

AMRAPUR STODDARD WELLS VICTORVILLE

17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394



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ARCHITECTURAL

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 - A1.1 SITE PLAN
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 - A1.2 TRASH ENCLOSURE AND FUTURE GUARD SHACK
 - A2.1 OVERALL FLOOR PLAN
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 - A2.1b PARTIAL FLOOR PLAN
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 - A4.3 EXTERIOR ELEVATIONS
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- ARCHITECTURAL SHEET COUNT: 14

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- FO-01 PHOTOMETRIC PLAN
- ELECTRICAL SHEET COUNT: 1

LANDSCAPE

- LO.1 SHEET INDEX AND NOTES
- LANDSCAPE SHEET COUNT: 1

CIVIL

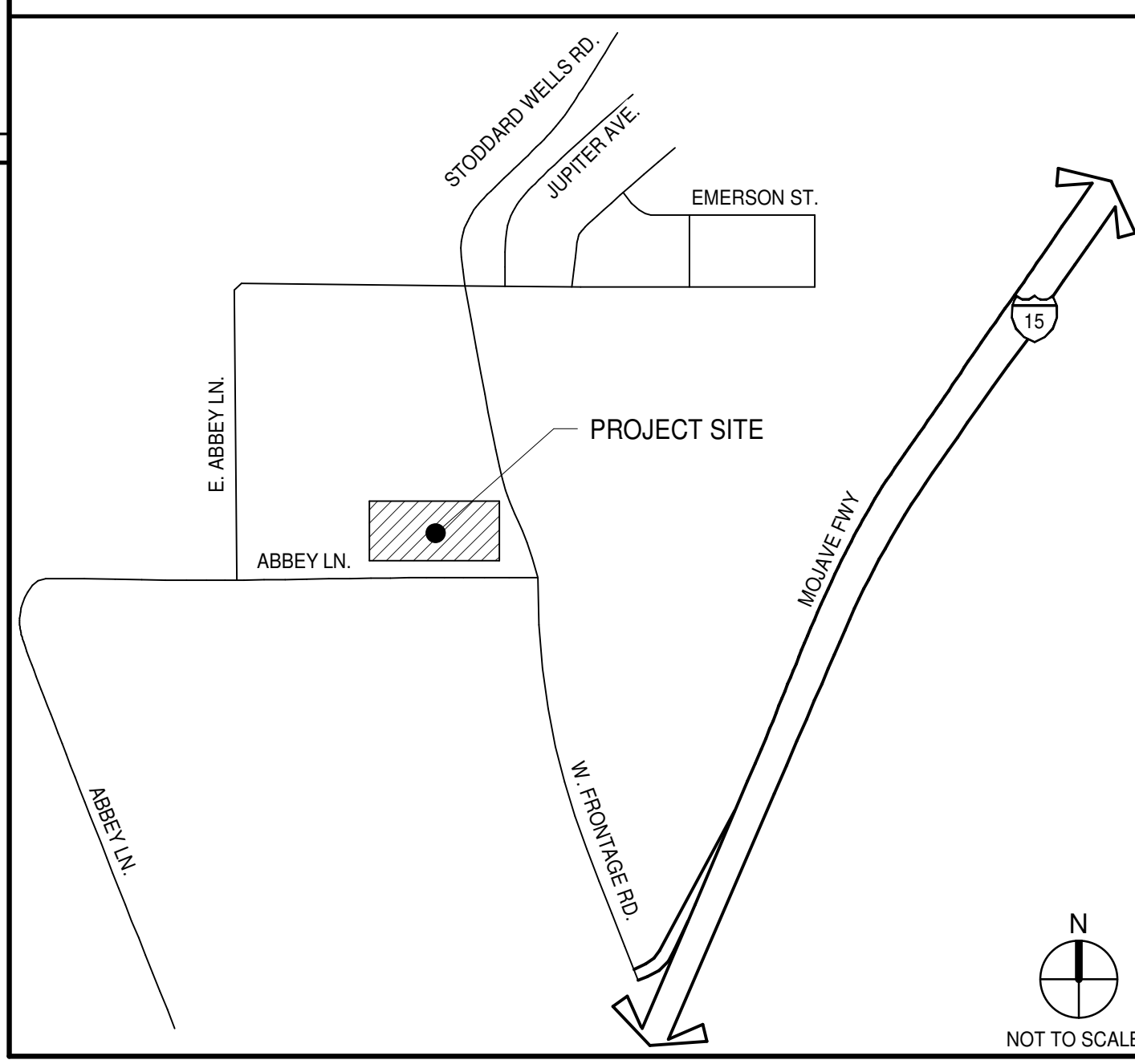
- C01 TITLE SHEET
 - C02 OVERALL PLAN & NOTES
 - C03 PRELIMINARY GRADING PLAN
 - C04 PRELIMINARY GRADING PLAN
 - C05 PRELIMINARY GRADING PLAN
 - C06 PRELIMINARY GRADING PLAN
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 - C08 PRELIMINARY UTILITY PLAN
- CIVIL SHEET COUNT: 8

WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
INTERIORS
IRVINE, CA 92618
P 949.660.9128



**AMRAPUR STODDARD WELLS
VICTORVILLE**
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394

VICINITY MAP



OWNER

SUAJ VICTORVILLE LLC
1500 E 6TH STREET
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CORONA, CALIFORNIA 92879
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GENERAL CONTRACTOR

T.B.D

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OWNER'S CONSULTANTS

NO CONSULTANTS LISTED.

ARCHITECT'S CONSULTANTS

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WRIGHT ENGINEERS
2 VENTURE, SUITE 200
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IRVINE, CALIFORNIA 92618
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RPM ENGINEERS
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102 DISCOVERY
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LANDSCAPE ARCHITECT
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DEFERRED SUBMITTALS

NO DEFERRED SUBMITTALS LISTED.

TITLE SHEET

DATE	REMARKS
03/04/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RE-SUBMITTAL
10/05/2022	PLANNING RE-SUBMITTAL

DATE: 03/04/2022
DRAWN BY: J.G.C.B.
JOB NO.: IRV21-0068-01

P.A.P.M.: M. MOHAMMADI
DRAWN BY: J.G.C.B.
JOB NO.: IRV21-0068-01

SHEET
A0.1

Architect: D:\Projects\2021\03\04\Amrapur Stoddard Wells Victorville\0304_A01.dwg

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ZONE: (S-P SPECIFIC PLAN)

ABBAY LANE

PARCEL 3
(PER TITLE REPORT)
APN 0472-181-12-0-000

PARCEL 6
(PER TITLE REPORT)
APN 0472-181-11-0-000

PARCEL 7
(PER TITLE REPORT) APN
0472-181-72-0-000

PARCEL 5
(PER TITLE REPORT)
APN 0472-181-19-0-000

INDUSTRIAL BLDG
FOOTPRINT: 798,470 SF
MEZZ: 16,950 SF
TOTAL: 815,420 SF
CLR.HGT: 40'

PARCEL 2
(PER TITLE REPORT)
APN 0472-181-43-0-000

ZONE:
(S-P SPECIFIC PLAN)

PARCEL 1
(PER TITLE REPORT)
APN 0472-181-44-0-000

PARCEL 4
(PER TITLE REPORT)
APN 0472-181-47-0-000

STODDARD WELLS ROAD

EXISTING JOSHUA
TREE TO BE REMAIN

NOT A
PART OF
SCOPE

EV PARKING STALL
SEE PRODUCT
DATA

EXISTING UTILITY
EASEMENT TO BE
MODIFIED SEE CIVIL

ZONE: (S-P SPECIFIC PLAN)

PRODUCT DATA

APN:	0472-181-11-0000	0472-181-12-0000	0472-181-13-0000	0472-181-43-0000	0472-181-44-0000	0472-181-47-0000	0472-181-72-0000
SITE AREA:	40.81 AC	43.551 SF	39.81 AC	1,734,294 SF	798,470 SF	16,950 SF	815,420 SF
GROSS:	40.81 AC	43.551 SF	39.81 AC	1,734,294 SF	798,470 SF	16,950 SF	815,420 SF
NET:	40.81 AC	43.551 SF	39.81 AC	1,734,294 SF	798,470 SF	16,950 SF	815,420 SF
R.O.W. DEDICATION:	43.551 SF	39.81 AC	1,734,294 SF	798,470 SF	16,950 SF	815,420 SF	
BUILDING AREA:	798,470 SF	16,950 SF	815,420 SF				
FOOTPRINT:	798,470 SF	16,950 SF	815,420 SF				
MEZZANINE:		16,950 SF					
TOTAL BUILDING AREA:		16,950 SF					
BUILDING USE:							
WAREHOUSE:	772,160 SF						
OFFICE:	43,260 SF						
FAR:	0.47						
GROSS:	0.47						
NET:	0.48						
COVERAGE:	45%						
NET:	46%						
PARKING REQUIRED:							
WAREHOUSE:							
1ST 40K:	1/1000 SF	40	STALLS				
40K OVER:	1/4000 SF	164	STALLS				
TOTAL:	1/300 SF	204	STALLS				
PARKING PROVIDED:							
AUTO:		379	STALLS				
REQ ACCESSIBLE:		8	STALLS				
REQ EV CHARGING SPACES:	@10%	38	STALLS				
TRAILER:		219	STALLS				
TRUCK DOCKS:							
DOCK-HIGH DOORS:		92					
GRADE-LEVEL DOORS:		4					

DEVELOPMENT STANDARDS

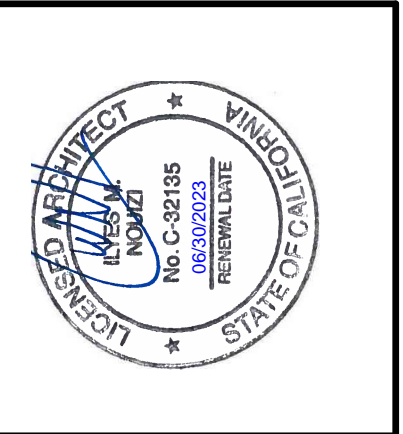
ZONING:	M1
MAX. COVERAGE:	60%
MAX. HEIGHT:	55 FT
BUILDING SETBACKS:	
FRONT:	10 FT
SIDE:	0 FT
REAR:	0 FT
LANDSCAPE SETBACKS:	
FRONT:	5 FT
SIDE:	5 FT
REAR:	5 FT
OFF-STREET PARKING:	
STANDARD:	9x20
COMPACT:	N/A
DRIVE AISLE:	26 FT
FIRE LANE:	30 FT
OVERHAND:	2 FT
TREE WELL:	5 FT
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	1/1000 SF
MANUF.:	1/EMP
OFFICE:	1/300 SF

- NOTES:
- 10 FEET WHEN STREET FACING.
 - 1 SPACE PER 1,000 SQ FT FOR THE FIRST 40,000 SQ FT AND 1 SPACE PER 4,000 SQ FT FOR THE PORTION OVER 40,000 SQ FT.

LEGEND

- ACCESSIBLE PATH OF TRAVEL: 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- ▨ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE (HATCHED).
- PARKING STALL COUNT TOTAL.
- DOCK HIGH TRUCK DOOR.
- GRADE LEVEL TRUCK DOOR.
- FIRE HYDRANT.
- P.I.V. WITH TAMPER.
- EV ELECTRIC VEHICLE CHARGING STATION.

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PLANNING
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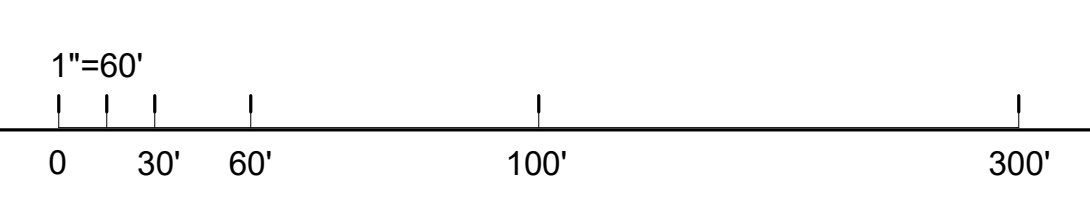
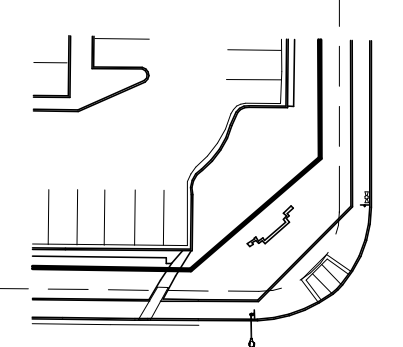
**AMRAPUR STODDARD WELLS
VICTORVILLE
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394**

SITE PLAN

DATE	REMARKS
03/02/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RE-SUBMITTAL
10/05/2022	PLANNING RE-SUBMITTAL
11/07/2022	PLANNING RE-SUBMITTAL

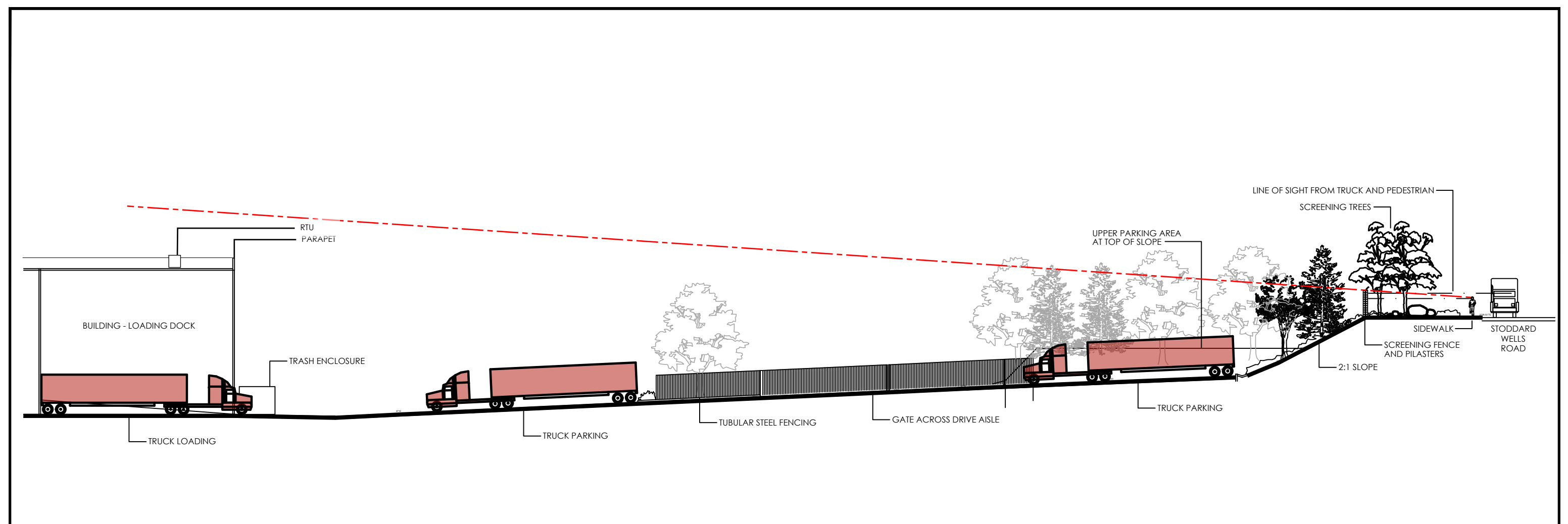
PAPM: M. MOHAMMADI
DRAWN BY: J.G.C.B.
JOB NO.: IRV21-0068-01

SHEET
A1.1



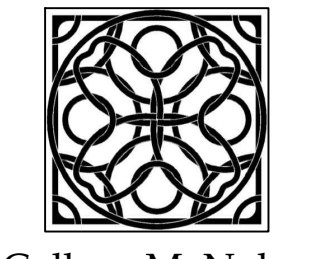
SITE PLAN
SCALE: 1" = 60'-0"

Autodesk DWG 1/10/21 10:08:52 AM Project: 17198-17000 Victor Wells - IRV21-0068-01_P121.rvt



SECTION CUT AT TRUCK DOCK AREA

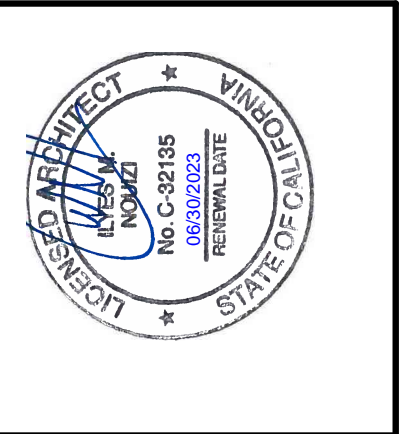
SCALE: 1"=30'-0"
0 30 60



Colleen M. Nolan
Landscape Architect, #2439
cnolan@cox.net
13355 Silverado Court, Corona 92883
714-743-7915 cell

AMRAPUR - INDUSTRIAL BLDG
9.27.2022

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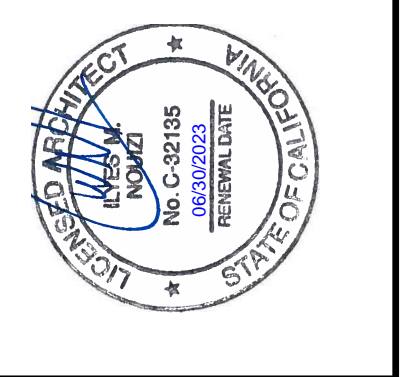


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VICTORVILLE, CALIFORNIA 92394

