

If this sheet is not 30" by 42" it is a reduced print, scale accordingly

# CONCEPTUAL PLANNING SUBMITTAL PACKAGE

# MONTIEL OFFICE BUILDING

2355 & 2375 Montiel Road, San Marcos, California 92069



41951 REMINGTON AVE, SUITE 250  
 TEMECULA, CALIFORNIA 92590  
 (TEL) 951 - 296 - 2828  
 www.bdg-architects.com  
 ARCHITECT OF RECORD



PROFESSIONAL SEAL

CONSULTANTS

REVISIONS

APPROVAL

PROJECT PHASE

CONCEPTUAL  
 PLANNING  
 SUBMITTAL  
 FOR  
 MONTIEL OFFICE  
 BUILDING

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

COVER SHEET

SHEET TITLE

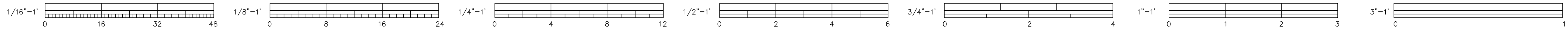
T1.0

SHEET NUMBER

NTS 12 FEBRUARY 2019

SCALE DATE

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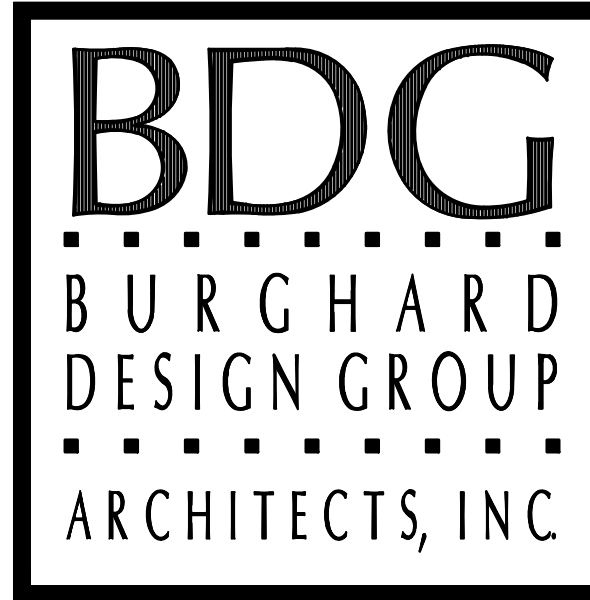


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PROJECT PHASE

## CONCEPTUAL PLANNING SUBMITTAL FOR MONTIEL OFFICE BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

TITLE SHEET

SHEET TITLE

T1.1

SHEET NUMBER

NTS 12 FEBRUARY 2019

SCALE DATE

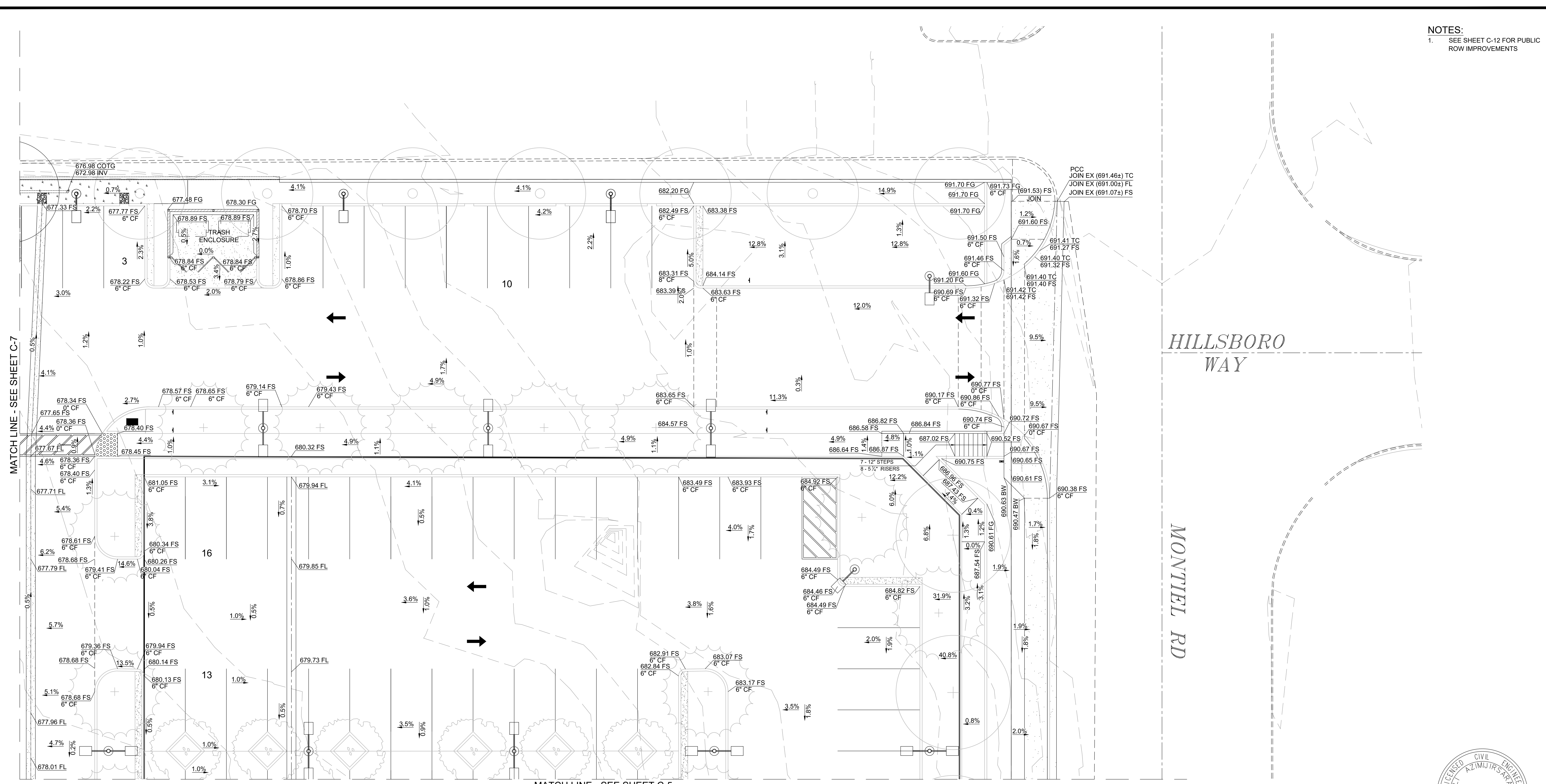
DEFERRED APPROVAL	LEGAL DESCRIPTION	BUILDING & SITE DATA	PROJECT DIRECTORY	SHEET INDEX
<p><b>FIRE SFRINKLER:</b> AUTOMATIC FIRE SFRINKLER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH 2016 CFC UNDER SEPARATE PERMIT</p> <p><b>FIRE ALARM:</b> FIRE ALARM SYSTEM OR MONITORING SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH 2016 CFC UNDER SEPARATE PERMIT</p> <p><b>BUILDING SIGNAGE:</b> BUILDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT BY THE BUILDING OWNER</p>	<p><b>PROJECT NAME:</b> MONTIEL OFFICE BUILDING</p> <p><b>PROJECT ADDRESS:</b> 2355 &amp; 2375 MONTIEL ROAD SAN MARCOS, CALIFORNIA 92069</p> <p><b>ACCESSOR'S PARCEL #1</b> 228-370-20</p> <p><b>LEGAL DESCRIPTION</b> THE SOUTHEASTERLY 100 FEE OF THE NORTHWESTERLY 225 FEET OF THE NORTHEASTERLY 180 FEET OF LOT 16 IN BLOCK 1 OF THE RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895</p> <p><b>ACCESSOR'S PARCEL #2</b> 228-370-39</p> <p><b>LEGAL DESCRIPTION</b> ALL OF LOT 16 IN BLOCK 1 OF THE RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895 EXCEPTING THEREFROM THE NORTHWESTERLY 125.00 FEET OF THE NORTHEASTERLY 360.00 FEET</p> <p>ALSO EXCEPTING THEREFROM THE SOUTHEASTERLY 100.00 FEET OF THE NORTHWESTERLY 225.00 FEET OF THE NORTHEASTERLY 180 FEET</p> <p>ALSO EXCEPTING THEREFROM THAT PORTION LYING SOUTHWESTERLY OF THE NORTHEASTERLY LINE OF THAT PORTION OF CALIFORNIA STATE HIGHWAY, XI-SAN DIEGO-196-B AS DESCRIBED IN DEED TO THE STATE OF CALIFORNIA RECORDED JUNE 20, 1962 AS INSTRUMENT NO. 105013 OF OFFICIAL RECORDS</p> <p>ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 25, 1970 AS INSTRUMENT NO. 215958 OF OFFICIAL RECORDS, LYING SOUTHWESTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT OF THE NORTHWESTERLY LINE OF SAID LOT 16, DISTANT THEREON SOUTH 27°31'2" WEST 438.70 FEET FROM THE NORTHERLY CORNER OF SAID LOT 16; THENCE (1) SOUTH 63°28'41" EAST, 363.09 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT 16, DISTANT THEREON SOUTH 27°34'03" WEST, 431.16 FEET FROM THE EASTERLY CORNER OF SAID LOT 16, EXCEPTING THEREFROM THAT PORTION DESCRIBED IN DEED TO THE STATE OF CALIFORNIA RECORDED JUNE 20, 1962 AS INSTRUMENT NO. 105013 OF OFFICIAL RECORDS</p> <p>THE ABOVE DESCRIBED PARCEL IS THE SAME LAND DESCRIBED IN CHICAGO TITLE COMPANY, TITLE COMMITMENT NO. 00086588-004-RH1-CFU, BEARING AN EFFECTIVE DATE OF FEBRUARY 23, 2018 AT 1:30 AM</p>	<p><b>TOTAL LOT AREA:</b> 112,881.40 SF. = 2.5914 ACRES</p> <p><b>(E) ZONING:</b> "COMMERCIAL" ZONE WITH NEW SPECIFIC PLAN PER CHAPTER 20.220 OF TITLE 20 OF SMMC/ZONING ORDINANCE</p> <p><b>GENERAL PLAN:</b> SPA - COMMERCIAL</p> <p><b>OCCUPANCY GROUP:</b> OFFICE (CBC-SECTION 304) GROUP "B" CAFE (CBC-SECTION 303.3) GROUP "A-2" NOTE: A 1-HR FIRE SEPARATION BETWEEN GROUP "B" AND "A-2"</p> <p><b>CONSTRUCTION TYPE:</b> CAFE (CBC-TABLE 601) "V-B"</p> <p><b>FIRE PROTECTION:</b> FULLY SFRINKLERED</p> <p><b>NUMBER OF STORIES:</b> (CBC 2016, TABLE 504.4) ALLOWED: 3 ACTUAL: 2</p> <p><b>BUILDING HEIGHT:</b> (CBC 2016, TABLE 504.3) ALLOWED: 60 FEET ACTUAL TOP OF BUILDING: 35'-6" FEET</p> <p><b>FLOOR AREA INCREASE:</b> (CBC 2016, TABLE 506.2) TYPE V-B ALLOWABLE FLOOR AREA W/SFRINKLERS 27,000 SF FLOOR AREA INCREASES BASED ON FRONTAGE 13,500 SF TOTAL ALLOWABLE FLOOR AREA 40,500 SF</p> <p>FLOOR AREA INCREASE IS BASED ON 2016 CBC SECTION 506.3 AND EQUATION 5-4 AND 5-5</p> <p><b>BUILDING SETBACKS:</b> FRONT SETBACK 252'-2" REAR SETBACK 73'-6" EAST SIDEYARD SETBACK 10'-0" WEST SIDEYARD SETBACK 54'-2"</p> <p><b>BUILDING FLOOR AREA:</b> FIRST FLOOR OFFICE, CIRCULATION AND CORE AREA 13,879 SQ. FT. FIRST FLOOR CAFE AREA 1,876 SQ. FT. SECOND FLOOR AREA 17,214 SQ. FT. TOTAL 32,969 SQ. FT.</p> <p><b>LOT COVERAGE TABULATION</b> PARCEL 1 AND 2 = 112,881 SQ. FT. = 100.00% GROUND FLOOR BUILDING AREA = 15,755 SQ. FT. = 13.96% DRIVE AISLES / PARKING / WALKWAYS = 75,854 SQ. FT. = 67.19% LANDSCAPE AREA = 2,122 SQ.FT. = 1.88% TOTAL 112,881 SQ. FT. = 100.00%</p> <p><b>MASTER PLAN PARKING TABULATION</b> PARKING REQUIRED FOR OFFICE USE AT 4/1000 BASED ON 31,093 / 250 SF 124 STALLS PARKING REQUIRED FOR CAFE USE AT 1/100 BASED ON 1,876 / 100 SF PLUS 3 EMPLOYEE SPACES 22 STALLS TOTAL PARKING REQUIRED 146 STALLS</p> <p>STANDARD PARKING STALLS 139 STALLS HANDICAP PARKING REQUIRED (2 VAN ACCESSIBLE) 8 STALLS "ELECTRIC VEHICLE PARKING SPACES PROVIDED" AND NOT "REQUIRED" 6 STALLS CAR / VAN POOL VEHICLE PARKING REQUIRED, NOT ADDITIONAL SPACES (10% OF TOTAL PARKING) 18 STALLS TOTAL PARKING PROVIDED 171 STALLS</p> <p>2 - 30' X 12' LOADING / UNLOADING AREA PROVIDED 1 - 3 BIKE RACK PROVIDED</p>	<p><b>OWNER</b> NORTH COAST CHURCH 1451 MONTIEL ROAD ESCONDIDO, CALIFORNIA 92026 (760) 701-6524 MR. JAMIE LOONEY</p> <p><b>ARCHITECT</b> BURGHARD DESIGN GROUP ARCHITECTS, INC. 41951 REMINGTON AVENUE, SUITE 250 TEMECULA, CALIFORNIA 92590 (951) 296-2828 MR. AL BURGHARD</p> <p><b>CIVIL ENGINEER</b> PARTNER ENGINEERING AND SCIENCE, INC. 1161 E. GARRY AVENUE SANTA ANA, CALIFORNIA 92705 (800) 419-4923 MR. ALI AZIMI</p> <p><b>LANDSCAPE ARCHITECT</b> HOWARD ASSOCIATES LANDSCAPE ARCHITECTURE 2442 SECOND AVENUE SAN DIEGO, CALIFORNIA 92101 (619) 718-9660 MS. JULIE HOWARD</p>	<p>T1.0 COVER SHEET T1.1 TITLE SHEET / PROJECT DATA SHEET</p> <p><b>CIVIL DRAWINGS</b> C-1 TITLE SHEET C-2 DEMO &amp; EROSION CONTROL PLAN C-3 LAYOUT PLAN C-4 GRADING PLAN (1 OF 5) C-5 GRADING PLAN (2 OF 5) C-6 GRADING PLAN (3 OF 5) C-7 GRADING PLAN (4 OF 5) C-8 GRADING PLAN (5 OF 5) C-9 TRIBUTARY AREA PLAN C-10 SECTIONS C-11 SECTIONS C-12 STREET PLAN</p> <p><b>ARCHITECTURAL DRAWINGS</b> A1.1 OVERALL SITE PLAN A1.2 SITE DETAILS A1.3 SITE DETAILS A1.4 SITE PHOTOGRAPHIC SURVEY PLAN A1.5 MONTIEL ROAD SITE ELEVATION PLAN A1.6 SITE LIGHTING PLAN A2.1 1ST LEVEL FLOOR PLAN A2.2 2ND LEVEL FLOOR PLAN A2.3 ROOF PLAN A4.1 COLOR NORTH AND SOUTH EXTERIOR ELEVATIONS A4.2 COLOR EAST AND WEST EXTERIOR ELEVATIONS</p> <p><b>LANDSCAPE DRAWINGS</b> L-1 LANDSCAPE CONCEPT PLAN L-2 WATER CONSERVATION PLAN &amp; SCHEMATIC IRRIGATION PLAN L-3 TREE SURVEY</p>
	<p><b>GOVERNING CODES</b></p> <p>THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLYING WITH ALL GOVERNING BUILDING CODES, INCLUDING, BUT NOT LIMITED TO:</p> <p>2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2016 CALIFORNIA FIRE CODE (CFC) 2016 CALIFORNIA GREEN STANDARDS BUILDING CODE (GSBC) 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS CURRENT CITY OF SAN MARCOS MUNICIPAL CODE</p>		<p><b>PROJECT DESCRIPTION</b></p> <p>THIS 2.606 ACRE PROPERTY IS COMPRISED OF TWO PARCELS, ONE MEASURING 16,214 SF LOCATED AT THE NORTH-WEST CORNER, THE OTHER MEASURING 97,323 SF BOTH PARCELS CURRENTLY HAVE ONE SINGLE FAMILY NON-CONFORMING STRUCTURE DATING BACK SEVERAL DECADES. THERE IS ROUGHLY A 21 FOOT GRADE CHANGE FROM THE N-W CORNER SLOPING DOWN TOWARD THE SOUTH-EAST CORNER. BOTH EXISTING RESIDENTIAL STRUCTURES WILL BE DEMOLISHED AND REPLACED WITH A NEW 32,969 SF 2-STORY OFFICE BUILDING ON THE SOUTHERLY PORTION OF THE SITE. A ZONE CHANGE AND SPECIFIC PLAN WILL BE REQUIRED TO BE CONSISTENT WITH "COMMERCIAL" ZONE OF CHAPTER 20.220 OF TITLE 20 OF THE SMMC/ZONING ORDINANCE.</p> <p>THE NEW BUILDING WILL BE DEVELOPED AS A CLASS "B" OFFICE BUILDING DESIGNED TO ATTRACT A VARIETY OF PROFESSIONAL TENANTS. IN ADDITION TO A FLEXIBLE LEASE SPACE CONFIGURATION, A PORTION OF THE GROUND FLOOR HAS BEEN CARVED OUT OF THE RECTANGULAR FOOTPRINT TO ACCOMMODATE A COMPLIMENTARY TENANT SUCH AS A COFFEE SHOP WHO WOULD WELCOME OUTDOOR SPACE AS AN EXTENSION OF THE INTERIOR SPACE. THE ENTIRE UPPER FLOOR IS DEDICATED TO LEASE SPACE PROVIDING A CHOICE OF TENANT SPACE SIZES FOR PROFESSIONAL TENANTS. THE COMMON AREA IS ALSO PROVIDED WITH A SHARED BALCONY/DECK OVER THE ENTRY ON THE NORTH SIDE OF THE BUILDING.</p> <p>THE EXTERIOR OF THE BUILDING IS DESIGNED IN A MORE PROGRESSIVE STYLE OF ARCHITECTURE REFLECTIVE OF CURRENT TRENDS. THE EXTENSIVE USE OF GLAZING AND TWO DIFFERENT TYPES OF FINE-FINISHED METAL PANELS OR EXPOSED CONCRETE FINISH WILL PROVIDE A DURABLE BUILDING SKIN, LONGEVITY AND MINIMAL MAINTENANCE.</p> <p>THE DEVELOPMENT OBJECTIVES ARE AS LISTED BELOW: IT IS OUR INTENTION TO DEVELOP THIS SITE IN A SINGLE PHASE. THE FIRST PART OF THE PROJECT WILL BE THE CIVIL PACKAGE WHICH WILL BE SUBMITTED SEPARATELY FROM THE BUILDING PACKAGE. THE CIVIL PACKAGE WILL INCLUDE NOT ONLY FINAL ENGINEERING FOR THE ENTIRE SITE BUT ALSO OFF-SITE STREET IMPROVEMENTS AND MODIFICATIONS. THIS WILL ALLOW US TO START GRADING SEVERAL MONTHS EARLIER, INSTALL INFRASTRUCTURE, CURBING, GUTTERS, PAVING AND LIGHTS AT THE NORTHERN HALF OF THE SITE INCLUDING CONNECTIVITY WITH THE ADJACENT PARCEL WHICH COULD BE USED FOR OVERFLOW PARKING FOR SUNDAY SERVICES BY CHURCH ATTENDEES.</p> <p>THE EXISTING WOOD FENCE ON THE SOUTHERN PORTION PROPERTY LINE AND ALONG THE EAST AND WEST PARCELS WILL BE REMOVED AND PROVIDED WITH STAIRS AND RAMPS TO FACILITATE PEDESTRIAN FLOW BETWEEN THE OFFICE BUILDING AND THE EXISTING CHURCH. THE LOWER FLOOR OF THE OFFICE BUILDING WILL BE UTILIZED FOR CHURCH ADMINISTRATIVE FUNCTIONS WHILE THE ENTIRE UPPER FLOOR WILL BE LEASED TO OTHER PROFESSIONAL TENANTS. A COFFEE SHOP (SIMILAR TO STARBUCKS) WILL ALSO BE PROVIDED FOR OFFICE TENANTS AND SUNDAY WORSHIP SERVICE. THERE WILL BE NO COOKING OR FOOD PREP IN THE COFFEE SHOP AS ALL GOODS WILL BE PRE-PACKAGED ITEMS.</p>	<p><b>VICINITY MAP</b></p>







NOTES:  
 1. SEE SHEET C-12 FOR PUBLIC ROW IMPROVEMENTS

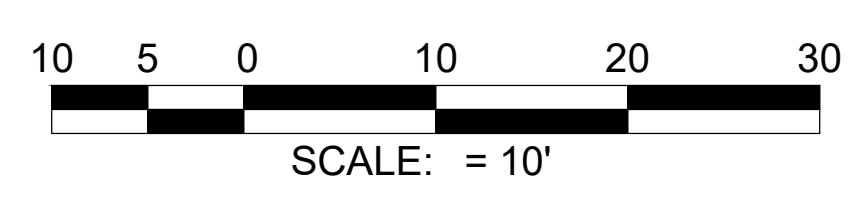
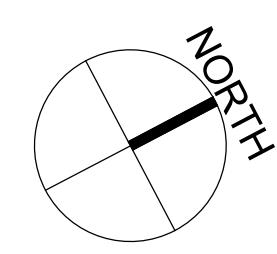


MATCH LINE - SEE SHEET C-7

MATCH LINE - SEE SHEET C-5

HILLSBORO WAY

MONTIEL RD



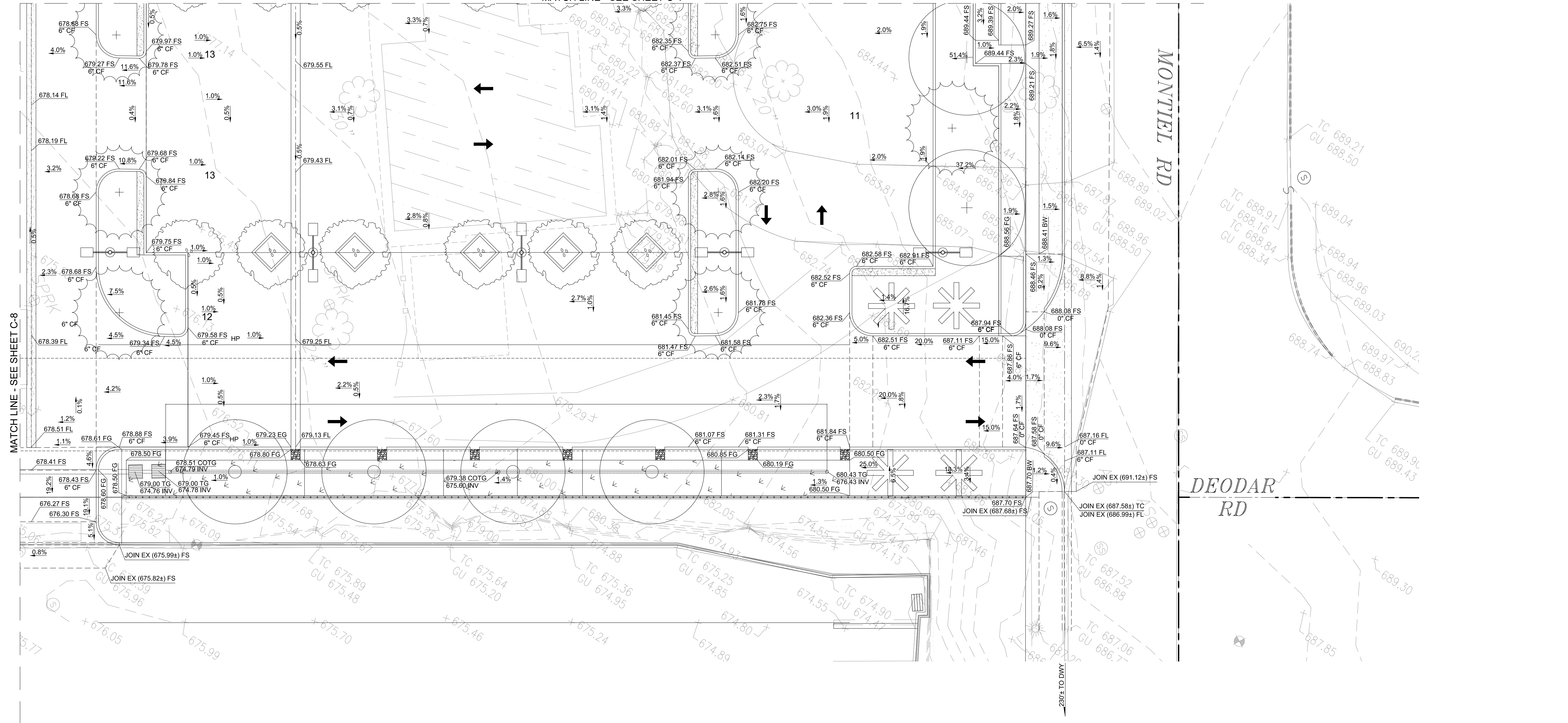
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 Engineering and Science, Inc.

