

# Appendix A Draft Specific Plan

## Appendix

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# STARLITE SPECIFIC PLAN

SCREENCHECK #1

March 03, 2021

prepared for: KB Home  
prepared by: KTG Y Group







# STARLITE

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## **SPECIFIC PLAN SCREENCHECK #1**

**MARCH 03, 2021**

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### 1.1 PURPOSE AND OBJECTIVE OF THE SPECIFIC PLAN

The Starlite Specific Plan provides a detailed description of the proposed land use, infrastructure, and implementation requirements for the Starlite project located on State Route 19 (SR-19)/Rosemead Boulevard in the City of South El Monte, California. The Specific Plan will be processed through the City of South El Monte, California. The Design Guidelines contained in this Specific Plan will assist in creating a sense of place and high-quality development on the project site. The Development Regulations will establish permitted uses, building setbacks, and general development criteria.

The Starlite Specific Plan is consistent with the applicable goals and policies of the City of South El Monte General Plan. The provisions and regulations contained in the Specific Plan shall apply to the Starlite project area, and shall prevail in instances of conflict with the provisions and regulations of the South El Monte Municipal Code (SEMMC) that regulate the same subject matter. Where the Specific Plan is silent on an issue, the regulations and standards contained in the SEMMC or other applicable city, state or federal code that regulate the same issue shall apply.

The Specific Plan area is located at the former Starlite swap meet site in the industrial suburb of South El Monte. Opened in the 1950s, the all year operating theater parking lot accommodated up to 860 vehicles. The drive-in was a culture-changing phenomenon on a large property open to the public after dark. The

theatre parking lot was simultaneously used for a daytime outdoor swap meet shortly after its opening. After the closure of the drive-in theater in 1997, the site continued to be used for weekend swap meets. On any given weekend day vendors began arriving at the break of dawn, driving their packed vehicles through the swap meet's main entrance. The theater and swap meet offered entertainment at night and a business venue during the day.

Today, the Starlite swap meet is permanently closed. A new residential development is proposed on the site. The Starlite Specific Plan will enhance the community character and implement a vision that maximizes the site's future potential, and contributes toward the City's objective to meet the State of California's housing production goals.



*Existing Site Photo*

## 1.2 AUTHORITY AND FORMAT OF THE SPECIFIC PLAN

This Specific Plan is an implementation tool that:

- Implements a local response to the statewide housing crisis.
- Provides development standards and design guidance for on-site residential development.
- Develops a plan that can be implemented based on existing and anticipated future economic conditions.
- Assures appropriate financing for infrastructure, including domestic water, urban runoff and drainage facilities, and sewage disposal.

The State of California Legislature has established the authority and scope to prepare and implement specific plans. The State requires that all cities and counties in California prepare and adopt a comprehensive General Plan for the physical development of their areas of jurisdiction. To implement the policies described in the General Plan, regulating programs are adopted (e.g., zoning ordinances, subdivision ordinances, building and housing codes, etc.). California State law authorizes cities with complete General Plans to prepare and adopt specific plans (*Government Code Section 65450 – 65457*). Local planning agencies or their legislative bodies may designate areas within their jurisdiction as areas for which a specific plan is “necessary or convenient” (*Government Code Section 65451*).

Specific plans are intended to serve as bridges between the local General Plan and the individual development proposal for a specific area. Specific plans contain both planning policies and regulations, and may combine zoning regulations, capital improvement programs, and other regulatory requirements into one document.

The Starlite Specific Plan has been created through the authority granted to the City of South El Monte by the *California Government Code, Sections 65450 through 65453*. This Specific Plan has been prepared in accordance with the provisions of the California Government Code, which stipulate that a specific plan contain text and diagrams specifying the following:

- **Land Use:** The specific plan must specify the distribution, location, and extent of the uses of land, including open space, within the area covered by the plan. This discussion is included in *Section 3.2, Land Use Plan*, of this Specific Plan.
- **Public Facilities:** The specific plan must show the proposed distribution, location, extent, and intensity of major components of public and private transportation, wastewater, water, drainage, solid waste disposal, energy, and other essential facilities located within the area covered by the plan, and needed to support the land uses described in the plan. This discussion is included in *Section 3.3, Circulation Plan*, *Section 3.4, Infrastructure Plan*, and *Section 3.5, Dry Utilities and Public Services*, of this Specific Plan.
- **Development Standards:** The specific plan must include standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable. This discussion is contained in *Chapter 5, Development Regulations*, of this Specific Plan.
- **Implementation Measures:** The specific plan must include a program of implementation measures, including regulations, programs, and financing measures. A discussion of these topics is included throughout *Chapter 6, Implementation*, of this Specific Plan.
- **General Plan Consistency:** The specific plan must include a statement of the relationship of the specific plan to the General Plan. An analysis of the Starlite Specific Plan's consistency with the City's General Plan is contained in *Appendix A, Consistency with City of South El Monte General Plan*, of this Specific Plan.
- **Optional Contents:** The specific plan may address any other subject that, in the judgment of the City, is necessary or desirable for implementation of the General Plan. Community building, landscape, architectural, and sustainable design guidelines in *Chapter 4, Design Guidelines*, of this Specific Plan.

### 1.3 SPECIFIC PLAN AREA LOCATION

The 12.3-acre project site is located in the northern portion of the City of South El Monte, California. The Starlite Specific Plan area is located to the east of State Route 19 (SR-19)/Rosemead Boulevard and west of Chico Avenue. Regional access to the site, depicted on *Exhibit 1.1, Regional Context*, is available from the north via Interstate I-10 and from the south via State Route 60 (SR-60). Local access to the site is depicted on *Exhibit 1.2, Local Context*. Local access from both I-10 and SR-60 is provided by Rosemead Boulevard.

### 1.4 SPECIFIC PLAN SUMMARY

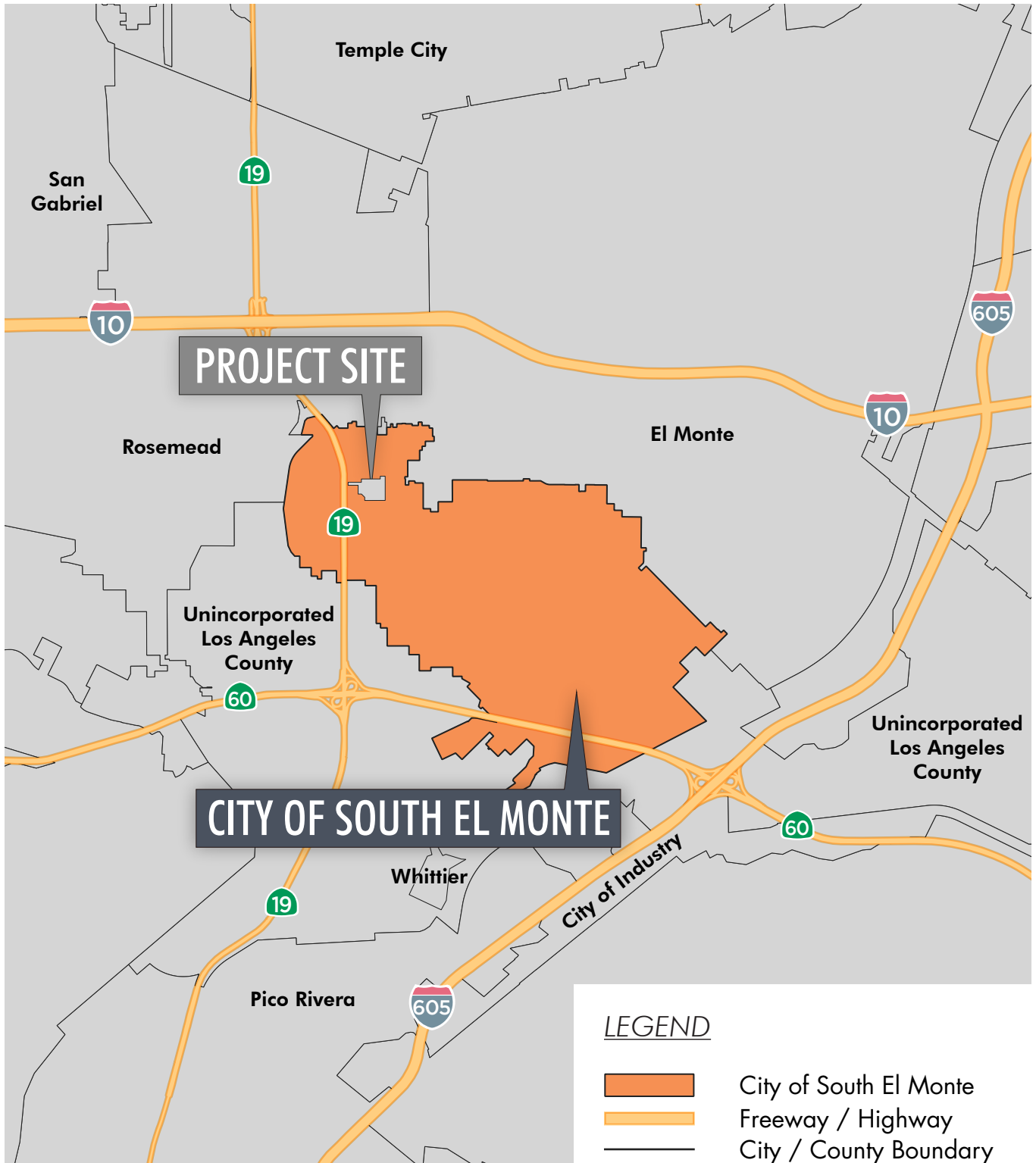
The Starlite Specific Plan project is the result of intensive planning and careful design to create a high quality infill project. The Starlite Specific Plan includes up to 207 single- and multi-family dwelling units on the approximately 12.3-acre project site. The project consists of attached and detached two-, three-, and four-bedroom dwelling units, a recreation center, and common open space.

The Starlite Specific Plan incorporates place-making principles to create a pedestrian-friendly development. The common open spaces may contain paseo, a recreation center and landscaped space. The Specific Plan area will have a unifying landscape theme, including a system of courtyards and amenity spaces throughout the project site that maximize access to the outdoors.

#### 1.4.1 SPECIFIC PLAN GOALS

The Starlite Specific Plan is envisioned as a catalyst for the local area and the Rosemead Boulevard corridor. The Starlite Specific Plan is designed to implement a series of realistic and achievable project objectives that will help to implement the applicable City of South El Monte General Plan goals and policies, and ensure that the project is implemented as a high-quality community. These objectives, which are identified below, have been refined throughout the planning and design process.

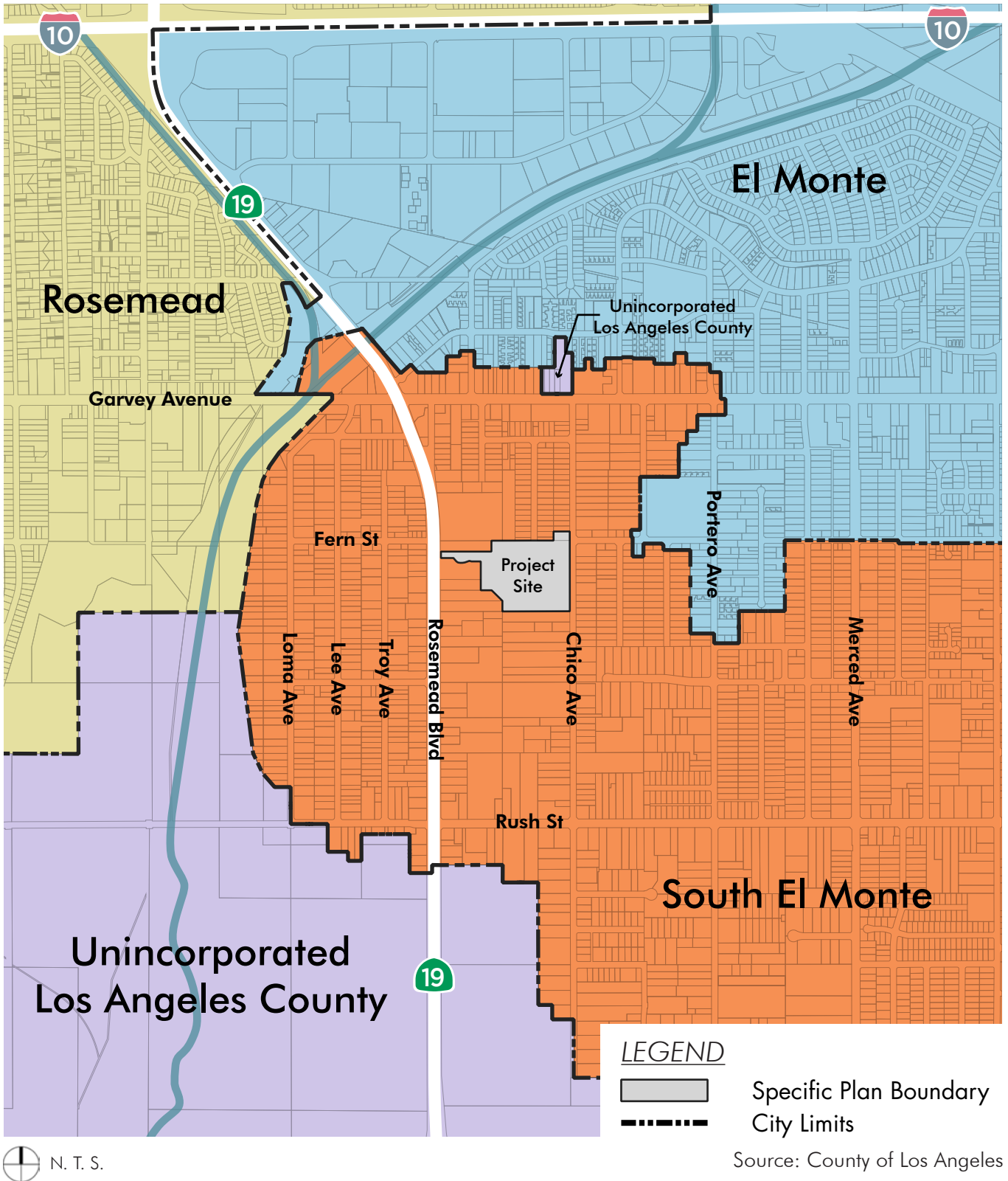
- Include a variety of housing types, including units affordable to moderate-income earners, consistent with the goals and policies of the City of South El Monte General Plan.
- Include an enhanced-level of community recreational amenities, including but not limited to, a pool and spa.



