
APPENDIX A

PROJECT PLANS

965 WEEKS STREET ENTITLEMENT SET



PROJECT DIRECTORY

DEVELOPER

EPA CAN-DO
2369 UNIVERSITY AVENUE
EAST PALO ALTO, CALIFORNIA 94303
T. 650.473.9838
ATTN: DUANE BAY
DBAY@EPACANDO.ORG

MIDPEN HOUSING CORP.
1970 BROADWAY, SUITE 100
OAKLAND, CA 94612
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ATTN: VICTORIA WONG
VWONG@MIDPEN-HOUSING.ORG

ARCHITECT

DAVID BAKER ARCHITECTS
461 SECOND STREET, #C127
SAN FRANCISCO, CA 94107
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ATTN: CAROLINE SOUZA
CAROLINESOUZA@DBARCHITECT.COM

PROJECT DESCRIPTION

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THE SITE IS LOCATED AT 965 WEEKS STREET, IN EAST PALO ALTO, CALIFORNIA. THE PROJECT INCLUDES A 5-LEVEL CONCRETE PARKING STRUCTURE AND A MIX OF 3 AND 4-STORY WOOD MULTIFAMILY APARTMENT BUILDINGS, INCLUDING COMMON AREAS, OFFICE SPACE, UTILITY ROOMS, AND SERVICE SPACES.

GROUND FLOOR UNITS TYPICALLY HAVE A MAIN ACCESSIBLE CORRIDOR ENTRANCE AND A SECONDARY ENTRANCE FROM THE PROJECT OPEN SPACE. THREE GROUND FLOOR UNITS ON THE SOUTHWEST CORNER OF THE SITE ARE ONLY ACCESSED FROM WEEKS STREET. ALL UPPER-FLOOR UNITS ARE ACCESSED FROM THE CORRIDORS.

BUILDING TYPE

5 LEVELS OF TYPE-IA PARKING STRUCTURE, S-2 OCCUPANCY. (THE TOP LEVEL IS UNCOVERED, FOR 4-STORIES TOTAL).
3 AND 4 LEVELS OF TYPE-V WOOD RESIDENTIAL R-2 OCCUPANCY.

SPRINKLERS

THE BUILDING WILL BE FULLY SPRINKLERED AND PROTECTED ACCORDING TO NFPA-13

FIRE ALARM

GROSS SQUARE FEET BY USE

Name	Area
CIRCULATION	32,692 SF
COMMON	3,557 SF
GARAGE	84,773 SF
RESIDENTIAL	119,009 SF
SERVICE	6,651 SF
	246,682 SF

UNIT MIX

Unit Type	Count	Parking Ratio	Parking Req'd
1BR	19	1	19
2BR	75	1.5	112.5
3BR	27	2	54
4BR	7	2.5	17.5
S	8	1	8
	136		211

PARKING PROVIDED

STANDARD SPACES

9	ADA
9	ADA Van
48	Compact
75	Standard
50	Tandem

191

ELECTRIC VEHICLE SPACES

1	ADA
1	ADA Van
20	Standard

22

213

BICYCLE PARKING

BICYCLE PARKING FACILITIES SHALL BE PROVIDED FOR ALL APPLICABLE USES IN COMPLIANCE WITH THE SANTA CLARA COUNTY VALLEY TRANSPORTATION AUTHORITY, BICYCLE TECHNICAL GUIDELINES, SECTION III, BIKE PARKING.

CLASS	RATIO	# SPACES REQ'D	# SPACES PROVIDED
CLASS I	1 PER 2 UNITS	68	68
CLASS II	1 PER 15 UNITS	9	9

GENERATORS

NO GENERATORS ARE PLANNED FOR THIS PROJECT.

PROJECT SITE

ADDRESS 965 WEEKS STREET, EAST PALO ALTO, CA, 94303
LOT 063232210, 063232220, 063232230
ZONE HIGH DENSITY RESIDENTIAL
LOT SIZE 2.61 ACRES, 113,543 SQUARE FEET

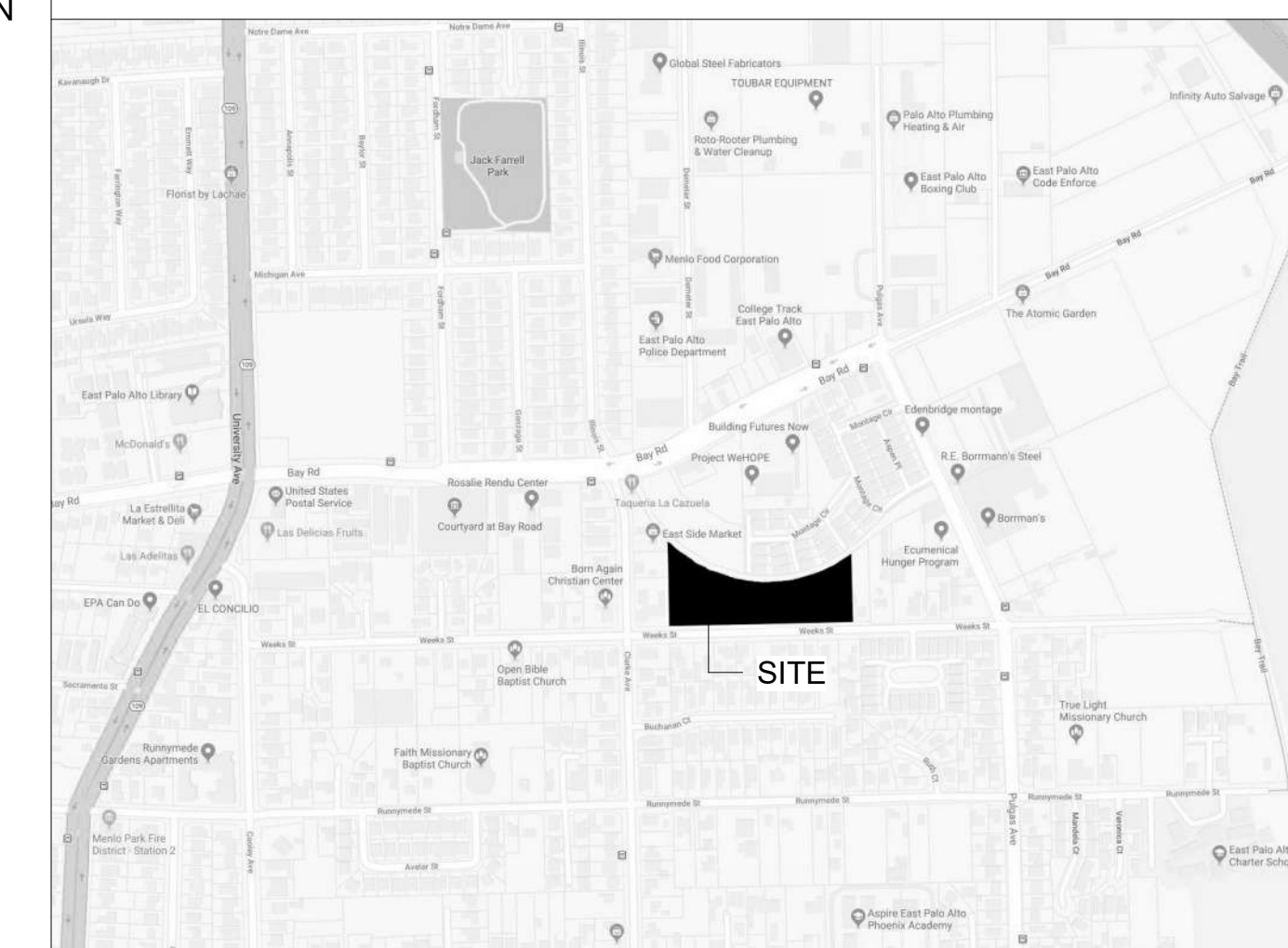
SHEET INDEX

G000	COVER
G001	TITLE SHEET
G002	WEEKS STREET RENDERING
G003	BAY TRAIL RENDERING
G004	EXISTING SITE CONDITIONS
G005	FIRE ACCESS
G006	FIRE FLOW
G101	CODE EXCERPTS
G102	BUILDING HEIGHT DIAGRAMS
G200	COMMUNITY MEETING DIAGRAMS
G400	AREA CALCULATIONS

C1.0	EXISTING CONDITIONS
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	PRELIMINARY STORMWATER CONTROL PLAN
C5.1	STORMWATER CONTROL DETAILS

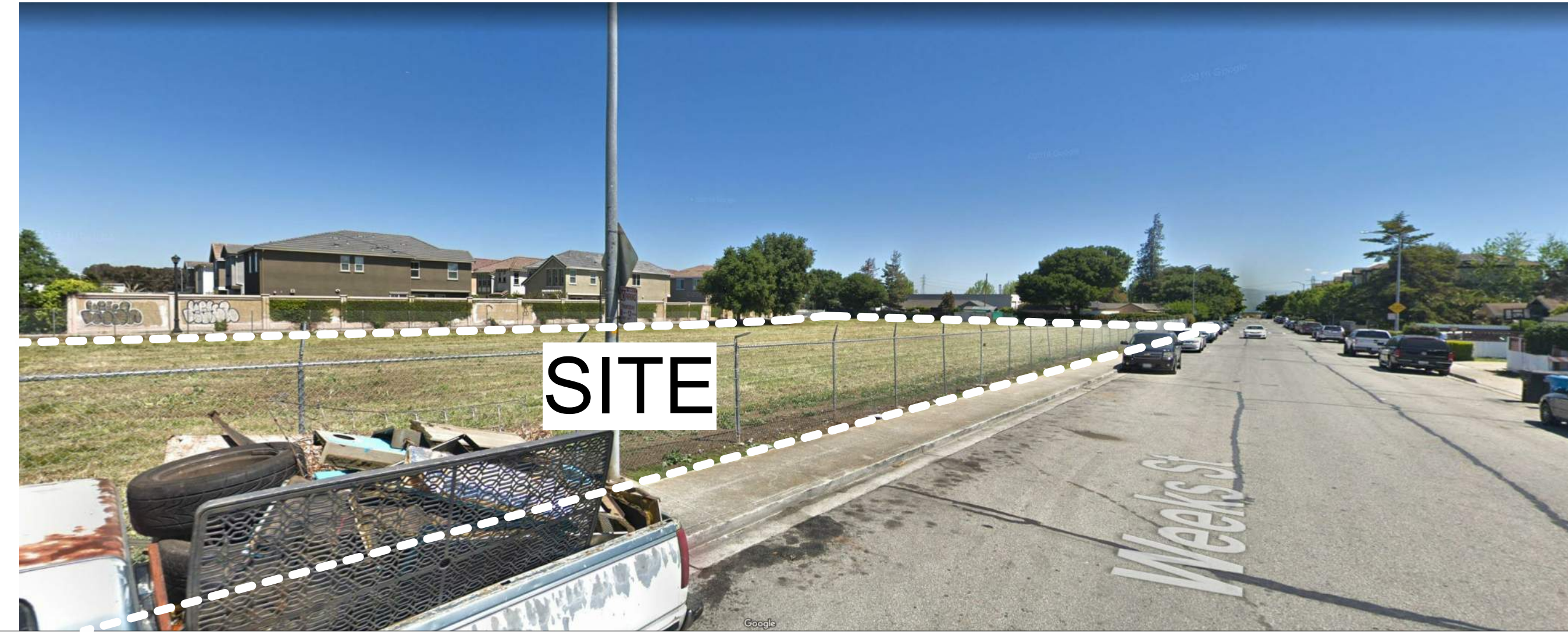
L-1	LANDSCAPE ILLUSTRATIVE SITE PLAN
L-2	COURTYARD PLAN ENLARGEMENT
L-3	RESIDENTIAL MEWS PLAN ENLARGEMENT
L-4	WEEKS STREET PLAN ENLARGEMENT
L-5	BAY TRAIL CONNECTORS PLAN ENLARGEMENTS

A001	SITE PLAN
A101	LEVEL 1 - FLOOR PLAN
A102	LEVEL 2 - FLOOR PLAN
A103	LEVEL 3 - FLOOR PLAN
A104	LEVEL 4 - FLOOR PLAN
A105	ROOF PLAN
A200	ELEVATIONS - NORTH & SOUTH
A201	ELEVATIONS - EAST & WEST
A500	EXTERIOR MATERIALS









EXISTING VIEW FROM WEEKS STREET



EXISTING SITE AERIAL VIEW

CLARKE AVE.

WEEKS ST.

1 STORY

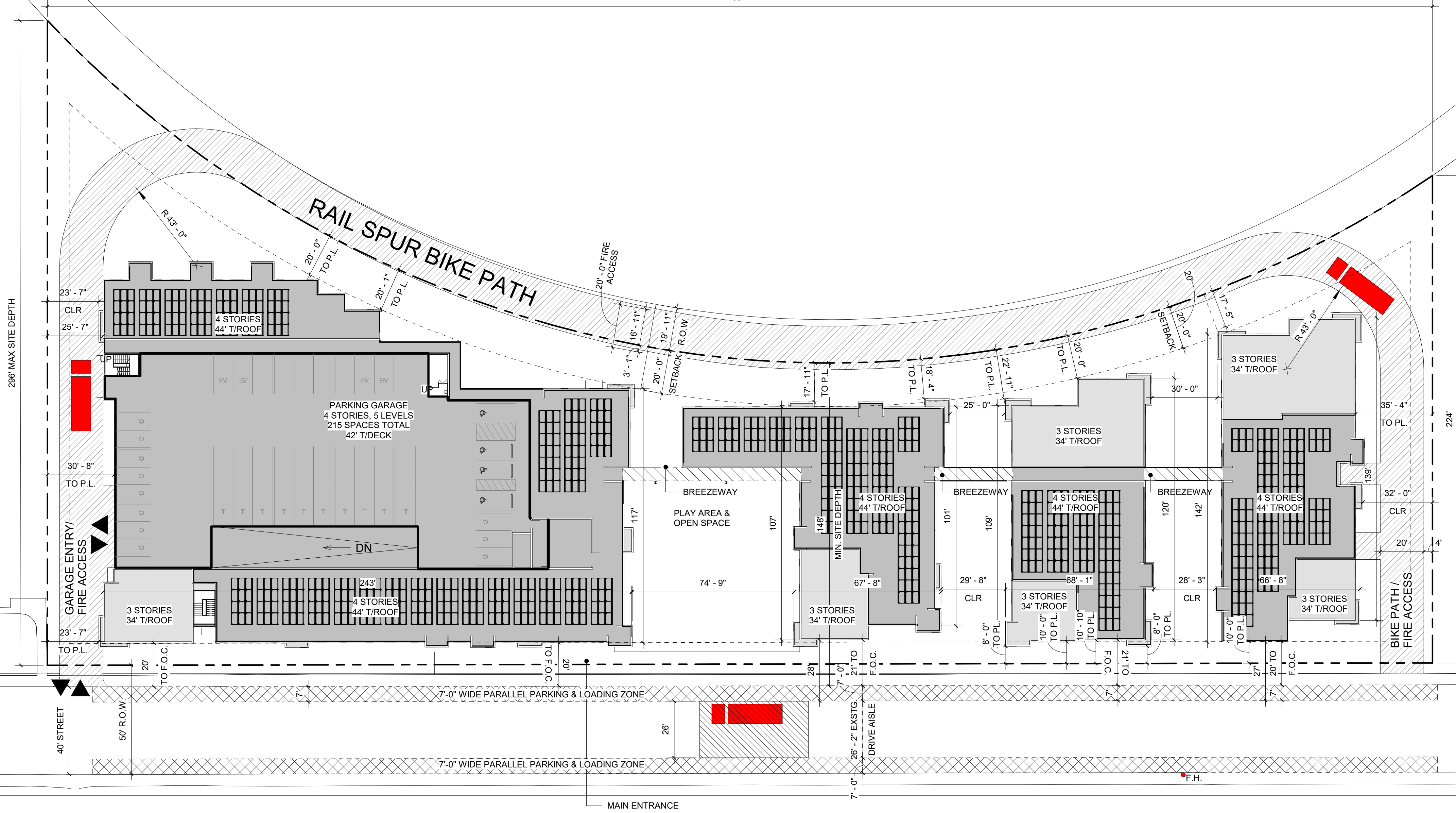
1 STORY

1 STORY

2 STORIES

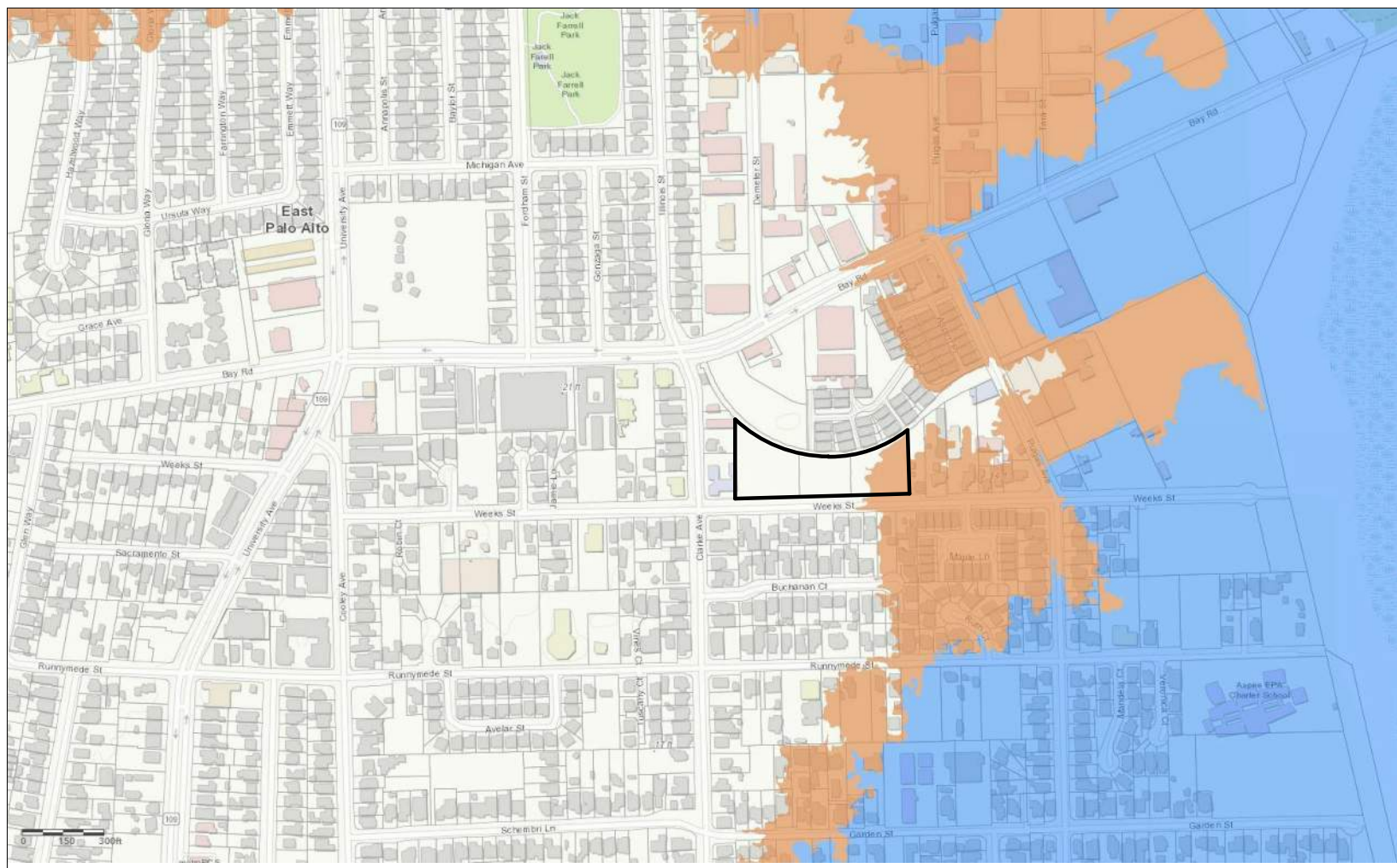
2 STORIES

637'

