

Appendix PLN

Project Site Plans

PITTSBURG RV/BOAT STORAGE

3468 PITTSBURG/ ANTIOCH HIGHWAY

PITTSBURG, CA



PROJECT DIRECTORY

PROJECT DISCRPTION

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APROXIMATELY 12.5ac/ 220-STALL
RV/BOAT STORAGE FACILITY &
MANAGERS OFFICE

ARCHITECTURAL

A0 COVER SHEET
A1 PROPOSED SITE PLAN
A2 MANAGERS OFFICE PLANS
A3 MANAGERS OFFICE ELEVATIONS
A4 TYPICAL ELEVATIONS
A5 TRASH ENCLOSURE DETAILS
A6 COLOR AND MATERIALS

ARCHITECT

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Email: tperfetto@rakengineers.com

CIVIL

C1 PRELIMINARY GRADING & UTILITY PLAN

LANDSCAPE

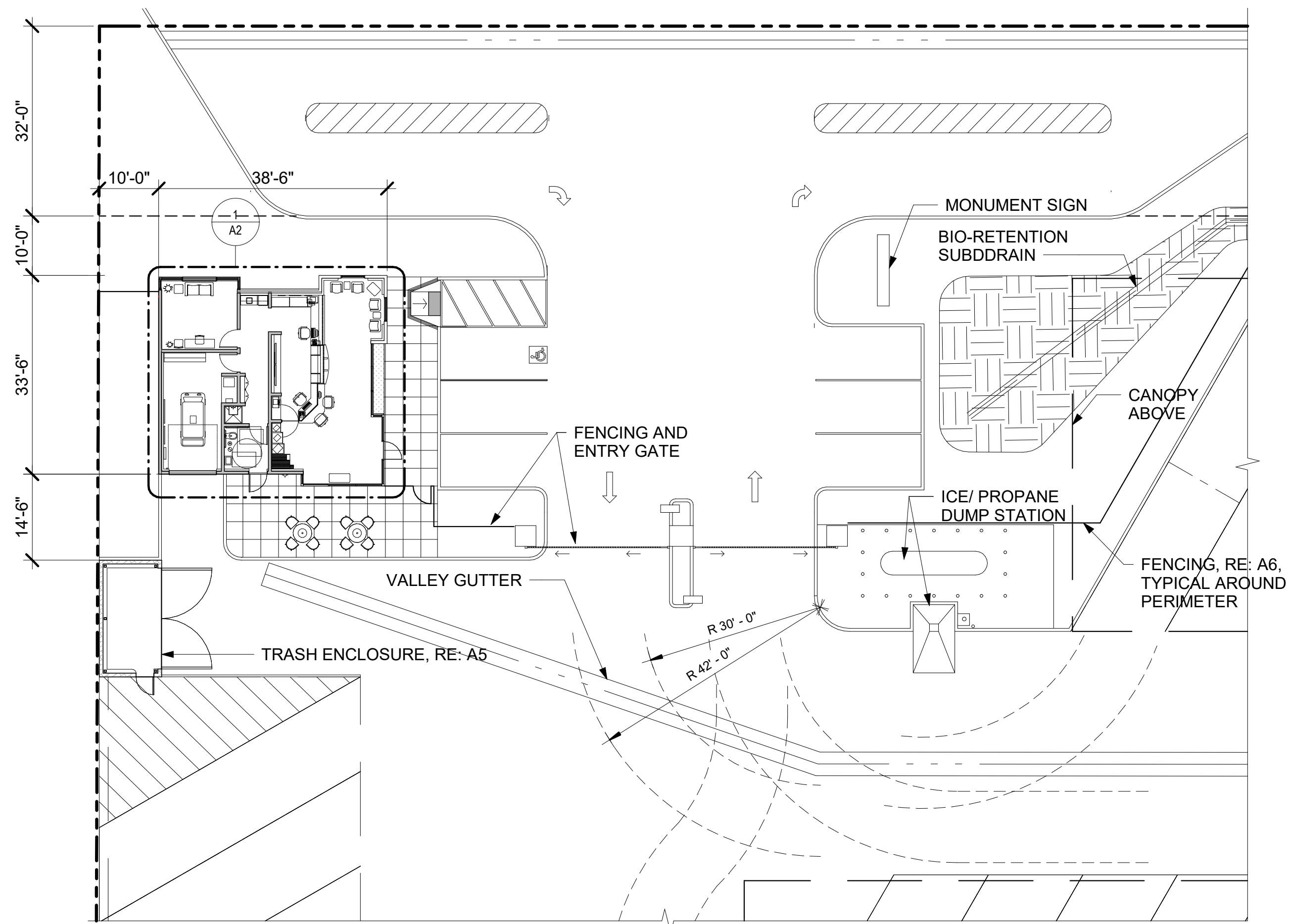
L1 CONCEPTUAL LANDSCAPE PLAN

PHOTOMETRICS

Dialectic Engineering
310 W. 20th St. Suite 200
Kansas City, MO 64108
Contact: Travis Butler
Phone: 816-997-9578
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COVER SHEET

A0
07.30.2021



2 ENLARGED ENTRANCE PLAN
1/16" = 1'-0"

PROJECT DATA:

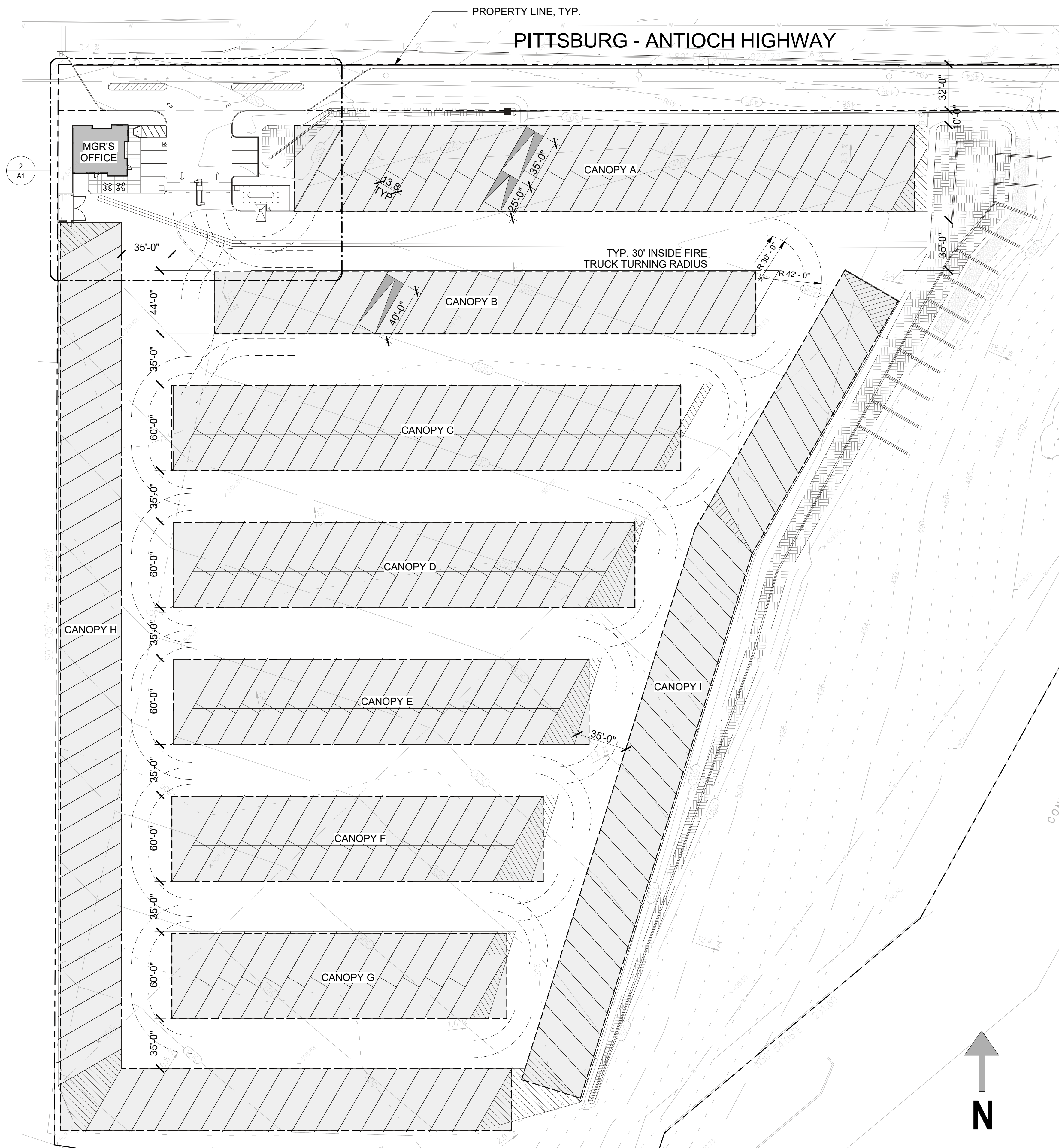
- SITE AREA:** 12.50 AC OR 544,848 SF
- OFFICE BUILDING AREA:** 1,243 SF
- # OF RV/BOAT STALLS:** 220 (SEE NOTE 1)
- PARKING SPACES:** 6 TOTAL
 - 1 VAN ACCESSIBLE STALL
 - 5 STANDARD PARKING STALLS