LINE OF SIGHT PLANS	
DATE	REMARKS
10/05/2022	PLANNING RESUBMITTAL

PA/PM: M. MOHAMMADI
DRAWN BY: J.G./C.B.
JOB NO.: IRV21-0068-01

SHEET
A1.1a

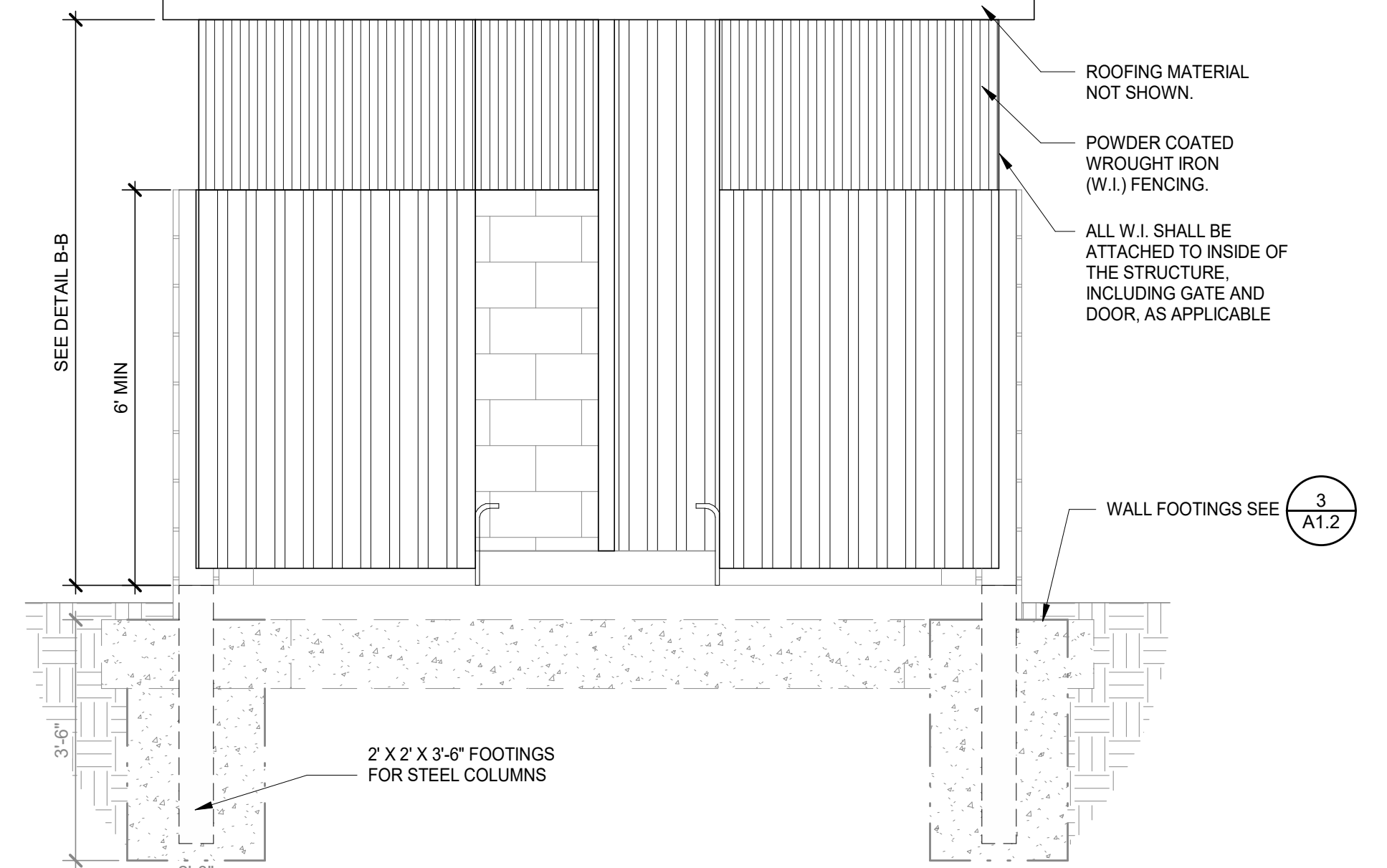
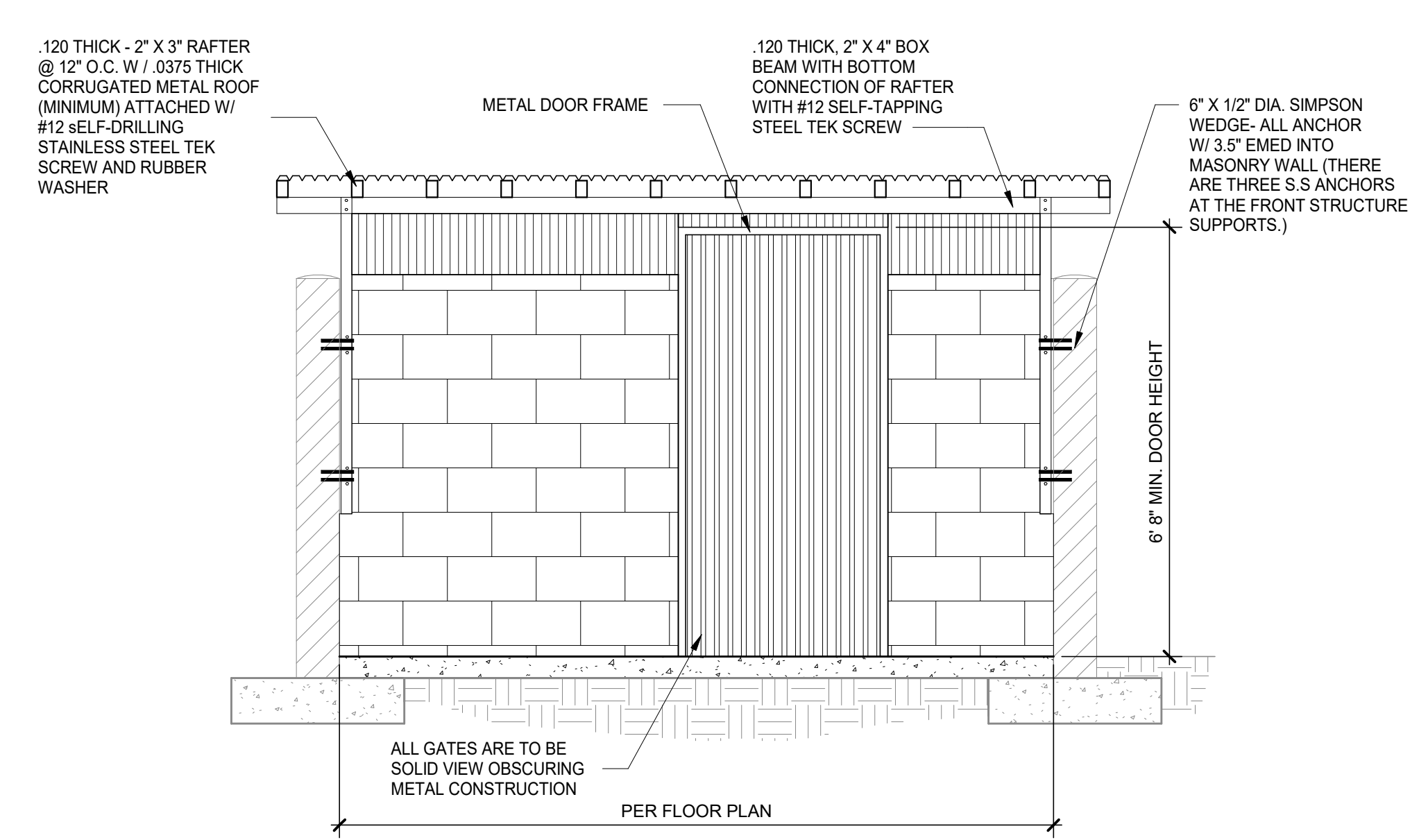
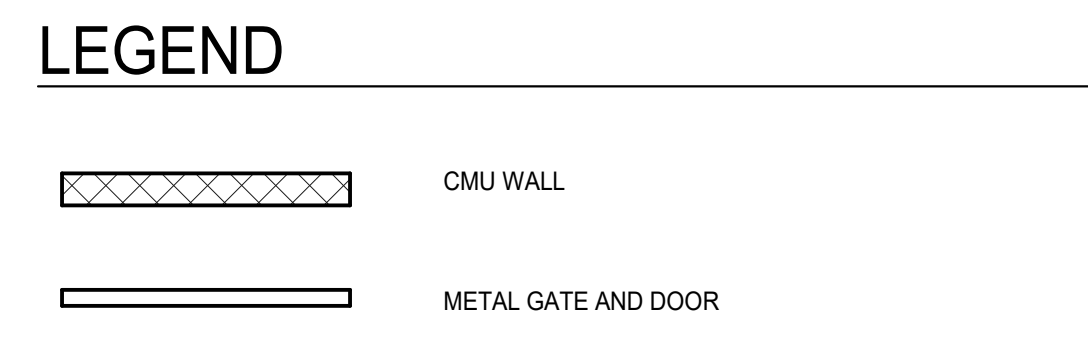
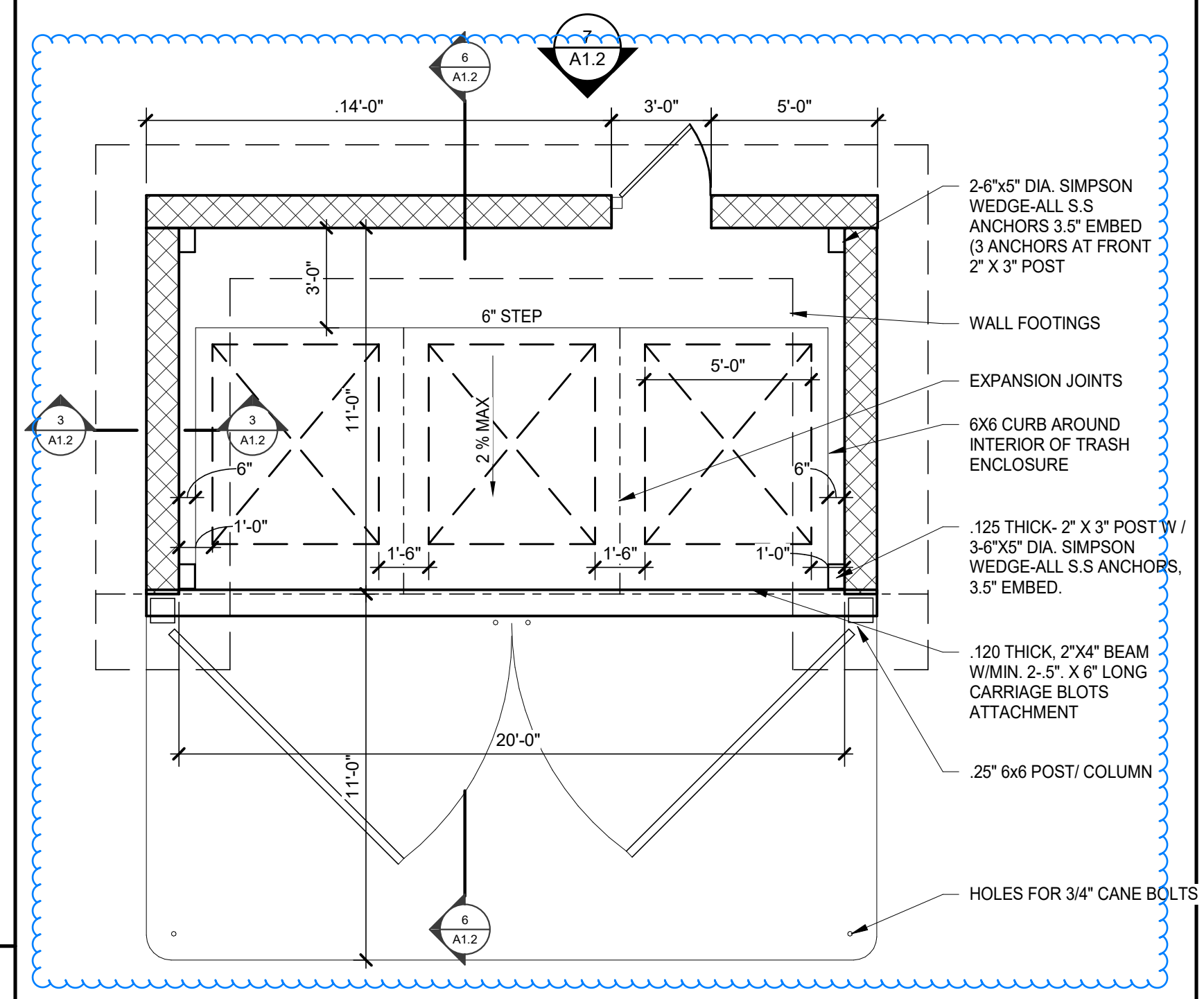
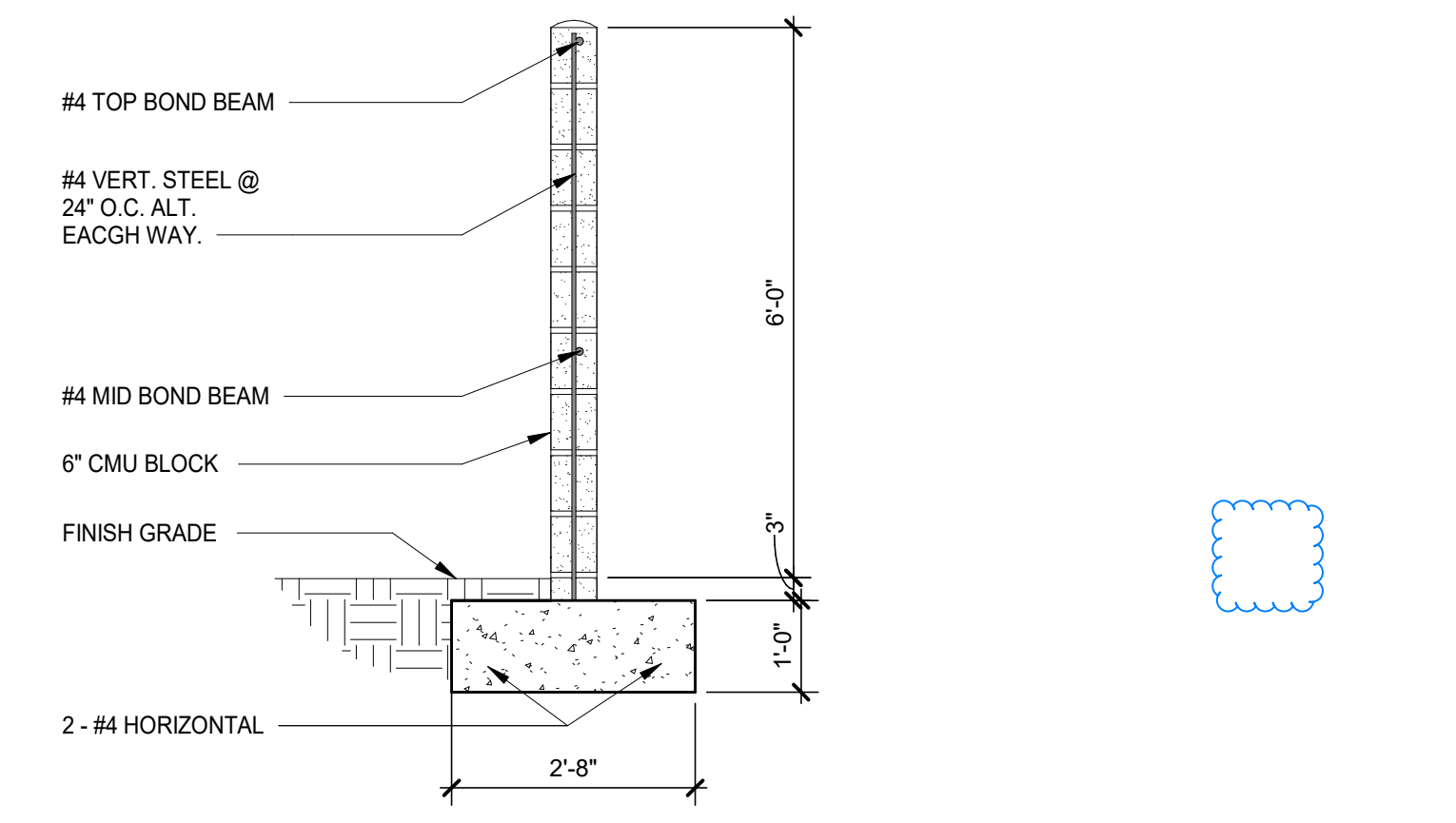
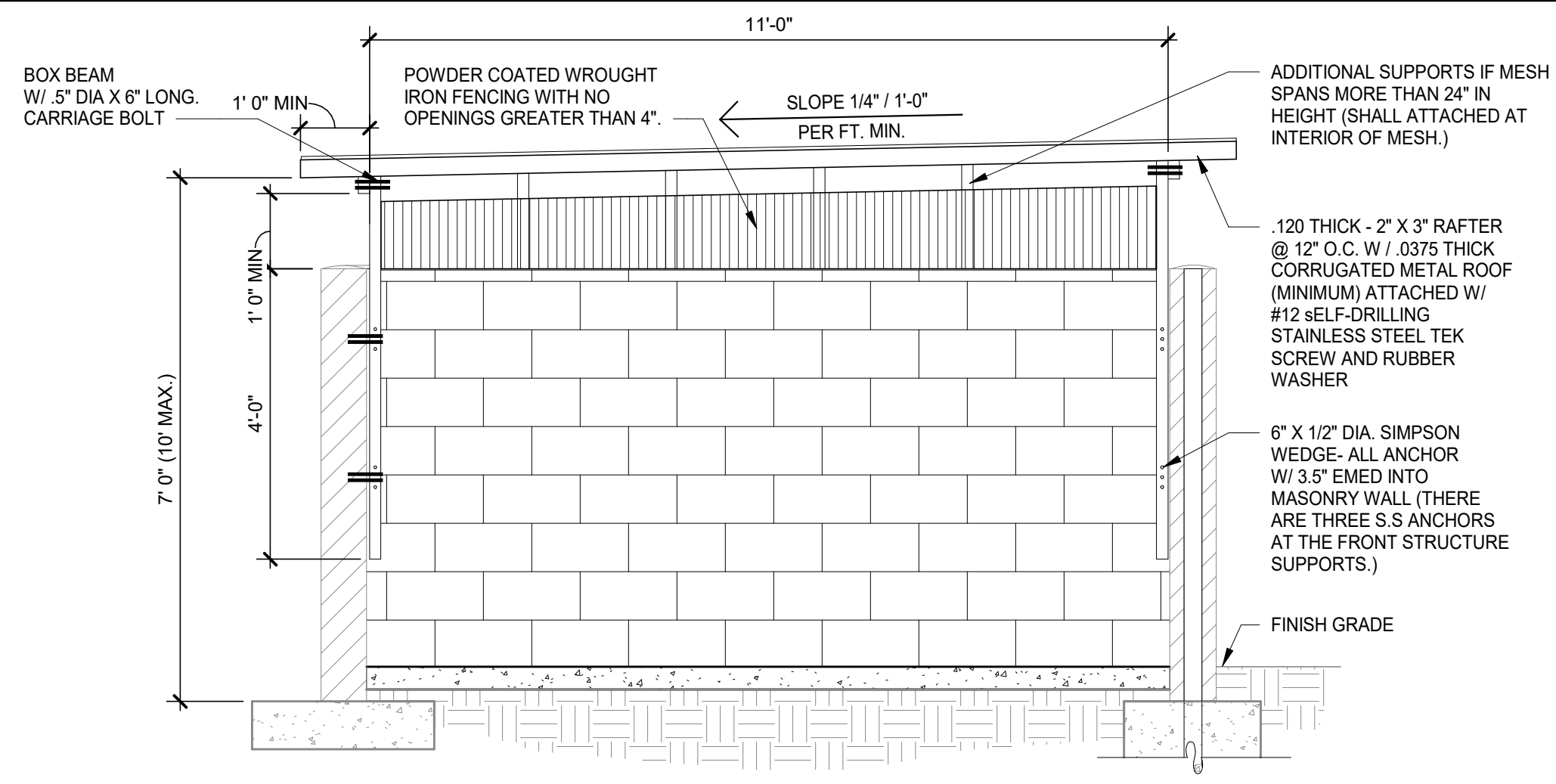
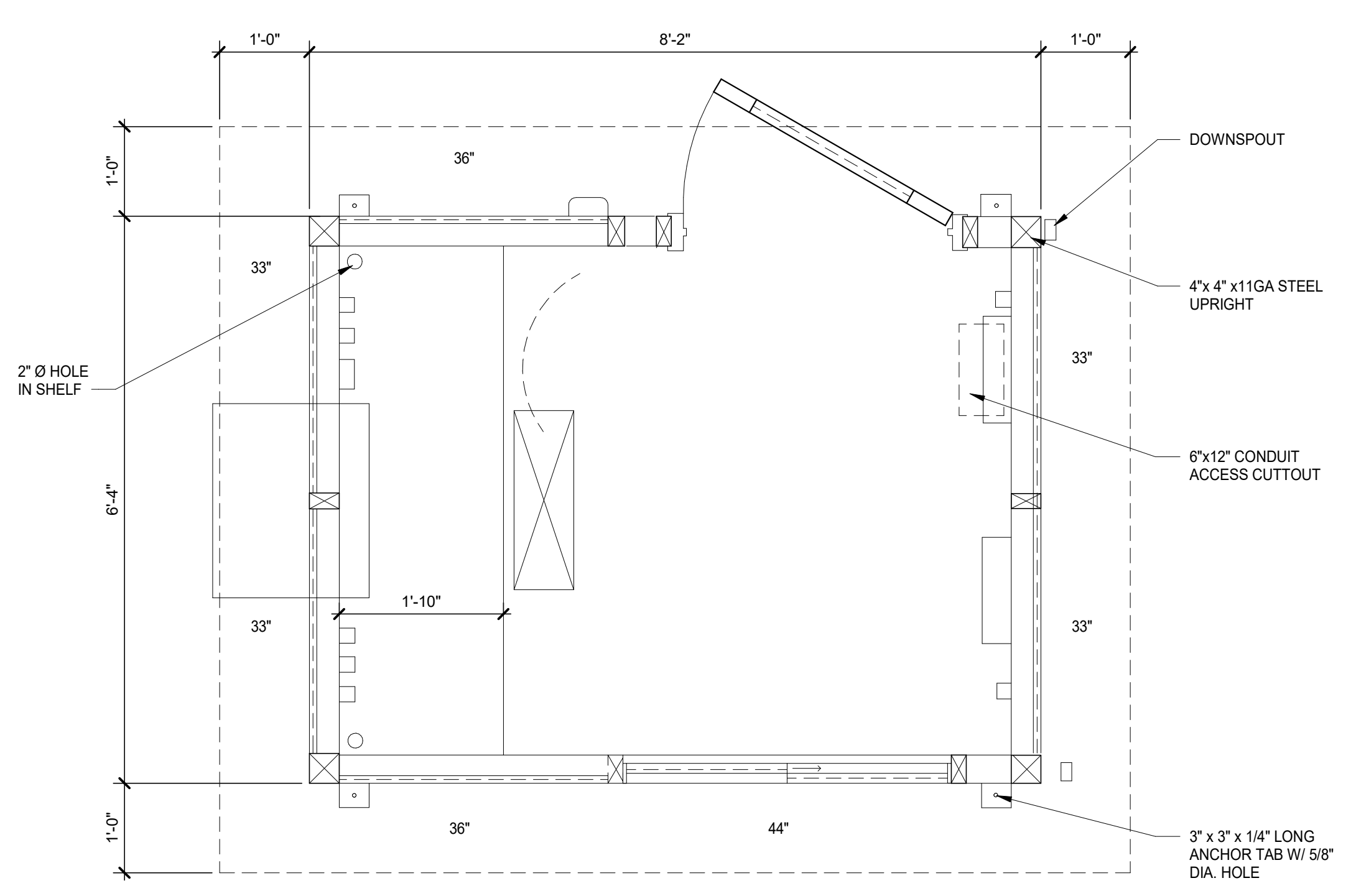
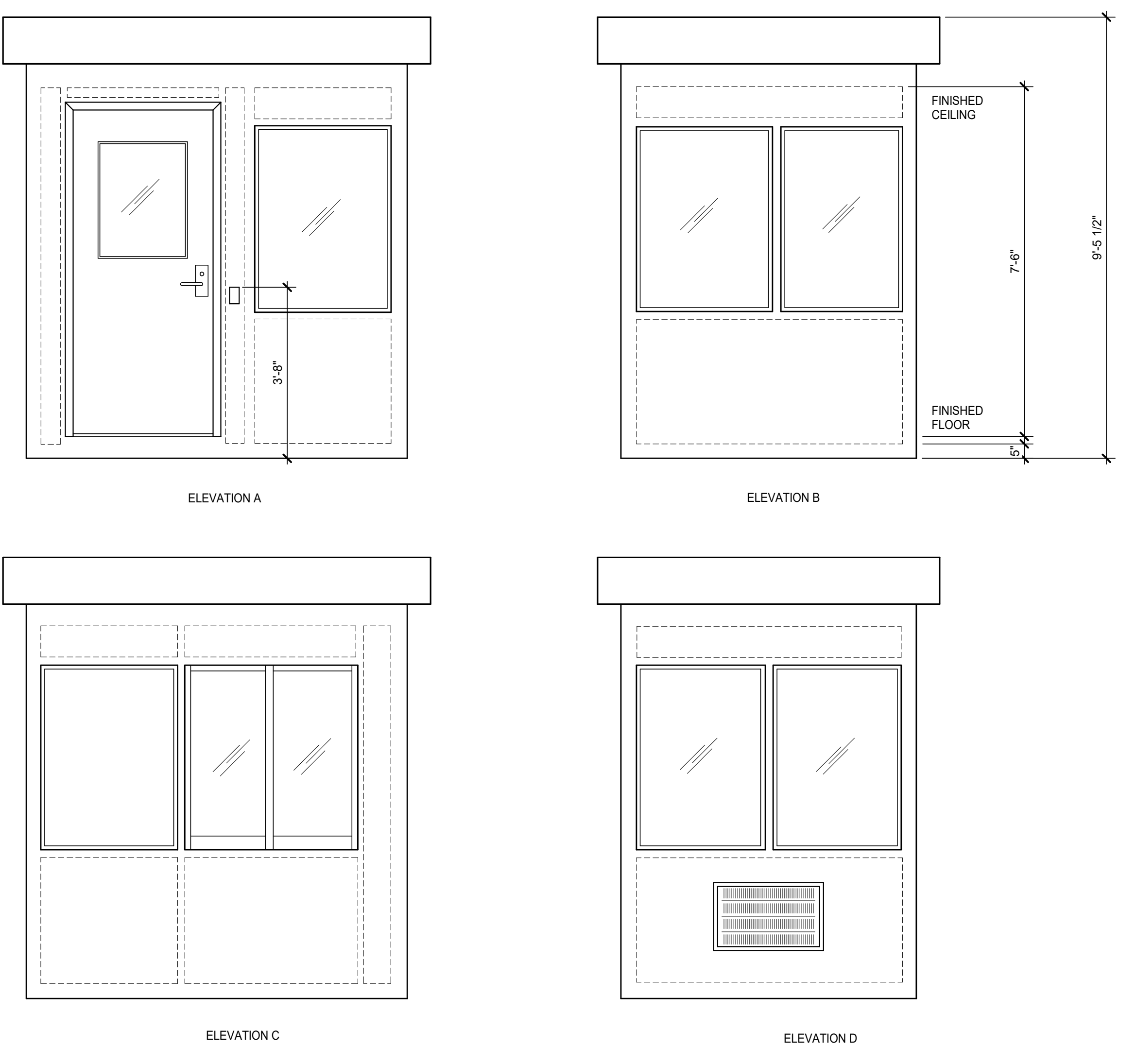


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DATE	REMARKS
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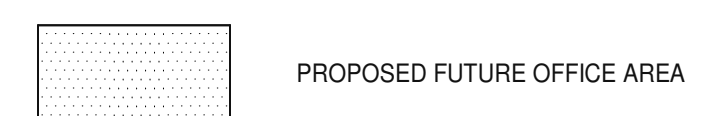
PAPM: M. MOHAMMADI
DRAWN BY: J.G./C.B.
JOB NO.: IRV21-0068-01

SHEET
A1.2



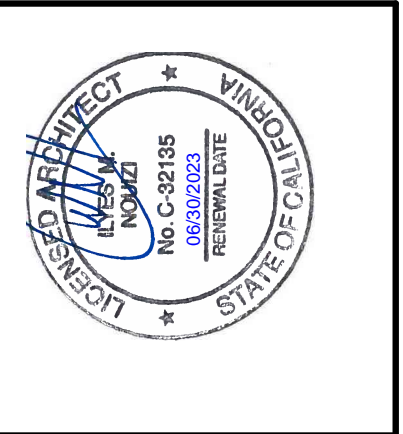
- WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY OR SIMILAR MATERIALS CONSISTENT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING.
- ALL GATES ARE TO BE SOLID NON-TRANSPARENT METAL CONSTRUCTION.
- SWIVEL POINTS ON DOORS SHALL BE LOCATED OUTSIDE OF THE OPENING AREA OF THE ENCLOSURE.
- SWIVEL POINTS SHALL BE ATTACHED TO CONCRETE FILLED STEEL POSTS/COLUMNS AT WALL ENDS.
- ENCLOSURE SHALL BE ON A LEVEL CONCRETE PAD AT GROUND LEVEL. THE AREA BETWEEN THE PAD AND THE PICK UP AREA SHALL BE A PAVED AREA 4" DEEP FOR THE WIDTH OF THE ENCLASURE AND SHALL NOT EXCEED A GRADE OF 2%.
- ENCLOSURE GATE FRAMING SHALL EXTEND TO THE TOP OF THE MESH FOR ATTACHMENT AND SUPPORT.
- ALL ANCHORS SHALL BE STRUCTURAL STEEL (S.S).

LEGEND



PROPOSED FUTURE OFFICE AREA

WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING
PLANNING BRANDING BUILDING MEASUREMENT
10 Folsom
Folsom, CA 95630
P 916.660.9128



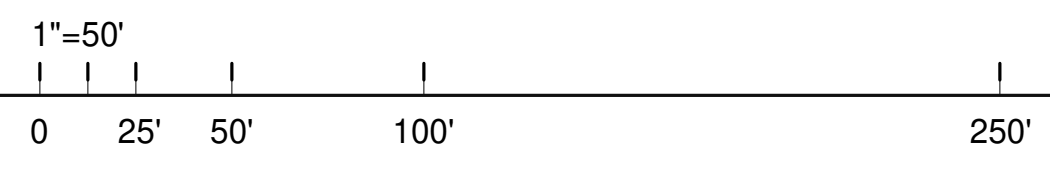
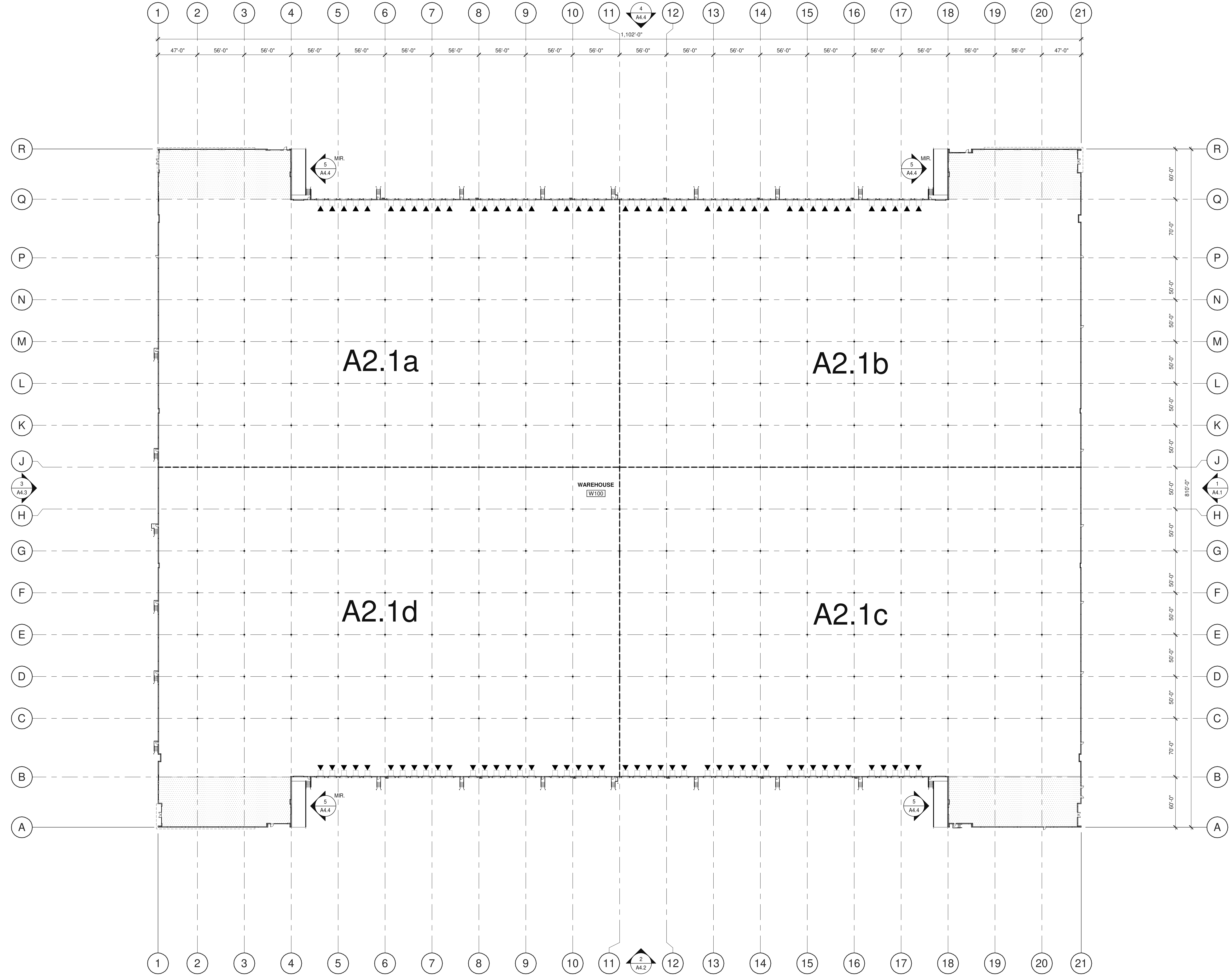
AMRAPUR STODDARD WELLS
VICTORVILLE
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394

OVERALL FLOOR PLAN

DATE	REMARKS
03/01/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RESUBMITTAL
10/05/2022	PLANNING RESUBMITTAL

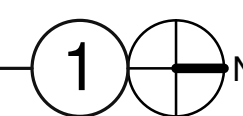
P.A.P.M.: M. MOHAMMADI
DRAWN BY: J.G./C.B.
JOB NO.: IRV21-0068-01

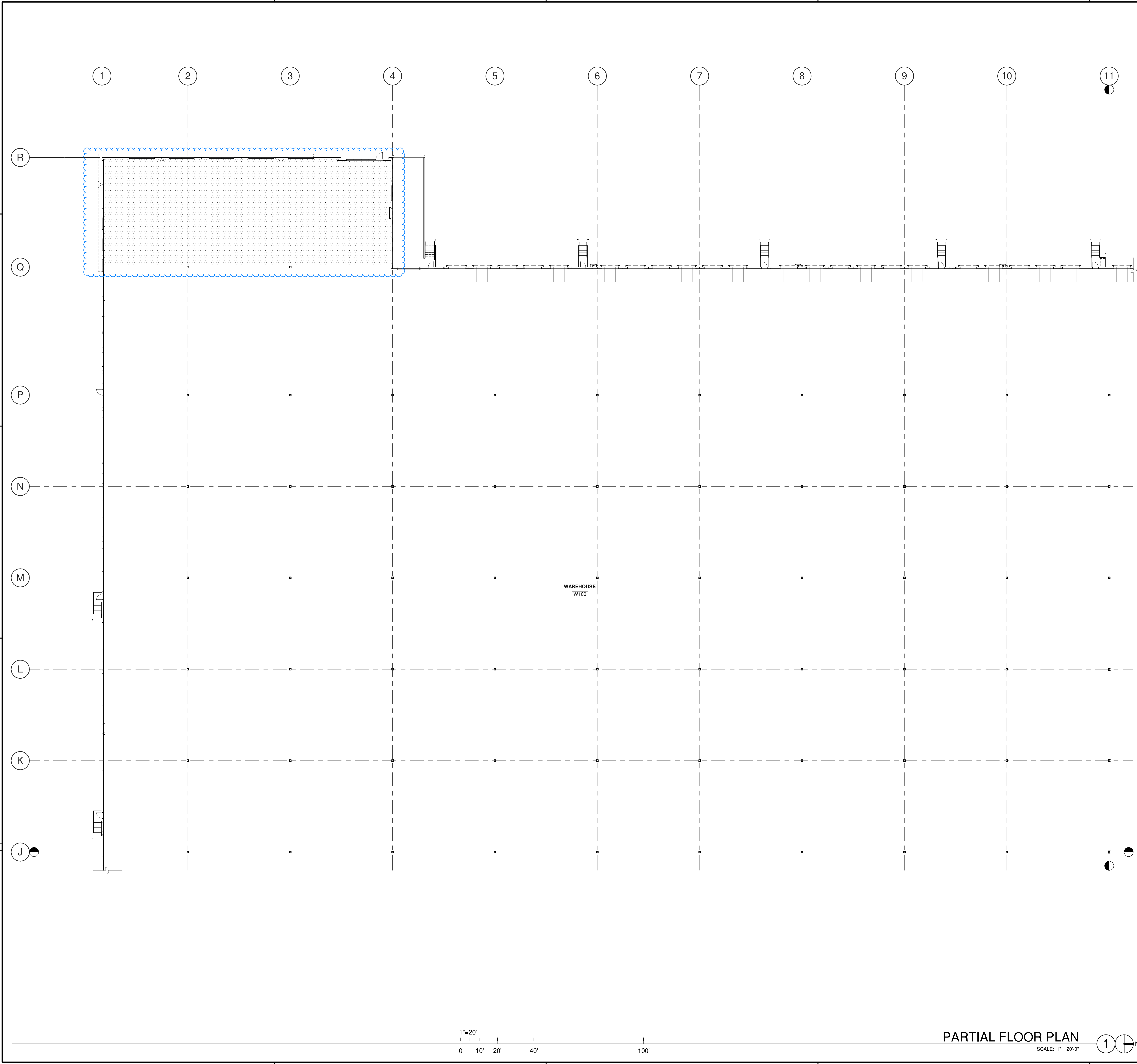
SHEET
A2.1



OVERALL FLOOR PLAN

SCALE: 1" = 50'-0"





KEYNOTES:

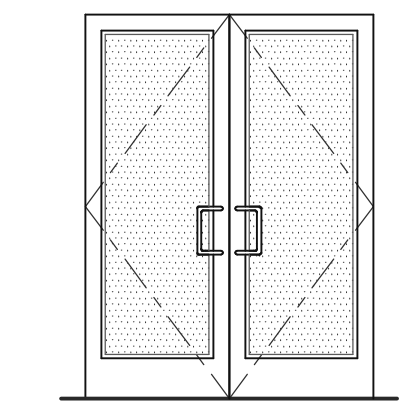
DOOR TYPES

(CW1) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. CURTAIN WALL
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER

(SF2) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER



(F1) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

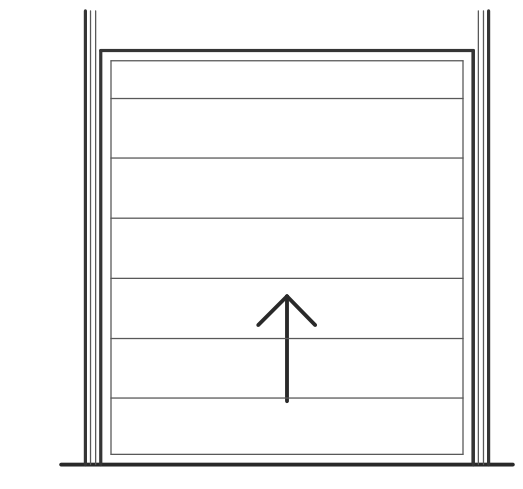
(F2) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOUBLE DOOR
FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HWY DUTY FLOOR STOP

(SD1) 9'-0" x 10'-0"
DOCK HIGH SECTIONAL VERTICAL
LIFT OVERHEAD DOOR W/ FACTORY
PAINTED FINISH.