Source: County of Los Angeles



**Exhibit 1.1, Regional Context**



**Exhibit 1.2, Local Context**



## 1.5 DISCRETIONARY ACTIONS AND APPROVALS

- Utilize unique public financing programs to provide flexibility in the use of impact fees, boosting programs/services for the greater community.
- Provide a greater horizontal separation (buffer) from existing single-family homes abutting the site than a typical side yard setback.
- Provide new infill housing on a vacant and under utilized site.
- Promote a pedestrian-friendly environment by including sidewalks with street trees and paseos throughout the community and establishing a strong sense of neighborhood.

The City of South El Monte is the Lead Agency for purposes of California Environmental Quality Act (CEQA) compliance. These actions are required to implement this Specific Plan:

- General Plan Amendment: A General Plan Amendment will be necessary to change the General Plan land use designation of the entire property from the current “Commercial-Manufacturing” (CM) and “Medium Density Residential” (MDR) to “Medium Density Residential” (MDR).
- Zone Change: An approval of a Zone Change will be necessary to change the zoning of the entire property from the current “Commercial Manufacturing” (C-M) and “Medium Density Residential” (R-3) to “Specific Plan” (SP) on the City’s Zoning Map.
- Specific Plan: The Starlite Specific Plan has been prepared to realize the objectives of the proposed project as defined herein. The Specific Plan will be adopted by Resolution by the City of South El Monte City Council, with the Development Regulations chapter adopted by Ordinance.

- Vesting Tentative Tract Map (VTTM): A VTTM for the Specific Plan area will be prepared and processed through the City in accordance with Chapter 16 of the SEMMC and in accordance with the Subdivision Map Act of the California Government Code.
- Environmental Document: Language TBD after Initial Study and environmental determination have been made.

Final Maps will require approval by the City Council. There will also be subsequent, non-discretionary permits (e.g. grading permits, ministerial approvals, and conditions of approval) that would be necessary to implement the project.

## 2.1 RELATIONSHIP TO THE GENERAL PLAN AND ZONING CODE OF THE CITY OF SOUTH EL MONTE

As required by State Law, the Starlite Specific Plan is consistent with the applicable goals and policies contained in the adopted City of South El Monte General Plan. The goals and policies identified within each element of the General Plan have been evaluated, and a statement of compliance with the General Plan has been included in *Appendix A, General Plan Consistency Analysis*. This Specific Plan serves as zoning for the Specific Plan area.

### 2.1.1 GENERAL PLAN LAND USE

According to the General Plan, the Specific Plan area is designated as “Commercial-Manufacturing” (CM) and “Medium Density Residential” (MDR). A General Plan Amendment is requested to establish “Medium Density Residential” (MDR) as the land use designation for the Specific Plan area (See *Exhibit 2.1, Existing General Plan Land Use Designation* and *Exhibit 2.2, Proposed General Plan Land Use Designation*).

### 2.1.2 ZONING

The City’s current zoning designations for the Specific Plan area is “Commercial Manufacturing” (C-M) and “Medium Density Residential” (R-3). A Zone Change is requested to change the zoning designation of the project site from C-M and R-3 to “Specific Plan” (SP). (See *Exhibit 2.3, Existing Zoning Map* and *Exhibit 2.4, Proposed Zoning Map*).

## 2.2 PROJECT CONTEXT AND SURROUNDING LAND USES

The site is surrounded by a number of uses that influence the design of the project. These influences are shown on *Exhibit 2.5, Surrounding Uses*, and described below:

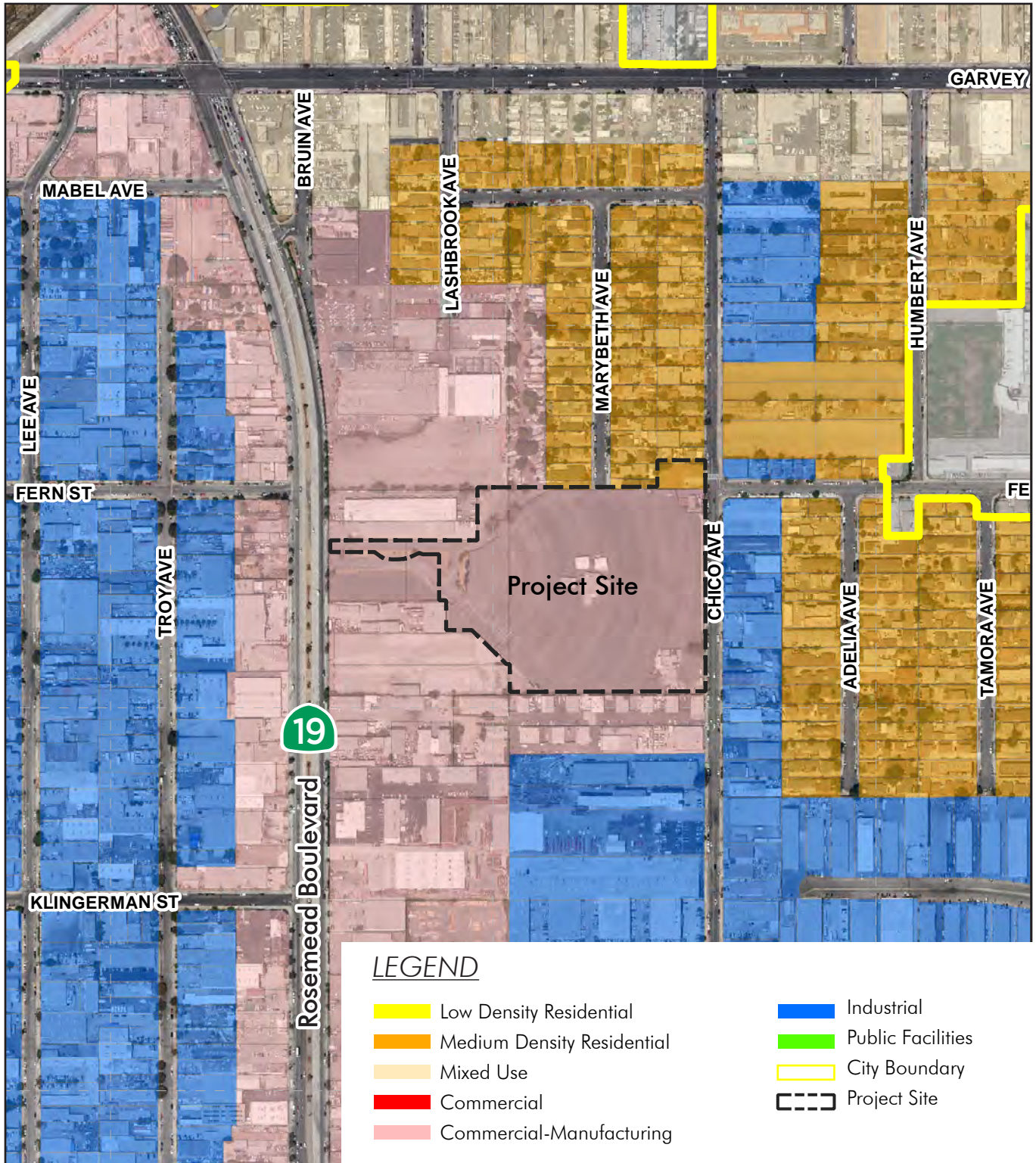
- The retail center to the north of the Specific Plan area.
- The adjacent one- and two-story single family homes located to the north of the Specific Plan area.
- The adjacent manufacturers located to the south and east of the Specific Plan area.
- Proximity to Rosemead Boulevard.

## 2.3 EXISTING SITE CONDITIONS

The Specific Plan area was most recently utilized for swap meet on weekends. After the permanent closure of the swap meet in 2020, the asphalt covered site is mostly vacant with a residence at the northeast corner of the site and a vacant building at the southwest corner of the site.

### 2.3.1 SITE TOPOGRAPHY

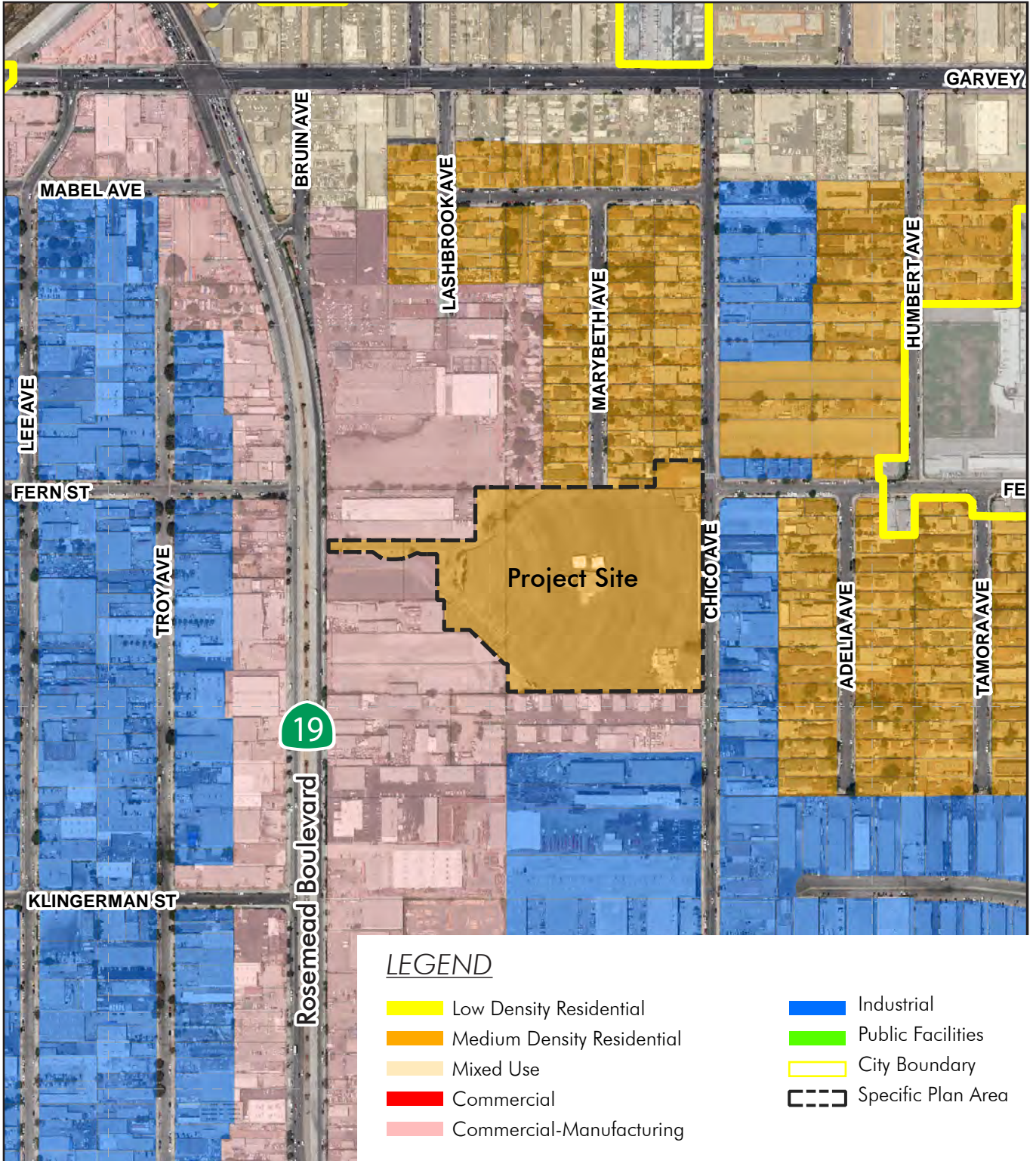
The Specific Plan area is relatively flat, with an elevation range from 240 above mean sea level (AMSL) to 245 AMSL.



