



# Ventura County Planning Division Initial Study

## County of Ventura • Resource Management Agency

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### Initial Study for Proposed Dog Kennel Facility

#### Section A – Project Description

1. **Project Case Number:** PL18-0109
2. **Name of Applicant:** Tim Hoke
3. **Project Location and Assessor's Parcel Number:** The project site is located at 5500 Grimes Canyon Road, near the intersection of Grimes Canyon Road and Saint Maarten Drive, near the city of Moorpark, in the unincorporated area of Ventura County. The Tax Assessor's parcel number for the parcel in which the project site would be located is 503-0-060-145. An aerial location map of the project site is included with this Initial Study (Attachment 1).
4. **General Plan Land Use Designation and Zoning Designation of the Project Site:**
  - a. **General Plan Land Use Designation:** Agricultural
  - b. **Zoning Designation:** AE-40 ac (Agricultural Exclusive, 40-acre minimum lot size)
5. **Description of the Environmental Setting:** The proposed project site is located on a knoll cultivated with tree orchards. An existing single-family dwelling and garage are located downhill on the same lot near the project site. Active agricultural operations (mostly orchards) occur on hilly terrain on adjoining lots. A few principal dwellings are located on non-adjoining, agricultural properties surrounding the project site.
6. **Project Description:** The applicant requests a 20-year Conditional Use Permit for a proposed dog kennel facility on a portion of an approximately 21-acre parcel in the Agricultural Exclusive Zone. The proposed facility would be used for breeding, raising, and training of golden retrievers and vizsla dog breeds. A maximum of 210 dogs (adult dogs and puppies) would be on the proposed kennel site at any one time. On-site dog sales would be prohibited. Any business related to the sales of dogs on the proposed project site, including but not limited to the exchange of paperwork, the exchange of money, or the physical transfer of dogs, would be prohibited. The proposed project includes new development of seven kennel buildings, an administration building, private road and driveway, parking spaces, landscaping, stormwater detention basins, and supporting infrastructure. The walls of the administration building and kennel buildings would be comprised of painted metal panels (colonial red color) and unfinished

masonry block (adobe color). The roofs would be painted white to keep the buildings cooler in compliance with Title 24 energy requirements. The buildings would be enclosed by a chain link fence for security, and there would be a locked gate at the driveway entrance. The proposed project would be developed in phases, and grading would result in 10,800 cubic yards (CY) of cut and 10,800 CY of fill (balanced on site).

The proposed project involves the removal of four protected (Heritage) trees. A portion of the existing, on-site avocado orchard would be removed during development of the proposed project. The remaining on-site orchard trees not within the proposed development area would remain as part of the ongoing orchard operation. Existing ornamental, non-native trees would also be removed. An existing caretaker dwelling would be used to train the dogs and would no longer be used as a residence at the start of Phase 1 of development. The caretaker dwelling would be demolished in a later phase of the proposed project. The existing principal dwelling would not be altered or removed by the proposed project. (Building structures are summarized in the table below.)

Water is currently provided to the principal dwelling by Ventura County Waterworks District 1 and the orchard is supplied by an on-site water well. The proposed kennel facility would be served by Waterworks District 1.

Dog kennel liquid waste and grooming wastewater would be disposed of through a proposed onsite pretreatment system and infiltration basin. The proposed project includes the installation of a new onsite wastewater treatment system (OWTS) for the proposed administration building. Existing OWTSs would continue to be used for existing structures.

The proposed project's hours of operation for employees would be daily from 6:00 a.m. to 11:00 p.m., and visitors and customers would be allowed Wednesday through Saturday from 11:00 a.m. to 3:00 p.m. There would be eight employees maximum daily, and five families maximum a day would visit Wednesday through Saturday. Approximately one operational delivery would occur every two days.

<b>Table 1 Buildings</b>	<b>Quantity</b>	<b>Gross floor area of each (square feet)</b>
(E) Principal dwelling	1	5,613
(E) Garage near dwelling	1	800

(R) Caretaker dwelling	1	1,596
(P) Kennel buildings	7	1,890
(P) Administration building with office	1	2,400

(E) Existing

(R) To be removed

(P) Proposed

7. **List of Responsible and Trustee Agencies:** The Los Angeles Regional Water Quality Control Board is a Responsible Agency. There are no Trustee Agencies.

8. **Methodology for Evaluating Cumulative Impacts:** County staff utilized a combination of the “list approach” methodology and “plan approach” methodology in evaluating the combination of the project’s impacts with related impacts from other projects to determine whether such impacts are cumulatively considerable. In utilizing the list approach, staff prepared the following list of pending and recently-approved Ventura County Planning-Division projects that are located within a four-mile radius of the proposed project and that may have similar effects as those of the proposed project (Attachment 3):

**Table 1- Pending and Recently Approved Projects  
Within a Four-Mile Radius as of October, 2021**

Permit No.	Description	Distance from Project	Status
PL21-0060	Requested Minor Modification of a CUP to increase the number of on-site wedding events from 60 to 90 and to renew the CUP for an additional 10 years.	Approx. 1.5 miles. Roads, structures, and roads intervene.	Pending
PL20-0090	Requested Permit Adjustment of a CUP to approve and permit structures that were constructed without permits for an existing dog kennel operation.	Approx. 2 miles. SR 118, numerous structures, and variable topography intervene.	Approved
PL21-0091	Requested Major Modification of a CUP to expand a paintball and air-soft sports center for an additional 10 years.	Approx. 3 miles. Numerous structures and variable topography intervene.	Pending

Permit No.	Description	Distance from Project	Status
PL21-0033	Requested Minor Modification of a CUP to authorize the continued operation of an existing 100-dog kennel for an additional five years. Project would be terminated if proposed project if approved and full build out occurs.	Approx. 3.5 miles. Numerous structures and variable topography intervene.	Pending
PL15-0014	Requested Major Modification of a Development Plan permit to authorize for the continued use, operation and expansion of a wholesale lumber yard. A General Plan amendment and zone change are also requested to allow for the continued operation and expansion.	Approx. 4 miles. SR 118 and several structures intervene.	Pending
PL20-0028*	Approval of Minor Modification of a CUP to authorize the continuation of on-site horse events, equestrian clinics, and training and dressage shows (a maximum of 12 total days per year) and for the continued use of existing accessory structures related to animal keeping that exceed 20,000 sq. ft.	Approx. 3.5 miles. Several structures and variable topography intervene.	Approved
PL19-0125*	Approval of a Minor Modification of a CUP to authorize the continued use and expansion of a temporary outdoor event (festivals, animal shows, and similar events) venue limited to 90 days per year.	Approx. 3.5 miles. SR 118, numerous structures, and variable topography intervene.	Approved

\*Projects not shown on map (Attachment 3) yet were recently approved and would have similar effects.

For applicable environmental issues in Section B (below), Planning staff evaluated the combined effects of the proposed project and of the projects identified in Table 1 (above).

The plan approach relies on the Program Environmental Impact Report (EIR) for the Ventura County 2040 General Plan, which was certified in September of 2020. As described throughout this Initial Study, the proposed project would be consistent with the County's General Plan. As such, the proposed development has already been reviewed for potential cumulative impacts at a programmatic level. The General Plan Update EIR is hereby incorporated by reference and can be reviewed using this link: <https://vcrma.org/docs/images/pdf/planning/plans/VCGPU-FEIR.pdf>

## Section B – Initial Study Checklist and Discussion of Responses<sup>1</sup>

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>RESOURCES:</b>								
<b>1. Air Quality (VCAPCD)</b>								
<b>Would the proposed project:</b>								
a) Exceed any of the thresholds set forth in the air quality assessment guidelines as adopted and periodically updated by the Ventura County Air Pollution Control District (VCAPCD), or be inconsistent with the Air Quality Management Plan?		x				x		
b) Be consistent with the applicable General Plan Goals and Policies for Item 1 of the Initial Study Assessment Guidelines?		x				x		

### Impact Discussion:

1a. and 1b. Regional air quality impacts include estimating ozone emissions in the ambient air from a specific project. The Air Pollution Control District (APCD) determines regional significant impacts from the ozone precursors reactive organic compounds (ROG) and oxides of nitrogen (NOx), as described in the Ventura County Air Quality Assessment Guidelines (2003). Based on information provided by the applicant, regional air quality impacts in the Moorpark growth area would be below the 25 lbs./day significance threshold for reactive organic compounds (ROG) and oxides of nitrogen NOx. Because the project location has an existing caretaker dwelling and orchard operation, baseline conditions were established, and mobile source emissions were calculated using the difference between proposed and existing trip information described in the “Hoke Kennel Project Description” document. Determination was based on information provided by the applicant and the CalEEMod air emissions modeling program (version 2016.3.2) using a user defined commercial land use which most accurately reflects the area and energy demands of a kennel facility. The model merged all of the net square footage of proposed buildings (23,389 sq. ft. site plan sheet A 0.00

<sup>1</sup> The threshold criteria in this Initial Study are derived from the *Ventura County Initial Study Assessment Guidelines* (April 26, 2011). For additional information on the threshold criteria (e.g., definitions of issues and technical terms, and the methodology for analyzing each impact), please see the *Ventura County Initial Study Assessment Guidelines*.

“Net New Building Area”), as mobile emissions would have been multiplied by the number of buildings (vehicle trips per each building versus vehicle trips per entire facility). The model section for energy sources was also adjusted; Title 24 and non Title 24 natural gas energy standards (kBTU/yr) were multiplied by the number of proposed buildings to operate with restrooms, a kitchen area, a grooming area, and/or laundry room. The proposed operational emissions were estimated at .75 lbs./day ROG and .18 lbs./day NOx (Attachment 4). Therefore, the project would have a less than significant impact on regional air quality. (Note: Construction emissions were also calculated using information provided by Mr. Dave Burke, Architect, Burke Designs, via telephone conversation on 10/02/18. The estimates are included in the CalEEMod report.)

In addition, the proposed project must also address consistency with the APCD Air Quality Management Plan (AQMP), if estimated operational emissions exceed 2 lbs./day or greater for ROG or NOx, as described in APCD’s Air Quality Assessment Guidelines (2003, Section 4.2 Procedures for Determining Consistency with the AQMP). The proposed project’s operational emissions are below 2 lbs./day ROG and NOx, and so there would be consistency with the 2016 AQMP and, therefore, have a less than significant impact.

Local air quality impacts may involve a qualitative analysis for project-generated emissions of dust, odors, carbon monoxide (CO), and toxics (TAC), if applicable. Based on information provided by the applicant, the subject project would generate less than significant local air quality impacts. A brief discussion is provided below.

### **Carbon Monoxide**

Some localized areas, such as traffic-congested intersections, can have elevated levels of CO concentrations (CO hotspots). CO hotspots are defined as locations where ambient CO concentrations exceed the State Ambient Air Quality Standards (20 ppm for 1-hr, 9 ppm for 8-hr). The Federal Ambient Air Quality Standard for CO is 35 ppm for 1-hr, 9 ppm for 8-hr. In Ventura County, ambient air monitoring for CO stopped in 2004, with the approval of the U.S. Environmental Protection Agency- Region 9, because CO background concentrations in El Rio, Simi Valley, and Ojai were much lower than the State Ambient Air Quality Standard (highest recorded CO background concentration in Ventura County was in Simi Valley at 6.2 ppm for 1-hr, 1.6 ppm for 8-hr (*Guidelines, Table 6-2*). Therefore, no CO hotspots are expected to occur in the Moorpark area where the proposed project is located, and additional CO modeling analysis is not warranted. In addition, with over 80% of the CO in urban areas emitted by motor vehicles, and with stricter, cleaner emission standards to the mobile fleet, CO ambient concentrations should remain at or lower than the most recent CO monitoring data available for Ventura County.

### **Toxic Air Contaminants**

Pursuant to APCD staff's conversation with the project architect (Mr. Dave Burke of Burke Designs), the "demolition" noted in the project description and site plans refers to the removal of the caretaker dwelling (mobile home) via truck hauling. The dwelling would not be demolished on-site. Therefore, no asbestos-related toxic air contaminants (TACs) would be generated. If the mobile home and/or any other structures/buildings are demolished on-site, compliance with APCD Rule 62.7 (Asbestos - Demolition and Renovation) would be required. The District recommends a standard condition which would be required in the Conditional Use Permit to minimize possible exposure to asbestos from on-site demolition activities:

The project is not expected to generate TACs in amounts as to expose the public to substantial pollutant concentrations. In addition, there are no adjacent land uses which include sensitive receptors (school, day cares, hospitals, convalescence facilities and residential communities). Therefore, the project-impact from air pollutant concentrations would be less than significant.

### **Dust**

Based on information in the project application, fugitive dust may be generated from the proposed grading and construction phases. Because construction-related emissions are temporary and not counted towards the emission significance thresholds, no mitigation measures are required. However, the APCD recommends standard conditions which would be required in the Conditional Use Permit to help minimize fugitive dust, particulate matter and creation of ozone precursor emissions that may result from potential grading and/or construction activities.

### **Odors**

The Ventura County Air Quality Assessment Guidelines (2003, Table 6-3) lists project screening distances for odorous land uses that would require a more thorough evaluation if the distance between the odor source and sensitive receptor is closer than one mile. The land use types listed include wastewater treatment facilities, composting facilities, fiberglass operations, and asphalt batch plants. The list is not all-inclusive; however, the District uses the screening distance of 1-2 miles for projects not found in Table 6-3 in evaluating odors. The proposed project may generate objectionable odors, such as dog waste, and there are several residential single-family homes within one mile of the project. However, the residences are located in all directions away from the project and are not clustered in the direction of prevailing winds (east of the project) as to cause a nuisance or odor impact. In addition, the project Manure Management Program (MMP) plan proposes dog waste to be collected and removed daily and dog runs to be cleaned on an as-needed basis. Dog waste would also be stored in closed bins according to the MMP. Compliance with the MMP would assure any waste-

generated odors are minimized to the greatest extent feasible and odor impacts would be less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2A. Water Resources – Groundwater Quantity (WPD)</b>								
<b>Would the proposed project:</b>								
1) Directly or indirectly decrease, either individually or cumulatively, the net quantity of groundwater in a groundwater basin that is overdrafted or create an overdrafted groundwater basin?		x				x		
2) In groundwater basins that are not overdrafted, or are not in hydrologic continuity with an overdrafted basin, result in net groundwater extraction that would individually or cumulatively cause overdrafted basin(s)?		x				x		
3) In areas where the groundwater basin and/or hydrologic unit condition is not well known or documented and there is evidence of overdraft based upon declining water levels in a well or wells, propose any net increase in groundwater extraction from that groundwater basin and/or hydrologic unit?	x				x			
4) Regardless of items 1-3 above, result in 1.0 acre-feet, or less, of net annual increase in groundwater extraction?		x				x		
5) Be consistent with the applicable General Plan Goals and Policies for Item 2A of the Initial Study Assessment Guidelines		x				x		

**Impact Discussion:**

2A-1 and 2A-2. The proposed project overlies the Las Posas Valley Groundwater Basin. The basin is part of a groundwater sustainability agency managed by the Fox Canyon Groundwater Management Agency (FCGMA). Groundwater extractions are regulated by FCGMA.

Though the existing orchard is not part of the CUP, part of the orchard would be removed for the proposed project reducing the current amount of groundwater extracted at the project site for irrigation by 7 acre feet per year (AFY) at buildout (42 AFY down to 35 AFY). Ventura County Waterworks District No. 1 (VCWWD 1) currently serves domestic water to the project site. Current domestic water use at the site, per the applicant, is approximately 0.6 AFY. Water for the proposed project would be delivered by VCWWD 1 which uses a combination of groundwater and imported water delivered to VCWWD 1 by Calleguas Municipal Water District (CMWD). Water use values from the applicant indicate that the proposed project would use approximately 13.6 AFY of water from VCWWD 1. The ratio of groundwater versus imported water as shown in the VCWWD 1's 2015 Urban Water Management Plan (UWMP) is approximately 81% imported water purchased from CMWD and 19% groundwater pumped by VCWWD 1. Using this ratio, the 13.6 AFY for the proposed project from VCWWD 1 would be 11.0 AFY water purchased from CMWD and 2.6 AFY groundwater pumped by the VCWWD 1. Total groundwater usage at the project site would then be 37.6 AFY at buildout. This would be a net decrease in groundwater usage in the groundwater basin of 4.4 AFY provided water for the project continues to be provided by VCWWD 1. The proposed project could have a potentially significant impact on the underlying groundwater basin if the project were to rely only on groundwater.

Because of the net decrease in groundwater use and the applied condition to require the water supply to be majority imported water, the proposed project would not directly or indirectly decrease, either individually or cumulatively, the net quantity of groundwater in a groundwater basin that is overdrafted or create an overdrafted groundwater basin and is considered to be less than significant for Groundwater Quantity. In addition, because of the net decrease in groundwater use, the proposed project would not result in net groundwater extraction that would individually or cumulatively cause overdrafted basins and is considered to be less than significant for Groundwater Quantity.

2A-3. This question is not applicable because the proposed project overlies the Las Posas Valley groundwater basin a well known and documented groundwater basin.

2A-4. The proposed project with the applied condition would result in a net decrease in groundwater extraction for the underlying groundwater basin and is considered less than significant for groundwater quantity.

2A-5. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 2A of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2B. Water Resources - Groundwater Quality (WPD)</b>								
<b>Would the proposed project:</b>								
1) Individually or cumulatively degrade the quality of groundwater and cause groundwater to exceed groundwater quality objectives set by the Basin Plan?		x				x		
2) Cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan?		x				x		
3) Propose the use of groundwater in any capacity and be located within two miles of the boundary of a former or current test site for rocket engines?	x				x			
4) Be consistent with the applicable General Plan Goals and Policies for Item 2B of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

2B-1. The proposed project includes a septic tank, an animal liquid waste disposal system, and animal manure which can pose groundwater-quality concerns. The animal liquid waste disposal system and the proposed septic tank would be regulated by the Los Angeles Regional Water Quality Control Board to ensure that the Basin Plan Objectives are not exceeded. The applicant’s consultant provided data for a similar system showing that the nitrate-nitrogen (NO3-N) concentration of the effluent from the system would be at 0.7 mg/l, significantly less than the average NO3-N concentration of 9.56 mg/l in samples collected from the nearest shallow groundwater well

02N20W01Q01S for years 2010-2017. A Manure Management Plan (MMP) was submitted showing that animal solid waste would be collected daily, stored in closed bins, then hauled offsite to an authorized disposal site. A properly designed, installed, and maintained septic system along with the animal liquid waste disposal system and the implementation of the MMP would reduce the potential impacts to groundwater quality to less than significant such that the proposed project would not individually or cumulatively degrade the quality of groundwater and cause groundwater to exceed groundwater quality objectives set by the Basin Plan.

2B-2. The proposed project includes a septic tank, an animal liquid waste disposal system, and animal manure which can pose groundwater-quality concerns. The animal liquid waste disposal system and the proposed septic tank would be regulated by the Los Angeles Regional Water Quality Control Board to ensure that the Basin Plan Objectives are not exceeded. The applicant's consultant provided data for a similar system showing that the NO3-N concentration of the effluent from the system would be at 0.7 mg/l, significantly less than the average NO3-N concentration of 9.56 mg/l in samples collected from the nearest shallow groundwater well 02N20W01Q01S for years 2010-2017. A MMP was submitted showing that animal solid waste would be collected daily, stored in closed bins, then hauled offsite to an authorized disposal site.

A properly designed, installed, and maintained septic system along with the animal liquid waste disposal system and the implementation of the MMP would reduce the potential impacts to groundwater quality to less than significant such that the proposed project would not cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan.

2B-3. The proposed project would not be located within two miles of the boundary of a former or current test site for rocket engines.

2B-4. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 2B of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2C. Water Resources - Surface Water Quantity (WPD)</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>Would the proposed project:</b>								
1) Increase surface water consumptive use (demand), either individually or cumulatively, in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable?	x				x			
2) Increase surface water consumptive use (demand) including but not limited to diversion or dewatering downstream reaches, either individually or cumulatively, resulting in an adverse impact to one or more of the beneficial uses listed in the Basin Plan?	x				x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 2C of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

2C-1. The proposed project does not include the use of surface water from a fully appropriated stream reach as designated by the State Water Resources Control Board or where unappropriated surface water is unavailable and is considered no impact for Surface Water Quantity.

2C-2. The proposed project does not include an increase in surface water consumptive use (demand) including but not limited to diversion or dewatering downstream reaches, either individually or cumulatively, resulting in an adverse impact to one or more of the beneficial uses listed in the Basin Plan and is considered no impact for Surface Water Quantity.

2C-3. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 2C of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>2D. Water Resources - Surface Water Quality (WPD)</b>								
<b>Would the proposed project:</b>								
1) Individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives as contained in Chapter 3 of the three Basin Plans?			x				x	
2) Directly or indirectly cause storm water quality to exceed water quality objectives or standards in the applicable MS4 Permit or any other NPDES Permits?		x			x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 2D of the Initial Study Assessment Guidelines?		x			x			

**Impact Discussion:**

2D-1. The project site is located east of the South Grimes Canyon Wash which drains into Calleguas Creek. The segment of Calleguas Creek downstream of the project site is Calleguas Creek, Reach 6. Calleguas Creek, Reach 6 is included on the 2010 Clean Water Act section 303(d) list of impaired waterbodies due to exceedances of water quality objectives for ammonia, chlordane, chloride, chlorpyrifos, DDT (sediment), diazinon, dieldrin, fecal coliform, nitrate and nitrite, sedimentation/siltation, sulfates, total dissolved solids and toxicity. Runoff from the proposed 105,243 square feet of new impervious surface has the potential to contribute to the exceedances of water quality objectives in the downstream impaired segments of Calleguas Creek, Reach 6. Increased new development and urbanization is typically addressed through the Part 4.E., "Planning and Land Development Program" of the Ventura Countywide NPDES Municipal Stormwater Permit No. CAS004002, but the proposed project is not subject to these requirements. Overall, the future development and increased impervious surface area has an individual and cumulative potential to exceed the threshold for significance related to the water quality objectives of the Los Angeles Region Basin Plan and is expected to have Potentially Significant Impact (PSM) on surface water quality objectives due to impervious surfaces proposed as part of the kennel facility. Incorporation of the following CSP-M1 mitigation measure would ensure individual and

cumulative impacts to existing impaired downstream waterbodies and water quality objectives would be avoided.

#### Mitigation Measure CSP-M1

Purpose: To ensure runoff from new impervious surfaces does not contribute pollutants or degrade water quality of downstream surface waters resulting in further exceedances of water quality objectives contained in the Los Angeles Region Basin Plan.

Requirement: The Permittee shall include post-construction stormwater best management practices (BMPs) to retain/treat the new impervious surface runoff, a Maintenance Plan and annual verification of ongoing maintenance.

Documentation: The Permittee shall submit the following items to the Watershed Protection District – County Stormwater Program Section (CSP) for review and approval:

a. A complete site plan prepared and stamped by a California licensed civil engineer or land surveyor that accurately delineates the location of the proposed development, existing and proposed impervious surfaces, storm drain system elements, general drainage patterns, and proposed site-specific Post-Construction Stormwater Management Plan (PCSMP). A drawing detail prepared and stamped by a California licensed civil engineer or architect verifying that the installation of the PCSMP would meet performance criteria defined in Section III of the Part 4.E of the Permit and the 2011 Technical Guidance Manual (TGM), to the maximum extent practicable.

b. Maintenance Plan (Exhibit “C” of the County’s “Covenant for Maintenance of Post-Construction Stormwater Management Control System” form available at <http://onestoppermit.ventura.org>) for the detention basins shall be prepared in accordance with Section 7 and Appendix I of the TGM. The plan shall include but not limited to the following:

- 1) the location of each device;
- 2) the maintenance processes and procedures necessary to provide for continued operation and optimum performance;
- 3) a timeline for all maintenance activities; and
- 4) any technical information that may be applicable to ensure the proper functionality of this device.

c. Maintenance Agreement (County’s “Covenant for Maintenance of Post-Construction Stormwater Management Control System” form is available at <http://onestoppermit.ventura.org>) signed by the Property Owner including a signed statement accepting responsibility for maintenance of the detention basins. The statement must include written verification that the detention basins would be properly maintained. At a minimum, this statement shall include the following:

- 1) written conditions in the sales or lease agreement, which require the Property Owner or tenant to assume responsibility for PCSMP maintenance and annual maintenance inspection;
- 2) written text in project covenants, or
- 3) any other legally enforceable agreement or mechanism that assigns PCSMP maintenance responsibility.

d. Completed and signed Annual Maintenance Verification Report (Exhibit “D” of the County’s “Covenant for Maintenance of Post-Construction Stormwater Management Control System” form available under the County Stormwater Program Section tab at <http://onestoppermit.ventura.org>).

