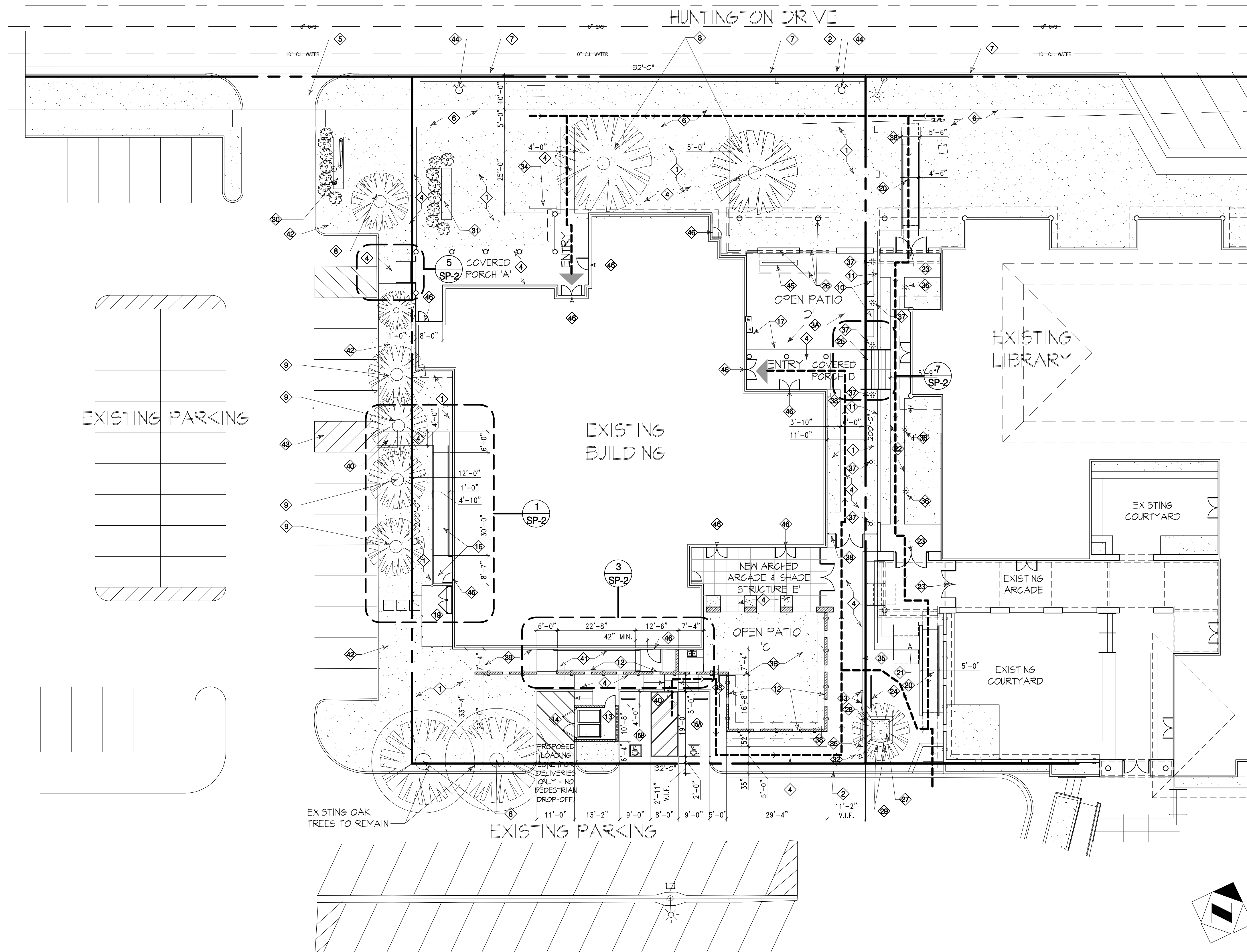




APPENDIX C

PROPOSED SITE PLAN, LAYOUT AND LANDSCAPE PLANS



PROPOSED SITE PLAN

GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. PROCEEDING WITH WORK WITHOUT VERIFICATION AND/OR NOTIFYING THE ARCHITECT SHALL BE AT THE CONTRACTOR'S OWN RISK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ANY OTHER PLANS PREPARED BY OTHERS AND FOR PROVIDING ANY NECESSARY BACKING, BLOCKING, STRAPPING, ATTACHMENTS, OR ANYTHING ELSE REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH GRADING, UTILITY, AND LANDSCAPE/IRRIGATION PLANS AND FOR PROVIDING ALL NECESSARY SITE WORK, FEATURES, UTILITY CONNECTIONS, MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE AND FUNCTIONING INSTALLATION, WHETHER SPECIFICALLY SHOWN ON THE PLANS OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS AND FOR PROVIDING ANY NECESSARY FIXTURES, CONDUIT, PIPING, CONNECTIONS, BACKING, BLOCKING, STRAPPING, ATTACHMENTS, OR ANYTHING ELSE REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING ANY FIXTURES OR EQUIPMENT AND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE PRODUCT DATA AND/OR SHOP DRAWINGS FOR REVIEW AS REQUIRED BY PROJECT SPECIFICATIONS AND/OR AS TYPICALLY PROVIDED FOR A CONSTRUCTION PROJECT. SHOP DRAWINGS SHALL INCLUDE VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS. THE REVIEW OF SHOP DRAWINGS DOES NOT INCLUDE THE VERIFICATION OF DIMENSIONS OR EXISTING CONDITIONS BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER VERIFICATION, FIT AND INSTALLATION OF ALL MATERIALS, FIXTURES, EQUIPMENT, AND FINISHES.
- THE OWNER SHALL BE RESPONSIBLE FOR A FINAL REVIEW OF ALL CONSTRUCTION DOCUMENTS PRIOR TO BIDDING AND/OR START OF CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OMISSIONS, REVISIONS, ETC. REQUIRED PRIOR TO BIDDING, AWARD OF CONTRACT, AND/OR START OF CONSTRUCTION FOR REVISION TO THE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OF THE LATEST APPLICABLE CODES, ORDINANCES, & REGULATIONS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE GENERAL NOTES ON SHEET A-0.01. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ACCESSIBILITY NOTES ON SHEET A-0.02. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ACCESSIBILITY DETAILS ON SHEET A-0.03. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE 2019 CALIFORNIA GREEN BUILDING CODE REQUIREMENTS ON SHEETS A-0.04 THROUGH A-0.07. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ARBORIST'S REPORT INCLUDED IN THE PROJECT MANUAL. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING OAK AND OTHER TREES LISTED IN THE REPORT TO BE SAVED AS WELL AS ANY TREES ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING THOSE TREES DURING CONSTRUCTION. THE CONTRACTOR SHALL TRIM/PRUNE THE TREES NOTED IN THE ARBORIST'S REPORT UNDER THE GUIDANCE OF AN ARBORIST.

PATH OF TRAVEL NOTES

DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL FROM THE PUBLIC WAY & ACCESSIBLE PARKING w/ MAX. 1:20 SLOPE IN DIRECTION OF TRAVEL & MAX. 1:48 CROSS SLOPE

NOTE: REFER TO THE PATH-OF-TRAVEL NOTES (SEC. 2) ON SHEET G-2. THE PATH OF TRAVEL INCLUDES & COMPLIES WITH THE REQUIREMENTS FOR WALKS/SIDEWALKS (SEC. 4), CURB RAMPS (SEC. 5 & DET. 11/G-3.1), RAMPS (SEC. 6 & DET. 7&8/G-3.1), STAIRS (SEC. 15 & DET. 9&10/G-3.1), ENTRANCES (SEC. 8), & DOORS (DET. 1-6/G-3.2).

NOTE: ALL KEYNOTES ARE TYPICAL, U.N.O.

PROPOSED SITE PLAN KEYNOTES (CONT.)

- EXISTING IMPROVEMENTS ON SCHOOL DISTRICT PROPERTY TO REMAIN. PROTECT-IN-PLACE. PATCH, REPAIR, REPLACE AS REQUIRED. REFER TO THE REMODEL SITE PLAN ON SP-1 AND THE GRADING AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- STRIPE EXISTING PARKING STALL
- PROPOSED NEW FIRE HYDRANT LOCATION. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS. INSTALL PER CITY OF SAN MARINO AND L.A. COUNTY FIRE DEPARTMENT STANDARDS & DETAILS
- RELOCATED BIKE RACK FROM LIBRARY SITE (SEE KEYNOTE #24 ON SP-0). INSTALL IN NEW 18"Wx24"Dx11'-0"L. (MIN.) CONCRETE FOOTING
- ACCESSIBLE THRESHOLD & LEVEL LANDINGS PER DETAILS 1&2/G-3.2. SEE GRADING PLANS FOR ADDITIONAL INFORMATION.
- EXISTING BOLLARD STYLE WALKWAY LIGHTING TO REMAIN. PROTECT-IN-PLACE.
- NEW BOLLARD STYLE WALKWAY LIGHTING TO MATCH EXISTING LIGHTING @ LIBRARY WALKWAY
- PROVIDE WALL OR STL. POST MOUNTED ACCESSIBLE DIRECTIONAL ENTRY SIGNAGE PER DETAIL 5/G-3.2
- NEW DECOMPOSED GRANITE PAVING PER LANDSCAPE CONSTRUCTION PLANS
- NEW CURB RAMP PER DETAIL 11/G-3.1
- NEW RAMP AT SERVICE ENTRANCE w/ PIPE STEEL HANDRAILS PER DETAILS 3&4/SP-2 & 8/G-3.1

SCALE 1/16"=1'-0"

PROPOSED SITE PLAN KEYNOTES

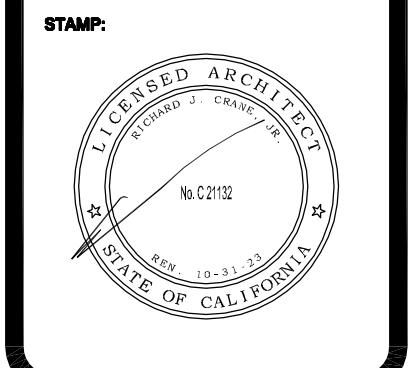
- NEW LANDSCAPING & IRRIGATION PER LANDSCAPE CONSTRUCTION PLANS
- NEW CONCRETE CURB & GUTTER @ REMOVED DRIVE APPROACH LOCATION (PER SP-0)
- NEW COURTYARD w/ DECOMPOSED GRANITE PAVING & LANDSCAPING PER LANDSCAPE CONSTRUCTION PLANS
- NEW COURTYARD w/ TURF & LANDSCAPING PER LANDSCAPE CONSTRUCTION PLANS
- NEW CONCRETE PAVING PER LANDSCAPE CONSTRUCTION & GRADING PLANS
- EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT IN PLACE. PATCH/REPAIR/REPLACE ANY DAMAGED CONCRETE
- EXISTING CONCRETE CURB & GUTTER TO REMAIN. PROTECT IN PLACE. PATCH/REPAIR/REPLACE ANY DAMAGED CONCRETE
- EXISTING (OAK) TREE TO REMAIN. PROTECT-IN-PLACE. REFER TO THE ARBORIST REPORT INCLUDED IN THE SPECIFICATIONS MANUAL. REFER TO THE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. REFER TO GENERAL NOTE #15.
- EXISTING TREE ON SCHOOL DISTRICT PROPERTY TO REMAIN. PROTECT-IN-PLACE. REFER TO THE ARBORIST REPORT INCLUDED IN THE SPECIFICATIONS MANUAL. REFER TO THE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. REFER TO GENERAL NOTE #15.
- NEW CAST-IN-PLACE CONCRETE SEAT WALLS PER LANDSCAPE CONSTRUCTION PLANS
- PORTION OF EXISTING SITE WALL TO REMAIN (RETAINING PORTION TO 6" A.F.F.)
- NEW SITE WALL w/ TRELLIS STRUCTURE ABOVE PER REMODEL PLANS & DETAILS.
- NEW TRASH ENCLOSURE PER DETAILS 1-9/D-1
- NEW LOADING ZONE INCLUDING NEW A.C. PAVING AND CONCRETE CURBS & GUTTERS
- NEW STANDARD ACCESSIBLE PARKING PER DETAIL 2/G-3.1 INCLUDING NEW A.C. PAVING AND CONCRETE CURBS & GUTTERS
- NEW VAN ACCESSIBLE PARKING PER DETAIL 2/G-3.1 INCLUDING NEW A.C. PAVING AND CONCRETE CURBS & GUTTERS
- NEW CONCRETE EXIT RAMP SYSTEM w/ NEW STEEL HANDRAILS - SEE DETAILS 1&2/SP-2.
- EXISTING ROOF OVERHANG PER FLOOR PLAN & ROOF PLAN
- EXISTING COVERED WALKWAY TO BE REMOVED PER DEMOLITION & REMODEL FLOOR PLANS
- EXISTING ELECTRICAL ENCLOSURE w/ C.L. FENCING & GATE SYSTEM. REFER TO THE ELECTRICAL PLANS FOR THE NEW ELECTRICAL METER/SWITCH GEAR/EQUIPMENT.
- EXISTING RAMP & HANDRAILS ON THE LIBRARY SITE TO REMAIN (COMPLIES w/ RAMP REQ. ON G-2 & DETAILS 7&8/G-3.1)
- EXISTING STAIRS & HANDRAILS ON THE LIBRARY SITE TO REMAIN (COMPLIES w/ STAIRWAY REQ. ON G-2 & DETAILS 9&10/G-3.1)
- EXISTING CONCRETE SIDEWALK ON THE LIBRARY SITE TO REMAIN (COMPLIES w/ PATH-OF-TRAVEL & WALKS/SIDEWALKS NOTES ON G-2)
- EXISTING TUBE STEEL GATE SYSTEM TO REMAIN
- EXISTING BIKE RACK TO REMAIN. PROTECT-IN-PLACE
- NEW CONCRETE STEPS & STEEL HANDRAILS - SEE DETAILS 5&6/SP-2, 10/G-3.1, & C/L2.1
- NEW SITE WALL & TUBE STEEL FENCE SYSTEM w/ TUBE STEEL TRELLIS ABOVE AND CONCRETE COLUMNS PER REMODEL PLAN & DETAILS
- RAISED CONCRETE TREE PLANTER - SEE LANDSCAPE CONSTRUCTION PLANS & DETAIL D/L2.1
- CAST-IN-PLACE CONCRETE BENCH SEAT - SEE LANDSCAPE CONSTRUCTION PLANS & DETAIL B/L2.1
- PROPOSED LIBRARY & SAN MARINO CENTER MONUMENT SIGNS PER DETAIL 12/D-1
- EXISTING BACKFLOW PREVENTER w/ NEW LANDSCAPE SCREENING
- NEW BACKFLOW PREVENTER w/ NEW LANDSCAPE SCREENING
- EXISTING POWER POLE TO REMAIN
- EXISTING POWER POLE GUY WIRE & POST
- NEW MONUMENT SIGN w/ ALUMINUM LETTERING w/ ANTIQUE BRONZE ANODIZED FINISH SPELLING "SAN MARINO CENTER" PER DETAIL 12/D-1
- EDGE OF EXISTING CONCRETE PAVING ON LIBRARY SIDE OF IMPROVEMENTS TO REMAIN. PROTECT-IN-PLACE

