/10/2015  
Date Data Arrived at EDR: 06/16/2015  
Date Made Active in Reports: 07/10/2015  
Number of Days to Update: 24

Source: Department of Environmental Health  
Telephone: 408-918-1973  
Last EDR Contact: 06/05/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## HIST LUST - Fuel Leak Site Activity Report

A listing of open and closed leaking underground storage tanks. This listing is no longer updated by the county. Leaking underground storage tanks are now handled by the Department of Environmental Health.

Date of Government Version: 03/29/2005  
Date Data Arrived at EDR: 03/30/2005  
Date Made Active in Reports: 04/21/2005  
Number of Days to Update: 22

Source: Santa Clara Valley Water District  
Telephone: 408-265-2600  
Last EDR Contact: 03/23/2009  
Next Scheduled EDR Contact: 06/22/2009  
Data Release Frequency: No Update Planned

## LOP Listing

A listing of leaking underground storage tanks located in Santa Clara county.

Date of Government Version: 03/03/2014  
Date Data Arrived at EDR: 03/05/2014  
Date Made Active in Reports: 03/18/2014  
Number of Days to Update: 13

Source: Department of Environmental Health  
Telephone: 408-918-3417  
Last EDR Contact: 06/01/2015  
Next Scheduled EDR Contact: 09/14/2015  
Data Release Frequency: Annually

## Hazardous Material Facilities

Hazardous material facilities, including underground storage tank sites.

Date of Government Version: 05/07/2015  
Date Data Arrived at EDR: 05/12/2015  
Date Made Active in Reports: 06/08/2015  
Number of Days to Update: 27

Source: City of San Jose Fire Department  
Telephone: 408-535-7694  
Last EDR Contact: 05/07/2015  
Next Scheduled EDR Contact: 08/24/2015  
Data Release Frequency: Annually

## SANTA CRUZ COUNTY:

### CUPA Facility List

CUPA facility listing.

Date of Government Version: 05/22/2015  
Date Data Arrived at EDR: 05/26/2015  
Date Made Active in Reports: 06/08/2015  
Number of Days to Update: 13

Source: Santa Cruz County Environmental Health  
Telephone: 831-464-2761  
Last EDR Contact: 05/22/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## SHASTA COUNTY:

### CUPA Facility List

Cupa Facility List.

Date of Government Version: 06/12/2015  
Date Data Arrived at EDR: 06/16/2015  
Date Made Active in Reports: 07/10/2015  
Number of Days to Update: 24

Source: Shasta County Department of Resource Management  
Telephone: 530-225-5789  
Last EDR Contact: 05/26/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Varies

## SOLANO COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Leaking Underground Storage Tanks

A listing of leaking underground storage tank sites located in Solano county.

Date of Government Version: 06/19/2015  
Date Data Arrived at EDR: 06/24/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 20

Source: Solano County Department of Environmental Management  
Telephone: 707-784-6770  
Last EDR Contact: 06/10/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Quarterly

## Underground Storage Tanks

Underground storage tank sites located in Solano county.

Date of Government Version: 06/19/2015  
Date Data Arrived at EDR: 06/30/2015  
Date Made Active in Reports: 07/07/2015  
Number of Days to Update: 7

Source: Solano County Department of Environmental Management  
Telephone: 707-784-6770  
Last EDR Contact: 06/10/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Quarterly

## SONOMA COUNTY:

### Cupa Facility List

Cupa Facility list

Date of Government Version: 06/22/2015  
Date Data Arrived at EDR: 06/26/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 18

Source: County of Sonoma Fire & Emergency Services Department  
Telephone: 707-565-1174  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Varies

## Leaking Underground Storage Tank Sites

A listing of leaking underground storage tank sites located in Sonoma county.

Date of Government Version: 07/01/2015  
Date Data Arrived at EDR: 07/07/2015  
Date Made Active in Reports: 07/14/2015  
Number of Days to Update: 7

Source: Department of Health Services  
Telephone: 707-565-6565  
Last EDR Contact: 06/22/2015  
Next Scheduled EDR Contact: 10/12/2015  
Data Release Frequency: Quarterly

## SUTTER COUNTY:

### Underground Storage Tanks

Underground storage tank sites located in Sutter county.

Date of Government Version: 06/05/2015  
Date Data Arrived at EDR: 06/09/2015  
Date Made Active in Reports: 07/06/2015  
Number of Days to Update: 27

Source: Sutter County Department of Agriculture  
Telephone: 530-822-7500  
Last EDR Contact: 06/05/2015  
Next Scheduled EDR Contact: 09/21/2015  
Data Release Frequency: Semi-Annually

## TUOLUMNE COUNTY:

### CUPA Facility List

Cupa facility list

Date of Government Version: 07/13/2015  
Date Data Arrived at EDR: 07/28/2015  
Date Made Active in Reports: 08/03/2015  
Number of Days to Update: 6

Source: Division of Environmental Health  
Telephone: 209-533-5633  
Last EDR Contact: 07/24/2015  
Next Scheduled EDR Contact: 11/09/2015  
Data Release Frequency: Varies

## VENTURA COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Business Plan, Hazardous Waste Producers, and Operating Underground Tanks

The BWT list indicates by site address whether the Environmental Health Division has Business Plan (B), Waste Producer (W), and/or Underground Tank (T) information.

Date of Government Version: 06/26/2015	Source: Ventura County Environmental Health Division
Date Data Arrived at EDR: 07/17/2015	Telephone: 805-654-2813
Date Made Active in Reports: 08/03/2015	Last EDR Contact: 07/15/2015
Number of Days to Update: 17	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Quarterly

## Inventory of Illegal Abandoned and Inactive Sites

Ventura County Inventory of Closed, Illegal Abandoned, and Inactive Sites.

Date of Government Version: 12/01/2011	Source: Environmental Health Division
Date Data Arrived at EDR: 12/01/2011	Telephone: 805-654-2813
Date Made Active in Reports: 01/19/2012	Last EDR Contact: 06/26/2015
Number of Days to Update: 49	Next Scheduled EDR Contact: 10/19/2015
	Data Release Frequency: Annually

## Listing of Underground Tank Cleanup Sites

Ventura County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 05/29/2008	Source: Environmental Health Division
Date Data Arrived at EDR: 06/24/2008	Telephone: 805-654-2813
Date Made Active in Reports: 07/31/2008	Last EDR Contact: 05/18/2015
Number of Days to Update: 37	Next Scheduled EDR Contact: 08/31/2015
	Data Release Frequency: Quarterly

## Medical Waste Program List

To protect public health and safety and the environment from potential exposure to disease causing agents, the Environmental Health Division Medical Waste Program regulates the generation, handling, storage, treatment and disposal of medical waste throughout the County.

Date of Government Version: 04/27/2015	Source: Ventura County Resource Management Agency
Date Data Arrived at EDR: 04/29/2015	Telephone: 805-654-2813
Date Made Active in Reports: 05/13/2015	Last EDR Contact: 07/27/2015
Number of Days to Update: 14	Next Scheduled EDR Contact: 11/09/2015
	Data Release Frequency: Quarterly

## Underground Tank Closed Sites List

Ventura County Operating Underground Storage Tank Sites (UST)/Underground Tank Closed Sites List.

Date of Government Version: 05/27/2015	Source: Environmental Health Division
Date Data Arrived at EDR: 06/17/2015	Telephone: 805-654-2813
Date Made Active in Reports: 07/06/2015	Last EDR Contact: 06/17/2015
Number of Days to Update: 19	Next Scheduled EDR Contact: 09/28/2015
	Data Release Frequency: Quarterly

## YOLO COUNTY:

### Underground Storage Tank Comprehensive Facility Report

Underground storage tank sites located in Yolo county.

Date of Government Version: 07/08/2015	Source: Yolo County Department of Health
Date Data Arrived at EDR: 07/13/2015	Telephone: 530-666-8646
Date Made Active in Reports: 07/22/2015	Last EDR Contact: 07/06/2015
Number of Days to Update: 9	Next Scheduled EDR Contact: 10/05/2015
	Data Release Frequency: Annually

## YUBA COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CUPA Facility List

CUPA facility listing for Yuba County.

Date of Government Version: 05/18/2015  
Date Data Arrived at EDR: 05/19/2015  
Date Made Active in Reports: 06/05/2015  
Number of Days to Update: 17

Source: Yuba County Environmental Health Department  
Telephone: 530-749-7523  
Last EDR Contact: 07/31/2015  
Next Scheduled EDR Contact: 11/16/2015  
Data Release Frequency: Varies

## OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

### CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 07/30/2013  
Date Data Arrived at EDR: 08/19/2013  
Date Made Active in Reports: 10/03/2013  
Number of Days to Update: 45

Source: Department of Energy & Environmental Protection  
Telephone: 860-424-3375  
Last EDR Contact: 05/18/2015  
Next Scheduled EDR Contact: 08/31/2015  
Data Release Frequency: No Update Planned

### NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2012  
Date Data Arrived at EDR: 04/29/2015  
Date Made Active in Reports: 05/29/2015  
Number of Days to Update: 30

Source: Department of Environmental Protection  
Telephone: N/A  
Last EDR Contact: 07/13/2015  
Next Scheduled EDR Contact: 10/28/2015  
Data Release Frequency: Annually

### NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 05/01/2015  
Date Data Arrived at EDR: 05/06/2015  
Date Made Active in Reports: 05/20/2015  
Number of Days to Update: 14

Source: Department of Environmental Conservation  
Telephone: 518-402-8651  
Last EDR Contact: 05/06/2015  
Next Scheduled EDR Contact: 08/17/2015  
Data Release Frequency: Annually

### PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2013  
Date Data Arrived at EDR: 07/21/2014  
Date Made Active in Reports: 08/25/2014  
Number of Days to Update: 35

Source: Department of Environmental Protection  
Telephone: 717-783-8990  
Last EDR Contact: 07/20/2015  
Next Scheduled EDR Contact: 11/02/2015  
Data Release Frequency: Annually

### RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2013  
Date Data Arrived at EDR: 06/19/2015  
Date Made Active in Reports: 07/15/2015  
Number of Days to Update: 26

Source: Department of Environmental Management  
Telephone: 401-222-2797  
Last EDR Contact: 05/26/2015  
Next Scheduled EDR Contact: 09/07/2015  
Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2014  
Date Data Arrived at EDR: 03/19/2015  
Date Made Active in Reports: 04/07/2015  
Number of Days to Update: 19

Source: Department of Natural Resources  
Telephone: N/A  
Last EDR Contact: 06/11/2015  
Next Scheduled EDR Contact: 09/28/2015  
Data Release Frequency: Annually

## Oil/Gas Pipelines

Source: PennWell Corporation

Telephone: 281-546-1505

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

## Electric Power Transmission Line Data

Source: PennWell Corporation

Telephone: 800-823-6277

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**Sensitive Receptors:** There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

## AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

## Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

## Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

## Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

## Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

## Daycare Centers: Licensed Facilities

Source: Department of Social Services

Telephone: 916-657-4041

**Flood Zone Data:** This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

Current USGS 7.5 Minute Topographic Map  
Source: U.S. Geological Survey

### STREET AND ADDRESS INFORMATION

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## GEOCHECK<sup>®</sup> - PHYSICAL SETTING SOURCE ADDENDUM

### TARGET PROPERTY ADDRESS

1220-1248 S HOPE ST AND 427-441 W PICO BLVD  
1220 SOUTH HOPE STREET  
LOS ANGELES, CA 90015

### TARGET PROPERTY COORDINATES

Latitude (North):	34.0399 - 34° 2' 23.64"
Longitude (West):	118.2648 - 118° 15' 53.28"
Universal Tranverse Mercator:	Zone 11
UTM X (Meters):	383246.9
UTM Y (Meters):	3767106.8
Elevation:	240 ft. above sea level

### USGS TOPOGRAPHIC MAP

Target Property Map:	5630741 HOLLYWOOD, CA
Version Date:	2012
East Map:	5630795 LOS ANGELES, CA
Version Date:	2012

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

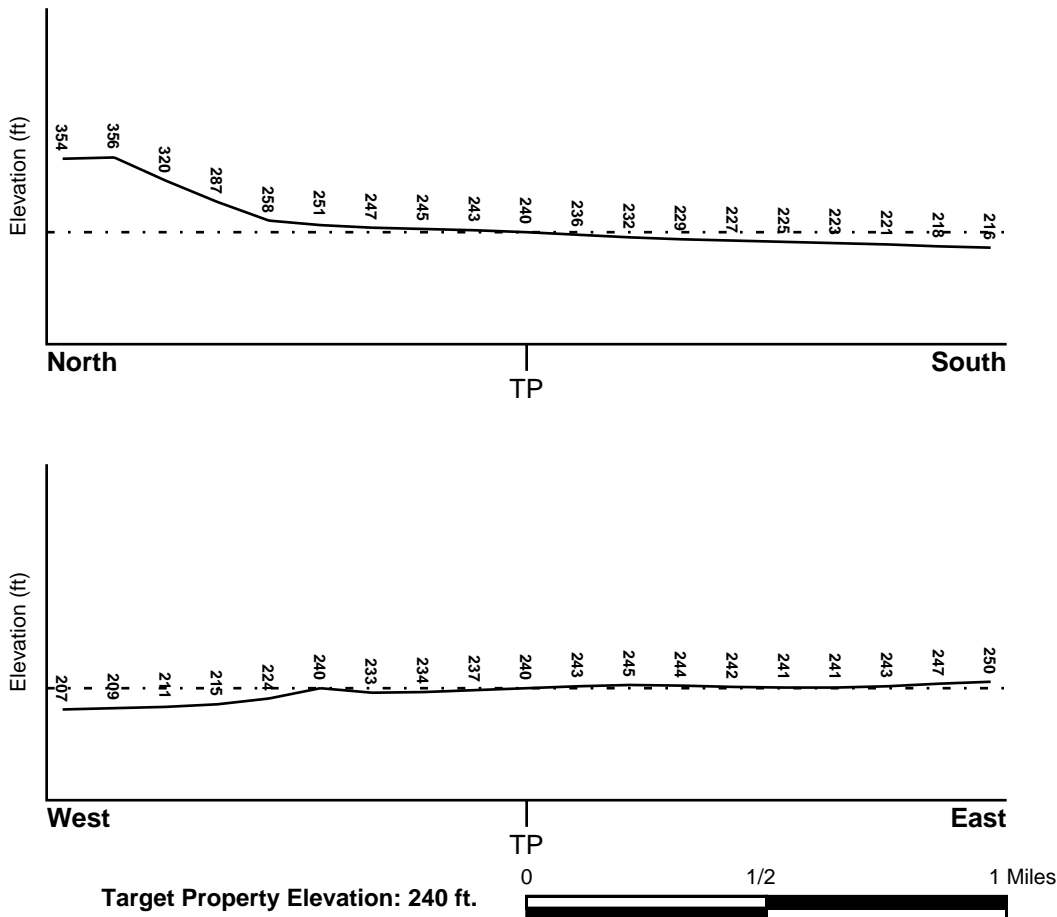
## TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

## TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SW

## SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

## FEMA FLOOD ZONE

<u>Target Property County</u>	FEMA Flood
LOS ANGELES, CA	<u>Electronic Data</u>
	YES - refer to the Overview Map and Detail Map

Flood Plain Panel at Target Property: 06037C - FEMA DFIRM Flood data

Additional Panels in search area: Not Reported

## NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	NWI Electronic
HOLLYWOOD	<u>Data Coverage</u>
	YES - refer to the Overview Map and Detail Map

## HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

### *Site-Specific Hydrogeological Data\*:*

Search Radius:	1.25 miles
Location Relative to TP:	1/2 - 1 Mile ENE
Site Name:	SO CALIF RAPID TRANSIT DISTRICT
Site EPA ID Number:	CAD981989841
Groundwater Flow Direction:	GENERALLY SE.
Measured Depth to Water:	approximately 37 feet.
Hydraulic Connection:	The uppermost aquifer at the site is the Gaspar aquifer. The Gaspar aquifer is hydraulically connected to underlying aquifers.
Sole Source Aquifer:	No information about a sole source aquifer is available
Data Quality:	Information is inferred in the CERCLIS investigation report(s)

## AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

## GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

### **ROCK STRATIGRAPHIC UNIT**

Era: Cenozoic  
System: Quaternary  
Series: Quaternary  
Code: Q (*decoded above as Era, System & Series*)

### **GEOLOGIC AGE IDENTIFICATION**

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

## DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: URBAN LAND

Soil Surface Texture: variable

Hydrologic Group: Not reported

Soil Drainage Class: Not reported

Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 10 inches

Depth to Bedrock Max: > 10 inches

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	6 inches	variable	Not reported	Not reported	Max: 0.00 Min: 0.00	Max: 0.00 Min: 0.00

### OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinant soil types may appear within the general area of target property.

Soil Surface Textures: sandy loam  
 gravelly - sandy loam  
 silt loam  
 clay  
 fine sand  
 gravelly - sand  
 sand  
 fine sandy loam

Surficial Soil Types: sandy loam  
 gravelly - sandy loam  
 silt loam  
 clay  
 fine sand  
 gravelly - sand  
 sand  
 fine sandy loam

Shallow Soil Types: fine sandy loam  
 gravelly - loam  
 sandy clay  
 sandy clay loam  
 clay  
 silty clay  
 sand

Deeper Soil Types: gravelly - sandy loam  
 sandy loam  
 very gravelly - sandy loam  
 stratified  
 very fine sandy loam  
 weathered bedrock  
 sand  
 gravelly - fine sandy loam  
 silty clay loam  
 clay loam

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

## WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

## FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
2	USGS40000139899	1/2 - 1 Mile South

## FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	CA3301863	1/2 - 1 Mile NNE

Note: PWS System location is not always the same as well location.

## STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

## OTHER STATE DATABASE INFORMATION

## STATE OIL/GAS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	CAOG11000208886	1/8 - 1/4 Mile SE
A2	CAOG11000191604	1/4 - 1/2 Mile SE
A3	CAOG11000191605	1/4 - 1/2 Mile SE
A4	CAOG11000193036	1/4 - 1/2 Mile SE
A5	CAOG11000193179	1/4 - 1/2 Mile SE
A6	CAOG11000193023	1/4 - 1/2 Mile SE
A7	CAOG11000192995	1/4 - 1/2 Mile SE
A8	CAOG11000193012	1/4 - 1/2 Mile SE
A9	CAOG11000193013	1/4 - 1/2 Mile SE
A10	CAOG11000191607	1/4 - 1/2 Mile SE
A11	CAOG11000188755	1/4 - 1/2 Mile SE
A12	CAOG11000188753	1/4 - 1/2 Mile SE
A13	CAOG11000193057	1/4 - 1/2 Mile SE
A14	CAOG11000188754	1/4 - 1/2 Mile SE

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### STATE OIL/GAS WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
A15	CAOG11000188745	1/4 - 1/2 Mile SE
A16	CAOG11000191613	1/4 - 1/2 Mile SE
A17	CAOG11000193190	1/4 - 1/2 Mile SE
A18	CAOG11000193191	1/4 - 1/2 Mile SE
A19	CAOG11000188746	1/4 - 1/2 Mile SE
A20	CAOG11000188747	1/4 - 1/2 Mile SE
A22	CAOG11000188751	1/4 - 1/2 Mile SE
A21	CAOG11000188750	1/4 - 1/2 Mile SE
A23	CAOG11000191608	1/4 - 1/2 Mile SE
A25	CAOG11000191610	1/4 - 1/2 Mile SE
A24	CAOG11000191609	1/4 - 1/2 Mile SE
A26	CAOG11000193045	1/4 - 1/2 Mile SE
A27	CAOG11000193046	1/4 - 1/2 Mile SE
A28	CAOG11000193193	1/4 - 1/2 Mile SE
A29	CAOG11000191611	1/4 - 1/2 Mile SE
A30	CAOG11000188757	1/4 - 1/2 Mile SE
A31	CAOG11000188752	1/4 - 1/2 Mile SE
A32	CAOG11000191612	1/4 - 1/2 Mile SE
A34	CAOG11000188759	1/4 - 1/2 Mile SE
A33	CAOG11000188758	1/4 - 1/2 Mile SE
A35	CAOG11000189635	1/4 - 1/2 Mile SE
A36	CAOG11000189636	1/4 - 1/2 Mile SE
A37	CAOG11000191614	1/4 - 1/2 Mile SE
A38	CAOG11000188756	1/4 - 1/2 Mile SE
A39	CAOG11000191606	1/4 - 1/2 Mile SE
A40	CAOG11000188748	1/4 - 1/2 Mile SE
A41	CAOG11000188749	1/4 - 1/2 Mile SE
42	CAOG11000208887	1/4 - 1/2 Mile NW
43	CAOG11000205258	1/4 - 1/2 Mile North
44	CAOG11000204850	1/2 - 1 Mile SSE
45	CAOG11000204849	1/2 - 1 Mile ESE
46	CAOG11000204507	1/2 - 1 Mile SW
47	CAOG11000214319	1/2 - 1 Mile NNW
48	CAOG11000205268	1/2 - 1 Mile SSE
49	CAOG11000205041	1/2 - 1 Mile SSW
B50	CAOG11000193101	1/2 - 1 Mile SW
B51	CAOG11000193102	1/2 - 1 Mile SW
B52	CAOG11000193103	1/2 - 1 Mile SW
B54	CAOG11000193089	1/2 - 1 Mile SW
B53	CAOG11000193088	1/2 - 1 Mile SW
B55	CAOG11000193090	1/2 - 1 Mile SW
B56	CAOG11000189633	1/2 - 1 Mile SW
B57	CAOG11000193112	1/2 - 1 Mile SW
B58	CAOG11000193117	1/2 - 1 Mile SW
B59	CAOG11000193077	1/2 - 1 Mile SW
B60	CAOG11000193148	1/2 - 1 Mile SW
B61	CAOG11000193118	1/2 - 1 Mile SW
B62	CAOG11000193119	1/2 - 1 Mile SW
B63	CAOG11000193120	1/2 - 1 Mile SW
B64	CAOG11000193133	1/2 - 1 Mile SW
B65	CAOG11000193114	1/2 - 1 Mile SW
B66	CAOG11000189626	1/2 - 1 Mile SW
B67	CAOG11000193138	1/2 - 1 Mile SW
B68	CAOG11000193096	1/2 - 1 Mile SW
B69	CAOG11000193151	1/2 - 1 Mile SW
B70	CAOG11000193053	1/2 - 1 Mile SW

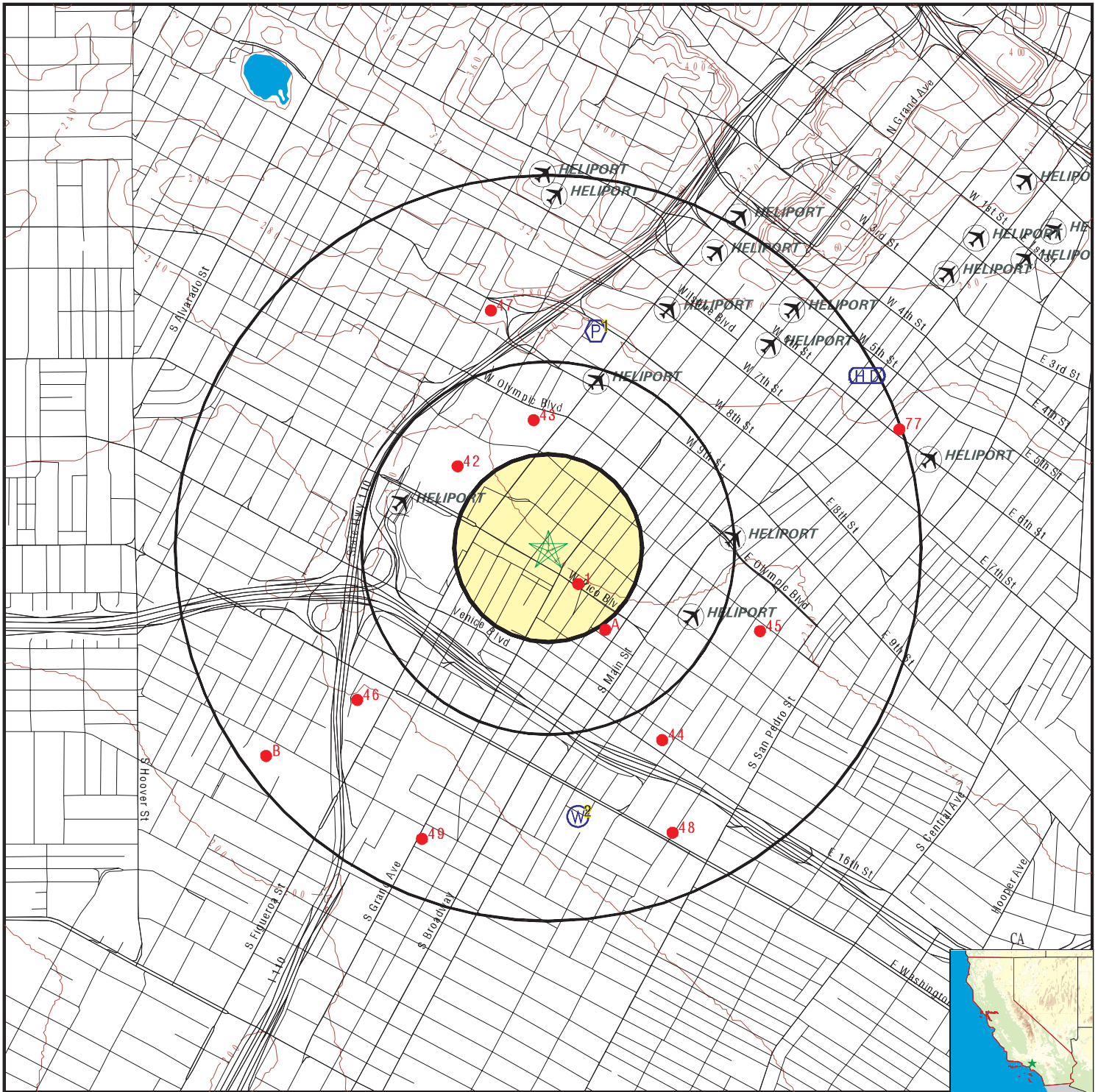


## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### STATE OIL/GAS WELL INFORMATION

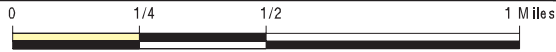
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
B71	CAOG11000193153	1/2 - 1 Mile SW
B72	CAOG11000193056	1/2 - 1 Mile SW
B73	CAOG11000193052	1/2 - 1 Mile SW
B74	CAOG11000193082	1/2 - 1 Mile SW
B75	CAOG11000193043	1/2 - 1 Mile SW
B76	CAOG11000193028	1/2 - 1 Mile SW
77	CAOG11000214096	1/2 - 1 Mile ENE

# PHYSICAL SETTING SOURCE MAP - 4374160.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake Fault Lines
- Airports
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells



SITE NAME: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 ADDRESS: 1220 South Hope Street  
 Los Angeles CA 90015  
 LAT/LONG: 34.0399 / 118.2648

CLIENT: Alpha Environmental  
 CONTACT: Jesus Juvenal  
 INQUIRY #: 4374160.2s  
 DATE: August 05, 2015 2:24 pm

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Database      EDR ID Number

**1**  
**NNE**  
**1/2 - 1 Mile**  
**Higher**

**FRDS PWS      CA3301863**

Epa region:	09	State:	CA
Pwsid:	CA3301863		
Pwsname:	Trinity - Anza		
City served:	Not Reported	State served:	CA
Zip served:	Not Reported	Fips county:	06065
Status:	Active	Pop srvd:	75
Pwsvcconn:	1	Source:	Groundwater
Pws type:	TNCWS	Owner:	Private
Contact:	JEFF KANAVAS		
Contact or gname:	Trinity - Anza	Contact address1:	PO BOX 848
Contact phone:	9098255588	Contact city:	COLTON
Contact address2:	Not Reported	Contact zip:	92324
Contact state:	CA		
Activity code:	A		

Facid:	3		
Facname:	TREATMENT PLANT		
Facility type:	Treatment_plant	Activity code:	A
Treatment obj:	disinfection	Treatment process:	hypochlorination, post
Treatment obj:	manganese removal	Treatment process:	sequestration

Facid:	CA3301863003		
Facname:	TREATMENT PLANT		
Facility type:	Treatment_plant	Activity code:	A
Treatment obj:	disinfection	Treatment process:	hypochlorination, post
Treatment obj:	manganese removal	Treatment process:	sequestration

Location Information:			
Name:	TRINITY - ANZA --OOB		
Pwstypcd:	TNCWS	Primsrccd:	GW
Popserved:	75		
Add1:	PO BOX 848		
Add2:	Not Reported		
City:	COLTON	State:	CA
Zip:	92324	Phone:	9098255588
Cityserv:	Not Reported	Cntyserv:	Riverside
Stateserv:	CA	Zipserv:	Not Reported

Enforcement Information:			
Violation id:	0500002	Orig cd:	S
Enf fy:	2005	Enf act date:	07/01/2005
Enf act detail:	St Formal NOV issued	Enf act cat:	Informal

Enforcement Information:			
Violation id:	0500001	Orig cd:	S
Enf fy:	2005	Enf act date:	12/06/2004
Enf act detail:	St Formal NOV issued	Enf act cat:	Informal

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

**Violations Information:**

Violation id:	0500002	Orig cd:	S
State:	CA	Viol fy:	2004
Contamcd:	3100		
Contamnm:	Coliform (TCR)		
Viol code:	26		
Viol name:	Monitoring, Repeat Minor (TCR)		
Rule code:	110		
Rule name:	TCR		
Violmeasur:	Not Reported	Unitmeasur:	Not Reported
State mcl:	Not Reported	Cmpbdt:	10/01/2004
Cmpedt:	10/31/2004		

**Violations Information:**

Violation id:	0500001	Orig cd:	S
State:	CA	Viol fy:	2004
Contamcd:	3100		
Contamnm:	Coliform (TCR)		
Viol code:	26		
Viol name:	Monitoring, Repeat Minor (TCR)		
Rule code:	110		
Rule name:	TCR		
Violmeasur:	Not Reported	Unitmeasur:	Not Reported
State mcl:	Not Reported	Cmpbdt:	10/01/2004
Cmpedt:	10/31/2004		

**Violations Information:**

Violation id:	0000002	Orig cd:	S
State:	CA	Viol fy:	2001
Contamcd:	3100		
Contamnm:	Coliform (TCR)		
Viol code:	24		
Viol name:	Monitoring, Routine Minor (TCR)		
Rule code:	110		
Rule name:	TCR		
Violmeasur:	Not Reported	Unitmeasur:	Not Reported
State mcl:	Not Reported	Cmpbdt:	04/01/2001
Cmpedt:	04/30/2001		

**Violations Information:**

Violation id:	0000001	Orig cd:	S
State:	CA	Viol fy:	2001
Contamcd:	3100		
Contamnm:	Coliform (TCR)		
Viol code:	24		
Viol name:	Monitoring, Routine Minor (TCR)		
Rule code:	110		
Rule name:	TCR		
Violmeasur:	Not Reported	Unitmeasur:	Not Reported
State mcl:	Not Reported	Cmpbdt:	04/01/2001
Cmpedt:	04/30/2001		

PWS ID:	CA3301863	
Date Initiated:	7706	Date Deactivated: Not Reported
PWS Name:	LABORER'S TRAINING FACILITY LABORER'S TRAINING FACILITY TRIPP FLATS RD ANZA, CA 92306	

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Addressee / Facility: System Owner/Responsible Party  
LABORER'S TRAINING FACILITY  
8383 WILSHIRE BOULEVARD  
LOS ANGELES, CA 90017

Facility Latitude: 34 02 54 Facility Longitude: 118 15 42  
City Served: Not Reported  
Treatment Class: Untreated Population: 00000025

Violations information not reported.

## ENFORCEMENT INFORMATION:

Truedate: 03/31/2009 Pwsid: CA3301863  
Pwsname: TRINITY - ANZA  
Retpopsrvd: 75 Pwstypecod: NTNC  
VioId: 0000001 Contaminant: COLIFORM (TCR)  
Viol. Type: Monitoring, Routine Minor (TCR)  
Complperbe: 4/1/2001 0:00:00  
Complperen: 4/30/2001 0:00:00 Enfdate: No Enf Action as of  
Enf action: 7/8/2009 0:00:00  
Violmeasur: Not Reported

Truedate: 03/31/2009 Pwsid: CA3301863  
Pwsname: TRINITY - ANZA  
Retpopsrvd: 75 Pwstypecod: NTNC  
VioId: 0500002 Contaminant: COLIFORM (TCR)  
Viol. Type: Monitoring, Repeat Minor (TCR)  
Complperbe: 10/1/2004 0:00:00  
Complperen: 10/31/2004 0:00:00 Enfdate: 7/1/2005 0:00:00  
Enf action: State Formal NOV Issued  
Violmeasur: Not Reported

System Name: TRINITY - ANZA  
Violation Type: Monitoring, Routine Minor (TCR)  
Contaminant: COLIFORM (TCR)  
Compliance Period: 4/1/2001 0:00:00 - 4/30/2001 0:00:00  
Violation ID: 0000002  
Enforcement Date: 4/12/2007 0:00:00 Enf. Action: Not Reported

System Name: TRINITY - ANZA  
Violation Type: Monitoring, Routine Minor (TCR)  
Contaminant: COLIFORM (TCR)  
Compliance Period: 4/1/2001 0:00:00 - 4/30/2001 0:00:00  
Violation ID: 0000002  
Enforcement Date: No Enf Action as of Enf. Action: 10/17/2006 0:00:00

System Name: TRINITY - ANZA  
Violation Type: Monitoring, Repeat Minor (TCR)  
Contaminant: COLIFORM (TCR)  
Compliance Period: 10/1/2004 0:00:00 - 10/31/2004 0:00:00  
Violation ID: 0500001  
Enforcement Date: 12/6/2004 0:00:00 Enf. Action: State Formal NOV Issued

System Name: TRINITY - ANZA  
Violation Type: Monitoring, Repeat Minor (TCR)  
Contaminant: COLIFORM (TCR)  
Compliance Period: 10/01/04 - 10/31/04  
Violation ID: 0500002  
Enforcement Date: 07/01/05 Enf. Action: State Formal NOV Issued

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

**CONTACT INFORMATION:**

Name:	TRINITY - ANZA	Population:	75
Contact:	JEFF KANAVAS	Phone:	Not Reported
Address:	PO BOX 848		
Address 2:	COLTON		
	CA, 92 90982		

**2**  
**South**  
**1/2 - 1 Mile**  
**Lower**

**FED USGS      USGS40000139899**

Org. Identifier:	USGS-CA		
Formal name:	USGS California Water Science Center		
Monloc Identifier:	USGS-340146118154501		
Monloc name:	002S013W05B001S		
Monloc type:	Well		
Monloc desc:	Not Reported		
Huc code:	18070105	Drainagearea value:	Not Reported
Drainagearea Units:	Not Reported	Contrib drainagearea:	Not Reported
Contrib drainagearea units:	Not Reported	Latitude:	34.0294573
Longitude:	-118.2634075	Sourcemap scale:	24000
Horiz Acc measure:	1	Horiz Acc measure units:	seconds
Horiz Collection method:	Interpolated from map		
Horiz coord refsys:	NAD83	Vert measure val:	Not Reported
Vert measure units:	Not Reported	Vertacc measure val:	Not Reported
Vert accmeasure units:	Not Reported		
Vertcollection method:	Not Reported		
Vert coord refsys:	Not Reported	Countrycode:	US
Aquifername:	California Coastal Basin aquifers		
Formation type:	Not Reported		
Aquifer type:	Not Reported		
Construction date:	Not Reported	Welldepth:	495
Welldepth units:	ft	Wellholeddepth:	495
Wellholeddepth units:	ft		

Ground-water levels, Number of Measurements: 0

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**1**  
**SE**  
**1/8 - 1/4 Mile**

**OIL\_GAS CAOG11000208886**

District nun:	1	Api number:	03711865
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	P
Operator name:	1211 S. Olive Street Development LP		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	GL @ 238
Locationde:	KB @ 11' above GL		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Broadway Corehole	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Not Directionally drilled	Gissymbol:	PDH
Site id:	CAOG11000208886		

**A2**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS CAOG11000191604**

District nun:	1	Api number:	03711866
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.226
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000191604		

**A3**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS CAOG11000191605**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03711866
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.226
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000191605		

**A4  
SE  
1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000193036**

District nun:	1	Api number:	03720144
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	233.909
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	4
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193036		

**A5  
SE  
1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000193179**

District nun:	1	Api number:	03720833
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.143
Locationde:	Not Reported		
Gissourcec:	gps		



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	42402259.ssf	Wellnumber:	7
Leasename:	L.A. Unit	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193179		

**A6  
SE  
1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000193023**

District nun:	1	Api number:	03720118
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	233.268
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	3
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193023		

**A7  
SE  
1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000192995**

District nun:	1	Api number:	03720039
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.798
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000192995		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**A8**  
**SE**

1/4 - 1/2 Mile

OIL\_GAS CAOG11000193012

District nun:	1	Api number:	03720077
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	232.825
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193012		

**A9**  
**SE**

1/4 - 1/2 Mile

OIL\_GAS CAOG11000193013

District nun:	1	Api number:	03720077
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	232.825
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193013		

**A10**  
**SE**

1/4 - 1/2 Mile

OIL\_GAS CAOG11000191607

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03711868
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.69
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	4
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000191607		

**A11**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000188755**

District nun:	1	Api number:	03700464
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	233.438
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Venice Com	Wellnumber:	4
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188755		

**A12**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000188753**

District nun:	1	Api number:	03700462
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	233.655
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	42402259.ssf	Wellnumber:	1
Leasename:	L.A.Unit Venice Com	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000188753		

**A13  
SE**

1/4 - 1/2 Mile

OIL\_GAS

CAOG11000193057

District nun:	1	Api number:	03720204
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.898
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	Albany	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193057		

**A14  
SE**

1/4 - 1/2 Mile

OIL\_GAS

CAOG11000188754

District nun:	1	Api number:	03700463
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.648
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Venice Com	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000188754		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database      EDR ID Number

**A15**  
**SE**

**OIL\_GAS      CAOG11000188745**

**1/4 - 1/2 Mile**

District nun:	1	Api number:	03700457
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.1
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	6
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	ADG
Site id:	CAOG11000188745		

**A16**  
**SE**

**OIL\_GAS      CAOG11000191613**

**1/4 - 1/2 Mile**

District nun:	1	Api number:	03711873
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	237.171
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Venice Com	Wellnumber:	3
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000191613		

**A17**  
**SE**

**OIL\_GAS      CAOG11000193190**

**1/4 - 1/2 Mile**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03720909
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.939
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	Spring	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193190		

**A18**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000193191**

District nun:	1	Api number:	03720909
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.939
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	Spring	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193191		

**A19**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000188746**

District nun:	1	Api number:	03700458
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.568
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	42402259.ssf	Wellnumber:	9
Leasename:	L.A. Unit	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188746		

**A20  
SE**

1/4 - 1/2 Mile

**OIL\_GAS**

**CAOG11000188747**

District nun:	1	Api number:	03700458
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.568
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	9
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188747		

**A22  
SE**

1/4 - 1/2 Mile

**OIL\_GAS**

**CAOG11000188751**

District nun:	1	Api number:	03700460
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	P
Operator name:	St. James Oil Corp.		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.747
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit Flower Com	Wellnumber:	11
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	PWF
Site id:	CAOG11000188751		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**A21**  
**SE**

1/4 - 1/2 Mile

**OIL\_GAS CAOG11000188750**

District nun:	1	Api number:	03700460
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	P
Operator name:	St. James Oil Corp.		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.747
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	11
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	PWF
Site id:	CAOG11000188750		

**A23**  
**SE**

1/4 - 1/2 Mile

**OIL\_GAS CAOG11000191608**

District nun:	1	Api number:	03711869
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.094
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	5B
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	ADG
Site id:	CAOG11000191608		

**A25**  
**SE**

1/4 - 1/2 Mile

**OIL\_GAS CAOG11000191610**



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03711869
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.094
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	5B
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	ADG
Site id:	CAOG11000191610		

**A24**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000191609**

District nun:	1	Api number:	03711869
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	234.094
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	5B
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	ADG
Site id:	CAOG11000191609		

**A26**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000193045**

District nun:	1	Api number:	03720175
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	237.059
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	42402259.ssf	Wellnumber:	10
Leasename:	L.A. Unit	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193045		

**A27  
SE**

1/4 - 1/2 Mile

OIL\_GAS

CAOG11000193046

District nun:	1	Api number:	03720175
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	237.059
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	10
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193046		

**A28  
SE**

1/4 - 1/2 Mile

OIL\_GAS

CAOG11000193193

District nun:	1	Api number:	03720923
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.252
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	8
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193193		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**A29**

**SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000191611**

District nun:	1	Api number:	03711870
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	235.038
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	6
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000191611		

**A30**

**SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000188757**

District nun:	1	Api number:	03700466
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	238.063
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	11
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000188757		

**A31**

**SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000188752**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03700461
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	237.355
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Spring	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188752		

**A32**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000191612**

District nun:	1	Api number:	03711871
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	237.014
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	7
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000191612		

**A34**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000188759**

District nun:	1	Api number:	03700467
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.758
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	42402259.ssf	Wellnumber:	1
Leasename:	L.A.Unit Venice FW	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188759		

**A33  
SE**

1/4 - 1/2 Mile

**OIL\_GAS**

**CAOG11000188758**

District nun:	1	Api number:	03700467
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.758
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Venice FW	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188758		

**A35  
SE**

1/4 - 1/2 Mile

**OIL\_GAS**

**CAOG11000189635**

District nun:	1	Api number:	03706352
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	242.152
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	9
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000189635		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**A36**

**SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000189636**

District nun:	1	Api number:	03706352
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	242.152
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	9
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000189636		

**A37**

**SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000191614**

District nun:	1	Api number:	03711874
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	243.777
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Venice Com	Wellnumber:	5
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000191614		

**A38**

**SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000188756**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03700465
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	238.651
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Venice Com	Wellnumber:	6
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000188756		

**A39**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000191606**

District nun:	1	Api number:	03711867
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	236.058
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A.Unit Flower Com	Wellnumber:	3
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000191606		

**A40**  
**SE**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000188748**

District nun:	1	Api number:	03700459
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	238.569
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	42402259.ssf	Wellnumber:	12
Leasename:	L.A. Unit	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188748		

**A41  
SE**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000188749**

District nun:	1	Api number:	03700459
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	Nasco Petroleum, LLC		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	238.569
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	42402259.ssf		
Leasename:	L.A. Unit	Wellnumber:	12
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000188749		

**42  
NW**

**1/4 - 1/2 Mile**

**OIL\_GAS**

**CAOG11000208887**

District nun:	1	Api number:	03711872
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Standard-Occidental Albany Core Well	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Unknown	Gissymbol:	PDH
Site id:	CAOG11000208887		



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database      EDR ID Number

**43**  
**North**  
**1/4 - 1/2 Mile**

**OIL\_GAS      CAOG11000205258**

District nun:	1	Api number:	03706334
Blm well:	N	Redrill can:	Not Reported
Dryhole:	Y	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Any Field
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Salvation Army Corehole	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Unknown	Gissymbol:	PDH
Site id:	CAOG11000205258		

**44**  
**SSE**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000204850**

District nun:	1	Api number:	03705692
Blm well:	N	Redrill can:	Not Reported
Dryhole:	Y	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Any Field
Area name:	Any Area	Section:	5
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Venice Community Core Hole	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	PDH
Site id:	CAOG11000204850		

**45**  
**ESE**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000204849**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03705691
Blm well:	N	Redrill can:	Not Reported
Dryhole:	Y	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Any Field
Area name:	Any Area	Section:	33
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Wall Corehole	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	PDH
Site id:	CAOG11000204849		

**46**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000204507**

District nun:	1	Api number:	03705184
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	P
Operator name:	Atlantic Richfield Company		
County name:	Los Angeles	Fieldname:	Los Angeles Downtown
Area name:	Any Area	Section:	32
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	West Adams Corehole	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Unknown	Gissymbol:	PDH
Site id:	CAOG11000204507		

**47**  
**NNW**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000214319**

District nun:	1	Api number:	03720793
Blm well:	N	Redrill can:	Not Reported
Dryhole:	Y	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Any Field
Area name:	Any Area	Section:	29
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	Not Reported	Wellnumber:	1
Leasename:	S.M.J. Corehole	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	PDH
Site id:	CAOG11000214319		

**48  
SSE  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000205268**

District nun:	1	Api number:	03706344
Blm well:	N	Redrill can:	Not Reported
Dryhole:	Y	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Any Field
Area name:	Any Area	Section:	5
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Wall Corehole	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Unknown	Gissymbol:	PDH
Site id:	CAOG11000205268		

**49  
SSW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000205041**

District nun:	1	Api number:	03705967
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Fourth Avenue	Section:	5
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Garey Community	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Unknown	Gissymbol:	PDH
Site id:	CAOG11000205041		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**B50**  
**SW**  
1/2 - 1 Mile

OIL\_GAS CAOG11000193101

District nun:	1	Api number:	03720383
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	212.6
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193101		

**B51**  
**SW**  
1/2 - 1 Mile

OIL\_GAS CAOG11000193102

District nun:	1	Api number:	03720383
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	212.6
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193102		

**B52**  
**SW**  
1/2 - 1 Mile

OIL\_GAS CAOG11000193103

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03720383
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	212.6
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193103		

**B54  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193089**

District nun:	1	Api number:	03720356
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	210.274
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193089		

**B53  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193088**

District nun:	1	Api number:	03720356
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	210.274
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	38202259.ssf	Wellnumber:	2
Leasename:	St. James	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193088		

**B55  
SW**

1/2 - 1 Mile

OIL\_GAS

CAOG11000193090

District nun:	1	Api number:	03720356
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	210.274
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	2
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193090		

**B56  
SW**

1/2 - 1 Mile

OIL\_GAS

CAOG11000189633

District nun:	1	Api number:	03706333
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	203.122
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	3
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000189633		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**B57**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS CAOG11000193112**

District nun:	1	Api number:	03720439
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	215.19
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	4
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193112		

**B58**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS CAOG11000193117**

District nun:	1	Api number:	03720475
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.997
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	5
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193117		

**B59**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS CAOG11000193077**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03720275
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	207.578
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	6
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193077		

**B60  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193148**

District nun:	1	Api number:	03720564
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	207.651
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	8
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193148		

**B61  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193118**

District nun:	1	Api number:	03720476
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.067
Locationde:	Not Reported		
Gissourcec:	gps		



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	38202259.ssf	Wellnumber:	7
Leasename:	St. James	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193118		

**B62  
SW**

1/2 - 1 Mile

OIL\_GAS

CAOG11000193119

District nun:	1	Api number:	03720476
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.067
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	7
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193119		

**B63  
SW**

1/2 - 1 Mile

OIL\_GAS

CAOG11000193120

District nun:	1	Api number:	03720476
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.067
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	7
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193120		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database EDR ID Number

**B64**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS CAOG11000193133**

District nun:	1	Api number:	03720502
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	205.895
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	9
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193133		

**B65**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS CAOG11000193114**

District nun:	1	Api number:	03720455
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	208.458
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	10
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193114		

**B66**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS CAOG11000189626**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03705177
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	206.416
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	11
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000189626		

**B67  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193138**

District nun:	1	Api number:	03720511
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	203.024
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	12
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193138		

**B68  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193096**

District nun:	1	Api number:	03720372
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	203.733
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	38202259.ssf	Wellnumber:	13
Leasename:	St. James	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193096		

**B69  
SW**

1/2 - 1 Mile

OIL\_GAS

CAOG11000193151

District nun:	1	Api number:	03720609
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.825
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	14
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193151		

**B70  
SW**

1/2 - 1 Mile

OIL\_GAS

CAOG11000193053

District nun:	1	Api number:	03720194
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	210.088
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	15-1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193053		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance

Database      EDR ID Number

**B71**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193153**

District nun:	1	Api number:	03720628
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	212.378
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	21
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AWF
Site id:	CAOG11000193153		

**B72**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193056**

District nun:	1	Api number:	03720203
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.512
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	16
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193056		

**B73**  
**SW**  
**1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193052**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

District nun:	1	Api number:	03720191
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	210.284
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	17
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193052		

**B74  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193082**

District nun:	1	Api number:	03720308
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	209.54
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	18
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193082		

**B75  
SW  
1/2 - 1 Mile**

**OIL\_GAS      CAOG11000193043**

District nun:	1	Api number:	03720165
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	A
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	206.316
Locationde:	Not Reported		
Gissourcec:	gps		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Comments:	38202259.ssf	Wellnumber:	19
Leasename:	St. James	Hydraulica:	N
Epawell:	N	Spuddate:	30-DEC-99
Confidenti:	N		
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193043		

**B76  
SW**

**1/2 - 1 Mile**

**OIL\_GAS**

**CAOG11000193028**

District nun:	1	Api number:	03720125
Blm well:	N	Redrill can:	Not Reported
Dryhole:	N	Well status:	I
Operator name:	AllenCo Energy, Inc.		
County name:	Los Angeles	Fieldname:	Las Cienegas
Area name:	Jefferson	Section:	6
Township:	02S	Range:	13W
Base meridian:	SB	Elevation:	208.034
Locationde:	Not Reported		
Gissourcec:	gps		
Comments:	38202259.ssf		
Leasename:	St. James	Wellnumber:	20
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	AOG
Site id:	CAOG11000193028		

**77  
ENE**

**1/2 - 1 Mile**

**OIL\_GAS**

**CAOG11000214096**

District nun:	1	Api number:	03720494
Blm well:	N	Redrill can:	Not Reported
Dryhole:	Y	Well status:	P
Operator name:	Chevron U.S.A. Inc.		
County name:	Los Angeles	Fieldname:	Any Field
Area name:	Any Area	Section:	33
Township:	01S	Range:	13W
Base meridian:	SB	Elevation:	Not Reported
Locationde:	Not Reported		
Gissourcec:	hud		
Comments:	Not Reported		
Leasename:	Greyhound Corehole	Wellnumber:	1
Epawell:	N	Hydraulica:	N
Confidenti:	N	Spuddate:	30-DEC-99
Welldeptha:	0		
Redrillfoo:	0		
Abandonedd:	30-DEC-99	Completion:	30-DEC-99
Directiona:	Directionally drilled	Gissymbol:	PDH
Site id:	CAOG11000214096		

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

## AREA RADON INFORMATION

Federal EPA Radon Zone for LOS ANGELES County: 2

- Note: Zone 1 indoor average level > 4 pCi/L.
- : Zone 2 indoor average level  $\geq$  2 pCi/L and  $\leq$  4 pCi/L.
- : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for LOS ANGELES COUNTY, CA

Number of sites tested: 63

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.711 pCi/L	98%	2%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	0.933 pCi/L	100%	0%	0%



# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## TOPOGRAPHIC INFORMATION

### USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

### Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

## HYDROLOGIC INFORMATION

**Flood Zone Data:** This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

## HYDROGEOLOGIC INFORMATION

### AQUIFLOW<sup>R</sup> Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

## GEOLOGIC INFORMATION

### Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

### STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

### SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## LOCAL / REGIONAL WATER AGENCY RECORDS

### FEDERAL WATER WELLS

#### PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

#### PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

#### USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

### STATE RECORDS

#### Water Well Database

Source: Department of Water Resources

Telephone: 916-651-9648

#### California Drinking Water Quality Database

Source: Department of Public Health

Telephone: 916-324-2319

The database includes all drinking water compliance and special studies monitoring for the state of California since 1984. It consists of over 3,200,000 individual analyses along with well and water system information.

