

NEW HOTEL AT SEACLIFF VILLAGE AREA NORTH AVENUE AND BROADWAY APTOS, CALIFORNIA

BY
LOTUS MANAGEMENT INC.

INDEX OF DRAWINGS	SITE DATA	BUILDING DATA	VICINITY MAP																																									
A0.1 COVER SHEET	<p>PROJECT NAME: BOUTIQUE HOTEL</p> <p>ADDRESS: VACANT LAND IN SEACLIFF VILLAGE AREA NORTH AVENUE AND BROADWAY APTOS, CALIFORNIA</p> <p>APPLICANT: PRAKASH PATEL</p> <p>ZONE: VA - (VISITOR ACCOMMODATIONS)</p> <p>PARCEL NUMBER: 042-022-12</p> <p>PROPOSED HOTEL SITE SIZE: 14,000 S.F.</p> <p>BUILDING FOOTPRINT: TOTAL: 2,123 S.F. OR 15%</p> <p>AREAS OF LANDSCAPING: 2,104 S.F. OR 15%</p> <p>ASPHALT PAVING AND CONC. WALKS: 9,773 S.F. OR 70%</p> <p>SETBACK REQUIREMENTS: FRONT: 10'-0" SIDE: 10'-0" REAR: 10'-0"</p> <p>PARKING REQUIREMENTS: STANDARD: PROVIDED: 17 COMPACT: PROVIDED: 2 ACCESSIBLE: PROVIDED: 1 TOTAL: PROVIDED: 20</p>	<p>APPLICABLE CODES: 2019 PART 1 - CBC VOL. 1 & II 2019 PART 3 - CALIFORNIA ELECTRICAL CODE 2019 PART 4 - CALIFORNIA MECHANICAL CODE 2019 PART 5 - CALIFORNIA PLUMBING CODE 2019 PART 7 - CALIFORNIA ENERGY CODE 2019 PART 9 - CALIFORNIA FIRE CODE 2019 PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</p> <p>OCCUPANCY TYPE: PRIMARY USE - R-1</p> <p>CONSTRUCTION TYPE: TYPE VA</p> <p>STORIES: THREE</p> <p>BUILDING HEIGHT: 35'-0"</p> <p>SQUARE FOOTAGE: GROUND LEVEL: 2,123 ENTRANCE CANOPY: 1,280 SECOND FLOOR: 7,414 THIRD FLOOR: 7,114 THIRD FLOOR DECK: 414 ROOF DECK & STAIRS: 1,848 TOTAL SQUARE FOOTAGE: 20,193</p> <p>SEISMIC ZONE: AS DETERMINED BY STRUCTURAL</p>																																										
C-1 GRADING AND DRAINAGE PLAN		<p>QUESTROOM MATRIX</p> <p>KING SUITES: 14 ACCESSIBLE KING SUITES: 1 DOUBLE QUEEN GUESTROOMS: 2 ACCESSIBLE DBL QUEENS: 1 TWO-ROOM SUITES: 1 TOTAL GUESTROOMS: 19</p>																																										
C-2 DETAILS	<p>FIXTURE COUNT</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td>TOILETS</td> <td style="text-align: right;">21</td> <td style="text-align: right;">≤ 1.28 GPF</td> </tr> <tr> <td>URINALS</td> <td style="text-align: right;">0</td> <td></td> </tr> <tr> <td>SHOWERS</td> <td style="text-align: right;">19</td> <td style="text-align: right;">≤ 2.0 GPF</td> </tr> <tr> <td>BATHROOM FAUCETS</td> <td style="text-align: right;">21</td> <td style="text-align: right;">≤ 1.6 GPF</td> </tr> <tr> <td>KITCHEN FAUCETS</td> <td style="text-align: right;">6</td> <td style="text-align: right;">≤ 1.8 GPF</td> </tr> <tr> <td>CLOTHES WASHERS</td> <td style="text-align: right;">1</td> <td style="text-align: right;">ENERGY STAR QUALIFIED</td> </tr> <tr> <td>DISHWASHERS</td> <td style="text-align: right;">1</td> <td style="text-align: right;">ENERGY STAR QUALIFIED</td> </tr> <tr> <td>COOLING TOWERS</td> <td style="text-align: right;">0</td> <td></td> </tr> <tr> <td>FOOD STEAMERS</td> <td style="text-align: right;">0</td> <td></td> </tr> <tr> <td>I.C.E. MACHINES</td> <td style="text-align: right;">3</td> <td style="text-align: right;">ENERGY STAR QUALIFIED</td> </tr> <tr> <td>PRE-RINSE SPRAY VALVES</td> <td style="text-align: right;">0</td> <td></td> </tr> <tr> <td>AUTO CAR WASH</td> <td style="text-align: right;">0</td> <td></td> </tr> <tr> <td>COMMERCIAL FRIDGE</td> <td style="text-align: right;">1</td> <td style="text-align: right;">CLOSED LOOP OR AIR COOLED</td> </tr> <tr> <td>METERS</td> <td style="text-align: right;">1</td> <td></td> </tr> </table>	TOILETS		21	≤ 1.28 GPF	URINALS	0		SHOWERS	19	≤ 2.0 GPF	BATHROOM FAUCETS	21	≤ 1.6 GPF	KITCHEN FAUCETS	6	≤ 1.8 GPF	CLOTHES WASHERS	1	ENERGY STAR QUALIFIED	DISHWASHERS	1	ENERGY STAR QUALIFIED	COOLING TOWERS	0		FOOD STEAMERS	0		I.C.E. MACHINES	3	ENERGY STAR QUALIFIED	PRE-RINSE SPRAY VALVES	0		AUTO CAR WASH	0		COMMERCIAL FRIDGE	1	CLOSED LOOP OR AIR COOLED	METERS	1	
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C-5 STORMWATER POLLUTION CONTROL PLAN																																												
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A1.1 SITE PLAN / GROUND LEVEL PLAN																																												
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A1.3 THIRD FLOOR PLAN																																												
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A2.1 EXTERIOR ELEVATIONS																																												
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A7.1 BUILDING SECTION																																												
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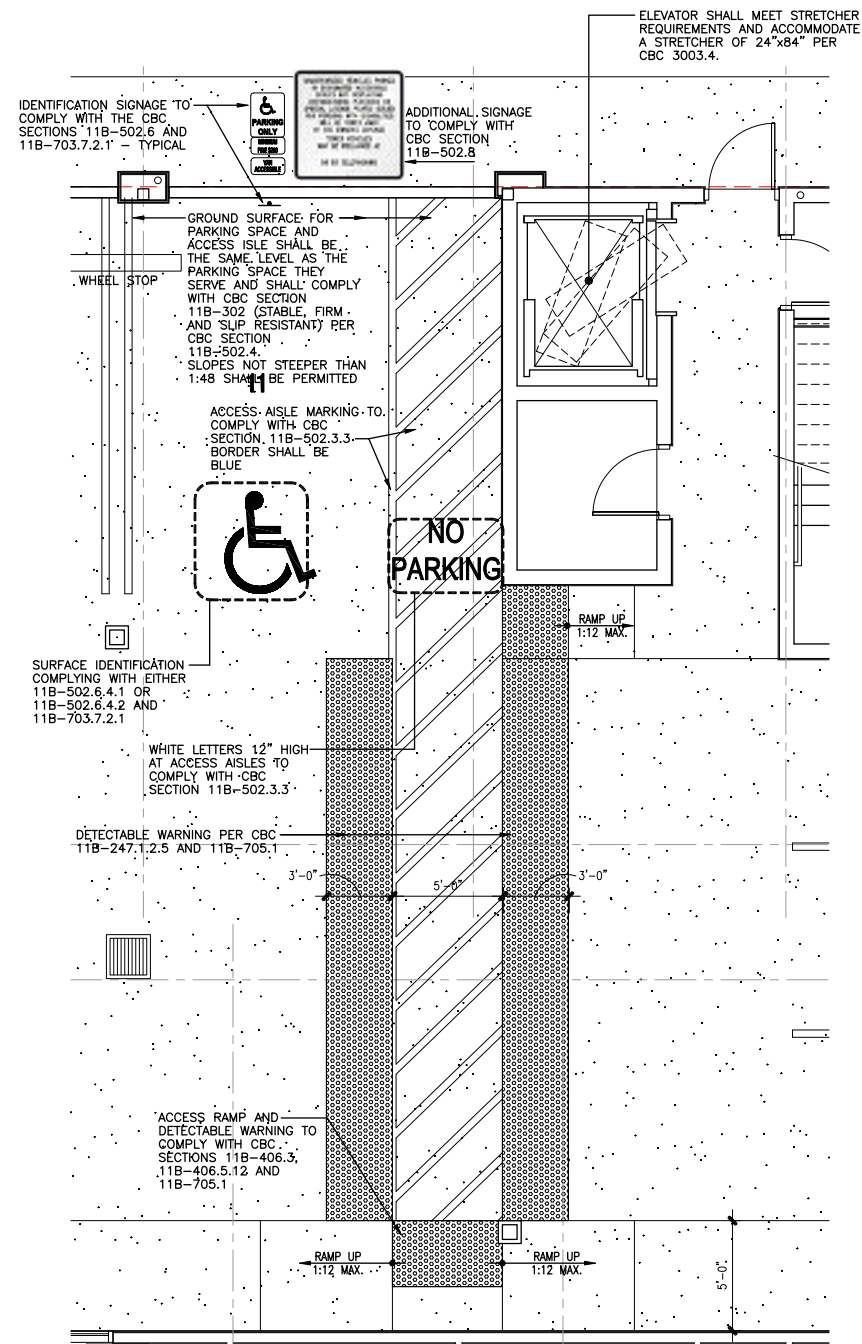
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SEACLIFF VILLAGE AREA HOTEL
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DRAWN
TJM
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SCALE
AS NOTED
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18-132
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A0.0
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ACCESSIBLE PATH TO PUBLIC WAY

1/4" = 1'-0"

1
A0.4

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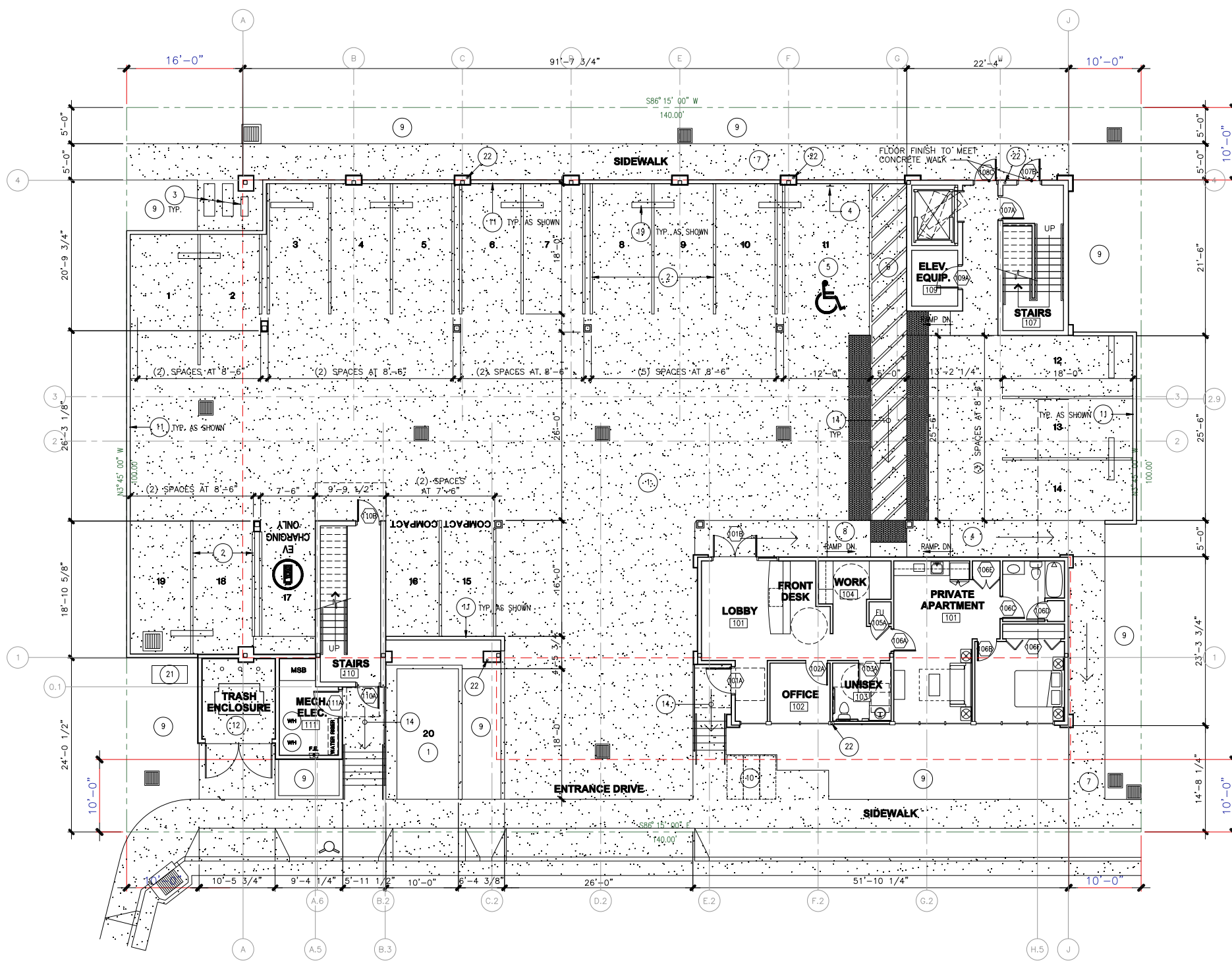
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SITE SPECIFIC KEYNOTES	
1	6" CONCRETE PAVING SLOPED TO DRAINS - SEE CIVIL PLANS
2	4" WIDE PARKING STALL STRIPING - (2) COATS REFLECTIVE TRAFFIC PAINT
3	(2) OUTDOOR UNITS, LG #LMU540HV, ~54"lx~18"W, 54/56 dB (1) OUTDOOR UNIT, LG #LMU247HV, ~32"lx~12"W, 51 dB FIELD COORDINATE WITH LANDSCAPING.
4	VERTICAL SIGNAGE FOR ACCESSIBLE STALL.
5	12'-0" X 20'-0" MAX. ACCESSIBLE PARKING STALL WITH SURFACE AND VERTICAL SIGNAGE AS REQUIRED
6	5'-0" X 20'-0" MAX. ACCESS LANE WITH 4" WIDE STRIPING ON THE DIAGONAL AT 36" MAX. O.C. - PAINT WITH (2) COATS BLUE TRAFFIC PAINT - 5'-0" WIDE ACCESS LANE SIM.
7	4" THICK CONCRETE WALK ON 6" COMP. GRAVEL BASE WITH CONTROL JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C. SLOPE WALK 1/4" PER FOOT AWAY FROM BUILDING - PROVIDE BROOM FINISH PERPENDICULAR TO SLOPE.
8	ACCESS RAMP
9	AREAS OF LANDSCAPING
10	BICYCLE RACKS FOR (3) BICYCLES. FIELD COORDINATE WITH LANDSCAPING.
11	6 FT. HIGH PARKING DELINEATION WALL
12	10'-0" X 11'-0" (INSIDE DIMENSIONS) TRASH/RECYCLING ENCLOSURE. SEE DETAIL 1/A0.3
13	PENDING
14	PATH OF ACCESS TO THE PUBLIC RIGHT-OF-WAY
15	PENDING
16	PENDING
17	FUTURE EVCS STALL
18	PENDING
19	6'-0" X 5" HIGH X 6" WIDE CONCRETE WHEEL STOP SET WITH ASPHALT MASTIC AND #4 X 18" REBAR AT EACH END
20	PENDING
21	NEW ELECTRICAL TRANSFORMER ON CONCRETE PAD
22	RAIN LEADER UNDERGROUND TO SITE DRAINAGE - SEE CIVIL FOR CONTINUATION - COORDINATE WITH CIVIL/MECHANICAL PLANS FOR LINE SIZE COORDINATE WITH ARCHITECTURAL/MECHANICAL PLANS FOR LINE LOCATIONS
23	PENDING
24	PENDING