(RU) 12'-0" x 14'-0"
ROLL UP DOOR W/ FACTORY
PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK



DOOR NOTES

BUTT HINGES:
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.
VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: FRANKO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

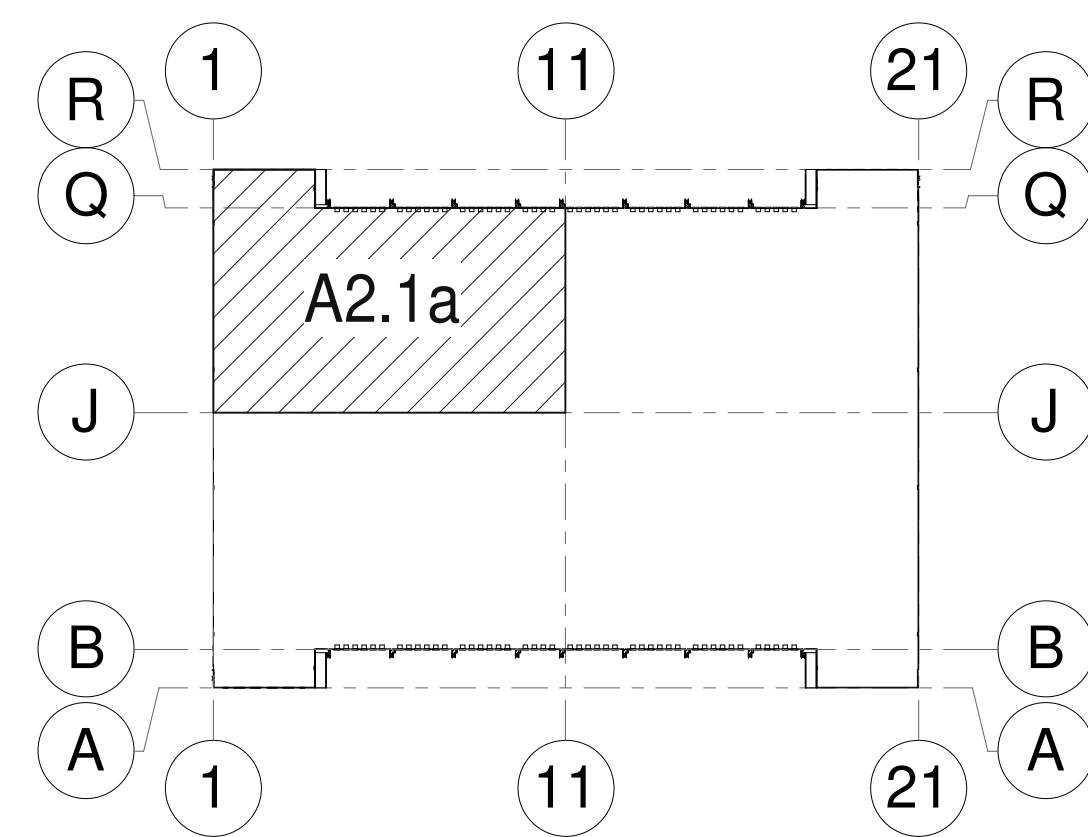
LEGEND

PROPOSED FUTURE OFFICE AREA

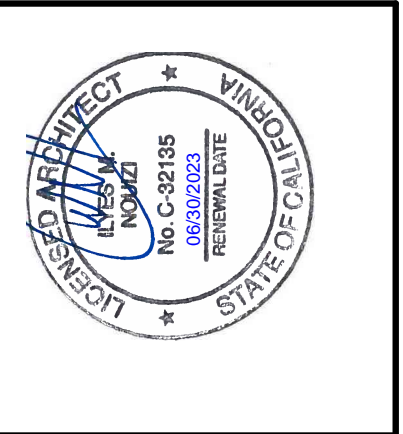
WALL LEGEND

CONCRETE WALL

KEY PLAN



WARE MALCOMB
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10000
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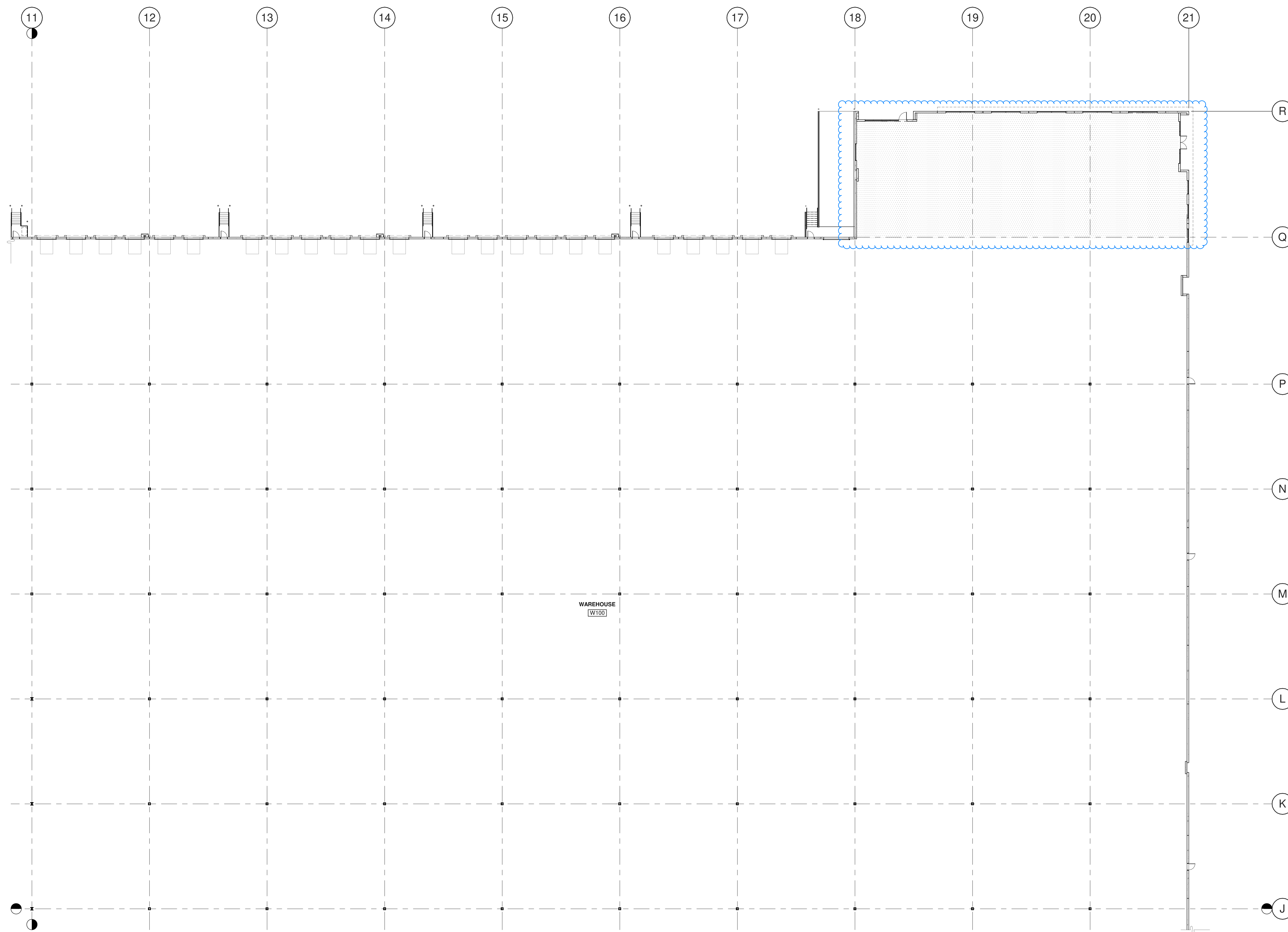


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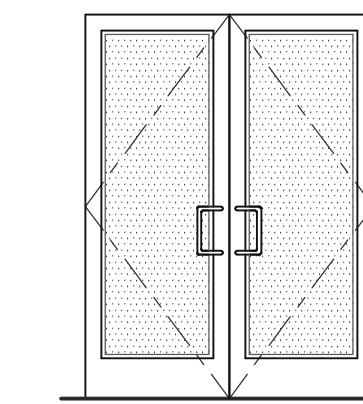
P/APP: M. MOHAMMADI
DRAWN BY: J.G./C.B.
JOB NO.: IRV21-0068-01

SHEET
A2.1a

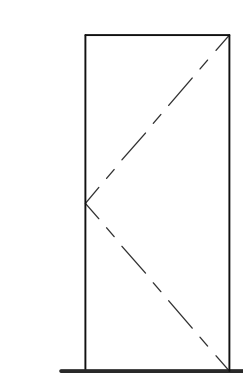


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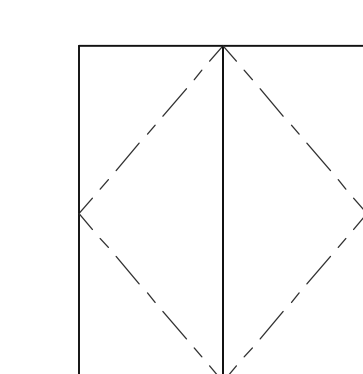
- (CW1) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. CURTAIN WALL
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER
- (SF2) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER



- HARDWARE:**
- 2 SETS PIVOT SET
 - 2 SETS INTER PIVOT
 - 1 EA MORTISE CYLINDER
 - 2 SETS OFFSET PULL
 - 2 EA OH CLOSER
 - 1 EA THRESHOLD
 - 1 EA DECAL
- NOTE: WEATHERSEAL BY DOOR MANUFACTURER

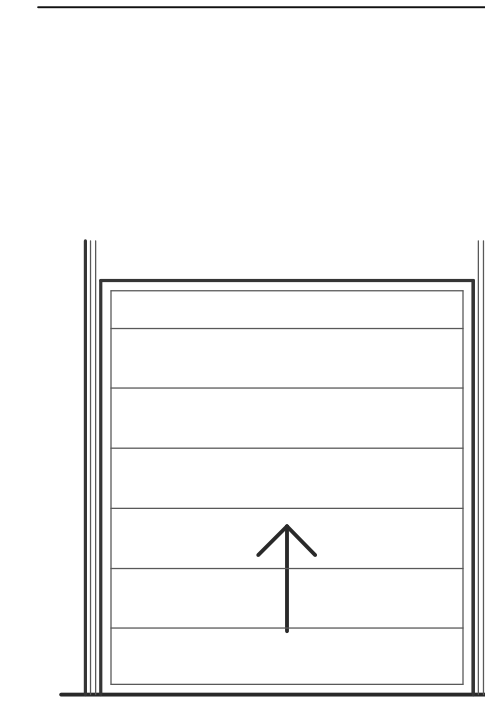


- (F1) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL



- (F2) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOUBLE DOOR
FRAME: PAINTED HOLLOW METAL

- HARDWARE:**
- 3 EA HINGES
 - 1 EA EXIT DEVICE
 - 1 EA CYLINDER
 - 1 EA CLOSER
 - 1 EA PERIMETER SEAL
 - 1 EA BOTTOM DRIP
 - 1 EA THRESHOLD
 - 1 EA LOCK GUARD
 - 1 EA HWY DUTY FLOOR STOP

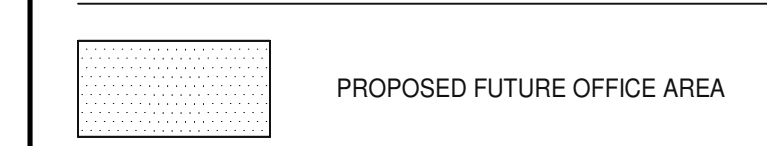


- (SD1) 9'-0" x 10'-0"
DOCK HIGH SECTIONAL VERTICAL
LIFT OVERHEAD DOOR W/ FACTORY
PAINTED FINISH.
 - (RL1) 12'-0" x 14'-0"
ROLL UP DOOR W/ FACTORY
PAINTED FINISH
- HARDWARE:**
- 1 EA SLIDE BOLT
 - 1 EA PAD LOCK

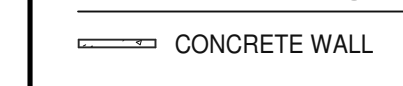
DOOR NOTES

BUTT HINGES:
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.
VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: FRANKO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

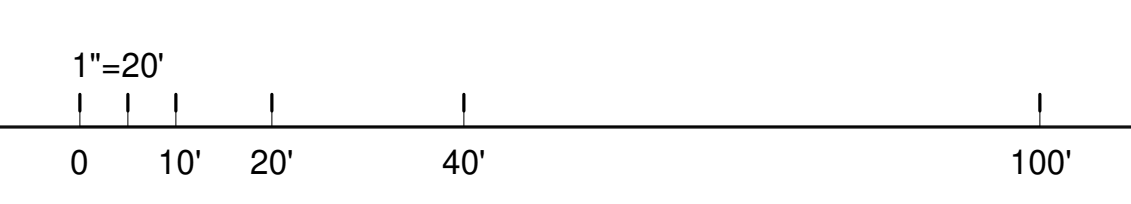
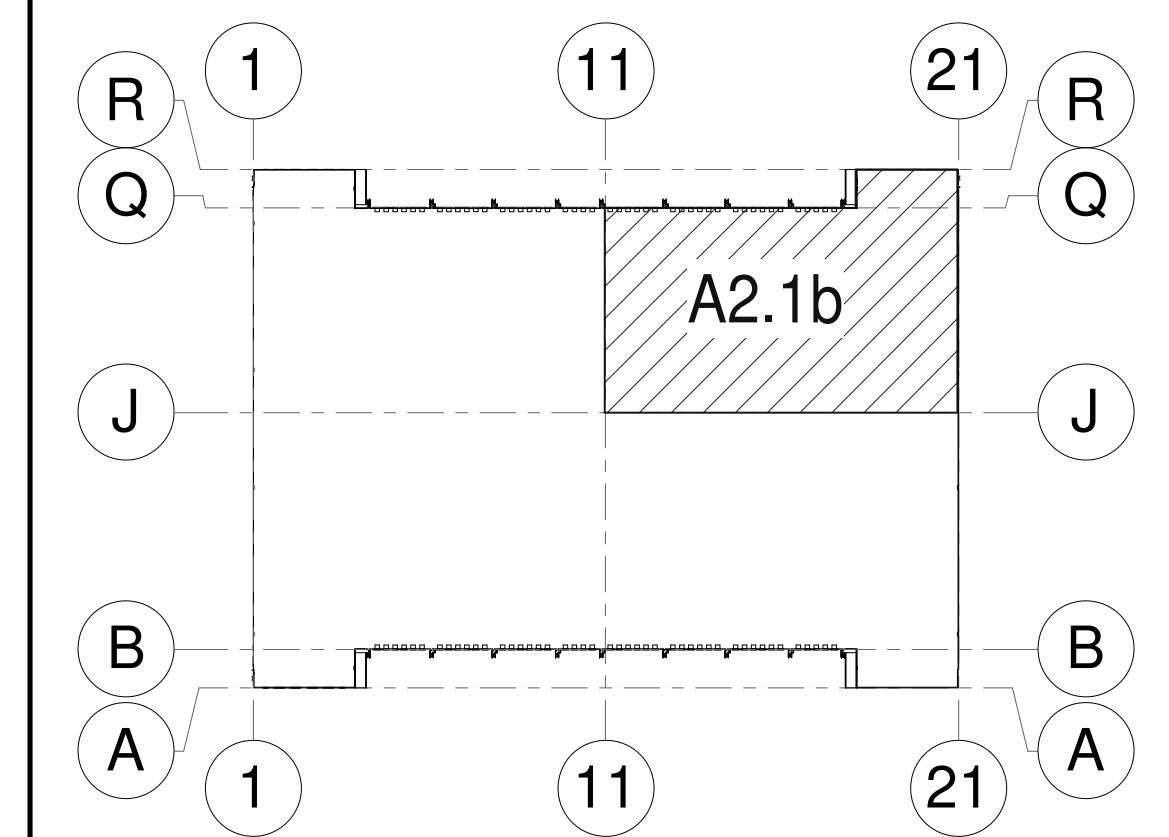
LEGEND



WALL LEGEND

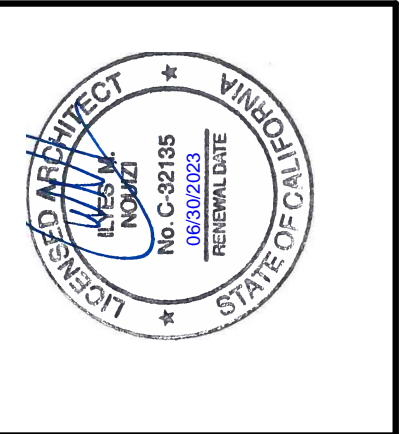


KEY PLAN



PARTIAL FLOOR PLAN
SCALE: 1" = 20'-0"

WARE MALCOLM
ARCHITECTURE CIVIL ENGINEERING
PLANNING BRANDS BUILDING MEASUREMENT
100 E. 4th Street
Vincennes, IN 47591
P: 846.660.9128



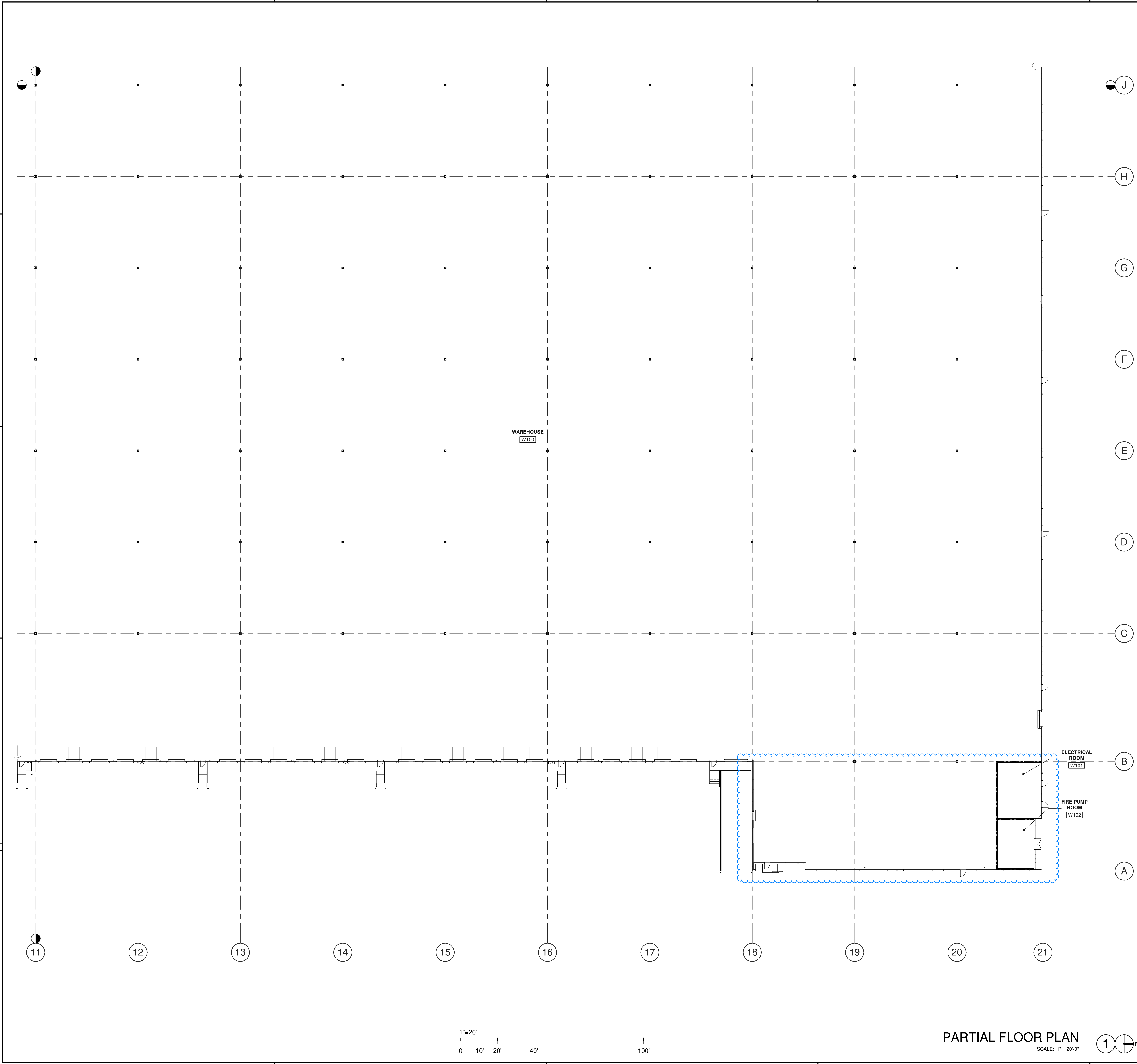
AMRAPUR STODDARD WELLS
VICTORVILLE
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394

PARTIAL FLOOR PLAN	
DATE	REMARKS
03/01/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RESUBMITTAL
10/05/2022	PLANNING RESUBMITTAL

P.A.P.M.: M. MOHAMMADI
DRAWN BY: J.G. / F.H. / C.B.
JOB NO.: IRV21-0068-01

SHEET
A2.1b

Address: D:\Projects\2021\0068\01_Plan\0068-FloorPlan-Victoria\0068_A2.1b.rvt



KEYNOTES:

DOOR TYPES

(CW1) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. CURTAIN WALL
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER

(SF2) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

(F1) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(F2) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOUBLE DOOR
FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA Hvy DUTY FLOOR STOP

(SD1) 9'-0" x 10'-0"
DOCK-HIGH SECTIONAL VERTICAL
LIFT OVERHEAD DOOR W/ FACTORY
PAINTED FINISH.

(RU1) 12'-0" x 14'-0"
ROLL UP DOOR W/ FACTORY
PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

DOOR NOTES

BUTT HINGES:
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.
VON DUPON 88 SERIES PAINC DEVICE OR APPROVED EQUAL.
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL.
STOPS: TRIMCO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

LEGEND

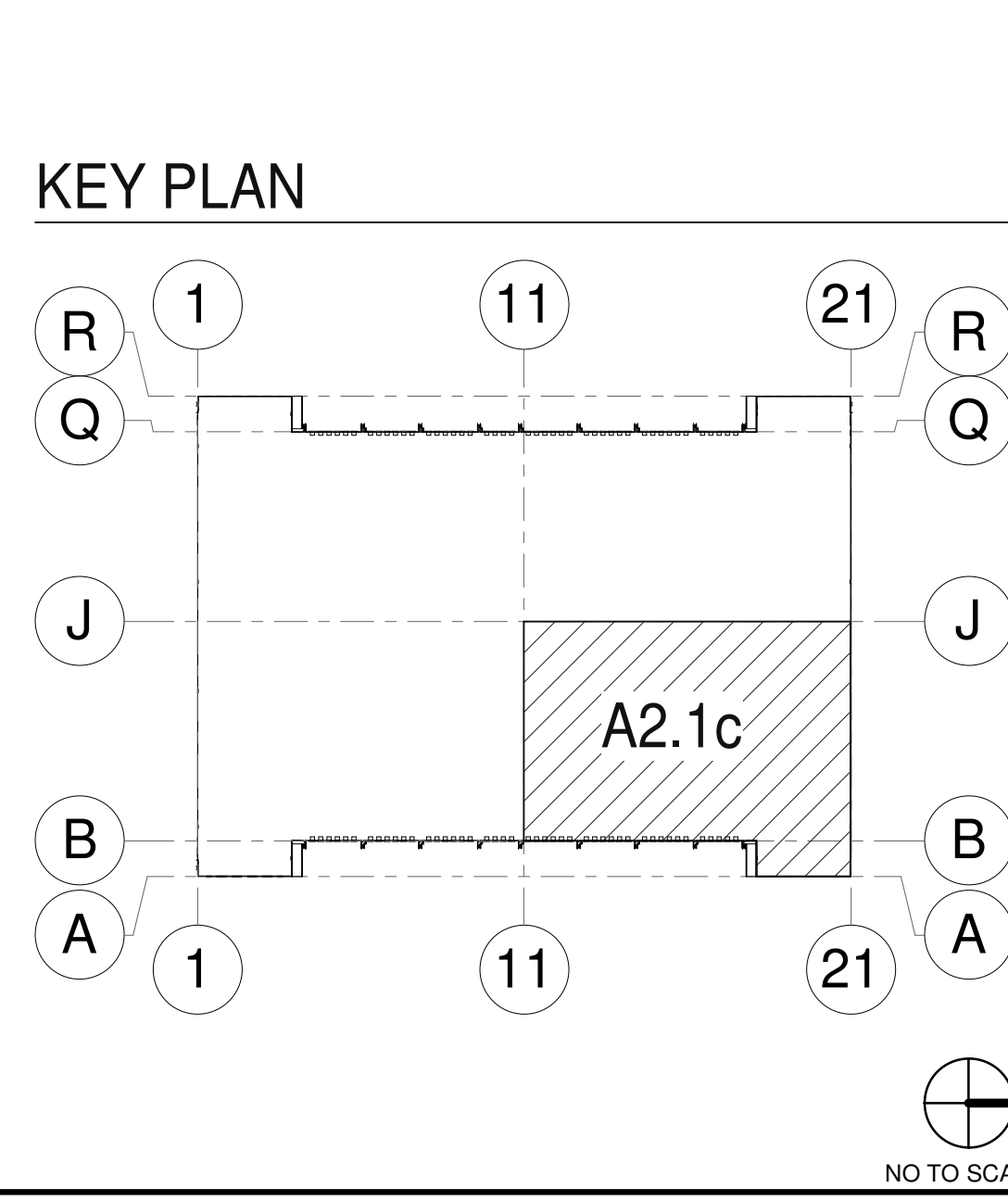
LEGEND

PROPOSED FUTURE OFFICE AREA

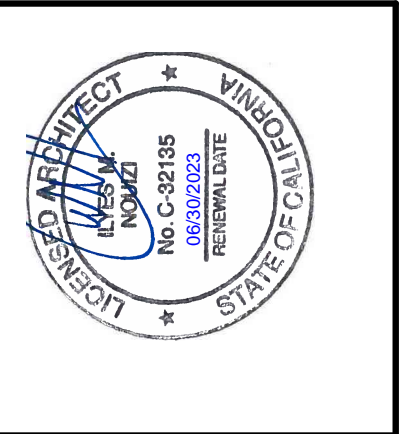
WALL LEGEND

CONCRETE WALL

KEY PLAN



WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING PLANNING INTERIORS
10000
VICTORVILLE, CA 92388
P 949.660.9128



AMRAPUR STODDARD WELLS
VICTORVILLE
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394

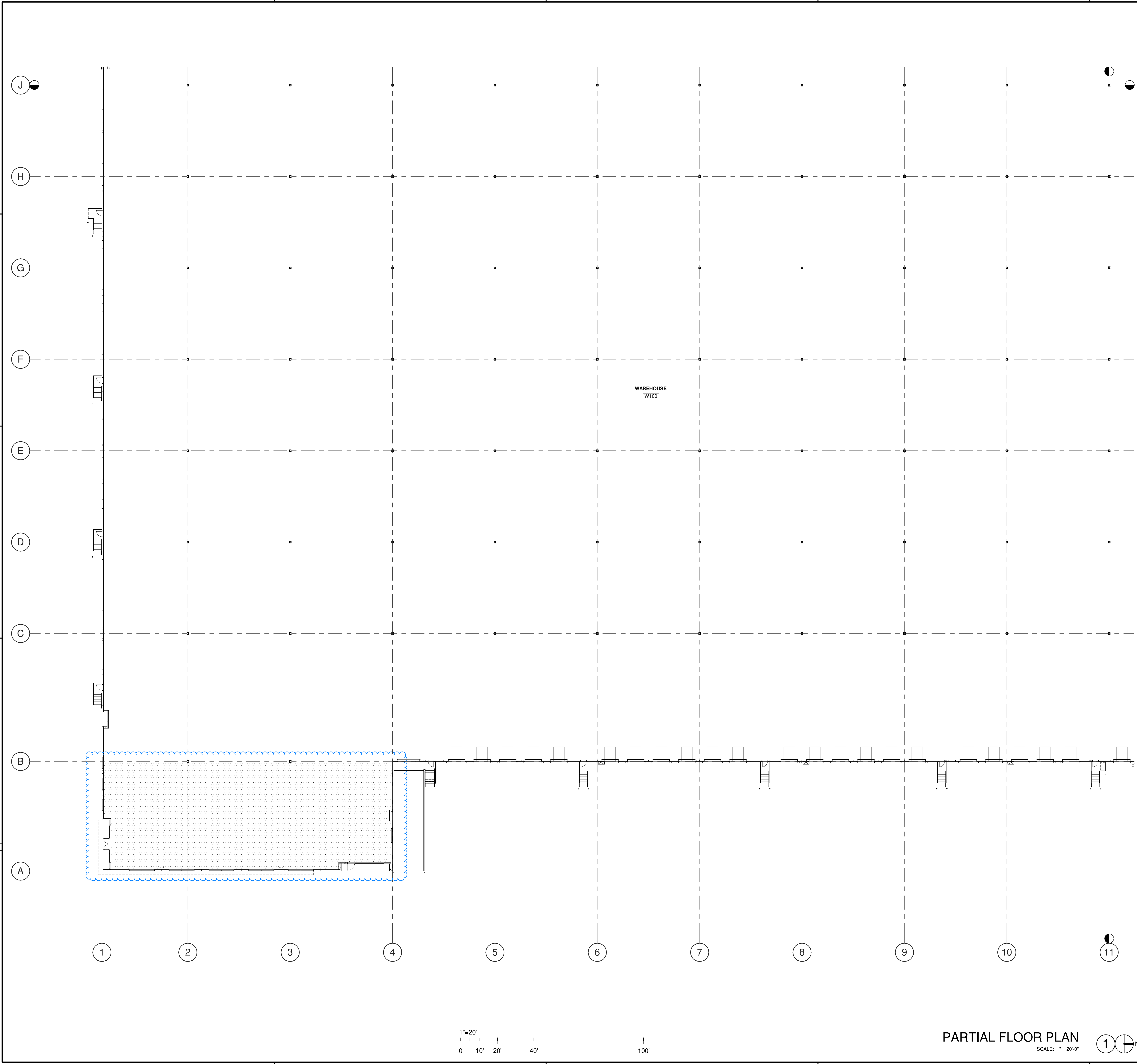
PARTIAL FLOOR PLAN

DATE	REMARKS
03/04/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RESUBMITTAL
10/05/2022	PLANNING RESUBMITTAL

PA/PM: M. MOHAMMADI
DRAWN BY: J.G./C.B.
JOB NO.: IRV21-0068-01

SHEET
A2.1c

Address: D:\IRV21\0068\01_Ampur\Stodard\Wells\Victorville\0068_A2.1c.rvt



KEYNOTES:

DOOR TYPES

(CW1) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. CURTAIN WALL
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER

(SF2) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR W/TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

(F1) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(F2) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOUBLE DOOR
FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP

(SD1) 9'-0" x 10'-0"
DOCK HIGH SECTIONAL VERTICAL
LIFT OVERHEAD DOOR W/ FACTORY
PAINTED FINISH

(RUI) 12'-0" x 14'-0"
ROLL UP DOOR W/ FACTORY
PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

DOOR NOTES

BUTT HINGES:
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.
VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL.
CLOSING DEVICES: NORTON 8500 OF SERIES OR APPROVED EQUAL.
STOPS: TRIMCO W1200 SERIES DOOR STOP.
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD.

