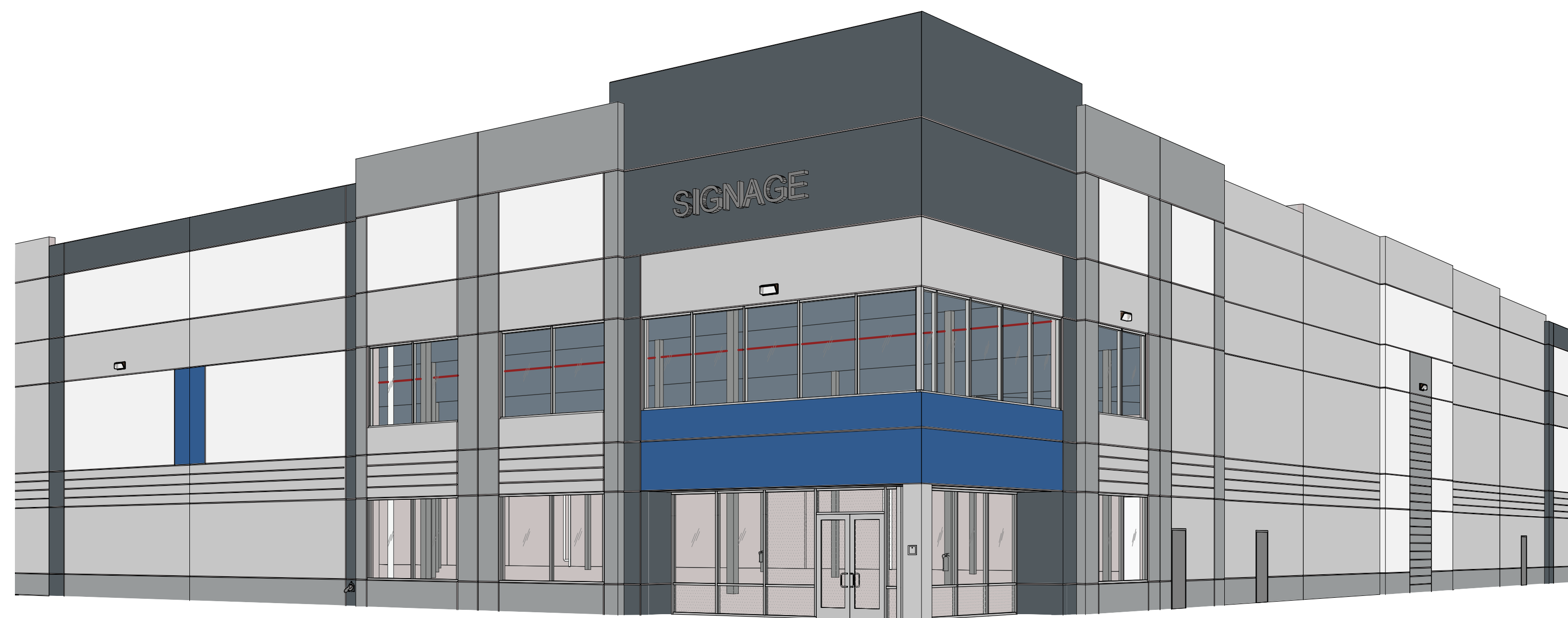


PROJECT DATA

BUILDING DEPARTMENT: CITY OF CHULA VISTA
APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS), 2019 STATE OF CALIFORNIA ENERGY CODE, 2019 STATE OF CALIFORNIA GREEN BUILDING CODE, 2019 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS, TITLE 15 OF THE CHULA VISTA MUNICIPAL CODE (CVMC)
ZONING CLASSIFICATION: ILP (LIMITED INDUSTRIAL PRECISE PLAN)
GENERAL PLAN DESIGNATION: LIMITED INDUSTRIAL
OCCUPANCY CLASSIFICATION: PER CBC CHAPTER S-1
OCCUPANCY SEPARATION: PER CBC TABLE 508.4 - NO SEPARATION REQUIREMENT
TYPE OF CONSTRUCTION: VB - PER CBC CHAPTER 6 (SECTION 602)
SPRINKLERED: YES
NUMBER OF STORIES: 1
ASSESSOR'S PARCEL NO.: 644-040-01
LEGAL DESCRIPTION: THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CHULA VISTA IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THAT PORTION OF LOT 1 IN SECTION 19, TOWNSHIP 18 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 19; THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION, 812 FEET; THENCE EASTERLY AT RIGHT ANGLES TO SAID WEST LINE, 515 FEET; THENCE SOUTHERLY PARALLEL WITH SAID WEST LINE 508 FEET; THENCE EASTERLY AT RIGHT ANGLES 13 FEET; THENCE NORTHERLY PARALLEL WITH THE WEST LINE OF SAID SECTION, 1320 FEET TO THE NORTH LINE OF SAID SECTION; THENCE WEST ALONG SAID NORTH LINE, 528 FEET TO THE POINT OF BEGINNING.
PROJECT SCOPE: NEW 1-STORY WAREHOUSE BUILDING WITH TWO MEZZANINES TOTALING 178,156 SF
TENANT OCCUPANCY: WAREHOUSE (S-1) 173,432 SF
LOT: 423,779 S.F. 9.72 (ACRES)
BUILDING AREA (FOOTPRINT): 173,432 S.F.
BUILDING COVERAGE: 41 %
FAR: 0.41
LANDSCAPE AREA REQUIRED (15%): 63,567 S.F.
LANDSCAPE PROVIDED: 63,978 S.F.
LANDSCAPE COVERAGE: 15.1 %
TOTAL PARKING LOT AREA: 44,461 S.F.
PARKING AREA LANDSCAPE REQUIRED (10%): 4,446 S.F.
PARKING LANDSCAPE PROVIDED: 7,286 S.F.
WAREHOUSE 168,926 S.F. /1000: 169 REQUIRED
OFFICE 4,506 S.F./300: 15 REQUIRED
MEZZANINE 4,724 S.F./300: 16 REQUIRED
TOTAL REQUIRED: 200 REQUIRED
TOTAL PROVIDED: 200 REQUIRED
STANDARD PARKING PROVIDED: 192 STALLS
ACCESSIBLE PARKING REQUIRED: 6 STALLS
ACCESSIBLE PARKING PROVIDED: 6 STALLS
VAN ACCESSIBLE PARKING PROVIDED: 1 STALLS
CLEAN AIR VEHICLE REQUIRED: 21 STALLS
EV CHARGING REQUIRED: 18 STALLS
BICYCLE PARKING REQUIRED: 10 STALLS
BICYCLE LOCKERS REQUIRED: 10 STALLS

SHINOHARA BUSINESS CENTER

517 SHINOHARA LANE
CHULA VISTA, CALIFORNIA 91911



SHEET INDEX

ARCHITECTURAL

- AD0.1 TITLE SHEET
AD1.0 SITE PLAN
AD1.1 WALL AND FENCE PLAN
AD2.0 OVERALL FLOOR PLAN
AD2.1 PARTIAL FLOOR PLAN
AD2.2 PARTIAL FLOOR PLAN
AD3.0 OVERALL ROOF PLAN
AD3.1 PARTIAL ROOF PLAN
AD3.2 PARTIAL ROOF PLAN
AD4.1 EXTERIOR ELEVATIONS
AD4.2 EXTERIOR ELEVATIONS
AD4.3 EXTERIOR ELEVATIONS
AD5.0 BUILDING SECTIONS
AD5.1 BUILDING SECTIONS
AD6.0 ELEVATOR & TRASH ENCLOSURE PLANS
AD7.0 PERSPECTIVES
ARCHITECTURAL SHEET COUNT: 16

ELECTRICAL

- E001 NOTE SHEET
E002 LIGHTING DETAIL SHEET
E010 SITE UTILITY PLAN
E011 SITE LIGHTING PLAN
E012 PHOTOMETRICS
E101 LIGHTING PLAN
E201 POWER PLAN
E301 SINGLE LINE DIAGRAM
E401 DETAIL SHEET 1
E402 DETAIL SHEET 2
ELECTRICAL SHEET COUNT: 10

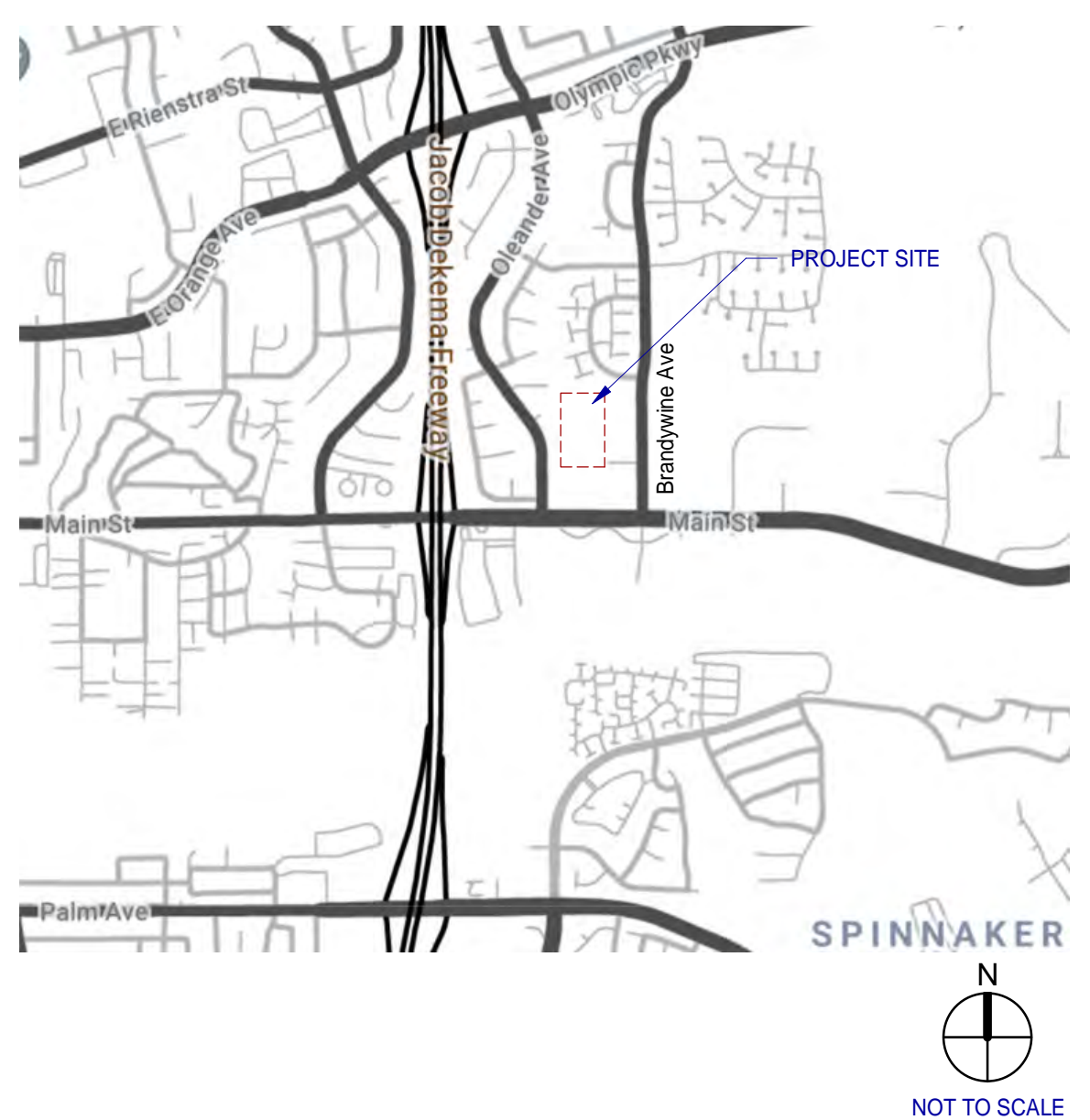
LANDSCAPE

- L0.0 LANDSCAPE COVER SHEET
L1.0 HARDSCAPE SCHEDULES AND NOTES
L1.1 HARDSCAPE PLAN
L1.2 HARDSCAPE PLAN
L2.1 HARDSCAPE DETAILS
L3.0 PLANTING SCHEDULES AND NOTES
L3.1 PLANTING PLAN
L3.2 PLANTING PLAN
L3.11 PLANTING ELEVATIONS - VERDURA WALLS
L3.12 PLANTING ELEVATIONS - VERDURA WALLS
L3.13 PLANTING ELEVATIONS - VERDURA WALLS
L4.1 PLANTING DETAILS
LANDSCAPE SHEET COUNT: 12

PROJECT DESCRIPTION

THIS PROJECT IS A NEW GROUND UP COMMERCIAL BUILDING (173,432 S.F.) ON CONCRETE SLAB WITH SHELL AND FUTURE FIRST FLOOR OFFICE AREA (4,506 S.F.) WITH MEZZANINE (4,724 S.F.) BUILD OUT, WAREHOUSE WITH LOADING DOCKS AND ROLL UP DOORS AND RAMPS, TRASH ENCLOSURE, LANDSCAPE AND ASSOCIATED SITE WORK, MECHANICAL, PLUMBING AND ELECTRICAL. INCLUDED IS A STAND-ALONE ELEVATOR TOWER PROVIDING ACCESS FROM STREET LEVEL TO BUILDING PAD ELEVATION.

VICINITY MAP



OWNER

VWP-OP SHINOHARA OWNER, LLC
2390 E. CAMELBACK RD. STE. 305
PHOENIX, AZ 85016
858-378-4036
Andrew Gracey
858-378-4036
andrew.onpointdev.com

GENERAL CONTRACTOR

ARCHITECT

WARE MALCOMB
3911 SORRENTO VALLEY BLVD, SUITE #120, SAN DIEGO, CA 92121
P 858.638.7277
F 858.638.7506
MARIA CABRERA
PH (858) 638-7277 EXT. 1314
mcabrera@waremalcomb.com
JAIME DIAZ CASTRO
PH: (858) 638-7277 EXT. 1367
EMAIL: jfdiazcastro@waremalcomb.com

OWNER'S CONSULTANTS

CIVIL ENGINEER
PASCO LARET SUITER & ASSOCIATES
535 N. HIGHWAY 101, SUITE A
SOLANA BEACH, CA 92075
GREGORY W. LANG
PH: (858) 259-8212 x 103
glang@plsengineering.com

GEOTECHNICAL ENGINEER
GEOCON, INCORPORATED
6960 FLANDERS DRIVE
SAN DIEGO, CA 92127
ROD MIKESELL
PH: (858) 558-6900 x 220
mikesell@geoconinc.com

LANDSCAPE ARCHITECT
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8841 RESEARCH DRIVE, SUITE 200
IRVINE, CA 92618
SOO WAI-KIN
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soo@ridgela.com

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WISEMAN + ROHY STRUCTURAL ENGINEERS
9915 MIRA MESA BLVD., SUITE 200
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JIM WISEMAN
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jwiseman@wrengineers.com

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MARINO DESIGN CONSULTING, INC.
2615 CAMINO DEL RIO SOUTH, SUITE 402
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gerald@mdcmecanical.com

PLUMBING ENGINEER
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SAN DIEGO, CA 92108
GERALD MARINO
PH: (619) 550-2615 x 402
gerald@mdcmecanical.com

ELECTRICAL ENGINEER
MPE CONSULTING
10807 THORN MINT RD
SAN DIEGO, CA 92127
DAN MAYORGAS
PH: (858) 673-4445
dan@mpeconsulting.com

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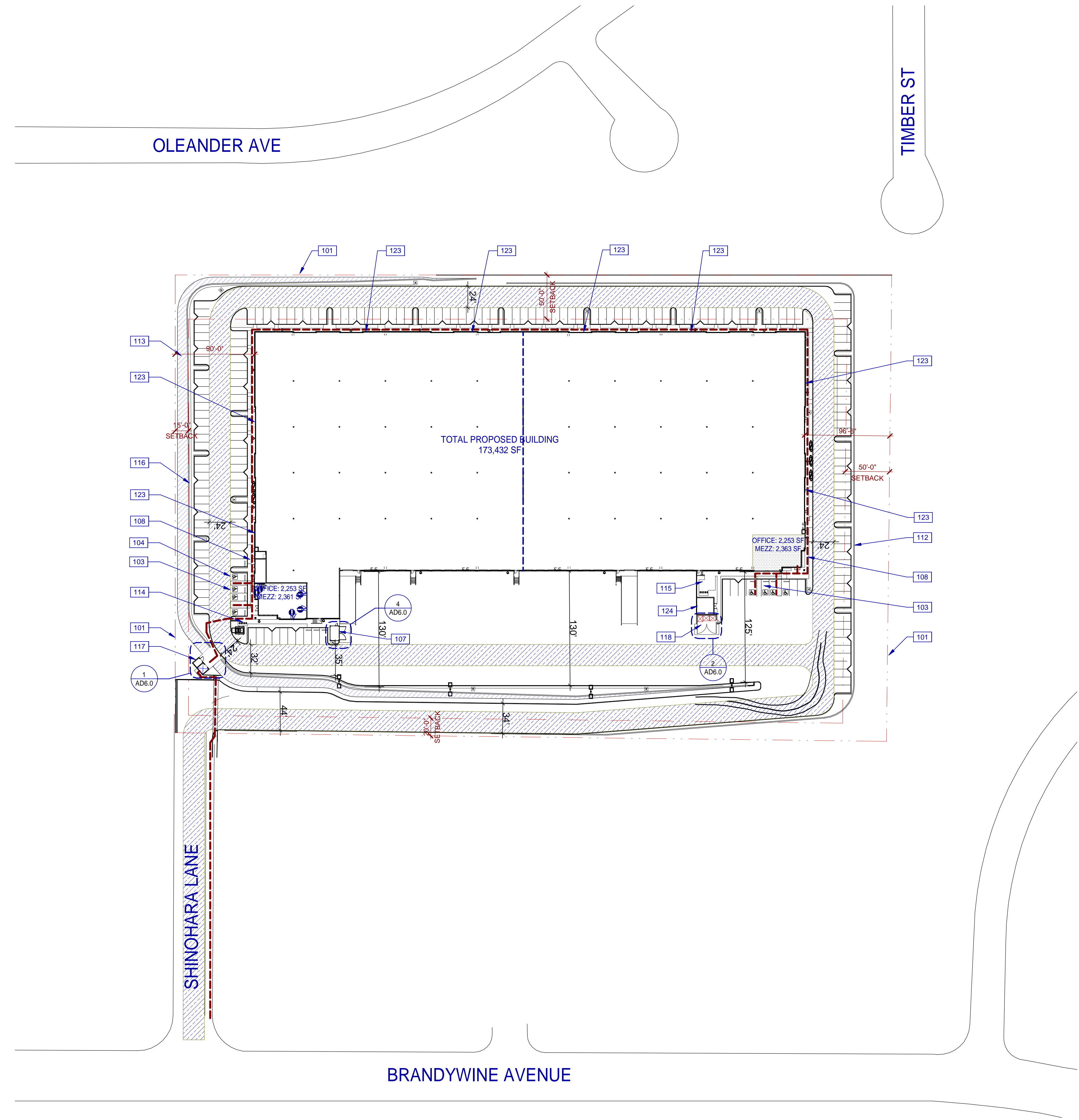
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CHULA VISTA, CALIFORNIA 91911

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Table with 2 columns: PA/PM, M.F.C.; DRAWN BY, JDC; JOB NO., SDG21-0056-00.

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**KEYNOTES:**

- 101 PROPERTY LINE, SEE CIVIL DRAWINGS.
- 103 ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 104 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 107 TRASH ENCLOSURE WITH RECYCLE BIN.
- 108 ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS.
- 112 VERTICAL CONCRETE RETAINING WALL ALONG NORTH, WEST, AND EAST SIDES OF PROPERTY.
- 113 SLOPED RETAINING WALL ALONG SOUTH, WEST AND EAST SIDES OF PROPERTY.
- 114 BIKE RACK.
- 115 AMENITY AREA - REFER TO LANDSCAPE PLANS.
- 116 SETBACK LINE.
- 117 ELEVATOR TOWER.
- 118 TRASH ENCLOSURE WITH RECYCLE BIN AND FOOD WASTE/ORGANICS RECYCLING.
- 123 HOSE BIBB.
- 124 FIRE PUMP ROOM.