INSPECTED AND RECOMMENDED FOR ACCEPTANCE  
 Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

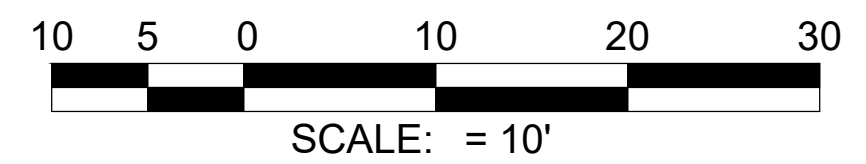
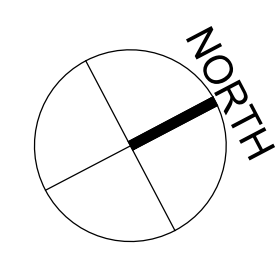
**PRELIMINARY PLAN**  
 BUILDING AND PLANNING COMMISSION  
 APPROVAL ONLY  
 NOT FOR CONSTRUCTION

SAN MARCOS FIRE DEPARTMENT		VALLECITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
By: Jason Nailon, Fire Marshal		By: _____		By: Ali Azimjirsarai R.C.E.: 48773		No. Description App'd By Date		By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021		By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020		Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.97 Datum: NGVD29		GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069		IPXX-XXXX PLANNING PROJECT NO. SDPX-XXXX Sheet 4 of 12	

MATCH LINE - SEE SHEET C-4



MATCH LINE - SEE SHEET C-8

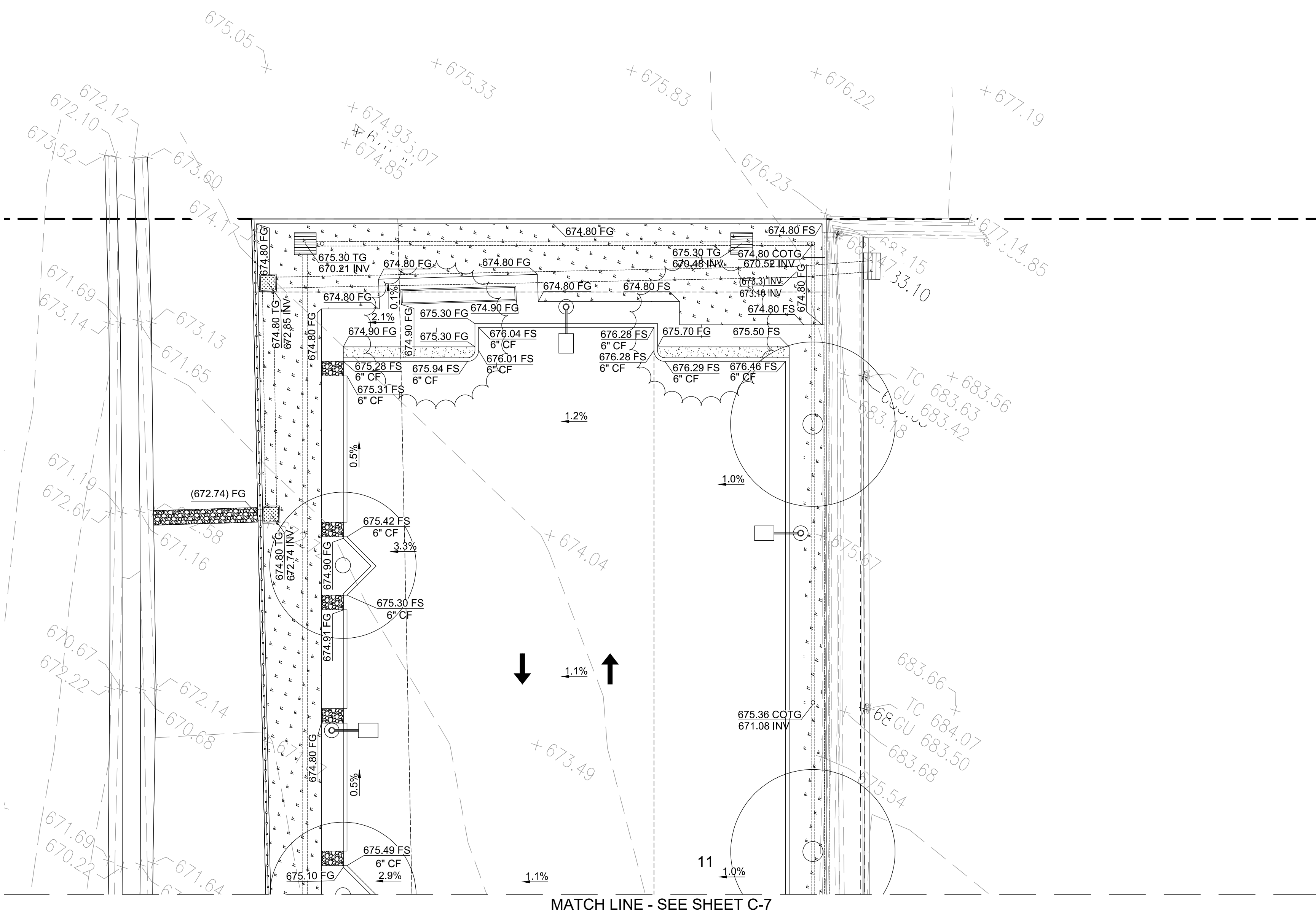


**PARTNER**  
Engineering and Science, Inc.

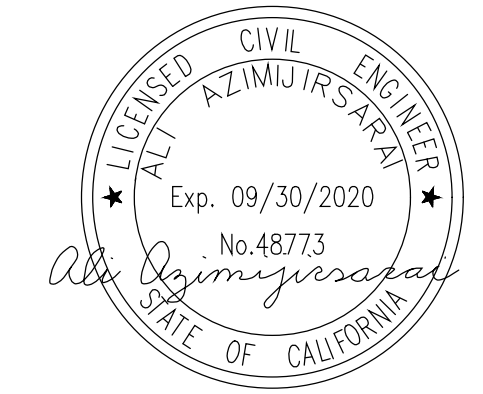
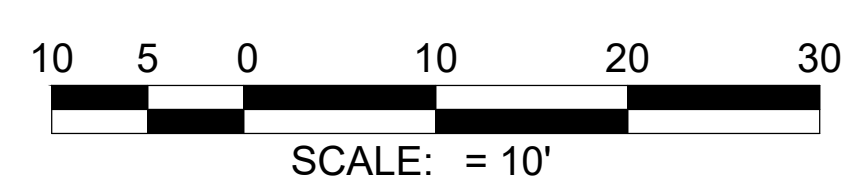
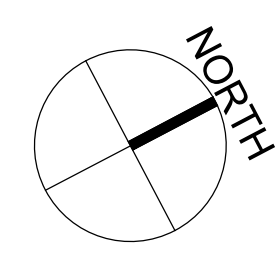
INSPECTED AND RECOMMENDED FOR ACCEPTANCE  
Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

**PRELIMINARY PLAN**  
BUILDING AND PLANNING COMMISSION  
APPROVAL ONLY  
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SAN MARCOS FIRE DEPARTMENT		VALLECITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
By: Jason Nailon, Fire Marshal		By: _____		By: Ali Azimjirsarai R.C.E.: 48773		No. Description App'd By Date		By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021		By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020		Description: 3" BC IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.97 Datum: NGVD29		GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069		IPXX-XXXX PLANNING PROJECT NO. SDPX-XXXX GP19-XXXX	
Date: _____		Date: _____		exp: _____										Sheet 5 of 12			



MATCH LINE - SEE SHEET C-7



**PRELIMINARY PLAN**  
 BUILDING AND PLANNING COMMISSION  
 APPROVAL ONLY  
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**PARTNER**  
 Engineering and Science, Inc.<sup>®</sup>

INSPECTED AND RECOMMENDED  
 FOR ACCEPTANCE  
 Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

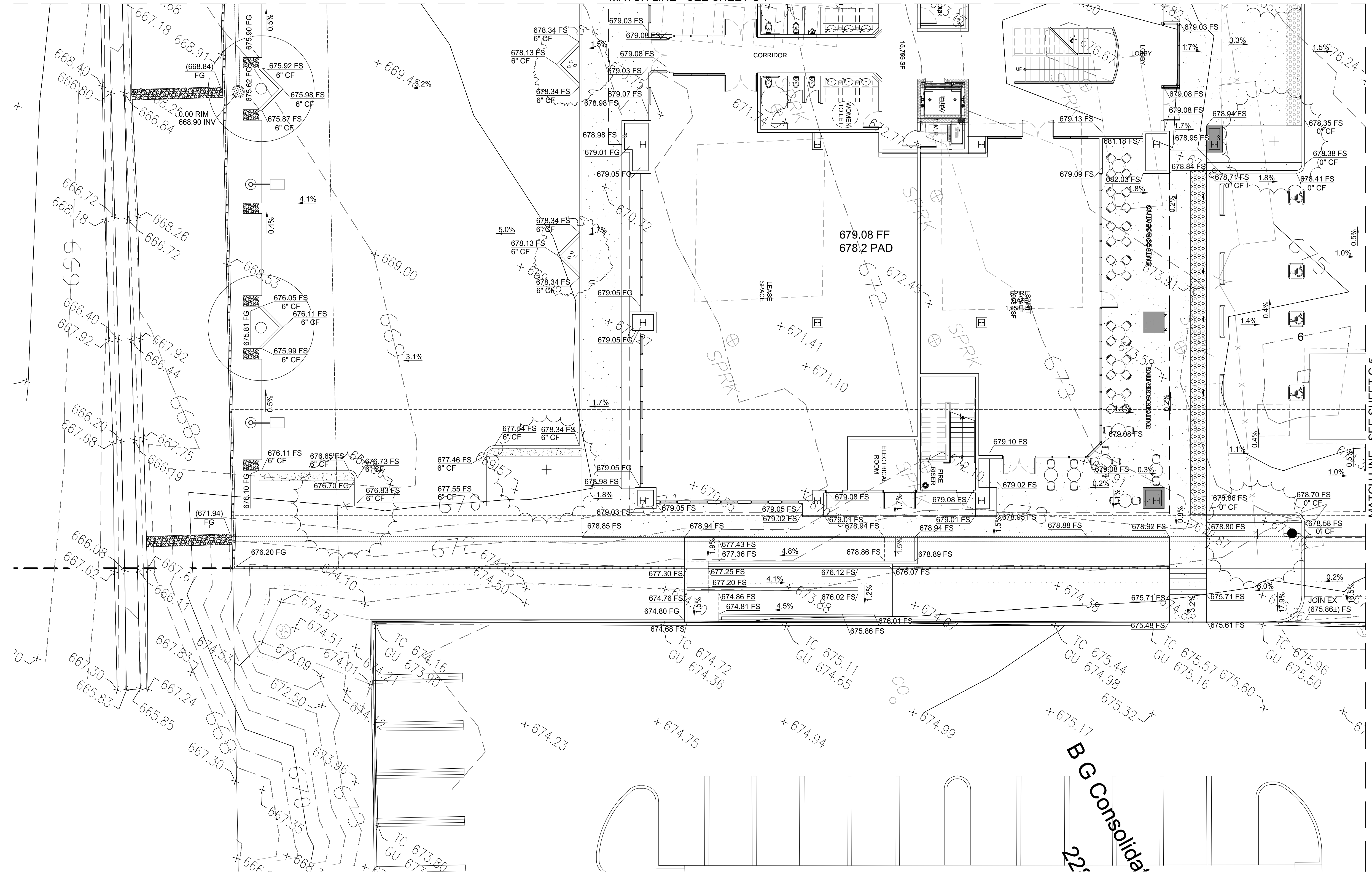
SAN MARCOS FIRE DEPARTMENT		VALLECITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
By: Jason Nailon, Fire Marshal		By: _____		By: _____ Date: _____		No. Description App'd By Date		By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021		By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020		Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.97 Datum: NGVD29		GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069		IPXX-XXXX PLANNING PROJECT NO. SDPX-XXXX GP19-XXXX	
Date: _____		Date: _____		R.C.E.: 48773 exp: _____										Sheet 6 of 12			

P:\04\02\11720 - 12:39 PM, By: azimjirsarai, Project: San Marcos Fire Department Building Improvement Plans, Sheet: 11800002, C-16 Grading Plan, --> C-06  
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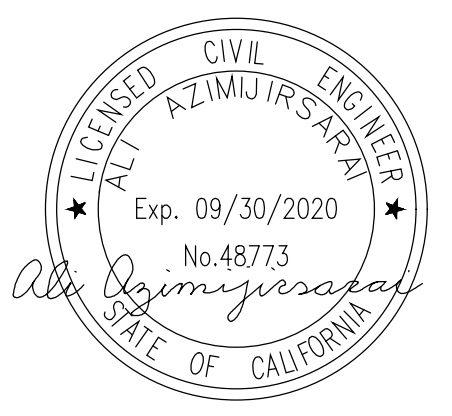
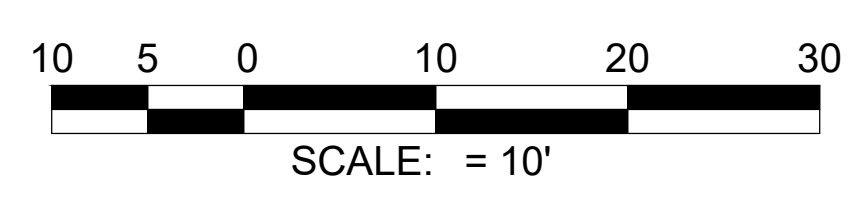
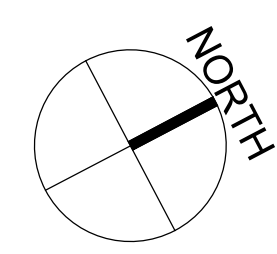




MATCH LINE - SEE SHEET C-7



MATCH LINE - SEE SHEET C-5

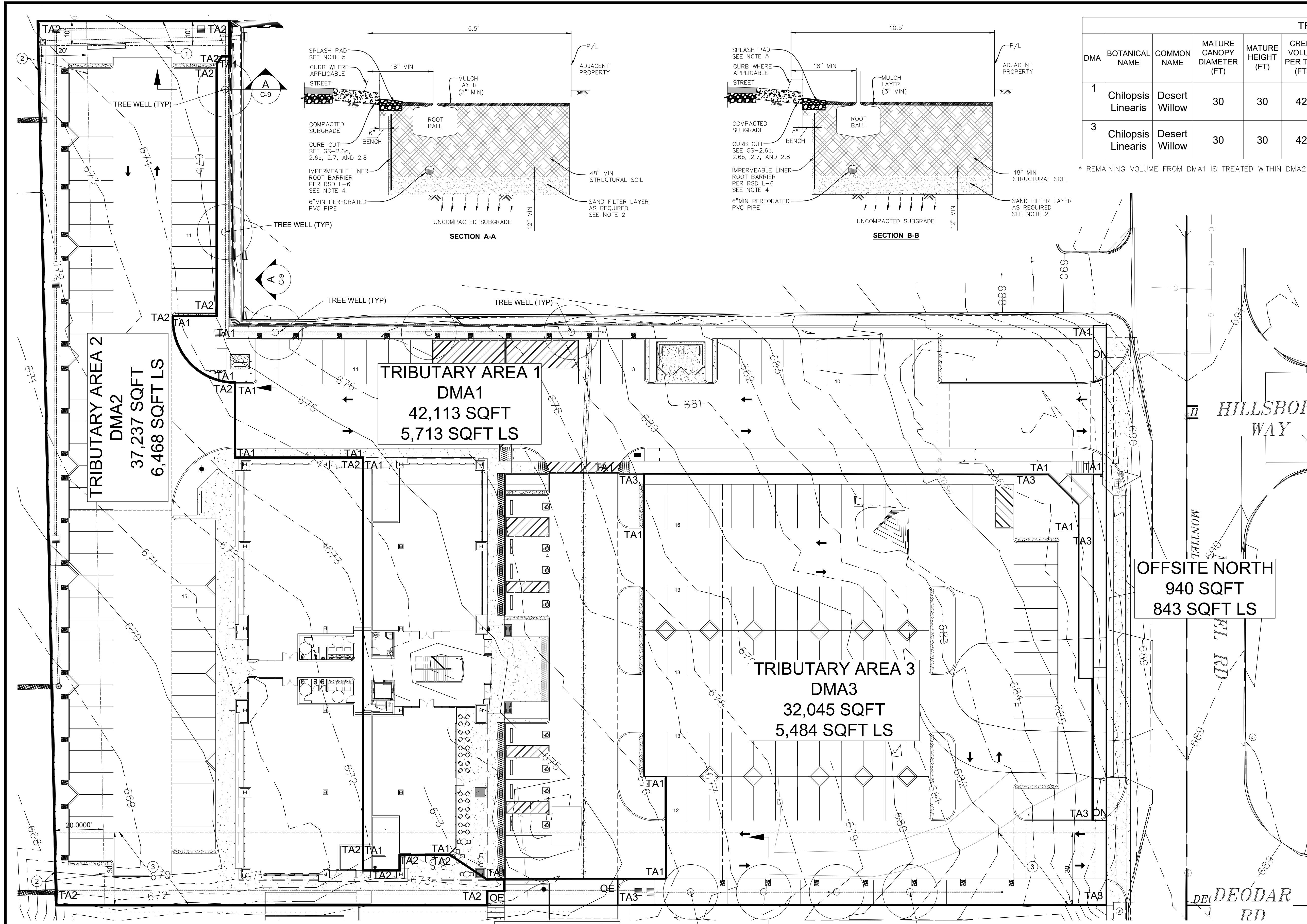


**PARTNER**  
Engineering and Science, Inc.

INSPECTED AND RECOMMENDED FOR ACCEPTANCE  
Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

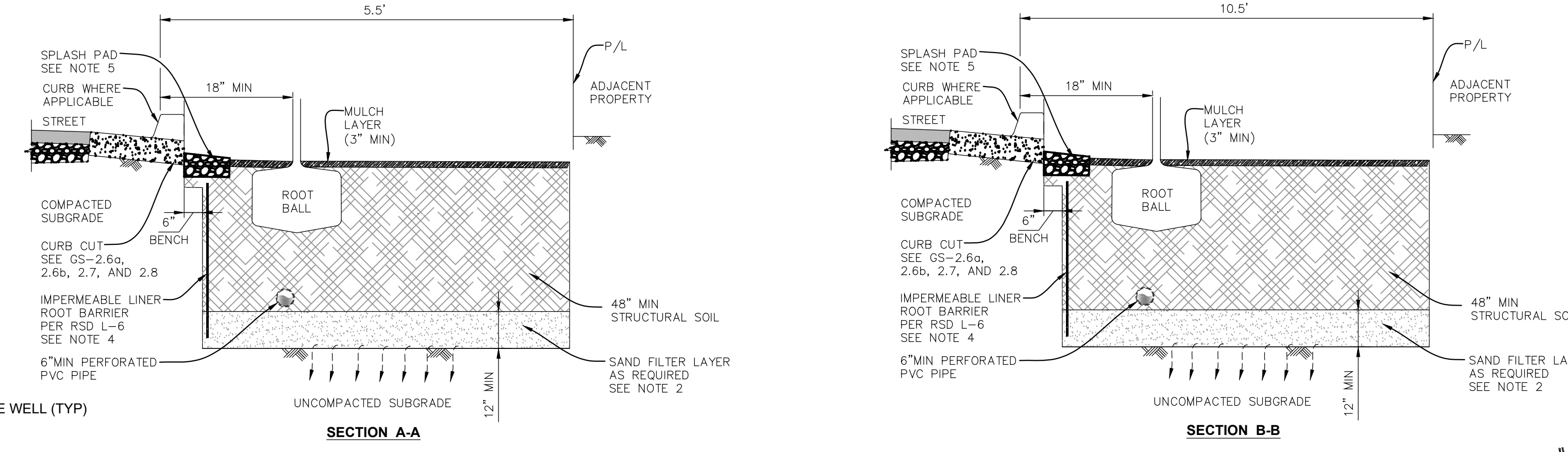
**PRELIMINARY PLAN**  
BUILDING AND PLANNING COMMISSION  
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SAN MARCOS FIRE DEPARTMENT		VALLECITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
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Date: _____		Date: _____		Name: Ali Azimjirsarai R.C.E.: 48773 exp: _____										No. 48773		Sheet 8 of 12	



TREE WELLS										
DMA	BOTANICAL NAME	COMMON NAME	MATURE CANOPY DIAMETER (FT)	MATURE HEIGHT (FT)	CREDIT VOLUME PER TREE (FT3)	REQUIRED SOIL VOLUME PER TREE (FT3)	PROVIDED SOIL VOLUME PER TREE (FT3)	NUMBER REQUIRED	NUMBER PROVIDED	REMAINING DCV (FT3)
1	Chilopsis Linearis	Desert Willow	30	30	420	1,414	5'X60'X5' (W x L x D) = 1,500	6	5	119*
3	Chilopsis Linearis	Desert Willow	30	30	420	1,414	10'X30'X5' (W x L x D) = 1,500	4	4	0

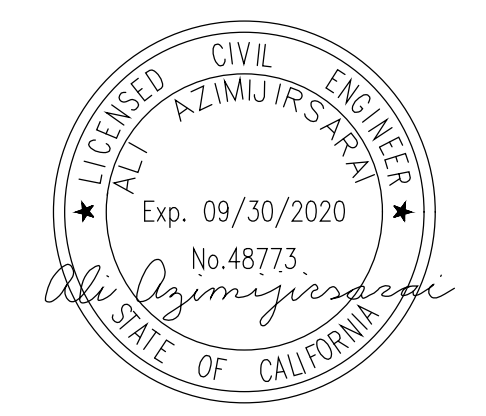
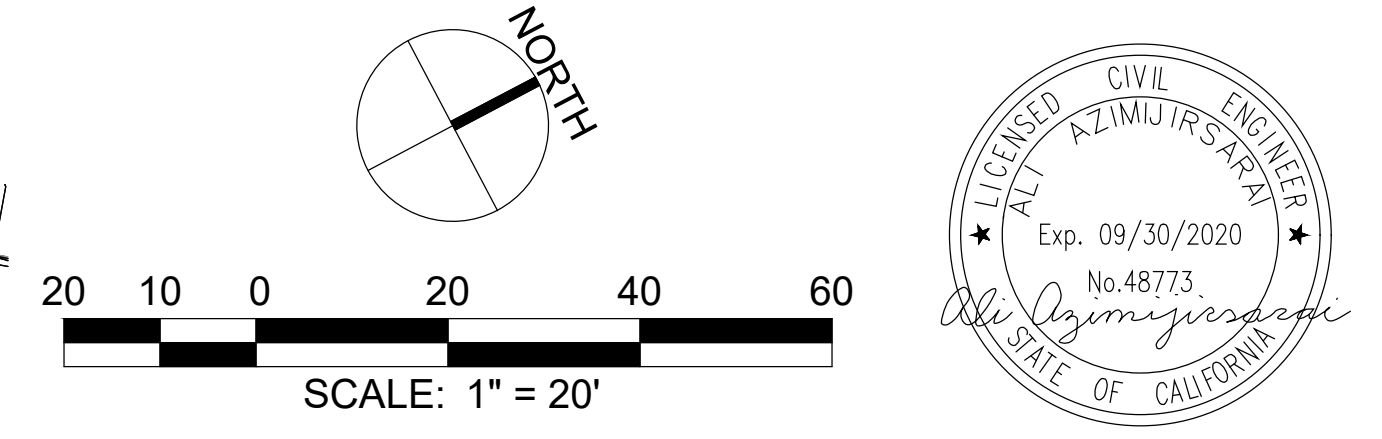
\* REMAINING VOLUME FROM DMA1 IS TREATED WITHIN DMA2.



- NOTES:**
- MAXIMUM WATERSHED AREA : 6 TIMES AREA OF THE TREE PLANTING BED.
  - SEE DWG GS-2.6a, 2.6b, 2.7, AND 2.8 FOR BOTTOM SAND LAYER AND SUBSURFACE DRAINAGE REQUIREMENTS.
  - SEE SD RSD DWG L-1 THRU L-4 FOR TREE INSTALLATION REQUIREMENTS.
  - PROVIDE 18" DEEP ROOT BARRIER ON PAVEMENT SIDE AS NECESSARY.
  - PROVIDE SPLASH PAD FOR TREE PLANTING SPACE PER GS-2.6b.
  - PROVIDE PLASTIC LINER WHERE CONCRETE WILL BE POURED ON TOP OF STRUCTURAL SOIL PER GREEN BOOK STANDARD SPECIFICATIONS SECTION 210-2.
  - 18" MINIMUM STEP OUT ZONE IS REQUIRED WHEN PARALLEL PARKING IS PROVIDED.
  - A 3 TO 1 SLOPE MAY BE USED IN LIEU OF THE L-WALL WHERE ADEQUATE SPACE IS AVAILABLE SEE GS-3.1b.

