



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

September 6, 2019

State Clearinghouse
Office of Planning and Research
Attn: Sheila Brown
1400 Tenth Street, Room 212
Sacramento, CA 95814

Dear Ms. Brown:

Subject: State Clearinghouse Review of Proposed Negative Declaration for Initial Study
Application No. 7611 (Jason Osborne on behalf of Crown Castle)

Enclosed Please find the following documents:

1. Notice of Completion/Reviewing Agencies Checklist
2. Notice of Intent to Adopt a Mitigated Negative Declaration
3. Fifteen (15) hard copies of Draft Initial Study, Draft Mitigated Negative Declaration, and Project Routing
4. One (1) electronic copy of the Draft Initial Study, Draft Mitigated Negative Declaration, and Project Routing

We request that you distribute the documents to appropriate state agencies for review as provided for in Section 15073 of the CEQA Guidelines, and that the review be completed within the normal 30-day review period. Please transmit any document to my attention at the below listed address or to TKobayashi@FresnoCountyCA.gov

Sincerely,

Thomas Kobayashi, Planner
Development Services and Capital Projects Division

TK:

G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3648\IS-CEQA\CUP 3648 SCH Letter.docx

Enclosures

Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Unclassified Conditional Use Permit Application No. 3648 and Initial Study Application No. 7611

Lead Agency: County of Fresno, Department of Public Works and Planning Contact Person: Thomas Kobayashi
Mailing Address: 2220 Tulare Street, 6th Floor Phone: (559)600-4224
City: Fresno Zip: 93721 County: Fresno

Project Location: County: Fresno City/Nearest Community: Caruthers
Cross Streets: Elm Avenue and Elkhorn Avenue Zip Code: _____
Longitude/Latitude (degrees, minutes and seconds): _____ N / _____ W Total Acres: 1.45
Assessor's Parcel No.: 042-200-06S Section: 33 Twp.: 16S Range: 20E Base: _____
Within 2 Miles: State Hwy #: 41 Waterways: _____
Airports: _____ Railways: _____ Schools: _____

Document Type:

- | | | | |
|--------------------------------------|--|------------------------------------|--|
| CEQA: <input type="checkbox"/> NOP | <input type="checkbox"/> Draft EIR | NEPA: <input type="checkbox"/> NOI | Other: <input type="checkbox"/> Joint Document |
| <input type="checkbox"/> Early Cons | <input type="checkbox"/> Supplement/Subsequent EIR | <input type="checkbox"/> EA | <input type="checkbox"/> Final Document |
| <input type="checkbox"/> Neg Dec | (Prior SCH No.) _____ | <input type="checkbox"/> Draft EIS | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Mit Neg Dec | Other: _____ | <input type="checkbox"/> FONSI | |

Local Action Type:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> General Plan Update | <input type="checkbox"/> Specific Plan | <input type="checkbox"/> Rezone | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Master Plan | <input type="checkbox"/> Prezone | <input type="checkbox"/> Redevelopment |
| <input type="checkbox"/> General Plan Element | <input type="checkbox"/> Planned Unit Development | <input checked="" type="checkbox"/> Use Permit | <input type="checkbox"/> Coastal Permit |
| <input type="checkbox"/> Community Plan | <input type="checkbox"/> Site Plan | <input type="checkbox"/> Land Division (Subdivision, etc.) | <input type="checkbox"/> Other: _____ |

Development Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential: Units _____ Acres _____ | <input type="checkbox"/> Transportation: Type _____ |
| <input type="checkbox"/> Office: Sq.ft. _____ Acres _____ Employees _____ | <input type="checkbox"/> Mining: Mineral _____ |
| <input type="checkbox"/> Commercial: Sq.ft. _____ Acres _____ Employees _____ | <input type="checkbox"/> Power: Type _____ MW _____ |
| <input type="checkbox"/> Industrial: Sq.ft. _____ Acres _____ Employees _____ | <input type="checkbox"/> Waste Treatment: Type _____ MGD _____ |
| <input type="checkbox"/> Educational: _____ | <input type="checkbox"/> Hazardous Waste: Type _____ |
| <input type="checkbox"/> Recreational: _____ | <input checked="" type="checkbox"/> Other: <u>Unmanned Wireless Telecommunications Facility</u> |
| <input type="checkbox"/> Water Facilities: Type _____ MGD _____ | |

Project Issues Discussed in Document:

- | | | | |
|--|--|---|---|
| <input checked="" type="checkbox"/> Aesthetic/Visual | <input type="checkbox"/> Fiscal | <input checked="" type="checkbox"/> Recreation/Parks | <input type="checkbox"/> Vegetation |
| <input checked="" type="checkbox"/> Agricultural Land | <input checked="" type="checkbox"/> Flood Plain/Flooding | <input checked="" type="checkbox"/> Schools/Universities | <input checked="" type="checkbox"/> Water Quality |
| <input checked="" type="checkbox"/> Air Quality | <input checked="" type="checkbox"/> Forest Land/Fire Hazard | <input checked="" type="checkbox"/> Septic Systems | <input checked="" type="checkbox"/> Water Supply/Groundwater |
| <input checked="" type="checkbox"/> Archeological/Historical | <input checked="" type="checkbox"/> Geologic/Seismic | <input checked="" type="checkbox"/> Sewer Capacity | <input checked="" type="checkbox"/> Wetland/Riparian |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Minerals | <input checked="" type="checkbox"/> Soil Erosion/Compaction/Grading | <input type="checkbox"/> Growth Inducement |
| <input type="checkbox"/> Coastal Zone | <input checked="" type="checkbox"/> Noise | <input checked="" type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Land Use |
| <input checked="" type="checkbox"/> Drainage/Absorption | <input checked="" type="checkbox"/> Population/Housing Balance | <input checked="" type="checkbox"/> Toxic/Hazardous | <input checked="" type="checkbox"/> Cumulative Effects |
| <input type="checkbox"/> Economic/Jobs | <input checked="" type="checkbox"/> Public Services/Facilities | <input checked="" type="checkbox"/> Traffic/Circulation | <input checked="" type="checkbox"/> Other: <u>Energy and Wildfire</u> |

Present Land Use/Zoning/General Plan Designation:

Single-Family Residential/AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)/Agricultural

Project Description: *(please use a separate page if necessary)*

Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with an "X".
If you have already sent your document to the agency please denote that with an "S".

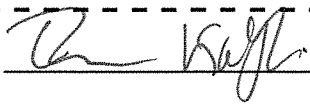
- | | |
|--|--|
| <input checked="" type="checkbox"/> Air Resources Board | <input type="checkbox"/> Office of Historic Preservation |
| <input type="checkbox"/> Boating & Waterways, Department of | <input type="checkbox"/> Office of Public School Construction |
| <input type="checkbox"/> California Emergency Management Agency | <input type="checkbox"/> Parks & Recreation, Department of |
| <input type="checkbox"/> California Highway Patrol | <input type="checkbox"/> Pesticide Regulation, Department of |
| <input checked="" type="checkbox"/> Caltrans District #6 | <input type="checkbox"/> Public Utilities Commission |
| <input type="checkbox"/> Caltrans Division of Aeronautics | <input checked="" type="checkbox"/> Regional WQCB #Fresno |
| <input type="checkbox"/> Caltrans Planning | <input type="checkbox"/> Resources Agency |
| <input type="checkbox"/> Central Valley Flood Protection Board | <input type="checkbox"/> Resources Recycling and Recovery, Department of |
| <input type="checkbox"/> Coachella Valley Mtns. Conservancy | <input type="checkbox"/> S.F. Bay Conservation & Development Comm. |
| <input type="checkbox"/> Coastal Commission | <input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy |
| <input type="checkbox"/> Colorado River Board | <input type="checkbox"/> San Joaquin River Conservancy |
| <input type="checkbox"/> Conservation, Department of | <input type="checkbox"/> Santa Monica Mtns. Conservancy |
| <input type="checkbox"/> Corrections, Department of | <input type="checkbox"/> State Lands Commission |
| <input type="checkbox"/> Delta Protection Commission | <input type="checkbox"/> SWRCB: Clean Water Grants |
| <input type="checkbox"/> Education, Department of | <input type="checkbox"/> SWRCB: Water Quality |
| <input type="checkbox"/> Energy Commission | <input type="checkbox"/> SWRCB: Water Rights |
| <input checked="" type="checkbox"/> Fish & Game Region # | <input type="checkbox"/> Tahoe Regional Planning Agency |
| <input type="checkbox"/> Food & Agriculture, Department of | <input checked="" type="checkbox"/> Toxic Substances Control, Department of |
| <input type="checkbox"/> Forestry and Fire Protection, Department of | <input type="checkbox"/> Water Resources, Department of |
| <input type="checkbox"/> General Services, Department of | <input checked="" type="checkbox"/> Other: U.S. Fish and Wildlife Services |
| <input type="checkbox"/> Health Services, Department of | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Housing & Community Development | |
| <input type="checkbox"/> Native American Heritage Commission | |

Local Public Review Period (to be filled in by lead agency)

Starting Date September 9, 2019 Ending Date October 9, 2019

Lead Agency (Complete if applicable):

Consulting Firm: <u>County of Fresno</u>	Applicant: <u>Jason Osborne on behalf of Crown Castle</u>
Address: <u>2220 Tulare Street, 6th Floor</u>	Address: <u>3 Rovina Lane</u>
City/State/Zip: <u>Fresno, CA 93721</u>	City/State/Zip: <u>Petaluma, CA 94952</u>
Contact: <u>Thomas Kobayashi</u>	Phone: _____
Phone: <u>(559)600-4224</u>	

Signature of Lead Agency Representative:  **Date:** 9/6/19

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

- 1. Project title:**
Initial Study Application No. 7611 and Unclassified Conditional Use Permit Application No. 3648

- 2. Lead agency name and address:**
County of Fresno, Department of Public Works and Planning
2220 Tulare Street, 6th Floor
Fresno, CA 93721

- 3. Contact person and phone number:**
Thomas Kobayashi, Planner
(559)600-4224

- 4. Project location:**
The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (042-200-06S) (16629 S. Elm Avenue, Caruthers, CA)

- 5. Project sponsor's name and address:**
Jason Osborne, Beacon Development
3 Rovina Lane
Petaluma, CA 94952

On behalf of

Crown Castle
4301 Hacienda Drive, Suite 410
Pleasanton, CA 94588

- 6. General Plan designation:**
Agricultural

- 7. Zoning:**
AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

- 8. Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)**
Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

- 9. Surrounding land uses and setting: Briefly describe the project's surroundings:**
The project site is located in a mainly agricultural area with single-family residences supporting the agricultural uses. On the eastern side of Elm Avenue, the Southwest Transportation Agency maintains a facility and on the eastern side of the State Route 41 the County of Fresno owns land related to the Elkhorn Correctional Facility.

10. Other public agencies whose approval is required (g., permits, financing approval, or participation agreement.)

Department of Public Works and Planning, Building and Safety Section
Department of Public Works and Planning, Development Engineering Section

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

Per Assembly Bill 52 (AB52), participating California Native American Tribes were notified of the subject application and given the opportunity to enter consultation with the County for the project. No participating California Native American Tribe expressed concerns that would indicate that the subject application could potentially impact tribal cultural resources.

NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

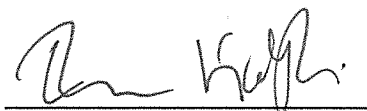
- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Mandatory Findings of Significance | |

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:



Thomas Kobayashi, Planner

Date: 9/6/19

REVIEWED BY:



Marianne Mollring, Senior Planner

Date: 9-6-19

**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM**
Initial Study Application No. 7611 and
Unclassified Conditional Use Permit
Application No. 3648

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

- 1 = No Impact
- 2 = Less Than Significant Impact
- 3 = Less Than Significant Impact with Mitigation Incorporated
- 4 = Potentially Significant Impact

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 2 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 2 d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 3 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?
- 3 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?
- 1 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 2 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 1 a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?
- 1 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 2 i) Result in substantial erosion or siltation on- or off-site;
 - 2 ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;
 - 2 iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 2 iv) Impede or redirect flood flows?
- 2 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 1 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 2 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 2 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 2 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Generation of excessive ground-borne vibration or ground-borne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and

businesses) or indirectly (for example, through extension of roads or other infrastructure)?

- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 1 a) Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
 - 1 i) Fire protection?
 - 1 ii) Police protection?
 - 1 iii) Schools?
 - 1 iv) Parks?
 - 1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION

Would the project:

- 2 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 2 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 1 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- 3 a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - 3 i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 - 3 ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public

Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 1 b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?
- 1 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 1 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 3 a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 3 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)
- 1 c) Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study is referenced by the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

Fresno County General Plan, Policy Document and Final EIR
Fresno County Zoning Ordinance
Important Farmland 2016 Map, State Department of Conservation
Fire Hazard Severity Zones in Local Responsibility Area, State Department of Forestry and Fire Protection

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: Jason Osborne, Beacon Development on behalf of Crown Castle

APPLICATION NOS.: Initial Study Application No. 7611 and Unclassified
Conditional Use Permit Application No. 3648

DESCRIPTION: Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (042-200-06S).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

According to Figure OS-2 of the Fresno County General Plan, the project site is not located on or near an identified Scenic Roadway. No scenic vista has been identified that would be affected by the proposed project. The project site is located in a mainly agricultural area with the Southwest Transportation Agency being located across Elm Avenue.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Assessor Parcel Map records, the subject parcel is approximately 390 feet in depth. The project site is located in the rear of the property. Existing residences and accessory buildings along with mature landscaping on the property and orchards surrounding the project site, ground equipment will be effectively screened from the public right-of-way. The lattice tower design has been proposed to resemble other cell towers that have been approved within the vicinity of the project site. The proposed project will have a less than significant impact on the existing visual character or quality of public view of the site and its surroundings.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The Applicant has indicated that lighting for the tower will be installed per Federal Aviation Administration (FAA) guidelines. In the event that lighting is also installed at ground level, a mitigation measure will be implemented so that all installed lighting will be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Based on the 2016 Fresno County Important Farmland map, the project site is located within land designated as Urban and Built-Up Land and Farmland of Statewide

Importance. Aerial photographs of the project site and site photographs provided by the Applicant show that the subject parcel is utilized for residential use and is not being used for agricultural purposes. Staff believes that although the project site may be located on or near Farmland of Statewide Importance, the proposed project will not convert farmland as there is no indication that farmland is present on the subject parcel.

B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The subject parcel is zoned AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) and is not subject to a Williamson Act Contract. According to Policy LU-A.3 of the Fresno County General Plan, certain non-agricultural uses are allowed in areas designated as Agricultural subject to a discretionary permit. Per the Fresno County Zoning Ordinance, the discretionary permit is an Unclassified Conditional Use Permit. Based on the General Plan Policy and use permitted subject to an Unclassified Conditional Use Permit, there will be no conflict with the existing agricultural zoning.

C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or

D. Result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project site is not located on or near forest land, timberland, or timberland zoned Timberland Production. Therefore no conflict with forest land, timberland, or timberland zoned Timberland Production is seen and the project will not result in the lost of forest land or conversion of forest land to non-forest use.

E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The subject parcel is utilized for residential use and is not being used for farmland or forest land. The project will not result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or

- B. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Temporary increases in criteria pollutants could occur during project construction. As there are two residences on the subject parcel, they could temporarily be exposed to pollutants during construction of the project. Once construction is complete, the proposed telecommunications facility will not produce criteria pollutants that would expose sensitive receptors. Additionally, operation of the project proposal will not conflict with or obstruct implementation of the applicable Air Quality Plan. Although there will be a temporary increase in criteria pollutants during construction, long-term operation of the facility will not produce pollutants that would have a detrimental effect on sensitive receptors, therefore, staff believes that the project will have a less than significant impact.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Emissions from project construction could have an impact on people in the vicinity of the project site, but construction will be temporary. Ongoing operation of the proposed use will not result in emissions that could adversely affect people in the project vicinity.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

According to the California Natural Diversity Database (CNDDDB), there are no reported occurrences of any special status species on or in the vicinity of the project site. The project site is located on a parcel that has been improved with multiple buildings for human occupation. Additionally, the surrounding land is being utilized for agricultural purposes, which experiences human disturbance on a daily basis. Based on the proposed location of the cell tower and daily human disturbance, no impact is seen on any special status species.

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No riparian habitat or other sensitive natural community has been identified on or near the project site. According to the National Wetlands Inventory, there are no identified wetlands that could be affected by the proposal. Photos provided by the Applicant do not show any wetland characteristics that would suggest the presence of a wetland.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

The project site is located towards the rear of the property that is being utilized for residential purposes. The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native residents. No migratory wildlife corridors or wildlife nursery sites have been identified on or near the project site.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The project will not conflict with any local policies or ordinances protecting biological resources and will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or any other approved local, regional, or state Habitat Conservation Plan.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or

- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project site has been improved with two single-family residences and multiple accessory structures. Based on the existing improvements, ground disturbance has already occurred on the project site. In the event that cultural resources are unearthed during project construction, a Mitigation Measure will be implemented to address any cultural resource found during construction or deconstruction of the project.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, videos, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will be built to current California Building Code standards to meet state energy efficiency plans. The project is not expected to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources during project operation. A Mitigation Measure will be incorporated with the project to reduce the potential for wasteful or inefficient consumption of energy resources during project construction. The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.

* **Mitigation Measure(s)**

1. *The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.*

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

FINDING: NO IMPACT:

According to the Earthquake Zone Application administered by the California Department of Conservation and Figure 9-2 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on a known earthquake fault or rupture of a known earthquake fault.

2. Strong seismic ground shaking?

3. Seismic-related ground failure, including liquefaction?

FINDING: NO IMPACT:

According to Figure 9-5 of the FCGPBR, the project site is not located on or near identified probabilistic seismic hazard areas.

4. Landslides?

FINDING: NO IMPACT:

According to Figure 9-6 of the FCGPBR, the project site is not located near any identified landslide hazard areas. The project site is located in flat agricultural land.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to construct a cell tower and ground related equipment. The ground related equipment will be built on top of a new concrete pad therefore reducing topsoil for the parcel. Planning of the lease area also shows additional space for colocation equipment if pursued reducing topsoil further. Although topsoil is lost from the proposal, the loss of topsoil is not substantial and is only a small portion of the subject parcel which is a less than significant impact.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

No geologic unit or soil has been identified to be unstable or would become unstable as a result of the project. Multiple improvements have already been built on the property to suggest that the soil is stable to support the project. The project will be built to current building code standards that can take into account soil conditions.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

According to Figure 7-1 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on any identified expansive soils.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

FINDING: NO IMPACT:

The project is not proposing the use of septic tanks or alternative waste water disposal systems. The facility will be unmanned and will have a maintenance worker visit the site at least once a month.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No paleontological resource or unique geologic feature has been identified on the project site. The subject parcels have been improved with single-family residences and accessory buildings. Past ground-disturbing activities indicate that no paleontological or geological resource is present on the project site.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposal is not expected to generate greenhouse gas emissions that could have a significant impact on the environment. Daily operation of the proposal will not generate greenhouse gas emissions that will have a significant impact. A backup generator is being proposed in case of an emergency to maintain service. Although the generator will produce emissions, the generator is there only to provide backup power and will not run continuously. The project will have a less than significant impact on greenhouse gas emissions.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division has reviewed the subject application and has provided comments related to hazards and hazardous materials.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95.

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project site is not located within one-quarter mile of an existing or proposed school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to a NEPAAssist report produced for the project site, there are no hazardous materials sites on or near the project location.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project will not physically interfere with an adopted emergency response plan or emergency evacuation plan. Reviewing agencies did not express concerns to indicate that the project would interfere with an adopted emergency response plan or emergency evacuation plan.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the 2007 Fire Hazard Severity Zones in LRA adopted by the California Department of Forestry and Fire Protection (CalFire), the project site is not located in a fire hazard severity zone. Additionally, the Fresno County Fire Protection District (FCFPD) has provided comments on the subject application that do not indicate a significant risk of wildland fire hazard. The project shall comply with California Code of Regulations Title 24 – Fire Code and project/development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. The project proposed for an unmanned wireless telecommunication facility therefore reducing exposure of people at the project site.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: NO IMPACT:

The project proposes an unmanned wireless telecommunications facility and will not utilize water as part of its operation. The project will not violate any water quality standards or waste discharge requirements and will not substantially decrease groundwater supplies or interfere with groundwater recharge.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 1. Result in substantial erosion or siltation on- or off-site;
 - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?
 - 3. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels traversing the subject parcel. The project site is also not located in a flood zone, therefore the project will not impeded or redirect flood flows. As new construction is involved, the project may increase surface runoff. The project will be subject to County Standards, which require that drainage of the project not drain across property. The project will not substantially increase the amount of surface runoff in a manner which would result in flooding on- or off-site.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not located in a flood zone, but according to Figure 9-8 of the Fresno County General Plan Background Report (FCGPBR), the project site is located in a dam failure flood inundation area. Although located in a flood inundation area, the project proposes an unmanned facility with minimal hazardous materials onsite. Risk of

release of pollutants is less than significant based on project proposal and storage of materials onsite. The project is not located near a body of water that would indicate tsunami or seiche zone risks.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Policy PF-J.4 of the Fresno County General Plan requires compliance with the Fresno County Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County. One key issue of the Wireless Communications Guidelines is for new towers. Applicants are required to submit evidence regarding alternative sites being considered for colocation opportunities and evidence of due diligence on negotiating for colocation. Additional guidelines are related to placement and aesthetics of the tower.

The Applicant has submitted an Alternative Site Analysis and explanation for the new tower. An old tower is set to be decommissioned and the Applicants would like to replace the tower on a different property to ensure coverage throughout the project area. The Alternative Site Analysis also stated that the only other available tower in the vicinity that would meet coverage needs is a guyed wire tower that the Applicant has concerns regarding structural issues when collocating their equipment. The proposed tower will be located on a residential parcel and located at the rear (southwest edge) of the property minimizing aesthetic impacts.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Figure 7-7 of the Fresno County General Plan Background Report (FCGPBR), the project site may be located on or near identified oil field resources. Based on current conditions of the project site and the footprint of the project site, the proposal is not expected to adversely impact identified mineral resources that may occur on or near the project area.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division (EHD) commented that the proposed construction and operation of the project has the potential to expose nearby residents to short-term elevated noise levels and that consideration should be given to the County of Fresno Noise Ordinance Code. The project is not expected to generate substantial permanent increase in ambient noise levels or generate excessive ground-borne vibration or ground-borne noise levels. A temporary increase from project construction and a slight increase in noise will occur from project construction and operation, but will have a less than significant impact.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project will not induce substantial unplanned population growth nor displace substantial numbers of existing people or housing. The project site is located at the rear of the subject parcel and is not requiring the relocation of housing or people on the property.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?
 - 1. Fire protection;
 - 2. Police protection;
 - 3. Schools;
 - 4. Parks; or
 - 5. Other public facilities?

FINDING: NO IMPACT:

The Fresno County Fire Protection District (FCFPD) has provided comments on the project and did not express concerns with the project to indicate that the proposal will adversely impact their level of service. No other reviewing Agency expressed concerns to indicate that the project will significantly impact the provision of new facilities or level of service.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will not result in increased use of existing neighborhood and regional parks such that substantial physical deterioration of the facility would occur or be accelerated. Additionally, the project will not require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment.

XVI. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project intends to replace an existing tower on a different property. Based on the intention, the project is not likely to increase vehicle miles traveled significantly, as the project will be located approximately 0.30 miles from the existing tower. A less than significant impact is seen as the project will increase vehicle miles traveled minimally and is not conflicting with or being inconsistent with CEQA Guidelines Section 15064.3, subdivision (b). The project does not conflict with a program, plan, ordinance, or policy addressing the circulation system. The project is for an unmanned wireless telecommunications facility and will only require up to two maintenance visits a month. As an existing tower is located in the vicinity of the project site, the change in location of the existing tower to the proposed site will not significantly impact the circulation system or be inconsistent with CEQA Guidelines.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?; or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The project proposes to take access off an existing driveway from Elm Avenue that services the existing residential units on the property. A twelve-foot access easement will be constructed from the existing driveway to the project site. No hazards from the

design of the project's access way has been identified on the project site. The project will not result in inadequate emergency access. No reviewing Agencies/Departments have expressed concerns that indicate that the project design is dangerous or will result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per California Assembly Bill 52 (AB52), participating California Native American Tribes were notified of the project and given the opportunity to enter into consultation with the County of Fresno. No participating California Native American Tribe expressed concerns with the project to indicate that a Tribal Cultural Resource (TCR) was present on or near the project site. In the event that a TCR is identified on the project site, a Mitigation Measure will be implemented so that TCR's are adequately addressed.