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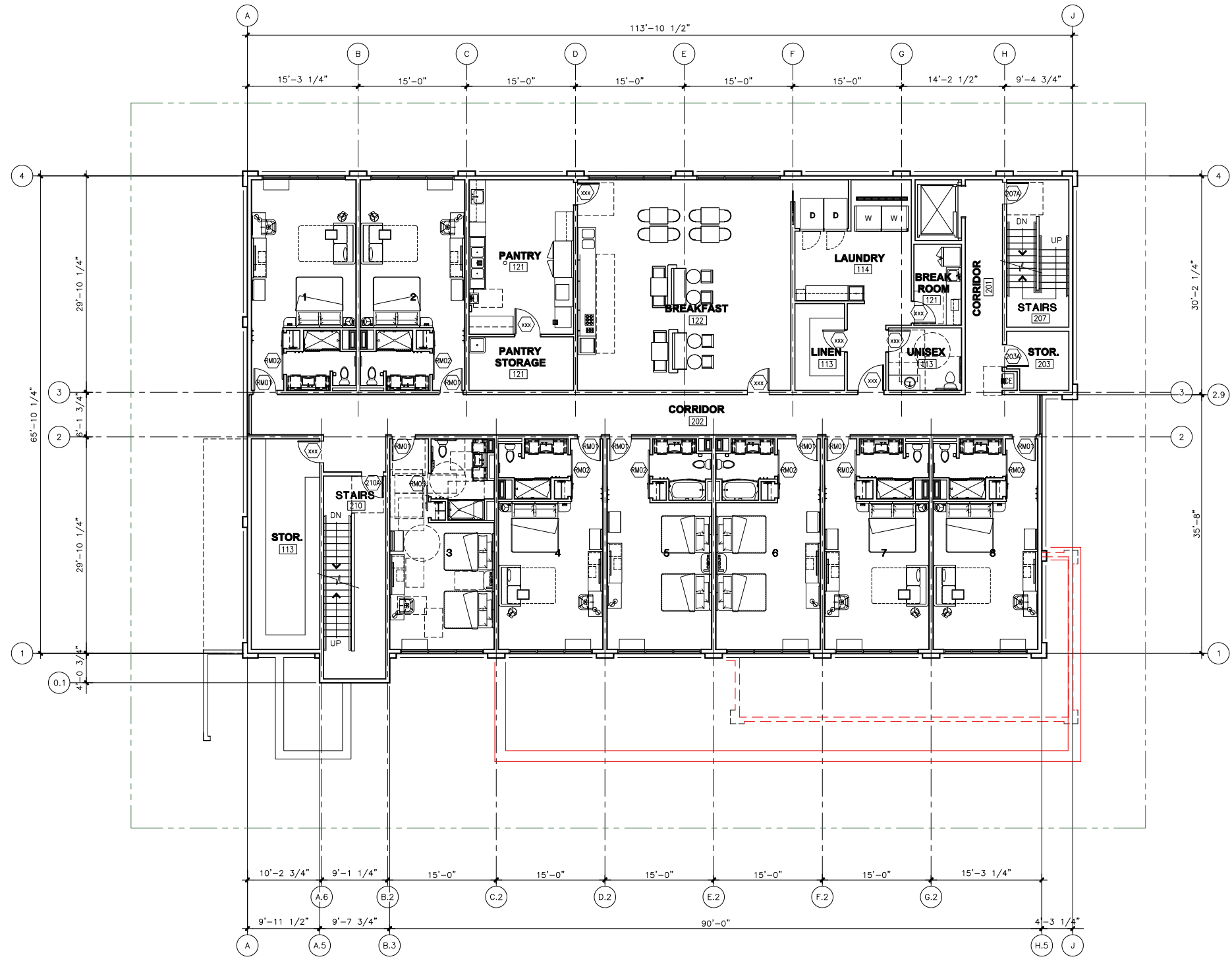


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SITE PLAN / GROUND LEVEL PLAN
 1/8" = 1'-0"
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SECOND FLOOR PLAN

1/8" = 1'-0"

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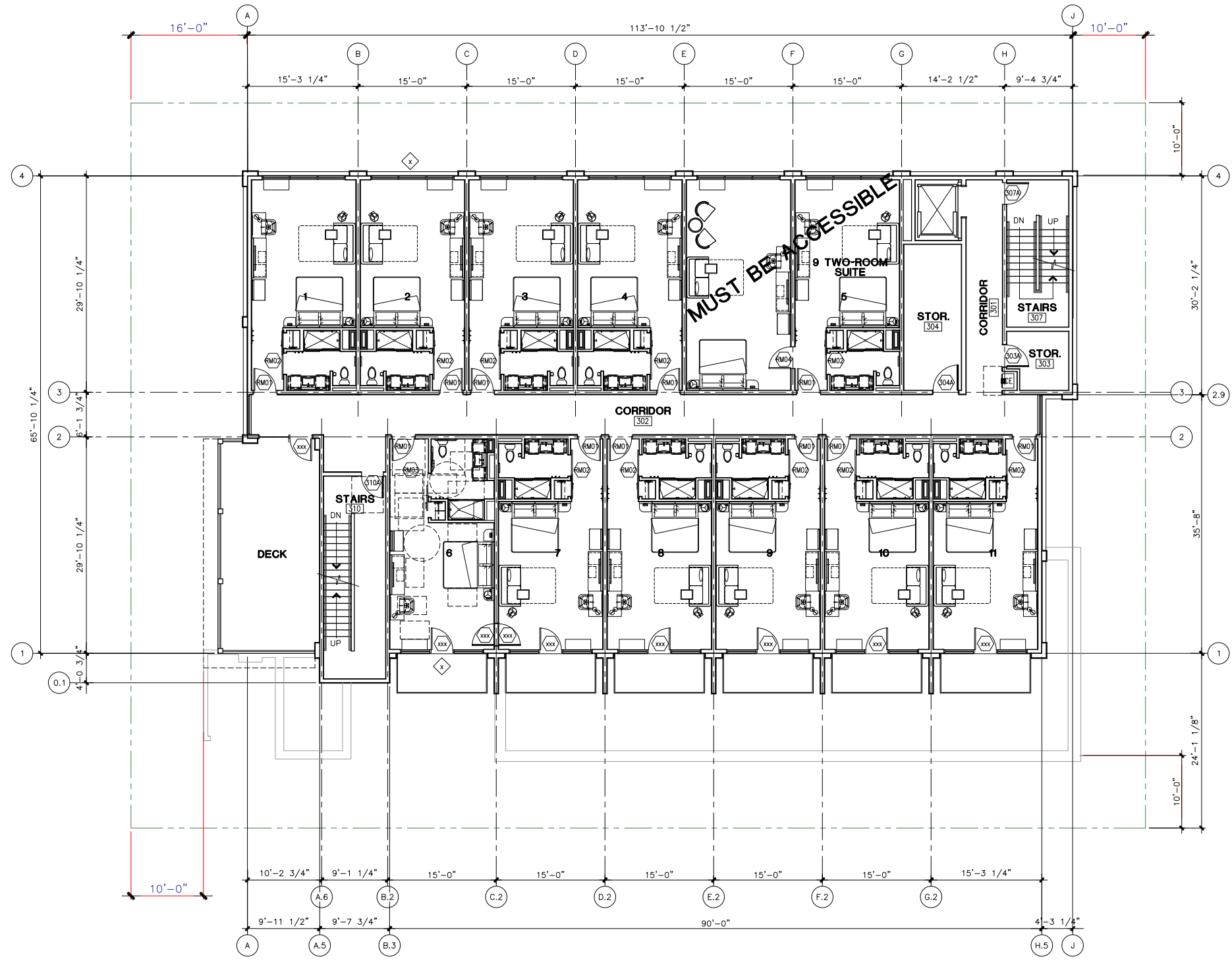
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THIRD FLOOR PLAN
 1/8" = 1'-0"

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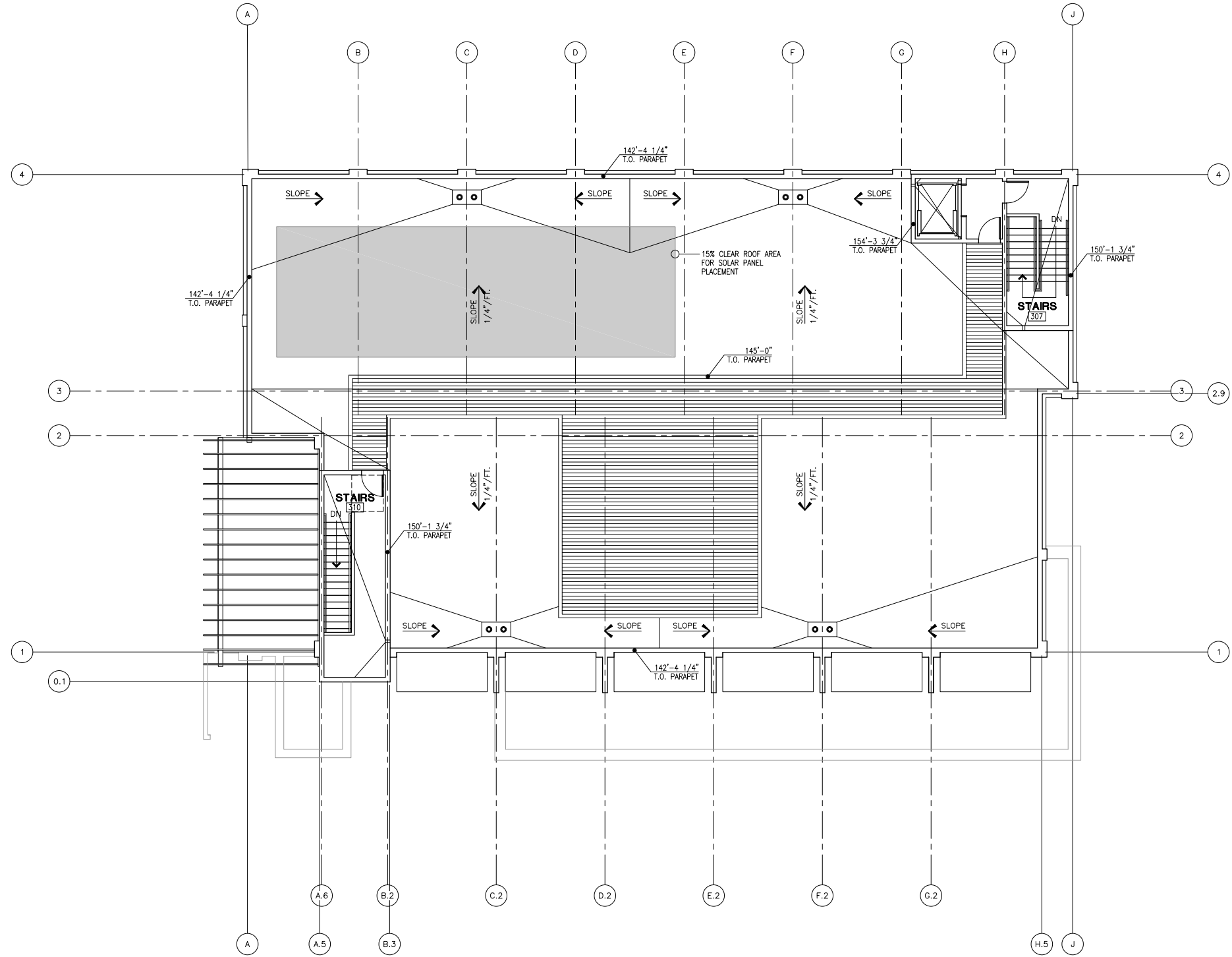
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ROOF PLAN
 1/8" = 1'- 0"