## OTHER STATE DATABASE INFORMATION

#### California Oil and Gas Well Locations

Source: Department of Conservation

Telephone: 916-323-1779

Oil and Gas well locations in the state.

### RADON

#### State Database: CA Radon

Source: Department of Health Services

Telephone: 916-324-2208

Radon Database for California

#### Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

#### EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

## PHYSICAL SETTING SOURCE RECORDS SEARCHED

### OTHER

Airport Landing Facilities: Private and public use landing facilities  
Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater  
Source: Department of Commerce, National Oceanic and Atmospheric Administration

California Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary fault lines, prepared in 1975 by the United State Geological Survey. Additional information (also from 1975) regarding activity at specific fault lines comes from California's Preliminary Fault Activity Map prepared by the California Division of Mines and Geology.

### STREET AND ADDRESS INFORMATION

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*APPENDIX F*  
*Agency Records*



*City of Los Angeles  
Department of Public Works -  
Bureau of Sanitation*

**ALPHA**  
ENVIRONMENTAL

RECEIVED

MAIL TO:

CITY OF LOS ANGELES  
DEPARTMENT OF PUBLIC WORKS  
BUREAU OF SANITATION

Madison 4-5211  
Ext. 1758

IND. WASTE ENGR.  
SEWER MAINT. DIV.  
ROOM 750, CITY HALL  
LOS ANGELES, CALIF. 90012

APPLICATION FOR INDUSTRIAL WASTE PERMIT

See Reverse Side For Fee Schedule

W-22470  
W-

1. Firm Name: Laboratory for Non-Destructive Testing Type of Business: Non-Destructive Testing  
*Lab for Non-Destructive Testing*
3. Installation Address: 1248 S. Hope, Los Angeles, Calif. 90015 7488324  
Number & St. Zone Phone
4. Mailing Address: Same as above  
Number & St. City Zone State
5. Processes discharging liquid wastes: Penetrant Oil film left on Industrial parts during Non-Destructive Penetrant test....
6. Chemical and physical characteristics of above waste discharge:  
Approx 87% Sodium Petroleum Sulphonate. Material are same as "Cuttings oils" except in refined conditions: Have been approved by U.S. Army Surgeon Generals office for toxicity and corrosive properties per MIL-I-25135C(ASG)
7. Name of Applicant or Representative of Firm: Dr. Hugh F. Hare Title Secretary  
Printed

Signature: Hugh Hare Date: 2/4/65

OVER DO NOT WRITE BELOW THIS LINE -- FOR OFFICE USE ONLY OVER

(X) New ( ) Revision or Addition ( ) Change of Ownership

8. Discharge will be to (V) Sewer ( ) S.D. ( ) Watercourse ( ) Other  
Size and Location: 10" Clay pipe sewer at St. ( ) Garb. Grinder

9. Flow Characteristics: Max. Flow 5 gpm: Total Flow 550 gpd.

10. Required Treatment: Clarification Make Model  
Seating  
Capacity
11. Required Treatment Facility: 3cc 6x2x2 Meals Served  
Garbage Gallons  
Grease Trap  
( ) Yes ( ) No

13. Class 1 District 7 Submitted by Inspector: James Swigale

14. Recommended by: H. B. Turner Date: 2-11-65  
Sr. Industrial Waste Inspector

15. Applicant (Line 7) Hugh Hare Date: 2/4/65  
Signature

16. Approved: Jeb Date: 2-26-65  
Industrial Waste Engineer

17. APPLICANT: A permit is issued subject to conditions shown hereon and is revocable for non-compliance at any time with the regulating provisions of the Los Angeles Municipal Code or any policy of the Board of Public Works adopted pursuant thereto.

ENTERED FEB 24 1965

Central

OVER



*Los Angeles County  
Public Health Investigation*

**ALPHA**  
ENVIRONMENTAL

PLANT SURVEY TELEPHONE REQUEST  
PUBLIC HEALTH PROGRAMS - OCCUPATIONAL HEALTH  
COUNTY OF LOS ANGELES DEPARTMENT OF HEALTH SERVICES

DATE 8-27-84 RECEIVED BY M. Garcia

NAME OF PLANT Book binder PERSON TO CONTACT Simon I Simon

ADDRESS OF PLANT 1240 So. Hope St. 90015 TELEPHONE NO. 748-6261

NATURE OF REQUEST Sic 2789 083270  
made appointment for 11:00 AM

EXACT SITE IN PLANT INVOLVED

SERVICE REQUESTED BY ADDRESS TELEPHONE NO.

REFERRED TO:

DISPOSITION 8-28-84 Upon investigation, the facility was determined to be producing waste oil from their folding and stapling machine.

AM

INVESTIGATION DATE INVESTIGATOR'S INITIALS  
M Garcia 8-28-84



2-89

INDUSTRIAL WASTE CONTROL PROGRAM

DATE: 8-28-84

BOOKBENDERS COMPANY

STREET 1240 S. HOPE ST

CITY & ZIP LOS ANGELES 90015

DISTRICT 835

ROY SAMSON

PERSON INTERVIEWED & TITLE Roy Samson

PHONE NO. EMERGENCY NO. 748-6261

NO. EMPLOYEES 20

INDUSTRIAL WASTE NO. 053270 none EPA NO. none

SAFETY SHOWER NO EATING AREA NO

FACILITY & DESCRIPTION OF OPERATION/PRODUCTS: Binders/Folder of PAPER Box

TOILET & WASHING FACILITIES ADEQUATE YES PERSONEL PROTECTIVE DEVICES ADEQUATE NO PLANT SANITATION ADEQUATE good

PROCESS	MATERIAL	CONTROL	I.H. HAZARD	HAZARDOUS WASTE		
				TYPE	VOL./LBS.	STORAGE METHOD DISPOSAL METHOD MANIFEST INFO
<p>MAINLY MAKES</p> <p>Side stitching machine binds books together with a staple</p> <p>lubrication oil</p> <p>wastes</p>	<p>Holds in the paper and folds</p> <p>Hole punch machine for paper</p> <p>paper</p> <p>TRASH recycled</p>	<p>move folding</p> <p>Compressor</p> <p>Service by: concrete compressor Co waste oil</p>	<p>Paper - Leaf cut</p>	<p>And forms thons cuts PATTERN</p> <p>Boxing area</p>	<p>general machine</p> <p>Rags used to clean parts from machines</p> <p>SAFETY Klean</p> <p>waste is picked up every month</p> <p>to remove grut off the parts</p>	
<p>one 55 gal Drum of N2O oil every 2 years collected</p>	<p>oil is applied and pour into machine</p> <p>waste oil collected</p>	<p>Glue</p> <p>H.B. Fuller Comp</p> <p>Ammal</p>		<p>oil greases</p> <p>Rag ACMES L.A.</p>	<p>TYPEWASH</p> <p>used to clean off machine</p>	

NO UNDERGROUND STO TANKS & TYPE OF WASTE IN UNDERGROUND TANK: N/A NO DISPOSAL SYSTEMS ON PREMISES: YES NO

ACCESS TO STORM DRAIN INLET ON PREMISES: YES NO CHLORINATED HYDROCARBON USED: YES NO SEWER CONNECTION ON PREMISES: YES NO

Survey

myrae Garcia

ACTION:

SURVEY CONDUCTED BY:

HAZARDOUS WASTE PRODUCER SURVEY

County of Los Angeles Department of Health Services

Date 1/17/83

SIC No. 2789

TOXIC SUBSTANCES CONTROL PROGRAM

Company Name <u>Bookbinders Company</u>	Address <u>1240 S. Hope St.</u>	City <u>L.A.</u>	90015	District <u>Cook</u>
Owner <u>M. Sampson</u>	Person Interviewed <u>Some</u>	Phone No. <u>748-6261</u>		
Type of Facility <u>Book Binding</u>	L.A. County PHL# <u>083270</u>	Survey Conducted by <u>Bruce Worek</u>	# of Employees <u>22</u>	
Description of Operation <u>Trade Binding - cut, fold, punch, stitch, glue</u>		Industrial Waste Permit # <u>NO</u>		
		EPA #		

Raw Materials	Processes	Products	Wastes	
			Type	Disposal Method
<ul style="list-style-type: none"> <li>- Paper</li> <li>- white glue</li> <li>- Safety Kleen (solvent)</li> <li>- hot melt adhesive (Pallets)</li> <li>- tape used</li> </ul>	<ul style="list-style-type: none"> <li>cut, fold, punch, stitch</li> <li>→ used to clean Equip &amp; rollers</li> <li>melted in a machine + applied to Binding of books</li> <li>- clear rollers</li> </ul>	Bound Books	<ul style="list-style-type: none"> <li>"Safety Kleen" Solvent</li> <li>→ Empty containers</li> <li>tags</li> </ul>	<ul style="list-style-type: none"> <li>Service + disposed of by Safety Kleen Company</li> <li>trash</li> <li>- tag service</li> </ul>
REMARKS:		<p><u>requests a variance when mailed</u></p> <p><u>approx 15 gals per month waste solvent generated</u></p>		
VIOLATIONS:				

Action

Referral



*APPENDIX G*  
*Building Records*

OCT 25 1913

# All applications must be filled out by applicant

USE INK OR INDELIBLE PENCIL

PLANS AND SPECIFICATIONS and other data must also be filed.

WARD

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

1

### Application for the Erection of Building of plans and

CLASS "A", "B", "C"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be, prohibited by Ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

(SIGN HERE) Margan Walls & Margan  
for Chas. E. Wall (Applicant)

Lot No. \_\_\_\_\_ Block 87-63  
Commencing at a point on the north-east corner of Pico & Hope Streets, running thence easterly along the northerly line of Pico St. 21.18' thence northerly 149.37' thence westerly 90' to a point on the easterly line of Hope St. thence southerly along the easterly line of Hope St. 164' to the point of beginning.  
District No. 10 M. B. page 13 P. B. page \_\_\_\_\_

PLANS CHECKED BY O.K. ENGINEER

TAKE TO ROOM NO. 6 FIRST FLOOR  
ASSESSOR PLEASE VERIFY

TAKE TO ROOM NO. 34 THIRD FLOOR

ENGINEER PLEASE VERIFY

No. 1246-1250 & 1260 S. Hope St  
433-435-437-439-441 W Pico Street

- PURPOSE OF BUILDING HOTEL & STORES Number of rooms 111 Rooms in hotel kitchen
- OWNER'S NAME MR VICTOR PANET
- Owner's address 140 N SPRING
- Architect's name MARGAN WALLS & MARGAN M 1329
- CONTRACTOR'S NAME F O ENGSTROM CO. F 2948
- Contractor's address 5TH & SEATON
- ENTIRE COST OF PROPOSED BUILDING \$95,000.00
- Size of lot 90' x 164' Size of building 90' x 157'
- Will building be erected on front or rear of lot? FRONT
- NUMBER OF STORIES IN HEIGHT 4 Height to highest point of roof 56'-0"
- Height of first floor above curb level, or surface 3" in LBBY - cement FL IN STORES
- Character of soil: rock, clay, sand, filled, etc. \_\_\_\_\_
- Of what material will FOUNDATION and cellar walls be built? CONCRETE
- GIVE depth of FOUNDATION below the surface of ground. VARIES
- GIVE dimensions of FOUNDATION and cellar wall FOOTINGS VARIES
- GIVE width of FOUNDATION and cellar wall at top VARIES
- NUMBER and KIND of chimneys 7 Number of flues 7
- Number of inlets to each flue one Interior size of flues 6" x 8" GALV. CORR. TIN 18" STEEL
- Of what material will upper walls be constructed? BRICK
- Are there any buildings within 30 feet of the proposed structure? No

HOTEL OR LODGING HOUSE  
SUBJECT TO STATE LAW

Date issued DEC 14 1913 191

Application Received

PERMIT NO. 15893  
272

OVER

All applications must be filled out by applicant

PLANS AND SPECIFICATIONS and other data must also be filed

WARD 3

BOARD OF PUBLIC WORKS DEPARTMENT OF BUILDINGS

3

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Table with columns: REMOVED FROM, REMOVED TO. Rows: Lot, Block, Tract, Book, Page, F. B. Page.

From No. 1248 Hope St To No. (USE INK OR INDELIBLE PENCIL) Street

- 1. What Purpose is the present Building used for? Apartments
2. Owner's name J. G. ... Phone
3. Owner's address 912 Hope St ... Phone
4. Architect's name ... Phone
5. Contractor's name P.E. Christensen ... Phone
6. Contractor's address 9121 Grand St
7. ENTIRE COST OF PROPOSED WORK \$ 75.00
8. Class of Present Building Brick No. of Rooms at present 120
9. No. of stories in height 3 Size of present building

STATE ON FOLLOWING LINES JUST WHAT YOU WANT TO DO. Put up 2x4 partition 15 ft high 18 ft long ... This partition is to divide store ...

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Building Ordinances will be complied with, whether herein specified or not.

OVER (Sign here) P.E. Christensen (Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY. PERMIT NO. 21746. Plans and specifications checked and found to conform to Ordinances, State Laws, etc. Application checked and found O. K. NOV 9 - 1914 C. K. Stamp here when permit is received NOV 9 1914

Handwritten signature and notes at the bottom of the page.

# All applications must be filled out by applicant

WARD \_\_\_\_\_

PLANS AND SPECIFICATIONS  
and other data must also be filed

## BOARD OF PUBLIC WORKS DEPARTMENT OF BUILDINGS

### Application for the Erection of Building

CLASS "A" - "C"

To the Board of Public Works of the City of Los Angeles!

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

- First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.
- Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
- Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. \_\_\_\_\_ Block 87  
(Description of Property) \_\_\_\_\_

TAKE TO ROOM No. 6 FIRST FLOOR ASSESSOR PLEASE VERIFY

District No. 10 M. B. Page. 10 F. B. Page. 171

TAKE TO ROOM No. 405 SOUTH ANNEX ENGINEER PLEASE VERIFY

No. 1220 South Hope Dr  
(Location of Job) \_\_\_\_\_ Street \_\_\_\_\_

(USE INK OR INDELIBLE PENCIL)

O. K. City Assessor  
By [Signature] Deputy

O. K. City Engineer  
By [Signature] Deputy

- Purpose of Building Paint shop No. of Rooms \_\_\_\_\_ No. of families \_\_\_\_\_
- Owner's name Paint Estate Phone A 5221
- Owner's address 924 W. Nat. Bank
- Architect's name Dodd + Richards Phone F 1342
- Contractor's name M. G. Grinnard Phone 66654
- Contractor's address 748 W 7th St
- ENTIRE COST OF PROPOSED BUILDING {including Plumbing, Gas Fitting, Sewers, Caspools, Elevators, Painting, Finishing, etc.} \$ 8950.00
- Any other buildings on the lot? no How used? \_\_\_\_\_
- Size of proposed building 60 x 1554 Size of lot 60 x 1554 feet
- Number of stories in height 1 Height to highest point 25
- Material of foundation concrete Character of soil gravel
- Size of footings 30" Depth below surface of ground 3'
- Number of chimneys 1 Material of chimneys Brick
- Number of inlets to each flue 1 Interior size of such flues \_\_\_\_\_
- Material of exterior walls brick
- Material of interior construction stucco + plaster
- Material of floors concrete wood
- Material of roof composition
- Are there any other buildings within 30 feet of the proposed structure? no

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree that if a permit is issued that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that the plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and Laws.

(Sign here) M. G. Grinnard  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>3219</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. (Use Ink) <u>[Signature]</u> Plan Examiner	Application checked and found correct (Use Stamp) JUN 20 1918 Clerk	RECEIVED JUN 20 1918 L. H. B. D. S.
	<p>_____</p>		



All applications must be filled out by applicant

WARD \_\_\_\_\_

PLANS AND SPECIFICATIONS and other data must also be filed

BOARD OF PUBLIC WORKS  
DEPARTMENT OF BUILDINGS

Application for the Erection of Building

CLASS "C"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the scope of the permit:

- First: That the permit does not grant any right or privilege to erect any building or other structure therein described, on any portion thereof, upon any street, alley, or other public place or portion thereof.
- Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
- Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM No. 6 FIRST FLOOR ASSESSOR PLEASE VERIFY

Lot No. \_\_\_\_\_ Block 87  
(Description of Property) \_\_\_\_\_  
Ordsburg  
District No. 10 M. B. Page 10 F. B. Page 170

TAKE TO ROOM No. 405 SOUTH ANNEX ENGINEER PLEASE VERIFY

No. \_\_\_\_\_ (Location of Job) \_\_\_\_\_  
1224 - S. Hope Street  
(USE INK OR INDELIBLE PENCIL)

O. K. City Assessor  
O. K. City Engineer  
Deputy

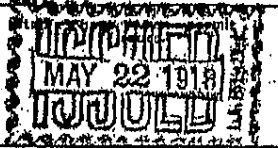
- Purpose of Building Manufact. Sundry No. of Rooms \_\_\_\_\_ No. of families \_\_\_\_\_
- Owner's name Powell Estate Phone A 5221
- Owner's address 924 Cit. Nat. Bank Bldg
- Architect's name Gold & Richards Phone F 1342
- Contractor's name H. C. Edmund Phone F 6654
- Contractor's address 748 W 7th St
- ENTIRE COST OF PROPOSED BUILDING {Including Plumbing, Gas Fitting, Sewers, Ceasings, Elevators, Painting, Finishing, etc.} \$ 7000.00
- Any other buildings on the lot? no How used? \_\_\_\_\_
- Size of proposed building 50 x 155+ Size of lot 50 x 155+ (feet)
- Number of stories in height 1 Height to highest point 29'
- Material of foundation concrete Character of soil gravel
- Size of footings 3' x 24" Depth below surface of ground 3'
- Number of chimneys 1 Material of chimneys brick
- Number of inlets to each flue 1 Interior size of such flues 9 x 9
- Material of exterior walls brick
- Material of interior construction \_\_\_\_\_
- Material of floors wood & cement
- Material of roof wood
- Are there any other buildings within 30 feet of the proposed structure? yes

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree that if a permit is issued that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that the plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and Laws.

4<sup>th</sup> 5/20/18

(Sign here) H. C. Edmund  
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY		
PERMIT NO <u>2704</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. (Use Ink) <u>H. C. Edmund</u> City Examiner	Application checked and found O. K. (Use Rubber Stamp) MAY 21 1918 City Clerk



PLANS

All applications must be filled out by applicant.

PLANS AND SPECIFICATIONS and other data must also be filed

BOARD OF PUBLIC WORKS

3

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles: Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Form with columns: REMOVED FROM (Lot, Block, Tract, Book, Page, F. B. Page) and REMOVED TO (Lot, Block, Tract, Book, Page, F. B. Page). Includes fields for From No., To No., and Street. Includes vertical text: TAKE TO ROOM No. 6 FIRST FLOOR CITY CLERK PLEASE VERIFY; TAKE TO ROOM No. 405 SOUTH ANNEX ENGINEER PLEASE VERIFY; O. K. City Clerk; O. K. City Engineer; Deputy.

(USE INK OR INDELIBLE PENCIL)

- 1. What Purpose is the present Building used for? Auto repairs
2. Owner's name Carter Auto Works
3. Owner's address
4. Architect's name
5. Contractor's name H. G. Grinnard
6. Contractor's address 748 W. 7th St
7. ENTIRE COST OF PROPOSED WORK { Including Plumbing, Gas Fitting, Sewers, Gaspools, Elevators, Painting, Finishing, Etc. } \$ 95.00
8. Class of Present Building
9. No. of stories in height
10. State how many buildings are on this lot
11. State purpose Buildings on lot are used for

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Build stock room
Built up posts, with boards 4 ft from floor + large wire screen for base + constructed by...

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER (Sign here) H. G. Grinnard (Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY. PERMIT NO. 7203. Plans and specifications checked and found to conform to Ordinances, State Laws, Etc. Application checked and found O. K. AUG 29 1919. Plan Examiner: [Signature] Clerk: [Signature].

FORWARDED BY [Signature]



# All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

# 3

## DEPARTMENT OF BUILDINGS

### Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the execution of the permit:

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- Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose prohibited or restricted by ordinance of the City of Los Angeles.
- Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

	REMOVED FROM		REMOVED TO	
TAKE TO ROOM NO. 6 FIRST FLOOR	Lot	Block	Lot	Block
CITY CLERK PLEASE VERIFY	Tract		Tract	
TAKE TO ROOM No. 405 SOUTH ANNEX	Book	Page	F. B. Page	Book Page F. B. Page
ENGINEER PLEASE VERIFY	From No.	1236 1/2 S. Hope Street		To No. Street

(USE INK OR INDELIBLE PENCIL)

1. What purpose is the present Building now used for? Auto Service
2. What purpose will Building be used for hereafter? "
3. Owner's name Electric Equipment Co Phone 60651
4. Owner's address 1240 S Hope St.
5. Architect's name \_\_\_\_\_ Phone \_\_\_\_\_
6. Contractor's name N. G. Greenwood Phone Brdy 5346
7. Contractor's address 814 Edgeware Rd.
8. VALUATION OF PROPOSED WORK \$ 200 00 (Including Plumbing, Gas Fitting, Sewers, Coopers, Elevators, Painting, Finishing, all Labor, etc.)
9. Class of Present Building 2 No. of Rooms at present \_\_\_\_\_
10. Number of stories in height 1 Size of present building x
11. State how many buildings are on this lot 1
12. State purpose buildings on lot are used for Auto Service (Tenement House, Hotel, Residence, or any other purpose.)

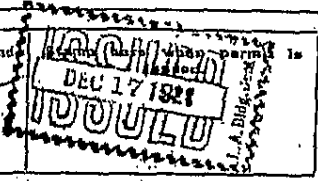
STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Build mezzanine floor, hanging same from truss on one side post in brick wall other end. Truss designed to carry mezzanine when building was built.

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER** (Sign here) N. G. Greenwood (Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY		
PERMIT NO. <u>36211</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>Thomas</u> Plan Examiner.	Application checked and found O. K. <u>DEC 17 1921</u> Clerk.



FOR PLANS SEE 1493-18

# All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS and other data must also be filed

# 3

## BOARD OF PUBLIC WORKS DEPARTMENT OF BUILDINGS

### Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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- Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
- Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

	REMOVED FROM	REMOVED TO	
TAKE TO REAR OF NORTH ANNEX 1st FLOOR CITY CLERK PLEASE VERIFY	Lot..... Block.....	Lot..... Block.....	O. K. City Clerk By _____ Deputy
	Tract .....	Tract .....	
	.....	.....	
TAKE TO ROOM No. 405 SOUTH ANNEX ENGINEER PLEASE VERIFY	Book..... Page..... F. B. Page.....	Book..... Page..... F. B. Page.....	O.K. City Engineer By _____ Deputy
	From No. <u>1246 S Hope</u> Street	Street	
	To No. .... Street	Street	

(USE INK OR INDELIBLE PENCIL)

- What purpose is the present Building now used for? Hotel
- What purpose will Building be used for hereafter? Hotel
- Owner's name Ben Weingart Phone.....
- Owner's address 304 E 5th St
- Architect's name..... Phone.....
- Contractor's name L. G. Carl Drop Led. Co Phone.....
- Contractor's address 111 N. Dearborn St
- VALUATION OF PROPOSED WORK (including Plumbing, Gas Fitting, Sewers, Ceilings, Elevators, Painting, Finishing, all Labor, etc.) \$ 260
- Class of present Building..... No. of rooms at present 130
- Number of stories in height 5 Size of present Building.....
- State how many buildings are on this lot one
- State purpose buildings on lot are used for Hotel  
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

install three drop leaders

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER**

(Sign here) J. M. Burger  
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <b>6653</b>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner	Application checked and found O. K. <u>7102</u> <u>1158</u> Clerk	RECORDED MAR 3 1922 INDEXED A. B. G. Dept.
	<u>[Signature]</u>		<u>175</u>

30514-21

# All Applications Must be Filled Out by Applicant

Std. Form 3

PLANS AND SPECIFICATIONS and other data must also be filed

BUILDING DIVISION

# 3

## DEPARTMENT OF BUILDING AND SAFETY

### Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOMS 248 ROOM NO. 5 (2nd FLOOR) OF NORTH ANNEX 1st Floor CITY CLERK PLEASE VERIFY	REMOVED FROM	REMOVED TO	O. K. City Clerk	Deputy
	Lot.....Block.....	Lot.....Block.....		
	Tract.....	Tract.....		
TAKE TO ROOM No. 5 (ST. FLOOR) TAKE MAIN FIRST FLOOR 242 SO. BROADWAY ENGINEER PLEASE VERIFY	Book.....Page.....F. B. Page.....	Book.....Page.....F. B. Page.....		
	From No. <u>1220 South Hope St.</u> Street			
	To No. <u>Between 12th St. &amp; Pico Blvd.</u> Street			

(USE INK OR INDELIBLE PENCIL)

- What purpose is the present Building now used for? Auto Repair - Body of Furniture Shop
- What purpose will Building be used for hereafter? Auto Electric Supplies
- Owner's name Waynes Electric Corp. Phone.....
- Owner's address 318 W 15th St. L.A. City
- Architect's name W. J. Young Phone Orange 5365
- Contractor's name O. C. Camp-Hudson Co. Phone Bakers 1155
- Contractor's address 1277 W 24th St. L.A. City
- VALUATION OF PROPOSED WORK [Including all Material, Labor, Finishing Equipment and Appliances in Completed Building.] \$ 400
- Class of present Building "C. Brick" No. of rooms at present 1
- Number of stories in height One & 1/2 Size of present Building 60' x 155'
- State how many buildings are on this lot This One Only
- State purpose buildings on lot are used for as above.
- What Zone is Property in? D (Apartment House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Removing Present non bearing Office & Toilet Room Partitions - and Replacing with new arrangements - re setting Plumbing and Changing Electric Light Locations - Cutting front wood frame - Removing Brick above - Setting new Door & Frame

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

19/15/28

(Sign here) W. J. Young  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>30268</u>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner	Application checked and found O. K. <u>[Signature]</u> Clerk	Stamp here when permit is issued. <b>10011111</b> OCT 29 1928 <b>10011111</b>
----------------------------	--	--	--

OK **PLANS**

# All Applications Must be Filled Out by Applicant

PLANS AND SPECIFICATIONS and other data must also be filed

Blg. Form 3

BUILDING DIVISION

# 3

## DEPARTMENT OF BUILDING AND SAFETY

### Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
 Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
 First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.  
 Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
 Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

TAKE TO ROOM No. 248 (2ND FLOOR) CITY CLERK PLEASE VERIFY	Lot _____ Block _____	Lot _____ Block _____	O. K. City Engineer O. K. City Clerk Deputy
	Tract _____	Tract _____	
	Book _____ Page _____ F. B. Page _____	Book _____ Page _____ F. B. Page _____	
	From No. <u>1224 So Hope</u> Street	Street	
TAKE TO ROOM No. 5 (MAIN ST. FLOOR) ENGINEER PLEASE VERIFY	To No. <u>Between 12th + Pine</u> Street	Street	O. K. City Clerk Deputy
	(USE INK OR INDELIBLE PENCIL)		

- What purpose is the present Building now used for? Vacant was Auto body repair plant
- What purpose will Building be used for hereafter? Store and offices
- Owner's name Atwater Kent Radio Co Phone \_\_\_\_\_
- Owner's address 240 So Hope
- Architect's name Mark Daniels Phone \_\_\_\_\_
- Contractor's name Hillard-Brent Co Phone Hunt 7323
- Contractor's address 254 East 27th
- VALUATION OF PROPOSED WORK {Including all Material, Labor, Finishing, Equip-ment and Appliances in Completed Building.} \$2000.00
- Class of present Building C No. of rooms at present 1 - 7 Magazine
- Number of stories in height 1 - 17' hi Size present Building 50 x 156
- State how many buildings are on this lot one
- State purpose buildings on lot are used for will be store  
(Apartment House, Hotel, Residence, or any other purpose.)
- What Zone is Property in? \_\_\_\_\_

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

add partitions for show rooms and office  
Plaster Partitions new Plumbing - also w/c

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

NOT OVER 350 (Sign here) Hillard-Brent Co. E. Brent  
 (Owner or Authorized Agent.)

PERMIT NO.  <b>21961</b>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>Thomas</u> Plan Examiner	Application checked and found O. K. <u>Hays</u> Clerk	RECEIVED AUG 6 1928 TOWULU
	FOR DEPARTMENT USE ONLY		575

PLANS

3

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot \_\_\_\_\_ Lot \_\_\_\_\_

Tract \_\_\_\_\_ Tract \_\_\_\_\_

Present location of building } 1240 So. Hope Street (House Number and Street) Approved by City Engineer. New location of building } (House Number and Street) Deputy. Between what cross streets }

1. Purpose of PRESENT building Store Families Rooms

2. Use of building AFTER alteration or moving Families Rooms

3. Owner (Print Name) Electric Equipment Co. Phone \_\_\_\_\_

4. Owner's address 1240 So. Hope Street

5. Certificated Architect State License No. \_\_\_\_\_ Phone \_\_\_\_\_

6. Licensed Engineer State License No. \_\_\_\_\_ Phone \_\_\_\_\_

7. Contractor A. Hoegge & Sons, Inc. State License No. 30449 Phone VA 9324

8. Contractor's address 745 Merchant Street

9. VALUATION OF PROPOSED WORK (including all Material, Labor, Fixtures, Equipment and Appliances in Completed Building) \$ 66.00

10. State how many buildings NOW on lot and give use of each. Residence, Hotel, Apartment House, or any other purpose.

11. Size of existing building x Number of stories high Height to highest point

12. Class of building C Material of existing walls Exterior framework Wood or Steel

Describe briefly and fully all proposed construction and work:

2 - Roller Awnings Recovered

Fill in Application on other Side and Sign Statement

(OVER)

FOR DEPARTMENT USE ONLY PERMIT NO. 1060? PLANS Fee 1.00 Stamp here when Permit is issued JUL 20 1933

3

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM Lot... Tract... Present location of building } 1246 - So. Hope St. - (House Number and Street) New location of building } (House Number and Street) Between what cross streets } Approved by City Engineer Deputy.

1. Purpose of PRESENT building. Hotel Families... Rooms 111 (Store, Residence, Apartment House, Hotel, or any other purpose) 2. Use of building AFTER alteration or moving... Same Families... Rooms 111 3. Owner (Print Name)... Montgomery Properties Ltd. Phone 47-3225 4. Owner's Address... 621 So. Hope St. 5. Certificated Architect... State License No... Phone 6. Licensed Engineer... State License No... Phone 7. Contractor... C. W. Miller State License No. 39852, Phone TW 5087 8. Contractor's Address... 1950 - West 65th St. 9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein, or thereon) \$ 1200.00

10. State how many buildings NOW on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose) 11. Size of existing building... x... Number of stories high... 4... Height to highest point... 12. Class of building... C... Material of existing walls... Brick... Exterior framework... add lattice work

Describe briefly and fully all proposed construction and work: It is proposed to add 6 bedrooms, consisting of toilet bath and shower to six rooms, by utilizing portions of existing public toilet rooms, adding plaster partitions, putting thru doors in existing walls, adding electric lights and also a ventilating flared duct system capable of changing air in each bath every 5 minutes (OVER)

FOR DEPARTMENT USE ONLY 5518 PERMIT NO. 1208 PLANS 12/17/35 Zone ME Fire District No. 1 Street Widening No. Ft. Ft. Application checked and approved Inspector D. J. Kelly 2

3

APPLICATION TO ALTER, REPAIR MOVE OR DEMOLISH

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Form with fields for From L.T., To Lot, Tract, Present location of building, New location of building, and Between what cross streets.

- 1. Present use of building
2. State how long building has been used for present occupancy
3. Use of building AFTER alteration or moving
4. Owner
5. Owner's Address
6. Certified Architect
7. Licensed Engineer
8. Contractor
9. Contractor's Address

- 10. VALUATION OF PROPOSED WORK
11. State how many buildings NOW on lot and give use of each
12. Size of existing building
13. Material Exterior Walls
14. Describe briefly all proposed construction and work

NEW CONSTRUCTION section with fields for Size of Addition, Footing, and Size of Stairs.

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws...

FOR DEPARTMENT USE ONLY section containing PLAN CHECKING, REINFORCED CONCRETE, and PERMIT No. 26333.

3

RETURN TO EAGER  
APPLICATION TO  
ALTER, REPAIR OR DEMOLISH  
AND FOR A  
Certificate of Occupancy

Page 2  
CITY OF LOS ANGELES  
DEPARTMENT  
OF  
BUILDING AND SAFETY  
BUILDING DIVISION

Lot No. \_\_\_\_\_  
Tract \_\_\_\_\_  
Location of Building 1224 So. Hope St. (House Number and Street) Approved by City Engineer \_\_\_\_\_  
Between what cross streets Pico Blvd & 12th St. Deputy \_\_\_\_\_

USE INK OR INDELIBLE PENCIL

1. Present use of building STORE Families \_\_\_\_\_ Rooms \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel or other purpose)  
2. State how long building has been used for present occupancy about 13 years  
3. Use of building AFTER alteration or moving STORE Families \_\_\_\_\_ Rooms \_\_\_\_\_  
4. Owner MONTGOMERY PROPERTY INC. Phone RR 3-1239  
5. Owner's Address 8623 Sunset Blvd P. O. Los Angeles  
6. Certificated Architect \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_  
7. Licensed Engineer STILES CLEMENTS State License No. 813 B Phone TR 7071  
8. Contractor Antinet State License No. \_\_\_\_\_ Phone \_\_\_\_\_  
9. Contractor's Address \_\_\_\_\_

10. VALUATION OF PROPOSED WORK 4000.00  
Including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire, electric, elevator, wind and elevator equipment therein or thereon.  
11. State how many buildings NOW on lot and give use of each. one store  
(Store, Dwelling, Apartment House, Hotel or other purpose)  
12. Size of existing building 52 x 15 Number of stories high 1 Height to highest point 22  
13. Material Exterior Walls MASONRY Exterior framework (Wood or Steel)  
(Wood, Steel or Masonry)  
14. Describe briefly all proposed construction and work:  
INSTALL NEW WOOD PARTITION AND FLOOR IN AREA 15' x 25'  
AND OPEN EXISTING CRACKED UP OPENINGS IN REAR WALL.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete \_\_\_\_\_  
16. Footing: Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_ Size of Floor Joists x  
17. Size of Sinds x Material of Floor \_\_\_\_\_ Size of Rafters x Type of Roofing \_\_\_\_\_

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Signature STILES CLEMENTS  
By John H. Jagger

FOR DEPARTMENT USE ONLY

(1) PLAN CHECKING Receipt No. <u>974</u> Valuation \$ <u>4000</u> Fee Paid \$ <u>7.50</u>		(2) REINFORCED CONCRETE Bbls. Cement _____ Tons of Reinforcing Steel _____		Bldg. Per <u>1500</u> Cert. of Occupancy _____ Total _____	
TYPE <u>REAR</u>	GROUP <u>CH</u>	Maximum No. Occupants _____	Key Loc. _____	Lot Size _____	Post near _____
PERMIT No. <u>LA 41557</u>	Division and Specifications checked _____	Division checked _____	City Engineer _____	Fire Marshal _____	District Map No. <u>3518</u>
PLANS	Division and Specifications and Application reviewed and approved _____	Application checked and approved _____	Inspector _____	Inspector _____	Stamp here when Permit is issued FAR - 251

C. L. HAROLD



3

APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. 1300K 87 (C.R.D.S.)

Tract

Location of Building 1246 South Hope Street (House Number and Street)

Approved by City Engineer Deputy

Between what cross streets? 12th & Pico

USE INK OR INDELIBLE PENCIL

- 1. Present use of building: Store & Hotel
2. State how long building has been used for present occupancy.
3. Use of building AFTER alteration or moving.
4. Owner: MONTGOMERY PROPERTIES
5. Owner's Address: 8627 SUNSET BLVD. P. O.
6. Certificated Architect: WILLIAMS-WATERPROOFING
7. Licensed Engineer: & PAINTING CO.
8. Contractor: 3102 FLETCHER DRIVE CL 7-8191
9. Contractor's Address: LOS ANGELES 45, CALIF.

VALUATION OF PROPOSED WORK

- 11. State how many buildings NOW on lot and give use of each. 1 - Store & Hotel Bldg.
12. Size of existing building: 133' x 91' Number of stories high: 4 Height to highest point.
13. Material Exterior Walls: Masonry Exterior framework: Brick
14. Describe briefly all proposed construction and work.

Alter Parapet Wall along Hope St & Pico

NEW CONSTRUCTION

- 15. Size of Addition: x Size of Lot: x Number of Stories when complete.
16. Footing: Width: Depth in Ground: Width of Wall: Size of Floor Joists: x
17. Size of Studs: Material of Floor: Size of Rafters: x Type of Roofing:

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign by Daniel E. Booth, Owner of Building

DISTRICT OFFICE

FOR DEPARTMENT USE ONLY

Table with columns: PLAN CHECKING, OCCUPANCY SURVEY, Valuation, Area of Bldg., Investigation Fee, etc.

DO NOT WRITE BELOW THIS LINE

Table with columns: TYPE OF RECEIPT, DATE ISSUED, TRACER NO. (M), RECEIPT NO., CODE, FEE PAID

# 3

## APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

**INSTRUCTIONS:** 1. Applicant to Complete Numbered Items Only.  
2. Plot Plan Required on Back of Original.

1. LEGAL LOT	BLK.	TRACT	DIST MAP 5518
2. BUILDING ADDRESS 1220 S. Hope St.		APPROVED	ZONE M-2-4
3. BETWEEN CROSS STREETS 12TH ST AND PICO			FIRE DIST T 80'
4. PRESENT USE OF BUILDING Stge. & Sales of Bearings		NEW USE OF BUILDING	INSIDE
5. OWNER George F. Montgomery	PHONE OL 5-6789		KEY COR LOT
6. OWNER'S ADDRESS 8623 Sunset Blvd. Los Angeles	P. O.	ZONE 46	REV. CON. LOT SIZE
7. CERT ARCH	STATE LICENSE	PHONE	NA LEGAL
8. LIC. ENGR L. W. Phelps	STATE LICENSE 77	PHONE RI 98144	REAR ALLEY
9. CONTRACTOR The Ted R. Cooper Co., Inc.	STATE LICENSE 382	PHONE RI 98144	SIDE ALLEY BLDG. LINE
10. CONTRACTOR'S ADDRESS 149 W. 22nd St. Los Angeles 7		P. O.	ZONE
11. SIZE OF EXISTING BLDG.		STORIES	HEIGHT
71' x 156'		1	20'
		NO. OF EXISTING BUILDINGS ON LOT AND USE Stge. & Sales of Bearings	

3. 1220 S. Hope St.		DISTRICT OFFICE L.A.	
12. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> ROOF <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE <input type="checkbox"/> CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> SPRINKLERS <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER <input type="checkbox"/> R.O. REQ'D.		ROOFING Compo	SPECIFIED
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$ 2,000.00			BLDG. AREA
14. SIZE OF ADDITION None		STORIES	HEIGHT
15. NEW WORK: (DESCRIBE) Remove & replace existing plumbing with new. New partition for toilet room (Asphalt tile floor). I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance. The Ted R. Cooper Co., Inc. SIGNED BY: [Signature]		VALUATION APPROVED APPLICATION CHECKED PLANS CHECKED CORRECTIONS VERIFIED PLANS APPROVED APPLICATION APPROVED	DWELL UNITS PARKING SPACES GUEST ROOMS FILE WITH CONT. INSP INSPECTOR

TYPE 111-A	GROUP G	MAX. OCC. 3.00	P.C. 2.00	S.P.C.	B.P. 9.00	I.F.	O.S.	C/O
VALIDATION				CASHIER'S USE ONLY				

LA33038	MAY-25-59	34128	C = 2 CC	3.00
	MAY-25-59	34129	C = 1 CC	9.00

This Form When Properly Validated is a Permit to Do the Work Described.

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

Form with fields for LEGAL DESCR., BUILDING ADDRESS, OWNER'S NAME, CONTRACTOR, VALUATION, etc. Includes handwritten entries like '1240 S. Hope St.', 'Montgomery Management Co.', 'Harry M. Lukens Inc.', and '\$ 37500'.

SEWER (Available) (Not Available)

CRITICAL SOIL

CASHIER'S USE ONLY

JUN-20-61 43648 C - 2 CK 1.50
L491185 JUN-20-61 43649 C - 1 CK 3.00
P.C. No. GRADING CRIT. SOIL CONS.

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

Form B-8

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

Form with fields for LEGAL DESCR., BUILDING ADDRESS, BETWEEN CROSS STREETS, PRESENT USE OF BUILDING, OWNER'S NAME, OWNER'S ADDRESS, CERT. ARCH., LIC. ENGR., CONTRACTOR, CONTRACTOR'S ADDRESS, SIZE OF EXISTING BLDG., MATERIAL, VALUATION, SIZE OF ADDITION, NEW WORK, and various checkboxes and signatures.

SEWER (Available) (Not Available)

CRITICAL SOIL

Table with columns: TYPE, GROUP, MAX. OCC., P.C., S.P.C., G.P.I., B.P., I.F., O.S., C/O. Includes entries for LA 90766 JUN-14-61 with values 42615, B-2 CK, 4.00 and JUN-14-61 with values 42616, B-1 CK, 8.00.

CASHIER'S USE ONLY P.C. No. GRADING CRIT. SOIL CONS.

**3 APPLICATION TO ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY** CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

**INSTRUCTIONS:** 1. Application to Complete Numbered Items Only  
2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	BLK.	TRACT	DIST. MAP
	5		17683	5518
2. PRESENT USE OF BUILDING	NEW USE OF BUILDING		ZONE	
(16) printing	( ) same		M-2-4-0	
3. JOB ADDRESS				FIRE DIST.
1240 S. Hope St.				ONE
1/4 BETWEEN CROSS STREETS				INSIDE COR. LOT
Mico Bl. AND 12th St.				KEY REV. COR.
5. OWNER'S NAME			PHONE	LOT SIZE
Francis Montgomery				100
6. OWNER'S ADDRESS			P.O. BOX	ZIP
1240 S. Hope St.				X 155
7. ARCHITECT OR DESIGNER			STATE LICENSE NO.	PHONE
				REAR ALLEY 200
8. ENGINEER			STATE LICENSE NO.	PHONE
				SIDE ALLEY BLDG. LINE
9. CONTRACTOR			STATE LICENSE NO.	PHONE
Driver-Eddy Constr. Co.			122002	870-7821
10. SIZE OF EXISTING BLDG.		STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE
77x100		1	18'	2- print shops
11. MATERIAL OF CONSTRUCTION		EXT. WALLS	ROOF	FLOOR
		brick	compo	concrete
12. JOB ADDRESS				DISTRICT OFFICE
3 1240 S. Hope St.				LA
13. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING				GRADING
\$ 3000.00				
14. NEW WORK: (Describe)				CRIT. SOIL
sandblast, paint and repair skylights				
in rear 75x100 bldg. ONLY				HIGHWAY DED.
NEW USE OF BUILDING				FLOOD
SAME				
TYPE	GROUP	SPRINKLERS REQ'D SPECIFIED	VALUATION APPROVED	CONS.
M-A	G-1			Yes
BLDG. AREA	MAX OCC.	TOTAL	PLANS CHECKED	ZONED BY
				CFRY
DWELL. UNITS	GUEST ROOMS	SPACES REQ'D PROVIDED	PLANS APPROVED	FILE WITH
P.C. No.	CONT. INSP.		APPLICATION APPROVED	INSPECTOR
P.C.	S.R.C.	G.P.I.	B.P.	I.F.
				C/O
				TYPIST

Plan check expires six months after fee is paid. Permit expires one year after fee is paid or six month after fee is paid if construction is not commenced.

