
APPENDIX D7

Constraints-Level Cultural Resources Technical Report



July 29, 2022

Brian Leung
Kimley-Horn
1100 W Town and Country Road, Suite 700,
Orange, California 92868

Re: Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California

Dear Mr. Leung,

This report presents the results of a constraints-level cultural resources study conducted by ASM Affiliates, Inc. (ASM) for the proposed development of The District at Rubidoux (Project) located in the City of Jurupa Valley (City), Riverside County, California. The proposed Project consists of a new specific plan (The District at Jurupa Valley Specific Plan) that would replace the Emerald Meadows Ranch Specific Plan (SP-337) and EIR (SCH 2004031007) that was approved by Riverside County in 2005, prior to the City's incorporation. The 94 parcels that comprise the Project area are located immediately south of Highway CA-60. The Project is bounded by Highway CA-60 on the north, Rubidoux Boulevard on the west, 34th Street on the south, and the Santa Ana River on the east (Attachment A, Figure 1). It lies within Township 2 South, Range 5 West, as illustrated on the USGS Fontana and West Riverside, California 7.5-minute topographic quadrangles (Attachment A, Figure 2). The proposed Project consists of a new specific plan (The District at Jurupa Valley Specific Plan) that would replace the Emerald Meadows Ranch Specific Plan (SP-337) and EIR (SCH 2004031007) that was approved by Riverside County in 2005, prior to the City's incorporation. The new specific plan would permit development of up to 1,192 residential units; 3 million square feet of commercial and industrial land uses (including warehouse and logistic uses as permitted by the Agua Mansa Warehouse and Distribution Overlay Zone proposed to be applied to a portion of the Project site); a hotel with conference and hospitality area; and 7 acres of parks and open space (Project). The study was performed to determine the potential presence or absence of significant prehistoric and historical resources within the Project area in compliance with the California Environmental Quality Act (CEQA).

INTRODUCTION

As stated above, this report presents the results of a constraints-level cultural resources study for Project in compliance with CEQA. This study consisted of a request for a search of all relevant site records and reports on file with the Eastern Information Center (EIC) at University of California, Riverside, addressing the Project area and a 0.5-mile (mi.) search radius around it, the result of which was positive and included 59 previously recorded resources and 40 reports. ASM also requested a search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF), the result of which was positive. Finally, ASM conducted architectural history and archaeological pedestrian surveys within the Project area.

This letter report provides a brief summary of the prehistory and history of the region followed by the results of the targeted survey of the Project area. The report is divided into the following sections: Introduction, Regulations, Project Setting, Records Search Results, Native American Correspondence,

Survey Results, Architectural Styles, Summary and Management Recommendations, and References. Figures are provided as Attachment A to this report, Attachment B includes the report and resources lists provided by the EIC, Attachment C provides the correspondence received from the NAHC, Attachment D includes DPR forms created for resources identified during the study, and Attachment E is the paleontological assessment prepared by the San Diego Natural History Museum's Department of PaleoServices.

REGULATIONS

California Register of Historical Resources

The California Register of Historical Resources (CRHR) program encourages public recognition and protection of resources of architectural, historical, archaeological, and cultural significance; identifies historical resources for state and local planning purposes; determines eligibility for state historic preservation grant funding; and affords certain protections under CEQA. The criteria established for eligibility for the CRHR are directly comparable to the national criteria established for the National Register of Historic Places (NRHP).

In order to be eligible for listing in the CRHR, a building must satisfy at least one of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation [Public Resources Code [PRC], §5024.1(c)].

Historical resources eligible for listing in the CRHR must meet one of the criteria of significance described above and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. For the purposes of eligibility for CRHR, integrity is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance” (Office of Historic Preservation 2001). This general definition is generally strengthened by the more specific definition offered by the NRHP—the criteria and guidelines on which the CRHR criteria and guidelines are based upon.

Integrity

In order to be eligible for listing in the CRHR and the NRHP, a property must retain sufficient integrity to convey its significance. The NRHP publication *How to Apply the National Register Criteria for Evaluation*, National Register Bulletin 15, establishes how to evaluate the integrity of a property: “Integrity is the ability of a property to convey its significance” (National Park Service, National Register of Historic Places 1991). The evaluation of integrity must be grounded in an understanding of a property’s physical features, and how they relate to the concept of integrity. Determining which of these aspects are most important to a property requires knowing why, where, and when a property is significant. To retain historic integrity, a property must possess several, and usually most, aspects of integrity:

1. **Location** is the place where the historic property was constructed or the place where the historic event occurred.
2. **Design** is the combination of elements that create the form, plan, space, structure, and style of a property.
3. **Setting** is the physical environment of a historic property and refers to the character of the site and the relationship to surrounding features and open space. Setting often refers to the basic physical conditions under which a property was built and the functions it was intended to serve. These features can be either natural or manmade, including vegetation, paths, fences, and relationships between other features or open space.
4. **Materials** are the physical elements that were combined or deposited during a particular period or time, and in a particular pattern or configuration to form a historic property.
5. **Workmanship** is the physical evidence of crafts of a particular culture or people during any given period of history or prehistory and can be applied to the property as a whole, or to individual components.
6. **Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, when taken together, convey the property's historic character.
7. **Association** is the direct link between the important historic event or person and a historic property.

Local Regulations

Jurupa has no historic preservation ordinance nor regulations or criteria for a local register of historic places.

California Environmental Quality Act Significance Criteria

CEQA Section 15064.5 *Determining the Significance of Impacts to Archeological and Historical Resources* requires that all private and public activities not specifically exempted be evaluated against the potential for environmental damage, including effects to historical resources. Historical resources are recognized as part of the environment under CEQA. It defines historical resources as “any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.”

Lead agencies have a responsibility to evaluate historical resources against the CRHR criteria prior to making a finding as to a proposed Project's impacts to historical resources. Mitigation of adverse impacts is required if the proposed Project will cause substantial adverse change to a historical resource. Substantial adverse change includes demolition, destruction, relocation, or alteration such that the significance of an historical resource would be impaired. While demolition and destruction are fairly obvious significant impacts, it is more difficult to assess when change, alteration, or relocation crosses the threshold of substantial adverse change. The CEQA Guidelines provide that a Project that demolishes or alters those physical characteristics of an historical resource that convey its historical significance (i.e., its character-defining features) can be considered to materially impair the resource's significance. The CRHR is used in the consideration of historical resources relative to significance for purposes of CEQA. The CRHR includes resources listed in, or formally determined eligible for listing in, the NRHP, as well as some California State Landmarks and Points of Historical Interest. Properties of local significance that have been designated under a local preservation ordinance (local landmarks or landmark districts), or that have been identified in a local historical resources inventory, may be eligible for listing in the CRHR and are presumed to be significant resources for purposes of CEQA unless a preponderance of evidence indicates otherwise.

Generally, a resource shall be considered by the lead agency to be a “historical resource” if it:

- 1) Is listed in or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (PRC, §5024.1; California Code of Regulations [CCR], Title 14, §4850 et seq.).
- 2) Is included in a local register of historical resources or is identified as significant in an historical resource survey meeting the requirements of PRC, §5024.1(g).
- 3) Is a building or structure determined to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California (PRC, §5024.1; CCR, Title 14, §4852).

PROJECT SETTING

Natural Setting

The City of Jurupa Valley is located approximately 50 mi. east of the City of Los Angeles, at the base of the Jurupa Hills, within the Cucamonga Valley. It is bordered by San Bernardino County to the north, the City of Riverside to the south and east, and Eastvale and Ontario to the west. The Santa Ana River traverses the eastern and southern edges of the City. Elevations at the Project site range from approximately 800-820 feet (ft.) above mean sea level at the north edge to 780 ft. at the south. The Project site currently contains a number of residences along Wallace Road, which bisects it, but is otherwise largely vacant.

Cultural Setting

Archaeological investigations in Riverside County and elsewhere in southern California have documented a diverse range of prehistoric human occupations, extending from the terminal Pleistocene down to the time of European contact (Koerper and Drover 1983; Mason 1984; McKenna 1986; Wallace 1955; Warren 1968).

Paleoindian Period (pre-6000 B.C.)

Paleoindian assemblages include large stemmed projectile points, high proportions of formal lithic tools, bifacial lithic reduction strategies, and relatively small proportions of ground stone tools. These tools suggest a reliance on hunting rather than gathering. In general, hunting-related tools are more common during this period and are replaced by processing tools during the early Holocene (Basgall and Hall 1990).

Milling Stone Horizon (6000 B.C.-750 A.D.)

The Milling Stone Horizon is characterized by the presence of hand stones, milling stones, choppers, and scrapers. These tools are thought to be associated with seed gathering and processing and limited hunting activities. The artifacts from this period show a major shift in the exploitation of natural resources.

Late Prehistoric Horizon (A.D. 750-1750)

Like much of Southern California, this horizon in the general Project area is characterized by the presence of small projectile points associated with the use of bow and arrow. Steatite containers, asphaltum items, mortars and pestles, and bedrock mortars are also common artifacts.

Ethnohistoric Period (Post A.D. 1750)

The Project area is within the territorial boundaries of several Native American tribal groups. Ethnographic sources have indicated that these groups may have included the Luiseño of the Perris-Elsinore region, the Serrano of the San Bernardino Mountains, and the Gabrielino of the San Gabriel Valley. Additionally, a late influx of Cahuilla occurred during the nineteenth century. Boundaries between the tribes were fluid and changed somewhat over time. The Gabrielino name derived from their association with the San Gabriel

Valley and the Mission San Gabriel Arcángel, while the Luiseño were named for their proximity to the Mission de San Luís Rey de Francia (Bean and Smith 1978a, 1978b). Jurupa Valley itself derives its name from the Native American term for the area.

These groups shared similar social organization and resource procurement strategies. Villages were based on clan or lineage groups, and the home sites are marked by midden deposits, often with bedrock mortars. During seasonal rounds to exploit available resources, small groups often ranged some distances in search of specific plants and animals. The gathering strategies often left behind signs of special use sites, usually grinding slicks on bedrock boulders, at the locations of the resources.

Numerous plants and animals were utilized for food, shelter, and medicines (Kroeber 1976). Seeds were most often used followed by foliage, shoots, fruits, and berries. Mountain shrubs, ash, elder, and willow were used for shelters and tool materials such as bows. Fauna used as food sources included deer, rabbits, wood rats, squirrels, quail, and ducks. Animals specifically not used were dog, coyote, bear, tree squirrel, pigeon, dove, mud hen, eagle, buzzard, raven, lizards, frogs, and turtles (Kroeber 1976). Various styles of bows, bedrock mortars, portable mortars, pipes, chisels, metates, manos, and various forms of chipped stone tools were utilized as well. Prior to the establishment of the Mission system, Native Americans lived in larger villages, associated with smaller villages with limited activity areas and smaller populations. Seasonal migration was practiced across the area for both the exploitation of resources and based on seasonal weather conditions.

Spanish and Mexican Periods

Spanish explorer Juan Rodríguez Cabrillo first discovered California in 1542, claiming it for the King of Spain. However, Spanish contact within the vicinity of the Project area did not take place until the 1770s when Father Garces traveled across the Mojave Desert and entered coastal southern California through the Cajon Pass (Walker 1986).

The Mission San Gabriel de Archangel was established in 1771 and claimed what are now the San Gabriel and San Bernardino valleys. In 1819, a mission outpost, or asistencia, was established in the area of present-day Redlands (Dumke 1944; Hanna 1951; McWilliams 1973; Scott 1977). This outpost, part of Mission San Gabriel's Rancho San Bernardino, was established to expand the agricultural holdings of Mission San Gabriel. The asistencia was later moved to its current location, where construction began in 1830; it was abandoned soon after in 1834 (Lugo 1950). Although no missions were ever located in present-day Riverside County, Mission San Gabriel had far-reaching influence over the area that would become Riverside County.

The Mexican War of Independence ended in 1821, severing the Spanish hold on the Californias. The Mexican period (1821-1848) was largely characterized by the establishment of large land grants or ranchos. Most ranchos were demarcated after secularization of mission land beginning in 1833, which prompted a rush for land grants. A series of ranchos was granted throughout what is now Riverside County and much of the land was used for ranching activities. Although some land had been granted to Indians, most of the land went to military men or merchants. In 1838, Juan Bandini was granted 30,000 acres of land by the Mexican government called the Rancho Jurupa, within which the project area is situated.

Granting large ranch lands or ranchos remained as both a Spanish and a Mexican legacy in California. Ranchos were first granted in 1784 by the Spanish viceroy and his appointees (governors and military commanders) as land concessions or permits for cattle grazing. The Mexican government retained those concessions for a time, but by 1828, existing and new ranchos were granted under land title. Land granted to Mexicans between 1833 and 1846 amounted to 500 ranchos primarily granted near the coast from San Francisco to San Diego. Mexican Governor Pío Pico granted a great number of those ranchos prior to 1846,

quickly carving up Alta California to ensure Mexican land titles survived a U.S. victory in the Mexican-American War (1846-1848) (Christenson and Sweet 2008:7; Engstrand 2005:64-66; Robinson 1948:23-72).

American Period

In 1838, the area of the Jurupa Valley was granted to Juan Bandini by Governor Alvarado (Guinn 1902; Johnson 2005, 2012). Rancho Jurupa spanned 32,000 acres and included a portion of the Santa Ana River within its boundaries. Portions of the Rancho Jurupa were later sold to Benjamin Wilson in 1843 who sold his portion to Louis Rubidoux (b. Robidoux) in 1849. Rubidoux's grandfather was a fur trader who migrated from Quebec to St. Louis, Missouri, where he founded what became the family business. After 1803, when St. Louis officially became part of the United States as part of the Louisiana Purchase, Rubidoux and his brothers became citizens, though he was also a naturalized Mexican citizen who had served as Alcalde of Santa Fe, New Mexico. Rubidoux, who arrived in California in 1844, used his land for cattle raising, orchards, vineyards, and operated one of the first wineries in the area. A large irrigation canal, the Jurupa Ditch, was built at some time during either Wilson or Rubidoux's ownership of the Rancho (Guinn 1902; Johnson 2005). Before he died in 1868, Rubidoux sold portions of his land as small ranches to many different settlers. Ultimately, the town of Rubidoux was sited on part of that rancho land. The original adobe house, first constructed by Wilson and later sold to Rubidoux is still extant and is a California State Historic Landmark (Kyle et al. 2002).

By the 1880s, settlers began to populate the area of what would become Jurupa Valley. In 1870, the town of Riverside was founded. Rancho Jurupa was part of San Bernardino County until March 11, 1893, when Riverside County was formed from territory originally belonging to San Bernardino and San Diego counties (Kyle et al. 2002; Salley 1991:92), making the City of Riverside its county seat. The City of Riverside became a central trading center for the region, drawing settlers to the area through the turn of the twentieth century. By that time, several small agricultural communities called Etiwanda, Sansevain, and Bloomington had settled in the Jurupa Valley area. The Pleasant Valley School District was formed in 1886 and later became a voting district that encompassed communities such as Rubidoux, Mira Loma, Pedley, and Glen Avon (Kyle et al. 2002; Lord 2014).

The late 1800s were a time of agricultural pursuits for most of the residents of the area that would become the City of Jurupa Valley. The expansion of the Southern Pacific Railroad into Southern California meant a growing number of immigrants to the area. However, unlike Riverside, the City of Jurupa Valley did not grow quickly into a larger metropolitan area, and the population remained relatively small with a more rural and agricultural base. The area was subjected to major flooding with especially large flood episodes in 1938 and 1969, which saw vast areas under water with agricultural fields submerged and cattle and livestock drowned (Johnson 2005). The area remained predominantly agricultural until the post-World War II population boom that resulted in greater development throughout Riverside County in the second half of the twentieth century. Jurupa Valley is a young city, incorporated in 2011. As of 2020, its population was just over 100,000.

RECORDS SEARCH RESULTS

ASM requested a records search from the EIC at the University of California, Riverside, to identify any previous studies conducted or previously recorded sites located within a 0.5-mi. radius of the Project site. The search included review of all maps and files housed at the EIC related to the Project area. The search identified 40 previous cultural resource studies that had been conducted within the 0.5-mi. radius. Full lists of reports and resources created by the EIC are provided as Attachment B.

A total of 59 cultural resources have been previously recorded within the 0.5-mi. records search radius including 23 within the Project area (Table 1). Resources within the Project area are all historic residential buildings with the exception of the Jurupa Ditch, a large-scale historic agricultural canal. All but one (P-33-014342; 2861 Wallace Street) of the previously recorded buildings have been demolished since their recordation.

Table 1. Previously Recorded Cultural Resources within the Project Area

Primary # (P-33-)	Trinomial (CA-RIV-)	Date / Recorded by	Site Type	Description	Status
005648	5513H	1995 (J. A. Keller, Consulting Archaeologist); 2004 (J. Smallwood, CRM TECH)	Historic	Jurupa Ditch	Present
011193	--	2001 (D. Van Horn, Archaeological Associates)	Historic	3200 Rubidoux Blvd	Destroyed
014329	--	2004 (C. Tibbet, CRM Tech)	Historic	5477 30th Street	Destroyed
014330	--	2004 (C. Tibbet, CRM Tech)	Historic	2991 Hall Avenue	Destroyed
014331	--	2004 (C. Tibbet, CRM Tech)	Historic	2993 Hall Avenue	Destroyed
014332	--	2004 (C. Tibbet, CRM Tech)	Historic	2995 Hall Avenue	Destroyed
014333	--	2004 (C. Tibbet, CRM Tech)	Historic	2997 Hall Avenue	Destroyed
014334	--	2004 (C. Tibbet, CRM Tech)	Historic	2975 Hall Avenue	Destroyed
014335	--	2004 (C. Tibbet, CRM Tech)	Historic	2917 Hall Avenue	Destroyed
014336	--	2004 (C. Tibbet, CRM Tech)	Historic	2913 Hall Avenue	Destroyed
014337	--	2004 (C. Tibbet, CRM Tech)	Historic	2970 Hall Avenue	Destroyed
014338	--	2004 (C. Tibbet, CRM Tech)	Historic	2960 Hall Avenue	Destroyed
014339	--	2004 (C. Tibbet, CRM Tech)	Historic	2936 Hall Avenue	Destroyed
014340	--	2004 (C. Tibbet, CRM Tech)	Historic	2914 Hall Avenue	Destroyed
014341	--	2004 (C. Tibbet, CRM Tech)	Historic	2839 Wallace Street	Destroyed
014342	--	2004 (C. Tibbet, CRM Tech)	Historic	2861 Wallace Street	Present
014343	--	2004 (C. Tibbet, CRM Tech)	Historic	3081 Wallace Street	Destroyed
014344	--	2004 (C. Tibbet, CRM Tech)	Historic	2950 Wallace Street	Destroyed
014345	--	2004 (C. Tibbet, CRM Tech)	Historic	3121 Wallace Street	Destroyed
014346	--	2004 (C. Tibbet, CRM Tech)	Historic	3082 Wallace Street	Destroyed
014347	--	2004 (C. Tibbet, CRM Tech)	Historic	3078 & 3082 1/2 Wallace Street	Destroyed
014348	--	2004 (C. Tibbet, CRM Tech)	Historic	3182 Rubidoux Blvd	Destroyed
014351	--	2004 (C. Tibbet, CRM Tech)	Historic	5003 34th Street	Destroyed

HISTORICAL IMAGERY

ASM analyzed historical imagery available from historicaerials.com (NETR 2022). This included topographic maps from 1896, 1898, 1901, 1905, 1909, 1911, 1913, 1926, 1927, 1929, 1938, 1939, 1942,

1943, 1946, 1955, 1959, 1960, 1962, 1963, 1965, 1975, 1980, 1981, 1985, 2012, 2015, and 2018 (NETR 2022a); and aerial images from 1938, 1948, 1959, 1966, 1967, 1968, 1980, 1985, 1994, 2002, 2005, 2009, 2010, 2012, 2014, 2016, and 2018 (NETR 2022b).

The earliest topographic maps show Rubidoux Boulevard already in place, as well as the Santa Ana River channel. One structure is depicted in the northern portion of the Project area. Additional roads and structures appear on the 1901 map, with little change until the 1943 map which depicts Wallace Street and many structures flanking it. Increased development of the Project area is evident in the 1959 map, while maps from 1975 onward show a smaller number of structures within the area. The aerial images provide greater detail regarding use of the Project area. Wallace Street appears on the 1938 image which also shows much of the area under cultivation or exhibiting a relatively uniform open space land surface with a more natural landscape at the east along the riverfront. Additional structures appear in the 1948 image, but it not until the 1966 aerial that the easternmost area also appears to be under cultivation and the large ‘racetrack’ shaped feature is visible. Some additional buildings are present in the northern and central portions of the Project area by 1980. Sometime between 2005 and 2009, many of the structures in the northern part of the Project had been removed and the Project area appears much as it does today.

NATIVE AMERICAN CORRESPONDENCE

On January 28, 2022, Sherri Andrews, M.A., RPA reached out to the California Native American Heritage Commission (NAHC) to request a search of the Sacred Lands File (SLF) to determine if any cultural resources, traditional cultural properties, or areas of heritage sensitivity are recorded within the proposed Project location. The search result received on March 23, 2022, was positive. The NAHC recommended contacting the Gabrieleño Band of Mission Indians – Kizh Nation for additional information. The NAHC also provided a list of 34 Native American contacts that are traditionally and culturally affiliated with the geographic area of the Project area. The correspondence received from the NAHC is provided with this report as Attachment C.

SURVEY RESULTS

Archaeological Survey

A brief reconnaissance was conducted by ASM Senior Archaeologist Sherri Andrews, M.A., RPA, on January 20, 2022, to assess the Project area as well as get an overview of current conditions to inform the logistics of the subsequent survey (Figures 3-5). All open space within the Project area was subjected to intensive archaeological pedestrian survey. On April 28 and 29, 2022, a pedestrian archaeological survey of approximately 30 percent of open space within the Project area was conducted by ASM Associate Archaeologists Holly Drake, M.A., RPA, and Zaira Marquez, M.A., and the remainder of the area was surveyed by Zaira Marquez, M.A., and Joakim Lamoy, M.Sc. on July 10-13, 2022.

The majority of the Project area was found to be disturbed with evidence of both prior agricultural and residential development that has since been demolished. Much of the open space within the Project area appears to have been previously plowed and/or bulldozed, and scatters of broken and displaced construction materials and residential refuse were found throughout, including chunks of concrete, asphalt, brick, window glass, and other building materials along with recently discarded furniture, clothing, and other residential items. Dumping within the Project area appears to be ongoing; during the survey, a man with a truck was seen dumping additional refuse in black plastic bags on the side of Wallace Street. Ground surface visibility was variable throughout the Project area due to the presence of dense patches of invasive grasses, but where ground surface was visible, soils appeared disturbed as a result of previous construction and agricultural activities.

Four newly identified historical period resources were documented as a result of the archaeological survey; these resources are described briefly below and DPR forms for each are provided in Attachment D. In addition to the documentation of the newly identified resources, the locations of all previously documented resources within the Project area (see Table 1) were field-checked and DPR updates were created, all of which are also included in Attachment D.

Three water infrastructure features were identified and recorded together in the northeastern portion of the Project area, in association with a glass bottle base manufactured by the Universal Glass Products Co. between 1930 and 1962 (Toulouse 1971). One of the features appears to be an abandoned concrete-encased well, one appears to be a concrete pipe stand, and the other appears to be a brick-lined subsurface cistern or other water storage feature.

Two additional resources are concrete pads with small amounts of associated historical-period refuse. One is a 30-x-15-ft. pad likely associated with a former structure that existed sometime between 1938 and 1966. A large, approximately 2,500-ft.² historic debris scatter is located approximately 100 ft. southeast of the concrete pad, and includes 50+ pieces of lumber debris, 20+ clear glass container fragments, 20+ sun-colored amethyst container fragments, 20+ metal and concrete debris, 5+ amber glass fragments and 100+ shell and shell fragments, including freshwater clam and gastropods, but also marine species, including pecten, mussel, and donax. The debris represent a secondary deposit and is smeared along a faint 115-ft. northeast to southwest trending dozer-grubbing track. Two isolated artifacts are also present in the area between the structure pad and debris scatter: a small aquamarine glass container fragment, and two small fragments of the same amethyst glass container fragment. The other resource concrete pad that was documented is partially buried, approximately 12 ft. wide and 2.5 in. deep, of unknown length. It is in poor condition, chipped and cracked, and is surrounded by non-diagnostic modern and historic debris. Based on historic aerials, the pad is related to a residence constructed by 1966 and demolished between 2005 and 2009.

The fourth newly documented resource consists of a 0.5-mi. (approx. 1,200 x 500 ft.) oval dirt road constructed sometime between 1959 and 1966 based on historic aerials, and first appearing on 1969 topo map. The function of the track is unknown. Today it is used for UTV/ATV racing and the distance matches typical oval racing short-tracks. In aerials from 1985, the surface appears to have been paved, but the pavement has since been removed. Partially buried segments of a potentially historic east-west pipe alignment are also located within the area surrounded by the dirt oval. The horizontal pipe sections all appear to be 3³/₄-in. in diameter, while the vertical portion in the west is 6-in. diameter. The exposed trench containing the pipe is first visible in 1980 and appear to have stretched continually out to the dirt oval on both sides. It is unknown whether the trench was made to install or to remove the pipe; however, the overall state of corrosion of the pipe, together with the fact that portions appear to have been demolished, points toward the latter. Another north-south trench is visible in a 1980 aerial image but was not relocated.

In the remainder of the Project area, two isolated historic bottles were identified including an intact Bayer prescription bottle manufactured by Owens-Illinois in 1936 and the base of a bottle manufactured by Glass Containers Corp. between 1945 and 1968 (Toulouse 1971). All of the identified artifacts were found in a disturbed context and were likely to have been relocated and/or damaged by post-depositional processes.

