

GENERAL NOTES

- 1. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF COUNTY GRADING ORDINANCE SECTION 87.101 THROUGH 87.804
2. APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
3. NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY.
4. FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
5. IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
6. A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
7. REGARDLESS OF WHICH BMP'S ARE IMPLEMENTED, ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED AND MAINTAINED WITH GRASS COVER OR OTHER PLANTING IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED.
8. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
SAN DIEGO GAS AND ELECTRIC (800) 411-7343
AT&T TELEPHONE (619) 293-0595
SEWER: RAMONA MUNICIPAL WATER DISTRICT (760) 789-1330
WATER: RAMONA MUNICIPAL WATER DISTRICT (760) 789-1330
9. A SOILS REPORT WITH COMPACTION TEST IS REQUIRED FOR ALL FILL OVER 12" IN DEPTH. PDS FORM 73 MINOR GRADING CERTIFICATION AND A COPY OF THE COMPACTION REPORT IS REQUIRED PRIOR TO ROUGH GRADING APPROVAL.
10. APPROVAL OF THESE PLANS BY THE DIRECTOR OF DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES (PDS) DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED.
11. THE DIRECTOR'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOIL IS MADE OR IMPLIED (SECTIONS 87.403 & 87. 410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES.
12. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
13. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL SURFACES.
14. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
15. SLOPE RATIOS:
CUT--1 1/2: 1 FOR MINOR SLOPES (SLOPES < 15'); 2:1 FOR MAJOR SLOPES.
FILL--2:1
EXCAVATION: 24,515 C.Y. FILL: 25,085 C.Y.
EXPORT/IMPORT: 570 C. Y.
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR EITHER WASTE OR IMPORT AREAS BEFORE PERMIT TO BE ISSUED).
16. SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
17. PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
18. THE APPLICANT IS RESPONSIBLE FOR THE ROAD MAINTENANCE (SWEEPING AS NECESSARY) AND REPAIRS OF ANY DAMAGE CAUSED BY THEM TO THE ON-SITE AND OFF-SITE COUNTY MAINTAINED OR PRIVATE ROADS THAT SERVE THE PROPERTY EITHER DURING CONSTRUCTION OR SUBSEQUENT OPERATIONS. THE APPLICANT WILL REPAIR THOSE PORTIONS OF THE ROUTE THAT WOULD BE DAMAGED BY THE HEAVY LOADS THAT LOADED TRUCKS PLACE ON THE ROUTE IDENTIFIED.
19. FINAL APPROVAL OF THIS GRADING PLAN IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGE TO THESE PLANS.
20. THE ENGINEER-OF-WORK SHALL COMPLY WITH ALL PROJECT APPLICABLE LAWS THAT INCLUDE, BUT ARE NOT LIMITED TO, HEALTH, SAFETY, AND ENVIRONMENTAL LAWS, ORDINANCES, AND REGULATIONS RELATING TO THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND U.S. FEDERAL GOVERNMENT. THE PROJECT IS SUBJECT TO ENFORCEMENT UNDER PERMITS FROM THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) AND THE COUNTY OF SAN DIEGO WATERSHED PROTECTION, STORMWATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE NO. 10410. COUNTY OF SAN DIEGO HYDRAULIC DESIGN MANUAL, AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS FOR THE LIFE OF THIS PERMIT. THE PROJECT SITE SHALL BE IN COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS REFERENCED ABOVE AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS. THIS INCLUDES COMPLIANCE WITH THE APPROVED STORM WATER QUALITY MANAGEMENT PLAN (SWQMP), ALL REQUIREMENTS FOR LOW IMPACT DEVELOPMENT (LID), HYDROMODIFICATION, DETENTION FACILITIES, MATERIALS AND WASTES CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON THE PROJECT SITE.
21. THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR THE PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO THE FEDERAL ENDANGERED SPECIES ACT AND CLEAN WATER ACT, GRADING AND/OR FURTHER DEVELOPMENT ARE PROHIBITED WITHIN THE AREAS DESIGNATED "LIMITS OF JURISDICTIONAL HABITAT" UNTIL FEDERAL PERMITS AND STATE PERMITS (IF ANY) HAVE BEEN ACQUIRED.

MONUMENTATION GENERAL NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL SURVEY CONTROL MONUMENTS, WHETHER SHOWN ON THESE PLANS OR NOT, WITHIN THE PROJECT AREA. ALL SURVEY MONUMENTS, WHETHER FOR HORIZONTAL OR VERTICAL CONTROL, THAT WILL OR COULD BE DISTURBED OR REMOVED BY THE CONTRACTOR, OR HIS EMPLOYEES, AGENTS, SUBCONTRACTORS, CONSULTANT OR LICENSEES, SHALL BE LOCATED PRIOR TO BEING DISTURBED OR REMOVED AND REPLACED OR RESET, IN ACCORDANCE WITH THE CALIFORNIA BUSINESS & PROFESSIONS CODE SECTION 8771(B), AT THE CONTRACTOR'S SOLE EXPENSE, UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. IN ADDITION, A RECORD OF SURVEY OR CORNER RECORD, AS APPLICABLE, SHALL BE FILED AND/OR RECORDED, IN ACCORDANCE WITH THE PROVISION OF SAID CODE.

POLYPROPYLENE STORMDRAIN PIPE (HDPE) NOTES:

- 1. PIPE WILL BE BACKFILLED WITH CRUSHED ROCK IN ACCORDANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING D-60. FOR PIPE DIAMETERS 36 INCH AND GREATER DISTANCE BETWEEN PIPE O.D. AND TRENCH WALL SHALL BE 12 INCH MINIMUM.
2. THE REMAINDER OF THE TRENCH WILL BE BACKFILLED WITH THE SPECIFIED BACKFILL COMPACTED TO 90 PERCENT RELATIVE COMPACTION PER CALIFORNIA TEST METHOD 216 AS MODIFIED BY THE COUNTY OF SAN DIEGO OR ASTM D1557 (LATEST EDITION) EXCEPT FOR THE PORTION IN THE PAVEMENT SUBGRADE WHICH SHALL BE COMPACTED TO 95 PERCENT RELATIVE COMPACTION.
3. PPSD PIPE WITH LESS THAN 2 FEET OF COVER TO BOTTOM OF FLEXIBLE PAVEMENT UNDER HIGHWAY LOADING SHALL BE ENCASED IN PORTLAND CEMENT CONCRETE (PCC) IN ACCORDANCE WITH REGIONAL STANDARD DRAWING SP-03. THE PORTION ABOVE THE ENCASEMENT SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE ABOVE PARAGRAPH.
4. MAXIMUM PPSD PIPE COVER SHALL NOT EXCEED 25 FEET FOR 12 INCH DIAMETER TO 30 INCH DIAMETER AND 20 FEET FOR 36 INCH DIAMETER TO 60 INCH DIAMETER AS SPECIFIED IN THE CALTRANS POLYPROPYLENE APPROVAL.
5. PPSD PIPE SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) DESIGNATION M-330, FOR SIZES 12 INCH DIAMETER THROUGH 60 INCH DIAMETER. JOINT SHALL BE WATER TIGHT PER ASTM D3212 WITH DOUBLE GASKETED SPIGOT AND ELONGATED BELL WITH POLYMER COMPOSITE BAND.
6. THE LAST 16 FEET (2 SECTIONS TYPICALLY) OF CULVERT AT EACH EXPOSED END IS REQUIRED TO BE RCP. THIS WILL NECESSITATE A CONCRETE COLLAR FOR THE PPSD/ RCP TRANSITION.
7. DEPTH OF COVER SHOULD BE CONSISTENT WITH CALTRANS TABLE 856.5 OF THE HIGHWAY DESIGN MANUAL- IF LESS COVER IS PROPOSED, PROVIDE CONCRETE ENCASEMENT. IF CALTRANS HAS A NEWER UPDATE COUNTY WILL REVIEW AND COMMENT.
8. IF THE INSTALLATION IS IN STRICT ACCORDANCE WITH ASTM (OR AASHTO) CRITERIA FOR INSTALLATION THEN THE ROCK ENVELOPE AND BURRITO WRAP CAN BE ELIMINATED WITH CONCURRENCE OF GEOTECHNICAL ENGINEER AND APPROPRIATE FIELD INSPECTION AND TESTING. IF ROCK ENVELOPE IS TO BE USED TO ALLOW FOR NARROWER TRENCH THE BURRITO WRAP IS REQUIRED UNLESS A GEOTECHNICAL CONSULTANT IS UTILIZED AND DETERMINES THAT THERE IS NO RISK OF MATERIAL OUTSIDE THE ROCK ENVELOPE MIGRATING INTO THE ROCK.
9. AREAS OF HIGH GROUND WATER TABLE SHOULD BE AVOIDED. A SPECIAL STUDY AND REVIEW BY COUNTY MATERIAL LAB IS REQUIRED FOR AFFECTED PIPES.

WATERWAY NOTE:

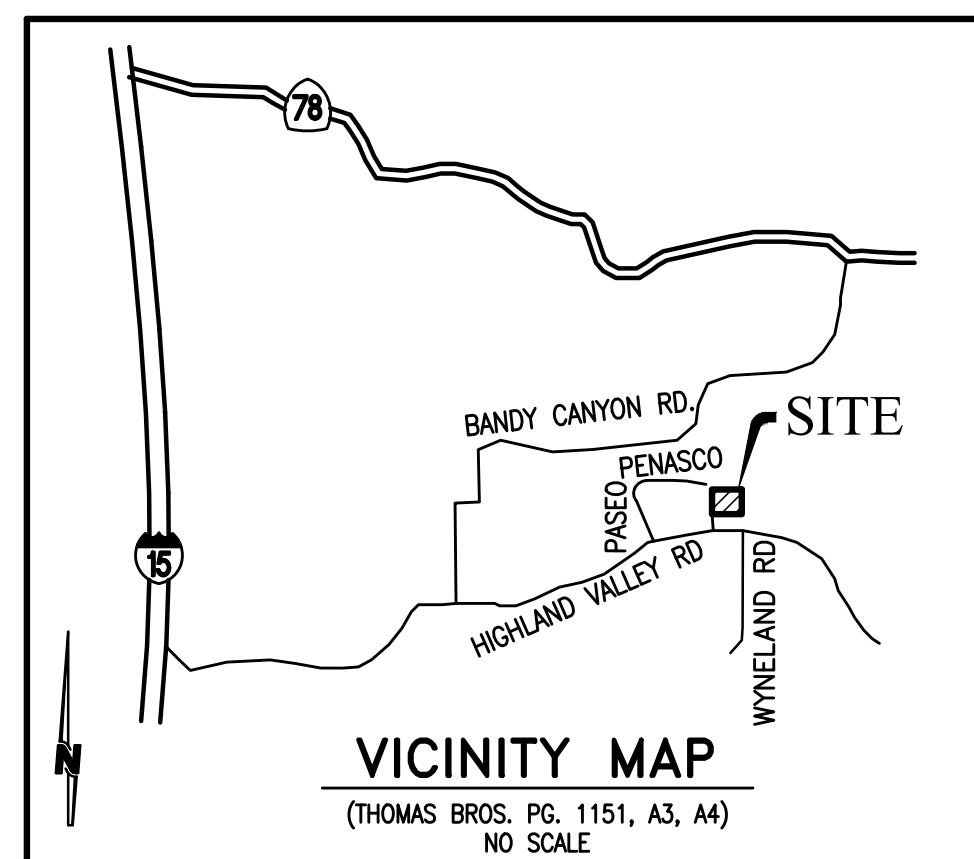
NOTICE: THE SUBJECT PROPERTY CONTAINS WETLANDS, A LAKE, A STREAM, AND/OR WATERS OF THE U.S. AND/OR STATE WHICH MAY BE SUBJECT TO REGULATION BY STATE AND/OR FEDERAL AGENCIES, INCLUDING, BUT NOT LIMITED TO, THE REGIONAL WATER QUALITY CONTROL BOARD, U.S. ARMY CORPS OF ENGINEERS AND THE CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE. IT IS THE APPLICANTS RESPONSIBILITY TO CONSULT WITH EACH AGENCY TO DETERMINE IF A PERMIT, AGREEMENT OR OTHER APPROVAL IS REQUIRED AND TO OBTAIN ALL NECESSARY PERMITS, AGREEMENTS OR APPROVALS BEFORE COMMENCING ANY ACTIVITY WHICH COULD IMPACT THE WETLANDS, LAKE, STREAM, AND/OR WATERS OF THE U.S. ON THE SUBJECT PROPERTY. THE AGENCY CONTACT INFORMATION IS PROVIDED BELOW.

U.S. ARMY CORPS OF ENGINEERS: 915 WILSHIRE BLVD., SUITE 1101, LOS ANGELES, CA 90017; (213) 452-3333; http://www.usace.com/mil
REGIONAL WATER QUALITY CONTROL BOARD: 2375 NORTHSIDE DRIVE, SUITE 100, SAN DIEGO, CA 92108; RB9_DredgeFill@waterboards.ca.gov ; http://www.waterboards.ca.gov/sandiego/
CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE: 3883 RUFFIN RD., SAN DIEGO, CA 92123; (858) 636-3160; AskR5@wildlife.ca.gov http://www.dfg.ca.gov/

SOILS ENGINEER CERTIFICATION:

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN OUR SOILS REPORT FOR THIS PROJECT. THE SOILS REPORT SHALL BE CONSIDERED AS A PART OF THIS PLAN, AND ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF SAID REPORT DATED: 5/16/15

CONSTRUCTION TESTING ENGINEERING, INC
BY: DAN T. MATH DATE: 12/31/20
NAME: DAN T. MATH R.C.E.#: 2665 EXP: 12/31/20
ADDRESS: 1441 MONTIEL RD, SUITE 115
ESCONDIDO, CA 92026
PHONE: (619) 445-2024



OWNER'S CERTIFICATE:

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PLANNING & DEVELOPMENT SERVICES DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETIONS OF THE IMPROVEMENTS.

I HEREBY AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING COUNTY RIGHT-OF WAY WITHIN 60 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED. IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

BY: PHIL PACE-4030 GOLDFINCH INVESTMENTS, LLC. DATE:
15635 PASEO PENASCO
ESCONDIDO CA 92025
PHONE: (619) 814-0050

NOTICE: "THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO."

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS & PROFESSIONS CODE, & THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

BY: JOSHUA R. ZEIGLER DATE: 9/30/20
R.C.E. 85413 EXP. 9/30/20



Table with columns: IMPROVEMENTS, STD. DWG., SYMBOL. Lists items like PROPERTY BOUNDARY, STREET CENTERLINE, EXISTING CONTOURS, EXISTING FIRE HYDRANT, etc.

LEGAL DESCRIPTION

ALL THAT PORTION OF THE SW 1/4 OF THE SW 1/4 OF SEC. 4, T.13S, R.1W, S.B.M IN THE COUNTY OF SAN DIEGO PER R.O.S. 14361.

SITE ADDRESS:

HIGHLAND VALLEY ROAD ESCONDIDO, CA 92025

OWNER/APPLICANT:

4030 GOLDFINCH INVESTMENT, LLC C/O CHARLES "PHIL" PACE 15635 PASEO PENASCO ESCONDIDO CA 92025 (619) 814-0050

IMPERVIOUS AREAS

EXIST. IMPERVIOUS AREA = 0 S.F. PROP. IMPERVIOUS A.C. DRIVEWAY AREA = 26,095 S.F. PROP. IMPERVIOUS BLDG ROOF AREA = 9,753 S.F.

APN:

276-030-48 & 49

TOPOGRAPHY SOURCE

SPEAR & ASSOCIATES, INC. 475 PRODUCTION STREET, SAN MARCOS, CA 92078 DATED: MAY 23, 2012 TOPO SOURCE METHOD : AERIAL PHOTO TOPO SOURCE DATE: 04-20-2015

EARTHWORK FOR APN 276-030-42

EARTHWORK FOR THE GRADING CONTAINED WITHIN PARCEL 276-030-42. CUT = 0 CY FILL = 16 CY IMPORT = 16 CY

Table: STRUCTURAL POLLUTANT AND HYDRO-MODIFICATION TREATMENT CONTROL BMP'S. Columns: DESCRIPTION/TYPE, BMP NO., SHEET, MAINTENANCE CATEGORY, MAINTENANCE AGREEMENT DOC. NO.

*BMP'S APPROVED AS PART OF STORMWATER QUALITY MANAGEMENT PLAN (SWQMP) DATED _____ ON FILE WITH DPW. ANY CHANGES TO THE ABOVE BMP'S WILL REQUIRE SWQMP REVISION AND PLAN CHANGE APPROVALS.

Grid of regulatory and project information boxes including: Undergroud Service Alert, FIRE PROTECTION DISTRICT, PDS ENVIRONMENTAL REVIEW, DISTURBED AREA CALCS, RECORD PLAN, PERMITS, COUNTY APPROVED CHANGES, BENCH MARK, and PRIVATE CONTRACT details for Resque Ranch.

PLANS PREPARED BY: SPEAR & ASSOCIATES, INC. CIVIL ENGINEERING & LAND SURVEYING. 475 PRODUCTION STREET, SAN MARCOS, CA 92078. PHONE (760) 736-2040 FAX (760) 736-4866 WWW.SPEARINC.NET



"NOT FOR CONSTRUCTION"

Plot Date: 7/24/2019 4:04 PM S:\Spear Projects\2016\14-160 PHIL PACE - HIGHLAND VALLEY RD. ESCONDIDO\CAD\14-160RCP.dwg

ENGINEER'S NAME: SPEAR & ASSOCIATES, INC. PHONE NO. 1-760-736-2040

STORM WATER MANAGEMENT NOTES

- DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
- NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY D.P.W. DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
- THE PROPERTY OWNER IS OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORM WATER REGULATIONS AT ALL TIMES. THE B.M.P.'S (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE MAINTENANCE OF THE B.M.P.'S IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE B.M.P.'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED B.M.P.'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- ON PROJECTS OF GREATER THAN ONE ACRE ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND THAT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS00002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE NOI NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS WID# 9_37C375197. THE PERMITTEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY COUNTY.

EMERGENCY EROSION CONTROL MEASURES NOTES:

- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF THE SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. BETWEEN OCTOBER 1, AND APRIL 15, APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF SAME BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE GRAVEL BAGS, CATCH BASINS AND DESILTING BASINS AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.

SILTATION AND SEDIMENT CONTROL MEASURES NOTES:

- THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEANED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL ESTABLISHED ON ALL ERODIBLE SLOPES.
- SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE COUNTY ENGINEER.
- SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH GRAVEL BAGS FROM TOP OF PIPE TO TOP OF DIKE.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF GRAVEL BAGS WITH A TOP ELEVATION LEVEL WITH, AND TWO GRAVEL BAGS BELOW, THE GRADED SURFACE OF THE STREET. GRAVEL BAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN GRAVEL BAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUND Slightly TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
- PROVIDE VELOCITY CHECK DAMS IN ALL STREET AREAS ACCORDING TO INTERVALS INDICATED BELOW. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE COUNTY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. VELOCITY CHECK DAMS MAY ALSO SERVE AS SEDIMENT TRAPS.

GRADE OF STREET	INTERVAL	NUMBER OF BAGS HIGH
LESS THAN 2%	AS REQUIRED	
2% TO 4%	200 FEET MAX	1
4% TO 6%	100 FEET	1
6% TO 10%	50 FEET	1
OVER 10%	25 FEET	2
- PROVIDE A GRAVEL BAG SILT BASIN OR TRAP BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
- GRAVEL BAGS AND FILL MATERIAL SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
- ALL EROSION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM, IF POSSIBLE, MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
- PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOWS THAT MAY BE ANTICIPATED FROM DENUDED SLOPES, OR IMPERVIOUS SURFACES.
- ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE AGENCIES; I.E., COUNTY ENGINEER, DEPARTMENT OF ENVIRONMENTAL HEALTH, FLOOD CONTROL AND OFFICE OF ENVIRONMENTAL MANAGEMENT ETC.

THE USE OF BFM'S IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

- APPLICATION RATES SHALL BE 3500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- THE SITE MUST BE PROTECTED WITH BROW DITCHES AND / OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLICATION FROM MULTIPLE ANGLES).
- FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION.
- A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE BFM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR FOR APPROVAL.

SEWER LATERAL CONSTRUCTION NOTES:

- THE APPLICANT/OWNER PROPOSING TO CONNECT TO SAN DIEGO COUNTY SANITATION DISTRICT (DISTRICT) SEWER SYSTEM SHALL OBTAIN A RESIDENTIAL WASTEWATER DISCHARGE PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS. THE APPLICANT/OWNER SHALL MAKE A WRITTEN APPLICATION TO WASTEWATER MANAGEMENT THROUGH DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES (BUILDING PERMIT COUNTER). FOR INFORMATION, CONTACT THE WASTEWATER MANAGEMENT COUNTER AT 858-495-5717.
- THE CONNECTION (SADDLE ONLY) TO THE DISTRICT SEWER SHALL BE INSTALLED BY DISTRICT PERSONNEL ONLY (FOR FIELD COORDINATION, CONTACT DISTRICT FIELD OFFICE AT 619-860-2007). ALL COSTS ASSOCIATED WITH PERMITS AND CONSTRUCTION OF THE SEWER LATERAL SHALL BE BORNE BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT NO PRIVATE RESIDENCES ARE SUBJECT TO A SEWAGE BACKUP OR SPILL DURING SEWER LATERAL CONNECTION.
- THE CONTRACTOR SHALL BE LIABLE FOR ALL CLEANUP, DAMAGES, AND RESULTANT FINES IN THE EVENT OF A SEWAGE SPILL.
- ALL SEWER LATERAL RELATED WORK SHALL CONFORM TO SAN DIEGO REGIONAL STANDARD DRAWINGS SP-01, SS-01 OR SS-02, SS-03, SS-0 4 AND SC-01 (TYPE B).
- THE PRIVATE SEWER LATERAL CONNECTION AND CLEANOUT AT THE PROPERTY LINE IS TO BE INSPECTED AND APPROVED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES BUILDING DIVISION.
- EACH LOT WILL BE SERVED BY A FOUR (4) INCH DIAMETER MINIMUM SIZE PVC SEWER LATERAL. LOCATION OF SEWER LATERAL AS CONSTRUCTED WITH STATIONS SHALL BE SHOWN ON THESE PLANS BY THE ENGINEER OF WORK PRIOR TO "RECORD PLAN" APPROVAL BY THE DISTRICT.
- THE PROPOSED SEWER LATERAL(S) WILL BE CONSTRUCTED TO GRAVITY FLOW WITHIN THE EXISTING COUNTY ROAD RIGHT-OF-WAY.

BIOFILTRATION BASIN MEDIA

PER COUNTY OF SAN DIEGO 2014 LID HANDBOOK, APPENDIX C - FACT SHEETS.

3" MULCH LAYER (MANDATORY)
A MINIMUM OF 3 INCHES OF WELL-AGED, SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS IS PROVIDED. MULCH MUST BE NON-FLOATING TO AVOID CLOGGING OF OVERFLOW STRUCTURE.

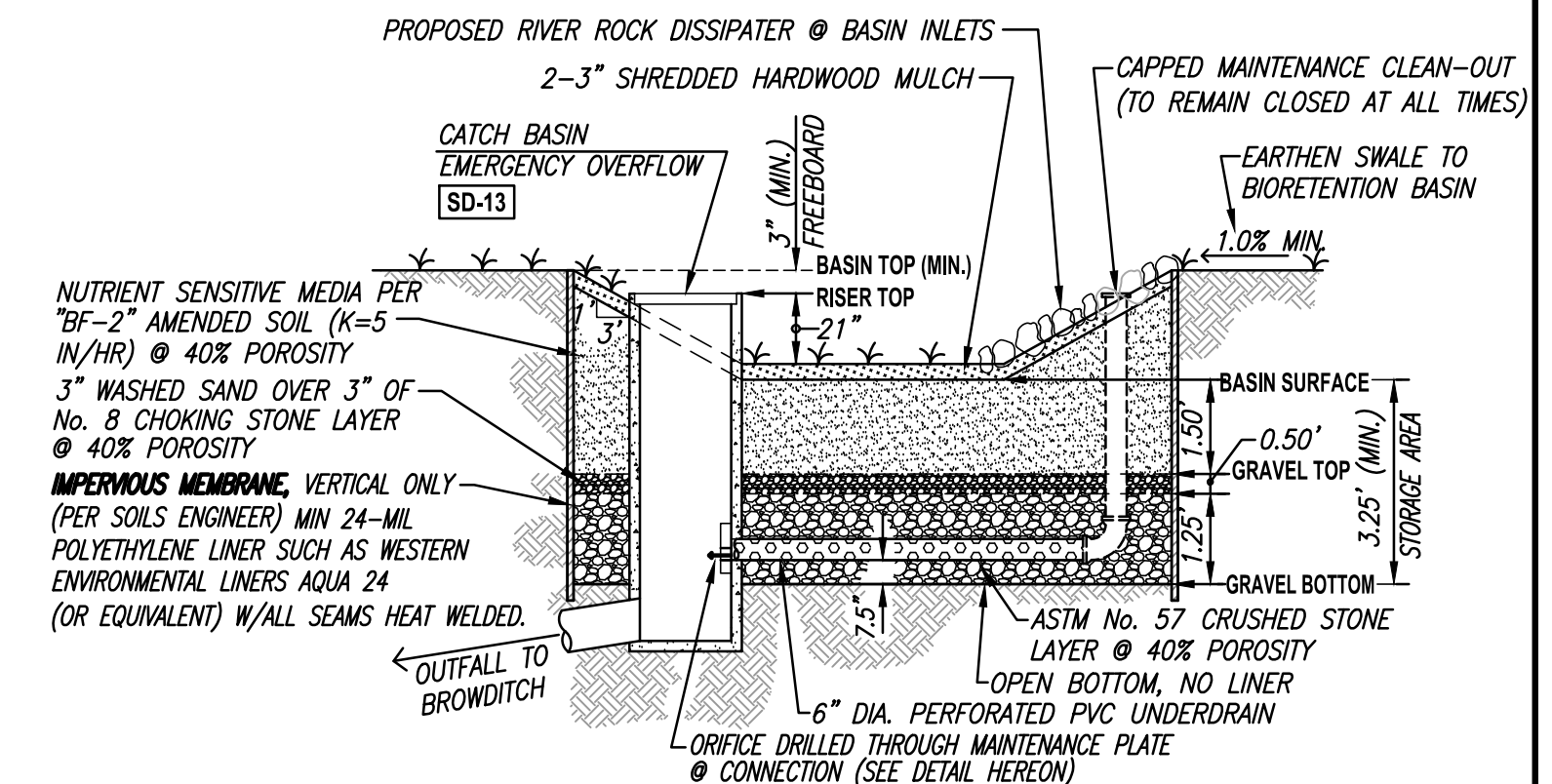
18" AMENDED SOIL LAYER
COMPOSITION AND TEXTURE: 65% SAND, 20% SANDY LOAM, & 15% COMPOST (FROM VEGETATION-BASED FEEDSTOCK). ANIMAL WASTES OR BY-PRODUCTS SHOULD NOT BE APPLIED.