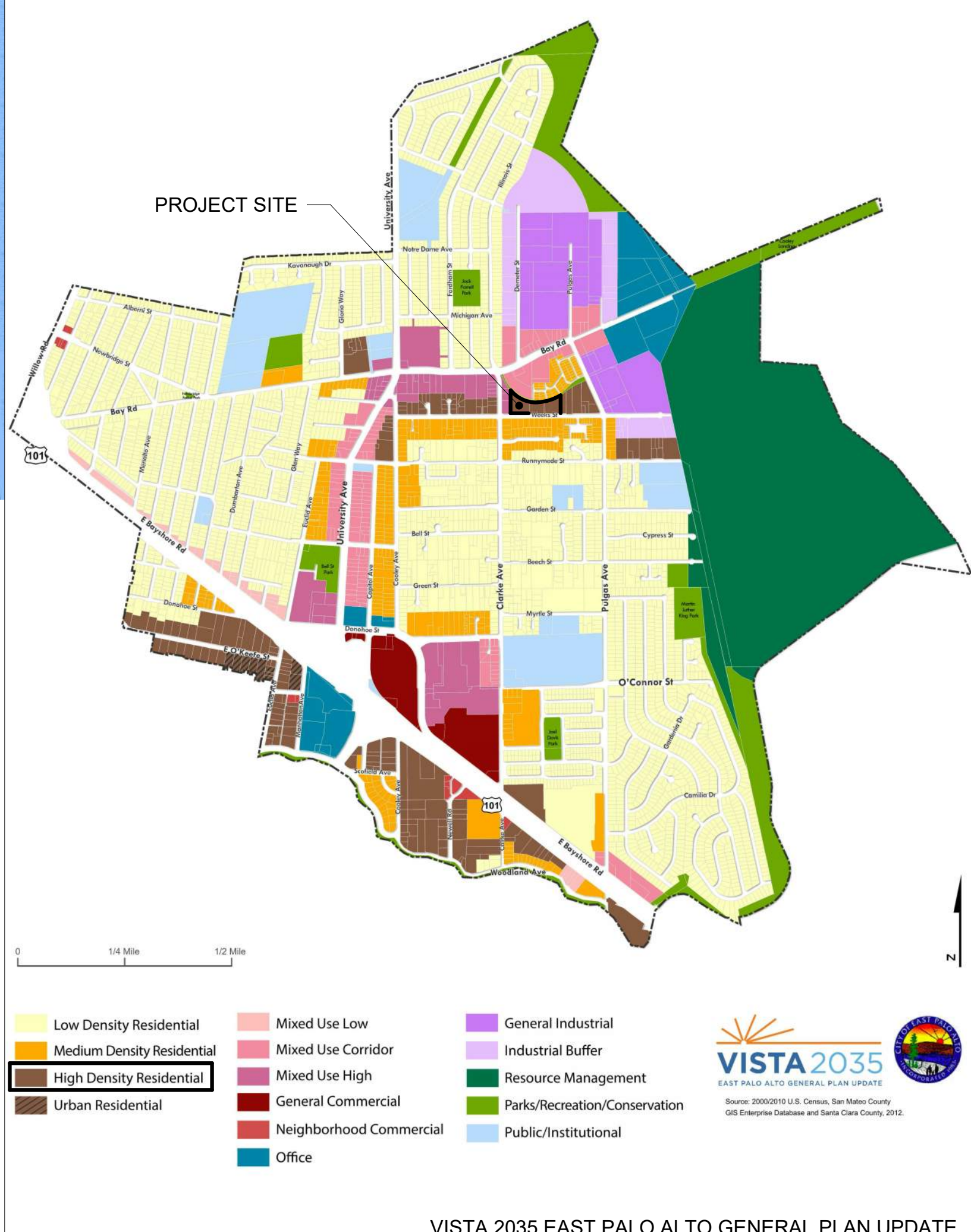


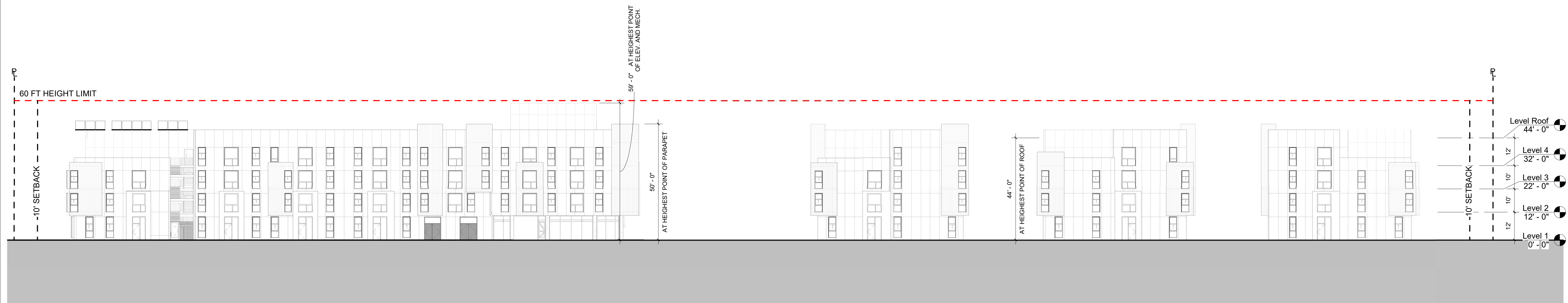
ZONING	URBAN RESIDENTIAL (Ravenswood,) High Density Residential (Vista 2013, Chapter 4, Figure 4-2B)			
REFERENCES	VISTA 2035 EAST PALO ALTO GENERAL PLAN, DATED MARCH 2017	http://www.ci.east-palo-alto.ca.us/DocumentCenter/View/1111		
	RAVENSWOOD / 4 CORNERS TOD SPECIFIC PLAN, DATED 2/22/2013	http://www.cityofepa.org/ArchiveCenter/ViewFile/Item/1111		
	EAST PALO ALTO FINAL DEVELOPMENT CODE, DATED 2018	http://cityofepa.org/DocumentCenter/View/3896		
	EPA 2035 General Plan, Chapter 4, pg 4-5	Where the documents differ, the General Plan takes precedence.		
ITEM	SECTION	REQUIRED BY ZONING	PROPOSED	STATUS
PURPOSE AND INTENT	Ravenswood / 4 Corners Chapter 6	Intended to provide opportunities for the development of single-family and multi-family homes at a moderate density. Accommodates small-lot detached single-family homes; attached singlefamily homes such as townhomes; duplexes, triplexes, and four-plexes; and multi-family apartments or condominiums. (Ravenswood / 4 Corners TOD Specific Plan)	136 Multi-Family apartments.	Complying
	EPA Development Code Chapter 18.10.010.C	R-HD – Multiple-Family High Density Residential Zone. This zone provides for higher density multiple-family housing to meet the desire for a variety of housing types. This zone is located in areas containing a diverse mix of uses within walking distance of homes, as well as in neighborhoods that already exhibit a high degree of diversity in the type and density of residential housing. This zone allows for a variety of high density building types that are compatible in scale and character with existing structures and development standards. All new development shall be designed to create attractive frontages. A range of multiple-family housing types are allowed, from townhomes to multiple-family apartments at moderate to high densities. Cultural, education, and public assembly uses are conditionally allowed. This zone implements the High Density Residential (HDR) land use designation in the General Plan. The R-HD zone further specifies two subzones: RHD-3 and RHD-5	136 Multi-Family apartments.	Complying
	EPA 2035 General Plan Chapter 4, pg 4-6	High Density Residential Description: The purpose of this designation is to provide for higher density multi-family housing to meet the City's desire for a variety of housing types. This designation is located in areas with a diverse mix of uses within walking distance of the homes, as well as in neighborhoods that already exhibit a high degree of diversity in the type and density of residential housing. The designation allows for a variety of high density building types that are compatible in scale and character with existing structures and development standards. New development should be designed to create attractive frontages.	136 Multi-Family apartments.	Complying
LOT AREA, MINIMUM	EPA Development Code Chapter 18.10 Table 2-2	12,000sf for each newly created parcel	2.61 acres	Complying
LOT WIDTH, MINIMUM	EPA Development Code Chapter 18.10 Table 2-2	50 ft. for each newly created parcel	636' - 11 3/8"	Complying
LOT Depth, MINIMUM	EPA Development Code Chapter 18.10 Table 2-2	240 ft. for each newly created parcel	138' - 4 1/4"	Existing lot does not comply.
FAR	Ravenswood / 4 Corners Chapter 6	Max. F.A.R.: 1.0	2.03 FAR 230,901 sf / 113,543 sf	Does not comply.
SITE COVERAGE	EPA Development Code Chapter 18.10 Table 2-2	70% MAX	54%	Complying
DENSITY	EPA 2035 General Plan Chapter 4, pg 4-6	22.1 - 43 units/acre (maximum of 1 dwelling unit per 1,000 feet of parcel area), or 80 to 150 persons/acre.	52 d.u./ac.(136 units / 2.61 acres)	Does not comply, density bonus sought.
DENSITY BONUS	EPA Development Code Chapter 18.36, Tables 3-5, 3-6, & 3-7	If 11% or more of units qualify as Very Low Income, (50% AMI for San Mateo County, adjusted for household size, multiplied by 30% and divided by 12) the project is eligible for a 35% Density Bonus. 30% of units planned to be rented at 30% AMI (meets requirement for Very Low Income), so the project is eligible for the maximum Density Bonus. 43 units / acre x 1.35 = 58 units/acre allowed.	52 d.u./ac.(136 units / 2.61 acres)	Complying
CONCESSIONS	EPA Development Code Chapter 18.36.050 A.2.c	2. The applicant/developer shall receive the following number of incentives or concessions: ... c. Three incentives or concessions for projects that include at least 30 percent of the total units for lower income households, at least 15 percent for very low income households, or at least 30 percent for persons and families of moderate income in a common interest development.	two of three possible concessions, Private Open Space, and F.A.R., requested.	Complying
FRONT YARD SETBACK	Ravenswood / 4 Corners Chapter 6, pg 102	5 feet, to be dedicated to landscaping or publicly accessible sidewalk	10'	Complying
SIDE YARD SETBACK	Ravenswood / 4 Corners Chapter 6, pg 102	5 feet	25' and 35' provided	Complying

EXTERIOR SIDE YARD SETBACK	Does not apply	N/A	N/A	N/A
REAR YARD SETBACK	Ravenswood / 4 Corners Chapter 6, pg 102	20 feet	20'	Complying
HEIGHT OF STRUCTURES	EPA Development Code Chapter 10.22.030 A.2	Height measurement. Height shall be measured as the vertical distance from the established grade of the pad to the highest part of the structure, including any protective guardrails and parapet walls. Structures with sloping roofs shall be measured to the peak of the roof. Structures with flat roofs shall be measured to the top of the roof, guardrail, or parapet wall.	This project has a flat roof. Heights are measured to the top of the roof.	Complying
	Vista 2030, Chapter 4, Table 4-2	High Density Residential (R-HD). A range of multi-family housing types ranging from townhomes to multi-family apartments at moderate to high densities. Maximum height of 5 stories and 60 feet.	4 Stories, 44' to top of roof. 5 occupied levels - top level of garage is not roofed	Complying
GROUND FLOOR HEIGHT	Ravenswood / 4 Corners, EPA Development Code, and EPA 2035 General Plan	None	N/A	N/A
STREET TREES, LIGHTING & SIDEWALK	EPA Development Code Chapter 18.34.110 Lighting	All outdoor lighting shall be arranged so as to keep light directed only on the subject property. It is unlawful to create illumination exceeding 0.1 foot-candles on any adjacent property. It is unlawful to create or allow direct glare, whether from floodlights or from high temperature processes (e.g. combustion, welding, etc.) visible at the property line in violation of Section 18.34.110.	Will comply	Will Comply
	EPA 2035 General Plan, Chapter 6, Page 6-8, pg 6-13	Designated "Neighborhood Street" (per pg 6-13). Additional definition of and information about each street type is provided in the NACTO Urban Street Design Guide.	Will comply	Will Comply
COMMON OPEN SPACE	EPA Development Code Chapter 18.10 Table 2-2	100 sq. ft. (minimum dimension [length/width] shall be six feet)	200sf per unit. 200 x 136sf = 27,200sf	Complying
PRIVATE OPEN SPACE	EPA Development Code Chapter 10.10, Table 2-2	Ground Floor Units: 50 -100 sq. ft. (The minimum dimension [length/width] shall be six feet) Upper Floor Units: 50 sq. ft. (The minimum dimension [length/width] shall be six feet)	2,200sf / 136 units = 16sf per unit	Does not comply, concession sought under Density Bonus per EPA Development Code Chapter 10.22.030 A. 2
OFF STREET PARKING	Ravenswood / 4 Corners Chapter 6, pg 102	Residential: One parking space per dwelling unit for one-bedroom units and studios; 0.5 additional spaces for each additional bedroom.	215 parking stalls	Complying
OFF STREET PARKING ACCESS	Ravenswood / 4 Corners Chapter 6, pg 102	Access: One pedestrian access point per 150 linear feet of street frontage shall be provided from the street to parking lots located in the rear of buildings. A maximum of two curb cuts per street frontage shall be provided.	2 points provided	Complies
OFF STREET LOADING	EPA Development Code Chapter 18.30 Table 3.3	No Loading Requirement for residential uses	None	Complying
BICYCLE PARKING	EPA Development Code Chapter 18.30 Table 3.3	Refers to Santa Clara County Valley Transportation Authority, Bicycle Technical Guidelines Section III, Bike Parking	68 Class I Spaces, 9 Class II spaces	Complying
	VTA Bicycle Technical Guidelines Chapter 10, Table 10-3	1 Class I per 3 units + 1 Class II per 15 units for residential		
FLOOD ZONE REQUIREMENTS	Ravenswood / 4 Corners	None	Building is not in the 100-year flood zone. An Eastern portion of the site falls within the 500-year flood zone.	N/A
BAY WINDOWS	EPA Development Code Chapter 18.22.060. C	Allowed Encroachments into Setback Areas. Encroachments into required setback areas are allowed in compliance with the following standards: 1. Awnings, canopies, chimneys, cornices, eaves, bay windows and greenhouse windows, or any other architectural features may extend into front, side, or rear setback areas a distance not exceeding two feet; provided that no architectural feature shall extend to within three feet of any side or rear parcel line.	Bay windows do not extend into setback more than 2 feet.	Complying

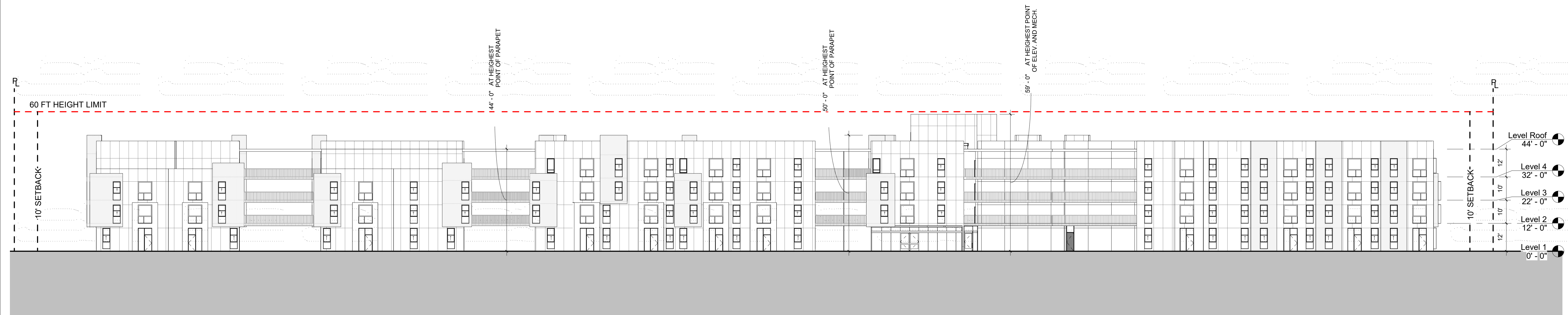


General Plan Land Use Designations





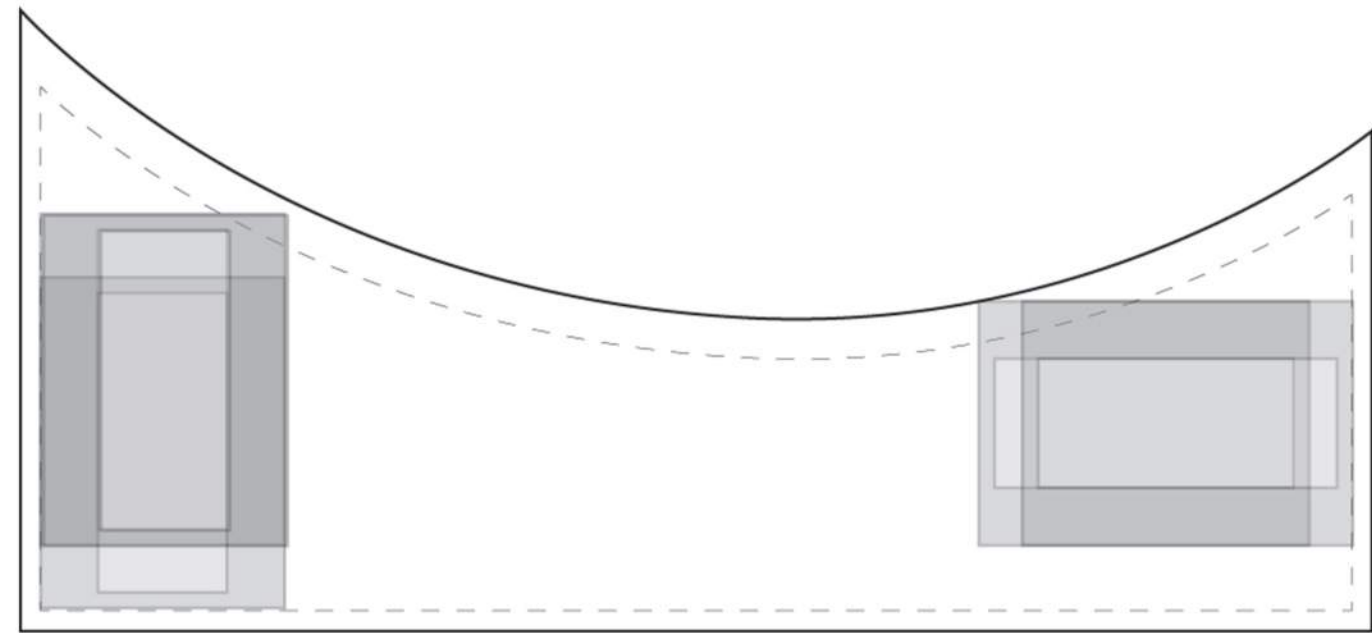
② HEIGHT DIAGRAM (SOUTH ELEVATION)
1" = 20'-0"



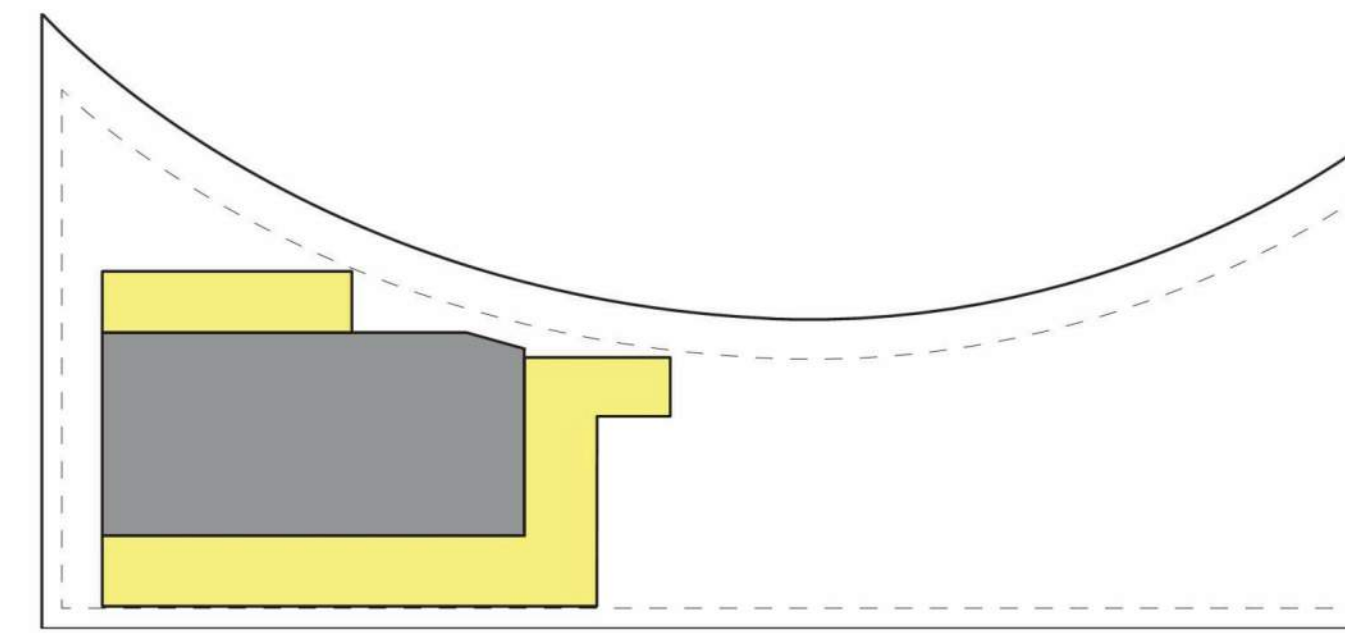
① HEIGHT DIAGRAM (NORTH ELEVATION)
1" = 20'-0"

