



Referral Early Consultation

Date: March 11, 2022
To: Distribution List (See Attachment A)
From: Teresa McDonald, Associate Planner
 Planning and Community Development
Subject: USE PERMIT APPLICATION NO. PLN2022-0011 – AMERICAN CHEVROLET
Respond By: March 28, 2022

******PLEASE REVIEW REFERRAL PROCESS POLICY******

The Stanislaus County Department of Planning and Community Development is soliciting comments from responsible agencies under the Early Consultation process to determine: a) whether or not the project is subject to CEQA and b) if specific conditions should be placed upon project approval.

Therefore, please contact this office by the response date if you have any comments pertaining to the proposal. Comments made identifying potential impacts should be as specific as possible and should be based on supporting data (e.g., traffic counts, expected pollutant levels, etc.). Your comments should emphasize potential impacts in areas which your agency has expertise and/or jurisdictional responsibilities.

These comments will assist our Department in preparing a staff report to present to the Planning Commission. Those reports will contain our recommendations for approval or denial. They will also contain recommended conditions to be required should the project be approved. Therefore, please list any conditions that you wish to have included for presentation to the Commission as well as any other comments you may have. Please return all comments and/or conditions as soon as possible or no later than the response date referenced above.

Thank you for your cooperation. Please call (209) 525-6330 if you have any questions.

Applicant: David Halvorson, American Chevrolet
Project Location: East Galaxy Way, between McHenry Avenue/State Route 108 and Coffee Road, in the Modesto area.
APN: 082-006-073
Williamson Act Contract: N/A
General Plan: Planned Development
Current Zoning: Planned Development (P-D) (244) & P-D (280)

Project Description: Request to construct a 1,200 square-foot storage building accessory to an existing car dealership on an 8.51± acre parcel in the Planned Development (P-D) (244) and (280) zoning districts. The building will be utilized to store miscellaneous parts for the dealership and will be located in an existing parking lot developed under P-D (244), which was approved by the Board of Supervisors on April 18, 2000 under General Plan Amendment and Rezone No. 2000-03 – American Chevrolet-GEO, allowing the site to be developed as overstock storage for the existing car dealership. Subsequently, P-D (280) was approved by the Board of Supervisors on April 15, 2003 under General Plan Amendment No. 2002-05 and Rezone No. 2002-14 – American Chevrolet, to expand the existing overstock storage. As the prior approvals were only for parking, a Use Permit is required to amend the development plan in accordance with Chapter 21.40.080(B) of the Zoning Ordinance to allow for development of the proposed building. If approved, this request would not

allow for development of any additional or separate dealership operations. The site has access to County-maintained East Galaxy Way and is served by the City of Modesto for water and private septic for sewer.

Full document with attachments available for viewing at:

<http://www.stancounty.com/planning/pl/act-projects.shtm>



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

1010 10TH Street, Suite 3400, Modesto, CA 95354
 Planning Phone: (209) 525-6330 Fax: (209) 525-5911
 Building Phone: (209) 525-6557 Fax: (209) 525-7759

USE PERMIT APPLICATION NO. PLN2022-0011 – AMERICAN CHEVROLET

Attachment A

Distribution List

	CA DEPT OF CONSERVATION Land Resources / Mine Reclamation		STAN CO ALUC
X	CA DEPT OF FISH & WILDLIFE		STAN CO ANIMAL SERVICES
	CA DEPT OF FORESTRY (CAL FIRE)	X	STAN CO BUILDING PERMITS DIVISION
X	CA DEPT OF TRANSPORTATION DIST 10	X	STAN CO CEO
X	CA OPR STATE CLEARINGHOUSE		STAN CO CSA
X	CA RWQCB CENTRAL VALLEY REGION	X	STAN CO DER
	CA STATE LANDS COMMISSION	X	STAN CO ERC
	CEMETERY DISTRICT		STAN CO FARM BUREAU
	CENTRAL VALLEY FLOOD PROTECTION	X	STAN CO HAZARDOUS MATERIALS
X	CITY OF: MODESTO		STAN CO PARKS & RECREATION
	COMMUNITY SERVICES DIST:	X	STAN CO PUBLIC WORKS
X	COOPERATIVE EXTENSION		STAN CO RISK MANAGEMENT
	COUNTY OF:	X	STAN CO SHERIFF
	DER GROUNDWATER RESOURCES DIVISION	X	STAN CO SUPERVISOR DIST 4: GREWAL
X	FIRE PROTECTION DIST: STANISLAUS CONSOLIDATED	X	STAN COUNTY COUNSEL
X	GSA: STRGBA		StanCOG
	HOSPITAL DIST:	X	STANISLAUS FIRE PREVENTION BUREAU
X	IRRIGATION DIST: MID	X	STANISLAUS LAFCO
X	MOSQUITO DIST: EASTSIDE		STATE OF CA SWRCB DIVISION OF DRINKING WATER DIST. 10
X	MOUNTAIN VALLEY EMERGENCY MEDICAL SERVICES		SURROUNDING LAND OWNERS
	MUNICIPAL ADVISORY COUNCIL:	X	TELEPHONE COMPANY: AT&T
X	PACIFIC GAS & ELECTRIC		TRIBAL CONTACTS (CA Government Code §65352.3)
	POSTMASTER:		US ARMY CORPS OF ENGINEERS
	RAILROAD:		US FISH & WILDLIFE
X	SAN JOAQUIN VALLEY APCD		US MILITARY (SB 1462) (7 agencies)
X	SCHOOL DIST 1: MODESTO UNION		USDA NRCS
X	SCHOOL DIST 2: SYLVAN UNION		WATER DIST:
	WORKFORCE DEVELOPMENT		
X	STAN CO AG COMMISSIONER		
	TUOLUMNE RIVER TRUST		

**STANISLAUS COUNTY
CEQA REFERRAL RESPONSE FORM**

TO: Stanislaus County Planning & Community Development
1010 10th Street, Suite 3400
Modesto, CA 95354

FROM: _____

SUBJECT: USE PERMIT APPLICATION NO. PLN2022-0011 – AMERICAN CHEVROLET

Based on this agency's particular field(s) of expertise, it is our position the above described project:

- Will not have a significant effect on the environment.
- May have a significant effect on the environment.
- No Comments.

Listed below are specific impacts which support our determination (e.g., traffic general, carrying capacity, soil types, air quality, etc.) – (attach additional sheet if necessary)

- 1.
- 2.
- 3.
- 4.

Listed below are possible mitigation measures for the above-listed impacts: *PLEASE BE SURE TO INCLUDE WHEN THE MITIGATION OR CONDITION NEEDS TO BE IMPLEMENTED (PRIOR TO RECORDING A MAP, PRIOR TO ISSUANCE OF A BUILDING PERMIT, ETC.):*

- 1.
- 2.
- 3.
- 4.

In addition, our agency has the following comments (attach additional sheets if necessary).

Response prepared by:






Name Title Date

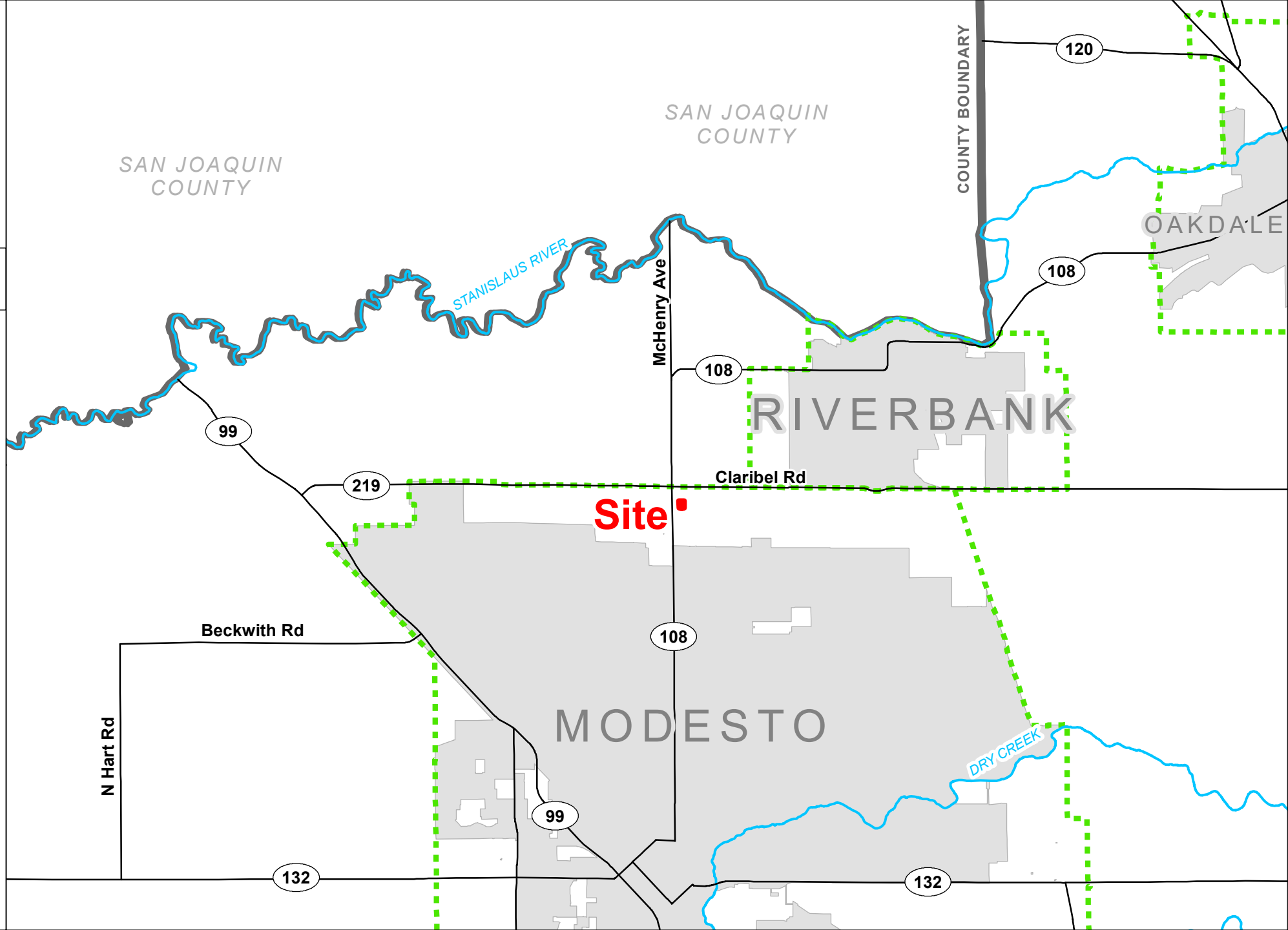
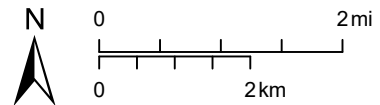
AMERICAN CHEVROLET