REVISIONS	BY

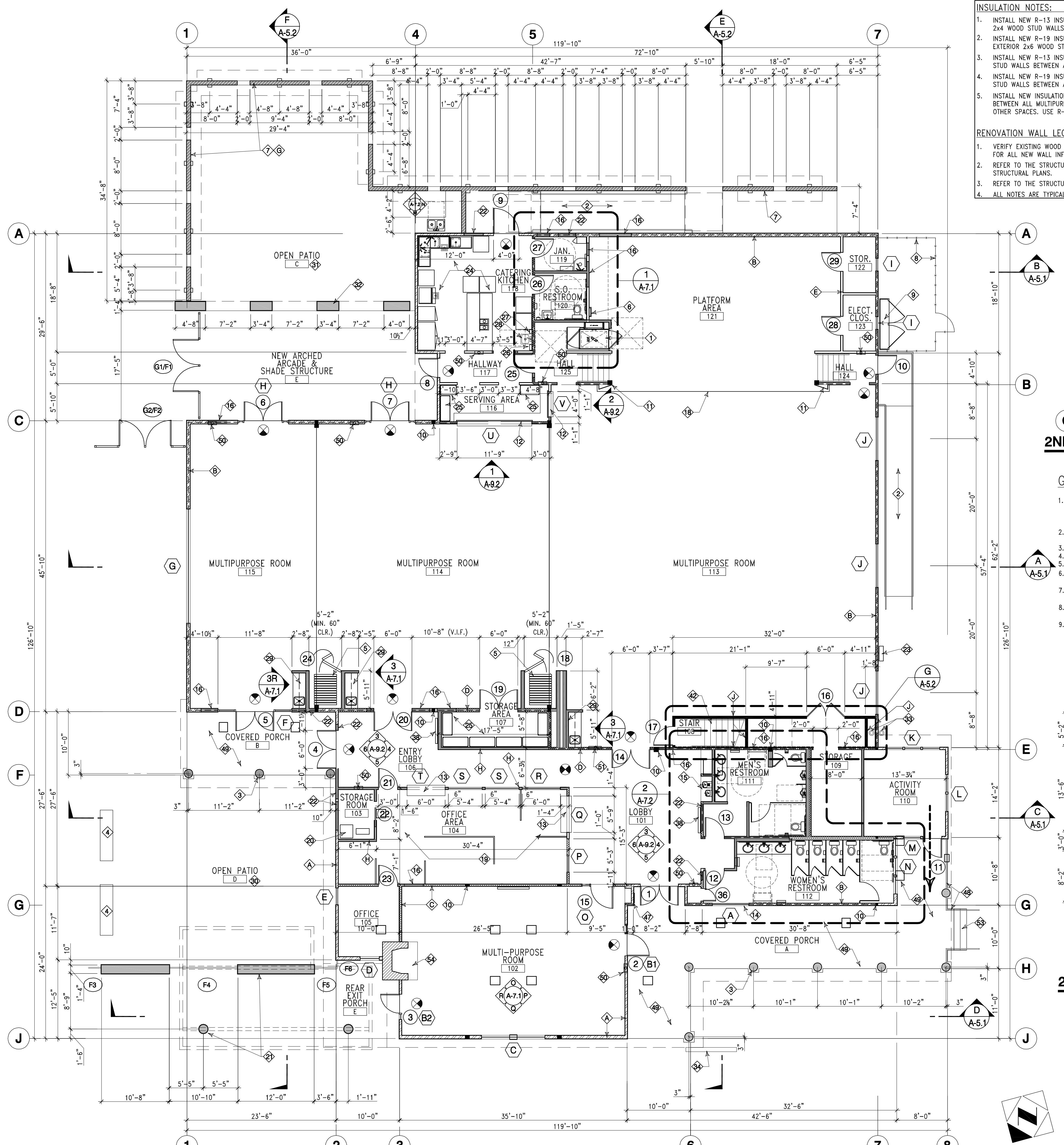
CRANE ARCHITECTURAL GROUP
Innovations in Architecture
 110 E. WILSHIRE AVE., SUITE 300 714.955-0888
 FULLERTON, CA 92632 FAX 714.955-9885

PROPOSED SITE PLAN

PROJECT: BUILDING RENOVATION
 SAN MARINO CENTER
 HUNTINGTON DRIVE
 SAN MARINO, CA 91108
 OWNER: CITY OF SAN MARINO
 2200 HUNTINGTON DRIVE
 SAN MARINO, CA 91108



DRAWN S.K.
CHECKED
 DATE 12/13/21
 SCALE AS NOTED
 JOB NO. C20-109
 SHEET **SP-1**
 12 OF SHEETS



INSULATION NOTES:

- INSTALL NEW R-13 INSULATION w/ VAPOR BARRIER AT ALL EXISTING & NEW 2x4 WOOD STUD WALLS
- INSTALL NEW R-19 INSULATION w/ VAPOR BARRIER @ ALL EXISTING & NEW EXTERIOR 2x6 WOOD STUD WALLS
- INSTALL NEW R-13 INSULATION @ ALL EXISTING & NEW INTERIOR 2x4 WOOD STUD WALLS BETWEEN ALL RESTROOMS & KITCHEN AREAS AND OTHER SPACES.
- INSTALL NEW R-19 INSULATION @ ALL EXISTING & NEW INTERIOR 2x6 WOOD STUD WALLS BETWEEN ALL RESTROOMS & KITCHEN AREAS AND OTHER SPACES.
- INSTALL NEW INSULATION @ ALL EXISTING & NEW INTERIOR WOOD STUD WALLS BETWEEN ALL MULTIPURPOSE ROOMS, ACTIVITY ROOM, & OFFICE AREAS AND OTHER SPACES. USE R-13 IN 2x4 WALLS & R-19 IN 2x6 WALLS

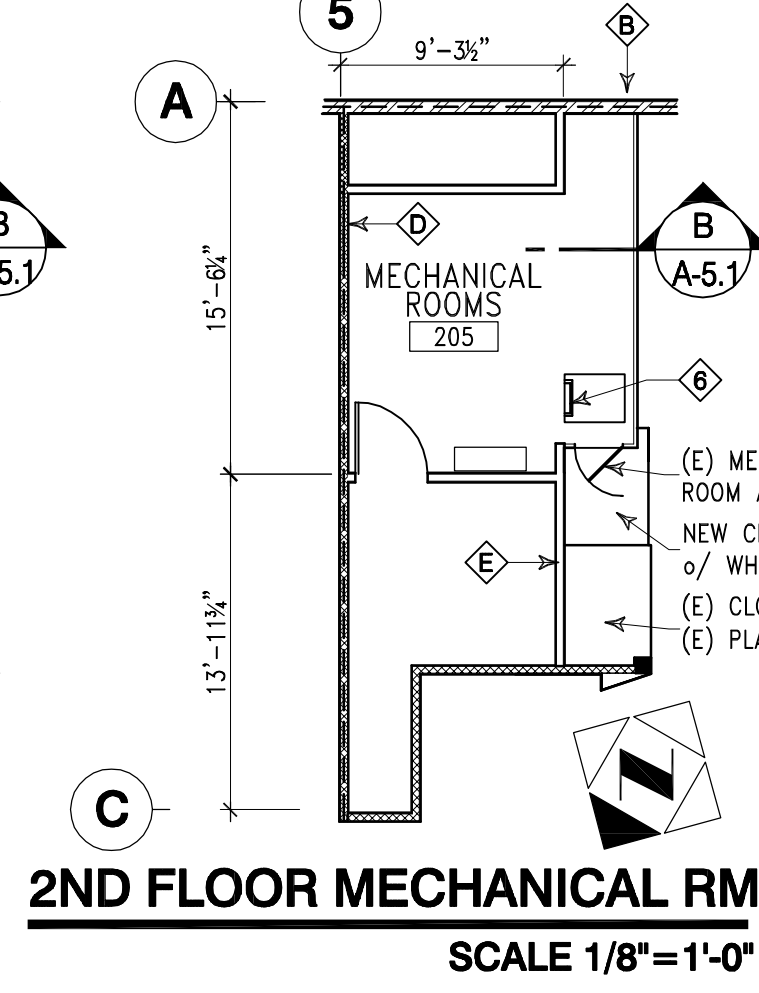
RENOVATION WALL LEGEND NOTES

- VERIFY EXISTING WOOD STUD SIZE IN FIELD & MATCH THE EXISTING STUD SIZE FOR ALL NEW WALL INFILLS AND EXTENSIONS.
- REFER TO THE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS & INSTALL PER STRUCTURAL PLANS.
- REFER TO THE STRUCTURAL PLANS FOR OTHER REQUIREMENTS NOT SHOWN HERE
- ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE

RENOVATION WALL LEGEND

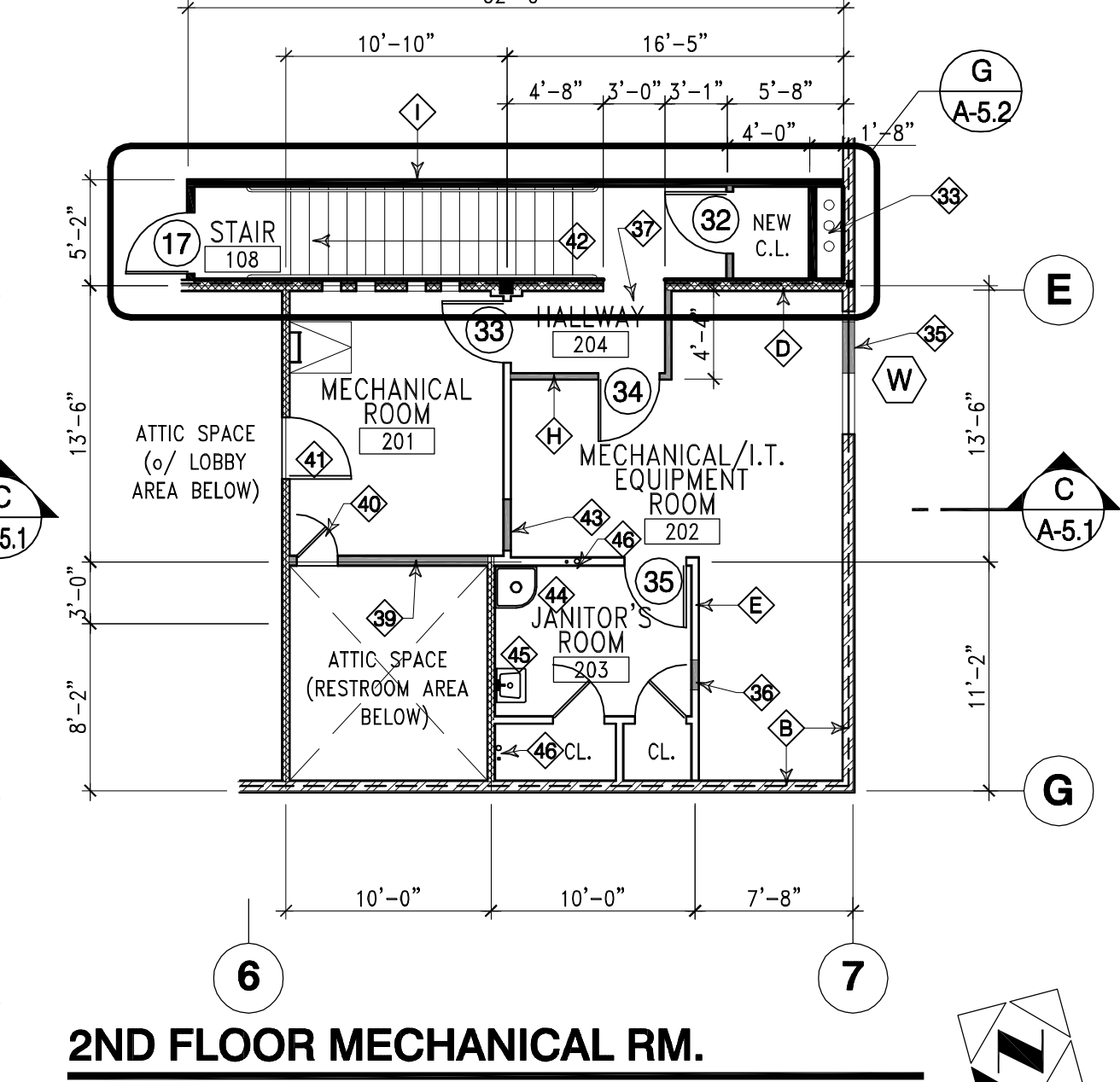
Ⓐ	EXISTING EXTERIOR BEARING WALL TO REMAIN. INSTALL NEW PLASTER FINISH @ EXTERIOR & NEW 5/8" GYP. BRD. FINISH @ INTERIOR. INSTALL NEW INSULATION PER NOTES BELOW. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
Ⓑ	EXISTING EXTERIOR BEARING WALL FULL HEIGHT TO TOP OF PARAPET TO REMAIN. INSTALL NEW PLASTER FINISH @ EXTERIOR & NEW 5/8" GYP. BRD. FINISH @ INTERIOR. INSTALL NEW INSULATION PER NOTES BELOW. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
Ⓒ	EXISTING INTERIOR BEARING WALL TO REMAIN. INSTALL NEW 5/8" GYP. BRD. FINISH BOTH SIDES. INSTALL NEW INSULATION PER NOTES BELOW. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
Ⓓ	EXISTING INTERIOR BEARING WALL FULL HEIGHT TO TOP OF PARAPET TO REMAIN. INSTALL NEW 5/8" GYP. BRD. FINISH BOTH SIDES. INSTALL NEW INSULATION PER NOTES BELOW. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
Ⓔ	EXISTING INTERIOR WALL TO REMAIN. INSTALL NEW 5/8" GYP. BRD. FINISH BOTH SIDES. INSTALL NEW INSULATION PER NOTES BELOW.
Ⓕ	NEW EXTERIOR WALL OR INFILL WALL. INSTALL NEW PLASTER FINISH @ EXTERIOR & NEW 5/8" GYP. BRD. FINISH @ INTERIOR. INSTALL NEW INSULATION PER NOTES BELOW. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
Ⓖ	NEW 8x8x16 PRECISION CMU WALL PER STRUCTURAL PLANS w/ NEW 5/8" PLASTER w/ A SMOOTH TROWEL FINISH ON ALL SIDES
Ⓗ	NEW INTERIOR WALL OR INFILL WALL w/ 5/8" GYP. BRD. BOTH SIDES
Ⓘ	NEW INTERIOR BEARING WALL OR INFILL WALL w/ 5/8" GYP. BRD. BOTH SIDES. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
Ⓚ	NEW INTERIOR BEARING WALL w/ (1) LAYER 5/8" TYPE 'X' GYP. BRD. EACH SIDE OF NEW OR EXISTING (PER ABV. WALL TYPES) 2x STUD WALLS PER 1-HOUR WALL ASSEMBLY 14-1.3 (INTERIOR) OR 15-1.3 (EXTERIOR) OF CBC TABLE 721.1.2

NOTE: REFER TO THE INSULATION & WALL LEGEND NOTES FOR ADDITIONAL INFORMATION



GENERAL NOTES:

- REFER TO THE GENERAL NOTES ON SHEET SP-1. ALL GENERAL NOTES APPLY TO ALL DRAWINGS INCLUDED THROUGHOUT THE ENTIRE CONSTRUCTION DRAWINGS SET & TO ALL PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL OTHER PLANS & SPECIFICATIONS INCLUDED IN THE CONSTRUCTION DRAWING SET & PROJECT MANUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OF THE LATEST APPLICABLE CODES, ORDINANCES, & REGULATIONS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE GENERAL NOTES ON SHEET G-1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ACCESSIBILITY NOTES ON SHEET G-2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ACCESSIBILITY DETAILS ON SHEET G-3.1 THROUGH G-3.3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE 2019 CALIFORNIA GREEN BUILDING CODE REQUIREMENTS ON SHEETS G-4 THROUGH G-7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.



NEW 2A-10BC FIRE EXTINGUISHERS IN NEW RECESSED FIRE EXTINGUISHER CABINETS - SEE DETAIL 10/D-4. VERIFY FINAL LOCATION w/ FIRE DEPT.

EXISTING FIRE HOSE IN RECESSED FIRE EXTINGUISHER CABINET TO REMAIN - PROTECT-IN-PLACE

ROOF ACCESS HATCH & LADDER PER DETAIL 10&11/D-6.1

NEW CONCRETE STEPS PER THE SITE PLAN ON SP-1 & DETAILS 7&8/SP-2

(E) BRICK FIREPLACE, HEARTH, & CHIMNEY TO REMAIN - SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

NOTE: ALL KEYNOTES TYPICAL UNLESS NOTED OTHERWISE

NEW 2nd FLR MECHANICAL ROOM ACCESS STAIRS w/ 7.5" RISERS & 10" TREADS - SEE PLAN/SECTION G/A-5.2 & STRUCTURAL PLANS

INFILL OLD DOOR OPENING TO MATCH ADJ. WALL

NEW JANITOR'S SINK PER PLUMBING PLANS

NEW HAND SINK PER PLUMBING PLANS

WATER & SEWER LINE STUB-OUT FOR FUTURE USE - SEE PLUMBING PLANS

EXISTING WOMEN'S CLUB DEDICATION STONE/PLOUQUE TO REMAIN. PROTECT-IN-PLACE

NEW 36" HANDRAIL/GUARDRAIL SYSTEM w/ PICKETS @ 4" O.C. MAX.

NEW CONCRETE PAVING PER STRUCTURAL PLANS. FINISH TO MATCH OTHER SITE PAVING ON LANDSCAPE PLANS.

FLOOR PLAN KEYNOTES

- PROPOSED ACCESSIBLE CHAIR LIFT FOR ACCESS TO PLATFORM - SEE DETAIL 8/G-3.3
- PROPOSED ACCESSIBLE RAMPS & LANDINGS PER THE SITE PLAN ON SP-1&2 DETAILS ON SP-2
- NEW 16" DIA. CAST-IN-PLACE CONCRETE PILLARS PER STRUCTURAL PLANS & DETAILS
- CONCRETE BENCH PER DETAIL B/L-2.1
- PROPOSED FOLDING PARTITION (49 STC SOUND RATING) w/ MANUAL OPERATION & BOTTOM SOUND GASKET @ FLOOR - SEE DETAIL 1-14/D-7
- NEW ACCESS LADDER & 20"x30" MIN. HATCH - ACTIVAR FDZC1-2030-MPI UPWARD OPENING ACCESS DOOR w/ FS INDUSTRIES F95 WALL MOUNTED LADDER OR EQUAL (VERIFY HGT.)
- PROPOSED CMU SITE WALL w/ STUCCO FINISH & TRELIS STRUCTURE ABOVE TO MATCH LIBRARY - SEE SECTION J/A-5.3 & STRUCT. PLANS
- (E) CHAIN LINK ELECTRICAL ENCLOSURE, GATE, & CONCRETE PAD TO REMAIN - PROTECT-IN-PLACE
- NEW ELECTRICAL ENCLOSURE/EQUIPMENT PER ELECTRICAL PLANS
- EXISTING WOOD POST TO REMAIN - TYP.
- REPLACE (E) BEVELED WALL DETAILING @ PLATFORM EDGES & HEAD TO MATCH (E) CONDITION, INCLUDING MOLDINGS & TRIMS, & FINISH
- PROPOSED SERVING WINDOW AND COUNTER w/ COILING SHUTTER - SEE DETAIL 10&11/D-3
- PROPOSED SERVING WINDOW AND COUNTER - SEE DETAILS B&9/D-3
- NEW STOREFRONT WINDOW w/ SPANDEL GLASS @ EXTERIOR & INFILL WALL @ INTERIOR
- PROPOSED COMBINATION HIGH-LOW DRINKING FOUNTAIN AND BOTTLE FILLER PER DET. 15/G-3.2
- INFILL OLD DOOR OPENINGS w/ STUD SIZES, SHEATHING, & EXT/INT FINISHES TO MATCH ADJACENT WALLS
- 5'-0" LONG COFFEE SERVICE COUNTER WITH LOCKING UPPER AND LOWER CABINETS
- RENOVATE UNDER-PLATFORM STORAGE AREA DOORS AND HARDWARE FOR TABLE & CHAIR CARTS AND STORAGE. REFINISH PER FINISH PLAN
- 5 CUBIC WORK STATIONS SUPPLIED & INSTALLED BY OTHERS.
- BOOSTER PUMP PER PLUMBING PLANS - PROVIDE ALL REQUIRED POWER & UTILITY CONNECTIONS.
- PROPOSED SITE WALL, PLASTER, TUBE STEEL FENCE, & TRELIS STRUCTURE TO MATCH LIBRARY - SEE SECTION H/A-5.3 & STRUCTURAL PLANS
- INFILL OLD WINDOW OR OTHER OPENING w/ STUD SIZES, SHEATHING, & EXT/INT FINISH TO MATCH ADJACENT WALLS
- NEW WALL MOUNTED ROOF ACCESS LADDER w/ WALK-THROUGH & LOCKABLE COVER FS INDUSTRIES F20W w/ LD SECURITY LADDER GUARD OR EQUAL. INSTALLED PER MANUF. SPECS.
- PROPOSED KITCHEN EQUIPMENT PER KITCHEN PLAN
- PROPOSED 5-TIER WIRE STORAGE SHELVING PER KITCHEN PLANS
- WALL MOUNTED PAPER TOWEL DISPENSER, BOBRICK B-4262 OR EQUAL
- WALL MOUNTED SOAP DISPENSER, BOBRICK B-4112 OR EQUAL
- HAND SINK PER PLUMBING PLANS
- PROPOSED UPPER/LOWER CABINETS, COUNTER & SINK (PER PLUMBING PLANS) - SEE DETAIL 1&4/D-4
- DECOMPOSED GRANITE PER LANDSCAPE PLANS
- GRASS PER LANDSCAPE PLANS
- PROPOSED ARCHED SITE WALL AND SHADE CANOPY TO MATCH LIBRARY - SEE SECTION J/A-5.3 & STRUCTURAL PLANS
- PROPOSED FIRE SPRINKLER RISER PER FIRE SPRINKLER PLANS PREPARED BY FIRE SPRINKLER CONTRACTOR (DEFERRED SUBMITTAL), IN 1-HOUR FIRE RATED SHAFT
- PROPOSED MONUMENT SIGN PER DETAIL 12/D-1
- INFILL (E) OPENING IN WALL BELOW WINDOW, MATCH STUD SIZE, SHEATHING, & EXT/INT FINISH OF ADJACENT WALLS
- INFILL PATCH & REPAIR OPENING IN (E) WALL, MATCH STUD SIZE, SHEATHING, & EXT/INT FINISH OF ADJACENT WALLS
- PROPOSED 3070 FINISHED OPENING
- FUTURE MULTIMEDIA LCD TV SCREEN LOCATIONS. PROVIDE BLOCKING IN WALL, POWER & DATA OUTLETS PER ELECTRICAL & AUDIO/VISUAL PLANS & SPECS
- NEW FULL HGT. WALL, MATCH STUD SIZE, SHEATHING, & WALL FINISH OF WALLS BELOW & ADJACENT.
- NEW ATTIC ACCESS - ACTIVAR 36x36TM-B2 14" DOOR & FRAME OR EQUAL
- (E) ATTIC ACCESS TO REMAIN - PROTECT-IN-PLACE

