



County of Santa Cruz
Cannabis Licensing Office
701 Ocean Street, Room 520
Santa Cruz, CA 95060
831-454-3833

Cannabisinfo@santacruzcounty.us



CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Cannabis Licensing Office has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: License RDL2022-3

Assessor Parcel Number: 078-082-11

Project Location: 1515 Commercial Way, Santa Cruz 95065 (see attached map)

Project Description: Cannabis Retailer Relocation to existing (non-cannabis) retail store

Person or Agency Proposing Project: 3 Bros Midtown

Contact Phone Number: 818.422.5763

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **Categorical Exemption**

Specify type: Class 1: Use of existing facilities;



THIS NOTICE HAS BEEN POSTED AT THE CLERK
OF THE BOARD OF SUPERVISORS OFFICE FOR A
PERIOD COMMENCING 1/07/2022
AND ENDING 2/06/2022



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Class	Category	Description
Class 1	Existing Facilities	Consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. (Cal. Code Regs., tit. 14, §15301.)

F. Reasons why the project is exempt:

Existing retail building changing use to a cannabis retailer. This is an allowed use per Santa Cruz County code, once security upgrades are complete. Security upgrades are minimal in nature and qualify as a categorical exemption per class 1.

In addition, none of the conditions described in Section 15300.2 apply to this project.

DocuSigned by:


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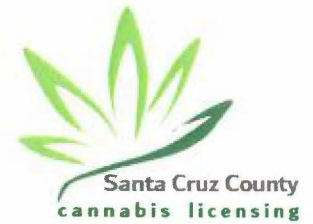
Date: 1/7/2022

Sam LoForti, Cannabis Licensing Manager

ATTACHMENTS: Site plan and map, project description preparation form



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CEQA PROJECT DESCRIPTION FORM

Lead Agency: County of Santa Cruz

Applicant Entity/Business Name: 3 Bros Midtown

License Type(s): Retailer

Date: 01/07/2022

1. Source(s) of Information:

Identify Sources: Retailer Amendment Application, Site Plans and Building Permits

2. Project Location:

Describe Project Location: 1515 Commercial Way, Santa Cruz 95065. Cross Streets are Commercial Way and Soquel Drive just north of Highway 1 adjacent to Dominican Hospital

Maps Included: Location Map and Redacted Site Plan included

3. Description of Project Site:

General Topographic Features (slopes and other features): Flat paved commercial lot