NOTE 1: NUMBER OF RV/BOAT STALLS IS SUBJECT TO CHANGE PER STORAGE OPERATIONS REQUIREMENTS

SOLAR PANEL CANOPY

SOLAR PANEL	
CANOPY	AREA
A	25,825 SF
B	16,158 SF
C	20,857 SF
D	18,908 SF
E	17,028 SF
F	15,206 SF
G	13,721 SF
H	38,381 SF
I	25,836 SF
191,920 SF	

PARKING INFORMATION		
CANOPY	STALL SIZE	COUNT
A	44' x 13.8' - 60 DEG	1
A	60' x 13.8' - 60 DEG	25
B	44' x 13.8' - 60 DEG	23
C	60' x 13.8' - 60 DEG	21
D	60' x 13.8' - 60 DEG	18
E	60' x 13.8' - 60 DEG	16
F	60' x 13.8' - 60 DEG	14
G	44' x 13.8' - 60 DEG	1
G	60' x 13.8' - 60 DEG	12
H	44' x 13.8' - 60 DEG	53
I	44' x 13.8' - 60 DEG	36
		220



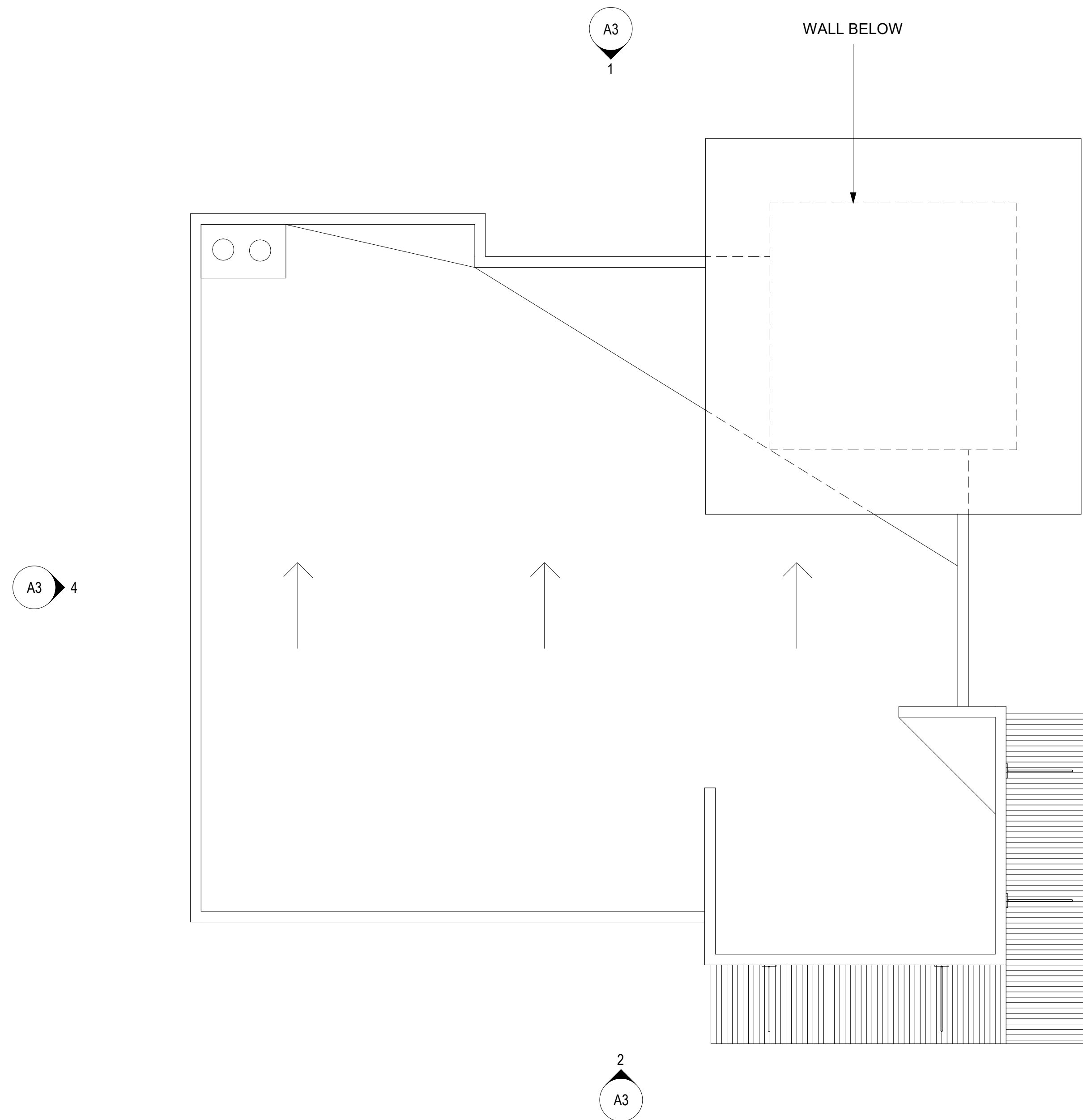
1 SITE PLAN
1" = 40'-0"

