

Appendix 2

Site Plans and Elevations

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: master site plan

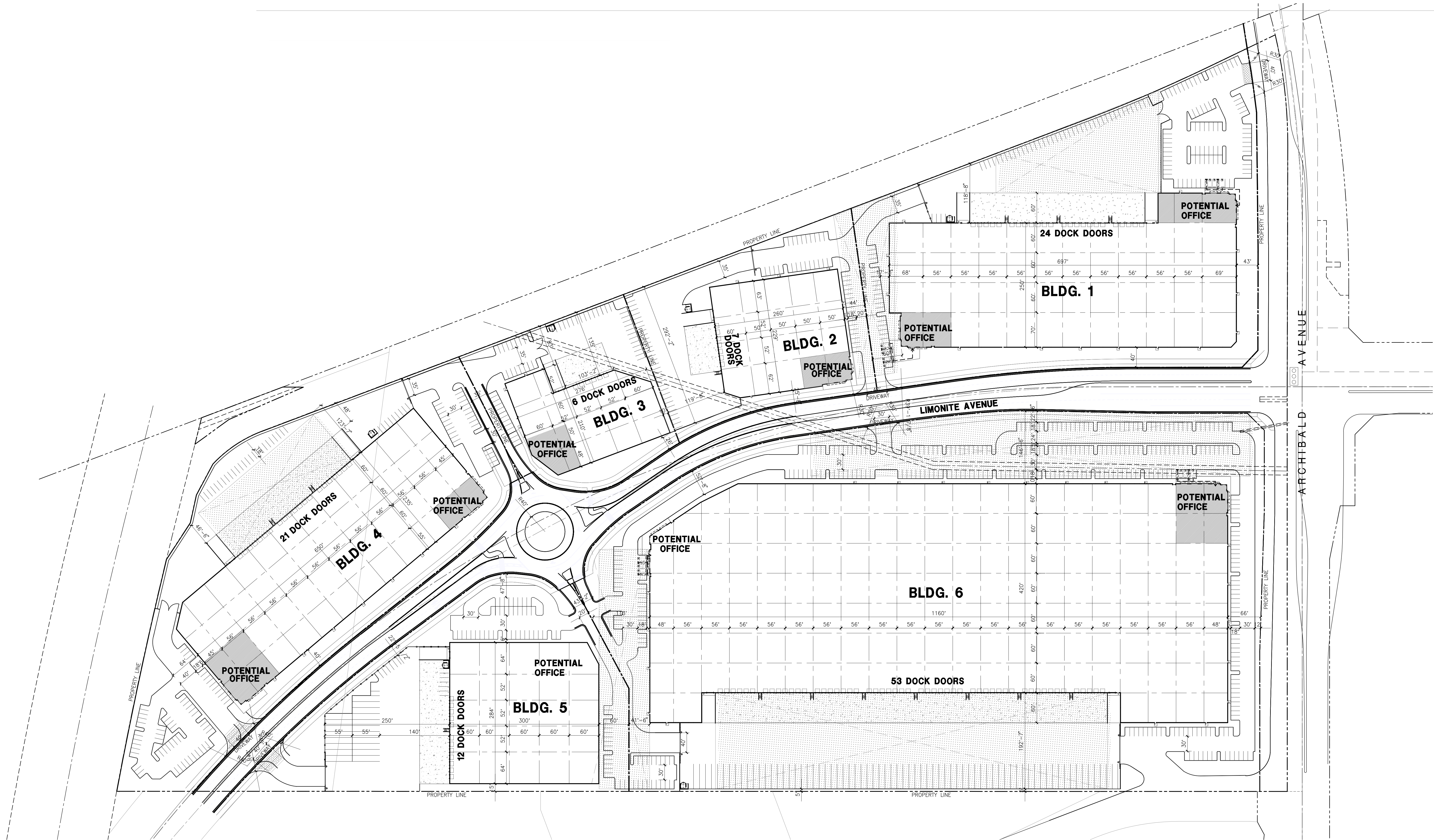
Project Number: 18440

Drawn by: SHA LIU MAHONEY

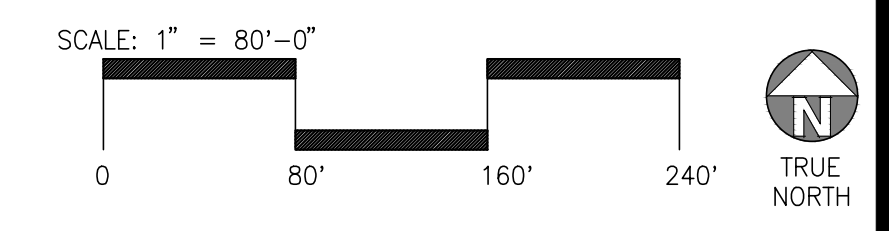
Date: 12/17/2019

Revision:

Sheet:



MASTER SITE PLAN A
scale: 1" = 80'-0"



Property owner

THE MERGE COMPANY I, LLC c/o
ORBIS REAL ESTATE PARTNERS
280 NEWPORT CENTER DRIVE, #240
NEWPORT BEACH, CA 92660
CONTACT: RAYMOND POLVERINI
949.330.7564

Address of the property

EASTVALE, CA

Assessor's Parcel Number

144-010-015, 144-010-018, 144-010-020,
144-010-023, 144-010-024 & 144-010-032.

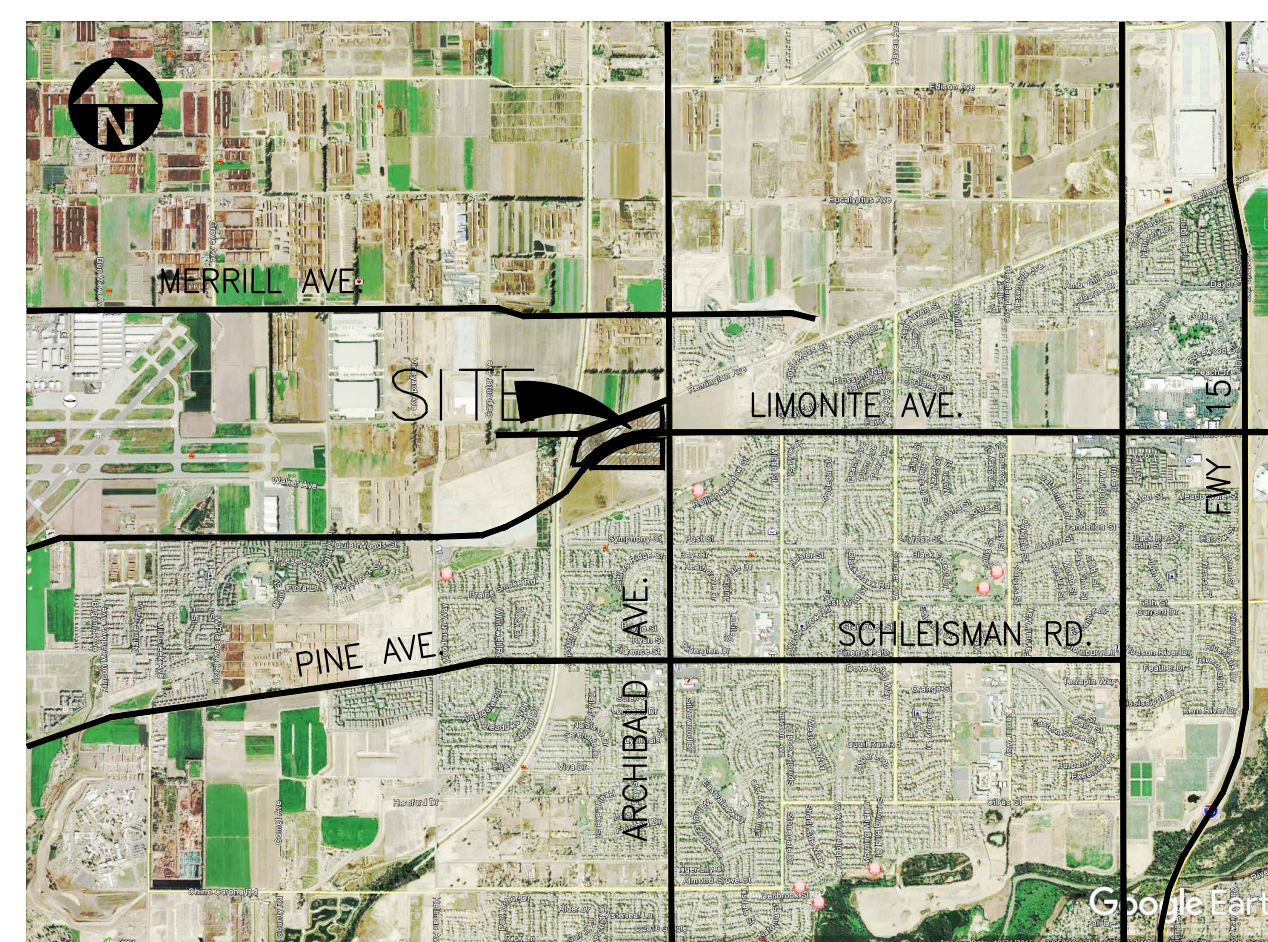
Zoning

LIGHT INDUSTRIAL (LI)

Applicant's representative

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2108
ATTN: SHA LIU MAHONEY

VICINITY MAP



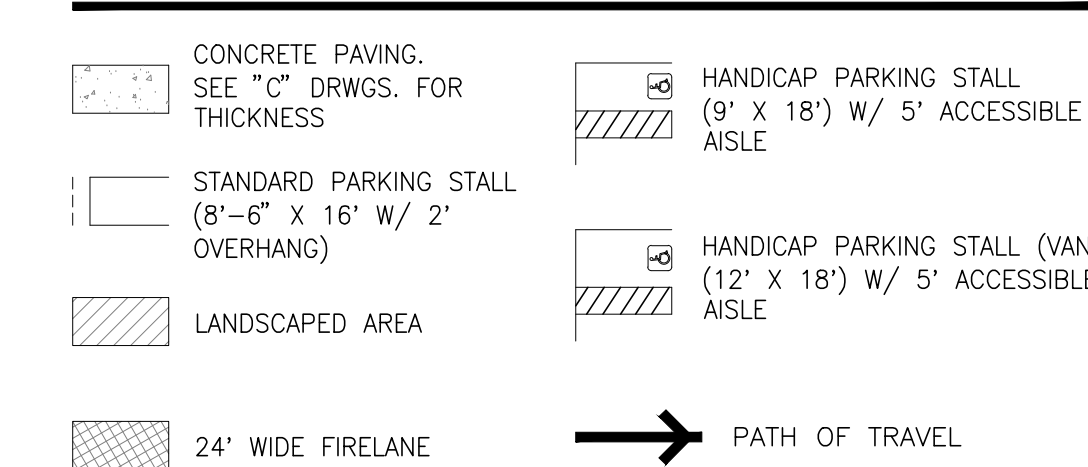
ALUC AREA
ZONE C = 9.1 AC REQUIRED
9.1 AC PROVIDED

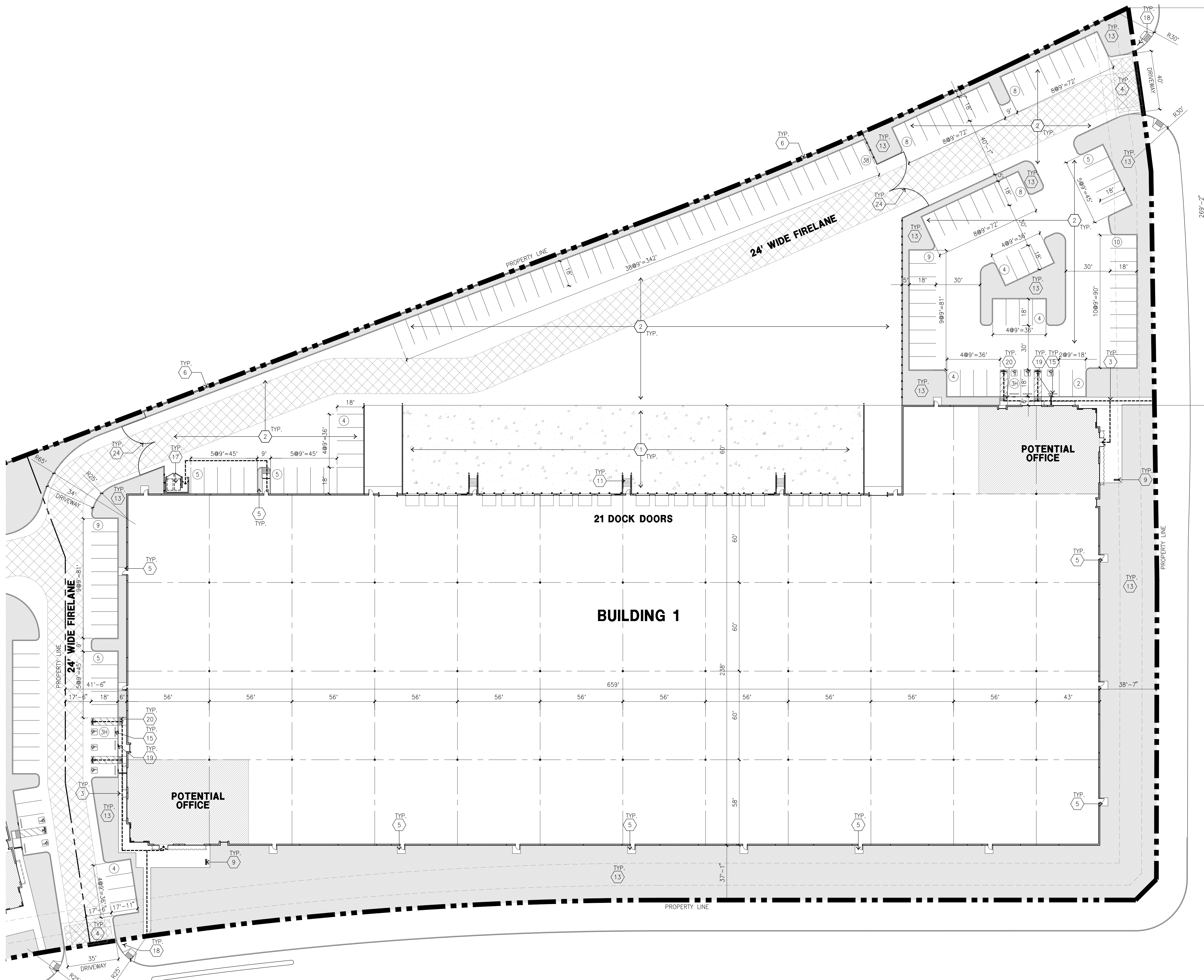
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD.
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UN.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH UN.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.

12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND





Property owner

THE MERGE COMPANY L, LLC c/o
ORBIS REAL ESTATE PARTNERS
280 NEWPORT CENTER DRIVE, #240
NEWPORT BEACH, CA 92660
CONTACT: RAYMOND POLVERINI
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Address of the property

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Zoning

LIGHT INDUSTRIAL (LI)

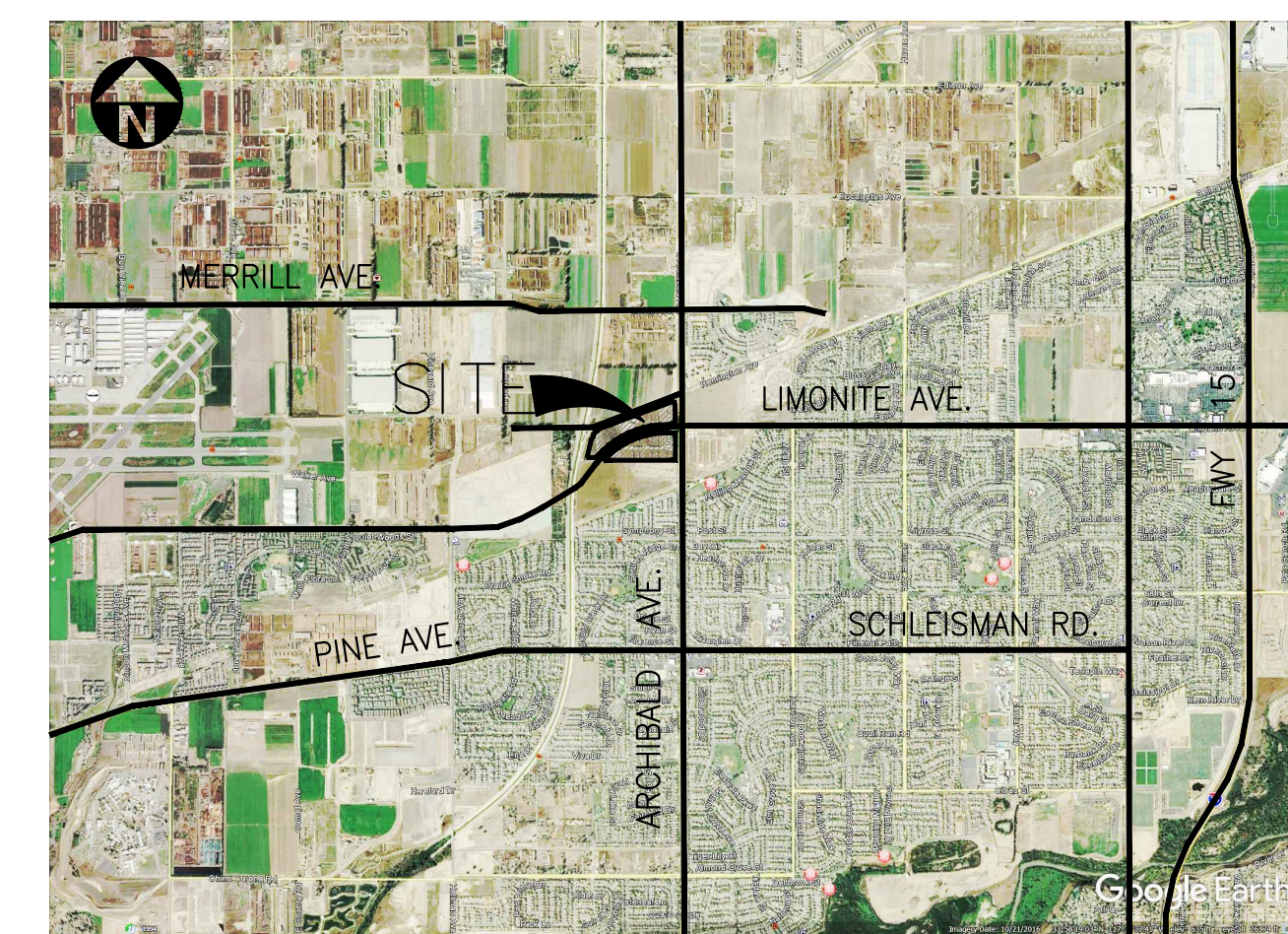
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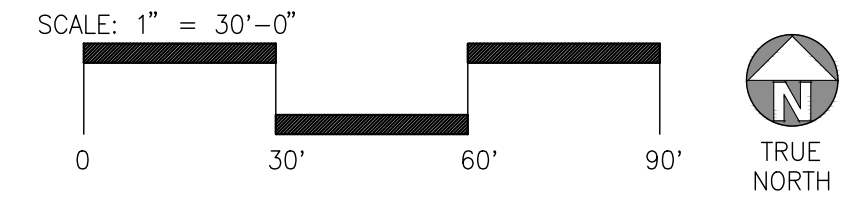
PROJECT DATA

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	TOTAL
SITE AREA								
in s.f.	338,705	180,464	85,617	150,363	213,466	894,274	884,274	396,184 s.f.
Acres	7.78	3.98	1.92	3.45	4.90	20.53	20.53	45.47 ac
BUILDING AREA								
Office - East	10,000	5,000	3,000	8,000	5,000	10,000	10,000	51,000 s.f.
Office - West	9,500	0	2,500	4,000	2,500	4,000	10,000	28,000 s.f.
Warehouse	155,156	65,204	31,540	61,384	49,310	69,197	487,317	614,108 s.f.
TOTAL	170,156	65,204	37,040	73,384	56,810	83,197	507,317	693,108 s.f.
Clear building height	30'	30'	30'	30'	30'	32'	40'	
COVERAGE	50.2%	40.6%	44.3%	48.8%	26.6%	9.3%	56.7%	250.7%
AUTO PARKING REQUIRED								
Office: 1/250 s.f.	60	20	22	48	30	56	80	318 stalls
Warehouse: 1/2,000 s.f.	78	31	18	31	25	35	244	460 stalls
TOTAL	138	51	38	79	55	91	324	778 stalls
AUTO PARKING PROVIDED								
Standard (8' x 18')	132	59	36	76	69	92	317	781 stalls
Accessible (9' x 18' w/ 5x18')	4	2	1	2	2	2	2	6
Accessible Van (12' x 18')	2	2	1	2	1	2	2	2
TRAILER PARKING PROVIDED								
Trailer (12' x 50')	0	0	0	0	4	0	63	67 stalls
TOTAL PARKING PROVIDED	138	63	38	80	76	96	388	879 stalls
ZONING ORDINANCE FOR CITY								
Current Zoning Designation - Heavy Agriculture (A-2)								
Proposed Zoning Designation - Industrial park (I-P)								
MAXIMUM BUILDING HEIGHT ALLOWED								
Height - 75'								
MAXIMUM FLOOR AREA RATIO								
F.A.R. - 0.60								
SETBACKS (See notes for additional setbacks)								
Building								
Archibald Ave. - 25'								
Limonite Ave. - 25'								
Site / Street side - 10'								
Rear - 15'								
LANDSCAPE REQUIREMENT								
Percentage - 10% of total interior parking area								

VICINITY MAP



OVERALL SITE PLAN
scale: 1" = 30'-0"



SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- CONCRETE PAVING PER CIVIL.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH
- DRIVEWAY APRONS TO BE CONSTRUCTED
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 8"X DOUBLE SIDE, SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 8' HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- EXTERIOR BIKE RACK TYPICAL.
- NOT USED.
- EXTERIOR CONCRETE STAIR.
- NOT USED.
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- NOT USED.
- PRE-CAST CONCRETE WHEEL STOP.
- CONCRETE FILLED GUARD POST *6 DIA. U.N.O. 42" H.
- TRASH ENCLOSURE PER CITY STANDARD.
- ACCESSIBLE ENTRY SIGN.
- ACCESSIBLE PARKING STALL SIGN.
- TRUNCATED DOME.
- NOT USED.
- NOT USED.
- NOT USED.
- 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- MAILBOX

SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
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- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8'-0" X 16' W/ 2' OVERHANG)
- LANDSCAPED AREA
- 24' WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

- Civil: KIMLEY HORN
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

Title: BUILDING 1 overall site plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

1-DAB-A1.1

OFFICIAL USE ONLY

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

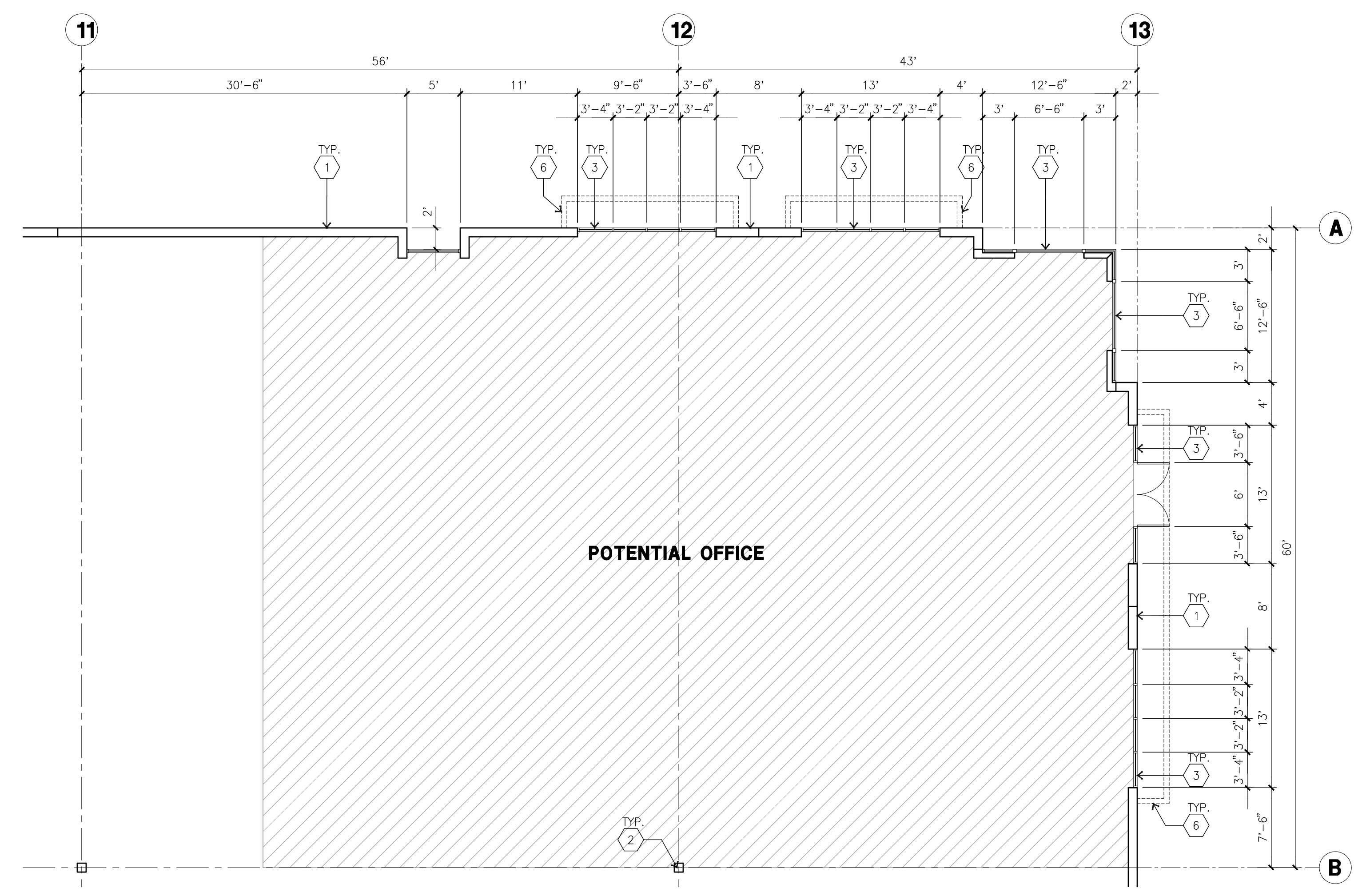
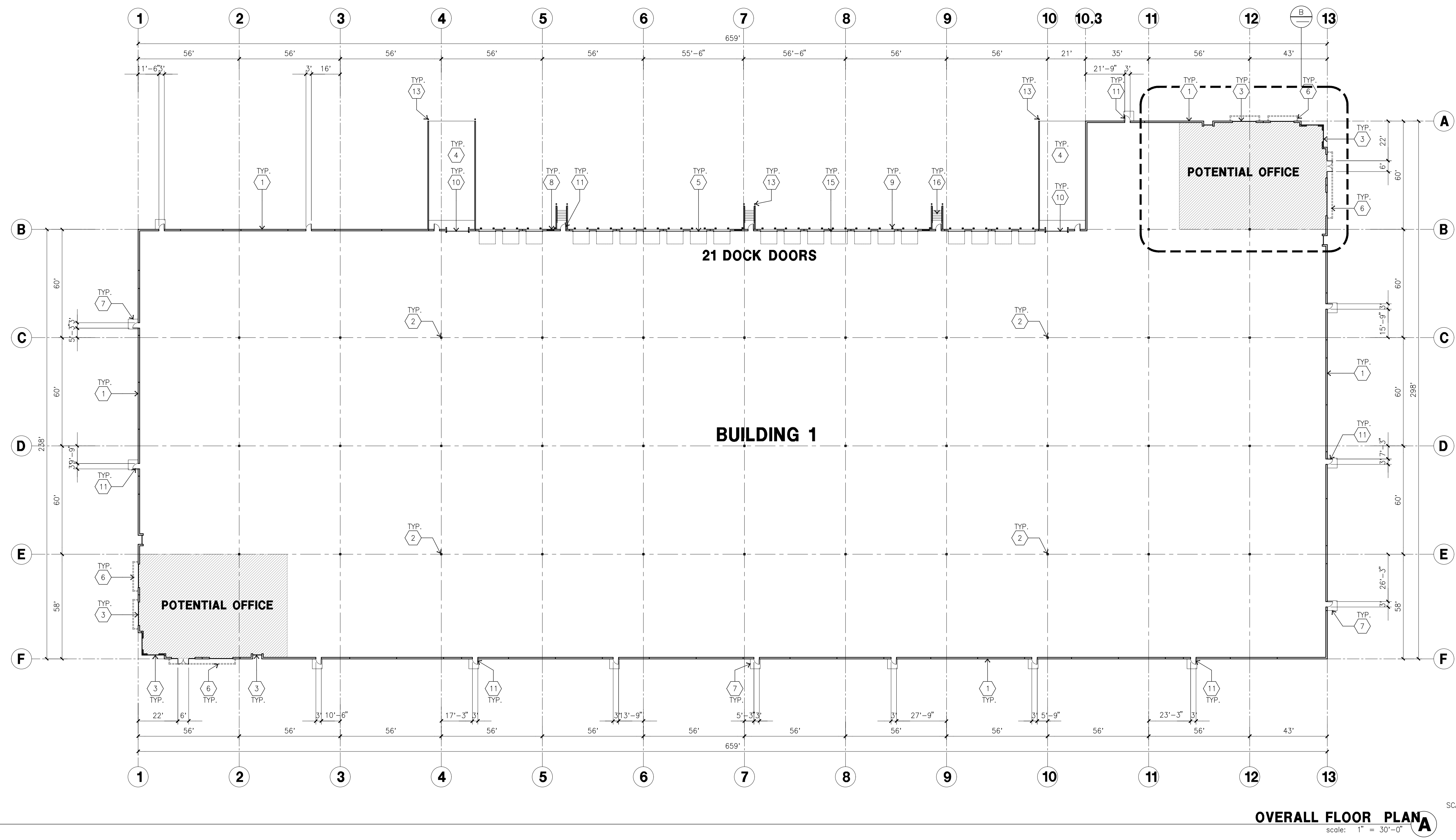
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 1
overall floor plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

1-DAB-A2.1



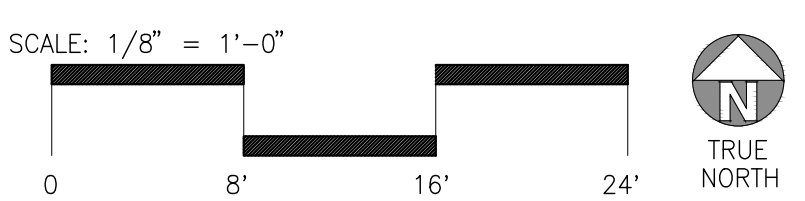
KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

ENLARGED FLOOR PLAN B
scale: 1/8" = 1'-0"



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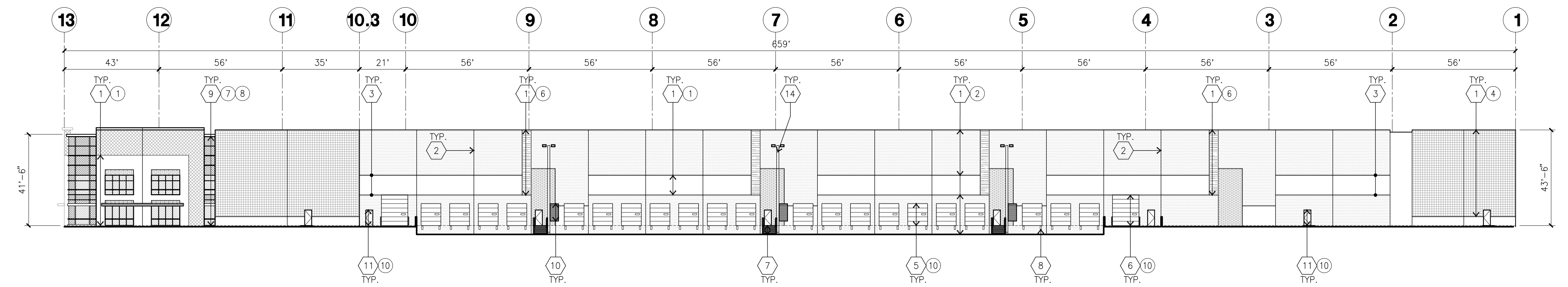
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Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 1
elevation

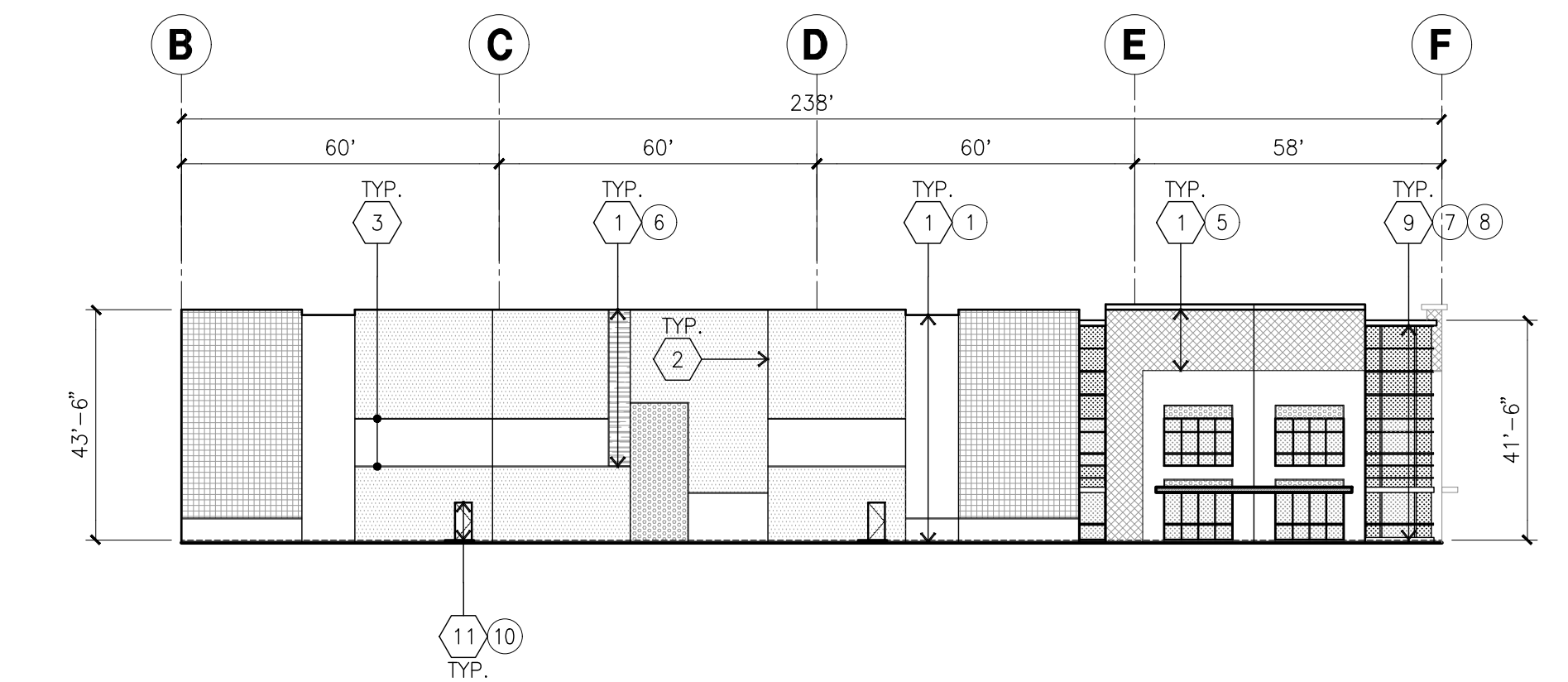
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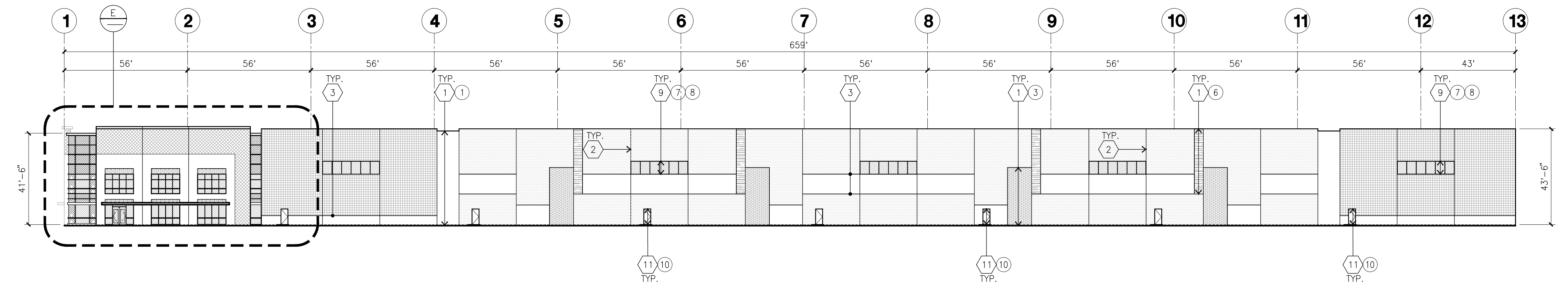
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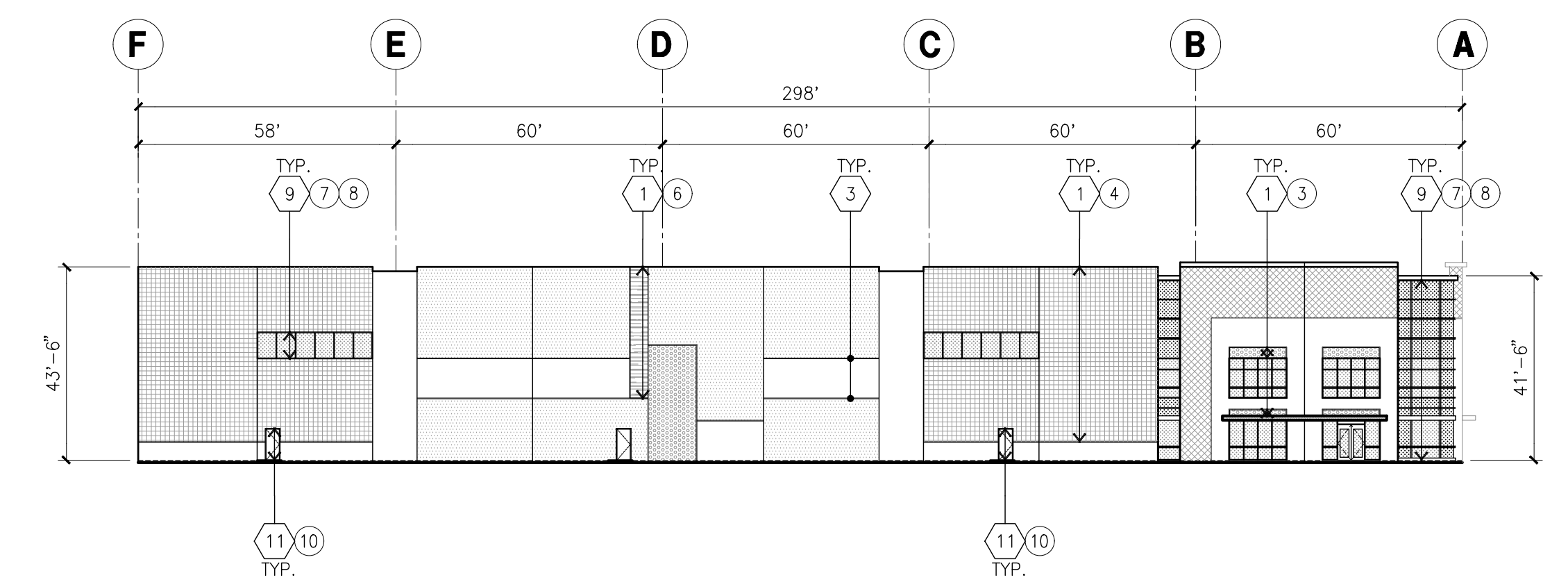
NORTH ELEVATION A
scale: 1" = 30'-0"



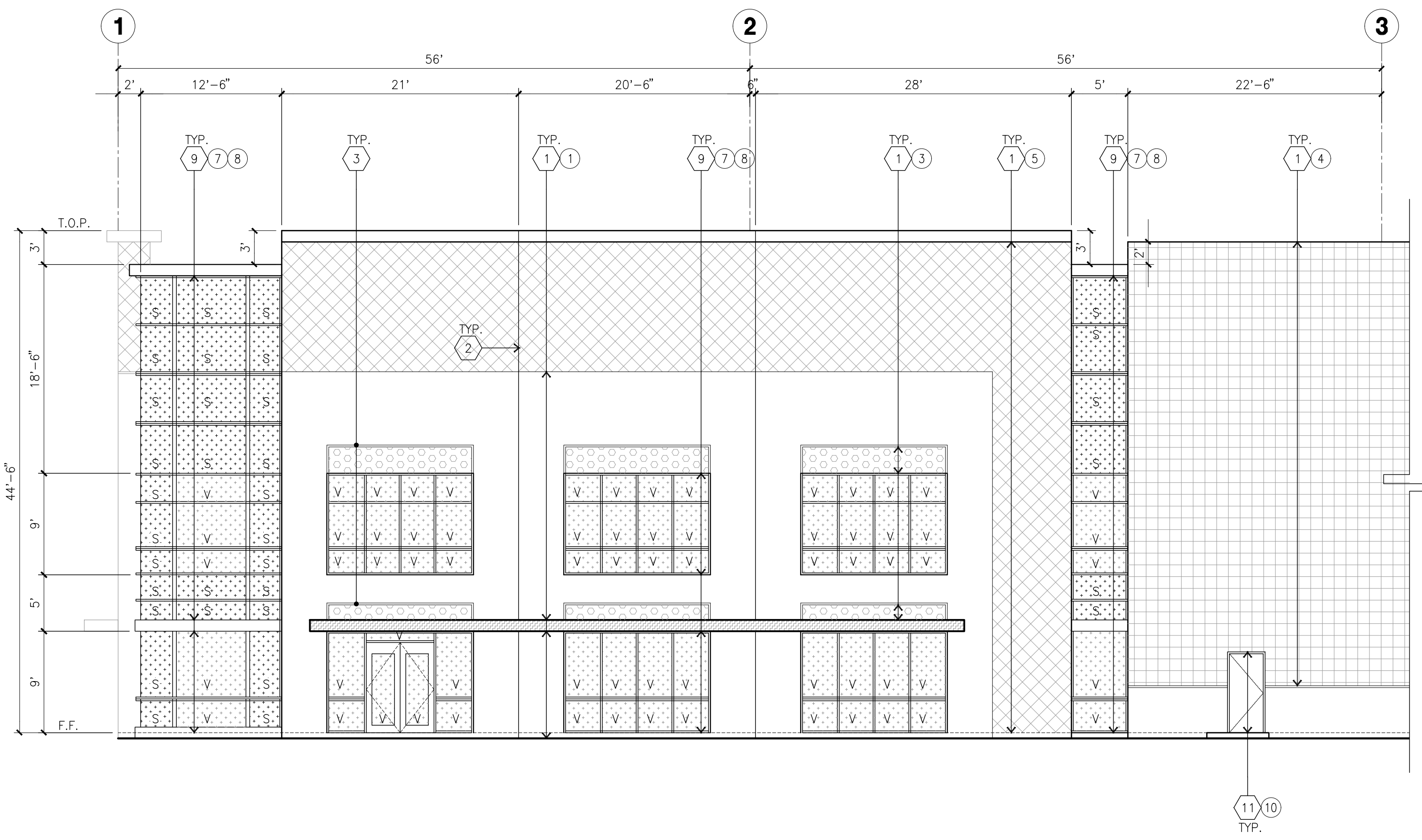
WEST ELEVATION B
scale: 1" = 30'-0"



SOUTH ELEVATION C
scale: 1" = 30'-0"



EAST ELEVATION D
scale: 1" = 30'-0"



ENLARGED SOUTH ELEVATION E
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

COLOR SCHEDULE - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7071 GRAY SCREEN
- 3 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7073 NETWORK GRAY
- 4 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7074 SOFTWARE
- 5 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7075 WEB GRAY
- 6 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7602 INDIGO BATIK
- 7 MULLIONS FINISH CLEAN ANODIZED
- 8 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 9 METAL CANOPY PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 10 DOORS COLOR MATCH BUILDING COLOR

GLAZING LEGEND

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
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- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 NOT USED.
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST *6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 NOT USED.
- 22 NOT USED.
- 23 NOT USED.
- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

SITE PLAN GENERAL NOTES

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- 2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- 3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
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- 8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- 9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- 11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- 12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
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- 15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- 16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND

- CONCRETE PAVING, SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8'-6" X 16' W/ 2" OVERHANG)
- LANDSCAPED AREA
- 24' WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

Property owner

THE MERGE COMPANY I, LLC c/o
 ORBIS REAL ESTATE PARTNERS
 280 NEWPORT CENTER DRIVE, #240
 NEWPORT BEACH, CA 92660
 CONTACT: RAYMOND POLVERINI
 949.330.7564

Address of the property

EASTVALE, CA

Assessor's Parcel Number

144-010-015, 144-010-018, 144-010-020,
 144-010-023, 144-010-024 & 144-010-032.

Zoning

LIGHT INDUSTRIAL (LI)

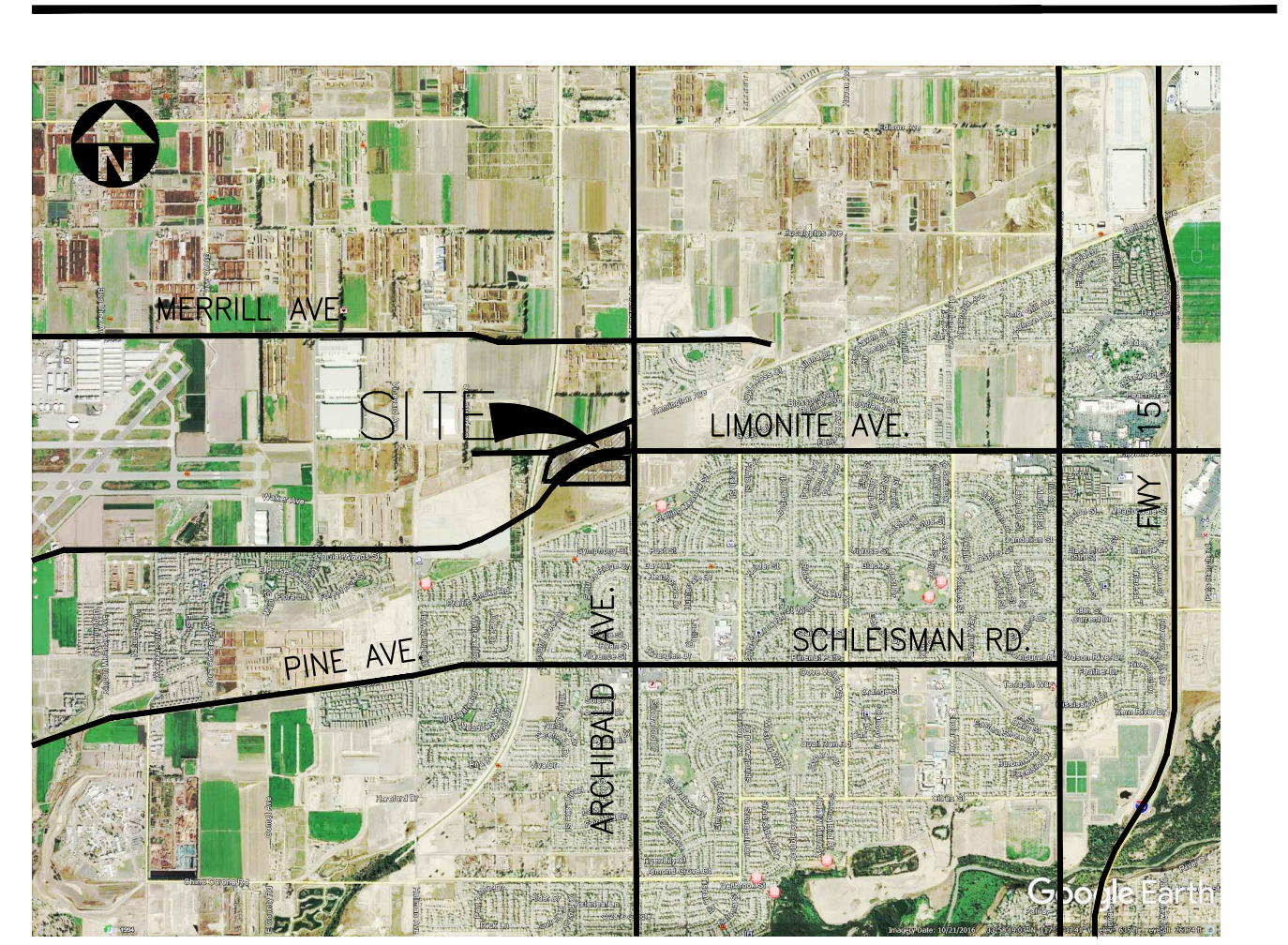
Applicant's representative

HPA, INC.
 18831 BARDEEN AVE SUITE 100
 IRVINE, CA 92612
 TEL: 949-862-2108
 ATTN: SHA LIU MAHONEY

PROJECT DATA

	BLDG.1	BLDG.2	BLDG.3	BLDG.4	BLDG.5	BLDG.6	BLDG.7	TOTAL
SITE AREA								
n.s.f.	338,705	160,464	83,617	150,363	213,469	694,274	894,274	386,194 s.f.
Acres	7.78	3.68	1.92	3.45	4.90	20.83	20.83	46.47 ac.
BUILDING AREA								
Office - East	10,000	5,000	3,000	8,000	5,000	10,000	10,000	51,000 s.f.
Office - West	9,000	0	2,500	4,500	2,500	4,000	10,000	28,000 s.f.
Warehouses	155,155	60,204	31,540	61,384	49,310	88,197	487,317	914,108 s.f.
TOTAL	170,155	65,204	37,040	73,384	56,810	83,197	507,317	963,108 s.f.
Clear building height	30'	30'	30'	30'	30'	32'	40'	
COVERAGE	50.2%	40.6%	44.3%	48.6%	26.6%	9.3%	56.7%	250.7%
AUTO PARKING REQUIRED								
Office - 1/250 s.f.	60	20	22	48	30	56	80	318 stalls
Warehouse - 12,000 s.f.	78	31	16	31	25	35	244	405 stalls
TOTAL	138	51	38	79	55	91	324	773 stalls
AUTO PARKING PROVIDED								
Standard (9' x 18')	132	59	36	76	66	92	317	781 stalls
Accessible (9' x 18' w/ 5' x 18')	4	2	1	2	2	2	2	6
Accessible Van (12' x 18')	2	2	1	2	1	2	2	2
TRAILER PARKING PROVIDED								
Trailer (12' x 50')	0	0	0	0	4	0	63	67 stalls
TOTAL PARKING PROVIDED	136	63	38	80	70	96	388	879 stalls
ZONING ORDINANCE FOR CITY								
Current Zoning Designation - Heavy Agriculture (A-2)								
Proposed Zoning Designation - Industrial park (I-P)								
MAXIMUM BUILDING HEIGHT ALLOWED								
Height - 75'								
MAXIMUM FLOOR AREA RATIO								
Per - 0.60								
SETBACKS (See notes for additional setbacks)								
Building								
Archibald Ave. - 25'								
Limonte Ave. - 25'								
Side / Street side - 10'								
Rear - 15'								
LANDSCAPE REQUIREMENT								
Percentage - 10% of total interior parking area								

VICINITY MAP



hpa, inc.
 18831 bardeen avenue - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240
 Newport Beach, CA 92660
 tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

- Civil: KIMLEY HORN
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

Title: BUILDING 2 overall site plan

Project Number: 18111
 Drawn by: SHA LIU MAHONEY
 Date: 07/02/2019
 Revision:

Sheet:

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2-DAB-A1.1

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

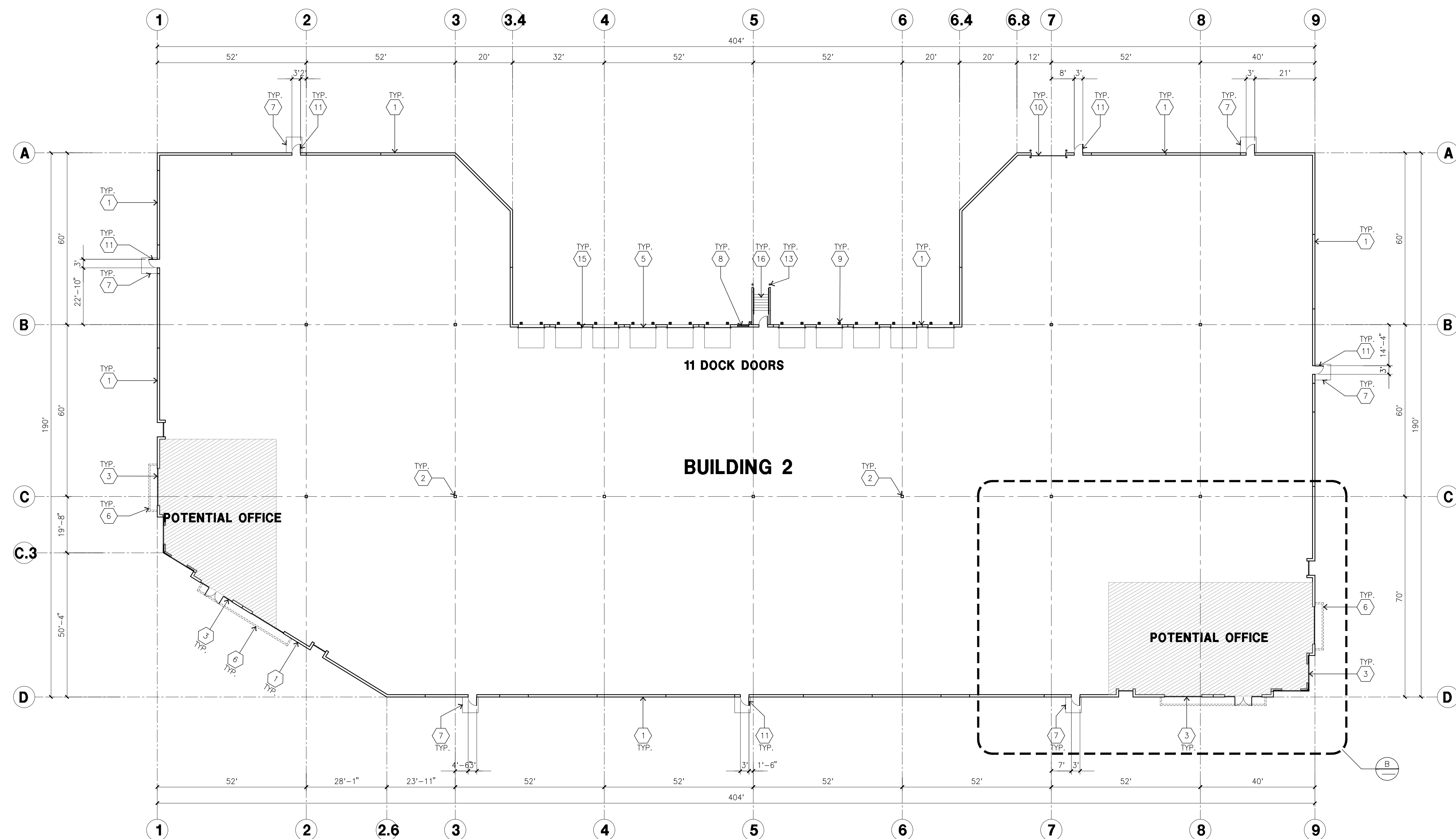
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 2
overall floor plan