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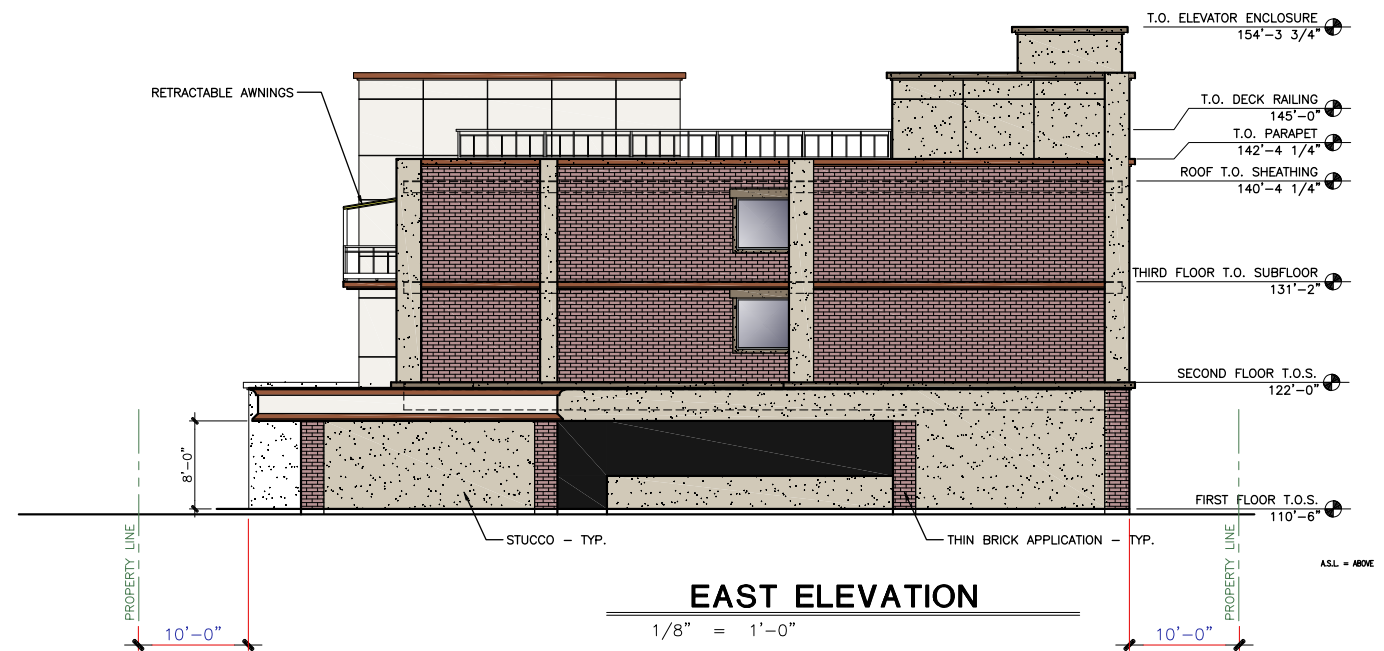
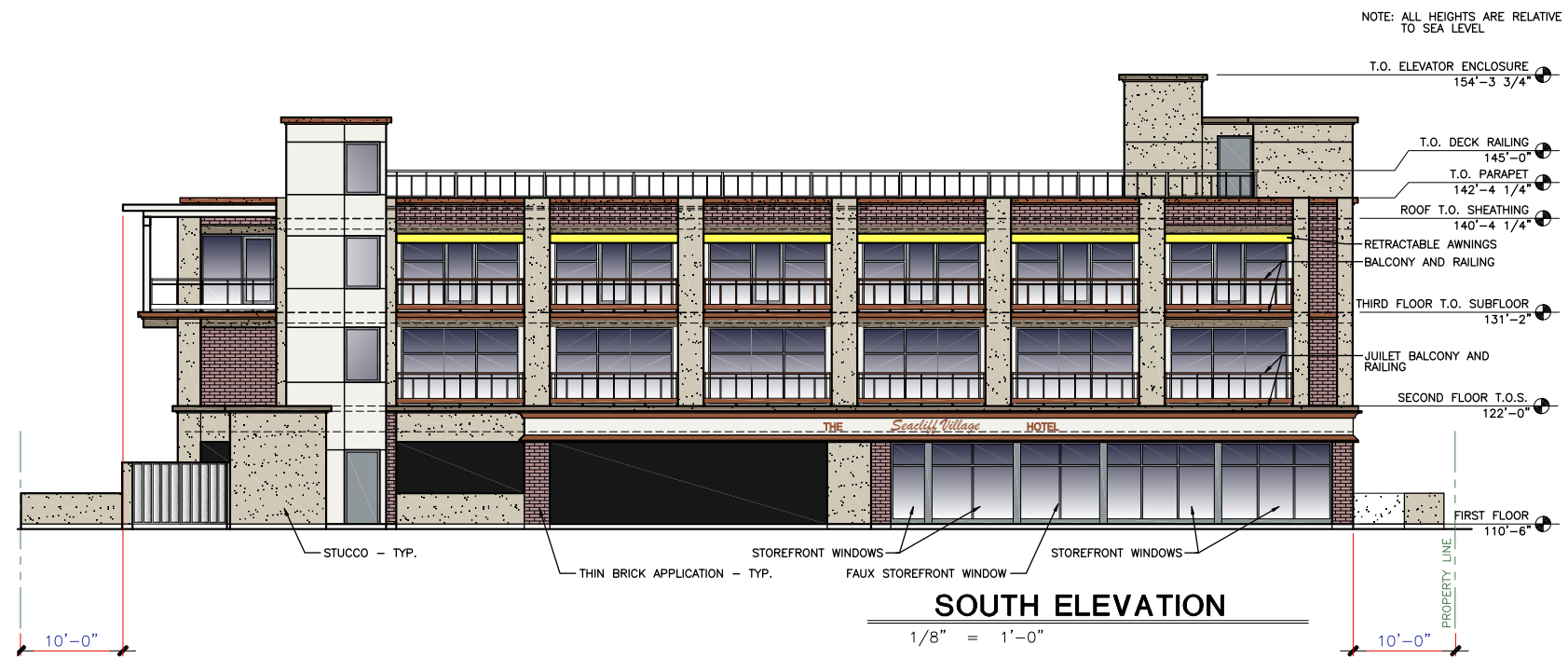

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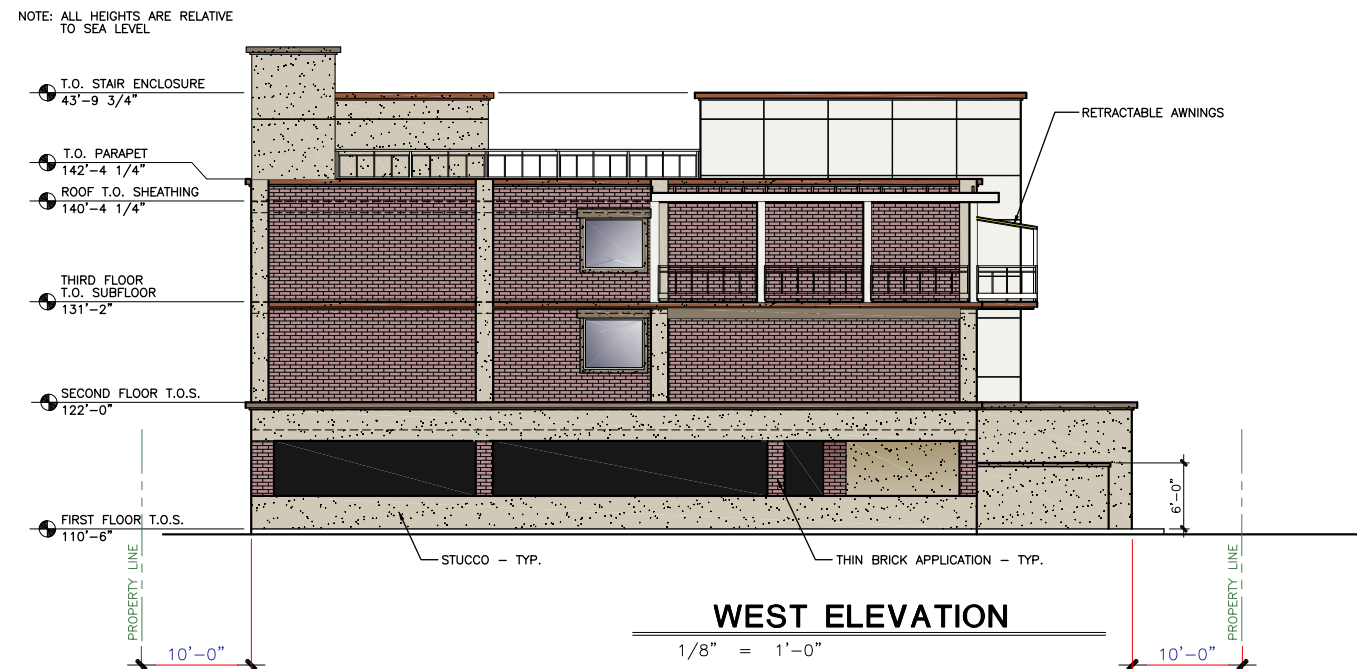
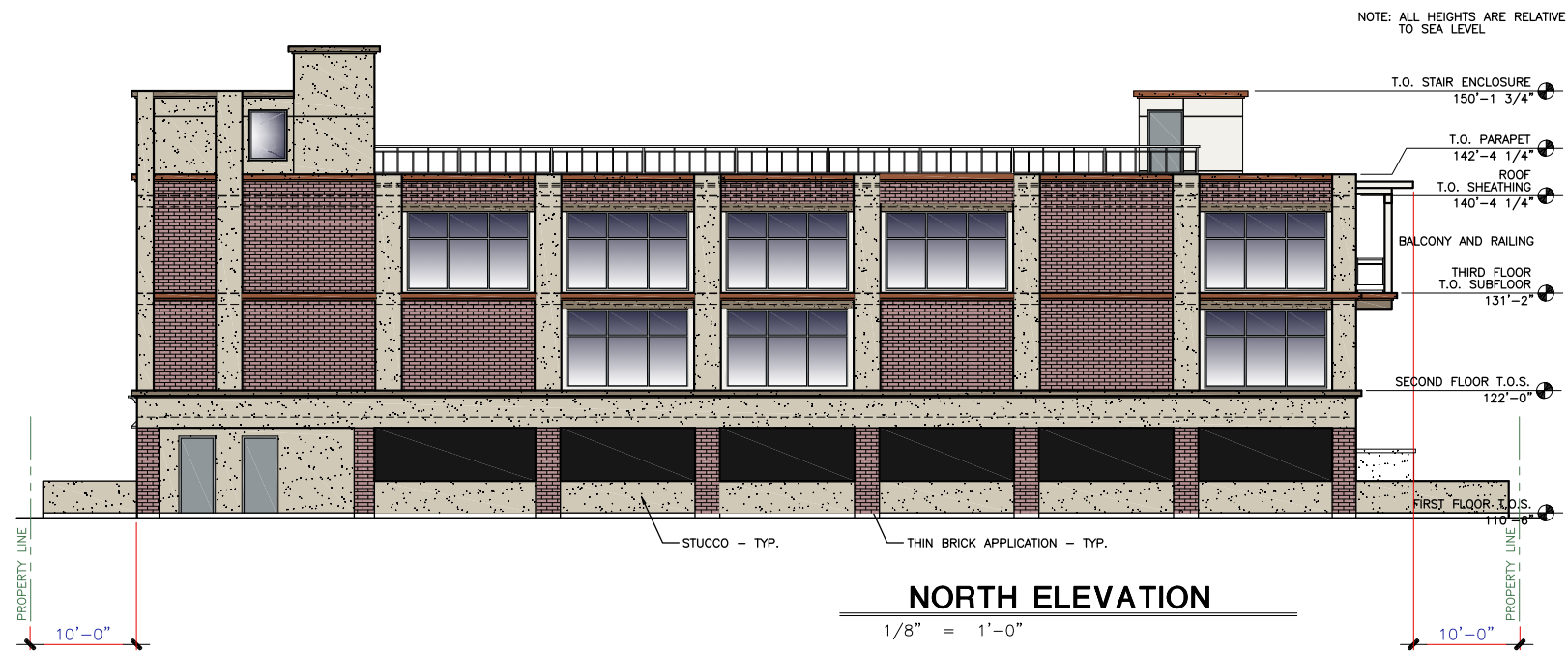
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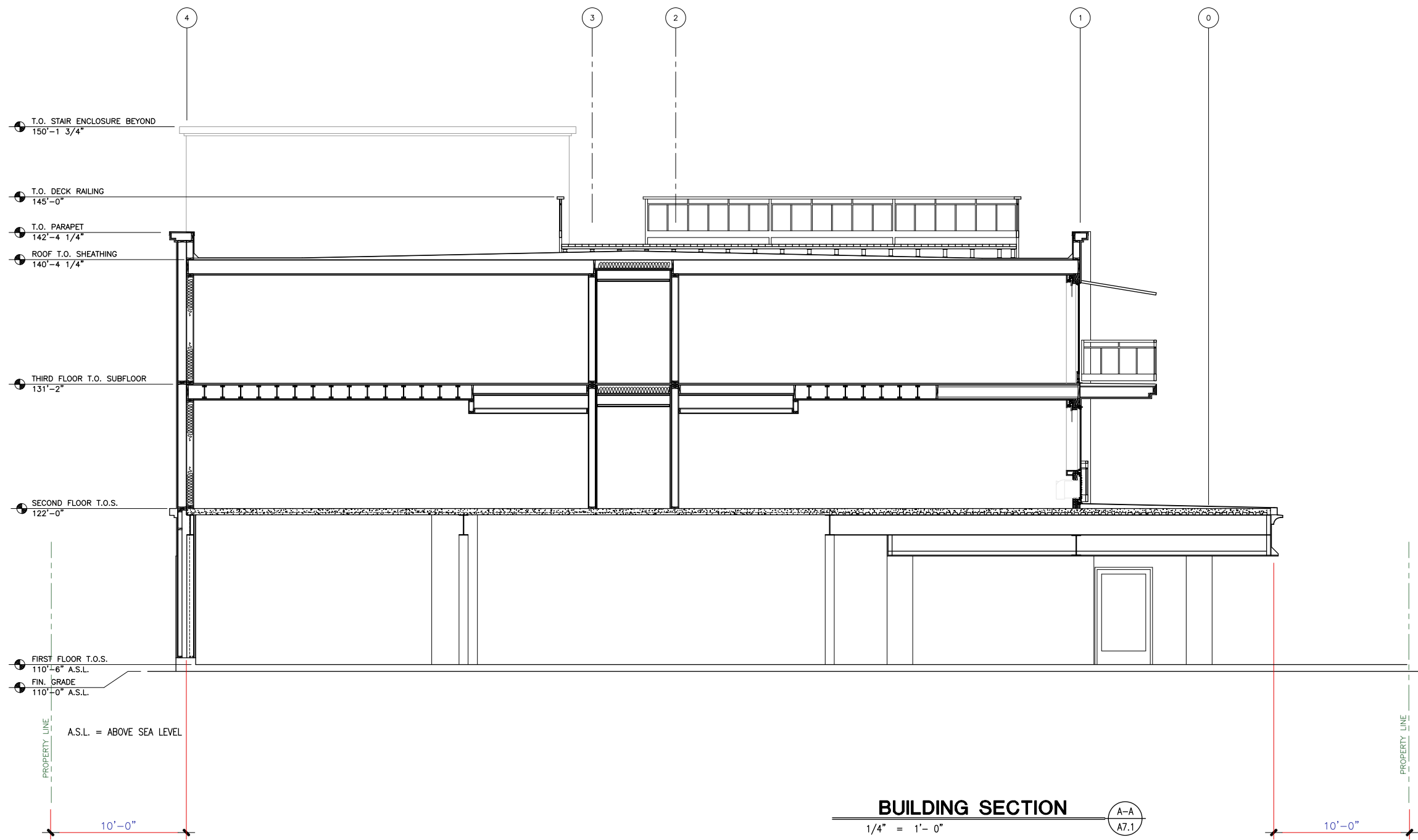
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BUILDING SECTION

1/4" = 1'-0"

