



**ARAGON WEST DISTRICT REGULATIONS**  
**WALNUT VILLAGE SPECIFIC PLAN**  
**CITY OF FONTANA**



# ARAGON WEST DISTRICT REGULATIONS

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## SECTION I. PURPOSE AND INTENT

The purpose of the Aragon West District Regulations is to provide for the orderly development of a residential community within the Aragon West District of the Walnut Village Specific Plan. The Aragon West District Regulations establish the use and development regulations for future development projects within the Aragon West District.

out the community. New development roadways within the Aragon West District shall connect to existing adjacent roadways in order to reduce the need for construction of additional arterial and major roadway extensions or improvements to serve development within the Aragon West District.

These regulations are intended to provide a comprehensive planning framework for development of a new residential project within the Aragon West



The Aragon West District Regulations (regulations) are intended to promote the development of a community offering a sense of place for residents through distinctive architectural design, enhanced entry and landscape treatments, common area open space, and provision of a pedestrian friendly and bicycle friendly street system where neighbors can visit with one another while walking through-

District, at a maximum density of 17.0 dwelling units per acre, as well as common open space areas and infrastructure improvements. These regulations are intended to promote development of a cohesive residential community through requirements governing comprehensive land use planning, landscape standards, residential standards, and residential architectural design guidelines.

## SECTION 2. LAND USE

### 2.1 SETTING

The Aragon West District is located within an urbanized area of the City surrounded by established residential and commercial land uses. Regional access is provided by the 210 Foothill Freeway, with on and off ramps located within one quarter mile at Sierra Avenue. Local access is provided by South Highland Avenue adjacent to the Aragon West District on the north and northwest and by Mango Avenue adjacent on the east.

Single family residential uses are located to the south and east. The Highland Village Shopping Mall is located immediately to the north and northwest offering community commercial retail stores and services. Additional community level commercial uses and medical facilities are located north of the Aragon West District and the 210 Foothill Freeway within one quarter mile. Wayne Rubel Middle School and A.B. Miller High School are located to the west within one half mile.

### 2.2 LAND USE AND CIRCULATION

#### 2.2.1 RESIDENTIAL

The Aragon West District allows for development of residential dwelling units at a maximum density of 17.0 dwelling units per acre. Residential land use areas shall incorporate a variety of building types with a cohesive design character.

#### 2.2.3 OPEN SPACE

Provision of common area open space to serve residential development is required as part of any new development project and shall be designed to provide residents with an inviting environment for active recreation and informal gathering.

Common area open space as part of development of the Aragon West District shall be provided through the following means:

- A central active open space area to be improved with amenities such as a children's play area, picnic facilities, shade trellis, and park furnishings to include bicycle racks, drinking fountains, and trash receptacles.
- Pocket park areas located throughout the development accessible from sidewalks and streets.

#### 2.2.4 CIRCULATION

Vehicular access to the Aragon West District is provided from South Highland Avenue and Mango Avenue. Internal local streets serving a new development shall connect to one, or both, of these two existing roadways. Internal local streets within Aragon West shall provide for adequate vehicular flow and access to adjacent public arterials. Streets shall be designed to promote a pedestrian friendly environment and bicycle accessibility. Local streets to serve new development within the Aragon West District shall have a minimum width of 26 feet of travel lanes with rolled curbs and sidewalks on each side of the street.

## SECTION 2. LAND USE

### **2.3 PEDESTRIAN AND BICYCLE MOBILITY**

The proximity of the Aragon West District within walking and biking distance to existing recreational and commercial facilities can help to reduce automobile trips to and from any development project within Aragon West. Local internal streets shall be designed with off-street pedestrian and on-street bicycle connectivity to Mango Avenue adjacent to the District on the east and the Mango Avenue Linear Park. From the Mango Avenue Linear Park pedestrians and bicyclists can connect to Cambria Park, located within a quarter of a mile east.

Commercial services are located within walking and biking distance from Aragon West along South Highland Avenue in the Highland Village Shopping Mall. This commercial center offers community serving retail uses including a supermarket, restaurants, and personal services.

Provision of landscaped sidewalks and landscaped interior pedestrian walkways shall be required as part of any new development. Sidewalks shall be designed to provide pedestrian connectivity throughout the development to existing sidewalks within public streets adjacent to the Aragon West District. Interior street systems shall be designed to allow for on-street bicycle mobility providing bicycle connectivity within the development and to existing adjacent public streets.

### SECTION 3. DEVELOPMENT REGULATIONS

#### 3.1 INTRODUCTION

The regulations contained herein shall regulate design and development within Aragon West. These regulations establish the minimum standards and requirements for development of residential uses, common area open space, landscaping, fences, walls, signage, and lighting.

#### 3.2 DEFINITION OF TERMS

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in the Zoning Code Chapter 30, Section 30-11 "List of Definitions," unless otherwise specifically provided for herein.

##### 3.2.1 DEFINITIONS

**Density** means the number of dwelling units, or housing structures per net acre of land.

**Net acre** means the gross acreage of land less public right of way dedications.

**Residential Patio** means a private exterior walled courtyard, covered or uncovered, adjacent to the front building wall of a residential dwelling unit.

#### 3.3 APPLICABILITY

These regulations serve to implement the City's General Plan and establish general site development requirements, development standards for residential land use, open space, and landscaping and establish the development review require-

ments for projects. Application of these regulations is intended to encourage the most appropriate use of the land, ensure the highest quality of development, and protect the public health, safety, and general welfare. Whenever the provisions and development standards contained herein conflict with those contained in the Zoning Code, the provisions of these regulations shall take precedence. Where these regulations are silent, the Zoning Code shall apply.