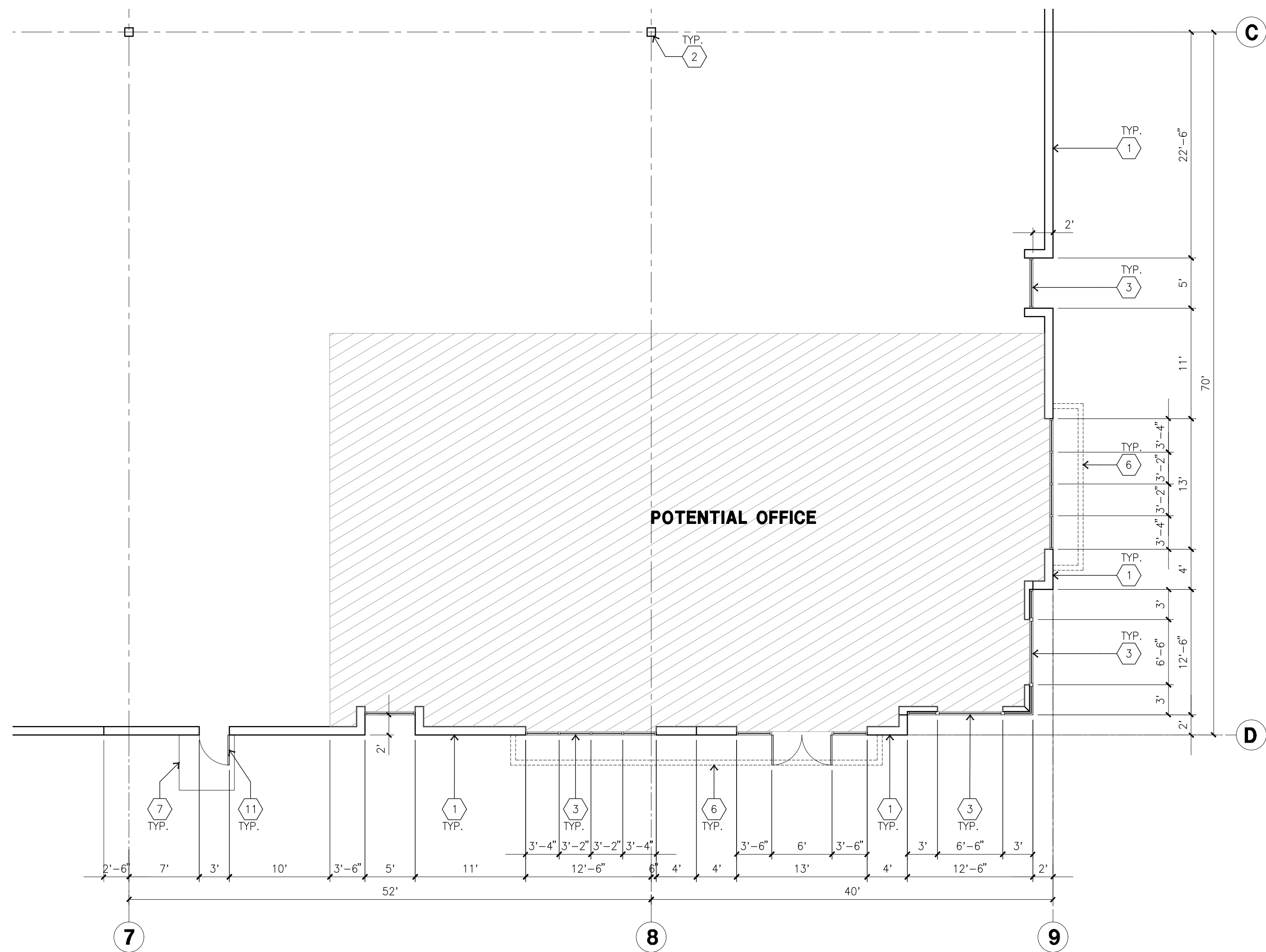
Project Number: 18111
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Revision:

Sheet:

2-DAB-A2.1



OVERALL FLOOR PLAN
scale: 1" = 20'-0"
SCALE: 1" = 20'-0"
0 20' 40' 60'
PLAN NORTH TRUE NORTH



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
SCALE: 1/8" = 1'-0"
0 8' 16' 24'
PLAN NORTH TRUE NORTH

KEYNOTES - FLOOR PLAN

- | | |
|---|--|
| 1 CONCRETE TILT-UP PANEL. | 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. |
| 2 STRUCTURAL STEEL COLUMN. | 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. |
| 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS. | 12 SOFFIT LINE ABOVE |
| 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. | 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H. |
| 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD | 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER. |
| 6 METAL CANOPY. | 15 Z GUARD. |
| 7 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 2" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS. | 16 EXTERIOR CONCRETE STAIR. |
| 8 LOUVERED OPENING FOR VENTILATION. | 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN. |
| 9 DOCK DOOR BUMPER. | 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR. |

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

KEYNOTES - ELEVATIONS

- ① CONCRETE TILT-UP PANEL (PAINTED).
- ② PANEL JOINT.
- ③ PANEL REVEAL.
- ④ CONCRETE TILT-UP SCREEN WALL.
- ⑤ OVERHEAD DOOR @ DOCK HIGH.
- ⑥ OVERHEAD DOOR @ DRIVE THRU.
- ⑦ CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- ⑧ DOCK BUMPER.
- ⑨ ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- ⑩ LOUVER (SIZE AND LOCATION APPROX. ONLY).
- ⑪ HOLLOW METAL DOORS.
- ⑫ NOT USED.
- ⑬ INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- ⑭ EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

COLOR SCHEDULE - ELEVATIONS

①	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
②	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071 GRAY SCREEN
③	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073 NETWORK GRAY
④	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074 SOFTWARE
⑤	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075 WEB GRAY
⑥	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7602 INDIGO BATIK
⑦	MULLIONS	FINISH	CLEAN ANODIZED
⑧	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
⑨	METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
⑩	DOORS	COLOR	MATCH BUILDING COLOR

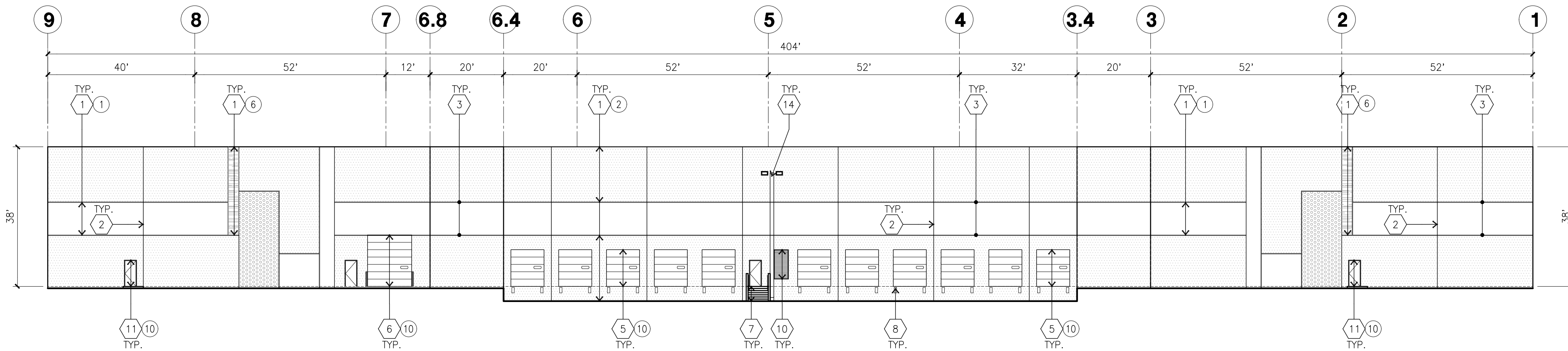
GLAZING LEGEND

- V TEMPERED VISION GLASS
- S TEMPERED SPANDREL GLASS

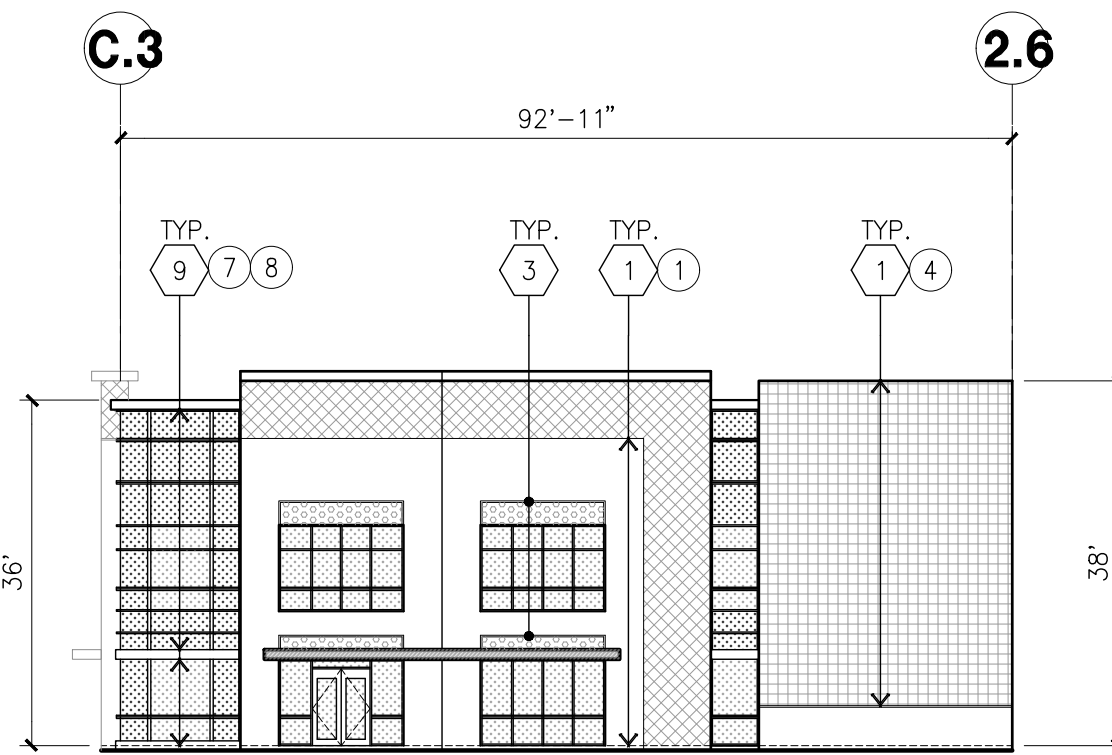
ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

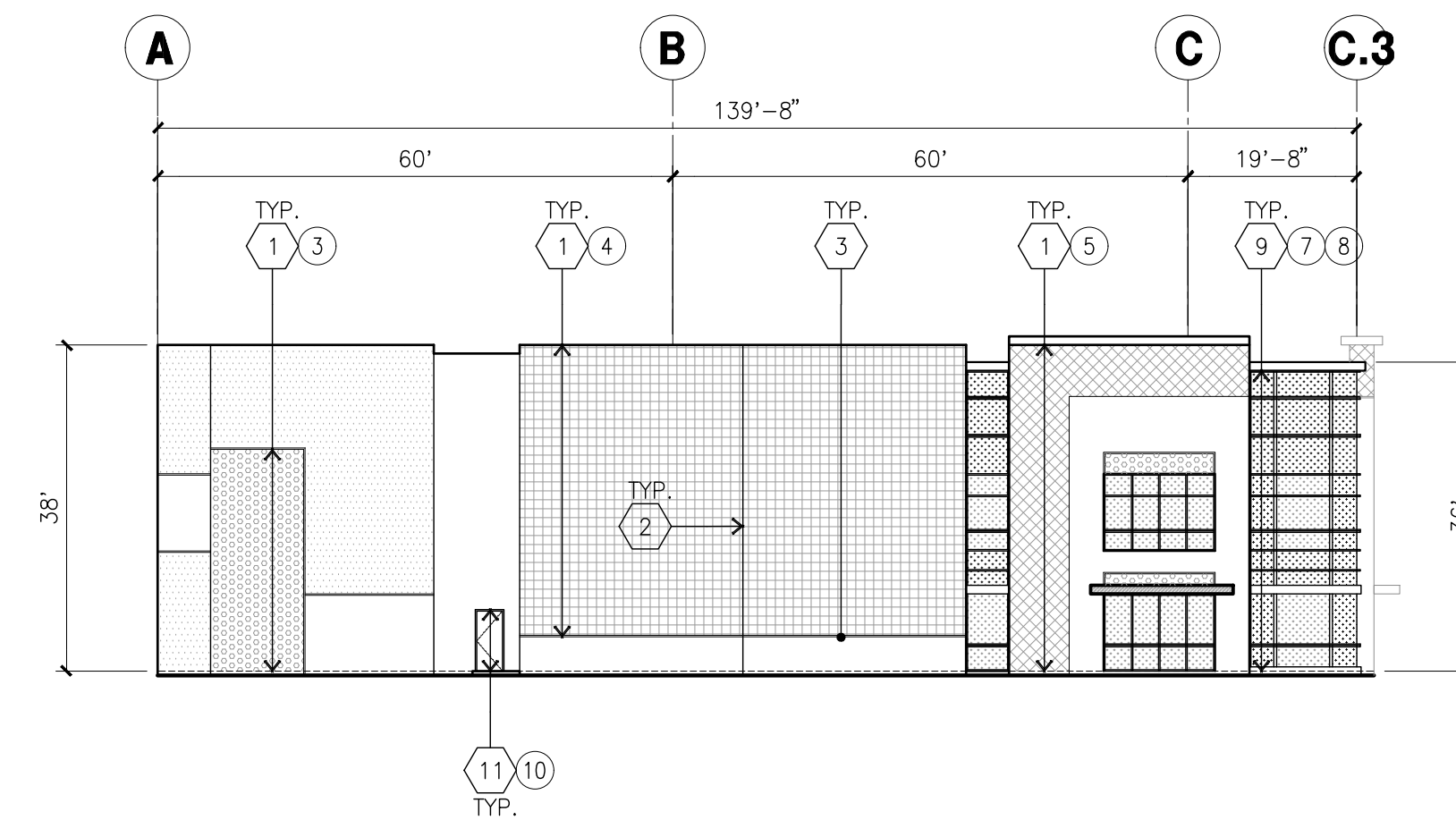
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



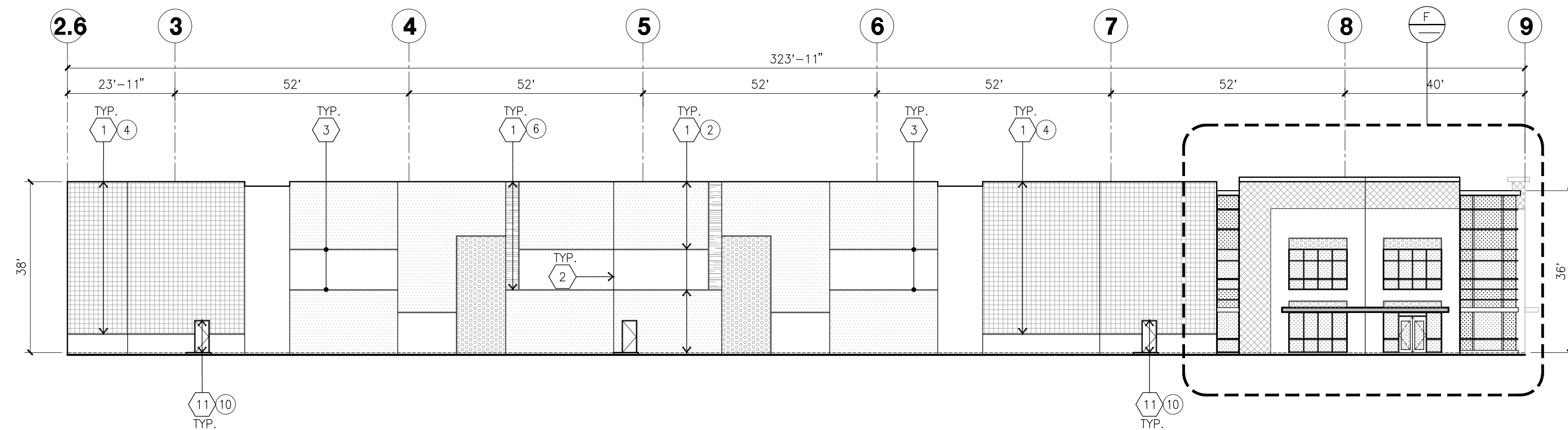
NORTH ELEVATION A
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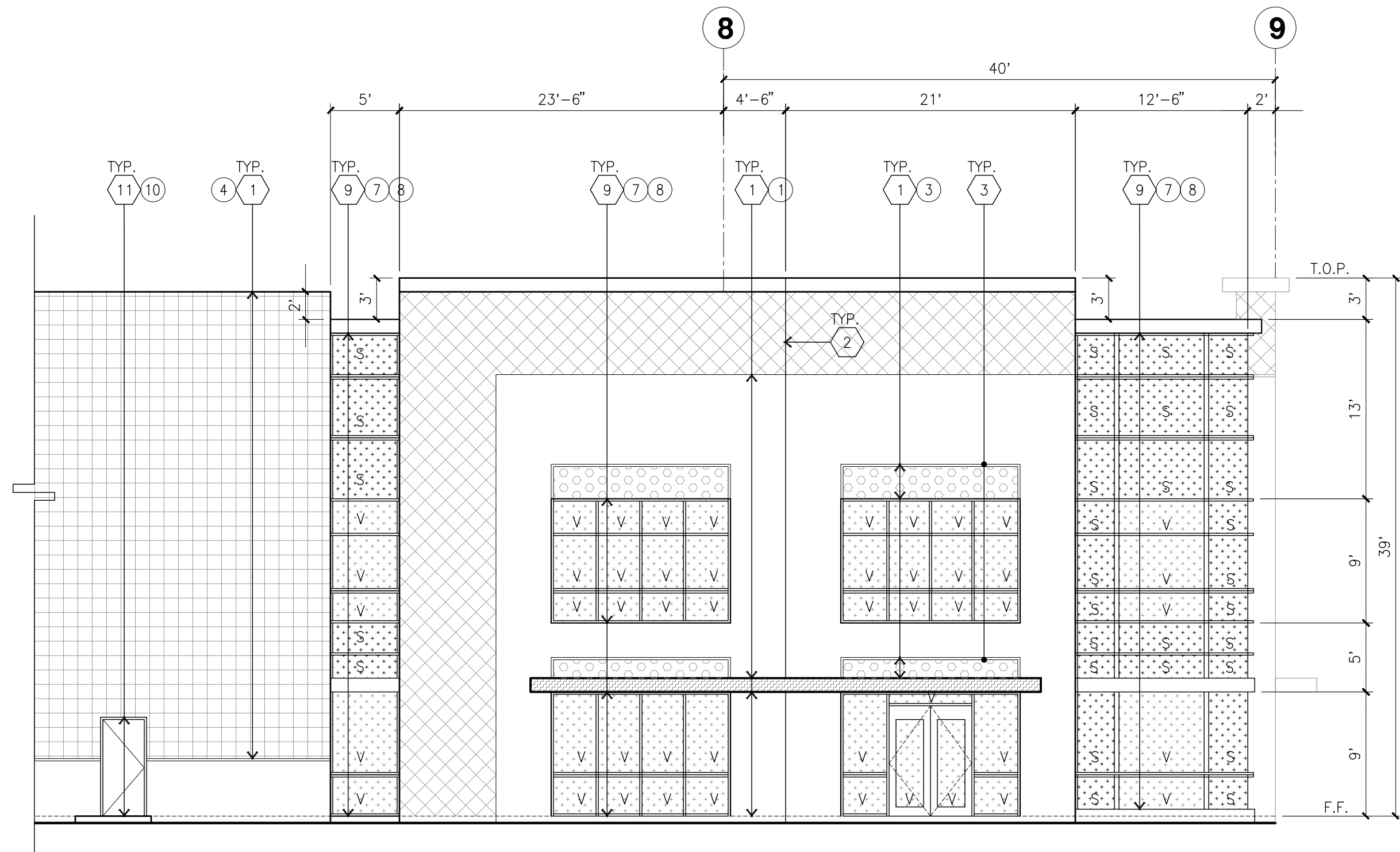
SOUTHWEST ELEVATION C
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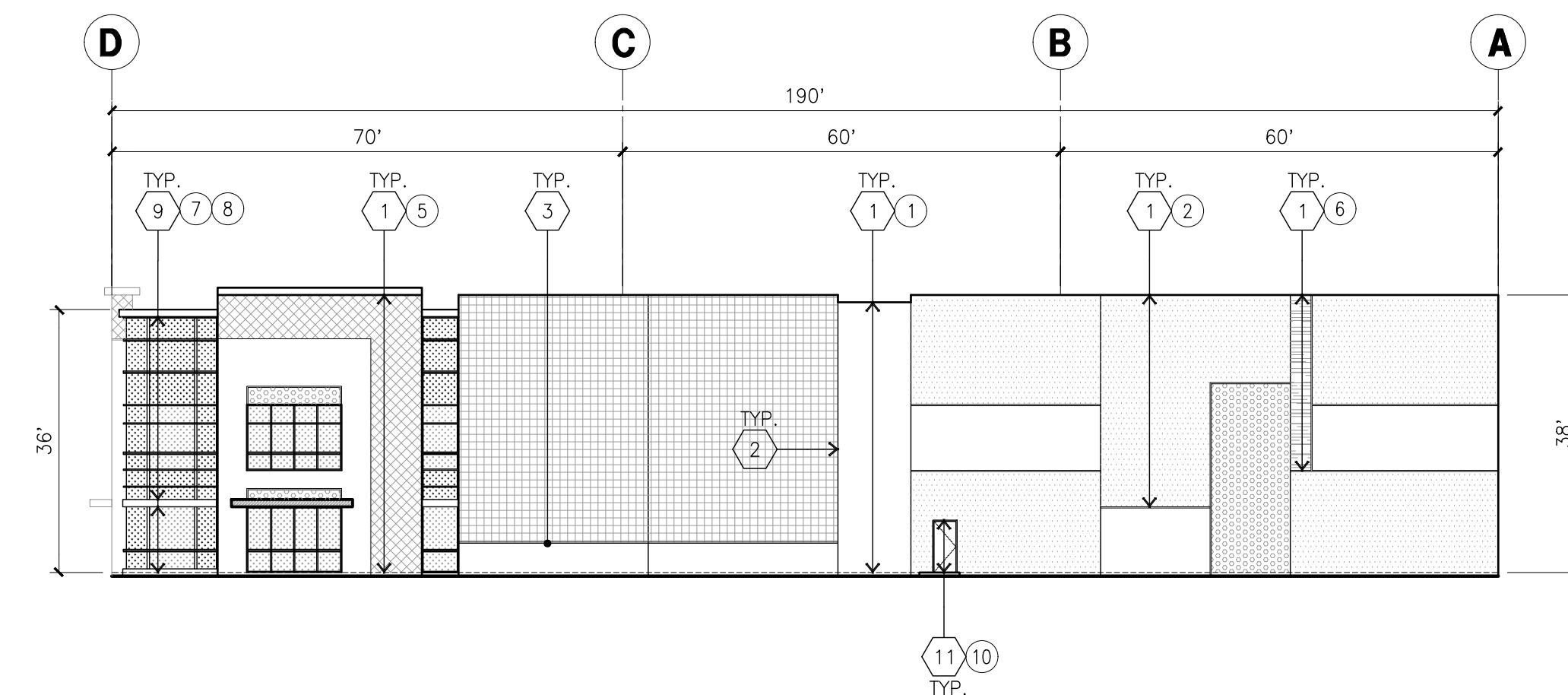
WEST ELEVATION B
scale: 1"=20'-0"



SOUTH ELEVATION D
scale: 1"=20'-0"



ENLARGED SOUTH ELEVATION F
scale: 1/8"=1'-0"



EAST ELEVATION E
scale: 1"=20'-0"



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

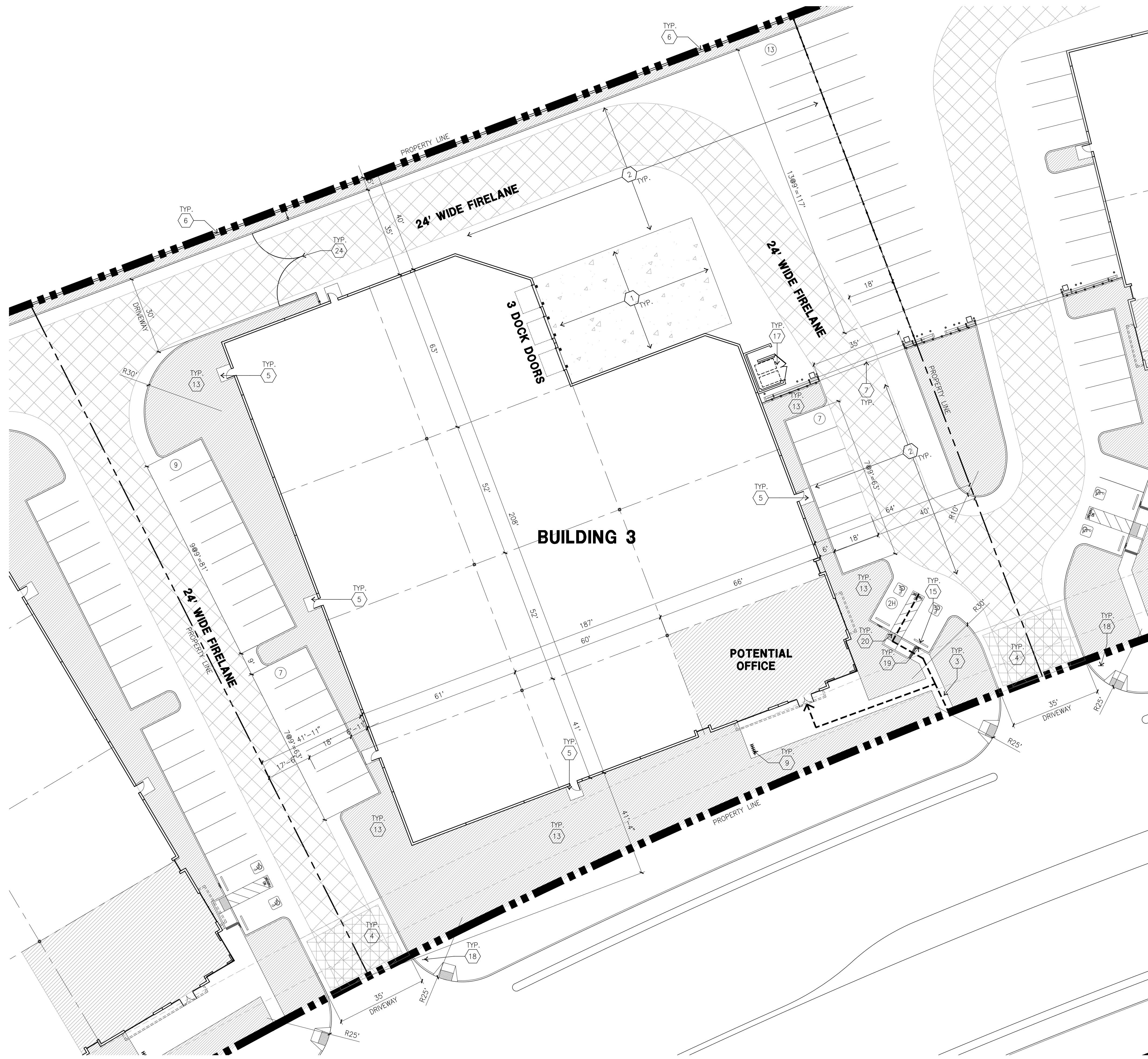
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 2
elevation

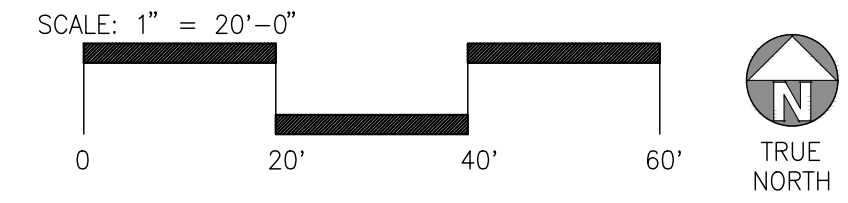
Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

2-DAB-A3.1



OVERALL SITE PLAN
scale: 1" = 20'-0"



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" DOUBLE SIDE, SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 7 8' HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 NOT USED.
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST *6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 NOT USED.
- 22 NOT USED.
- 23 NOT USED.
- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

SITE PLAN GENERAL NOTES

- 1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- 2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
- 3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- 4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- 5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- 6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- 7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- 8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- 9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- 11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- 12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
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- 14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- 15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- 16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8'-0" X 16' W/ 2' OVERHANG)
- LANDSCAPED AREA
- 24' WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

Property owner

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CONTACT: RAYMOND POLVERINI
949.330.7564

Address of the property

EASTVALE, CA

Assessor's Parcel Number

144-010-015, 144-010-018, 144-010-020,
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Zoning

LIGHT INDUSTRIAL (LI)

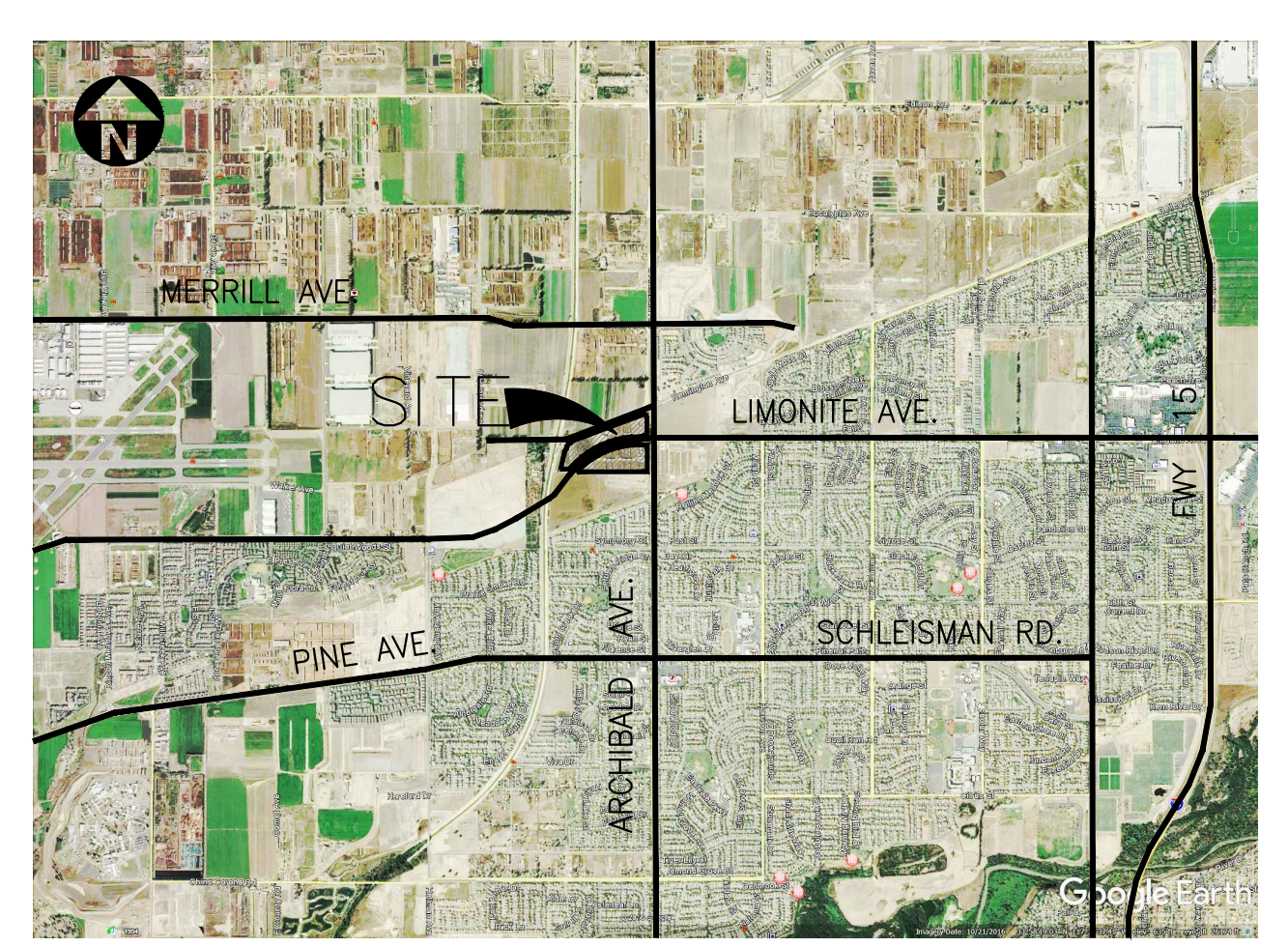
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PROJECT DATA

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	TOTAL
SITE AREA								
In s.f.	338,705	160,464	83,617	150,393	213,469	894,274	894,274	396,184 s.f.
In acres	7.78	3.68	1.92	3.45	4.90	20.53	20.53	45.47 ac
BUILDING AREA								
Office - East	10,000	5,000	3,000	8,000	5,000	10,000	10,000	51,000 s.f.
Office - West	5,000	0	2,500	4,000	2,500	4,000	10,000	28,000 s.f.
Warehouse	185,156	60,204	31,540	61,384	49,310	161,187	487,317	914,108 s.f.
TOTAL	170,156	65,204	37,040	73,384	56,810	83,187	507,317	993,108 s.f.
Clear building height	36'	30'	30'	30'	30'	32'	32'	40'
COVERAGE	50.2%	40.6%	44.3%	48.8%	26.6%	9.3%	56.7%	250.7%
AUTO PARKING REQUIRED								
Office - 1/250 s.f.	60	20	22	48	30	56	80	316 stalls
Misc. - 1/2,000 s.f.	78	31	16	31	25	35	244	460 stalls
TOTAL	138	51	38	79	55	91	324	776 stalls
AUTO PARKING PROVIDED								
Standard (9' x 18')	132	59	36	76	69	92	317	781 stalls
Accessible (9' x 18' w/ 5x18')	4	2	1	2	2	2	6	17 stalls
Accessible Van (12' x 18')	2	2	1	2	1	2	2	10 stalls
TRAILER PARKING PROVIDED								
Trailer (12' x 50')	0	0	0	0	4	0	63	67 stalls
TOTAL PARKING PROVIDED	138	63	38	80	76	98	388	879 stalls
ZONING ORDINANCE FOR CITY								
Current Zoning Designation - Heavy Agriculture (A-2)								
Proposed Zoning Designation - Industrial park (I-P)								
MAXIMUM BUILDING HEIGHT ALLOWED								
Height - 75'								
MAXIMUM FLOOR AREA RATIO								
Per 1,000								
SETBACKS (see notes for additional setbacks)								
Building								
Archibald Ave. - 25'								
Limonite Ave. - 25'								
Side / Street side - 10'								
Rear - 15'								
LANDSCAPE REQUIREMENT								
Percentage - 10% of total interior parking area								

VICINITY MAP



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Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

- Civil: KIMLEY HORN
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- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

Title: BUILDING 3 overall site plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

3-DAB-A1.1

OFFICIAL USE ONLY

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

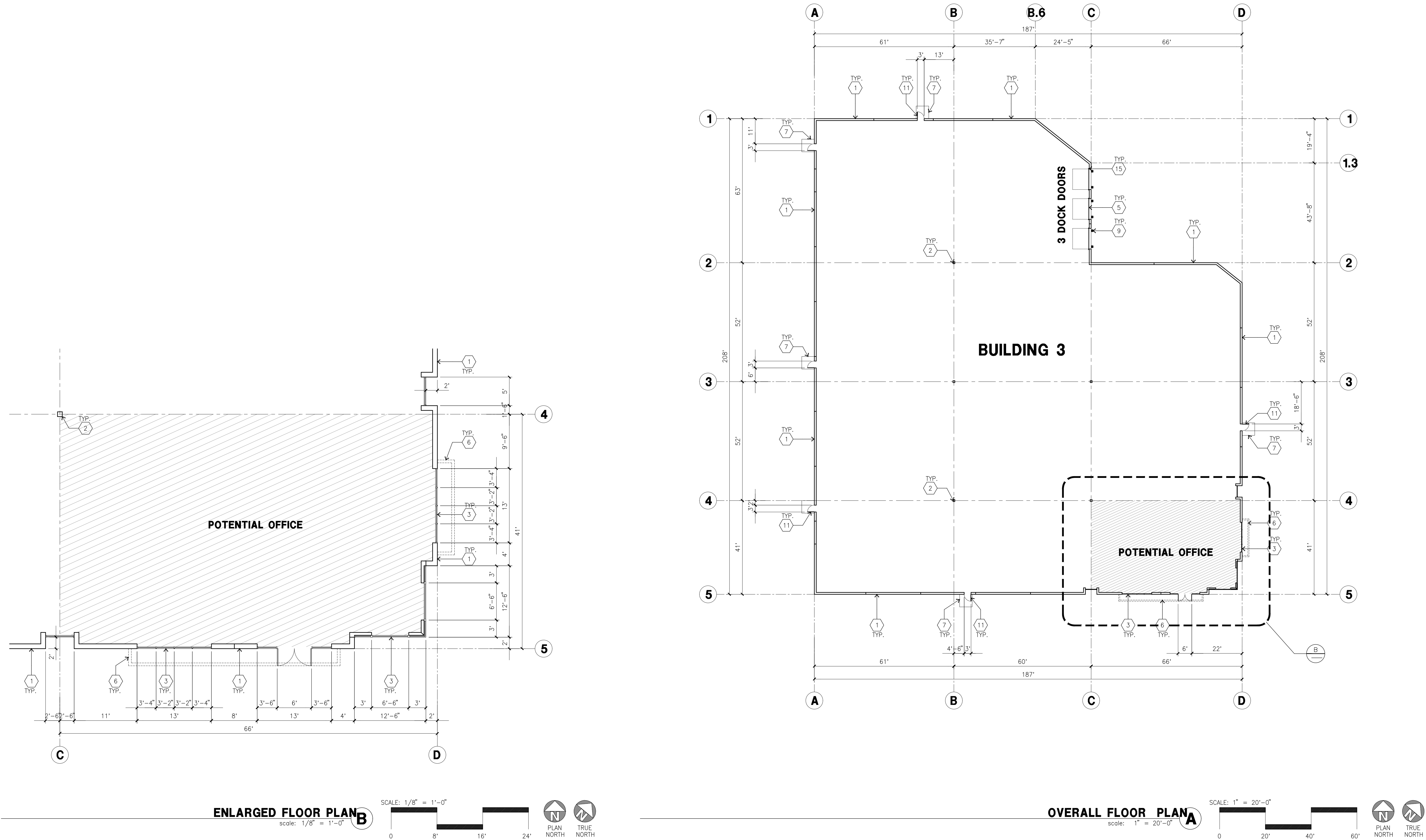
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 3
overall floor plan

Project Number: 18111
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3-DAB-A2.1



KEYNOTES - FLOOR PLAN

- | | |
|--|---|
| (1) CONCRETE TILT-UP PANEL. | (10) 12' X 14' DRIVE THRU. SECTIONAL OH., STANDARD GRADE. |
| (2) STRUCTURAL STEEL COLUMN. | (11) 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. |
| (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS. | (12) SOFFIT LINE ABOVE |
| (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. | (13) CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H. |
| (5) 9' X 10' TRUCK DOOR, SECTIONAL O'H., STANDARD | (14) INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER, |
| (6) METAL CANOPY. | (15) Z GUARD. |
| (7) 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS. | (16) EXTERIOR CONCRETE STAIR. |
| (8) LOUVERED OPENING FOR VENTILATION. | (17) INTERIOR ROOF DRAIN, SEE ROOF PLAN. |
| (9) DOCK DOOR BUMPER. | (18) ROOF ACCESS LADDER ON MEZZANINE FLOOR. |

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100" MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 8" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O..
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

COLOR SCHEDULE - ELEVATIONS

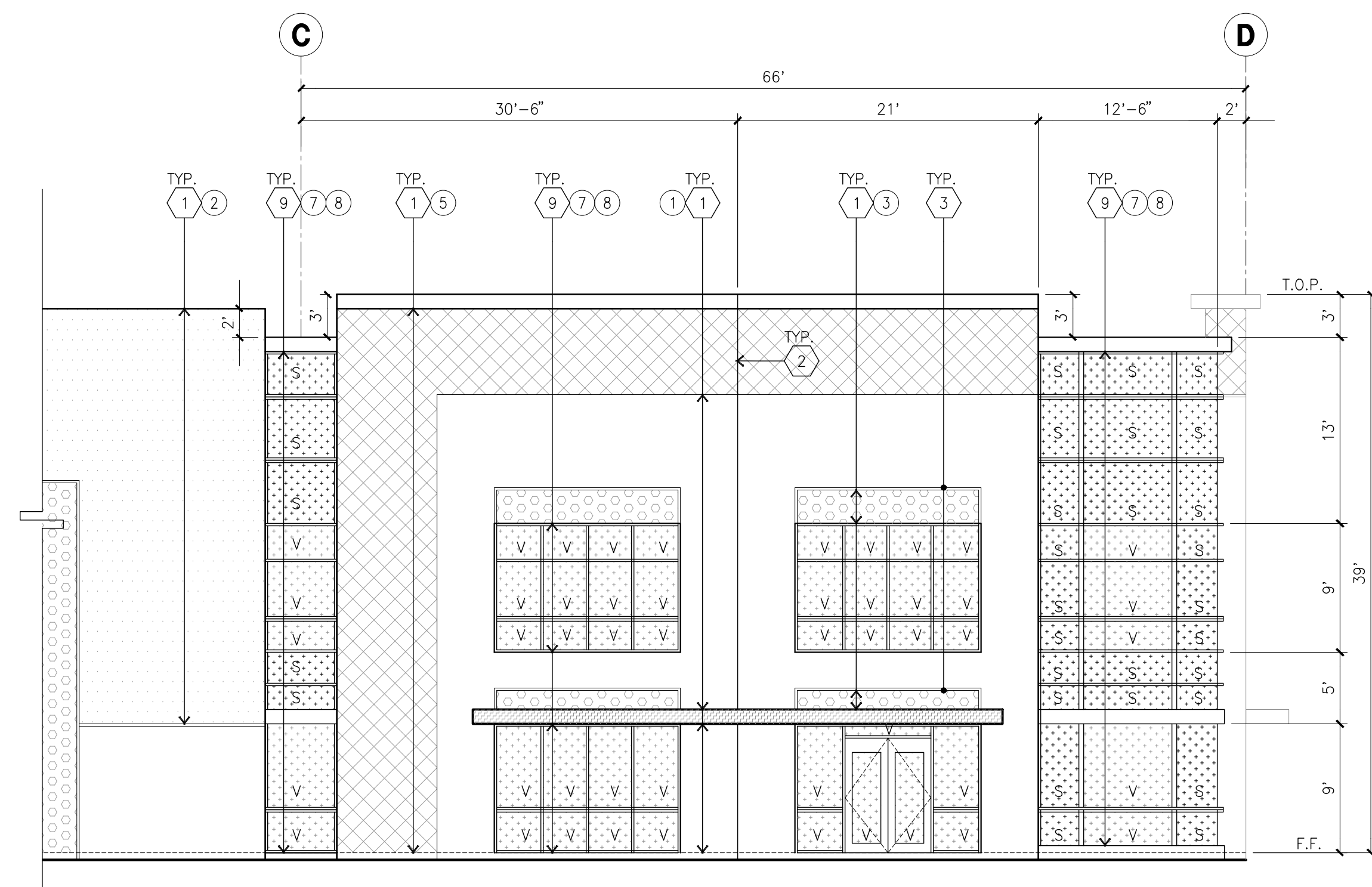
	1 CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
	2 CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071 GRAY SCREEN
	3 CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073 NETWORK GRAY
	4 CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074 SOFTWARE
	5 CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075 WEB GRAY
	6 CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7802 INDIGO BATIK
	7 MULLIONS	FINISH	CLEAN ANODIZED
	8 GLAZING	COLOR	BLUE REFLECTIVE GLAZING
	9 METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
	10 DOORS	COLOR	MATCH BUILDING COLOR

GLAZING LEGEND

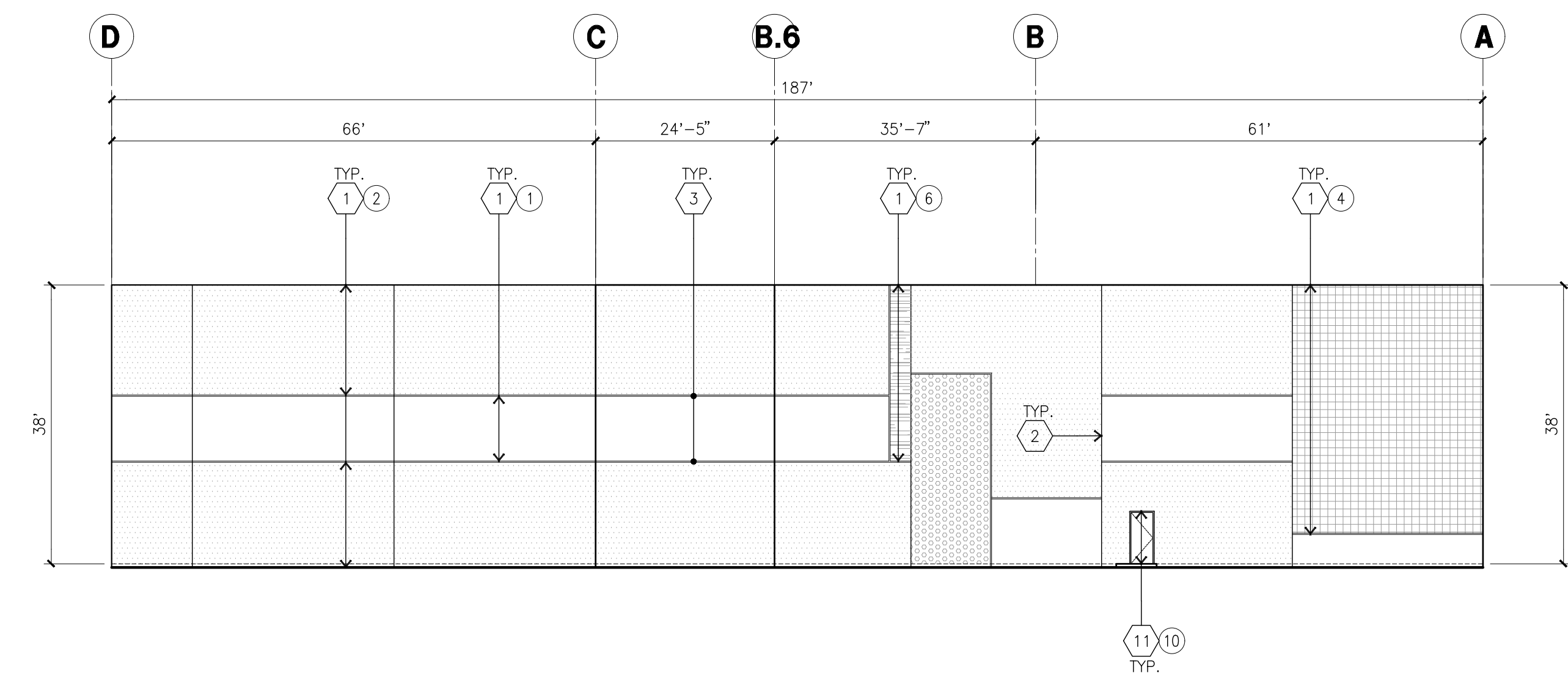
- TEMPERED VISION GLASS
 - TEMPERED SPANDEL GLASS
- ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

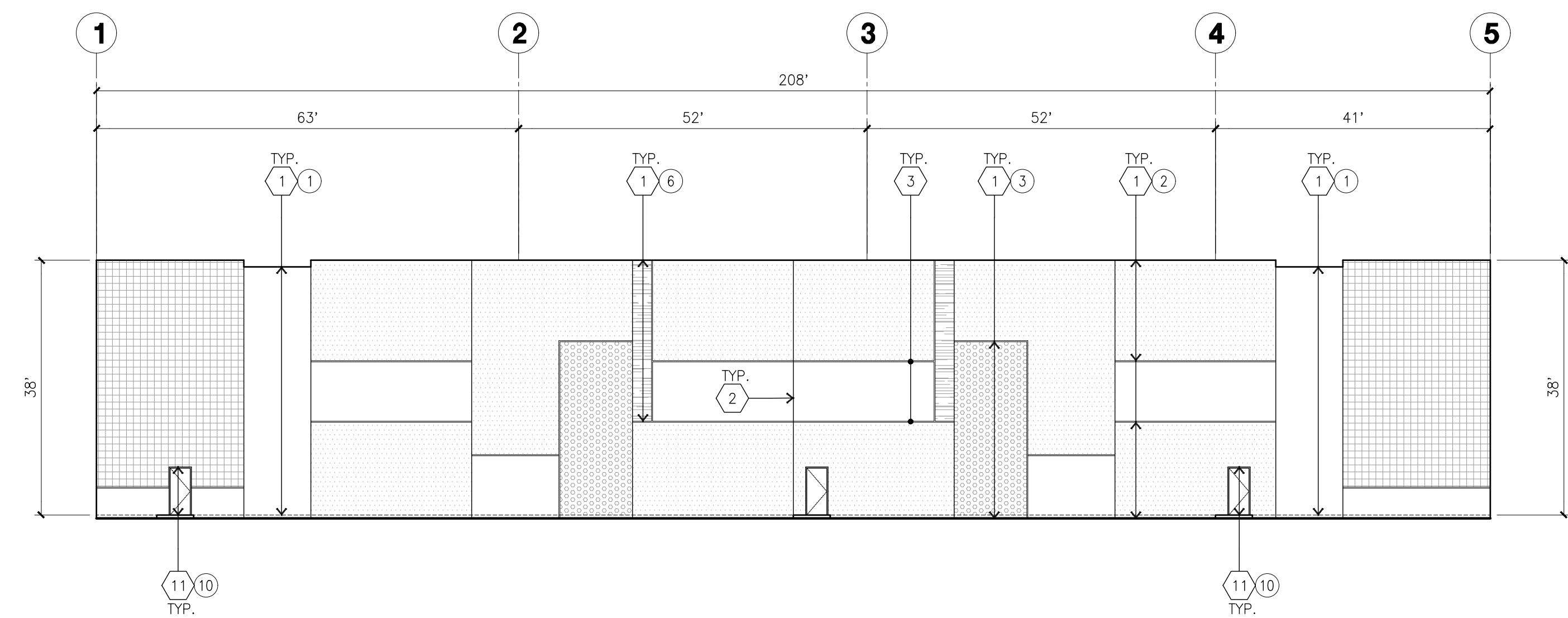
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



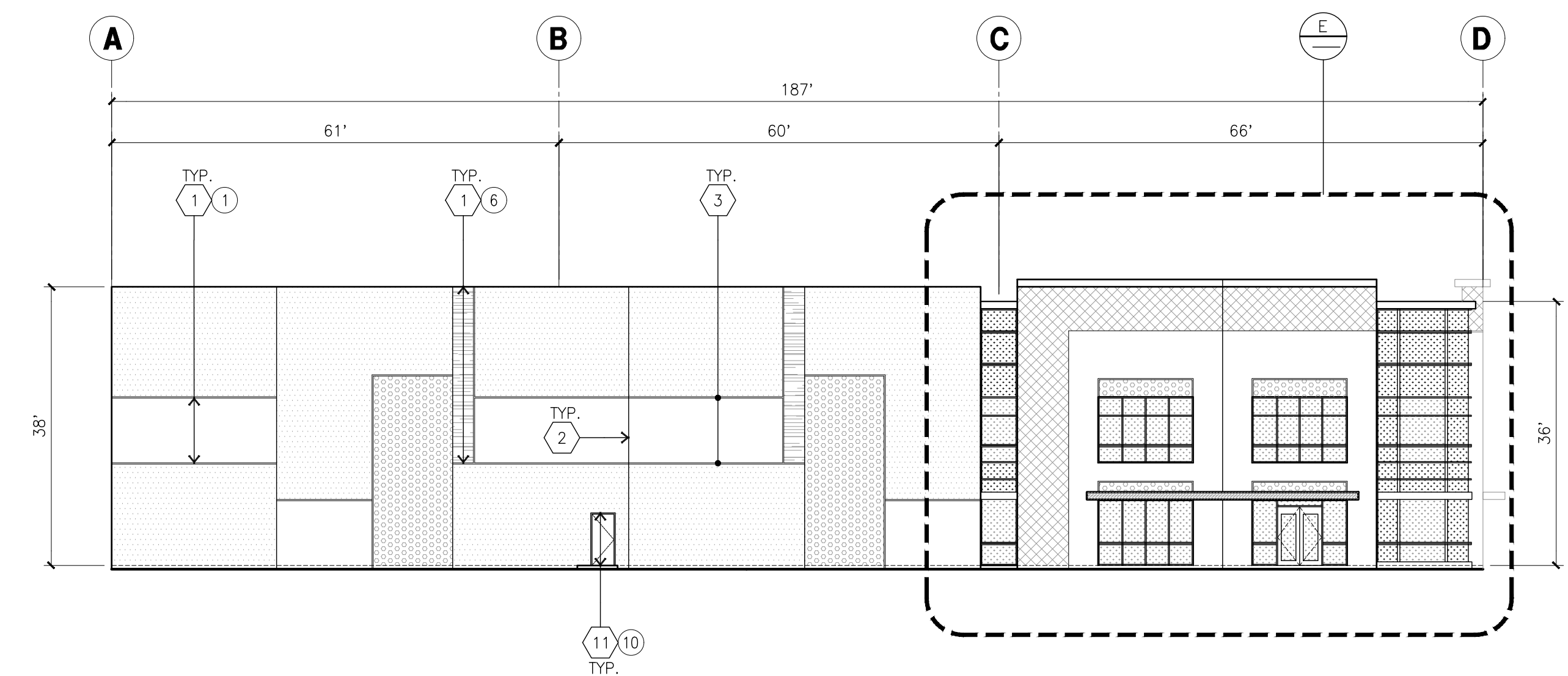
ENLARGED SOUTH ELEVATION
scale: 1/8"=1'-0"



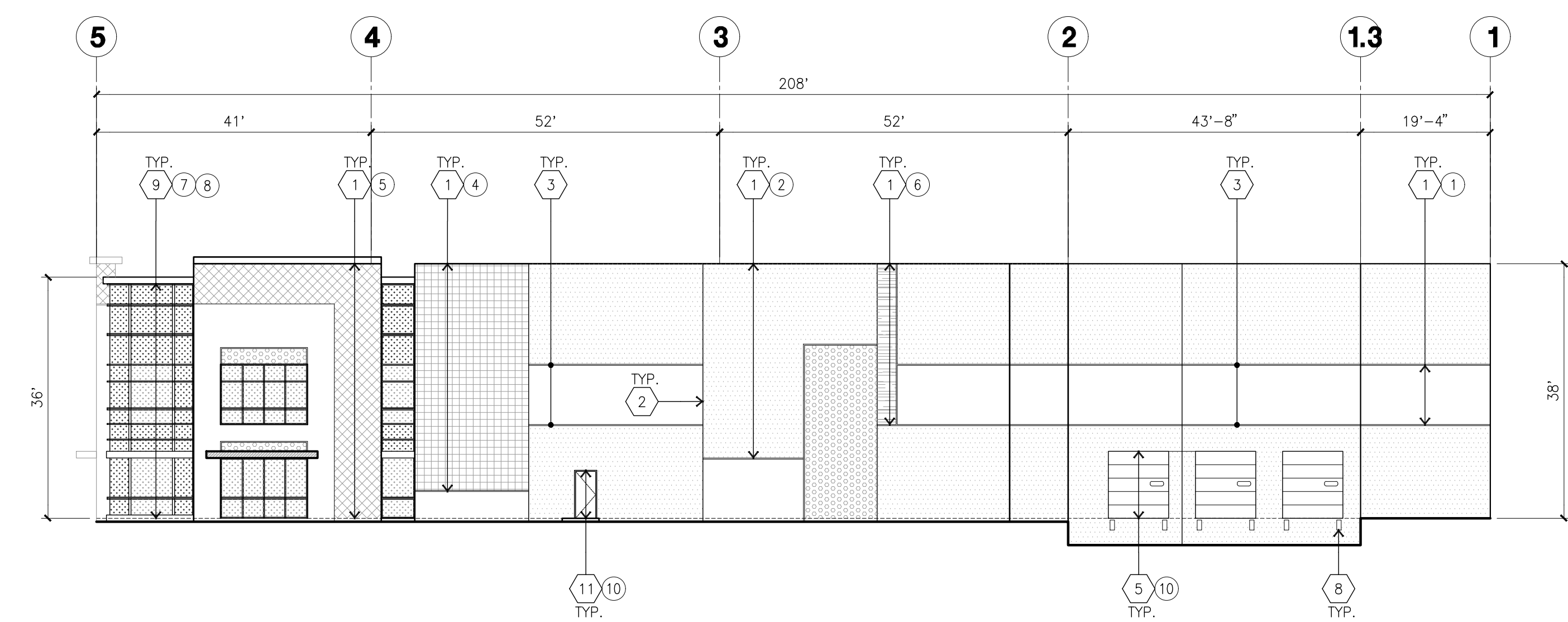
NORTH ELEVATION
scale: 1/16"=1'-0"



WEST ELEVATION
scale: 1/16"=1'-0"



SOUTH ELEVATION
scale: 1/16"=1'-0"



EAST ELEVATION
scale: 1/16"=1'-0"



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 3
elevation

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THE HOMESTEAD

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Title: BUILDING 4
overall site plan

Project Number: 18111
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Date: 07/02/2019
Revision:

Sheet:

4-DAB-A1.1

Property owner

THE MERGE COMPANY I, LLC c/o
ORBIS REAL ESTATE PARTNERS
280 NEWPORT CENTER DRIVE, #240
NEWPORT BEACH, CA 92660
CONTACT: RAYMOND POLVERINI
949.330.7564

Address of the property

EASTVALE, CA

Assessor's Parcel Number

144-010-015, 144-010-018, 144-010-020,
144-010-023, 144-010-024 & 144-010-032.