Architectural History Survey

The architectural history survey of the Project area was conducted by ASM Architectural Historians Lisa Demarais, M.A., and Laura Taylor Kung, M.A., on January 20, 2021. Buildings were recorded using hand-held tablets from the public-right-of-way. Digital photographs were taken of each building and field notes recorded architectural features and condition. The survey area included both sides of Wallace Street north

of 34th Street, and the north side of 34th Street from Rubidoux Boulevard east to the end of the street. Information from the Riverside County Assessor’s Office was used to determine which parcels contained buildings older than 50 years old. These records were then verified using historic aerial photographs.

The survey area is generally rural with a mixture of large parcels and smaller, subdivided lots containing several structures (Figures 6 and 7). All of the buildings were residential with the exception of one church property and a mobile home park with a permanent structure functioning as an office (Figure 8). The oldest property in the survey area dates to 1915 (although it was altered in 1935) and the latest was built in 1965 (Figure 9). There was also a significant alteration made to a property in 1970. The majority of the houses were built during the 1940s and 1950s. In total, 36 parcels were included in the reconnaissance-level survey, some with multiple buildings on the parcel (Table 2).

Table 2. Buildings Identified in Project Area Greater Than 50 Years Old

APN	Address	Year Built	CRHR Criterion 3	Style
178-310-003	2861 Wallace St.	1959	N	Minimal Traditional
178-310-014	3167 Wallace St.	1924	N	Late Craftsman
178-310-033	3152 Wallace St.	1938	N	Minimal Traditional
179-140-005	5557, 5565, 5567 34th St.	1945, 1934/1944, 1930/1940	N	Minimal Traditional
179-140-006	5553 34th St.	1940	N	Minimal Traditional
179-140-007	5545 34th St.	1946, 1958	N	Minimal Traditional
179-170-019	5455 34th St.	1965	N	Ranch
179-180-011	5421 34th St.	1934	N	Minimal Traditional
179-180-010	5413 34th St.	c. 1930, c. 1960	N	Craftsman, Ranch
179-180-015	3377 Wallace St.	1947	N	Minimal Traditional
179-180-008	3345 Wallace St.	1957	N	Ranch
179-180-007	3343 Wallace St.	1947	N	English Cottage
179-180-006	3333 Wallace St.	1951	N	Minimal Traditional
179-180-005	3327 Wallace St.	1951	N	
179-180-004	3317 Wallace St.	1920/1952	N	Late Craftsman
179-180-003	3309 Wallace St.	1952	N	Ranch
179-230-013	5337 34th St.	1949	N	Minimal Traditional
179-180-001	3295 Wallace St.	1947	N	Minimal Traditional
179-230-014	5325 34th St.	1950	N	Minimal Traditional
179-230-018	5311 34th St.	1935	N	Spanish Colonial Revival
179-230-015	5297 34th St.	1948, 1950	N	Minimal Traditional
179-230-017	5281 34th St.	1944, 1958	N	Spanish Colonial Revival Minimal Traditional
179-270-035	5225 34th St.	1930	N	Spanish Colonial Revival
179-270-020	5219 34th St.	1915/1935	N	Minimal Traditional
179-270-034	5163 34th St.	1935	N	Minimal Traditional
178-310-018	3166 Wallace St.	1930	N	Late Craftsman
178-310-034	3156 Wallace St.	1938	N	Ranch
178-310-030	3150 Wallace St.	1946/70	N	Modern Shed
178-310-039	3112 Wallace St.	1951	N	Minimal Traditional
178-310-047	3120 Wallace St.	1938	N	None
178-310-040	3126 Wallace St.	1930	N	Late Craftsman
178-310-049	3110 Wallace St.	1952	N	Ranch
179-140-009	5479 34th St.	c. 1930	N	Craftsman
178-310-017	3140 Wallace St.	c. 1930	N	Minimal Traditional
179-270-018	5231 34th St.	1947	N	Minimal Traditional
179-239-015	5305 34th St.	1930	N	Late Craftsman

The Jurupa Ditch (CA-RIV-5513H) was originally constructed as an open ditch in the mid-nineteenth century, later converted to concrete piping in the 1920s and 1930s (Figure 10). It was originally recorded in 1995 by J. Keller and described as a primarily underground irrigation channel with sections dating to as early as 1843. It was noted at that time that the ditch was primarily composed of two subsurface parallel concrete pipes. The ditch was re-surveyed and evaluated in 2004 by B. Tang et al. of CRM Tech, who noted that the ditch was important to development of the area during the mid-to-late nineteenth century. However, it was recommended ineligible for the CRHR due to lack of integrity. ASM resurveyed a portion of the ditch on April 28, 2022. ASM concurs with the prior evaluation from 2004 that although the ditch is associated with significant development of the Jurupa Valley, it no longer retains sufficient integrity to convey that historical significance under any CRHR criteria.

ARCHITECTURAL STYLES

A number of architectural styles were represented in the survey area ranging from Craftsman to Modern Shed. A brief description of the styles is included below.

Craftsman/Late Craftsman

Craftsman homes can range from high style, architect-designed masterpieces, to modest one-story bungalows ordered from a catalog. Stylistically, a Craftsman house can have details borrowed from a Swiss chalet, or pagoda-style roofs and flared eaves inspired by Japanese architecture. What they have in common is an attention to detail and craftsmanship. In 1920s and even 1930s the Craftsman style continued but often with fewer architectural details.

Features of the Craftsman style include a low-pitched front-facing gable roof, broad overhanging eaves with exposed structural members such as rafter tails, knee braces and king posts, shingled or clapboard-clad walls, front entry porches, use of natural materials, wide solid wood doors, and groups of casement windows. The survey area had two houses that could be classified as Craftsman due to their scale and use of wood details such as vertical slats in the gable end and exposed rafter tails. Five houses were evaluated as examples of Late Craftsman as they had the form of Craftsman home but were built at a later date and lacked the details of an earlier Craftsman home (Figure 11).

English Cottage

The English Cottage style shares its origins with the Arts and Crafts Movement whose founders looked for inspiration in English domestic architecture of the sixteenth and seventeenth centuries. Although it appears as early as the 1890s, the style reached its peak of popularity in the 1920s and 1930s as one of many revival styles adapted to the needs of rapidly growing communities (McAlester 1992:358). The English Cottage style was particularly popular in Southern California where the idea of a “fairy tale” house particularly appealed to new arrivals (Ovnick 1994:176). The style could work with grand estates as well as tiny cottages, and is found in domestic, ecclesiastic, and sometimes commercial architecture as well.

Features include an asymmetrical plan, a steeply pitched roof sometimes with rolled edges to imitate thatch, a gable roof, stucco walls, decorative masonry, and a recessed entry, often under a gabled porch. There is one example of an English Cottage style house in the survey area which had the front gable roof with rolled edges but lacked any other character-defining features of the style (Figure 12).

Spanish Colonial Revival

Spanish Colonial Revival-style architecture became popular throughout Southern California following the Panama-California Exposition held in San Diego in 1915. The exposition buildings were designed by

architect Bertram Grosvenor Goodhue, who wanted to expand the limits of the Mission style and explore the more varied and rich precedents of Spanish architecture throughout Latin America (McAlester 1992:418). An adaptable style, it could be applied to a wide variety of property types with elaborate expressions or through simple details. The style is characterized by its complex building forms, stucco-clad wall surfaces, and clay tile roofs.

There were three examples of the Spanish Colonial Revival style in the survey area. All three were of the flat-roof type including one with a parapet roof. All were clad in stucco but lacked any of the other features such as the use of red clay tile or decorative vents (Figure 13).

Minimal Traditional

The Minimal Traditional style is defined by simple exterior forms with a one-story plan and minimum use of architectural detail. With origins in the Modern movement, the style grew in popularity during the Depression and continued into the years following World War II. It was popular in suburban residential developments throughout the United States because it could be built quickly and cheaply (McAlester 1992:477). In Southern California, the style continued well into the post-war years in large scale developments.

Character-defining features of the style include a simple rectangular or square plan, one-story configuration, medium or low-pitched hipped roof, smooth stucco cladding, lack of exterior decorative details, wood multi-light windows, and a detached garage. This is by far the most popular style in the survey area, with 18 houses categorized as Minimal Traditional. Some were of the hipped roof variety, but others had a gable roof but still met the definition of the style (Figures 14 and 15). None of the homes had the windows characteristic of the style.

Ranch

As a style, Ranch has its roots in Southern California where architect Cliff May was one of several architects who merged the rustic adobe “rancho” idea with Modern aesthetics in the late 1930s. Prior to World War II, these custom-designed “haciendas” had clay tile roofs and stucco exteriors (City of Los Angeles 2015:8). During this same time, developers were looking at the Ranch house as the solution to building appealing houses on a massive scale (City of Los Angeles 2015:10). After the war, lenders such as the Veterans Administration and the Federal Housing Administration found that the ranch house design best met their standards. This combination of factors led to the Ranch house becoming the most popular housing style from the 1940s through the 1970s.

Features of the Ranch style include a one-story, sprawling plan, low horizontal massing with a wide street façade, low-pitched hipped or gable roof, stucco, wood clapboard or board and batten siding, divided light wood sash windows, wide covered front porch, and an attached garage. There were six properties characterized as Ranch in the survey area. Most did not have a sprawling plan or low-pitched roof but had the massing and gable roof associated with the style (Figure 16).

Modern Shed

The Shed style began with the construction and promotion of Sea Ranch, a planned development north of San Francisco. The houses were built in vernacular form clad with unpainted wood and featuring shed roofs. Even before Sea Ranch was completed, publicity for the project prompted a rapid spread in the use of the diagonal shed roof form (McAlester 2018:649). Features of the style include the shed roof form, generally multi-dimensional and occasionally couple with a gable roof, wood wall cladding, asymmetrical configuration, minimal exterior detail, and varied asymmetrically placed windows.

There is one home in the survey area that was altered in the Shed style in 1970 (Figure 17). It features the asymmetrical shed roof and window configuration but there are better examples of this style in Riverside County.

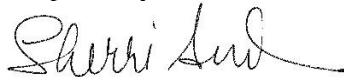
SUMMARY AND MANAGEMENT RECOMMENDATIONS

The architectural history survey resulted in the identification of 36 built environment resources within the Project area. None were found eligible under CRHR Criterion 3. Given the evident alterations to many of the buildings made during the past 50 years, it is unlikely that any would retain sufficient integrity to convey their association with any significant events or historically significant individuals that may have been associated with these buildings more than 50 years ago. As such, none of these buildings have a high potential for eligibility under CRHR Criteria 1 and 2, and therefore, none are likely to meet the definition of a historical resource as defined by CEQA. Additionally, the Jurupa Ditch was resurveyed, reevaluated, and confirmed that it is not eligible due to loss of integrity.

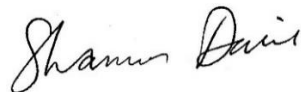
The archaeological pedestrian survey of the current open space within the Project area did not result in the identification of any prehistoric cultural resources, though several historical-period features and a few isolated historic artifacts were documented. These results were similar to those reported in the cultural study that was undertaken in support of the earlier Emerald Meadows Ranch project (Gust 2004), during which another much smaller, partial pedestrian survey within the Project area was undertaken. In both cases, much of the Project area was unavailable for direct survey due to imported fill, residential development, and dense vegetation. The earlier report concluded that “there is a strong potential for subsurface archaeological resources, including trash deposits, as indicated by historical use of the project area by local Native Americans, Chinese immigrants, and other historic settlers” and recommended monitoring of ground disturbance within the Project area, among other protective measures (Gust 2004:19-20). ASM concurs with this recommendation, based additionally on the proximity of the Project area to the Santa Ana River, which has a heightened potential for prehistoric resources. However, preparation of a land use history could assist in constraining the areas for which monitoring may be recommended.

If you have any questions or comments regarding the information provided in this report, please do not hesitate to contact us.

Respectfully submitted,



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Director of Archaeology, Pasadena Office



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Director, Architectural History

- Attachment A: Figures
- Attachment B: EIC Records Search Results
- Attachment C: NAHC Correspondence
- Attachment D: DPR Forms
- Attachment E: Paleontological Assessment

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ATTACHMENT A – FIGURES

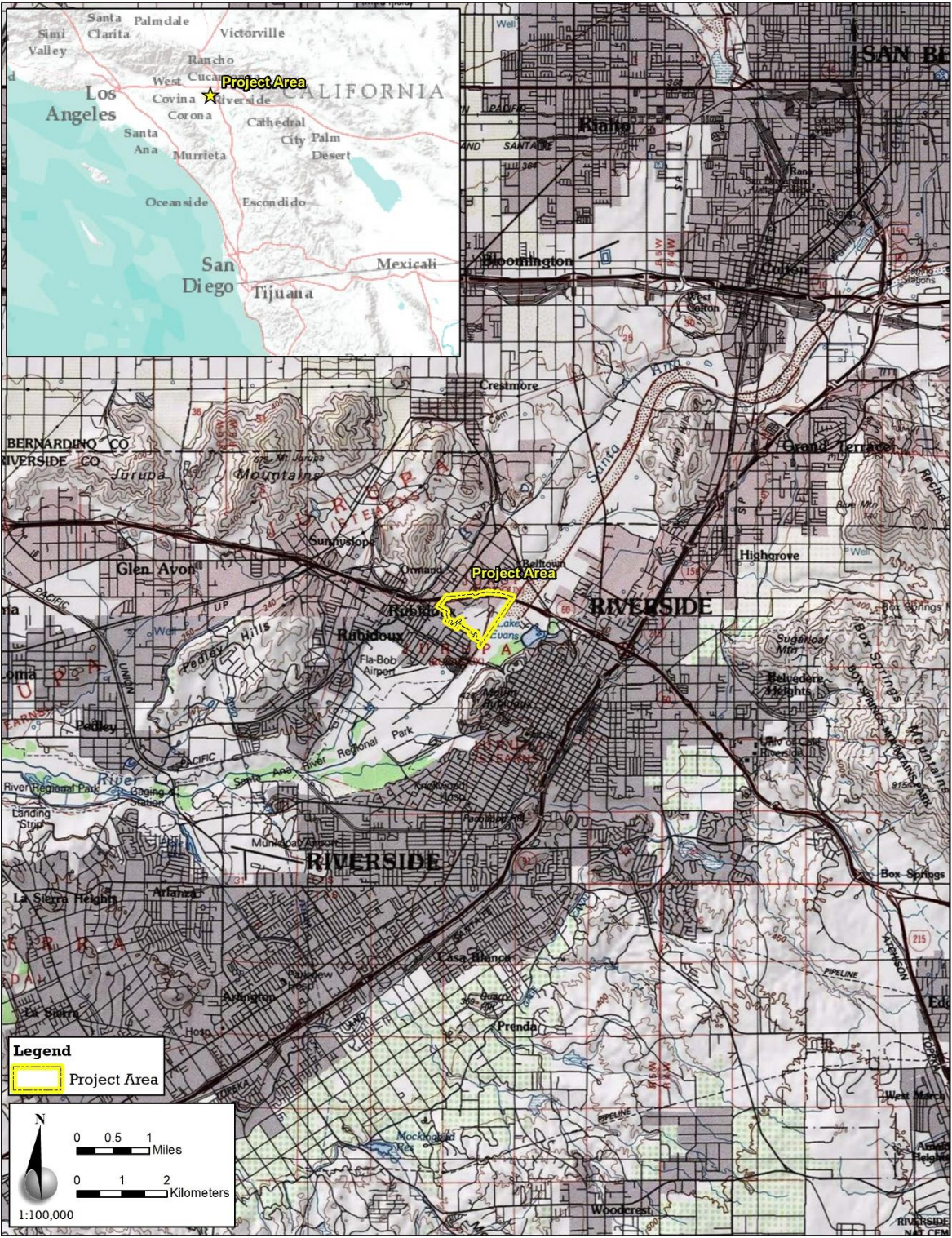


Figure 1. Project vicinity map.

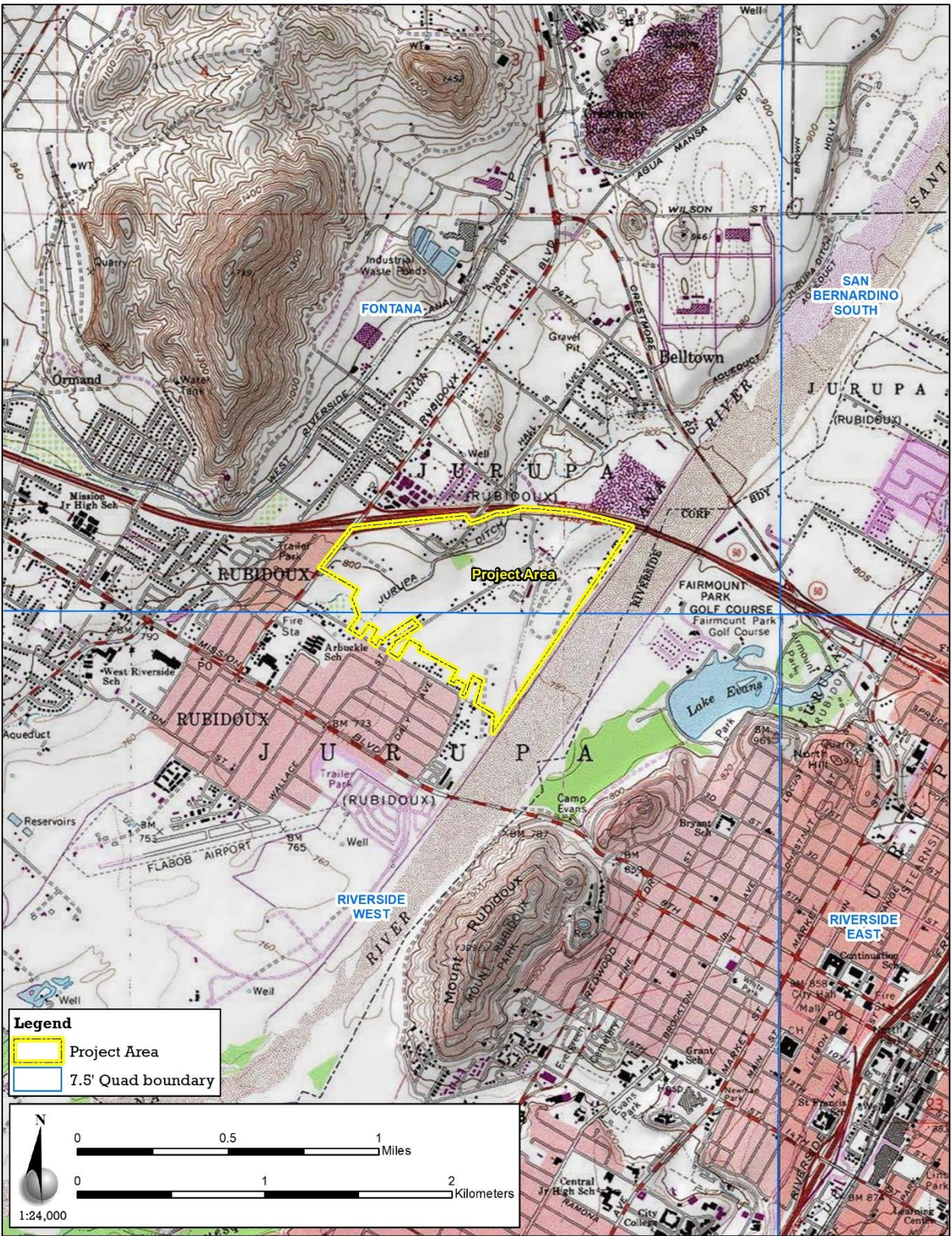


Figure 2. Project location map.



Figure 3. Project area overview, P-33-014342 visible in right background, looking west.



Figure 4. Project area overview, northwest portion of Project area, looking west-southwest.



Figure 5. Project area overview, southeastern portion of Project survey area showing dense vegetation, looking east-northeast.



Figure 6. Overview of Wallace Street, looking south.



Figure 7. Overview of Wallace Street, looking northwest.



Figure 8. View of 5479 34th Street, looking northwest.



Figure 9. View of 529 34th Street, looking northeast.



Figure 10. View of a portion of the Jurupa Ditch (CA-RIV-5513H), looking east-northeast.



Figure 11. West façade of 3126 Wallace Street, looking east.



Figure 12. West façade of 3343 Wallace Street, looking southwest.



Figure 13. View of south façade of 5311 34th Street, looking north.



Figure 14. Example of hipped roof Minimal Traditional at 3377 Wallace Street, looking west.



Figure 15. Oblique view of 5325 34th Street, looking north.



Figure 16. Example of Ranch style house at 5455 34th Street, looking northwest.



Figure 17. Example of Modern Shed style house at 3150 Wallace Street, looking southeast.

ATTACHMENT B – EIC RECORDS SEARCH RESULTS

Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
RI-00270	NADB-R - 1080324; Voided - MF-0244	1977	Donald Lipp	Environmental Impact Evaluation: Archaeological Survey of the Proposed Interceptor Facility to City of Riverside Water Quality Control Plant, Riverside County, California	Archaeological Research Unit, U.C. Riverside	33-000494
RI-02307	NADB-R - 1082764; Other - DACW09-86- D-0034; Voided - MF-2508	1988	R. Paul Hampson, Jerrel Sorensen, Suasan K. Goldberg, Mark T. Swanson, and Jeanne E. Arnold	Cultural Resources Survey, Upper Santa Ana River, California	Greenwood and Associates, Pacific Palisades, CA	33-000127, 33-000559, 33-000561, 33-000620, 33-000621, 33-000622, 33-003353, 33-003354, 33-003355, 33-003356, 33-003357, 33-003358, 33-003359, 33-003360, 33-003361, 33-003362, 33-003363
RI-02380	NADB-R - 1082878; Submitter - 971; Voided - MF-2621	1988	PARR, ROBERT E.	A CULTURAL RESOURCES ASSESSMENT OF RIO VISTA PROJECT LOCATED IN THE JUNIPER AREA OF RIVERSIDE COUNTY, CALIFORNIA	ARCHAEOLOGICAL RESEARCH UNIT, U.C. RIVERSIDE	33-003492, 33-003493, 33-003494, 33-003495, 33-003496, 33-003497, 33-003498, 33-003499, 33-012322
RI-02409	NADB-R - 1082904; Voided - MF-2646	1988	DROVER, C.E.	AN ARCHAEOLOGICAL ASSESSMENT OF ASSESSOR PARCEL NUMBER 178-120- 001; 178-070-006; 007, JURUPA, CALIFORNIA	AUTHOR(S)	
RI-03605	NADB-R - 1084329; Voided - MF-3879	1993	WLODARSKI, ROBERT J.	DRAFT REPORT: AN ARCHAEOLOGICAL SURVEY REPORT DOCUMENTING THE EFFECTS OF THE RCIC I-215 IMPROVEMENT PROJECT IN MORENO VALLEY, RIVERSIDE COUNTY, TO ORANGE SHOW ROAD IN THE CITY OF SAN BERNARDINO, SAN BERNARDINO COUNTY, CALIFORNIA.	HISTORICAL, ENVIRONMENTAL, ARCHAEOLOGICAL RESEARCH TEAM, Calabasas, CA	33-003815, 33-004299, 33-004495, 33-004496, 33-004768, 33-004787, 33-004791
RI-03897	NADB-R - 1084808; Voided - MF-4255	1995	KELLER, JEAN A.	A PHASE I CULTURAL RESOURCES ASSESSMENT OF EMERALD MEADOWS RANCH, 155.0 ACRES OF LAND NEAR RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CONSULTING ARCHAEOLOGIST, Temecula, CA	33-005648
RI-04722	NADB-R - 1086084; Submitter - CES131	2001	CARR, PETER E.	CULTURAL RESOURCE ASSESSMENT: HECTOR'S PALLET YARD PROJECT, CITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	LSA ASSOCIATES, INC.	
RI-04857	NADB-R - 1086219; Submitter - JCO-01- 244	2001	DICE, MICHAEL and LESLIE NAY IRISH	AN ARCHAEOLOGICAL ASSESSMENT OF APN #178-271-001 (PAR00398), LOCATED AT 28TH AND HALL STREETS, RUBIDOUX, COUNTY OF RIVERSIDE, CALIFORNIA	L&L ENVIRONMENTAL, INC.	

Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
RI-05737	NADB-R - 1087100	2005	DICE, MICHAEL	PHASE I CULTURAL RESOURCES SURVEY REPORT FOR THE STOCKDALE-RUBIDOUX PROJECT (APN#178-150-001, -002), BELLTOWN AREA, COUNTY OF RIVERSIDE, CA	MICHAEL BRANDMAN ASSOCIATES	
RI-05748	NADB-R - 1087111; Submitter - 994	2003	DOAN, UYEN K., MICHAEL HOGAN, and BAI TANG	ARCHAEOLOGICAL SENSITIVITY ASSESSMENT: HUNTER PARK REDEVELOPMENT PLAN AMENDMENT, CITY OF RIVERSIDE, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	33-001984, 33-004495, 33-004791, 33-008752, 33-009006, 33-010902
RI-05765	NADB-R - 1087128; Submitter - CRM TECH Contract #953	2002	Bai "Tom" Tang	Cultural Resources Compliance: Fairmont Park (33-12130), Riverside, Market Street Infrastructure Improvements/Landmark Office Park Project, Riverside, California	CRM TECH	33-012130
RI-06003	NADB-R - 1087366; Submitter - CRM TECH Contract #1010	2003	DAH DUL, MARIAM and DANIEL BALLESTER	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, INDIAN HILL WATER MAIN REPLACEMENT PROJECT, CITY OF RIVERSIDE, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	33-000678, 33-004170, 33-004172
RI-06114	NADB-R - 1087477	2005	AISLIN-KAY, MARNIE	LETTER REPORT: RECORDS SEARCH RESULTS AND SITE VISIT FOR NEXTEL TELECOMMUNICATIONS FACILITY CANDIDATE CA5374A ELHAM, 2958 RUBIDOUX BOULEVARD, RIVERSIDE, RIVERSIDE COUNTY, CA	MICHAEL BRANDMAN ASSOCIATES	
RI-06218	NADB-R - 1087581; Submitter - PROJECT NUMBER: LA-0788A	2006	Carla Allred	Letter Report: Proposed Cellular Tower Project(s) in Riverside County, California, Site Number(s)/ Name(s): LA-0788A/ T-Mobile IE-04155A TCNS#16654	EarthTouch, Inc.	
RI-06236	NADB-R - 1087599; Submitter - CRM TECH CONTRACT #1368; Voided - RI-06328	2004	TANG, BAI, MICHAEL HOGAN, and MATTHEW WETHERBEE	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, ASSESSOR'S PARCEL NUMBER 207-021-005, IN THE CITY OF RIVERSIDE, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	
RI-06325	NADB-R - 1087688; Submitter - CRM TECH Contract #1377 CRM TECH CONTRACT #1377	2004	Bai Tang, Michael Hogan, Casey Tibbet, and Josh Smallwood	Historical/Archaeological Resources Evaluation Report: Site CA-RIV-5513H (33-5648), A Segment of the Jurupa Ditch Rubidoux, Riverside County, California	CRM TECH	33-005648

Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
RI-06326	NADB-R - 1087689; Submitter - CRM TECH Contract #1479	2004	TANG, BAI, MICHAEL HOGAN, and CASEY TIBBET	HISTORIC-PERIOD BUILDING SURVEY, EMERALD MEADOWS RANCH PROJECT, INT HE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	33-014329, 33-014330, 33-014331, 33-014332, 33-014333, 33-014334, 33-014335, 33-014336, 33-014337, 33-014338, 33-014339, 33-014340, 33-014341, 33-014342, 33-014343, 33-014344, 33-014345, 33-014346, 33-014347, 33-014348, 33-014349, 33-014350, 33-014351
RI-06358	NADB-R - 1087721; Submitter - CONTRACT #1386	2004	TANG, BAI, MICHAEL HOGAN, and DICKEN EVERSON	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT: ASSESSOR'S PARCEL NUMBERS 207-021- 003 AND -004, 4751 INDIAN HILL ROAD, CITY OF RIVERSIDE, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	
RI-06386	NADB-R - 1087749; Submitter - CONTRACT #1551	2005	TANG, BAI, MICHAEL HOGAN, MATTHEW WETHERBEE, and DANIEL BALLESTER	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, RIO VISTA SPECIFIC PLAN AMENDMENT, NEAR THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CA	CRM TECH	33-003492, 33-003493, 33-003494, 33-003495, 33-003496, 33-003497, 33-003498, 33-003499, 33-013239, 33-014100
RI-06603	NADB-R - 1087970; Submitter - CRM TECH CONTRACT #1709	2006	CRM TECH and Cogstone Resource Management, Inc.	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, TENTATIVE TRACT MAP NO. 32976, IN THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH, Riverside	33-013450, 33-014349, 33-014351
RI-06604	NADB-R - 1087971; Submitter - CONTRACT #1753	2006	TANG, BAI, MICHAEL HOGAN, and TERRI JACQUEMAIN	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, ASSESSOR'S PARCEL NO. 179-160-001, IN THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	
RI-06606	NADB-R - 1087973; Submitter - CRM TECH CONTRACT #1709	2006	TANG, BAI "TOM", MICHAEL HOGAN, CASEY TIBBET, TERRI JACQUEMAIN, and JOSH SMALLWOOD	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, TENTATIVE TRACT MAP NO. 32972, IN THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH/Cogstone Resource Management Inc.	33-005648
RI-06607	NADB-R - 1087974; Submitter - CRM TECH CONTRACT #1709	2006	TANG, BAI "TOM", MICHAEL HOGAN, CASEY TIBBET, TERRI JACQUEMAIN, and JOSH SMALLWOOD	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, TENTATIVE TRACT MAP NO. 32973, IN THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH/Cogstone Resource Management, Inc.	33-005648

Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
RI-06608	NADB-R - 1087975; Submitter - CRM TECH CONTRACT #1709	2006	TANG, BAI "TOM", MICHAEL HOGAN, CASEY TIBBET, and TERRI JACQUEMAIN	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, TENTATIVE TRACT MAP NO. 32975, IN THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	33-014344
RI-06609	NADB-R - 1087976; Submitter - CRM TECH CONTRACT #1709	2006	TANG, BAI "TOM", MICHAEL HOGAN, CASEY TIBBET, and TERRI JACQUEMAIN	HISTORICAL/ARCHAEOLOGICAL RESOURCES SURVEY REPORT, TENTATIVE TRACT MAP NO. 32974, IN THE COMMUNITY OF RUBIDOUX, RIVERSIDE COUNTY, CALIFORNIA	CRM TECH	33-014345, 33-014346, 33-014347
RI-06869		2006	Tetra Tech, Inc.	An Archaeological Survey of the Proposed Jurupa Truck Facility, Rubidoux, Riverside County, California	Tetra Tech, Inc.	
RI-07772	Submitter - Project Number: 1580	2008	Gust, Sherri	PHASE I ARCHAEOLOGICAL ASSESSMENT REPORT FOR THE EMERALD MEADOWS RANCH WEST PROJECT IN RIVERSIDE COUNTY, CALIFORNIA	Cogstone Resource Management Inc.	
RI-07773		2008	Austerman, Virginia	CULTURAL RESOURCES ASSESSMENT FAIRMOUNT PARK LAKE DREDGING PROJECT CITY OF RIVERSIDE RIVERSIDE COUNTY CALIFORNIA	LSA Associates, Inc.	33-000677
RI-07916		2007	Sander, Jay K.	Cultural Resources Inventory of 11.6 Acres: APN: 543-170-007, 543-160-006, and 543- 140-022 Banning, Riverside County, California	Chambers Group, Inc.	
RI-07960	Other - Case Number: EIR 516 - EA41629	2009	Jay K. Sanders	A Phase I Cultural Resources Inventory: Riverside Birtcher Center at Canal Street Rubidoux, Riverside County, California	Chambers Group, Redlands, CA	
RI-08061		2004	Sherri Gust, Alice Orton, and Victoria Avalos	Archaeological and Paleontological Assessment Report and Mitigation Plan For the EMR Project, Rubidoux, Riverside County, California With Appended Evaluation of the Jurupa Ditch	Cogstone Resource Management Inc., Santa Ana, CA	
RI-08095		2009	Jay Sander	A phase I Cultural Resources Inventory: Riverside Britcher at Canal Street Rubidoux, Riverside County, California Addendum	Chambers Group, Inc.	33-005042, 33-005044, 33-017050
RI-08151		2004	Bill Wilkman	Cultural Resources Property Report 4648 Ladera Lane, Riverside, CA 92501, APN 207- 022-003, FINAL REPORT.	Wilkman Preservation Services	

Report List

Report No.	Other IDs	Year	Author(s)	Title	Affiliation	Resources
RI-08381	Other - SCE Purchase Order Number: 4500179336; Other - WO 4570-0450	2010	Jay K. Sander	Archaeological Survey Report for Southern California Edison's Pole Replacement Project: Highgrove-Corona 115KV Circuit, San Bernardino and Riverside Counties, California.	Chambers Group, Inc.	
RI-08400		2010	Pamela Daly	Letter Report: Evaluation of the Riviera Family Restaurant.	Daly & Associates	33-018044
RI-08402	Submitter - CRM TECH Contract No. 2426	2010	Bai "Tom" Tang, Terri Jacquemain, and Robert Porter	Identification and Evaluation of Historic Properties: Well No. 17 and No. 18 Iron Maganese Removal Facility, in the Community of Rubidoux, Riverside County, California.	CRM TECH	
RI-08549	Submitter - CRM TECH Project No. 2498; Submitter - CRM TECH Project No. 2498	2011	Bai "Tom" Tang, Michael Hogan, Terri Jacquemain, and Daniel Ballester	Master Planned Development Project: Mission Plaza	CRM TECH	33-003270, 33-005648, 33-011578
RI-08788		2012	James J. Schmidt	Archaeological Letter Report: 30-TD530912: Winnebago 12 kV Deteriorate Pole Replacement Project	Compass Rose	
RI-09459		2016	Bai "Tom" Tang and Michael Hogan	Historical/Archaeological Resource Survey Report Tentative Tract Map No. 36947 City of Jurupa Valley Riverside County, California	CRM Tech	
RI-09653	Other - EBI Project No. 61146916	2014	Gregory Greenberg	Cultural Resources Survey Odell/Ensite #20831 (288219) 5316 37th Street Riverside City and County, California 92509	EBI Consulting	

Resource List

Primary No.	Trinomial	Other IDs	Type	Age	Attribute codes	Recorded by	Reports
P-33-005042	CA-RIV-005042			Historic		1992 (G.Seymour/ D.Doak, SWCA,Inc); 2009 (Jessica Auck, Chambers Group, Inc); 2015 (Daniel Ballester, CRM TECH)	RI-01506, RI-08095
P-33-005044	CA-RIV-005044		Site	Historic	AH06; HP20	1992 (G.Seymour/ D.Doak, SWCA, Inc); 2009 (Jessica J. Auck, Chambers Group, Inc.)	RI-01506, RI-08095
P-33-005648	CA-RIV-005513H	Other - JUR-1		Historic	AH04; AH05; AH06	1995 (Keller, Jean A., Consulting Archaeologist); 2004 (Smallwood, Josh, CRM TECH, Colton)	RI-03897, RI-06325, RI-06606, RI-06607, RI-08549
P-33-007410				Historic		1984 (S. Saunders, Riverside County Historical Comm.)	
P-33-007411				Historic		1984 (S. Saunders, Riverside County Historical Comm.)	RI-08555
P-33-007724				Historic		1984 (S. Saunders, Riverside County Historical Comm.)	
P-33-009680			Site	Historic	HP33	1967 (R. Coke wood, City of Riverside)	
P-33-009698			Building	Historic			
P-33-009699			Object	Historic			
P-33-011193			Building	Historic			
P-33-011603	CA-RIV-006913H		Building, Structure	Historic	AH04; AH05; AH06		RI-07255
P-33-011748			Building	Historic			
P-33-011749			Building	Historic			
P-33-011751			Building	Historic			
P-33-011843		Other - McDonald House	Building	Historic			
P-33-011845		OHP Property Number - 062889		Historic		1979 (Alan Curl, Riverside Municipal Museum, Riverside, CA); 2004 (Bill Wilkman, Wilkman Preservation Services, Riverside, CA)	
P-33-011846			Building	Historic			

Resource List

Primary No.	Trinomial	Other IDs	Type	Age	Attribute codes	Recorded by	Reports
P-33-012130		Other - Fairmount Park; Other - CRM TECH 953-1H	Site, District	Historic	HP04; HP12; HP13; HP18; HP19; HP22; HP26; HP28; HP29; HP30; HP31; HP46	1997 (Anthea Hartig and Robert McCoy, City of Riverside Planning Department); 2002 (Bai "Tom" Tang, CRM TECH)	RI-05765, RI-06601, RI-09739
P-33-013240	CA-RIV-007325	Other - Union Pacific Railroad Spur; Map Reference #1; Other - PR-003, MRN #1	Structure, Site, Other	Historic	AH07; HP37	2003 (Goodwin, Riordan, LSA Associates); 2009 (Auck, Jessica J., Chambers Group, Inc.); 2018 (Cunningham, Robert, ECORP Consulting, Inc.)	RI-06726, RI-08772
P-33-014325		Other - Lillian Spurgeon Residence	Building	Historic	HP02	2004 (Wilkman, Bill, Wilkman Preservation Services)	RI-05171
P-33-014329				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014330				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014331				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014332				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014333				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014334				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014335				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014336				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014337				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014338				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014339				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014340				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014341				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014342				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014343				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014344				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326, RI-06608
P-33-014345				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326, RI-06609
P-33-014346				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326, RI-06609
P-33-014347				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326, RI-06609
P-33-014348				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326

Resource List

Primary No.	Trinomial	Other IDs	Type	Age	Attribute codes	Recorded by	Reports
P-33-014349				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326, RI-06603
P-33-014350				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326
P-33-014351				Historic		2004 (Tibbet, Casey, CRM Tech)	RI-06326, RI-06603
P-33-016711		Other - Butchko 1		Historic		2007 (Keller, Jean A., Author)	
P-33-017539	CA-RIV-009105	Other - RCF-3		Historic		2008 (Cannon, Amanda, and Ellen Chapman, Statistical Research, Inc.); 2016 (Daniel Ballester, CRM TECH)	RI-07974
P-33-018044		Other - Riviera Family Resturant; Other - 5633 Mission Boulevard		Historic		2010 (Pamela Daly, Daly & Associates, Riverside, CA)	RI-08400
P-33-019793		Other - CRM TECH 2498-1		Historic		2011 (T. Jacquemain, CRM TECH)	
P-33-019794		Other - CRM TECH 2498-2		Historic		2011 (T. Jacquemain, CRM TECH)	
P-33-019894		Other - 5488 Mission Boulevard		Historic		2011 (Richard Brandi, Atkins)	
P-33-024751	CA-RIV-012253	Other - 061515-Shelter-001 Rock Shelter Complex, Etching, Charcoal; Voided - 33-024556	Site	Prehistoric, Historic	AH16; AP14	2015 (Thomas Baurley, Cynthia Morales, L&L Environmental Inc.)	RI-09730
P-33-024752	CA-RIV-012254	Other - 061515-Shelter-001002 Rock Shelter Complex, Ceramics, Charcoal; Voided - 33-024557	Site	Prehistoric	AP03; AP14	2015 (Thomas Baurley, Cynthia Morales, L&L Environmental Inc.)	RI-09730
P-33-024753	CA-RIV-012255	Other - 061515-Cave-001 Cave/Mine; Voided - 33-024558	Site	Historic	AH09	2015 (Thomas Baurley, Cynthia Morales, L&L Environmental Inc.)	RI-09730
P-33-024754	CA-RIV-012256	Other - 061515- Shelter-002 Rock Shelter Complex, Ceramics; Voided - 33-024559	Site	Prehistoric	AP03; AP14	2015 (Thomas Baurley, Cynthia Morales, L&L Environmental)	RI-09730
P-33-024811	CA-RIV-012301	Other - CRM Tech 2996-1	Site	Prehistoric	AP04	2015 (John Goodman II and Daniel Ballester, CRM Tech)	
P-33-024812	CA-RIV-012302	Other - CRM Tech 2996-2	Site	Prehistoric	AP04	2015 (Sal Boites, Daniel Ballester, CRM Tech)	
P-33-024815		Other - CRM Tech 2997-1 Iso	Object, Other	Prehistoric	AP16	2015 (John Goodman II, Daniel Ballester, CRM Tech)	
P-33-024816	CA-RIV-012305	Other - CRM Tech 2997-2H	Site	Historic	HP02	2015 (Sal Boites, Daniel Ballester, CRM Tech)	

Resource List

Primary No.	Trinomial	Other IDs	Type	Age	Attribute codes	Recorded by	Reports
P-33-028013		Other - Loring Park; Other - CRM TECH 2884-1	Building	Historic	HP31	2015 (Terri Jacquemain, CRM TECH)	
P-33-028834		Other - LSA-LCI1902-I-1	Other	Historic	AH16	2019 (Allegria Garcia and Rory Goodwin, LSA Associates)	

ATTACHMENT C – NAHC CORRESPONDENCE

NATIVE AMERICAN HERITAGE COMMISSION

March 23, 2022

Sherri Andrews
ASM Affiliates, Inc.

Via Email to: sandrews@asmaffiliates.com

Re: Native American Tribal Consultation, Pursuant to the Assembly Bill 52 (AB 52), Amendments to the California Environmental Quality Act (CEQA) (Chapter 532, Statutes of 2014), Public Resources Code Sections 5097.94 (m), 21073, 21074, 21080.3.1, 21080.3.2, 21082.3, 21083.09, 21084.2 and 21084.3, District at JV Project, Riverside County

Dear Ms. Andrews:

Pursuant to Public Resources Code section 21080.3.1 (c), attached is a consultation list of tribes that are traditionally and culturally affiliated with the geographic area of the above-listed project. Please note that the intent of the AB 52 amendments to CEQA is to avoid and/or mitigate impacts to tribal cultural resources, (Pub. Resources Code §21084.3 (a)) ("Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource.")

Public Resources Code sections 21080.3.1 and 21084.3(c) require CEQA lead agencies to consult with California Native American tribes that have requested notice from such agencies of proposed projects in the geographic area that are traditionally and culturally affiliated with the tribes on projects for which a Notice of Preparation or Notice of Negative Declaration or Mitigated Negative Declaration has been filed on or after July 1, 2015. Specifically, Public Resources Code section 21080.3.1 (d) provides:

Within 14 days of determining that an application for a project is complete or a decision by a public agency to undertake a project, the lead agency shall provide formal notification to the designated contact of, or a tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, which shall be accomplished by means of at least one written notification that includes a brief description of the proposed project and its location, the lead agency contact information, and a notification that the California Native American tribe has 30 days to request consultation pursuant to this section.

The AB 52 amendments to CEQA law does not preclude initiating consultation with the tribes that are culturally and traditionally affiliated within your jurisdiction prior to receiving requests for notification of projects in the tribe's areas of traditional and cultural affiliation. The Native American Heritage Commission (NAHC) recommends, but does not require, early consultation as a best practice to ensure that lead agencies receive sufficient information about cultural resources in a project area to avoid damaging effects to tribal cultural resources.

The NAHC also recommends, but does not require that agencies should also include with their notification letters, information regarding any cultural resources assessment that has been completed on the area of potential effect (APE), such as:

1. The results of any record search that may have been conducted at an Information Center of the California Historical Resources Information System (CHRIS), including, but not limited to:



CHAIRPERSON
Laura Miranda
Luiseño

VICE CHAIRPERSON
Reginald Pagaling
Chumash

PARLIAMENTARIAN
Russell Attebery
Karuk

SECRETARY
Sara Dutschke
Miwok

COMMISSIONER
William Mungary
Paiute/White Mountain
Apache

COMMISSIONER
Isaac Bojorquez
Ohlone-Costanoan

COMMISSIONER
Buffy McQuillen
Yokayo Pomo, Yuki,
Nomlaki

COMMISSIONER
Wayne Nelson
Luiseño

COMMISSIONER
Stanley Rodriguez
Kumeyaay

EXECUTIVE SECRETARY
Christina Snider
Pomo

NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov

- A listing of any and all known cultural resources that have already been recorded on or adjacent to the APE, such as known archaeological sites;
- Copies of any and all cultural resource records and study reports that may have been provided by the Information Center as part of the records search response;
- Whether the records search indicates a low, moderate, or high probability that unrecorded cultural resources are located in the APE; and
- If a survey is recommended by the Information Center to determine whether previously unrecorded cultural resources are present.

2. The results of any archaeological inventory survey that was conducted, including:

- Any report that may contain site forms, site significance, and suggested mitigation measures.

All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum, and not be made available for public disclosure in accordance with Government Code section 6254.10.

3. The result of any Sacred Lands File (SLF) check conducted through the Native American Heritage Commission was positive. Please contact the Gabrieleno Band of Mission Indians – Kizh Nation on the attached list for more information.

4. Any ethnographic studies conducted for any area including all or part of the APE; and

5. Any geotechnical reports regarding all or part of the APE.

Lead agencies should be aware that records maintained by the NAHC and CHRIS are not exhaustive and a negative response to these searches does not preclude the existence of a tribal cultural resource. A tribe may be the only source of information regarding the existence of a tribal cultural resource.

This information will aid tribes in determining whether to request formal consultation. In the event that they do, having the information beforehand will help to facilitate the consultation process.

If you receive notification of change of addresses and phone numbers from tribes, please notify the NAHC. With your assistance, we can assure that our consultation list remains current.

If you have any questions, please contact me at my email address: Andrew.Green@nahc.ca.gov.

Sincerely,



Andrew Green
Cultural Resources Analyst

Attachment

**Native American Heritage Commission
Tribal Consultation List
Riverside County
3/23/2022**

**Agua Caliente Band of Cahuilla
Indians**

Patricia Garcia-Plotkin, Director
5401 Dinah Shore Drive Cahuilla
Palm Springs, CA, 92264
Phone: (760) 699 - 6907
Fax: (760) 699-6924
ACBCI-THPO@aguacaliente.net

**Agua Caliente Band of Cahuilla
Indians**

Jeff Grubbe, Chairperson
5401 Dinah Shore Drive Cahuilla
Palm Springs, CA, 92264
Phone: (760) 699 - 6800
Fax: (760) 699-6919

**Augustine Band of Cahuilla
Mission Indians**

Amanda Vance, Chairperson
P.O. Box 846 Cahuilla
Coachella, CA, 92236
Phone: (760) 398 - 4722
Fax: (760) 369-7161
hhaines@augustinetribe.com

**Cabazon Band of Mission
Indians**

Doug Welmas, Chairperson
84-245 Indio Springs Parkway Cahuilla
Indio, CA, 92203
Phone: (760) 342 - 2593
Fax: (760) 347-7880
jstapp@cabazonindians-nsn.gov

Cahuilla Band of Indians

Daniel Salgado, Chairperson
52701 U.S. Highway 371 Cahuilla
Anza, CA, 92539
Phone: (951) 763 - 5549
Fax: (951) 763-2808
Chairman@cahuilla.net

**Campo Band of Diegueno
Mission Indians**

Ralph Goff, Chairperson
36190 Church Road, Suite 1 Diegueno
Campo, CA, 91906
Phone: (619) 478 - 9046
Fax: (619) 478-5818
rgoff@campo-nsn.gov

**Ewiiapaayp Band of Kumeyaay
Indians**

Michael Garcia, Vice Chairperson
4054 Willows Road Diegueno
Alpine, CA, 91901
Phone: (619) 933 - 2200
Fax: (619) 445-9126
michaelg@leaningrock.net

**Ewiiapaayp Band of Kumeyaay
Indians**

Robert Pinto, Chairperson
4054 Willows Road Diegueno
Alpine, CA, 91901
Phone: (619) 368 - 4382
Fax: (619) 445-9126
ceo@ebki-nsn.gov

**Gabrieleno Band of Mission
Indians - Kizh Nation**

Andrew Salas, Chairperson
P.O. Box 393 Gabrieleno
Covina, CA, 91723
Phone: (626) 926 - 4131
admin@gabrielenoindians.org

**Gabrieleno/Tongva San Gabriel
Band of Mission Indians**

Anthony Morales, Chairperson
P.O. Box 693 Gabrieleno
San Gabriel, CA, 91778
Phone: (626) 483 - 3564
Fax: (626) 286-1262
GTTribalcouncil@aol.com

Gabrielino /Tongva Nation

Sandonne Goad, Chairperson
106 1/2 Judge John Aiso St., Gabrielino
#231
Los Angeles, CA, 90012
Phone: (951) 807 - 0479
sgoad@gabrielino-tongva.com

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and section 5097.98 of the Public Resources Code.

This list is only applicable for consultation with Native American tribes under Public Resources Code Sections 21080.3.1 for the proposed District at JV Project, Riverside County.

**Native American Heritage Commission
Tribal Consultation List
Riverside County
3/23/2022**

Gabrielino Tongva Indians of California Tribal Council

Robert Dorame, Chairperson
P.O. Box 490 Gabrielino
Bellflower, CA, 90707
Phone: (562) 761 - 6417
Fax: (562) 761-6417
gtongva@gmail.com

Los Coyotes Band of Cahuilla and Cupeño Indians

Ray Chapparosa, Chairperson
P.O. Box 189 Cahuilla
Warner Springs, CA, 92086-0189
Phone: (760) 782 - 0711
Fax: (760) 782-0712

Gabrielino Tongva Indians of California Tribal Council

Christina Conley, Tribal Consultant and Administrator
P.O. Box 941078 Gabrielino
Simi Valley, CA, 93094
Phone: (626) 407 - 8761
christina.marsden@alumni.usc.edu

Manzanita Band of Kumeyaay Nation

Angela Elliott Santos, Chairperson
P.O. Box 1302 Diegueno
Boulevard, CA, 91905
Phone: (619) 766 - 4930
Fax: (619) 766-4957

Gabrielino-Tongva Tribe

Charles Alvarez,
23454 Vanowen Street Gabrielino
West Hills, CA, 91307
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Mesa Grande Band of Diegueno Mission Indians

Michael Linton, Chairperson
P.O. Box 270 Diegueno
Santa Ysabel, CA, 92070
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mesagrandeband@msn.com

La Posta Band of Diegueno Mission Indians

Gwendolyn Parada, Chairperson
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Morongo Band of Mission Indians

Ann Brierty, THPO
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La Posta Band of Diegueno Mission Indians

Javaughn Miller, Tribal Administrator
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jmiller@LPtribe.net

Morongo Band of Mission Indians

Robert Martin, Chairperson
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**Native American Heritage Commission
Tribal Consultation List
Riverside County
3/23/2022**

Pala Band of Mission Indians

Shasta Gaughen, Tribal Historic
Preservation Officer
PMB 50, 35008 Pala Temecula Rd. Cupeno
Pala, CA, 92059 Luiseno
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Fax: (760) 742-3189
sgaughen@palatribe.com

Pechanga Band of Indians

Mark Macarro, Chairperson
P.O. Box 1477 Luiseno
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epreston@pechanga-nsn.gov

***Quechan Tribe of the Fort Yuma
Reservation***

Jill McCormick, Historic
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Ramona Band of Cahuilla

Joseph Hamilton, Chairperson
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Fax: (951) 763-4325
admin@ramona-nsn.gov

Rincon Band of Luiseno Indians

Cheryl Madrigal, Tribal Historic
Preservation Officer
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crd@rincon-nsn.gov

Rincon Band of Luiseno Indians

Bo Mazzetti, Chairperson
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***San Manuel Band of Mission
Indians***

Jessica Mauck, Director of
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26569 Community Center Drive Serrano
Highland, CA, 92346
Phone: (909) 864 - 8933
Jessica.Mauck@sanmanuel-nsn.gov

***Santa Rosa Band of Cahuilla
Indians***

Lovina Redner, Tribal Chair
P.O. Box 391820 Cahuilla
Anza, CA, 92539
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***Serrano Nation of Mission
Indians***

Wayne Walker, Co-Chairperson
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***Serrano Nation of Mission
Indians***

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***Soboba Band of Luiseno
Indians***

Joseph Ontiveros, Cultural
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P.O. BOX 487 Cahuilla
San Jacinto, CA, 92581 Luiseno
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Fax: (951) 654-4198
jontiveros@soboba-nsn.gov

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and section 5097.98 of the Public Resources Code.