CASHIERS ONLY

JUN 11 1968 303665 •68448 Z-1 CK 14.00

**STATEMENT OF RESPONSIBILITY**

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

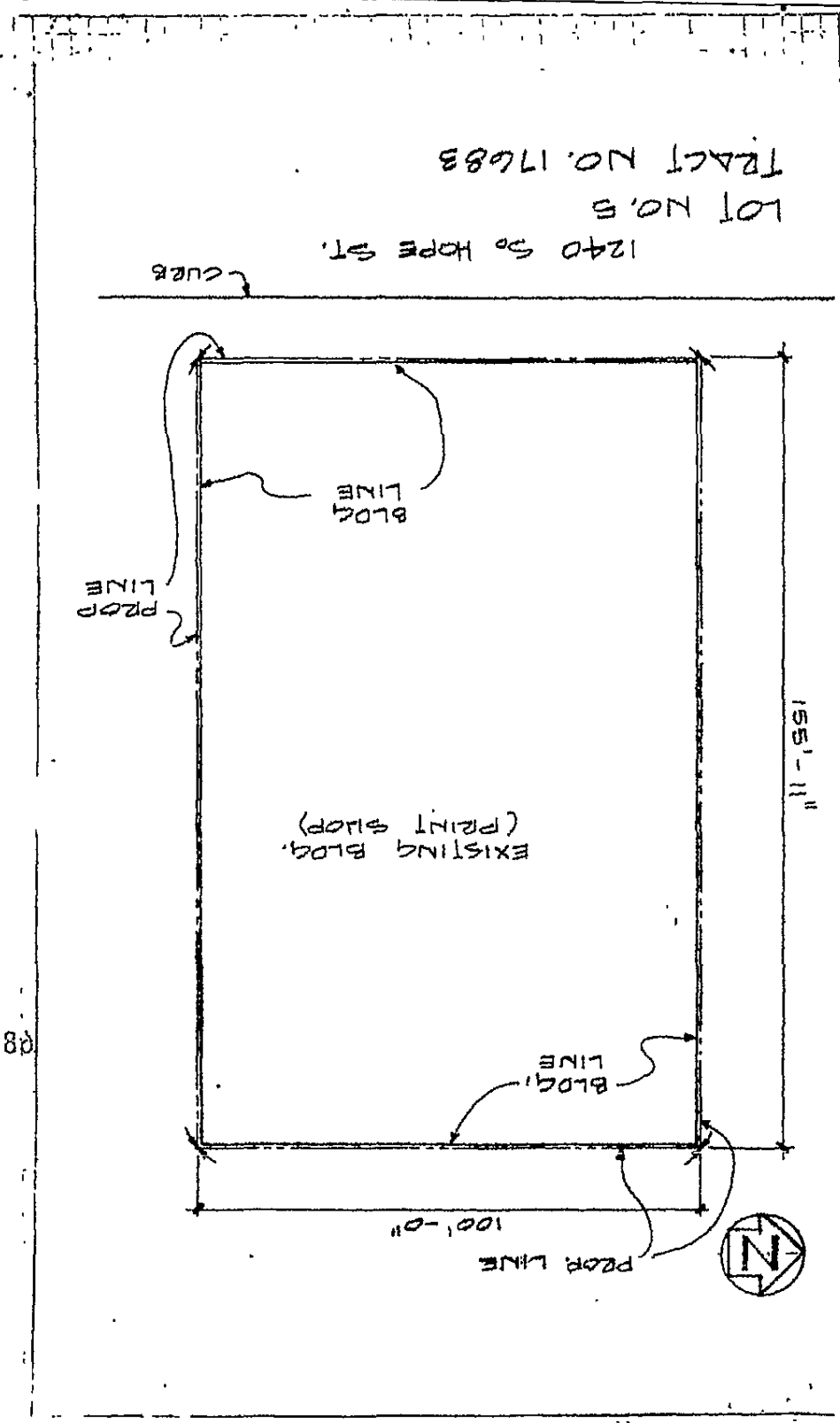
"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed Arthur Waugh Name E. Adams Date 6/11/68  
(Owner or Agent)

Bureau of Engineering	ADDRESS APPROVED	
	SEWERS AVAILABLE	
	NOT AVAILABLE	
	DRIVEWAY APPROVED	
	HIGHWAY DEDICATION REQUIRED	
	COMPLETED	
NO REF Conservation	FLOOD CLEARANCE APPROVED	
	APPROVED FOR ISSUE	
	FILE #	
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED	
Planning	APPROVED UNDER CASE #	
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)	
Traffic	APPROVED FOR	

SEC 12.23 A & ZONING CODE PERMITS REPAIR UP  
 TO 75% FOR A NEW CONFORMANCE BLDG. (ON EXISTING FOUND)  
 BUILT PRIOR TO 1921 - (ACT PERMIT # 36211/1921)

NO DIVISION WALLS PROVIDED IN  
 THE BLDG. *July*



3

APPLICATION FOR INSPECTION — TO ADD-ALTER-REPAIR-DEMOLISH

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

B & S B-3 — 03-74 DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6	BLK	TRACT 17683	DIST. MAP 5518
2. PRESENT USE OF BUILDING (1) hotel	NEW USE OF BUILDING (1) same			ZONE M2-4-0
3. JOB ADDRESS 1246 S. Hope St.				FIRE DIST. 1
4. BETWEEN CROSS STREETS 12 St. AND Pico				LOT (TYPE) rev/cor
5. OWNER'S NAME Manuel Dorame	PHONE			LOT SIZE irreg
6. OWNER'S ADDRESS same	CITY LA	ZIP 90015		
7. ENGINEER	BUS. LIC NO	ACTIVE STATE LIC. NO	PHONE	ALLEY
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC NO	PHONE	BLDG. LINE
9. CONTRACTOR OWNER	BUS. LIC NO.	ACTIVE STATE LIC NO.	PHONE	AFFIDAVITS CCPD/DPD
10. BRANCH LENDER	ADDRESS	CITY		
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES 4	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. CONST. MATERIAL OF EXISTING BLDG. → BRICK	EXT. WALLS	ROOF	FLOOR	SEISMIC STUDY ZONE
13. JOB ADDRESS 1246 S. Hope St.				DIST. OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$ 250 <sup>00</sup>				CRIT SOIL
15. NEW WORK: (Describe) install new non-bearing wall in lobby				GRADING HIGHWAY DED. FLOOD
NEW USE OF BUILDING HOTEL	SIZE OF ADDITION	STORIES	HEIGHT	
TYPE TIA	GROUP OCC. H-3	BLDG. AREA N/C	PLANS CHECKED	CONS. YES
DWELL. UNITS N/C	MAX OCC. N/C	TOTAL	PLANS APPROVED	ZONED BY P. Barker
GUEST ROOMS N/C	PARKING REQ'D N/C	PARKING PROVIDED STD. COMP.	APPLICATION APPROVED	FILE WITH
SPRINKLERS REQ'D SPECIFIED	CONT. INSP.	INSPECTION ACTIVITY		INSPECTOR
P.C. 6.29	S.P.C. 7.40	T.I.	P.M.	I.P.
P.C. No	PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.			TYPYST S.J.

CASHIER'S USE ONLY

JAN 21 1977 51933 E :38788 T-18K 6.28

STATEMENT OF RESPONSIBILITY

I certify that in doing the work specified herein I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (see Sec. 91.0202 L.A.M.C.)

Signed [Signature] Owner or Agent having Property Owner's Consent

Signature/Date

Bureau of Engineering	ADDRESS APPROVED	DRIVEWAY	HIGHWAY DEDICATION	REQUIRED	COMPLETED	FLOOD CLEARANCE	SEWERS	X	SEWERS AVAILABLE	TA1-21-77
									NOT AVAILABLE	
									SFC PAID	
							X		SFC NOT APPLICABLE	
									SFC DUE	
Conservation	APPROVED FOR ISSUE	NO FILE	X	Willespie 1-21-77						
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)									
Housing	HOUSING AUTHORITY APPROVAL									
Planning	APPROVED UNDER CASE #									
Traffic	APPROVED FOR									
Construction T-	RECEIPT NO.	DWELLING UNITS								

**All Applications must be filled out by Applicant**

PLANS AND SPECIFICATIONS and other data must also be filed

Bldg. Form 2

**2**

BOARD OF PUBLIC WORKS

**DEPARTMENT OF BUILDINGS**

**Application for the Erection of Frame Buildings**

**CLASS "D" Steel**

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO REAR OF NORTH ANNEX 1st FLOOR CITY CLERK PLEASE VERIFY

Lot No. \_\_\_\_\_ Block 87  
(Description of Property) \_\_\_\_\_

District No. 10 M. B. Page 10 F. B. Page \_\_\_\_\_

No. 427 W Pico Street \_\_\_\_\_  
(Location of Job)

ENGINEER PLEASE VERIFY

Red Granite Hope  
(USE INK OR INDELIBLE PENCIL)

O.K. City Clerk  
O.K. City Engineer

- Purpose of Building Wash Rack No. of Rooms 1 No. of Families \_\_\_\_\_
- Owner's name Wash Rack Oil Co Phone 6973
- Owner's address 2955 E 27
- Architect's name \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor's name Pacific Steel Bldg Co Phone 299308
- Contractor's address 2422 E 52
- VALUATION OF PROPOSED WORK [Including Plumbing, Gas Fitting, Sewers, Ceasings, Elevators, Painting, Finishing, all Labor, etc.] \$ 700.00
- Is there any existing (old) building on lot? Yes How used? Oil Storage
- Size of proposed building 18 x 42 Height to highest point 12' feet
- Number of Stories in height 1 Character of ground Sandy
- Material of foundation Concrete Size of footings 2' x 2' Size of wall 12" Depth below ground 16"
- Material of chimneys \_\_\_\_\_ Number of flues to flue \_\_\_\_\_ Interior size of flues \_\_\_\_\_ x
- Give sizes of following materials: REDWOOD MIDDLE x \_\_\_\_\_ Girders \_\_\_\_\_ x
- EXTERIOR studs \_\_\_\_\_ x INTERIOR BEARING studs \_\_\_\_\_ x Interior Non-Bearing studs \_\_\_\_\_ x
- Ceiling joists \_\_\_\_\_ x Roof rafters \_\_\_\_\_ x FIRST FLOOR JOISTS \_\_\_\_\_ x
- Second floor joists \_\_\_\_\_ x Specify material of roof 29 lb Galv iron
- Will all provisions of State Dwelling House Act be complied with? Yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER** 11/7/23 5 (Sign here) Wash Rack Oil Co  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>56107</u> <u>56107</u>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>Mahoney</u> Plan Examiner	Application checked, and found O. K. <u>11/21/23</u> Inspector	Stamp Here when permit is issued <b>NOV 21 1923</b> A. B. C. 2323
--	--	--	---

11/21/23 275



3

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM Lot. Tract. Present location of building } 427 W. Pico (House Number and Street) New location of building } Between what cross streets } APPROVED BY City Engineer Deputy.

1. Purpose of PRESENT building Service Station Families Rooms 2. Use of building AFTER alteration or moving Families Rooms 3. OWNER (Print Name) Benton Bros Phone 4. Owner's Address 427 W. Pico 5. Certificated Architect State License No. Phone 6. Licensed Engineer State License No. Phone 7. Contractor Victor Mfg. Co. State License No 37894 Phone Re 6107 8. Contractor's Address 1872 W. Washington DOUBLE FEES 9. VALUATION OF PROPOSED WORK including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and or elevator equipment thereto or thereon \$45.00 10. State how many buildings NOW on lot and give use of each Service Station (Residence, Hotel, Apartment House, or any other purpose) 11. Size of existing building. x Number of stories high Height to highest point 12. Class of building. Material of existing walls Exterior framework (Wood or Steel)

Describe briefly and fully all proposed construction and work: 3 awnings as per city ordinance

Fill in Application on other Side and Sign Statement DOUBLE CHECK (OVER)

FOR DEPARTMENT USE ONLY PERMIT NO. 41897 PLANS Rec'd For Plans See Filed with Required Valuation Included SPRINKLER Specified Yes-No Inspector [Signature]

5

ALTER, REPAIR OR DEMOLISH  
AND FOR A  
Certificate of Occupancy

BUILDING AND SAFETY  
BUILDING DIVISION

Lot No. \_\_\_\_\_

Tract \_\_\_\_\_

Location of Building 441 W. Pico  
(House Number and Street)

Approved by  
City Engineer

Between what cross streets GRAND AVE & HOPE ST.

Deputy

USE INK OR INDELIBLE PENCIL

1. Present use of building DRUG STORE Families \_\_\_\_\_ Rooms \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy \_\_\_\_\_

3. Use of building AFTER alteration or moving same Families \_\_\_\_\_ Rooms \_\_\_\_\_

4. Owner ARDEN FARM CO. Phone 21-1131

5. Owner's Address 2102 S. 185th Ave. S.P. 57

6. Certificated Architect \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_

7. Licensed Engineer \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_

8. Contractor CO-OPERATIVE SIGN CO State License No. 75670 Phone CA 4-51

9. Contractor's Address 3317 N. MISSION RD.

10. VALUATION OF PROPOSED WORK 250.00  
(Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.)

11. State how many buildings NOW on lot and give use of each. \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 30 x 50 Number of stories high 1 Height to highest point 5'

13. Material Exterior Walls MASONRY Exterior framework \_\_\_\_\_  
(Wood, Steel, or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

ERECT FLAT METAL FACE SIGNS  
(NO - NEON)

NEW CONSTRUCTION

15. Size of Addition \_\_\_\_\_ Size of Lot \_\_\_\_\_ Number of Stories when complete \_\_\_\_\_

16. Footing: Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_ Size of Floor Joists \_\_\_\_\_

17. Size of Stair \_\_\_\_\_ Material of Floor \_\_\_\_\_ Size of Rafters \_\_\_\_\_ Type of Roofing \_\_\_\_\_

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Signed here \_\_\_\_\_  
(Owner or Authorized Agent)  
By [Signature]

FOR DEPARTMENT USE ONLY

PLAN CHECKING		REINFORCED CONCRETE		FEES	
Date	Receipt No.	Bbls. Cement	Tons of Reinforcing Steel	Bldg. Per	Cert. of Occupancy
Valuation \$	Fee Paid \$			Total <u>2100</u>	
OWNER / GROUP	ALTERNATE No. Occupants	Inside Lot	Key Lot	Lot line	Pool rear side
<u>[Signature]</u>		Corner Lot	Corner Lot Keyed		Fl. side
PERMIT No.	Plans and Specifications checked	Zone	Fire District	Neighborhood	Block Map No.
<u>29178</u>	<u>[Signature]</u>	<u>M-2</u>	<u>1st</u>	<u>[Signature]</u>	
PLANS	Plans, Specifications and Application rechecked and approved	City Engineer	Approved	City Engineer	Stamp here when permit issued
	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>	<u>NOV 15 1948</u>
	For Plans Fee	For Work	SPRINKLES	Specified - Required	Valuation Included
			Yes - No		

3

APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

Westbrook Form B-3 CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. ....

Tract .....

Location of Building 441 W Pico Blvd (House Number and Street) Approved by City Engineer

Between what cross streets? Grand + Hope Sts Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Restaurant Families .. Rooms .. (Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy 20 yrs

3. Use of building AFTER alteration or moving Same Families .. Rooms ..

4. Owner Francis Montgomery Phone ..

5. Owner's Address 441 W Pico Blvd P. O. L.A.

6. Certificated Architect None State License No. Phone.

7. Licensed Engineer " State License No. Phone.

8. Contractor Harry M. Lukens State License No. 17869 Phone.

9. Contractor's Address 1419 Essex St

10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon) \$600.00

11. State how many buildings NOW on lot and give use of each. 1 (Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 90 x 160 Number of stories high 5 Height to highest point 69'

13. Material Exterior Walls Masonry Exterior framework Wood Roof (Wood or Steel)

14. Describe briefly all proposed construction and work:

Install new mens toilet room.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete.

16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x

17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here H. M. Lukens (Owner or Authorized Agent)

DISTRICT OFFICE By

FOR DEPARTMENT USE ONLY

Table with columns for PLAN CHECKING and OCCUPANCY SURVEY. Includes fields for Valuation, Fee, TYPE, GROUP, For Plans See, Filed with, Area of Bldg., Fire District, District Map No., and Application checked and approved.

DO NOT WRITE BELOW THIS LINE

Table with columns: TYPE OF RECEIPT, DATE ISSUED, TRACER NO. (M), RECEIPT NO., CODE, FEE PAID. Includes entries for Plan Checking, Supplemental Plan Checking, and Building Permit.

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR. LOT PT OF 6 BLK. TRACT 17683 ADDRESS APPROVED
2. BUILDING ADDRESS 437 WEST PICO BOULEVARD DIST. MAP 5518
3. BETWEEN CROSS STREETS HOPE STREET AND GRAND AVENUE ZONE M-2-4
4. PRESENT USE OF BUILDING VACANT NEW USE OF BUILDING GROCERY DELI. FIRE DIST. 1/72
5. OWNER'S NAME FRANCIS MONTGOMERY II PHONE OL 5-6789 INSIDE KEY
6. OWNER'S ADDRESS 8623 SUNSET BOULEVARD P.O. ZONE COR. LOT REV. COR. LOT SIZE INC LEGAL
7. LIC. ARCH. STATE LICENSE PHONE J806085
8. LIC. ENGR. STATE LICENSE PHONE
9. CONTRACTOR Owner STATE LICENSE PHONE REAR ALLEY SIDE ALLEY BLDG. LINE
10. CONTRACTOR'S ADDRESS P.O. ZONE BLDG. AREA
11. SIZE OF EXISTING BLDG. 80 x 200 STORIES 8 HEIGHT NO. OF EXISTING BUILDINGS ON LOT AND USE ZERO BLDG. AREA

X666046X SEWER (Available) (Not Available)

3 437 WEST PICO BOULEVARD DISTRICT OFFICE LA

12. MATERIAL EXT. WALLS: STUCCO BRICK CONCRETE ROOF CONST. WOOD STEEL OTHER COMPO SPRINKLERS REQ'D. SPECIFIED
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$ 2000.00 VALUATION APPROVED AFFIDAVITS DOWN TOWN PARK. DIST
14. SIZE OF ADDITION: STORIES HEIGHT APPLICATION CHECKED PLANS CHECKED DWELL. UNITS
15. NEW WORK: EXT. WALLS ROOFING CHANGE OF OCCUPANCY 1620 SQ. FT. CORRECTIONS VERIFIED SPACES PARKING
As Per Req. as per File #X66046 I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.
Signed Irving J. Pollinger APPLICATION APPROVED FILE WITH CONS. BUREAU
This Form When Properly Validated is a Permit to Do the Work Described. INSPECTOR JACK CANTU CONT. INSP. COMMERCIAL

CRITICAL SOIL

Table with columns: TYPE III-A, GROUP G-2, MAX. OCC., P.C., S.P.C., G.P.I., B.P. 10.00, I.F. 10.00, O.S. \$25.00, C/O

CASHIERS USE ONLY APR-8-63 17339 E 034917 Z-1 CK 20.00
MAR-19-63 13891 3B 18-CK 25.00
P.C. No. GRADING CRIT. SOIL CONS. YES



*APPENDIX H*  
*Sanborn Map Report*

**1220-1248 S Hope St and 427-441 W Pico Blvd**

1220 South Hope Street

Los Angeles, CA 90015

Inquiry Number: 4374160.3

August 05, 2015

## Certified Sanborn® Map Report



6 Armstrong Road, 4th Floor  
Shelton, Connecticut 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

# Certified Sanborn® Map Report

8/05/15

**Site Name:**

1220-1248 S Hope St and 427-  
1220 South Hope Street  
Los Angeles, CA 90015

**Client Name:**

Alpha Environmental  
21818 Craggy View St Suite  
Chatsworth, CA 91311



EDR Inquiry # 4374160.3

Contact: Jesus Juvenal

The Sanborn Library has been searched by EDR and maps covering the target property location as provided by Alpha Environmental were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn).

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## Certified Sanborn Results:

**Site Name:** 1220-1248 S Hope St and 427-441 W Pico  
**Address:** 1220 South Hope Street  
**City, State, Zip:** Los Angeles, CA 90015  
**Cross Street:**  
**P.O. #** NA  
**Project:** 1507.90015.1732  
**Certification #** 0381-439B-8B74



Sanborn® Library search results  
Certification # 0381-439B-8B74

### Maps Provided:

1970	1958	1890
1968	1955	
1967	1953	
1963	1950	
1962	1906	
1960	1894	

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

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## Sanborn Sheet Thumbnails

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



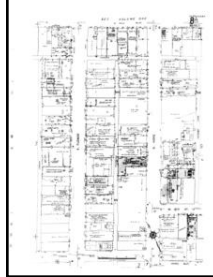
### 1970 Source Sheets



Volume 1, Sheet 89



Volume 1, Sheet 90



Volume 1A, Sheet 8a



Volume 1A, Sheet 9a

### 1968 Source Sheets



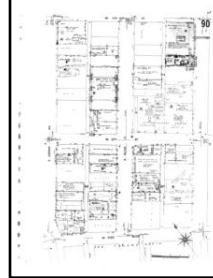
Volume 1A, Sheet 8a



Volume 1A, Sheet 9a



Volume 1, Sheet 89



Volume 1, Sheet 90

### 1967 Source Sheets



Volume 1, Sheet 89



Volume 1, Sheet 90

### 1963 Source Sheets



Volume 1, Sheet 89



Volume 1, Sheet 90



Volume 1A, Sheet 8a



Volume 1A, Sheet 9a



**1962 Source Sheets**



Volume 1, Sheet 89



Volume 1, Sheet 90

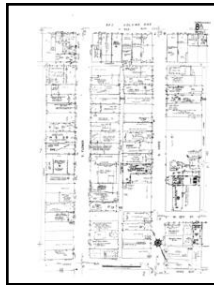
**1960 Source Sheets**



Volume 1, Sheet 89



Volume 1, Sheet 90



Volume 1A, Sheet 8a



Volume 1A, Sheet 9a

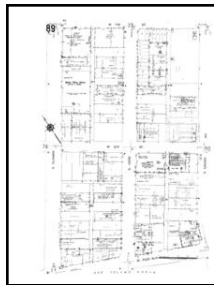
**1958 Source Sheets**



Volume 1A, Sheet 8a



Volume 1A, Sheet 9a

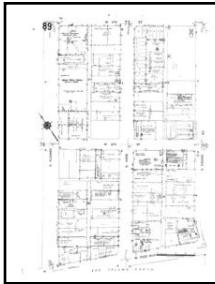


Volume 1, Sheet 89



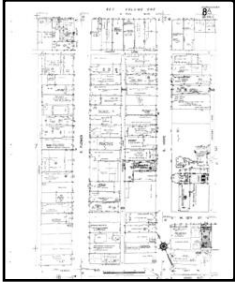
Volume 1, Sheet 90

**1955 Source Sheets**



Volume 1, Sheet 89

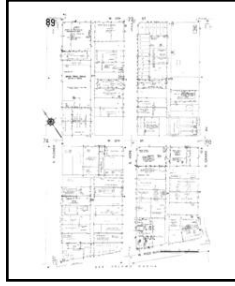
**1953 Source Sheets**



Volume 1A, Sheet 8a



Volume 1A, Sheet 9a



Volume 1, Sheet 89



Volume 1, Sheet 90

**1950 Source Sheets**



Volume 1, Sheet 89



Volume 1, Sheet 90

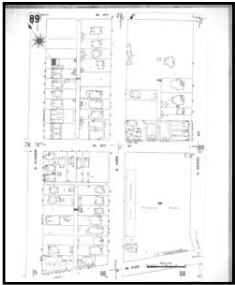


Volume 1, Sheet 98



Volume 1, Sheet 99

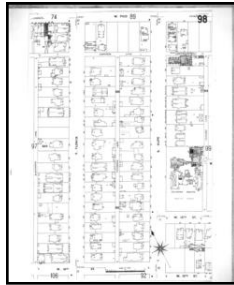
**1906 Source Sheets**



Volume 1, Sheet 89



Volume 1, Sheet 90



Volume 1, Sheet 98

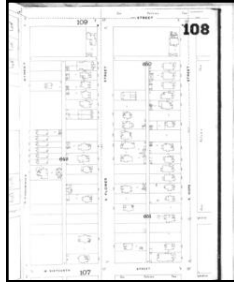
**1894 Source Sheets**



Volume 2, Sheet 53

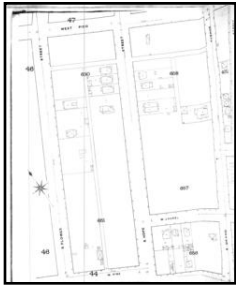


Volume 2, Sheet 54



Volume 3, Sheet 108

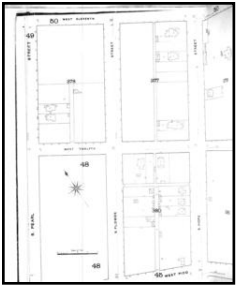
**1890 Source Sheets**



Volume 2, Sheet 45



Volume 2, Sheet 45



Volume 2, Sheet 47



Volume 2, Sheet 47

# 1970 Certified Sanborn Map



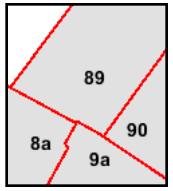
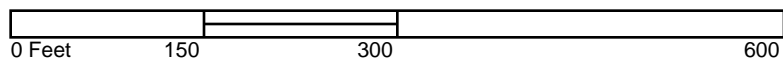
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Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8874



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



- Volume 1, Sheet 89
- Volume 1, Sheet 90
- Volume 1A, Sheet 8a
- Volume 1A, Sheet 9a





# 1968 Certified Sanborn Map

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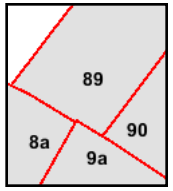
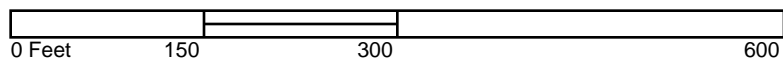
Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
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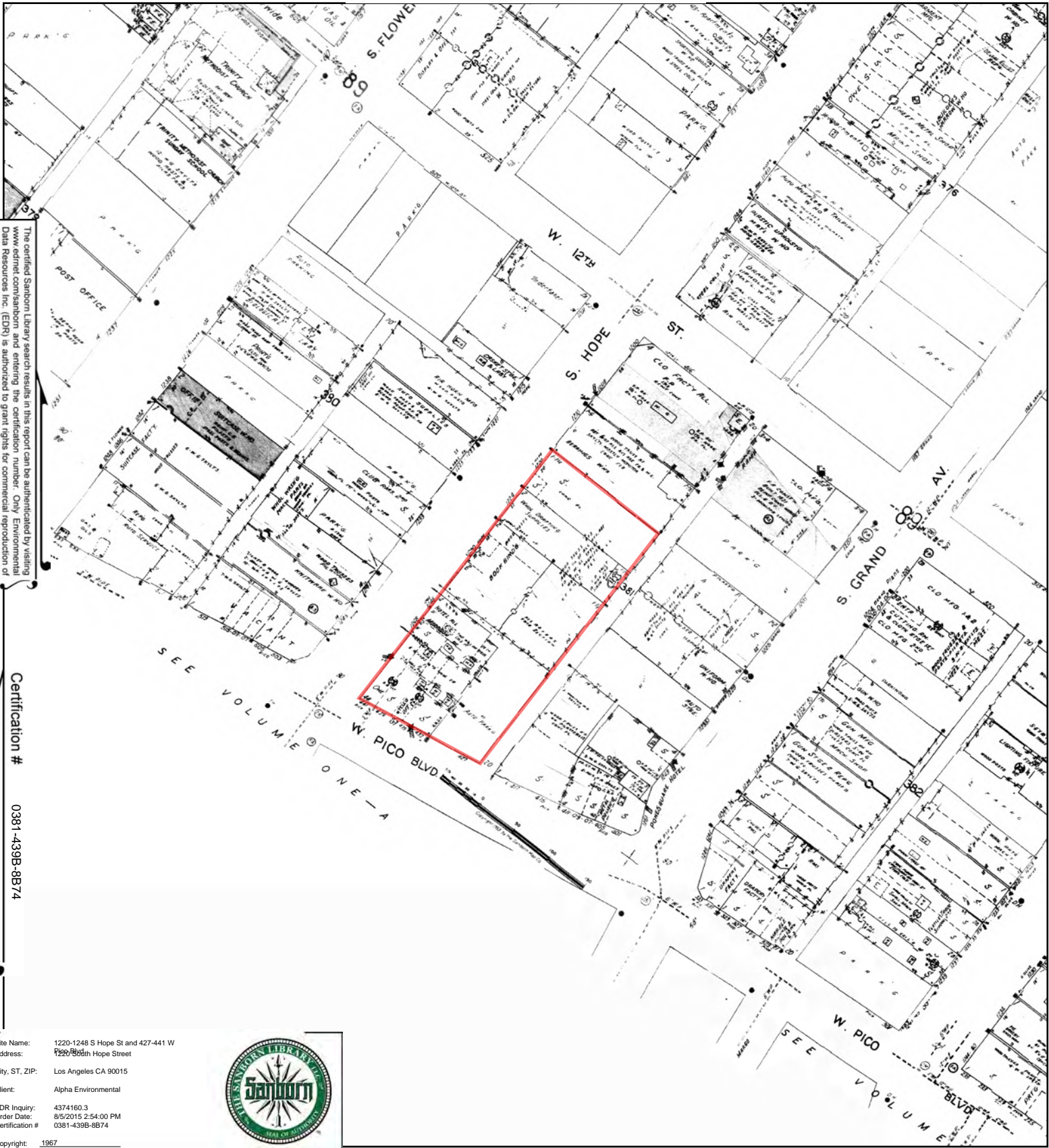


- Volume 1A, Sheet 8a
- Volume 1A, Sheet 9a
- Volume 1, Sheet 89
- Volume 1, Sheet 90





# 1967 Certified Sanborn Map



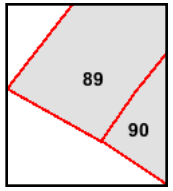
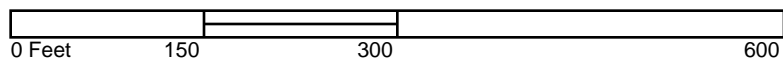
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Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574  
 Copyright: 1967



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 Volume 1, Sheet 90





# 1963 Certified Sanborn Map

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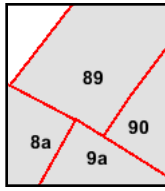
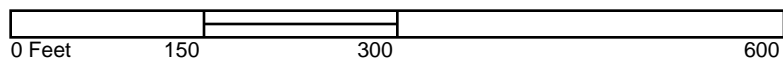
Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 1/2 S Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8874



Copyright: 1963

This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.

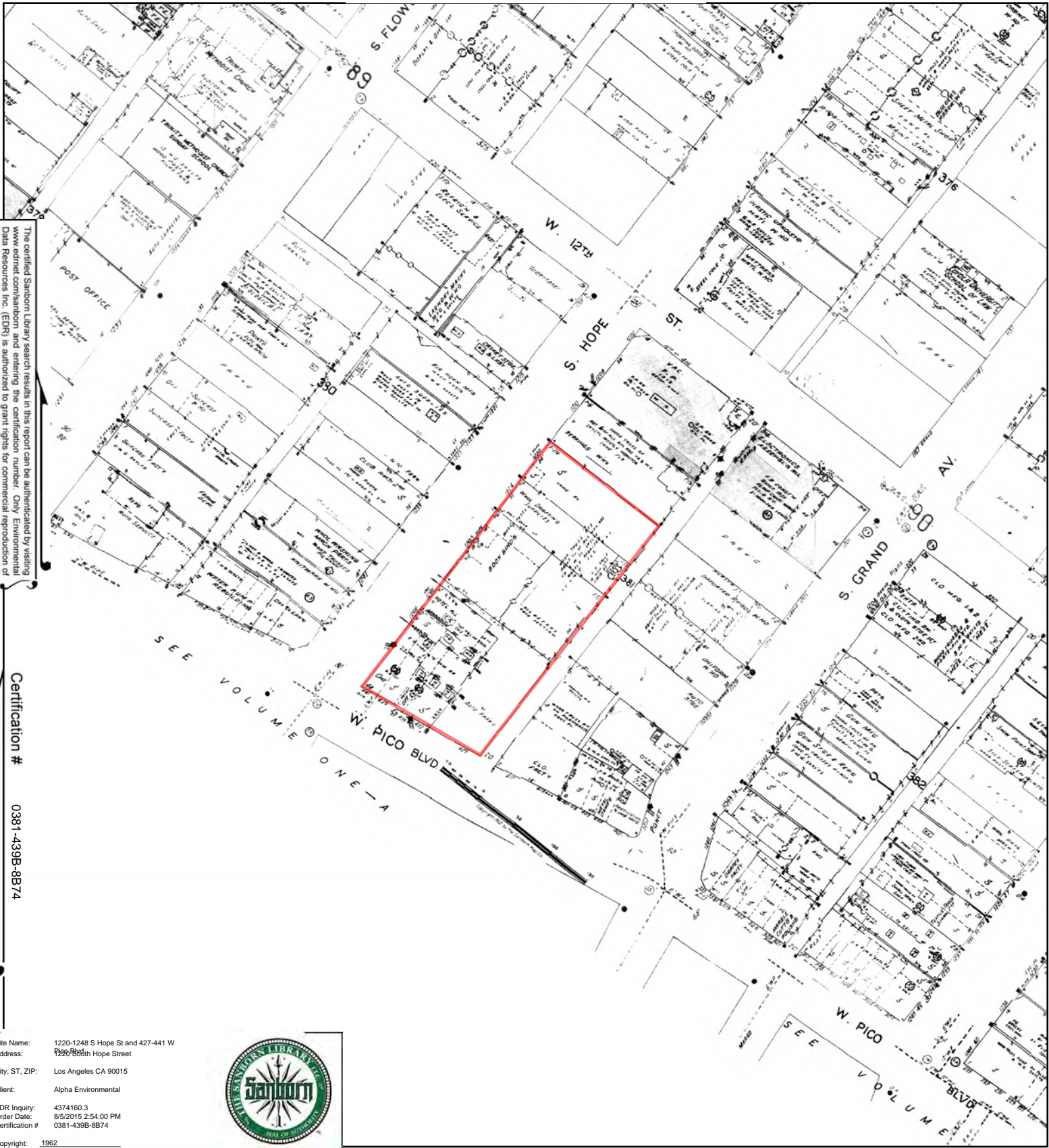


- Volume 1, Sheet 89
- Volume 1, Sheet 90
- Volume 1A, Sheet 8a
- Volume 1A, Sheet 9a





# 1962 Certified Sanborn Map



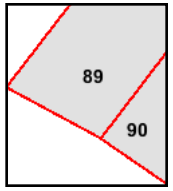
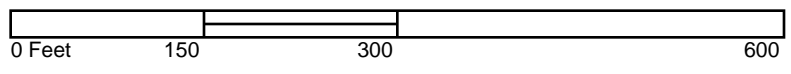
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574  
 Copyright: 1962



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 89  
 Volume 1, Sheet 90





# 1960 Certified Sanborn Map



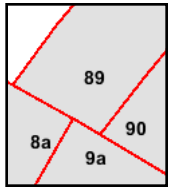
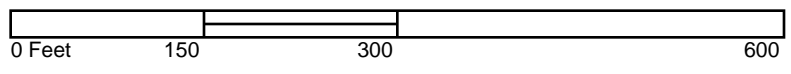
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



- Volume 1, Sheet 89
- Volume 1, Sheet 90
- Volume 1A, Sheet 8a
- Volume 1A, Sheet 9a





# 1958 Certified Sanborn Map

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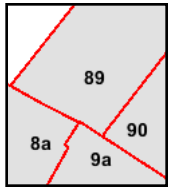
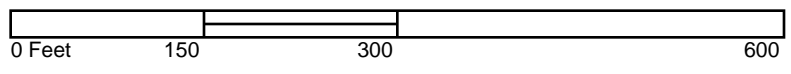
Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 1/2 Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574



Copyright: 1958

This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



- Volume 1A, Sheet 8a
- Volume 1A, Sheet 9a
- Volume 1, Sheet 89
- Volume 1, Sheet 90





# 1955 Certified Sanborn Map



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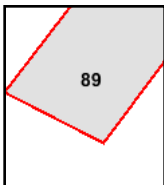
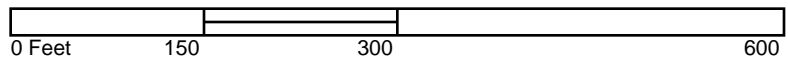
Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 Address: 1220 S Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification # 0381-439B-8874



Copyright: 1955

This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 89



# 1953 Certified Sanborn Map



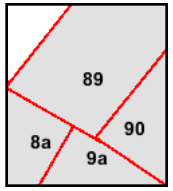
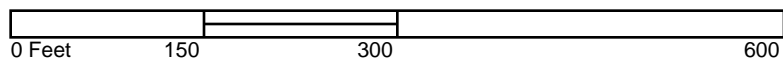
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W Pico Blvd  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574  
 Copyright: 1953



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.

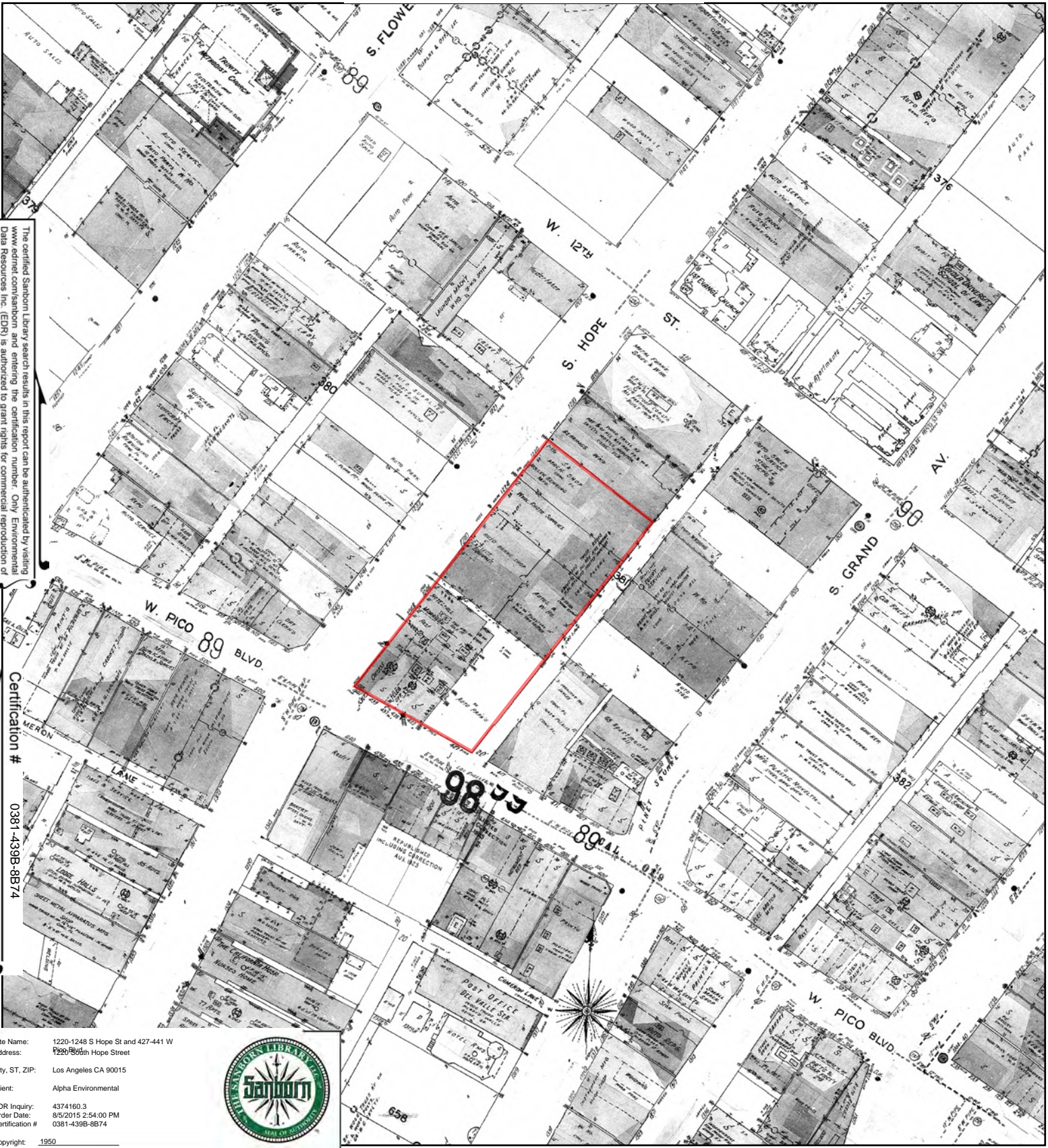


- Volume 1A, Sheet 8a
- Volume 1A, Sheet 9a
- Volume 1, Sheet 89
- Volume 1, Sheet 90





# 1950 Certified Sanborn Map



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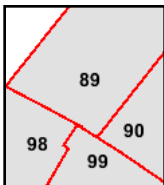
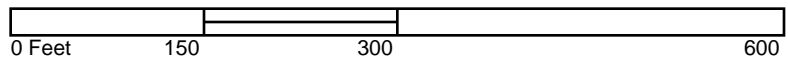
Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220-1248 S Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574



Copyright: 1950

This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.

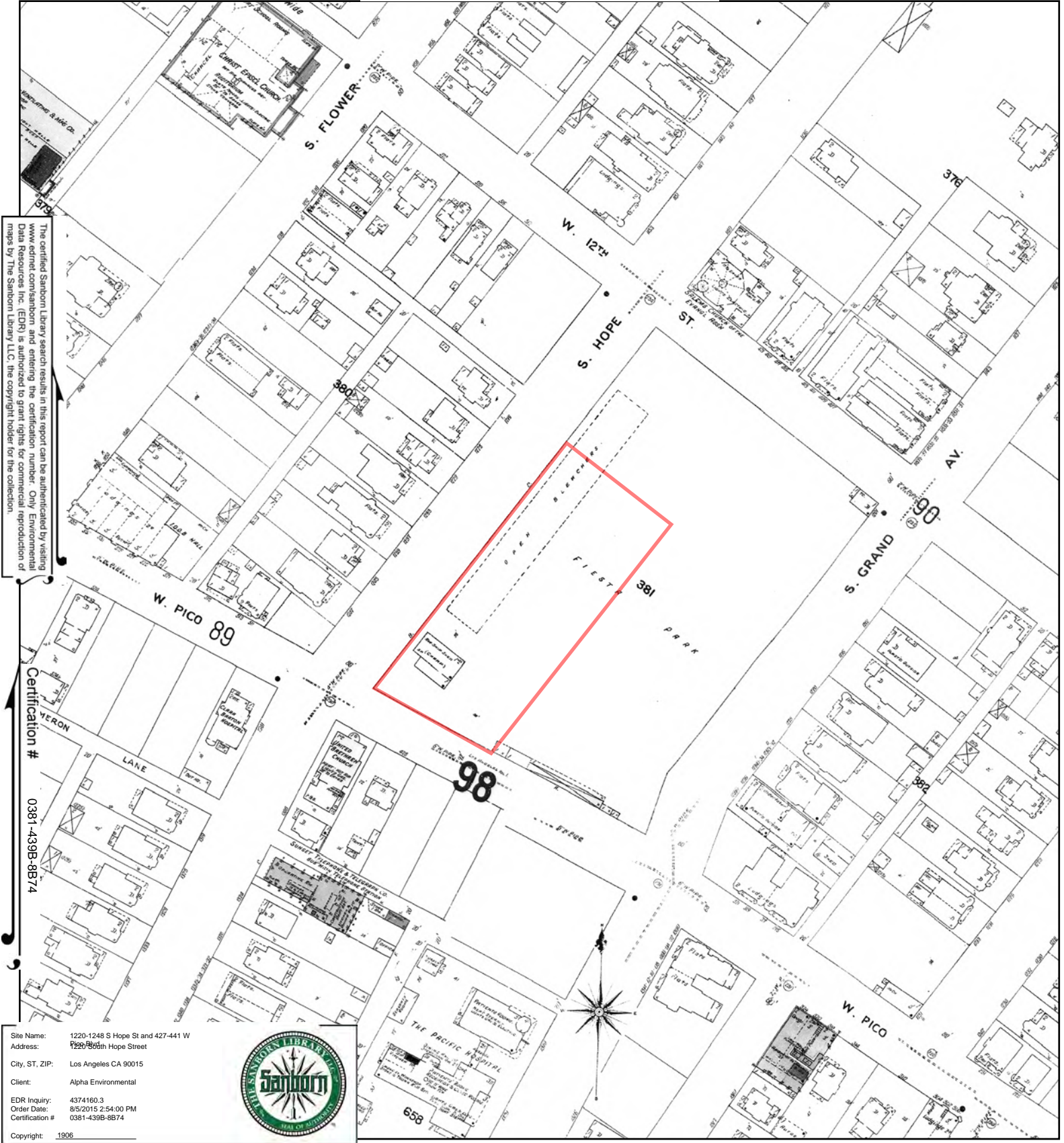


- Volume 1, Sheet 89
- Volume 1, Sheet 90
- Volume 1, Sheet 98
- Volume 1, Sheet 99





# 1906 Certified Sanborn Map



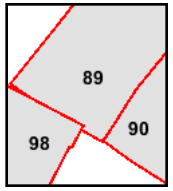
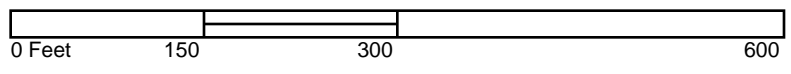
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Certification # 0381-439B-8574

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8574  
 Copyright: 1906



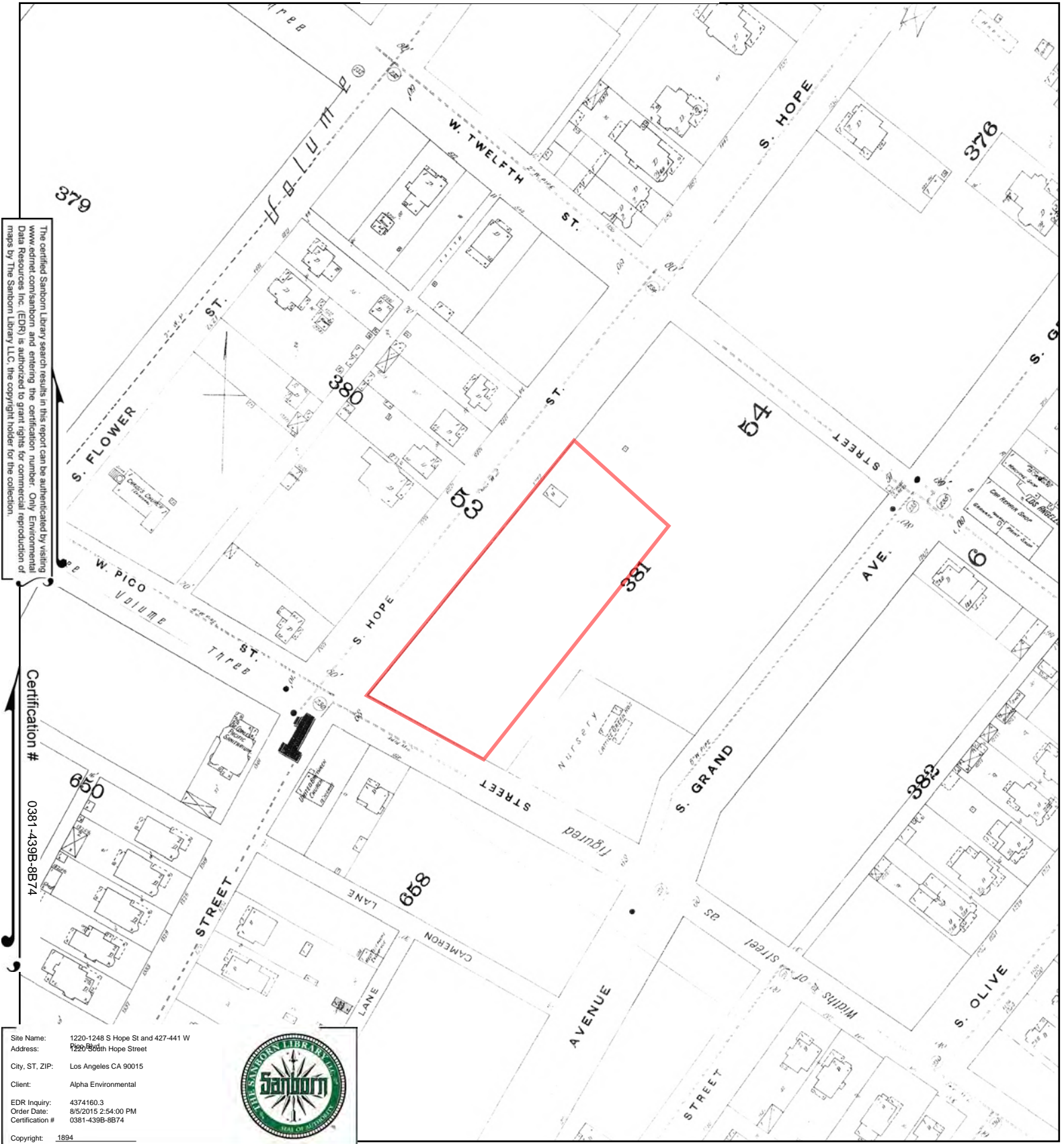
This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



- Volume 1, Sheet 89
- Volume 1, Sheet 90
- Volume 1, Sheet 98



# 1894 Certified Sanborn Map



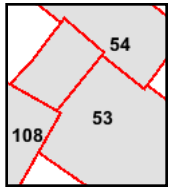
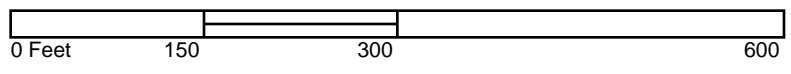
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # 0381-439B-8874

Site Name: 1220-1248 S Hope St and 427-441 W  
 Address: 1220 South Hope Street  
 City, ST, ZIP: Los Angeles CA 90015  
 Client: Alpha Environmental  
 EDR Inquiry: 4374160.3  
 Order Date: 8/5/2015 2:54:00 PM  
 Certification #: 0381-439B-8874  
 Copyright: 1894



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.