**LEGEND**

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE.
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- LANDSCAPE AND IRRIGATION AREA.
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FUTURE DOCK HIGH TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER

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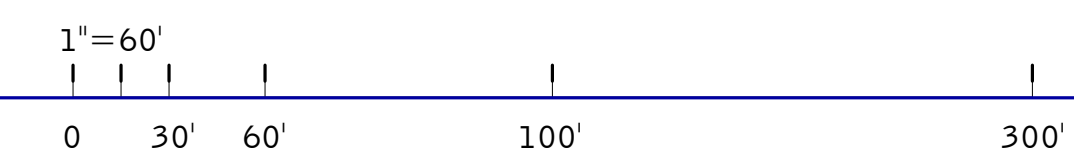
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SITE PLAN	
DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL
02/25/2022	DESIGN REVIEW RESUBMITTAL
1	

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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**AD1.0**



**SITE PLAN**  
SCALE: 1" = 60'-0"

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**WALL AND FENCE PLAN**

DATE	REMARKS
05/11/2022	DESIGN REVIEW RESUBMITTAL
2	

PA/PM: Approver  
 DRAWN BY: Author  
 JOB NO.: SDG21-0056-00

DATE: 05/11/2022  
 SHEET: 2

SCALE: 1" = 40'-0"

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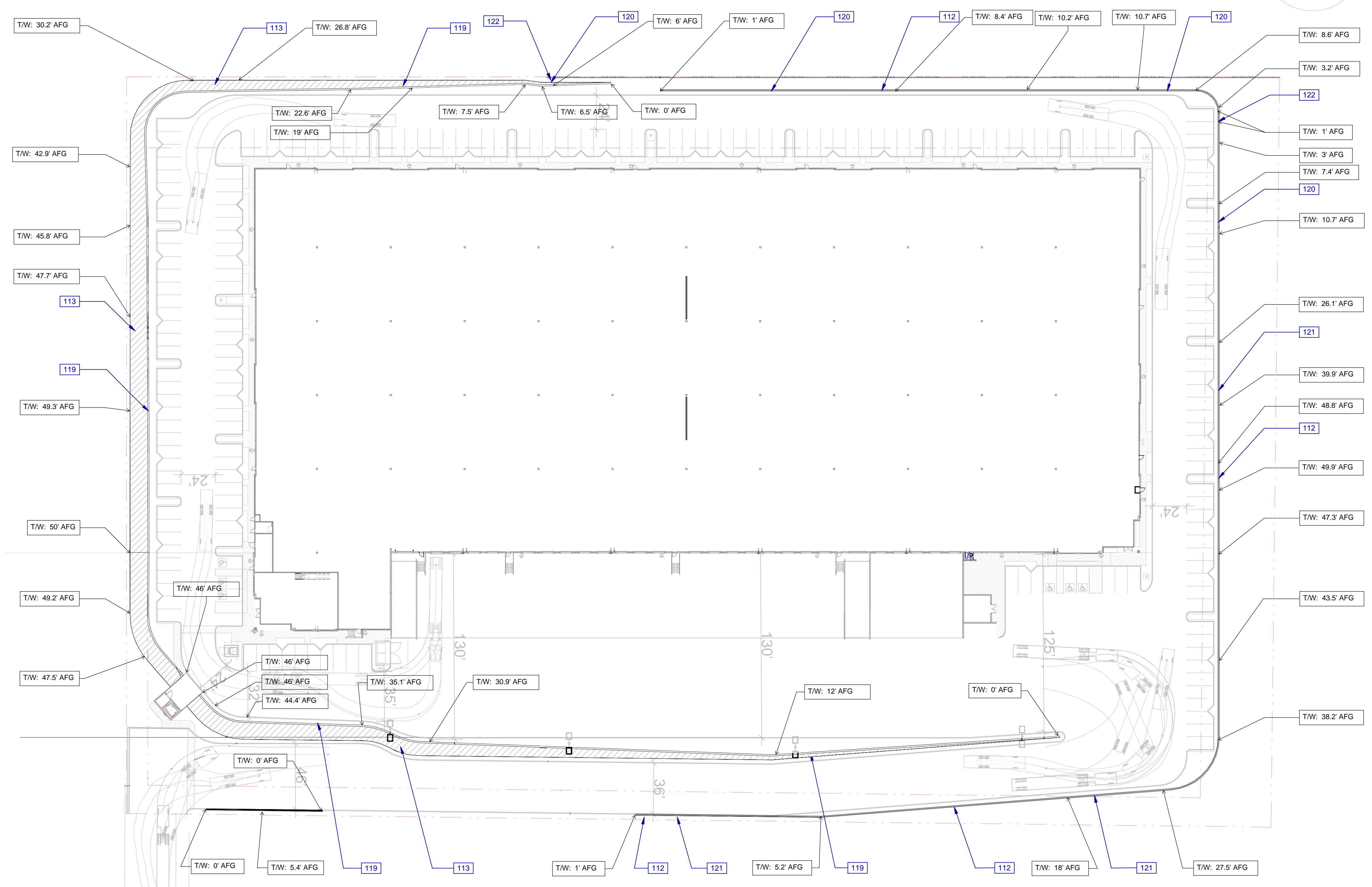
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**KEYNOTES:**

- 112 VERTICAL CONCRETE RETAINING WALL ALONG NORTH, WEST, AND EAST SIDES OF PROPERTY.
- 113 SLOPED RETAINING WALL ALONG SOUTH, WEST AND EAST SIDES OF PROPERTY.
- 119 CRASH BARRIER CABLE RAIL MOUNTED ON TOP OF ENTIRE RETAINING WALL.
- 120 6'-0" SOLID MASONRY WALL MOUNTED ON VERTICAL RETAINING WALL. CALTRANS HIGHWAY CABLE RAIL FENCE (42" HIGH) MOUNTED ON TOP OF VERTICAL RETAINING WALL.
- 122 4'-0" WIDE ACCESS GATE WITHIN WALL.

**LEGEND**

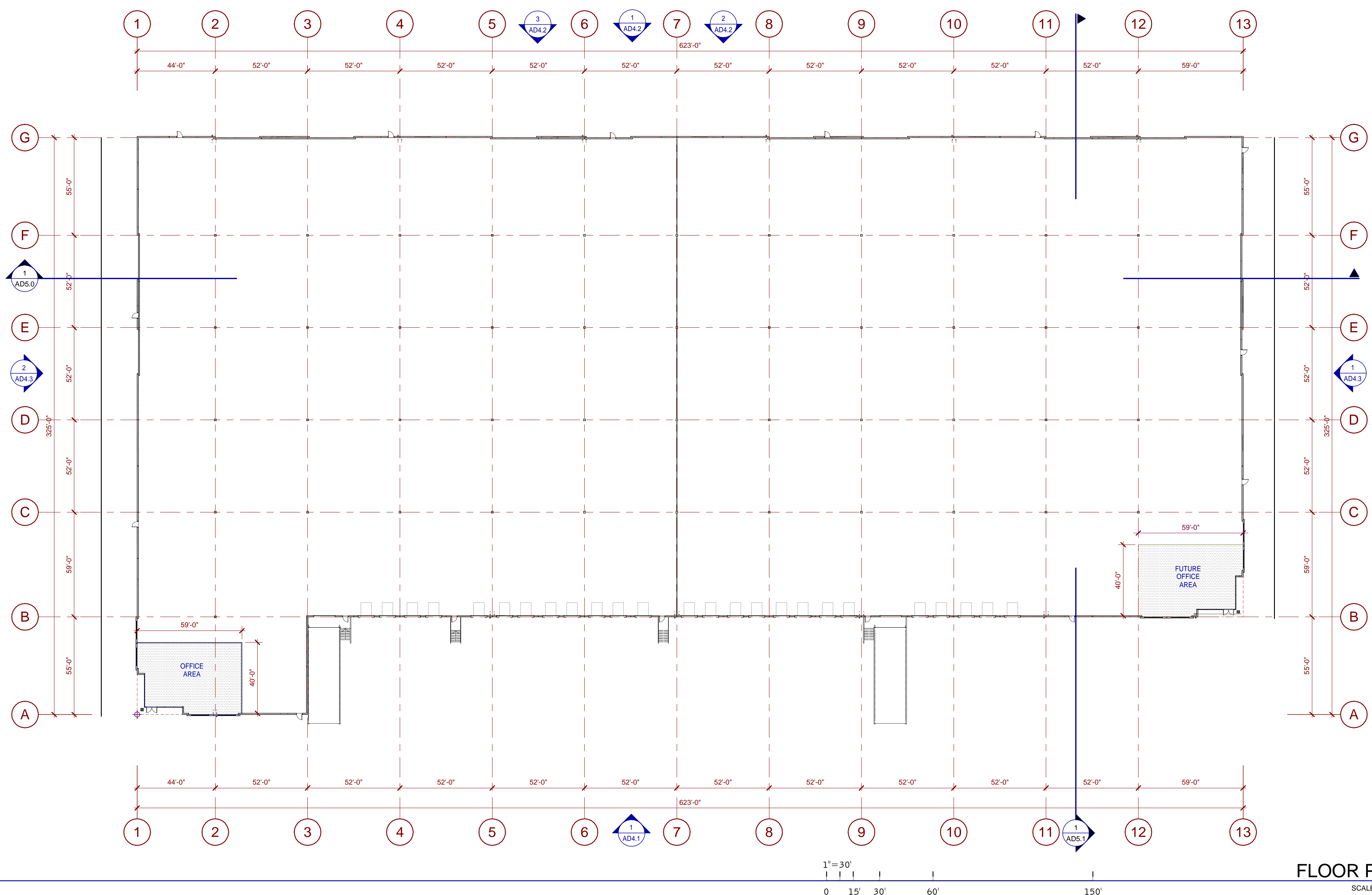
- ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- ☐ POLE MOUNTED LIGHT FIXTURE.
- ☐ WALLPACK LIGHT FIXTURE.
- ☐ TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ☐ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE (HATCHED)
- ① PARKING STALL COUNT TOTAL
- ☐ DOCK HIGH TRUCK DOOR
- ☐ GRADE LEVEL TRUCK DOOR
- ☐ FUTURE DOCK HIGH TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER



**WALL AND FENCE PLAN** 1  
SCALE: 1" = 40'-0"

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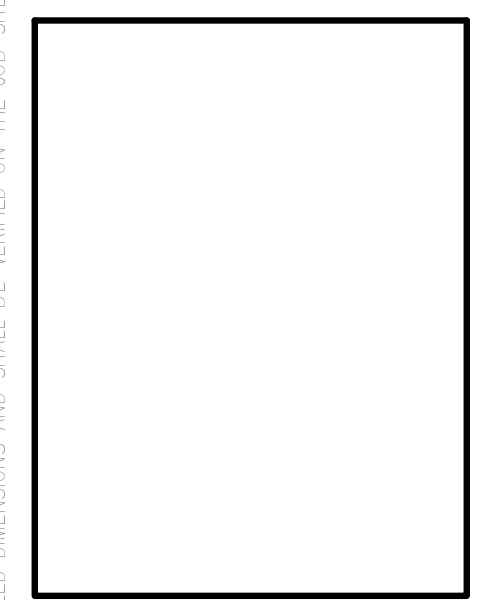
**FLOOR PLAN**  
SCALE: 1" = 30'-0"  
1

**LEGEND**

**WALL LEGEND**

**KEYNOTES:**   
SEE SHEET A0.2 FOR GENERAL NOTES

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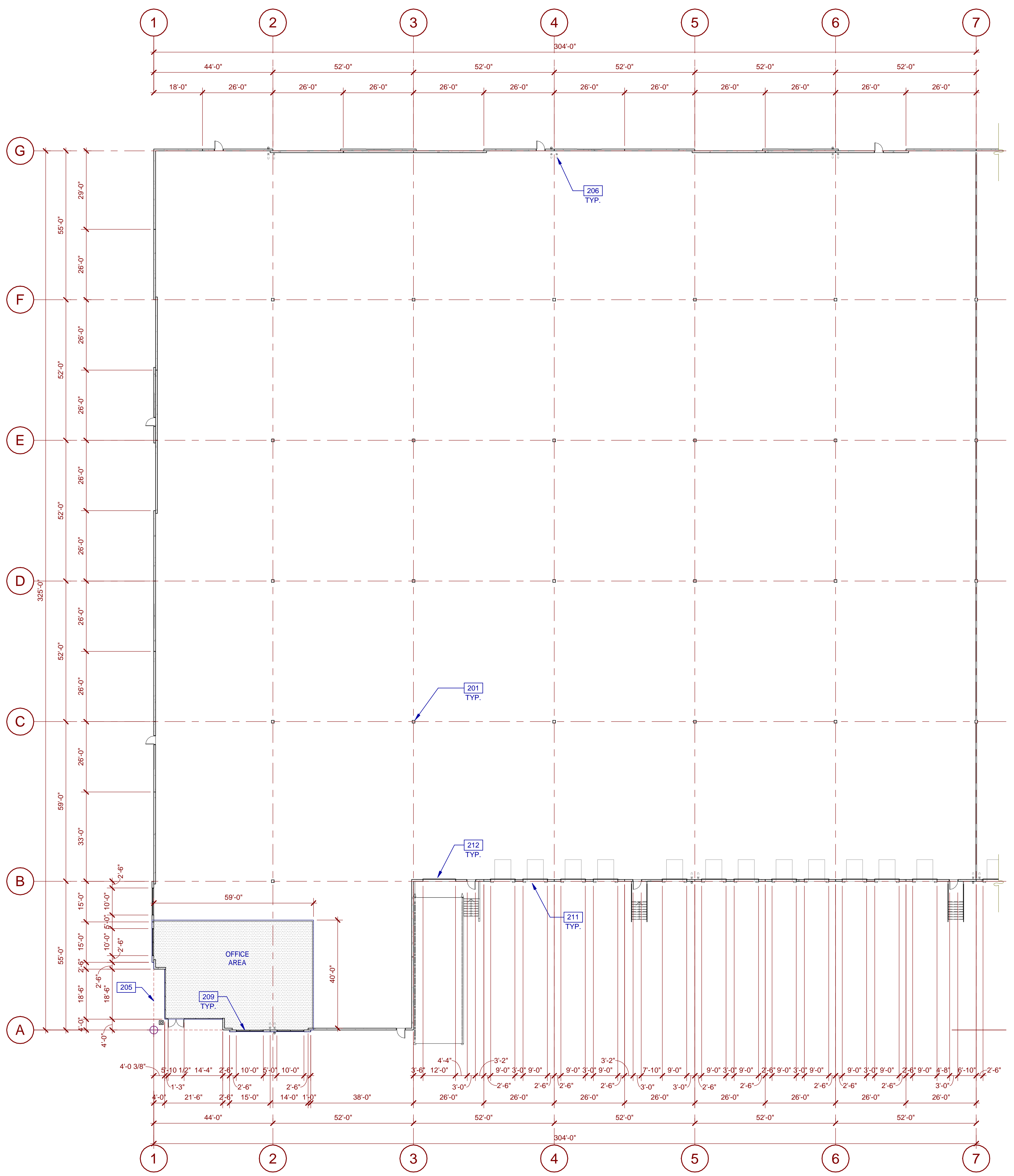
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**OVERALL FLOOR PLAN**

DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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**KEYNOTES:**

- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL COLUMN, TYP.
  - 205 LINE OF BUILDING OVERHANG ABOVE.
  - 206 ROOF DRAIN PIPE.
  - 209 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
  - 211 9' x 10' SECTIONAL DOOR, PAINTED.
  - 212 14' x 12' SECTIONAL DOOR.

**WALL LEGEND**

- CONCRETE WALL
- INTERIOR NON-RATED PARTITION

**LEGEND**

- PROPOSED FUTURE OFFICE AREA

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**PARTIAL FLOOR PLAN**

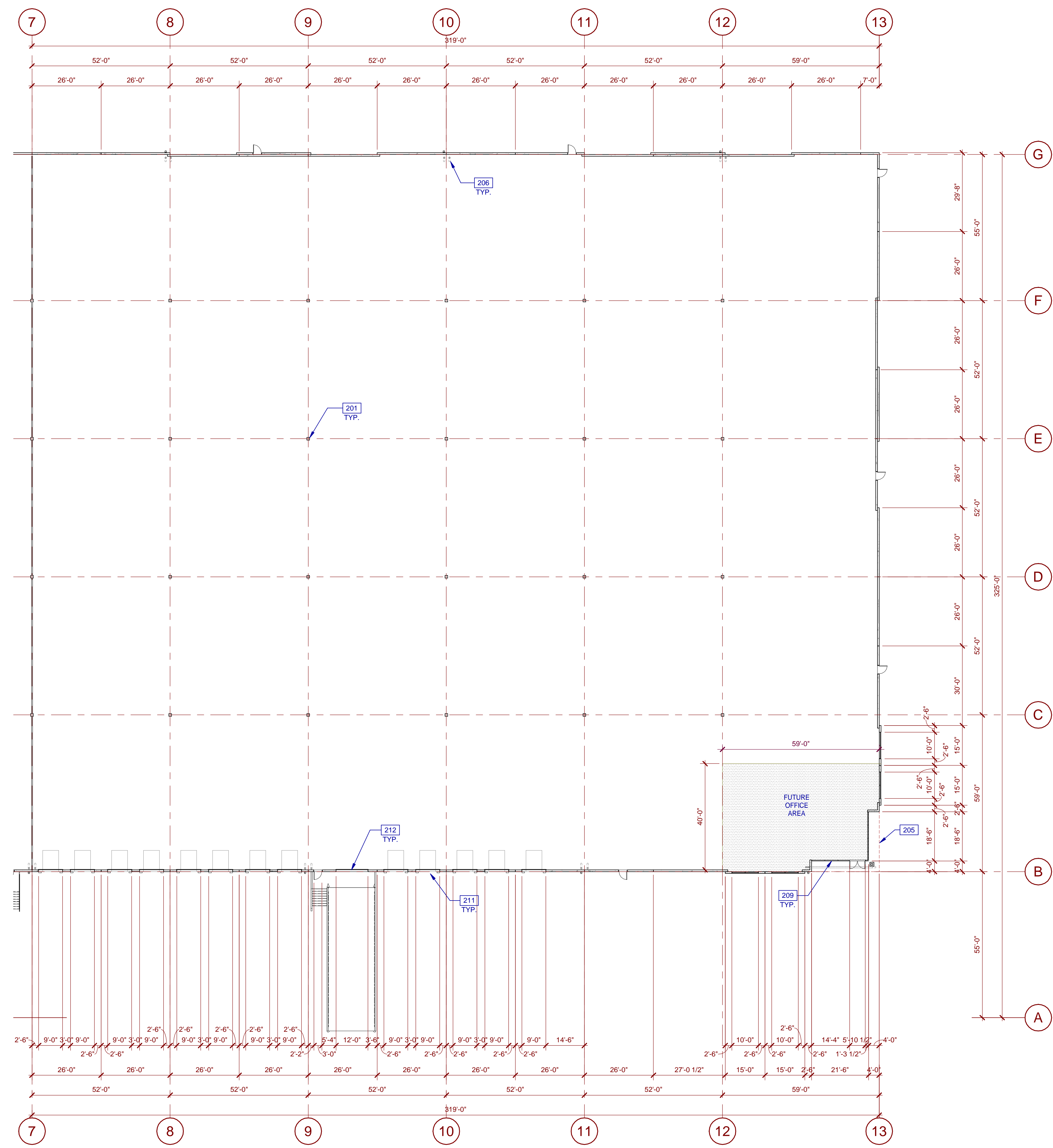
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11/22/2021	DESIGN REVIEW SUBMITTAL

PA/PM:	Approver
DRAWN BY:.	Author
JOB NO.:	SDG21-0056-00

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**KEYNOTES:**

- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL COLUMN, TYP.
- 205 LINE OF BUILDING OVERHANG ABOVE.
- 206 ROOF DRAIN PIPE.
- 209 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
- 211 9' x 10' SECTIONAL DOOR, PAINTED.
- 212 14' x 12' SECTIONAL DOOR.