This list is only applicable for consultation with Native American tribes under Public Resources Code Sections 21080.3.1 for the proposed District at JV Project, Riverside County.

**Native American Heritage Commission
Tribal Consultation List
Riverside County
3/23/2022**

***Soboba Band of Luiseno
Indians***

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Fax: (951) 654-4198
ivivanco@soboba-nsn.gov

Cahuilla
Luiseno

***Torres-Martinez Desert Cahuilla
Indians***

Thomas Tortez, Chairperson
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Thermal, CA, 92274
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Fax: (760) 397-8146
tmchair@torresmartinez.org

Cahuilla

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ATTACHMENT D – DPR FORMS

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: ASM-Rubidoux-01

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad T 2S R 5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address City Jarupa Zip 92509

d. UTM: (give more than one for large and/or linear resources) Zone 11S 464029 mE/ 3762511 mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) This site is located in a flat and open field 13m east of Wallace St. and approximately 300m south of Highway 60.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This site is composed of three features (a concrete-encased well, a concrete pipe stand for a large diameter pipe, and a brick-lined cistern) in addition to a single fragmented bottle base manufactured by Universal Glass Products Co. (ca. 1930-1962). The concrete features did not contain stamping or other temporally diagnostic characteristics. The east-to-west orientation of the pipe stands may suggest that this site is associated with the Jurupa Ditch (CA-RIV-5133H), found 250m to the west.

*P3b. Resource Attributes: (List attributes and codes) AH5. Wells/Cisterns, AH6. Water Conveyance System

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of well and pipe stand, facing west.

April 29, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Holly Drake and Zaira Marquez

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: April 29, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 4

*Resource Name or # (Assigned by recorder)

ASM-Rubidoux-01

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

*P3a. Description: (continued from p. 1)



Figure 1. Detail photo of well, facing east-northeast.



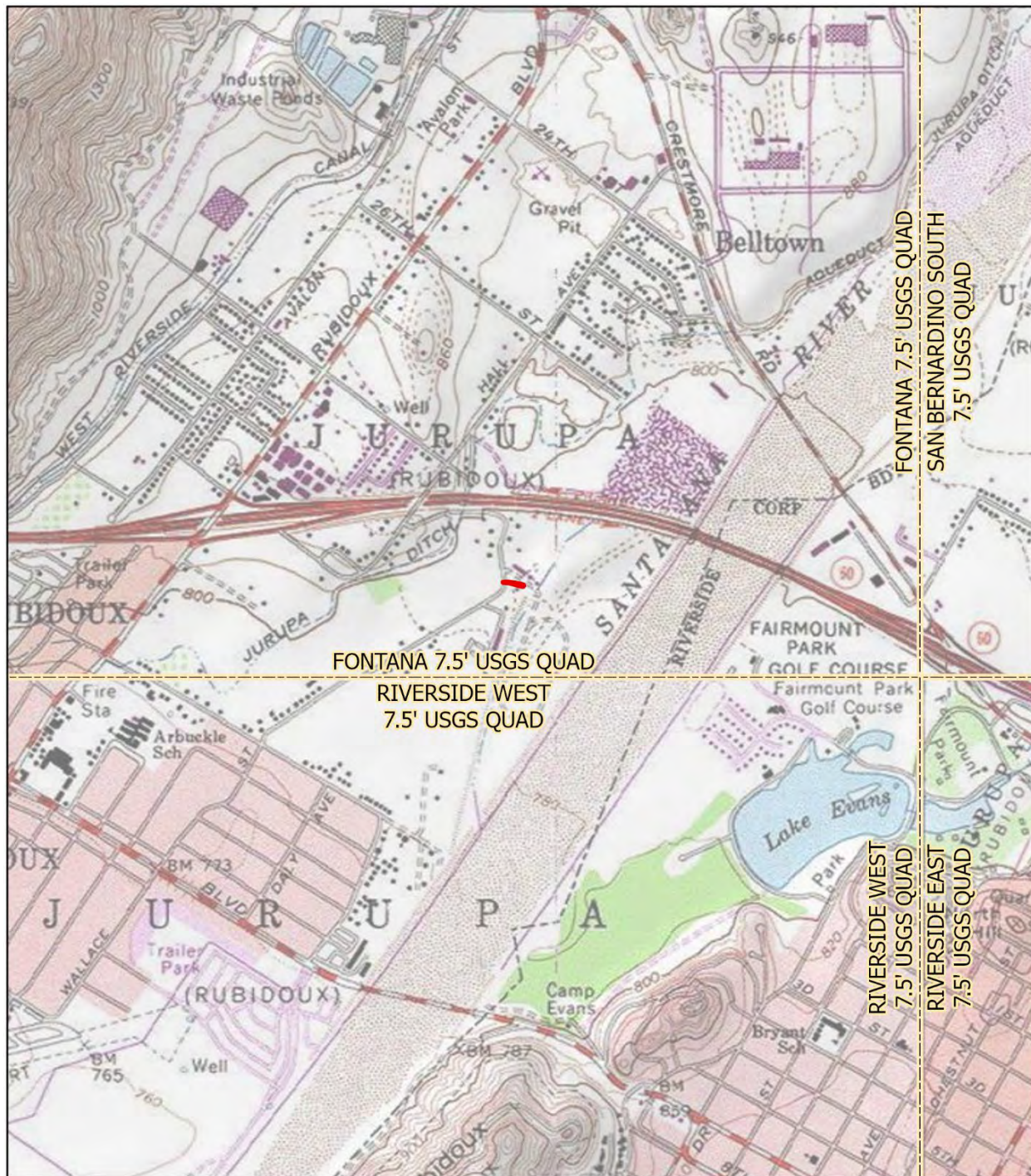
Figure 2. Concrete pipe stands, facing south.



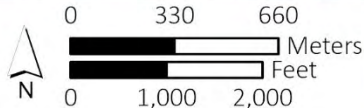
Figure 3. Cistern or other underground water feature.



Figure 4. Fragmented bottle base manufactured by Universal Glass Products Co. 1930-1962 (ca. 1930-1962).



- Site Boundary
- USGS 7.5' Quad Map Boundary



Page 4 of 4 *Resource Name or # (Assigned by recorder) ASM-Rubidoux-01

*Drawn by: Holly Drake *Date of map: 05/13/2022



Site Boundary
Features

Bottle Base Fragment



Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: ASM-Rubidoux-02

P1. Other Identifier: # ASM-RBDX-JLZM-S-001H

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Fontana T 2S R 5 W Sec 00
c. Address _____ City Jurupa Zip 92509

d. UTM: (give more than one for large and/or linear resources) Zone 11S 463374 mE/ 3762371 mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN: 179170008

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The resource consists of a feature (a partially buried concrete structure pad), three isolated historic glass fragments, and a nearby historic debris scatter.

The concrete pad measures 30 x 15 ft. and is of unknown thickness. The condition is poor, and the pad is cracked, chipped, partially buried, and overgrown with vegetation. Historic aerials confirm the presence of several buildings in the area by 1938. These had all been demolished prior to 1966, so the concrete pad pre-dates this. It does not exhibit stamping or other temporary diagnostic characteristics. A large, approximately 2,500-ft.² historic debris scatter is located approximately 100 ft. southeast of the concrete pad, and includes 50+ pieces of lumber debris, 20+ clear glass container fragments, 20+ sun-colored amethyst container fragments, 20+ metal and concrete debris, 5+ amber glass fragments, and 100+ shell and shell fragments, including freshwater clam and gastropods, but also marine species, including pecten, mussel, and *Donax* sp. The debris represents a secondary deposit and is smeared along a faint 115-ft. northeast to southwest trending dozer-grubbing track.

Two isolated artifacts are also present in the area between the structure pad and debris scatter: a small aquamarine glass container fragment, and two small fragments of the same amethyst glass container fragment.

*P3b. Resource Attributes: (List attributes and codes) AH2. Foundations/structure pads, AH4. Privies/dumps/trash scatters

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of structure pad, facing east

July 11, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

Historic aerials, artifacts

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Zaira Marquez and Joakim Lamoy

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: July 11, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 5

*Resource Name or # (Assigned by recorder)

ASM-Rubidoux-02

Recorded by: Zaira Marquez and Joakim Lamoy, ASM Affiliates

Date: July 11, 2022

*P3a. Description: (continued from p. 1)



Figure 1. Concrete pad, view NNW.



Figure 2. Detail, amethyst glass fragments, view CU/E.



Figure 3. Detail, aquamarine glass fragment, view CU/E.



Figure 4. Debris scatter, view NE

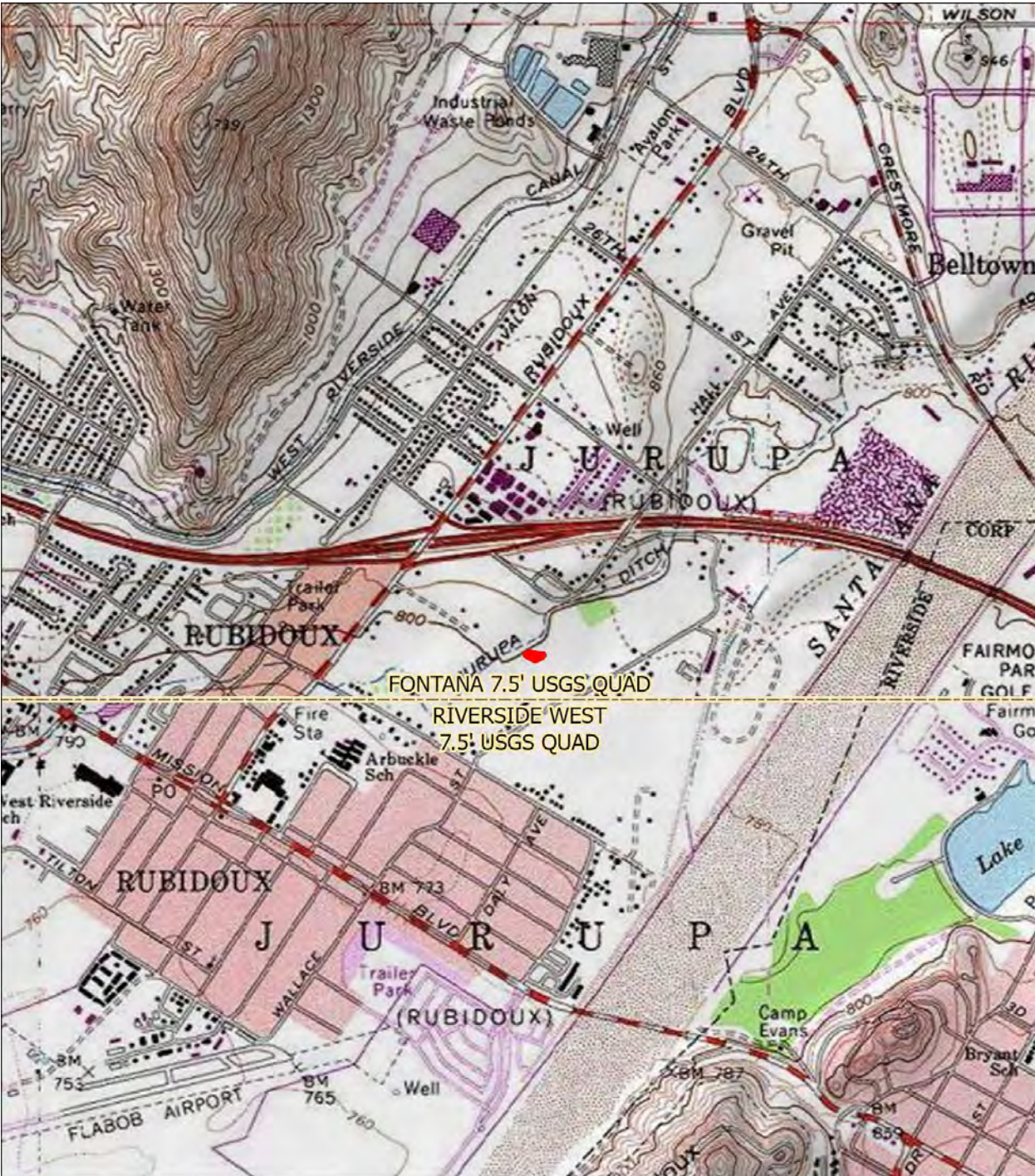
Page 3 of 5 *Resource Name or # (Assigned by recorder) ASM-Rubidoux-02
Recorded by: Zaira Marquez and Joakim Lamoy, ASM Affiliates Date: July 11, 2022





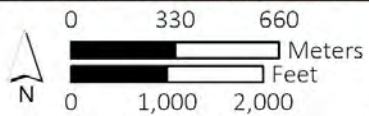
Figure 5. Overview of debris scatter viewed from area of structure pad, view SE.

Page 4 of 5 *Resource Name or # (Assigned by recorder) ASM-Rubidoux-02

*Map Name: USGS 7.5' Quad Fontana *Scale: 1:24,000 *Date of map: 07/27/2022



 ASM-Rubidoux-02
 USGS 7.5' Quad Map Boundary






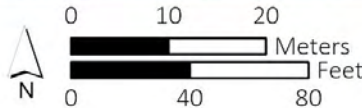
Page 5 of 5 *Resource Name or # (Assigned by recorder) ASM-Rubidoux-02

*Drawn by: Z. Marquez

*Date of map: 07/27/2022



 ASM-Rubidoux-02  Feature
 Concentration



Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____ Date _____

Page 1 of 4

*Resource Name or #: ASM-Rubidoux-03

P1. Other Identifier: # ASM-RBDX-JLZM-F-009

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T 2S R 5W Sec 00

c. Address _____ City Jurupa Zip 92509

d. UTM: (give more than one for large and/or linear resources) Zone 11S 463338 mE/ 3762204 mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN: 179170007

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This site consists of a partially buried concrete pad, approximately 12 ft. wide and 2.5 in. deep, of unknown length. It is in poor condition, chipped and cracked, and is surrounded by non-diagnostic modern and historic debris. Based on historic aerials, the pad is related to a residence constructed by 1966 and demolished between 2005 and 2009.

*P3b. Resource Attributes: (List attributes and codes) AH2. Foundations/structure pads

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of structure pad, facing southeast
July 11, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

*P7. Owner and Address:

Dugally Oberfeld
484 South San Vicente Boulevard,
Los Angeles, CA 90048

*P8. Recorded by: (Name, affiliation, and address)

Zaira Marquez and Joakim Lamoy
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: July 11, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 4

*Resource Name or # (Assigned by recorder)

ASM-Rubidoux-02

Recorded by: Zaira Marquez and Joakim Lamoy, ASM Affiliates

Date: July 11, 2022

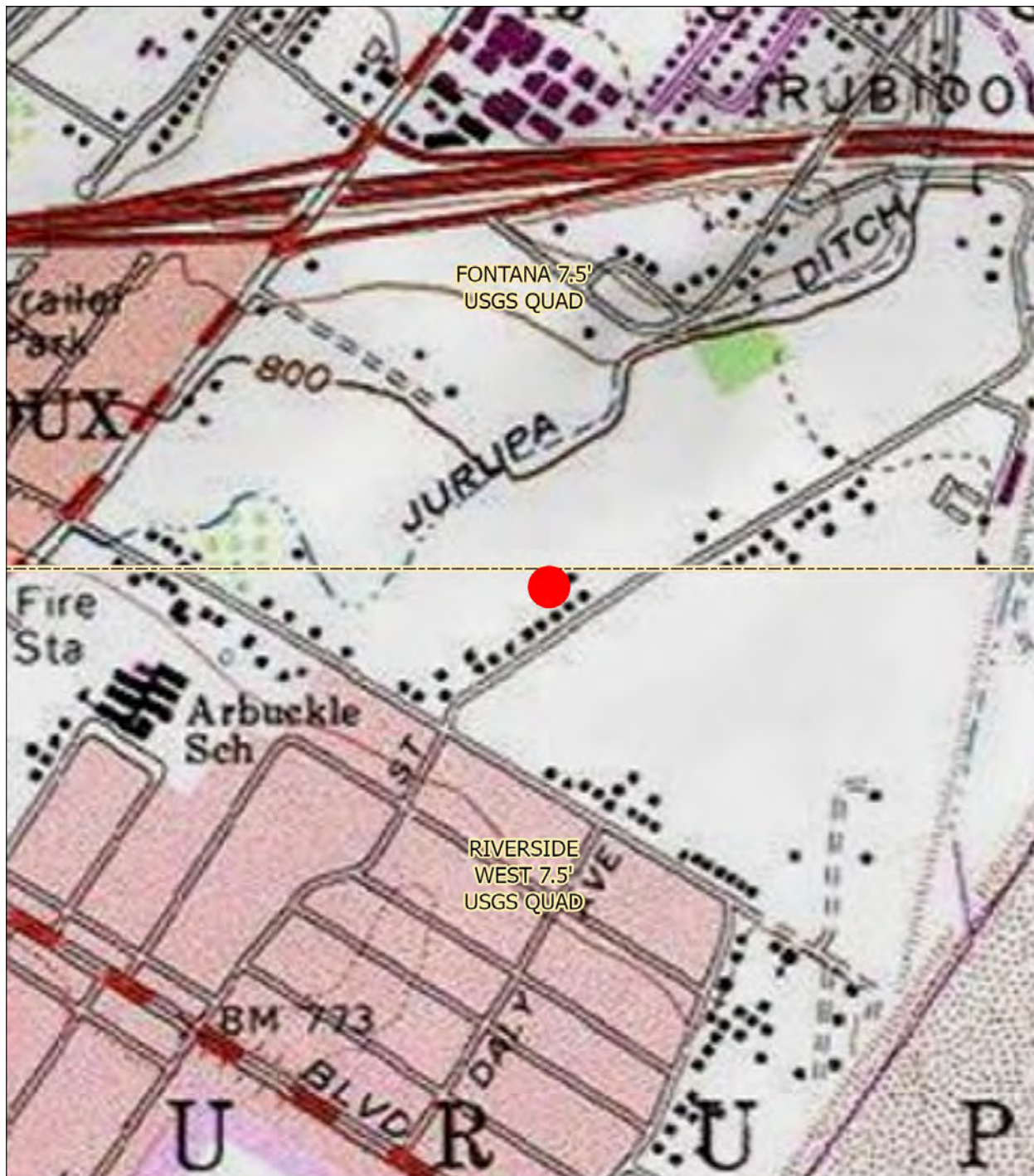
*P3a. Description: (continued from p. 1)




Figure 1. Detail photo of portion of concrete pad, facing CU/S.

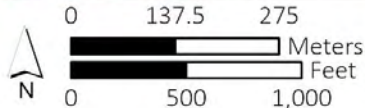


Figure 2. Detail edge of structure pad, facing CU/SSE.



 USGS 7.5' Quad Map Boundary

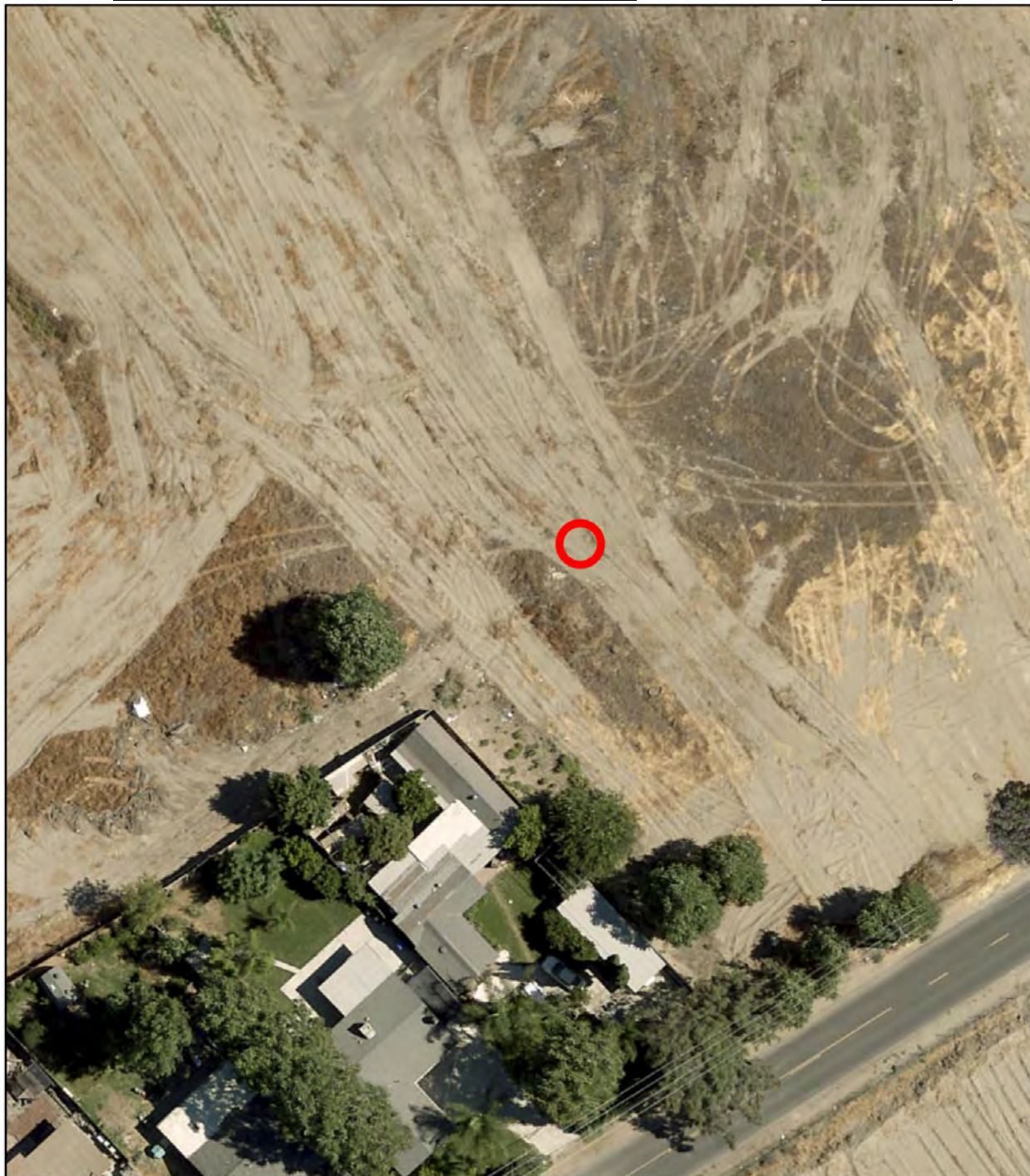
 ASM-Rubidoux-03




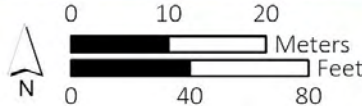
Page 4 of 4 *Resource Name or # (Assigned by recorder) ASM-Rubidoux-03

*Drawn by: Z. Marquez

*Date of map: 07/27/2022



 ASM-Rubidoux-03



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State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4

*Resource Name or #: ASM-Rubidoux-04

P1. Other Identifier: # ASM-RBDX-JLZM-F-006 and ASM-RBDX-JLZM-F-005

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad T 2S R 5 W Sec 00

c. Address _____ City Jurupa Zip 92509

d. UTM: (give more than one for large and/or linear resources) Zone 11S 464026 mE/ 3762259 mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN: 179310001

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This site consists of a 0.5-mile (approx. 1,200 x 500 ft.) oval dirt road constructed sometime between 1959 and 1966 based on historic aerials, and first appearing on 1969 topo map. The original function of the track is currently uncertain. Today it is used for UTV/ATV racing and the distance matches typical oval racing short-tracks. In aerials from 1985, the surface appears to have been paved, but the pavement has since been removed.

Partially buried segments of a potentially historic east-west pipe alignment are also located within the area surrounded by the dirt oval. In the west, the pipe is contained within a 110-ft.-long, 18- to 20-in.-wide, 18- to 24-in.-deep trench. In the westernmost 12 ft. of the trench, a horizontal section of the pipe is buried. 12 ft. east of this end, a vertical segment protrudes 12 in. perpendicularly to the ground surface. The trench continues to the east 98 ft. from here, and a horizontal pipe continues within the trench, partially buried. The eastern half is exposed within the trench. 50 ft. east of the end of the trench is another 46-in.-long segment, in alignment with the pipe in the trench. To the west, the pipe is broken, the section between the trench and this having been demolished. The eastern portion of this segment is shallowly buried. The horizontal pipe sections all appear to be 3¼-in. in diameter, while the vertical portion in the west is 6-in. diameter. The exposed trench containing the pipe is first visible in 1980 and appear to have stretched continually out to the dirt oval on both sides. It is unknown whether the trench was made to install or to remove the pipe – however, the overall state of corrosion of the pipe, together with the fact that portions appear to have been demolished points towards the latter. Another north-south trench is visible in the 1980 aerial but was not relocated.

*P3b. Resource Attributes: (List attributes and codes) AH7. Road/Trail/Railroad Bed, AH6. Water Conveyance System

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of southern portion of dirt oval, facing east.

