

Appendix CSP

Construction Site Plan

LAB BUILDING + PARKING STRUCTURE

CHANG
ARCHITECTURE

architecture
planning
interior design

499 FORBES, SOUTH SAN FRANCISCO, CA

251 Park Road, #900
Burlingame, CA 94010
(650) 269-4213

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ABBREVIATIONS

AC	AIR CONDITIONING	JAN.	JANITOR
ALUM.	ALUMINUM	JT.	JOINT
&	AND	LAM.	LAMINATE
APPROX.	APPROXIMATE	LTG.	LIGHTING
⊙	AT	MACH.	MACHINE
BOTT.	BOTTOM	MFR.	MANUFACTURER
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	MECH.	MECHANICAL
		MTL.	METAL
		MIN.	MINIMUM
CAB.	CABINET	NOM.	NOMINAL
CEM.	CEMENT	NIC.	NOT INCLUDED
CLG.	CEILING	O.C.	ON CENTER
CLR.	CLEAR	OPP.	OPPOSITE
COL.	COLUMN	PT.	POINT
CONC.	CONCRETE	PLAS.	PLASTIC
CTR.	COUNTER	PL.	PLATE
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
CONST.	CONSTRUCTION	POL.	POLISHED
CONT.	CONTINUOUS	QTY.	QUANTITY
CONTR.	CONTRACTOR	RAD.	RADIUS
DEMO	DEMOLITION	REIN.F.	REINFORCED
DIA.	DIAMETER	REQ'D	REQUIRED
DN	DOWN	RM	ROOM
DWG.	DRAWING	RO.	ROUGH OPENING
EA.	EACH	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SS/ST. STL.	STAINLESS STEEL
EQUIP.	EQUIPMENT	SHT.	SHEET
(E)	EXISTING	SM.	SIMILAR
EXT.	EXTERIOR	SC.	SOLID CORE
FIN.	FINISH	SPEC.	SPECIFICATION
FF.	FINISH FLOOR	STL.	STEEL
FR.	FIRE RESISTIVE	STO.	STORAGE
FIXT.	FIXTURE	STRUCT.	STRUCTURAL
FLR.	FLOOR	SUSP.	SUSPENDED
FURN.	FURNISH	TEMP.	TEMPORARY
		TF&P	TAPE FLOAT & PAINT
GALV.	GALVANIZED	TYP.	TYPICAL
GA.	GAUGE	U.O.N.	UNLESS OTHERWISE NOTED
GC.	GENERAL CONTRACTOR	VAR.	VARIES
GYP.	GYPSONUM	WR.	WATER RESISTANT
GYP. BD.	GYPSONUM BOARD	WD.	WOOD
HVAC	HEATING, VENTILATING & AC		
HT.	HEIGHT		
HC.	HOLLOW CORE		
HR.	HOUR		
INCL.	INCLUDING		
INT.	INTERIOR		

PROJECT DESCRIPTION + SUMMARY

THIS PROJECT INCLUDES DEMOLITION OF AN EXISTING 1-STORY BUILDING AND CONSTRUCTION OF A NEW 5-STORY LAB BIO-TECH BUILDING AND A 5-STORY PARKING STRUCTURE. THE SITE WILL ALSO INCLUDE ON-GRADE PARKING AND A COVERED TRASH ENCLOSURE. AN EXISTING MEDIAN WITHIN FORBES BLVD. WILL BE MODIFIED TO ALLOW LEFT HAND TURNS ACCESSING THE NEW DRIVEWAY ENTRANCE. THE PROJECT INCLUDES A LOT-MERGER WITH THE BUILDINGS LOCATED ON THE PRIMARY SITE AND A SEPARATE SITE WITH EXISTING RAILROAD TRACKS THAT WILL BECOME PART OF THE SITE AND IMPROVED TO BECOME PART OF THE CITY'S RAIL-TO-TRAILS PROGRAM

PLANNING PERMIT NUMBER P19-0001

OFFICE BUILDING (Building Code Analysis)

OCCUPANCY GROUPS:	B - OFFICE / LAB	NO HAZARDOUS MATERIALS PER CBC 414.1.2														
CONSTRUCTION TYPE:	TYPE II-A	(FULLY-SPRINKLERED)														
PROPOSED BUILDING AREA:	<table border="1"> <tr><th>FLOOR</th><th>AREA</th></tr> <tr><td>1ST FLOOR</td><td>24,583 SF</td></tr> <tr><td>2ND FLOOR</td><td>25,386 SF</td></tr> <tr><td>3RD FLOOR</td><td>26,482 SF</td></tr> <tr><td>4TH FLOOR</td><td>26,482 SF</td></tr> <tr><td>5TH FLOOR</td><td>25,904 SF</td></tr> <tr><td>TOTAL</td><td>128,737 SF</td></tr> </table>	FLOOR	AREA	1ST FLOOR	24,583 SF	2ND FLOOR	25,386 SF	3RD FLOOR	26,482 SF	4TH FLOOR	26,482 SF	5TH FLOOR	25,904 SF	TOTAL	128,737 SF	
FLOOR	AREA															
1ST FLOOR	24,583 SF															
2ND FLOOR	25,386 SF															
3RD FLOOR	26,482 SF															
4TH FLOOR	26,482 SF															
5TH FLOOR	25,904 SF															
TOTAL	128,737 SF															
ALLOWABLE HEIGHT:	85'-0" (ZONING IS UNLIMITED HEIGHT) (SEE CBC2016 TABLE 504.3)															
PROPOSED HEIGHT:	82'-0" TO ROOF (100'-0" T.O. ROOFSCREEN)															
ALLOWABLE STORIES:	6-STORIES (ZONING IS UNLIMITED STORIES) (SEE CBC2016 TABLE 504.4)															
PROPOSED STORIES:	5-STORIES															
REQUIRED # STAIRS:	2 STAIRS															
PROPOSED # STAIRS:	3 STAIRS															
FIRE-RESISTIVE REQUIREMENTS	REQ'D	(TABLE 601)														
PRIMARY STRUCTURAL FRAME:	1-HR															
EXTERIOR BEARING WALLS:	1-HR (NONE INCLUDED)															
INTERIOR BEARING WALLS:	1-HR (NONE INCLUDED)															
NON-BEARING WALLS + PARTITIONS: (EXTERIOR)	NR															
NON-BEARING WALLS + PARTITIONS (INTERIOR)	NR															
FLOOR CONST. + SECONDARY MEMBERS	1-HR															
ROOF CONST. + SECONDARY MEMBERS	1-HR															
SHAFT ENCLOSURES: (STAIR + ELEV)	2-HR (2-HR. PROPOSED BECAUSE > 4- STORIES CONNECTING)															
SHAFT ENCLOSURES: (HVAC)	2-HR (2-HR. PROPOSED BECAUSE > 4- STORIES CONNECTING)															
STAIRWAY CONSTRUCTION:	PROPOSED IS STEEL STRINGER + STEEL PAN WITH CONC. FILL															

GARAGE (Building Code Analysis)

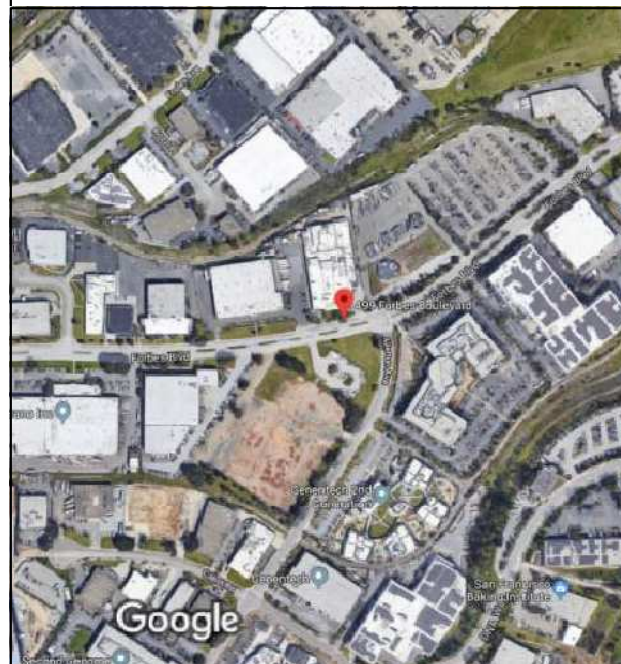
OCCUPANCY GROUP:	S2 - OPEN PARKING GARAGE															
CONSTRUCTION TYPE:	TYPE 1-A (FULLY-SPRINKLERED)															
ALLOWABLE AREA:	BASIC: UNLIMITED															
PROPOSED BUILDING AREA:	<table border="0"> <tr><td>1ST LEVEL</td><td>21,070 SF</td><td>(61 STALLS)</td></tr> <tr><td>2ND LEVEL</td><td>21,070 SF</td><td>(69 STALLS)</td></tr> <tr><td>3RD LEVEL</td><td>21,070 SF</td><td>(69 STALLS)</td></tr> <tr><td>4TH LEVEL</td><td>21,070 SF</td><td>(68 STALLS)</td></tr> <tr><td>TOTAL:</td><td>84,280 SF</td><td>O.K. 267 GARAGE STALLS</td></tr> </table>	1ST LEVEL	21,070 SF	(61 STALLS)	2ND LEVEL	21,070 SF	(69 STALLS)	3RD LEVEL	21,070 SF	(69 STALLS)	4TH LEVEL	21,070 SF	(68 STALLS)	TOTAL:	84,280 SF	O.K. 267 GARAGE STALLS
1ST LEVEL	21,070 SF	(61 STALLS)														
2ND LEVEL	21,070 SF	(69 STALLS)														
3RD LEVEL	21,070 SF	(69 STALLS)														
4TH LEVEL	21,070 SF	(68 STALLS)														
TOTAL:	84,280 SF	O.K. 267 GARAGE STALLS														
ALLOWABLE HEIGHT:	UNLIMITED (SEE CBC2016 TABLE 504.3)															
PROPOSED HEIGHT:	58'-2"															
ALLOWABLE STORIES:	UNLIMITED (SEE CBC2016 TABLE 504.4)															
PROPOSED STORIES:	5-STORIES ABOVE GRADE															
REQUIRED # STAIRS:	2 STAIRS															
PROPOSED # STAIRS:	2 STAIRS															
FIRE-RESISTIVE REQUIREMENTS	REQ'D	PROPOSED	(TABLE 601)													
PRIMARY STRUCTURAL FRAME:	3-HR.	3-HR MIN. CONC. COLUMNS PROPOSED														
EXTERIOR BEARING WALLS:	3-HR.	3-HR MIN. CONC. WALLS PROPOSED														
INTERIOR BEARING WALLS:	3-HR.	3-HR MIN. CONC. SHEAR WALLS PROPOSED														
NON-BEARING WALLS + PARTITIONS: (EXTERIOR)	NR	ELECTRIC ROOM >30' FROM PROPERTY LINE ALL AROUND														
NON-BEARING WALLS + PARTITIONS (INTERIOR)	NR															
FLOOR CONST. + SECONDARY MEMBERS	2-HR	2-HR MIN. CONC. FLOORS PROPOSED														
ROOF CONST. + SECONDARY MEMBERS	1.5-HR	2-HR MIN. CONC. FLOORS PROPOSED														
SHAFT ENCLOSURES: (STAIR + ELEV)	2-HR	2-HR														
STAIRWAY CONSTRUCTION:		PROPOSED IS STEEL														

SHEET INDEX

C	COVER
C.1	STATISTICS
ARCHITECTURAL	
A0	OVERALL SITE PLAN
A0.1	CONTEXT IMAGES
A1	SITE PLAN
A1.1	LANDSCAPE AREA DIAGRAM
A1.1a	PATH, LIGHTING + SIGNAGE PLAN
A1.2	BUILDING CODE + FIRE ACCESS
A2	1ST FLOOR PLAN
A2.1	2ND FLOOR PLAN
A2.2	3RD FLOOR PLAN
A2.3	4TH FLOOR PLAN
A2.4	5TH FLOOR PLAN
A2.5	ROOF PLAN
A2.6	ENLARGED PLANS
A3	LAB BUILDING SECTIONS
A4	LAB BUILDING ELEVATIONS
A5	LAB BUILDING VIEWS
A5.1	LAB BUILDING VIEWS
A6	GARAGE FLOOR PLANS
A6.1	GARAGE FLOOR PLANS
A7	GARAGE SECTIONS
A8	GARAGE ELEVATIONS
A8.1	GARAGE ELEVATIONS
A8.2	OPEN GARAGE ANALYSIS
A9	GARAGE VIEWS
LOT-MERGER	
LM-1	PRELIMINARY MAP
LM-2	PRELIMINARY MAP
LM-3	PRELIMINARY MAP
CIVIL	
C-01	SITE DEMOLITION PLAN
C-11	GRADING + DRAINAGE PLAN
C-12	STORMWATER CONTROL PLAN
C-13	STORMWATER CONTROL NOTES + DETAILS
C-14	GRADING + DRAINAGE PLAN FOR RAILS TO TRAIL
C-15	GRADING + DRAINAGE PLAN FOR RAILS TO TRAIL
C-16	GRADING + DRAINAGE PLAN FOR RAILS TO TRAIL
C-17	SECTIONS
LANDSCAPE	
L1.0	LANDSCAPE PLANTING
L1.1	EXISTING TREE REMOVAL PLAN
L1.2	TRAIL PLANTING PLAN
L2.0	LANDSCAPE HYDROZONE PLAN

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	REVIEW	6/28/19
	PLANNING SUBMITTAL	8/19/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

LOCATION MAP



499 FORBES

South San Francisco, CA

Drawing Title:

COVER

Job # A0000.00

Date: 6/10/19

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Sheet:

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ZONING:	BTP - BUSINESS TECH PARK ('E' DIST)		
BUILDING USE:	BUSINESS/PROFESSIONAL OFFICE		TABLE 20.110.002
SITE AREA:	98,216 SF	(2.255 ACRES)	
	30,521 SF	(.7 ACRES)	
	128,737 SF	(2.96 ACRES)	

	REQUIRED	PROPOSED	CODE SECTION
SETBACKS:			TABLE 20.110.003
FRONT:	20'	20'	
REAR:	0'	0'	
INTERIOR SIDE:	0'	10' EAST SIDE 47' WEST SIDE	
BUILDING HEIGHT:	NO LIMIT	98' (l.o. mech screen)	
BUILDING AREA:	128,737 sf	128,737 SF	
FAR:	1.0	1.0 (128,737 / 128,737)	
COVERAGE:	.60 MAX	.36 (25,083 + 21,070 / 128,737) (46,153 / 128,737)	
LANDSCAPE AREA:	15% MIN.	29.4% (SEE A1.1)	

	ALLOWED/REQUIRED	PROPOSED	CODE SECTION
PARKING:	2.5 STALLS / 1,000 SF		
	128,737 x 2.5 = 322 STALLS	SURFACE: 59 GARAGE: 267	TABLE 20.330.004 (R/D)
TOTAL:	322 STALLS	326 (2.5/1000)	CITY REQUEST FOR REDUCTION FROM STD. 1 STALL PER 350 SF
PARKING STALL SIZE:	8'-6" WIDE 18'-0" DEEP (AT 90° PARKING)	8'-6" WIDE 18'-0" DEEP	TABLE 20.330.010
PARKING DRIVE AISLE WIDTH:	25' (90 DEGREE PARKING)	26' (FIRE DEPT. REQ.)	
PARKING SETBACK FROM STREET	50' (CAN BE REDUCED THROUGH USE PERMIT)	20'	
PARKING LANDSCAPE REQUIREMENTS:	10% OF PARKING AREA 4' MIN IN ANY DIRECTION	16.36%	
	5' WIDE LANDSCAPE BETWEEN PARKING AREA AND PROPERTY LINE	PROVIDED	
	ONE TREE FOR EVERY 5 SITE PARKING STALLS (59 / 5 = 12 MIN.)	46 TREES (24" BOX)	
	6' WIDE PARKING ISLAND EVERY 6 STALLS W/ 15 GAL. TREE	PROVIDED	
PARKING GARAGE LANDSCAPE REQUIREMENTS:	24" ROOFTOP PLANTING AROUND ENTIRE EXPOSED TOP FLOOR	PROVIDED (SEE GARAGE PLAN)	
ACCESSIBLE PARKING:			
SURFACE:	3 STALLS	2 ACCESSIBLE + 1 VAN	CBC 2016 TABLE 11B-208.2
GARAGE:	8 STALLS	6 ACCESSIBLE + 2 VAN	
TOTAL:	11 STALLS	8 ACCESSIBLE + 3 VAN	

PREFERENTIAL PARKING

EV READY PARKING	6%	(X 322 STALLS)		20 STALLS	CALGREEN
CARPPOOL/VANPOOL STALLS	10%	(X 322 STALLS) (33)		SITE: 26 STALLS GARAGE: 11 STALLS TOTAL: 37 STALLS	20.330.010

	BIKE PARKING:	ZONING REQ.	CALC	REQUIRED	PROPOSED	MUNICIPAL SECTION
SHORT TERM	SURFACE REQ'D:	10% OF CAR STALLS	322 X .1	33 BIKES	33 BIKES	20.330.008
LONG TERM	SURFACE REQ'D:	1 PER 25 STALLS	59 / 25	3 BIKES	12 BIKES	(UNDER CANOPY)
	GARAGE REQ'D:	1 PER 50 STALLS	263 / 50	6 BIKES	8 BIKES	(IN GARAGE)
				42 BIKES	53 BIKES	

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

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STATISTICS

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Date:	6/10/19
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Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

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Drawing Title:

**OVERALL
SITE PLAN**

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OVERALL SITE PLAN

SCALE: 1"=50'





NORTH TRACK



ADJACENT SITE EAST



FORBES LOOKING SOUTHEAST



ACROSS FORBES

Rev.	Descrip.	Date
REVIEW		4/18/19
REVIEW		5/8/19
REVIEW		5/10/19
REVIEW		5/23/19
REVIEW		5/31/19
PLANNING SUBMITTAL		6/28/19
COMMENT RESPONSE		8/19/19
BASESHEETS		10/14/19

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Drawing Title:

CONTEXT
IMAGES

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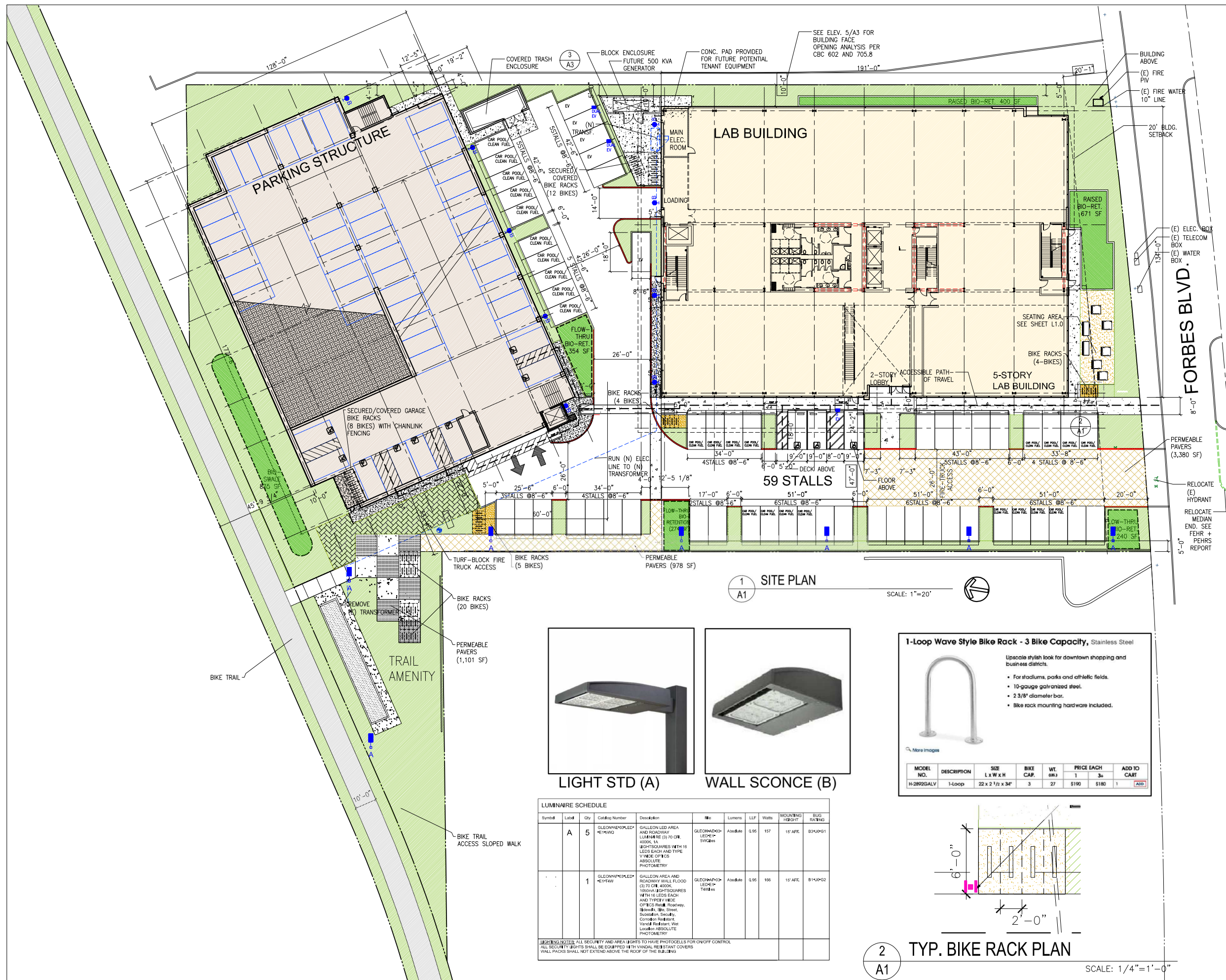
ADJACENT WEST BUILDING



SITE APPROACH FROM WEST



SITE APPROACH FROM EAST



Rev.	Descrp.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

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Drawing Title:

SITE PLAN

Job # A0000.00

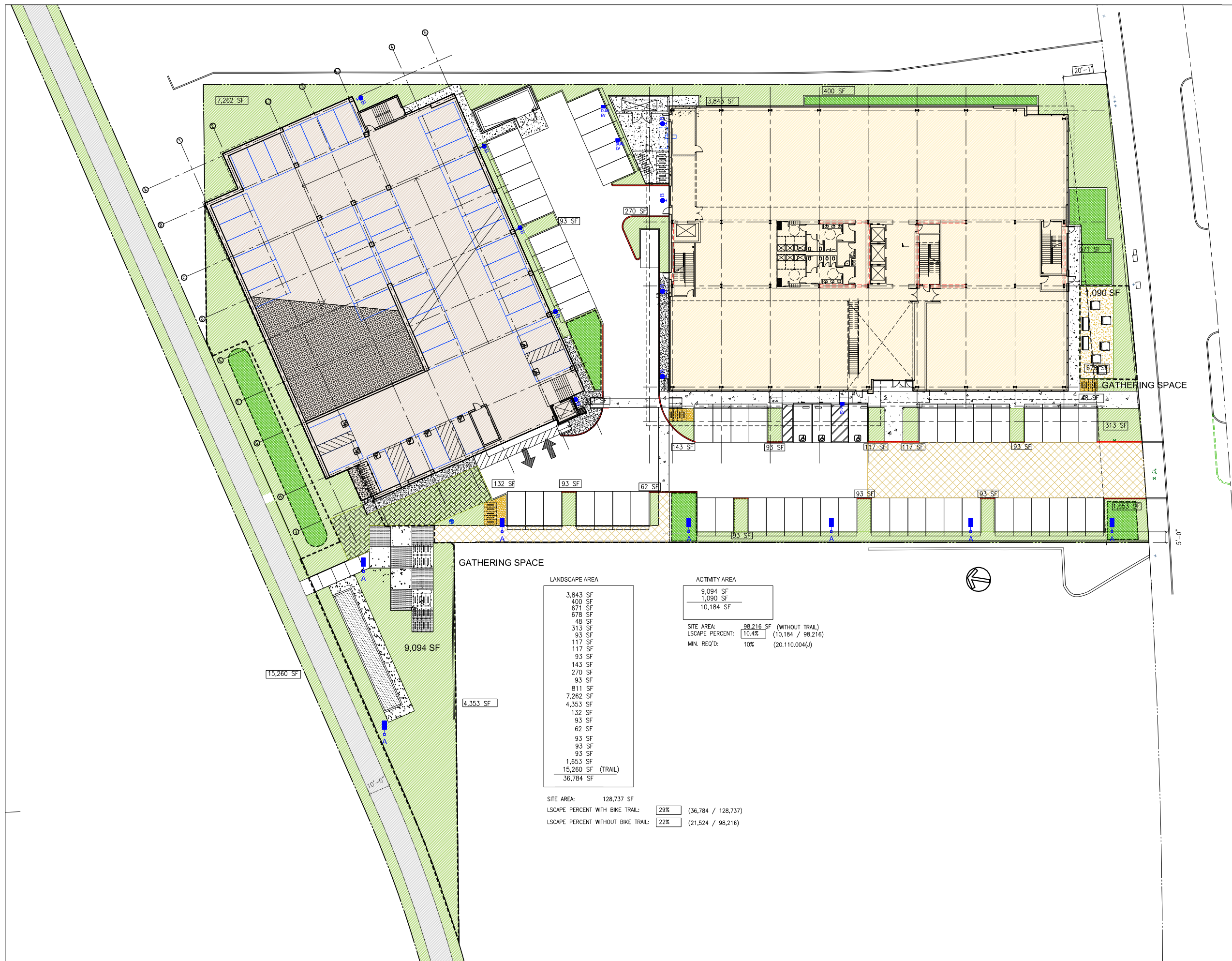
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Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