PERMEABILITY: 5 IN/HR INFILTRATION RATE FOR THE FLOW-BASED SUSMP METHOD (1-6IN/HR FOR ALTERNATIVE DESIGNS, AS APPROVED BY LOCAL JURISDICTION).

CHEMICAL COMPOSITION: TOTAL PHOSPHORUS < 15 PARTS PER MILLION (PPM); PH 6-8; CATION EXCHANGE CAPACITY > 5 MILLIEQUIVALENTS PER 100 GRAMS (MEQ/100 G) OF SOIL; ORGANIC MATTER CONTENT < 5 PERCENT BY WEIGHT.

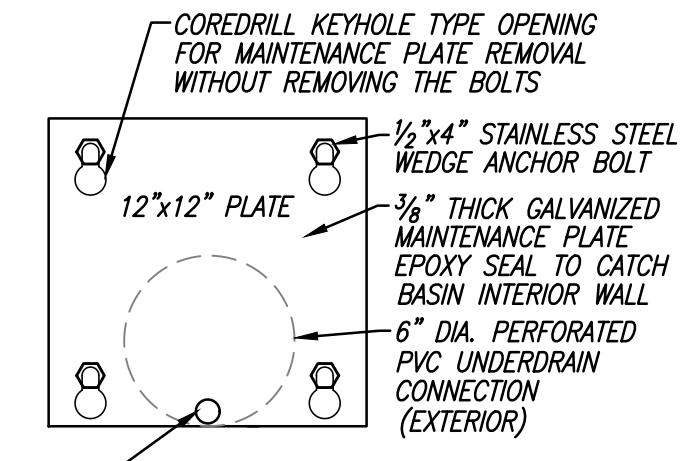
DRAINAGE LAYER
SEPARATE SOIL MEDIA FROM UNDERDRAIN LAYER WITH 3 INCHES OF WASHED SAND (ASTM NO. 33), FOLLOWED BY 3 INCHES OF CHOKING STONE (ASTM NO. 8), OVER A 1.25-FOOT ENVELOPE OF ASTM NO. 57 STONE.

SURFACE VEGETATION
AS SPECIFIED BY THE LANDSCAPE ARCHITECT PLANS.



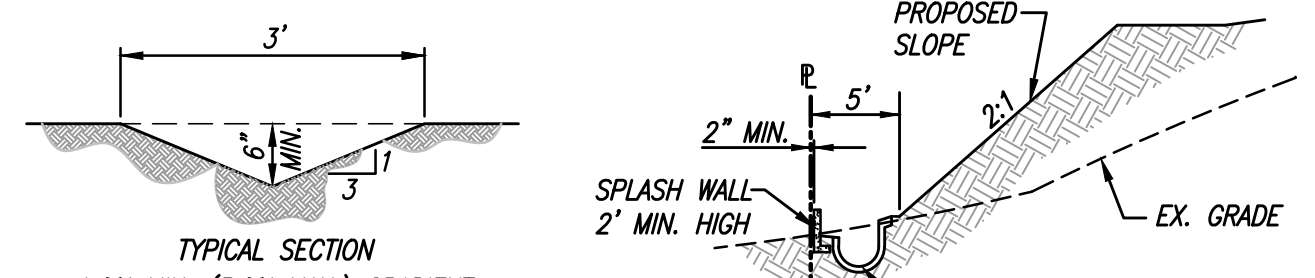
BIOFILTRATION BASIN "B" TYPICAL SECTION

TYPICAL DETAIL & OUTLET CONNECTION
BIOFILTRATION BASIN BF-1 & BF-2 W/ NUTRIENT SENSITIVE MEDIA DESIGN
NOT TO SCALE



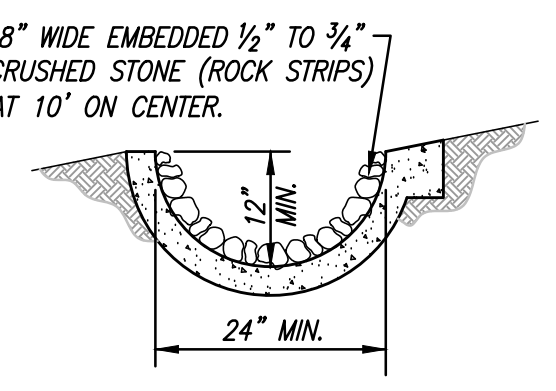
MAINTENANCE PLATE DETAIL

ATTACH TO INTERIOR INLET WALL OF CATCH BASIN



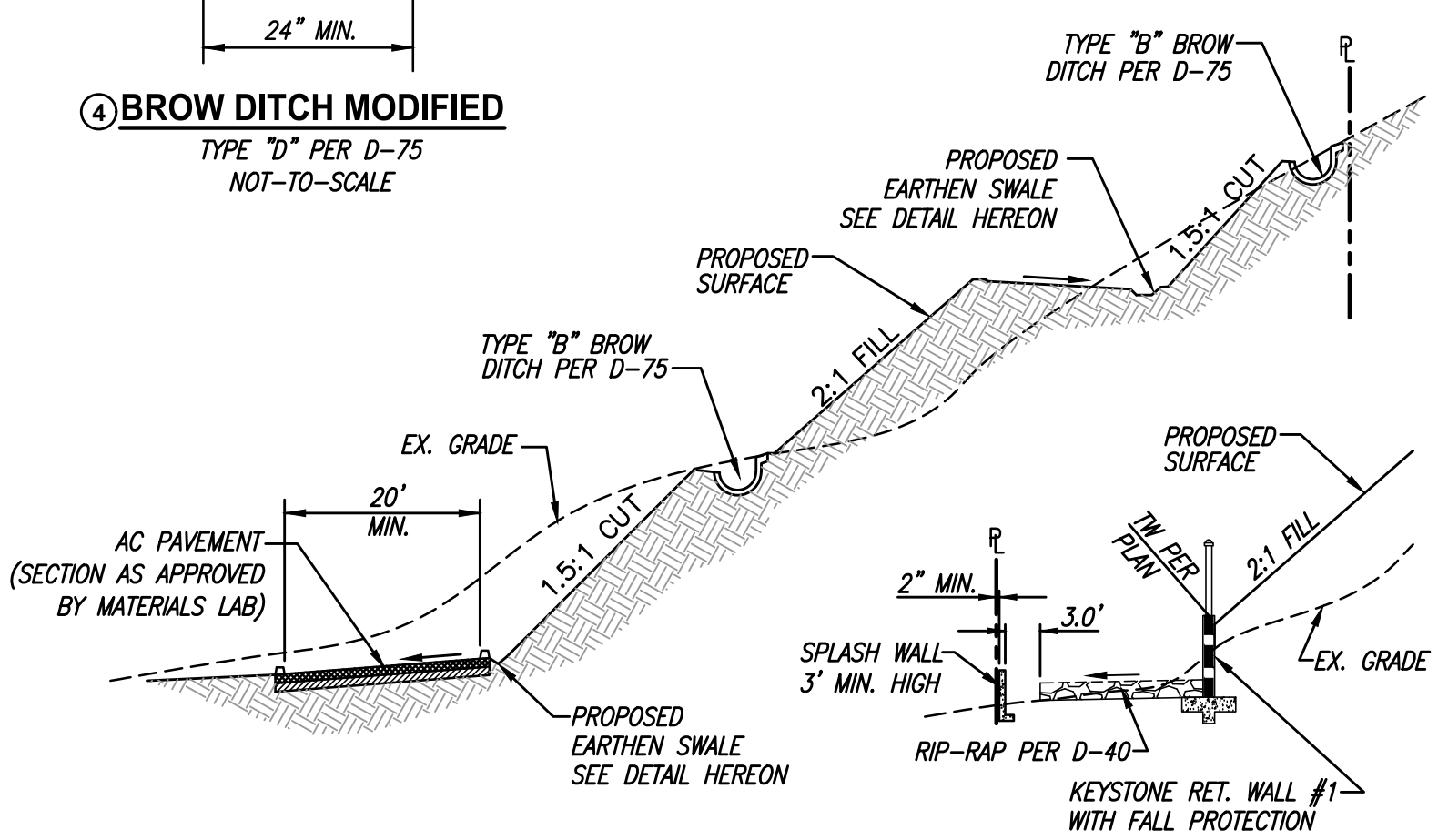
3) EARTHEN SWALE DETAIL

NOT TO SCALE



4) BROW DITCH MODIFIED

NOT TO SCALE



SECTION B-B

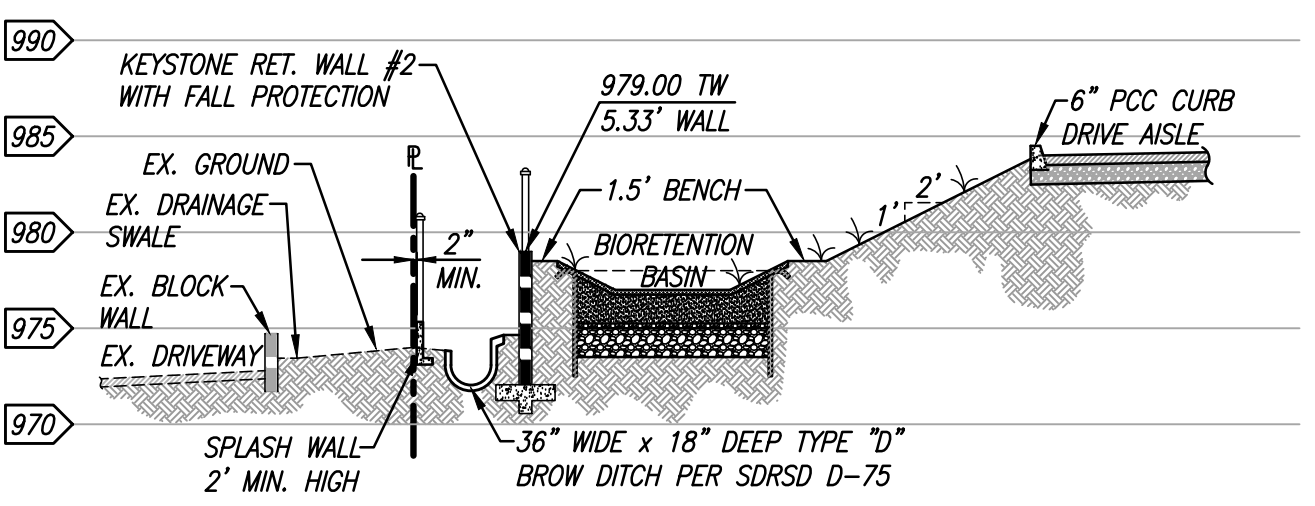
NOT TO SCALE

SECTION E-E

NOT TO SCALE

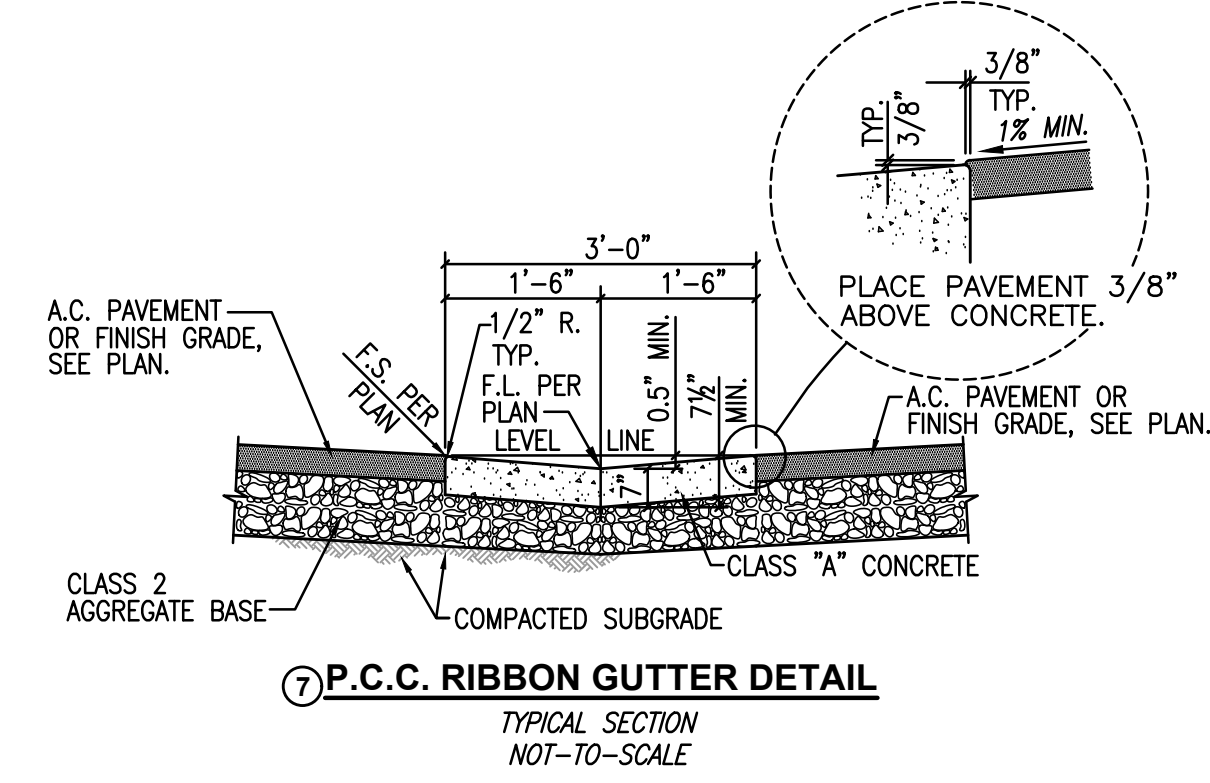
SECTION F-F

NOT TO SCALE



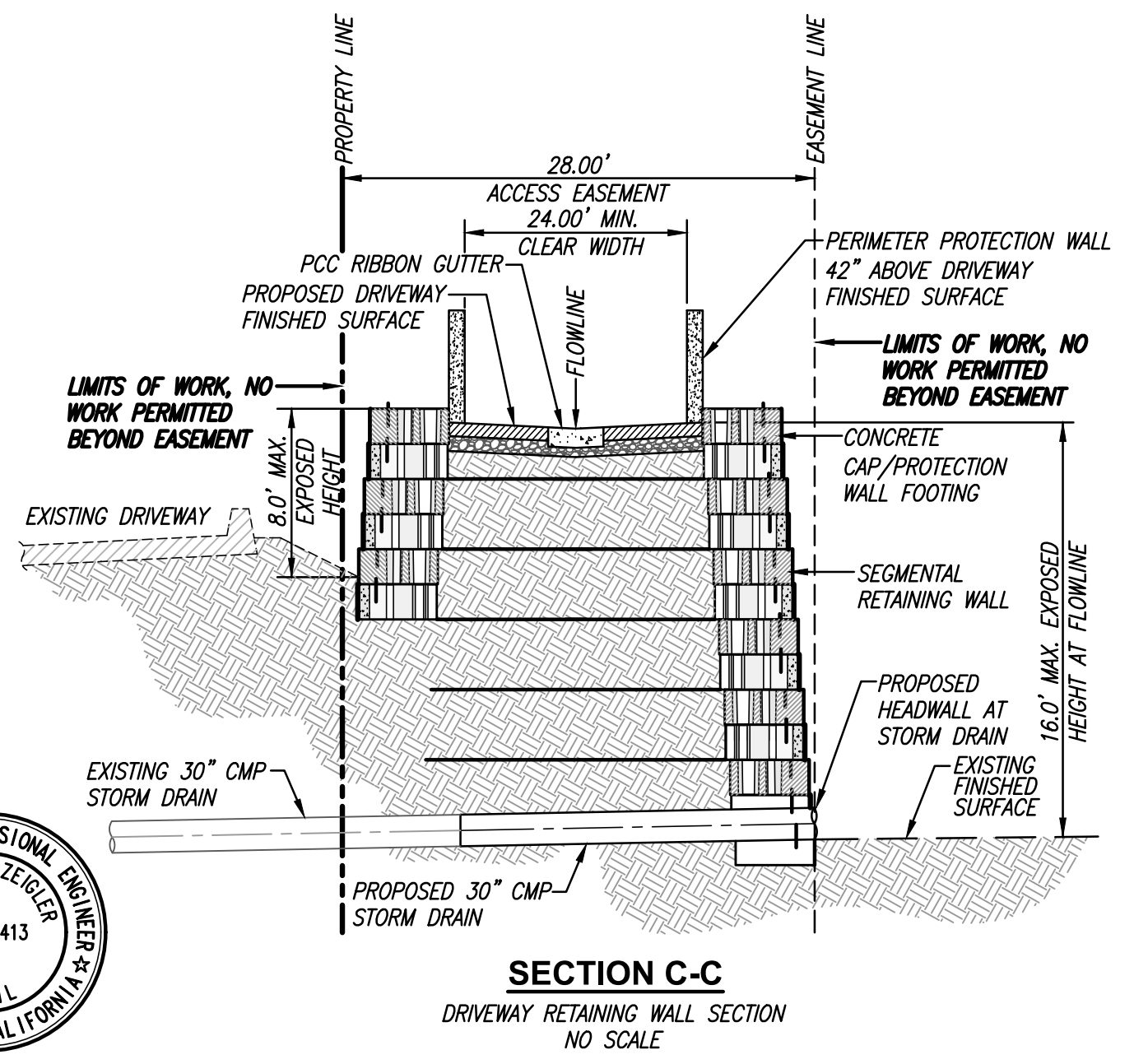
SECTION D-D

NOT TO SCALE



P.C.C. RIBBON GUTTER DETAIL

TYPICAL SECTION NOT TO SCALE



SECTION C-C

DRIVEWAY RETAINING WALL SECTION NO SCALE

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES		
NO.	Description	Approved by Date

RECORD PLAN	
JOSHUA R. ZEIGLER	DATE
R.C.E. No. 85413	
EXPIRES: 9-30-20	

PRIVATE CONTRACT		
SHEET 2	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
GRADING PLAN FOR: RESQUE RANCH HIGHLAND VALLEY ROAD "VIOLATION"		
CALIFORNIA COORDINATE INDEX 326-1767	ENGINEER OF WORK: WILLIAM P. MORGAN COUNTY ENGINEER	
	JOSHUA R. ZEIGLER R.C.E. NO. 85413 EXP. 9-30-20	
BY: _____	DATE _____	
	GRADING PERMIT NO. PDS2016-LDGRM-30067	

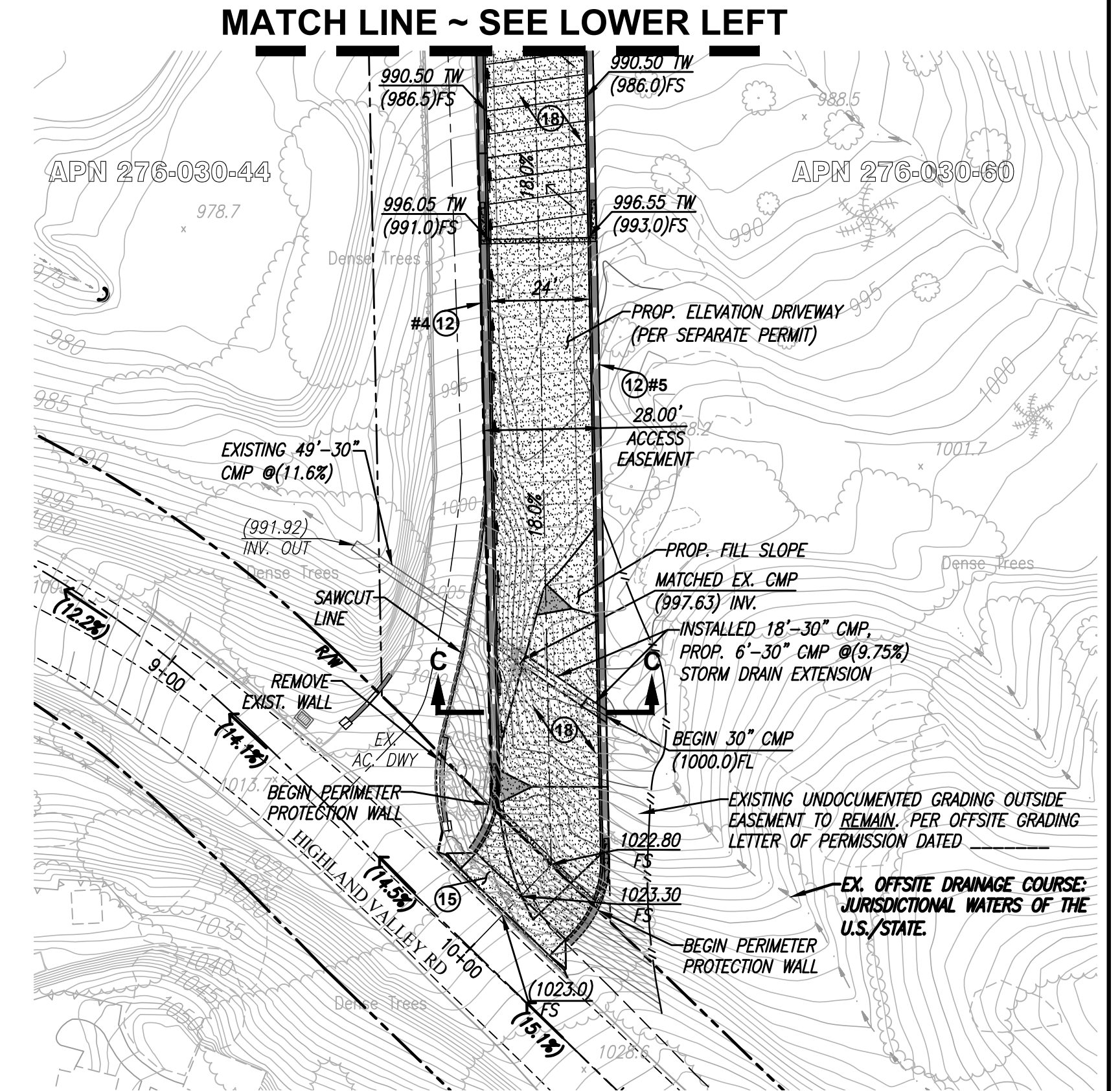
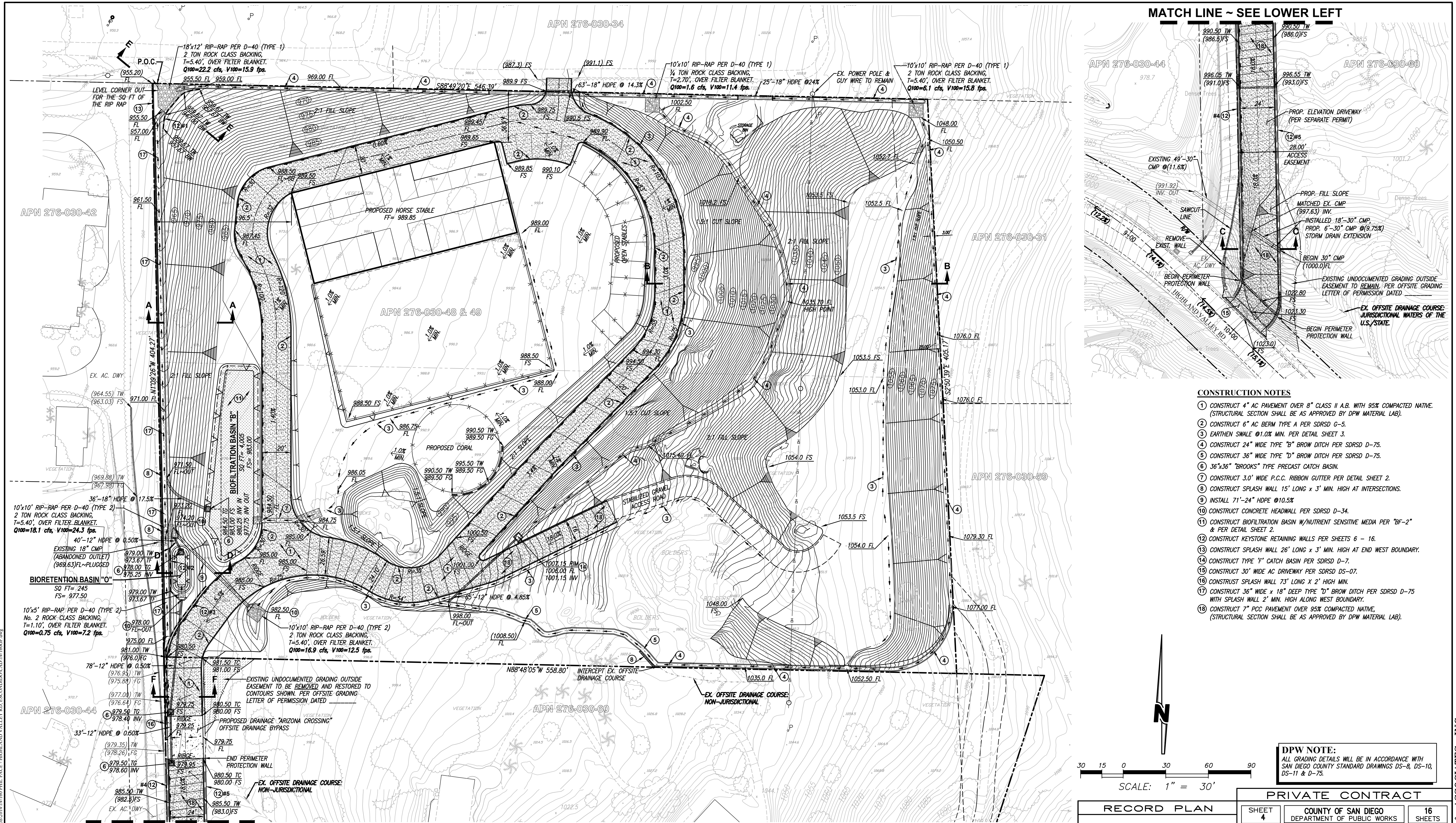
"NOT FOR CONSTRUCTION"