**WALL LEGEND**

- CONCRETE WALL
- INTERIOR NON-RATED PARTITION

**LEGEND**

- PROPOSED FUTURE OFFICE AREA

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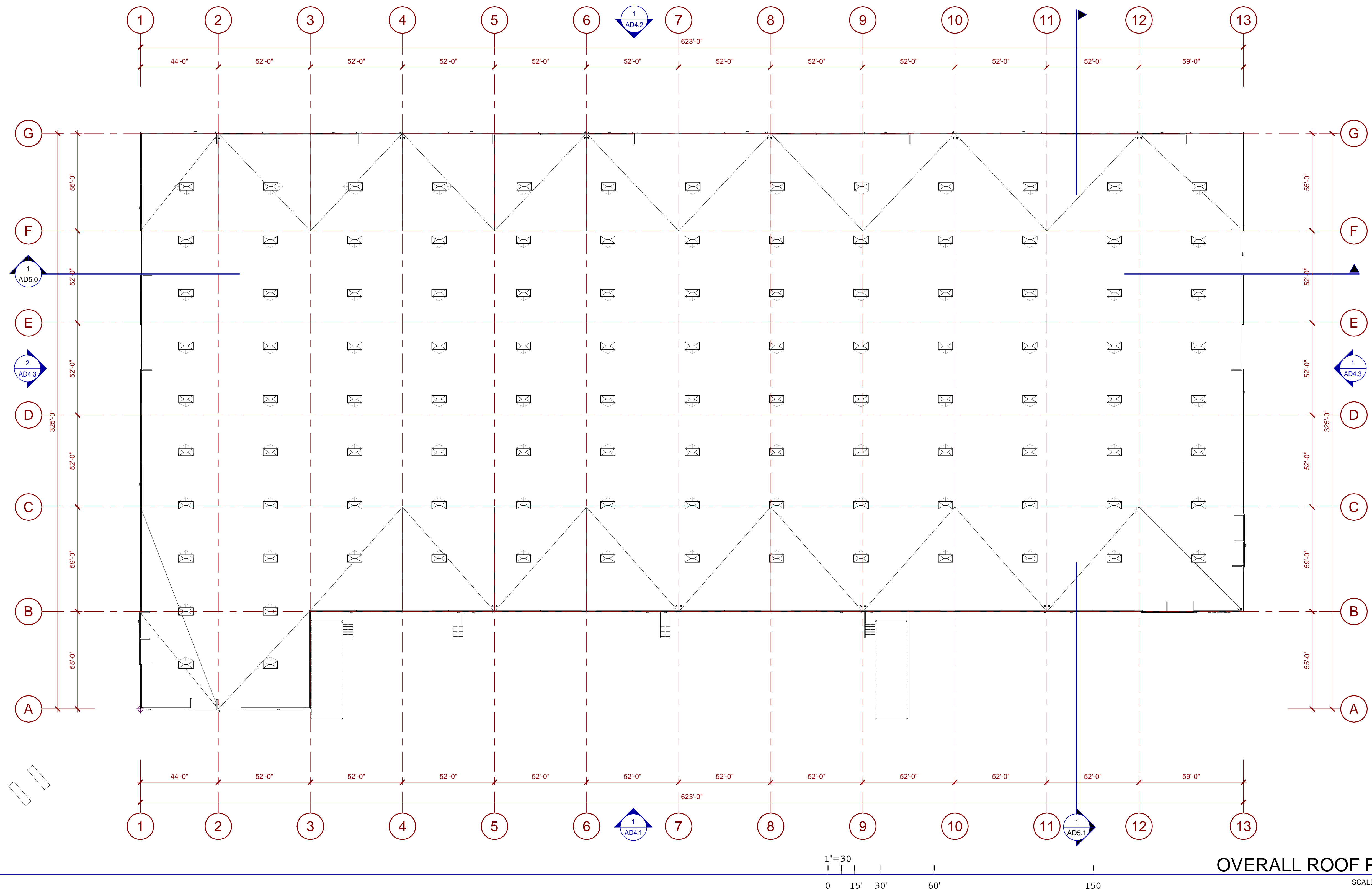
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PARTIAL FLOOR PLAN	
DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL

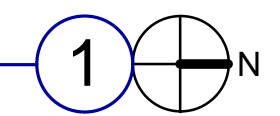
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DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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OVERALL ROOF PLAN



**NOTES:**

- ALL ROOF APPURTENANCES WILL NOT BE VISIBLE FROM THE ADJACENT RESIDENTIAL PROPERTIES OR OLEANDER AVENUE.

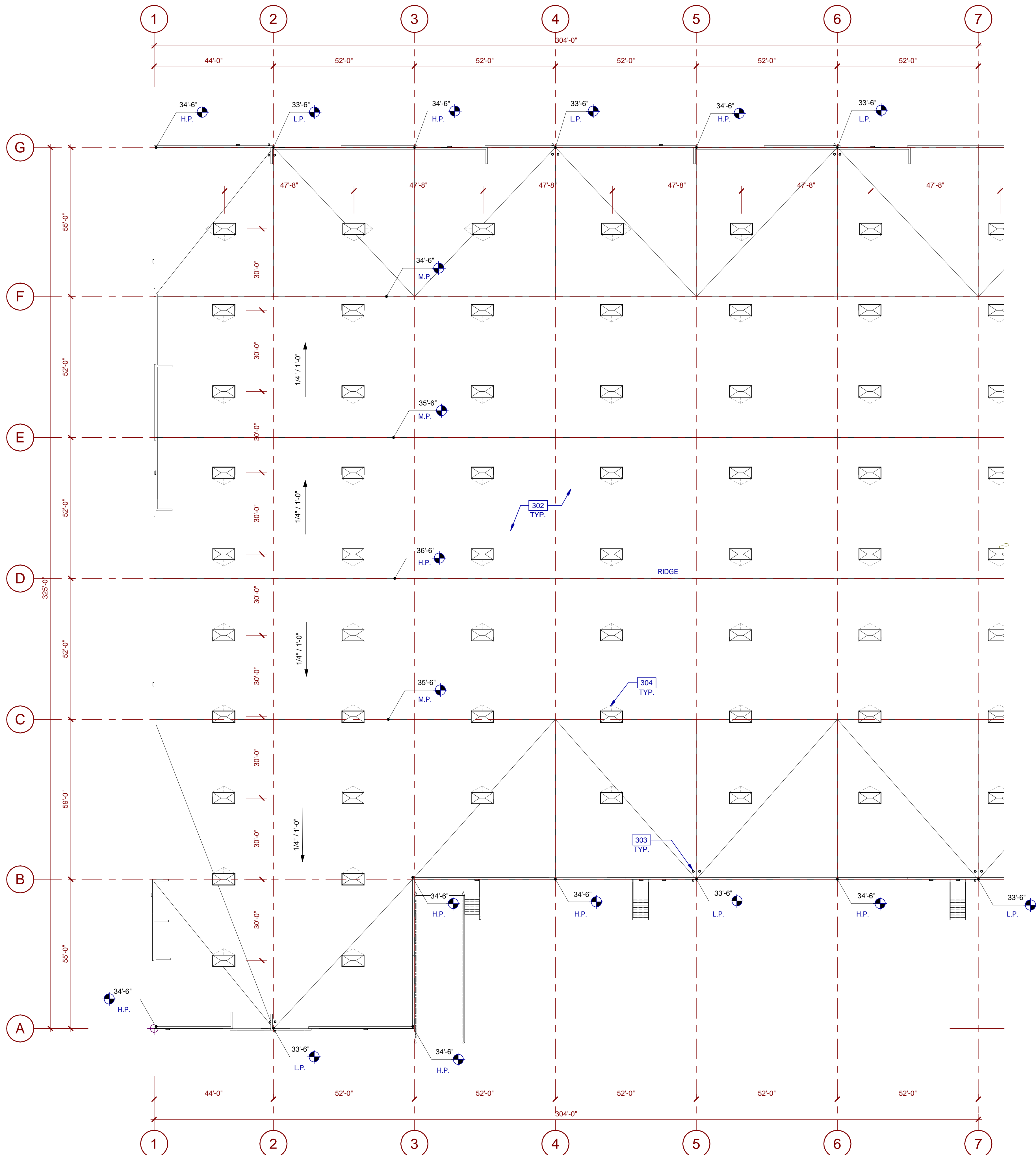
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 San Diego, CA 92121  
 P 858.637.7277

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 517 SHINOHARA LANE  
 CHULA VISTA, CA 91911

OVERALL ROOF PLAN	
DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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**KEYNOTES:**

- SEE SHEET A0.2 FOR GENERAL NOTES  
 302 BUILT-UP ROOFING.  
 303 ROOF DRAIN AND OVERFLOW DRAIN LOCATION.  
 304 CRICKET.

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET  
 H.P. = TOP OF ROOFING - HIGH POINT  
 M.P. = TOP OF ROOFING - MID POINT  
 L.P. = TOP OF ROOFING - LOW POINT

**CALCULATIONS**

**SKYLIGHTS:**  
 SKYLIGHT SIZE: 48"x96"=32 S.F.  

$$\frac{(\text{WAREHOUSE AREA S.F.}) \times 2.0\%}{(\text{SKYLIGHT SIZE})} = \frac{170,918 \times .02}{32}$$
  
 DESIRED: 107 SKYLIGHTS  
 PROVIDED: 108 SKYLIGHTS

**FUTURE SOLAR:**

ROOF AREA:	173,461	S.F.
SKYLIGHT AREA:	3,456	S.F.
ROOF AREA LESS SKYLIGHT:	170,005	S.F.
15% OF ROOF AREA (LESS SKYLIGHTS):	25,501	S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED:	25,501	S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED:	XXX,XXX	S.F.

\* CEC SECTION 110.10(B)(4) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

**LEGEND**

- SKYLIGHT: (2%)  
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

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**SHINOHARA BUSINESS CENTER**  
 517 SHINOHARA LANE  
 CHULA VISTA, CA 91911

**PARTIAL ROOF PLAN**

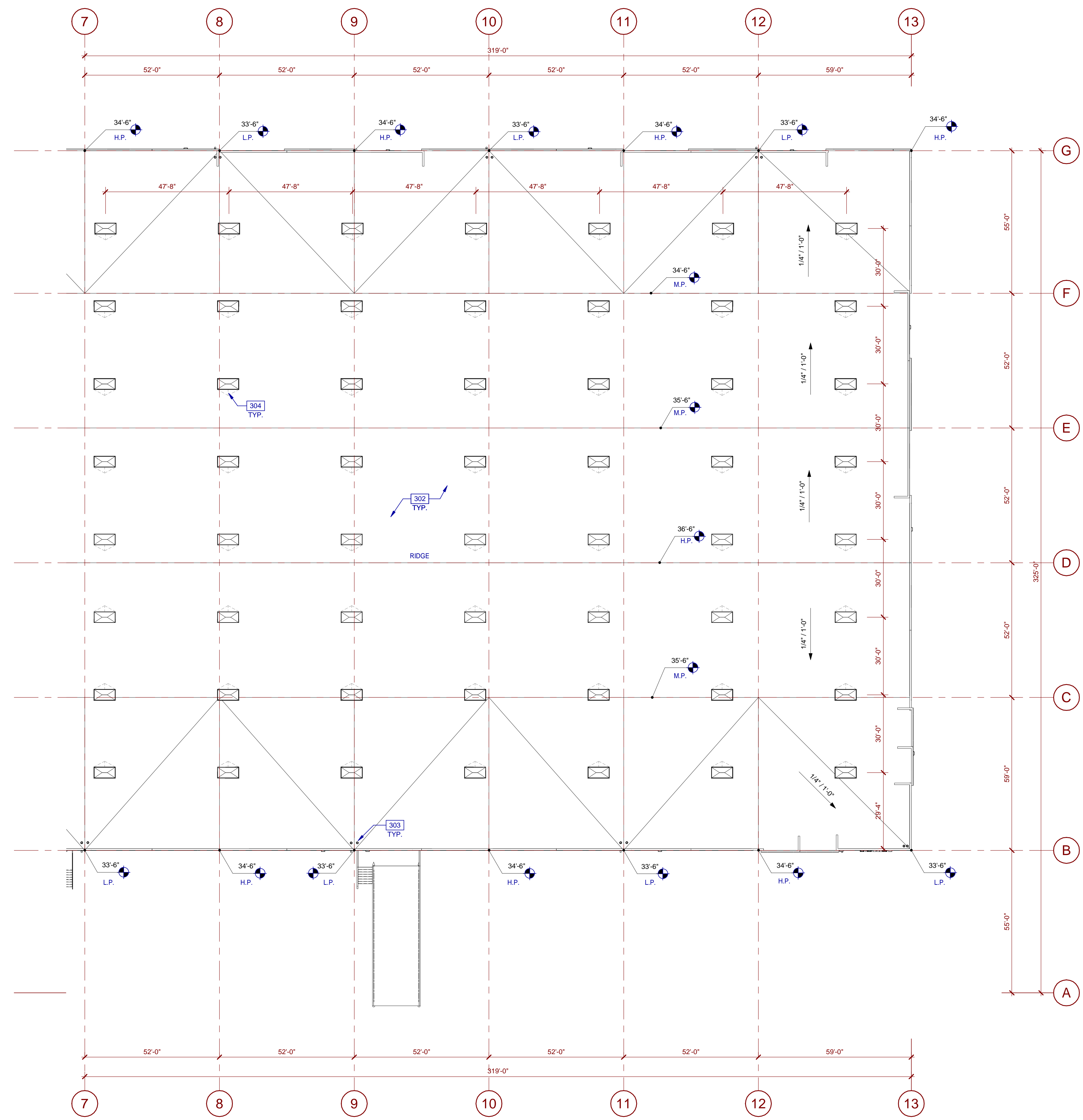
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11/22/2021	DESIGN REVIEW SUBMITTAL

PA/PM:	Approver
DRAWN BY:	Author
JOB NO.:	SDG21-0056-00

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**PARTIAL ROOF PLAN - SOUTH**  
 SCALE: 1" = 20'-0"





**KEYNOTES:**

- SEE SHEET A0.2 FOR GENERAL NOTES
- 302 BUILT-UP ROOFING.
- 303 ROOF DRAIN AND OVERFLOW DRAIN LOCATION.
- 304 CRICKET.

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

**CALCULATIONS**

SKYLIGHTS:  
 SKYLIGHT SIZE: 48"x96"=32 S.F.  
 $(\text{WAREHOUSE AREA S.F.}) \times 2.0\% = \frac{170,918 \times .02}{32}$   
 DESIRED: 107 SKYLIGHTS  
 PROVIDED: 108 SKYLIGHTS

**FUTURE SOLAR:**

ROOF AREA:	173,461	S.F.
SKYLIGHT AREA:	3,456	S.F.
ROOF AREA LESS SKYLIGHT:	170,005	S.F.
15% OF ROOF AREA (LESS SKYLIGHTS):	25,501	S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED:	25,501	S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED:	XXX,XXX	S.F.

\*CEC SECTION 110.10(B)4 DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

**LEGEND**

SKYLIGHT: (2%)  
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

**WARE MALCOMB**  
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**PARTIAL ROOF PLAN**

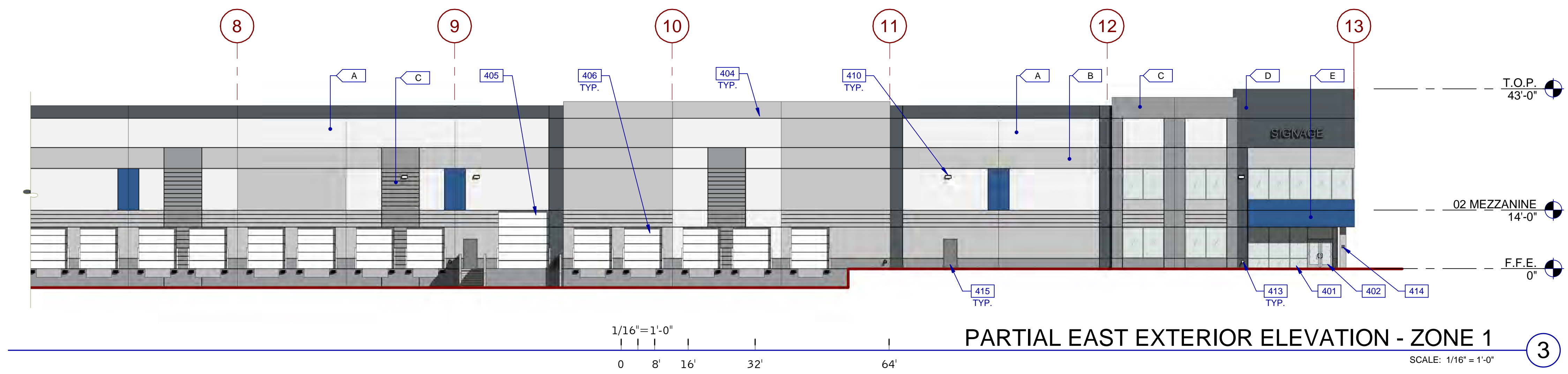
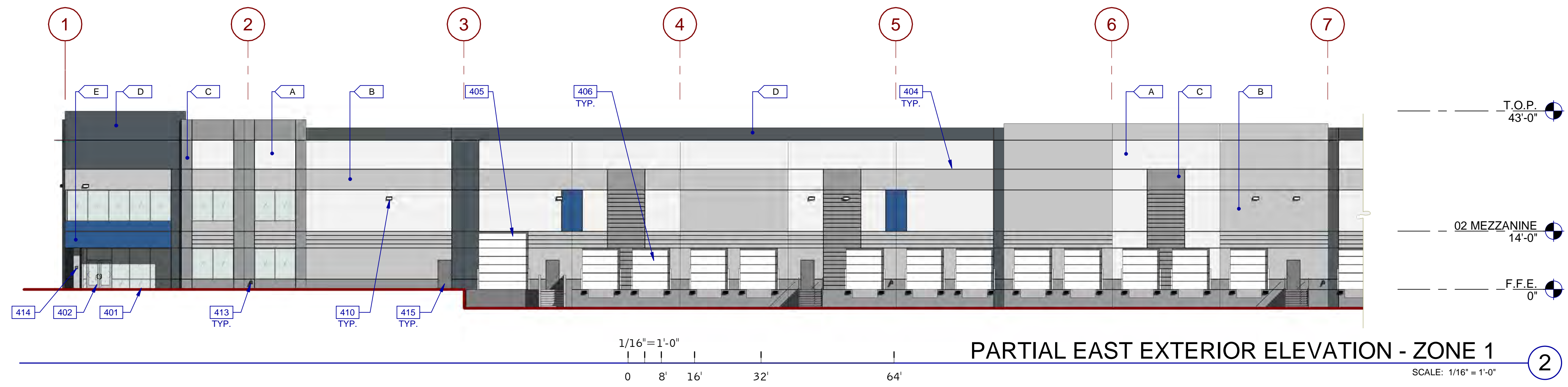
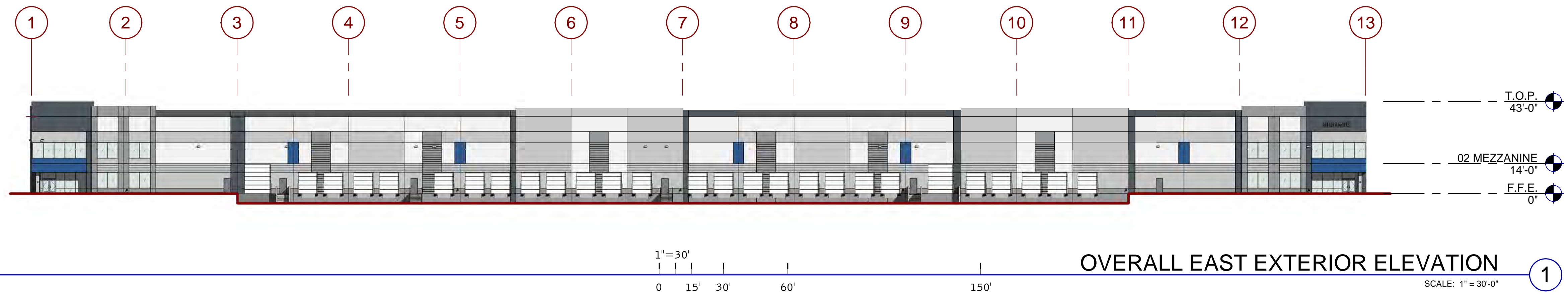
DATE	11/22/2021
REMARKS	DESIGN REVIEW SUBMITTAL

PA/PM: Approver  
 DRAWN BY: Author  
 JOB NO.: SDG21-0056-00

SHEET  
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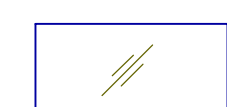
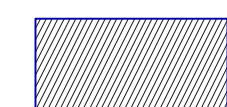
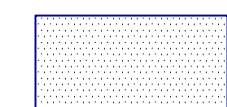
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**LEGEND**

**GLASS:**






-  VISION GLASS
-  SPANDREL GLASS
-  TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 XXXXXXX  
 U FACTOR = 0.28 AND SHGC = 0.28  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

**LEGEND**

**COLORS:**

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

-  BASE COLOR: WHITE
-  SECONDARY COLOR: LIGHT GRAY
-  ACCENT COLOR: DARK GRAY
-  ACCENT COLOR: CHARCOAL
-  ACCENT COLOR: BURGUNDY

**KEYNOTES:**

SEE SHEET A0.2 FOR GENERAL NOTES

- 401 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
- 402 ALUMINUM STOREFRONT DOOR.
- 404 V-SHAPED REVEAL.
- 405 14' X 12' SECTIONAL DOOR, PAINTED.
- 406 9' X 10' SECTIONAL DOOR, PAINTED.
- 410 WALL PACK LIGHT. SEE ELECTRICAL DRAWINGS FOR SPECIFICATION.
- 413 SECONDARY OVERFLOW WITH COW'S TONGUE.
- 414 KNOX BOX.
- 415 3'-0" X 7'-0" EGRESS DOOR.