UP PLN2022-0011

AREA MAP

LEGEND

-  Project Site
-  Sphere of Influence
-  City
-  Road
-  River







AMERICAN CHEVROLET


UP PLN2022-0011

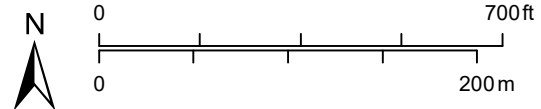
GENERAL PLAN MAP

LEGEND

-  Project Site
-  Sphere of Influence
-  Parcel
-  Road

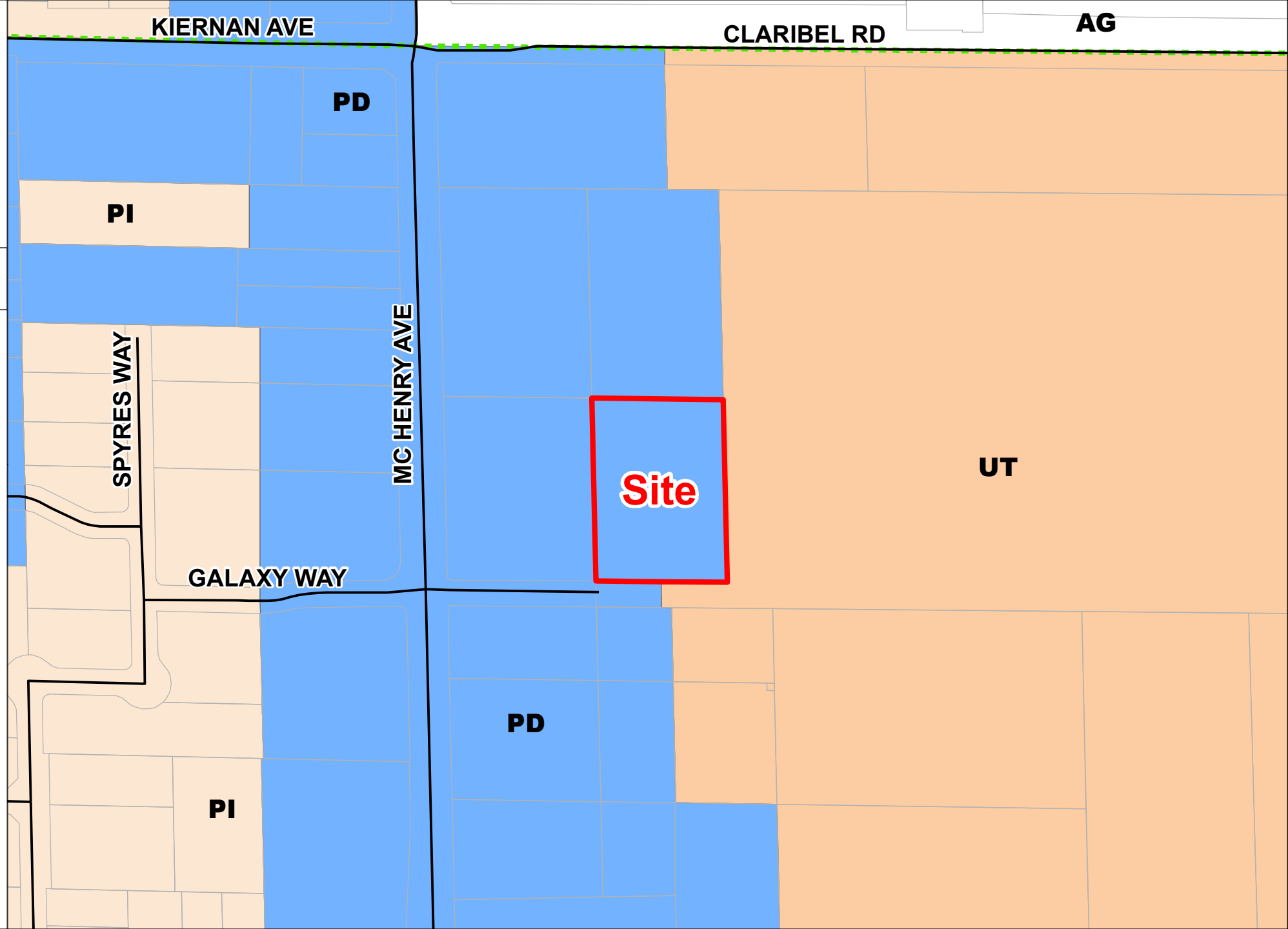
General Plan

-  Agriculture
-  Planned Development
-  Planned Industrial
-  Urban Transition



Source: Planning Department GIS





Date: 2/17/2022





AMERICAN CHEVROLET UP PLN2022-0011

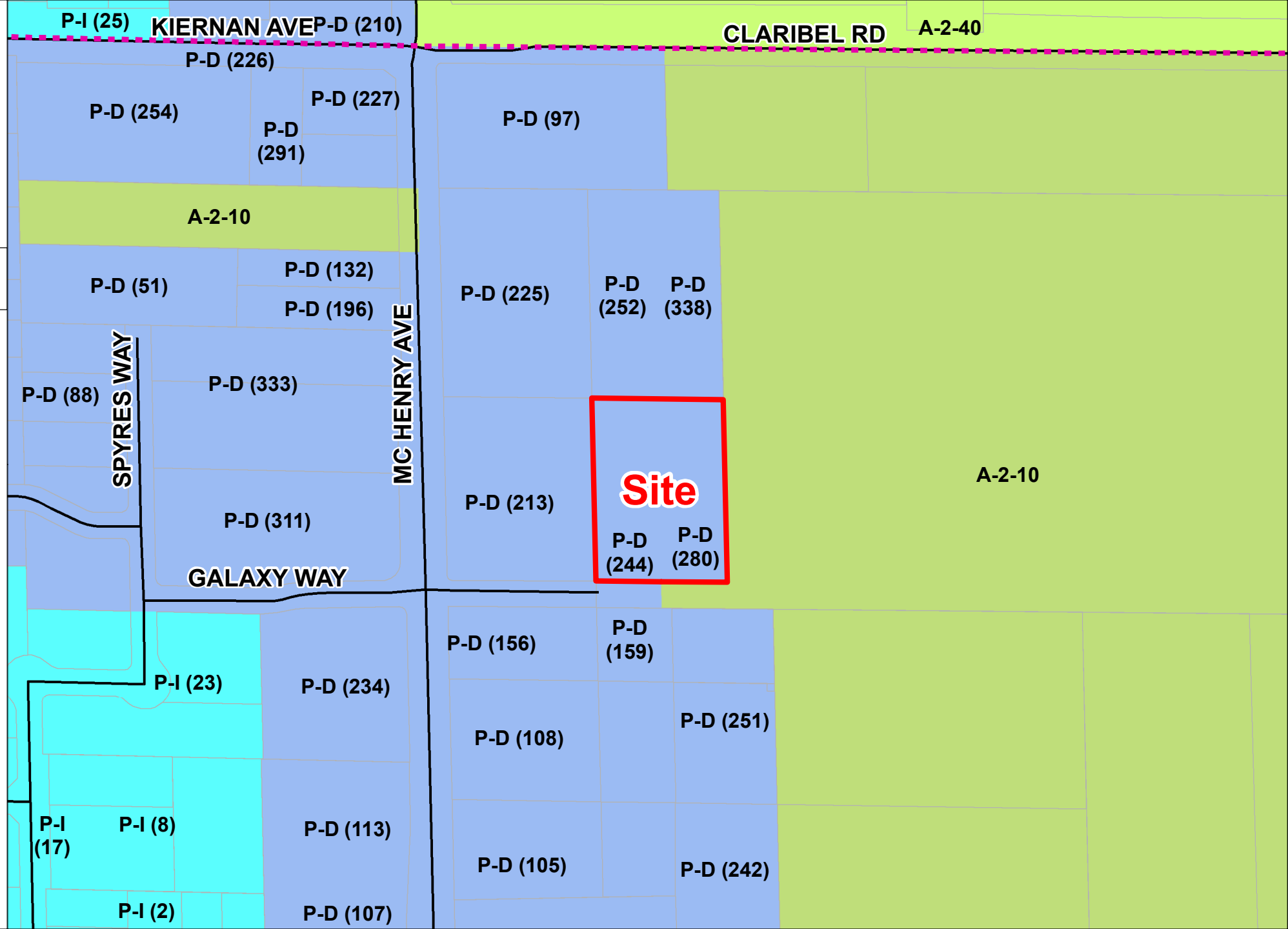
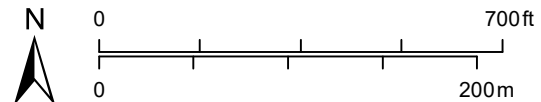
ZONING MAP

LEGEND

-  Project Site
-  Sphere of Influence
-  Parcel
-  Road

Zoning Designation

-  General Agriculture 10 Acre
-  General Agriculture 40 Acre
-  Planned Development
-  Planned Industrial



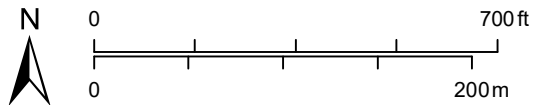
AMERICAN CHEVROLET

UP PLN2022-0011

2021 AERIAL AREA MAP

LEGEND

-  Project Site
-  Sphere of Influence
-  Road



AMERICAN CHEVROLET

UP PLN2022-0011

2021 AERIAL SITE MAP

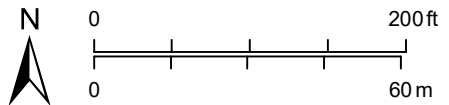
LEGEND

 Project Site

 Road

MC HENRY AVE

Site






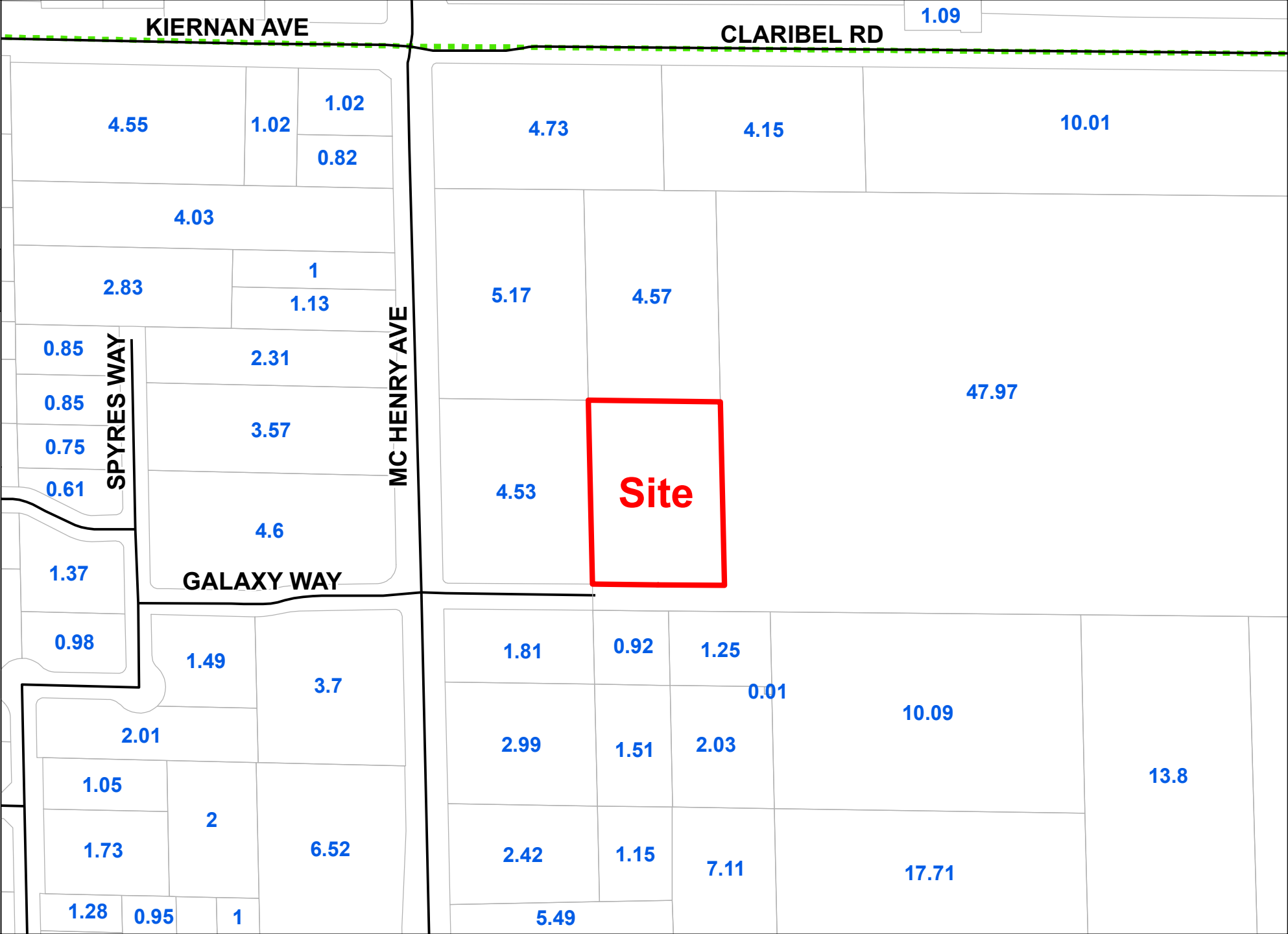
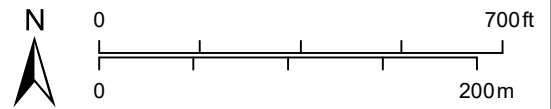
AMERICAN CHEVROLET

UP PLN2022-0011

ACREAGE MAP

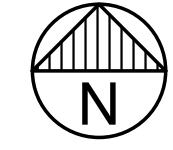
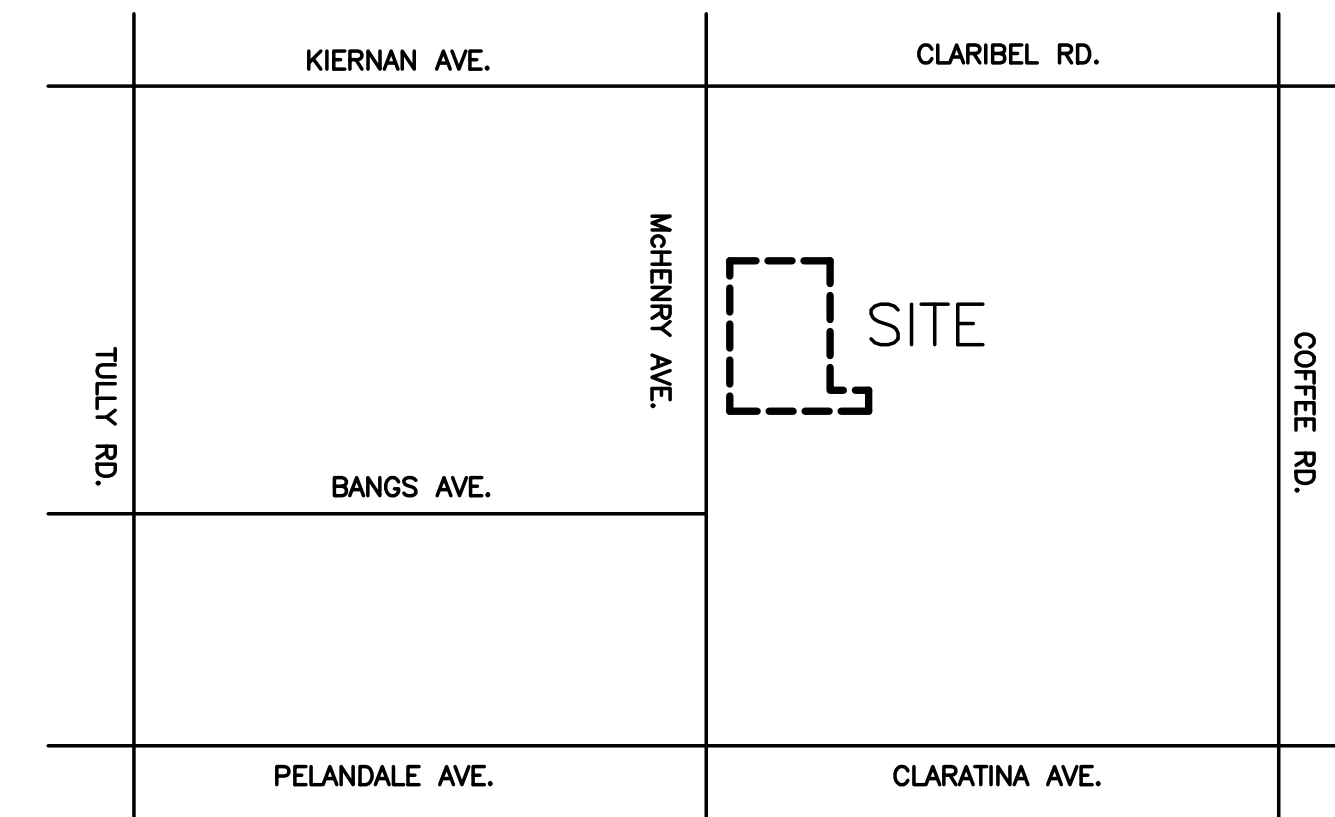
LEGEND

-  Project Site
-  Sphere of Influence
-  Parcel/Acres
-  Road



AMERICAN CHEVROLET STORAGE BUILDING ADDITION

4742 McHENRY AVE.
MODESTO, CA 95356



AGG	AGGREGATE	INT	INTERCOM
A/C	AIR CONDITIONER	INTR	INTERIOR
AL	ALUMINUM	JT	JOINT
AB	ANCHOR BOLT	LB	LAGBOLT
●	AT	LAV	LAVATORY
ABV	ABOVE	LT	LIGHT
BLK'G	BLOCKING	MAX	MAXIMUM
BD	BOARD	MIN	MINIMUM
BUR	BUILT UP ROOFING	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NTS	NOT TO SCALE
CCJ	CONCRETE COLD JOINT	O/	OVER
CJ	COLD JOINT	OBS	OBSCURE
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	OC	ON CENTER
CLG	CEILING	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
COL	COLUMN	OFOI	OWNER FURNISHED CONTRACTOR INSTALLED
CONC	CONCRETE	OWNER	OWNER INSTALLED
CMU	CONCRETE MASONRY UNIT	OH	OVERHEAD
CONT	CONTINUOUS OR CONTINUE	PVMT	PAVEMENT
DET	DETAIL	PL	PLATE
DIAG	DIAGONAL	PLN	PLAN
DS	DOWN SPOUT	PLYWD	PLYWOOD
DWGS	DRAWINGS	PT	PRESSURE TREATED
DIA	DIAMETER	RAD	RADIUS
EJ	EXPANSION JOINT COVER	RD	ROOF DRAIN
ELECT	ELECTRICAL	RFG	ROOFING
ELEV	ELEVATION	RM	ROOM
EQ	EQUAL	SCH	SCHEDULE
(E)	EXISTING	SHT	SHEET
EXH	EXHAUST	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FOS	FACE OF STUD	SQ	SQUARE
FLUOR	FLUORESCENT	STD	STANDARD
FIN	FINISHED	STOR	STORAGE
FLR	FLOOR	SYS	SYSTEM
FD	FLOOR DRAIN	TEL	TELEPHONE
FTG	FOOTING	THK	THICK
FND	FOUNDATION	T&G	TONGUE & GROOVE
GA	GAUGE	T.O.P.R.	TOP OF PARAPET
GALV	GALVANIZED	TYP	TYPICAL
GL	GLASS OR GLAZING	UON	UNLESS OTHERWISE NOTED
GYP BD	GYPSPUM DRY WALL	VAC	VACUUM
HDR	HEADER	V	VACUUM (WALL OUTLET)
HVAC	HEATING / VENTILATION/ AIR CONDITIONING	WC	WATER CLOSET
HT	HEIGHT	WD	WOOD
HORIZ	HORIZONTAL	W/O	WITHOUT
HB	HOSE BIBB	WP	WEATHER OR WATER PROOF

GENERAL PROJECT NOTES:

- ON-SITE VERIFICATION OF ALL DIMENSIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR FOR HIS INDIVIDUAL WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CORRECTIONS PRIOR TO COMMENCING THE AFFECTED WORK. THE RESPONSIBILITY FOR WORK COMPLETED WITHOUT PROPER NOTIFICATION SHALL BE BORN BY THE INDIVIDUAL CONTRACTOR INVOLVED. CONTRACTOR AND SUB-CONTRACTOR SHALL HAVE A WORKING KNOWLEDGE OF ALL CODES APPLICABLE TO THIS PROJECT. ALL WORK PERFORMED IN THE CONNECTION WITH THESE CONTRACT DOCUMENTS SHALL CONFORM TO ALL REQUIREMENTS FOR THE PHYSICAL HANDI-CAPED AND COMPLY WITH ALL STATE, LOCAL CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE PROJECT SHALL COMPLY WITH FOLLOWING CODES:
A- 2019 CALIFORNIA BUILDING CODE, C.B.C.
B- 2019 CALIFORNIA MECHANICAL CODE, C.M.C.
C- 2019 CALIFORNIA ELECTRICAL CODE, C.E.C.
D- 2019 CALIFORNIA PLUMBING CODE, C.P.C.
E- 2019 CALIFORNIA FIRE CODE, C.F.C.
F- 2019 CALIFORNIA GREEN CODE, C.G.C.
G- 2019 CALIFORNIA ENERGY CODE, C.E.C.
H- 2019 CALIFORNIA BUILDING STANDARD CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF STANISLAUS.
I- 2106 CALIFORNIA BUILDING CODE & ALL APPLICABLE COUNTY OF STANISLAUS CODES & ORDINANCES.
- CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND SITE AND TRAFFIC CONTROL SIGNS AS NEEDED, TO SECURE BUILDING AGAINST VANDALISM AND MAINTAIN PUBLIC SAFETY.
- ANY CHANGE ORDERS MUST BE APPROVED IN WRITING BY THE ENGINEER AND THEN BY THE OWNER, PRIOR TO BEGINNING.
- A REGULAR SCHEDULE OF PROJECT MEETINGS WILL BE ESTABLISHED DURING THE COURSE OF CONSTRUCTION. THE ENGINEER, OWNER, CONTRACTOR AND MAJOR SUB-CONTRACTORS WILL MEET MONTHLY OR AS SCHEDULED FOR PROJECT CLARIFICATIONS.
- PRIOR TO BEGINNING THE WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD. THE ENGINEER, OWNER, CONTRACTOR AND MAJOR SUB-CONTRACTORS WILL ATTEND TO DISCUSS RELEVANT CONSTRUCTION ISSUES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS AND ANY MATERIAL TESTING REQUIRED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ENCROACHMENT PERMITS AND CITY FEES FOR CONSTRUCTION ITEMS INCURRED AFTER THE BUILDING PERMIT HAS BEEN PROCURED, EXCLUDING ITEMS RELATED TO LANDSCAPING AND IRRIGATION.
- COMMERCIAL-INDUSTRIAL BACKFLOW PREVENTION DEVICES ARE EXISTING AND TO REMAIN. DOMESTIC AND LANDSCAPING: REDUCE PRESSURE PRINCIPLE, INSTALL 12" MIN. ABOVE GROUND. HOSE BIBS: VACUUM BREAKER, INSTALL 6" MIN. ABOVE HIGHEST OUTLET.
- ADA SIGNAGE SHALL BE PROVIDED AT ALL ENTRANCES TO THE PARKING LOT, AT ALL HANDICAPPED PARKING STALLS, AT ALL PRIMARY ENTRANCES TO THE BUILDING, AND AT HANDICAPPED RESTROOMS.
- ALL PARTS OF CONSTRUCTION AND THE PATH OF TRAVEL TO THE AREAS DESIGNATED OR REQUIRED TO BE ACCESSIBLE, SHALL COMPLETELY CONFORM TO THE CURRENT TITLE 24 ACCESSIBILITY STANDARDS.