* **Mitigation Measure(s)**

1. See Section V.A., B, and C., Mitigation Measure 1.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: LESS THAN SIGNIFICANT IMPACT:

New electrical connections are being proposed for the subject application, but will not require the relocation or construction of electrical supply facilities. The project will not result in the construction of new or expanded water, wastewater treatment, storm water drainage or natural gas. An existing telecommunications facility is located approximately 0.30 miles south of the proposed site. The project proposes to construct a new tower and decommission the existing tower.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years; or
- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

The project proposes an unmanned facility and will not require the use of water or construction of wastewater treatment systems. Based on this, the project will not have an impact on water supplies and will not be served by a wastewater treatment system.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project is for an unmanned wireless telecommunications facility and will not generate solid waste in excess of State or local standards. The project will comply with federal, state, and local management and reduction statutes and regulations related to solid waste.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or

- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

According to the 2007 Fire Hazard Severity Zones in Local Responsibility Areas map from the California Department of Forestry and Fire Protection, the project site is located in a Local Responsibility Area (LRA) and is not in lands classified as very high fire hazard severity zones.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Impacts to Cultural Resources and Tribal Cultural Resources will be less than significant with mitigation incorporated. There are no impacts to Biological Resources and reviewing agencies did not express concern to indicate the presence of special status species. The project will not substantially degrade the quality of the environment or substantially reduce the habitat of fish or wildlife species.

- B. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Cumulative impacts identified in the analysis were related to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources. These impacts will be reduced to a less than significant impact with incorporated Mitigation Measures discussed in Section 1.D., Section V.A., B., and C., Section VI.A and B., and Section XVIII.A.1., and 2.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have determined to be less than significant with compliance with incorporated Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

TK

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Mitigation Monitoring and Reporting Program
Initial Study Application No. 7611 and Unclassified Conditional Use Permit Application No. 3648
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.	Applicant	Applicant/Department of Public Works and Planning (PW&P)	Ongoing
2.	Cultural Resources/ Tribal Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities.
3.	Energy	The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.	Applicant	Applicant/PW&P	During construction activities

TK

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

FILED
SEP 06 2019 TIME 1:30pm

FRESNO COUNTY CLERK
By *Jessica Munoz* DEPUTY
Jessica Munoz

For County Clerk's Stamp

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

Notice is hereby given that the County of Fresno has prepared Initial Study Application (IS) No. 7611 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

INITIAL STUDY APPLICATION NO. 7611 and UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3648 filed by **JASON OSBORNE, BEACON DEVELOPMENT, ON BEHALF OF CROWN CASTLE**, proposing to allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (SUP. DIST. 4) (APN 042-200-06S). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7611, and take action on Unclassified Conditional Use Permit Application No. 3648 with Findings and Conditions.

(hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS Application No. 7611 and the draft Mitigated Negative Declaration, and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from September 6, 2019 through October 6, 2019.

Email written comments to TKobayash@FresnoCountyCA.gov, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Thomas Kobayashi
2220 Tulare Street, Suite A
Fresno, CA 93721

IS Application No. 7611 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except holidays), or at www.co.fresno.ca.us/initialstudies. An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Thomas Kobayashi at the addresses above.

Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on October 10, 2019, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions please call Thomas Kobayashi (559) 600-4224.

Published: September 9, 2019

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7611 CUP 3648	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION	County Clerk File No: E-	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Jason Osborne, Beacon Development on behalf of Crown Castle	Project Title: Unclassified Conditional Use Permit Application No. 3648		
Project Description: Allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced compound on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have determined to be less than significant with compliance with incorporated Mitigation Measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 9, 2019		Review Date Deadline: Planning Commission – October 10, 2019	
Date:	Type or Print Signature: Marianne Mollring Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF DETERMINATION

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

County Clerk, County of Fresno
2221 Kern Street
Fresno, CA 93721

From: Fresno County Department of Public Works and Planning, Development Services
and Capital Projects
2220 Tulare Street (corner of Tulare and "M") Suite "A", Fresno, CA 93721

Subject: Filing of Notice of Determination in compliance with Section 21152 of the Public
Resource Code

Project: Initial Study Application No. 7611, Unclassified Conditional Use Permit
Application No. 3648

Location: The subject parcel is located on the west side of Elm Avenue approximately
1,764 feet north of its nearest intersection with Elkhorn Avenue and is located
approximately 3.36 miles southeast of the nearest unincorporated community of
Caruthers (Sup. Dist. 4) (APN 042-200-06S).

Sponsor: Jason Osborne, Beacon Development
On behalf of
Crown Castle

Description: Allow construction of a new unmanned wireless telecommunications facility
consisting of a 150-foot lattice tower with associated antennas and equipment on
a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive
Agricultural, 20-acre minimum parcel size) Zone District.

This is to advise that the County of Fresno (Lead Agency Responsible Agency) has
approved the above described project on October 10, 2019, and has made the following
determination:

1. The project **will** **will not** have a significant effect on the environment.
2. An Environmental Impact Report (EIR) **was not** prepared for this project pursuant to the
provisions of CEQA. / A Mitigated Negative Declaration **was** prepared for this project
pursuant to the provisions of CEQA.
3. Mitigation Measures **were** **were not** made a condition of approval for the project.
4. A statement of Overriding Consideration **was** **was not** adopted for this project.

This is to certify that the Initial Study with comments and responses and record of project approval is available to the General Public at Fresno County Department of Public Works and Planning, 2220 Tulare Street, Suite A, Corner of Tulare and "M" Streets, Fresno, California.

Thomas Kobayashi, Planner
(559) 600-4224 / TKobayashi@FresnoCountyCA.gov

Date

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DRAFT



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: May 29, 2019

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: Marianne Mollring, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand
Development Services and Capital Projects, Zoning & Permit Review, Attn: Tawanda Mtunga
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Chuck Jonas
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather
Resources Division, Solid Waste, Attn: Amina Flores-Becker/Sally Lopez
Development Engineering, Attn: Kevin Nehring, Senior Engineer
Development Engineering, Attn: Laurie Kennedy
Road Maintenance and Operations, Attn: Frank Daniele/Nadia Lopez
Design Division, Attn: Mohammad Alimi/Dale Siemer
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Fresno County Health Officer, Dept. of Public Health, Attn: Ken Bird, M.D.
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/Steven Rhodes
Agricultural Commissioner, Attn: Melissa Cregan
Sheriff's Office, Attn: Captain John Zanoni, Lt. John Reynolds, Lt. Louie Hernandez, Lt. Kathy Curtice, Lt. Ryan Hushaw
Fresno County Historical Landmarks Commission, Attn: Karen Coletti
NAS Lemoore, NAVFAC, Public Works Lemoore, Attn: John Dirickson
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Sarah Yates
CA Department of Fish and Wildlife, Attn: Craig Bailey, Environmental Scientist & R4CEQA@wildlife.ca.gov
CA Regional Water Quality Control Board, Attn: Matt Scroggins
CALTRANS, Attn: Dave Padilla
State Historic Preservation Office, Attn: Lucinda Woodward
Native American Heritage Commission (NAHC), Attn: Katy Sanchez
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief
Kings River Conservation District, Attn: Rick Hoelzel

FROM: Danielle Crider, Planner
Development Services Division

SUBJECT: Unclassified Conditional Use Permit (CUP) Application No. 3648, Initial Study
Application No. 7611

APPLICANT: Crown Castle

DUE DATE: June 13, 2019

The Department of Public Works and Planning, Development Services and Capital Projects Division, is reviewing the subject applications proposing to allow a new wireless communication facility consisting of a 150-foot-tall lattice tower with panel antennas, microwave antennas, and a 50-foot by 40-foot fenced area to contain related ground equipment on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. (16629 S. Elm Avenue) (APN: 042-200-06S) (Sup. Dist. 4).

The Department is also reviewing for environmental effects as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

Please return your comments by **June 13, 2019**. If your agency or department has no comments, please return a "no comments" response. If you need extra time to review the proposed project, please let me know before the comment deadline.

If you have any questions, contact Danielle Crider, Planner, Fresno County Department of Public Works and Planning at (559) 600-9669 or at dacrider@fresnocountyca.gov.

DTC:
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Activity Code (Internal Review): 2384

Enclosures



Date Received: 3/25/19
CUP 3048
157011
 (Application No.)

Fresno County Department of Public Works and Planning

MAILING ADDRESS:
 Department of Public Works and Planning
 Development Services Division
 2220 Tulare St., 6th Floor
 Fresno, Ca. 93721

LOCATION:
 Southwest corner of Tulare & "M" Streets, Suite A
 Street Level
 Fresno Phone: (559) 600-4497
 Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:
 Construct new wireless telecommunications tower

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: West side of Elm Avenue
 between Elkhorn Avenue and Swanson Avenue
 Street address: 16629 S Elm, Caruthers

APN: 042-200-06S Parcel size: 1.446 acres Section(s)-Twp/Rg: S 33 - T 16 S/R 20 E

ADDITIONAL APN(s): _____

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type)	Address	City	Zip	Phone
Iva M Arthur, Trustee	16629 S Elm	Caruthers	93609	
Jason Osborne on behalf of Crown Castle	3 Rovina Lane	Petaluma	94952	
Jason Osborne – Beacon Development	3 Rovina Lane	Petaluma	94952	

CONTACT EMAIL: jason@beacondev.net

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: <u>CUP 3048</u>	Fee: \$ <u>9,123.00</u>
Application Type / No.: <u>pre-app credit: \$247</u>	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER (Initial Study) No.: <u>157011</u>	Fee: \$ <u>5151.00</u>
Ag Department Review:	Fee: \$ <u>93.00</u>
Health Department Review:	Fee: \$ <u>992.00</u>
Received By: <u>Danielle C.</u> Invoice No.: <u>117522</u>	TOTAL: \$ <u>15,112.00</u>

UTILITIES AVAILABLE:

WATER: Yes / No
 Agency: _____

SEWER: Yes / No
 Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section: 33 - T 16 S/R 20 E

Related Application(s): N/A
 Zone District: AE-20
 Parcel Size: 1.45 acres

APN # 042 - 200 - 06S
 APN # _____
 APN # _____
 APN # _____



Development Services and Capital Projects Division

Mail To: Jason Osborne/Beacon Development, LLC
3 Rovina Lane
Petaluma, CA 94952
Email To: jason@beacondev.net

Pre-Application Review
Department of Public Works and Planning

NUMBER: 39672
APPLICANT: Jason Osborne/Beacon Development, LLC
PHONE: (415) 529-8868

PROPERTY LOCATION: 16629 S. ELM AVE., CARUTHERS, CA 93609
APN: 042 - 200 - 06S ALCC: No X Yes # VIOLATION NO. N/A
CNEL: No X Yes (level) LOW WATER: No X Yes WITHIN 1/2 MILE OF CITY: No X Yes
ZONE DISTRICT: AE-20; SRA: No X Yes HOMESITE DECLARATION REQ'D.: No X Yes
LOT STATUS:

Zoning: () Conforms; (X) Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No X Yes ZM# Initiated In process
Map Act: (PM No. 1791) Lot of Rec. Map; () On '72 rolls; () Other; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes X DISTRICT: Caruthers Trustee Area 5, State Center CC Trustee Area 3 PERMIT JACKET: No Yes X
FMFCD FEE AREA: (X) Outside () District No.: FLOOD PRONE: No X Yes
PROPOSAL: Unclassified Conditional Use Permit to allow a new cell site & related facilities to include a 150' tall lattice tower; 40'x50' chain-link fence with barbed wire equipment enclosure; electrical 400 meter with fused disconnect, intersect cabinet; install new antennas (3) per sector, (9) total and to install new RRUs (3) per sector, (9) total.

COMMENTS:
ORD. SECTION(S): 853-B-15 BY: O. Ramirez DATE: 03/12/2019

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agricultural () JGPA:
COMMUNITY PLAN: - () JAA:
REGIONAL PLAN: - (X) CUP: \$9,123.00
SPECIFIC PLAN: - () JRA:
SPECIAL POLICIES: - () JVA:
SPHERE OF INFLUENCE: - () JAT:
ANNEX REFERRAL (LU-G17/MOU): - () JTT:

PROCEDURES AND FEES:

() MINOR VA:
(X) HD: \$992.00
(X) JAG COMM: \$93.00
ALCC:
(X) IS/PER*: \$5,151.00
() Viol. (35%):
() Other:
Filing Fee: \$ 15,359.00
Pre-Application Fee: -247.00
Total County Filing Fee: \$15,112.00

COMMENTS: Lemoore NAs planning area

FILING REQUIREMENTS:

- (X) Land Use Applications and Fees
(X) This Pre-Application Review form
(X) Copy of Deed / Legal Description
(X) Photographs
() Letter Verifying Deed Review
(X) IS Application and Fees*
(X) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
(X) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
(X) Project Description / Operational Statement (Typed)
() Statement of Variance Findings
() Statement of Intended Use (ALCC)
() Dependency Relationship Statement
() Resolution/Letter of Release from City of Referral Letter #

OTHER FILING FEES:

- () Archaeological Inventory Fee: \$75 at time of filing
() CA Dept. of Fish & Wildlife (CDFW): \$50 (\$50+\$2,354.75)
Must be paid prior to IS closure and prior to setting hearing date.

BY: Danielle Cridler DATE: 3-12-19
PHONE NUMBER: (559) 600-0109

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- (X) COVENANT () SITE PLAN REVIEW
() MAP CERTIFICATE (X) BUILDING PLANS
() PARCEL MAP (X) BUILDING PERMITS
() FINAL MAP () WASTE FACILITIES PERMIT
() FMFCD FEES (X) SCHOOL FEES
() ALUC or ALCC () OTHER (see reverse side)

PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

PROJECT PROPOSED LOCATION

Crown Castle Telecommunication Facility
16629 S. Elm Avenue, Caruthers, CA 93609
Site Name: Iva Arthur (831105)
APN: 042-200-06S

Nature of Request

Crown Castle seeks a Planning Department approval to build a new wireless telecommunication facility with a lattice tower at 16629 S. Elm Avenue, Caruthers, CA. The purpose of this facility would be to maintain coverage.

Property Description

The subject property is zoned AE-30 (Agricultural Exclusive) and is owned by Iva M Arthur, Trustee.

Project Description

This is an unmanned telecommunication facility consisting of the installation of a new 150' lattice tower, a 40' x 50' Crown Castle multi-carrier fenced compound consisting of the installation and operation of antennas and associated equipment. This project is located on private property and will continue to provide wireless coverage in the local community as the existing tower will be decommissioned. The installation will not adversely affect the surrounding area and will have no impact on traffic other than during construction activities, which take less than 30.

The proposal includes the following scope of work:

- New 150'-0" tall lattice tower.
- New 40'-0" x 50'-0" chain-link fence with barbed wire equipment enclosure.
- New electrical 400 meter with fused disconnect, intersect cable.
- 9 new antennas (3 per sector).
- 9 new radio remote radios (3 per sector).

Statement of Operations

This proposed facility will be to replace a currently operating wireless telecommunication facility that we be decommissioned upon construction of a "new" wireless facility to maintain cellular and emergency coverage in the area. This facility will be an unmanned facility operating 24 hours a day, 7 days per week, and 52 weeks per year. There will not be any employees as the facility is unmanned, entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Upon completion of construction, fine-tuning of the facility may be necessary, meaning the site will be adjusted once or twice a month by a service technician for routine maintenance. Periodic testing and maintenance to keep the facility operational will require a service vehicle to access the property occasionally but no parking spaces will be required. No goods are sold on this facility location, materials to be used for construction are outlined in the zoning drawings included with the zoning package. This facility will



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

not cause unsightly appearance in the area as it will be painted to jurisdictional requirements and will not have any solid or liquid waste as well as no requirement for additional water usage. There will be no advertising of the facility but there will be owner, safety, and required signing as set forth by the FCC and local jurisdiction. Two new small buildings will be added within the 100'x100' compound and fencing to house and protect sensitive equipment, fencing with barbed wire will encompass the 100'x100' lease area and tower as a security measure as well as lighting for the top and sides of the 280' lattice tower as required by the FAA and local jurisdiction.

Zoning Analysis

The site of the proposed facility is currently zoned AE-30 (Exclusive Agricultural District). Based on a Pre-App Meeting with Ms. Danielle Crider, of the Fresno County Planning Department, we have been instructed to submit for a Conditional Use Permit which would be taken into consideration by Fresno County staff.

Alternative Sites Analysis

As requested, Beacon Development has provided a separate document for submission to the County of Fresno which identifies all neighboring telecom facilities within roughly a (10+) mile radius. Please understand, even taking into account the topography in this particular area, most cellular systems can only transmit 3-5 miles, depending on a number of factors. Our analysis reflects a number of adjacent sites, most of which are over (8) miles away and would not provide coverage in our requested area coupled with the fact we are requesting to *replace* the tower on the adjacent property. Please note, during our pre-app meeting we discussed Ms. Danielle Crider and discussed the project and process, namely in our review of colocations, using another property with an existing tower would be preferred, but given there are no immediate towers, we need to reflect them on our supplemental report. With the above being said, please find an attached PowerPoint report which reflects our findings.

Compliance with Federal Regulations

Crown Castle (as the owner of the facility) will not only comply with all FCC rules governing construction requirements, technical standards, interference protection, power and height limitations, and radio frequency standards, but ensure our respective tenants do as well. In addition, the company will comply with all FAA rules on site location and operation. We have also provided an EMF Study which reflects our adherence to FCC guidelines for RF exposure.

Federal Regulations Applicable to This Application

Federal law and the FCC's rules implementing the law require that this permit application be processed to a final decision by this jurisdiction without delay. Specifically, because this application proposes to install new equipment on a new tower outside the public rights of way, this application must be approved or denied within one hundred fifty (150) days from its submission, today.¹

¹ *In re Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd. 13994 ¶¶ 32, 45-46 (2009) (“*FCC Shot Clock Order*”); *In the matter of Acceleration of Broadband Deployment By Improving Wireless Facilities Siting Policies*, Report and Order, FCC 14-153, WT Docket No. 13-238, ¶ 272 (FCC Oct. 21, 2014) (“*Wireless Infrastructure Order*”) (clarifying that DAS nodes that involve installation of new poles trigger the 150 day shot clock).



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jason@beacondev.net

Moreover, pursuant to FCC regulations, this application is deemed complete 30 days after today, unless written notice is provided to the applicant.² If the application is incomplete, within the next 30 days written notice must be provided specifying any items missing to make the application complete.³ For each item missing, the written notice must specify the code provision, ordinance, application instruction, or otherwise publically-stated procedure that requires the submission of the information.⁴

The Telecommunications Act limits the authority of local jurisdictions by, among other restrictions, requiring approval within a reasonable period of time. In submitting this application, Crown Castle expressly reserves all of its Federal and State Rights, including, without limitation, its rights under federal and state law to challenge the requirement for a discretionary permit for its proposed installation. Neither the act of submitting the application nor anything contained therein shall be construed as a waiver of any such rights.

Please send all written requests for additional information regarding this application to:

Jason F. Osborne
Beacon Development, LLC
3 Rovina Lane
Petaluma, CA 94952
(415) 529-8868 mbl
jason@beacondev.net



² *Wireless Infrastructure Order* at ¶¶ 257, 259.

³ *Wireless Infrastructure Order* at ¶¶ 259-260.

⁴ *Id.*



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY	
IS No.	7611
Project No(s)	CUP 3648
Application Rec'd.:	5/29/19

GENERAL INFORMATION

1. **Property Owner :** Iva M Arthur, Trustee **Phone/Fax:** _____

Mailing Address: 16629 S Elm Caruthers CA 93609
Street City State/Zip

2. **Applicant :** Jason Osborne on behalf of Crown Castle **Phone/Fax:** (415) 529-8868

Mailing Address: 3 Rovina Lane Petaluma CA 94952
Street City State/Zip

3. **Representative:** Jason Osborne – Beacon Development **Phone/Fax:** (415) 529-8868

Mailing Address: 3 Rovina Lane Petaluma CA 94952
Street City State/Zip

4. **Proposed Project:** Construct new wireless telecommunications tower

5. **Project Location:** The South 150 feet of the North 200 feet of the East 420 feet of the South one-half of said North-east Quarter of the Southeast one-quarter of said Section 33, Township 16 South, Range 20 East, Mount Diablo Base and Meridian, in the City of Fresno, County of Fresno, State of California.

6. **Project Address:** 16629 S Elm, Caruthers, CA 93609

7. **Section/Township/Range:** 33 / 16 S / 20 E 8. **Parcel Size:** 1.446 acres

9. **Assessor's Parcel No.** 042-200-06S OVER.....

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/> LAFCo (annexation or extension of services)	<input type="checkbox"/> SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/> CALTRANS	<input type="checkbox"/> Reclamation Board
<input type="checkbox"/> Division of Aeronautics	<input type="checkbox"/> Department of Energy
<input type="checkbox"/> Water Quality Control Board	<input type="checkbox"/> Airport Land Use Commission
<input type="checkbox"/> Other <u>N/A</u>	

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

13. Existing Zone District¹: AE-30

14. Existing General Plan Land Use Designation¹: AE

ENVIRONMENTAL INFORMATION

15. Present land use: AGRICULTURE
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

Describe the major vegetative cover: _____

Any perennial or intermittent water courses? If so, show on map: _____

Is property in a flood-prone area? Describe:

NO

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: AGRICULTURE

South: AGRICULTURE

East: COMMERCIAL

West: AGRICULTURE

17. What land use(s) in the area may be impacted by your Project?: N/A

18. What land use(s) in the area may impact your project?: N/A

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes X No

B. Daily traffic generation:

I. Residential - Number of Units	<u> 0 </u>
Lot Size	<u> 0 </u>
Single Family	<u> 0 </u>
Apartments	<u> 0 </u>

II. Commercial - Number of Employees	<u> 0 </u>
Number of Salesmen	<u> 0 </u>
Number of Delivery Trucks	<u> 0 </u>
Total Square Footage of Building	<u> 0 </u>

III. Describe and quantify other traffic generation activities: N/A

20. Describe any source(s) of noise from your project that may affect the surrounding area: N/A

21. Describe any source(s) of noise in the area that may affect your project: N/A

22. Describe the probable source(s) of air pollution from your project: N/A


23. Proposed source of water: N/A

() private well

() community system³--name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: N/A
25. Proposed method of liquid waste disposal: N/A
 () septic system/individual
 () community system³-name _____
26. Estimated volume of liquid waste (gallons per day)²: N/A
27. Anticipated type(s) of liquid waste: N/A
28. Anticipated type(s) of hazardous wastes²: N/A
29. Anticipated volume of hazardous wastes²: N/A
30. Proposed method of hazardous waste disposal²: N/A
31. Anticipated type(s) of solid waste: N/A
32. Anticipated amount of solid waste (tons or cubic yards per day): N/A
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): N/A
34. Proposed method of solid waste disposal: N/A
35. Fire protection district(s) serving this area: FRESNO COUNTY
36. Has a previous application been processed on this site? If so, list title and date: NO
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No X
38. If yes, are they currently in use? Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.