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

*P7. Owner and Address:

Dugally Oberfeld
484 South San Vicente Boulevard
Los Angeles, CA 90048

*P8. Recorded by: (Name, affiliation, and address)

Zaira Marquez and Joakim Lamoy
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: July 10 and July 13, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 4

*Resource Name or # (Assigned by recorder)

ASM-Rubidoux-04

Recorded by: Zaira Marquez and Joakim Lamoy, ASM Affiliates

Date: July 11, 2022

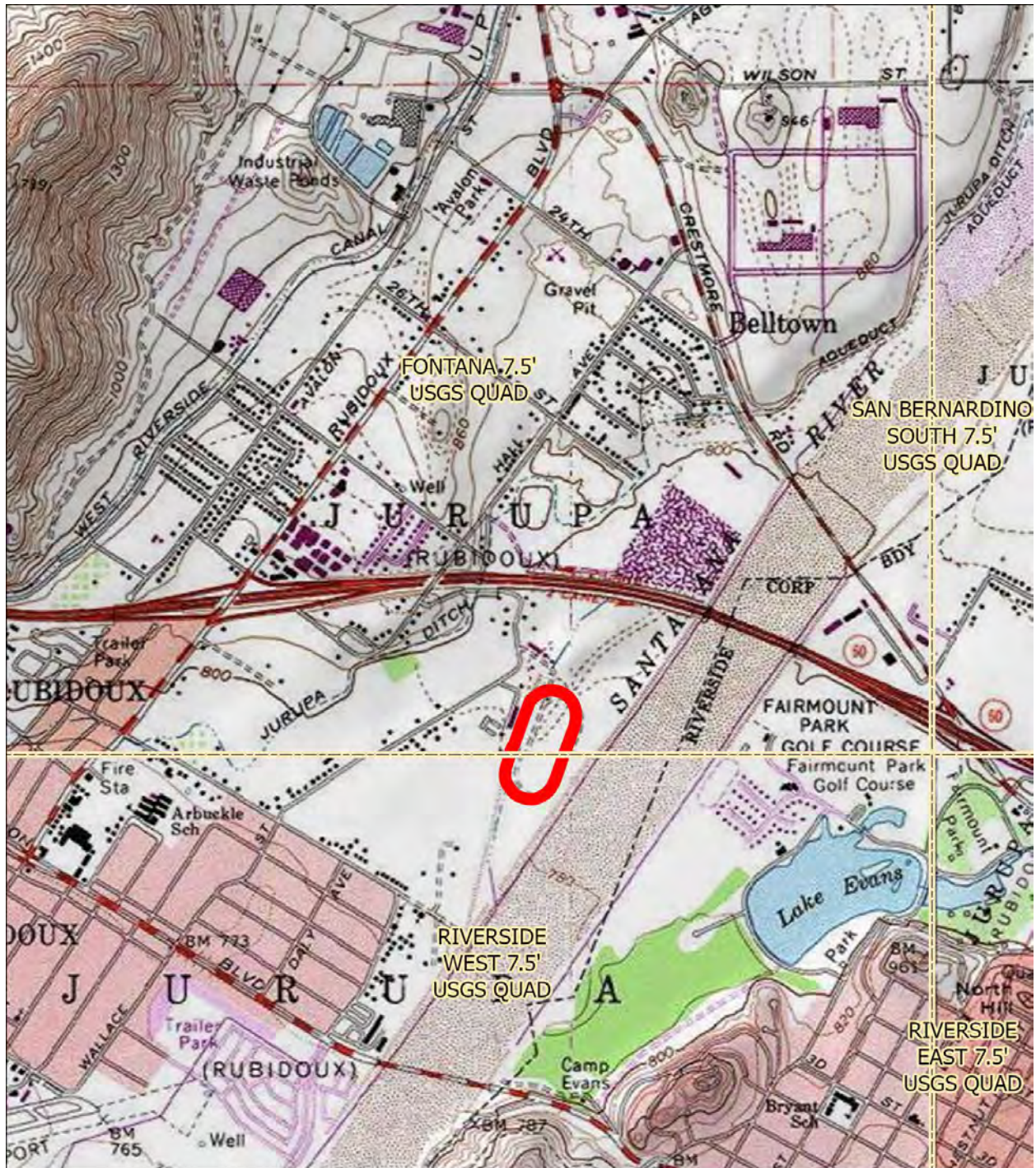
*P3a. Description: (continued from p. 1)





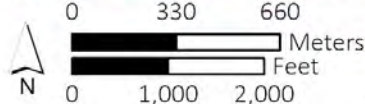
Figure 1. Overview of trench, facing west



Figure 2. Buried pipe within the trench



-  ASM-Rubidoux-04
-  USGS 7.5' Quad Map Boundary



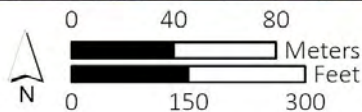
Page 4 of 4 *Resource Name or # (Assigned by recorder) ASM-Rubidoux-04

*Drawn by: Z. Marquez

*Date of map: 07/27/2022



— Road
— Trench



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Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-011193 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-011193, facing southeast across Rubidoux Blvd.

Page 1 of 1

*Resource Name or # (Assigned by recorder)

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014329 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014329, facing north across Hall Ave. The building visible in the background is an AT&T communications building.

ASM visited P-33-014330 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014330, facing north.

ASM visited P-33-014331 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014331, facing north.

ASM visited P-33-014332 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014332, facing north.

ASM visited P-33-014333 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014333, facing east.

Page 1 of 1 *Resource Name or # (Assigned by recorder) _____
Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates Date: April 29, 2022

ASM visited P-33-014334 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014334, facing northwest.

ASM visited P-33-014335 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014335, facing north-northwest.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014336 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014336, facing west-northwest.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014337 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014337, facing south-southeast.

ASM visited P-33-014338 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014338, facing south-southwest.

ASM visited P-33-014339 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014339, facing west-northwest.

ASM visited P-33-014340 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014340, facing southeast.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014341 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014341, facing southeast.

ASM visited P-33-014343 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014343, facing north.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014344 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014344, facing northwest.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014345 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014345, facing northwest.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014346 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014346, facing southeast.

ASM visited P-33-014347 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri
2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014347, facing southeast.

Page 1 of 1

*Resource Name or # (Assigned by recorder) _____

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 29, 2022

ASM visited P-33-014348 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014348, facing southeast.

ASM visited P-33-014351 on April 29, 2022, during a pedestrian survey. The resource was not relocated and appears to have been destroyed.

Report Citation:

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, San Bernardino County, California



Figure 1. An overview of the previously recorded location of P-33-014351, facing north.

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 5421 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5421 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5421 34th Street was constructed in 1934 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,120 square-foot building is in fair condition and is still serving its original function. 5421 34th Street is clad in green, moderate texture stucco with its main entrance located on side away from road. Side gable roof with asphalt shingle. Garage with front gable and overhang for parking, vinyl sliders on both.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

South façade, view to the northeast
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1934 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5421 34th Street

B1. Historic Name: 5421 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5421 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a front-facing gable roof and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5421 34th Street is recommended not eligible under Criterion 3. As 5421 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3

Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

5421 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5421 34th Street, looking northeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____ Date _____

*Resource Name or #: 3110 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3110 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-049

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3110 Wallace Street was constructed in 1952 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 746 square-foot building is in fair condition and is still serving its original function. 3110 Wallace Street is located behind 3112 Wallace (178-310-039). It has a simple, rectangular plan and is capped by a side-gable roof clad in composition shingle.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of northwest facade looking east

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1952 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3110 Wallace Street

B1. Historic Name: 3110 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3110 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Ranch style and has some character-defining features of the style including a side-gable roof and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3110 Wallace Street is recommended not eligible under Criterion 3. As 3110 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.





Photo 1. View of 3110 Wallace Street, looking east

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 2861 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.M.
c. Address 2861 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-003

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

2861 Wallace Street was constructed in 1959 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,606 square-foot building is in fair condition and is still serving its original function. 2861 Wallace Street exhibits the following architectural features: Stucco siding, asphalt roll roof, metal security screen, metal garage door, rectangular plan, metal bars over window, chain link fence, wood eaves, side door, shed at rear. Full enclosed porch at rear.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west

January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both

1959 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 2861 Wallace Street

B1. Historic Name: 2861 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 2861 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a hipped roof, and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 2861 Wallace Street is recommended not eligible under Criterion 3. As 2861 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.





Photo 1. Oblique view of 2861 Wallace Street, looking southwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3170 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
S.B.B.M

c. Address 3170 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-017

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Riverside County Assessor has no date on file for 3170 Wallace Street but historic aerial photographs confirm it was built before 1938. It is a single-story building located in a generally rural setting. The building is in fair condition and is still serving its original function. 3170 Wallace Street is capped by a pyramidal roof with wood eaves covered with asphalt shingles, it is clad in rough stucco and features a porch arcade. The vinyl slider windows have faux dividers. There is a shed roof carport and iron, brick, and concrete block fencing surrounds the property.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of west façade, looking east
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
Circa 1935

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3170 Wallace Street

B1. Historic Name: 3170 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3170 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a pyramidal hipped roof, and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3170 Wallace Street is recommended not eligible under Criterion 3. As 3170 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3170 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3170 Wallace Street, looking northeast



Photo 2. Oblique view of 3170 Wallace Street, looking southeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3167 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3167 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-014

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3167 Wallace Street was constructed in 1924 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 448 square-foot building is in fair condition and is still serving its original function. Two small buildings are located on the parcel. The larger house is clad in rough stucco and capped by a cross gable roof with composition shingles. It has had several additions and the windows have been replaced with aluminum sliders with no casings. The smaller house is clad in horizontal wood siding and has aluminum slider windows with wood casings. The low-pitched gable roof is clad in composition shingles.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

East façade looking southwest
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
1924 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3167 Wallace Street

B1. Historic Name: 3167 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Late Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3167 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Late Craftsman style and has some character-defining features of the style including a porch supported by decorative brackets and a thick fascia. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3167 Wallace Street is recommended not eligible under Criterion 3. As 3167 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

Sketch Map with north arrow required.



(This space is reserved for official comments)

Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3167 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3167 Wallace Street, looking southwest



Photo 2. View of smaller house 3167 Wallace Street, looking west

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4

*Resource Name or #: 3166 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3166 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-018

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3166 Wallace Street was constructed in 1930 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1132 square-foot building is in fair condition and is still serving its original function. 3166 Wallace Street exhibits the following architectural features: Wood panel siding, aluminum slider windows, side carport with slant roof, wood eaves wood and chain and metal fence

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P5b. Description of Photo: (view, date, accession#)

View of west façade looking southeast

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1930 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3166 Wallace Street

B1. Historic Name: 3166 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Late Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3166 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Late Craftsman style and has some character-defining features of the style including a projecting gable porch and overhanging eaves. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3166 Wallace Street is recommended not eligible under Criterion 3. As 3166 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3166 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3166 Wallace Street, looking south



Photo 2. Oblique view of 3166 Wallace Street, looking southeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3150 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3150 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-030

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3150 Wallace Street was constructed in 1946 and altered in 1970 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a one-and-a-half-story building located in a generally rural setting. The 2140 square-foot building is in good condition and is still serving its original function. 3150 Wallace Street exhibits the following architectural features: rectangular plan, shed roof with composition shingles, wood panel siding and vinyl windows

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of west façade looking southeast

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1946, 1970 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3150 Wallace Street

B1. Historic Name: 3150 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Modern Shed

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3150 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was altered in 1970 and now has a Modern Shed style. It has character-defining features of the style including a shed roof and large vertical windows. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3150 Wallace Street is recommended not eligible under Criterion 3. As 3150 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3150 Wallace Street

Date: January 20, 2022



Photo 1. Detail view of 3150 Wallace Street, looking southeast



Photo 2. Oblique view of 3150 Wallace Street, looking southeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3156 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3156 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-034

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3156 Wallace Street was constructed in 1938 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,040 square-foot building is in fair condition and is still serving its original function. 3156 Wallace Street exhibits the following architectural features: Rectangular plan, green painted stucco siding, vinyl slider windows, fiberglass door, irregular asphalt grey shingle roof, and porch with shed roof and metal columns

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Oblique view of north façade looking southeast

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1938 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3156 Wallace Street

B1. Historic Name: 3156 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3156 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Ranch style and has some character-defining features of the style including a low-pitched gable roof, and long rectangular plan. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3156 Wallace Street is recommended not eligible under Criterion 3. As 3156 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3156 Wallace Street

Date: January 20, 2022



Photo 1. Detail view of 3156 Wallace Street looking southeast



Photo 2. View of north façade 3156 Wallace Street, looking southeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____ Date _____

*Resource Name or #: 3152 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3152 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-033

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3152 Wallace Street was constructed in 1938 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 752 square-foot building is in fair condition and is still serving its original function. 3152 Wallace Street exhibits the following architectural features: Rectangular plan, wood pane, siding, side porch, composition shingle roof, replacement slider sash windows with wood casings, carport with flat roof, aluminum windows

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Oblique view looking southeast

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1938 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3152 Wallace Street

B1. Historic Name: 3152 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3152 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a simple rectangular plan and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3152 Wallace Street is recommended not eligible under Criterion 3. As 3152 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3152 Wallace Street

Date: January 20, 2022



Photo 1. Detail view of 3152 Wallace Street, looking east



Photo 2. Oblique view of 3152 Wallace Street, looking northeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3120 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3120 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-047

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3120 Wallace Street was constructed in 1938 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a two-story building located in a generally rural setting. The 1,997 square-foot building is fair condition and is still serving its original function. It was difficult to view the property from the public right of way. 3120 Wallace Street exhibits the following architectural features: Side-gable roof covered with asphalt shingles, vertical wood plank siding.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of west façade looking northeast

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1938 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3120 Wallace Street

B1. Historic Name: 3120 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: _____

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3120 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house has no character-defining features of any style and has been altered since the time of its initial construction. Permits were not located, and the architect is unknown. As such, the property at 3120 Wallace Street is recommended not eligible under Criterion 3. As 3120 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.





Photo 1. View of 3120 Wallace Street, looking east

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3126 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3121 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-040

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3126 Wallace Street was constructed in 1930 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 960 square-foot building is in fair condition and is still serving its original function. 3126 Wallace Street exhibits the following architectural features: Rectangular, short side facing streets front gable roof covered with asphalt shingle. Partially enclosed stucco porch with stucco columns, vinyl slider windows, rear porch with shed roof.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P5b. Description of Photo: (view, date, accession#)

View of west façade looking northeast
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1930 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

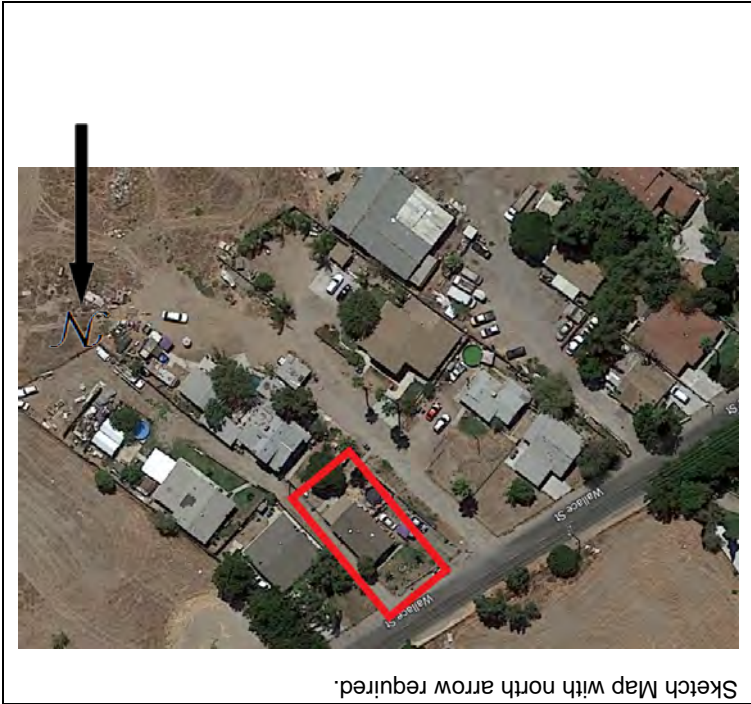
Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):



B12. References:
 See ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn

B13. Remarks:
 *B14.
 Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)
 Date of Evaluation: May 2022

(This space is reserved for official comments)

B11. Additional Resource Attributes: (List attributes and codes)

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3126 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Late Craftsman style and has some character-defining features of the style including a front-facing gabled porch and thick fascia boards. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3126 Wallace Street is recommended not eligible under Criterion 3. As 3126 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features:
 B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____
 Property Type: Residential Applicable Criteria: N/A

Period of Significance: N/A

B1. Historic Name: 3126 Wallace Street
 B2. Common Name: _____
 B3. Original Use: Residential
 B4. Present Use: Residential
 *B5. Architectural Style: Late Craftsman
 *B6. Construction History: (construction date, alterations, and date of alterations)

Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3126 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3126 Wallace Street, looking southeast



Photo 2. Oblique view of 3126 Wallace Street, looking northeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3112 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.M
c. Address 3112 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 178-310-039

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3112 Wallace Street was constructed in 1951 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,520 square-foot building is in fair condition and is still serving its original function. 3112 Wallace Street exhibits the following architectural features: Rectangular plan, side gable roof covered with asphalt shingles, exposed rafters soffit, two doors facing street with metal security screens, vinyl slider faux divided light windows.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of west façade looking southeast
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
1951 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3112 Wallace Street

B1. Historic Name: 3112 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3112 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a simple plan and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3112 Wallace Street is recommended not eligible under Criterion 3. As 3112 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3112 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3112 Wallace Street, looking southeast



Photo 2. Oblique view of 3112 Wallace Street, looking northeast

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4

*Resource Name or #: 3295 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Pomona T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3295 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-001

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3295 Wallace Street was constructed in 1947 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 671 square-foot building is in fair condition and is still serving its original function. 3295 Wallace Street exhibits the following architectural features: Two small rectangular buildings, vinyl sliders, tile window surrounds on one nearest street. Asphalt shingle roofs. Cross gable on main residence with metal screen door, second building has carport that extends between two residences, second carport faces street, smooth stucco siding,

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property
HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1947 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3295 Wallace Street

B1. Historic Name: 3295 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3295 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including the use of stucco, and minimal architectural detail. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3295 Wallace Street is recommended not eligible under Criterion 3. As 3295 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by:

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

3295 Wallace Street
Date: January 20, 2022



Photo 1. Oblique view of 3295 Wallace Street, looking southwest



Photo 2. Oblique view of 3295 Wallace Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____

Reviewer _____ Date _____

***Resource Name or #:** 3309 Wallace Street

P1. Other Identifier: # _____

***P2. Location:** Not for Publication Unrestricted

***a. County:** Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad** West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 3309 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-003

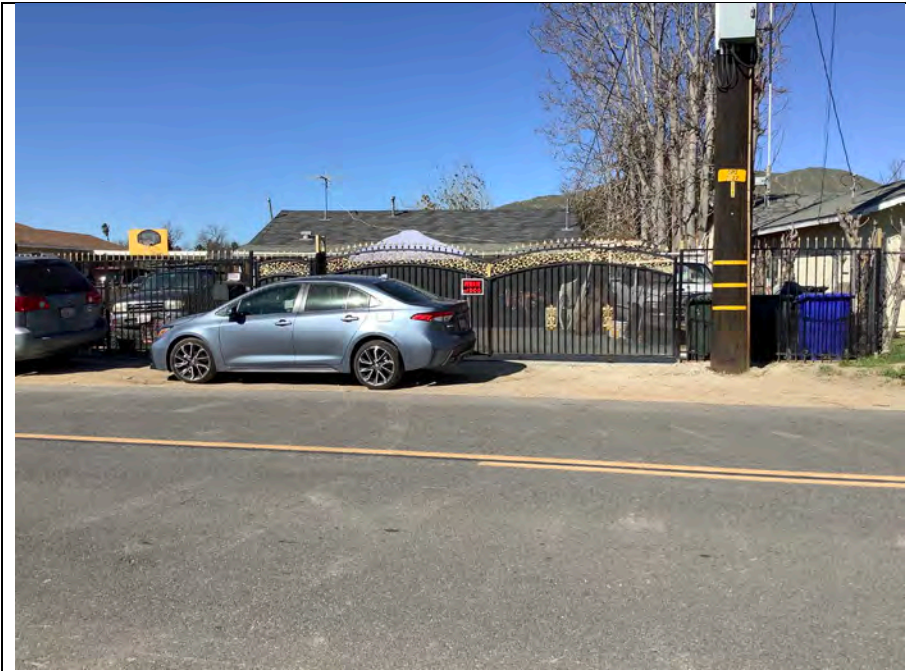
***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3309 Wallace Street was constructed in 1952 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 744 square-foot building is in fair condition and is still serving its original function. 3309 Wallace Street exhibits the following architectural features: Rectangular plan, irregular roof line, shed roof over porch. Back roof addition, side and front fiberglass doors, iron fence vinyl slider windows, gray shingle roof.

***P3b. Resource Attributes:** (List attributes and codes) HP02. Single family property

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west

January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both

1952 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3309 Wallace Street

B1. Historic Name: 3309 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3309 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Ranch style and has some character-defining features of the style including a long side-gable roof and large windows. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3309 Wallace Street is recommended not eligible under Criterion 3. As 3309 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

3309 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3309 Wallace Street, looking southwest

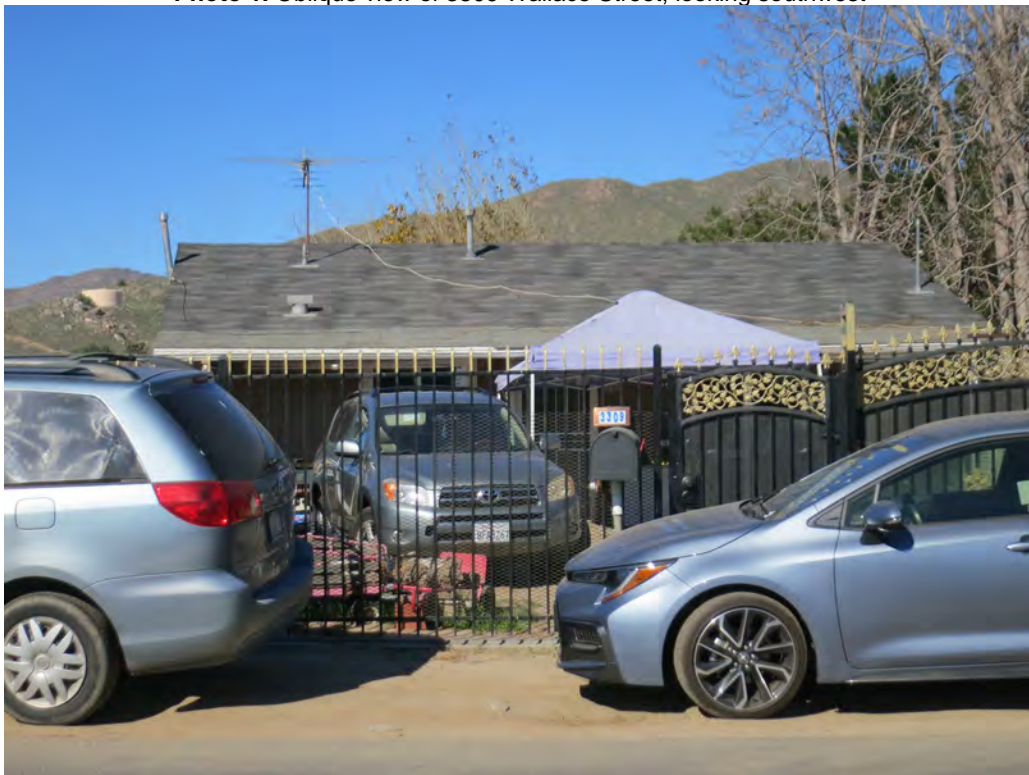


Photo 2. View of 3309 Wallace Street, looking west

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4

*Resource Name or #: 3317 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3317 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-004

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3317 Wallace Street was constructed in 1920 and altered in 1952 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 822 square-foot building is in fair condition and is still serving its original function. 3317 Wallace Street exhibits the following architectural features: Rectangular, short end faces street, wood casement and fixed windows with divided lights, wood eaves. Vent under gable. Asphalt shingle and sun panel roof. Front cross gables. Concrete and brick porch. Iron fence

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1920/1952 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3317 Wallace Street

B1. Historic Name: 3317 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Late Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3317 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Late Craftsman style and has some character-defining features of the style including a front gable roof and exposed rafter tails. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3317 Wallace Street is recommended not eligible under Criterion 3. As 3317 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3317 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3317 Wallace Street, looking southwest



Photo 2. Oblique view of 3317 Wallace Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 3333 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3333 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-005

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3333 Wallace Street was constructed in 1951 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 822 square-foot building is in fair condition and is still serving its original function. 3333 Wallace Street exhibits the following architectural features: Cross gable roof covered with gray asphalt shingles, L-shaped plan. Smooth stucco., open porch with wood posts, fiberglass door with metal security screen, fixed wood divided light window, aluminum double hung window with awning, block glass side lights, shed roof extension over porch,

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1951 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3333 Wallace Street

B1. Historic Name: 3333 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3333 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including the use of stucco and lack of architectural detail. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3333 Wallace Street is recommended not eligible under Criterion 3. As 3333 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3333 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3333 Wallace Street, looking southwest



Photo 2. Oblique view of 3333 Wallace Street, looking southwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 3343 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3343 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-007

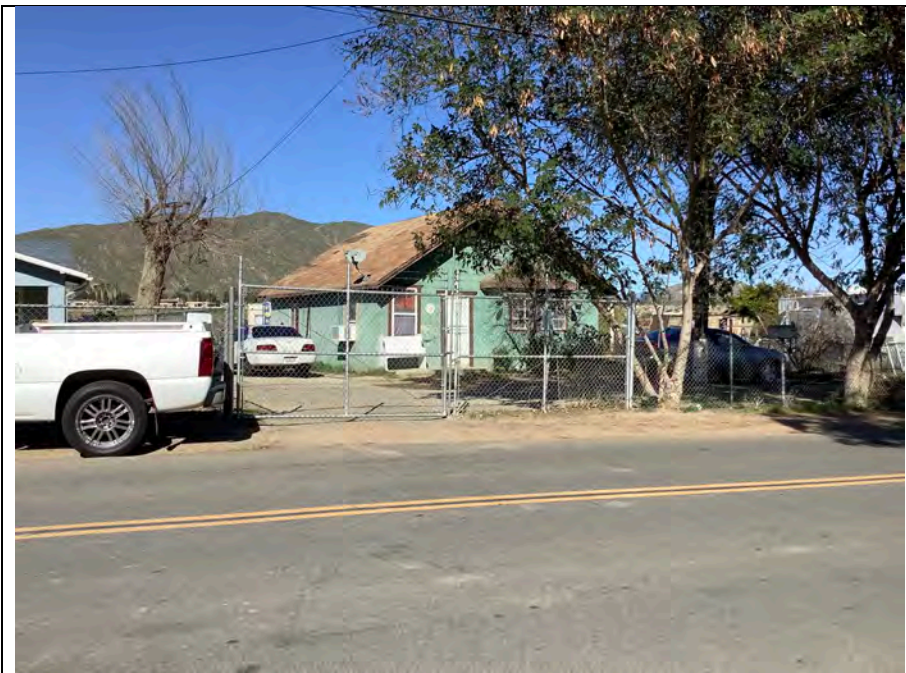
***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3343 Wallace Street was constructed in 1947 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,148 square-foot building is in fair condition and is still serving its original function. 3343 Wallace Street exhibits the following architectural features: Rectangular plan, front-facing gable roof with jerkinhead clad in brown asphalt shingles. Textured stucco cladding, wood casement and double hung vinyl windows with wood casings. Metal security screen door.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking northwest
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
1947 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3343 Wallace Street