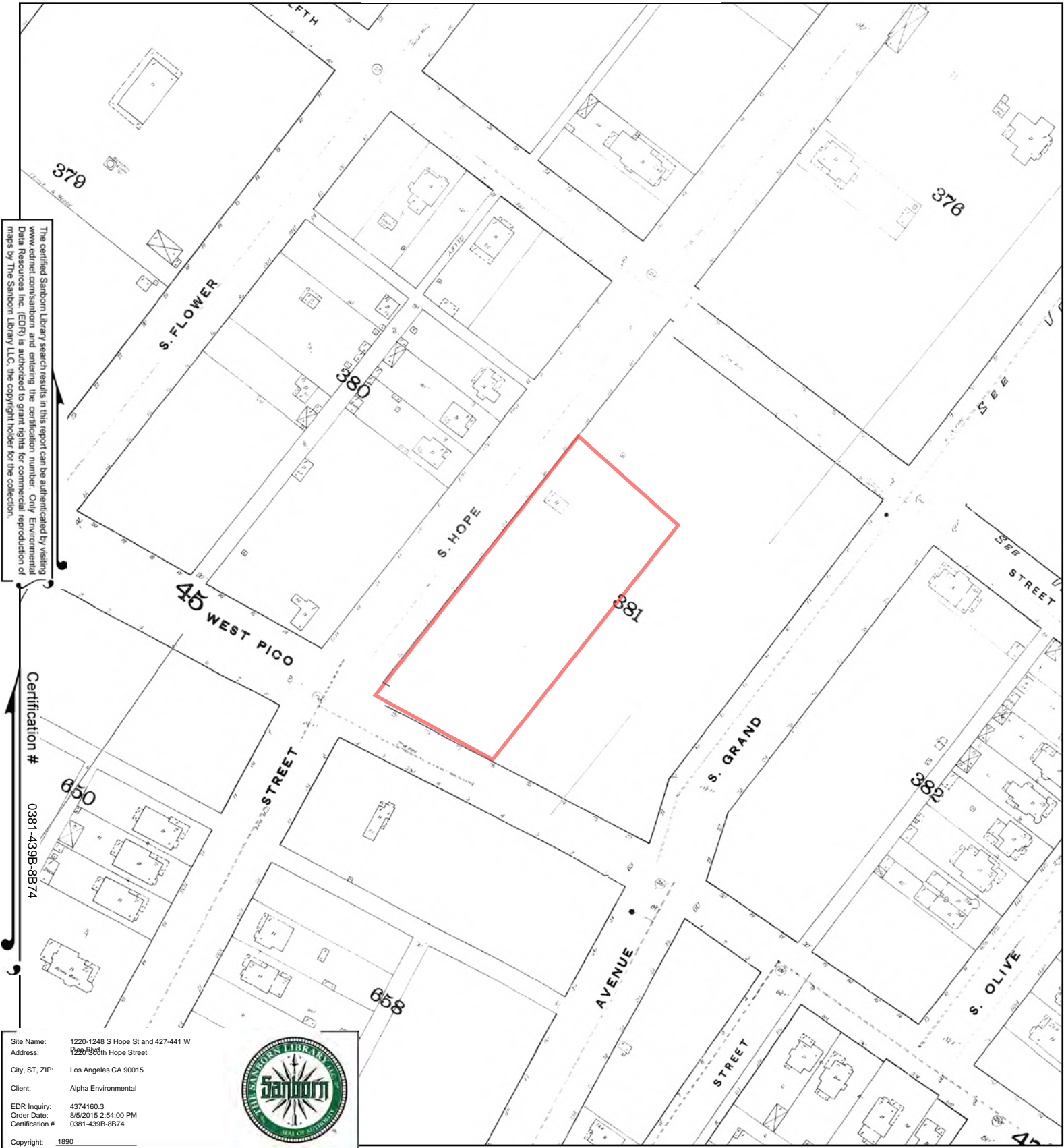


Volume 2, Sheet 53  
 Volume 2, Sheet 54  
 Volume 3, Sheet 108

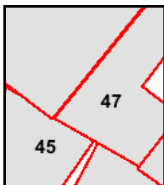
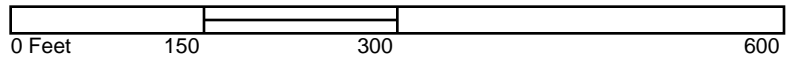




# 1890 Certified Sanborn Map



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.



- Volume 2, Sheet 45
- Volume 2, Sheet 45
- Volume 2, Sheet 47
- Volume 2, Sheet 47







*APPENDIX I*  
*Aerial Photographs*

**Aerial Photographs:** 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California



**Year: 1938**  
Source: Alpha Aerial Archives



**Year: 1948**  
Source: Nationwide Environmental Title Research, LLC



**Year: 1952**  
Source: Nationwide Environmental Title Research, LLC



**Year: 1964**  
Source: Nationwide Environmental Title Research, LLC



**Aerial Photographs:** 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California



**Year: 1972**  
Source: Nationwide Environmental Title Research, LLC



**Year: 1980**  
Source: Nationwide Environmental Title Research, LLC



**Year: 1994**  
Source: Nationwide Environmental Title Research, LLC

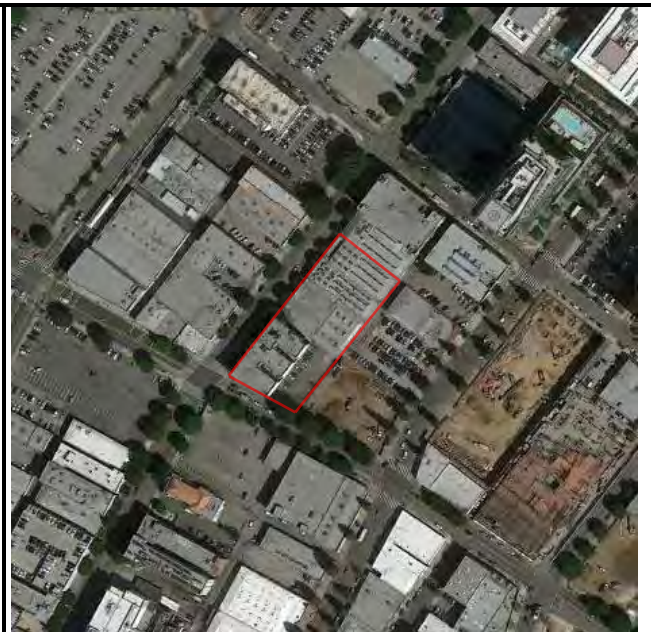


**Year: 2003**  
Source: Nationwide Environmental Title Research, LLC

**Aerial Photographs:** 1220, 1224, 1240, 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California



**Year: 2012**  
Source: Nationwide Environmental Title Research, LLC



**Year: 2015**  
Source: Google Earth



*APPENDIX J*  
*Historical City Directories*

**1220-1248 S Hope St and 427-441 W Pico Blvd**

1220 South Hope Street  
Los Angeles, CA 90015

Inquiry Number: 4374160.5  
August 05, 2015

## The EDR-City Directory Abstract

## TABLE OF CONTENTS

### SECTION

Executive Summary

Findings

City Directory Images

*Thank you for your business.*  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

### DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

Business directories including city, cross reference and telephone directories were reviewed, if available, at approximately five year intervals for the years spanning 1920 through 2013. This report compiles information gathered in this review by geocoding the latitude and longitude of properties identified and gathering information about properties within 332 feet of the target property.

A summary of the information obtained is provided in the text of this report.

### RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2013	Cole Information Services	-	X	X	-
	Cole Information Services	X	X	X	-
2008	Cole Information Services	X	X	X	-
2006	Haines Company, Inc	X	X	X	-
2004	Haines Company	-	-	-	-
2003	Haines & Company	-	-	-	-
2001	Haines Company, Inc.	-	-	-	-
2000	Haines & Company	X	X	X	-
1999	Haines Company	-	-	-	-
1996	GTE	-	-	-	-
1995	Pacific Bell	-	-	-	-
1992	PACIFIC BELL WHITE PAGES	-	-	-	-
1991	Pacific Bell	-	-	-	-
1990	Pacific Bell	-	X	X	-
	Pacific Bell	X	X	X	-
1986	Pacific Bell	-	X	X	-
	Pacific Bell	X	X	X	-
1985	Pacific Bell	-	-	-	-
1981	Pacific Telephone	-	X	X	-
	Pacific Telephone	X	X	X	-
1980	Pacific Telephone	-	X	X	-
1976	Pacific Telephone	-	X	X	-
	Pacific Telephone	X	X	X	-
1975	Pacific Telephone	-	X	X	-
1972	R. L. Polk & Co.	-	-	-	-



## EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1971	Pacific Telephone	-	X	X	-
	Pacific Telephone	X	X	X	-
1970	Pacific Telephone	-	X	X	-
1969	Pacific Telephone	-	-	-	-
1967	Pacific Telephone	-	X	X	-
	Pacific Telephone	X	X	X	-
1966	Pacific Telephone	-	X	X	-
1965	GTE	-	-	-	-
1964	Pacific Telephone	-	-	-	-
1963	Pacific Telephone	-	-	-	-
1962	Pacific Telephone	X	X	X	-
1961	R. L. Polk & Co.	-	-	-	-
1960	Pacific Telephone	-	X	X	-
1958	Pacific Telephone	-	X	X	-
	Pacific Telephone	X	X	X	-
1957	Pacific Telephone	-	X	X	-
1956	Pacific Telephone	-	X	X	-
1955	R. L. Polk & Co.	-	-	-	-
1954	R. L. Polk & Co.	-	-	-	-
1952	Los Angeles Directory Co.	-	-	-	-
1951	Los Angeles Directory Co.	-	-	-	-
1950	Pacific Telephone	-	-	-	-
1949	Los Angeles Directory Co.	-	-	-	-
1948	Associated Telephone Company, Ltd.	-	-	-	-
1947	Pacific Directory Co.	-	-	-	-
1946	Southern California Telephone Co	-	-	-	-
1945	R. L. Polk & Co.	-	-	-	-
1944	R. L. Polk & Co.	-	-	-	-
1942	Los Angeles Directory Co.	-	X	X	-
	Los Angeles Directory Co.	X	X	X	-
1940	Los Angeles Directory Co.	-	-	-	-
1939	Los Angeles Directory Co.	-	-	-	-
1938	Los Angeles Directory Company Publishers	-	-	-	-
1937	Los Angeles Directory Co.	X	X	X	-
1936	Los Angeles Directory Co.	-	-	-	-
1935	Los Angeles Directory Co.	-	-	-	-
1934	Los Angeles Directory Co.	-	-	-	-
1933	Los Angeles Directory Co.	X	X	X	-
1932	Los Angeles Directory Co.	-	-	-	-
1931	TRIBUNE-NEWS PUBLISHING CO.	-	-	-	-
1930	Los Angeles Directory Co.	-	-	-	-
1929	Los Angeles Directory Co.	X	X	X	-

## EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1928	Los Angeles Directory Co.	-	-	-	-
1927	Los Angeles Directory Co.	-	-	-	-
1926	Los Angeles Directory Co.	-	-	-	-
1925	Los Angeles Directory Co.	-	-	-	-
1924	Los Angeles Directory Co.	X	X	X	-
1923	Los Angeles Directory Co.	-	-	-	-
1921	Los Angeles Directory Co.	-	-	-	-
1920	Los Angeles Directory Co.	-	-	-	-

## EXECUTIVE SUMMARY

### SELECTED ADDRESSES

The following addresses were selected by the client, for EDR to research. An "X" indicates where information was identified.

<b><u>Address</u></b>	<b><u>Type</u></b>	<b><u>Findings</u></b>
1224 South Hope Street	Client Entered	X
1240 South Hope Street	Client Entered	X
1246 South Hope Street	Client Entered	X
1230 South Hope Street	Client Entered	
427 West Pico Boulevard	Client Entered	X
441 West Pico Boulevard	Client Entered	X
437 West Pico Boulevard	Client Entered	X
1248 South Hope Street	Client Entered	X
433 West Pico Boulevard	Client Entered	X

# FINDINGS

## TARGET PROPERTY INFORMATION

### ADDRESS

1220 South Hope Street  
Los Angeles, CA 90015

### FINDINGS DETAIL

Target Property research detail.

### HOPE S

#### 1220 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	S E DISTRIBUTION CO	Haines & Company

#### 1224 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	FIROOZ INTERNATIONAL LLC	Haines & Company
	LANADO INC	Haines & Company

#### 1240 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	NICE TEXTILE	Haines & Company

#### 1246 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	BROWN Te	Haines & Company
	GARCIA I	Haines & Company
	LESURE J	Haines & Company
	MARROQUIN Angel Pasan	Haines & Company
	MEANS Linda	Haines & Company
	MORRISON HOTEL	Haines & Company
	MORRISON HTL APTS BRADSHAW M	Haines & Company
	NELSON Donald	Haines & Company
	NTUNBA Buyikana	Haines & Company
	RAHMAN Jamil	Haines & Company
	ROBINSON Charles	Haines & Company

#### 1248 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	xxxx	Haines & Company

## FINDINGS

### **S HOPE**

#### **1220 S HOPE**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
1962	Leonard Harold & Co Inc of California	Pacific Telephone
1937	WAGNER ELECTRIC CORPORATION L G Tandberg Branch Mgr Manufacturers of Motors Transformers Fans and Lockheed Hydraulic Brakes	Los Angeles Directory Co.
1933	WAGNER ELECTRIC CORPORATION L G Tandbere Branch Mgr Manufacturers of Motors Transformers Fans and Lockheed Hydraulic Brakes	Los Angeles Directory Co.
1929	WARREN Frank L Ada auto repr	Los Angeles Directory Co.
1924	WARREN Frank C auto repr	Los Angeles Directory Co.

#### **1224 S HOPE**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
1990	ELLE DESIGNS	Pacific Bell
1986	ELLE DESIGNS	Pacific Bell
1967	Leitz A Co The survyrs Instrmnts LIETZ CO THE survyrs Instrmnts	Pacific Telephone Pacific Telephone
1962	Lietz A Co The survyrs instrmnts	Pacific Telephone
1942	AGFA ANSCO A Division of General Anillne & Film Corp Wm W Drewry Jr Branch Mgr Wholesale Photographic Supplies and Equipment	Los Angeles Directory Co.
	BURKE John L Helen lab	Los Angeles Directory Co.
1937	THOMAS RAY INC Ray Thomas Pros E M Coughlin V Pres Distributors Zenith Radios	Los Angeles Directory Co.
1933	THOMAS RAY INC Ray Thomas Pres E M Coughlin Sec Distributors Westinghouse Refrigerators Atwater Kent Radios Cunningham Radio Tubes	Los Angeles Directory Co.
1929	ATWATER KENT RADIO Ray Thomas Inc Distributors	Los Angeles Directory Co.
	THOMAS RAY INC Ray Thomas Pres Mark Smith Gen Mgr C W Griffin Sales Mgr At water Kent Radio U S L A & B Bateries Cunningham Radio Tubes Pooley Cabinets Atwater Kent Speak	Los Angeles Directory Co.
1924	CARTER AUTOMOBILE WORKS R W Carter Prop Auto Sheet Metal Works Fenders a Specialty	Los Angeles Directory Co.

#### **1230 S HOPE**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
1924	Laeneus Frank H masseur h	Los Angeles Directory Co.

## FINDINGS

### 1238 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	CALIFORNIA SCHOOL BOOK DEPOSITORY Harry A Gayton Earle G Chandler Gregg Lewis Chandler Mgr	Los Angeles Directory Co.

### 1240 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	BOOKBINDERS COMPANY	Pacific Bell
1986	BOOKBINDERS COMPANY	Pacific Bell
1981	BOOKBINDERS COMPANY	Pacific Telephone
1971	Bookbinders Company	Pacific Telephone
1967	Bookbinders Company	Pacific Telephone
1962	Bookbinders Company	Pacific Telephone
1942	Fondren Cyril slswn	Los Angeles Directory Co.
	Nathan Jack	Los Angeles Directory Co.
	WAGNER ELECTRIC CORPORATION L G Tandberg Branch Mgr Manufacturers of Motors Transformers Fans and Lockheed Hydraulic Brakes	Los Angeles Directory Co.
1937	ELECTRIC EQUIPMENT COMPANY INC Ray Thomas Pres Barry Cool v Pres and Mgr E M Coughlin sec Southern California Distributors for Genuine Automotive Electrical Equipment	Los Angeles Directory Co.
	Intveldt John B printer Evening Herald & Exp	Los Angeles Directory Co.
	Normile Martin prsmn Robt Ashdon	Los Angeles Directory Co.
1933	ELECTRIC EQUIPMENT COMPANY INC Ray Thomas Pres Barry Cool V pres and Genl Mgr E M Coughlin Sec Southern Cakifornia Distributors for Genuine Automotive Electrical Equipme	Los Angeles Directory Co.
	LOWE Kenneth Betty field mar Mc Call Co	Los Angeles Directory Co.
	Ludwig Harold slsmn Mc Call Co	Los Angeles Directory Co.
	YATES Walter slsmn Mc Call Co	Los Angeles Directory Co.
1929	ELECTRIC EQUIPMENT COMPANY INC R R Thomas Pres H S Mason V Pres and Gan Mgr E M Coughln Sec Automotive Electricians	Los Angeles Directory Co.
1924	ATWATER KENT MANUFACTURING CO Ignition Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	BRIGGS & STRATTON CO SWITCHES Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	CONNECTICUT TELEPHONE & ELECTRIC CO Ignition Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	DELCO TARTING AND LIGHTING Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	DYNETO ELECTRIC CORPORATION STARTING AND LIGHTING Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	EISEMANN MAGNETO CORPORATION MAGNETOS Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	ELECTRIC AUTO LITE CORPORATION TARTING AND LIGHTING Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	ELECTRIC EQUIPMENT COMPANY INC R R Thomas Pres H S Mason V Pres and Gen Mgr E M Coughlin Sec Automotive Electricians	Los Angeles Directory Co.
	K W IGNITION CO Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	LEECE NEVILLE CO STARTING AND LIGHTING Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	Mc CORMICK Clara bkpr Elec Equipment Co r	Los Angeles Directory Co.
	REMY TARTING AND LIGHTING Elecric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	UNITED STATES LIGHT & HEAT CORPORATION U S L Batteries Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	WALTHAM WATCH CO AUTO DIVISION SPEEDOMETERS Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.
	WESTINGHOUSE ELECTRIC & MANUFACTURING CO STARTING AND LIGHTING Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.

### 1246 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	BARRERA JAVIER	Pacific Bell
	BRIONES M S	Pacific Bell
	FLORES HECTOR F	Pacific Bell
	GARCIA J M M	Pacific Bell

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	LUGO REFUGIO	Pacific Bell
	MARTINEZ LETICIA L	Pacific Bell
	MEDRANO JESUS MANUEL	Pacific Bell
	NARANJO MARIA	Pacific Bell
	OSORIO CARLOS	Pacific Bell
	RAMIREZ JAVIER	Pacific Bell
	RECINOS NOE	Pacific Bell
	RENERIA GLORIA	Pacific Bell
	RODRIGUEZ PALM READER	Pacific Bell
	SALAS JULIA	Pacific Bell
1986	SILVA MARIANA	Pacific Bell
	ACEVEZ MARCELINA	Pacific Bell
	FLORES HECTOR F	Pacific Bell
	GUZMAN BERTHA	Pacific Bell
	MOSCOSO Y	Pacific Bell
	ORTEGA MARIA CARMEN	Pacific Bell
	RAMIREZ SOROCCO	Pacific Bell
1981	TORREZ JOSE & MARINA	Pacific Bell
	FLORES HECTOR F	Pacific Telephone
	GUADALUPE AIDA	Pacific Telephone
1971	VARGAS PEDRO	Pacific Telephone
	Golding Joe	Pacific Telephone
1967	Morrison Hotel	Pacific Telephone
	Golding Joe	Pacific Telephone
1962	Morrison Hotel	Pacific Telephone
	Golding Joe	Pacific Telephone
1942	Morrison Hotel	Pacific Telephone
	ALEXANDER E F	Los Angeles Directory Co.
	Algaze N O	Los Angeles Directory Co.
	ANDERSON Arth	Los Angeles Directory Co.
	ANDERSON Harry	Los Angeles Directory Co.
	APPLEGATE Richd	Los Angeles Directory Co.
	BAILEY Leonard	Los Angeles Directory Co.
	BARNETT Jack	Los Angeles Directory Co.
	BEACH Carl H restr	Los Angeles Directory Co.
	BEACH Rex	Los Angeles Directory Co.
BEATTY Malcolm	Los Angeles Directory Co.	
BLAKE W F	Los Angeles Directory Co.	



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	Boltz Frank	Los Angeles Directory Co.
	Breole Marne A Mrs nurse Genl Hosp	Los Angeles Directory Co.
	Brockman N W	Los Angeles Directory Co.
	BURKE O Mrs	Los Angeles Directory Co.
	BURNS J D	Los Angeles Directory Co.
	Capalungo R J	Los Angeles Directory Co.
	CLARK John	Los Angeles Directory Co.
	Clarkson Genevieve	Los Angeles Directory Co.
	CLEMENTS M	Los Angeles Directory Co.
	COLLINS Bernard V servmn Greene Haldeman Co	Los Angeles Directory Co.
	COOK La Verne	Los Angeles Directory Co.
	COON Lulu W tel opr	Los Angeles Directory Co.
	CROWLEY Ida	Los Angeles Directory Co.
	CURRAN Wm	Los Angeles Directory Co.
	DAVIS W R	Los Angeles Directory Co.
	DENNIS Howard H slsmn Transport Motor Co	Los Angeles Directory Co.
	Domer Kath M restrwkr	Los Angeles Directory Co.
	Dromer Kath	Los Angeles Directory Co.
	Duus Ray	Los Angeles Directory Co.
	Dyess Arlene	Los Angeles Directory Co.
	Dyson I	Los Angeles Directory Co.
	Dyson J Kenneth Grace E Rohner Mach Wks	Los Angeles Directory Co.
	Easso Abr	Los Angeles Directory Co.
	Eisenberg Jean	Los Angeles Directory Co.
	Erlandson Roy G printer	Los Angeles Directory Co.
	Felger Harry	Los Angeles Directory Co.
	Fendren Sybil	Los Angeles Directory Co.
	FINK Ben	Los Angeles Directory Co.
	FITZGERALD Cath	Los Angeles Directory Co.
	FORSYTHE Fern	Los Angeles Directory Co.
	Foss C M	Los Angeles Directory Co.
	FRAZIER Curtis L mgr A B Williams	Los Angeles Directory Co.
	FRAZIER Larry	Los Angeles Directory Co.
	Gartino J	Los Angeles Directory Co.
	GLENN Chas	Los Angeles Directory Co.
	Godfrieaux Steph	Los Angeles Directory Co.
	Gottlieb Dorothy	Los Angeles Directory Co.
	Gragg Geo A slsmn Leiland A Irish	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	HARRINGTON Michl	Los Angeles Directory Co.
	HARRIS Edw cook Genl Hosp	Los Angeles Directory Co.
	HARRIS Jos H mach	Los Angeles Directory Co.
	HARRIS Richd L bkpr B of A	Los Angeles Directory Co.
	HARRIS Robt	Los Angeles Directory Co.
	Hodges Arth D S registrar Marinello Sch of Beauty Culture	Los Angeles Directory Co.
	Hodges C F	Los Angeles Directory Co.
	Hoggeth John	Los Angeles Directory Co.
	Horton Bernice bkpr Winslow B Felix Co	Los Angeles Directory Co.
	Horton D H Mrs	Los Angeles Directory Co.
	HUTCHINSON L Mrs	Los Angeles Directory Co.
	Intveldt Jacques B printer LAEH & E	Los Angeles Directory Co.
	IRWIN C Mrs	Los Angeles Directory Co.
	Jacinto Roland M	Los Angeles Directory Co.
	Kappleman Jean	Los Angeles Directory Co.
	Kumalac Mary L Mrs waiter	Los Angeles Directory Co.
	Kumlac Fred C	Los Angeles Directory Co.
	KURTZ Wm	Los Angeles Directory Co.
	LAMONT Geo whol gifts	Los Angeles Directory Co.
	LEE Francis	Los Angeles Directory Co.
	Lewellyn E Mrs	Los Angeles Directory Co.
	LEWIS Chas	Los Angeles Directory Co.
	Livermore Dolly	Los Angeles Directory Co.
	Llewellyn Eliz G bkpr Winslow B Felix Co	Los Angeles Directory Co.
	Luton Harry	Los Angeles Directory Co.
	Maisenkaldler Wilton	Los Angeles Directory Co.
	Malsbury Orrin H slsmn L O Dodson	Los Angeles Directory Co.
	Maraguglia Albt	Los Angeles Directory Co.
	Marquis Geo	Los Angeles Directory Co.
	Marquis M	Los Angeles Directory Co.
	Mc BEAN F L Mrs	Los Angeles Directory Co.
	Mc MILLAN F L	Los Angeles Directory Co.
	MERRILL Betty	Los Angeles Directory Co.
	Metz Elsie	Los Angeles Directory Co.
	MEYERS Betty	Los Angeles Directory Co.
	MILLER Louis	Los Angeles Directory Co.
	MORRISON Hotel	Los Angeles Directory Co.
	Mullineaux I	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	NICHOLSON Ruby	Los Angeles Directory Co.
	Norswing Mabel Mrs clk	Los Angeles Directory Co.
	OLSON Alma	Los Angeles Directory Co.
	OLSON O Jordan stationery	Los Angeles Directory Co.
	OTT Marjorie	Los Angeles Directory Co.
	PARKER O Z	Los Angeles Directory Co.
	PERKINS Iva	Los Angeles Directory Co.
	Polo Josephine	Los Angeles Directory Co.
	Pomplin J E	Los Angeles Directory Co.
	RHOADES Hazel	Los Angeles Directory Co.
	Rhump Fred bkpr A B Greenewald Co	Los Angeles Directory Co.
	Ricks E H	Los Angeles Directory Co.
	ROSE H J	Los Angeles Directory Co.
	ROSS Carl	Los Angeles Directory Co.
	ROSS Michl restr	Los Angeles Directory Co.
	SCHAEFER Felix	Los Angeles Directory Co.
	Seigal S	Los Angeles Directory Co.
	Sharren John	Los Angeles Directory Co.
	Shatz Ida	Los Angeles Directory Co.
	SHEAHAN L D mgr Morrison Hotel	Los Angeles Directory Co.
	SILER E	Los Angeles Directory Co.
	Silver Louis	Los Angeles Directory Co.
	SMITH Chas	Los Angeles Directory Co.
	Smythe John	Los Angeles Directory Co.
	Soberg Harry	Los Angeles Directory Co.
	TAYLOR T O clk	Los Angeles Directory Co.
	THOMAS Geo	Los Angeles Directory Co.
	VANCE Geo B	Los Angeles Directory Co.
	WALKER John	Los Angeles Directory Co.
	Whiteley Margrt	Los Angeles Directory Co.
Zundel John	Los Angeles Directory Co.	
1937	Aho Ina Beverly Arms Beauty Salon	Los Angeles Directory Co.
	ALEXANDER E R	Los Angeles Directory Co.
	Algaze Nissim	Los Angeles Directory Co.
	ALLISON Lewis Mrs	Los Angeles Directory Co.
	ANDERSON Laura	Los Angeles Directory Co.
	BARKER Gertrude	Los Angeles Directory Co.
	BATES Lee	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1937	BERG Jacob asst formn Illustrated Daily News	Los Angeles Directory Co.
	BERTIN Frank A	Los Angeles Directory Co.
	BOYDEN Estelle slsw	Los Angeles Directory Co.
	Brisbin Josephine	Los Angeles Directory Co.
	Brown Al	Los Angeles Directory Co.
	Brown Albt Carol slsmn L A Times	Los Angeles Directory Co.
	BURGESS Richd	Los Angeles Directory Co.
	BURKE John	Los Angeles Directory Co.
	Burkhead O G drftsmn Superior Oil Co	Los Angeles Directory Co.
	BURNHAM Larry comp Times Mirror Ptg & Bndg House	Los Angeles Directory Co.
	CASPER Jean	Los Angeles Directory Co.
	CHAPMAN Jas	Los Angeles Directory Co.
	CLARKE John H city editor City News Serv	Los Angeles Directory Co.
	Cockburn H Mrs	Los Angeles Directory Co.
	COLE Rose	Los Angeles Directory Co.
	COOK Chas D slsmn May Co	Los Angeles Directory Co.
	COON A B	Los Angeles Directory Co.
	Cronkhite L L	Los Angeles Directory Co.
	Cruze Don	Los Angeles Directory Co.
	Driscoll F G	Los Angeles Directory Co.
	Dye Walter	Los Angeles Directory Co.
	Elliott Wayne R	Los Angeles Directory Co.
	ERNST Geo W cigarmkr	Los Angeles Directory Co.
	FAGIN Sam	Los Angeles Directory Co.
	Fennema Bessel sten Carl N Corwin Co	Los Angeles Directory Co.
	FORD Frances H	Los Angeles Directory Co.
	Greene Danl M restr wkr	Los Angeles Directory Co.
	Hambach J M Mrs	Los Angeles Directory Co.
	Hanlon John T	Los Angeles Directory Co.
	HAZEL Geo M mgr Morrison Hotel	Los Angeles Directory Co.
	HAZEL Ruth E	Los Angeles Directory Co.
	HUNTER W B	Los Angeles Directory Co.
	Inveldt J B	Los Angeles Directory Co.
	JOHNSON Lulu W wid Theo tel opr	Los Angeles Directory Co.
	Kay Haig P	Los Angeles Directory Co.
	Lewis Chas A	Los Angeles Directory Co.
	LIND Jas	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1937	LOUDON Woodrow H	Los Angeles Directory Co.	
	Lupe Delbert	Los Angeles Directory Co.	
	MARKS Edw	Los Angeles Directory Co.	
	MARTIN Roy H prsmn Arrow Press	Los Angeles Directory Co.	
	Marts Howard E	Los Angeles Directory Co.	
	Marzo F G	Los Angeles Directory Co.	
	MEAD Hazel R sten Peckham & Green	Los Angeles Directory Co.	
	METZ Elsie	Los Angeles Directory Co.	
	MORRISON Hotel	Los Angeles Directory Co.	
	NICHOLS E L	Los Angeles Directory Co.	
	Norswing Mabel clk	Los Angeles Directory Co.	
	OLSON O Jorgen Olson The Stationers	Los Angeles Directory Co.	
	PERSON Emma H	Los Angeles Directory Co.	
	Persons Gertrude S	Los Angeles Directory Co.	
	PETERS Mason	Los Angeles Directory Co.	
	PRICE Clara	Los Angeles Directory Co.	
	Purves Wm C irector Mehle Printing Press & Mfg Co	Los Angeles Directory Co.	
	QUEEN Frances	Los Angeles Directory Co.	
	Rivard F G	Los Angeles Directory Co.	
	Roggy Joseph W mgr F P Simpson	Los Angeles Directory Co.	
	ROSE Jess Beatrice mgr Lorabee Mfg Co	Los Angeles Directory Co.	
	SANDERS W F	Los Angeles Directory Co.	
	SAYER J W	Los Angeles Directory Co.	
	SAYER Jos W Sayers Cafe	Los Angeles Directory Co.	
	Sayers Iola Mrs Sayers Cafe	Los Angeles Directory Co.	
	Sheahan Jerry J	Los Angeles Directory Co.	
	Sheumaker Wm M	Los Angeles Directory Co.	
	TILL R C	Los Angeles Directory Co.	
	Valerius Jack E mech	Los Angeles Directory Co.	
	VAN ZANDT Margt	Los Angeles Directory Co.	
	1933	Alvey Flavian G mfg jwlr	Los Angeles Directory Co.
		BERG Jacob J clk	Los Angeles Directory Co.
		Dawson Clara A cash Ralphs Gro Co	Los Angeles Directory Co.
FAHEY Michl J clk		Los Angeles Directory Co.	
GREEN C C slsmn Am Auto Owners Assn		Los Angeles Directory Co.	
Hanks Reuel M Grace asst eng Sou Cal Gas Co		Los Angeles Directory Co.	
Heaston Cleve police		Los Angeles Directory Co.	

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	HOWE L Vernon real est	Los Angeles Directory Co.
	LESTER Geo jr lawyer	Los Angeles Directory Co.
	MARSHALL F H slsmn Schwab Safe Co	Los Angeles Directory Co.
	MOORE Thos J dye hlpr	Los Angeles Directory Co.
	MORRISON Hotel	Los Angeles Directory Co.
	Parks Nellie wid O H	Los Angeles Directory Co.
	SMITH Winfred S Slsmn A C Hansen	Los Angeles Directory Co.
	Staley Chester J lawyer	Los Angeles Directory Co.
	Zimmerman Edw L mach	Los Angeles Directory Co.
1929	ABRAMS Stanley sten	Los Angeles Directory Co.
	Arnold Fred M slsmn J C Houck	Los Angeles Directory Co.
	Ayer Peggy	Los Angeles Directory Co.
	Barkhurst Harry	Los Angeles Directory Co.
	BATES H C	Los Angeles Directory Co.
	BENNETT Don A elev opr	Los Angeles Directory Co.
	BENNETT Geo slsmn Hellman Hdwe Co	Los Angeles Directory Co.
	BENNETT W D	Los Angeles Directory Co.
	BRADLEY J F	Los Angeles Directory Co.
	BREEZE Ora Mrs	Los Angeles Directory Co.
	Bristol Harold with Western Whol Drug Co	Los Angeles Directory Co.
	BROWN Chloe	Los Angeles Directory Co.
	BURNS Helen	Los Angeles Directory Co.
	Calhoun J D	Los Angeles Directory Co.
	CARPENTER Mabel mfrs agt	Los Angeles Directory Co.
	COLEMAN Ada L priv sec Texas Co	Los Angeles Directory Co.
	COOPER E	Los Angeles Directory Co.
	Dawson Clara Mrs	Los Angeles Directory Co.
	Dehmer G K	Los Angeles Directory Co.
	Desmond Agnes	Los Angeles Directory Co.
	du Quesnay J L	Los Angeles Directory Co.
	Duquenne G C	Los Angeles Directory Co.
	Eppens Chas J	Los Angeles Directory Co.
	FOLEY Jack	Los Angeles Directory Co.
	FUDGE John	Los Angeles Directory Co.
	Gaebel Curt C slsmn Reeve Gartzmann	Los Angeles Directory Co.
	Gilbert Addie	Los Angeles Directory Co.
	GLASER Carl C artist	Los Angeles Directory Co.
	HANSEN AI	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1929	HARTLEY Walter M B Grand Bowling Alleys	Los Angeles Directory Co.
	Hauptman C	Los Angeles Directory Co.
	HEWITT Irene clk	Los Angeles Directory Co.
	Homeyer Wm	Los Angeles Directory Co.
	Hoydar J E	Los Angeles Directory Co.
	JENSEN Marion S	Los Angeles Directory Co.
	Jenson E K	Los Angeles Directory Co.
	Kirchen Nicholas mach	Los Angeles Directory Co.
	Kluver Roy cameramn	Los Angeles Directory Co.
	Kollehner E K	Los Angeles Directory Co.
	Kollehner Rudolph J drftsmn Standard Cabt Wks	Los Angeles Directory Co.
	Koory Anna Mrs	Los Angeles Directory Co.
	Ladd A C	Los Angeles Directory Co.
	Lauritzen Fred	Los Angeles Directory Co.
	Lord Geo M traffic rep Western Air Exp	Los Angeles Directory Co.
	MAINWARING Edw W riveter	Los Angeles Directory Co.
	Mc GREW Saml S C electn	Los Angeles Directory Co.
	MOORE Mary C	Los Angeles Directory Co.
	MOORE Thos J yarn dyer	Los Angeles Directory Co.
	MOREY Mabel mfrs agt	Los Angeles Directory Co.
	MORRISON Hotel	Los Angeles Directory Co.
	MYERS F	Los Angeles Directory Co.
	OGDEN S S Mrs	Los Angeles Directory Co.
	OHara Mabel	Los Angeles Directory Co.
	OLSEN J John A die mkr	Los Angeles Directory Co.
	Pfetzing Earl jwlr	Los Angeles Directory Co.
	PHILLIPS Jas	Los Angeles Directory Co.
	Pierpont A B	Los Angeles Directory Co.
	Pluff F J r	Los Angeles Directory Co.
	Redmond Allen E designer Natl Supp Co r	Los Angeles Directory Co.
	Reig Nellie r	Los Angeles Directory Co.
	RICHISON Sylvia cafeteria wkr r	Los Angeles Directory Co.
	RITCHIE E D r	Los Angeles Directory Co.
	ROTHSCHILD Wm r	Los Angeles Directory Co.
	SHARPE E r	Los Angeles Directory Co.
	SHEPHERD Francis r	Los Angeles Directory Co.
	SIEBERT O W slsmn W V Patterson r	Los Angeles Directory Co.
	SMITH Arth r	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1929	Southwell Muriel bkpr Hotel Morrison r	Los Angeles Directory Co.
	STUDLEY Porter L with exhibit dept Chamber of Commerce r	Los Angeles Directory Co.
	TAYLOR L stereo r	Los Angeles Directory Co.
	Walker A Miss mgr Hotel Morrison r	Los Angeles Directory Co.
	Wardlaw Saml spl Investigator L A Pub Library r	Los Angeles Directory Co.
	WARE W C r	Los Angeles Directory Co.
	WEBB Philip r	Los Angeles Directory Co.
	WEST Geo r	Los Angeles Directory Co.
	WEST Gilbert chauf r	Los Angeles Directory Co.
	WILLIAMS J H r	Los Angeles Directory Co.
1924	ZIMMERMAN E L mach opr r	Los Angeles Directory Co.
	BALDWIN Louise telep opr r	Los Angeles Directory Co.
	BANKS Firlie r	Los Angeles Directory Co.
	Baxter James V elev opr r	Los Angeles Directory Co.
	BEHR Edmond r	Los Angeles Directory Co.
	Bertelsen Edwd clk r	Los Angeles Directory Co.
	BOYD Donald mgr Hamburgers r	Los Angeles Directory Co.
	Boyer Bessie The Florentine Co r	Los Angeles Directory Co.
	BRETT R J r	Los Angeles Directory Co.
	BURKE Anna M telep opr r	Los Angeles Directory Co.
	BURKE Rose r	Los Angeles Directory Co.
	BURTON Jack r	Los Angeles Directory Co.
	BYRNE W P r	Los Angeles Directory Co.
	Cariens Chas r	Los Angeles Directory Co.
	CHAMBERS Ruth r	Los Angeles Directory Co.
	CHANEY Geo r	Los Angeles Directory Co.
	Conard E C slsmn W P Herbert Co r	Los Angeles Directory Co.
	CONDON Thos r	Los Angeles Directory Co.
	CONNELLY Cath treas Egan Theatre r	Los Angeles Directory Co.
	CONRAD C r	Los Angeles Directory Co.
	CULP Andw r	Los Angeles Directory Co.
	CUMMINGS Hugh J r	Los Angeles Directory Co.
	DAGGETT Stanley A slsmn H J Wurzburger r	Los Angeles Directory Co.
	De Witt C W r	Los Angeles Directory Co.
	DEWITT M B treas F E Conway Mortgage Co of Cal r	Los Angeles Directory Co.
	DEWITT Marion B bkpr F E Conway r	Los Angeles Directory Co.
	Doan Chas r	Los Angeles Directory Co.



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	Farrier Peggy r	Los Angeles Directory Co.
	Ferrier Margt steno r	Los Angeles Directory Co.
	Golden Jack A window trmr r	Los Angeles Directory Co.
	Golden Sadero asst Dr G Steele r	Los Angeles Directory Co.
	GOOD Melvin S searcher r	Los Angeles Directory Co.
	Gustine Bernice Insp Bullocke r	Los Angeles Directory Co.
	Gustine T M Miss r	Los Angeles Directory Co.
	Hahn V Mrs r	Los Angeles Directory Co.
	Ham P N bkpr St Louis Fire Brick & Clay Co r	Los Angeles Directory Co.
	HARRIS Phyllis B Mrs clk r	Los Angeles Directory Co.
	Haugen Alvin W slsmn Puritas Coffee & Tea Co r	Los Angeles Directory Co.
	HERMAN Lester clk r	Los Angeles Directory Co.
	Heydenfeldt Sol E dept mgr Reo Motor Car Co r	Los Angeles Directory Co.
	HUSTON L Adelaide r	Los Angeles Directory Co.
	Isenberg Danl P slsmn Blue Ribbon Beverage Co r	Los Angeles Directory Co.
	JACKSON Neal r	Los Angeles Directory Co.
	JOHNSON Marie Mrs cahsr Reo Motor Car Co r	Los Angeles Directory Co.
	JOYCE Ned r	Los Angeles Directory Co.
	KING Jas F slsmn Federal Securities Corp r	Los Angeles Directory Co.
	KLINE Brady r	Los Angeles Directory Co.
	Lerri Geo slsmn W P Herbert Co r	Los Angeles Directory Co.
	Lindenbaum Fay r	Los Angeles Directory Co.
	Maine Lillian M Mrs clk r	Los Angeles Directory Co.
	Maine P r	Los Angeles Directory Co.
	MALONEY Frank r	Los Angeles Directory Co.
	Mc GILL Lylie W coml artist Ambassador Hotel r	Los Angeles Directory Co.
	MEYERS Pierre r	Los Angeles Directory Co.
	Miller Laura Mrs r	Los Angeles Directory Co.
	Montisole Max r	Los Angeles Directory Co.
	Moore C E r	Los Angeles Directory Co.
	MORRISON Hotel	Los Angeles Directory Co.
	POTTINGER Wm H slsmn W P Herbert Co r	Los Angeles Directory Co.
	POWERS C A r	Los Angeles Directory Co.
	Prager Jeame dancing tchr Egan Sch r	Los Angeles Directory Co.
	r	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	RANDELL Geo C dep County Assessor r	Los Angeles Directory Co.
	Rombach J C supt Natl Automatic Pan Corp r	Los Angeles Directory Co.
	Rosenberger J r	Los Angeles Directory Co.
	Rude Warren W auto mech r	Los Angeles Directory Co.
	Shepard Jean H steno r	Los Angeles Directory Co.
	SMITH Ella L mgr Morrison Hotel r	Los Angeles Directory Co.
	Southgate Hugh slsmn Cannell & Chaffin r	Los Angeles Directory Co.
	Spingler Harry r	Los Angeles Directory Co.
	Tamme Marble A Mrs slswmn r	Los Angeles Directory Co.
	THOMAS David A slsmn Carlton Realty Co r	Los Angeles Directory Co.
	THOMPSON Warren V r	Los Angeles Directory Co.
	Tonns Mildred L sec Tasker & Tasker r	Los Angeles Directory Co.
	Towns Mildred r	Los Angeles Directory Co.
	VAIL Mines Inc r	Los Angeles Directory Co.
	WATSON Maude r	Los Angeles Directory Co.
	WILLIAMS Wm J r	Los Angeles Directory Co.
	WISE Benj F spl agt Penn Mut Ins Co r	Los Angeles Directory Co.
	Wolfson Frank A v pres Wolfson Bros Co r	Los Angeles Directory Co.
	Wolfson Maurice J sec treas Wolfson Bros Co r	Los Angeles Directory Co.

### 1248 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	YADIRA S SPORTS WEAR	Pacific Bell
1986	YADIRA S SPORTS WEAR	Pacific Bell
1981	GARDINA PATROL	Pacific Telephone
	M G OF CALIFORNIA	Pacific Telephone
1971	LABORATORY FOR NON DESTRUCTIVE TESTING	Pacific Telephone
1967	LABORATORY FOR NON DESTRUCTIVE TESTING	Pacific Telephone
1962	Crowley J B Inc	Pacific Telephone
	Donovan Neal D Wiss of California	Pacific Telephone
	Wiss of California	Pacific Telephone
1942	MILLER Kenneth	Los Angeles Directory Co.
1937	Mc DONALD B F COMPANY B F Mc Donald Pres Theo C Parker V Pres Treas Ralph M Kohimeter Sec Mc Donald Safety Hats Safety Appliances Gas Masks Goggles Respirators First Aid	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	Mc DONALD B F COMPANY B F Mc Donald Pres Theo C Parker V Pres Treas Ralph M Kohlmeler Sec Safety Appliances Gas Masks Goggles Resprators First Aid Supplies	Los Angeles Directory Co.
1929	Owen Co J H Owen mgr auto part Jobbers	Los Angeles Directory Co.
1924	HULL & Thornberry A B Hull M C Thorn berry rest	Los Angeles Directory Co.
	Thornberry M C Hull & Thornberry r	Los Angeles Directory Co.