 SIGNATURE

3-22-19

 DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

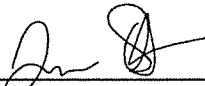
State law requires that specified fees (effective January 1, 2019: \$3,271.00 for an EIR; \$2,354.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

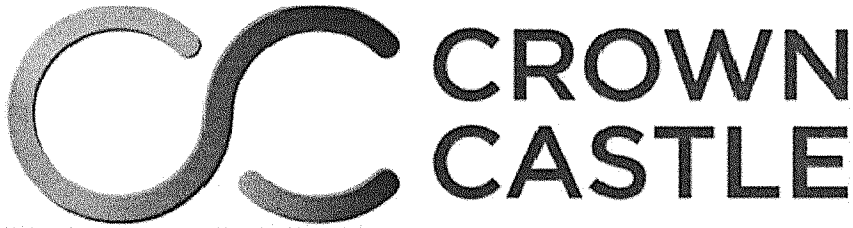
Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

4/12/19

Date



SITE NUMBER: 831105
SITE NAME: FIVE POINTS
SITE TYPE: LATTICE TOWER
TOWER HEIGHT: 150'-0"

ADDRESS: 16629 S. ELM AVENUE
 CARUTHERS, CA 93609
COUNTY: FRESNO
JURISDICTION: CITY OF FRESNO



PROJECT INFORMATION:
831105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
 08/28/19

ISSUED FOR:
 100% CONSTRUCTION
 DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SS
B	2/13/19	100% CONSTRUCTION DRAWING	SS
C	6/12/19	100% CONSTRUCTION DRAWING	SS
D	6/24/19	100% CONSTRUCTION DRAWING	SS
E	8/28/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:

 WSD
 Engineering, Inc.
 2155 LAS POSITAS COURT, SUITE 201
 LIVERMORE, CA 94551

CONSULTANT:

 BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
CHK: MIF
APPV: MIF



SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

PROJECT SUMMARY:

SITE ADDRESS:
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

PROPERTY OWNER:
 CLAUZIA BRIGERIANO
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609
 PHONE: (510) 924-9074
 EMAIL: cbrigeriano@att.net

TOWER OWNER:
 CROWN CASTLE
 1 PARK PLACE, SUITE 300
 DUBLIN, CA 94568

BUILDING SUMMARY:
 OCCUPANCY CLASSIFICATION: EXCLUSIVE AGRICULTURE
 TYPE OF CONSTRUCTION: -
 ZONING: -
 AREA OF CONSTRUCTION: -
 ASSESSORS PARCEL NUMBER: 042-00045
 LATITUDE: 38.273947°N
 LONGITUDE: -119.4733317°W

SHEET INDEX:

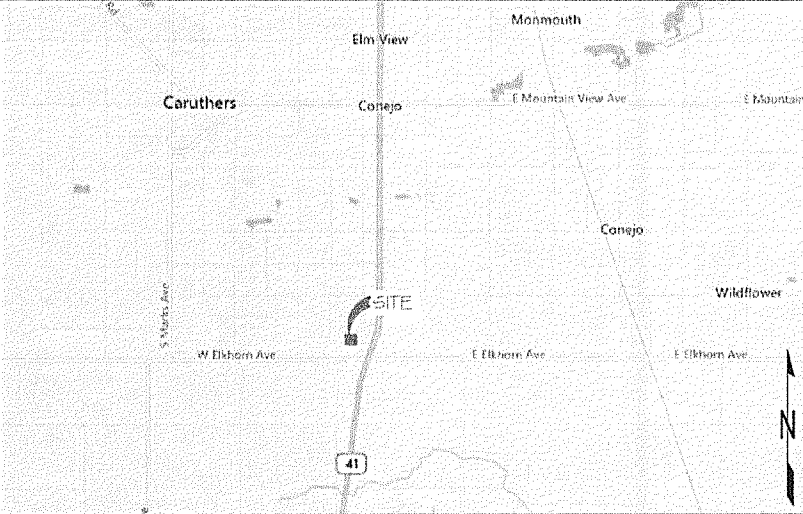
SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES
D-1	SITE SURVEY
A-1	OVERALL SITE PLAN
A-2	PROJECT AREA PLAN
A-3	ANTENNA LAYOUT
A-4	ELEVATIONS
A-5	DETAILS
A-6	DETAILS
A-7	DETAILS
A-8	DETAILS
E-1	UTILITY SITE PLAN
E-2	SINGLE LINE DIAGRAM AND PANEL SCHEDULE
G-1	GROUNDING PLANS
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
GN-1	GENERAL NOTES
GN-2	SITE SIGNAGE

POWER AND TELCO DESIGN INFORMATION

A-1 SITE PLAN
 A-2 ENLARGED SITE PLAN
 E-1 ELECTRICAL PLAN

TOWER DRAWINGS & FOUNDATION INFORMATION

228905-01-D1 TOWER DRAWING
 228905-01-F1 TOWER FOUNDATION



PROJECT DESCRIPTION:

CROWN CASTLE PROPOSES TO CONSTRUCT A WIRELESS ANTENNA SITE. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- NEW 150' TALL LATTICE TOWER
- NEW 47' x 4' x 3' SIGN (SHAWNEE TOWER) WITH BARRED WIRE ENCLOSURE
- NEW ELECTRICAL AND FIBER WITH FUSED DISCONNECT INTERCONNECT CABINET
- INSTALL NEW ANTENNA 3/8" PER SECTOR, 9 TOTAL
- INSTALL NEW FIBER 1" PER TOWER, 3 TOTAL
- INSTALL NEW 55' HIGH, MOUNTED TO EXISTING LATTICE TOWER.

CONSULTING TEAM:

ARCHITECT/ENGINEER:
 WSD ENGINEERING, INC.
 2155 LAS POSITAS COURT, SUITE 201
 LIVERMORE, CA 94551

APPLICANT/LESSEE:
 CROWN CASTLE
 1 PARK PLACE, SUITE 300
 DUBLIN, CA 94568

SITE ACQUISITION:
 BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952
 CONTACT: JASON F. OSBORNE
 PHONE: (415) 524-9664
 EMAIL: jfosborne@beacondev.com

ZONING MANAGER:
 BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952
 CONTACT: JASON F. OSBORNE
 PHONE: (415) 524-9664
 EMAIL: jfosborne@beacondev.com

CONSTRUCTION MANAGER:
 WEST AREA SERVICES
 1 PARK PLACE, SUITE 300
 DUBLIN, CA 94568
 CONTACT: JASON L. REED
 CONSTRUCTION MANAGER - WEST AREA SFO
 TOWER DEVELOPMENT & STRATEGIC NEGOTIATIONS
 PHONE: (925) 547-7294
 EMAIL: jreed@westare.com

APPROVALS:

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORITY THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND NOTIFICATIONS THEY MAY INCUR.

PRINT NAME	SIGNATURE	DATE
PROJ. MANAGER	_____	_____
CONS. P.I.A.	_____	_____
EE ENGINEER	_____	_____
S.G. REP.	_____	_____
PLAN CONSULTANT	_____	_____
PROP. OWNER	_____	_____
CROWN CASTLE REP.	_____	_____

APPLICABLE CODES:

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES, NOTWITHSTANDING ANY AMENDMENTS TO THESE PLANS OR TO BE CONSIDERED TO PERFORM WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE (2018 IBC)
- 2018-02-28 OF LATEST EDITION
- IFPA 2018 LIGHTING PROTECTION CODE
- 2017 NATIONAL ELECTRIC CODE OR LATEST EDITION
- ANY OTHER NATIONAL OR LOCAL APPLICABLE CODES (ASST. RECENT EDITIONS)
- CALIFORNIA CODE OF REGULATIONS
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- LOCAL JURISDICTIONS TO THE ABOVE WHERE APPLICABLE
- CITY/COUNTY ORDINANCES
- SAFETY CODES (IF APPLICABLE)



GENERAL CONSTRUCTION NOTES

1. PLANS ARE INTENDED TO BE OVERLAPPING COVERAGE ONLY. UNLESS OTHERWISE STATED, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, UTILITIES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
2. THE CONTRACTOR SHALL OBTAIN A WRITTEN AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR DESCRIBED BY THE CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL CONTACT UTILITY UNDERGROUND SERVICE ALERTS AT (800) 227-6660 FOR UTILITY LOCATIONS 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION. SEE PAGE OF CONSTRUCTION.
4. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LEAD/LEACH REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE. FOR, BUT NOT LIMITED TO: FINISH, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
6. REPRESENTATIONS OF THE NORTH, OTHER THAN THOSE FOUND ON THE PLAN, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF THE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY STRICTLY ON THE PLAN OF SURVEY DRAWING, AND ANY PREVIOUS WORKSHEETS ATTACHED TO THE DRAWINGS, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE ARCHITECT'S DRAWINGS AND THE FIELD INFORMATION AS DERIVED ON THE GROUND. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
7. THE BUILDING DEPARTMENT'S INSPECTION SERVICES SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
8. DO NOT EXCAVATE OR DISTURB BOUNDARY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
9. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR EXISTENCE OR LOCATION ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNEER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN RECORDS FROM EACH UTILITY COMPANY DETAIL INFORMATION RELATIVE TO JOURNALS, RECORDS AND TAPES OR RECORDS OR ADJUSTING EXISTING UTILITIES.
10. CONTRACTOR SHALL VERIFY ALL EXISTING CURBS, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS TO THE INTENT OF THE PLAN SHOULD BE IMMEDIATELY REFERRED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTIONS. ANY DISCREPANCY SHOULD BE CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INFORMATION MEANS CONTRACTOR WILL HAVE WORKED AT THEIR OWN RISK AND EXPENSE.
11. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INTERIOR WORK.
12. ANY DEVIATION OF FIELD ENCOUNTERED & DISCOVERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMMENCEMENT OF WORK. DATE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES AND EVENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
13. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROTECTED AND BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
14. INCLUDE VISC. REF. PER CROWN CASTLE SPECIFICATIONS.

GENERAL NOTES FOR EXISTING CELL SITES

1. PRIOR TO THE SURVEY OF SITE, THE RECORD SURVEYOR OR CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONTRACTING DRAWINGS. ANY DISCREPANCY SHOULD BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
2. SURVEYOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL CONFORMANCE OF EXISTING CONSTRUCTION SHOULD BE VERIFIED. SURVEYOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCY PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
3. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY CONTRACTOR SHALL NOT DISTURB THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH OPERATOR. ALSO WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW, USUALLY 18:00 HOURS, THEREAFTER, AFTER WORKING.
4. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF RADIO FRACTION. EQUIPMENT SHOULD BE SHUT DOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO RADIATION. PERSONAL PROTECTIVE EQUIPMENT SHOULD BE WORN TO AVOID EXPOSURE TO RADIATION LEVELS.
5. SURVEYOR SHALL DETERMINE ACTUAL ELEVATIONS OF CONCRETE, EXISTING AND NEW CABLE, GROUNDWATER CABLE AS SHOWN ON THE PLAN, FOUNDATION AND TELL PLAN DRAWING. SURVEYOR SHALL TAKE EXISTENCE TRAFFIC AND/OR SHALL ACCE-NA TRAYS AS NECESSARY. SURVEYOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
6. SURVEYOR SHALL LEGALLY AND PROPERLY DEPOSE OF ALL SOLID MATERIALS SUCH AS COAXIAL CABLES AND OTHER DEBRIS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

APPLICABLE CODES, REGULATIONS AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHL) FOR THE LOCATION.

THE EDITION OF THE ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF ELECTRICAL ENGINEERS (AIEE), NATIONAL ELECTRICAL SAFETY CODE
- TELECOMMUNICATIONS AND BROADCASTING ENGINEERING ASSOCIATION (TIA) 222-B, STRUCTURAL STANDARDS FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM (IEEE 1100) (1991) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT
- IEEE (C64), RECOMMENDED PRACTICES FOR SURFACE VOLTAGE IN LOW-VOLTAGE AC POWER CIRCUITS, FOR LOCATION CATEGORY 'T' AND 'M' (IEEE 1100-2007)

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LEAD/LEACH REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE. FOR TELECOMMUNICATIONS TELECOM GRA-18 ANTENNA EQUIPMENT BUILDING SYSTEM, MECHANICAL PROTECTION.

TELECOM GRA-18 CENTRAL OFFICE POWER SYSTEMS

TELECOM GRA-18 GENERAL INSTALLATION REQUIREMENTS

TELECOM GRA-185 LOCAL CABLE CONNECTIONS

ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

GENERAL TRENCHING NOTES

1. MAINTAIN AT LEAST 18" MINIMUM COVER FOR ALL ELECTRICAL CONDUITS.
2. MAINTAIN AT LEAST 18" MINIMUM COVER FOR ALL TELECOMMUNICATIONS CONDUITS.
3. MAINTAIN 18" MINIMUM COVER FOR ALL 4" COVERING CONDUITS OF CONDUITS REQUIRED.
4. ALL ELECTRICAL CONDUITS FROM POWER COMPARTMENT FROM ANY POLE, TRANSFORMER OR OTHER LOCATIONS SHALL BE SUSPENDED.
5. IN STREET TRENCH TO GRADE AND WILL DOWN 1 1/2" FOR A C.G.P.
6. IN STREET TRENCH FROM GRADE AND WILL NOT COVER CONDUITS NEEDED FOR BALANCE.
7. WARNING TAPE TO BE PLACED IN TRENCH 12" ABOVE ALL CONDUITS AND 4" ABOVE SURFACE ABOVE FIN.

GENERAL GROUNDING NOTES

1. 1/4" x 4" ROD, GALV. & WED BELONG GRADE.
2. GROUND TESTED AT 5 OHMS OR LESS.
3. AS LIVING AND DEAD WIRE.
4. GROUNDS 3' FROM POLE.
5. PLACE 2" DIA. X 1/8" THICK REBAR BEHIND TO BRIDGE TO STRENGTHEN ROD.
6. WOODYOLKING, SPACED EVERY 2' AND AT EACH END.

GENERAL CONDUIT NOTES

1. ALL CONDUITS WILL BE APPROVED AND EQUIPPED WITH SIF EVALUATOR.
2. SCHEDULE 40 CONDUIT FOR UNDERGROUND USE.
3. SCHEDULE 80 CONDUIT FOR ABOVE USE.
4. 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 27.5' UP TO 10' THEN CONVERT TO SCHEDULE 40.
5. CONVERT 4" CONDUIT TO 3" X 1/4" X 1/4" UP POLE.
6. CONTRACTOR TO STOP UP POLE 12" IN 3" POWER CONDUIT, POWER COMPANY TO CONVERT FROM 3" TO SCHEDULE 40 TO 2" SCHEDULE 40 TO TOP OF STOP.

TYPICAL R.O.W POLE CONSTRUCTION NOTES

1. CABLE NOT INTERFERE 18" CLEAR SPACE OFF POLE FACE.
2. ALL CABLES MUST BE AT LEAST 18" FROM POLE FACE.
3. NO POST HEADS TO EXCEED MORE THAN 1/2"
4. ALL HOLES IN POLE LEFT FROM CABLE ARRANGEMENT OF CABLES TO BE FILLED.
5. 1/2" HOLES EXPOSED UNDER ANTENNA ARMS, ALL CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF THE ARM AND CABLE ON TOP OF ARM.
6. USE 1/2" CONDUIT AT CABLE CONNECTION FOR COAX ANTENNA.
7. USE CABLE CLAMPS TO SECURE CABLE TO ARM. PLACE 2" CROWN CASTLE CALLED TAGS ON BOTH SIDES OF ARM.
8. USE 1/2" DIA. CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
9. PLACE TOP IN AREA OF SOUTH FLY EXPOSURE AT MINIMUM 4' FROM TRANSIT ANTENNA WHICH IS 24" AWAY FROM CENTER OF POLE.
10. PLACE VISC. AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTERIOR.



PROJECT INFORMATION:
8311105
FIVE POINTS
16829 R. ELM AVENUE
CARUTHERS, CA 94506

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/14/18	100% CONSTRUCTION DRAWING	SS
B	3/15/18	100% CONSTRUCTION DRAWING	SS
C	4/12/18	100% CONSTRUCTION DRAWING	SS
D	4/24/18	100% CONSTRUCTION DRAWING	SS
E	4/25/18	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:

WSD Engineering, Inc
2525 W. Coast Highway 101
91864 PUEBLO GRANDE, CA 94568

CONSULTANT:

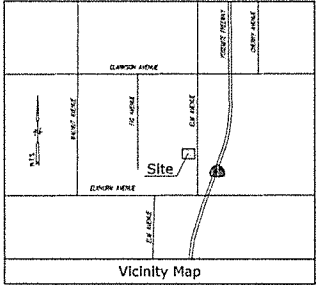
BEACON DEVELOPMENT, LLC
3 ROVELINA LANE
Petaluma, CA 94952

DRAWN BY: SJS CHK: MIF APPV: MIF

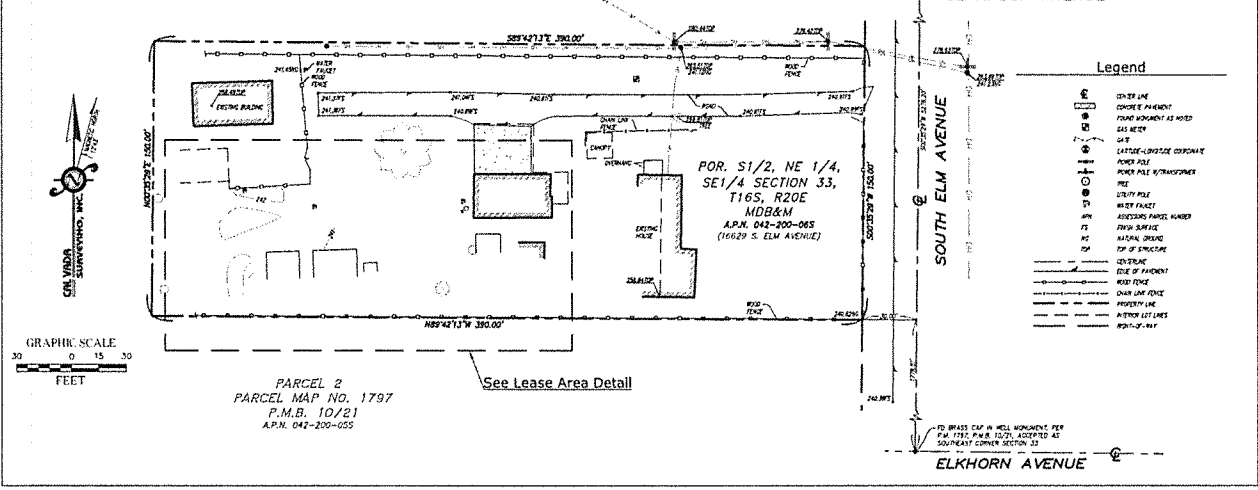
LICENSER:

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
T-2



Boundary Detail
SCALE: 1"=30'



GRAPHIC SCALE
0 15 30
FEET

Title Report
THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.
PREPARED BY:
CALVADA, INC.
DATED:

Legal Description (PER 006-21-18-00184923)
THE SOUTH 140 FEET OF THE NORTH 120 FEET OF THE EAST 100 FEET OF SOUTH ONE-HALF OF 3400 AND NORTHWEST ONE-FOURTH OF THE SOUTHWEST ONE-FOURTH OF 3400 SECTIONS 33, TOWNSHIP 22S, RANGE 12E, SHERMAN COUNTY, CALIFORNIA.

Assessor's Parcel No.
042-200-085

Easements
NOT APPLICABLE

Access Route/Lease Area
TO BE DETERMINED

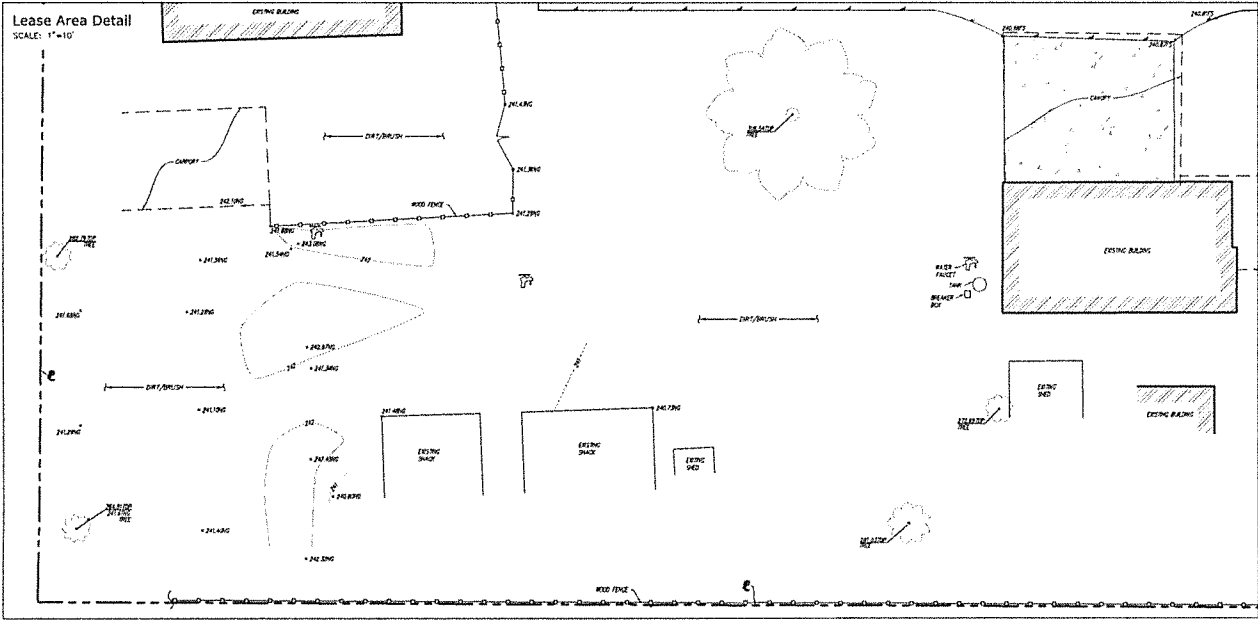
Geographic Coordinates
TO BE DETERMINED
1983 DATUM LATITUDE BY BE RECON; LONGITUDE BY BE RECON'S
ELEVATION = 3024 FEET ABOVE MEAN SEA LEVEL

Method of Bearings
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCORDING TO WITHIN 7.25 FEET HORIZONTALLY AND THE ELEVATIONS SHOWN ABOVE ARE ACCORDING TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATA (COORDINATE COMPONENTS) IS A RESULT OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DECIMAL DEGREES ('), MINUTES (") AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND. THE HEADING DATA (AZIMUTHS) IS A RESULT OF THE NORTH AMERICAN VERTICAL DATUM OF 1983 (NAVD 83) AND IS EXPRESSED TO THE NEAREST TENTH OF A DEGREE.

Basis of Bearings
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (CCS 83), ZONE 4. THIS DATUM, ADAPTED BY TECHNICAL REPORT TO 8015 OF THE CALIFORNIA PUBLIC RESOURCE CODE.

Bench Mark
THE CALIFORNIA BENCH REFERENCE CENTER CURR 9 3903, ELEVATION = 3025.34 FEET (3040.60)

Date of Survey
AUGUST 21, 2013



ELKHORN RD.
16629 S. ELM AVENUE
CARUTHERS, CA 93809
FRESNO COUNTY

CURRENT ISSUE DATE
01/30/19

ISSUED FOR:
DESIGN

REV.	DATE	DESCRIPTION	BY
01	03 19	ISSUED FOR PERMIT	FR

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
WSD ENGINEERING, INC.
9747 BUCKLEUP PARK AVENUE, STE 210
SAN DIEGO, CA 92131

CONSULTANT:
DRAWN BY: FR
CHK: GBM
APV:

LICENSER:
CALVADA
SURVEYING, INC.
415 JAMES EARL CARR DR., LORAIN, CA 93295
Phone 916-255-9095 Fax 916-255-9176
916-456-8924 www.calvada.com
CMAA 1818 1956A

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
S-1



PROJECT INFORMATION:
8311105
FIVE POINTS
 16622 S. ELM AVENUE
 CARUTHERS, CA 93609


CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/14/19	100% CONSTRUCTION DRAWING	SL
B	2/15/19	100% CONSTRUCTION DRAWING	SL
C	6/12/19	100% CONSTRUCTION DRAWING	SL
D	6/24/19	100% CONSTRUCTION DRAWING	SL
E	8/28/19	100% CONSTRUCTION DRAWING	SL

PROJECT ARCHITECT/ENGINEER:

WSD
 Engineering, Inc.
 2155 N. PASTORAL CIRCLE, SUITE 100
 LIVERMORE, CA 94551

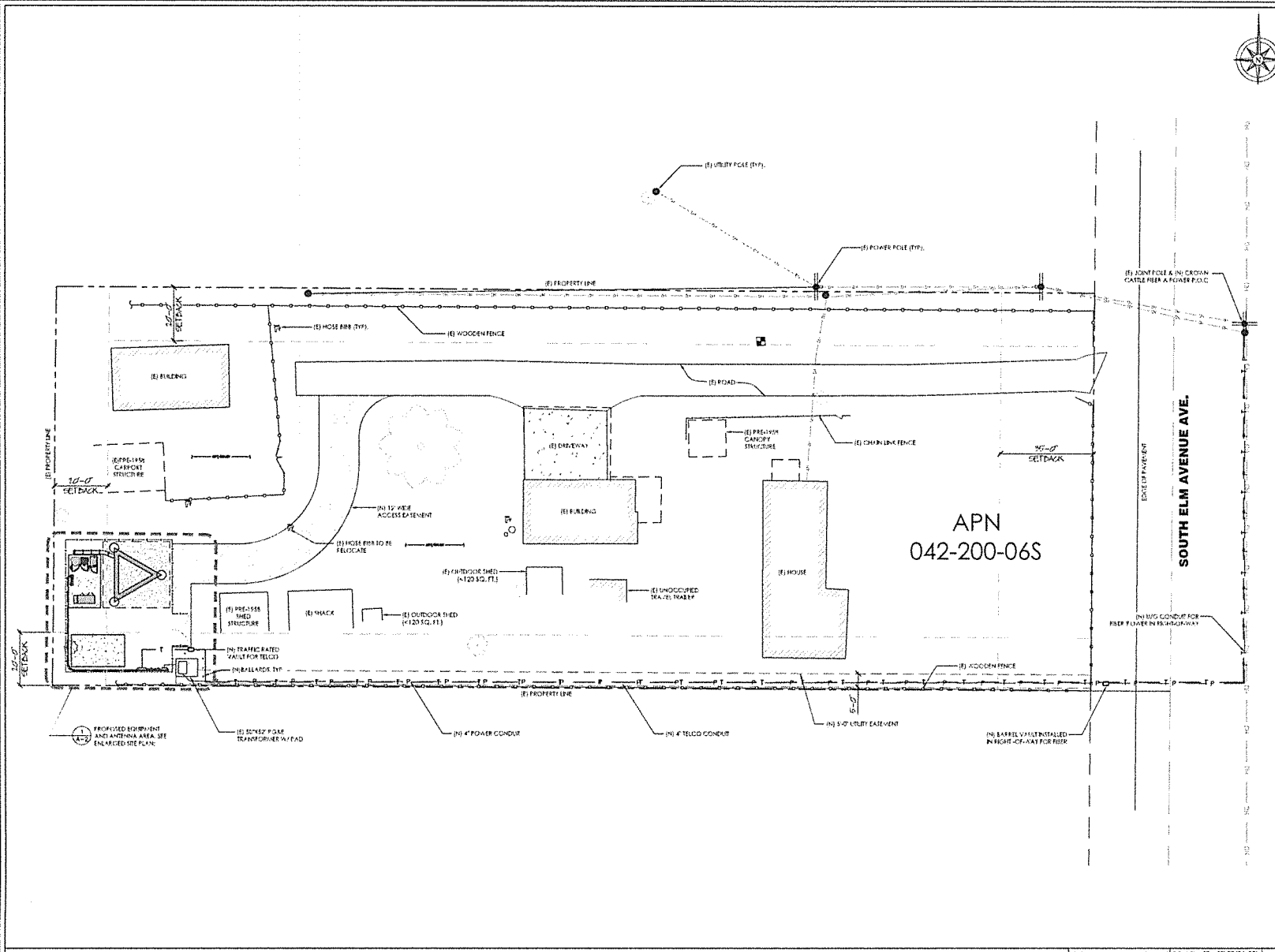
CONSULTANT:

BEACON DEVELOPMENT, LLC
 3 ROVELINA LANE
 PETALUMA, CA 94952

DRAWN BY: CHK. APV.
 SJS M.F. M.F.



SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
A-1



OVERALL SITE PLAN

SCALE: 1" = 40'-0" (24:31)
 1/8" = 10'-0" (11:47)



PROJECT INFORMATION:
8311105
FIVE POINTS
 16529 91. ELM AVENUE
 CARUTHERS, CA 93820


CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

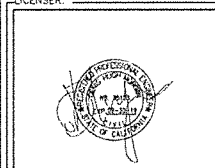
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B	2/15/19	100% CONSTRUCTION DRAWING	SS
C	8/12/19	100% CONSTRUCTION DRAWING	SS
D	8/24/19	100% CONSTRUCTION DRAWING	SS
1	8/28/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:

WSD
 Engineering, Inc.
 2155 LAS FORDS COURT, SUITE 100
 JEROME, CA 95953

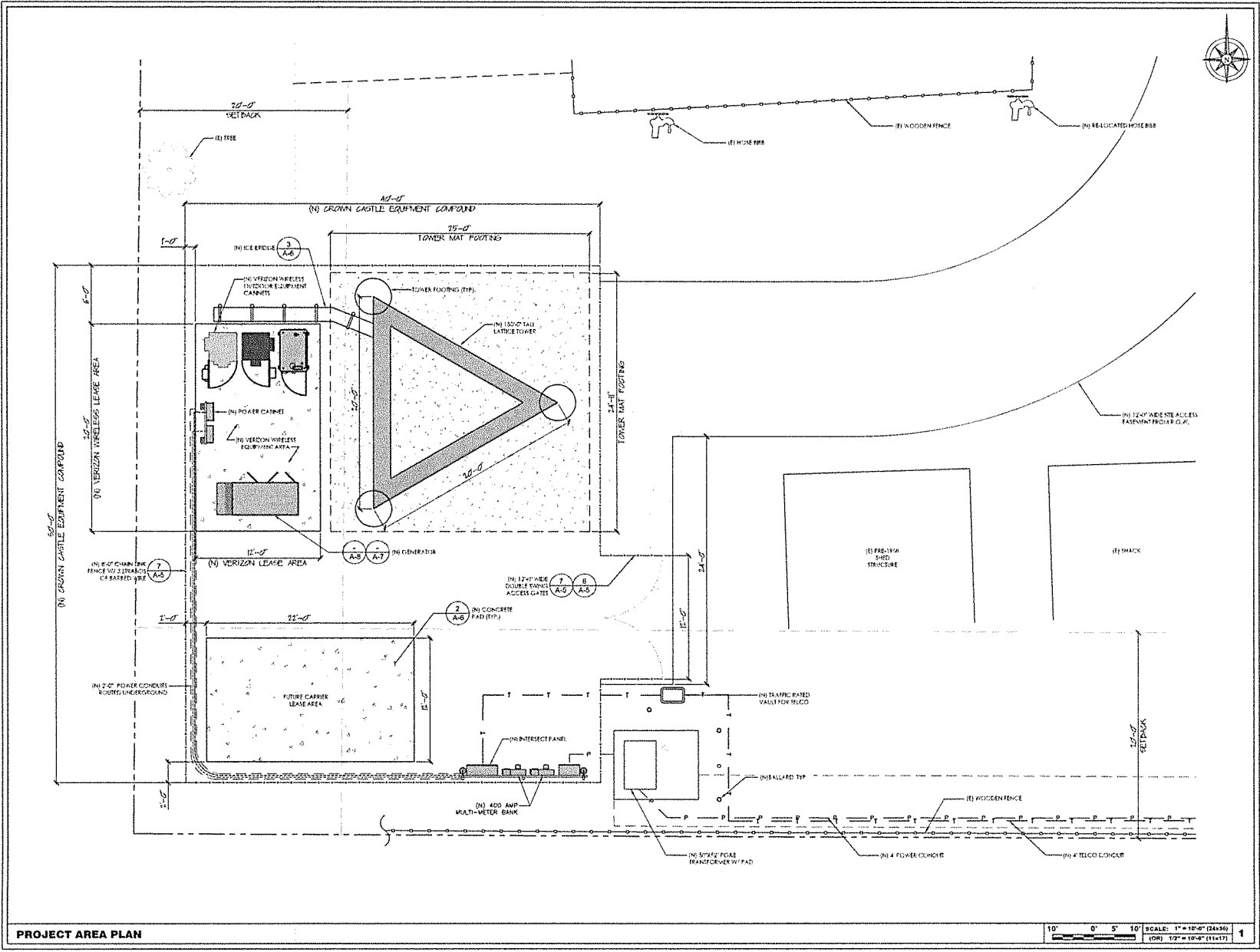
CONSULTANT:

BEACON DEVELOPMENT, LLC
 3 KOVENA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS CHK. MIF APV. MIF



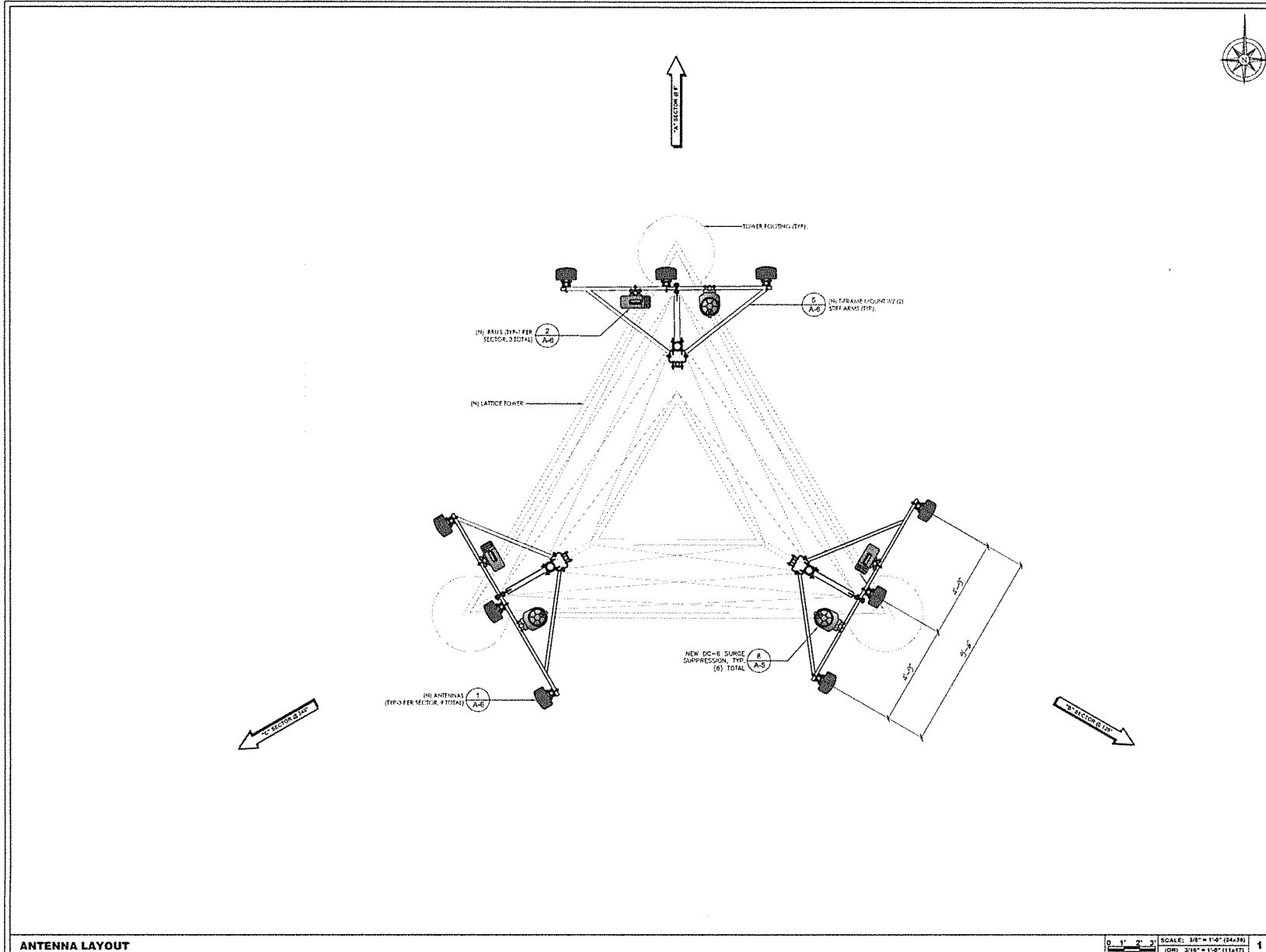
SHEET TITLE:
PROJECT AREA PLAN

SHEET NUMBER:
A-2



PROJECT AREA PLAN

SCALE: 1" = 10'-0" (24:30)
 (CON) 1/2" = 10'-0" (114:30)



PROJECT INFORMATION:
8311105
FIVE POINTS
 14629 S. ELI AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

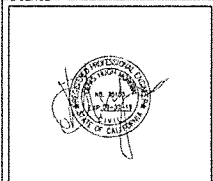
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	4/18/19	100% CONSTRUCTION DRAWING	AS
B	5/15/19	100% CONSTRUCTION DRAWING	SC
C	8/12/19	100% CONSTRUCTION DRAWING	SC
D	8/24/19	100% CONSTRUCTION DRAWING	SC
E	8/28/19	100% CONSTRUCTION DRAWING	SC

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 DBA WSD Engineering Inc.
 2155 LAY HOLLOW ROAD, SUITE 100
 LIVERMORE, CA 94551

CONSULTANT:
BEACON DEVELOPMENT, LLC
 3 ROVENA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
 CHK: M/F
 AFV: M/F



SHEET TITLE:
ANTENNA LAYOUT

SHEET NUMBER:
A-3

ANTENNA LAYOUT

SCALE: 3/8" = 1'-0" (24x39)
 (OR) 3/16" = 1'-0" (18x47)



PROJECT INFORMATION:
8311105
FIVE POINTS
 1602 S. ELM AVENUE
 CARUTHERS, CA 95609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/15/17	ISS CONSTRUCTION DRAWING	SS
B	3/12/17	ISS CONSTRUCTION DRAWING	SS
C	6/2/17	ISS CONSTRUCTION DRAWING	SS
D	6/2/17	ISS CONSTRUCTION DRAWING	SS
E	8/28/19	ISS CONSTRUCTION DRAWING	SS

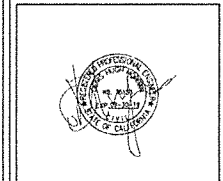
PROJECT ARCHITECT/ENGINEER:

 WSD
 Engineering, Inc.
 2105 LATHROP AVENUE, SUITE 104
 VANCOUVER, WA 98606

CONSULTANT:

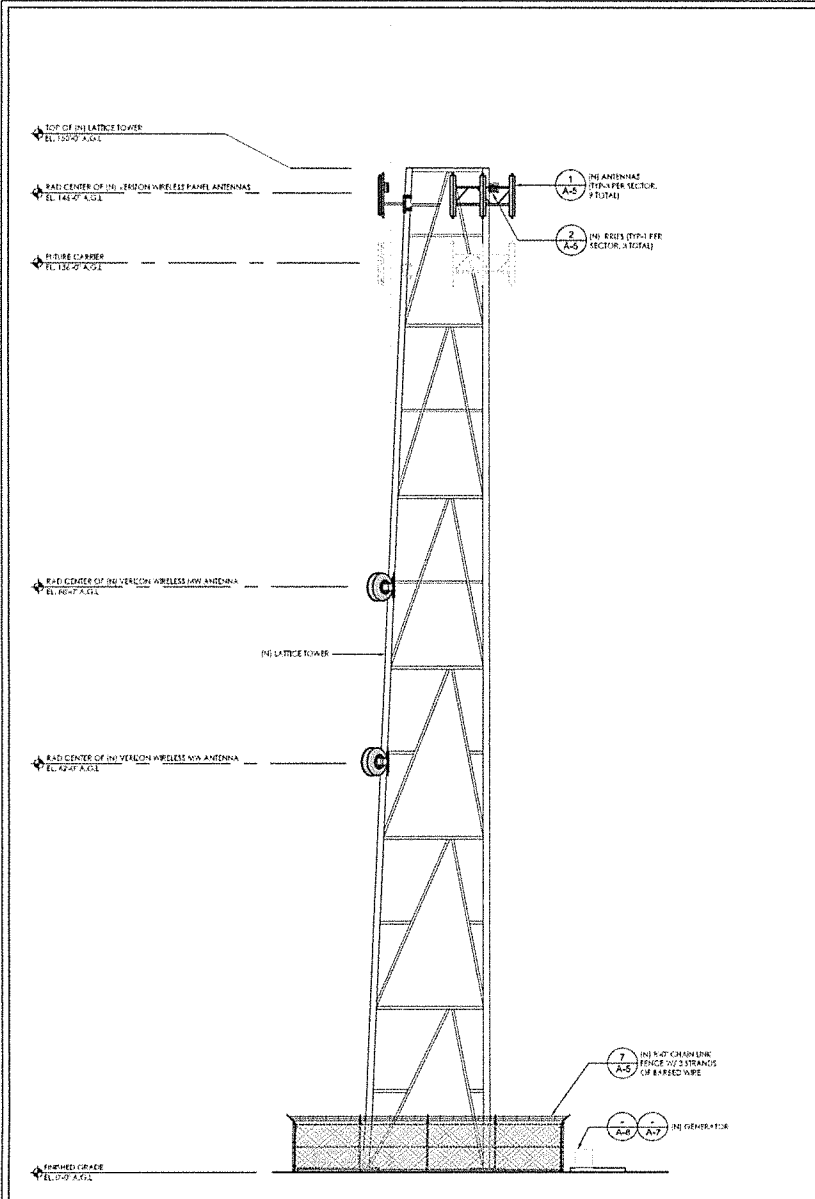
 BEACON DEVELOPMENT, LLC
 3 ROVENA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
 CHK: M/F
 APV: M/F

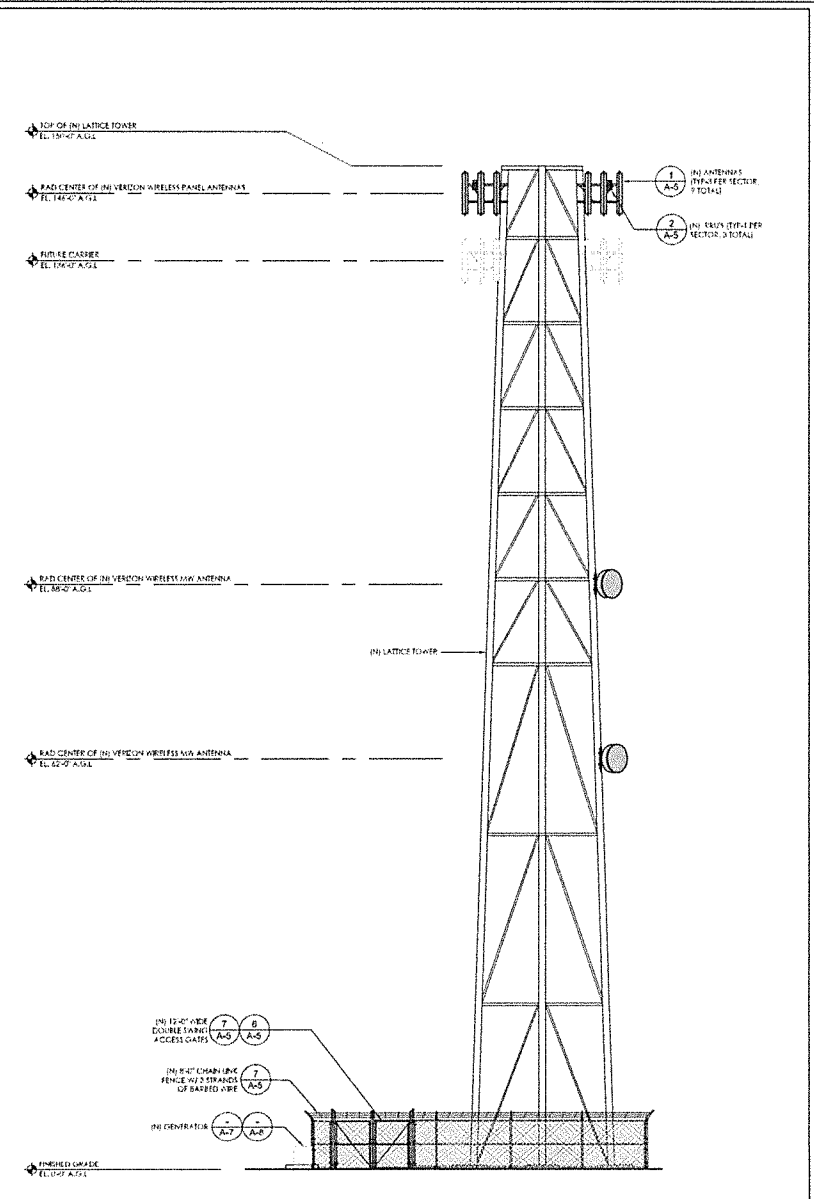


SHEET TITLE:
ELEVATIONS

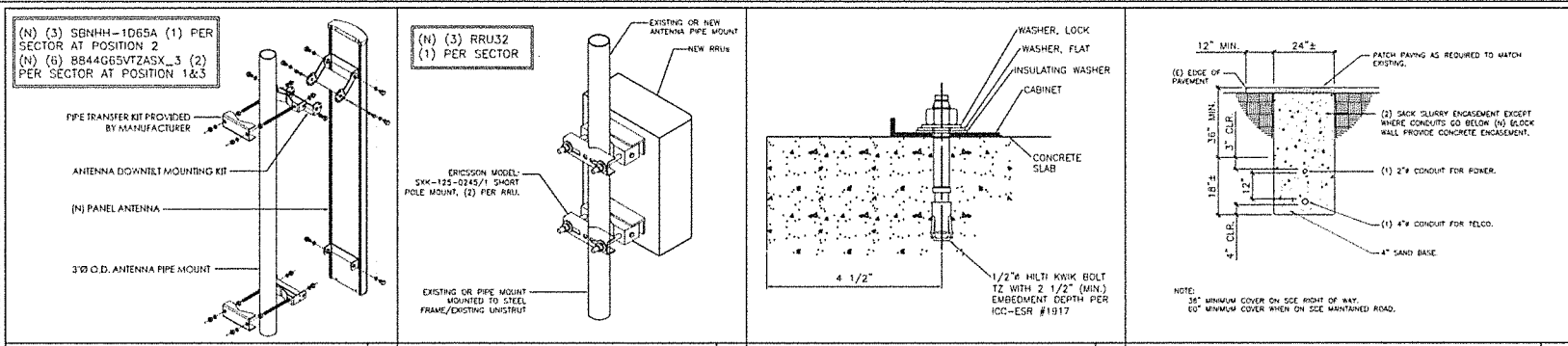
SHEET NUMBER:
A-4



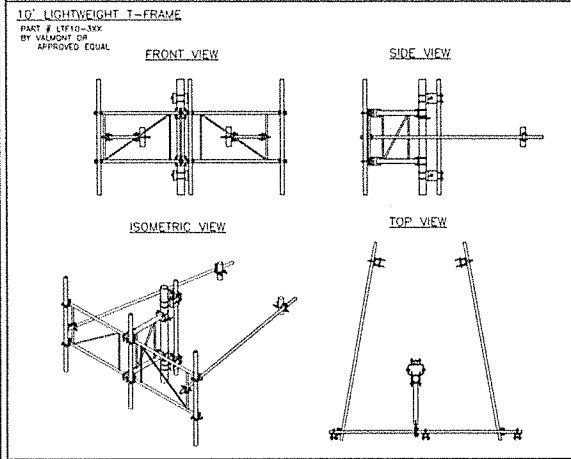
SOUTH ELEVATION SCALE: 1/8" = 1'-0" (24x36) (OR) 1/16" = 1'-0" (11x17) **1**



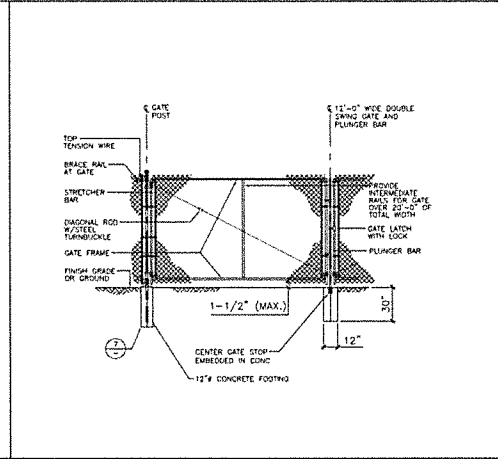
EAST ELEVATION SCALE: 1/8" = 1'-0" (24x36) (OR) 1/16" = 1'-0" (11x17) **2**



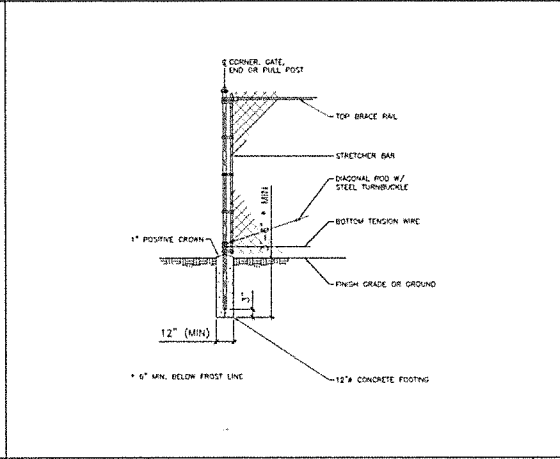
ANTENNA MOUNTING DETAIL | **1** **RRU MOUNTING DETAIL** | **2** **CABINET ANCHORAGE DETAIL** | **3** **UNDERGROUND TRENCH DETAIL** | **4**



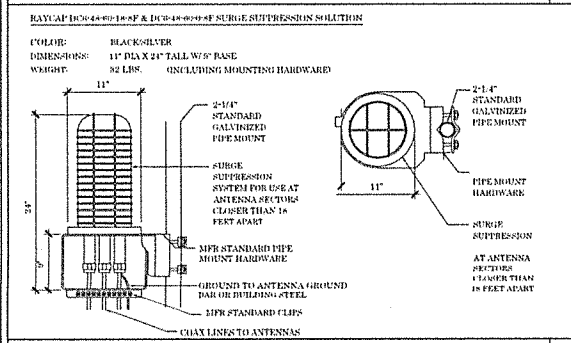
ANTENNA SUPPORT FRAME | **5**



DOUBLE SWING ACCESS GATE DETAIL | **6**



FENCE POST DETAIL | **7**



DC6-48-60-18 SURGE SUPPRESSOR | **8**



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 94509

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SL
B	2/13/19	100% CONSTRUCTION DRAWING	SL
C	4/2/19	100% CONSTRUCTION DRAWING	SL
D	4/24/19	100% CONSTRUCTION DRAWING	SL
E	4/24/19	100% CONSTRUCTION DRAWING	SL

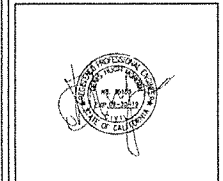
PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 2155 LAFORGE COURT, SUITE 101
 LIVERMORE, CA 94551

CONSULTANT:

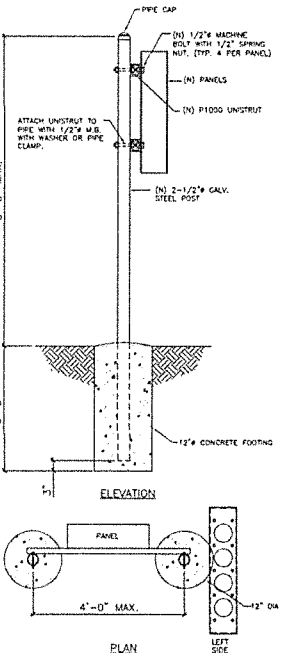
 BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS **CHK:** MF **APPV:** MF



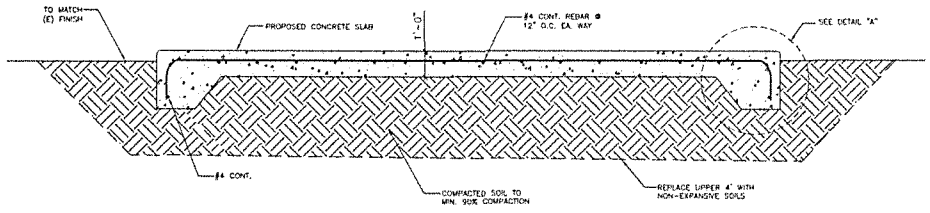
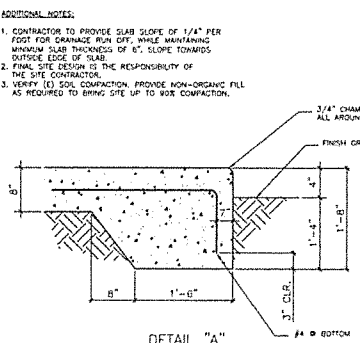
SHEET TITLE:
DETAILS

SHEET NUMBER:
A-5



STANDARD CONCRETE NOTES:

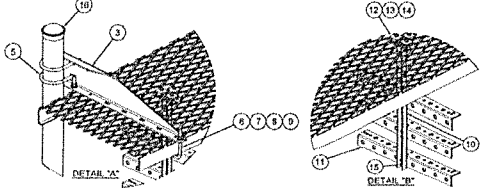
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301-89, ACI 318-85 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, REFERRED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 CONCRETE CAST AGAINST EARTH.....3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #5 AND LARGER.....2 IN.
 #5 AND SMALLER & WWF.....1-1/2 IN.
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB AND WALL.....3/4 IN.
 BEAMS AND COLUMNS.....1-1/2 IN.
5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.D. IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. HOLES TO RECEIVE EXPANSION/ANODE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, CONE OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOGS ARE NOT TO BE CUT AND CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
7. USE AND INSTALLATION OF CONCRETE EXPANSION/ANODE ANCHORS SHALL BE PER ACI 408 & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.