Zoning

LIGHT INDUSTRIAL (LI)

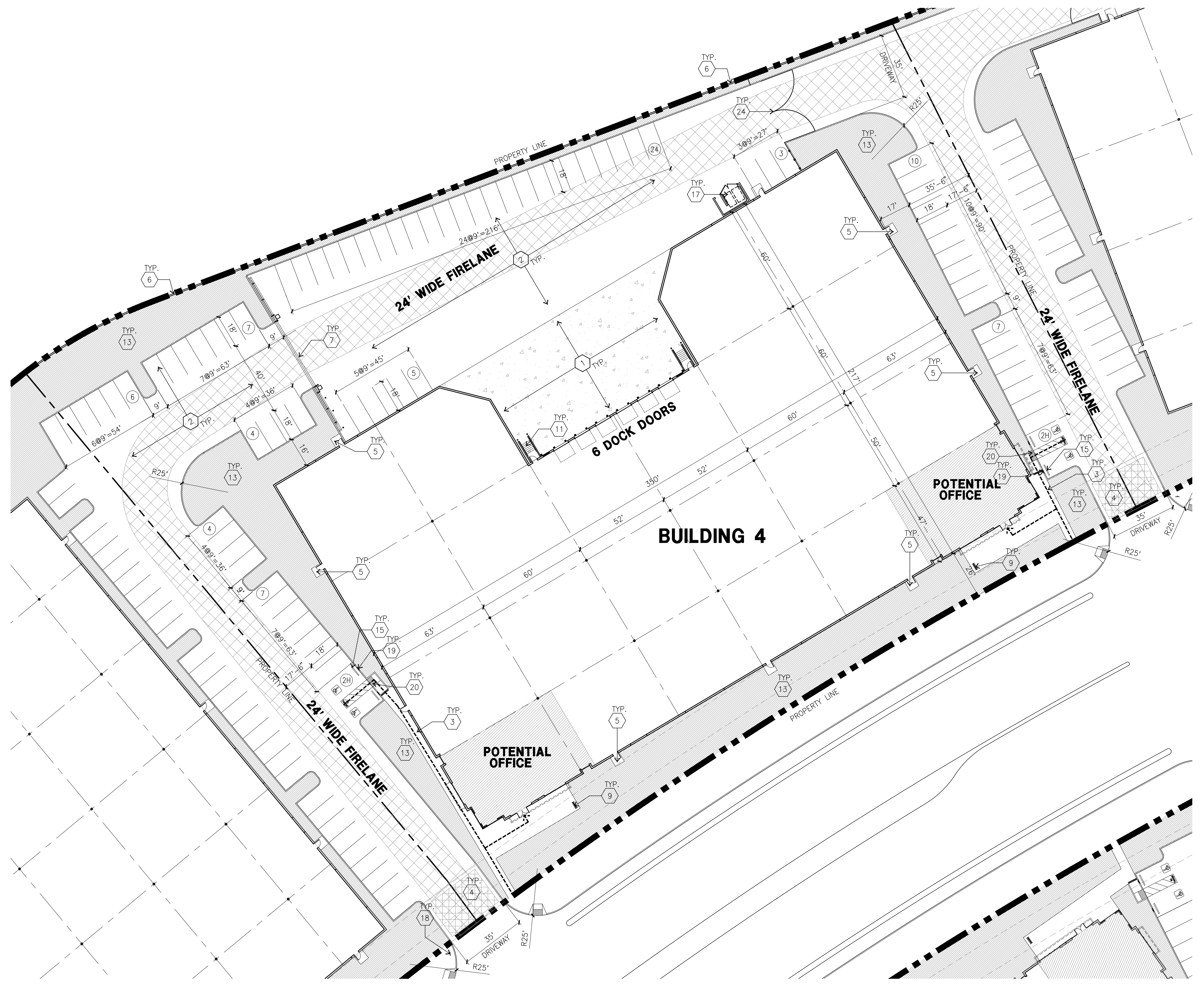
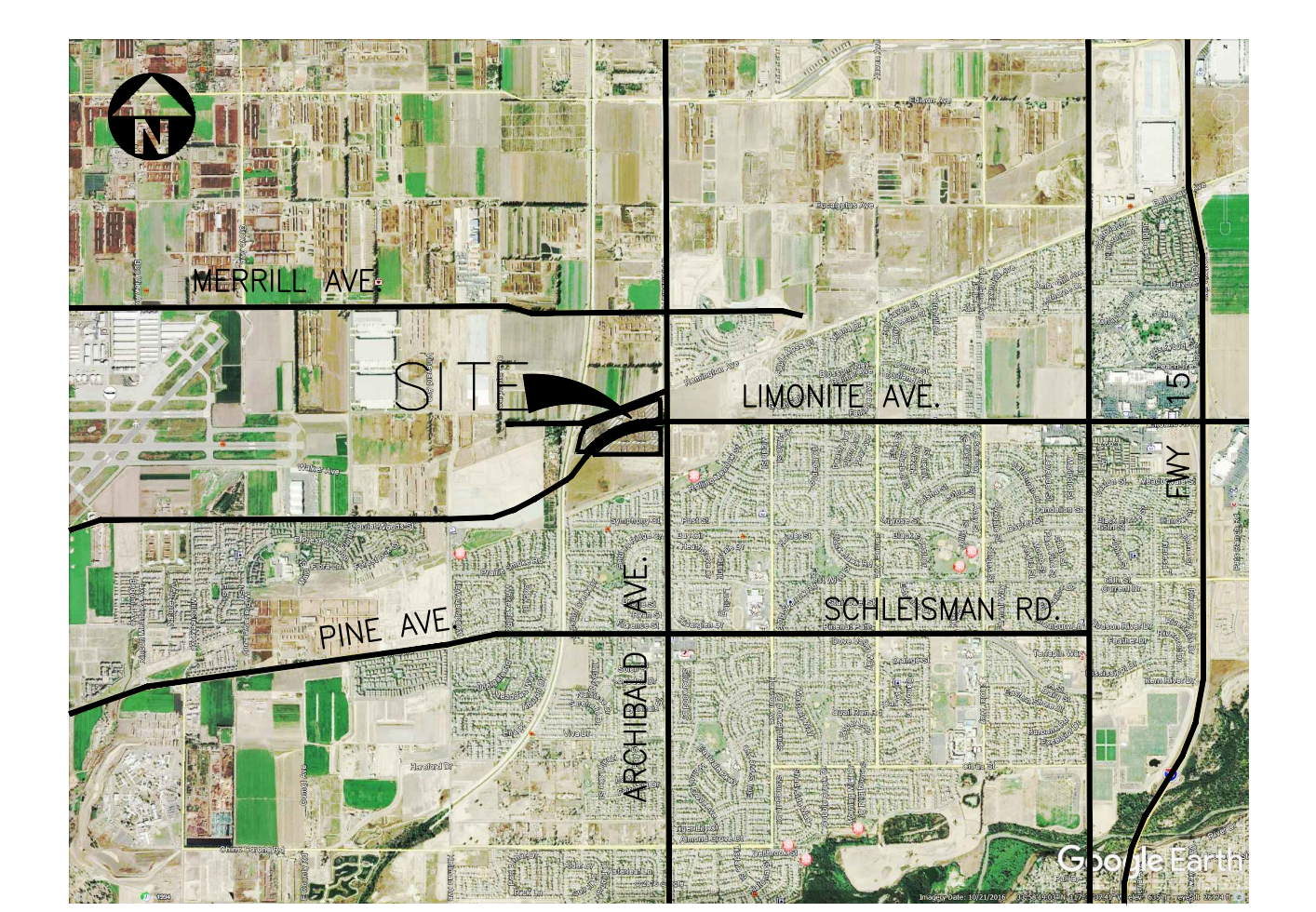
Applicant's representative

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2108
ATTN: SHA LIU MAHONEY

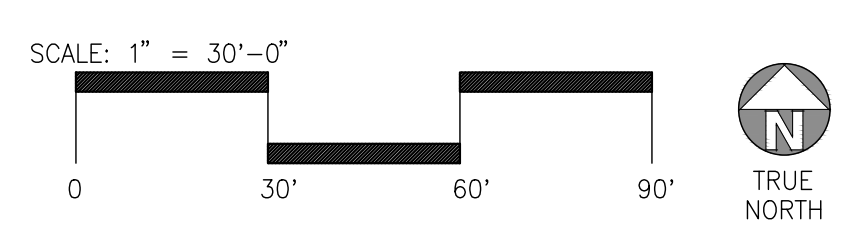
PROJECT DATA

	BLDG.1	BLDG.2	BLDG.3	BLDG.4	BLDG.5	BLDG.6	BLDG.7	TOTAL
SITE AREA								
In s.f.	338,705	160,464	83,617	150,393	213,469	884,274	884,274	396,184 s.f.
Acres	7.78	3.68	1.92	3.45	4.90	20.03	20.03	45.47 ac
BUILDING AREA								
Office - East	10,000	5,000	3,000	8,000	5,000	10,000	10,000	51,000 s.f.
Office - West	9,000	0	2,500	4,000	2,500	4,000	10,000	26,000 s.f.
Warehouse	185,156	60,204	31,540	61,384	49,310	68,197	487,317	514,108 s.f.
TOTAL	170,156	65,204	37,040	73,384	56,810	83,197	507,317	963,108 s.f.
Clear building height	36'	30'	30'	30'	30'	32'	40'	
COVERAGE	50.2%	40.6%	44.3%	48.8%	26.6%	9.3%	56.7%	250.7%
AUTO PARKING REQUIRED								
Office: 1/250 s.f.	60	20	22	48	30	56	80	318 stalls
Warehouse: 1/2,000 s.f.	78	31	15	31	25	35	244	450 stalls
TOTAL	138	51	38	79	55	91	324	776 stalls
AUTO PARKING PROVIDED								
Standard (9' x 18')	132	59	36	76	69	92	317	781 stalls
Accessible (9' x 18' w/ 5'x16')	4	2	1	2	2	2	6	
Accessible Van (12' x 18')	2	2	1	2	1	2	2	
TRAILER PARKING PROVIDED								
Trailer (12' x 50')	0	0	0	0	4	0	63	67 stalls
TOTAL PARKING PROVIDED	138	63	38	80	76	98	388	879 stalls
ZONING ORDINANCE FOR CITY								
Current Zoning Designation - Heavy Agriculture (A-2)								
Proposed Zoning Designation - Industrial park (I-P)								
MAXIMUM BUILDING HEIGHT ALLOWED								
Height - 75'								
MAXIMUM FLOOR AREA RATIO								
MAX: 0.60								
SETBACKS (See notes for additional setbacks)								
Building								
Archibald Ave. - 25'								
Limonite Ave. - 25'								
Site / Street side - 10'								
Rear - 15'								
LANDSCAPE REQUIREMENT								
Percentage - 10% of total interior parking area								

VICINITY MAP



OVERALL SITE PLAN
scale: 1" = 30'-0"



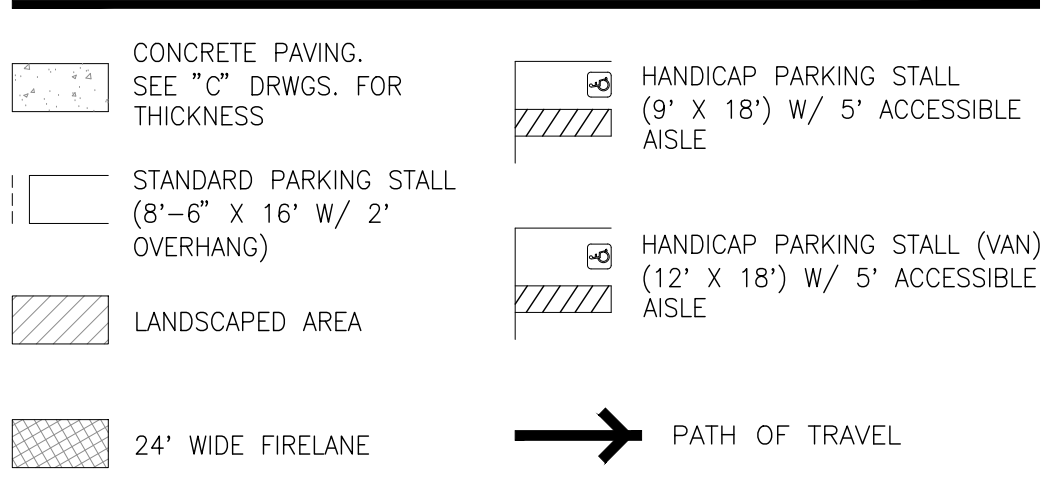
SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" DOUBLE SIDE, SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 7 8' HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 NOT USED.
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST *6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 NOT USED.
- 22 NOT USED.
- 23 NOT USED.
- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

SITE PLAN GENERAL NOTES

- 1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- 2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
- 3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- 4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- 5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- 6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- 7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- 8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- 9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- 11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- 12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- 14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- 15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- 16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND



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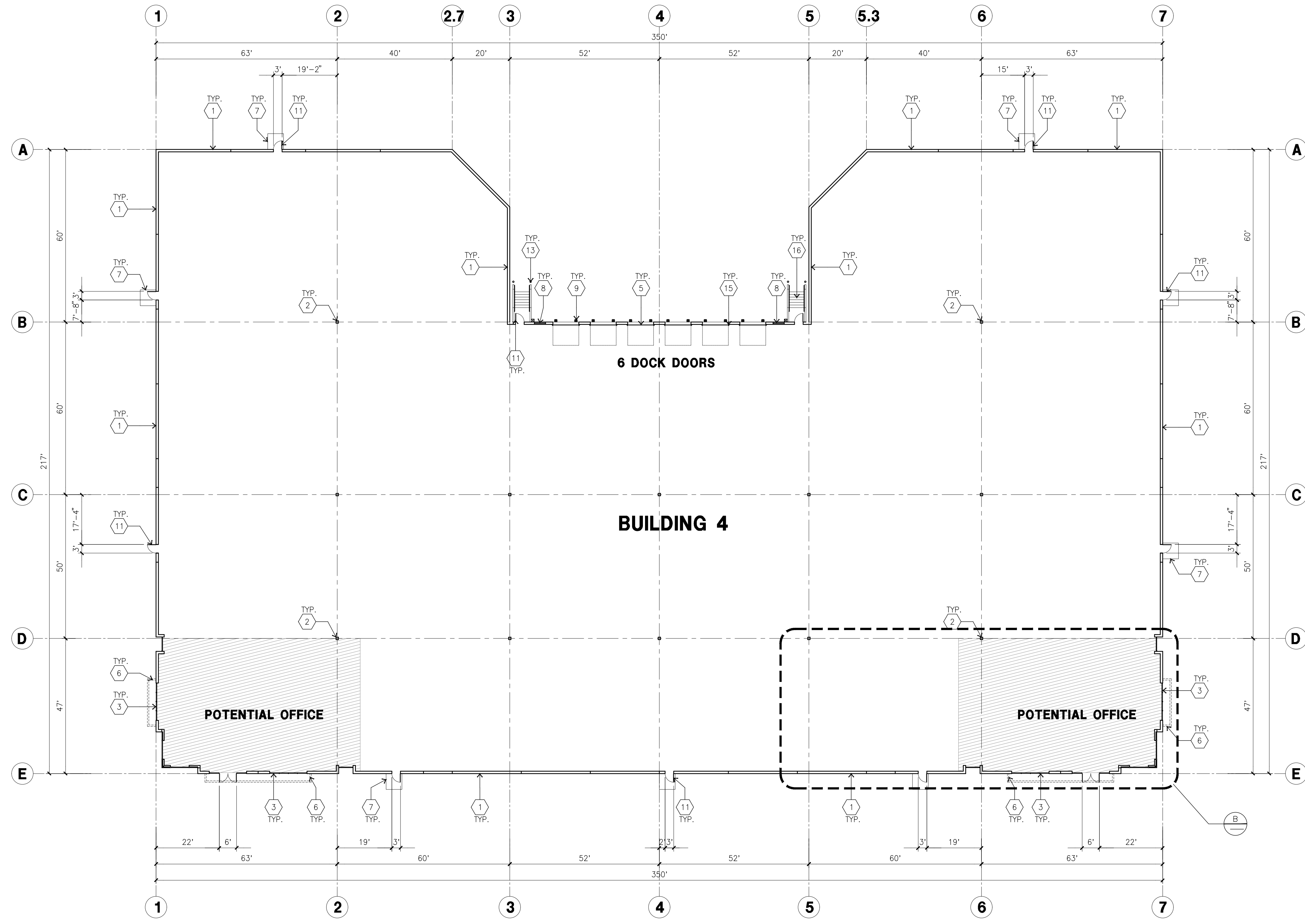
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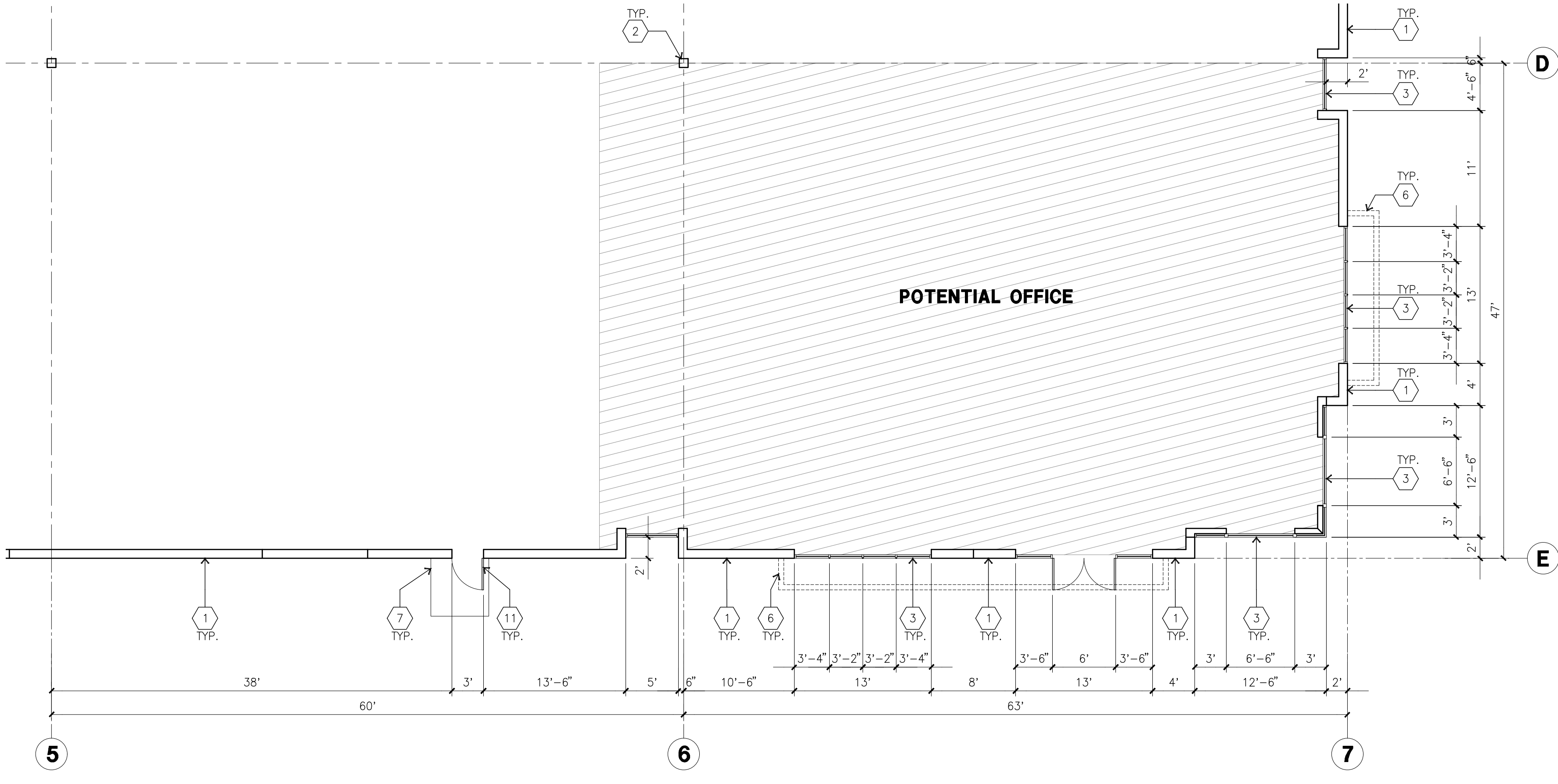
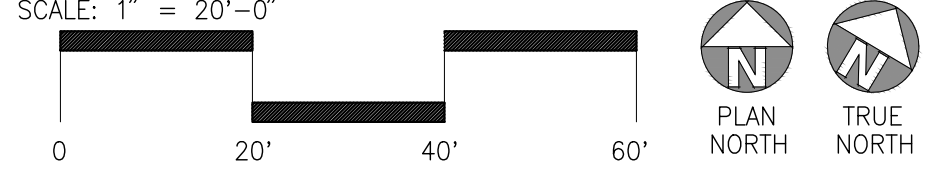
Title: **BUILDING 4**
overall floor plan

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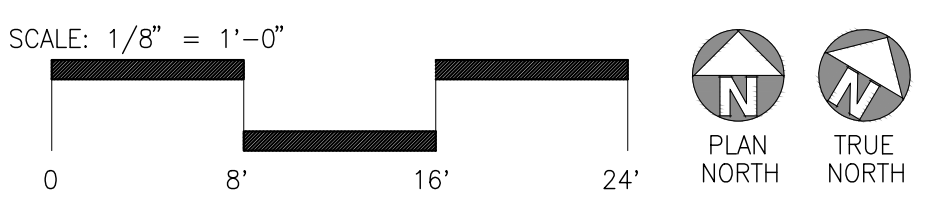
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OVERALL FLOOR PLAN
scale: 1" = 20'-0"



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
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- ② PANEL JOINT.
- ③ PANEL REVEAL
- ④ CONCRETE TILT-UP SCREEN WALL.
- ⑤ OVERHEAD DOOR @ DOCK HIGH.
- ⑥ OVERHEAD DOOR @ DRIVE THRU.
- ⑦ CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
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- ⑨ ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- ⑩ LOUVER (SIZE AND LOCATION APPROX. ONLY).
- ⑪ HOLLOW METAL DOORS.
- ⑫ NOT USED.
- ⑬ INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- ⑭ EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER

COLOR SCHEDULE - ELEVATIONS

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②	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071 GRAY SCREEN
③	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073 NETWORK GRAY
④	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074 SOFTWARE
⑤	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075 WEB GRAY
⑥	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7602 INDIGO BATIK
⑦	MULLIONS	FINISH	CLEAN ANODIZED
⑧	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
⑨	METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
⑩	DOORS	COLOR	MATCH BUILDING COLOR

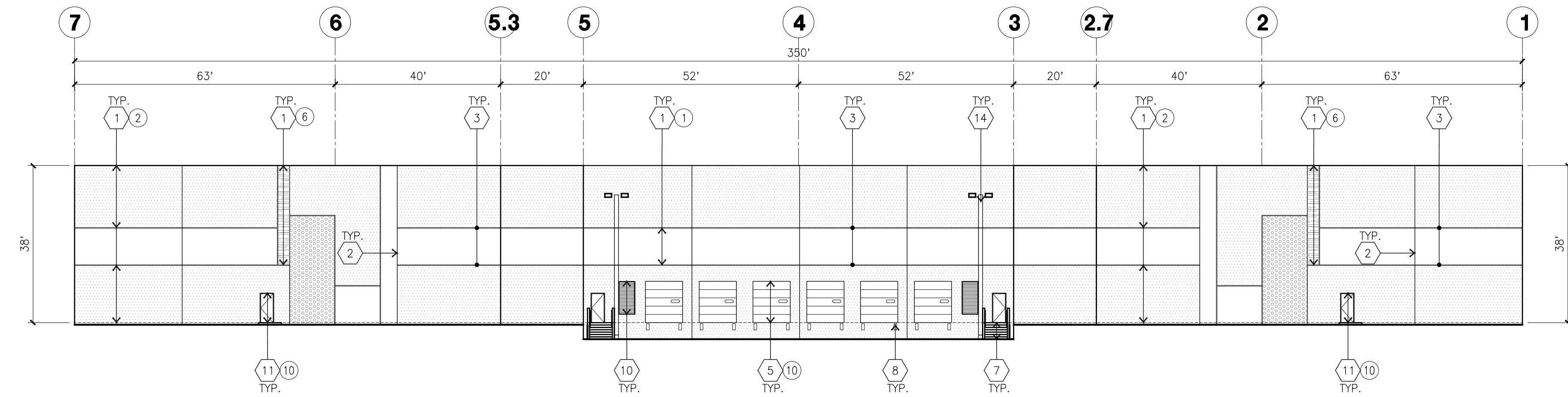
GLAZING LEGEND

- TEMPERED VISION GLASS
- TEMPERED SPANDEL GLASS

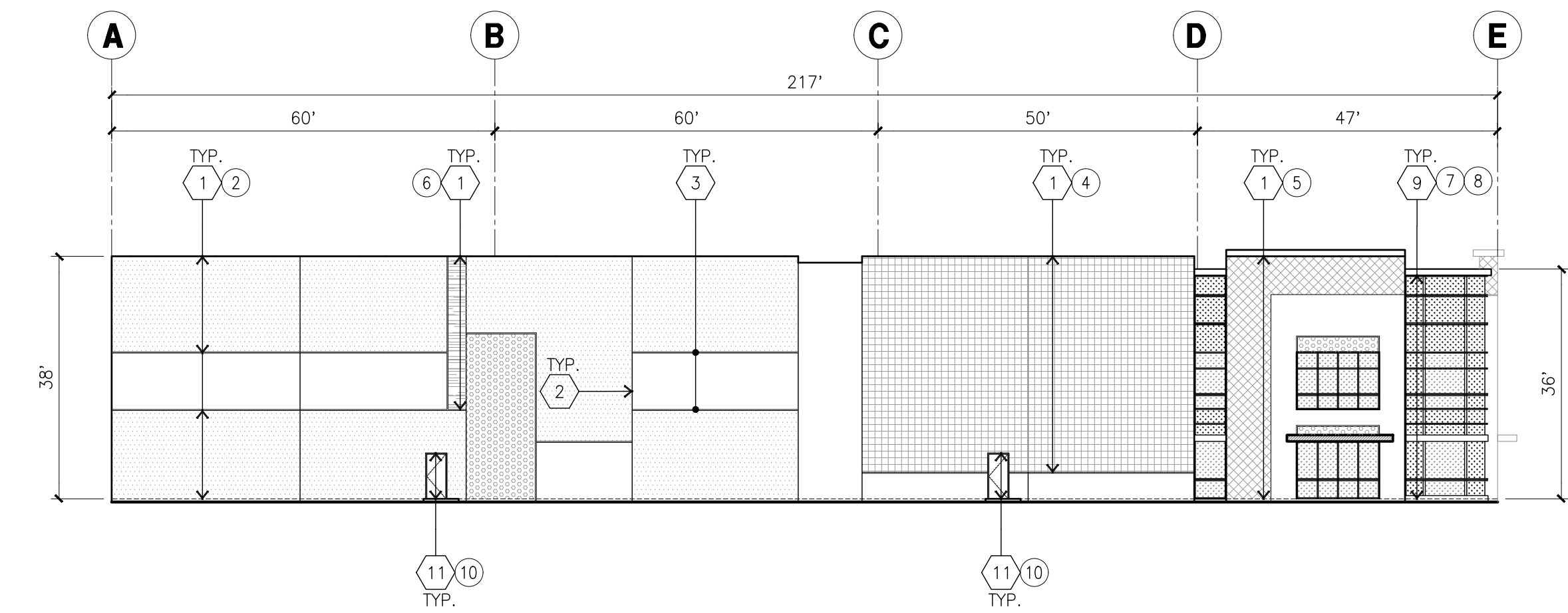
ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

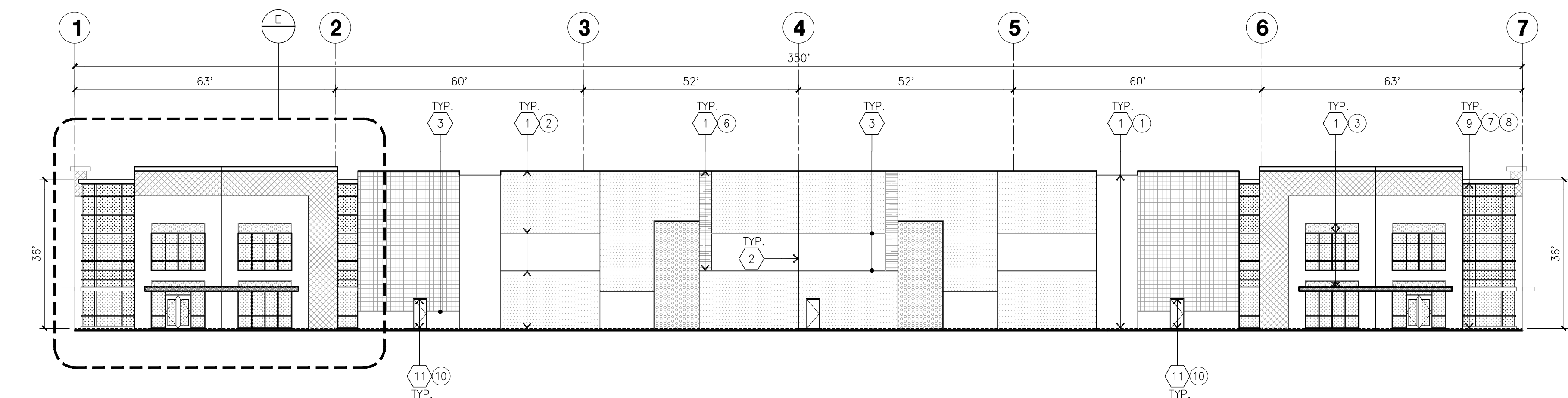
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



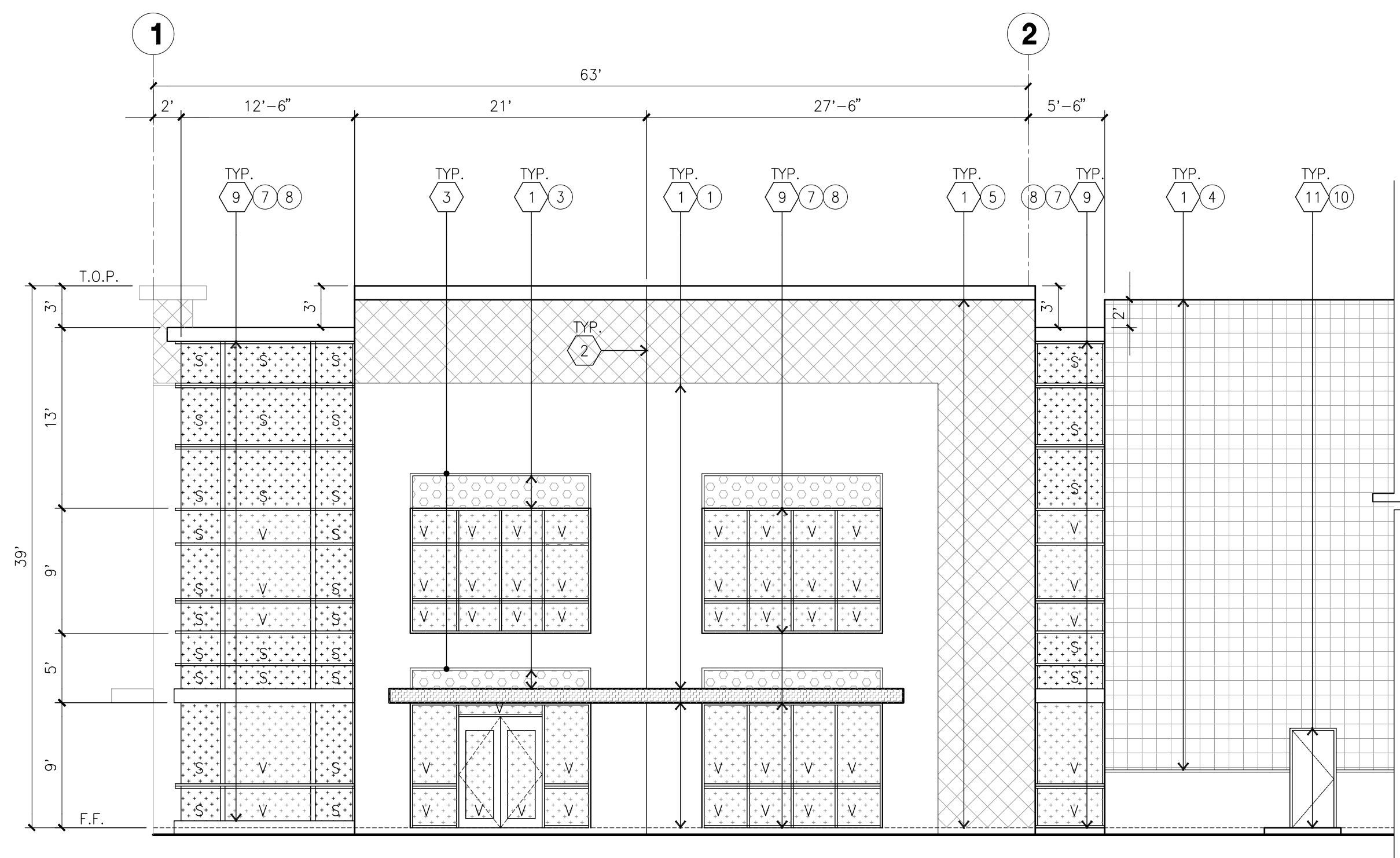
NORTH ELEVATION A
scale: 1"=20'-0"



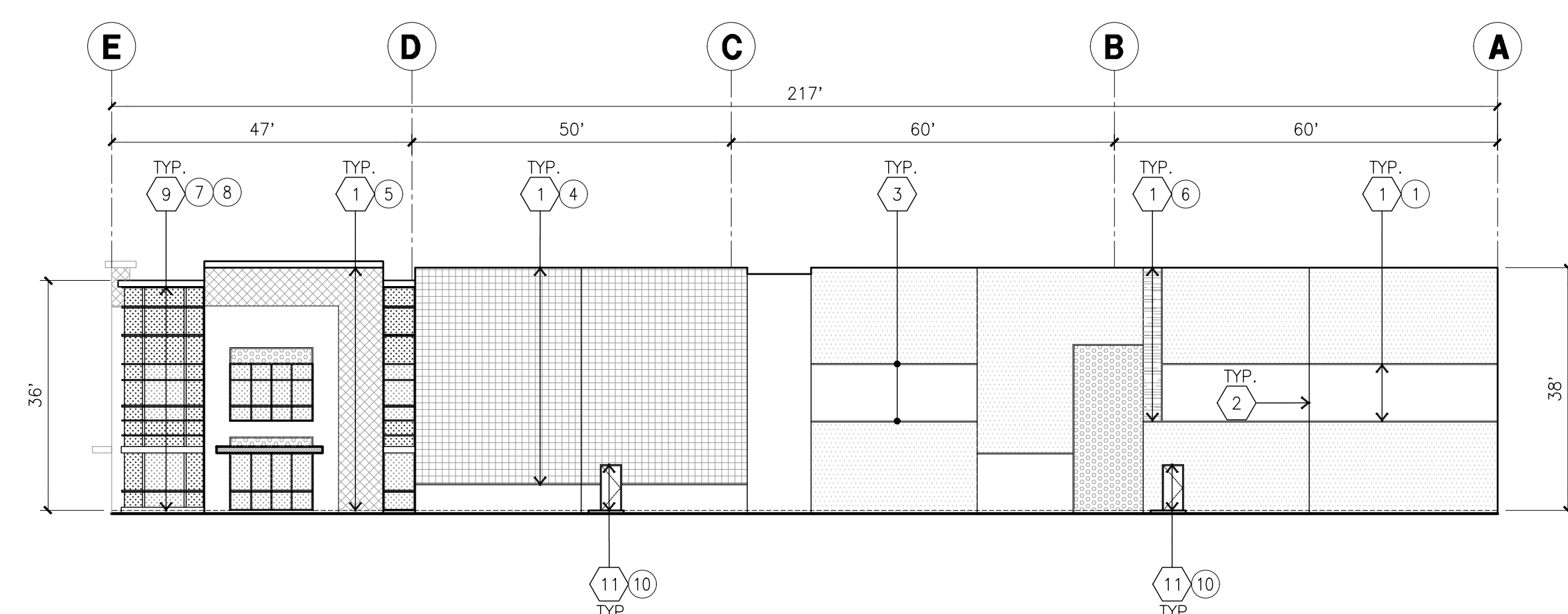
WEST ELEVATION B
scale: 1"=20'-0"



SOUTH ELEVATION C
scale: 1"=20'-0"



ENLARGED SOUTH ELEVATION D
scale: 1/8"=1'-0"



EAST ELEVATION D
scale: 1"=20'-0"



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

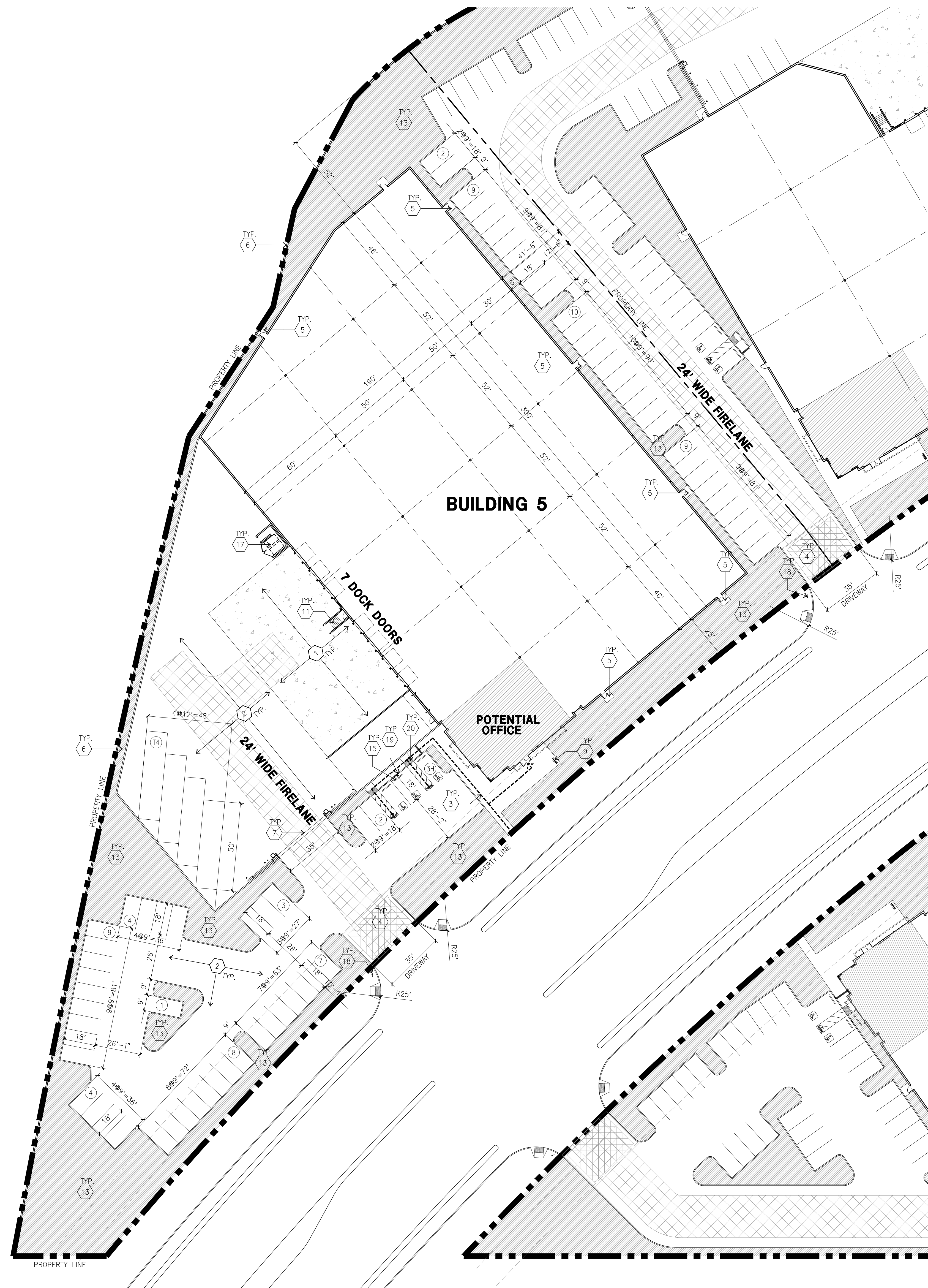
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 4
elevation

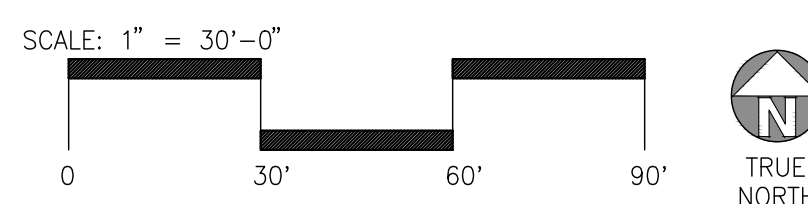
Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

4-DAB-A3.1



OVERALL SITE PLAN
scale: 1" = 30'-0"



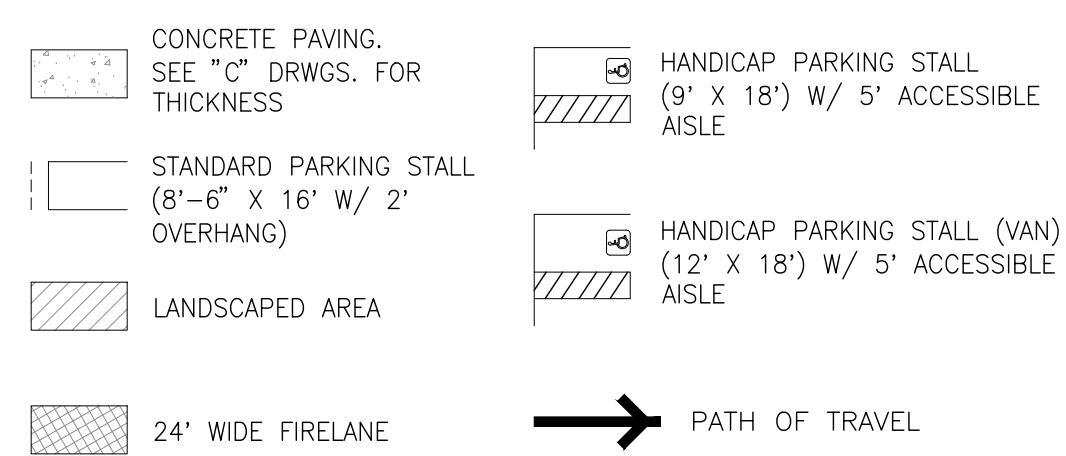
SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" H DOUBLE SIDE, SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 7 8' HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 NOT USED.
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST 6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 NOT USED.
- 22 NOT USED.
- 23 NOT USED.
- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND



Property owner

THE MERGE COMPANY I, LLC c/o
ORBIS REAL ESTATE PARTNERS
280 NEWPORT CENTER DRIVE, #240
NEWPORT BEACH, CA 92660
CONTACT: RAYMOND POLVERINI
949.330.7564

Address of the property

EASTVALE, CA

Assessor's Parcel Number

144-010-015, 144-010-018, 144-010-020,
144-010-023, 144-010-024 & 144-010-032.

Legal description

—
—
—

Zoning

LIGHT INDUSTRIAL (LI)

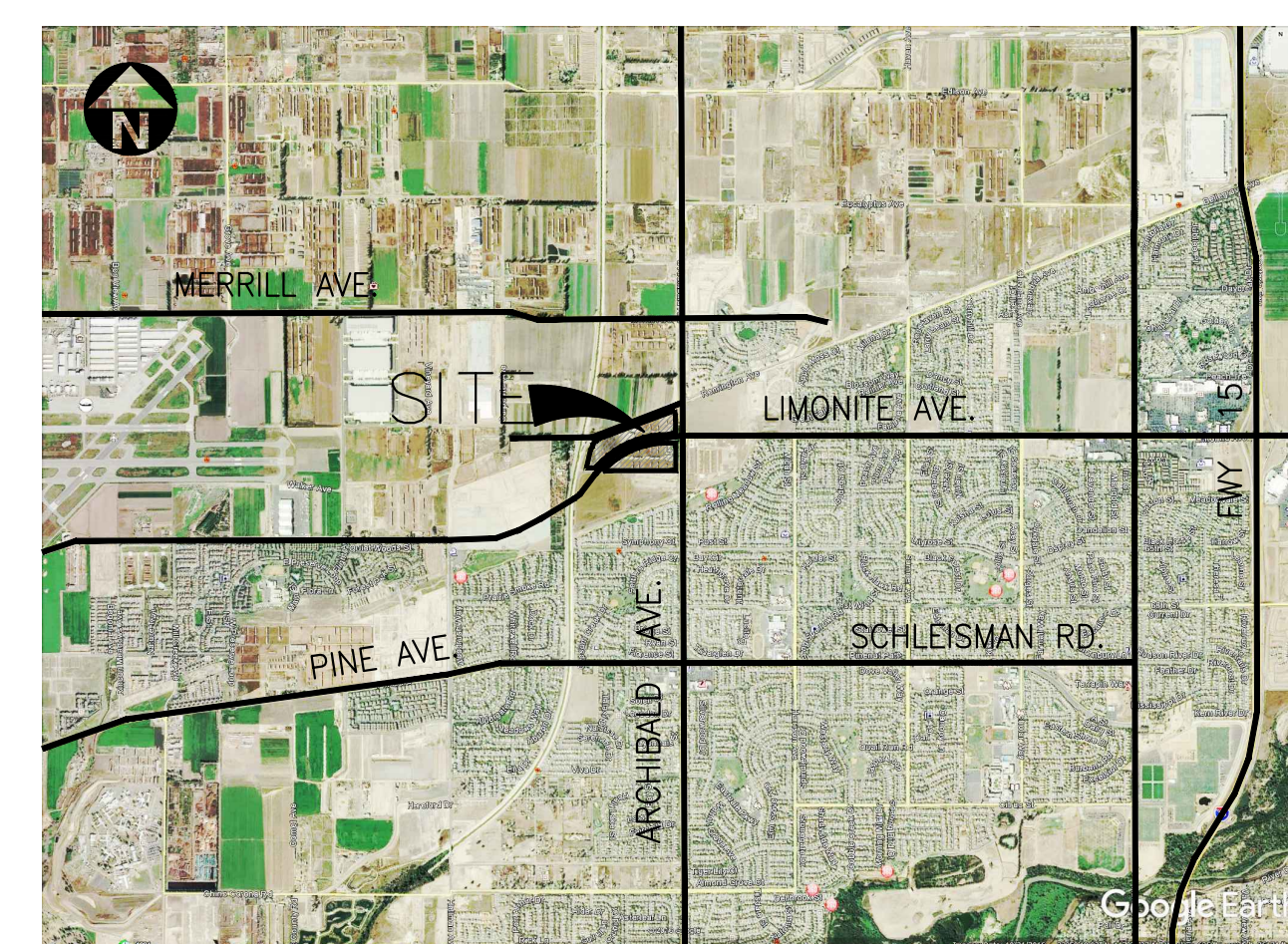
Applicant's representative

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2108
ATTN: SHA LIU MAHONEY

PROJECT DATA

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	TOTAL
SITE AREA								
in s.f.	338,705	160,464	83,617	150,393	213,469	894,274	894,274	396,184 s.f.
in acres	7.78	3.68	1.92	3.45	4.90	20.53	20.53	45.47 ac.
BUILDING AREA								
Office - East	10,000	5,000	3,000	8,000	5,000	10,000	10,000	51,000 s.f.
Office - West	9,000	0	2,500	4,000	2,500	4,000	10,000	26,000 s.f.
Warehouse	155,158	60,204	31,540	61,394	46,310	169,107	487,317	914,108 s.f.
TOTAL	170,158	65,204	37,040	73,394	56,810	83,107	507,317	963,108 s.f.
Clear building height	36'	30'	30'	30'	30'	30'	32'	40'
COVERAGE	50.2%	40.6%	44.3%	48.8%	26.6%	9.3%	56.7%	250.7%
AUTO PARKING REQUIRED								
Office - 1250 s.f.	60	20	22	48	30	58	80	316 stalls
Warehouse - 12,920 s.f.	78	31	16	31	25	35	244	450 stalls
TOTAL	138	51	38	79	55	91	324	776 stalls
AUTO PARKING PROVIDED								
Standard (9' x 18')	132	59	36	76	69	92	317	781 stalls
Accessible (9' x 12' w/ 5x18')	4	2	1	2	2	2	2	6
Accessible Van (12' x 18')	2	2	1	2	1	2	2	7
TRAILER PARKING PROVIDED								
Trailer (12' x 50')	0	0	0	0	4	0	63	67 stalls
TOTAL PARKING PROVIDED	138	63	38	80	76	98	388	879 stalls
ZONING ORDINANCE FOR CITY	Current Zoning Designation - Heavy Agriculture (A-2) Proposed Zoning Designation - Industrial park (I-P)							
MAXIMUM BUILDING HEIGHT ALLOWED	Height - 75'							
MAXIMUM FLOOR AREA RATIO	FAR - 0.80							
SETBACKS (See notes for additional setbacks)	Building		Landscape					
	Archibald Ave. - 25'		10'					
	Lincoln Ave. - 25'		10'					
	Site / Street side - 10'		10'					
	Rear - 15'		10'					
LANDSCAPE REQUIREMENT	Percentage - 10% of total interior parking area							

VICINITY MAP



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 5
overall site plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

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5-DAB-A1.1

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

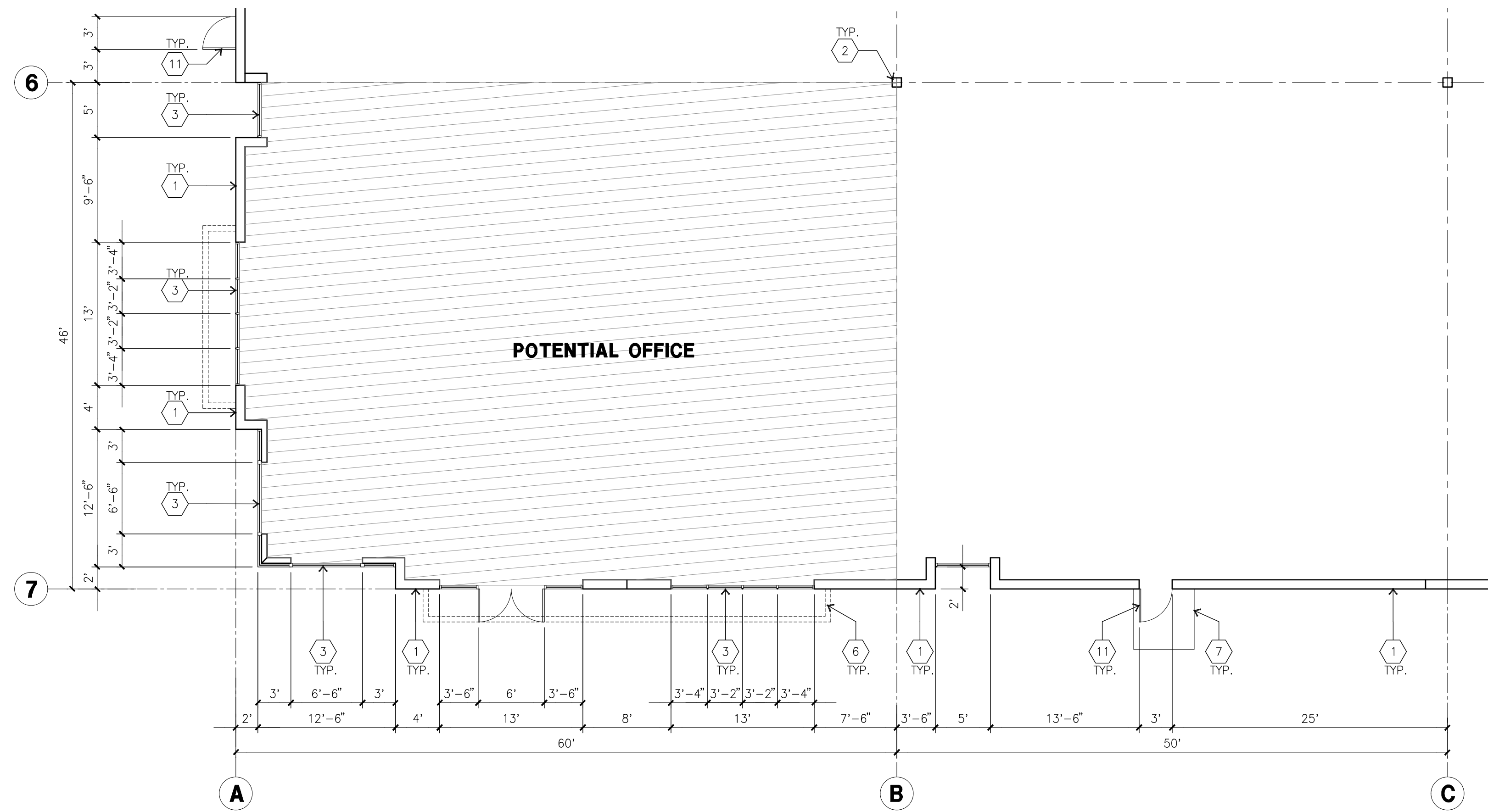
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 5
overall floor plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

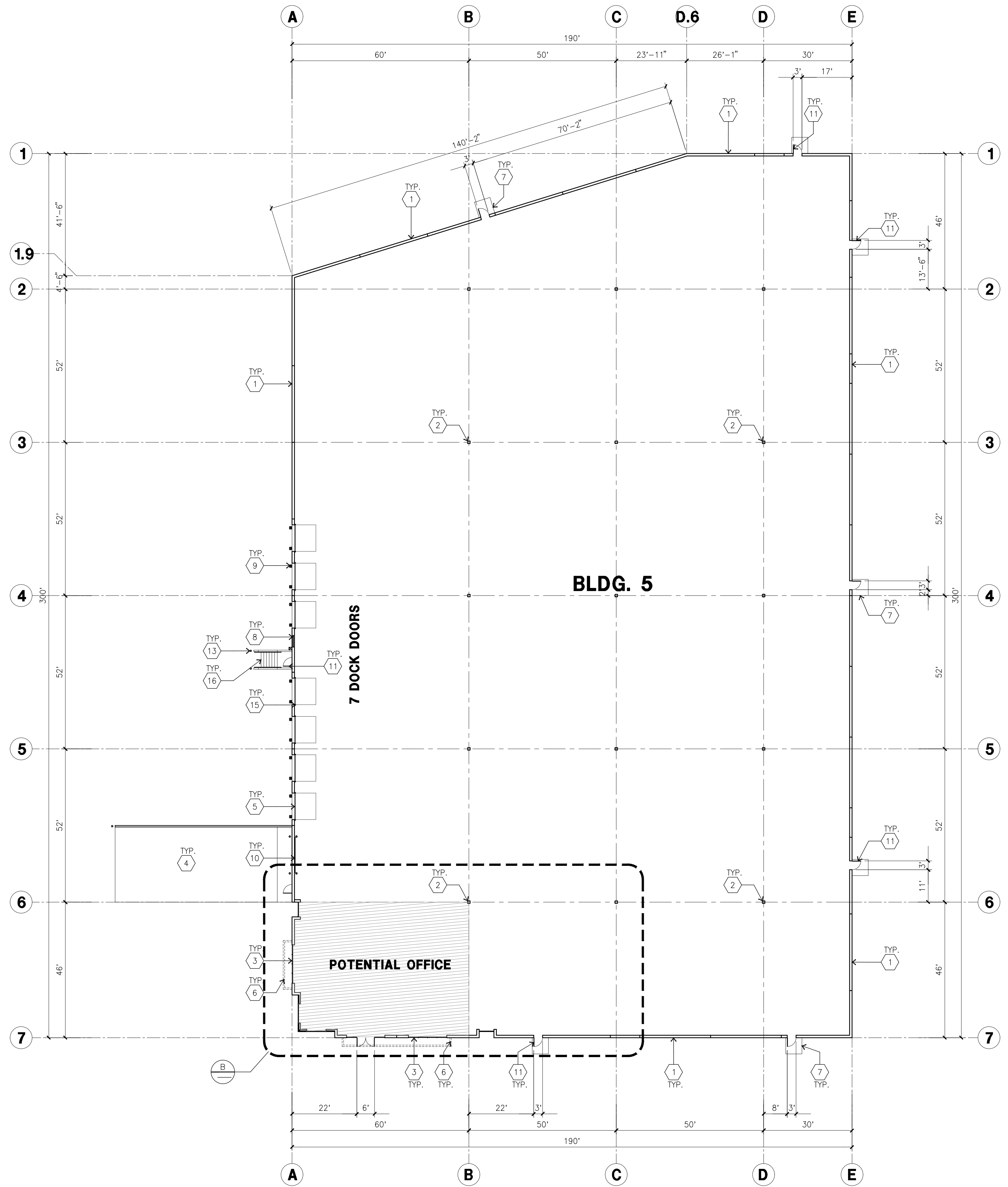
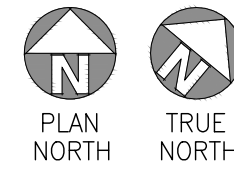
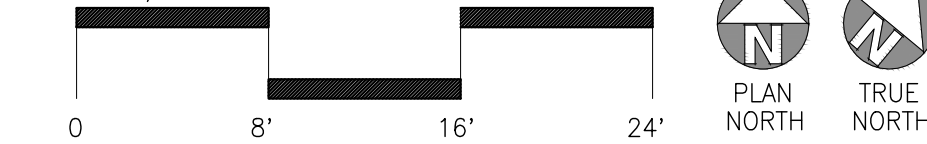
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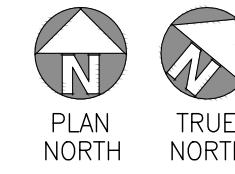
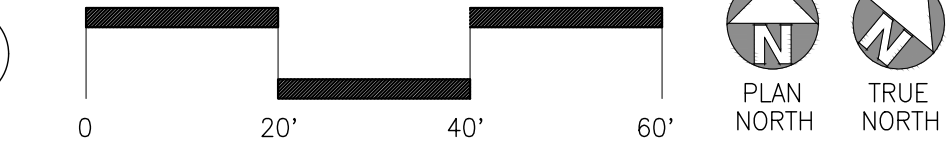
ENLARGED FLOOR PLAN B
scale: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