PLOT DATE: 7/24/2019 4:04 PM S:\Spec Projects\2014\14-160 PHIL PACI - HIGHLAND VALLEY RD. ESCONDIRIO CAD 14-160R.P.dwg

PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
CIVIL ENGINEERING & LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA 92078
PHONE (760) 736-2040 FAX (760) 736-4866
WWW.SPEARINC.NET

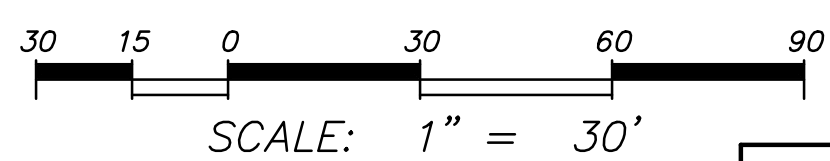
REGISTERED PROFESSIONAL ENGINEER
JOSHUA R. ZEIGLER
No. 85413
CIVIL
STATE OF CALIFORNIA

ENGINEER'S NAME: SPEAR & ASSOCIATES, INC. PHONE NO. 1-760-736-2040



- CONSTRUCTION NOTES**
- CONSTRUCT 4" AC PAVEMENT OVER 8" CLASS II A.B. WITH 95% COMPACTED NATIVE. (STRUCTURAL SECTION SHALL BE AS APPROVED BY DPW MATERIAL LAB).
 - CONSTRUCT 6" AC BERM TYPE A PER SDRSD G-5.
 - EARTHEN SWALE @ 1.0% MIN. PER DETAIL SHEET 3.
 - CONSTRUCT 24" WIDE TYPE "B" BROW DITCH PER SDRSD D-75.
 - CONSTRUCT 36" WIDE TYPE "D" BROW DITCH PER SDRSD D-75.
 - 36"x36" "BROOKS" TYPE PRECAST CATCH BASIN.
 - CONSTRUCT 3.0" WIDE P.C.C. RIBBON GUTTER PER DETAIL SHEET 2.
 - CONSTRUCT SPLASH WALL 15' LONG x 3' MIN. HIGH AT INTERSECTIONS.
 - INSTALL 71"-24" HDPE @ 10.5%
 - CONSTRUCT CONCRETE HEADWALL PER SDRSD D-34.
 - CONSTRUCT BIOFILTRATION BASIN W/NUTRIENT SENSITIVE MEDIA PER "BF-2" & PER DETAIL SHEET 2.
 - CONSTRUCT KEYSTONE RETAINING WALLS PER SHEETS 6 - 16.
 - CONSTRUCT SPLASH WALL 26' LONG x 3' MIN. HIGH AT END WEST BOUNDARY.
 - CONSTRUCT TYPE "F" CATCH BASIN PER SDRSD D-7.
 - CONSTRUCT 30" WIDE AC DRIVEWAY PER SDRSD DS-07.
 - CONSTRUCT SPLASH WALL 73' LONG x 2' HIGH MIN.
 - CONSTRUCT 36" WIDE x 18" DEEP TYPE "D" BROW DITCH PER SDRSD D-75 WITH SPLASH WALL 2' MIN. HIGH ALONG WEST BOUNDARY.
 - CONSTRUCT 7" PCC PAVEMENT OVER 95% COMPACTED NATIVE, (STRUCTURAL SECTION SHALL BE AS APPROVED BY DPW MATERIAL LAB).

DPW NOTE:
ALL GRADING DETAILS WILL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11 & D-75.



FIRE DEPARTMENT NOTE:
ACCESS ROADS EXCEEDING 15% WILL REQUIRE PORTLAND CEMENT CONCRETE WITH RAKE OR BROOM FINISH.

NOTE:
FOR ALL DETAILS AND SECTION SEE SHEET 2 & 3.

UTILITY NOTE:
CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. ENGINEER IS NOT RESPONSIBLE FOR PRECISE LOCATION OF EXISTING UNDERGROUND UTILITIES.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES			BENCH MARK	
NO.	Description	Approved by	Date	DESCRIPTION
				CHISELED SQUARE
				LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA
				RECORD FROM: #425 CITY OF ESCONCIDO BENCHMARK BOOK
				ELEVATION: 504.07 DATUM: MSL

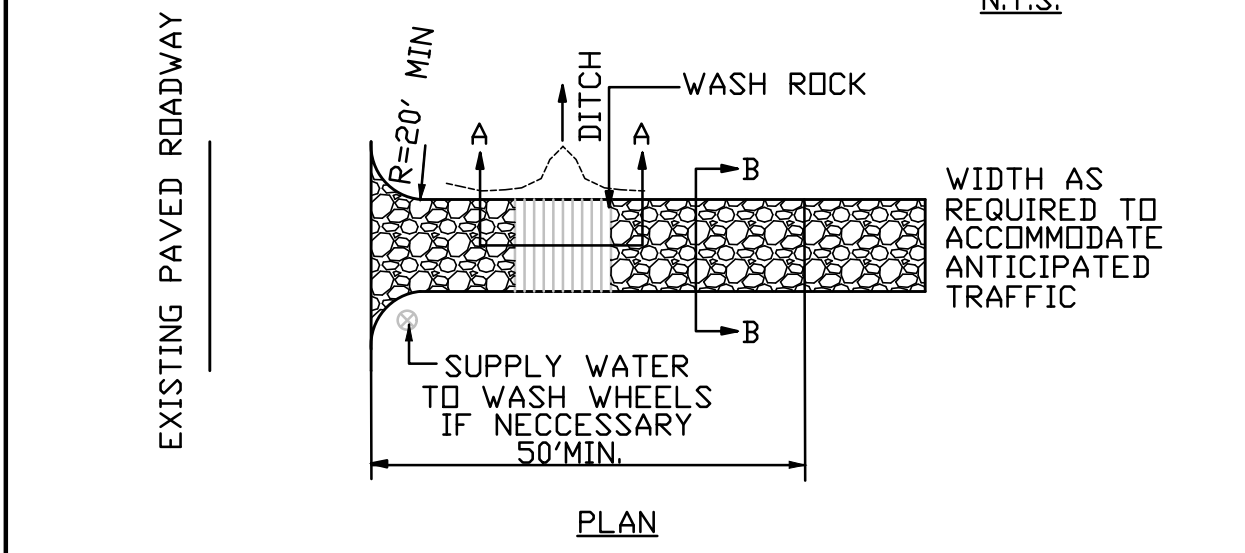
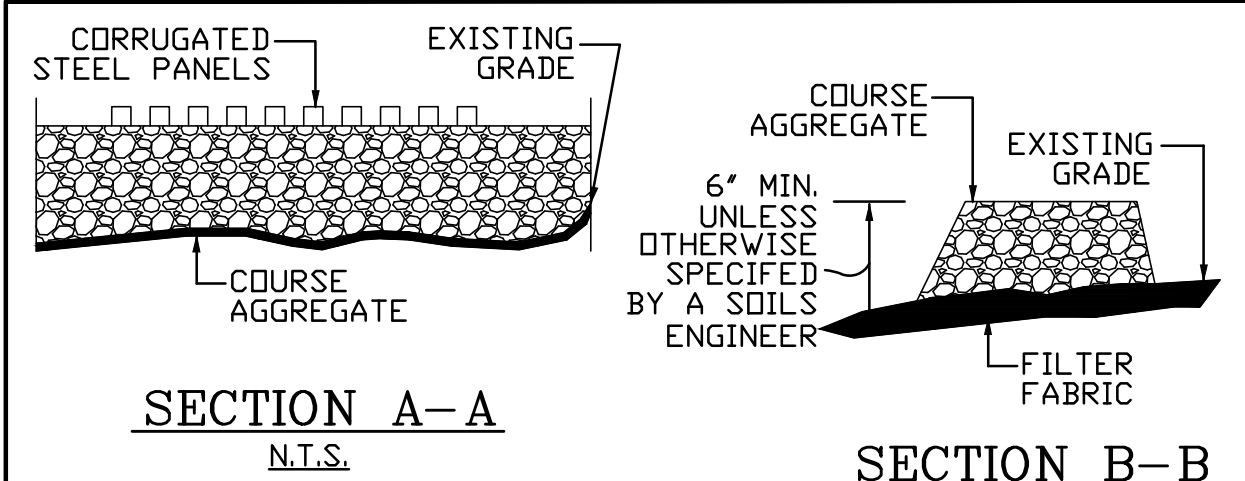
PRIVATE CONTRACT		
RECORD PLAN	SHEET 4	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 16 SHEETS
GRADING PLAN FOR: RESQUE RANCH HIGHLAND VALLEY ROAD "VIOLATION"		
CALIFORNIA COORDINATE INDEX 326-1767		ENGINEER OF WORK: WILLIAM P. MORGAN COUNTY ENGINEER
APPROVED FOR: JOSHUA R. ZEIGLER R.C.E. No. 85413 EXP. 9-30-20		GRADING PERMIT No. PDS2016-LDGRM-30067
DATE		

PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
CIVIL ENGINEERING & LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA 92078
PHONE (760) 736-2040 FAX (760) 736-4866
WWW.SPEARINC.NET

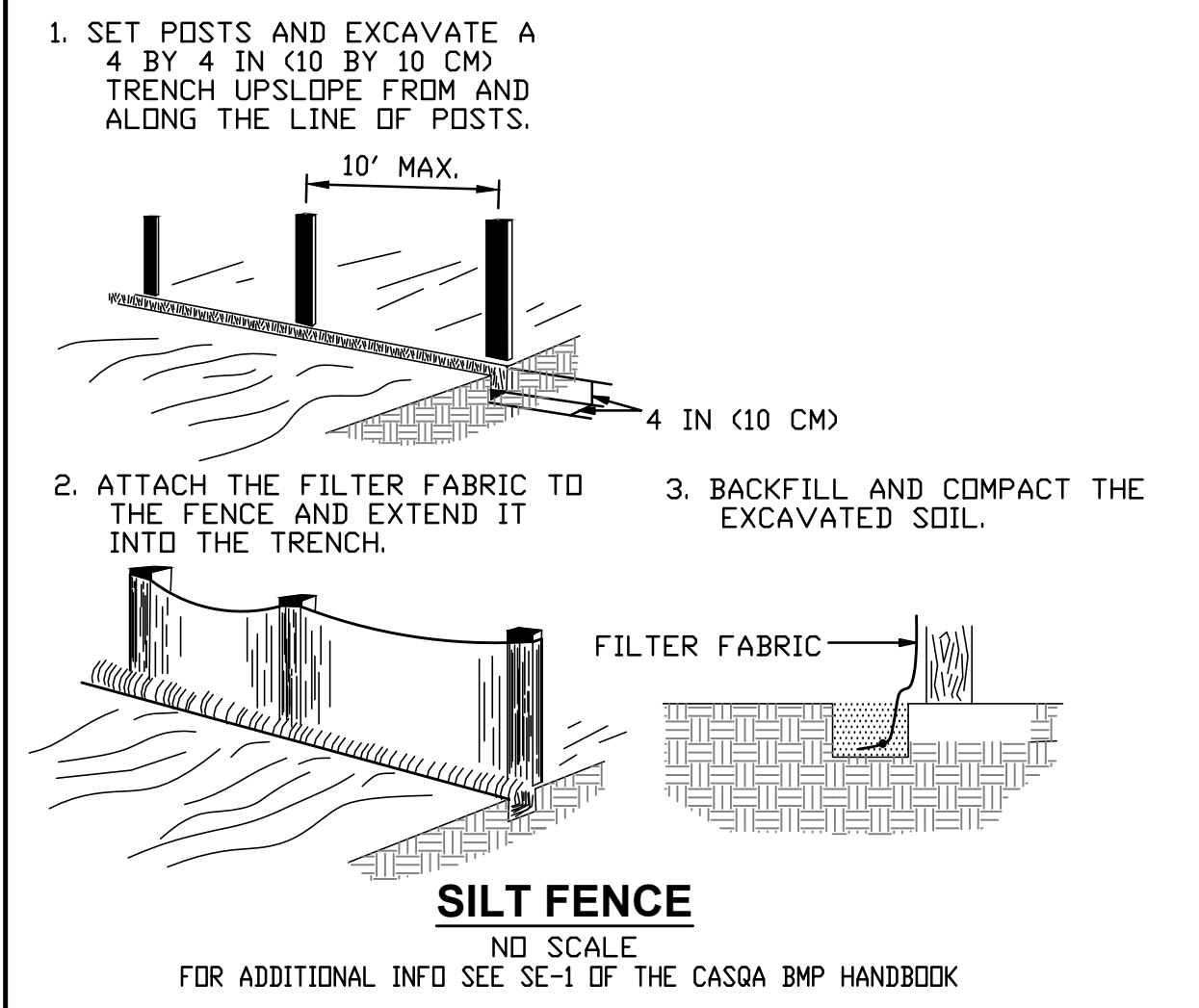
S:\Spec\Projects\2014\14-160 PHIL PACI - HIGHLAND VALLEY RD. ESCONCIDO\CAD\14-160RCP.dwg
 PLOT DATE: 7/24/2019 4:05 PM
 SPEAR & ASSOCIATES PROJECT NO. 14-160 JW

"NOT FOR CONSTRUCTION"

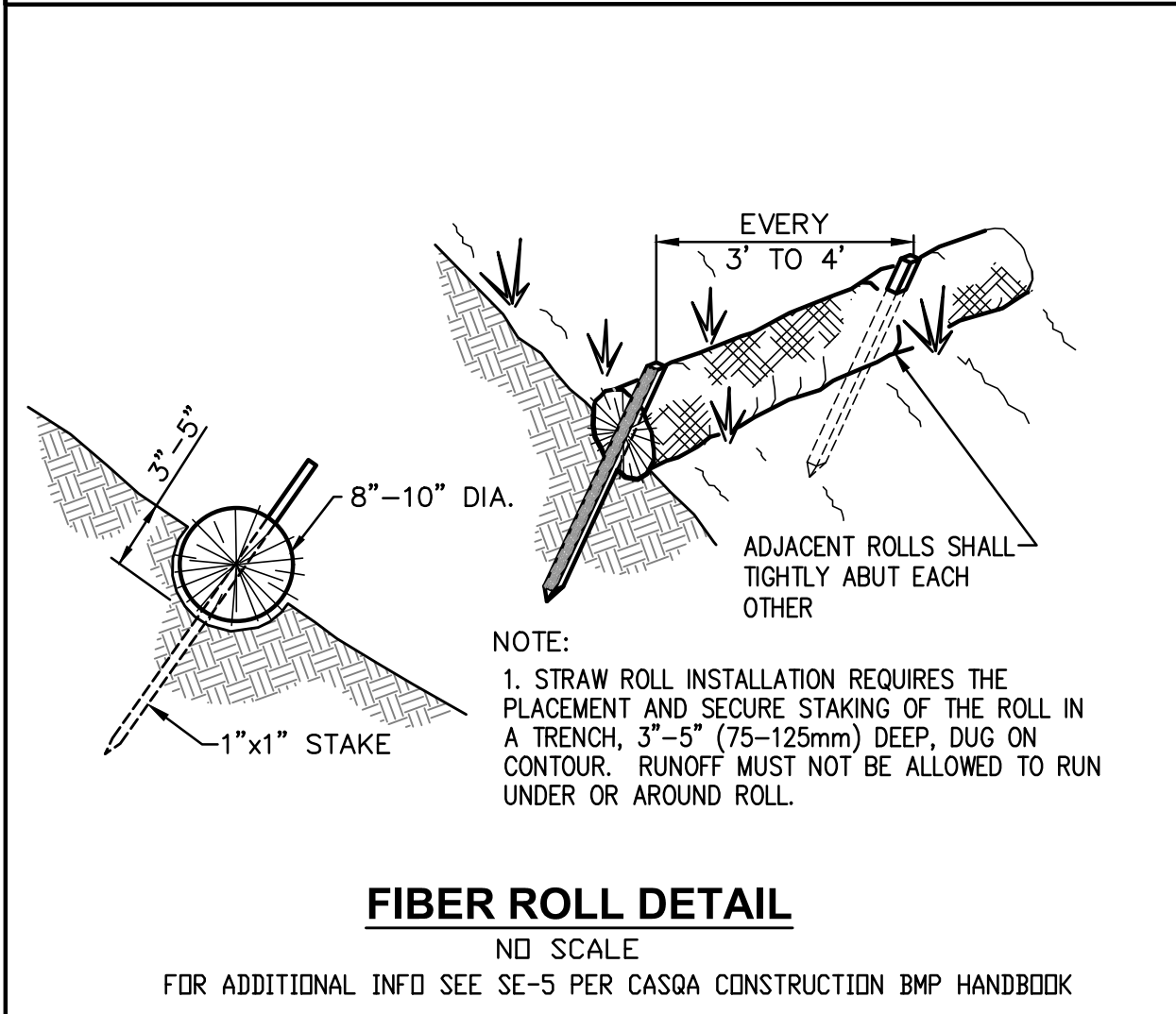
ENGINEER'S NAME: SPEAR & ASSOCIATES, INC. PHONE NO. 1-760-736-2040