PITTSBURG RV/BOAT STORAGE
3468 PITTSBURG/ ANTIOCH HIGHWAY
PITTSBURG, CA

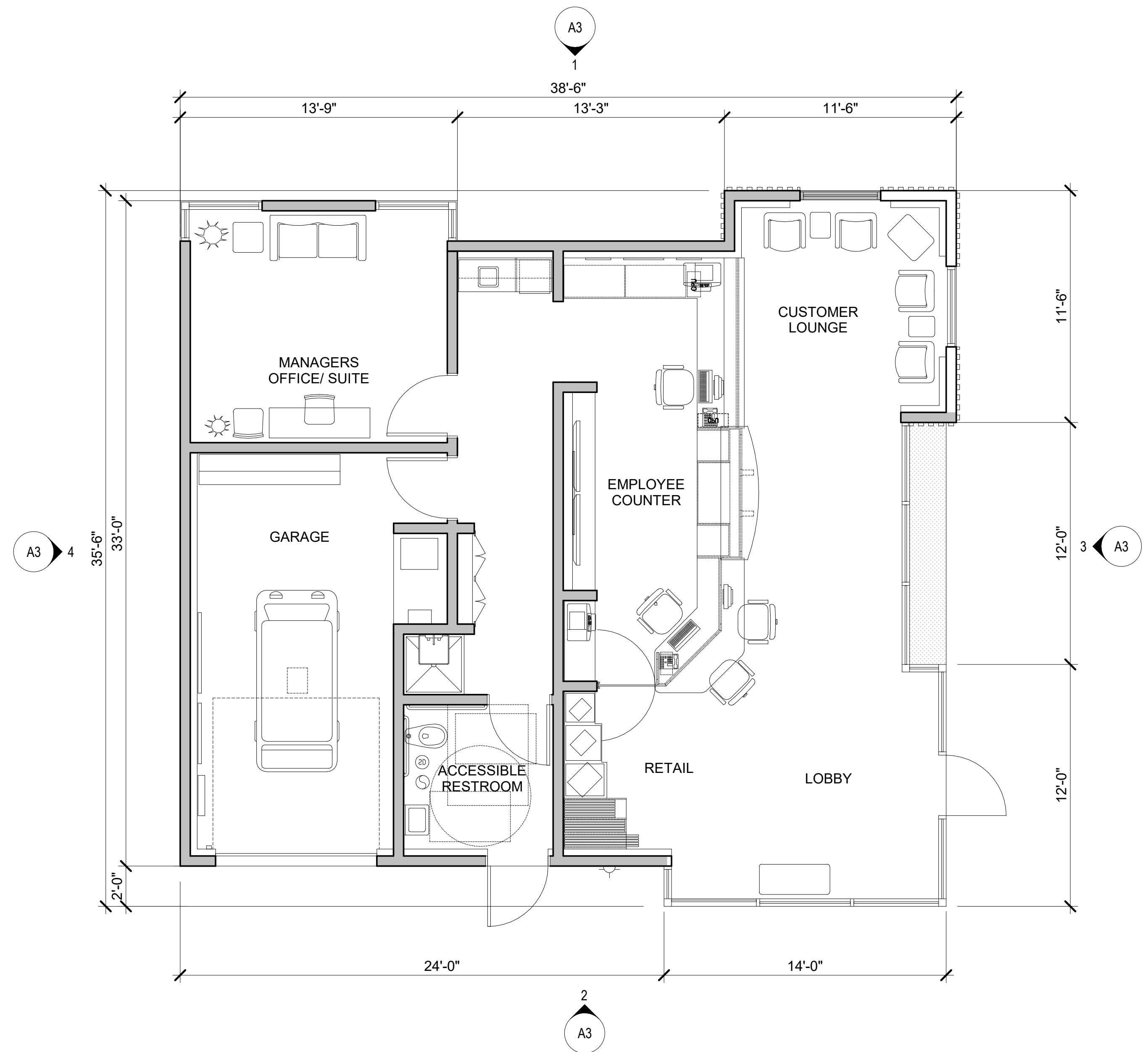
PROPOSED SITE PLAN
As indicated

A1
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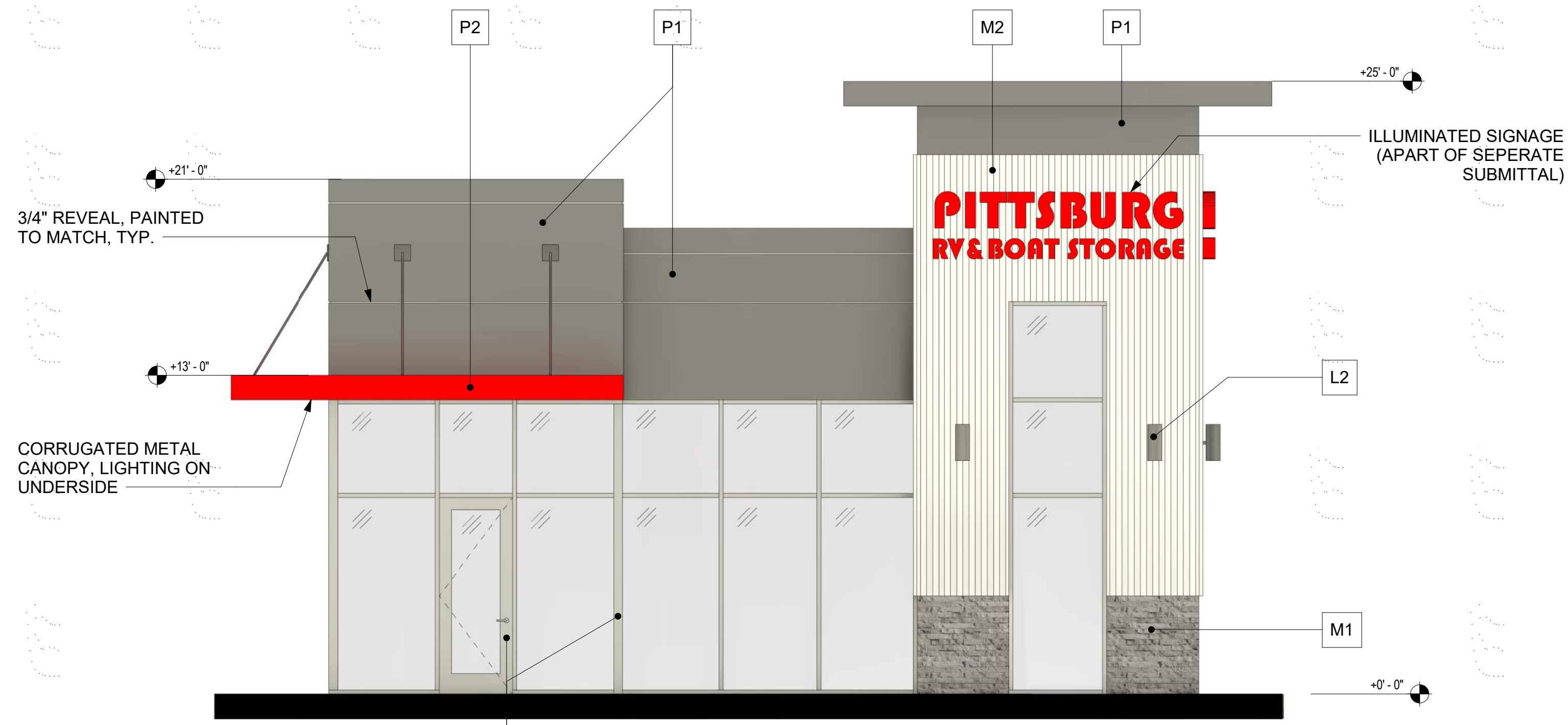
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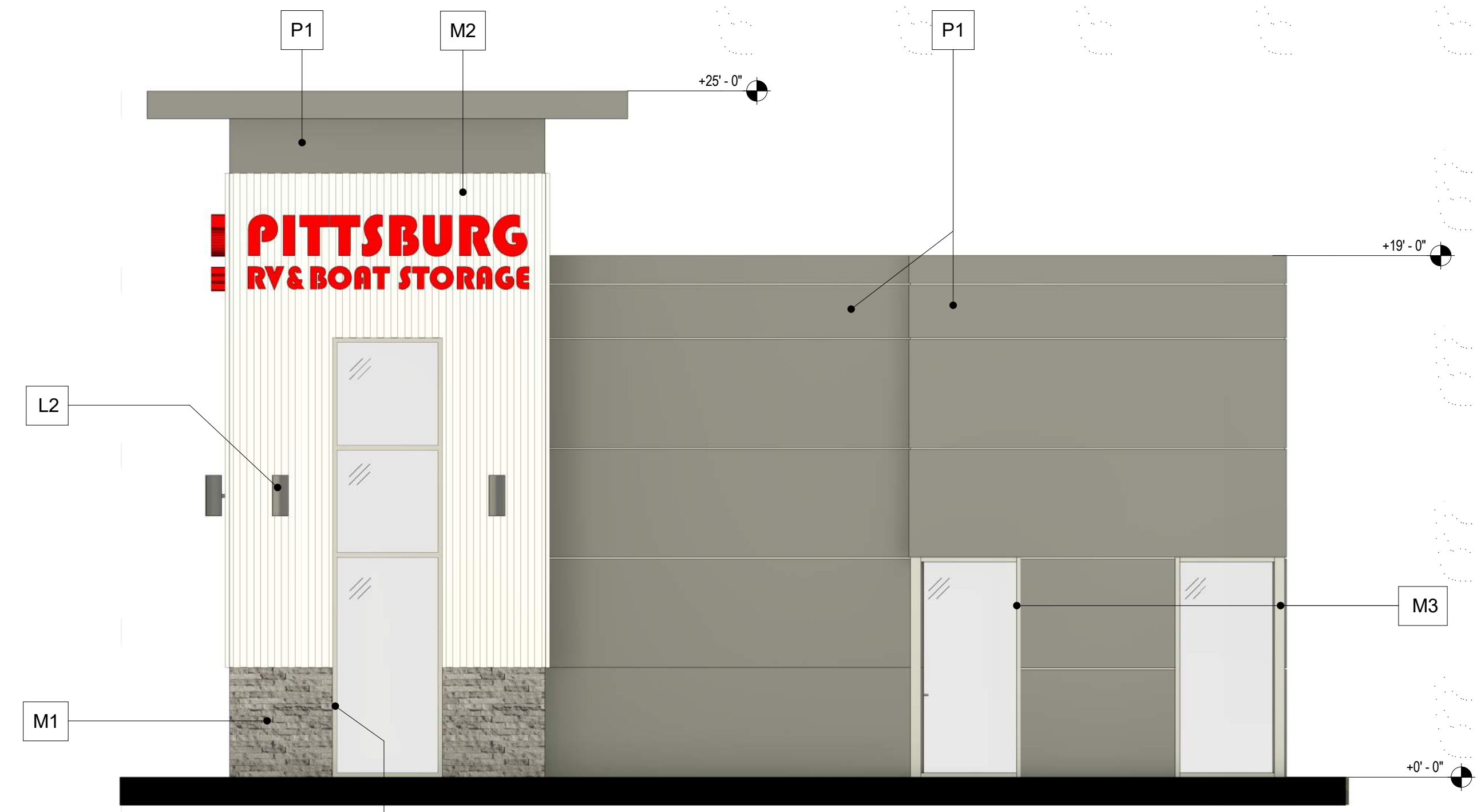
2 OFFICE ROOF PLAN
1/4" = 1'-0"