OVERALL FLOOR PLAN A
scale: 1" = 20'-0"

SCALE: 1" = 20'-0"



KEYNOTES - FLOOR PLAN

- | | |
|--|--|
| (1) CONCRETE TILT-UP PANEL. | (10) 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. |
| (2) STRUCTURAL STEEL COLUMN. | (11) 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. |
| (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS. | (12) SOFFIT LINE ABOVE |
| (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. | (13) CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H. |
| (5) 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD | (14) INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER, |
| (6) METAL CANOPY. | (15) Z GUARD. |
| (7) 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS. | (16) EXTERIOR CONCRETE STAIR. |
| (8) LOUVERED OPENING FOR VENTILATION. | (17) INTERIOR ROOF DRAIN, SEE ROOF PLAN. |
| (9) DOCK DOOR BUMPER. | (18) ROOF ACCESS LADDER ON MEZZANINE FLOOR. |

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O..
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



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Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 5
elevation

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

5-DAB-A3.1

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

COLOR SCHEDULE - ELEVATIONS

- 1 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7071 GRAY SCREEN
- 3 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7073 NETWORK GRAY
- 4 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7074 SOFTWARE
- 5 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7075 WEB GRAY
- 6 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7602 INDIGO BATIK
- 7 MULLIONS FINISH CLEAN ANODIZED
- 8 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 9 METAL CANOPY PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 10 DOORS COLOR MATCH BUILDING COLOR

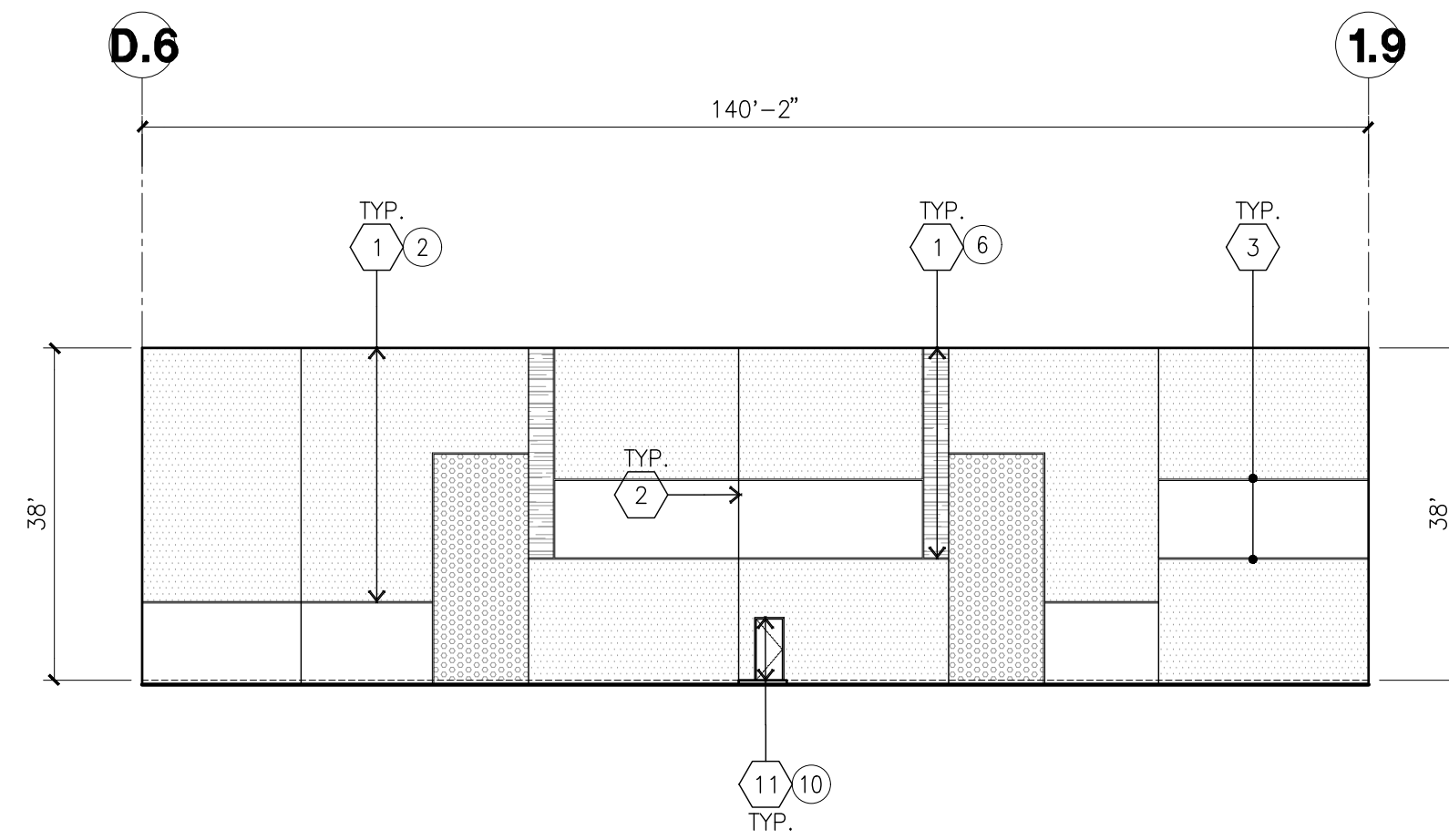
GLAZING LEGEND

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

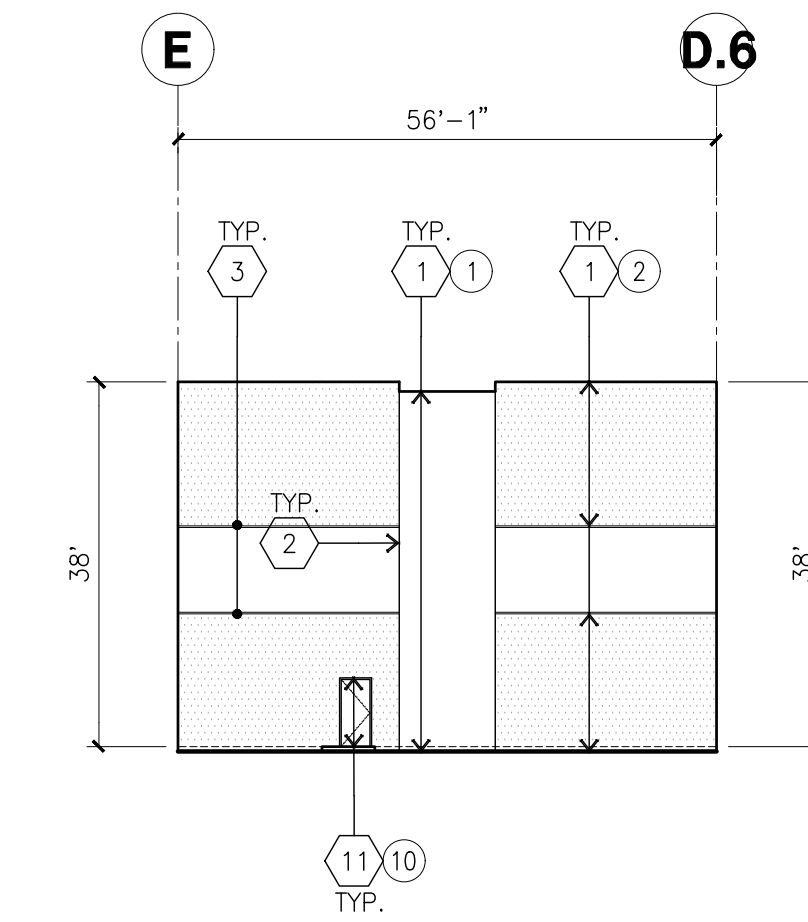
ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

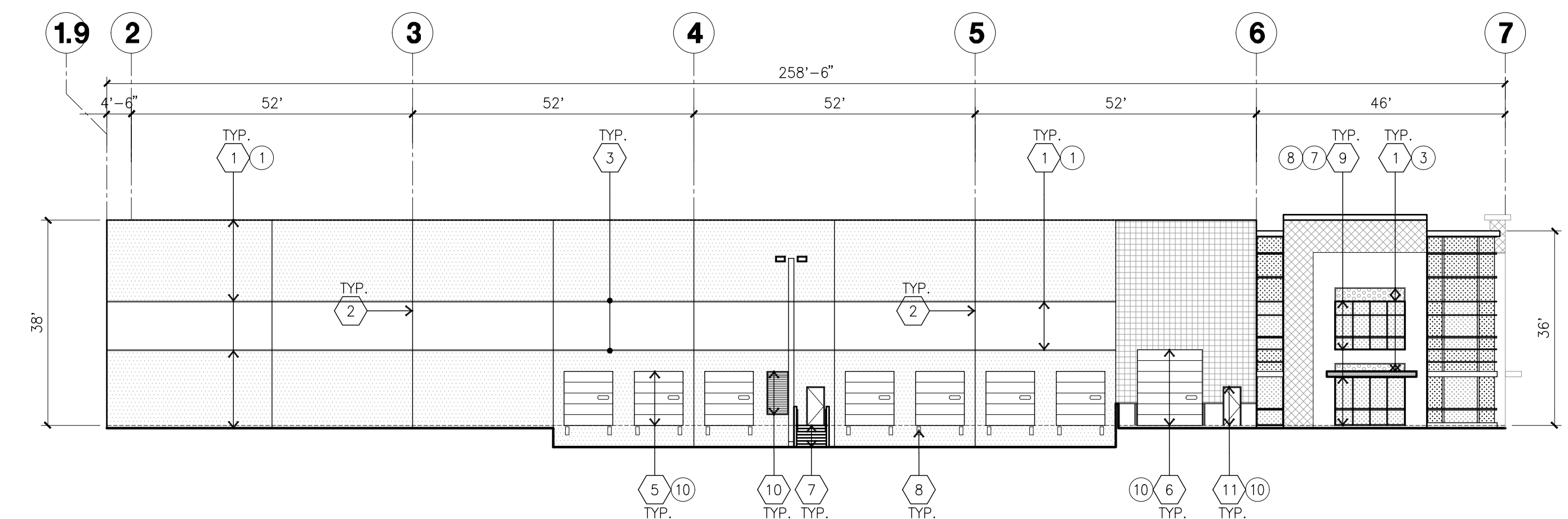
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



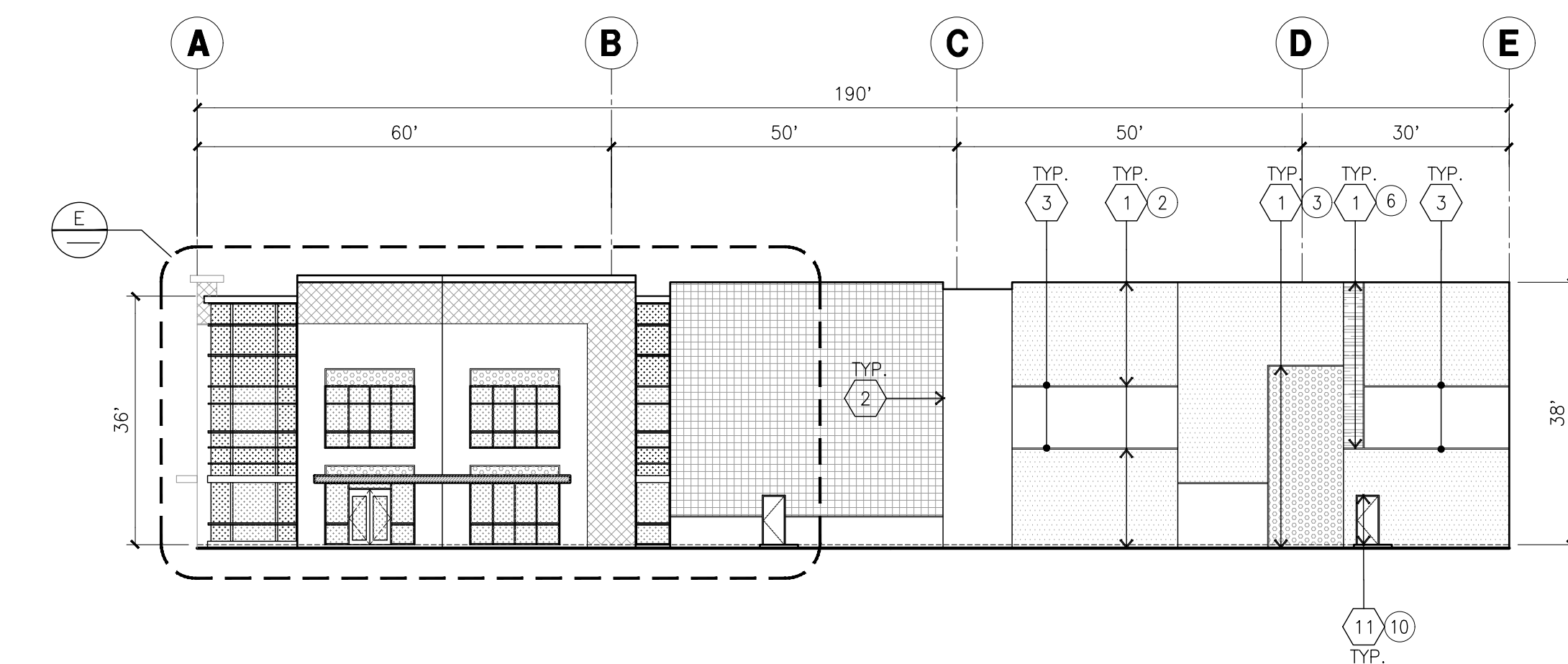
NORTHWEST ELEVATION B
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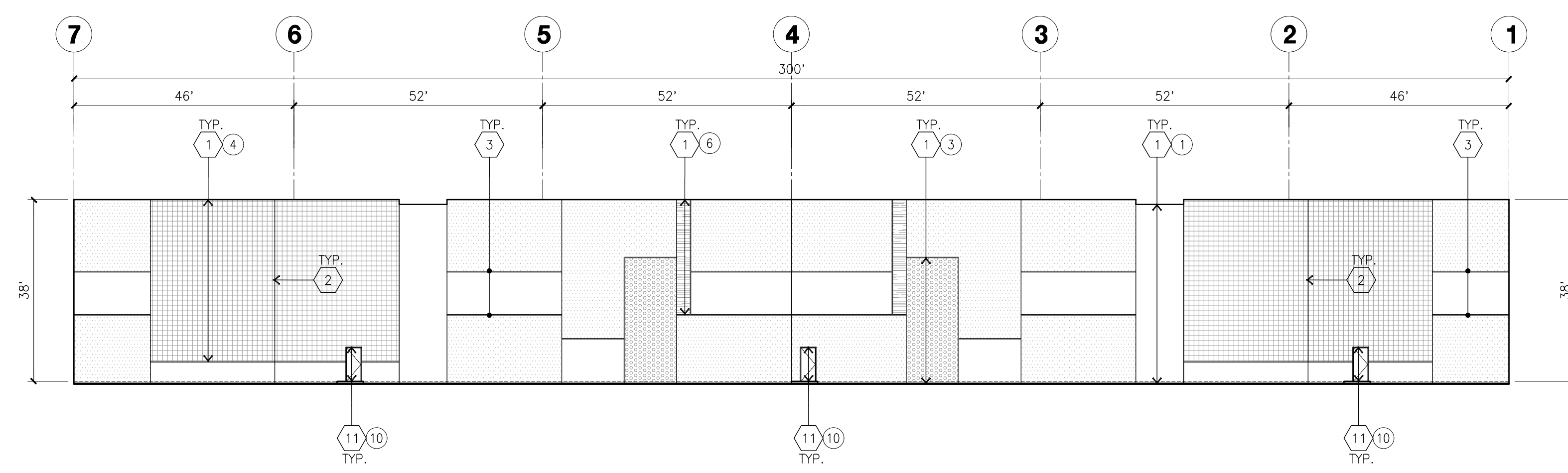
NORTH ELEVATION A
scale: 1"=20'-0"



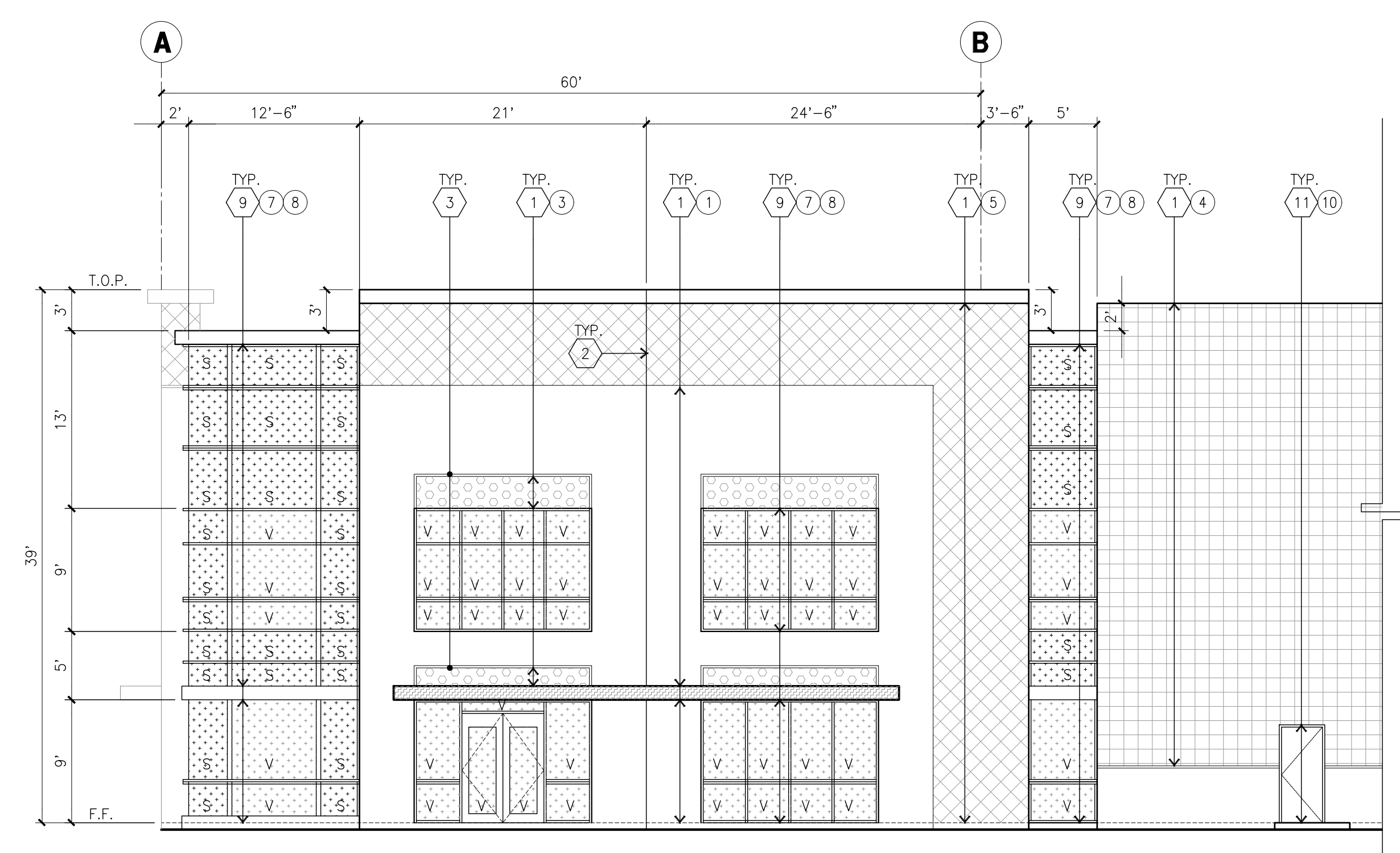
WEST ELEVATION C
scale: 1"=20'-0"



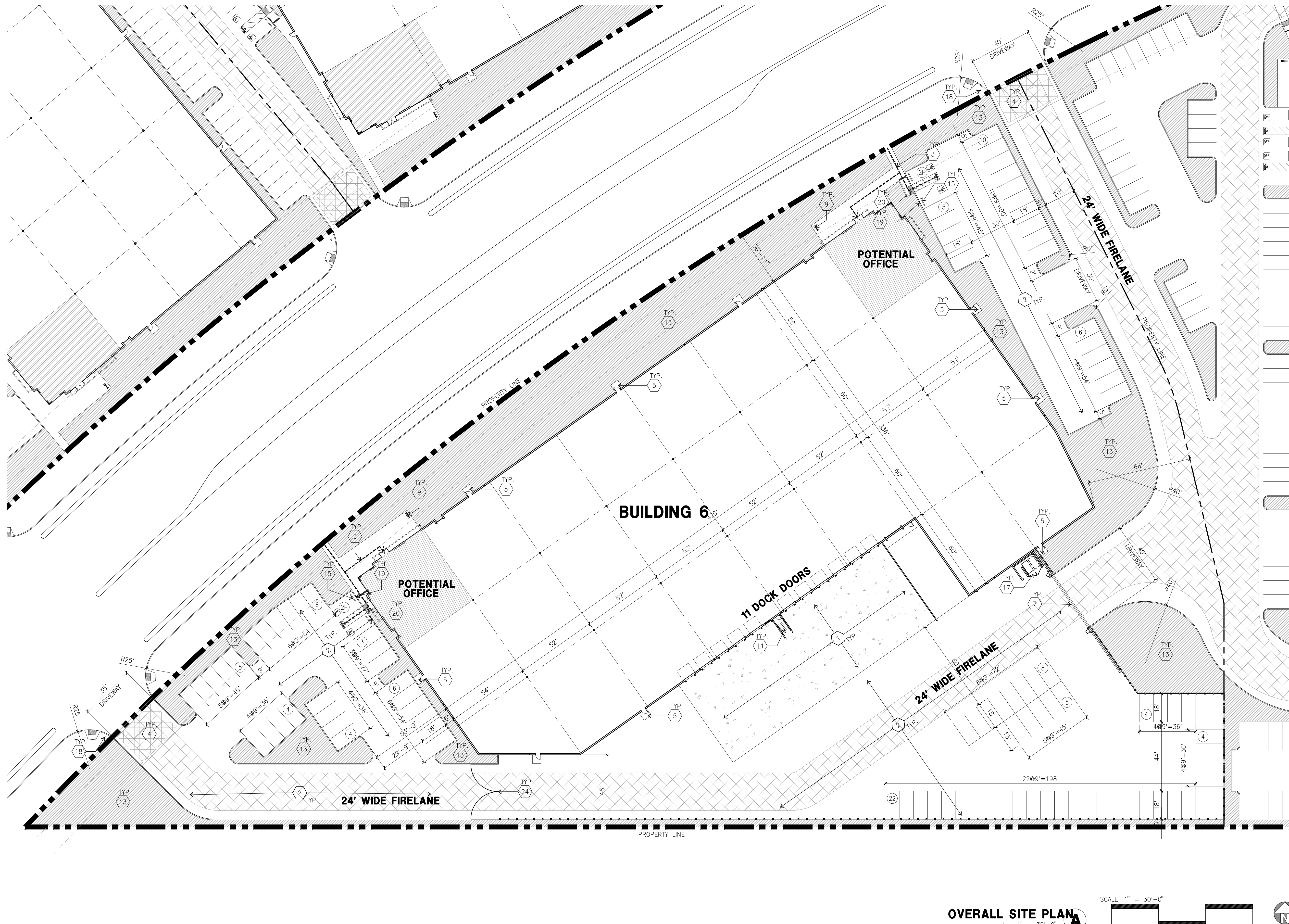
SOUTH ELEVATION D
scale: 1"=20'-0"



EAST ELEVATION E
scale: 1"=20'-0"



ENLARGED SOUTH ELEVATION F
scale: 1/8"=1'-0"



OVERALL SITE PLAN
 scale: 1" = 30'-0"
 SCALE: 1" = 30'-0"
 0 30' 60' 90'
 TRUE NORTH

SITE PLAN KEYNOTES

- | | |
|---|---|
| 1 HEAVY BROOM FINISH CONCRETE PAVEMENT. | 15 PRE-CAST CONCRETE WHEEL STOP. |
| 2 CONCRETE PAVING PER CIVIL. | 16 CONCRETE FILLED GUARD POST *6 DIA. U.N.O. 42" H. |
| 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH | 17 TRASH ENCLOSURE PER CITY STANDARD. |
| 4 DRIVEWAY APRONS TO BE CONSTRUCTED | 18 ACCESSIBLE ENTRY SIGN. |
| 5 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR. | 19 ACCESSIBLE PARKING STALL SIGN. |
| 6 8" HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. | 20 TRUNCATED DOME. |
| 7 8" HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. | 21 NOT USED. |
| 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL. | 22 NOT USED. |
| 9 EXTERIOR BIKE RACK TYPICAL. | 23 NOT USED. |
| 10 NOT USED. | 24 8" HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. |
| 11 EXTERIOR CONCRETE STAIR. | 25 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS. |
| 12 NOT USED. | 26 MAILBOX |
| 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING. | |
| 14 NOT USED. | |

SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND

- | | |
|---|---|
| CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS | HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE |
| STANDARD PARKING STALL (8'-6" X 15' W/ 2" OVERHANG) | HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE |
| LANDSCAPED AREA | PATH OF TRAVEL |
| 24' WIDE FIRELANE | |

Property owner

THE MERGE COMPANY I, LLC c/o
 ORBIS REAL ESTATE PARTNERS
 280 NEWPORT CENTER DRIVE, #240
 NEWPORT BEACH, CA 92660
 CONTACT: RAYMOND POLVERINI
 949.330.7564

Address of the property

EASTVALE, CA

Assessor's Parcel Number

144-010-015, 144-010-018, 144-010-020,
 144-010-023, 144-010-024 & 144-010-032.

Zoning

LIGHT INDUSTRIAL (L)

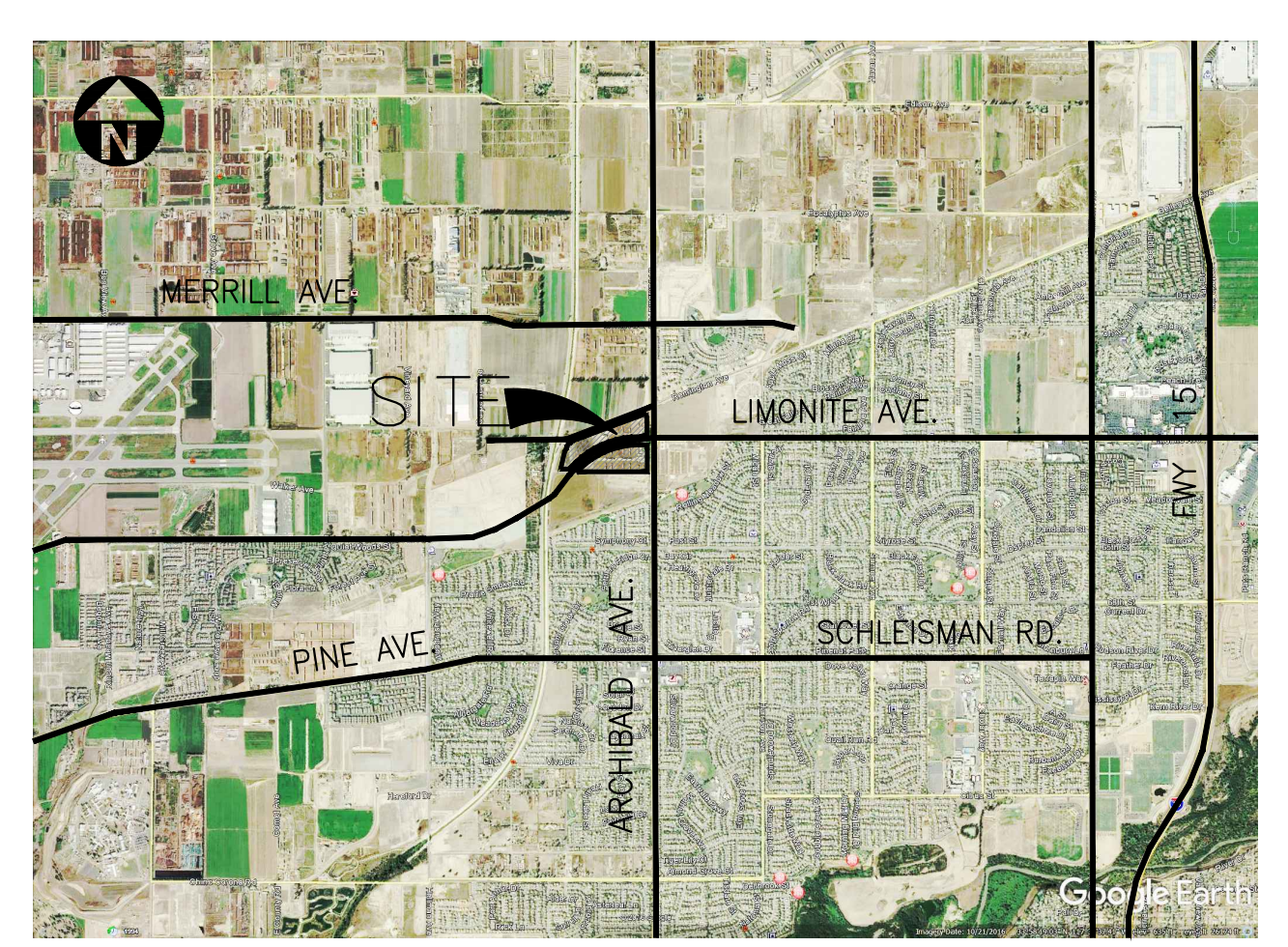
Applicant's representative

HPA, INC.
 18831 BARDEEN AVE SUITE 100
 IRVINE, CA 92612
 TEL: 949-863-2108
 ATTN: SHA LIU MAHONEY

PROJECT DATA

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	TOTAL
SITE AREA								
In s.f.	338,705	160,464	63,617	150,363	213,466	894,274	894,274	396,194 s.f.
In acres	7.78	3.68	1.42	3.45	4.80	20.53	20.53	45.47 ac
BUILDING AREA								
Office - East	10,000	5,000	3,000	8,000	5,000	10,000	10,000	51,000 s.f.
Office - West	5,000	0	2,500	4,000	2,500	4,000	10,000	28,000 s.f.
Warehouse	185,156	60,204	31,540	61,384	49,310	69,197	487,317	914,108 s.f.
TOTAL	170,156	65,204	37,040	73,384	56,810	83,197	507,317	993,108 s.f.
Clear building height	36'	30'	30'	30'	30'	32'	40'	
COVERAGE	50.2%	40.6%	44.3%	48.8%	26.6%	9.3%	56.7%	250.7%
AUTO PARKING REQUIRED								
Office - 1/250 s.f.	60	20	22	48	30	56	80	316 stalls
Warehouse - 1/2,000 s.f.	75	31	16	31	25	25	244	460 stalls
TOTAL	138	51	38	79	55	81	324	776 stalls
AUTO PARKING PROVIDED								
Standard (9' x 18')	132	59	36	76	69	92	317	781 stalls
Accessible (9' x 18' w/ 5'x18')	4	2	1	2	2	2	6	
Accessible Van (12' x 18')	2	2	1	2	1	2	2	
TRAILER PARKING PROVIDED								
Trailer (12' x 50')	0	0	0	0	4	0	63	67 stalls
TOTAL PARKING PROVIDED	138	63	38	80	76	98	388	879 stalls
ZONING ORDINANCE FOR CITY								
Current Zoning Designation - Heavy Agriculture (A-2)								
Proposed Zoning Designation - Industrial park (I-P)								
MAXIMUM BUILDING HEIGHT ALLOWED								
Height - 75'								
MAXIMUM FLOOR AREA RATIO								
MAX: 0.60								
SETBACKS (See notes for additional setbacks)								
Building								
Archhead Ave. - 25'								
Limonite Ave. - 25'								
Site / Street side - 10'								
Rear - 15'								
LANDSCAPE REQUIREMENT								
Percentage - 10% of total interior parking area								

VICINITY MAP



hpa, inc.
 18831 bardeen avenue - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240
 Newport Beach, CA 92660
 tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

- | | |
|------------------|-------------|
| Civil: | KIMLEY HORN |
| Structural: | |
| Mechanical: | |
| Plumbing: | |
| Electrical: | |
| Landscape: | SPLA |
| Fire Protection: | |
| Soils Engineer: | |

Title: BUILDING 6
 overall site plan

Project Number: 18111
 Drawn by: SHA LIU MAHONEY
 Date: 07/02/2019
 Revision:

Sheet:

6-DAB-A1.1

OFFICIAL USE ONLY

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

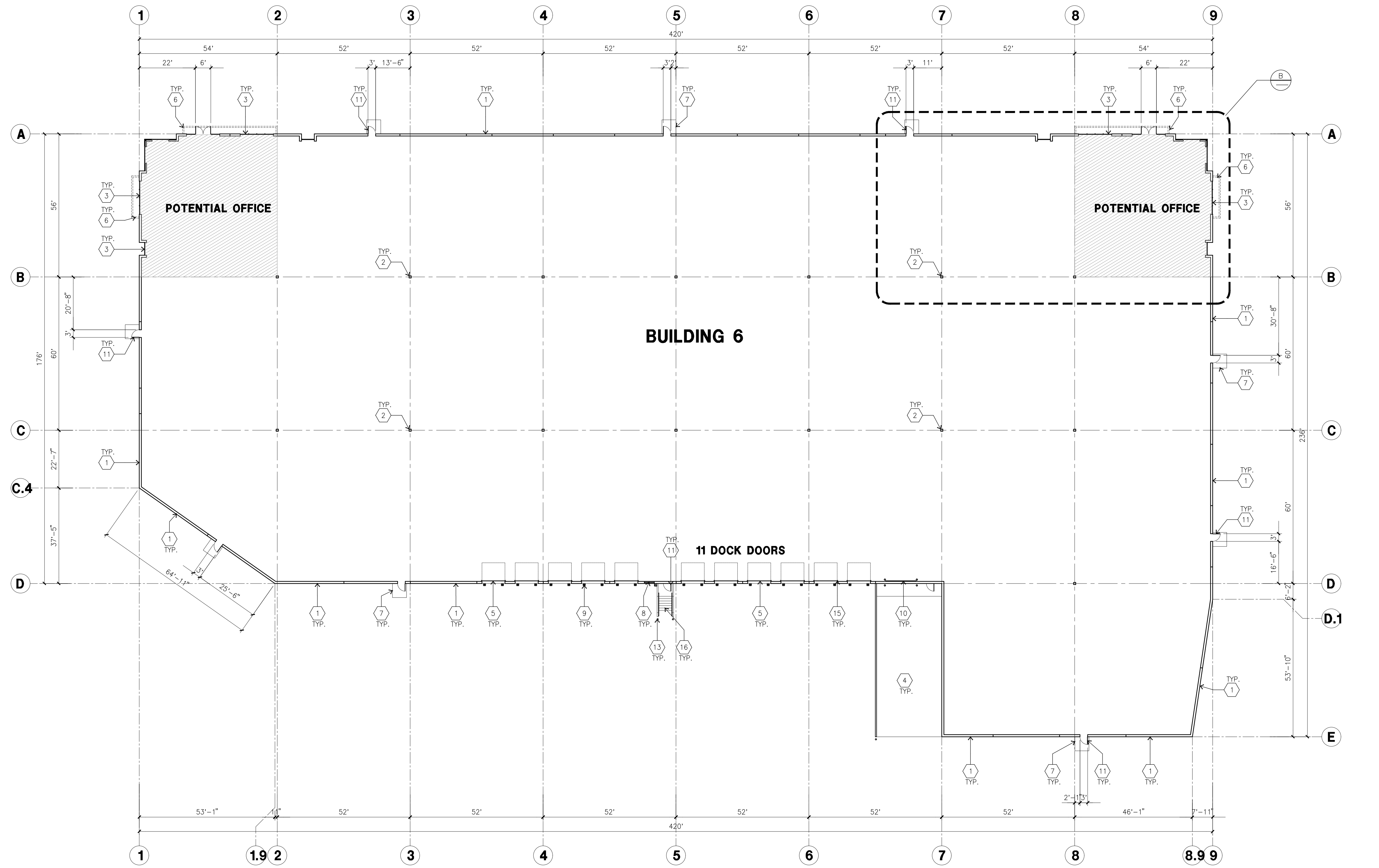
Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 6
overall floor plan

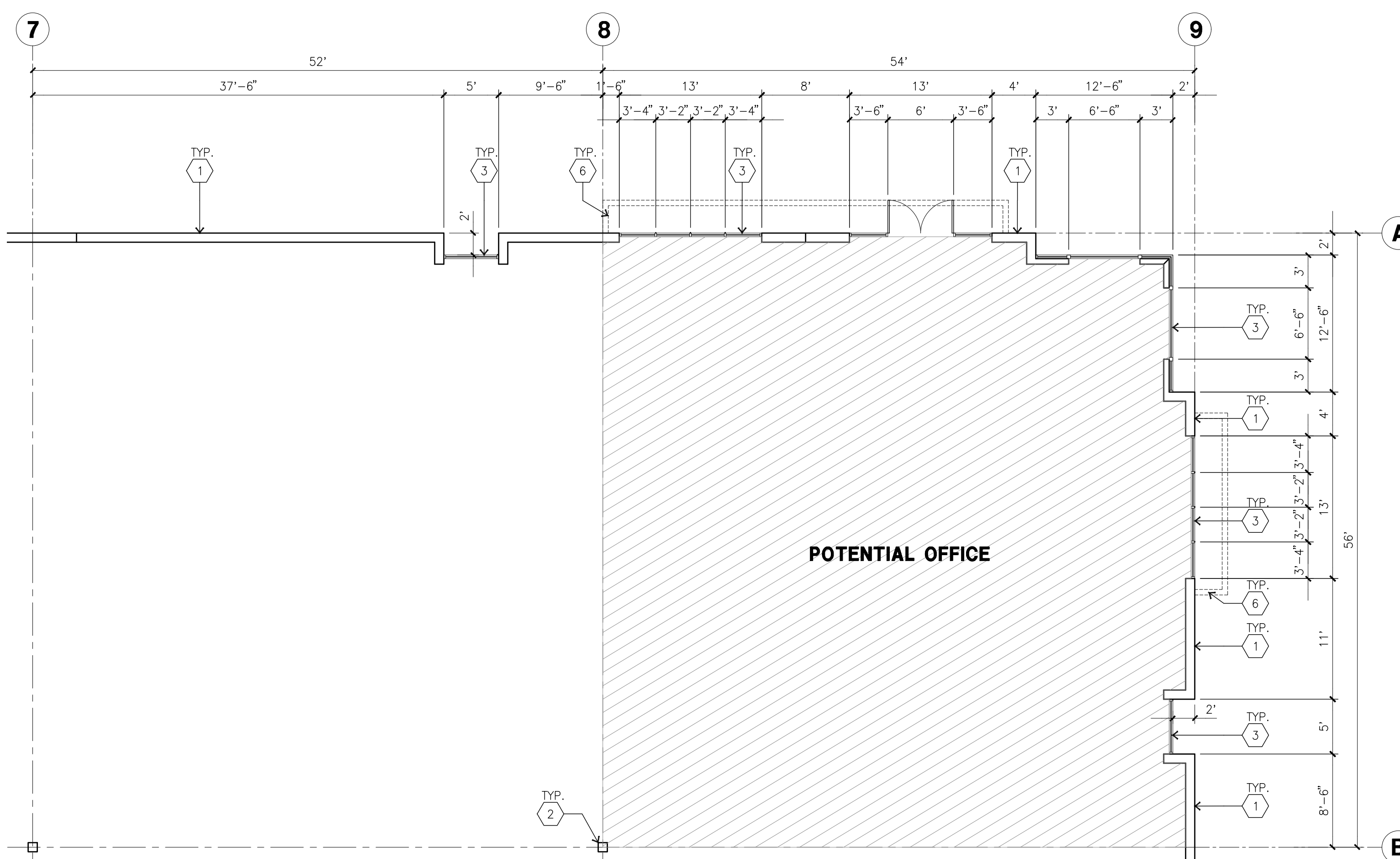
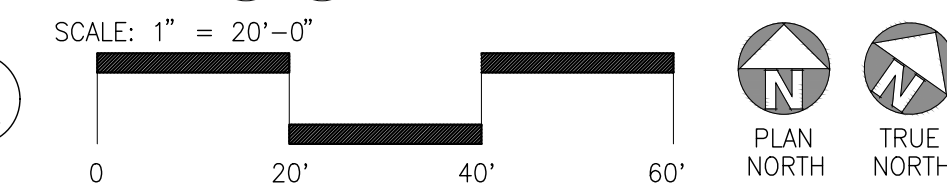
Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

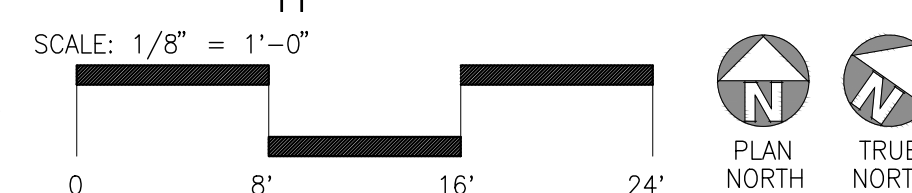
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OVERALL FLOOR PLAN
scale: 1" = 20'-0"



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42" H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 6
elevation

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:

6-DAB-A3.1

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER

COLOR SCHEDULE - ELEVATIONS

1	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
2	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071 GRAY SCREEN
3	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073 NETWORK GRAY
4	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074 SOFTWARE
5	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075 WEB GRAY
6	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7602 INDIGO BATIK
7	MULLIONS	FINISH	CLEAN ANODIZED
8	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
9	METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
10	DOORS	COLOR	MATCH BUILDING COLOR

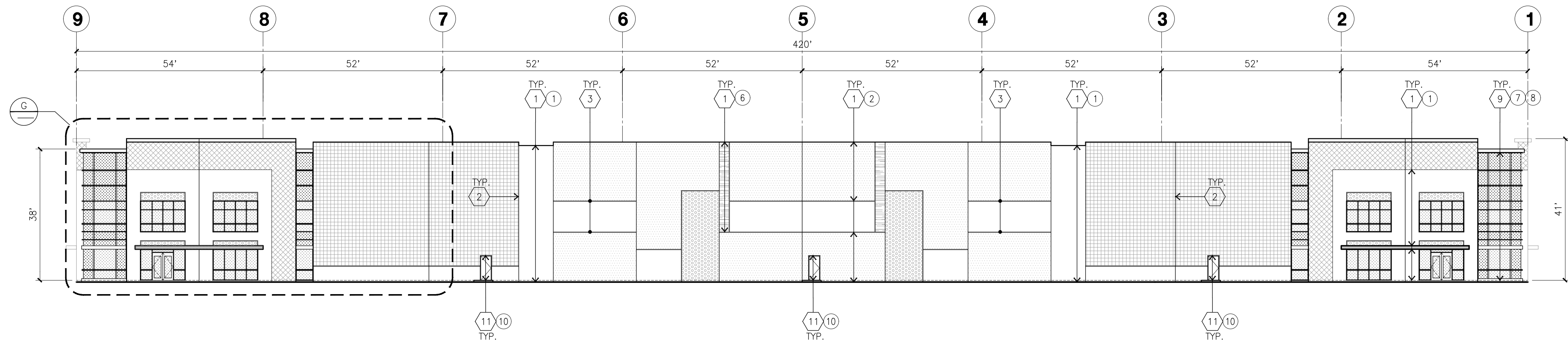
GLAZING LEGEND

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

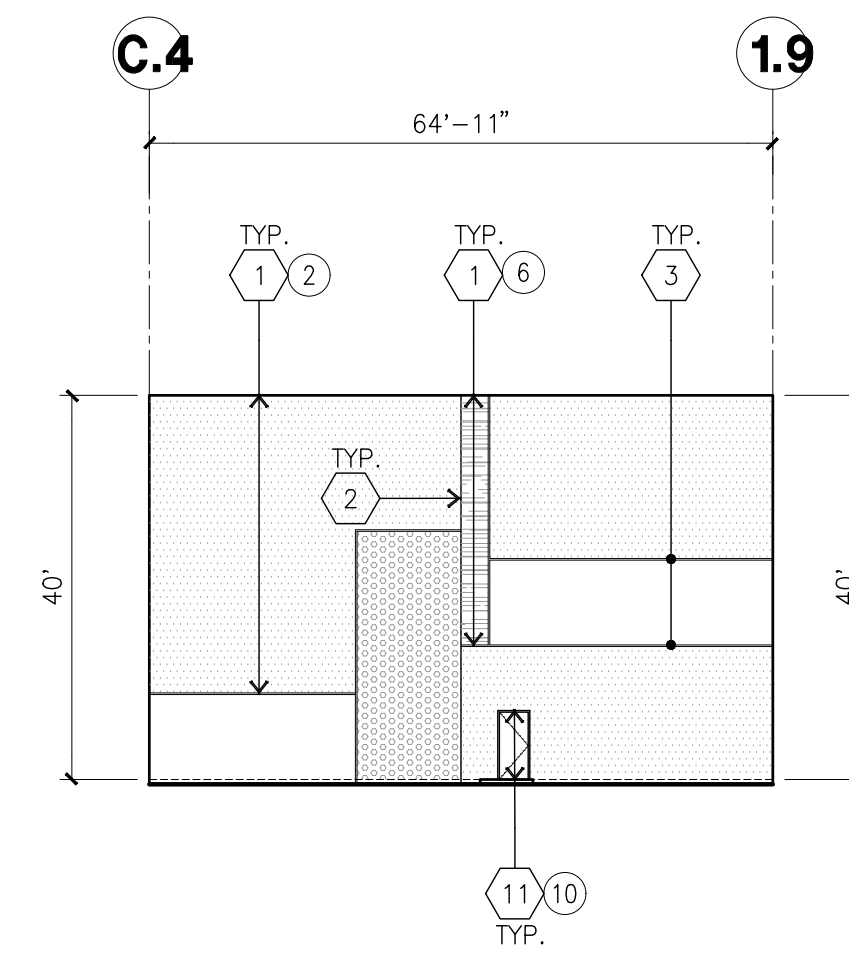
ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

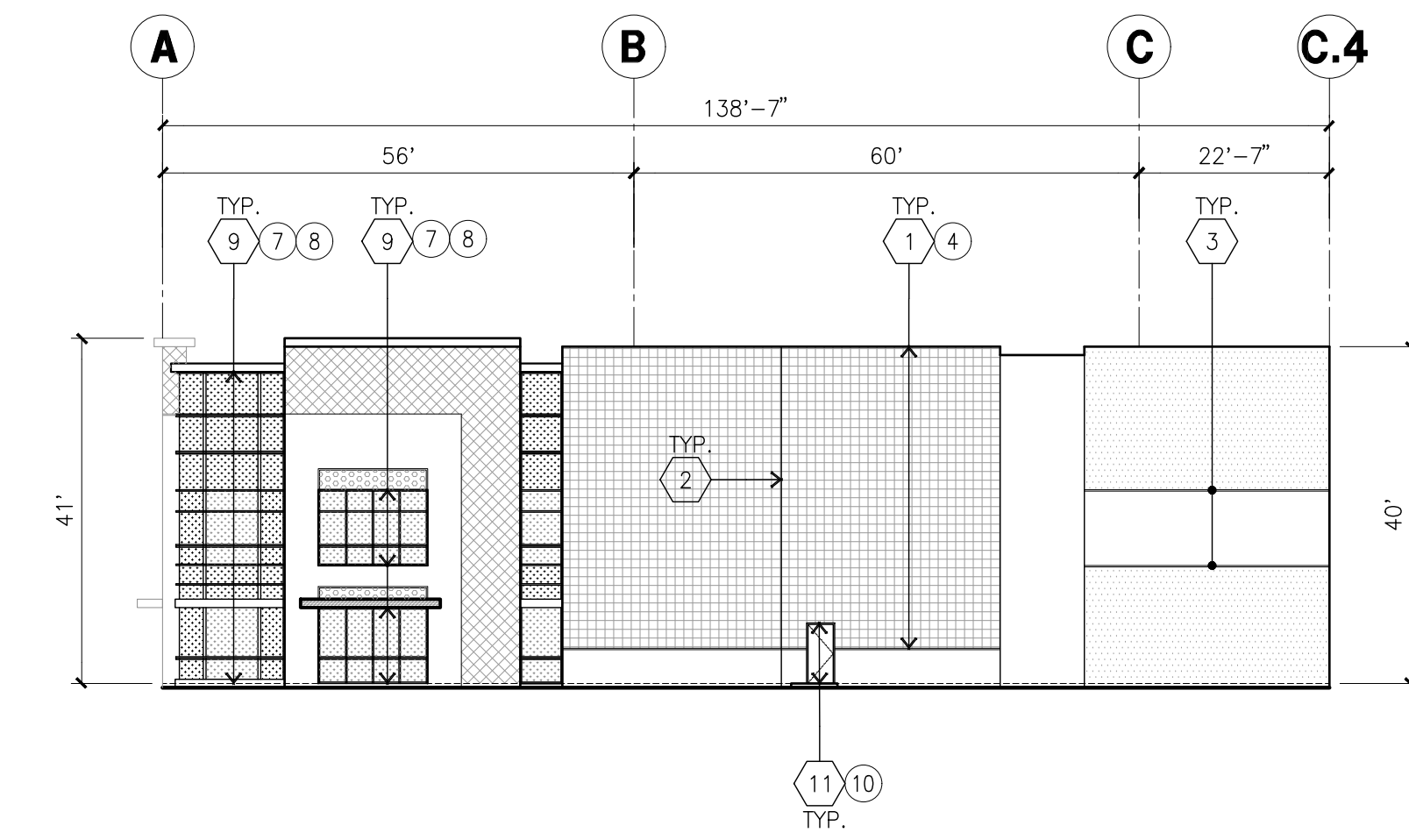
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH, EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



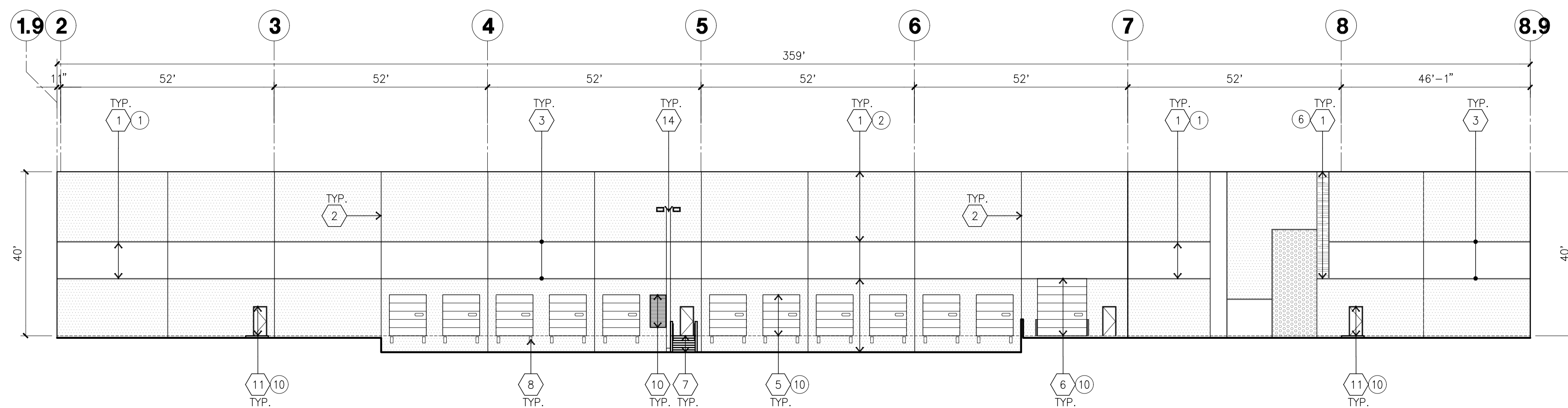
NORTH ELEVATION A
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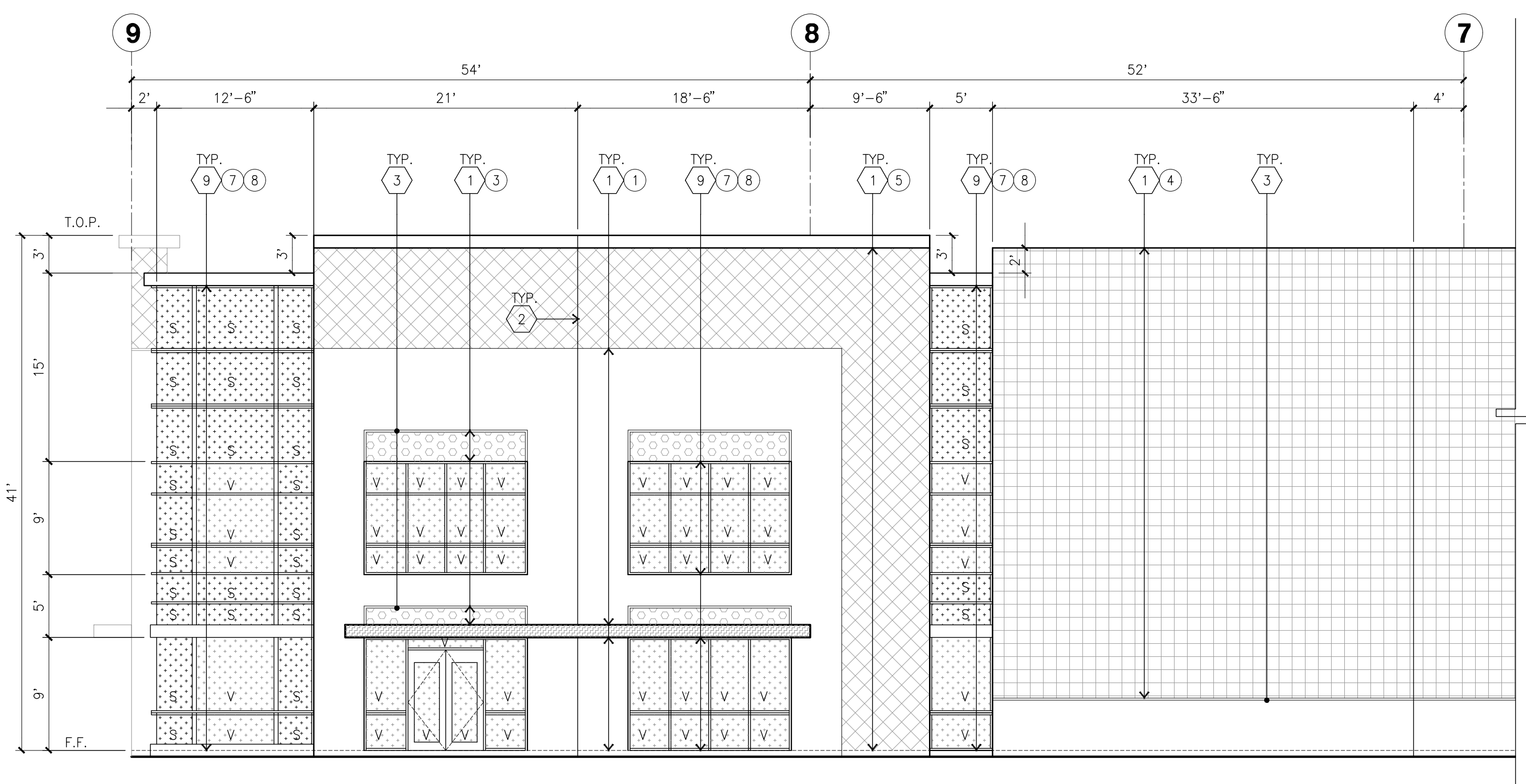
SOUTHWEST ELEVATION B
scale: 1"=20'-0"