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Drawing Title:

**LANDSCAPE AREA
DIAGRAM**

Job #	A0000.00
Date:	6/10/19
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A1.1

LANDSCAPE AREA

- 3,843 SF
- 400 SF
- 671 SF
- 678 SF
- 48 SF
- 313 SF
- 93 SF
- 117 SF
- 117 SF
- 93 SF
- 143 SF
- 270 SF
- 93 SF
- 811 SF
- 7,262 SF
- 4,353 SF
- 132 SF
- 93 SF
- 62 SF
- 93 SF
- 93 SF
- 93 SF
- 1,653 SF
- 15,260 SF (TRAIL)
- 36,784 SF

SITE AREA: 128,737 SF

LSCAPE PERCENT WITH BIKE TRAIL: 29% (36,784 / 128,737)

LSCAPE PERCENT WITHOUT BIKE TRAIL: 22% (21,524 / 98,216)

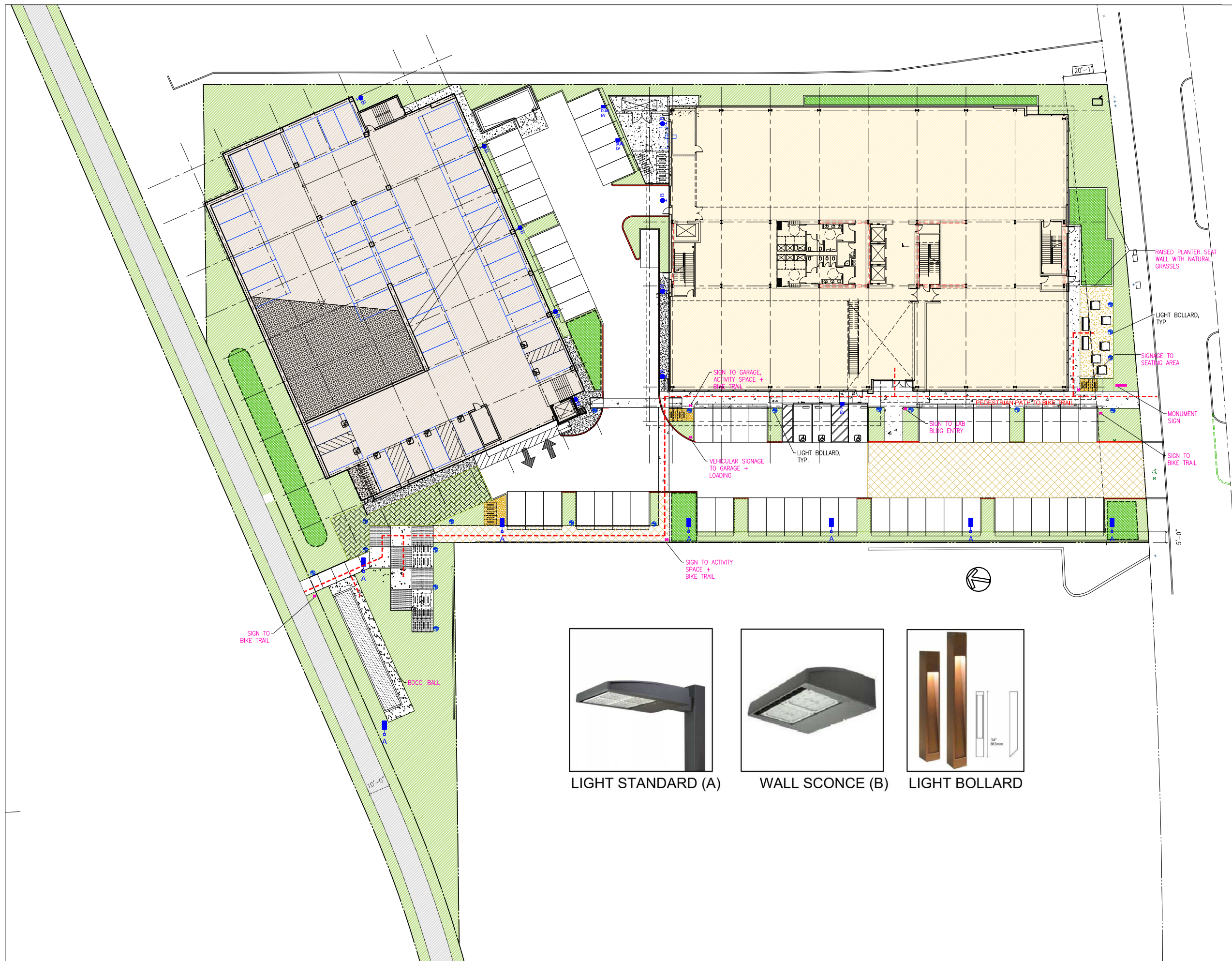
ACTIVITY AREA

- 9,094 SF
- 1,090 SF
- 10,184 SF

SITE AREA: 98,216 SF (WITHOUT TRAIL)

LSCAPE PERCENT: 10.4% (10,184 / 98,216)

MIN. REQ'D: 10% (20.110.004(J))



Rev.	Descrip.	Date
REVIEW		4/18/19
REVIEW		5/8/19
REVIEW		5/10/19
REVIEW		5/23/19
REVIEW		5/31/19
PLANNING SUBMITTAL		6/28/19
COMMENT RESPONSE		8/19/19
BASESHEETS		10/14/19

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Drawing Title:

**PATH, LIGHTING +
SIGNAGE PLAN**

Job #	A0000.00
Date:	6/10/19
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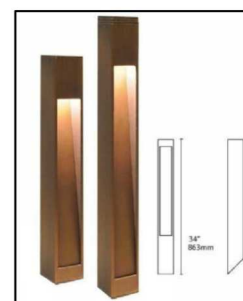
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LIGHT STANDARD (A)



WALL SCONCE (B)



LIGHT BOLLARD

FIRE REQUIREMENTS

FIRE SPRINKLER SYSTEM:
PER NFPA 13 +
SSFFD REQUIREMENTS
FIRE ALARM SYSTEM:
PER NFPA 72 + S
SSFFD REQUIREMENTS
WITH EXTERIOR LISTED HORN/STROBE
ALARM DEVICE (NOT A BELL)
STAIRCASE:
PER NFPA 14 +
SSFFD REQUIREMENTS
FIRE PUMP:
IF REQUIRED, INSTALL PER
NFPA 20 + SSFFD REQUIREMENTS
UNDERGROUND PIPING:
PER NFPA 24 + SSFFD REQUIREMENTS
CONNECTIONS:
PER NFPA STANDARD APPLICABLE TO
DESIGN AND COMPLY WITH SECTIONS
912.2 THROUGH 912.7

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASE SHEETS	10/14/19

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2ND FLOOR PLAN

Job #: A0000.00

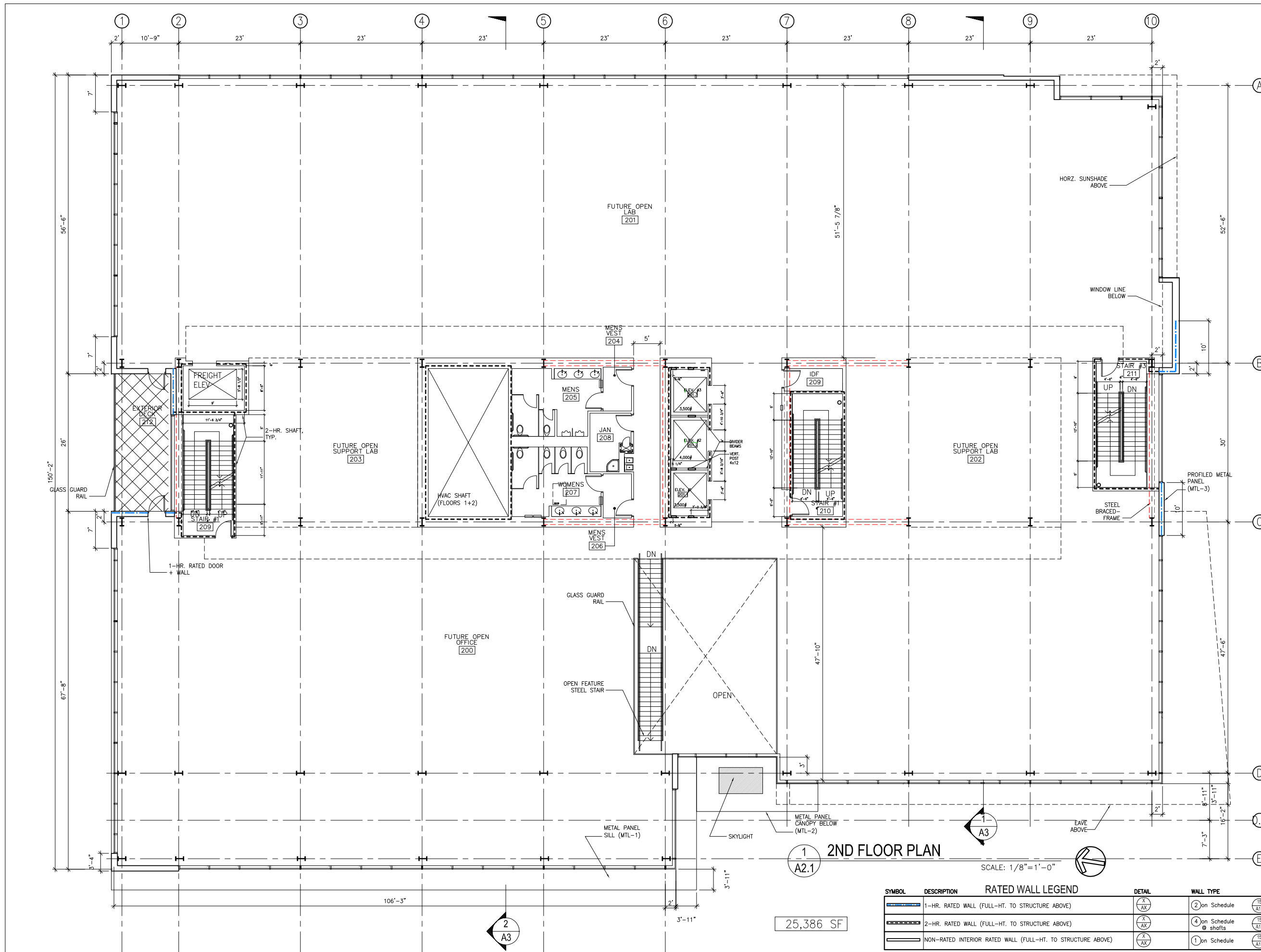
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2ND FLOOR PLAN

SCALE: 1/8"=1'-0"

25,386 SF

SYMBOL	DESCRIPTION	RATED WALL LEGEND	DETAIL	WALL TYPE
	1-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)	(1) on Schedule	(15) on Schedule	(15) on Schedule
	2-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)	(2) on Schedule	(15) on Schedule	(15) on Schedule
	NON-RATED INTERIOR RATED WALL (FULL-HT. TO STRUCTURE ABOVE)	(1) on Schedule	(15) on Schedule	(15) on Schedule

FIRE REQUIREMENTS

FIRE SPRINKLER SYSTEM:
PER NFPA 13 +
SSFFD REQUIREMENTS
FIRE ALARM SYSTEM:
PER NFPA 72 + S
SSFFD REQUIREMENTS
WITH EXTERIOR LISTED HORN/STROBE
ALARM DEVICE (NOT A BELL)
STANDPIPE:
PER NFPA 14 +
SSFFD REQUIREMENTS
FIRE PUMP:
IF REQUIRED, INSTALL PER
NFPA 20 + SSFFD REQUIREMENTS
UNDERGROUND PIPING:
PER NFPA 24 + SSFFD REQUIREMENTS
CONNECTIONS:
PER NFPA STANDARD APPLICABLE TO
DESIGN AND COMPLY WITH SECTIONS
912.2 THROUGH 912.7

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASE SHEETS	10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

3RD FLOOR PLAN

Job #: A0000.00

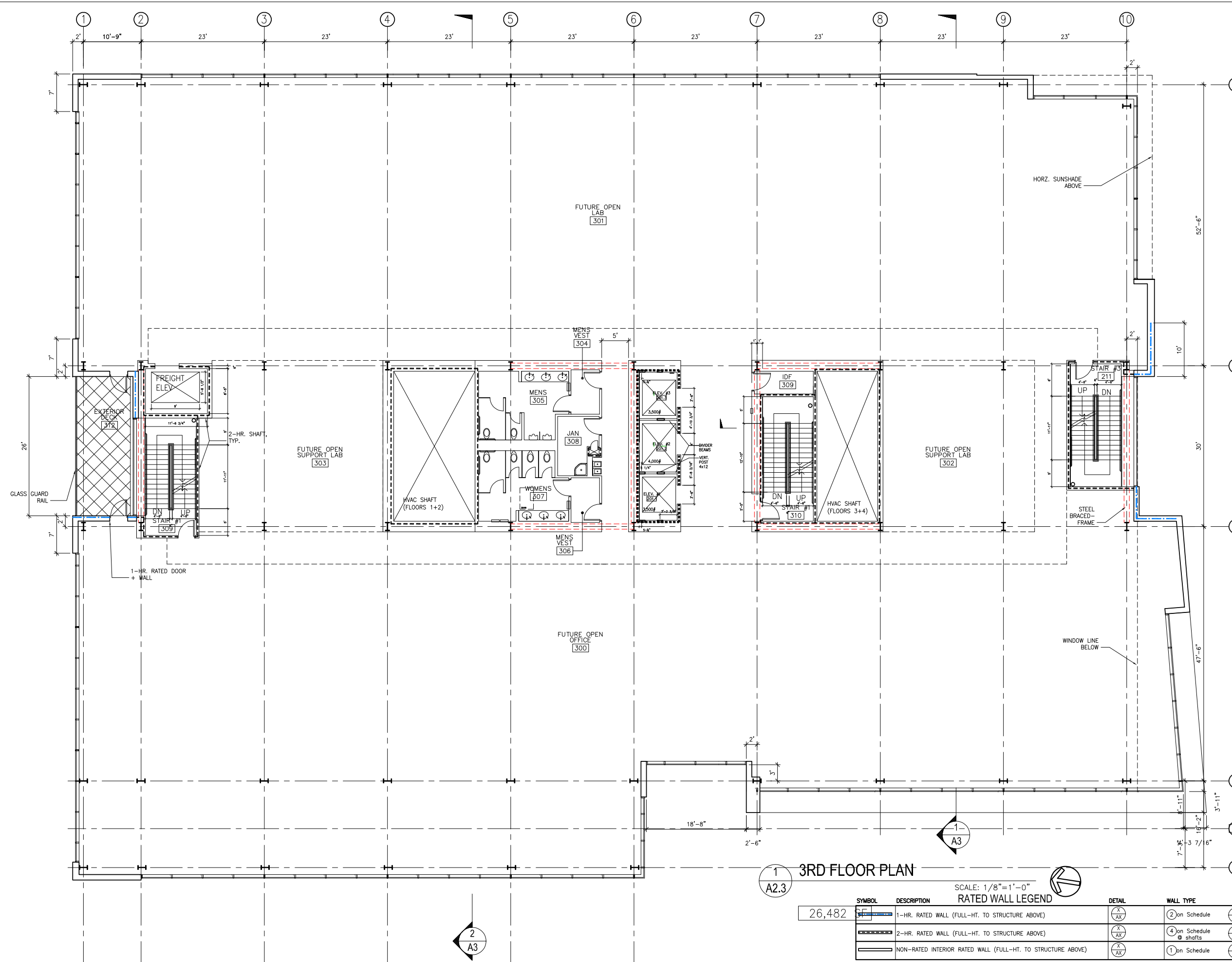
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A2.2



3RD FLOOR PLAN

SCALE: 1/8" = 1'-0"

SYMBOL	DESCRIPTION	DETAIL	WALL TYPE
	1-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)	(1) AX	(2) on Schedule
	2-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)	(2) AX	(4) on Schedule
	NON-RATED INTERIOR RATED WALL (FULL-HT. TO STRUCTURE ABOVE)	(1) AX	(1) on Schedule

26,482

2
A3

1
A3



FIRE REQUIREMENTS

FIRE SPRINKLER SYSTEM:
PER NFPA 13 +
SSFFD REQUIREMENTS
FIRE ALARM SYSTEM:
PER NFPA 72 + S
SSFFD REQUIREMENTS
WITH EXTERIOR LISTED HORN/STROBE
ALARM DEVICE (NOT A BELL)
STANDPIPE:
PER NFPA 14 +
SSFFD REQUIREMENTS
FIRE PUMP:
IF REQUIRED, INSTALL PER
NFPA 20 + SSFFD REQUIREMENTS
UNDERGROUND PIPING:
PER NFPA 24 + SSFFD REQUIREMENTS
CONNECTIONS:
PER NFPA STANDARD APPLICABLE TO
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912.2 THROUGH 912.7

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASE SHEETS	10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

4TH FLOOR PLAN

Job #: A0000.00

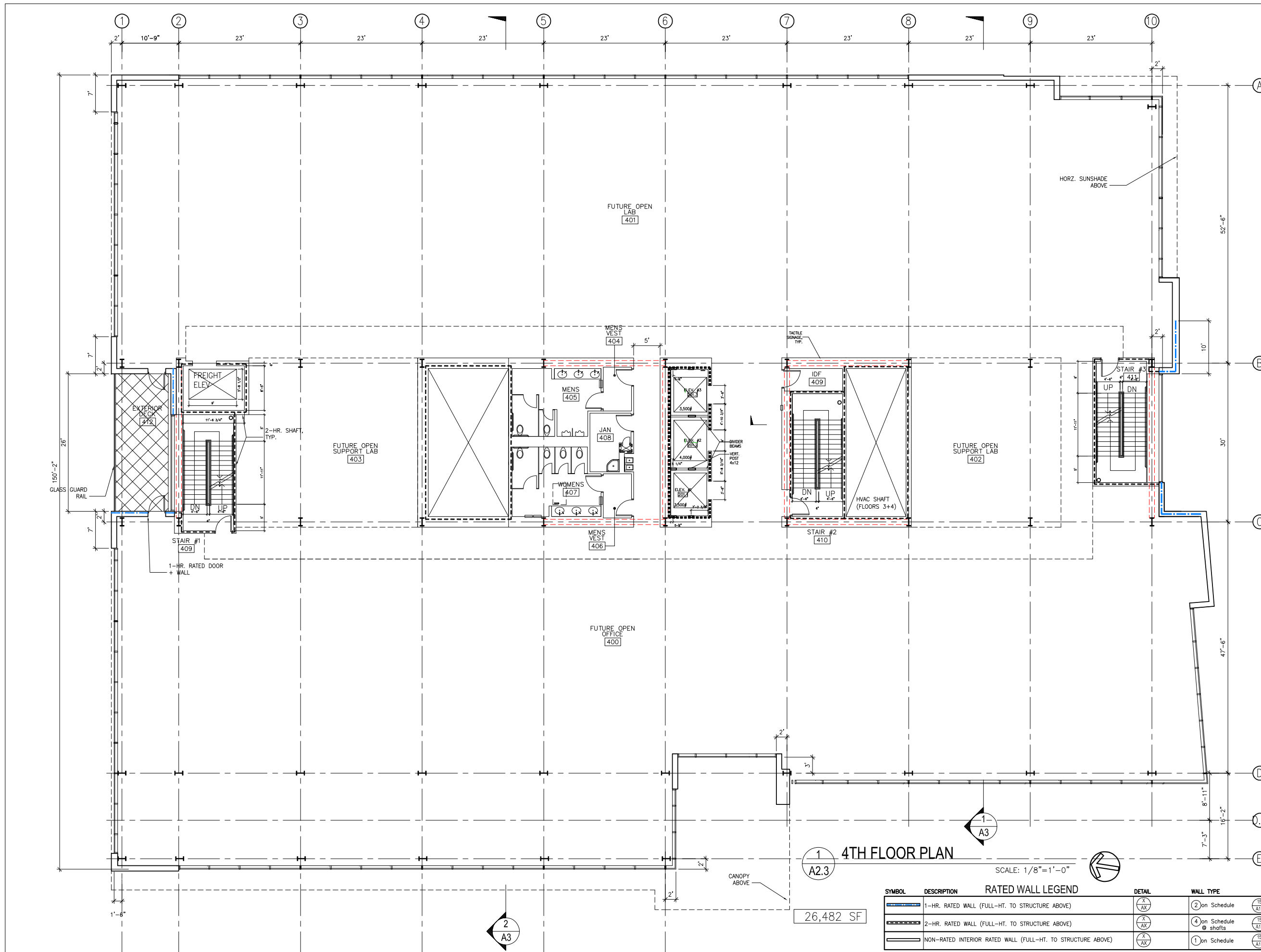
Date: 6/10/19

Scale: AS NOTED

Drawn By: CLC/BR

Sheet:

A2.3



1 4TH FLOOR PLAN

SCALE: 1/8"=1'-0"

26,482 SF

SYMBOL	DESCRIPTION	RATED WALL LEGEND	DETAIL	WALL TYPE
	1-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)			② on Schedule
	2-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)			④ on Schedule
	NON-RATED INTERIOR RATED WALL (FULL-HT. TO STRUCTURE ABOVE)			① on Schedule

FIRE REQUIREMENTS

FIRE SPRINKLER SYSTEM:
PER NFPA 13 +
SSFFD REQUIREMENTS
FIRE ALARM SYSTEM:
PER NFPA 72 + S
SSFFD REQUIREMENTS
WITH EXTERIOR LISTED HORN/STROBE
ALARM DEVICE (NOT A BELL)
STANDPIPE:
PER NFPA 14 +
SSFFD REQUIREMENTS
FIRE PUMP:
IF REQUIRED, INSTALL PER
NFPA 20 + SSFFD REQUIREMENTS
UNDERGROUND PIPING:
PER NFPA 24 + SSFFD REQUIREMENTS
CONNECTIONS:
PER NFPA STANDARD APPLICABLE TO
DESIGN AND COMPLY WITH SECTIONS
912.2 THROUGH 912.7

Rev.	Descrp.	Date
REVIEW		4/18/19
REVIEW		5/8/19
REVIEW		5/10/19
REVIEW		5/23/19
REVIEW		5/31/19
PLANNING SUBMITTAL		6/28/19
COMMENT RESPONSE		8/19/19
BASESHEETS		10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