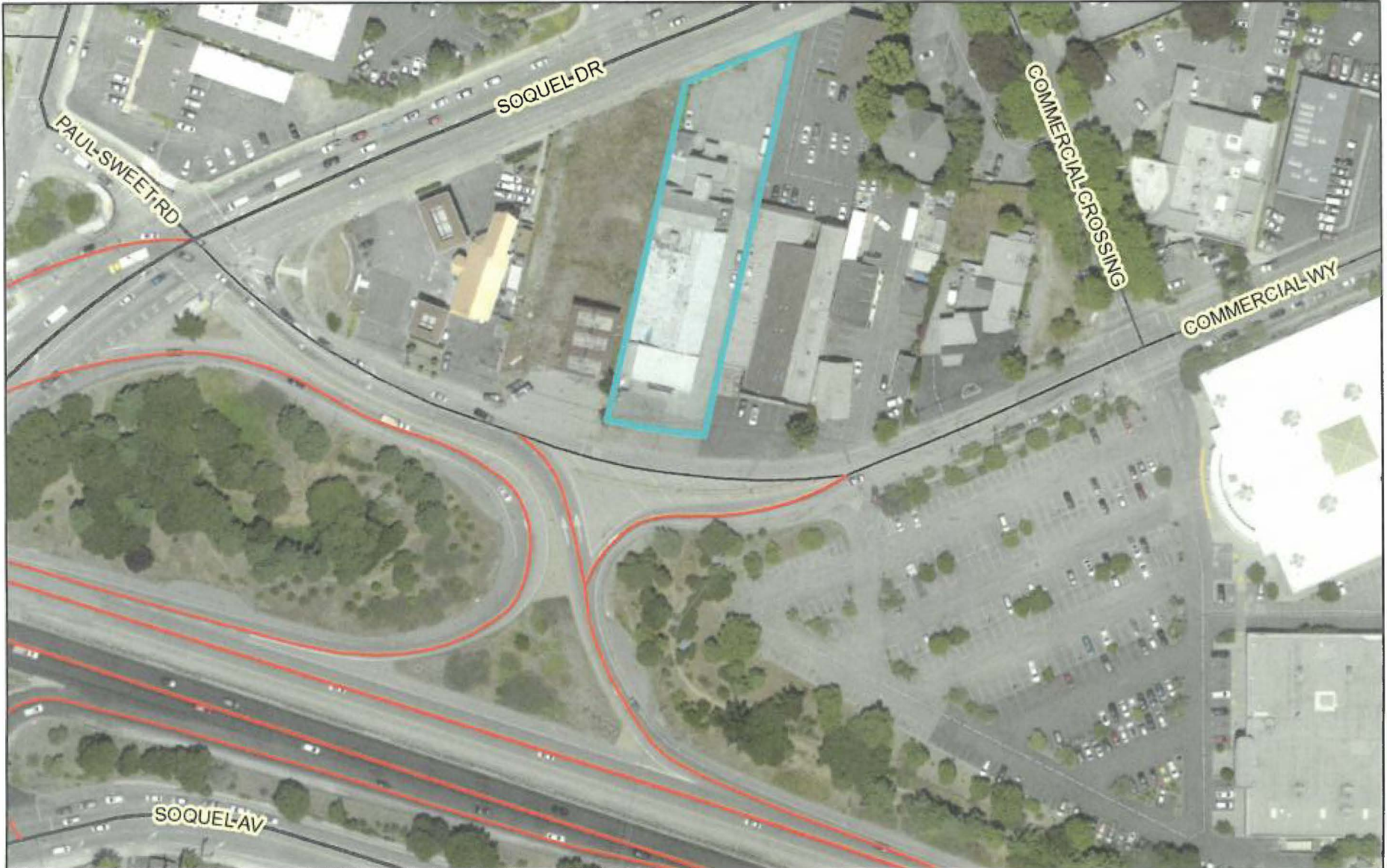
Natural Features (general vegetation types, presence of streams and wetlands, forested areas): None the site is completely hardscaped

Existing Land Uses/Zoning: Existing retail (furniture) store converted to a retail cannabis store. The zoning for this parcel is "Community Commercial", cannabis retail is an allowed use in this zone.

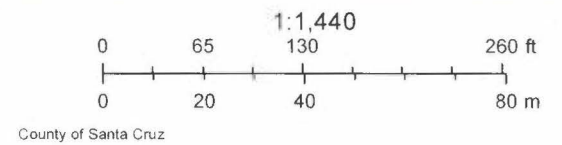
Existing Constructed Features (buildings, facilities, and other improvements): Existing retail store, renovations to the interior and exterior of the property to meet operational and security needs. No additional square footage.

Surrounding Land Uses (including sensitive uses): Surrounding parcels are mainly the same commercial zoning, south of the property is Highway 1, north of the property is Soquel Drive. North of Soquel Drive there are medical offices and Dominican hospital.