Source: City of South El Monte

**Exhibit 2.1, Existing General Plan Land Use Designation**

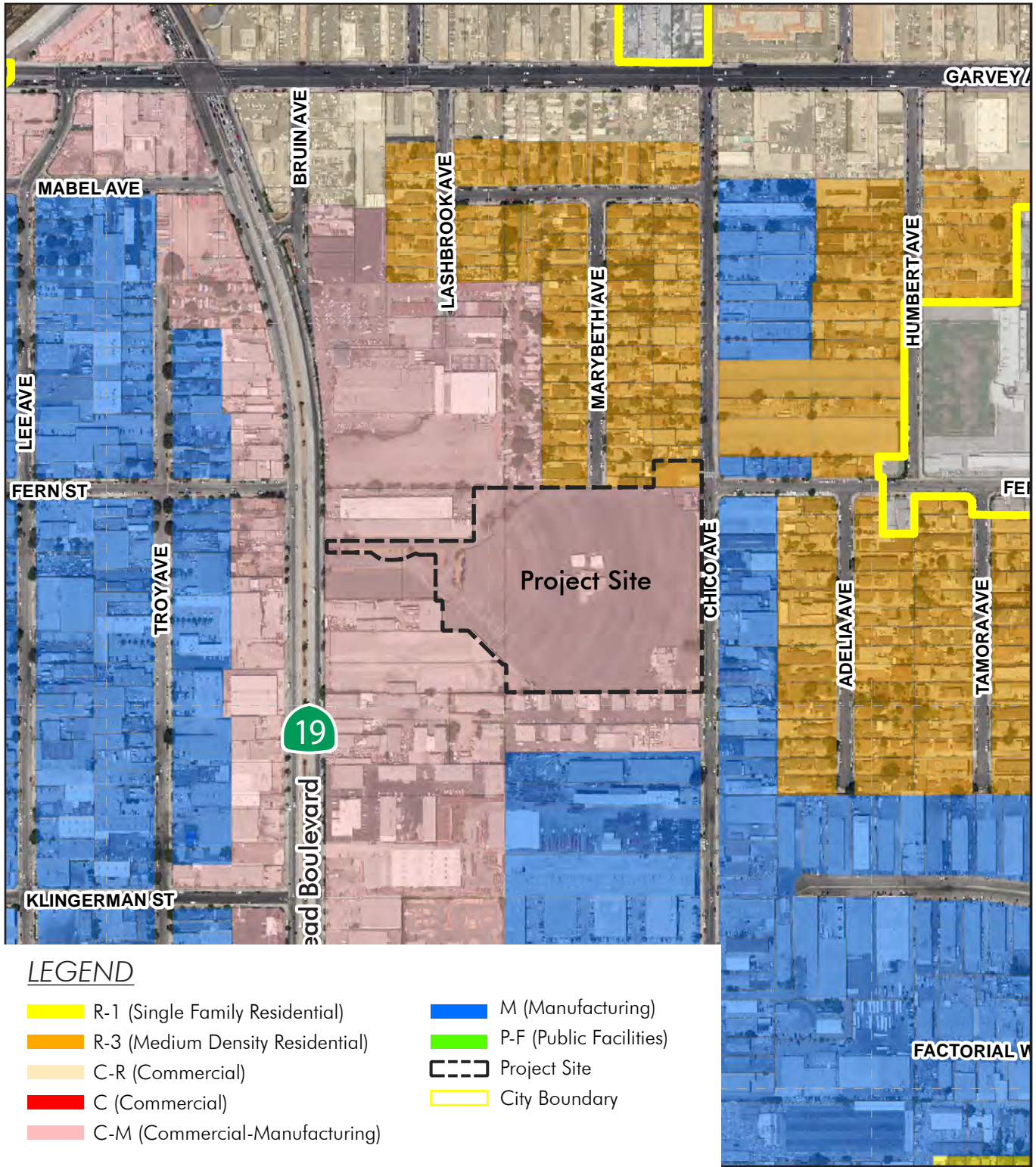




Source: City of South El Monte

**Exhibit 2.2, Proposed General Plan Land Use Designation**

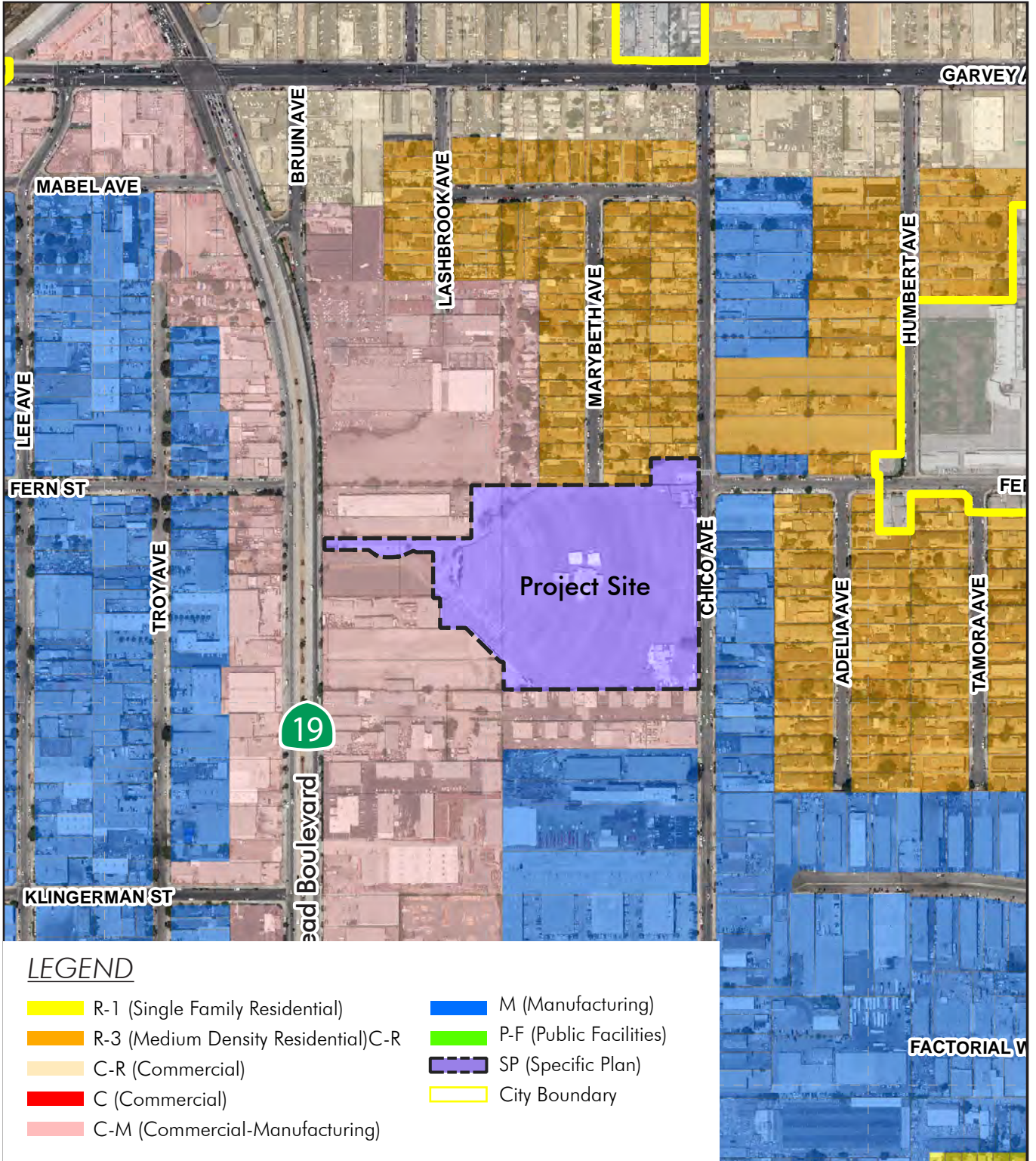




Source: City of South El Monte

**Exhibit 2.3, Existing Zoning Map**





Source: City of South El Monte

## Exhibit 2.4, Proposed Zoning Map

### **2.3.2 VEHICULAR ACCESS AND MOBILITY**

Regional access to the site is provided by I-10 from the north and SR-60 from the south. Local access to the Specific Plan area is provided from Rosemead Boulevard, which is identified as an arterial highway by the General Plan. Rosemead Boulevard is comprised of four travel lanes and a median. An existing driveway connect the project site to Rosemead Boulevard.

The nearest bus stop is located at the intersection of Rosemead Boulevard, and Fern Street. This bus stop is serviced by Metro Routes 176 and 266. Route 176 provides service between the cities of South Pasadena and Montebello. Route 266 provides service between the cities of Pasadena and Lakewood (See *Exhibit 2.6, Existing Mobility Access*).

### **2.3.3 EASEMENTS**

Five existing pipeline easements will remain. Two gas lines is generally along the northerly property line, a 10-foot storm drain runs diagonally through the northwest corner and along the north side of the driveway, which provides the direct access to Rosemead Boulevard, two other easements are located at the northeast corner of the project site.





Source: Google

## Exhibit 2.5, Surrounding Uses





Source: Foothill Transit, Metro

**Exhibit 2.6, Existing Mobility Access**

### 3.1 PURPOSE AND INTENT

This Chapter contains a discussion of the various plan elements for the Starlite Specific Plan, including the following:

- Land Use Plan and Circulation Plan
- Infrastructure Plan
- Dry Utilities and Public Services
- Grading Plan

Each plan works in tandem with the other plans to establish a framework for the Specific Plan area, ensuring that the Project will develop as a quality and cohesive community within of the overall urban fabric of Starlite.

### 3.2 LAND USE PLAN

The Starlite Specific Plan is an infill development that converts the mostly vacant site of the former Starlite drive-in/swap into a high-quality residential community to meet the City’s housing needs.

The medium density residential (MDR) designation is applied to the entire Starlite Specific Plan area, as shown in *Exhibit 3.1, Land Use and Circulation Plan*. The MDR designation allows for development of single-family detached homes, duplexes, townhomes, condominiums, and apartments. Other compatible uses serving the needs of the residents, such as parks, recreation facilities, and open space, are also allowed.

The General Plan identifies a density up to 16 du/ac for the MDR land use designation. At the maximum density of 16 du/ac, the maximum unit yield for the Starlite Specific Plan area is 197 dwelling units. The Specific Plan includes affordable housing units for low-income families. By providing 10% of the 197 units as affordable housing units, which equates to 20 dwelling units, for low-income households, the Starlite Specific Plan is allowed a 5% density bonus per Section 65915 of the California Government Code and South El Monte Municipal Code (SEMMC) Chapter 17.83 Density Bonus Procedures.

The density bonus brings the total maximum allowable number of dwelling units to 207 dwelling units on the approximately 12.3 acre project site, resulting in a gross project density of 16.8 dwelling units per acre. *Table 3.1, Land Use Summary*, provides a summary of the land use acreage, maximum number of dwelling units, and maximum density.

**Table 3-1 Land Use Summary**

LAND USE	GROSS AREA (AC)	MAXIMUM DWELLING UNITS (DU)	MAXIMUM DENSITY (DU/AC)
MEDIUM DENSITY RESIDENTIAL (MDR)	12.3	207	16.8



Below is the general development parameter for the Specific Plan area:

- A. Development within the Specific Plan area shall not exceed 207 dwelling units, with a maximum density of 16.8 dwelling units per gross acre.
- B. The Specific Plan area shall include a mix of detached and attached dwelling units.
- C. The Specific Plan area shall be gated.
- D. Adequate park/recreation areas and open space shall be provided to meet the needs of the residents, pursuant to Chapter 4, Design Guidelines and Chapter 5, Development Regulations of this Specific Plan.
- E. Development shall comply with the design criteria and development standards set forth in Chapter 4, Design Guidelines and Chapter 5, Development Regulations of this Specific Plan.

### **3.3 CIRCULATION PLAN**

Regional access to the site is provided by Interstate 10 (I-10) from the north and SR 60 from the south. Local access to the project is provided by Rosemead Boulevard (SR 19), which parallels the western boundary of the Specific Plan area, and Chico Avenue to the east of the project site.