Timing: The above listed items (a, b and c) shall be submitted to the CSP for review and approval prior to issuance of approval for Zoning Clearance for Construction. In addition, the Annual Maintenance Verification Report (d) shall be submitted to CSP annually prior to September 15th after signing off for occupancy and issuing the Certificate of Occupancy.

Monitoring and Reporting: CSP staff would review the submitted materials to ensure the project does not contribute to exceedances of water quality objectives in downstream receiving waters. Maintenance Plan shall be kept on-site for periodic review by CSP staff.

2D-2. This project site is located at 5500 Grimes Canyon Road, Moorpark (APN 503-0-060-145) within unincorporated Ventura County. The proposed dog kennel facility would be completed in 5 phases and includes the construction of an administration building, conversion of an existing garage into a sales office, demolition of the existing caretaker’s unit, construction of seven kennel buildings, 6,000 cubic yards of grading and associated site work. The project would result in approximately 105,243 square feet of impervious area and includes construction on slopes that exceed 20%. Water to the site would be provided by County Waterworks District 1. Wastewater discharge is proposed to be provided by an onsite septic system. In accordance with Ventura Countywide Municipal Stormwater NPDES Permit CAS004002, “Development Construction Program” Subpart 4.F, the applicant would be required to include Best Management Practices (BMPs) designed to ensure compliance and implementation of an effective combination of erosion and sediment control measures for construction activities exceeding 1 acre of disturbed area and that occur on a High Risk Site disturbing natural slopes greater than 20%, to protect surface water quality during any soil disturbance activities (Tables 6, 7 and 9 in Subpart 4.F, SW-HR and SW-2 Forms). Additionally, the project is subject to coverage under the NPDES General Construction Permit (No. CAS000002). As such, neither the individual project nor the cumulative threshold for significance would be exceeded and the project is expected to have a less than significant impact related to water quality objectives or standards in the applicable

MS4 Permit (Ventura Countywide Municipal Stormwater NPDES Permit CAS004002) or any other NPDES Permits.

2D-3. The proposed project is consistent with the applicable General Plan Goals and Policies for ISAG Item 2D.

**Mitigation/Residual Impact(s)**

After implementation of Mitigation Measure CSP-M1 (above), impacts to surface water quality objectives would be less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>3A. Mineral Resources – Aggregate (Plng.)</b>								
<b>Would the proposed project:</b>								
1) Be located on or immediately adjacent to land zoned Mineral Resource Protection (MRP) overlay zone, or adjacent to a principal access road for a site that is the subject of an existing aggregate Conditional Use Permit (CUP), and have the potential to hamper or preclude extraction of or access to the aggregate resources?	x				x			
2) Have a cumulative impact on aggregate resources if, when considered with other pending and recently approved projects in the area, the project hampers or precludes extraction or access to identified resources?					x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 3A of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

3A-1 and 3A-2. According to the RMA GIS Viewer, the proposed project site is not located within or immediately adjacent to land zone Mineral Resource Protection Overlay Zone, and is not located within or adjacent to the boundary of a mining permit.

Therefore, the proposed project would have no project-specific or cumulative impact on the extraction of or access to mineral resources.

3A-3. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 3A of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>3B. Mineral Resources – Petroleum (PIng.)</b>								
<b>Would the proposed project:</b>								
1) Be located on or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum CUP, and have the potential to hamper or preclude access to petroleum resources?		x				x		
2) Be consistent with the applicable General Plan Goals and Policies for Item 3B of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

3B-1. The RMA GIS Viewer indicates that no oil fields are located within the proposed project site or subject property. The Moorpark West Oil Field is located northeast of and not immediately adjacent to the subject property. Oil CUP-3541 is active in the area. Saint Maarten Drive (a private road) and Grimes Canyon Road (a public road) currently provide access to the subject property and neighboring agricultural properties, and the applicant enjoys access rights to Saint Maarten Drive. The proposed increase in traffic from the proposed project is considered less than significant by the Ventura County Public Works Agency—Roads & Transportation Division. Therefore, the proposed project would not hamper or preclude access to petroleum resources.

3B-2. The proposed project would be consistent with the applicable 2040 General Plan Goals and Policies for Item 3B of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4. Biological Resources</b>								
<b>4A. Species</b>								
<b>Would the proposed project, directly or indirectly:</b>								
1) Impact one or more plant species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?		X				X		
2) Impact one or more animal species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?		X				X		

**Impact Discussion:**

4A-1. The parcel is heavily altered from natural conditions, due to intense agricultural practices. Therefore, the parcel does not support natural vegetation and in turn, there is limited to no potential to support protected biological resources on site. The existing trees and shrubs are likely non-native and/or ornamental. The applicant's landscape and screening plan would not include any invasive plant species or watch list plants as inventoried by the California Invasive Plant Council. The landscape plan would include native species. While the applicant would remove four non-native protected (Heritage) trees in order to accommodate the requested development, the applicant would provide appropriate tree offsets (replacement tree(s) and/or a monetary deposit into the County's Tree Mitigation Fund) in accordance with the County's regulatory tree protection requirements to compensate for the removal of the Heritage trees. Therefore, impacts to plant species are considered to be less than significant.

4A-2. The existing non-native and/or ornamental trees and shrubs may provide a limited potential for nesting birds. The nearest known record for protected species is more than a mile away from the parcel. The Planning Division would impose the

standard Avoidance of Nesting Birds condition to protect any nesting birds that could be impacted during the development phase of the project. Therefore, impacts to animal species are considered to be less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4B. Ecological Communities - Sensitive Plant Communities</b>								
<b>Would the proposed project:</b>								
1) Temporarily or permanently remove sensitive plant communities through construction, grading, clearing, or other activities?		x				x		
2) Result in indirect impacts from project operation at levels that would degrade the health of a sensitive plant community?		x				x		

**Impact Discussion:**

4B-1. and 4B-2. The parcel is heavily altered from natural conditions due to intense agricultural practices. Therefore, the parcel does not support natural vegetation and in turn, there is limited to no potential to support protected biological resources on site. The existing trees and shrubs are non-native and/or ornamental.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4C. Ecological Communities - Waters and Wetlands</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Cause any of the following activities within waters or wetlands: removal of vegetation; grading; obstruction or diversion of water flow; change in velocity, siltation, volume of flow, or runoff rate; placement of fill; placement of structures; construction of a road crossing; placement of culverts or other underground piping; or any disturbance of the substratum?		x				x		
2) Result in disruptions to wetland or riparian plant communities that would isolate or substantially interrupt contiguous habitats, block seed dispersal routes, or increase vulnerability of wetland species to exotic weed invasion or local extirpation?		x				x		
3) Interfere with ongoing maintenance of hydrological conditions in a water or wetland?		x				x		
4) Provide an adequate buffer for protecting the functions and values of existing waters or wetlands?	x				x			

**Impact Discussion:**

4C-1 through 4C-3. Planning staff conducted research using the County’s RMA GIS Viewer and determined that the proposed project site is not located in a wetland, waterbody, or wetland buffer area. The proposed project site is located east of South Grimes Canyon Wash which drains into Calleguas Creek. According to staff from the Ventura County Watershed Protection—County Stormwater Program, surface water runoff from the proposed 105,243 square feet of proposed impervious surface has the potential to contribute to the exceedances of water quality objectives in the downstream impaired segments of Calleguas Creek, Reach 6. Surface water runoff from the proposed increased impervious surface area and development may have a potentially significant impact on surface water quality objectives. However, the County Stormwater Program would require the applicant to implement a mitigation measure (CSP M1, section 2D-1) which would ensure individual and cumulative impacts to existing

impaired downstream waterbodies and water quality objectives would be reduced to less than significant levels.

In addition, County Stormwater Program would require the applicant to implement standard Best Management Practices during project development to ensure compliance with and implementation of an effective combination of erosion and sediment control measures to protect surface water quality.

According to staff from Ventura County Watershed Protection – Planning and Permits Division, South Grimes Canyon Wash and Arroyo Las Posas (located approximately 5,000 feet south of the proposed project) are Ventura County Watershed Protection District jurisdictional redline channels. No direct connections to these District channels are proposed or indicated on the applicant’s submitted materials. The drainage conditions would remain similar to the existing conditions. Surface water runoff from the proposed project would be directed to existing drainage areas. Runoff from the proposed project site would be released at no greater than the undeveloped flow rate and in such manner as to not cause an adverse impact downstream in peak, velocity, or duration in accordance with Appendix J of the Ventura County Building Code. The proposed project includes a detention basin that would be designed to manage the increased flows from the project’s total impervious area and control and limit drainage discharge to existing conditions. According to Ventura County Public Works Agency— Land Development Services Division, the proposed development would be completed according to current codes and standards which prohibit increases in sediment discharge or obstruction of flows in existing channels.

4C-4. Planning staff conducted research using the County’s RMA GIS Viewer and determined that the proposed project site is not located in a wetland, waterbody, or wetland buffer area. County agencies have not determined that an adequate buffer for protecting waters or waterbodies is required.

**Mitigation/Residual Impact(s)**

No biological mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4D. Ecological Communities - ESHA (Applies to Coastal Zone Only)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Temporarily or permanently remove ESHA or disturb ESHA buffers through construction, grading, clearing, or other activities and uses (ESHA buffers are within 100 feet of the boundary of ESHA as defined in Section 8172-1 of the Coastal Zoning Ordinance)?	x				x			
2) Result in indirect impacts from project operation at levels that would degrade the health of an ESHA?	x				x			

**Impact Discussion:**

4D-1. and 4D-2. The project is not located within the coastal zone. Therefore, no impacts to ESHA would occur.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>4E. Habitat Connectivity</b>								
<b>Would the proposed project:</b>								
1) Remove habitat within a wildlife movement corridor?	x				x			
2) Isolate habitat?	x				x			
3) Construct or create barriers that impede fish and/or wildlife movement, migration or long term connectivity or interfere with wildlife access to foraging habitat, breeding habitat, water sources, or other areas necessary for their reproduction?	x				x			

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4) Intimidate fish or wildlife via the introduction of noise, light, development or increased human presence?	x				x			

**Impact Discussion:**

4E-1 through 4E-4. According to the RMA GIS Viewer, the proposed project site is not located within a mapped wildlife movement corridor or overlay zone and is not located within a mapped wetland or waterbody buffer. No critical habitat areas are within the proposed project site. No adverse impacts to habitat connectivity would occur.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4F. Would the proposed project be consistent with the applicable General Plan Goals and Policies for Item 4 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

4F. The proposed project site is heavily altered from natural conditions, due to intense agricultural practices. The site does not support natural vegetation and in turn, there is limited to no potential to support protected biological resources on site. No mapped wetlands, critical habitat areas, or wildlife movement corridors occur within the proposed project site. As the proposed development would result in the removal of four protected (Heritage), non-native ornamental trees, the applicant would be required to offset the removal of the trees in accordance with County tree protection regulations. Nesting birds would be avoided through the applicant’s compliance with the County’s standard nesting bird condition. The applicant must comply with County Stormwater Program’s mitigation measure CSP M1 which would ensure that project stormwater runoff does contribute to the exceedances of water quality objectives in the downstream impaired segments of Calleguas Creek, Reach 6.

These factors support the determination that the project was reviewed and found to be consistent with the Ventura County General Plan Goals, Programs and Policies for Item 4 of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>5A. Agricultural Resources – Soils (PInG.)</b>								
<b>Would the proposed project:</b>								
1) Result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance, beyond the threshold amounts set forth in Section 5a.C of the Initial Study Assessment Guidelines?		x				x		
2) Involve a General Plan amendment that would result in the loss of agricultural soils?	x				x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 5A of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

5A-1. Planning staff reviewed the Important Farmland Inventory map layers in the RMA-GIS Viewer program to determine whether the proposed project would result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance. The proposed development (buildings, additional access road, driveways, parking areas, landings, stairs, lined basins, synthetic turf) involves new impervious areas that would result in the removal or permanent covering of 105,243 square feet (or 2.42 acres) of agricultural soils designated Unique and Prime farmland. The amount of designated Unique and Prime farmland removed or covered by the proposed project does not exceed the acreage-loss threshold amounts set forth in Section 5a.C of the Initial Study Assessment Guidelines. Therefore, project specific

impacts are considered less than significant. In addition, the Initial Study Assessment Guidelines states that that County’s General Plan contains policies and programs that serve to partially mitigate the cumulative impacts of agricultural soil loss and that additional cumulative environmental analysis is not required for any project that is consistent with the General Plan. As the proposed project is consistent with the General Plan, cumulative impacts are not considerable.

5A-2. The proposed project does not Involve a General Plan amendment that would result in the loss of agricultural soils.

5A-3. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 5A of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>5B. Agricultural Resources - Land Use Incompatibility (AG.)</b>								
<b>Would the proposed project:</b>								
1) If not defined as Agriculture or Agricultural Operations in the zoning ordinances, be closer than the threshold distances set forth in Section 5b.C of the Initial Study Assessment Guidelines?			x				x	
2) Be consistent with the applicable General Plan Goals and Policies for Item 5b of the Initial Study Assessment Guidelines?			x				x	

**Impact Discussion:**

5B-1. The proposed project, as dog kennel, is not defined as Agricultural Operations in the County’s Zoning Ordinance. Therefore, the threshold distances set forth on 5b.C apply. The project site is immediately adjacent to classified farmland in the Prime, Unique or Statewide Importance classifications on all sides. As such, the project has Potentially Significant Impacts on nearby agricultural resources. The Agricultural Commissioner’s Office has recommended the following mitigation measure to reduce potentially significant impacts to a less than significant level.

Mitigation Measure ACO-1 (Vegetative Screen)

Purpose: In order to minimize potential conflicts between agricultural operations within 300 feet of the project boundary and the permittee, said permittee must maintain a vegetative screen at the proposed project boundary.

Requirement: The permittee shall install and maintain a vegetative screen meeting the physical characteristics outlined in the Ventura County Agricultural Policy Advisory Committee Agricultural/Urban Buffer Policy.

Documentation: The permittee shall submit to the Ventura County Agricultural Commissioner's Office (VCAC) a landscape plan for the proposed project that includes the required vegetative screen prior to the issuance of the requested Conditional Use Permit.

Timing: Installation of the vegetative screen shall commence prior to the use inauguration of the requested Conditional Use Permit.

Monitoring: The VCAC would report to the Planning Division any reports of failure to comply with this condition.

5B-2. General Plan Policy AG-2.1 states that discretionary development adjacent to Agricultural-designated lands shall not conflict with agricultural use of those lands. The proposed project would permit the presence of non-agricultural persons, both employed by the project and members of the public, during normal working hours. Both the project and access to the project site are immediately adjacent to current agricultural operations on agricultural lands. The presence of unaffiliated persons and the permanent presence of for-sale dogs at sites adjacent and near agricultural operations potentially conflicts with the agricultural use of those lands and thus the project impacts are Potentially Significant. The Agricultural Commissioner's Office has recommended the following mitigation measure to reduce potentially significant impacts to a less than significant level.

Mitigation Measure ACO-2 (Notification and Response Plan)

Purpose: In order to minimize potential conflicts between agricultural operations within 300 feet of the project boundary and the permittee, said permittee must notify persons associated with the proposed project (associated persons) of agricultural activities within 300 feet of the project boundary.

Requirement: Prior to the use inauguration of the requested Zoning Clearance, the permittee is required to prepare a Notification and Response Plan, subject to approval by Ventura County Agricultural Commissioner's Office (VCAC). The plan must indicate how associated persons are to be notified that normal farming operations may cause nuisances such as dust or noise, and that the use of fertilizers and/or chemical pest

controls may occur in the vicinity. The plan must indicate how associated persons would be instructed to respond in the rare event that adjacent agricultural operations present a hazard to said persons. The permittee is recommended to contact adjacent growers to exchange information about agricultural operations that may be scheduled and make this information available to associated persons.

Documentation: The permittee shall maintain a record that all associated persons notified have received the information outlined in the Notification and Response Plan.

Timing: Notice shall be provided to associated persons prior to associated persons entering the proposed project boundary.

Monitoring: The permittee shall provide the VCAC with any proposed changes to the Notification and Response Plan for approval. The Ventura County Agricultural Commissioner’s Office would keep record of the provided notices and report to the Planning Division any reports of failure to comply with this condition.

**Mitigation/Residual Impact(s)**

After implementation of the Vegetative Screen Mitigation Measure and Notification and Response Plan Mitigation Measure(above), potentially significant impacts would be reduced to less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>6. Scenic Resources (Plng.)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Be located within an area that has a scenic resource that is visible from a public viewing location, and physically alter the scenic resource either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		x				x		
b) Be located within an area that has a scenic resource that is visible from a public viewing location, and substantially obstruct, degrade, or obscure the scenic vista, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		x				x		
c) Be consistent with the applicable General Plan Goals and Policies for Item 6 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

6a. and 6b. The proposed project would be located within a farmland setting containing orchards, residential structures, and principal and accessory agricultural structures. According to the RMA GIS Viewer, the proposed project and the surrounding area are not located within the County’s Scenic Resource Protection Overlay Zone. The RMA GIS Viewer does not identify any Scenic Resource Protection viewing locations (County scenic lakes, publicly-owned parcels, or designated scenic roads) that could be obstructed, obscured, or degraded by the proposed project. While Grimes Canyon Road is designated as an Eligible County Scenic Highway, photo simulations of the proposed project site indicate that the proposed landscaping and the remaining orchards would reduce the project’s visibility from Grimes Canyon Road (the nearest public viewing location of the project site). Four existing, non-native, protected (Heritage) ornamental trees would be removed for the development of the site. The applicant would be required to provide acceptable tree offsets to compensate for the loss of these trees.

6c. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 6 of the Initial Study Assessment Guidelines

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>7. Paleontological Resources</b>								
<b>Would the proposed project:</b>								
a) For the area of the property that is disturbed by or during the construction of the proposed project, result in a direct or indirect impact to areas of paleontological significance?		x				x		
b) Contribute to the progressive loss of exposed rock in Ventura County that can be studied and prospected for fossil remains?		x				x		
c) Be consistent with the applicable General Plan Goals and Policies for Item 7 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

7a. and -b. The paleontological map layer on the County’s RMA GIS Viewer identified the subject property as “Undetermined” for paleontological resources. According to the Paleontological Resource Assessment Report (March 18, 2019, Gold Coast Geoservices, Inc.), the proposed project site is considered to have a low potential for impact to any significant paleontological resources within the Saugus Formation sedimentary formation within the project area. The report recommends that all excavations associated with project grading and development be observed on a continuous basis by a State of California Registered Geologist. The report also recommends that in the event any fossils are discovered during excavations, all excavations must be suspended within the area and that the geologist shall make an assessment of the find. The County geologist concurred with the recommendations in the report. The Planning Division would impose a standard condition requiring the applicant to retain a paleontological consultant or professional geologist to monitor all excavations associated with project land clearing and earth moving activities. In addition, Planning would require that if any paleontological remains are uncovered during ground disturbance or construction activities, such activities must be halted in the

area of the find, the area must be preserved, and that the paleontological consultant or professional geologist shall assess the find and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site.

7c. The proposed project would be consistent with the applicable 2040 General Plan Goals and Policies for Item 7.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>8A. Cultural Resources - Archaeological</b>								
<b>Would the proposed project:</b>								
1) Demolish or materially alter in an adverse manner those physical characteristics that account for the inclusion of the resource in a local register of historical resources pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code?		x				x		
2) Demolish or materially alter in an adverse manner those physical characteristics of an archaeological resource that convey its archaeological significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for the purposes of CEQA?		x				x		
3) Be consistent with the applicable General Plan Goals and Policies for Item 8A of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

8A-1 and -2. The proposed project site has been developed and disturbed from agricultural operations for many years. According to the RMA GIS data layers, the project site is located within an archeologically sensitive area. Planning staff notified the local Native American representative about the opportunity to consult with Planning staff

about the proposed project’s potential impacts to tribal cultural resources. However, to date, Planning staff has not received any request for tribal resources consultation.

Planning staff submitted the proposed project to the South Central Coastal Information Center (California State University, Fullerton) for review to determine whether any adverse impacts to archaeological resources would occur during the development phase. South Central Coastal Information Center reviewed the project and stated that the project area was surveyed by a qualified cultural resource consultant in 1977 and that cultural resources were not found. The South Central Coastal Information Center stated that no archeological work is needed prior to project approval and that a halt-work condition should be required for all ground disturbing activities. The Planning Division would impose its standard Archaeological Resources condition concerning the discovery of previously unknown subsurface archaeological resources during ground disturbance activities and construction. If any archaeological or historical artifacts are uncovered during ground disturbance or construction activities, such activities must cease the area in which the discovery was made, the area must be preserved, and a County-approved archaeologist shall assess the find and provide recommendations on the proper disposition of the site. The applicant must implement the agreed-upon recommendations. With the implementation of this condition of approval, potential impacts on archaeological resources discovered during ground disturbance activities would be avoided.

8A-3. The proposed project would be consistent with the applicable 2040 General Plan policies for Item 8A of the Initial Study Assessment Guidelines

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>8B. Cultural Resources – Historic (PIng.)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Demolish or materially alter in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources?	x				x			
2) Demolish or materially alter in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code?	x				x			
3) Demolish or materially alter in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA?	x				x			
4) Demolish, relocate, or alter an historical resource such that the significance of the historical resource would be impaired [Public Resources Code, Sec. 5020(q)]?	x				x			

**Impact Discussion:**

8B-1, -2, -3, and -4. According to the RMA GIS Viewer, no historic resources or cultural heritage locations are located within the proposed project site. The Ventura County Cultural Heritage Program staff evaluated the proposed project site and surrounding properties. Cultural Heritage Program staff stated that there are no historical resources on project site or surrounding properties. The existing structures to be demolished are ineligible as historic resources. Due to the absence of historic and cultural resources, the subject property is not eligible to be listed as a cultural heritage site. The Program Coordinator finds no impact to cultural resources and, therefore, no conditions are required for the proposed project.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>9. Coastal Beaches and Sand Dunes</b>								
<b>Would the proposed project:</b>								
a) Cause a direct or indirect adverse physical change to a coastal beach or sand dune, which is inconsistent with any of the coastal beaches and coastal sand dunes policies of the California Coastal Act, corresponding Coastal Act regulations, Ventura County Coastal Area Plan, or the Ventura County General Plan Goals, Policies and Programs?	x				x			
b) When considered together with one or more recently approved, current, and reasonably foreseeable probable future projects, result in a direct or indirect, adverse physical change to a coastal beach or sand dune?					x			
c) Be consistent with the applicable General Plan Goals and Policies for Item 9 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

9a., 9b., and 9c. The proposed project area is not located near coastal beaches or within the coastal zone. Thus, the project would not create a direct or indirect adverse physical change to a coastal beach or sand dunes. County policies related to development in the coastal zone do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>10. Fault Rupture Hazard (PWA)</b>								
<b>Would the proposed project:</b>								
a) Be at risk with respect to fault rupture in its location within a State of California designated Alquist-Priolo Special Fault Study Zone?	x							
b) Be at risk with respect to fault rupture in its location within a County of Ventura designated Fault Hazard Area?	x							
c) Be consistent with the applicable General Plan Goals and Policies for Item 10 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

10a. and 10b. Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements. There are no known active or potentially active faults extending through the proposed project based on State of California Earthquake Fault Zones in accordance with the Alquist-Priolo Earthquake Fault Zoning Act, and Ventura County General Plan Section 7.4 Geologic and Seismic Hazards, HAZ-4.1, HAZ-4.2, and HAZ-4.17. Furthermore, no habitable structures are proposed at this time within 50 feet of a mapped trace of an active fault. There is no impact from potential fault rupture hazard.

There is no known cumulative fault rupture hazard impact that would occur as a result of other approved, proposed, or probable projects.