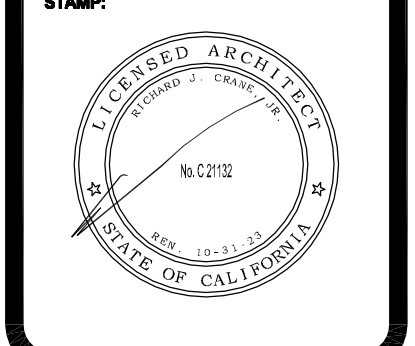
REVISIONS	BY

CRANE ARCHITECTURAL GROUP
Innovations in Architecture
110 E. WILSHIRE AVE., SUITE 900 714-955-0888
FULLERTON, CA 92832 FAX: 714-955-8668

RENOVATION FLOOR PLAN

PROJECT:
BUILDING RENOVATION
SAN MARINO CENTER
1100 WILSHIRE DRIVE
SAN MARINO, CA 91106

CLIENT:
CITY OF SAN MARINO
2200 HUNTINGTON DRIVE
SAN MARINO, CA 91108



DRAWN: MTB
CHECKED: [Signature]

DATE: 12/13/21
SCALE: AS NOTED
JOB NO.: C20-109
SHEET: A-1.2

17 OF SHEETS



PLANT SCHEDULE

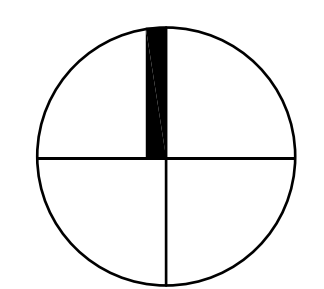
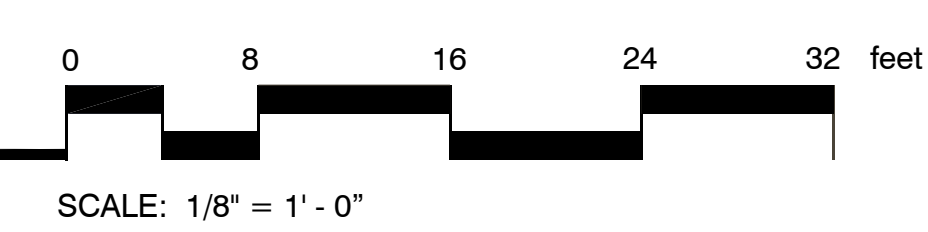
TREES	BOTANICAL NAME	COMMON NAME	SIZE
	LAGERSTROEMIA INDICA	GRAPE MYRTLE	48" SPECIMEN MULTI BRANCH
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	ARCTOSTAPHYLOS X 'PACIFIC MIST'	PACIFIC MIST MANZANITA	5 GAL
	BERBERIS AQUIFOLIUM	OREGON GRAPE	5 GAL
	BERBERIS REPENS	CREeping OREGON BARBERRY	5 GAL
	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL
	CAMELLIA JAPONICA	CAMELLIA	5 GAL
	CARPENTERIA CALIFORNICA 'ELIZABETH'	ELIZABETH BUSH ANEMONE	5 GAL
	CEANOTHUS MARITIMUS	MARITIME CEANOTHUS	5 GAL
	CUPRESSUS SEMPERVIRENS 'MONSHEL' TM	TINY TOWER ITALIAN CYPRESS	15 GAL
	DIANELLA CAERULEA 'DCMP01' TM	LITTLE BECCA FLAX LILY	5 GAL
	DIANELLA X 'DP401' TM	CLARITY BLUE FLAX LILY	5 GAL
	DRACAENA DRACO	DRAGON TREE	24" BOX
	LOMANDRA PLATINUM	PLATINUM BEAUTY	5 GAL
	MAHONIA X 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL
	OLEA EUROPAEA 'LITTLE OLLIE' TM	LITTLE OLLIE OLIVE	5 GAL
	PODOCARPUS HENKELII	LONG-LEAFED YELLOW WOOD	15 GAL
	PRUNUS ILICIFOLIA	HOLLY LEAF CHERRY	15 GAL
	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	CALIFORNIA COFFEEBERRY	5 GAL
	RHAPIS HUMILIS	LADY PALM	20 GAL
	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	1 GAL
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	5 GAL
	WESTRINGIA FRUTICOSA 'MUNDI'	MUNDI COAST ROSEMARY	5 GAL

- CONSTRUCTION KEYNOTES**
- TRELLIS AND WALL FEATURE- REFER TO ARCHITECTURAL DRAWINGS
 - CONCRETE MOW STRIP
 - CAST-IN-PLACE CONCRETE BENCHES
 - STABILIZED DECOMPOSED GRANITE SURFACING
 - LIGHT FIXTURE- REFER TO ARCHITECTURAL DRAWINGS
 - NEW CONCRETE STEPS
 - ~3'-0" SQ. SAWCUT GRID CONCRETE PAVING WITH EXPOSED SAND FINISH
 - EXISTING LIBRARY COURTYARD WALL TO BE LOWERED TO 6" ABOVE LIBRARY FINISH FLOOR ELEVATION
 - EXISTING LANDSCAPING TO REMAIN
 - EXISTING BAMBOO TO BE REMOVED AND LINEAR PLANTER RE-LANDSCAPED
 - SYNTHETIC LAWN SURFACING
 - EXISTING CONCRETE SURFACING TO BE PROTECTED IN PLACE
 - EXISTING BIKE RACK TO REMAIN (SOUTH SECTION REMOVED TO ACCOMMODATE NEW RAISED PLANTER
 - CAST-IN-PLACE RAISED PLANTER WITH BENCH
 - BRASS BUILDING I.D. SIGNAGE
 - REPLACE PORTION OF EXISTING CONCRETE PAVING FOR CONTINUITY
 - EXISTING ADA ACCESS RAMP TO BE PROTECTED IN PLACE
 - EXISTING COAST LIVE OAKS- PROTECT IN PLACE PER ARBORIST REPORT.
 - EXISTING SCHOOL PROPERTY LANDSCAPE SHALL REMAIN UNDISTURBED
 - NEW CAST-IN-PLACE STEPPING PADS TO EQUIPMENT ENCLOSURE
 - NEW ACCESS AND ADA RAMPING STRUCTURE- REFER TO ARCHITECTURAL DRAWINGS
 - EXISTING SYCAMORE TREE TO BE PROTECTED IN PLACE
 - EXISTING LAWN AREA- PROTECT IN PLACE
 - NEW 12" WIDE CONCRETE MOW STRIP AT PROPERTY LINE
 - NEW BACKFLOW PREVENTION DEVICE- REFER TO ARCHITECTURAL DRAWINGS
 - EXISTING CONCRETE WALKWAY- PROTECT IN PLACE
 - NEW PROJECT I.D. SIGNAGE- REFER TO ARCHITECTURAL DRAWINGS
 - EXISTING TURF PARKWAY- RENOVATE WITH NEW IRRIGATION SYSTEM AND REPLACE TURFGRASS
 - STABILIZED DECOMPOSED GRANITE PATHWAY- EGRESS PATH OF TRAVEL
 - REMOVE PORTION OF EXISTING STAR JHASIME GROUND COVER AND RELANDSCAPE WITH WATER CONSERVING PLANTING AS PROPOSED, THUS CREATING CONTINUITY BETWEEN BUILDINGS.

DESIGN DEVELOPMENT LANDSCAPE PLAN

SAN MARINO CENTER - BUILDING RENOVATION LANDSCAPE IMPROVEMENTS

CITY OF SAN MARINO



CRANE ARCHITECTURAL GROUP
Innovations in Architecture
 110 E. WILSHIRE AVE., SUITE 300, 714.925.0282
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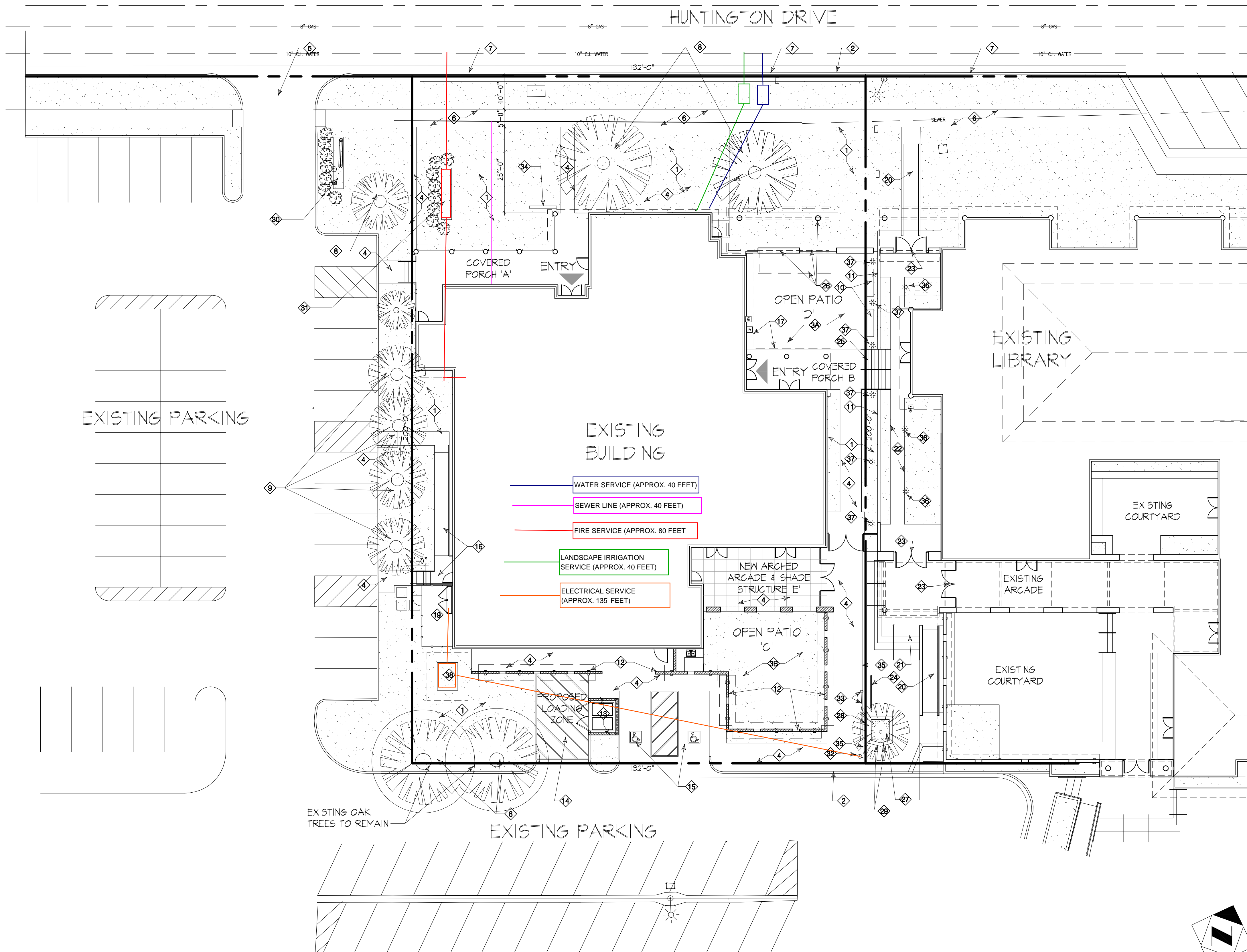
BGB | DESIGN GROUP
 Landscape Architecture Planning Urban Design
 3185 C1 Airway Avenue Costa Mesa, CA 92626
 O: 714.945.2838 F: 714.945.2878 gbg-inc.com

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4/27/2021



DESIGN DEVELOPMENT PLANT IMAGES



PROPOSED SITE PLAN

GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. PROCEEDING WITH WORK WITHOUT VERIFICATION AND/OR NOTIFYING THE ARCHITECT SHALL BE AT THE CONTRACTOR'S OWN RISK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ANY OTHER PLANS PREPARED BY OTHERS AND FOR PROVIDING ANY NECESSARY BACKING, BLOCKING, STRAPPING, ATTACHMENTS, OR ANYTHING ELSE REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH GRADING, UTILITY, AND LANDSCAPE/IRRIGATION PLANS AND FOR PROVIDING ALL NECESSARY SITE WORK, FEATURES, UTILITY CONNECTIONS, MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE AND FUNCTIONING INSTALLATION, WHETHER SPECIFICALLY SHOWN ON THE PLANS OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS AND FOR PROVIDING ANY NECESSARY FIXTURES, CONDUIT, PIPING, CONNECTIONS, BACKING, BLOCKING, STRAPPING, ATTACHMENTS, OR ANYTHING ELSE REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING ANY FIXTURES OR EQUIPMENT AND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE PRODUCT DATA AND/OR SHOP DRAWINGS FOR REVIEW AS REQUIRED BY PROJECT SPECIFICATIONS AND/OR AS TYPICALLY PROVIDED FOR A CONSTRUCTION PROJECT. SHOP DRAWINGS SHALL INCLUDE VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS. THE REVIEW OF SHOP DRAWINGS DOES NOT INCLUDE THE VERIFICATION OF DIMENSIONS OR EXISTING CONDITIONS BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER VERIFICATION, FIT AND INSTALLATION OF ALL MATERIALS, FIXTURES, EQUIPMENT, AND FINISHES.