#### 3.4 GENERAL SITE DEVELOPMENT STANDARDS

The following general site development standards shall apply to all development within the Aragon West District.

- a. Maximum Residential Density - A maximum of 17.0 residential dwelling units per acre is permitted.
- b. Common Area Open Space - A minimum of five percent (5%) of the total net site area within the Aragon West District shall be provided as common area open space as part of any residential development. Common area open space shall be designed to provide residents with an inviting environment for active recreation and informal gathering and include the following:
  - 1) A central active open space area to be improved with amenities such as children's play area, picnic facilities, shade trellis, and park furnishings to include bicycle racks, drinking fountains, and trash receptacles.
  - 2) Pocket park areas located throughout the development accessible from sidewalks and streets.

## SECTION 3. DEVELOPMENT REGULATIONS

- c. Grading - Grading techniques as approved by the City of Fontana shall be utilized.
- d. Building Modification - Additions and/or alterations to permitted structures shall match the architectural style of the primary structure and shall be constructed of the same materials, details, and colors as the primary structure.

### 3.5 GREEN AND SUSTAINABLE DEVELOPMENT STANDARDS

The following green and sustainable development standards shall apply to development within Aragon West.

- a. All homes shall be capable of being equipped with modern telecommunications technology for computer internet access, phone, fax, and television. Fiber optics cable shall be installed to all the properties if available from the utility provider.
- b. All homes shall be constructed to meet or exceed the California Building Code Title 24 energy standard. Energy efficient design techniques include, but are not limited to, the following:
  - 1) Increased insulation to minimize heat transfer and thermal bridging.
  - 2) Roofs designed to accommodate solar energy systems.
  - 3) Heating and cooling distribution systems that limit air leakage throughout the structure to minimize energy consumption.
  - 4) Installation of ENERGY STAR or better rated windows, space heating and cooling equipment, light fixtures, appliances, and other applicable electrical equipment.
  - 5) Installation of efficient lighting and lighting control systems and a building design which utilizes daylight as an integral part of the lighting system.
  - 6) Installation of cool roofs and cool pavements.

- 7) Installation of solar light-emitting diodes (LEDs) for outdoor lighting or low-level lighting.
- 8) Builder-installed indoor appliances, including dishwashers, showers, and toilets, shall be low-water use in compliance with the adopted California Building Code.
- 9) Solid Waste/Recycling facilities shall comply with City of Fontana requirements for the provision and placement of solid waste and recycling receptacles.
- c. Drought-tolerant and/or native landscaping materials shall be used in all public and common areas to reduce water consumption.
- d. Smart Controller irrigation systems shall be installed in all public and common area landscaping.
- e. Landscape areas shall be designed on a "hydro zone" basis to group plants according to their water and sun requirements.
- f. Landscape and irrigation plans shall conform with the requirements of the City of Fontana Landscape and Water Conservation Ordinance (Chapter 28, Article IV, Sections 28-91 through 28-115, FMC).

### 3.6 PERMITTED USES AND STRUCTURES

The following uses and structures are permitted "by right" subject to approval by the City of Fontana Design Review pursuant to Zoning Code Division 11, "Design Review, Amendment, and Modification." Any proposed use not specifically listed is not permitted unless the Director of Community Development finds that the proposed use is equivalent to a listed permitted use and is permitted pursuant to the procedures established in Zoning Code Division 15, "Director's Determination."

- a. Residential multifamily dwellings.

- b. Residential attached patios, patio walls, and patio covers.
- c. Recreational buildings, greenbelts, and/or common area open space.
- d. Swimming pools, trellises, spas, sports courts, and other recreational facilities.
- e. Cottage Food Operations and Home occupations pursuant to regulations established per the Fontana Zoning Code, Division 19, "Home Occupation Permit and Cottage Food Operation."
- f. Model home and subdivision sales trailers, temporary construction parking, offices and facilities, real estate signs, signage indicating future development and directional signage pursuant to FMC Section 30-255 (b), which allows for applications for model homes to be approved by the City as part of Design Review per Fontana Zoning Code Division 11, "Design Review, Amendment, and Modification" (Design Review)."

### 3.7 RESIDENTIAL DEVELOPMENT STANDARDS

Residential uses are subject to the development standards contained in Table 3.1 "Residential Development Standards."



## SECTION 3. DEVELOPMENT REGULATIONS

Table 3.1 Residential Development Standards

Lot Criteria	
Minimum Lot Area in Gross Acres	6.0 acres
Maximum Density	17.0 du/ac
Minimum Building Setbacks <sup>(1)</sup> <sup>(2)</sup>	
From South Highland Avenue	20'
From Mango Avenue	20'
From Southerly Property Line Living Area	20'
Patio Wall	15'
Lot Coverage	
Max. Coverage as a Percentage of Net Lot Area	60% <sup>(3)</sup>
Floor Area Ratio	
Max. all Structures	80%
Maximum Building Height	
Residential Structures	35'
Minimum Building Separation	
Side to Side	12'
Front to Front	27'
Rear to Rear	30'
Front to Side	20'
Side to Rear	30'
Walls, Fences and Hedges, Open Space and Landscaping	
Maximum Height at Interior or Rear Property Line Except Retaining Walls <sup>(4)</sup>	6'
Maximum Height of Perimeter Walls and Fences	6'
Maximum Height of Retaining Walls at Boundary	6'
Maximum Height of Retaining Walls Between Lots and Within Boundary	6'
Minimum Common Area Open Space as a Percentage Net Lot Area	5%
Minimum Private Open Space - Square Feet Per Unit	100 SF
Minimum Landscaping Total Net Site Area	15%
Parking	
Min. Number of Parking Spaces Required <sup>(5)</sup>	Per FMC Section 30.365, Specific Uses

Footnotes:

(1) Architectural projections and cantilevers may project a maximum of 3 feet into required setback areas measured from the foundation to the roof plate; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements.