A-A
A7.1

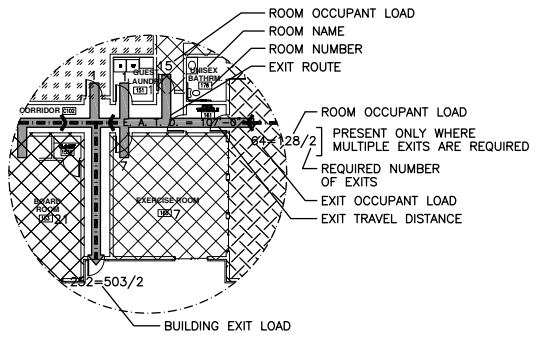
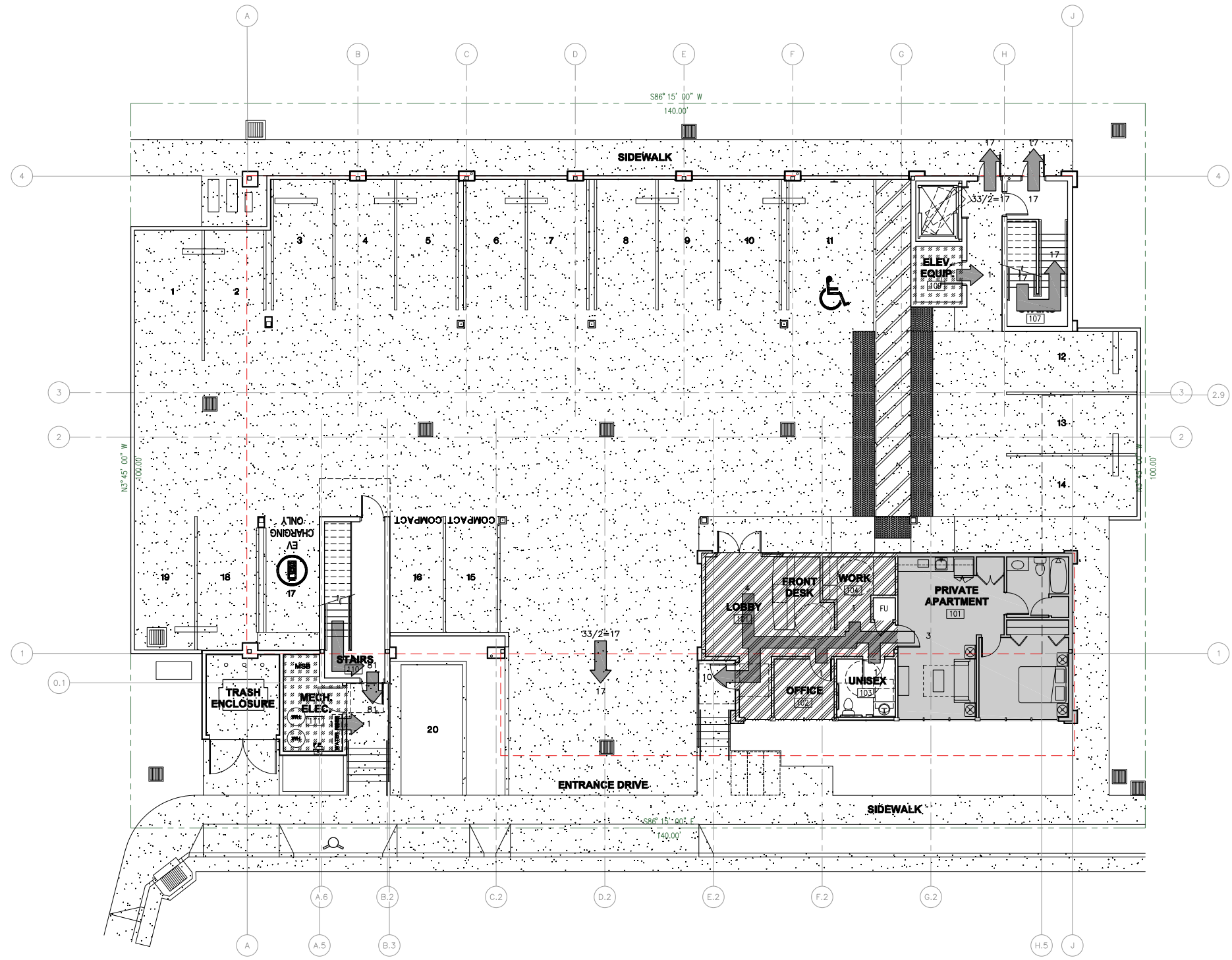
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GROUND LEVEL EXITING PLAN
1/8" = 1'-0"

FIRST FLOOR	USE	OCCUPANCY GROUP	OCCUPANT LOAD FACTOR (OL _f)	SQUARE FOOTAGE (SQ.FT.)	OCCUPANT LOAD (OL=(SQ.FT.)/(OL _f))	REQUIRED EXIT WIDTH (OLx0.15)	EXIT WIDTH PROVIDED	REQUIRED STAIR WIDTH (OLx0.20)	STAIR WIDTH PROVIDED
	OFFICE	B	100	502	6	.90"	36" PER ROOM		
	APARTMENT	R-2	200	566	3	.45"	36" PER ROOM		
	OPEN PARKING	S-2	200	6,197	31	4.65"	36" PER DOOR		
	REST ROOM	B	100	74	1	.15"	36" PER ROOM		
	CIRCULATION AND EXIT	B	0	596	(0) 42 IN EXIT	6.30"	36" PER DOOR		
	MECHANICAL	B	300	192	1	.15"	36" PER ROOM		
TOTAL				8,125	42	6.30"	36"	N.A.	N.A.

KEY

- OCCUPANCY SEPARATION (FIRE BARRIER WALL)
- FIRE RATED WALL
- ASSEMBLY
- BUSINESS
- LAUNDRY
- STORAGE
- KITCHEN
- MECHANICAL / ELECTRICAL
- VENDING
- RESIDENCE
- ACCESSIBLE / EXIT ROUTE TO PUBLIC WAY

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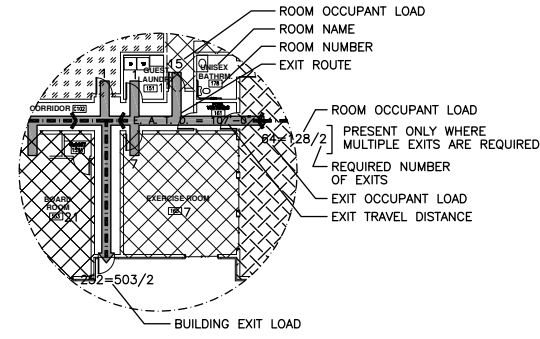
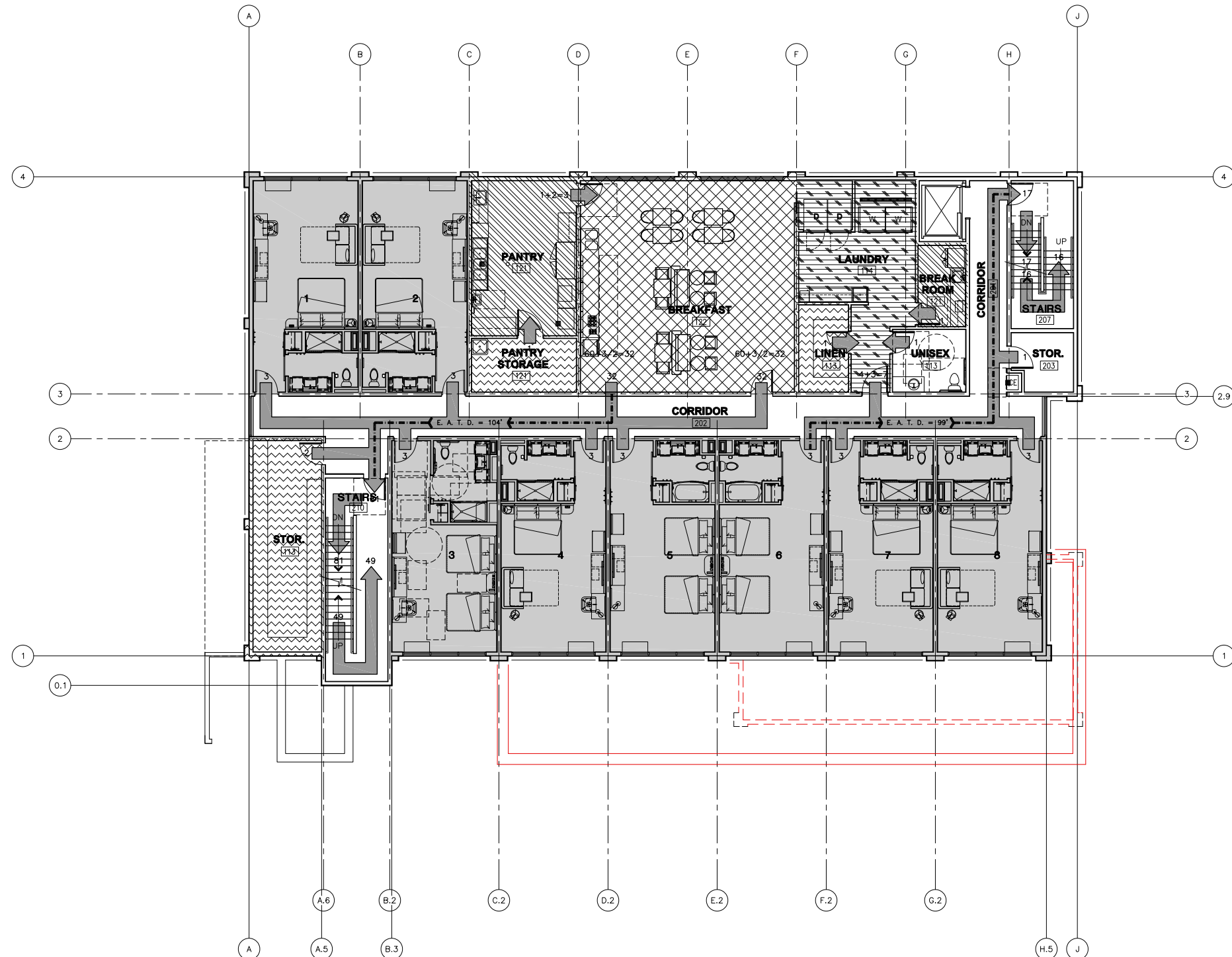
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SECOND FLOOR EXITING PLAN

1/8" = 1'-0"

SECOND FLOOR	USE	OCCUPANCY GROUP	OCCUPANT LOAD FACTOR (OL _f)	SQUARE FOOTAGE (SQ.FT.)	OCCUPANT LOAD (OL=(SQ.FT.)/(OL _f))	REQUIRED EXIT WIDTH (OLx0.15)	EXIT WIDTH PROVIDED	REQUIRED STAIR WIDTH (OLx0.20)	STAIR WIDTH PROVIDED
	RESIDENT ROOMS	R-1	200	3,617	19	2.85"	36" PER ROOM		
	BREAKFAST	A-3	15	899	60	9.00"	36" PER ROOM		
	PANTRY	A-3	200	332	2	.30"	36" PER ROOM		
	LAUNDRY	F	100	372	4	.60"	36" PER ROOM		
	STORAGE	S-1	300	599	2	.30"	36" PER ROOM		
	CIRCULATION	B	0	1,424	(0) 89 IN EXIT	13.35"	36" PER FLOOR	17.80"	48" PER STAIR
	BREAK ROOM	B	100	81	1	.15"	36" PER ROOM		
	REST ROOM	B	100	96	1	.15"	36" PER ROOM		
TOTAL				7,420	89			17.80"	48" X 2

KEY

OCCUPANCY SEPARATION FIRE BARRIER WALL	---
FIRE RATED WALL	---
ASSEMBLY	[Pattern]
BUSINESS	[Pattern]
LAUNDRY	[Pattern]
STORAGE	[Pattern]
KITCHEN	[Pattern]
MECHANICAL/ELECTRICAL	[Pattern]
VENDING	[Pattern]
RESIDENCE	[Pattern]
ACCESSIBLE / EXIT ROUTE TO PUBLIC WAY	⊙

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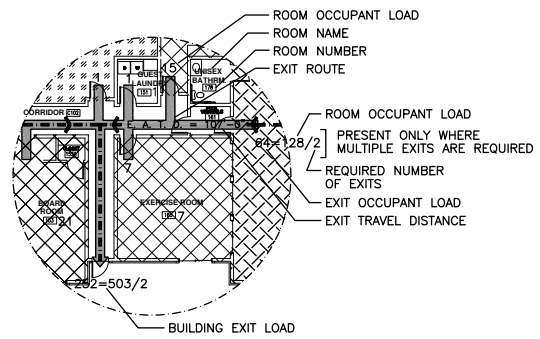
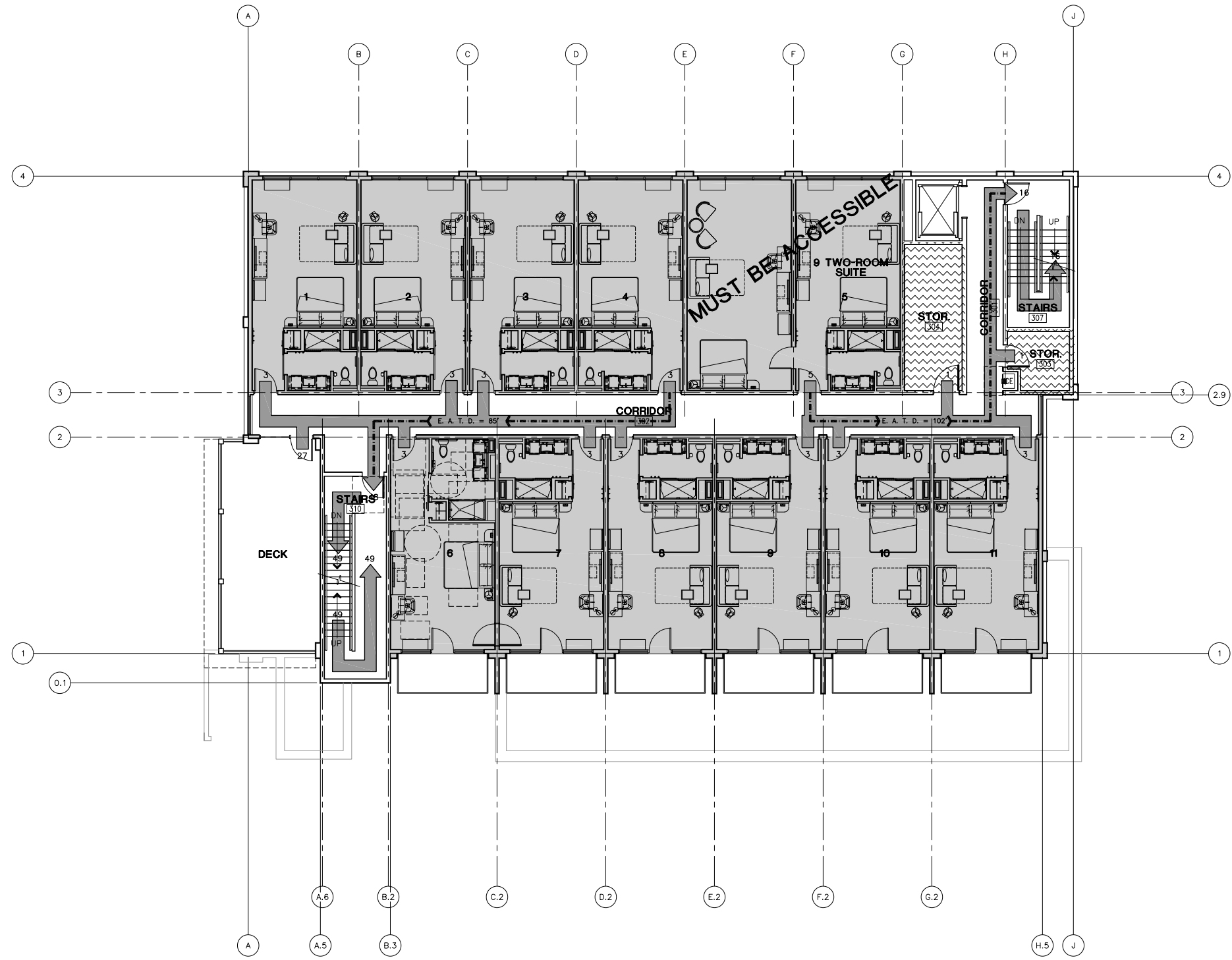
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REGISTERED ARCHITECT IN CALIFORNIA
 GARY D. BOYLANDER
 No. C-1001
 Exp. 07/31/2022
 JULY 29, 2021