GENERAL NOTES (CONTINUED):

- THE OWNER SHALL BE RESPONSIBLE FOR A FINAL REVIEW OF ALL CONSTRUCTION DOCUMENTS PRIOR TO BIDDING AND/OR START OF CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OMISSIONS, REVISIONS, ETC. REQUIRED PRIOR TO BIDDING, AWARD OF CONTRACT, AND/OR START OF CONSTRUCTION FOR REVISION TO THE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OF THE LATEST APPLICABLE CODES, ORDINANCES, & REGULATIONS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- REFER TO THE GENERAL NOTES ON SHEET A-0.01. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ACCESSIBILITY NOTES ON SHEET A-0.02. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE ACCESSIBILITY DETAILS ON SHEET A-0.03. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.
- REFER TO THE 2019 CALIFORNIA GREEN BUILDING CODE REQUIREMENTS ON SHEETS A-0.04 THROUGH A-0.07. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL APPLICABLE REQUIREMENTS, WHETHER SPECIFICALLY SHOWN OR NOT.

SCALE 1/16"=1'-0"

DEMOLITION SITE PLAN KEYNOTES

- 1 NEW LANDSCAPING & IRRIGATION PER LANDSCAPE CONSTRUCTION PLANS
- 2 NEW CONCRETE CURB & GUTTER @ REMOVED DRIVE APPROACH LOCATION (PER SP-0)
- 3 NEW COURTYARD w/ DECOMPOSED GRANITE PAVING & LANDSCAPING PER LANDSCAPE CONSTRUCTION PLANS
- 4 NEW COURTYARD w/ TURF & LANDSCAPING PER LANDSCAPE CONSTRUCTION PLANS
- 5 NEW CONCRETE SIDEWALK/PAVING
- 6 EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN
- 7 EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT IN PLACE.
- 8 PATCH/REPAIR/REPLACE ANY DAMAGED CONCRETE
- 9 EXISTING CONCRETE CURB & GUTTER TO REMAIN. PROTECT IN PLACE.
- 10 PATCH/REPAIR/REPLACE ANY DAMAGED CONCRETE
- 11 EXISTING (OAK) TREE TO REMAIN. PROTECT IN PLACE
- 12 PROPOSED NEW TREES PER LANDSCAPE CONSTRUCTION PLANS.
- 13 NEW CAST-IN-PLACE CONCRETE SEAT WALLS PER LANDSCAPE CONSTRUCTION PLANS
- 14 PORTION OF EXISTING SITE WALL TO REMAIN (RETAINING PORTION TO 6" A.F.F.)
- 15 NEW SITE WALL w/ TRELLIS STRUCTURE ABOVE PER REMODEL PLANS & DETAILS.
- 16 NEW TRASH ENCLOSURE.
- 17 NEW LOADING ZONE INCLUDING NEW A.C. PAVING AND CONCRETE CURBS & GUTTERS
- 18 NEW ACCESSIBLE PARKING PER DETAIL 2/G-3.1 INCLUDING NEW A.C. PAVING AND CONCRETE CURBS & GUTTERS
- 19 NEW CONCRETE STEPS AND RAMP SYSTEM w/ NEW STEEL HANDRAILS
- 20 EXISTING ROOF OVERHANG PER FLOOR PLAN & ROOF PLAN
- 21 EXISTING COVERED WALKWAY TO BE REMOVED PER DEMOLITION & REMODEL FLOOR PLANS
- 22 EXISTING ELECTRICAL ENCLOSURE w/ C.L. FENCING & GATE SYSTEM. REFER TO THE ELECTRICAL PLANS FOR THE NEW ELECTRICAL METER/SWITCH GEAR/EQUIPMENT.
- 23 EXISTING RAMP & HANDRAILS ON THE LIBRARY SITE TO REMAIN
- 24 EXISTING STAIRS & HANDRAILS ON THE LIBRARY SITE TO REMAIN
- 25 EXISTING CONCRETE SIDEWALK ON THE LIBRARY SITE TO REMAIN
- 26 EXISTING TUBE STEEL GATE SYSTEM TO REMAIN
- 27 EXISTING BIKE RACK TO REMAIN. PROTECT-IN-PLACE
- 28 NEW CONCRETE STEPS & STEEL HANDRAILS
- 29 NEW SITE WALL & TUBE STEEL FENCE SYSTEM w/ TUBE STEEL TRELLIS ABOVE AND CONCRETE COLUMNS PER REMODEL PLAN & DETAILS
- 30 RAISED CONCRETE TREE PLANTER
- 31 CAST-IN-PLACE CONCRETE BENCH SEAT
- 32 PROPOSED LIBRARY & SAN MARINO CENTER MONUMENT SIGNS
- 33 EXISTING BACKFLOW PREVENTER w/ NEW LANDSCAPE SCREENING
- 34 NEW BACKFLOW PREVENTER w/ NEW LANDSCAPE SCREENING
- 35 EXISTING POWER POLE TO REMAIN
- 36 EXISTING POWER POLE GUY WIRE & POST
- 37 NEW CAST-IN-PLACE CONCRETE MONUMENT SIGN w/ ALUMINUM LETTERING w/ BLACK ANODIZED FINISH SPELLING "SAN MARINO CENTER"
- 38 EDGE OF EXISTING CONCRETE PAVING ON LIBRARY SIDE OF IMPROVEMENTS TO REMAIN. PROTECT-IN-PLACE
- 39 EXISTING BOLLARD STYLE WALKWAY LIGHTING TO REMAIN. PROTECT-IN-PLACE.
- 40 NEW BOLLARD STYLE WALKWAY LIGHTING TO MATCH EXISTING LIGHTING @ LIBRARY WALKWAY
- 41 NEW SCE TRANSFORMER & TRANSFORMER PAD (8'-0"x6'-0" w/ 3'-0" CLR. ON ALL SIDES). REFER TO THE SCE SERVICE PLANS AND THE ELECTRICAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH SCE AND PROVIDING A COMPLETE NEW ELECTRICAL SERVICE TO THE BUILDING.

REVISIONS	BY

CRANE ARCHITECTURAL GROUP
Innovations in Architecture
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 FULLERTON, CA 92632 FAX 714.955-9686

PROPOSED SITE PLAN

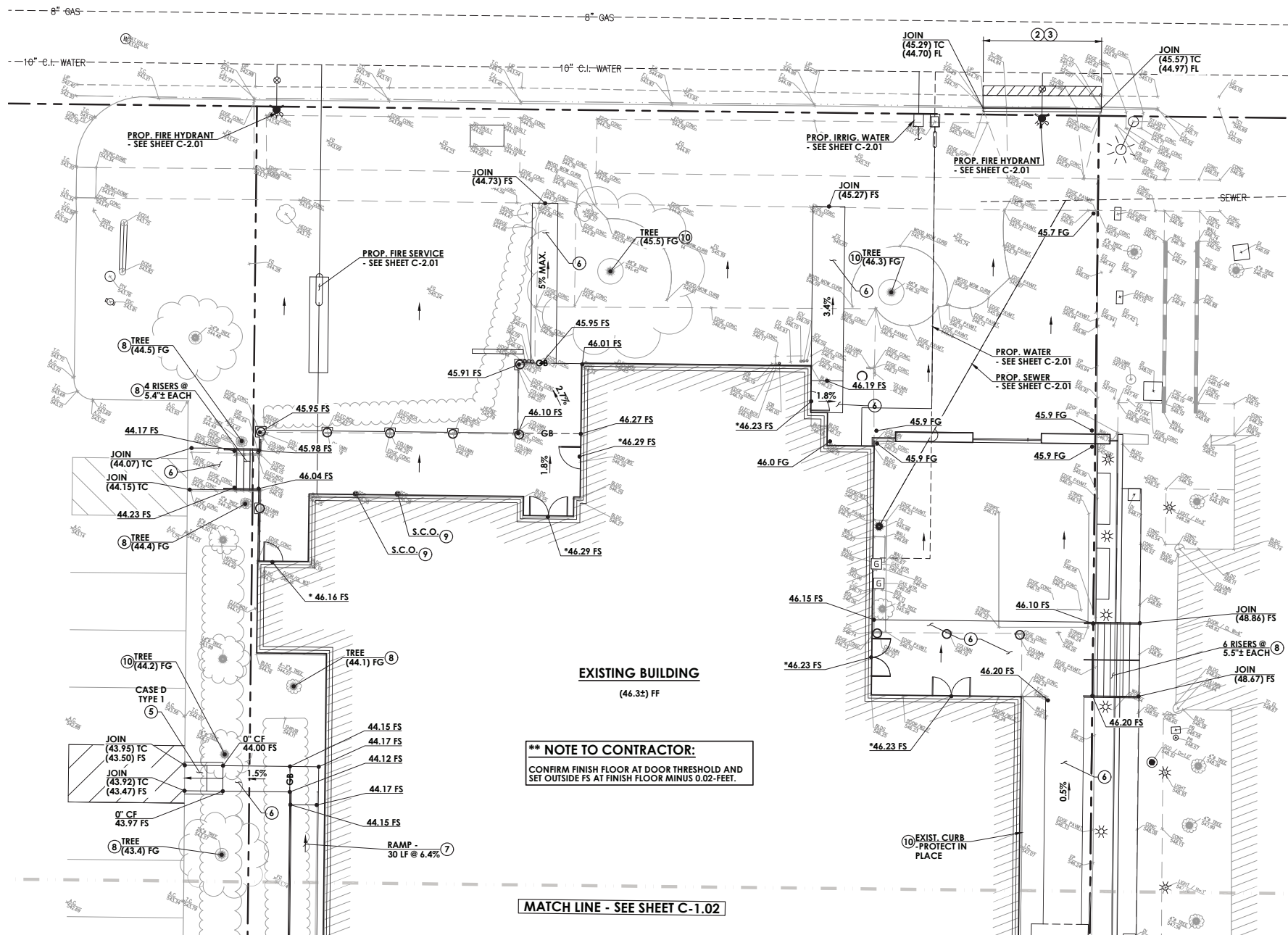
PROJECT:
**BUILDING RENOVATION
 SAN MARINO CENTER
 HUNTINGTON DRIVE
 SAN MARINO, CA 91108**
 CLIENT:
**CITY OF SAN MARINO
 2200 HUNTINGTON DRIVE
 SAN MARINO, CA 91108**

STAMP:

DRAWN S.K.
CHECKED
DATE 06/03/21
SCALE AS NOTED
JOB NO. C20-109
SHEET

HUNTINGTON DR.

N 66°39'00" E



NOTE TO CONTRACTOR:
 EXACT LOCATION OF EXISTING UNDERGROUND PVC STORM DRAIN LINES ON-SITE ARE UNKNOWN. CONTRACTOR SHALL:

- VERIFY LOCATION, SIZE, ELEVATIONS OF EXISTING STORM DRAIN AND VERIFY DESIGN AS A FIRST ITEM OF WORK. NOTIFY COUNTY IMMEDIATELY OF ANY REQUIRED CHANGE IN DESIGN.
- NOTIFY CITY IMMEDIATELY OF THE LOCATION AND SIZE TO INSURE CONTINUITY OF DRAINAGE UPSTREAM IF INLET PIPES ARE FOUND CONNECTING TO EXISTING GRATES THAT ARE REMOVED DURING THE CONSTRUCTION OF THIS PROJECT (OR PIPES ARE DAMAGED OR REMOVED DURING CONSTRUCTION) THAT RUN OUTSIDE OF DEMOLITION LIMITS.

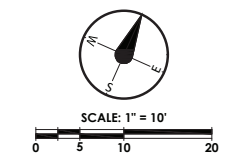
*** NOTE TO CONTRACTOR:**
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NOTE TO CONTRACTOR:
 PRIOR TO CONSTRUCTION AROUND TREES, COORDINATE EXTENT OF GRADING WITH LANDSCAPE ARCHITECT AND ARBORIST.