STABILIZED CONSTRUCTION ENTRANCE
NO SCALE
FOR ADDITIONAL INFO SEE TC-1 & TC-3 OF THE CASQA BMP HANDBOOK

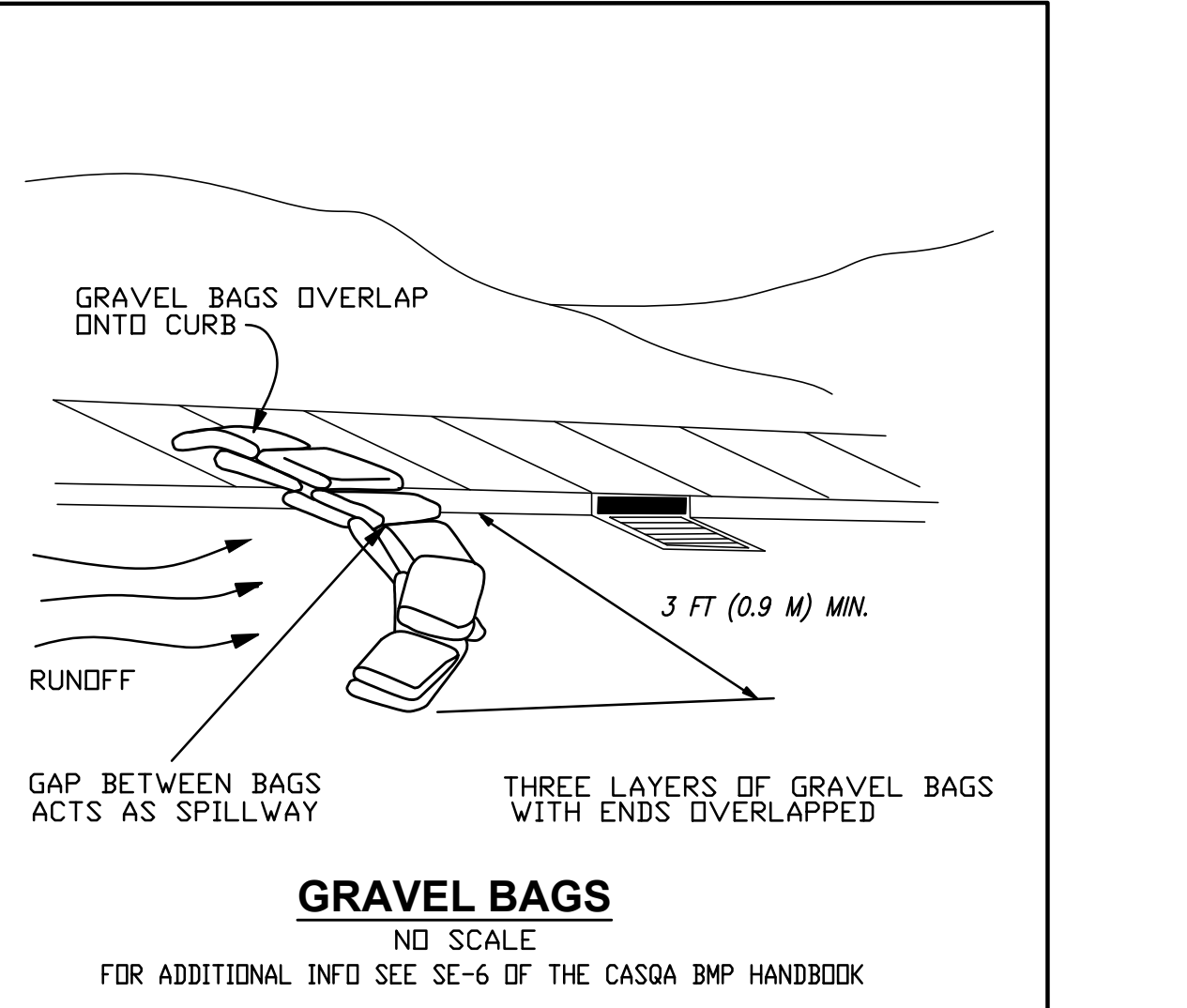


SILT FENCE
NO SCALE
FOR ADDITIONAL INFO SEE SE-1 OF THE CASQA BMP HANDBOOK

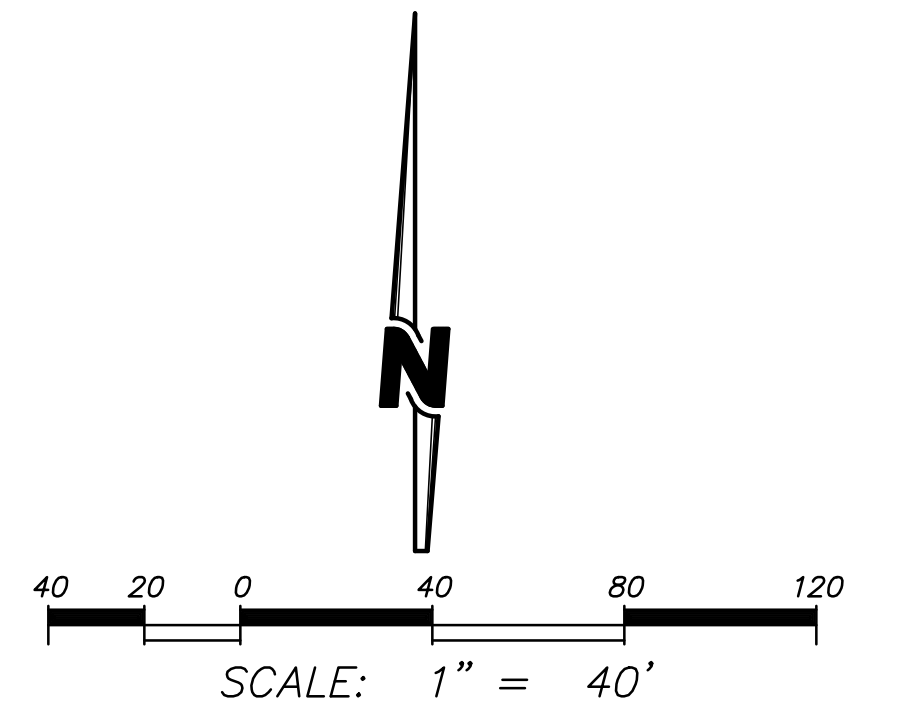
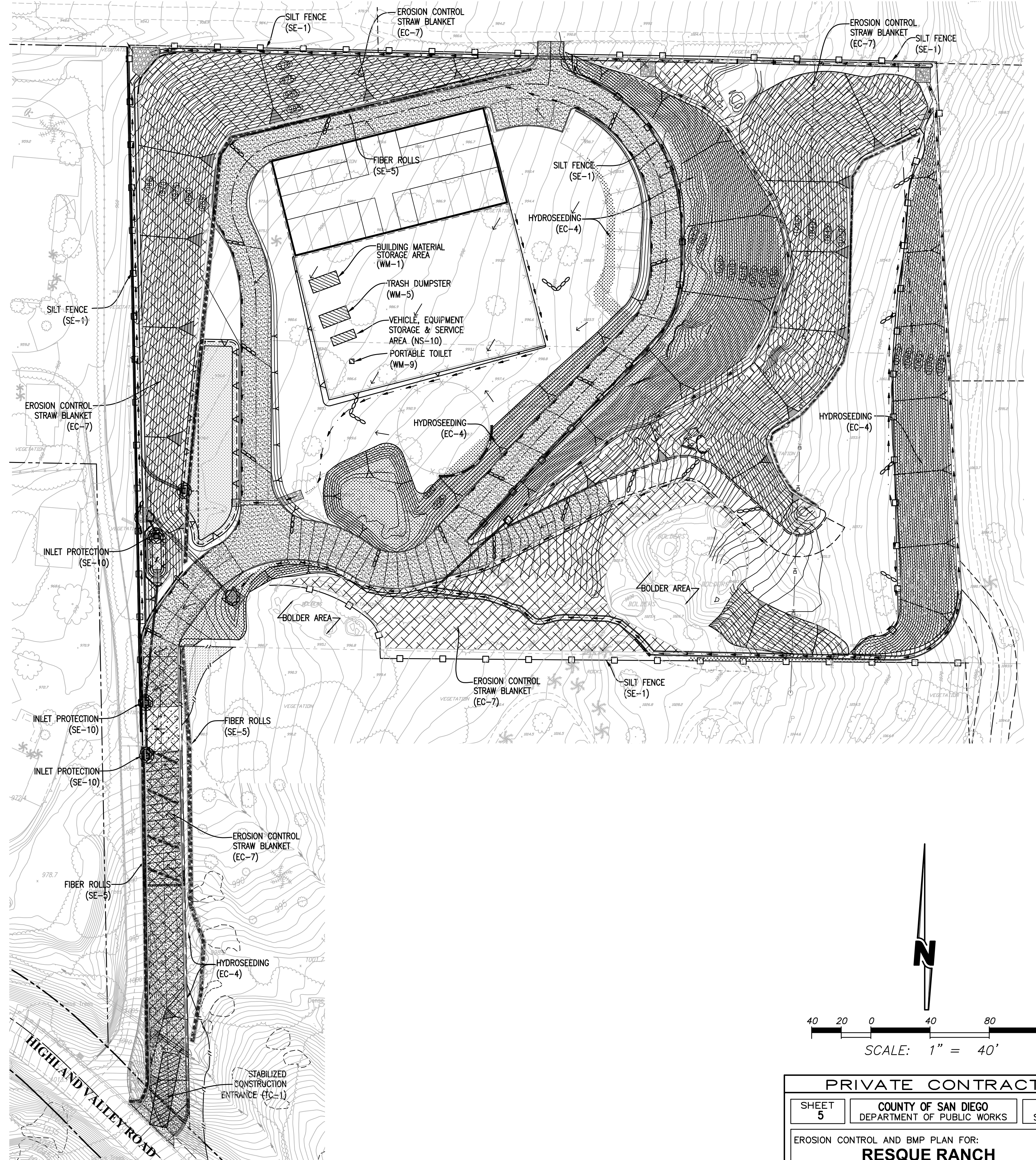


FIBER ROLL DETAIL
NO SCALE
FOR ADDITIONAL INFO SEE SE-5 PER CASQA CONSTRUCTION BMP HANDBOOK

IMPROVEMENTS	STD. DWG.	SYMBOL
PROPERTY BOUNDARY		---
DIRECTION OF DRAINAGE		---
EXISTING CONTOURS		380
PROPOSED CONTOURS		747
CUT/FILL LINE		--- CUT --- --- FILL ---
BIORETENTION AREA (IMP)		[Symbol]
GRAVELBAGS	SE-6 & SE-8	[Symbol]
INLET PROTECTION	SE-10	[Symbol]
SILT FENCE	SE-1	[Symbol]
HYDROSEEDING	EC-4	[Symbol]
EROSION CONTROL STRAW BLANKET	EC-7	[Symbol]
FIBER ROLLS	SE-5	[Symbol]
RIP-RAP	D-40 (TYPE II)	[Symbol]
STABILIZED CONSTRUCTION ENTRANCE	TC-1	[Symbol]
VEHICLE, EQUIPMENT STORAGE & SERVICE AREA	NS-10	[Symbol]
BUILDING MATERIAL STORAGE AREA	WM-1	[Symbol]
TRASH DUMPSTER	WM-5	[Symbol]
PORTABLE TOILET	WM-9	[Symbol]



GRAVEL BAGS
NO SCALE
FOR ADDITIONAL INFO SEE SE-6 OF THE CASQA BMP HANDBOOK



PRIVATE CONTRACT		
SHEET 5	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
EROSION CONTROL AND BMP PLAN FOR: RESQUE RANCH HIGHLAND VALLEY ROAD "VIOLATION" CALIFORNIA COORDINATE INDEX 326-1767		
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: JOSHUA R. ZEBLER R.C.E. NO. 85413 EXP. 9-30-20	GRADING PERMIT NO. PDS2016-LDGRMJ-30067
BY: _____	DATE _____	

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES		
NO.	Description	Approved by

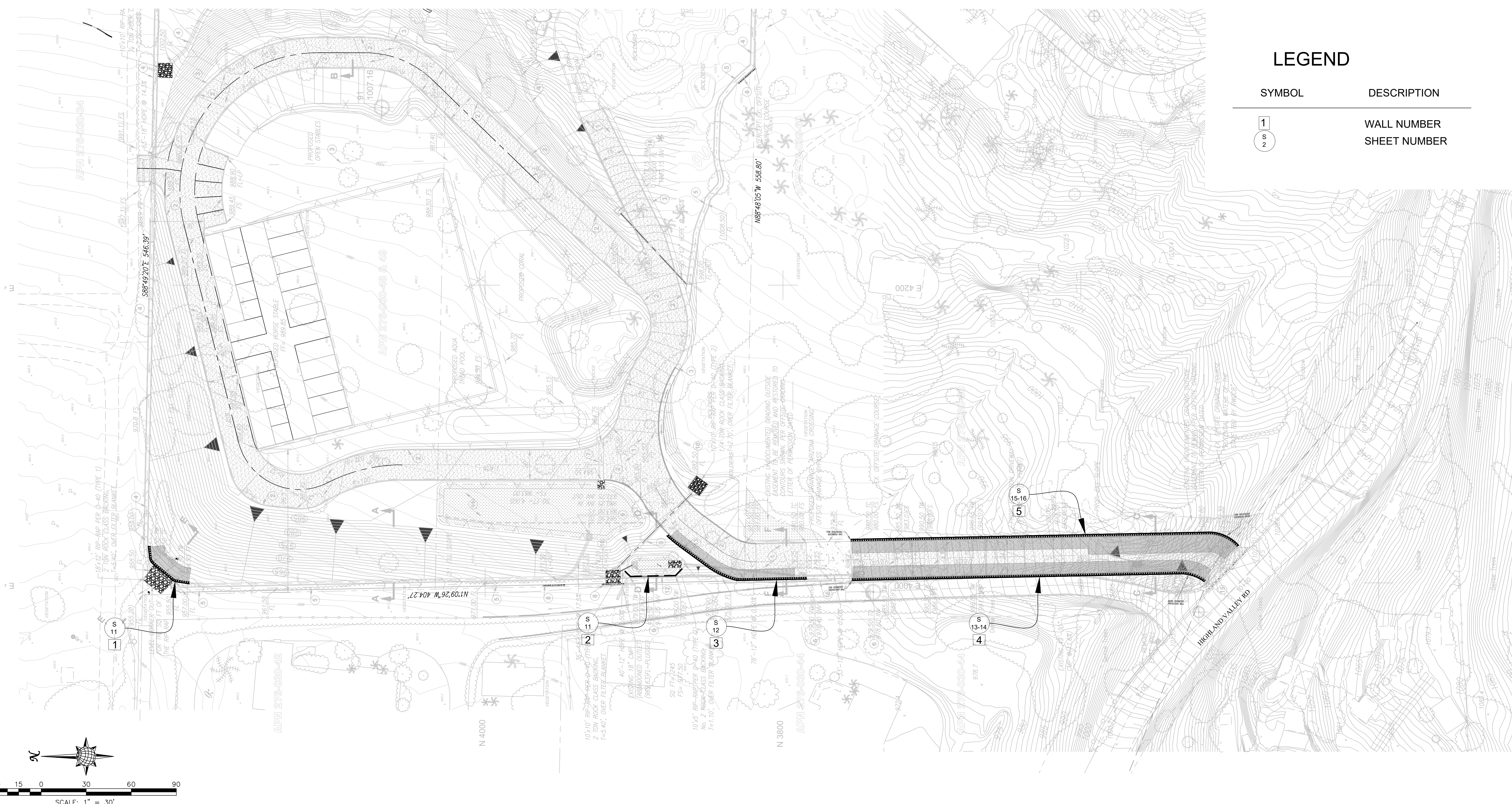
BENCH MARK	
DESCRIPTION:	CHISELED SQUARE
LOCATION:	AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA
RECORD FROM:	#425 CITY OF ESCONDIDO BENCHMARK BOOK
ELEVATION:	504.07
DATUM:	MSL

PLOT DATE: 11/27/2018 9:31 AM S:\Spear_Projects\2014\14-160 PHIL PACE - HIGHLAND VALLEY RD. ESCONDIDO\CAD\14-160B.CAD

PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
CIVIL ENGINEERING & LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA 92078
PHONE (760) 736-2040 FAX (760) 736-4866
WWW.SPEARINC.NET

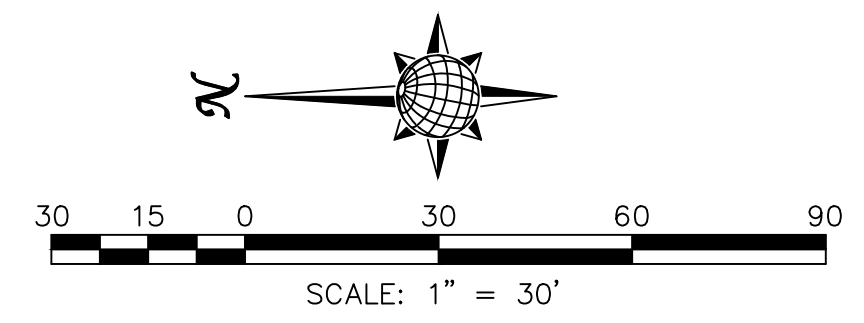
ENGINEER'S NAME: SPEAR & ASSOCIATES, INC. PHONE NO. 1-760-736-2040

"NOT FOR CONSTRUCTION"



LEGEND

SYMBOL	DESCRIPTION
1	WALL NUMBER
2	SHEET NUMBER



- CONSTRUCTION NOTES**
1. GRADING PLAN LINES, GRADES AND ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. PLEASE SEE PROJECT GRADING PLAN FOR SITE INFORMATION.
 2. GENERAL CONTRACTOR/DEVELOPER AND HILLSIDE RETAINING WALLS SHALL COORDINATE THE INSTALLATION OF ALL SUBTERRANEAN CONSTRUCTION WITHIN THE REINFORCED ZONE. HILLSIDE AND SERVIN ENGINEERING BE CONSULTED PRIOR TO ANY EXCAVATION WITHIN THE REINFORCED ZONE. ALL EFFORTS SHALL BE MADE TO COORDINATE INSTALLATION OF SUBTERRANEAN FEATURES DURING WALL CONSTRUCTION.
 3. DURING CONSTRUCTION AND AFTER WALL COMPLETION THE FINISHED GRADE SHALL BE GRADED TO DRAIN AWAY FROM THE KEYSTONE RETAINING WALL UNTIL FINAL DRAINAGE SYSTEM IS COMPLETE. NO STANDING WATER SHALL BE ALLOWED TO POND ABOVE THE KEYSTONE RETAINING WALL.

DESIGN CONSULTANTS
HILLSIDE COMPANIES
 4805 5TH STREET #102
 FALLBROOK, CALIFORNIA, 92028
 OFFICE: (760) 731-3038

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date

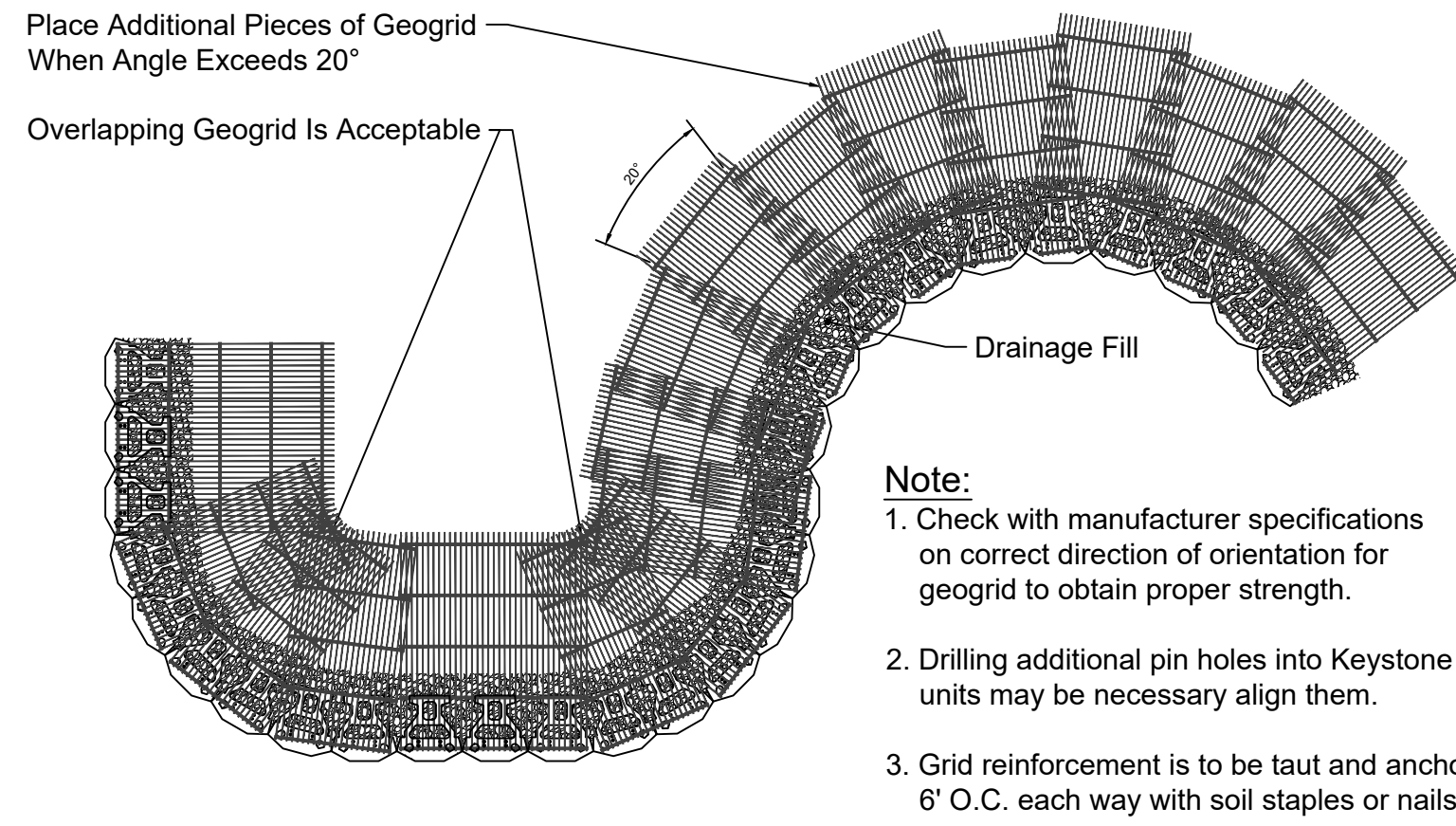


RECORD PLAN	
NICK SERVIN	DATE
R.C.E. No: 33538	
EXPIRES: 6-30-20	

BENCH MARK	
DESCRIPTION: CHISELED SQUARE	
LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA	
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK	
ELEVATION: 504.07	DATUM: MSL

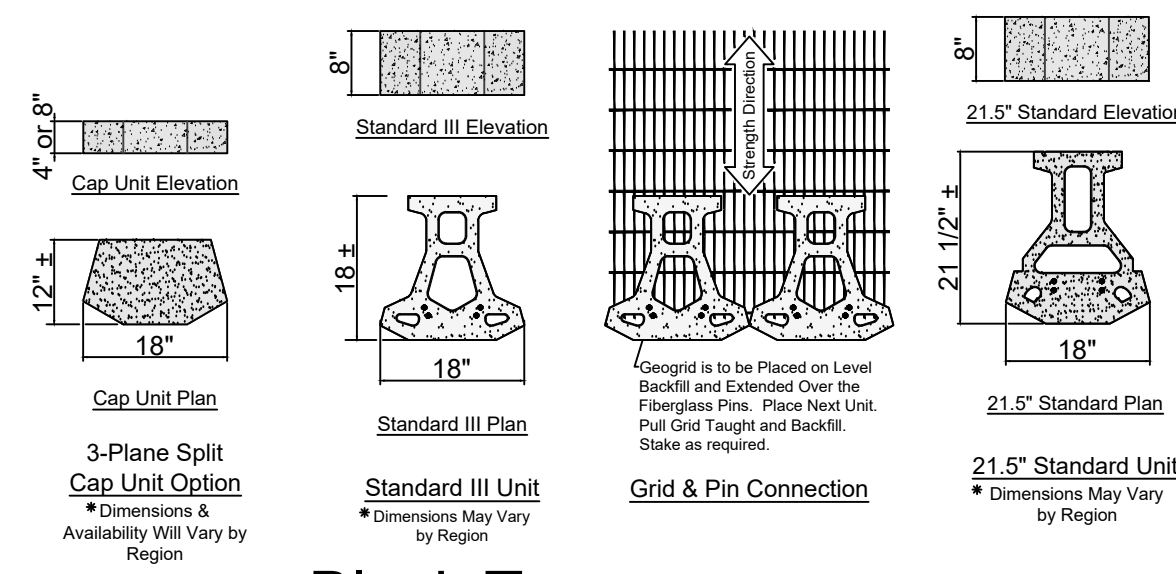
PRIVATE CONTRACT		
SHEET 7	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
RETAINING WALL PLAN FOR: RESQUE RANCH KEYMAP		
CALIFORNIA COORDINATE INDEX 326-1767		
APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20	
BY: _____	DATE: _____	GRADING PERMIT NO. PDS2016-LDGRM-30067

ENGINEER'S NAME: HILLSIDE COMPANIES
 PHONE NO. (760) 731-3038

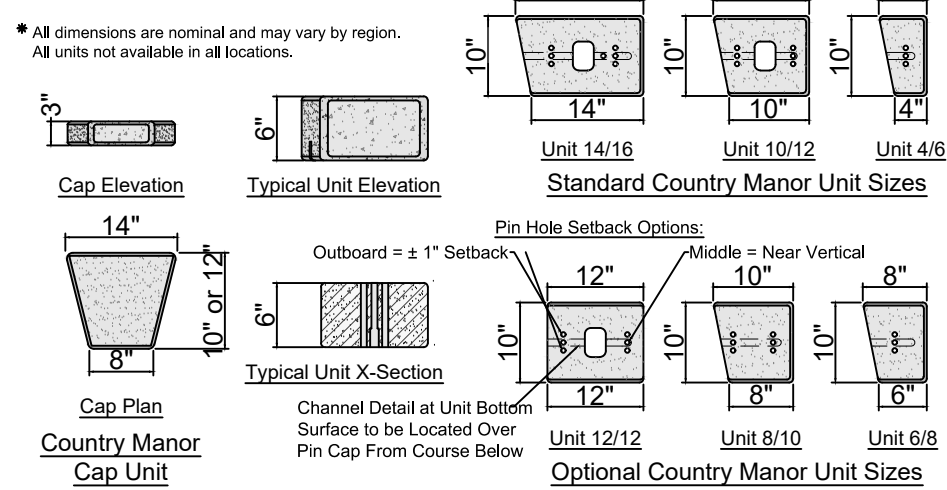


- Note:**
1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.
 2. Drilling additional pin holes into keystone units may be necessary align them.
 3. Grid reinforcement is to be taut and anchored 6' O.C. each way with soil staples or nails.

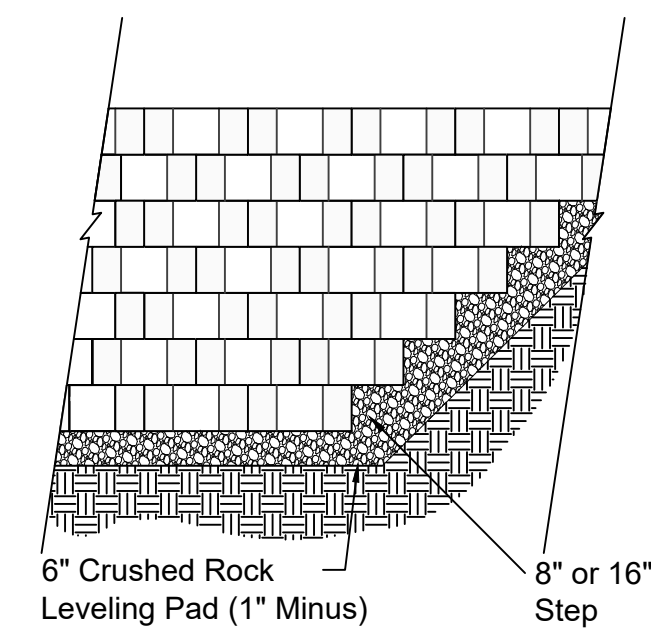
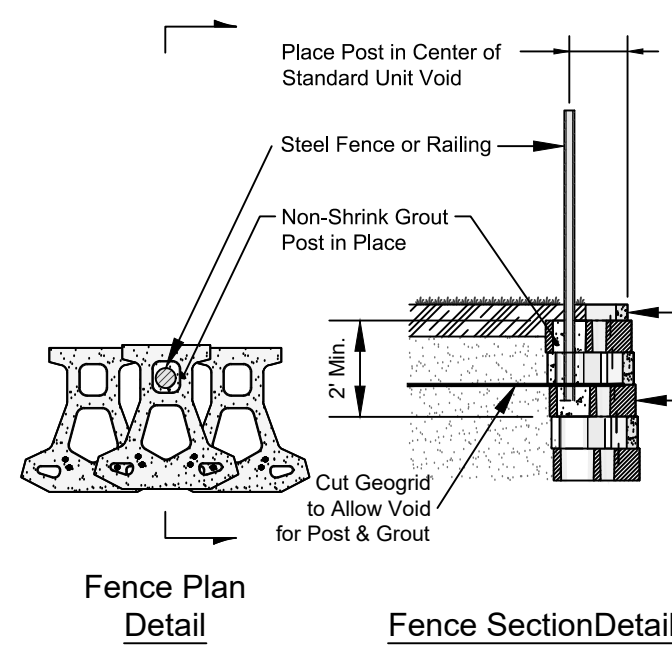
Geogrid Installation on Curves
NO SCALE



Block Types
NO SCALE



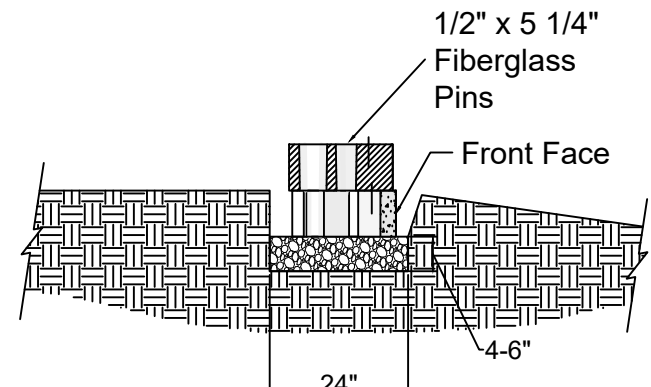
Detail B - Fence Section & Plan - Post in Tail of Unit
SCALE 1" = 2'