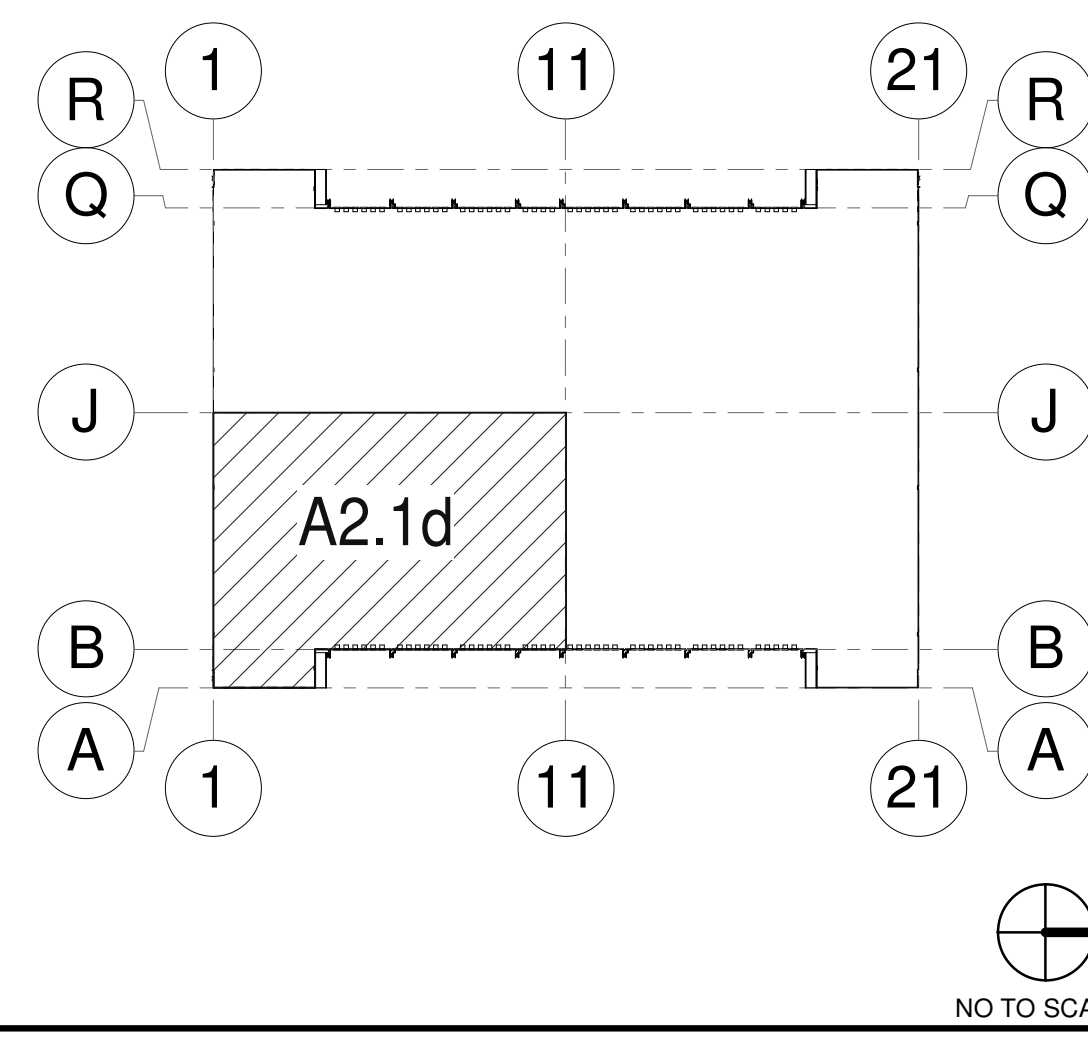
LEGEND

PROPOSED FUTURE OFFICE AREA

WALL LEGEND

CONCRETE WALL

KEY PLAN



WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING
PLANNING INTERIORS
10000
VICTORVILLE, CA 92385
P 949.660.9128



AMRAPUR STODDARD WELLS
VICTORVILLE
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394

PARTIAL FLOOR PLAN	
DATE	REMARKS
03/04/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RESUBMITTAL
10/05/2022	PLANNING RESUBMITTAL

P.A.P.M.:	M. MOHAMMADI
DRAWN BY:	J.G./C.B.
JOB NO.:	IRV21-0068-01

SHEET
A2.1d

Address: D:\17198\17000\17000_01_Plan\17000_01_Plan.dwg
 Author: Victor Wells
 Date: 10/05/2022
 Plot Date: 10/05/2022
 Scale: 1/8" = 1'-0"
 Title: PARTIAL FLOOR PLAN

KEYNOTES:

- 301 BUILT-UP ROOFING OVER WOOD DECK.
- 302 MECHANICAL UNITS. SEE MECHANICAL DRAWINGS.
- 305 CANOPY.
- 306 FLOW LINE TO DRAIN.
- 307 PRIMARY AND SECONDARY DRAINS.

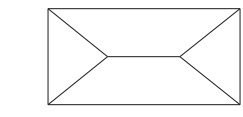
ABBREVIATIONS

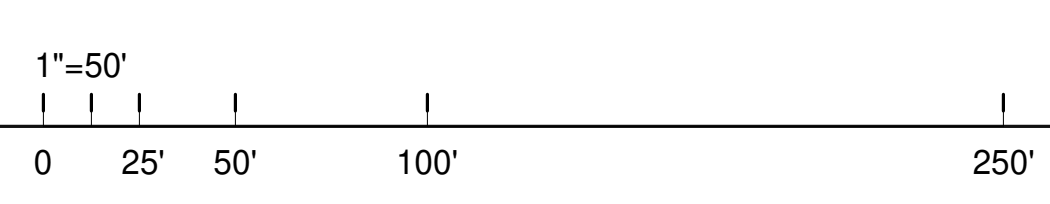
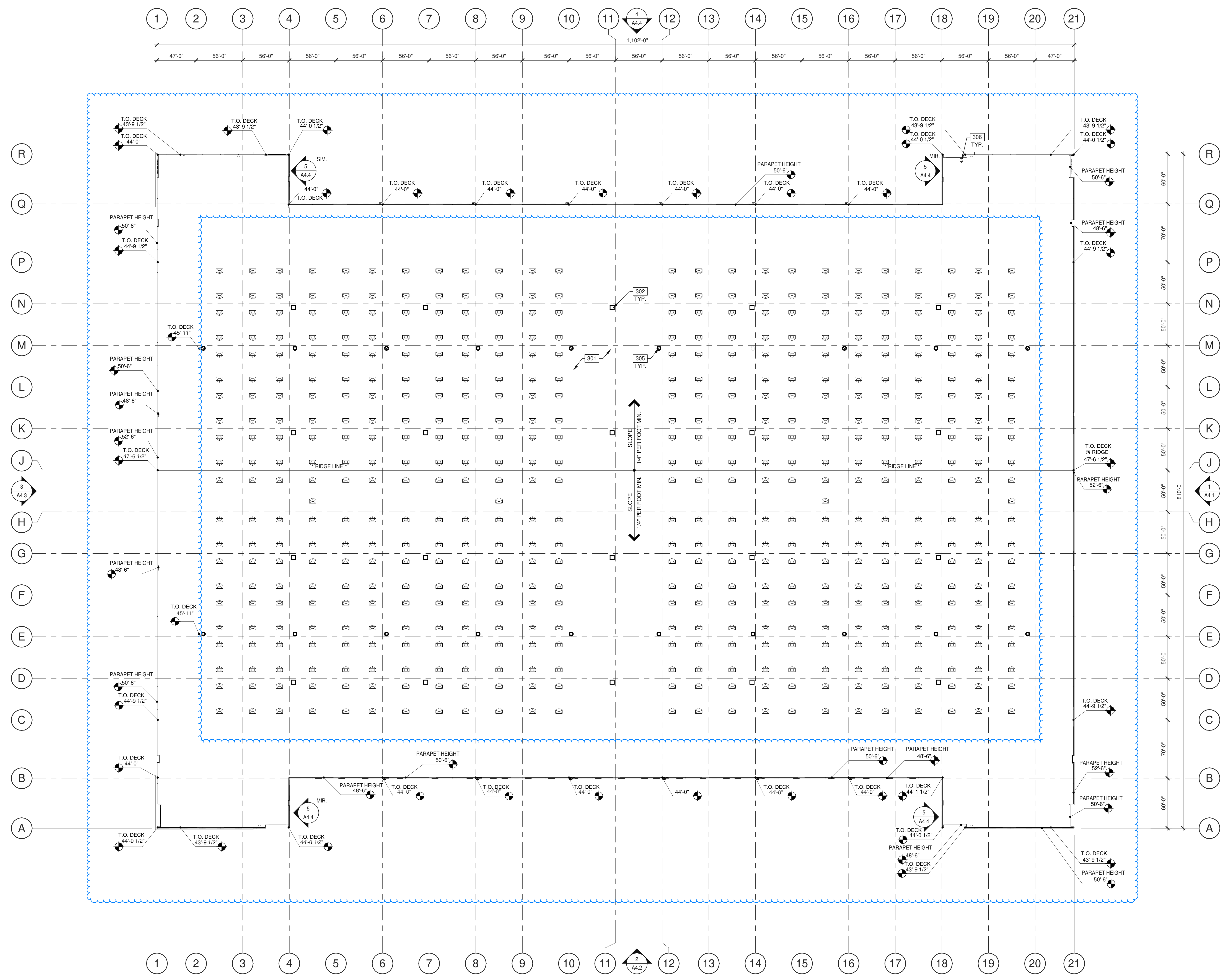
- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

CALCULATIONS

SKYLIGHTS:
 SKYLIGHT SIZE: 48"x96"=32 S.F.
 (WAREHOUSE AREA S.F.) x 2.0% = 778,712 x .02 = 15,574.24
 (SKYLIGHT SIZE) = 32
 DESIRED: 487 SKYLIGHTS
 PROVIDED: 488 SKYLIGHTS

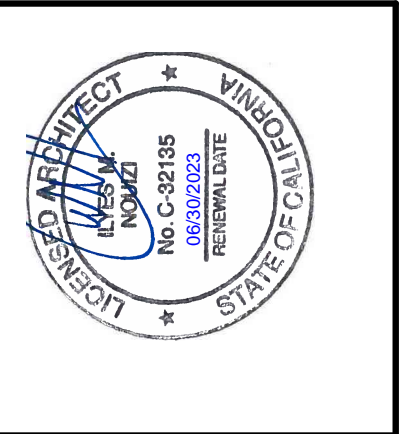
LEGEND

 SKYLIGHT: (2%)
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.



ROOF PLAN
 SCALE: 1" = 50'-0"

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT
 10 E. 4th St.
 Milpitas, CA 95035
 P 950.660.9128



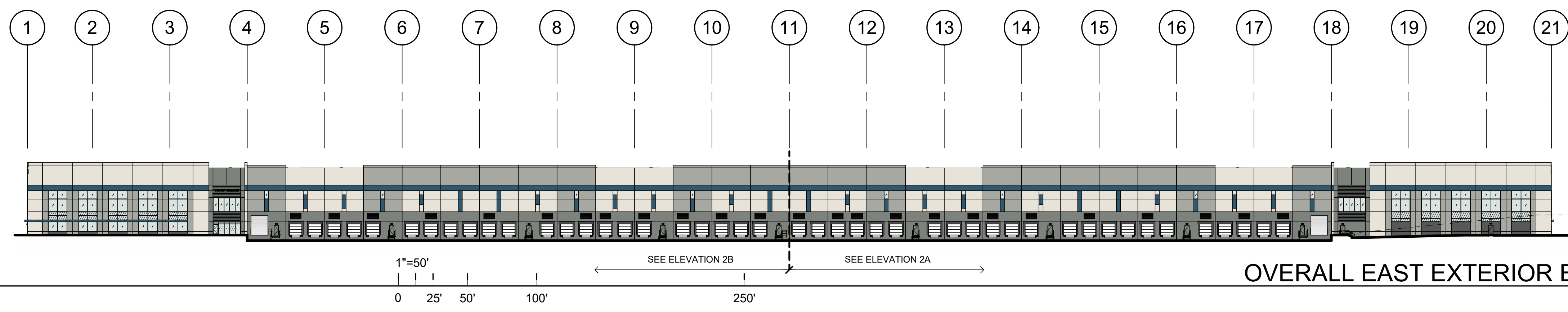
AMRAPUR STODDARD WELLS
VICTORVILLE
 17198-17000 ABBEY LANE,
 VICTORVILLE, CALIFORNIA 92394

ROOF PLAN	
DATE	REMARKS
09/01/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RESUBMITTAL
10/05/2022	PLANNING RESUBMITTAL

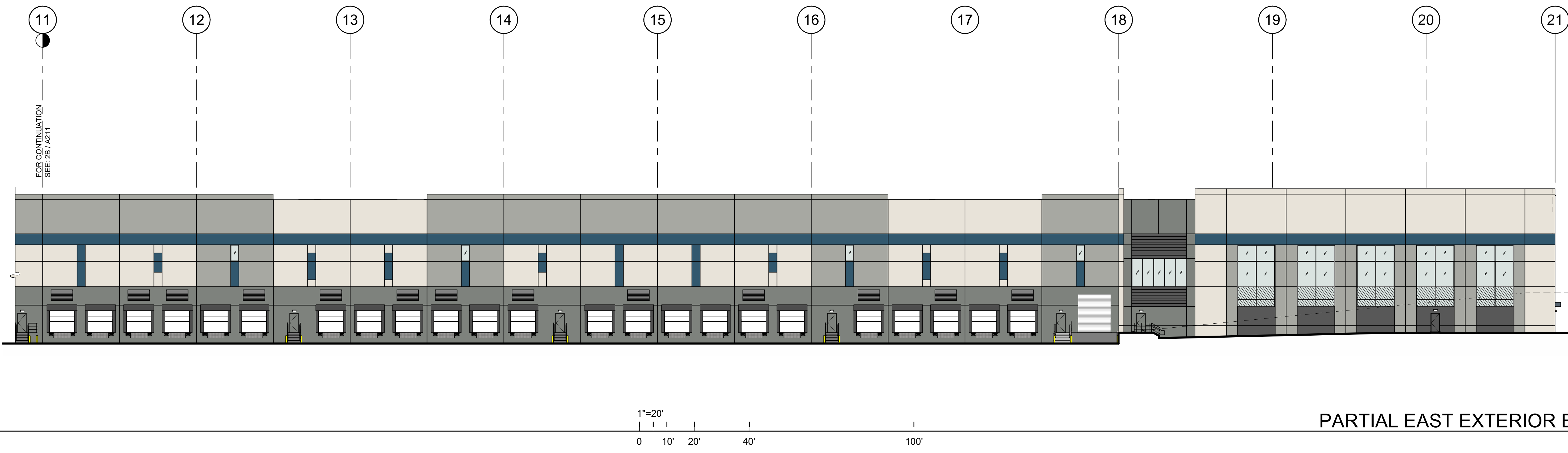
P.A.P.M.: M. MOHAMMADI
 DRAWN BY: J.G.C.B.
 JOB NO.: IRV21-0068-01

SHEET
A3.1

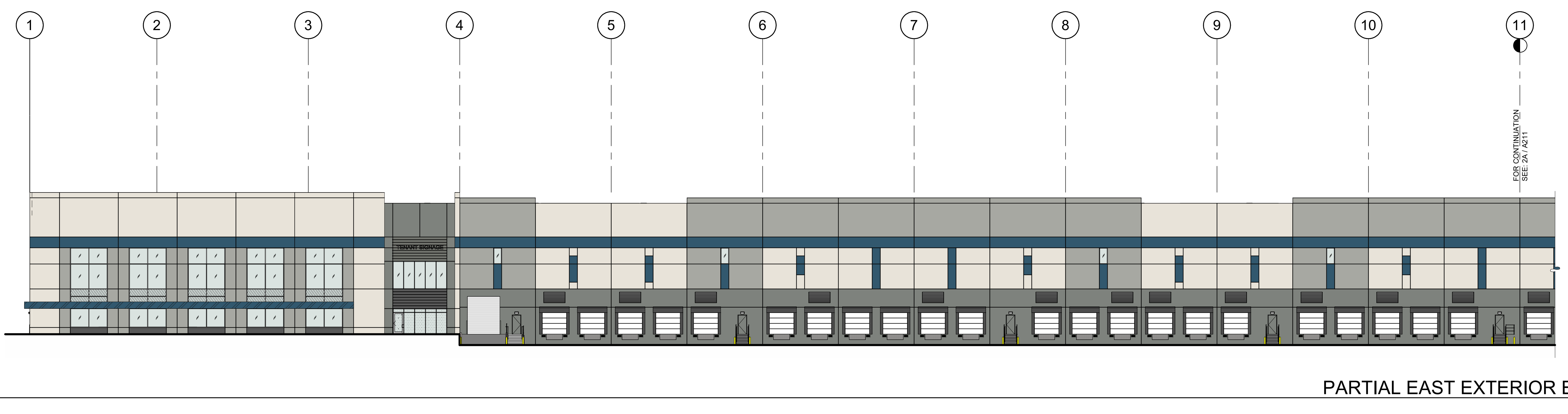
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 Author: J.G.C.B.



OVERALL EAST EXTERIOR ELEVATION
SCALE: 1" = 50'-0"



PARTIAL EAST EXTERIOR ELEVATION
SCALE: 1" = 20'-0"



PARTIAL EAST EXTERIOR ELEVATION
SCALE: 1" = 20'-0"

LEGEND

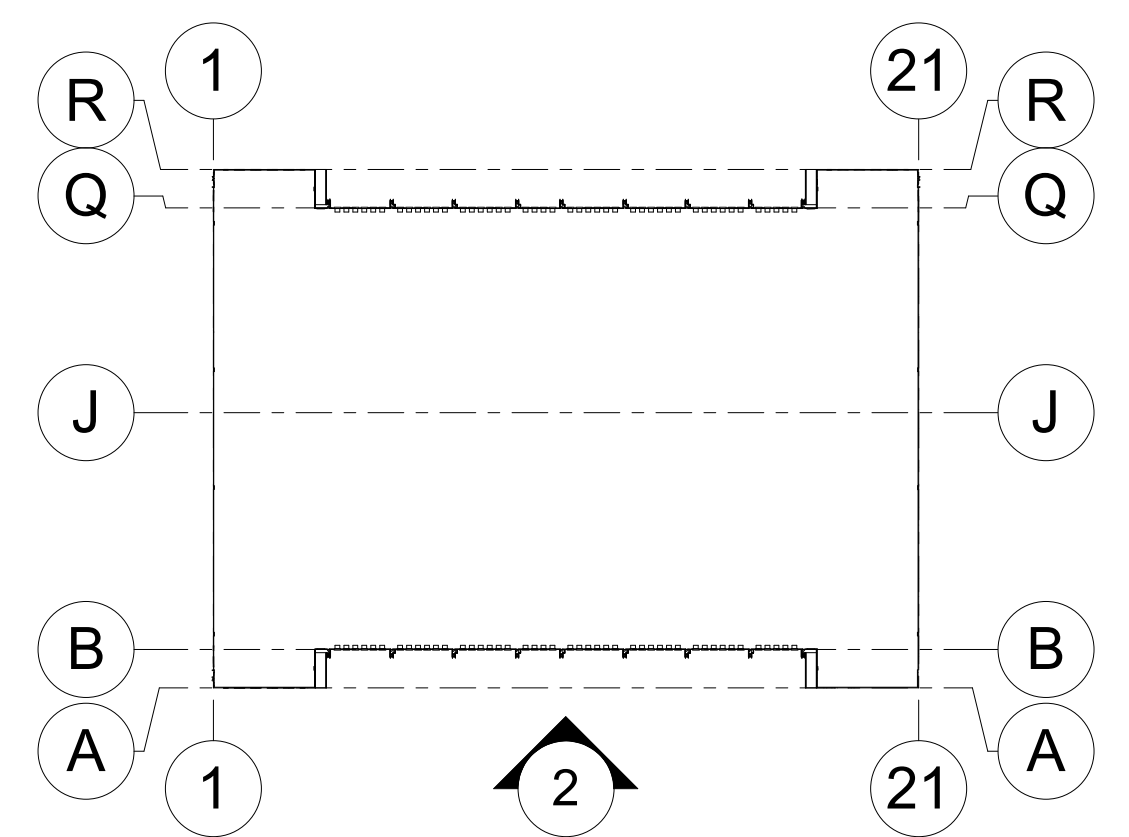
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

- COLORS:**
- PROVIDE 6" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SW 7009 PEARLY WHITE
 - SECONDARY COLOR: SW 7065 GRAY MATTERS
 - ACCENT COLOR: SW 7067 CITYSCAPE
 - ACCENT COLOR: SW 7674 PEPPERCORN
 - ACCENT COLOR: SW 9150 ENDLESS SEA

- MATERIALS:**
- METAL CANOPY, PAINTED

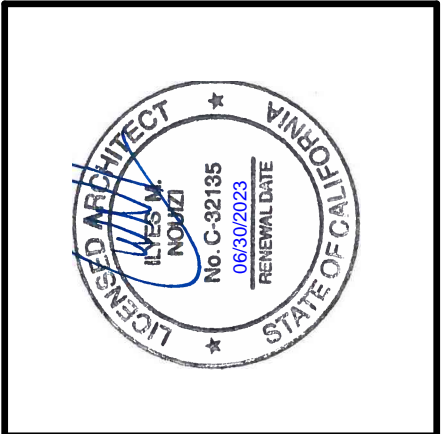
KEYNOTES:

KEY PLAN



WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT

100 E. 4th Street
 Irvine, CA 92618
 P: 949.660.9128



**AMRAPUR STODDARD WELLS
 VICTORVILLE**
 17198-17000 ABBEY LANE,
 VICTORVILLE, CALIFORNIA 92394

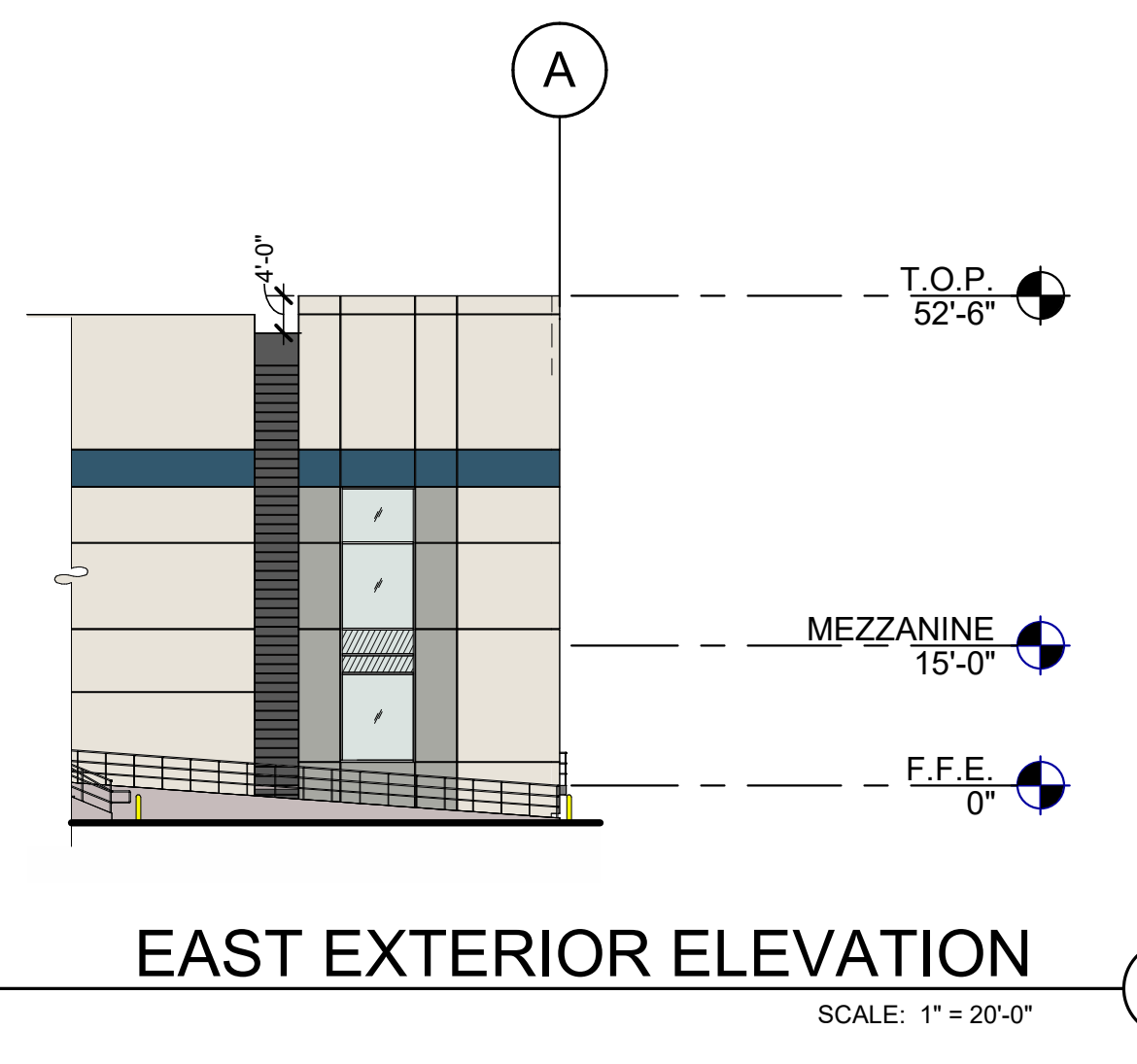
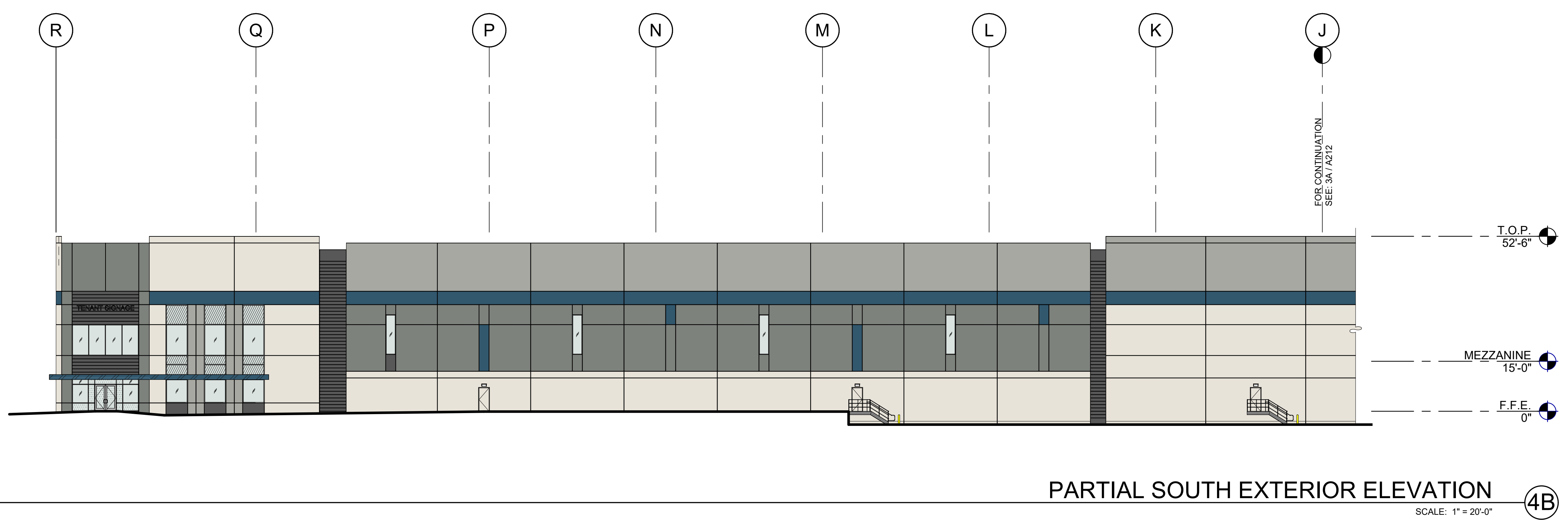
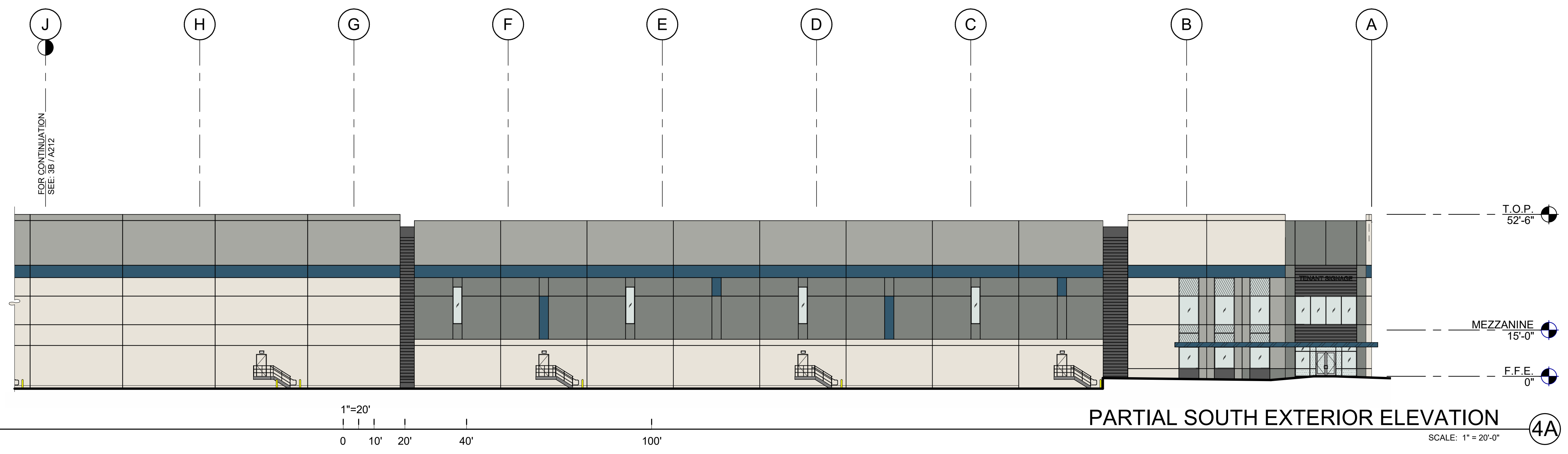
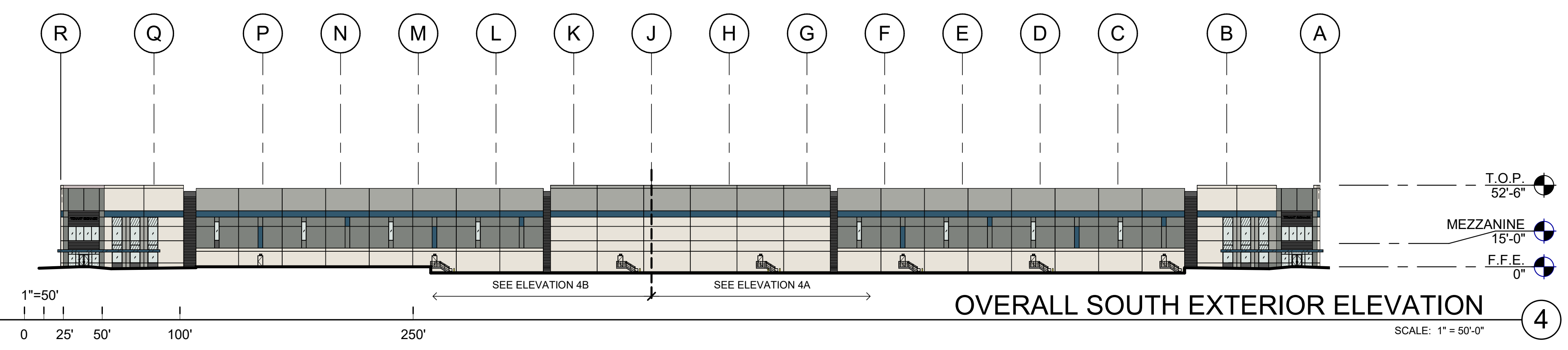
EXTERIOR ELEVATIONS