10c. Therefore, the proposed project would be consistent with the applicable General Plan Policies HAZ 4.1, HAZ 4.2 (linear projects), and HAZ 4.17.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>11. Ground Shaking Hazard (PWA)</b>								
<b>Would the proposed project:</b>								
a) Be built in accordance with all applicable requirements of the Ventura County Building Code?		x						
b) Be consistent with the applicable General Plan Goals and Policies for Item 11 of the Initial Study Assessment Guidelines?		x			x			

**Impact Discussion:**

11a. Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements. The property would be subject to moderate to strong ground shaking from seismic events on local and regional fault systems. The County of Ventura Building Code adopted from the California Building Code, dated 2016, Chapter 16, Section 1613 requires structures be designed to withstand this ground shaking. The Geotechnical Investigation Report, prepared by Gold Coast Geoservices, dated March 2, 2018, provides the structural seismic design criteria (Page 9) for the proposed project and may be required to be updated to the Building Code in effect at the time of building permit issuance. The requirements of the building code would reduce the effects of ground shaking to less than significant.

The hazards from ground shaking would affect each project individually; and no cumulative ground shaking hazard would occur as a result of other approved, proposed, or probable projects.

11b. Therefore, the proposed project would be consistent with the applicable 2040 General Plan Policy HAZ 4.3.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>12. Liquefaction Hazards (PWA)</b>								
<b>Would the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving liquefaction because it is located within a Seismic Hazards Zone?		x						
b) Be consistent with the applicable General Plan Goals and Policies for Item 12 of the Initial Study Assessment Guidelines?		x			x			

**Impact Discussion:**

12a. Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements. Portions of the property are located within a potential liquefaction zone based on the State of California Seismic Hazards Maps for the County of Ventura. These maps are used as the basis for delineating the potential liquefaction hazards within the county. The 2040 Ventura County General Plan Chapter 7, HAZ-4.8 policy requires the county to not allow development of habitable structures within areas prone to liquefaction unless a geotechnical engineering report is performed, and sufficient safeguards are incorporated. The portion of the site that is within the potential liquefaction zone is existing and was constructed with building permits according to the Response Letter, prepared by Gold Coast Geoservices, dated October 30, 2018. The proposed structures are not within the potential liquefaction zone. In this regard the potential hazards resulting from liquefaction are considered to be less than significant.

The hazards from liquefaction would affect each project individually; and no cumulative liquefaction hazard would occur as a result of other approved, proposed, or probable projects.

12b. Therefore, the proposed project would be consistent with the applicable 2040 General Plan Policy HAZ 4.8.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>13. Seiche and Tsunami Hazards (PWA)</b>								
<b>Would the proposed project:</b>								
a) Be located within about 10 to 20 feet of vertical elevation from an enclosed body of water such as a lake or reservoir?	x							
b) Be located in a mapped area of tsunami hazard as shown on the County General Plan maps?	x							
c) Be consistent with the applicable General Plan Goals and Policies for Item 13 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

13a. Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements. The project is not mapped within 10 to 20 vertical feet of a closed water body based on the 2040 Ventura County General Plan Chapter 7, policies HAZ-4.14 and HAZ-4.18 and 2040 Ventura County General Plan Background Report Section 11.2, Figure 11.9. The site is not located adjacent to a closed or restricted body of water based on aerial imagery review (photos dated December 2019, aerial imagery is under the copyrights of Pictometry) and is not subject to seiche hazard. There is no hazard from potential seiche and no impact to the proposed project

13b. Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements. The project is not mapped within a tsunami inundation zone based on the 2040 Ventura County General Plan Chapter 7, policy HAZ-2.7 and 2040 Ventura County General Plan Background Report Section 11.2, Figure 11.9. There is no impact from potential hazards from tsunami.

The hazards from seiche and tsunami would affect each project individually; and no cumulative seiche and tsunami hazard would occur as a result of other approved, proposed, or probable projects.

13c. The site is not located near a closed or restricted body of water based on aerial imagery review (Aerial imagery dated December 2019) and is not subject to seiche hazard. The project is not mapped within a tsunami inundation zone based on the 2040 Ventura County General Plan Chapter 7, policy HAZ-2.7 and 2040 Ventura County General Plan Background Report Section 11.2, Figure 11.9. There is no impact from potential hazards from seiche and tsunamis inundation.

Therefore, the proposed project would be consistent with the applicable 2040 General Plan Policies HAZ 2.7 and HAZ 4.14.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>14. Landslide/Mudflow Hazard (PWA)</b>								
<b>Would the proposed project:</b>								
a) Result in a landslide/mudflow hazard, as determined by the Public Works Agency Certified Engineering Geologist, based on the location of the site or project within, or outside of mapped landslides, potential earthquake induced landslide zones, and geomorphology of hillside terrain?		x						
b) Be consistent with the applicable General Plan Goals and Policies for Item 14 of the Initial Study Assessment Guidelines?		x			x			

**Impact Discussion:**

14a. Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements. The site is located in a hillside area of Ventura

County. Based on analysis conducted by the California Geological Survey as part of California Seismic Hazards Mapping Act, 1991, Public Resources Code Sections 2690 2699.6, the property is not within a potential seismically induced landslide zone. A map showing the location of Deep-Seated Landslide Area is included as Figure 11-3 in the 2040 Ventura County General Plan Background Report, Section 11.1. The Response Letter, prepared by Gold Coast Geoservices, dated October 30, 2018, considered long term slope stability with regards to the proposed infiltration ponds and concluded no adverse impact to slope stability. The landslide hazard is considered to be less than significant.

The hazards from landslides/mudslides would affect each project individually; and no cumulative landslide/mudslide hazard would occur as a result of other approved, proposed, or probable projects.

14b. Therefore, the proposed project would be consistent with the applicable 2040 General Plan Policies HAZ 4.4, HAZ 4.9, HAZ 4 10, and HAZ 4.11.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>15. Expansive Soils Hazards (PWA)</b>								
<b>Would the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving soil expansion because it is located within a soils expansive hazard zone or where soils with an expansion index greater than 20 are present?	x							
b) Be consistent with the applicable General Plan Goals and Policies for Item 15 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

15a. The Expansion index test contained in the Geotechnical Investigation Report, prepared by Gold Coast Geoservices, dated March 2, 2018, indicates the near surface expansion is 2, non-expansive. Future development at the site would be subject to the requirements of the County of Ventura Building Code adopted from the California Building Code, in effect at the time of construction that requires mitigation of potential adverse effects of expansive soils.

The hazards from expansive soils would affect each project individually; and no cumulative expansive soils hazard would occur as a result of other approved, proposed, or probable projects.

15b. The proposed project would be consistent with the applicable 2040 General Plan Policy HAZ 4.13.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>16. Subsidence Hazard (PWA)</b>								
<b>Would the proposed project:</b>								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving subsidence because it is located within a subsidence hazard zone?	x							
b) Be consistent with the applicable General Plan Goals and Policies for Item 16 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

16a. The project does not propose the construction of new extraction wells or is within an area known for subsidence hazard (Policies HAZ-4.14, -4.15, and -4.16). Therefore, the project is considered to have no impact on the hazard of subsidence.

The hazards from subsidence would affect each project individually; and no cumulative subsidence hazard would occur as a result of other approved, proposed, or probable projects.

16b. The proposed project would be consistent with the applicable General Plan Policies HAZ-4.14, HAZ-4.15, and HAZ-4.16.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>17a. Hydraulic Hazards – Non-FEMA (PWA)</b>								
<b>Would the proposed project:</b>								
1) Result in a potential erosion/siltation hazard and flooding hazard pursuant to any of the following documents (individually, collectively, or in combination with one another): <ul style="list-style-type: none"> <li>• 2007 Ventura County Building Code Ordinance No.4369</li> <li>• Ventura County Land Development Manual</li> <li>• Ventura County Subdivision Ordinance</li> <li>• Ventura County Coastal Zoning Ordinance</li> <li>• Ventura County Non-Coastal Zoning Ordinance</li> <li>• Ventura County Standard Land Development Specifications</li> <li>• Ventura County Road Standards</li> <li>• Ventura County Watershed Protection District Hydrology Manual</li> <li>• County of Ventura Stormwater Quality Ordinance, Ordinance No. 4142</li> <li>• Ventura County Hillside Erosion Control Ordinance, Ordinance No. 3539 and Ordinance No. 3683</li> <li>• Ventura County Municipal Storm Water NPDES Permit</li> <li>• State General Construction Permit</li> </ul>								
		x				x		

<ul style="list-style-type: none"> <li>• State General Industrial Permit</li> <li>• National Pollutant Discharge Elimination System (NPDES)?</li> </ul>								
2) Be consistent with the applicable General Plan Goals and Policies for Item 17A of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

17a-1. There is an increase in impervious area proposed by the project. To offset the additional runoff from the developed to the predeveloped condition, the project is being designed with stormwater control measures, The detention basin, as indicated by the project consultant (Jensen Design & Survey, Preliminary Hydrology Letter, dated August 3, 2018), would be designed to reduce any increase in post development runoff to predevelopment rates and amounts.

17a-2. New impervious area would be added as part of the project. The kennel site drainage would be directed to a detention pond that would effectively limit the runoff from the improved site to that of the existing condition (Preliminary Hydrology Letter, dated August 3, 2018, Jensen Design & Survey).

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>17b. Hydraulic Hazards – FEMA (WPD)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Unshaded' flood zone (beyond the 0.2% annual chance floodplain: beyond the 500-year floodplain)?		x				x		
2) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Shaded' flood zone (within the 0.2% annual chance floodplain: within the 500-year floodplain)?	x				x			
3) Be located, in part or in whole, within the boundaries of a Special Flood Hazard Area (1% annual chance floodplain: 100-year), but located entirely outside of the boundaries of the Regulatory Floodway?	x				x			
4) Be located, in part or in whole, within the boundaries of the Regulatory Floodway, as determined using the 'Effective' and latest available DFIRMs provided by FEMA?	x				x			
5) Be consistent with the applicable General Plan Goals and Policies for Item 17B of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

17B-1 through 17B-5. The applicant is requesting a Conditional Use Permit to construct a new kennel. The project site is in a location identified by the Federal Emergency Management Agency (FEMA) as an area of minimal flood hazard Zone X unshaded. This is evidenced on FEMA Digital Flood Insurance Rate Map No. 06111C0812E, effective date January 20, 2010. The proposed development is therefore, deemed to be less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>18. Fire Hazards (VCFPD)</b>								
<b>Would the proposed project:</b>								
a) Be located within High Fire Hazard Areas/Fire Hazard Severity Zones or Hazardous Watershed Fire Areas?	x				x			
b) Be consistent with the applicable General Plan Goals and Policies for Item 18 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

18a. The proposed project is not located in a high fire hazard area.

18b. County policies related to development in the High Fire Hazard Aras do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measure is required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>19. Aviation Hazards (Airports)</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards)?	x				x			
b) Would the proposed project result in residential development, a church, a school, or high commercial business located within a sphere of influence of a County airport?	x				x			
c) Be consistent with the applicable General Plan Goals and Policies for Item 19 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

19a., 19b., and 19. According to the RMA GIS Viewer, the proposed project site is not located within an Airport Safety Zone or Airport Sphere of Influence. County policies related to aviation hazards do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>20a. Hazardous Materials/Waste – Materials (EHD/Fire)</b>								
<b>Would the proposed project:</b>								
1) Utilize hazardous materials in compliance with applicable state and local requirements as set forth in Section 20a of the Initial Study Assessment Guidelines?		x				x		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2) Be consistent with the applicable General Plan Goals and Policies for Item 20a of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

20a 1. The proposed project would store hazardous materials in the form of 250 gallons of propane. The applicant must obtain a permit to operate from Ventura County Environmental Health Division/Certified Unified Program Agency (CUPA) and submit a Hazardous Materials Business Plan (HMBP) to the California Environmental Reporting System (CERS) within 30 days of storing hazardous materials if the amounts are at or above reporting thresholds (55 gallons or 200 cubic feet), and annually thereafter. If the propane is used for the sole purpose of cooking, heating employee work areas, and heating within that facility, then the reportable threshold is 500 gallons, unless CUPA finds that the handling of the on premises propane requires the submission of a business plan, in response to public health, safety, or environmental concerns. Improper storage, handling, and disposal of these materials could result in the creation of adverse impacts to the environment. Compliance with applicable state and local regulations would reduce potential project specific and cumulative impacts to a level considered less than significant.

20a 2. The proposed project would be consistent with the General Plan for Item 20a of the Initial Study Assessment Guidelines, provided the business maintains compliance with all applicable laws and regulations related to hazardous materials handling, storage, and disposal.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>20b. Hazardous Materials/Waste – Waste (EHD)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Comply with applicable state and local requirements as set forth in Section 20b of the Initial Study Assessment Guidelines?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20b of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

20b 1. The proposed project is for a new dog kennel and would not generate hazardous wastes which require a Ventura County Environmental Health Division/Certified Unified Program Agency permit. No project specific or cumulative impact related to hazardous waste is expected.

20b 2. The proposed project would not generate hazardous waste and is consistent with the General Plan for Item 20b of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>21. Noise and Vibration</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Either individually or when combined with other recently approved, pending, and probable future projects, produce noise in excess of the standards for noise in the Ventura County General Plan Goals, Policies and Programs (Section 2.16) or the applicable Area Plan?		x				x		
b) Either individually or when combined with other recently approved, pending, and probable future projects, include construction activities involving blasting, pile-driving, vibratory compaction, demolition, and drilling or excavation which exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment (Section 12.2)?		x				x		
c) Result in a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 (Initial Study Assessment Guidelines, Section 21)?	x				x			
d) Generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to sensitive uses that have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria of the Transit Use Thresholds for rubber-tire heavy vehicle uses (Initial Study Assessment Guidelines, Section 21-D, Table 1, Item No. 3)?	x				x			
e) Involve blasting, pile-driving, vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities which have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment [Hanson, Carl E., David A. Towers, and Lance D. Meister. (May 2006) Section 12.2]?		x				x		

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
f) Be consistent with the applicable General Plan Goals and Policies for Item 21 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

21a. The 210 dogs that would be raised and kept at the proposed kennel would generate noise during the operation phase of the kennel. The applicant retained Acentech Incorporated to prepare a Noise Impact Analysis (December 16, 2020) that analyzed the proposed project’s potential noise impacts on nearby noise sensitive receptors.

In accordance with section 7.9 (Noise) in the Hazards and Safety Element of the Ventura County 2040 General Plan, the Noise Impact Analysis (NIA) considered whether any of the following noise sensitive uses are located within the proximity of the proposed kennel project: residences; schools; nursing homes; historic sites; cemeteries; parks, recreation, and open space areas; hospitals and care facilities; hotels and other short-term lodging (e.g., bed and breakfasts, motels); places of worship; and libraries. The NIA reviewed the proposed project area, zoning map, and aerial photographs and determined that historic sites, cemeteries, parks, recreation, and open space areas are not within the area of the proposed kennel. Wildlife corridors and other natural sensitive habitat are also not within the proximity of the proposed project. The NIA determined that existing residences are the only proximate noise sensitive uses to the proposed kennel project. Six off-site residences located 1,369 feet to 3,520 feet from the proposed kennel were identified by Acentech.

2040 General Plan Noise Compatibility Standards Policy 9.2-4. states that new noise generators may not generate ongoing outdoor noise levels received by noise sensitive uses in excess of the following noise standards (unless noise control measures are incorporated into the project design):

- a. Leq1H of 55dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 6:00 a.m. to 7:00 p.m.;
- b. Leq1H of 50dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 7:00 p.m. to 10:00 p.m.; and
- c. Leq1H of 45dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 10:00 p.m. to 6:00 a.m.

To calculate anticipated future noise levels at the existing nearby residences, Acentech created a 3D computer model using CADNAA acoustical modeling software. Acentech used sound measurements gathered at the existing Golden Meadows Kennel (owned by the applicant; located at 12085 Clinton Street) to calculate the sound power level of a single dog. The sound power level data, was scaled up based on the proposed project to include the total energy of 210 dogs barking loudly at the same time. The model takes into account sound attenuation due to propagation, ground absorption, geographical conditions, and air absorption for this specific site. Topographical information published by USGS was used to provide accurate geographical conditions. The specific sound transmission losses for the various components of the proposed buildings, and the building configurations as defined by the project drawings was also included in the acoustical model. The 3D computer model calculated the anticipated, future noise levels at the proximate residences to be below the daytime, evening, and nighttime noise standards identified in Noise Policy 9.2-4. As the anticipated, future noise levels would be below the County's noise standards, no additional noise control measures would be required.

During the construction phase of the proposed project, noise is expected to be generated. However, the construction phase would be temporary. By restricting the noise-generating activities of construction and ground disturbance to the days and times during which residential uses are not "noise-sensitive," noise impacts would be less than significant. To ensure this, the applicant would be required to limit noise-generating construction and ground disturbance activities to the daytime (i.e., 7:00 a.m. to 7:00 p.m., Monday through Friday, and 9:00 a.m. to 7:00 p.m., Saturday, Sunday, and local holidays), which is the time during which residential uses typically are not noise sensitive (County of Ventura Construction Noise Threshold Criteria and Control Plan, July 2010, page 5, Figure 3).

The nearest other recently approved, pending, and probable future project is located approximately two miles distant from the proposed project site. The contribution of noise (operational or construction) from other pending and recently approved projects to noise generated by the proposed would be negligible or nonexistent.

21b. and 21e. Based on information provided by the applicant's architect, potential vibrational effects would be limited to the vibrating compactors and bulldozers that would be used during construction and ground disturbance activities for the project. The nearest existing building to the proposed construction/ground disturbance areas is an off-site shed on the property line near Saint Maarten Drive and the proposed parking area/driveway. The applicant must perform all grading in compliance with the Ventura County Building Code (VCBC). Section J101.7 of the VCBC states that the

owner/permittee of the property on which the grading occurs shall be responsible for the prevention of damage to the adjacent property and that no person shall excavate on land sufficiently close to the property line to endanger any adjoining property without taking adequate measures to protect such property from damage that might result. The applicant is required to comply with these requirements. In addition, Ventura County Public Works Agency inspectors would monitor the proposed grading to verify that the work is done in compliance with the approved plans and reports.

21c. The proposed project does not include any transit uses.

21d: The proposed project would not generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to vibration sensitive uses. Grimes Canyon Road is a paved road that does not include speed bumps or other design features that could result in road unevenness. Saint Maarten Drive would be repaved and widened as part of the proposed project. Vehicle traffic generated by the proposed project would be limited to standard vehicles (automobiles, motorcycles, etc.) and occasional delivery trucks.

21f. The project would be consistent with the applicable 2040 General Plan policies for Item 21 of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>22. Daytime Glare</b>								
<b>Would the proposed project:</b>								
a) Create a new source of disability glare or discomfort glare for motorists travelling along any road of the County Regional Road Network?		x				x		
b) Be consistent with the applicable General Plan Goals and Policies for Item 22 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

22a. The proposed project site is adjacent to Grimes Canyon Road which is identified by the RMA GIS Viewer as a road segment of the County's Regional Road Network. The proposed administration building and kennel buildings include metal panels and glass. The walls of the administration building and kennel buildings would be comprised of metal panels which would be painted in a non-reflective red color ("Colonial Red"). The walls would also be comprised of an unfinished, non-reflective masonry blocks (adobe color). The roofs would be painted a non-reflective white color to keep the buildings cooler in compliance with Title 24 energy requirements. While the administration building contains nine reflective glass windows along the east elevation, the project architect does not anticipate that window glass glare would impact travelers on Grimes Canyon Road because the administration building's windowed east elevation would be oriented away from Grimes Canyon Road. The proposed administration building does not include any additional glass windows along its other elevations/sides and the kennel buildings do not include glass windows. The administration building includes reflective glass in the doors of the south and north elevation; however, the project is designed so that the proposed kennel buildings are positioned to block any potential administration door glare from reaching Grimes Canyon Road. Any potential glare on Grimes Canyon Road from the small glass sections within the single doors in the southern and western elevations of the proposed kennel buildings would be negligible or nonexistent. This is because landscaping is proposed between the proposed buildings and Grimes Canyon Road and because any potential glare would be brief because of the small size of the window sections in the proposed doors. In addition, the views of the proposed administration building and other kennel buildings would be obscured from travelers on SR 118 (a Regional Road Network segment). A hill along Grimes Canyon Road (just south of the subject property), trees, and structures intervene between the proposed project site and SR 118. Furthermore, the SR 118 is located almost one mile from the proposed project site. For these reasons, potential glare from the proposed project on the Regional Road Network is considered to be less than significant.

22b. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 22 of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>23. Public Health (EHD)</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>Would the proposed project:</b>								
a) Result in impacts to public health from environmental factors as set forth in Section 23 of the Initial Study Assessment Guidelines?		x				x		
b) Be consistent with the applicable General Plan Goals and Policies for Item 23 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

23a. Proposed project has the potential to impact public health due to the use of onsite wastewater treatment systems (OWTS) and an animal waste disposal system for kennel and grooming wastewater. OWTS for domestic septage as well as animal waste that are undersized, improperly installed, failing, or poorly maintained has the potential to create a public nuisance and/or contaminate groundwater. Potential impacts can be reduced to less than significant with adherence to state and local OWTS regulations, proper maintenance of tanks and disposal fields, and with adherence to the waste discharge requirements and groundwater monitoring schedule established by the Los Angeles Regional Water Quality Control Board (LARWQCB). The Ventura County Environmental Health Division (EHD) staff have imposed a standard CUP condition requiring the design and installation of the proposed OWTS to comply with state and local regulations, that the septic tank be serviced by an EHD permitted pumper truck, and that septage wastes be disposed of in an approved manner. In addition, EHD conditioned the project to ensure that the animal liquid waste disposal system complies with applicable LARWQCB waste discharge requirements.

The proposed project is a new dog kennel and may have public health impacts related to breeding and/or harborage of vectors of disease, including insects (flies, mosquitoes, etc.) and rodents. EHD staff have imposed a standard CUP condition requiring animal waste to be stored properly and removed to prevent fly breeding, and requiring standing water to be managed onsite so it would not create mosquito breeding sources. Proper management of animal waste and standing water would reduce the potential impact to less than significant.

23b. Proposed project would be consistent with the General Plan for Item 23 of the Initial Study Assessment Guidelines, provided the wastewater treatment and disposal

systems are properly installed and maintained so as not to contaminate groundwater or create a public nuisance, and potential sources for vector harborage and/or breeding are adequately controlled.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>24. Greenhouse Gases (VCAPCD)</b>								
<b>Would the proposed project:</b>								
a) Result in environmental impacts from greenhouse gas emissions, either project specifically or cumulatively, as set forth in CEQA Guidelines §§ 15064(h)(3), 15064.4, 15130(b)(1)(B) and -(d), and 15183.5?		x				x		

**Impact Discussion:**

24a. Neither APCD nor the County has adopted a threshold of significance applicable to Greenhouse Gas (GHG) emissions from projects subject to the County’s discretionary land use permitting authority. The County has, however, routinely applied a 10,000 metric tons carbon dioxide equivalent per year (MTCO<sub>2</sub>e/Yr) threshold of significance to industrial projects, in accordance with CEQA Guidelines Section 15064.4(a)(2). APCD has concurred with the County’s approach. APCD supports the application of this numeric threshold as stated in the GHG Threshold Report APCD published in 2011 at the request of the APCD Board, which concludes “Unless directed otherwise, District staff will continue to evaluate and develop suitable interim GHG threshold options for Ventura County with preference for GHG threshold consistency with the South Coast AQMD and the SCAG region”. The South Coast AQMD at the same time proposed an interim screening threshold of 3,000 MTCO<sub>2</sub>e/Yr for commercial/residential projects. Industrial projects or facilities are defined as stationary emission sources that have or are required to have an APCD Permit to Operate.

The estimated operational GHG emissions from the project were calculated at 245 MTCO<sub>2</sub>e/yr. The total GHG emissions for the proposed project are derived by using the latest version of CalEEMod (v. 2016.3.2) using a user-defined commercial land use which most accurately reflects the area and energy demands of the kennel facility project (Attachment 5). The model section for energy sources was also adjusted; Title

24 and non-Title 24 natural gas energy standards (kBTU/yr) were multiplied by the number of proposed buildings to operate with restrooms, a kitchen area, a grooming area, and/or laundry room.