FOOTING PREPARATION

- ALL EXCAVATIONS, PREPARATION FOR SLAB-ON-GRADE, DEPTH OF FOOTING, BACK FILL, ETC. SHALL CONFORM WITH CBC CHAPTER 1804.2 AND CBC APPENDIX 106.1 BUILDING FOUNDATION SHALL CONFIRM TO TABLE 1804.2 OF THE 2019 CBC. SOIL TYPE IS CLASS "D", SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT ALLOWABLE SOIL BEARING PRESSURE IS TO BE 1500 LBS/SF, MIN OF 12" DEEP FOOTING INTO NATURAL GRADE OR 90% REL. COMPACTED GRADE.

FIRE DEPARTMENT NOTES:

- PROVIDE APPROVED STREET ADDRESS/SUITE NUMBER POSITIONED SUCH AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND WITH A MIN. OF 10" HIGH CHARACTER WITH 3/4" STROKE, PER C.F.C. 505. PROVIDE 6"-8" HIGH CHARACTER WITH 3/4" STROKE BUILDING DESIGNATORS LETTER AT EACH BUILDING.
- PROVIDE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-40-B-C & SHALL BE PROVIDED SUCH THAT NO POINT IN THE BUILDING IS FURTHER THAN 75' TRAVEL DISTANCE TO AN EXTINGUISHER. EXTINGUISHERS SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO MORE THAN 4' ABOVE FLOOR LEVEL. FIRE EXTINGUISHER TO BE SECURED WITHIN 10 TO 15 FEET OF TANK IN A CABINET PROTECTED FROM THE WEATHER.
- PROVIDE A KNOX BOX AND SHALL BE MOUNTED APPROXIMATELY 7' ABOVE FINISH GRADE, TO THE RIGHT OF MAIN ENTRANCE OF THE BUILDING. INSTALLATION SHALL BE APPROVED BY FIRE MARSHAL.
- THERE IS NO HIGH-PILE STORAGE AT THIS BUILDING.
- WHEN MANUALLY OPERATED GATES CROSS REQUIRED FIRE ACCESS LANES, OR PREVENT ACCESS TO BUILDING, A KNOX PADLOCK OR KNOX KEY BOX SHALL BE INSTALLED AT ACCESS GATE. ELECTRICALLY OPERATED GATES THAT CROSS FIRE ACCESS LANES SHALL BE REQUIRED TO BE EQUIPPED WITH OPTICOM TYPE STROBE LIGHT SYSTEM OR KNOX KEY SWITCH USED BY THE STANISLAUS CONSOLIDATED FIRE PROTECTION DISTRICT.

GENERAL CONSTRUCTION NOTES:

- WHERE NEW WORK TIES INTO EXISTING CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION AS REQUIRED TO RESTORE IT TO ITS ORIGINAL FINISH. TIE THE NEW WORK INTO EXISTING IN A NEAT AND CRAFTSMAN LIKE MANNER SO THAT NEW BLINDS WITH A SMOOTH AND LEVEL SURFACE INTO ADJACENT WORK.
- WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS.
- ALL WORK SHALL BE DONE IN A NEAT AND WORKMAN LIKE MANNER ACCORDING TO THE BEST TRADE PRACTICE BY THOSE SKILLED IN THE PARTICULAR TRADE, EQUIPMENT, FIXTURES, PIPING, ETC., SHALL BE PLUMB, LEVEL, SQUARE OR CENTERED ETC., EQUIPMENT TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- ALL EXISTING CONDITIONS NOT SHOWN OR INDICATED ON THESE PLANS ARE TO REMAIN UNCHANGED. FIELD VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS. ANY DISCREPANCY BETWEEN DRAWINGS AND ACTUAL WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CORRECTION PRIOR TO COMMENCING WITH THE WORK.
- ALIGNMENT TAKE PRECEDENT OVER DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS IMMEDIATELY UPON COMPLETION OF HIS DAILY WORK.
- CONSTRUCTION SHALL COMPLY WITH APPLICABLE EDITION OF CALIFORNIA BUILDING CODE, ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE WORK. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- CONTRACTOR AND HIS OR HER SUBCONTRACTOR TO HAVE WORKING KNOWLEDGE OF ALL CODES APPLICABLE TO THEIR WORK.
- COORDINATE ALL WORK AND CONSTRUCTION SCHEDULING WITH OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE BARRICADES, PROTECTIVE COVERINGS, WARNING SIGNS, ETC. TO PREVENT ANY HARM TO WORKERS, EMPLOYEES AND/OR THE GENERAL PUBLIC.
- GENERAL CONTRACTOR SHALL MAKE AVAILABLE COMPLETE SETS OF CONSTRUCTION DOCUMENTS TO HIS OR HER SUBCONTRACTORS FOR REVIEW. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SETS AND COORDINATING ITEMS WHICH PERTAIN TO HIS OR HER WORK WITH OTHER TRADES PRIOR TO COMMENCING WITH THE WORK.
- IT IS NOT INTENDED THAT THE CONTRACT DOCUMENTS INCLUDE EACH AND EVERY SUBSYSTEM AND SUB-COMPONENT NECESSARY TO FULLY AND PROPERLY COMPLETE THE WORK. SUBSYSTEMS, SUB-COMPONENTS OR DETAILS REQUIRED OR NORMALLY INCLUDED AS TRADE PRACTICE MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. NEVERTHELESS, CONTRACTOR SHALL BE RESPONSIBLE FOR EACH ELEMENT OF THE WORK.
- ALL NEW WALL FINISHES, (COVERINGS AND PAINTS) SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.
- ALL INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS, SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH U.B.C. STANDARD NO. 8-1 AND C.B.C. SECTION 707.

SPECIAL INSPECTION PROVISIONS:

- A SPECIAL INSPECTION SHALL BE PERFORMED BY A QUALIFIED SPECIAL INSPECTOR RETAINED BY THE OWNER & APPROVED BY THE BUILDING OFFICIAL TO ACT AS A SPECIAL INSPECTOR FOR THE FOLLOWING TYPE OF CONSTRUCTION IN ACCORDANCE WITH C.B.C. SECTION 1704, 1705, 1707.
 - OBSERVATION OF SUBGRADE PREPARATION AND FOUNDATION CONSTRUCTION OPERATIONS GEOTECHNICAL ENGINEER. CBC 1704.7 (NOT REQUIRED)
 - PLACEMENT OF CONCRETE REINFORCEMENT. CBC 1704.4 (NOT REQUIRED)
 - CONCRETE PLACEMENT AND STRENGTH TESTING. CBC 1704.4 (NOT REQUIRED)
 - ALL WELDING WITH THE EXCEPTION OF SHOP WELDING DONE IN AN APPROVED FABRICATOR'S SHOP IN ACCORDANCE WITH CBC 1704.3.1 (NOT REQUIRED)
 - SUSPENDED CEILING SYSTEMS AND THEIR ANCHORAGE. CBC 1705.3.4, ITEM 3 (NOT REQUIRED)
 - STRUCTURAL WOOD CONSTRUCTION, CBC 1707.3 (NOT REQUIRED)
 - HIGH-STRENGTH BOLTS, C.B.C. 1704.3.3 (REQUIRED AT STEEL BUILDING FRAME)
 - RED HEAD EPOXY ANCHOR BOLTS, C.B.C. 1704.3.3 (NOT REQUIRED)
 - MECHANICAL (WEDGE) ANCHOR BOLTS, C.B.C. 1704.3.3 (NOT REQUIRED)
- THE PERMIT APPLICANT SHALL RETAIN THE SERVICES OF A RESPONSIBLE ENGINEER APPROVED BY THE BUILDING OFFICIAL TO ENSURE THAT:
 - ALL ELEMENTS OF CONSTRUCTION WHICH REQUIRE SPECIAL INSPECTION ARE INSPECTED BY QUALIFIED INSPECTOR, AND,
 - ALL CODE DEFICIENCIES DETECTED AND DEVIATIONS FROM APPROVED PLANS ARE BROUGHT TO ATTENTION OF CONTRACTOR, ARCHITECT AND ENGINEER SO THAT REVISED DESIGN CAN BE PREPARED FOR APPROVAL BY BUILDING OFFICIAL AT CONTRACTOR EXPENSE.
 - ALL CORRECTIVE WORK REQUIRED IS COMPLETED IN ACCORDANCE WITH APPROVED PLANS, SPECIFICATIONS & CITY ADOPTED CODES AT NO EXTRA CHARGE TO THE OWNER.
- A FINAL REPORT, SIGNED BY THE INSPECTOR AND THE RESPONSIBLE ENGINEER

VICINITY MAP

ACCESSOR PARCEL NO. APN 082-006-053
 ZONING C (COMMERCIAL)
 (E) BUILDING USE AUTO DEALERSHIP
 (N) BUILDING ADDITION USE STORAGE
 BUILDING OCCUPANCY TYPE: S-1
 CONSTRUCTION TYPE: IIB

PROPOSED BUILDING AREA:
 (N) STORAGE AREA: = 1,200 S.F.
 NO FIRE SPRINKLER SYSTEM AT (N) STORAGE BUILDING

ALLOWABLE AREA CALC:
 ALLOWABLE BUILDING AREA PER C.B.C. SECTION 506.507:
 $A_o = [At + [At \times If] + [At \times Is]]$
 $At = 17,500 \text{ S.F.}$
 $If = [F/P - 0.25] W/30$
 $If = [275/324 - 0.25] 30/30 = 0.60$
 $F = 275'$
 $P = 324'$
 $W = 113'(393') + 49'(178') + 113'(337') / 324' = 282 > 30$
 USE MAX. $W=30$
 $Is = 3.0 \text{ PER C.B.C. SEC. 506.3}$
 $A_o = [17,500 + [17,500 \times 0.6] + [17,500 \times 0.0]] = 27,978 \text{ S.F.}$
 $27,978 \text{ S.F.} > 5,537 \text{ S.F.}, \text{ THEREFORE OK}$

PER TABLE 602 @ S-1
 ALL EXTERIOR WALLS ARE $\geq 10'$ FROM PROPERTY
 NO FIRE RATING REQUIRED.

THERE WILL NOT BE ANY HAZARDOUS MATERIAL STORED IN THIS BUILDING. THERE WILL NOT BE ANY HIGH PILE STORAGE IN THIS BUILDING.

ANY PARTS WITH PLASTICS SHALL BE STORED BELOW 6' FROM FINISH FLOOR.

BUILDING DATA

NOTE:
 1. NEW PRE-MANUFACTURED STEEL STORAGE BUILDING.

SCOPE OF WORK

SHEET NO.	DESCRIPTION
T-1	TITLE PAGE, GENERAL NOTES & BUILDING DATA
A-1	SITE PLAN
A-2	PROPOSED FLOOR PLAN & ELECTRICAL PLAN
A-3	EXTERIOR ELEVATIONS
A-4	FOUNDATION PLAN & DETAILS
A-5	ROOF PLAN & BUILDING SECTION
EN-1	ENERGY FORMS - TITLE 24
1 THRU 8	STEEL BUILDING PLANS BY OTHERS

SHEET INDEX

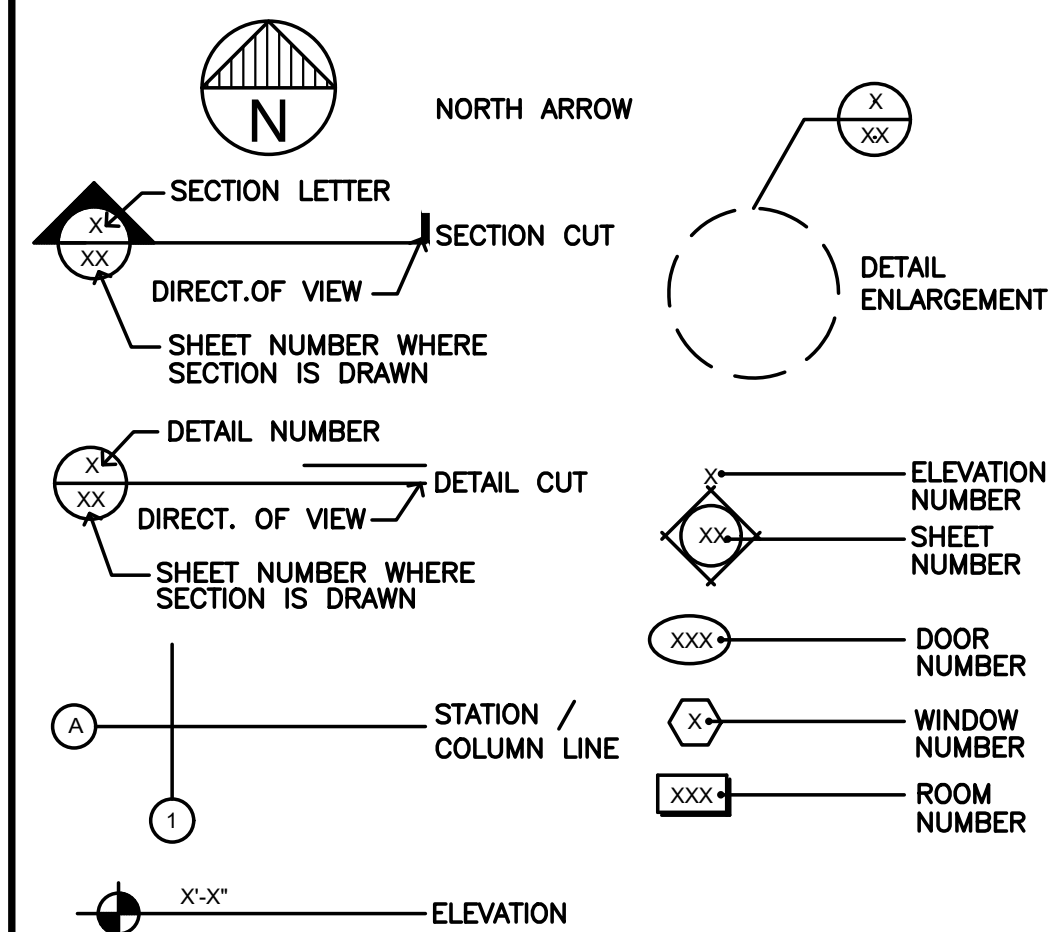
BUILDING OWNER:
 AMERICAN CHEVROLET
 DAVID HALVORSEN
 4742 McHENRY AVE.
 MODESTO, CA. 95356
 (209) 575-1606

GENERAL CONTRACTOR:
 HUFF CONSTRUCTION
 4981 SALIDA BLVD.
 SALIDA, CA. 95368
 (209) 545-4408

FOUNDATION DESIGN ENGINEER:
 CBC STEEL ENGINEERING
 EDMOND MORAD
 615 13 TH STREET
 MODESTO, CA. 95354
 (209) 530-0570

STEEL BUILDING ENGINEER:
 CBC STEEL BUILDING COMPANY
 DANIEL GAO
 1700 E. LOUISE AVE.
 LATHROP, CA. 95330
 (209) 983-0910