SITE AREAS		
TRIBUTARY AREA	SQFT	LANDSCAPE [SQFT]
TRIBUTARY AREA 1 (DMA1)	42,113	5,713
TRIBUTARY AREA 2 (DMA2)	37,237	6,468
TRIBUTARY AREA 3 (DMA3)	32,045	5,484
OFFSITE NORTH	940	843
OFFSITE EAST	545	155
<b>TOTAL</b>	<b>112,880</b>	<b>21,272</b>

- EASEMENT NOTES**
- 20 FEET WIDE EASEMENT IN FAVOR OF SAN MARCOS COUNTY WATER DISTRICT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED SEPTEMBER 30, 1987, AS INSTRUMENT NO. 87-0553604 OF OFFICIAL RECORDS.
  - 10 FEET WIDE EASEMENT IN FAVOR OF DAVID PHILIP MILES FOR INSTALLATION, USAGE AND MAINTENANCE OF SEWER PIPE LINE OR LATERAL, AND FOR INSTALLATION, USAGE AND MAINTENANCE OF POST SIGN VISIBLE FROM STATE FREEWAY 78 PER DOCUMENT RECORDING MARCH 6, 2002, AS INSTRUMENT NO. 2002-0190106 OF OFFICIAL RECORDS.  
AND  
10 FEET WIDE EASEMENT IN FAVOR OF NCV LAND, LLC FOR INSTALLATION, USAGE AND MAINTENANCE OF SEWER PIPELINE AND FOR INSTALLATION, USAGE AND MAINTENANCE OF POST SIGN VISIBLE FROM STATE FREEWAY 78, PER DOCUMENT RECORDING JULY 5, 2011 AS INSTRUMENT NO. 2011-0338788 OF OFFICIAL RECORDS.
  - 30 FEET WIDE EASEMENT FOR PIPE LINES AND ROAD PURPOSES PER DOCUMENT RECORDED JULY 10, 1944, IN BOOK 1714, PAGE 48 OF OFFICIAL RECORDS.



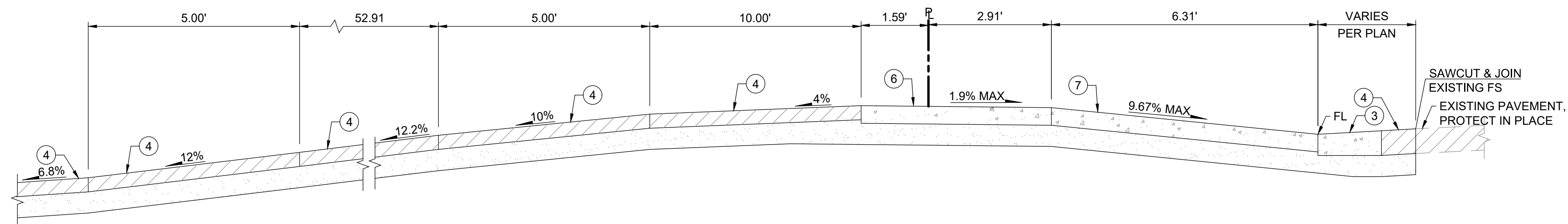
**PARTNER**  
Engineering and Science, Inc.

INSPECTED AND RECOMMENDED FOR ACCEPTANCE  
Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

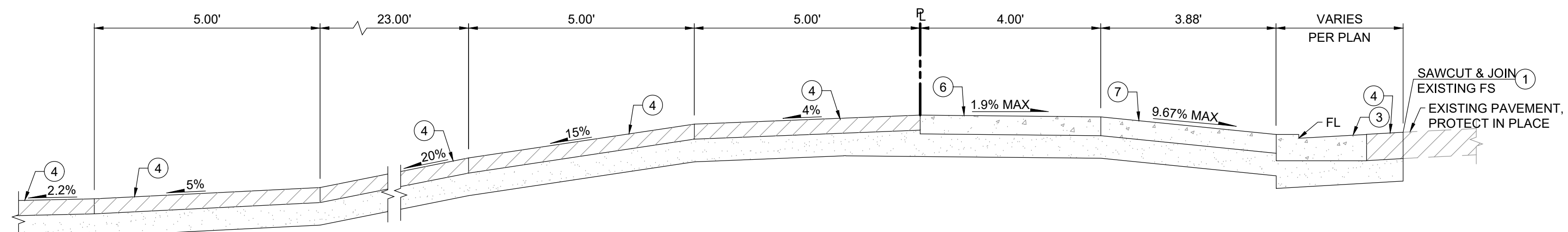
**PRELIMINARY PLAN**  
BUILDING AND PLANNING COMMISSION  
APPROVAL ONLY  
NOT FOR CONSTRUCTION

SAN MARCOS FIRE DEPARTMENT		VALLECITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
By: Jason Nailon, Fire Marshal		By: _____		By: Ali Azimjirsarai R.C.E.: 48773		No. Description App'd By Date		By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021		By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020		Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 139228 Elev.: 685.97 Datum: NGVD29		GRADING PLANS FOR: <b>2355 AND 2375 MONTIEL RD.</b> SAN MARCOS, CA 92069		IPXX-XXXX PLANNING PROJECT NO. SDPX-XXXX Sheet 9 of 12	

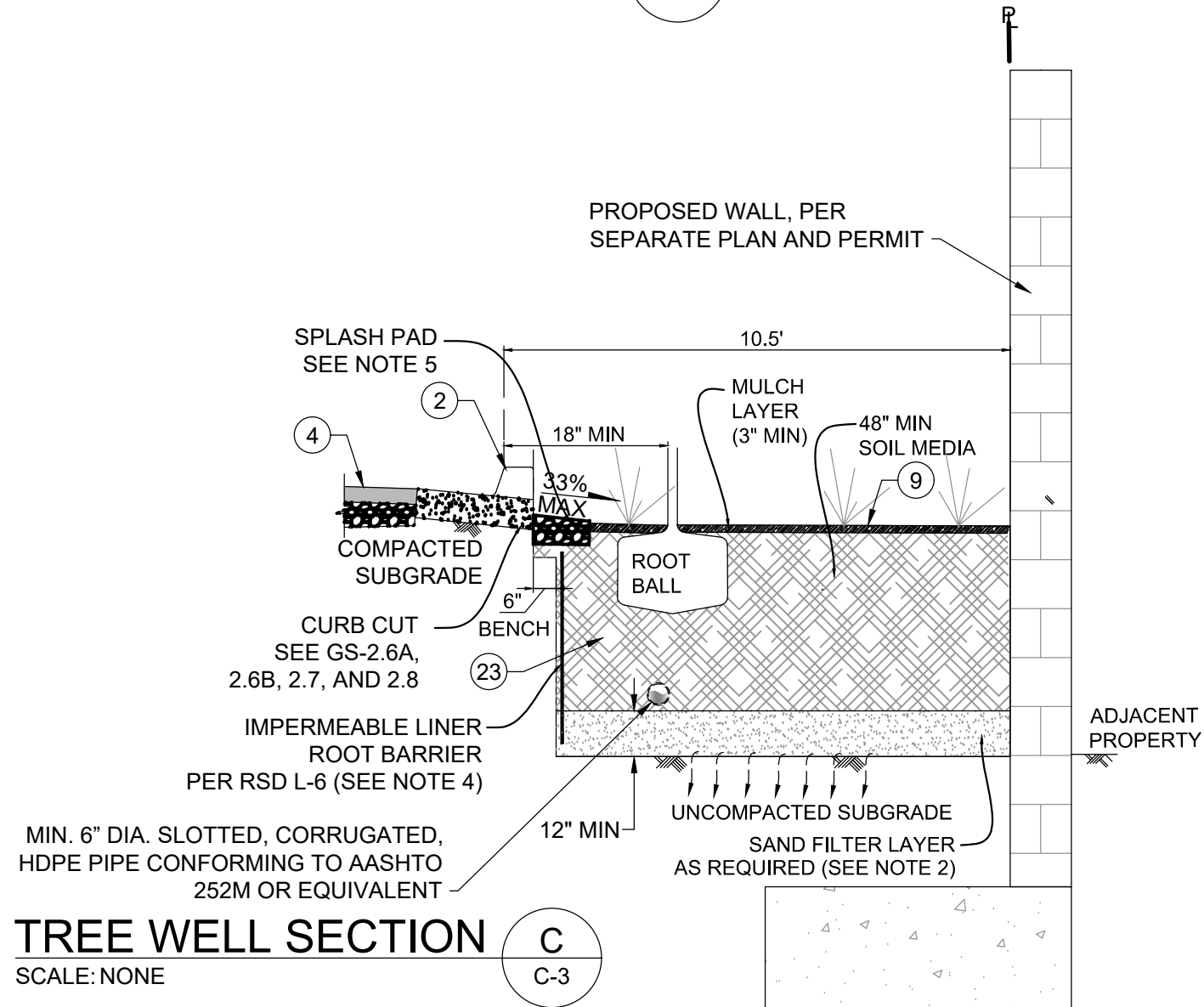
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 Date: 09/27/2020 10:18:00 AM  
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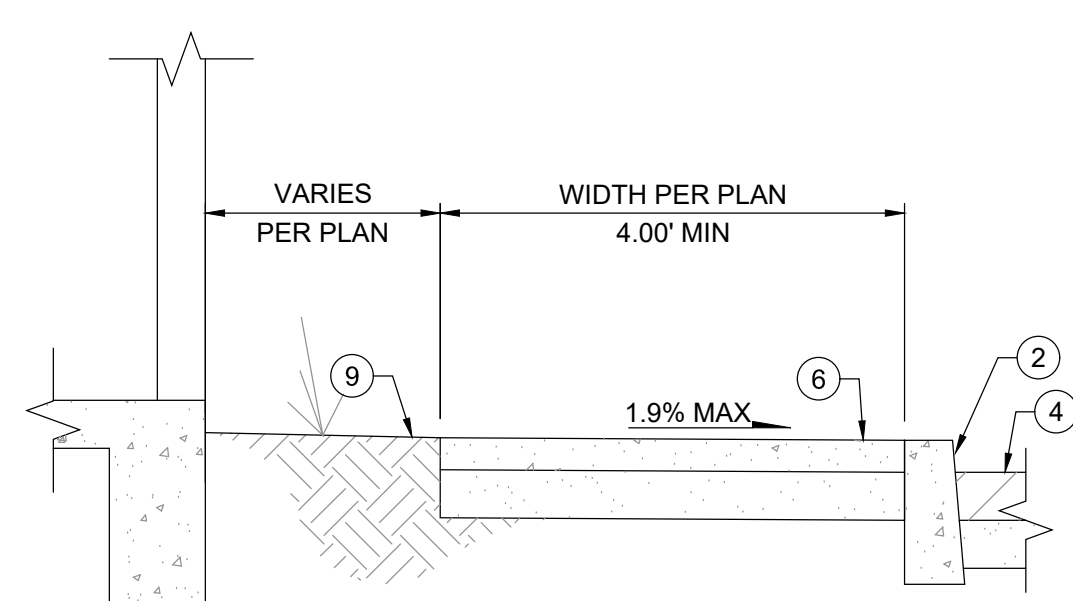
**WEST DRIVEWAY SECTION A**  
SCALE: 1" = 2'-0"



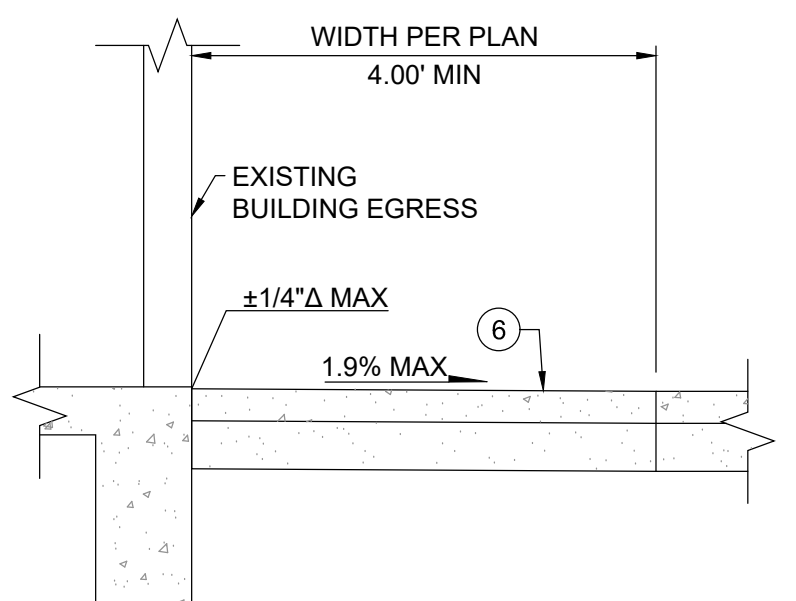
**EAST DRIVEWAY SECTION B**  
SCALE: 1" = 2'-0"



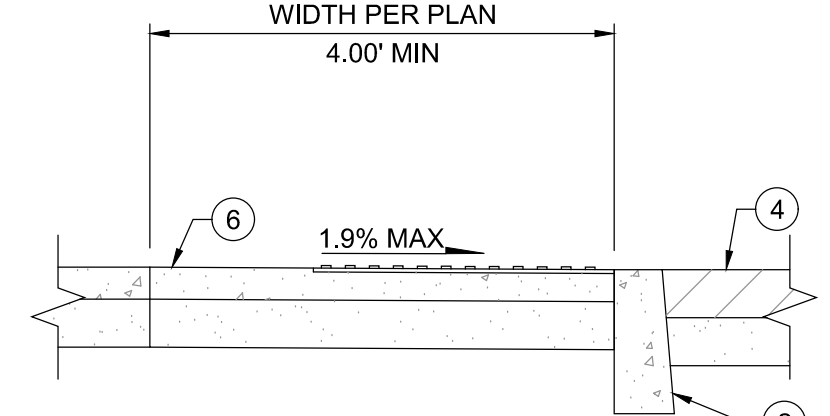
**TREE WELL SECTION C**  
SCALE: NONE



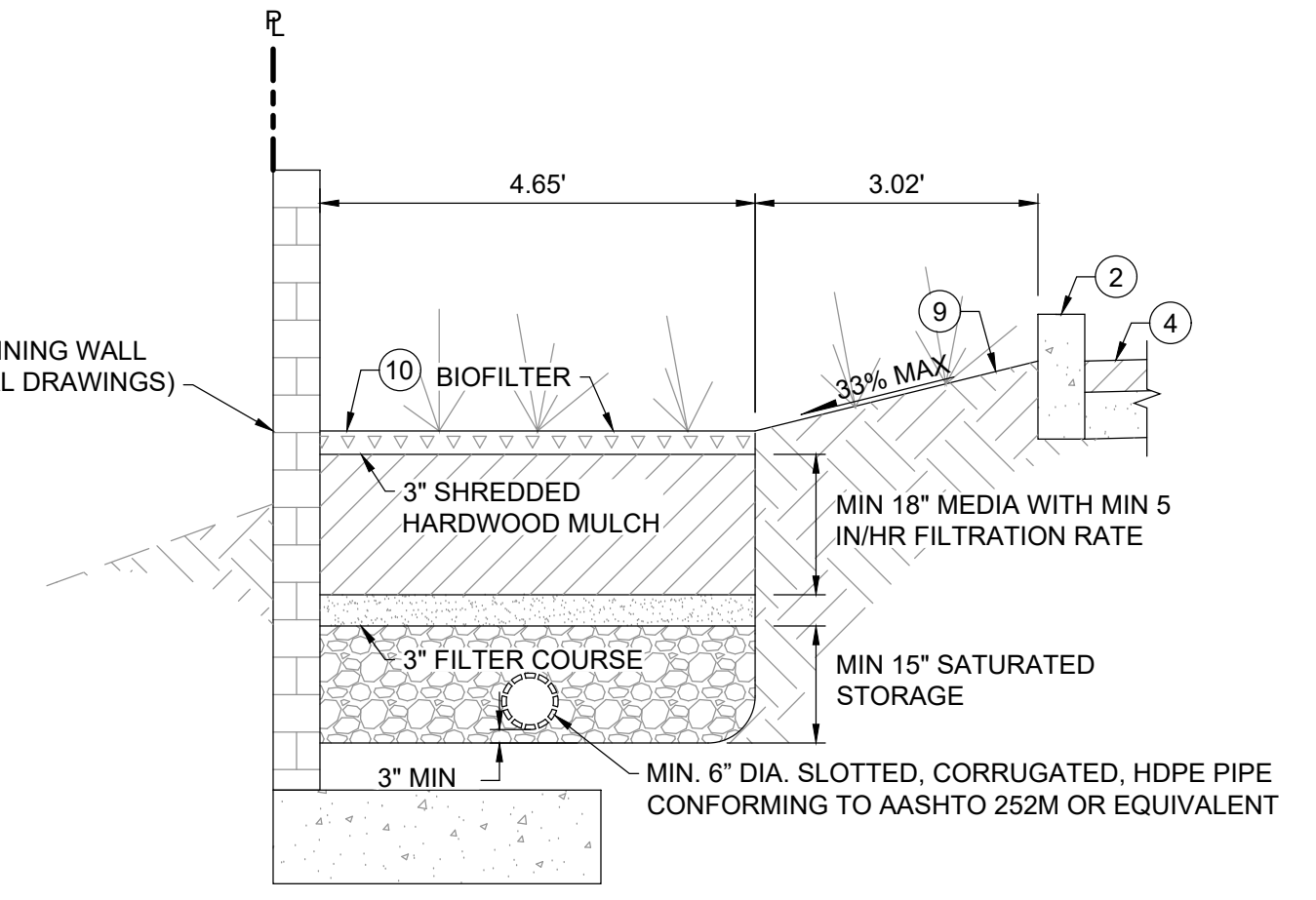
**BUILDING SIDEWALK SECTION D**  
SCALE: 1" = 2'-0"



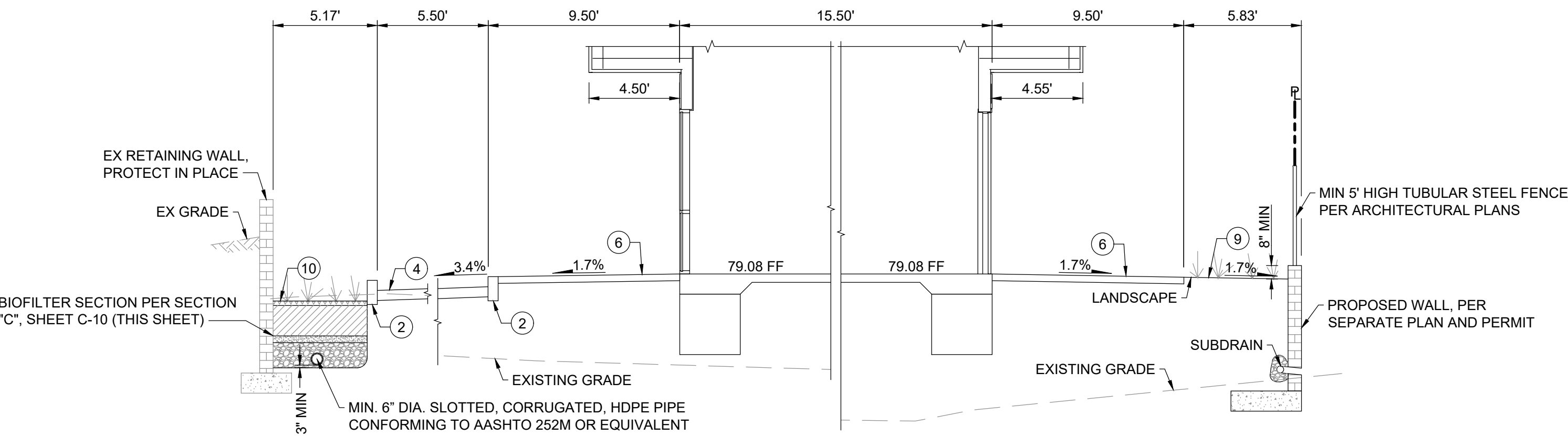
**BUILDING EGRESS SECTION E**  
SCALE: 1" = 2'-0"



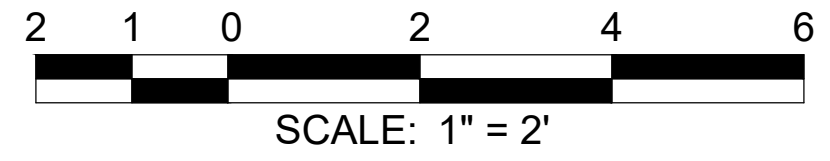
**IN-LINE CURB RAMP LANDING SECTION F**  
SCALE: 1" = 2'-0"



**BIOFILTER SOUTH SECTION G**  
SCALE: 1" = 2'-0"



**LOT SECTION NW TO SE H**  
SCALE: 1" = 2'-0"



**PARTNER**  
Engineering and Science, Inc.

INSPECTED AND RECOMMENDED FOR ACCEPTANCE  
Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

**PRELIMINARY PLAN**  
BUILDING AND PLANNING COMMISSION  
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**CONSTRUCTION NOTES**

#	ITEM
1	SAWCUT EXISTING PAVEMENT
2	CONCRETE CURB
3	CONCRETE CURB & GUTTER
4	ASPHALT CONCRETE PAVEMENT
6	CONCRETE SIDEWALK
7	CONCRETE DRIVEWAY
9	LANDSCAPE
10	BIORETENTION FILTER

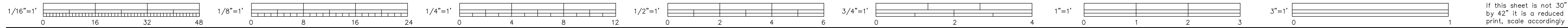
**NOTES:**  
1. UTILITIES (ESPECIALLY WITHIN BIOFILTRATION BMPs) NOT SHOWN AND WILL BE PROVIDED AT A FUTURE DESIGN STAGE.

P:\0211720 - 123 PM By: azim Date: 09/15/2020 10:18:00 AM File: Road Office Buildings\Improvement Plans\Sheets\1808092 C-10 Sections.dwg, ---> Layout1  
 Created by: Partner Engineering and Science, Inc.

