



PLANNING DEPARTMENT COUNTY OF TEHAMA

Courthouse Annex, Room "I"
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Red Bluff, California 96080
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530-527-2655 Facsimile
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Scot Timboe
Planning Director

NOTICE OF INTENTION

A "Mitigated Negative Declaration" has been filed on the below described project.

A Mitigated Negative Declaration means a statement describing the reasons that the proposed project will not have a significant effect on the environment.

The Mitigated Negative Declaration is available for public review at the Tehama County Clerk & Recorder's Office, Tehama County Courthouse, Red Bluff, CA 96080. The Planning Department will be accepting comments on the Mitigated Negative Declaration from January 7, 2022, to February 7, 2022.

If you have any comments after reading the Mitigated Negative Declaration they are to be made in writing to this department and should address only significant environmental impacts associated with Sections 15072(f) of the California Environmental Quality Act Guidelines as amended (copy available for referral in the Planning Department). All comments must be received on or before February 7, 2022.

PROJECT TITLE: TRACT MAP 21-03; JOHNSTON

DESCRIPTION/LOCATION OF PROJECT:

The site is located on the southeast corner of River Road and Napa Road, approximately half a mile east of State Highway 99W. The site is relatively flat or slightly slopes from the west to the east and away from Napa Road. The area appears to be heavily farmed with orchards, which is typical for the area. The three additional lots to this parcel, which is a designated remained left over from Parcel Map No. 20-01 that contained 4 other parcels is what triggered the Tentative Tract Map requirement for this project pursuant to the Subdivision Map Act. These three additional lots will be developed for residential purposes, similar to those of the original Parcel Map No. 20-01. Therefore, the remaining walnut trees on this parcels left over from an old antiquated orchard will be removed for said development. There are no significant riparian habitat corridors on or near the project. This portion of the original parcel map does not contain any structures or improvements. As noted above, the surrounding land uses appear to be heavily farmed with orchards, which is typical for the area along with placement of sporadic single-family homes consistent with the rural agricultural nature in this portion of Tehama County.

The above project will be considered by the Tehama County Technical Advisory Committee on a date to be determined, in the Board of Supervisor's Chambers at 727 Oak Street, Red Bluff, California, 96080. If you have any comments on the project as opposed to the Mitigated Negative Declaration you should so inform the Planning Department or attend this meeting. You will receive a Notice of Public Hearing stating the specific time the project will be considered.

JAN 06 2022

Contact: Jessica Martinez
Planner II

JENNIFER A. VISE
TEHAMA COUNTY CLERK & RECORDER
BY Amanda Zepeda



TEHAMA COUNTY PLANNING DEPARTMENT
TEHAMA COUNTY, CALIFORNIA

MITIGATED NEGATIVE DECLARATION FOR THE FOLLOWING TRACT MAP

PROJECT TITLE: TRACT MAP 21-03; JOHNSTON

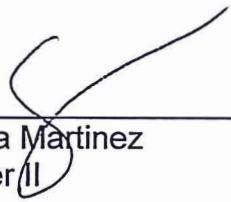
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It has been determined by the Tehama County Planning Department that the above described project will have no significant adverse effect on the environment with the addition of three (3) mitigation and will not substantially increase the demand for county services.

This project has been evaluated through the use of the Tehama County Environmental Impact Check List. Copies of this Declaration are available upon request form the Tehama County Clerk & Recorder's Office.

The Planning Department will be accepting comments on the Mitigated Negative Declaration from **January 7, 2022 to February 7, 2022.**

Those wishing to comment regarding this Mitigated Negative Declaration must do so on or before **February 7, 2022.**



Jessica Martinez
Planner/II

DATE 1/4/2022 01/04/2022