ABBREVIATIONS



SYMBOL LEGEND

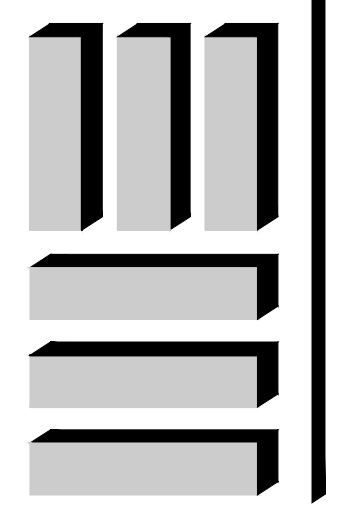
NO. REVISION & DATE

AMERICAN CHEVROLET
 STORAGE BUILDING ADDITION
 4742 McHENRY AVE.
 MODESTO, CA 95356

COVER SHEET
 & GENERAL NOTES



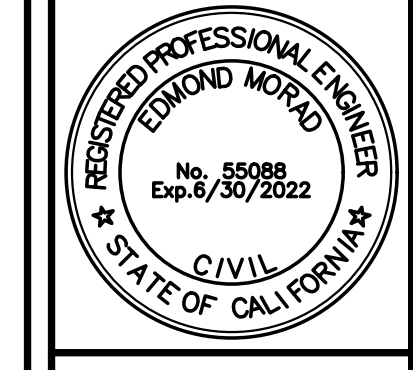
MORAD ENGINEERING
 EDMOND MORAD, P.E.
 CIVIL & MECHANICAL ENGINEERING
 615 13TH STREET, MODESTO, CA 95354
 TEL: (209) 650-0570
 edmond@moradengineering.com



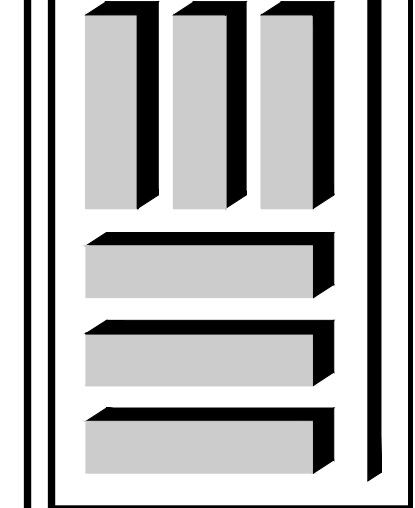
DATE 07-27-21
 PROJECT MANAGER EDMOND MORAD, P.E.
 DRAWN BY R. ORTIZ
 JOB NUMBER
 SHEET T-1
 OF SHEETS

AMERICAN CHEVROLET
 STORAGE BUILDING ADDITION
 4742 MCHENRY AVE.
 MODESTO, CA 95356

SITE PLAN

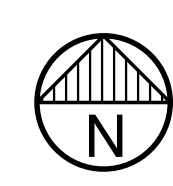
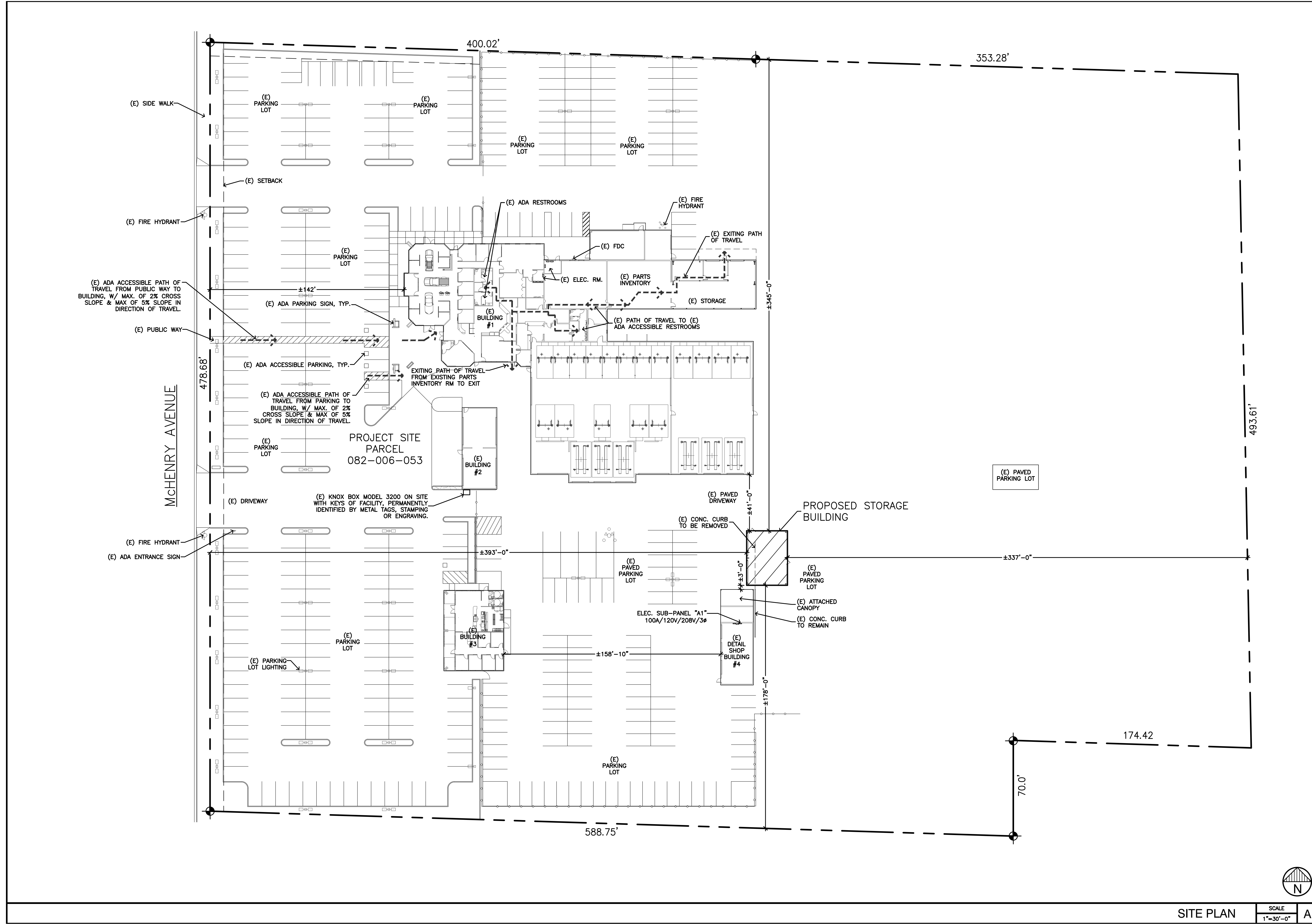


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 616 18TH STREET, MODESTO, CA 95354
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 edmond@moradengineering.com



DATE: 07-27-21
 PROJECT MANAGER: EDMOND MORAD, P.E.
 DRAWN BY: R. ORTIZ
 JOB NUMBER:

SHEET: **A-1**
 OF SHEETS:

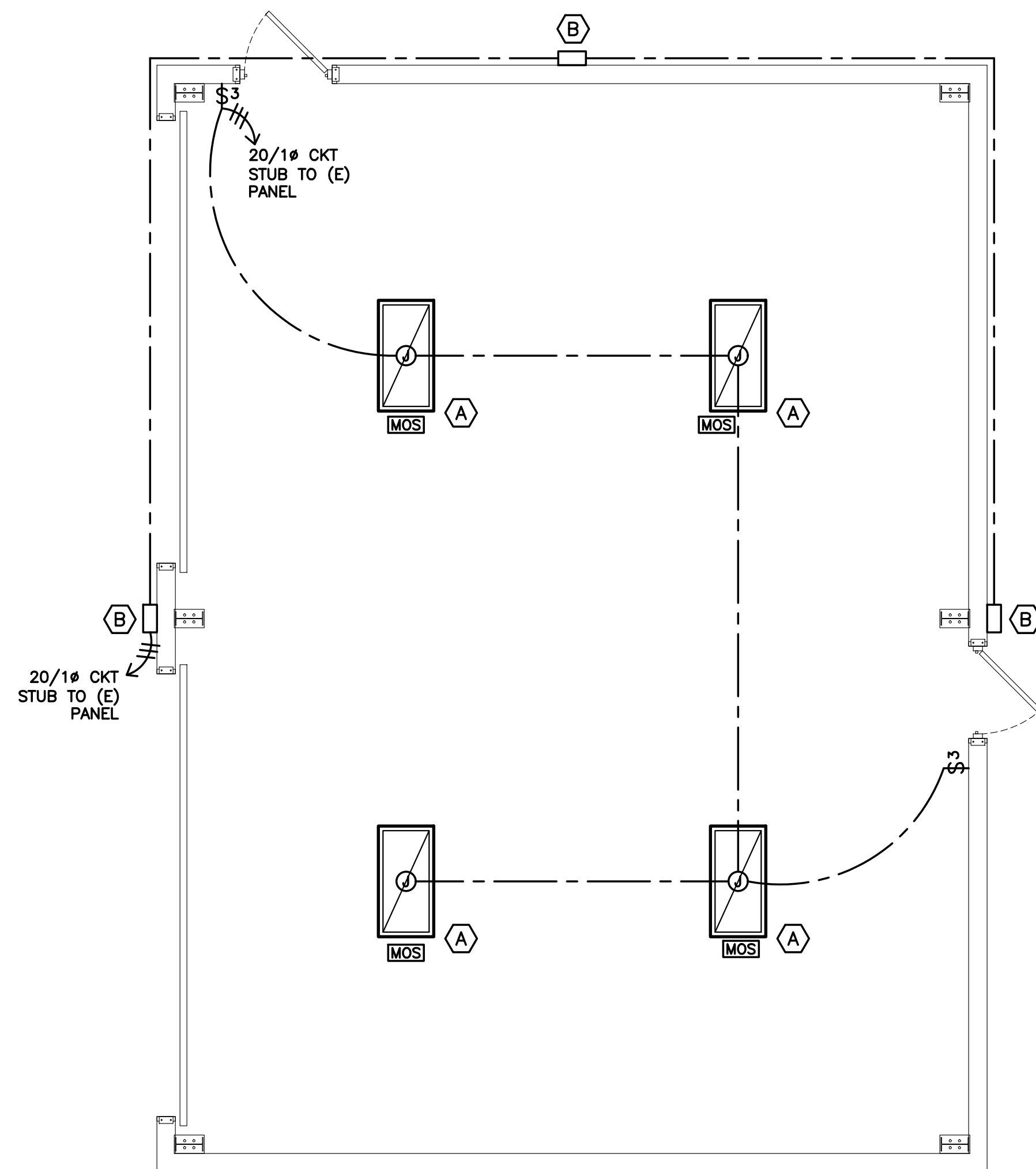


LIGHTING FIXTURE SCHEDULE		
TYPE	SYMBOL	DESCRIPTION
Ⓐ		2x4 HIGH BAY LUMINAR 4 LAMP 54 WATT LED LAMP FIXTURE, CHAIN SUSPENDED, LA 1-HBN200 SIRIES (4) 54 WATT LAMP (216 WATT), W/ INTEGRATED DAY LIGHT SENSOR & MOTION SENSOR
Ⓑ		WALL MOUNTED, 13 WATT LED LIGHT FIXTURE, SELECT LIGHTING WPSLED 13 MV 47
MOS		OCCUPANCY SENSOR ECHOFLEX MOS-21

NOTES: 1. ALL LIGHT FIXTURE TYPE SHALL BE APPROVED BY OWNER.
2. OPTIONAL TO USE EQUAL FIXTURE

ELECTRICAL NOTES:

- ALL WIRING SHALL BE 3-12GA THWN CU-W/ 1/2" EMT UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL WIRING AND BONDING SHALL MEET C.E.C. 2019
- ALL RECEPTACLES SHALL BE +15'A.F.F. UNLESS OTHERWISE NOTED, ALL CONTROLS SHALL BE MIN. OF +36" A.F.F. & MAX. OF 48" A.F.F.
- ALL EQUIPMENT GROUNDING SHALL CONFORM TO ARTICLE 250 OF 2019 C.E.C
- PANEL BOARD CIRCUIT BREAKERS USED AS SWITCHES MUST BE APPROVED FOR SUCH DUTY AND BE OF THE "SWD" TYPE PER SECTION 240-83 (d) OF THE C.E.C.
- PROVIDE PARITY SIZED GREEN GROUND WIRE IN ALL CONDUITS/BRANCH CIRCUIT HOMERUNS.
- ALL CONDUIT PENETRATIONS THROUGH FIRE-RATED WALLS AND FLOORS SHALL BE SEALED TO MAINTAIN FIRE-SEPARATION RATING, USE 3M FIRE BARRIER FS-195 WRAP/STRIP AT PVC PIPE PENETRATION THRU RATED WALLS, OR EQUAL PRODUCTS.
- UNLESS OTHERWISE NOTED, DIMMER SWITCH TO CONTROL THE LIGHTING FIXTURES IN A ROOM.
- DRAWINGS INDICATE THE LOCATION OF DEVICES, FIXTURES AND EQUIPMENT AND THE CIRCUIT NUMBER AND PANEL DESIGNATION WHICH SUPPLIES THEM. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY CONNECTING ALL ELECTRICAL DEVICES TO CIRCUITS INDICATED ON THE DRAWINGS.
- USE 3M FIRE BARRIER CP 25 CAULK AT STEEL PIPE PENETRATION THRU RATED WALLS, OR EQUAL PRODUCT.
- ALL EXTERIOR LIGHTS ARE EXISTING AND ARE CONTROLLED BY PHOTO CELL & MOTION SENSOR
- ALL ELECTRICAL MATERIALS SHALL BE NEW AND LISTED WITH THE UNDERWRITERS' LABORATORIES, INC. SHALL MEET THEIR REQUIREMENTS AND SHALL BEAR THEIR LABEL WHEREVER STANDARDS HAVE BEEN ESTABLISHED LABEL SERVICE IS REGULARLY FURNISHED BY THAT AGENCY.
- ELECTRICAL DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH THE SIZE AND LOCATIONS OF EQUIPMENT ARE SHOWN TO SCALE WHEREVER POSSIBLE, CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT AND INSTALLING HIS WORK TO AVOID INTERFERENCE WITH OTHER TRADES.
- ALL LUMINARIES AND BALLASTS SHALL BE CERTIFIED BY THE MANUFACTURER TO THE CALIFORNIA ENERGY COMMISSION.
- FLASH AND COUNTER FLASH ALL ITEMS PASSING THROUGH THE ROOF.