#### **3.3.1 VEHICULAR CIRCULATION**

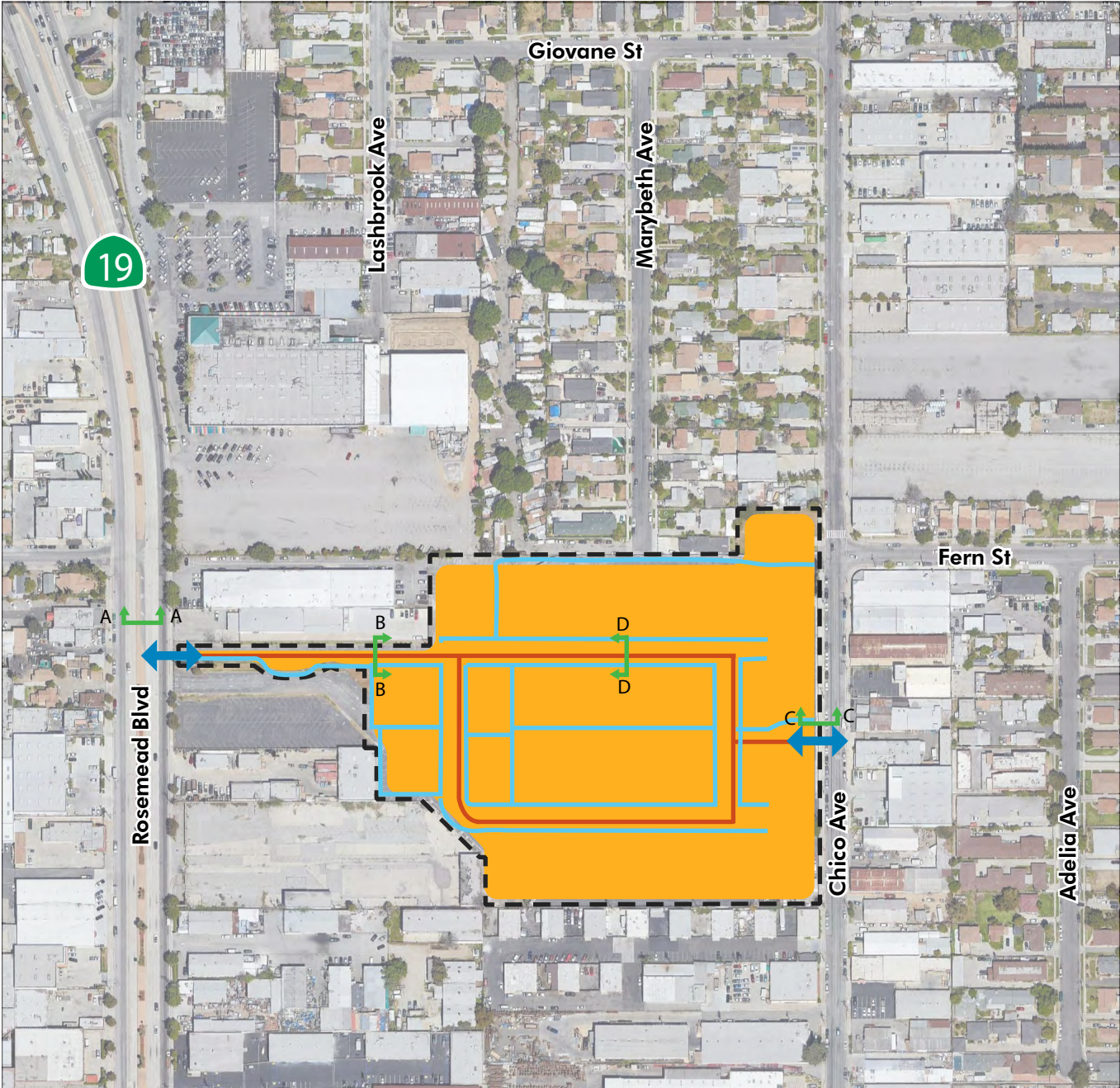
Rosemead Boulevard (SR/19) runs in a north-south direction. The Circulation Element of the General Plan designates Rosemead Boulevard as an Arterial Highway, a four-lane divided roadway. The typical existing Rosemead Boulevard section is shown in *Exhibit 3.2, Typical Street Cross Sections*. A proposed driveway providing direct access to Rosemead

Boulevard is shown in *Exhibit 3.2, Typical Street Cross Sections*. A new traffic signal will be installed on Rosemead Boulevard at the entrance to the project site.







Chico Avenue runs in a north-south direction. The Circulation Element of the General Plan designates Chico Avenue as a Residential and Industrial Collector, a two-lane undivided roadway with on-street parking. The typical Chico Avenue section is shown in *Exhibit 3.2, Typical Street Cross Sections*. As depicted on *Exhibit 3.1, Land Use Plan and Circulation Plan*, two gated project entries drives will be provided from Rosemead Boulevard and Chico Avenue. The entry drives will continue into the development and become a loop road configuration. The typical design of internal driveways within the project is depicted in *Exhibit 3.2, Typical Street Cross Sections*.

#### **3.3.2 PEDESTRIAN CIRCULATION**

Pedestrian circulation is provided throughout the development by a network of walkways along the internal drives and open space areas, which will connect to the existing City sidewalks along Rosemead Boulevard and Chico Avenue, as shown in *Exhibit 3.1, Land Use Plan and Circulation Plan*.



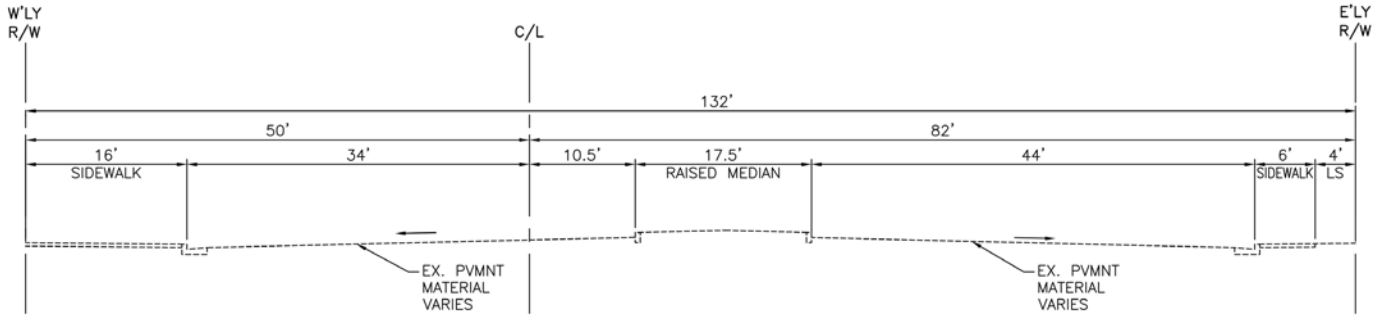
LEGEND

-  Specific Plan Boundary
-  Medium-Density Residential
-  Internal Driveways
-  Entries
-  Street Cross Section
-  Pedestrian Circulation

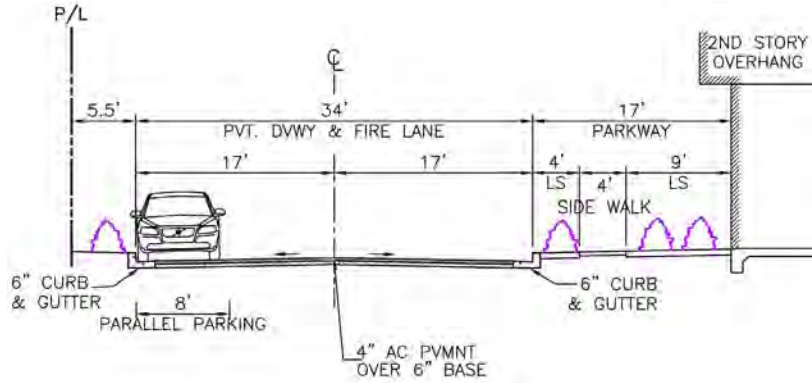
Source: FORMA , Google



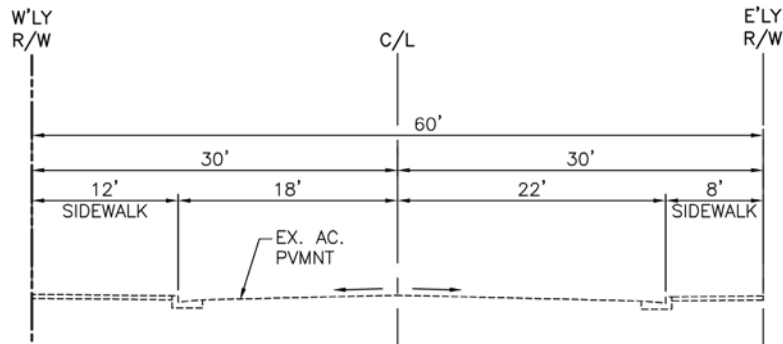
**Exhibit 3.1, Land Use and Circulation Plan**



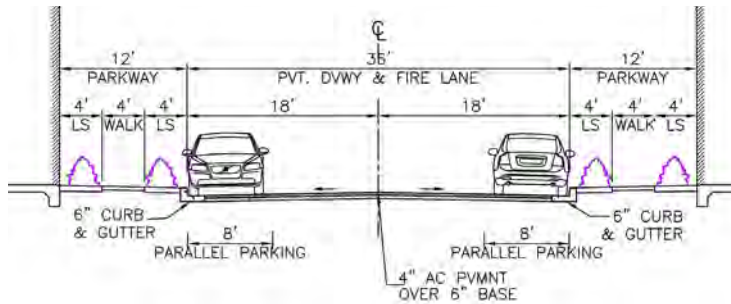
**CROSS SECTION A-A ROSEMEAD BOULEVARD**



**CROSS SECTION B-B DRIVEWAY BETWEEN ROSEMEAD BOULEVARD AND INTERNAL STREET**



**CROSS SECTION C-C CHICO AVENUE AT PROJECT FRONTAGE**



**CROSS SECTION D-D INTERNAL DRIVEWAYS**

Source: FORMA

N. T. S.

**Exhibit 3.2, Typical Street Cross Sections**

### **3.4 INFRASTRUCTURE PLAN**

Design and construction of infrastructure facilities, including but not limited to, water, sewer, and storm drains, shall comply with the requirements of the City of South El Monte and/or relevant service agencies.

#### **3.4.1 WATER SYSTEM**

The Specific Plan area is within San Gabriel Valley Water Agency service area. There is an existing 12-inch water main in Rosemead Boulevard and a 10-inch water main in Chico Avenue. Private looping water main is proposed within the private drive aisles connecting to both Rosemead Boulevard and Chico Avenue water lines. Existing and proposed potable water system improvements are depicted in *Exhibit 3.3, Water and Sewer Plan*.