(2) All setbacks measured from PL unless noted otherwise.

(3) A maximum of 5% deviation over the maximum allowable lot coverage is permitted.

(4) Refer to Section 3.10.2 (Fence and Wall Standards).

(5) All enclosed parking spaces within a garage shall be a minimum clear dimension of 20' x 20' for two spaces and 10' x 20' for single spaces. All open parking spaces shall be a minimum dimension of 9' x 19' and shall be double striped.

### 3.8 COMMON AREA OPEN SPACE DEVELOPMENT STANDARDS

Common open space areas shall comply with the following requirements.

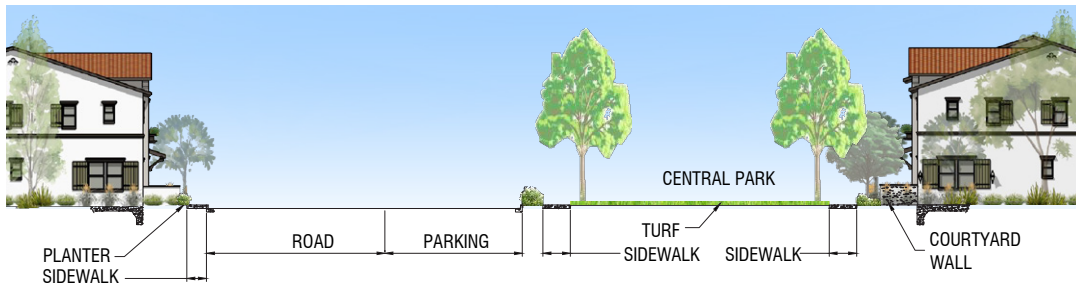
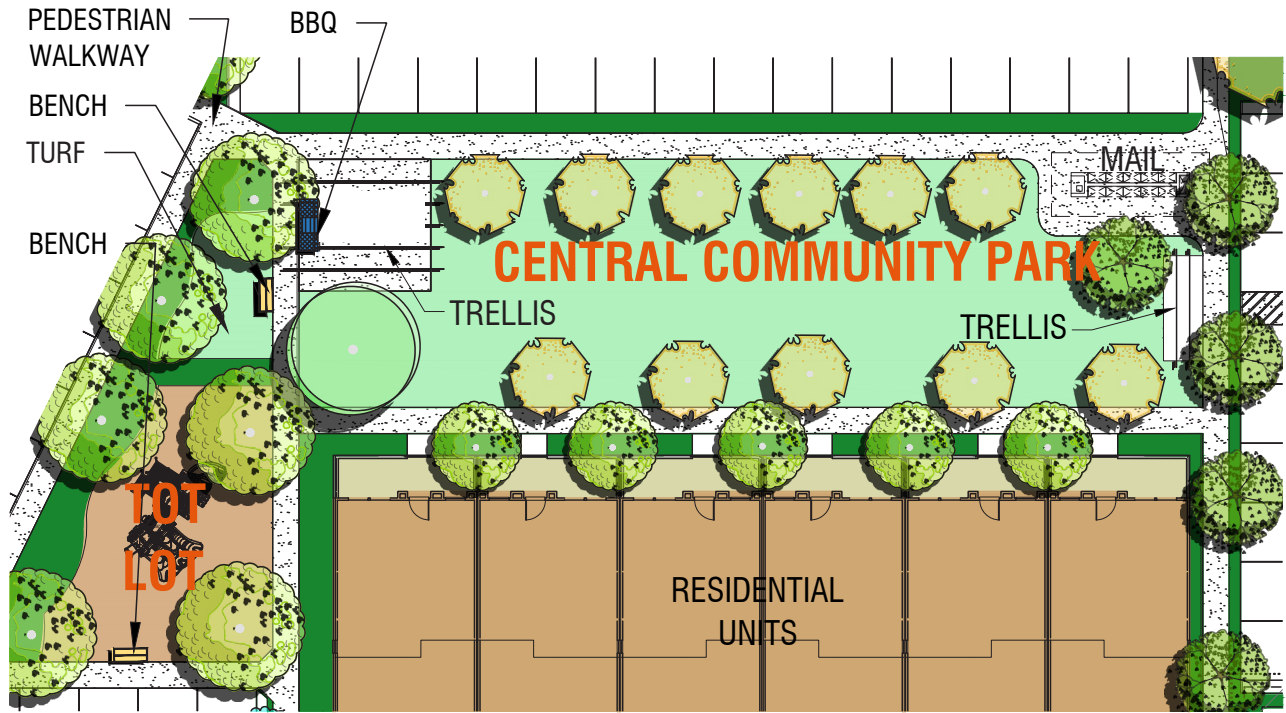
- a. The central active open space area shall be a minimum of 0.15 acres and improved with the following types of facilities.
  - 1) Trellis.
  - 2) Park furniture including benches and picnic tables.
  - 3) Trash receptacles.
  - 4) Drinking fountains.
  - 4) Children’s play area and tot lot.
- b. Pocket park open space areas shall be located throughout the development and constitute a minimum total area of 0.20 acres. Improvements required within pocket parks include park furnishings and trash receptacles.
- c. Common area open space improvements shall be approved by the City as part of Design Review.

Figures 1 and 2 illustrate concepts for a central active open space area.