B1. Historic Name: 3343 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: English Cottage

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3343 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the English Cottage style and has some character-defining features of the style including a jerkinhead roof and rounded overhanging eaves. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3343 Wallace Street is recommended not eligible under Criterion 3. As 3343 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3343 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3343 Wallace Street, looking northwest



Photo 2. Oblique view of 3343 Wallace Street, looking southwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 3345 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3345 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-013

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3345 Wallace Street was constructed in 1957 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 3,150 square-foot building is in fair condition and is still serving its original function. 3345 Wallace Street exhibits the following architectural features: Rectangular plan, cross gable roof clad in asphalt shingles with added solar panels. Recessed central porch with three supports. Smooth blue stucco siding of house with horizontal wood plank and wood panels on attached garage. Double wood accordion garage doors, double hung vinyl windows.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1957 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3345 Wallace Street

B1. Historic Name: 3345 Wallace Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3345 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Ranch style and has some character-defining features of the style including a low-pitched cross-gable roof and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3345 Wallace Street is recommended not eligible under Criterion 3. As 3345 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

3345 Wallace Street

Date: January 20, 2022



Photo 1. Oblique view of 3345 Wallace Street, looking northwest



Photo 2. Detail view of 3345 Wallace Street, looking southwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 3377 Wallace Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 3377 Wallace Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-015

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

3377 Wallace Street was constructed in 1947 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,316 square-foot building is in fair condition and is still serving its original function. 3377 Wallace Street exhibits the following architectural features: Single story stucco residence and garage. Residence has hip and valley roof, wood fixed windows, aluminum slider windows, security metal screen door. L shaped plan, thin porch with wood post. Wood eaves, narrow overhang,

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of east façade looking west

January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both

1947 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 3377 Wallace Street

B1. Historic Name: 3377 Wallace Street
 B2. Common Name: _____
 B3. Original Use: Residential
 B4. Present Use: Residential
 *B5. Architectural Style: Minimal Traditional
 *B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 3377 Wallace Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a pyramidal hipped roof, the use of stucco, and large windows. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 3377 Wallace Street is recommended not eligible under Criterion 3. As 3377 Wallace Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:
 See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.
 Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)
 *Date of Evaluation: May 2022

(This space is reserved for official comments)



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

3377 Wallace Street
Date: January 20, 2022



Photo 1. Oblique view of 3377 Wallace Street, looking southwest



Photo 2. Oblique view of 3377 Wallace Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5231 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5231 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-270-018

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5231 34th Street consists of two houses on one parcel that were constructed in 1947 per Riverside County Assessor building records and verified through review of historic aerials photographs. They are single-story buildings located in a generally rural setting. The two 675 square-foot buildings are in fair condition and still serving their original function. The small houses are nearly identical, and each is capped by a side gable roof with one clad in asphalt shingles and the other in roll shingles. Both are clad in stucco and have a symmetrical primary façade with a central door flanked by windows. The house to the north has a concrete stoop and shed roof over the entrance as well as a carport over the driveway. One of the divided pane windows has been replaced with a vinyl slider. The house to the south has two divided pane windows and no roof over the stoop.

*P3b. Resource Attributes: (List attributes and codes) HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of both houses looking west
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1947 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5231 34th Street

B1. Historic Name: 5231 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated these buildings under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether the houses at 5231 34th Street embody distinctive characteristics of a type, period, or method of construction, whether they represent the work of a master, or whether they possess high artistic values. The houses were built in the Minimal Traditional style and have some character-defining features of the style including the use of stucco and minimal architectural detail. However, they are not particularly good examples of the style and they lack characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5231 34th Street is recommended not eligible under Criterion 3. As 5231 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5231 34th Street

Date: January 20, 2022



Photo 1. Oblique view of house to the south at 5231 34th Street, looking northwest



Photo 2. Oblique view of north house at 5231 34th Street, looking southwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 5225 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5225 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-270-035

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5225 34th Street was constructed in 1930 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,745 square-foot building is in fair condition and is still serving its original function. 5225 34th Street exhibits the following architectural features: Stucco cladding with a flat parapet roof, aluminum and vinyl slider and fixed windows. The property is surrounded by a concrete block and iron fence and obscured by vegetation,

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of south façade looking northwest

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1930 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5225 34th Street

B1. Historic Name: 5225 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Spanish Colonial Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5225 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Spanish Colonial Revival style and has some character-defining features of the style including the use of stucco and a flat parapet roof. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5225 34th Street is recommended not eligible under Criterion 3. As 5225 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3 *Resource Name or # (Assigned by recorder) 5225 34th Street
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates Date: January 20, 2022



Photo 1. Oblique view of 5225 34th Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 5219 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5219 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-270-020

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5219 34th Street was constructed in 1915 and altered in 1935 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 767 square-foot building is in fair condition and is still serving its original function. 5219 34th Street exhibits the following architectural features: Textured stucco, metal security doors, double hung vinyl windows, faux divided light, pyramidal roof asphalt gray shingle. Rear addition with stucco siding and flat shingle roof. Concrete stoop. Vinyl slider window

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Oblique view looking northwest
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
1915/1935 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5219 34th Street

B1. Historic Name: 5219 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____

b. Builder: _____

*B10. Significance: Theme N/A

Area: _____

Period of Significance: N/A

Property Type: Residential

Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5219 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a pyramidal hipped roof, and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5219 34th Street is recommended not eligible under Criterion 3. As 5219 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

5219 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5219 34th Street, looking northeast



Photo 2. View of 5219 34th Street, looking north

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5163 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5163 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-270-034

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Riverside County Assessor lists a residence and garage at the address 5163 34th Street, but there is an additional mailbox for 5161 34th Street on the same parcel. 5163 34th Street was constructed in 1935 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting and obscured by fencing and landscaping. The 1,470 square-foot building is in fair condition and is still serving its original function. 5163 34th Street exhibits the following architectural features: Gray asphalt shingle roof, white wood siding, wood divided light windows, brick and iron fence, exposed rafters, irregular roof

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Distant view of south façade looking north
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1935 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5163 34th Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5163 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a front-gable roof, and limited architectural detail. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5163 34th Street is recommended not eligible under Criterion 3. As 5163 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5163 34th Street
Date: January 20, 2022



Photo 1. Oblique view of 5163 34th Street , looking northeast



Photo 2. Distant view of 5163 34th Street, looking north

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5281 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5281 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ _____ mN _____

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-230-017

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5281 34th Street consists of two houses on one parcel. One was built in 1944 and the other in 1958 per Riverside County Assessor building records and verified through review of historic aerials photographs. They are single-story buildings located in a generally rural setting. Building 1 (1944) is a 772 square-foot building in fair condition. Building 2 (1958) is 962 square feet and also in fair condition. Both houses are still serving their original function. Building 2 is clad in stucco with a flat roof and shed roof porch spanning the primary façade. Building 1 is obscured by fencing and mature landscaping but appears to have a front-facing gable roof with asphalt shingles and is clad in stucco. Windows in both houses have been replaced with vinyl sliders.

*P3b. Resource Attributes: (List attributes and codes) HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of south façade of building 2 looking northeast
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
Building 1 1944; Building 2 1958
(Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5281 34th Street

B1. Historic Name: 5281 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Spanish Colonial Revival and Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated these buildings under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether the houses at 5281 34th Street embody distinctive characteristics of a type, period, or method of construction, whether they represent the work of a master, or whether they possess high artistic values. The houses were built in the Minimal Traditional and Spanish Colonial Revival style and have some character-defining features of the style including the use of stucco, minimal architectural detail, and flat roof. However, they are not particularly good examples of the styles, and they lack characteristic details exhibited by other houses in Jurupa Valley and Riverside County. They are common styles in the city with many better examples of houses with more character-defining features. Permits were not located, and the architects are unknown. As such, the property at 5281 34th Street is recommended not eligible under Criterion 3. As 5281 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by:

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5281 34th Street

Date: January 20, 2022



Photo 1. Oblique view of Building 1 at 5281 34th Street, looking northwest



Photo 2. Oblique view of Building 2 at 5281 34th Street, looking northeast

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5297 34th street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5297 34th street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-230-015

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5297 34th Street consists of two houses on one parcel. The only visible house was built in 1948 and what appears to be a similar home was built behind it in 1950 (Buildings 1 and 2) per Riverside County Assessor building records and verified through review of historic aerials photographs. They are single-story buildings located in a generally rural setting. Buildings 2 and 3 (1948, 1950) are both 440 square feet and in fair condition. Both houses are still serving their original function. Both are capped with side gable roofs clad in asphalt shingles but Building 1 has a front gable facing the street and Building 2 is oriented the other way. Additional details for Building 2 are unknown. Building 1 is clad in stucco with wood shingles in the gable end. Windows are mostly vinyl double-hung sash with no casings.

*P3b. Resource Attributes: (List attributes and codes) HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of south façade of Building 2 looking northeast
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
Building 1 1948; Building 2 1950
(Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5297 34th street

B1. Historic Name: 5297 34th street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated these buildings under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether the houses at 5281 34th Street embody distinctive characteristics of a type, period, or method of construction, whether they represent the work of a master, or whether they possess high artistic values. The houses were built in the Minimal Traditional style and have some character-defining features of the style including the use of stucco and minimal architectural detail. However, they are not particularly good examples of the style, and they lack characteristic details exhibited by other houses in Jurupa Valley and Riverside County. They are common styles in the city with many better examples of houses with more character-defining features. Permits were not located, and the architects are unknown. As such, the property at 5297 34th Street is recommended not eligible under Criterion 3. As 5297 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

5297 34th street

Date: January 20, 2022



Photo 1. View of Building 1 at 5297 34th street, looking north



Photo 2. Oblique view of Building 1 at 5297 34th street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____ Date _____

*Resource Name or #: 5305 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad West Riverside T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5305 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-239-015

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5305 34th Street was constructed in 1930 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,370 square-foot building is in fair condition and is still serving its original function. 5305 34th Street has a simple rectangular plan and is called by a front-facing gable roof clad in asphalt shingles. It is clad in stucco with a stone chimney on the east façade. A partial enclosed porch is located on the east end of the primary façade. The gable end features wood cladding and a rectangular vent. Windows are wood casement and double-hung windows with wood casings.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Oblique view looking northwest
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
1930 (Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

***P10. Survey Type:** (Describe) Reconnaissance-level survey

***P11. Report Citation:** ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5305 34th Street

B1. Historic Name: 5305 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Late Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5305 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Late Craftsman style and has some character-defining features of the style including a front-facing gable roof and wood details in the gable end. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5305 34th Street is recommended not eligible under Criterion 3. As 5305 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

5305 34th Street

Date: January 20, 2022



Photo 1. View of 5305 34th Street, looking north



Photo 2. Oblique view of 5305 34th Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code	Reviewer	Date
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*Resource Name or #: 5311 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5311 34th street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-230-018

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5311 34th Street was constructed in 1935 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,160 square-foot building is in fair condition and is still serving its original function. 5311 34th Street exhibits the following architectural features: Spanish style, rough stucco. Flat parapet roofline, aluminum windows fixed and slider. At least one vinyl slider. Shed roof asphalt side porch with exposed wood rafters in either side. Security screen doors. Wood and chain fences.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Oblique view looking northwest

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1935 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5311 34th Street

B1. Historic Name: 5311 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Spanish Colonial Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5311 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Spanish Colonial Revival style and has some character-defining features of the style including a flat, parapet roof and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5311 34th Street is recommended not eligible under Criterion 3. As 5311 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5311 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5311 34th street, looking northeast



Photo 2. View of south façade of 5311 34th street, looking north

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings Review Code _____
Reviewer _____
Date _____

*Resource Name or #: 5325 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5325 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ _____ mN _____

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-230-014

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5325 34th Street was constructed in 1950 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 828 square-foot building is in fair condition and is still serving its original function. 5325 34th Street exhibits the following architectural features: Textured stucco tan siding, porch with shed roof, front gable, metal screen security doors, aluminum slider windows Garage on property with front gable, stucco siding and metal door.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of south façade looking north
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1950 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5325 34th Street

B1. Historic Name: 5325 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5325 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a Front-facing gable roof, the use of stucco, and lack of architectural details. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5325 34th Street is recommended not eligible under Criterion 3. As 5325 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by:

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5325 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5325 34th Street, looking northeast



Photo 2. Oblique view of 5325 34th Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5337 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5337 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-230-013

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5337 34th Street was constructed in 1949 per Riverside County Assessor building records and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 798 square-foot building is in fair condition and is still serving its original function. 5337 34th Street exhibits the following architectural features: Newer horizontal clapboard siding, bottom third textured stucco. Recessed porch. Vertical board siding for porch area. Hip and valley asphalt shingle roof, wood shingle hung windows with thin wood encasements. Garage at rear with pyramidal shingle roof

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of south façade looking north
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1949 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5337 34th Street

B1. Historic Name: 5337 34th st

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5337 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a pyramidal hipped roof, and use of stucco and vertical clapboard. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5337 34th Street is recommended not eligible under Criterion 3. As 5337 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: Lisa Demarais and Laura Taylor Kung, ASM Affiliates

*Resource Name or # (Assigned by recorder)

5337 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5337 34th Street, looking northwest



Photo 2. Oblique view of 5337 34th Street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5413 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5413 34th Street. City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ _____ mN _____

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-180-010

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5413 34th Street consists of two buildings on one parcel. Both are owned by the church, but only one of the buildings functions as a church and the other appears to be a house. Construction dates were not available through the Riverside County Assessor, but according to aerial photographs the house was built prior to 1959 and the church was built between 1959 and 1966. They are single-story buildings located in a generally rural setting. Both buildings are still serving their original function and are in fair condition. The church has a rectangular plan and is capped by a front gable roof. It appears to be clad in stucco but most of the building was covered with plywood at the time of the survey. The primary entrance is located under a gable porch with square post supports. Most of the windows have been replaced with vinyl sliders. The house is capped by a cross-gable roof covered with asphalt shingles and clad in narrow horizontal clapboards. The roof has overhanging eaves with exposed rafter tails. There is a partial porch on the east façade with a double gable roof and simple square supports. It has decorative wood slats in the gable end. The windows are replacement vinyl sliders with wood casings.

*P3b. Resource Attributes: (List attributes and codes) HP16. Religious building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

East façade of house looking west
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
House circa 1930; Church circa 1960
(Aerial photos; survey)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5413 34th Street.

B1. Historic Name: 5413 34th street.

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Craftsman; Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated these buildings under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether the houses at 5413 34th Street embody distinctive characteristics of a type, period, or method of construction, whether they represent the work of a master, or whether they possess high artistic values. The church was built in a modified Ranch style has some character-defining features of the style including a rectangular plan and low-pitched gable roof. The house was built in the Craftsman style and has some character-defining feature of the style including the exposed rafter tails and wood slat details in the gable end of the porch. However, neither are particularly good examples of the styles, and both lack characteristic details exhibited by other buildings in Jurupa Valley and Riverside County. They are common styles in the city with many better examples of buildings with more character-defining features. Permits were not located, and the architects are unknown. As such, the property at 5413 34th Street is recommended not eligible under Criterion 3. As 5413 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.





Photo 1. Oblique view of church 5413 34th street., looking northwest



Photo 2. View of south façade of house at 5413 34th street., looking north

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5455 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5455 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-170-019

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5455 34th Street was constructed in 1965 per Riverside County Assessor building records, and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 1,902 square-foot building is in fair condition and is still serving its original function. 5455 34th Street exhibits the following architectural features: Smooth tan stucco, vinyl sliders, cross gable asphalt shingle brown roof, some decorative faux brick cladding. Rear addition with shed roof in keeping with materials of main portion.

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Oblique view looking northwest

January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1965 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5455 34th Street

B1. Historic Name: 5455 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____

b. Builder: _____

*B10. Significance: Theme N/A

Area: _____

Period of Significance: N/A

Property Type: Residential

Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5455 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Ranch style and has some character-defining features of the style including a low-pitched cross-gable roof and the use of stucco. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5455 34th Street is recommended not eligible under Criterion 3. As 5455 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.





Photo 1. Oblique view of 5455 34th street, looking northwest

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5479 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5479 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-140-009

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5479 34th Street is a mobile home park that has existed since circa 1959 per historic aerials photographs. Most of the structures are mobile homes but there also appear to be two permanent structures on the lot, only one of which is easily visible. The house located near the street appears to have been built around 1930 based on the architectural details. The Riverside County Assessor had no information about construction dates or square footage of the permanent structures. Both buildings are single-story and in fair condition. It appears that one of the homes is now functioning as the mobile home office, and the function of the other building is unknown. The house that is located near the street has a T-shaped plan and is capped by a cross gable roof covered in asphalt shingles. It is clad in brick with a porch along the primary façade. Most of the windows have been replaced with vinyl sliders.

*P3b. Resource Attributes: (List attributes and codes) HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of mobile home office looking north
January 20, 2022

***P6. Date Constructed/Age and Source:**

Historic Prehistoric Both
House circa 1930; mobile home park circa 1959
(Aerial Photographs)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

***P9. Date Recorded:** January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5479 34th Street

B1. Historic Name: 5479 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Commercial

*B5. Architectural Style: Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5479 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Craftsman style and has some character-defining features of the style including the exposed rafter tails and vent in the gable end. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa Valley and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5479 34th Street is recommended not eligible under Criterion 3. As 5479 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5479 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5479 34th Street , looking NE, NW, SE, SW



Photo 2. Oblique view of obscured house at 5479 34th Street , looking northwest

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code _____

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 4

*Resource Name or #: 5545 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
 c. Address 5545 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-140-007

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5545 34th Street consists of two houses on one parcel. The front house was built in 1958 and the rear house was built in 1946 per Riverside County Assessor building records and verified through review of historic aerials photographs. They are single-story buildings located in a generally rural setting. The front house is 1,642 square feet and in the back is the 864 square-foot house. Both are in fair condition and are still serving their original function. The rear house is not easily visible, but has a square plan and is capped by a pyramidal hipped roof. It is clad in stucco with a fiberglass door and vinyl slider windows. The front house also has a square plan with a pyramidal hipped roof covered with asphalt shingles. It is clad in textured stucco with a fiberglass door behind a metal security door. The windows have been replaced with vinyl sliders

*P3b. Resource Attributes: (List attributes and codes) HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)
View of south façade of front house looking northwest.
January 20, 2022

*P6. Date Constructed/Age and Source:
 Historic Prehistoric Both
Front house 1958; Rear house 1946
(Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)
Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5545 34th Street

B1. Historic Name: 5545 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated these buildings under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether the houses at 5545 34th Street embody distinctive characteristics of a type, period, or method of construction, whether they represent the work of a master, or whether they possess high artistic values. The houses were built in the Minimal Traditional style and have some character-defining features of the style including the pyramidal hipped roof, use of stucco and minimal architectural detail. However, they are not particularly good examples of the style, and they lack characteristic details exhibited by other houses in Jurupa Valley and Riverside County. They are common styles in the city with many better examples of houses with more character-defining features. Permits were not located, and the architects are unknown. As such, the property at 5545 34th Street is recommended not eligible under Criterion 3. As 5545 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5545 34th Street

Date: January 20, 2022



Photo 1. View of the rear house at 5545 34th Street, looking north



Photo 2. View of the front house at 5545 34th Street, looking north

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: 5553 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M
c. Address 5553 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ _____ mN _____

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-140-006

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5553 34th Street was constructed in 1940 per Riverside County Assessor building records, and verified through review of historic aerials photographs. It is a single-story building located in a generally rural setting. The 869 square-foot building is in fair condition and is still serving its original function. 5553 34th Street is obscured view from the public right-of-way by mature landscaping. It has a rectangular plan and is capped by a front gable roof covered in asphalt shingles. It is clad in stucco and has replacement vinyl slider windows

*P3b. Resource Attributes: (List attributes and codes) HP02. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Distant view looking northeast
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
1940 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5553 34th Street

B1. Historic Name: 5553 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated this building under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether 5553 34th Street embodies distinctive characteristics of a type, period, or method of construction, whether it represents the work of a master, or whether it possesses high artistic values. The house was built in the Minimal Traditional style and has some character-defining features of the style including a the use of stucco, and minimal architectural detail. However, it is not a particularly good example of the style and lacks characteristic details exhibited by other houses in Jurupa and Riverside County. It is a common style in the city with many better examples of houses with more character-defining features. Permits were not located, and the architect is unknown. As such, the property at 5553 34th Street is recommended not eligible under Criterion 3. As 5553 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.





Photo 1. Oblique view of 5553 34th Street, looking northeast

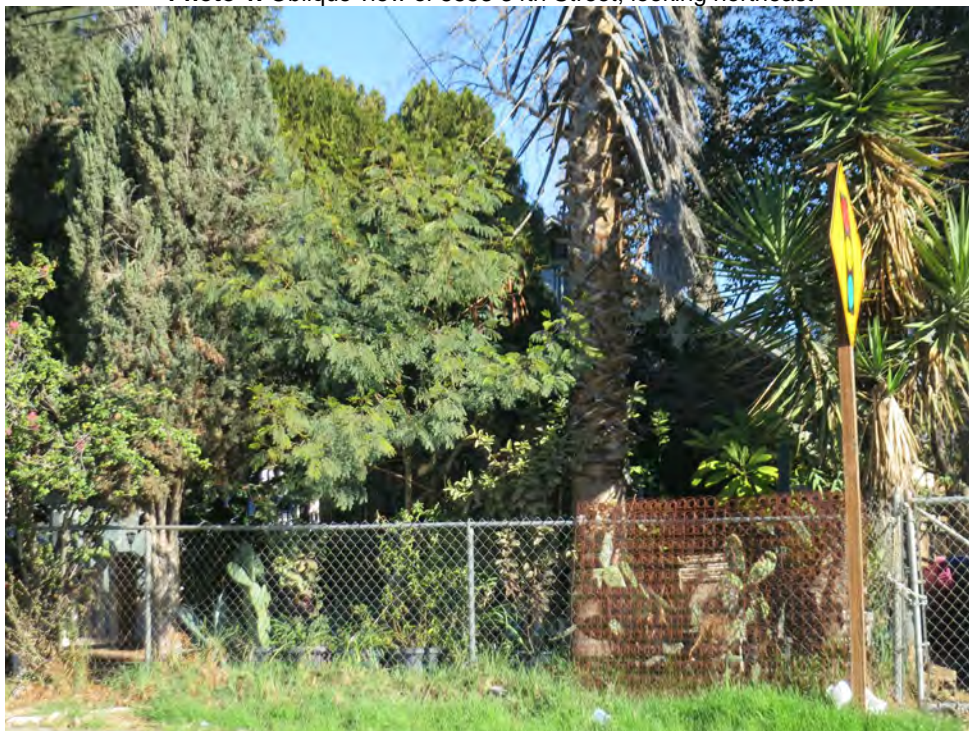


Photo 2. View of 5553 34th Street, looking north

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings
Review Code _____

Reviewer _____

Date _____

*Resource Name or #: 5557, 5565, and 5567 34th Street

P1. Other Identifier: # _____

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Riverside West T2S R5 W Sec 15, SW ¼, SE ¼ of Sec 15 S.B.B.M

c. Address 5557, 5565, and 5567 34th Street City Riverside Zip 92509

d. UTM: (give more than one for large and/or linear resources) mE/ mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 179-140-005

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

5557, 5565, and 5567 34th Street consists of three houses on one parcel. Per the Riverside County Assessor, 5557 34th Street was built in 1945 and is 1000 square feet. 5565 34th Street is a 972 square-foot house and was built in 1934 with alterations in 1944. The house at 5567 34th Street is 360 square feet and was built in 1930 with alterations in 1940. This information was verified through review of historic aerial photographs. They are single-story buildings located in a generally rural setting. All are in fair condition and are still serving their original function. All three houses are capped with front gable roofs clad in asphalt shingles. 5557 34th Street is the largest house and has an addition on the rear. It is clad in flush horizontal wood siding and has a wider porch over the front entrance and one of the windows. The door is a replacement and windows are vinyl slider sash. 5565 34th Street is slightly wider than 5557 and is clad in stucco. It has a projecting gable porch over the front entrance. The door has been replaced and windows are vinyl slider sash. 5567 34th Street is the smallest house and is clad in flush horizontal wood siding. The door and windows have been replaced and it does not have a porch. There is also a stucco-clad shed with a shed roof located to the west of 5567 34th Street.

*P3b. Resource Attributes: (List attributes and codes) HP03. Multiple family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of houses looking northwest
January 20, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both
5557 34th 1945; 5565 34th 1934/1944; 5567
34th 1930/1940 (Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Lisa Demarais and Laura Taylor Kung
ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, CA 92011

*P9. Date Recorded: January 20, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 11

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 5557, 5565, and 5567 34th Street

B1. Historic Name: 5557, 5565, and 5567 34th Street

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme N/A Area: _____

Period of Significance: N/A Property Type: Residential Applicable Criteria: N/A

Due to the constraints-level analysis for this report, ASM only evaluated these buildings under CRHR Criterion 3 based on a reconnaissance-level survey from the public right-of-way. ASM carefully considered whether the houses at 5557, 5565, and 5567 34th Street embody distinctive characteristics of a type, period, or method of construction, whether they represent the work of a master, or whether they possess high artistic values. The houses were built in the Minimal Traditional style and have some character-defining features of the style including the small scale and minimal architectural detail. However, they are not particularly good examples of the style, and they lack characteristic details exhibited by other houses in Jurupa Valley and Riverside County. They are common styles in the city with many better examples of houses with more character-defining features. Permits were not located, and the architects are unknown. As such, the property at 5557, 5565, and 5567 34th Street is recommended not eligible under Criterion 3. As 5557, 5565, and 5567 34th Street does not meet CRHR Criterion 3, an assessment of integrity is not warranted.