3 Bros Midtown



January 7, 2022

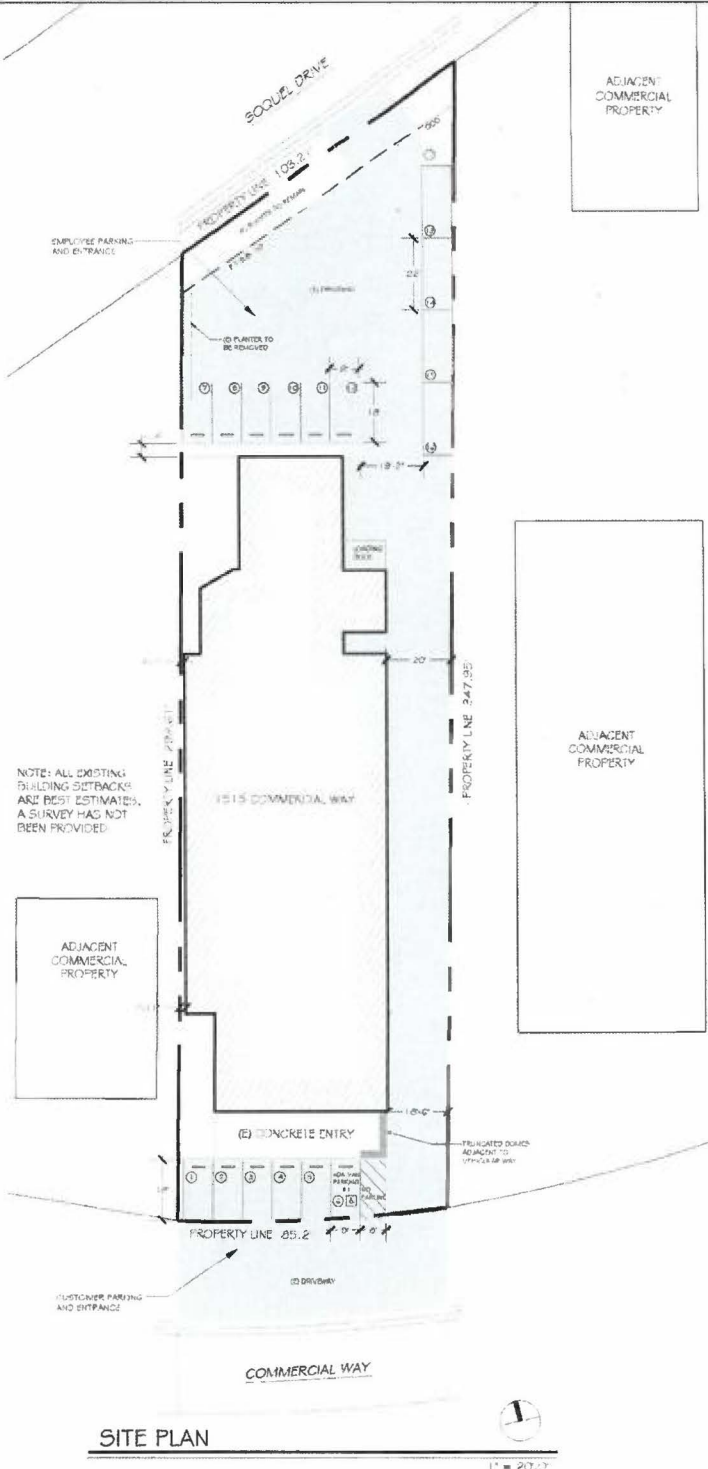
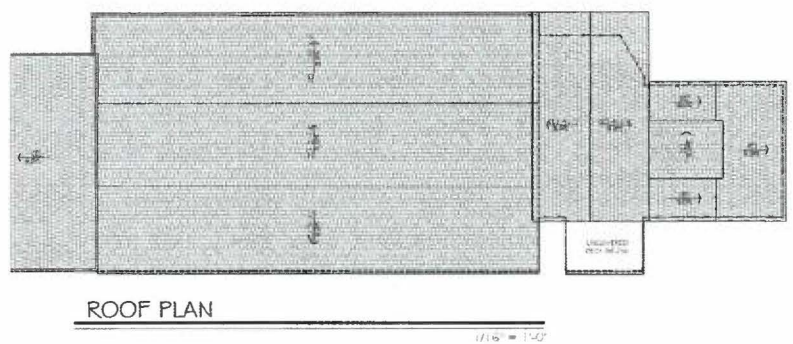


OCCUPANT LOAD CALCULATION					
ROOM NAME	OCC. GROUP	AREA (SQ. FT.)	O.C. FACTOR	NO. OF OCC.	ENTS. PROVIDED
A	M	3,079	1.00	308	@ 30% @ 7.2'
B	S	3,074	3.00	9,222	@ 30% @ 7.2'
		6,353		9,528	@ 30% @ 7.2'