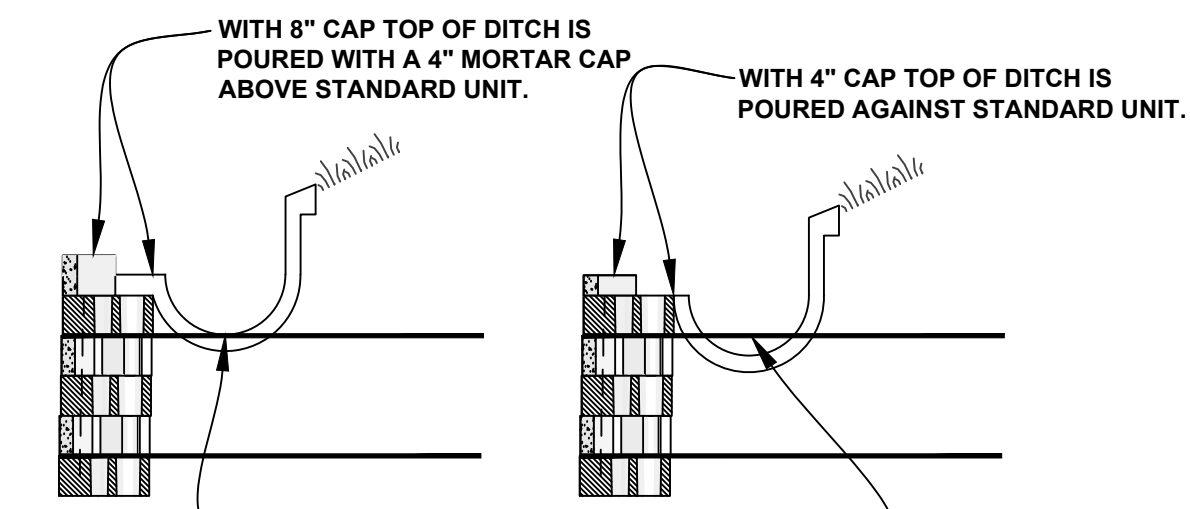
Elevation
NO SCALE

Note:

1. The leveling pad is to be constructed of crushed stone.

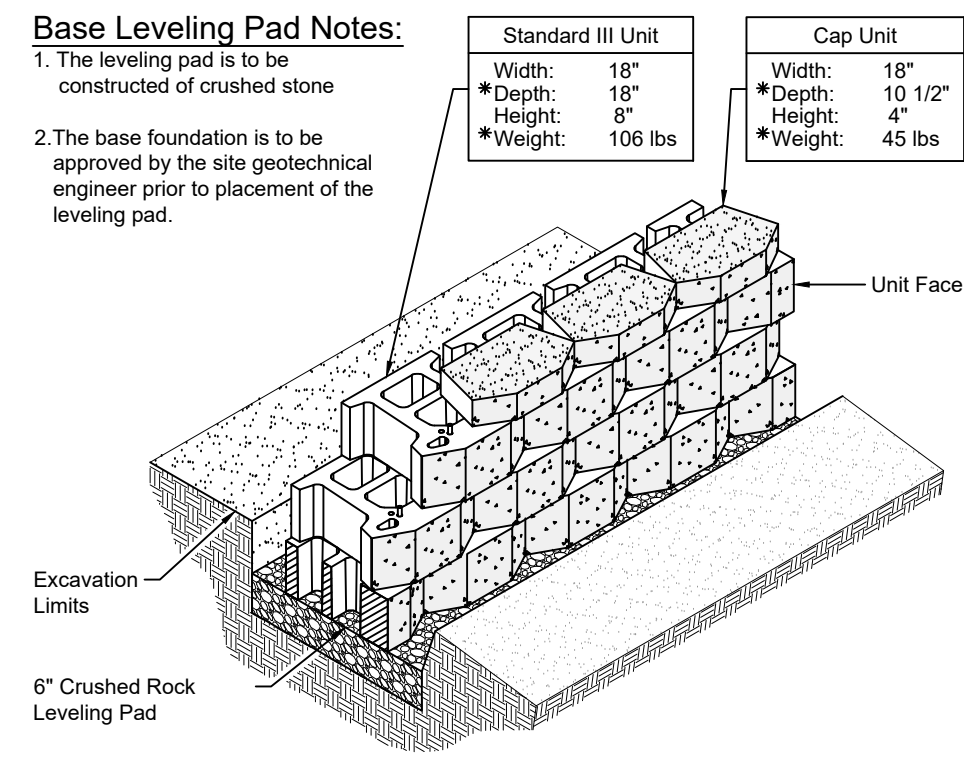


Section
Leveling Pad Detail

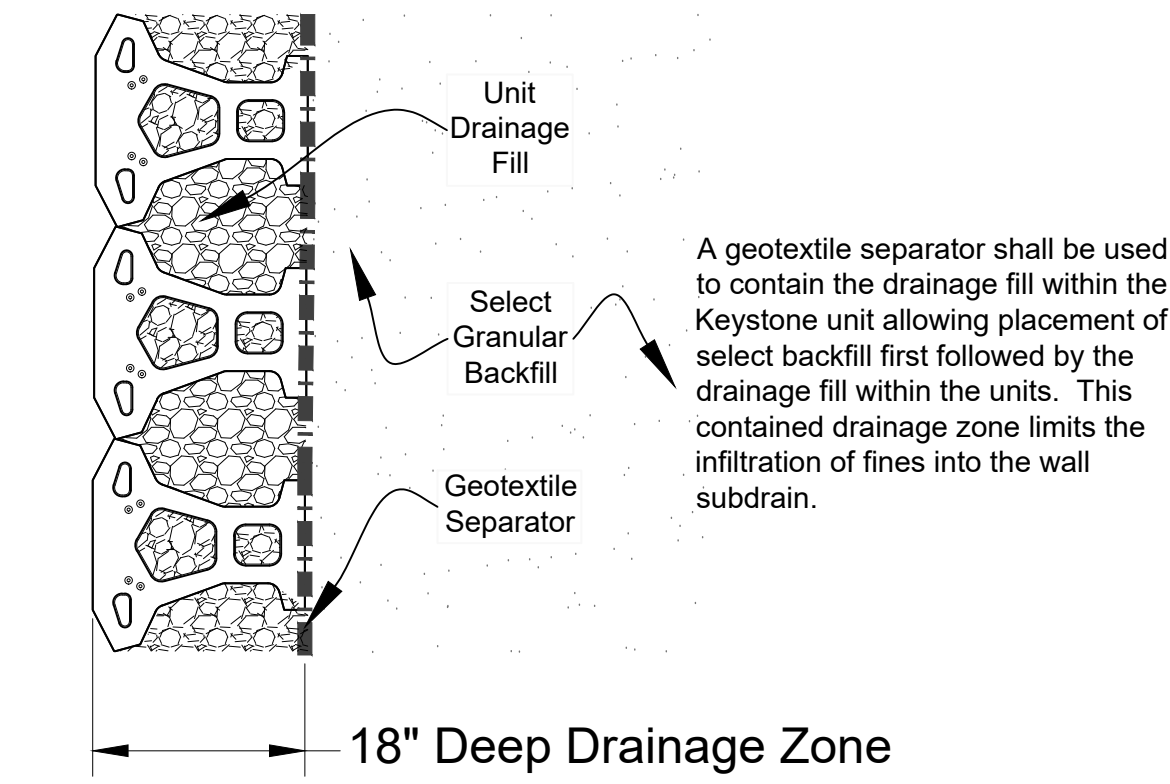


Brow Ditch Section
NO SCALE

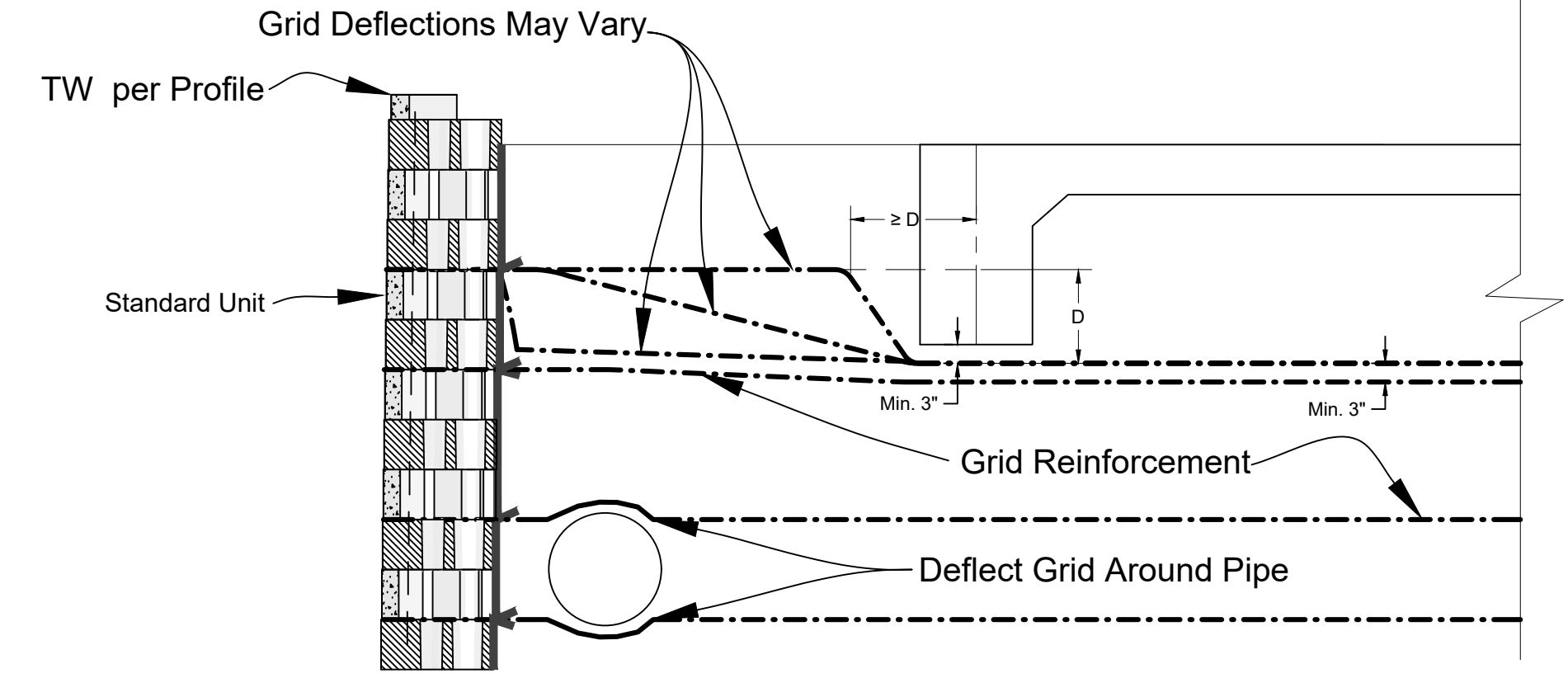
THE UPPER MOST GRID REINFORCEMENT MAY BE CUT THROUGH DURING DITCH EXCAVATION



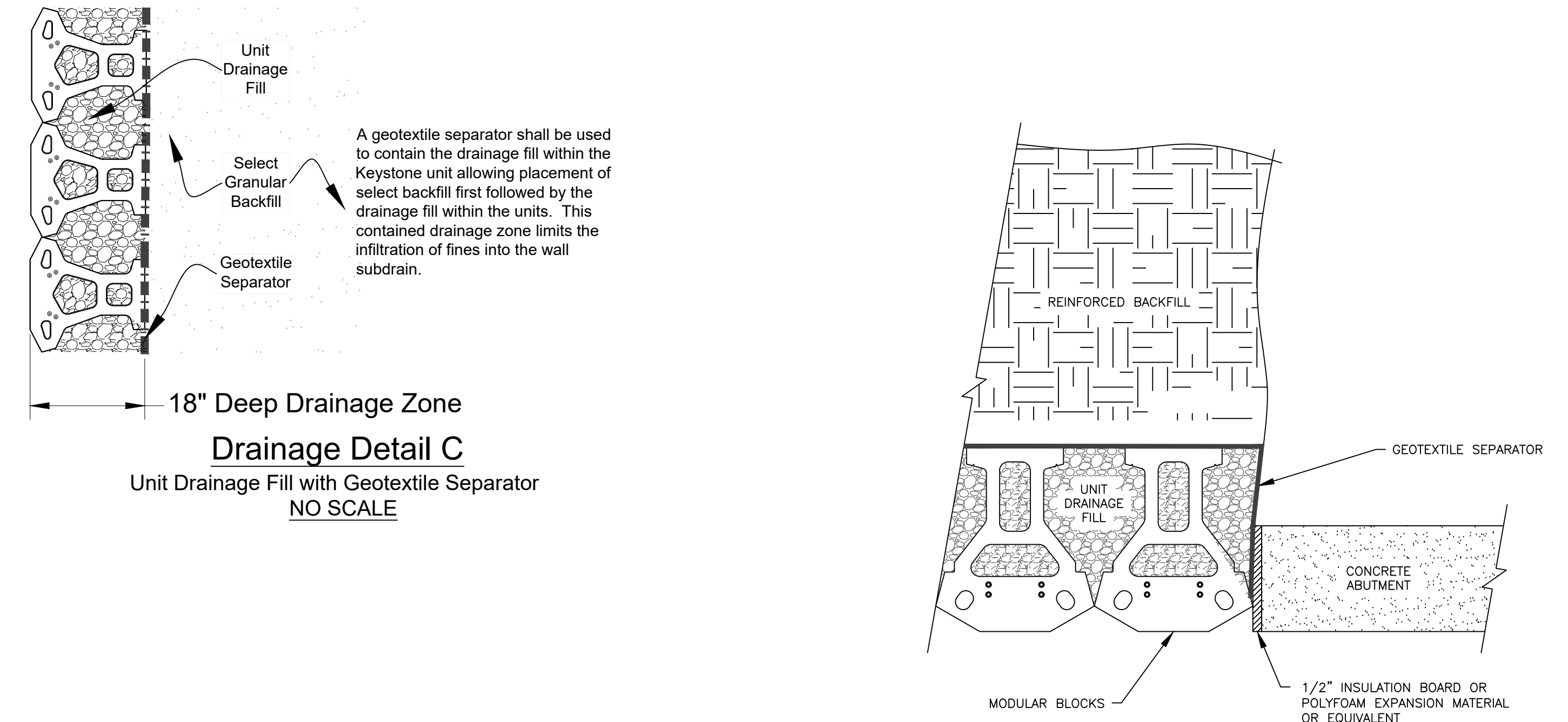
Standard III Unit/Base Pad Isometric Section View
*Dimensions & Weight May Vary by Region



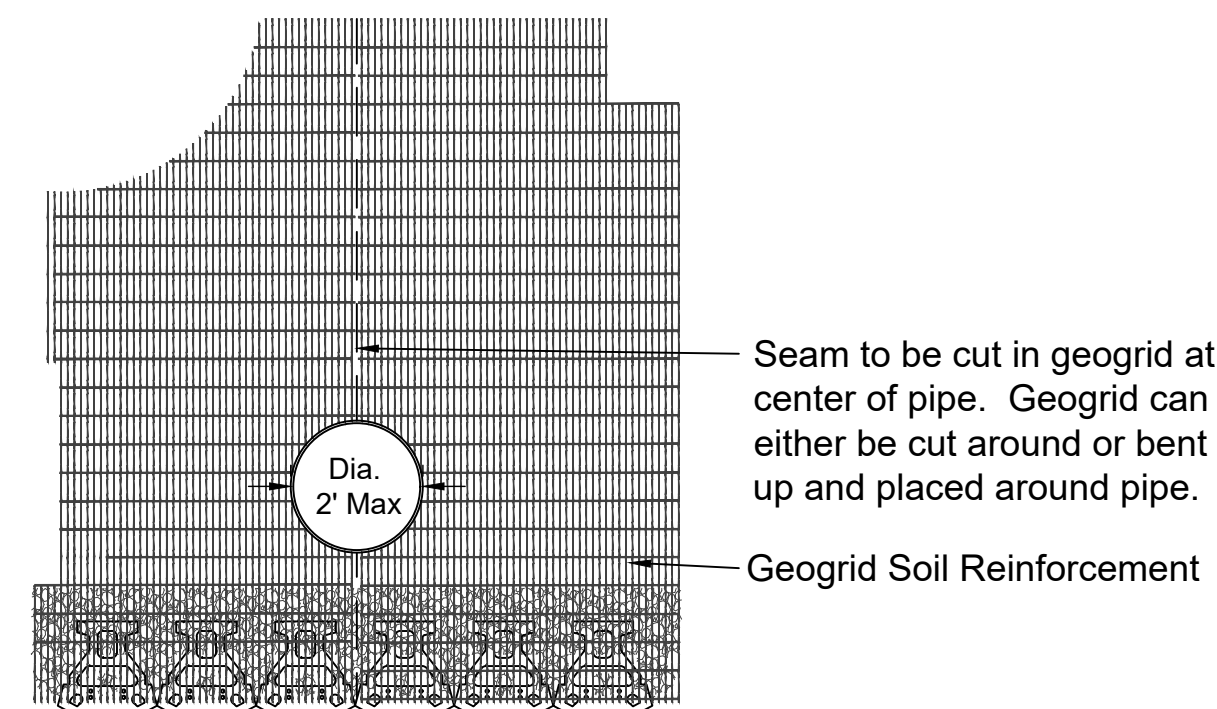
18" Deep Drainage Zone
Drainage Detail C
Unit Drainage Fill with Geotextile Separator
NO SCALE



Grid Deflection Under Footing or Other Obstruction
NO SCALE



Modular Block/Conc. Abutment
Vertical Settlement Joint Detail
NO SCALE



Placing Geogrid Around Pipe
NO SCALE



RECORD PLAN	
NICK SERVIN	DATE
R.C.E. No: 33538	
EXPIRES: 6-30-20	

PRIVATE CONTRACT		
SHEET 8	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
RETAINING WALL PLAN FOR: RESQUE RANCH SECTION & DETAILS		
CALIFORNIA COORDINATE INDEX 326-1767		
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: Nick Servin R.C.E. No. 33538 Exp. 6-30-20	
BY: _____	DATE	GRADING PERMIT NO. PDS2016-LDGRMJ-30067

DESIGN CONSULTANTS
HILLSIDE COMPANIES
4805 5TH STREET #102
FALLBROOK, CALIFORNIA, 92028
OFFICE: (760) 731-3038

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date

BENCH MARK	
DESCRIPTION: CHISELED SQUARE	
LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA	
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK	
ELEVATION: 504.07	DATUM: MSL

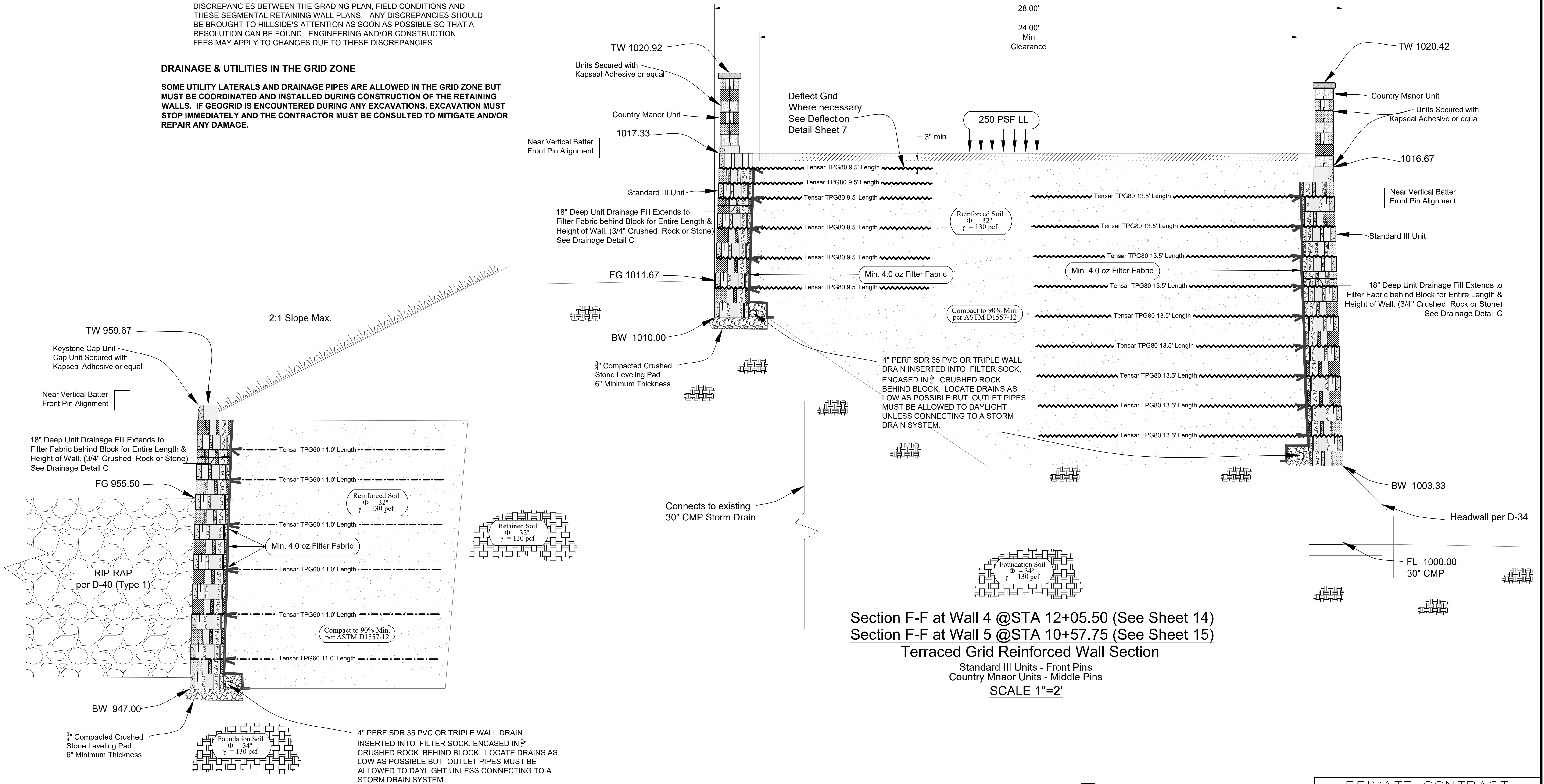
ENGINEER'S NAME: HILLSIDE COMPANIES
PHONE NO. (760) 731-3038

*NOTE: SUBDRAIN OUTLET ELEVATIONS AND LOCATIONS SHOULD BE VERIFIED BY AND COORDINATED WITH THE PROJECT'S CIVIL AND SOILS ENGINEERS. ANY STORM DRAIN SYSTEMS AND/OR TIE-IN LOCATIONS NEED TO BE DISCUSSED WITH HILLSIDE BEFORE WALL CONSTRUCTION. CONNECTION TO BE PERFORMED BY OTHERS.

HILLSIDE RETAINING WALLS IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE GRADING PLAN, FIELD CONDITIONS AND THESE SEGMENTAL RETAINING WALL PLANS. ANY DISCREPANCIES SHOULD BE BROUGHT TO HILLSIDE'S ATTENTION AS SOON AS POSSIBLE SO THAT A RESOLUTION CAN BE FOUND. ENGINEERING AND/OR CONSTRUCTION FEES MAY APPLY TO CHANGES DUE TO THESE DISCREPANCIES.

DRAINAGE & UTILITIES IN THE GRID ZONE

SOME UTILITY LATERALS AND DRAINAGE PIPES ARE ALLOWED IN THE GRID ZONE BUT MUST BE COORDINATED AND INSTALLED DURING CONSTRUCTION OF THE RETAINING WALLS. IF GEOGRID IS ENCOUNTERED DURING ANY EXCAVATIONS, EXCAVATION MUST STOP IMMEDIATELY AND THE CONTRACTOR MUST BE CONSULTED TO MITIGATE AND/OR REPAIR ANY DAMAGE.



Section F-F at Wall 4 @STA 12+05.50 (See Sheet 14)
 Section F-F at Wall 5 @STA 10+57.75 (See Sheet 15)
Terraced Grid Reinforced Wall Section
 Standard III Units - Front Pins
 Country Mnaor Units - Middle Pins
 SCALE 1"=2'

SECTION G-G WALL 1 @STA 10+24.00(Typical Grid Reinforced Section)

Standard III Units - Front Pins (See Sheet 11)
 SCALE 1"=2'

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COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date

BENCH MARK	
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LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA	
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK	
ELEVATION: 504.07	DATUM: MSL



RECORD PLAN

NICK SERVIN DATE _____
 R.C.E. No: 33538
 EXPIRES: 6-30-20

PRIVATE CONTRACT

SHEET 9 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 16 SHEETS

RETAINING WALL PLAN FOR:
RESQUE RANCH
SECTION & DETAILS

CALIFORNIA COORDINATE INDEX 326-1767

APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER

ENGINEER OF WORK: NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20

GRADING PERMIT NO. PDS2016-LDGRM-30067

ENGINEER'S NAME: HILLSIDE COMPANIES
 PHONE NO. (760) 731-3038

C:\Users\Reggie\Documents\Contracted\Job\F21738 ResQue Ranch\Profiles\F21738 Plans.dwg PLOT DATE: 08-06-2018

DSM (DRY STACK MASONRY CMU) MONOLITHICALLY POURED CONCRETE SYSTEM STRUCTURAL NOTES:

GENERAL INFORMATION:

- THE CONTROLLING DESIGN CODE IS THE 2015 IBC AND 2016 CBC
- THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS
 - SOIL DESIGN VALUES

ACTIVE SOIL BEARING PRESSURES:	
EFP (LEVEL):	35 PCF
PASSIVE PRESSURE:	250 PCF
FRICTION:	0.30
UNIT WEIGHT:	130 PCF
BEARING PRESSURE:	2500 PSF (W/ 1/3 SHORT TERM INCREASE)
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.