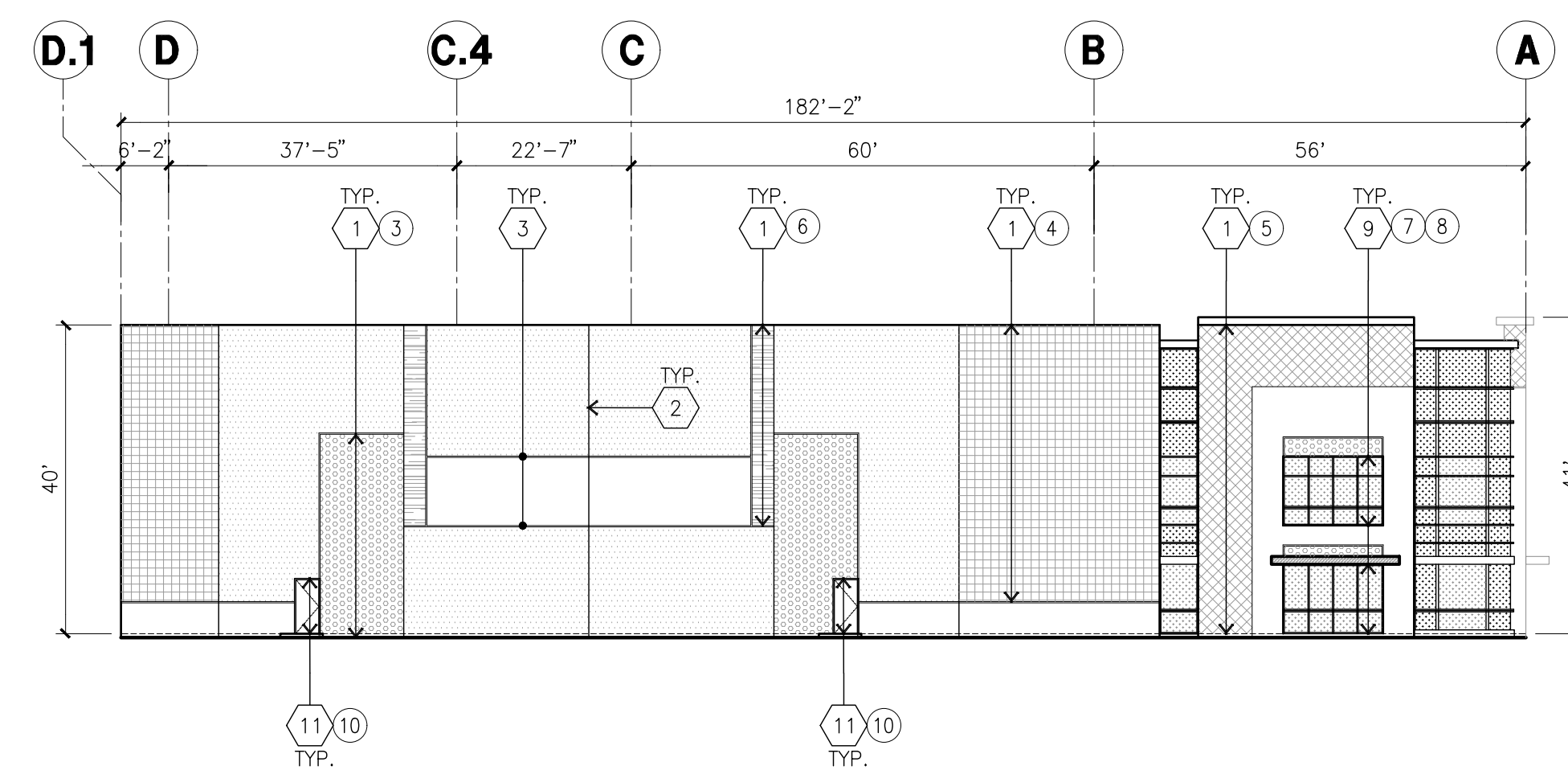
WEST ELEVATION B
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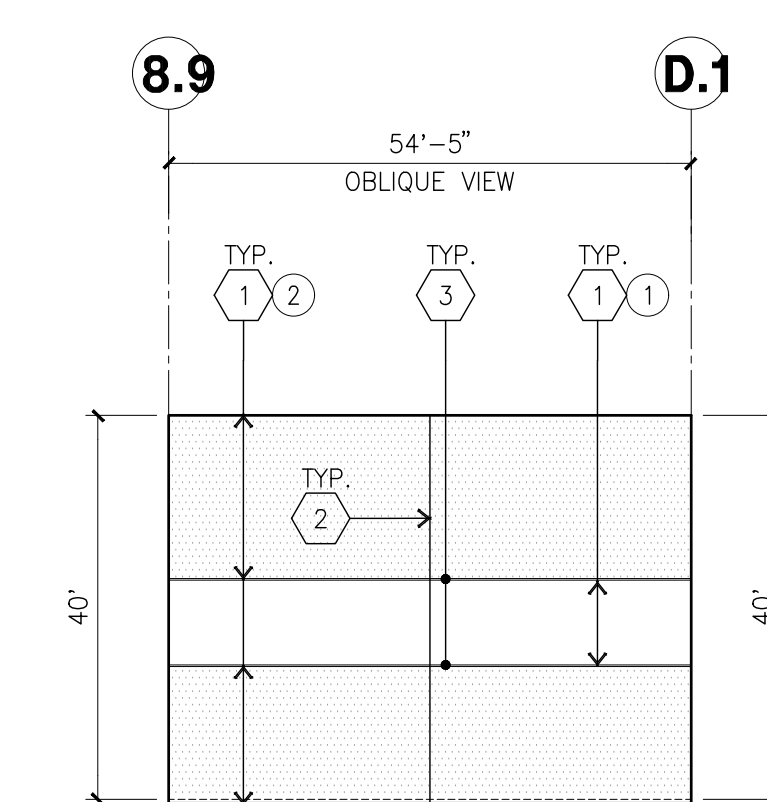
SOUTH ELEVATION D
scale: 1"=20'-0"



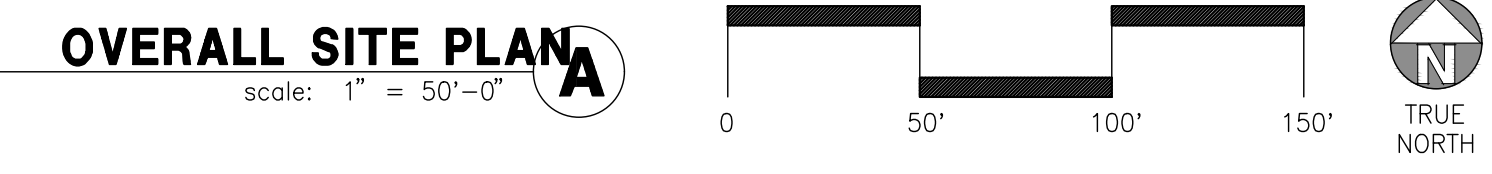
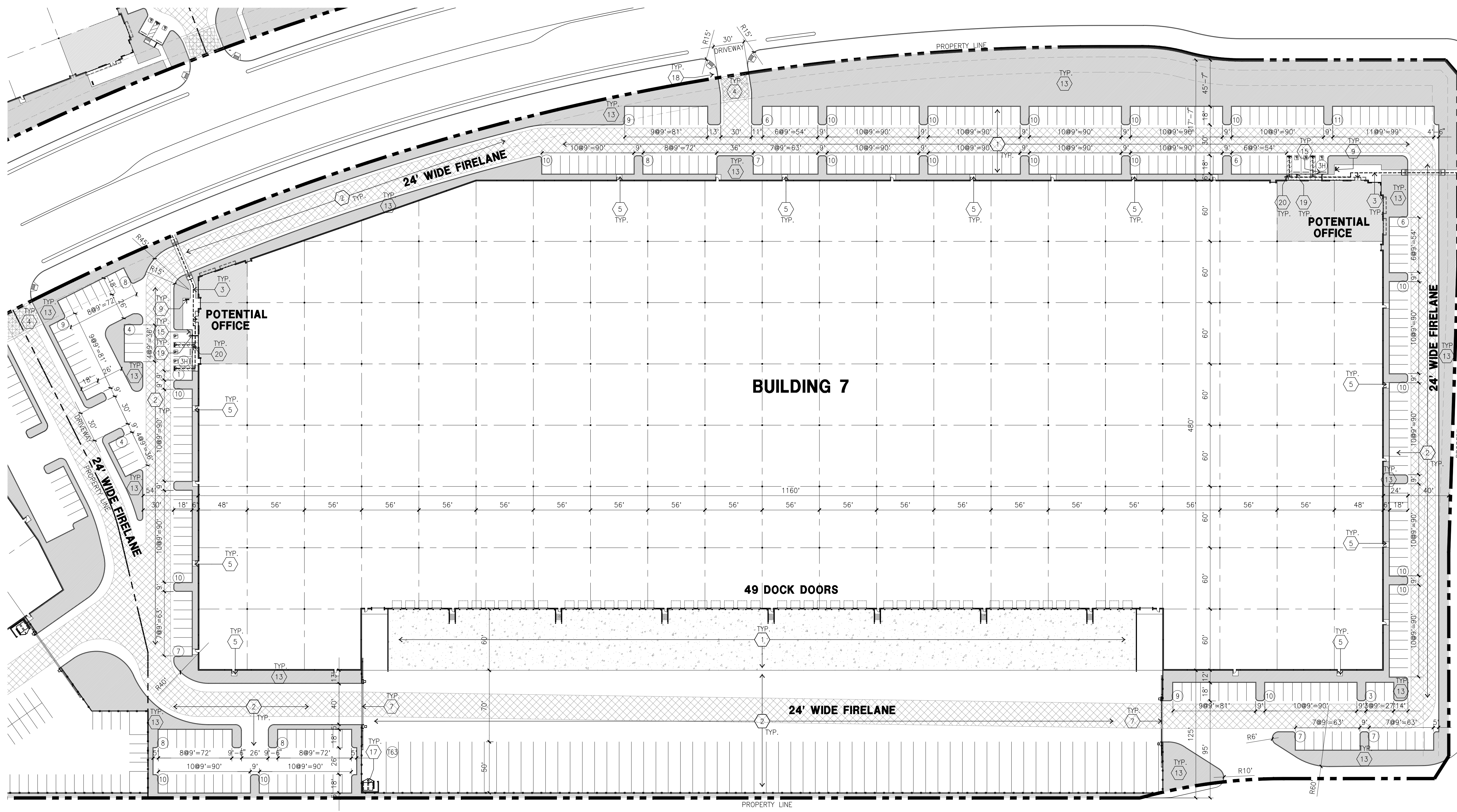
ENLARGED NORTH ELEVATION G
scale: 1/8"=1'-0"



EAST ELEVATION F
scale: 1"=20'-0"



SOUTHEAST ELEVATION E
scale: 1"=20'-0"



Property owner
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 NEWPORT BEACH, CA 92660
 CONTACT: RAYMOND POLVERINI
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Address of the property
 EASTVALE, CA

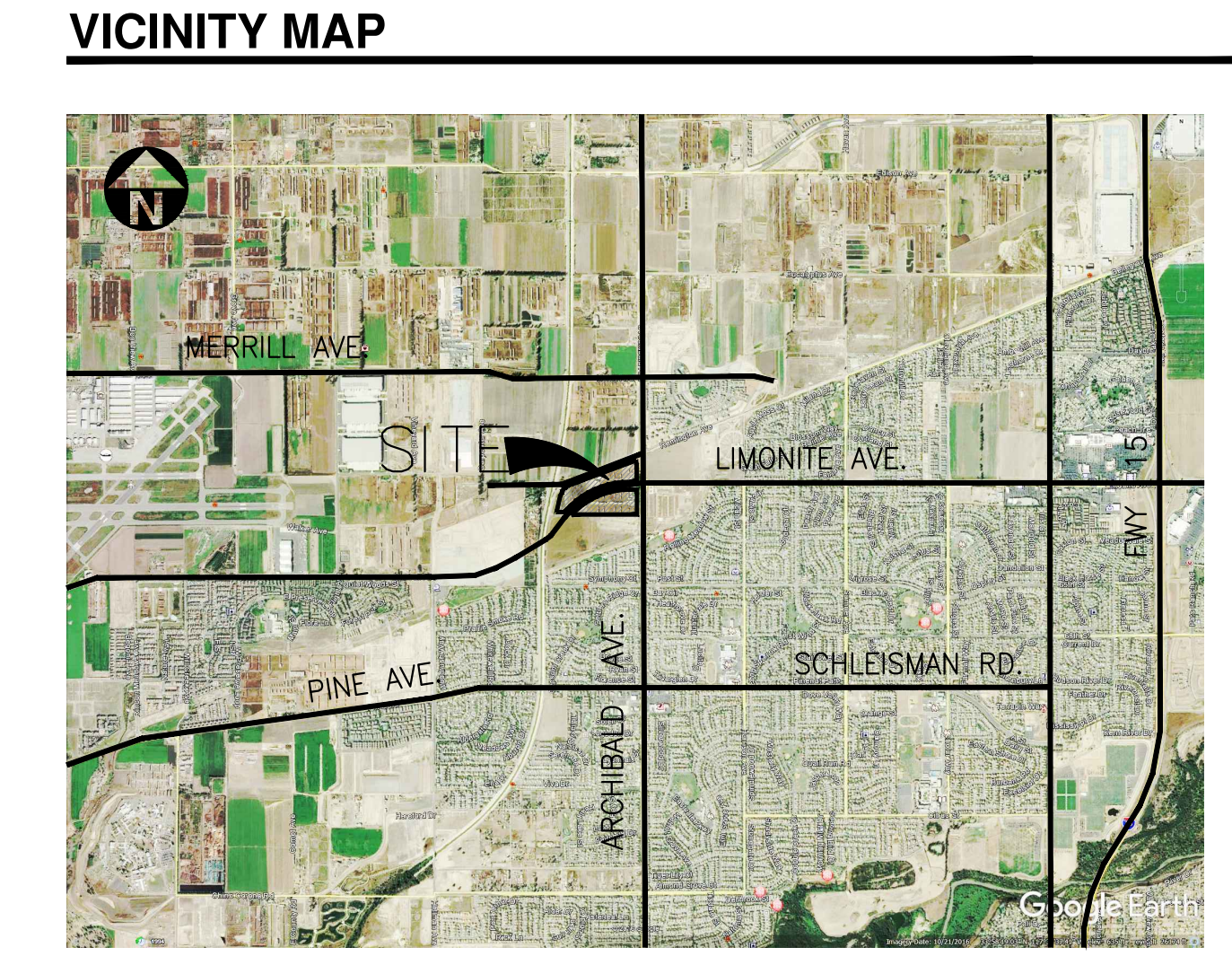
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Zoning
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TRAILER PARKING PROVIDED								
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ZONING ORDINANCE FOR CITY								
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MAXIMUM BUILDING HEIGHT ALLOWED								
Height - 75'								
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I-P: 0.60								
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Percentage - 10% of total interior parking area								



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Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN
 Structural:
 Mechanical:
 Plumbing:
 Electrical:
 Landscape: SPLA
 Fire Protection:
 Soils Engineer:

Title: BUILDING 7
 overall site plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
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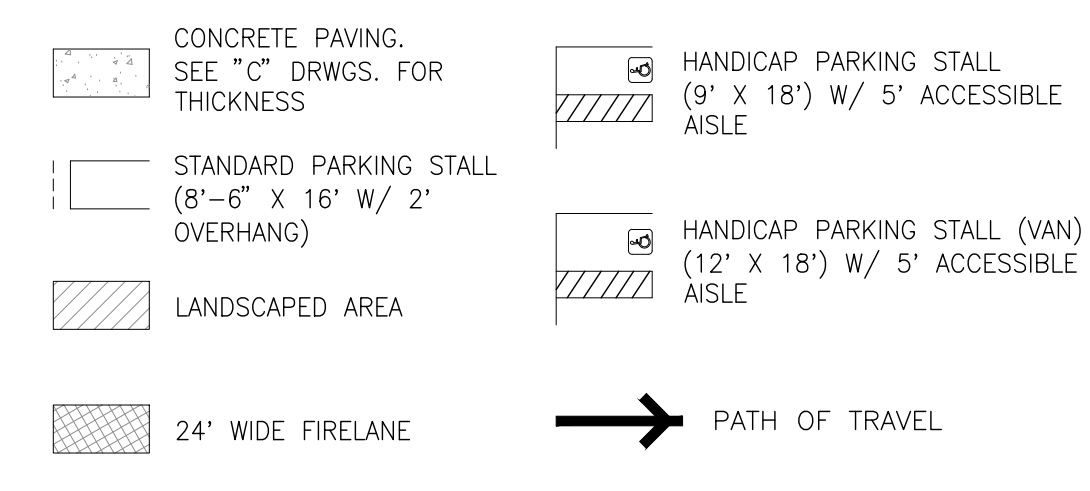
SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" DOUBLE SIDE, SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 7 8' HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 NOT USED.
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST *6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 NOT USED.
- 22 NOT USED.
- 23 NOT USED.
- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
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8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE LEGEND



OFFICIAL USE ONLY

7-DAB-A1.1

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

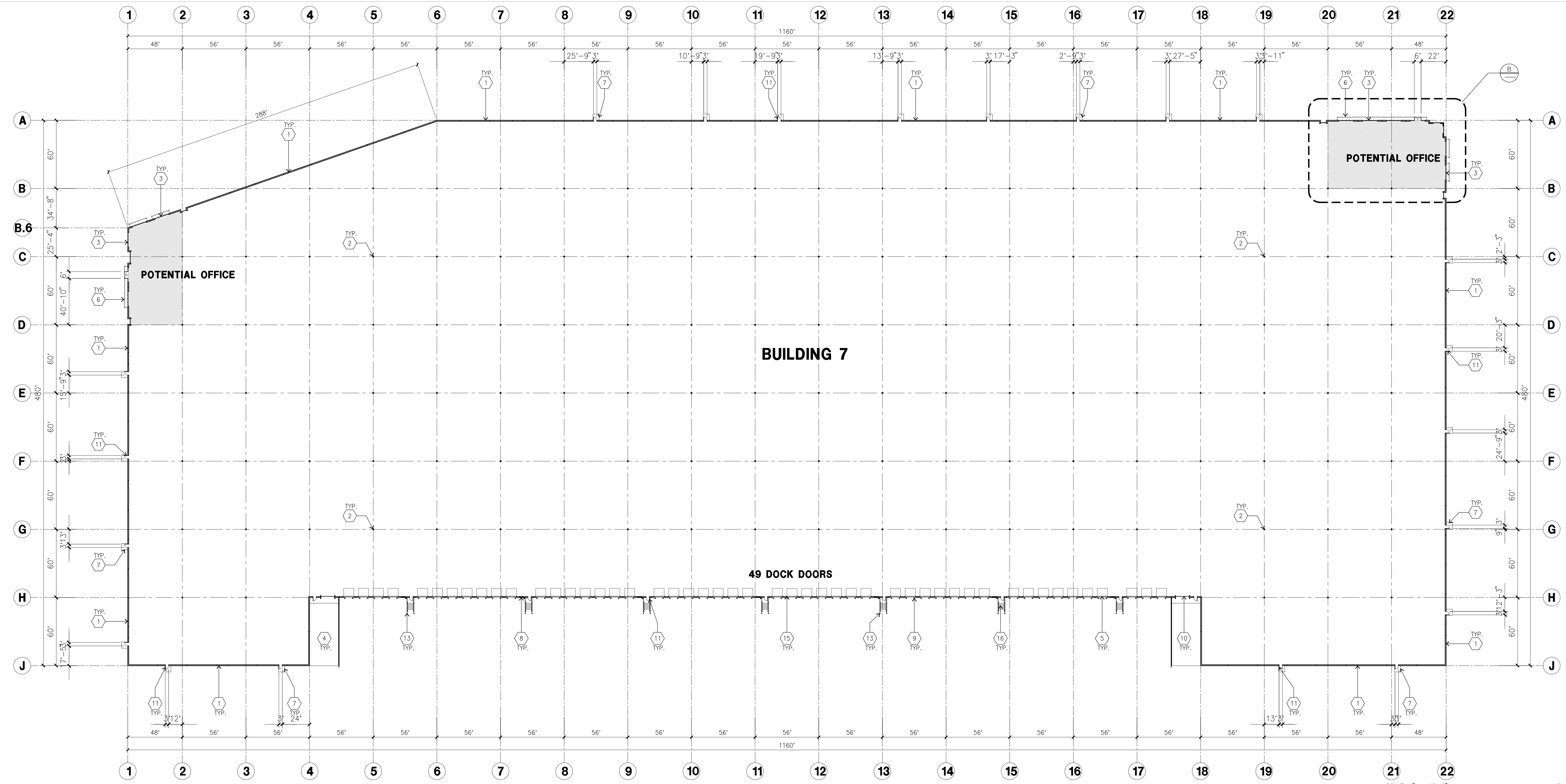
Consultants:

- Civil: KIMLEY HORN
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

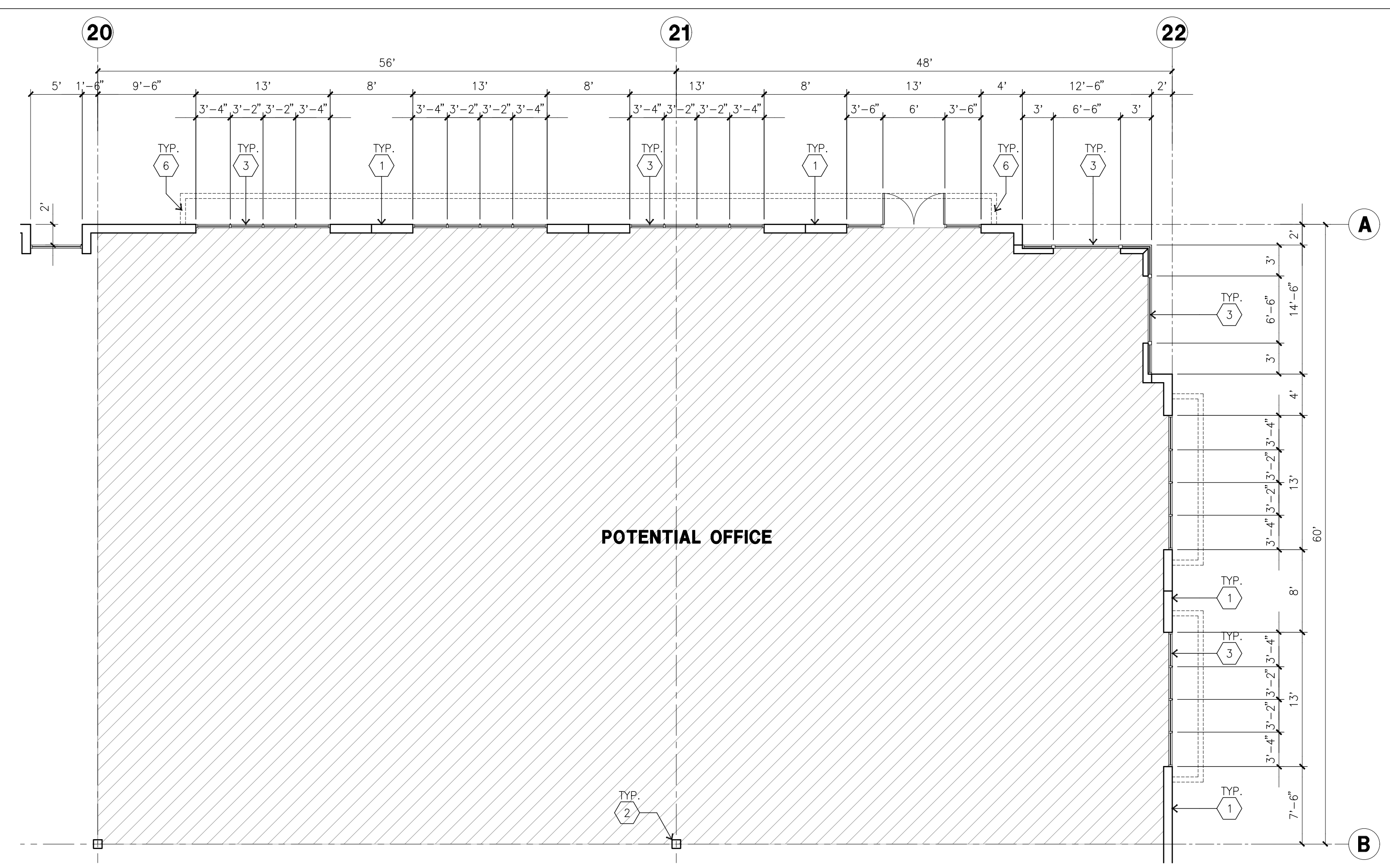
Title: **BUILDING 7**
overall floor plan

Project Number: 18111
Drawn by: SHA LIU MAHONEY
Date: 07/02/2019
Revision:

Sheet:



OVERALL FLOOR PLAN
scale: 1" = 40'-0"
TRUE NORTH



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
TRUE NORTH

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12" X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



280 Newport Center Dr. Suite 240
Newport Beach, CA 92660
tel: 949-330-7564

Project:

THE HOMESTEAD

City of Eastvale, CA

Consultants:

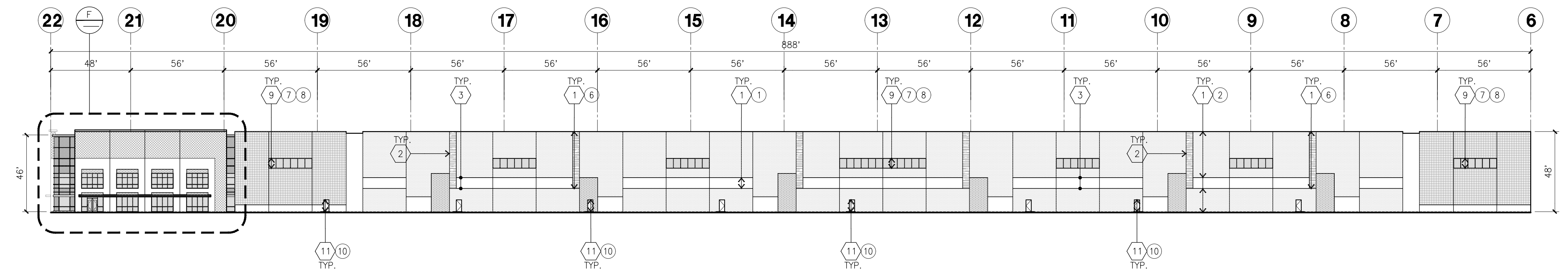
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Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: SPLA
Fire Protection:
Soils Engineer:

Title: BUILDING 7
elevation

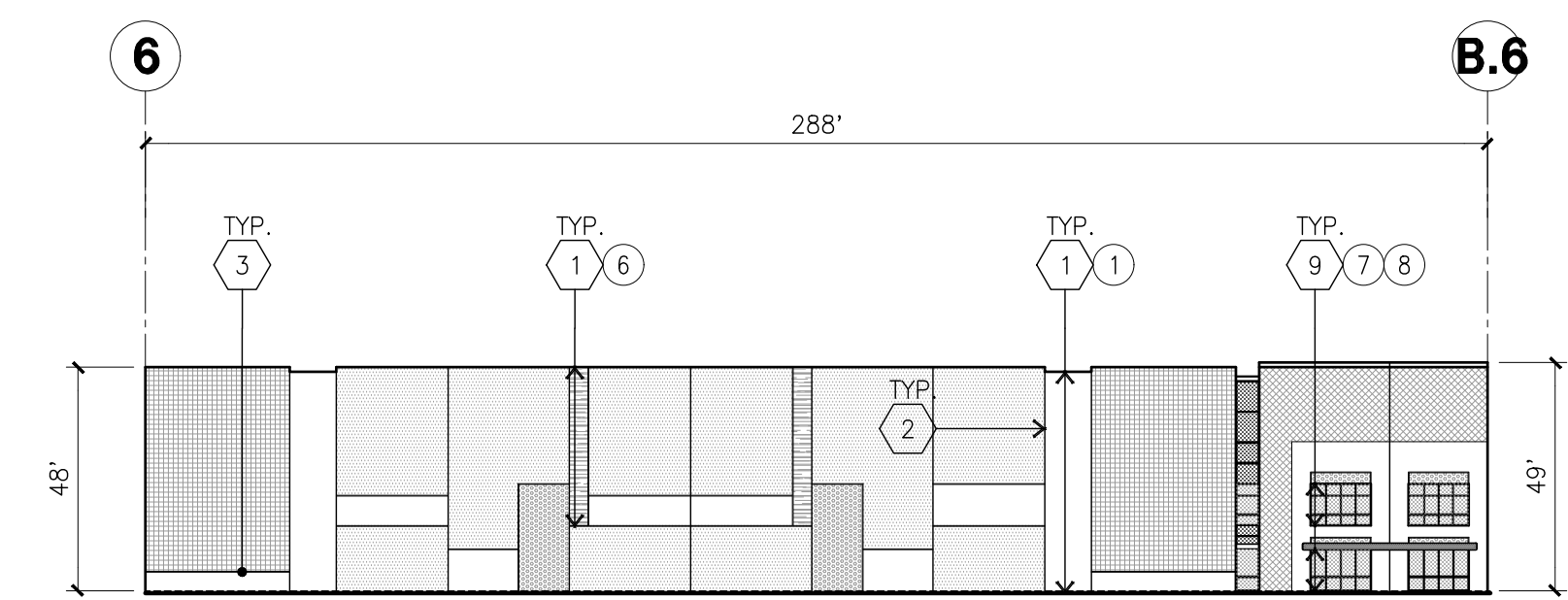
Project Number: 18111
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Revision:

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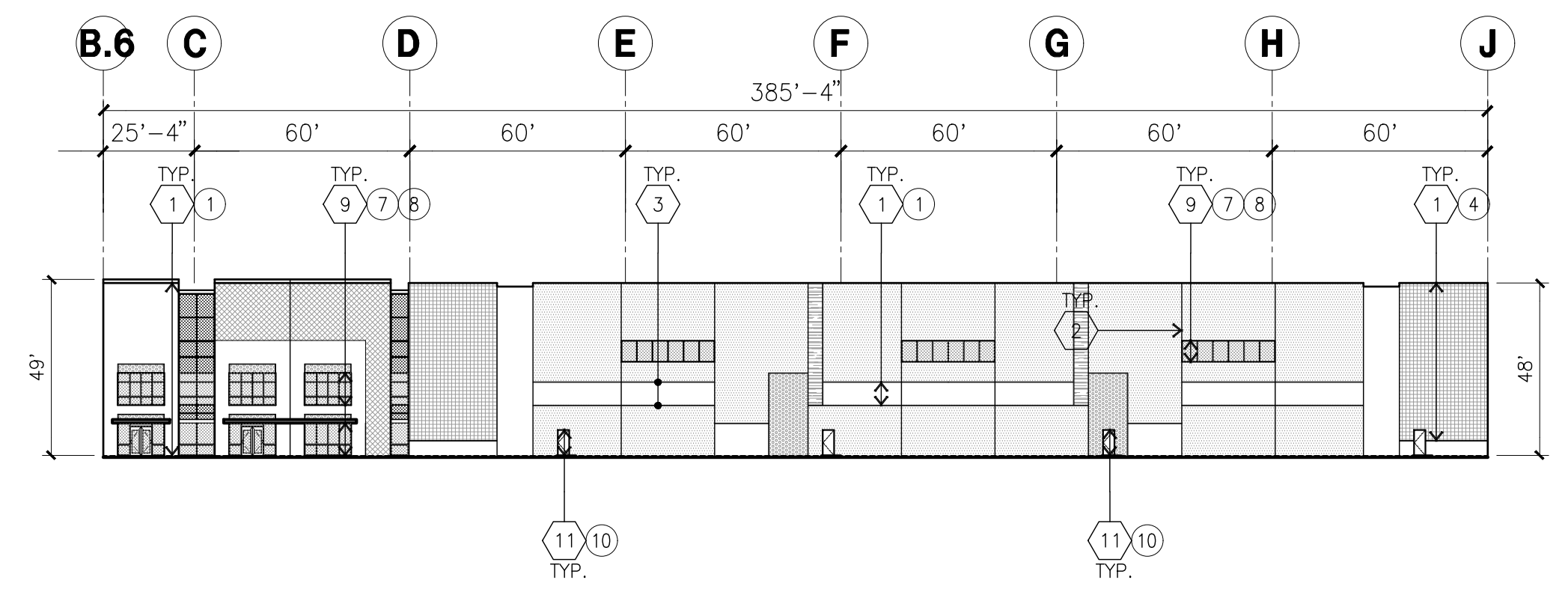
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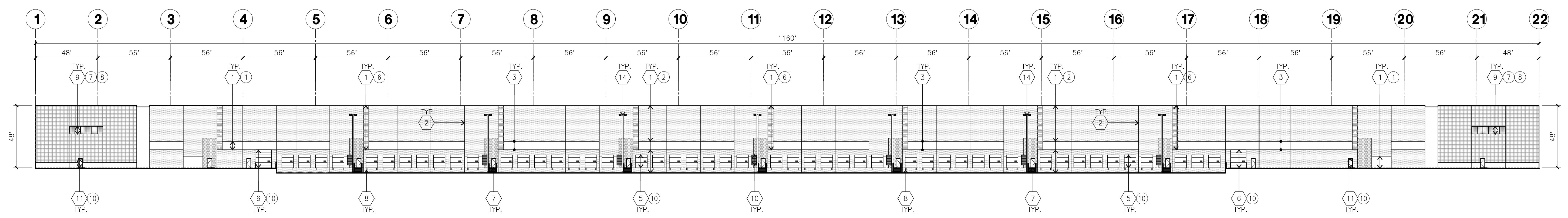
NORTH ELEVATION A
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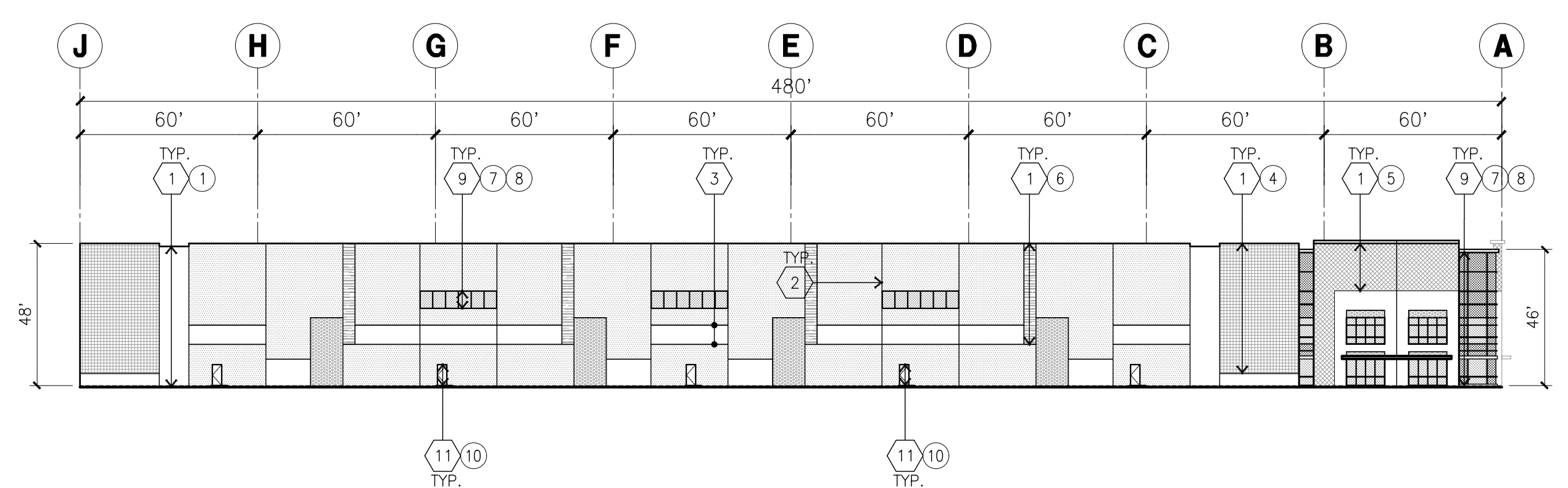
NORTHWEST ELEVATION B
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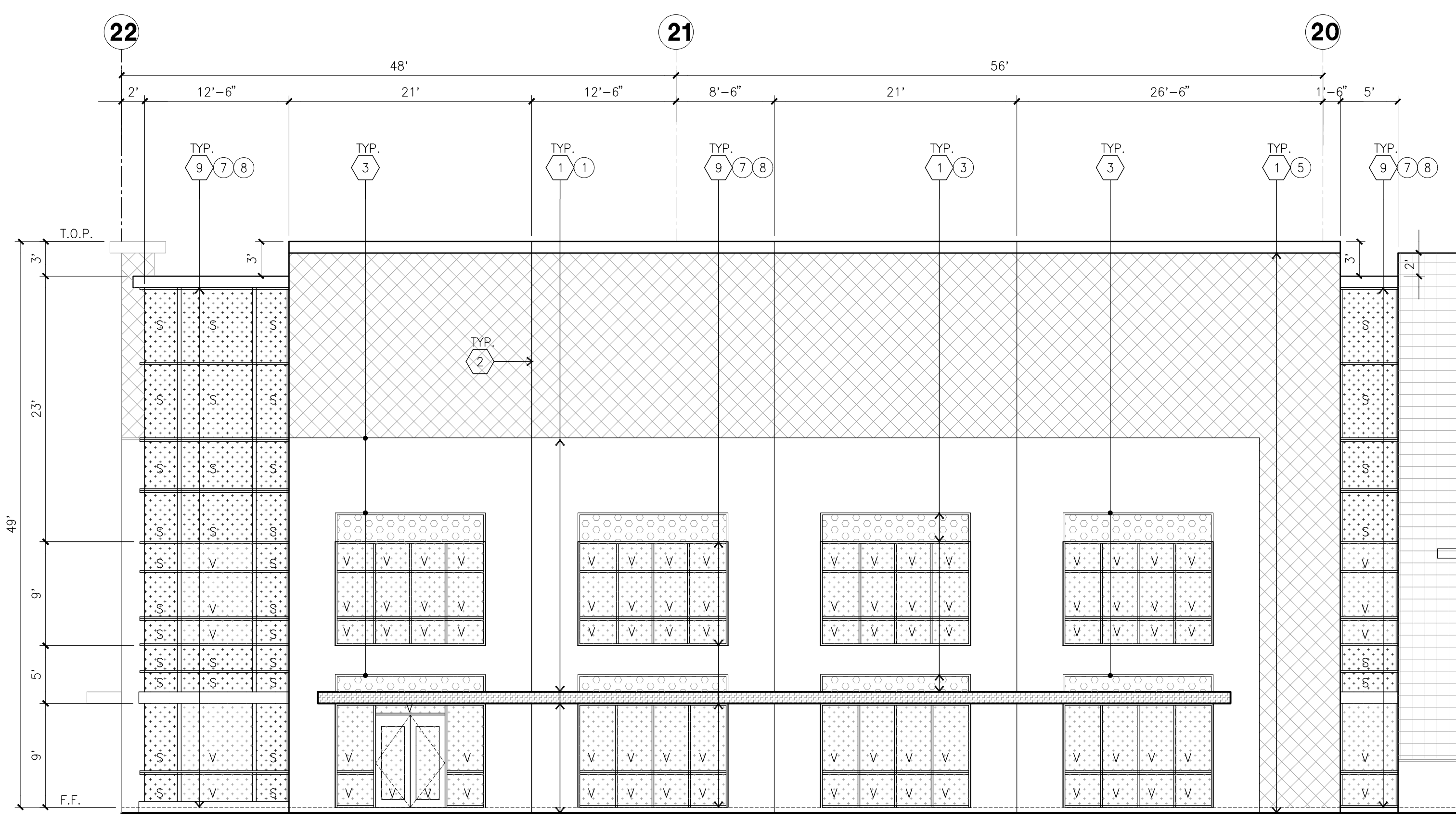
WEST ELEVATION C
scale: 1" = 40'-0"



SOUTH ELEVATION D
scale: 1" = 40'-0"



EAST ELEVATION E
scale: 1" = 40'-0"



ENLARGED NORTH ELEVATION F
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER

COLOR SCHEDULE - ELEVATIONS

- 1 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7071 GRAY SCREEN
- 3 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7073 NETWORK GRAY
- 4 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7074 SOFTWARE
- 5 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7075 WEB GRAY
- 6 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7602 INDIGO BATIK
- 7 MULLIONS FINISH CLEAN ANODIZED
- 8 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 9 METAL CANOPY PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 10 DOORS COLOR MATCH BUILDING COLOR