- ACCESSIBILITY REQUIREMENTS**
- SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED ONE UNIT VERTICAL TO 50-UNITS HORIZONTAL (2-PERCENT SLOPE) IN ANY DIRECTION. (11B-502.4)
 - RAMP SHALL NOT ENCRoACH INTO ANY ACCESSIBLE PARKING SPACE OR THE ADJACENT ACCESS AISLE. THE MAXIMUM CROSS SLOPE IN ANY DIRECTION OF AN ACCESSIBLE PARKING SPACE AND ADJACENT ACCESS AISLE SHALL NOT EXCEED 2 PERCENT. (1109A.8.2)
 - PROVIDE A BUMPER OR CURB IN EACH PARKING AREA TO PREVENT ENCRoACHMENT OF CARS OVER THE REQUIRED WIDTH OF WALKWAYS. (11B-502.7.2)
 - PROVIDE A CONTINUOUS COMMON SURFACE FOR WALKS AND SIDEWALKS, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4". (11B-403) SHOULD CHANGE NOT EXCEEDING 1/4" OCCUR. THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL TO 2 UNITS HORIZONTAL (50 PERCENT), EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. (11B-403.4, FIG 11B-303.2 & 11B-303.3)
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 - MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE, SHALL NOT EXCEED ONE UNIT VERTICAL TO 20 UNITS HORIZONTAL (5 PERCENT SLOPE) WITH 4 FEET OF THE TOP AND BOTTOM OF THE CURB RAMP. (11B-406.2.1) THE SLOPE OF THE FANNED OR PARALLEL CURB RAMPS SHALL NOT EXCEED ONE UNIT VERTICAL TO 12 HORIZONTAL (8.3 PERCENT SLOPE). (11B-406.3.1 & 11B-406.4.1)
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- GENERAL CONSTRUCTION NOTES**
- CONSTRUCT CURB PER SPPWC STD. PLAN 120-3, TYPE A1, CURB HEIGHT PER PLAN
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UNDERGROUND SERVICE ALERT
 CALL: 811
 TWO WORKING DAYS BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
REVISIONS			

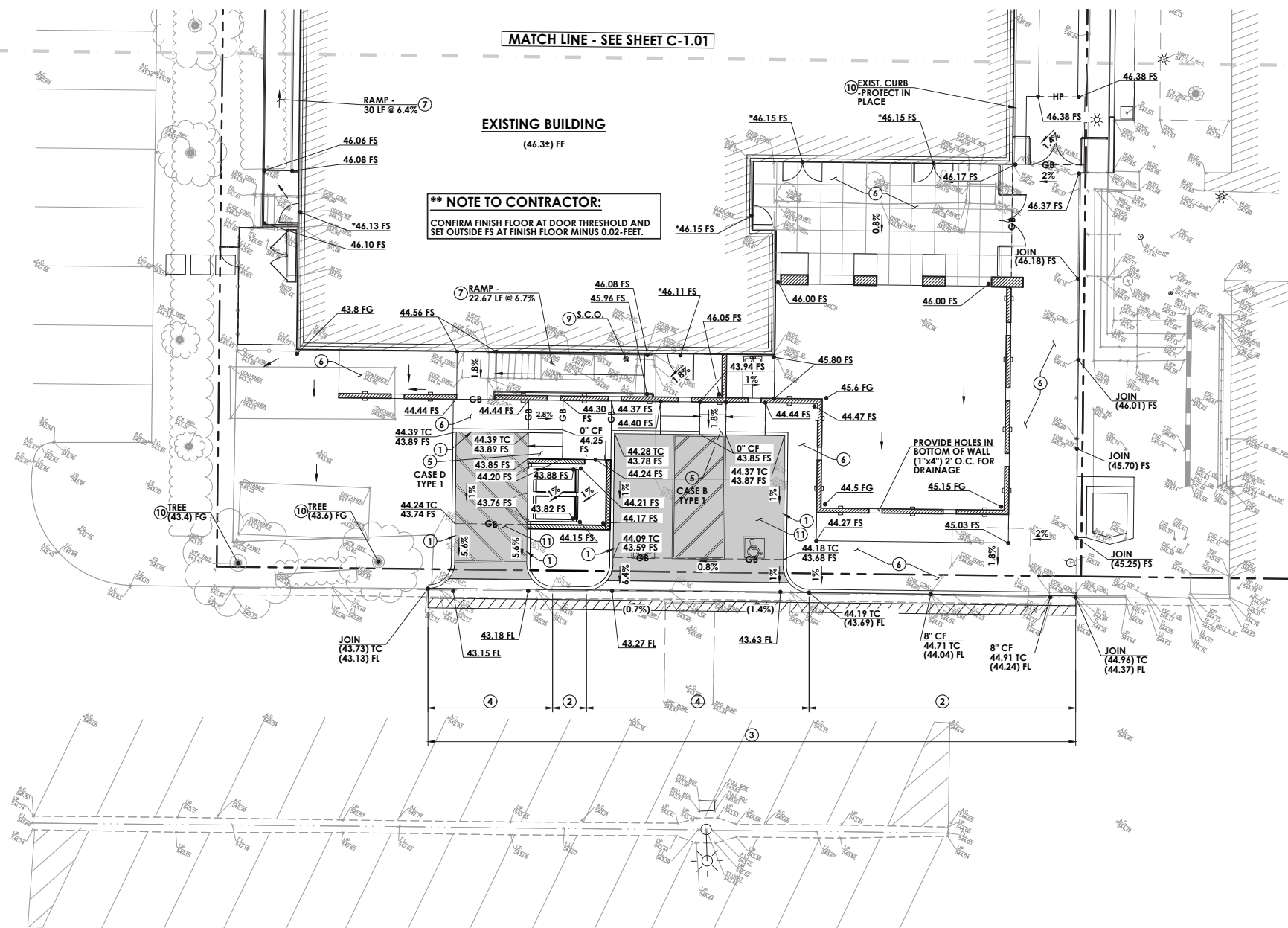


PREPARED BY:
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 LADERA RANCH, CA 92694
 P: 949.463.8822
 E: tec@civitec.net
 THOMAS E. CARCELLI, R.C.E. #81640

SCALE: PER PLAN
 DATE: 09/06/21
 DRAWN BY: STAFF
 CHECKED BY: TEC
 PLOT DATE: 9/7/21

PRECISE GRADING PLAN
 SAN MARINO CENTER RENOVATION
 1800 HUNTINGTON DRIVE
 SAN MARINO, CA

DRAWING NUMBER:
C-1.01
 SHEET 5 OF 9
 JN 116.05



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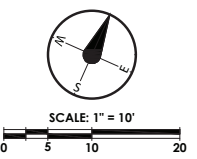
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PREPARED BY:
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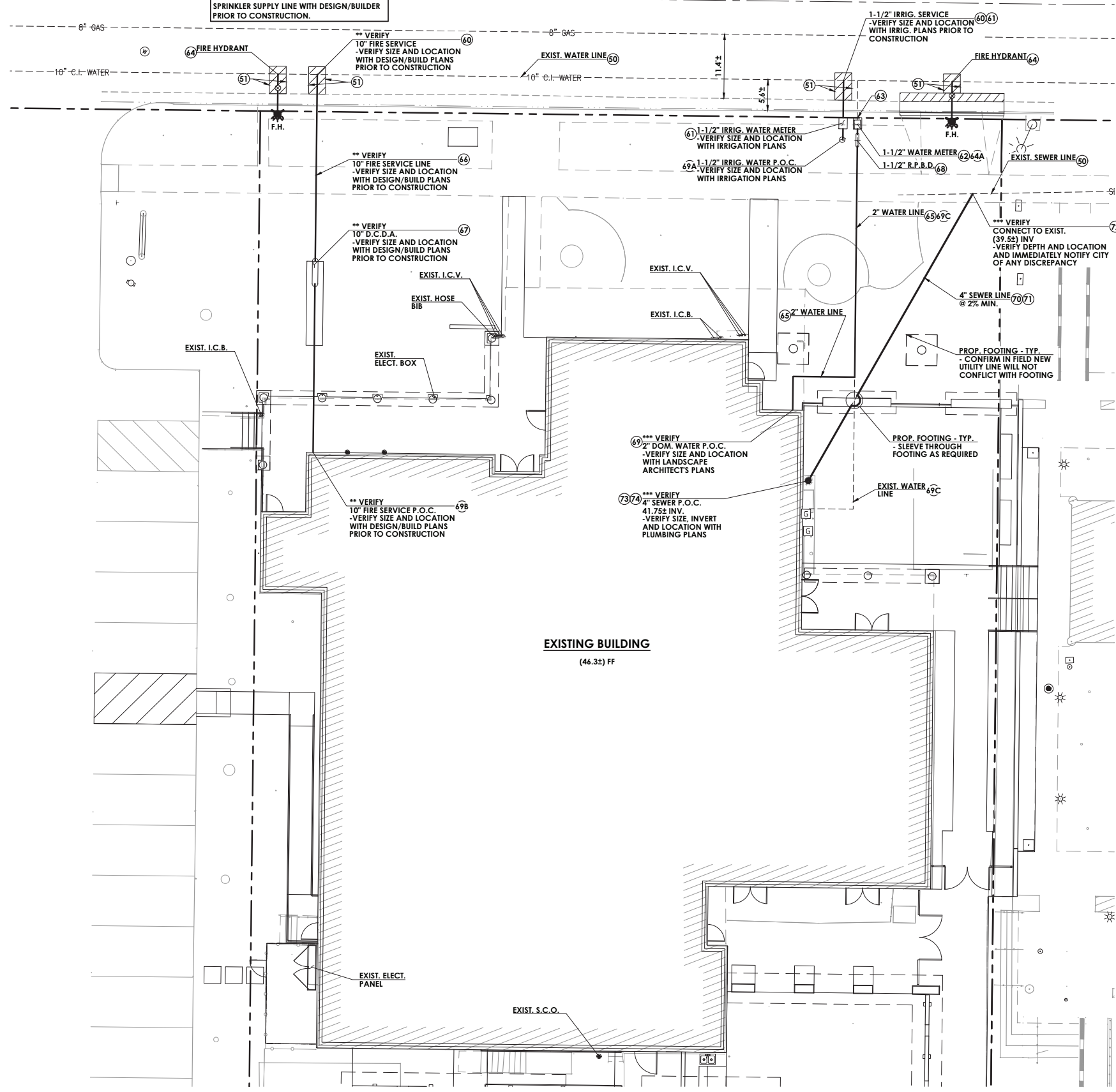
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DRAWING NUMBER:
PRECISE GRADING PLAN
SAN MARINO CENTER RENOVATION
1800 HUNTINGTON DRIVE
SAN MARINO, CA
C-1.02
SHEET 6 OF 9
JN 116.05

**** NOTE TO CONTRACTOR:**
 CONFIRM SIZE REQUIRED FOR BUILDING FIRE
 SPRINKLER SUPPLY LINE WITH DESIGN/BUILDER
 PRIOR TO CONSTRUCTION.

HUNTINGTON DR.

N 66°39'00" E



EXISTING UNDERGROUND STRUCTURES

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND PIPES OR CONDUITS SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS. LOCATE ALL UTILITIES BEFORE CONSTRUCTION.

WATER NOTES:

1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST CALIFORNIA PLUMBING CODE STANDARDS.
2. ALL UNDERGROUND PIPING BETWEEN THE METER AND BACKFLOW PROTECTION DEVICES SHALL BE SLEEVED AND BACKFILLED WITH 2-SACK SLURRY TO 12-INCHES BELOW FINISHED GRADE.
3. SCREENING OF BACKFLOW PROTECTION DEVICE SHALL BE APPROVED BY THE CITY OF SAN MARINO.
4. CONTRACTOR SHALL NOT TAP EXISTING MAINS WITHOUT A CERTIFIED WATER INSPECTOR PRESENT. PRESSURE TEST TAPPING SLEEVE IN CERTIFIED WATER INSPECTOR'S PRESENCE BEFORE TAPPING EXISTING MAIN.

***** NOTE TO CONTRACTOR:**

EXACT LOCATION OF EXISTING UNDERGROUND WATER AND SEWER LINES ON-SITE ARE UNKNOWN. CONTRACTOR SHALL:

- VERIFY LOCATION, SIZE, ELEVATIONS OF EXISTING WATER AND SEWER LINES AND VERIFY DESIGN AS A FIRST ITEM OF WORK. NOTIFY ENGINEER IMMEDIATELY OF ANY REQUIRED CHANGE IN DESIGN.
- IF WATER AND SEWER LINES ARE FOUND CONNECTING TO THE EXISTING BUILDING THAT ARE REMOVED DURING THE CONSTRUCTION OF THIS PROJECT (OR PIPES ARE DAMAGED OR REMOVED DURING CONSTRUCTION) THAT RUN OUTSIDE OF DEMOLITION LIMITS, NOTIFY ENGINEER IMMEDIATELY OF THE LOCATION AND SIZE TO INSURE CONTINUITY OF UTILITY UPSTREAM.