COMMUNITY FEEDBACK

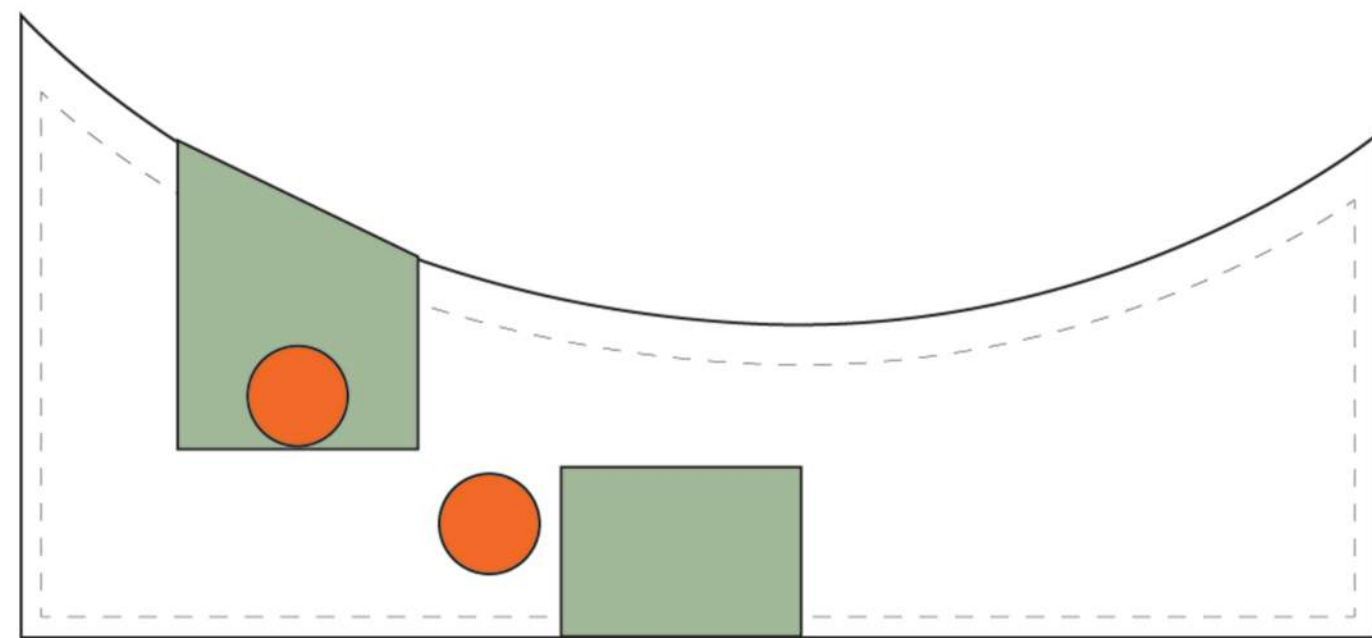
RESPONSE



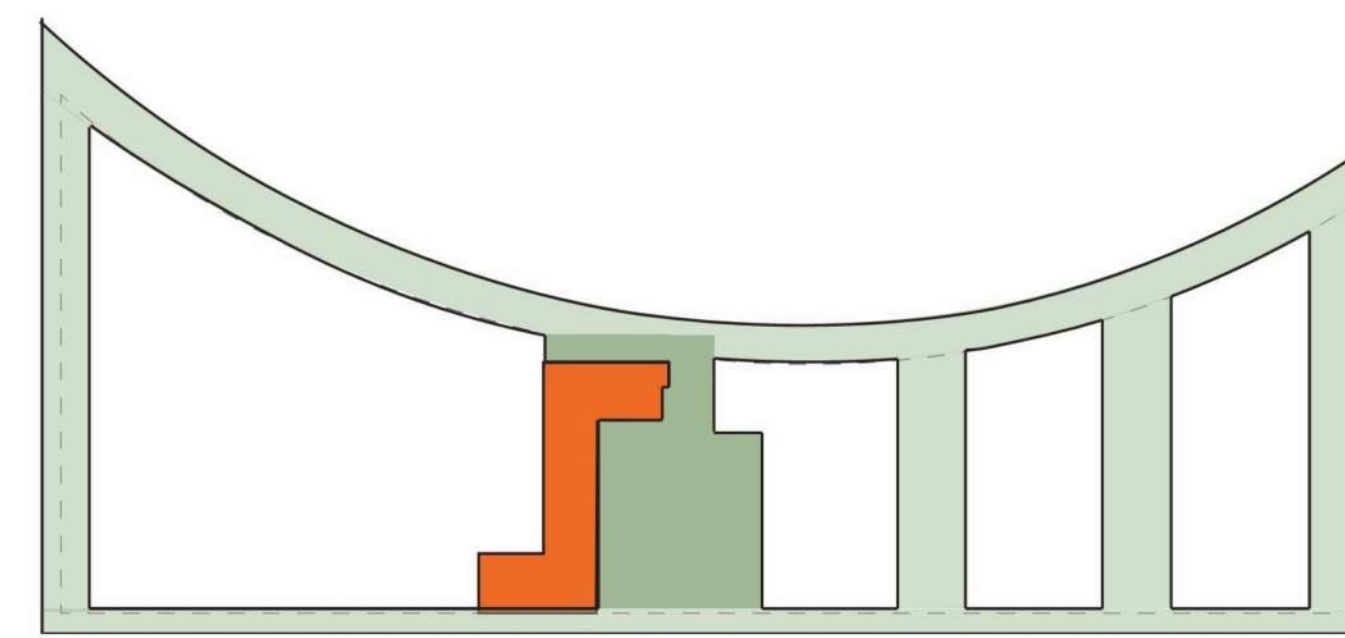
WRAPPED GARAGE ON WEST SIDE



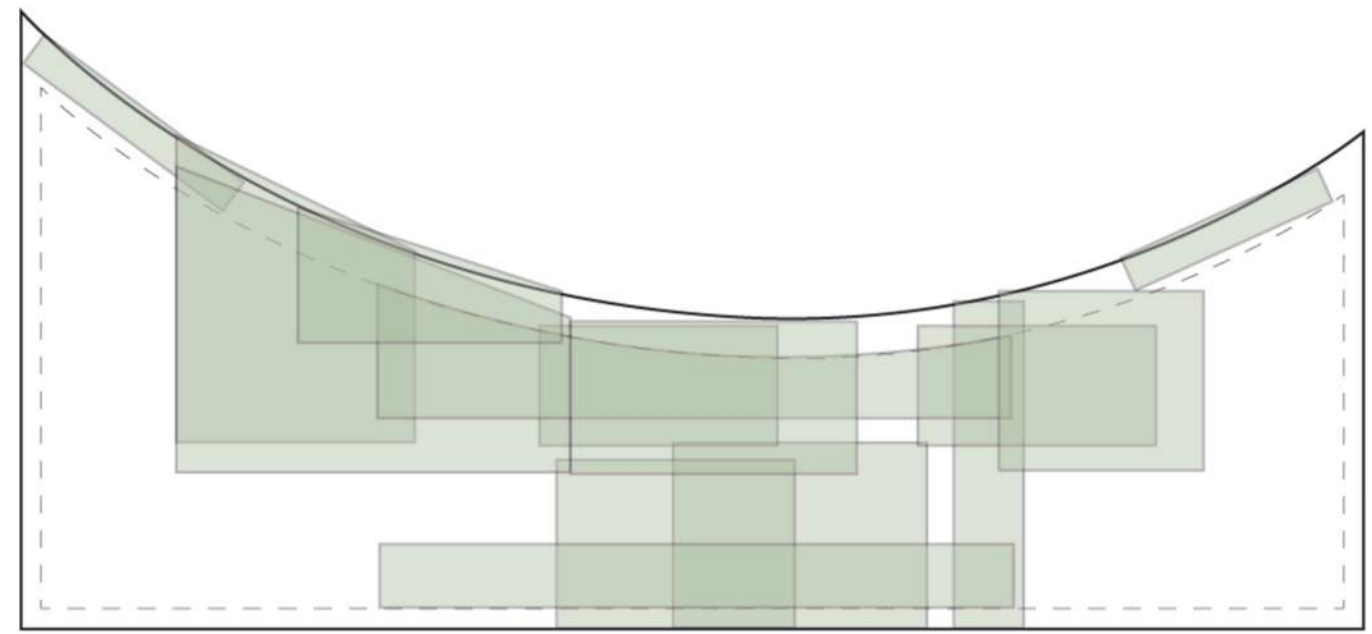
WRAPPED GARAGE ON WEST SIDE



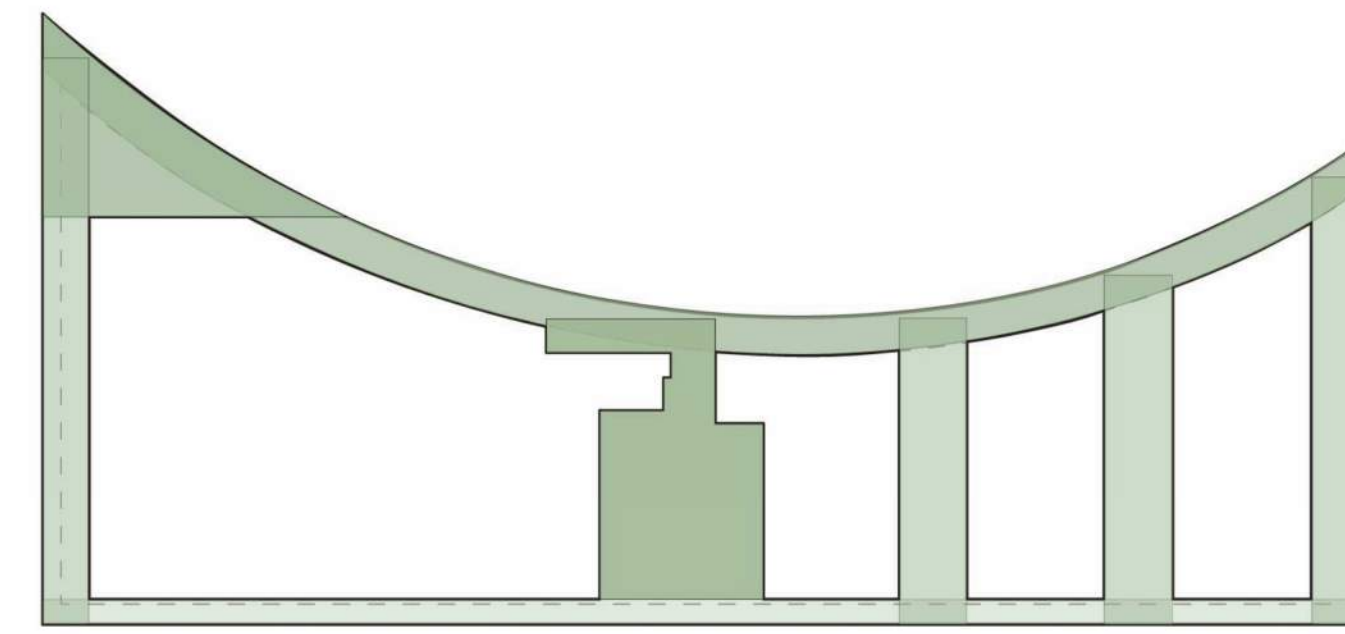
AMENITIES CLOSE TO GREEN SPACE



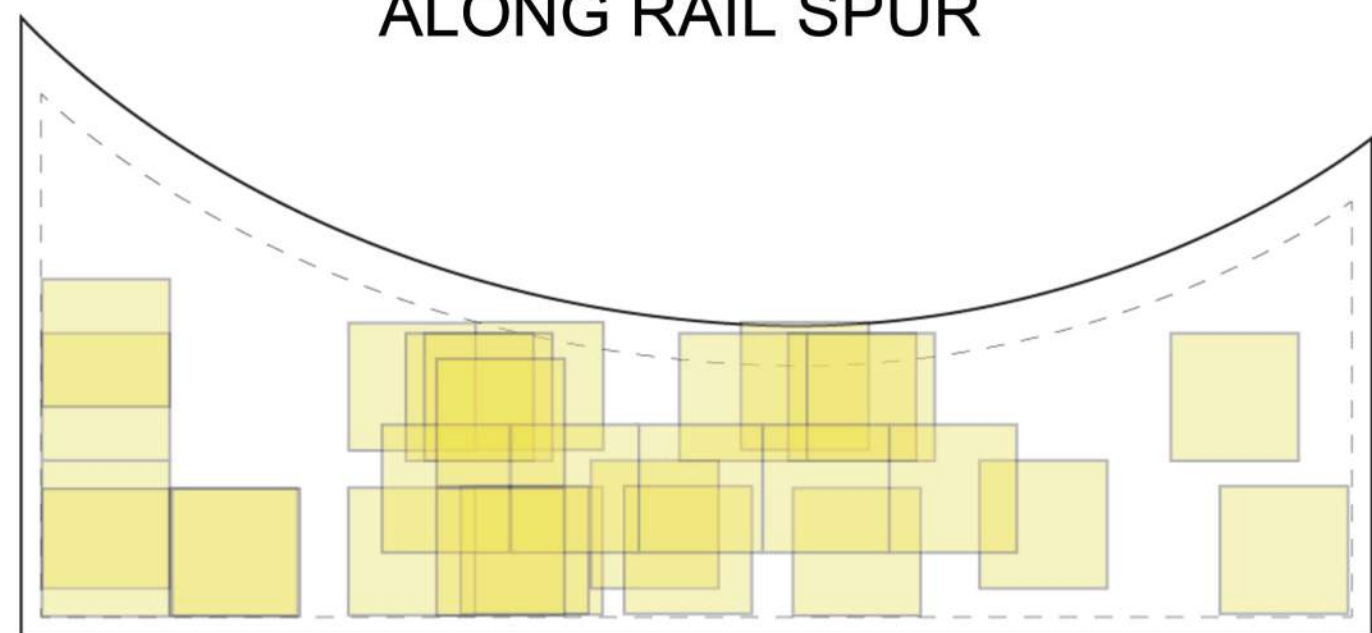
AMENITIES CLOSE TO GREEN SPACE



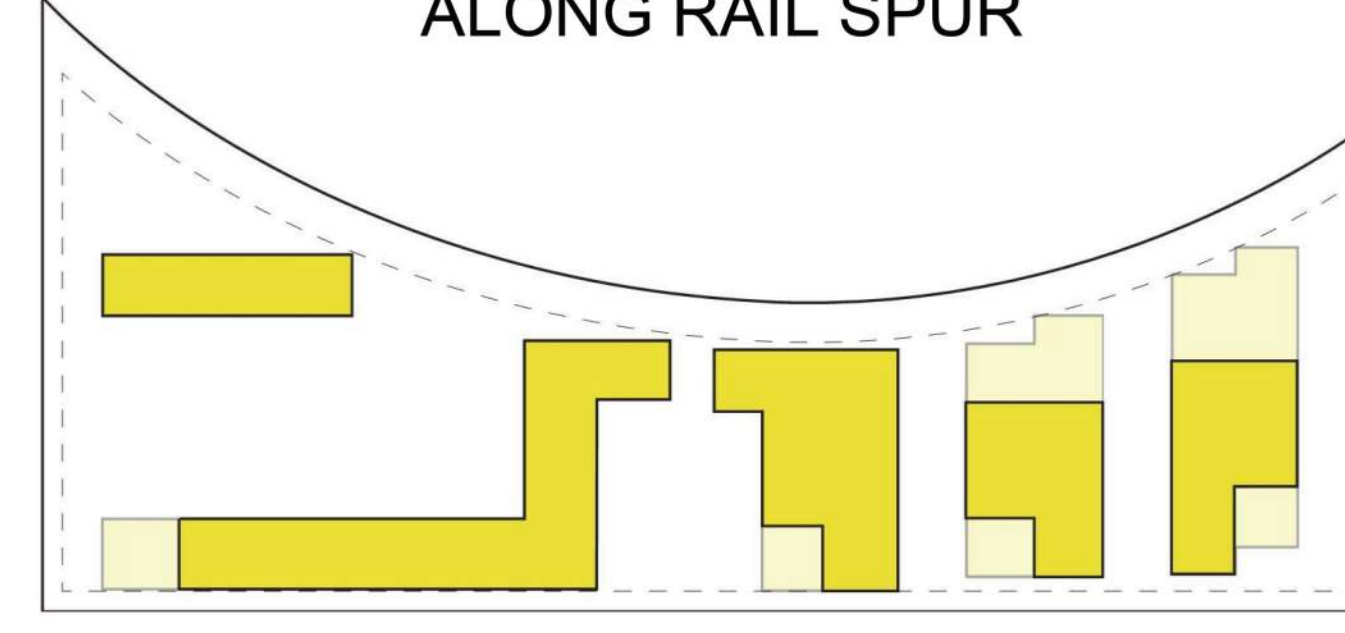
GREEN SPACE CENTRALIZED AND ALONG RAIL SPUR



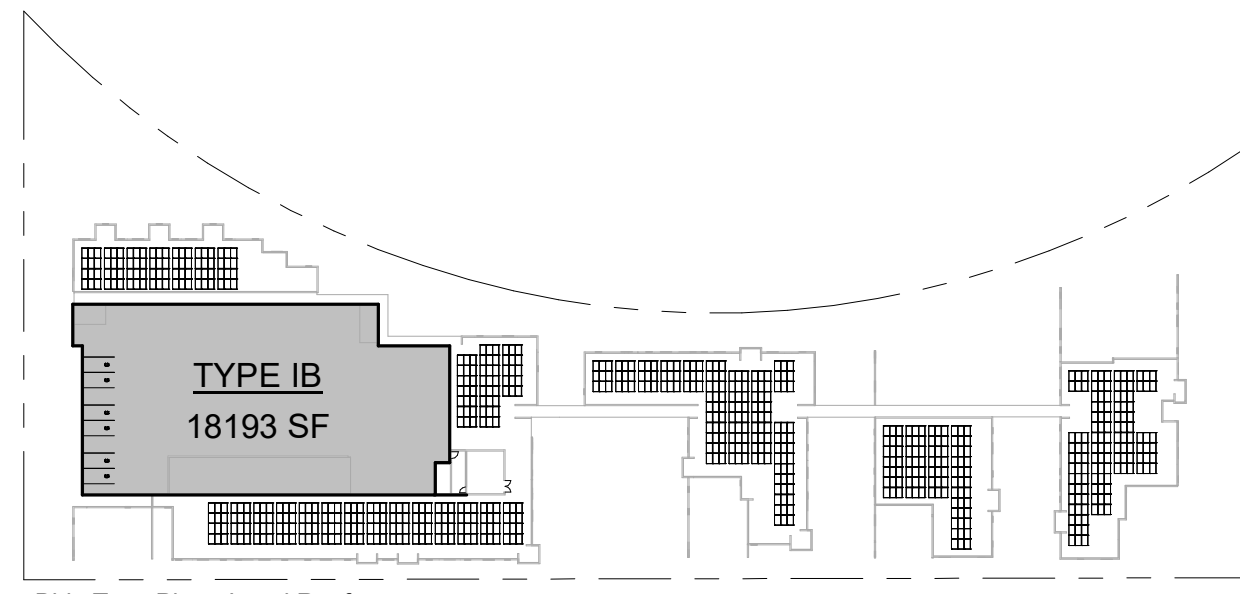
GREEN SPACE CENTRALIZED AND ALONG RAIL SPUR



HEIGHT IN THE CENTER-WEST

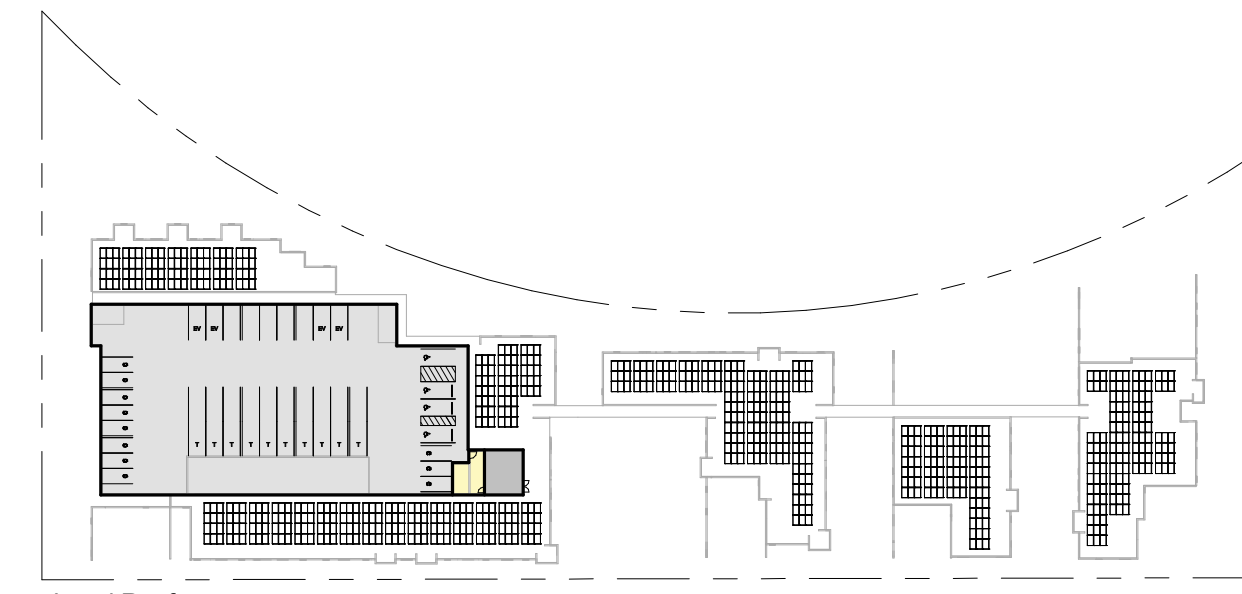


HEIGHT FOCUSED NEAR WEEKS ST.

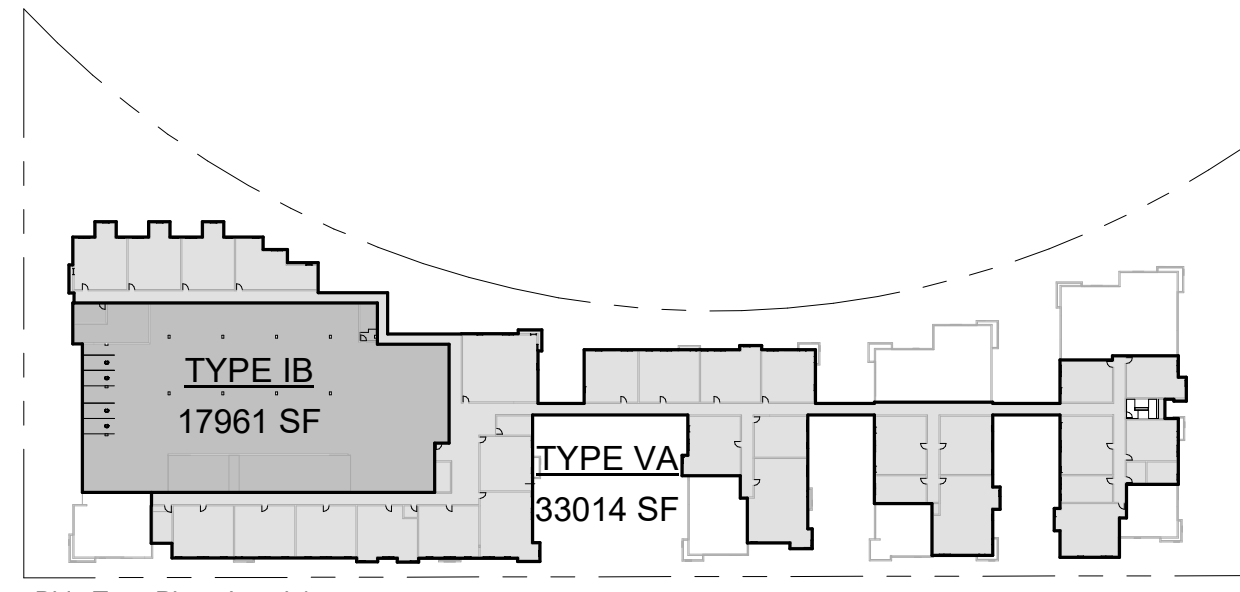


5 Bldg Type Plan - Level Roof
1" = 100'-0"

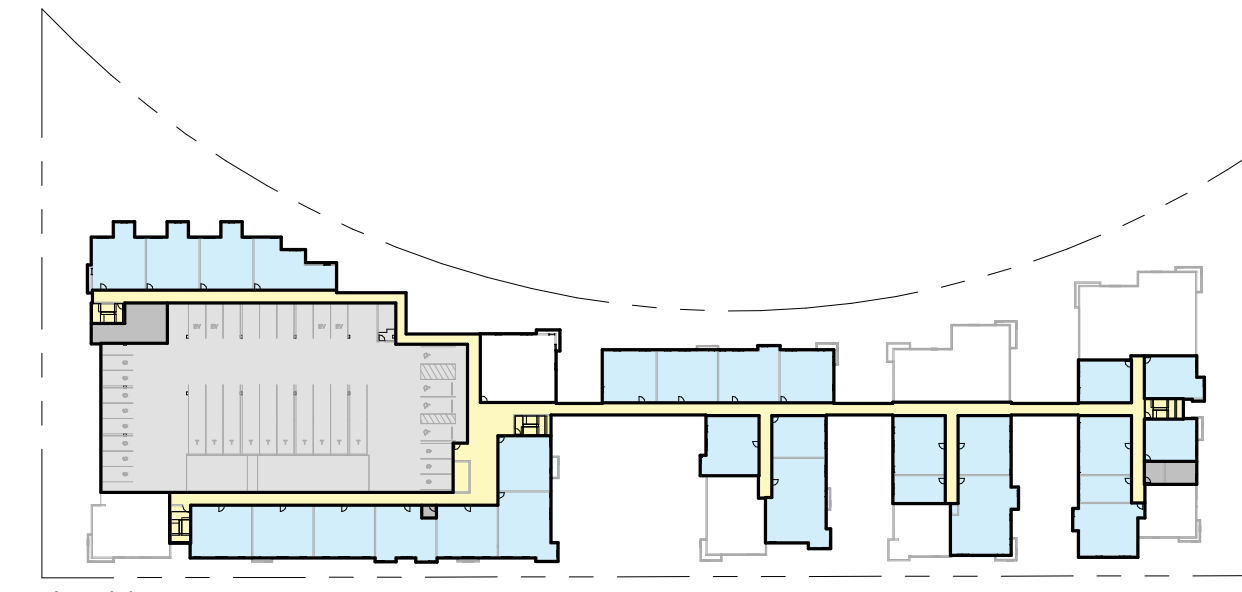
BLDG TYPE GSF	
Name	Area
TYPE IB	89,969 SF
TYPE VA	157,274 SF
	247,242 SF



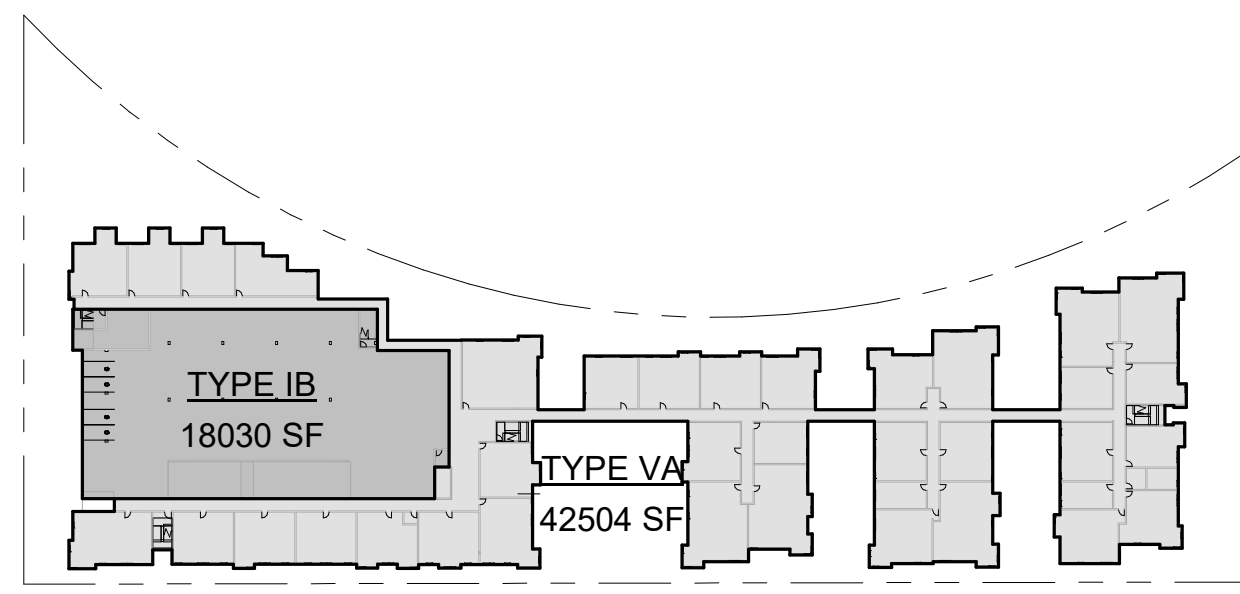
10 Level Roof
1" = 100'-0"