Figures 3-6 illustrate the concepts for pocket parks.



**SECTION 3. DEVELOPMENT REGULATIONS**



**Figure 1. Central Park Concept Plan**



**Figure 2. Central Park Concept**



Figure 3. Pocket Park A



Figure 4. Pocket Park B



Figure 5. Pocket Park C



Figure 6. Pocket Park D

## SECTION 3. DEVELOPMENT REGULATIONS

### 3.9 LANDSCAPING, FENCING, AND WALLS

All landscape and irrigation plans for streetscapes and common area open space including graphic designs with regard to neighborhood identity, entry monuments, fencing and walls shall conform to the regulations set forth herein and shall be subject to review and approval by the City at the time of Design Review. The form and content of landscape plans for streets, common area open space,

and other common areas shall conform to the requirements of the City's Design Review application requirements. The conceptual plan for landscaping of any new development within the Aragon West District is illustrated in Figure 7.



### 3.9.1 LANDSCAPE AND IRRIGATION STANDARDS

#### 3.9.1.1 GENERAL

- a. A minimum of fifteen percent (15%) of the total net site area within Aragon West shall be landscaped.
- b. The design and improvement of all landscape and irrigation plans shall be reviewed and approved by the City at the time of Design Review.
- c. Landscape streetscape improvements for streets and entries within Aragon West shall be of uniform and harmonious design responding to the nature of the development project, the site, and the surrounding conditions.
- d. Within open parking areas of a development, a minimum of one 24 inch box tree shall be provided for each four open parking spaces. Trees shall be located adjacent to the parking area and may be clustered, or grouped, in order to maximize shading of a parking area.
- e. Street landscape materials shall include a mix of trees, shrubs, vines, and groundcover. All landscape elements shall be compatible with respect to irrigation requirements and the scale of adjacent architecture and surrounding space.
- f. All landscaping shall be designed on a "hydro zone" basis to group plants according to their water and sun requirements.
- g. Landscape and irrigation plans shall conform with the requirements of the City of Fontana Landscape and Water Conservation Ordinance (Chapter 28, Article IV, Sections 28-91 through 28-115, FMC).
- h. Installation of landscaping and automatic irrigation within the common area landscaping shall be provided by the home builder and maintained in a healthy condition at all times by a private homeowner association.
- i. All manufactured and cut/fill slopes exceeding three (3) feet in height shall be planted with an effective mixture of ground cover, shrubs, and trees installed by the developer. Such slopes shall also be irrigated as necessary to comply with any requirements established by the City.
- j. Landscaping and automatic irrigation systems within the public rights-of-way and private common areas shall be installed by the developer.
- k. Street trees shall be a minimum size of 15 gallon.

#### 3.9.1.2 STREETScape LANDSCAPING

- a. Streetscape landscaping for arterial streets adjacent to the Aragon West District shall be landscaped as part of development of the Aragon West site. The streetscape for these roadways and the landscaping area shall be consistent in character and incorporate the following:
  - Use of large specimen parkway trees (minimum 15 gallon ) within the right of way of each adjacent roadway.
  - Use of a variety of accent trees and shrub masses planted in a series of layers, (foreground, mid ground, background) within the parkways and the landscaping area combining foliage textures and color.
- b. Interior streets within a development project shall be designed to help to promote pedestrian circulation within the community. Streets shall be designed to provide a clear delineation between pedestrian and vehicular travel areas.

# SECTION 3. DEVELOPMENT REGULATIONS

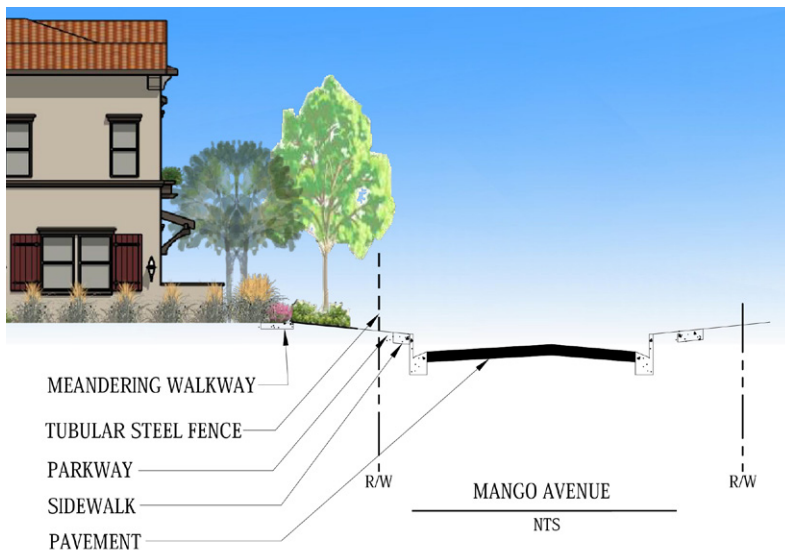
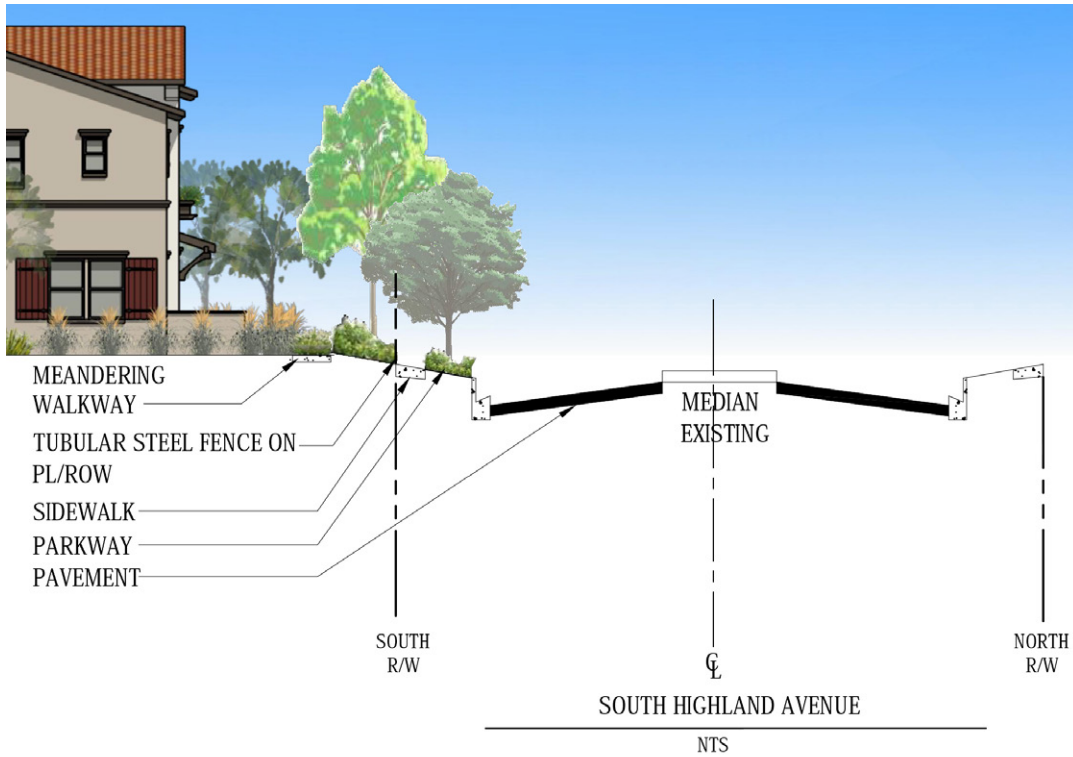