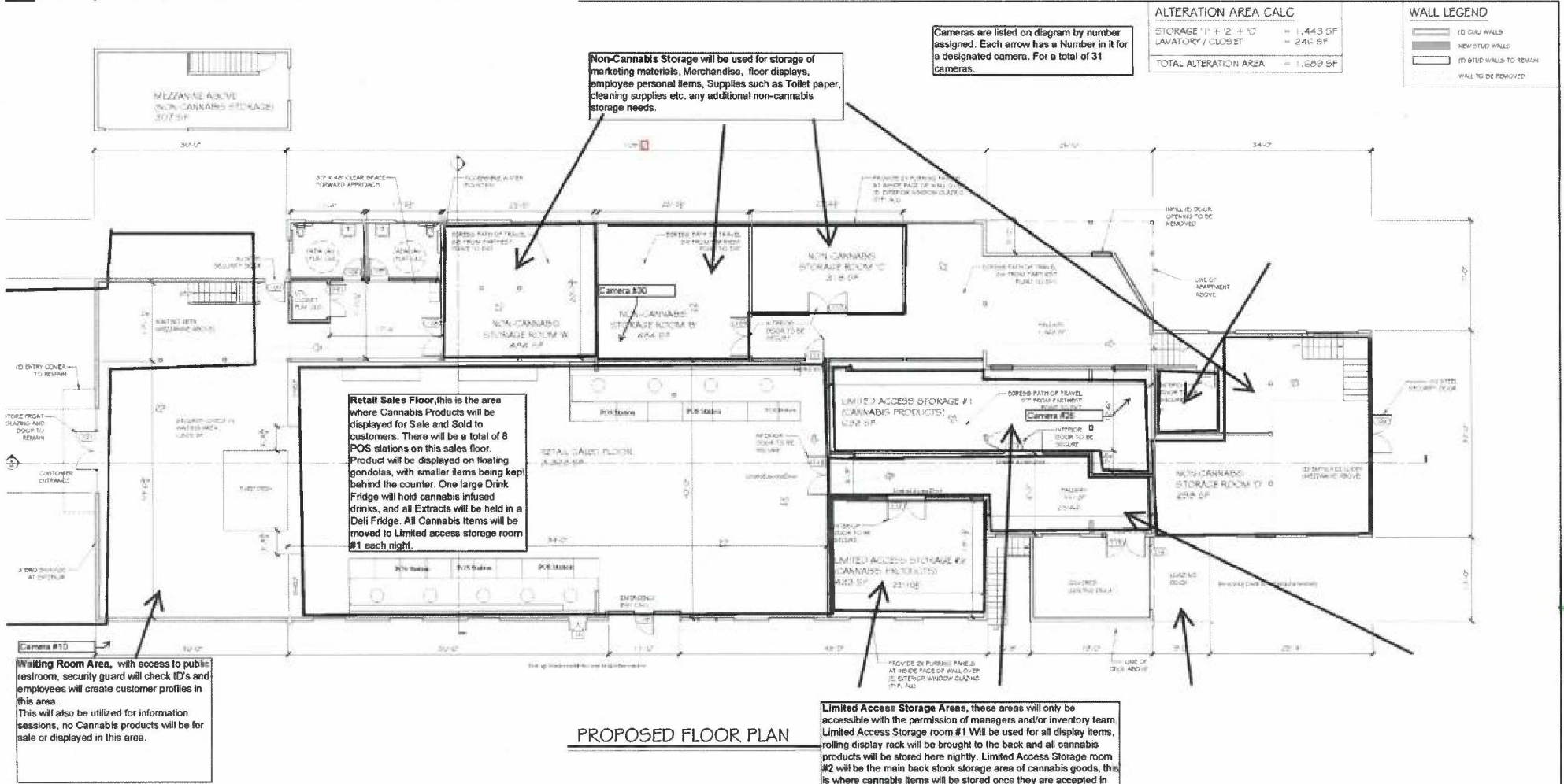
IT LOAD CALCULATION NOTES:
 JOINT LOAD FACTOR IS 0.8 PER UBC TABLE 1024.5
 TOTAL WIDTH OF AISLES SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD TO BE SERVED BY EACH AISLE MULTIPLIED BY 1.0 PER UBC TABLE 1024.5
 MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES: 120 (9 CBC TABLE 119-202.2)
 MINIMUM NUMBER OF REQUIRED ACCESSIBLE VEHICLE SPACES: 1 (2019 CBC TABLE 119-202.2)
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PARKING SPACES REQUIRED			
ROOM NAME	AREA (SQ. FT.)	FACTOR	NO. OF PARK. SPACES
RETAIL SALES	3,079	3.00	9,222
STORAGE AND DISTRIBUTION	3,074	1.00	3,074
RESIDENTIAL (SRM)			
TOTALS	6,353		12,296