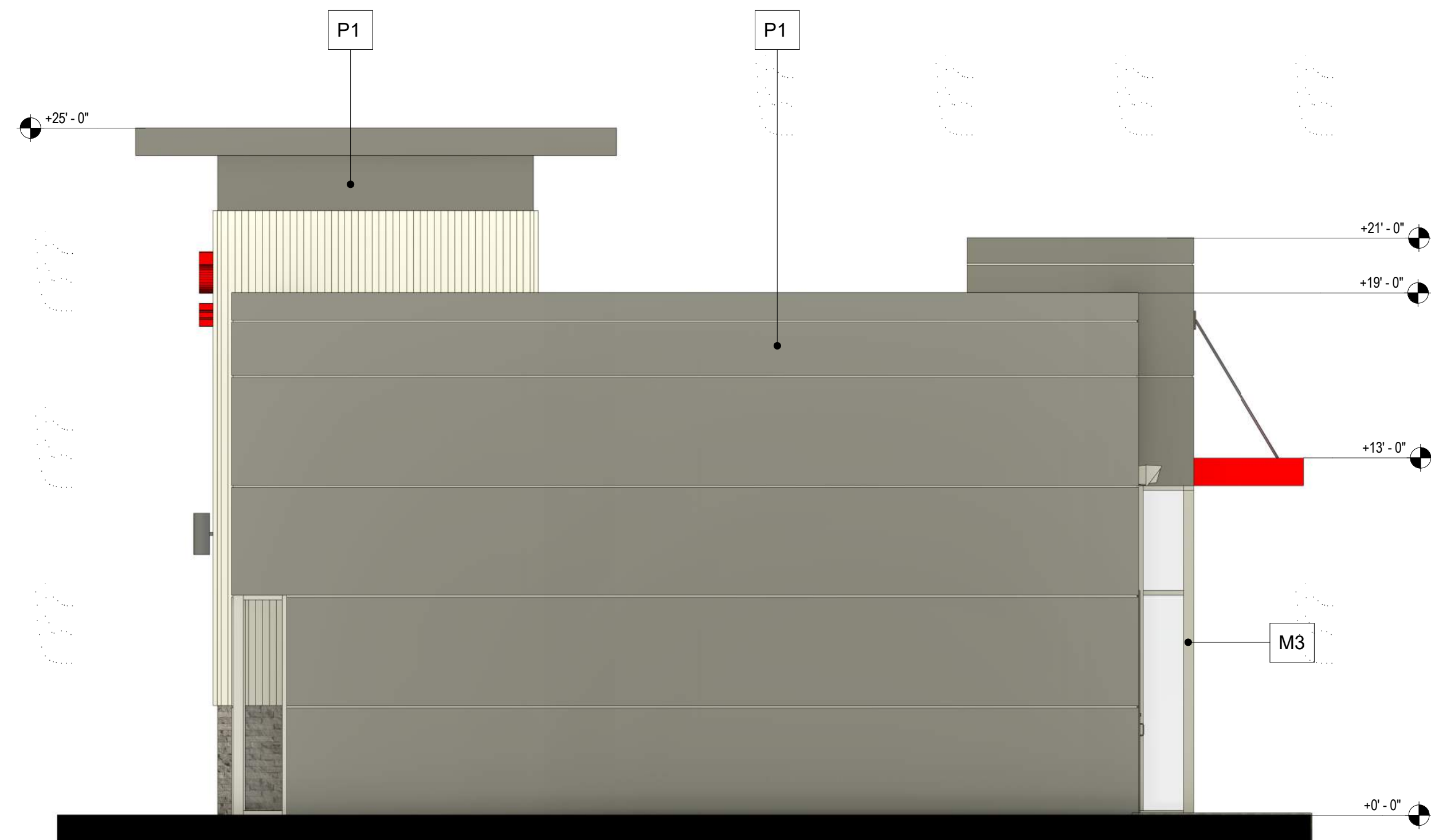
1 OFFICE FLOOR PLAN
1/4" = 1'-0"



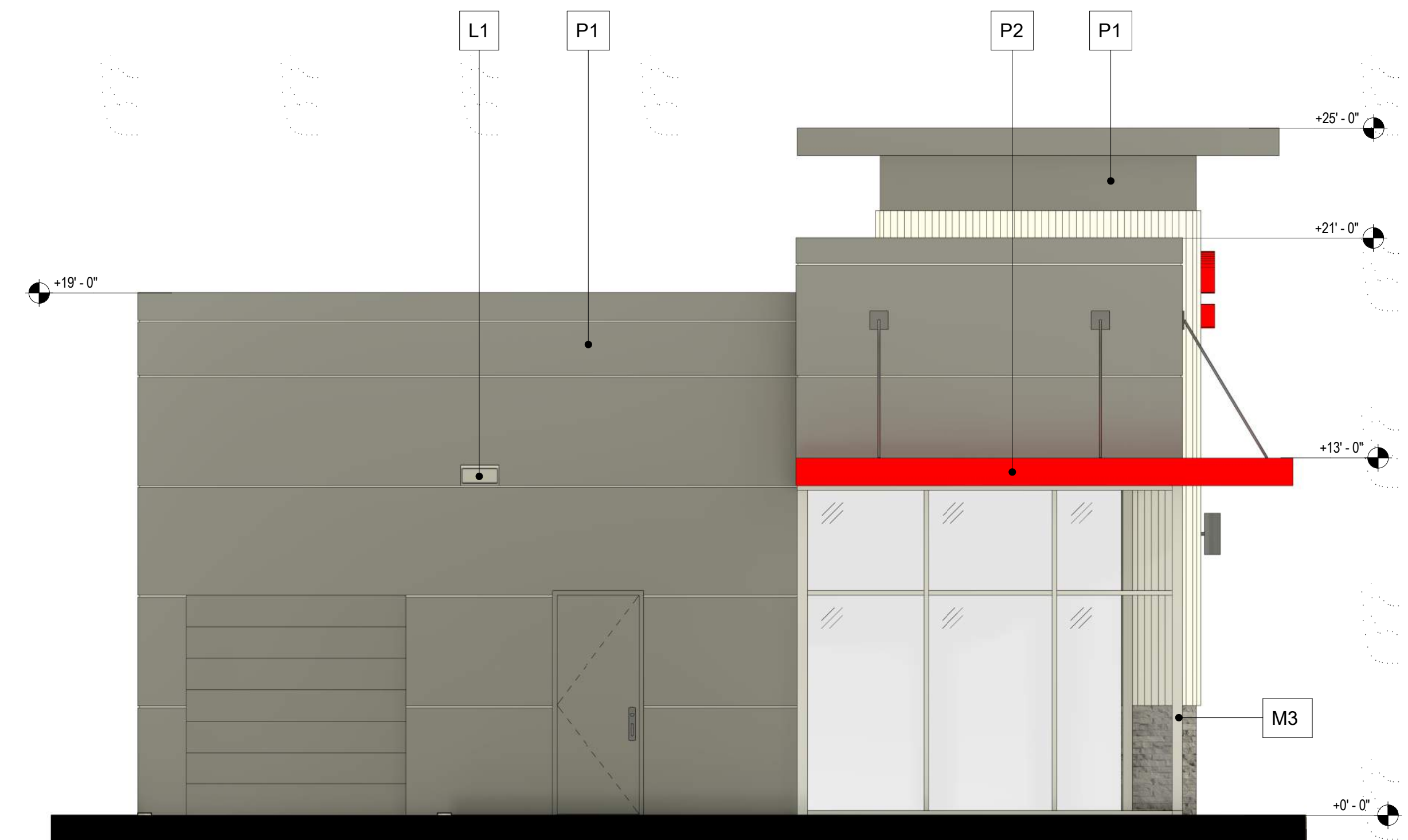
3 OFFICE - EAST ELEVATION
1/4" = 1'-0"