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

See ASM Affiliates, Inc. 2022. *Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa Valley, Riverside County, California*, Prepared for Kimley-Horn

B13. Remarks: _____

*B14.

Evaluator: ASM Affiliates, Inc. (Laura Taylor Kung)

*Date of Evaluation: May 2022

(This space is reserved for official comments)

Sketch Map with north arrow required.



Page 3 of 3
Recorded by: _____

*Resource Name or # (Assigned by recorder)
Lisa Demarais and Laura Taylor Kung, ASM Affiliates

5557, 5565 and 5567 34th Street

Date: January 20, 2022



Photo 1. Oblique view of 5557, 5565, and 5567 34th Street, looking northeast



Photo 2. Oblique view of 5557, 5565, and 5567 34th Street, looking northwest

Primary # P-33-005648
HRI # _____
Trinomial CA-RIV-5513H (Update)
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or #: Jurupa Ditch, CA-RIV-5513H

P1. Other Identifier: #

*P2. Location: Not for Publication Unrestricted

*a. County: Riverside and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad T 2S R 5 W NW ¼ of Sec 15 S.B.B.M

c. Address City Jarupa Zip 92509

d. UTM: (give more than one for large and/or linear resources) Zone 11S 463260 mE/ 3762345 mN

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) This resource is found just south of Wallace St in Riverside, CA.

A section was visited 30m south of Highway 60 to near its terminus at the Live Church of God in Christ at 3270 Rubidoux Blvd.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Jurupa Ditch was originally constructed as an open ditch in the mid-nineteenth century, later converted to concrete piping in the 1920s and 1930s. It was originally recorded in 1995 by J. Keller, as a primarily underground irrigation channel with sections dating to as early as 1843. It was noted at that time that the ditch was primarily composed of two subsurface parallel concrete pipes. The ditch was re-surveyed and evaluated in 2004 by B. Tang et al. of Chambers Group, Inc. The ditch was noted to be important to development of the area during the mid-to-late nineteenth century. However, it was recommended ineligible for the CRHR due to lack of integrity.

ASM resurveyed a portion of the ditch on April 28, 2022. The site was found to contain free-flowing water in the southern portion of the project area and was overgrown with vegetation including *Marah* spp. (Wild Cucumber), *Ricinis communis* (Castor Bean), *Brassica* spp. (Wild Mustard), and various aquatic plants. Segments of ditch were found to be in poor condition, due to water-based erosion and neglect. Other segments were found with intact modern concrete chutes along with abandoned concrete and plastic piping. ASM concurs with the prior evaluation from 2004 that although the ditch is associated with significant development of the Jurupa valley, it no longer retains sufficient integrity to convey that historical significance under any CRHR criteria. (see page 2 Continuation Sheet)

*P3b. Resource Attributes: (List attributes and codes) AH6. Water Conveyance System

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

Overview of the southwestern portion of CA-RIV-5513H, facing northeast.

April 28, 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Holly Drake and Zaira Marquez

ASM Affiliates, Inc.

2034 Corte Del Nogal

Carlsbad, CA 92011

*P9. Date Recorded: April 28, 2022

*P10. Survey Type: (Describe) Reconnaissance-level survey

*P11. Report Citation: ASM Affiliates, Inc. 2022. Constraints-Level Cultural Resources Technical Report for The District at Jurupa Valley Specific Plan, Jurupa, Riverside County, California, Prepared for Kimley-Horn.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List): _____

Page 2 of 4

*Resource Name or # (Assigned by recorder)

Jurupa Ditch, CA-RIV-5513H

Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Date: April 28, 2022

***P3a. Description:** (continued from p. 1)

ASM also surveyed the area surrounding the ditch for associated archaeological sites. Soil was found in piles nearby portions of the ditch that appeared to be the result of grading activities and were seen to contain modern and historic materials such as a scatter of 10+ milk bottles, eight of which were produced by Owens-Illinois in 1958 for the Dairyman's Service Association in Riverside, California (Toulouse 1971). Other historic materials found in the vicinity of the Jurupa Ditch include a fragment of sun-colored amethyst glass, a glass bottle base manufactured by the Latchford-Marble Glass Co. between 1939 and 1957, and a possible oil lamp chimney fragment.

Andrews, Sherri

2022 Constraints-Level Cultural Resources Technical Report for The District at Jarupa Valley Specific Plan, Jarupa, San Bernardino County, California

Tang, Bair, Michael Hogan, Casey Tibbet, and Josh Smallwood

2004 Historical/Archaeological Resources Evaluation Report: Site CA-RIV-5513H (33-5648), A Segment of the Jurupa Ditch, Rubidoux, Riverside County, California. On file at the Eastern Information Center, University of California, Riverside.



Figure 1. Heavily-eroded central portion of CA-RIV-5513H.



Figure 2. Overview of the northeastern section of CA-RIV-5513H, showing concrete piping sliding downslope of its original position. Photo facing north.

Page 3 of 4
Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

*Resource Name or # (Assigned by recorder)

Jurupa Ditch, CA-RIV-5513H

Date: April 28, 2022



Figure 3. Scatter of 10+ fragmented Owens-Illinois milk bottles, Dairyman's Service Association, Riverside, California (ca. 1958).



Fig 4. Detail photo of Owens-Illinois milk bottle base (ca.1958).



Figure 5. Fragment of sun-colored amethyst glass.



Figure 6. Latchford-Marble Glass Co. bottle base (ca.1939 to 1957).



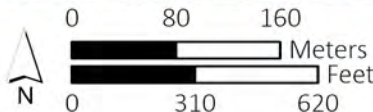
Figure 7. Possible oil lamp chimney fragment.

Page 4 of 4
 Recorded by: Holly Drake and Zaira Marquez, ASM Affiliates

Jurupa Ditch, CA-RIV-5513H
 Date: April 28, 2022



- CA-RIV-5044H
- Project Area
- 30 % Survey Area
- ▲ Amethyst Glass
- ▲ Brown Glass
- ▲ Milk Bottle
- ▲ Clear Glass



ATTACHMENT E – PALEONTOLOGICAL ASSESSMENT



PALEOSERVICES
SAN DIEGO NATURAL HISTORY MUSEUM

Paleontological Resources Technical Report

The District at Jurupa Valley Specific Plan
City of Jurupa Valley
Riverside County, California

May 6, 2022

Prepared for:

ASM Affiliates, Inc.
2034 Corte Del Nogal
Carlsbad, California 92011

Prepared by:

Department of PaleoServices
San Diego Natural History Museum
P.O. Box 121390
San Diego, California 92112-1390

Katie M. McComas, M.S., Paleontological Report Writer & GIS Specialist
Thomas A. Deméré, Ph.D., Principal Paleontologist

Executive Summary

This technical report provides an assessment of paleontological resources within the proposed The District at Jurupa Valley Specific Plan area, located in the City of Jurupa Valley, Riverside County, California. The purpose of this report is to identify and summarize paleontological resources that occur within the proposed specific plan area and immediate vicinity, identify construction elements (if any) that may negatively impact paleontological resources, and provide, if necessary, recommendations to reduce any potential negative impacts to less than significant levels. The report includes the results of institutional records searches conducted at the San Bernardino County Museum (SBCM), San Diego Natural History Museum (SDNHM), and Western Science Center (WSC).

The approximately 224-acre specific plan area includes 94 Assessor's Parcel Numbers. The specific plan area is generally bordered by State Route (SR) 60 to the north, the Santa Ana River to the east, 34th Street to the south, and Rubidoux Boulevard to the west. Existing conditions consist of generally level topography with grade changes related to a variety of different land uses. These include a segment of the Jurupa Ditch (a former regional irrigation canal), remnants of the abandoned Emerald Meadows Ranch (a former horse training facility), several former agricultural fields, some large graded pads of former businesses, and several existing private residences.

The new specific plan would permit development of up to 1,192 residential units; 3 million square feet of commercial and industrial land uses; a hotel with conference and hospitality area; and 7 acres of parks and open space (the "Project").

Based on published geologic mapping, the proposed Project site is primarily underlain by Holocene- to late Pleistocene-age (less than approximately 129,000 years old) young axial-channel deposits (Qya) representing alluvium deposited by the Santa Ana River during periods of high flow. Middle Pleistocene-age (approximately 774,000 to 129,000 years old) old alluvial-fan deposits, Unit 1 (Qof₁) derived from the Jurupa Mountains underlie part of the northern and northwestern portions of the Project site, and presumably may also underlie Qya deposits elsewhere within the Project site. Artificial fill deposits (Qaf) underlie the southeastern margin of the site, and were placed during levee construction along the modern Santa Ana River channel.

The SBCM has two nearby fossil localities from similar Pleistocene-age alluvial deposits that produced fossil remains of mastodon (*Mammut pacificus*) at a depth of approximately 25 feet bgs (located 0.6 miles north of the Project site) and fossil remains of a saber-toothed cat (*Smilodon* sp.) at a depth of 5 feet bgs (located 5 miles west-northwest of the Project site). Fossil localities have not been documented by the SDNHM or WSC within a one-mile radius of the Project site. However, multiple localities are known more broadly from western Riverside County. Several recorded fossil collection localities have been documented in similar Pleistocene-age alluvial deposits located in the City of Moreno Valley, which produced fossil remains of giant ground sloth (*Megalonyx jeffersonii* or *Nothrotheriops shastensis*), camelid (*Hemiauchenia*), and horse (*Equus*). The SDNHM has one documented fossil locality from Pleistocene-age alluvial deposits located in the City of San Jacinto that produced fossil remains of physid snails, frogs, colubrid snakes, lizards, and rodents (including the pocket gopher *Thomomys* sp.). In addition, significant fossils were discovered south of Hemet in Pleistocene-age braided stream and lake deposits exposed during construction of the Diamond Valley Lake project. Recovered fossils from this project represent a diversity of "Ice Age" mammals (e.g., ground sloth, weasel, skunk, badger, wolf, saber-toothed cat, American lion, puma, peccary, camel, pronghorn antelope, deer, bison, mastodon, and mammoth). Further, the San Bernardino County Museum (SBCM) reports several recorded Pleistocene fossil collection localities in the City of Menifee, approximately 30 miles to the southeast of the Project site. These localities yielded fossil remains of western camel (*Camelops hesternus*), as well as small-bodied vertebrates including lizards, rodents, and rabbits.

A high paleontological sensitivity is assigned to the Qof₁ deposits underlying the Project site. This assignment is supported by known occurrences of fossils in similar deposits elsewhere in western Riverside County. Qya and Qaf deposits are assigned a low paleontological sensitivity rating. Qya and Qaf deposits are estimated to be at least 5 feet thick within the Project site, and may in turn overlie Qof₁ deposits.

Construction of the proposed Project has the potential to impact paleontological resources during earthwork in areas mapped as Qof₁ deposits and during any earthwork exceeding approximately 5 feet below ground surface in areas mapped as Qya or Qaf deposits. Thus, implementation of a paleontological mitigation program centered around paleontological monitoring is recommended, as outlined in the provided Mitigation Measures 1–7. Implementation of the paleontological mitigation program will reduce any Project-related impacts to paleontological resources to a level that is less than significant.

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1.0 Introduction

1.1 Project Description

This technical report provides an assessment of paleontological resources within the proposed The District at Jurupa Valley Specific Plan area, located in the City of Jurupa Valley, Riverside County, California (Figure 1). The approximately 224-acre specific plan area includes the following 94 Assessor's Parcel Numbers (APNs): 178-252-003 and 178-252-004, 178-261-001 and 178-261-002; 178-262-001 through -008; 178-290-005; 178-290-009; 178-300-001 through -008; 178-310-001 and 178-310-002; 178-310-004 through -009; 178-310-011 through -015; 178-310-023 through -026; 178-310-028; 178-310-031 through -033; 178-310-041; 178-310-042; 178-310-044; 178-310-046; 178-310-051; 179-130-003 and 179-130-004; 179-130-006 through -008; 179-170-001; 179-170-003 and 179-170-004; 179-170-005; 179-170-007 and 179-170-008; 179-170-016; 179-170-018; 179-170-020; 179-230-010; 179-270-001; 179-270-011 through 179-270-018; 179-270-024; 179-270-028; 179-270-033 and 179-270-034; 179-310-001; 179-310-004; 179-310-005; 179-340-001; 179-340-002; 179-340-005; 178-310-017; 178-310-043; 178-310-045; 179-170-015; 178-310-040; 178-310-018; 178-310-047; 178-310-049; 178-310-030; 178-310-003; 178-310-039 and 178-310-034. The specific plan area is generally bordered by State Route (SR) 60 to the north, the Santa Ana River to the east, 34th Street to the south, and Rubidoux Boulevard to the west. Existing conditions consist of generally level topography with grade changes related to a variety of different land uses. These include a segment of the Jurupa Ditch (a former regional irrigation canal), remnants of the abandoned Emerald Meadows Ranch (a former horse training facility), several former agricultural fields, some large graded pads of former businesses, and several existing private residences.

The new specific plan would permit development of up to 1,192 residential units; 3 million square feet of commercial and industrial land uses; a hotel with conference and hospitality area; and 7 acres of parks and open space (the "Project").

1.2 Scope of Work

Because the Project site occurs in an area underlain by native sedimentary deposits, a paleontological resource assessment was conducted in order to evaluate whether the proposed Project has the potential to negatively impact paleontological resources. The assessment addresses potential impacts to paleontological resources that may occur during construction of the proposed Project by summarizing existing paleontological resource data at the Project site, evaluating the significance of these resources, examining potential Project-related impacts to paleontological resources, and, if necessary, suggesting mitigation measures to reduce impacts to paleontological resources to less than significant levels. The assessment also includes the results of a literature review of relevant geological and paleontological reports and institutional records searches of the paleontological collections at the San Bernardino County Museum (SBCM), San Diego Natural History Museum (SDNHM) and Western Science Center (WSC). Due to the extensive degree of prior disturbance resulting from previous land uses at the Project site, it was determined that a paleontological field survey was not warranted. This technical report was prepared by Katie M. McComas and Thomas A. Deméré of the Department of PaleoServices, SDNHM.



Sources: Terrain Hillshade, World Imagery, World Topographic Map, Esri et al., 2022

Figure 1: Project overview map, The District at Jurupa Valley Specific Plan, City of Jurupa Valley, Riverside County, California

1.3 Definition of Paleontological Resources

As defined here, paleontological resources (i.e., fossils) are the buried remains and/or traces of prehistoric organisms (i.e., animals, plants, and microbes). Body fossils such as bones, teeth, shells, leaves, and wood, as well as trace fossils such as tracks, trails, burrows, and footprints, are found in the geologic units/formations within which they were originally buried. The primary factor determining whether an object is a fossil or not is not how the organic remain or trace is preserved (e.g., “petrified”), but rather the age of the organic remain or trace. Although typically it is assumed that fossils must be older than ~11,700 years (i.e., the generally accepted end of the last glacial period of the Pleistocene Epoch), organic remains older than recorded human history and/or older than middle Holocene (about 5,000 radiocarbon years) can also be considered to represent fossils (SVP, 2010).

Fossils are considered important scientific and educational resources because they serve as direct and indirect evidence of prehistoric life and are used to understand the history of life on Earth, the nature of past environments and climates, the membership and structure of ancient ecosystems, and the pattern and process of organic evolution and extinction. In addition, fossils are considered to be non-renewable resources because typically the organisms they represent no longer exist. Thus, once destroyed, a particular fossil can never be replaced.

Finally, paleontological resources can be thought of as including not only the actual fossil remains and traces, but also the fossil collection localities and the geologic units containing those localities. The locality includes both the geographic and stratigraphic context of fossils—the place on the earth and stratum (deposited during a particular time in earth’s history) from which the fossils were collected. Localities themselves may persist for decades, in the case of a fossil-bearing outcrop that is protected from natural or human impacts, or may be temporarily exposed and ultimately destroyed, as is the case for fossil-bearing strata uncovered by erosion or construction. Localities are documented with a set of coordinates and a measured stratigraphic section tied to elevation detailing the lithology of the fossil-bearing stratum as well as that of overlying and underlying strata. This information provides essential context for any future scientific study and educational use of the recovered fossils.

1.3.1 Definition of Significant Paleontological Resources

The California Environmental Quality Act (CEQA, Public Resources Code Section 21000 et seq.) dictates that a paleontological resource is considered significant if it “has yielded, or may be likely to yield, information important in prehistory or history” (Section 15064.5, [a][3][D]). The Society of Vertebrate Paleontology (SVP) has further defined significant paleontological resources as consisting of “fossils and fossiliferous deposits[...]consisting of identifiable vertebrate fossils, large or small, uncommon invertebrate, plant, and trace fossils, and other data that provide taphonomic, taxonomic, phylogenetic, paleoecologic, stratigraphic, and/or biochronologic information” (SVP, 2010).

1.4 Regulatory Framework

Paleontological resources are considered scientifically and educationally significant nonrenewable resources, and as such they are protected under state (e.g., California Environmental Quality Act [CEQA]) and local (City of Jurupa Valley, Riverside County) laws, regulations, and ordinances, outlined below.

1.4.1 State

Notable State legislative protection for paleontological resources includes the California Environmental Quality Act.

The **California Environmental Quality Act (CEQA, Public Resources Code Section 21000 et seq.)** protects paleontological resources on both state and private lands in California. This act requires the identification of environmental impacts of a Project, the determination of significance of the impacts, and the identification of alternative and/or mitigation measures to reduce adverse environmental impacts. The Guidelines for the Implementation of CEQA (Title 14, Chapter 3, California Code of Regulations: 15000 et seq.) outlines these necessary procedures for complying with CEQA. Paleontological resources are specifically included as a question in the CEQA Environmental Checklist (Section 15023, Appendix G): “Will the proposed project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature.” Also applicable to paleontological resources is the checklist question: “Does the project have the potential to... eliminate important examples of major periods of California history or pre-history.”

Most CEQA lead agencies follow the definitions and guidelines provided by SVP (2010), which are in line with industry standards (e.g., Murphey et al., 2019). As advised by SVP (2010), impacts to paleontological resources can be minimized to a level below the threshold of significance through 1.) the permanent preservation of a fossil locality and its contained fossil resources); or 2.) the implementation of a paleontological mitigation program that would reduce any adverse impacts to a level below the threshold of significance through the salvage and permanent storage of any salvaged fossils in an established scientific institution.

1.4.2 Local

The **City of Jurupa Valley General Plan** (City of Jurupa Valley, 2017) Conservation and Open Space (COS) Element identifies the occurrence of important historical, archaeological, and paleontological resources within the City, and generally addresses paleontological resources under the umbrella of cultural resources, in accordance with the Riverside County General Plan. In addition, Figure 4-18 (Paleontological Sensitivity in Jurupa Valley) included in the City of Jurupa Valley General Plan provides an overview of paleontological sensitivity within the City’s boundaries.

The COS Element contains the following goals and policies relevant to paleontological resources:

- Goal COS 7: Ensuring the preservation of cultural, historical, archaeological, and paleontological resources.
- Policy COS 7.1: Preservation of Significant Cultural Resources. Identify, protect, and, where necessary, archive significant paleontological, archaeological, and historical resources.

The Multipurpose Open Space Element of the **Riverside County General Plan** (County of Riverside, 2015) identifies the occurrence of important historical, archaeological, and paleontological resources within the County. Several policies of the County’s General Plan Multipurpose Open Space Element address paleontological resources directly, and provide the following recommendations:

- Policy OS 19.6: Whenever existing information indicates that a site proposed for development has high paleontological sensitivity ... a paleontological resource impact mitigation program (PRIMP) shall be filed with the County Geologist prior to site grading. The PRIMP shall specify the steps to be taken to mitigate impacts to paleontological resources.
- Policy OS 19.7: Whenever existing information indicates that a site proposed for development has low paleontological sensitivity ... no direct mitigation is required unless a fossil is encountered during site development. Should a fossil be encountered, the County Geologist shall be notified and a paleontologist shall be retained by the project proponent. The paleontologist shall document the extent and potential significance of the paleontological

resources on the site and establish appropriate mitigation measures for further site development.

- **Policy OS 19.8:** Whenever existing information indicates that a site proposed for development has undetermined paleontological sensitivity ... a report shall be filed with the County Geologist documenting the extent and potential significance of the paleontological resources on site and identifying mitigation measures for the fossil and for impacts to significant paleontological resources prior to approval of that department.
- **Policy OS 19.9:** Whenever paleontological resources are found, the County Geologist shall direct them to a facility within Riverside County for their curation, including the Western Science Center in the City of Hemet.

As outlined below, in Section 2.3, Riverside County has provided criteria to assess the sensitivity of paleontological resources.

2.0 Methods

2.1 Paleontological Records Searches and Literature Review

Paleontological records searches were conducted at the SBCM, SDNHM, and WSC in order to determine if any documented fossil collection localities occur within the Project site or immediate surrounding area. The SDNHM records search involved examination of the paleontological database for any records of known fossil collection localities from sedimentary deposits similar to those underlying the Project site within an approximately one-mile radius. Formal records searches of the paleontological collections at SBCM and WSC were requested from these institutions (SBCM, 2022; Appendix A; WSC, 2022; Appendix B).

Additionally, a review was conducted of relevant published geologic mapping (e.g., Dibblee and Minch, 2004; Morton, 2003; Morton and Miller, 2006; Morton et al., 2002), published geological and paleontological reports (e.g., Springer et al., 2009, 2010), and other relevant literature (e.g., unpublished paleontological mitigation reports). This approach was followed in recognition of the direct relationship between paleontological resources and the geologic units within which they are entombed. Knowing the geologic history of a particular area and the fossil productivity of geologic units that occur in that area, makes it possible to predict where fossils may, or may not, be encountered.

2.2 Paleontological Resource Assessment Criteria

The County of Riverside has developed standards for assessing paleontological potential/sensitivity that are based, in part, on the standards set forth by Society of Vertebrate Paleontology (SVP, 2010), and that also take into account the possibility for adverse impacts due to human influence. The County recognizes a tripartite scale: High Potential (High A and High B subcategories), Low Potential, and Undetermined Potential.

The specific criteria for each scale of Paleontological Potential/Sensitivity is outlined below.

2.2.1 High Potential/Sensitivity

High sensitivity is assigned to geologic units known to contain paleontological localities with rare, well-preserved, critical fossil materials for stratigraphic or paleoenvironmental interpretation, and fossils providing important information about the paleobiology and evolutionary history (phylogeny) of animal

and plant groups. Generally speaking, highly sensitive formations produce vertebrate fossil remains or are considered to have the potential to produce such remains.

In Riverside County, High Paleontological Potential A is assigned to rock units present immediately at the surface, while High Paleontological Potential B is assigned to rock units found at a depth of 4 feet or greater below existing grade.

2.2.2 Low Potential/Sensitivity

Low sensitivity is assigned to geologic units that, based on their relative youthful age and/or high-energy depositional history, are judged unlikely to produce important fossil remains. Typically, low sensitivity formations produce invertebrate fossil remains in low abundance. Low paleontological potential is also assigned to geologic formations that are entirely igneous in origin and therefore have no potential for producing fossil remains, or to artificial fill materials which lose the stratigraphic/geologic context of any contained organic remains (e.g., fossils).

2.2.3 Undetermined Potential/Sensitivity

Undetermined sensitivity is assigned to geologic units that exhibit geologic features and preservational conditions that suggest significant fossils could be present, but little information about the geology and/or paleontological resources of the unit or the area is known. This may indicate the unit or area is poorly studied, and field surveys may be useful for more precisely determining the paleontological sensitivity.

2.3 Paleontological Impact Analysis

Direct impacts to paleontological resources occur when earthwork activities (e.g., mass grading, utility trenching) cut into the geologic units within which fossils are buried and physically destroy the fossil remains. As such, only earthwork activities that will disturb potentially fossil-bearing sedimentary deposits (i.e., those rated with a high paleontological potential) have the potential to significantly impact paleontological resources. Paleontological mitigation typically is recommended to reduce any negative impacts to paleontological resources to less than significant levels.

The purpose of the impact analysis is to determine which (if any) of the proposed Project-related earthwork activities may disturb potentially fossil-bearing geologic units, and where and at what depths this earthwork will occur. The paleontological impact analysis involved analysis of available project documents, and comparison with geological and paleontological data gathered during the records searches and literature review.

3.0 Results

3.1 Results of the Records Searches and Literature Review

3.1.1 Project Geology

Geologic setting: The proposed Project site is located within the Perris Block of the Peninsular Ranges Geomorphic Province (English, 1926; Norris and Webb, 1990). This structural block is surficially expressed as a relatively low relief, weathered basin punctuated by resistant hills and small mountains, and is surrounded by the Santa Ana Mountains to the west and south, the San Jacinto Mountains to the east, and the San Gabriel and San Bernardino Mountains to the north. The Perris Block is a fault-controlled region, with the San Jacinto Fault to the northeast and the Elsinore Fault to the southwest. Faulting is responsible for the uplift of the surrounding mountain ranges, and the down drop of the

Perris Block. As a consequence, the surrounding mountain ranges are actively being eroded, and the sediments derived from this erosion have in the past been, and are still being deposited in the basin lowlands as alluvial fans and/or stream channel deposits. These surficial deposits overlie a deeply weathered mass of Cretaceous plutonic igneous rocks of the Peninsular Ranges Batholith and older metasedimentary basement rocks.