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**SHINOHARA BUSINESS CENTER**  
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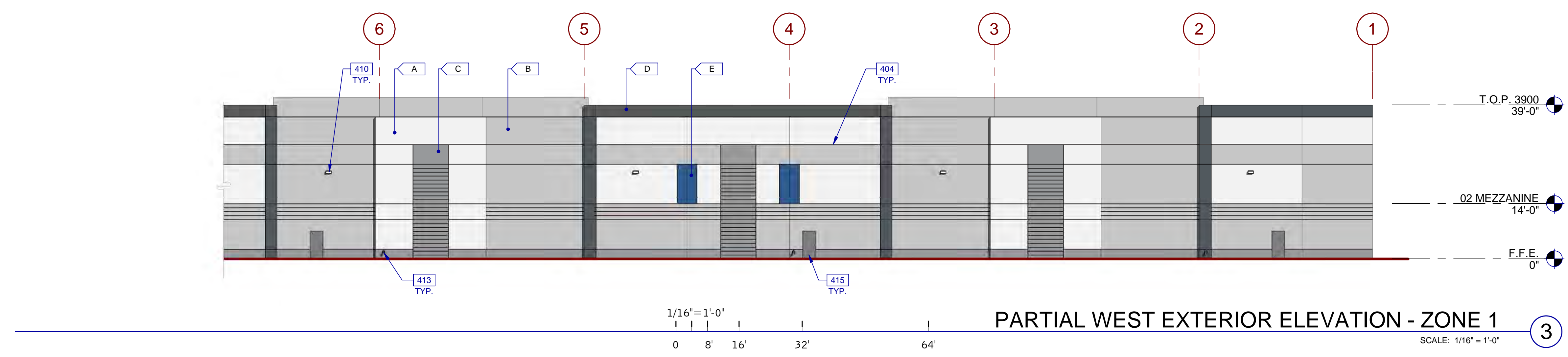
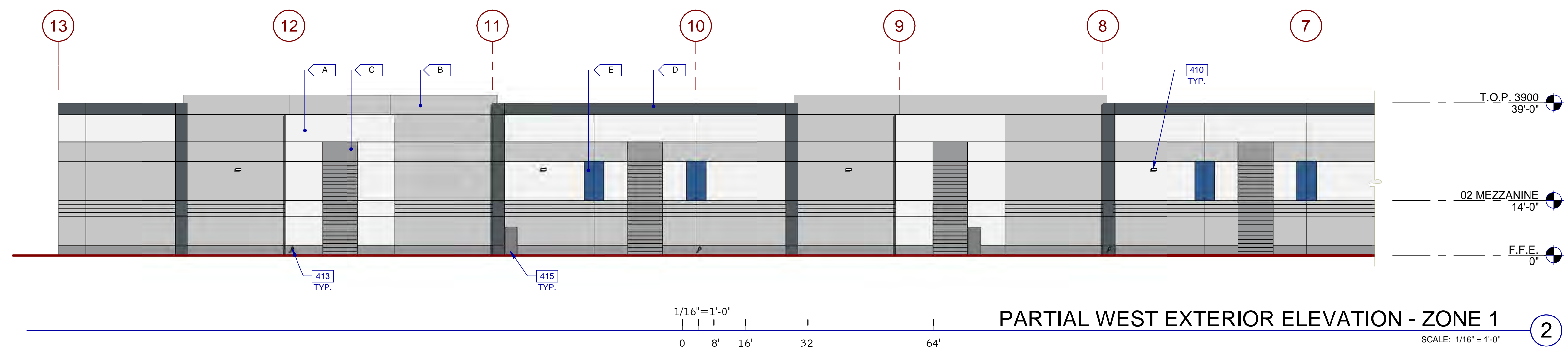
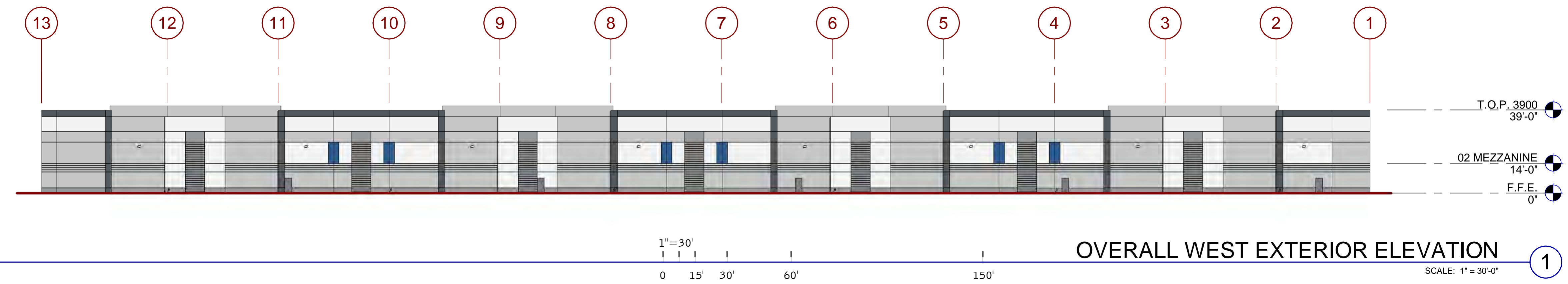
**EXTERIOR ELEVATIONS**

DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL
02/25/2022	DESIGN REVIEW RESUBMITTAL
1	

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

SHEET  
**AD4.1**





**LEGEND**

**GLASS:**

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 XXXXXXX  
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**LEGEND**

**COLORS:**

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	SECONDARY COLOR: LIGHT GRAY
	ACCENT COLOR: DARK GRAY
	ACCENT COLOR: CHARCOAL
	ACCENT COLOR: BURGUNDY

**KEYNOTES:**

SEE SHEET A0.2 FOR GENERAL NOTES

404	V-SHAPED REVEAL.
410	WALL PACK LIGHT. SEE ELECTRICAL DRAWINGS FOR SPECIFICATION.
413	SECONDARY OVERFLOW WITH COW'S TONGUE.
415	3'-0" X 7'-0" EGRESS DOOR.

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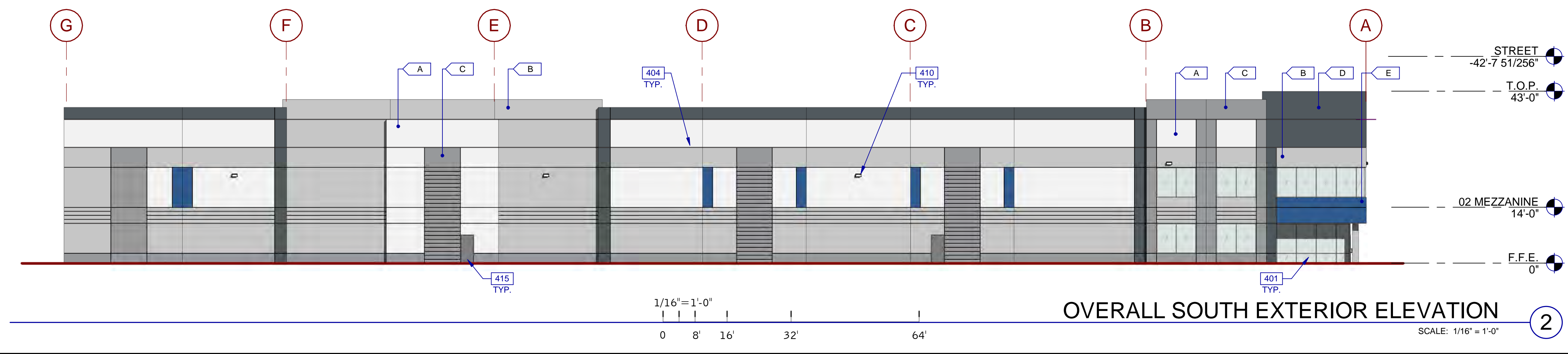
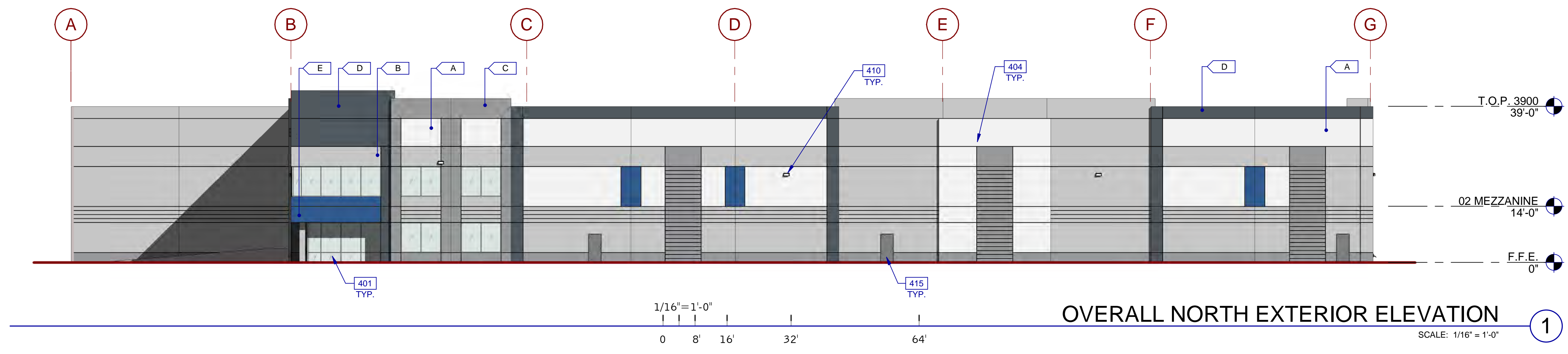
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DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL
02/25/2022	DESIGN REVIEW RESUBMITTAL
1	

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

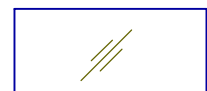
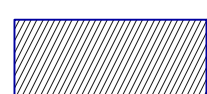

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**AD4.2**





**LEGEND**

**GLASS:**



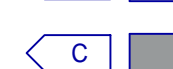


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-  SPANDREL GLASS
-  TEMPERED GLASS

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 XXXXXXXX  
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**LEGEND**

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-  ACCENT COLOR: CHARCOAL
-  ACCENT COLOR: BURGUNDY

**KEYNOTES:** 

SEE SHEET A0.2 FOR GENERAL NOTES

- 401 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
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- 415 3'-0" X 7'-0" EGRESS DOOR.

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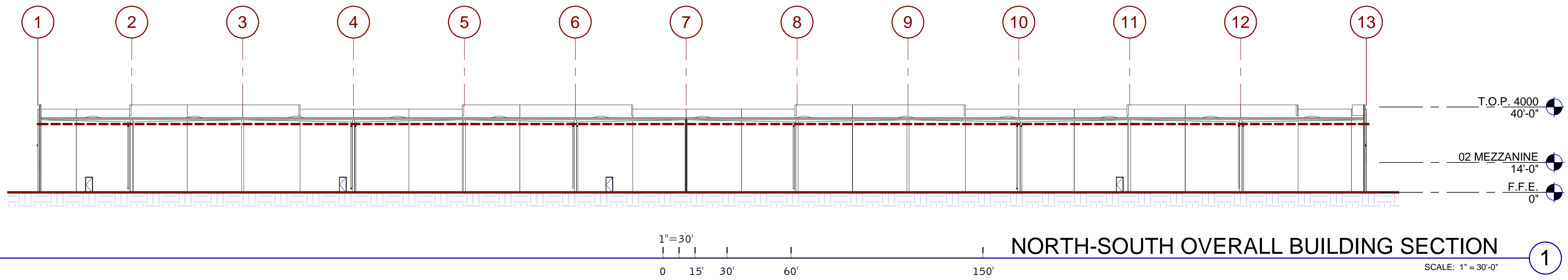
**EXTERIOR ELEVATIONS**

DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL
02/25/2022	DESIGN REVIEW RESUBMITTAL
1	

PA/PM:	Approver
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JOB NO.:	SDG21-0056-00

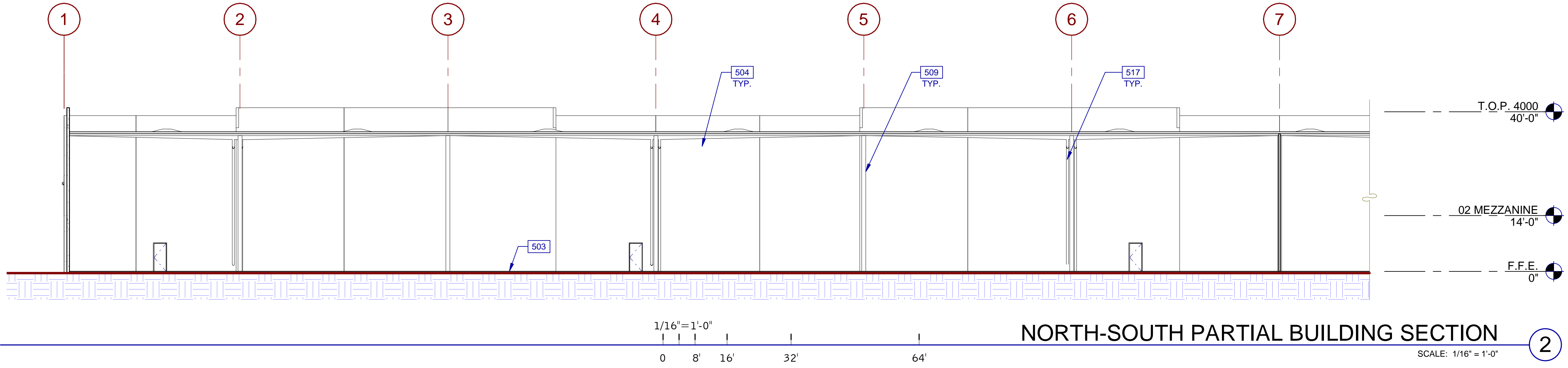
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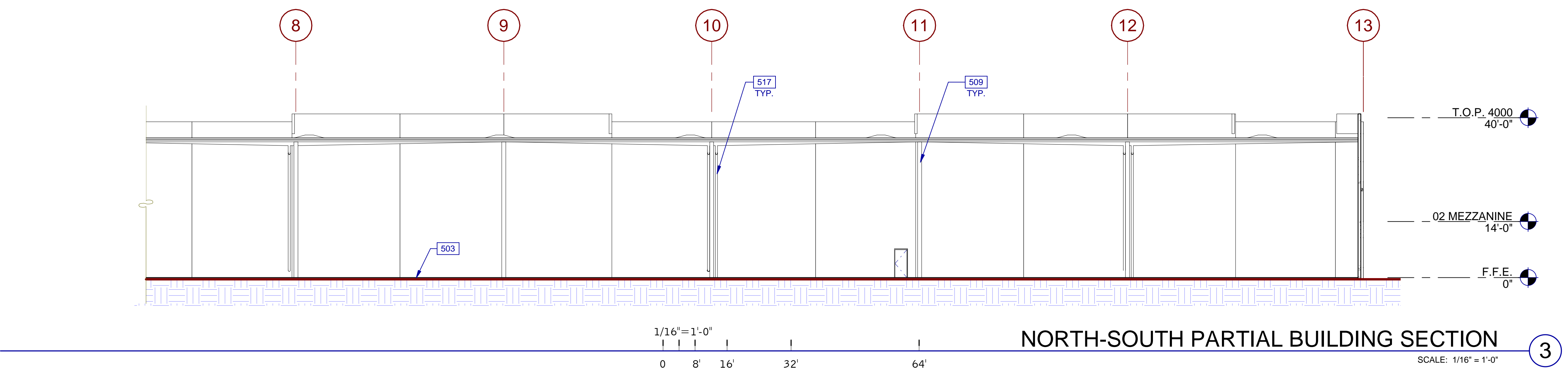
NORTH-SOUTH OVERALL BUILDING SECTION 1

SCALE: 1" = 30'-0"



NORTH-SOUTH PARTIAL BUILDING SECTION 2

SCALE: 1/16" = 1'-0"



NORTH-SOUTH PARTIAL BUILDING SECTION 3

SCALE: 1/16" = 1'-0"

**LEGEND**

**KEYNOTES:**

- 503 CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 504 CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 509 STRUCTURAL COLUMN BEYOND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 517 ROOF DRAIN. SEE ROOF PLANS AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

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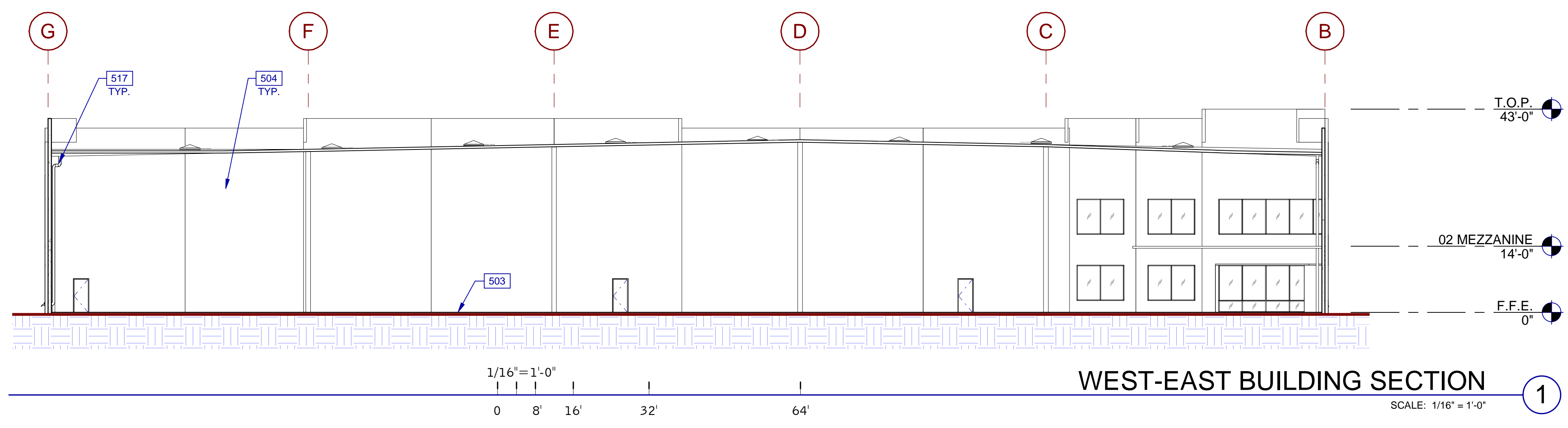
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BUILDING SECTIONS	
DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL

PA/PM:	Approver
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BUILDING SECTIONS	
DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL

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DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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**LEGEND**