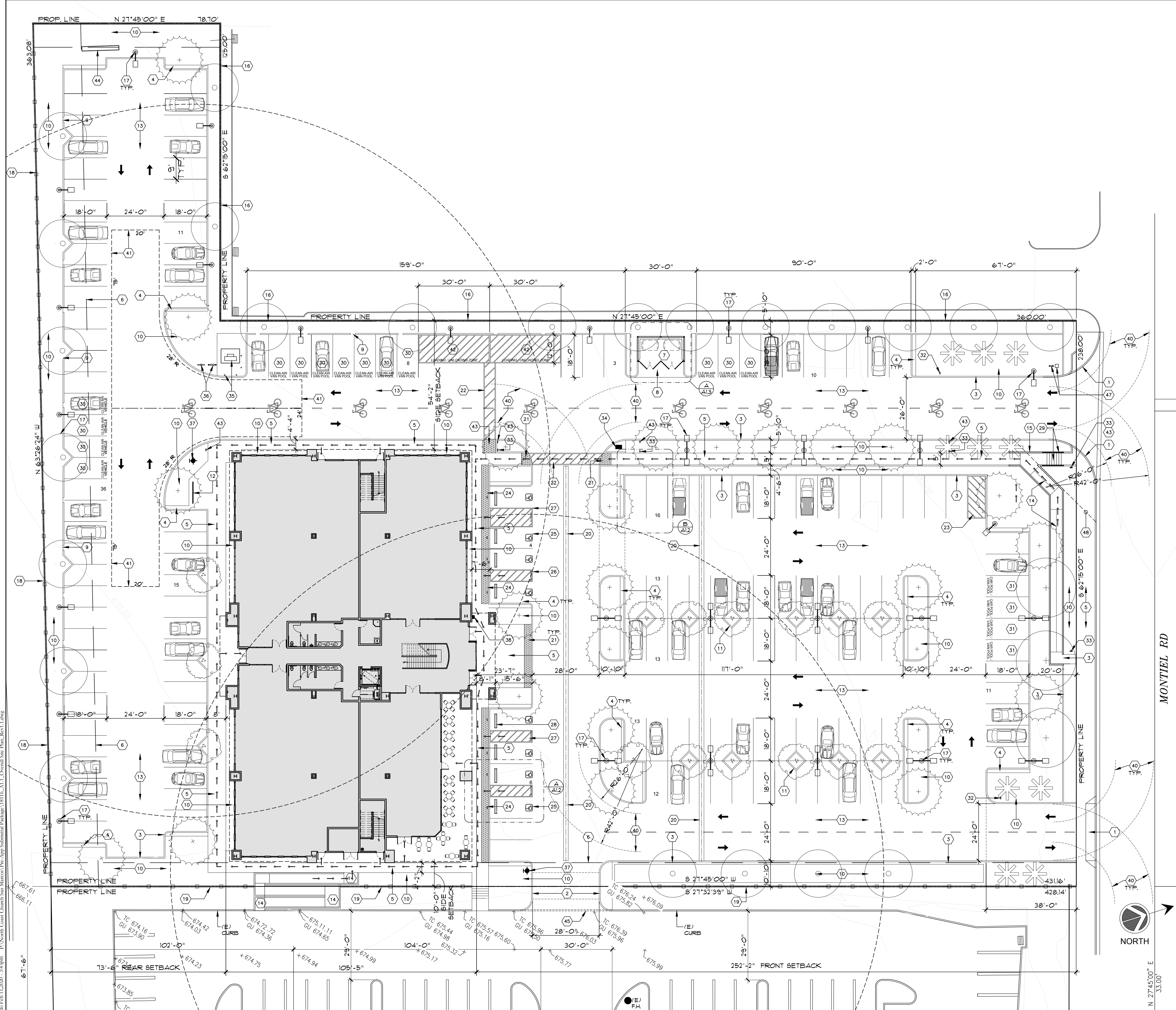
SAN MARCOS FIRE DEPARTMENT By: Jason Nailon, Fire Marshal Date:	VALLECITOS WATER DISTRICT By: _____ Date:	ENGINEER OF WORK By: Ali Azimjirsarai Name: Ali Azimjirsarai R.C.E.: 48773 Date: _____ exp:	CITY APPROVED CHANGES <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>App'd By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	App'd By	Date					RECOMMENDED FOR APPROVAL By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 Date: _____ exp.: 06/30/2021	APPROVED FOR CONSTRUCTION By: Matt Little, City Engineer R.C.E.: 60569 Date: _____ exp.: 12/31/2020	BENCH MARK Description: 3" BC IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.97 Datum: NGVD29	CITY OF SAN MARCOS GRADING PLANS FOR: <b>2355 AND 2375 MONTIEL RD.</b> SAN MARCOS, CA 92069 IPXX-XXXX PLANNING PROJECT NO. SDPX-XXXX City Drawing No. <b>GP19-XXXX</b> Sheet 10 of 12
No.	Description	App'd By	Date												







If this sheet is not 30\"/>



**GENERAL NOTES**

1. SEE CIVIL ENGINEERING DRAWINGS FOR EXACT SCOPE OF WORK AND EXTENT OF SITE AND GRADING MODIFICATIONS. INFORMATION SHOWN ON CIVIL DRAWINGS WILL TAKE PRECEDENCE OVER INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS.
2. SEE LANDSCAPE DRAWINGS FOR EXACT SCOPE OF WORK WHILE SOME EXISTING TREES AND SHRUBBERY IS TO REMAIN, MANY NEW TREES AND OTHER PLANTING IS BEING INSTALLED. LANDSCAPE DRAWINGS WILL TAKE PRECEDENCE OVER ANY PLANTING SHOWN ON ARCHITECTURAL DRAWINGS.
3. PROVIDE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY PRIMARY PUBLIC ENTRANCE, AND AT EVERY MAJOR FUNCTION AREA ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL. SIGNS ARE REQUIRED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES, PER 2015 CBC, SECTION 11B-216.6 AND 11B-103.12.1.
4. AT OWNER'S REQUEST PROVIDE INFRASTRUCTURE (CONDUIT RUNS) FROM ELECTRICAL ROOM TO FUTURE ELECTRIC VEHICLES PARKING STALLS. THE ACTUAL CHARGING STATIONS WILL BE INSTALLED AT A LATER TIME. VERIFY DESIGNATED PARKING STALLS WITH OWNER.

**KEY NOTES**

- 1) CONCRETE DRIVEWAY APPROACH, SEE CIVIL DRAWINGS
- 2) NEW DRIVEWAY CONNECTION TO EXISTING ADJACENT PROPERTY, SEE CIVIL DRAWINGS
- 3) 6" CONCRETE CURB
- 4) 18" CONCRETE STEP-OUT AT END STALL
- 5) CONCRETE SIDEWALK, SEE CIVIL DRAWINGS
- 6) BUILDING SETBACK LINE
- 7) CONCRETE BLOCK TRASH ENCLOSURE WITH METAL TRELLIS AND GATES
- 8) THICKENED CONCRETE APRON
- 9) CONCRETE CURB OPENING FOR BIOSWALE, SEE CIVIL DRAWINGS AND LANDSCAPE DRAWINGS
- 10) PLANTING AREA, SEE LANDSCAPE DRAWINGS
- 11) 6" SQUARE TREE PLANTER
- 12) 9 BICYCLE RACK BY MAGLIN, MODEL: MBR400-9-S SERIES
- 13) A/C PAVEMENT, SEE CIVIL DRAWINGS
- 14) ADA COMPLIANT CONCRETE RAMP AND LANDING
- 15) LOW RETAINING WALL, SEE CIVIL DRAWINGS
- 16) EXISTING RETAINING WALL ON PROPERTY LINE, SEE CIVIL DRAWINGS
- 17) PARKING LOT LIGHT STANDARD ON 36" HIGH CONCRETE BASE
- 18) NEW RETAINING WALL, SEE CIVIL DRAWINGS
- 19) EXISTING RETAINING WALL WITH WROUGHT IRON FENCE, MODIFIED PER CIVIL DRAWINGS
- 20) CONCRETE GUTTER / DRAINAGE "V" DITCH
- 21) TRUNCATED DOMES, SEE DETAIL 3/A12
- 22) 5' WIDE STRIPED CROSSWALK
- 23) STRIPED NO-PARKING AREA
- 24) ADA PARKING STALL SIGN
- 25) 36" SQUARE PAINTED HANDICAP LOGO
- 26) 5' WIDE STRIPED LOADING AISLE
- 27) 8' WIDE STRIPED LOADING AISLE
- 28) 4' LONG CONCRETE WHEEL STOP
- 29) CONCRETE STEPS AND STEEL TUBE HANDRAILS
- 30) CLEAN-AIR VEHICLE PARKING STALL
- 31) CAR-POOL / VAN-POOL PARKING STALL
- 32) SITE ENTRANCE "TOU-A-WAY" SIGN, SEE DETAIL 6/A12
- 33) ACCESSIBLE BUILDING DIRECTIONAL SIGN, SEE DETAIL 6/A12
- 34) CLUSTERED MAILBOX LOCATION
- 35) ELECTRICAL TRANSFORMER, CONCRETE VAULT AND 6" ROUND CONCRETE FILLED STEEL BOLLARDS
- 36) F.I.V. AND F.D.C. VALVES LOCATION
- 37) FIRE HYDRANT WITH 150' RADIUS COVERAGE. INSTALL BRONZE INDUSTRIAL FIRE HYDRANT. MINIMUM GPM SHALL BE 1500 GPM. FIRE HYDRANT TYPE SHALL BE JONES OR CLOW AS APPROVED BY THE FIRE DEPARTMENT
- 38) KNOX KEY BOX - KNOX BOX SHALL BE MOUNTED IN AN AREA APPROVED BY THE FIRE DEPARTMENT AT A HEIGHT OF 46" TO 48" AFF. KNOX BOX SHALL BE TYPE WITH HINGED DOOR
- 39) FIRE TRUCK TURNING RADIUS PER CITY OF SAN MARCOS FIRE DEPARTMENT STANDARDS
- 40) FIRE TRUCK TURN-AROUND HAMMER HEAD PER CITY OF SAN MARCOS FIRE DEPARTMENT STANDARDS
- 41) 30'-0" X 17'-0" LOADING / UNLOADING ZONE. STRIP AND LABEL THE LOADING AREA PER CITY STANDARDS
- 42) BICYCLE PATH SIGN, SEE DETAIL 6/A12 AND BICYCLE PAVEMENT PATH STENCIL, SEE DETAIL 3/A12
- 43) EXISTING MONUMENT SIGN TO REMAIN. MODIFICATION TO EXISTING SIGN WILL BE MADE UNDER A SEPARATE PERMIT
- 44) SAW-CUT AND REMOVE (E) CONCRETE CURB AS REQUIRED TO JOIN NEW DRIVE AISLE WITH EXISTING ADJACENT DRIVE AISLE, SEE CIVIL DRAWINGS
- 45) WATER METER AND BACKFLOW DEVICE LOCATION FOR VALLECITOS WATER DISTRICT POINT OF CONNECTION
- 46) CLEAR LINE OF SIGHT TO BE MAINTAINED AT ALL TIMES



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APPROVAL

PROJECT PHASE

CONCEPTUAL  
 PLANNING  
 SUBMITTAL  
 FOR  
**MONTIEL OFFICE  
 BUILDING**

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

OVERALL SITE PLAN

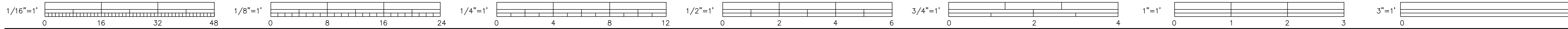
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**A1.1**

SHEET NUMBER

SCALE DATE

OVERALL SITE PLAN



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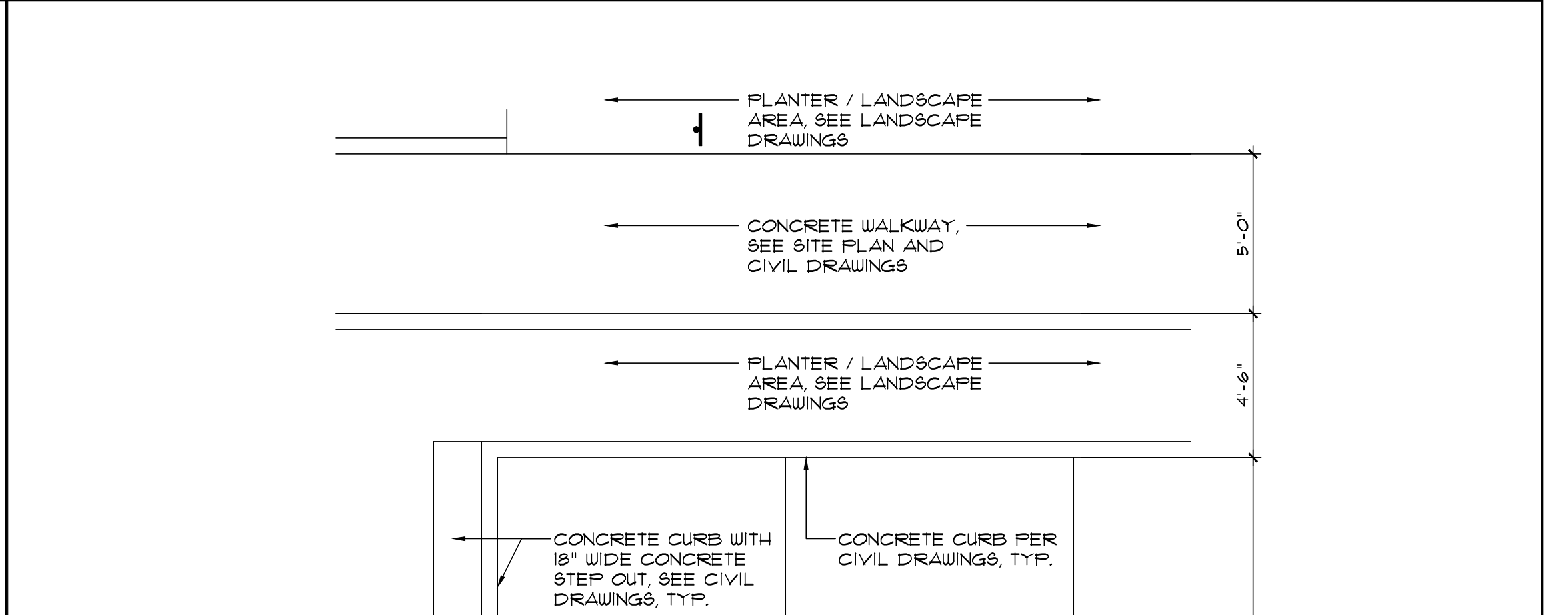
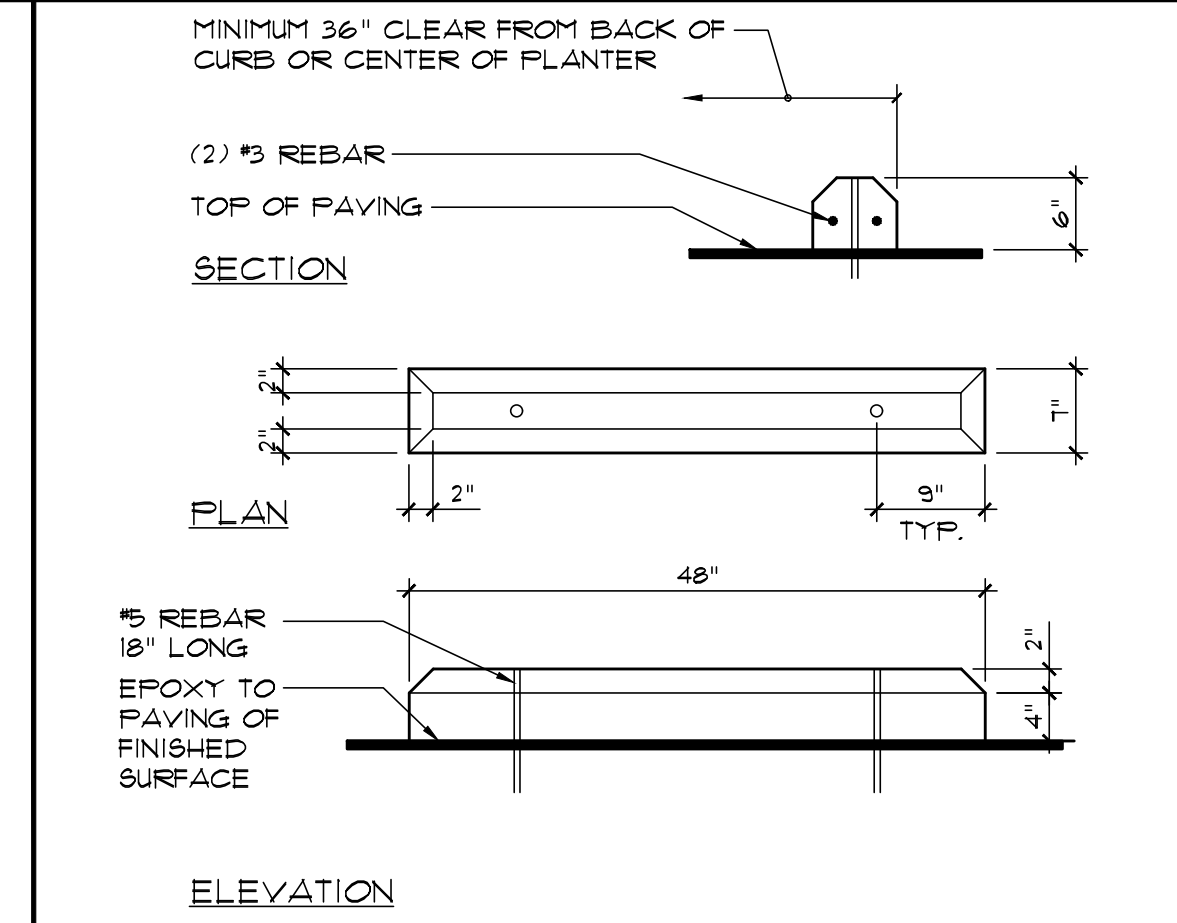
**BICYCLE PATH SIGN**

LETTERING ON SIGN MUST BE A MINIMUM OF 1\"/>

1\"/>

60\"/>

NOTE:  
 1. SIGN MATERIAL SHALL BE ACID ETCHED ZINC.  
 2. CONTRACTOR SHALL COMPLY WITH CITY ZONE ORDINANCE 20340-6



NOT USED

SCALE: ---

12

SCALE: N.T.S.

8

SCALE: N.T.S.

4



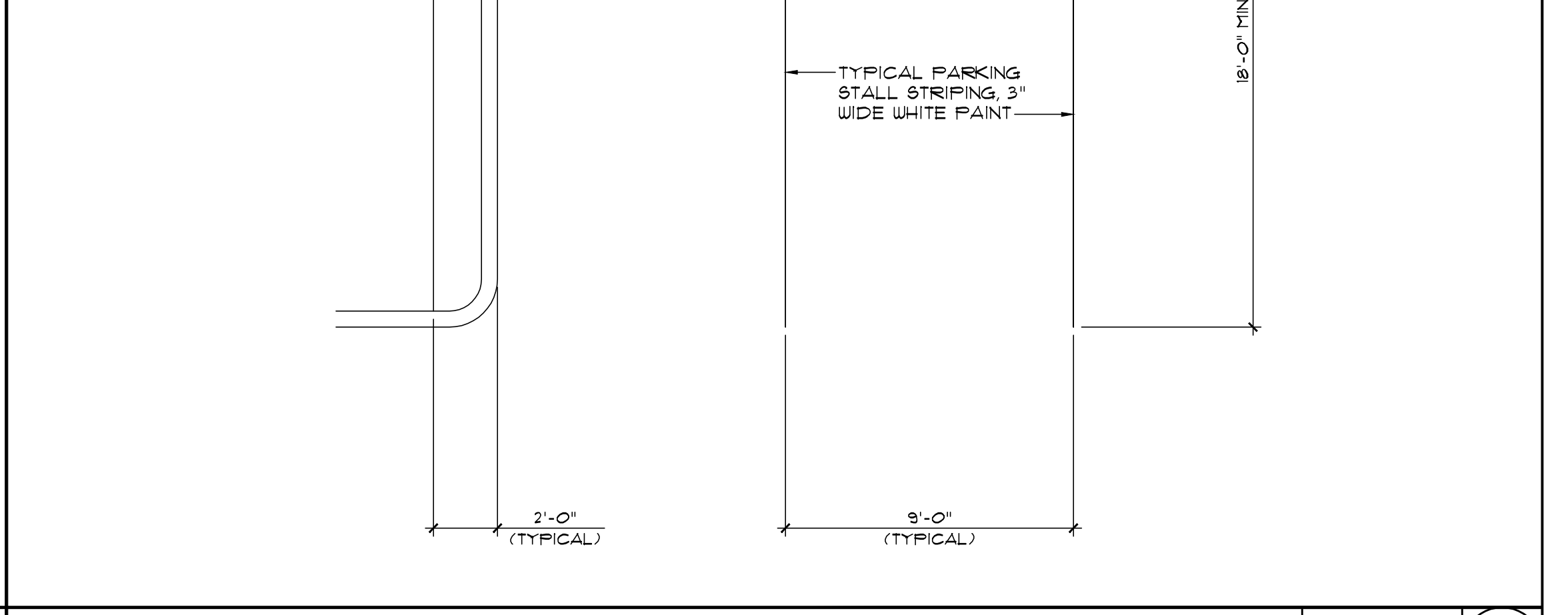
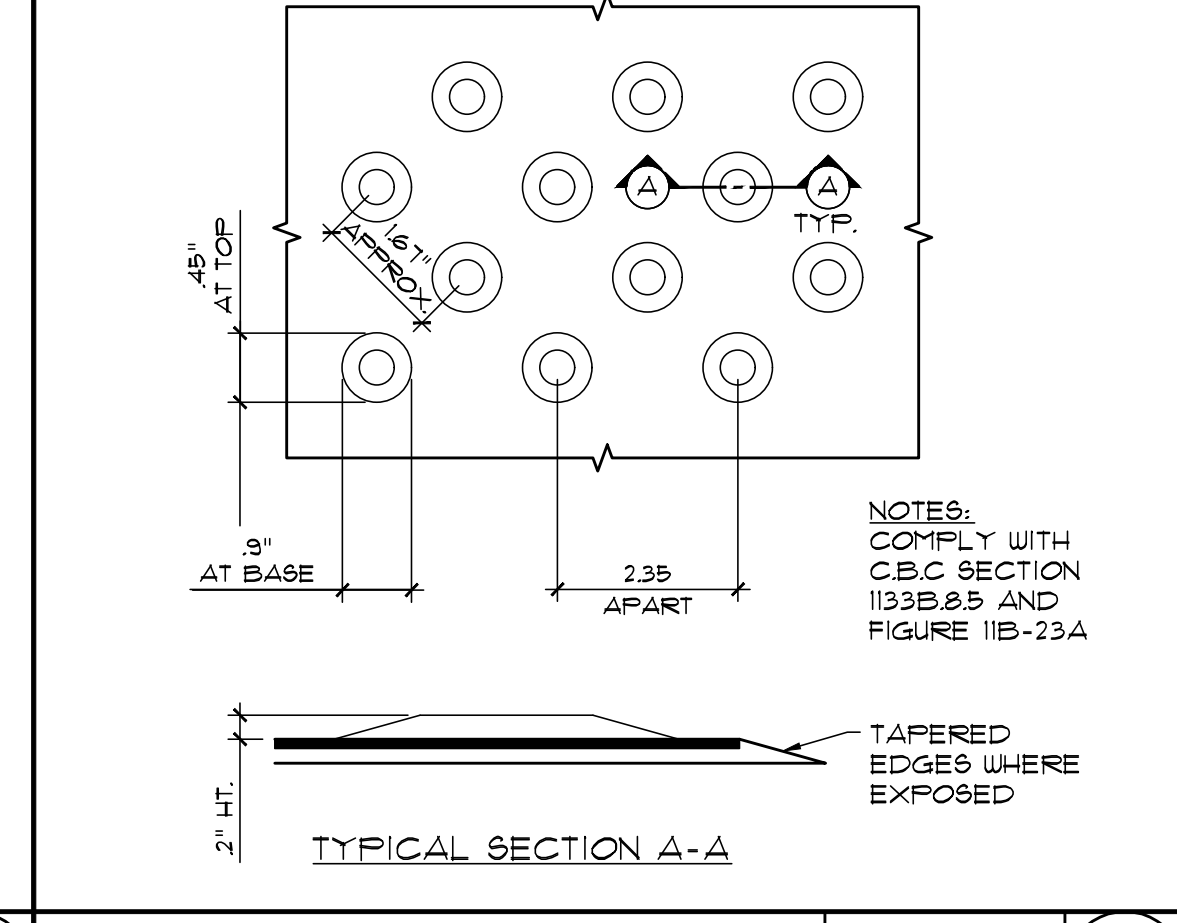
**BUILDING ENTRANCE SIGNAGE**

INTERNATIONAL SYMBOL OF ACCESSIBILITY AND GRAPHICS

1\"/>

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NOTE:  
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 2. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 2016, SECTION 11B-103.1  
 3. THE MINIMUM 18\"/>



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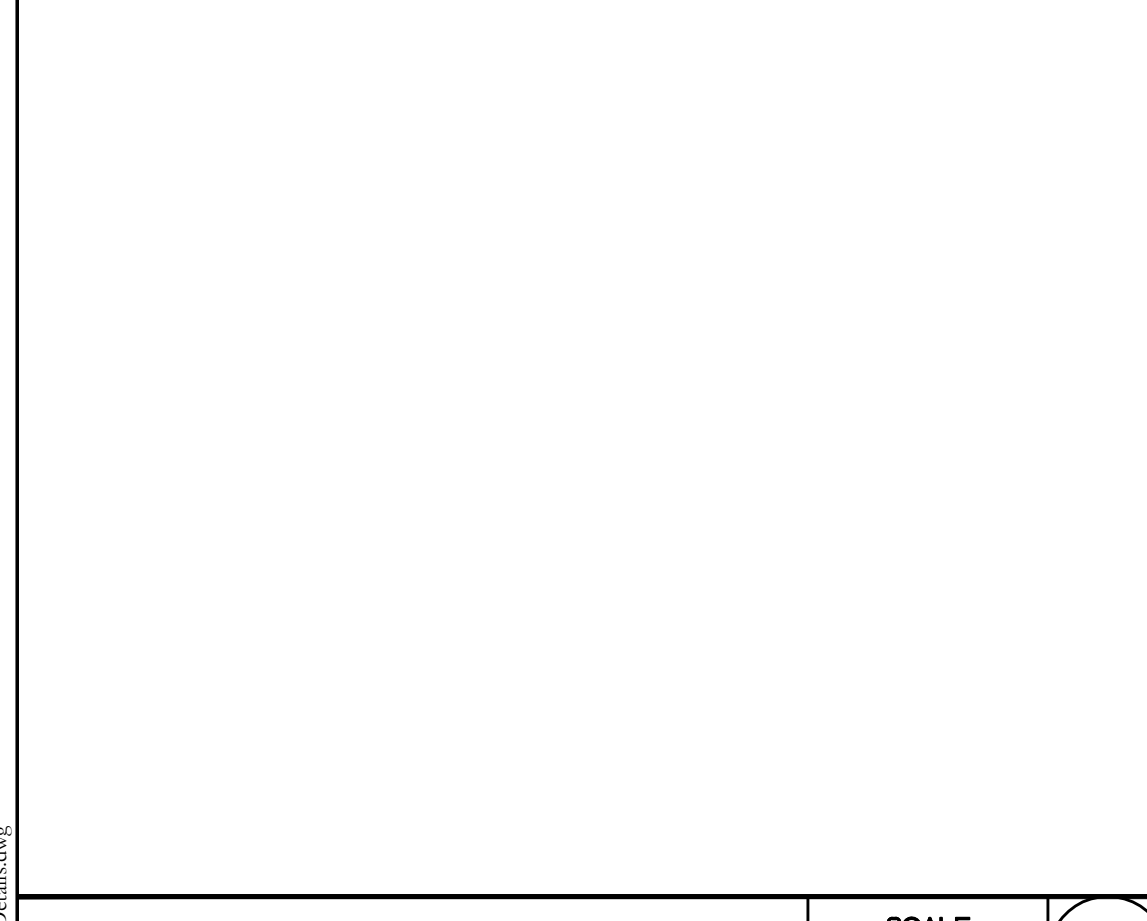
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SCALE: 1/4\"/>