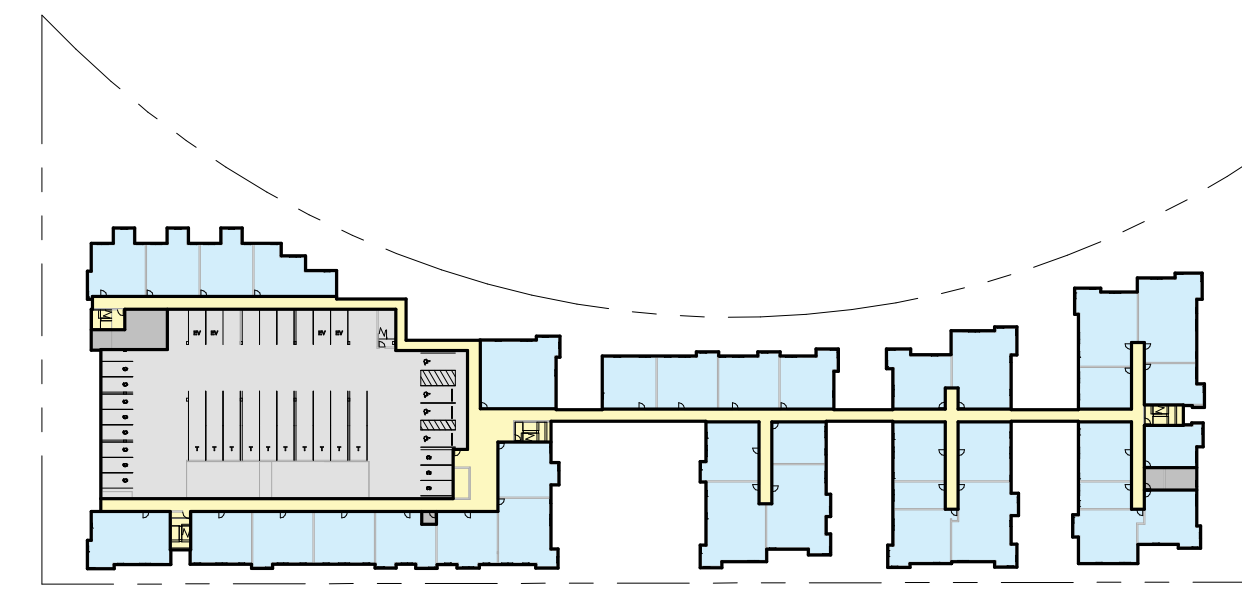
4 Bldg Type Plan - Level 4
1" = 100'-0"



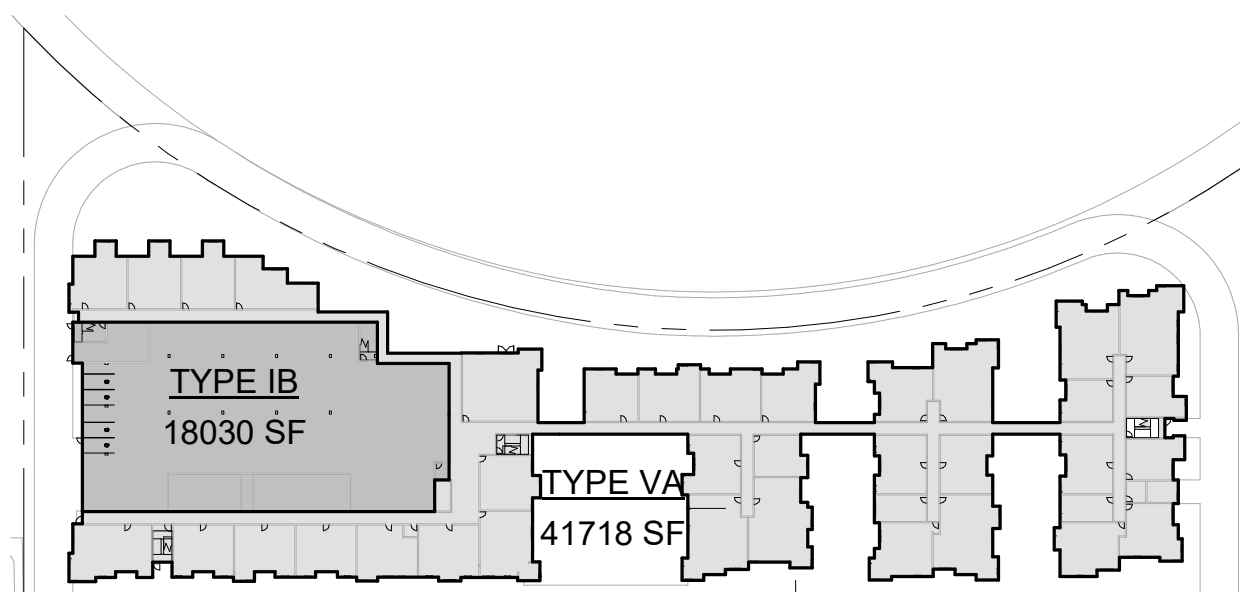
9 Level 4
1" = 100'-0"



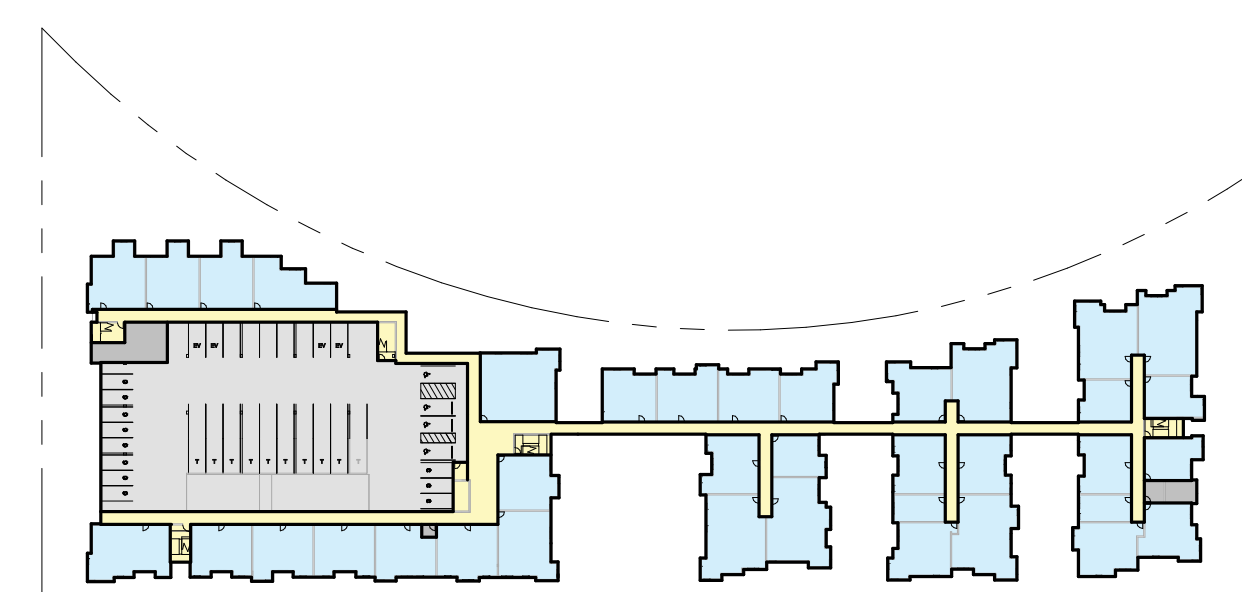
3 Bldg Type Plan - Level 3
1" = 100'-0"



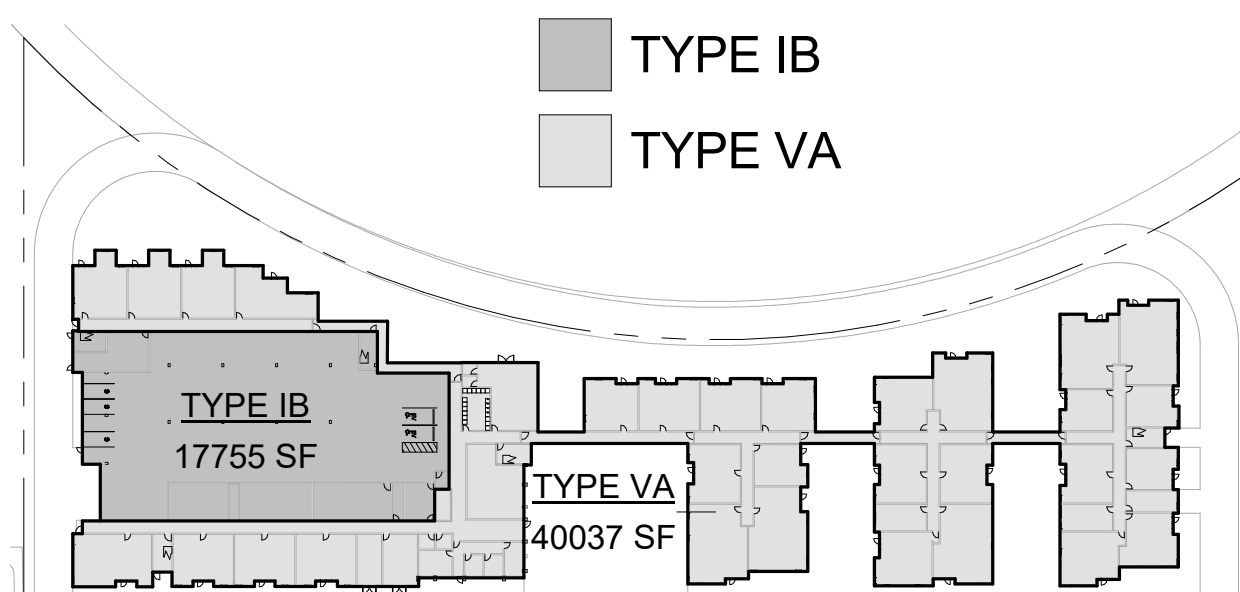
8 Level 3
1" = 100'-0"



2 Bldg Type Plan - Level 2
1" = 100'-0"

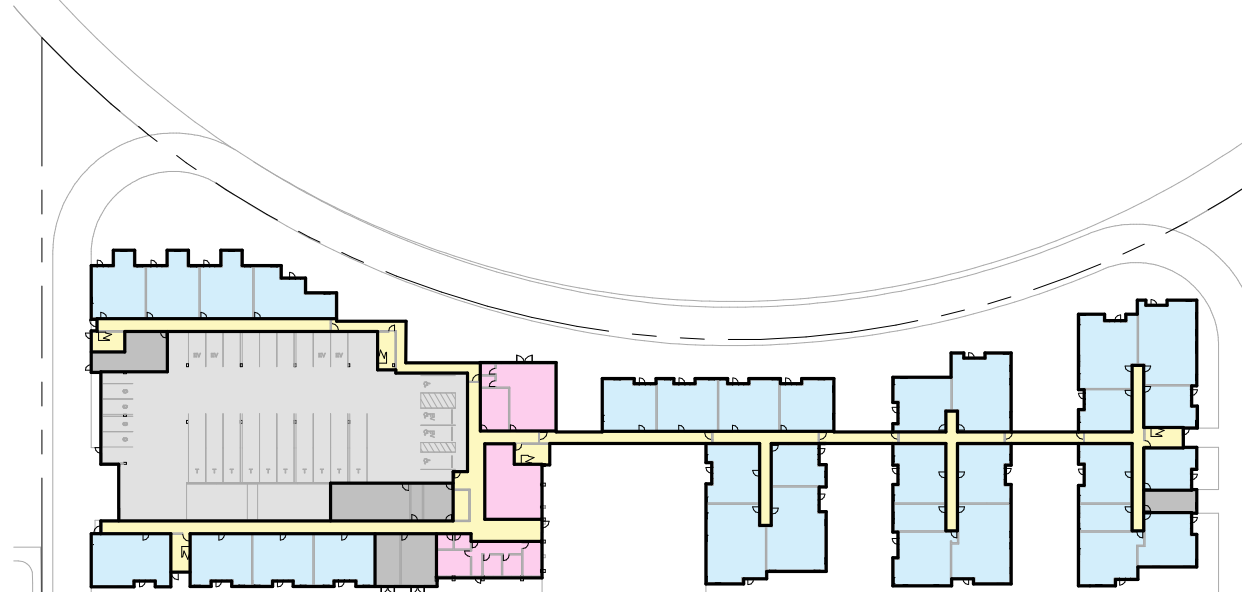


7 Level 2
1" = 100'-0"



1 Bldg Type Plan - Level 1
1" = 100'-0"

USE GSF	
Name	Area
CIRCULATION	32,692 SF
COMMON	3,557 SF
GARAGE	84,773 SF
RESIDENTIAL	119,009 SF
SERVICE	6,651 SF
	246,682 SF



6 Level 1
1" = 100'-0"

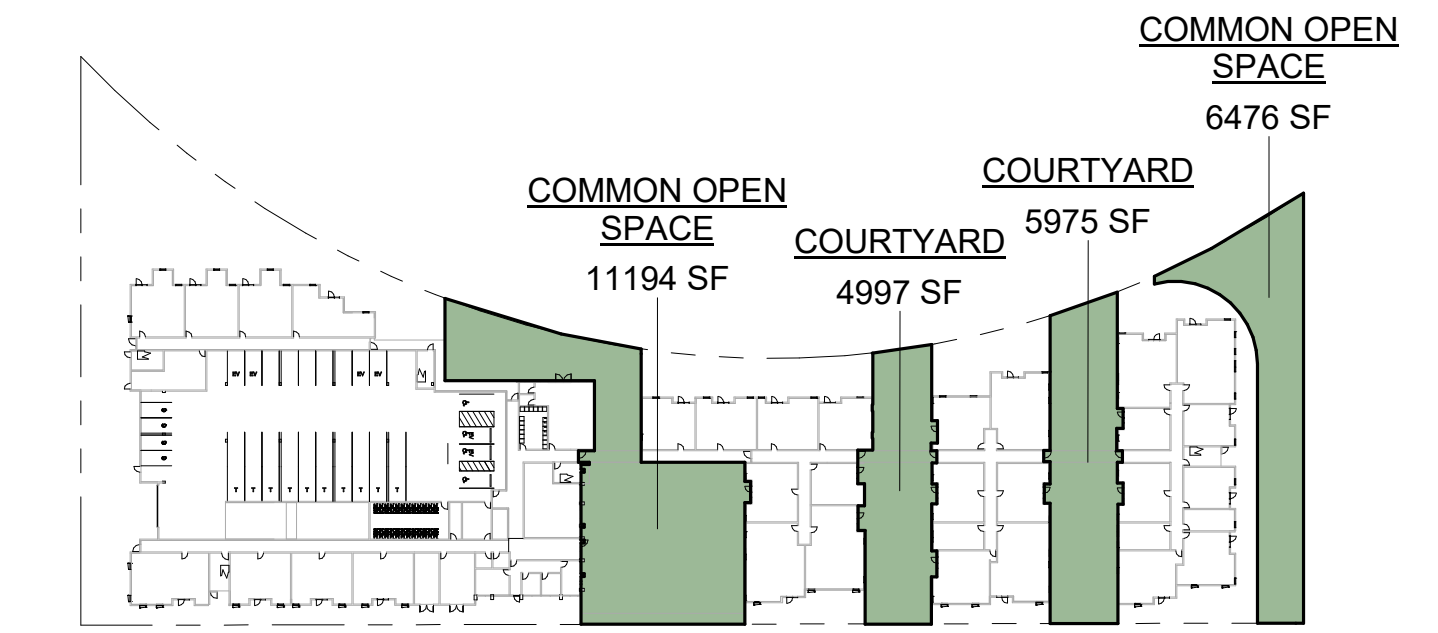
COMMON OPEN SPACE GSF
28,641 SF

OPEN SPACE REQUIREMENTS
PER E.P.A. DEVELOPMENT CODE CHAPTER 10.10, TABLE 2.2, 200 SF COMMON OPEN SPACE REQUIRED.

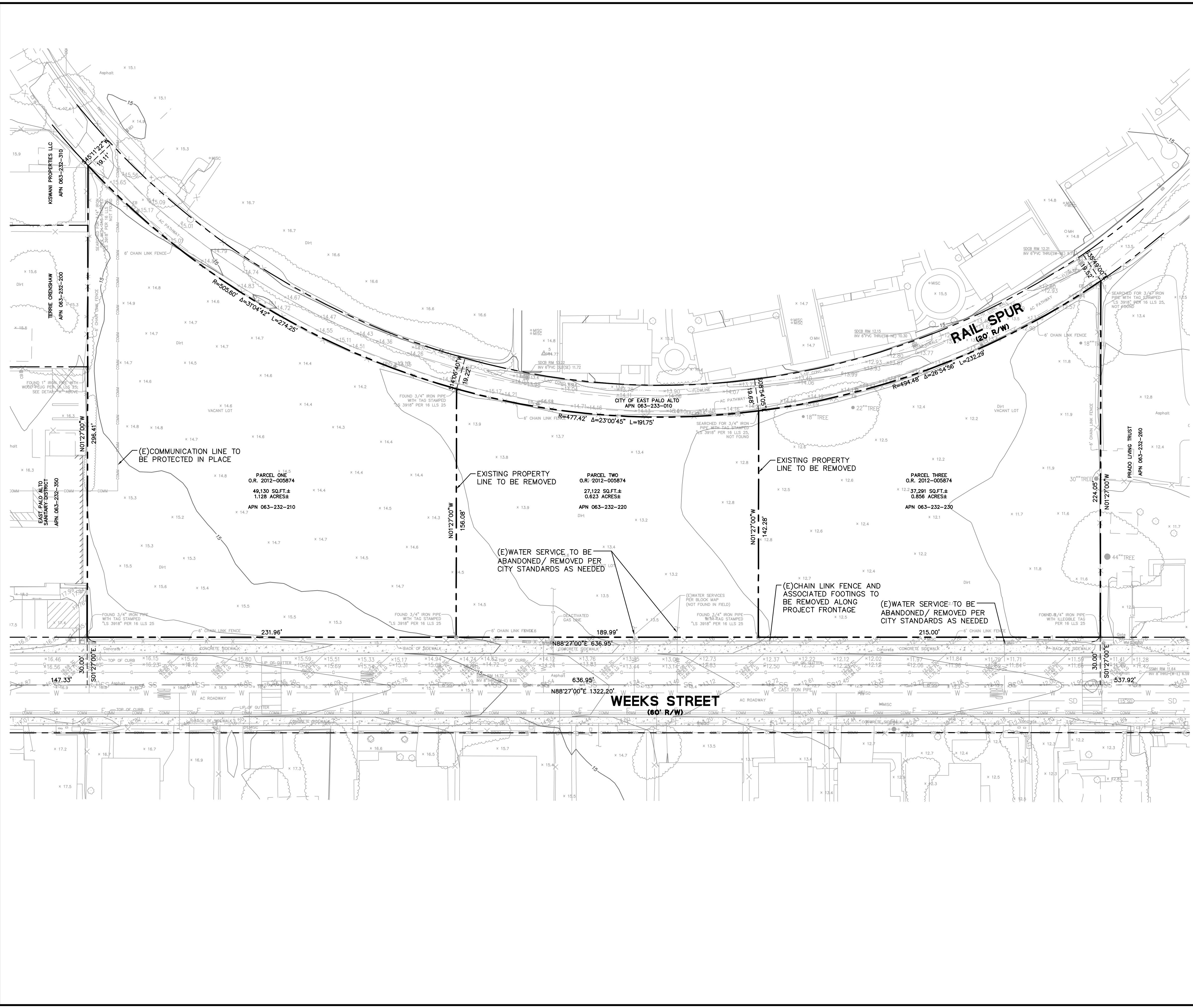
136 UNITS X 200 SF/UNIT = **27,200 SF COMMON OPEN SPACE REQUIRED PROJECT COMPLIES.**

PER E.P.A. DEVELOPMENT CODE CHAPTER 10.10, TABLE 2.2, 100 SF PRIVATE OPEN SPACE REQUIRED.

NO PRIVATE OPEN SPACE PROVIDED, DENSITY BONUS CONCESSION SOUGHT.



11 Gross Green Space - Level 1
1" = 100'-0"



LEGEND

COMM	(E) COMMUNICATION LINE
E	(E) ELECTRIC LINE
G	(E) GAS LINE
SS	(E) SANITARY SEWER LINE
SD	(E) STORM DRAIN LINE
W	(E) WATER LINE
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	CENTERLINE

ABBREVIATIONS

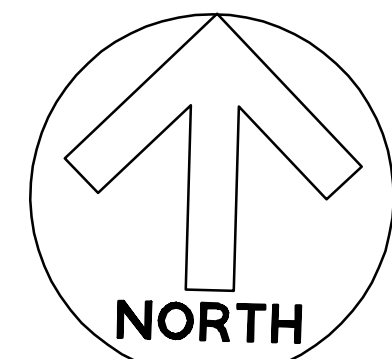
APN	ACCESSORS PARCEL NUMBER
(E)	EXISTING
L	LENGTH
R	RADIUS
R/W	RIGHT OF WAY

BASIS OF BEARINGS
THE BEARING NORTH 88°27'00" EAST OF THE NORTHERLY LINE OF WEEKS STREET, BETWEEN FOUND IRON PIPES, AS SAID IRON PIPES AND BEARING ARE SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON SEPTEMBER 6, 1995 IN BOOK 16 OF L.L.S. MAPS AT PAGE 25, RECORDS OF SAN MATEO COUNTY, WAS HELD AS THE BASIS OF BEARINGS OF THIS SURVEY.

BENCHMARK
CITY OF EAST PALO ALTO BENCHMARK: BM-5
DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN LANDSCAPING AT SOUTH EDGE OF NEWBRIDGE STREET SIDEWALK NEAR INTERSECTION WITH BAY ROAD AND 100' WESTERLY OF BUS STOP.