5TH FLOOR PLAN

Job #: A0000.00

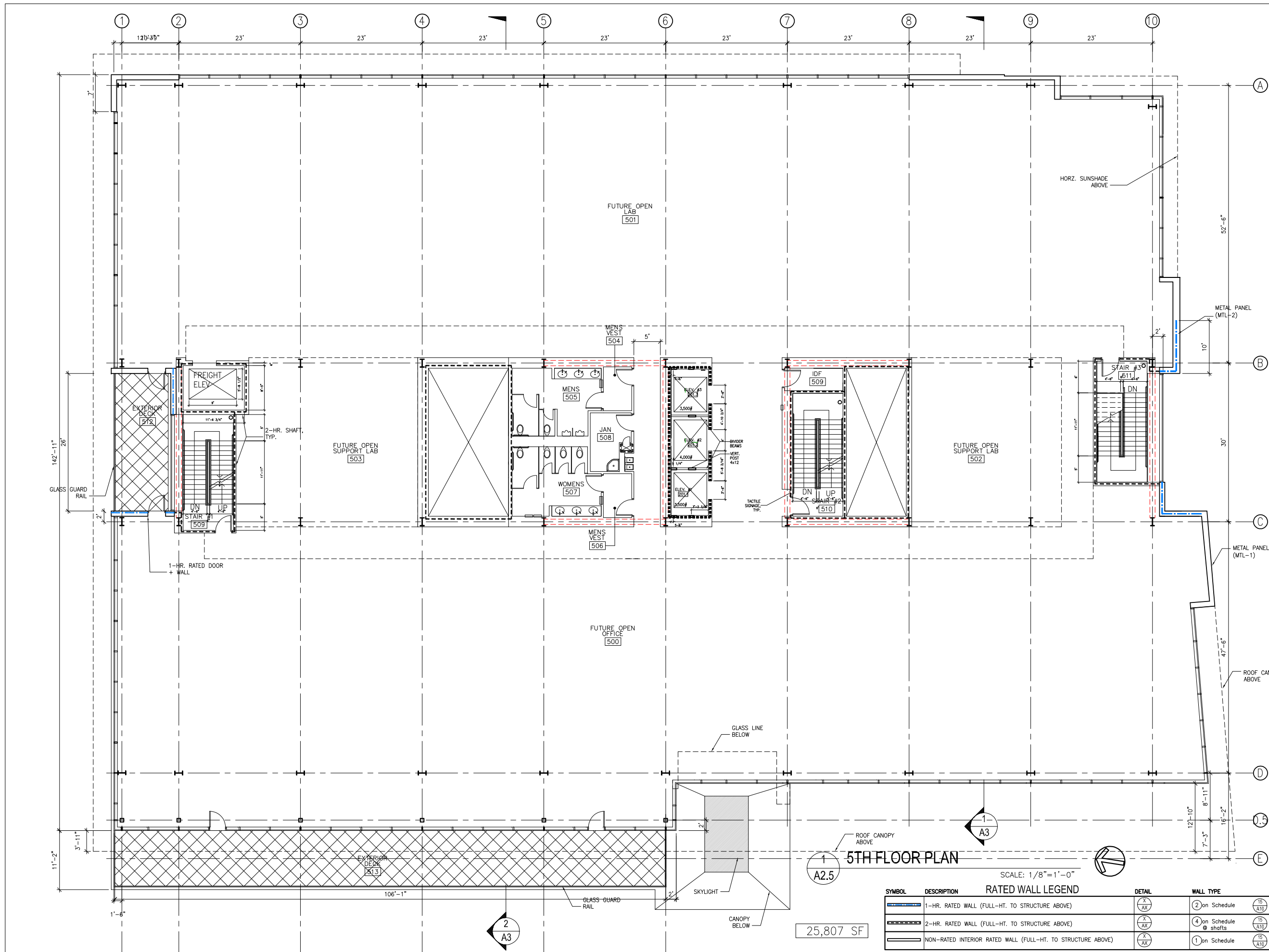
Date: 6/10/19

Scale: AS NOTED

Drawn By: CLC/BR

Sheet:

A2.4



5TH FLOOR PLAN

SCALE: 1/8"=1'-0"

25,807 SF

SYMBOL	DESCRIPTION	DETAIL	WALL TYPE
	1-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)		2 on Schedule
	2-HR. RATED WALL (FULL-HT. TO STRUCTURE ABOVE)		4 on Schedule
	NON-RATED INTERIOR RATED WALL (FULL-HT. TO STRUCTURE ABOVE)		1 on Schedule

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

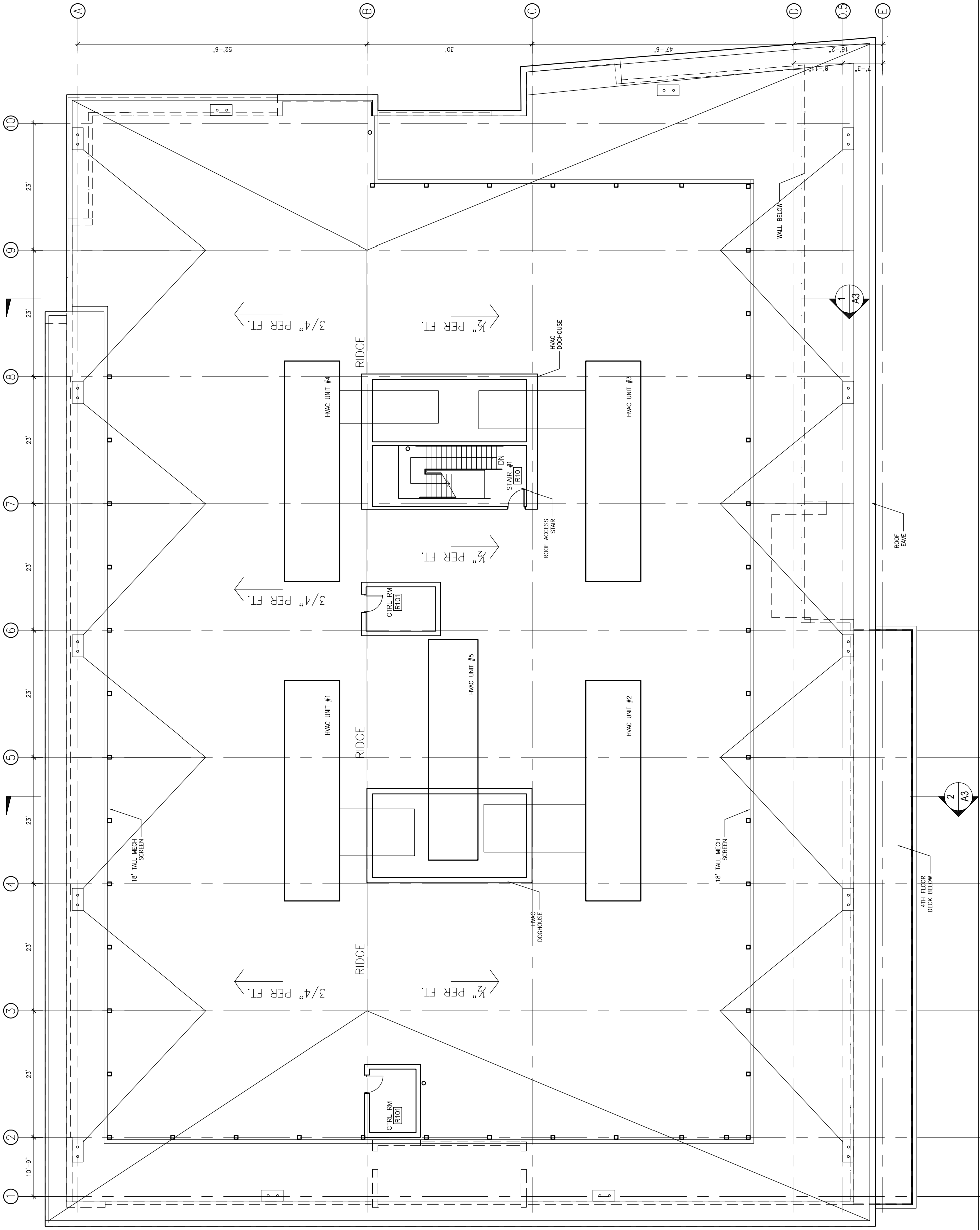
499 FORBES

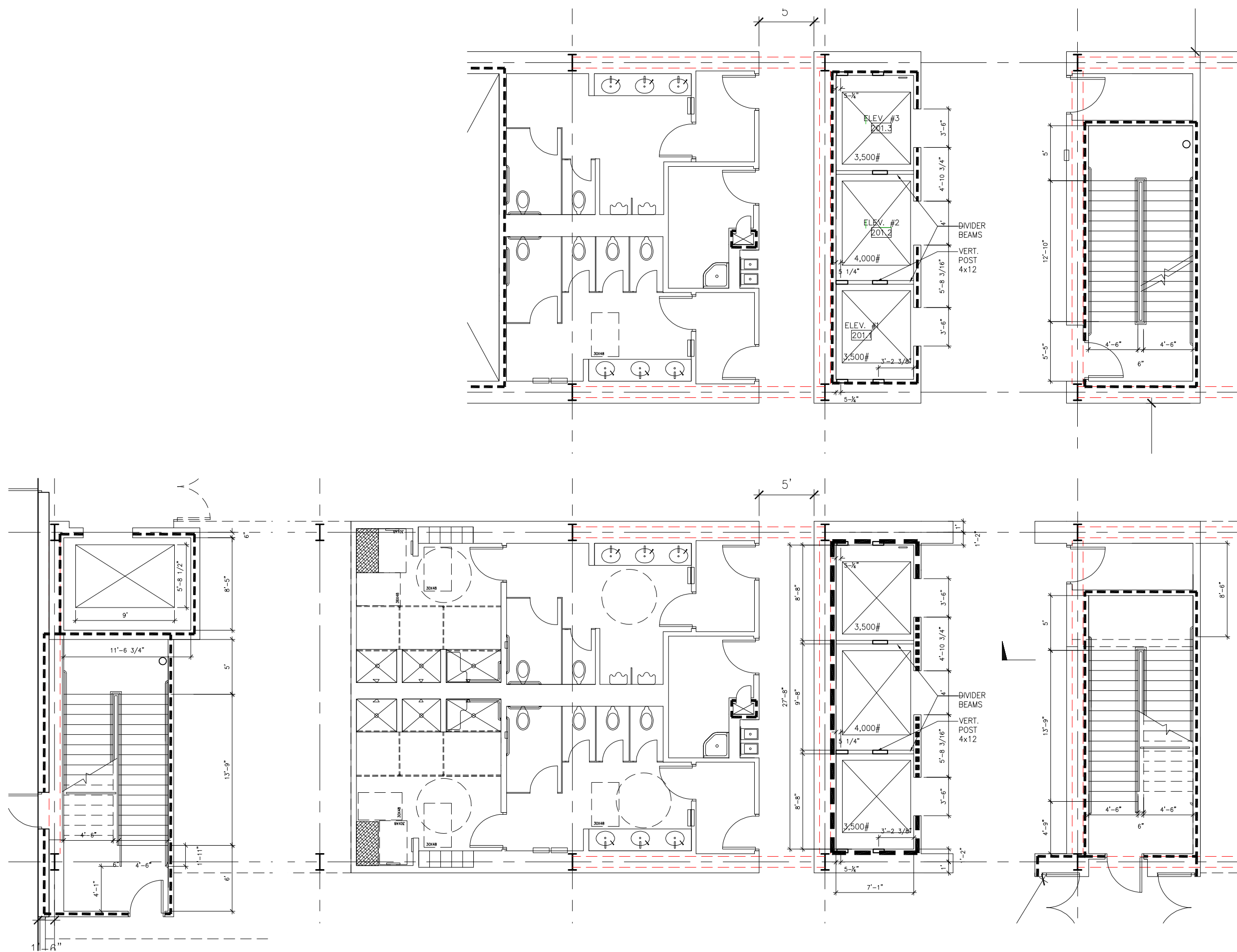
South San Francisco, CA

Drawing Title:

ROOF PLAN

Job #	A0000.00
Date:	6/10/19
Scale:	AS NOTED
Drawn By:	CLC/BR
Sheet:	





Rev.	Descrp.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

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Drawing Title:

**ENLARGED
PLANS**

Job # A0000.00

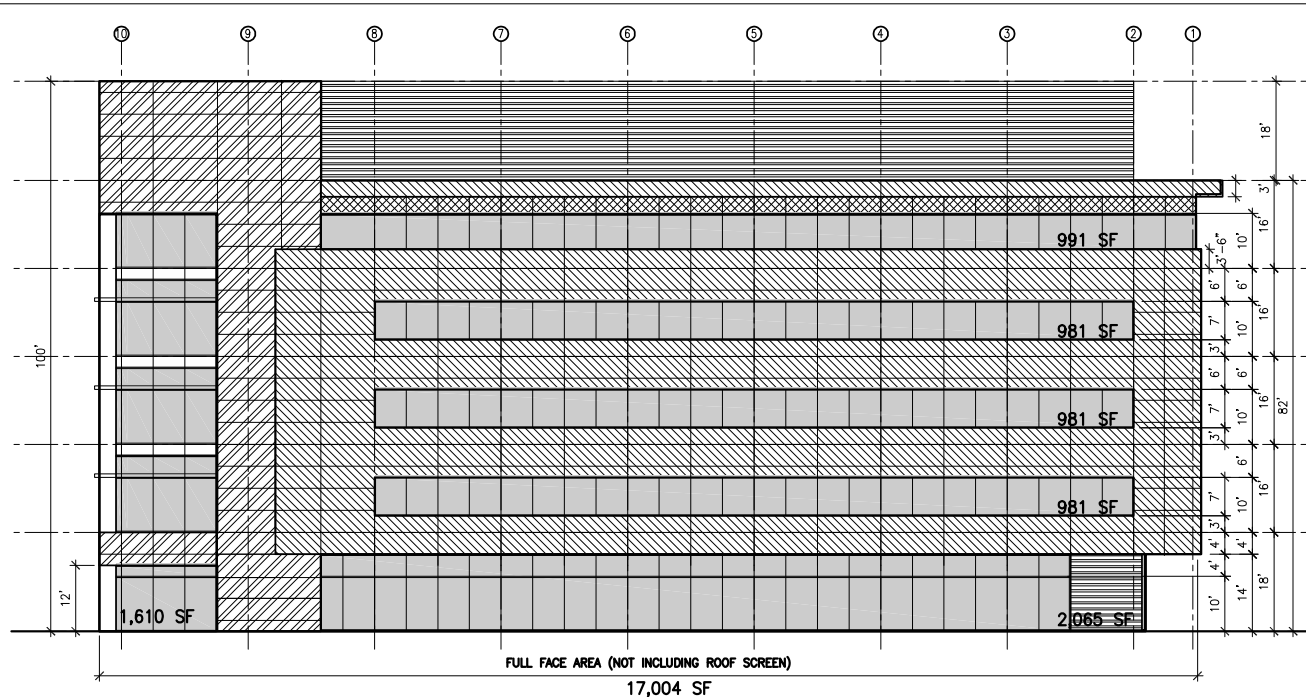
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Scale: AS NOTED

Drawn By: CLC/BR

Sheet:

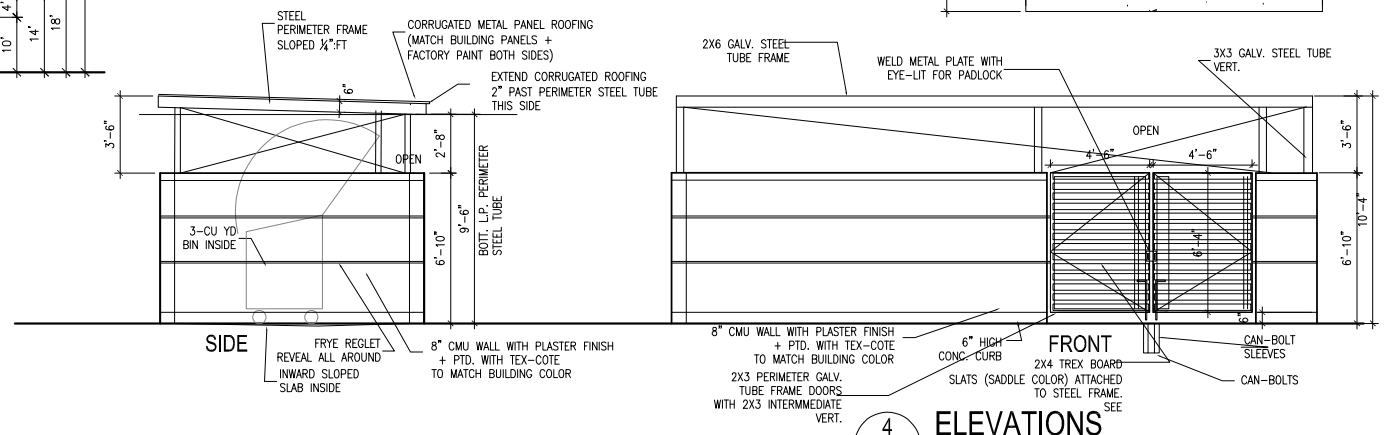
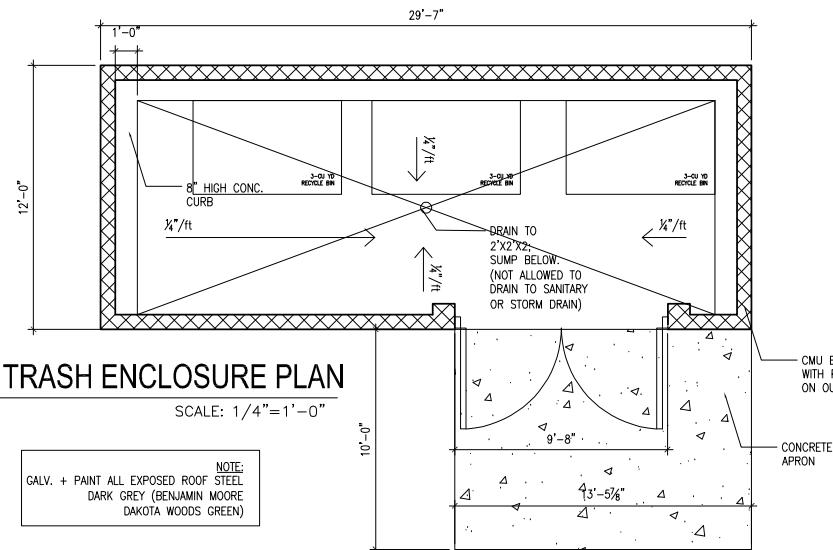
A2.6



5 LAB BLDG EAST FACE OPENING ANALYSIS
SCALE: 1/16"=1'-0"

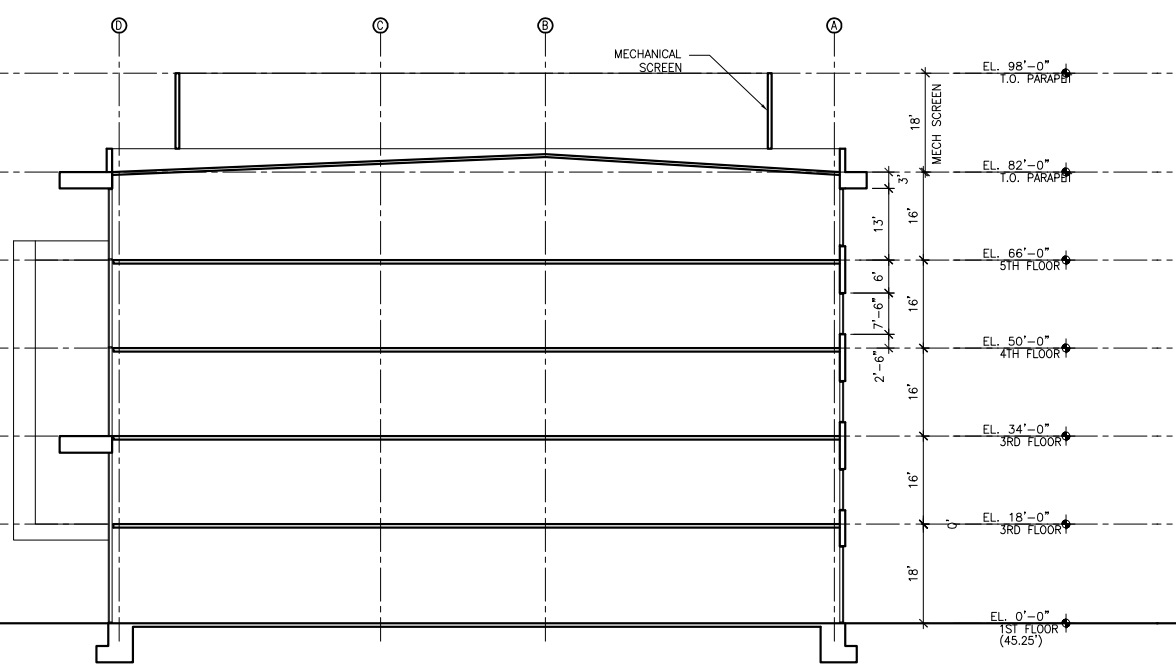
FACE SETBACK: 10'-0"
ALLOWABLE GLASS AREA: 45% (CBC TABLE 705.8)
FULL FACE AREA: 17,004 SF
WINDOW AREA: 991 SF, 981 SF, 981 SF, 981 SF, 2,065 SF, 1,610 SF
7,609 SF
WINDOW PCTG AREA: 7,609 / 17,004 = 44.7% (<45%, O.K.)