1 OFFICE - NORTH ELEVATION
1/4" = 1'-0"



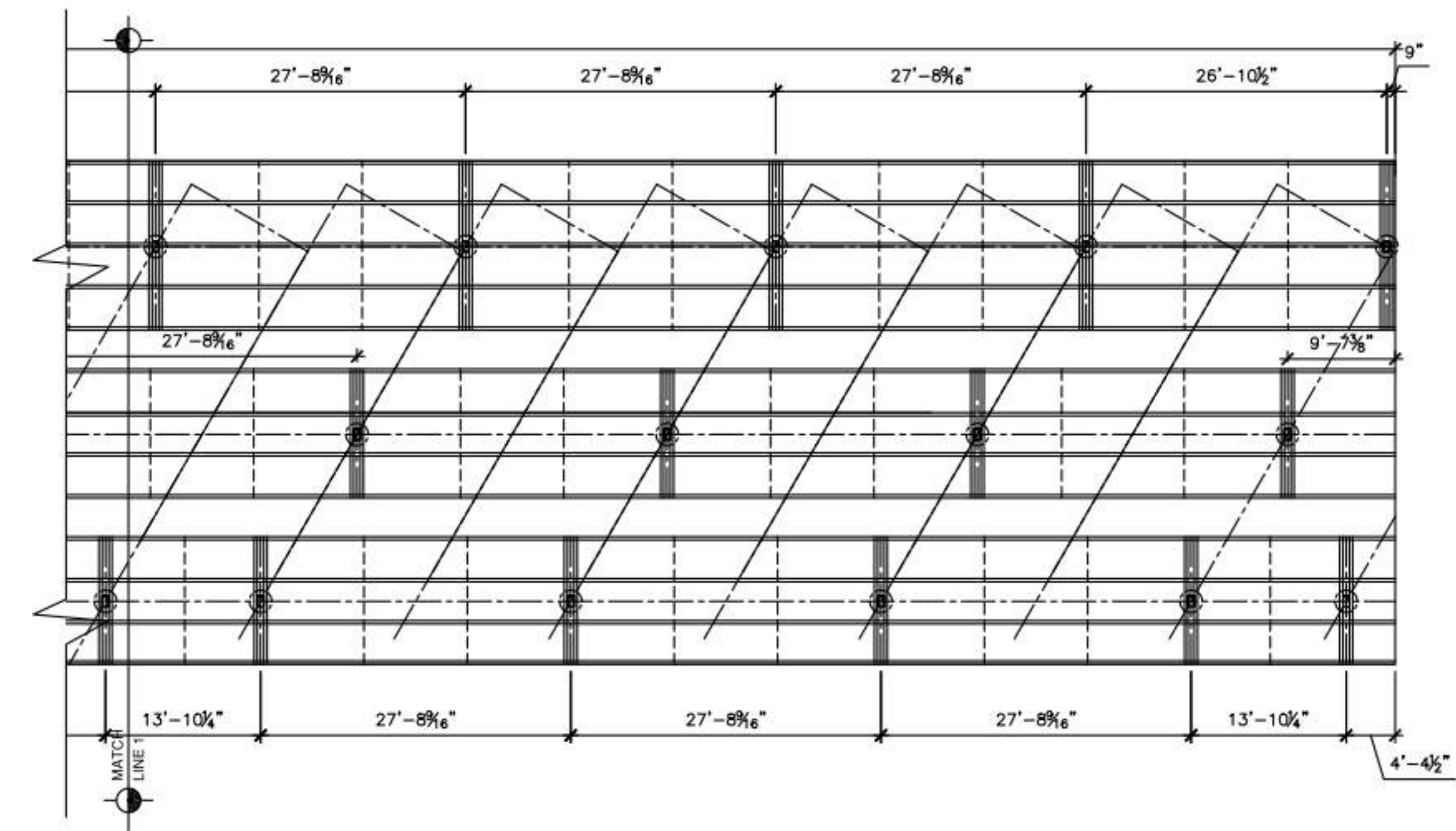
4 OFFICE - WEST ELEVATION
1/4" = 1'-0"



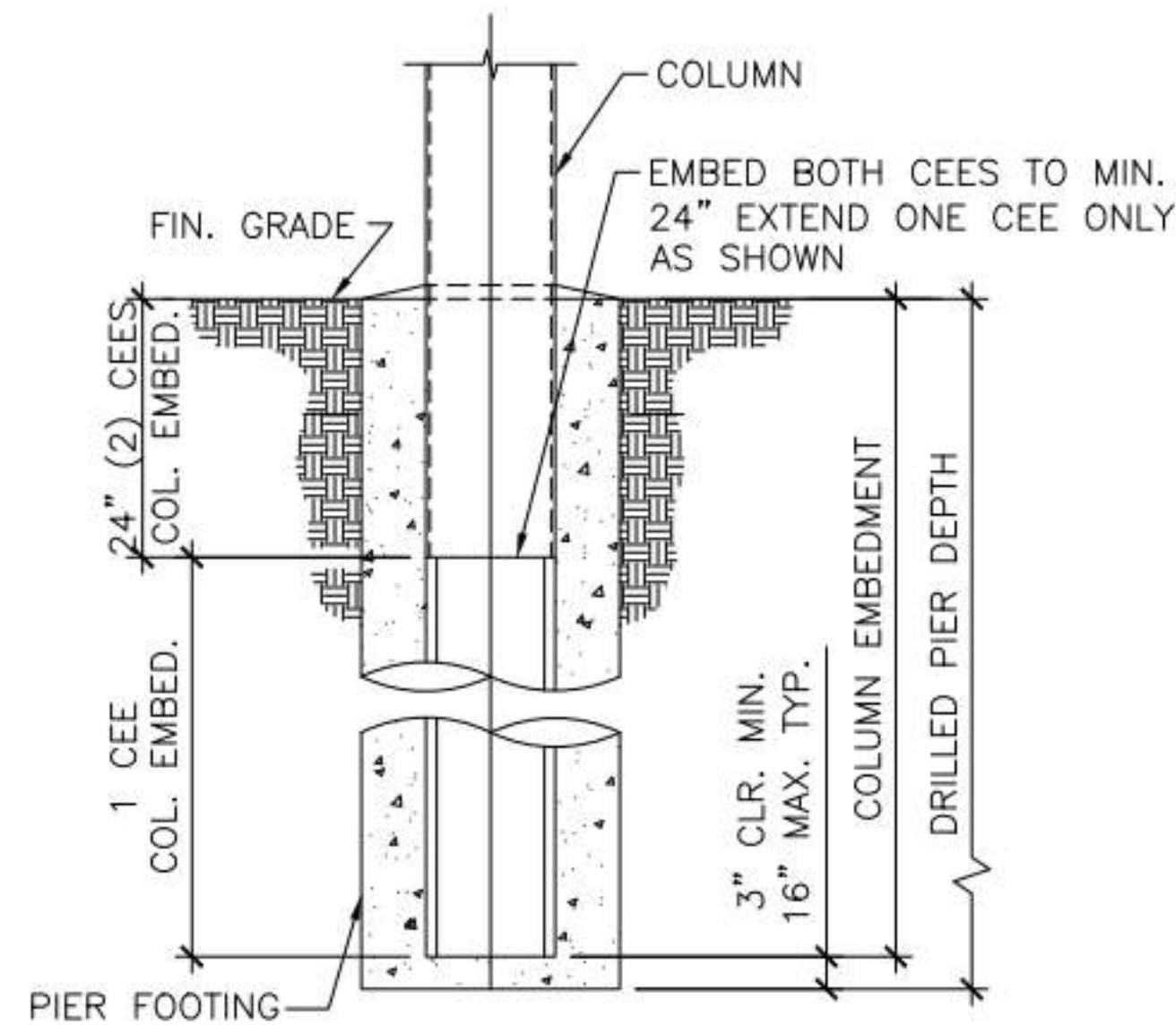
2 OFFICE - SOUTH ELEVATION
1/4" = 1'-0"