B



**BUILDING DIRECTIONAL SIGNAGE**

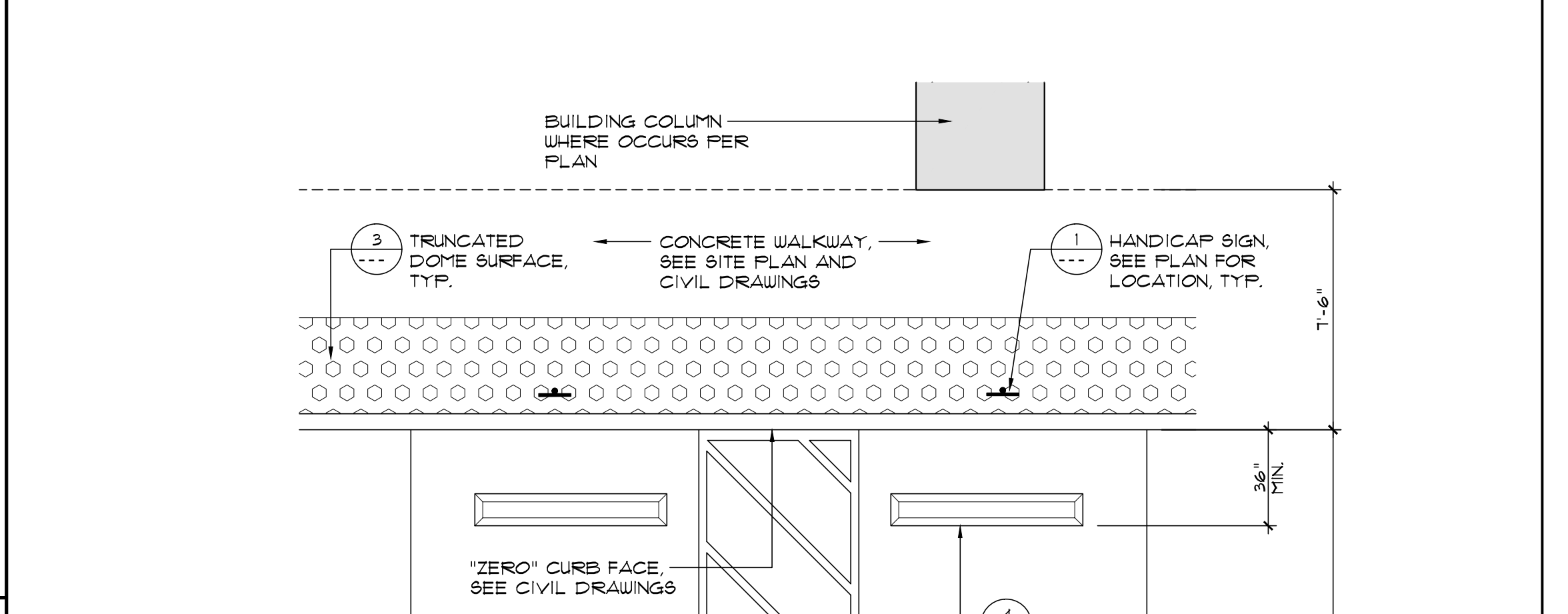
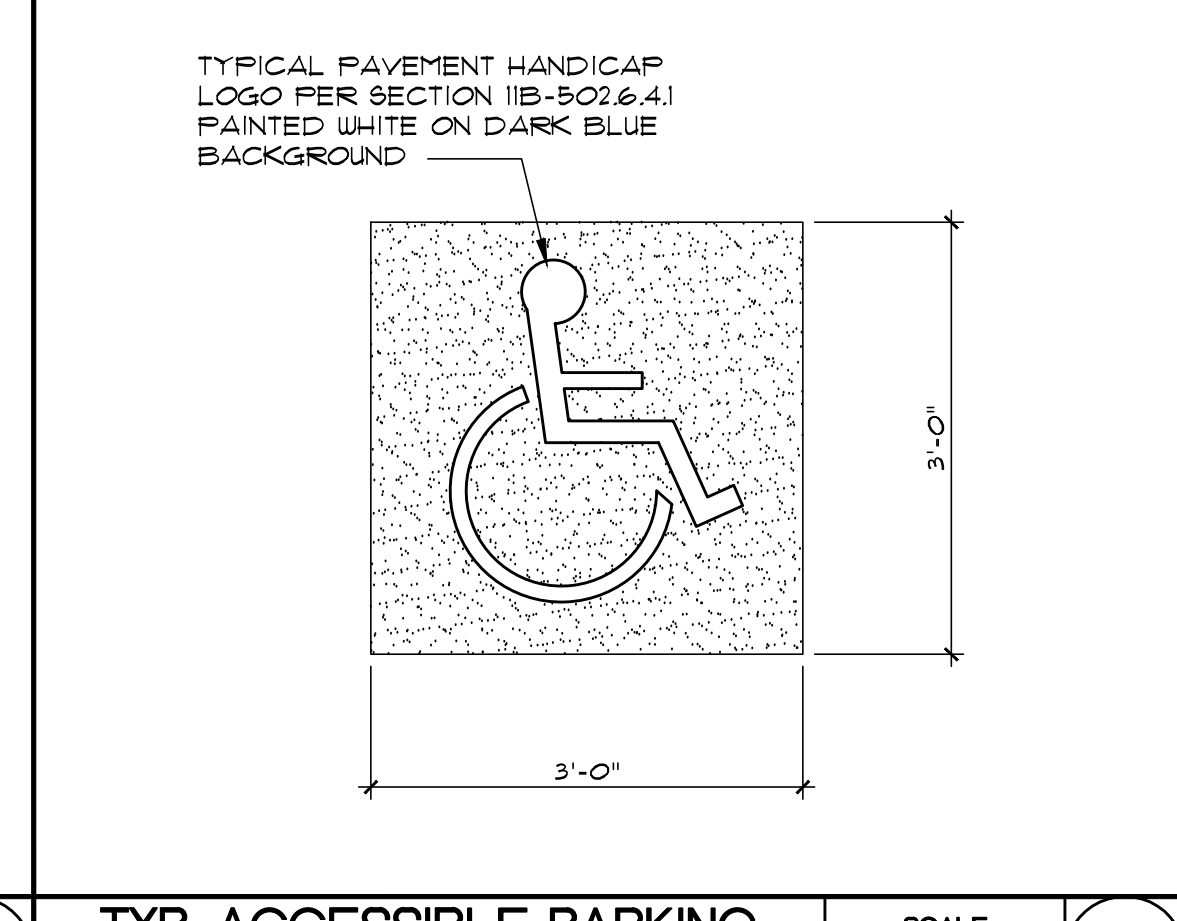
INTERNATIONAL SYMBOL OF ACCESSIBILITY AND GRAPHICS

ARROW SHALL POINT TO DIRECTION OF BUILDING ENTRY.

1\"/>

6'-8\"/>

NOTE:  
 1. SIGN MATERIAL SHALL BE ACID ETCHED ZINC.  
 2. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 2016, SECTION 11B-103.1  
 3. THE MINIMUM 18\"/>



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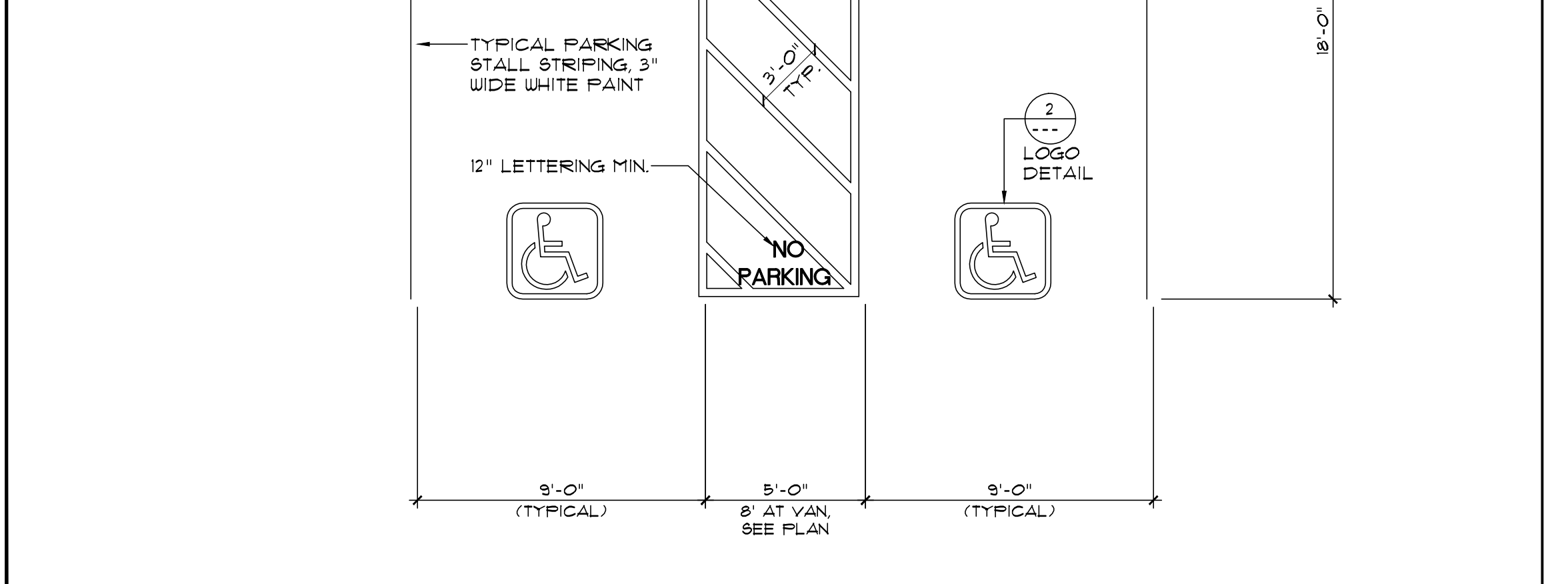
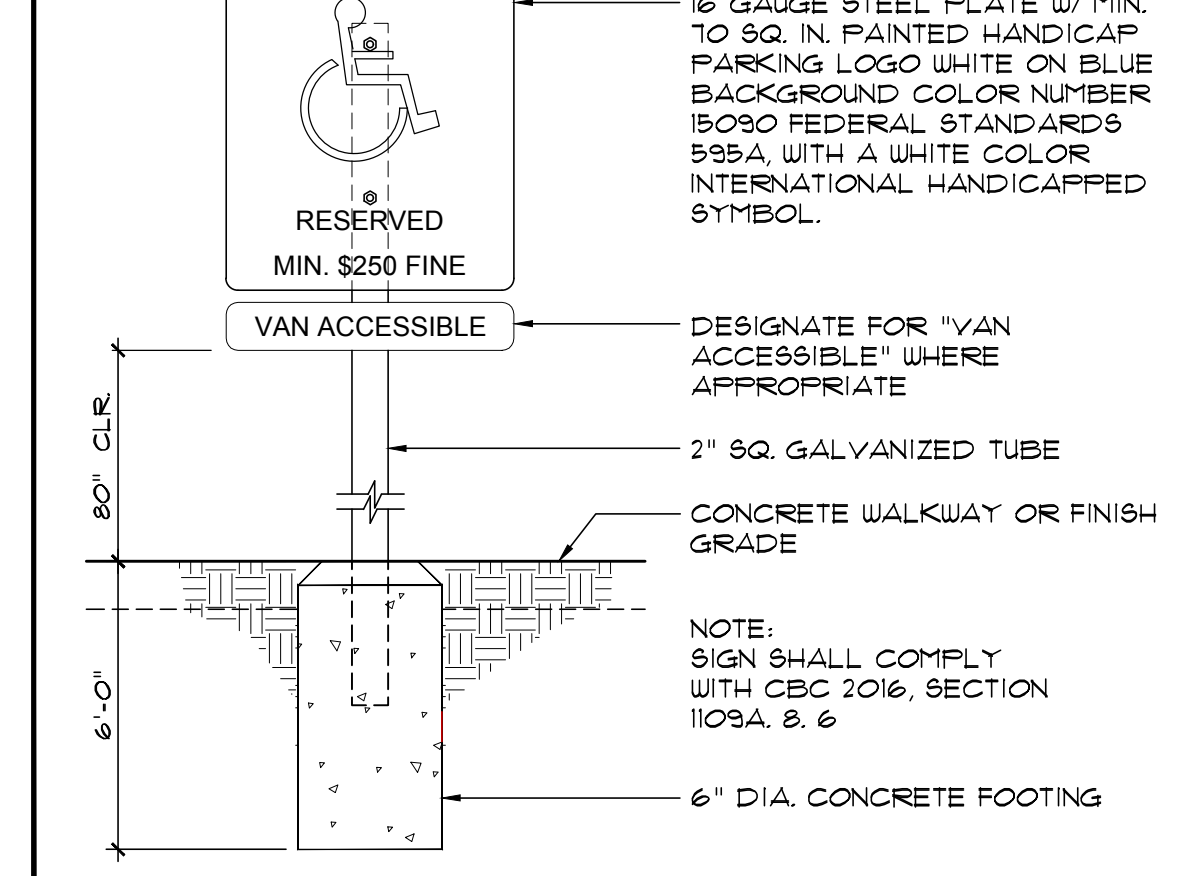
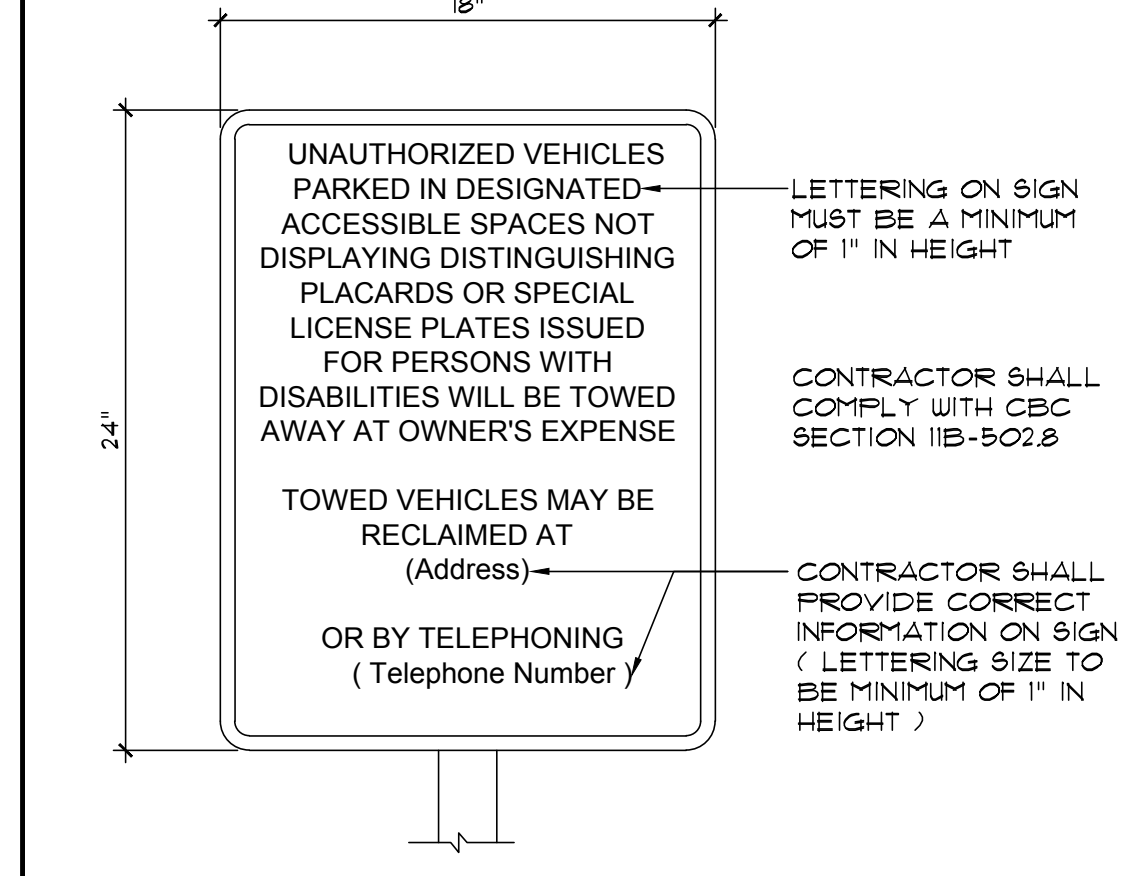
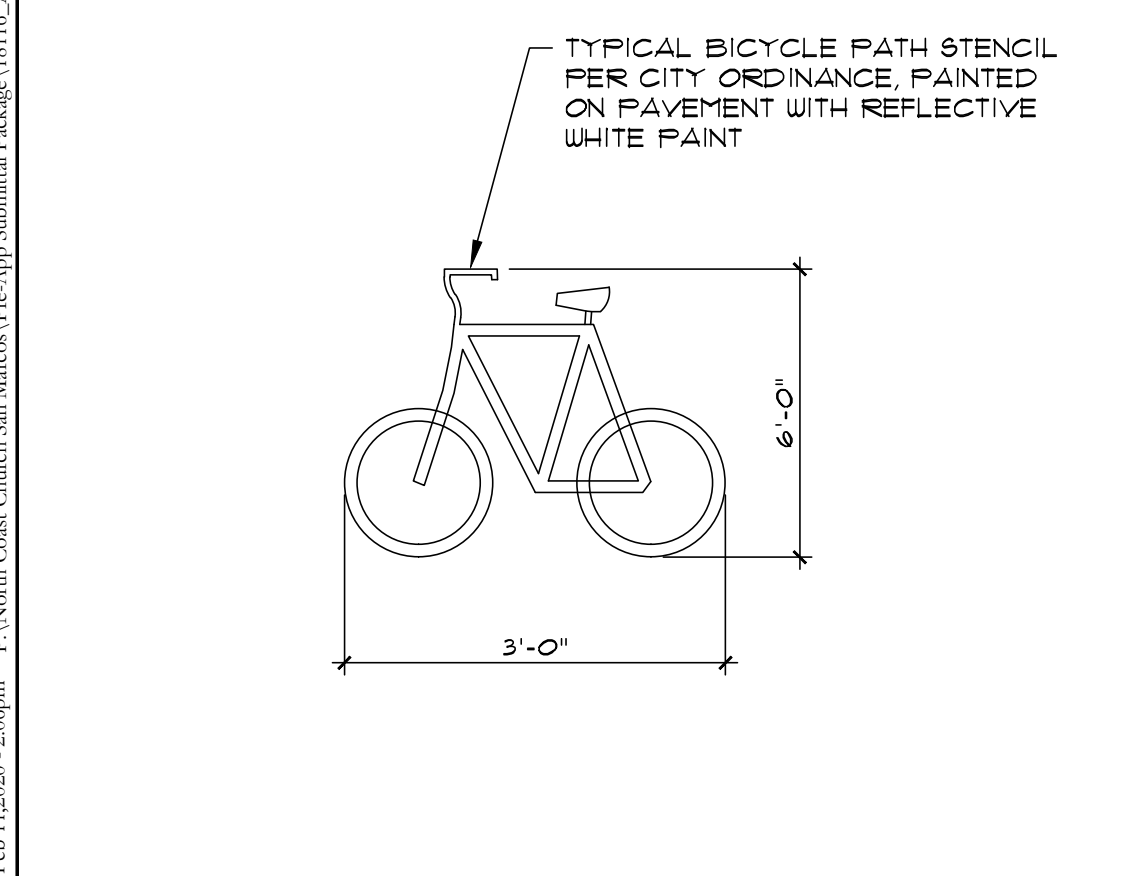
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2



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9

SCALE: N.T.S.

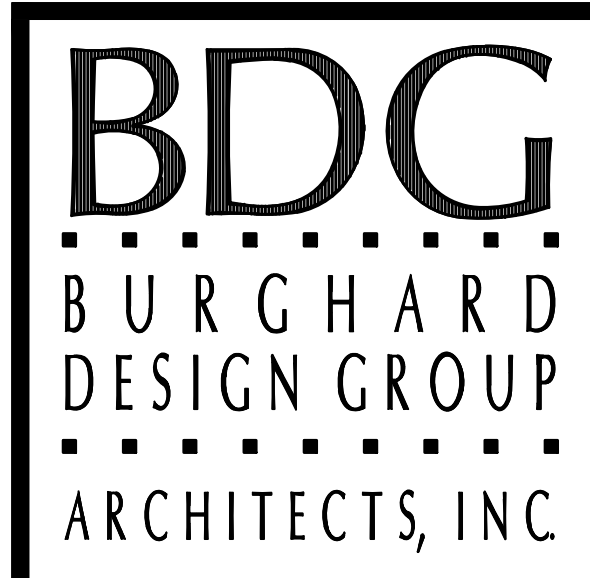
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SCALE: N.T.S.

1

SCALE: 1/4\"/>

A



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2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

SITE DETAILS

SHEET TITLE

A1.2

SHEET NUMBER

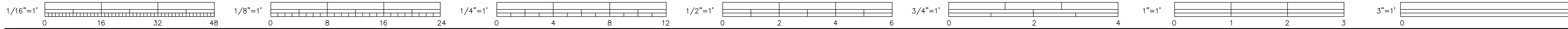
AS NOTED 12 FEBRUARY 2019

SCALE DATE

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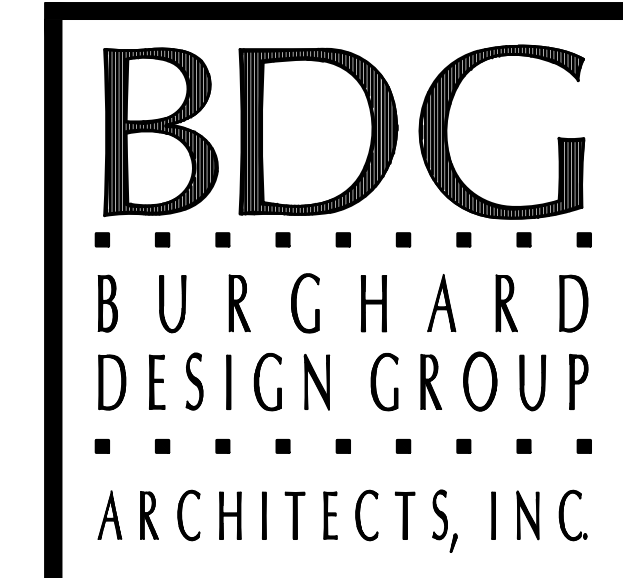




If this sheet is not 30" by 42" it is a reduced print, scale accordingly



P:\North Coast Church San Marcos\Proj\pp\Submittal Package\PH16\_A1\_Site Photographic Survey Plan.dwg



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 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME  
 18116

PROJECT NUMBER

SITE PHOTOGRAPHIC  
 SURVEY PLAN

SHEET TITLE

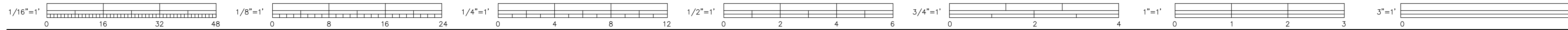
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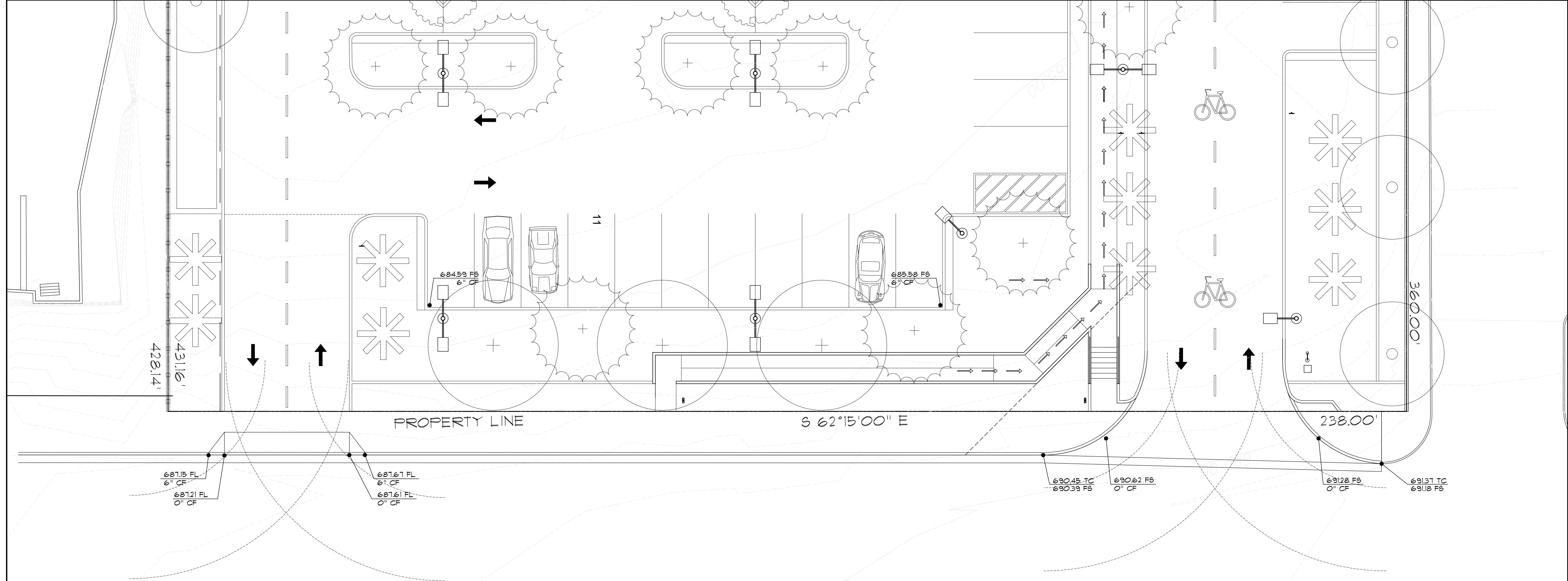
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SCALE DATE