The emissions calculated are less than the recommended GHG significance threshold being considered for discretionary projects. In addition, South Coast AQMD has a lower interim screening GHG threshold for residential and commercial projects at 3,000 MTCO<sub>2</sub>e/yr, which the project may be considered under since it would not have an APCD permit, and the project would still be under this lower threshold. Therefore, GHG impacts are less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>25. Community Character (PInG.)</b>								
<b>Would the proposed project:</b>								
a) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that is incompatible with existing land uses, architectural form or style, site design/layout, or density/parcel sizes within the community in which the project site is located?		x				x		
b) Be consistent with the applicable General Plan Goals and Policies for Item 25 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

25a. The proposed project would be located within a farmland setting which includes agricultural operations, orchards, residential structures, and principal and accessory agricultural structures. While the NCZO allows kennels to be located within the agricultural zone with the approval of a CUP, the NCZO does not define kennels as agricultural uses. The Agricultural Commissioner’s Office identified the proposed

project’s potentially significant land use incompatibility related to persons associated with the proposed kennel (employees and visitors) potentially being affected by the surrounding agricultural operations (e.g., dust, noise, use of fertilizers, and/or chemical pest controls) which could adversely restrict or limit agricultural operations in the vicinity. To address this potentially significant incompatibility, the Agricultural Commissioner’s Office recommends the installation of a vegetative screen to minimize potential conflicts between agricultural operations within 300 feet of the project boundary and the permittee (Vegetative Screen Mitigation Measure, discussed in section 5B-1). In addition, the Agricultural Commissioner’s Office recommends the implementation of a Notification and Response Plan Mitigation Measure to notify employees and visitors of the proposed kennel of potential nuisances or unusual events from the surrounding agricultural operations (discussed in section 5B-1). With the implementation of these mitigation measures, potential land use incompatibilities would be reduced to less than significant.

The proposed project would be compatible with the surrounding architectural style and site design. Residential dwellings of various architectural styles and functional agricultural structures prevail in the vicinity of the proposed project site. The walls of the proposed kennel buildings and administration building would be comprised of non-reflective masonry blocks (adobe color) and metal panels painted a non-reflective and subdued red color (“Colonial Red”). The tallest point of the proposed kennel buildings and administration building is less than 14 feet tall from grade which complies with County height standards. The proposed building coverage would be approximately three percent which is less than the five percent maximum standard. In addition, there is no proposal to reduce the existing lot size.

25b. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 25 of the Initial Study Assessment Guidelines

**Mitigation/Residual Impact(s)**

No additional mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>26. Housing (PIng.)</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Eliminate three or more dwelling units that are affordable to: <ul style="list-style-type: none"> <li>• moderate-income households that are located within the Coastal Zone; and/or,</li> <li>• lower-income households?</li> </ul>		x				x		
b) Involve construction which has an impact on the demand for additional housing due to potential housing demand created by construction workers?		x				x		
c) Result in 30 or more new full-time-equivalent lower-income employees?		x				x		
d) Be consistent with the applicable General Plan Goals and Policies for Item 26 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

26a. The proposed project would result in the removal of one existing caretaker dwelling unit in which a property caretaker currently lives. Because of the older age and condition of the dwelling, the agent for the project states that it is infeasible to relocate the unit elsewhere. The existing principal dwelling on the subject property would remain and would not be altered. No other dwelling units would be removed. For these reasons, project-specific and cumulative impacts to affordable housing are considered to be less than significant.

26b. As stated in the Initial Study Assessment Guidelines (146), any project that involves construction has an impact on the demand for additional housing due to potential housing demand created by construction workers. However, construction worker demand is a less than significant project-specific and cumulative impact because construction work is short-term and there is a sufficient pool of construction workers within Ventura County and the Los Angeles metropolitan regions.

26c. The proposed project would require the employment of a total of eight full-time employees. Because the proposed project would not result in 30 or more full-time-

equivalent lower-income employees, the proposed project would have less than significant impacts on affordable housing.

26d. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 26 of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(1). Transportation &amp; Circulation - Roads and Highways – Vehicle Miles Traveled (VMT) (PWA)</b>								
<b>Would the proposed project:</b>								
a) Meet a screening criterion or be below the applicable VMT significance threshold in the County's <i>Transportation &amp; Circulation—Vehicle Miles Traveled</i> document?		x				x		

**Impact Discussion:**

27a(1)-a. The proposed project would generate additional traffic on the Regional Road Network and local public roads. According to information provided by the applicant submitted on August 21, 2018 and e-mail sent by Erik Nagy (agent) on September 10, 2018, the ADT (average daily trips) generated by this project is less than 110, and therefore the adverse impacts on traffic are considered less than significant by the County of Ventura's current VMT Administrative Guidance.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(2). Transportation &amp; Circulation - Roads and Highways - Safety and Design of Public Roads (PWA)</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>Would the proposed project:</b>								
a) Have an Adverse, Significant Project-Specific or Cumulative Impact to the Safety and Design of Roads or Intersections within the Regional Road Network (RRN) or Local Road Network (LRN)?		x				x		

**Impact Discussion:**

27a(2)-a. The project, as proposed, does not have the potential to alter the level of safety of roadways and intersections near the project.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(3). Transportation &amp; Circulation - Roads &amp; Highways – Safety &amp; Design of Private Access (VCFPD)</b>								
a) If a private road or private access is proposed, would the design of the private road meet the adopted Private Road Guidelines and access standards of the VCFPD as listed in the Initial Study Assessment Guidelines?		x				x		
b) Would the project be consistent with the applicable General Plan Goals and Policies for Item 27a(3) of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27a(3)-a. The proposed private access roads for this project would be required to meet minimum VCFPD access standards.

27a(3)-b. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 27a(3).

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27a(4). Transportation &amp; Circulation - Roads &amp; Highways - Tactical Access (VCFPD)</b>								
<b>Would the proposed project:</b>								
a) Involve a road or access, public or private, that complies with VCFPD adopted Private Road Guidelines?	x				x			
b) Be consistent with the applicable General Plan Goals and Policies for Item 27a(4) of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27a(4)-a. All public roads leading to the proposed project are existing and meet minimum VCFPD Access Standards.

27a(4)-b. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 27a(4)

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**	Cumulative Impact Degree Of Effect**
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	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27b. Transportation &amp; Circulation - Pedestrian/Bicycle Facilities (PWA/Plng.)</b>								
<b>Would the proposed project:</b>								
1) Would the Project have an Adverse, Significant Project-Specific or Cumulative Impact to Pedestrian and Bicycle Facilities within the Regional Road Network (RRN) or Local Road Network (LRN)?	x				x			
2) Generate or attract pedestrian/bicycle traffic volumes meeting requirements for protected highway crossings or pedestrian and bicycle facilities?	x				x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27b of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27b-1, 27b-2, and 27b-3. There are no designated bike lanes, sidewalks, or walking paths located adjacent to Grimes Canyon Road. According to the Transportation Department, the project would not generate bicycles or pedestrians. Therefore, adverse impacts related to the supplementary addition of pedestrians and bicycles into the area would be less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27c. Transportation &amp; Circulation - Bus Transit</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Substantially interfere with existing bus transit facilities or routes, or create a substantial increase in demand for additional or new bus transit facilities/services?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27c of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27c-1 and 27c-2. According to the RMA GIS Viewer, no public transit stops are located adjacent to or within one mile of the proposed project site. According to the current Gold Coast Transit System Map, no transit routes are located on Grimes Canyon Road. The proposed project would not result in adverse impacts to transit facilities or routes or substantially increase the demand bus transit facilities or services. County policies related to bus transit do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27d. Transportation &amp; Circulation - Railroads</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Individually or cumulatively, substantially interfere with an existing railroad's facilities or operations?		x				x		
2) Be consistent with the applicable General Plan Goals and Policies for Item 27d of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

27d-1 and 27d-2. According to the RMA GIS Viewer, the proposed project site is located approximately 3,500 feet from the nearest railroad crossing. While the proposed project would generate additional traffic trips, it is unlikely that such trips would result in substantial interference with existing railroad facilities or operations. In addition, the proposed project would not be a use that would generate new demand for railroads. Therefore, the proposed project would be consistent with the General Plan Goals and Policies that pertain to item 27d.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27e. Transportation &amp; Circulation – Airports (Airports)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Have the potential to generate complaints and concerns regarding interference with airports?	x				x			
2) Be located within the sphere of influence of either County operated airport?	x				x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27e of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27e-1, 27e-2, and 27e-3. According to the RMA GIS Viewer, the proposed project site is not located within an Airport Safety Zone or Airport Sphere of Influence. County policies related to airports do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27f. Transportation &amp; Circulation - Harbor Facilities (Harbors)</b>								
<b>Would the proposed project:</b>								
1) Involve construction or an operation that would increase the demand for commercial boat traffic and/or adjacent commercial boat facilities?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27f of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27f-1. and 27f-2. The project site is not located near a harbor. The proposed project would have no adverse impacts to harbor facilities. County policies related to harbor facilities do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>27g. Transportation &amp; Circulation - Pipelines</b>								
<b>Would the proposed project:</b>								
1) Substantially interfere with, or compromise the integrity or affect the operation of, an existing pipeline?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27g of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

27g-1. and 27g-2. According to the RMA GIS Viewer, the proposed project site is not located over or adjacent to existing major or minor pipelines. The proposed project would have no impact on existing pipelines. County policies related to pipelines do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28a. Water Supply – Quality (EHD)</b>								
<b>Would the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 28a of the Initial Study Assessment Guidelines?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 28a of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

28a 1. Domestic water supply for the proposed project would be provided via an existing connection to Ventura County Waterworks District No. 1 (existing domestic water supply connection was verified by a June 19, 2018 letter from Waterworks District No. 1). The proposed project would not have any project specific or cumulative impacts to the domestic water supply--quality.

28a 2. The proposed project is consistent with the General Plan for Item 28a of the Initial Study Assessment Guidelines regarding permanent domestic water supply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28b. Water Supply – Quantity (WPD)</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Have a permanent supply of water?		x				x		
2) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that would adversely affect the water supply - quantity of the hydrologic unit in which the project site is located?		x				x		
3) Be consistent with the applicable General Plan Goals and Policies for Item 28b of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

28b-1. The project site is currently served domestic water by VCWWD 1 for domestic use. The applicant's information shows that the proposed project would also be served by VCWWD 1. VCWWD 1 provided the applicant with a Water Availability Letter but has not yet provided the applicant with a Will Serve Letter. VCWWD 1 has an approved Water Availability Letter on file with the County (WAL 15 003) and is considered to be able to deliver a permanent supply of potable water to the proposed project and is considered less than significant for Water Supply Quantity.

28b-2. The physical development proposed for the project (kennel buildings) would not adversely affect the water supply quantity of the hydrologic unit in which the project site is located and is considered to be less than significant for Water Supply Quantity.

28b-3. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 28b.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>28c. Water Supply - Fire Flow Requirements (VCFPD)</b>								
<b>Would the proposed project:</b>								
1) Meet the required fire flow?		x				x		
2) Be consistent with the applicable General Plan Goals and Policies for Item 28c of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

28c-1. The VCFPD would require verification from the water purveyor that the purveyor can provide the required fire flow before the issuance of building permits.

28c-2. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 28c of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29a. Waste Treatment &amp; Disposal Facilities - Individual Sewage Disposal Systems (EHD)</b>								
<b>would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Comply with applicable state and local requirements as set forth in Section 29a of the Initial Study Assessment Guidelines?		x				x		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29a of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

29a 1. The proposed project includes the continued use of an existing onsite wastewater treatment systems (OWTS) and the installation of a new OWTS for the proposed "Administration" building. Septic pumping reports dated June 28, 2017, indicate the existing systems were in good working order at the time of inspection. Soils report dated March 7, 2018, indicates the site is suitable for a conventional septic system and proposes an OWTS consisting of one 1000 gallon septic tank with seepage pit. Septic feasibility has been demonstrated. EHD has imposed a standard permit condition requiring that a complete and detailed evaluation of the proposed OWTS be conducted by EHD Liquid Waste Program staff during the plan review and construction permitting process. EHD Liquid Waste Program staff would review and verify all relevant documentation, including but not limited to: geotechnical report, system design calculations, compliance with local building codes, and historic geological data for the area.

The proposed project would dispose of dog kennel and grooming wastewater via a proposed onsite pretreatment system and infiltration basin. A waste discharge permit from the LARWQCB would be required in order for this project to comply with State law.

Conformance with the County Building Code Ordinance, State OWTS policy, waste discharge requirements and groundwater monitoring schedule established by the LARWQCB, EHD guidelines and the EHD Local Agency Management Program, as well as proper routine maintenance of OWTS, would reduce any project specific and cumulative impacts to a level considered less than significant.

29a 2. The proposed project would be consistent with the General Plan for Item 29a of the Initial Study Assessment Guidelines provided the domestic OWTS and the animal wastewater infiltration system are properly installed and maintained so as not to contaminate groundwater or create a public nuisance, adequate setbacks are

maintained, and the operator remains in compliance with Waste Discharge Requirements set by the LARWQCB.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29b. Waste Treatment &amp; Disposal Facilities - Sewage Collection/Treatment Facilities (EHD)</b>								
<b>Would the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29b of the Initial Study Assessment Guidelines?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29b of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

29b 1. The proposed project would utilize on-site wastewater treatment system technologies for domestic and kennel wastewater and would not require connection to a sewage collection facility at this time. The project would not have any project specific or cumulative impacts to a sewage collection facility.

29b 2. The proposed project is consistent with the General Plan for Item 29b of the Initial Study Assessment Guidelines regarding sewage disposal.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29c. Waste Treatment &amp; Disposal Facilities - Solid Waste Management (PWA)</b>								
<b>Would the proposed project:</b>								
1) Have a direct or indirect adverse effect on a landfill such that the project impairs the landfill's disposal capacity in terms of reducing its useful life to less than 15 years?		x				x		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29c of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

29c 1. As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, confirms Ventura County has at least 15 years of disposal capacity available for waste generated by in-County projects. Because the County currently exceeds the minimum disposal capacity required by state PRC, the proposed project would have less than significant project-specific impacts upon Ventura County's solid waste disposal capacity.

29c 2. Ventura County Ordinance 4421 requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities to reuse, salvage, recycle, or compost a minimum of 65% of the solid waste generated by their project. The IWMD's waste diversion program (Form B Recycling Plan/Form C Report) ensures this 65% diversion goal is met prior to issuance of a final zoning clearance for use inauguration or occupancy, consistent with the Ventura County General Plan's Waste Treatment and Disposal Facility Goals 4.4.1-1 and -2 and Policies 4.4.2-1, -2, and -6.

Therefore, the proposed project would have less than significant project-specific impacts, and would not make a cumulatively considerable contribution to significant cumulative impacts related to the Ventura County General Plan's goals and policies for solid waste disposal capacity.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>29d. Waste Treatment &amp; Disposal Facilities - Solid Waste Facilities (EHD)</b>								
<b>Would the proposed project:</b>								
1) Comply with applicable state and local requirements as set forth in Section 29d of the Initial Study Assessment Guidelines?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29d of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

29d 1. The proposed project does not include a solid waste operation or facility. The project would not have any project-specific or cumulative impacts related to a solid waste operation or facility.

29d 2. The proposed project does not involve a solid waste operation or facility and is consistent with the General Plan for Item 29d of the Initial Study Assessment Guidelines.

**Mitigation/Residual Impact(s)**

No mitigation measures required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>30. Utilities</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
a) Individually or cumulatively cause a disruption or re-routing of an existing utility facility?		x				x		
b) Individually or cumulatively increase demand on a utility that results in expansion of an existing utility facility which has the potential for secondary environmental impacts?		x				x		
c) Be consistent with the applicable General Plan Goals and Policies for Item 30 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

30a., 30b., and 30c. Electrical service would be provided by Southern California Edison. As there is no Southern California Gas Service available at the proposed kennel site, the applicant would install propane tanks within the kennel site. Underground gas lines would connect the tanks to the proposed buildings. According to information provided by the agent, the proposed project would not increase demand on the electrical utility that results in expansion of an existing electric utility facility. The proposed development would not have adverse impacts on utility facilities and it would be consistent with the General Plan Goals and Policies that pertain to item 30.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>31a. Flood Control Facilities/Watercourses - Watershed Protection District (WPD)</b>								
Would the proposed project:								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Either directly or indirectly, impact flood control facilities and watercourses by obstructing, impairing, diverting, impeding, or altering the characteristics of the flow of water, resulting in exposing adjacent property and the community to increased risk for flood hazards?		x				x		
2) Be consistent with the applicable General Plan Goals and Policies for Item 31a of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

31a-1. and 31a-2. The proposed project site is situated approximately 1000 feet east of South Grimes Canyon Wash and approximately 5000 feet north of Arroyo Las Posas, which are Ventura County Watershed Protection District (District) jurisdictional redline channels. No direct connections to these District channels appear to be proposed or indicated on the applicant’s submitted materials.

Runoff from the increases in impervious area and stormwater drainage design would be released at no greater than the undeveloped flow rate and in such manner as to not cause an adverse impact downstream in peak, velocity, or duration in accordance with Appendix J of the Ventura County Building Code. With the imposition of building code requirements and conditions by Ventura County Public Works Agency—Land Development Services Division, District staff determine that direct and indirect project-specific and cumulative impacts to flood control facilities and watercourses would be less than significant on redline channels under the jurisdiction of the District.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>31b. Flood Control Facilities/Watercourses - Other Facilities (PWA)</b>								
<b>Would the proposed project:</b>								
1) Result in the possibility of deposition of sediment and debris materials within existing channels and allied obstruction of flow?		x				x		
2) Impact the capacity of the channel and the potential for overflow during design storm conditions?		x				x		
3) Result in the potential for increased runoff and the effects on Areas of Special Flood Hazard and regulatory channels both on and off site?	x				x			
4) Involve an increase in flow to and from natural and man-made drainage channels and facilities?	x				x			
5) Be consistent with the applicable General Plan Goals and Policies for Item 31b of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

31b-1. This project would not create an obstruction of flow in the existing drainage as site runoff would maintain the drainage pattern that presently exist. Future development would be completed according to current codes and standards that would require no increase in sediment discharge or obstruction of flows in existing channels.

31b-2. The project preserves the existing trend of runoff and local drainage patterns. The project would not create an obstruction of flow in the existing drainage as any runoff would be similar to the present conditions and directed to the existing drainage areas. The project includes a detention basin that is designed to manage the increased flows from the project's total impervious area and control and limit discharge to the existing condition.

31b-3. The project runoff would be similar to the present and no increase in effects on Areas of Special Flood Hazard would occur than the pre-project condition. The drainage conditions would remain similar to the existing conditions. The site drainage system including the detention basin are designed to maintain runoff at or below predevelopment rates and amounts. (Preliminary Hydrology Letter, August 3, 2018, Jensen Design & Survey, Inc.)

31b-4. The project would not result in an increase in runoff from the existing conditions due to the construction of detention basin that would reduce the runoff from project proposed impervious areas to the existing condition.

31b-5. The project would not result in an increase in runoff from the existing conditions due to the construction of detention basin that would reduce the runoff from project proposed impervious areas to the existing condition. Therefore, the impacts of the project on drainage facilities not under the jurisdiction of the Watershed Protection District are less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>32. Law Enforcement/Emergency Services (Sheriff)</b>								
<b>Would the proposed project:</b>								
a) Have the potential to increase demand for law enforcement or emergency services?		x				x		
b) Be consistent with the applicable General Plan Goals and Policies for Item 32 of the Initial Study Assessment Guidelines?		x				x		

**Impact Discussion:**

32a. The proposed project has the potential to increase the demand for law enforcement or emergency services. However, the proposed kennel facility would be

enclosed by chain link fencing to address potential increases in theft, vandalism, or disturbances. Entry gates would also be installed to prevent entry to the site. In addition, pole lights would be installed in the parking area and in accessways to the proposed administration building. The site lights would be on solar timers to remain on until employees leave for the night and after that would be activated by motion sensors. Each kennel building has motion activated lights at each entrance and at various spaces around the perimeters. Finally, all the windows and doors would be lockable.

32b. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 32.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>33a. Fire Protection Services - Distance and Response (VCFPD)</b>								
<b>Would the proposed project:</b>								
1) Be located in excess of five miles, measured from the apron of the fire station to the structure or pad of the proposed structure, from a full-time paid fire department?	x				x			
2) Require additional fire stations and personnel, given the estimated response time from the nearest full-time paid fire department to the project site?	x				x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33a of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

33a-1., 33a-2., and 33a-3. Staff from the VCFPD state that the proposed project would be located within five miles of the nearest fire station, that no new fire stations or

personnel would be required, and that the proposed project would be consistent with the applicable General Plan Goals and Policies for Item 33a.

**Mitigation/Residual Impact(s)**

No new mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>33b. Fire Protection Services – Personnel, Equipment, and Facilities (VCFPD)</b>								
<b>Would the proposed project:</b>								
1) Result in the need for additional personnel?	x				x			
2) Magnitude or the distance from existing facilities indicate that a new facility or additional equipment would be required?	x				x			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33b of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

33b-1., 33b-2., and 33b-3. Staff from the VCFPD state that no new personnel would be required, that no new facilities or equipment would be required, and that the proposed project would be consistent with the applicable General Plan Goals and Policies for Item 33b.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>34a. Education - Schools</b>								
<b>Would the proposed project:</b>								
1) Substantially interfere with the operations of an existing school facility?	x				x			
2) Be consistent with the applicable General Plan Goals and Policies for Item 34a of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

34a-1. and 34a-2. The proposed dog kennel facility is non-residential in nature. According to the ISAGs, non-residential projects would not have an impact on the demand for schools. In addition, because the proposed non-residential project is not located adjacent to a school (no school is located within one mile of the proposed non-residential project), it would not interfere with the operations of an existing school. County policies related to schools do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>34b. Education - Public Libraries (Lib. Agency)</b>								
<b>Would the proposed project:</b>								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
1) Substantially interfere with the operations of an existing public library facility?	x							
2) Put additional demands on a public library facility which is currently deemed overcrowded?	x							
3) Limit the ability of individuals to access public library facilities by private vehicle or alternative transportation modes?	x							
4) In combination with other approved projects in its vicinity, cause a public library facility to become overcrowded?					x			
5) Be consistent with the applicable General Plan Goals and Policies for Item 34h of the Initial Study	x				x			

**Impact Discussion:**

34b-1., 34b-2., 34b-3., 34b-4., and 34b-5. The proposed dog kennel project is non-residential in nature. According to the ISAGs, non-residential projects would not have an impact on the demand for public libraries. In addition, the proposed non-residential project is not located adjacent to a public library facility (no libraries are located within one mile of the project). The proposed non-residential project would not substantially interfere with the operations of an existing public library facility, put additional demands on a public library facility which is currently deemed overcrowded, or limit the ability of individuals to access public library facilities. County policies related to public libraries do not apply.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>35. Recreation Facilities (GSA)</b>								
<b>Would the proposed project:</b>								
a) Cause an increase in the demand for recreation, parks, and/or trails and corridors?	x				x			
b) Cause a decrease in recreation, parks, and/or trails or corridors when measured against the following standards: <ul style="list-style-type: none"> <li>• <u>Local Parks/Facilities</u> - 5 acres of developable land (less than 15% slope) per 1,000 population;</li> <li>• <u>Regional Parks/Facilities</u> - 5 acres of developable land per 1,000 population; or,</li> <li>• <u>Regional Trails/Corridors</u> - 2.5 miles per 1,000 population?</li> </ul>	x				x			
c) Impede future development of Recreation Parks/Facilities and/or Regional Trails/Corridors?	x				x			
d) Be consistent with the applicable General Plan Goals and Policies for Item 35 of the Initial Study Assessment Guidelines?	x				x			

**Impact Discussion:**

35a., 35b., and 35. Because the proposed project does not involve a subdivision or increase in housing, it would not cause an increase in the demand for recreation, parks, or trails. Also, the proposed project would not decrease recreational areas, parks, and/or trails and corridors because it would not be located in or adjacent to public recreational areas, parks, and/or trails and corridors. In addition, no publicly owned land is located adjacent to the subject property and no parks are within the vicinity of the proposed project site.

35d. The proposed project would be consistent with the applicable General Plan Goals and Policies for Item 35.