ELEVATION = 16.81 FEET, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

- NOTES**
- ALL DISTANCES, DIMENSIONS AND ELEVATIONS ARE IN FEET AND DECIMALS THEREOF.
 - FIELD SURVEY WAS PERFORMED BY BKF ENGINEERS ON AUGUST 6, 7, 14 AND 20, 2019.
 - AERIAL TOPOGRAPHY WAS PERFORMED BY 360 AERIAL SURVEYS ON AUGUST 2, 2019.
 - THE LOCATION OF UTILITIES AND SERVICES SHOWN ON THIS SURVEY ARE DERIVED FROM A COMBINATION OF SURFACE OBSERVATION AND BLOCK MAPS. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY ADDITIONAL UTILITIES OR SERVICES NOT SHOWN ON THE SURVEY.
 - ON THE DAY OF THE FIELD SURVEY THERE WAS NO OBSERVED EVIDENCE OF PAINT MARKINGS FOR UNDERGROUND UTILITIES AND SERVICES.
 - TREE LABELS REPRESENT THE DIAMETER OF THE TREE TRUNK IN INCHES AT BREAST HEIGHT. SEE LANDSCAPE PLANS FOR TREE DISPOSITION PLAN
 - INFORMATION REGARDING BOUNDARY AND EASEMENTS: BKF ENGINEERS RELIED ON THE INFORMATION PROVIDED IN THE PRELIMINARY TITLE REPORT ISSUED BY THE OLD REPUBLIC TITLE COMPANY, ORDER No. 1117020276-JM, DATED MARCH 3, 2019.
 - FEMA FLOOD HAZARD INFORMATION PER MAP NUMBER 06081C0307F DATED APRIL 5, 2019: PROJECT SITE IS LOCATED WITHIN TWO FLOOD ZONES: ZONE X, AREA OF MINIMAL FLOOD HAZARD, AND ZONE X, 0.2 PERCENT ANNUAL CHANCE FLOOD HAZARD



DRAWING NAME: \\BKF-SJ\vol14\2019\190925_EPA_965_Weeks_s\1\ENG\PLANNING\Sheets\C1-965W-EXCON.dwg
PLOT DATE: 10-03-19 PLOTTED BY: LEHM

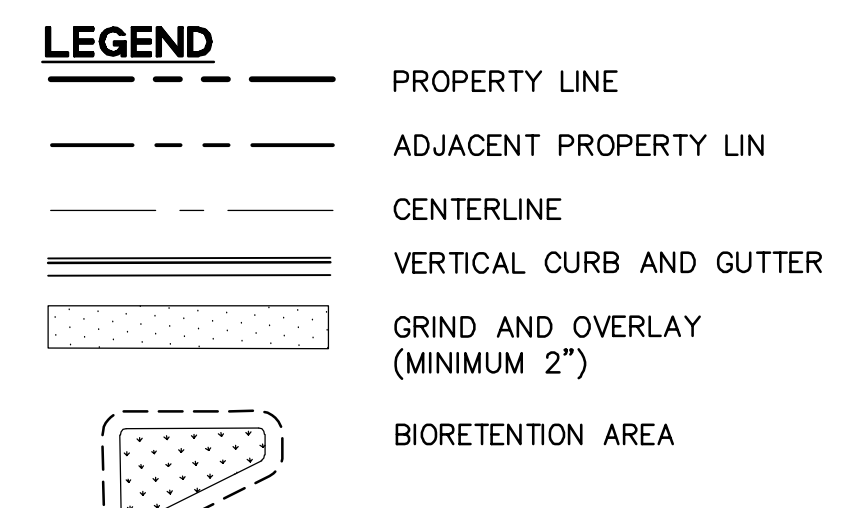
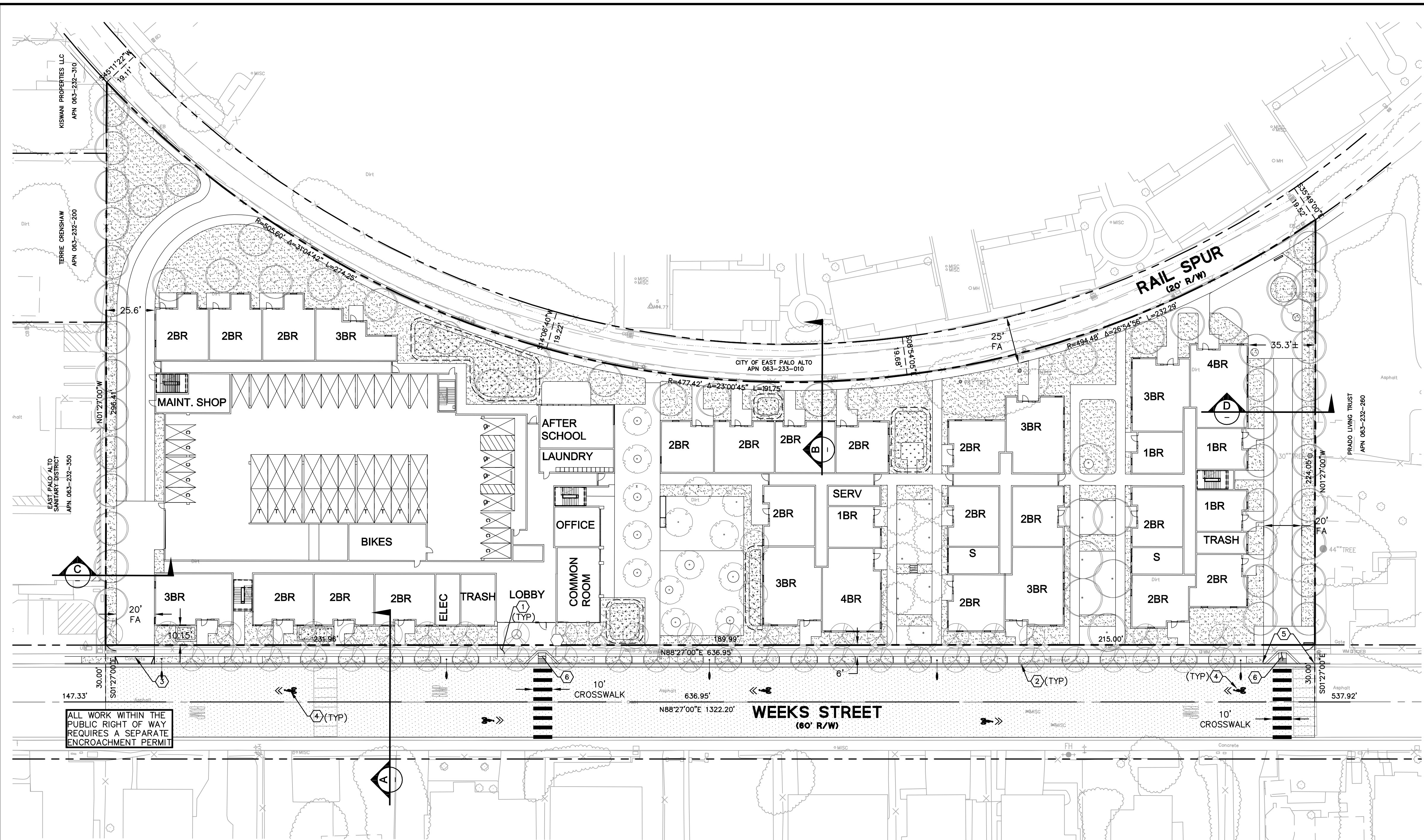
Date	10/02/2019
Scale	AS SHOWN
Design	EL
Drawn	SP
Approved	FCG
Job No	20190025

Revisions

No.	
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Drawing Number: **C1.0**
1 OF **6**

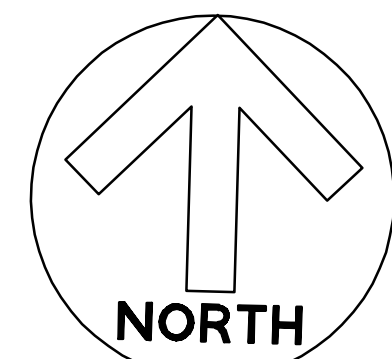
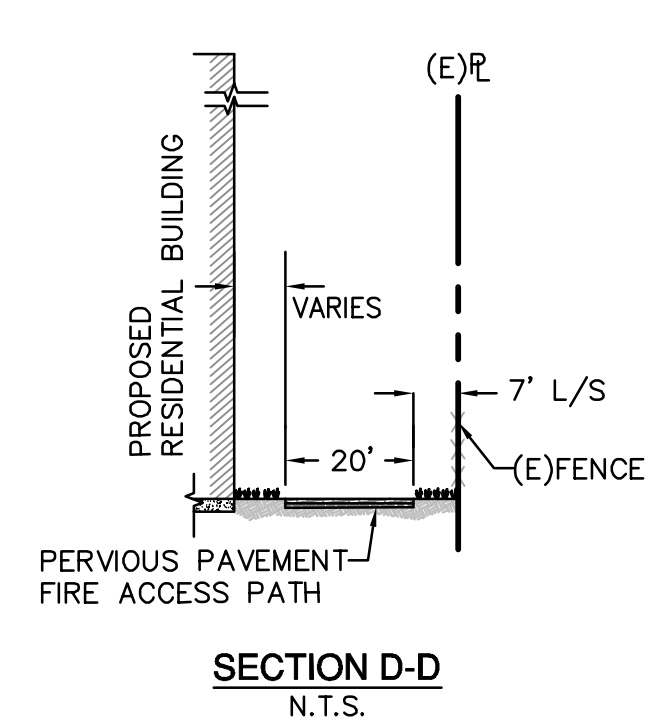
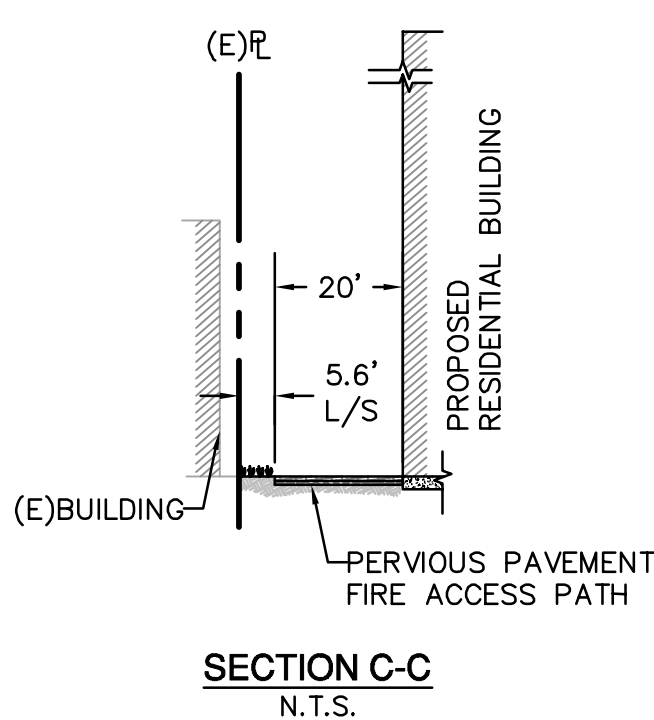
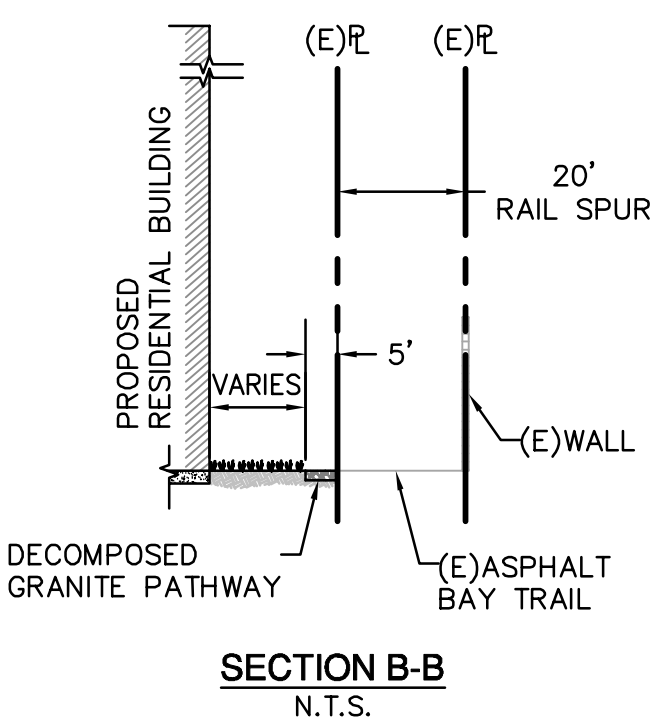
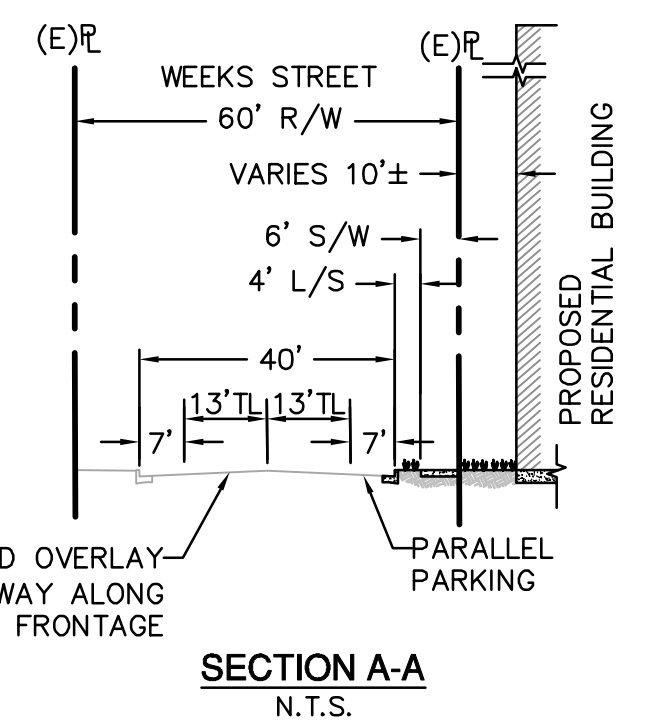
Date	Revisions	No.
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Scale	AS SHOWN	
Design	EL	
Drawn	SP	
Approved	FCG	
Job No	2019025	



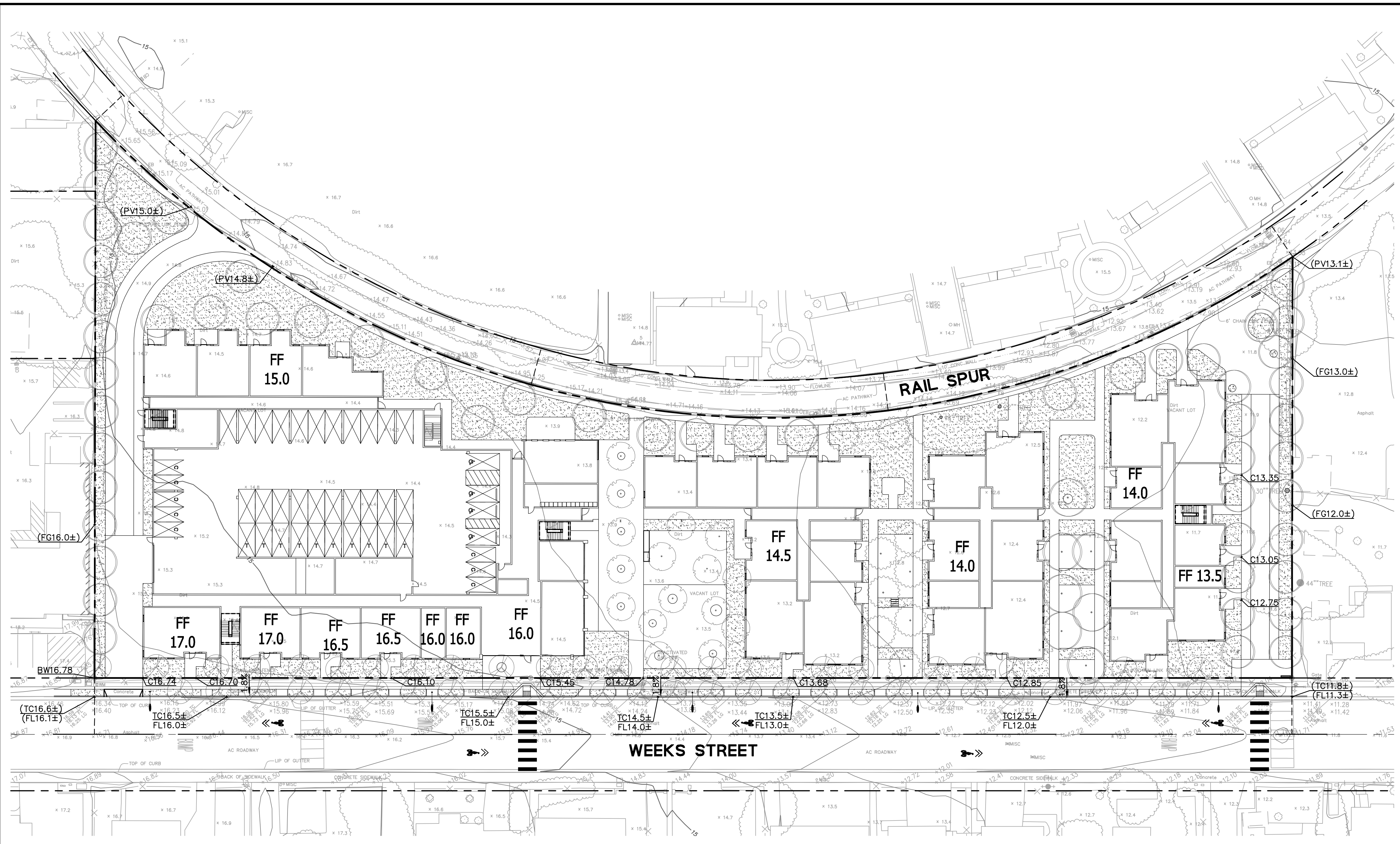
- ABBREVIATIONS**
- (E) EXISTING
 - ESMT EASEMENT
 - FA FIRE ACCESS
 - HDM HIGHWAY DESIGN MANUAL
 - L/S LANDSCAPE
 - (N) NEW
 - NTS NOT TO SCALE
 - PL PROPERTY LINE
 - R RADIUS
 - TL THROUGH LANE
 - (TYP) TYPICAL
 - S/W SIDEWALK

- KEYNOTES**
- NEW SIDEWALK PER CITY STANDARDS
 - NEW VERTICAL CURB AND GUTTER TYPE A PER CITY STANDARDS
 - NEW 20' WIDE DRIVEWAY PER CITY STANDARDS
 - NEW SHARROW PER HDM
 - ROLLED CURB FOR FIRE ACCESS
 - NEW CURB RAMP PER CITY STANDARDS

ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT



DRAWING NAME: \\BKF-SU\vol14\2019\190925_EPA_965_Weeks_st\ENG\PLANNING\SHEETS\C2-965W-SITE.dwg
PLOT DATE: 10-03-19 PLOTTED BY: LEHM

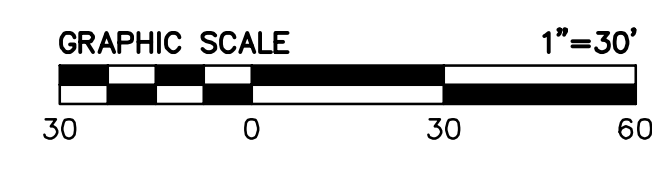
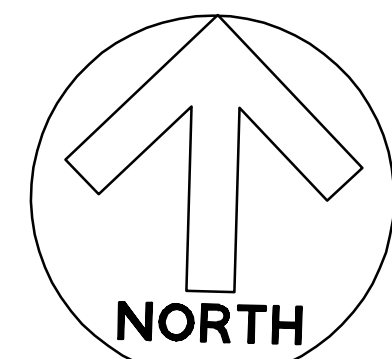


LEGEND:
--- GRADE BREAK
x% SLOPE
--- PV26.5 SPOT ELEVATION
--- (PV26.0±) SPOT ELEVATION, CONFORM TO EXISTING

ABBREVIATIONS:
ADA AMERICANS WITH DISABILITIES ACT
BLDG BUILDING
BW BACK OF SIDEWALK
EX EXISTING
FF FINISHED FLOOR
FG FINISHED GRADE
FL FLOWLINE
FS FINISHED SURFACE
HP HIGH POINT
LP LOW POINT
MA MATCH
MAX MAXIMUM
MIN MINIMUM
PV PAVEMENT
TC TOP OF CURB

GRADING NOTES:

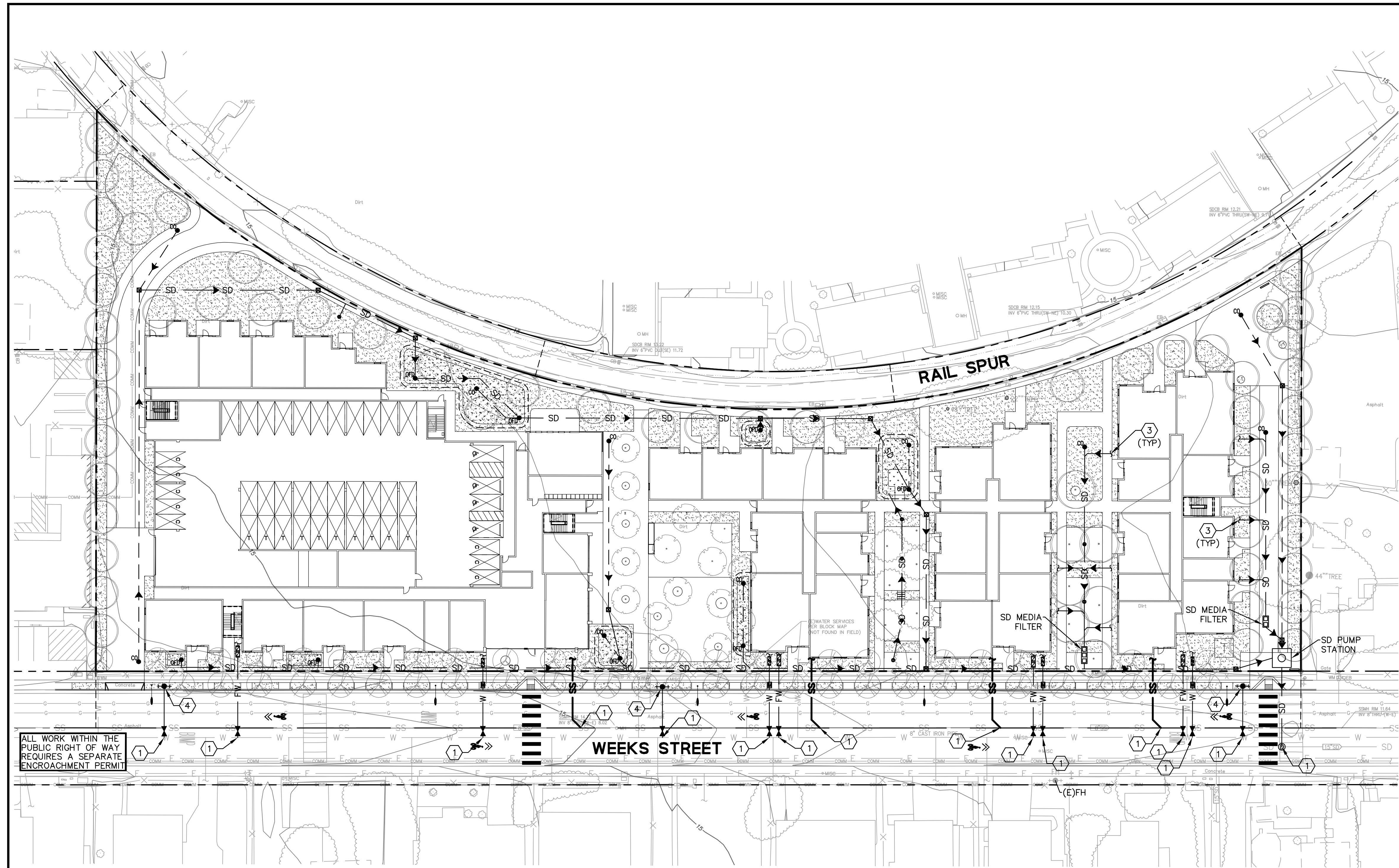
- UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORWAYS AND ACCESSIBLE PATHS OF TRAVEL SHALL BE ADA COMPLIANT.
- SLOPES ALONG ACCESSIBLE PATHS OF TRAVEL SHALL NOT EXCEED A RUNNING SLOPE OF 1:20 OR A CROSS SLOPE OF 1:48. ACCESSIBLE WALKS AND SIDEWALKS SHALL BE 48" WIDE, MINIMUM. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
- CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
- IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 8" BELOW WOOD FRAMING AND SHEATHING THAT IS NOT NATURALLY DURABLE OR PRESERVATIVE-TREATED.
- LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 5% FOR THE FIRST 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- UNDERGROUND SERVICE ALERT (USA) SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- ANY LAND DISTURBING ACTIVITIES OCCURRING BETWEEN OCTOBER 1ST AND APRIL 30TH ARE RESTRICTED BY THE CITY. A DETAILED EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED FOR ACTIVITIES OCCURRING DURING THIS PERIOD AND APPROVAL IN WRITING BY THE CITY ENGINEER.
- GRADING ACTIVITIES AND ASSOCIATED NOISE SHALL BE LIMITED TO WEEK DAYS BETWEEN THE HOURS OF 8AM TO 5PM. NO GRADING ACTIVITIES ARE TO OCCUR ON SATURDAYS AND SUNDAYS, WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER.