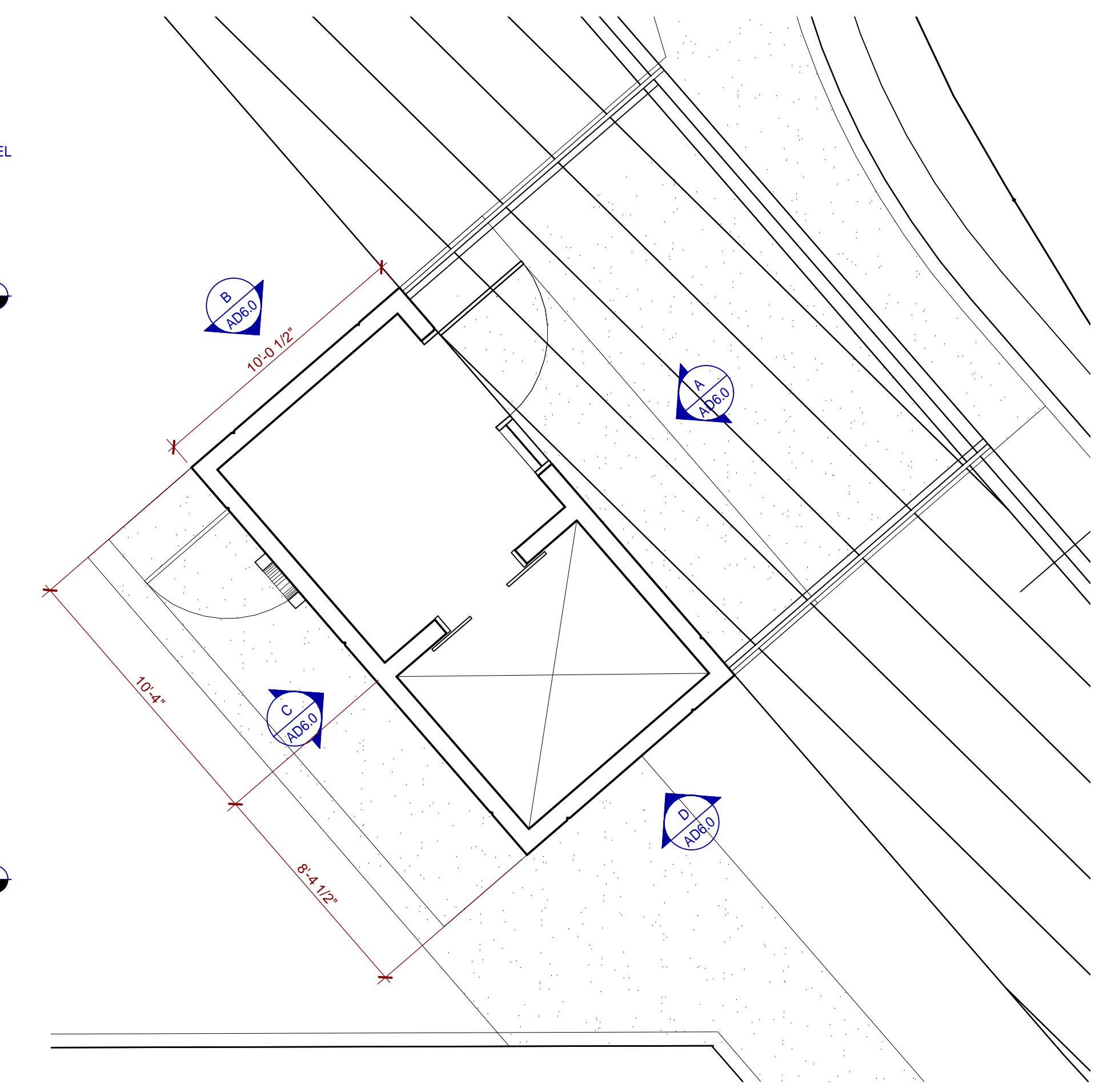
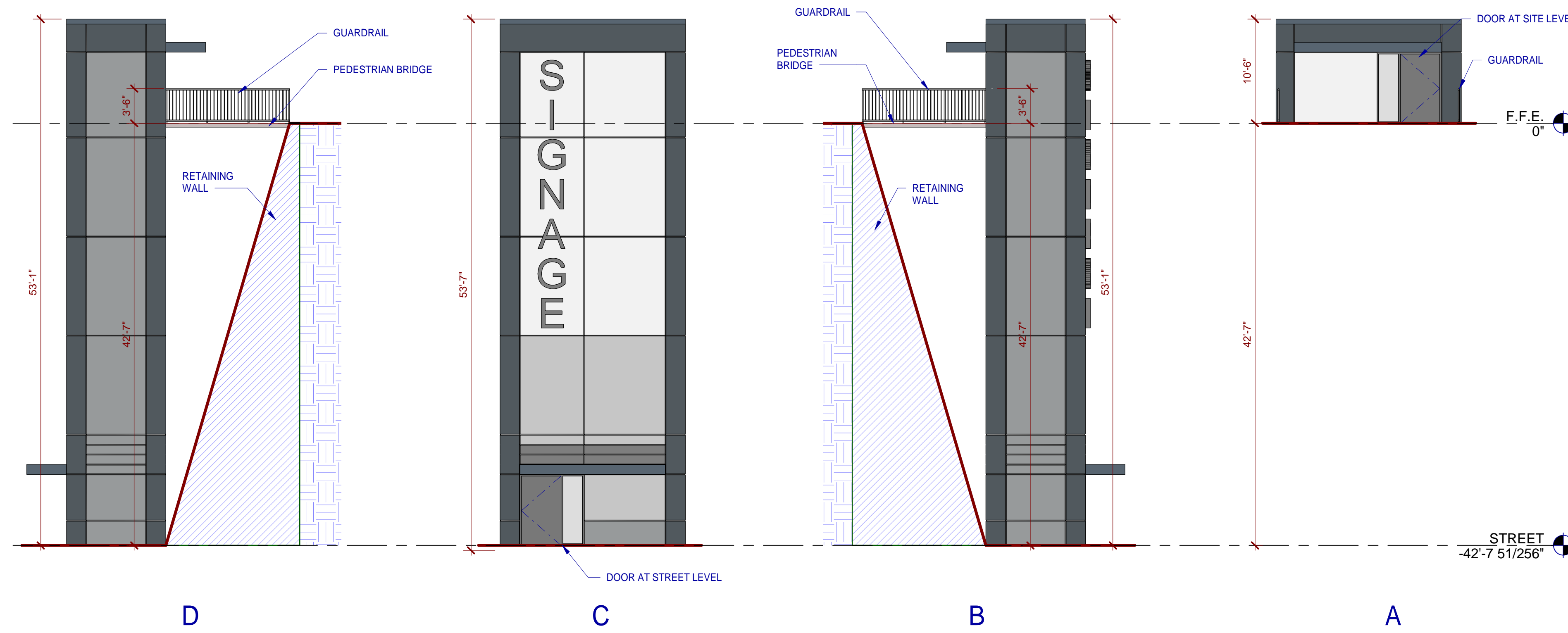
**LEGEND**

**KEYNOTES:**

SEE SHEET A0.2 FOR GENERAL NOTES

503 CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.  
 504 CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.  
 517 ROOF DRAIN. SEE ROOF PLANS AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

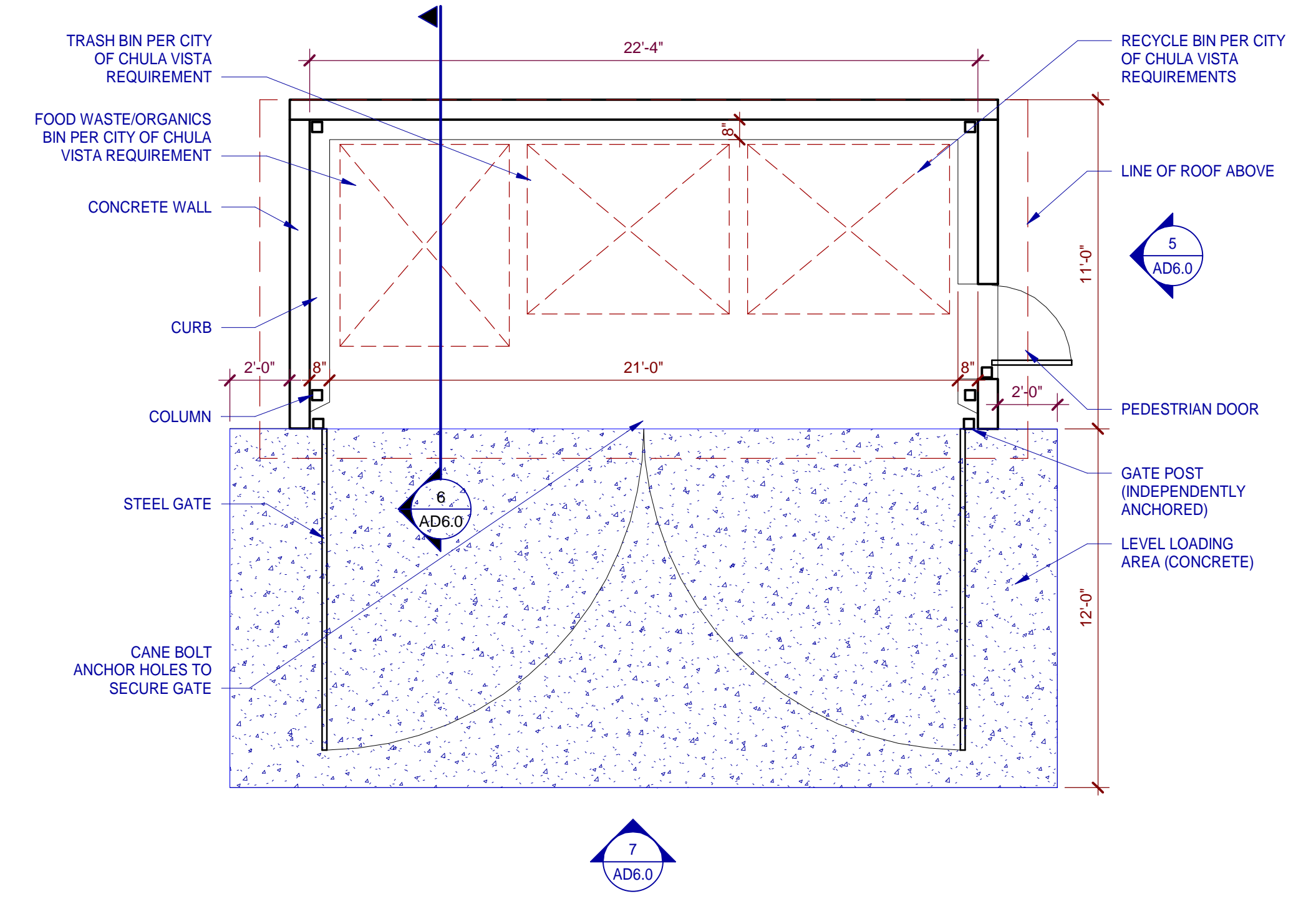
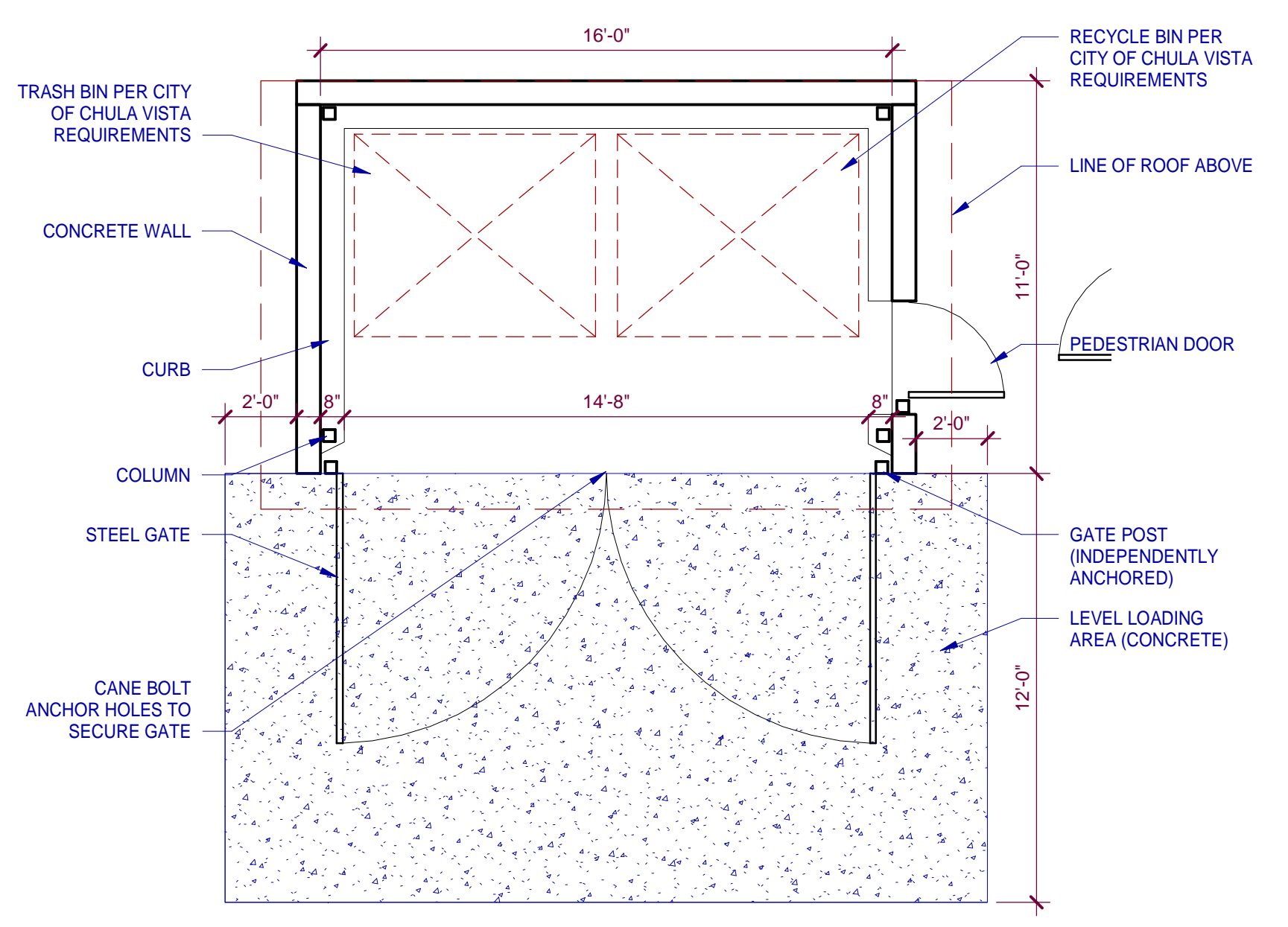
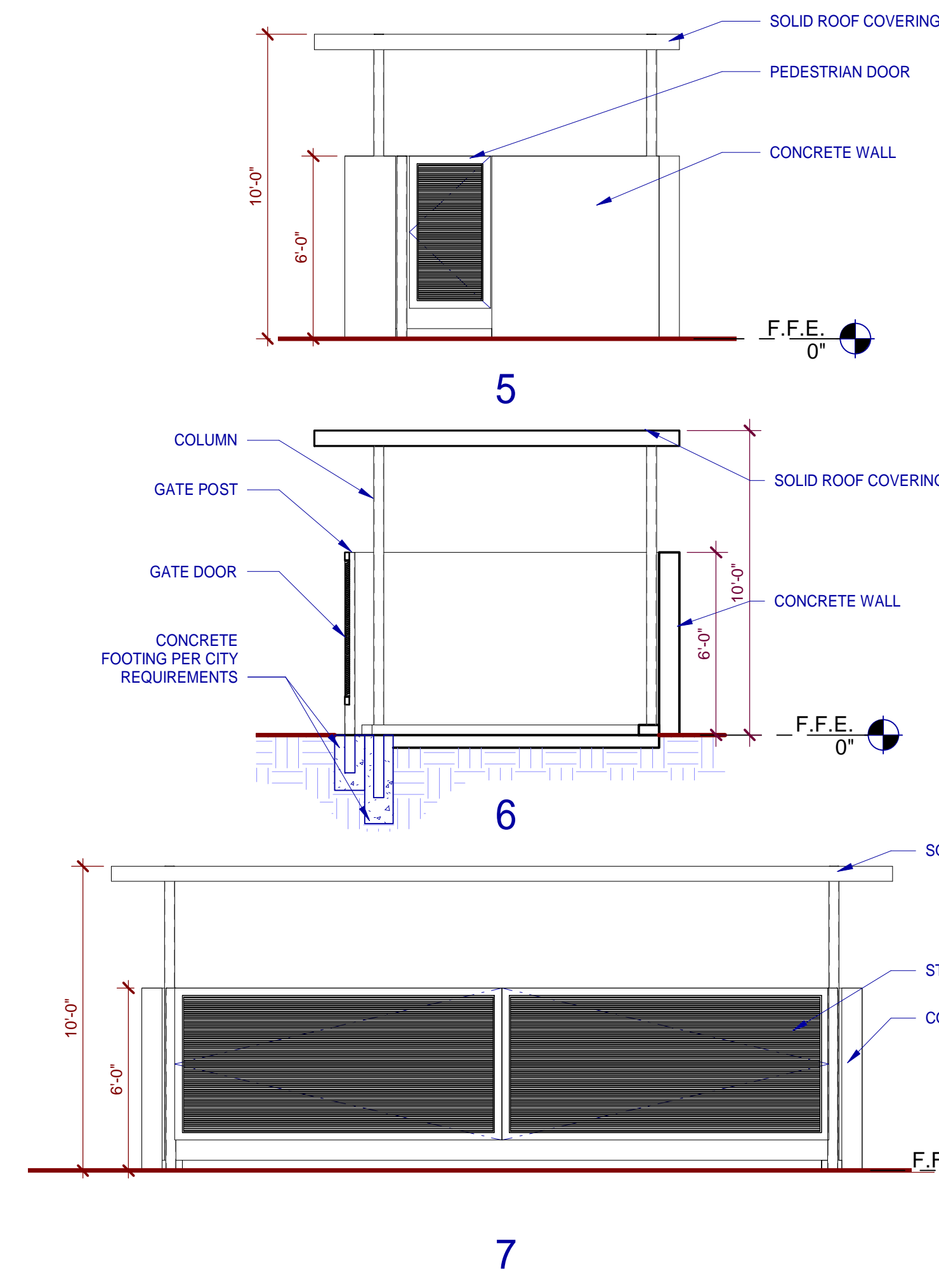




ENLARGED ELEVATOR PLAN AND ELEVATIONS  
SCALE: 1/4" = 1'-0"

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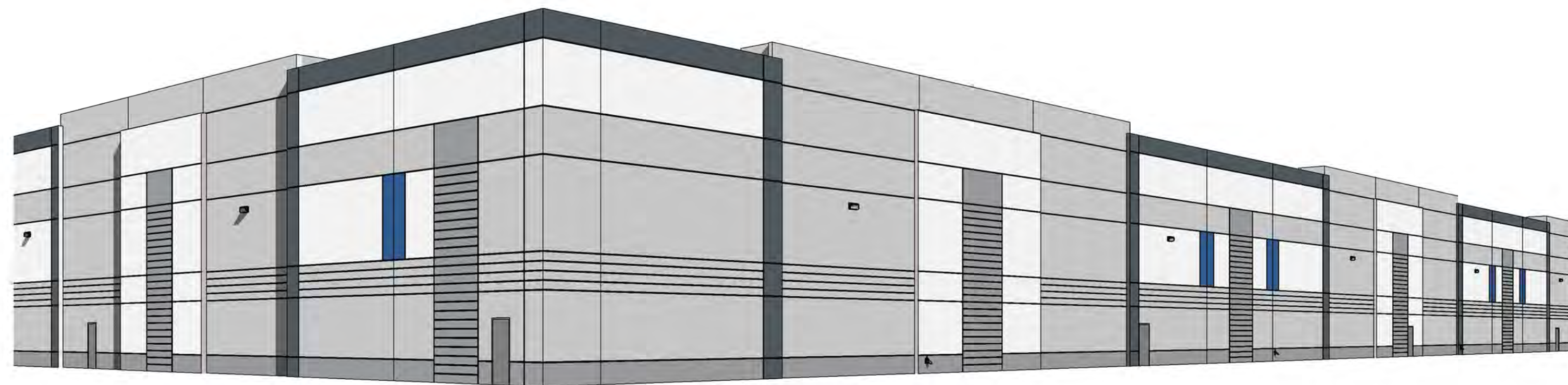
ENLARGED TRASH ENCLOSURE PLAN AND ELEVATIONS  
SCALE: 1/4" = 1'-0"

ELEVATOR & TRASH ENCLOSURE PLANS	
DATE	REMARKS
11/22/2021	DESIGN REVIEW SUBMITTAL
02/25/2022	DESIGN REVIEW RESUBMITTAL
1	

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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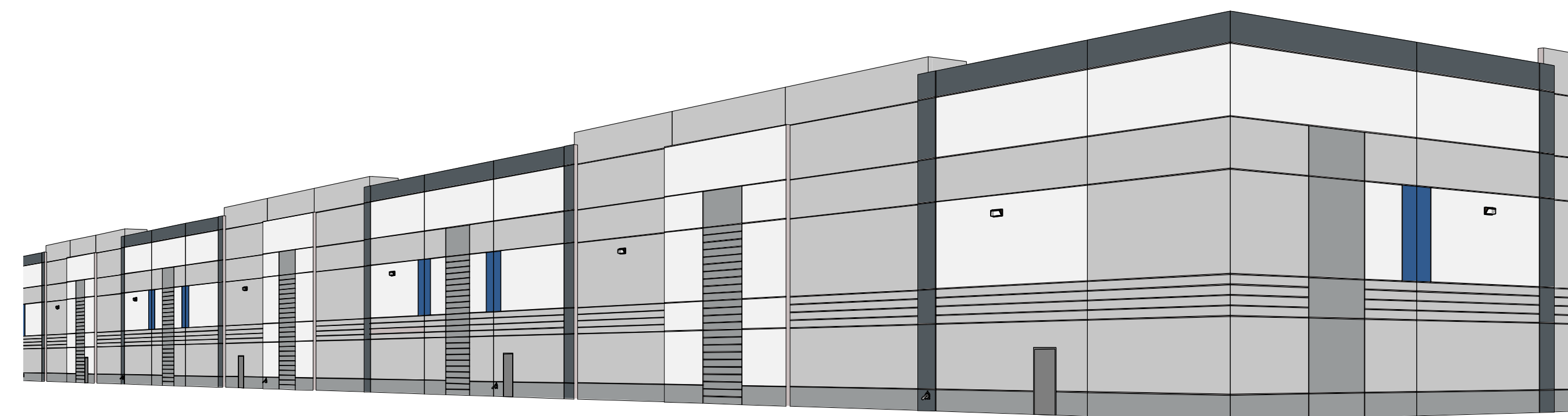