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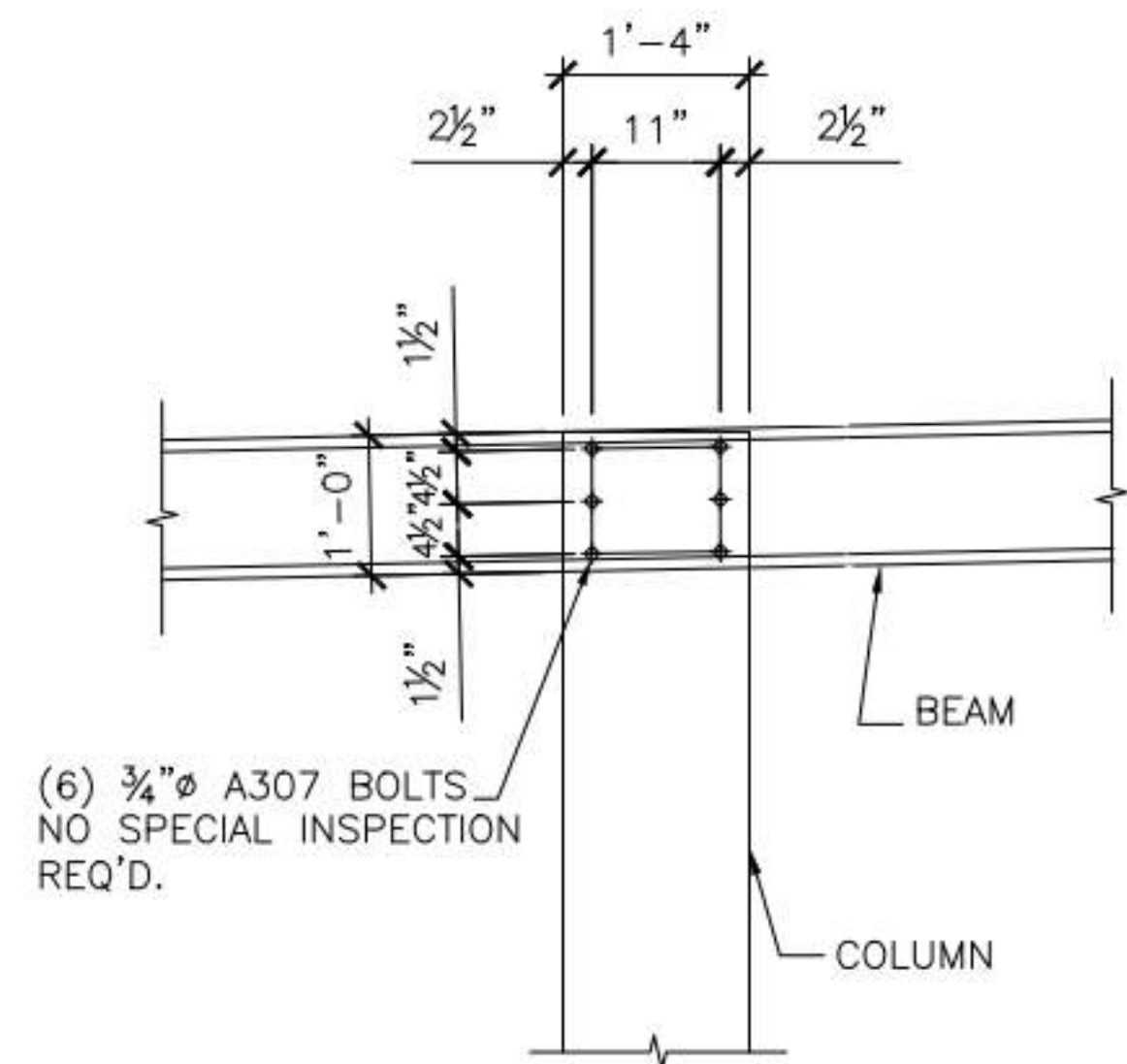
MANAGER OFFICE ELEVATIONS
1/4" = 1'-0"