3 TRASH ENCLOSURE PLAN
SCALE: 1/4"=1'-0"

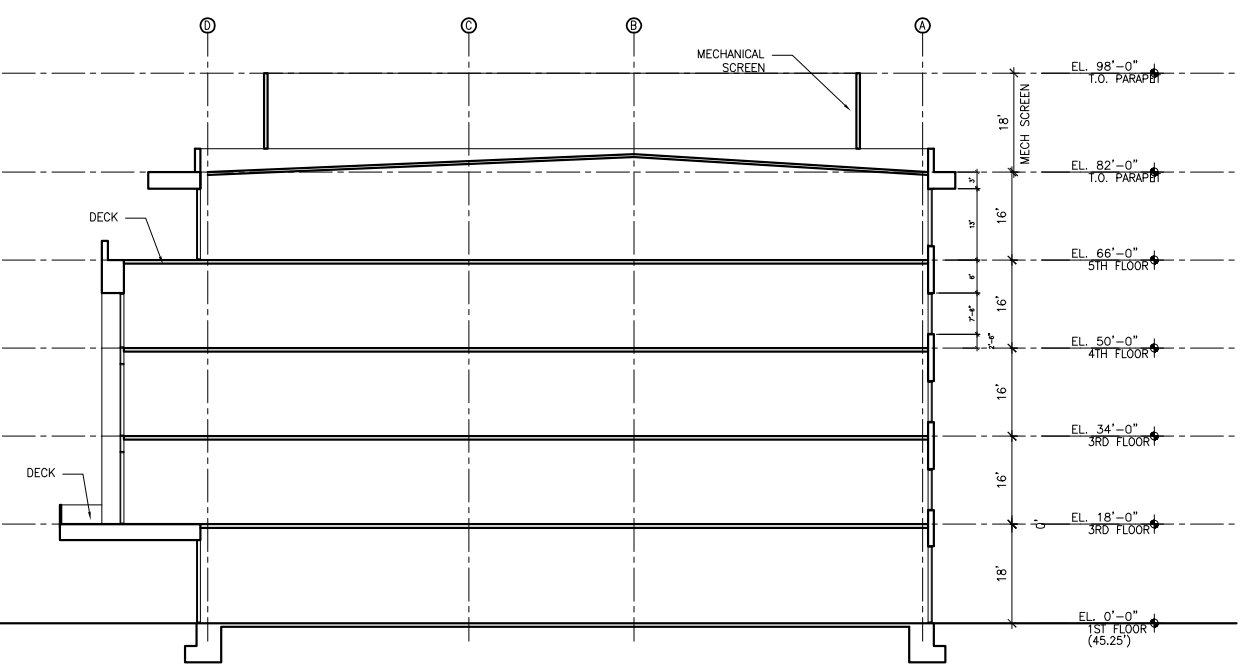


4 ELEVATIONS
SCALE: 1/4"=1'-0"

Rev.	Descr.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19



1 BUILDING SECTION
SCALE: 1/16"=1'-0"



2 BUILDING SECTION
SCALE: 1/16"=1'-0"

499 FORBES

South San Francisco, CA

Drawing Title:
LAB BUILDING SECTIONS

Job #	A0000.00
Date:	6/10/19
Scale:	AS NOTED
Drawn By:	CLC/BR
Sheet:	

A3

Rev.	Descrp.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

**LAB BUILDING
ELEVATIONS**

Job # A0000.00

Date: 6/10/19

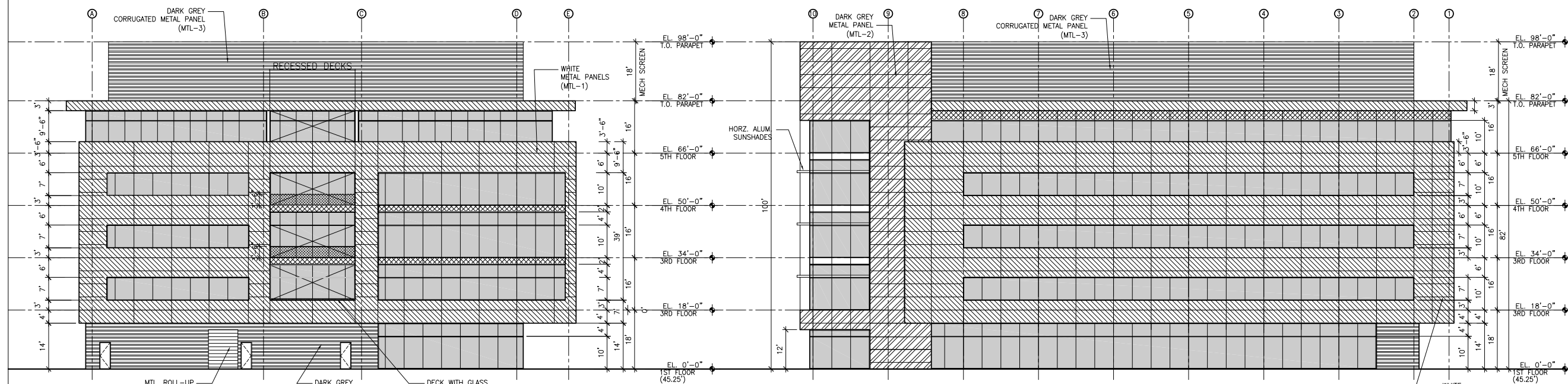
Scale: AS NOTED

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Sheet:

A4

SEE ELEV. 5/A3 FOR OPENING
ANALYSIS BASED ON 10'-0" SETBACK



4
A4 NORTH ELEVATION

SCALE: 1/16"=1'-0"

3
A4 EAST ELEVATION

SCALE: 1/16"=1'-0"

ITEM	DESCRIPTION	MANUFACTURER	SPEC	MATL	REMARKS
GL-1	DUAL GLAZED VISION GLASS	GUARDIAN	GUARDIAN SUNGUARD CLEAR + CLEAR WITH SOLARBAN 70XL LOW-E COATING ON #2 SURFACE, ALL TEMPERED (SHGC=.27) (STC= 35), (U-VALUE .28)	STEEL	ACOUSTIC REPORT BY CHARLES SALTER REQUIRES MIN. 28+31 STC RATING. THIS GLASS HAS A 35 STC RATING
	MULLIONS/PANEL CUSTOM COLOR	GUARDIAN	SILVER	STEEL	
MTL-1	WHITE FLAT METAL PANEL	ALUMAWALL	WHITE METAL COMPOSITE (MCM)	STEEL	
MTL-2	CHARCOAL FLAT METAL PANEL	ALUMAWALL	CHARCOAL METAL COMPOSITE (MCM)	STEEL	
MTL-3	PROFILED METAL PANEL ROOFSCREEN	MORIN	MX-1 18 GA. CHARCOAL FACTORY FINISH	STEEL	MATCH (MTL-2) COLOR
MTL-4	SIMULATED WOOD	ALUMA WALL	REYNOLBOND COLORWELD 500 CHARCOAL GREY	STEEL	

2
A4 SOUTH ELEVATION

SCALE: 1/16"=1'-0"

1
A4 WEST ELEVATION

SCALE: 1/16"=1'-0"



SOUTHEAST VIEW FROM FORBES



SOUTHWEST ENTRY VIEW FROM FORBES

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

**LAB BUILDING
VIEWS**

Job # A0000.00

Date: 6/10/19

Scale: AS NOTED

Drawn By: CLC/BR

Sheet:

A5



NORTHEAST VIEW



NORTHWEST VIEW

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REVIEW		5/8/19
REVIEW		5/10/19
REVIEW		5/23/19
REVIEW		5/31/19
PLANNING SUBMITTAL		6/28/19
COMMENT RESPONSE		8/19/19
BASESHEETS		10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

**LAB BUILDING
VIEWS**

Job # A0000.00

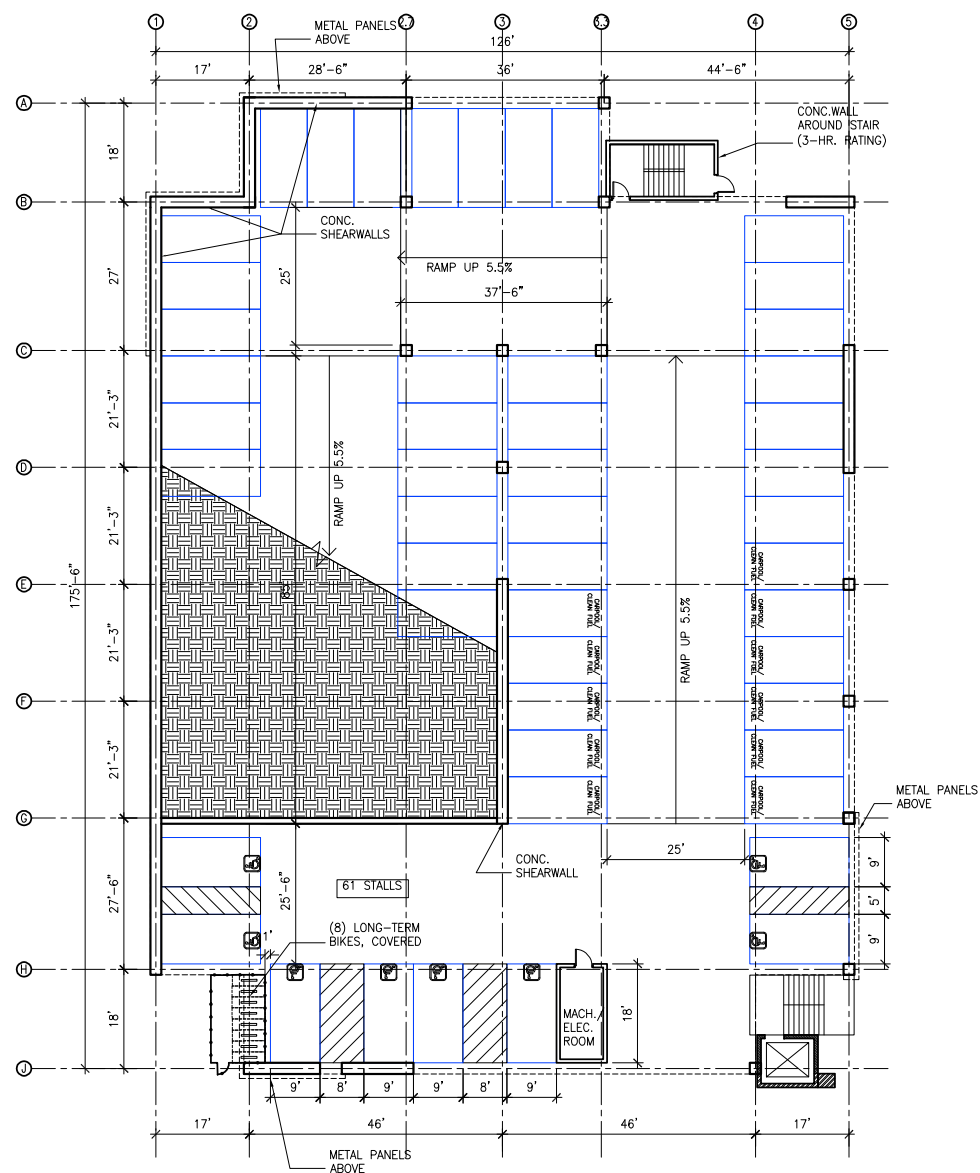
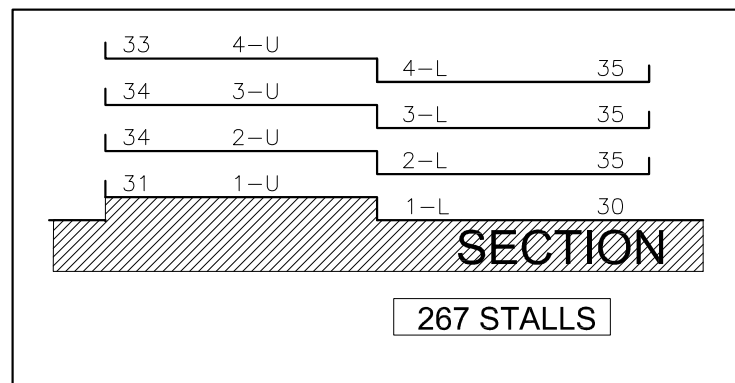
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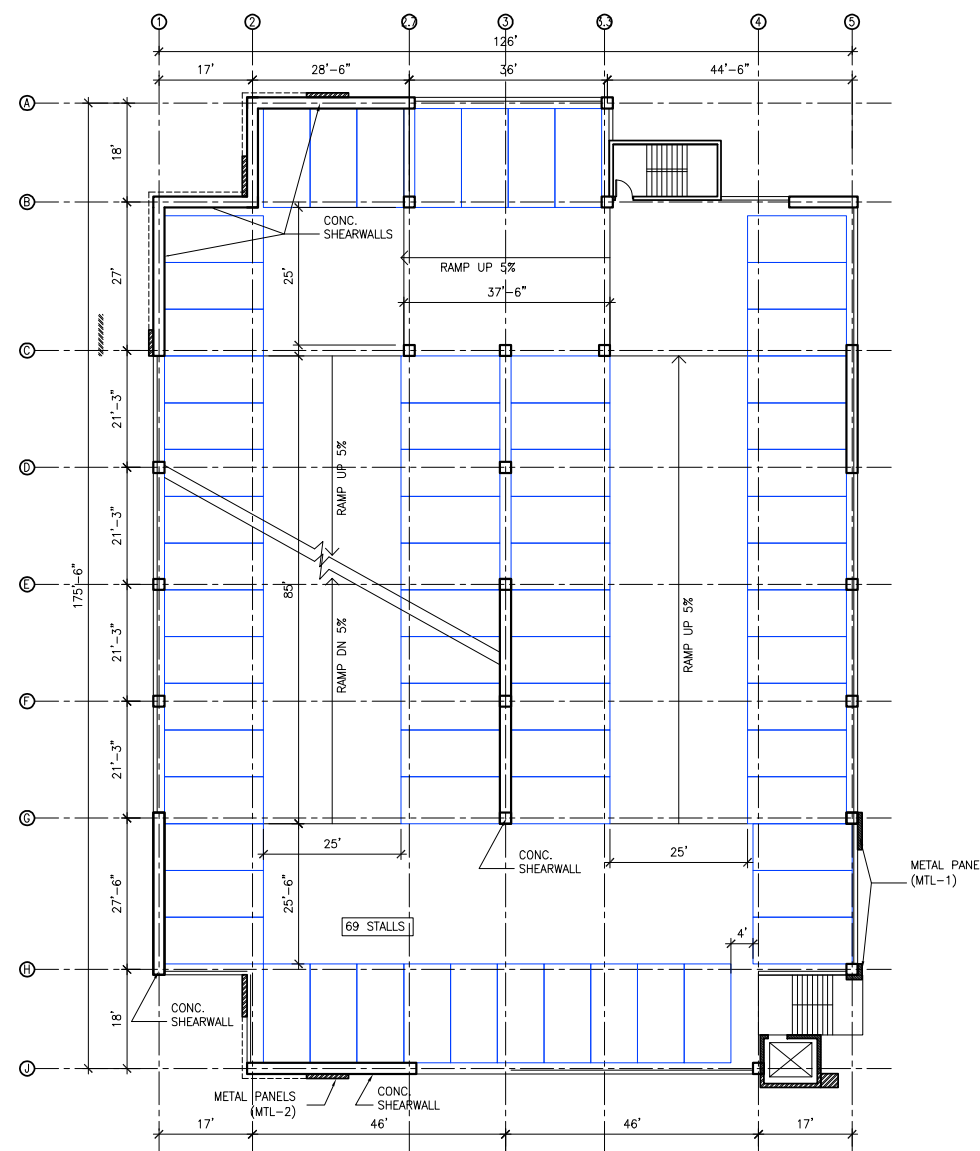
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A5.1



AREA: 21,070 SF
SCALE: 1/16"=1'-0"

OPEN GARAGE ANALYSIS (CBC 406.5)
PERIMETER LENGTH: 641'-0"
PERIMETER WALL AREA: 641' x 11.33' = 7,263 SF
MIN. OPEN AREA REQ'D: 20% x 7,263 SF = [1,453 SF]
SEE ELEVATIONS ON AS.2



AREA: 21,070 SF
SCALE: 1/16"=1'-0"

OPEN GARAGE ANALYSIS (CBC 406.5)
PERIMETER LENGTH: 641'-0"
PERIMETER WALL AREA: 641' x 10.33' = 6,622 SF
MIN. OPEN AREA REQ'D: 20% x 6,622 SF = [1,325 SF]
SEE ELEVATIONS ON AS.2

Rev.	Descrip.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

499 FORBES

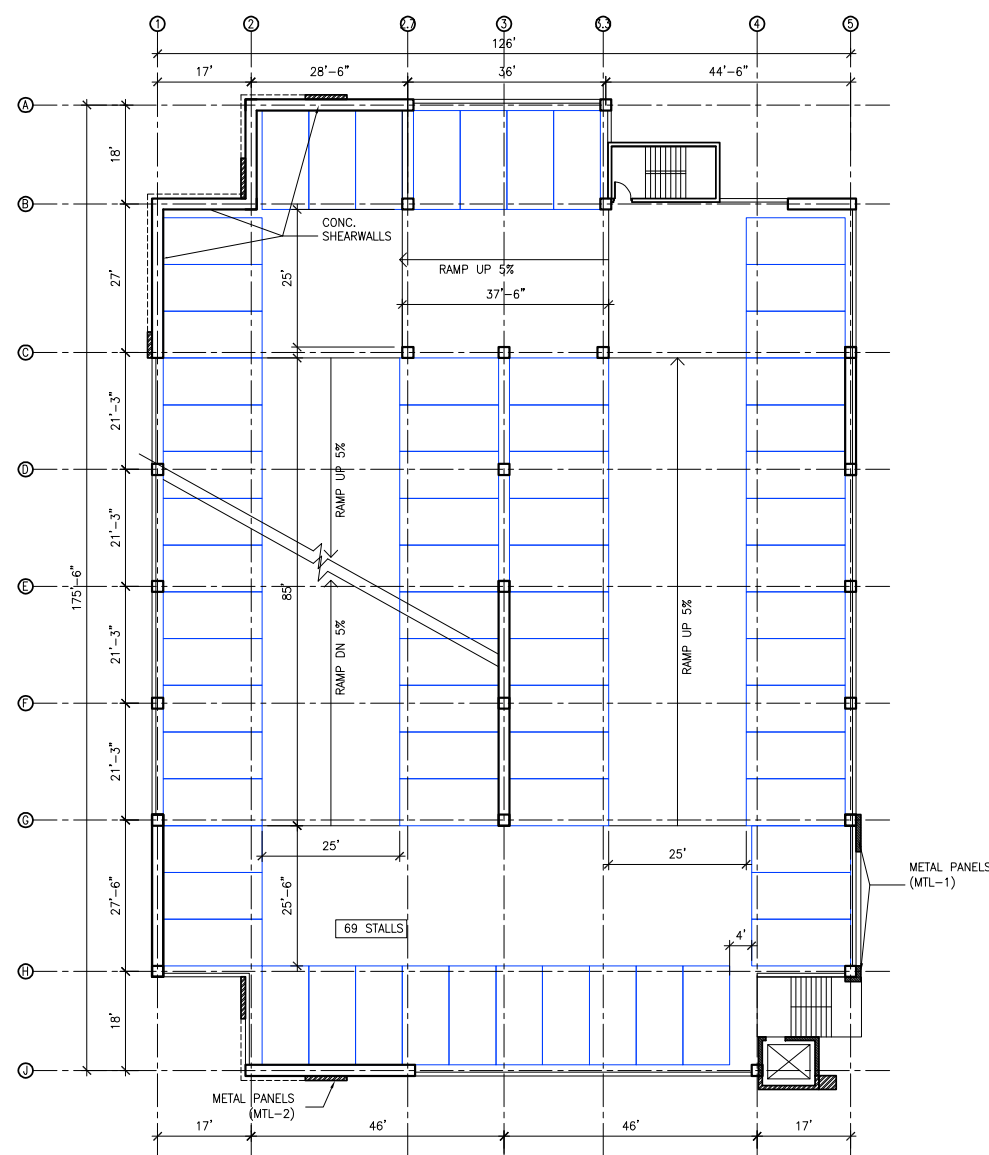
South San Francisco, CA

Drawing Title:

GARAGE PLANS

Job #	A0000.00
Date:	6/10/19
Scale:	AS NOTED
Drawn By:	CLC/BR
Sheet:	

A6

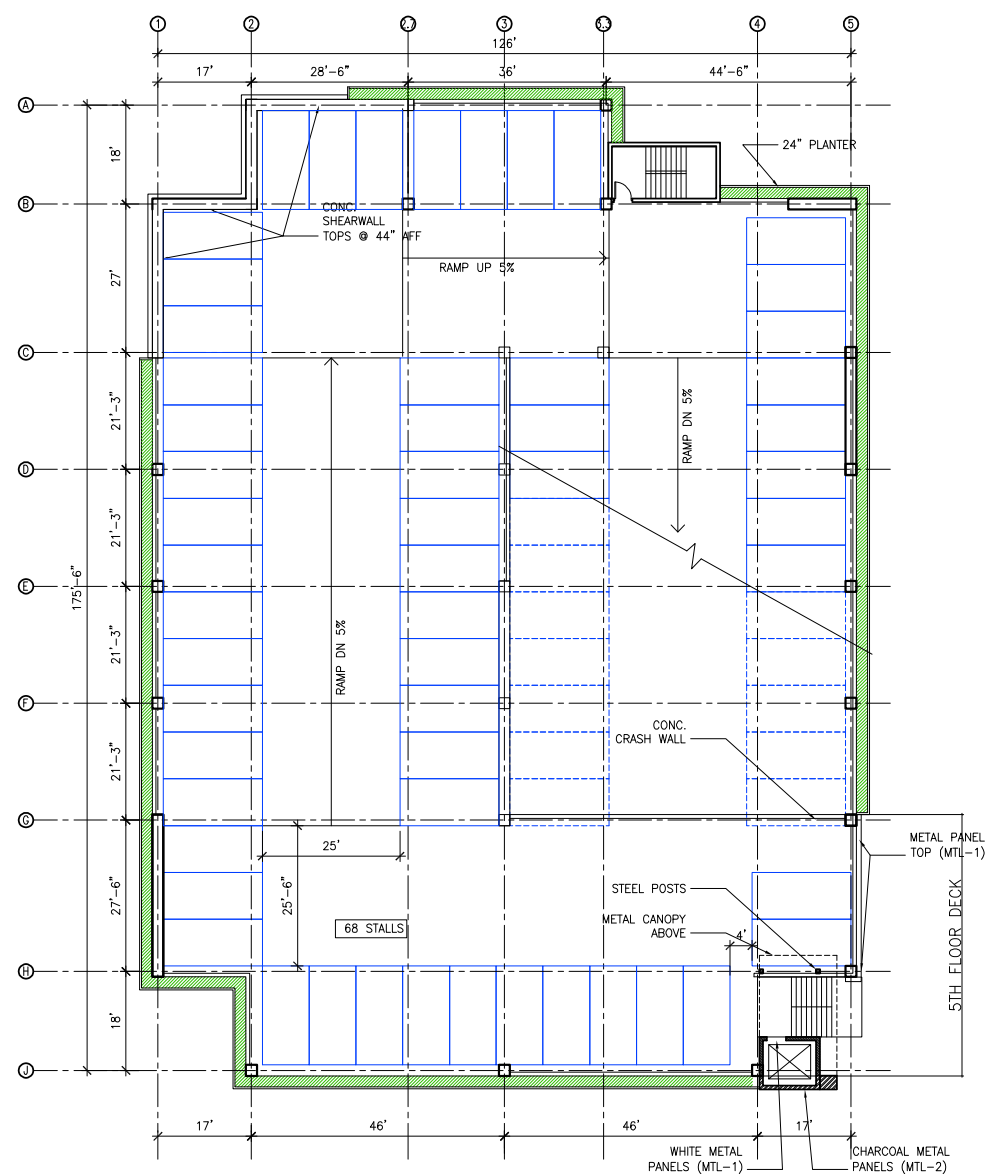


1
A6.1

3RD FLOOR PLAN

AREA: 21,070 SF
OPEN GARAGE ANALYSIS (CBC 406.5)
PERIMETER LENGTH: 641'-0"
PERIMETER WALL AREA: 641' x 10.33' = 6,622 SF
MIN. OPEN AREA REQ'D: 20% x 6,622 SF = [1,325 SF]
SEE ELEVATIONS ON A8.2

SCALE: 1/16"=1'-0"



2
A6.1

4TH FLOOR PLAN
(UP TO 5TH FLOOR)

AREA: 21,070 SF

SCALE: 1/16"=1'-0"

Rev.	Descrip.	Date
REVIEW		4/18/19
REVIEW		5/8/19
REVIEW		5/10/19
REVIEW		5/23/19
REVIEW		5/31/19
PLANNING SUBMITTAL		6/28/19
COMMENT RESPONSE		8/19/19
BASESHEETS		10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

GARAGE PLANS

Job #: A0000.00

Date: 6/10/19

Scale: AS NOTED

Drawn By: CLC/BR

Sheet:

A6.1

Rev.	Descrp.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

GARAGE ELEVATIONS

Job # A0000.00

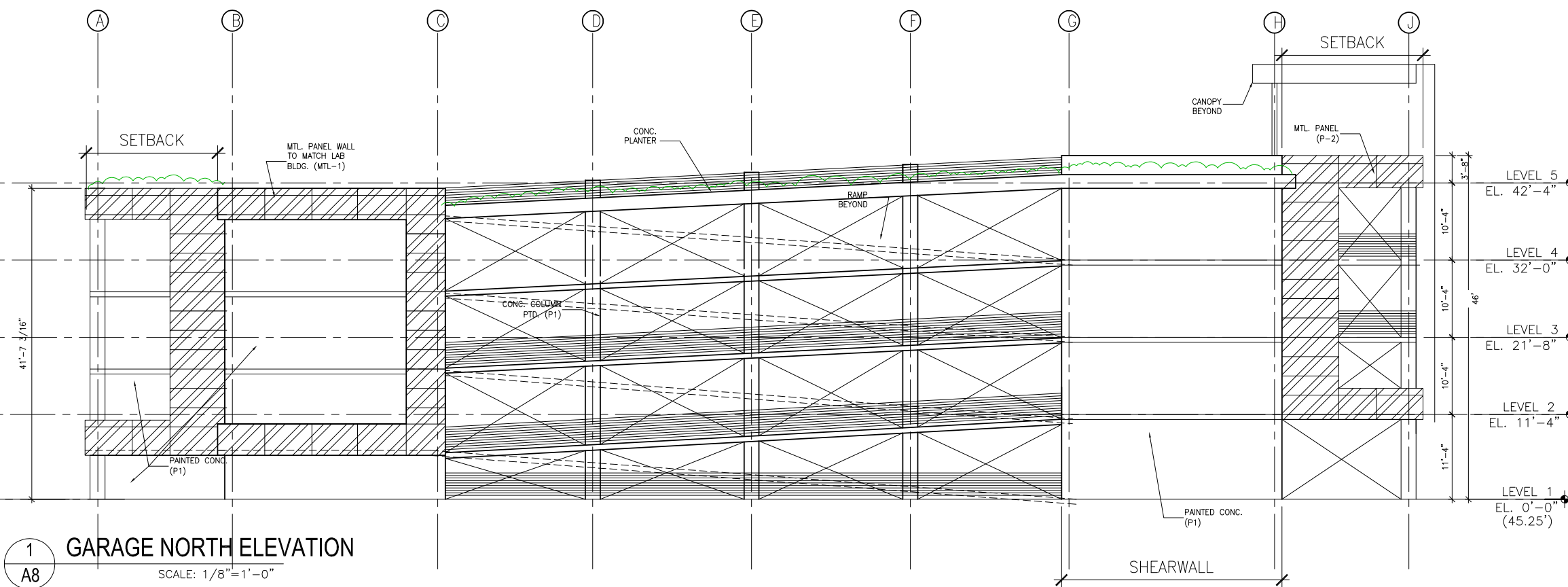
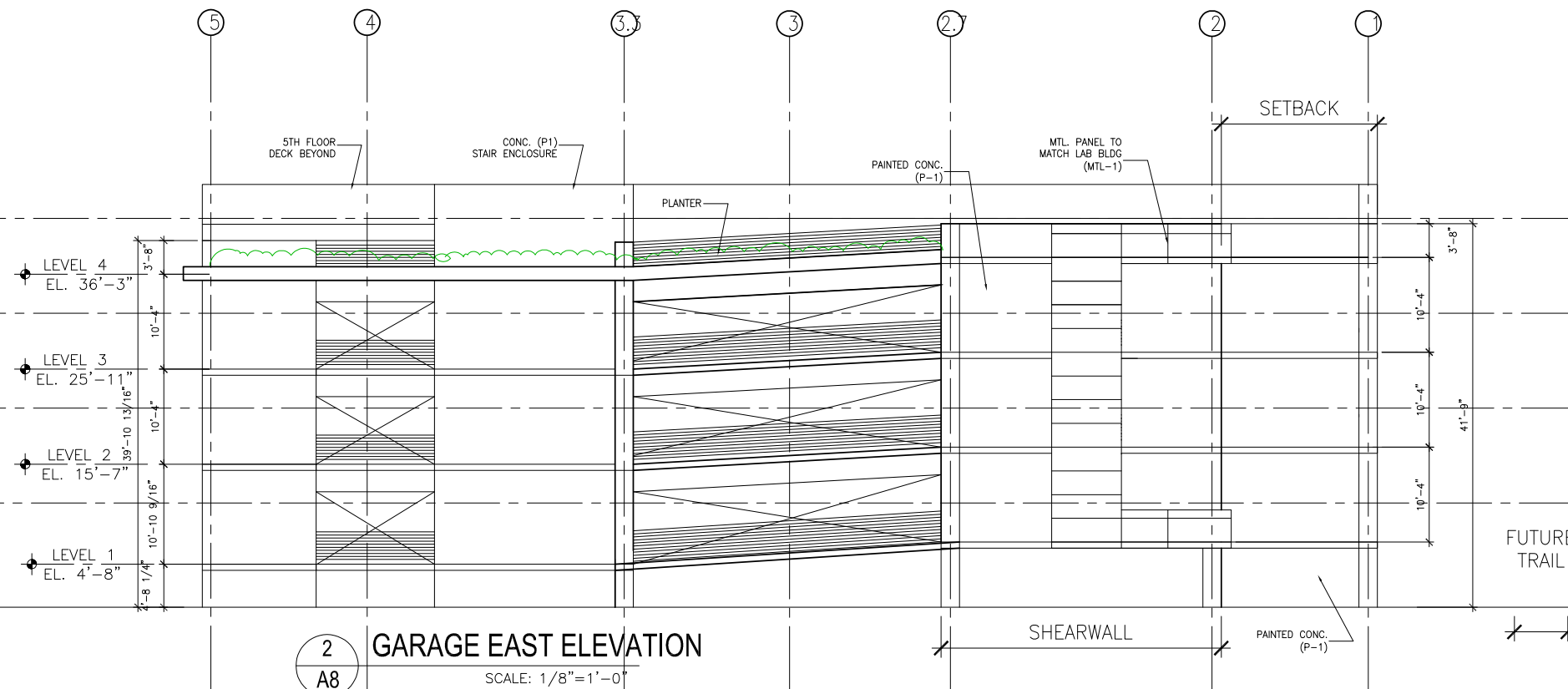
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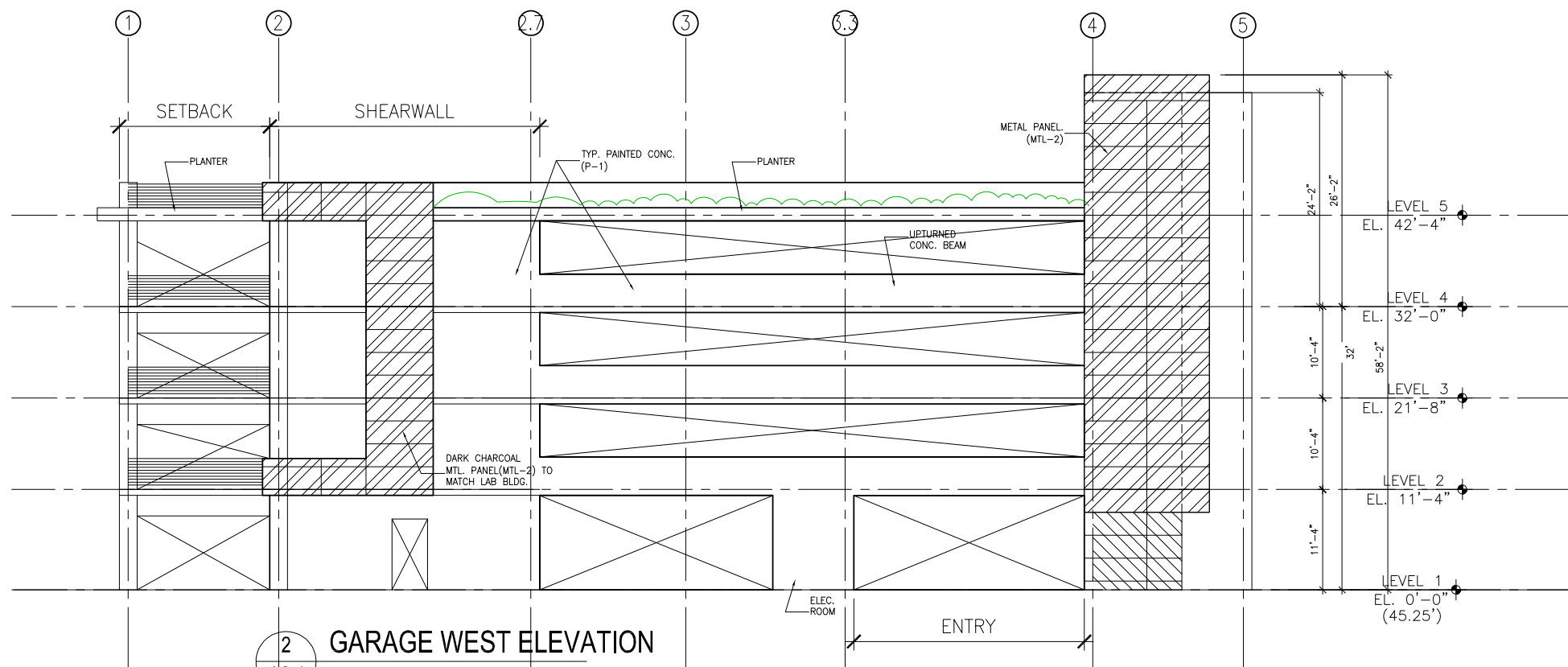
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Sheet:

A8





2 GARAGE WEST ELEVATION
A8.1 SCALE: 1/8"=1'-0"

Rev.	Descrp.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASE SHEETS	10/14/19

499 FORBES

South San Francisco, CA

Drawing Title:

GARAGE ELEVATIONS

Job #: A0000.00

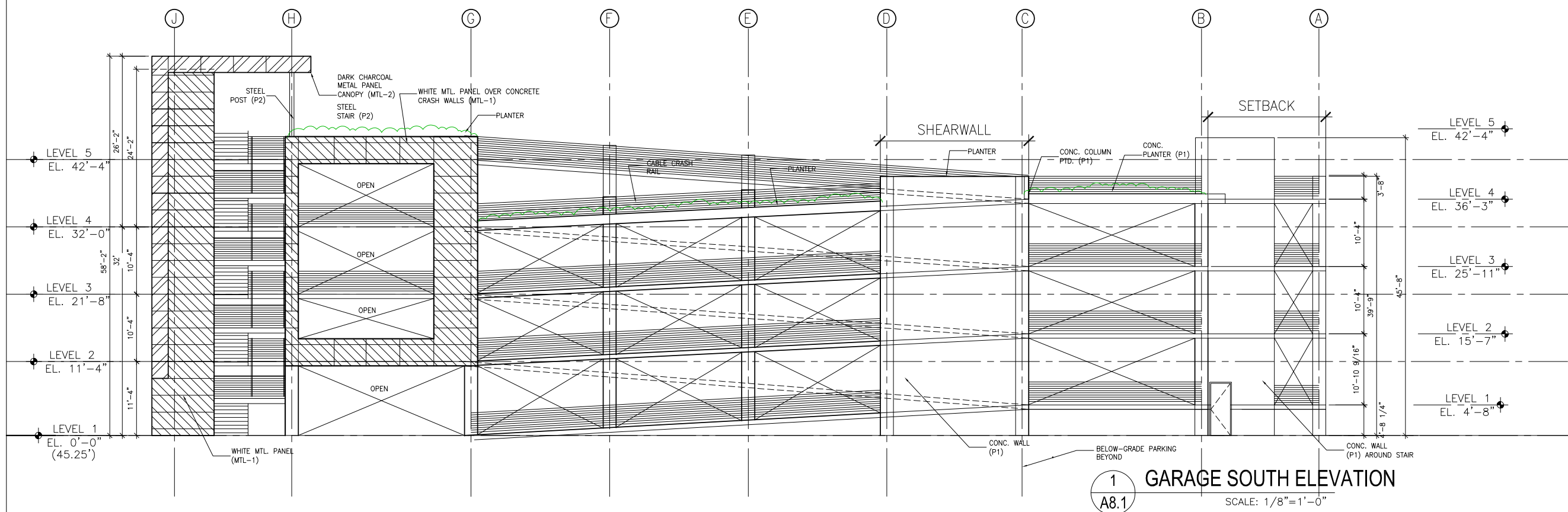
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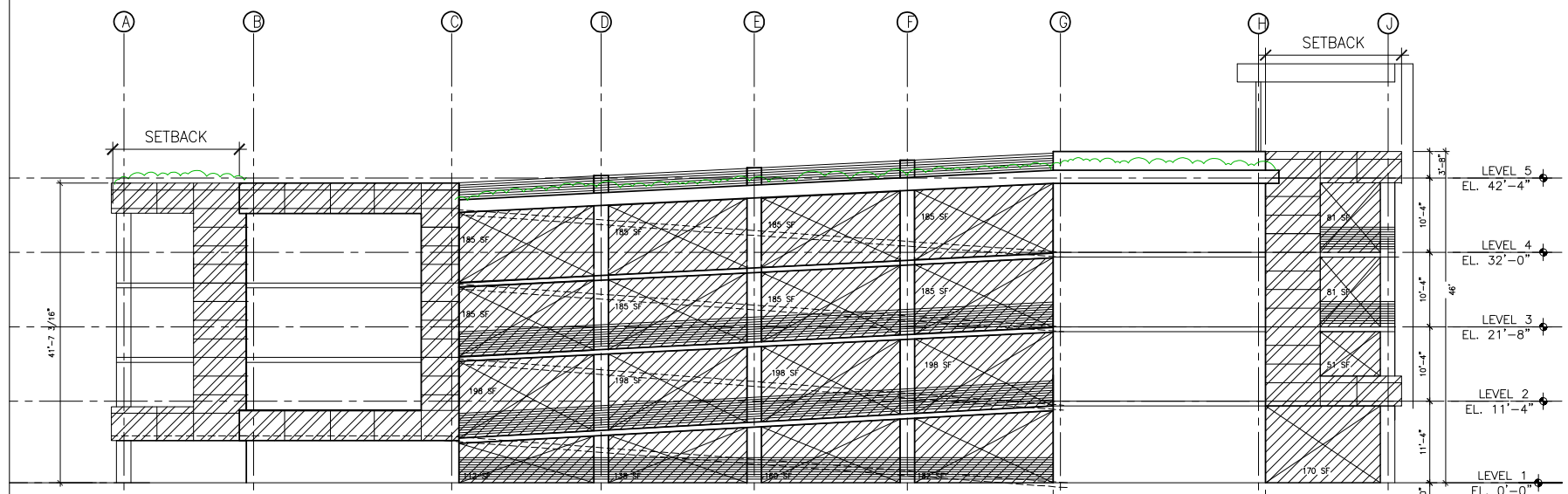
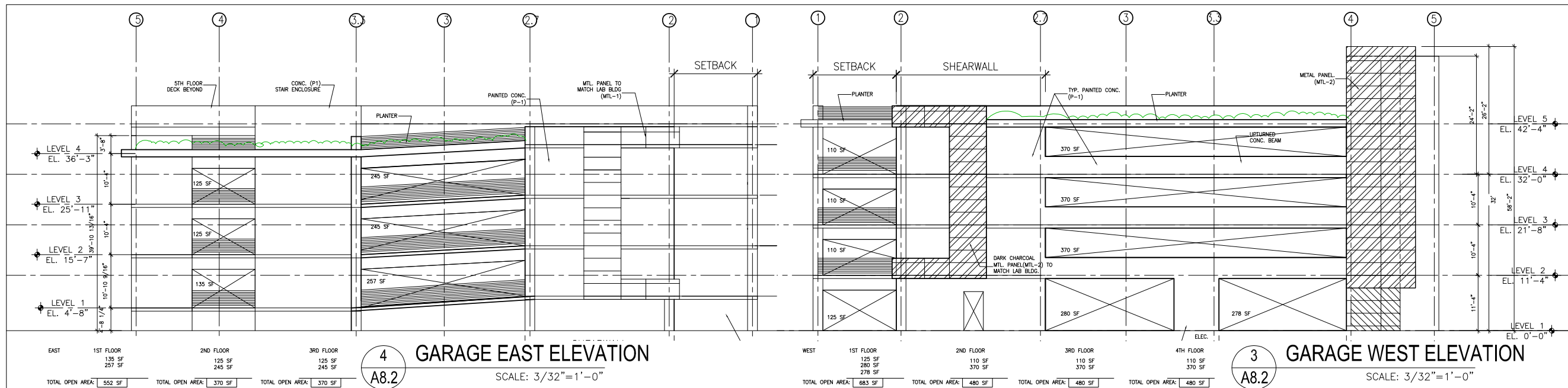
Drawn By: CLC/BR

Sheet:

A8.1



1 GARAGE SOUTH ELEVATION
A8.1 SCALE: 1/8"=1'-0"



MIN. REQ'D OPENINGS PER LEVEL (CBC 406.5.2)

1ST FLOOR REQ'D OPENING MIN.

OPEN GARAGE ANALYSIS (CBC 406.5)	
PERIMETER LENGTH:	641'-0"
PERIMETER WALL AREA:	641' x 11.33' = 7,263 SF
MIN. OPEN AREA REQ'D:	20% x 7,263 SF = [1,453 SF]
SEE ELEVATIONS ON	

2ND FLOOR REQ'D OPENING MIN.

OPEN GARAGE ANALYSIS (CBC 406.5)	
PERIMETER LENGTH:	641'-0"
PERIMETER WALL AREA:	641' x 10.33' = 6,622 SF
MIN. OPEN AREA REQ'D:	20% x 6,622 SF = [1,325 SF]
SEE ELEVATIONS ON	

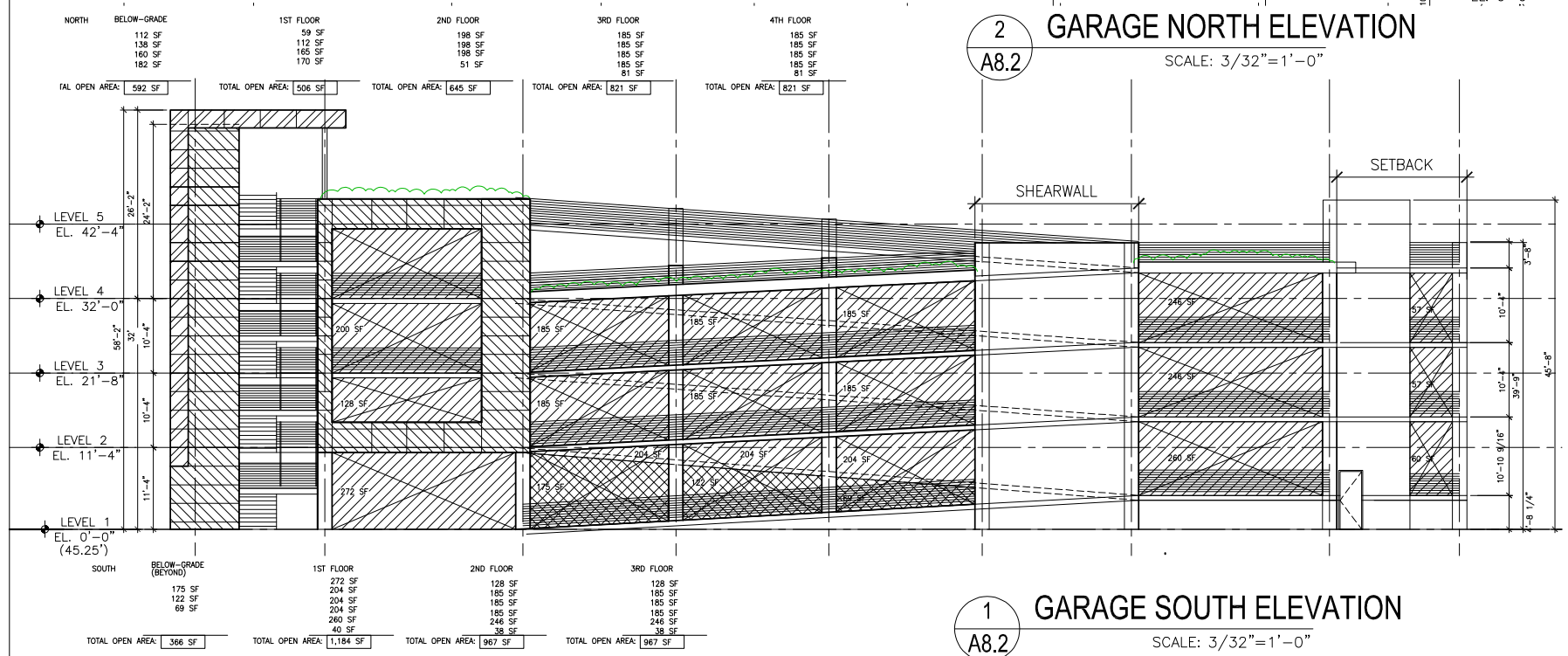
3RD FLOOR REQ'D OPENING MIN.

OPEN GARAGE ANALYSIS (CBC 406.5)	
PERIMETER LENGTH:	641'-0"
PERIMETER WALL AREA:	641' x 10.33' = 6,622 SF
MIN. OPEN AREA REQ'D:	20% x 6,622 SF = [1,325 SF]
SEE ELEVATIONS ON	

Rev.	Descr.	Date
	REVIEW	4/18/19
	REVIEW	5/8/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	REVIEW	5/31/19
	PLANNING SUBMITTAL	6/28/19
	COMMENT RESPONSE	8/19/19
	BASESHEETS	10/14/19

PROPOSED OPENINGS PER LEVEL (CBC 406.5.2)

LEVEL	1ST FLOOR	2ND FLOOR	3RD FLOOR
REQ'D OPENING AREA	1,453 SF	1,325 SF	1,325 SF
PROPOSED OPENING AREA			
LEVEL:	1ST FLOOR	2ND FLOOR	3RD FLOOR
EAST ELEVATION:	552 SF	370 SF	370 SF
NORTH ELEVATION:	506 SF	645 SF	821 SF
WEST ELEVATION:	552 SF	561 SF	561 SF
SOUTH ELEVATION:	1,184 SF	967 SF	967 SF
FLOOR OPENING AREA:	2,794 SF (> 1,453, OK)	2,543 SF (> 1,325, OK)	2,719 SF (> 1,325, OK)



499 FORBES

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Drawing Title:

OPEN GARAGE ANALYSIS

Job #	A0000.00
Date:	6/10/19
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A8.2



SOUTH VIEW



WEST TRAIL VIEW

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REVIEW		5/8/19
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REVIEW		5/31/19
PLANNING SUBMITTAL		6/28/19
COMMENT RESPONSE		8/19/19
BASESHEETS		10/14/19

499 FORBES

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Drawing Title:

**GARAGE
VIEWS**

Job # A0000.00

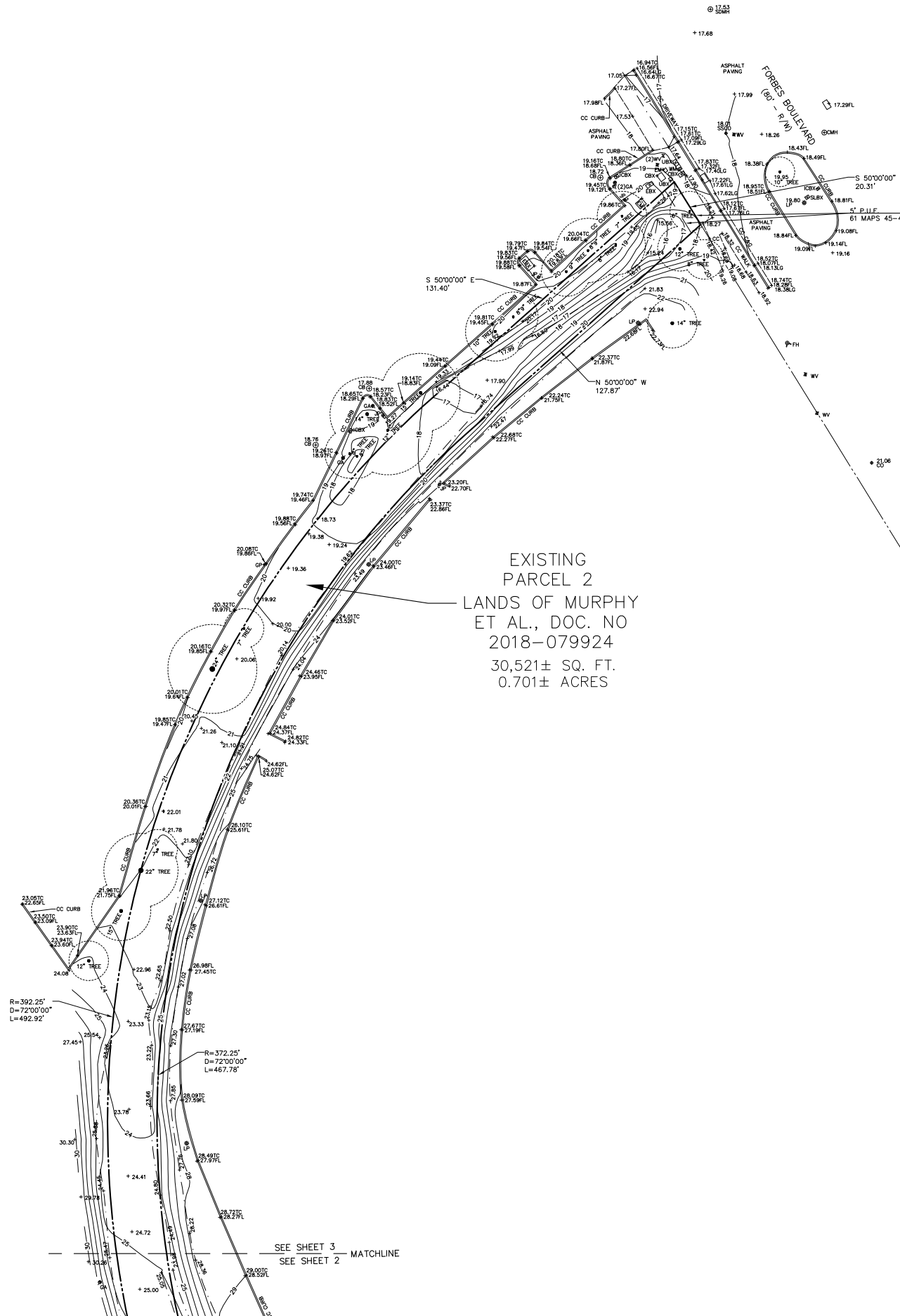
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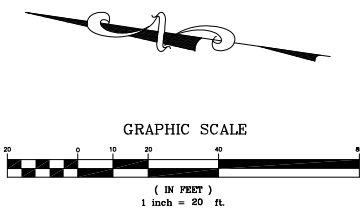
A9