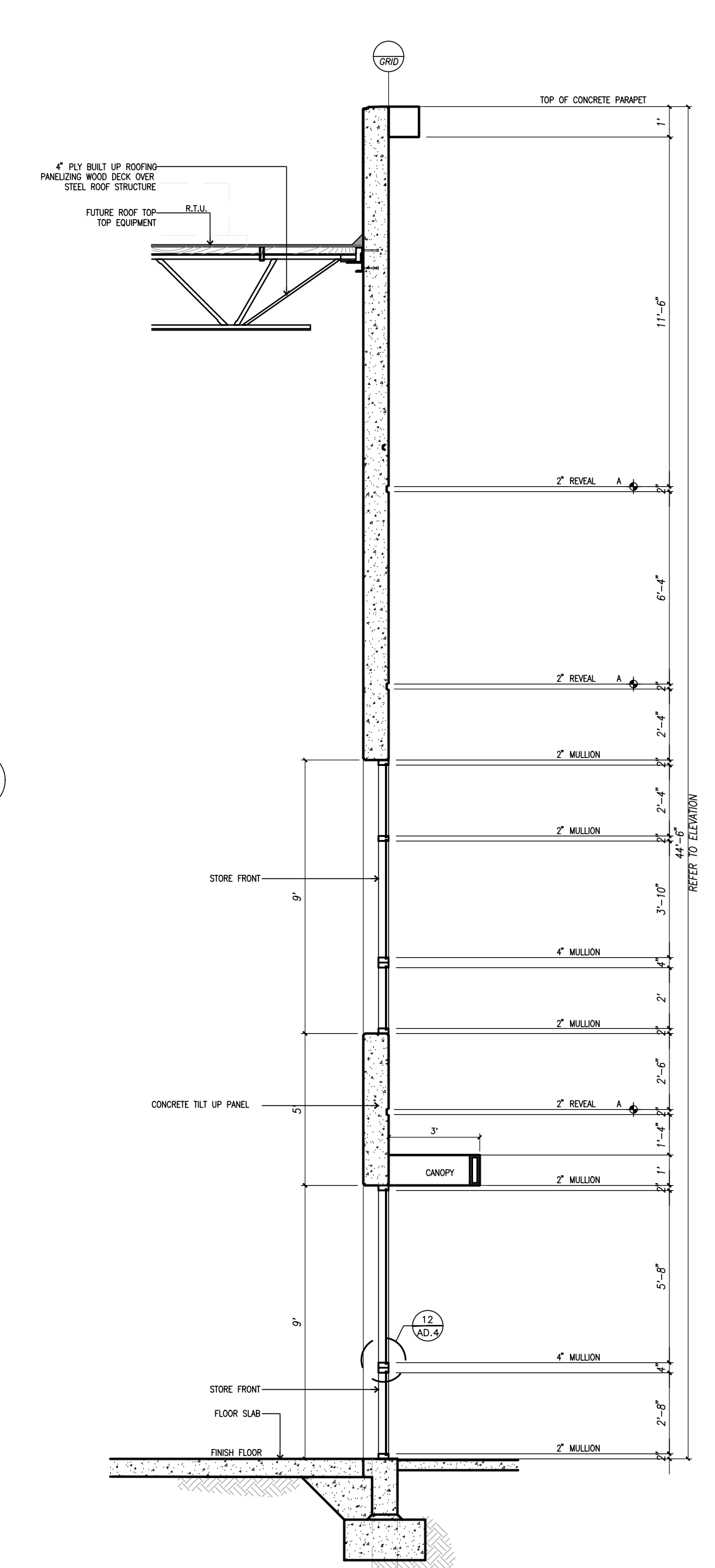
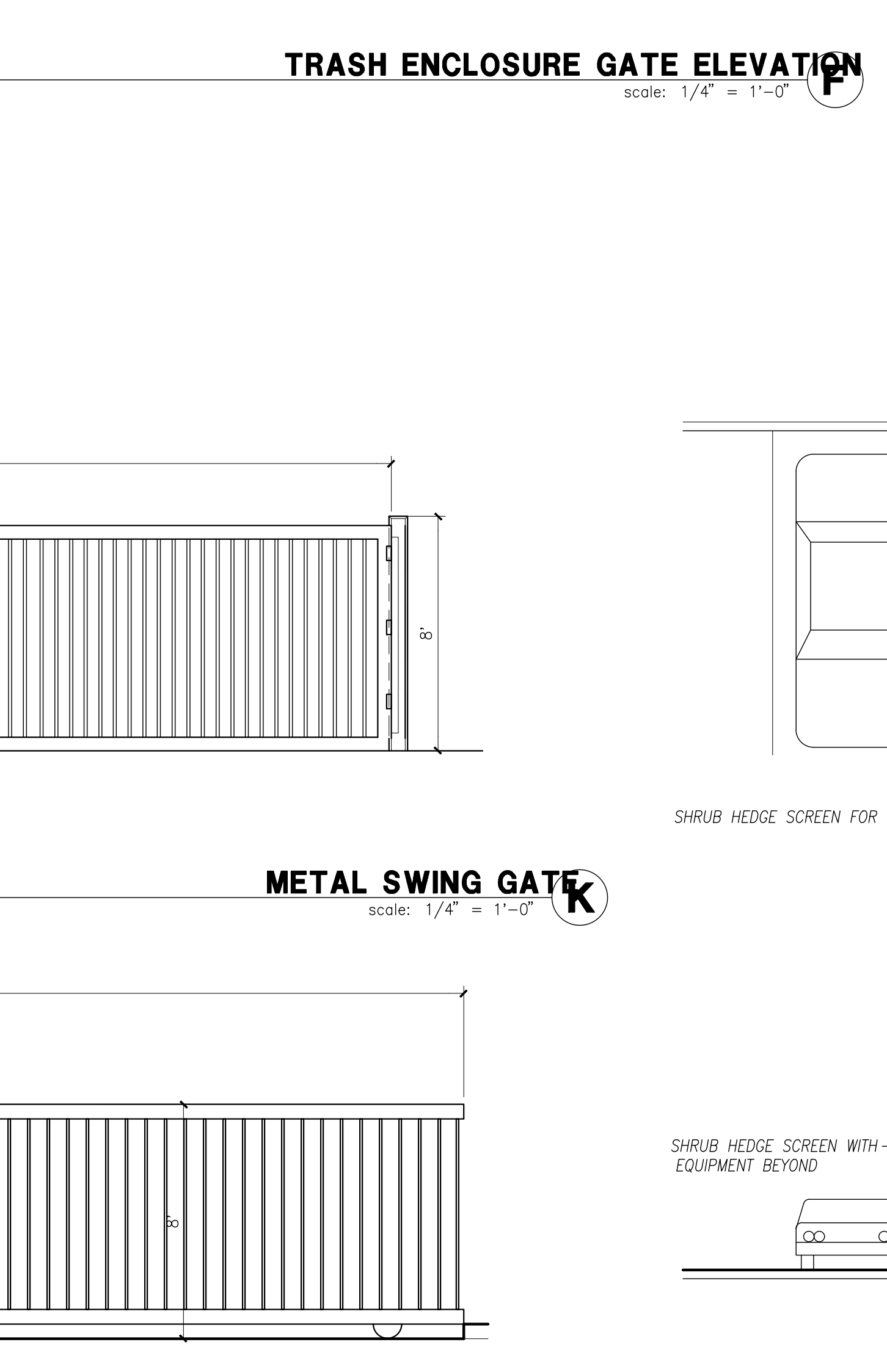
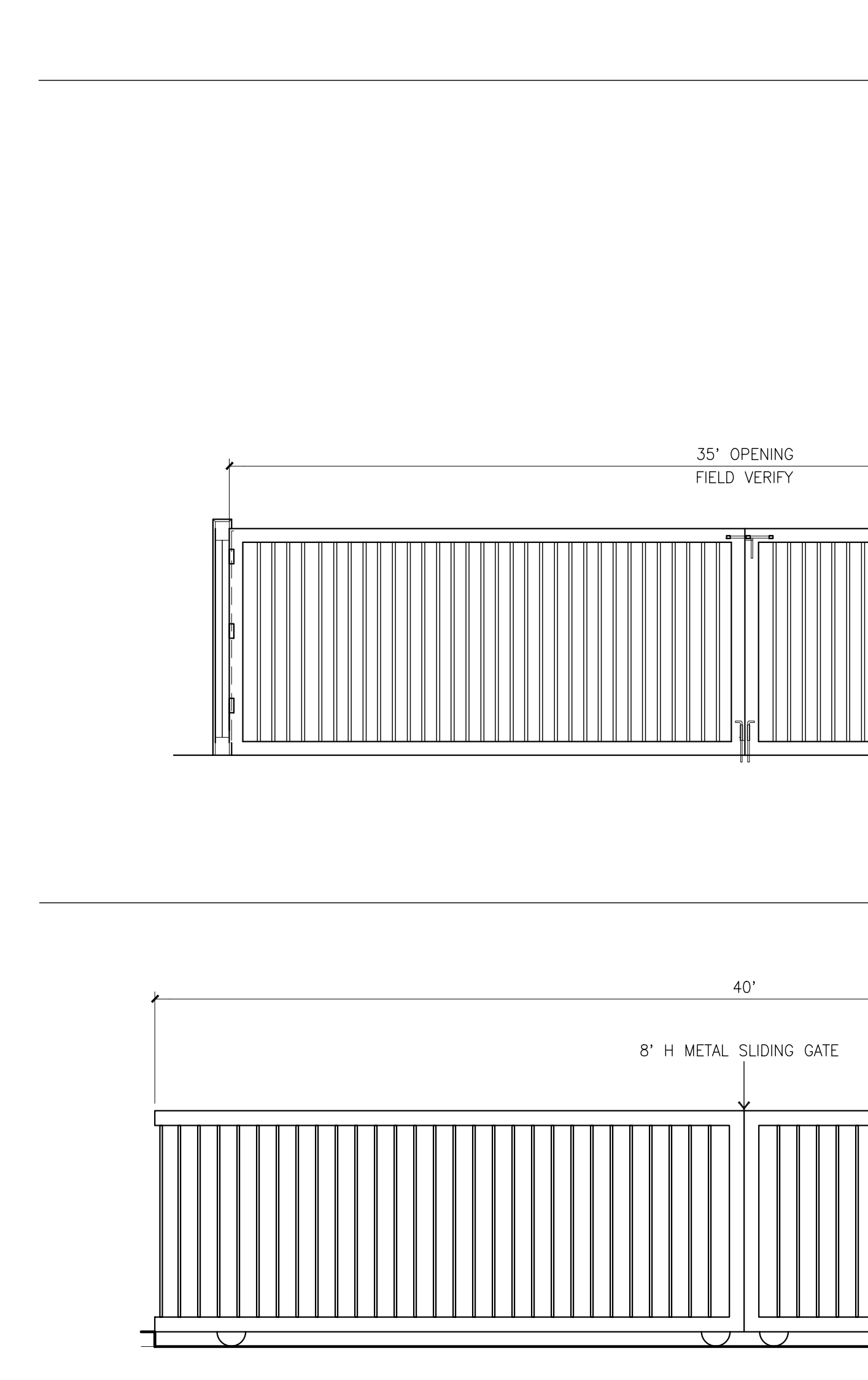
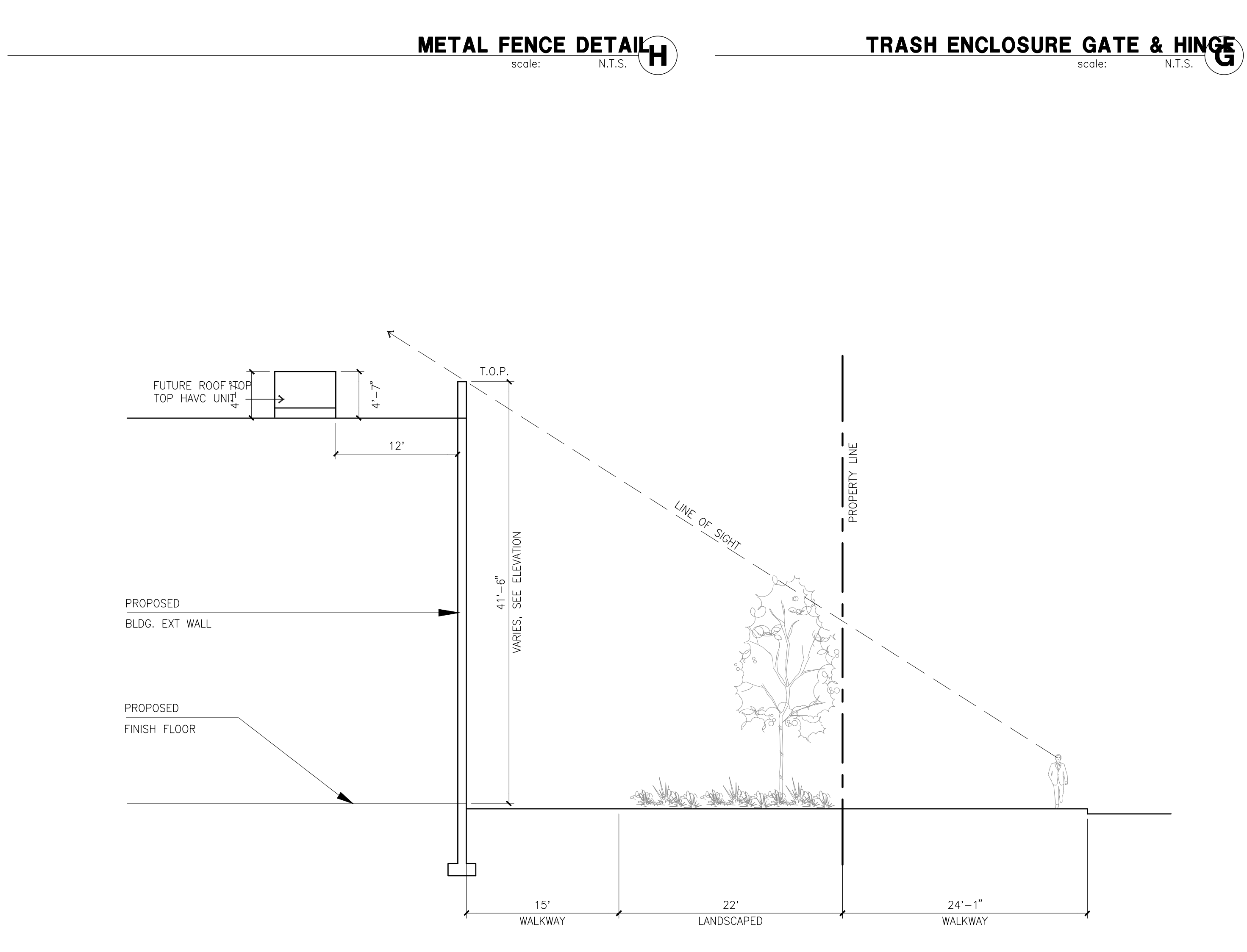
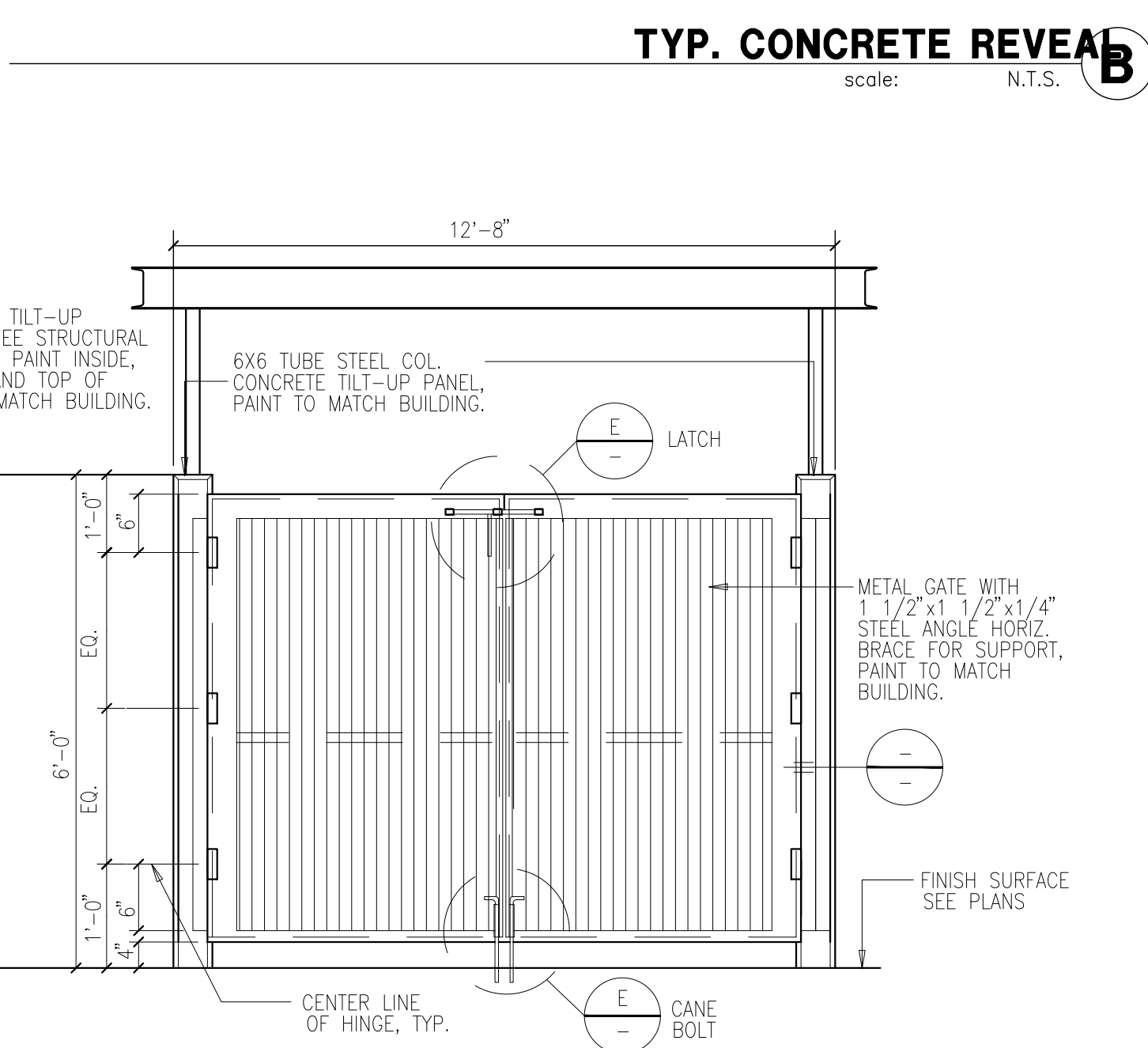
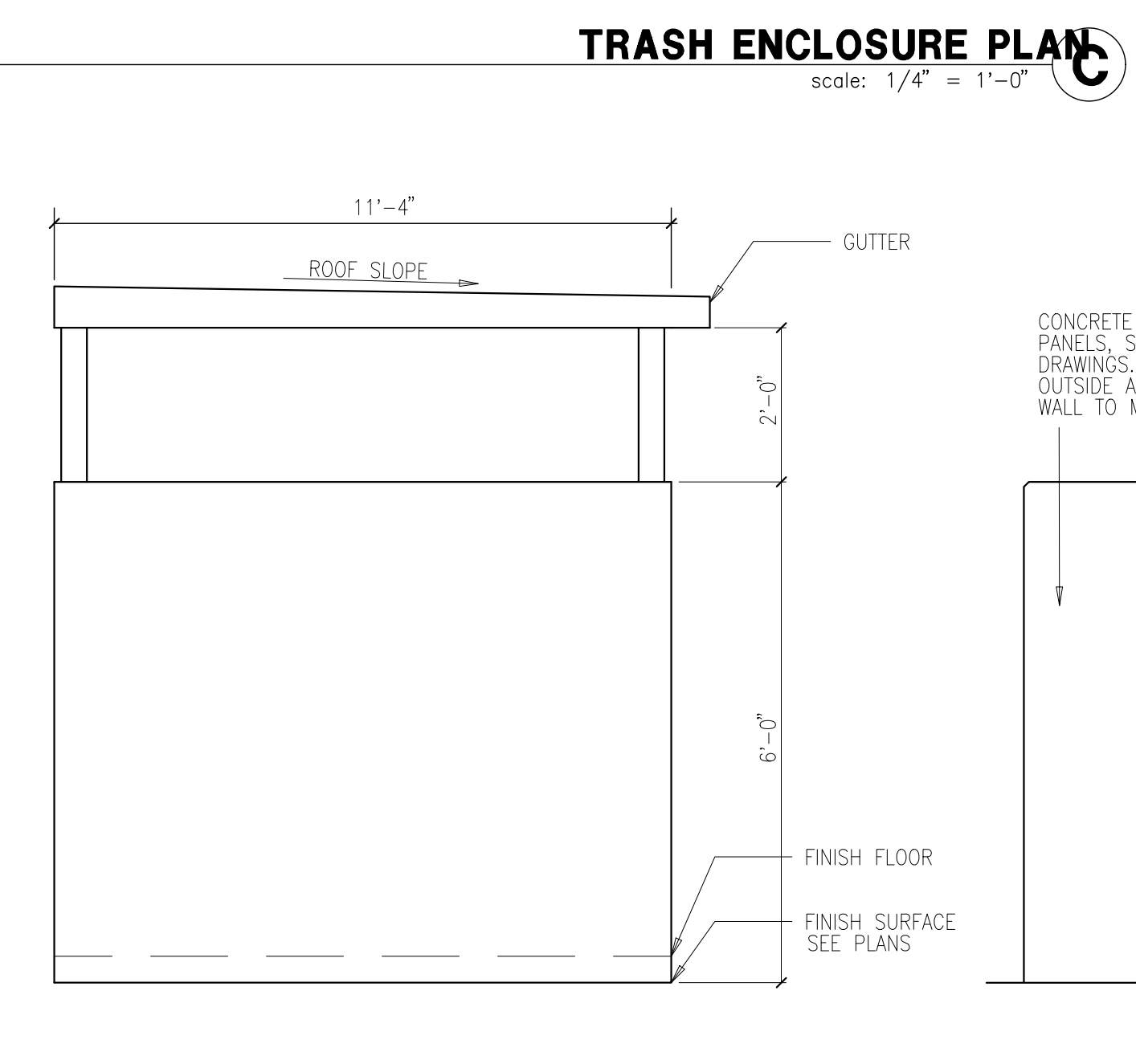
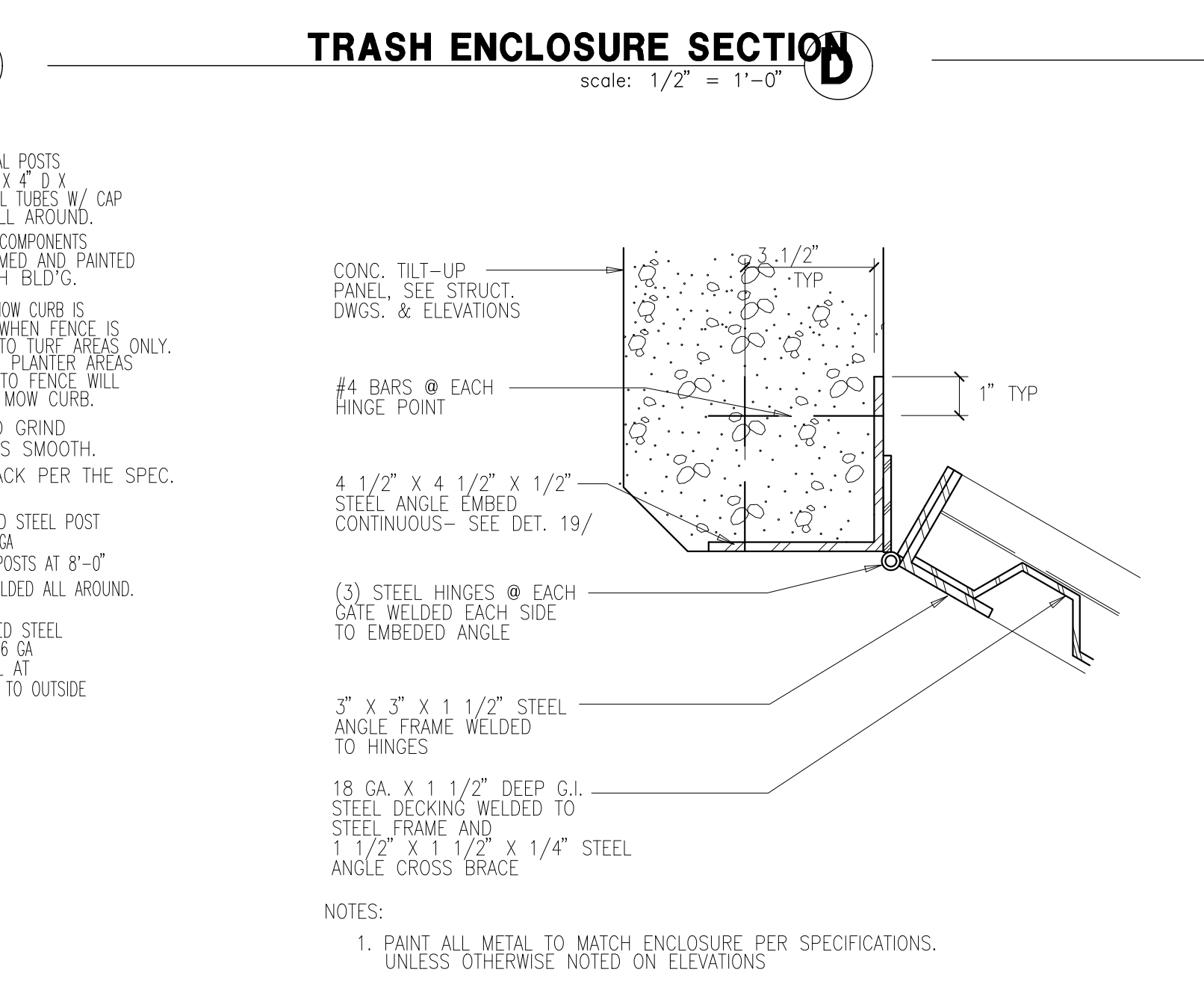
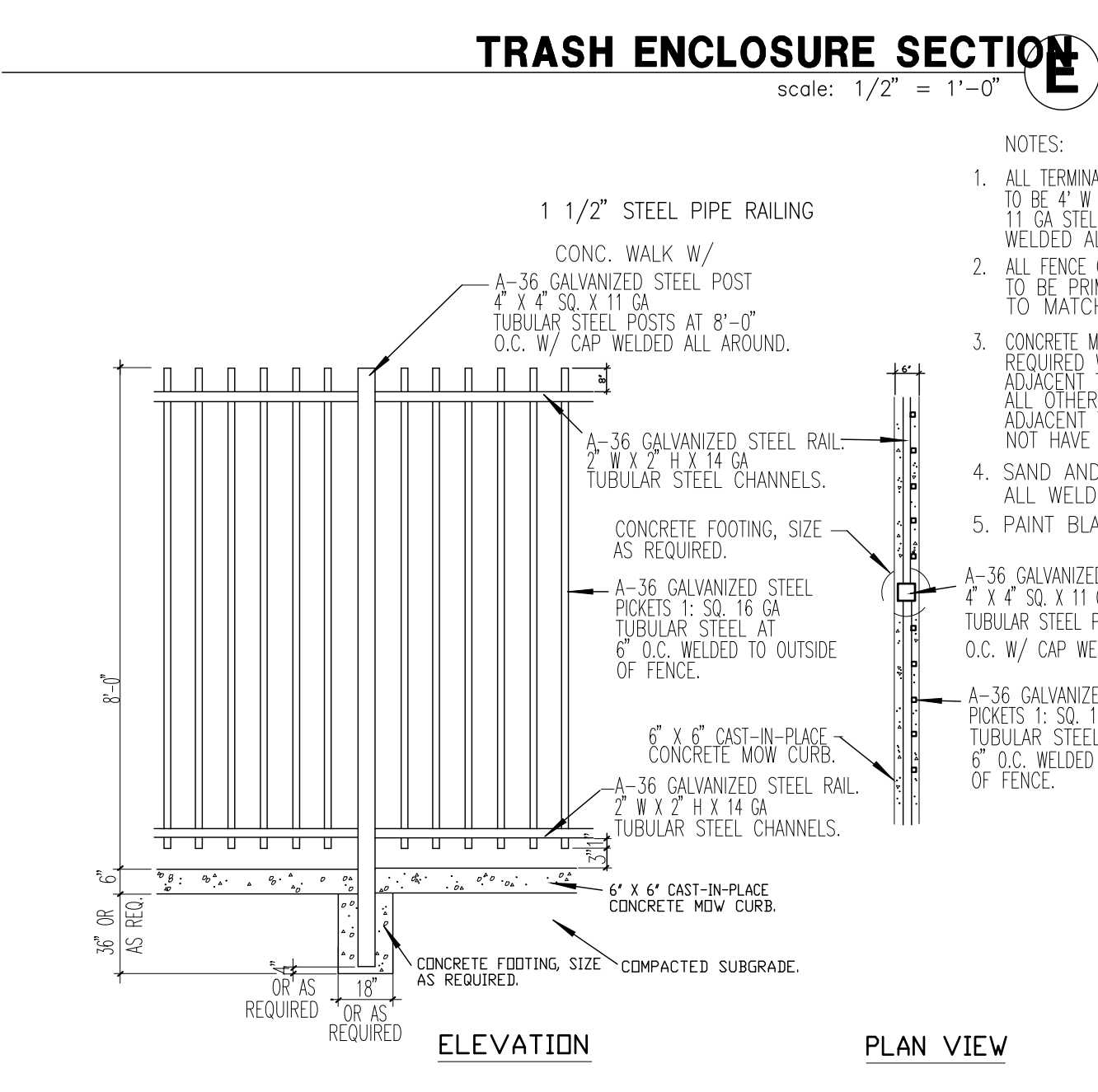
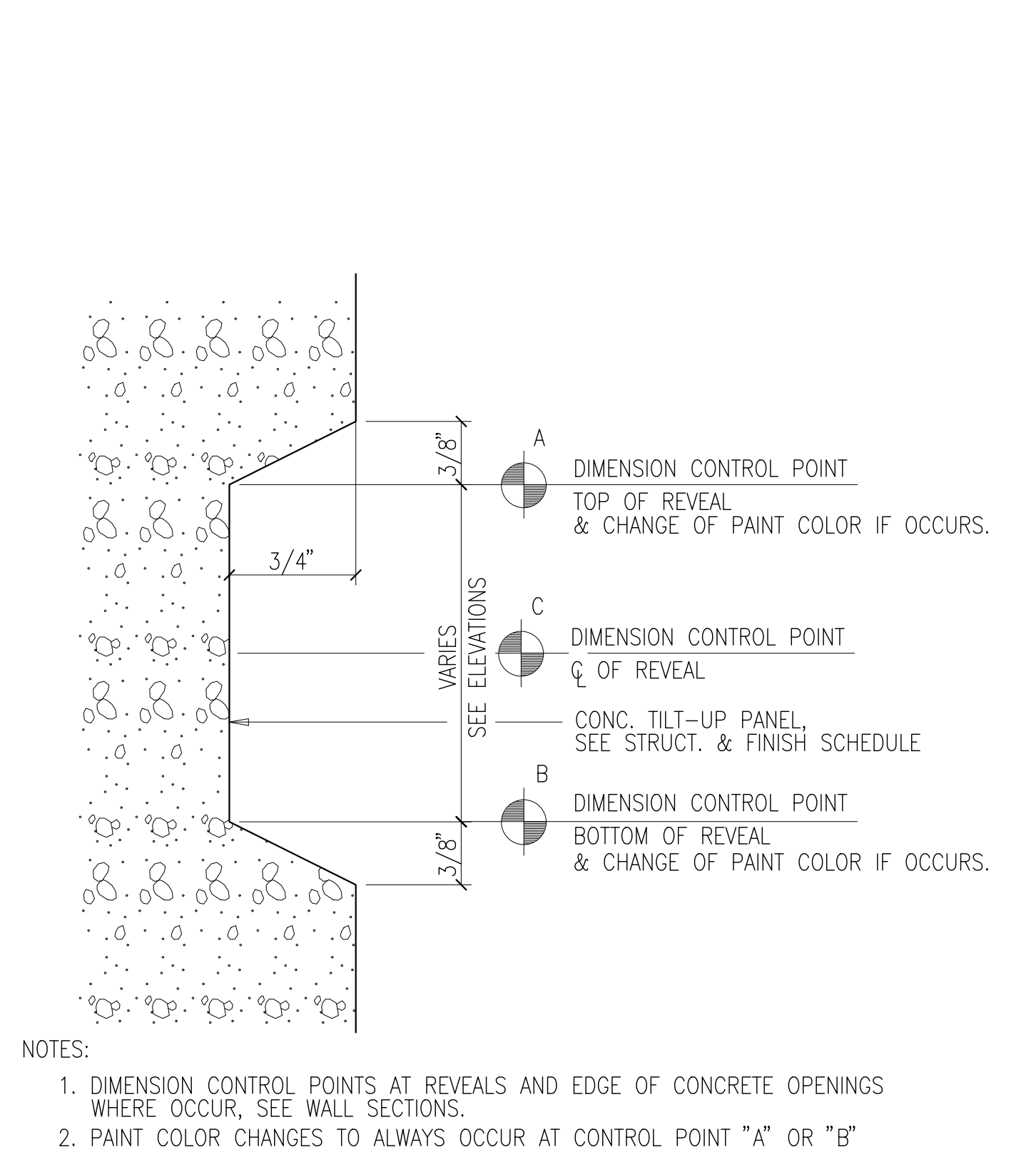
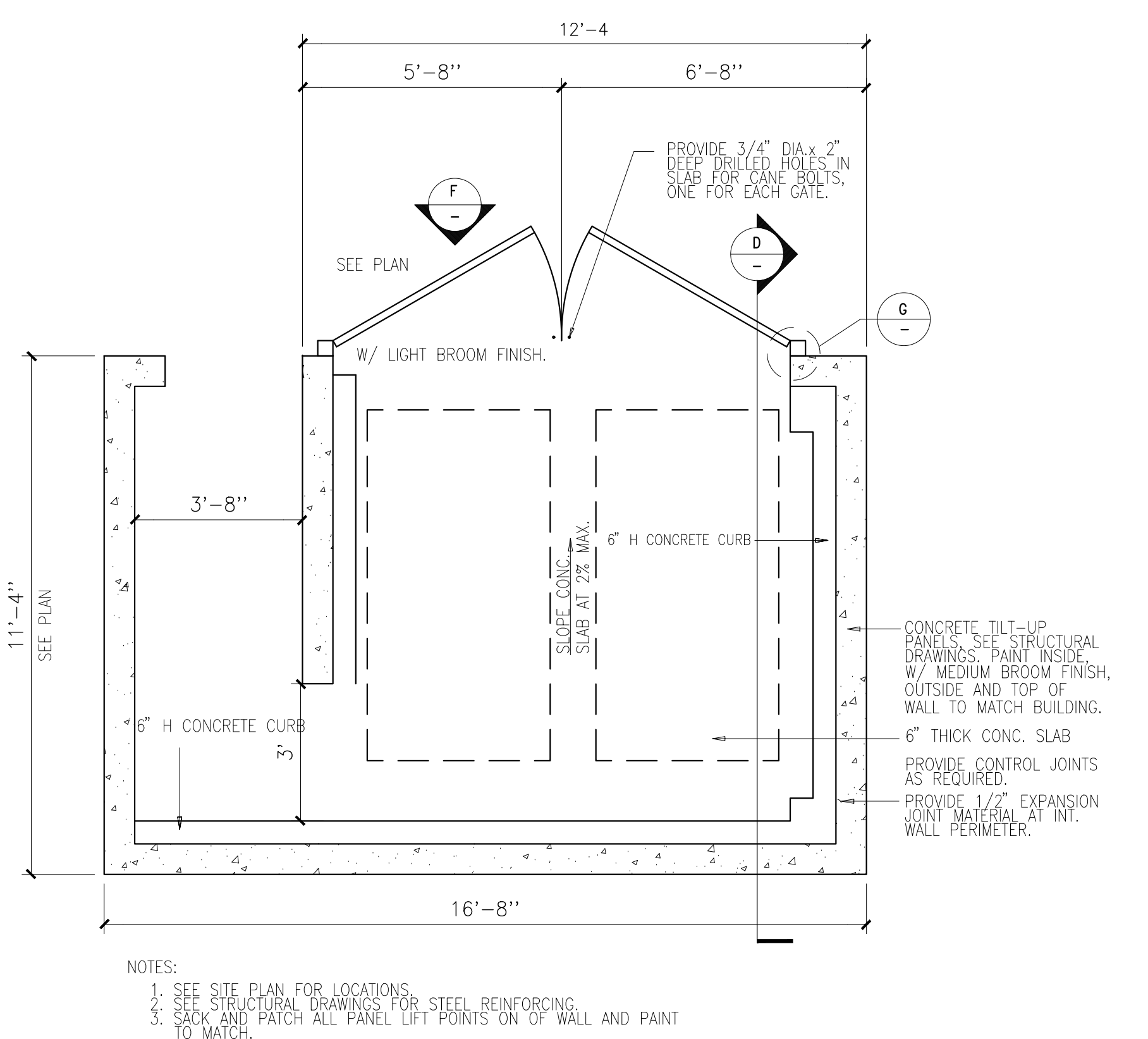
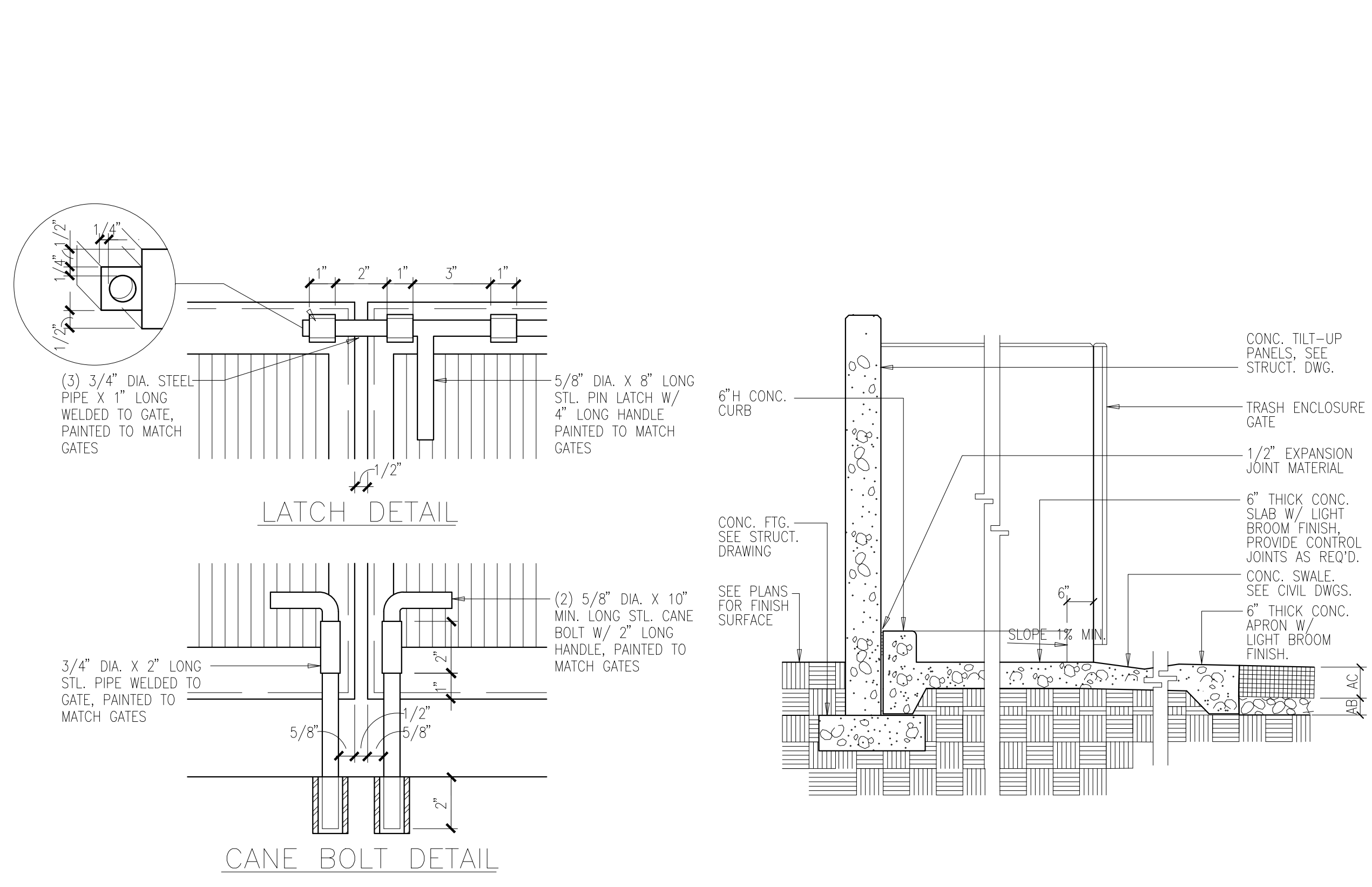
GLAZING LEGEND

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



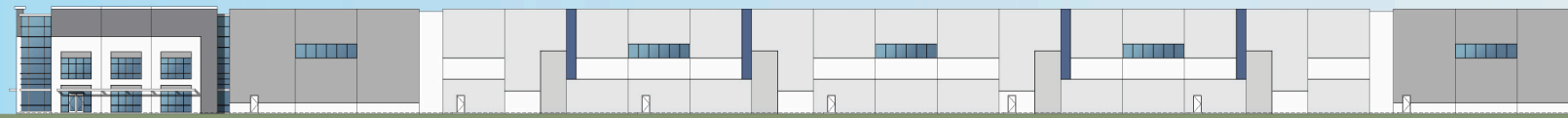
North Elevation



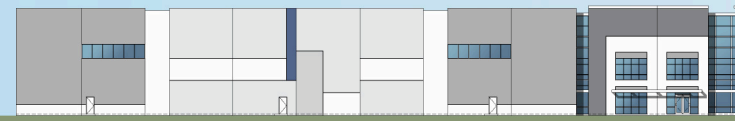
West Elevation



South Elevation - Limonite Avenue

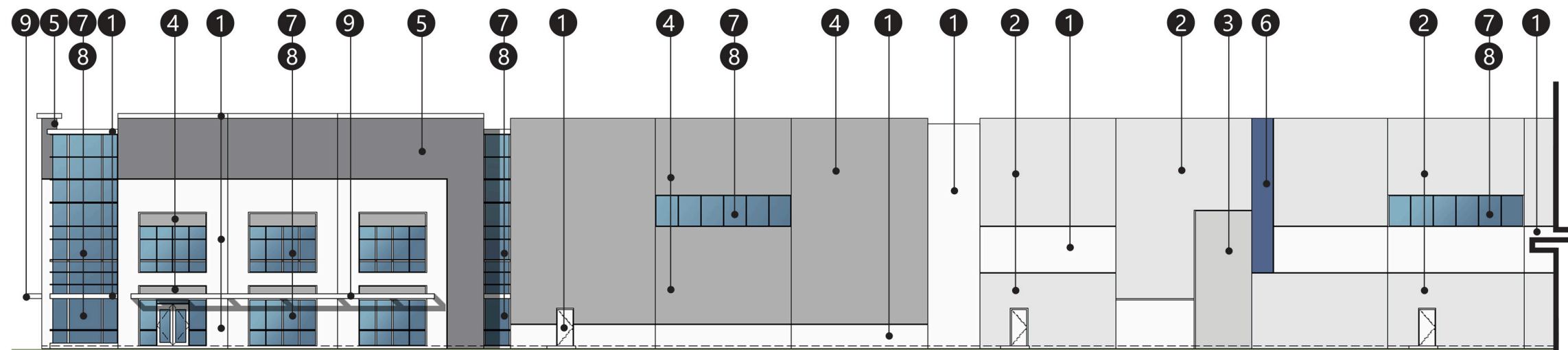


East Elevation - Archibald Avenue



MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
- ⑥ Sherwin Williams SW 7602 Indigo Batik
- ⑦ Blue Reflective GLAZING
- ⑧ Clear Anodize MULLIONS
- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of South Elevation



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Job No. 18440.00

06.26.2019

Limonite Ave.
and
Archibald Ave. - Phase II
city of eastvale, california Building 1

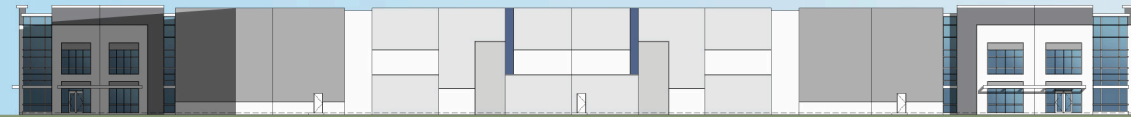
North Elevation



West Elevation




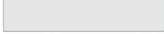
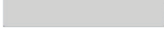



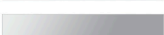


South Elevation - Limonite Avenue

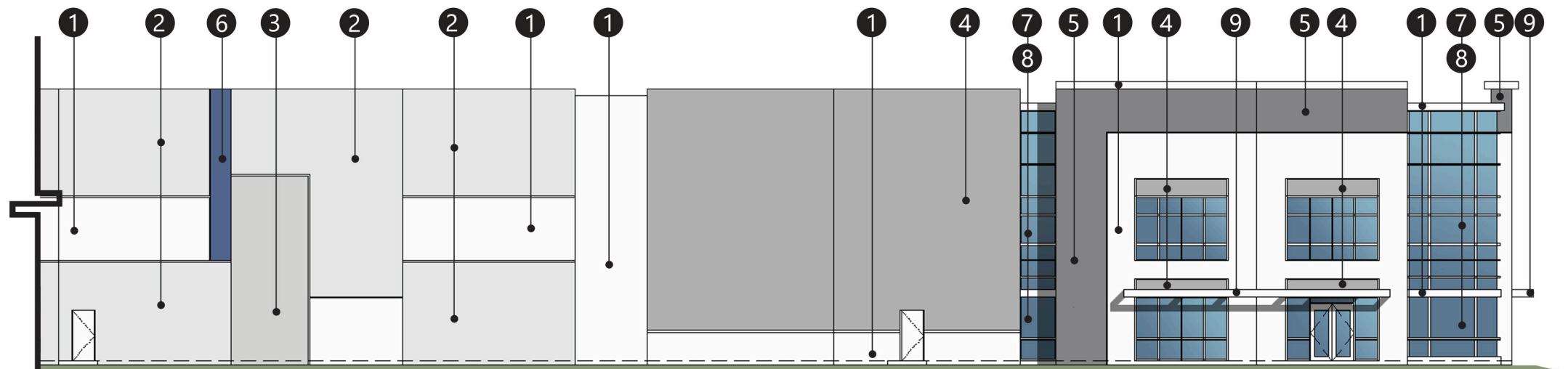


East Elevation - Archibald Avenue



MATERIALS

- ①  Sherwin Williams SW 7005 Pure White
- ②  Sherwin Williams SW 7071 Gray Screen
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- ④  Sherwin Williams SW 7074 Software
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- ⑧  Clear Anodize MULLIONS
- ⑨  Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of South Elevation



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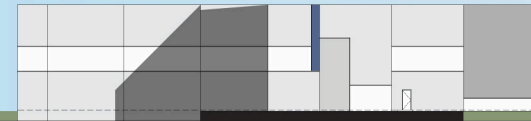


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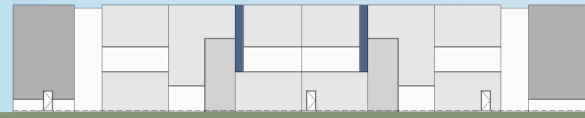
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Limonite Ave.
and
Archibald Ave. - Phase II
city of eastvale, california Building 2

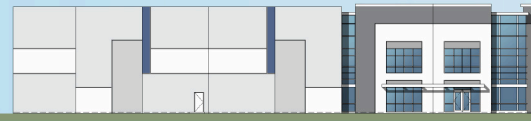
North Elevation



West Elevation



South Elevation - Limonite Avenue

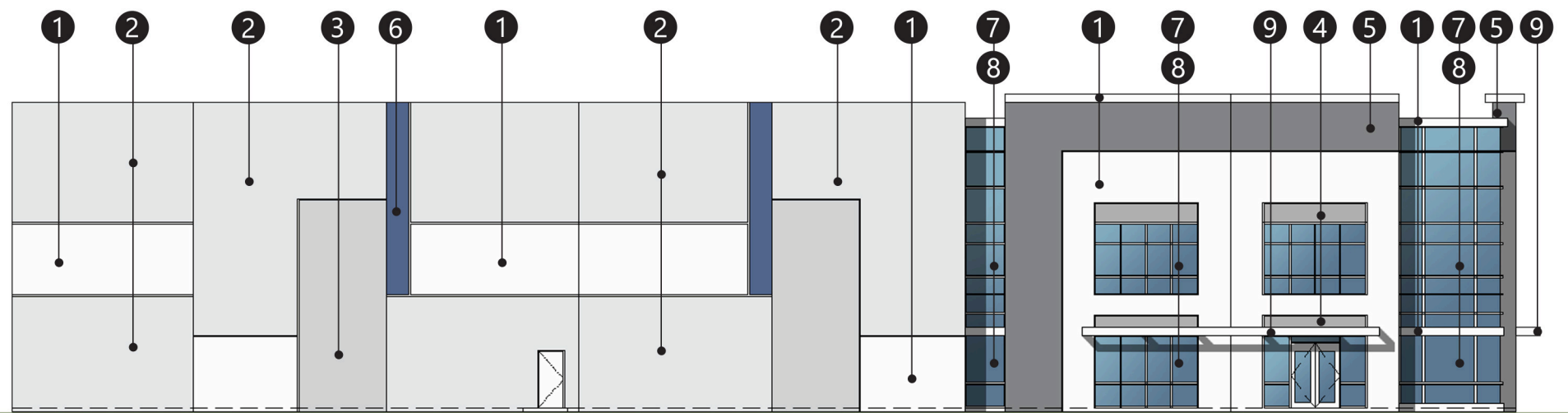


East Elevation - Archibald Avenue



MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
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Enlarged View of South Elevation



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Job No. 18440.00

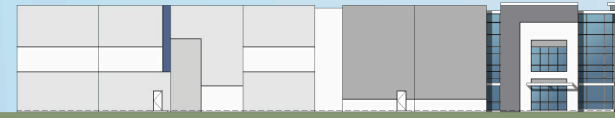
06.26.2019

Limonite Ave.
and
Archibald Ave. - Phase II
city of eastvale, california Building 3

North Elevation



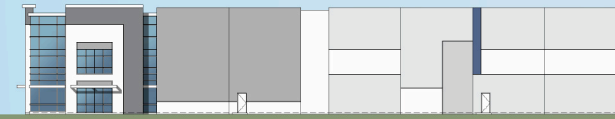
West Elevation



South Elevation - Limonite Avenue

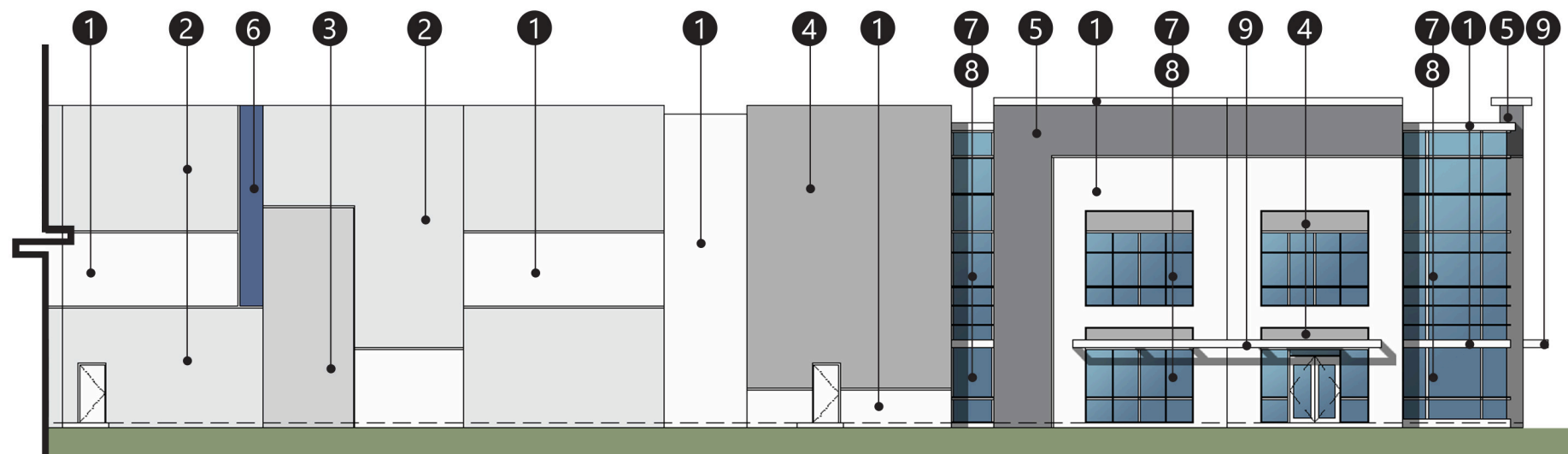


East Elevation - Archibald Avenue



MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
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- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of South Elevation



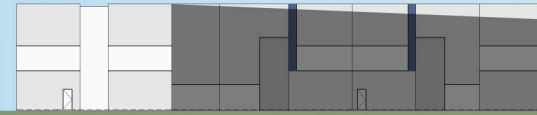
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06.26.2019

Limonite Ave.
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Archibald Ave. - Phase II
 city of eastvale, california **Building 4**

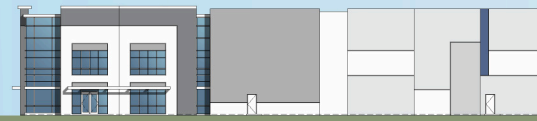
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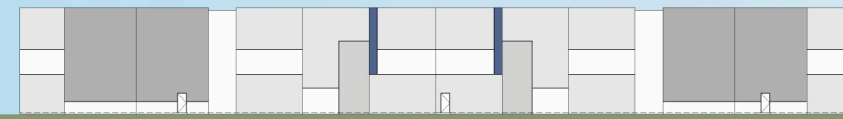
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South Elevation - Limonite Avenue

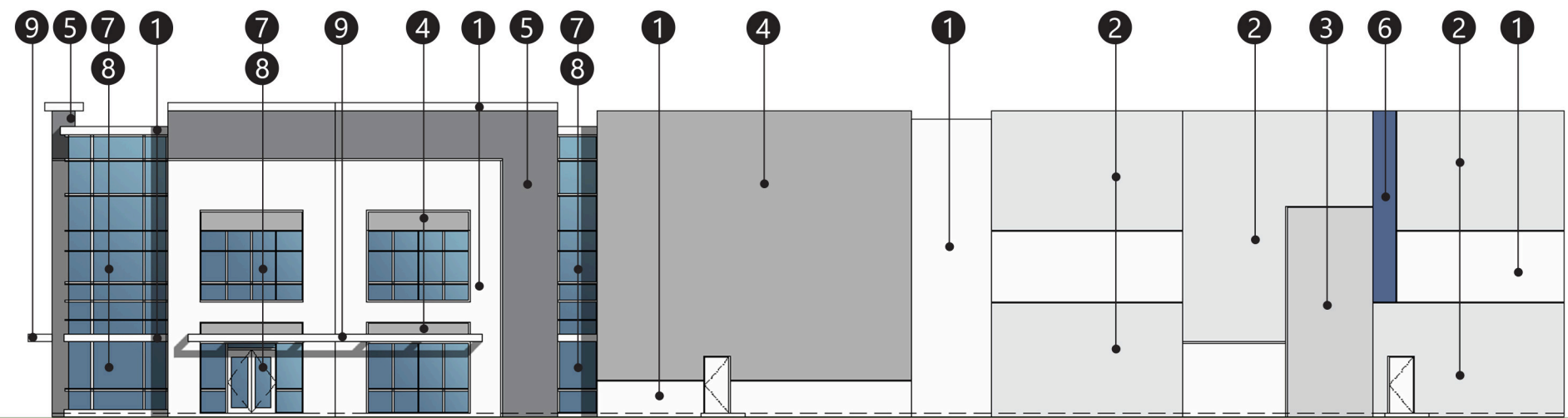


East Elevation - Archibald Avenue



MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
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- ⑦ Blue Reflective GLAZING
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Enlarged View of South Elevation



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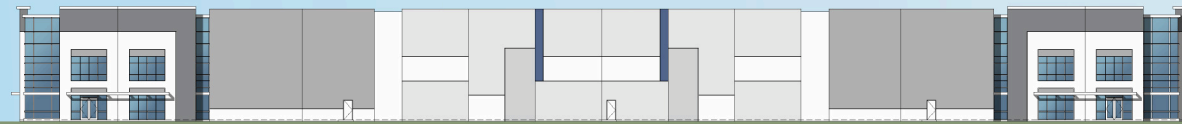


Job No. 18440.00

06.26.2019

Limonite Ave.
and
Archibald Ave. - Phase II
city of eastvale, california Building 5

North Elevation



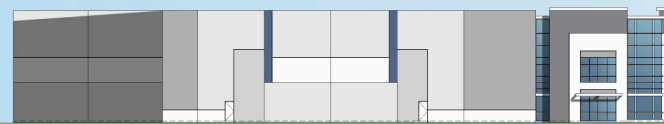
West Elevation



South Elevation - Limonite Avenue

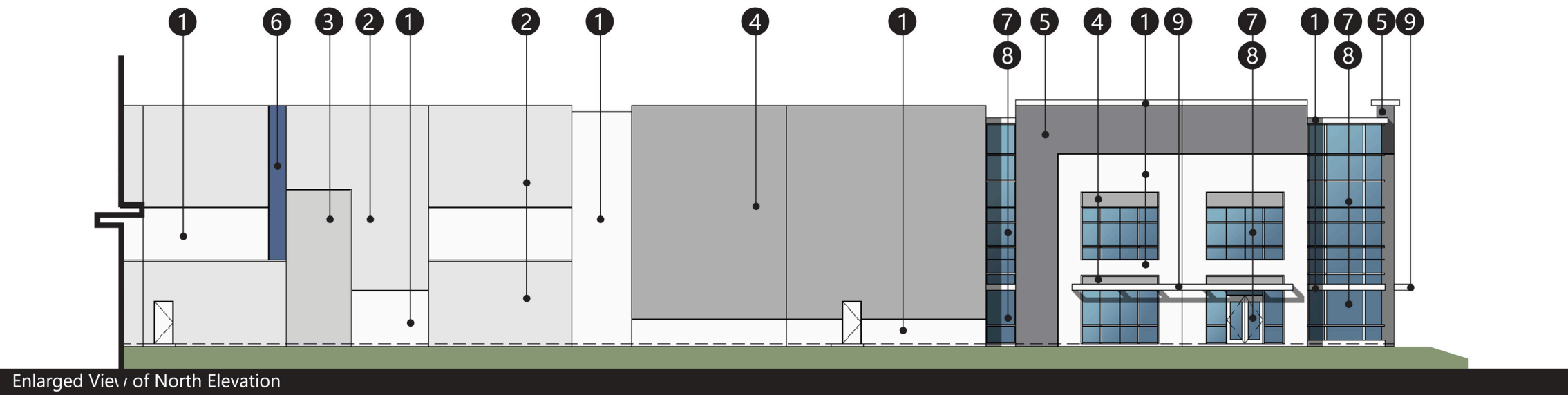


East Elevation - Archibald Avenue



MATERIALS

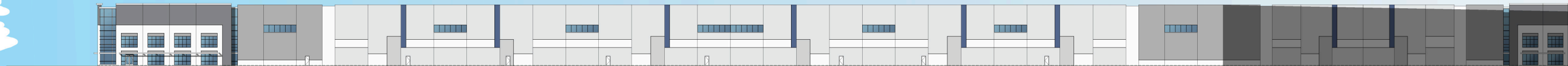
- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
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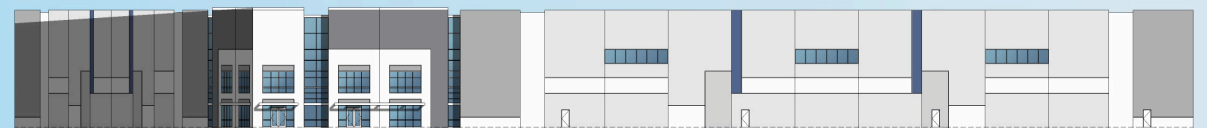
Enlarged View of North Elevation



Limonite Ave.
 and
Archibald Ave. - Phase II
 city of eastvale, california **Building 6**



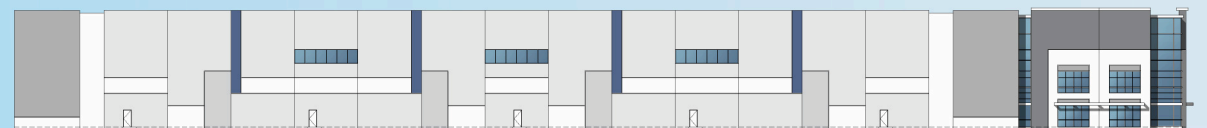
North Elevation



West Elevation



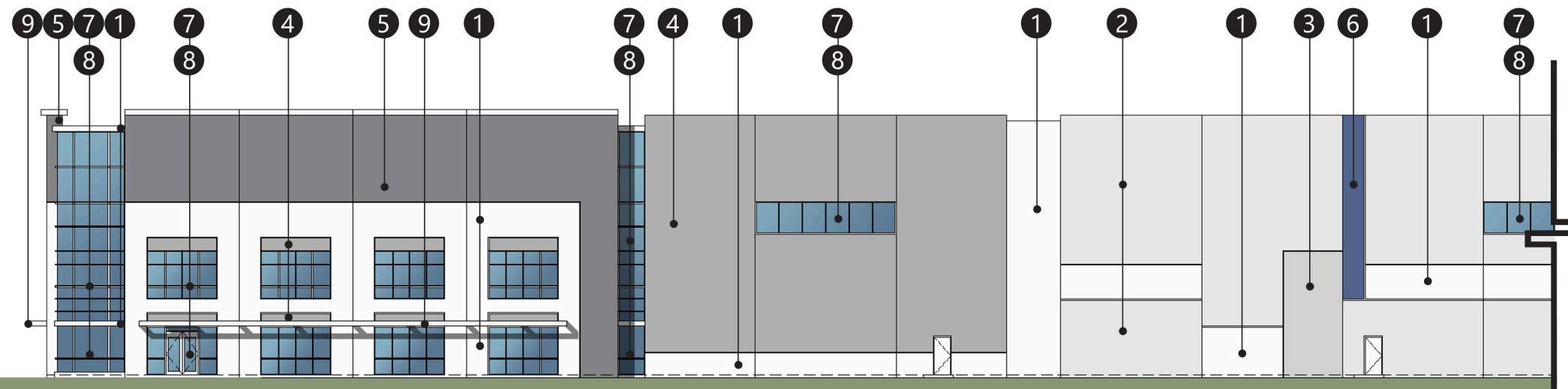
South Elevation - Limonite Avenue



East Elevation - Archibald Avenue

MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
- ⑥ Sherwin Williams SW 7602 Indigo Batik
- ⑦ Blue Reflected GLAZING
- ⑧ Clear Anodized MULLIONS
- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY

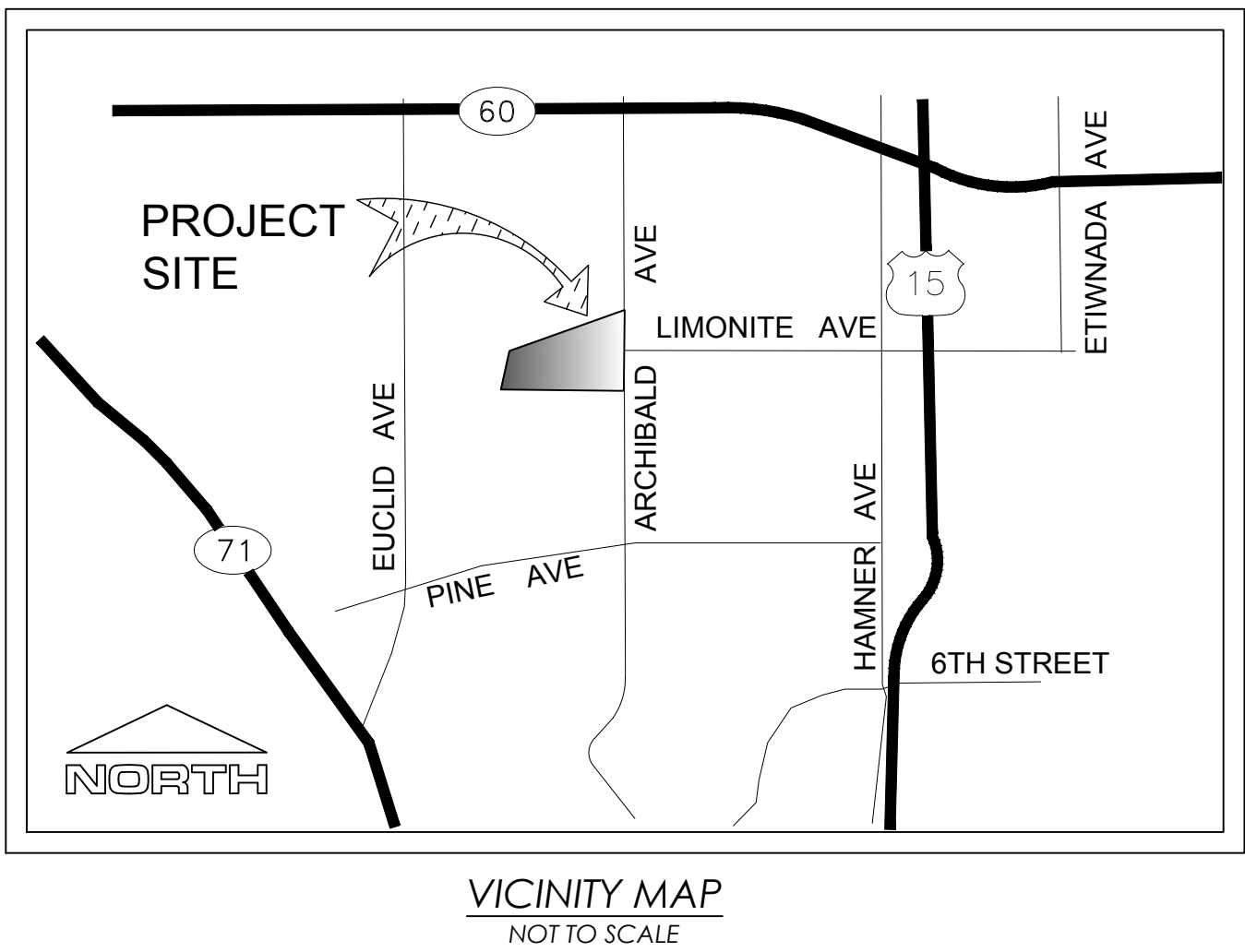


Enlarged View of North Elevation



Limonite Ave.
 and
 Archibald Ave. - Phase II
 city of eastvale, california Building 7

Attachment 1 - ALTA Survey



SITE ADDRESS:
EASTVALE, CA
ASSESSOR'S PARCEL NUMBER:
144-010-015, 144-010-018, 144-010-020,
144-010-023, 144-010-024 & 144-010-032.

GROSS LAND AREA:
NET LAND AREA: 2,438.038 SQ. FT. / 55.970 AC.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 83, ZONE 6, NAD 83, EPOCH 2010.00, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS OPERATING REFERENCE STATIONS (CORS) "CHURCH" AND "EVPP" BEING NORTH 14°26'55" EAST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE NATIONAL GEODETIC SURVEY (NGS) FOR SAID EPOCH, AND MEETS ALL THE REQUIREMENTS OF THE CALIFORNIA PUBLIC RESOURCES CODE.

CNPP:
LATITUDE = 33°51'27.46401", LONGITUDE = 117°36'32.06274"
NORTHING = 2258381.9970, EASTING = 6149110.9586

EWPP:
LATITUDE = 34°06'15.10133", LONGITUDE = 117°31'32.05857"
NORTHING = 2347786.7843, EASTING = 6175507.2112

"POINT A" IS KIMLEY-HORN SURVEY POINT 1002, BEING A 2" SQ. CONC. MONUMENT WITH NAIL IN WELL AT ARCHIBALD AVENUE AND LIMONITE AVENUE.

POINT A
NORTHING = 2301145.7050, EASTING = 6154437.0090
THE COMBINED GRID FACTOR AT "POINT A" IS 0.9999910120. LOCAL GRID COORDINATES ARE BASED ABOUT "POINT A" USING AN ELEVATION OF 644' NGVD 29. ALL DISTANCES SHOWN HEREON ARE GROUND. GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR.

BENCHMARK:
RIVERSIDE COUNTY BENCHMARK NO: M.L. 34-1-64
A 3" ALUMINUM DISK SET IN THE TOP OF CURB STAMPED "M.L. 34-1 REST" AT THE NE CORNER OF THE "T" INTERSECTION OF ORANGE STREET AND SUMNER AVENUE, 84.0 FEET EASTERLY AND 22.0 FEET SOUTHERLY OF THE CENTERLINE INTERSECTION OF SUMNER AVENUE AND ORANGE STREET. TOP OF CURB 10 FEET EASTERLY OF THE SOUTHEAST ECR.
ELEV = 607.06 NGVD 29

UTILITY INFORMATION:
STORM: RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT (951) 955-1230
SEWER: JURUPA COMMUNITY SERVICES DISTRICT (951) 685-7434
TELECOMM: AT&T (510) 645-2929
WATER: JURUPA COMMUNITY SERVICES DISTRICT (951) 685-7434
ELECTRIC: SOUTHERN CALIFORNIA EDISON (800) 655-4555
GAS: SOUTHERN CALIFORNIA GAS (800) 427-2200

FLOOD NOTE:
THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" - AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. MAP NUMBER 06065C0676G WHICH BEARS NO EFFECTIVE DATE.

SOURCE OF TOPOGRAPHY
BY PHOTOGRAMMETRIC METHODS FLOW ON 2/7/2019 BY PHOTOGEODETIC CORP. GROUND CONTROL BY KIMLEY-HORN AND ASSOCIATES, INC. SUPPLEMENTED BY ONSITE SURVEY METHODS PERFORMED BY KIMLEY-HORN AND ASSOCIATES, INC.

GENERAL NOTES:
1. THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
2. THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.
3. THERE IS NO VISIBLE EVIDENCE OF USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LAND FILL ON SUBJECT PROPERTY.
4. THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTHMOVING WORK OR BUILDING CONSTRUCTION ON SUBJECT PROPERTY.
5. ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.
6. THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE COMMITMENT.
7. UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

SURVEYOR'S CERTIFICATE
TO: FIRST AMERICAN TITLE INSURANCE COMPANY; ORBIS REAL ESTATE PARTNERS, L.L.C., AND THEIR SUBSIDIARIES, AFFILIATES, SUCCESSORS AND ASSIGNEES.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 3, 6(a), 7(c), 8, 11, 13, 16, AND 20 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 6, 2019.



MICHAEL J. KNIFTON P.L.S. NO. 8012 DATE 3/7/2019 DATE OF LAST REVISION: 3/7/2019

EASEMENTS/EXCEPTIONS/ENCUMBRANCES

SEE TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-929239-0NT1, DATED OCTOBER 30, 2018 ITEMS LISTED BELOW ARE SHOWN IN THE TITLE COMMITMENT AND PLOTTABLE ITEMS ARE DENOTED THUS: [] WITH LOCATIONS KEYS THE SAME HEREON.