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THIRD FLOOR EXITING PLAN
 1/8" = 1'-0"

THIRD FLOOR	USE	OCCUPANCY GROUP	OCCUPANT LOAD FACTOR (OL _f)	SQUARE FOOTAGE (SQ.FT.)	OCCUPANT LOAD (OL=(SQ.FT.)/(OL _f))	REQUIRED EXIT WIDTH (OLx0.15)	EXIT WIDTH PROVIDED	REQUIRED STAIR WIDTH (OLx0.20)	STAIR WIDTH PROVIDED
	RESIDENT ROOMS	R-1	200	5,423	28	4.20"	36" PER ROOM		
	STORAGE	S-1	300	258	1	.15"	36" PER ROOM		
	CIRCULATION	B	0	1,439	(0) 56 IN EXIT	8.40"	36" PER DOOR	11.20"	48" PER STAIR
	DECK	B	15	394	27	4.05"	36" PER ROOM		
TOTAL						8.40"	36"x2	11.20"	48" X 2

KEY

- OCCUPANCY SEPARATION (FIRE BARRIER WALL) [Symbol]
- FIRE RATED WALL [Symbol]
- ASSEMBLY [Symbol]
- BUSINESS [Symbol]
- LAUNDRY [Symbol]
- STORAGE [Symbol]
- KITCHEN [Symbol]
- MECHANICAL / ELECTRICAL [Symbol]
- VENDING [Symbol]
- RESIDENCE [Symbol]
- ACCESSIBLE / EXIT ROUTE TO PUBLIC WAY [Symbol]

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REVISIONS	DATE

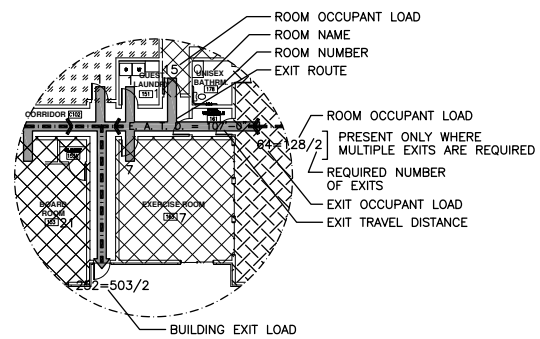
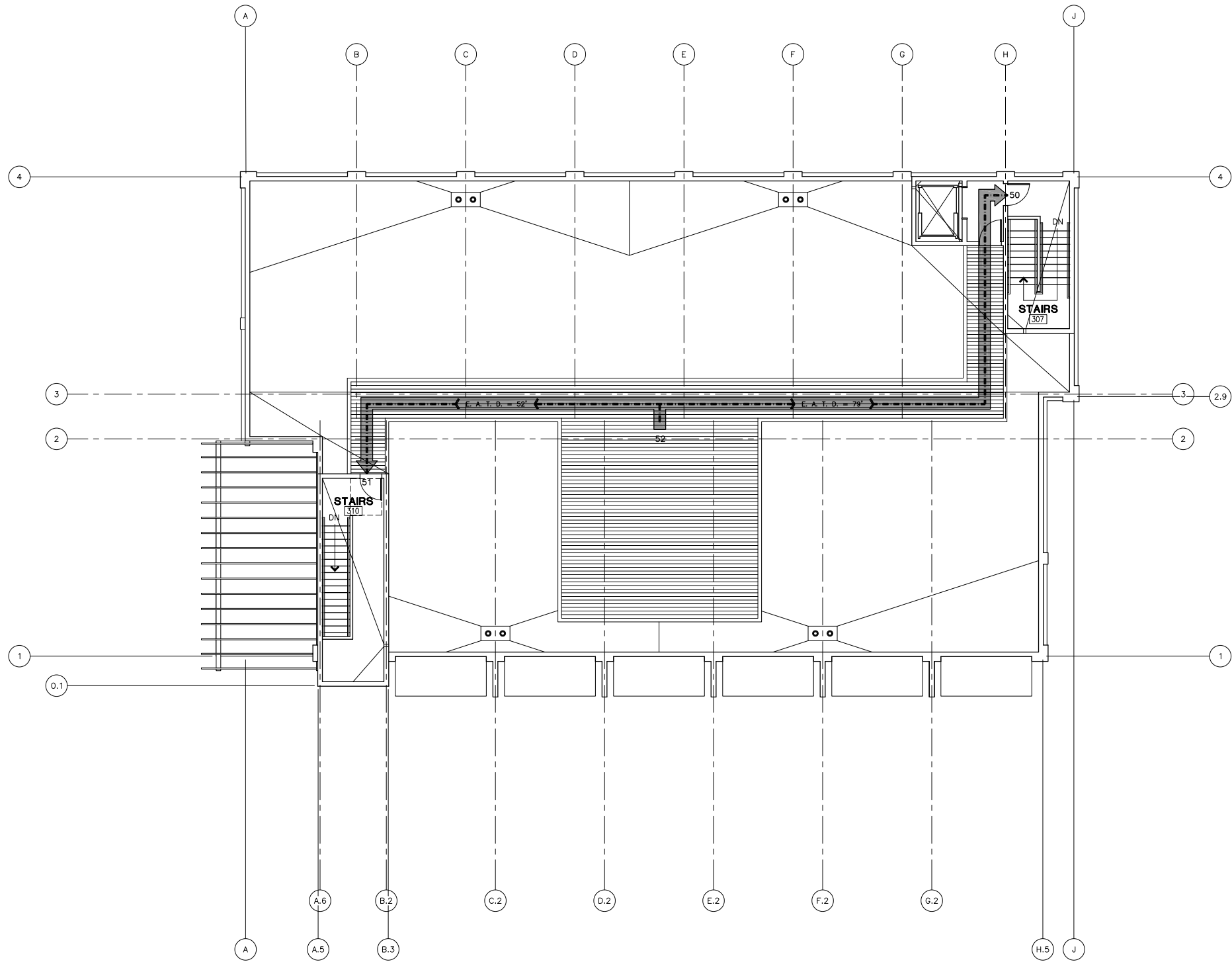
dra PLC
 DESIGN RESOURCES ARCHITECTS
 1014 S. LA POINTE STREET
 BOISE, IDAHO 83706
 208.343.5511
 www.dra-plc.com
 administrator@desresearch.com

REGISTERED ARCHITECT IN CALIFORNIA
 GARY D. BUEHLER
 No. C-10813
 Exp. 01/31/2022
 JULY 23, 2021

SEACLIFF VILLAGE AREA HOTEL
 LOTUS MANAGEMENT INC.
 270 NORTH AVENUE
 APTOS, CALIFORNIA 95003

DRAWN TJM
 CHECKED GDE
 DATE NOVEMBER 30, 2018
 SCALE AS NOTED
 JOB NO. 18-132
 SHEET **A10.3**
 OF SHEETS

Print Date: 7/29/2021 10:43 AM



ROOF LEVEL EXITING PLAN
 1/8" = 1'-0"

ROOF	USE	OCCUPANCY GROUP	OCCUPANT LOAD FACTOR (OL _f)	SQUARE FOOTAGE (SQ.FT.)	OCCUPANT LOAD OL=(SQ.FT.)/(OL _f)	REQUIRED EXIT WIDTH (OLx0.15)	EXIT WIDTH PROVIDED	REQUIRED STAIR WIDTH (OLx0.20)	STAIR WIDTH PROVIDED
	DECK	B	15	770	52	7.00"	36" AT STAIR		
	WALKWAY/CIRCULATION	B	15	732	49	7.00"	36" PER DOOR	10.00"	48" PER STAIR
TOTAL				1,502	101	7.00"	36 PER DOOR	10.00"	48"

KEY

- OCCUPANCY SEPARATION (FIRE BARRIER WALL) [Symbol]
- FIRE RATED WALL [Symbol]
- ASSEMBLY [Symbol]
- BUSINESS [Symbol]
- LAUNDRY [Symbol]
- STORAGE [Symbol]
- KITCHEN [Symbol]
- MECHANICAL / ELECTRICAL [Symbol]
- VENDING [Symbol]
- SOLAR [Symbol]
- ACCESSIBLE / EXIT ROUTE TO PUBLIC WAY [Symbol]

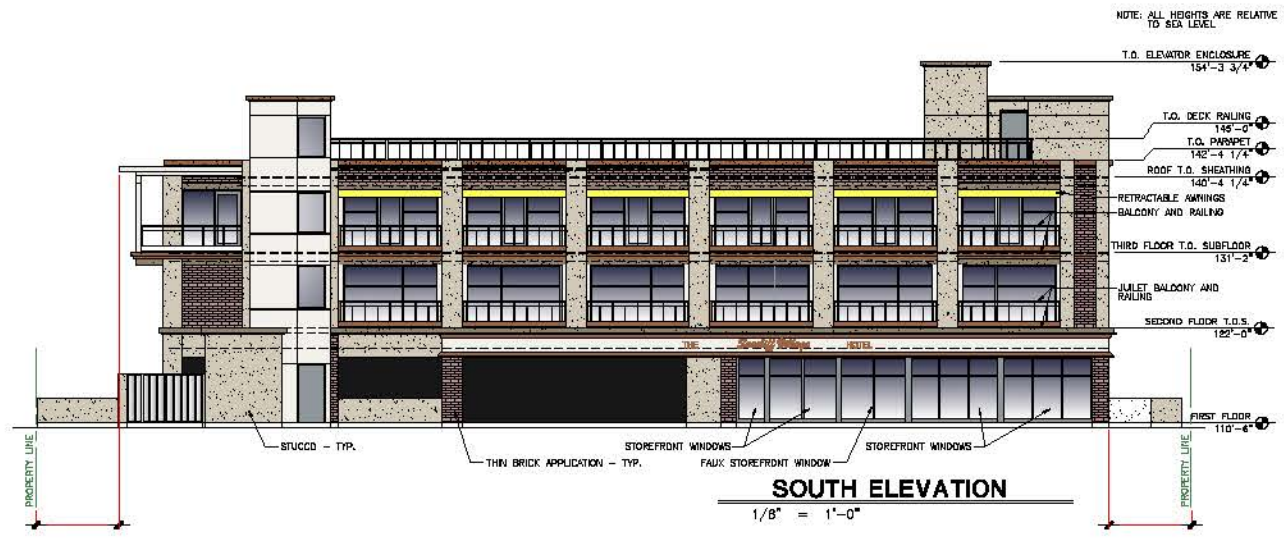
REVISIONS	DATE

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 SCALE AS NOTED
 JOB NO. 18-132
 SHEET **A10.4**
 OF SHEETS



LS
STO 'CHAMPAGNE' 93330

LSS
STO 'CHAMPAGNE' 93330

WH
STO 'ITS WHITE' 20001

DB
STO 31331

RR
STO 32241

McNEAR THIN BRICK
TOWNE SERIES 'CASCADE'

REVISIONS	BY

dra
PLUS
DESIGN RESEARCH
ARCHITECTS

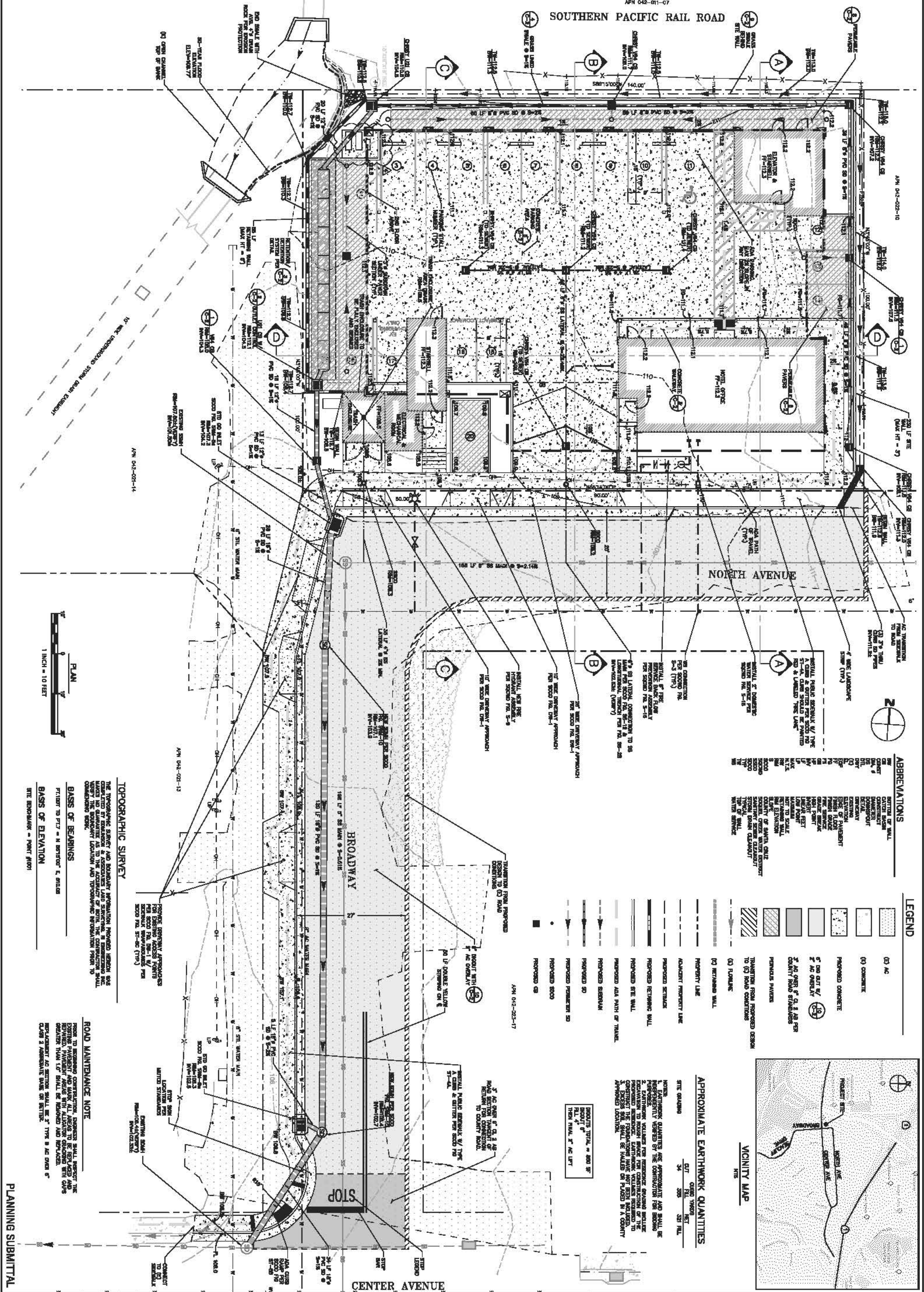
1014 S. LA POINTE STREET
SUITE 1040 93706
206.343.5511
www.dra-plus.com
admin@dra-plus.com