**Mitigation/Residual Impact(s)**

No mitigation measures are required.

**Topics Not Covered by County Initial Study Assessment Guidelines: State CEQA Guidelines Topics**

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>36. Wildfire</b>								
<b>If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</b>								
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?		x				x		
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?		x				x		
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?		x				x		
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?		x				x		

**Impact Discussion:**

36a. through 36d. According to the RMA GIS Viewer, the proposed project site is not located within any State Responsibility Areas or Fire Severity Zones. The nearest State Responsibility Area (of moderate severity) is approximately 1,700 feet from the proposed project site. The VCFPD determined that the proposed project is not located within a high fire hazard area and that the project would be located within five miles of the nearest fire station. In addition, the VCFPD would require that adequate fire flow is available at the proposed project site, that VCFPD vehicles are provided adequate access to the project site, and that automatic fire sprinkler system(s) must be installed in all new structures as required by the VCFPD. Furthermore, the VCFPD determined that the proposed project would not cause adverse fire-related impacts and that it would be consistent with the applicable 2040 General Plan fire-related goals and policies. Finally, the Ventura County Public Works Agency—Land Development Services analyzed the proposed project and determined that it would not result in adverse effects with regard to slope instability, landslides, drainage, or flooding.

**Mitigation/Residual Impact(s)**

No mitigation measure is required.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
<b>37. Energy</b>								
<b>Would the project:</b>								
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?		x				x		
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?		x				x		

**Impact Discussion:**

37a. and 37b. The proposed project includes energy efficiency features which would reduce the consumption of energy resources. All commercial on-road and off-road diesel vehicles used during the construction phase are subject to the idling limits required by applicable California State laws and APCD Rules and Regulations. According to the applicant's architect, the construction equipment and activities for this project are very similar to other projects of this size in Southern California. The kennel and administration buildings would be designed to comply with Title 24 energy conservation requirements. According to the applicant's architect, the building walls and roof would be insulated with four inch thick rigid insulated panels. All windows would be dual glazed. All lighting fixtures would include LED elements and occupancy sensor switches. All appliance (washer, dryer, microwave, cooktop) would be Energy Star certified.

The policies and programs of the Ventura County 2040 General Plan do not compel privately-initiated discretionary development to comply with specific renewable energy or energy efficiency standards or requirements. Therefore, the proposed project would not result in potentially significant environmental effects due to the wasteful, inefficient, or unnecessary consumption of energy or conflict with a known local renewable or energy efficiency plan. Impacts are considered to be less than significant.

**Mitigation/Residual Impact(s)**

No mitigation measure is required.

**\*Key to the agencies/departments that are responsible for the analysis of the items above:**

Airports - Department Of Airports	AG. - Agricultural Department	VCAPCD - Air Pollution Control District
EHD - Environmental Health Division	VCFPD - Fire Protection District	GSA - General Services Agency
Harbors - Harbor Department	Lib. Agency - Library Services Agency	Plng. - Planning Division
PWA - Public Works Agency	Sheriff - Sheriff's Department	WPD – Watershed Protection District

**\*\*Key to Impact Degree of Effect:**

N – No Impact  
 LS – Less than Significant Impact  
 PS-M – Potentially Significant but Mitigable Impact  
 PS – Potentially Significant Impact

## Section C – Mandatory Findings of Significance

Based on the information contained within Section B:		
	Yes	No
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?		x
2. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one that occurs in a relatively brief, definitive period of time while long-term impacts would endure well into the future).		x
3. Does the project have impacts that are individually limited, but cumulatively considerable? “Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effect of other current projects, and the effect of probable future projects. (Several projects may have relatively small individual impacts on two or more resources, but the total of those impacts on the environment is significant.)		x
4. Does the project have environmental effects that would cause substantial adverse effects on human beings, either directly or indirectly?		x

### Findings Discussion:

1. As stated in Section B, above, the proposed project would be located in an agricultural zone where crops have been actively farmed and agricultural activities are conducted. Because of the intense historical and current agricultural practices in the project area, there is no suitable habitat for special status plants or wildlife species to occur. No historical or archaeological resources have been identified on the project site. Therefore, the proposed project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

2. As stated in Section B, the proposed project has the potential to be incompatible with adjacent agricultural resources and operations. The proposed project would introduce employees who would work at the proposed kennel and visitors would come to the kennel who could be affected by the agricultural operations on surrounding properties. In response, the VCAC imposed a mitigation measure requiring a vegetative screen to buffer the project's employees and visitors from the effects (e.g., dust) from adjacent agricultural operations. Also, the proposed kennel buildings and administration building would be setback 150 feet from the common property lines of contiguous agricultural parcels. In addition, the VCAC has also imposed a mitigation measure to notify employees and visitors of agricultural activities within 300 feet of the project boundary. The plan must indicate how employees and visitors would be notified that normal farming operations may cause nuisances and how employees and visitors would be instructed to respond in the rare event that adjacent agricultural operations present a hazard. With the implementation of these two mitigation measures, the proposed project would not be incompatible with adjacent agricultural resources and operations.

The increased impervious surface area of the proposed project has the potential to exceed the threshold of significance related to the surface water quality. To address potentially significant impacts to surface water quality, the applicant would be required to implement post-construction stormwater best management practices to retain/treat the new impervious surface water runoff and to provide a maintenance plan and annual verification of ongoing maintenance of the post-construction stormwater management control system. Implementation of this mitigation measure would ensure individual and cumulative impacts to existing impaired downstream waterbodies and water quality objectives would be avoided. No other significant impacts to long-term environmental goals were identified by County staff.

3. For applicable environmental issues in Section B, Planning staff utilized the list method to evaluate the combined effects of the proposed project with related effects of pending and recently approved projects (Table 1 of Section A, above). For instance, Planning considered the proposed project's construction and operational noise effects with the potential construction and operational noise effects from other pending and recently-approved projects within a four mile radius of the proposed project. Because the other projects are distant (two or more miles away from the proposed project) and because of existing, intervening, noise-attenuating features (hilly terrain, buildings, etc.), Planning staff found that the combined effects of noise would not be cumulatively considerable.

Planning staff also utilized the plan approach by relying on the Program EIR for the Ventura County 2040 General Plan, which was certified in September of 2020. As

described throughout this Initial Study, the proposed project would be consistent with the County’s General Plan. As such, the proposed development has already been reviewed for potential cumulative impacts at a programmatic level.

Staff determined that when considered with other past, present, or probable future projects, the proposed project would not have any cumulatively considerable effects.

4. As mentioned in C2. above, the proposed project would not be incompatible with adjacent agricultural resources with the implementation of the vegetative screen and notification and response plan mitigation measures. Also, the proposed project would not adversely impact surface water quality with the implementation and maintenance of the post-construction stormwater management control system. As mentioned in Section B, no other significant effects to human beings (either directly or indirectly) or the environment were identified by County staff.

## Section D – Determination of Environmental Document

**Based on this initial evaluation:**

[ ]	I find the proposed project <b>could not</b> have a significant effect on the environment, and a <b>Negative Declaration</b> should be prepared.
[x]	I find that although the proposed project could have a significant effect on the environment, there would not be a significant effect in this case because the mitigation measure(s) described in Section B of the Initial Study will be would to the project. A <b>Mitigated Negative Declaration</b> should be prepared.
[ ]	I find the proposed project, individually and/or cumulatively, MAY have a significant effect on the environment and an <b>Environmental Impact Report (EIR)</b> is required.*
[ ]	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An <b>Environmental Impact Report</b> is required, but it must analyze only the effects that remain to be addressed.*
[ ]	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or Negative Declaration pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project, <b>nothing further is required.</b>



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Charles Anthony, Senior Planner

November 1, 2021  
Date

**Attachments:**

Attachment 1 – Aerial Location Map

Attachment 2 – Project Plans

Attachment 3 – Map of Pending and Recently Approved Projects Used in the  
Cumulative Impacts Analysis

Attachment 4 – CalEEMod Existing ROGNOx computer model print-out, Oct. 4, 2018

Attachment 5 – CalEEMod Existing GHG computer model print-out, Oct. 4, 2018

Attachment 6 – Works Cited



Ventura County, California  
Resource Management Agency  
GIS Development & Mapping Services  
Map Created on 04-06-2021  
This aerial imagery is under the  
copyrights of Pictometry: DEC. 2019

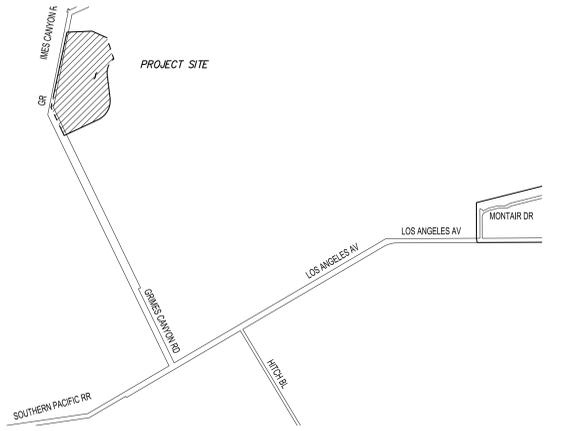
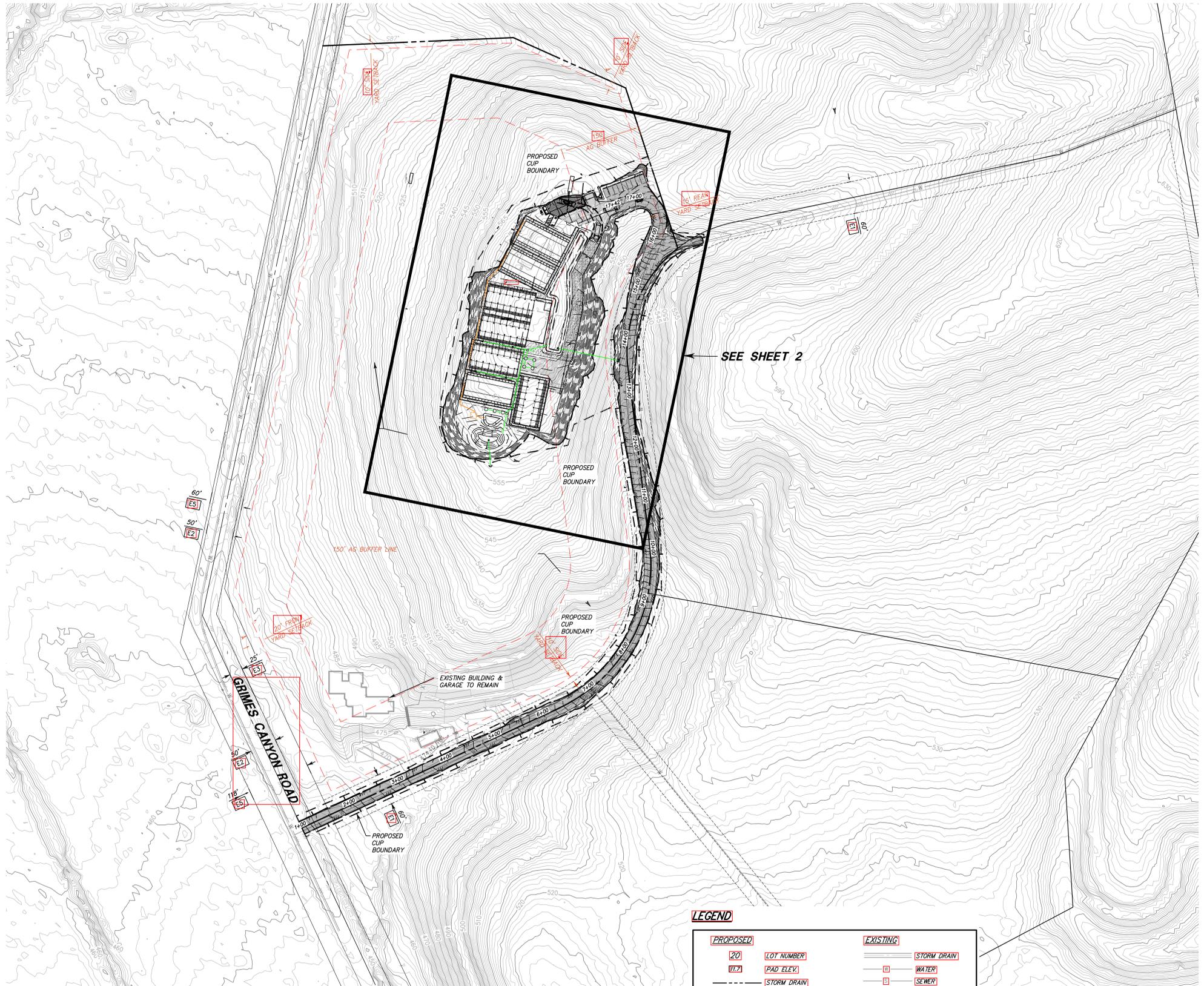


County of Ventura  
Mitigated Negative Declaration  
PL18-0109  
Attachment 1 - Aerial Location Map



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does no twarrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.





VICINITY MAP  
NOT TO SCALE

LAND USE DATA

A.P.N.	503-0-060-145
PARCEL SIZE	21.88 ACRES
<b>STRUCTURES:</b>	
<b>EXISTING STRUCTURES TO REMAIN:</b>	
① RESIDENCE	5,613 S.F.
② GARAGE	800 S.F.
③ CARETAKER BUILDING	1,596 S.F.
<b>EXISTING TO REMAIN TOTAL</b>	<b>8,009 S.F.</b>
<b>PROPOSED STRUCTURE:</b>	
PHASE 1: ADMIN BUILDING & (2) KENNEL BUILDINGS	6,180 S.F.
PHASE 2: KENNEL BUILDING	1,890 S.F.
PHASE 3: KENNEL BUILDING	1,890 S.F.
PHASE 4: KENNEL BUILDING	1,890 S.F.
PHASE 5: (2) KENNEL BUILDINGS	3,780 S.F.
<b>PROPOSED STRUCTURES TOTAL:</b>	<b>15,630 S.F.</b>
<b>TOTAL STRUCTURES TO REMAIN ROOF COVERAGE:</b>	<b>29,802 S.F.</b>
<b>TOTAL LOT COVERAGE:</b>	<b>3.3%</b>
<b>AVAILABLE S.F. REMAINING:</b>	<b>17,853 S.F.</b>
<b>DESIGNATIONS OF SITE</b>	
GENERAL PLAN DESIGNATION	AGRICULTURAL
COUNTY ZONING	AE-40

SEE SHEET 2

LEGEND

PROPOSED	EXISTING
20 LOT NUMBER	SD STORM DRAIN
11.2 PAD ELEV.	W WATER
STORM DRAIN	S SEWER
CATCH BASIN	G GAS
SURFACE DRAIN	T TELEPHONE
W WATER	OHE OVERHEAD ELEC.
S SEWER	WV WATER VALVE
FM FORCE MAIN SEWER	FH FIRE HYDRANT
TOP OF SLOPE	SL STREET LIGHT
TOE OF SLOPE	CL CONTOUR LINE
FLOWLINE	ST STREET SIGN
EASEMENT LINE	ABBREVIATIONS

**EASEMENT LEGEND**

E1: 60' ACCESS & UTILITIES EASEMENT - STRIP 1 PER 17PM25, STRIP 25 PER 16PM82, 4339 OR 760, 4411 OR 502
E2: ROAD EASEMENT TO THE COUNTY OF VENTURA PER 38 DDS 413.
E3: WATER PIPELINE EASEMENT TO G. ELDON EVERETT PER 950 OR 138
E4: GRANT OF WATER WELL EASEMENT AND TERMS AND PROVISIONS TO PARCELS C, D, E PER 20130809-00140239 OR, 20130919-00160709 OR, 20130919-00160710 OR, 20130919-00160711 OR, 20130919-00160711 OR & 20170509-00061174 OR (THE EXACT LOCATION IS NOT DETERMINED BY METES AND BOUNDS)
E5: ROAD EASEMENT TO THE COUNTY OF VENTURA PER 4309 OR 901.

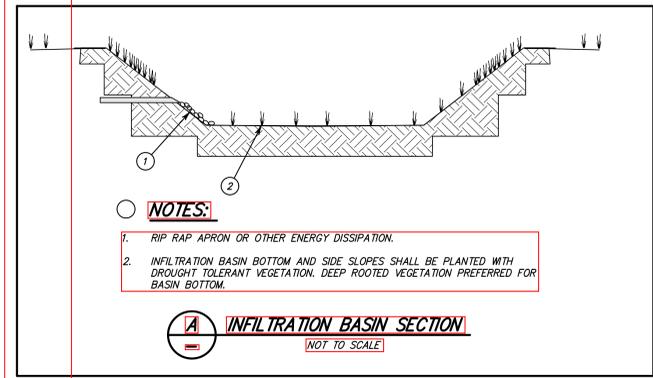
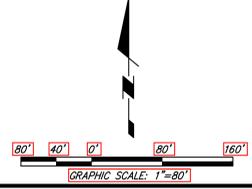
**PRELIMINARY EARTHWORK QUANTITIES**

AREA	CUT	FILL	NET
ACCESS ROAD (SHEET 1):	1500 C.Y.	2900 C.Y.	1400 C.Y. (FILL)
KENNELS (SHEET 2):	9300 C.Y.	7800 C.Y.	1400 C.Y. (CUT)
<b>TOTALS:</b>	<b>10800 C.Y.</b>	<b>10800 C.Y.</b>	<b>BALANCED ON SITE</b>

**GENERAL NOTES**

- CONSTRUCTION VIBRATION: ALL GRADING MUST BE PERFORMED IN COMPLIANCE WITH THE VENTURA COUNTY BUILDING CODE (VCBC), SECTION J101.7 OF THE VCBC.

County of Ventura  
Mitigated Negative Declaration  
PL18-0109  
Attachment 2 - Plans



**NOTES:**

- RIP-RAP APRON OR OTHER ENERGY DISSIPATION.
- INFILTRATION BASIN BOTTOM AND SIDE SLOPES SHALL BE PLANTED WITH DROUGHT TOLERANT VEGETATION. DEEP ROOTED VEGETATION PREFERRED FOR BASIN BOTTOM.

A INFILTRATION BASIN SECTION  
NOT TO SCALE

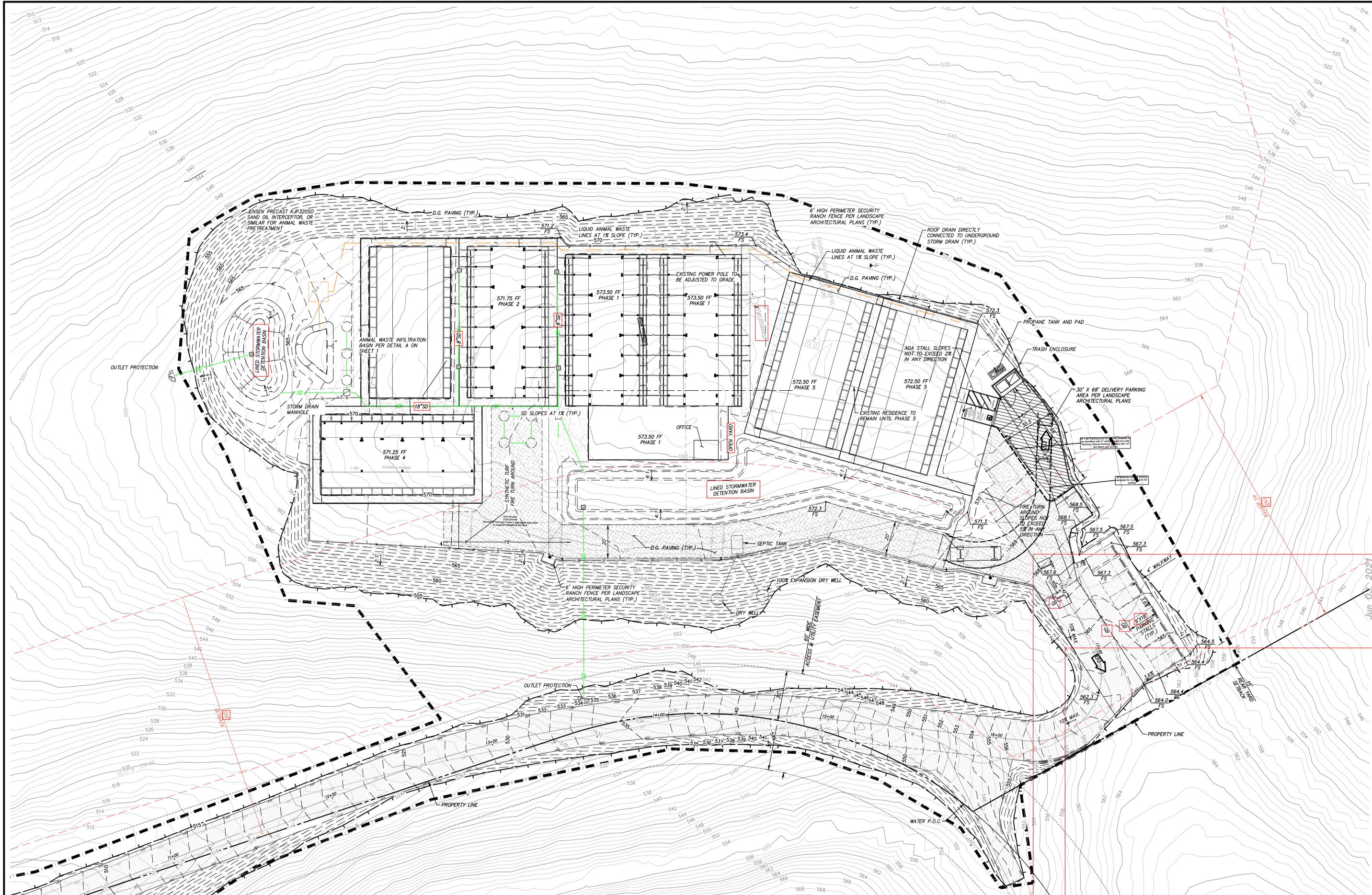
**JENSEN DESIGN & SURVEY, INC.**  
1672 DONLON STREET  
VENTURA, CALIF. 93003  
PHONE: 805/654-6977  
FAX: 805/654-6979

SCALE: AS NOTED  
DATE: 6/3/21  
DWS: NAME: 5802-01\_02-PPR.dwg

**SITE PLAN/PRELIM GRADING**  
FOR  
**GOLDEN MEADOWS KENNEL**  
5500 Grimes Canyon Road  
COUNTY OF VENTURA STATE OF CALIFORNIA

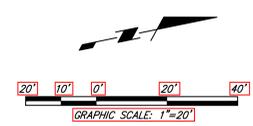
SHEET  
1  
OF  
2

Jun 03, 2021



**GENERAL NOTES**  
 1. CONSTRUCTION VIBRATION: ALL GRADING MUST BE PERFORMED IN COMPLIANCE WITH THE VENTURA COUNTY BUILDING CODE (VCBC), SECTION J101.7 OF THE VCBC.