NORTH-WEST PERSPECTIVE

SCALE:

3



SOUTH-WEST PERSPECTIVE

SCALE:

1



SOUTH-EAST PERSPECTIVE

SCALE:

2

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PERSPECTIVES

DATE	REMARKS

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

SHEET  
**AD7.0**



NOTE SHEET table with columns for DATE and REMARKS

PA/PM, DRAWN BY, JOB NO. table

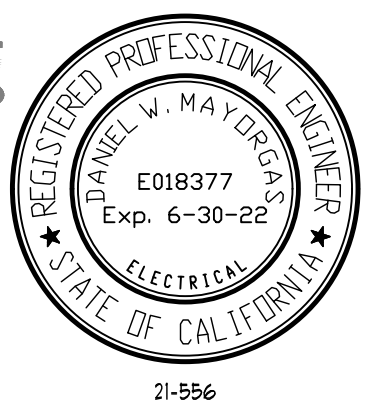
SHEET E001

ABBREVIATIONS table with columns for symbol, description, and alternate description

Sheet List Table with columns for Sheet Number and Sheet Title

SHEET INDEX

mpe consulting logo and contact information



21-556

TEL/DATA SYMBOLS table with symbols and descriptions for various electrical and data symbols

TEL/DATA SYMBOLS

POWER SYMBOLS table with symbols and descriptions for power-related electrical symbols

POWER SYMBOLS

NOTE SHEET

LIGHTING SYMBOLS table with symbols and descriptions for lighting-related electrical symbols

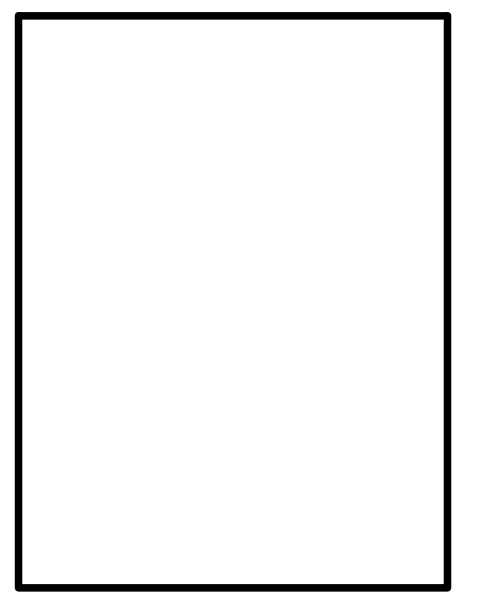
LIGHTING SYMBOLS

- GENERAL NOTES list containing 19 numbered instructions regarding electrical installation and safety

GENERAL NOTES



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 INTERIORS BUILDING MEASUREMENT  
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**LIGHTING DETAIL SHEET**

REMARKS	
DATE	

PA/PM:	Approver
DRAWN BY:	Author
JOB NO.:	SDG21-0056-00

SHEET  
**E002**

FIXTURE TYPE	MANUFACTURER INFORMATION	FIXTURE DESCRIPTION	VOLT WATTS	LAMP
X1	HUBBELL VPL/80L-180/3K7/3/UN/V/K 7PR-TL BL	EXTERIOR SINGLE LED POLE TOP LIGHT FIXTURE. PROVIDE WITH PHOTOCELL SENSOR PARKING LOT	120V 113W	LED 3000K
X2	HUBBELL LNC2-12L-3K-070-3-U EM	EXTERIOR LED WALL SCONCE LIGHT FIXTURE. PROVIDE WITH 90 MINUTE BACK UP BATTERY PACK.	277V 29W	LED 3000K
X3	HUBBELL LNC2-18L-3K-070-3-4 MVOLT	EXTERIOR LED WALL SCONCE LIGHT FIXTURE.	277V 44W	LED 3000K
X4	HUBBELL LNC4-44L-3K-105-4-4 MVOLT	EXTERIOR LED WALL SCONCE LIGHT FIXTURE.	277V 152W	LED 3000K
X5	HUBBELL VPL/80L-180L/3K7/3/UV /K 7PR-TL BL	EXTERIOR DOUBLE POLE TOP LIGHT FIXTURE PROVIDE WITH PHOTOCELL SENSOR PARKING LOT	277V 133W	LED 3000K

**GENERAL NOTES:**

- LIGHT FIXTURE MUST BE CONNECTED TO (1) VERTICAL 10GA WIRE ATTACHED TO OPPOSING CORNERS ALONG THE FIXTURE'S DIAGONAL. WIRES MAY BE SLACK PER CBC STANDARD NO. 2501A.5.4.2, 2501A.5.8
- LIGHT FIXTURE SAFETY WIRE SHALL CONFORM WITH UBC TABLE 25-A.

16511-03A

**FIXTURE LIST**

**AREA CONTROLS**  
 ALL LUMINAIRES SHALL BE FUNCTIONALLY CONTROLLED WITH MANUAL ON AND OFF LIGHTING CONTROLS. EACH AREA ENCLOSED BY CEILING-HEIGHT PARTITIONS SHALL BE INDEPENDENTLY CONTROLLED.

**MULTI-LEVEL LIGHTING CONTROLS**  
 THE GENERAL LIGHTING OF ANY ENCLOSED AREA 1000SF OR LARGER WITH A CONNECTED LIGHTING LOAD THAT EXCEEDS 25 WATTS PER SQUARE FOOT SHALL PROVIDE MULTI-LEVEL LIGHTING CONTROLS. DIMMABLE LUMINAIRES SHALL BE CONTROLLED BY A DIMMER CONTROL THAT IS CAPABLE OF CONTROLLING LIGHTING THROUGH ALL REQUIRED LIGHTING CONTROL STEPS AND THAT ALLOWS THE MANUAL ON AND OFF FUNCTIONALITY REQUIRED BY SECTION 1301(A).

**SHUT-OFF CONTROLS**  
 LUMINAIRES SHALL BE CONTROLLED WITH AN OCCUPANT SENSING CONTROL, AUTOMATIC TIME SWITCH CONTROL, OR OTHER CONTROL CAPABLE OF AUTOMATICALLY SHUTTING OFF ALL OF THE LIGHTING WHEN THE SPACE IS UNOCCUPIED.

**AUTOMATIC CONTROL DEVICES CERTIFIED**  
 ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED. ALL ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER.

**OCCUPANT-SENSING LIGHTING CONTROLS**  
 OFFICES EQUAL OR UNDER THAN 2500SQFT  
 -CONFERENCE ROOMS OF ANY SIZE  
 -MULTIPURPOSE ROOMS UNDER 10000SQFT  
 -CLASSROOMS OF ANY SIZE  
 -SECONDARY SPACES  
 -INDOOR PARKING AREAS  
 -INDOOR PARKING AREAS INCLUDING PARKING GARAGES, AND SECONDARY SPACES ARE NEW ADDITIONS

**SECONDARY SPACES**  
 UNDER THE 2016 CODE, OCCUPANT-SENSING CONTROLS MUST AUTOMATICALLY REDUCE LIGHTING POWER BY 50% IN THESE AREAS WHEN THEY ARE UNOCCUPIED:  
 -CORRIDORS AND STAIRWELLS  
 -WAREHOUSE AISLES AND OPEN AREAS  
 -LIBRARY BOOK STACK AISLES 10 FT IN LENGTH AND ACCESSIBLE FROM ONLY ONE END AND THOSE 20 FT IN LENGTH AND ACCESSIBLE FROM BOTH ENDS

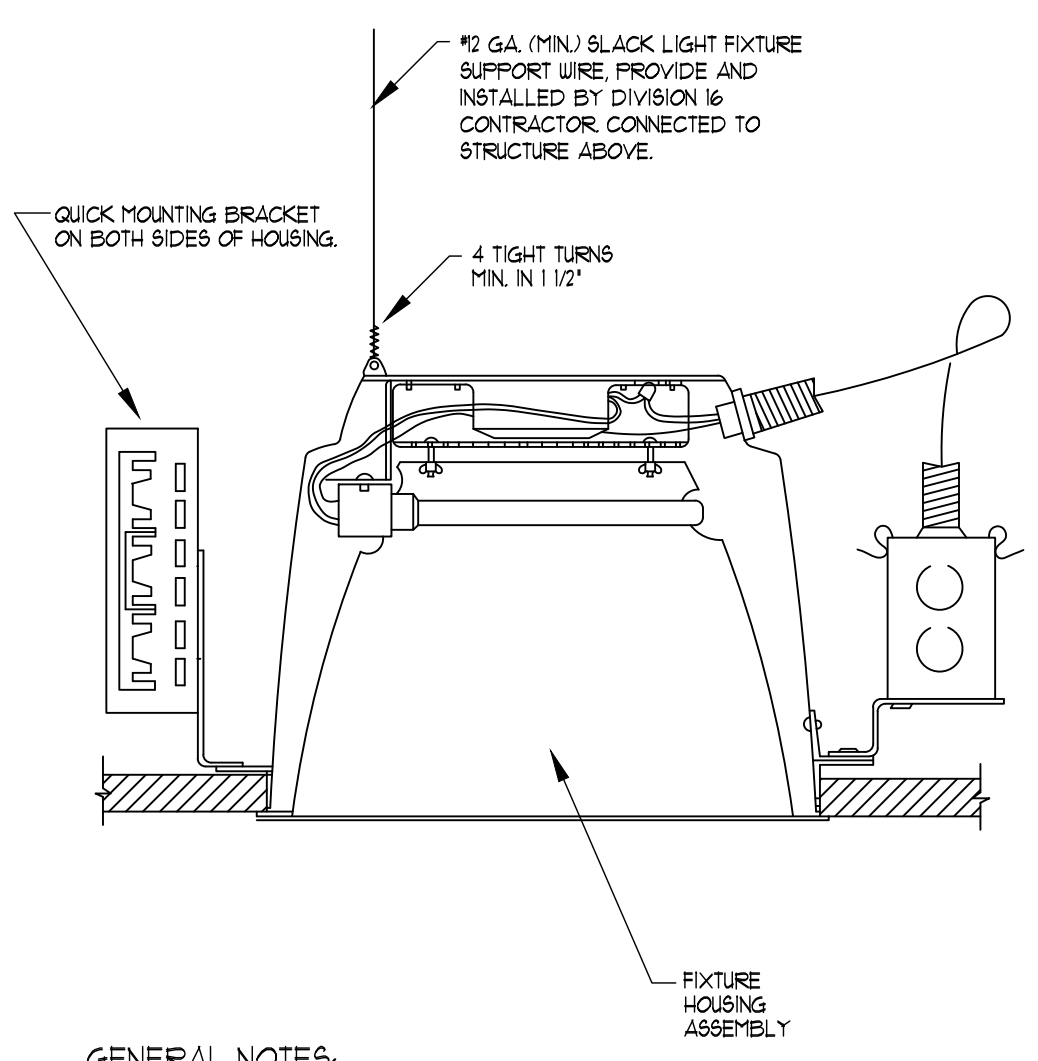
**INDIVIDUAL ROOMS IN AREAS LARGER THAN 1000FT MUST:**  
 -INCORPORATE MULTI-LEVEL LIGHTING CONTROLS OR CONTINUOUS DIMMING, DEPENDING ON THE LAMP TYPE  
 -MEET THE UNIFORMITY REQUIREMENTS IN TABLE 1301-A  
 -HAVE AT LEAST ONE OF THE FOLLOWING TYPES OF CONTROLS FOR EACH LUMINAIRE:  
 -MANUAL CONTINUOUS DIMMING AND ON / OFF CONTROL (SECTION 1301(A))  
 -LUMEN MAINTENANCE (SECTION 1001)  
 -TUNING (SECTION 1001)  
 -AUTOMATIC DAYLIGHTING CONTROLS (SECTION 1301(D))  
 -DEMAND RESPONSE CONTROLS (SECTION 1301(E))

**DAYLIT AREA CONTROL**  
 ALL ROOMS WITH WINDOWS AND SKYLIGHTS THAT ARE GREATER THAN 250 SQUARE FEET, AND THAT ALLOW FOR THE EFFECTIVE USE OF DAYLIGHT IN THE AREA SHALL BE CAPABLE OF DIMMING IN THAT DAYLIT AREA.

**DEMAND RESPONSE**  
 ALL NON-RESIDENTIAL BUILDINGS LARGER 10,000 SQFT BE CAPABLE OF  
 -AUTOMATICALLY RESPONDING TO A DR. SIGNAL, SO THAT TOTAL ENERGY USE FOR LIGHTING CAN AUTOMATICALLY DROP TO A LEVEL AT LEAST 15% BELOW THE BUILDING'S MAXIMUM TOTAL LIGHTING POWER  
 -LIGHTING IS REDUCED IN A MANNER CONSISTENT WITH REQUIREMENTS FOR UNIFORM ILLUMINATION LEVELS (LISTED IN TABLE 1301-A)

**OUTDOOR LIGHTING**  
 NOT IN SCOPE.

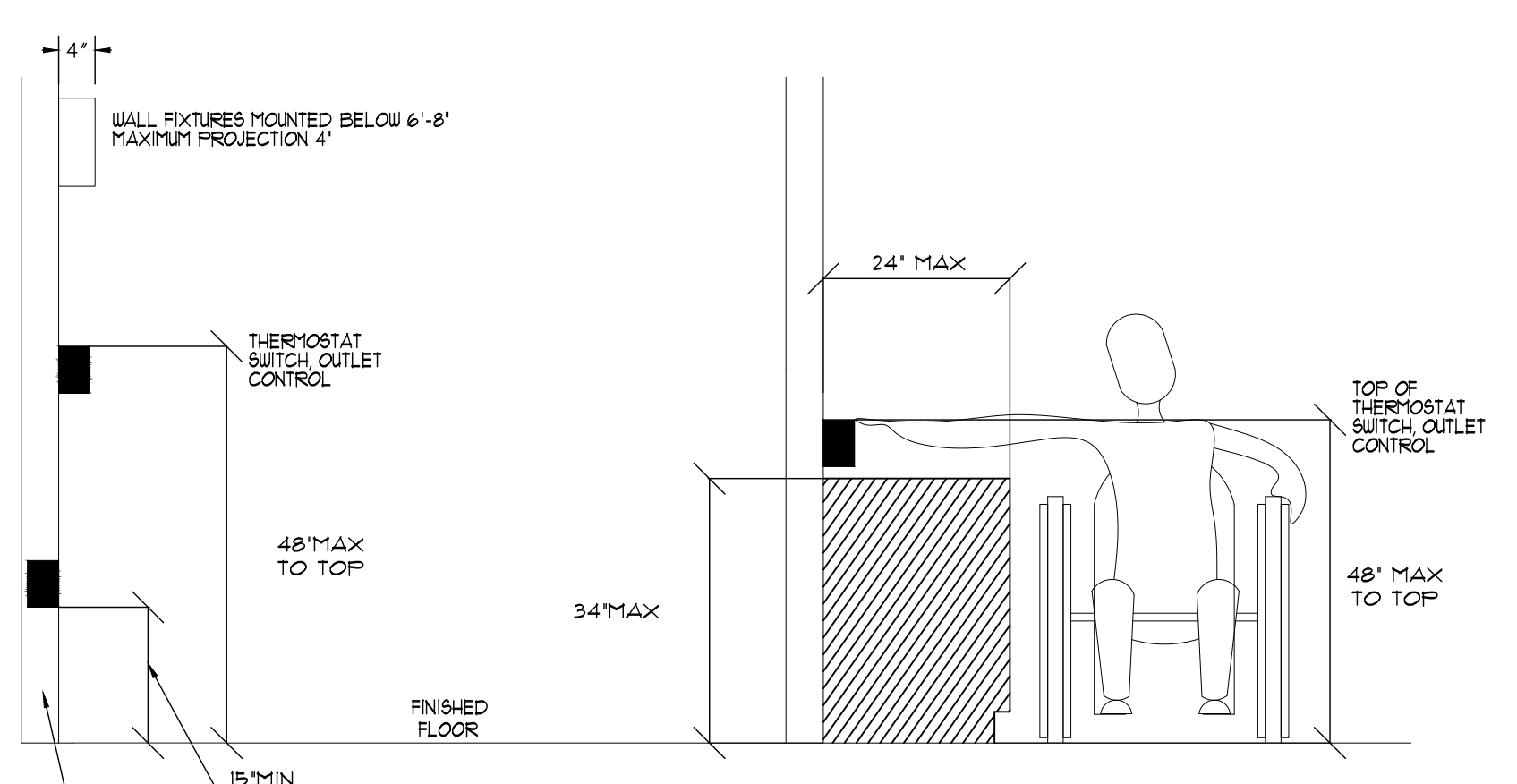
2019 TITLE 24 MANDATORY NOTES



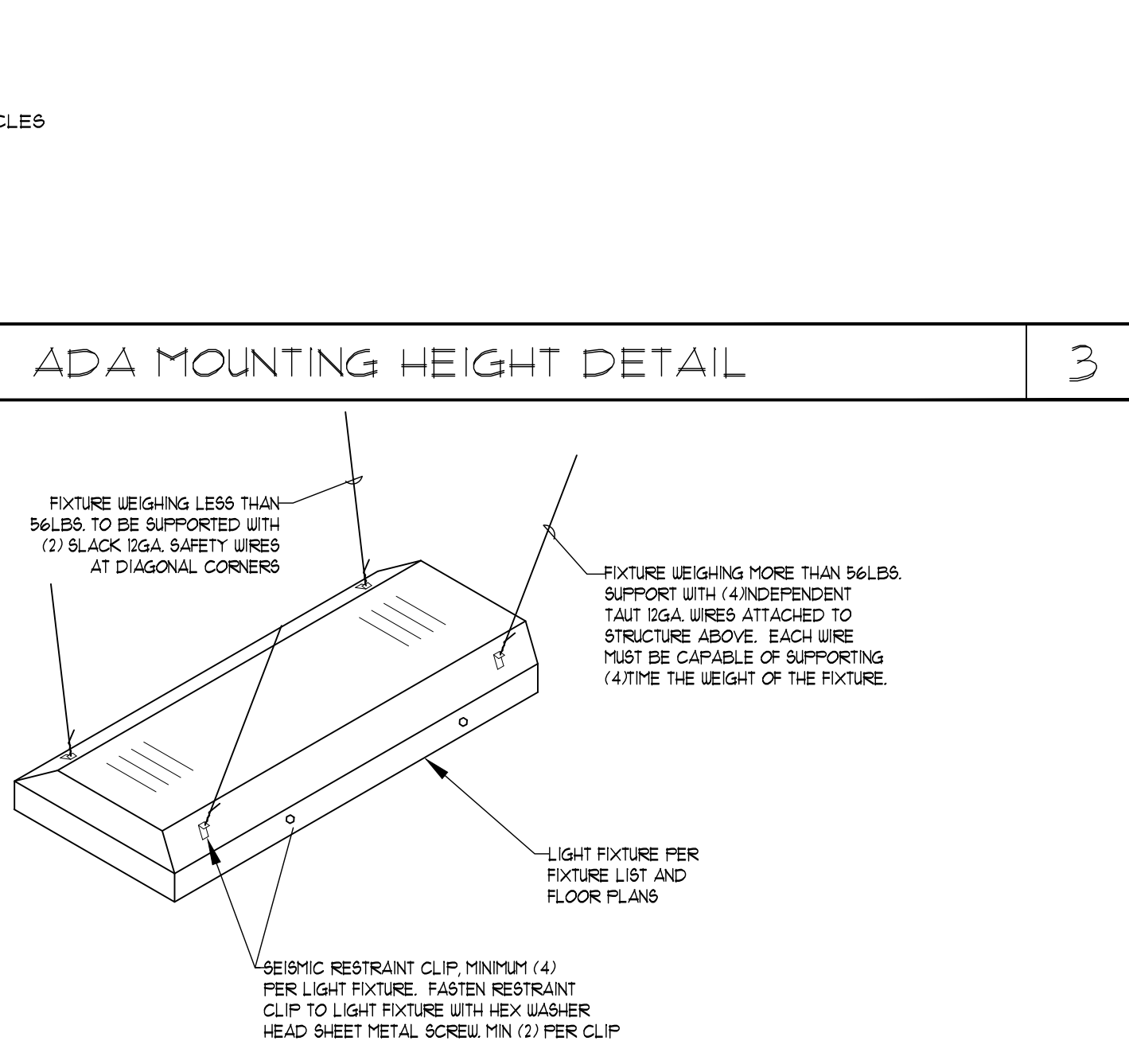
**RECESSED CAN LIGHT FIXTURE SUPPORT DETAIL**