ELECTRICAL LIGHTING PLAN

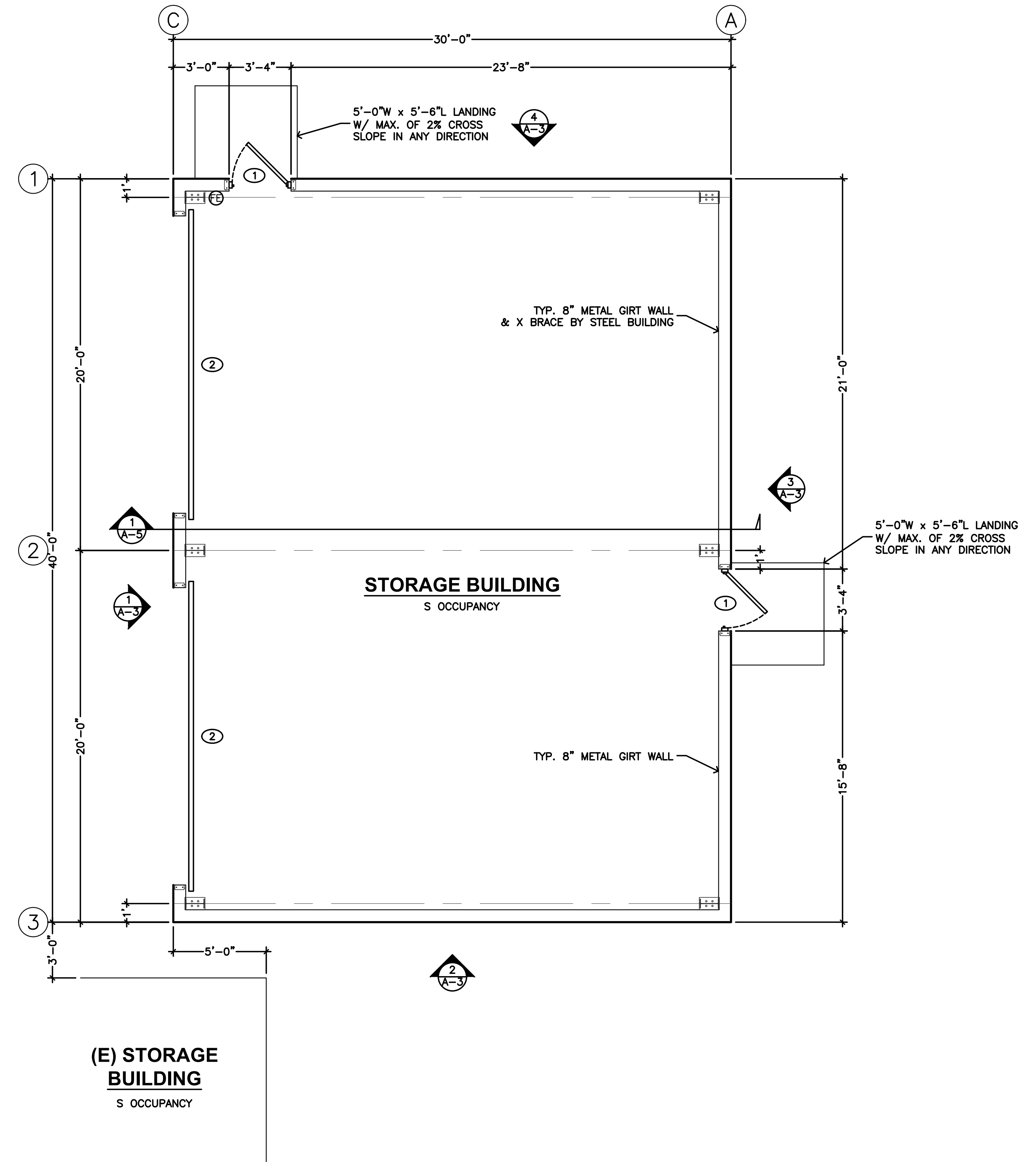
SCALE 1/4"=1'-0" B

DOOR SCHEDULE			
SYMBOL	SIZE (WxH)	LOCATION	DESCRIPTION
①	3'-0"	EXTERIOR	1 3/4" THICK HOLLOW METAL DOOR, THUMB LOCK FROM INSIDE HARDWARE W/ 20GA HOLLOW METAL FRAME, PAINT GRADE, ADA ACCESSIBLE, SELF CLOSURE.
②	16'-0"x14'-0"	EXTERIOR	ROLL-UP DOOR

NOTES:
1- ALL DOOR HARDWARE SHALL BE BY SCHLAGE OR EQUAL, AND SHALL HAVE MIN. OF 3 HINGES, SILENCERS, WALL BUMPERS.

LEGEND	
	8" METAL GIRT WALL BY STEEL BUILDING

NOTE:
1- SEE METAL BUILDING PLANS FOR FRAMED OPENINGS.
2- FIRE EXTINGUISHER (E)
3- SEE ELECTRICAL LIGHTING PLAN FOR EMERGENCY LIGHTING.



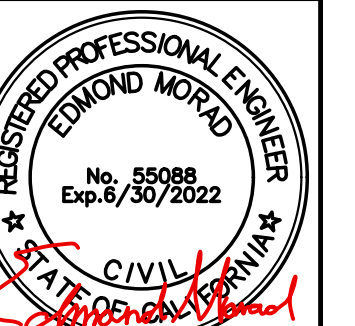
PROPOSED FLOOR PLAN

SCALE 1/4"=1'-0" A

NO. REVISION & DATE

AMERICAN CHEVROLET
STORAGE BUILDING
4742 MCHENRY AVE.
MODESTO, CA 95356

PROPOSED FLOOR PLAN
ELECTRICAL PLAN



MORAD ENGINEERING
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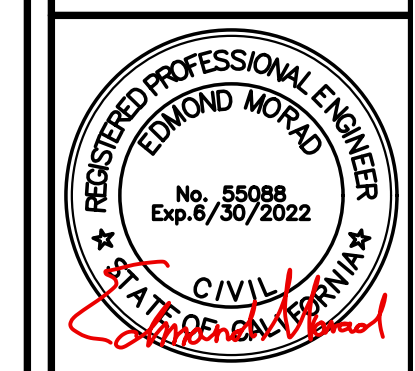
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PROJECT MANAGER EDMOND MORAD, P.E.
DRAWN BY R. ORTIZ
JOB NUMBER

SHEET A-2

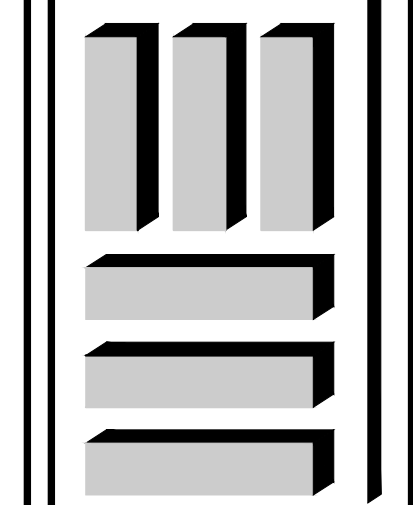
NO.	REVISION & DATE

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STORAGE BUILDING
4742 MCHENRY AVE.
MODESTO, CA 95356

EXTERIOR ELEVATIONS

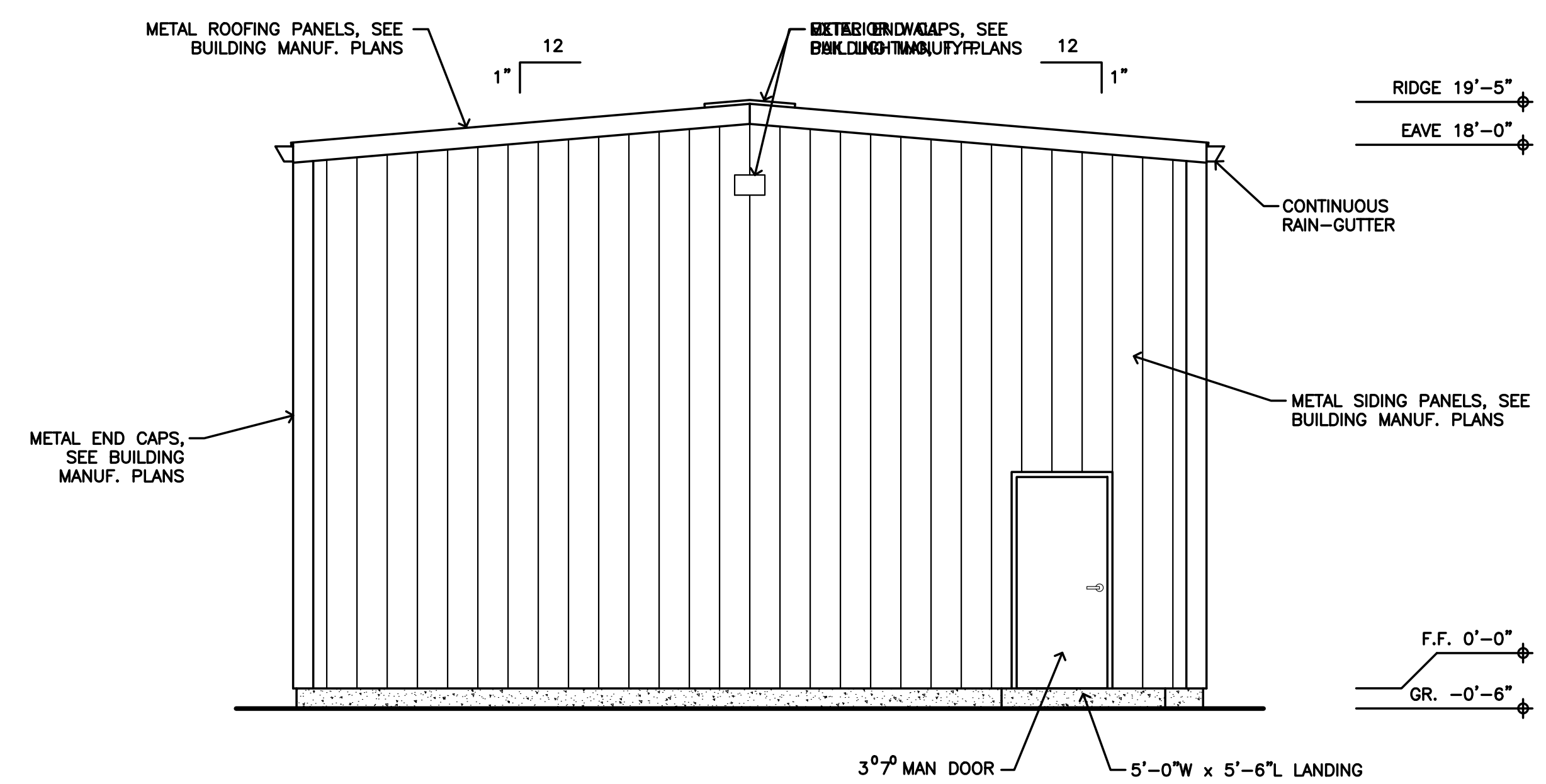


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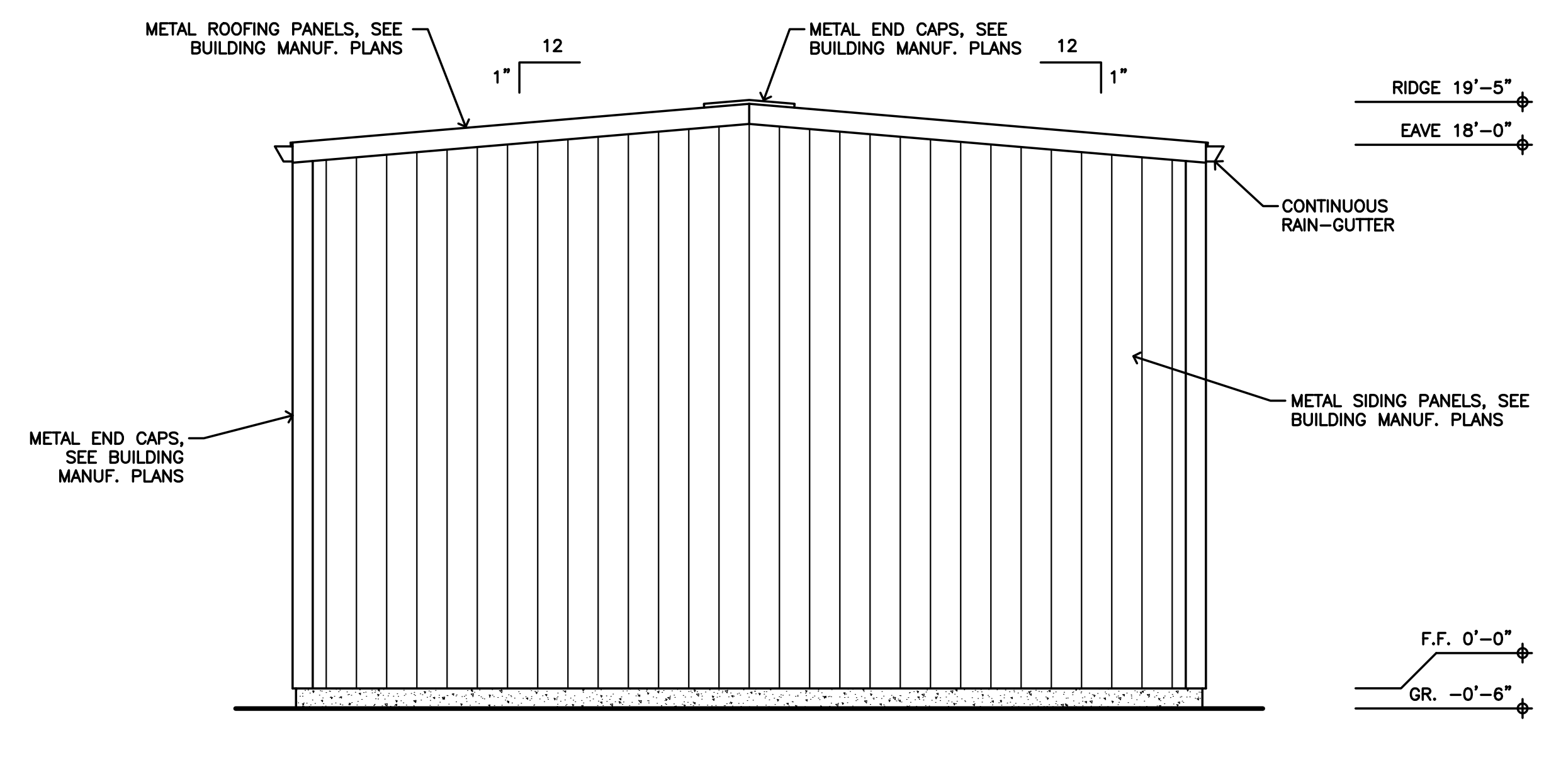
DATE: 07-27-21
PROJECT MANAGER: EDMOND MORAD, P.E.
DRAWN BY: R. ORTIZ
JOB NUMBER:

SHEET
A-3



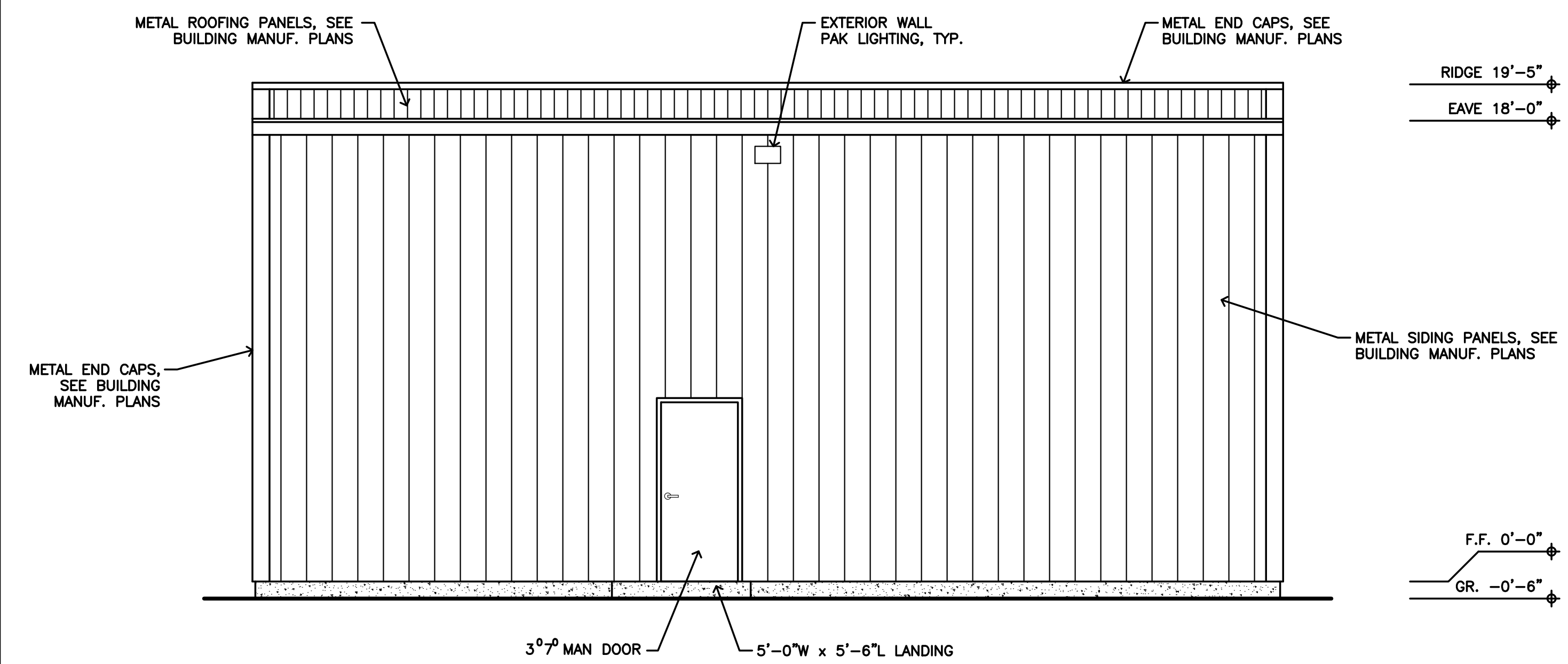
NORTH / SIDE ELEVATION

SCALE
1/4"=1'-0" 4



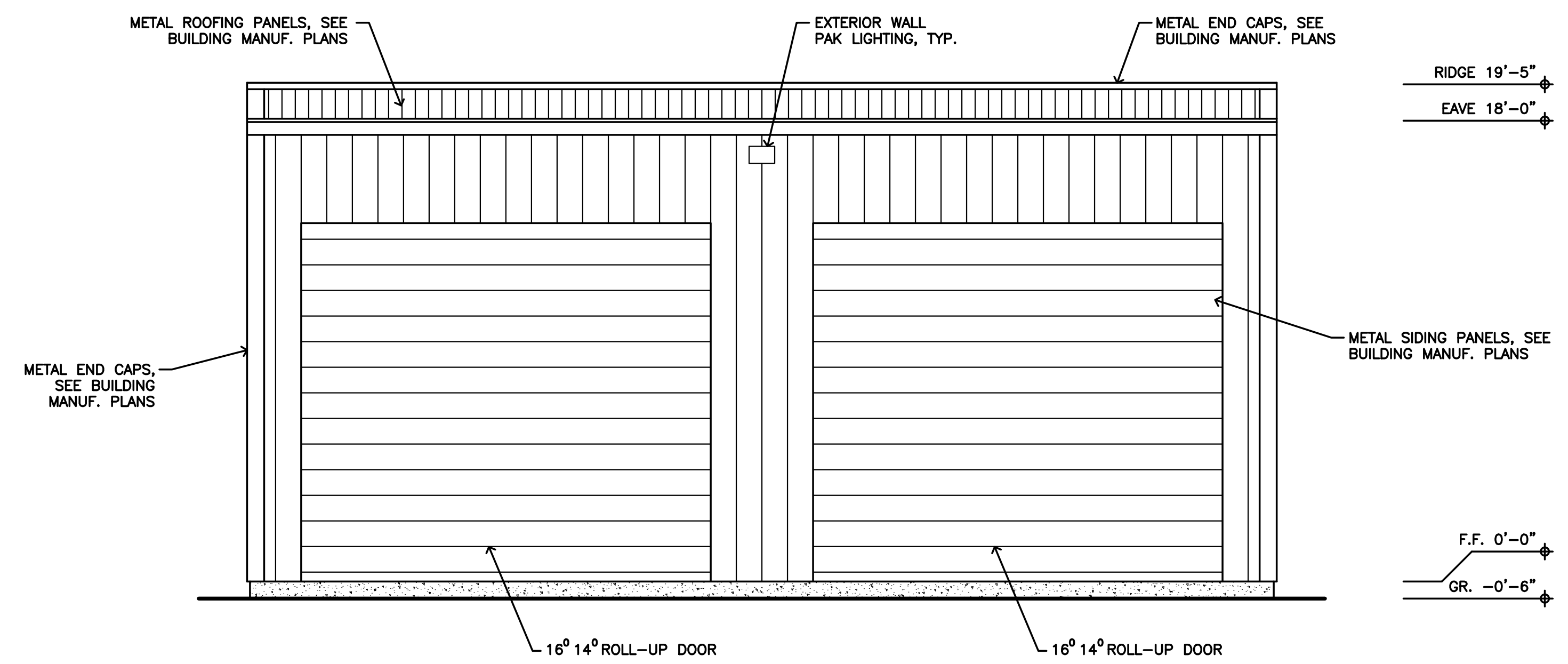
SOUTH / SIDE ELEVATION

SCALE
1/4"=1'-0" 2



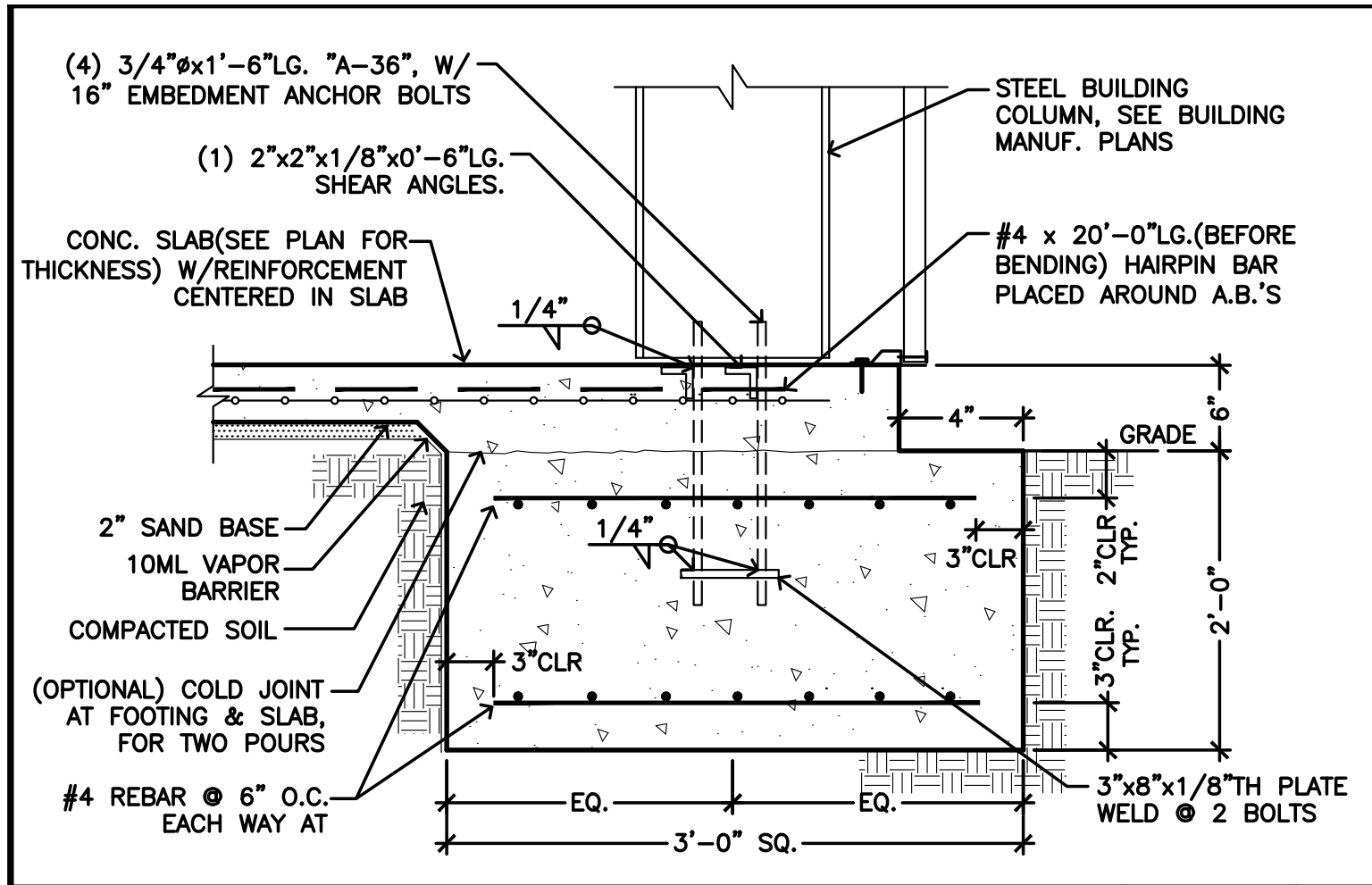
EAST / REAR ELEVATION

SCALE
1/4"=1'-0" 3



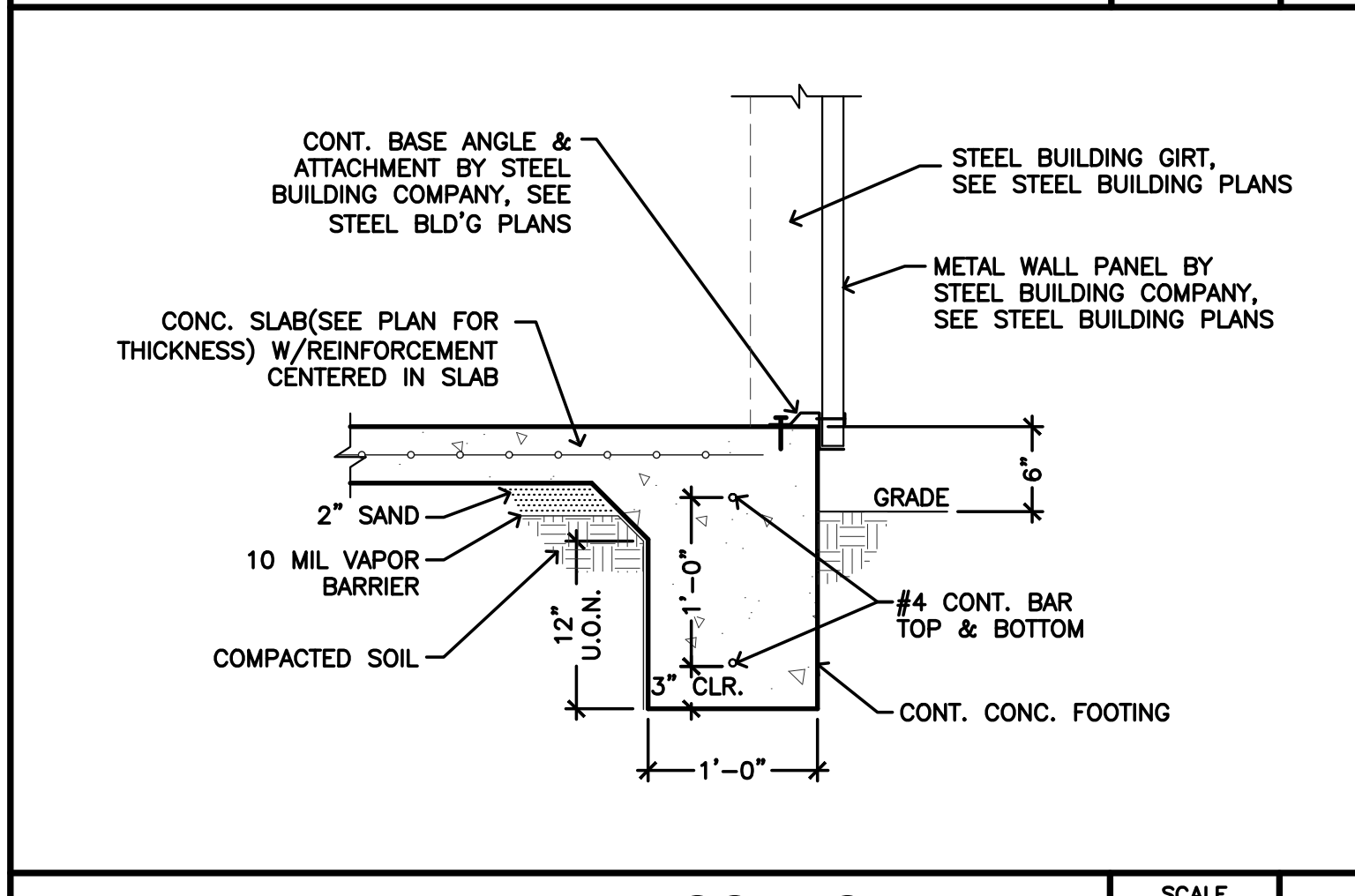
WEST / FRONT ELEVATION

SCALE
1/4"=1'-0" 1



FOOTING "D" DETAIL

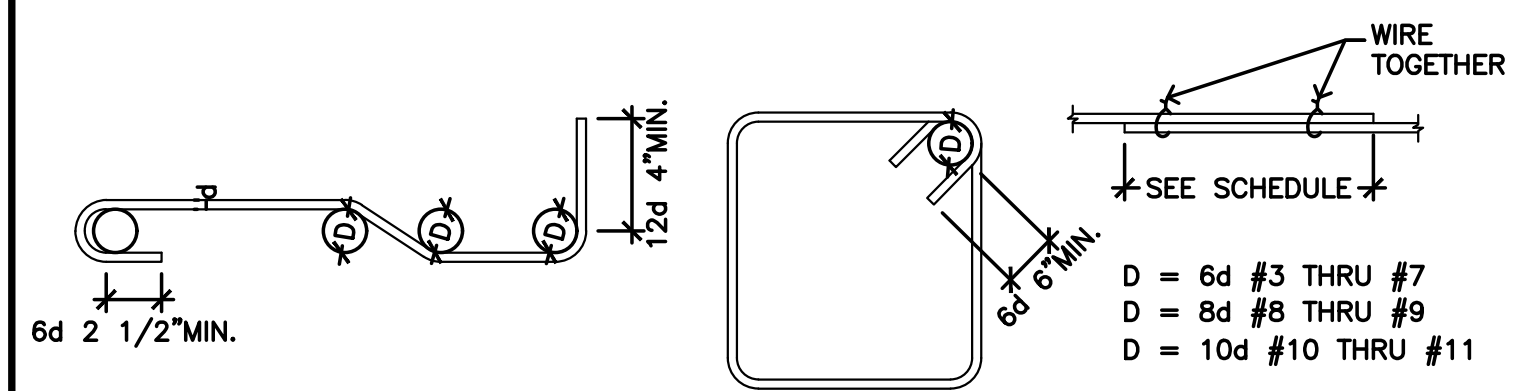
SCALE	1
N.T.S.	



TYP. PERIMETER FOOTING

SCALE	2
N.T.S.	

SIZE	REBAR LAP LENGTHS		
	BOTTOM BARS	TOP BARS	ALL BARS
#3	12"	12"	18"
#4	14"	18"	24"
#5	20"	28"	30"
#6	28"	36"	36"
#7	38"	50"	42"
#8	50"	64"	48"
#9	64"	82"	54"
#10	80"	104"	--
#11	98"	128"	--

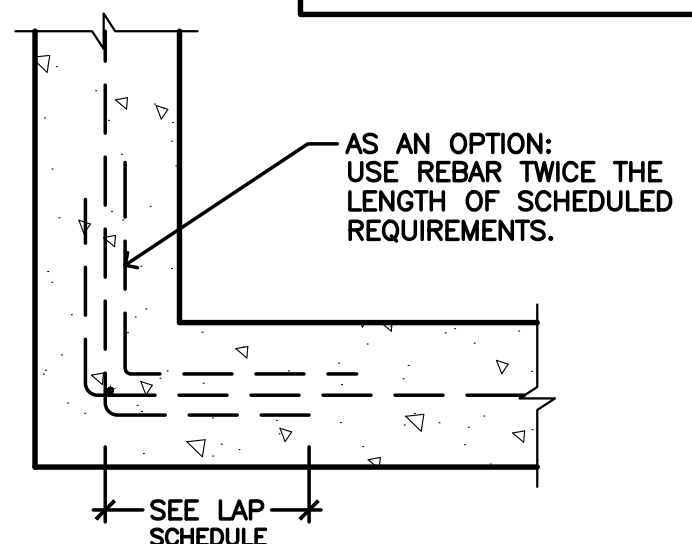


BAR BEND/LAP DETAIL

SCALE	3
N.T.S.	

NO.	LAP SCHEDULE		
	2000 PSI	2500 PSI	3000 PSI
#4	24"	24"	24"
#5	25"	25"	25"
#6	31"	30"	30"
#7	42"	37"	35"

NOTES:
 - ALL LAPS SHALL BE 12" MIN.
 - LAP SCHEDULE APPLIES TO GRADE 60 BARS.
 - SEE PLAN AND DETAILS FOR SIZE AND NUMBER OF REINFORCING
 - STAGGER LAP SPLICES SO THAT DISTANCE BETWEEN ADJACENT LAP IS NOT LESS THAN SCHEDULE



TYP FOOTING INTERSECTION

SCALE	4
N.T.S.	

FOOTING PREPARATION

1- ALL EXCAVATIONS, PREPARATION FOR SLAB-ON-GRADE, DEPTH OF FOOTING, BACK FILL, ETC. SHALL CONFORM WITH CBC CHAPTER 1804.2 AND CBC APPENDIX 106.1 BUILDING FOUNDATION SHALL CONFORM TO TABLE 1804.2 OF THE 2019 CBC. SOIL TYPE IS CLASS "D", SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT ALLOWABLE SOIL BEARING PRESSURE IS TO BE 1500 LBS/SF, MIN OF 12" DEEP FOOTING INTO NATURAL GRADE OR 90% REL. COMPACTED GRADE.