**PRELIMINARY EARTHWORK QUANTITIES (KENNELS AREA ONLY)**  
 CUT = 9300 CUBIC YARDS  
 FILL = 7900 CUBIC YARDS  
 NET = 1400 CUBIC YARDS (CUT)



**JENSEN DESIGN & SURVEY, INC.**  
 1672 DONLON STREET  
 VENTURA, CALIF 93003  
 PHONE: 805/654-6977  
 FAX: 805/654-6979  
 www.jdsurvey.com

SCALE: AS NOTED  
 DATE: 6/3/21  
 J.N.: HOK01.5802  
 DWG. NAME: 5802-01\_02-POP.dwg

**SITE PLAN/PRELIM GRADING**  
 FOR  
**GOLDEN MEADOWS KENNEL**  
 5500 Grimes Canyon Road  
 COUNTY OF VENTURA STATE OF CALIFORNIA

SHEET  
 2  
 OF 2

Jun 03, 2021

J:\0060448\Planning\5802-01\_02-POP.dwg Jun 02, 2021, 1:33pm

## SITE COVERAGE & STATISTICS

EXISTING:		PROPOSED	
Gross=Net Site Area	953,093 sq ft 21.88 acres	Gross=Net Site Area	953,093 sq ft 21.88 acres
Existing Residence Coverage	5,613 sf	Building Footprint Area (roof coverage)	
Detached Garage Coverage	800 sf	Phase 1: Administration Building	2,480 sf
Caretaker Unit	1,596 sf	Kennel Buildings (3,135 x 2)	6,270 sf
TOTAL EXISTING	8,009 SF	Phase 2: Kennel Building (1 ea)	3,247 sf
		Phase 3: Kennel Building	3,247 sf
		Phase 4: Kennel Building	3,247 sf
		Phase 5: Kennel Building x 2	6,494 sf
		Demolish Caretaker Bldg	-1,596 sf
		NET NEW BUILDING ROOF AREA	23,389 sf
		Existing buildings to remain	6,413 sf
		TOTAL BUILDING ROOF COVERAGE	29,802 sf
		BUILDING SITE COVERAGE:	
		(29,802 / 89,167) = 3.3%	
		MAXIMUM ALLOWABLE COVERAGE	
		(953,093 x 5%) = 47,655 sf	
		<b>29,802 sf &lt; 47,655 sf</b>	<b>COVERAGE OK</b>

## PROJECT STATISTICS

### GENERAL PROJECT STATISTICS

#### PROPOSED BUILDING INFORMATION

Kennels/Admin Construction Type:	3B
Mng'r's Office Construction Type:	5B
Storage/Training/Kennel ("STK") Occ Group:	M
Mng'r's Office Occupancy Group:	M
Allowable Height Above Grade:	
STK Bldg: Type 3B, Sprinklered: 75' allowed vs 15' actual	
Office Bldg: Type 5B, Non Spr: 60' allowed vs 15' actual	
Allowable Stories Above Grade:	
STK Bldg: Type 3B, Sprinklered: 4 allowed vs 1 actual	
Office Bldg: Type 5B, Non Spr: 3 allowed vs 15' actual	
Allowable Floor area:	
STK Bldg: Type 3B, Sprinklered: 76,000 sf allowed vs 17,506 sf actual	
Office Bldg: Type 5B, Non Spr: 9,000 sf allowed vs 800 sf actual	
<b>Ground Floor Area: Gross</b>	<b>15,630 sf</b>
Phase 1:	6,180 sf
Phase 1A:	1,890 sf
Phase 2:	1,890 sf
Phase 3:	1,890 sf
Phase 4:	1,890 sf
Phase 5:	1,890 sf
<b>Ground Floor Area: Net</b>	<b>15,098 sf</b>
Phase 1:	6,033 sf
Phase 1A:	1,813 sf
Phase 2:	1,813 sf
Phase 3:	1,813 sf
Phase 4:	1,813 sf
Phase 5:	1,813 sf
No. of covered Parking Spaces	0 spaces
No. of uncovered Parking Spcs	10 spaces
	7 employee spaces, 2 customer spaces, 1 ADA space

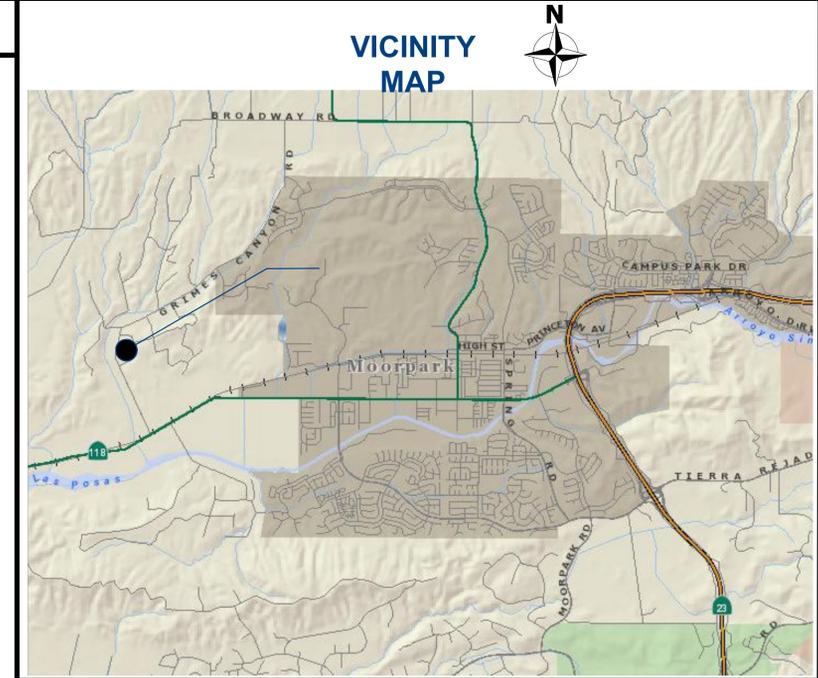
### ZONING STATISTICS

General Plan Area:	Agricultural
Neighborhood Plan Area:	Agricultural
Zoning Designation:	AE-40
Front Setback:	20 ft
Between Bldgs on site:	10 ft
Side Setback:	10 ft
Rear Setback:	15 ft
Maximum Building Height:	25 ft
Coastal Zone:	NO
High Fire Zone:	NO

#### PLUMBING FIXTURES

Occupant Load Factor:	
Admin Bldg: Group B: 1 occupant / 200 sf	
2,407 sf / 200 = 13 occupants	
Kennel Bldgs: Group F: 1 occupant / 2,000 sf	
1,848/bldg x 7 total bldgs = 12,936 sf	
12,936 sf / 2,000 = 7 occupants	
<b>TOTAL PROJECT OCCUPANTS = 20</b>	
10 male, 10 Female	
Table 422.1	
Toilets: Male 1ea/50 = 1 Toilet	
Female 1ea/15 = 1 Toilet	
Lavs: Male 1ea/75 = 1 Lav	
Female 1ea/50 = 1 Lav	
Urinal: Male 1ea/100 = toilet	

### OWNER INFORMATION



### SCOPE OF WORK

## GOLDEN MEADOWS KENNELS

### DESIGN PROFESSIONALS

**ARCHITECT:**  
Burke Design  
David L. Burke, AIA  
4141 State St., Ste C 4.10  
Santa Barbara CA 93110  
ph: 805-453-6464  
fx: 805-293-8538  
Email: DLBurke@Burke-Design.biz

**CIVIL ENGINEER & PLANNING**  
Jensen Design & Surveying, Inc  
Eric Nagy  
1672 Donlon St  
Ventura, CA 93003  
Email: enagy@jdsccivil.com  
ph: 805-654-6977  
fx: 805-654-6979

**STRUCTURAL ENGINEER**  
Name  
Street  
City  
ph  
fx  
Email  
xxxx

**MECHANICAL ENGINEER**  
Name  
Street  
City  
ph  
fx  
Email  
xxxx

**ELECTRICAL ENGINEER**  
Name  
Street  
City  
ph  
fx  
Email  
xxXXX

**SOILS ENGINEER**  
Gold Coast GeoServices, Inc  
Scott Hogrefe  
5251 Verdugo Way, Suite J  
Camarillo, CA 93102  
ph: 805-484-5070  
fx: 805-484-4295  
Email: Scott@goldcoastgeoservices.com

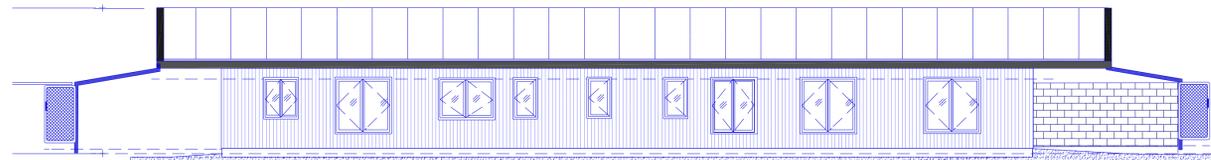
**METAL BUILDING MANUFACTURER**  
Name  
Street  
City  
ph  
fx  
Email  
xxxx

**LANDSCAPE ARCHITECT**  
Robert A. Fowler Landscape Architect  
Rob Fowler  
1215 De La Vina Street, Suite L  
Santa Barbara, CA 93101  
ph: 805-730-7555  
fx: 805-730-1640  
Email: raffarch@aol.com

### SHEET INDEX

A-0.00	Cover
A-1.00	Site Fire Access
A-2.00	Detail Fire Access Plan
A-3.00	Exterior Elevations
A-4.00	Phs 1 Site and Floor Plan
A-5.00	Phs 2 Site and Floor Plan
A-6.00	Phs 3 Site and Floor Plan
A-7.00	Phs 4 Site and Floor Plan
A-8.00	Phs 5 Site and Floor Plan
A-9.00	Large Scale Site Plan All
Phases	
A-10.00	Site Lighting Photometric Plan
A-11.00	Lighting Fixture Specifications
A-12.00	Manager's Office Site Plan
A-13.00	Manager's Office Remodel Plan
A-14.00	Kennel Partition Plan

#### Revisions



**PHASE 1**  
**Administration/Kennel Building**  
**East Elevation**

**Burke Design**

4141 State Street, Suite C4.1  
Santa Barbara, CA 93110  
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Email: DLBurke@burke-design.biz

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**GOLDEN MEADOWS KENNELS**

5500 Grimes Canyon Road  
Moorpark, CA 93021

APN: 503-0-060-145

**Tim and Barbie Hoke**

5500 Grimes Canyon Road  
Moorpark, CA 93021  
Ph: 805-632-2216

E-Mail: gldmeadowsret@aol.com

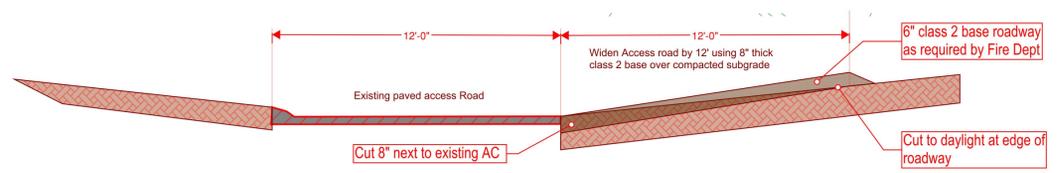
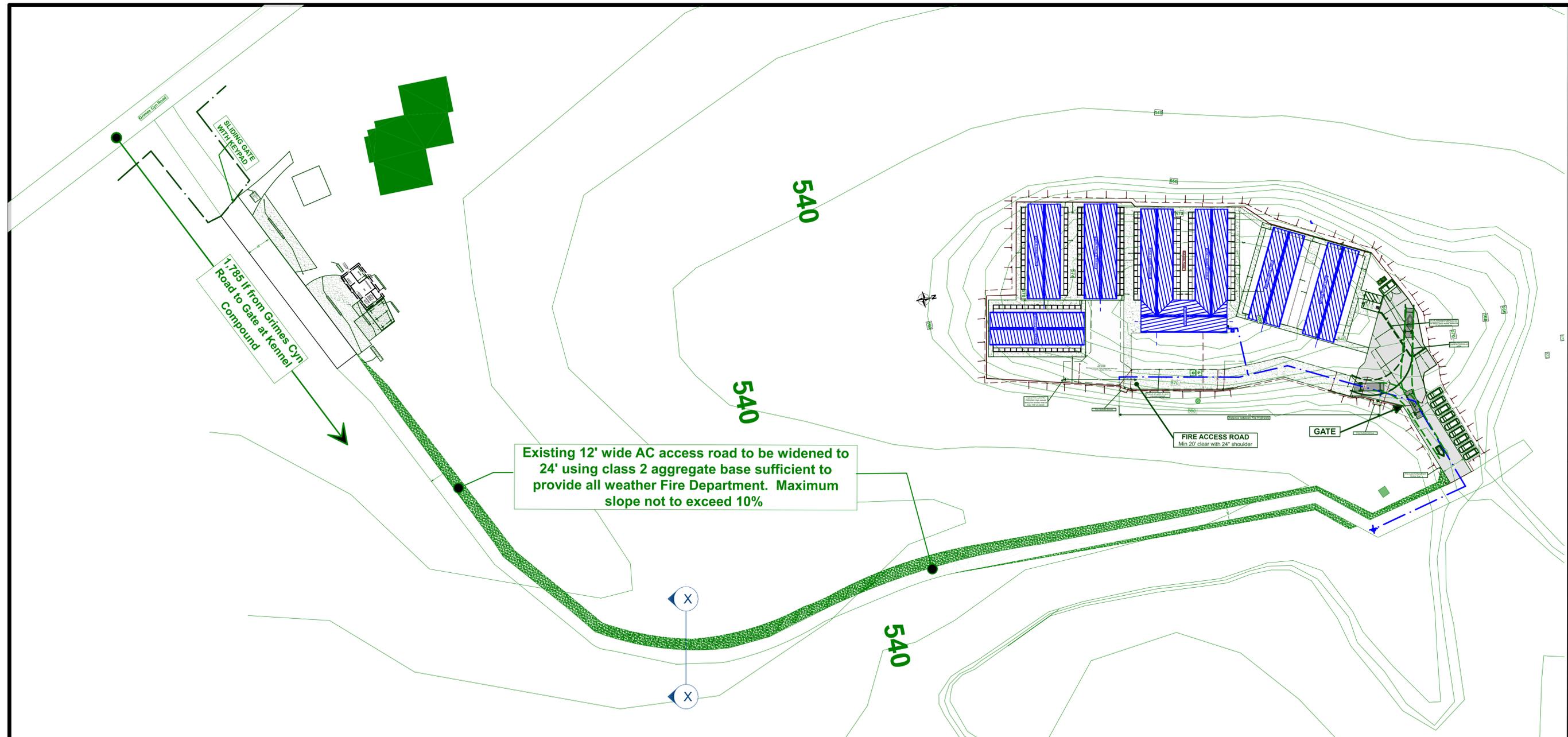


Sheet Number

**A-0.00**

Cover Sheet

Plan Set Ref. Date  
150' setback  
11-06-20



Section Through Access Road nts

**FIRE DEPARTMENT ACCESS PLAN** Scale 1"=50'

**Burke Design**  
4141 State Street, Suite C4.1  
Santa Barbara, CA 93110  
Ph: 805-964-8800 Fx: 805-295-8538  
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**GOLDEN MEADOWS KENNELS**  
5500 Grimes Canyon Road  
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APN: 503-0-060-145

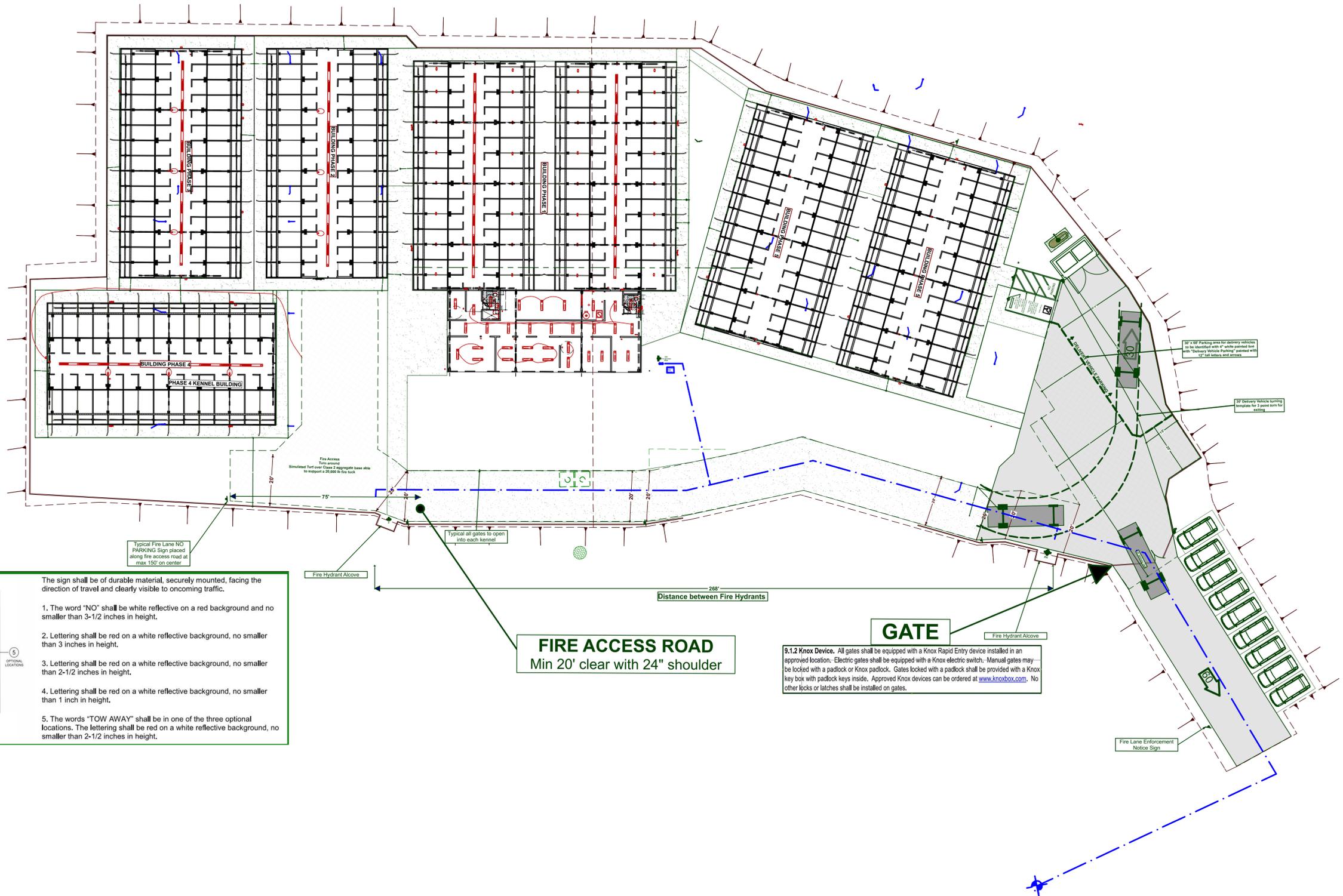
**Tim and Barbie Hoke**  
5500 Grimes Canyon Road  
Moorpark, CA 93021  
Ph: 805-532-2216  
E-Mail: gldnmeadowsret@aol.com

Revisions




Sheet Number  
**A-1.00**

Plan Set Ref. Date  
150' setback  
11-06-20



The sign shall be of durable material, securely mounted, facing the direction of travel and clearly visible to oncoming traffic.

1. The word "NO" shall be white reflective on a red background and no smaller than 3-1/2 inches in height.
2. Lettering shall be red on a white reflective background, no smaller than 3 inches in height.
3. Lettering shall be red on a white reflective background, no smaller than 2-1/2 inches in height.
4. Lettering shall be red on a white reflective background, no smaller than 1 inch in height.
5. The words "TOW AWAY" shall be in one of the three optional locations. The lettering shall be red on a white reflective background, no smaller than 2-1/2 inches in height.

**9.1.2 Knox Device.** All gates shall be equipped with a Knox Rapid Entry device installed in an approved location. Electric gates shall be equipped with a Knox electric switch. Manual gates may be locked with a padlock or Knox padlock. Gates locked with a padlock shall be provided with a Knox key box with padlock keys inside. Approved Knox devices can be ordered at [www.knoxbox.com](http://www.knoxbox.com). No other locks or latches shall be installed on gates.

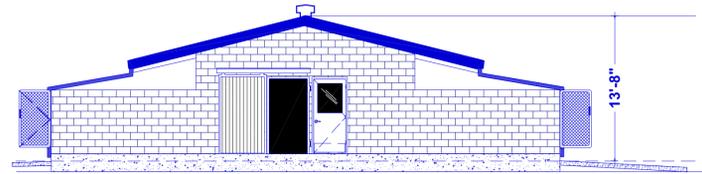
**FIRE LANE ENFORCEMENT NOTICE SIGN AT ENTRY TO PROJECT**

1. The sign shall be of a durable material, securely mounted, facing the direction of travel and clearly visible to oncoming traffic entering the designated area.
2. The words "FIRE LANE" shall be white reflective lettering on a red background and no smaller than 4 inches in height.
3. Lettering shall be red on a white reflective background, no smaller than 2 inches in height.
4. The words "POLICE/SHERIFF" and the name of each towing company under written authorization agreement from the property owner to tow shall be placed on the sign. The respective telephone number for each shall be listed below their name. The applicable California Vehicle Code sections shall be listed. Lettering shall be red on a white reflective background and be no smaller than 1 inch in height.

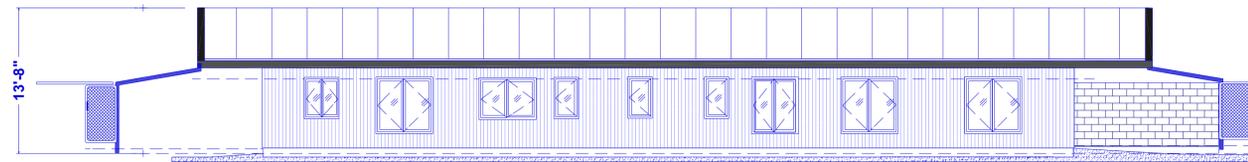
# FINAL SITE PLAN & FIRE DEPARTMENT ACCESS PLAN Scale 1"=20'

Revisions

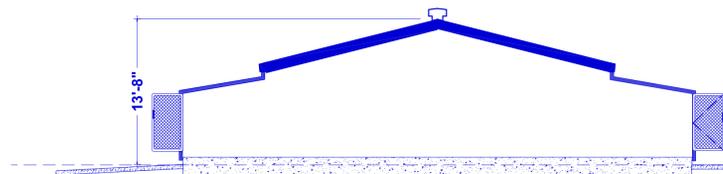


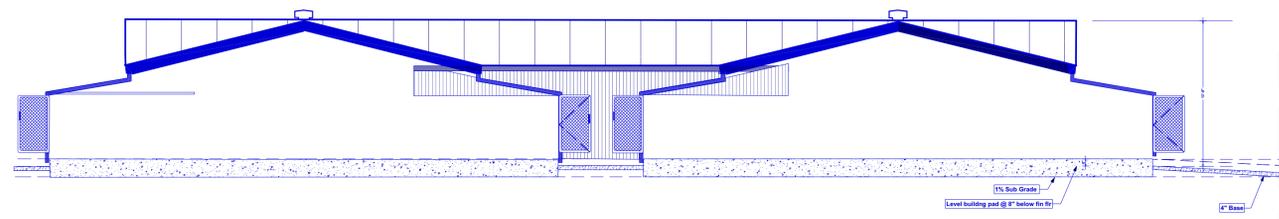
**PHASE 2,3,4,5  
Kennel Buildings  
Typical Front End Wall Elevation**



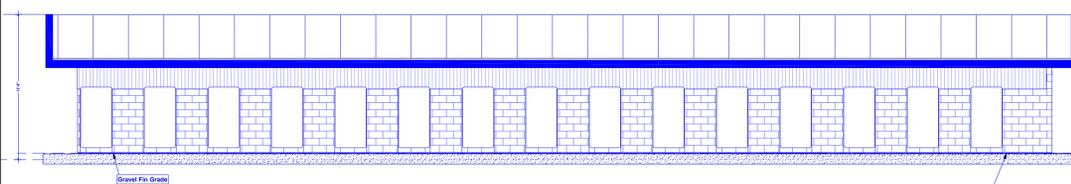
**PHASE 1  
Administration/Kennel Building  
East Elevation**



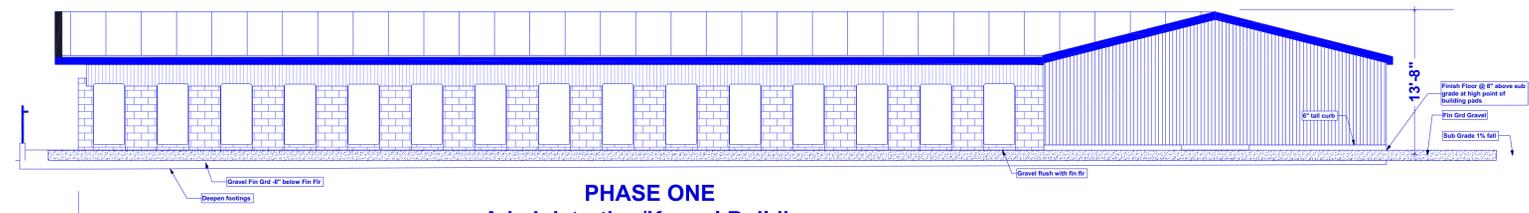
**PHASE 2,3,4,5  
Kennel Buildings  
Typical Rear End Wall Elevation**