DRAWING NAME: K:\2019\190925_EPA_965_Weeks.st\ENG\PLANNING\SHEETS\C3-965W-GRAD.dwg
PLOT DATE: 10-03-19
PLOTTED BY: LEHM

Date	Revisions	No.
10/02/2019		
Scale AS SHOWN		
Design EL		
Drawn SP		
Approved FCG		
Job No 2019025		

Drawing Number: **C3.0**
3 OF **6**



- LEGEND:**
- SS SANITARY SEWER LINE
 - ⊙ SANITARY SEWER MANHOLE
 - SD SD LINE
 - SD PERFORATED PIPE
 - ▶ SD PIPE DIRECTION OF FLOW
 - ▣ SD JUNCTION BOX
 - ⊕ SD OVERFLOW DRAIN
 - SD CLEANOUT
 - ⊖ SD AREA DRAIN
 - ⊞ SD MEDIA FILTER
 - ⊠ SD PUMP STATION
 - ⊙ SD MANHOLE
 - W DOMESTIC WATER LINE
 - FW FIRE WATER LINE, SEE NOTE 6
 - ⊞ BACKFLOW PREVENTOR
 - ⊞ WATER METER
 - ⊞ WATER VALVE
 - ⊞ FIRE HYDRANT

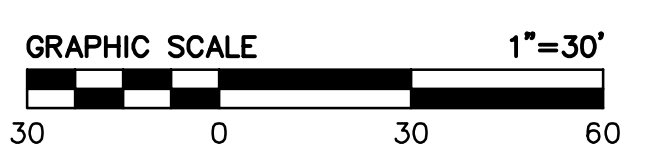
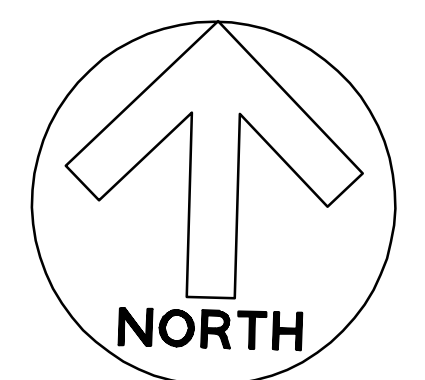
- ABBREVIATIONS:**
- BFP BACKFLOW PREVENTOR
 - CB CATCH BASIN
 - EX,(E) EXISTING
 - FW FIRE WATER
 - HYD,FH FIRE HYDRANT
 - MH MANHOLE
 - PVC POLYVINYL CHLORIDE
 - SD STORM DRAIN
 - SDCB STORM DRAIN CATCH BASIN
 - SDCO STORM DRAIN CLEANOUT
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SCMH SANITARY SEWER MANHOLE
 - (TYP) TYPICAL
 - W WATER
 - WM WATER METER

- KEY NOTES:**
- ① CONNECT TO EXISTING UTILITY
 - ② CONNECT TO (E)SDCB, FLOWS TO (E) TREATMENT BASIN FOR BAYSHORE TRAIL
 - ③ CONNECT TO DOWNSPOUT
 - ④ NEW FIRE HYDRANT

ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT

UTILITY NOTES:

1. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
2. NO EXISTING UTILITY SERVICES WILL BE REUSED. ALL EXISTING SERVICES WILL BE REMOVED TO THE PROPERTY LINE AND ABANDONED OR REMOVED PER CITY STANDARDS.
3. ALL WORK DONE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.
4. SEE JOINT TRENCH PLANS FOR ALL DRY UTILITIES AND JOINT TRENCH INFORMATION.
5. SEE MEP PLANS FOR CONTINUATION AT BUILDING POINT OF CONNECTION.
6. NEW FIRE WATER SERVICE FOR REFERENCE ONLY. FINAL DESIGN BY FIRE PROTECTION ENGINEER.
7. CONTRACTOR TO VERIFY ALL (E)UTILITY TIE-IN LOCATIONS AND CROSSINGS BY POTHOLING PRIOR TO INSTALLATION.
8. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
9. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES AND 1 FOOT VERTICAL WATER ABOVE SEWER WHERE LINES CROSS. WATER AND SEWER LINES SHALL NOT CROSS AT LESS THAN 45 DEGREES TO EACH OTHER.
10. UTILITY TRENCHES SHALL USE TRENCH SAND AROUND ALL UTILITIES CONFORMING TO APPROPRIATE STANDARDS SUCH AS PG&E, CALIFORNIA AMERICAN WATER COMPANY STANDARDS, AND SAN MATEO COUNTY PUBLIC WORKS STANDARDS.
11. THE CITY OF EAST PALO ALTO ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OR CONNECTION FOR INSPECTION OF ANY UTILITIES CONNECTING TO MUNICIPAL FACILITIES.
12. EAST PALO ALTO SANITARY DISTRICT SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OF CONNECTION FOR INSPECTION OF SEWER LINES AND CONNECTIONS. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
13. PACIFIC GAS & ELECTRIC, COMCAST, AT&T, AND ALL OTHER APPROPRIATE UTILITIES COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED INSPECTIONS, OR AS REQUIRED BY SAID UTILITIES. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
14. ALL EXISTING WATER MAINS SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF AMERICAN WATER ENTERPRISES AND THE CITY ENGINEER.
15. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO EAST PALO ALTO SUBDIVISION REGULATIONS, SAN MATEO COUNTY STANDARD DETAILS FOR PUBLIC WORKS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS, GREEN BOOK STANDARD SPECIFICATIONS, AMERICAN WATER COMPANY CODE, EAST PALO ALTO SANITARY DISTRICT SEWER CODE, FIRE CODE, AND OTHER APPLICABLE UTILITY STANDARDS WITHIN THEIR RESPECTIVE JURISDICTIONS.



DRAWING NAME: K:\2019\190925-EPA_965_Weeks.st\ENG\PLANNING\SHEETS\C4-965W-UT_IL.dwg
 PLOTTED BY: LEHM

Date	10/02/2019	No.	Revisions
Scale	AS SHOWN		
Design	EL		
Drawn	SP		
Approved	FCG		
Job No	2019025		

DRAINAGE AREA	DRAINAGE AREA SIZE (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	TREATMENT CONTROL	TREATMENT AREA (BIORETENTION: 4% OF IMPERVIOUS AREA)		CONFORMS TO SIZE STANDARDS?
							REQUIRED (SF)	PROVIDED (SF)	
A-1	24,865	24,865	LANDSCAPE, PERVIOUS PAVEMENT, DECOMPOSED GRANITE	0	N/A	SELF-TREATING	N/A	N/A	YES
A-2	27,240	2,165	LANDSCAPE	25,075	ROOF	BIORETENTION	1,003	1212	YES
A-3	1,465	90	LANDSCAPE	1,375	ROOF	FLOW-THRU PLANTER	55	55	YES
A-4	2,600	150	LANDSCAPE	2,450	ROOF	FLOW-THRU PLANTER	98	103	YES
A-5	7,305	865	LANDSCAPE	6,440	ROOF, WALKWAY	BIORETENTION	258	283	YES
A-6	2,475	325	LANDSCAPE	2,150	ROOF, WALKWAY	BIORETENTION	86	95	YES
A-7	6,390	640	LANDSCAPE	5,750	ROOF, WALKWAY, RUBBER PLAY AREA	BIORETENTION	230	237	YES
A-8	12,915	1,145	LANDSCAPE	11,770	ROOF, WALKWAY	BIORETENTION	471	492	YES
A-9	9,220	500	N/A	8,720	ROOF, WALKWAY	MEDIA FILTER ¹	0.034 CFS ²	0.045 CFS	YES
A-10	4,415	0	N/A	4,415	ROOF	MEDIA FILTER ¹	0.017 CFS ²	0.023 CFS	YES

- POTENTIAL POLLUTANTS:
- LITTER
 - ANIMAL WASTE
 - MOTOR OIL
 - GASOLINE
 - HYDROCARBONS
 - HEAVY METALS
 - PESTICIDES
 - FERTILIZERS

LEGEND

- DRAINAGE AREA BOUNDARY
- BIORETENTION AREA
- DIRECTION OF RUNOFF
- DRAINAGE MANAGEMENT AREA
- SELF-RETAINING AREAS, SEE NOTE 1

ABBREVIATIONS

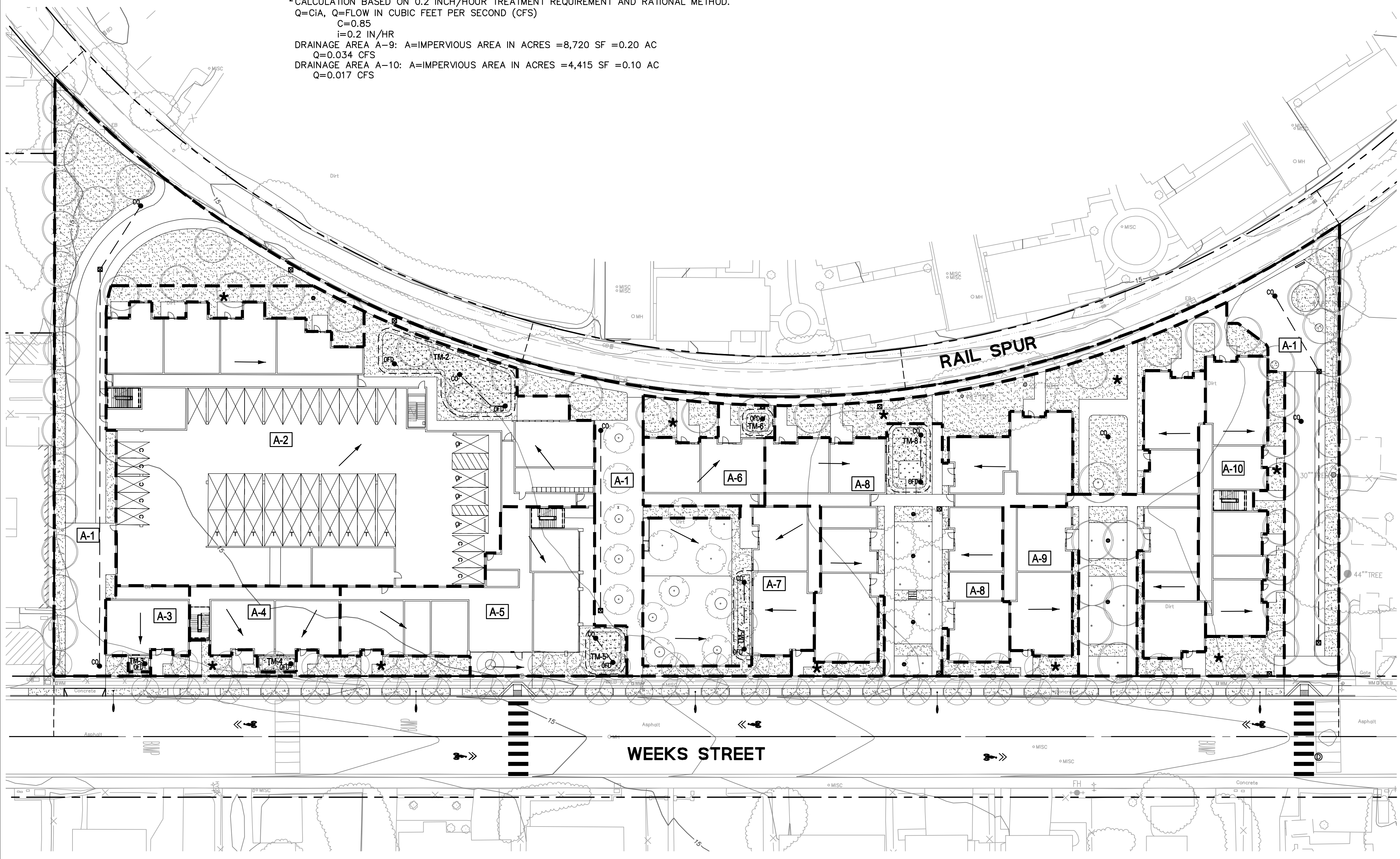
- AC ACRES
- CFS CUBIC FEET PER SECOND
- DMA DRAINAGE MANAGEMENT AREA
- SF SQUARE FEET

NOTES

- APPROXIMATELY 14,655 SF OF SELF-RETAINING AREAS (SMALL SIDEWALK AREAS TO DRAIN TO ADJACENT DEPRESSED LANDSCAPING) ARE NOT BROKEN OUT INTO SEPARATE DRAINAGE AREAS AT THIS STAGE. WILL BE BROKEN OUT INTO MULTIPLE DMA'S AS DESIGN PROGRESSES.
- SEE SHEET C5.1 FOR STORMWATER CONTROL DETAILS.

¹ THIS PROJECT MEETS THE SPECIAL PROJECT CATEGORY "C" (TRANSIT-ORIENTED DEVELOPMENT) CRITERIA FROM THE MUNICIPAL REGIONAL PERMIT AND AS OUTLINED IN THE C.3 STORMWATER HANDBOOK DATED JANUARY 4, 2013 BY SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM. THIS PROJECT IS ALLOWED UP TO 25% LID REDUCTION CREDITS DUE TO 100% OF THE SITE BEING LOCATED WITHIN THE RAVENSWOOD PRIORITY DEVELOPMENT AREA. MEDIA FILTERS WILL BE LOCATED BELOW GRADE. SEE UTILITY PLAN FOR LOCATION. DRAINAGE AREA A-9 TO USE DOUBLE CARTRIDGE MEDIA FILTER, DRAINAGE AREA A-10 TO USE SINGLE CARTRIDGE MEDIA FILTER. SEE SHEET C5.1 FOR OLDCASTLE MEDIA FILTRATION DETAILS.

² CALCULATION BASED ON 0.2 INCH/HOUR TREATMENT REQUIREMENT AND RATIONAL METHOD.
 $Q=CiA$, Q =FLOW IN CUBIC FEET PER SECOND (CFS)
 $C=0.85$
 $i=0.2$ IN/HR
 DRAINAGE AREA A-9: A =IMPERVIOUS AREA IN ACRES =8,720 SF =0.20 AC
 $Q=0.034$ CFS
 DRAINAGE AREA A-10: A =IMPERVIOUS AREA IN ACRES =4,415 SF =0.10 AC
 $Q=0.017$ CFS



DRAWING NAME: K:\2019\190925_EPA_965_Weeks.st\ENG\PLANNING\SHEETS\C5-965W-SWMP.dwg
 PLOT DATE: 10-03-19
 PLOTTED BY: LEHM

965 WEEKS STREET ENTITLEMENT SET
PRELIMINARY STORMWATER CONTROL PLAN
 EAST PALO ALTO SAN MATEO COUNTY CA
 PLANNING SUBMITTAL - NOT FOR CONSTRUCTION
 Date: 10/02/2019 No. 5 OF 6
 Scale: AS SHOWN
 Design: EL
 Drawn: SP
 Approved: FCG
 Job No: 2019025
C5.0
 GRAPHIC SCALE 1"=30'
 30 0 30 60
 NORTH

Washington GULD*

CARTRIDGE SIZE	TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY CFS
12.00"	6.8 / 0.015	1.3
18.00"	10.2 / 0.023	1.3
STACKED 12.00" + 12.00"	13.6 / 0.030	1.3
STACKED 18.00" + 12.00"	17.0 / 0.038	1.3

MINIMUM DEPTHS (SEE NOTE 6)

CARTRIDGE SIZE	Ø 6.0" OUTLET PIPE (IN INCHES)	Ø 8.0" OUTLET PIPE (IN INCHES)	Ø 10.0" OUTLET PIPE (IN INCHES)	Ø 12.0" OUTLET PIPE (IN INCHES)
12.00"	39	41	43	45
18.00"	46	48	50	52
STACKED 12.00" + 12.00"	56	58	60	62
STACKED 18.00" + 12.00"	63	65	67	69

Notes:

- Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
- Perk Filter™ Catch basin shall be supplied with traffic rated (H20) bicycle-proof grates and solid plate cover.
- Inlet pipe(s) may enter device on three sides of the inlet chamber. Outlet pipe(s) may exit on all four sides. All pipe is Ø 12" maximum.
- Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
- Perk Filter™ cartridge shall be maintained in accordance with manufacturer recommendations.
- For depths less than the specified minimum contact Oldcastle® Stormwater Solutions for engineering assistance.

* Treatment Flow Rates shown conform to Washington State GULD Specifications.

Perk Filter™
 Concrete Catch Basin
 Washington State GULD
 Single Cartridge

Oldcastle®
 Stormwater Solutions
 7521 Southpark Plaza, Suite 200, Littleton, CO 80120 | PH: 800.579.8819 | oldcastlestormwater.com
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 DRAWING NO: PF-CCB-WA-0001 E REV: ECO-0144 DATE: ZHD 8/26/16 JPR 3/2/11 SHEET 1 OF 1

Washington GULD*

CARTRIDGE SIZE	TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY CFS
12.00"	13.6 / 0.030	1.3
18.00"	20.4 / 0.045	1.3
STACKED 12.00" + 12.00"	27.2 / 0.061	1.3
STACKED 18.00" + 12.00"	34.1 / 0.076	1.3

MINIMUM DEPTHS (SEE NOTE 6)

CARTRIDGE SIZE	Ø 6.0" OUTLET PIPE (IN INCHES)	Ø 8.0" OUTLET PIPE (IN INCHES)	Ø 10.0" OUTLET PIPE (IN INCHES)	Ø 12.0" OUTLET PIPE (IN INCHES)
12.00"	39	41	43	45
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STACKED 12.00" + 12.00"	56	58	60	62
STACKED 18.00" + 12.00"	63	65	67	69

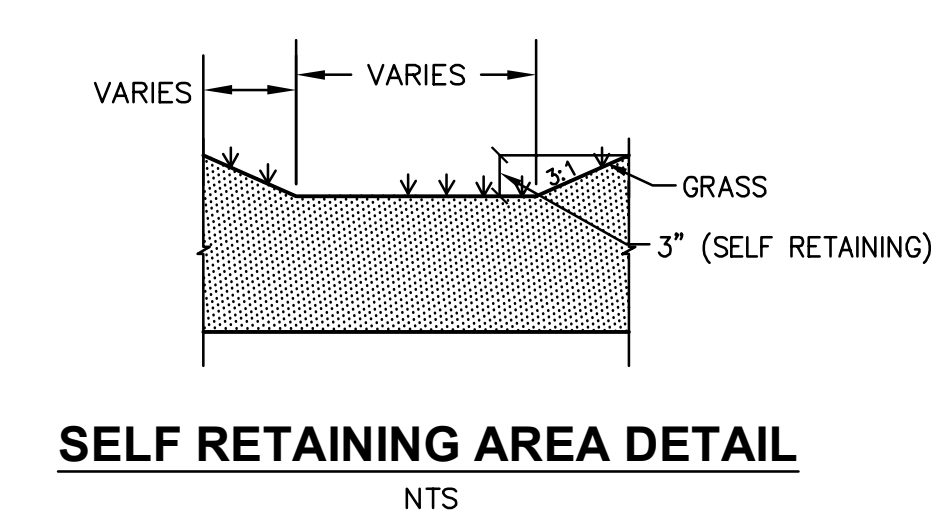
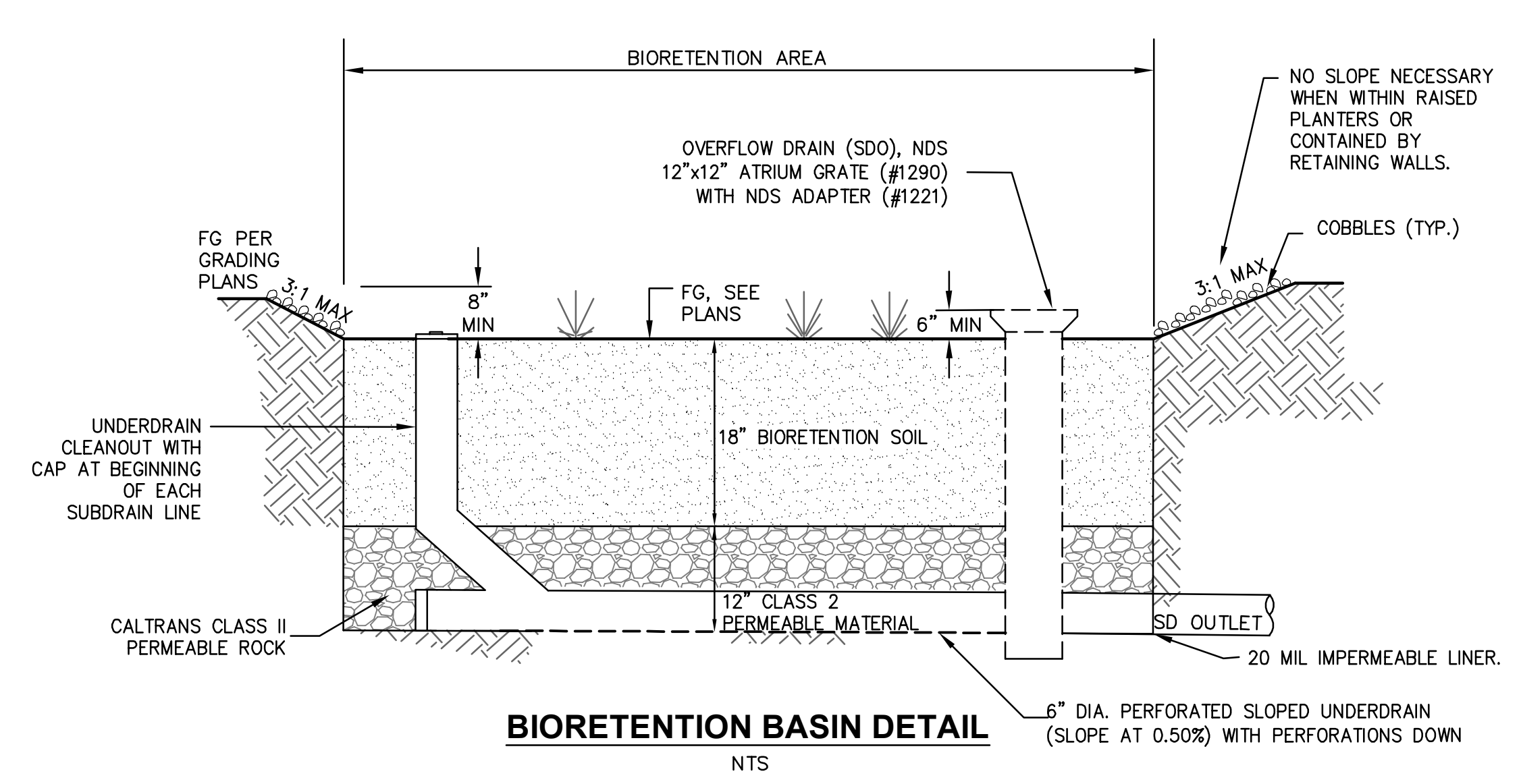
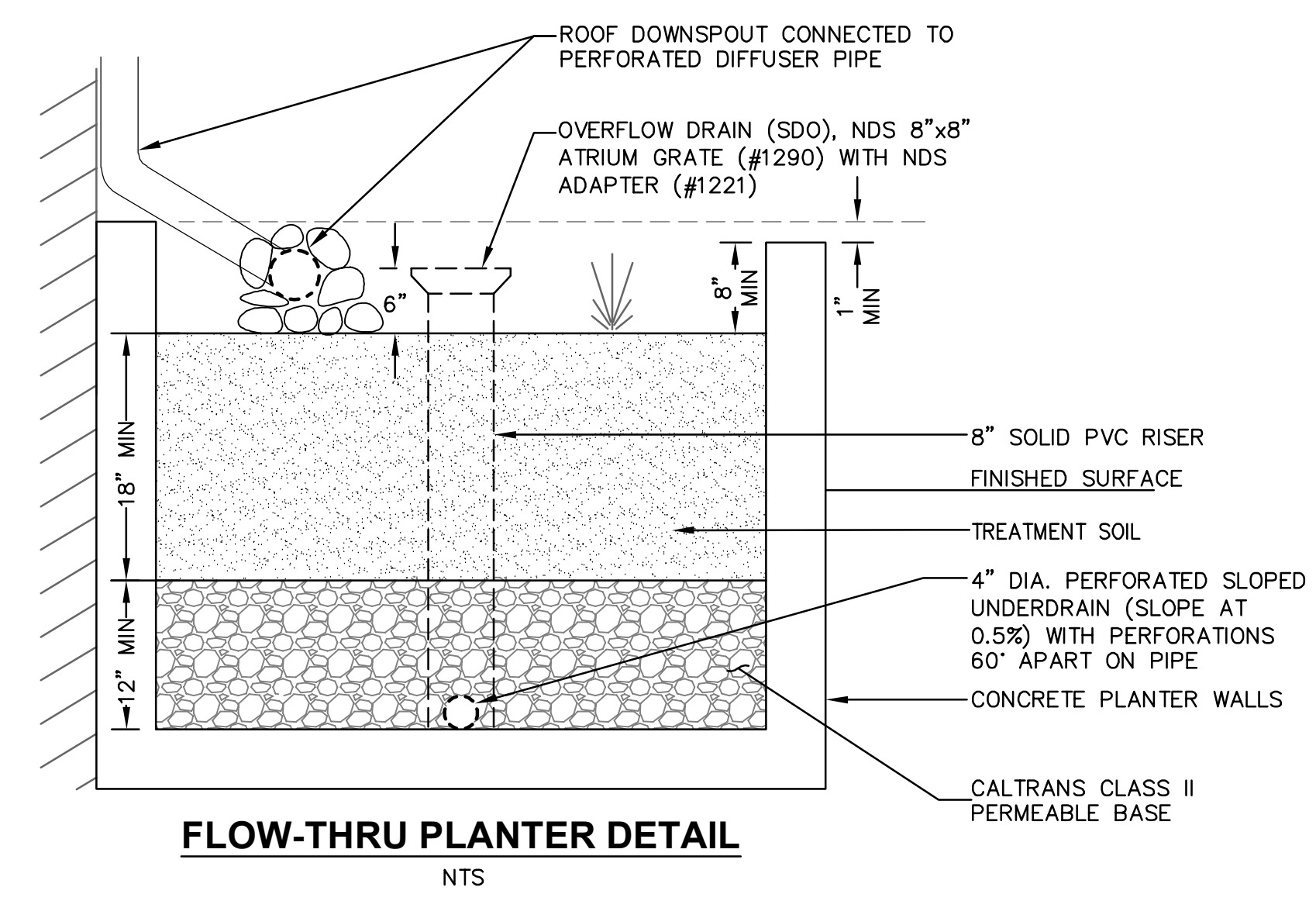
Notes:

- Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
- Perk Filter™ Catch basin shall be supplied with traffic rated (H20) bicycle-proof grates and solid plate cover.
- Inlet pipe(s) may enter device on three sides of the inlet chamber. Outlet pipe(s) may exit on all four sides. All pipe is Ø 12" maximum.
- Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
- Perk Filter™ cartridge shall be maintained in accordance with manufacturer recommendations.
- For depths less than the specified minimum contact Oldcastle® Stormwater Solutions for engineering assistance.