SPACES REQUIRED (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) 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PROJECT SUMMARY	
PROJECT IDENTIFICTION:	TENANT IMPROVEMENT TO PORTIONS OF AN EXISTING WAREHOUSE BUILDING FOR THE PURPOSES OF CASH/AND-RETAIL SALES AND RESIDENTIAL. PROPOSED OCCUPANCY WILL RESULT IN 9,528 SQUARE FOOT RETAIL SPACE, 9,726 SQUARE FOOT COMMON SPACE, AND 9,016 SQUARE FOOT OF UNGLAZED STORAGE AREA. THERE EXISTS AN ADJACENT 1,700 SQUARE FOOT RESIDENTIAL APARTMENT (SRM) BA TO WHICH NO CHANGES ARE PROPOSED.
PROJECT OWNER:	ZBROS, INC. TYLER SMITH 1515 COMMERCIAL WAY SANTA CRUZ, CA 95065
PROJECT ADDRESS:	1515 COMMERCIAL WAY SANTA CRUZ, CALIFORNIA
PHONE:	025-071-05
PLANS:	C-2 COMMERCIAL RETAIL
GENERAL PLAN DESIGNATION:	C-2
OCCUPANCY GROUP:	M-9-1, R3
CONSTRUCTION TYPE:	R-2 UNPROTECTED COMBUSTIBLE (TYPE V-BUILD)
TOTAL AREA:	27,271 SQ. FT. (0.626 ACRES)
LEO COVERAGE:	16.1%
CODE REFERENCES:	ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES: 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS, 2019 CALIFORNIA ENERGY STANDARDS, AND THE SANTA CRUZ COUNTY CODE AMENDMENTS.
CONTACTS	
PROJECT OWNER:	ZBROS, INC. TYLER SMITH 1515 COMMERCIAL WAY SANTA CRUZ, CA 95065
STRUCTURAL ENGINEER:	REDWOOD ENGINEERING LEONARD HADJIS, P.E. 833 DEARBORN AVE SUITE 200 SANTA CRUZ, CA 95062 PH: (831) 455-8444 FAX: (831) 455-8446 leoh@redwoodengineering.net
MECHANICAL DESIGNER:	ARIEC SERVICE 175 AVONDALE WAY WATSONVILLE, CA 95076 PH: (831) 726-2000 LICENSE #911645
ELECTRICAL DESIGNER:	LUCY ELECTRIC MAURA O'CONNELL 3009 SOUTH ROCKWOOD GULCH SANTA CRUZ, CA 95062 C/O CA LICENSE #873262 831 / 294-0025
PLUMBING DESIGNER:	P. PLUMBING, INC. 1000 MEADOWCROFT RD. WATSONVILLE, CA 95076 831 / 824-4164 LICENSE #
SHEET INDEX	
01	TITLE SHEET - SITE PLAN
02	EXISTING / DEMO FLOOR PLAN
03	PROPOSED FLOOR PLAN
04	ELEVATIONS / SECTIONS
05	ADA
06	STRUCTURAL NOTES
07	FOUNDATION PLAN
08	ROOF / CEILING FRAMING PLAN
09	STRUCTURAL DETAILS
10	(S) ELECTRICAL PLAN
11	PROPOSED LIGHTING PLAN
12	PROPOSED ELECTRICAL PLAN
13	MECHANICAL ELECTRICAL PLAN
14	PROPOSED ELECTRICAL PANEL
15	TITLE 24 ENERGY ANALYSIS
16	MECHANICAL NOTES
17	MECHANICAL FLOOR PLAN
18	MECHANICAL ROOF PLAN
19	TITLE 24 MECHANICAL
20	PLUMBING NOTES & SCHEDULE
21	PROP. PLUMBING WASTE & VENT
22	PROP. PLUMBING WATER & GAS
23	PLUMBING DETAILS



Cameras are listed on diagram by number assigned. Each arrow has a Number in it for a designated camera. For a total of 31 cameras.

STORAGE '1' + '2' + '3'	= 1,443 SF
LAVATORY / CLOS ST	= 242 SF
TOTAL ALTERATION AREA	= 1,685 SF

[Line Style]	EXISTING WALLS
[Line Style]	NEW STUD WALLS
[Line Style]	EXISTING WALLS TO REMAIN
[Line Style]	WALL TO BE REMOVED

Retail Sales Floor, this is the area where Cannabis Products will be displayed for Sale and Sold to customers. There will be a total of 8 POS stations on this sales floor. Product will be displayed on floating gondolas, with smaller items being kept behind the counter. One large Drink Fridge will hold cannabis infused drinks, and all Extracts will be held in a Deli Fridge. All Cannabis items will be moved to Limited access storage room #1 each night.

Waiting Room Area, with access to public restroom. security guard will check ID's and employees will create customer profiles in this area. This will also be utilized for information sessions, no Cannabis products will be for sale or displayed in this area.