SEACLIFF VILLAGE AREA HOTEL
LOTUS MANAGEMENT INC.
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APTOS, CALIFORNIA 95003

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CB
OF 01 SHEETS

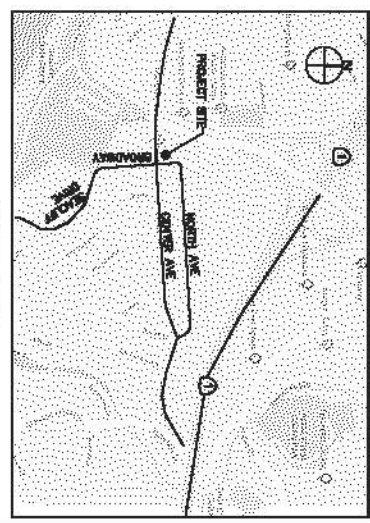


ABBREVIATIONS

(S) CONC	EXISTING CONC
(C) CONC	PROPOSED CONC
(A) CONC	CONCRETE
(P) CONC	PROPOSED CONC
(D) CONC	EXISTING CONC
(E) CONC	EXISTING CONC
(F) CONC	EXISTING CONC
(G) CONC	EXISTING CONC
(H) CONC	EXISTING CONC
(I) CONC	EXISTING CONC
(J) CONC	EXISTING CONC
(K) CONC	EXISTING CONC
(L) CONC	EXISTING CONC
(M) CONC	EXISTING CONC
(N) CONC	EXISTING CONC
(O) CONC	EXISTING CONC
(P) CONC	EXISTING CONC
(Q) CONC	EXISTING CONC
(R) CONC	EXISTING CONC
(S) CONC	EXISTING CONC
(T) CONC	EXISTING CONC
(U) CONC	EXISTING CONC
(V) CONC	EXISTING CONC
(W) CONC	EXISTING CONC
(X) CONC	EXISTING CONC
(Y) CONC	EXISTING CONC
(Z) CONC	EXISTING CONC

LEGEND

(S) CONC	EXISTING CONC
(C) CONC	PROPOSED CONC
(A) CONC	CONCRETE
(P) CONC	PROPOSED CONC
(D) CONC	EXISTING CONC
(E) CONC	EXISTING CONC
(F) CONC	EXISTING CONC
(G) CONC	EXISTING CONC
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(T) CONC	EXISTING CONC
(U) CONC	EXISTING CONC
(V) CONC	EXISTING CONC
(W) CONC	EXISTING CONC
(X) CONC	EXISTING CONC
(Y) CONC	EXISTING CONC
(Z) CONC	EXISTING CONC



APPROXIMATE EARTHWORK QUANTITIES

ITEM	QTY	FILL (CY)	NET	STILL FILL
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
2. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
3. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
4. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
5. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
6. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
7. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
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9. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
10. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
11. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
12. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
13. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
14. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
15. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
16. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
17. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
18. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
19. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				
20. QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AND ENGINEER.				

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND SURVEY INFORMATION INCLUDED HEREON WAS OBTAINED FROM THE RECORDS OF THE COUNTY OF SANTA CRUZ AND THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THIS INFORMATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

ROAD MAINTENANCE NOTE

ROAD TO BE MAINTAINED UNDER CONSTRUCTION SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL BE MAINTAINED AS SHOWN ON THIS PLAN.

PLANNING SUBMITTAL

THIS PLAN IS SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL.

NEW HOTEL DEVELOPMENT FOR LOTUS MANAGEMENT INC. 270 NORTH AVENUE APTOS, CA APN 042-022-12		
PROJECT NO.	18-089-1	DATE
SCALE	AS SHOWN	MAY 2021
DRAWN	AS SHOWN	BY
CHECKED	AS SHOWN	BY

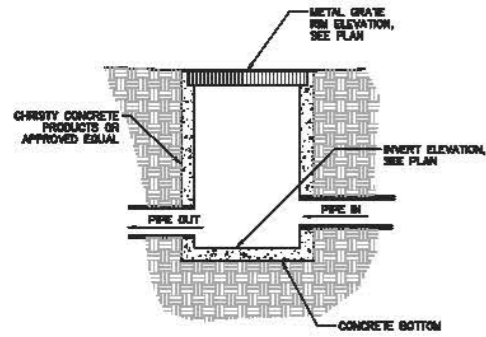
GRADING & DRAINAGE PLAN

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.rjengineering.com

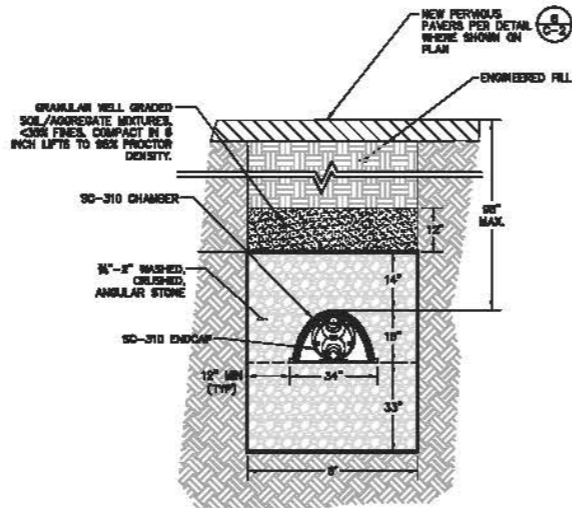
RJ Engineering, Inc.

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
NO. 48679
CIVIL ENGINEER

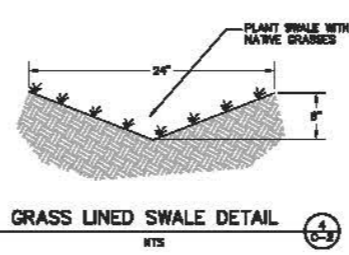
RESPONSE TO COUNTY COMMENTS 10/28/2020
RESPONSE TO COUNTY COMMENTS 3/10/2021
RESPONSE TO COUNTY COMMENTS 5/24/2021
RESPONSE TO COUNTY COMMENTS 7/28/2021



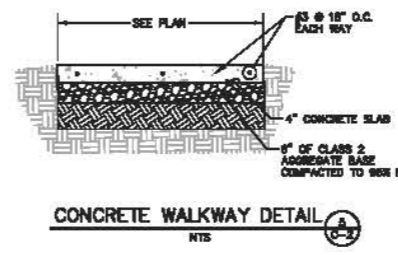
TYPICAL CATCH BASIN DETAIL
NTS



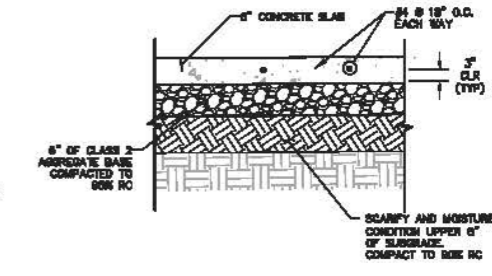
SECTION VIEW
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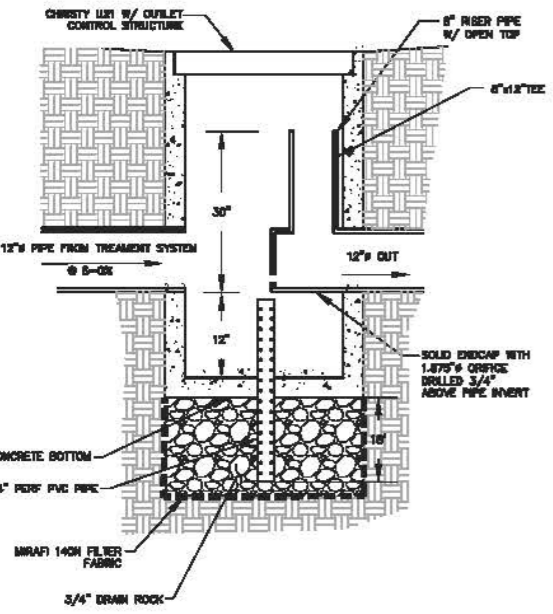
GRASS LINED SWALE DETAIL
NTS



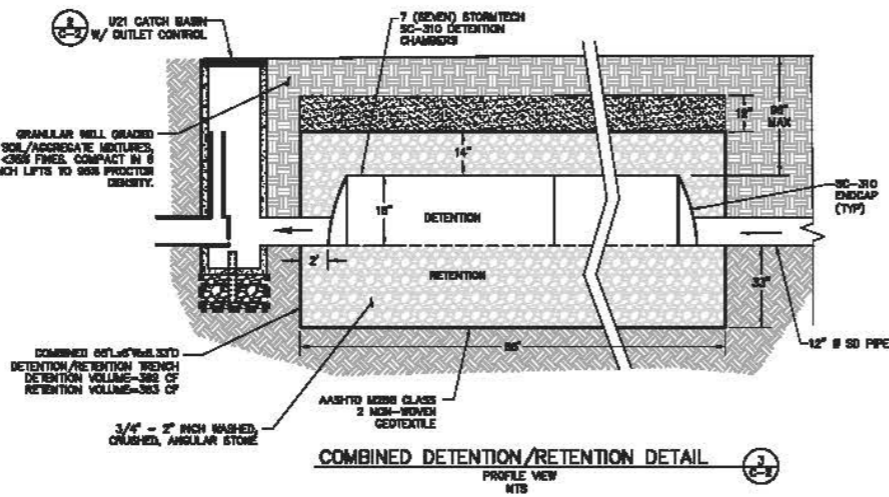
CONCRETE WALKWAY DETAIL
NTS



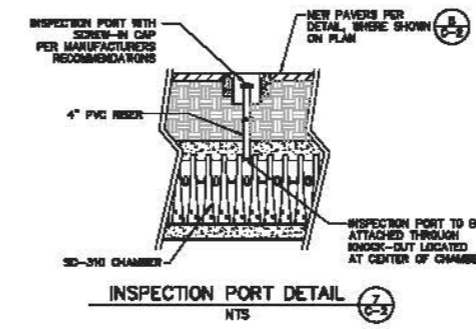
CONCRETE PARKING AREA DETAIL
NTS



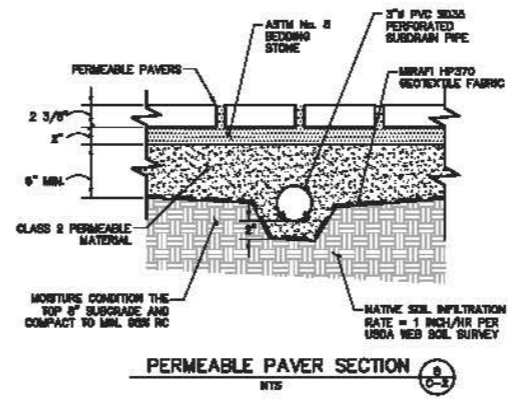
DETENTION OUTLET CONTROL W/ SILT & GREASE TRAP
NTS



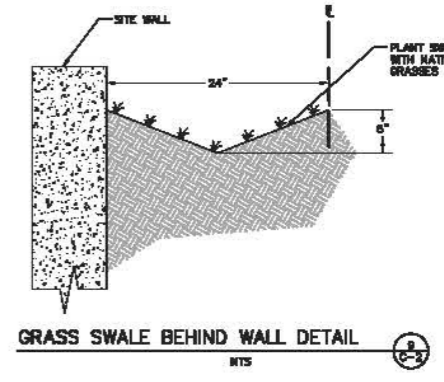
COMBINED DETENTION/RETENTION DETAIL
PROFILE VIEW
NTS



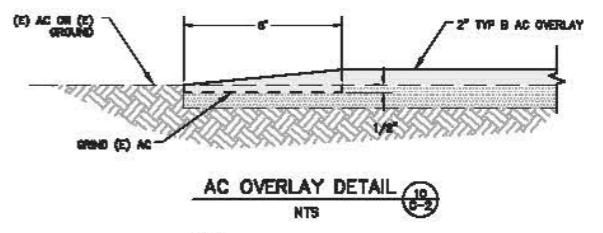
INSPECTION PORT DETAIL
NTS



PERMEABLE PAVER SECTION
NTS



GRASS SWALE BEHIND WALL DETAIL
NTS



AC OVERLAY DETAIL
NTS

STORM DRAIN SYSTEM MAINTENANCE

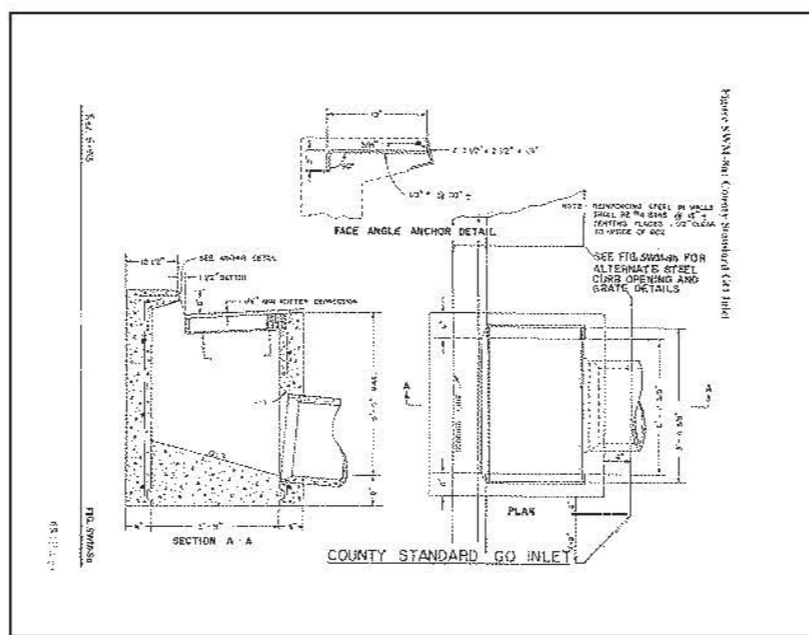
THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

STORM DRAINAGE NOTES

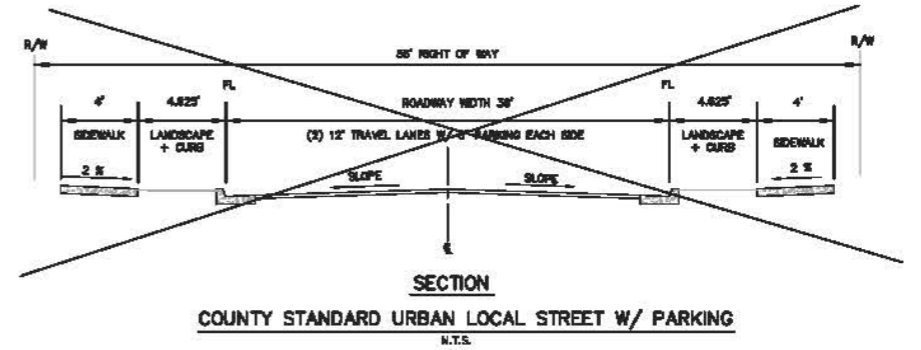
- CULVERTS SHALL BE REINFORCED CONCRETE PIPE (RCP), POLYVINYL CHLORIDE (PVC) SEWER, OR HIGH DENSITY POLYETHYLENE (HDPE) AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SECTION 8 - STORM DRAINAGE FACILITIES OF COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- INLETS SHALL BE CHERRY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
- CONNECT ALL DOWNPOUTS TO PERMETER STORM DRAIN.

POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE

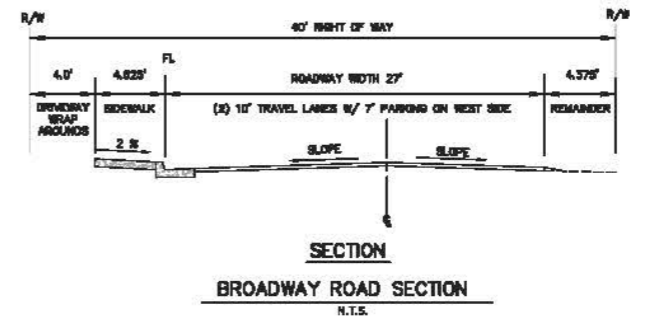
ITEM	INTERVAL	INSPECTION	REPAIR
CATCH BASINS	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS
SWALES	ANNUAL	1. WASHOUTS 2. REPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS
GRAVEL FILLED COMBINED DETENTION/RETENTION SYSTEM	ANNUAL	1. USE INSPECTION PORT PER MFR RECOMMENDATIONS 2. DISPLACEMENT OF GRAVEL 3. SOILS AROUND PERIMETER 4. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE GRAVEL 2. REPAIR DAMAGED SLOPES & FACING 3. REMOVE TRASH & LOOSE DEBRIS
CATCH BASINS W/ OUTLET CONTROL AND SILT & GREASE TRAP	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS 3. SILT AND GREASE BUILD-UP	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS 3. REMOVE SILT AND GREASE



COUNTY STANDARD GO INLET
NTS



COUNTY STANDARD URBAN LOCAL STREET W/ PARKING
NTS



BROADWAY ROAD SECTION
NTS

RESPONSE TO COUNTY COMMENTS 10/28/2020
RESPONSE TO COUNTY COMMENTS 3/10/2021
RESPONSE TO COUNTY COMMENTS 5/24/2021
RESPONSE TO COUNTY COMMENTS 7/26/2021

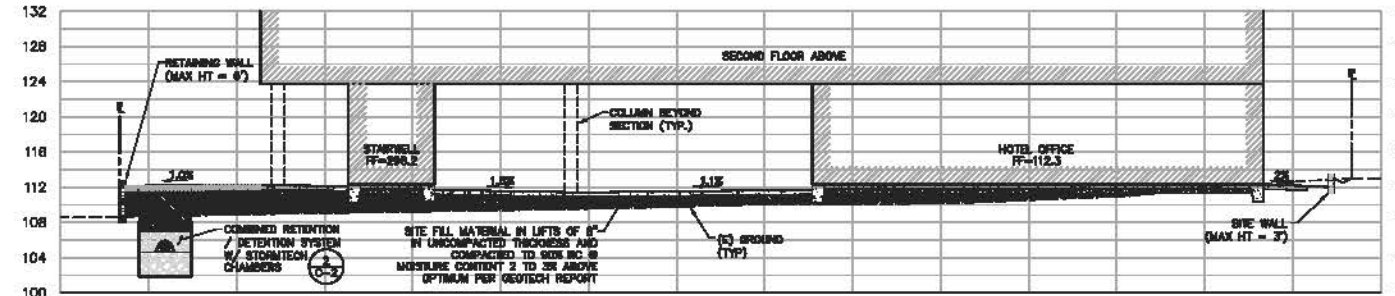


RJ Engineering Inc.
303 POTRERO ST., SUITE 42-202, SANTA CRUZ, CA 95060
831-425-9801 www.rjengineering.com

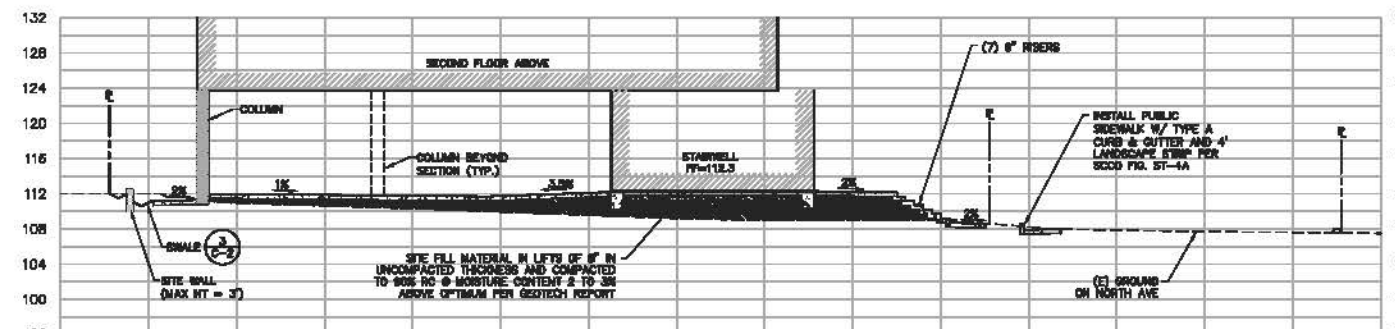
NEW HOTEL DEVELOPMENT
FOR
LOTUS MANAGEMENT INC.
270 NORTH AVENUE
APTOS, CA
APN 042-022-12

project no.
18-093-1
date
MAY 2021
scale
AS SHOWN
dwg name
CIVIL2.DWG

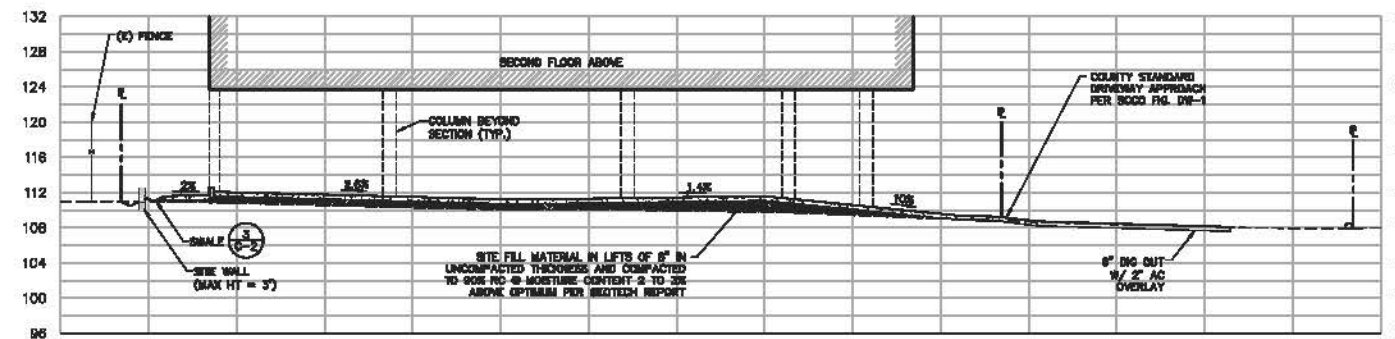
C-2



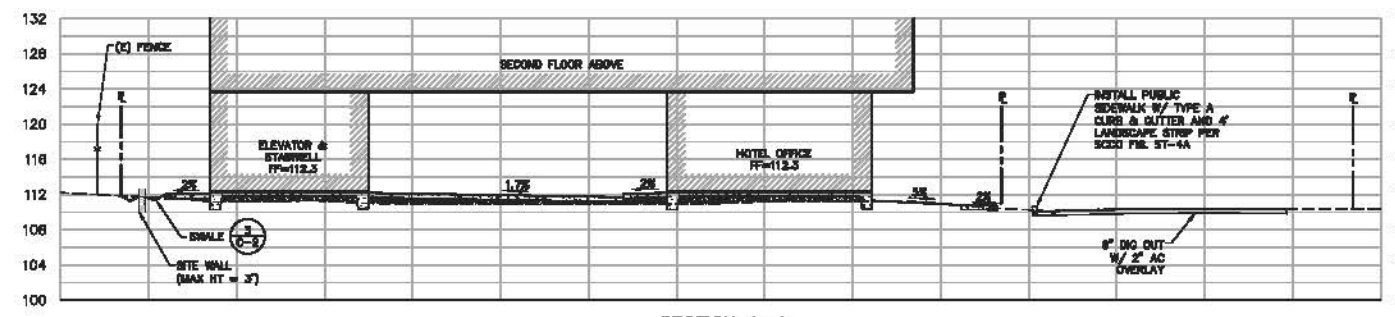
SECTION D-D
SCALE: 1"=10' HORIZONTAL, VERTICAL



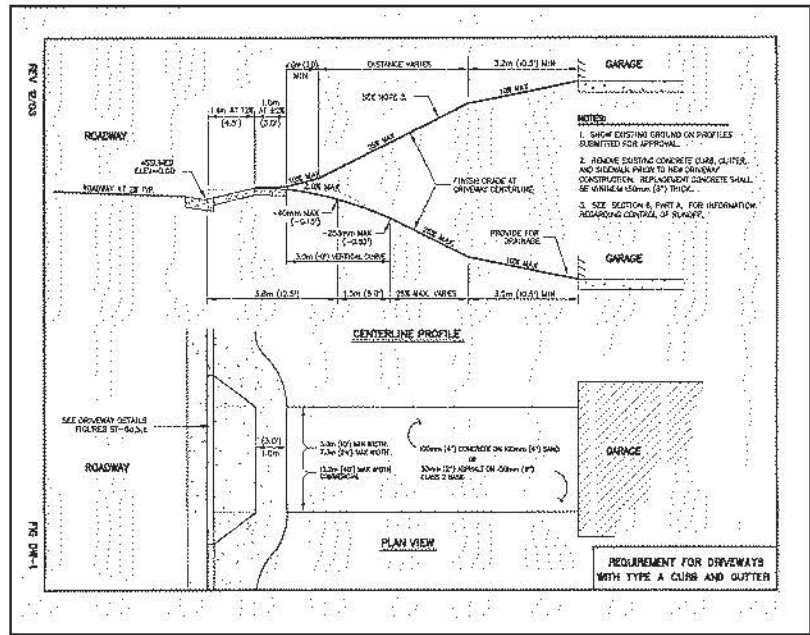
SECTION C-C
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION B-B
SCALE: 1"=10' HORIZONTAL, VERTICAL

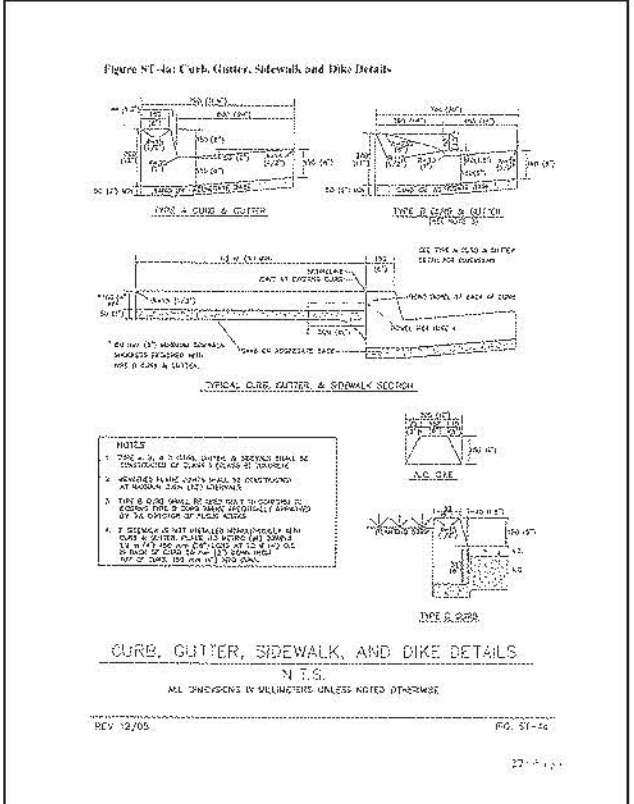


SECTION A-A
SCALE: 1"=10' HORIZONTAL, VERTICAL



EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 95 OF THE CALIFORNIA STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATION BY QUANTUM GEOTECHNICAL INC., DATED SEPTEMBER 10 2018. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT QUANTUM GEOTECHNICAL INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 4" WATER-CONTENTED TO BRING THE SOILS WATER CONTENT TO ABOUT 2 TO 3% ABOVE THE OPTIMUM AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION), SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
7. ENGINEERED FILL SHOULD BE PLACED IN 150mm LIFTS NOT EXCEEDING 6" IN LOOSE THICKNESS, MOISTURE CONTROLLED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE APPROVED REPORTS BY QUANTUM GEOTECHNICAL INC.
9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE APPROVED GEOTECHNICAL INVESTIGATION.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 6% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.