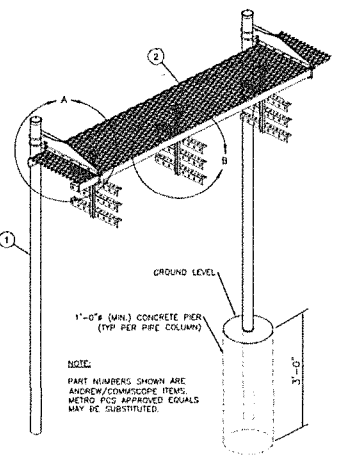
H-FRAME DETAIL

1 CONCRETE PAD DETAIL

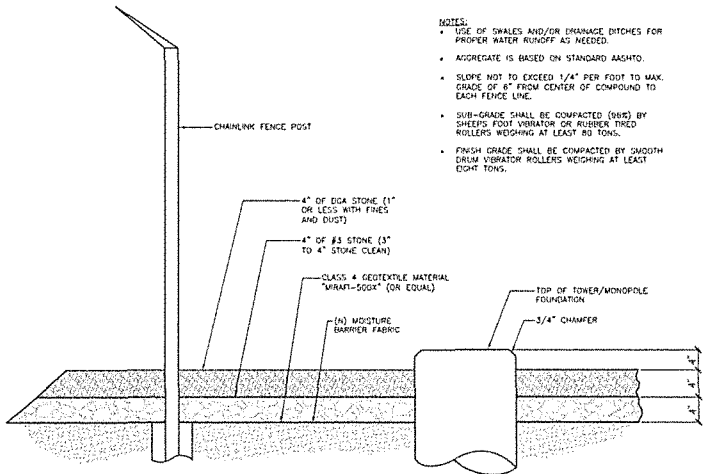
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MF-130	DIRECT BURIAL PIPE COLUMN, 1 1/2" - 4"	2	300.91 LBS
2	WB-CV210	SAFETY GRATING 24" X 10" X 12 GAUGE	1	80.01 LBS
3	WEL24X10	24" WAVELENGTH BRIDGE SUPPORT BRACKET	2	112.12 LBS
4	HWB21DRH	HARDWARE KIT (ITEMS-16)	1	
5	GUB-4256	1/2" X 3-5/8" X 6" GALV U-BOLT KIT	4	0.82 LBS
6	WB-UB-6	1/2" U-BOLT	4	0.49 LBS
7	GW-F-04	1/2" GALV FLAT WASHER	4	0.04 LBS
8	GW-L-04	1/2" GALV LOCK WASHER	4	0.04 LBS
9	GW-N-04	1/2" GALV NUT	4	0.14 LBS
10	HWF243-01	VERTICAL TRAPEZOID SECTION	3	2.55 LBS
11	HWF243-02	HORIZONTAL TRAPEZOID SECTION	9	2.80 LBS
12	WT-587	SQUARE WASHER, 1 1/2" X 1 1/2" W/ 7/16" HOLE	18	0.11 LBS
13	GB-03205	3/8" X 2" GALV BOLT KIT	9	0.08 LBS
14	GW-F-03	3/8" GALV FLAT WASHER	9	0.04 LBS
15	GB-03105	3/8" X 1" GALV BOLT KIT	18	0.08 LBS
16	PC-034	PIPE CAP 3-1/2"	2	0.34 LBS



ICE BRIDGE DETAIL



3 COMPOUND GRAVEL COVER DETAIL



NOTES:

- USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
- AGGREGATE IS BASED ON STANDARD AASHTO.
- SLOPE NOT TO EXCEED 1/4" PER FOOT TO MAINTAIN FINISH GRADE TO CENTER OF COMPOUND TO EACH FENCE LINE.
- SUB-GRADE SHALL BE COMPACTED (98%) BY SHEEPS FOOT VIBRATOR OR RUBBER Tired ROLLERS WEIGHING AT LEAST 10 TONS.
- FINISH GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST EIGHT TONS.



PROJECT INFORMATION:
8311105
FIVE POINTS
 16520 S. ELAM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

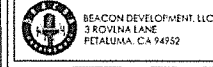
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
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B	08/28/19	100% CONSTRUCTION DRAWING	MF
C	08/28/19	100% CONSTRUCTION DRAWING	MF
D	08/28/19	100% CONSTRUCTION DRAWING	MF
E	08/28/19	100% CONSTRUCTION DRAWING	MF

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: SJS
 CHK: MIF
 APP: MIF

LICENSER:



SHEET TITLE:

DETAILS

SHEET NUMBER:

A-6



PROJECT INFORMATION:
8311105
FIVE POINTS
 16825 S. ELI AVENUE
 CAROLINA, CA 95008

CURRENT ISSUE DATE: **08/28/19**
 ISSUED FOR:

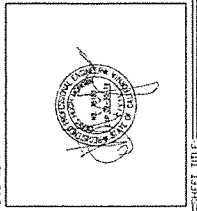
100% CONSTRUCTION
DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/15/17	ISSUE FOR CONSTRUCTION	SK
B	3/15/19	ISSUE FOR CONSTRUCTION	SK
C	6/2/19	ISSUE FOR CONSTRUCTION	SK
D	6/27/19	ISSUE FOR CONSTRUCTION	SK
E	8/15/19	ISSUE FOR CONSTRUCTION	SK

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 3100 S. ELI AVENUE
 CAROLINA, CA 95008

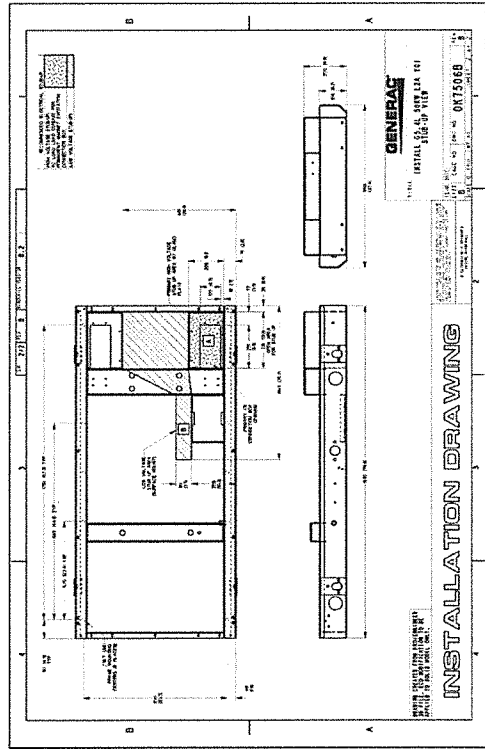
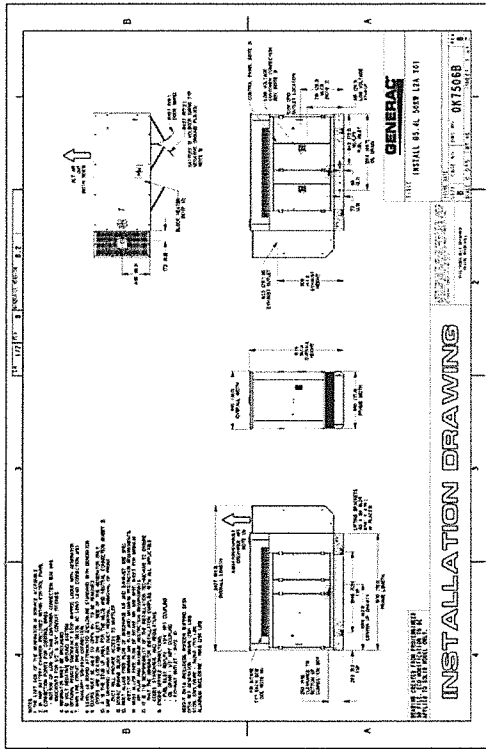
CONTRACTOR:
BEACON DEVELOPMENT, LLC
 3 RIVINGTON LANE
 FETTERDALE, CA 94732

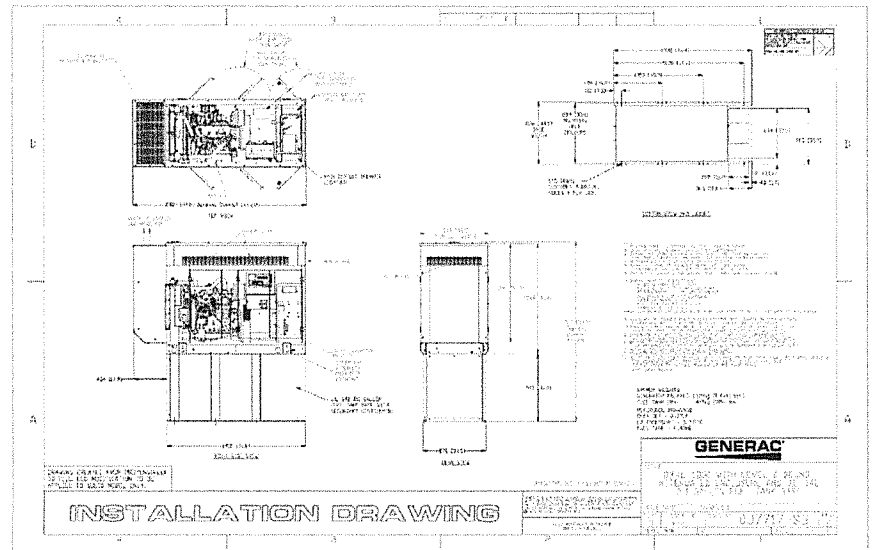
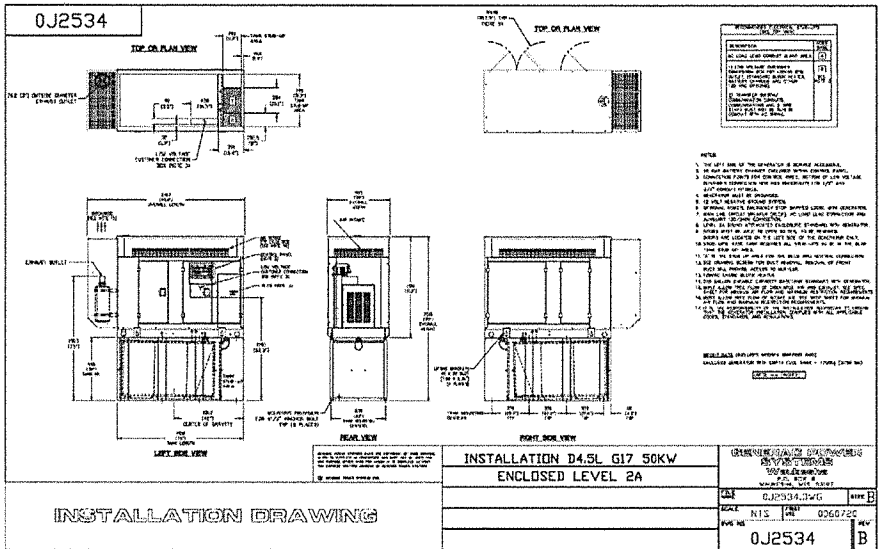
DRAWN BY: **SK**
 CHECKED BY: **MF**
 DATE: **08/28/19**



SHEET TITLE:
DETAILS

SHEET NUMBER:
A-7





PROJECT INFORMATION:
8311105
FIVE POINTS
 16223 S. ELM AVENUE
 CARUTHERS, CA 95609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/23/19	ISS CONSTRUCTION DRAWING	SS
B	2/22/19	ISS CONSTRUCTION DRAWING	SS
C	4/12/19	ISS CONSTRUCTION DRAWING	SS
D	4/24/19	ISS CONSTRUCTION DRAWING	SS
E	4/24/19	ISS CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2155 LA FORTUNA COURT, SUITE 111
 LIVERMORE, CA 94551

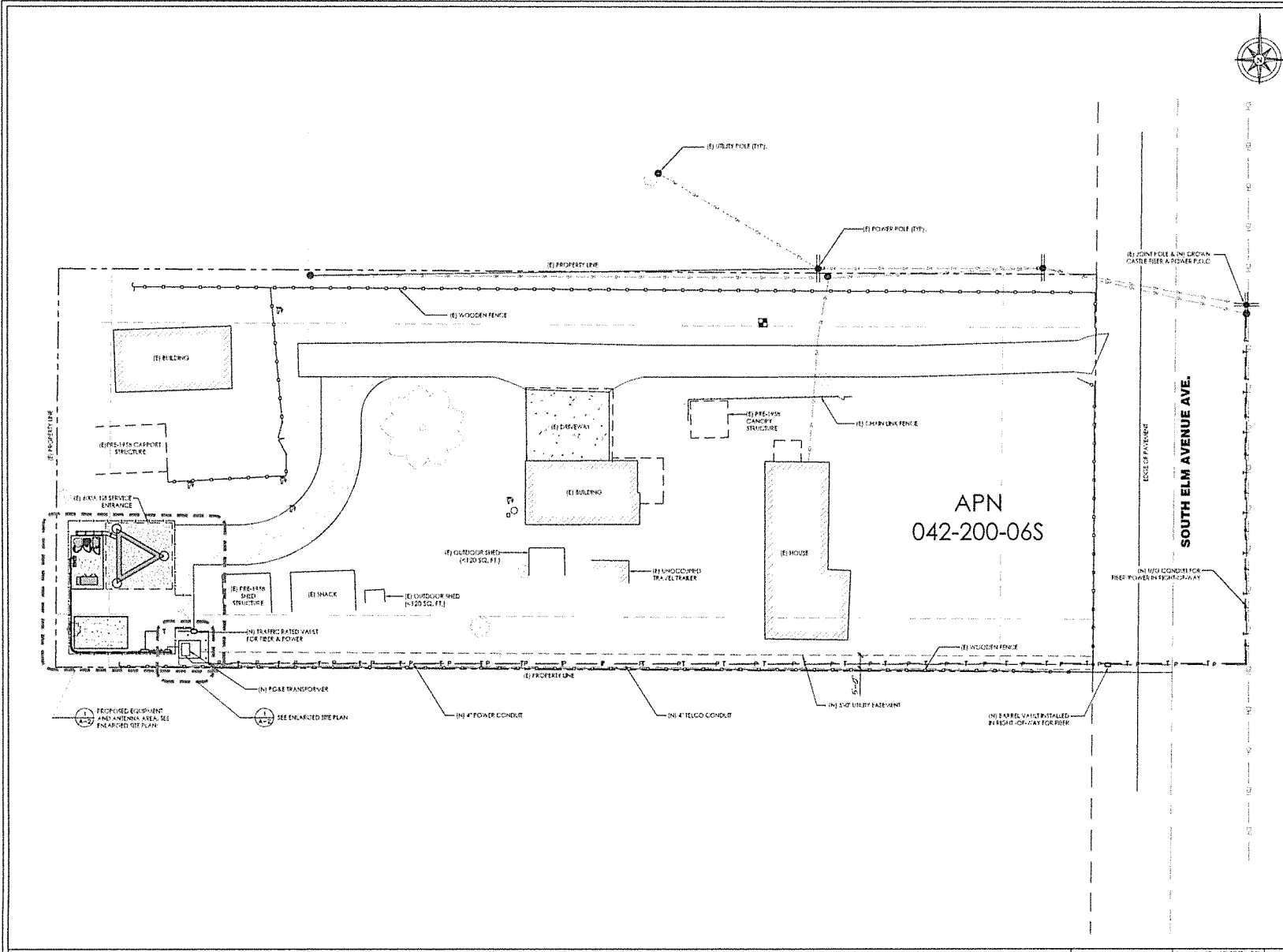
CONSULTANT:
BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952

DRAWN BY: **SJS** CHK: **MIF** APV: **MIF**



SHEET TITLE:
DETAILS

SHEET NUMBER:
A-8



PROJECT INFORMATION:
8311105
FIVE POINTS
 1920 S. ELM AVENUE
 CARUTHERS, CA 93009


CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

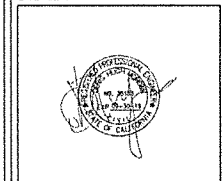
REV.	DATE	DESCRIPTION	BY
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B	3/15/19	100% CONSTRUCTION DRAWING	SS
C	6/12/19	100% CONSTRUCTION DRAWING	SS
H	6/24/19	100% CONSTRUCTION DRAWING	SS
I	8/26/19	100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:

WSD
 Engineering, Inc.
 3155 LANTANA BOULEVARD, SUITE 100
 LIVERMORE, CA 94551

CONSULTANT:

BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952

DRAWN BY: CHK. APV.
 SSJ MIF MIF



SHEET TITLE:
UTILITY SITE PLAN

SHEET NUMBER:
E-1

UTILITY SITE PLAN

SCALE: 1" = 40'-0" (24x36)
 (OR) 1/2" = 40'-0" (11x17)

ELECTRIC LEGEND

- (M) MECHANICAL INTERLINK
- (W) WETER
- ⏏ CIRCUIT BREAKER
- ⊥ SERVICE GROUND
- WIRED CONNECTION
- ⏏ TIMER SWITCH, WATERPROOF
- ⊗ OUTDOOR LIGHT
- ⊕ GFI OUTLET, WATERPROOF

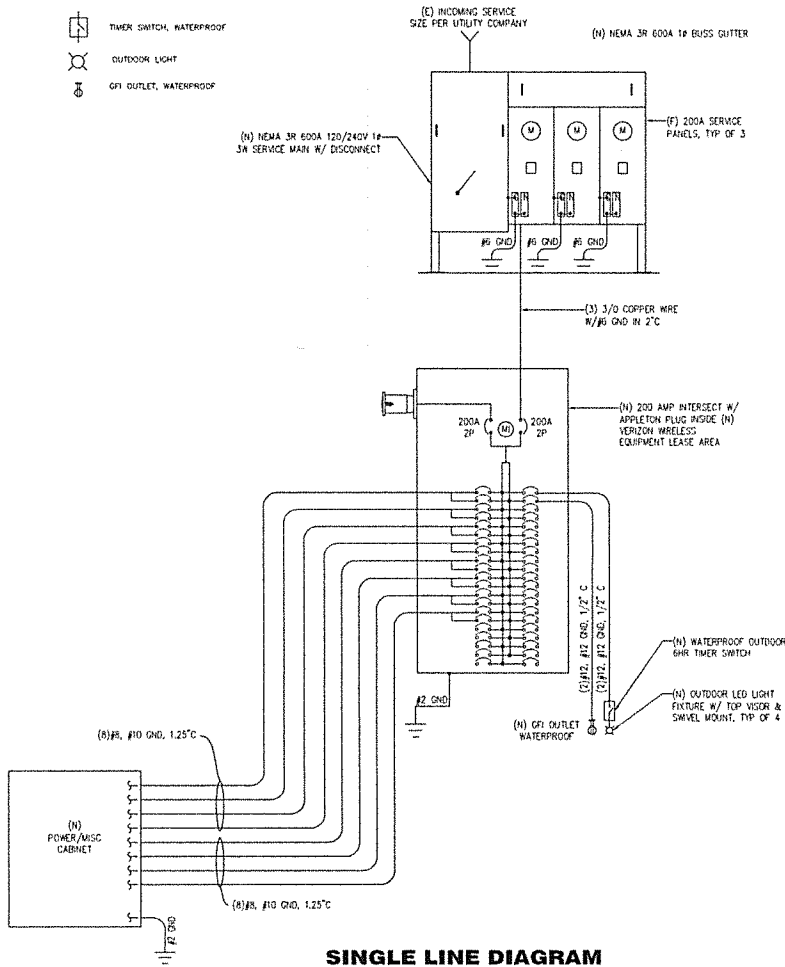
ELECTRIC NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AS WELL AS ALL APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, CONDUCTORS, PULL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
- ALL ELECTRICAL ITEMS SHALL BE UL APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
- ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C OR AS REQUIRED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY A APPLICABLE CODES.
- ELECTRICAL WIRING SHALL BE COPPER #12 AWG WITH TYPE XHHW, THWN, OR THHN INSULATION.
- ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
- ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
- A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
- WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.