### **S HOPE ST**

#### **1220 S HOPE ST**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2008	S E DISTRIBUTION CO	Cole Information Services
2006	S E DISTRIBUTION	Haines Company, Inc

#### **1240 S HOPE ST**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CONSULTING INC	Haines Company, Inc
	EXCEL PARKING	Haines Company, Inc
1976	Bookbinders Company	Pacific Telephone

#### **1246 S HOPE ST**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	LAUREANO Jorge	Haines Company, Inc
	MORRISON HOTEL	Haines Company, Inc
	Sebaslinan	Haines Company, Inc
	SEMINARA	Haines Company, Inc
1976	Davis Clayton	Pacific Telephone
	Lepe Salvador	Pacific Telephone
	Morrison Hotel	Pacific Telephone
	Pappas M	Pacific Telephone
	Riley Faith C	Pacific Telephone
	Way Edw	Pacific Telephone
1958	Golding Joe	Pacific Telephone
	Kvacek Helen J	Pacific Telephone
	Morrison Hotel	Pacific Telephone

#### **1248 S HOPE ST**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1976	LABORATORY FOR NON DESTRUCTIVE TESTING	Pacific Telephone

## FINDINGS

### **South Hope Street**

#### **1224 South Hope Street**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2006	LANADO INC	Haines Company, Inc
1958	Leitz A Co The survyrs instrmnts	Pacific Telephone
	Lietz A Co The survyrs instrmnts	Pacific Telephone

#### **1230 South Hope Street**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
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#### **1240 South Hope Street**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2006	CONSULTING INC	Haines Company, Inc
	EXCEL PARKING	Haines Company, Inc
1976	Bookbinders Company	Pacific Telephone

#### **1246 South Hope Street**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2006	LAUREANO Jorge	Haines Company, Inc
	MORRISON HOTEL	Haines Company, Inc
	Sebaslinan	Haines Company, Inc
	SEMINARA	Haines Company, Inc
1976	Davis Clayton	Pacific Telephone
	Lepe Salvador	Pacific Telephone
	Morrison Hotel	Pacific Telephone
	Pappas M	Pacific Telephone
	Riley Faith C	Pacific Telephone
	Way Edw	Pacific Telephone
1958	Golding Joe	Pacific Telephone
	Kvacek Helen J	Pacific Telephone
	Morrison Hotel	Pacific Telephone

#### **1248 South Hope Street**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
1976	LABORATORY FOR NON DESTRUCTIVE TESTING	Pacific Telephone

## FINDINGS

### **W PICO BLVD**

#### **437 W PICO BLVD**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2013	4 LESS FIXTURES	Cole Information Services

### **West Pico Boulevard**

#### **427 West Pico Boulevard**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
1942	Benton Bros Service G F and B R gas sta	Los Angeles Directory Co.
1929	ROARK Jos C auto Indy	Los Angeles Directory Co.

#### **433 West Pico Boulevard**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2000	XXXX	Haines & Company
1981	EASY LINE GRADING & MARKING	Pacific Telephone
1924	SMITH W TYLER Distributor for Falls Tires and Tubes	Los Angeles Directory Co.

#### **437 West Pico Boulevard**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2006	4 LESS FIXTURES	Haines Company, Inc
2000	XXXX	Haines & Company
1990	T & T FASHIONS	Pacific Bell
1986	RECINOS JULIO	Pacific Bell
1981	RICHARD LEATHER GOODS	Pacific Telephone
1971	Pollinger Grocery	Pacific Telephone
1967	Pollinger Grocery	Pacific Telephone
1942	Rosslyn Hotel	Los Angeles Directory Co.
	WESTERN UNION TELEGRAPH COMPANY J W Inwood Supt	Los Angeles Directory Co.
1929	L A Stock Exchange Bldg	Los Angeles Directory Co.
	WESTERN UNION TELEGRAPH CO W R Williams Supt	Los Angeles Directory Co.

#### **441 West Pico Boulevard**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2000	LOS MOLCAJETES	Haines & Company
1990	LA CALEZA	Pacific Bell
1986	LA CALEZA	Pacific Bell
1981	LA CALEZA	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1976	Morrison Thrift Shop	Pacific Telephone
	Morrison Thrift Shop The	Pacific Telephone
1971	GOODMAN SPORTING GOODS	Pacific Telephone
	Goodman W A & Sons sportng gds	Pacific Telephone
1967	GOODMAN SPORTING GOODS	Pacific Telephone
	Goodman W A & Sons sprtng gds	Pacific Telephone
1962	Century Athletic Co	Pacific Telephone
	Goodman W A & Sons sprtng gds	Pacific Telephone
1958	Goodman W A & Sons sprtng gds	Pacific Telephone
1942	KAY Haig P Mae drugs	Los Angeles Directory Co.
1929	Toler Chas R Florence restr	Los Angeles Directory Co.
1924	LOOS VINCENT RUBBER CO Vincent Loos Mgr Auto Tires Vulcanising a Specialty	Los Angeles Directory Co.

## FINDINGS

### ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

#### HOPE S

##### 1200 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	VARJA CO INC	Haines & Company
	SANMAHA Yuda	Haines & Company
	KOOP BY QUALITY	Haines & Company
	BASEMENT CLOTHING CO	Haines & Company
	BASEMENT	Haines & Company
	VARJA CO INC	Haines & Company

##### 1201 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	xxxx	Haines & Company

##### 1210 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	xxxx	Haines & Company

##### 1215 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	xxxx	Haines & Company

##### 1225 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	BOETHING FRANCIS & CO	Haines & Company
	EBERHARD MFG CO	Haines & Company

##### 1233 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	KIM Jin LUCKY STORE FIXTURE	Haines & Company

##### 1241 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	KATAYONE ADELI	Haines & Company

## FINDINGS

### 1245 HOPE S

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	PAC LA	Haines & Company

### S HOPE

#### 1180 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	HILL Mildred E clk	Los Angeles Directory Co.
	SCOTT B D Jewel drftsmn LARy Corp	Los Angeles Directory Co.

#### 1183 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	Poast Jack	Los Angeles Directory Co.
1924	CROSSLEY H h	Los Angeles Directory Co.

#### 1200 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	CAMPUS CASUALS OF CALIF	Pacific Bell
1986	CAMPUS CASUALS OF CALIF	Pacific Bell
1981	CASUALS OF CALIF	Pacific Telephone
	JR PELITE	Pacific Telephone
1971	Ceci Jr Petite	Pacific Telephone
	Ofcs & Fctry	Pacific Telephone
	Campus Casuals Of California	Pacific Telephone
1967	Campus Casuals of California Ofcs & Factory	Pacific Telephone
	Ceci Jr Petite	Pacific Telephone
1957	GENERAL FIREPROOFING CO	Pacific Telephone
1942	HUDSON SALES CORPORATION Zone Office H P Grove Mgr Wholesale Automobiles and Wholesale and Retail Automobile Accessories and Parts	Los Angeles Directory Co.
	HUDSON MOTOR CARS Hudson Sales Corporation Wholesale Only Zone Office	Los Angeles Directory Co.
	Downtown Motor Sales Inc F B Hughes pres autos	Los Angeles Directory Co.
1937	WOOD Wilmer mgr Reo Sales Corp	Los Angeles Directory Co.
	Reo Sales Corp Wilmer Wood mgr autos	Los Angeles Directory Co.
1933	WOODWARD HERBERT INC H E Woodward Pres Genl Mgr E A Smith V Prs Asst Genl Mgr C C Buckborough Sec Treas Reo Distributors	Los Angeles Directory Co.
	REO AGENCY Herbert Woodward Inc	Los Angeles Directory Co.



## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1929	REO MOTOR CAR COMPANY OF CALIFORNIA H E Woodward Pres C C Buckborough Sec Treas	Los Angeles Directory Co.
1924	REO MOTOR CAR CO OF CALIFORNIA INC Byron C Foy Pres and Gen Mgr H E Woodward V Pres T E Mc Knight Sec Trees	Los Angeles Directory Co.

### 1201 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1981	ARMSTRONGS FAMILY FUNRL DIRS	Pacific Telephone
	ARMSTRONG BROS MORTUARY	Pacific Telephone
	ARMSTRONG FAMILY FUNRL DIRS	
	ARMSTRONG BURTON ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
	ARMSTRONG FUNERAL HOME FUNRL DIRS SEE ARMSTRONG FAMILY	Pacific Telephone
	ARMSTRONG GORDON B FUNRL DIR	Pacific Telephone
	ARMSTRONG MORTUARY	Pacific Telephone
1980	ARMSTRONG FAMILY FUNRL DIRS LOS ANGELES	Pacific Telephone
1975	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
1971	Armstrong Bros Mortuary Armstrong Family funrl dirs	Pacific Telephone
	Armstrong Burton Armstrong Family funrl dirs	Pacific Telephone
	ARMSTRONG FAMILY funrl dlrs	Pacific Telephone
	Armstrong Funeral Home funrl dlrs	Pacific Telephone
	Armstrong Gordon B funrl dir	Pacific Telephone
	Armstrong Mortuary	Pacific Telephone
	Armstrongs Family funrl dlrs	Pacific Telephone
1967	Armstrong Bros Mortunry Armstrong Family funrl dirs	Pacific Telephone
	Armstrong Burton Armstrong Family funrl dirs	Pacific Telephone
	ARMSTRONG FAMILY funrl dlrs	Pacific Telephone
	Armstrong Funeral Home See Armstrong Family funrl dirs	Pacific Telephone
	Armstrong Gordon B funrl dir	Pacific Telephone
	Armstrong Guy funrl dir	Pacific Telephone
	Armstrong Mortuary	Pacific Telephone
	Armstrongs Family funrl dirs	Pacific Telephone
	Hemingway Richard A funrl dir	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1966	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
1962	ARMSTRONG FAMILY Funrl dlrs	Pacific Telephone
	Armstrong Funeral Home Armstrong Family Funrl dlrs	Pacific Telephone
	Armstrong Mortuary	Pacific Telephone
	Armstrongs Family funrl dlrs	Pacific Telephone
	Armstrong Bros Mortuary Armstrong Family funrl dlrs	Pacific Telephone
	Armstrong Burton Armstrong Family funrl dlrs	Pacific Telephone
1960	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
1957	ARMSTRONG FAMILY FUNRL DLRS	Pacific Telephone
1942	ARMSTRONG FAMILY M B B H R H and Guy Armstrong W A Lindsay Funeral Directors	Los Angeles Directory Co.
	GREEN Wm R	Los Angeles Directory Co.
	SCHWAB J Dewitt organist Armstrong Family	Los Angeles Directory Co.
	WHITLOCK Warren embalmer Armstrong Family	Los Angeles Directory Co.
	Zahniser Mont S Flossie B carp	Los Angeles Directory Co.
1937	Armstrong Funeral Home B H and M B Armstrong	Los Angeles Directory Co.
1933	MAYNES Lillian L Mrs sec treas A E Maynes Geo A Fitch Inc	Los Angeles Directory Co.
	MAYNES Reginald	Los Angeles Directory Co.
1929	Cairns Pearl B bkpr Geo A Fitch Inc	Los Angeles Directory Co.
	FITCH GEO A INC A E Maynes Pres Mrs Mamie B Fitch V Pres L L Maynes Sec Treas Undertakers and Funeral Directors	Los Angeles Directory Co.
	GRAHAM Roy S asst Geo A Fitch Inc	Los Angeles Directory Co.
	Maynes Albt E Lillian pres Geo A Fitch Inc	Los Angeles Directory Co.
	Maynes Lillian L sec treas Geo A Fitch Inc	Los Angeles Directory Co.
1924	Cowling Grace nurse r	Los Angeles Directory Co.
	FITCH GEO A INC Geo A Fitch Pres Mildred Saylor Sec Treas Undertakers and Funeral Directors	Los Angeles Directory Co.
	HUBBARD J Warren embalmer Geo A Fitch Inc r	Los Angeles Directory Co.

### 1209 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	STEWART Edw P div storekpr Santa Fe	Los Angeles Directory Co.

## FINDINGS

### 1210 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	CHUNKY S INC	Pacific Bell
	MARK UP	Pacific Bell
1986	MARK UP	Pacific Bell
	CHUNKY S INC	Pacific Bell
1981	LEONARD HAROLD & CO INC OF CALIF	Pacific Telephone
1971	Leonard Harold & Co Inc Of California	Pacific Telephone
	Eagleware Mfg Co Inc	Pacific Telephone
1967	Leonard Harold & Co Inc of California	Pacific Telephone
	Eagleware Mfg Co Inc	Pacific Telephone
1962	Thomson Industries Inc	Pacific Telephone
	Scully Jones & Co Special Products Div	Pacific Telephone
	Main Ofc	Pacific Telephone
	PACIFIC BEARINGS COMPANY	Pacific Telephone
	Angelica Pacific Bearings Co	Pacific Telephone
	Kaydon Engineering Corp bearings	Pacific Telephone
	Pacific Ball Bearing Co Pacific Bearings Company	Pacific Telephone
1942	Marvel Carburetor Sales Co R H Simon mgr	Los Angeles Directory Co.
1937	Marvel Carburetor Sales Co F H Simon mgr	Los Angeles Directory Co.
1929	Cleghorn Robt W Ethel garage	Los Angeles Directory Co.
1924	General Office and Service Station	Los Angeles Directory Co.

### 1211 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1937	ANDERSEN Andw A Lilla armature rewinding	Los Angeles Directory Co.
1933	THOMAS Anderson Co Andw Anderson mgr elec eng	Los Angeles Directory Co.
1929	GENERAL Auto Electric P E Gysin mgr	Los Angeles Directory Co.
1924	WYNN'S TTRE & RUBBER CO Barbour Wynns All Standard Makes of Tires	Los Angeles Directory Co.

### 1213 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	Masterson Jos A auto accessories	Los Angeles Directory Co.
	AUTOMOTIVE GEAR CO T L Camp Mgr Distributor Double Diamond Automobile Gears	Los Angeles Directory Co.

## FINDINGS

### 1215 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1967	Mutual Supplies Co	Pacific Telephone
1942	ANDERSEN & COMPANY A A Andersen Authorized Century Service Electrical Engineering Rewinding Electrical Equipment Refrigeration Motors All Equipment and Material Guarantee	Los Angeles Directory Co.
1937	ARMATURE EXCHANGE INC W E Gerber Jr Pres A P Daniels V Pres P E Gysin Sec Armex Armatures Generators Starters Automotive Electric Parts	Los Angeles Directory Co.
1933	ARMATURE EXCHANGE INC W E Gerber Jr Pres A P Daniels V Pres P E Gysin Sec Treas Armex Armatures Generators and Starters Automotive Electrio Parts	Los Angeles Directory Co.
1929	ARMATURE EXCHANGE INC W E Gerber Jr Pres A P Daniels V Pres Edw Kipling Sec Treas	Los Angeles Directory Co.
1924	WOLFE Edwd H auto reprs	Los Angeles Directory Co.
	BOHAN W D & Co W D Bohan lubricating oils	Los Angeles Directory Co.

### 1216 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1929	BROWN Ruthina	Los Angeles Directory Co.

### 1221 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	GROVER PRODUCTS CO Clarence A Roesch Pres J W Garver V Pres Sec Treas Manufacturers of Automobile Horns Altimeters Grade Meters Battery Meters	Los Angeles Directory Co.
	ROESCH C A & CO C A Roesch Pres J W Garver V Pres Sec Distributors Sandblast and Solder Guns Lead Guns Cold Tinning Compound	Los Angeles Directory Co.
1929	BERSHON TIRE CO Distributors Racine and Multi Mile Tires	Los Angeles Directory Co.
1924	ARMATURE EXCHANGE INC THE H V Hahn Mgr Automobile Armature Rewinding	Los Angeles Directory Co.
	BERSHON TIRE CO INC Michl Gore Pres A L Gore V Pres David Bershon Treas Nathan Bershon sec Southern California Distributors Victor and Hartford Tires	Los Angeles Directory Co.
	VICTOR TIRES Bershon Tire Co Inc Distributors for Southern California	Los Angeles Directory Co.

## FINDINGS

### 1225 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	BOETHING-FRANCIS & CO AUTO EQUIP	Pacific Bell
	EBERHARD MFG CO HDWE	Pacific Bell
1986	EBERHARD MFG CO HDWE	Pacific Bell
	BOETHING-FRANCIS & CO AUTO EQUIP	Pacific Bell
1981	EBERHARD MFG CO HDWE	Pacific Telephone
	BOETHING FRANCIS & CO AUTO EQUIP	Pacific Telephone
1971	Eberhard Mfg Co hdwe	Pacific Telephone
	Boething Francis & Co auto equip	Pacific Telephone
1967	Boething Francis & Co auto eq	Pacific Telephone
	Eberhard Mfg Co hdwe	Pacific Telephone
1962	Boething Francis & Co auto eq	Pacific Telephone
	Eberhard Mfg Co hdwe	Pacific Telephone
1942	BOETHING & DUNLAP E E Boething F M Dunlap Trimming and Upholstery Supplies Body and Refrigerator Hardware Trailer and Airplane Supplies Artificial Leathes Trimming Leathe	Los Angeles Directory Co.

### 1227 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1929	FARROW Ray clk	Los Angeles Directory Co.
	GREY Robt H actor	Los Angeles Directory Co.
	Grebyn Harold chiropractor	Los Angeles Directory Co.
	ERICKSON N W slsmn	Los Angeles Directory Co.
	Roan J W mech r	Los Angeles Directory Co.
	Enos Harley W clk	Los Angeles Directory Co.

### 1229 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	De Haviland K uphol	Los Angeles Directory Co.

### 1231 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	KEYSTONE Photo Service N B Moos mgr	Los Angeles Directory Co.

### 1233 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1971	United Integrated Industries	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1971	Latigo West Div Of United Integrated Industries	Pacific Telephone
1967	GROVER PRODUCTS CO Grover Air Horn Co	Pacific Telephone Pacific Telephone
1966	GROVER PRODUCTS CO	Pacific Telephone
1962	Roesch C A & Co Grover Air Horn Co GROVER PRODUCTS CO	Pacific Telephone Pacific Telephone Pacific Telephone
1960	GROVER PRODUCTS CO GROVER AIR HORN CO	Pacific Telephone Pacific Telephone
1957	GROVER AIR HORN CO	Pacific Telephone
1942	Geddie Leanna dmnstr	Los Angeles Directory Co.
1937	CALIFORNIA SCHOOL BOOK DEPOSITORY Harry A Gayton Earl G Chandler Gregg Lewis Chandler Mgrs	Los Angeles Directory Co.
1933	LINDSAY Walter A Clara washing machine parts Washer Wilson Inc E R Frye sec washing machines	Los Angeles Directory Co. Los Angeles Directory Co.
1924	MILLER RUBBER CO OF CALIFORNIA J O Ward Branch Mgr Direct Factory Branch Factories Akron Ohio	Los Angeles Directory Co.

### 1235 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	PAC COAST SHOWMEN S ASSN	Pacific Bell
1986	PAC COAST SHOWMEN S ASSN	Pacific Bell
1981	PAC COAST SHOWMEN S ASSN	Pacific Telephone
1971	Pacific Coast Showmens Assn	Pacific Telephone
1967	Pacific Coast Showmens Assn	Pacific Telephone
1962	Pacific Coast Showmens Assn	Pacific Telephone
1929	Kenega Ruth slsldy	Los Angeles Directory Co.

### 1239 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	FULTON Bess Louthan Martha Mrs RUSSELL Esther L Mrs apt mgr Thalmueller Katie Mrs CARRICK De Etta JONES Marie Mrs KELLY Violet Mrs	Los Angeles Directory Co. Los Angeles Directory Co. Los Angeles Directory Co. Los Angeles Directory Co. Los Angeles Directory Co. Los Angeles Directory Co. Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1937	RUPPE ETHEL F Sec Ruppe Inc Funeral Directors	Los Angeles Directory Co.
	RUPPE INC FUNERAL DIRECTORS L E Ruppe Pres Geo Willis V pres E F Ruppe Sec	Los Angeles Directory Co.
	RUPPE LOUIS E Pres Ruppe Inc Funeral Directors	Los Angeles Directory Co.
	WILLIS GEORGE V Pres Ruppe Inc Funeral Directors	Los Angeles Directory Co.
1933	Ruppe Louis E Ethel F Louis E Ruppe Inc	Los Angeles Directory Co.
	RUPPE LOUIS E INC Funeral Directors Ambulance Service	Los Angeles Directory Co.
	WILLIS Fred asst L E Ruppe	Los Angeles Directory Co.
1929	CONNELL Co Mrs Madge H Connell mgr undtkrs	Los Angeles Directory Co.
	LEWIS Wm M Angle T assoc mgr Connell Co	Los Angeles Directory Co.
1924	Connell Co Mrs Madge H Connell mgr undtkrs	Los Angeles Directory Co.
	LEWIS Madison T slsmn Foreman & Clark r	Los Angeles Directory Co.
	LEWIS Wm M asst mgr Conncil Co r	Los Angeles Directory Co.

### 1241 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1981	LE ROY KNITTED SPORTSWEAR INC	Pacific Telephone
1971	Executive Ofc & Whse	Pacific Telephone
	LE ROY KNITTED SPORTSWEAR INC	Pacific Telephone
1967	Washing Machine Parts Co Inc	Pacific Telephone
1962	Washing Machine Parts Co Inc	Pacific Telephone
1942	Washing Machine Parts Co E H Martin	Los Angeles Directory Co.
1937	WASHING MACHINE PARTS Co Wm B Elfstrom Replacement Parts and Service for All Makes of Washing Machines and Vacuum Cleaners	Los Angeles Directory Co.
	LOS ANGELES WRINGER ROLL CO W B Elfstrom	Los Angeles Directory Co.
	ELFSTROM W B CO W B Elfstrom Electrical Supplies Office	Los Angeles Directory Co.
1929	WARD HEATER COMPANY E E Sproat Pres N A Wright Mgr Patentees and Manufacturers Wards Gas Furnaces	Los Angeles Directory Co.
1924	NORTH EAST SERVICE INCORPORATED STARTING AND LIGHTING Electric Equipment Co Inc Authorized Factory Distributors and Service Station	Los Angeles Directory Co.

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	Timken Roller Bearing Service and Sales Co J J Hanrahan jr mgr	Los Angeles Directory Co.

### 1243 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1937	SHAW Andrew D Robeita mfrs agts	Los Angeles Directory Co.
1924	WARD HEATER CO Samuel Sproat Pres and Gen Mgr Patentees and Manufacturers Wards Gas heaters	Los Angeles Directory Co.

### 1245 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1971	Rifkin M S Shoe Co	Pacific Telephone
	P & S Shoe Co Inc	Pacific Telephone
1967	LE ROY KNITTED SPORTSWEAR INC	Pacific Telephone
	Executive Ofc & Warehse	Pacific Telephone
1962	Ofc & Warehse	Pacific Telephone
	Le Roy Knitted Sportswear Inc	Pacific Telephone
1942	Wilhite Machine & Auto Works Inc S C Wilhite pres Ferdinand Godde jr v pres E C Wilhite sec treas mach	Los Angeles Directory Co.
1937	Wilhite Machine Works Inc S C Wilhite pres E C Wilhite Sec treas	Los Angeles Directory Co.
1933	WILEY Machine Works Inc S C Wilhite pres E C Wilhite sec treas	Los Angeles Directory Co.
1929	Willute Machine Works S C Wilhite pres E C Willite sec	Los Angeles Directory Co.
1924	WILHITE MACHINE & AUTO WORKS C Wilhite Pres E C Wilhite Sect Screw Machine Products and General Machine Work and Manufacturing contract Work	Los Angeles Directory Co.
	TEMPLAR MOTOR CARS SALES AND SERVICE Huthsing Bros Distributors for Southern California and Arizona	Los Angeles Directory Co.
	OWEN Co J H & F A Owen auto accessories	Los Angeles Directory Co.
	Mc GILL R E slsmn J C Feys r	Los Angeles Directory Co.
	Hydenfeldt S C r	Los Angeles Directory Co.
	HUTHSING BROS Leo and Werner Huthsing Templar Motor Cars Sales and Service	Los Angeles Directory Co.
	BUSCH & Eicks C L Busch R J Hicks auto body reprs	Los Angeles Directory Co.



## FINDINGS

### 1247 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	Miller Chas W opr r	Los Angeles Directory Co.

### 1264 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	RIDGWAY Bruce D typist	Los Angeles Directory Co.

### 1283 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1942	WINSTON JOHN C CO THE B R Morris Mgr School Books International Bibles Dictionaries asd Juvenlies	Los Angeles Directory Co.

### 1289 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	Lane Amber Mrs sec L E Ruppe	Los Angeles Directory Co.

### 1291 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1924	BURKE B Ray mech h	Los Angeles Directory Co.
	Siliman Edwd F h	Los Angeles Directory Co.

### 1301 S HOPE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	MI JOY	Pacific Bell
	ITEMS OF CALIF INC CLTHNG MFR	Pacific Bell
	GORDON MICHAEL APPRL	Pacific Bell
	ADAMS BLAKE	Pacific Bell
1986	MI JOY	Pacific Bell
	ITEMS OF CALIF INC CITHNG MFR	Pacific Bell
	GORDON MICHAEL APPRL	Pacific Bell
	ADAMS BLAKE	Pacific Bell
1981	LITTLE THINGS FACTORY	Pacific Telephone
	LE GAMBI FACTORY	Pacific Telephone
	CAPSULE COLLECTION BY FUNKY	Pacific Telephone
	FUNKY	Pacific Telephone

## FINDINGS

### **S HOPE ST**

#### **1200 S HOPE ST**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
2013	ANYTIME ANYWHERE LOCKSMITH	Cole Information Services
	XPECT SAGA	Cole Information Services
	LNG MGMT	Cole Information Services
	MIZRAHI DESIGN GROUP	Cole Information Services
	IJ INVESTMENTS & TRADE SERVICES LL	Cole Information Services
	ASSOLUTO INC	Cole Information Services
	BASEMENT CLOTHING USA INC	Cole Information Services
2008	CHOI & KEY INC	Cole Information Services
	MIZRAHI DESIGN GROUP	Cole Information Services
	ATTIC	Cole Information Services
	GARMET OFFICE & WAREHOUSING IN	Cole Information Services
	BASEMENT CLOTHING U S A INC	Cole Information Services
	E & E CAPITAL INC	Cole Information Services
	UKA INC	Cole Information Services
	CO CC INC	Cole Information Services
2006	DOLCE CO	Cole Information Services
	BASEMENT	Haines Company, Inc
	GARMIET OFC	Haines Company, Inc
	WAREHOUSING THE	Haines Company, Inc
	JAE KYUNG KANG	Haines Company, Inc
	MIZRAHI DESIGN	Haines Company, Inc
	GROUP	Haines Company, Inc
	CLOTHING	Haines Company, Inc
1976	E & E CAPITAL INC	Haines Company, Inc
	Campus Casuals Of Calif Showroom	Pacific Telephone
	Ceci Jr Petite	Pacific Telephone
1958	Ofcs & Fctry	Pacific Telephone
	Wilger C A General Fireproofing Co	Pacific Telephone
	GENERAL FIREPROOFING CO	Pacific Telephone
	G F Co General Fireproofing Co	Pacific Telephone

#### **1201 S HOPE ST**

<b><u>Year</u></b>	<b><u>Uses</u></b>	<b><u>Source</u></b>
1980	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1976	Armstrong Bros Mortuary Armstrong Family funrl dirs	Pacific Telephone
	Armstrong Burton Armstrong Family funrl dirs	Pacific Telephone
	ARMSTRONG FAMILY funrl durs	Pacific Telephone
	Armstrong Funeral Home funrl dlrs See Armstrong Family	Pacific Telephone
	Armstrong Gordon B funrl dir	Pacific Telephone
	Armstrong Mortuary	Pacific Telephone
	Armstrongs Family funrl dirs	Pacific Telephone
1975	Armstrong Family funrl dirs	Pacific Telephone
1970	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone
1962	ARMSTRONG FAMILY FONRL DIRS	Pacific Telephone
1958	Armstrong Burton Armstrong Family	Pacific Telephone
	ARMSTRONG FAMILY funrl dlrs	Pacific Telephone
	Armstrong Funeral Home See Armstrong Family funrl dirs	Pacific Telephone
	Armstrong Mortuary	Pacific Telephone
	Armstrongs Family funrl dirs	Pacific Telephone
1956	ARMSTRONG FAMILY FUNRL DIRS	Pacific Telephone

### 1210 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2013	I SMILE DESIGN INC	Cole Information Services
	JOANN SHE & CO	Cole Information Services
2008	I SMILE DESIGN INC	Cole Information Services
	JOANN SHE & CO	Cole Information Services
2006	1 SMILE DESIGN INC	Haines Company, Inc
	JOANN SHE&CO	Haines Company, Inc
1976	Leonard Harold & Co Inc Of Calif	Pacific Telephone
1958	Angelica Pacific Bearings Co	Pacific Telephone
	Barden Corp The bearings	Pacific Telephone
	Pacific Ball Bearing Co See Pacific Bearings Company	Pacific Telephone
	PACIFIC BEARINGS COMPANY	Pacific Telephone
	Main Ofc	Pacific Telephone
	Thomson Industries Inc	Pacific Telephone
	Kaydon Engineering Corp bearings	Pacific Telephone

## FINDINGS

### 1221 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CALIFORNIA INC	Haines Company, Inc
	GRIFFINDOR	Haines Company, Inc

### 1224 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	LANADO INC	Haines Company, Inc
1958	Leitz A Co The survyrs instrmnts	Pacific Telephone
	Lietz A Co The survyrs instrmnts	Pacific Telephone

### 1225 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2008	IMAGE SOURCE INC	Cole Information Services
2006	BLUEBIRD OFFICE	Haines Company, Inc
	SUPPLIES	Haines Company, Inc
1976	Eberhard Mfg Co hdwe	Pacific Telephone
	Boething Francis & Co auto equip	Pacific Telephone
1958	Eberhard Mfg Co hdwe	Pacific Telephone
	Boething Francis & Co auto eq	Pacific Telephone

### 1233 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2013	LUCKY STORE FIXTURE	Cole Information Services
2008	LUCKY STORE FIXTURE	Cole Information Services
2006	LUCKY STORE	Haines Company, Inc
	FIXTURE	Haines Company, Inc
1976	Mfg Ofc	Pacific Telephone
	Quality Sportswear	Pacific Telephone
1962	GROVER AIR HORN CO	Pacific Telephone
	GROVER PRODUCTS CO	Pacific Telephone
1958	Roesch C A & Co	Pacific Telephone
	Grover Air Horn Co	Pacific Telephone
	Grover Products Co	Pacific Telephone

### 1235 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2008	BLUESTEEL CONSTRUCTION INC	Cole Information Services
2006	CONSTRUCTION	Haines Company, Inc
	BLUESTEEL	Haines Company, Inc
1976	Pac Coast Showmens Assn	Pacific Telephone

## FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1958	Showmens Assn Pacific Coast	Pacific Telephone
	Pacific Coast Showmens Assn	Pacific Telephone

### 1241 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1976	Executive Ofc & Whse	Pacific Telephone
	LE ROY KNITOTED SPORTSWEAR INC	Pacific Telephone
1958	Washing Machine Parts Co Inc	Pacific Telephone
	Parker H F & Sons	Pacific Telephone

### 1245 S HOPE ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2013	LORD & I INC	Cole Information Services
	POPSY FASHION	Cole Information Services
1976	King & Co Inc games	Pacific Telephone
	KING T R & CO INC games	Pacific Telephone
1958	Texture Glass Industries Inc	Pacific Telephone

### W 12TH

#### 525 W 12TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	HART HARRY L JR	Pacific Bell

### W 12TH ST

#### 510 W 12TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1958	Ross Laundry Machry Co	Pacific Telephone
	Ross Sam Laundry Machry Co	Pacific Telephone

#### 512 W 12TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1958	Veterans Cafe	Pacific Telephone

#### 514 W 12TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1958	United Refrigeration & Electric	Pacific Telephone
	United Electric & Refrigeration	Pacific Telephone

## FINDINGS

### 545 W 12TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1976	Kennedy Calvin	Pacific Telephone

### W PICO BLVD

#### 516 W PICO BLVD

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	LAUREL SPORTSWEAR	Pacific Bell
1986	LAUREL SPORTSWEAR	Pacific Bell
1981	MILO OF CALIFORNIA	Pacific Telephone
	OSSER & FRIENDLAND BOOT & SHOE CO	Pacific Telephone

#### 520 W PICO BLVD

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1990	TULIPS	Pacific Bell
1986	TULIPS	Pacific Bell
1981	NORMAN SPORTSWEAR	Pacific Telephone
	BAY 1 LTD	Pacific Telephone

## FINDINGS

### TARGET PROPERTY: ADDRESS NOT IDENTIFIED IN RESEARCH SOURCE

The following Target Property addresses were researched for this report, and the addresses were not identified in the research source.

#### Address Researched

1220 South Hope Street

#### Address Not Identified in Research Source

2004, 2003, 2001, 1999, 1996, 1995, 1992, 1991, 1985, 1980, 1975, 1972, 1970, 1969, 1966, 1965, 1964, 1963, 1961, 1960, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1940, 1939, 1938, 1936, 1935, 1934, 1932, 1931, 1930, 1928, 1927, 1926, 1925, 1923, 1921, 1920

### ADJOINING PROPERTY: ADDRESSES NOT IDENTIFIED IN RESEARCH SOURCE

The following Adjoining Property addresses were researched for this report, and the addresses were not identified in research source.

#### Address Researched

1180 S HOPE

#### Address Not Identified in Research Source

2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920

1183 S HOPE

2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1923, 1921, 1920

1200 HOPE S

2013, 2008, 2006, 2004, 2003, 2001, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920

1200 S HOPE

2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1985, 1980, 1976, 1975, 1972, 1970, 1969, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1940, 1939, 1938, 1936, 1935, 1934, 1932, 1931, 1930, 1928, 1927, 1926, 1925, 1923, 1921, 1920

1200 S HOPE ST

2013, 2008, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920

1200 S HOPE ST

2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920

1201 HOPE S

2013, 2008, 2006, 2004, 2003, 2001, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920











## FINDINGS

### Address Researched

### Address Not Identified in Research Source

510 W 12TH ST	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920
512 W 12TH ST	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920
514 W 12TH ST	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920
516 W PICO BLVD	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1985, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920
520 W PICO BLVD	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1985, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920
525 W 12TH	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1985, 1981, 1980, 1976, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920
545 W 12TH ST	2013, 2008, 2006, 2004, 2003, 2001, 2000, 1999, 1996, 1995, 1992, 1991, 1990, 1986, 1985, 1981, 1980, 1975, 1972, 1971, 1970, 1969, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1958, 1957, 1956, 1955, 1954, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1942, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1921, 1920



**PHASE II ENVIRONMENTAL SITE ASSESSMENT REPORT**

*Performed at:*

**1220-1246 S. Hope St. and 427 W. Pico Blvd.  
Los Angeles, California 90015**

*Prepared for:*

**Pico Venture Limited LLC  
611 Wilshire Blvd  
Los Angeles, California 90017**

***Andersen Environmental Project No. 9836000610***

November 13, 2015

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## 1.0 INTRODUCTION

Andersen Environmental has conducted a Phase II Environmental Site Assessment (ESA) at 1220-1246 South Hope Street and 427 West Pico Boulevard in Los Angeles, California (Figures 1 and 2). The assessment activities were performed in accordance with the project-specific scope of work described in Andersen Environmental's October 29, 2015, *Proposal for Phase II Environmental Site Assessment*.

A previous Phase I ESA conducted by Alpha Environmental (Alpha, September 23, 2015) identified a former gasoline service station as a recognized environmental condition (REC) for the parcel identified as 427 West Pico Boulevard (the Site). Based on this information, Andersen developed a scope of work to search for current and/or former underground storage tanks (USTs), and to determine whether or not past Site operations have significantly impacted the subsurface. This report details our activities and the results of the Phase II ESA.

### 1.1 OBJECTIVES

The primary objectives of this Phase II ESA were to:

- Assess subsurface conditions by collecting and analyzing soil and soil vapor samples for potential chemicals of concern, and
- Evaluate if a threat to human health or the environment is present as a result of former operations at the Site.

## 2.0 SITE INFORMATION

This section provides pertinent Site information, including location, description, and geologic and hydrogeologic setting.

### 2.1 SITE LOCATION AND DESCRIPTION HISTORY

The Site is located on the north side of West Pico Boulevard, approximately 100 feet southeast of South Hope Street, in Los Angeles (Figure 1; Site Location Map). The parcel at 427 West Pico Blvd is approximately 0.22 acre in size and is occupied by an asphalt-paved parking lot. The surrounding properties generally consist of commercial/retail buildings.

### 2.2 SITE HISTORY

According to Alpha's interpretation of the historical research data, presented in their Phase I ESA Report, the Site was occupied by a car wash from at least 1923 to 1929, and a fuel service station from at least 1931 to 1942. Alpha identified this as a REC, "...related to the lack of records to demonstrate the absence of former USTs and associated contamination from potential leaks from the USTs, dispensers, underground piping, and former clarifiers commonly associated with car washing operations."

### 2.3 REGIONAL GEOLOGIC AND HYDROGEOLOGIC SETTING

The Site is located in the Los Angeles Basin, which is a part of the Peninsular Range geologic province, between the Pacific Ocean and the Inglewood-Newport Fault Zone. The Peninsular Range province, which is characterized by northwest-trending topographic and structural features, is bound by the Transverse Range province to the north and the Colorado Desert Province to the east. The inland part of the Peninsular Range province consists of numerous mountain ranges that are composed predominantly of igneous and metamorphic rocks of Mesozoic and Paleozoic age. An irregular coastal plain is located on the western edge of the province (including the Los Angeles Coastal Plain and Basin), which is composed



predominantly of marine and non-marine clastic deposits of Upper Cretaceous, Tertiary and Quaternary age.

The Site is located south of the hills of the Silver Lake area. The Site is underlain with Quaternary-aged surficial sediment deposits of Holocene and Pleistocene age. These deposits are generally characterized as clay, sand, and gravel alluvium including sediments of minor stream channels and alluvial fan sediments (*Geologic Map of the Hollywood and Burbank Quadrangles*, USGS, 1991 and *Geologic Map of the Los Angeles Quadrangle*, USGS, 1991).

These sediments are underlain by the Fernando Formation of Pliocene age, a consolidated but crumbly gray to greenish-gray claystone-siltstone, in part sandy, which is vaguely bedded and locally fossiliferous. Beneath the Fernando Formation is an unnamed shale of Miocene age (geologically associated with the Puente formation, upper Modelo Formation, and Sisquoc Shale), which is characterized as tan to light gray, semi-friable sandstone including thin interbeds of micaceous silty clay shale.

## **2.4 LOCAL GEOLOGIC AND HYDROGEOLOGIC SETTING**

The elevation of the Site is approximately 236 feet above mean sea level (USGS Hollywood, California 7.5 minute topographic quadrangle; Figure 1). Surface topography dips gradually to the southwest. According to the Geologic Map of the Hollywood and Burbank Quadrangles, USGS, 1991, the Site is located on the eastern portion of the Los Angeles Downtown Oil Field.

Based on Andersen Environmental's experience with other properties in close proximity to the Site, shallow soils (i.e., from the ground surface to a depth of approximately 15 feet) consist primarily of silty sands, sandy silts, silty clays, and clayey silts. A review of groundwater data available in the State Water Resources Control Board's (SWRCB's) GeoTracker website for a nearby facility (504 West Olympic Boulevard, located approximately 0.35 mile north-northwest of the Site) indicates that groundwater was encountered at that site at depths of approximately 30 to 40 feet below ground surface. This was likely perched groundwater that is not contiguous across the area, and the actual depth to groundwater beneath the Site is likely greater than 100 feet bgs. Based on regional groundwater data, groundwater flow is estimated to be toward the south-southwest; however, local groundwater flow direction may vary.

## **3.0 FIELD ACTIVITIES**

On November 6, 2015, all field activities pertaining to this investigation were completed.

### **3.1 FIELD PREPARATION**

Prior to conducting field activities, Andersen Environmental personnel marked the work area clearly with white paint. Underground Services Alert (USA) was notified of the pending fieldwork a minimum of 48 hours before mobilization. Boring locations were subsequently checked for utility conflicts, access limitations, and other hindrances or issues that may have been encountered during fieldwork. No underground utilities were identified in the chosen boring locations.

### **3.2 GEOPHYSICAL SURVEY**

On November 6, 2015, Andersen Environmental field personnel directed GPRS in performing a geophysical survey at the Site. The objectives of the geophysical survey were to:

- Scan the parking lot for indications of current or former USTs, and
- Check the borehole locations for underground utilities.

The geophysical survey was conducted through the use of ground penetrating radar (GPR) equipment, electromagnetics (EM), and various utility line tracers. GPR uses electromagnetic pulses broadcasted into

the ground that reflect back to an antenna located at the surface at different rates (depending on depth and materials encountered). EM uses a primary magnetic field that induces an electrical current into soils. These primary induced currents interact with secondary magnetic fields in the earth, and the characteristics of this secondary magnetic field can be interpreted to reveal metallic features in the subsurface.

Results of the geophysical survey are summarized as follows:

- A geophysical anomaly approximately 18 feet across was identified adjacent to the southern Site boundary (Figure 2). No evidence of a current UST was found. However, this anomaly appeared to be the result of disturbed soils. According to the geophysical surveyor, the anomaly displayed characteristics of a former UST excavation; therefore, it was interpreted to be the most likely location where USTs had been removed from the Site.
- Two smaller geophysical anomalies were identified to the north of the first anomaly. Based on the size and shape of these two anomalies and their proximity to the suspected former UST area, these were interpreted to be the likely locations of former fuel dispensers.
- No other geophysical anomalies were identified within the parking lot. However, geophysical surveying may or may not be conclusive in identifying anomalies due to the inherent limitations of the technologies. Therefore, it cannot be stated with certainty that no currently-present USTs or other former UST excavation cavities are present at the Site.
- No subsurface utilities were identified in the proposed soil boring locations.

### 3.3 SOIL SAMPLING

On November 6, Andersen Environmental field personnel directed the advancement of four borings at the Site (B1 through B4; Figure 2) to assess subsurface conditions.

#### 3.3.1 BORING LOCATIONS AND INVESTIGATIVE OBJECTIVES

Boring locations, sampling depths, and investigative rationale were as follows:

Boring ID	Location	Total Depth (ft bgs)
B1	Within the geophysical anomaly (i.e., the suspected former UST area)	10
B2	Northeast of the suspected UST area, between the two suspected former fuel dispenser locations	6.5
B3	East of the suspected UST area	10
B4	North of the suspected UST area	6.5

ft bgs = feet below ground surface

#### 3.3.2 BOREHOLE ADVANCEMENT AND SAMPLING METHODOLOGY

Borings were advanced using a truck-mounted hydraulic direct-push technology (DPT) drill rig equipped with a 1.5-inch drive rod.

At each location, the DPT rig was used to break through the surface. A hydraulic hammer was then used to drive the push-probe sampling system into the soil to the desired sampling depths. As the core barrel was advanced, soil was driven into 4-foot-long acetate sleeves. After being driven, the rods were removed from the borehole. The acetate sleeve containing the soil was then removed from the sample barrel.

Soil samples were collected at 5 feet bgs in all borings and at 10 feet bgs in borings B1 and B3. Refusal was encountered at 6.5 feet bgs in B2 and B4.

At the selected sample depths, approximately 6-inch segments of undisturbed soil within the acetate liners were cut, sealed with Teflon® tape and tight-fitting plastic caps, labeled, recorded in a chain-of-custody, and placed in a chilled container pending delivery to a laboratory for chemical analysis. Remaining soil immediately adjacent to the cut section was used for lithologic description and photoionization detector (PID) readings.

Following the completion of fieldwork, the samples were delivered to Positive Lab Service of Los Angeles, California, a state-certified analytical laboratory. Chain-of-custody documentation and protocol were maintained during sample collection and through submittal to the analytical laboratory.

### **3.3.3 BORING LOGS AND VOC HEADSPACE ANALYSIS**

Soil lithology from each borehole was recorded and described in accordance with the Unified Soil Classification System. In addition, the samples were observed for color, texture, moisture content, plasticity, evidence of fill material, visible evidence of soil contamination (i.e., odor, discoloration), and any other notable characteristics.

Soil samples were screened for VOCs by headspace analysis using a PID. For each sampling interval, approximately 200 grams of soil was placed in a plastic bag and sealed. Upon equilibration of the atmosphere in the sealed plastic bag, the probe tip of the PID will be inserted into the plastic bag, and the maximum VOC reading was recorded.

The boring number, sample depth, lithologic description and PID readings were noted on the boring logs.

### **3.3.4 ENCOUNTERED SOIL TYPES**

Native soils encountered during this assessment were classified generally as Silty Sand (USCS soil type classification “SM”) consisting of fine to very fine sand, with or without gravel. The soil was described as hard to very hard, brown to gray, and moist. Copies of the field boring logs are presented in Appendix A.

No groundwater was encountered during this assessment, and no staining or incidental hydrocarbon odors were noted. PID readings ranged from 0 to 0.7. These readings are typical of moist, unimpacted soil.

## **3.4 SOIL VAPOR PROBE INSTALLATION**

Soil vapor sampling was incorporated into the investigative program to assess soil vapor conditions beneath the Site. Upon completion of soil sampling, each boring was immediately converted into a temporary soil vapor sampling probe. Probes were set at 5 feet bgs in borings B1 and B3, and at 10 feet bgs in borings B2 and B4.

Soil vapor probes were constructed as follows:

1. The borehole was initially backfilled with approximately six inches of sand from the terminal depth of the borehole.
2. A 1-inch ceramic probe tip, connected to ¼-inch outer diameter (O.D.) Nylaflo® tubing was lowered into the borehole.
3. An additional six inches of sand were deposited around the probe tip, embedding the lower probe near the center of an approximately 1-foot-thick sand pack.
4. One foot of dry bentonite granules was placed on top of the sand pack.

5. The borehole was backfilled to the ground surface with bentonite granules, deposited and hydrated in approximately 6-inch lifts to prevent bridging.
6. Probe tubing was immediately cut near the surface, labeled, and capped with a gas-tight valve.

Construction of each probe was continuously verified by measuring deposited materials within the borehole to ensure that no bridging occurred and that probes were constructed to specification.

Soil vapor construction diagrams are provided as part of the boring logs in Appendix A.

### **3.5 SOIL VAPOR SAMPLING**

Following probe installation, subsurface conditions were allowed to equilibrate for a minimum of 75 minutes. Prior to purging and sampling, the internal volume of each probe was calculated. Probe volume calculations accounted for the probe tubing, tip, sand pack (assumed at 40% porosity), and dry bentonite (assumed at 50% porosity). Calculated purge volumes are presented in the soil vapor sampling field log provided in Appendix B.