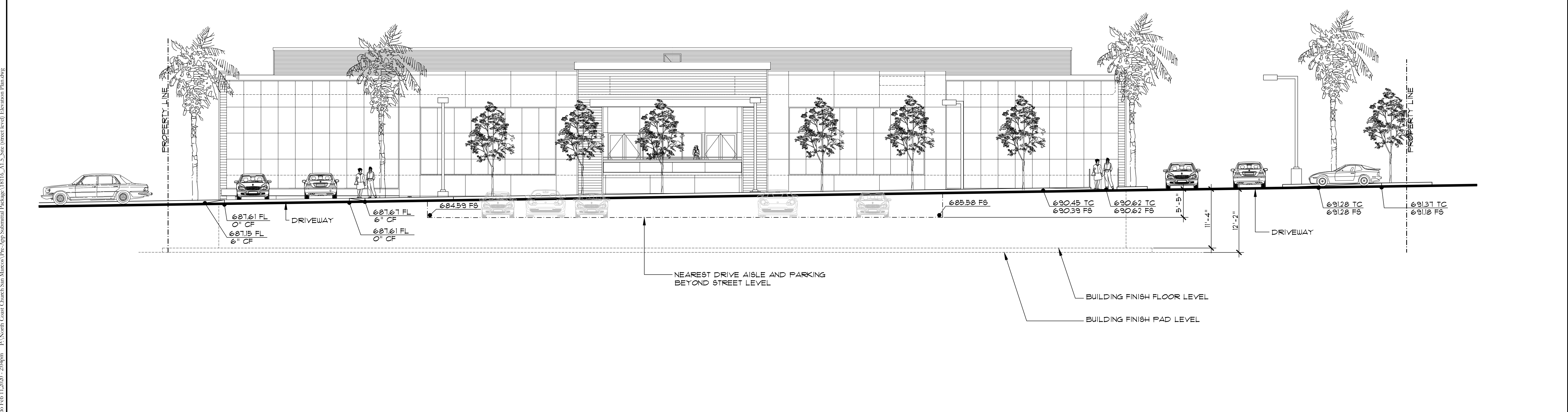
PHOTOGRAPHIC SURVEY SITE PLAN



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MONTIEL RD



MONTIEL ROAD SITE ELEVATION



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 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

MONTIEL ROAD  
 SITE ELEVATION

SHEET TITLE

A1.5

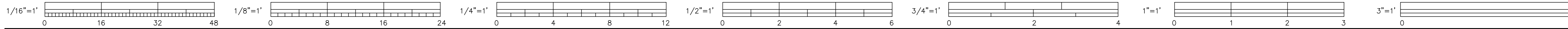
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12 FEBRUARY 2019

SCALE DATE

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 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

SITE LIGHTING PLAN

SHEET TITLE

**A1.6**

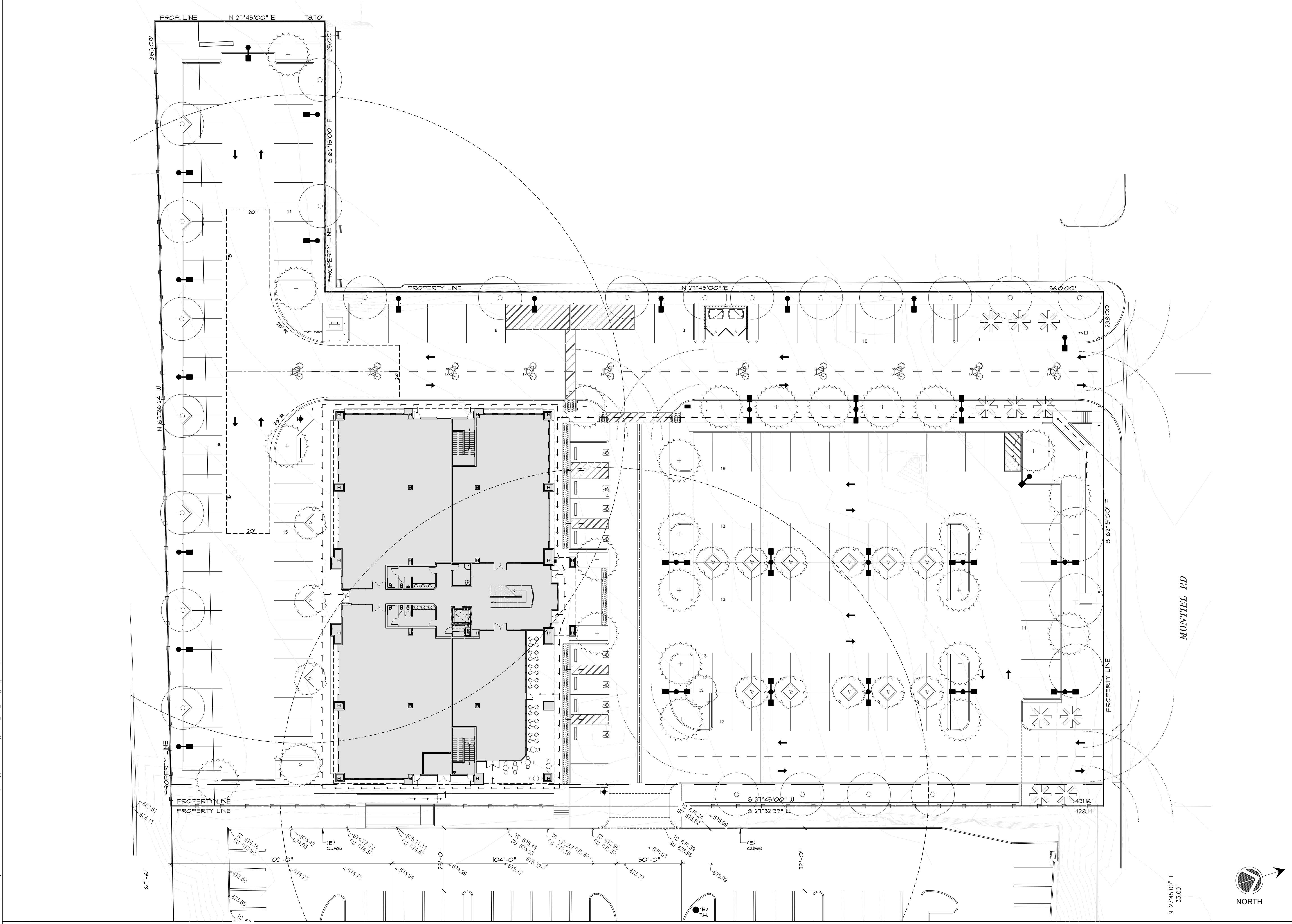
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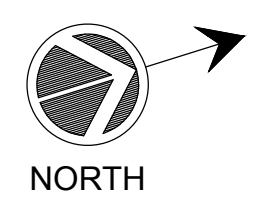
12 FEBRUARY 2019

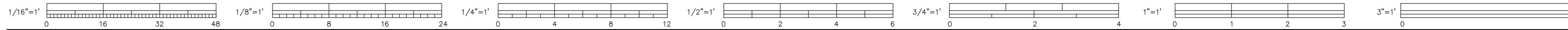
SCALE DATE

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SITE LIGHTING PLAN

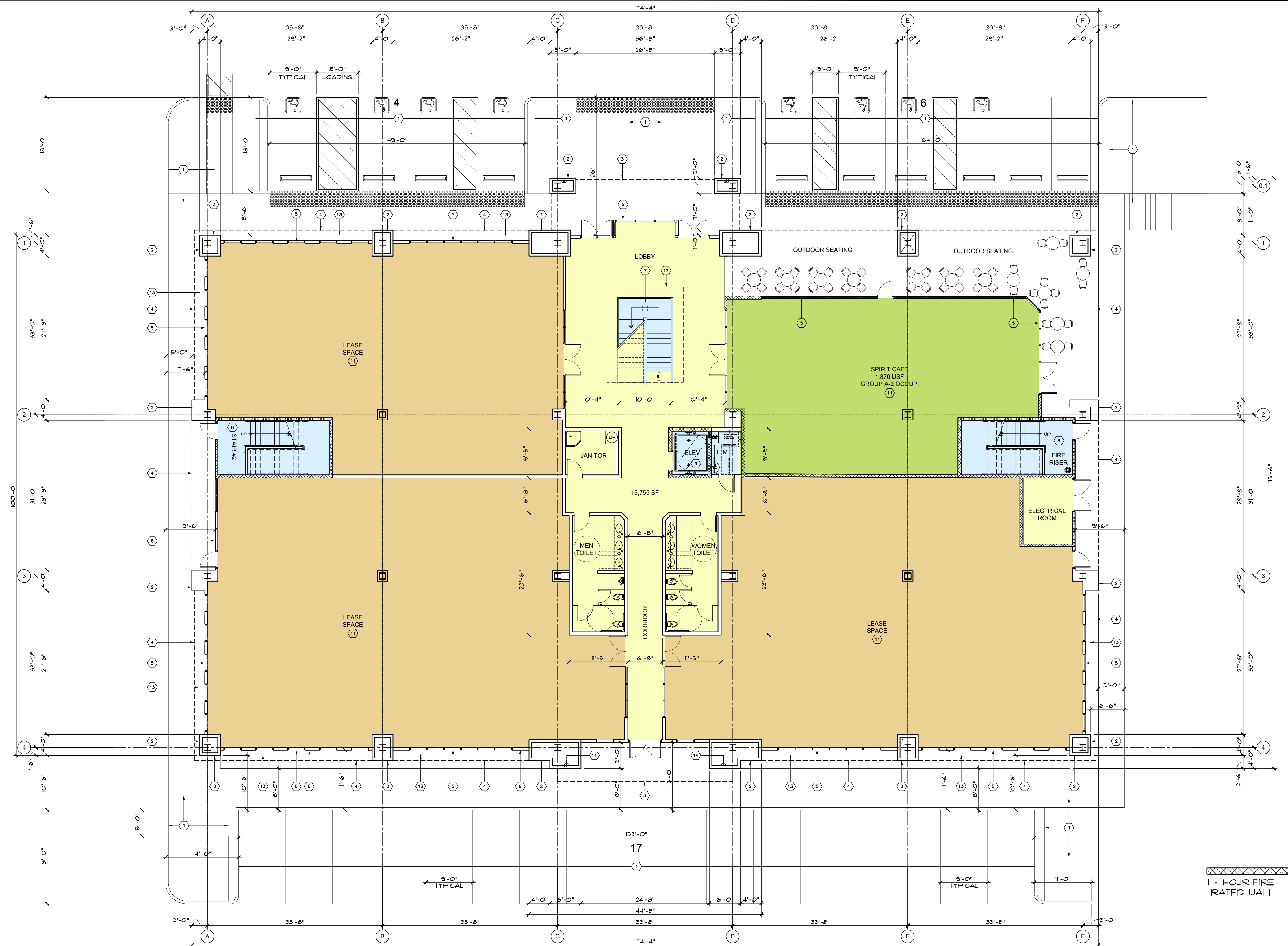




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**GENERAL NOTES**

SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN FOR INFORMATION NOT SHOWN ON THIS PLAN

SEE LANDSCAPE DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN

SEE EXTERIOR ELEVATIONS FOR BUILDING HEIGHT, DESCRIPTION AND COLOR OF ALL FINISH MATERIALS

- PRECISION STACK STONE VENEER FINISH, STYLE AND COLOR TBD (ALTERNATE)
- STUCCO SYSTEM FINISH, TEXTURE AND COLOR TBD
- STOREFRONT WINDOW AND DOOR SYSTEM, FRAME AND GLAZING COLOR TBD

**FLOOR AREA TABULATIONS**

OFFICE LEASE SPACE FLOOR AREA ("B" OCC.)	10,846 SQ. FT.	68.9%
CAFE FLOOR AREA ("A-2" OCC.)	1,876 SQ. FT.	11.9%
BUILDING CORE FLOOR AREA ("B" OCC.)	3,033 SQ. FT.	19.2%
<b>TOTAL:</b>	<b>15,755 SQ. FT.</b>	<b>100%</b>

- KEY NOTES**
- SITE IMPROVEMENTS, SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN
  - METAL PANEL CLAD COLUMN / PILASTER / BUILDING FINISH, SEE EXTERIOR ELEVATIONS
  - LINE OF FLOOR / BALCONY ABOVE, SEE EXTERIOR ELEVATIONS
  - LINE OF SOFFIT, SEE EXTERIOR ELEVATIONS
  - ANODIZED ALUMINUM STOREFRONT DOOR / WINDOW, SEE EXTERIOR ELEVATIONS
  - STUCCO FINISH, SEE EXTERIOR ELEVATIONS
  - DECORATIVE PRIMARY STAIR WITH STEEL AND GLASS GUARDRAIL
  - SECONDARY EXIT STAIR IN FIRE RATED ENCLOSURE
  - 2-STOP HANDICAP COMPLIANT ELEVATOR / ENCLOSURE
  - ELEVATOR MACHINE ROOM
  - FUTURE TENANT LEASE SPACE
  - LINE OF OPENING IN SECOND FLOOR
  - LANDSCAPE / PLANTER BED, SEE LANDSCAPE DRAWINGS
  - ROOF DRAIN LEADER AND OVERFLOW DRAIN

- PROFESSIONAL SEAL
- CONSULTANTS
- REVISIONS
- APPROVAL
- PROJECT PHASE

CONCEPTUAL  
 PLANNING  
 SUBMITTAL  
 FOR  
**MONTIEL OFFICE  
 BUILDING**

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME  
 18116  
 PROJECT NUMBER

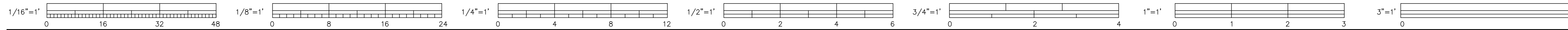
1ST LEVEL FLOOR PLAN

SHEET TITLE  
**A2.1**  
 SHEET NUMBER

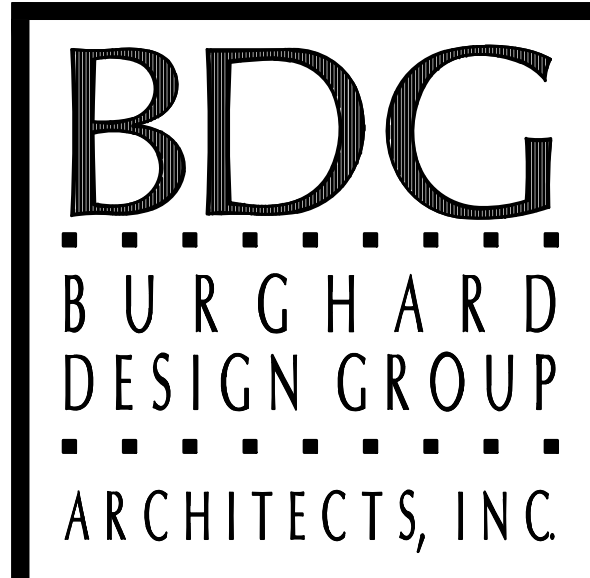
3/32" = 1'-0"  
 12 FEBRUARY 2019  
 SCALE DATE

FIRST FLOOR PLAN

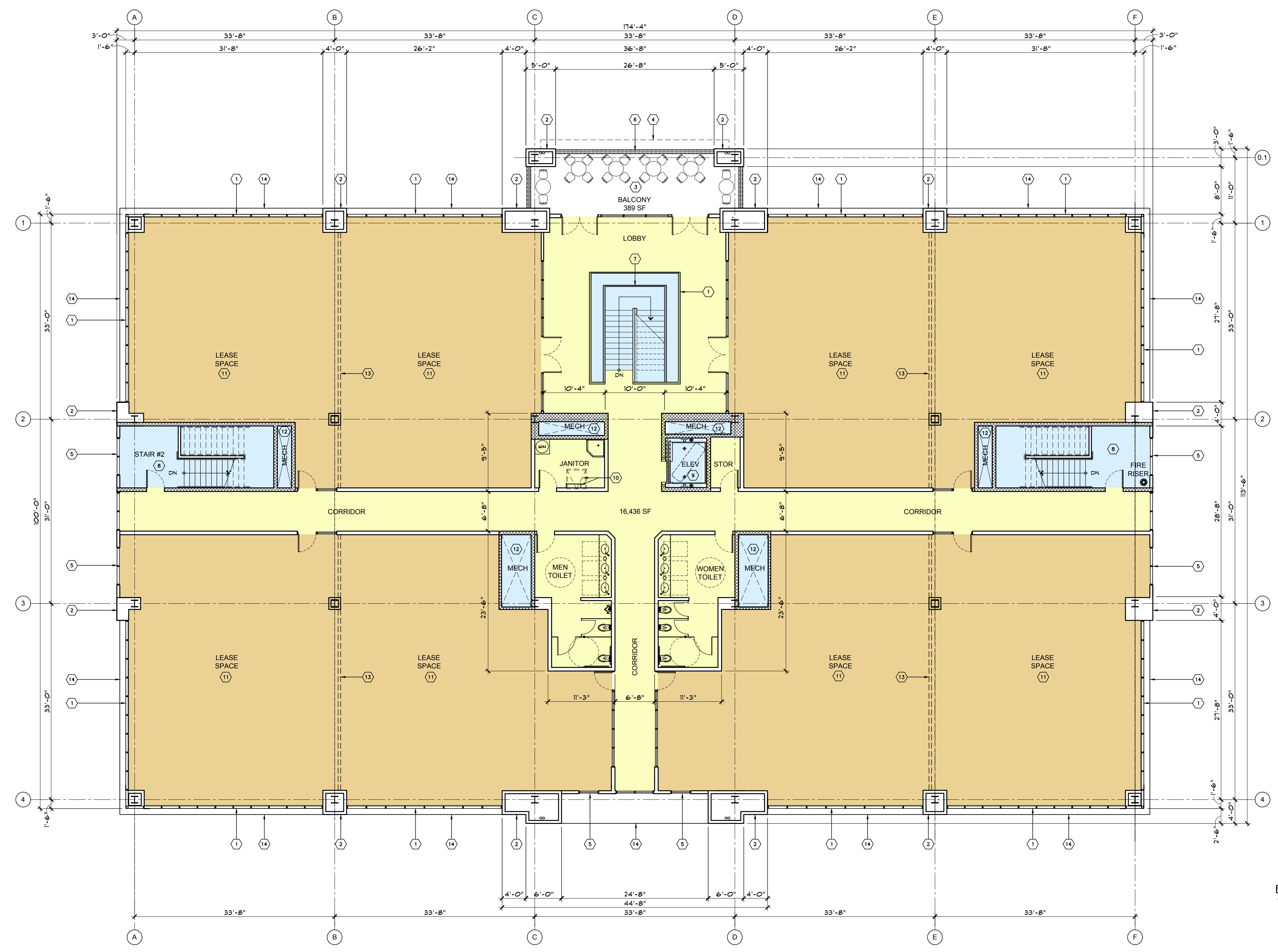
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1 - HOUR FIRE RATED WALL

**GENERAL NOTES**

SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN FOR INFORMATION NOT SHOWN ON THIS PLAN

SEE LANDSCAPE DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN

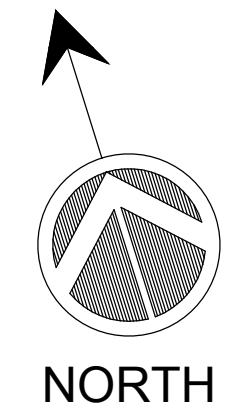
SEE EXTERIOR ELEVATIONS FOR BUILDING HEIGHT, DESCRIPTION AND COLOR OF ALL FINISH MATERIALS

- PRECISION STACK STONE VENEER FINISH, STYLE AND COLOR TBD (ALTERNATE)
- STUCCO SYSTEM FINISH, TEXTURE AND COLOR TBD
- STOREFRONT WINDOW AND DOOR SYSTEM, FRAME AND GLAZING COLOR TBD

**FLOOR AREA TABULATIONS**

OFFICE LEASE SPACE FLOOR AREA ("B" OCC.)	13,596 SQ. FT.	79.0%
EXTERIOR DECK / BALCONY:	389 SQ. FT.	2.2%
BUILDING CORE FLOOR AREA ("B" OCC.)	3,229 SQ. FT.	18.8%
<b>TOTAL:</b>	<b>17,214 SQ. FT.</b>	<b>100%</b>

- KEY NOTES**
- INSULATED GLASS CURTAIN WALL SYSTEM
  - METAL PANEL CLAD COLUMN / PILASTER / BUILDING FINISH, SEE EXTERIOR ELEVATIONS
  - DECK / BALCONY, SEE EXTERIOR ELEVATIONS
  - LINE OF SOFFIT / CANOPY ABOVE, SEE EXTERIOR ELEVATIONS
  - CLEAR ANODIZED ALUMINUM STOREFRONT / WINDOW SYSTEM, SEE EXTERIOR ELEVATIONS
  - GLASS / METAL BALCONY GUARDRAIL, SEE EXTERIOR ELEVATIONS
  - DECORATIVE PRIMARY STAIR WITH STEEL AND GLASS GUARDRAIL
  - SECONDARY EXIT STAIR IN FIRE RATED ENCLOSURE
  - 2-STOP HANDICAP COMPLIANT ELEVATOR / ENCLOSURE
  - ROOF ACCESS LADDER AND ROOF HATCH
  - FUTURE TENANT LEASE SPACE
  - MECHANICAL DUCT CHASE
  - POSSIBLE LOCATION OF TENANT SPACE DEMISING WALL
  - SMOOTH HORIZONTAL METAL PANEL BAND, SEE EXTERIOR ELEVATIONS



**SECOND FLOOR PLAN**

PROFESSIONAL SEAL

CONSULTANTS

REVISIONS

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PROJECT PHASE

CONCEPTUAL  
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 FOR

**MONTIEL OFFICE BUILDING**

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

**2nd LEVEL FLOOR PLAN**

SHEET TITLE

**A2.2**

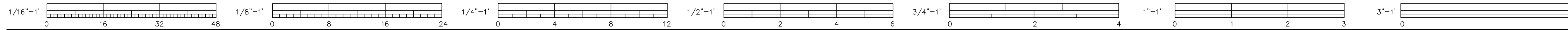
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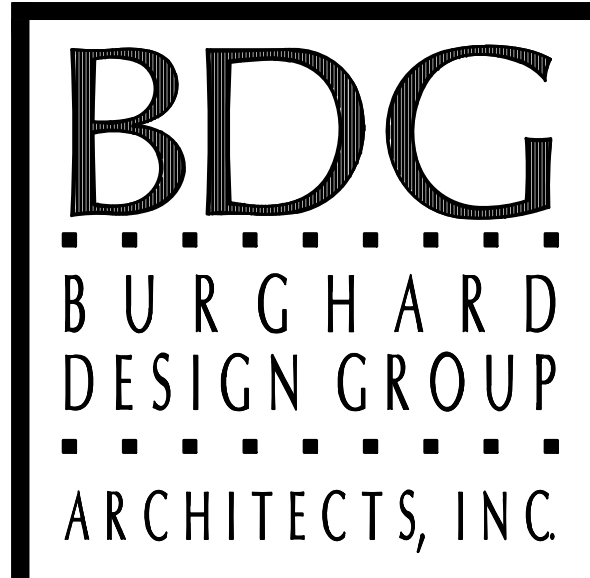
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SCALE DATE