- △ RESPONSE TO COUNTY COMMENTS 10/28/2020
- △ RESPONSE TO COUNTY COMMENTS 3/10/2021
- △ RESPONSE TO COUNTY COMMENTS 5/24/2021
- △ RESPONSE TO COUNTY COMMENTS 7/28/2021



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NEW HOTEL DEVELOPMENT
FOR
LOTUS MANAGEMENT INC.
270 NORTH AVENUE
APTOS, CA
APN 042-022-12

SECTIONS & STANDARD DETAILS

project no.
18-093-1

date
MAY 2021

scale
AS SHOWN

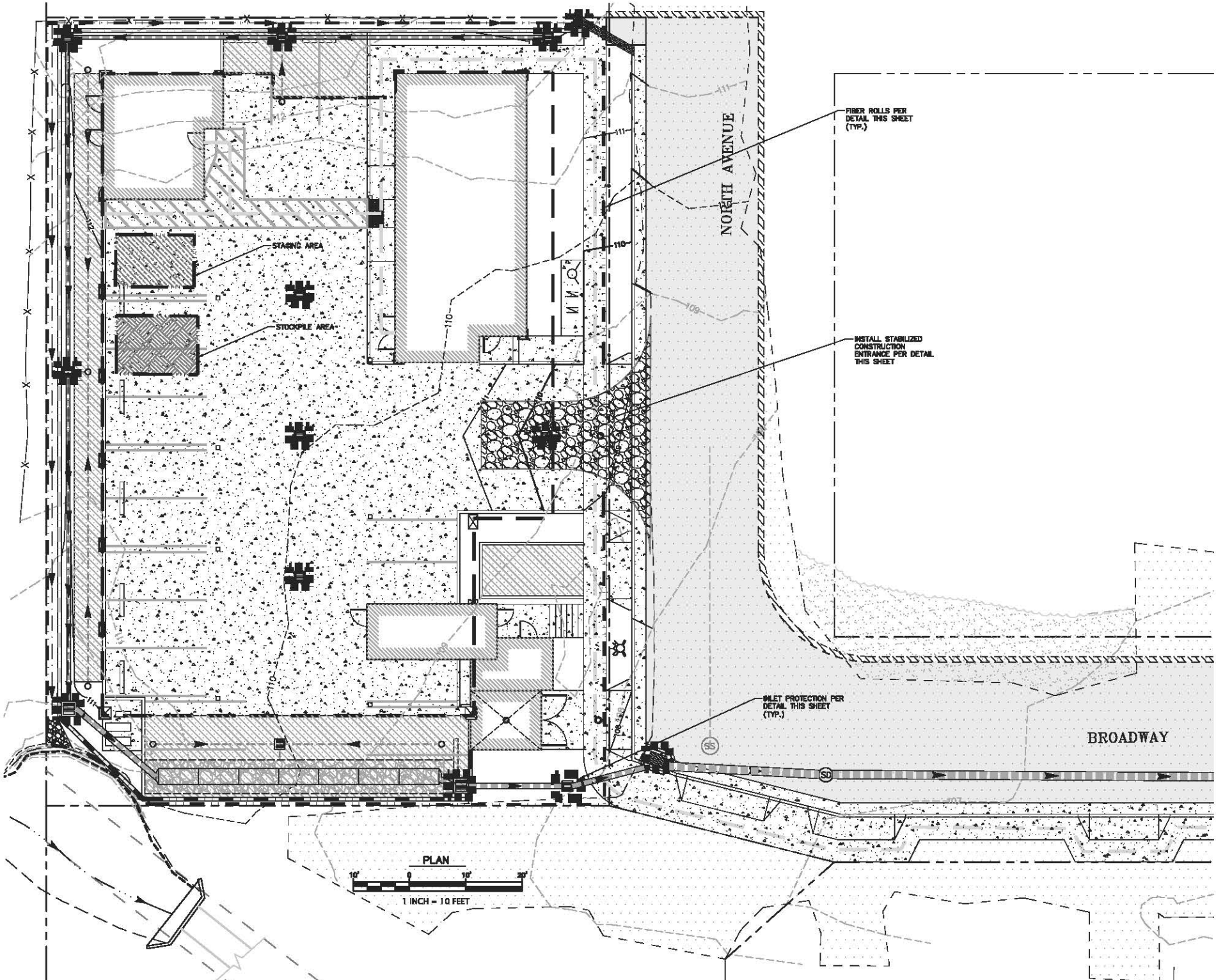
dwg name
CIVIL2.DWG

C-4

TOTAL AREA OF DISTURBANCE = 0.33 ACRES

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS**
1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 2. ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. PILES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- LANDSCAPE MATERIALS**
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.
- VEHICLE STORAGE AND MAINTENANCE**
1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
 3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
- WASTE MANAGEMENT**
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON-SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
 9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



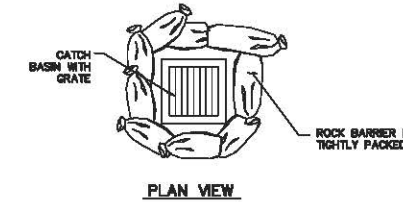
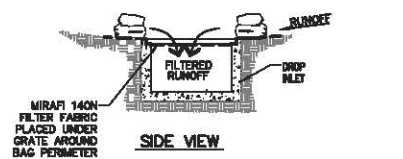
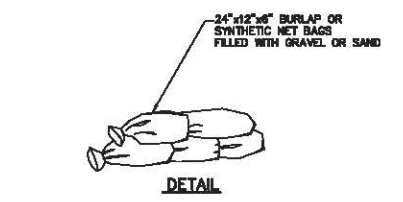
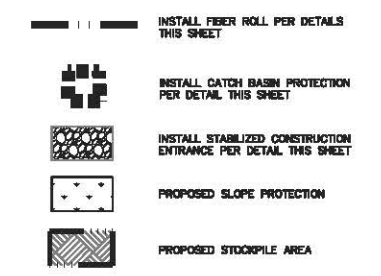
EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
 2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
 3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
 4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
 5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
 6. AMMONIUM PHOSPHATE FERTILIZER, 0-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
 7. SILT BARRIERS SHALL BE PLACED END TO END AND STAGED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.
- ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

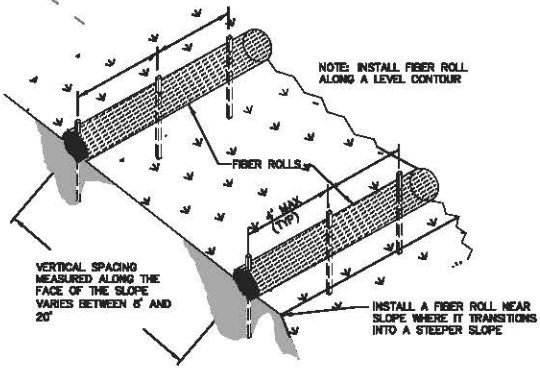
EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES ≤ 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES >20%

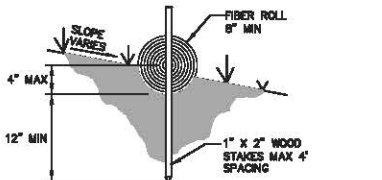
EROSION CONTROL LEGEND



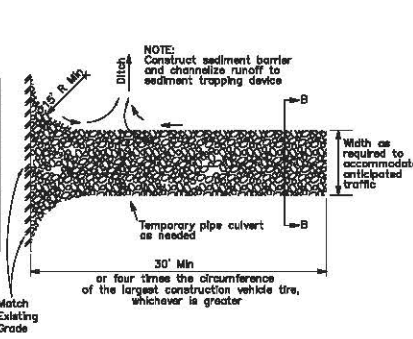
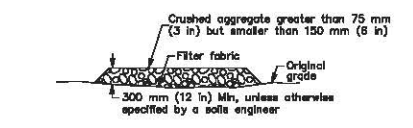
GRAVEL BAG CATCH BASIN PROTECTION
NTS



TYPICAL FIBER ROLL INSTALLATION
NTS



FIBER ROLL DETAIL IN SLOPE AREA
NTS



CONSTRUCTION ENTRANCE DETAIL
NTS

RESPONSE TO COUNTY COMMENTS 10/28/2020
RESPONSE TO COUNTY COMMENTS 3/10/2021
RESPONSE TO COUNTY COMMENTS 5/24/2021
RESPONSE TO COUNTY COMMENTS 7/28/2021

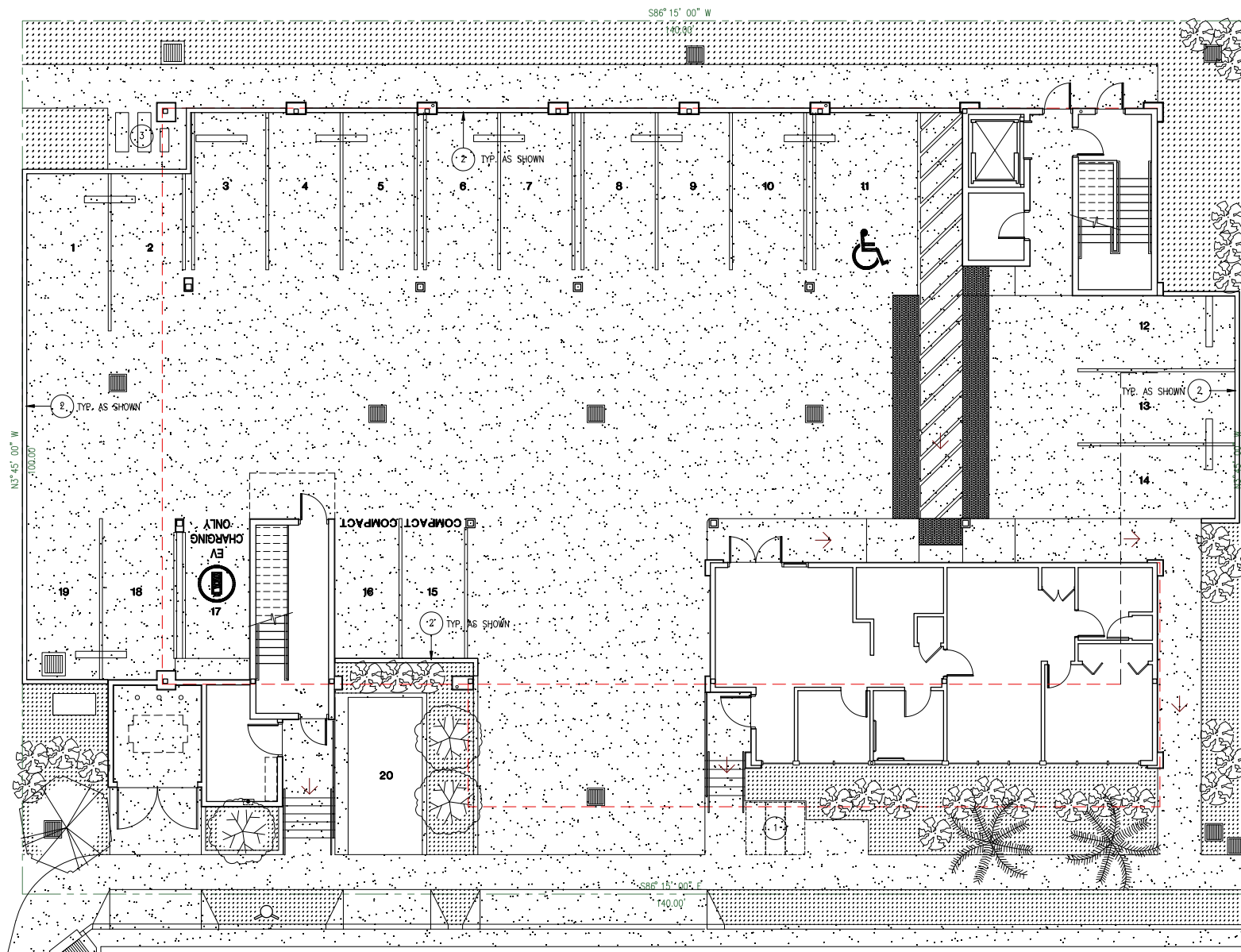


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NEW HOTEL DEVELOPMENT
FOR
LOTUS MANAGEMENT INC.
270 NORTH AVENUE
APTOS, CA
APN 042-022-12

STORMWATER POLLUTION CONTROL PLAN
project no. 18-093-1
date MAY 2021
scale AS SHOWN
dwg name CIVL2.DWG

C-5



LANDSCAPE LEGEND

-  - YELLOW CANDLE WOOD
Senna biapiculata
-  - GINKGO, MAIDENHAIR TREE 'AUTUMN GOLD'
Ginkgo biloba
-  - HEART-LEAVED FLAME PEA
Chorizanthe cordatum
-  - SUNSHINE PROTEA 'SAFARI SUNSET'
Leucadendron
-  - CREEPING LILY TURF
Liriope spicata

IRRIGATION NOTES

- 1) Landscaping shall be done in accordance with the County's Water Efficient Landscape Ordinance (WEL, Ch. 13.13).
- 2) The system is designed to operate with minimum 10 GPH at minimum 50 p.s.i. at the point of connection. If this condition is not met, contact the Landscape Architect for possible redesign. If pressure exceeds 72 psi at point of connection install a Wilkins 600 1" pressure regulator. The static psi at the street is supposed to be:
- 3) Detector tape should be installed with any pressure lines not buried in the same trench with control wires and with one line of any kind under paving in a trench with control wires.
- 4) All valve groupings provide a headed capped pressure line stubout so it is easy to add additional valves later. Run a few extra wires to these locations from the controller.
- 5) Electric controllers should be set to water between 6:00 PM and 12:00 a.m. to avoid watering during times of higher wind or temperature and programmed with repeat cycles to avoid runoff. This is not as important for drip that is not affected by the wind. Set irrigation schedule according to plants' water needs.
- 6) Run 2 extra control wires from the controller to the far end of each leg and to the furthest hose bib, coming up or each valve with some extra wire along the way so valves could be coded if necessary in the future. - does not apply in this case because valves are all in one place. Do not put valves too close to trees.
- 7) Stay 8" to 10" away if possible. Do not put pressure lines under trees. Install line in sparring areas instead of under paving whenever possible.
- 8) The contractor is to include an additional separate coil for an irrigation audit by a certified irrigation auditor just in case it is required. The water audit should include irrigation schedules for when the plants are first starting and needing more water and a schedule for when they are more established and need less water.
- 9) Provide a hydrant summary and a color coded reduced plan showing which areas are irrigated by which valves to put in the controller box.
- 10) Install the Solar Sync weather sensor where it will receive full sun and rain.
- 11) Install a master automatic valve close to the backflow preventer that comes on when it is time to irrigate and turns off other irrigation so that the lines are not always pressurized and a broken valve will not leak all the time. Also install a Hunter Flow Clix and FCT sensor to detect breaks in the system and shut it off until it can be fixed.
- 12) Install sufficient check valves to keep excess water from draining out of the system when it is shut off that would result in wasted water.
- 13) If an irrigation water audit is required the landscape contractor is to include the cost in his bid along with the cost to correct anything the irrigation water auditor requires.
- 14) Notify the Landscape Architect of least a week prior to landscape construction. The city will probably require construction observation.

KEYNOTES

- 1 BICYCLE RACKS FOR (3) BICYCLES. FIELD COORDINATE WITH LANDSCAPING.
 - 2 6 FT. HIGH PARKING DELINEATION WALL.
 - 3 CONCRETE PAD FOR HEAT PUMP OUTDOOR UNITS. SEE NOTE 3 ON SITE PLAN, SHEET A1.1. FIELD COORDINATE WITH LANDSCAPING.
- GENERAL NOTE: COORDINATE WITH CIVIL PLANS.

REVISIONS	DATE

dra PLC
DESIGN RESOURCES ARCHITECTS

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LOTUS MANAGEMENT INC.
270 NORTH AVENUE
APTOS, CALIFORNIA 95003

DRAWN TJM
CHECKED GDE
DATE NOVEMBER 30, 2018
SCALE AS NOTED
JOB NO. 18-132
SHEET

LS1.1

OF SHEETS