SPECIAL INSPECTION:

- SPECIAL INSPECTION REQUIRED SHALL BE PROVIDED BY OWNER PER CBC CHAPTER 17.
- SPECIAL INSPECTION IS REQUIRED AS FOLLOWS:
 - REINFORCING STEEL SHALL BE INSPECTED PERIODICALLY DURING INSTALLATION TO VERIFY SIZE AND LOCATION.
 - CONCRETE SHALL BE INSPECTED CONTINUOUSLY DURING PLACEMENT. INSPECTOR SHALL MAKE CONCRETE CYLINDERS AND TEST 3 CYLINDERS FOR EVERY 100 YARDS OF CONCRETE POURED, FOR EACH DAY'S POUR. THE CYLINDERS SHALL BE TESTED AT 7 DAY, 28 DAY AND 1 HELD FOR CONTROL.
 - ALL INSPECTION REPORTS SHALL BE DISTRIBUTED TO THE OWNER, ENGINEER AND PERMIT AGENCY. THE INSPECTOR SHALL PROVIDE A SUMMARY LETTER OF PROJECT COMPLETION TO THE CITY INSPECTOR PRIOR TO OCCUPANCY.
 - SPECIAL INSPECTION TO BE PERFORMED PER CBC 1704.7 AND ANY SPECIFIC JURISDICTIONAL REQUIREMENTS.

FOUNDATIONS:

- WALLS TO BE SUPPORTED ON SPREAD FOOTING. SEE SECTIONS FOR REINFORCING AND SIZES. GEOTECHNICAL ENGINEER TO REVIEW ALL EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.

REINFORCING STEEL:

- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE 60.
- AT FOOTINGS PLACE 2-0 X 2-0 BARS MATCHING SIZE AND SPACING AT CORNERS AND INTERSECTIONS.
- AT FOOTINGS ALL REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL 315.
- AT FOOTINGS AND WALL VERTICALS: LAP ALL REINFORCING BARS PER ACI DETAILING MANUAL. LAP OF HORIZONTAL WALL STEEL IS NOT REQUIRED.
- AT FOOTING, SECURELY TIE ALL REINFORCING PRIOR TO PLACING CONCRETE.
- AT FOOTING, PROVIDE 3" CLEARANCE FOR ALL REINFORCING IN CONCRETE CAST AGAINST EARTH, 2" FOR CONCRETE EXPOSED TO AIR, AND 1 1/2" FOR ALL INTERIOR EXPOSURE.
- ALL WALL, HORIZONTAL REINFORCING TO BE GALVANIZED OR EPOXY COATED.
- AT WALL, PROVIDE MINIMUM (2) #3 HORIZONTAL BAR AT TOP AND BOTTOM OF WALL AND MINIMUM (1) #3 AT 2'-0" O.C. TYPICAL.
- AT WALL, ALL VERTICAL BARS ARE TO TERMINATE IN FOOTING WITH STANDARD HOOK OR LAPPED TO BAR WITH STANDARD HOOK INTO FOOTING.
- AT WALL, PROVIDE 1/2 INCH CLEARANCE FOR ALL VERTICAL BARS AND INSIDE FACE OF BLOCK.
- VERTICAL REINFORCING ABOVE VERTICAL DOWEL FROM FOOTING MAY BE "WET-SET" IF PROPER PLACEMENT AND CONCRETE CONSOLIDATION ARE ACHIEVED.

CONCRETE:

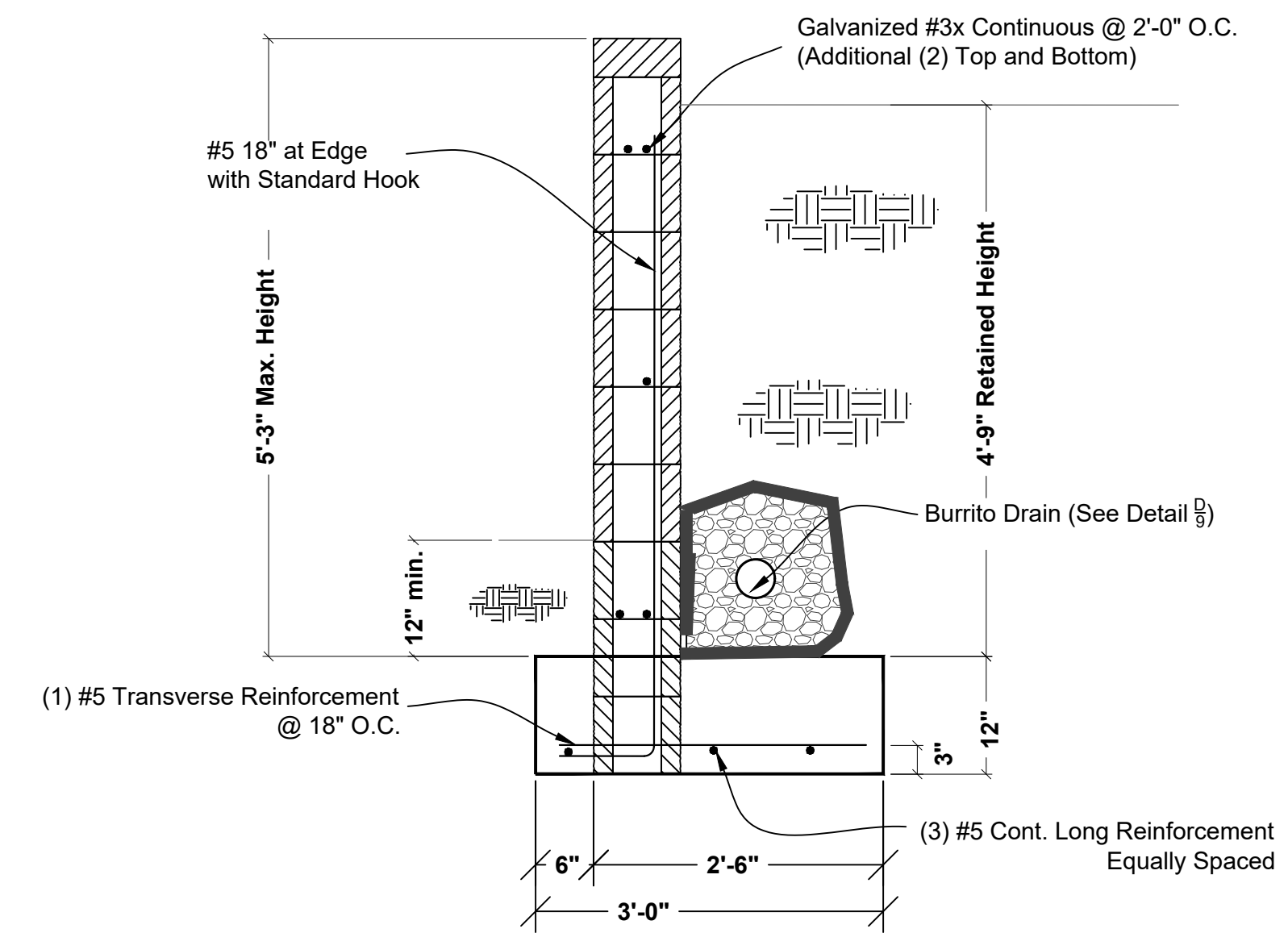
- ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LAB CURED COMPRESSIVE STRENGTH OF 5000 PSI.
- ALL EXPOSED CONCRETE TO HAVE 5% PLUS OR MINUS 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.

CMU/MASONRY (DRY STACKED MODULAR BLOCK):

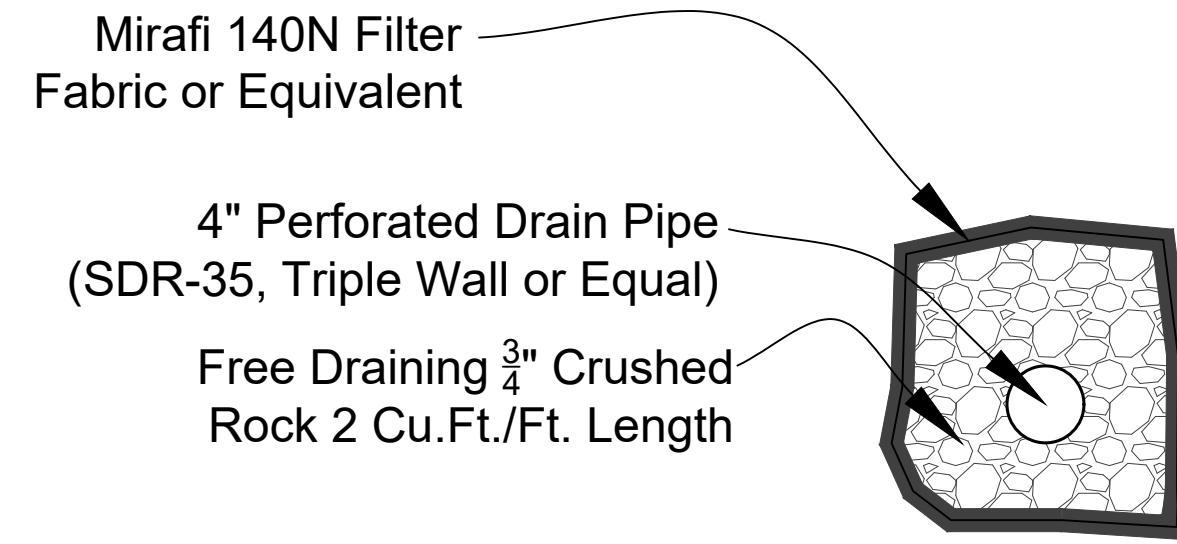
- UNITS TO BE 28 DAY STRENGTH OF 3000 PSI OR APPROVED EQUAL.
- ALL DSM RETAINING WALLS TO BE SOLID GROUTED.
- MAXIMUM GROUT LIFT IS 8 FEET USING A CONCRETE MIX WITH 28 DAY STRENGTH OF 5000 PSI.
- AN EFFLORESCENCE CONTROLLING ADMIXTURE IS RECOMMENDED.
- STEM AND FOOTING MAY BE POURED MONOLITHICALLY

GRADING:

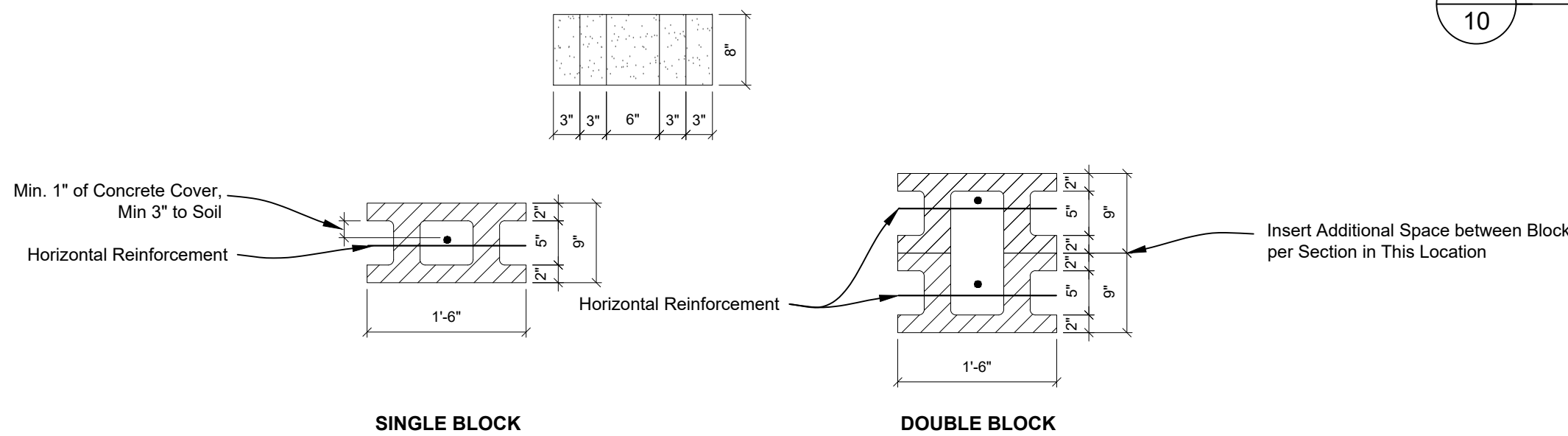
- BACK CUT PER OSHA STANDARDS.
- BACKFILL MATERIAL SHALL BE ONSITE SELECT GRANULAR MATERIAL WITH AN EI<20.
- BACKFILL COMPACTED TO 90% PER ASTM 1557.



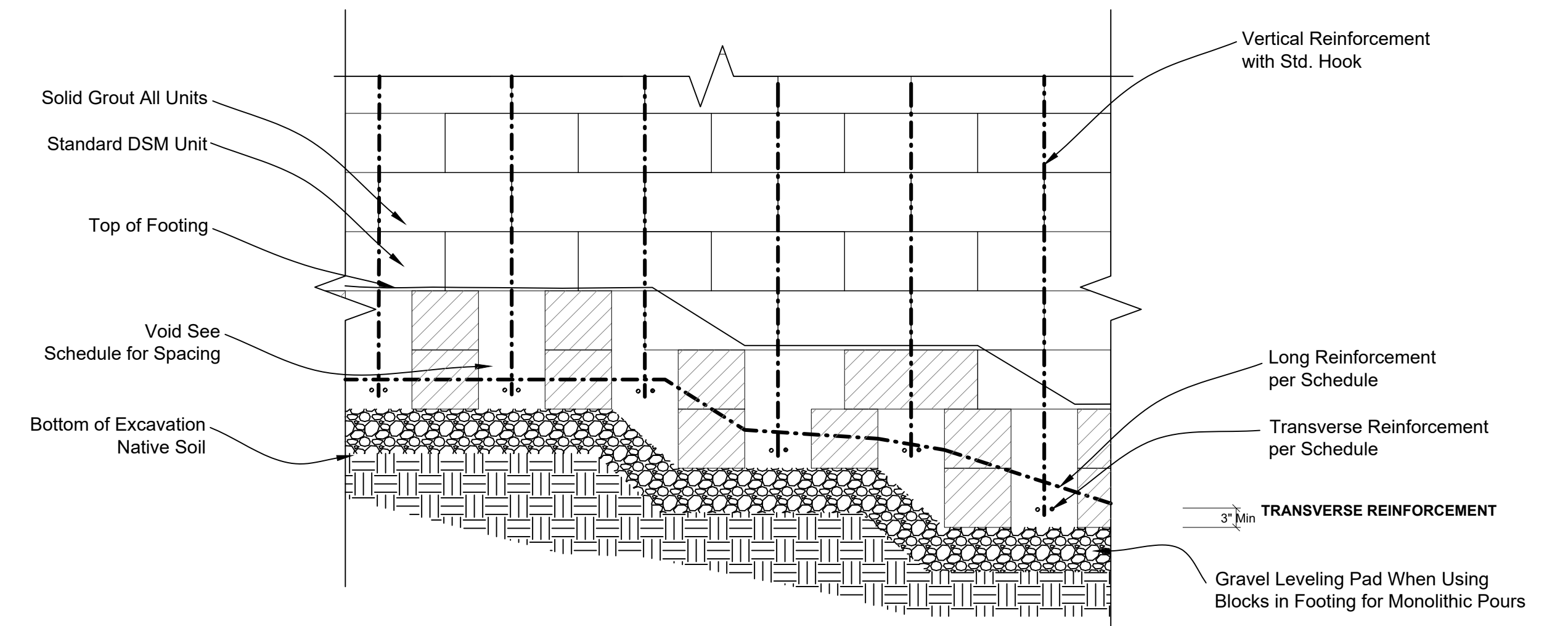
SECTION - WALL 2 CASE 1 - 5.33' Height DSM (DRY STACK MASONRY) UNITS 1" = 16"



BURRITO DRAIN NO SCALE



TYPICAL DRY STACK BLOCK 1" = 16"



DSM WALL ELEVATION WITH FOOTING STEP 1" = 16"



RECORD PLAN	
NICK SERVIN	DATE
R.C.E. No: 33538	
EXPIRES: 6-30-20	

PRIVATE CONTRACT		
SHEET 10	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
RETAINING WALL PLAN FOR: RESQUE RANCH		
DSM WALL NOTES & DETAILS		
CALIFORNIA COORDINATE INDEX 326-1767		
APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: Nick Servin 6/1/20	GRADING PERMIT NO. PDS2016-LDGRM-30067
BY: _____	DATE	

DESIGN CONSULTANTS
HILLSIDE COMPANIES
 4805 5TH STREET #102
 FALLBROOK, CALIFORNIA, 92028
 OFFICE: (760) 731-3038

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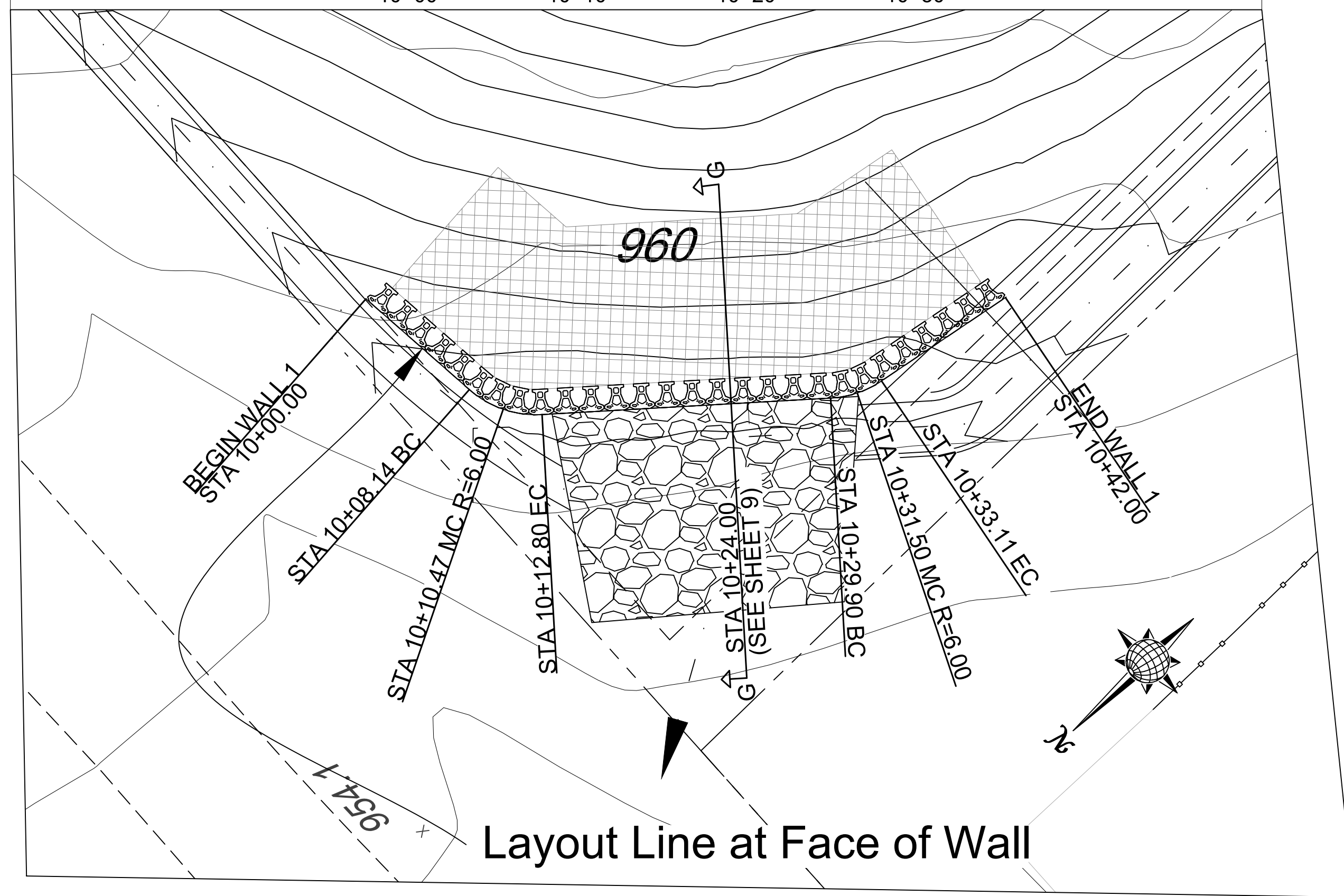
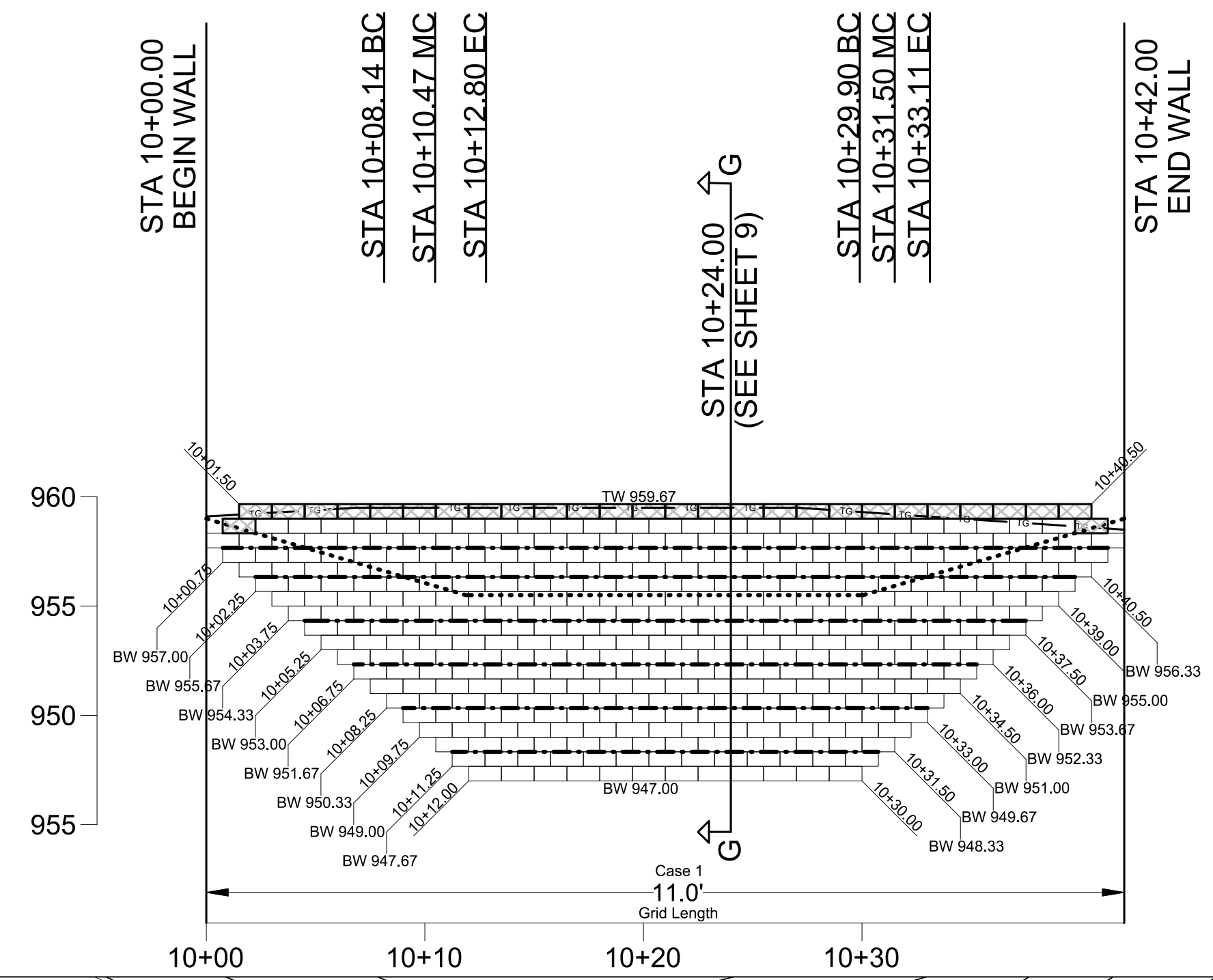
COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date

BENCH MARK	
DESCRIPTION: CHISELED SQUARE	
LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA	
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK	
ELEVATION: 504.07	DATUM: MSL