EXISTING
PARCEL 2
LANDS OF MURPHY
ET AL., DOC. NO
2018-079924
30,521± SQ. FT.
0.701± ACRES

SEE SHEET 3
SEE SHEET 2 MATCHLINE

LM-3



NO.	DESCRIPTION	BY	DATE



DAINS LAND SURVEYING
dains@dainssurveying.net
(650) 743-0831

PREPARED FOR:
EMMET WARD

CALIFORNIA

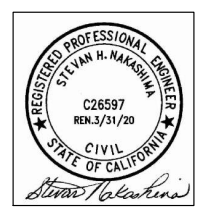
PRELIMINARY MAP FOR LOT MERGER PURPOSES
493 FORBES BOULEVARD & ADJACENT RAILROAD PROPERTY
A.P.N. 015-082-040
LOT 46, BLOCK 1, 2 PM 18 & LOT 7, 61 MAPS 45-49
SAN MATEO COUNTY

SOUTH SAN FRANCISCO

DRAWN BY:	RJD
DESIGNED BY:	---
CHECKED BY:	RJD
SCALE:	1"=20'
DATE:	06/24/19
PROJECT NO.:	18-740
SHEET	3 OF 3



STEVAN NAKASHIMA
CONSULTING CIVIL ENGINEER
1420 HOLLY AVENUE
LOS ALTOS, CA 94024
PHONE (650)964-9219
FAX (650)964-9229
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Rev.	Descrp.	Date
	REVIEW	4/18/19
	REVIEW	5/7/19
	REVIEW	5/10/19
	REVIEW	5/23/19
	PLANNING SUBMITTAL	6/26/19
	PLANNING RESUBMITTAL	8/16/19
	REVIEW SET	10/11/19

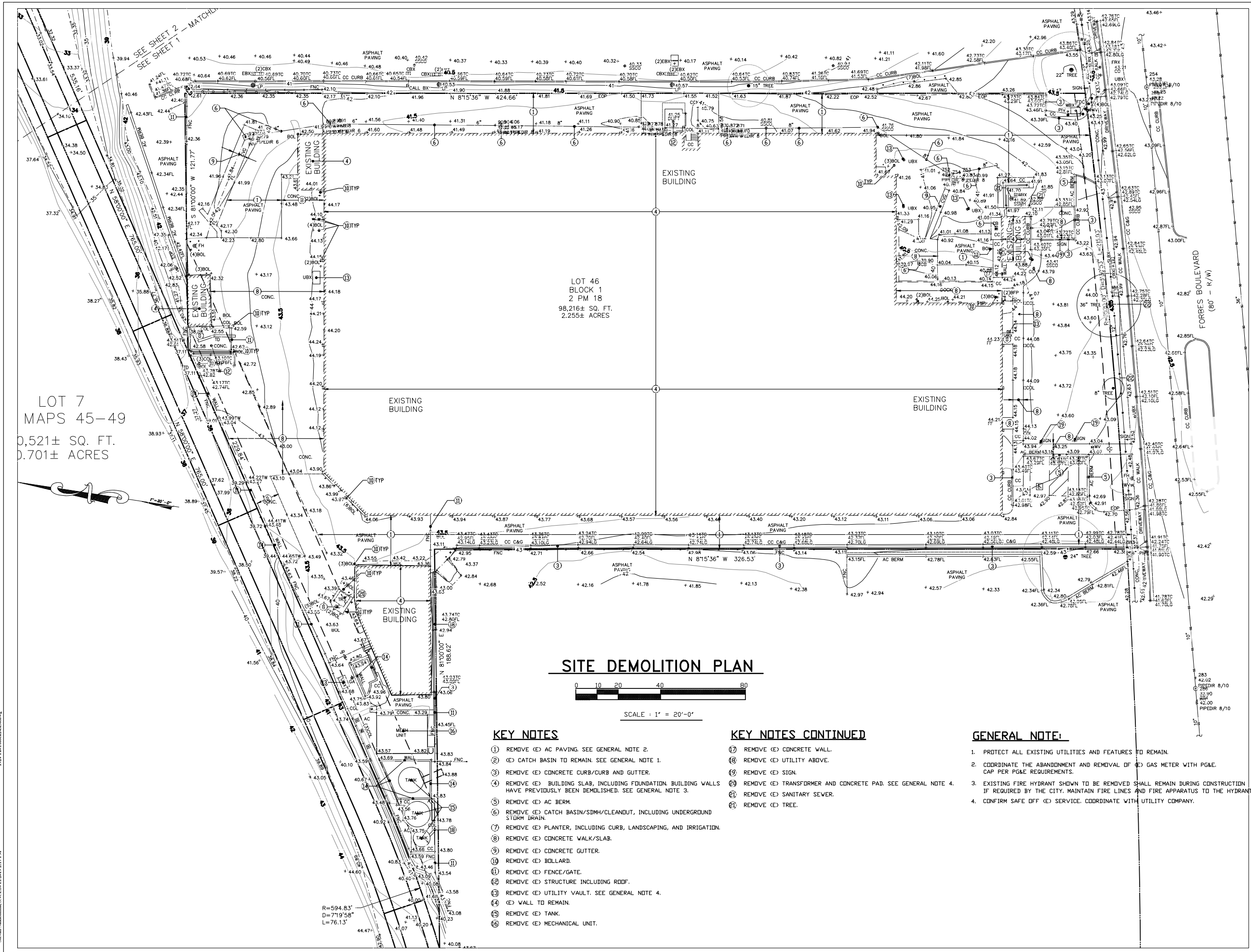
499 FORBES

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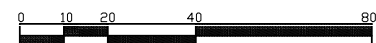
SITE DEMOLITION PLAN

Job #	A0000.00/1924
Date:	6/26/19
Scale:	AS NOTED
Drawn By:	SN/FN
Sheet:	

C-01



SITE DEMOLITION PLAN



SCALE : 1" = 20'-0"

KEY NOTES

- 1) REMOVE (E) AC PAVING. SEE GENERAL NOTE 2.
- 2) (E) CATCH BASIN TO REMAIN. SEE GENERAL NOTE 1.
- 3) REMOVE (E) CONCRETE CURB/CURB AND GUTTER.
- 4) REMOVE (E) BUILDING SLAB, INCLUDING FOUNDATION. BUILDING WALLS HAVE PREVIOUSLY BEEN DEMOLISHED. SEE GENERAL NOTE 3.
- 5) REMOVE (E) AC BERM.
- 6) REMOVE (E) CATCH BASIN/SDMH/CLEANOUT, INCLUDING UNDERGROUND STORM DRAIN.
- 7) REMOVE (E) PLANTER, INCLUDING CURB, LANDSCAPING, AND IRRIGATION.
- 8) REMOVE (E) CONCRETE WALK/SLAB.
- 9) REMOVE (E) CONCRETE GUTTER.
- 10) REMOVE (E) BOLLARD.
- 11) REMOVE (E) FENCE/GATE.
- 12) REMOVE (E) STRUCTURE INCLUDING ROOF.
- 13) REMOVE (E) UTILITY VAULT. SEE GENERAL NOTE 4.
- 14) (E) WALL TO REMAIN.
- 15) REMOVE (E) TANK.
- 16) REMOVE (E) MECHANICAL UNIT.

KEY NOTES CONTINUED

- 17) REMOVE (E) CONCRETE WALL.
- 18) REMOVE (E) UTILITY ABOVE.
- 19) REMOVE (E) SIGN.
- 20) REMOVE (E) TRANSFORMER AND CONCRETE PAD. SEE GENERAL NOTE 4.
- 21) REMOVE (E) SANITARY SEWER.
- 22) REMOVE (E) TREE.

GENERAL NOTE:

1. PROTECT ALL EXISTING UTILITIES AND FEATURES TO REMAIN.
2. COORDINATE THE ABANDONMENT AND REMOVAL OF (E) GAS METER WITH PG&E. CAP PER PG&E REQUIREMENTS.
3. EXISTING FIRE HYDRANT SHOWN TO BE REMOVED SHALL REMAIN DURING CONSTRUCTION IF REQUIRED BY THE CITY. MAINTAIN FIRE LINES AND FIRE APPARATUS TO THE HYDRANT.
4. CONFIRM SAFE OFF (E) SERVICE. COORDINATE WITH UTILITY COMPANY.



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	PLANNING RESUBMITTAL	8/16/19
	REVIEW SET	10/11/19

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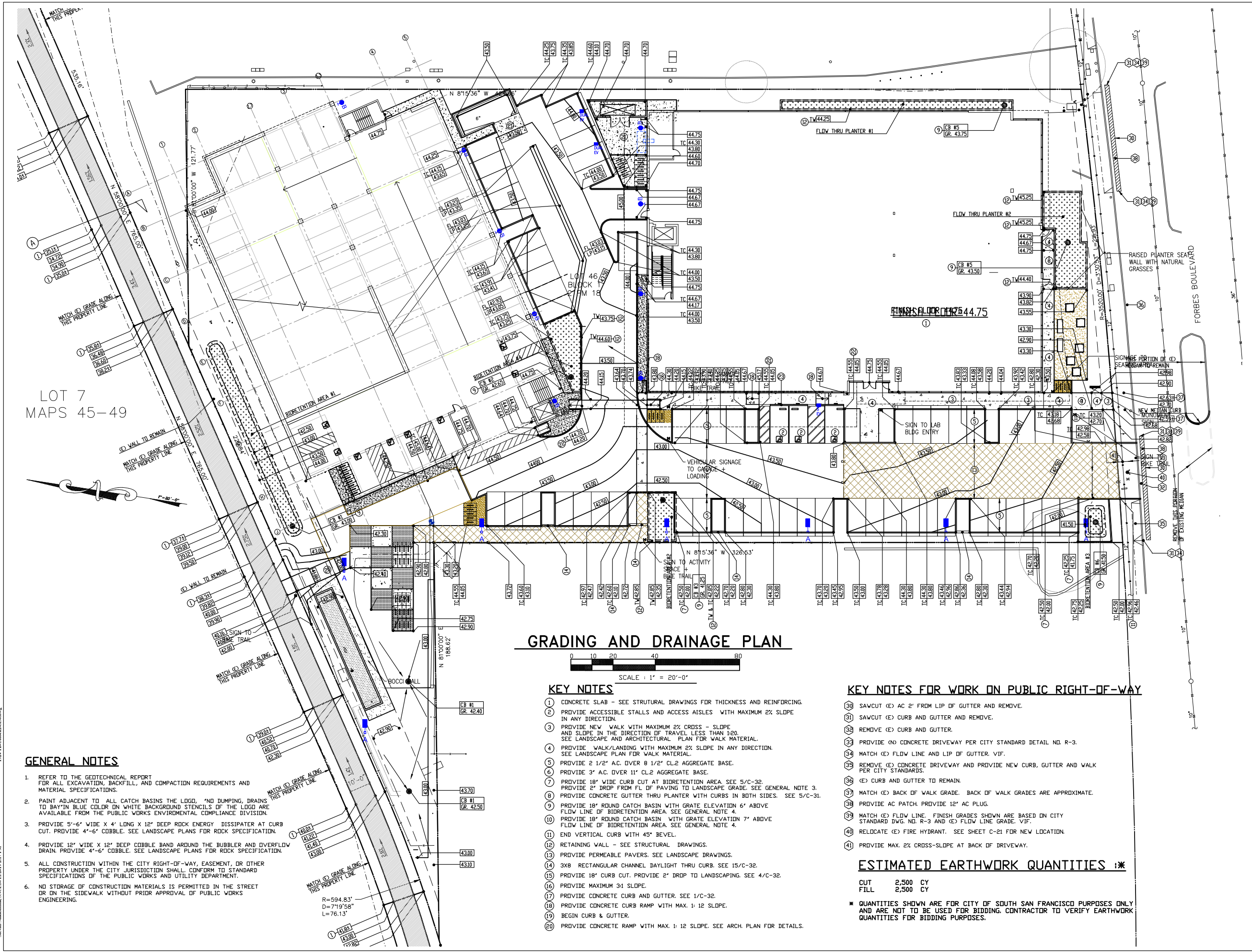
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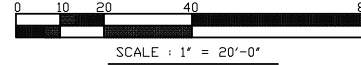
GRADING & DRAINAGE PLAN

Job #	A0000.00/1924
Date:	6/26/19
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C-11



GRADING AND DRAINAGE PLAN



KEY NOTES

- CONCRETE SLAB - SEE STRUCTURAL DRAWINGS FOR THICKNESS AND REINFORCING.
- PROVIDE ACCESSIBLE STALLS AND ACCESS AISLES WITH MAXIMUM 2% SLOPE IN ANY DIRECTION.
- PROVIDE NEW WALK WITH MAXIMUM 2% CROSS-SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL, LESS THAN 1:20. SEE LANDSCAPE AND ARCHITECTURAL PLAN FOR WALK MATERIAL.
- PROVIDE WALK/LANDING WITH MAXIMUM 2% SLOPE IN ANY DIRECTION. SEE LANDSCAPE PLAN FOR WALK MATERIAL.
- PROVIDE 2 1/2" A.C. OVER 8 1/2" CL2 AGGREGATE BASE.
- PROVIDE 3" A.C. OVER 11" CL2 AGGREGATE BASE.
- PROVIDE 18" WIDE CURB CUT AT BIODRETENTION AREA. SEE 5/C-32. PROVIDE 2" DROP FROM FL OF PAVING TO LANDSCAPE GRADE. SEE GENERAL NOTE 3.
- PROVIDE CONCRETE GUTTER THRU PLANTER WITH CURBS IN BOTH SIDES. SEE 5/C-31.
- PROVIDE 18" ROUND CATCH BASIN WITH GRATE ELEVATION 6" ABOVE FLOW LINE OF BIODRETENTION AREA. SEE GENERAL NOTE 4.
- PROVIDE 18" ROUND CATCH BASIN WITH GRATE ELEVATION 7" ABOVE FLOW LINE OF BIODRETENTION AREA. SEE GENERAL NOTE 4.
- END VERTICAL CURB WITH 45° BEVEL.
- RETAINING WALL - SEE STRUCTURAL DRAWINGS.
- PROVIDE PERMEABLE PAVERS. SEE LANDSCAPE DRAWINGS.
- 3X8 RECTANGULAR CHANNEL DAYLIGHT THRU CURB. SEE 15/C-32.
- PROVIDE 18" CURB CUT. PROVIDE 2" DROP TO LANDSCAPING. SEE 4/C-32.
- PROVIDE MAXIMUM 3% SLOPE.
- PROVIDE CONCRETE CURB AND GUTTER. SEE 1/C-32.
- PROVIDE CONCRETE CURB RAMP WITH MAX. 1:12 SLOPE.
- BEGIN CURB & GUTTER.
- PROVIDE CONCRETE RAMP WITH MAX. 1:12 SLOPE. SEE ARCH. PLAN FOR DETAILS.

KEY NOTES FOR WORK ON PUBLIC RIGHT-OF-WAY

- SAWCUT (E) AC 2" FROM LIP OF GUTTER AND REMOVE.
- SAWCUT (E) CURB AND GUTTER AND REMOVE.
- REMOVE (E) CURB AND GUTTER.
- PROVIDE (N) CONCRETE DRIVEWAY PER CITY STANDARD DETAIL NO. R-3.
- MATCH (E) FLOW LINE AND LIP OF GUTTER. VIF.
- REMOVE (E) CONCRETE DRIVEWAY AND PROVIDE NEW CURB, GUTTER AND WALK PER CITY STANDARDS.
- (E) CURB AND GUTTER TO REMAIN.
- MATCH (E) BACK OF WALK GRADE. BACK OF WALK GRADES ARE APPROXIMATE.
- PROVIDE AC PATCH. PROVIDE 12" AC PLUG.
- MATCH (E) FLOW LINE. FINISH GRADES SHOWN ARE BASED ON CITY STANDARD DWG. NO. R-3 AND (E) FLOW LINE GRADE. VIF.
- RELOCATE (E) FIRE HYDRANT. SEE SHEET C-21 FOR NEW LOCATION.
- PROVIDE MAX. 2% CROSS-SLOPE AT BACK OF DRIVEWAY.

ESTIMATED EARTHWORK QUANTITIES :*

CUT	2,500 CY
FILL	2,500 CY

* QUANTITIES SHOWN ARE FOR CITY OF SOUTH SAN FRANCISCO PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING. CONTRACTOR TO VERIFY EARTHWORK QUANTITIES FOR BIDDING PURPOSES.

GENERAL NOTES

- REFER TO THE GEOTECHNICAL REPORT FOR ALL EXCAVATION, BACKFILL, AND COMPACTION REQUIREMENTS AND MATERIAL SPECIFICATIONS.
- PAINT ADJACENT TO ALL CATCH BASINS THE LOGO. NO DUMPING, DRAINS TO BAY IN BLUE COLOR ON WHITE BACKGROUND STENCILS OF THE LOGO ARE AVAILABLE FROM THE PUBLIC WORKS ENVIRONMENTAL COMPLIANCE DIVISION.
- PROVIDE 5'-6" WIDE X 4' LONG X 12" DEEP ROCK ENERGY DISSIPATOR AT CURB CUT. PROVIDE 4'-6" COBBLE. SEE LANDSCAPE PLANS FOR ROCK SPECIFICATION.
- PROVIDE 12" WIDE X 12" DEEP COBBLE BAND AROUND THE BUBBLER AND OVERFLOW DRAIN. PROVIDE 4'-6" COBBLE. SEE LANDSCAPE PLANS FOR ROCK SPECIFICATION.
- ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY, EASEMENT, OR OTHER PROPERTY UNDER THE CITY JURISDICTION SHALL CONFORM TO STANDARD SPECIFICATIONS OF THE PUBLIC WORKS AND UTILITY DEPARTMENT.
- NO STORAGE OF CONSTRUCTION MATERIALS IS PERMITTED IN THE STREET OR ON THE SIDEWALK WITHOUT PRIOR APPROVAL OF PUBLIC WORKS ENGINEERING.

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Stevan Nakashima, S.N.C.E. 10/29/19 2:17 PM



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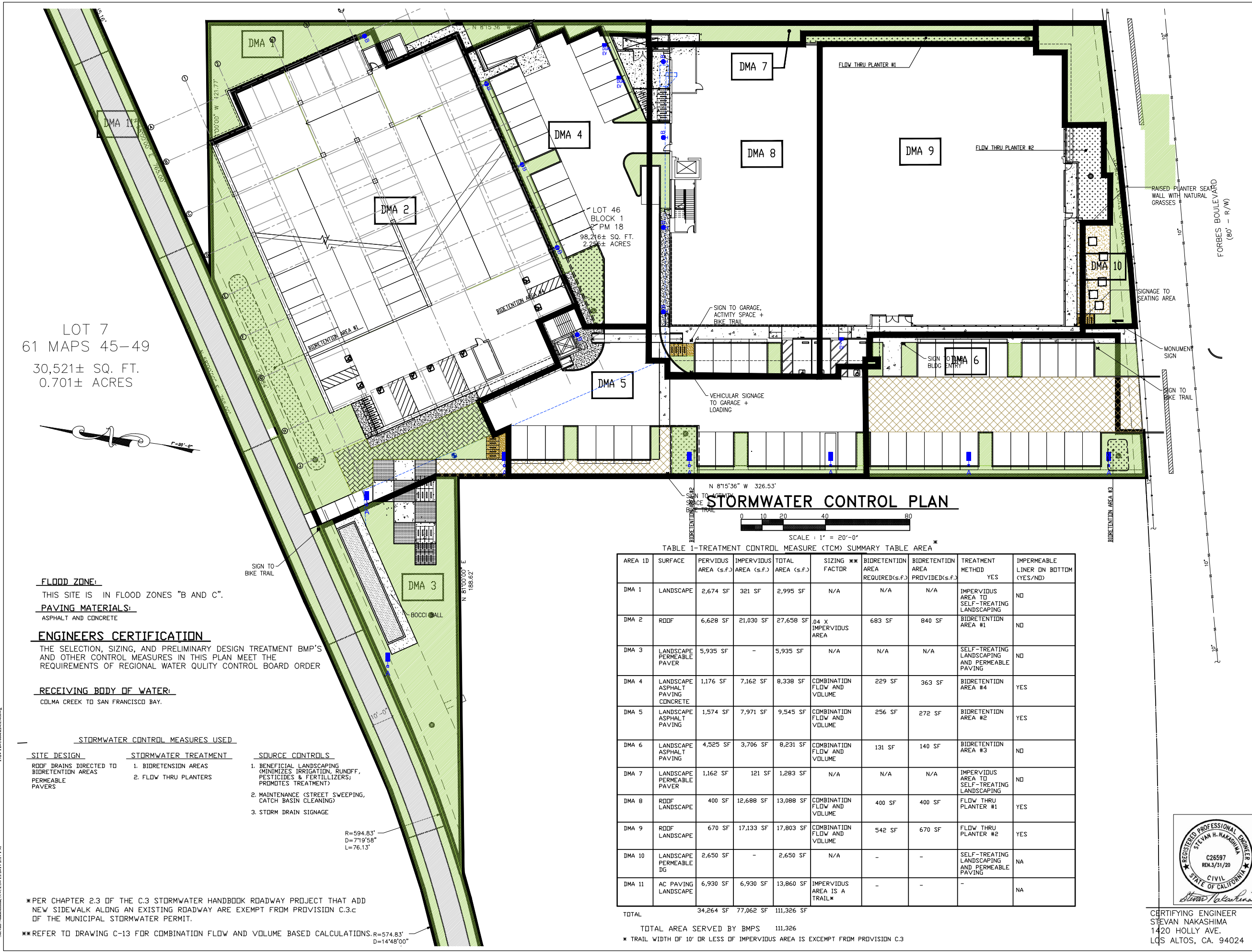
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STORMWATER CONTROL PLAN

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CERTIFYING ENGINEER
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STORMWATER CONTROL PLAN

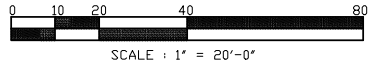


TABLE 1-TREATMENT CONTROL MEASURE (TCM) SUMMARY TABLE AREA *

AREA ID	SURFACE	PERVIOUS AREA (s.f.)	IMPERVIOUS AREA (s.f.)	TOTAL AREA (s.f.)	SIZING ** FACTOR	BIORETENTION AREA REQUIRED(s.f.)	BIORETENTION AREA PROVIDED(s.f.)	TREATMENT METHOD YES	IMPERMEABLE LINER ON BOTTOM (YES/NO)
DMA 1	LANDSCAPE	2,674 SF	321 SF	2,995 SF	N/A	N/A	N/A	IMPERVIOUS AREA TO SELF-TREATING LANDSCAPING	NO
DMA 2	ROOF	6,628 SF	21,030 SF	27,658 SF	0.4 X IMPERVIOUS AREA	683 SF	840 SF	BIORETENTION AREA #1	NO
DMA 3	LANDSCAPE PERMEABLE PAVER	5,935 SF	-	5,935 SF	N/A	N/A	N/A	SELF-TREATING LANDSCAPING AND PERMEABLE PAVING	NO
DMA 4	LANDSCAPE ASPHALT PAVING CONCRETE	1,176 SF	7,162 SF	8,338 SF	COMBINATION FLOW AND VOLUME	229 SF	363 SF	BIORETENTION AREA #4	YES
DMA 5	LANDSCAPE ASPHALT PAVING	1,574 SF	7,971 SF	9,545 SF	COMBINATION FLOW AND VOLUME	256 SF	272 SF	BIORETENTION AREA #2	YES
DMA 6	LANDSCAPE ASPHALT PAVING	4,525 SF	3,706 SF	8,231 SF	COMBINATION FLOW AND VOLUME	131 SF	140 SF	BIORETENTION AREA #3	NO
DMA 7	LANDSCAPE PERMEABLE PAVER	1,162 SF	121 SF	1,283 SF	N/A	N/A	N/A	IMPERVIOUS AREA TO SELF-TREATING LANDSCAPING	NO
DMA 8	ROOF LANDSCAPE	400 SF	12,688 SF	13,088 SF	COMBINATION FLOW AND VOLUME	400 SF	400 SF	FLOW THRU PLANTER #1	YES
DMA 9	ROOF LANDSCAPE	670 SF	17,133 SF	17,803 SF	COMBINATION FLOW AND VOLUME	542 SF	670 SF	FLOW THRU PLANTER #2	YES
DMA 10	LANDSCAPE PERMEABLE DG	2,650 SF	-	2,650 SF	N/A	-	-	SELF-TREATING LANDSCAPING AND PERMEABLE PAVING	NA
DMA 11	AC PAVING LANDSCAPE	6,930 SF	6,930 SF	13,860 SF	IMPERVIOUS AREA IS A TRAIL**	-	-	-	NA
TOTAL		34,264 SF	77,062 SF	111,326 SF					

TOTAL AREA SERVED BY BMPS 111,326
* TRAIL WIDTH OF 10' OR LESS OF IMPERVIOUS AREA IS EXEMPT FROM PROVISION C.3

FLOOD ZONE:
THIS SITE IS IN FLOOD ZONES "B AND C".