A shut-in test was performed at each probe to check for leaks in the aboveground sampling system. The aboveground valves, lines, and fittings downstream from the top of the probe were assembled, and the system was evacuated to establish a vacuum in the sampling train. The sample train was then observed for approximately one minute to verify that there was no observable reduction in vacuum. In the event a loss in vacuum was observed, the sample train was re-adjusted and the test repeated. Upon verification of sample train integrity, efforts were made to minimize disturbance and alteration to the apparatus until completion of purging and vapor sample collection.

Upon verification of the shut-in test, each probe was purged for 3 probe volumes. All probes were purged at a rate of 200 milliliters per minute (mL/min). Vacuum in the sample train did not exceed 2 inches of water column (in. WC) at any sample location.

Soil vapor samples were collected in 1-liter Tedlar® bags from each of the probes using an electric pump, vapor vacuum sampling box, and clean tubing. The collected vapor samples were labeled, immediately shielded from light, and logged on a chain of custody pending transportation and submittal to Positive Lab Service of Los Angeles, California (Positive), a State-certified analytical laboratory.

Upon completion of soil vapor sampling, the temporary soil vapor probes were removed, and the holes were patched at the surface with concrete.

### **4.0 CHEMICAL ANALYSIS**

Select soil samples and all soil vapor samples were submitted for chemical analysis by Positive Lab Service of Los Angeles, California. Certified analytical reports and chain-of-custody documentation are provided as Appendix C.

One soil sample from each borehole was analyzed for total petroleum hydrocarbons with carbon chain characterization (TPHcc) by EPA Method 8015M. The 10-foot sample from boring B1 and the 5-foot samples from borings B2, B3, and B4 were analyzed for TPHcc.

All soil vapor samples collected were analyzed for VOCs by EPA Method 8260B.

### **5.0 ANALYTICAL RESULTS**

This section presents chemical analytical results of soil and soil vapor analysis. Certified analytical reports are presented in Appendix C.

## 5.1 SOIL ANALYTICAL RESULTS

No gasoline-, diesel- or oil-range petroleum hydrocarbons were detected in any soil samples analyzed.

## 5.2 SOIL VAPOR ANALYTICAL RESULTS

Table 1 presents the analytical results for VOCs in soil vapor. Two VOCs were detected in all four samples, as follows:

- Methylene chloride was detected in all samples analyzed at concentrations ranging from 0.032 micrograms per liter ( $\mu\text{g}/\text{l}$ ) in location SV3 (east of the suspected former UST area) to 0.077  $\mu\text{g}/\text{l}$  in location SV1 (within the suspected former UST area). It should be noted that methylene chloride is a common chemical used in analytical laboratories.
- Styrene was detected in all samples analyzed at concentrations ranging from 0.050  $\mu\text{g}/\text{l}$  in location SV4 (north of the suspected former UST area) to 0.078  $\mu\text{g}/\text{l}$  in location SV1 (within the suspected former UST area).

## 5.3 COMPARISON TO REGULATORY CRITERIA

In general, VOCs in soil vapor represent the potential for such compounds to infiltrate into indoor air and negatively impact breathable air for human receptors (vapor intrusion) in enclosed structures. Although the Site is currently being used as an open-air parking lot, a comparison of the analytical data to regulatory screening levels is valuable in evaluating the overall environmental condition of the Site.

VOCs in soil vapor are generally compared to California Human Health Screening Levels (CHHSLs; non-engineered fill criteria) established by the Office of Environmental Health Hazard Assessment (OEHHA) in 2010 to evaluate if the detected concentrations represent a significant risk to human receptors. CHHSLs were developed using default exposure and toxicity criteria to provide a conservative screening level, whereby concentrations of contaminants below such levels are not considered to represent a significant risk to human receptors.

No CHHSLs have been established for methylene chloride or styrene. Furthermore, the detected concentrations are almost an order of magnitude below the Regional Screening Levels (RSLs) that have been established by the US Environmental Protection Agency (USEPA) for Industrial Air (Table 1). In Andersen Environmental's experience, these two VOCs are low-priority pollutants that are not typically drivers in vapor intrusion investigations or response. As such, the presence of these chemicals at the concentrations detected is considered to represent a *de minimis* condition.

## 6.0 DISCUSSION

This section provides the current Site understanding and summarized our conclusion and recommendations regarding the environmental Site condition as determined during the subsurface investigation.

### 6.1 UNDERGROUND STORAGE TANKS

The geophysical survey did not indicate the presence of USTs on the Site, nor were any other subsurface structures identified. The sizes and locations of the three geophysical anomalies detected in the southern portion of the Site strongly suggest that the USTs and fuel dispensers associated with the former gasoline service station were removed from this area.

## 6.2 SOIL CONDITIONS

No petroleum hydrocarbons were detected in soil during this investigation. The absence of detectable TPH in soil samples in the apparent former UST area suggests that no appreciable mass of TPH (secondary source) is present. This suggests that the former use of the Site as a gasoline service station did not result in significant impacts to the subsurface, and no secondary source which represents a threat to either human health or groundwater has been identified.

## 6.3 SOIL VAPOR CONTAMINANT CONDITIONS

The detection of low concentrations of two VOCs (methylene chloride and styrene) in the four soil vapor samples suggests that historical Site activities may have resulted in slight impacts to the subsurface. However, based on the low concentrations and the fact that the concentrations were similar throughout the area investigated, it appears that the contaminants are well dispersed. Since CHHSLs have not been established for these two VOCs, and since the concentrations in soil vapor are nearly an order of magnitude below what would be allowable in Industrial Air, the residual concentrations are not considered to be of concern.

## 7.0 CONCLUSIONS AND RECOMMENDATIONS

Andersen Environmental has conducted a Phase II ESA at the parking lot located at 427 West Pico Boulevard in Los Angeles, California. A geophysical survey was performed, and the likely former locations of USTs and dispenser islands were identified. Four soil borings were advanced in the area to a maximum depth of 10 feet bgs, and one soil sample from each boring was collected and analyzed for TPHcc. A soil vapor probe was installed in each boring, and soil vapor samples were collected from all probes for VOCs analysis.

The assessment did not detect any petroleum hydrocarbons in soil. Two VOCs (methylene chloride and styrene) were detected at low concentrations. CHHSLs have not been established for these VOCs, which are low-priority pollutants and not typically drivers in vapor intrusion investigations. Furthermore, since the detected concentrations are almost an order of magnitude below the RSLs that have been established by the US Environmental Protection Agency (USEPA) for Industrial Air, their presence is not considered to represent a risk to human health.

Based on the investigative results herein indicating the absence of USTs, the presence of only low concentrations of VOCs that do not pose an unacceptable risk to human health, or evidence that an on-Site release has significantly impacted the subsurface.



## **8.0 SIGNIFICANT ASSUMPTIONS, LIMITATIONS AND RELIANCE**

This report has been prepared in accordance with generally-accepted environmental methodologies and industry standards as they relate to the Data Quality Objectives of the assessment. No warranties, expressed or implied, are made as to the professional services provided under the terms of Andersen Environmental's contract(s) or specified in this report. This assessment has been conducted, in part, based on information, data or reports provided or prepared by others. Andersen Environmental reviews and interprets these documents in good faith and relies that the provided data and documents are true and accurate.

Environmental conditions at the site were assessed or interpreted within the context of Andersen Environmental's contract(s) and existing environmental regulations of applicable jurisdiction(s) as of the date of the report. Regulatory requirements, regulations and guidance are subject to change subsequent to the date of the report. Unless otherwise stated in the report, evaluating compliance of past, present or future owners with applicable local, provincial and federal government laws and regulations was not included within the scope of the assessment.

The environmental assessment is limited by the availability of information at the time of the assessment. The conclusions and recommendations regarding environmental conditions presented in this report are based on a scope of work authorized by the Client. It is possible that unrepfsorted conditions impairing the environmental status of the site may have occurred which could not be identified. Andersen Environmental's opinions cannot be extended to portions of the site that were unavailable for direct access and observation reasonably beyond the control of Andersen Environmental or outside of the scope of the assessment. Environmental assessment activities, particularly the sampling of soil, vapor (air), groundwater and structure materials, represent those conditions which are present at the time of sampling within the immediate vicinity of the sample(s) collected. Although sampling plans are developed in an attempt to provide what is interpreted as sufficient coverage within the assessment area to achieve the investigative objectives, no extent of sampling can guarantee all environmental conditions, potential chemicals of concern (man-made or naturally occurring) and concentrations at which they occur have been identified and quantified absolutely. The assessment performed and outlined in this report was based, in part, upon visual observations of the site and attendant structures. It should be noted that compounds, materials or chemicals of potential concern other than those described could be present in the site environment, and the possibility remains that unexpected environmental conditions may be encountered at the site in locations not specifically investigated.

All components of this report, including but not limited to text, signatures, certifications, figures, tables, attachments, appendices, supporting documents and addenda are integral to the reporting of the assessment. This report may not be reproduced, except in full, without written approval of Andersen Environmental.

This report has been prepared for the sole use of Pico Venture Limited LLC. The contents should not be relied upon by any other parties without the express written consent of Pico Venture Limited LLC and Andersen Environmental.

## 9.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONALS

This assessment has been conducted with the standards and level of care and skill exercised in such types of investigations, by qualified geologists, engineers, environmental scientists or environmental professionals, in conformance with generally-accepted industry standards and practices.

Prepared by:

Date: November 13, 2015



Diana L. Buchanan  
Professional Geologist No. 6297  
Senior Project Manager

Reviewed and approved by:

Date: November 13, 2015



Brian Martasin  
Professional Geologist No. 8356  
Principal Geologist

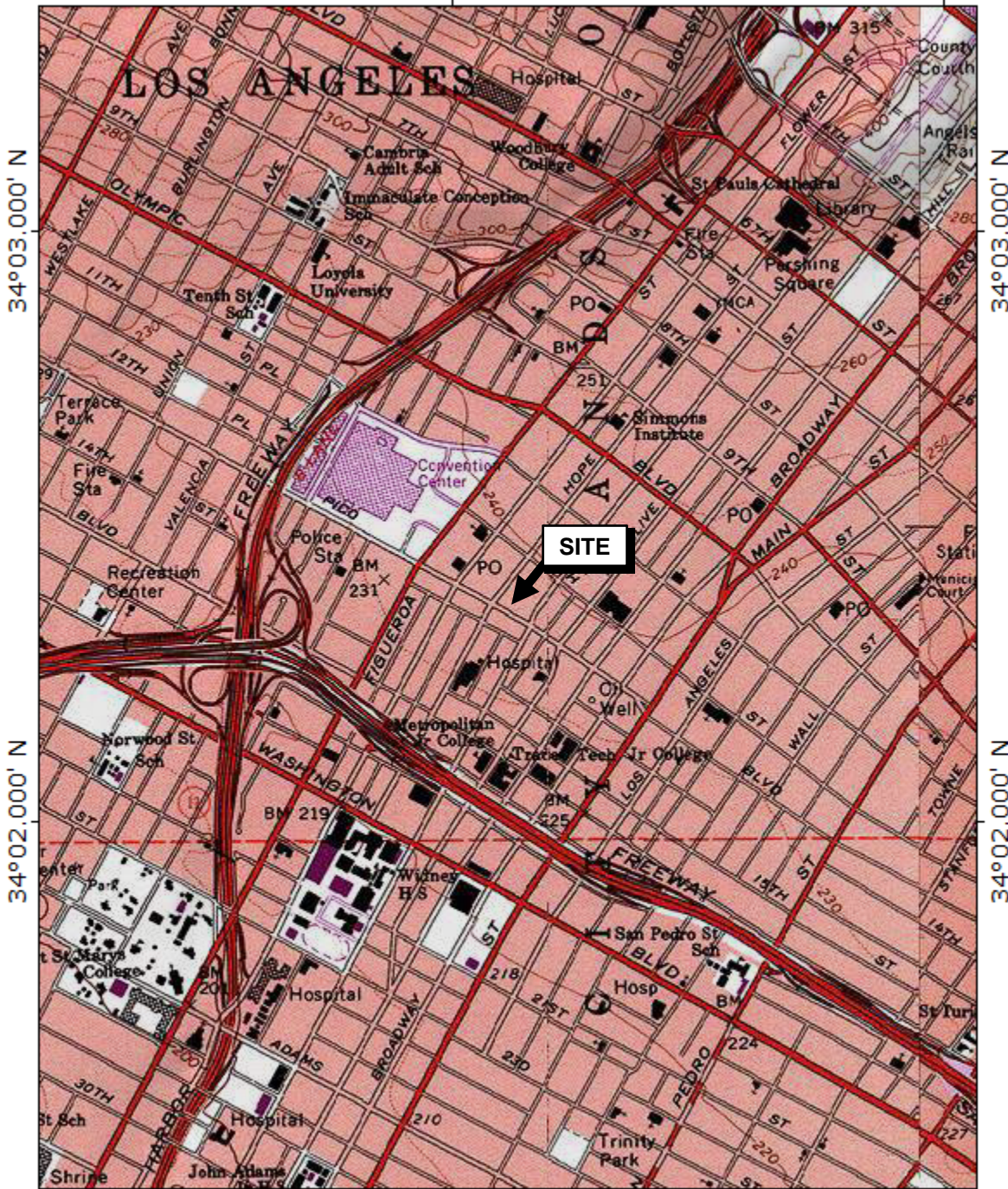


## FIGURES

TOPO! map printed on 11/12/15 from "Untitled.tpo"

118°16.000' W

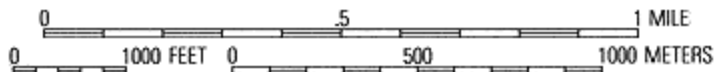
WGS84 118°15.000' W



118°16.000' W

WGS84 118°15.000' W

TN  $\uparrow$  MN  
13°

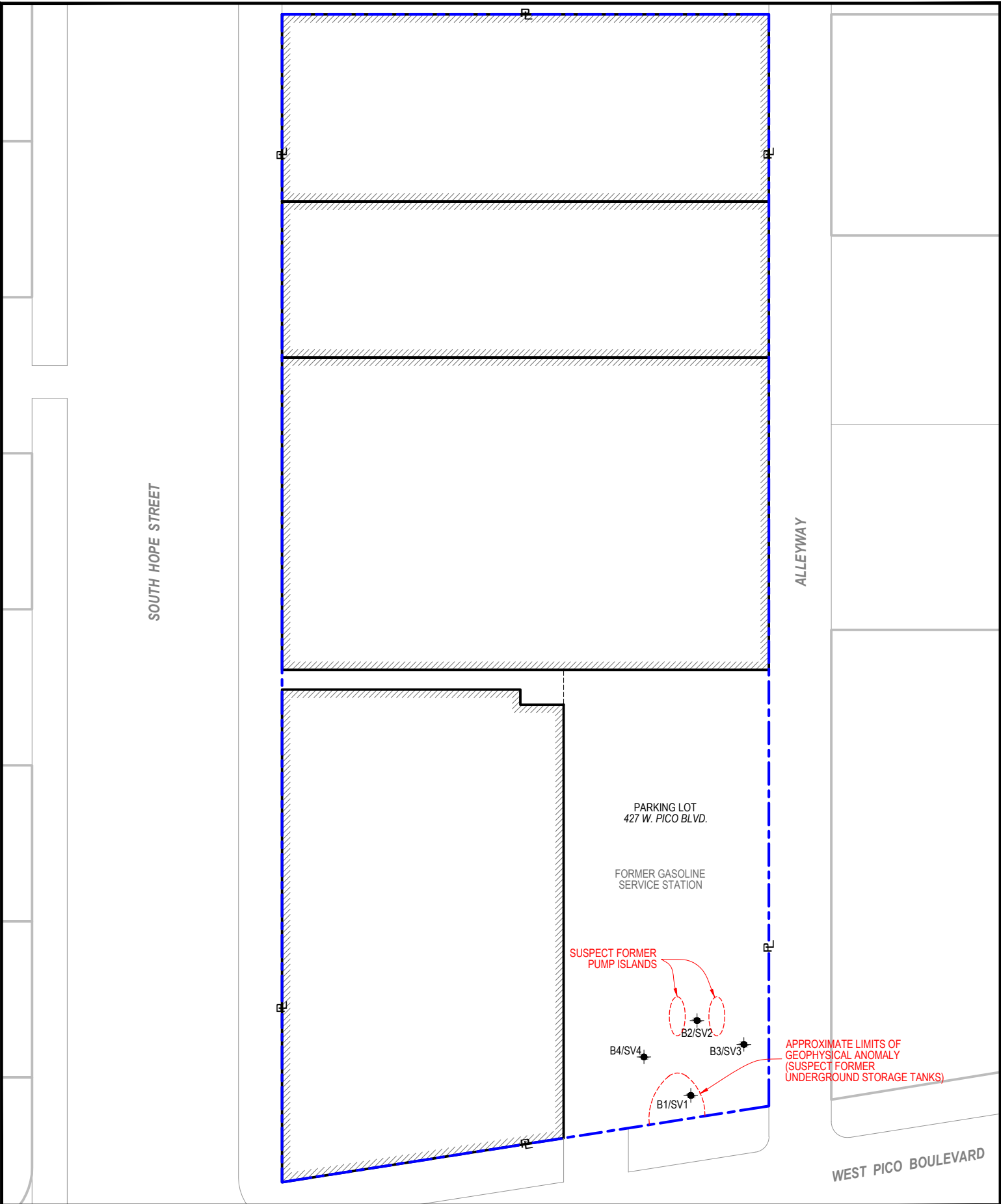


**Figure 1**  
**Site Location Map**

427 West Pico Boulevard  
Los Angeles, California 90015

Source:  
USGS Hollywood, CA 7.5 Minute  
Topographic Map (1994)

Project Number: 983600610



**LEGEND**

- PROPERTY LINE
- SUBJECT STRUCTURE
- APPROXIMATE SOIL / SOIL VAPOR SAMPLING LOCATION

APPROX. SCALE: 1"=40'

**SITE PLAN WITH SAMPLING LOCATIONS**

1220-1246 S. HOPE ST &  
427 W. PICO BLVD.  
LOS ANGELES, CA 900015

**ANDERSEN ENVIRONMENTAL**  
An EFI Global Company

PN: 9836000610	FIGURE
DT: 11/13/2015	<b>2</b>
DB: JE   CB: DB	

**TABLE**

**Table 1: Volatile Organic Compounds in Soil Vapor  
Commercial Property**

1220 - 1246 South Hope Street and 427 West Pico Boulevard, Los Angeles, California

Sample ID	Probe Depth (ft bgs)	Date	Analytical Results (EPA Method 8260B, µg/l)		
			Methylene Chloride	Styrene	All Other VOC Analytes
SV1-10	10	11/06/15	0.077	0.078	ND
SV2-5	5	11/06/15	0.057	0.076	ND
SV3-10	10	11/06/15	0.032	0.061	ND
SV4-5	5	11/06/15	0.035	0.050	ND
<b>Screening Level</b>			<b>NE</b>	<b>NE</b>	<b>--</b>
<b>RSL, Industrial Air</b>			<b>0.26</b>	<b>0.44</b>	<b>--</b>

Notes:

RSL = Regional Screening Level for indoor air at industrial sites (USEPA, June 2015)

µg/l = micrograms per liter

NA = Not Applicable

ND = Not Detected above Practical Quantitation Limit

ft bgs = feet below ground surface

**APPENDIX A**  
**FIELD SOIL BORING LOGS**



# BORING LOG

BORING: **B1**

PROJECT NO.: **9836000610**

DATE(S) DRILLED: **11/6/15**

PAGE **1** OF **2**

PROJECT NAME: **HOPE ST.**

LOGGED BY: **JVM**

DRILLING METHOD & RIG: **DIRECT PUSH**

PROJECT ADDRESS: **1220-1226 HOPE ST**

DRILLING CONTRACTOR / DRILLER NAME: **MINUTEMAN / ALEX**

DEPTH TO GROUNDWATER:

BOREHOLE DIAMETER: **1.5"**

HAMMER DATA:

TERMINAL DEPTH: **10'**

PID CAL GAS/DATE: **HEXANE**

SAMPLING METHOD: **ACETATE**

TIME	BC	SAMPLE ID	R	SI	DEPTH	PID	USCS	LITHOLOGY	COMPLETION
					1				
					2				
					3				
					4				
7:40		B1-5'			5	0.7	SM	SILTY SAND w/ GRAVEL (FILL); VERY HARD, SLIGHTLY MOIST, BROWN/GRAY, NO ODR, NO DISCOLORATION.	14" DIAMETER BENT.
					6				
					7				
					8				
					9				
7:46		B1-10'			10	0.5	SM	SET VAPOR PROBE @ 10' bgs. SAME AS ABOVE: REFUSAL @ 10' bgs. EOB @ 10' bgs.	PROBE TIP 6" DIAMETER BENT.

**BORING LOG**

BORING: **B2** <sub>JM</sub>

PROJECT NO.: **9836000610**

DATE(S) DRILLED: **11/6/15**

PAGE **1** OF **2**

PROJECT NAME: **HOPE ST.**

LOGGED BY: **JVM**

DRILLING METHOD & RIG: **DIRECT PUSH**

PROJECT ADDRESS: **1220 - 1246 HOPE ST.**

DRILLING CONTRACTOR / DRILLER NAME: **MINUTE MAN / ALGX**

DEPTH TO GROUNDWATER:

BOREHOLE DIAMETER: **1.5"**

HAMMER DATA:

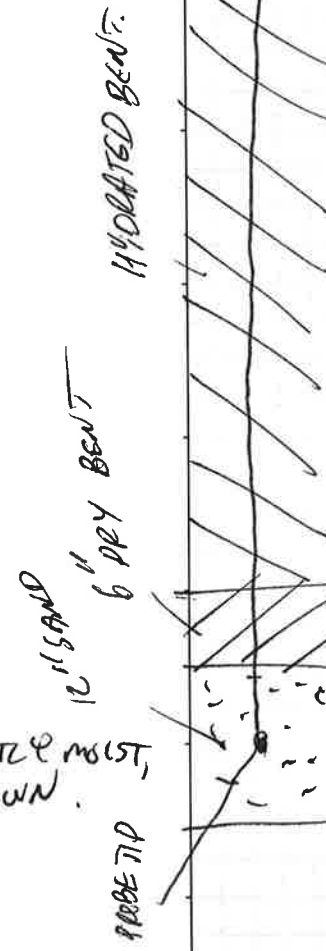
TERMINAL DEPTH: **6.5'**

PID CAL GAS/DATE: **HEXANE**

SAMPLING METHOD: **ACETATE**

TIME	BC	SAMPLE ID	R	SI	DEPTH	PID	USCS	LITHOLOGY	COMPLETION
					1				
					2				
					3				
					4				
<b>8:02</b>		<b>B2-5</b>			5	<b>0.7</b>	<b>SM</b>	<b>SILTY SAND w/ GRAVEL, SLIGHTLY MOIST, HARD/STIFF, LIGHT GRAY/BROWN. PROBE SET @ 5' bgs.</b>	<b>HYDRATED BENT.</b>
					6				
					7				
					8				
					9				
					10				

**REFUSAL @ ≈ 6.5' bgs**  
**EOB @ 6.5' bgs**





# BORING LOG

BORING: **B3**

PROJECT NO.: **9836000610**

DATE(S) DRILLED: **11/6/15**

PAGE **1** OF **1**

PROJECT NAME: **HOPE ST**

LOGGED BY: **JUM**

DRILLING METHOD & RIG: **DIRECT PUSH/TRUCK**

PROJECT ADDRESS: **1220-1246 HOPE ST. LA, CA**

DRILLING CONTRACTOR / DRILLER NAME: **MINUTE MAN / ALEX**

DEPTH TO GROUNDWATER: **N/A**

BOREHOLE DIAMETER: **1.5"**

HAMMER DATA:

TERMINAL DEPTH: **10' bgs**

PID CAL GAS/DATE: **HEXANE**

SAMPLING METHOD: **ACETATE**

TIME	BC	SAMPLE ID	R	SI	DEPTH	PID	USCS	LITHOLOGY	COMPLETION
					1				
					2				
					3				
					4				
8:30		B3-5'			5	0-0	SM	SILTY SAND, SAND IS VERY FINE, STIFF/HARD, MOIST BROWN, NO OOR, NO STAINING	HYDRATED BENT
					6				
					7				
					8				6" DEPT BENT.
					9				12" SAND
8:40		B3-10'			10	0-0	SM	SAME AS ABOVE; VERY HARD/STIFF REFUSAL @ 10' bgs. PROBE SET @ 10' bgs.	

# BORING LOG

BORING: **B4**

PROJECT NO.: **98360006.10**

DATE(S) DRILLED: **11/6/15**

PAGE **1** OF **1**

PROJECT NAME: **HOPE ST.**

LOGGED BY: **JVM**

DRILLING METHOD & RIG: **DIRECT PUSH / TRUCK**

PROJECT ADDRESS: **1220-1246 HOPE ST, CA, CA**

DEPTH TO GROUNDWATER: **N/A**

DRILLING CONTRACTOR / DRILLER NAME: **MINUTEMAN / ALEX**

TERMINAL DEPTH: **6.5' bgs.**

BOREHOLE DIAMETER: **1.5"**

HAMMER DATA:

PID CAL GAS/DATE: **HEXANE**

SAMPLING METHOD: **ACETATE**

TIME	BC	SAMPLE ID	R	SI	DEPTH	PID	USCS	LITHOLOGY	COMPLETION
					1				
					2				
					3				
					4				
<b>8:57</b>		<b>B4-5'</b>			5	<b>0.0</b>	<b>SM</b>	<b>SILTY SAND, SAND IS FINE GRAIN, MOIST, VERY HARD/STIFF, BROWN, NO ODOR, NO STAINING. PROBE SET @ 5' bgs. @ 9:05</b>	<b>HYDRATED BEAUT</b> <b>12" SAND BEUT.</b> <b>6" DRY BEUT.</b>
					6			<b>REFUSAL @ 6.5' bgs</b>	
					7				
					8				
					9				
					10				

**APPENDIX B**  
**SOIL VAPOR SAMPLING FIELD LOG**

# Soil Vapor Sampling Log



AE Proj No.: 9836000010      AE Staff: JOHN VAN METRE      Date: 11/6/15  
 Site Address: 1220-1246 HOPE ST.  
 Leak Check Compound: \_\_\_\_\_      Page 1 of 1

Sample Information			Steel Rod Probe (3/4" OD, 3/8" ID)		Built Probe Construction								Sample Collection Data							
No.	Sample ID	Date	Rod Length (ft)	Probe Depth (ft)	Probe Set Time	Hole Dia (in)	Probe Depth (ft)	Tubing Length (ft)	Tubing Dia (in)	Sand Pack Height (in)	Dry Bent Height (in)	Probe Set Time	Purge Start Time	Sample Time	Purge Vol (cc)	Purge Vol (probe volumes)	Shut-in Test (✓=Pass)	Flow Rate (mL/min)	Probe Vacuum (in WC)	Notes
1	SV1-10	11/6/15	—	—	0748	1.5"	10'	11'	1/4"	12"	6"	0748	9:30	9:34	1649 802	3	✓	200	2	3:47 PURGE
2	SV2-5	11/6/15	—	—	0804	1.5	5	6	1/4	12	6	0804	9:46	9:50	722	3	✓	200	2	3:37 PURGE
3	SV3-10	11/6/15	—	—	0842	1.5	10	11	1/4	12	6	0842	10:03	10:07	802	3	✓	200	2	3:47 PURGE
4	SV4-5	11/6/15			0859	1.5	5	6	1/4	12	6	0859	10:17	10:21	722	3	✓	200	2	3:37 PURGE

Notes:

**APPENDIX C**

**CERTIFIED ANALYTICAL REPORTS AND CHAIN OF CUSTODY  
DOCUMENTATION**



781 East Washington Blvd., Los Angeles, CA 90021  
(213) 745-5312 FAX (213) 745-6372

November 11, 2015

Ms. Diana Buchanan  
Andersen Environmental Inc.  
5261 West Imperial Highway  
Los Angeles, CA 90045

Report No.: 1511058  
Project Name: 9836000610 - 1220-1246 Hope St.

Dear Ms. Diana Buchanan,

This report contains the analytical results for the sample(s) received under chain of custody(s) by Positive Lab Service on November 06, 2015.

The test results in this report are performed in compliance with ELAP accreditation requirements for the certified parameters. The laboratory report may not be produced, except in full, without the written approval of the laboratory.

The issuance of the final Certificate of Analysis takes precedence over any previous Preliminary Report. Preliminary data should not be used for regulatory purposes. Authorized signature(s) is provided on final report only.

If you have any questions in reference to this report, please contact your Positive Lab Service coordinator.

  
Project Manager



781 East Washington Blvd., Los Angeles, CA 90021  
 (213) 745-5312 FAX (213) 745-6372

**Certificate of Analysis**

Andersen Environmental Inc.  
 5261 West Imperial Highway  
 Los Angeles, CA 90045

File #:74354  
 Report Date: 11/11/15  
 Submitted: 11/06/15  
**PLS Report No.: 1511058**

Attn: Ms. Diana Buchanan Phone: (310) 854-6300 FAX:(310) 854-0199

**Project:** 9836000610 - 1220-1246 Hope St.

<b>Sample ID: B1-10 Soil (1511058-01) Sampled:11/06/15 07:46 Received:11/06/15 11:03</b>											
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C4 - C12	ND		1	mg/kg	0.500	EPA 5035 EPA 8015B	11/06/15	11/06/15	lk	BK50936	
<i>Surrogate: a,a,a-Trifluorotoluene</i>	96.4 %			65-131		<i>EPA 5035 EPA 8015B</i>	<i>11/06/15</i>	<i>11/06/15</i>	<i>lk</i>	<i>BK50936</i>	
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C13 - C22	ND		1	mg/kg	2.50	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
TPH C23 - C32	ND		1	mg/kg	100	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
<i>Surrogate: n-Tetracosane</i>	74.6 %			69-148		<i>EPA 3546 EPA 8015B</i>	<i>11/10/15</i>	<i>11/11/15</i>	<i>lk</i>	<i>BK51135</i>	
<b>Sample ID: B2-5 Soil (1511058-02) Sampled:11/06/15 08:02 Received:11/06/15 11:03</b>											
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C4 - C12	ND		1	mg/kg	0.500	EPA 5035 EPA 8015B	11/06/15	11/06/15	lk	BK50936	
<i>Surrogate: a,a,a-Trifluorotoluene</i>	95.8 %			65-131		<i>EPA 5035 EPA 8015B</i>	<i>11/06/15</i>	<i>11/06/15</i>	<i>lk</i>	<i>BK50936</i>	
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C13 - C22	ND		1	mg/kg	2.50	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
TPH C23 - C32	ND		1	mg/kg	100	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
<i>Surrogate: n-Tetracosane</i>	71.8 %			69-148		<i>EPA 3546 EPA 8015B</i>	<i>11/10/15</i>	<i>11/11/15</i>	<i>lk</i>	<i>BK51135</i>	
<b>Sample ID: B3-5 Soil (1511058-03) Sampled:11/06/15 08:30 Received:11/06/15 11:03</b>											
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C4 - C12	ND		1	mg/kg	0.500	EPA 5035 EPA 8015B	11/06/15	11/06/15	lk	BK50936	
<i>Surrogate: a,a,a-Trifluorotoluene</i>	96.8 %			65-131		<i>EPA 5035 EPA 8015B</i>	<i>11/06/15</i>	<i>11/06/15</i>	<i>lk</i>	<i>BK50936</i>	
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C13 - C22	ND		1	mg/kg	2.50	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
TPH C23 - C32	ND		1	mg/kg	100	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
<i>Surrogate: n-Tetracosane</i>	69.3 %			69-148		<i>EPA 3546 EPA 8015B</i>	<i>11/10/15</i>	<i>11/11/15</i>	<i>lk</i>	<i>BK51135</i>	
<b>Sample ID: B4-5 Soil (1511058-04) Sampled:11/06/15 08:57 Received:11/06/15 11:03</b>											
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C4 - C12	ND		1	mg/kg	0.500	EPA 5035 EPA 8015B	11/06/15	11/06/15	lk	BK50936	
<i>Surrogate: a,a,a-Trifluorotoluene</i>	95.5 %			65-131		<i>EPA 5035 EPA 8015B</i>	<i>11/06/15</i>	<i>11/06/15</i>	<i>lk</i>	<i>BK50936</i>	
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch	
TPH C13 - C22	ND		1	mg/kg	2.50	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
TPH C23 - C32	ND		1	mg/kg	100	EPA 3546 EPA 8015B	11/10/15	11/11/15	lk	BK51135	
<i>Surrogate: n-Tetracosane</i>	75.5 %			69-148		<i>EPA 3546 EPA 8015B</i>	<i>11/10/15</i>	<i>11/11/15</i>	<i>lk</i>	<i>BK51135</i>	



781 East Washington Blvd., Los Angeles, CA 90021  
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**Certificate of Analysis**

Page 3 of 3

Andersen Environmental Inc.  
 5261 West Imperial Highway  
 Los Angeles, CA 90045

File #: 74354  
 Report Date: 11/11/15  
 Submitted: 11/06/15  
**PLS Report No.: 1511058**

Attn: Ms. Diana Buchanan Phone: (310) 854-6300 FAX: (310) 854-0199

**Project:** 9836000610 - 1220-1246 Hope St.

**Quality Control Data**

Analyte	Result	PQL	Units	Spike Level	Source Result	%REC	%REC Limits	RPD	RPD Limit	Qualifier
<b>Batch BK50936 - EPA 5035</b>										
<b>Blank Prepared &amp; Analyzed: 11/06/15</b>										
TPH C4 - C12	ND	0.500	mg/kg							
<b>LCS Prepared &amp; Analyzed: 11/06/15</b>										
Gasoline	0.756	0.500	mg/kg	0.9096		83.1	69-116			
<b>Matrix Spike Source: 1511058-01 Prepared &amp; Analyzed: 11/06/15</b>										
Gasoline	1.54	0.500	mg/kg	1.819	ND	84.5	57-121			
<b>Matrix Spike Dup Source: 1511058-01 Prepared &amp; Analyzed: 11/06/15</b>										
Gasoline	1.43	0.500	mg/kg	1.819	ND	78.4	57-121	7.54	30	
<b>Batch BK51135 - EPA 3546</b>										
<b>Blank Prepared: 11/10/15 Analyzed: 11/11/15</b>										
TPH C13 - C22	ND	2.50	mg/kg							
TPH C23 - C32	ND	100	mg/kg							
Surrogate: n-Tetracosane	14.3		mg/kg	18.17		78.6	69-148			
<b>LCS Prepared &amp; Analyzed: 11/10/15</b>										
Diesel	444	5.00	mg/kg	554.7		80.1	63-136			
Surrogate: n-Tetracosane	15.2		mg/kg	18.17		83.4	69-146			
<b>LCS Dup Prepared: 11/10/15 Analyzed: 11/11/15</b>										
Diesel	437	5.00	mg/kg	554.7		78.7	63-136	1.78	30	
Surrogate: n-Tetracosane	15.0		mg/kg	18.17		82.5	69-146			

**Notes and Definitions**

- NA Not Applicable
- ND Analyte NOT DETECTED at or above the detection limit
- NR Not Reported
- MDL Method Detection Limit
- PQL Practical Quantitation Limit

Environmental Laboratory Accreditation Program Certificate No. 1131, Mobile Lab No. 2534, LACSD No. 10138

Authorized Signature(s)





**CHAIN OF CUSTODY AND ANALYSIS REQUEST**

781 East Washington Blvd., Los Angeles, CA 90021  
 (213) 745-5312 FAX (213) 745-6372

DATE: 11/6/15 PAGE 1 OF 1  
 LOG BOOK NO. FILE NO. LAB NO.

CLIENT NAME: Andres... Project Name/No. ... AIRBILL NO. ...

ADDRESS: ...

PROJECT MANAGER: ... PHONE NO: ... FAX NO: ...

SAMPLER NAME: ... (Printed) ... (Signature)

TAT (Analytical Turn Around Time) 0 = Same day; 1 = 24 Hour; 2 = 48 Hour; (Etc.) N = NORMAL

CONTAINER TYPES: B = Brass, E = Encore, G = Glass, P = Plastic, V = VOA Vial, O = Other:

UST Project: Y N - Global ID# ...

SAMPLE NO.	DATE SAMPLED	TIME SAMPLED	SAMPLE DESCRIPTION	MATRIX			TAT	CONTAINER #	TYPE	SAMPLE CONDITION/CONTAINER COMMENTS:
				WATER	SOIL	SLUDGE OTHER				
1		7:46	R1-5		X		1			
2		7:48	R1-5		X		1			
3		8:02	B3-5		X		1			
4		8:30	B3-5		X		1			
5		8:40	B3-10		X		1			
6		8:57	B1-5		X		1			
7										
8										
9										
10										

ANALYSES REQUESTED: ...

COOLER TEMP: ...

PRESERVATIVE: ...

REMARKS: ...

SAMPLE DISPOSITION:  
 1. Samples returned to client? YES NO  
 2. Samples will not be stored over 30 days, unless additional storage time is requested.  
 3. Storage time requested: \_\_\_\_\_ days

Relinquished By: (Signature and Printed Name) \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_  
 Received By: (Signature and Printed Name) \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

Relinquished By: (Signature and Printed Name) \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_  
 Received By: (Signature and Printed Name) \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

SPECIAL INSTRUCTIONS:

By \_\_\_\_\_ Date \_\_\_\_\_



CHAIN OF CUSTODY AND ANALYSIS REQUEST

DATE: 11/6/15 PAGE 1 OF 1

781 East Washington Blvd., Los Angeles, CA 90021  
(213) 745-5312 FAX (213) 745-6372

LOG BOOK NO. FILE NO. LAB NO. 151098

CLIENT NAME: ANOENSEN ENVIRONMENTAL Project Name/No. 1220-1246 HOPE ST. P.O. NO. 9836000610

ADDRESS: on FILE AIRBILL NO. COOLER TEMP: 0.3°C PRESERVATIVE:

PROJECT MANAGER: DIANA B. PHONE NO. FAX NO. REMARKS: TAT changed to today via email per Diana B. 11/10/15 @ 4pm

SAMPLER NAME: Jim (Signature) ANALYSES REQUESTED:

TAT (Analytical Turn Around Time) 0 = Same day; 1 = 24 Hour; 2 = 48 Hour; (Etc.) N = NORMAL

CONTAINER TYPES: B = Brass, E = Encore, G = Glass, P = Plastic, V = VOA Vial, O = Other:

UST Project: Y N - Global ID#

SAMPLE NO.	DATE SAMPLED	TIME SAMPLED	SAMPLE DESCRIPTION	MATRIX			CONTAINER		TAT	OTHER	TYPE	SAMPLE CONDITION/CONTAINER /COMMENTS:
				WATER	SOIL	SLUDGE	CONTAINER #					
1		7:40	B1-5	X								
2		7:46	B1-10									Hold
3		8:02	B2-5									
4		8:30	B3-5									
5		8:40	B3-10									
6		8:57	B4-5									Hold
7												
8												
9												
10												

RELINQUISHED BY: (Signature and Printed Name) JOHN VAN METRE Date: 11/10/15 Time: 1:32a

RECEIVED BY: (Signature and Printed Name) [Signature] Date: 11/10/15 Time: [Time]

RELINQUISHED BY: (Signature and Printed Name) [Signature] Date: [Date] Time: [Time]

RECEIVED BY: (Signature and Printed Name) [Signature] Date: [Date] Time: [Time]

SAMPLE DISPOSITION:  
 1. Samples returned to client? YES NO  
 2. Samples will not be stored over 30 days, unless additional storage time is requested.  
 3. Storage time requested: \_\_\_\_\_ days

By \_\_\_\_\_ Date \_\_\_\_\_

SPECIAL INSTRUCTIONS:

PRESERVATIVE: 1 - HNO3, 2 - H2SO4, 3 - HCL, 4 - Zinc Acetate, 5 - NaOH, 6 - NH4 Buffer, 7 - Other

LAB COPY



781 East Washington Blvd., Los Angeles, CA 90021  
(213) 745-5312 FAX (213) 745-6372

Certificate of Analysis

Andersen Environmental Inc.  
5261 West Imperial Highway  
Los Angeles, CA 90045

File #:74354  
Report Date: 11/12/15  
Submitted: 11/06/15  
PLS Report No.: 1511057

Attn: Ms. Diana Buchanan Phone: (310) 854-6300 FAX:(310) 854-0199  
Project: 9836000610 - 1220-1246 Hope St.

Sample ID: SV1-10 Air (2) (1511057-01) Sampled:11/06/15 09:30 Received:11/06/15 11:02										
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch
EPA 8260 Volatile Organic Compounds	See Attachment									
Sample ID: SV2-5 Air (2) (1511057-02) Sampled:11/06/15 09:46 Received:11/06/15 11:02										
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch
EPA 8260 Volatile Organic Compounds	See Attachment									
Sample ID: SV3-10 Air (2) (1511057-03) Sampled:11/06/15 10:03 Received:11/06/15 11:02										
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch
EPA 8260 Volatile Organic Compounds	See Attachment									
Sample ID: SV4-5 Air (2) (1511057-04) Sampled:11/06/15 10:17 Received:11/06/15 11:02										
Analyte	Results	Flag	D.F.	Units	PQL	Prep/Test Method	Prepared	Analyzed	By	Batch
EPA 8260 Volatile Organic Compounds	See Attachment									

**Notes and Definitions**

- NA Not Applicable
- ND Analyte NOT DETECTED at or above the reported limit(s)
- NR Not Reported
- MDL Method Detection Limit
- PQL Practical Quantitation Limit

Authorized Signature(s)



# Enthalpy Analytical, Inc.

**Formerly Associated Labs**

806 N. Batavia - Orange, CA 92868  
Tel: (714)771-6900 Fax: (714)538-1209  
www.associatedlabs.com  
info-sc@enthalpy.com



Client: Positive Lab Service  
Address: 781 E. Washington Blvd.  
Los Angeles, CA 90021

Lab Request: 362301  
Report Date: 11/12/2015  
Date Received: 11/06/2015  
Client ID: 2513

Attn: John Schmidt

Comments: Project #: 1511057  
P.O. #: 14493

This laboratory request covers the following listed samples which were analyzed for the parameters indicated on the attached Analytical Result Report. All analyses were conducted using the appropriate methods. Methods accredited by NELAC are indicated on the report. This cover letter is an integral part of the final report.

<u>Sample #</u>	<u>Client Sample ID</u>
362301-001	SV1-10
362301-002	SV2-5
362301-003	SV3-10
362301-004	SV4-5

Thank you for the opportunity to be of service to your company. Please feel free to call if there are any questions regarding this report or if we can be of further service.

Report Review performed by: Jennifer Wu, QA/QC Scientist

NOTE: Unless notified in writing, all samples will be discarded by appropriate disposal protocol 45 days from date reported.