**PHASE 1  
Administration/Kennel Building  
West Elevation**



**PHASE 2, 3, 4, 5  
Typical Kennel Building  
Typical Side Wall Elevations, both sides**



**PHASE ONE  
Administration/Kennel Building  
South Elev (North similar but reversed)**

**Exterior Elevations** scale 1/8"

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Email: DLBurke@burke-design.biz  
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**GOLDEN MEADOWS KENNELS**  
5500 Grimes Canyon Road  
Moorpark, CA 93021  
APN: 503-0-060-145

**Tim and Barbie Hoke**  
5500 Grimes Canyon Road  
Moorpark, CA 93021  
Ph: 805-632-2216  
E-Mail: gldnmeadowsret@aol.com

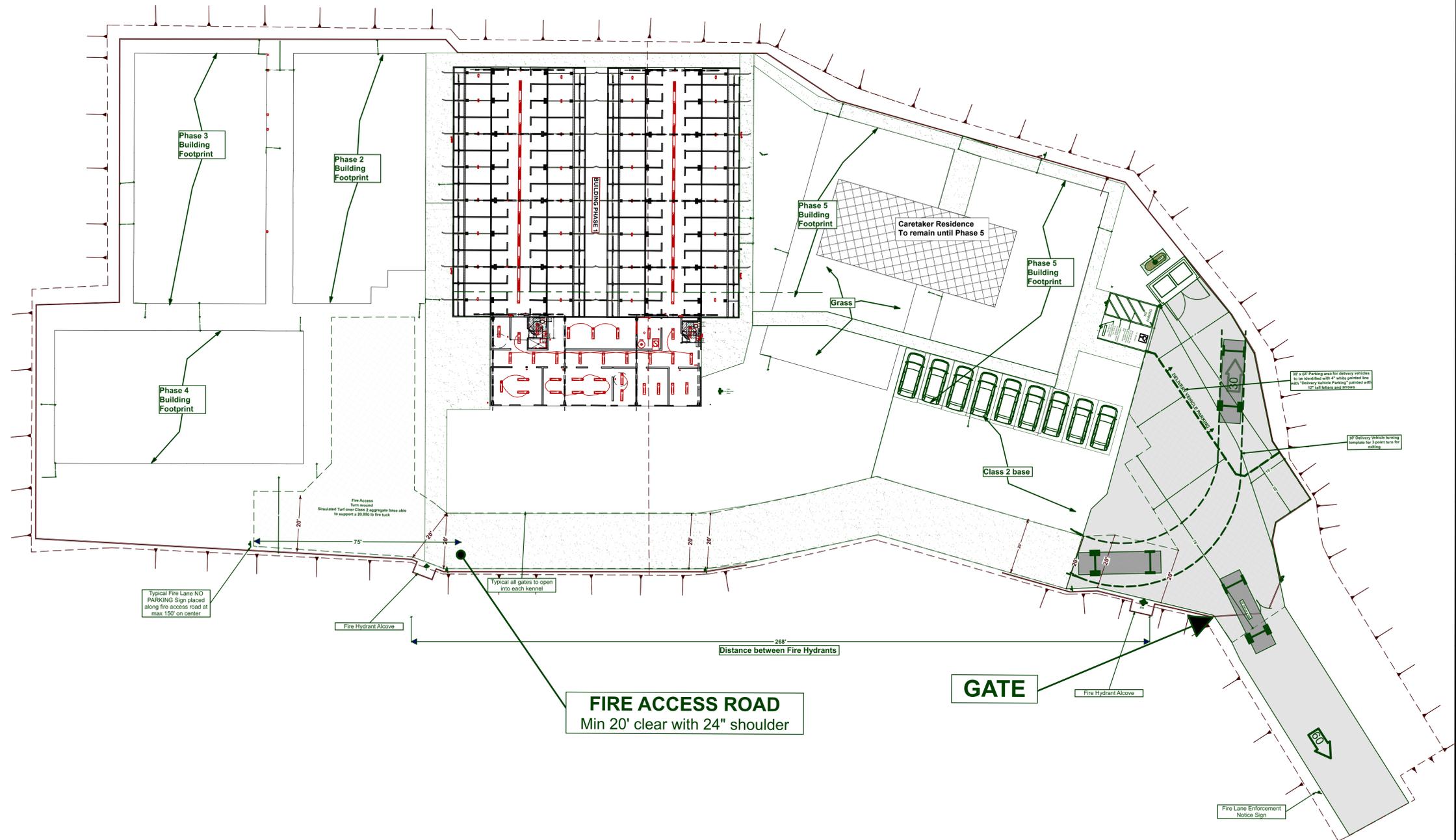
Revisions




Sheet Number  
**A-3.00**

Plan Set Ref. Date  
150' setback  
11-06-20



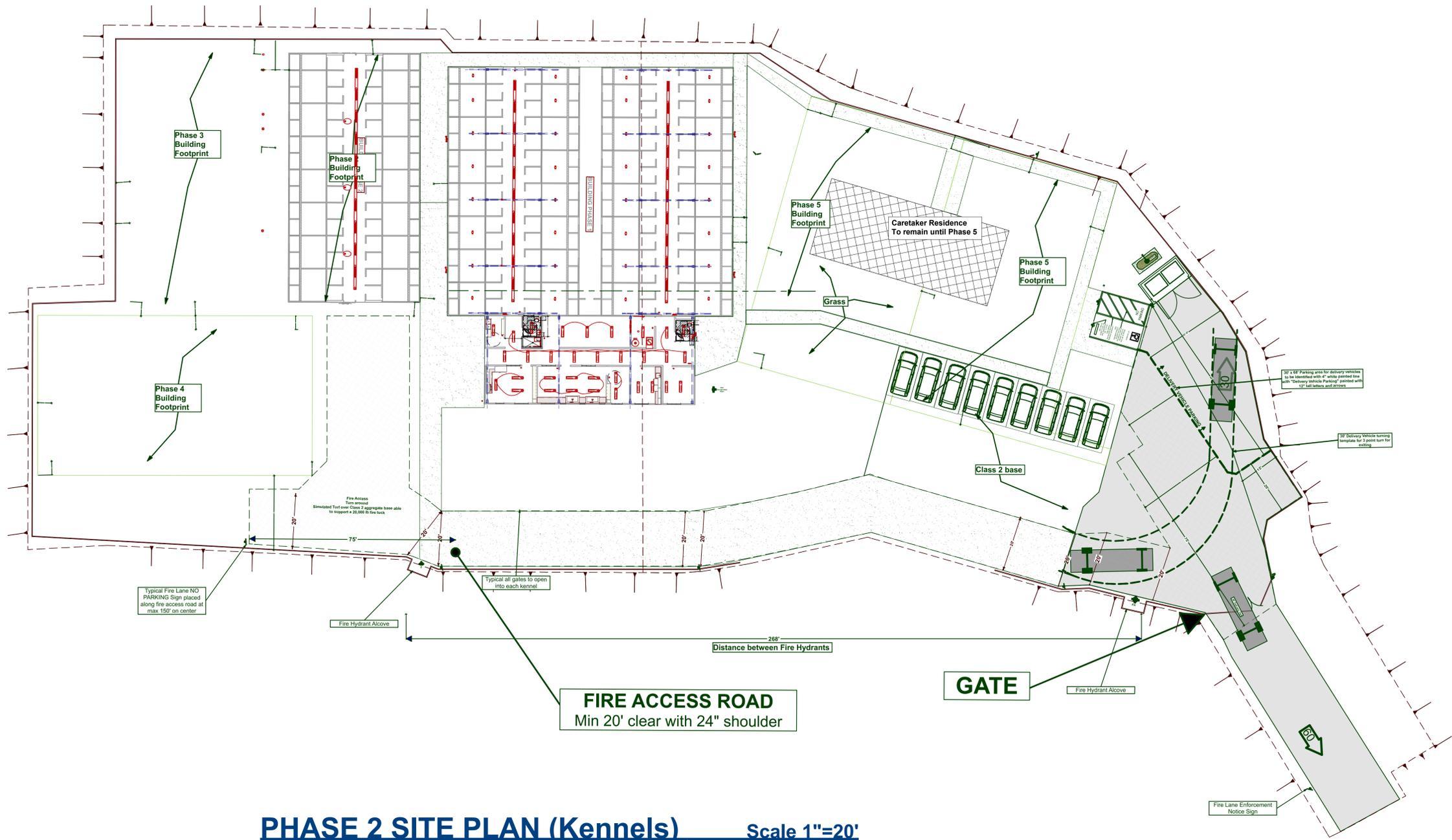


**PHASE 1 SITE PLAN (Kennels)** Scale 1"=20'

Revisions

No.	Description





**PHASE 2 SITE PLAN (Kennels)** Scale 1"=20'

**Burke Design**  
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**GOLDEN MEADOWS KENNELS**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 APN: 503-0-060-145

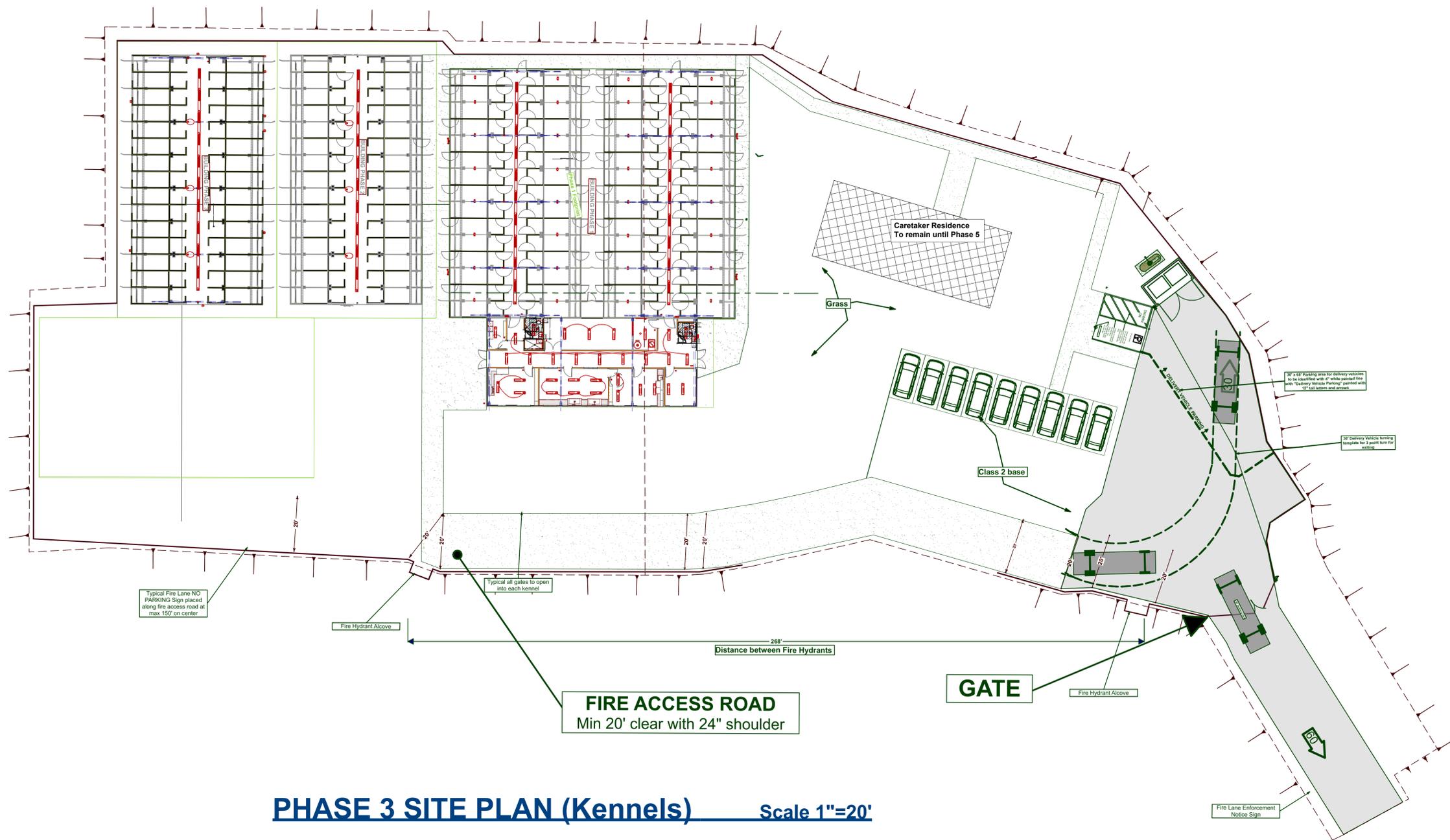
**Tim and Barbie Hoke**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 Ph: 805-632-2216  
 E-Mail: gldmeadowsret@aol.com

Revisions




Sheet Number  
**A-5.00**

Plan Set Ref. Date  
 150' setback  
 11-06-20



**PHASE 3 SITE PLAN (Kennels)** Scale 1"=20'

**Burke Design**  
 4141 State Street, Suite C4.1  
 Santa Barbara, CA 93110  
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 Email: DLBurke@burke-design.biz  
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**GOLDEN MEADOWS KENNELS**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 APN: 503-0-060-145

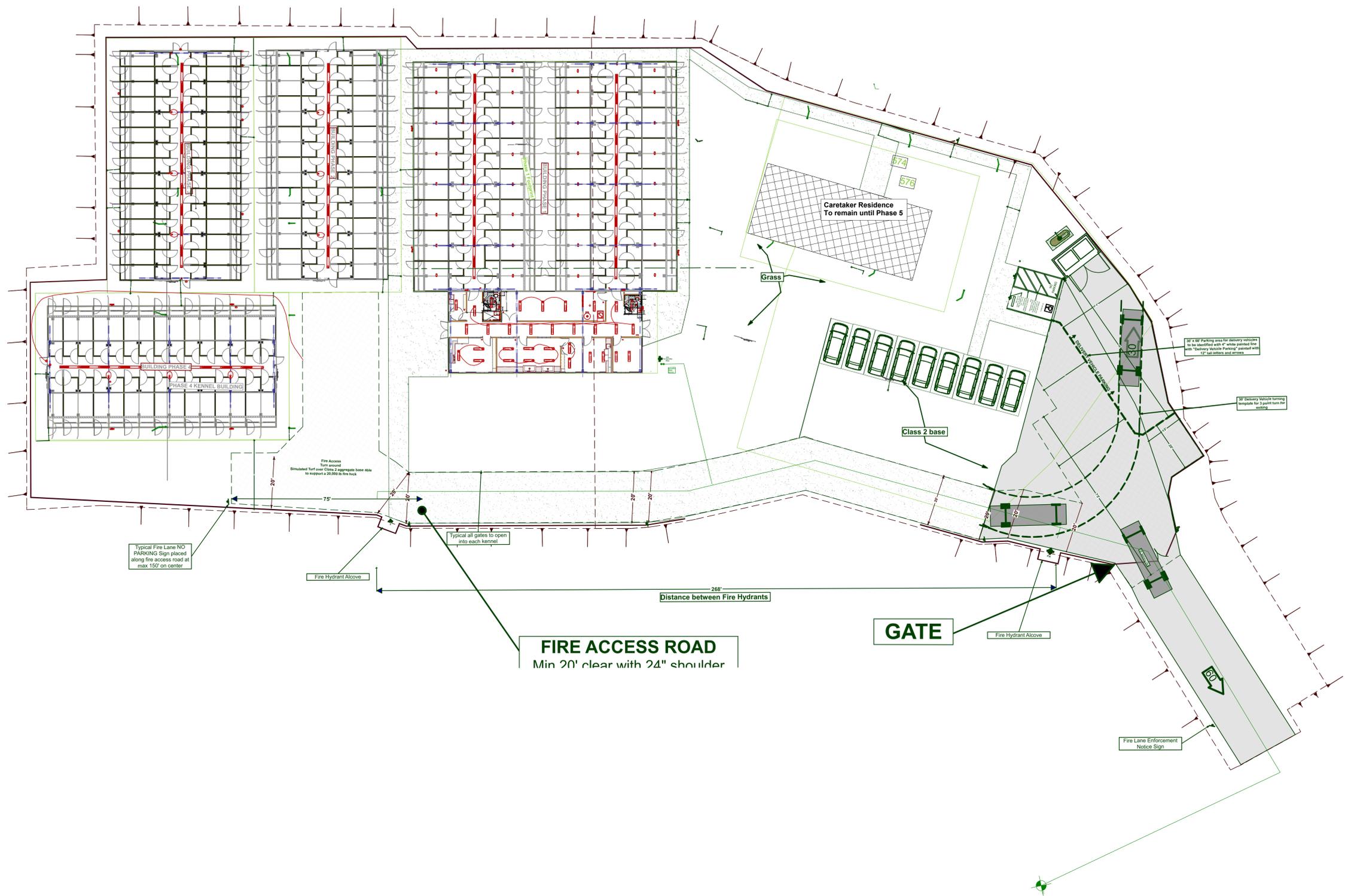
**Tim and Barbie Hoke**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 Ph: 805-632-2216  
 E-Mail: gldnmeadowsret@aol.com

Revisions




Sheet Number  
**A-6.00**

Plan Set Ref. Date  
 15' setback  
 11-06-20



**PHASE 4 FLOOR PLAN (Kennels)** Scale 1"=20'

**Burke Design**  
 4141 State Street, Suite C4.1  
 Santa Barbara, CA 93110  
 Ph: 805-964-8800 Fx: 805-235-8538  
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**GOLDEN MEADOWS KENNELS**  
 5500 Grimes Canyon Road  
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 APN: 503-0-060-145

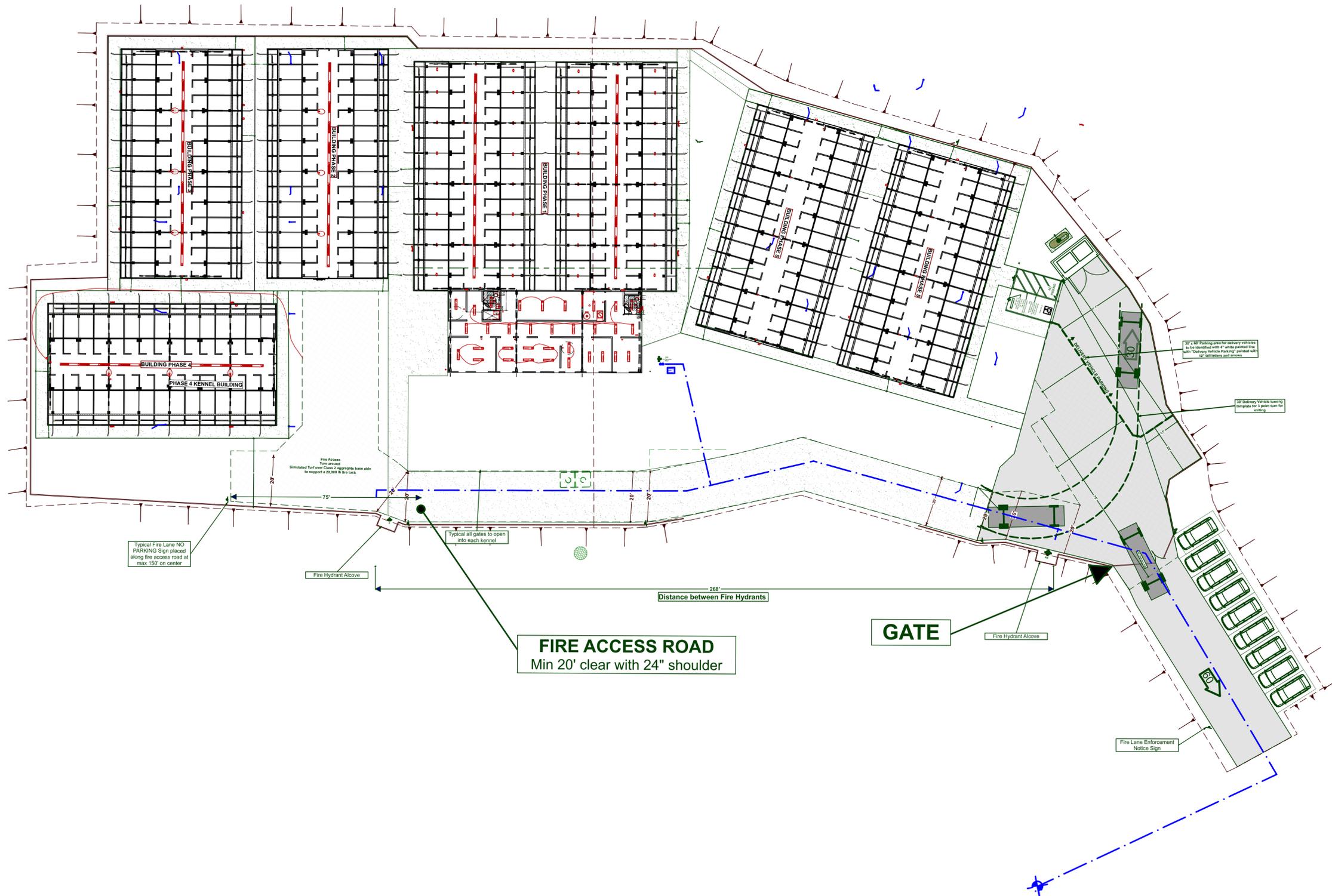
**Tim and Barbie Hoke**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 Ph: 805-632-2216  
 E-Mail: gldmeadowsret@aol.com

Revisions




Sheet Number  
**A-7.00**

Plan Set Ref. Date  
 150' setback  
 11-06-20



**PHASE 5 FLOOR PLAN (Kennels)** Scale 1"=20'

**Burke Design**  
 4141 State Street, Suite C4.1  
 Santa Barbara, CA 93110  
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**GOLDEN MEADOWS KENNELS**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 APN: 503-0-060-145

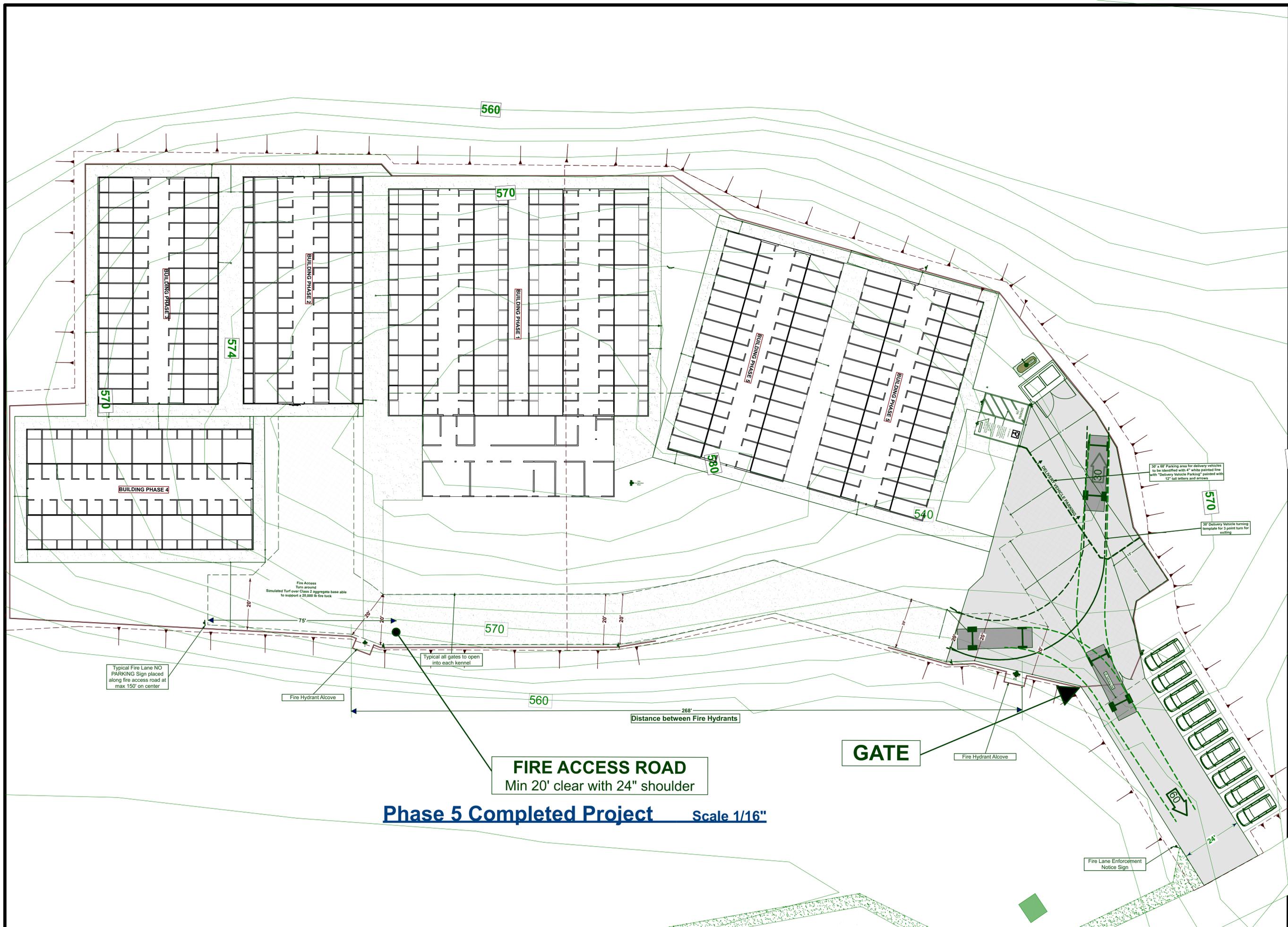
**Tim and Barbie Hoke**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 Ph: 805-632-2216  
 E-Mail: gldnmeadowsret@aol.com