* Treatment Flow Rates shown conform to Washington State GULD Specifications.

Perk Filter™
 Concrete Catch Basin
 Double Cartridge
 Washington State GULD
 (End Grate Configuration)

Oldcastle®
 Stormwater Solutions
 7521 Southpark Plaza, Suite 200, Littleton, CO 80120 | PH: 800.579.8819 | oldcastlestormwater.com
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 DRAWING NO: PF-CCB-WA-0002 E REV: ECO-0144 DATE: ZHD 8/26/16 JPR 3/2/11 SHEET 1 OF 1



DRAWING NAME: \\BKF-SJ\vol14\2019\190925_EPA_965_Weeks_st\ENG\PLANNING\SHEETS\C5-965W-SWMP.dwg PLOT DATE: 09-27-19 PLOTTED BY: LEHM

Date	Scale	Design	Drawn	Approved	Job No
10/02/2019	AS SHOWN	EL	SP	FCG	2019025

Revisions

6 OF 6

C5.1



LANDSCAPE ILLUSTRATIVE SITE PLAN

1" = 30'-0"
0' 15' 30' 45'

GENERAL NOTES

- TOTAL LANDSCAPE AREA: 30,788 SF
LANDSCAPE AREAS SHALL BE CAREFULLY DESIGNED AND PLANNED FOR THE INTENDED FUNCTION OF THE PROJECT PROGRAMS. PLANT SPECIES SHALL INCLUDE A SELECTION OF PLANTS BASED ON LOCAL CLIMATE SUITABILITY, WATER-CONSERVATION, DISEASE AND PEST RESISTANCE.

ALL PLANTING AREAS SHALL HAVE AN IRRIGATION SYSTEM DESIGNED TO CONFORM TO THE HYDROZONES OF THE PLANTING DESIGN USING AUTOMATIC DRIP, BUBBLER, OR SPRAY IRRIGATION WITH NO RUNOFF OR OVERSPRAY. TREES TO BE IRRIGATED ON SEPARATE ZONE FROM UNDERSTORY PLANTING. THE IRRIGATION SYSTEM SHALL USE A WEATHER-BASED IRRIGATION CONTROLLER, THAT AUTOMATICALLY ADJUSTS THE WATERING SCHEDULE BASED ON LOCAL WEATHER CONDITIONS.
- TREE QUANTITY AND LOCATION ARE CONCEPTUAL ONLY.

- WELO STATEMENT:
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE

hw

HALEY WATERSON, PRINCIPAL
PLURAL
DATE: 09.12.2019
- PAVING MATERIALS ARE NOT DETERMINED. PAVING MATERIALS ARE CONCEPTUAL ONLY.
- SEE CIVIL PLANS FOR GRADING AND CONCEPTUAL STORMWATER TREATMENT AREAS.
- SEE ARCHITECTURE PLANS FOR FIRE ACCESS ROUTES

CONTACT

plural
HALEY WATERSON, PLA
PRINCIPAL

PLURAL
HALEY@PLURAL.STUDIO

LANDSCAPE ARCHITECTURE STUDIO
2742 17TH STREET
SAN FRANCISCO, CA 94110
415-450-9519 EXT. 703
WWW.PLURAL.STUDIO



COURTYARD PLAN ENLARGEMENT



A - TYPICAL SECTION THROUGH COURTYARD

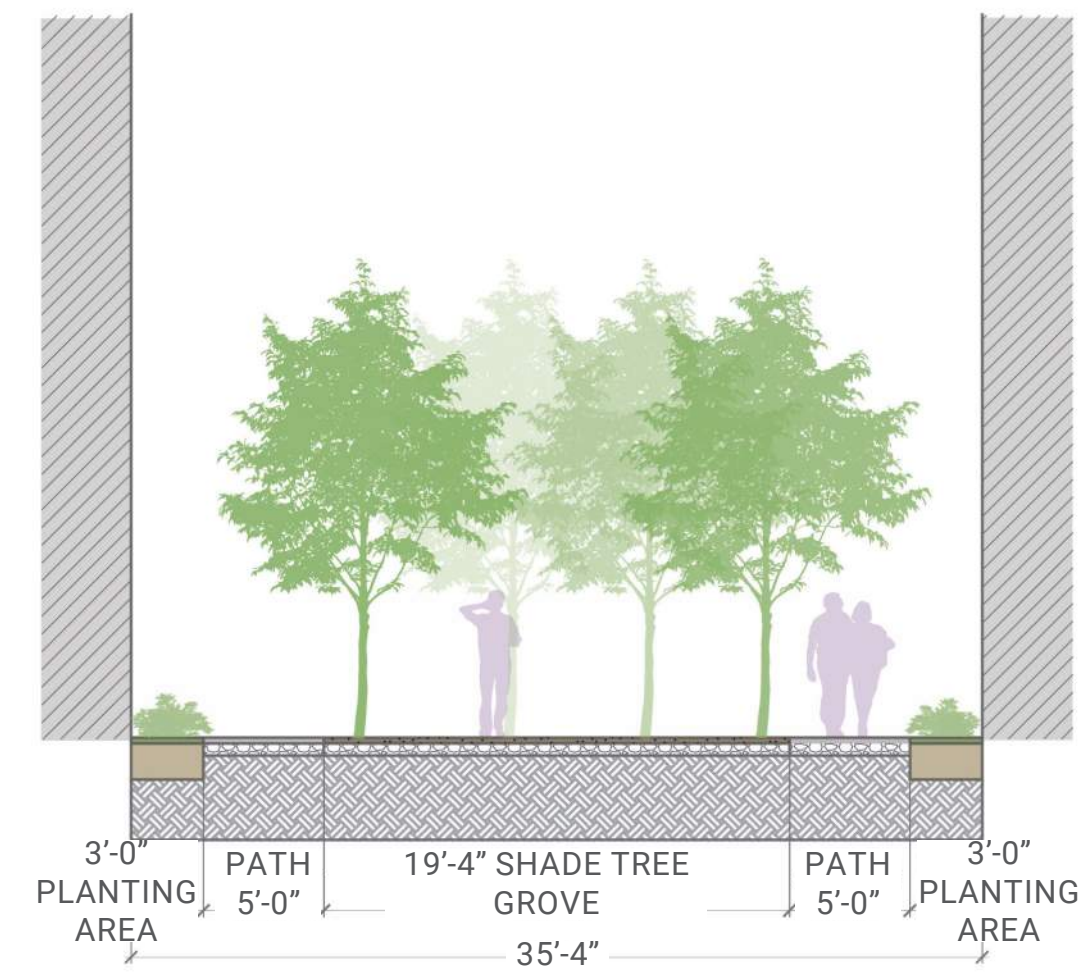
SCALE: 1/8" = 1'-0"

NAME	DESCRIPTION
① ENTRY PLAZA	SMALL PAVED AREA FOR CIRCULATION AND ARRIVAL. PAVING MATERIAL TBD
② PLANTING AREA	SHRUB PLANTING. SEE CIVIL PLANS FOR STORMWATER TREATMENT AREAS
③ (N) TREE	TREE SIZE, LOCATION, AND SPECIES TBD. TREES ARE CONCEPTUAL ONLY
④ RESIDENTIAL PATIO	PRIVATE PAVED AREA FOR RESIDENCE
⑤ PICNIC TABLE	STEEL AND WOOD TABLE. STANDARD PRODUCT
⑥ BBQ	FREE STANDING BBQ. ADA ACCESSIBLE STANDARD PRODUCT
⑦ COMMUNITY PATIO	PAVED AREA FOR COMMUNITY GATHERING
⑧ CAFE TABLE AND CHAIRS	STEEL. STANDARD PRODUCT
⑨ PLAY STRUCTURE	CHILDREN'S PLAY STRUCTURE. STANDARD PRODUCT
⑩ PLAY AREA	PLAY AREA WITH PLAY SURFACING
⑪ GATE	STEEL AND WOOD GATE



RESIDENTIAL MEWS PLAN ENLARGEMENT

1" = 10'-0"
0' 5' 10' 15'



B - TYPICAL SECTION THROUGH RESIDENTIAL MEWS SCALE: 1/8" = 1'-0"

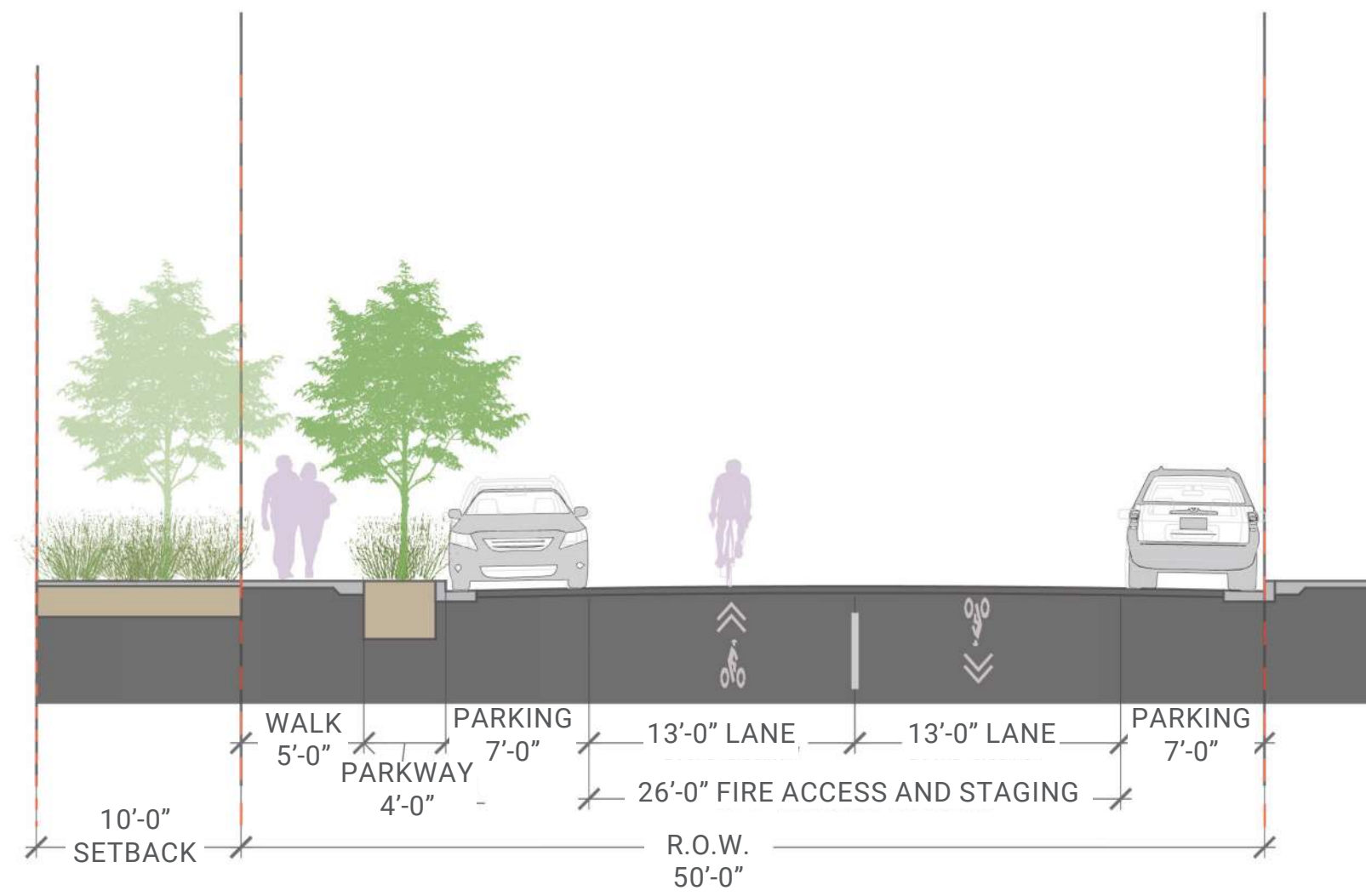
NAME	DESCRIPTION
① RESIDENTIAL PATIO	PRIVATE PAVED AREA FOR RESIDENCE
② PLANTING AREA	SHRUB PLANTING. SEE CIVIL PLANS FOR STORMWATER TREATMENT AREAS
③ (N) TREE	TREE SIZE, LOCATION, AND SPECIES TBD. TREES ARE CONCEPTUAL ONLY
④ (E) TREE TO REMAIN	EXISTING TREE TO BE PROTECTED AND REMAIN IN PLACE
⑤ PICNIC TABLE	STEEL AND WOOD TABLE. STANDARD PRODUCT
⑥ BENCH	PEDESTRIAN BENCH WITH BACK AND ARMRESTS. STANDARD PRODUCT
⑦ CAFE TABLE AND CHAIRS	STEEL. STANDARD PRODUCT
⑧ BICYCLE RACK	STEEL BICYCLE RACK. STANDARD PRODUCT
⑨ COMMUNITY GROVE	PAVED AREA WITH SHADE TREES FOR COMMUNITY GATHERING
⑩ PATHWAY	PAVED CIRCULATION PATH
⑪ STORMWATER GARDEN	STORMWATER FEATURE GARDEN
⑫ GARDEN NOOK	STORMWATER FEATURE GARDEN SEATING AREA
⑬ LAWN	FLEXIBLE SPACE FOR COMMUNITY



WEEKS STREET PLAN ENLARGEMENT

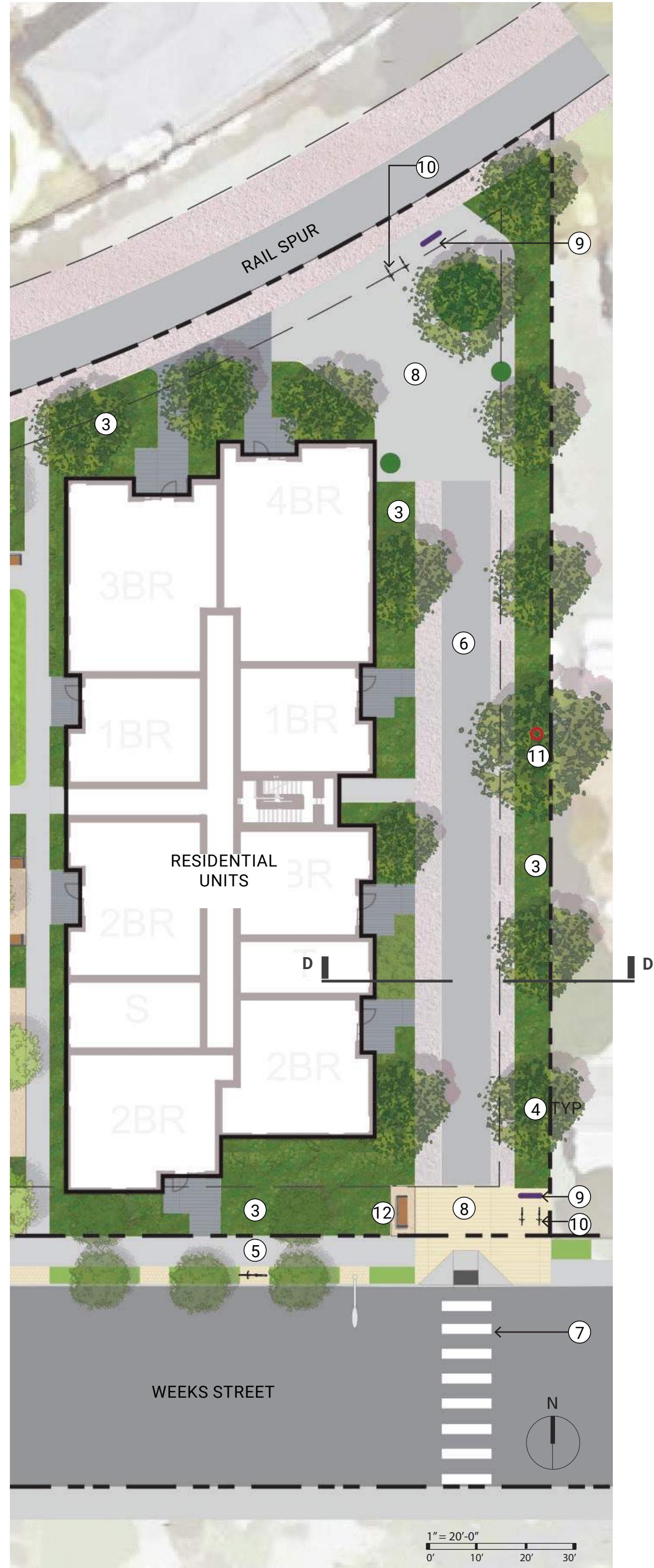
1" = 20'-0"
0' 10' 20' 30'

NAME	DESCRIPTION
① VEHICULAR CURB CUT	EAST PALO ALTO STANDARD VEHICLE CURB CUT. 20" WIDE
② SHARED WAY DRIVE	PAVED AREA. RESIDENTIAL VEHICULAR GARAGE ACCESS AND PEDESTRIAN ACCESS PATH TO RAIL SPUR
③ (N) STREET LIGHT	VEHICULAR STREET LIGHT
④ (N) STREET TREE	TREE SIZE, LOCATION, AND SPECIES TBD. TREES ARE CONCEPTUAL ONLY
⑤ PICNIC TABLE	STEEL AND WOOD TABLE. STANDARD PRODUCT
⑥ BICYCLE RACK	STEEL BICYCLE RACK. STANDARD PRODUCT
⑦ RESIDENTIAL PATIO	PRIVATE PAVED AREA FOR RESIDENCE
⑧ PLANTING AREA	SHRUB PLANTING. SEE CIVIL PLANS FOR STORMWATER TREATMENT AREAS
⑨ SIDEWALK	EAST PALO ALTO STANDARD SIDEWALK
⑩ COURTESY STRIP	PAVED CIRCULATION PATH
⑪ CROSS WALK	CROSSWALK AND PEDESTRIAN CURB RAMP
⑫ RAIL SPUR ACCESS POINT	SMALL PLAZA MARKING THE ENTRANCE OF THE RAIL SPUR ACCESS PATH
⑬ RAIL SPUR SIGNAGE	SMALL PEDESTRIAN SIGN INDICATING RAIL SPUR ACCESS TRAIL

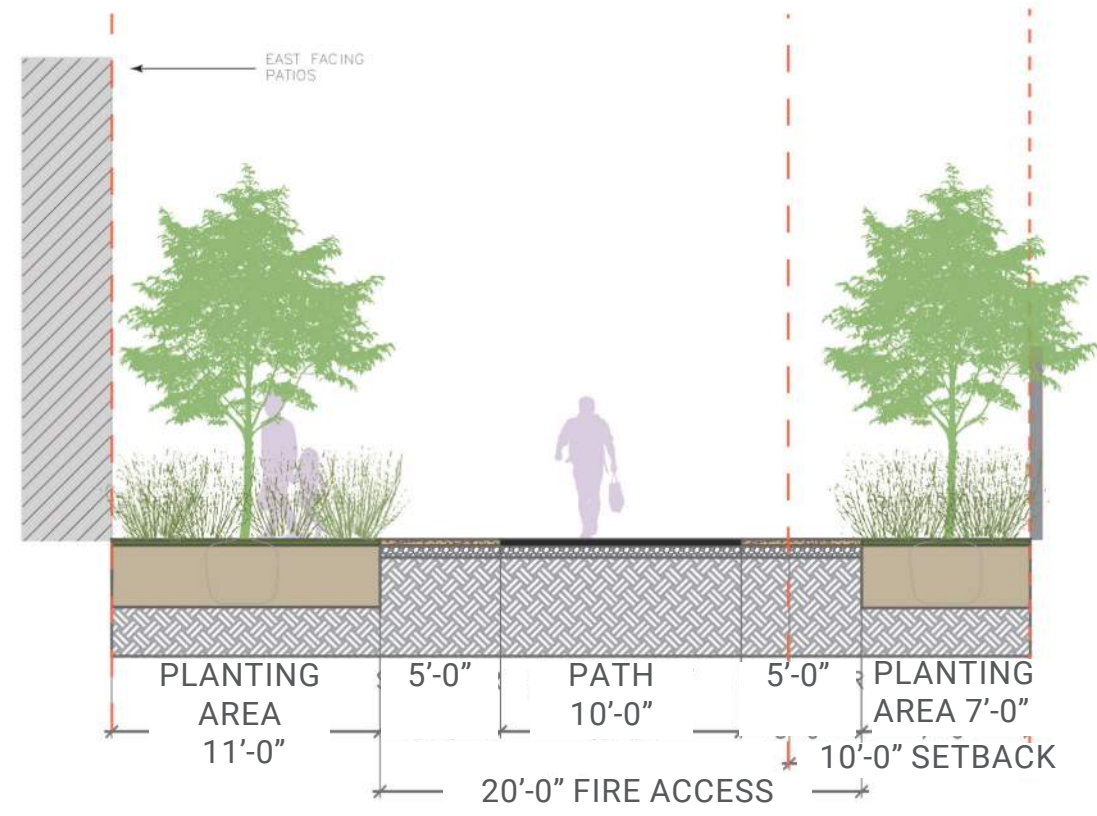


C - TYPICAL SECTION

SCALE: 1/8" = 1'-0"