ENGINEER'S NAME: HILLSIDE COMPANIES
 PHONE NO. (760) 731-3038

Keystone Wall 1

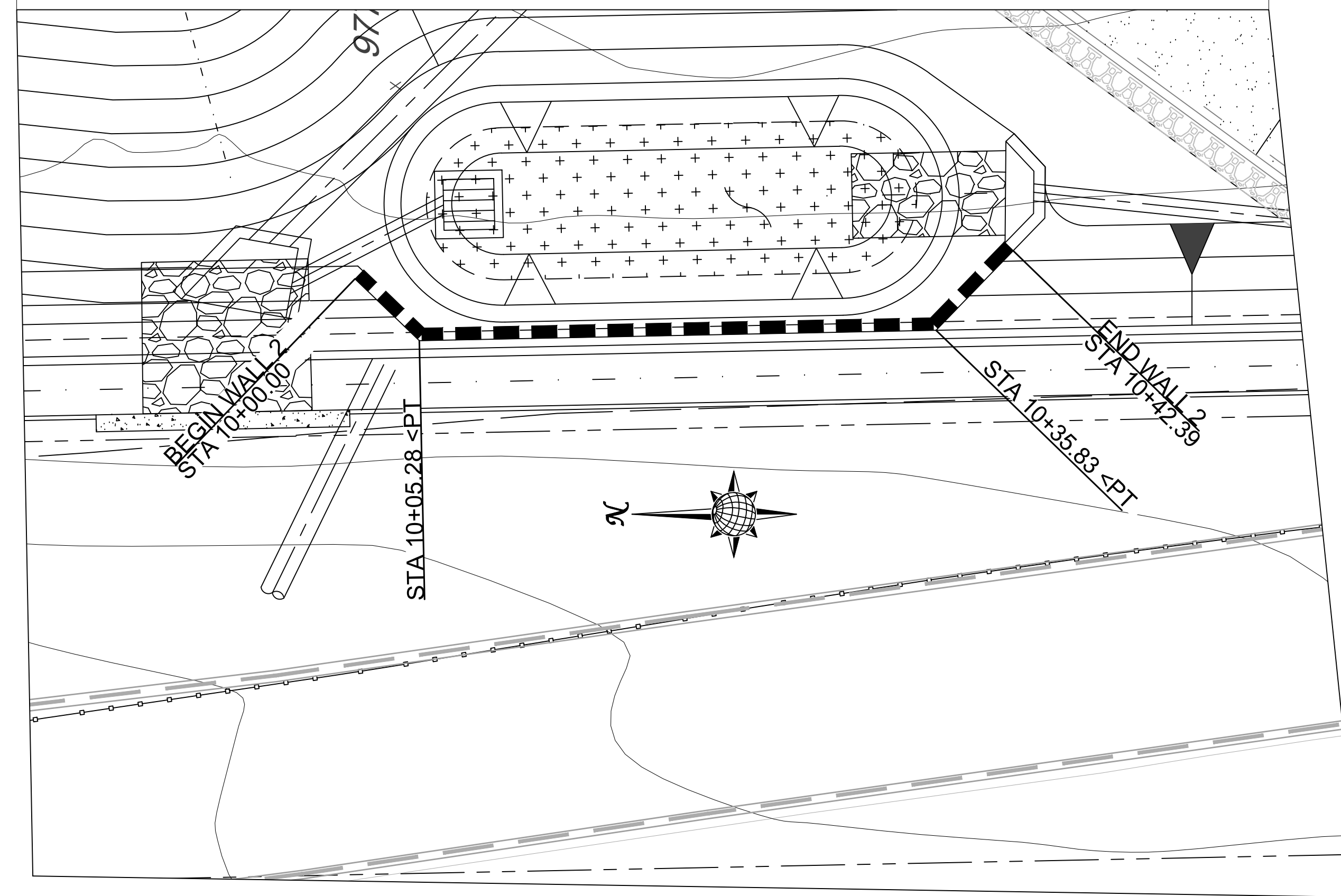
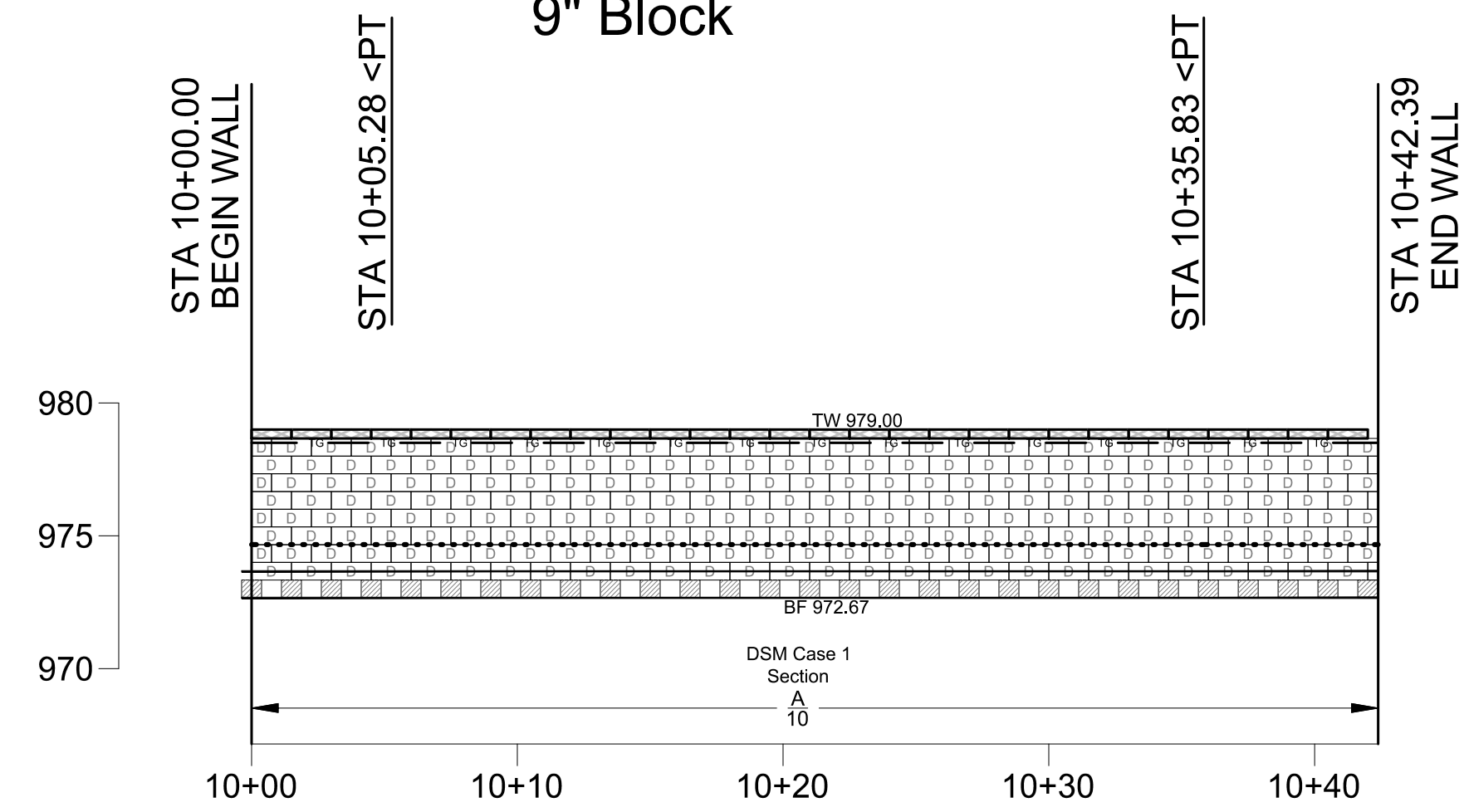
Standard III Units Front Pins



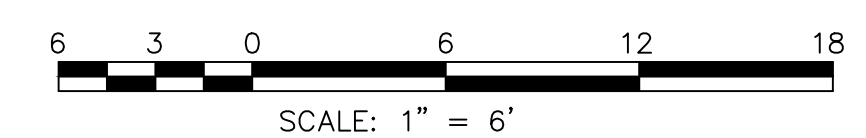
Layout Line at Face of Wall

Vista DSM Wall 2

9" Block



- Profile Legend:**
- Finished Grade:
 - Top Grade:
 - Tensar TPG60:
 - Tensar TPG80:
 - Cap Unit:
 - Standard III Unit:
 - DSM Units:
 - Footing Block:
 - Country Manor Cap Unit:



- Plan Legend:**
- DSM Wall:
 - Standard III Unit:
 - Grid Location:

PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES, INC. TO SHOW WALL ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAILED INFORMATION.

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HILLSIDE COMPANIES
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COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date



RECORD PLAN

NICK SERVIN _____ DATE _____
 R.C.E. No: 33538
 EXPIRES: 6-30-20

BENCH MARK	
NO.	Description

DESCRIPTION: CHISELED SQUARE
 LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA
 RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK
 ELEVATION: 504.07 DATUM: MSL

PRIVATE CONTRACT

SHEET 11 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 16 SHEETS

RETAINING WALL PLAN FOR:
RESQUE RANCH
 KEYSTONE WALL 1 & DSM WALL 2 PROFILE

CALIFORNIA COORDINATE INDEX 326-1767

APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER
 ENGINEER OF WORK: Nick Servin
 NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20

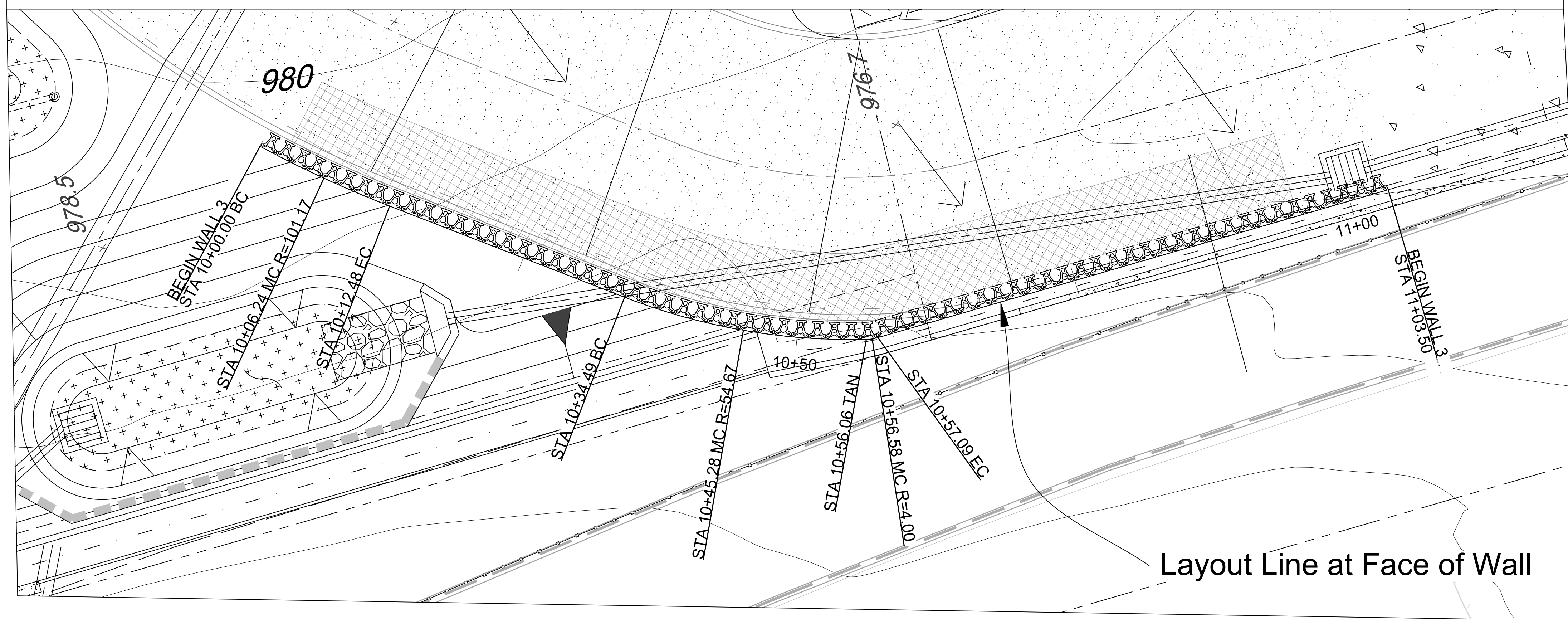
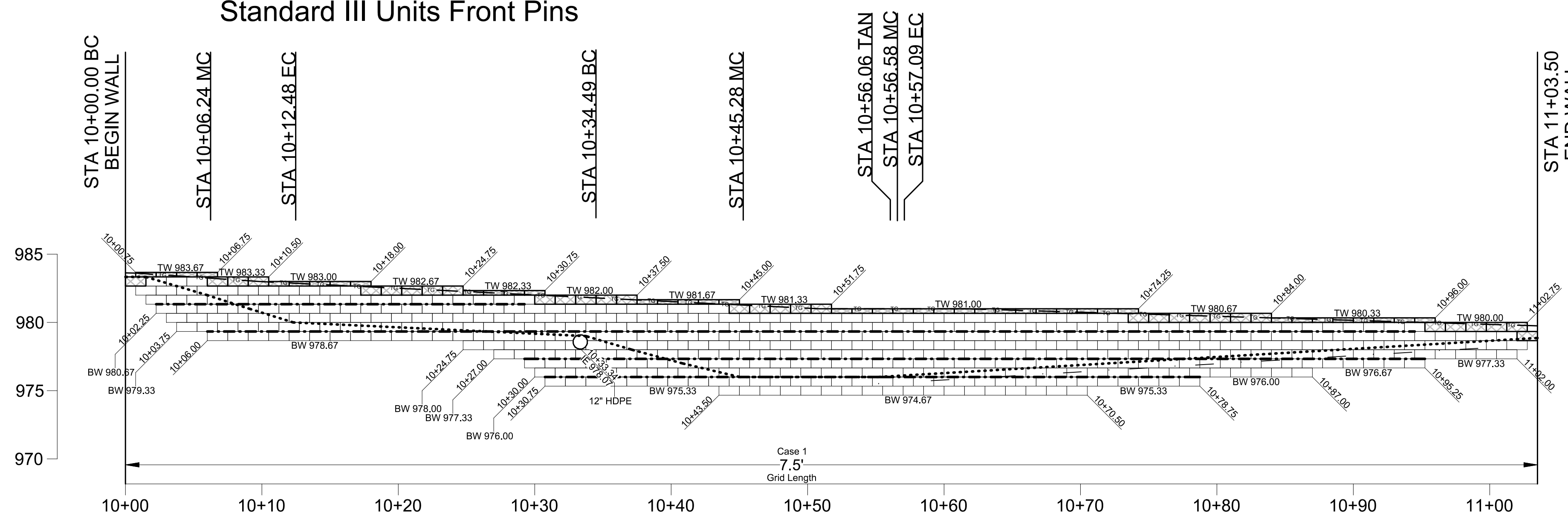
GRADING PERMIT NO. PDS2016-LDGRM-30067

ENGINEER'S NAME: HILLSIDE COMPANIES
 PHONE NO. (760) 731-3038

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Keystone Wall 3

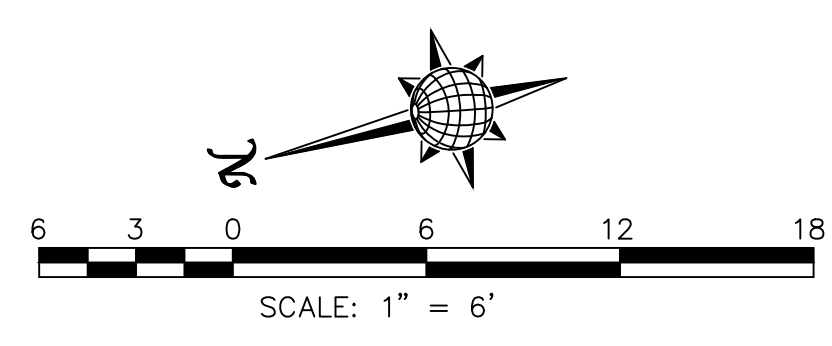
Standard III Units Front Pins



Layout Line at Face of Wall

- Profile Legend:**
- Finished Grade:
 - Top Grade:
 - Tensar TPG60:
 - Tensar TPG80:
 - Cap Unit:
 - Standard III Unit:
 - DSM Units:
 - Footing Block:
 - Country Manor Unit:
 - Country Manor Cap Unit:

- Plan Legend:**
- DSM Wall:
 - Standard III Unit:
 - Grid Location:



PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES, INC. TO SHOW WALL ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAILED INFORMATION.

DESIGN CONSULTANTS
HILLSIDE COMPANIES
 4805 5TH STREET #102
 FALLBROOK, CALIFORNIA, 92028
 OFFICE: (760) 731-3038

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COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date



RECORD PLAN

NICK SERVIN DATE _____

R.C.E. No: 33538

EXPIRES: 6-30-20

BENCH MARK	
DESCRIPTION	ELEVATION
CHISELED SQUARE	504.07
LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA	
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK	
DATUM: MSL	

PRIVATE CONTRACT

SHEET 12 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 16 SHEETS

RETAINING WALL PLAN FOR:
RESQUE RANCH
KEYSTONE WALL 3 PROFILE

CALIFORNIA COORDINATE INDEX 326-1767

APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER

ENGINEER OF WORK: DATE: 8/1/20

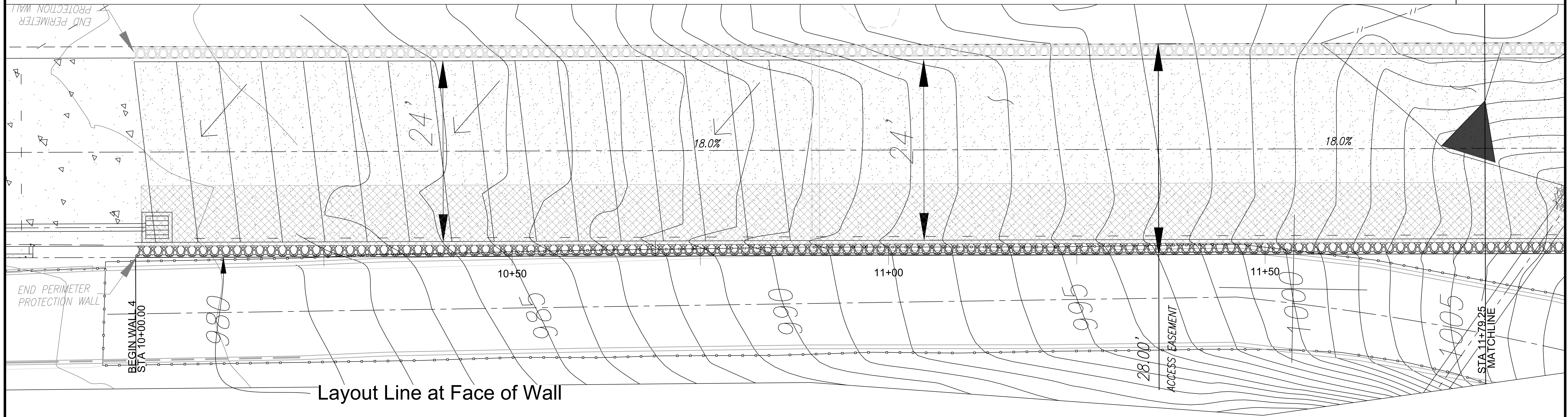
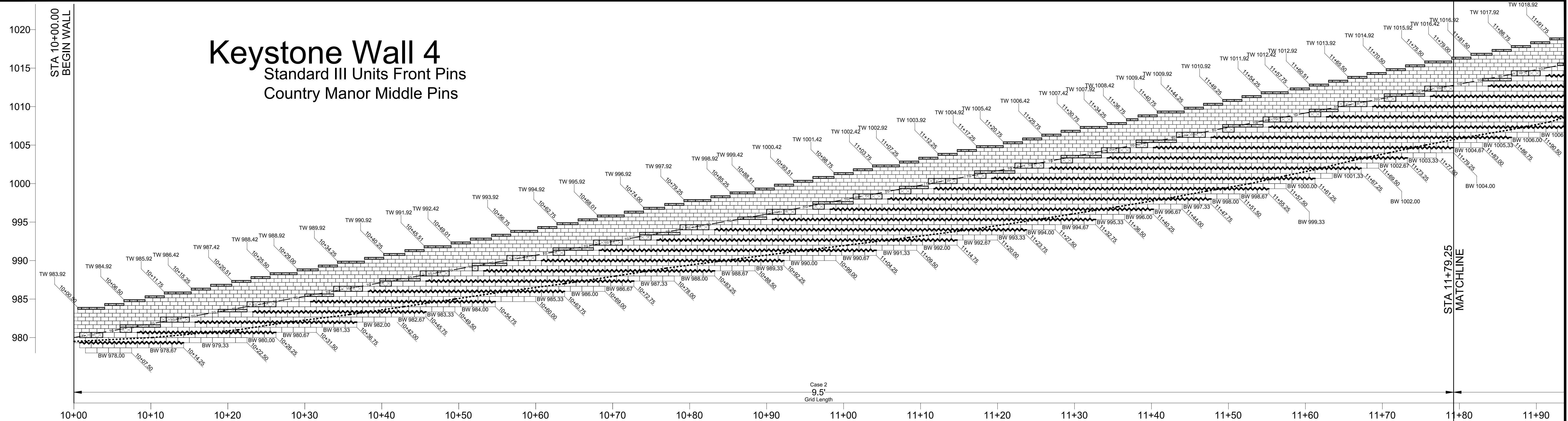
GRADING PERMIT NO. PDS2016-LDGRM-30067

ENGINEER'S NAME: HILLSIDE COMPANIES
 PHONE NO. (760) 731-3038

C:\Users\Reggie\Documents\Contracted Jobs\F2178 ResQue Ranch\Profiles\F2178 Plans.dwg PLOT DATE: 08-06-2018

Keystone Wall 4

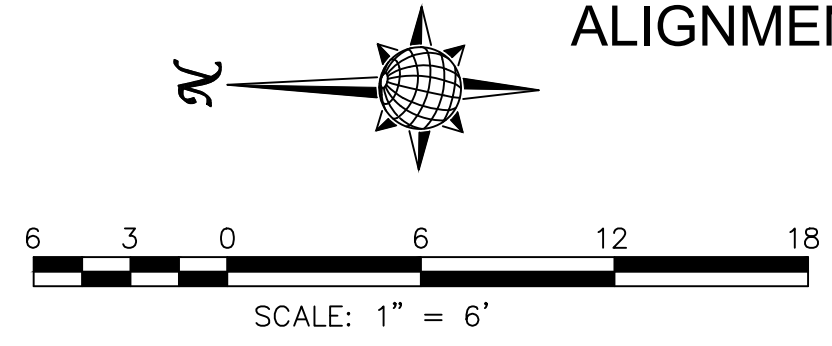
Standard III Units Front Pins
Country Manor Middle Pins



- Profile Legend:**
- Finished Grade:
 - Top Grade:
 - Tensar TPG60:
 - Tensar TPG80:
 - Cap Unit:
 - Standard III Unit:
 - DSM Units:
 - Footing Block:
 - Country Manor Unit:
 - Country Manor Cap Unit:

- Plan Legend:**
- DSM Wall:
 - Standard III Unit:
 - Grid Location:

PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES, INC. TO SHOW WALL ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAILED INFORMATION.