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Matrix: Air	Client: Positive Lab Service	Collector: Client
Sampled: 11/06/2015 09:30	Site:	
Sample #: <u>362301-001</u>	Client Sample #: SV1-10	Sample Type:

Analyte	Result	DF	RDL	Units	Prepared	Analyzed By	Notes
Method: EPA 8260B	Prep Method: Method					QCBatchID: QC1159906	
1,1,1-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 20:17	ZZ
1,1,2,2-Tetrachloroethane	ND	7	0.0483	ug/L		11/06/15 20:17	ZZ
1,1,2-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 20:17	ZZ
1,1,2-Trichlorotrifluoroethane	ND	7	0.0539	ug/L		11/06/15 20:17	ZZ
1,1-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 20:17	ZZ
1,1-Dichloroethene	ND	7	0.028	ug/L		11/06/15 20:17	ZZ
1,2,4-Trichlorobenzene	ND	7	0.0518	ug/L		11/06/15 20:17	ZZ
1,2,4-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 20:17	ZZ
1,2-Dibromoethane	ND	7	0.0539	ug/L		11/06/15 20:17	ZZ
1,2-Dichlorobenzene	ND	7	0.42	ug/L		11/06/15 20:17	ZZ
1,2-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 20:17	ZZ
1,2-Dichloropropane	ND	7	0.0322	ug/L		11/06/15 20:17	ZZ
1,3,5-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 20:17	ZZ
1,3-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 20:17	ZZ
1,4-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 20:17	ZZ
4-Ethyltoluene	ND	7	0.0343	ug/L		11/06/15 20:17	ZZ
Benzene	ND	7	0.0224	ug/L		11/06/15 20:17	ZZ
Bromodichloromethane	ND	7	0.0469	ug/L		11/06/15 20:17	ZZ
Bromoform	ND	7	0.0721	ug/L		11/06/15 20:17	ZZ
Bromomethane	ND	7	0.0273	ug/L		11/06/15 20:17	ZZ
Carbon Tetrachloride	ND	7	0.0441	ug/L		11/06/15 20:17	ZZ
Chlorobenzene	ND	7	0.0322	ug/L		11/06/15 20:17	ZZ
Chlorodibromomethane	ND	7	0.0595	ug/L		11/06/15 20:17	ZZ
Chloroethane	ND	7	0.091	ug/L		11/06/15 20:17	ZZ
Chloroform	ND	7	0.0343	ug/L		11/06/15 20:17	ZZ
Chloromethane	ND	7	0.0735	ug/L		11/06/15 20:17	ZZ
cis-1,2-Dichloroethene	ND	7	0.028	ug/L		11/06/15 20:17	ZZ
cis-1,3-dichloropropene	ND	7	0.0315	ug/L		11/06/15 20:17	ZZ
Dichlorodifluoromethane	ND	7	0.0343	ug/L		11/06/15 20:17	ZZ
Di-isopropyl ether (DIPE)	ND	7	0.0294	ug/L		11/06/15 20:17	ZZ
Ethylbenzene	ND	7	0.0301	ug/L		11/06/15 20:17	ZZ
Ethyl-tertbutylether (ETBE)	ND	7	0.0294	ug/L		11/06/15 20:17	ZZ
m and p-Xylene	ND	7	0.0301	ug/L		11/06/15 20:17	ZZ
<b>Methylene chloride</b>	<b>0.077</b>	7	0.0245	ug/L		11/06/15 20:17	ZZ
Methyl-t-butyl Ether (MTBE)	ND	7	0.0252	ug/L		11/06/15 20:17	ZZ
Naphthalene	ND	7	0.0364	ug/L		11/06/15 20:17	ZZ
o-Xylene	ND	7	0.0301	ug/L		11/06/15 20:17	ZZ
<b>Styrene</b>	<b>0.078</b>	7	0.0301	ug/L		11/06/15 20:17	ZZ
t-Butyl alcohol (TBA)	ND	7	0.021	ug/L		11/06/15 20:17	ZZ
Tert-amylmethylether (TAME)	ND	7	0.0294	ug/L		11/06/15 20:17	ZZ
Tetrachloroethene	ND	7	0.0476	ug/L		11/06/15 20:17	ZZ
Toluene	ND	7	0.0266	ug/L		11/06/15 20:17	ZZ
trans-1,2-dichloroethene	ND	7	0.028	ug/L		11/06/15 20:17	ZZ
trans-1,3-dichloropropene	ND	7	0.028	ug/L		11/06/15 20:17	ZZ
Trichloroethene	ND	7	0.0378	ug/L		11/06/15 20:17	ZZ
Trichlorofluoromethane	ND	7	0.0392	ug/L		11/06/15 20:17	ZZ
Vinyl Chloride	ND	7	0.0182	ug/L		11/06/15 20:17	ZZ
Xylenes (Total)	ND	7	0.0301	ug/L		11/06/15 20:17	ZZ

Matrix: Air	Client: Positive Lab Service	Collector: Client
Sampled: 11/06/2015 09:46	Site:	
Sample #: <u>362301-002</u>	Client Sample #: SV2-5	Sample Type:

Analyte	Result	DF	RDL	Units	Prepared	Analyzed By	Notes
Method: EPA 8260B	Prep Method: Method					QCBatchID: QC1159906	
1,1,1-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 18:24	ZZ
1,1,2,2-Tetrachloroethane	ND	7	0.0483	ug/L		11/06/15 18:24	ZZ
1,1,2-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 18:24	ZZ
1,1,2-Trichlorotrifluoroethane	ND	7	0.0539	ug/L		11/06/15 18:24	ZZ
1,1-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 18:24	ZZ
1,1-Dichloroethene	ND	7	0.028	ug/L		11/06/15 18:24	ZZ
1,2,4-Trichlorobenzene	ND	7	0.0518	ug/L		11/06/15 18:24	ZZ
1,2,4-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 18:24	ZZ
1,2-Dibromoethane	ND	7	0.0539	ug/L		11/06/15 18:24	ZZ
1,2-Dichlorobenzene	ND	7	0.42	ug/L		11/06/15 18:24	ZZ
1,2-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 18:24	ZZ
1,2-Dichloropropane	ND	7	0.0322	ug/L		11/06/15 18:24	ZZ
1,3,5-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 18:24	ZZ
1,3-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 18:24	ZZ
1,4-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 18:24	ZZ
4-Ethyltoluene	ND	7	0.0343	ug/L		11/06/15 18:24	ZZ
Benzene	ND	7	0.0224	ug/L		11/06/15 18:24	ZZ
Bromodichloromethane	ND	7	0.0469	ug/L		11/06/15 18:24	ZZ
Bromoform	ND	7	0.0721	ug/L		11/06/15 18:24	ZZ
Bromomethane	ND	7	0.0273	ug/L		11/06/15 18:24	ZZ
Carbon Tetrachloride	ND	7	0.0441	ug/L		11/06/15 18:24	ZZ
Chlorobenzene	ND	7	0.0322	ug/L		11/06/15 18:24	ZZ
Chlorodibromomethane	ND	7	0.0595	ug/L		11/06/15 18:24	ZZ
Chloroethane	ND	7	0.091	ug/L		11/06/15 18:24	ZZ
Chloroform	ND	7	0.0343	ug/L		11/06/15 18:24	ZZ
Chloromethane	ND	7	0.0735	ug/L		11/06/15 18:24	ZZ
cis-1,2-Dichloroethene	ND	7	0.028	ug/L		11/06/15 18:24	ZZ
cis-1,3-dichloropropene	ND	7	0.0315	ug/L		11/06/15 18:24	ZZ
Dichlorodifluoromethane	ND	7	0.0343	ug/L		11/06/15 18:24	ZZ
Di-isopropyl ether (DIPE)	ND	7	0.0294	ug/L		11/06/15 18:24	ZZ
Ethylbenzene	ND	7	0.0301	ug/L		11/06/15 18:24	ZZ
Ethyl-tertbutylether (ETBE)	ND	7	0.0294	ug/L		11/06/15 18:24	ZZ
m and p-Xylene	ND	7	0.0301	ug/L		11/06/15 18:24	ZZ
<b>Methylene chloride</b>	<b>0.057</b>	7	0.0245	ug/L		11/06/15 18:24	ZZ
Methyl-t-butyl Ether (MTBE)	ND	7	0.0252	ug/L		11/06/15 18:24	ZZ
Naphthalene	ND	7	0.0364	ug/L		11/06/15 18:24	ZZ
o-Xylene	ND	7	0.0301	ug/L		11/06/15 18:24	ZZ
<b>Styrene</b>	<b>0.076</b>	7	0.0301	ug/L		11/06/15 18:24	ZZ
t-Butyl alcohol (TBA)	ND	7	0.021	ug/L		11/06/15 18:24	ZZ
Terf-amyimethylether (TAME)	ND	7	0.0294	ug/L		11/06/15 18:24	ZZ
Tetrachloroethene	ND	7	0.0476	ug/L		11/06/15 18:24	ZZ
Toluene	ND	7	0.0266	ug/L		11/06/15 18:24	ZZ
trans-1,2-dichloroethene	ND	7	0.028	ug/L		11/06/15 18:24	ZZ
trans-1,3-dichloropropene	ND	7	0.028	ug/L		11/06/15 18:24	ZZ
Trichloroethene	ND	7	0.0378	ug/L		11/06/15 18:24	ZZ
Trichlorofluoromethane	ND	7	0.0392	ug/L		11/06/15 18:24	ZZ
Vinyl Chloride	ND	7	0.0182	ug/L		11/06/15 18:24	ZZ
Xylenes (Total)	ND	7	0.0301	ug/L		11/06/15 18:24	ZZ

Matrix: Air	Client: Positive Lab Service	Collector: Client
Sampled: 11/06/2015 10:03	Site:	
Sample #: <u>362301-003</u>	Client Sample #: SV3-10	Sample Type:

Analyte	Result	DF	RDL	Units	Prepared	Analyzed	By	Notes
Method: EPA 8260B	Prep Method: Method					QC Batch ID:	QC1159906	
1,1,1-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 19:02	ZZ	
1,1,2,2-Tetrachloroethane	ND	7	0.0483	ug/L		11/06/15 19:02	ZZ	
1,1,2-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 19:02	ZZ	
1,1,2-Trichlorotrifluoroethane	ND	7	0.0539	ug/L		11/06/15 19:02	ZZ	
1,1-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 19:02	ZZ	
1,1-Dichloroethene	ND	7	0.028	ug/L		11/06/15 19:02	ZZ	
1,2,4-Trichlorobenzene	ND	7	0.0518	ug/L		11/06/15 19:02	ZZ	
1,2,4-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 19:02	ZZ	
1,2-Dibromoethane	ND	7	0.0539	ug/L		11/06/15 19:02	ZZ	
1,2-Dichlorobenzene	ND	7	0.42	ug/L		11/06/15 19:02	ZZ	
1,2-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 19:02	ZZ	
1,2-Dichloropropane	ND	7	0.0322	ug/L		11/06/15 19:02	ZZ	
1,3,5-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 19:02	ZZ	
1,3-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 19:02	ZZ	
1,4-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 19:02	ZZ	
4-Ethyltoluene	ND	7	0.0343	ug/L		11/06/15 19:02	ZZ	
Benzene	ND	7	0.0224	ug/L		11/06/15 19:02	ZZ	
Bromodichloromethane	ND	7	0.0469	ug/L		11/06/15 19:02	ZZ	
Bromoform	ND	7	0.0721	ug/L		11/06/15 19:02	ZZ	
Bromomethane	ND	7	0.0273	ug/L		11/06/15 19:02	ZZ	
Carbon Tetrachloride	ND	7	0.0441	ug/L		11/06/15 19:02	ZZ	
Chlorobenzene	ND	7	0.0322	ug/L		11/06/15 19:02	ZZ	
Chlorodibromomethane	ND	7	0.0595	ug/L		11/06/15 19:02	ZZ	
Chloroethane	ND	7	0.091	ug/L		11/06/15 19:02	ZZ	
Chloroform	ND	7	0.0343	ug/L		11/06/15 19:02	ZZ	
Chloromethane	ND	7	0.0735	ug/L		11/06/15 19:02	ZZ	
cis-1,2-Dichloroethene	ND	7	0.028	ug/L		11/06/15 19:02	ZZ	
cis-1,3-dichloropropene	ND	7	0.0315	ug/L		11/06/15 19:02	ZZ	
Dichlorodifluoromethane	ND	7	0.0343	ug/L		11/06/15 19:02	ZZ	
Di-isopropyl ether (DIPE)	ND	7	0.0294	ug/L		11/06/15 19:02	ZZ	
Ethylbenzene	ND	7	0.0301	ug/L		11/06/15 19:02	ZZ	
Ethyl-tertbutylether (ETBE)	ND	7	0.0294	ug/L		11/06/15 19:02	ZZ	
m and p-Xylene	ND	7	0.0301	ug/L		11/06/15 19:02	ZZ	
<b>Methylene chloride</b>	<b>0.032</b>	7	0.0245	ug/L		11/06/15 19:02	ZZ	
Methyl-t-butyl Ether (MTBE)	ND	7	0.0252	ug/L		11/06/15 19:02	ZZ	
Naphthalene	ND	7	0.0364	ug/L		11/06/15 19:02	ZZ	
o-Xylene	ND	7	0.0301	ug/L		11/06/15 19:02	ZZ	
<b>Styrene</b>	<b>0.061</b>	7	0.0301	ug/L		11/06/15 19:02	ZZ	
t-Butyl alcohol (TBA)	ND	7	0.021	ug/L		11/06/15 19:02	ZZ	
Tert-amylmethylether (TAME)	ND	7	0.0294	ug/L		11/06/15 19:02	ZZ	
Tetrachloroethene	ND	7	0.0476	ug/L		11/06/15 19:02	ZZ	
Toluene	ND	7	0.0266	ug/L		11/06/15 19:02	ZZ	
trans-1,2-dichloroethene	ND	7	0.028	ug/L		11/06/15 19:02	ZZ	
trans-1,3-dichloropropene	ND	7	0.028	ug/L		11/06/15 19:02	ZZ	
Trichloroethene	ND	7	0.0378	ug/L		11/06/15 19:02	ZZ	
Trichlorofluoromethane	ND	7	0.0392	ug/L		11/06/15 19:02	ZZ	
Vinyl Chloride	ND	7	0.0182	ug/L		11/06/15 19:02	ZZ	
Xylenes (Total)	ND	7	0.0301	ug/L		11/06/15 19:02	ZZ	

Matrix: Air	Client: Positive Lab Service	Collector: Client
Sampled: 11/06/2015 10:17	Site:	
Sample #: <b>362301-004</b>	Client Sample #: SV4-5	Sample Type:

Analyte	Result	DF	RDL	Units	Prepared	Analyzed By	Notes
Method: EPA 8260B	Prep Method: Method					QCBatchID: QC1159906	
1,1,1-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 19:40	ZZ
1,1,2,2-Tetrachloroethane	ND	7	0.0483	ug/L		11/06/15 19:40	ZZ
1,1,2-Trichloroethane	ND	7	0.0385	ug/L		11/06/15 19:40	ZZ
1,1,2-Trichlorotrifluoroethane	ND	7	0.0539	ug/L		11/06/15 19:40	ZZ
1,1-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 19:40	ZZ
1,1-Dichloroethene	ND	7	0.028	ug/L		11/06/15 19:40	ZZ
1,2,4-Trichlorobenzene	ND	7	0.0518	ug/L		11/06/15 19:40	ZZ
1,2,4-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 19:40	ZZ
1,2-Dibromoethane	ND	7	0.0539	ug/L		11/06/15 19:40	ZZ
1,2-Dichlorobenzene	ND	7	0.42	ug/L		11/06/15 19:40	ZZ
1,2-Dichloroethane	ND	7	0.0287	ug/L		11/06/15 19:40	ZZ
1,2-Dichloropropane	ND	7	0.0322	ug/L		11/06/15 19:40	ZZ
1,3,5-Trimethylbenzene	ND	7	0.0343	ug/L		11/06/15 19:40	ZZ
1,3-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 19:40	ZZ
1,4-Dichlorobenzene	ND	7	0.042	ug/L		11/06/15 19:40	ZZ
4-Ethyltoluene	ND	7	0.0343	ug/L		11/06/15 19:40	ZZ
Benzene	ND	7	0.0224	ug/L		11/06/15 19:40	ZZ
Bromodichloromethane	ND	7	0.0469	ug/L		11/06/15 19:40	ZZ
Bromoform	ND	7	0.0721	ug/L		11/06/15 19:40	ZZ
Bromomethane	ND	7	0.0273	ug/L		11/06/15 19:40	ZZ
Carbon Tetrachloride	ND	7	0.0441	ug/L		11/06/15 19:40	ZZ
Chlorobenzene	ND	7	0.0322	ug/L		11/06/15 19:40	ZZ
Chlorodibromomethane	ND	7	0.0595	ug/L		11/06/15 19:40	ZZ
Chloroethane	ND	7	0.091	ug/L		11/06/15 19:40	ZZ
Chloroform	ND	7	0.0343	ug/L		11/06/15 19:40	ZZ
Chloromethane	ND	7	0.0735	ug/L		11/06/15 19:40	ZZ
cis-1,2-Dichloroethene	ND	7	0.028	ug/L		11/06/15 19:40	ZZ
cis-1,3-dichloropropene	ND	7	0.0315	ug/L		11/06/15 19:40	ZZ
Dichlorodifluoromethane	ND	7	0.0343	ug/L		11/06/15 19:40	ZZ
Di-isopropyl ether (DIPE)	ND	7	0.0294	ug/L		11/06/15 19:40	ZZ
Ethylbenzene	ND	7	0.0301	ug/L		11/06/15 19:40	ZZ
Ethyl-tertbutylether (ETBE)	ND	7	0.0294	ug/L		11/06/15 19:40	ZZ
m and p-Xylene	ND	7	0.0301	ug/L		11/06/15 19:40	ZZ
<b>Methylene chloride</b>	<b>0.035</b>	7	0.0245	ug/L		11/06/15 19:40	ZZ
Methyl-t-butyl Ether (MTBE)	ND	7	0.0252	ug/L		11/06/15 19:40	ZZ
Naphthalene	ND	7	0.0364	ug/L		11/06/15 19:40	ZZ
o-Xylene	ND	7	0.0301	ug/L		11/06/15 19:40	ZZ
<b>Styrene</b>	<b>0.050</b>	7	0.0301	ug/L		11/06/15 19:40	ZZ
t-Butyl alcohol (TBA)	ND	7	0.021	ug/L		11/06/15 19:40	ZZ
Tert-amylmethylether (TAME)	ND	7	0.0294	ug/L		11/06/15 19:40	ZZ
Tetrachloroethene	ND	7	0.0476	ug/L		11/06/15 19:40	ZZ
Toluene	ND	7	0.0266	ug/L		11/06/15 19:40	ZZ
trans-1,2-dichloroethene	ND	7	0.028	ug/L		11/06/15 19:40	ZZ
trans-1,3-dichloropropene	ND	7	0.028	ug/L		11/06/15 19:40	ZZ
Trichloroethene	ND	7	0.0378	ug/L		11/06/15 19:40	ZZ
Trichlorofluoromethane	ND	7	0.0392	ug/L		11/06/15 19:40	ZZ
Vinyl Chloride	ND	7	0.0182	ug/L		11/06/15 19:40	ZZ
Xylenes (Total)	ND	7	0.0301	ug/L		11/06/15 19:40	ZZ



QC Batch ID: <b>QC1159906</b>	Analyst: nicollez	Method: EPA 8260B
Matrix: Air	Analyzed: 11/06/2015	Instrument: VOA-MS (group)

**Blank Summary**

Analyte	Blank Result	Units	RDL	Notes
<b>QC1159906MB1</b>				
1,1,1-Trichloroethane	ND	ug/L	0.0055	
1,1,2,2-Tetrachloroethane	ND	ug/L	0.0069	
1,1,2-Trichloroethane	ND	ug/L	0.0055	
1,1,2-Trichlorotrifluoroethane	ND	ug/L	0.0077	
1,1-Dichloroethane	ND	ug/L	0.0041	
1,1-Dichloroethene	ND	ug/L	0.004	
1,2,4-Trichlorobenzene	ND	ug/L	0.0074	
1,2,4-Trimethylbenzene	ND	ug/L	0.0049	
1,2-Dibromoethane	ND	ug/L	0.0077	
1,2-Dichlorobenzene	ND	ug/L	0.06	
1,2-Dichloroethane	ND	ug/L	0.0041	
1,2-Dichloropropane	ND	ug/L	0.0046	
1,3,5-Trimethylbenzene	ND	ug/L	0.0049	
1,3-Dichlorobenzene	ND	ug/L	0.006	
1,4-Dichlorobenzene	ND	ug/L	0.006	
4-Ethyltoluene	ND	ug/L	0.0049	
Benzene	ND	ug/L	0.0032	
Bromodichloromethane	ND	ug/L	0.0067	
Bromoform	ND	ug/L	0.0103	
Bromomethane	ND	ug/L	0.0039	
Carbon Tetrachloride	ND	ug/L	0.0063	
Chlorobenzene	ND	ug/L	0.0046	
Chlorodibromomethane	ND	ug/L	0.0085	
Chloroethane	ND	ug/L	0.013	
Chloroform	ND	ug/L	0.0049	
Chloromethane	ND	ug/L	0.0105	
cis-1,2-Dichloroethene	ND	ug/L	0.004	
cis-1,3-dichloropropene	ND	ug/L	0.0045	
Dichlorodifluoromethane	ND	ug/L	0.0049	
Di-isopropyl ether (DIPE)	ND	ug/L	0.0042	
Ethylbenzene	ND	ug/L	0.0043	
Ethyl-tertbutylether (ETBE)	ND	ug/L	0.0042	
m and p-Xylene	ND	ug/L	0.0043	
Methylene chloride	ND	ug/L	0.0035	
Methyl-t-butyl Ether (MTBE)	ND	ug/L	0.0036	
Naphthalene	ND	ug/L	0.0052	
o-Xylene	ND	ug/L	0.0043	
Styrene	ND	ug/L	0.0043	
t-Butyl alcohol (TBA)	ND	ug/L	0.003	
Tert-amylmethylether (TAME)	ND	ug/L	0.0042	
Tetrachloroethene	ND	ug/L	0.0068	
Toluene	ND	ug/L	0.0038	
trans-1,2-dichloroethene	ND	ug/L	0.004	
trans-1,3-dichloropropene	ND	ug/L	0.004	
Trichloroethene	ND	ug/L	0.0054	
Trichlorofluoromethane	ND	ug/L	0.0056	
Vinyl Chloride	ND	ug/L	0.0026	
Xylenes (Total)	ND	ug/L	0.0043	

QC Batch ID: **QC1159906**

Analyst: nicollez

Method: EPA 8260B

Matrix: Air

Analyzed: 11/06/2015

Instrument: VOA-MS (group)

**Duplicate Summary**

Analyte	Sample Amount	Duplicate Amount	Units	RPD	Limits RPD	Notes
						<b>Source: 362301-001</b>
1,1,1-Trichloroethane	ND	0.000	ug/L	0.0	20	
1,1,2,2-Tetrachloroethane	ND	0.000	ug/L	0.0	20	
1,1,2-Trichloroethane	ND	0.000	ug/L	0.0	20	
1,1,2-Trichlorotrifluoroethane	ND	0.000	ug/L	0.0	20	
1,1-Dichloroethane	ND	0.000	ug/L	0.0	20	
1,1-Dichloroethene	ND	0.000	ug/L	0.0	20	
1,2,4-Trichlorobenzene	ND	0.000	ug/L	0.0	20	
1,2,4-Trimethylbenzene	ND	0.000	ug/L	0.0	20	
1,2-Dibromoethane	ND	0.000	ug/L	0.0	20	
1,2-Dichlorobenzene	ND	0.000	ug/L	0.0	20	
1,2-Dichloroethane	ND	0.000	ug/L	0.0	20	
1,2-Dichloropropane	ND	0.000	ug/L	0.0	20	
1,3,5-Trimethylbenzene	ND	0.000	ug/L	0.0	20	
1,3-Dichlorobenzene	ND	0.000	ug/L	0.0	20	
1,4-Dichlorobenzene	ND	0.000	ug/L	0.0	20	
4-Ethyltoluene	ND	0.000	ug/L	0.0	20	
Benzene	ND	0.000	ug/L	0.0	20	
Bromodichloromethane	ND	0.000	ug/L	0.0	20	
Bromoform	ND	0.000	ug/L	0.0	20	
Bromomethane	ND	0.000	ug/L	0.0	20	
Carbon Tetrachloride	ND	0.000	ug/L	0.0	20	
Chlorobenzene	ND	0.000	ug/L	0.0	20	
Chlorodibromomethane	ND	0.000	ug/L	0.0	20	
Chloroethane	ND	0.000	ug/L	0.0	20	
Chloroform	ND	0.000	ug/L	0.0	20	
Chloromethane	ND	0.000	ug/L	0.0	20	
cis-1,2-Dichloroethene	ND	0.000	ug/L	0.0	20	
cis-1,3-dichloropropene	ND	0.000	ug/L	0.0	20	
Dichlorodifluoromethane	ND	0.000	ug/L	0.0	20	
Di-isopropyl ether (DIPE)	ND	0.000	ug/L	0.0	20	
Ethylbenzene	ND	0.000	ug/L	0.0	20	
Ethyl-tertbutylether (ETBE)	ND	0.000	ug/L	0.0	20	
m and p-Xylene	ND	0.000	ug/L	0.0	20	
Methylene chloride	0.077	0.076	ug/L	1.3	20	
Methyl-t-butyl Ether (MTBE)	ND	0.000	ug/L	0.0	20	
Naphthalene	ND	0	ug/L	0.0	20	
o-Xylene	ND	0.000	ug/L	0.0	20	
Styrene	0.078	0.077	ug/L	1.3	20	
t-Butyl alcohol (TBA)	ND	0.000	ug/L	0.0	20	
Tert-amylmethylether (TAME)	ND	0.000	ug/L	0.0	20	
Tetrachloroethene	ND	0.000	ug/L	0.0	20	
Toluene	ND	0.000	ug/L	0.0	20	
trans-1,2-dichloroethene	ND	0.000	ug/L	0.0	20	
trans-1,3-dichloropropene	ND	0.000	ug/L	0.0	20	
Trichloroethene	ND	0.000	ug/L	0.0	20	
Trichlorofluoromethane	ND	0.000	ug/L	0.0	20	
Vinyl Chloride	ND	0.000	ug/L	0.0	20	
Xylenes (Total)	ND	0.000	ug/L	0.0	20	

## Data Qualifiers and Definitions

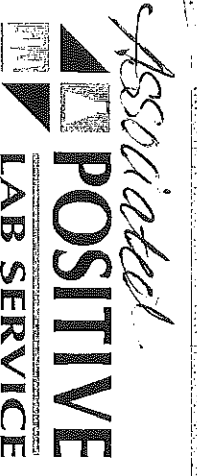
### Qualifiers

<b>B</b>	Analyte was present in an associated method blank. Associated sample data is qualified.
<b>B1</b>	Analyte was present in a sample and associated method blank greater than MDL but less than DRL. Associated sample data is qualified.
<b>BQ1</b>	No valid test replicates. Best result was reported with qualifier. Sample toxicity possible.
<b>BQ2</b>	No valid test replicates.
<b>BQ3</b>	Final DO is less than 1.0 mg/L. Result may be greater and is reported with qualifier.
<b>C</b>	Laboratory contamination.
<b>D</b>	RPD was not within control limits, the sample data was reported without further clarification.
<b>D1</b>	Lesser amount of sample was used due to insufficient amount of sample supplied
<b>DW</b>	Sample result is calculated on a dry weigh basis
<b>I</b>	The sample was read outside of the method required incubation period.
<b>J</b>	Reported value is estimated
<b>L</b>	The laboratory control sample (LCS) or laboratory control sample duplicate (LCSD) was out of control limits. Associated sample data was reported with qualifier.
<b>M</b>	The matrix spike (MS) or matrix spike duplicate (MSD) was not within control limits due to matrix interference. The associated LCS and/or LCSD was within control limits and the sample data was reported without further clarification.
<b>M1</b>	The matrix spike (MS) or matrix spike duplicate (MSD) is not within control limits due to matrix interference.
<b>NC</b>	The analyte concentration in the sample exceeded the spike level by a factor of four or greater, spike recovery and limits do not apply.
<b>P</b>	Sample was received without proper preservation according to EPA guidelines.
<b>P1</b>	Temperature of refrigerator was out of acceptance limits due to technical difficulty.
<b>Q1</b>	Analyte Calibration Verification exceeds criteria. The result is estimated and reported with qualifier.
<b>Q2</b>	Analyte calibration was not verified and the result was estimated and reported with qualifier.
<b>Q3</b>	Analyte initial calibration was not available or exceeds criteria. The result was estimated and reported with qualifier.
<b>Q4</b>	Analyte result out of calibration range. Result was estimated and reported with qualifier
<b>S</b>	The surrogate recovery was out of control limits due to matrix interference. The associated method blank surrogate recovery was within control limits and the sample data was reported without further clarification.
<b>S1</b>	The associated surrogate recovery was out of control limits; result is estimated.
<b>T</b>	Sample was extracted/analyzed past the holding time.
<b>T1</b>	Reanalysis was reported past hold time due to failing replicates in the original analysis (BOD only).
<b>T2</b>	Sample was analyzed ASAP but received and analyzed past the 15 minute holding time.
<b>T3</b>	Sample received and analyzed out of hold time per client's request
<b>T4</b>	Sample was analyzed out of hold time per client's request
<b>T5</b>	Reanalysis was reported past hold time. The original analysis was within hold time, but not reportable.
<b>T6</b>	Hold time is indeterminable due to unspecified sampling time.

### Definitions

<b>DF</b>	Dilution Factor
<b>MDL</b>	Method Detection Limit. Result is reported ND when it is less than or equal to MDL.
<b>ND</b>	Analyte was not detected or was less than the detection limit.
<b>RDL</b>	Reporting Detection Limit
<b>TIC</b>	Tentatively Identified Compounds

91671



CHAIN OF CUSTODY AND ANALYSIS REQUEST

781 East Washington Blvd., Los Angeles, CA 90021  
(213) 745-5312 FAX (213) 745-6372

LOG BOOK NO. \_\_\_\_\_

DATE: \_\_\_\_\_ PAGE 1 OF 1

FILE NO. \_\_\_\_\_ LAB NO. 302301

CLIENT NAME: Positive Lab Service Project Name/No. 1511057 AIRBILL NO. \_\_\_\_\_

ADDRESS: 781 E. Washington Blvd. Los Angeles, CA 90021 ANALYSES REQUESTED: \_\_\_\_\_ COOLER TEMP. \_\_\_\_\_

PROJECT MANAGER: John Schmidt PHONE NO. (213) 745-5312 FAX NO. \_\_\_\_\_ PRESERVATIVE: \_\_\_\_\_

SAMPLER NAME: Client (Printed) (Signature) \_\_\_\_\_ REMARKS: \_\_\_\_\_

TAT (Analytical Turn Around Time) 0 = Same day; 1 = 24 Hour; 2 = 48 Hour; (Etc.) N = NORMAL Over Samples

CONTAINER TYPES: B = Brass, E = Encore, G = Glass, P = Plastic, V = VOA Vial, O = Other: \_\_\_\_\_

UST Project: Y N - Global ID# \_\_\_\_\_

SAMPLE NO.	DATE SAMPLED	TIME SAMPLED	SAMPLE DESCRIPTION	MATRIX				TAT #	CONTAINER		SAMPLE CONDITION/CONTAINER COMMENTS:
				WATER	SOIL	SLUDGE	OTHER		#	TYPE	
1	11/6/15	9:30	SV1-10					N	1	P	EDA 82100 VCS
2		9:46	SV2-5					N	1	P	
3		11:03	SV5-10					N	1	P	
4		10:17	SV4-5					V	1	V	
5											
6											
7											
8											
9											
10											

Relinquished By: (Signature and Printed Name) [Signature] 11/6/15 Date: 11/6/15 Time: 6:24

Received By: (Signature and Printed Name) [Signature] 11/6/15 Date: 11/6/15 Time: 6:24

Relinquished By: (Signature and Printed Name) [Signature] 11/6/15 Date: 11/6/15 Time: 6:24

Received By: (Signature and Printed Name) \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

SPECIAL INSTRUCTIONS: \_\_\_\_\_

PRESERVATIVE: 1-HNO3, 2-H2SO4, 3-HCL, 4-Zinc Acetate, 5-NaOH, 6-NH4 Buffer, 7-Other \_\_\_\_\_

By \_\_\_\_\_ Date \_\_\_\_\_

LAB COPY

SAMPLE DISPOSITION:

1. Samples returned to client? YES NO

2. Samples will not be stored over 30 days, unless additional storage time is requested.

3. Storage time requested: \_\_\_\_\_ days



### SAMPLE ACCEPTANCE CHECKLIST

**Section 1**  
 Client: POSITIVE LAB Project: 1511057  
 Date Received: 11/6/15 Sampler's Signature Present: Yes  No   
 Sample temperature: \_\_\_\_\_  
 Sample(s) received in cooler: Yes  No  (Skip Section 2)  
 Shipping Information: AIR BAGS

**Section 2**  
 Was the cooler packed with: \_\_\_\_\_ Ice \_\_\_\_\_ Ice Packs \_\_\_\_\_ Bubble Wrap \_\_\_\_\_ Styrofoam  
 \_\_\_\_\_ Paper \_\_\_\_\_ None \_\_\_\_\_ Other \_\_\_\_\_  
 Cooler 1 Temperature: \_\_\_\_\_ Cooler 2 Temperature: \_\_\_\_\_ Cooler 3 Temperature: \_\_\_\_\_  
 (Acceptance range is 0 to 6 Deg. C. or arrival on ice; For Microbiology sample ≤ 10 Deg. C or arrival on ice)

Section 3	YES	NO	N/A
Was a COC received?	<input checked="" type="checkbox"/>		
Were IDs present?	<input checked="" type="checkbox"/>		
Were sampling dates & times present?	<input checked="" type="checkbox"/>		
Was a signature present?	<input checked="" type="checkbox"/>		
Were tests clearly indicated?	<input checked="" type="checkbox"/>		
Were custody seals present?		<input checked="" type="checkbox"/>	
If Yes -- were they intact?			<input checked="" type="checkbox"/>
Were all samples sealed in plastic bags?		<input checked="" type="checkbox"/>	
Did all samples arrive intact? If no, indicate below.	<input checked="" type="checkbox"/>		
Did all bottle labels agree with COC? (ID, dates and times)		<input checked="" type="checkbox"/>	
Were correct containers used for the tests required?	<input checked="" type="checkbox"/>		
Was a sufficient amount of sample sent for tests indicated?	<input checked="" type="checkbox"/>		
Was there headspace in VOA vials?			<input checked="" type="checkbox"/>
Were the containers labeled with correct preservatives?			<input checked="" type="checkbox"/>
Was total residual chlorine measured (Fish Bioassay samples only)? * *If the answer is no, please inform Fish Bioassay Dept. immediately.			<input checked="" type="checkbox"/>

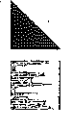
**Section 4**  
 Explanations/Comments  
SAMPLE ID ON #3 READS (SV3-10) ON TEDLAR.

**Section 5**  
 Was the Project Manager notified via email of discrepancies:  Y  N  N/A  
 Project Manager's response: USE ID PRESENT ON TEDLAR.

Completed By: [Signature] Date: 11/6/15

Associated

**POSITIVE**



**LAB SERVICE**

781 East Washington Blvd., Los Angeles, CA 90021  
(213) 745-5312 FAX (213) 745-6372

**CHAIN OF CUSTODY AND ANALYSIS REQUEST**

91671

DATE: \_\_\_\_\_ PAGE 1 OF 1  
LOG BOOK NO. \_\_\_\_\_ FILE NO. \_\_\_\_\_ LAB NO. 362301

CLIENT NAME: Positive Lab Service Project Name/No. B11057 P.O. NO. 14493 AIRBILL NO. \_\_\_\_\_

ADDRESS: 781 E. Washington Blvd. Los Angeles, CA 90021 ANALYSES REQUESTED: \_\_\_\_\_ COOLER TEMP: \_\_\_\_\_

PROJECT MANAGER: John Schmidt PHONE NO: (3) 745-5312 FAX NO: \_\_\_\_\_ PRESERVATIVE: \_\_\_\_\_

SAMPLER NAME: Client (Printed) (Signature) \_\_\_\_\_ REMARKS: \_\_\_\_\_

TAT (Analytical Turn Around Time) 0 = Same day; 1 = 24 Hour; 2 = 48 Hour; (Etc.) N = NORMAL air samples

CONTAINER TYPES: B = Brass, E = Encore, G = Glass, P = Plastic, V = VOA Vial, O = Other:

UST Project: Y N - Global ID# \_\_\_\_\_

SAMPLE NO.	DATE SAMPLED	TIME SAMPLED	SAMPLE DESCRIPTION	MATRIX			CONTAINER #	TAT	OTHER	SAMPLE CONDITION/CONTAINER COMMENTS:
				WATER	SOIL	SLUDGE				
1	11/6/15	9:30	SV1-10					N	P	
2	9/4/6	SV2-5								
3	10/3	SV5-10	(SV3-10)							
4	10/17	SV4-5						V	V	
5										
6										
7										
8										
9										
10										

Received By: (Signature and Printed Name) [Signature] 11/6/15 16:24 Date: 11/6/15 Time: 16:24

Received By: (Signature and Printed Name) [Signature] 11/6/15 16:24 Date: 11/6/15 Time: 16:24

Received By: (Signature and Printed Name) \_\_\_\_\_ Date: \_\_\_\_\_ Time: \_\_\_\_\_

SAMPLE DISPOSITION: 1. Samples returned to client? YES NO 2. Samples will not be stored over 30 days, unless additional storage time is requested. 3. Storage time requested: \_\_\_\_\_ days

SPECIAL INSTRUCTIONS: \_\_\_\_\_ PRESERVATIVE: 1-HNO3, 2-H2SO4, 3-HCL, 4-Zinc Acetate, 5-NaOH, 6-NH4 Buffer, 7-Other

LAB COPY

# CHAIN OF CUSTODY AND ANALYSIS REQUEST



781 East Washington Blvd., Los Angeles, CA 90021  
(213) 745-5312 FAX (213) 745-6372

DATE: 11/6/15 PAGE 1 OF 1  
LOG BOOK NO. FILE NO. 191051  
LAB NO. 983600610

CLIENT NAME: ANDERSEN ENVIRONMENTAL Project Name/No. 1220-1246 HOPE ST

ADDRESS: ON FILE

PROJECT MANAGER: DIANA B. PHONE NO: FAX NO:

SAMPLER NAME: JNM (Printed) (Signature)

TAT (Analytical Turn Around Time) 0 = Same day; 1 = 24 Hour; 2 = 48 Hour; (Etc.) N = NORMAL

CONTAINER TYPES: B = Brass, E = Encore, G = Glass, P = Plastic, V = VOA Vial, O = Other: T = TEDIAP

UST Project: Y N - Global ID#

SAMPLE NO.	DATE SAMPLED	TIME SAMPLED	SAMPLE DESCRIPTION	MATRIX			CONTAINER		REMARKS	SAMPLE CONDITION/CONTAINER COMMENTS
				WATER	SOIL	SLUDGE	OTHER	#		
1	11/6	9:30	SV1-10					1	T	
2		9:46	SV2-5							
3		10:03	SV3-10							
4		10:17	SV4-5							
5										
6										
7										
8										
9										
10										

8260 (vac's)

REMARKS: \*TAT changed to 1 day TAT per client via e-mail 11/15 @ 6:09 PM

ANALYSES REQUESTED:

AIRBILL NO:

COOLER TEMP: D/L/K

PRESERVATIVE:

SAMPLE DISPOSITION:  
1. Samples returned to client? YES NO  
2. Samples will not be stored over 30 days, unless additional storage time is requested.  
3. Storage time requested: \_\_\_\_\_ days

Relinquished By: (Signature and Printed Name) Date: 11/15/15 Time: 1:02 PM  
Received By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_

Relinquished By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_  
Received By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_

Relinquished By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_  
Received By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_

Relinquished By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_  
Received By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_

Relinquished By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_  
Received By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_

Relinquished By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_  
Received By: (Signature and Printed Name) Date: \_\_\_\_\_ Time: \_\_\_\_\_

SPECIAL INSTRUCTIONS:  
PRESERVATIVE: 1-HNO3, 2-H2SO4, 3-HCL, 4-Zinc Acetate, 5-NaOH, 6-NH4 Buffer, 7-Other





# NOTICE OF PREPARATION OF ENVIRONMENTAL IMPACT REPORT

ORIGINAL FILED

April 12, 2019

APR 12 2019

LOS ANGELES COUNTY CLERK

<b>ENVIRONMENTAL CASE NO.:</b>	ENV-2018-2294-EIR
<b>PROJECT NAME:</b>	The Morrison Project
<b>PROJECT APPLICANT:</b>	Morrison Hotel, LLC and Morrison Residential, LLC
<b>PROJECT ADDRESS:</b>	1220-1246 South Hope Street, Los Angeles, CA 90015
<b>COMMUNITY PLAN AREA:</b>	Central City
<b>COUNCIL DISTRICT:</b>	14 – Huizar
<b>PUBLIC COMMENT PERIOD:</b>	April 12, 2019 – May 13, 2019

The City of Los Angeles (City) intends to prepare an Environmental Impact Report (EIR) for the proposed Morrison Project (Project). In accordance with Section 15082 of the California Environmental Quality Act (CEQA) Guidelines, the City has prepared this Notice of Preparation to provide the public, nearby residents and property owners, responsible agencies, and other interested parties with information regarding the Project and its potential environmental effects. The EIR will be prepared by outside consultants under the supervision of the City of Los Angeles, Department of City Planning.

The City requests your written comments as to the scope and contents of the EIR, including mitigation measures or project alternatives to reduce potential environmental impacts from the Project. Comments must be submitted in writing according to directions below. If you represent a public agency, the City seeks written comments as to the scope and content of the environmental information in the EIR that are germane to your agency's statutory responsibilities in connection with the Project. Your agency may need to use the EIR prepared by the City when considering your permit or other approval for the Project.

#### PROJECT LOCATION AND EXISTING ON-SITE USES:

The Project is located at 1246 South Hope Street and 1248 South Hope Street, in downtown Los Angeles ("Project Site"), within the Central City Community Plan. The Project Site comprises five (5) contiguous parcels associated with Assessor Parcel Numbers 5139-022-003, 5139-022-004, 5139-022-020, 5139-022-006, and 5139-022-021, located along the southwest side of the block, and is generally bounded by 12<sup>th</sup> Street to the north, Grand Avenue to the east, Pico Boulevard to the south, and Hope Street to the west. The Project Site is flat and approximately 56,325 square feet (1.29 acres) in size. The Project Site is currently developed with a surface parking lot, the vacant four-story Morrison Hotel building, and three commercial industrial buildings. (See attached Project Location Map.)

#### PROJECT DESCRIPTION:

The Project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy (SRO) hotel ("Phase I Existing"), the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel ("Phase I Expansion"), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building ("Phase II Hotel and Residential Tower"). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project would also



include a 3,060 square-foot basement bar and lounge, 15,891 square feet of ground floor restaurant and retail space, 10,415 square feet of ground floor hotel and residential lobby space, 14,052 square feet of event and meeting room space, and 39,199 square feet of amenity spaces. The Project includes 215 parking spaces to be located within three levels of subterranean parking. (See attached Plot Plan.) See the Existing Uses and Proposed Uses tables below for Project Summary.

### Existing Uses

Existing Uses	Sizes
Vacant Single-Resident Occupancy Hotel (1246-48 South Hope St.; 433-35 West Pico Blvd.)	46,626 sf
Commercial Industrial (1220 South Hope St.)	9,300 sf
Commercial Industrial (1224 South Hope St.)	7,750 sf
Commercial Industrial (1230-40 South Hope St.)	15,500 sf
Surface Parking Lot (427 West Pico Blvd.)	9,461 sf (Lot area)

### Existing Uses to be Removed

Existing Uses to be Removed	Sizes
<b>Commercial Industrial Land Uses</b>	
Commercial Industrial (1220 South Hope St.)	9,300 sf
Commercial Industrial (1224 South Hope St.)	7,750 sf
Commercial Industrial (1230-40 South Hope St.)	15,500 sf
<b>Total Commercial Industrial</b>	<b>32,550 sf</b>
Surface Parking Lot (427 West Pico Blvd.)	9,461 sf (Lot area)

### Proposed Uses

Proposed Uses	Maximum Sizes
<b>Hotel Rooms</b>	
Existing Hotel – Phase I (Adaptive Reuse)	69 rm
New Construction – Phase I Expansion	231 rm
New Construction – part of Phase II Hotel and Residential Tower	150 rm
<b>Total Hotel Rooms</b>	<b>450 rm</b>
<b>Residential Units - part of Phase II Hotel and Residential Tower</b>	
1 bedroom	60 du
2 bedrooms	72 du
3 bedrooms (Penthouse units)	3 du
<b>Total Residential Units</b>	<b>135 du</b>
<b>Provided Open Space</b>	
Common Open Space	11,450 sf
Recreation Room	2,167 sf
Private Open Space (Balconies)	3,750 sf
<b>Total Open Space</b>	<b>17,367 sf</b>

### Proposed Uses

Proposed Uses	Maximum Sizes
<b>Commercial and Amenity Space</b>	
Hotel Lobby	9,105 sf
Hotel Bar / Lounge	3,060 sf
Hotel Retail / Restaurant #1	7,466 sf
Hotel Restaurant #2	6,600 sf
Retail	1,825 sf
Residential Lobby	1,310 sf
Event/Ballroom	6,855 sf
Amenity Terrace (2 <sup>nd</sup> Floor, uncovered)	2,203 sf
Meeting Space (2 <sup>nd</sup> floor)	1,232 sf
Amenity (2 <sup>nd</sup> floor, covered)	7,806 sf
Amenity (3 <sup>rd</sup> floor, covered)	3,225 sf
Amenity Terrace (3 <sup>rd</sup> floor, uncovered)	6,267 sf
Meeting Space (13 <sup>th</sup> floor)	5,965 sf
Amenity Terrace (13 <sup>th</sup> floor, uncovered)	3,121 sf
Amenity Terrace (13 <sup>th</sup> floor, covered)	2,907 sf
Club Room	559 sf
Amenity Terrace (14 <sup>th</sup> floor, uncovered)	5,383 sf
Amenity Terrace (14 <sup>th</sup> floor, covered)	1,443 sf
Amenity Terrace (27 <sup>th</sup> floor, uncovered)	2,938 sf
Amenity Terrace (27 <sup>th</sup> floor, covered)	940 sf
Resident Lounge (27 <sup>th</sup> floor)	2,407 sf
<b>Total Commercial and Amenity Space (excluding rooms and units)</b>	<b>82,617 sf</b>
<i>du = dwelling units; rm = rooms; sf = square feet Source: Steinberg Architects, March 2019.</i>	

#### REQUESTED ACTIONS:

1. Vesting Tentative Tract (VTT) for the merger of lots and the subdivision of airspace for condominium purposes; a waiver of the dedication requirement for Pico Boulevard and Hope Street to permit the continued maintenance of the 12-foot wide sidewalk and existing street wall on said streets in lieu of the required dedications to the public right-of-way; and a haul route approval;
2. Master Conditional Use Permit (MCUP) to permit the sale of alcoholic beverages for on-site consumption within: (1) the basement bar and lounge; (2) the two ground-floor restaurants; and (3) throughout the hotel, including in-room mini-bars and on rooftop amenity decks;
3. Conditional Use Permit for Live Entertainment (CUX) to permit dancing and live-entertainment in the bar/lounge, restaurant and hotel uses;
4. Request for a 20-percent reduction in required vehicle parking in conjunction with the request for other Conditional Use approvals;
5. Site Plan Review (SPR) to permit the development of consisting of more than 50 residential units and guest rooms;
6. Any other permits or approvals by other City agencies regarding findings of consistency with the City Center Redevelopment Plan; and
7. Other discretionary and ministerial permits and approvals that may be deemed necessary, including, but not limited to, temporary street closure permits, grading permits, excavation permits, foundation permits, building permits, and sign permits in order to execute and implement the Project.

**POTENTIAL ENVIRONMENTAL EFFECTS OF THE PROJECT:**

Based on an Initial Study, the proposed project could have potentially significant environmental impacts in the following topic areas, which will be addressed in the EIR:

Air Quality, Cultural Resources, Energy, Geology and Soils, Greenhouse Gas Emissions, Hydrology and Water Quality, Land Use and Planning, Noise, Population and Housing, Public Services [Police, Fire, and Library Facilities], Transportation, Tribal Cultural Resources, and Utilities and Service Systems [Water, Wastewater, Solid Waste].

**FILE REVIEW AND COMMENTS:**

The enclosed materials reflect the scope of the Project. The environmental file is available for public review at the City of Los Angeles, Department of City Planning, 221 North Figueroa Street, Suite 1350, Los Angeles, CA 90012, during office hours Monday - Friday, 9:00 a.m. - 4:00 p.m. To review the file, please contact the Staff Planner listed below to schedule an appointment. A copy of this notice and the Initial Study prepared for the Project may be viewed with the environmental file or online at <http://planning.lacity.org> by clicking on the "Environmental Review" tab, then "Notice of Preparation & Public Scoping Meetings", and clicking on the links below the Project title.