CONCRETE:

- A. GENERAL: ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI MANUAL OF THE CONCRETE PRACTICE AND THE CBC.
- B. CONCRETE STRENGTH 2,500 PSI @ 28 DAY W/ 3/4" MAX. AGG. W/ 4" MAX. SLUMP.
- C. ADMIXTURES: ONLY AS APPROVED BY THE ENGINEER.
- D. WELDING OF INSERTS: ALL WELDING OF REINFORCING STEEL SHALL BE WITH LOW-HYDROGEN ELECTRODES IN ACCORDANCE WITH THE LATEST RECOMMENDATIONS FOR THE AMERICAN WELDING SOCIETY (AWS D1.4 -79).
- E. LAP SPLICES: 30 BAR DIAMETERS OR 1'-6", WHICHEVER IS GREATER.
- F. TESTING: IN ACCORDANCE WITH ACI 301-72, CHAPTER 16.
- G. VIBRATION: VIBRATE ALL CONCRETE IN PLACE WITH A MECHANICAL VIBRATOR USED BY EXPERIENCED PERSONNEL.
- H. REINFORCING MATERIAL:
 - 1- DEFORMED ASTM A615, GRADE 40.
 - 2- WELDED WIRE FABRIC, ASTM A185.
- I. COVER TO BARS: UNLESS OTHERWISE SHOWN OR NOTED, COVER TO REINFORCING BARS SHALL BE AS STATED PER C.B.C.
- J. CONCRETE CURING: KEEP CONCRETE CONTINUOUSLY WET FOR 7 DAYS.
- K. FORM REMOVAL: SIDE FORMS OF FOOTING AND SLABS ON GRADE, MINIMUM 24 HRS.

STRUCTURAL STEEL

- A. ALL STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM WITH ASTM A36, PIPE COLUMNS WITH ASTM A53, GRADE B, STRUCTURAL TUBING WITH ASTM A500 GRADE GRADE B (Fy = 46 ksi)
- B. FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST AISC AND AWS SPECIFICATIONS. THIS STRUCTURE MAY NOT BE SELF SUPPORTING AS DEFINED IN AISC CODE OF STANDARD PRACTICE, THEREFORE ERECTION BRACING IS REQUIRED AND IS TO BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER. ERECTION PLANS, SEQUENCE TO BE SUBMITTED PRIOR TO FABRICATION.
- C. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS WITH E70 LH ELECTRODES CONFORMING TO ASTM A233.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION FOR APPROVAL BY THE ENGINEER.
- E. ALL FABRICATION AND INSTALLATION SHALL CONFORM TO AISC, AWS AND CBC.

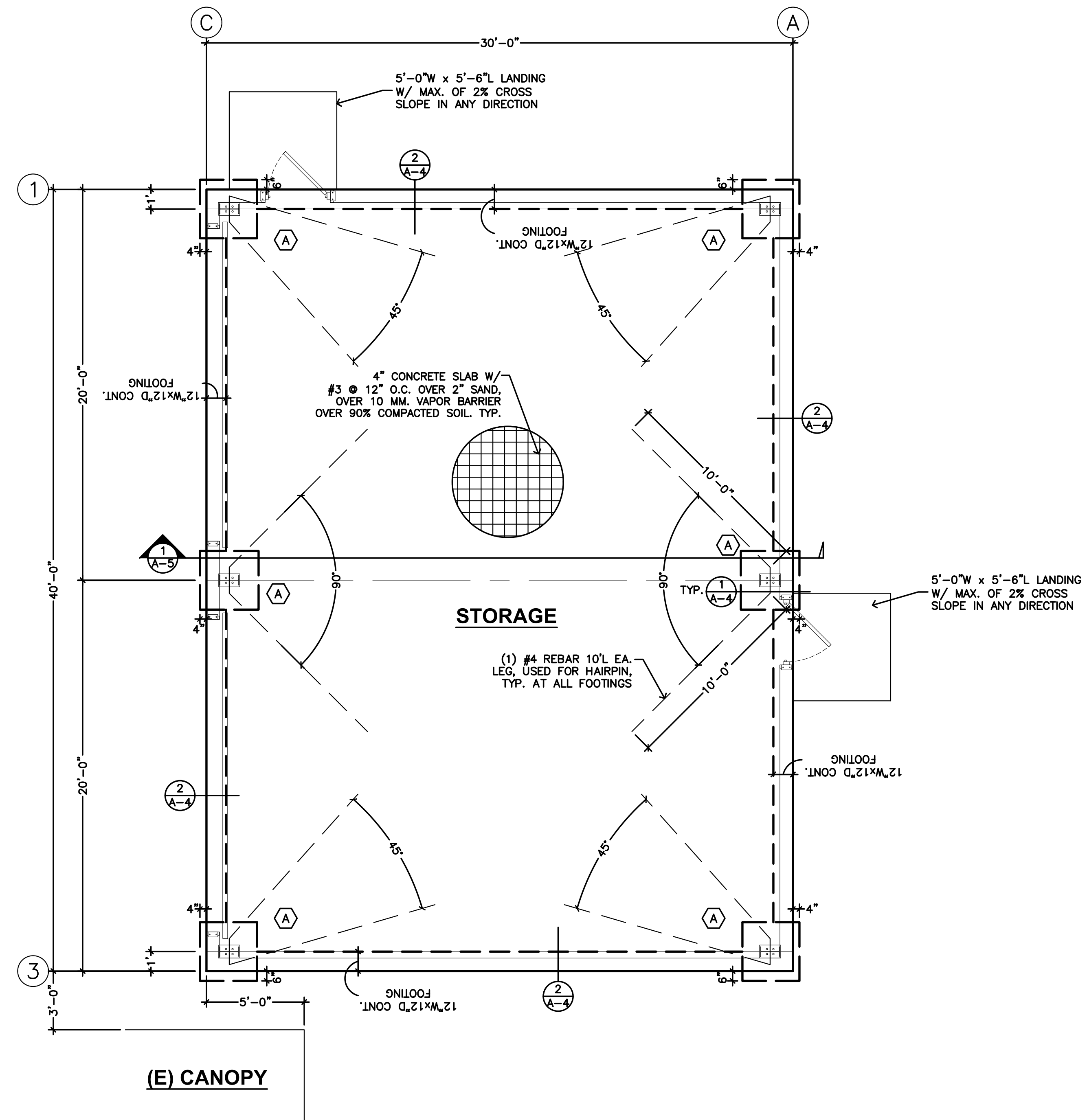
FOUNDATION DESIGN DATA:

SB = SOIL BEARING PRESSURE
 SB=1,500 PSF FOR DEAD LOAD & LIVE LOAD
 SB=1,500 PSF FOR TOTAL LOAD (DEAD, LIVE, WIND OR SEISMIC)
 MIN. FOOTING DEPTH = 12" BELOW THE LOWEST ADJACENT FINISH GRADE FOR LIGHT FRAME.
 MIN. FOOTING WIDTH = 12" WITH ONE #4 REBAR TOP & ONE AT BOTTOM.
 MOISTURE BARRIER = 10 MIL IMPERMEABLE PLASTIC MEMBRANE.

FOOTING SCHEDULE					
TYPE	FOOTING SIZE	REINFORCING	DETAIL	HAIR PIN	BOLTS
(A)	3'-0" x 3'-0" x 2'-0" DP	#4 @ 6" O.C. EACH WAY, T&B	1/A-4	(1) #4, 20'L	(4) 3/4" @ MAIN FRAME

SHEET NOTES:

- 1- VERIFY ALL DIMENSIONS W/ METAL BUILDING MANUF. PLANS PRIOR TO EXCAVATION.
- 2- VERIFY ANCHOR BOLT LOCATION AND NUMBER OF BOLTS W/ METAL BUILDING MANUF. PLANS.
- 3- PROVIDE CONTROL JOINTS AT FRAME GRIDS WITH MAX. 12.5' SQ. SPACING.
- 4- SEE NOTES FOR CONC. MIX FOR 2500 PSI STRENGTH.
- 5- SOIL AT FOOTING & SLAB SHALL BE COMPACTED TO MIN. 90% COMPACTION.



NO.	REVISION & DATE
AMERICAN CHEVROLET STORAGE BUILDING 4742 MCHENRY AVE. MODESTO, CA 95356	
FOUNDATION PLAN & FOUNDATION DETAILS	
MORAD ENGINEERING EDMOND MORAD, P.E. CIVIL & MECHANICAL ENGINEERING 615 18TH STREET, MODESTO, CA 95354 TEL: (209) 650-0570 edmond@moradengineering.com	
DATE 07-27-21 PROJECT MANAGER EDMOND MORAD, P.E. DRAWN BY R. ORTIZ JOB NUMBER SHEET	
A-4	

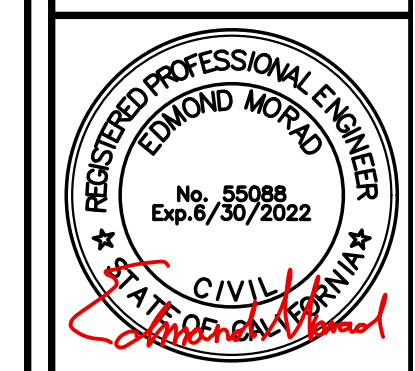
FOUNDATION PLAN

SCALE	A
1/4"=1'-0"	

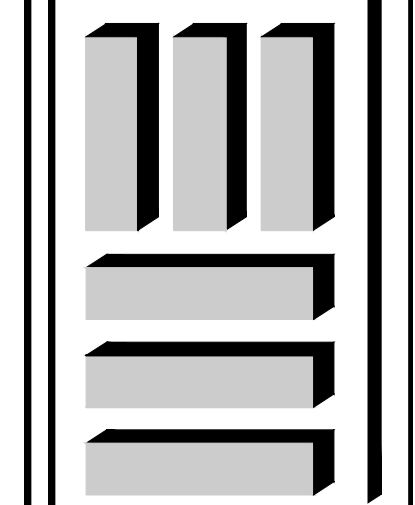
NO.	REVISION & DATE

AMERICAN CHEVROLET
STORAGE BUILDING
4742 MCHENRY AVE.
MODESTO, CA 95356

BUILDING SECTION
ROOF PLAN



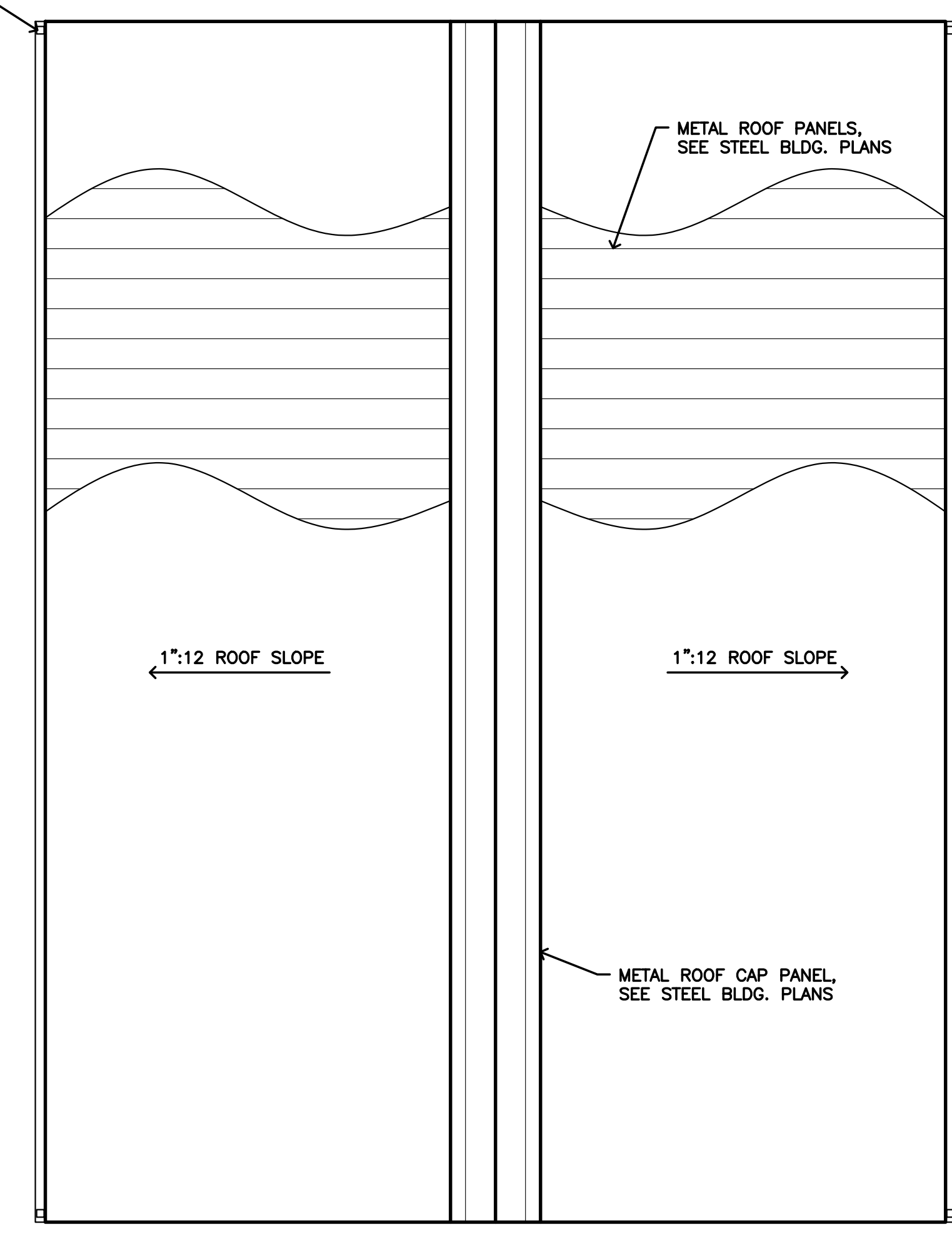
MORAD ENGINEERING
EDMOND MORAD, P.E.
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616 18TH STREET, MODESTO, CA 95354
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edmond@moradengineering.com



DATE
07-27-21
PROJECT MANAGER
EDMOND MORAD, P.E.
DRAWN BY
R. ORTIZ
JOB NUMBER
SHEET

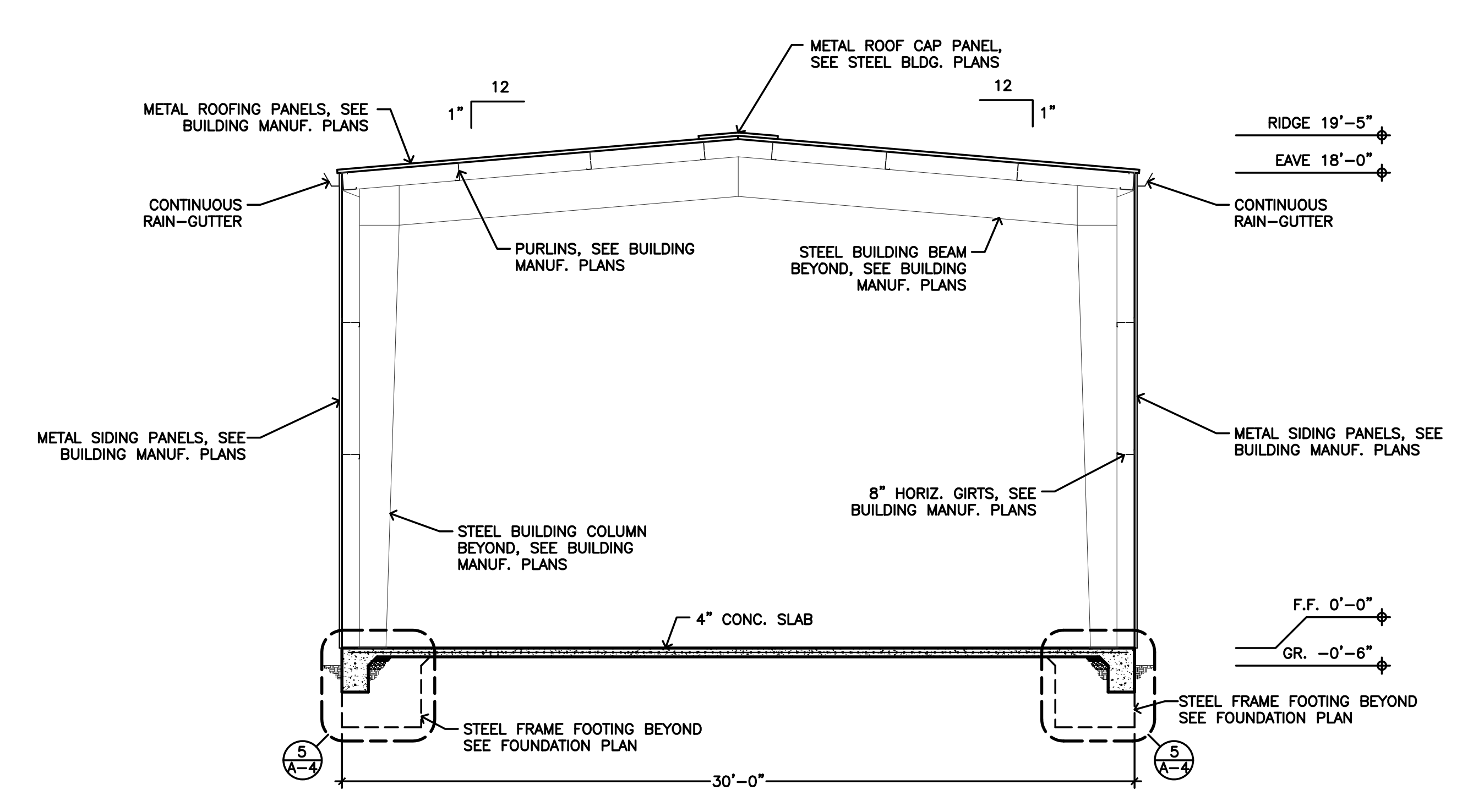
A-5

4"x6" SHEET METAL DOWNSPOUT
STUBBED DOWN TO 6" ABOVE GRADE
TYP. OF 2, SEE STEEL BLDG. PLANS



CONTINUOUS RAIN-GUTTER
SEE STEEL BLDG. PLANS

METAL ROOF CAP PANEL
SEE STEEL BLDG. PLANS

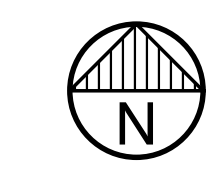


BUILDING SECTION

SCALE	1
1/4"=1'-0"	