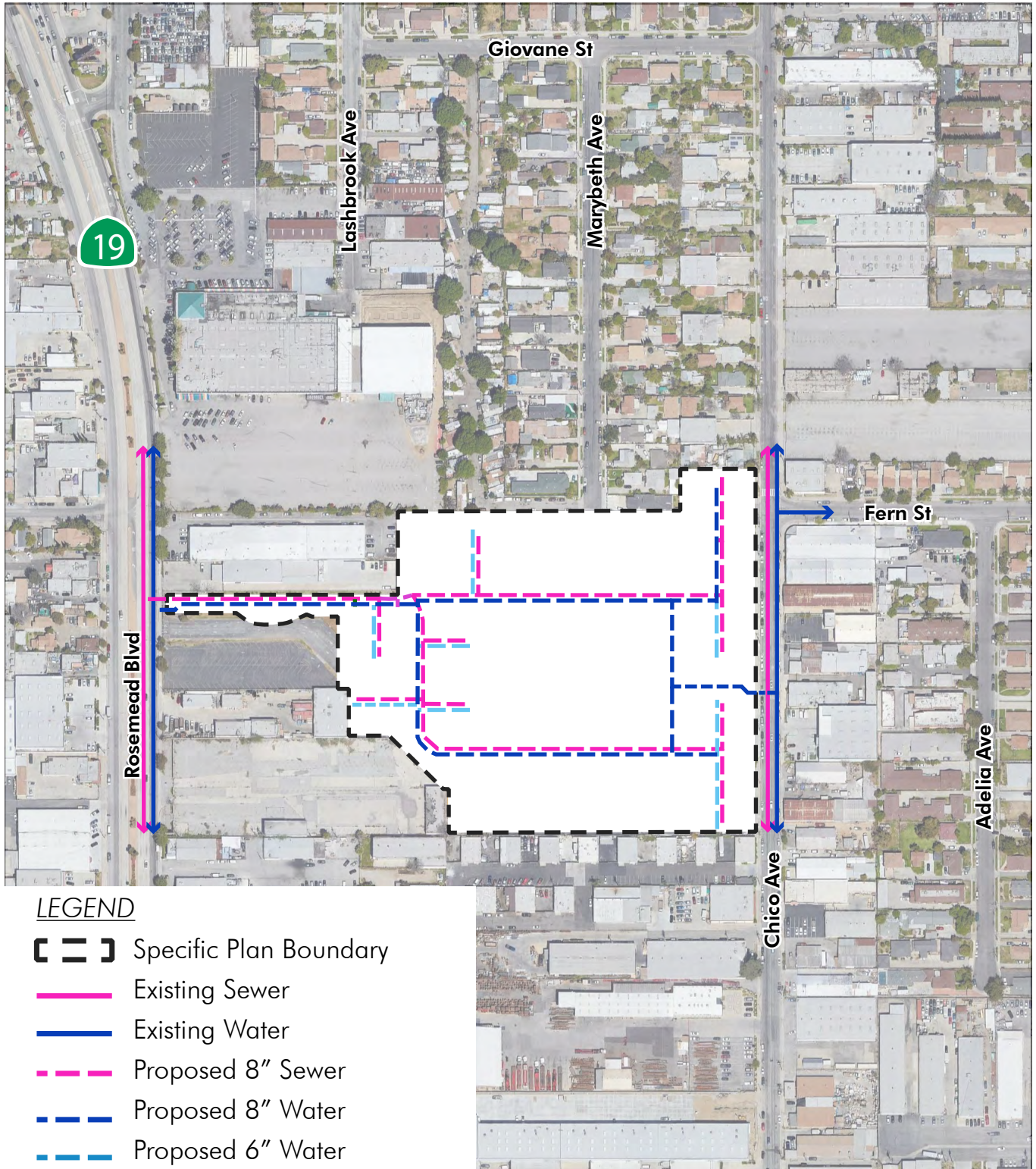
#### **3.4.2 SEWER SYSTEM**

The 8-inch public sewer main are proposed within the private drive aisles. The onsite sewer main system will extend to Rosemead Boulevard and connect to an existing 8-inch public sewer main owned by the City of South El Monte. Proposed sewer infrastructure improvements are depicted on *Exhibit 3.3, Water and Sewer Plan*.

#### **3.4.3 DRAINAGE PLAN**

The sewer facilities and infrastructure are managed by the City's Public Works Department, owned, maintained and operated by the Los Angeles County Sanitation Districts (LACSD). Onsite runoff will be collected and detained in a central underground detention facility in compliance with the Los Angeles County Low Impact Development Manual, 2014. Storm water in excess of the required treatment volume will be conveyed directly to Los Angeles County storm drain system. Proposed storm drainage improvements are depicted on *Exhibit 3.4, Storm Drainage Plan*.



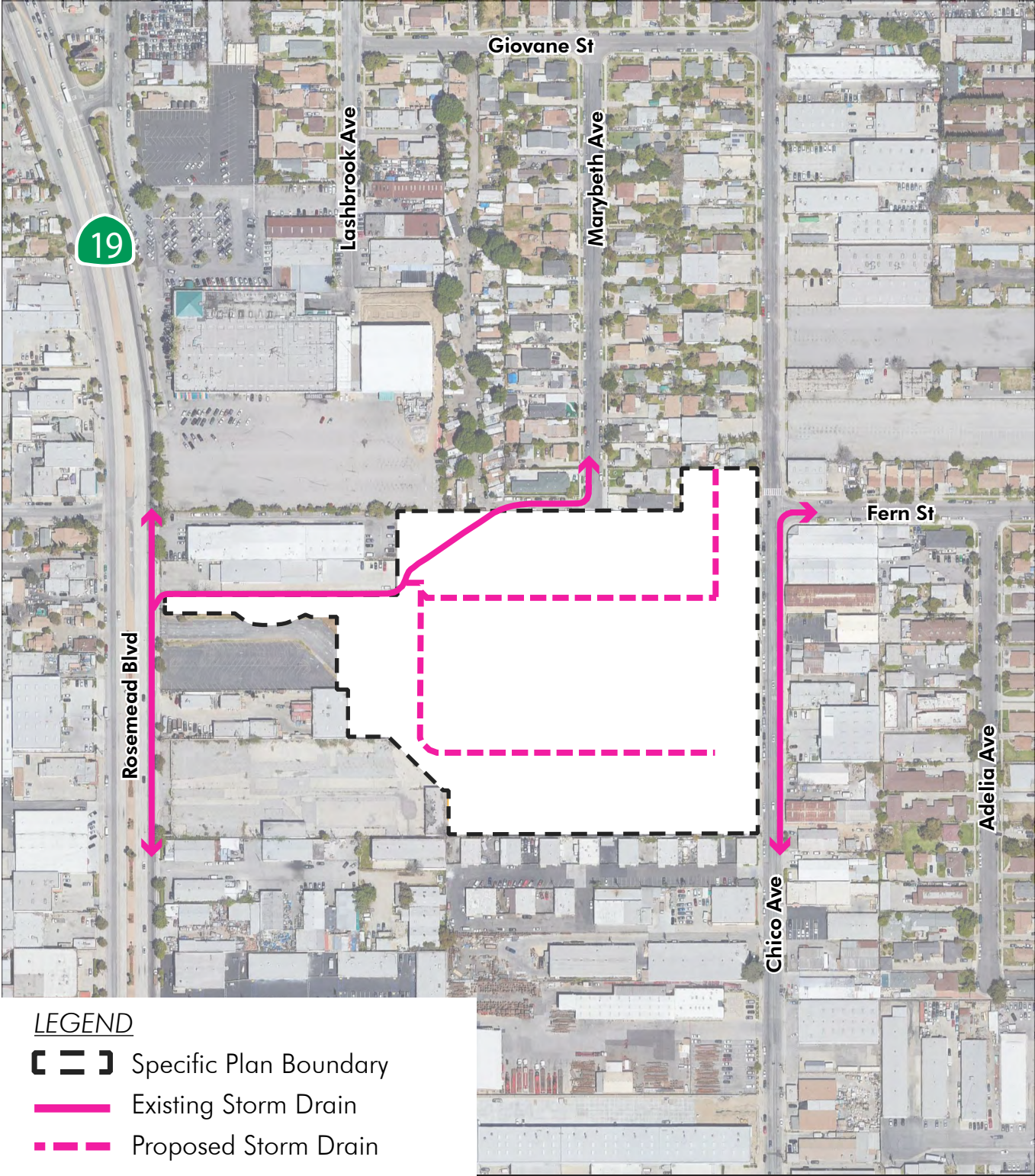


Source: FORMA , Google



## Exhibit 3.3, Water and Sewer Plan





Source: FORMA , Google



**Exhibit 3.4, Storm Drain Plan**

## **3.5 DRY UTILITIES AND PUBLIC SERVICES**

### **3.5.1 DRY UTILITIES**

#### **NATURAL GAS**

Natural gas service for the Specific Plan area is provided by Southern California Gas Company (SCG).

#### **ELECTRICITY**

Electricity service for the Specific Plan area is provided by Southern California Edison (SCE) through existing lines in the surrounding streets.

#### **CABLE, TELEPHONE, AND INTERNET**

Cable, telephone, and internet services within the City of South El Monte are provided by AT&T and Charter Cable Company.

### **3.5.2 PUBLIC SERVICES**

#### **FIRE AND EMERGENCY RESPONSE SERVICES**

Fire and emergency response services are provided by Los Angeles County Fire Department (LACFD) Station 90, located approximately 1.6 miles southeast of the Specific Plan area at 10115 Rush Street, South El Monte.

#### **LAW ENFORCEMENT SERVICES**

Law enforcement services for the Specific Plan area is provided by the Los Angeles County Sheriff's Department (LASD). The nearest station is located approximately 3.5 miles northwest of the Specific Plan area, at 8838 Las Tunas Drive, Temple City.

#### **SOLID WASTE DISPOSAL**

Solid waste disposal, yard waste, and recycling material collection service for the Specific Plan area is provided by Athens Services.

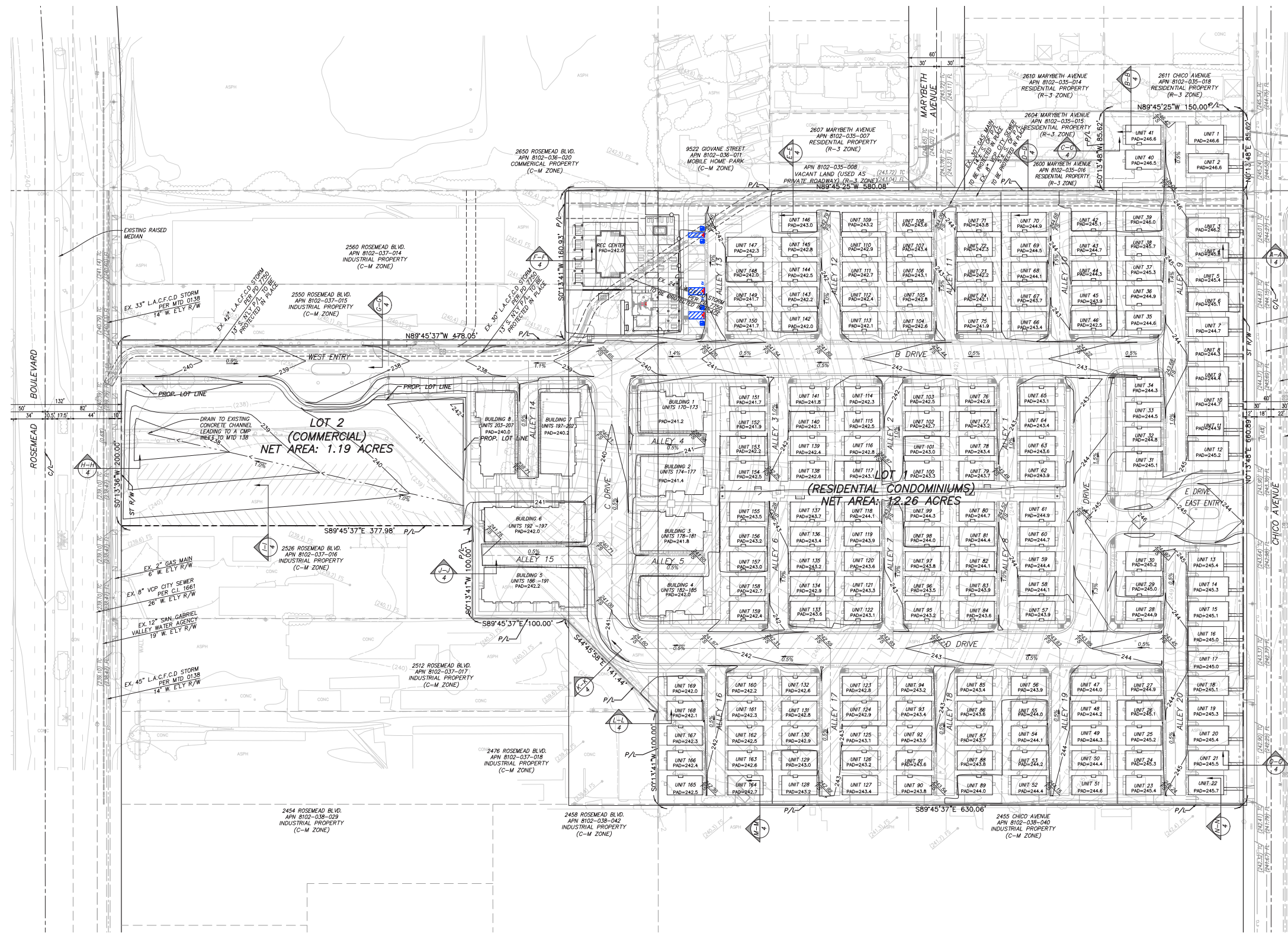
#### **SCHOOLS**

The site is located in the El Monte City School District. As part of the City's permitting process, a school fee will be paid to the El Monte City School District prior to City's issuance of building permits.

## **3.6 GRADING PLAN**

Grading for the site is intended to respond to the site topography. The existing buildings will be demolished. The proposed grading concept, as depicted in *Exhibit 3.5, Conceptual Grading Plan*, is designed to balance cut and fill within the project area to the extent feasible. Final engineering may result in modifications to the overall grading concept, but the modifications should conform to the general intent of the Conceptual Grading Plan.