DATE	REMARKS
03/02/2022	PLANNING SUBMITTAL
06/02/2022	PLANNING RE-SUBMITTAL
11/01/2022	PLANNING RE-SUBMITTAL

PA/PM: M. MOHAMMADI
 DRAWN BY: J.G./C.B.
 JOB NO.: IRV21-0068-01

SHEET
A4.2

Autodesk DWG 1/10/21 10:08:52 AM - Project: Victorville - IRV21-0068-01 - A4.2.rvt



LEGEND

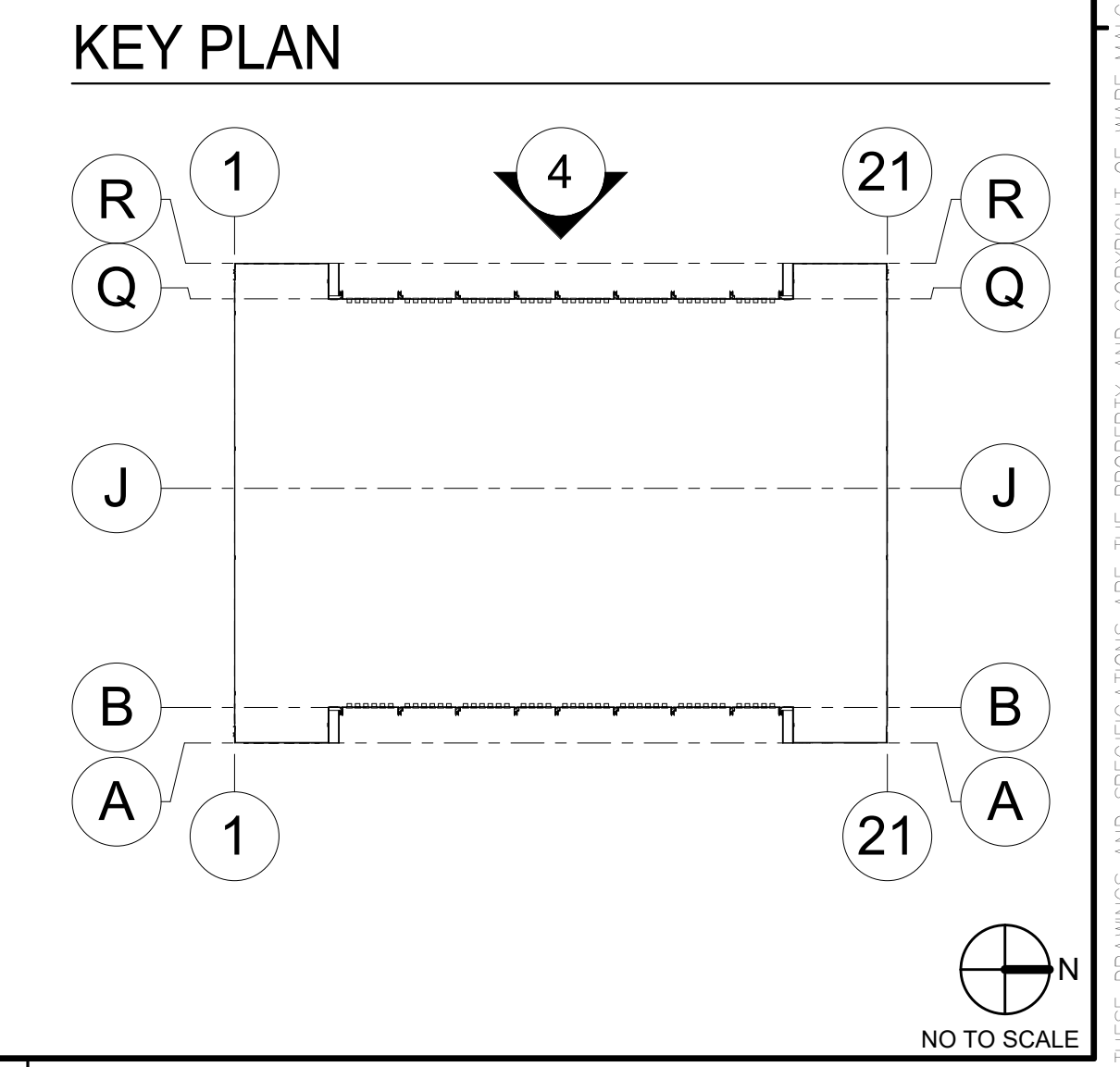
GLASS:	
	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS
MATERIALS:	
	METAL CANOPY, PAINTED

COLORS:

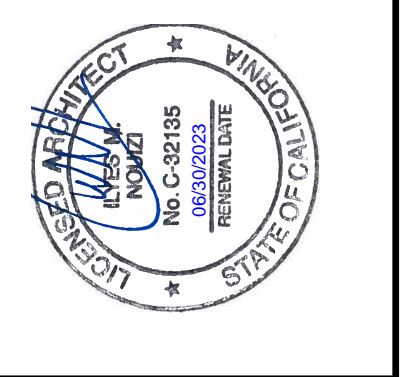
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

	BASE COLOR: SW 7009 PEARLY WHITE
	SECONDARY COLOR: SW 7065 GRAY MATTERS
	ACCENT COLOR: SW 7067 CITYSCAPE
	ACCENT COLOR: SW 7674 PEPPERCORN
	ACCENT COLOR: SW 9150 ENDLESS SEA

KEYNOTES:



WARE MALCOMB
 ARCHITECTURE
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 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT
 100 E. 4th Street
 Irvine, CA 92618
 P 949.660.9128



**AMRAPUR STODDARD WELLS
 VICTORVILLE
 17198-17000 ABBEY LANE,
 VICTORVILLE, CALIFORNIA 92394**

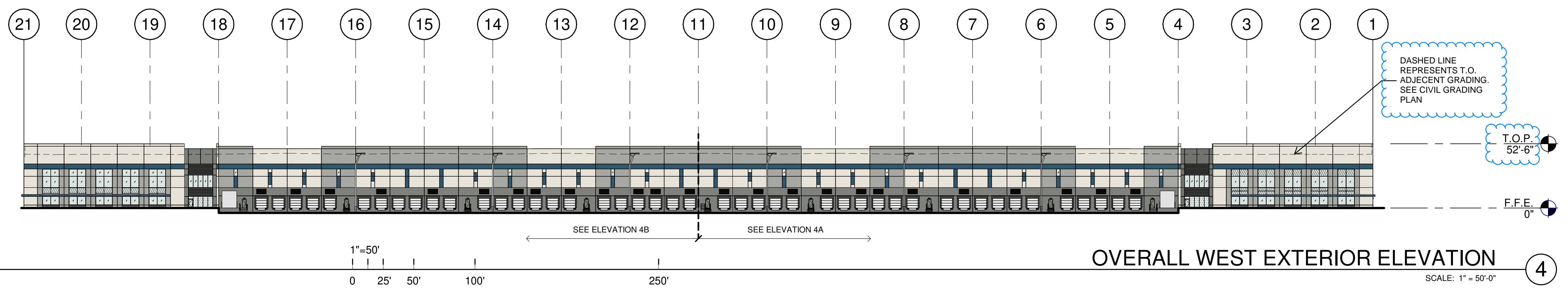
EXTERIOR ELEVATIONS

DATE	REMARKS
03/02/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RE-SUBMITTAL
10/05/2022	PLANNING RE-SUBMITTAL
11/07/2022	PLANNING RE-SUBMITTAL

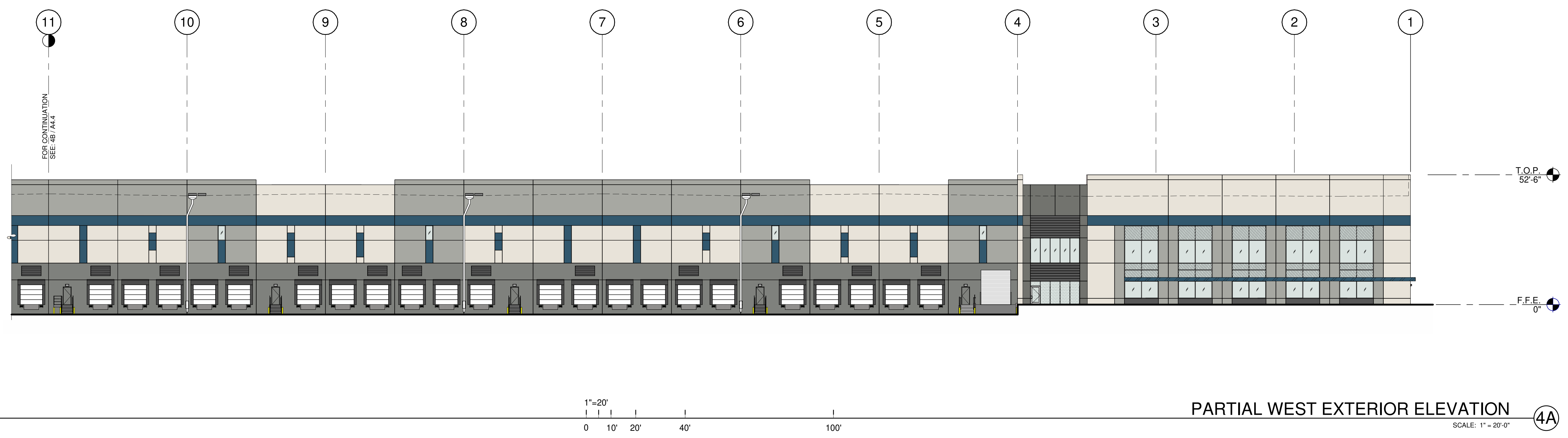
PA/PM: M. MOHAMMADI
DRAWN BY: J.G./C.B.
JOB NO.: IRV21-0068-01

SHEET
A4.4

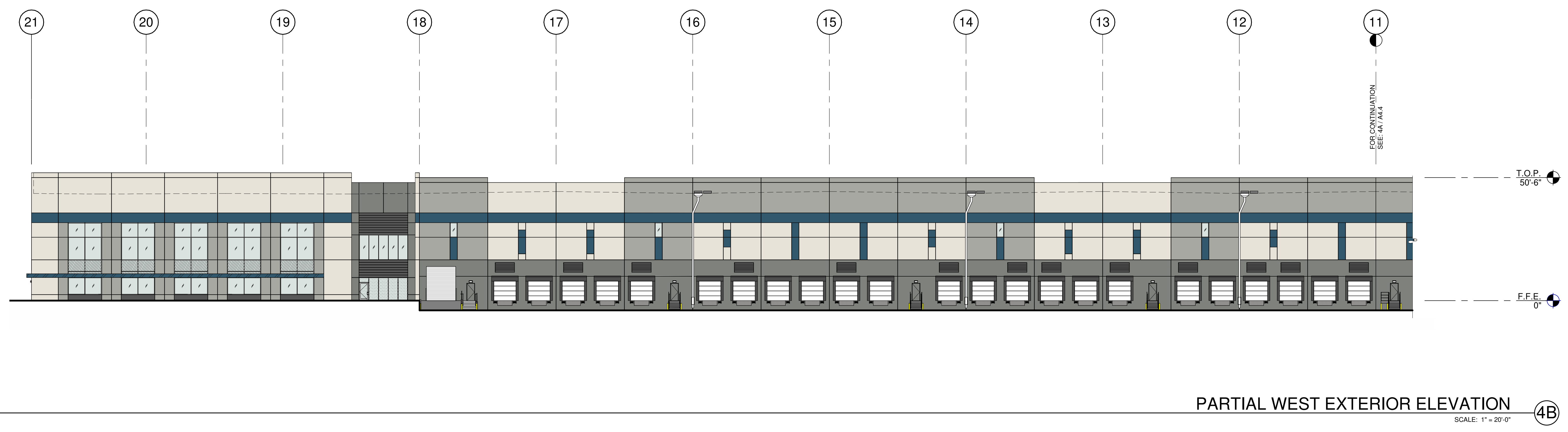
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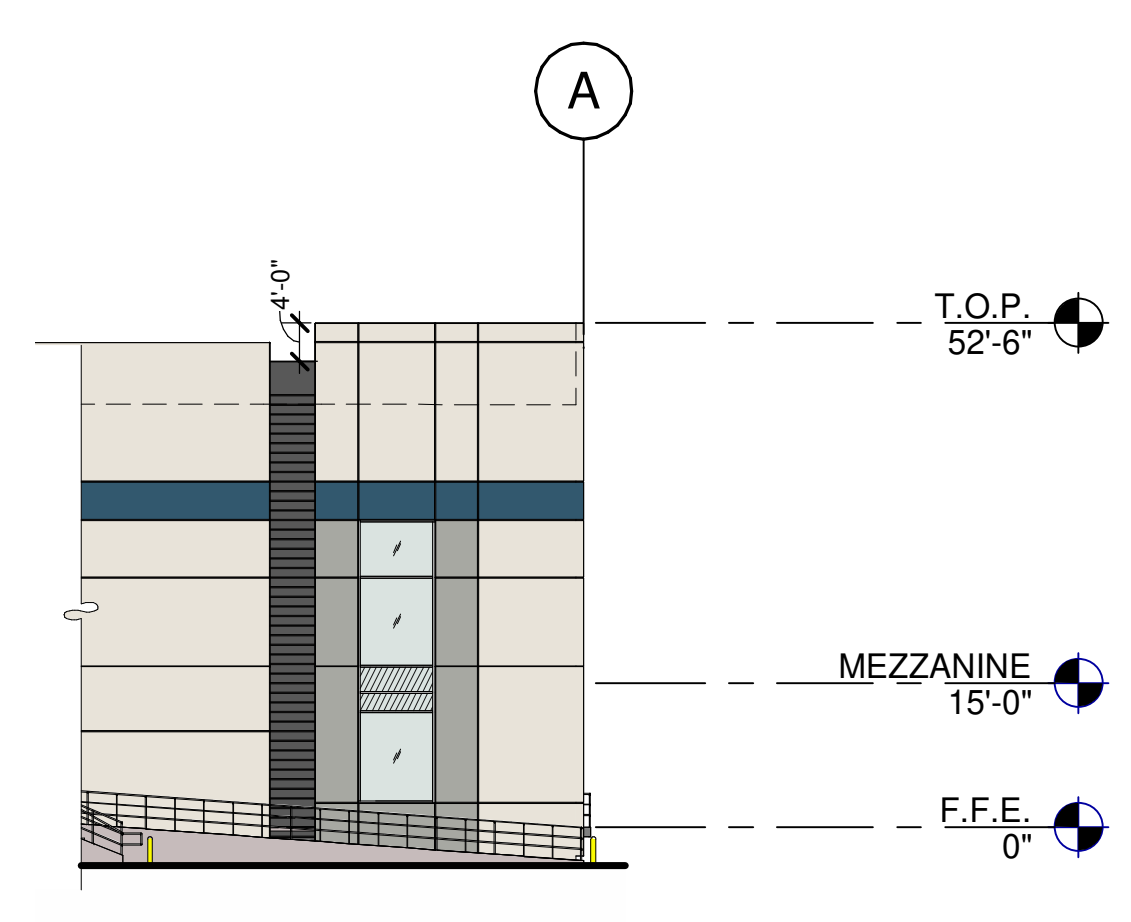
OVERALL WEST EXTERIOR ELEVATION ④
SCALE: 1" = 50'-0"



PARTIAL WEST EXTERIOR ELEVATION ④A
SCALE: 1" = 20'-0"



PARTIAL WEST EXTERIOR ELEVATION ④B
SCALE: 1" = 20'-0"



EAST EXTERIOR ELEVATION ⑤
SCALE: 1" = 20'-0"

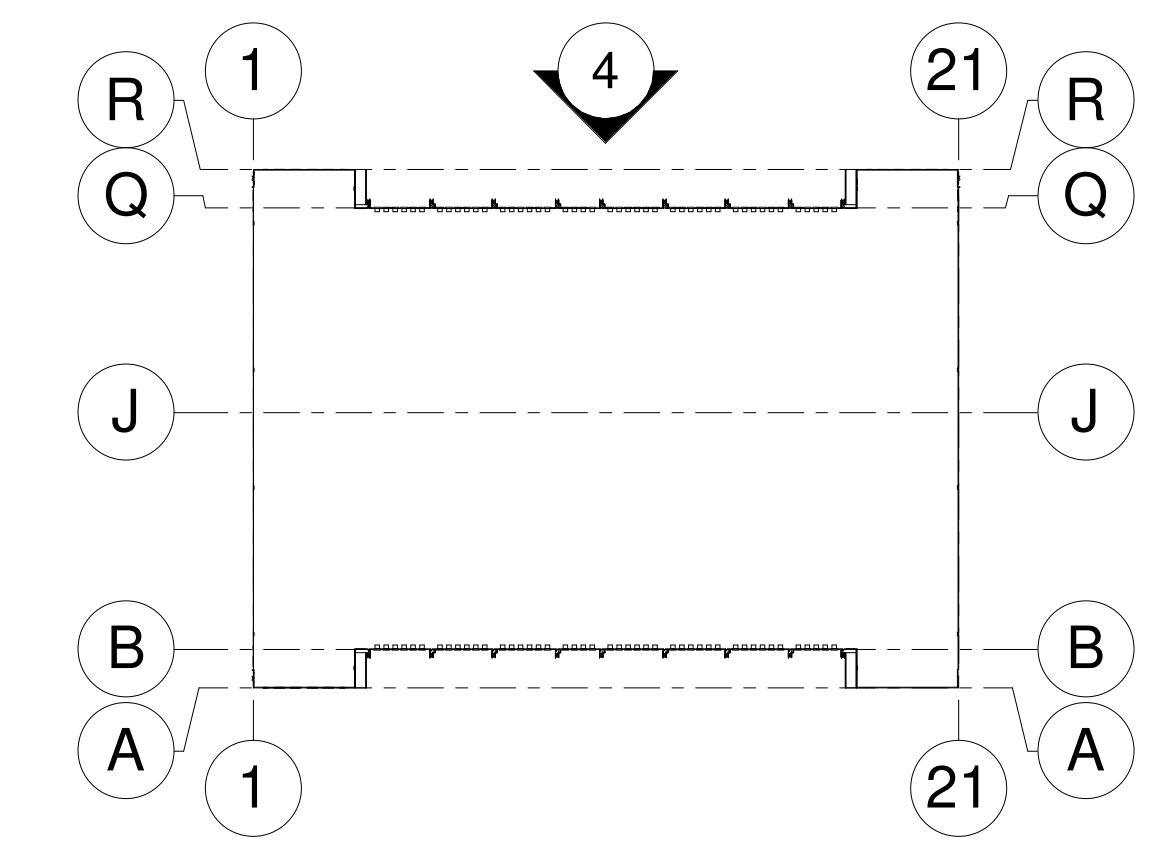
LEGEND

- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS
- MATERIALS:**
- METAL CANOPY, PAINTED

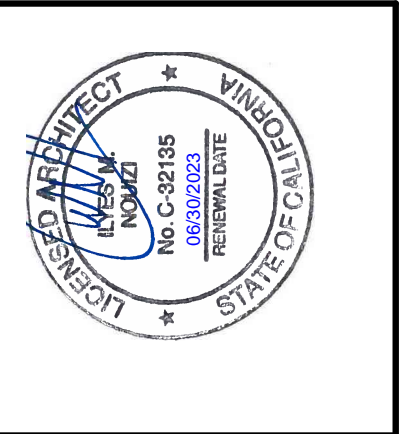
- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SW 7009 PEARLY WHITE
 - SECONDARY COLOR: SW 7065 GRAY MATTERS
 - ACCENT COLOR: SW 7067 CITYSCAPE
 - ACCENT COLOR: SW 7674 PEPPERCORN
 - ACCENT COLOR: SW 9150 ENDLESS SEA

KEYNOTES:

KEY PLAN



WARE MALCOMB
ARCHITECTURE
PLANNING
BRANDING
INTERIORS
10000
VICTORVILLE
CALIFORNIA 92394
P: 949.660.9128



**AMRAPUR STODDARD WELLS
VICTORVILLE**
17198-17000 ABBEY LANE,
VICTORVILLE, CALIFORNIA 92394

EXTERIOR ELEVATIONS

DATE	REVISIONS
03/04/2022	PLANNING SUBMITTAL
07/15/2022	PLANNING RE-SUBMITTAL
10/05/2022	PLANNING RE-SUBMITTAL

PAPM: M. MOHAMMADI
DRAWN BY: J.G.C.B.
JOB NO.: IRV21-0068-01

SHEET
A4.4

Address: 17198-17000 Abbey Lane, Victorville, CA 92394

Schedule table with columns: Symbol, Label, QTY, Catalog Number, Description, Lamp, Number Lamps, Lumens per Lamp, LLF, Wattage. Includes items W1, W2, SA1, SA2, SA3, SA4.

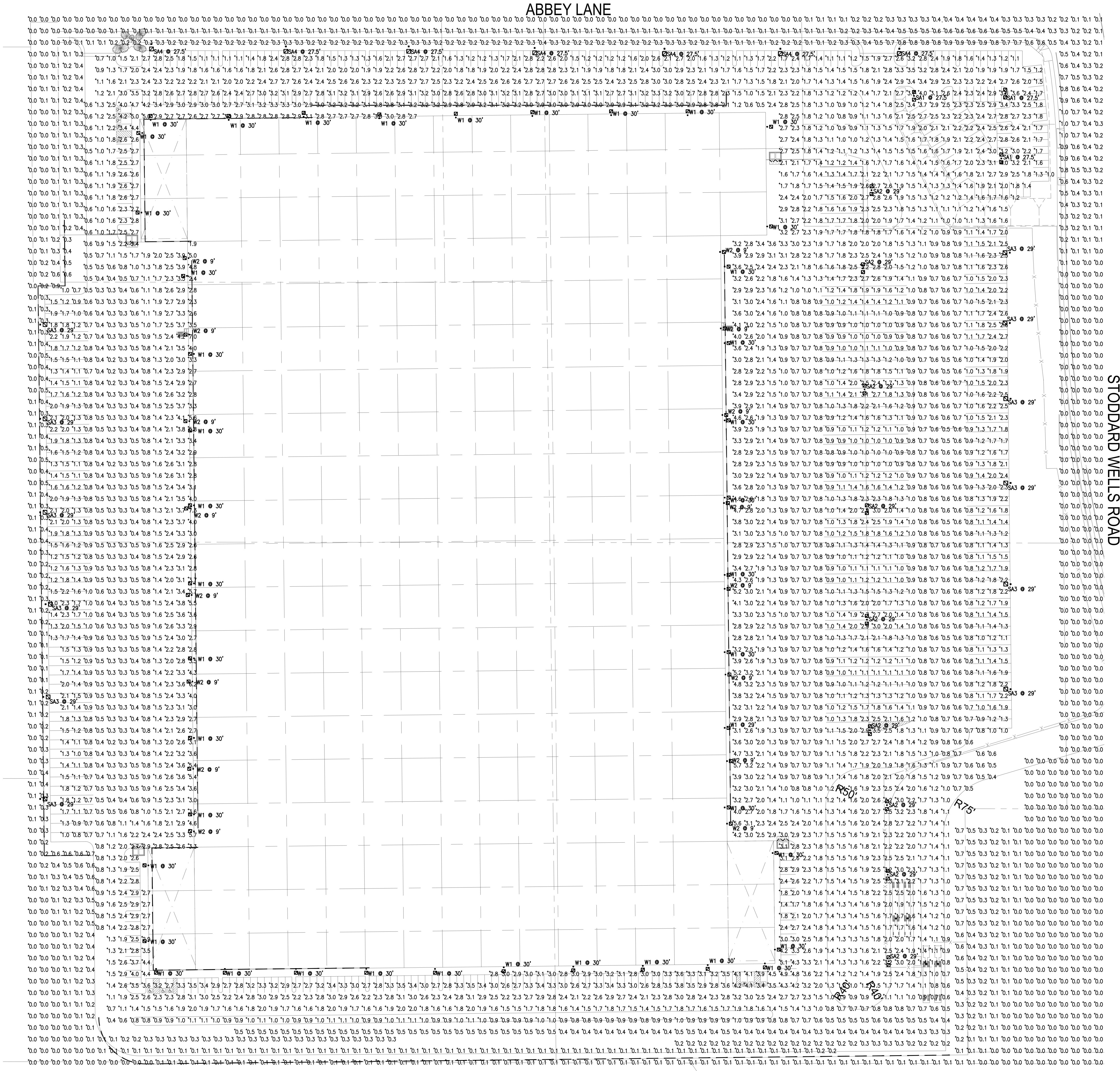
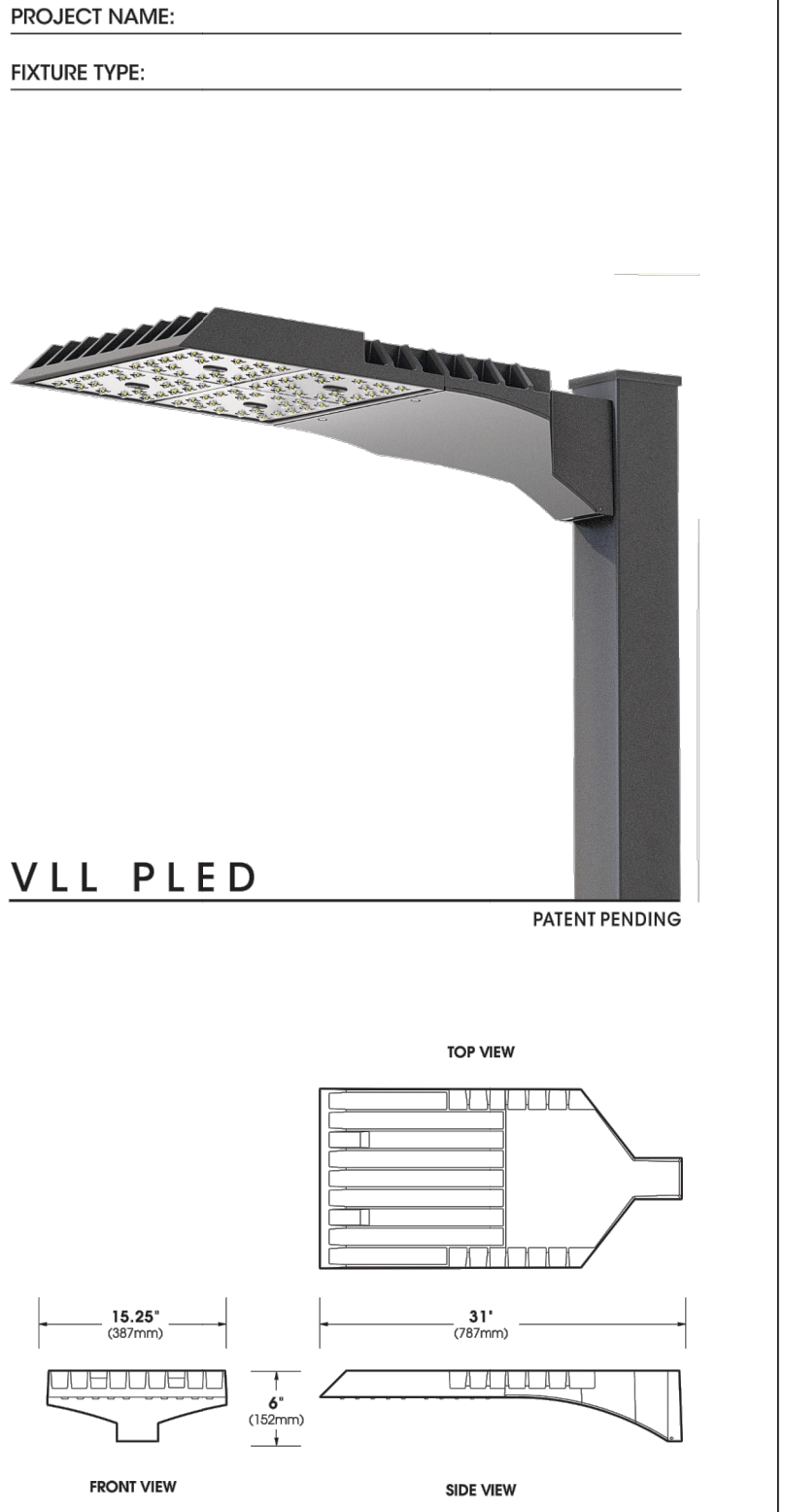
Statistics table with columns: Description, Symbol, Avg, Max, Min, Avg/Min, Max/Min. Includes Calc Zone #1 and Calc Zone #2.