*** NOTE TO CONTRACTOR:**

CONTRACTOR TO VERIFY ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY CITY AND CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY.

NOTE TO CONTRACTOR:

VERIFY EXACT SIZE, LOCATION AND INVERT OF BUILDING SEWER P.O.C. AND SIZE AND LOCATION OF BUILDING WATER P.O.C. WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION AND COORDINATE INSTALLATION.

NOTE TO CONTRACTOR:

LOCATE ALL EXISTING UTILITIES AS A FIRST ITEM OF WORK AND PROTECT THEM IN PLACE AS REQUIRED.

NOTE TO CONTRACTOR:

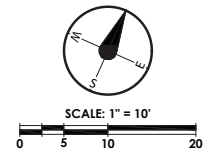
THE UTILITIES ARE PROVIDED FOR REFERENCE ONLY AND SEPARATE PERMITS MAY BE REQUIRED.

CONSTRUCTION NOTES/ESTIMATE OF QUANTITIES

NO.	DESCRIPTION	QUANTITY
GENERAL CONSTRUCTION NOTES		
50	PROTECT IN PLACE	-
51	CONSTRUCT ASPHALT CONCRETE PAVEMENT REPLACEMENT PER SPPWC STD. PLAN 133-4	20 LF
PUBLIC WATER CONSTRUCTION		
60	HOT TAP AND CONNECT TO EXIST. WATER MAIN PER CALIFORNIA AMERICAN WATER STDS.	2 EA
61	CONSTRUCT 1-1/2-INCH DOMESTIC WATER SERVICE AND 1-1/2-INCH METER PER CALIFORNIA AMERICAN WATER STDS.	1 EA
62	CONSTRUCT 1-1/2-INCH METER PER CALIFORNIA AMERICAN WATER STDS.	1 EA
63	CONNECT TO EXIST. WATER LINE UPSTREAM OF NEW METER	1 EA
64	CONSTRUCT FIRE HYDRANT PER CALIFORNIA AMERICAN WATER STDS.	2 EA
64A	REMOVE EXISTING WATER LINE	1S
PRIVATE WATER CONSTRUCTION		
65	CONSTRUCT 2" PVC, SCH. 40 WATER LINE, BEDDING PER CALIFORNIA AMERICAN WATER STDS.	60 LF
66	CONSTRUCT **10" PVC, CLASS 305 (DR14), WATER LINE, BEDDING PER CALIFORNIA AMERICAN WATER STDS.	65 LF
67	INSTALL **10" DOUBLE CHECK DETECTOR ASSEMBLY WITH F.D.C. PER CALIFORNIA AMERICAN WATER STDS.	1 EA
68	CONSTRUCT 1-1/2" R.P.D. PER CALIFORNIA AMERICAN WATER STDS.	1 EA
69	CONNECT PRIVATE WATER LINE TO BLDG. - SEE PLUMBING PLANS	1 EA
69A	CONNECT TO IRRIG. LINE - SEE IRRIGATION PLANS	1 EA
69B	CONNECT FIRE SERVICE LINE TO BLDG. SPINKLERS - SEE PLUMBING PLANS	1 EA
69C	REMOVE EXISTING WATER LINE	1S
PRIVATE SEWER CONSTRUCTION		
70	REMOVE EXISTING SEWER LATERAL	1S
71	CONSTRUCT PRIVATE 4" PVC SEWER (SDR 35), BEDDING PER DETAIL 2, SHEET C-0.03	60 LF
72	CONNECT TO EXISTING SEWER LATERAL	1 EA
73	CONSTRUCT PRIVATE SEWER CLEAN OUT PER DETAIL 2, SHEET C-0.02	1 EA
74	CONNECT TO BUILDING SEWER LINE - SEE PLUMBING PLANS	1 EA

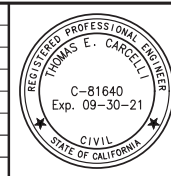
NOTICE TO THE CONTRACTOR

THE ESTIMATES OF IMPROVEMENT AND GRADING QUANTITIES AS SHOWN HEREON ARE PROVIDED FOR SATISFYING PLAN CHECK INFORMATION REQUIREMENTS ONLY. THE CONTRACTOR SHALL PERFORM AN INDEPENDENT ESTIMATE OF ALL IMPROVEMENT QUANTITIES INCLUDING GRADING QUANTITIES, AND SHALL USE SAME AS A BASIS FOR HIS BID(S) AND CONTRACT(S).



UNDERGROUND SERVICE ALERT
 CALL: 811
 TWO WORKING DAYS BEFORE YOU DIG

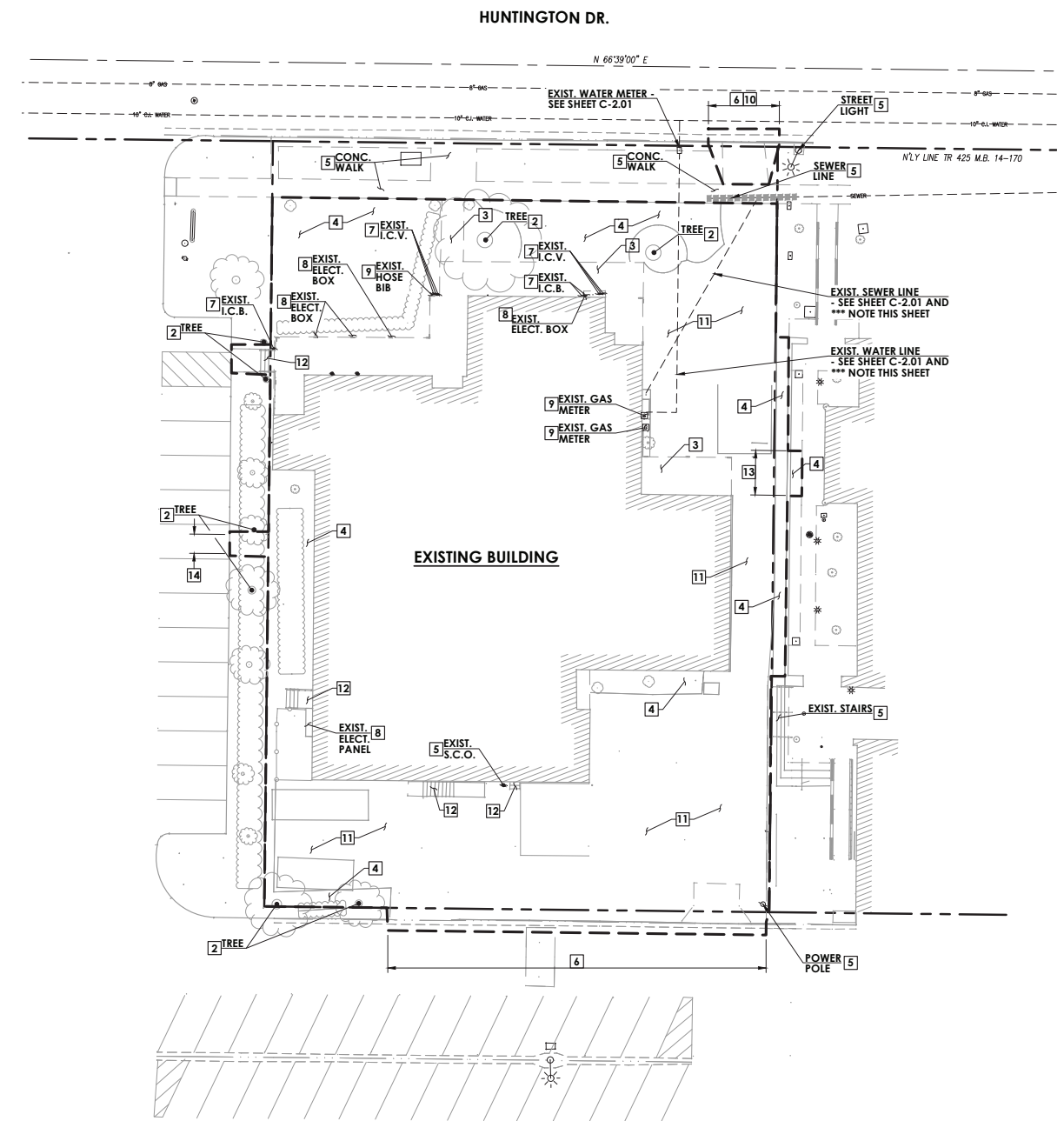
NO.	DATE	DESCRIPTION	BY
REVISIONS			



PREPARED BY:
CIVITEC CIVIL ENGINEERING CONSULTING
 999 CORPORATE DR., SUITE 100
 LADERA RANCH, CA 92694
 P: 949.463.8822
 E: tec@civitec.net
 THOMAS E. CARCELLI, R.C.E. #81640

SCALE: PER PLAN
 DATE: 09/06/21
 DRAWN BY: STAFF
 CHECKED BY: TEC
 PLOT DATE: 9/7/21

WATER / SEWER PLAN SAN MARINO CENTER RENOVATION 1800 HUNTINGTON DRIVE SAN MARINO, CA	DRAWING NUMBER: C-2.01
	SHEET 7 OF 9
	JN 116.05



PRIVATE ENGINEERS NOTICE TO CONTRACTOR(S)

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. APPROVAL OF THESE PLANS BY THE CITY DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NONEXISTENCE OF ANY UTILITY AND/OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEANS TO PROTECT THE UTILITIES OF RECORD OR NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- RELOCATION OR REMOVAL OF ANY EXISTING UTILITIES SHALL BE PERFORMED BY THE RESPECTIVE UTILITY OWNERS, AT THE EXPENSE OF THE CONTRACTOR.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY.

CONTRACTOR'S RESPONSIBILITY

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUS AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL CONDUCT A SURVEY OF EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE AND VERIFY THE EXTENT OF DEMOLITION REQUIRED.
- CONTRACTOR SHALL RECORD EXISTING CONDITIONS BY USE OF PRE-CONSTRUCTION PHOTOGRAPHS, PRE-CONSTRUCTION VIDEOTAPES, AND DRAWINGS AS APPROPRIATE.
- A SURVEY SHALL BE PERFORMED AS WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL KEEP INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND REINSTALLED AND ITEMS TO BE REMOVED AND SALVAGED.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER THE STORAGE AND DELIVERY OF ITEMS TO BE SALVAGED.
- LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AS THE FIRST ITEM OF WORK AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.
- WHEN UNANTICIPATED ELECTRICAL, STRUCTURAL, OR OTHER ELEMENTS INCLUDING STORM DRAIN, WATER AND SEWER LINES THAT CONFLICT WITH INTENDED DESIGN ARE ENCOUNTERED, CONTRACTOR SHALL INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT AND CONTRACTOR SHALL PROMPTLY SUBMIT A WRITTEN REPORT TO THE CITY.
- CONTRACTOR SHALL LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED AND:
 - SHALL ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES.
 - IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, BEFORE PROCEEDING WITH DEMOLITION CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING AND SITE.
 - SHALL CUT OFF PIPE OR CONDUIT IN WALLS TO BE REMOVED, CAP, VALVE OR PLUG AND SEAL REMAINING PORTION OF PIPE OR CONDUIT AFTER BYPASSING, WHERE ENTIRE WALL IS TO BE REMOVED, EXISTING SERVICES/SYSTEMS MAY BE REMOVED WITH REMOVAL OF THE WALL, CONTRACTOR SHALL CUT OFF PIPE OR CONDUIT SO IT WILL NOT BE VISIBLE IN FINISHED CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SERVICES/SYSTEMS INDICATED AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- INACTIVE OR ABANDONED UTILITIES SHALL BE DISCONNECTED, REMOVED, AND PLUGGED OR CAPPED SUBJECT TO THE LOCAL GOVERNING AGENCIES.
- ACTIVE UTILITIES SHALL BE PROTECTED BY AND AT THE EXPENSE OF THE CONTRACTOR. KEEP ANY REQUIRED UTILITY IN OPERATING CONDITION DURING THE ENTIRE PERIOD OF WORK, INCLUDING EXISTING IRRIGATION SYSTEMS FOR LANDSCAPE MAINTENANCE.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT KNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. ASSUME RESPONSIBILITY FOR ALL NECESSARY REVISION DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN AND:
 - SHALL PROVIDE TEMPORARY WEATHER PROTECTION, DURING THE INTERVAL BETWEEN DEMOLITION OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND NEW CONSTRUCTION, TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
 - SHALL PROTECT WORK THAT IS TO REMAIN OR THAT IS EXPOSED DURING DEMOLITION OPERATIONS.
 - SHALL COVER AND PROTECT EQUIPMENT THAT HAS NOT BEEN REMOVED.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES THAT REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. CONTRACTOR SHALL STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- DEMOLITION AND REMOVAL WORK SHALL BE CAREFULLY PERFORMED TO AVOID DAMAGE TO EXISTING TREES NOTED ON THE PLANS TO REMAIN.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE UNIFORM BUILDING CODE, THE AMERICANS WITH DISABILITIES ACT, AND ALL OTHER APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
- CONTRACTOR SHALL USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN THE LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
 - SHALL NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED, USING CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. USE HAND TOOLS OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES. TEMPORARILY COVER OPENINGS TO REMAIN.
 - SHALL CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES.
 - SHALL NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
 - SHALL MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
 - SHALL REMOVE DECAYED, TERMITE-INFESTED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OFF-SITE.
 - SHALL LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON STRUCTURES TO REMAIN.
- CLEAR THE SITE OF GRASS, WEED GROWTH, RUBBISH, DEBRIS, PAVEMENT, CONCRETE, INACTIVE OR ABANDONED FACILITIES (VERIFIED BY THE AGENCY), THAT ARE TO BE REMOVED FOR CONSTRUCTION OF THE SITE IMPROVEMENTS TO THE LIMITS AND DEPTHS SHOWN ON THE PLANS.
- ABANDONED UNDERGROUND FACILITIES (VERIFIED BY THE AGENCY), ROOTS THREE INCHES IN DIAMETER AND LARGER, AND ROCKS AND BROKEN MASONRY LARGER THAN 4 INCHES IN ANY DIMENSION SHALL BE REMOVED TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE.
- ALL DELETERIOUS MATERIALS WITHIN THE LIMITS OF THE WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, WHO SHALL MAKE ALL NECESSARY ARRANGEMENTS AND PAY ALL RELATED COSTS.
- CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM AT THE CONTRACTOR'S EXPENSE IN AN EPA-APPROVED LANDFILL AND:
 - SHALL NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
 - SHALL REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- CONTRACTOR SHALL NOT BURN DEMOLISHED MATERIALS.
- CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS AND RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE DEMOLITION OPERATIONS BEGAN.