Source: FORMA



Exhibit 3.5, Conceptual Grading Plan

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# 4

## DESIGN GUIDELINES

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### 4.1 INTRODUCTION

This chapter contains architectural, landscaping, and sustainability design guidelines for the Starlite Specific Plan. These guidelines ensure that the Specific Plan area will develop as a cohesive and high-quality residential community, while still allowing some flexibility for designers to incorporate their creative expertise into the built environment. The Design Guidelines are intended to be flexible in nature while establishing basic evaluation criteria for the development review process. The strongest level of design intent is specified by using terms such as “must,” “shall” and “prohibited.” Anything with a “must” or “shall” is required. Preferred design items are noted as “encouraged,” “preferred,” “recommended,” “appropriate,” or as one that “should” be included. Preferred design items are considered “voluntary” and need not be included in a proposed development. If the approving body finds that the plans are consistent with the overall intent and goals of these Design Guidelines, the plans do not need to meet each preferred design guideline within this section. Images within this Chapter are conceptual and are intended to illustrate the proposed design aesthetic, and are not intended to depict the final design.

### 4.2 ARCHITECTURAL DESIGN GUIDELINES

The Starlite Specific Plan is designed to provide a pedestrian friendly residential community with an appropriate mix of housing types. The architectural design guidelines in this section have been prepared to provide the framework for high quality design. These architectural design guidelines express the desired character of future development, ensure a consistent level of quality, and accommodate emerging architectural and product trends.

The Starlite Specific Plan area will feature a mix of Spanish, Craftsman and Farmhouse architectural styles to promote interest and establish a distinct sense of place. Distinguishing characteristics of these styles are described below.

## Spanish

The Spanish style was popular during the 1920s and early 1930s. This style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. It is common in California, Arizona, Texas and Florida. The key elements of this style were adapted to the California lifestyle, including stucco walls, courtyards, and flat or low-pitched roofs. Plans were informally organized around a courtyard with the front elevation simply articulated and detailed.

### Identifying Characteristics

- Red "S" tile gable or hip roofs; shed roofs over porches
- Stucco exterior walls
- Recessed entry, arch or curved element, or feature window on front elevation
- Decorative metal railing
- Gable roof end details



## Craftsman

The Craftsman style was strongly influenced by the English Arts and Crafts movement of the late 19th century. Originated in California, this American style quickly spread across the country during the 1920s and 1930s. The Craftsman style sought the elimination of superfluous ornamentation, creating beauty instead through the simplified lines and masses of the building itself. This unique style promoted hand crafted quality to create natural, warm and livable homes.

### Identifying Characteristics

- Low-pitched gable roofs, occasionally hipped
- Wide projecting eaves with exposed rafter tails, and decorative beam or braces added under the gable
- Covered front porches, either full or partial-width, with roof supported by square columns
- Stone used on post or building bases
- Exterior finishes that blend with the natural surroundings, such as wood, stucco and stones
- Vertically proportioned, upper mullioned double hung windows at front elevations.





### **Farmhouse**

The Farmhouse style is defined by simple practicality. Homes were designed to provide basic comfort and utility, be attractive, and offer flexibility to grow over time. The Farmhouse style is traced back to Colonial styles from New England and later the Midwest. Well into the early 20th century, most homes were designed and built by local craftsmen, resulting in substantial regional deviations across the country.

#### Identifying Characteristics

- High pitch gabled roofs; shed roof accents
- Wood siding in combination with stucco
- Covered porches with simple wood columns and railings
- Vertically proportioned windows, often grouped in two or three
- Trim details around windows and doors



Due to constantly evolving market conditions and homeowner preferences, other architectural styles may be permitted within the Specific Plan area after reviewing by the community development director or their designee.

## Building Orientation and Massing

The elevations of the residential community are an important element in creating a sense of place and defining a human-scaled streetscape. Building frontages should be designed to create visual interest and promote pedestrian activity.

- Attached buildings should be located and oriented to the streets and primary open space areas.
- Careful consideration should be given to street orientation and building placement to help protect privacy, views and the visual quality of the neighborhood, and maximize solar access of the buildings where feasible and reasonable.
- Buildings located along the eastern Specific Plan area boundary shall have front entries facing Chico Avenue.
- Design the front elevation of attached residential buildings to clearly delineate individual units as a way of breaking up mass.
- Buildings should incorporate layered wall planes and offset forms that may include cantilevered masses, recessed masses or entries, or volume spaces, to create interest, reduce the apparent bulk and establish pedestrian scale.

- Offset forms in the massing should be consistent with the architectural style of the building and incorporated as a functional element or detail enhancement.
- Buildings should be arranged and oriented to create a variety of outdoor spaces such as courtyards, paseo and/or usable open spaces that encourage social and recreational activity.

## Roof Forms

Roofs should be designed for functionality and should enhance or complement the overall architectural design of the building.

- Select roof forms, pitches and materials that are consistent with the architectural style of the building. Consider roof forms in relationship to the building mass to improve massing relief along public streets and on other publicly visible elevations.
- Varied roof forms, offsets and materials consistent with the building's architectural style are encouraged to create variation in the skyline and diversity in the streetscene.
- Keep roof forms simple and efficient based on the architectural style and plan shape. Avoid overly complicated roof design that detracts from the characteristics of the architectural style.



## Architectural Enhancements

To activate the community streetscape and maintain a dynamic and aesthetic edge along open space corridors, the elevations of buildings that are visible from the streets, pathways and park should be enhanced with appropriate architectural treatments. The enhanced articulation may be achieved in the following ways:

- Enhanced window treatments, such as shutters and trim surrounds
- Offset wall planes (horizontally or vertically)
- Roof plane breaks
- Color and/or material blocking
- Other detailing similar to those used on the front elevation such as decorative metal elements, gable roof end vents, stucco grids, etc.
- Appropriate roof materials include, but not limited to, concrete “S” tiles, flat shake or slate concrete tiles.
- Highly reflective or shiny materials, florescent colors, neon colors, bright colors as primary body colors (i.e. red, yellow, and blue) are not compatible with the architectural theme and are prohibited.
- Color and material changes should occur on massing elements and terminate on inside corners.
- Body colors should be of earthy or neutral tones such as white, beige and grey, as well as muted blue and green.
- Accent colors should be used to highlight architectural forms, special materials or other distinct architectural features. Accent colors should provide contrast to the body color without conflicting in hue and saturation.

## Colors and Materials

The selection and application of building colors and materials are key considerations when creating visually interesting neighborhoods. Below are the guidelines for the Specific Plan area:

- Building and roof materials shall be appropriate to the architectural style of the building. Materials and finishes should be carefully selected for long-term durability and ease of maintenance.
- Appropriate building materials include, but are not limited to, stucco, wood or faux wood sidings, stone and brick veneer, metal for accents and concrete.

Other colors and materials not listed in this Specific Plan may be used, so long as those combinations are consistent with the architectural theme.

## Plan and Elevation Requirements

- A minimum of three floor plans shall be provided for single-family detached homes. A minimum of three different elevation styles shall be provided for each floor plan.
- A minimum of two unit plans shall be provided for each attached building. Individual unit plans may be repeated between building plans. Building plans should be designed with the ability to reverse the plans and/or add elements to corner units.

### 4.3 LANDSCAPE AND OPEN SPACE DESIGN GUIDELINES

Landscaping within the Specific Plan area should be compatible with the landscape character of the City of South El Monte and at the same time, provides amenities that support the lifestyle and needs of the Starlite residents. The following guiding principles set forth the general direction for the design of the landscaped spaces within the Specific Plan area:

- All proposed landscaping shall be irrigated with low volume and or point source irrigation and shall meet all requirements of the California Green Building Standards Code (CGBC) and City of South El Monte standards for water efficient landscaping.
- All trees shall be irrigated with separate systems for bubblers.
- Street trees shall be carefully located so as not to obstruct the driver’s visibility.
- Street trees should be a 24-inch box minimum in size.
- Low-water use plant materials should be selected to limit irrigation needs and minimize water use. Mediterranean and other local, climate-friendly plants may be used.
- Landscape design should be integrated with building architecture and suitable to the functions of the space. Plant materials should be selected in a manner that complements the architectural styles and building form. Accent planting should be used at entries and key recreation areas.
- Landscaping should be used to screen or separate functional areas from public view, such as trash enclosures, parking areas, storage areas, loading areas, and public utilities. This landscaping should occur upon the project site and not within the right-of-way.
- Decorative paving may be used at key locations including, but not limited to, building entries, courtyards, and vehicular driveways. These areas can be enhanced with tile, brick, pavers, textured and/or colored concrete to provide distinguished direction for pedestrian, cyclist, and vehicular access.
- Pedestrian common spaces are encouraged these should include functional amenities including lounge, dining and fun interactive and relaxation areas. Landscaping should not appear empty or barren.
- Large turfed lawn areas are discouraged.

#### 4.3.1 Conceptual Landscape Plan

The landscaping of the public spaces, including the community entries, street parkways, recreation center, paseo, and open space, is a major component of the overall community design envisioned for Starlite. Complementary to the unifying architectural themes, these landscape places form the heart and soul of the community. The overall landscape design concept is to create a pedestrian-friendly atmosphere that invites residents to walk and enjoy parks and open space and provides connectivity within the community. *Exhibit 4.1, Master Landscape Plan*, provides a detailed rendered view of the overall Specific Plan area and all proposed landscaping and vegetation.



**LEGEND**

1. Architecture building
2. Project boundary
3. 4' wide concrete sidewalk
4. Open play lawn area with shovel cut lawn edge
5. 3' wide concrete walkway at entry
6. Parking
7. Utility easement area
8. Decorative gateway trellis at paseo walkway
9. Cluster mailbox unit
10. Vehicular entry call box
11. Vehicular gated entry
12. Decorative 6' bench
13. Pedestrian access gate
14. 42" high tubular steel fence at private yard along Chico Avenue
15. 6' high vinyl fence at private yard area
16. 6' high tubular steel pool fence
17. Community recreation area



For illustrative purposes only, final design may vary.



**Exhibit 4.1, Master Landscape Plan**

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The Starlite Specific Plan presents a variety of opportunities for outdoor relaxation, recreation, and activity. These amenity areas may be programmed with an array of features and activity spaces, and shall be distributed throughout the Specific Plan area to ensure that they are easily accessible to all residents within the community.

All landscape and irrigation plans shall be prepared by a licensed California Landscape Architect and shall obtain a landscape permit from South El Monte and meet the standards of SEMMC Section 17.25.050, Water Efficient Landscaping Criteria.

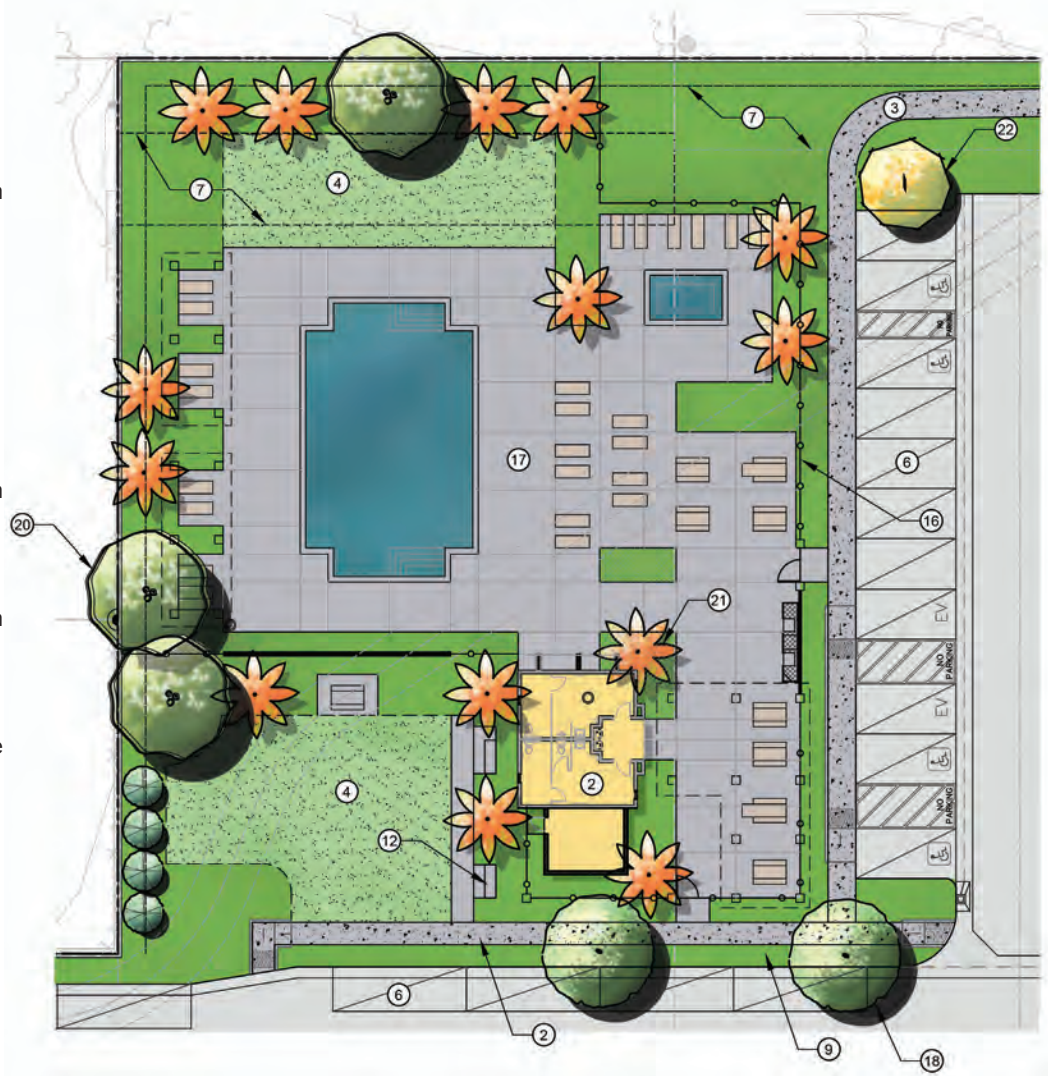
#### **4.3.1.1 Conceptual Recreational Center**