SOLID STATE AREA LIGHTING

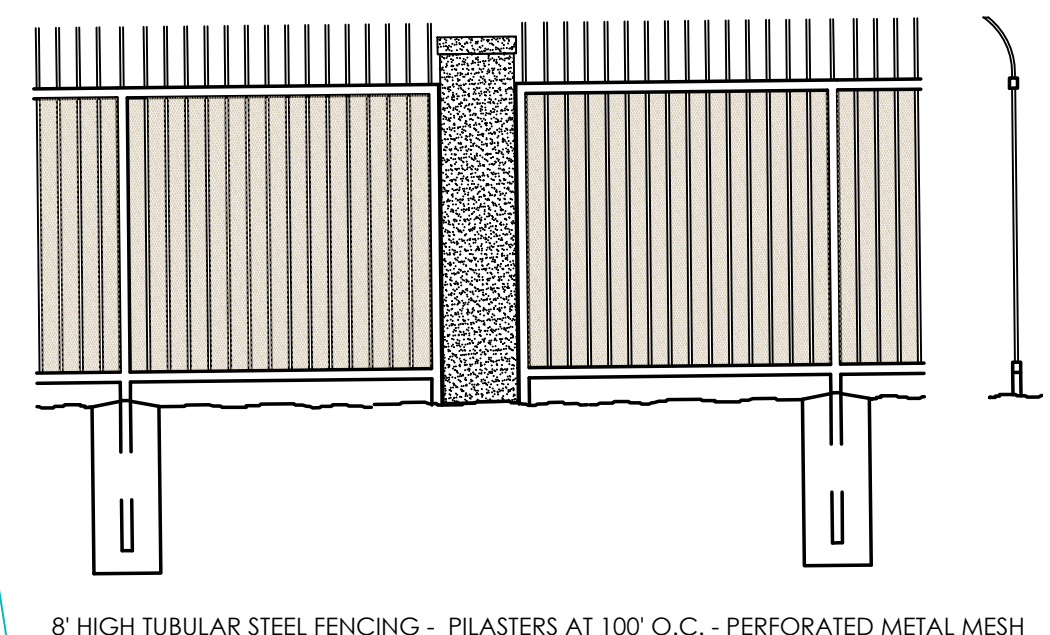
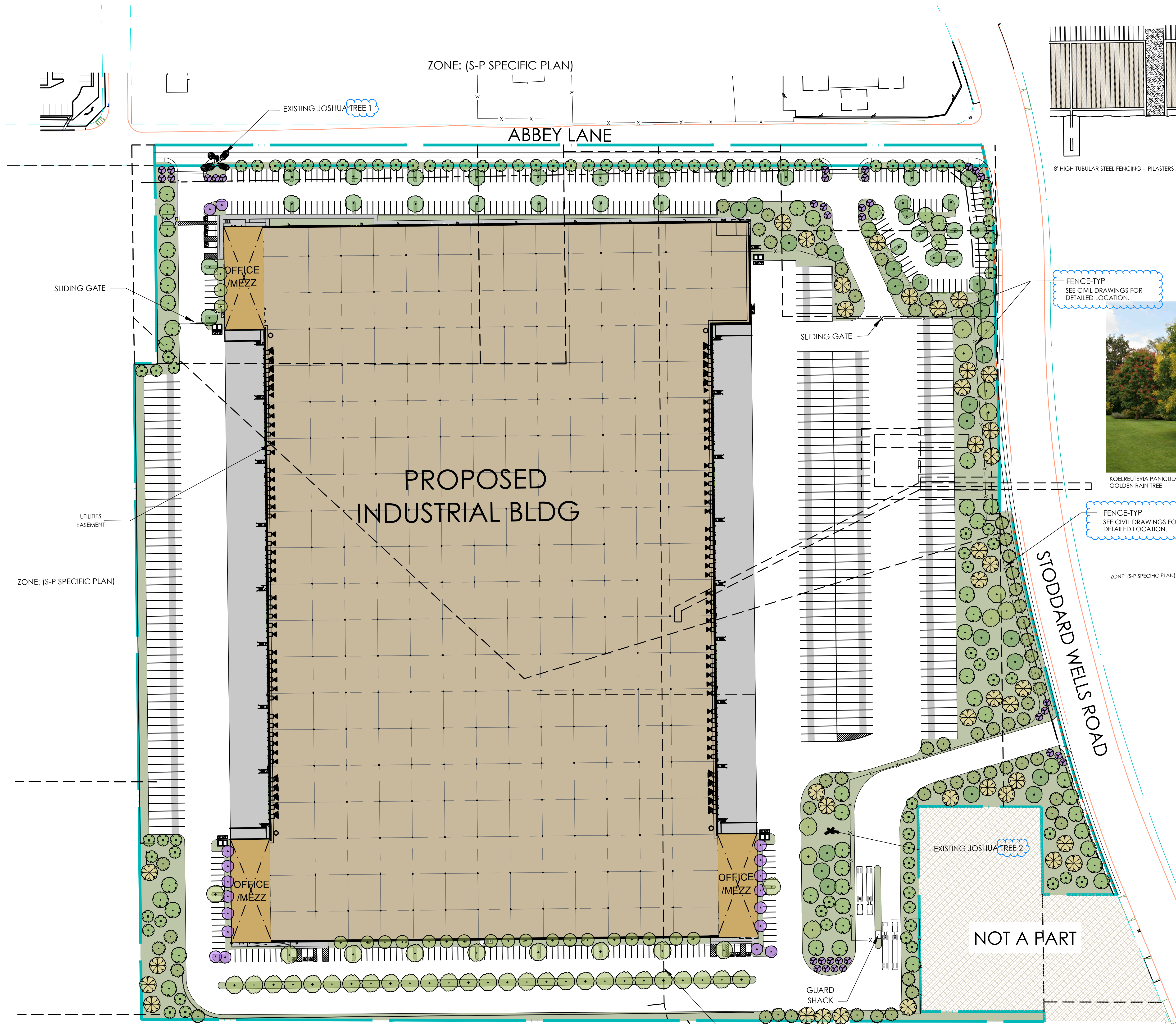
VALULUME SERIES-PLED

SPECIFICATIONS

OPTICAL HOUSING: Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance <+ .003" over 12") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".



PHOTOMETRIC STUDY PLAN
SCALE: 1"=60'-0" (DO NOT SCALE DRAWINGS. VERIFY IN FIELD)



CERCIS OCCIDENTALIS / WESTERN REDBUD



GEIJERA PARVIFOLIA / AUSTRALIAN WILLOW



KOELREUTERIA PANICULATA / GOLDEN RAIN TREE



TIPUANA TIPU / TIPU TREE



LAGERSTROEMIA INDICA / CRAPE MYRTLE



QUERCUS AGRIFOLIA / COAST LIVE OAK

PRELIMINARY PLANTING LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE
	CERCIS OCCIDENTALIS / WESTERN REDBUD	24" BOX STANDARD
	GEIJERA PARVIFOLIA / AUSTRALIAN WILLOW	24" BOX STANDARD
	TIPUANA TIPU / TIPU TREE	24" BOX STANDARD
	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	24" BOX STANDARD
	QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX STANDARD
	BRACHYCHITON POPULNEUS / BOTTLE TREE	24" BOX STANDARD
	LAGERSTROEMIA INDICA / CRAPE MYRTLE	24" BOX STANDARD
	PINUS ELДАРICA / AFGHAN PINE	24" BOX STANDARD
	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE	24" BOX STANDARD

PROPOSED SHRUBS, GROUNDCOVER & VINES

	AGAVE DESMETIANA / DWARF AGAVE	1 GAL / 36" O.C.
	ALYOGYNE HEUGELII / BLUE HIBISCUS	1 GAL / 30" O.C.
	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLE BRUSH	1 GAL / 30" O.C.
	ARCTOSTAPHYLOS DENSIFLORUS / HOWARD MCMINN MANZANITA	1 GAL / 36" O.C.
	ERIOGONUM FASCICULATUM / CALIFORNIA BUCKWHEAT	1 GAL / 36" O.C.
	MAHONIA AQUIFOLIUM / OREGON GRAPE	1 GAL / 24" O.C.
	LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	5 GAL / 36" O.C.
	NANDINA DOMESTICA / HEAVENLY BAMBOO	1 GAL / 36" O.C.
	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL / 36" O.C.
	SALVIA CLEVELANDII / CHAPARRAL SAGE	1 GAL / 30" O.C.
	SALVIA GREGII 'FURHMAN'S RED' / FURHMAN'S RED SAGE	1 GAL / 30" O.C.
	TECOMARIA CAPENSIS / CAPE HONEYSUCKLE	5 GAL / 42" O.C.
	COTONEASTER ADPRESSUS / CREEPING COTONEASTER	1 GAL / 30" O.C.
	ROSMARINUS O. 'PROSTRATUS' / PROSTRATE ROSEMARY	1 GAL / 30" O.C.
	LANTANA MONTEVIDENSIS / TRAILING LANTANA	1 GAL / 36" O.C.
	MYOPORUM PARVIFOLIUM / MYOPORUM	1 GAL / 36" O.C.

EXISTING TREES

SYMBOL	COMMENTS
	EXISTING JOSHUA TREE
	TREE 1 - TO BE REMOVED
	TREE 2 - TO REMAIN IN PLACE

LANDSCAPE CALCULATIONS:
 LANDSCAPE ALONG RIGHT-OF-WAY: 17,297 SF
 INTERIOR LANDSCAPE AREA: 244,978 SF
 TOTAL LANDSCAPE AREA PROVIDED: 262,275 SF
 SITE AREA: 1,734,234 SF
 PERCENTAGE OF LANDSCAPE COVERAGE: 15.1%



PLATANUS RACEMOSA / CALIFORNIA SYCAMORE



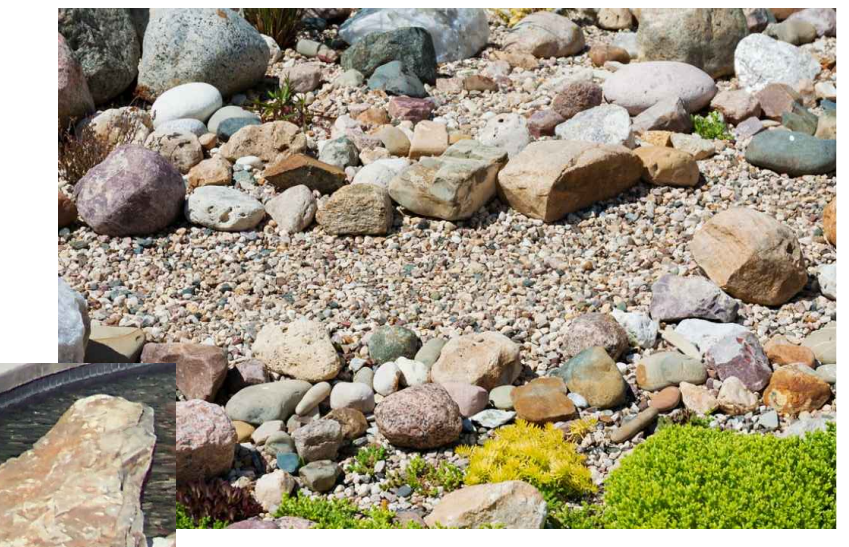
PINUS ELДАРICA / AFGHAN PINE



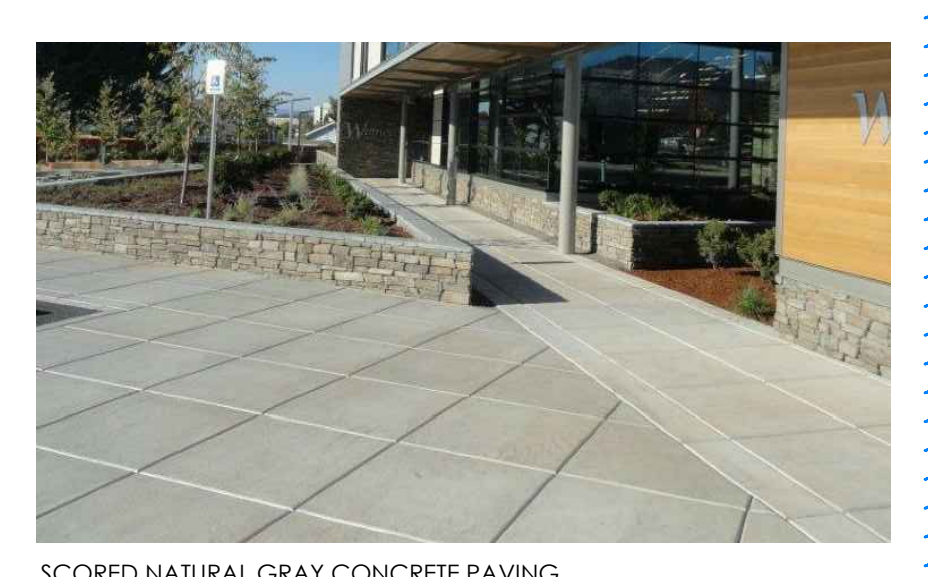
BRACHYCHITON POPULNEUS / BOTTLE TREE



VARIOUS ROCK COBBLE, BOULDERS AND GRAVEL WITHIN ALL PLANTING AREAS. NO WOOD MULCH

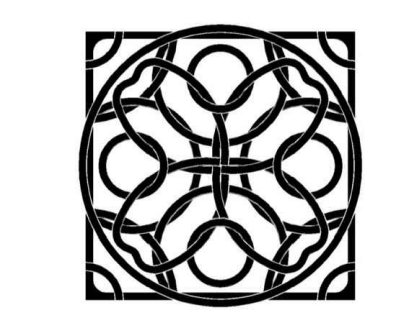
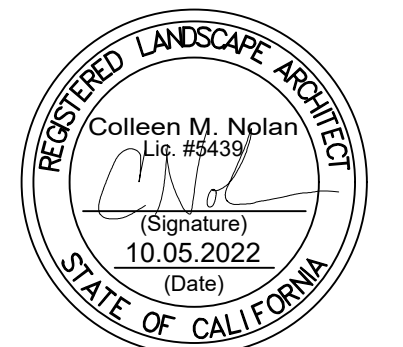


SCORED NATURAL GRAY CONCRETE PAVING AT MAIN ENTRY AND PROPOSED SIDEWALKS



Preliminary Landscape Plan

17198-17000 Abbey Ln
 Victorville, CA 92394



Colleen M. Nolan
 Landscape Architect, #5439
 cnolan@cox.net
 13355 Silverado Court, Corona 92883
 714.743.7915 cell



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IRV21-0068-00
 10.05.2022

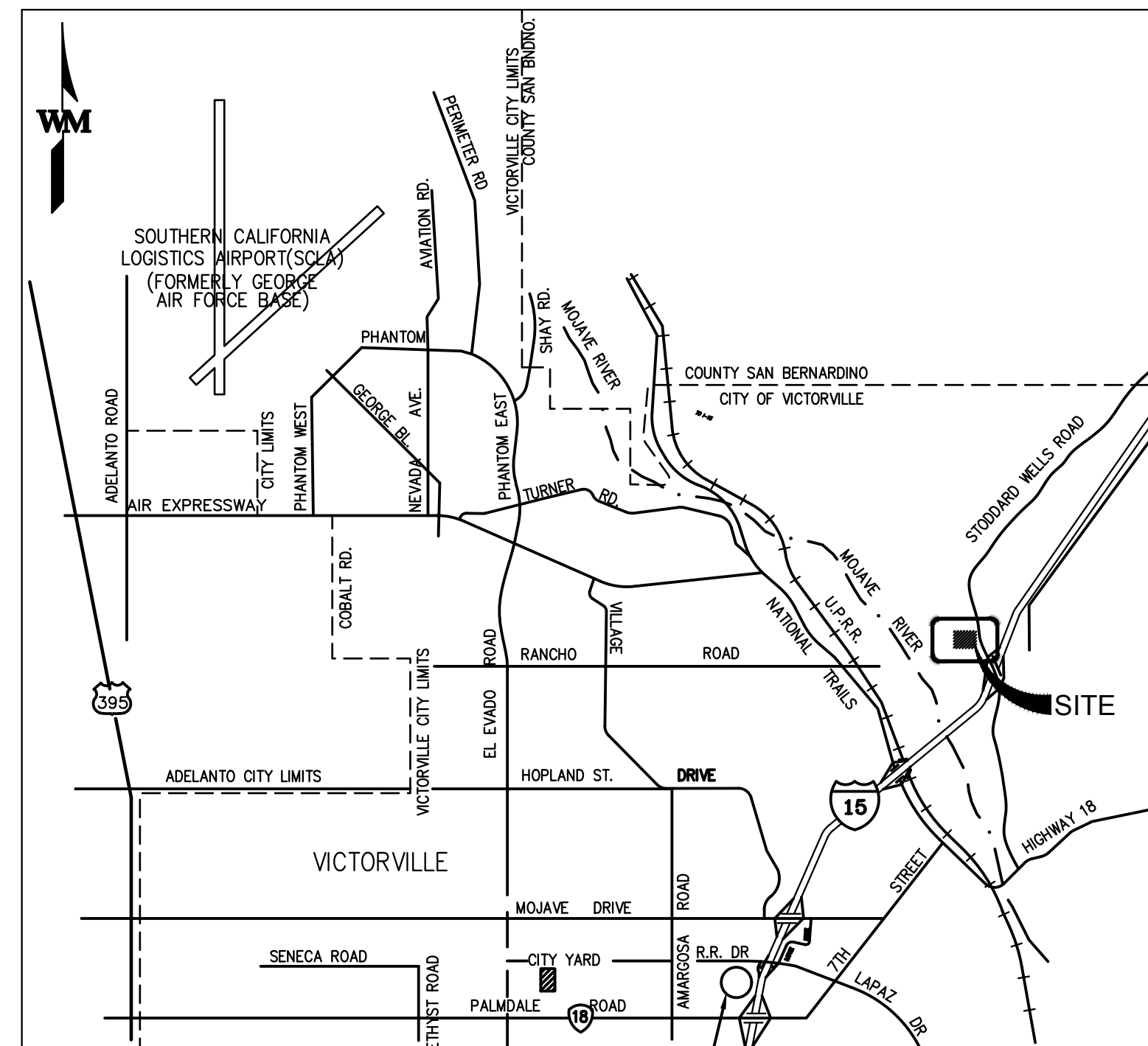
SHEET
 L1.1

AMRAPUR STODDARD WELLS ROAD VICTORVILLE, CA

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, SPECIAL PROVISIONS, THE CITY OF VICTORVILLE DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS DATED APRIL 19, 1976, AND CALTRANS STANDARD PLANS AND SPECIFICATIONS DATED MAY, 2006.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUALLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED BY THE CITY OF VICTORVILLE ENGINEERING DEPARTMENT IN ORDER TO DO THE WORK SHOWN ON THESE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SURVEYING MONUMENTS IN PLACE, AND THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR RESETTLEMENT OF DAMAGED OR DESTROYED MONUMENTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF/HERSELF WITH JOB SITE AND ANY UNDERGROUND UTILITIES/FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT AT 1 (800) 422-4133 TO LOCATE UNDERGROUND UTILITIES/FACILITIES AT LEAST TWO WORKING DAYS BEFORE DOING ANY EXCAVATION. ALL PIPELINES, SUBSTRUCTURES, OR UTILITIES OF ANY KIND, WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE PROTECTED IN PLACE OR, IF REQUIRED, BE REMOVED, RELOCATED, OR REINFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND THE COMPANY OWNING THE FACILITY AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE CITY ENGINEER.
- ACCESS TO ALL DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES EXCEPT WHEN PRECLUDED BY NECESSARY CONSTRUCTION FOR A REASONABLE PERIOD OF TIME AS APPROVED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL REMOVE FROM THE VICINITY OF THE COMPLETED WORK ALL PLANTS, BUILDING, RUBBISH, UNUSED MATERIALS, CONCRETE FORMS, AND EQUIPMENT BELONGING TO HIM/HER OR USED UNDER HIM/HER DIRECTION DURING CONSTRUCTION UNTIL ACCEPTANCE OF WORK BY THE CITY OF VICTORVILLE.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS ON THE PLANS. DETAILS OR CONSTRUCTION NOTES PRIOR TO FINALIZATION OF THE BIDS AND COMMENCEMENT OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL GRADE, COMPACT AND MATCH ALL EXISTING DRIVEWAY/ROAD TO THE FINISHED ROAD ELEVATIONS WITHOUT IMPEDING ANY NATURAL DRAINAGE FLOW.
- JOSHUA TREES SHALL BE PROTECTED IN PLACE OR RELOCATED AS APPROVED BY THE PARKS DIVISION OF THE CITY OF VICTORVILLE DEPARTMENT OF COMMUNITY SERVICES AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT BEFORE ANY WORK MAY BE DONE IN OR NEAR THE STATE RIGHT-OF-WAY.

NOTE: WHERE CONTRACTOR APPEARS YOU MAY SUBSTITUTE OWNER, DEVELOPER OR ENGINEER.



VICINITY MAP
NOT TO SCALE

JOINT SEALING

- ALL CONCRETE SURFACES AND JOINTS SHALL BE FLUSHED CLEAN WITH WATER AFTER BOTH INITIAL AND FINAL SAW-CUTS, PRIOR TO SAWCUT SLURRY DRYING.
- AFTER SECOND SAWCUT, JOINT FACES SHALL BE SAND BLASTED AND AIR-BLOWN USING METHODS AND EQUIPMENT IN SECTION P-605
- SEAL RESERVOIR SHALL BE FORMED USING SECOND SAWCUT. SHOULDERED BLADE SHALL NOT BE USED WITH INITIAL SAWCUT.
- INSERT TEMPORARY BACKER ROD AFTER INITIAL SAWCUT TO PREVENT DEBRIS INTRUSION.
- MANUFACTURERS PRIMER SHALL BE USED REGARDLESS IF MANUFACTURER STATES THAT IT IS OPTIONAL.

PAVING NOTES

- PRIME AND TACK COATS SHALL BE APPLIED WHERE INDICATED.
- GRADE STAKES SHALL BE MAINTAINED FOR ALL LAYERS EXCEPT FINAL PAVED SURFACE. AT MAXIMUM 100 FOOT STATIONS ALONG CENTERLINE AND PAVEMENT EDGES.
- CONTRACTOR SHALL PROVIDE SUMP HOLES AND OPERATE WATER PUMPS TO PREVENT WATER PONDING ON SUBGRADES.
- FOR CEMENT TREATED SUBBASE, REMOVE SOIL 5 FT. FROM STRUCTURES OR OBSTACLES TO MIXING, MIX WITH CEMENT, REPLACE AND COMPACT.

DOWEL NOTES

- DOWEL BAR INSERTERS SHALL NOT BE USED.
- DRILLING METHOD SHALL MAINTAIN DRILL HOLES PARALLEL TO CONCRETE SURFACE AND NORMAL TO JOINT LINE WITHIN 1/4" ± AT END OF DOWEL BAR. USE GANG DRILL WITH 3 OR MORE DRILLS. DRILL HOLE MAXIMUM DEVIATION SHALL NOT EXCEED 1" HORIZ. HOLE DIAMETER TO BE APPROXIMATELY 1/4" LARGER THAN DOWEL. MINIMUM THREE DAYS CURE TIME AND 300 PSI FLEXURAL STRENGTH REQUIRED FOR DRILLING NEW CONCRETE.
- AFTER DRILLING COMPLETE AND PRIOR TO INSTALLATION OF DOWELS, THOROUGHLY CLEAN HOLES BY FLUSHING, ALLOW TO DRY, AIR BLOW TO REMOVE DRILLING DUST, CONCRETE CHIPS, AND ANY MATERIAL DETRIMENTAL TO DEVELOPING BOND.
- INSERT EPOXY INTO BACK OF DOWEL HOLE BY INJECTION NOZZLE WITH SUFFICIENT EPOXY PLACED SO SLIGHT AMOUNT FORCED OUT WHEN DOWEL INSERTED AND TAPPED TO CORRECT POSITION. EPOXY SHALL BE SOLID AROUND BARS WITH NO VOIDS. INSTALL PLASTIC DOWEL RINGS TO RETAIN EPOXY. SMALL WEDGES MAY BE USED TO SUPPORT DOWEL IN CORRECT ALIGNMENT UNTIL EPOXY HARDENS. SUBMIT PROPOSED EPOXY INFORMATION FOR APPROVAL PRIOR TO STARTING WORK.
- "T" = THICKNESS OF NEW CONCRETE PAVEMENT
- "d" = DOWEL DIAMETER

TYPICAL NOTATIONS AND LEGEND

AB	AGGREGATE BASE	CORE REFERENCE	⊕
ACI/ASPH	ASPHALT CONCRETE	CONSTRUCTION NOTE	⑤
APN	ASSESSOR'S PARCEL NUMBER	CURVE DATA NOTE	Ⓢ
BYC/EVC	BY-CENTRE/VERTICAL CURVE	CENTERLINE	---
CL	CORRUGATED METAL PIPE	PROPOSED SLOPE	---
CMP	DRAWING	PROPOSED EDGE OF PAVEMENT	---
DRWG	EDGE OF PAVEMENT	EXISTING EDGE OF PAVEMENT	---
EP	EXISTING	EXISTING TRAFFIC SIGN	---
EXIST./EX.	FINISH GRADE	EXISTING SEWER LINE	---
FG	FLOW LINE	EXISTING WATER LINE	---
FL	FINISH SURFACE	EXISTING GAS LINE	---
FS	GRADE BREAK	EXISTING TELEPHONE LINE	---
GB	GROUND LINE	EXISTING CABLE TV LINE	---
GL	HIGH POINT	EXISTING ELECTRICAL LINE	---
HP	INVERT	EXISTING RIGHT OF WAY LINE	---
INV	LINEAL FEET	FUTURE RIGHT OF WAY LINE	---
LF	NATURAL GRADE/GROUND	EXISTING FIRE HYDRANT	⊙ FH
NG	POINT OF INTERSECTION	EXISTING STREET LIGHT	⊙
PIVP	INTERSECTION POINT	EXISTING POWER POLE	⊙ PP
PL/R	PROPERTY LINE	EXISTING WATER VALVE/WATER METER	WV ⊕ / □ WM
PROP.	PROPOSED	EXISTING GAS VALVE/GAS METER	GV ⊕ / □ GM
RCB/RCP	REINFORCED CONCRETE BOX/PIPE	TELEPHONE PEDESTAL	□ TPED.
R/W	RIGHT OF WAY	EXISTING TREE	⊗
S/W	SIDEWALK		
SMH	SEWER MANHOLE		
THK	THICK		
TW/BW	TOP/BOTTOM OF WALL		
LT/RT	LEFT/RIGHT		
SCE	SOUTHERN CALIFORNIA EDISON		
N/E/S/W	NORTH/EAST/SOUTH/WEST		
EXISTING WALL			
EXISTING ELEVATION			
EXISTING ELEVATION (AT DECIMAL)			
PROPOSED ELEVATION			
PROPOSED CONTOUR			
EXISTING CONTOUR			

ESTIMATED EARTHWORK QUANTITIES

CUT: 285,000
 FILL: 247,000
 NET: 18,000 EXPORT

GRADING QUANTITIES SHOWN ARE FOR BONDING PURPOSES ONLY AND REPRESENT BANK YARDAGE. THEY DO NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND ARE INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE REMEDIAL GRADING, TRENCHING, OR STRUCTURAL FOOTINGS. CONTRACTOR TO PREPARE THEIR OWN QUANTITY TAKE OFF PRIOR TO BID OR CONSTRUCTION.