Figure 8. Streetscape Illustrations

### 3.9.1.3 LANDSCAPED INTERIOR WALKWAYS

- a. Interior walkways within all development projects shall be designed to connect pedestrians with street adjacent sidewalks. The landscape treatment for interior walkways shall be uniform in design and consistent in character.
- b. Landscaping of interior walkways shall incorporate the following:
  - 1) Use of shrubs, low groundcovers, and “California Friendly” ornamental grasses whenever possible to reduce maintenance and conserve resources.
  - 2) Use of informal plantings of trees, shrubs, groundcovers, and grasses. Uniformed spacing of trees is avoided in order to create an interesting and inviting pedestrian experience.
  - 3) Landscape treatments of each walkway area shall be consistent throughout the length of the walkway.
  - 4) Landscape treatments shall generally utilize street trees planted at intervals of 50 feet on center as feasible.
  - 5) Trees shall be placed a minimum of eight feet from any light standard.
  - 6) Walkway tree planting shall generally utilize one or two primary species for each street with a limited number of additional species to be used as accent planting.

### 3.9.1.4 ENTRIES

Entries to development projects shall be landscaped and improved utilizing a blend of hardscape and planting elements that form the first impression to visitors and residents entering the community and shall incorporate the following elements:

- a. Use of large specimen canopy trees to anchor each side of the entry drive and enhanced paving at the entry drive.
- b. A maximum 5 foot high entry monument wall incorporating the community identity sign, and pilasters with block caps on each side with architectural detailing to match the monument wall.
- c. Use of the same tree specimens as used in the adjacent arterial roadway right of way landscaping.
- d. Use of a variety of accent trees and shrub masses planted in a series of layers, (foreground, mid ground, background at the entry) to help define borders and plant groupings while combining interesting foliage textures and color.
- e. Accent lighting which provides a soft wash of light across the sign for landscape and monumentation.
- f. Varying width landscape buffer areas located where residential building side elevations abut the entry.



**SECTION 3. DEVELOPMENT REGULATIONS**



**Figure 9. Interior Walkways Illustration**

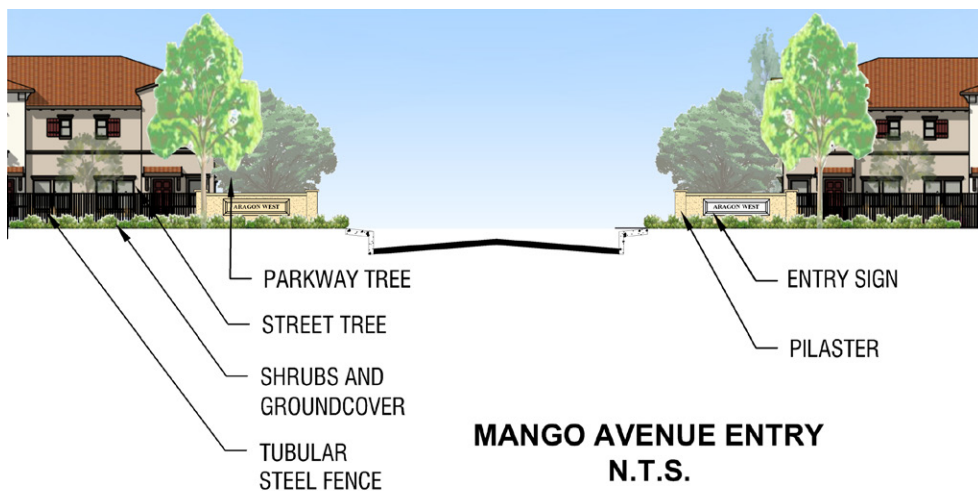


Figure 10. Entry Illustrations

## SECTION 3. DEVELOPMENT REGULATIONS

### 3.9.2 FENCES AND WALLS

Fences and walls within the Aragon West District shall comply with the following requirements:

- a. Freestanding, decorative monument walls and fencing shall be provided within and at the perimeter of the Aragon West District. Such walls and fences shall be constructed concurrently with the construction of improvements required for development of any development project.
- b. Perimeter walls and fencing shall not exceed 6 feet in height from highest finished grade.
- c. Pilasters shall be installed at 50 foot intervals along the length of a perimeter wall or fence.
- d. All perimeter wall and fence materials shall be of uniform manufacture with colors specified for the overall design theme.
- e. Retaining walls along the site perimeter shall not exceed 6 feet in height.
- f. If required for sound attenuation, perimeter walls may exceed 6 feet in height from highest finished grade, subject to the recommendations of an acoustical study as approved by the Director of Community Development.
- g. Interior site walls and fencing shall not exceed 6 feet in height from highest adjacent finished grade.
- h. Interior retaining walls in public view shall not exceed 6 feet in height from highest adjacent finished grade.

### 3.10 SIGNS

All signs within Aragon West shall be submitted for review and approved by the City subject to approval of Design Review pursuant to Zoning Code Division 11, "Design Review, Amendment, and Modification."

### 3.11 LIGHTING

Lighting shall comply with the following requirements:

- a. No light glare incidental to any use shall be visible beyond any boundary line of the Aragon West District.
- b. Residential fixtures shall be decorative, uniform and unobtrusive and should match the design of the building to which they are attached. Shielded fixtures are required to prevent glare and to shield lighting source from adjacent residential areas.
- c. Public streetlights installed along adjacent arterial roadways shall be LED.
- d. Private street lighting shall conform to the City's requirements for street lighting and the lighting design criteria approved by the City as part of Design Review for any new development.
- e. Private street lighting fixtures shall be on sensors for automatic nighttime lighting. Style and specifications for all street lights shall be approved by the City as part of Design Review.
- f. Private street lights shall be decorative and include shielding devices for "dark sky" purposes and shall direct or reflect light downward.
- g. Lighting within common area open space shall be approved by the City as part of the City's Design Review of these facilities.

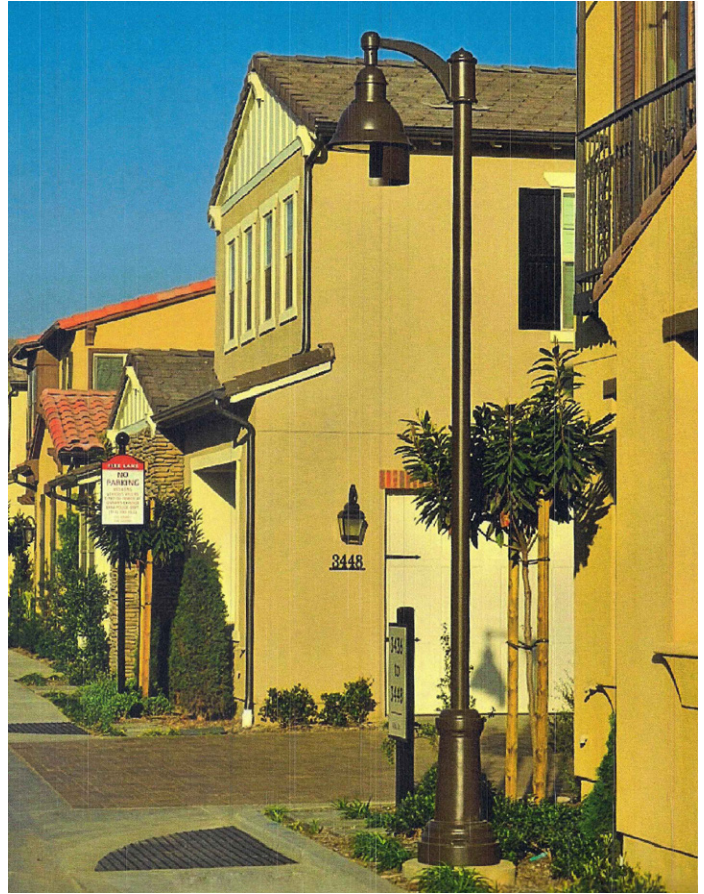


Figure 11. Lighting Illustration

## SECTION 3. DEVELOPMENT REGULATIONS

### 3.12 DEVELOPMENT PROJECT REVIEW

All development within the Aragon West District is subject to the following Fontana Zoning Code requirements for new development and shall comply with all local building and fire codes in effect at the time of development review.

#### 3.12.1 SUBDIVISION MAPS

Approval of subdivision maps shall be required for new development projects. Tentative and Final Subdivision Maps shall be reviewed and approved pursuant to applicable provisions of the City of Fontana Zoning Code, Division 21, "Mapping, Tentative Parcel Map, Tentative Tract Map and Lot Line Adjustment."

### 3.4.2 SITE PLAN AND DESIGN REVIEW

All development shall be subject to the provisions of Design Review pursuant to the City of Fontana Zoning Code Division 11, "Design Review, Amendment, and Modification." Pursuant to these provisions, the design review process constitutes a review and approval of project site plans, architecture, and landscape plans. The design review application for any project shall include a landscape and irrigation plan describing plant materials and their growth habits, plant size and spacing, methods of irrigation and landscaping maintenance; a comprehensive site plan of development including the distribution of land use, lot layout, detailed site plan for common area open space and residential plot plan, architectural elevations and floor plans, grading plans and other requirements as specified by the City.