A conceptual recreational opportunity is proposed for development at the corner of the Specific Plan area. *Exhibit 4.2, Conceptual Recreation Center*, shows the detailed views of the recreation center. Features of the Conceptual Recreational Center include (but are not limited to):

- Pool/recreation building
- Concrete sidewalk
- Open play lawn area with shovel cut lawn edge
- Decorative bench
- Tubular steel pool fence
- Community recreation area
- Community accent tree
- Large accent /specimen tree
- Vertical accent tree
- Common area theme tree

LEGEND

- 2. Pool/recreation building
- 3. Concrete sidewalk
- 4. Open play lawn area with shovel cut lawn edge
- 5. Concrete walkway at entry
- 6. Parking
- 7. Utility easement area
- 12. Decorative bench
- 16. Tubular steel pool fence
- 17. Community recreation area
- 19. Community accent tree
- 20. Large accent /specimen tree
- 21. Vertical accent tree
- 22. Common area theme tree



For illustrative purposes only, final design may vary.



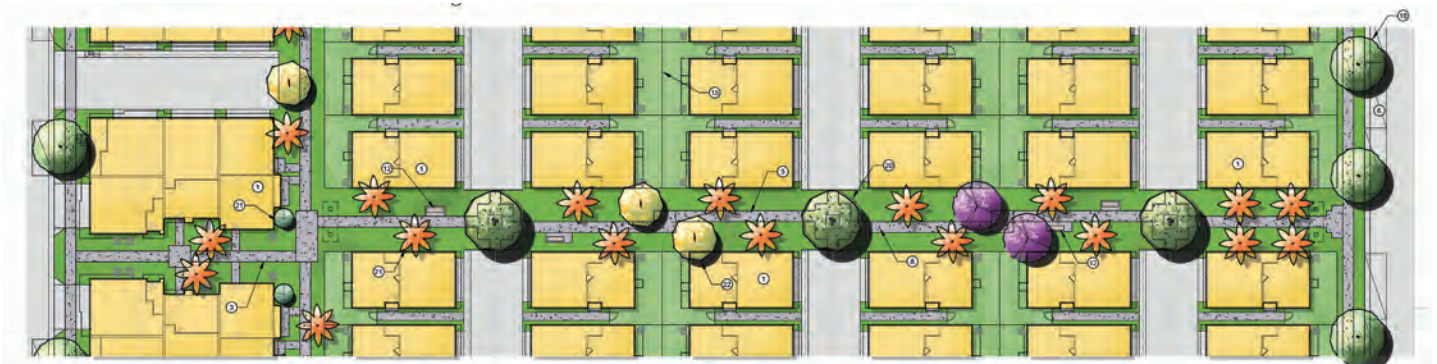
**Exhibit 4.2, Conceptual Recreational Center**

### 4.3.1.2 Project Entry

Two gated project entry drives will be provided from Rosemead Boulevard and Chico Avenue. Large specimen trees and vertical accent trees will be planted at the vehicular gated entry connecting to Chico Avenue. A vehicular entry call box is centrally located at the entry driveway. Detailed rendered view of the project entry at Chico Avenue is illustrated in *Exhibit 4.3, Project Entry*.

### 4.3.1.3 Central Paseo

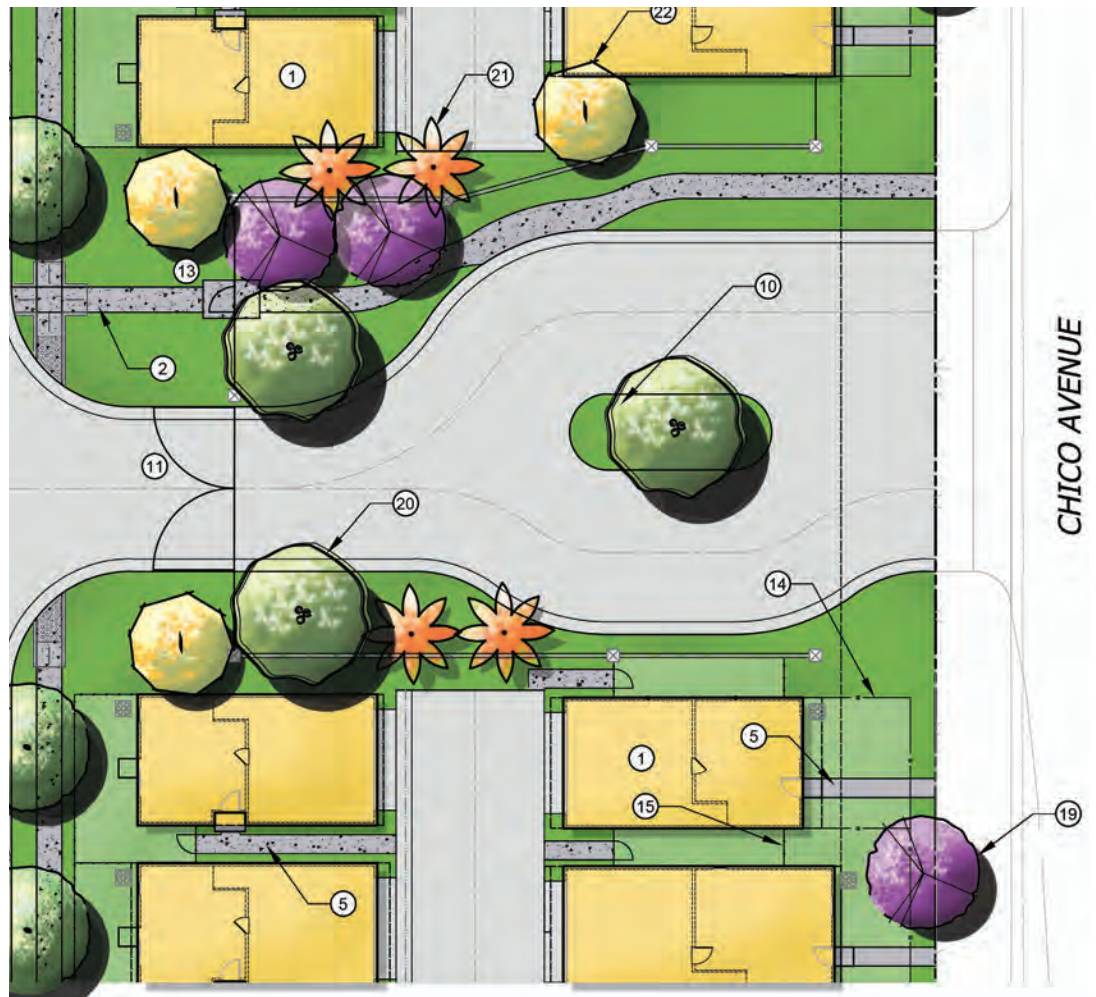
A central paseo is planned as one of the key placemaking elements within the Specific Plan area. The paseo focuses on interior community connections and the pedestrian experience. The entire paseo will be designed to offer Starlite residents a place for strolling, playing, and resting. The central paseo is anticipated to include a walkway with planted nodes, accent trees, enhanced planting, benches, and decorative gateway trellis. Fences will defined private yard areas and a variety of trees will be planted to promote interest.



*Representative Example, Central Paseo*

LEGEND

- 1. Residential building
- 2. Concrete sidewalk
- 4. Open play lawn area
- 5. Concrete walkway at entry
- 10. Vehicular entry call box
- 11. Vehicular gated entry
- 14. Tubular steel fence at private yard along Chico Avenue
- 18. Parkway tree
- 19. Community accent tree
- 20. Large accent /specimen tree
- 21. Vertical accent tree
- 22. Common area theme tree



For illustrative purposes only, final design may vary.



**Exhibit 4.3, Project Entry**



### 4.3.2 Fencing and Walls

Walls and fences are an important feature of the community. Walls and fences help establish and reinforce the landscape theme, provide for views in and out of a site, attenuate sound, provide security, delineate boundaries, and offer visual and physical privacy. Where such elements face the streets and common open space areas, they should be consistent in style, material, and height, serving as a unifying element throughout the community and maintaining a common theme.

- Perimeter project walls will be constructed of either masonry or tubular steel. Landscaping should be used in front of the masonry wall to soften the mass of the wall.
  - Rear and side yard walls and fences may be constructed of wood or vinyl fencing, and shall be a maximum of six (6) feet in height. Walls/fencing in the front yard is typically limited to 42 inches.
  - Use of wood or vinyl fencing for patio walls is encouraged. Tubular steel fencing or tubular steel fencing in combination with masonry walls may also be used.
  - Tubular steel fencing should be used around the pool area.
  - Pedestrian and vehicular gates within the Specific Plan area should be controlled via key fob access points as well as Knox box access.
- Walls, fences and gates shall be designed to be compatible with the architectural themes of the Specific Plan area. Landscaping should be used in combination with walls. Walls and fencing shall be made of attractive, durable, and weather-resistance materials.
  - Long expanses of fence or wall surfaces should be articulated with intervening pillars, alternating heights, offsets, or other techniques to avoid visual monotony.

### 4.3.3 Plant Palette

The plant palette include water-wise plant materials and establishes the intended landscape character for the Specific Plan area. Additional plant materials that are complementary to the following palette

may be permitted, provided they are reviewed and approved as part of the City's site plan review process. Recommended trees, shrubs, groundcovers, and vines are listed in *Table 4.1, Landscape Plant Palette*.

**Table 4-1  
Landscape Plant Palette**

Botanical Name	Common Name
<b>Parkway Tree</b>	
GEMERA PARVIFLORA	AUSTRAMAN WILLOW
KOELREUTERIA BIPINNATA	CHINESE FLAME TREE
PISTACIA CHINENSIS	CHINESE PISTACHE
QUERCUS AGRIFOLIA	COAST LIVE OAK
TRISTANIA CONFERTA	BRISBANE BOX
<b>Community Accent Tree</b>	
CALLISTEMON VIMINALIS	WEeping BOTTLEBRUSH
CHILOPSIS LINEARIS	DESERT WILLOW
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT
PLATANUS ACERIFOLIA	LONDON PLANE
RHUS LANCEA / AFRICAN	AFRICAN SUMAC
TRISTANIA CONFERTA	BRISBANE BOX
<b>Large Accent Specimen Tree</b>	
CHILOPSIS LINEARIS	DESSERT WILLOW
OLEA E. 'WILSONII'	FRUITLESS OLIVE VAR
RHUS LANCEA	AFRICAN SUMAC
QUERCUS AGRIFOLIA	COAST LIVE OAK
JUGLANS CALIFORNICA*	CALIFORNIA BLACK WALNUT*
<b>Vertical Accent Tree</b>	
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS
PHOENIX DACTYLIFERA	DATE PALM
PODOCARPUS NIACROPHYLLUS 'MAKI'	SHRUBBY YEW PODOCARPUS
PRUNUS C. 'BRIGHT N TIGHT'	CAROLINA LAUREL CHERRY
SYCAGRUS ROMANOFFZIANUM	QUEEN PALM
TRACHYCARPUS FORTUNEI	WINDMILL PALM
<b>Common Area Theme Tree</b>	
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE
CHIONANTHUS RETUSUS	CHINESE FRINGE TREE
KOELRUTERIA SPP	FLAME TREE
HETEROMELES ARBUTIFOLIA	TOYON
RHUS LANCEA	AFRICAN SUMAC