16511-03A

**RECESSED CAN LIGHT FIXTURE SUPPORT DETAIL**



**ADA MOUNTING HEIGHT DETAIL**



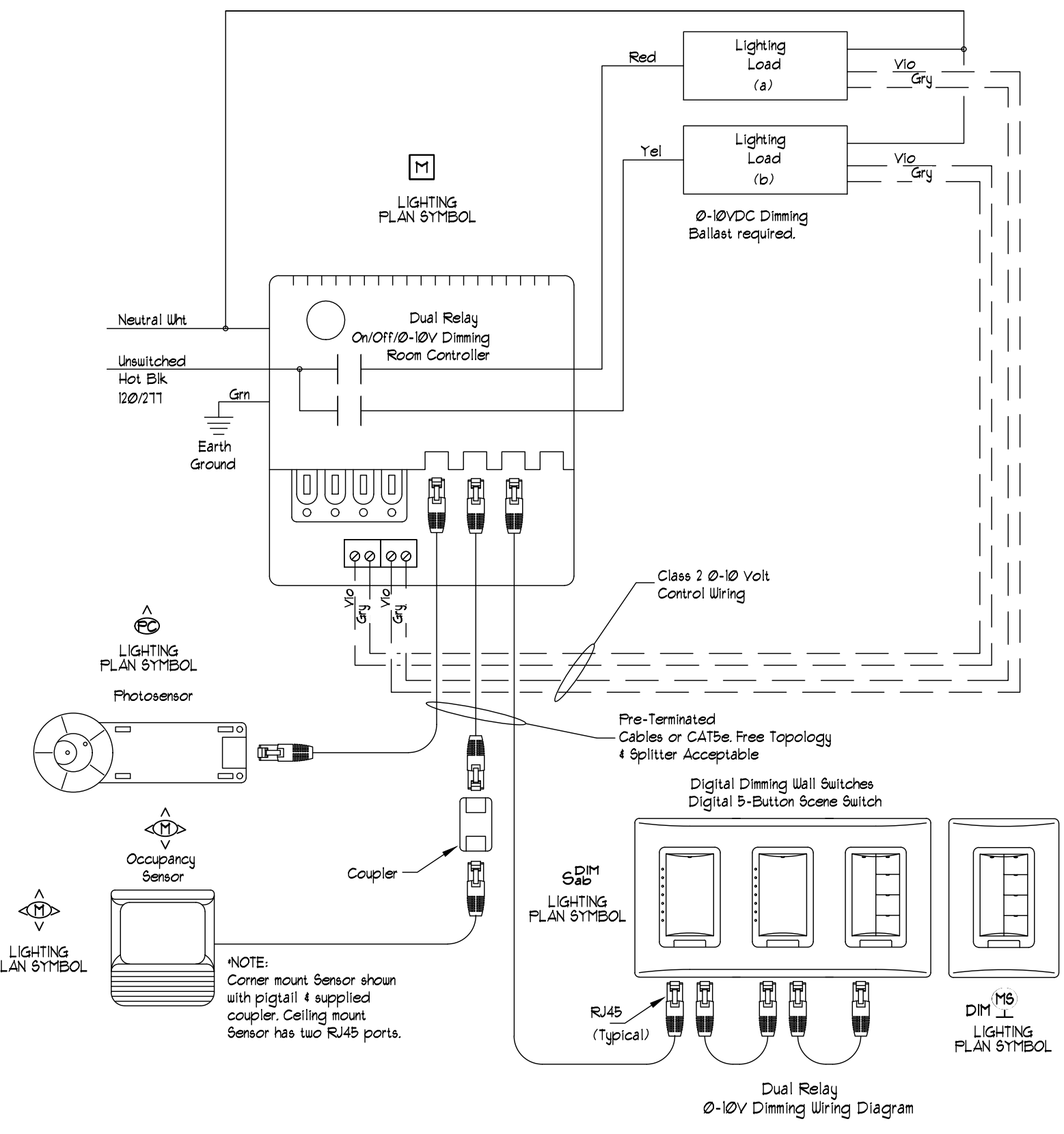
**GENERAL NOTES:**

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- LIGHT FIXTURE SAFETY WIRE SHALL CONFORM WITH UBC TABLE 25-A.
- INSTALL (4) METAL SCREWS, (2) ON EACH SIDE THROUGH FIXTURE INTO MAIN "I" BAR RUNNER.

16511-03

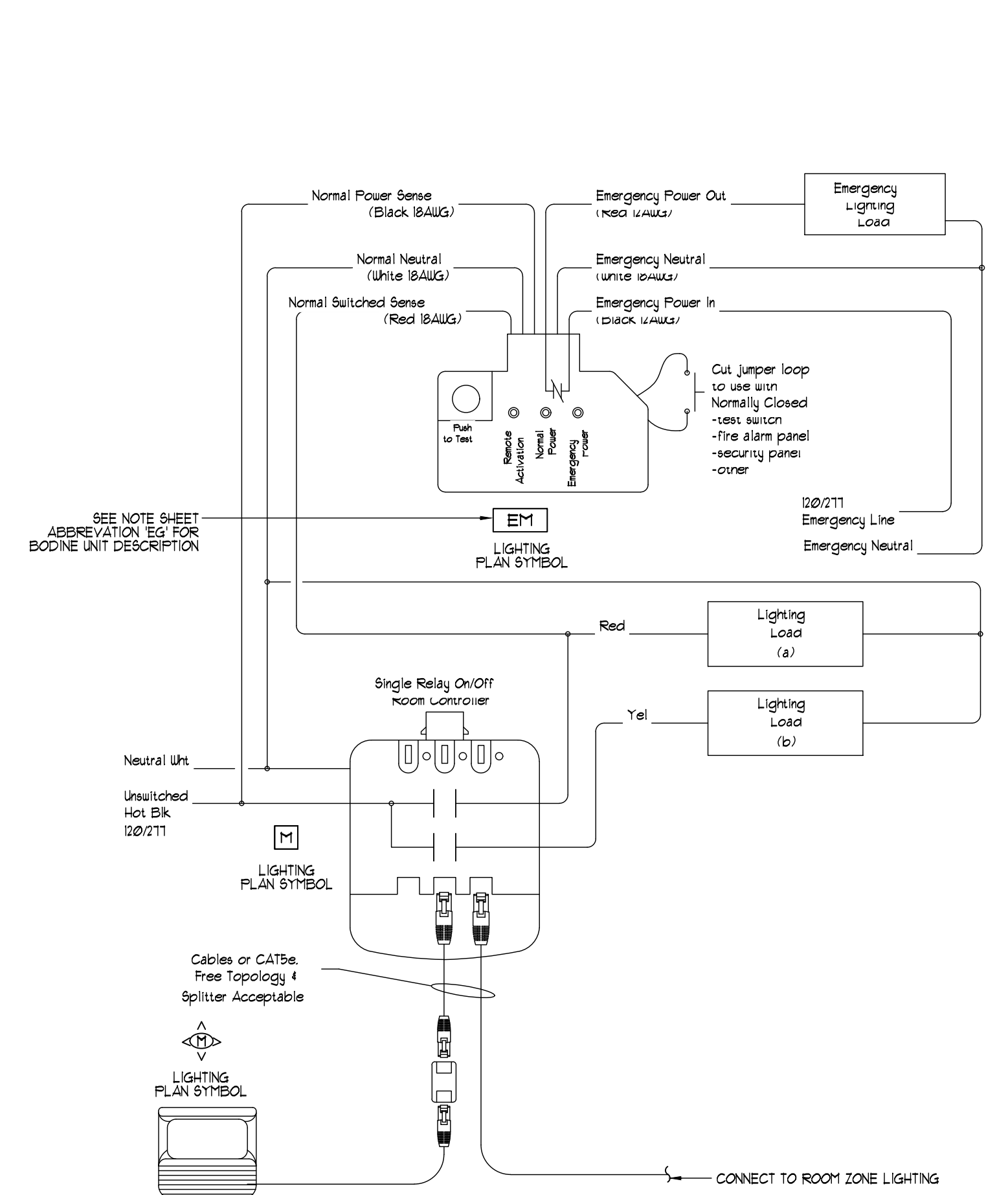
**FIXTURE SEISMIC SUPPORT DETAIL**

**LIGHTING DETAIL SHEET**



**LIGHTING CONTROL WIRING DIAGRAM**

**LIGHTING CONTROL WIRING DIAGRAM**



**EMERGENCY LIGHTING DIAGRAM**

**EMERGENCY LIGHTING DIAGRAM**

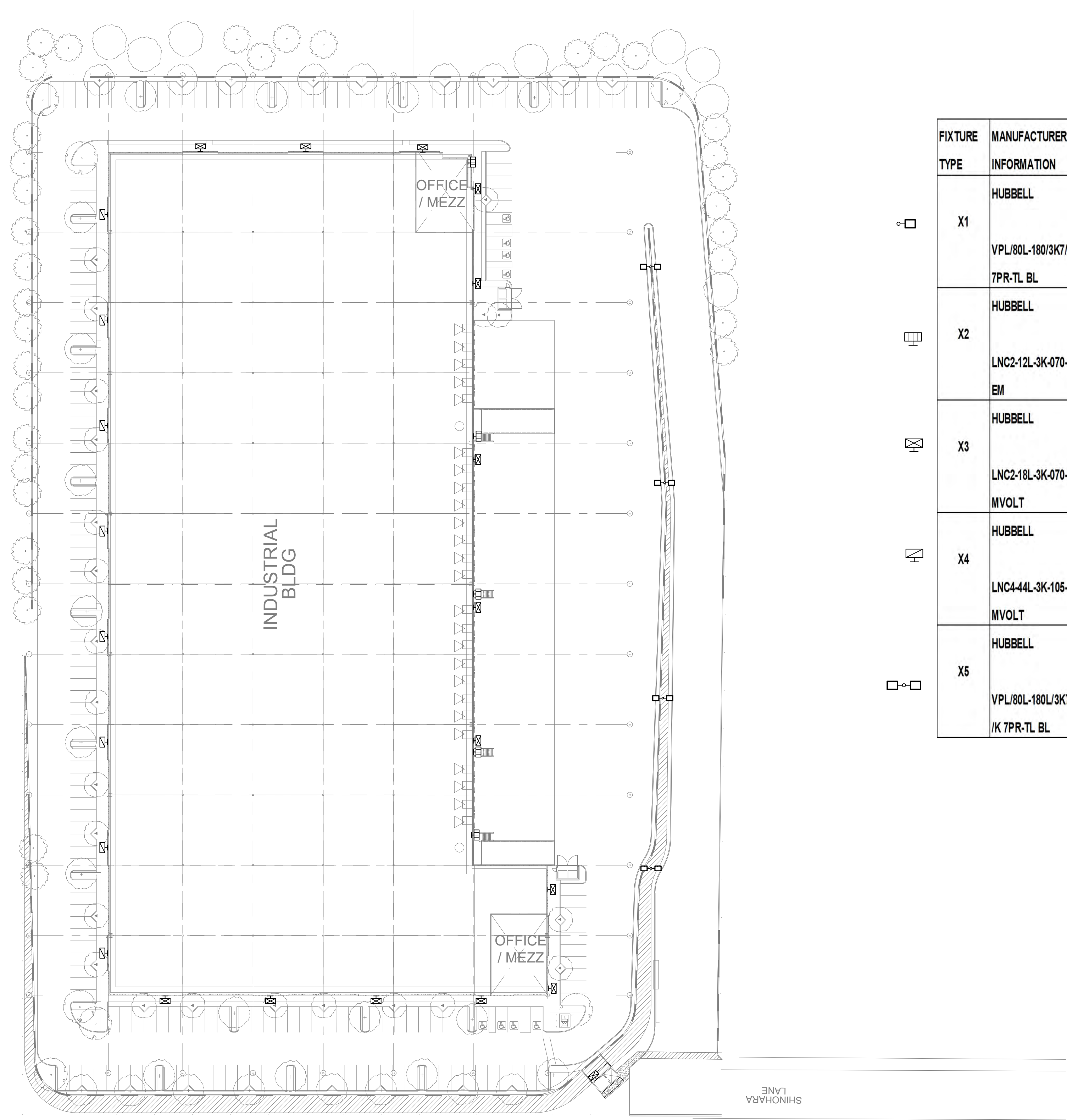
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ARCHITECTURE CIVIL ENGINEERING 3911 Sorrento Valley Blvd, Suite #120  
PLANNING BRANDING San Diego, CA 92121  
INTERIORS BUILDING MEASUREMENT P 858.638.7277



FIXTURE TYPE	MANUFACTURER INFORMATION	FIXTURE DESCRIPTION	VOLT WATTS	LAMP
X1	HUBBELL VPL/80L-180/3K7/3/UNV/K 7PR-TL BL	EXTERIOR SINGLE LED POLE TOP LIGHT FIXTURE. PROVIDE WITH PHOTOCELL SENSOR PARKING LOT	120V 113W	LED 3000K
X2	HUBBELL LNC2-12L-3K-070-3-U EM	EXTERIOR LED WALL SCONCE LIGHT FIXTURE. PROVIDE WITH 90 MINUTE BACK UP BATTERY PACK.	277V 29W	LED 3000K
X3	HUBBELL LNC2-18L-3K-070-3-4 MVOLT	EXTERIOR LED WALL SCONCE LIGHT FIXTURE.	277V 44W	LED 3000K
X4	HUBBELL LNC4-44L-3K-105-4-4 MVOLT	EXTERIOR LED WALL SCONCE LIGHT FIXTURE.	277V 152W	LED 3000K
X5	HUBBELL VPL/80L-180L/3K7/3/UV /K 7PR-TL BL	EXTERIOR DOUBLE POLE TOP LIGHT FIXTURE PROVIDE WITH PHOTOCELL SENSOR PARKING LOT	277V 133W	LED 3000K

SHINOHARA  
517 SHINOHARA LANE  
CHULA VISTA, CA 91911

SHEET NOTES:

① x

mpe consulting  
ELECTRICAL ENGINEERS

10807 Thornmint Road Ste. 200  
San Diego, CA 92127  
p: 858.673.4445  
www.mpeconsulting.com



SITE LIGHTING PLAN	
DATE	REMARKS

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

SHEET  
E011

SITE LIGHTING PLAN

SCALE:  
1/32" = 1'-0"

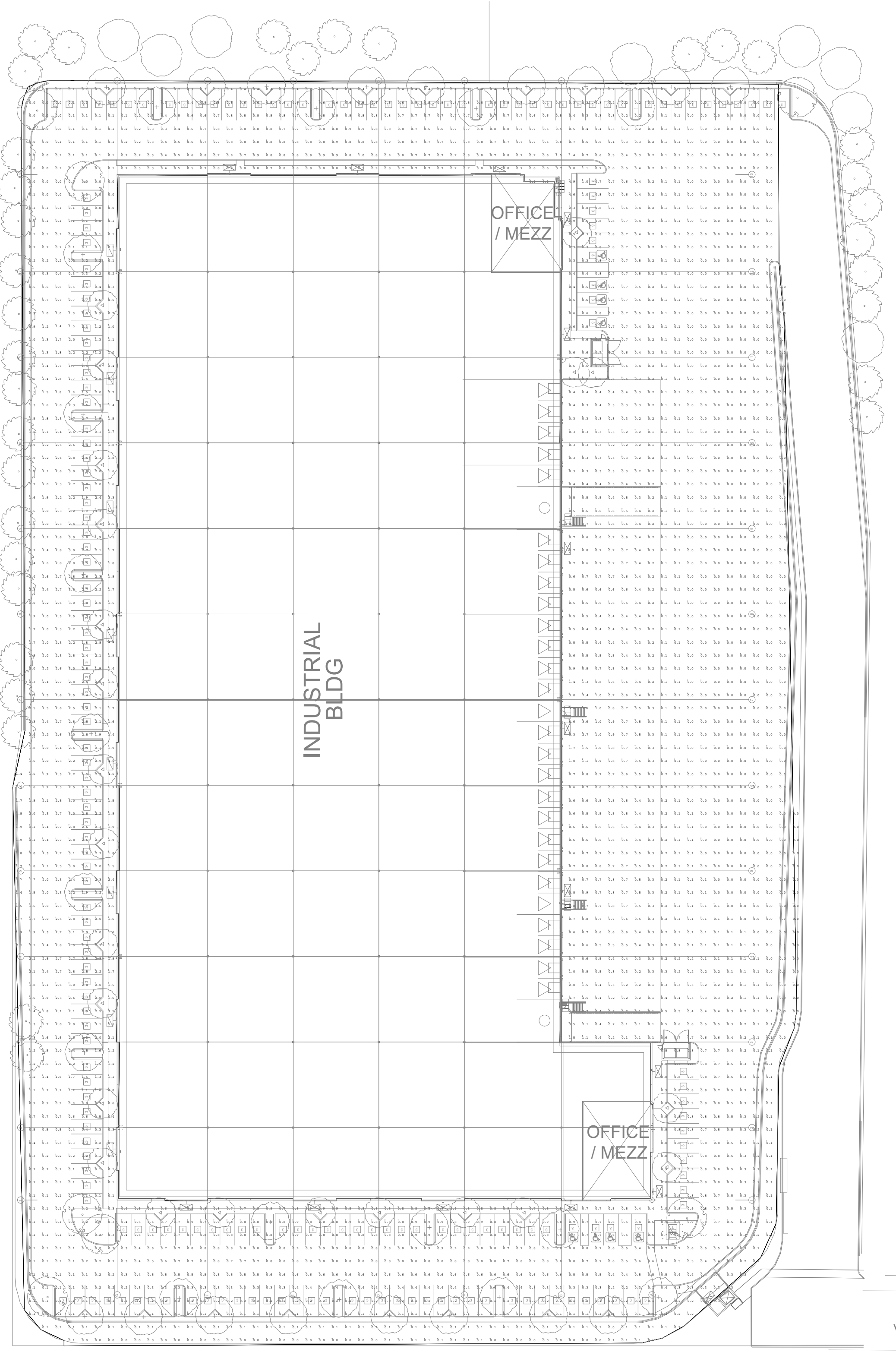
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BUILDING MEASUREMENT

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P 858.638.7277

TIMBER STREET



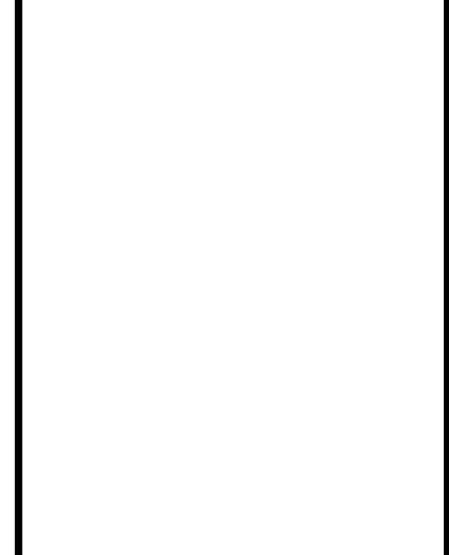
INDUSTRIAL  
BLDG

OFFICE  
/ MEZZ

OFFICE  
/ MEZZ

SHINOHARA  
LANE

PHOTOMETRICS



**SHINOHARA**

517 SHINOHARA LANE  
CHULA VISTA, CA 91911

PHOTOMETRICS	
DATE	REMARKS

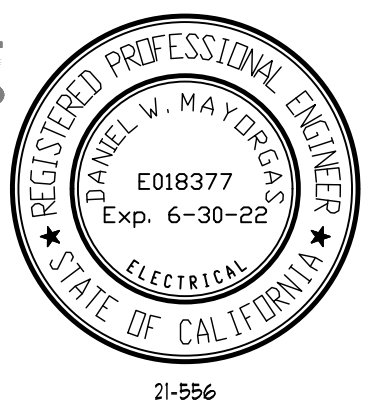
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DRAWN BY.:	Author
JOB NO.:	SDG21-0056-00