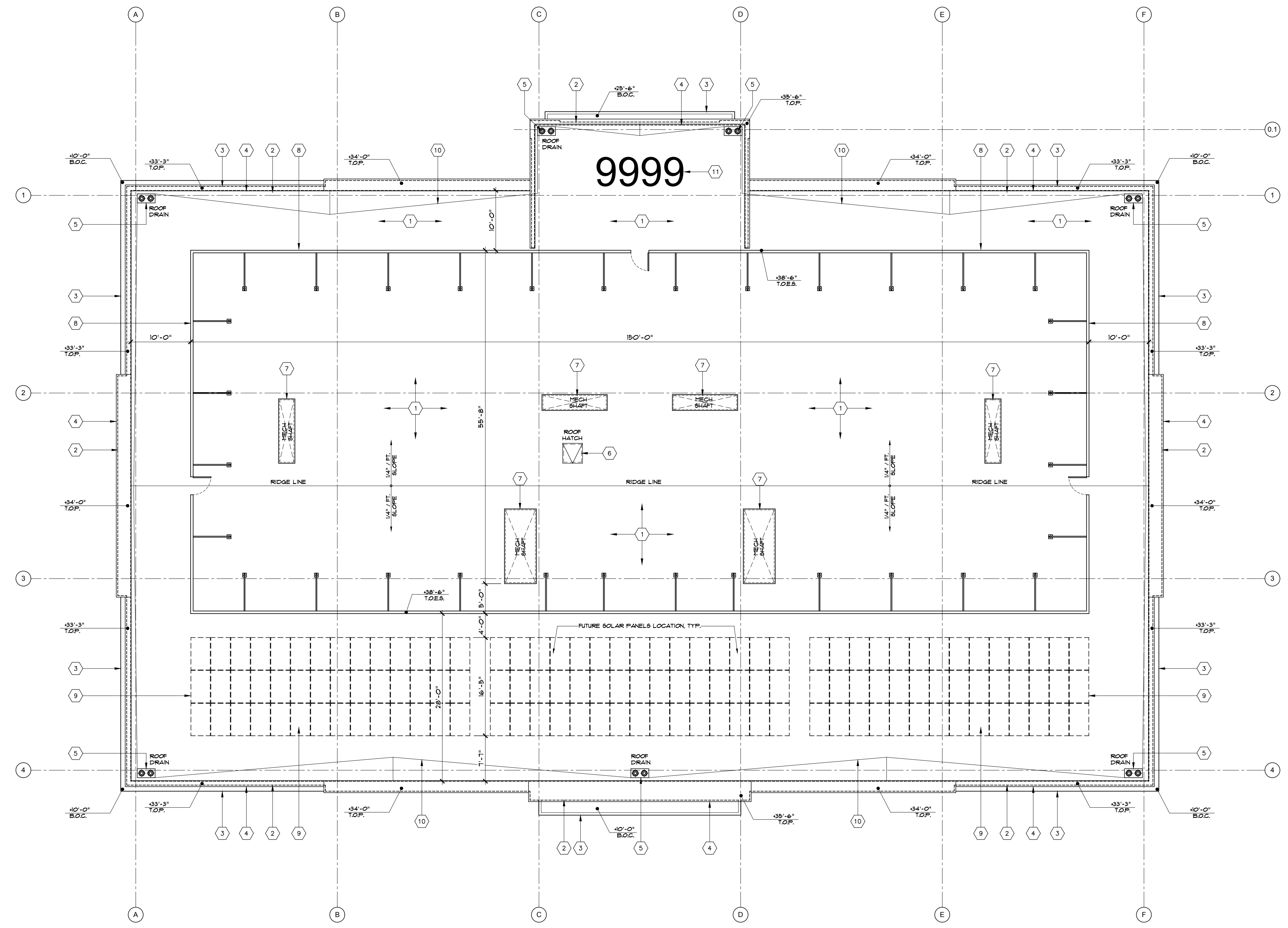
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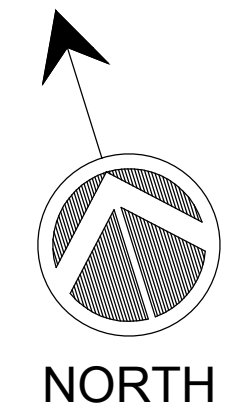


**GENERAL NOTES**

1. THE LAYOUT, NUMBER AND LOCATION OF ROOF PENETRATIONS IS SCHEMATIC IS AT POINT. FINAL ENGINEERING WILL LIKELY CHANGE
2. IT IS ANTICIPATED THAT THE EQUIPMENT SCREEN IS TALL ENOUGH TO HIDE ANY MECHANICAL EQUIPMENT, HOWEVER, IT IS CONCEIVABLE THAT THE SIZE OF THE ENCLOSURE COULD CHANGE
3. THE INFRASTRUCTURE FOR SOLAR PANELS WILL BE PROVIDED DURING THE INITIAL SCOPE OF ENGINEERING/CONSTRUCTION. PANELS HOWEVER MAY NOT BE INSTALLED UNTIL A LATER DATE
4. PARAPET WALLS WILL HAVE A MINIMUM HEIGHT OF 42" FOR SAFETY REASON
5. SELECTION OF THE ACTUAL ROOFING MEMBRANE WILL BE BASED ON COMPLIANCE WITH TITLE-24 REQUIREMENTS

**KEY NOTES**

- 1 ROOF TYPE: CLASS "A" 4-PLY BUILT-UP ROOF, LIGHT IN COLOR
- 2 LINE OF WALL BELOW ROOF, SEE FLOOR PLAN AND EXTERIOR ELEVATIONS
- 3 METAL PANEL CANOPY, SEE EXTERIOR ELEVATIONS
- 4 PARAPET WALL WITH METAL FLASHING CAP. SEE EXTERIOR ELEVATIONS FOR SPECIFICATIONS
- 5 COMBINATION ROOF DRAIN/OVERFLOW DRAIN WITH DOME STRAINER
- 6 36"x36" PRE-FINISHED ROOF HATCH
- 7 MECHANICAL EQUIPMENT SHAFT WITH SHEET METAL CAP
- 8 MECHANICAL EQUIPMENT SCREEN. SEE EXTERIOR ELEVATIONS
- 9 FUTURE ROOF MOUNTED SOLAR PANEL LOCATION SHOWN DASHED
- 10 WATER DIVERSION CRICKET
- 11 60" TALL PAINTED BUILDING ADDRESS NUMBERS



**ROOF PLAN**

PROFESSIONAL SEAL

CONSULTANTS

REVISIONS

APPROVAL

PROJECT PHASE

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 BUILDING**

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

ROOF PLAN

SHEET TITLE

**A2.3**

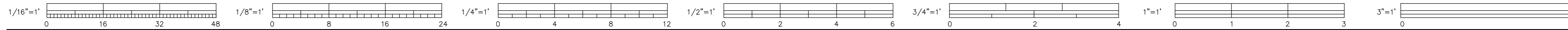
SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

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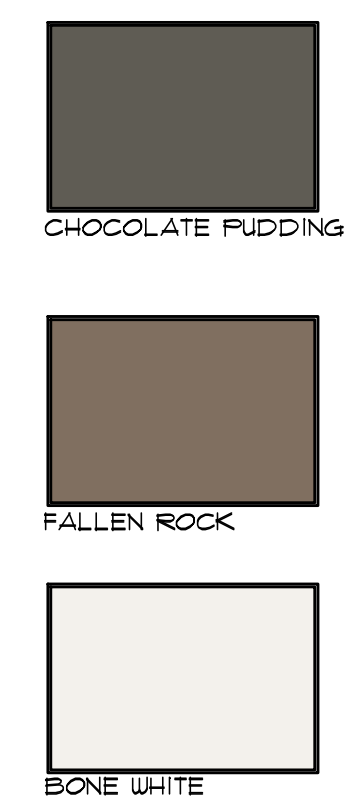
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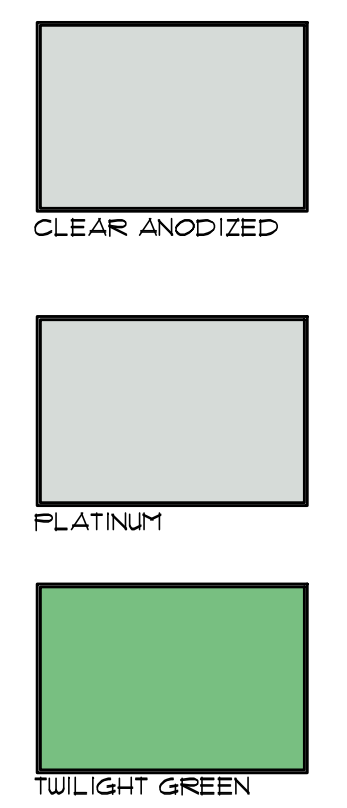
**NORTH ELEVATION**



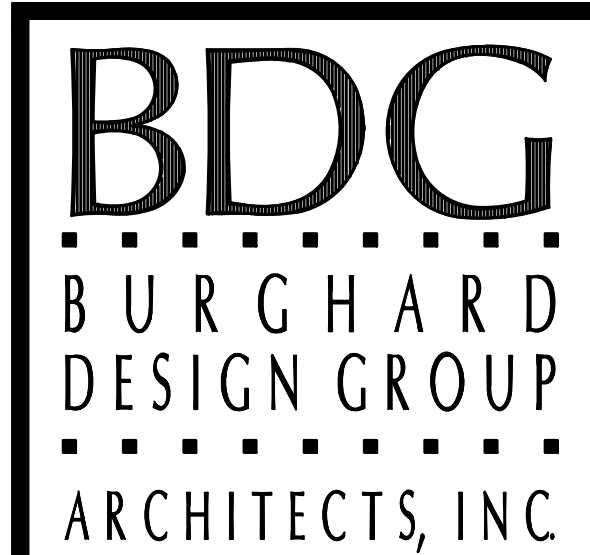
**SOUTH ELEVATION**



KEY NOTES	
(1)	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM AND WINDOW FRAMES
(2)	CEMENT PLASTER "SAND/FLOAT" FINISH, COLOR MATCH DUNN EDWARDS "DE6388-FALLEN ROCK"
(3)	WALL SCONCE LIGHT FIXTURE - STYLE TO BE SELECTED
(4)	SPARE
(5)	INSULATED GLASS CURTAIN WALL SYSTEM, GLAZING TO MATCH "OLDCASTLE 8N-68 TWILIGHT GREEN"
(6)	RIBBED METAL PANEL SYSTEM, COLOR TO MATCH DUNN EDWARDS "DE6390-CHOCOLATE PUDDING"
(7)	SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT), COLOR: "BONE WHITE"
(8)	SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT), COLOR: "PLATINUM"
(9)	SMOOTH METAL PANEL PARAPET CAP, REYNOBOND (ALCOA PRODUCT), COLOR: "PLATINUM"
(10)	RIBBED METAL PANEL EQUIPMENT SCREEN, MATCH DUNN EDWARDS "DE6390-CHOCOLATE PUDDING"
(11)	ROOF LINE SHOWN DASHED
(12)	FUTURE ROOF MOUNTED SOLAR PANEL LOCATION
(13)	BUILDING IDENTIFICATION SIGNAGE LOCATION
(14)	BUILDING ADDRESS LOCATION



**EXTERIOR ELEVATIONS**



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**CONSULTANTS**

**REVISIONS**

**APPROVAL**

**PROJECT PHASE**

CONCEPTUAL  
 PLANNING  
 SUBMITTAL  
 FOR  
**MONTIEL OFFICE  
 BUILDING**

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

**PROJECT NAME**

18116

**PROJECT NUMBER**

EXTERIOR ELEVATIONS

**SHEET TITLE**

**A4.1**

**SHEET NUMBER**

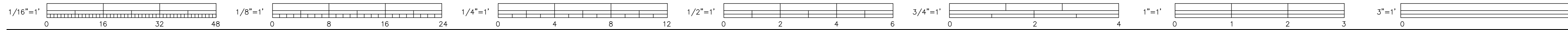
3/32" = 1'-0"

12 FEBRUARY 2019

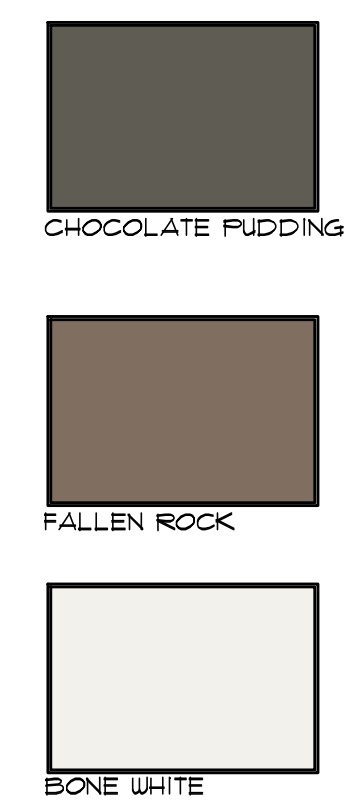
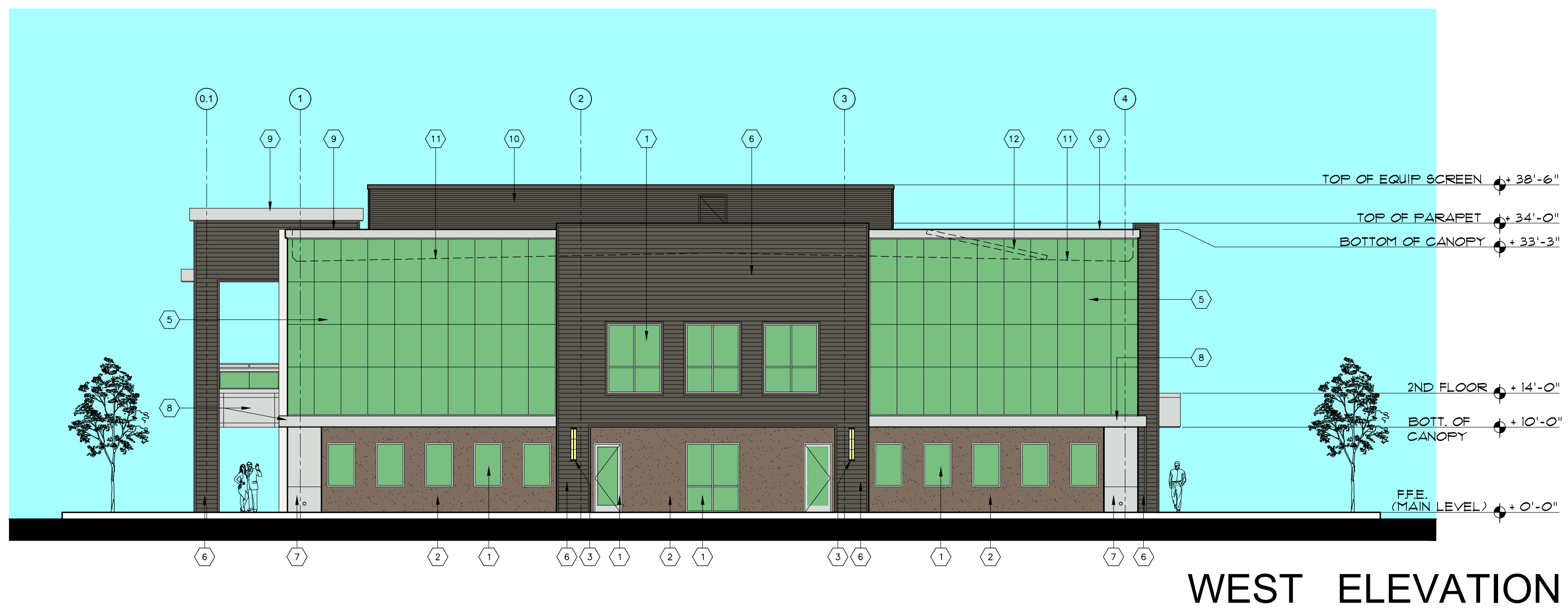
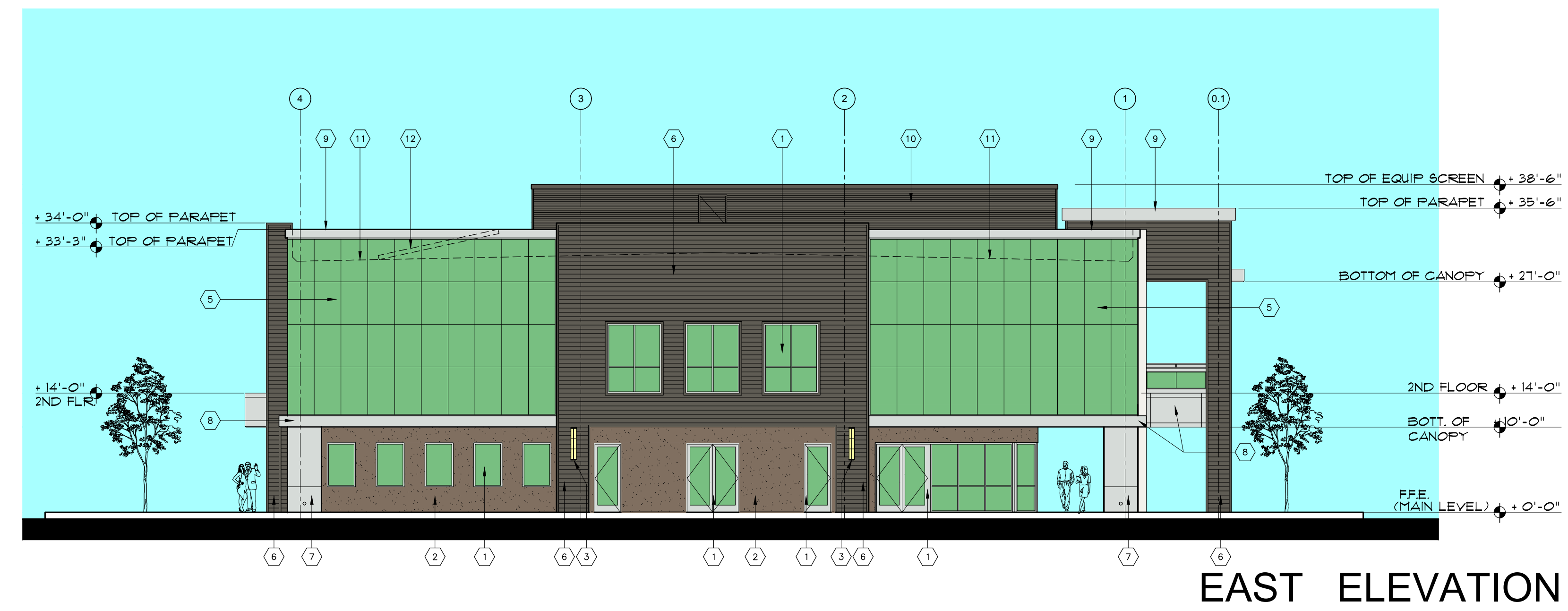
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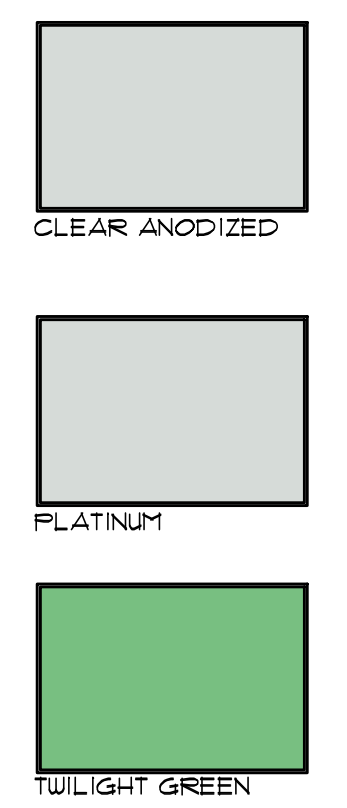




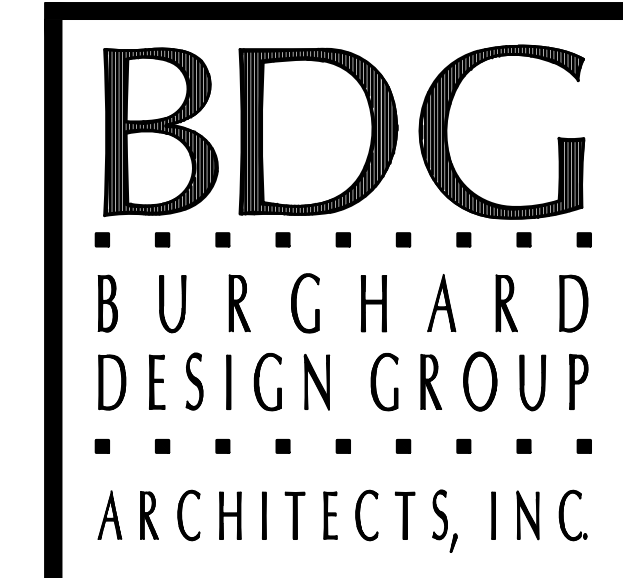
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KEY NOTES	
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(3)	WALL SCONCE LIGHT FIXTURE - STYLE TO BE SELECTED
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(5)	INSULATED GLASS CURTAIN WALL SYSTEM, GLAZING TO MATCH "OLDCASTLE 8N-68 TWILIGHT GREEN"
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(11)	ROOF LINE SHOWN DASHED
(12)	FUTURE ROOF MOUNTED SOLAR PANEL LOCATION
(13)	BUILDING IDENTIFICATION SIGNAGE LOCATION
(14)	BUILDING ADDRESS LOCATION



EXTERIOR ELEVATIONS



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PROJECT PHASE

CONCEPTUAL  
 PLANNING  
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 FOR  
 MONTIEL OFFICE  
 BUILDING

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

EXTERIOR ELEVATIONS

SHEET TITLE

A4.2

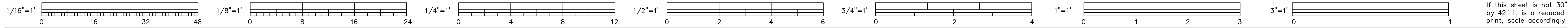
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12 FEBRUARY 2019

SCALE DATE

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### PLANTING LEGEND

PLANT DESCRIPTION - SIZE  
BOTANICAL NAME - COMMON NAME (NUCOLS)

#### TREES

STREET TREES - TO COORDINATE WITH ADJACENT SITE TO THE EAST -  
MONTIEL RD. - 24\"/>

PARKING AREA SHADE TREES - 24\"/>

SMALL FLOWERING ACCENT PARKING ISLAND TREES - 24\"/>

PERIMETER THEME SCREENING TREES - 15 GAL. - 24\"/>

ENTRY THEME TREES - 8\"/>

#### SHRUBS AND GROUNDCOVERS

TALL SCREENING SHRUBS - 5 GAL (APPROX. QTY = 150)  
CALLISTEMON CITRINUS - CRIMSON BOTTLEBRUSH (L)  
WESTRINGIA FRUTICOSA - COASTAL ROSEMARY (L)  
SALVIA 'WINNIFRED GILMAN' - WINNIFRED GILMAN BLUE SAGE (L)  
LAURUS NOBILIS - BAY LAUREL (L)  
DODONEA VISCOSA - HOP BUSH (L)

MASSING SHRUBS - 1 GAL. - 5 GAL (APPROX. QTY = 275)  
CALLISTEMON 'LITTLE JOHN' - DWARF CALLISTEMON (L)  
HESPERALOE PARVIFLORA - RED YUCCA (L)  
PENNISSETUM RUBRUM - PURPLE FOUNTAIN GRASS (L)  
ROSMARINUS 'ROMAN BEAUTY' - ROMAN BEAUTY ROSEMARY (L)  
SALVIA 'HOT LIPS' - HOT LIPS SAGE (L)  
TAGETES LEMONII - MEXICAN MARIGOLD (L)

SMALL ACCENT SHRUBS - 1 GAL. - 5 GAL (APPROX. QTY = 200)  
BUXUS UPTIGHT' - UPTIGHT BOXWOOD (M)  
DIANELLA 'LITTLE REV' - LITTLE REV FLAX LILY (L)  
NANDINA 'LEMON LIME' - LEMON LIME HEAVENLY BAMBOO (M)  
ROSA 'FLOWER CARPET' - FLOWER CARPET ROSE (M)  
TRACHELOSPERMUM JASMINOIDES - STAR JASMINE (M)

SPREADING GROUNDCOVERS - FLATS @ 12\"/>

BIOFILTRATION BASIN GRASSES - PLUGS - 1 GAL. @ 12\"/>

#### Landscape Notes:

##### IRRIGATION METHODS

The following irrigation equipment and methods will be utilized on the site.

- Automatic controllers utilizing evapotranspiration or moisture sensing data, with manual and auto shut off.
- Reduced pressure backflow preventer with stainless steel cover.
- Subsurface drip irrigation system designed to prevent runoff, low head drainage and overspray.
- Plants will be grouped into hydrozones. Different hydrozones will be irrigated separately.
- No spray irrigation will be used within 24\"/>

##### INVASIVE SPECIES

- No non-native invasive plant species shall be used, per Appendix N of the MSCP Subarea Plan, California Exotic Pest Plant Council List A-1 and California Invasive Plant Council (Cal-IPC).

##### LANDSCAPE MAINTENANCE

- All landscaped areas shall be maintained by the owner.

##### PLANT MATERIALS

- The project has been designed with water conserving plant and turf species, disease and pest-resistant plants. Trees have been utilized wherever possible to provide shading.
- All street trees shall have root barriers.
- All 24\"/>

##### EROSION CONTROL

- Best Management Practice devices and procedures shall be utilized as specified by the Project Civil Engineer.