CARRIER	Ø	kVA
VERIZON	1	35 kVA
AT&T	1	31 kVA
CROWN CASTLE	1	19 kVA
TOTAL		85 kVA

120/240V PANEL SCHEDULE

NAMEPLATE : PANEL A		LOCATION : AT EQUIPMENT		MOUNTING : GUY WALL		SIC LEVEL : 10,000		VOLTS : 120V/240V, 1Ø	
								BUS AMPS: 200A	
								MAIN CB: 200A	
BA	BB	LOAD DESCRIPTION	BKR AMP / POLE	CIRCUIT NO	BKR AMP / POLE	LOAD DESCRIPTION	BA	BB	
LOAD VA	LOAD VA						LOAD VA	LOAD VA	
2292	2292	RECTIFIER 1	30/2	1	2	TECH LIGHT	300		
				3	4	GFI RECEPTACLE		180	
2292	2292	RECTIFIER 2	30/2	5	6	BLANK			
				7	8				
2292	2292	RECTIFIER 3	30/2	9	10				
				11	12				
2292	2292	RECTIFIER 4	30/2	13	14				
				15	16				
2292	2292	RECTIFIER 5	30/2	17	18				
				19	20				
2292	2292	RECTIFIER 6	30/2	21	22				
				23	24				
2292	2292	RECTIFIER 7	30/2	25	26				
				27	28				
2292	2292	RECTIFIER 8	30/2	29	30				
				31	32				
				33	34				
				35	36				
				37	38				
				39	40				
				41	42				
18536	16044	PHASE TOTALS				PHASE TOTALS	300	180	
TOTAL VA =	34680	TOTAL AMPS =	145						



SINGLE LINE DIAGRAM



PROJECT INFORMATION:
831105
FIVE POINTS
 16029 S. ELM AVENUE
 CARUTHERS, CA 95609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	ISSUE CONSTRUCTION DRAWING	MS
B	2/12/19	ISSUE CONSTRUCTION DRAWING	MS
C	6/12/19	ISSUE CONSTRUCTION DRAWING	MS
D	8/24/19	ISSUE CONSTRUCTION DRAWING	MS
E	8/28/19	ISSUE CONSTRUCTION DRAWING	MS

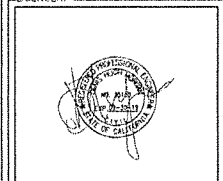
PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 2155 LAKEFOUR COUNTRY LANE
 LIVERMORE, CA 94551

CONSULTANT:

 BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETALUMA, CA 94952

DRAWN BY: CHK
 MIF
 MIF



SHEET TITLE:
SINGLE LINE DIAGRAM AND PANEL SCHEDULE

SHEET NUMBER:
E-2

PROJECT GENERAL NOTES

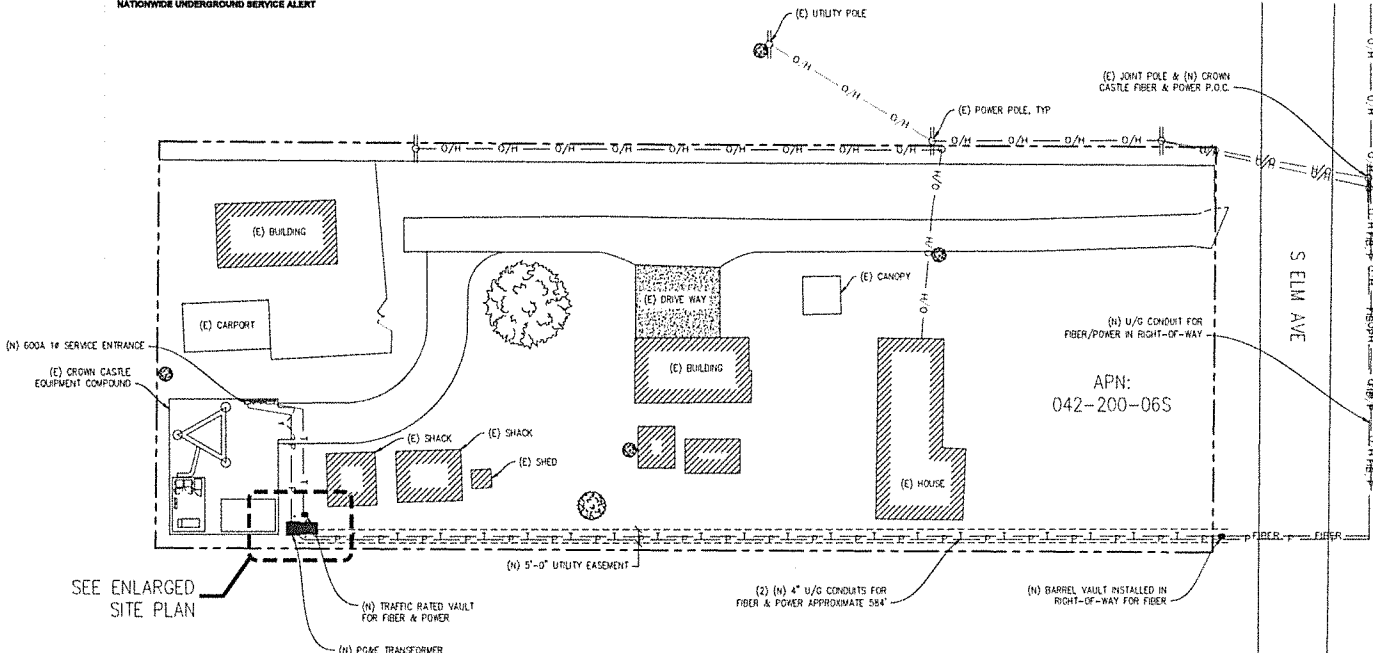
1. THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE.
3. THE SCOPE OF WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR PERMIT FEES, AND TO OBTAIN SAID PERMITS AND TO COORDINATE INSPECTIONS.
6. THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
7. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
8. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LEGAL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
9. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL ALSO COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
10. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER.
11. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
12. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED, OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
13. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND ALL OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES.
14. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
15. THE CONTRACTOR SHALL PROVIDE A TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
16. SUFFICIENT DOCUMENTATION WAS NOT RECEIVED TO ESTABLISH THE POSITION OF THE BOUNDARY LINES SHOWN HEREON. THE BOUNDARY REPRESENTED ON THIS MAP IS BASED ON COMPILED RECORD DATA AND BEST FIT ONTO EXISTING IMPROVEMENTS. IT IS POSSIBLE FOR THE LOCATION OF THE SUBJECT PROPERTY TO SHIFT FROM THE PLACEMENT SHOWN HEREON WITH ADDITIONAL FIELD WORK AND RESEARCH. THEREFORE, ANY SPATIAL REFERENCE MADE OR SHOWN BETWEEN THE RELATIONSHIP OF THE BOUNDARY LINES SHOWN HEREON AND EXISTING GROUND FEATURES, EASEMENTS OR LEASE AREA IS INTENDED TO BE APPROXIMATE AND IS SUBJECT TO VERIFICATION BY RESOLVING THE POSITION OF THE BOUNDARY LINES.
17. THE CONTRACTOR TO VERIFY THE LATEST/CURRENT RF DESIGN.
18. WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE SEPARATE PLANS, SPECIFICATIONS, FEES AND PERMITS FOR ANY REVISION TO ANY FIRE SPRINKLER AND/OR ALARM SYSTEM ON THE PREMISES AS MAY BE NEEDED TO COMPLETE THE WORK DEPICTED HEREON, USING A C-10 LICENSED SUBCONTRACTOR FOR ALL SUCH WORK.

TRENCHING NOTES

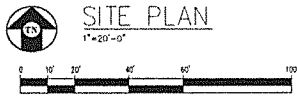
1. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
2. VERIFY ALL TRENCHING REQUIREMENTS WITH SERVING UTILITIES.
3. RESTORE GRADE TO ORIGINAL CONDITION OR BETTER.
4. RETURN FILL TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM STANDARDS.
5. RESTORE CUT CONCRETE OR ASPHALT TO ORIGINAL CONDITION OR BETTER.



At all services & grounding trenches, provide "WARNING" tape at 12" below grade.



SEE ENLARGED SITE PLAN



FIVE POINTS

814686
16629 S ELM AVE
CARUTHERS, CA 94609

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	05/28/19	ED, 50%	D.G.

DRAWN BY: D. GARCIA
CHECKED BY: S. SAVIG
APPROVED BY: -
DATE: 05/28/19

Streamline Engineering
COMMUNICATIONS
8445 Sierra College Blvd., Suite E, Glenn, CA 95746
P: 530-291-1100
E: Mike_Kovacs@streamlineeng.com Fax: 530-660-1941

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
54469

CROWN CASTLE
4001 HACIENDA DR., SUITE 410
PLEASANTON, CA 94688

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1

FIVE POINTS

814686
HARDENHAINVE
1 SARTHERS VA 20199

ISSUE STATUS	
DATE	BY
05/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.
01/26/19	D.S.

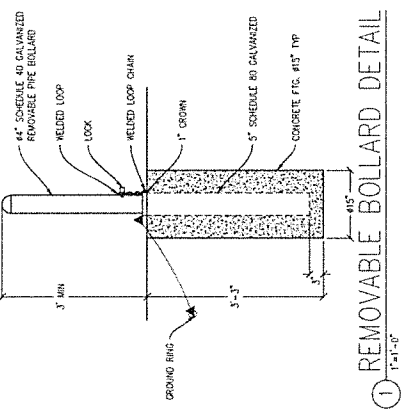
DRAWN BY: D. GARCIA
CHECKED BY: S. SANG
APPROVED BY: -
DATE: 05/26/19

Streamline Engineering
Civil Design Inc.
8445 Swira College Blvd, Suite E, Orange Bay, CA 92746
Contact: Kevin G. Decker, P.E., 951-850-1000
E-Mail: kevin@streamlineeng.com Fax: 916-650-1941

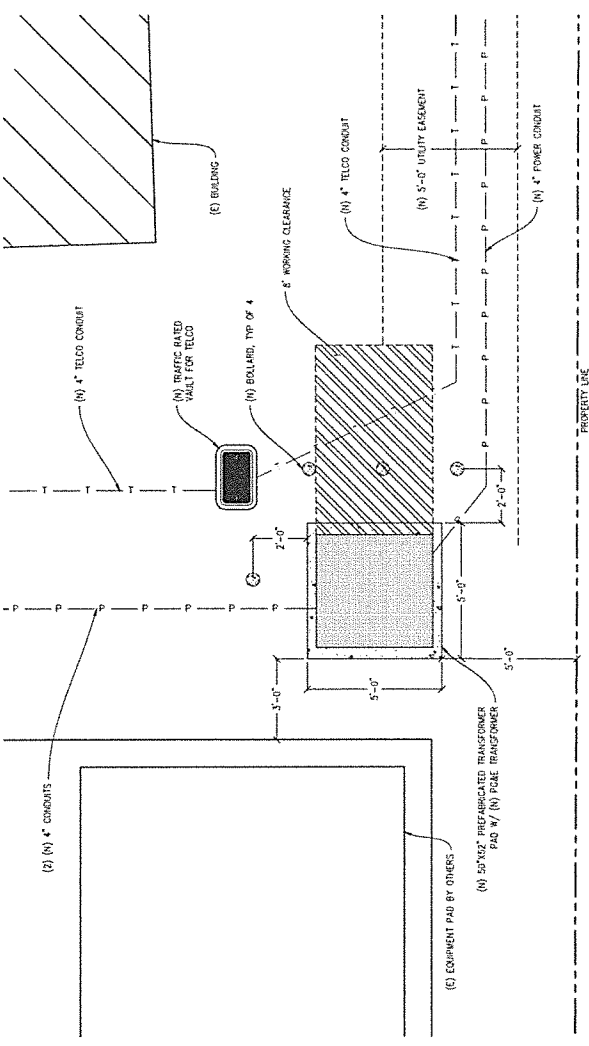
PRELIMINARY:
NOT FOR
CONSTRUCTION
KEVIN R. SORESEN
54469

CROWN CASTLE
4201 HACIENDA DR, SUITE 410
PLEASANTON, CA 94588

SHEET TITLE:	ENLARGED SITE PLAN
SHEET NUMBER:	A-2



① REMOVABLE BOLLARD DETAIL
1'-1'-0"



At all services & generating facilities, provide
"WARNING" signs at 15' before grade.
CALL BEFORE YOU DIG
811
NATIONWIDE UNDERGROUND SERVICE ALERT

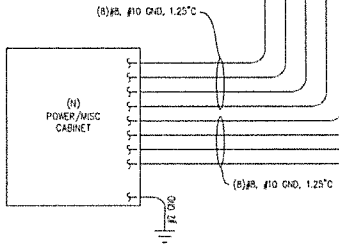
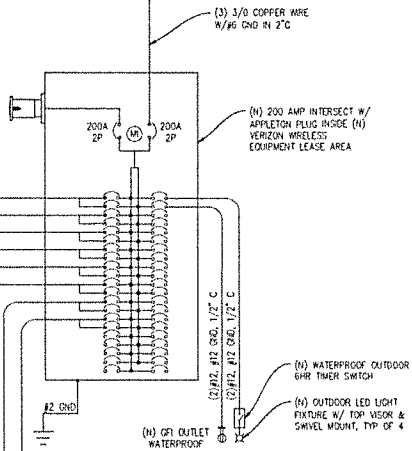
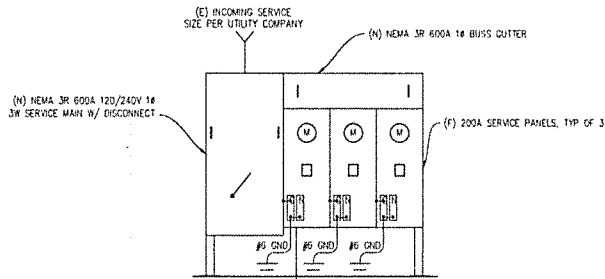
ENLARGED SITE PLAN
8'-1'-0"
0 1 2 3 4 5 6 7 8 9 10
10'

ELECTRIC LEGEND

- (M) METER
- ⊖ CIRCUIT BREAKER
- ⊕ SERVICE GROUND
- WIRED CONNECTION
- 7 TIMER SWITCH, WATERPROOF
- ⊗ OUTDOOR LIGHT
- ⊕ GFI OUTLET, WATERPROOF

At all services & grounding trenches, provide "WARNING" tape at 1' below grade.

CALL
"CALL BEFORE YOU DIG"
811
NATIONWIDE UNDERGROUND SERVICE ALERT



SINGLE LINE DIAGRAM

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE 2016 CEC AS WELL AS ALL ADOPTED STANDARDS, APPLICABLE STATE AND LOCAL CODES.
2. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, CONDUCTORS, PIAL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
4. ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C. OR AS REQUIRED.
5. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
6. ELECTRICAL WIRING SHALL BE COPPER #12 AWG MIN WITH TYPE THHN, THWN-2 OR THW-2, INSULATION RATED FOR 90°C DRY OR 75°C WET.
7. ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
8. ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
9. A GROUND WIRE IS TO BE FULLED IN ALL CONDUITS.
10. WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATER-TIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.
11. WHERE PLANS CALL FOR A NEW ELECTRICAL SERVICE, PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VERIFY PLAN DETAILS WITH THE UTILITY'S SERVICE PLAN & REQUIREMENTS INCLUDING SERVICE VOLTAGE, METER LOCATION, MAIN DISCONNECTING MEANS, AND AIC REQ'T, AND SHALL OBTAIN CLARIFICATION FROM THE PROJECT ENGINEER ON ANY DEVIATIONS FOUND IN THESE PLANS.
12. WHERE THESE PLANS SHOW A DC POWER PLANT, THE INSTALLATION OPERATING AT LESS THAN 50 VDC UNGROUNDED, 2-WIRE, SHALL COMPLY WITH ARTICLE 720, AS FOLLOWS:
 - A. POWER PLANT SHALL BE SUPPLIED BY THE WIRELESS CARRIER AS A PULL-TAG ITEM AND INSTALLED BY THE CONTRACTOR.
 - B. CONDUCTORS SHALL NOT BE SMALLER THAN #12 AWG COPPER MIN. CONDUCTORS FOR BRANCH CIRCUITS SUPPLYING MORE THAN ONE APPLIANCE SHALL BE 10 AWG CU MIN. CONTRACTOR SHALL SIZE CONDUCTORS BASED ON WFO'S DATA FOR THE APPLIANCE SERVED.
 - C. THERE ARE NO DC RECEPTACLES OR LUMINAIRES ALLOWED ON THIS PROJECT. ALL CIRCUITS SHALL ORIGINATE AT AN INTEGRATED DOUBLE LUG TAP OR SOCKET TERMINATION ON AN INTEGRATED DC CIRCUIT BREAKER AT AN INDIVIDUAL RECTIFIER MODULE AND TERMINATE AT THE SPECIALIZED LUG ON THE RESPECTIVE APPLIANCE AS A SINGLE RUN OF WIRE WITHOUT SPLICES. ALL DC WIRING SHALL BE LABELED AT THE DC PLANT WITH THE APPLIANCE SERVED AND THE DC VOLTAGE.
 - D. ALL CABLING SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER AND SUPPORTED BY BUILDING STRUCTURE, EG. (N) CABLE TRAY OVERHEAD, IN SUCH A MANNER THAT THE CABLE WILL NOT BE DAMAGED BY NORMAL USE.

GROUNDING NOTES

1. GROUNDING SHALL COMPLY WITH CEC ARTICLE 250.
2. USE #2 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
3. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
4. EXPOSED GROUNDING CONNECTIONS SHALL BE MADE WITH BURNDY HYDRODIP COMPRESSION TYPE CONNECTORS OR EXOTHERMIC WELDS AS SPECIFIED IN THE PLANS.
5. CONNECTIONS TO EQUIPMENT SHALL BE MADE USING STAINLESS STEEL HARDWARE.
6. APPLY BUTYL A ELECTRICAL TAPE OVER COOL SHRINK AT ALL LOCATIONS FOR WEATHER PROOFING OVER COAX GROUND KITS.
7. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS WITH STAR WASHERS AND HO-DK OR EQUIVALENT PLACED BETWEEN CONNECTOR AND GROUND BAR.
8. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS MAKE A 12" RADIUS BEND, HOWEVER, #6 WIRE CAN BE BENT AT A 6" RADIUS WHEN NECESSARY.
9. THE SYSTEM GROUND RESISTANCE MUST BE 10 OHMS OR LESS, TO ACHIEVE THIS LEVEL OF RESISTANCE THE CONTRACTOR SHALL PURSUE ONE OF THE FOLLOWING FOUR OPTIONS:
 - A. CONNECT TO EXISTING GROUNDING SYSTEMS
 - B. CONNECT TO BOLDING STEEL CONDUITS
 - C. INSTALL A NEW GROUNDING SYSTEM

- A. CONNECT TO EXISTING GROUNDING SYSTEMS
- B. CONNECT TO BOLDING STEEL CONDUITS
- C. INSTALL A NEW GROUNDING SYSTEM

UPON COMPLETION OF THE GROUNDING INSTALLATION THE CONTRACTOR SHALL EMPLOY AN OWNER APPROVED 3RD PARTY TO CONDUCT A "FALL OF POTENTIAL" TEST AND SUBMIT A REPORT OF SUCH TEST FOR APPROVAL TO EITHER THE OWNER OR CONSTRUCTION MANAGER.

LOAD STUDY		
CARRIER	Ø	kVA
VERIZON	1	35 kVA
AT&T	1	31 kVA
CROWN CASTLE	1	19 kVA
TOTAL		= 85 kVA

NEW PANEL SCHEDULE

NAMEPLATE : PANEL A		SC LEVEL : 10,000		VOLTS: 120V/240V, 1Ø				
LOCATION : AT EQUIPMENT				BUS AMPS: 200A				
MOUNTING : ON WALL				MAIN CB: 200A				
BA	BB	LOAD DESCRIPTION	BKR AMP / POLE	CIRCUIT NO	BKR AMP / POLE	LOAD DESCRIPTION	BA	BB
LOAD VA	LOAD VA						LOAD VA	LOAD VA
2292	2292	RECTIFIER 1	30/2	1	2	TECH LIGHT	300	180
				3	4	GFI RECEPTACLE		
2292	2292	RECTIFIER 2	30/2	5	6	BLANK		
				7	8			
2292	2292	RECTIFIER 3	30/2	9	10			
				11	12			
2292	2292	RECTIFIER 4	30/2	13	14			
				15	16			
2292	2292	RECTIFIER 5	30/2	17	18			
				19	20			
2292	2292	RECTIFIER 6	30/2	21	22			
				23	24			
2292	2292	RECTIFIER 7	30/2	25	26			
				27	28			
2292	2292	RECTIFIER 8	30/2	29	30			
				31	32			
				33	34			
				35	36			
				37	38			
				39	40			
				41	42			
18336	16044	PHASE TOTALS				PHASE TOTALS	300	180
TOTAL VA =	34880	TOTAL AMPS =	145					

FIVE POINTS

814686
1602'S ELM AVE
CARTERSVILLE, GA 30130

ISSUE STATUS

DATE	DESCRIPTION	BY
05/28/19	CB 305	D.G.
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

DRAWN BY: D. GARGA
CHECKED BY: S. SAVIG
APPROVED BY: -
DATE: 05/28/19

Streamline Engineering
ELECTRICAL ENGINEERING

8445 Sierra College Blvd., Suite E, Granite Bay, CA 95746
Contact: Kevin Greenman, Phone: 916-850-1800
E-Mail: kevin@streamlineeng.com Fax: 916-850-1841

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
54469

CROWN CASTLE

4801 HANCOCK DR, SUITE 410
PLEASANTON, CA 94688

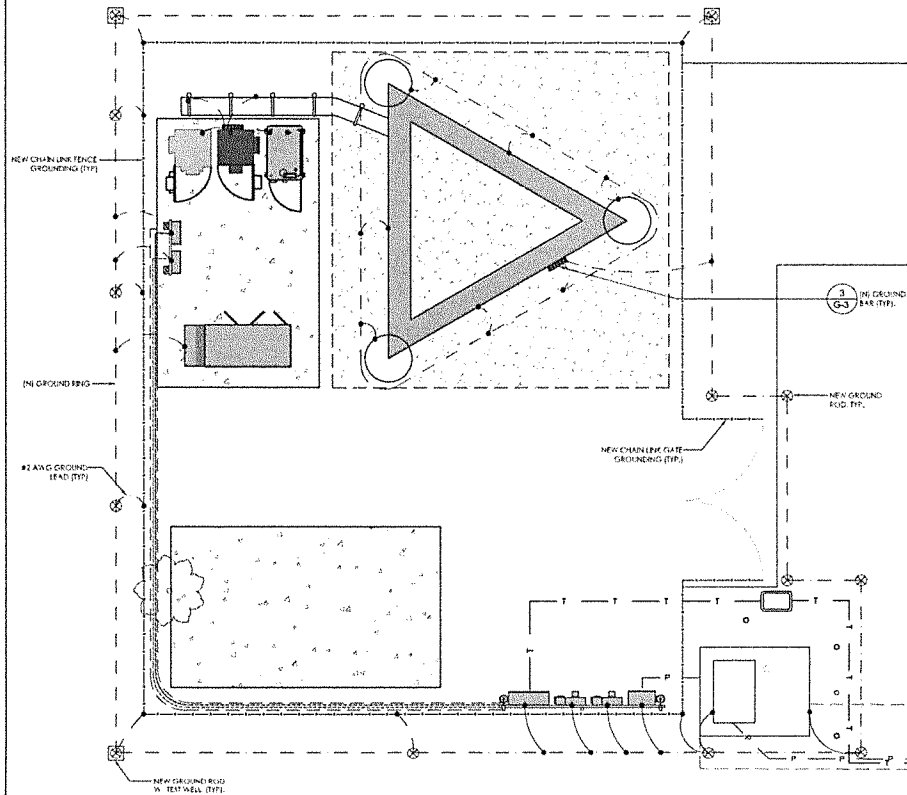
SHEET TITLE:
ELECTRICAL PLAN

SHEET NUMBER:
E-1

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND BVS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.
- ALL GROUND CONNECTIONS SHALL BE #2 AWG U.L.O. ALL WIRES SHALL BE COPPER THINER THAN. ALL GROUND WIRES SHALL BE SOLID THIN COATED OR STRANDED GREEN INSULATED WIRE.
- CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 3 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE CARRIER REPRESENTATIVE.
- NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUND SYSTEM DUE TO SITE SOIL CONDITIONS.
- BAKE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SIZES AS NOTED ON PLANS.
- ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 20" BELOW GRADE/FROST LINE IN TRENCH, U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
- ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
- ALL SUPPORT STRUCTURES, CABLE CHANNEL, WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS (MGB) (OR DIRECTLY TO GROUND-RING).
- ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - BURIED, HY-OR-DE UL LISTED CONNECTORS FOR INDOOR USE OR AS APPROVED BY PROJECT MANAGER.
 - CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - TWO (2) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS (BUS BAR CONNECTIONS).
- ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S MARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES).
- PRIOR TO ANY LUG-BUSBAR CONNECTIONS, THE BUSBAR SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR FLAM STEEL WOOL AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "NO-OX-ID" SHALL BE APPLIED TO THE CONNECTIONS SURFACES.
- ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACTED TO MAGNETS).
- THE GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.
- ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL EXISTING AND NEW GROUND ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RINGS IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATIONS. BUILDING STEEL IF APPLICABLE. COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

GROUNDING LEGEND

- MECHANICAL CONNECTION
- ▽ EXOTHERMIC CADWELD
- ⊖ TYP. CADWELD INSPECTION WELL
- ⊖ TYP 1" DIA. X 10'-0" LONG COPPER CLAD GROUND ROD @ 10' O.C. MAX & 18" MIN BELOW FINISH GRADE
- ⊖ TYP #2 TINNED BOX UNDERGROUND GND RING @ 18" MIN BELOW FINISH GRADE
- #2— GROUND WIRE #2 STRANDED GREEN INSULATED WIRE
- ⚡ TIE INTO (E) GROUNDING SYSTEM (M/F)



GROUNDING NOTES

1 GROUNDING PLAN

SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)



PROJECT INFORMATION:
831105
FIVE POINTS
16925 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