Revisions




Sheet Number  
**A-8.00**

Plan Set Ref. Date  
 150' setback  
 11-06-20



**Phase 5 Completed Project** Scale 1/16"

**Burke Design**  
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 Santa Barbara, CA 93110  
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**GOLDEN MEADOWS KENNELS**  
 5500 Grimes Canyon Road  
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 APN: 503-0-060-145

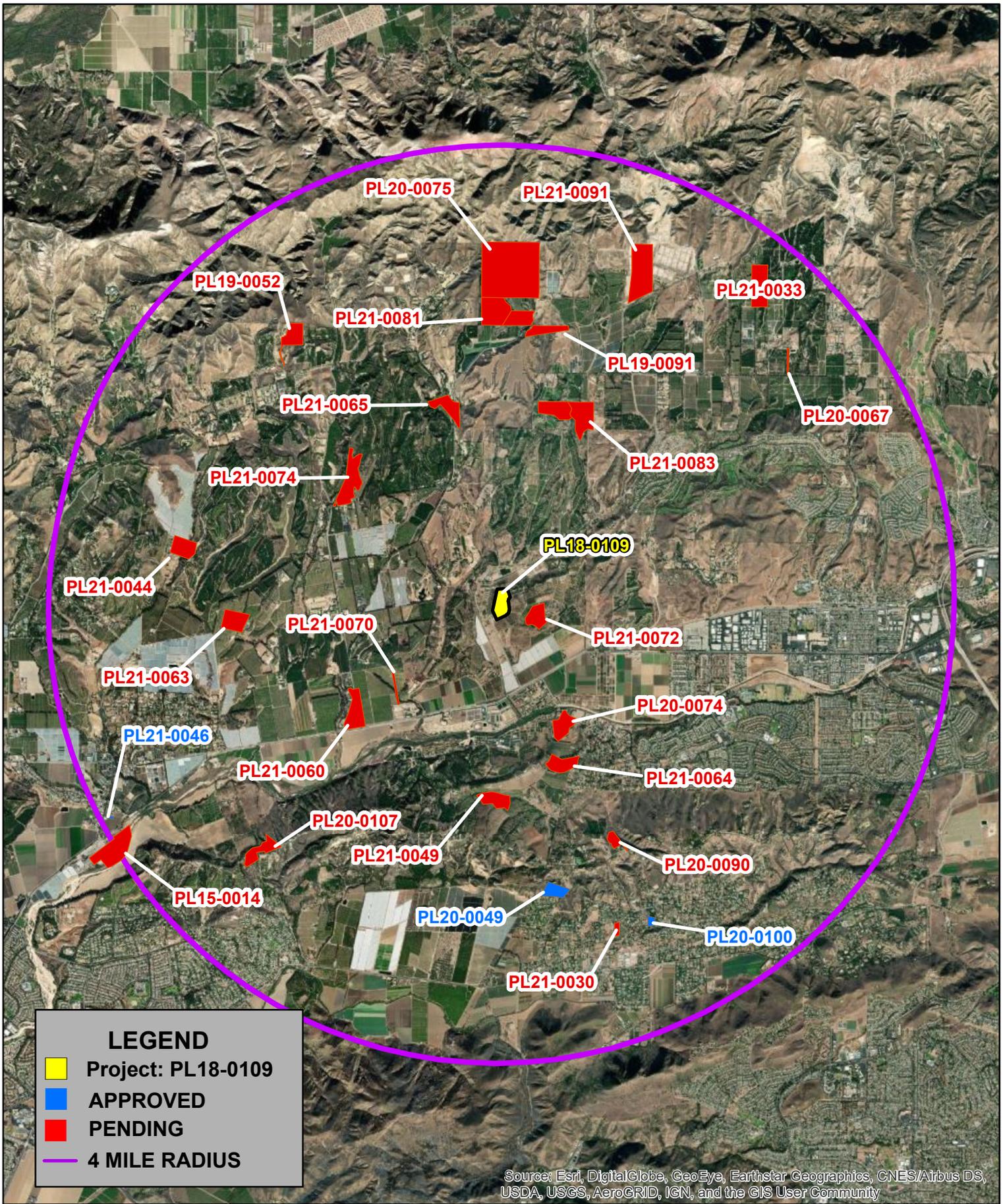
**Tim and Barbie Hoke**  
 5500 Grimes Canyon Road  
 Moorpark, CA 93021  
 Ph: 805-632-2216  
 E-Mail: gldmeadowsret@aol.com

Revisions




Sheet Number  
**A-9.00**

Plan Set Ref. Date  
 150' setback  
 11-06-20



Ventura County, California  
 Resource Management Agency  
 GIS Development & Mapping Services  
 Map Created on 10-26-2021  
 This aerial imagery is under the  
 copyrights of Pictometry  
 Source: Vexcel 2020



County of Ventura  
 Mitigated Negative Declaration  
 PL18-0109  
 Attachment 3 - Pending and Recently  
 Approved Projects Within 4 Miles



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.



RH

PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

**PL18-0109 Golden Kennel Proposed-Existing ROGNOx  
Ventura County APCD Air District, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
User Defined Commercial	1.00	User Defined Unit	0.00	23,389.00	0

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.6	<b>Precipitation Freq (Days)</b>	31
<b>Climate Zone</b>	8			<b>Operational Year</b>	2020
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MWhr)</b>	702.44	<b>CH4 Intensity (lb/MWhr)</b>	0.029	<b>N2O Intensity (lb/MWhr)</b>	0.006

**1.3 User Entered Comments & Non-Default Data**

County of Ventura  
Mitigated Negative Declaration  
PL18-0109  
Attachment 4 - CalEEMod ROGNOx  
computer model print-out

PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

Project Characteristics -

Land Use - per site plan sheet A-0.00, using net new buildings, land use type to conform with energy use (lighting, break room, restrooms, etc.)

Construction Phase - per telephone conversation with Dave Burke, Burke Design, 10/02/18

Off-road Equipment - hand-painting admin/sales offices

Off-road Equipment - per Burke Designs, phone convo 10/02/18, Dave Burke

Off-road Equipment - mobile home not demo on-site, hauled out, demo for removing orchard trees (info under site prep)

Off-road Equipment - no saw pers Burke Designs

Off-road Equipment - not concrete paving (asphalt)

Off-road Equipment - site prep equipment for removing orchard trees, per Burke Designs phone convo 10/02/18

Trips and VMT - per phone convo with Dave Burke of Burke Designs

Demolition -

Grading - Applicant Questionnaire Page 17, no import/export, balanced on-site

Architectural Coating - exterior for admin and sales office only, kennels are already painted upon arrival

Vehicle Trips - proposed - existing conditions=

proposed= 8 employees per day, 5 customers Wed-Sat, 1 delivery every 2 days (16+2+1.2 ADT Mon-Fri, 16+10 ADT Sat, 16 ADT Sun)

existing=4 employees per day, 5 days per week (8 ADT Mon-Fri)

Energy Use - (title 24 and non-title 24 energy standards) X 2 BUILDINGS, only admin and sales building will have kitchen/restrooms/laundry/grooming

Fleet Mix - LDT light duty trucks for minivans (Site Plans Sheet A-11.00)

Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	ConstArea_Nonresidential_Exterior	11,695.00	3,296.00
tblArchitecturalCoating	ConstArea_Nonresidential_Interior	35,084.00	0.00
tblAreaMitigation	UseLowVOCPaintParkingCheck	False	True
tblConstructionPhase	NumDays	0.00	1.00
tblConstructionPhase	NumDays	0.00	162.00
tblConstructionPhase	NumDays	0.00	37.00
tblConstructionPhase	NumDays	0.00	1.00
tblConstructionPhase	NumDays	0.00	5.00

## PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

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tblEnergyUse	NT24E	0.00	9.88
tblEnergyUse	NT24NG	0.00	1.10
tblEnergyUse	T24E	0.00	9.42
tblEnergyUse	T24NG	0.00	17.18
tblFleetMix	HHD	0.02	0.00
tblFleetMix	LDA	0.58	0.00
tblFleetMix	LDT1	0.04	1.00
tblFleetMix	LDT2	0.19	0.00
tblFleetMix	LHD1	0.02	0.00
tblFleetMix	LHD2	6.6640e-003	0.00
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tblFleetMix	MDV	0.12	0.00
tblFleetMix	MH	1.7210e-003	0.00
tblFleetMix	MHD	0.02	0.00
tblFleetMix	OBUS	1.1340e-003	0.00
tblFleetMix	SBUS	3.7100e-004	0.00
tblFleetMix	UBUS	9.7600e-004	0.00
tblGrading	AcresOfGrading	46.25	0.00
tblGrading	AcresOfGrading	2.50	0.00
tblLandUse	LandUseSquareFeet	0.00	23,389.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	4.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	1.00

## PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	2.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	1.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	2.00
tblTripsAndVMT	WorkerTripNumber	20.00	10.00
tblTripsAndVMT	WorkerTripNumber	13.00	10.00
tblTripsAndVMT	WorkerTripNumber	7.00	16.00
tblTripsAndVMT	WorkerTripNumber	1.00	2.00
tblTripsAndVMT	WorkerTripNumber	8.00	10.00
tblVehicleTrips	CNW_TTP	0.00	100.00
tblVehicleTrips	PR_TP	0.00	100.00
tblVehicleTrips	ST_TR	0.00	26.00
tblVehicleTrips	SU_TR	0.00	16.00
tblVehicleTrips	WD_TR	0.00	11.20

## 2.0 Emissions Summary

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## PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	5.02	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

### 3.0 Construction Detail

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#### Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	7/5/2019	7/11/2019	5	5	includes removing orchard trees
2	Grading	Grading	7/5/2019	8/26/2019	5	37	42 on site plan but clearing is site prep above
3	Building Construction	Building Construction	10/15/2019	5/27/2020	5	162	foundation+construction
4	Demolition	Demolition	11/12/2019	11/18/2019	5	0	rolling out mobile home, no demo
5	Architectural Coating	Architectural Coating	11/12/2019	11/12/2019	5	1	only admin/sales buildings
6	Paving	Paving	3/31/2020	3/31/2020	5	1	asphalt

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 0

Acres of Paving: 0

Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 0; Non-Residential Outdoor: 3,296; Striped Parking Area: 0  
(Architectural Coating – sqft)

#### OffRoad Equipment

## PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Off-Highway Trucks	5	8.00	402	0.38
Site Preparation	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Grading	Concrete/Industrial Saws	0	8.00	81	0.73
Grading	Graders	1	4.00	187	0.41
Grading	Rubber Tired Dozers	2	1.00	247	0.40
Grading	Scrapers	2	4.00	367	0.48
Grading	Tractors/Loaders/Backhoes	0	6.00	97	0.37
Building Construction	Cranes	0	4.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Demolition	Concrete/Industrial Saws	0	8.00	81	0.73
Demolition	Rubber Tired Dozers	0	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	0	6.00	97	0.37
Architectural Coating	Air Compressors	0	6.00	78	0.48
Paving	Cement and Mortar Mixers	0	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37

Trips and VMT





























PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

**3.7 Paving - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000														
Vendor	0.0000	0.0000														
Worker	0.0365	0.0220														
<b>Total</b>	<b>0.0365</b>	<b>0.0220</b>														

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.0834	0.0689														
Unmitigated	0.0834	0.0689														

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
User Defined Commercial	11.20	26.00	16.00	37,201	37,201
Total	11.20	26.00	16.00	37,201	37,201

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
User Defined Commercial	9.50	7.30	7.30	0.00	0.00	100.00	100	0	0

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
User Defined Commercial	0.000000	1.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000

5.0 Energy Detail

Historical Energy Use: N



PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
User Defined Commercial	1.17137	0.0126	0.1148														
<b>Total</b>		<b>0.0126</b>	<b>0.1148</b>														

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

- Use Low VOC Paint - Non-Residential Interior
- Use Low VOC Paint - Non-Residential Exterior
- Use Low VOC Cleaning Supplies



PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

**6.2 Area by SubCategory**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1485															
Consumer Products	0.4631															
Landscaping	1.0000e-005	0.0000														
<b>Total</b>	<b>0.6116</b>	<b>0.0000</b>														

**7.0 Water Detail**

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**7.1 Mitigation Measures Water**

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

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Fire Pumps and Emergency Generators

PL18-0109 Golden Kennel Proposed-Existing ROGNOx - Ventura County APCD Air District, Summer

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**PL18-0109 Golden Kennel Proposed-Existing GHG**  
**Ventura County APCD Air District, Annual**

**1.0 Project Characteristics**

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**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
User Defined Commercial	1.00	User Defined Unit	0.00	23,389.00	0

**1.2 Other Project Characteristics**

<b>Urbanization</b>	Urban	<b>Wind Speed (m/s)</b>	2.6	<b>Precipitation Freq (Days)</b>	31
<b>Climate Zone</b>	8			<b>Operational Year</b>	2020
<b>Utility Company</b>	Southern California Edison				
<b>CO2 Intensity (lb/MW hr)</b>	702.44	<b>CH4 Intensity (lb/MW hr)</b>	0.029	<b>N2O Intensity (lb/MW hr)</b>	0.006

**1.3 User Entered Comments & Non-Default Data**

County of Ventura Mitigated Negative Declaration PL18-0109 Attachment 5 - CalEEMod GHG computer model print-out
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PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

Project Characteristics -

Land Use - per site plan sheet A-0.00, using net new buildings, land use type to conform with energy use (lighting, break room, restrooms, etc.)

Construction Phase - per telephone conversation with Dave Burke, Burke Design, 10/02/18

Off-road Equipment - hand-painting admin/sales offices

Off-road Equipment - per Burke Designs, phone convo 10/02/18, Dave Burke

Off-road Equipment - mobile home not demo on-site, hauled out, demo for removing orchard trees (info under site prep)

Off-road Equipment - no saw pers Burke Designs

Off-road Equipment - not concrete paving (asphalt)

Off-road Equipment - site prep equipment for removing orchard trees, per Burke Designs phone convo 10/02/18

Trips and VMT - per phone convo with Dave Burke of Burke Designs

Demolition -

Grading - Applicant Questionnaire Page 17, no import/export, balanced on-site

Architectural Coating - exterior for admin and sales office only, kennels are already painted upon arrival

Vehicle Trips - proposed - existing conditions=

proposed= 8 employees per day, 5 customers Wed-Sat, 1 delivery every 2 days (16+2+1.2 ADT Mon-Fri, 16+10 ADT Sat, 16 ADT Sun)

existing=4 employees per day, 5 days per week (8 ADT Mon-Fri)

Energy Use - (title 24 and non-title 24 energy standards) X 2 buildings (admin/sales) which include laundry/kitchen/restrooms/grooming

Fleet Mix - LDT light duty trucks for minivans (Site Plans Sheet A-11.00)

Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	ConstArea_Nonresidential_Exterior	11,695.00	3,296.00
tblArchitecturalCoating	ConstArea_Nonresidential_Interior	35,084.00	0.00
tblAreaMitigation	UseLowVOCPaintParkingCheck	False	True
tblConstructionPhase	NumDays	0.00	1.00
tblConstructionPhase	NumDays	0.00	162.00
tblConstructionPhase	NumDays	0.00	37.00
tblConstructionPhase	NumDays	0.00	1.00
tblConstructionPhase	NumDays	0.00	5.00

## PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

tblEnergyUse	LightingElect	0.00	8.68
tblEnergyUse	NT24E	0.00	9.88
tblEnergyUse	NT24NG	0.00	1.10
tblEnergyUse	T24E	0.00	9.42
tblEnergyUse	T24NG	0.00	17.18
tblFleetMix	HHD	0.02	0.00
tblFleetMix	LDA	0.58	0.00
tblFleetMix	LDT1	0.04	1.00
tblFleetMix	LDT2	0.19	0.00
tblFleetMix	LHD1	0.02	0.00
tblFleetMix	LHD2	6.6640e-003	0.00
tblFleetMix	MCY	4.0020e-003	0.00
tblFleetMix	MDV	0.12	0.00
tblFleetMix	MH	1.7210e-003	0.00
tblFleetMix	MHD	0.02	0.00
tblFleetMix	OBUS	1.1340e-003	0.00
tblFleetMix	SBUS	3.7100e-004	0.00
tblFleetMix	UBUS	9.7600e-004	0.00
tblGrading	AcresOfGrading	46.25	0.00
tblGrading	AcresOfGrading	2.50	0.00
tblLandUse	LandUseSquareFeet	0.00	23,389.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	4.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	1.00

## PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	2.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	1.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	2.00	0.00
tblOffRoadEquipment	OffRoadEquipmentUnitAmount	1.00	2.00
tblTripsAndVMT	WorkerTripNumber	20.00	10.00
tblTripsAndVMT	WorkerTripNumber	13.00	10.00
tblTripsAndVMT	WorkerTripNumber	7.00	16.00
tblTripsAndVMT	WorkerTripNumber	1.00	2.00
tblTripsAndVMT	WorkerTripNumber	8.00	10.00
tblVehicleTrips	CNW_TTP	0.00	100.00
tblVehicleTrips	PR_TP	0.00	100.00
tblVehicleTrips	ST_TR	0.00	26.00
tblVehicleTrips	SU_TR	0.00	16.00
tblVehicleTrips	WD_TR	0.00	11.20

## 2.0 Emissions Summary

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PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
		Highest		

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Category	tons/yr										MT/yr						
Area																	2.000e-005
Energy																	232.2109
Mobile																	12.6615
Waste																	0.0000
Water																	0.0000
<b>Total</b>																	<b>244.8723</b>

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**2.2 Overall Operational**

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area																2.0000e-005
Energy																232.2109
Mobile																12.6615
Waste																0.0000
Water																0.0000
<b>Total</b>																<b>244.8723</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

## PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	7/5/2019	7/11/2019	5	5	includes removing orchard trees
2	Grading	Grading	7/5/2019	8/26/2019	5	37	42 on site plan but clearing is site prep above
3	Building Construction	Building Construction	10/15/2019	5/27/2020	5	162	foundation+construction
4	Demolition	Demolition	11/12/2019	11/18/2019	5	0	rolling out mobile home, no demo
5	Architectural Coating	Architectural Coating	11/12/2019	11/12/2019	5	1	only admin/sales buildings
6	Paving	Paving	3/31/2020	3/31/2020	5	1	asphalt

**Acres of Grading (Site Preparation Phase): 0**

**Acres of Grading (Grading Phase): 0**

**Acres of Paving: 0**

**Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 0; Non-Residential Outdoor: 3,296; Striped Parking Area: 0 (Architectural Coating – sqft)**

**OffRoad Equipment**

## PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Off-Highway Trucks	5	8.00	402	0.38
Site Preparation	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Grading	Concrete/Industrial Saws	0	8.00	81	0.73
Grading	Graders	1	4.00	187	0.41
Grading	Rubber Tired Dozers	2	1.00	247	0.40
Grading	Scrapers	2	4.00	367	0.48
Grading	Tractors/Loaders/Backhoes	0	6.00	97	0.37
Building Construction	Cranes	0	4.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Demolition	Concrete/Industrial Saws	0	8.00	81	0.73
Demolition	Rubber Tired Dozers	0	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	0	6.00	97	0.37
Architectural Coating	Air Compressors	0	6.00	78	0.48
Paving	Cement and Mortar Mixers	0	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37

Trips and VMT





























PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**3.7 Paving - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Category	tons/yr										MT/yr						
Hauling																	0.0000
Vendor																	0.0000
Worker																	0.0346
<b>Total</b>																	<b>0.0346</b>

**4.0 Operational Detail - Mobile**

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**4.1 Mitigation Measures Mobile**

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated																12.6615
Unmitigated																12.6615

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
User Defined Commercial	11.20	26.00	16.00	37,201	37,201
Total	11.20	26.00	16.00	37,201	37,201

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
User Defined Commercial	9.50	7.30	7.30	0.00	0.00	100.00	100	0	0

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
User Defined Commercial	0.000000	1.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000	0.000000

5.0 Energy Detail

Historical Energy Use: N



PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**5.2 Energy by Land Use - Natural Gas**

**Mitigated**

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Land Use	kBTU/yr	tons/yr										MT/yr						
User Defined Commercial	427551																	22.9513
<b>Total</b>																		<b>22.9513</b>

**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
User Defined Commercial	654424				209.2595
<b>Total</b>					<b>209.2595</b>

## PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**5.3 Energy by Land Use - Electricity****Mitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
User Defined Commercial	654424				209.2595
<b>Total</b>					<b>209.2595</b>

**6.0 Area Detail****6.1 Mitigation Measures Area**

Use Low VOC Paint - Non-Residential Interior

Use Low VOC Paint - Non-Residential Exterior

Use Low VOC Cleaning Supplies

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Category	tons/yr										MT/yr						
Mitigated																	2.0000e-005
Unmitigated																	2.0000e-005

**6.2 Area by SubCategory**

**Unmitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
SubCategory	tons/yr										MT/yr						
Architectural Coating																	0.0000
Consumer Products																	0.0000
Landscaping																	2.0000e-005
<b>Total</b>																	<b>2.0000e-005</b>

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating																0.0000
Consumer Products																0.0000
Landscaping																2.0000e-005
<b>Total</b>																<b>2.0000e-005</b>

**7.0 Water Detail**

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**7.1 Mitigation Measures Water**

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated				0.0000
Unmitigated				0.0000

**7.2 Water by Land Use**

**Unmitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
User Defined Commercial	0 / 0				0.0000
<b>Total</b>					<b>0.0000</b>

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**7.2 Water by Land Use**

**Mitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
User Defined Commercial	0 / 0				0.0000
<b>Total</b>					<b>0.0000</b>

**8.0 Waste Detail**

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**8.1 Mitigation Measures Waste**

**Category/Year**

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated				0.0000
Unmitigated				0.0000

PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**8.2 Waste by Land Use**

**Unmitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
User Defined Commercial	0				0.0000
<b>Total</b>					<b>0.0000</b>

**Mitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
User Defined Commercial	0				0.0000
<b>Total</b>					<b>0.0000</b>

**9.0 Operational Offroad**

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Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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PL18-0109 Golden Kennel Proposed-Existing GHG - Ventura County APCD Air District, Annual

**10.0 Stationary Equipment**

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**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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**Attachment 6 - Works Cited Tentative**  
**Conditional Use Permit Case No. PL18-0109**

Geotechnical Investigation Report, prepared by Gold Coast Geoservices, Inc., dated March 2, 2018

Manure Management Program, prepared by Tim Hoke, dated January 2018

Noise Impact Analysis, prepared by Acentech Incorporated, dated December 16, 2020

Paleontological Resource Assessment Report, prepared by Gold Coast Geoservices, Inc., dated March 18, 2019

Preliminary Hydrology Letter, prepared by Jensen Design & Survey, dated August 3, 2018)

Proposed Impervious Areas, prepared by Jensen Design & Survey, dated April 16, 2021

Response Letter, prepared by Gold Coast Geoservices, Inc., dated October 30, 2018