## SECTION 4. ARCHITECTURAL DESIGN GUIDELINES

### 4.1 PURPOSE AND INTENT

The Architectural Design Guidelines establish architectural design principles and requirements for residential development within the Aragon West District. These design guidelines provide the foundation for the design and construction of an aesthetically unified residential development, responding to the existing surrounding area by addressing the following design objectives.

- To provide the necessary assurances that a quality of character for residential development will be implemented.
- To provide design criteria to developers, builders, engineers, architects, landscape architects and other professionals to ensure the desired design quality is achieved.
- To provide development criteria to guide development as an attractive and distinctive community that blends with and responds to the character and design fabric of the surrounding existing community.

### 4.2 ARCHITECTURAL DESIGN

The residential architecture represented in these design guidelines is of a Spanish influenced design reflecting the Spanish architectural style that echoes the classic architecture of the Southern California region. Spanish style architecture is a style that evolved from the architecture of the early Spanish colonies of North and South America, retaining the forms and textures of its cultural origin and updated to fit a more modern context. This regional expression combines the basic forms of traditional Spanish and Mexican architecture with local styles prevalent at the time, such as Mission and Arts and Crafts to create an architecture with a fine sense of detailing and a rich palette of materials. This style can borrow from both the hacienda and bungalow and can be represented in a variety of interpretations as seen throughout the Southland. Some distinguishing features of this historic style include plaster walls, low-pitched clay tile roofs and use of decorative metal accents. Decorative tile, terra cotta pavers, finials and wood decks or balconies are also employed to add color, texture, and accent to this Southern California aesthetic.

The following elements should be incorporated into residential design to break up building mass and create a varied street scene.

- A variety of building types including triplex, fourplex, fiveplex, and sixplex floor plans.
- Variation of the building plane to include pop outs, porches, pot shelves and patios.
- Roof plans which incorporate varying designs.

## SECTION 4. ARCHITECTURAL DESIGN GUIDELINES

### 4.6.2 SPANISH STYLE ELEMENTS

The following elements define the Spanish architectural style.

**Table 4.1 Spanish Style Elements**

Elements	Minimum Standards	Encouraged Enhancements
<b>Form</b>	<ul style="list-style-type: none"> <li>Asymmetrical, one and two-story volumes</li> </ul>	<ul style="list-style-type: none"> <li>Turrets</li> <li>12" to 18" second-floor cantilevers</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>Gable and shed roof forms</li> <li>3:12 to 4:12 pitch</li> <li>Barrel 'S'-shape tile roofs</li> </ul>	<ul style="list-style-type: none"> <li>Cut rafter tails</li> <li>Flush rakes</li> <li>Profile eaves</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>Smooth to light sand finish stucco</li> </ul>	<ul style="list-style-type: none"> <li>Rounded wall return to windows and doors</li> <li>Arches or arched portals</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>Wood or stucco trim surrounds</li> <li>Windows with divided lights</li> <li>Recessed windows</li> </ul>	<ul style="list-style-type: none"> <li>Plank or panel shutters</li> <li>Arch-top feature windows</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>Garage door patterns to complement style</li> <li>Recessed articulated entry</li> <li>Recessed windows</li> </ul>	<ul style="list-style-type: none"> <li>Wood like material potshelves under windows</li> <li>Juliet balconies</li> <li>Finials</li> <li>Decorative shutters</li> <li>Wood corbels</li> <li>Bartizans</li> <li>Gable end details</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>Field: Whites, light earth tones</li> <li>Trim: Dark contrasting color</li> </ul>	