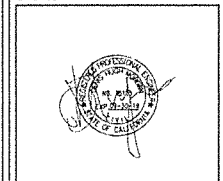
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	ISS CONSTRUCTION DRAWING	SS
B	2/13/19	ISS CONSTRUCTION DRAWING	SS
C	4/12/19	ISS CONSTRUCTION DRAWING	SS
J	6/24/19	ISS CONSTRUCTION DRAWING	SS
L	8/28/19	ISS CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
SARNO Construction Inc.
2155 LAS TORREAS COURT, SUITE 10
LIVERMORE, CA 94551

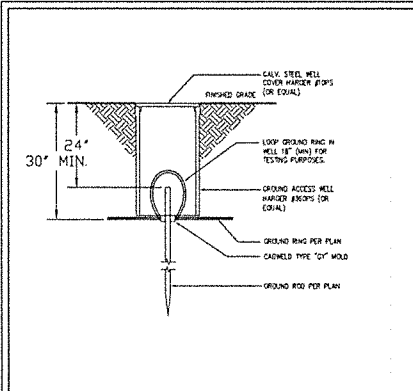
CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROVINA LANE
PETALUMA, CA 94952

DRAWN BY: SJS
CHK: M/F
APV: M/F

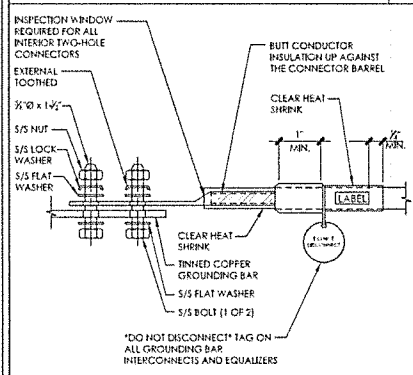


SHEET TITLE:
GROUNDING PLANS

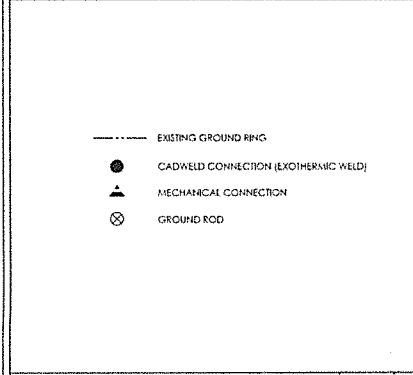
SHEET NUMBER:
G-1



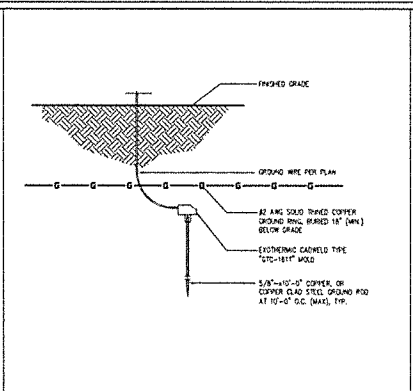
GROUND ROD WITH TEST WELL SCALE: N.T.S. 11



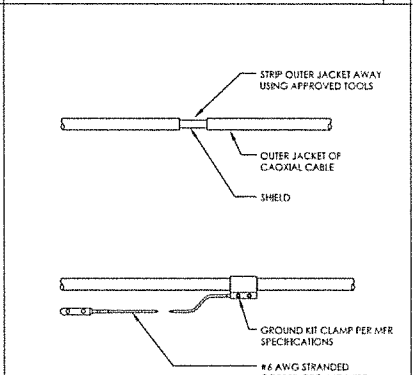
TWO HOLE LUG SCALE: N.T.S. 10



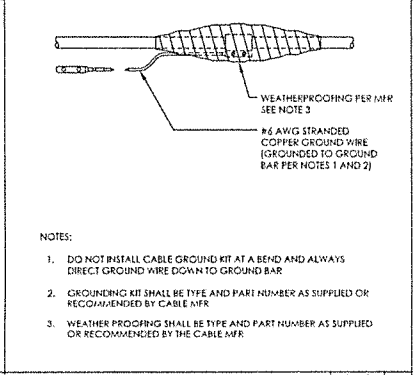
GROUND LEGEND SCALE: N.T.S. 9



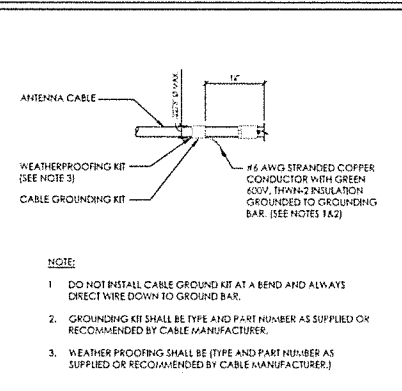
GROUND ROD SCALE: N.T.S. 8



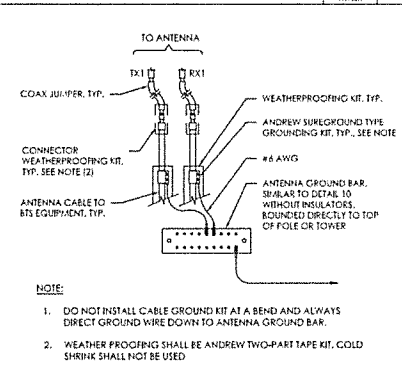
GROUND KIT SCALE: N.T.S. 7



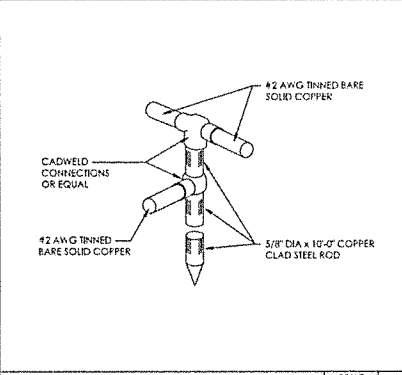
GROUNDING ROD DETAIL SCALE: N.T.S. 4



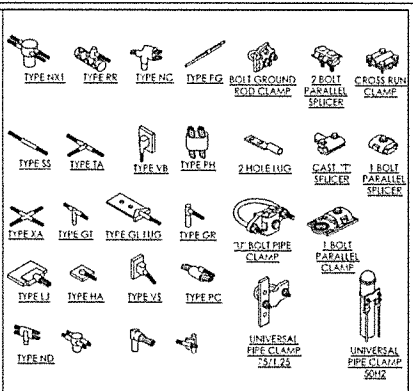
CONNECTION OF GROUNDING KIT TO ANTENNA CABLE SCALE: N.T.S. 6



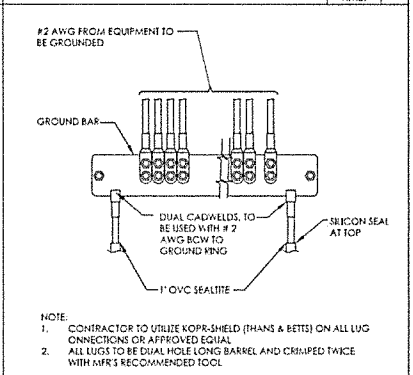
GRND CONNECTION TO GRND BAR SCALE: N.T.S. 5



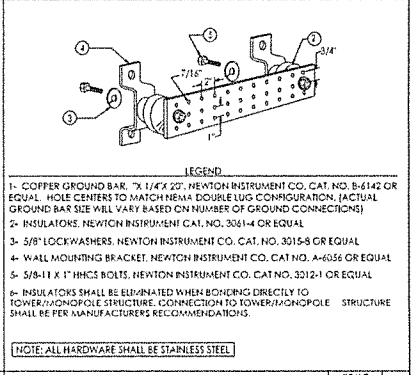
GROUNDING ROD DETAIL SCALE: N.T.S. 4



TYP. MECHANICAL DETAILS SCALE: N.T.S. 3



GROUND BAR CONNECTION DET SCALE: N.T.S. 2



GROUND BAR DETAIL SCALE: N.T.S. 1



PROJECT INFORMATION
831105
FIVE POINTS
 1620 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWING	SS
B	2/13/19	100% CONSTRUCTION DRAWING	SS
C	6/21/19	100% CONSTRUCTION DRAWING	SS
D	6/24/19	100% CONSTRUCTION DRAWING	SS
E	8/28/19	100% CONSTRUCTION DRAWING	SS

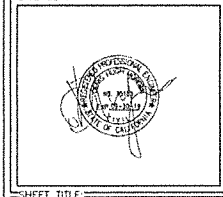
PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 2155 LAST OAK ROAD, SUITE 100
 LIVESDALE, CA 94551

CONSULTANT:

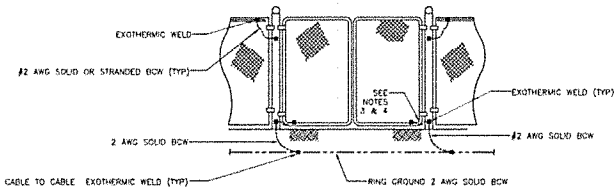
 BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 PETAUMA, CA 94952

DRAWN BY: CHK. BY: APV.
 SJS MIF MIF



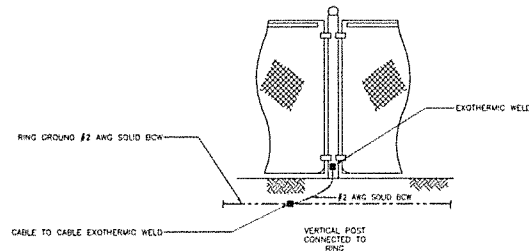
SHEET TITLE:
GROUNDING DETAILS

PROJECT NUMBER:
G-2



NOTES:

1. EXOTHERMICALLY WELD THE 2 AWG, BCW FROM THE RING GROUND TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE/BRAZE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
3. GATE JUMPER SHALL BE 4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.



NOTES:

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. METAL FENCE POSTS WITHIN 7 FEET OF THE BURIED GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND RING AT 25 FOOT INTERVALS.

GATE GROUND DETAILS

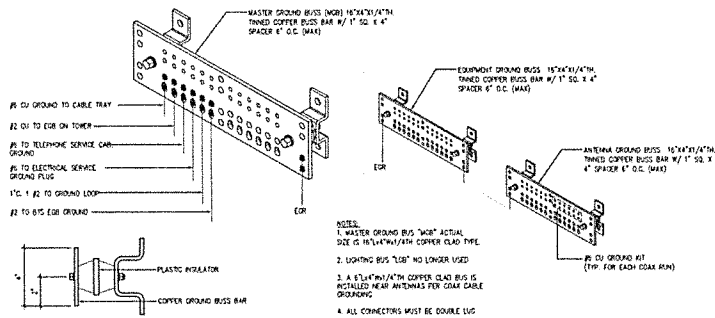
SCALE
N.T.S.

1

FENCE GROUNDING DETAILS

SCALE
N.T.S.

2



NOTES:

1. MASTER GROUND BUS "W8" ACTUAL SIZE IS 1/2"x1/4"x1/4" COPPER CLAD TYPE.
2. LIGHTING BUS "E8" NO LONGER USED.
3. A 1/4"x1/4"x1/4" COPPER CLAD BUS IS INSTALLED NEAR ANTENNAS PER COAX CABLE ORGANIC.
4. ALL CONNECTORS MUST BE DOUBLE USE.

GROUND BAR DETAILS

SCALE
N.T.S.

3



PROJECT INFORMATION:
8311105
FIVE POINTS
16629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV. DATE	DESCRIPTION	BY
A	2/13/19 100% CONSTRUCTION DRAWING	SS
B	2/22/19 100% CONSTRUCTION DRAWING	SS
C	4/12/19 100% CONSTRUCTION DRAWING	SS
D	4/24/19 100% CONSTRUCTION DRAWING	SS
E	4/24/19 100% CONSTRUCTION DRAWING	SS

PROJECT ARCHITECT/ENGINEER:
WSD
Engineering, Inc.
P&E PROJECTS
2125 LAKEHURST COURT, SUITE 14
LIVERMORE, CA 94551

CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROVELLA LANE
Petaluma, CA 94952

DRAWN BY: SJS
CHK. BY: M/F
APP. BY: M/F

LICENSER:



SHEET TITLE:

GROUNDING DETAILS

SHEET NUMBER:

G-3

20 NOT USED
N12

RECORDINGS

FOR THE RECORD, THE SIGNAGE IS A RECORD OF THE LOCATION OF THE SIGNAGE AS INSTALLED ON THE SITE. THE SIGNAGE SHALL BE MAINTAINED IN THE LOCATION INSTALLED THROUGHOUT THE LIFE OF THE PROJECT.

CONTRACTOR SHALL MAINTAIN A RECORD OF THE LOCATION OF THE SIGNAGE AS INSTALLED ON THE SITE. THE SIGNAGE SHALL BE MAINTAINED IN THE LOCATION INSTALLED THROUGHOUT THE LIFE OF THE PROJECT.

INFORMATION

ACTIVE ANTENNAS ARE LOCATED

ON THE OUTSIDE FACE OF THIS BUILDING

INFORMATION SIGNAGE

ON THIS STRUCTURE

STAY AWAY A MINIMUM OF 2 FEET FROM THESE ANTENNAS.

CONTACT AT AT&T MOBILITY AT 800-252-2222 FOR MORE INFORMATION. REPAIRS CLEARER THAN 2 FEET FROM THE ANTENNAS.

THIS IS AT AT&T MOBILITY SITE: XXXXXXXX

INFORMATION SIGNAGE

SCALE: 1" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

STORAGE AND STRAPPING REQUIREMENTS

- THE FOLLOWING INFORMATION IS A GUIDELINE W/ RESPECT TO THE STORAGE AND STRAPPING OF MATERIALS. STORAGE AND STRAPPING SHOULD BE USED AS SUCH BY THE SITES SVP REPORT OR AN LOCAL, STATE OR FEDERAL REGULATORY OR REGULATORY SHOULD BE CONSULTED. ANY PART OF THESE NOTES OR PLANS, THE MORE RESTRICTIVE GUIDELINE OR REGULATORY LIMIT OF RF EXPOSURE SHALL GOVERN THE DESIGN.
- THE PUBLIC LIMIT OF RF EXPOSURE ALLOWED BY AT&T IS 100 μV/m. THE OCCUPATIONAL LIMIT OF RF EXPOSURE ALLOWED BY AT&T IS 100 μV/m. IF THE BOTTOM OF THE ANTENNA IS MOUNTED (5) FEET ABOVE THE GROUND OR VEHICULAR PLATFORM (SEE THE PERSONAL COMMUNICATION SYSTEM (PCS) AND DOES NOT EXCEED THE PUBLIC LIMIT OF RF EXPOSURE LIMIT THEN NO STRAPPING OR BARRICADES ARE REQUIRED.
- IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE ESCAPE); THEN BOTH BARRICADES AND STRAPPING SHALL BE PLACED AROUND THE ANTENNA. THE EXACT EXTENT OF THE BARRICADES AND STRAPPING SHALL BE DETERMINED BY THE SVP REPORT FOR THE SITE. SOME BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRAPPING.
- IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE ESCAPE); THEN BOTH BARRICADES AND STRAPPING SHALL BE PLACED AROUND THE ANTENNA. THE EXACT EXTENT OF THE BARRICADES AND STRAPPING SHALL BE DETERMINED BY THE SVP REPORT FOR THE SITE. SOME BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRAPPING.
- ALL TRAFFIC ANTENNAS REQUIRE A THREE LANGUAGE WARNING SIGN PLACED IN ENGLISH, SPANISH, AND CHINESE. THIS SIGN SHALL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION. THE LARGER SIGN SHALL BE PLACED BY PLANT SIGN AT ALL ROOF ACCESS LOCATIONS AND ON ALL BARRICADES. THE SMALLER SIGN SHALL BE PLACED ON THE ANTENNA EMPLOYEES IN A MANNER THAT IS EASILY SEEN BY ANY PERSON ON THE ROOF. VARIANTS COLOR SHALL COMPLY W/ ANSI Z39.10.1, 2000, AND THE COMPANY CONTRACT INFORMATION (e.g. TELEPHONE NUMBER) TO ARRANGE FOR ACCESS TO THE RESTRICTED AREA. THIS TELEPHONE NUMBER SHALL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION.
- PHOTOS OF ALL STRAPPING, BARRICADES & SIGNAGE SHALL BE PART OF THE CONTRACTOR'S CLOSE OUT PACKAGE. ALL PHOTOS SHALL BE TURNED INTO THE AT&T CONSTRUCTION PROJECT MANAGER AT THE END OF CONSTRUCTION. STRAPPING SHALL BE DONE W/ FACE RESISTANT TELEPHONE TAPE OR A CROSS-HATCH PATTERN AS DETAILED BY THE CONSTRUCTION DRAWINGS. ALL BARRICADES SHALL BE MADE OF A FIRE RESISTANT MATERIAL. SIGNAGE TO BLOCK OR INTERFERE W/ THE OPERATION OF THE ANTENNAS. BARRICADES SHALL BE BUILT TO FACE RESTRICTED AREA. THE CONTRACTOR SHALL PROVIDE ALL RF PROTECTIVE BARRICADES NEEDED, & SHALL PROVIDE THE AT&T CONSTRUCTION PROJECT MANAGER W/ A DETAILED SHOP DRAWINGS OF EACH BARRICADE, UPON CONSTRUCTION COMPLETION.

3 GENERAL NOTES
N11

CROWN CASTLE

PROJECT INFORMATION

8311105
FIVE POINTS
16920 S. ELM AVENUE
CARUTHERS, CA 93009

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	100% CONSTRUCTION DRAWINGS	SJS
B	3/17/19	100% CONSTRUCTION DRAWINGS	SJS
C	4/12/19	100% CONSTRUCTION DRAWINGS	SJS
D	6/24/19	100% CONSTRUCTION DRAWINGS	SJS
1	8/28/19	100% CONSTRUCTION DRAWINGS	SJS

PROJECT ARCHITECT/ENGINEER:

WSD
Engineering, Inc.
DBA WSD CONSULTING
2155 LAS POSITAS COUNTRY SQUARE
LIVERMORE, CA 94551

CONSULTANT:

BEACON DEVELOPMENT, LLC
3 ROVINA LANE
Petaluma, CA 94952

DRAWN BY: SJS CHK: M/F APV: M/F

LICENSER:

SHEET TITLE:
SITE SIGNAGE

SHEET NUMBER:
GN-2

DANGER

NO TRESPASSING

19 FENCED COMPOUND SIGNAGE
N11

INFORMATION

Federal Communications
Communication Tower Registration
Number
1 2 3 4 5 6 7

Printed in accordance with federal
Communications Commission rules and antenna
tower registration
47CFR 17.4(g).

15 FCC ASR SIGNAGE
N12

INFORMATION SIGNAGE

1. CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE W/ AT&T WIRELESS DOCUMENT #023-0274, RF EXPOSURE, PROTECTIVE AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.

2. FABRICATION:
SIGN TO BE MADE ON THE 30% ANODIZED ALUMINUM STRIPS 6 INCHES BY 12 INCHES BY FOUR (4) INCH SPACING HOLES, ONE EACH CORNER OF THE SIGN. PLANT SIGNAGE W/ MACHINING - THE SIGNAGE BACKGROUND COLOR IS TO BE WHITE FRONT & BACK & BLACK LETTERS.

THE INFORMATION SIGNAGE SHALL BE 12 INCH HIGH BY 18 INCH WIDE. BLACK LETTERS, THE REF LINE SHALL BE BLACK LETTERS.

THE PLACEMENT OF TEXT SHALL BE DONE IN A MANNER THAT ALL LETTERS ARE EASILY READING FROM A DISTANCE OF APPROXIMATELY 2 FEET FROM THE SIGN. ALL PRINT WILL BE BASED ON 36 INCH PROTECTIVE COATING OVER THE FACE OF THE SIGN.

INFORMATION SIGNAGE

SCALE: 1" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

NOTICE

Beyond This Point you are entering an area where RF Emissions may exceed the FCC General Population Exposure Limits

Follow all posted signs and site guidelines for working in an RF environment

Rf: FCC 47CFR 1.1307(b) at&t

1 NOTICE SIGN
N11

NOTICE

AUTHORIZED PERSONNEL ONLY

18 DOOR / EQUIPMENT SIGN
N11

Property of AT&T
Authorized Personnel Only

No Trespassing
Violators will be Prosecuted
In case of emergency, or prior
to performing maintenance on
this site, call 800-832-8662
and reference call site number XXXXXXXX

14 GATE SIGNAGE
N12

WARNING

Beyond This Point you are entering a controlled area where RF Emissions exceed the FCC Controlled Exposure limits

Failure to obey all posted signs and site guidelines could result in serious injury

Rf: FCC 47CFR 1.1307(b)

CAUTION

Beyond This Point you are entering a controlled area where RF Emissions may exceed the FCC Controlled Exposure limits

Obey all posted signs and site guidelines for working in an RF environment

Rf: FCC 47CFR 1.1307(b) at&t

9 CAUTION AND WARNING SIGN
N11

HAZARD

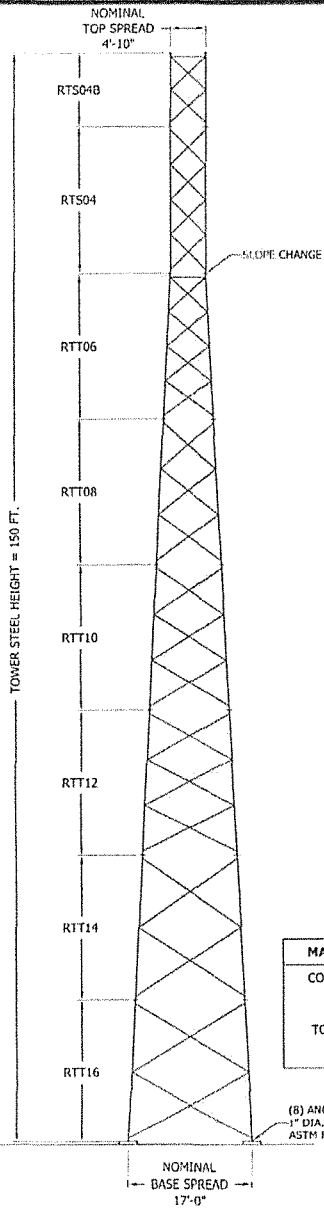
0
3 2
ACID

17 NFPA HAZARD SIGN
N11

Property of AT&T
Authorized Personnel Only

In case of emergency, or prior
to performing maintenance on
this site, call 800-832-8662
and reference call site number XXXXXXXX

13 SHELTER / CABINET DOORS SIGNAGE
N12



GENERAL NOTES

- ROI IN PRODUCTS, LLC TOWER DESIGNS CONFORM TO ANSI/TIA-222-G/H UNLESS OTHERWISE SPECIFIED UNDER TOWER DESIGN LOADING.
- THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSI/TIA-222-G/H AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
- ANTENNAS AND LINES LISTED IN TOWER DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
- STEP BOLTS WITH A SAFETY CLIMB SYSTEM ARE PROVIDED AS A CLIMBING FACILITY FOR THE INSTALLATION OF THE STRUCTURE.
- TOWER MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE TOWER.
- WORK SHALL BE IN ACCORDANCE WITH ANSI/TIA-222-G/H, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
- THE MINIMUM YIELD STRENGTH OF STRUCTURAL STEEL MEMBERS SHALL BE 50 KSI.
- FIELD CONNECTIONS SHALL BE BOLTED. NO FIELD WELDS SHALL BE ALLOWED.
- STRUCTURAL BOLTS SHALL CONFORM TO GRADE A325 PER ASTM F3125, EXCEPT WHERE NOTED.
- PAL NUTS ARE PROVIDED FOR ALL TOWER BOLTS.
- STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ANSI/TIA-222-G/H.
- ALL HIGH STRENGTH BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN THE RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
- PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
- TOLERANCE ON TOWER STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
- DESIGN ASSUMES THAT, AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSI/TIA-222-G/H.
- DESIGN ASSUMES LEVEL GRADE AT TOWER SITE.
- DESIGN ASSUMES ALL ANTENNAS ARE MOUNTED SYMMETRICALLY TO MINIMIZE TORQUE, IF APPLICABLE.
- FOUNDATIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.