SPECIAL NOTE TO THE CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF ALL AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINE NOT OF RECORD OR NOT SHOWN ON THESE PLANS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CALL TOLL FREE 1-800-422-4133 TO VERIFY THE UNDERGROUND LOCATION OF ALL UTILITIES.

SOILS ENGINEER

TGR GEOTECHNICAL
 TGR PRELIMINARY REPORT No. 21-7253, DATED DECEMBER 8, 2021

BENCHMARK

THE CALIFORNIA SPATIAL REFERENCE CENTER C.O.R.S. "P470", ELEVATION 3359.29 FEET (NAVD 88).

BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 8, (2017.50) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK CONTINUOUS OPERATING REFERENCE STATIONS (C.O.R.S.):

C.S.R.C. P470:
 NORTHING = 1991209.91' EASTING = 6744367.67'

C.S.R.C. P586:
 NORTHING = 2017796.57' EASTING = 6778350.56'

THE COMBINATION FACTOR FOR THIS PROJECT WAS APPLIED AT THE FOLLOWING POINT:
 NORTHING = 2026484.21' EASTING = 6774738.29'

MAPPING ANGLE = 00°24'12" SCALE FACTOR = 1.00019709

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FOR AND ON BEHALF
OF WARE MALCOMB

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VICTORVILLE, CA

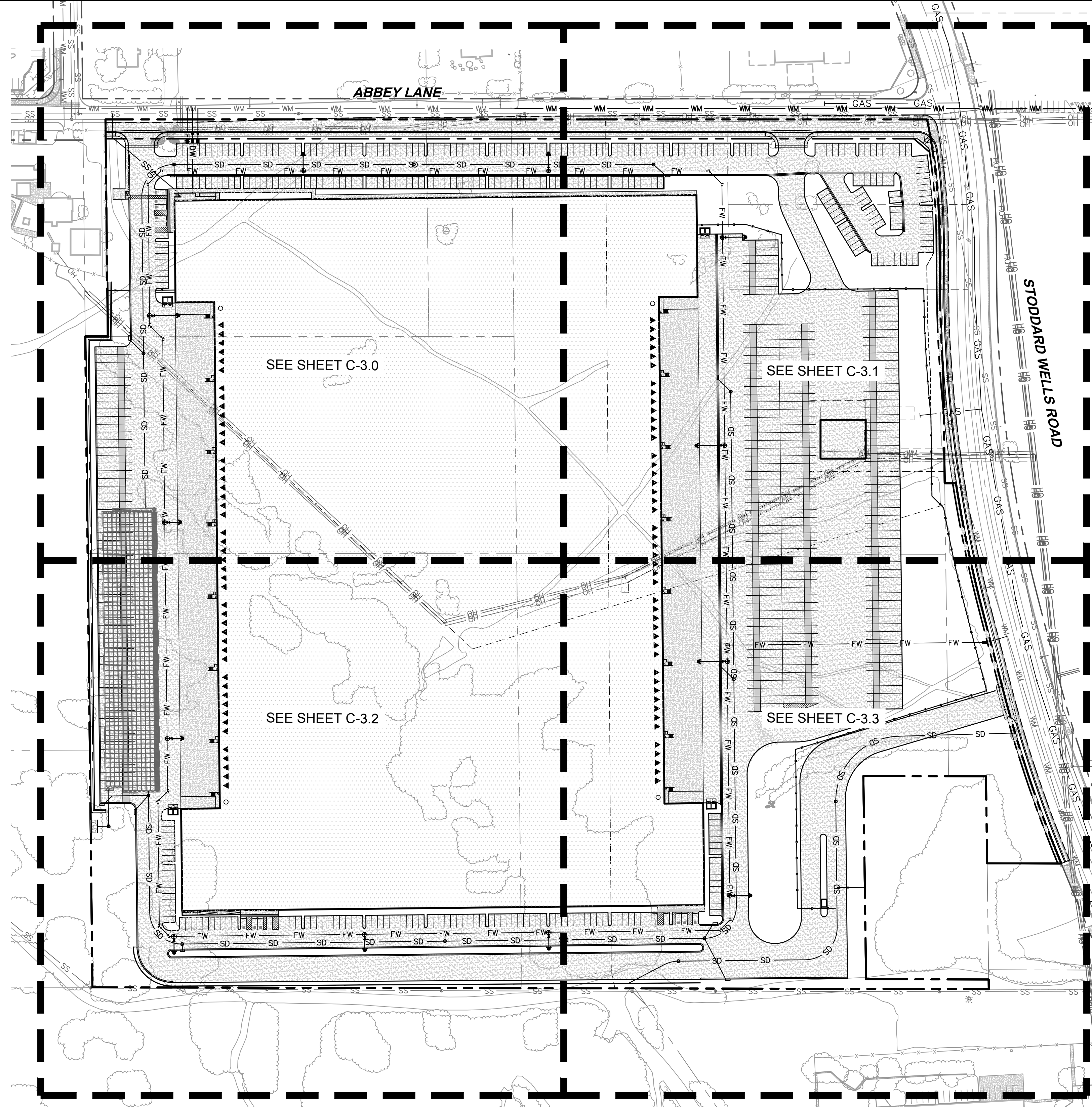
SHEET INDEX

- TITLE SHEET
- OVERALL PLAN & NOTES
- PRELIMINARY GRADING
- PRELIMINARY GRADING
- PRELIMINARY GRADING
- PRELIMINARY GRADING
- PRELIMINARY GRADING SECTIONS
- PRELIMINARY UTILITY

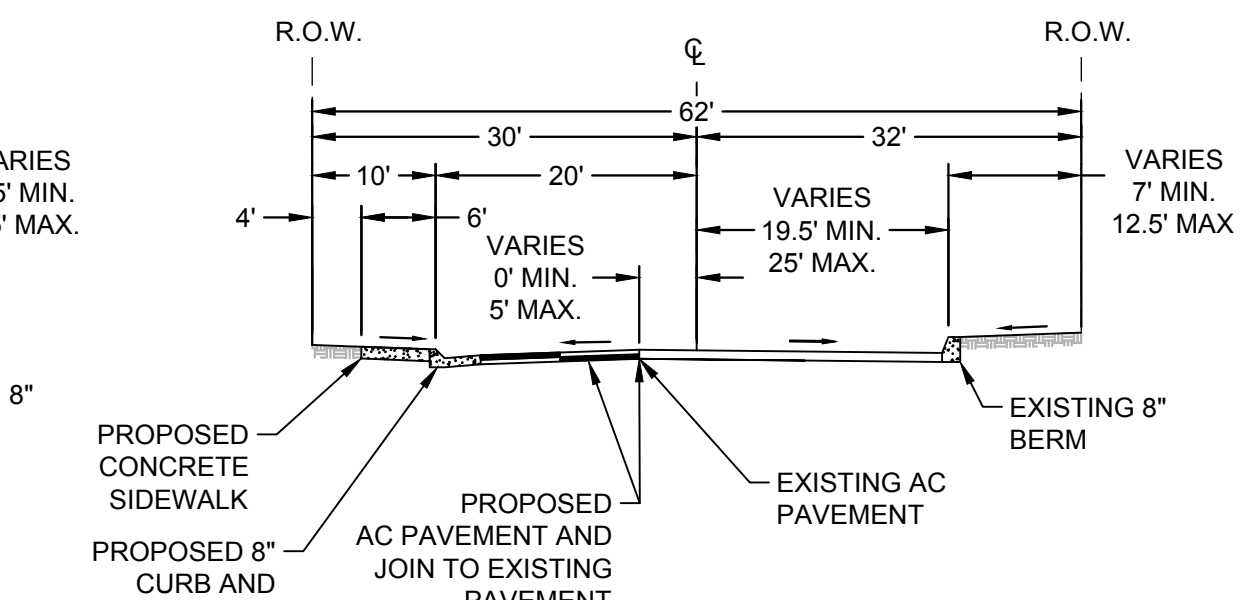
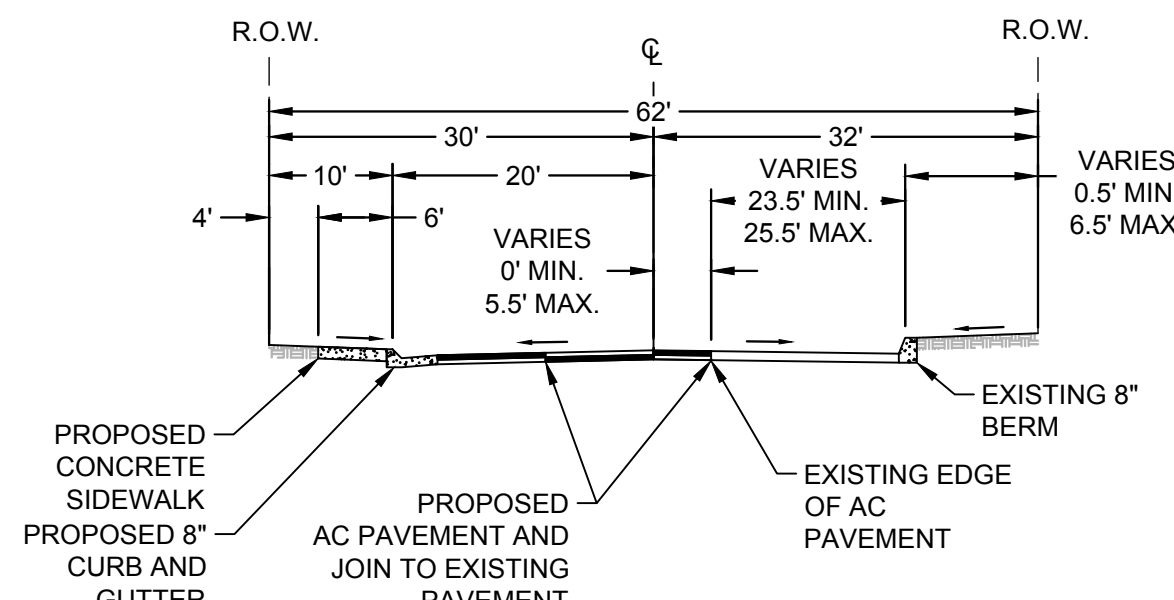
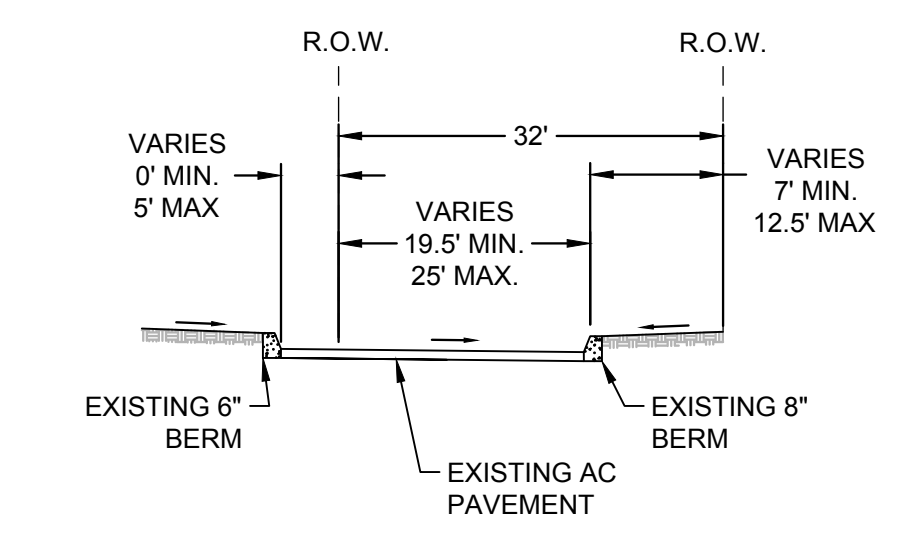
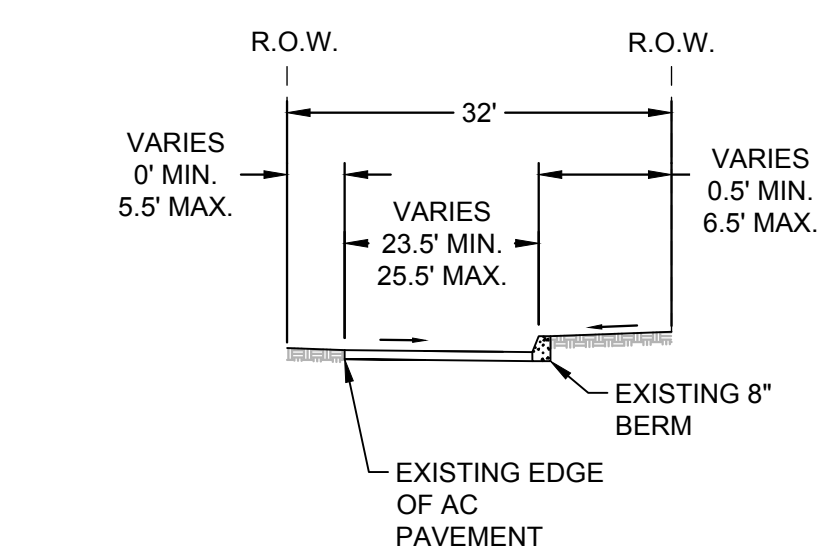
NO.	DATE	REMARKS	

JOB NO.:	IRV21-0068
PA / PM:	LC
DESIGNED:	BS
DATE:	03/04/22
PLOT DATE:	10/13/22

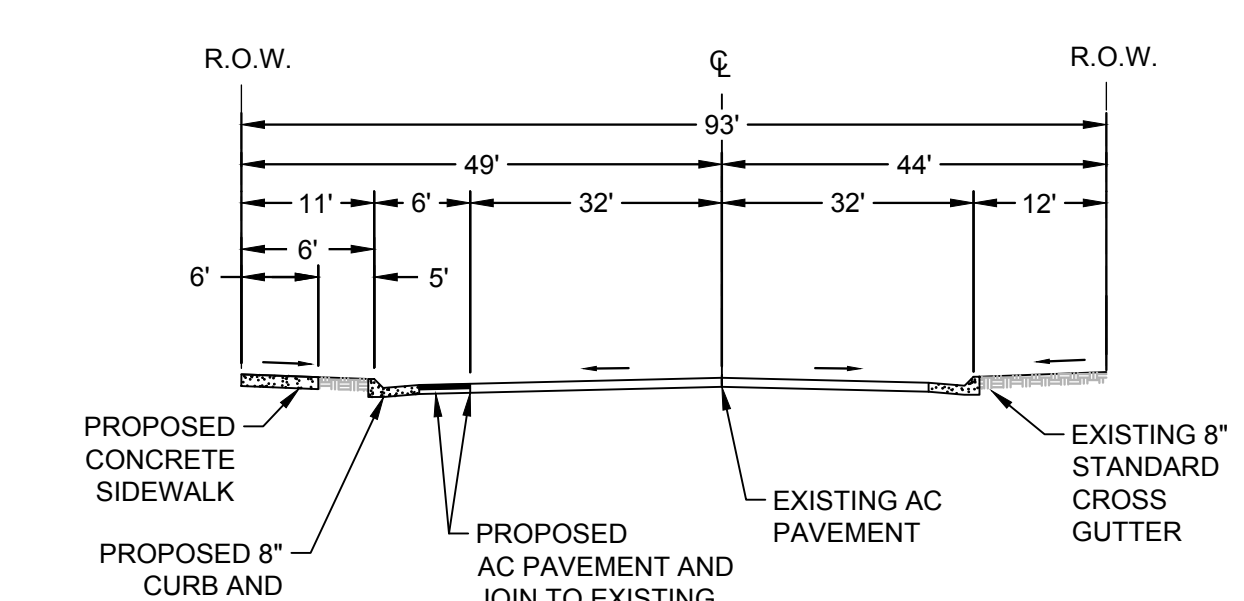
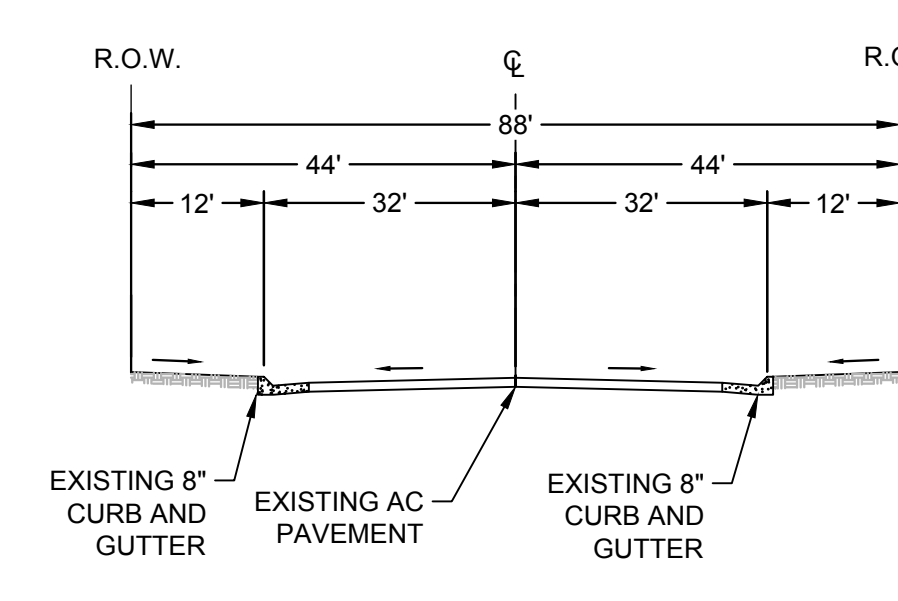
SHEET
C-1.0
 Sheet 01 of 08



ABBEY LANE TYPICAL SECTIONS



STODDARD WELLS ROAD TYPICAL SECTIONS



CONSTRUCTION NOTES

- 01 ABBEY LANE STREET IMPROVEMENTS. SEE SECTIONS SHEET C-2.0
- 02 STODDARD WELLS ROAD STREET IMPROVEMENTS. SEE SECTIONS SHEET C-2.0
- 03 CURB RAMP AND CORNER CUT PER CITY STD. S-11B
- 04 NEW COMMERCIAL DRIVE APPROACH PER CITY STD. S-03
- 05 NEW CURB PER CITY STD. S-09
- 06 NEW CURB AND GUTTER PER CITY STD. S-01
- 07 NEW ASPHALT PAVING
- 08 NEW CONCRETE PAVING
- 09 NEW VALLEY GUTTER
- 10 NEW BUILDING DEEPEMED FOOTING
- 11 NEW RETAINING WALL

STORM DRAINAGE NOTES

- 01 NEW STORM DRAIN LINE. SIZE TBD. SLOPED 0.5% MIN.
- 02 NEW MANHOLE STRUCTURE.
- 03 NEW CURB INLET
- 04 NEW GRATE INLET
- 05 NEW INFILTRATION GALLERY
- 06 NEW HEADWALL AND RIP RAP ENERGY DISSIPATION
- 07 CONNECT TO EXISTING STORM DRAIN

SEWER NOTES

- 01 NEW SEWER LATERAL AND CONNECTION PER CITY STD. SS-03
- 02 NEW SEWER LATERAL CLEANOUT PER CITY STD. SS-04
- 03 NEW 6" PVC SDR-35 SEWER LINE. TRENCHING PER CITY STD. SS-05
- 04 NEW SEWER BACKWATER VALVE AND BUILDING PLUMBING POINT OF CONNECTION

WATER NOTES

- 01 NEW 2" DOMESTIC WATER AND IRRIGATION SERVICE CONNECTIONS AND METERS PER CITY STD. W-03
- 02 NEW DOMESTIC WATER AND IRRIGATION RP DEVICES PER CITY STD. W-39
- 03 NEW 2" DOMESTIC WATER SERVICE PER CITY STD. W-35 AND W-36
- 04 NEW DOMESTIC WATER BUILDING PLUMBING POINT OF CONNECTION
- 05 NEW FIRE SERVICE AND BACKFLOW DEVICE PER CITY STD. W-28
- 06 NEW FIRE SERVICE LOOP WITH THRUST BLOCKS. PVC C900 SIZE TBD. PER CITY STD. W-35 AND W-36
- 07 NEW FIRE HYDRANT PER CITY STD W-11
- 08 GUARD POSTS PER CITY STD. W-42

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REGISTERED PROFESSIONAL ENGINEER
LUCAS A. COREY
No. 72588
CIVIL
STATE OF CALIFORNIA
10/13/22
FOR AND ON BEHALF OF WARE MALCOMB

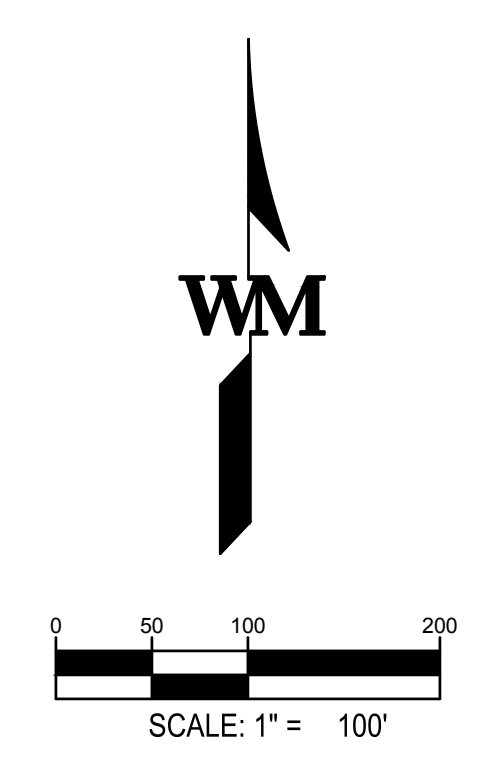
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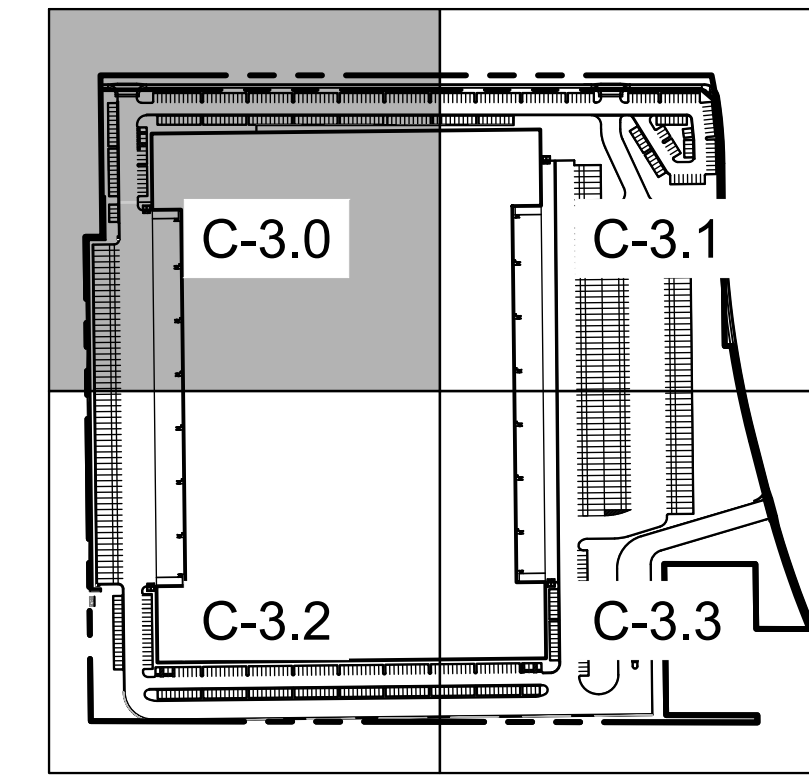
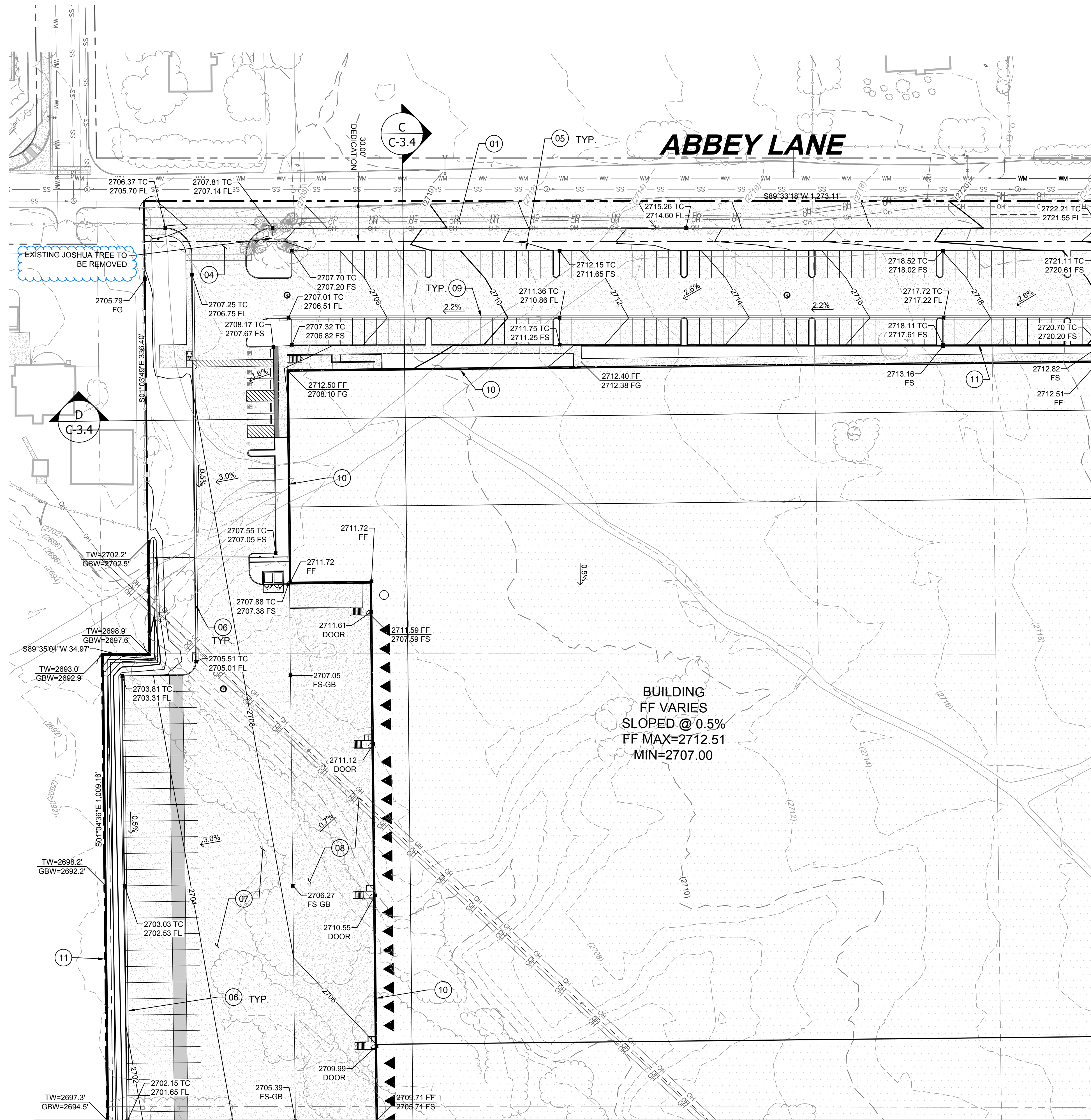
OVERALL PLAN & NOTES