The City will consider all written comments regarding the potential environmental impacts of the Project and issues to be addressed in the EIR. If you wish to submit comments, please reference the Environmental Case No. above, and submit them in writing by Monday, May 13, 2019, **no later than 4:00 p.m.**

Please direct your comments to:

**Mail:** Mindy Nguyen  
City of Los Angeles, Department of City Planning  
221 North Figueroa Street, Suite 1350  
Los Angeles, CA 90012

**Email:** [mindy.nguyen@lacity.org](mailto:mindy.nguyen@lacity.org)

VINCENT P. BERTONI, AICP  
Director of Planning

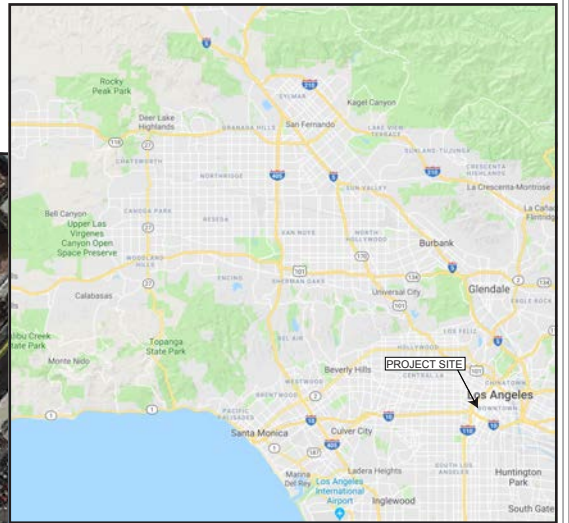
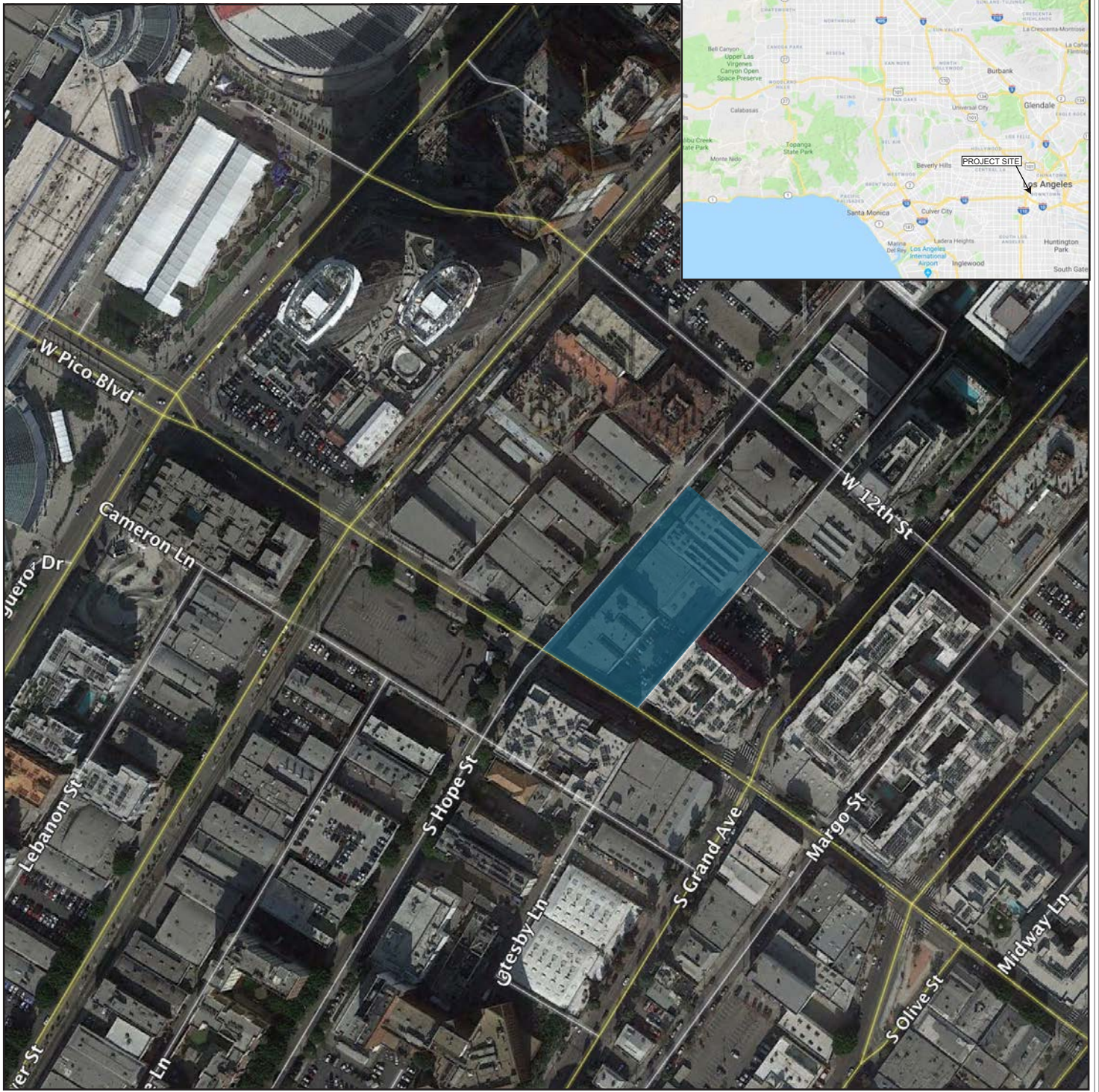


Mindy Nguyen  
Major Projects Section  
Department of City Planning  
(213) 847-3674

**Attachments:**  
Project Location Map  
Plot Plan

*Puede obtener información en Español acerca de esta junta llamando al (213) 978-1454.*

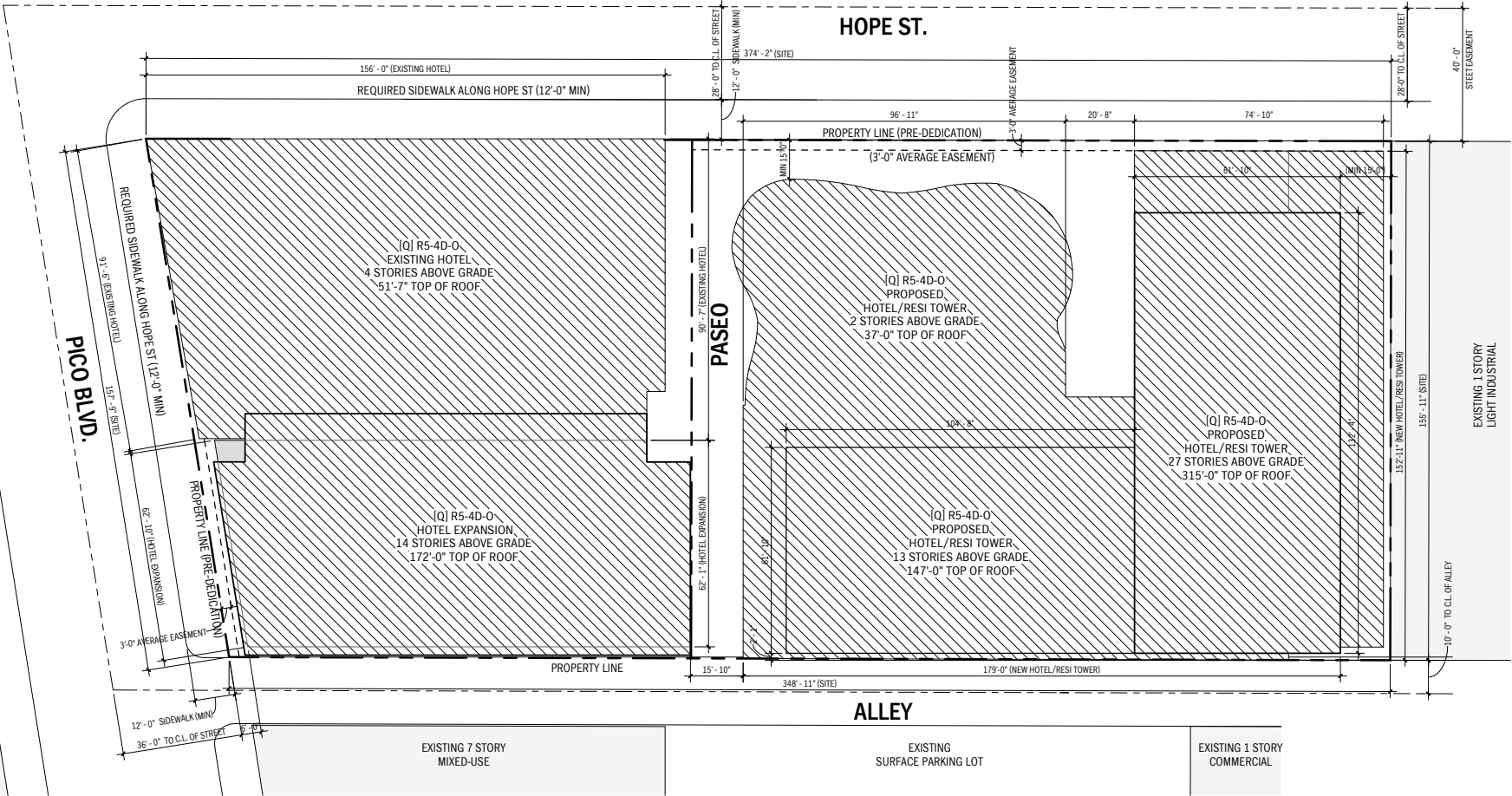




 Project Site  
Source: GoogleEarth, August 2018.



EXISTING 1 STORY COMMERCIAL	EXISTING 1 STORY LIGHT INDUSTRIAL	EXISTING 1 STORY LIGHT INDUSTRIAL	EXISTING SURFACE PARKING LOT	EXISTING 1 STORY COMMERCIAL	EXISTING SURFACE PARKING LOT	EXISTING 1 STORY LIGHT INDUSTRIAL		
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Source: Steinberg Hart, July 2018.







Gavin Newsom  
Governor

STATE OF CALIFORNIA  
Governor's Office of Planning and Research  
State Clearinghouse and Planning Unit



Kate Gordon  
Director

Notice of Preparation

RECEIVED  
CITY OF LOS ANGELES

APR 18 2019

MAJOR PROJECTS  
UNIT

April 12, 2019

To: Reviewing Agencies

Re: The Morrison Hotel  
SCH# 2019049078

Attached for your review and comment is the Notice of Preparation (NOP) for the The Morrison Hotel draft Environmental Impact Report (EIR).

Responsible agencies must transmit their comments on the scope and content of the NOP, focusing on specific information related to their own statutory responsibility, within 30 days of receipt of the NOP from the Lead Agency. This is a courtesy notice provided by the State Clearinghouse with a reminder for you to comment in a timely manner. We encourage other agencies to also respond to this notice and express their concerns early in the environmental review process.

Please direct your comments to:

**Mindy Nguyen**  
**Los Angeles, City of**  
**221 N. Figueroa Street, Suite 1350**  
**Los Angeles, CA 90012**

with a copy to the State Clearinghouse in the Office of Planning and Research at [state.clearinghouse@opr.ca.gov](mailto:state.clearinghouse@opr.ca.gov). Please refer to the SCH number noted above in all correspondence concerning this project on our website: <https://ceqanet.opr.ca.gov/2019049078/2>.

If you have any questions about the environmental document review process, please call the State Clearinghouse at (916) 445-0613.

Sincerely,

Scott Morgan  
Director, State Clearinghouse

cc: Lead Agency

# Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613  
For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SC# **2019040078**

**Project Title:** The Morrison Hotel

Lead Agency: <u>Los Angeles Department of City Planning</u>	Contact Person: <u>Mindy Nguyen</u>
Mailing Address: <u>221 N. Figueroa Street, Suite 1350</u>	Phone: <u>213-847-3674</u>
City: <u>Los Angeles</u> Zip: <u>90012</u>	County: <u>Los Angeles</u>

**Project Location:** County: Los Angeles City/Nearest Community: Los Angeles

Cross Streets: South Hope Street & West Pico Boulevard Zip Code: 90015

Longitude/Latitude (degrees, minutes and seconds): 34 ° 02 ' 23.1 " N / 118 ° 15 ' 53.5 " W Total Acres: 1.29

Assessor's Parcel No.: 5139-022-003, -04, -06, -20, -21 Section: 32 Twp.: 1 South Range: 13 West Base: SBBM

Within 2 Miles: State Hwy #: I-110, I-10, CA-110, US-101 Waterways: Los Angeles River

Airports: None Railways: various Metro light rails Schools: various LAUSD

**Document Type:**

CEQA: <input checked="" type="checkbox"/> NOP	<input type="checkbox"/> Draft EIR	NEPA: <input type="checkbox"/> NOI	Other: <input type="checkbox"/> Joint Document
<input type="checkbox"/> Early Cons	<input type="checkbox"/> Supplement/Subsequent EIR	<input type="checkbox"/> EA	<input type="checkbox"/> Final Document
<input type="checkbox"/> Neg Dec	(Prior SCH No.) _____	<input type="checkbox"/> Draft EIS	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Mit Neg Dec	Other: _____	<input type="checkbox"/> FONSI	

**GOVERNOR'S OFFICE OF PLANNING & RESEARCH**

**Local Action Type:**

<input type="checkbox"/> General Plan Update	<input type="checkbox"/> Specific Plan	<input type="checkbox"/> Rezone	<input type="checkbox"/> Annexion
<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Prezone	<input type="checkbox"/> Redevelopment
<input type="checkbox"/> General Plan Element	<input type="checkbox"/> Planned Unit Development	<input checked="" type="checkbox"/> <b>STATE CLEARINGHOUSE</b>	<input type="checkbox"/> Coastal Permit
<input type="checkbox"/> Community Plan	<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Land Division (Subdivision, etc.)	<input type="checkbox"/> Other: _____

APR 12 2019

**Development Type:**

<input checked="" type="checkbox"/> Residential: Units <u>135</u> Acres _____	<input type="checkbox"/> Transportation: Type _____
<input type="checkbox"/> Office: Sq.ft. _____ Acres _____ Employees _____	<input type="checkbox"/> Mining: Mineral _____
<input checked="" type="checkbox"/> Commercial: Sq.ft. <u>18,951</u> Acres _____ Employees _____	<input type="checkbox"/> Power: Type _____ MW _____
<input type="checkbox"/> Industrial: Sq.ft. _____ Acres _____ Employees _____	<input type="checkbox"/> Waste Treatment: Type _____ MGD _____
<input type="checkbox"/> Educational: _____	<input type="checkbox"/> Hazardous Waste: Type _____
<input type="checkbox"/> Recreational: _____	<input checked="" type="checkbox"/> Other: <u>Hotel 450 rooms</u>
<input type="checkbox"/> Water Facilities: Type _____ MGD _____	

**Project Issues Discussed in Document:**

<input checked="" type="checkbox"/> Aesthetic/Visual	<input type="checkbox"/> Fiscal	<input checked="" type="checkbox"/> Recreation/Parks	<input type="checkbox"/> Vegetation
<input checked="" type="checkbox"/> Agricultural Land	<input checked="" type="checkbox"/> Flood Plain/Flooding	<input checked="" type="checkbox"/> Schools/Universities	<input checked="" type="checkbox"/> Water Quality
<input checked="" type="checkbox"/> Air Quality	<input checked="" type="checkbox"/> Forest Land/Fire Hazard	<input type="checkbox"/> Septic Systems	<input checked="" type="checkbox"/> Water Supply/Groundwater
<input checked="" type="checkbox"/> Archeological/Historical	<input checked="" type="checkbox"/> Geologic/Seismic	<input checked="" type="checkbox"/> Sewer Capacity	<input type="checkbox"/> Wetland/Riparian
<input checked="" type="checkbox"/> Biological Resources	<input checked="" type="checkbox"/> Minerals	<input checked="" type="checkbox"/> Soil Erosion/Compaction/Grading	<input checked="" type="checkbox"/> Growth Inducement
<input type="checkbox"/> Coastal Zone	<input checked="" type="checkbox"/> Noise	<input checked="" type="checkbox"/> Solid Waste	<input checked="" type="checkbox"/> Land Use
<input checked="" type="checkbox"/> Drainage/Absorption	<input checked="" type="checkbox"/> Population/Housing Balance	<input checked="" type="checkbox"/> Toxic/Hazardous	<input checked="" type="checkbox"/> Cumulative Effects
<input type="checkbox"/> Economic/Jobs	<input checked="" type="checkbox"/> Public Services/Facilities	<input checked="" type="checkbox"/> Traffic/Circulation	<input checked="" type="checkbox"/> Other: <u>Tribal Cultural Res.</u>

**Present Land Use/Zoning/General Plan Designation:**  
Commercial industrial and vacant hotel / [QJR5-4D-O (High Density Residential) / High Density Residential land use designation

**Project Description:** *(please use a separate page if necessary)*  
Demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy hotel, the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (Phase I), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building (Phase II). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project includes 215 parking spaces to be located within three levels of subterranean parking.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Resources Agency

Resources Agency  
Nadell Gayou

Dept. of Boating & Waterways  
Denise Peterson

California Coastal Commission  
Allyson Hitt

Colorado River Board  
Elsa Contreras

Dept. of Conservation  
Crina Chan

Cal Fire  
Dan Foster

Central Valley Flood Protection Board  
James Herota

Office of Historic Preservation  
Ron Parsons

Dept of Parks & Recreation Environmental Stewardship Section

S.F. Bay Conservation & Dev't. Comm.  
Steve Goldbeck

Dept. of Water Resources  
Resources Agency  
Nadell Gayou

Fish and Wildlife

Dept. of Fish & Wildlife  
Scott Flint  
Environmental Services Division

Fish & Wildlife Region 1  
Curt Babcock

Fish & Wildlife Region 1E  
Laune Harnsberger

Fish & Wildlife Region 2  
Jeff Drongesen

Fish & Wildlife Region 3  
Craig Weightman

Fish & Wildlife Region 4  
Julie Vance

Fish & Wildlife Region 5  
Leslie Newton-Reed  
Habitat Conservation Program

Fish & Wildlife Region 6  
Tiffany Ellis  
Habitat Conservation Program

Fish & Wildlife Region 6 I/M  
Heidi Calvert  
Inv/Mono, Habitat Conservation Program

Dept. of Fish & Wildlife M  
William Paznokas  
Marine Region

Other Departments

California Department of Education  
Lesley Taylor

OES (Office of Emergency Services)  
Monique Wilber

Food & Agriculture  
Sandra Schubert  
Dept. of Food and Agriculture

Dept. of General Services  
Cathy Buck  
Environmental Services Section

Housing & Comm. Dev.  
CEQA Coordinator  
Housing Policy Division

Independent Commissions/Boards

Delta Protection Commission  
Erik Vink

Delta Stewardship Council  
Anthony Navasero

California Energy Commission  
Eric Knight

Native American Heritage Comm.  
Debbie Treadway

Public Utilities Commission  
Supervisor

Santa Monica Bay Restoration  
Guangyu Wang

State Lands Commission  
Jennifer Deleong

Tahoe Regional Planning Agency (TRPA)  
Cherry Jacques

Cal State Transportation Agency CalSTA

Caltrans - Division of Aeronautics  
Philip Crimmins

Caltrans - Planning HQ LD-IGR  
Christian Bushong

California Highway Patrol  
Suzann Ikeuchi  
Office of Special Projects

Dept. of Transportation

Caltrans, District 1  
Rex Jackman

Caltrans, District 2  
Marcellino Gonzalez

Caltrans, District 3  
Susan Zanchi

Caltrans, District 4  
Patricia Maurice

Caltrans, District 5  
Larry Newland

Caltrans, District 6  
Michael Navarro

Caltrans, District 7  
Dianna Watson

Caltrans, District 8  
Mark Roberts

Caltrans, District 9  
Gayle Rosander

Caltrans, District 10  
Tom Dumas

Caltrans, District 11  
Jacob Armsitrong

Caltrans, District 12  
Maureen El Harake

Cal EPA

Air Resources Board

Airport & Freight  
Jack Wursten

Transportation Projects  
Nesamani Kalandiyur

Industrial/Energy Projects  
Mike Tollstrup

California Department of Resources, Recycling & Recovery  
Kevin Taylor/Jeff Esquivel

State Water Resources Control Board  
Regional Programs Unit  
Division of Financial Assistance

State Water Resources Control Board  
Cindy Forbes - Asst Deputy  
Division of Drinking Water

State Water Resources Control Board  
Div. Drinking Water # \_\_\_\_\_

State Water Resources Control Board  
Student Intern, 401 Water Quality Certification Unit  
Division of Water Quality

State Water Resources Control Board  
Phil Crader  
Division of Water Rights

Dept. of Toxic Substances Control Reg. # \_\_\_\_\_  
CEQA Tracking Center

Department of Pesticide Regulation  
CEQA Coordinator

Regional Water Quality Control Board (RWQCB)

RWQCB 1  
Cathleen Hudson  
North Coast Region (1)

RWQCB 2  
Environmental Document Coordinator  
San Francisco Bay Region (2)

RWQCB 3  
Central Coast Region (3)

RWQCB 4  
Teresa Rodgers  
Los Angeles Region (4)

RWQCB 5S  
Central Valley Region (5)

RWQCB 5F  
Central Valley Region (5)  
Fresno Branch Office

RWQCB 5R  
Central Valley Region (5)  
Redding Branch Office

RWQCB 6  
Lahontan Region (6)

RWQCB 6V  
Lahontan Region (6)  
Victorville Branch Office

RWQCB 7  
Colorado River Basin Region (7)

RWQCB 8  
Santa Ana Region (8)

RWQCB 9  
San Diego Region (9)

Other \_\_\_\_\_  
\_\_\_\_\_





# South Coast Air Quality Management District

21865 Copley Drive, Diamond Bar, CA 91765-4178  
(909) 396-2000 • [www.aqmd.gov](http://www.aqmd.gov)

SENT VIA USPS AND E-MAIL:

[mindy.nguyen@lacity.org](mailto:mindy.nguyen@lacity.org)

Mindy Nguyen, City Planner  
City of Los Angeles, City Planning Department  
221 North Figueroa Street, Suite 1350  
Los Angeles, CA 90012

May 1, 2019

## **Notice of Preparation of an Environmental Impact Report for the Proposed The Morrison Project (ENV-2018-2294-EIR)**

South Coast Air Quality Management District (South Coast AQMD) staff appreciates the opportunity to comment on the above-mentioned document. South Coast AQMD staff's comments are recommendations regarding the analysis of potential air quality impacts from the Proposed Project that should be included in the Environmental Impact Report (EIR). Please send South Coast AQMD a copy of the EIR upon its completion. Note that copies of the EIR that are submitted to the State Clearinghouse are not forwarded to South Coast AQMD. Please forward a copy of the EIR directly to South Coast AQMD at the address shown in the letterhead. **In addition, please send with the EIR all appendices or technical documents related to the air quality, health risk, and greenhouse gas analyses and electronic versions of all air quality modeling and health risk assessment files<sup>1</sup>. These include emission calculation spreadsheets and modeling input and output files (not PDF files). Without all files and supporting documentation, South Coast AQMD staff will be unable to complete our review of the air quality analyses in a timely manner. Any delays in providing all supporting documentation will require additional time for review beyond the end of the comment period.**

### **Air Quality Analysis**

South Coast AQMD adopted its California Environmental Quality Act (CEQA) Air Quality Handbook in 1993 to assist other public agencies with the preparation of air quality analyses. South Coast AQMD recommends that the Lead Agency use this Handbook as guidance when preparing its air quality analysis. Copies of the Handbook are available from South Coast AQMD's Subscription Services Department by calling (909) 396-3720. More guidance developed since this Handbook is also available on South Coast AQMD's website at: [http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/ceqa-air-quality-handbook-\(1993\)](http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/ceqa-air-quality-handbook-(1993)). South Coast AQMD staff also recommends that the Lead Agency use the CalEEMod land use emissions software. This software has recently been updated to incorporate up-to-date state and locally approved emission factors and methodologies for estimating pollutant emissions from typical land use development. CalEEMod is the only software model maintained by the California Air Pollution Control Officers Association (CAPCOA) and replaces the now outdated URBEMIS. This model is available free of charge at: [www.caleemod.com](http://www.caleemod.com).

South Coast AQMD has also developed both regional and localized significance thresholds. South Coast AQMD staff requests that the Lead Agency quantify criteria pollutant emissions and compare the results to South Coast AQMD's CEQA regional pollutant emissions significance thresholds to determine air quality impacts. South Coast AQMD's CEQA regional pollutant emissions significance thresholds can be found here at: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/scaqmd-air-quality-significance-thresholds.pdf>. In

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<sup>1</sup> Pursuant to the CEQA Guidelines Section 15174, the information contained in an EIR shall include summarized technical data, maps, plot plans, diagrams, and similar relevant information sufficient to permit full assessment of significant environmental impacts by reviewing agencies and members of the public. Placement of highly technical and specialized analysis and data in the body of an EIR should be avoided through inclusion of supporting information and analyses as appendices to the main body of the EIR. Appendices to the EIR may be prepared in volumes separate from the basic EIR document, but shall be readily available for public examination and shall be submitted to all clearinghouses which assist in public review.



addition to analyzing regional air quality impacts, South Coast AQMD staff recommends calculating localized air quality impacts and comparing the results to localized significance thresholds (LSTs). LSTs can be used in addition to the recommended regional significance thresholds as a second indication of air quality impacts when preparing a CEQA document. Therefore, when preparing the air quality analysis for the Proposed Project, it is recommended that the Lead Agency perform a localized analysis by either using the LSTs developed by South Coast AQMD staff or performing dispersion modeling as necessary. Guidance for performing a localized air quality analysis can be found at: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/localized-significance-thresholds>.

The Lead Agency should identify any potential adverse air quality impacts that could occur from all phases of the Proposed Project and all air pollutant sources related to the Proposed Project. Air quality impacts from both construction (including demolition, if any) and operations should be calculated. Construction-related air quality impacts typically include, but are not limited to, emissions from the use of heavy-duty equipment from grading, earth-loading/unloading, paving, architectural coatings, off-road mobile sources (e.g., heavy-duty construction equipment) and on-road mobile sources (e.g., construction worker vehicle trips, material transport trips). Operation-related air quality impacts may include, but are not limited to, emissions from stationary sources (e.g., boilers), area sources (e.g., solvents and coatings), and vehicular trips (e.g., on- and off-road tailpipe emissions and entrained dust). Air quality impacts from indirect sources, such as sources that generate or attract vehicular trips, should be included in the analysis.

In the event that the Proposed Project generates or attracts vehicular trips, especially heavy-duty diesel-fueled vehicles, it is recommended that the Lead Agency perform a mobile source health risk assessment. Guidance for performing a mobile source health risk assessment ("*Health Risk Assessment Guidance for Analyzing Cancer Risk from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis*") can be found at: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/mobile-source-toxics-analysis>. An analysis of all toxic air contaminant impacts due to the use of equipment potentially generating such air pollutants should also be included.

In addition, guidance on siting incompatible land uses can be found in the California Air Resources Board's *Air Quality and Land Use Handbook: A Community Health Perspective*, which can be found at: <http://www.arb.ca.gov/ch/handbook.pdf>. CARB's Land Use Handbook is a general reference guide for evaluating and reducing air pollution impacts associated with new projects that go through the land use decision-making process. Guidance<sup>2</sup> on strategies to reduce air pollution exposure near high-volume roadways can be found at: [https://www.arb.ca.gov/ch/rd\\_technical\\_advisory\\_final.PDF](https://www.arb.ca.gov/ch/rd_technical_advisory_final.PDF).

### **Mitigation Measures**

In the event that the Proposed Project generates significant adverse air quality impacts, CEQA requires that all feasible mitigation measures that go beyond what is required by law be utilized during project construction and operation to minimize these impacts. Pursuant to CEQA Guidelines Section 15126.4 (a)(1)(D), any impacts resulting from mitigation measures must also be discussed. Several resources are available to assist the Lead Agency with identifying potential mitigation measures for the Proposed Project, including:

- Chapter 11 "Mitigating the Impact of a Project" of South Coast AQMD'S *CEQA Air Quality Handbook* South Coast AQMD's CEQA web pages available here: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/mitigation-measures-and-control-efficiencies>

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<sup>2</sup> In April 2017, CARB published a technical advisory, *Strategies to Reduce Air Pollution Exposure Near High-Volume Roadways: Technical Advisory*, to supplement CARB's Air Quality and Land Use Handbook: A Community Health Perspective. This technical advisory is intended to provide information on strategies to reduce exposures to traffic emissions near high-volume roadways to assist land use planning and decision-making in order to protect public health and promote equity and environmental justice. The technical advisory is available at: <https://www.arb.ca.gov/ch/landuse.htm>.



- South Coast AQMD's Rule 403 – Fugitive Dust, and the Implementation Handbook for controlling construction-related emissions and Rule 1403 – Asbestos Emissions from Demolition/Renovation Activities
- South Coast AQMD's Mitigation Monitoring and Reporting Plan (MMRP) for the 2016 Air Quality Management Plan (2016 AQMP) available here (starting on page 86): <http://www.aqmd.gov/docs/default-source/Agendas/Governing-Board/2017/2017-mar3-035.pdf>
- CAPCOA's *Quantifying Greenhouse Gas Mitigation Measures* available here: <http://www.capcoa.org/wp-content/uploads/2010/11/CAPCOA-Quantification-Report-9-14-Final.pdf>

### **Alternatives**

In the event that the Proposed Project generates significant adverse air quality impacts, CEQA requires the consideration and discussion of alternatives to the project or its location which are capable of avoiding or substantially lessening any of the significant effects of the project. The discussion of a reasonable range of potentially feasible alternatives, including a "no project" alternative, is intended to foster informed decision-making and public participation. Pursuant to CEQA Guidelines Section 15126.6(d), the EIR shall include sufficient information about each alternative to allow meaningful evaluation, analysis, and comparison with the Proposed Project.

### **Permits**

If implementation of the Proposed Project requires a permit from South Coast AQMD, South Coast AQMD should be identified as a Responsible Agency for the Proposed Project in the EIR. For more information on permits, please visit South Coast AQMD's webpage at: <http://www.aqmd.gov/home/permits>. Questions on permits can be directed to South Coast AQMD's Engineering and Permitting staff at (909) 396-3385.

### **Data Sources**

South Coast AQMD rules and relevant air quality reports and data are available by calling South Coast AQMD's Public Information Center at (909) 396-2039. Much of the information available through the Public Information Center is also available at South Coast AQMD's webpage at: <http://www.aqmd.gov>.

South Coast AQMD staff is available to work with the Lead Agency to ensure that project air quality and health risk impacts are accurately evaluated and mitigated where feasible. If you have any questions regarding this letter, please contact me at [lsun@aqmd.gov](mailto:lsun@aqmd.gov) or (909) 396-3308.

Sincerely,

*Lijin Sun*

Lijin Sun, J.D.

Program Supervisor, CEQA IGR

Planning, Rule Development & Area Sources

LS  
LAC190416-03  
Control Number

NATIVE AMERICAN HERITAGE COMMISSION  
Cultural and Environmental Department  
1550 Harbor Blvd., Suite 100  
West Sacramento, CA 95691 Phone (916) 373-3710  
Email: [nahc@nahc.ca.gov](mailto:nahc@nahc.ca.gov)  
Website: <http://www.nahc.ca.gov>  
Twitter: @CA\_NAHC



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MAY 16 2019

MAJOR PROJECTS  
UNIT

May 10, 2019

Mindy Nguyen  
City of Los Angeles  
221 N. Figueroa Street, Suite 1350  
Los Angeles, CA 90012

RE: SCH# 2019049078 The Morrison Hotel, Los Angeles County

Dear Ms. Nguyen:

The Native American Heritage Commission (NAHC) has received the Notice of Preparation (NOP), Draft Environmental Impact Report (DEIR) or Early Consultation for the project referenced above. The California Environmental Quality Act (CEQA) (Pub. Resources Code §21000 et seq.), specifically Public Resources Code §21084.1, states that a project that may cause a substantial adverse change in the significance of a historical resource, is a project that may have a significant effect on the environment. (Pub. Resources Code § 21084.1; Cal. Code Regs., tit.14, §15064.5 (b) (CEQA Guidelines §15064.5 (b)). If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an Environmental Impact Report (EIR) shall be prepared. (Pub. Resources Code §21080 (d); Cal. Code Regs., tit. 14, § 5064 subd.(a)(1) (CEQA Guidelines §15064 (a)(1)). In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources within the area of potential effect (APE).

CEQA was amended significantly in 2014. Assembly Bill 52 (Gatto, Chapter 532, Statutes of 2014) (AB 52) amended CEQA to create a separate category of cultural resources, "tribal cultural resources" (Pub. Resources Code §21074) and provides that a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment. (Pub. Resources Code §21084.2). Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource. (Pub. Resources Code §21084.3 (a)). **AB 52 applies to any project for which a notice of preparation, a notice of negative declaration, or a mitigated negative declaration is filed on or after July 1, 2015.** If your project involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space, on or after March 1, 2005, it may also be subject to Senate Bill 18 (Burton, Chapter 905, Statutes of 2004) (SB 18). **Both SB 18 and AB 52 have tribal consultation requirements.** If your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966 (154 U.S.C. 300101, 36 C.F.R. §800 et seq.) may also apply.

The NAHC recommends consultation with California Native American tribes that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources. Below is a brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments.

**Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.**

## AB 52

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

1. Fourteen Day Period to Provide Notice of Completion of an Application/Decision to Undertake a Project: Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a lead agency shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, to be accomplished by at least one written notice that includes:
  - a. A brief description of the project.
  - b. The lead agency contact information.
  - c. Notification that the California Native American tribe has 30 days to request consultation. (Pub. Resources Code §21080.3.1 (d)).
  - d. A "California Native American tribe" is defined as a Native American tribe located in California that is on the contact list maintained by the NAHC for the purposes of Chapter 905 of Statutes of 2004 (SB 18). (Pub. Resources Code §21073).
2. Begin Consultation Within 30 Days of Receiving a Tribe's Request for Consultation and Before Releasing a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report: A lead agency shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project. (Pub. Resources Code §21080.3.1, subds. (d) and (e)) and prior to the release of a negative declaration, mitigated negative declaration or Environmental Impact Report. (Pub. Resources Code §21080.3.1(b)).
  - a. For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code §65352.4 (SB 18). (Pub. Resources Code §21080.3.1 (b)).
3. Mandatory Topics of Consultation If Requested by a Tribe: The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:
  - a. Alternatives to the project.
  - b. Recommended mitigation measures.
  - c. Significant effects. (Pub. Resources Code §21080.3.2 (a)).
4. Discretionary Topics of Consultation: The following topics are discretionary topics of consultation:
  - a. Type of environmental review necessary.
  - b. Significance of the tribal cultural resources.
  - c. Significance of the project's impacts on tribal cultural resources.
  - d. If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency. (Pub. Resources Code §21080.3.2 (a)).
5. Confidentiality of Information Submitted by a Tribe During the Environmental Review Process: With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code §6254 (r) and §6254.10. Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public. (Pub. Resources Code §21082.3 (c)(1)).
6. Discussion of Impacts to Tribal Cultural Resources in the Environmental Document: If a project may have a significant impact on a tribal cultural resource, the lead agency's environmental document shall discuss both of the following:
  - a. Whether the proposed project has a significant impact on an identified tribal cultural resource.
  - b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code §21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource. (Pub. Resources Code §21082.3 (b)).

7. Conclusion of Consultation: Consultation with a tribe shall be considered concluded when either of the following occurs:
  - a. The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
  - b. A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached. (Pub. Resources Code §21080.3.2 (b)).
8. Recommending Mitigation Measures Agreed Upon in Consultation in the Environmental Document: Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code §21080.3.2 shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program, if determined to avoid or lessen the impact pursuant to Public Resources Code §21082.3, subdivision (b), paragraph 2, and shall be fully enforceable. (Pub. Resources Code §21082.3 (a)).
9. Required Consideration of Feasible Mitigation: If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, the lead agency shall consider feasible mitigation pursuant to Public Resources Code §21084.3 (b). (Pub. Resources Code §21082.3 (e)).
10. Examples of Mitigation Measures That, If Feasible, May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:
  - a. Avoidance and preservation of the resources in place, including, but not limited to:
    - i. Planning and construction to avoid the resources and protect the cultural and natural context.
    - ii. Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
  - b. Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
    - i. Protecting the cultural character and integrity of the resource.
    - ii. Protecting the traditional use of the resource.
    - iii. Protecting the confidentiality of the resource.
  - c. Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
  - d. Protecting the resource. (Pub. Resource Code §21084.3 (b)).
  - e. Please note that a federally recognized California Native American tribe or a non-federally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed. (Civ. Code §815.3 (c)).
  - f. Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated. (Pub. Resources Code §5097.991).
11. Prerequisites for Certifying an Environmental Impact Report or Adopting a Mitigated Negative Declaration or Negative Declaration with a Significant Impact on an Identified Tribal Cultural Resource: An Environmental Impact Report may not be certified, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:
  - a. The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code §21080.3.1 and §21080.3.2 and concluded pursuant to Public Resources Code §21080.3.2.
  - b. The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
  - c. The lead agency provided notice of the project to the tribe in compliance with Public Resources Code §21080.3.1 (d) and the tribe failed to request consultation within 30 days. (Pub. Resources Code §21082.3 (d)).

The NAHC's PowerPoint presentation titled, "Tribal Consultation Under AB 52: Requirements and Best Practices" may be found online at: [http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation\\_CalEPAPDF.pdf](http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf)

## SB 18

SB 18 applies to local governments and requires local governments to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. (Gov. Code §65352.3). Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: [https://www.opr.ca.gov/docs/09\\_14\\_05\\_Updated\\_Guidelines\\_922.pdf](https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf)

Some of SB 18's provisions include:

1. **Tribal Consultation**: If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.** (Gov. Code §65352.3 (a)(2)).
2. **No Statutory Time Limit on SB 18 Tribal Consultation**. There is no statutory time limit on SB 18 tribal consultation.
3. **Confidentiality**: Consistent with the guidelines developed and adopted by the Office of Planning and Research pursuant to Gov. Code §65040.2, the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code §5097.9 and §5097.993 that are within the city's or county's jurisdiction. (Gov. Code §65352.3 (b)).
4. **Conclusion of SB 18 Tribal Consultation**: Consultation should be concluded at the point in which:
  - a. The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
  - b. Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation. (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

Agencies should be aware that neither AB 52 nor SB 18 precludes agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52 and SB 18. For that reason, we urge you to continue to request Native American Tribal Contact Lists and "Sacred Lands File" searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>

### NAHC Recommendations for Cultural Resources Assessments

To adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources, the NAHC recommends the following actions:

1. Contact the appropriate regional California Historical Research Information System (CHRIS) Center ([http://ohp.parks.ca.gov/?page\\_id=1068](http://ohp.parks.ca.gov/?page_id=1068)) for an archaeological records search. The records search will determine:
  - a. If part or all of the APE has been previously surveyed for cultural resources.
  - b. If any known cultural resources have already been recorded on or adjacent to the APE.
  - c. If the probability is low, moderate, or high that cultural resources are located in the APE.
  - d. If a survey is required to determine whether previously unrecorded cultural resources are present.
2. If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
  - a. The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.
  - b. The final written report should be submitted within 3 months after work has been completed to the appropriate regional CHRIS center.

3. Contact the NAHC for:
  - a. A Sacred Lands File search. Remember that tribes do not always record their sacred sites in the Sacred Lands File, nor are they required to do so. A Sacred Lands File search is not a substitute for consultation with tribes that are traditionally and culturally affiliated with the geographic area of the project's APE.
  - b. A Native American Tribal Consultation List of appropriate tribes for consultation concerning the project site and to assist in planning for avoidance, preservation in place, or, failing both, mitigation measures.
4. Remember that the lack of surface evidence of archaeological resources (including tribal cultural resources) does not preclude their subsurface existence.
  - a. Lead agencies should include in their mitigation and monitoring reporting program plan provisions for the identification and evaluation of inadvertently discovered archaeological resources per Cal. Code Regs., tit. 14, §15064.5(f) (CEQA Guidelines §15064.5(f)). In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American with knowledge of cultural resources should monitor all ground-disturbing activities.
  - b. Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the disposition of recovered cultural items that are not burial associated in consultation with culturally affiliated Native Americans.
  - c. Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the treatment and disposition of inadvertently discovered Native American human remains. Health and Safety Code §7050.5, Public Resources Code §5097.98, and Cal. Code Regs., tit. 14, §15064.5, subdivisions (d) and (e) (CEQA Guidelines §15064.5, subds. (d) and (e)) address the processes to be followed in the event of an inadvertent discovery of any Native American human remains and associated grave goods in a location other than a dedicated cemetery.

If you have any questions or need additional information, please contact me at my email address: [Steven.Quinn@nahc.ca.gov](mailto:Steven.Quinn@nahc.ca.gov).

Sincerely,



for  
Steven Quinn  
Associate Governmental Program Analyst

cc: State Clearinghouse



**DEPARTMENT OF TRANSPORTATION**

DISTRICT 7 – Office of Regional Planning  
100 S. MAIN STREET, MS 16  
LOS ANGELES, CA 90012  
PHONE (213) 897-9140  
FAX (213) 897-1337  
TTY 711  
www.dot.ca.gov



Making Conservation  
a California Way of Life.

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MAY 14 2019

MAJOR PROJECTS  
UNIT

May 7, 2019

Ms. Mindy Nguyen  
City of Los Angeles  
221 N. Figueroa Street, Suite 1350  
Los Angeles, CA 90012

RE: The Morrison Hotel Project – Notice of  
Preparation (NOP)  
SCH# 2019049078  
GTS # 07-LA-2019-02414  
Vic. LA-10/PM: 15.285

Dear Ms. Mindy Nguyen:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the above referenced project's NOP. The project consists of the demolition of approximately 32,550 square feet of existing commercial industrial buildings, the adaptive reuse of an existing 46,626 square-foot, single-resident occupancy hotel, the expansion of the existing hotel with the new construction of an approximately 102,706 square-foot hotel (Phase I), and the new construction of an approximately 273,106 square-foot, mixed-use hotel and residential building (Phase II). The total floor area of the Project would be approximately 422,438 square feet, with 135 dwelling units and 450 guest rooms. The Project includes 215 parking spaces to be located within three levels of subterranean parking.

After reviewing this project's NOP Caltrans has the following comments:

1. The state facilities, Interstate 10 (I-10) and State Route (SR-110), are heavily congested to the Level of Service (LOS) E or F. As a result there may be limited room to add more vehicles to the existing freeways. Any additional traffic from the project and cumulative project's traffic impact should be mitigated. Please provide a detailed traffic Impact Study (TIS) of the associated state facilities on I-10 and SR-110.
2. Due to the large size of the project and its proximity to state facilities, there may be a significant impact to the nearby segments of State Route 110 (SR-110) and Interstate 10 (I-10) and their associated on/off-ramps. Please provide Traffic Analysis and Queuing Analysis for the associated SR-110/I-10 freeway interchange intersections under Caltrans jurisdiction.
3. Please include the trip distribution with the number of trips assigned to state facilities in terms of percentages (% distribution) of net trips generated by the project from the source to the intersections, ramps, and mainline of state facilities. We encourage the use of Trip Generation, 10th Edition, Institute of Transportation Engineers. Please identify cumulative trips to state facilities and any nearby projects that will affect the state facilities.

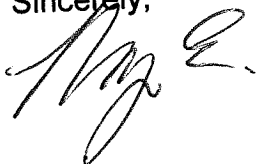
4. For a traffic impact study of freeway mainline, weave, merge and diverge segments, the methodologies in Chapter 12, 13, and 14 of the Highway Capacity Manual (HCM) 6th edition are limited to under saturated flow conditions. When a freeway facility has oversaturated conditions, Chapter 10 is recommended to be used to determine a more precise density. It is acknowledged that there are limitations of the HCM methodology and it is recommended to use a traffic simulation model for the analysis.
5. For the intersection analysis, please use the actual traffic signal timing. Signal timing optimization does not provide accurate results.
6. The impact is considered to be significant, if the traffic generated by the project (a) causes one or more freeway segment's demand to exceed capacity (congested flow); or (b) when the segment is already congested, causes an increase in the demand/capacity ratio of greater than 1%.
7. Impacts to off-ramps are considered significant if the traffic generated by the project causes queueing that: (a) exceeds 85% of the off-ramp's storage capacity; or (b) when an auxiliary lane is present, exceeds the lesser of one-half the length of auxiliary lane or 1,000 feet.
8. The Initial Study indicated that significant earth-moving activities will take place during construction. Caltrans recommends vehicles are covered when hauling dirt/sediment. Please be cautious of lost sediment spilling onto roads and state facilities during this process as this can adversely impact state facilities.
9. Caltrans seeks to promote safe, accessible multimodal transportation. Methods to reduce pedestrian and bicyclist exposure to vehicles improve safety by lessening the time that the user is in the likely path of a motor vehicle. These methods include the construction of physically separated facilities such as sidewalks, raised medians, refuge islands, and off-road paths and trails, or a reduction in crossing distances through roadway narrowing.
10. Caltrans recommends the project to consider the use of methods such as, but not limited to, pedestrian and bicyclist warning signage, flashing beacons, crosswalks, signage and striping, be used to indicate to motorists that they should expect to see and yield to pedestrians and bicyclists. Visual indication from signage can be reinforced by road design features such as lane widths, landscaping, street furniture, and other design elements.
11. With the limited room to expand vehicular capacity, Caltrans recommends this development incorporate multimodal and complete streets transportation elements into TDM (Traffic Demand Management) in order to promote alternatives to single person car use. For example, use of bicycles and public transportation can allow streets to transport more people in a fixed right-of way space.
12. Any transportation of heavy construction equipment and/or materials which requires use of oversized-transport vehicles on State highways will need a Caltrans transportation permit.

Ms. Mindy Nguyen  
May 7, 2019  
Page 3 of 3

We recommend large size truck trips be limited to off-peak commute periods.

If you have any questions regarding these comments, please contact project coordinator Reece Allen, at [reece.allen@dot.ca.gov](mailto:reece.allen@dot.ca.gov) and refer to GTS# 07-LA-2019-02414.

Sincerely,



MIYA EDMONSON  
IGR/CEQA Branch Chief  
cc: Scott Morgan, State Clearinghouse



**Jared Blumenfeld**  
Secretary for  
Environmental Protection



## Department of Toxic Substances Control

Meredith Williams, Ph.D.  
Acting Director  
9211 Oakdale Avenue  
Chatsworth, California 91311



**Gavin Newsom**  
Governor

June 3, 2019

Mindy Nguyen  
City of Los Angeles, Department of City Planning  
221 North Figueroa Street, Suite 1350  
Los Angeles, CA 90012

**RECEIVED**  
CITY OF LOS ANGELES

**JUN 10 2019**

**MAJOR PROJECTS  
UNIT**

### NOTICE OF AVAILABILITY OF AN ENVIRONMENTAL DOCUMENT FOR THE MORRISON PROJECT (PROJECT)

Dear Ms. Nguyen:

The Department of Toxic Substances Control (DTSC) has received the document for the above-mentioned project.

Based on the review of the document, the DTSC comments are as follows:

- 1) The document needs to identify and determine whether current or historic uses at the project site have resulted in any release of hazardous wastes/substances at the project area.
- 2) The document needs to identify any known or potentially contaminated site within the proposed project area. For all identified sites, the document needs to evaluate whether conditions at the site pose a threat to human health or the environment.
- 3) The document should identify the mechanism to initiate any required investigation and/or remediation for any site that may require remediation, and which government agency will provide appropriate regulatory oversight.
- 4) If during construction of the project, soil contamination is suspected, construction in the area should stop and appropriate health and safety procedures should be implemented. If it is determined that contaminated soil exists, the document should identify how any required investigation or remediation will be conducted, and which government agency will provide appropriate regulatory oversight.

Ms. Mindy Nguyen  
June 3, 2019  
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DTSC provides guidance for Preliminary Endangerment Assessment (PEA) preparation, and cleanup oversight through the Voluntary Cleanup Program (VCP). For additional information on the VCP, please visit DTSC's web site at [www.dtsc.ca.gov](http://www.dtsc.ca.gov). If you would like to meet and discuss this matter further, please contact me at (818) 717-6555 or [Pete.Cooke@dtsc.ca.gov](mailto:Pete.Cooke@dtsc.ca.gov).

Sincerely,



Pete Cooke  
Site Mitigation and Restoration Program - Chatsworth Office

cc: Governor's Office of Planning and Research  
State Clearinghouse  
P.O. Box 3044  
Sacramento, California 95812-3044

Dave Kereazis  
Hazardous Waste Management Program, Permitting Division  
CEQA Tracking  
Department of Toxic Substances Control  
P.O. Box 806  
Sacramento, California 95812-0806



Mindy Nguyen &lt;mindy.nguyen@lacity.org&gt;

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**ENV-2018-2294-EIR | "The Morrison Project"**

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**Eric Izaguirre** <izag.eric@gmail.com>  
To: mindy.nguyen@lacity.org

Thu, May 9, 2019 at 1:40 PM

Dear Mindy,

I write this email to express my concerns regarding the proposed Morrison Project.

As a current resident in the E on Grand apartments directly adjacent to the site of the proposed project, I foresee multiple environmental impacts aligned with topic areas outlined in the notice I received via mail. Any street closures on Pico and Hope would inhibit the ability of residents, such as myself, to access our living spaces. For example, the entrance to our parking is only accessible via the alley that runs along the Surface Parking Lot (427 West Pico Blvd.) set to be demolished as part of the proposed plan. Construction in this area would make it difficult (if not impossible) to continue accessing E on Grand parking for those who use it and do not have the option to use alternative, public transportation.

Additionally, noise resulting from the proposed construction would directly impact the E on Grand apartments and its residents, as we are neighboring the proposed project site. To date, the area is relatively free of disturbing levels of noise that negatively impact the quality of living for residents. The demolition of existing buildings and the construction of new ones right on our doorstep would change that.

I sincerely hope that the City will consider my comments regarding the potential impacts of this project. Any efforts to halt or mitigate negative impacts on residents in the community would be greatly appreciated. Thank you for your time.

Best,  
Eric

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Eric V. Izaguirre  
M.A., International Education Policy  
University of Maryland, College Park