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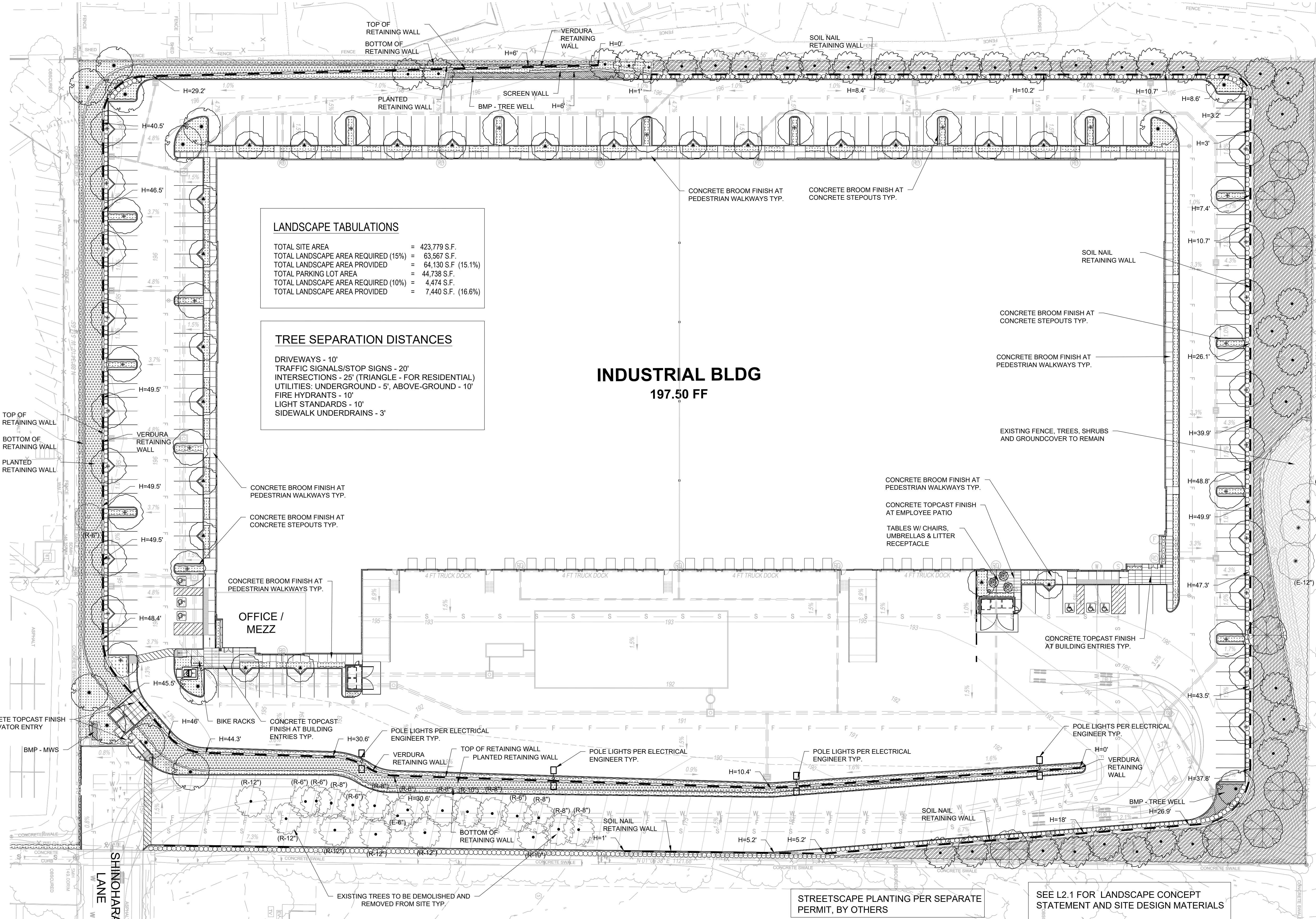
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**PROPOSED PLANT SCHEDULE**

**TREES**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN.)	WATER USE	DESCRIPTION
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX STD.	8'H X 3'W X 1-1/2" CAL.	L	SMALL FLOWERING TREE
	PINUS ELDERICA	AFGHAN PINE	24" BOX STD.	9'H X 3'W X 1-1/4" CAL.	L	VERTICAL EVERGREEN
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX STD.	10'H X 4'W X 1-1/2" CAL.	M	DECIDUOUS CANOPY
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX STD.	9'H X 3'W X 1-1/4" CAL.	L	EVERGREEN CANOPY
	RHUS LANCEA	AFRICAN SUMAC	24" BOX STD.	9'H X 3'W X 1-1/4" CAL.	L	EVERGREEN CANOPY

**SHRUBS, GRASSES, & GROUNDCOVERS**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL.	36" O.C.	L	SUCCULENT ACCENT
	ALOE VERA	MEDICINAL ALOE	1 GAL.	24" O.C.	L	SMALL SUCCULENT
	BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH	1 GAL.	36" O.C.	L	EVERGREEN LOW SHRUB
	CARISSA M. 'GREEN CARPET'	DWARF NATAL PLUM	1 GAL.	30" O.C.	L	EVERGREEN LOW SHRUB
	CAREX PANSA	CALIFORNIA MEADOW SEDGE	1 GAL.	24" O.C.	M	ORNAMENTAL GRASS
	CEANOTHUS G. 'POINT REYES'	POINT REYES CREEPER	1 GAL.	36" O.C.	L	FLOWERING LOW SHRUB
	CHONDRPETALUM TECTORUM	CAPE REED	1 GAL.	36" O.C.	L	UPRIGHT ACCENT
	DIANELLA 'CASSA BLUE'	CASSA BLUE FLAX LILY	1 GAL.	24" O.C.	L	UPRIGHT ACCENT
	DIANELLA T. 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL.	36" O.C.	L	UPRIGHT ACCENT
	HESPERALOE 'BRAKELIGHTS'	BRAKELIGHTS YUCCA	5 GAL.	36" O.C.	L	UPRIGHT ACCENT
	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL.	60" O.C.	L	LARGE SHRUB
	LANTANA MONTEVIDENSIS	PURPLE LANTANA	5 GAL.	36" O.C.	L	FLOWERING SHRUB
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	36" O.C.	L	FLOWERING LOW SHRUB
	MUHLENBERGIA C. 'REGAL MIST'	PINK MUHLY	1 GAL.	36" O.C.	M	ORNAMENTAL GRASS
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	36" O.C.	L	ORNAMENTAL GRASS
	OLEA 'MONTRA'	LITTLE OLLIE	5 GAL.	48" O.C.	L	LARGE SHRUB
	RHAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	5 GAL.	36" O.C.	L	EVERGREEN SHRUB
	SALVIA GREGGII	AUTUMN SAGE	5 GAL.	36" O.C.	L	FLOWERING SHRUB
	SENECIO SERPENS	BLUE CHALKSTICKS	FLATS	12" O.C.	L	SUCCULENT GROUNDCOVER
	WESTRINGIA 'WYNABBIE GEM'	COAST ROSEMARY	5 GAL.	36" O.C.	L	EVERGREEN HEDGE

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

**PROPOSED PLANT SCHEDULE - SLOPES**

SHRUBS, GRASSES, & GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	BACCHARIS P. 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GAL.	8" O.C.	L	EVERGREEN LOW SHRUB
	BOUGAINVILLEA 'LA JOLLA'	RED SHRUB BOUGAINVILLEA	1 GAL.	48" O.C.	L	FLOWERING SHRUB
	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	1 GAL.	48" O.C.	L	EVERGREEN LOW SHRUB
	SALVIA CLEVELANDII 'POZO BLUE'	POZO BLUE SAGE	5 GAL.	48" O.C.	L	UPRIGHT SHRUB
	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL.	60" O.C.	L	LARGE SHRUB
	RHUS OVATA	SUGAR BUSH	1 GAL.	60" O.C.	L	LARGE SHRUB

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.



Preliminary Landscape Plan

517 Shinohara Lane  
Chula Vista, CA, 91911

**WARE MALCOMB**

SDG21-0056-00  
10/12/2022

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L1.1



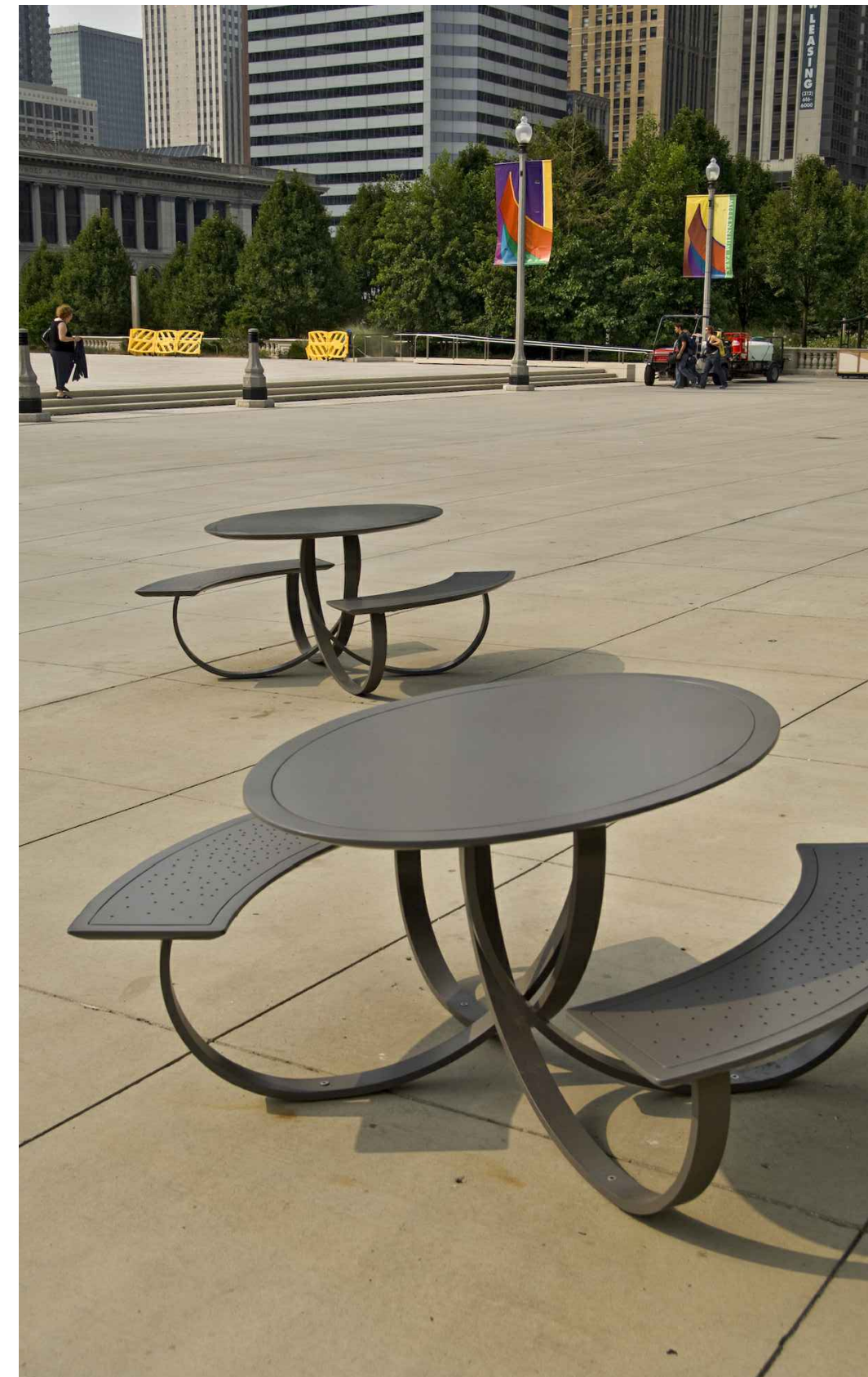


NATURAL COLOR CONCRETE W/ ACID ETCH OR TOPCAST FINISH AT BUILDING ENTRIES & EMPLOYEE PATIOS

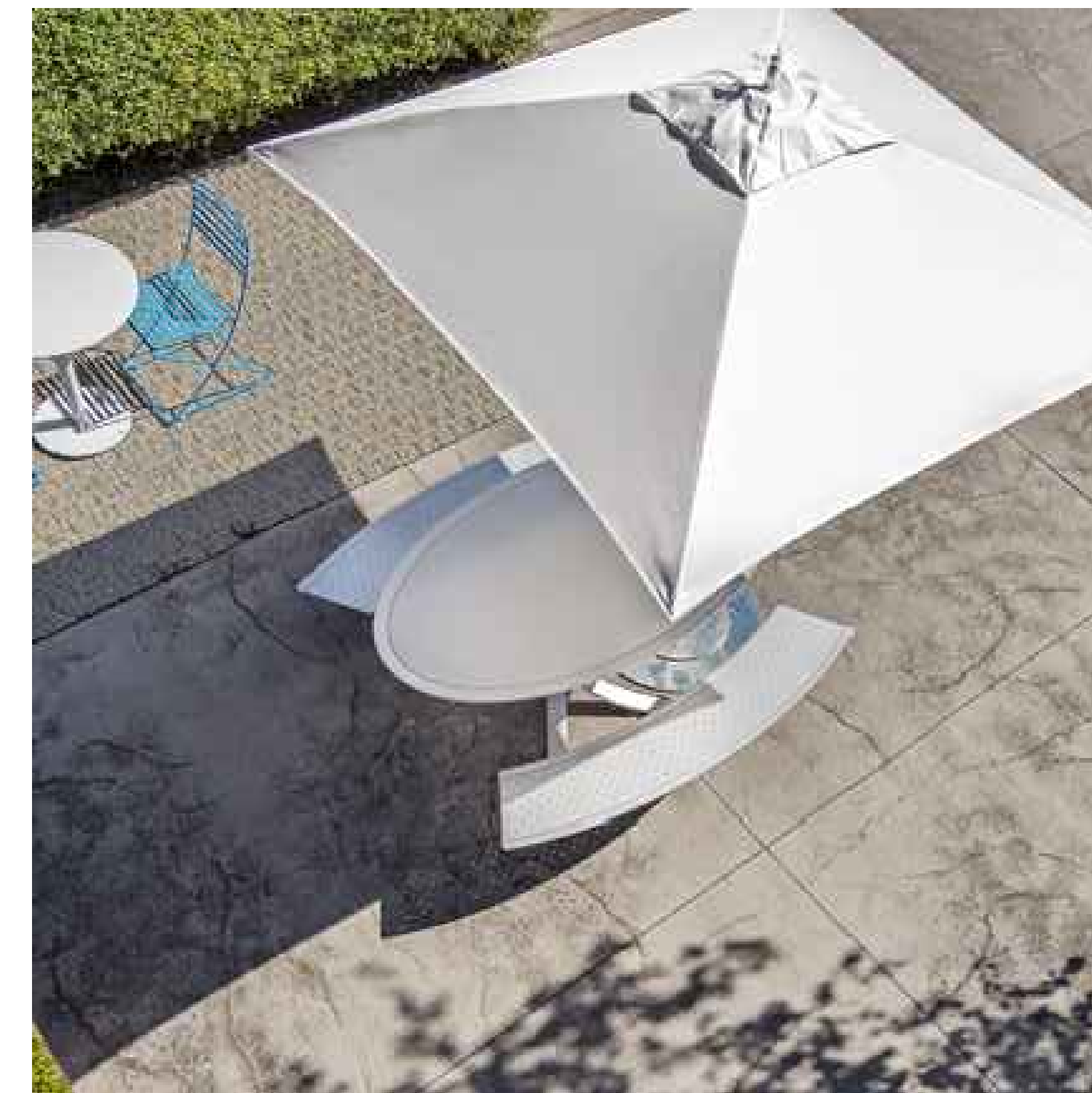


NATURAL COLOR CONCRETE W/ MEDIUM BROOM FINISH AT PEDESTRIAN WALKWAYS

HARDSCAPE MATERIAL AND FINISHES



LANDSCAPE FORMS TABLES AND CHAIRS AT EMPLOYEE PATIO



TUUCI COMMERCIAL UMBRELLAS AT EMPLOYEE PATIO

SITE FURNISHINGS



BEACON-HUBBLE VIPER LARGE STRIKE OPTIC PARKING POLE LIGHT  
BLACK TEXTURED  
SEE E1.1 FOR COMPLETE SPECIFICATIONS

SITE LIGHTING



VERDURA WALL RETAINING WALL BY SOIL RETENTION  
COLOR TBD

RETAINING WALL SPECIFICATIONS



SOIL NAIL WALL SMOOTH TROWEL FINISH  
COLOR TBD

LANDSCAPE CONCEPT STATEMENT OF COMPLIANCE

THIS LANDSCAPE DESIGN AND THE FINAL LANDSCAPE PLANS WILL REFLECT CONFORMANCE WITH THE CITY OF CHULA VISTA'S LANDSCAPE WATER CONSERVATION ORDINANCE (CVMC20.12), PROMOTING WATER CONSERVATION THROUGH THE USE OF MODERATE AND LOW-WATER REQUIRING PLANT SPECIES, GROUPING OF PLANT MATERIALS WITH SIMILAR WATER REQUIREMENTS AND IMPLEMENTING A LOW-VOLUME AND EFFICIENT AUTOMATIC IRRIGATION SYSTEM.

LANDSCAPE DESIGN CONCEPT STATEMENT

THE LANDSCAPE DESIGN WILL BE SUSTAINABLE WITH AN EMPHASIS ON DROUGHT TOLERANT, NATIVE OR ADAPTIVE SPECIES THAT ARE LONG LIVED AND EASILY MAINTAINED IN THEIR NATURAL FORM. APPROXIMATELY 90% OF THE PLANTS USED WILL HAVE LOW WATER REQUIREMENTS BASED UPON THE "2017 WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS) AND WILL CONFORM TO CURRENT WATER CONSERVATION STANDARDS INCLUDING THE CITY OF CHULA VISTA LANDSCAPE WATER CONSERVATION ORDINANCE. PLANT MATERIAL WILL BE GROUPED BY HYDROZONES THAT HAVE SIMILAR WATER NEEDS.

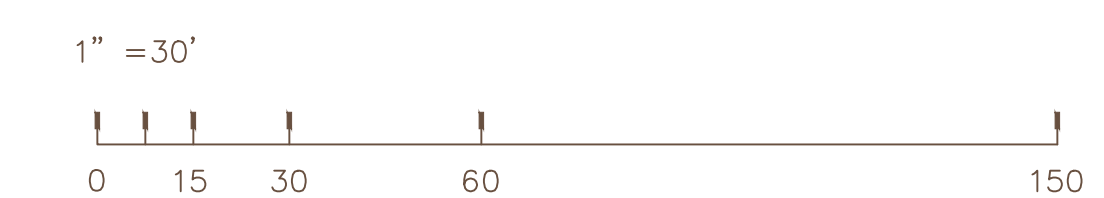
EVERGREEN TREES WILL BE USED TO PROVIDE SHADE OVER PARKING AREAS AND TO SOFTEN THE BUILDING FACADE, WHILE FLOWERING DECIDUOUS TREES WILL BE USED TO ACCENTUATE THE BUILDING ENTRY AND OUTDOOR PATIO SPACES. HEDGES WILL BE USED TO SCREEN PARKING AREAS FROM THE PUBLIC RIGHT-OF-WAY AND ADJACENT PARCELS, AND EVERGREEN VINES WILL BE USED TO HELP SCREEN THE TRASH ENCLOSURE. SHRUBS AND GROUND COVERS WITH VARYING FORMS, COLORS AND TEXTURES WILL BE USED THROUGHOUT THE PROJECT TO PROVIDE INTEREST. THE PLANT PALETTE WILL COMPLEMENT THE ADJACENT PARCELS AND STREETScape TO HELP VISUALLY BLEND THE PROJECT INTO THE SURROUNDING OTAY RIVER BUSINESS PARK.

IRRIGATION DESIGN CONCEPT STATEMENT

IRRIGATION DESIGN WILL CONFORM TO CURRENT WATER CONSERVATION STANDARDS INCLUDING THE CITY OF CHULA VISTA LANDSCAPE WATER CONSERVATION ORDINANCE AND THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). IRRIGATION WILL BE DISTRIBUTED BY IN LINE DRIP TUBING AND A SMART IRRIGATION CONTROLLER WITH RAIN SHUT-OFF CAPABILITIES. THE VALVES WILL BE GROUPED BY HYDROZONE, EXPOSURE, SOIL TYPE AND GRADING FEATURES.

MAINTENANCE RESPONSIBILITY STATEMENT

OWNER IS RESPONSIBLE FOR INSTALLATION AND ONGOING MAINTENANCE OF IRRIGATION AND PLANTING WITHIN BOTH THE PUBLIC RIGHT-OF-WAY AND THE PROPERTY ITSELF.



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NORTH