##### MISCELLANEOUS

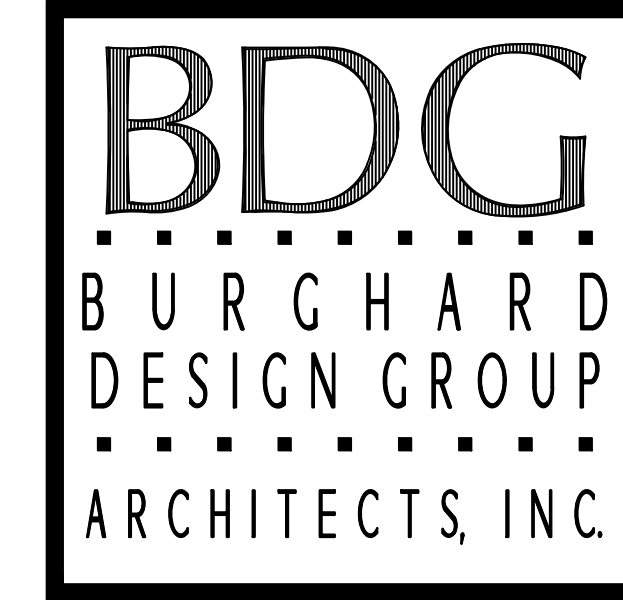
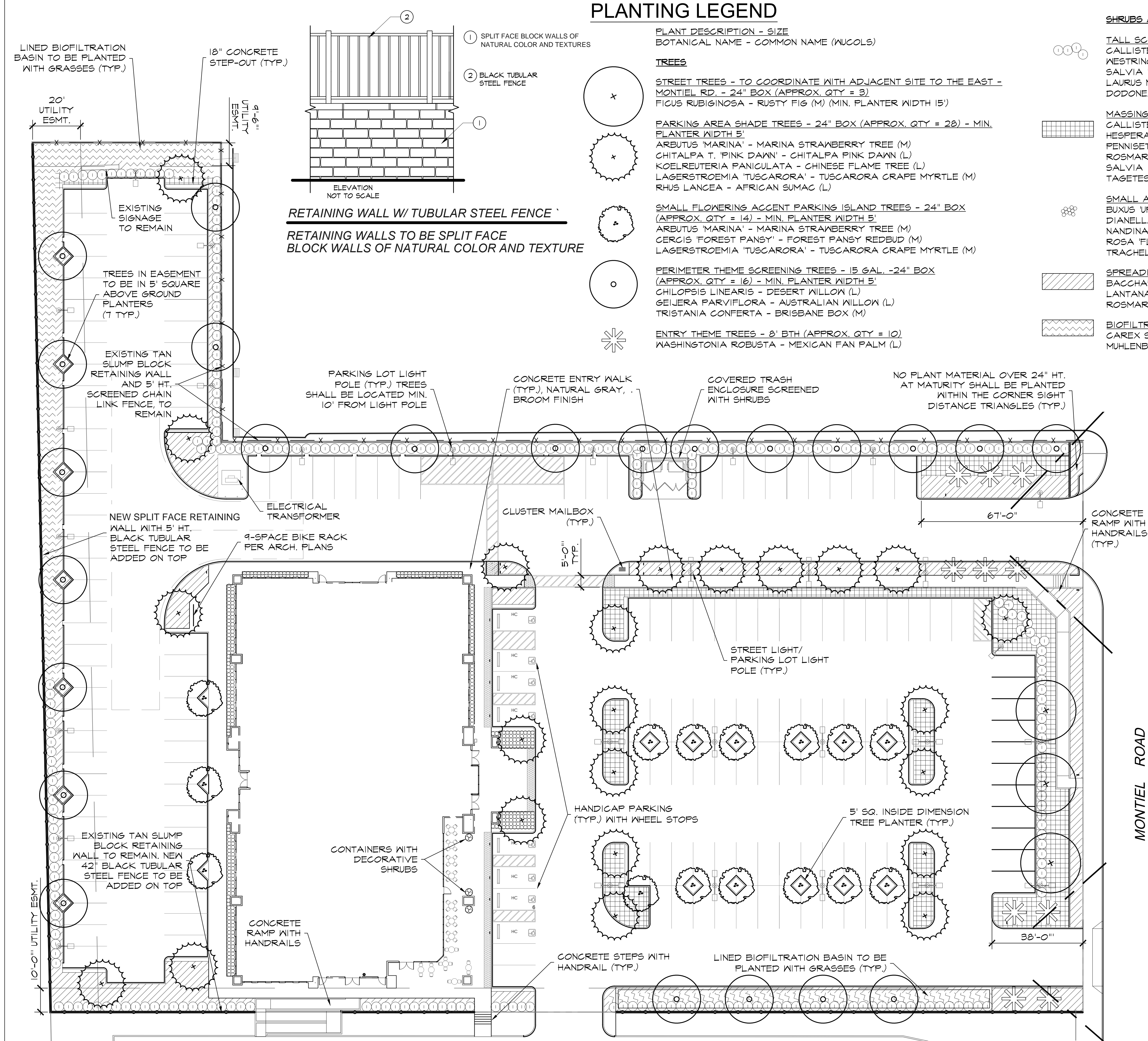
- On-site pedestrian and bicycle paths shall be clearly distinguished to ensure these routes are visible to drivers and require vehicles to yield to pedestrians and bicyclists.

TOTAL PROJECT SITE:	113,537 S.F.
TOTAL LANDSCAPE AREA:	21,272 S.F.
% OF SITE LANDSCAPED:	18.5%
TOTAL PARKING SPACES	171
TOTAL TREES	66



Scale 1" = 20'

North



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CONCEPTUAL PLANNING SUBMITTAL FOR MONTIEL OFFICE BUILDING

2375 and 2355 MONTIEL ROAD SAN MARCOS, CALIFORNIA 92069

PROJECT NAME: 18116  
PROJECT NUMBER

Administration Building Landscape Concept Plan

SHEET TITLE

L-1

SHEET NUMBER

1" = 20'-0" 20 April 2020  
REV 27 July 2021  
SCALE DATE



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California Water Efficient Landscape Worksheet - City of San Marcos						
Reference Evapotranspiration (ET <sub>o</sub> )	54.2		Project Type	Non-Residential	0.45	
Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>						
1. Low Water Shrubs	0.3	Drip	0.81	0.37	12,997	4814
2. Mod Water Shrubs	0.5	Drip	0.81	0.62	902	557
3. Low Water -Basin/Tree Wells	0.3	Overhead	0.75	0.40	4,773	1909
4. Mod Water Trees	0.5	Drip	0.81	0.62	2,600	1605
				Totals	21,272	8885
<b>Special Landscape Areas</b>						
				1	0	0
				1	0	0
				1	0	0
				1	0	0
				Totals	0	0
					ETWU Total	298,559
					Maximum Allowed Water Allowance (MAWA) <sup>e</sup>	321,671

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	8,885
Total Area	21,272
Average ETAF	0.42

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

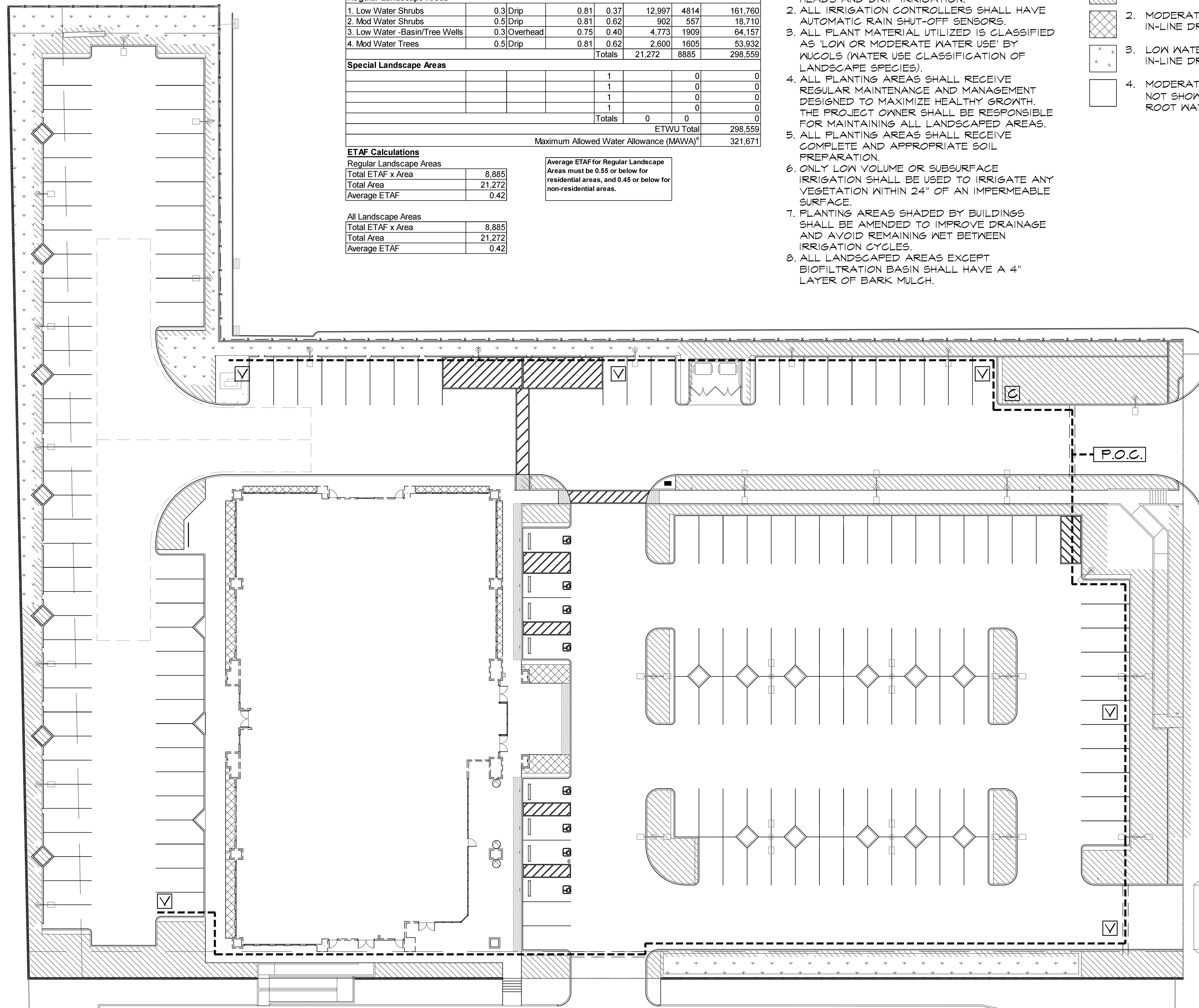
All Landscape Areas	
Total ETAF x Area	8,885
Total Area	21,272
Average ETAF	0.42

**WATER CONSERVATION NOTES**

- ALL IRRIGATION SHALL INCLUDE EFFECTIVE AND EFFICIENT WATERING METHODS UTILIZING HUNTER MP ROTATOR LOW-FLOW IRRIGATION HEADS AND DRIP IRRIGATION.
- ALL IRRIGATION CONTROLLERS SHALL HAVE AUTOMATIC RAIN SHUT-OFF SENSORS.
- ALL PLANT MATERIAL UTILIZED IS CLASSIFIED AS 'LOW OR MODERATE WATER USE' BY NUGOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES).
- ALL PLANTING AREAS SHALL RECEIVE REGULAR MAINTENANCE AND MANAGEMENT DESIGNED TO MAXIMIZE HEALTHY GROWTH. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPED AREAS.
- ALL PLANTING AREAS SHALL RECEIVE COMPLETE AND APPROPRIATE SOIL PREPARATION.
- ONLY LOW VOLUME OR SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN 24" OF AN IMPERMEABLE SURFACE.
- PLANTING AREAS SHADED BY BUILDINGS SHALL BE AMENDED TO IMPROVE DRAINAGE AND AVOID REMAINING WET BETWEEN IRRIGATION CYCLES.
- ALL LANDSCAPED AREAS EXCEPT BIOFILTRATION BASIN SHALL HAVE A 4" LAYER OF BARK MULCH.

**Water Conservation Plan Legend**

ZONE	AREA	% OF TOTAL LANDSCAPE AREA
1. LOW WATER USE SHRUB AREAS IN-LINE DRIP IRRIGATION	(12,997 SQ. FT)	61%
2. MODERATE WATER USE SHRUB AREAS IN-LINE DRIP IRRIGATION	(902 SQ.FT)	4%
3. LOW WATER USE TREE WELL / BASIN IN-LINE DRIP IRRIGATION	(4,773 SQ. FT)	23%
4. MODERATE WATER USE TREE AREAS - NOT SHOWN (40 SQ FT/EA. TREE) ROOT WATERING DRIP IRRIGATION.	(2,600 SQ. FT)	12%



**SCHEMATIC IRRIGATION LEGEND**

- APPROXIMATE PROPOSED LOCATION FOR IRRIGATION MAINLINE
- ☑ APPROXIMATE PROPOSED LOCATION FOR IRRIGATION VALVES
- P.O.C. APPROXIMATE PROPOSED LOCATION FOR POINT OF CONNECTION:
  - POTABLE WATER METER
  - BACKFLOW PREVENTER WITH LOCKING ENCLOSURE
  - MASTER VALVE
  - FLOW SENSOR
  - GATE VALVE ASSEMBLY
- APPROXIMATE PROPOSED LOCATION FOR IRRIGATION AND CONTROL WIRE SLEEVING
- ☐ APPROXIMATE PROPOSED LOCATION FOR AUTOMATIC CONTROLLER IN SS LOCKING PEDESTAL

**IRRIGATION NOTE**

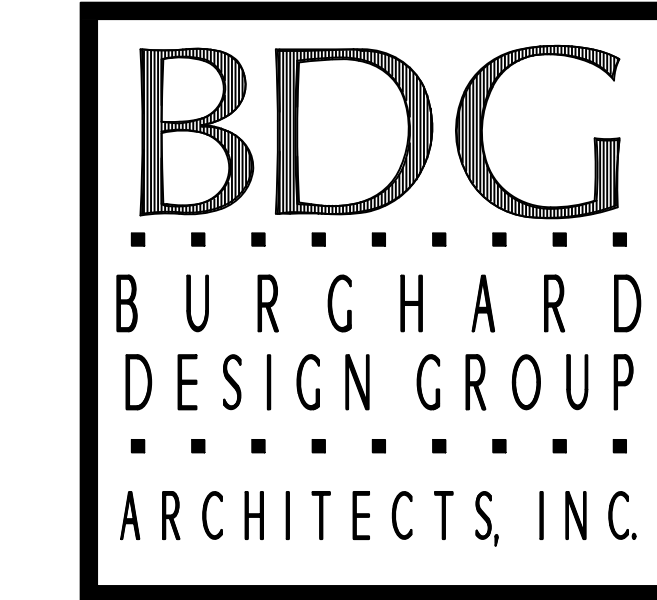
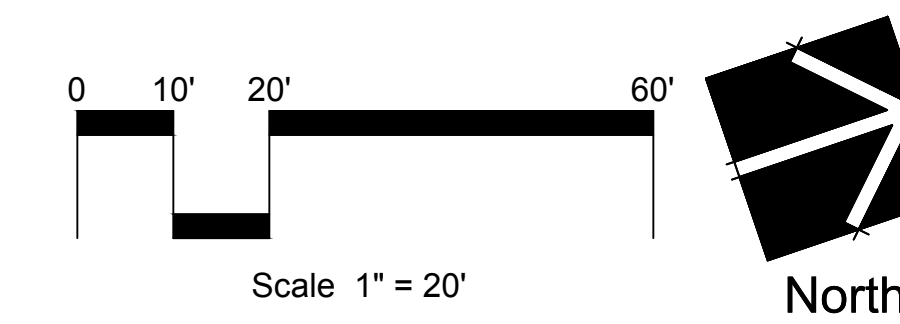
ALL PLANTING AREAS SHALL HAVE SUBSURFACE DRIP IRRIGATION OR MP ROTATORS

MONTIEL ROAD

**HYDROZONE MAP**

I agree to comply with the requirements of the Water Efficient Landscape Regulations and submit a complete Landscape Documentation Package.

*[Signature]*  
 Applicant / Owner Signature 03/31/2021



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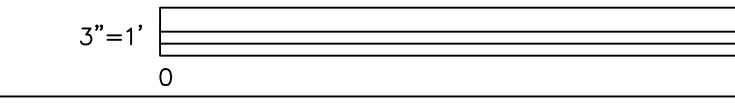
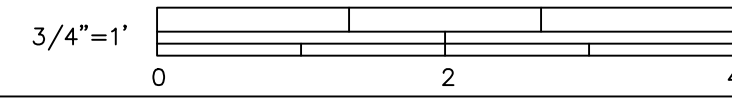
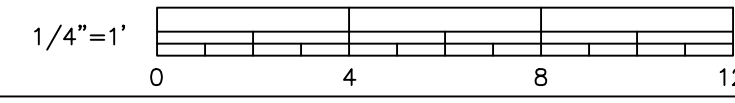
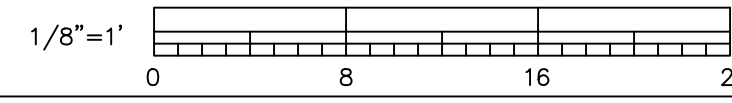
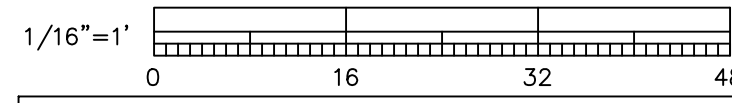
ARCHITECT OF RECORD  
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CONSULTANTS  
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REVISIONS  
 APPROVAL  
 PROJECT PHASE

CONCEPTUAL PLANNING SUBMITTAL  
 FOR  
**MONTIEL OFFICE BUILDING**  
 2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

PROJECT NAME  
 18116  
 PROJECT NUMBER  
 Administration Building  
 Water Conservation  
 Plan and Schematic  
 Irrigation Plan  
 SHEET TITLE  
**L-2**  
 SHEET NUMBER  
 1" = 20'-0" 20 April 2020  
 SCALE DATE  
 REV 27 July 2021



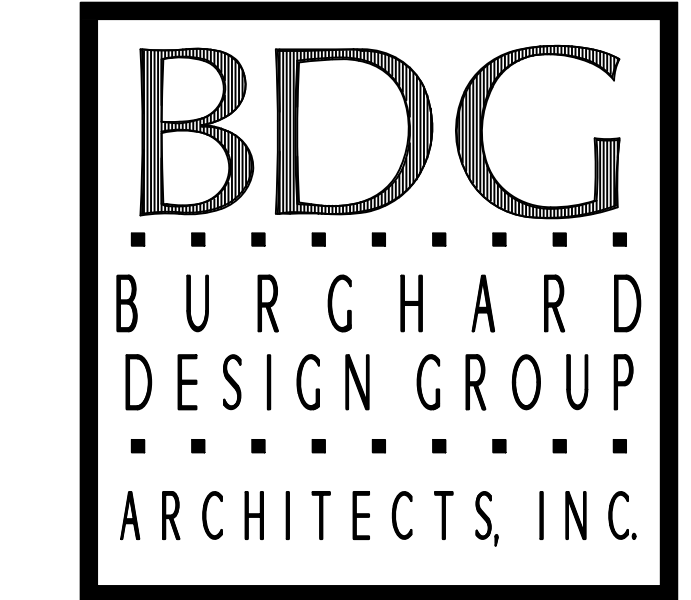
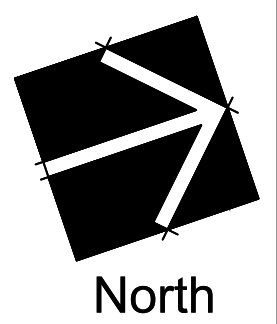
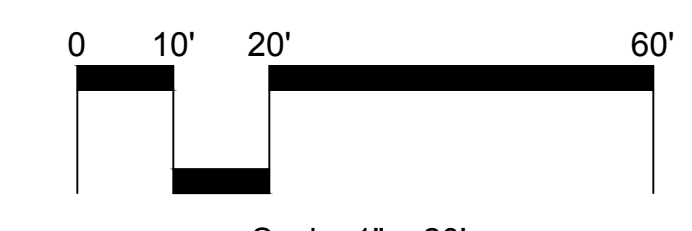
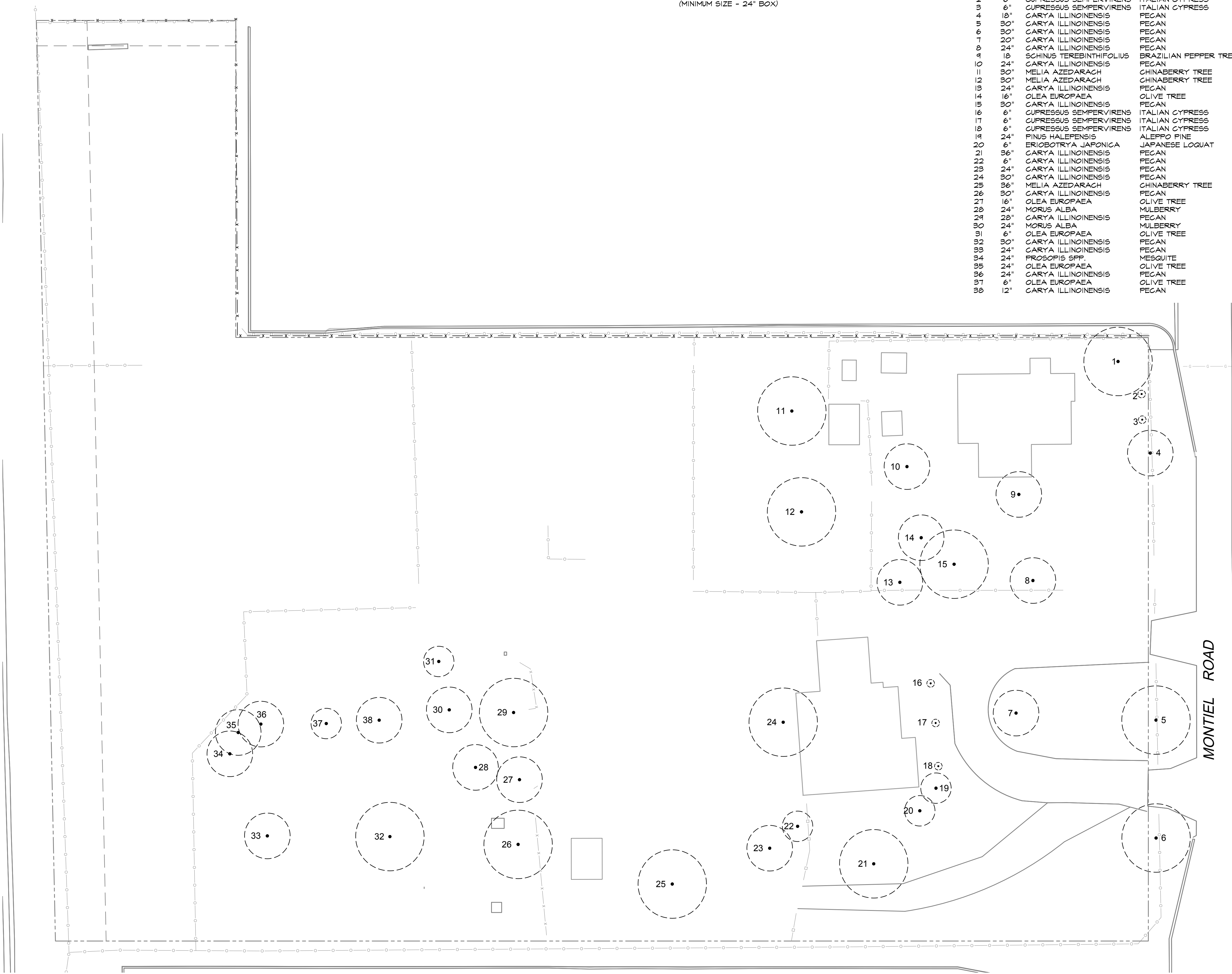
If this sheet is not 30" by 42" it is a reduced print, scale accordingly

**TREE MITIGATION TABLE**

NUMBER OF TREES TO BE REMOVED 38  
 NUMBER OF PROPOSED NEW TREES (MINIMUM SIZE - 24" BOX) 66

**EXISTING TREE SURVEY LEGEND**

SYM.	CAL.	BOTANICAL NAME	COMMON NAME	CONDITION	STATUS
1	36"	SCHINUS MOLLE	CALIFORNIA PEPPER TREE	FAIR	REMOVE
2	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
3	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
4	18"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
5	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
6	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
7	20"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
8	24"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
9	18"	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER TREE	POOR	REMOVE
10	24"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE
11	30"	MELIA AZEDARACH	CHINABERRY TREE	FAIR	REMOVE
12	30"	MELIA AZEDARACH	CHINABERRY TREE	FAIR	REMOVE
13	24"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
14	16"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
15	30"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE
16	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
17	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
18	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
19	24"	PINUS HALEPENSIS	ALEPPO PINE	FAIR	REMOVE
20	6"	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	GOOD	REMOVE
21	36"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
22	6"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
23	24"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
24	30"	CARYA ILLINOINENSIS	PECAN	GOOD	REMOVE
25	36"	MELIA AZEDARACH	CHINABERRY TREE	GOOD	REMOVE
26	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
27	16"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
28	24"	MORUS ALBA	MULBERRY	GOOD	REMOVE
29	28"	CARYA ILLINOINENSIS	PECAN	GOOD	REMOVE
30	24"	MORUS ALBA	MULBERRY	GOOD	REMOVE
31	6"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
32	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
33	24"	CARYA ILLINOINENSIS	PECAN	DEAD	REMOVE
34	24"	PROSOPIA SPP	MESQUITE	POOR	REMOVE
35	24"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
36	24"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE
37	6"	OLEA EUROPAEA	OLIVE TREE	POOR	REMOVE
38	12"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE



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