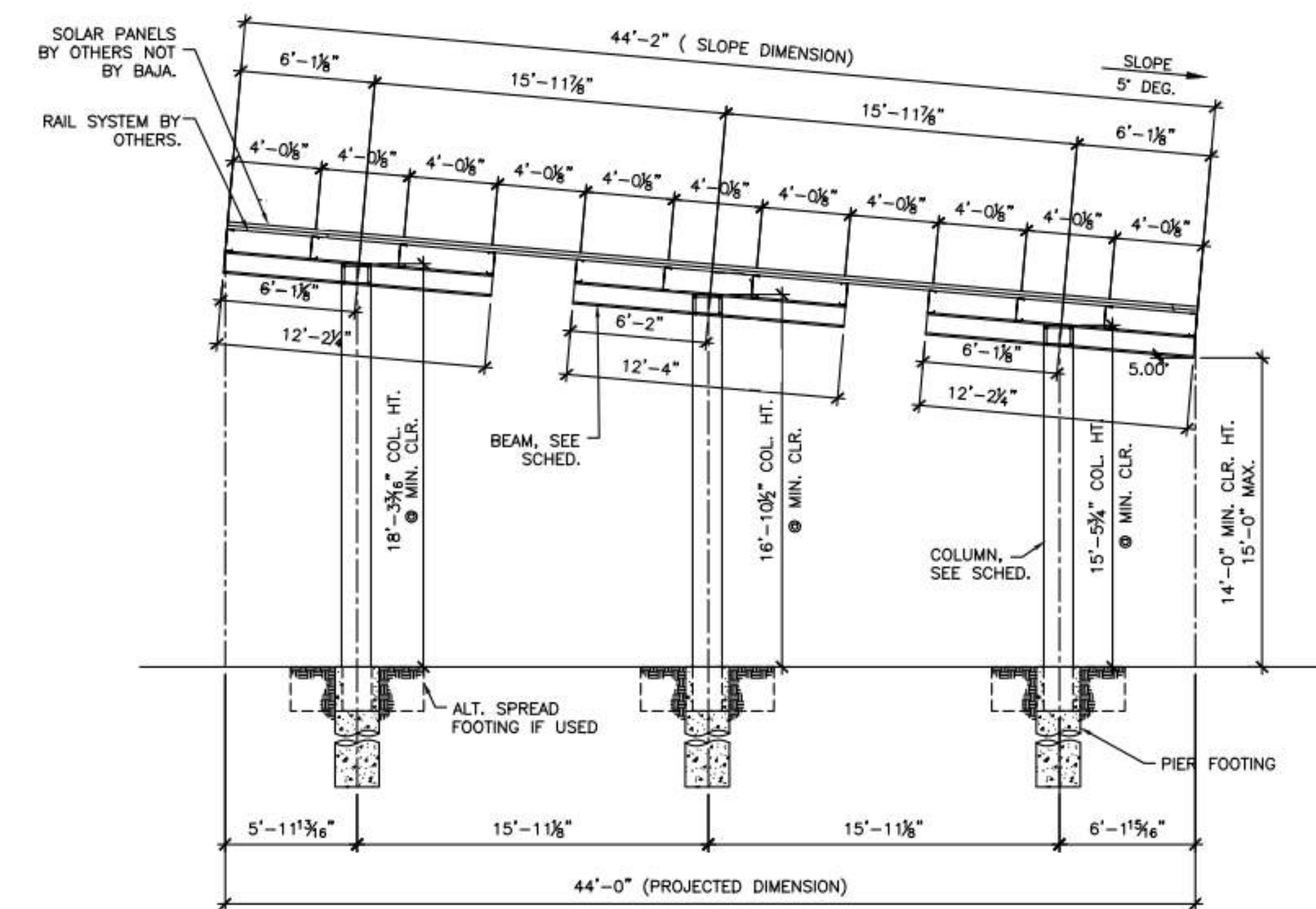
1 TYPICAL SOLAR PLAN
N/A



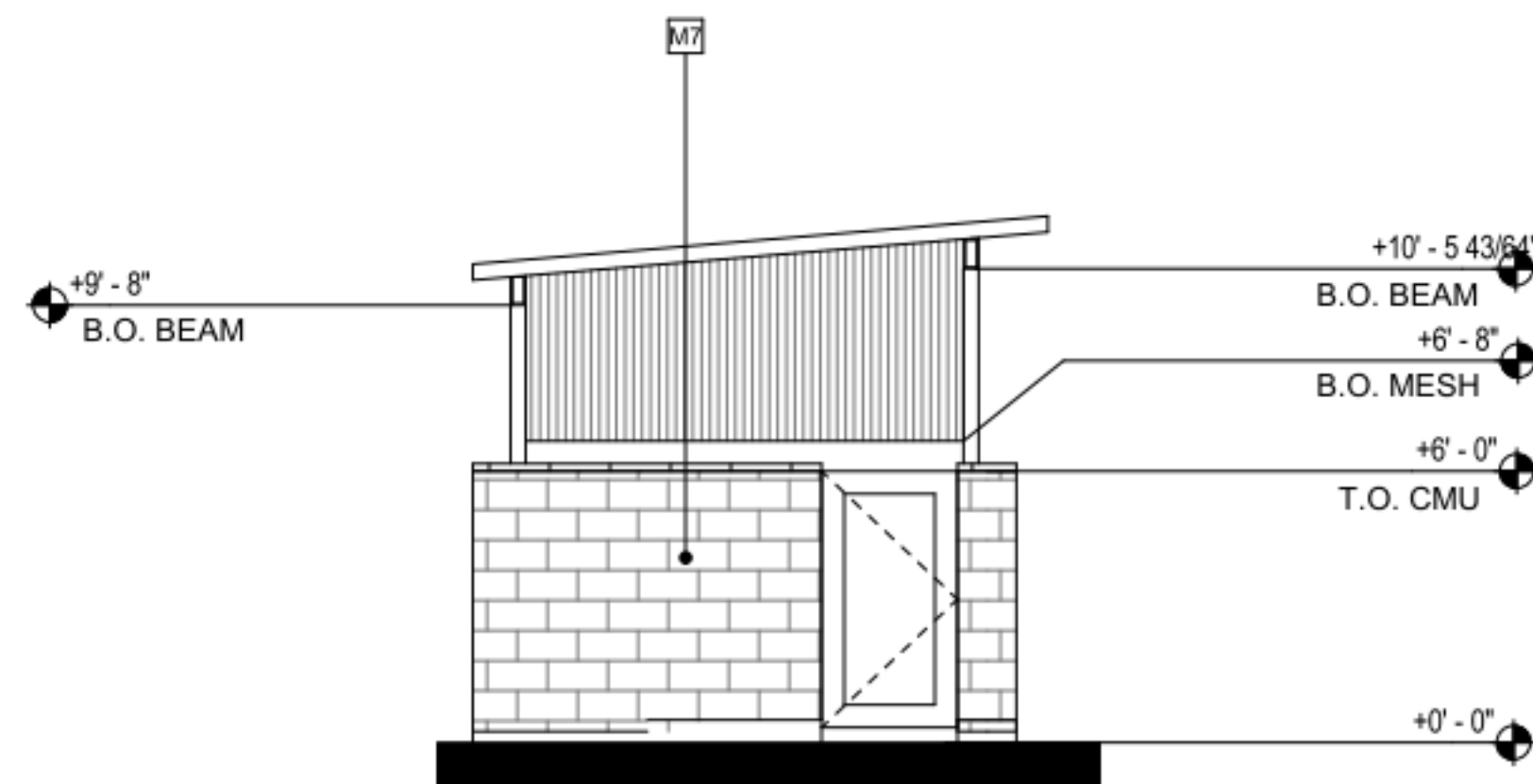
4 PIER FOOTING DETAIL
N/A



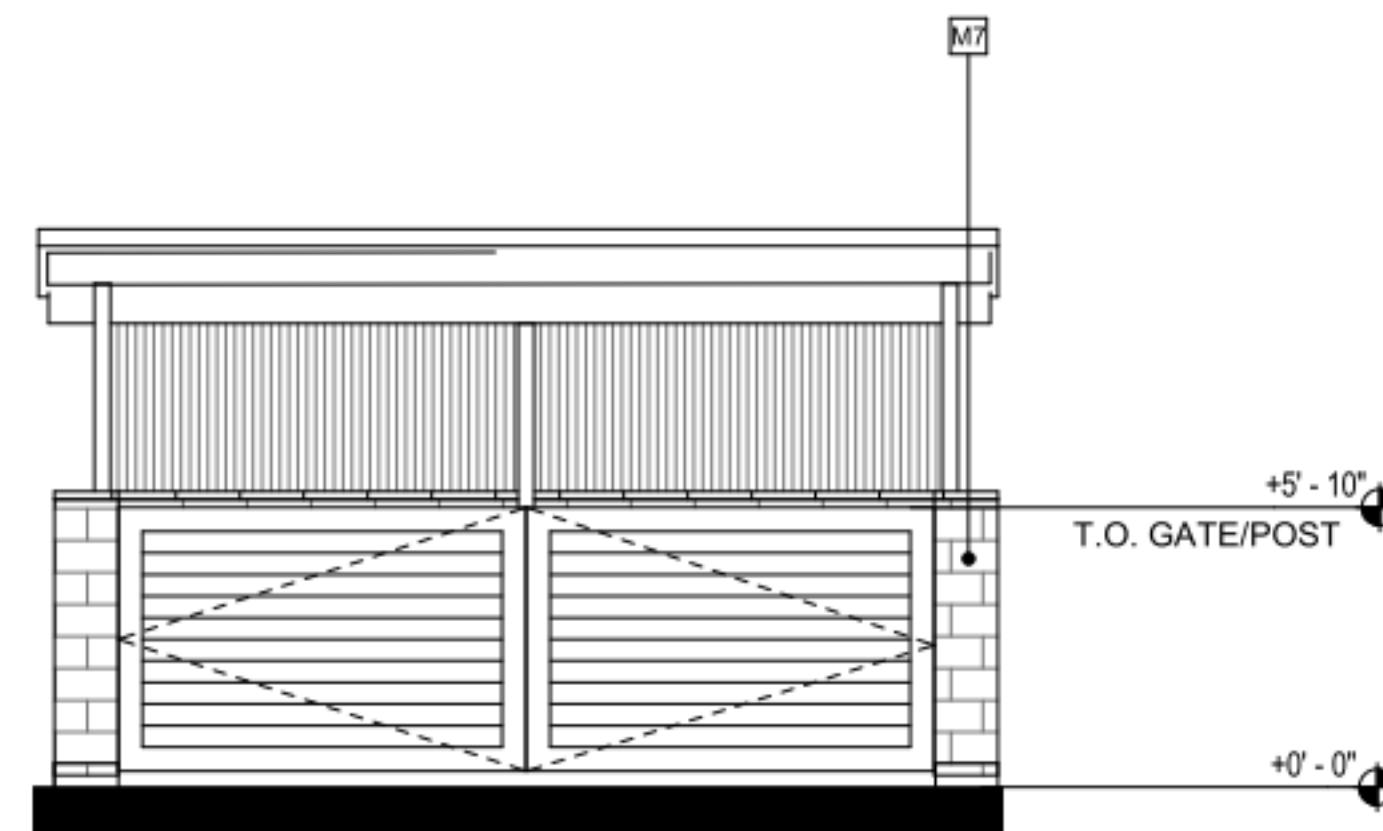
3 COLUMN TO BEAM CONNECTION DETAIL
N/A



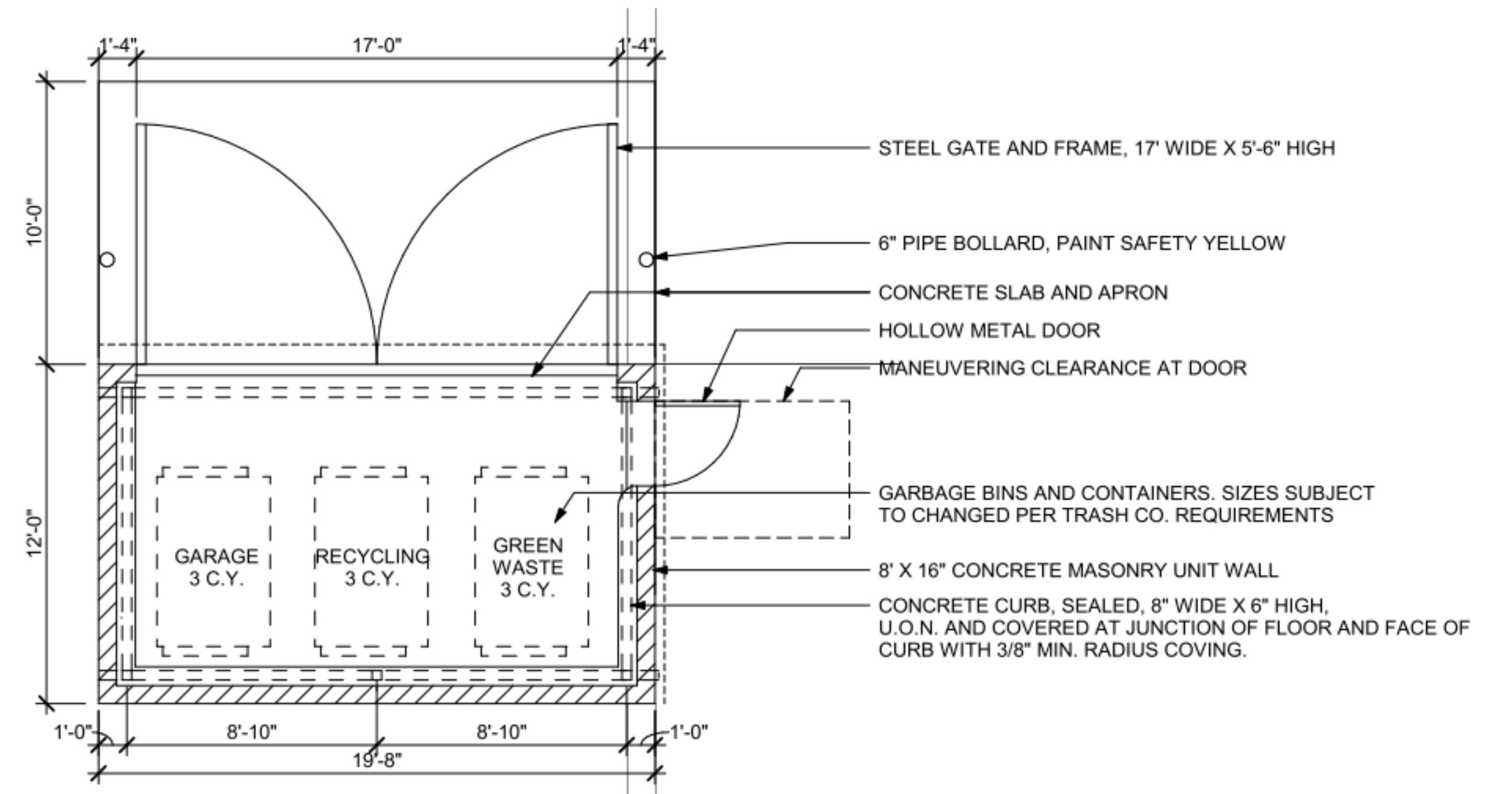
2 TYPICAL CROSS SECTION
N/A



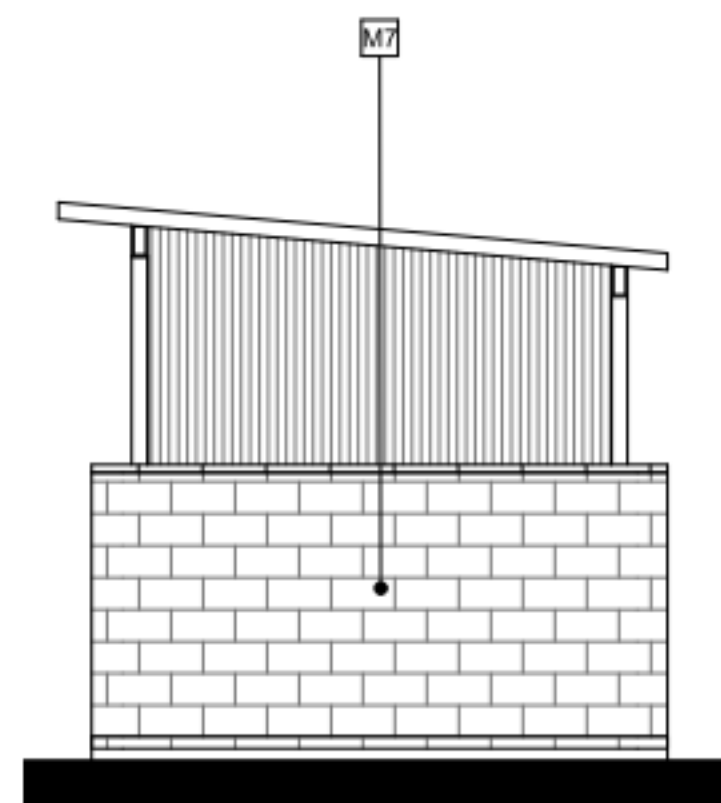
4 TRASH ENCLOSURE - EAST ELEVATION
1/4" = 1'-0"



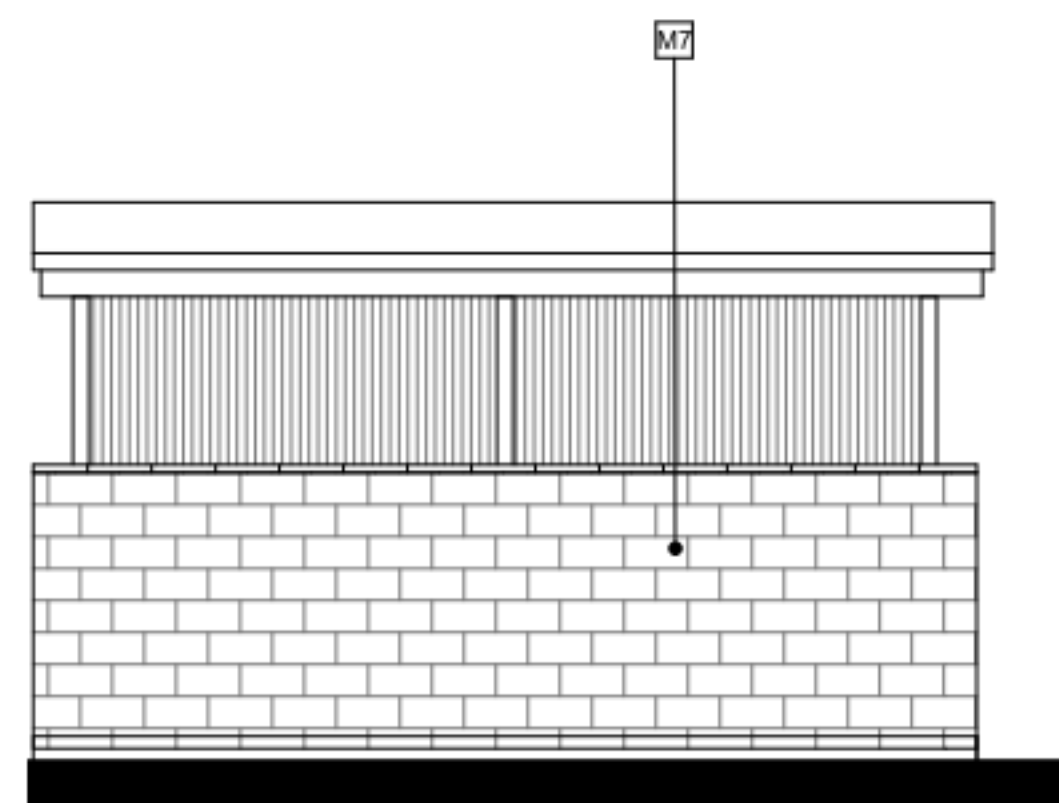
2 TRASH ENCLOSURE - NORTH ELEVATION
1/4" = 1'-0"



1 TRASH ENCLOSURE - FLOOR PLAN
1/4" = 1'-0"



5 TRASH ENCLOSURE - WEST ELEVATION
1/4" = 1'-0"



3 TRASH ENCLOSURE - SOUTH ELEVATION
1/4" = 1'-0"

KEYNOTES:

M7- PAINT - MEDIUM GREY TO MATCH SURROUNDING