Background Shrubs	
ARBUS UNEDO	COMPACT STRAWBERRY TREE
BUXUS SPECIES	BOXWOOD
DODONEA MICROZYGA	BRILLIANT HOP-BUSH
GREVILLEA SPECIES	GREVILLIA
LEPTOSPERMUM SPECIES	NEW ZEALAND TEA TREE
LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET
PITTOSPORUM SPECIES	PITTOSPORUM
RHAPHIOLEPIS SPECIES	INDIAN HAWTHORNE
Midground Shrubs	
CALLISTEMON C. 'LITTLE JOHN'	DWARF BOTTLEBRUSH VAR
DIANELLA SPP.	FLAX LILY VAR.
DIETES IRIOIDES	FORTNIGHT LILY
JUNIPERUS CHINENSIS	JUNIPER VAR.
MUHLENBERGIA RIGENS	DEER GRASS
MYRSINE AFRICANA	AFRICAN BOXWOOD
MYRTUS C. 'COMPACTA'	DWARF MYRTLE
NANDINA DOMESTICA	HEAVENLY BAMBOO
PITTOSPORUM SPECIES	PITTOSPORUM
RHAPHIOLEPIS SPECIES	INDIAN HAWTHORNE
SALVIA SPECIES	SAGE VAR.
Accent Shrubs	
AGAPANTHUS SPECIES	LILY OF THE NILE
CAREX TUMULICOLA	BERKELEY SEDGE
HEMEROCALLIS SPP	DAY LILY
ROSMARINUS SPECIES	SAGE VAR.
SALVIA SPECIES	SAGE VAR.
Groundcover	
BACCHARIS PILULARIS	DWARF COYOTE BUSH VAR.
LONICERA JAPONICA	HONEYSUCKLE
MYOPORUM 'PARVIFOLIUM'	MYOPORUM VAR.
ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY VAR.
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE
Vines	
BIGNONIA C. 'TANGERINE BEAUTY'	CROSS VINE
DISTICTIS BUCCINATORIA	BLOOD RED TRUMPET VINE
MACFADYENA UNGUIS CATI	CAT'S CLAW
JASMINUM POLYANTHEMUM	PINK JASMINE

## 4.4 SUSTAINABILITY GUIDELINES

Smart growth is a planning paradigm that advocates thoughtful and sustainable development patterns and avoids urban sprawl to conserve resources, reduce impacts, promote alternatives to single occupancy vehicle use, support livability, offer opportunities for social engagement, and achieve fiscal sustainability. The Starlite Specific Plan embraces the smart growth paradigm. New development in the Specific Plan area will be sustainable designed to conform to the State of California’s goals for greenhouse gas reduction, conserving water and energy, and providing sustainable buildings, which in turn will reduce impacts on the environment, enhance the quality of life, and encourage a healthy lifestyle for project residents.

This Specific Plan requires “Green” building practices that meet the California Building Energy Efficiency Standards and CALGreen Building Standards (California Code of Regulations Title 24, Parts 6 and 11) to reduce the impact on the environment, decrease energy costs, and create healthier living through improved indoor air quality and safer building materials. Title 24 sets forth building standard requirements including, but not limited to, planning and site design, energy efficiency, water efficiency and conservation, material conservation and resource efficiency, waste reduction, indoor air quality and pollutant control, thermal comfort, and provisions for bicycle and electric vehicle parking.

All new development within the Specific Plan area is required to meet the rigorous standards of Title 24. The development will be inspected for compliance and will include an operation manual to help end-users maintain and effectively use the sustainable building features provided. Because the concept of sustainability is evolving, it is anticipated that new sustainable strategies may be continually developed during the build-out period of the Specific Plan. Title 24 does not require every efficiency item to be

implemented. A certain threshold needs to be met and the developer has the option to choose which items to implement that meet the specified threshold.

### 4.4.1 Energy Efficiency

The following recommendations are provided to explore opportunities for energy efficiency that could add value to the development within the Specific Plan area:

- Where feasible, utilize passive sustainable design strategies to minimize overall energy consumption needed to heat and cool the building. These strategies include daylighting, natural sources of heating and cooling, operable windows, shading on south facing windows, ceiling fans, well-designed building envelopes with high-U values (insulation rating).
- Encourage coordination with SCE to identify opportunities to optimize energy infrastructure while minimizing cost and avoid barriers that may prevent future entry or expansion of energy efficient systems.

### 4.4.2 Minimize Heat Island

- Encourage the use of low albedo (reflection coefficient) materials in both paving, roofing and building materials to reflect rather than absorb incoming solar radiation.



### 4.4.3 Water Efficiency

- Use low-flush toilets, low-flow shower heads and other water conserving fixtures and appliances.
- Use state-of-the-art irrigation controllers and self-closing nozzles on hoses.
- Minimize turf areas within the community.
- Use drought-tolerant plants that require minimal or no irrigation.
- Use reclaimed water for irrigation of common areas, wherever available.
- Implement a landscaping plan with a plant palette that includes trees and major landscaping that will require minimal watering within 3-5 years of maturity.
- Use dimensional planning and other material efficiency strategies. These strategies reduce the amount of building materials needed and lower construction costs.
- Incorporate recycled materials, rapidly renewable materials and durable materials into building, landscape and/or infrastructure design, where possible.
- Incorporate regional or locally extracted or manufactured materials, where possible.

### 4.4.4 Materials Efficiency

Where possible, consider selecting sustainable construction materials and products by evaluating characteristics such as reused and recycled content, zero or low off gassing of harmful air emissions, zero or low toxicity, sustainably harvested materials, high recyclability, durability, longevity, and local production. Such products promote resource conservation and efficiency. Using recycled-content products also helps develop markets for recycled materials that are being diverted from California's landfills, as mandated by the Integrated Waste Management Act.

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# 5

## DEVELOPMENT REGULATIONS

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### 5.1 GENERAL PROVISIONS

This Chapter establishes the permitted uses, development standards and regulations for the planned development within the Starlite Specific Plan area. The regulations and standards contained in this Chapter of the Specific Plan shall supersede those of the South El Monte Municipal Code (SEMMC), unless otherwise stated herein.

In instances of conflicting regulations and standards, the regulations and standards and contained in this Specific Plan shall take precedence over the SEMMC. If this Specific Plan is silent on an issue, then the standards in the SEMMC or other applicable City, state or federal code shall apply, as appropriate. The provisions in this Chapter are not intended to interfere with, abrogate, or annul any easement, covenant, or other agreement between parties.

Where the language in this Specific Plan is undefined, unclear, or vague, the final interpretation and determination shall be made by the Community Development Director, or his/her designee. Any determination by the Community Development Director may be appealed to the Planning Commission. Any determination by the Planning Commission may be appealed to the City Council. All decisions by the City Council shall be deemed final.

### 5.2 ALLOWABLE DEVELOPMENT

The Specific Plan permits a maximum of 207 single-family and multi-family residential dwelling units at a density of up to 16.8 dwelling units per acre within the Specific Plan area. Parks, recreation facilities and open space serving the residents within the Specific Plan area are also permitted.

### 5.3 PERMITTED USES WITHIN THE SPECIFIC PLAN AREA

Permitted uses are identified on *Table 5.1, Starlite Specific Plan Permitted Uses*. Any other use or activity not listed in Table 5.1 may be permitted within the Specific Plan if it is compatible with the intent of the Specific Plan and is similar to a permitted use, subject to approval by the Community Development Director or his/her designee. The Community Development Director may determine to allow the use or may require approval of a Conditional Use Permit, subject to the provisions of Section 17.08.040 of the SEMMC.



**Table 5.1  
Starlite Specific Plan Permitted Uses**

USES	
RESIDENTIAL, SINGLE-FAMILY AND MULTIPLE FAMILY	P
ACCESSORY BUILDINGS AND USES	P
COMMUNITY CARE FACILITIES	P
SMALL DAY CARE FACILITIES FOR NO MORE THAN 8 CHILDREN	P
HOME OCCUPATION	P
MOBILE HOME AND TRAILER	–
ACCESSORY DWELLING UNITS	Pursuant to Chapter 17.38 of the SEMMC
EMERGENCY, TRANSITIONAL AND SUPPORTIVE HOUSING	–
LARGE DAY CARE FOR NO MORE THAN 14 CHILDREN	CUP
PARKS AND RECREATION USES/FACILITIES	P
SCHOOLS, PUBLIC OR PRIVATE	–
INDUSTRIAL USES	–
COMMERCIAL USES	–
AGRICULTURAL USES	–
MODEL HOMES	T

- P = PERMITTED BY RIGHT
- CUP = CONDITIONAL USE PERMIT REQUIRED (PER CHAPTER 17.08.040 OF THE SEMMC)
- T = TEMPORARY USE
- = PROHIBITED

## 5.4 DEVELOPMENT STANDARDS

The property development standards set forth in this Chapter shall apply to all land and buildings located within the confines of the Starlite Specific Plan. For detailed development standards and setbacks, please see *Table 5.2, Starlite Specific Plan Development Standards*.

**Table 5.2**  
**Starlite Specific Plan Development Standards**

	DETACHED	ATTACHED
MAXIMUM DENSITY	16.8 DU/AC	
MAXIMUM NUMBER OF UNITS	207	
MINIMUM LOT DIMENSIONS	25 Wide by 50 Deep	N/A
MINIMUM LOT AREA	1,250 Square Feet	N/A
<b>HEIGHT</b>		
MAXIMUM BUILDING HEIGHT	36 Feet ( Three Stories)	
<b>LOT COVERAGE</b>		
MAXIMUM LOT COVERAGE	70%	
<b>MINIMUM SETBACK FROM<sup>1</sup></b>		
EXTERIOR PROPERTY LINE ALONG CHICO AVENUE	15 Feet	N/A
OTHER EXTERIOR PROPERTY LINES	9 Feet	10 Feet
INTERNAL STREET CURB EDGE	10 Feet	10 Feet
ALLEY DRIVE EDGE	3 Feet	3 Feet
<b>MINIMUM BUILDING SEPARATION</b>		
SIDE TO SIDE	6 Feet (Interior); 20 Feet (Across Paseo)	15 Feet
FRONT DOOR TO FRONT DOOR	N/A	20 Feet
REAR TO REAR (INTERIOR)	20 Feet	N/A
<b>ALLEY DRIVE MINIMUM WIDTH</b>	20 Feet	
<b>MINIMUM COMMON OPEN SPACE</b>	N/A	400 Square Feet per Unit
<b>RECREATIONAL FACILITIES</b>		
MINIMUM SETBACKS FROM PARKING	10 Feet	
MINIMUM SETBACKS FROM PROPERTY LINE	10 Feet	
MINIMUM SETBACKS FROM BUILDING OR STRUCTURE	20 Feet	
<b>PARKING</b>		
MINIMUM PARKING REQUIRED PER DWELLING UNIT	Two (2) Spaces within Garage; One Guest Parking per 2 Units. Guest parking may be provided in designated parking areas or along internal streets.	Two (2) Spaces within Garage; One Guest Parking per 2 Units. Guest parking may be provided in designated parking areas or along internal streets.

1. Projections and encroachments subject to Section 5.5, Allowable and Encroachments and Projections

## **5.5 ALLOWABLE ENCROACHMENTS AND PROJECTIONS**

An encroachment is a permitted projection into a setback. In all cases, all encroachments and projections shall comply with the California Building Code (CBC), as well as other applicable codes and regulations such as the American Disability Act and the SEMMC. The permitted encroachments are discussed below.

1. Architectural elements such as cornices, eaves, belt courses, bay windows, planter boxes, lighting fixtures, canopies, and the like that do not increase the interior floor area may encroach into any setback, provided they are at least three (3) feet from the property line.
2. Awnings may encroach into any required setback up to five (5) feet, provided there are no vertical supports located within the setback area, but may not reduce the setback distance to less than three (3) feet.
3. Landscape elements such as benches, fountains, and other decorative features may encroach into any setback, provided they do not obstruct any path of travel or intersection visibility requirements per Chapter 17.54 of the SEMMC.
4. Mechanical equipment may encroach into any required setback area up to the property line, provided the equipment is screened by landscape or material (e.g. wall) to the maximum extent feasible and allowed by the applicable utility provider.
5. Patio covers and porches may be permitted to encroach up to five (5) feet into any rear setback (measured from post or structural supports).

6. Balconies and exterior stairways may encroach up to five (5) feet into any setback, but shall be at least five (5) feet from any property line (including any posts or structural supports).
7. Accessory buildings are permitted to encroach into a required setback, subject to the provisions of Section 17.26 of the SEMMC.

## **5.6 FENCES AND WALLS**

Walls and fences for the Specific Plan area shall not exceed 6 feet in height. A combination garden and retaining wall may increase the minimum wall height to 8 feet in height. Pilasters and other wall decorative elements are allowed. Tubular steel fence at private yard along Chico Avenue shall be 42 inch in height.

## **5.7 SIGNAGE**

Signage within the Specific Plan area shall comply with the design requirements and procedures found within Title 17 of the SEMMC.