MAXIMUM FACTORED REACTIONS

COMPRESSION	=	285.3	KIPS
TENSION	=	254.2	KIPS
TOTAL SHEAR	=	41.2	KIPS
O.T.M.	=	4,007.0	FT-KIPS

(8) ANCHOR BOLTS (24 TOTAL)
1" DIA. X 70" LONG
ASTM F1554 Gr. 105

TOWER DESIGN LOADING		
DESIGN WIND LOAD PER ANSI/TIA-222-G: ASCE 7-10 ULTIMATE WIND SPEED (NO ICE) = 110 MPH STRUCTURE CLASS = II EXPOSURE CATEGORY = C TOPOGRAPHIC CATEGORY = 1 EARTHQUAKE SPECTRAL RESPONSE ACCELERATION: S _S = 0.787, S ₁ = 0.295 THIS TOWER IS DESIGNED TO SUPPORT THE FOLLOWING LOADS:		
DESIGN PER ANSI/TIA-222-H: RISK CATEGORY: II BASIC WIND SPEED (NO ICE): 94 MPH PER ASCE 7-16 GROUND ELEVATION, Z _S : 242 FT EXPOSURE CATEGORY: C TOPOGRAPHIC METHOD: 1, CATEGORY: 1 SEISMIC DESIGN PARAMETERS, S _S : 0.787, S ₁ : 0.295, T ₁ : 12, SITE CLASS: D		
THIS STRUCTURE HAS BEEN DESIGNED TO SUPPORT THE FOLLOWING		
ELEVATION (FT)	ANTENNA TYPE	LINE SIZE (NOM)
TOP	LIGHTNING ROD	-
145	250 SQFT MAX EPA	(18) 1-5/8"
135	250 SQFT MAX EPA	(18) 1-5/8"
80	150 SQFT MAX EPA	(12) 1-5/8"
TOWER DESIGN INCLUDES AN INSIDE CORNER-MOUNTED CLIMBING LADDER		

SECTION MAIN MEMBER SCHEDULE			
SECTION	LEG	DIAGONAL	HORIZONTALS
RTS04B	PIPE 2.875x0.203	L1 3/4x1 3/4x1/8 (2)	L1 3/4x1 3/4x3/16 (1)
RTS04	PIPE 3.500x0.216	L1 3/4x1 3/4x3/16 (4)	N/A
RTT06	PIPE 4x0.318	L1 3/4x1 3/4x3/16 (4)	L1 3/4x1 3/4x3/16 (1)
RTT08	PIPE 4.500x0.337	L2x2x3/16 (3)	N/A
RTT10	PIPE 5.563x0.375	L2 1/2x2 1/2x3/16 (3)	N/A
RTT12	PIPE 5.563x0.375	L2 1/2x2 1/2x3/16 (3)	N/A
RTT14	PIPE 6.625x0.432	L3x3x3/16 (2)	N/A
RTT16	PIPE 6.625x0.432	L3x3x1/4 (2)	N/A

NOTE: SECTION NUMBERS ARE FOR REFERENCE ONLY. FOR NOMINAL FACE WIDTH DIMENSIONS, REFER TO THE STRESS ANALYSIS.
THE NUMBERS SHOWN IN PARENTHESES INDICATE THE NUMBER OF BAYS FROM TOP TO BOTTOM.


FILE NO.		229805	
REVISIONS			
REV	DESCRIPTION	DWN	CHK APP
 P.O. BOX 5999 PEORIA, IL 61601-5999 TOLL FREE 800-727-ROHN			
THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.			
CROWN CASTLE DESIGN PROFILE 150 FT RT TOWER ELKHORN RD BUB14686- CA			
DWN:	RCS	CHKD: HA	DATE: Apr/08/19
ENGR:	HA	SHEET #:	1 OF 1
PRJ. ENGR:	RCS	PRJ. MGR:	
DRAWING NO:			REV:
229805-01-D1			0

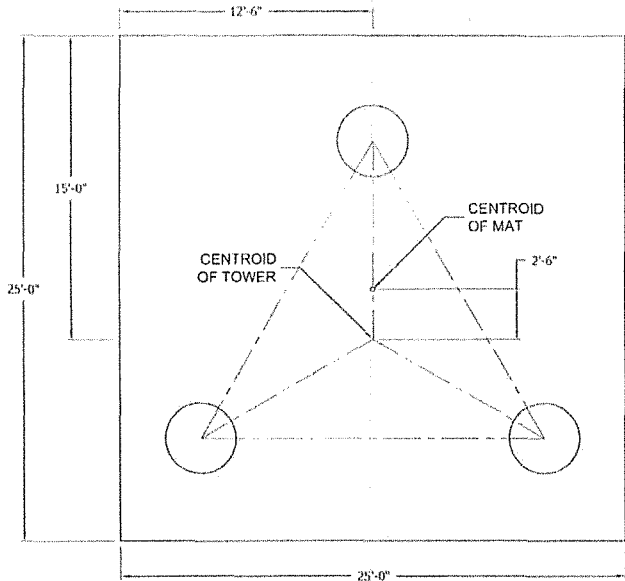
APR 08 2019 8:04:51 AM

GENERAL NOTES

- FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE FOLLOWING DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED.
 - ULTIMATE SOIL BEARING PRESSURE AT 5.5 FT DEPTH = 13,000 PSF.
 - GROUND WATER TABLE IS AT OR BELOW FOUNDATION DEPTH.
 - MAXIMUM FROST PENETRATION DEPTH LESS THAN FOUNDATION DEPTH.
- WORK SHALL BE IN ACCORDANCE WITH THE PROJECT CONSTRUCTION DOCUMENTS, LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
- CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
- PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI IN 28 DAYS.
- MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 3/4 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING SHALL BE UTILIZED TO PREVENT HONEYCOMBS OR VOIDS.
- REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.
- WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH MINIMUM COVER ON REINFORCEMENT.
- CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES NOR BE LESS THAN 2 INCHES.
- FOUNDATION DESIGN ASSUMES STRUCTURAL BACKFILL TO BE COMPACTED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 110 POUNDS PER CUBIC FOOT.
- FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. GEO19-04180-08 DATED 03/22/19 BY DELTA OAKS GROUP.
- FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.
- FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.
- FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.
- ALL CONSTRUCTION AND SAFETY EQUIPMENT AND TEMPORARY SUPPORTS REQUIRED FOR CONSTRUCTION SHALL BE DETERMINED, FURNISHED AND INSTALL BY THE CONTRACTOR BASED ON THE MEANS AND METHODS CHOSEN BY THE CONTRACTOR. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY COMPETENT, QUALIFIED AND TRAINED PERSONNEL.
- FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- FOR FOUNDATION AND ANCHOR TOLERANCES SEE ANCHOR ROD LAYOUT DRAWING.
- LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- CONCRETE PREFERABLY SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.
- CONSTRUCTION JOINTS, IF REQUIRED AT THE BASE OF THE PIERS, SHALL BE INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4 INCH. FOUNDATION DESIGN ASSUMES NO OTHER CONSTRUCTION JOINTS.
- TOP OF FOUNDATION SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH.
- EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4" X 3/4" MINIMUM.

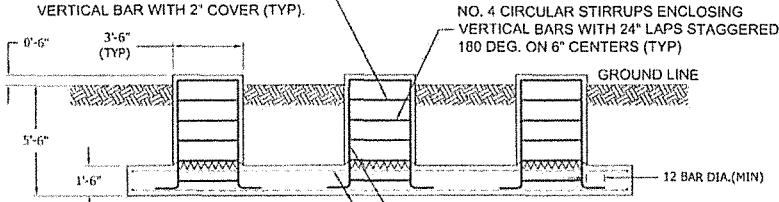
NOTE: SEE STRUCTURE ASSEMBLY DRAWING FOR FOUNDATION LAYOUT AND ANCHORAGE EMBEDMENT DRAWING NUMBER.

FILE NO.		229805	
REVISORS			
REV	DESCRIPTION	DWN	CHK APP
 PO BOX 5509 PEORIA, IL 61601-5599 TOLL FREE 800-727-ROHN			
THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.			
CROWN CASTLE MAT W/RAISED PIERS FOUNDATION DESIGN ELKHORN RD BUB14686- CA			
DWN:	RCS	CHKD: H/A	DATE: 1/8/2019
ENGR:	H/A	SHEET #:	1 OF 1
PRI. ENGR:	RCS	PRI. MANGR:	
DRAWING NO:	229805-01-F1		REV:
			0



PLAN VIEW

(2) NO. 4 CIRCULAR STIRRUPS ENCLOSING VERTICAL BARS @ 2-1/2" C-C W/ 180 DEG. STAGGERED 6" MIN LAPS TERMINATED AT EACH END WITH A STD. ACI 318 HOOK ENGAGING A VERTICAL BAR WITH 2" COVER (TYP).



ELEVATION VIEW

(32) NO. 7 HORIZONTAL BARS EQUALLY SPACED EACH WAY, TOP & BOTTOM (128 TOTAL)

(14) NO. 7 VERTICAL BARS EQUALLY SPACED ON 33" DIA. CIRCULAR CAGE (CENTERLINE OF VERT. BARS) W/ STD ACI 318 HOOKS AT BOTTOM (TYP)

MAX FACTORED REACTIONS

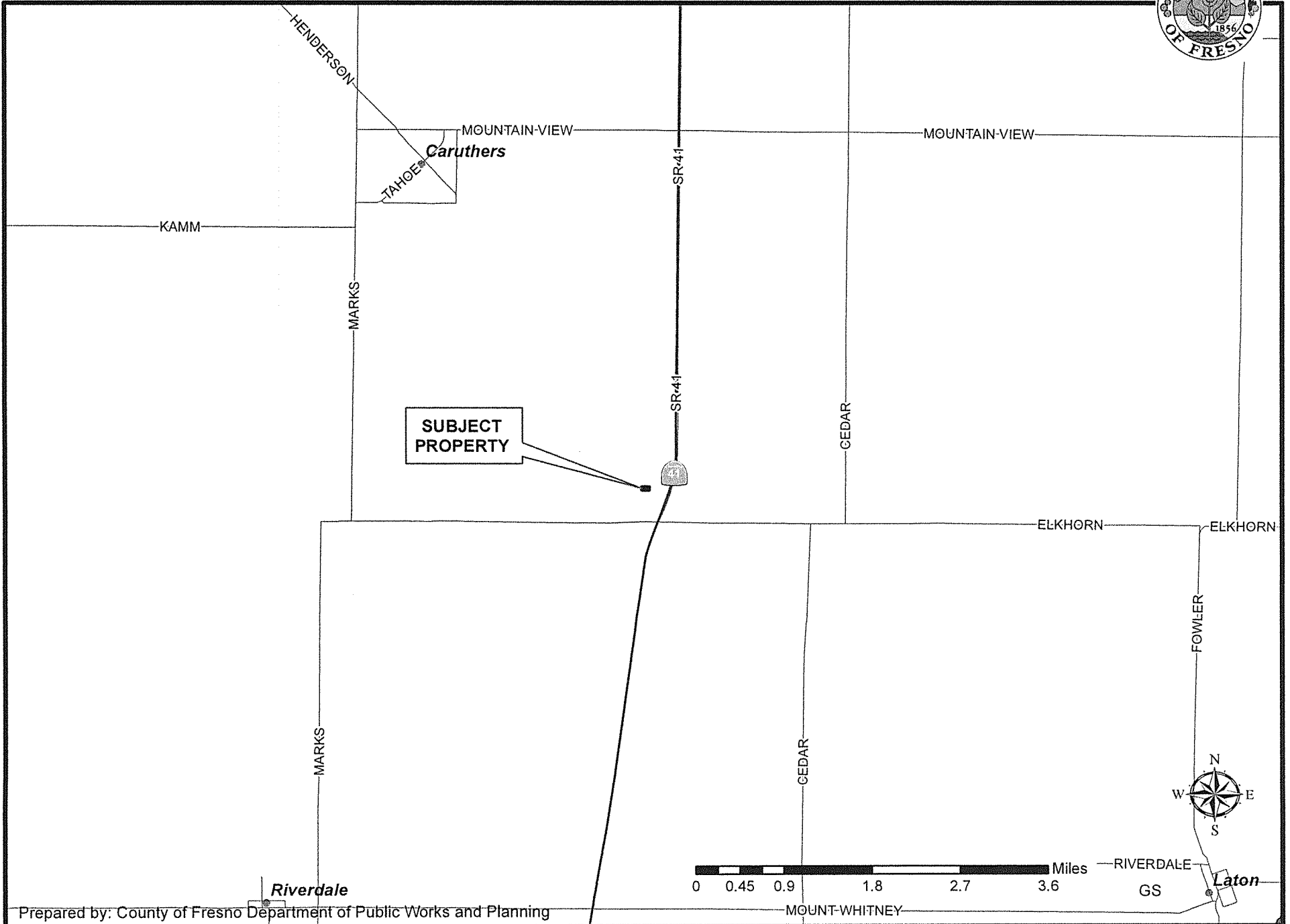
Maximum O.T.M = 4,007.0 FT-K
 Total Tower Wt = 35.3 KIPS
 Total Shear = 41.2 KIPS
 Max. Shear/Leg = 25.2 KIPS
 Max. Ten./Leg = 254.2 KIPS
 Max. Comp./Leg = 285.3 KIPS

CONCRETE VOLUME

ROUND PIER 4.8 CU.YDS
 PAD 34.7 CU.YDS
 TOTAL 39.5 CU.YDS

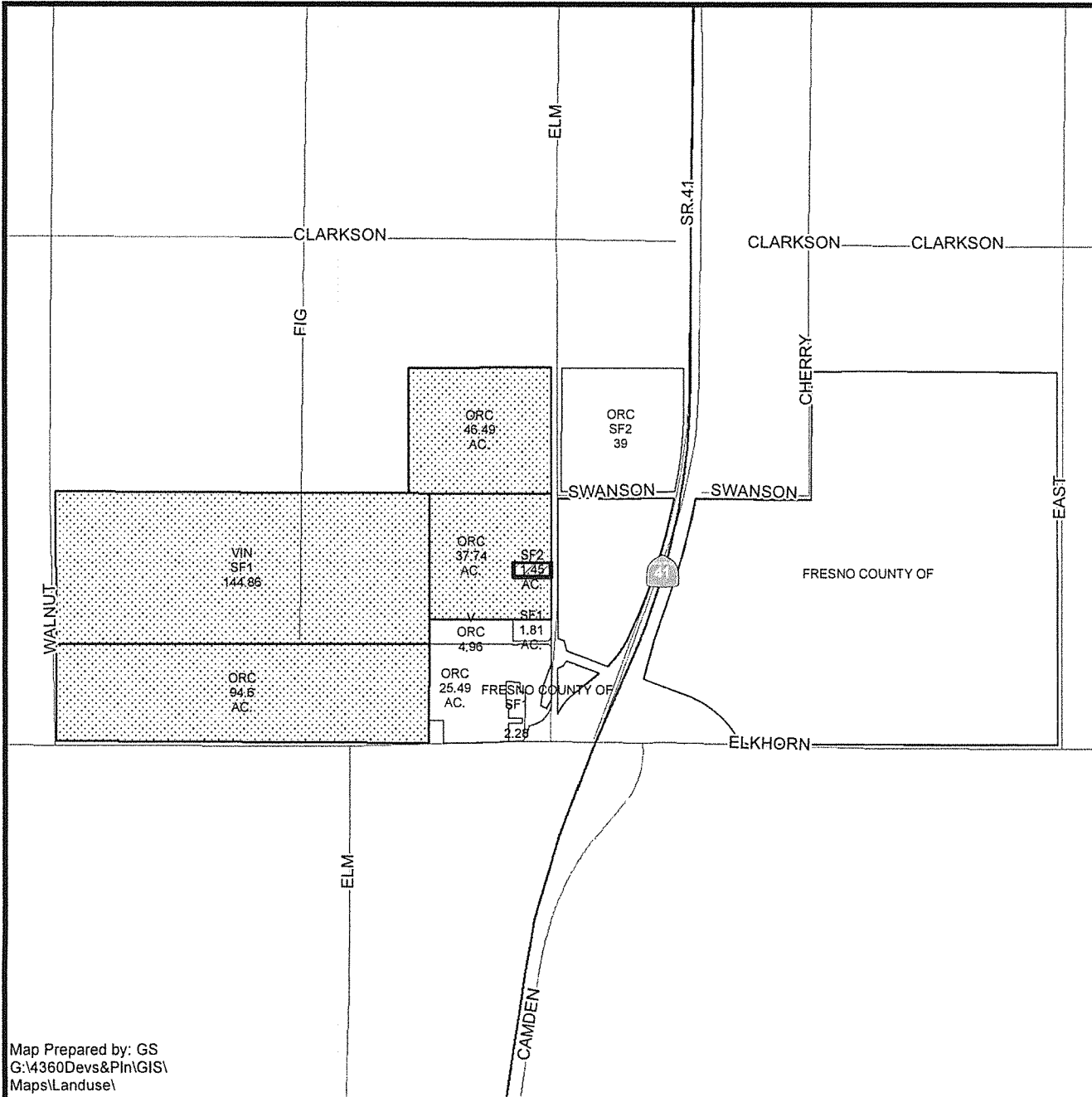
CUP 3648

LOCATION MAP





CUP 3648

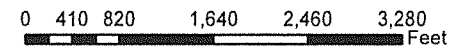
EXISTING LAND USE MAP



LEGEND	
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT
VIN	- VINEYARD

LEGEND:

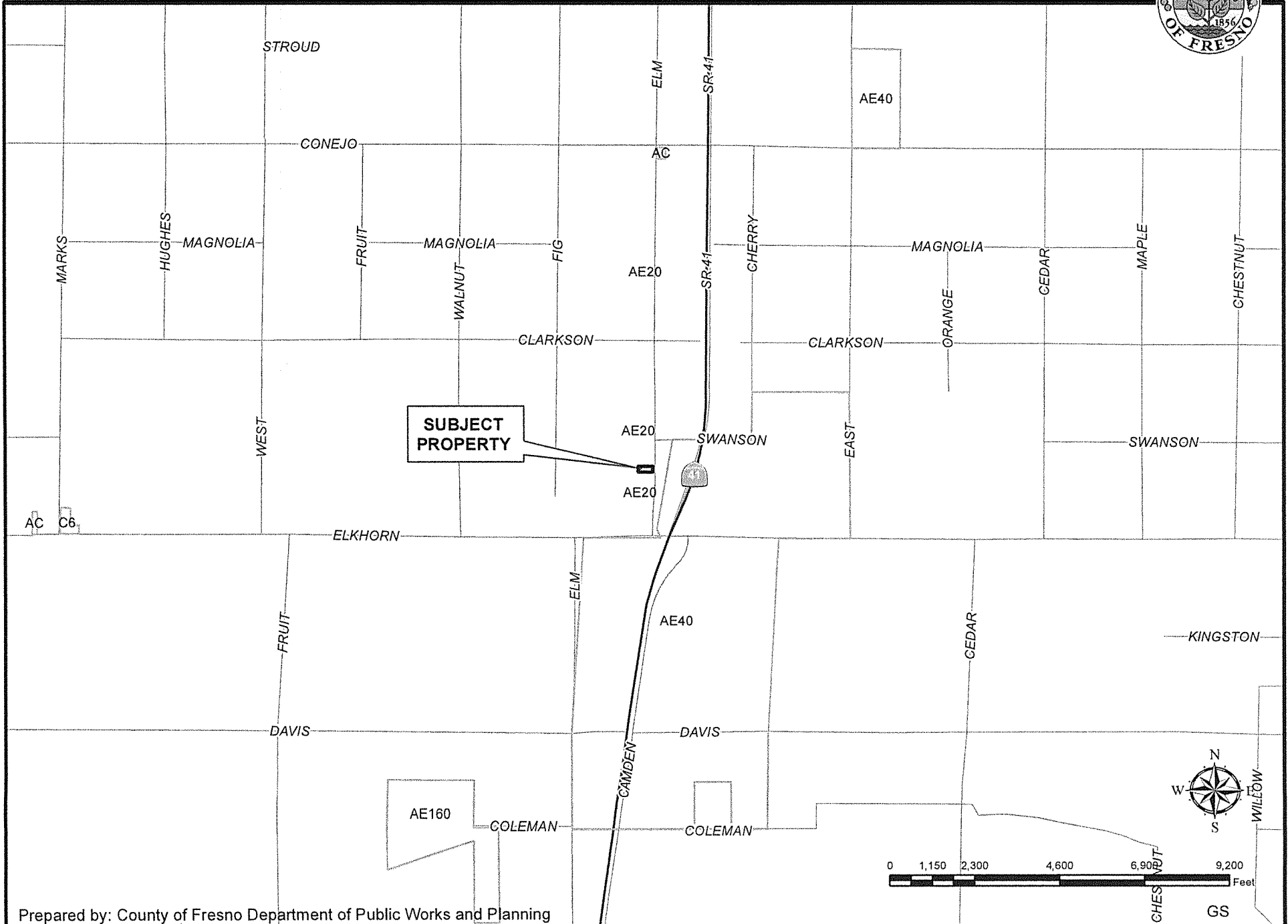
-  Subject Property
-  Ag Contract Land



Map Prepared by: GS
 G:\4360Devs&Plan\GIS\
 Maps\Landuse\

Department of Public Works and Planning
 Development Services Division

EXISTING ZONING MAP

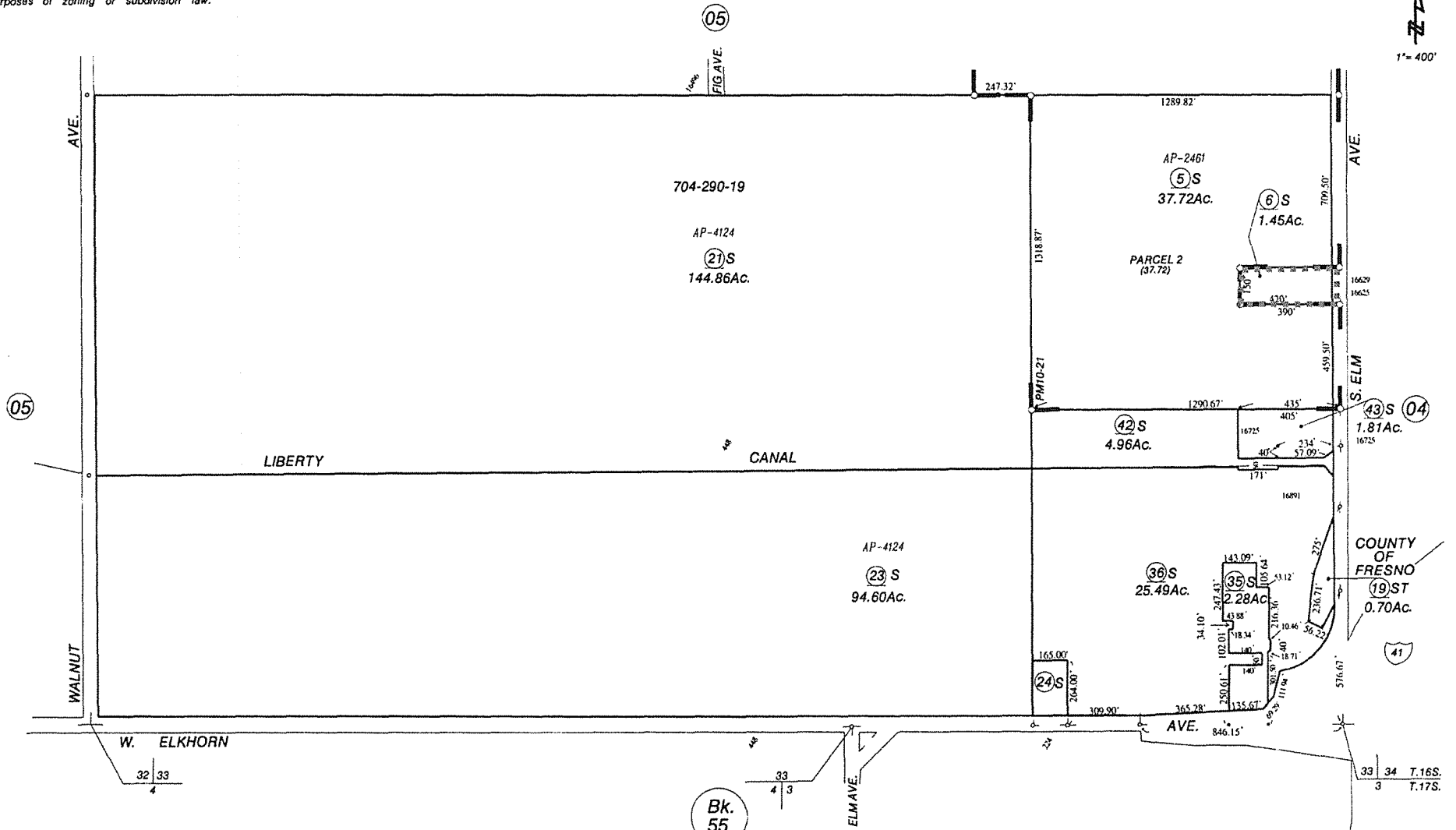
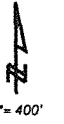


--- NOTE ---
 This map is for Assessment purposes only.
 It is not to be construed as portraying
 legal ownership or divisions of land for
 purposes of zoning or subdivision law.

POR. SEC. 33, T.16S. R.20E., M.D.B.&M.

Tax Rate Area
 70-001
 70-006

042-20



Agricultural Preserve
 Parcel Map No. 1797 - Bk. 10, Pg. 21

Assessor's Map Bk.042 - Pg. 20
 County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
 Assessor's Parcel Numbers Shown in Circles.