SECTION 4. ARCHITECTURAL DESIGN GUIDELINES

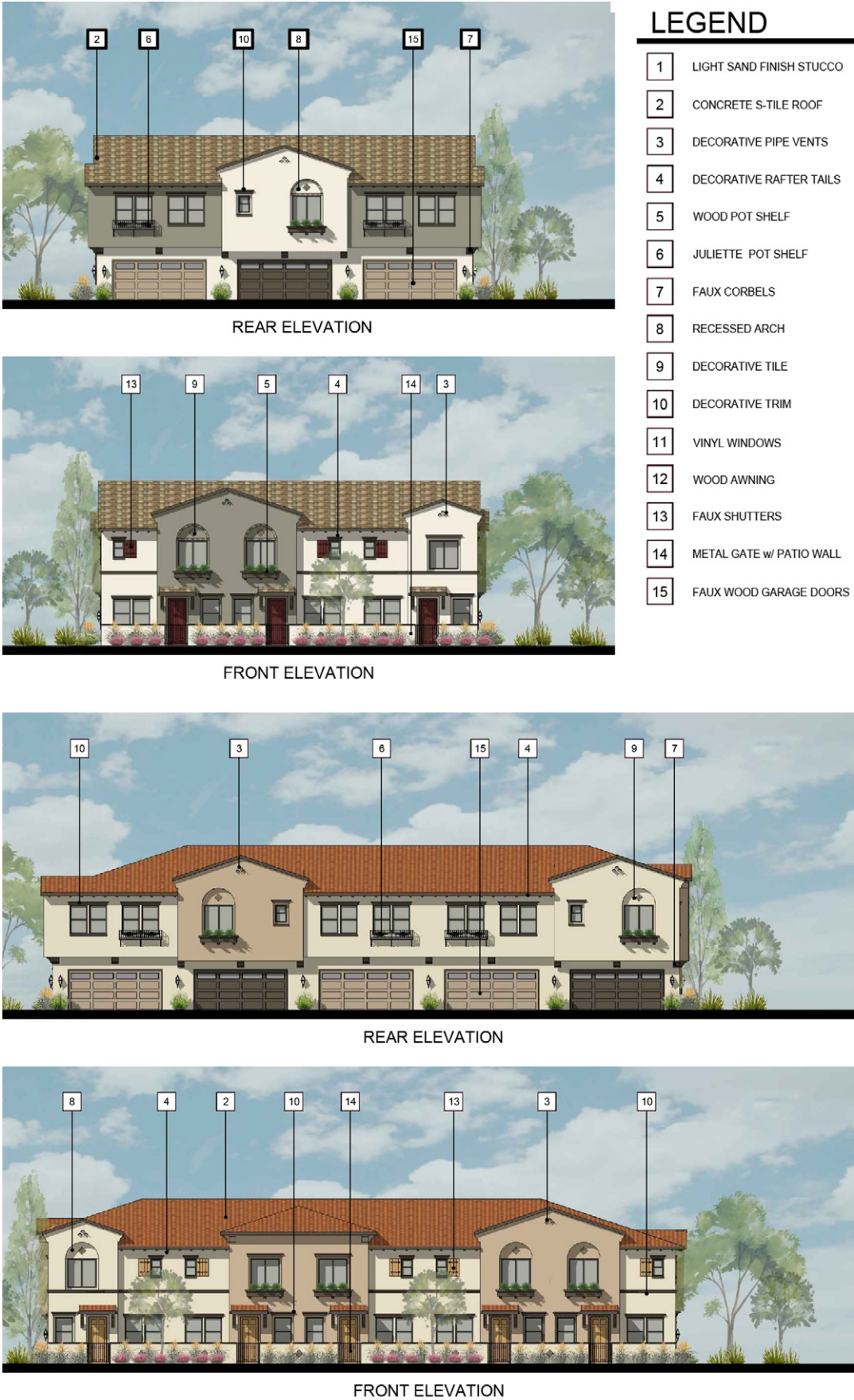


Figure 12. Spanish Style Elevations



# SECTION 4. ARCHITECTURAL DESIGN GUIDELINES

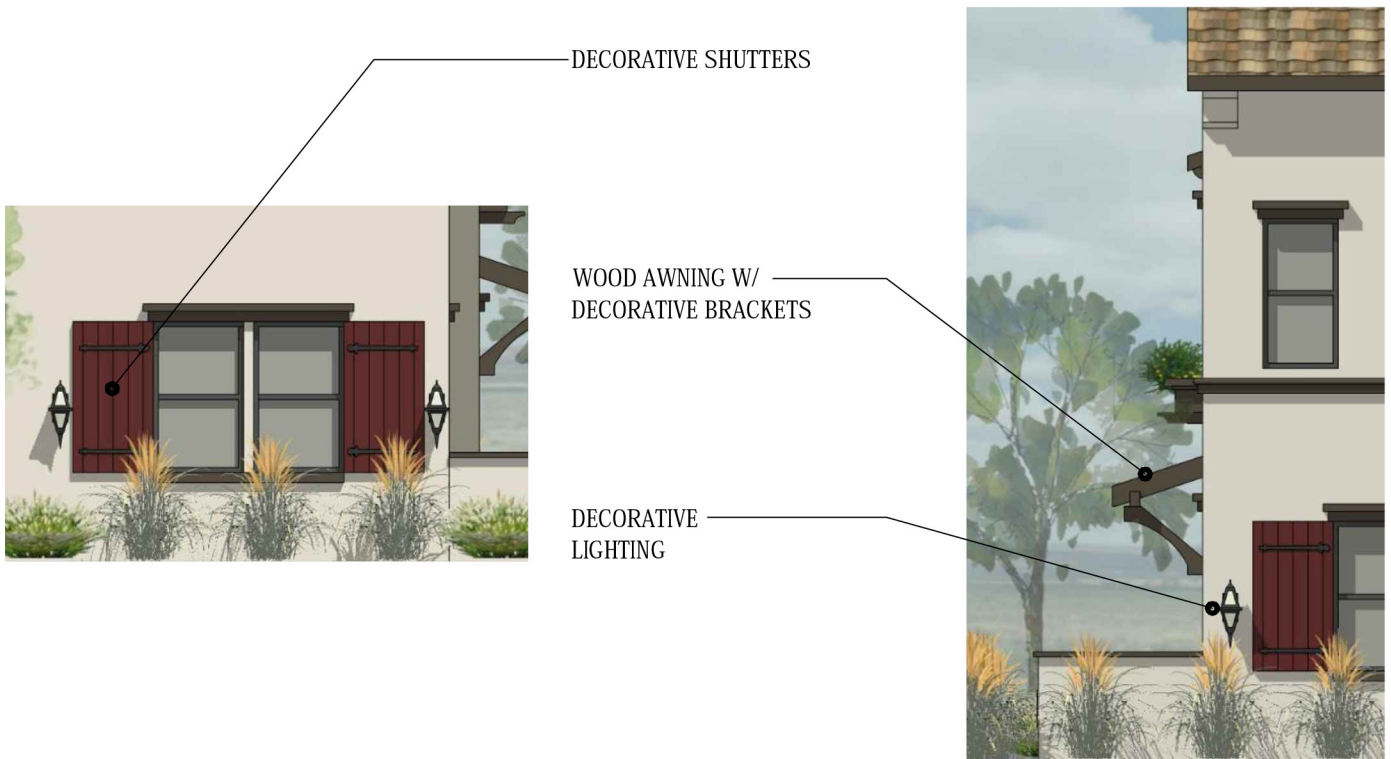


Figure 13. Spanish Style Details