TYPICAL FENCING DETAILS



COLOR AND MATERIALS:



M1 - STONE MASONRY WALL
EL DORADO STONE -
LEDGE CUT, BEACH PEBBLE



P1 - PAINT/ SIMULATED PLASTER FINISH
MBCI- TUFF COAT
ANTIQUE BRONZE



**M2 - VERTICAL METAL WALL
PANEL**
MBCI
PANEL PROFILE- PBD
COLOR: POLAR WHITE



P2 - PAINT
SHERWIN WILLIAMS
SW5868 REAL RED



M3 - ALUMINUM STOREFRONT

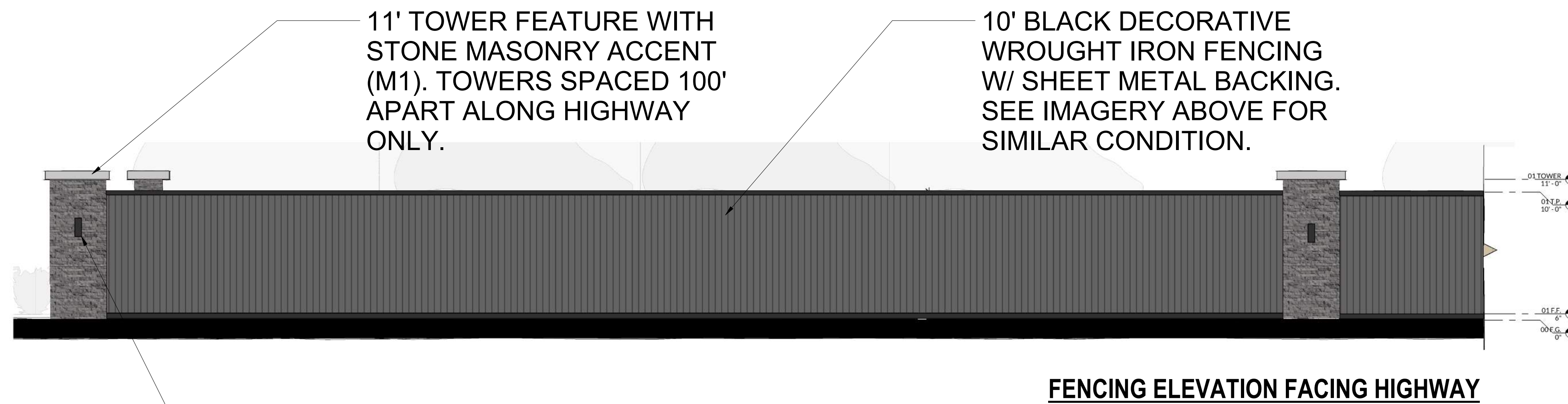
LIGHT FIXTURES:



L1- WALL MOUNTED LED WALL PACK
- CREE LIGHTING
- C-LIGHT WALL PACK, LED
- BLACK



**L2- SQUARE TUBULAR LED WALL
SCONCE W/ UP AND DOWN LIGHT**
- BEGA LIGHTING
- 24-597 WALL LUMINAIRE
- BLACK



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