NOTE TO CONTRACTOR:

- LOCATION OF EXISTING FACILITIES SHOWN HEREON ARE BASED ON THE EXISTING TOPOGRAPHIC SURVEY PERFORMED BY CIVTEC, INC., DATED JANUARY, 2021, FIELD OBSERVATION AND A SEARCH OF AVAILABLE RECORDS AND MAY NOT REPRESENT ACTUAL CONDITIONS.
- CONTRACTOR MUST FIELD LOCATE ALL UTILITIES (LOCATION AND DEPTH) WITHIN WORK AREA AS A FIRST ITEM OF WORK AND VERIFY PROPOSED DESIGN IS VALID.
- CONTRACTOR SHALL PROTECT IN PLACE THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITY LINES.
- CONTRACTOR TO VERIFY AND INFORM THE CITY OF ANY FACILITIES ENCOUNTERED IN THE FIELD WHICH IS NOT SHOWN ON THIS PLAN, OR DIFFERS IN LOCATION OR SIZE. PRIOR TO REMOVAL.
- THE CITY MAY IDENTIFY AND REMOVE ANY ITEMS THEY WISH TO RETAIN PRIOR TO THE CONTRACTOR MOVE IN.

***** NOTE TO CONTRACTOR:**

EXACT LOCATION OF EXISTING UNDERGROUND WATER AND SEWER LINES ON-SITE ARE UNKNOWN. CONTRACTOR SHALL:

- VERIFY LOCATION, SIZE, ELEVATIONS OF EXISTING WATER AND SEWER LINES AND VERIFY DESIGN AS A FIRST ITEM OF WORK. NOTIFY ENGINEER IMMEDIATELY OF ANY REQUIRED CHANGE IN DESIGN.
- IF WATER AND SEWER LINES ARE FOUND CONNECTING TO THE EXISTING BUILDING THAT ARE REMOVED DURING THE CONSTRUCTION OF THIS PROJECT (OR PIPES ARE DAMAGED OR REMOVED DURING CONSTRUCTION) THAT RUN OUTSIDE OF DEMOLITION LIMITS, NOTIFY ENGINEER IMMEDIATELY OF THE LOCATION AND SIZE TO INSURE CONTINUITY OF UTILITY UPSTREAM.



DEMOLITION NOTES

- REMOVE EXISTING TREE (COMPLETE) INCLUDING ROOT BALL AND DISPOSE - CONFIRM DISPOSITION PRIOR TO DEMO. WITH CITY AND LANDSCAPE ARCHITECT PLANS
- PROTECT EXISTING TREE IN PLACE - CONFIRM DISPOSITION PRIOR TO DEMO. WITH CITY AND LANDSCAPE ARCHITECT PLANS
- SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK OR PAD (COMPLETE) AND DISPOSE
- REMOVE EXIST. LANDSCAPING - SEE IRRIGATION PLANS FOR DISPOSITION OF IRRIG.
- PROTECT IN PLACE
- SAWCUT AND REMOVE EXISTING CURB & GUTTER (COMPLETE) AND DISPOSE
- EXISTING IRRIGATION UTILITY - SEE ELECTRICAL PLANS FOR DISPOSITION
- EXISTING ELEC. UTILITY - SEE ELECTRICAL PLANS FOR DISPOSITION
- EXISTING MISC. UTILITY - SEE ARCHITECT PLAN SET FOR DISPOSITION
- SAWCUT AND REMOVE EXISTING DRIVEWAY (COMPLETE) AND DISPOSE
- SAWCUT AND REMOVE EXISTING A.C. PAVEMENT SECTION (COMPLETE) AND DISPOSE
- SAWCUT AND REMOVE EXISTING STAIRS (COMPLETE) AND DISPOSE
- SAWCUT AND REMOVE EXISTING WALL (COMPLETE) AND DISPOSE - CONFIRM DISPOSITION PRIOR TO DEMO. WITH CITY AND ARCHITECT PLANS
- SAWCUT AND REMOVE EXISTING CURB (COMPLETE) AND DISPOSE

NOTE TO CONTRACTOR:

ALL UTILITIES SHOULD BE SHUT OFF AND CAPPED PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY PRIOR TO COMMENCEMENT OF WORK.

NOTE TO CONTRACTOR:

INSTALL 6-FOOT CHAIN LINK FENCE WITH WINDSCREEN AND GATES, WHERE NECESSARY, ALONG THE PERIMETER OF THE SITE AS NEEDED. CONTRACTOR SHALL PROTECT THESE FENCES AND KEEP AREA FULLY SECURE DURING DEMOLITION.

NOTE TO CONTRACTOR:

CONTRACTOR TO SCHEDULE A SITE WALK WITH THE CITY PRIOR TO START OF DEMOLITION TO VERIFY ALL ITEMS TO BE DEMOLISHED AND/OR SALVAGED.

UNDERGROUND SERVICE ALERT

CALL: 811

TWO WORKING DAYS BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
REVISIONS			



PREPARED BY:

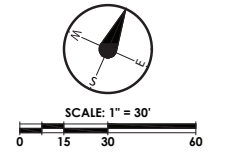
CIVTEC CIVIL ENGINEERING CONSULTING

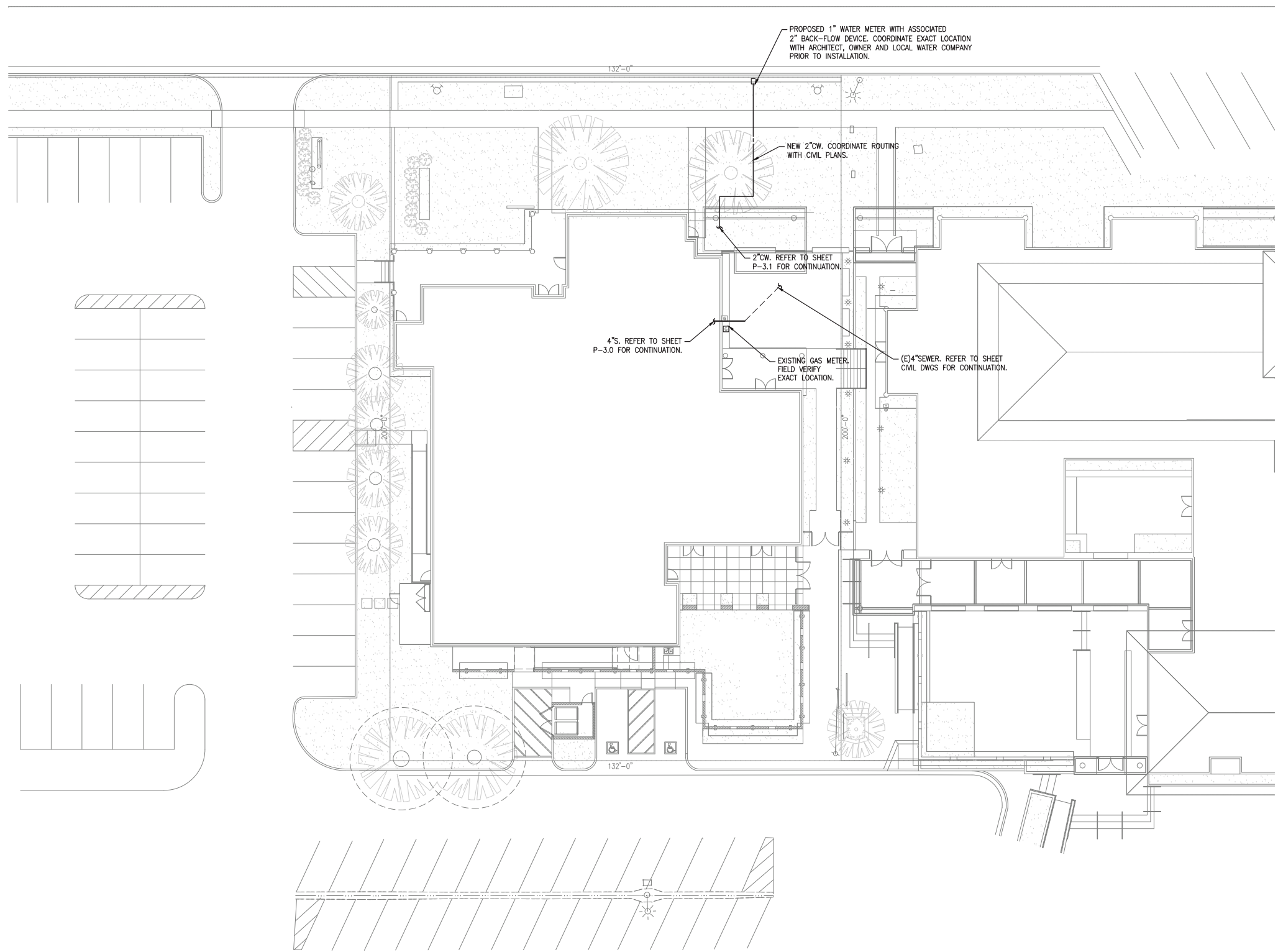
999 CORPORATE DR., SUITE 100
 LADERA RANCH, CA 92694
 P: 949.463.8822
 E: tec@civtec.net

THOMAS E. CARCELLI, R.C.E. #81640

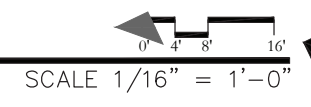
SCALE:	PER PLAN
DATE:	09/06/21
DRAWN BY:	STAFF
CHECKED BY:	TEC
PLOT DATE:	9/7/21

DEMOLITION PLAN SAN MARINO CENTER RENOVATION 1800 HUNTINGTON DRIVE SAN MARINO, CA	DRAWING NUMBER:	D-1.01
		SHEET 4 OF 9
		JN 116.05





PLUMBING SITE PLAN



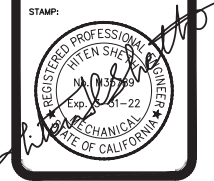
H2S Engineers Inc.
 Consulting MEP Engineers
 Anaheim, CA 92801
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 E-mail: mverma@h2sengineers.com

REVISIONS	BY
95% CONSTRUCTION SET 09-06-2021	

GRANE ARCHITECTURAL GROUP
 Innovations in Architecture
 110 E. WILSHIRE AVE., SUITE 300, 714/555-0363
 FULLERTON, CA 92832

PLUMBING
 SITE PLAN

PROJECT:
 BUILDING RENOVATION
 SAN MARINO CENTER
 1800 HUNTINGTON DRIVE
 SAN MARINO, CA 91108
 CITY OF SAN MARINO
 2200 HUNTINGTON DRIVE
 SAN MARINO, CA 91108



DRAWN	H.S.
CHECKED	H.S.
DATE	09/08/2021
SCALE	AS NOTED
JOB NO.	C20 -109
SHEET	

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