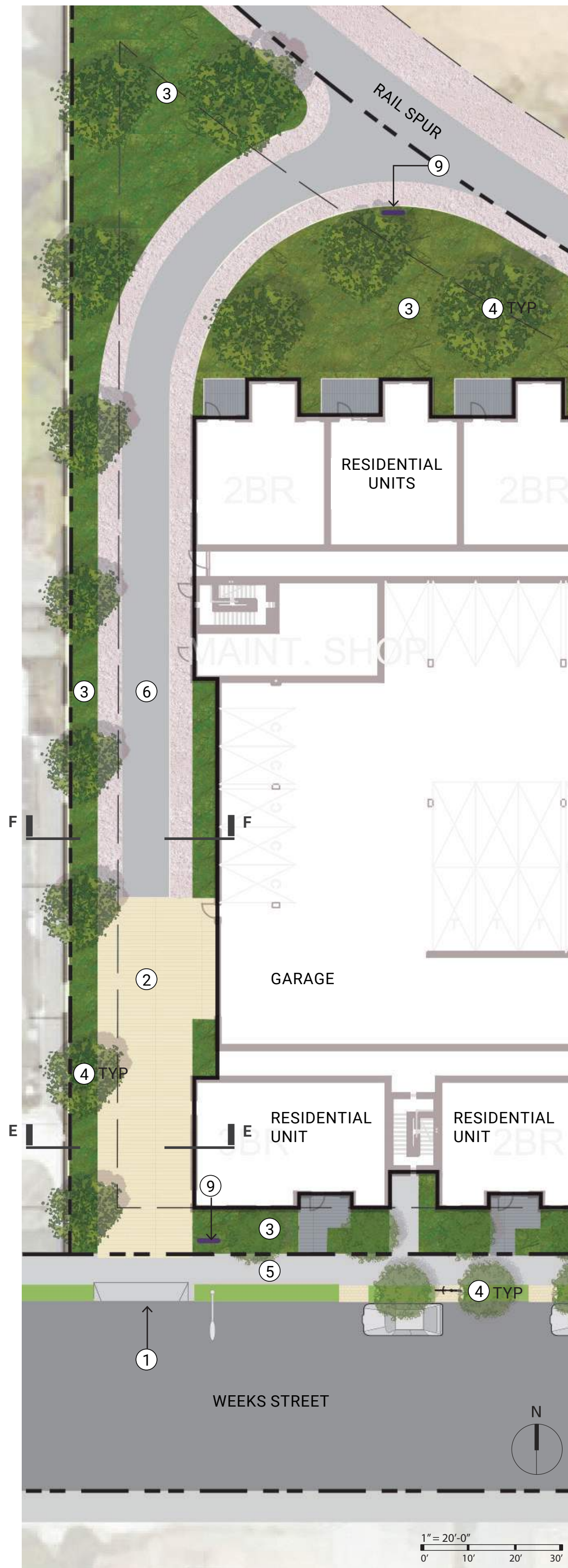


RAIL SPUR CONNECTOR EAST ENLARGEMENT PLAN

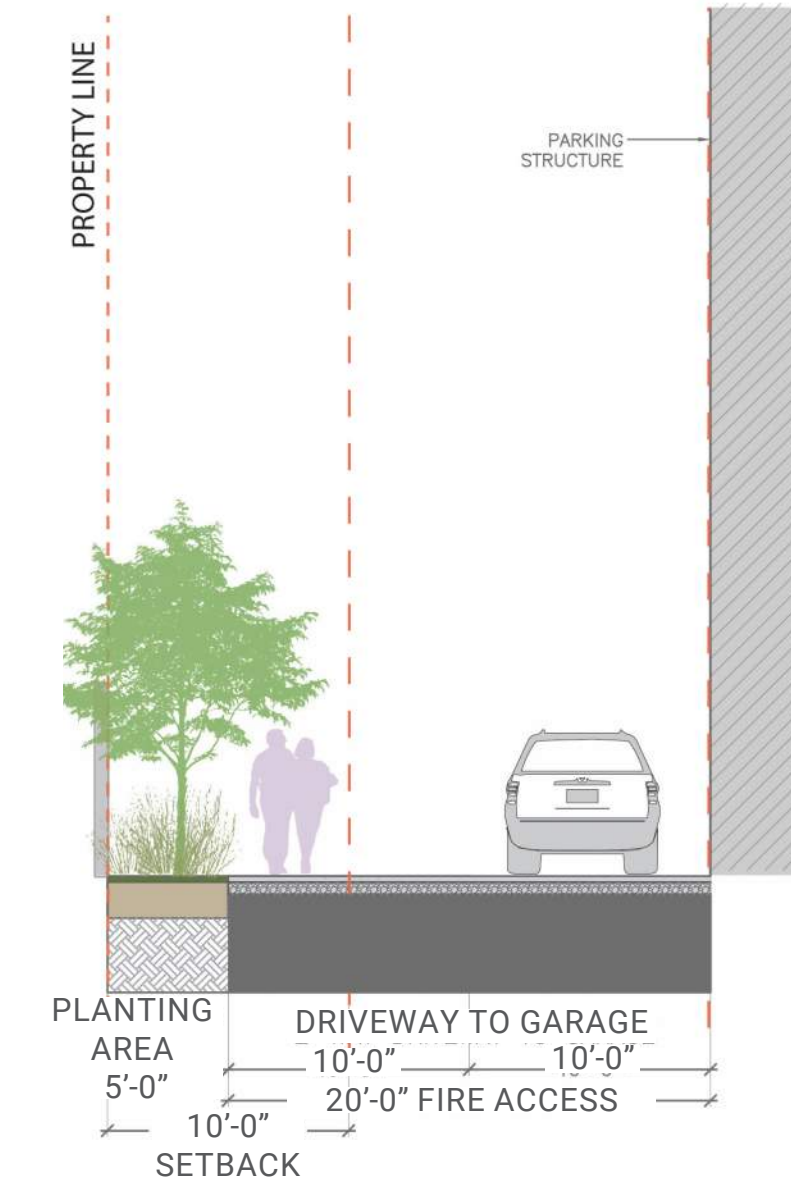


D - TYPICAL SECTION AT RAIL SPUR CONNECTOR EAST

SCALE: 1/8" = 1'-0"

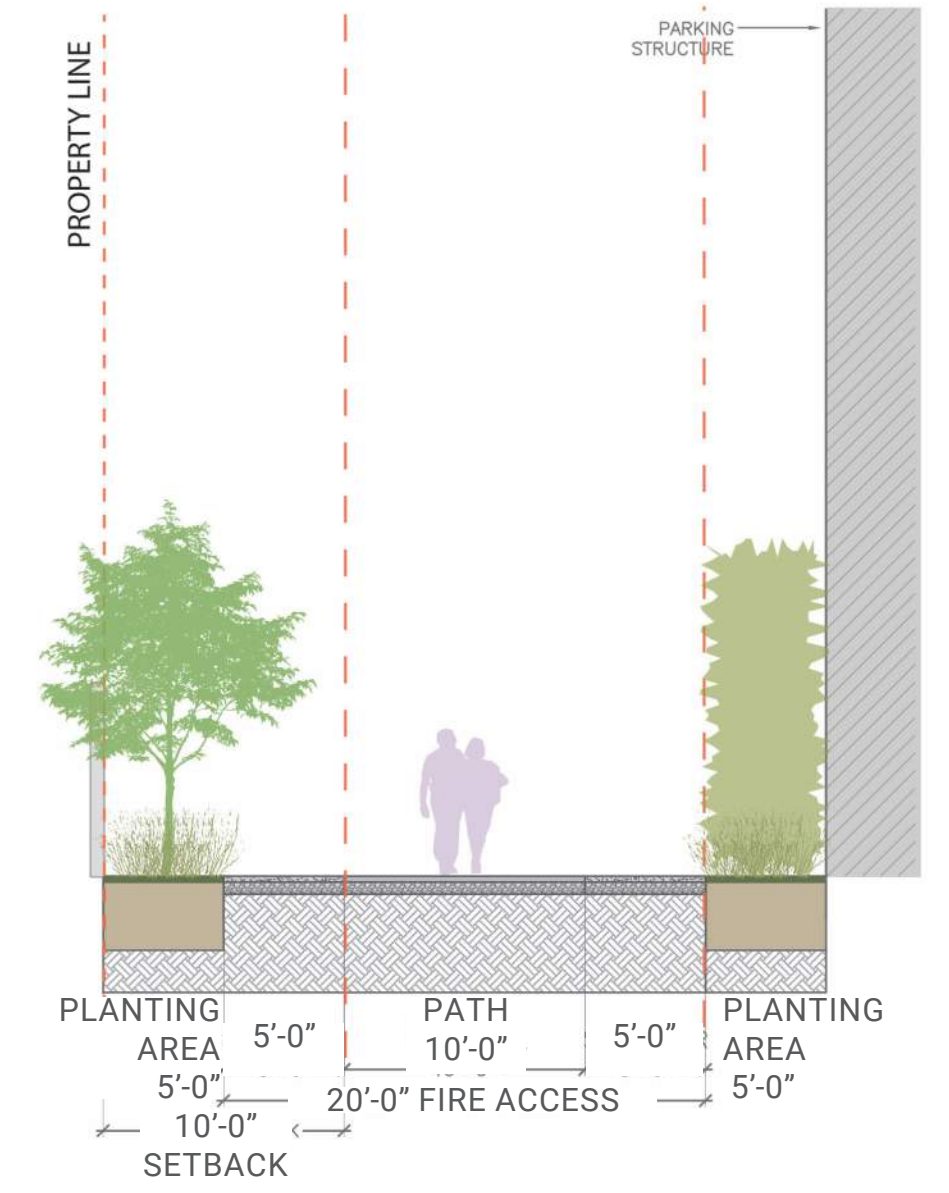


RAIL SPUR CONNECTOR WEST ENLARGEMENT



E - TYPICAL SECTION AT RAIL SPUR CONNECTOR EAST

SCALE: 1/8" = 1'-0"



F - TYPICAL SECTION AT RAIL SPUR CONNECTOR EAST

SCALE: 1/8" = 1'-0"

NAME	DESCRIPTION
① VEHICULAR CURB CUT	EAST PALO ALTO STANDARD VEHICLE CURB CUT. 20' WIDE
② SHARED WAY DRIVE	PAVED AREA. RESIDENTIAL VEHICULAR GARAGE ACCESS AND PEDESTRIAN ACCESS PATH TO RAIL SPUR
③ PLANTING AREA	SHRUB PLANTING. SEE CIVIL PLANS FOR STORMWATER TREATMENT AREAS
④ (N) TREE	TREE SIZE, LOCATION, AND SPECIES TBD. TREES ARE CONCEPTUAL ONLY
⑤ SIDEWALK	EAST PALO ALTO STANDARD SIDEWALK
⑥ RAIL SPUR PATH	PAVED CIRCULATION PATH
⑦ CROSS WALK	CROSSWALK AND PEDESTRIAN CURB RAMP
⑧ RAIL SPUR ACCESS POINT	SMALL PLAZA MARKING THE ENTRANCE OF THE RAIL SPUR ACCESS PATH
⑨ RAIL SPUR SIGNAGE	SMALL PEDESTRIAN SIGN INDICATING RAIL SPUR ACCESS TRAIL
⑩ BICYCLE RACK	STEEL BICYCLE RACK. STANDARD PRODUCT
⑪ (E) TREE TO REMAIN	EXISTING TREE TO BE PROTECTED AND REMAIN IN PLACE
⑫ BENCH	PEDESTRIAN BENCH WITH BACK AND ARMRESTS. STANDARD PRODUCT



1 SITE PLAN
1" = 40'-0"



1 Level 1
1" = 20'-0"



1 Level 2
1" = 20'-0"



1 Level 3
1" = 20'-0"



1 Level 4 - LONG GARAGE
1" = 20'-0"



① Level Roof
1" = 20'-0"



② SOUTH ELEVATION (WEEKS ST)
1" = 20'-0"



① NORTH ELEVATION (RAIL SPUR)
1" = 20'-0"





① EAST ELEVATION (RAIL SPUR CONNECTION)
1" = 20'-0"



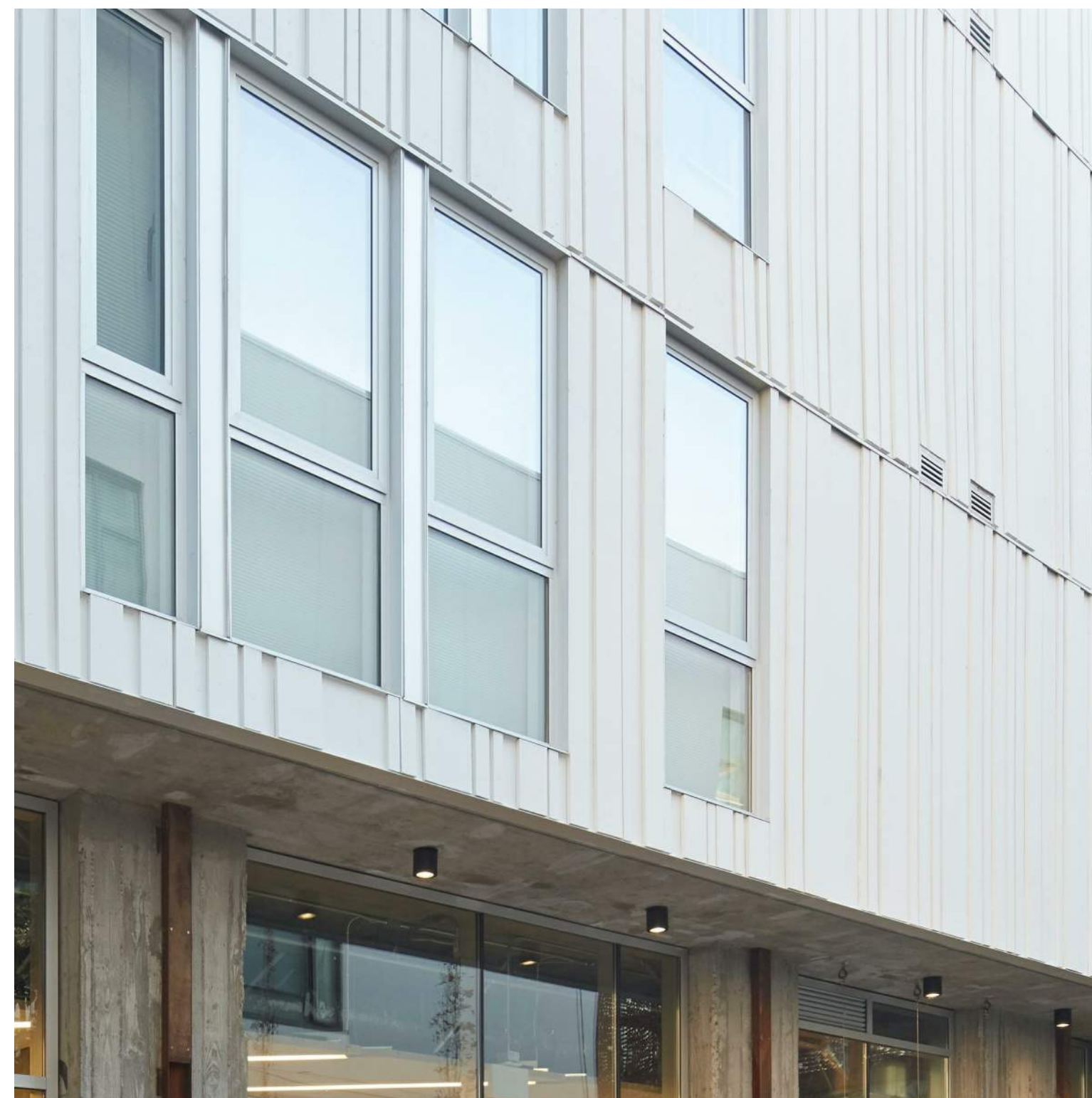
② WEST ELEVATION (CLARKE AVE)
1" = 20'-0"



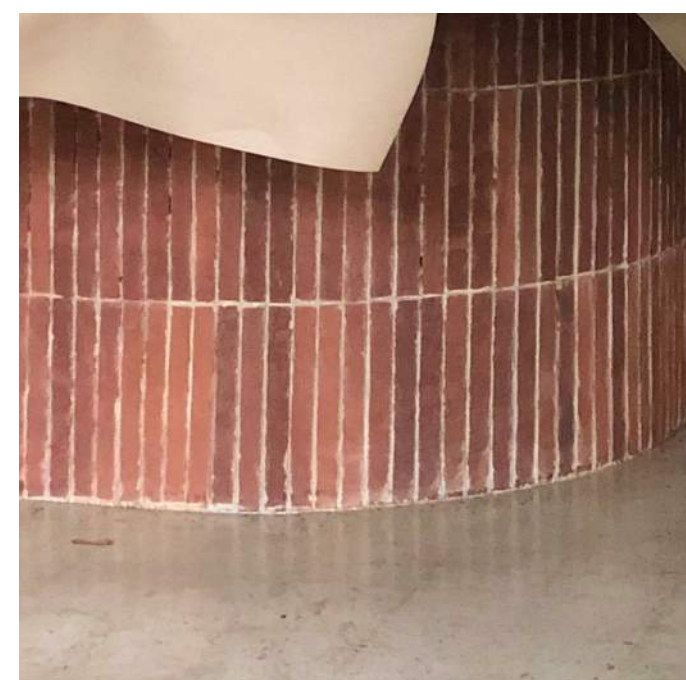
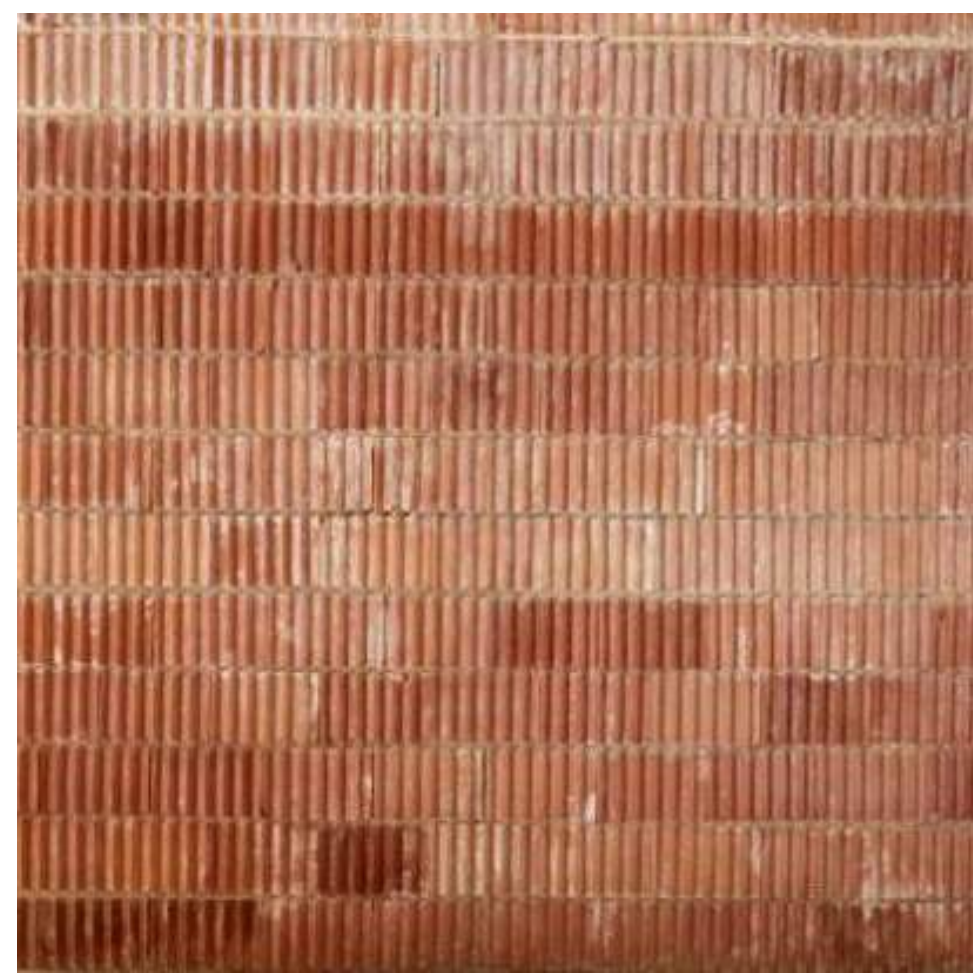
FIBER CEMENT PANELS, WHITE
TYPICAL CLADDING MATERIAL



CEMENT PLASTER, WHITE
ALTERNATE TYPICAL CLADDING MATERIAL



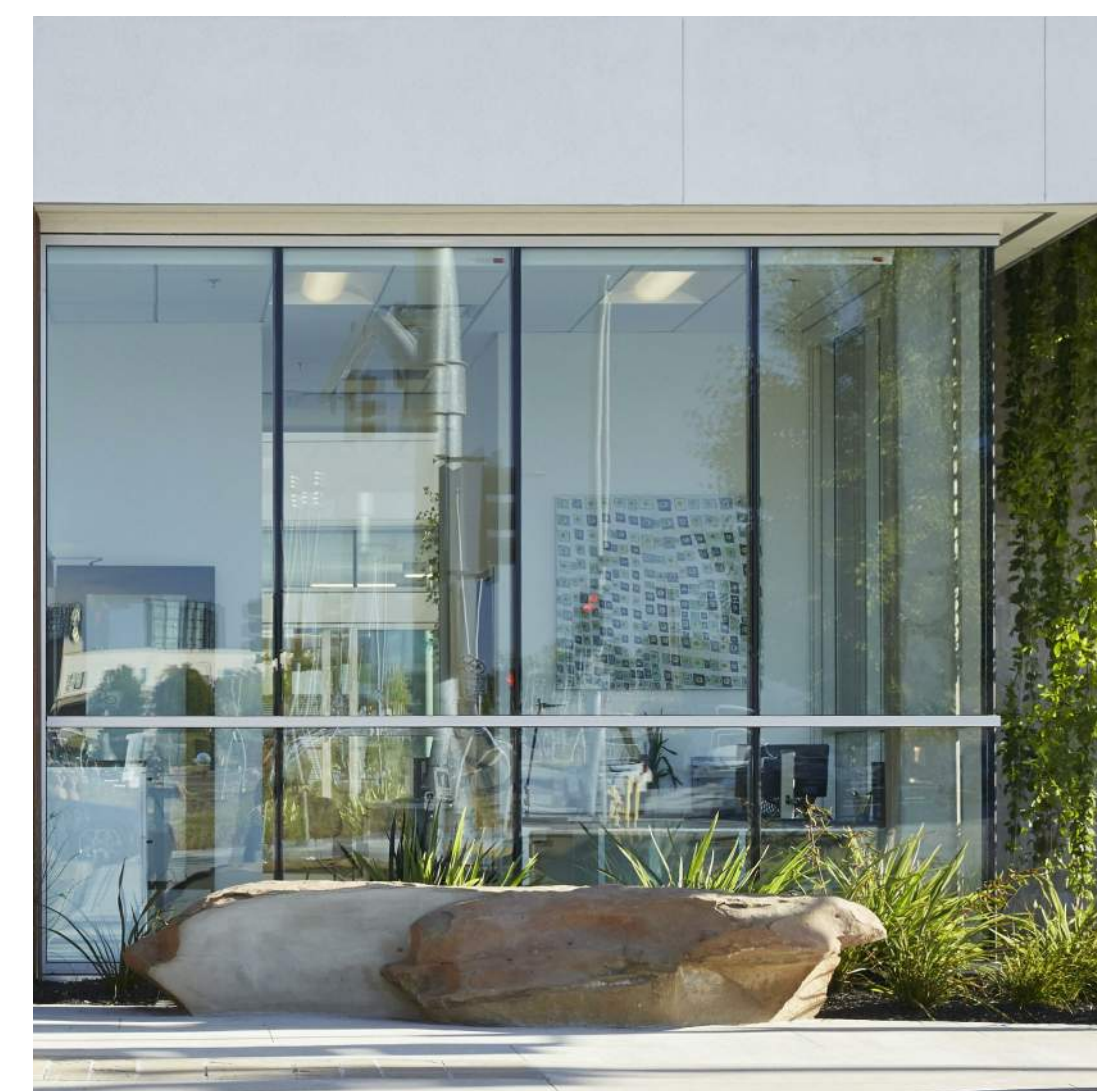
RANDOM-BATTEN FIBER CEMENT PANELS
LIGHT GRAY
BAYS



LOW FIRE CLAY TILE
INSETS AT PATIOS



POWDER-COATED SUNSHADES
DARK WARM EXTERIOR COLOR,
LIGHT INTERIOR COLOR
SELECT SOUTH AND WEST WINDOWS



STOREFRONT
GROUND FLOOR COMMON ROOMS