PAVING MATERIALS:
ASPHALT AND CONCRETE

ENGINEERS CERTIFICATION
THE SELECTION, SIZING, AND PRELIMINARY DESIGN TREATMENT BMP'S AND OTHER CONTROL MEASURES IN THIS PLAN MEET THE REQUIREMENTS OF REGIONAL WATER QUALITY CONTROL BOARD ORDER

RECEIVING BODY OF WATER:
COLMA CREEK TO SAN FRANCISCO BAY.

STORMWATER CONTROL MEASURES USED

SITE DESIGN	STORMWATER TREATMENT	SOURCE CONTROLS
ROOF DRAINS DIRECTED TO BIORETENTION AREAS PERMEABLE PAVERS	1. BIORETENTION AREAS 2. FLOW THRU PLANTERS	1. BENEFICIAL LANDSCAPING (MINIMIZES IRRIGATION, RUNOFF, PESTICIDES & FERTILLIZERS; PROMOTES TREATMENT) 2. MAINTENANCE (STREET SWEEPING, CATCH BASIN CLEANING) 3. STORM DRAIN SIGNAGE

* PER CHAPTER 2.3 OF THE C.3 STORMWATER HANDBOOK ROADWAY PROJECT THAT ADD NEW SIDEWALK ALONG AN EXISTING ROADWAY ARE EXEMPT FROM PROVISION C.3.c OF THE MUNICIPAL STORMWATER PERMIT.

** REFER TO DRAWING C-13 FOR COMBINATION FLOW AND VOLUME BASED CALCULATIONS. R=574.83' D=719'58" L=76.13'

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Steven Nakashima, SCE#101122819 2:17 PM

**COMBINATION FLOW AND VOLUME DESIGN
BASIS CALCULATIONS**

MAP = 21
 MAP ADJUSTMENT FACTOR = 21/20.1 = 1.044
 TABLE 5.2 UNIT BASIN STORAGE VOLUME FOR OAKLAND AIRPORT = .85
 ADJUSTED UNIT BASIN STORAGE VOLUME X MAP ADJUSTMENT FACTOR
 1.044 X .85 = .89 INCHES

DURATION RAIN EVENT .89/0.2 = 4.45 HOURS

BIDRETENTION AREA #1
 PERVIOUS AREA 6,628 SF
 IMPERVIOUS AREA 21,030 SF
 TOTAL AREA 27,658 SF
 EFFECTIVE IMPERVIOUS AREA = (21,030)(1)+(6,628)(.1) = 21,693 SF
 ASSUME BASIN SIZE = 21,693 X .04 = 868 SF
 VOLUME OF TREATED RUNOFF = 868 X 5/12 X 4.45 = 1,609 CF
 ASSUME BASIN SIZE 21,693 X .04 X .787 = 683 SF
 VOLUME OF TREATED RUNOFF = 683 X 5/12 X 4.45 = 1,266 CF
 DIFFERENCE IN VOLUME 1,609 - 1,266 = 343 CF
 PONDING DEPTH 343/683 = .502 FT = 6"

BIDRETENTION AREA #2
 PERVIOUS AREA 1,574 SF
 IMPERVIOUS AREA 7,971 SF
 TOTAL AREA 9,545 SF
 EFFECTIVE IMPERVIOUS AREA = (7,971)(1)+(1,574)(.1) = 8,128 SF
 ASSUME BASIN SIZE = 8,128 X .04 = 325 SF
 VOLUME OF TREATED RUNOFF = 325 X 5/12 X 4.45 = 603 CF
 ASSUME BASIN SIZE 8,128 X .04 X .787 = 256 SF
 VOLUME OF TREATED RUNOFF = 256 X 5/12 X 4.45 = 475 CF
 DIFFERENCE IN VOLUME 603 - 475 = 128 CF
 PONDING DEPTH 128/256 = .50 FT = 6"

BIDRETENTION AREA #3
 PERVIOUS AREA 4,525 SF
 IMPERVIOUS AREA 3,706 SF
 TOTAL AREA 8,231 SF
 EFFECTIVE IMPERVIOUS AREA = (3,706)(1)+(4,525)(.1) = 4,159 SF
 ASSUME BASIN SIZE = 4,159 X .04 = 166 SF
 VOLUME OF TREATED RUNOFF = 166 X 5/12 X 4.45 = 308 CF
 ASSUME BASIN SIZE 4,159 X .04 X .787 = 131 SF
 VOLUME OF TREATED RUNOFF = 131 X 5/12 X 4.45 = 243 CF
 DIFFERENCE IN VOLUME 308 - 243 = 65 CF
 PONDING DEPTH 65/131 = .496 FT = 6"

BIDRETENTION AREA #4
 PERVIOUS AREA 1,176 SF
 IMPERVIOUS AREA 7,162 SF
 TOTAL AREA 8,338 SF
 EFFECTIVE IMPERVIOUS AREA = (7,162)(1)+(1,176)(.1) = 7,280 SF
 ASSUME BASIN SIZE = 7,280 X .04 = 291 SF
 VOLUME OF TREATED RUNOFF = 291 X 5/12 X 4.45 = 540 CF
 ASSUME BASIN SIZE 7,280 X .04 X .787 = 229 SF
 VOLUME OF TREATED RUNOFF = 229 X 5/12 X 4.45 = 425 CF
 DIFFERENCE IN VOLUME 540 - 425 = 115 CF
 PONDING DEPTH 115/229 = .502 FT = 6"

FLOW THRU PLANTER #1
 PERVIOUS AREA 400 SF
 IMPERVIOUS AREA 12,688 SF
 TOTAL AREA 13,088 SF
 EFFECTIVE IMPERVIOUS AREA = (12,688)(1)+(400)(.1) = 12,728 SF
 ASSUME BASIN SIZE = 12,728 X .04 = 509 SF
 VOLUME OF TREATED RUNOFF = 509 X 5/12 X 4.45 = 944 CF
 ASSUME BASIN SIZE 12,728 X .04 X .786 = 400 SF
 VOLUME OF TREATED RUNOFF = 400 X 5/12 X 4.45 = 744 CF
 DIFFERENCE IN VOLUME 944 - 744 = 200 CF
 PONDING DEPTH 200/400 = .50 FT = 6"

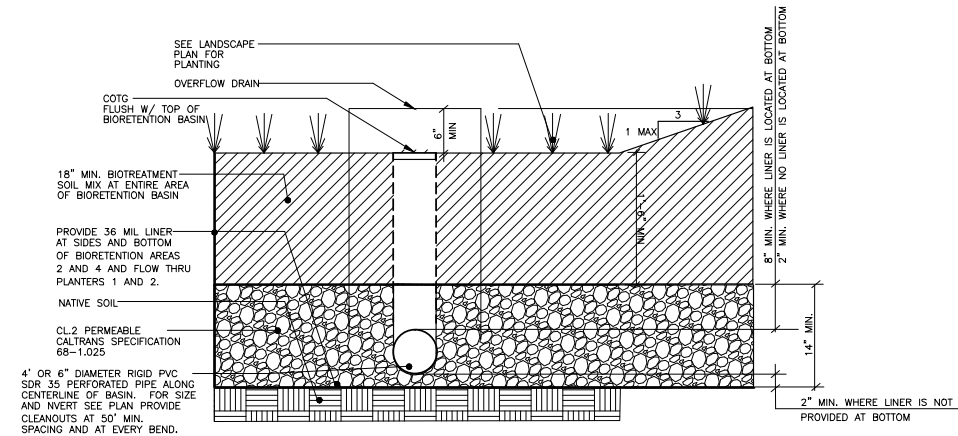
SUMMARY OF MAINTENANCE REQUIREMENTS

ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER CONTROL MEASURES:

BIORETENTION AREAS AND FLOW THRU PLANTERS REMOVE POLLUTANTS PRIMARILY BY FILTERING RUNOFF SLOWLY THROUGH AN ACTIVE LAYER OF SOIL. ROUTINE MAINTENANCE IS NEEDED TO INSURE THAT FLOW IS UNOBSTRUCTED, THAT EROSION IS PREVENTED, AND THAT SOILS ARE HELD TOGETHER BY PLANT ROOTS AND ARE BIOLOGICALLY ACTIVE. TYPICAL ROUTINE MAINTENANCE CONSISTS OF THE FOLLOWING:

- INSPECT INLETS, EXPOSURE OF SOILS, OR OTHER EVIDENCE OF EROSION. CLEAR ANY OBSTRUCTIONS AND REMOVE ANY ACCUMULATION OF SEDIMENT. EXAMINE ROCK OR OTHER MATERIAL USED AS A SPLASH PAD AND REPLENISH IF NECESSARY.
- INSPECT OUTLETS FOR EROSION OR UNPLUGGING.
- INSPECT SIDE SLOPES FOR EVIDENCE OF INSTABILITY OR EROSION AND CORRECT AS NECESSARY.
- OBSERVE SOIL IN THE BASINS FOR UNIFORM PERCOLATION THROUGHOUT. IF PORTIONS OF THE SWALE OR FILTER DO NOT DRAIN WITHIN 48 HOURS AFTER THE END OF A STORM, THE SOIL SHOULD BE TILLED AND REPLANTED. REMOVE ANY DEBRIS OR ACCUMULATIONS OF SEDIMENT.
- EXAMINE THE VEGETATION TO INSURE THAT IT IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND TO PROTECT SOILS FROM EROSION. REPLENISH MUCH AS NECESSARY. REMOVE FALLEN LEAVES AND DEBRIS. PRUNE LARGE SHRUBS OR TREES, AND MOW TURF AREAS. CONFIRM THAT IRRIGATION IS ADEQUATE AND NOT EXCESSIVE. REPLACE DEAD PLANTS AND REMOVE INVASIVE VEGETATION.
- ABATE ANY POTENTIAL VECTORS BY FILLING HOLES IN THE GROUND IN AND AROUND THE SWALE AND BY INSURING THAT THERE ARE NOT AREAS WHERE WATER STANDS LONGER THAN 48 HOURS FOLLOWING A STORM. IF MOSQUITO LARVAE ARE PRESENT AND PERSISTENT, CONTACT THE SANTA CLARA COUNTY VECTOR CONTROL DISTRICT FOR INFORMATION AND ADVICE. MOSQUITO LARVICIDES SHOULD BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY AND THEN ONLY BY A LICENSED INDIVIDUAL OR CONTRACTOR.
- WHERE BUBBLERS ARE USED CLEAN THE STORM DRAIN PRIOR TO THE RAINY SEASON AND AFTER THE RAINY SEASON.

FLOW THRU PLANTER #2
 PERVIOUS AREA 670 SF
 IMPERVIOUS AREA 17,133 SF
 TOTAL AREA 17,803 SF
 EFFECTIVE IMPERVIOUS AREA = (17,803)(1)+(670)(.1) = 17,200 SF
 ASSUME BASIN SIZE = 17,200 X .04 = 688 SF
 VOLUME OF TREATED RUNOFF = 688 X 5/12 X 4.45 = 1,276 CF
 ASSUME BASIN SIZE 17,200 X .04 X .788 = 542 SF
 VOLUME OF TREATED RUNOFF = 542 X 5/12 X 4.45 = 1,005 CF
 DIFFERENCE IN VOLUME 1,276 - 1,005 = 271 CF
 PONDING DEPTH 271/542 = .50 FT = 6"



BIORETENTION BASIN WITH SUBDRAIN 1
 NTS 206102B

BIORETREATMENT SOIL REQUIREMENTS
 PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.



Rev.	Descrip.	Date
	REVIEW	4/18/19
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	REVIEW	5/10/19
	REVIEW	5/23/19
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	PLANNING RESUBMITTAL	8/16/19
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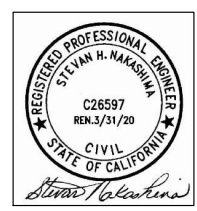
STORMWATER CONTROL NOTES AND DETAILS

Job #	A0000.00/1924
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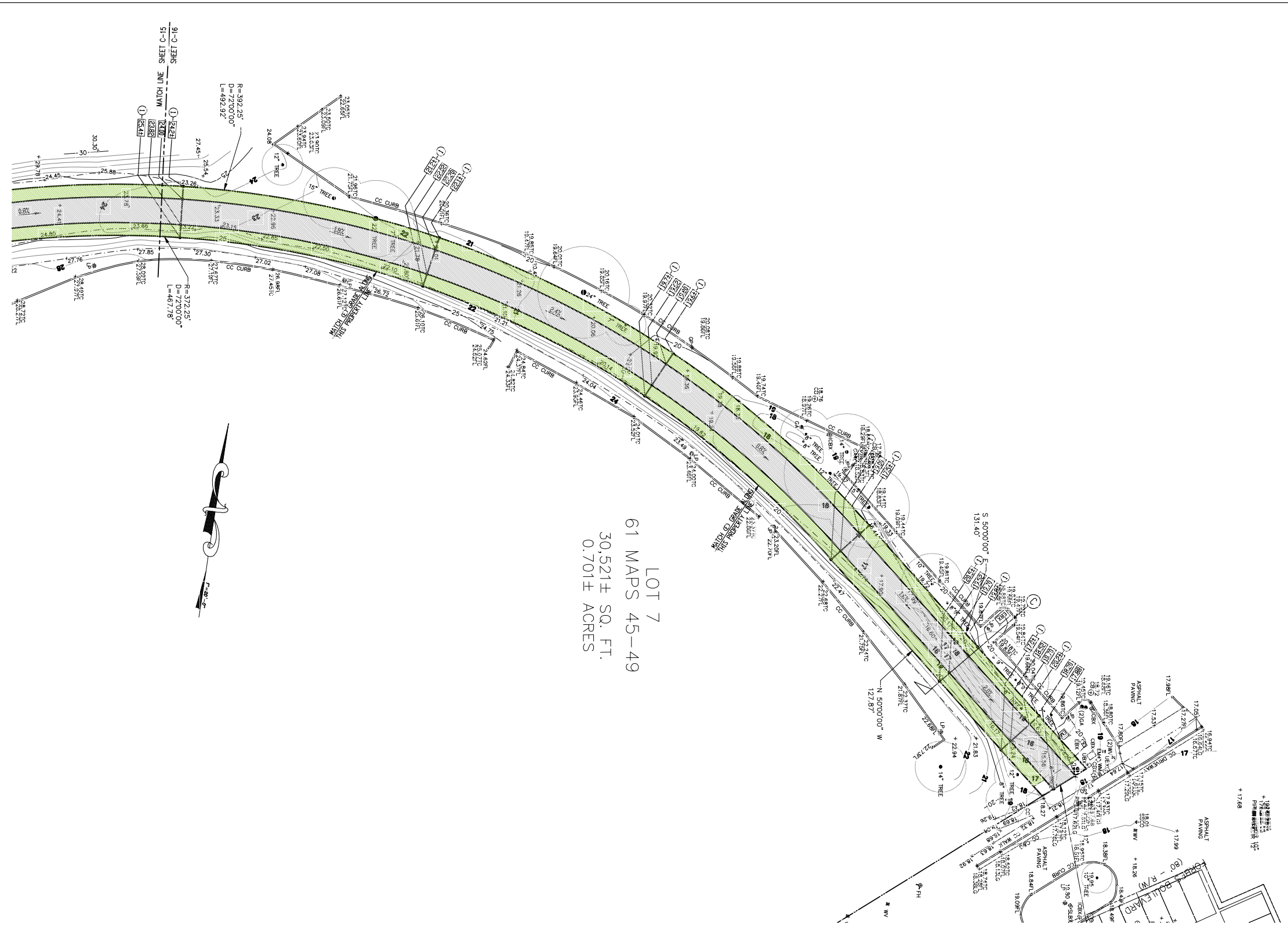
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**GRADING & DRAINAGE PLAN
FOR RAILS TO TRAIL**

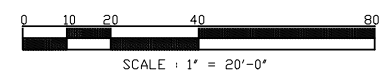
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C-16



LOT 7
61 MAPS 45-49
30,521± SQ. FT.
0.701± ACRES

GRADING AND DRAINAGE PLAN FOR RAILS TO TRAIL



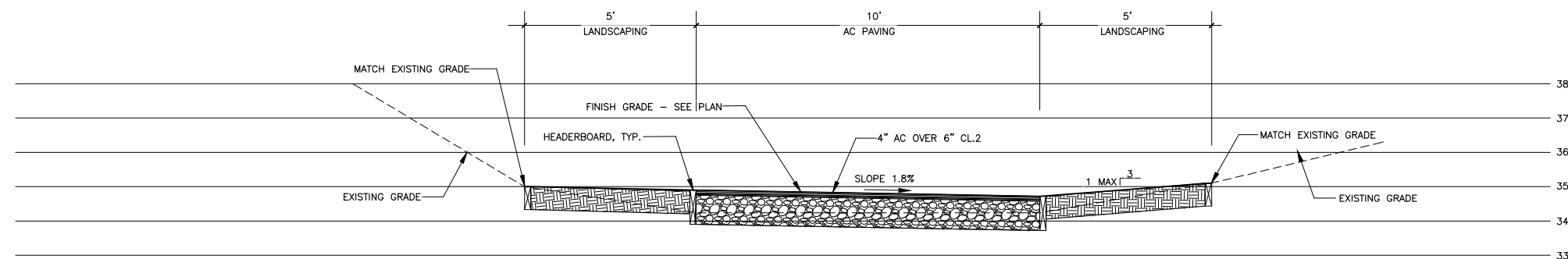
KEY NOTES

- ① MATCH (E) GRADE. V.I.F.



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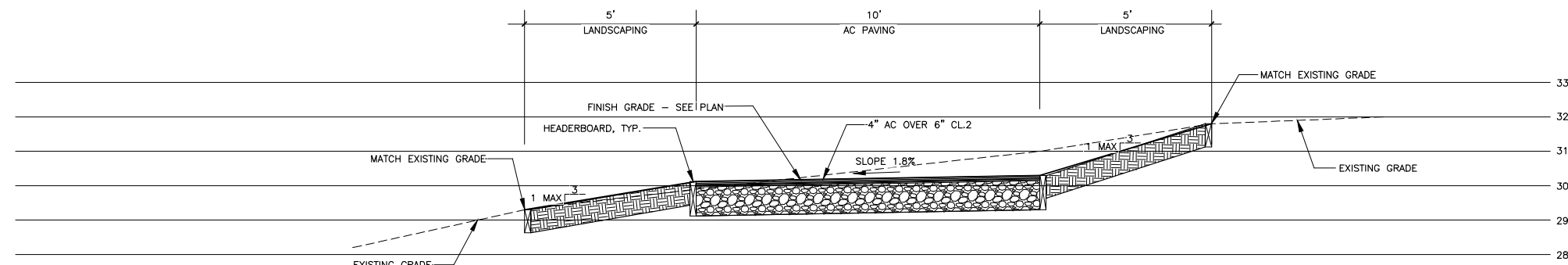
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TRAIL SECTION

SCALE: 1/2"=1'-0"

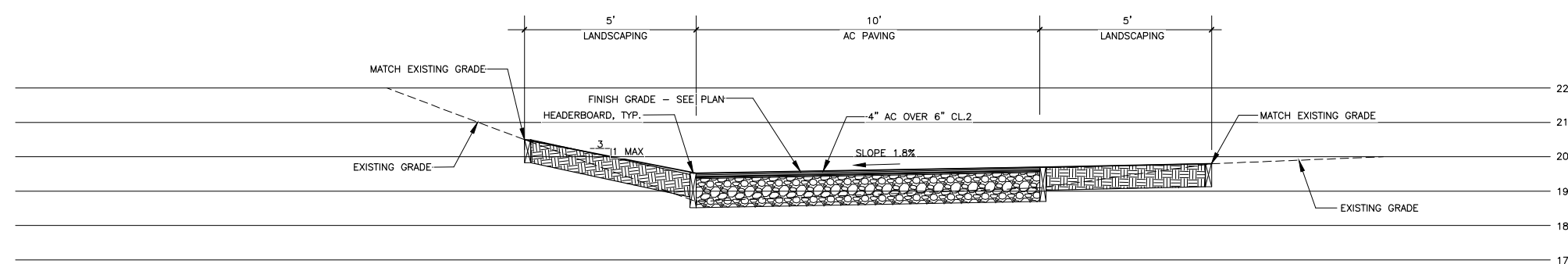
(A)



TRAIL SECTION

SCALE: 1/2"=1'-0"

(B)



TRAIL SECTION

SCALE: 1/2"=1'-0"

(C)

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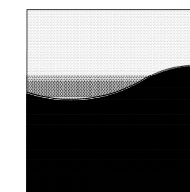
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SECTIONS

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C-17



REED ASSOCIATES
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	SITE UPDATES	8/16/19
	SITE UPDATES	10/11/19

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South San Francisco, CA

Drawing Title:

Landscape Planting Plan

Job # A0000.00

Date: 10.11.19

Scale: AS NOTED

Drawn By: ds/pjr

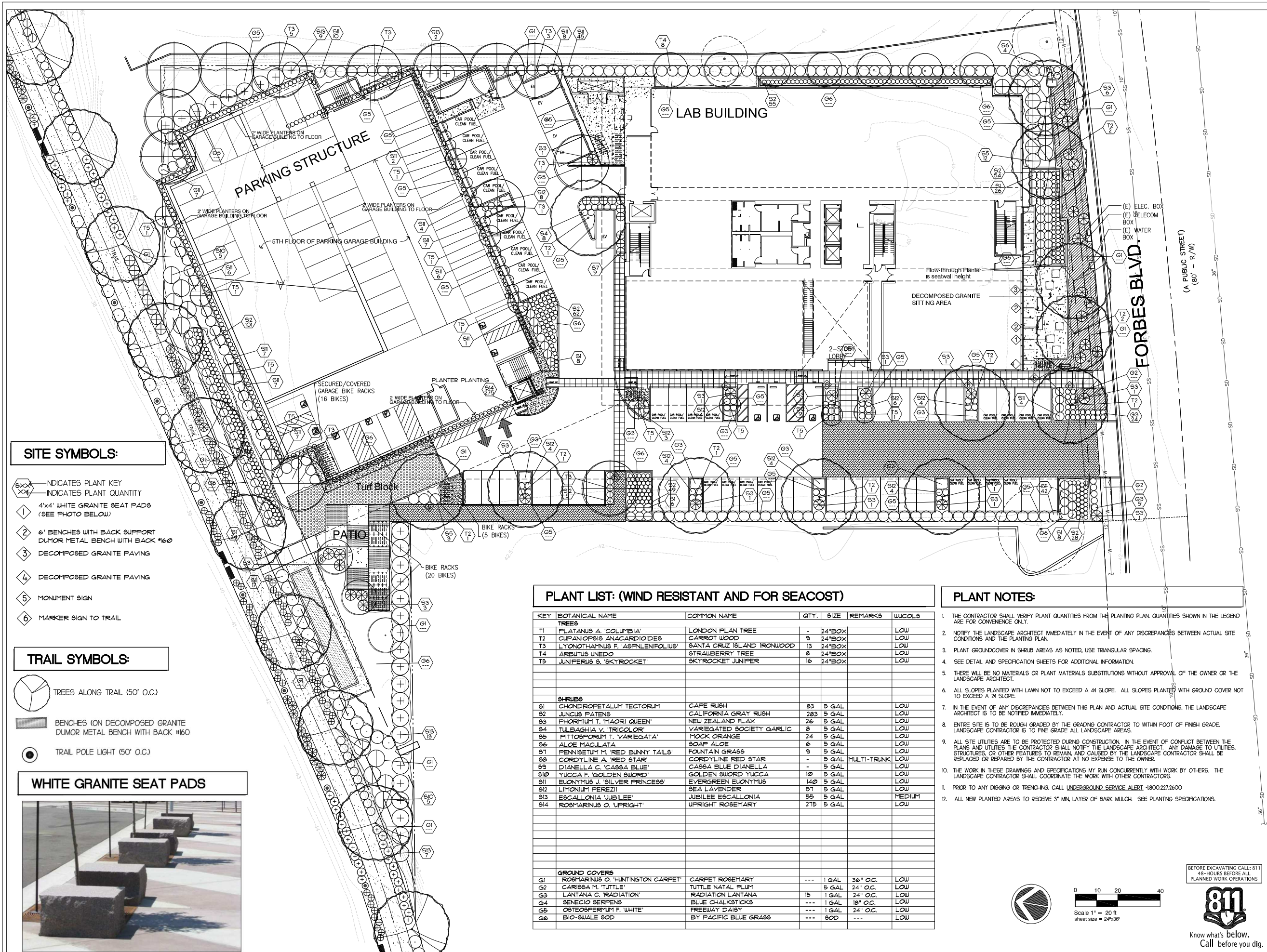
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BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



Know what's below.
Call before you dig.