Project-specific geology: As mapped by Morton and Miller (2006), the proposed Project site is primarily underlain by Holocene- to late Pleistocene-age (less than approximately 129,000 years old) young axial-channel deposits (Qya) representing alluvium deposited by the Santa Ana River within its former natural floodplain during periods of high flow (Figure 2). Morton et al. (2002) characterized these deposits as “gray, unconsolidated alluvium consisting of coarse- to fine-grained sand and lesser gravel and silt” forming “terraces slightly elevated above [the] main Santa Ana River channel,” while Dibblee and Minch (2004) describe these deposits as “alluvial sand, gravel, and clay of level areas covered with soil” of primarily Holocene age.

Mapping by Morton (2003) and Morton and Miller (2006) suggests that the north central portion of the Project site is underlain at the surface by middle Pleistocene-age (approximately 129,000 to 774,000 years old) old alluvial-fan deposits, Unit 1 (Qof₁) (as depicted in Figure 2). These alluvial fan sediments were derived from erosion of the uplifted plutonic bedrock exposed in the Jurupa Mountains to the north and northwest of the Project site. Mapping by Dibblee and Minch (2004) suggests that the alluvial fan deposits are more extensive and underlie a broader area in the northwestern portion of the Project site—this interpretation of the aerial extent of Qof₁ deposits is apparently utilized in Figure 4-18 “Paleontological Sensitivity in Jurupa Valley” in the City of Jurupa Valley General Plan (City of Jurupa Valley, 2017). Pleistocene-age alluvial fan deposits may also underlie Qya deposits elsewhere within the Project site, at estimated depths of 5 to 15 feet below ground surface (bgs) (Reynolds and Reynolds, 1991).

In addition, deposits of artificial fill (Qaf) associated with levee construction line the modern Santa Ana River channel along the southeastern boundary of the Project site.

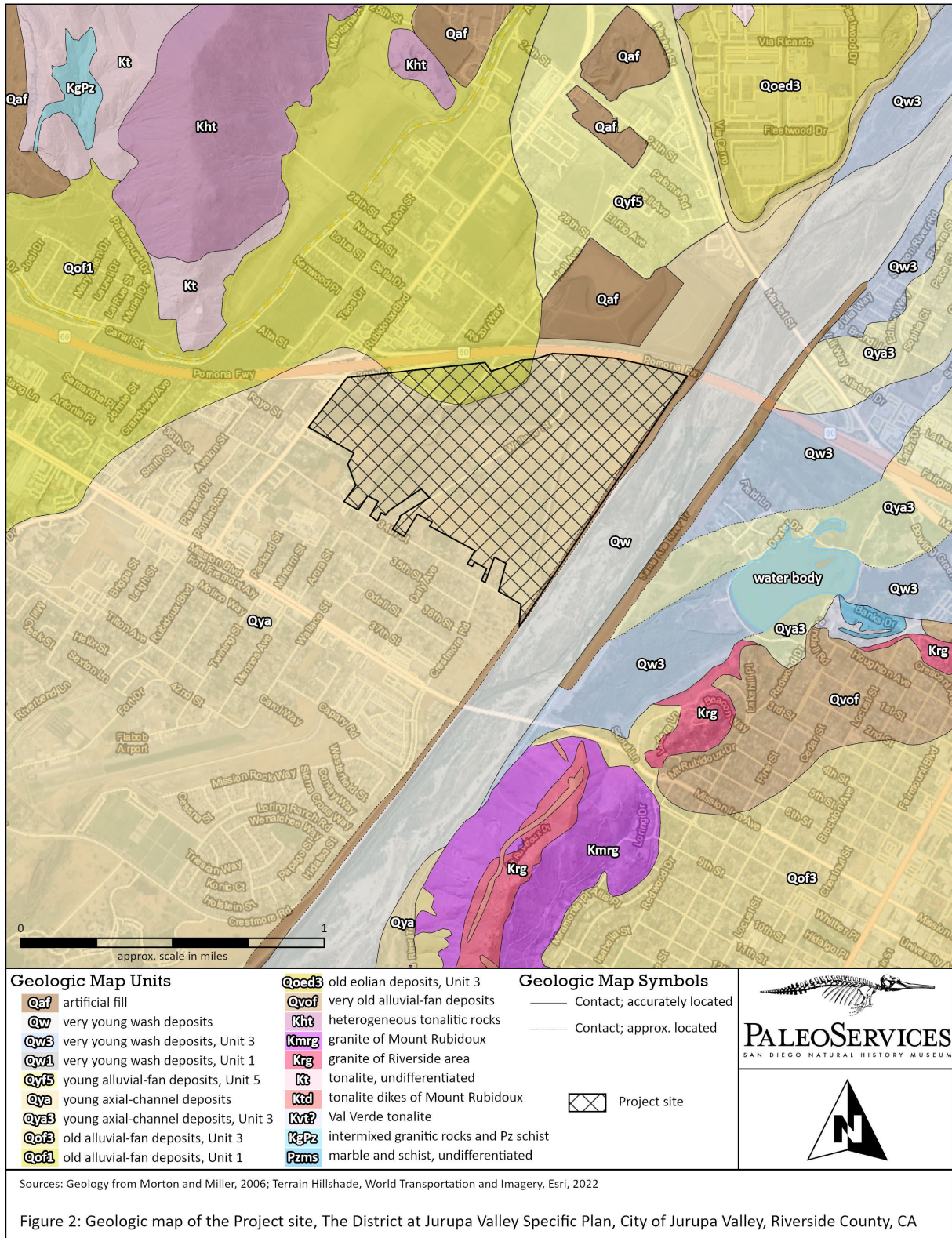
3.1.2 Project Paleontology

A records search of paleontological collections data at the SBCM generated a response that there are no recorded SBCM fossil collection localities that lie within the Project site, but two localities have been documented in the vicinity of the Project site (SBCM, 2022; Appendix A). The nearest fossil locality (SBCM 5.1.22) lies approximately 0.6 miles north of the Project site within Pleistocene-age alluvial deposits, and produced fossil remains of mastodon (*Mammuthus pacificus*) at a depth of approximately 25 feet bgs. A second fossil locality (SBCM 5.1.11) lies approximately 5 miles west-northwest of the Project site, and produced fossil remains of a saber-toothed cat (*Smilodon* sp.) at a depth of 5 feet bgs, in an area where recent alluvial sediments overlie older Pleistocene-age alluvium.

The SDNHM does not have any documented fossil collection localities within a one-mile radius of the proposed Project site. The closest SDNHM fossil locality from similar Pleistocene-age alluvial deposits is located approximately 35 miles to the southeast in the San Jacinto Valley within the City of San Jacinto, where fossil remains of physid snails, frogs, colubrid snakes, lizards, and rodents (including the pocket gopher *Thomomys* sp.) were discovered at a depth of 10 feet bgs during paleontological monitoring of mass grading for a new middle school (SDNHM, unpublished paleontological collections data).

A records search request of paleontological collections data at the WSC generated a response that there are no recorded WSC fossil collection localities within a one-mile radius of the proposed Project site, but noted that localities are documented in the region in similar Pleistocene-age alluvial deposits (WSC, 2022; Appendix B). These localities have produced mammoth (*Mammuthus columbi*), mastodon

(*Mammut pacificus*), saber toothed cats (*Smilodon fatalis*), ancient horse (*Equus* sp.), and other Pleistocene-age large-bodied and small-bodied organisms that lived during the Pleistocene.



More broadly, fossils have been documented in similar Pleistocene-age alluvial deposits elsewhere within western Riverside County. For example, multiple fossil localities were discovered in Pleistocene-age alluvial deposits during construction of the Aldi Distribution Center in the City of Moreno Valley, located approximately 15 miles east-southeast of the proposed Project site (LSA, 2014). These localities produced isolated fossil remains of giant ground sloth (*Megalonyx jeffersonii* or *Nothrotheriops shastensis*), camelid (*Hemiauchenia*), and horse (*Equus*) (LSA, 2014). The fossil-bearing deposits were exposed at depths of 11 and 13 feet bgs in an area where young alluvial-fan deposits are mapped at the surface (LSA, 2014). Additionally, significant fossils were discovered approximately 38 miles to the south-southeast of the Project site in Pleistocene-age braided stream and lake deposits exposed during construction of the Diamond Valley Lake project. Recovered fossils consist of large-bodied “Ice Age” mammals (e.g., ground sloth, weasel, skunk, badger, wolf, saber-toothed cat, American lion, puma, peccary, camel, pronghorn antelope, deer, bison, mastodon, and mammoth) (Springer et al., 2009, 2010). Further, the San Bernardino County Museum (SBCM) reports several recorded paleontological collection localities in the northeastern and eastern portions of the City of Menifee, approximately 30 miles southeast of the Project site. These fossil localities yielded fossil remains of western camel (*Camelops hesternus*) and small-bodied vertebrates including lizards, rodents, and rabbits (SBCM, 2010).

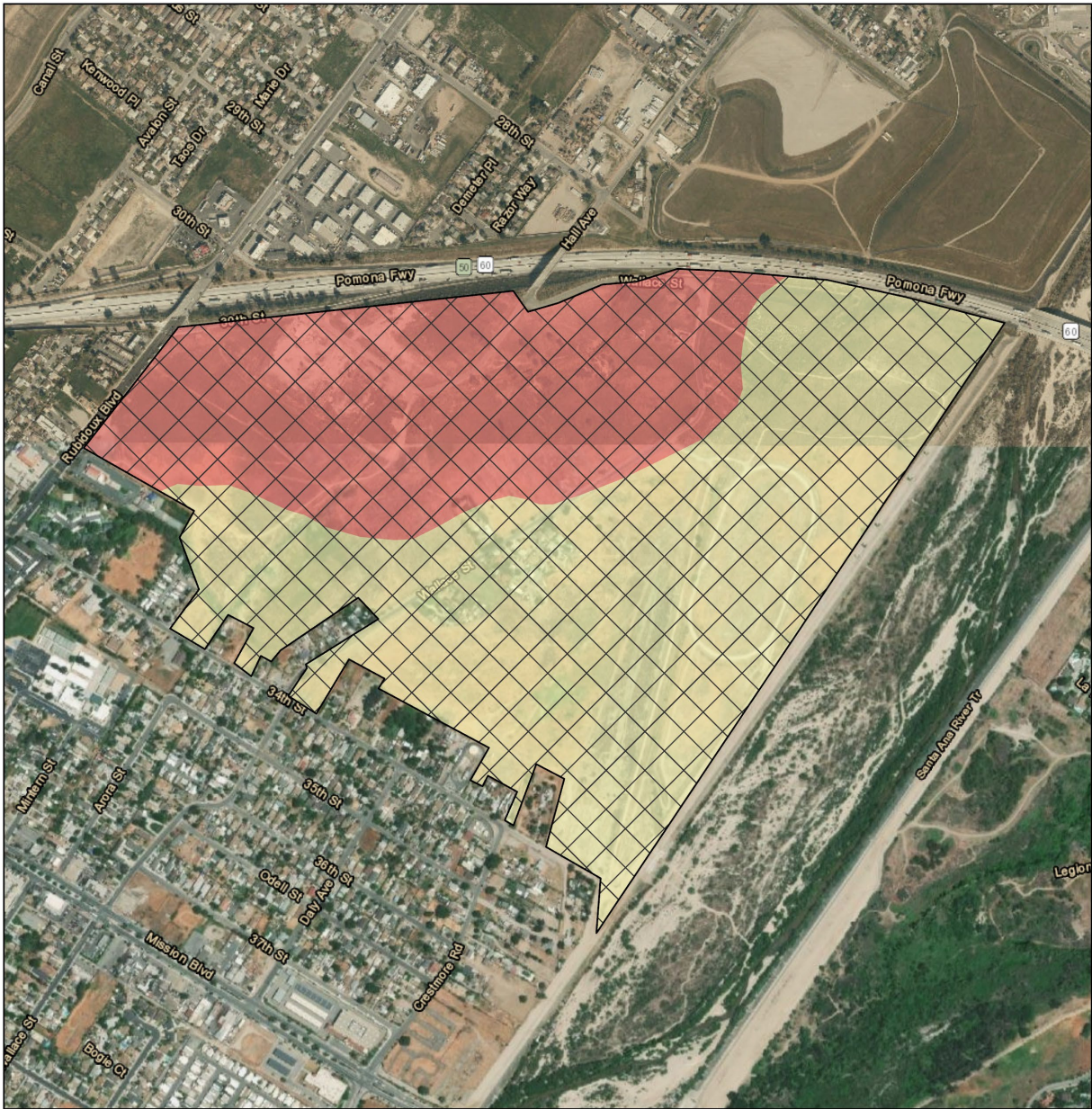
3.2 Results of the Paleontological Resource Assessment

The City of Jurupa Valley General Plan (City of Jurupa Valley, 2017) assigns the middle Pleistocene-age old alluvial-fan deposits (Qof₁) exposed in the northern and northwestern portions of the Project site a high paleontological sensitivity. This rating is supported by the known occurrence of scientifically significant fossils from similar deposits elsewhere in western Riverside County. In contrast, the primarily Holocene-age young axial-channel deposits (Qya) present in the southern and northeastern portions of the Project site are assigned a low paleontological sensitivity rating, based on the relatively young geologic age of these deposits. Finally, mapped artificial fill deposits (Qaf) present along the Santa Ana River channel, as well as any unmapped artificial fill deposits present elsewhere within the Project site, are also assigned a low paleontological sensitivity rating because any contained fossil remains will have lost their original stratigraphic and/or geographic context.

Taking a conservative approach, Qof₁ deposits are presumed to be exposed at or near the surface across the largest geographic extent of these deposits indicated by existing geological mapping (i.e., as reported by Dibblee and Minch, 2004), and are estimated to be overlain by at least 5 feet of Qya deposits and/or Qaf deposits in the remaining portions of the Project site (Figure 3).

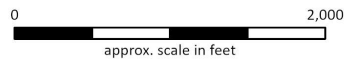
3.3 Results of the Paleontological Impact Analysis

Based on the available conceptual land use plan (dated 25 April 2022), residential development is proposed for the southern and southwestern portions of the specific plan area, adjacent to existing residential properties. Industrial development is proposed for the eastern portion of the specific plan area along the Santa Ana River. Commercial development is proposed for the central, northern, and northwestern portions of the specific plan area along SR 60. Several new internal roadways are proposed that would separate these land use areas and provide access and connectivity to existing local roads. Installation of utilities (e.g., sewer, water, storm drain, and dry utilities) would also be required throughout the specific plan area. Finally, several parks and walking trails are proposed as open space.

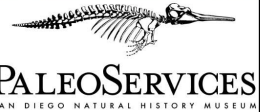


Paleontological Sensitivity Rating

- high sensitivity (approximate extent)
- low sensitivity; note that high sensitivity deposits may be present in the subsurface (estimated 5 or more feet bgs)



Project site



Sources: Terrain Hillshade, World Transportation and Imagery, Esri, 2022

Figure 3: Paleontological sensitivity map, The District at Jurupa Valley Specific Plan, City of Jurupa Valley, Riverside County, CA

While the specific locations and dimensions of earthwork that will be required for construction of the Project have not yet been defined, it is anticipated that significant excavations will occur. Types of earthwork typically associated with construction of residential, industrial, and commercial developments include: mass grading of building lots and interior roadways, trenching for subgrade utilities, removal and recompaction of artificial fill and poorly consolidated modern soils, and excavation for the installation of storm water management systems.

Based on the published geologic mapping of the Project site (Dibblee and Minch, 2004; Morton and Matti, 2002; Morton and Miller, 2006), a portion of this earthwork will take place in areas mapped as Qof₁ deposits, where impacts to paleontological resources are possible. Shallower earthwork (i.e., extending less than ~5 feet bgs) occurring in areas mapped as Qya deposits is unlikely to impact paleontological resources, but deeper earthwork (i.e., extending more than ~5 feet bgs) in these areas could impact the underlying Qof₁ deposits. Shallower earthwork that occurs in the later portion of site development (e.g., installation of hardscaping and landscaping) is likely to take place within deposits that were already disturbed during site grading (Qaf), and this earthwork is, therefore, unlikely to impact paleontological resources. These potential impacts and paleontological monitoring recommendations are summarized in Table 1.

Table 1. Summary of Project impacts and paleontological monitoring recommendations.

Project Components	Impact Analysis	Monitoring recommended?
Site grading (for building lots, roadways)	Impacts possible	<u>Qof₁: Yes;</u> <u>Qaf/Qya: No</u>
Trenching for subgrade utilities	Impacts possible	<u>Qof₁: Yes;</u> <u>Qaf/Qya: No</u>
Excavation for storm water management systems	Impacts possible	<u>Qof₁: Yes;</u> <u>Qaf/Qya: No</u>
Hardscaping, landscaping	No impacts anticipated	<u>No</u>

4.0 Recommendations & Conclusions

Implementation of a paleontological mitigation program, in the form of paleontological monitoring, is recommended for earthwork at the Project site that will directly impact middle Pleistocene-age old alluvial-fan deposits (Qof₁).

Implementation of the following mitigation measures will reduce any Project-related impacts to paleontological resources to a level that is less than significant. The mitigation measures outlined below are based on established industry best practices (Murphey et al., 2019).

4.1 Mitigation Measures

1. Prior to the start of earthwork, a qualified Project Paleontologist shall be retained to oversee the paleontological monitoring program and shall attend the pre-construction meeting to consult with Project contractors concerning excavation schedules, paleontological field techniques, and safety issues. A qualified Project Paleontologist is defined as an individual with an M.S. or Ph.D. emphasizing paleontology and sedimentary geology that is experienced with paleontological procedures and techniques, who is knowledgeable in the geology and paleontology of Riverside County, and who has worked as a paleontological mitigation project supervisor for at least two

years. In addition, a professional repository shall be designated to receive and curate any discovered fossils. A professional repository is defined as a recognized paleontological specimen repository (e.g., an AAM-accredited museum or university) with a permanent curator, and should be capable of storing fossils in a facility with adequate security against theft, loss, damage, fire, pests, and adverse climate conditions (e.g., Western Science Center, San Diego Natural History Museum).

2. A paleontological monitor shall be on-site during earthwork at all depths in areas mapped as having high paleontological sensitivity (Figure 3, areas symbolized in red) and during earthwork exceeding approximately 5 feet bgs in areas mapped as as having low paleontological sensitivity, where high sensitivity deposits may be present in the subsurface (Figure 3, areas symbolized in light yellow). A paleontological monitor is defined as an individual with a college degree emphasizing paleontology with experience in the recognition and salvage of fossils materials or who has two years of demonstrable equivalent experience in the recognition and salvage of fossil materials. The paleontological monitor shall work under the direction of the Project Paleontologist. The paleontological monitor shall be equipped to salvage fossils as they are unearthed, to avoid construction delays, and to remove samples of sediments that are likely to contain small fossil invertebrates and vertebrates. Monitors shall be empowered to temporarily halt or divert equipment to allow removal of abundant or large specimens. Paleontological monitoring may be reduced (e.g., part-time monitoring or spot-checking) or eliminated, at the discretion of the Project Paleontologist and in consultation with appropriate agencies (e.g., Project proponent, City of Jurupa Valley representatives). Changes to the paleontological monitoring schedule shall be based on the results of the mitigation program as it unfolds during site development, and current and anticipated conditions in the field.
3. If fossils are discovered, the Project Paleontologist (or paleontological monitor) shall make an initial assessment to determine their significance. All identifiable vertebrate fossils (large or small) and uncommon invertebrate, plant, and trace fossils are considered to be significant and shall be recovered (SVP, 2010). Representative samples of common invertebrate, plant, and trace fossils shall also be recovered. Although fossil salvage can often be completed in a relatively short period of time, the Project Paleontologist (or paleontological monitor) shall be allowed to temporarily direct, divert, or halt earthwork at his or her discretion during the initial assessment phase if additional time is required to salvage fossils. If it is determined by the Project Paleontologist that the fossil(s) should be recovered, the recovery shall be completed in a timely manner. Some fossil specimens (e.g., a large mammal skeleton) may require an extended salvage period. Because of the potential for the recovery of small fossil remains (e.g., isolated teeth of small vertebrates), it may be necessary to collect bulk-matrix samples for screen washing.
4. In the event that fossils are discovered during a period when a paleontological monitor is not on site (i.e., an inadvertent discovery), earthwork within the vicinity of the discovery site shall temporarily halt, and the Project Paleontologist shall be contacted to evaluate the significance of the discovery. If the inadvertent discovery is determined to be significant, the fossils shall be recovered, as outlined in Mitigation Measure 3.
5. Fossil remains collected during monitoring and salvage shall be cleaned, repaired, sorted, taxonomically identified, and cataloged as part of the mitigation program. Fossil preparation may also include screen-washing of bulk matrix samples for microfossils or other laboratory analyses (e.g., radiometric carbon dating), if warranted in the discretion of the Project Paleontologist. Fossil preparation and curation activities may be conducted at the laboratory of

the contracted Project Paleontologist, at an appropriate outside agency, and/or at the designated repository, and shall follow the standards of the designated repository.

6. Prepared fossils, along with copies of all pertinent field notes, photos, and maps, shall be curated at a professional repository. The Project Paleontologist shall have a written repository agreement with the professional repository prior to the initiation of mitigation activities.
7. A final summary report shall be completed at the conclusion of the monitoring and curation phases of work, and shall summarize the results of the mitigation program. A copy of the paleontological monitoring report shall be submitted to the City of Jurupa Valley and to the designated museum repository. The report and specimen inventory, when submitted to the City of Jurupa Valley with confirmation of the curation of recovered specimens into an established, accredited repository, shall signify completion of the program to mitigate impacts to paleontologic resources.

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Appendix A

Records Search Results: San Bernardino County Museum



Museum
Division of Earth Science

Scott Kottkamp
Curator of Earth Science

30 March, 2022

San Diego Natural History Museum
Attn: Katie McComas
1788 El Prado
San Diego, CA 92101

PALEONTOLOGY RECORDS REVIEW for proposed site of District at Rubidoux
Project, Riverside County, California

Dear Ms. McComas,

The Division of Earth Science of the San Bernardino County Museum (SBCM) has completed a records search for the above-named project in Riverside County, California. The proposed project site (District at Rubidoux) is in the City of Jurupa Valley, California as shown on the United States Geological Survey (USGS) 7.5 minute Fontana and Riverside West, California quadrangles.

Geologic mapping of that region done by Dibblee and Minch (2004) indicates the north and northwestern areas of the proposed project are located atop older surficial deposits of Pleistocene or early Holocene age (Qoa). These are potentially-fossiliferous and weakly indurated alluvial sediments, composed mostly of tan to light red sand with a minor gravel component. Qoa alluvial sediments were deposited between ~1.8 million to ~11,000 years ago. Such older alluvial deposits have been found to be highly fossiliferous in the local area, yielding the remains of mastodons, mammoths, *Smilodon*, camels, horses, bison, and ground sloths, as well as microfossils including rodents.

The rest of the project site is situated atop recent Holocene age alluvial deposits (Qa), comprised of unconsolidated mixed sand, clay, and gravel covered by soil. These deposits are unlikely to be fossiliferous themselves, but directly overlie the older Pleistocene alluvial deposits

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that are. Reynolds and Reynolds (1991) found that Pleistocene sediments in northwestern Riverside County generally lie about 5 – 15 feet below recent Holocene surface sediments. However, the depth of the recent sediments can be highly variable, and the recent alluvium at this site can generally be expected to thin as it nears the surface contact with the older alluvium.

For this review, I conducted a search of the Regional Paleontological Locality Inventory (RPLI) at the SBCM. The results of this search indicate that no paleontological resources have been discovered within the proposed project site. The nearest fossil locality, SBCM locality 5.1.22, is approximately 0.6 miles north. Permineralized *Mammuthus pacificus* bones were discovered at site 5.1.22, within a ditch filled with the same older alluvial sediments found on the proposed project site. The mastodon bones were unearthed from sand approximately 25 feet below the surface. The next closest fossil locality, SBCM 5.1.11, is approximately 5 miles west-northwest of the proposed project site. Permineralized bones of the saber-toothed cat *Smilodon* sp. were unearthed there, from 5 feet below the surface at an elevation of 1000 feet, during the excavation of a pipeline trench. SBCM 5.1.11 is covered with recent alluvial sediment at the surface, overlaying older alluvium (where the *Smilodon* was found) by only a few feet; similar to the conditions at much of the proposed project site.

This records search covers only the paleontological records of the San Bernardino County Museum. It is not intended to be a thorough paleontological survey of the proposed project area covering other institutional records, a literature survey, or any potential on-site survey.

Please do not hesitate to contact us with any further questions that you may have.

Sincerely,



Scott Kottkamp, Curator of Earth Science
Division of Earth Science
San Bernardino County Museum

Literature Cited

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Appendix B

Records Search Results: Western Science Center



March 9, 2022

San Diego Natural History Museum, Department of PaleoServices
Katie McComas
1788 El Prado
San Diego, CA 92101

Dear Ms. McComas,

This letter presents the results of a record search conducted for the District at Rubidoux Project in the city of Riverside, Riverside County, California. The project site is located south of California State Route 60, north of Mission Blvd, and southeast of Rubidoux Blvd on the *Riverside West* USGS 7.5 minute quadrangle.

The geologic units underlying this project are mapped as alluvial deposits dating from the Pleistocene to the Holocene epochs, with Cretaceous quartz diorite units within a 1 mile radius (Dibblee and Minch 2004). Pleistocene alluvial units are considered to be of high paleontological sensitivity. The Western Science Center does not have localities within the project area or within a 1-mile radius, but does have numerous fossil localities in similarly mapped units throughout California.

Any fossil specimen from the District at Rubidoux Project would be scientifically significant. Excavation activity associated with the development of the project area would impact the paleontologically sensitive Pleistocene alluvial units, and it is the recommendation of the Western Science Center that a paleontological resource mitigation program be put in place to monitor, salvage, and curate any recovered fossils associated with the study area.

If you have any questions, or would like further information, please feel free to contact me at bstoneburg@westerncentermuseum.org.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brittney Stoneburg', written in a cursive style.

Brittney Elizabeth Stoneburg
Collections Technician