16. MUTUAL RIGHTS OF WAY RESERVED TO THE STEARNS RANCHO COMPANY AND THE JURUPA LAND AND WATER COMPANY, THEIR SUCCESSORS OR ASSIGNS, FOR DITCHES, CANALS OR PIPELINES AS MAY BE DEEMED NECESSARY OR PROPER BY SAID PARTIES FOR THE PROPER IRRIGATION OF ANY OTHER LANDS IN THE JURUPA RANCHO, OR FOR THE SURVEYING OF THE MAIN CANAL WITH WATER, PROVIDED, HOWEVER, THAT SUCH DITCHES SHALL WHEN PRACTICABLE FOLLOW THE LINE OF THE SURVEYED SUBDIVISIONS OF THE JURUPA RANCHO, RECORDED IN BOOK 104, PAGE 322 OF DEEDS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, AND BY DEEDS RECORDED JULY 24, 1897 IN BOOK 31, PAGE 337, MARCH 2, 1899 IN BOOK 69, PAGE 250, APRIL 10, 1902 IN BOOK 142, PAGE 101, JANUARY 8, 1906 IN BOOK 216, PAGE 4, ALL OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
AFFECTS: SUBJECT PROPERTY; NOT PLOTTABLE OF RECORD.
17. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 4, PAGE 54 OF RECORD OF SURVEYS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE
18. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 4, 1910 IN BOOK 302 OF DEEDS, PAGE 317.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
19. AN EASEMENT IN FAVOR OF CLINTON LUGNBILL FOR PIPELINE OR DITCH AND INCIDENTAL PURPOSES, RECORDED MARCH 5, 1926 IN BOOK 666 OF DEEDS, PAGE 216.
AFFECTS: SUBJECT PROPERTY; NOT PLOTTABLE OF RECORD.
20. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 11, PAGE 42 OF RECORD OF SURVEYS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE
21. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, AS TO AN UNDIVIDED THREE-FOURTHS INTEREST, AND SOUTHERN COUNTIES GAS COMPANY, AS TO AN UNDIVIDED ONE-FOURTH INTEREST FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED APRIL 10, 1950 AS BOOK 1162, PAGE 593 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
22. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED JANUARY 25, 1952 AS BOOK 1336, PAGE 397 OF OFFICIAL RECORDS.
AFFECTS: DOES NOT AFFECT SUBJECT PROPERTY; SEE NOTE NO. 1.
23. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 4, 1969 AS INSTRUMENT NO. 21105 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
24. THE EFFECT OF A RESOLUTION EXECUTED BY THE RIVERSIDE COUNTY BOARD OF SUPERVISORS ESTABLISHING THE MIRA LOMA AGRICULTURAL PRESERVE NO. 3 AMENDMENT NO. 1, RECORDED OCTOBER 8, 1969 AS INSTRUMENT NO. 103173 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
25. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 115, PAGES 37-50 OF RECORD OF SURVEYS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
26. TERMS, PROVISIONS, COVENANTS, RESTRICTIONS AND CONDITIONS CONTAINED IN A DOCUMENT EXECUTED PURSUANT TO THE CALIFORNIA LAND CONSERVATION ACT OF 1965 (WILLIAMSON ACT) AND RECORDED FEBRUARY 26, 1971 AS INSTRUMENT NO. 19468 OF OFFICIAL RECORDS.
THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF NONRENEWAL" RECORDED FEBRUARY 17, 2006 AS INSTRUMENT NO. 2006-0119241 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
27. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE JURUPA VALLEY REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1996 AS INSTRUMENT NO. 256410 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
28. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 4, 1996 AS INSTRUMENT NO. 38202 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
29. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 16, 2006 AS INSTRUMENT NO. 2006-0602841 OF OFFICIAL RECORDS.
AFFECTS: AS DESCRIBED THEREIN

NOTES CORRESPONDING TO EASEMENTS/EXCEPTIONS/ENCUMBRANCES

1. ITEM NO. 22 REFERS TO AN EASEMENT WHICH ITS POINT OF BEGINNING IS APPROXIMATELY 490' SOUTHERLY OF THE TRUE POINT OF BEGINNING OF PARCEL 1 AND EXTENDS SOUTHEASTERLY. EASEMENT LIES OUTSIDE OF PROPERTY.

REFERENCES

- R1 R.O.S. 115/37-50
- R2 PARCEL MAP NO. 35865, P.M.B. 240/90-95, DOC. NO. 2018-0325377, REC. 8/14/2018 O.R.
- R3 PARCEL MAP NO. 33036, P.M.B. 217/57-58
- R4 TRACT NO. 36423, M.B. 440/59-59
- R5 DOC. NO. 2009-0265837, REC. 5/27/2009, O.R.
- R6 R.O.S. 34/81

MONUMENT NOTES

- M1 FD 3/4" IP MKD "RCFC" WCD" PER R1, ACCEPTED AS POINT ON FLOOD CONTROL R/W.

ZONING INFORMATION

ZONE: A-2, HEAVY AGRICULTURE
ALL SITE RESTRICTIONS WERE OBTAINED FROM THE CITY OF EASTVALE ZONING CODE ADOPTED JUNE, 2018 AND ACCESSED ON MARCH 4, 2019; NO ZONING REPORT HAS BEEN PROVIDED TO THE SURVEYOR.

ZONE - A-2	
CURRENT SETBACK INFORMATION	
LOT SIZE (MIN)	20,000 SQ. FT.
LOT WIDTH (FRONTAGE) (MIN)	100'
DEPTH (MIN)	150'
MINIMUM SETBACKS	
FRONT (MIN)	20'
SIDE (INTERIOR) (MIN)	10'
SIDE (STREET) (MIN)	10'
REAR SETBACK (MIN)	10'
BUILDING HEIGHT*	40'

*THERE EXISTS BUILDING HEIGHT EXCEPTIONS STATED IN SECTION 5.1 OF STATED ZONING CODE. REFER TO CITY OF EASTVALE ZONING CODE FOR ADDITIONAL INFORMATION.

STATEMENT OF ENCROACHMENTS

- (A) GUY WIRE FALLS 2.7' OUTSIDE OF EASEMENT
- (B) TRAFFIC EQUIPMENT LIES ON PROPERTY LINE AND TRAFFIC SIGNAL LIES 1.8' INSIDE PROPERTY LINE.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF EASTVALE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
ALL THAT PORTION OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 27 AND THE FRACTIONAL SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY SECTIONALIZED SURVEY OF THE JURUPA RANCHO ON FILE IN BOOK 9, PAGE 33 OF MAPS RECORDS OF THE COUNTY OF SAN BERNARDINO, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27; THENCE NORTH 00° 15' WEST ALONG THE EAST LINE OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27, A DISTANCE OF 1827.79 FEET TO A POINT THEREON FOR THE TRUE POINT OF BEGINNING; THENCE SOUTH 89° 45' 10" WEST AND PARALLEL WITH THE SOUTH LINE OF SAID FRACTIONAL NORTHEAST QUARTER A DISTANCE OF 2378.41 FEET, MORE OR LESS, TO A POINT ON THE EASTERLY LINE OF THAT CERTAIN PARCEL OF LAND CONVEYED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED IN BOOK 738, PAGE 334, OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID POINT BEING ON A CURVE IN SAID EASTERLY LINE, CONCAVE TO THE EAST, HAVING A RADIUS OF 8900.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 79° 45' 39" EAST; THENCE NORTHERLY ALONG SAID CURVE, TO THE RIGHT THROUGH A CENTRAL ANGLE OF 03° 22' 19"; AN ARC DISTANCE OF 523.78 FEET TO THE END THEREOF, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 76° 23'00" EAST; THENCE NORTH 13° 36' 40" EAST ALONG THE EASTERLY LINE OF THE PARCEL CONVEYED AS AFORESAID, A DISTANCE OF 244.14 FEET, MORE OR LESS, TO A POINT ON THE NORTHERLY BOUNDARY LINE OF THE JURUPA RANCHO AS SHOWN ON SAID MAP; SAID POINT ALSO BEING ON THE NORTHERLY LINE OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27, DISTANT THEREON NORTH 69° 02' EAST, 457.89 FEET FROM THE NORTHWEST CORNER OF SAID FRACTIONAL NORTHEAST QUARTER; THENCE NORTH 69° 02' EAST ALONG SAID NORTHERLY BOUNDARY LINE OF THE JURUPA RANCHO AND ALONG THE NORTHERLY LINES OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27 AND SAID FRACTIONAL SOUTHEAST QUARTER OF SECTION 22, A DISTANCE OF 2384.37 FEET TO A POINT ON THE EASTERLY LINE OF SAID FRACTIONAL SOUTHEAST QUARTER OF SAID SECTION 22; THENCE SOUTH 00° 06' EAST ALONG SAID EASTERLY LINE OF SAID FRACTIONAL SOUTHEAST QUARTER OF SECTION 22, A DISTANCE OF 774.25 FEET TO THE SOUTHEAST CORNER THEREOF; SAID POINT BEING THE NORTHEAST CORNER OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27; THENCE SOUTH 00° 15' EAST ALONG THE EAST LINE OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27, A DISTANCE OF 811.21 FEET TO THE TRUE POINT OF BEGINNING.

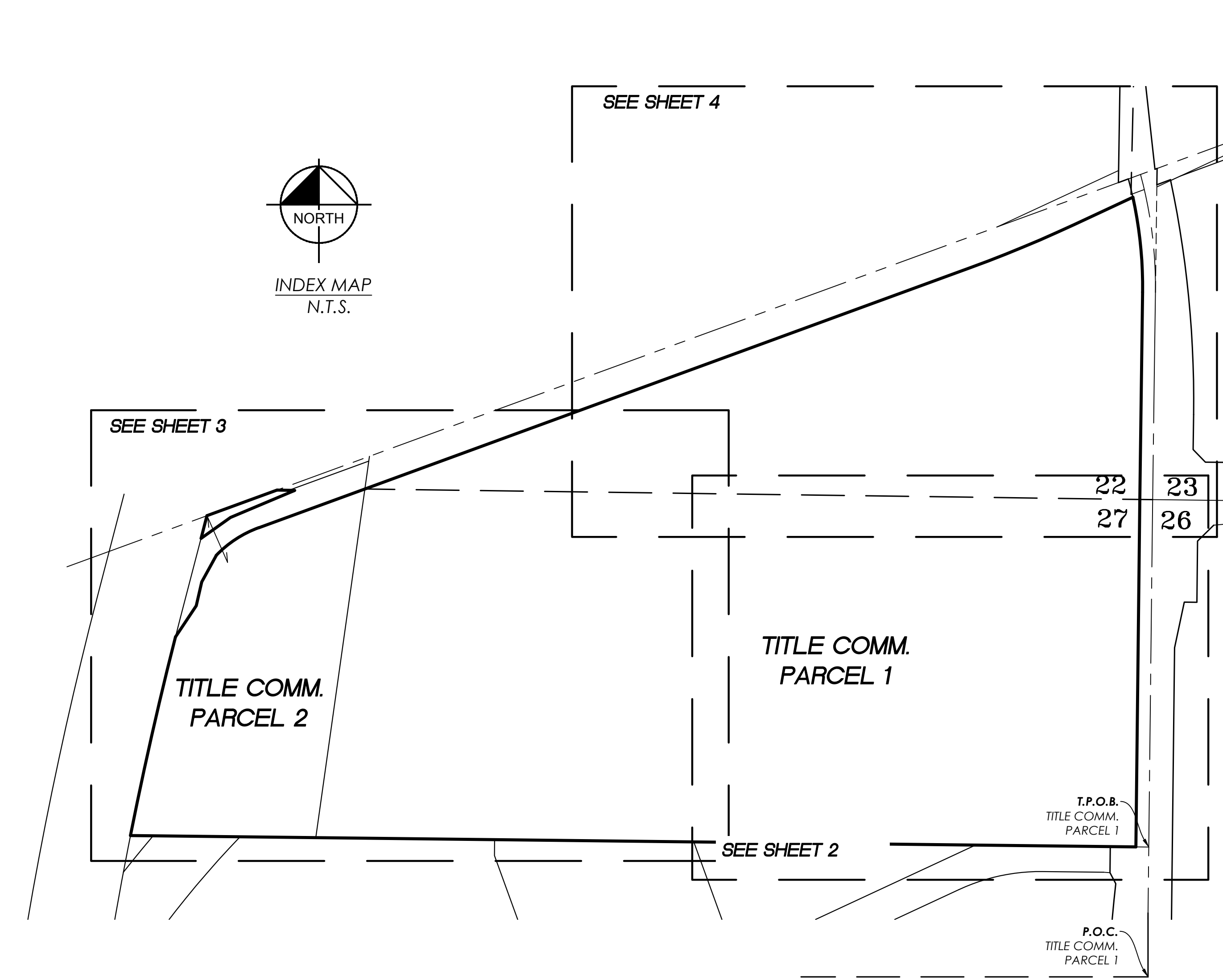
EXCEPTING THEREFROM THAT PORTION OF GOVERNMENT LOTS 5 AND 8 IN FRACTIONAL SECTION 22, TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED IN A DEED TO OSCAR K. IMBACH, ET. UX., RECORDED JUNE 10, 1944 IN BOOK 1683, PAGE 350, OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, AND THAT PORTION OF THE FRACTIONAL SOUTHEAST ONE-QUARTER OF SAID SECTION 22 AND THE FRACTIONAL NORTHEAST ONE-QUARTER OF SECTION 27 IN SAID TOWNSHIP 2 SOUTH, RANGE 7 WEST, DESCRIBED IN A DEED TO OSCAR K. IMBACH, ET. UX., RECORDED JANUARY 22, 1959 AS INSTRUMENT NO. 5716 OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, LYING WESTERLY OF A LINE PARALLEL WITH AND DISTANT EASTERLY, 230.00 FEET, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED SURVEYED REFERENCE LINE:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF THE FRACTIONAL SOUTHEAST ONE-QUARTER OF SAID SECTION 22, SAID POINT BEING SOUTH 88° 54' 26" EAST, 959.04 FEET, MEASURED ALONG SAID NORTHERLY LINE FROM A FOUND SAN BERNARDINO COUNTY SURVEYOR'S NAIL AND FLASH SET AT THE CENTER ONE-QUARTER CORNER OF SAID SECTION 22, SAID POINT ALSO BEING NORTH 88° 54' 26" WEST, 1672.94 FEET, MEASURED ALONG SAID NORTHERLY LINE FROM A FOUND SAN BERNARDINO COUNTY SURVEYOR'S MONUMENT SET AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 27; SAID POINT BEING SOUTH 89° 21' 30" EAST, 112.29 FEET, MEASURED ALONG SAID SOUTHERLY LINE FROM A FOUND 2 INCH IRON PIPE SET AT THE SOUTHWEST CORNER OF THE LAND SHOWN AS "PARCEL 2" ON THAT CERTAIN RECORD SURVEY RECORDED IN BOOK 34, PAGE 81, OF RECORDS OF SURVEY IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY, SAID POINT ALSO BEING NORTH 89° 21' 30" WEST, 2414.61 FEET, MEASURED ALONG SAID SOUTHERLY LINE FROM A FOUND RIVERSIDE COUNTY SURVEYOR'S MONUMENT, IN WELL, SET AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 27.

ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO SOUTHERN CALIFORNIA EDISON COMPANY BY DEEDS RECORDED DECEMBER 20, 1974 AS INSTRUMENT NOS. 160887 AND 160889, WHICH WAS ALSO RE-RECORDED ON MARCH 20, 1975 AS INSTRUMENT NO. 31976, AND TO SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT BY DEED RECORDED OCTOBER 13, 1976 AS INSTRUMENT NO. 153846, ALL OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

ALSO EXCEPTING THEREFROM THE EASTERLY 30.00 FEET LYING WITHIN ARCHIBALD AVENUE.

ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT UNDER A CORRECTED FINAL ORDER OF CONDEMNATION RECORDED ON OCTOBER 29, 2008 AS INSTRUMENT NO. 2008-0594927 IN THE OFFICIAL RECORDS OF RIVERSIDE COUNTY.



Kimley»Horn

401 B STREET, SUITE 400, SAN DIEGO, CA 92101
 PHONE: 619-234-9411
 WWW.KIMLEY-HORN.COM

ALTA/NSPS LAND TITLE SURVEY

PORTIONS OF N.E. 1/4 SECTION 27 AND S.E. 1/4 SECTION 22
 TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN
 CITY OF EASTVALE, RIVERSIDE COUNTY, CALIFORNIA

NO.	DATE	REVISIONS

SCALE: 1" = 40'

DESIGNED BY: R.A.S.

DRAWN BY: R.A.S.

CHECKED BY: M.J.K.

DATE: 2/20/2019

PROJECT NO.: 194121001

SHEET 1 OF 4 SHEETS

T.P.O.B. TITLE COMM. PARCEL 1

P.O.C. TITLE COMM. PARCEL 1

SEE SHEET 4

SEE SHEET 4

SEE SHEET 3

SEE SHEET 3

SECTION 22

SECTION 27

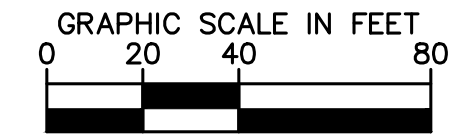
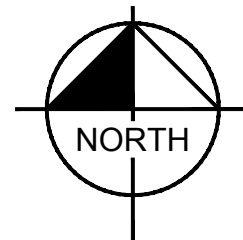
TITLE COMMITMENT
PARCEL 1

PARCEL MAP NO. 35865 P.M.B. 240, 90-95

PRIVATE STREET

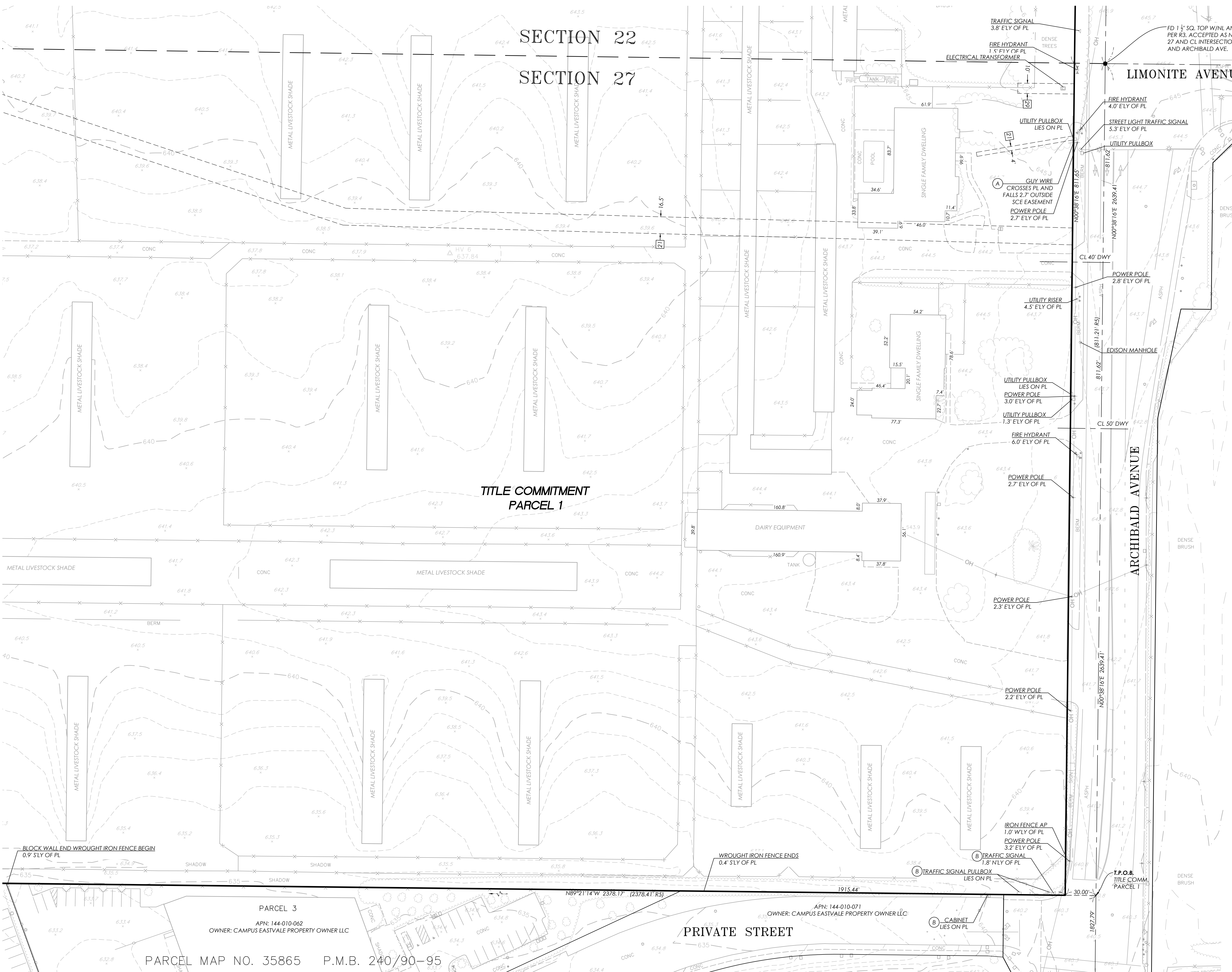
LIMONITE AVENUE

ARCHIBALD AVENUE



LEGEND AND ABBREVIATIONS:

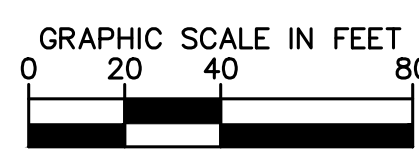
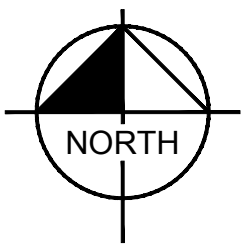
SYMBOL	DESCRIPTION
---	SUBJECT PROPERTY
---	LOT LINE
---	RIGHT OF WAY LINE
---	CENTERLINE
---	EASEMENT LINES
---	EDGE OF PAVEMENT
---	OVERHEAD ELECTRIC LINE
---	CENTERLINE
---	FOUND MONUMENT AS NOTED
---	ESTABLISHED BY INTERSECTION
---	SEARCHED FOUND NOTHING
---	FOUND
---	MONUMENT
---	ESTAB
---	ILLEG
---	COR.
---	INT.
---	DIST
---	PL
---	RECD
---	PB
---	MISC
---	SLPB
---	SL
---	WM
---	WV
---	FH
---	SMH
---	SDMH
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---	+
---	ASPH
---	CONC
---	DWY
---	OH
---	OR CL
---	①
---	SFN
---	FD
---	MON
---	ESTAB
---	ILLEG
---	COR.
---	INT.
---	DIST
---	PL
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---	ASPH
---	CONC
---	DWY



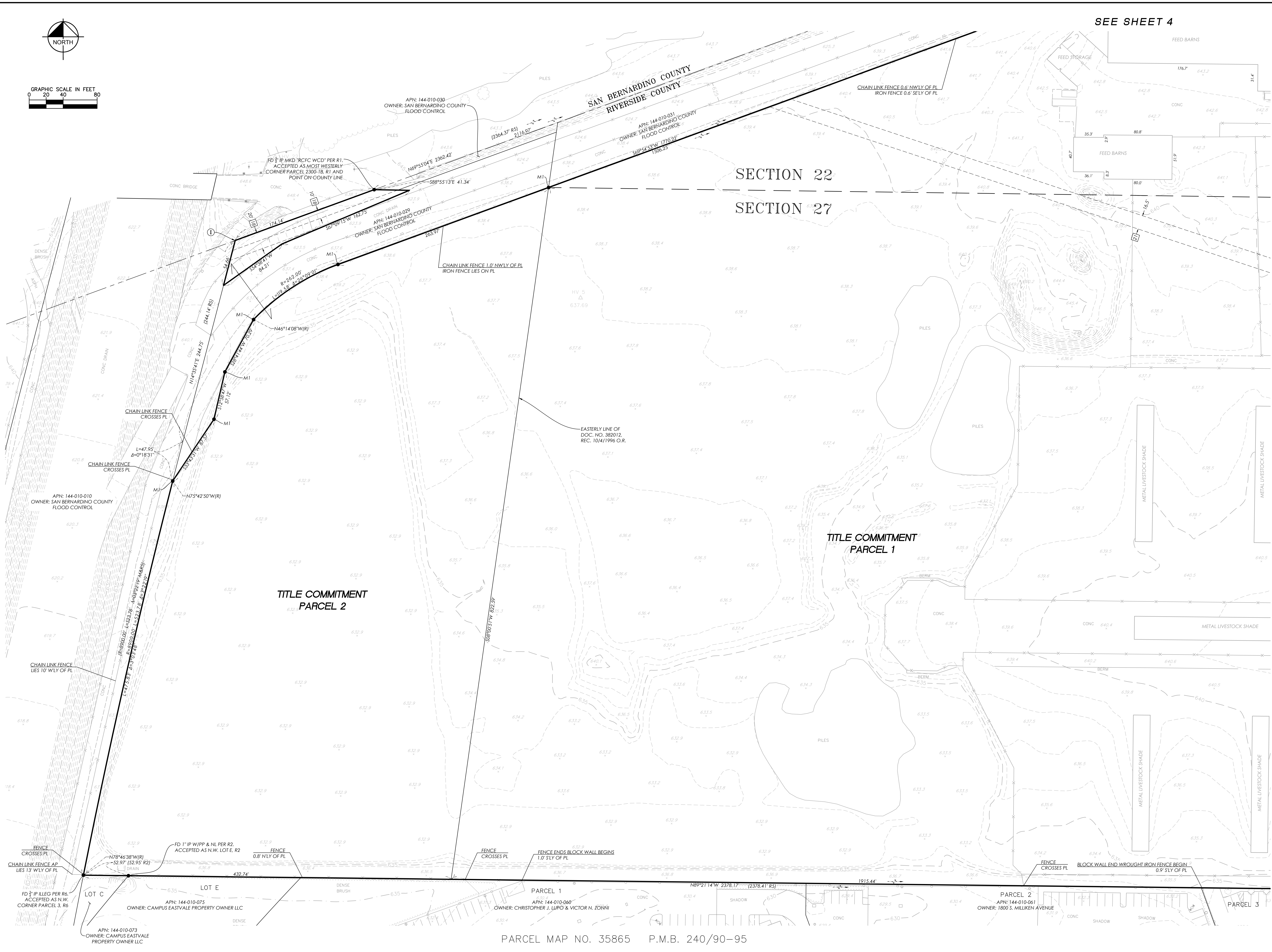
Kimley»Horn
401 B STREET, SUITE 600, SAN DIEGO, CA 92101
PHONE: 619-234-8411
WWW.KIMLEY-HORN.COM

ALTA/NSPS LAND TITLE SURVEY
PORTIONS OF N.E. 1/4 SECTION 27 AND S.E. 1/4 SECTION 22
TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN
CITY OF EASTVALE, RIVERSIDE COUNTY, CALIFORNIA

SCALE: 1" = 40'
DESIGNED BY: R.A.S.
DRAWN BY: R.A.S.
CHECKED BY: M.J.K.
DATE: 2/20/2019
PROJECT NO. 194121001



SEE SHEET 4



SEE SHEET 2

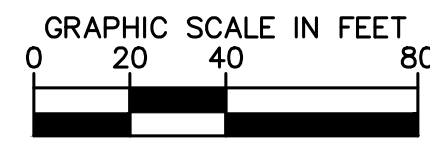
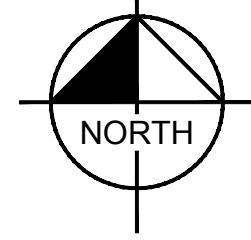
SEE SHEET 2

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ALTA/NSPS LAND TITLE SURVEY
PORTIONS OF N.E. 1/4 SECTION 27 AND S.E. 1/4 SECTION 22
TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN
CITY OF EASTVALE, RIVERSIDE COUNTY, CALIFORNIA

NO.	DATE	REVISIONS	BY

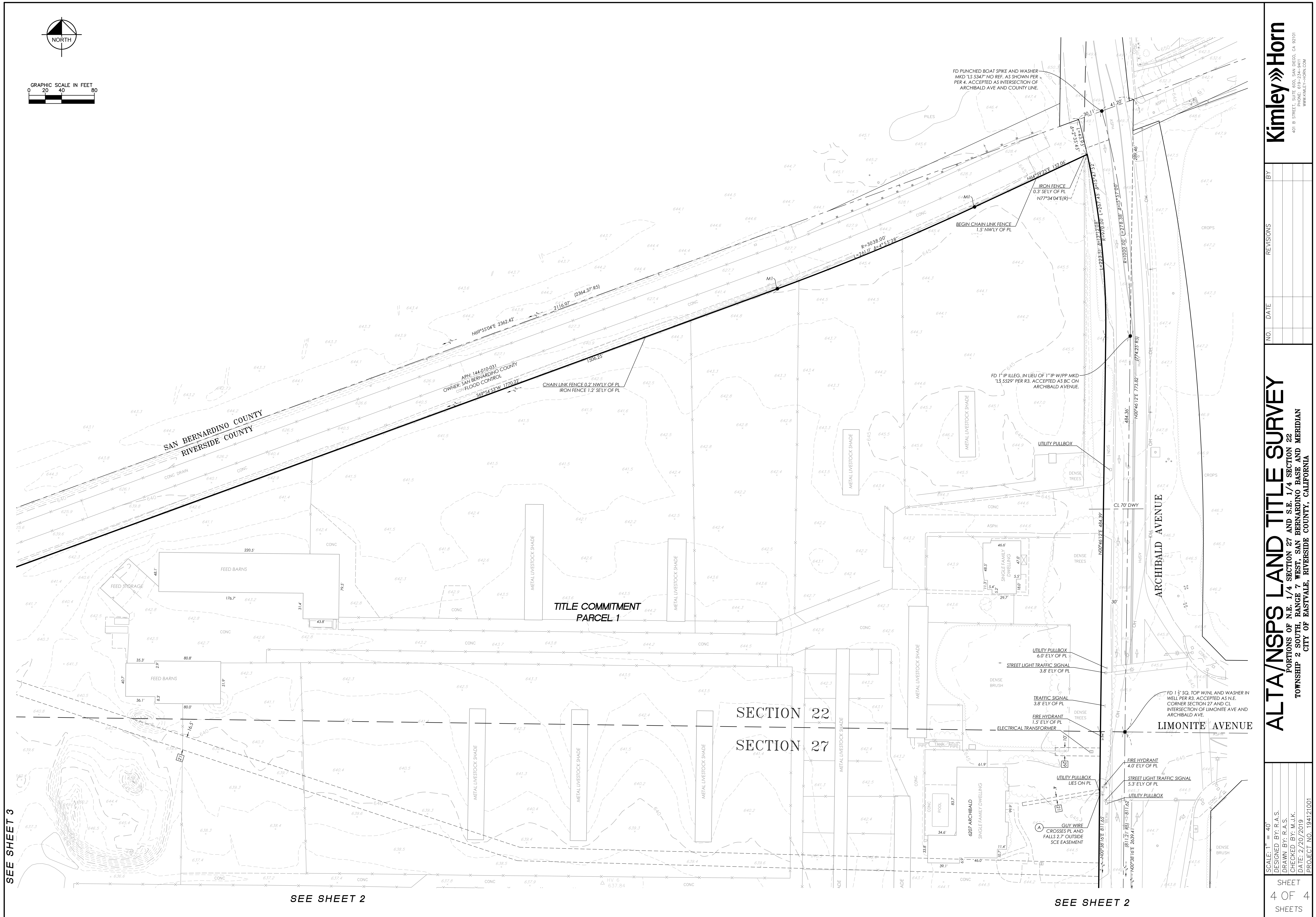
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DRAWN BY: R.A.S.
CHECKED BY: M.J.K.
DATE: 2/20/2019
PROJECT NO. 194121001



SEE SHEET 3

SEE SHEET 2

SEE SHEET 2



ALTA/NSPS LAND TITLE SURVEY
PORTIONS OF N.E. 1/4 SECTION 27 AND S.E. 1/4 SECTION 22
TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN
CITY OF EASTVALE, RIVERSIDE COUNTY, CALIFORNIA

Kimley»Horn
401 B STREET, SUITE 600, SAN DIEGO, CA 92101
PHONE: 619-234-8411
WWW.KIMLEY-HORN.COM

NO.	DATE	REVISIONS	BY

SCALE: 1" = 40'
DESIGNED BY: R.A.S.
DRAWN BY: R.A.S.
CHECKED BY: M.J.K.
DATE: 2/20/2019
PROJECT NO. 194121001

SHEET
4 OF 4
SHEETS

TENTATIVE PARCEL MAP #37771

FOR

THE HOMESTEAD EASTVALE, CA

PROJECT TEAM

OWNER / DEVELOPER
GRANT ROSS
THE HOMESTEAD, LLC
280 NEWPORT CENTER DRIVE,
SUITE 240
NEWPORT BEACH, CA 92660
(949) 330-7564

CIVIL ENGINEER
BRIAN R. GILLIS, PE
KIMLEY-HORN AND ASSOCIATES, INC.
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HPA
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GEOTECHNICAL CONSULTANT
CHET ROBINSON, PE, GE
GEOCON WEST, INC.
41571 CORNING PLACE, SUITE 101
MURRIETA, CA 92562
(951) 304-2300
(951) 304-2392 FAX

SURVEYOR
PETER WEILBACHER
CANYON CONSULTING
199 AVENIDA LA CUESTA
SAN CLEMENTE, CA, 92672
(949) 359-1044
PETERW@CANYON-CONSULTING.COM

LEGAL DESCRIPTION PER TITLE REPORT

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF EASTVALE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
ALL THAT PORTION OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 27 AND THE FRACTIONAL SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY SECTIONALIZED SURVEY OF THE JURUPA RANCHO ON FILE IN BOOK 9, PAGE 33, OF MAPS RECORDS OF THE COUNTY OF SAN BERNARDINO, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27; THENCE NORTH 00° 15' WEST ALONG THE EAST LINE OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27, A DISTANCE OF 1827.79 FEET TO A POINT THEREON FOR THE TRUE POINT OF BEGINNING; THENCE SOUTH 89° 45' 10" WEST AND PARALLEL WITH THE SOUTH LINE OF SAID FRACTIONAL NORTHEAST QUARTER A DISTANCE OF 2378.41 FEET, MORE OR LESS, TO A POINT ON THE EASTERLY LINE OF THAT CERTAIN PARCEL OF LAND CONVEYED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED IN BOOK 736, PAGE 334, OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID POINT BEING ON A CURVE IN SAID EASTERLY LINE, CONCAVE TO THE EAST, HAVING A RADIUS OF 8900.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 79° 45' 39" EAST; THENCE NORTHERLY ALONG SAID CURVE, TO THE RIGHT THROUGH A CENTRAL ANGLE OF 03° 22' 18", AN ARC DISTANCE OF 523.78 FEET TO THE END THEREOF, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 76° 23' 20" EAST; THENCE NORTH 13° 36' 40" EAST ALONG THE EASTERLY LINE OF THE PARCEL CONVEYED AS AFORESAID, A DISTANCE OF 244.14 FEET, MORE OR LESS, TO A POINT ON THE NORTHERLY BOUNDARY LINE OF THE JURUPA RANCHO AS SHOWN ON SAID MAP; SAID POINT ALSO BEING ON THE NORTHERLY LINE OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27, DISTANT THEREON NORTH 69° 02' EAST, 457.89 FEET FROM THE NORTHWEST CORNER OF SAID FRACTIONAL NORTHEAST QUARTER; THENCE NORTH 69° 02' EAST ALONG SAID NORTHERLY BOUNDARY LINE OF THE JURUPA RANCHO AND ALONG THE NORTHERLY LINES OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27 AND SAID FRACTIONAL SOUTHEAST QUARTER OF SECTION 22, A DISTANCE OF 2364.37 FEET TO A POINT ON THE EASTERLY LINE OF SAID FRACTIONAL SOUTHEAST QUARTER OF SAID SECTION 22; THENCE SOUTH 00° 06' EAST ALONG SAID EASTERLY LINE OF SAID FRACTIONAL SOUTHEAST QUARTER OF SECTION 22, A DISTANCE OF 774.25 FEET TO THE SOUTHEAST CORNER THEREOF, SAID POINT BEING THE NORTHEAST CORNER OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27; THENCE SOUTH 00° 15' EAST ALONG THE EAST LINE OF SAID FRACTIONAL NORTHEAST QUARTER OF SECTION 27, A DISTANCE OF 811.21 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF GOVERNMENT LOTS 5 AND 8 IN FRACTIONAL SECTION 22, TOWNSHIP 2 SOUTH, RANGE 7 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED IN A DEED TO OSCAR K. IMBACH, ET. UX., RECORDED JUNE 10, 1944 IN BOOK 1683, PAGE 350, OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, AND THAT PORTION OF THE FRACTIONAL SOUTHEAST ONE-QUARTER OF SAID SECTION 22 AND THE FRACTIONAL NORTHEAST ONE-QUARTER OF SECTION 27 IN SAID TOWNSHIP 2 SOUTH, RANGE 7 WEST, DESCRIBED IN A DEED TO OSCAR K. IMBACH, ET. UX., RECORDED JANUARY 22, 1959 AS INSTRUMENT NO. 5716 OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, LYING WESTERLY OF A LINE PARALLEL WITH AND DISTANT EASTERLY, 230.00 FEET, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED SURVEYED REFERENCE LINE:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF THE FRACTIONAL SOUTHEAST ONE-QUARTER OF SAID SECTION 22, SAID POINT BEING SOUTH 88° 54' 26" EAST, 959.04 FEET, MEASURED ALONG SAID NORTHERLY LINE FROM A FOUND SAN BERNARDINO COUNTY SURVEYOR'S NAIL AND FLASH SET AT THE CENTER ONE-QUARTER CORNER OF SAID SECTION 22, SAID POINT ALSO BEING NORTH 88° 54' 26" WEST, 1672.94 FEET, MEASURED ALONG SAID NORTHERLY LINE FROM A FOUND SAN BERNARDINO COUNTY SURVEYOR'S MONUMENT SET AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 22; THENCE SOUTH 3° 23' 57" WEST, 941.26 FEET; THENCE SOUTH 11° 03' 04" WEST, 1444.72 FEET; THENCE SOUTH 8° 01' 16" WEST, 3020.52 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID FRACTIONAL NORTHEAST ONE-QUARTER OF SECTION 27, SAID POINT BEING SOUTH 89° 21' 30" EAST, 112.29 FEET, MEASURED ALONG SAID SOUTHERLY LINE FROM A FOUND 2 INCH IRON PIPE SET AT THE SOUTHWEST CORNER OF THE LAND SHOWN AS "PARCEL 2" ON THAT CERTAIN RECORD SURVEY RECORDED IN BOOK 34, PAGE 81, OF RECORDS OF SURVEY IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY, SAID POINT ALSO BEING NORTH 89° 21' 30" WEST, 2414.61 FEET, MEASURED ALONG SAID SOUTHERLY LINE FROM A FOUND RIVERSIDE COUNTY SURVEYOR'S MONUMENT, IN WELL, SET AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 27.

ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO SOUTHERN CALIFORNIA EDISON COMPANY BY DEEDS RECORDED DECEMBER 20, 1974 AS INSTRUMENT NOS. 160887 AND 160889, WHICH WAS ALSO RE-RECORDED ON MARCH 20, 1975 AS INSTRUMENT NO. 31976, AND TO SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT BY DEED RECORDED OCTOBER 13, 1976 AS INSTRUMENT NO. 153846, ALL OF THE OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

ALSO EXCEPTING THEREFROM THE EASTERLY 30.00 FEET LYING WITHIN ARCHIBALD AVENUE.

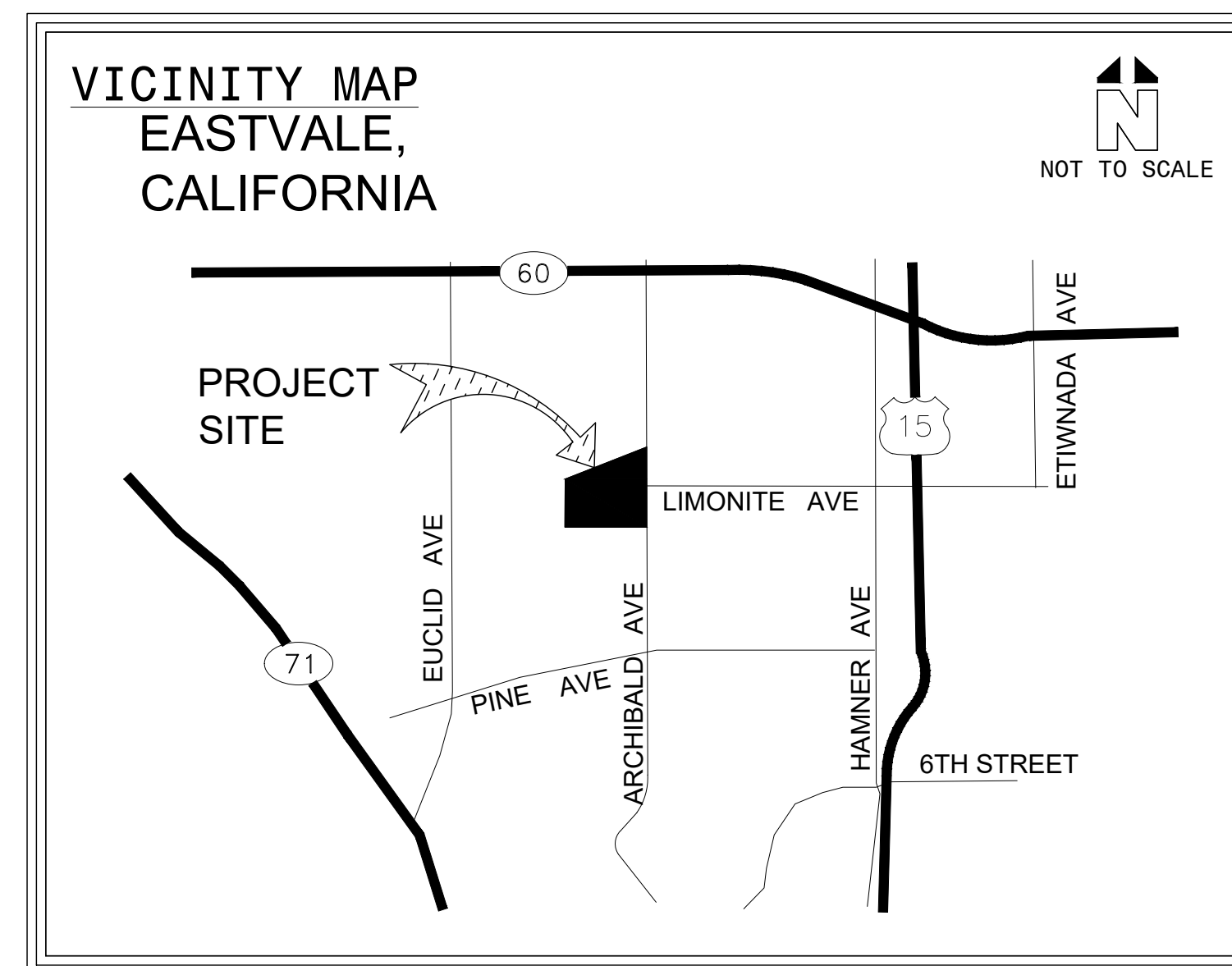
ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT UNDER A CORRECTED FINAL ORDER OF CONDEMNATION RECORDED ON OCTOBER 29, 2008 AS INSTRUMENT NO. 2008-0594927 IN THE OFFICIAL RECORDS OF RIVERSIDE COUNTY.

PARCEL 2:
THAT PORTION OF THE FRACTIONAL NORTHEAST ONE-QUARTER OF SECTION 27 AND THAT PORTION OF THE FRACTIONAL SOUTHEAST ONE-QUARTER OF SECTION 22, ALL IN TOWNSHIP 2 SOUTH, RANGE 7 WEST, AS SHOWN BY SECTIONALIZED SURVEY OF THE JURUPA RANCHO ON FILE IN BOOK 9, PAGE 33 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN BERNARDINO COUNTY, CALIFORNIA, DESCRIBED IN DEED TO KENNETH EARLE IMBACH, ET AL., RECORDED JANUARY 13, 1960 AS INSTRUMENT NO. 3050 OF THE OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, LYING WESTERLY OF A LINE PARALLEL WITH AND DISTANT EASTERLY, 230.00 FEET, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED SURVEYED REFERENCE LINE:

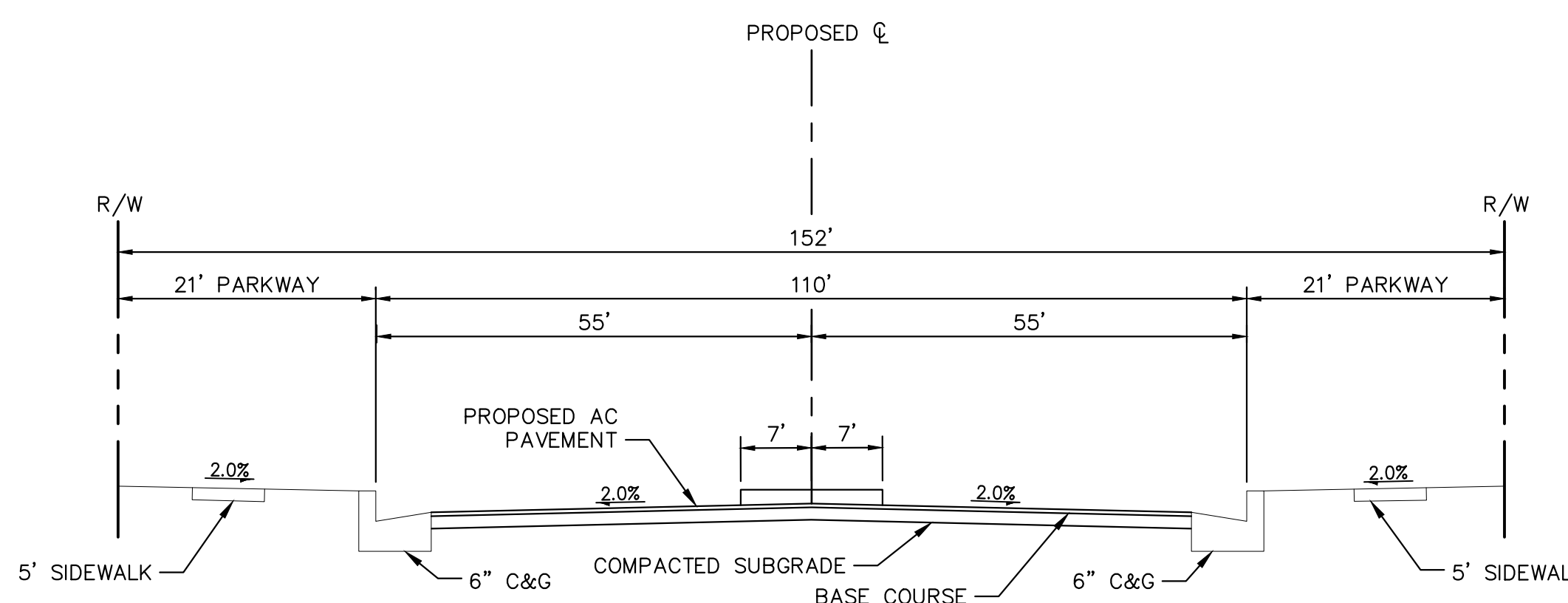
BEGINNING AT A POINT IN THE NORTHERLY LINE OF THE FRACTIONAL SOUTHEAST ONE-QUARTER OF SAID SECTION 22, SAID POINT BEING SOUTH 88° 54' 26" EAST, 959.04 FEET, MEASURED ALONG SAID NORTHERLY LINE FROM A FOUND SAN BERNARDINO COUNTY SURVEYOR'S NAIL AND FLASH SET AT THE CENTER ONE-QUARTER CORNER OF SAID SECTION 22, SAID POINT ALSO BEING NORTH 88° 54' 26" WEST, 1672.94 FEET, MEASURED ALONG SAID NORTHERLY LINE FROM A FOUND SAN BERNARDINO COUNTY SURVEYOR'S MONUMENT SET AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 22; THENCE SOUTH 3° 23' 57" WEST, 941.26 FEET; THENCE SOUTH 11° 03' 04" WEST, 1444.72 FEET; THENCE SOUTH 8° 01' 16" WEST, 3020.52 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID FRACTIONAL NORTHEAST ONE-QUARTER OF SECTION 27, SAID POINT BEING SOUTH 89° 21' 30" EAST, 112.29 FEET, MEASURED ALONG SAID SOUTHERLY LINE FROM A FOUND 2 INCH IRON PIPE SET AT THE SOUTHWEST CORNER OF THE LAND SHOWN AS "PARCEL 2" ON THAT CERTAIN RECORD SURVEY RECORDED IN BOOK 34, PAGE 81, OF RECORDS OF SURVEY IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY, SAID POINT ALSO BEING NORTH 89° 21' 30" WEST, 2414.61 FEET, MEASURED ALONG SAID SOUTHERLY LINE FROM A FOUND RIVERSIDE COUNTY SURVEYOR'S MONUMENT, IN WELL, SET AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 27.

EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT BY DEEDS RECORDED DECEMBER 10, 1976 AS INSTRUMENT NO. 190446 AND APRIL 21, 1986 AS INSTRUMENT NO. 89782 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT UNDER A CORRECTED FINAL ORDER OF CONDEMNATION RECORDED ON OCTOBER 29, 2008 AS INSTRUMENT NO. 2008-0594927 IN THE OFFICIAL RECORDS OF RIVERSIDE COUNTY.

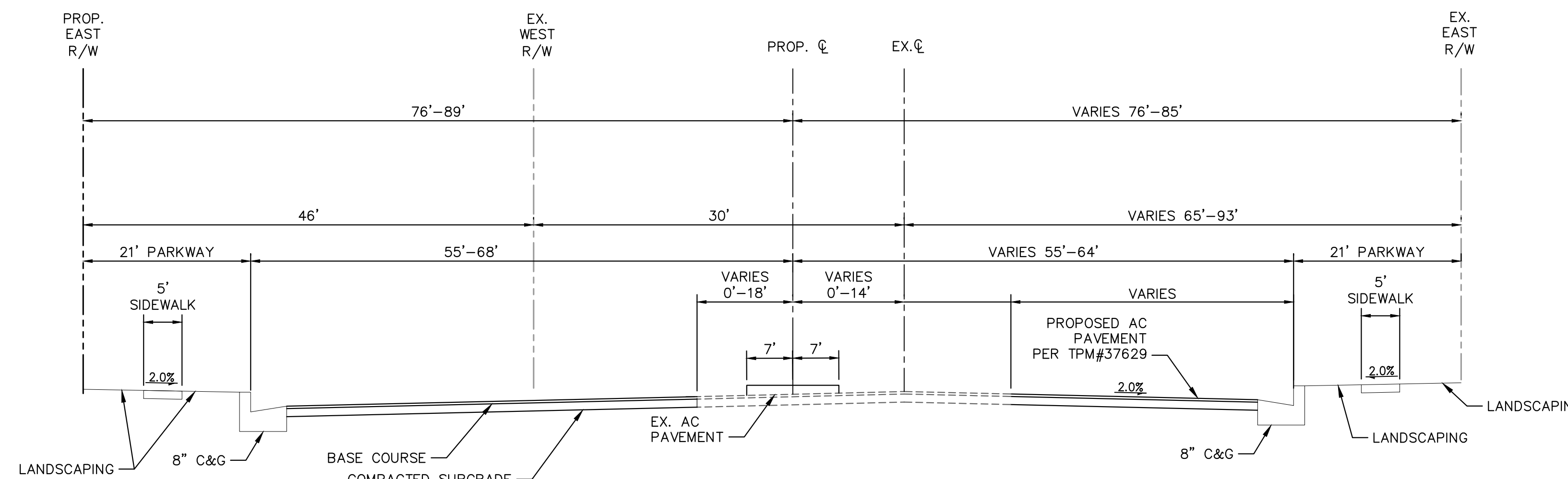


VICINITY MAP
SCALE: NTS
THOMAS GUIDE REF# 683-A5



TYPICAL SECTION
MEDIAN URBAN ARTERIAL HIGHWAY
STD. NO. 91

LIMONITE AVENUE
NOT TO SCALE



TYPICAL SECTION
MODIFIED URBAN ARTERIAL HIGHWAY
STD. NO. 91

ARCHIBALD AVENUE
NOT TO SCALE

ABBREVIATIONS:

R/W	RIGHT OF WAY
BLDG.	BUILDING
SUB.	SUBDIVISION
PROP.	PROPOSED
EX.	EXISTING
CL	CENTERLINE
PL	PROPERTY LINE
AC	ACRES
CONC	CONCRETE

UTILITY PURVEYORS

WATER & SEWER JURUPA COMMUNITY SERVICES DISTRICT 11201 HARREL STREET JURUPA VALLEY, CA 91752 (951) 685-7434	STORM DRAIN RIVERSIDE COUNTY FLOOD CONTROL 1995 MARKET STREET RIVERSIDE, CA 92501 (951) 955-1200
ELECTRICITY SOUTHERN CALIFORNIA EDISON (SCE) 1351 E. FRANCIS STREET IRVINE, CA 91761 (909) 930-8431	CABLE TV AT&T 1265 N. VAN BUREN STREET ANAHEIM, CA 92807 (714) 666-5503
GAS SOUTHERN CALIFORNIA GAS COMPANY 155 S. G STREET SAN BERNARDINO, CA 92410 (909) 758-8691	PHONE VERIZON 1400 EAST PHILLIPS BLVD. POMONA, CA 91766 (909) 469-2260

PARCEL AREA TABLE:

PARCEL NUMBER	AREA (AC)	LAND USE
1	3.21	INDUSTRIAL
2	3.45	INDUSTRIAL
3	1.92	INDUSTRIAL
4	3.68	INDUSTRIAL
5	7.78	INDUSTRIAL
6	4.90	INDUSTRIAL
7	20.53	INDUSTRIAL
NET SUBTOTAL	45.47	
NET DEDICATION	10.39	
GROSS TOTAL	55.86	

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	TENTATIVE PARCEL MAP
3	TENTATIVE PARCEL MAP
4	GRADING AND DRAINAGE PLAN
5	UTILITY PLAN

GEOTECHNICAL REPORT

THE PRELIMINARY GEOTECHNICAL INVESTIGATION AND PERCOLATION TESTING DATED APRIL 19, 2019 PREPARED BY GEOCON WEST INC. AND ALL ADDENDA SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS.

BENCHMARK NOTE

RIVERSIDE COUNTY BENCHMARK NO: M.L. 34-1-64

A 3" ALUMINUM DISK SET IN THE TOP OF CURB STAMPED "M.L. 34-1 REST" AT THE NE CORNER OF THE "T" INTERSECTION OF ORANGE STREET AND SUMNER AVENUE, 84.0 FEET EASTERLY AND 22.0 FEET SOUTHERLY OF THE CENTERLINE INTERSECTION OF SUMNER AVENUE AND ORANGE STREET. TOP OF CURB 10 FEET EASTERLY OF THE SOUTHEAST ECR.

ELEV = 607.06 NGVD 29

BASIS OF BEARINGS NOTE

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 83, ZONE 6, NAD 83, EPOCH 2010.00, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS OPERATING REFERENCE STATIONS (CORS) "CHPP" AND "EWPP" BEING NORTH 16°26'56" EAST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE NATIONAL GEODETIC SURVEY (NGS) FOR SAID EPOCH, AND MEETS ALL THE REQUIREMENTS OF THE CALIFORNIA PUBLIC RESOURCES CODE.