DESIGN CONSULTANTS
HILLSIDE COMPANIES
4805 5TH STREET #102
FALLBROOK, CALIFORNIA, 92028
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COUNTY APPROVED CHANGES			
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RECORD PLAN

NICK SERVIN _____ DATE _____
R.C.E. No.: 33538
EXPIRES: 6-30-20

PRIVATE CONTRACT

SHEET 13 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 16 SHEETS

RETAINING WALL PLAN FOR:
RESQUE RANCH
KEYSTONE WALL 4 PROFILE

CALIFORNIA COORDINATE INDEX 326-1767

APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER

ENGINEER OF WORK: 6/1/20
NICK SERVIN R.C.E. No. 33538 EXP. 6-30-20

GRADING PERMIT NO. PDS2016-LDGRMJ-30067

BENCH MARK

DESCRIPTION: CHISELED SQUARE

LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA

RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK

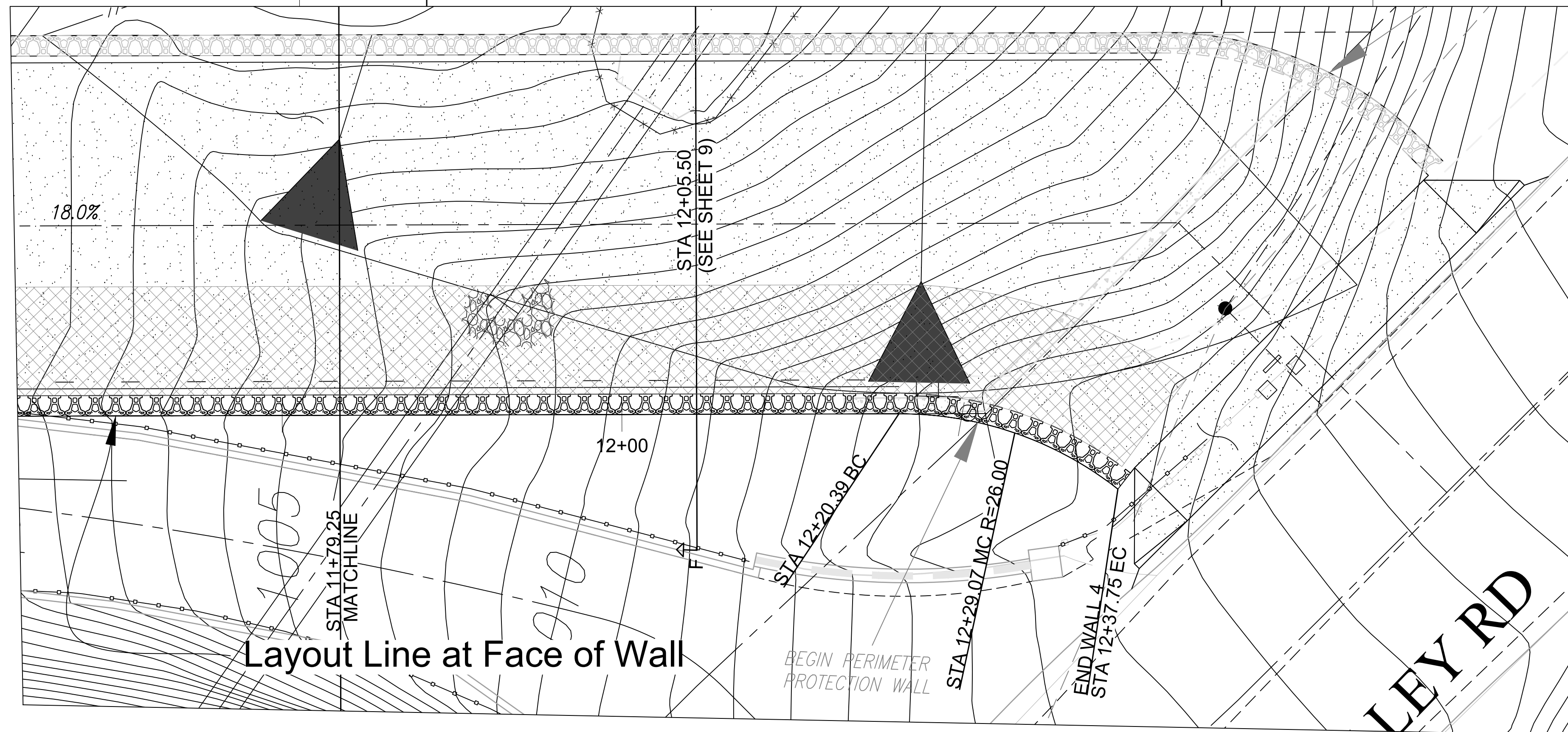
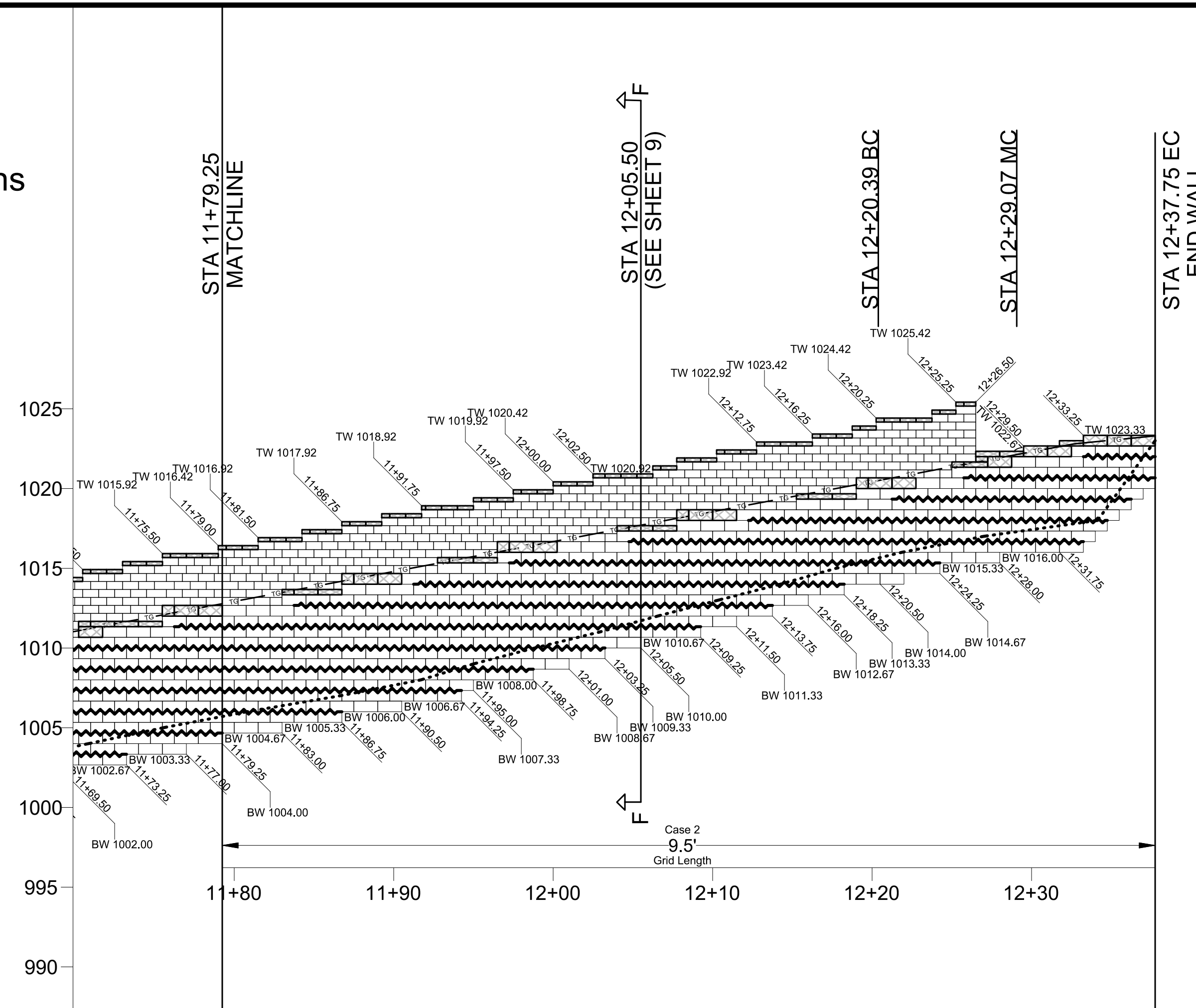
ELEVATION: 504.07 DATUM: MSL

ENGINEER'S NAME: HILLSIDE COMPANIES
PHONE NO. (760) 731-3038

PLOT DATE: 08-06-2018 C:\Users\Reggie\Documents\Connected Jobs\F21738 ResQue Ranch\Profiles\F21738 Plans.dwg

Keystone Wall 4

Standard III Units Front Pins
Country Manor Units Middle Pins

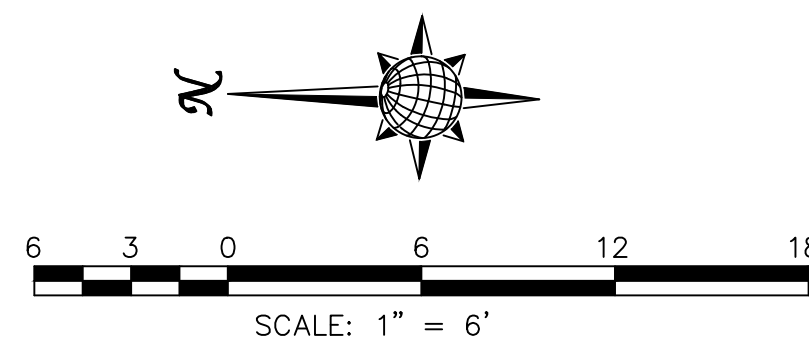


Profile Legend:

Finished Grade:	-----
Top Grade:	-----
Tensor TPG60:	-----
Tensor TPG80:	-----
Cap Unit:	
Standard III Unit:	
DSM Units:	
Footing Block:	
Country Manor Unit:	
Country Manor Cap Unit:	

Plan Legend:

DSM Wall:	
Standard III Unit:	
Grid Location:	



PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES, INC. TO SHOW WALL ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAILED INFORMATION.

DESIGN CONSULTANTS

HILLSIDE COMPANIES
4805 5TH STREET #102
FALLBROOK, CALIFORNIA, 92028
OFFICE: (760) 731-3038

These engineering plans were designed for construction by Hillside Companies and may not be used by any other contractor without written permission by Hillside Companies.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY & NOT TO BE LIMITED TO NORMAL WORKING HOURS & CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY & HOLD CO. OF SAN DIEGO & DESIGN PROFESSIONAL HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

COUNTY APPROVED CHANGES

NO.	Description	Approved by	Date



RECORD PLAN

NICK SERVIN	DATE
R.C.E. No: 33538	
EXPIRES: 6-30-20	

BENCH MARK

DESCRIPTION: CHISELED SQUARE
LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK
ELEVATION: 504.07 DATUM: MSL

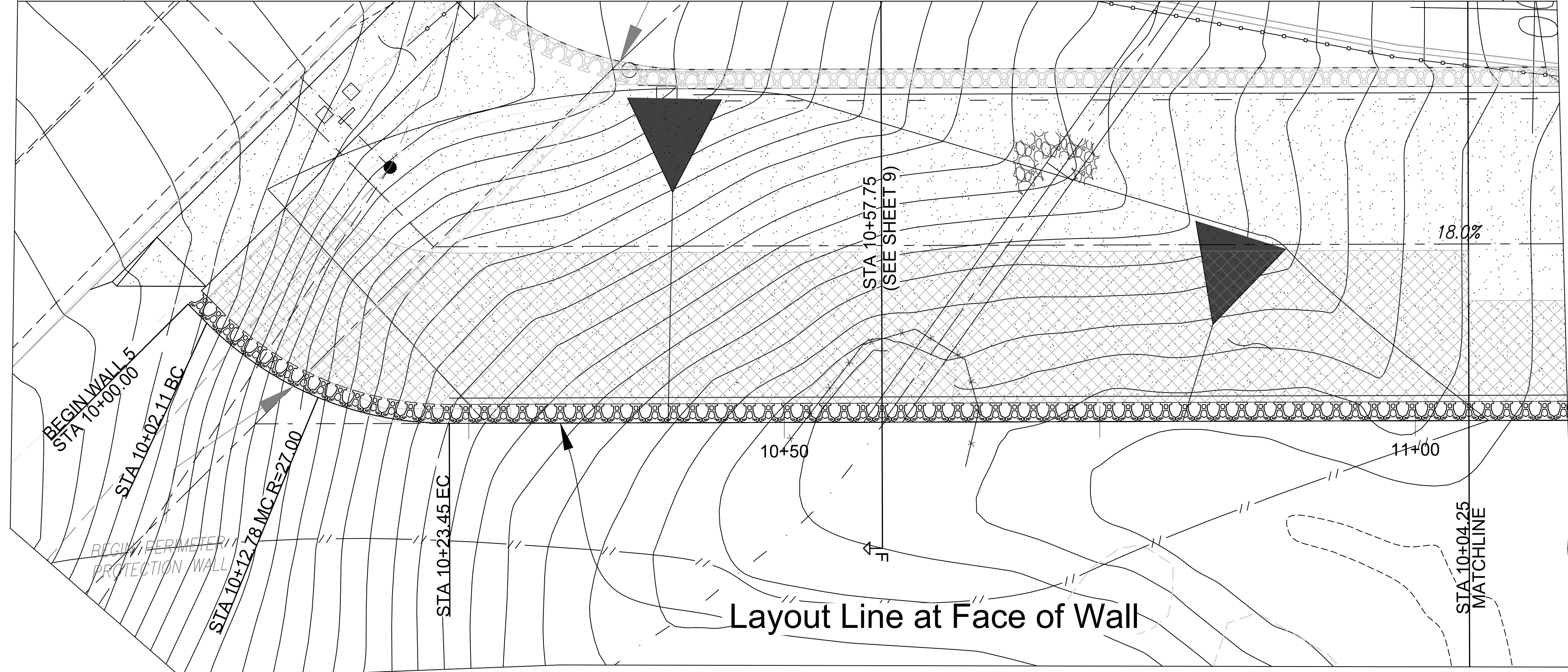
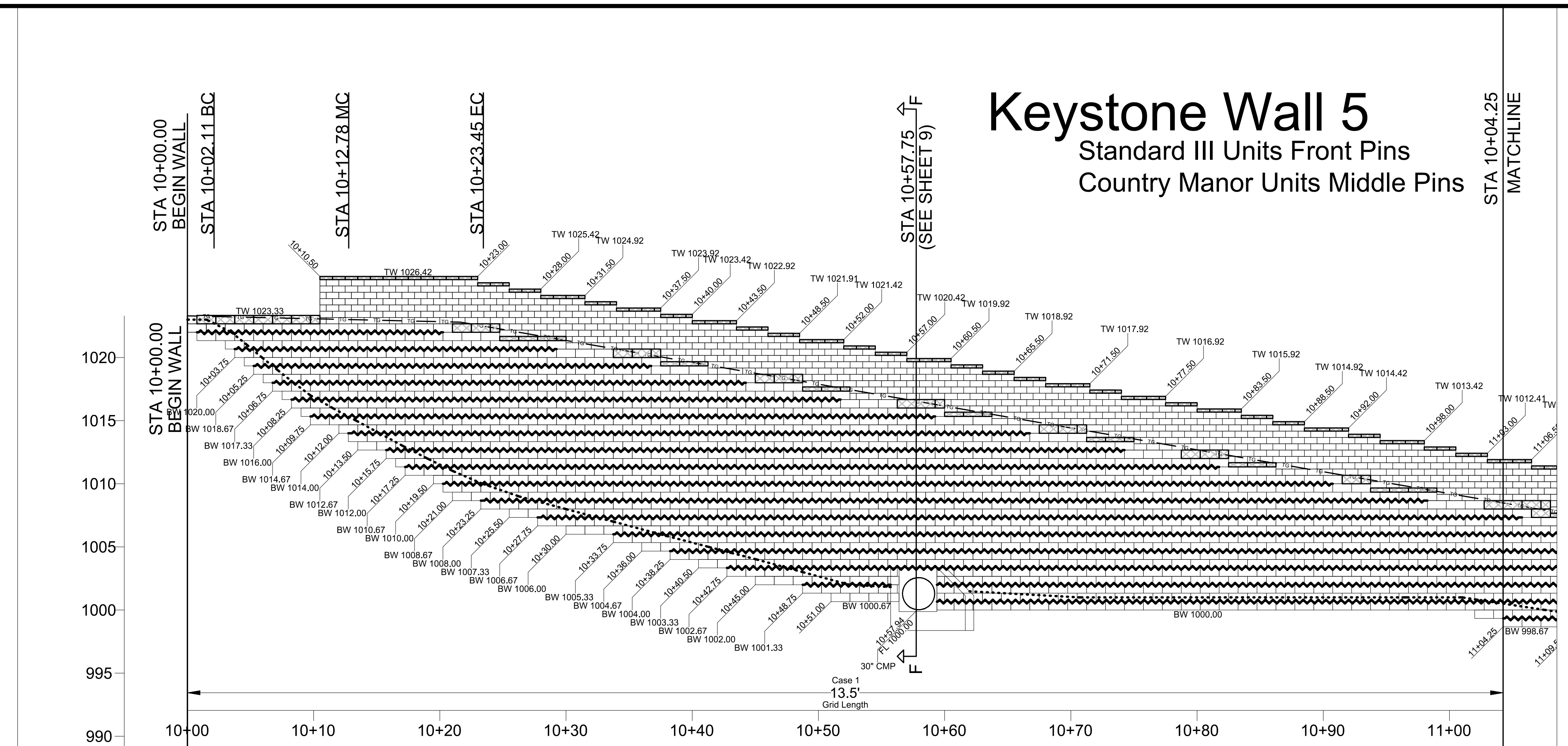
PRIVATE CONTRACT

SHEET 14	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
RETAINING WALL PLAN FOR: RESQUE RANCH		
KEYSTONE WALL 4 PROFILE		
CALIFORNIA COORDINATE INDEX 326-1767		
APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20	
BY: _____ DATE _____	GRADING PERMIT NO. PDS2016-LDGRMJ-30067	

ENGINEER'S NAME: HILLSIDE COMPANIES
PHONE NO. (760) 731-3038

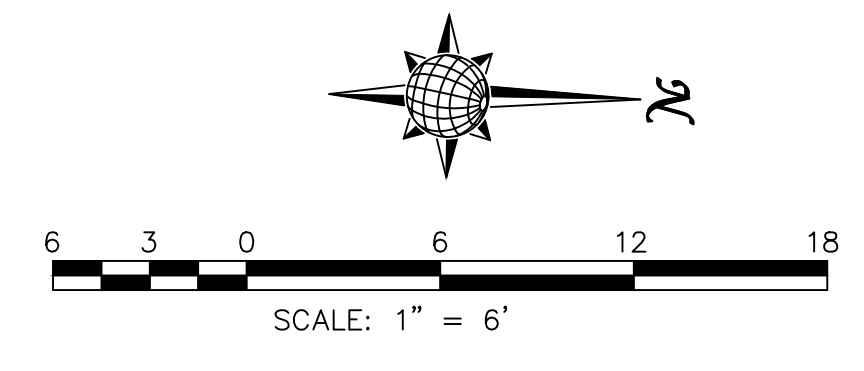
Keystone Wall 5

Standard III Units Front Pins
Country Manor Units Middle Pins



Profile Legend:
 Finished Grade:
 Top Grade:
 Tensar TPG60:
 Tensar TPG80:
 Cap Unit:
 Standard III Unit:
 DSM Units:
 Footing Block:
 Country Manor Unit:
 Country Manor Cap Unit:

Plan Legend:
 DSM Wall:
 Standard III Unit:
 Grid Location:



PLANVIEW PROVIDED AS A COURTESY BY SPEAR & ASSOCIATES, INC. TO SHOW WALL ALIGNMENT ONLY. PLEASE SEE ITS GRADING PLAN FOR DETAILED INFORMATION.

DESIGN CONSULTANTS
 HILLSIDE COMPANIES
 4805 5TH STREET #102
 FALLBROOK, CALIFORNIA, 92028
 OFFICE: (760) 731-3038

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COUNTY APPROVED CHANGES			
NO.	Description	Approved by	Date



RECORD PLAN	
NICK SERVIN	DATE
R.C.E. No: 33538	
EXPIRES: 6-30-20	

BENCH MARK	
DESCRIPTION: CHISELED SQUARE	
LOCATION: AT THE TOP OF PEDRAMP ON S.E. CORNER OF SIERRA LINDA DRIVE AND VISTA BONITA	
RECORD FROM: #425 CITY OF ESCONDIDO BENCHMARK BOOK	
ELEVATION: 504.07	DATUM: MSL

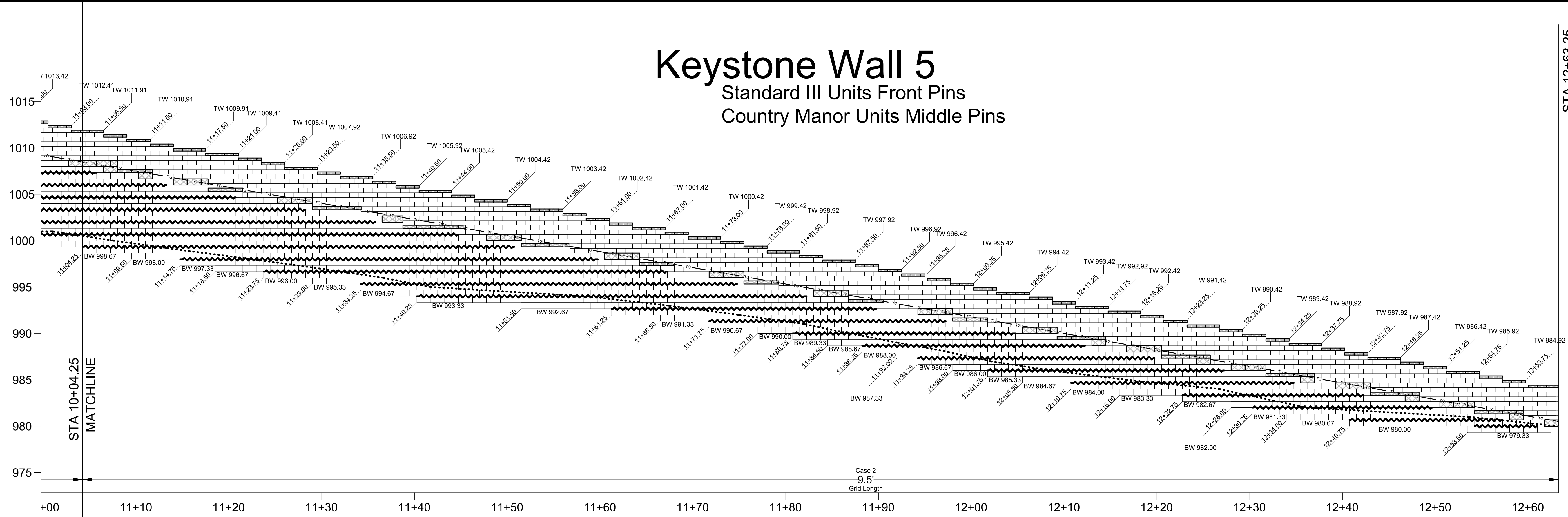
PRIVATE CONTRACT		
SHEET 15	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	16 SHEETS
RETAINING WALL PLAN FOR: RESQUE RANCH		
KEYSTONE WALL 5 PROFILE		
CALIFORNIA COORDINATE INDEX 326-1767		
APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER	ENGINEER OF WORK:	
BY: _____	DATE: _____	GRADING PERMIT NO. PDS2016-LDGRM-30067

ENGINEER'S NAME: HILLSIDE COMPANIES
 PHONE NO. (760) 731-3038

C:\Users\Reggie\Documents\Contracted Jobs\F2178 ResQue Ranch\Profiles\F2178 Plans.dwg PLOT DATE: 08/06/2018

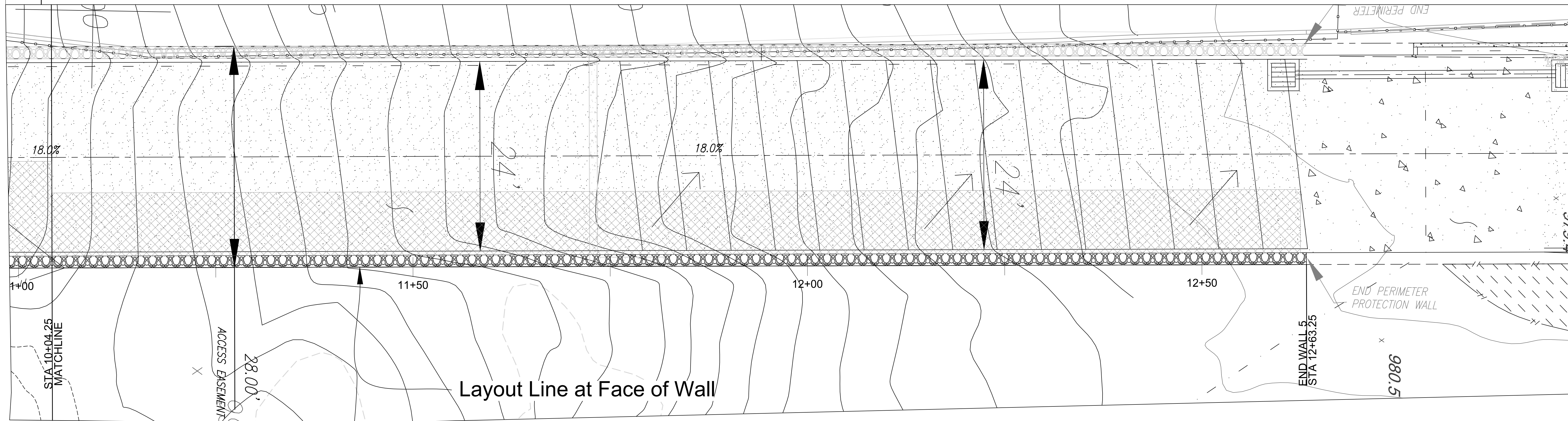
Keystone Wall 5

Standard III Units Front Pins
Country Manor Units Middle Pins



STA 12+63.25
END WALL

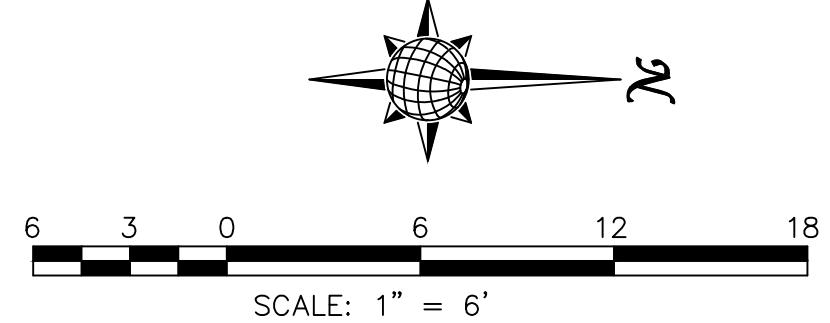
STA 10+04.25
MATCHLINE



Layout Line at Face of Wall

- Profile Legend:**
- Finished Grade:
 - Top Grade:
 - Tensar TPG60:
 - Tensar TPG80:
 - Cap Unit:
 - Standard III Unit:
 - DSM Units:
 - Footing Block:
 - Country Manor Unit:
 - Country Manor Cap Unit:

- Plan Legend:**
- DSM Wall:
 - Standard III Unit:
 - Grid Location:



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NO.	Description	Approved by	Date



RECORD PLAN

NICK SERVIN _____ DATE _____
R.C.E. No: 33538
EXPIRES: 6-30-20

BENCH MARK

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ELEVATION: 504.07 DATUM: MSL

PRIVATE CONTRACT

SHEET 16 COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS 16 SHEETS

RETAINING WALL PLAN FOR:
RESQUE RANCH
KEYSTONE WALL 5 PROFILE

CALIFORNIA COORDINATE INDEX 326-1767

APPROVED FOR: WILLIAM F. MORGAN COUNTY ENGINEER

ENGINEER OF WORK: DATE: 8/1/20
NICK SERVIN R.C.E. NO. 33538 EXP. 6-30-20

GRADING PERMIT NO. PDS2016-LDGRMJ-30067

ENGINEER'S NAME: HILLSIDE COMPANIES
PHONE NO. (760) 731-3038

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