ROOF PLAN

SCALE	A
1/4"=1'-0"	



STATE OF CALIFORNIA
Indoor Lighting
 NCC-C14
 CALIFORNIA ENERGY COMMISSION
 CERTIFICATE OF COMPLIANCE
 Project Name: AMERICAN CHEVROLET STORAGE BLDG./INDOOR & OUTDOOR LIGHTING Report Page: 1 of 7
 Project Address: 4742 MCHENRY AVE Date Prepared: 7/20/2021

A. GENERAL INFORMATION
 01 Project Location (City) Modesto
 02 Climate Zone 12
 03 Positioning (Latitude/Longitude) 37.758, -120.758
 04 Occupancy Type (Select all that apply) Warehouse
 05 Office (If Office, Select all that apply) Warehouse
 06 Storage (If Storage, Select all that apply) Warehouse
 07 Parking Garage
 08 Other (Specify) Assembly

B. PROJECT SCOPE
 This table includes any lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §1610.6 or §1610.10 for alterations.

Scope of Work	Conditioned Spaces	Unconditioned Spaces
1) Project Consists of (Check all that apply):	01 Calculation Method	02 Calculation Method
01 New Lighting System	03 Complete Building Method	04 Complete Building Method
02 New Lighting System - Parking Garage	05	06
Total Area of Work (Sq Ft)	0	1300

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
 Report Version: 2019.1.003
 Schema Version: rev 20200601
 Registration Date/Time: Report Generated: 2021-07-29 18:43:28
 Registration Provider: Energysoft

STATE OF CALIFORNIA
Indoor Lighting
 NCC-C14
 CALIFORNIA ENERGY COMMISSION
 CERTIFICATE OF COMPLIANCE
 Project Name: AMERICAN CHEVROLET STORAGE BLDG./INDOOR & OUTDOOR LIGHTING Report Page: 2 of 7
 Project Address: 4742 MCHENRY AVE Date Prepared: 7/20/2021

C. COMPLIANCE RESULTS
 If any cell on this table says "DOES NOT COMPLY" or "COMPLIES WITH EXCEPTIONAL CONDITIONS" refer to Table D for guidance.

Lighting Fixtures	Area	Area Category	Subtype	Adjusted Lighting Power per (SAB) (Watts)	Compliance Results
01	02	03	04	05	06
07	08	09	10	11	12
013	014	015	016	017	018
019	020	021	022	023	024
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APPLICATION QUESTIONNAIRE

Please Check all applicable boxes

APPLICATION FOR:

Staff is available to assist you with determining which applications are necessary

- General Plan Amendment
- Rezone
- Use Permit
- Variance
- Historic Site Permit
- Subdivision Map
- Parcel Map
- Exception
- Williamson Act Cancellation
- Other _____

PLANNING STAFF USE ONLY:

Application No(s): PD 2022 0011
 Date: 2/4/22
 S _____ T _____ R _____
 GP Designation: PD
 Zoning: PD-244 and 280
 Fee: \$49890
 Receipt No. 504401
 Received By: JB
 Notes: _____

In order for your application to be considered COMPLETE, please answer all applicable questions on the following pages, and provide all applicable information listed on the checklist on pages i – v. Under State law, upon receipt of this application, staff has 30 days to determine if the application is complete. We typically do not take the full 30 days. It may be necessary for you to provide additional information and/or meet with staff to discuss the application. Pre-application meetings are not required, but are highly recommended. An incomplete application will be placed on hold until all the necessary information is provided to the satisfaction of the requesting agency. An application will not be accepted without all the information identified on the checklist.

Please contact staff at (209) 525-6330 to discuss any questions you may have. Staff will attempt to help you in any way we can.

PROJECT INFORMATION

PROJECT DESCRIPTION: (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets as necessary)

**Please note: A detailed project description is essential to the reviewing process of this request. In order to approve a project, the Planning Commission or the Board of Supervisors must decide whether there is enough information available to be able to make very specific statements about the project. These statements are called "Findings". It is your responsibility as an applicant to provide enough information about the proposed project, so that staff can recommend that the Commission or the Board make the required Findings. Specific project Findings are shown on pages 17 – 19 and can be used as a guide for preparing your project description. (If you are applying for a Variance or Exception, please contact staff to discuss special requirements).*

To amend existing PD 244 to allow construction of accessory structures for the existing car dealership (PD 213)

PROJECT SITE INFORMATION

Complete and accurate information saves time and is vital to project review and assessment. Please complete each section entirely. If a question is not applicable to your project, please indicated this to show that each question has been carefully considered. Contact the Planning & Community Development Department Staff, 1010 10th Street – 3rd Floor, (209) 525-6330, if you have any questions. Pre-application meetings are highly recommended.

ASSESSOR'S PARCEL NUMBER(S): Book 082 Page 006 Parcel 073

Additional parcel numbers: 4742 McHenry Avenue
Project Site Address
or Physical Location: Modesto, CA 95356

Property Area: Acres: 2.0 or Square feet: _____

Current and Previous Land Use: (Explain existing and previous land use(s) of site for the last ten years)

Auto dealership

List any known previous projects approved for this site, such as a Use Permit, Parcel Map, etc.: (Please identify project name, type of project, and date of approval)

PD-244

Existing General Plan & Zoning: Planned Development

Proposed General Plan & Zoning: Planned Development
(if applicable)

ADJACENT LAND USE: (Describe adjacent land uses within 1,320 feet (1/4 mile) and/or two parcels in each direction of the project site)

East: AG use - Orchard

West: Auto Dealership

North: Auto Dealership

South: Auto Dealership

WILLIAMSON ACT CONTRACT:

Yes No

Is the property currently under a Williamson Act Contract?

Contract Number: _____

If yes, has a Notice of Non-Renewal been filed?

Date Filed: _____

Yes No

Do you propose to cancel any portion of the Contract?

Yes No

Are there any agriculture, conservation, open space or similar easements affecting the use of the project site. (Such easements do not include Williamson Act Contracts)

If yes, please list and provide a recorded copy: _____

SITE CHARACTERISTICS: (Check one or more)

Flat

Rolling

Steep

VEGETATION: What kind of plants are growing on your property? (Check one or more)

Field crops

Orchard

Pasture/Grassland

Scattered trees

Shrubs

Woodland

River/Riparian

Other

Explain Other: *None - site is 100% paved*

Yes No

Do you plan to remove any trees? (If yes, please show location of trees planned for removal on plot plan and provide information regarding transplanting or replanting.)

GRADING:

Yes No

Do you plan to do any grading? (If yes, please indicate how many cubic yards and acres to be disturbed. Please show areas to be graded on plot plan.) _____

STREAMS, LAKES, & PONDS:

Yes No

Are there any streams, lakes, ponds or other watercourses on the property? (If yes, please show on plot plan)

Yes No

Will the project change any drainage patterns? (If yes, please explain – provide additional sheet if needed) _____

Yes No

Are there any gullies or areas of soil erosion? (If yes, please show on plot plan)

Yes No

Do you plan to grade, disturb, or in any way change swales, drainages, ditches, gullies, ponds, low lying areas, seeps, springs, streams, creeks, river banks, or other area on the site that carries or holds water for any amount of time during the year? (If yes, please show areas to be graded on plot plan)

Please note: If the answer above is yes, you may be required to obtain authorization from other agencies such as the Corps of Engineers or California Department of Fish and Game.

STRUCTURES:

Yes No Are there structures on the site? (If yes, please show on plot plan. Show a relationship to property lines and other features of the site.)

Yes No Will structures be moved or demolished? (If yes, indicate on plot plan.)

Yes No Do you plan to build new structures? (If yes, show location and size on plot plan.)

Yes No Are there buildings of possible Historical significance? (If yes, please explain and show location and size on plot plan.) _____

PROJECT SITE COVERAGE:

Existing Building Coverage: 0 Sq. Ft. Landscaped Area: 0 Sq. Ft.

Proposed Building Coverage: 1,200 Sq. Ft. Paved Surface Area: 174,000 +/- Sq. Ft.

BUILDING CHARACTERISTICS:

Size of new structure(s) or building addition(s) in gross sq. ft.: (Provide additional sheets if necessary) 30' x 40', - 1,200 SF

Number of floors for each building: 1

Building height in feet (measured from ground to highest point): (Provide additional sheets if necessary) 18'

Height of other appurtenances, excluding buildings, measured from ground to highest point (i.e., antennas, mechanical equipment, light poles, etc.): (Provide additional sheets if necessary) N/A

Proposed surface material for parking area: (Provide information addressing dust control measures if non-asphalt/concrete material to be used) Asphalt paving

UTILITIES AND IRRIGATION FACILITIES:

Yes No Are there existing public or private utilities on the site? Includes telephone, power, water, etc. (If yes, show location and size on plot plan)

Who provides, or will provide the following services to the property?

Electrical: MID Sewer*: Septic

Telephone: AT&T Gas/Propane: PG&E

Water**: City of Modesto Irrigation: none

***Please Note: A "will serve" letter is required if the sewer service will be provided by City, Sanitary District, Community Services District, etc.**

****Please Note: A "will serve" letter is required if the water source is a City, Irrigation District, Water District, etc., and the water purveyor may be required to provide verification through an Urban Water Management Plan that an adequate water supply exists to service your proposed development.**

Will any special or unique sewage wastes be generated by this development other than that normally associated with resident or employee restrooms? Industrial, chemical, manufacturing, animal wastes? (Please describe:)

No

Please Note: Should any waste be generated by the proposed project other than that normally associated with a single family residence, it is likely that Waste Discharge Requirements will be required by the Regional Water Quality Control Board. Detailed descriptions of quantities, quality, treatment, and disposal may be required.

Yes No Are there existing irrigation, telephone, or power company easements on the property? (If yes, show location and size on plot plan.)

Yes No Do the existing utilities, including irrigation facilities, need to be moved? (If yes, show location and size on plot plan.)

Yes No Does the project require extension of utilities? (If yes, show location and size on plot plan.)

AFFORDABLE HOUSING/SENIOR:

Yes No Will the project include affordable or senior housing provisions? (If yes, please explain)

RESIDENTIAL PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Total No. Lots: _____ Total Dwelling Units: _____ Total Acreage: _____

Net Density per Acre: _____ Gross Density per Acre: _____

<i>(complete if applicable)</i>	Single Family	Two Family Duplex	Multi-Family Apartments	Multi-Family Condominium/Townhouse
Number of Units:	_____	_____	_____	_____
Acreage:	_____	_____	_____	_____

COMMERCIAL, INDUSTRIAL, MANUFACTURING, RETAIL, USE PERMIT, OR OTHER PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Square footage of each existing or proposed building(s): 1,200 S.F.

Type of use(s): Accessory storage building to the existing auto dealership

Days and hours of operation: N/A

Seasonal operation (i.e., packing shed, huller, etc.) months and hours of operation: N/A

Occupancy/capacity of building: Storage

Number of employees: (Maximum Shift): 0 (Minimum Shift): 0

Estimated number of daily customers/visitors on site at peak time: 0

Other occupants: none

Estimated number of truck deliveries/loadings per day: 0

Estimated hours of truck deliveries/loadings per day: 0

Estimated percentage of traffic to be generated by trucks: 0

Estimated number of railroad deliveries/loadings per day: 0

Square footage of:

Office area: _____

Warehouse area: _____

Sales area: _____

Storage area: 1,200

Loading area: _____

Manufacturing area: _____

Other: (explain type of area) _____

Yes No Will the proposed use involve toxic or hazardous materials or waste? (Please explain)

ROAD AND ACCESS INFORMATION:

What County road(s) will provide the project's main access? (Please show all existing and proposed driveways on the plot plan)

McHenry Avenue

Yes No Are there private or public road or access easements on the property now? (If yes, show location and size on plot plan)

Yes No Do you require a private road or easement to access the property? (If yes, show location and size on plot plan)

Yes No Do you require security gates and fencing on the access? (If yes, show location and size on plot plan)

Please Note: Parcels that do not front on a County-maintained road or require special access may require approval of an Exception to the Subdivision Ordinance. Please contact staff to determine if an exception is needed and to discuss the necessary Findings.

STORM DRAINAGE:

How will your project handle storm water runoff? (Check one) Drainage Basin Direct Discharge Overland

Other: (please explain) Existing catch basins and drywells

If direct discharge is proposed, what specific waterway are you proposing to discharge to? _____

Please Note: If direct discharge is proposed, you will be required to obtain a NPDES permit from the Regional Water Quality Control Board, and must provide evidence that you have contacted them regarding this proposal with your application.

EROSION CONTROL:

If you plan on grading any portion of the site, please provide a description of erosion control measures you propose to implement.

N/A

Please note: You may be required to obtain an NPDES Storm Water Permit from the Regional Water Quality Control Board and prepare a Storm Water Pollution Prevention Plan.

ADDITIONAL INFORMATION:

Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. (Attach extra sheets if necessary)

CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD - STORM WATER PERMIT REQUIREMENTS

Storm water discharges associated with construction activity are a potentially significant source of pollutants. The most common pollutant associated with construction is sediment. Sediment and other construction related wastes can degrade water quality in creeks, rivers, lakes, and other water bodies. In 1992, the State Water Resources Control Board adopted a statewide General Permit for all storm water discharges associated with construction activity that disturbs five or more acres of land. Effective March 10, 2003, all construction sites disturbing one or more acres of land will be required to obtain permit coverage. The General Permit is intended to ensure that construction activity does not impact water quality.

You need to obtain General Permit coverage if storm water discharges from your site and either of the following apply:

- Construction activities result in one or more acres of land disturbance, including clearing, grading, excavating, staging areas, and stockpiles or;
- The project is part of a larger common plan of development or sale (e.g., subdivisions, group of lots with or without a homeowner's association, some lot line adjustments) that result in one or more acres of land disturbance.

It is the applicants responsibility to obtain any necessary permit directly from the California Regional Water Quality Control Board. The applicant(s) signature on this application form signifies an acknowledgment that this statement has been read and understood.

STATE OF CALIFORNIA HAZARDOUS WASTE AND SUBSTANCES SITES LIST (C.G.C. § 65962.5)

Pursuant to California Government Code Section 65962.5(e), before a local agency accepts as complete an application for any development project, the applicant shall consult the latest State of California Hazardous Waste and Substances Sites List on file with the Planning Department and submit a signed statement indicating whether the project is located on a site which is included on the List. The List may be obtained on the California State Department of Toxic Substances Control web site (<http://www.envirostor.dtsc.ca.gov/public>).

The applicant(s) signature on this application form signifies that they have consulted the latest State of California Hazardous Waste and Substances List on file with the Planning Department, and have determined that the project site is or is not included on the List.

Date of List consulted: 1/13/2022

Source of the listing: _____
(To be completed only if the site is included on the List)

ASSESSOR'S INFORMATION WAIVER

The property owner(s) signature on this application authorizes the Stanislaus County Assessor's Office to make any information relating to the current owners assessed value and pursuant to R&T Code Sec. 408, available to the Stanislaus County Department of Planning and Community Development.