SITE INFORMATION

SITE ADDRESS:	EASTVALE CA, 144-010-015, 144-010-018, 144-010-020
APN:	144-010-023, 144-010-024 & 144-010-032
TOTAL SITE AREA:	55.86 AC
EXISTING ZONING CLASSIFICATION:	A-2 HEAVY AGRICULTURE
PROPOSED ZONING CLASSIFICATION:	I-P INDUSTRIAL PARK
EXISTING USE:	DAIRY FARM
PROPOSED USE:	PROPOSED USE INDUSTRIAL
TOTAL LOTS:	7
PARKING SPACES:	879

ESTIMATED EARTHWORK QUANTITIES

CUT:	94,000 CY
FILL:	61,000 CY
NET:	33,000 CY (CUT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACT, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

Plotted By: Lepore, Michael Sheet Set: kha Layout: 1 COVER SHEET June 27, 2019 04:54:13pm K:\ORLANDO\194121001-the-homestead\CAD\plan sheets\1 COVER SHEET.dwg
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NO.	REVISIONS	DATE	BY

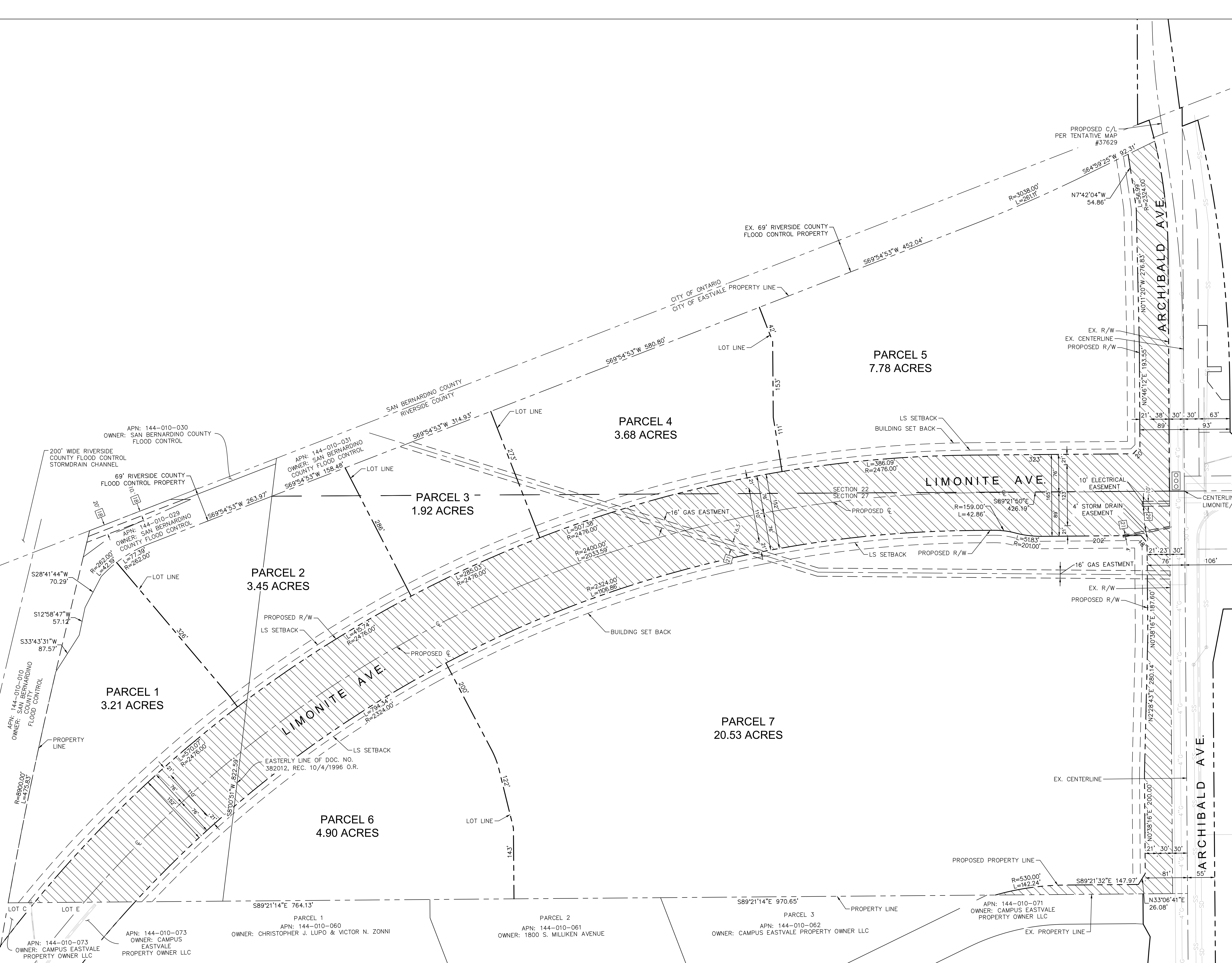
Kimley-Horn
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668
PHONE: 714-939-1030 FAX: 714-938-4488
WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL
KHA PROJECT 194121001
DATE 6/27/2019
SCALE AS SHOWN
DESIGNED BY JML
DRAWN BY JML
CHECKED BY JML
BRIAN GILLIS
CA LICENSE NUMBER 63021
EXP. DATE 6/30/20

COVER SHEET

THE HOMESTEAD
PREPARED FOR
ORBIS REAL ESTATE PARTNERS
EASTVALE

Plotted By: Lepore, Michael Sheet Set: Kta_Layout: 2 TENTATIVE PARCEL MAP June 27, 2019 04:54:20pm K:\ORA_LDEV\1914121001-the_homestead\CAD\plansheets\3 TENTATIVE PARCEL MAP.dwg
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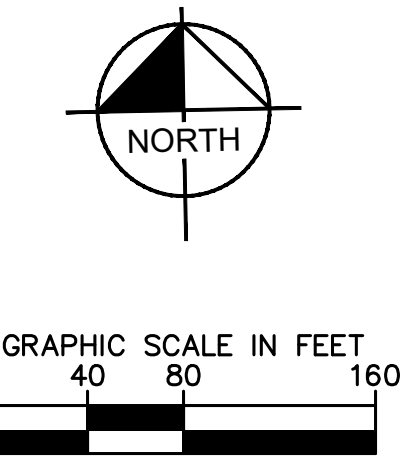
LEGEND

- CENTER LINE
- - - PROPERTY LINE
- - - PROP. LOT LINE
- - - EASEMENT OR SETBACK LINE
- - - RIGHT OF WAY
- - - SECTION LINE
- [Hatched Box] AREA TO BE DEDICATED

PARCEL AREA TABLE:

PARCEL NUMBER	AREA (AC)	LAND USE
1	3.21	INDUSTRIAL
2	3.45	INDUSTRIAL
3	1.92	INDUSTRIAL
4	3.68	INDUSTRIAL
5	7.78	INDUSTRIAL
6	4.90	INDUSTRIAL
7	20.53	INDUSTRIAL
NET SUBTOTAL	45.47	
NET DEDICATION	10.39	
GROSS TOTAL	55.86	

- EASEMENTS/EXCEPTIONS/ENCUMBRANCES**
- SEE TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-92239-0N1, DATED OCTOBER 30, 2018 ITEMS LISTED BELOW ARE SHOWN IN THE TITLE COMMITMENT AND PLOTTABLE ITEMS ARE DENOTED THUS: [Hatched Box] WITH LOCATIONS KEYS THE SAME HEREON.
16. MUTUAL RIGHTS OF WAY RESERVED TO THE STEARNS RANCHO COMPANY AND THE JURUPA LAND AND WATER COMPANY, THEIR SUCCESSORS OR ASSIGNS, FOR DITCHES, CANALS OR PIPELINES AS MAY BE DEEMED NECESSARY OR PROPER BY SAID PARTIES FOR THE PROPER IRRIGATION OF ANY OTHER LANDS IN THE JURUPA RANCHO, OR FOR THE SUPPLYING OF THE MAIN CANAL WITH WATER, PROVIDED, HOWEVER, THAT SUCH DITCHES SHALL WHEN PRACTICABLE FOLLOW THE LINE OF THE SURVEYED SUBDIVISIONS OF THE JURUPA RANCHO, RECORDED IN BOOK 104, PAGE 322 OF DEEDS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, AND BY DEEDS RECORDED JULY 24, 1897 IN BOOK 31, PAGE 337, MARCH 2, 1899 IN BOOK 69, PAGE 250, APRIL 10, 1902 IN BOOK 142, PAGE 101, JANUARY 8, 1906 IN BOOK 216, PAGE 4, ALL OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
AFFECTS: SUBJECT PROPERTY; NOT PLOTTABLE OF RECORD.
 17. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 4, PAGE 54 OF RECORD OF SURVEYS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE
 18. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 4, 1910 IN BOOK 392 OF DEEDS, PAGE 317.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
 19. AN EASEMENT IN FAVOR OF CLINTON LUGNIBILL FOR PIPELINE OR DITCH AND INCIDENTAL PURPOSES, RECORDED MARCH 5, 1926 IN BOOK 666 OF DEEDS, PAGE 216.
AFFECTS: SUBJECT PROPERTY; NOT PLOTTABLE OF RECORD.
 20. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 11, PAGE 42 OF RECORD OF SURVEYS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE
 21. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, AS TO AN UNDIVIDED THREE-FOURTHS INTEREST, AND SOUTHERN COUNTIES GAS COMPANY, AS TO AN UNDIVIDED ONE-FOURTH INTEREST FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED APRIL 10, 1950 AS BOOK 1162, PAGE 593 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
 22. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED JANUARY 25, 1952 AS BOOK 1336, PAGE 397 OF OFFICIAL RECORDS.
AFFECTS: **DOES NOT AFFECT SUBJECT PROPERTY.** SEE NOTE NO. 1.
 23. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 4, 1959 AS INSTRUMENT NO. 21105 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
 24. THE EFFECT OF A RESOLUTION EXECUTED BY THE RIVERSIDE COUNTY BOARD OF SUPERVISORS ESTABLISHING THE MIRA LOMA AGRICULTURAL PRESERVE NO. 3 AMENDMENT NO. 1, RECORDED OCTOBER 8, 1969 AS INSTRUMENT NO. 103173 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
 25. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 115, PAGES 37-50 OF RECORD OF SURVEYS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
 26. TERMS, PROVISIONS, COVENANTS, RESTRICTIONS AND CONDITIONS CONTAINED IN A DOCUMENT EXECUTED PURSUANT TO THE CALIFORNIA LAND CONSERVATION ACT OF 1965 (WILLIAMSON ACT) AND RECORDED FEBRUARY 26, 1971 AS INSTRUMENT NO. 19468 OF OFFICIAL RECORDS.
THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF NONRENEWAL" RECORDED FEBRUARY 17, 2006 AS INSTRUMENT NO. 2006-0119241 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
 27. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE JURUPA VALLEY REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1996 AS INSTRUMENT NO. 256410 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
 28. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 4, 1996 AS INSTRUMENT NO. 382012 OF OFFICIAL RECORDS.
AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
 29. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 16, 2006 AS INSTRUMENT NO. 2006-0602841 OF OFFICIAL RECORDS.
AFFECTS: AS DESCRIBED THEREIN



THE HOMESTEAD
 PREPARED FOR
ORBIS REAL ESTATE PARTNERS
 EASTVALE

TENTATIVE
PARCEL MAP

KVA PROJECT 19121001
 DATE 6/27/2019
 SCALE AS SHOWN
 DESIGNED BY JML
 DRAWN BY JML
 CHECKED BY CCL

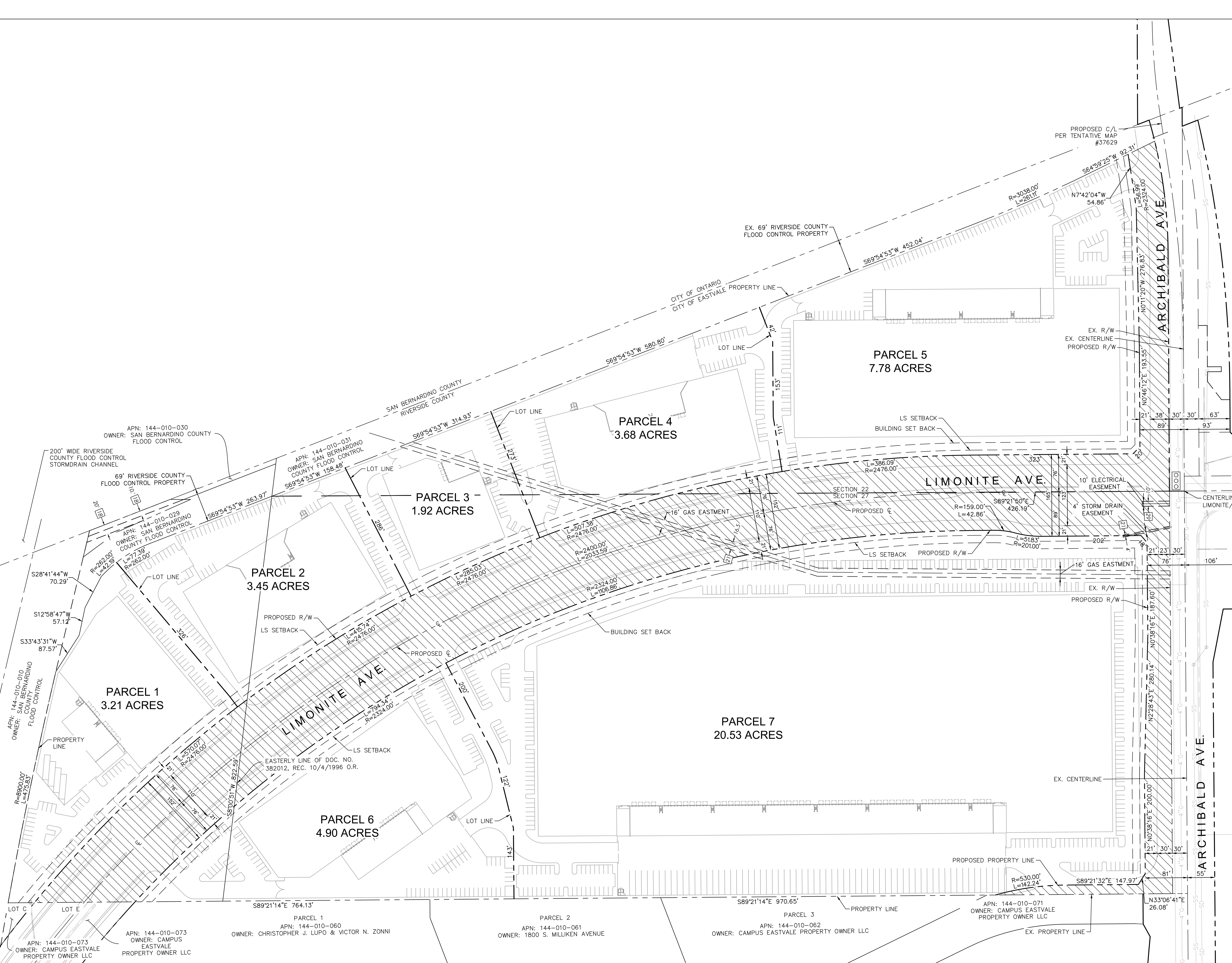
LICENSED PROFESSIONAL
 BRIAN GILIS
 CA LICENSE NUMBER 63021
 EXP. DATE 6/30/20

No. REVISIONS DATE BY

SHEET NUMBER
2



Plotted By: Lepore, Michael Sheet Set: Kta_Layout:3 TENTATIVE PARCEL MAP June 27, 2019 04:54:25pm K:\ORA_LDEV\1914121001-the-homestead\CAD\plansheets\3 TENTATIVE PARCEL MAP.dwg
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LEGEND

- CENTER LINE
- - - - - PROPERTY LINE
- - - - - PROP. LOT LINE
- - - - - EASEMENT OR SETBACK LINE
- - - - - RIGHT OF WAY
- - - - - SECTION LINE

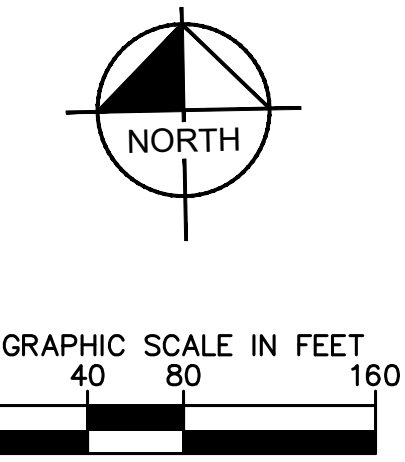
▨ AREA TO BE DEDICATED

PARCEL AREA TABLE:

PARCEL NUMBER	AREA (AC)	LAND USE
1	3.21	INDUSTRIAL
2	3.45	INDUSTRIAL
3	1.92	INDUSTRIAL
4	3.68	INDUSTRIAL
5	7.78	INDUSTRIAL
6	4.90	INDUSTRIAL
7	20.53	INDUSTRIAL
NET SUBTOTAL	45.47	
NET DEDICATION	10.39	
GROSS TOTAL	55.86	

EASEMENTS/EXCEPTIONS/ENCUMBRANCES
 SEE TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-929239-0N11, DATED OCTOBER 30, 2018 ITEMS LISTED BELOW ARE SHOWN IN THE TITLE COMMITMENT AND PLOTTABLE ITEMS ARE DENOTED THUS: [#] WITH LOCATIONS KEYS THE SAME HEREON.

16. MUTUAL RIGHTS OF WAY RESERVED TO THE STEARNS RANCHO COMPANY AND THE JURUPA LAND AND WATER COMPANY, THEIR SUCCESSORS OR ASSIGNS, FOR DITCHES, CANALS OR PIPELINES AS MAY BE DEEMED NECESSARY OR PROPER BY SAID PARTIES FOR THE PROPER IRRIGATION OF ANY OTHER LANDS IN THE JURUPA RANCHO, OR FOR THE SUPPLYING OF THE MAIN CANAL WITH WATER, PROVIDED, HOWEVER, THAT SUCH DITCHES SHALL WHEN PRACTICABLE FOLLOW THE LINE OF THE SURVEYED SUBDIVISIONS OF THE JURUPA RANCHO, RECORDED IN BOOK 104, PAGE 322 OF DEEDS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, AND BY DEEDS RECORDED JULY 24, 1897 IN BOOK 31, PAGE 337, MARCH 2, 1899 IN BOOK 69, PAGE 250, APRIL 10, 1902 IN BOOK 142, PAGE 101, JANUARY 8, 1906 IN BOOK 216, PAGE 4, ALL OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
 AFFECTS: SUBJECT PROPERTY; NOT PLOTTABLE OF RECORD.
17. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 4, PAGE 54 OF RECORD OF SURVEYS.
 AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE
18. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 4, 1910 IN BOOK 392 OF DEEDS, PAGE 317.
 AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
19. AN EASEMENT IN FAVOR OF CLINTON LUGNBILL FOR PIPELINE OR DITCH AND INCIDENTAL PURPOSES, RECORDED MARCH 5, 1926 IN BOOK 666 OF DEEDS, PAGE 216.
 AFFECTS: SUBJECT PROPERTY; NOT PLOTTABLE OF RECORD.
20. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 11, PAGE 42 OF RECORD OF SURVEYS.
 AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE
21. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, AS TO AN UNDIVIDED THREE-FOURTHS INTEREST, AND SOUTHERN COUNTIES GAS COMPANY, AS TO AN UNDIVIDED ONE-FOURTH INTEREST FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED APRIL 10, 1950 AS BOOK 1162, PAGE 593 OF OFFICIAL RECORDS.
 AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
22. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED JANUARY 25, 1952 AS BOOK 1336, PAGE 397 OF OFFICIAL RECORDS.
 AFFECTS: DOES NOT AFFECT SUBJECT PROPERTY. SEE NOTE NO. 1.
23. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 4, 1959 AS INSTRUMENT NO. 21105 OF OFFICIAL RECORDS.
 AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
24. THE EFFECT OF A RESOLUTION EXECUTED BY THE RIVERSIDE COUNTY BOARD OF SUPERVISORS ESTABLISHING THE MIRA LOMA AGRICULTURAL PRESERVE NO. 3 AMENDMENT NO. 1, RECORDED OCTOBER 8, 1969 AS INSTRUMENT NO. 103173 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
 AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
25. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED BOOK 115, PAGES 37-50 OF RECORD OF SURVEYS.
 AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
26. TERMS, PROVISIONS, COVENANTS, RESTRICTIONS AND CONDITIONS CONTAINED IN A DOCUMENT EXECUTED PURSUANT TO THE CALIFORNIA LAND CONSERVATION ACT OF 1965 (WILLIAMSON ACT) AND RECORDED FEBRUARY 26, 1971 AS INSTRUMENT NO. 19468 OF OFFICIAL RECORDS.
 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF NONRENEWAL" RECORDED FEBRUARY 17, 2006 AS INSTRUMENT NO. 2006-0119241 OF OFFICIAL RECORDS.
 AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
27. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE JURUPA VALLEY REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED JULY 10, 1996 AS INSTRUMENT NO. 256410 OF OFFICIAL RECORDS.
 AFFECTS: SUBJECT PROPERTY; NOT OF PLOTTABLE NATURE.
28. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 4, 1996 AS INSTRUMENT NO. 382012 OF OFFICIAL RECORDS.
 AFFECTS: SUBJECT PROPERTY; PLOTTED HEREON.
29. AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 16, 2006 AS INSTRUMENT NO. 2006-0602841 OF OFFICIAL RECORDS.
 AFFECTS: AS DESCRIBED THEREIN



TENTATIVE PARCEL MAP

THE HOMESTEAD PREPARED FOR ORBIS REAL ESTATE PARTNERS

EASTVALE

SHEET NUMBER **3**

DATE: _____

REVISIONS: _____

NO. _____

BY: _____

DESIGNED BY: JML
 DRAWN BY: JML
 CHECKED BY: JML

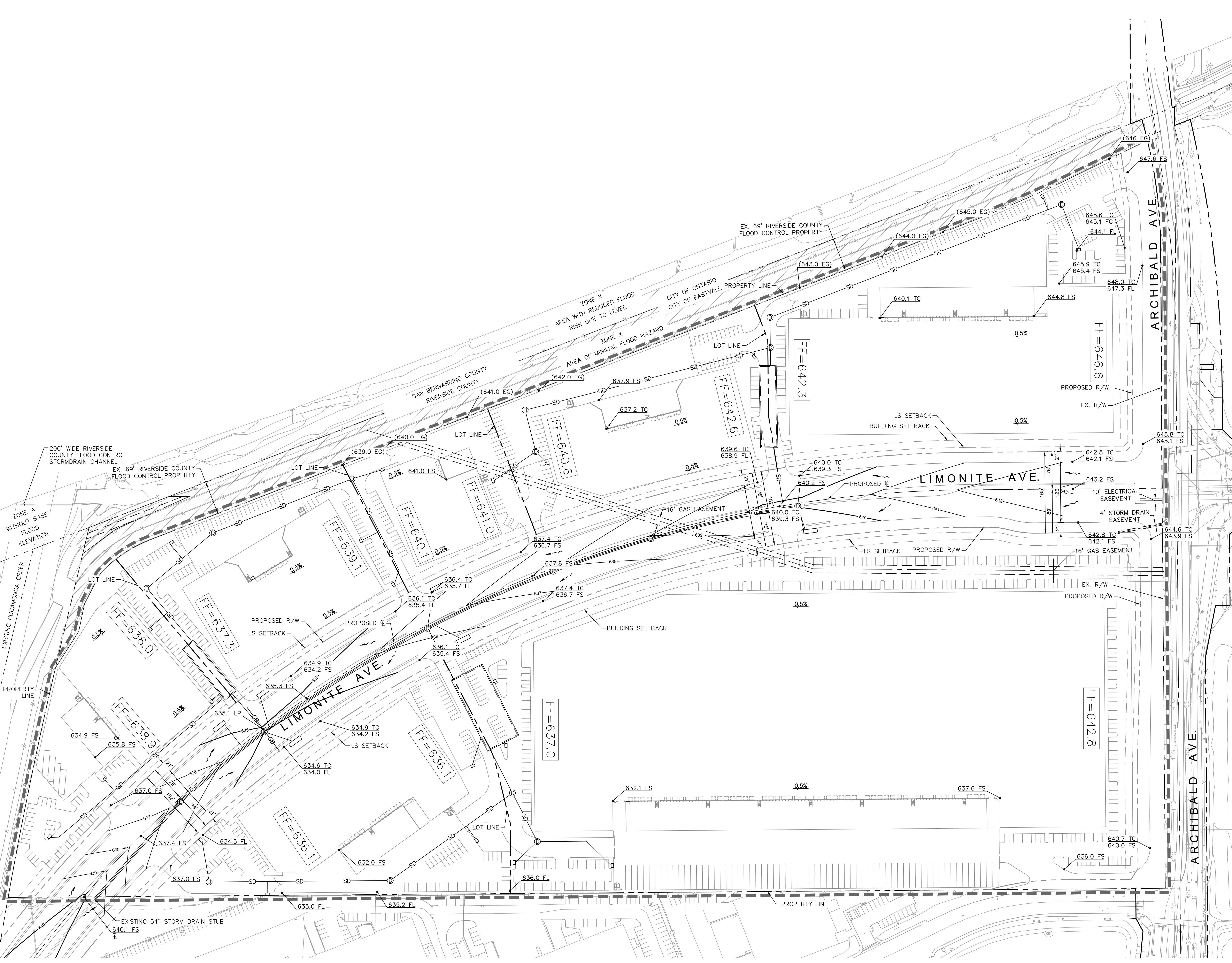
SCALE: AS SHOWN
 DATE: 6/27/2019
 PROJECT: KVA PROJECT 1914121001

LICENSED PROFESSIONAL
 BRIAN GILLIS
 CA LICENSE NUMBER 63021
 EXP. DATE 6/30/20

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 765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668
 PHONE: 714-939-1030 FAX: 714-938-4488
 WWW.KIMLEY-HORN.COM

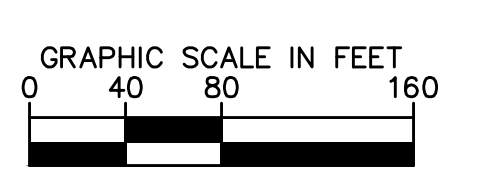
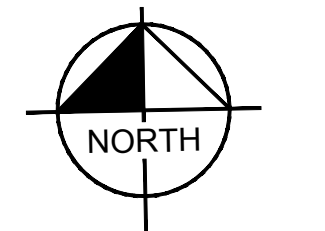


Plotted By: Lepore, Michael Sheet Set: kha_Layout: 4 GRADING AND DRAINAGE PLAN June 27, 2019 04:56:42pm K:\ORA_LDEV\194121001-the homestead\CAD\plansheets\4 GRADING AND DRAINAGE PLAN.dwg
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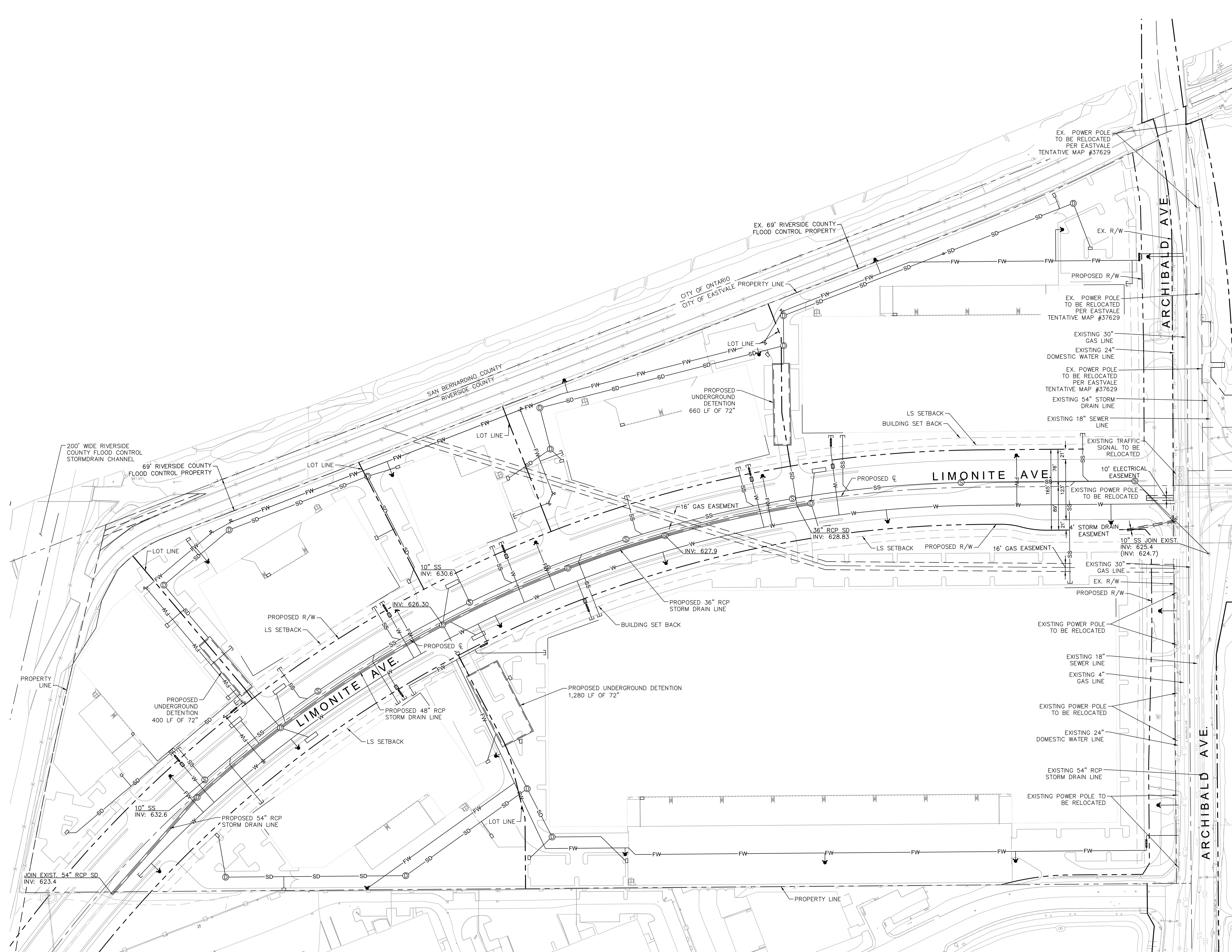
LEGEND

	CENTER LINE
	PROPERTY LINE
	PROP. LOT LINE
	EASEMENT OR SETBACK LINE
	RIGHT OF WAY LINE
	CIVIL LIMIT OF WORK LINE
	DEEPEMED FOOTING (DF) OR STEM WALL (SW)
	GRADE BREAK LINE
	RIDGE LINE
	FLOW LINE
	2:1 SLOPE (MAX)
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	PROPOSED FLOW (DIRECTION AND SLOPE)
	SLOPE DIRECTION
	PROPOSED UNDERGROUND DETENTION SYSTEM
	PROPOSED STORM DRAIN
	EXISTING FLOOD ZONE



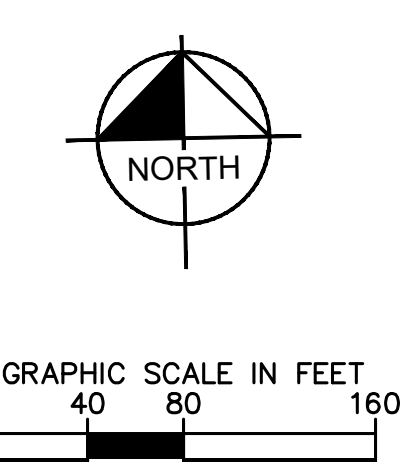
<p>THE HOMESTEAD PREPARED FOR ORBIS REAL ESTATE PARTNERS</p>	<p>GRADING AND DRAINAGE PLAN</p>	<p>Kimley-Horn © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668 PHONE: 714-939-1030 FAX: 714-938-4488 WWW.KIMLEY-HORN.COM</p>
VIA PROJECT 194121001 DATE 6/27/2019 SCALE AS SHOWN DESIGNED BY JML DRAWN BY JML CHECKED BY CCL	LICENSED PROFESSIONAL BRIAN GILLIS CA LICENSE NUMBER 63021 EXP. DATE 6/30/20	REVISIONS No. DATE BY
SHEET NUMBER 4	EASTVALE CA	

Plotted By: Lepore, Michael Sheet Set: kha_Layout: 5 UTILITY PLAN June 27, 2019 04:54:46pm K:\GRA_LDEV\19121001--the homestead\CAD\plansheets\5 UTILITY PLAN.dwg
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LEGEND

	CENTER LINE
	PROPERTY LINE
	PROP. LOT LINE
	EASEMENT OR SETBACK LINE
	CIVIL LIMIT OF WORK LINE
	PROPOSED SANITARY SEWER PIPE
	PROPOSED STORM DRAIN PIPE (< 12"Ø)
	PROPOSED STORM DRAIN PIPE (> 12"Ø)
	PROPOSED WATER PIPE
	PROPOSED DOMESTIC WATER PIPE
	PROPOSED FIRE WATER PIPE
	PROPOSED UNDERGROUND DETENTION SYSTEM
	PROPOSED CATCH BASIN
	FIRE HYDRANT
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	EXISTING POWER POLE



<p>UTILITY PLAN</p>	<p>THE HOMESTEAD PREPARED FOR ORBIS REAL ESTATE PARTNERS</p>	<p>CA</p>
	<p>SHEET NUMBER 5</p>	<p>EASTVALE</p>
<p>KHA PROJECT: 19121001 DATE: 6/27/2019 SCALE: AS SHOWN DESIGNED BY: JML DRAWN BY: JML CHECKED BY: CJK</p>	<p>LICENSED PROFESSIONAL: BRIAN GILLIS CA LICENSE NUMBER: 63021 EXP. DATE: 6/30/20</p>	<p>REVISIONS No. DATE</p>
<p>Kimley-Horn</p> <p style="font-size: x-small;">© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668 PHONE: 714-959-1030 FAX: 714-959-4488 WWW.KIMLEY-HORN.COM</p>		



DESIGN KEY NOTES:

- ① NEW STREET TREE PER LEGEND.
- ② PARKING LOT CANOPY TREE PER LEGEND.
- ③ NATIVE SPECIMEN SIZE CANOPY TREE PER LEGEND.
- ④ PROPOSED PLANTED MEDIAN ISLANDS.
- ⑤ HEAVY PROPERTY LINE SCREEN PLANTING PER LEGEND.
- ⑥ TYP. FLOWERING ACCENT TREES AT DRIVEWAY ENTRIES.

PLANTING LEGEND

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	NEW STREET TREE ALONG LIMONITE AVE.	88	L
	NEW STREET TREE ALONG ARCHIBALD AVE.	24	L
	CERCIDIUM X 'DESERT MUSEUM', BLUE PALO VERDE 36" BOX SIZE, DOUBLE STAKE.	67	L
	OLEA EUROPAEA 'SWAN HILL', FRUITLESS OLIVE 36" BOX SIZE, DOUBLE STAKE.	12	L
	PINUS ELДАРICA, MONDELL PINE 24" BOX SIZE, DOUBLE STAKE.	155	L
	ULMUS PARVIFOLIA, CHINESE ELM TREE 24" BOX SIZE, DOUBLE STAKE. ALT: TIPUANA TIP, TIPUANA TIPU	93	L
	PODOCARPUS GRACILIOR, FERN PINE 15 GAL. SIZE, DOUBLE STAKE.	174	L
	TRISTANIA CONFERTA, BRISBANE BOX 24" BOX SIZE, DOUBLE STAKE.	123	L
	GEIJERA PARVIFLORA, AUSTRALIAN WILLOW 24" BOX SIZE, DOUBLE STAKE.	68	L

SHRUBS - SHRUBS SHALL CONSIST OF THE FOLLOWING:		
SYMBOL	SHRUB NAME	WUCOLS
	DODONAEA VISCOSA 'PURPUREA', HOPSEED BUSH 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	WESTRINGIA FRUTICOSA, COAST ROSEMARY 5 GAL. SIZE	L
	LIGUSTRUM TEXANUM, TEXAS PRIVET 5 GAL. SIZE	L
	CALLISTEMON 'LITTLE JOHN', DWARF BOTTLE BRUSH 5 GAL. SIZE	L
	RHAPHIOLEPIS I. 'CLARA', INDIAN HAWTHORN 5 GAL. SIZE	L
	DIANELLA TAS. 'VARIEGATA', VARIEGATED FLAX LILY 5 GAL. SIZE	L

GROUND COVER AND SHRUB MASSES		
SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	LANTANA 'DWARF YELLOW', YELLOW LANTANA 1 GAL. SIZE @ 30" O.C.	L
	SALVIA GREGGII, AUTUMN SAGE 1 GAL. SIZE @ 36" O.C.	L
	MUHLENBERGIA C. 'REGAL MIST', PINK MUHLY 1 GAL. SIZE @ 42" O.C.	L
	SALVIA CLEVELANDII 'ALLEN CHICKERING', CLEVELAND SAGE 5 GAL. SIZE @ 48" O.C.	L
	BACCHARIS PILULARIS, COYOTE BUSH 1 GAL. SIZE @ 42" O.C.	L

WUCOLS PLANT FACTOR
 THIS PROJECT IS LOCATED IN 'WUCOLS' REGION 4-SOUTH INLAND VALLEY.
 H = HIGH WATER NEEDS
 M = MODERATE WATER NEEDS
 L = LOW WATER NEEDS
 VL = VERY LOW WATER NEEDS

GENERAL NOTES:

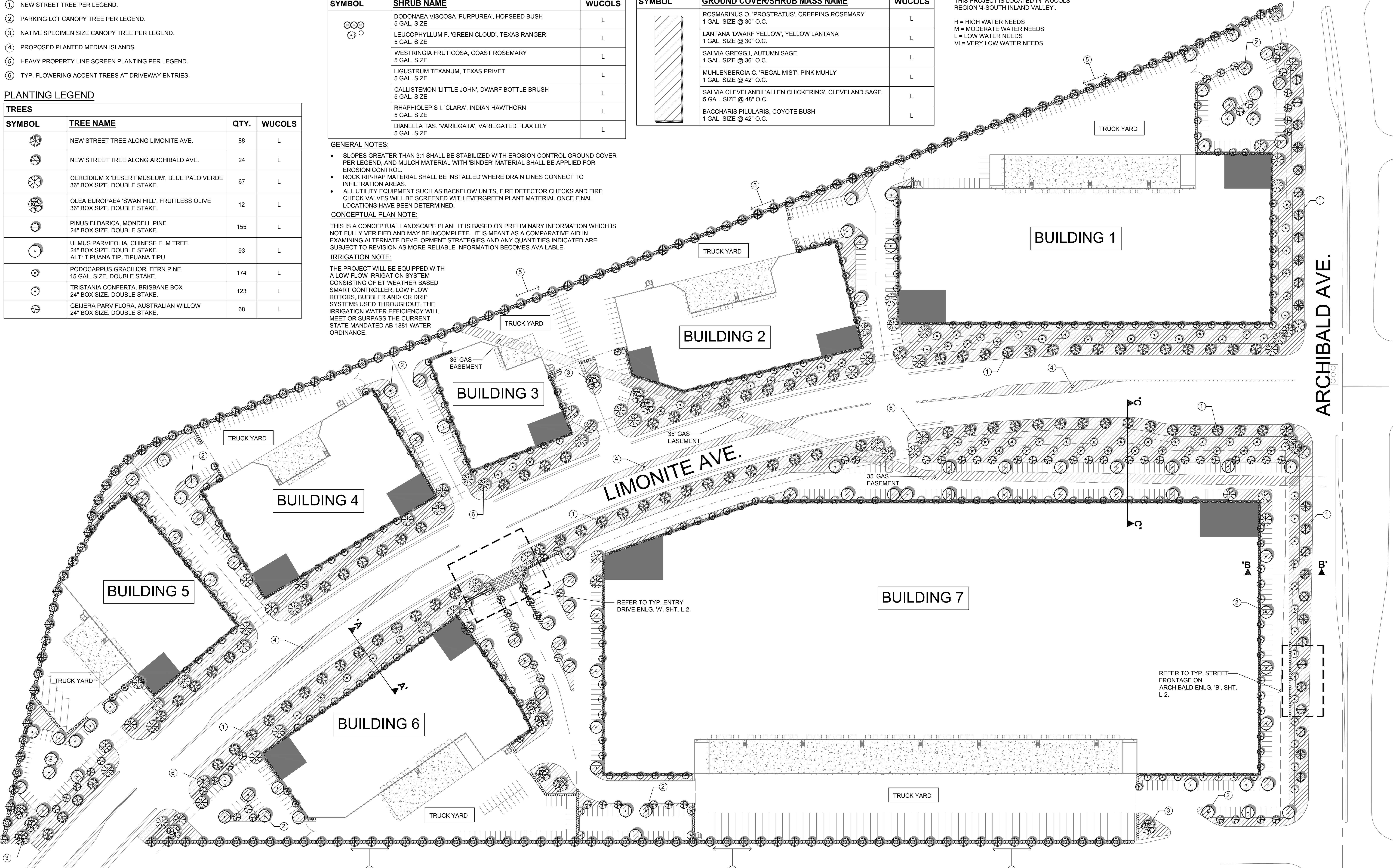
- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
- ROCK RIP-RAP MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.
- ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS AND FIRE CHECK VALVES WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.

CONCEPTUAL PLAN NOTE:

THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

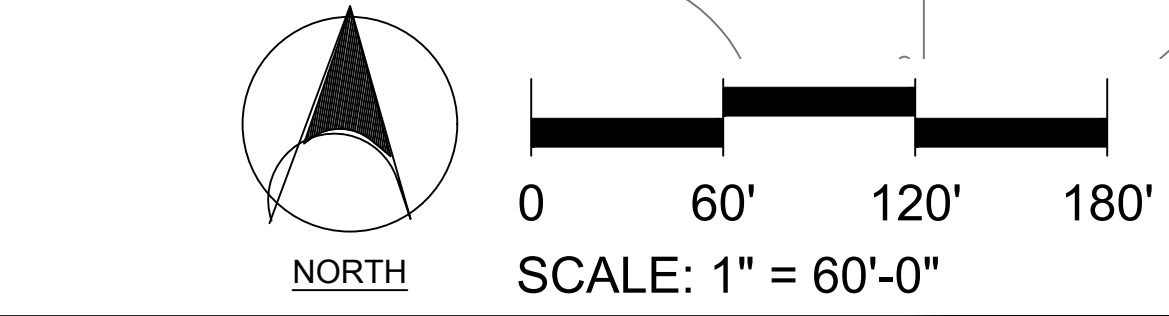
IRRIGATION NOTE:

THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

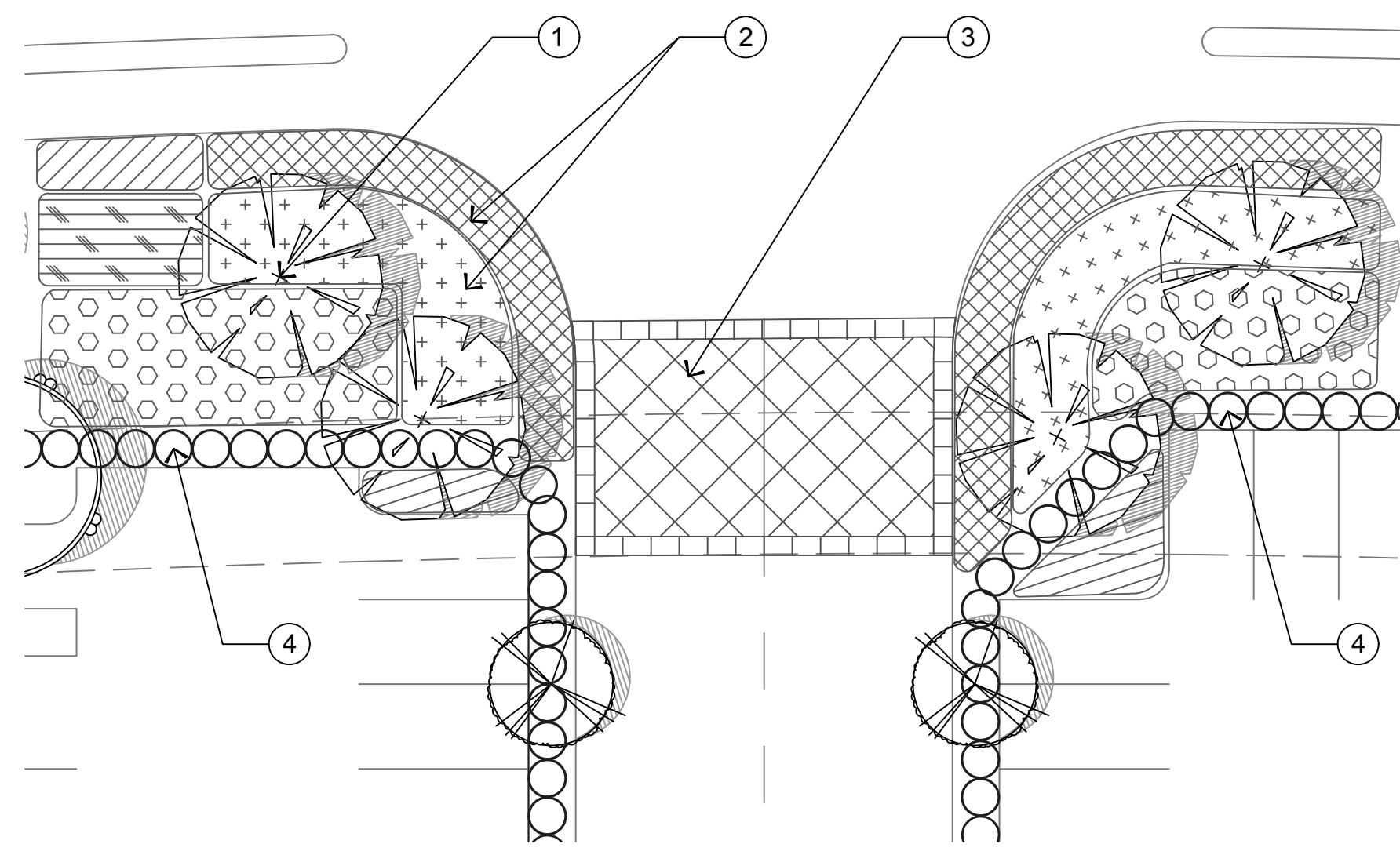


**CONCEPTUAL LANDSCAPE PLAN
 LIMONITE AVE. AND ARCHIBALD AVE. - PHASE II**

CITY OF EASTVALE, CA



DRAFT DATE: 6-26-2019

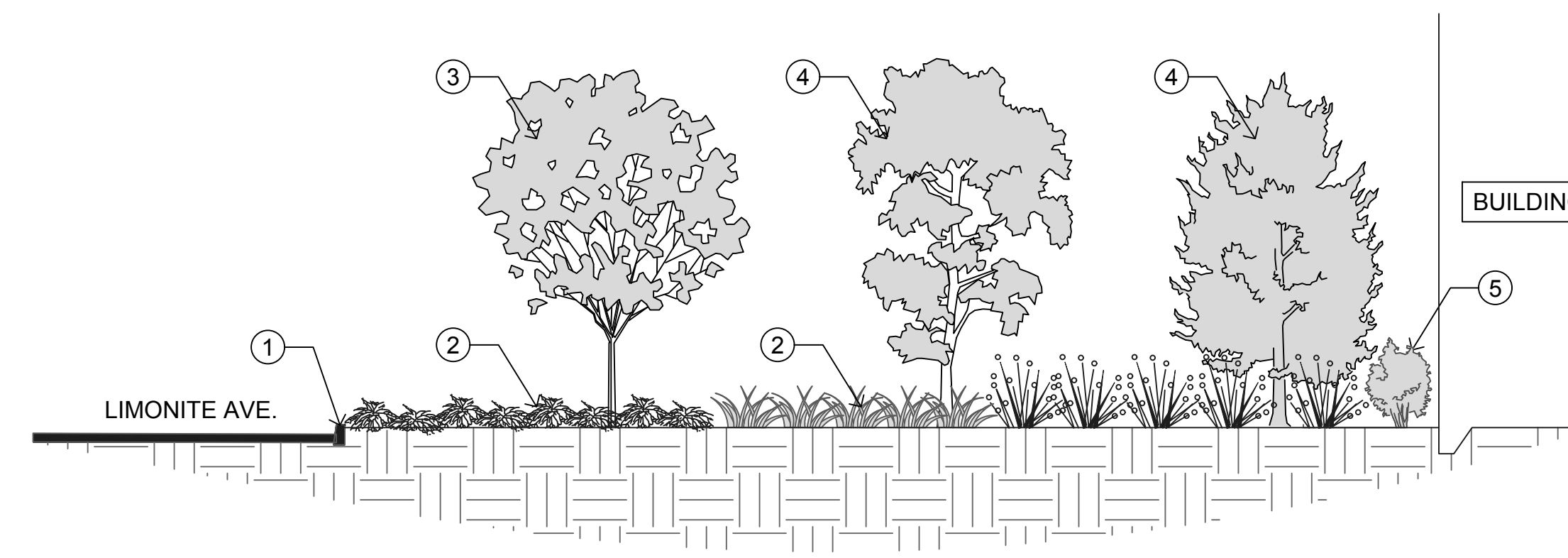


ENLARGEMENT 'A' - ENTRY DRIVEWAY

SCALE: 1/16" = 1'-0"

ENLARGEMENT 'A' KEY NOTES:

- ① FLOWERING ACCENT TREE PER LEGEND.
- ② LAYERED ACCENT GROUND COVER & SHRUB MASSES PER LEGEND.
- ③ ENHANCED VEHICULAR ENTRY DRIVE PAVING CONSISTING OF 4'X4' GRID PATTERN, NATURAL GRAY COLORED CONCRETE WITH MEDIUM SAND BLAST FINISH SURROUNDED WITH AN 18" WIDTH CONC. BAND. ALL SCORE LINES SHALL BE SAW CUT.
- ④ EVERGREEN SCREEN SHRUB PER LEGEND.

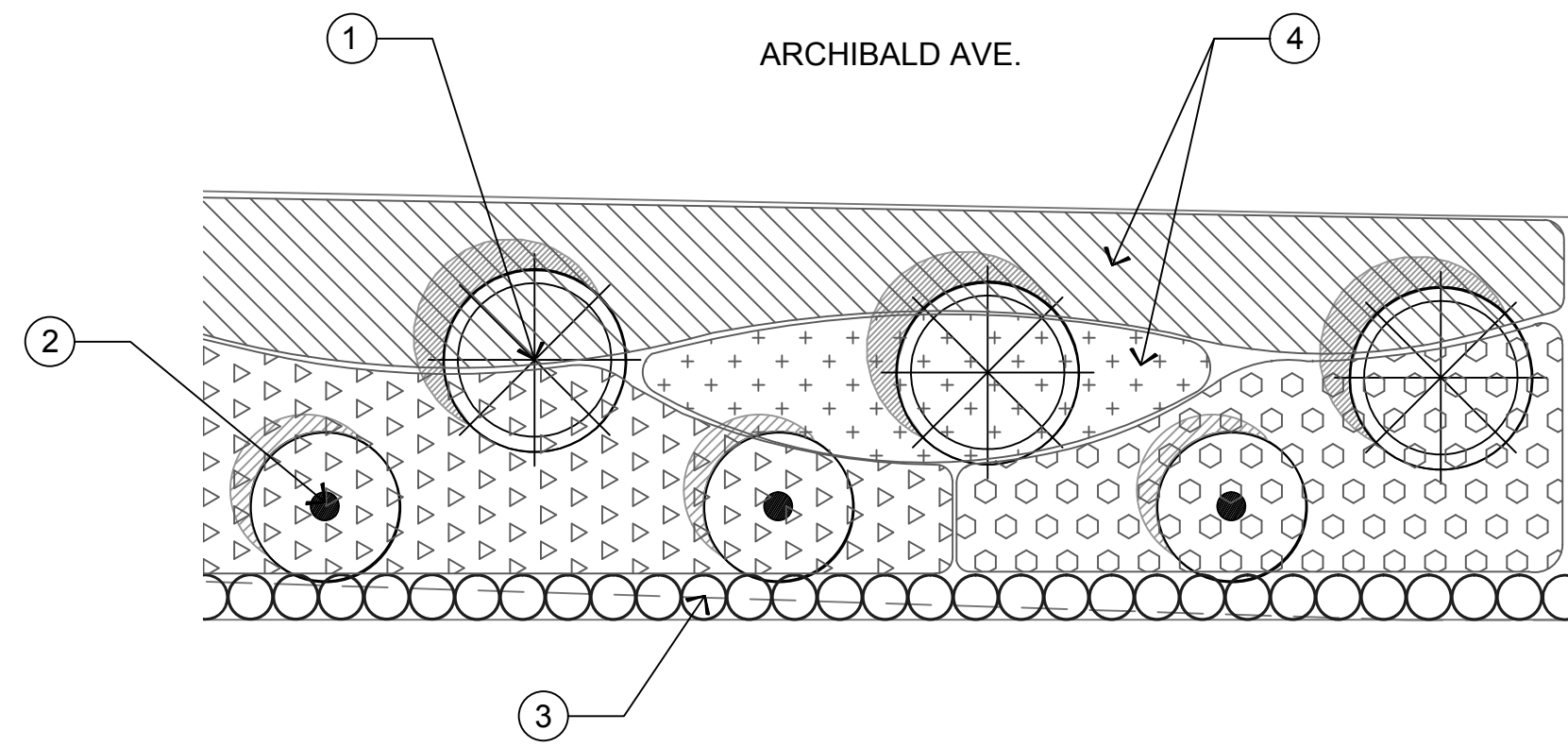


SECTION 'A-A' - LIMONITE AVE.

SCALE: 1/8" = 1'-0"

SECTION 'A-A' KEY NOTES:

- ① CURB PER CIVIL DWGS.
- ② ASSORTED DROUGHT TOLERANT GROUND COVER AND SHRUB MASSES PER LEGEND.
- ③ NEW STREET TREE PER LEGEND.
- ④ EVERGREEN BACKGROUND TREE PER LEGEND.
- ⑤ TYP. EVERGREEN SCREEN SHRUB ALONG BUILDING PER LEGEND.

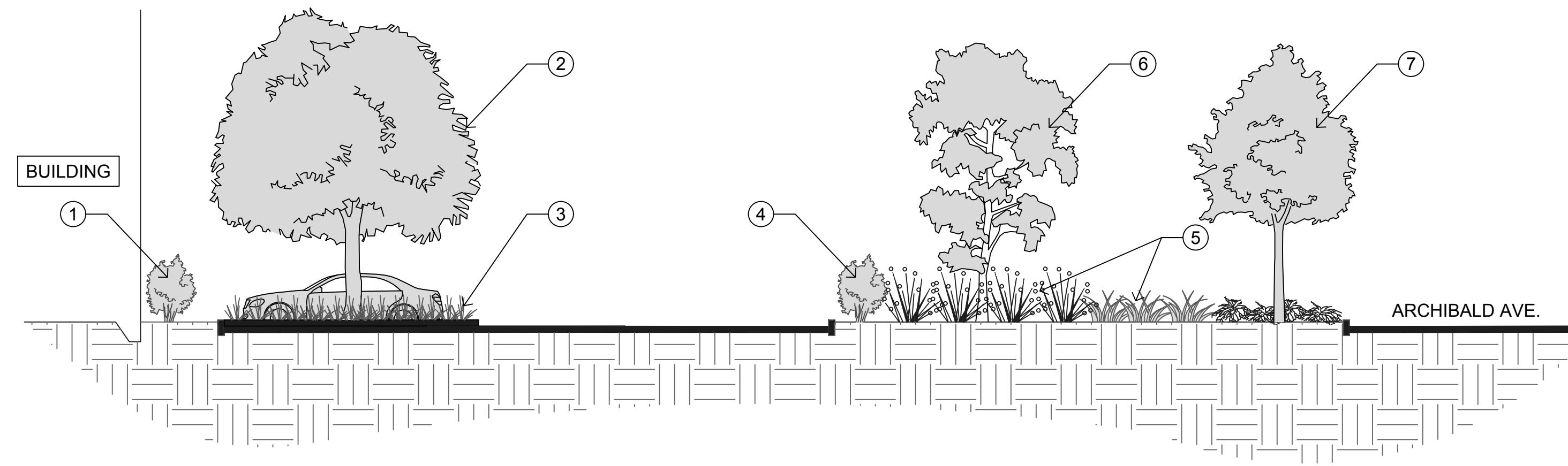


ENLARGEMENT 'B' - TYP. STREET FRONTAGE

SCALE: 1/16" = 1'-0"

ENLARGEMENT 'B' KEY NOTES:

- ① NEW STREET TREE PER LEGEND.
- ② EVERGREEN BACKGROUND TREE PER LEGEND.
- ③ EVERGREEN SCREEN SHRUB PER LEGEND.
- ④ LAYERED GROUND COVER/SHRUB MASSES PER LEGEND.

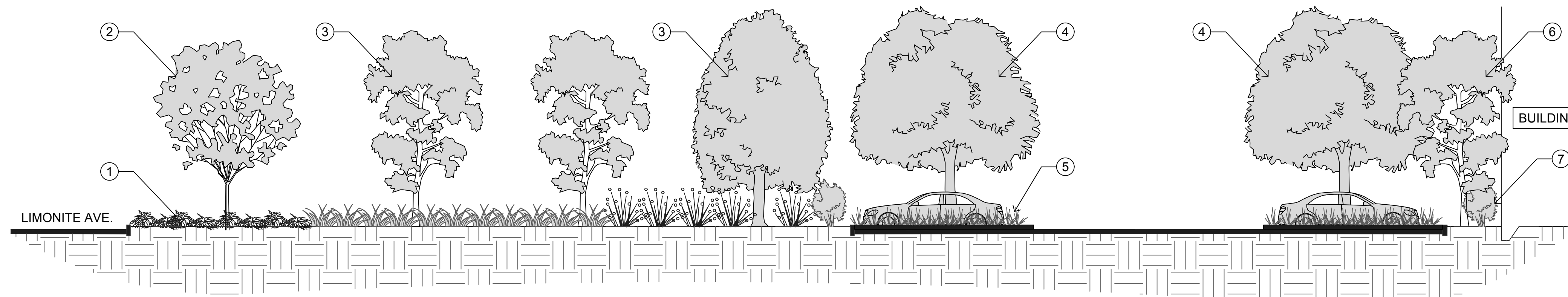


SECTION 'B-B' - ARCHIBALD AVE.

SCALE: 1/8" = 1'-0"

SECTION 'B-B' KEY NOTES:

- ① NEW SCREEN SHRUB ALONG BUILDING PER LEGEND.
- ② PARKING LOT SHADE TREE PER LEGEND.
- ③ FINGER ISLAND PLANTING PER LEGEND.
- ④ EVERGREEN SCREEN SHRUB PER LEGEND.
- ⑤ LAYERED GROUND COVER AND SHRUB MASSES PER LEGEND.
- ⑥ EVERGREEN BACKGROUND TREE PER LEGEND.
- ⑦ NEW STREET TREE ALONG ARCHIBALD AVE.



SECTION 'C-C'

SCALE:

SECTION 'C-C' KEY NOTES:

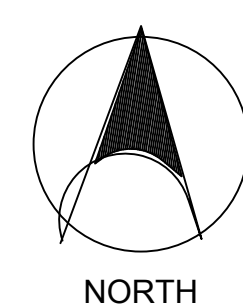
- ① LAYERED GROUND COVER AND SHRUB MASSES PER LEGEND.
- ② NEW STREET TREE ALONG LIMONITE AVE.
- ③ EVERGREEN BACKGROUND TREE PER LEGEND.
- ④ PARKING LOT SHADE TREE PER LEGEND.
- ⑤ FINGER ISLAND PLANTING PER LEGEND.
- ⑥ VERTICAL TREE ALONG BUILDING PER LEGEND.
- ⑦ EVERGREEN SCREEN SHRUB ALONG BUILDING PER LEGEND.

ENLARGEMENTS & SECTIONS
LIMONITE AVE. AND ARCHIBALD AVE. - PHASE II

CITY OF EASTVALE, CA



SPLA
SCOTT PETERSON LANDSCAPE ARCHITECT, INC.
2883 VIA RANCHEROS WAY
FALLBROOK, CA 92028
PH: 760-842-8993



0 60' 120' 180'
SCALE: 1" = 60'-0"

DRAFT DATE: 6-26-2019