SITE SYMBOLS:

- XXXX INDICATES PLANT KEY
- XXXX INDICATES PLANT QUANTITY
- ① 4'x4' WHITE GRANITE SEAT PADS (SEE PHOTO BELOW)
- ② 6' BENCHES WITH BACK SUPPORT DUMOR METAL BENCH WITH BACK #160
- ③ DECOMPOSED GRANITE PAVING
- ④ DECOMPOSED GRANITE PAVING
- ⑤ MONUMENT SIGN
- ⑥ MARKER SIGN TO TRAIL

TRAIL SYMBOLS:

- TREES ALONG TRAIL (50' O.C.)
- BENCHES (ON DECOMPOSED GRANITE DUMOR METAL BENCH WITH BACK #160)
- TRAIL POLE LIGHT (50' O.C.)

WHITE GRANITE SEAT PADS

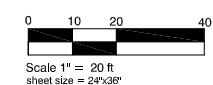


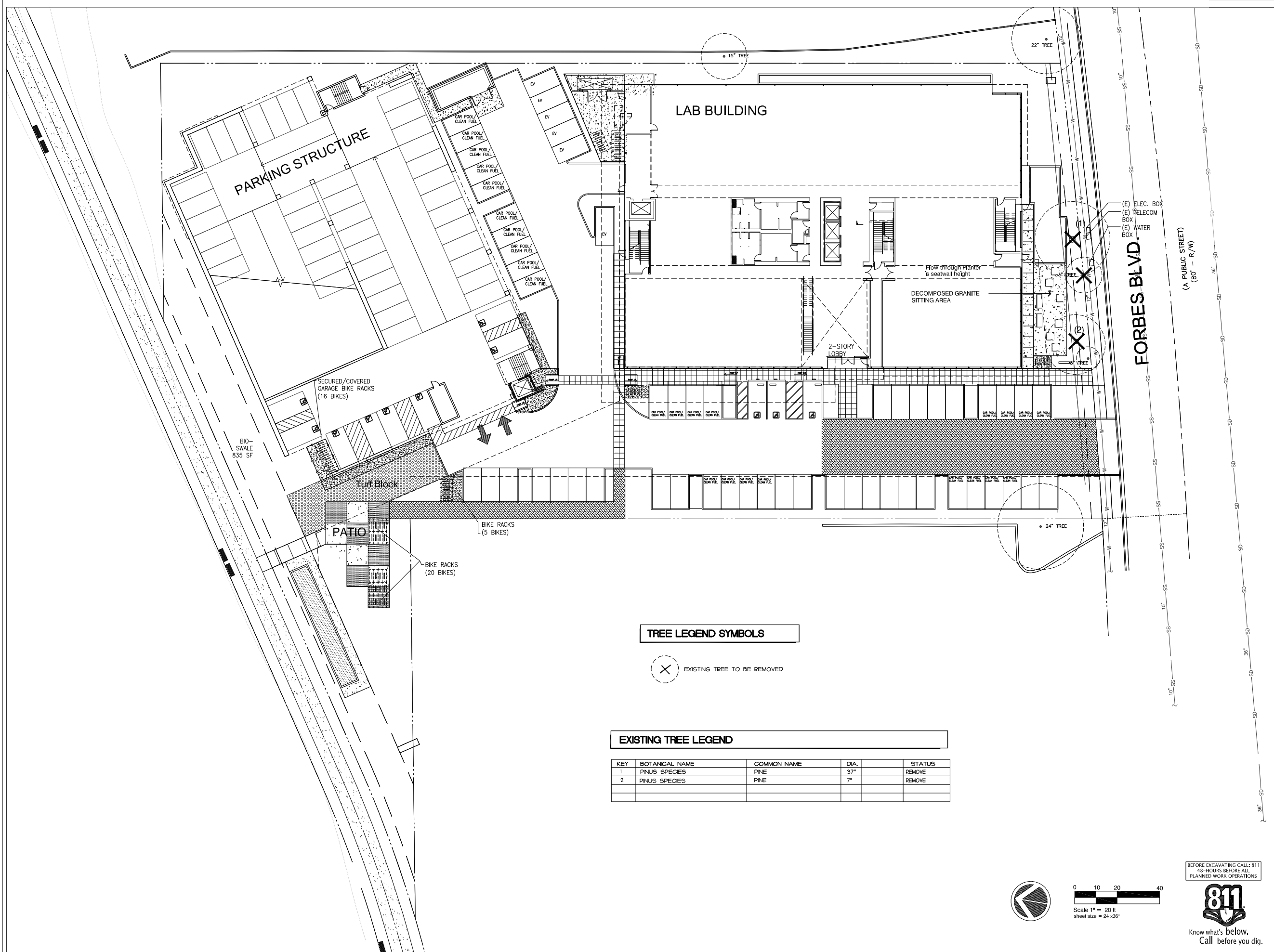
PLANT LIST: (WIND RESISTANT AND FOR SEACOST)

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	PLATANUS A. 'COLUMBIA'	LONDON PLAN TREE	-	24" BOX		LOW
T2	CUPANIOPSIS ANACARDIODES	CARROT WOOD	9	24" BOX		LOW
T3	LYONOTHAMNUS F. 'ASPENIFOLIUS'	SANTA CRUZ ISLAND IRONWOOD	13	24" BOX		LOW
T4	ARBUTUS UNEDO	STRAWBERRY TREE	8	24" BOX		LOW
T5	JUNIPERUS S. 'SKYROCKET'	SKYROCKET JUNIPER	16	24" BOX		LOW
SHRUBS						
S1	CHONDROPETALUM TECTORUM	CAPE RUSH	83	5 GAL		LOW
S2	JUNCUS PATENS	CALIFORNIA GRAY RUSH	283	5 GAL		LOW
S3	PHORUM T. 'MAORI QUEEN'	NEW ZEALAND FLAX	26	5 GAL		LOW
S4	TULBAGHIA V. 'TRICOLOR'	VARIEGATED SOCIETY GARLIC	8	5 GAL		LOW
S5	PITTSFORUM T. 'VARIEGATA'	MOCK ORANGE	24	5 GAL		LOW
S6	ALOE MACULATA	SOAP ALOE	6	5 GAL		LOW
S7	FENNICETUM M. 'RED BUNNY TAILS'	FOUNTAIN GRASS	9	5 GAL		LOW
S8	CORDYLINA A. 'RED STAR'	CORDYLINA RED STAR	-	5 GAL	MULTI-TRUNK	LOW
S9	DIANELLA C. 'CASSA BLUE'	CASSA BLUE DIANELLA	-	5 GAL		LOW
S10	YUCCA F. 'GOLDEN SWORD'	GOLDEN SWORD YUCCA	10	5 GAL		LOW
S11	EUONYMUS J. 'SILVER PRINCESS'	EVERGREEN EUONYMUS	140	5 GAL		LOW
S12	LIMONIUM PEREZII	SEA LAVENDER	51	5 GAL		LOW
S13	ESCALLONIA 'JUBILEE'	JUBILEE ESCALLONIA	55	5 GAL		MEDIUM
S14	ROSMARINUS O. 'UPRIGHT'	UPRIGHT ROSEMARY	215	5 GAL		LOW
GROUND COVERS						
G1	ROSMARINUS O. 'HUNTINGTON CARPET'	CARPET ROSEMARY	---	1 GAL	36" O.C.	LOW
G2	CARISSA M. 'TUTTLE'	TUTTLE NATAL FLUM	5	5 GAL	24" O.C.	LOW
G3	LANTANA C. 'RADIATION'	RADIATION LANTANA	15	1 GAL	24" O.C.	LOW
G4	BENECIO SERPENS	BLUE CHALKSTICKS	---	1 GAL	18" O.C.	LOW
G5	OSTEOSPERMUM F. 'WHITE'	FREEWAY DAISY	---	1 GAL	24" O.C.	LOW
G6	BIO-SWALE SOD	BY PACIFIC BLUE GRASS	---	SOD	---	LOW

PLANT NOTES:

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- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 4:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
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- ALL NEW PLANTED AREAS TO RECEIVE 3" MIN. LAYER OF BARK MULCH. SEE PLANTING SPECIFICATIONS.





TREE LEGEND SYMBOLS

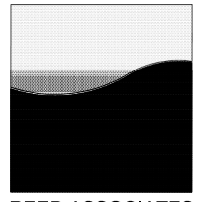


EXISTING TREE LEGEND

KEY	BOTANICAL NAME	COMMON NAME	DIA.	STATUS
1	PINUS SPECIES	PINE	3.7"	REMOVE
2	PINUS SPECIES	PINE	7"	REMOVE

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Rev.	Descrp.	Date
REVIEW		4/18/19
REVIEW		5/08/19
REVIEW		5/10/19
REVIEW		5/23/19
REVIEW		5/31/19
PLANNING SUBMITTAL		6/10/19
SITE UPDATES		8/16/19
SITE UPDATES		10/11/19

499 FORBES

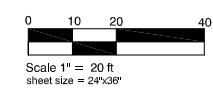
South San Francisco, CA

Drawing Title:

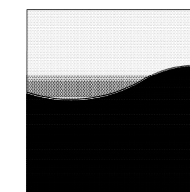
Existing Tree Removal Plan

Job #	A0000.00
Date:	10.11.19
Scale:	AS NOTED
Drawn By:	ds/pjr
Sheet:	

BEFORE EXCAVATING CALL: 811
 48-HOURS BEFORE ALL
 PLANNED WORK OPERATIONS



L1.1



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REVIEW		8/16/19
REVIEW		10/11/19

499 FORBES

South San Francisco, CA

Drawing Title:

Trail Planting Plan

Job #	A0000.00
Date:	10.11.19
Scale:	AS NOTED
Drawn By:	ds/pjr
Sheet:	

BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS

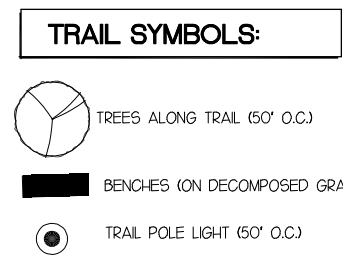


Know what's below.
Call before you dig.

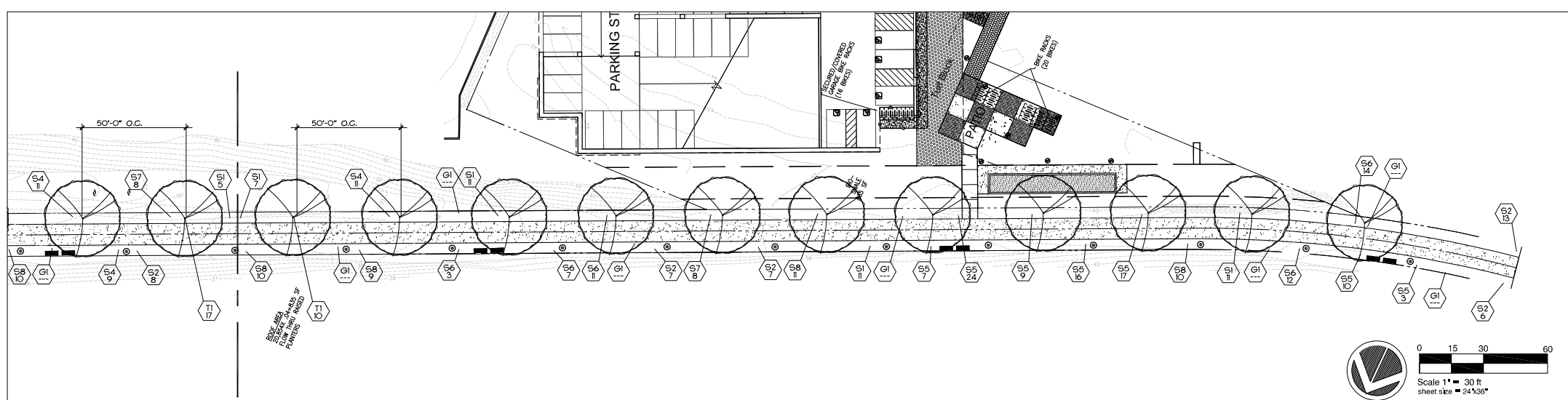
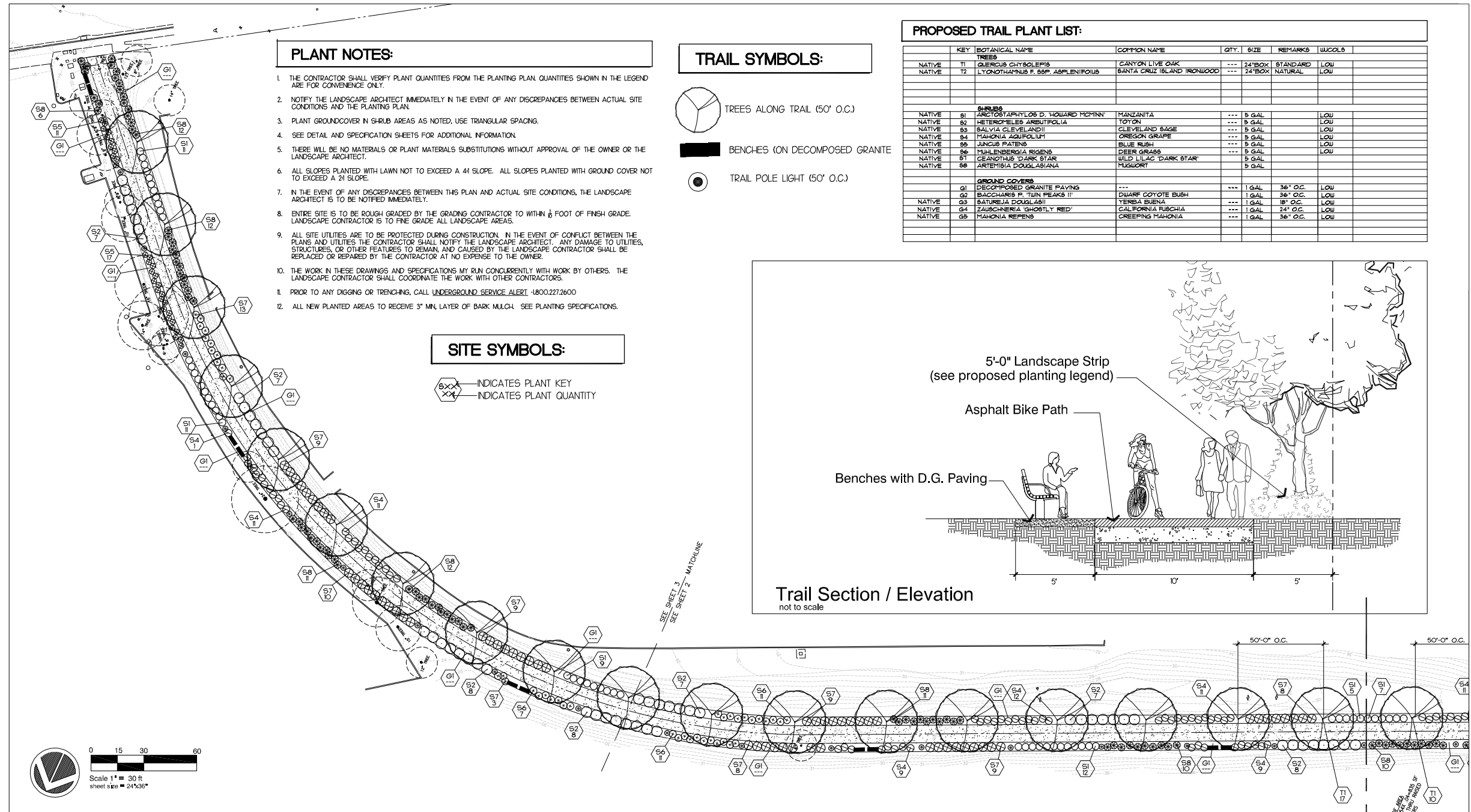
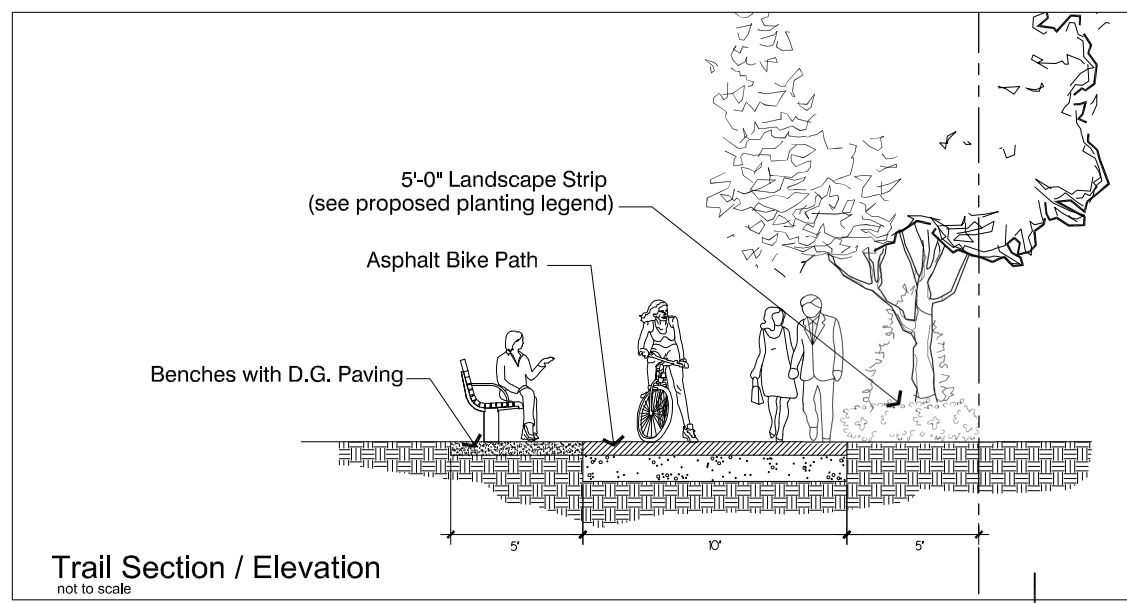
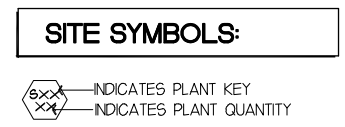
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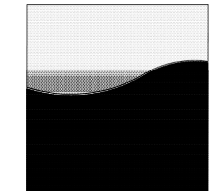
PROPOSED TRAIL PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
NATIVE T1	QUERCUS CHRYSOLEPIS	CANYON LIVE OAK	---	24"BOX	STANDARD	LOW
NATIVE T2	LYONOTHAMNUS F. 85P. ASPLENIFOLIUS	SANTA CRUZ ISLAND IRONWOOD	---	24"BOX	NATURAL	LOW
SHRUBS						
NATIVE S1	ARCTOSTAPHYLOS D. HOWARD MCHINN	MANZANITA	---	5 GAL		LOW
NATIVE S2	HETEROMELES ARBUTIFOLIA	TOYON	---	5 GAL		LOW
NATIVE S3	BALVIA CLEVELANDII	CLEVELAND SAGE	---	5 GAL		LOW
NATIVE S4	MAHONIA AQUIFOLIUM	OREGON GRAPE	---	5 GAL		LOW
NATIVE S5	JUNCUS FRATENS	BLUE RUSH	---	5 GAL		LOW
NATIVE S6	MULLENBERGIA RIGENS	DEER GRASS	---	5 GAL		LOW
NATIVE S7	CEANOTHUS DARK STAR	WILD LILAC DARK STAR	---	5 GAL		LOW
NATIVE S8	ARTEMISIA DOUGLASSIANA	MUGWORT	---	5 GAL		LOW
GROUND COVERS						
G1	DECOMPOSED GRANITE PAVING	---	---	1 GAL	36" O.C.	LOW
G2	BLUCHARIS P. TUN. PEAKS II	DWARF COYOTE BUSH	---	1 GAL	36" O.C.	LOW
NATIVE G3	BATUREJA DOUGLASSII	YERBA BUENA	---	1 GAL	18" O.C.	LOW
NATIVE G4	ZAUSCHNERIA 'GHOSTLY RED'	CALIFORNIA RUSCHIA	---	1 GAL	24" O.C.	LOW
NATIVE G5	MAHONIA REPENS	CREEPING MAHONIA	---	1 GAL	36" O.C.	LOW



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499 FORBES

South San Francisco, CA

Drawing Title: **Landscape Hydrozone Plan**

Job # A0000.00
Date: 10.11.19
Scale: AS NOTED
Drawn By: ds/pjr
Sheet:

L2.0