Limited Access Storage Areas, these areas will only be accessible with the permission of managers and/or inventory team. Limited Access Storage room #1 will be used for all display items, rolling display rack will be brought to the back and all cannabis products will be stored here nightly. Limited Access Storage room #2 will be the main back stock storage area of cannabis goods, this is where cannabis items will be stored once they are accepted in METRC. This room will also accommodate inventory staff and all receiving procedures.

All Records will be stored here. All money will be stored and counted in this area.

PROPOSED FLOOR PLAN

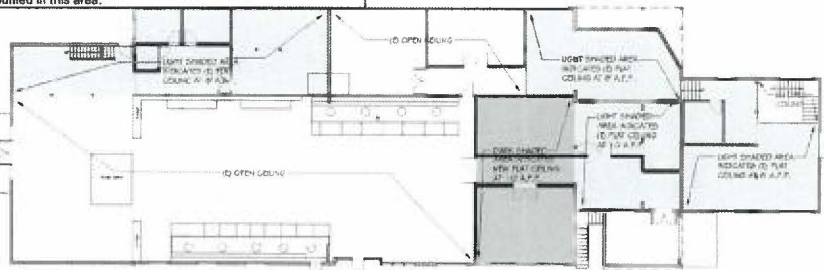
DOOR SCHEDULE

WIDTH X HEIGHT	INT / EXT	WALL TYPE	NOTES
0'-0" X 6'-0"	INT	1" CMU	TEMPERED GLASS DOOR WITH LEAF, RIGHT SWING FOR SCHEDULING
0'-0" X 6'-0"	EXT	2" CAS	REPLACE EX DOOR WITH REINFORCED PUSH BAR EXH DOOR - SECURITY
0'-0" X 6'-0"	EXT	2" CAS	REPLACE EX DOOR WITH REINFORCED SECURITY DOOR - EXTERIOR
0'-0" X 6'-0"	INT	2" CAS	REPLACE EX DOOR WITH REINFORCED SECURITY DOOR - EXTERIOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
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0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
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0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR
0'-0" X 6'-0"	INT	2" Y-4	SECURE DOOR

WINDOW SCHEDULE

NUMBER	WIDTH X HEIGHT	HEADER HEIGHT	NOTES
1	0'-0" X 6'-0"	0'-0"	NEW SECURITY ENHANCED PART OF WINDOW

ADDITIONAL NOTES:
 1. WINDOW AND DOOR SIZES ARE NOMINAL VERIFY EXISTING OPENING SIZE WITH MANUFACTURER
 2. VERIFY MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES, MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES, AND HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 1/4 INCHES ABOVE THE FLOOR.
 3. PROVIDE TEMPERED GLASS AT AREAS OF GLASS WITHIN 18" OF FINISH FLOOR AND ALL SKYLIGHTS.
 4. PROVIDE TEMPERED GLAZING WITHIN A 24" ARC OF A DOOR.
 5. IF RCC LABLES MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER INSULATION INSPECTION IS COMPLETED.
 6. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER PRIOR TO PLACING ORDER.
 7. ALL EXTERIOR NEW AND EXISTING WINDOWS TO BE LAMINATED SECURITY GLAZING PRODUCT SAFETY 9960 BY 24x36x3/16 (PG 1) ALL EXTERIOR NEW AND EXISTING WINDOW TO BE NON-TINTED, NON-REFLECTIVE SECURITY PRODUCT.



REFLECTED CEILING PLAN

1. VERIFY ALL ROUGH OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO PLACING ORDER.
 2. VERIFY SWING DIRECTIONS WITH FLOOR PLANS PRIOR TO PLACING ORDER.
 3. DO NOT REMAIN ATTACHED TO THE GLAZING UNTIL AFTER FINAL INSPECTION IS COMPLETED.
 4. IS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PUNCHING, OR TWISTING FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS FORCE MAX. (ICC 110.305.4. OPERABLE USE SHALL BE 3/4" MIN. AND 4 1/4" MAX. ABOVE THE FINISH FLOOR OR GROUND. (ICC 110.404.2.7))
 5. AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME AS THE DOOR TO A POSITION OF 12 DEGREES FROM THE OPEN IS 5 SECONDS MAX. (ICC 110.404.2.8)

REFLECTED CEILING PLAN

1/16" = 1'-0"