NO.	DATE	REMARKS

JOB NO.:	IRV21-0068
PA / PM:	LC
DESIGNED:	BS
DATE:	03/04/22
PLOT DATE:	10/13/22

SHEET
C-2.0
Sheet 02 of 08





CONSTRUCTION NOTES

- (01) ABBEY LANE STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
(02) STODDARD WELLS ROAD STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
(03) CURB RAMP AND CORNER CUT PER CITY STD. S-11B
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(11) NEW RETAINING WALL

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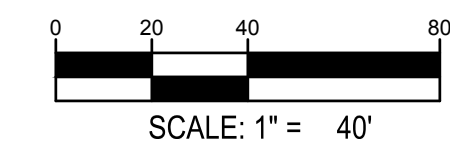
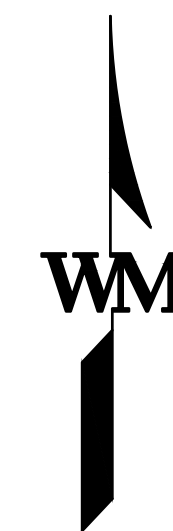
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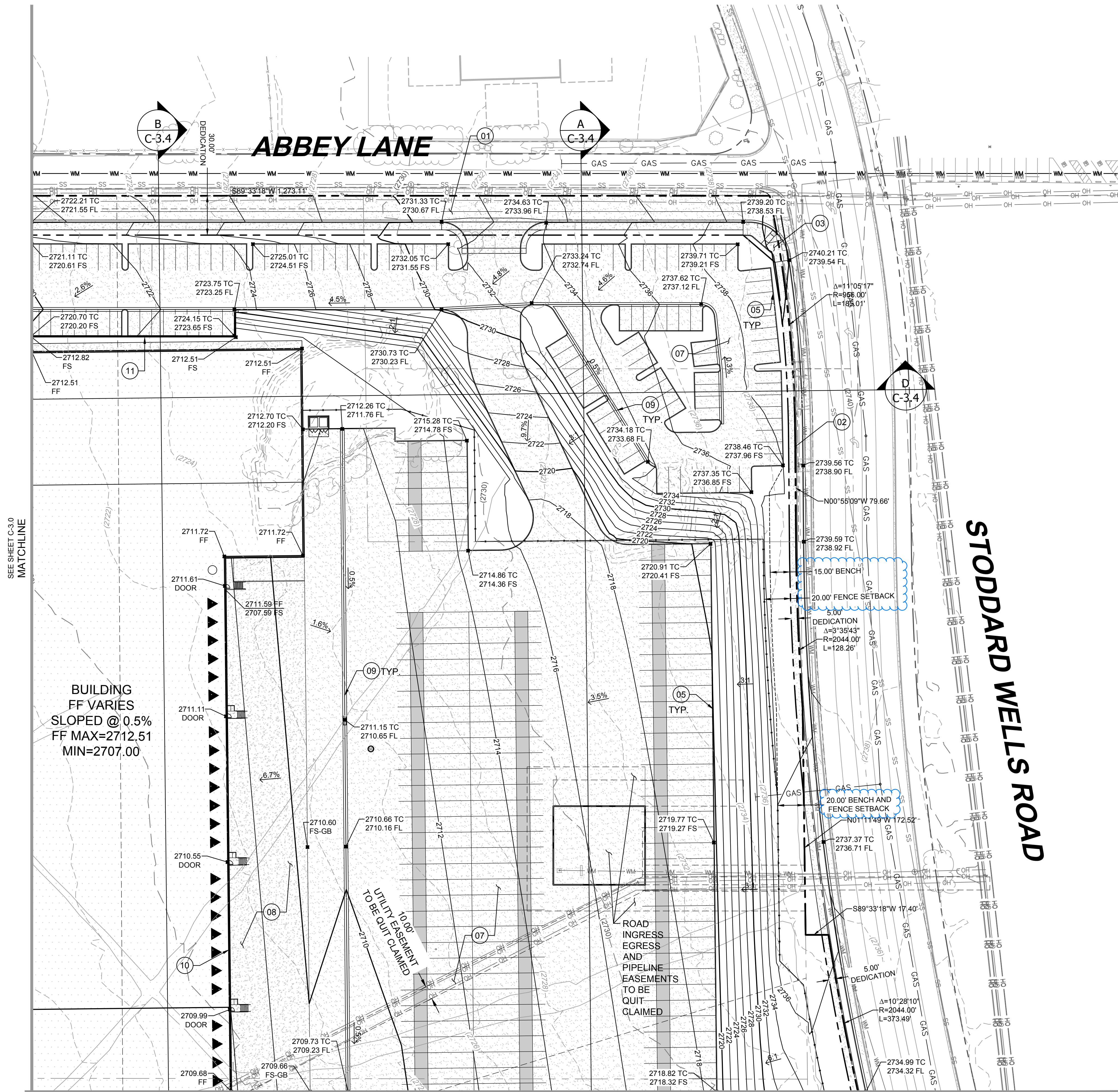
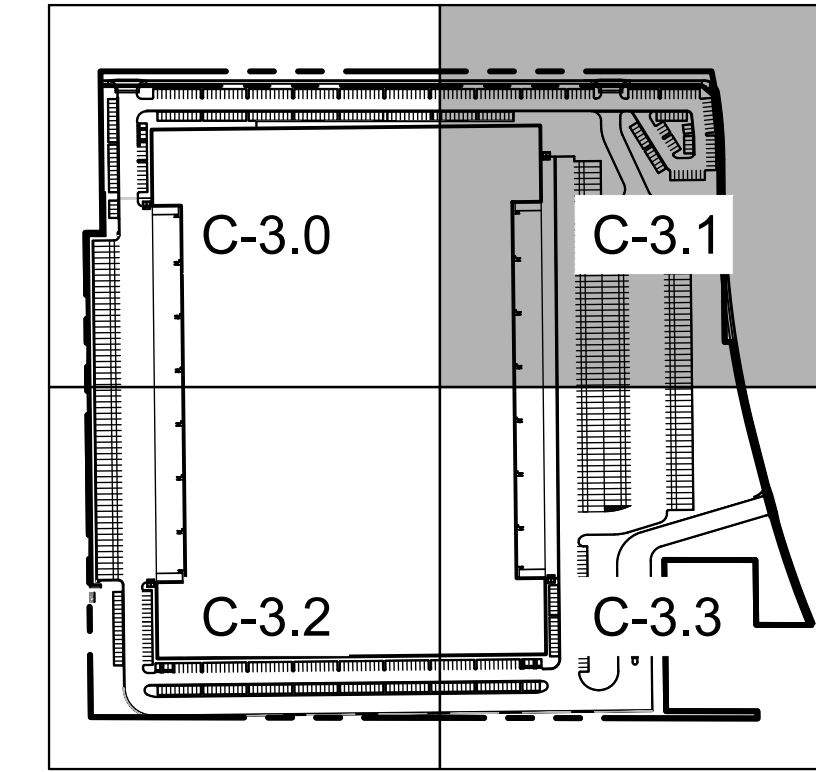
PRELIMINARY GRADING PLAN

Table with columns for NO., DATE, and REMARKS.

Table with columns for JOB NO., PA / PM, DESIGNED, DATE, and PLOT DATE.

SHEET C-3.0 Sheet 03 of 08





CONSTRUCTION NOTES

- 01 ABBEY LANE STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
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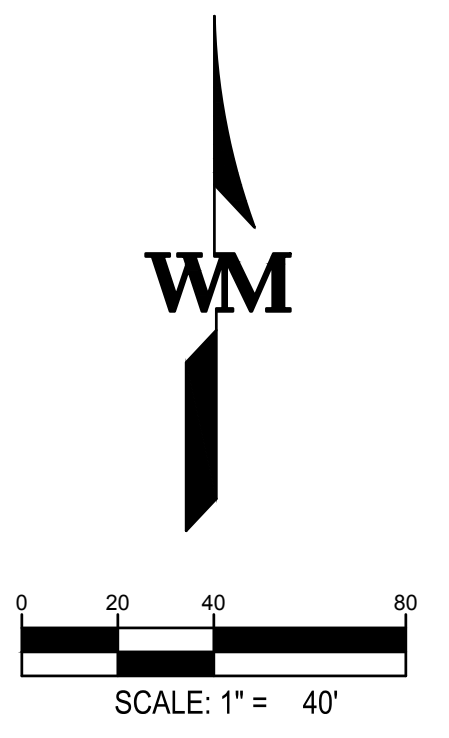
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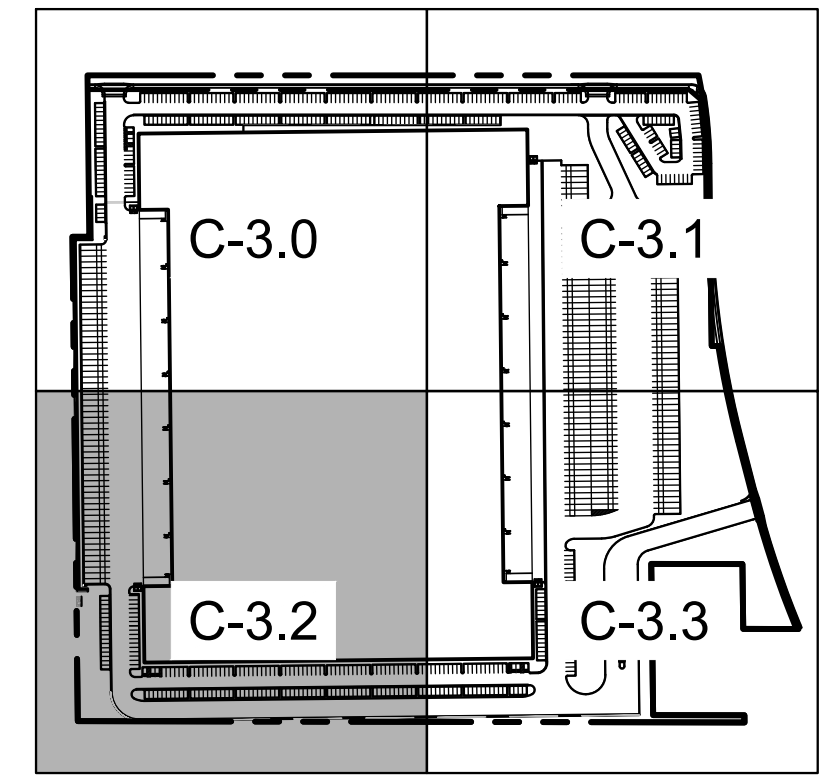
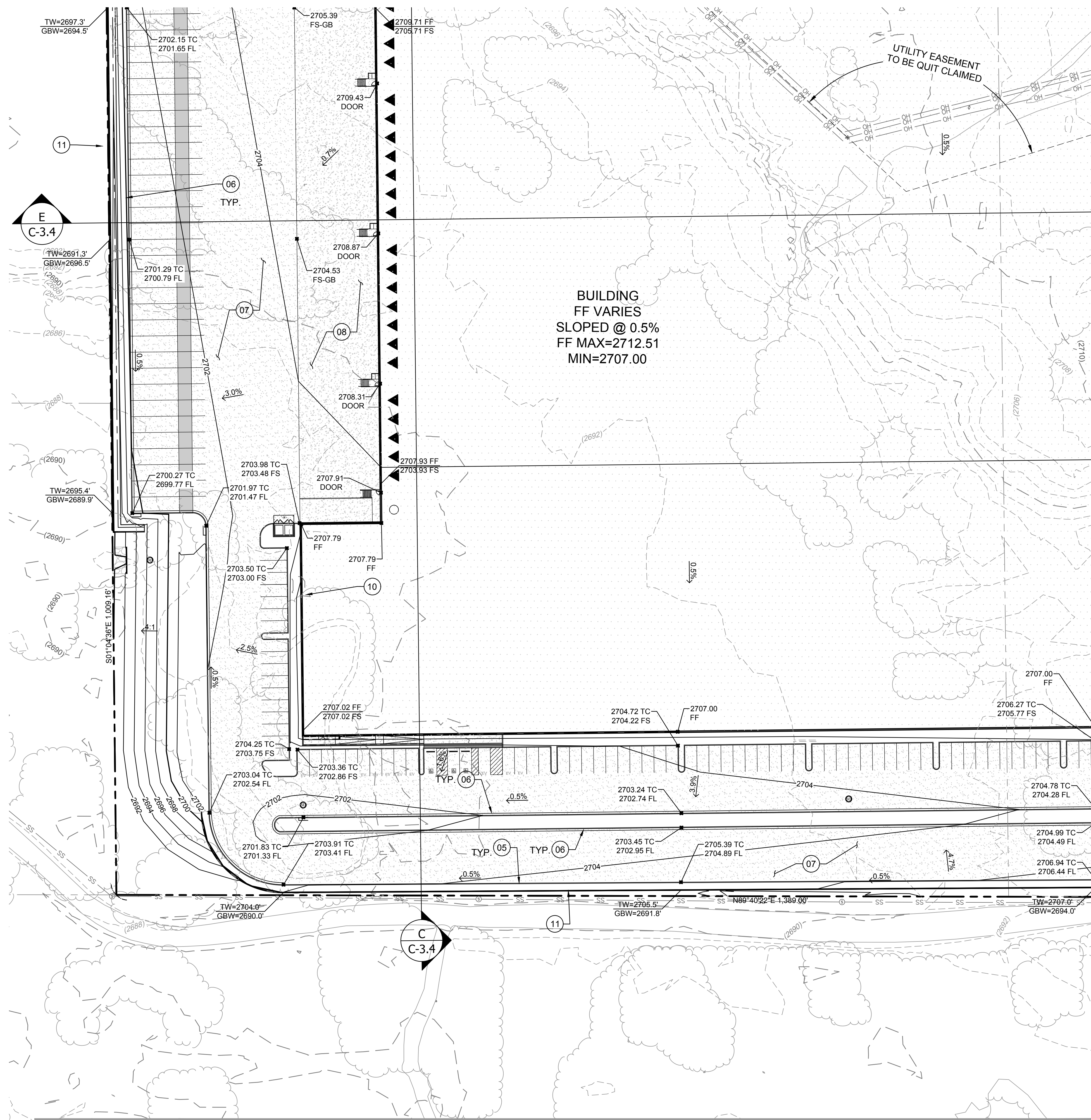
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NO.	DATE	REMARKS

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Sheet 04 of 08



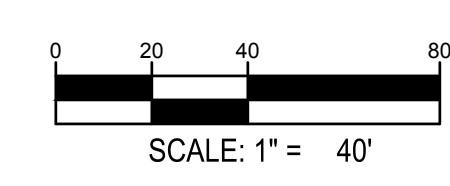
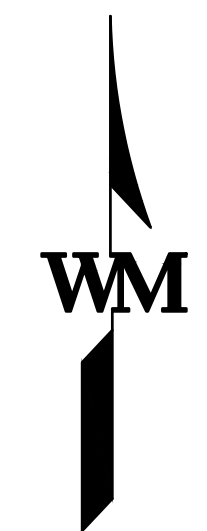


CONSTRUCTION NOTES

- 01 ABBEY LANE STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
- 02 STODDARD WELLS ROAD STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
- 03 CURB RAMP AND CORNER CUT PER CITY STD. S-11B
- 04 NEW COMMERCIAL DRIVE APPROACH PER CITY STD. S-03
- 05 NEW CURB PER CITY STD. S-09
- 06 NEW CURB AND GUTTER PER CITY STD. S-01
- 07 NEW ASPHALT PAVING
- 08 NEW CONCRETE PAVING
- 09 NEW VALLEY GUTTER
- 10 NEW BUILDING DEEPEENED FOOTING
- 11 NEW RETAINING WALL

MATCHLINE
SEE SHEET C-3.1

MATCHLINE
SEE SHEET C-3.2



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LUKAS A. COREBEI
No. 72588
CIVIL
STATE OF CALIFORNIA
10/13/22

FOR AND ON BEHALF
OF WARE MALCOMB

VICTORVILLE
16716 STODDARD WELLS ROAD
VICTORVILLE, CA

PRELIMINARY GRADING PLAN

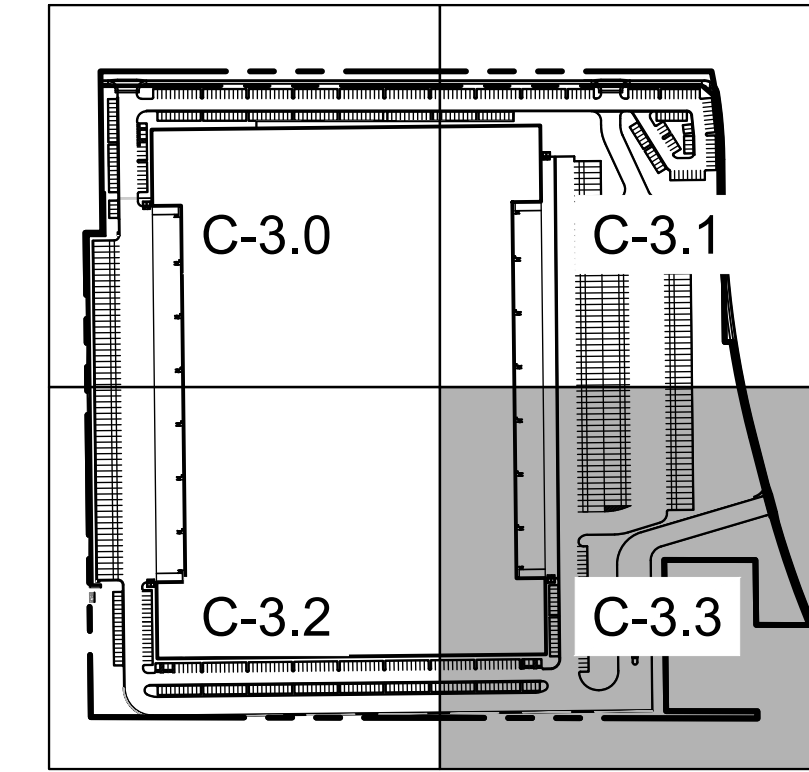
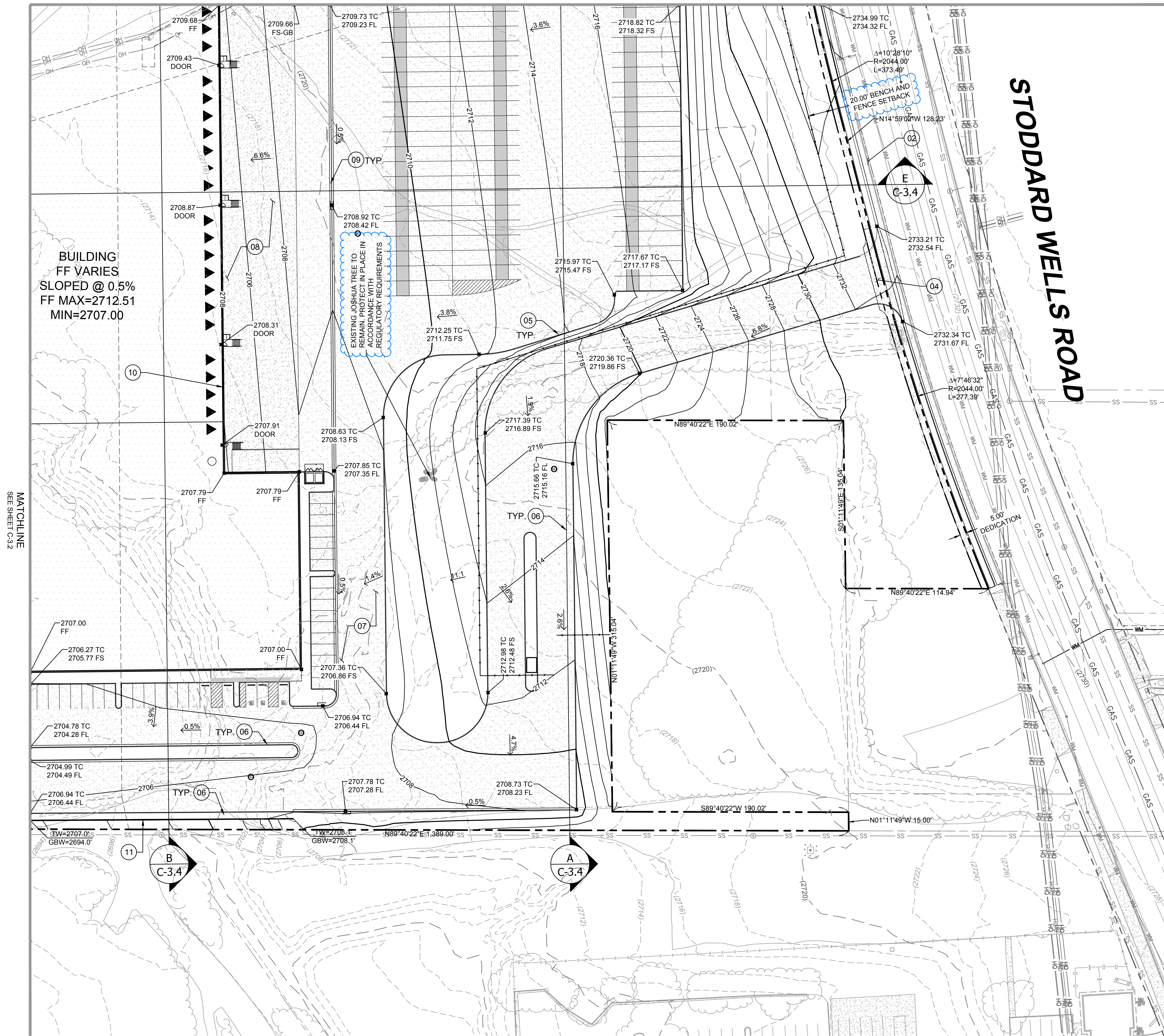
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SEE SHEET C-3.1
MATCHLINE



STODDARD WELLS ROAD

CONSTRUCTION NOTES

- 01 ABBEY LANE STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
- 02 STODDARD WELLS ROAD STREET IMPROVEMENTS. SEE SECTIONS SHEET #####
- 03 CURB RAMP AND CORNER CUT PER CITY STD. S-11B
- 04 NEW COMMERCIAL DRIVE APPROACH PER CITY STD. S-03
- 05 NEW CURB PER CITY STD. S-09
- 06 NEW CURB AND GUTTER PER CITY STD. S-01
- 07 NEW ASPHALT PAVING
- 08 NEW CONCRETE PAVING
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- 11 NEW RETAINING WALL

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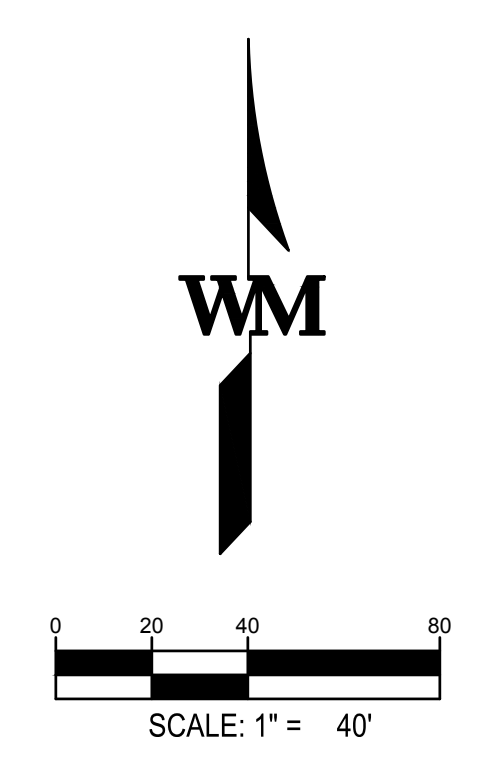
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PRELIMINARY GRADING PLAN

NO.	DATE	REMARKS

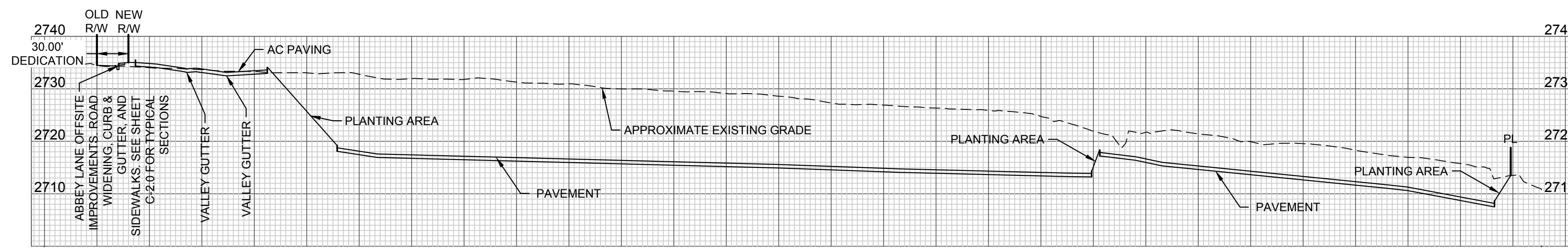
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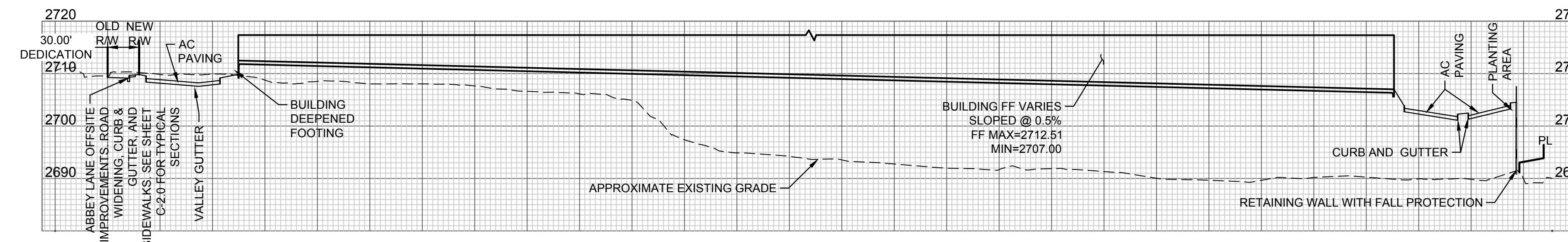
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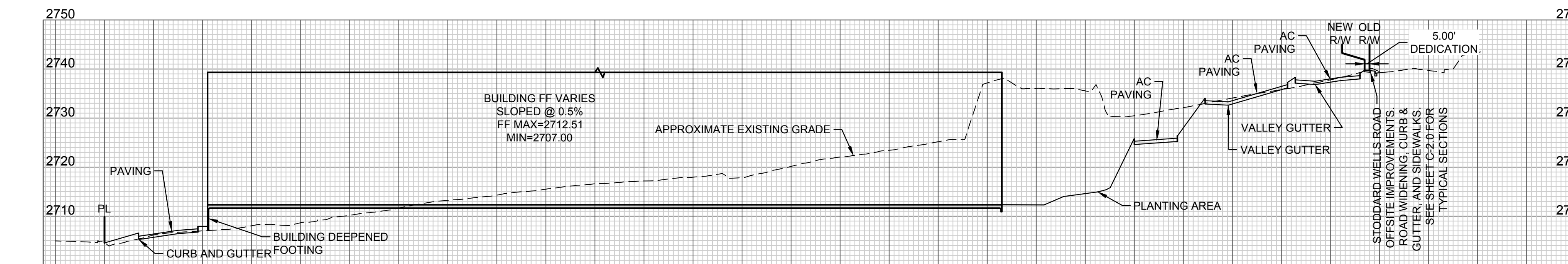
SECTION - A
SCALE: 1" = 80'



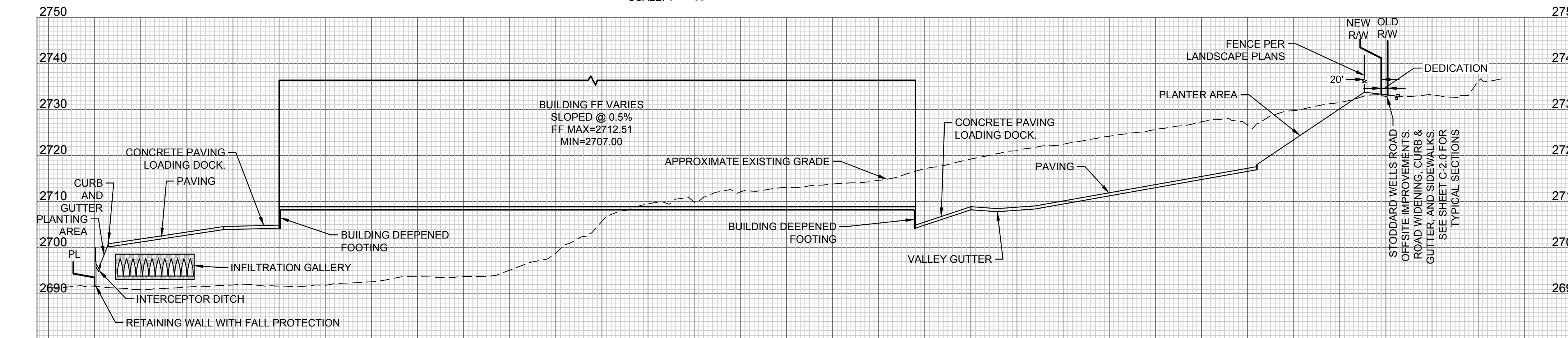
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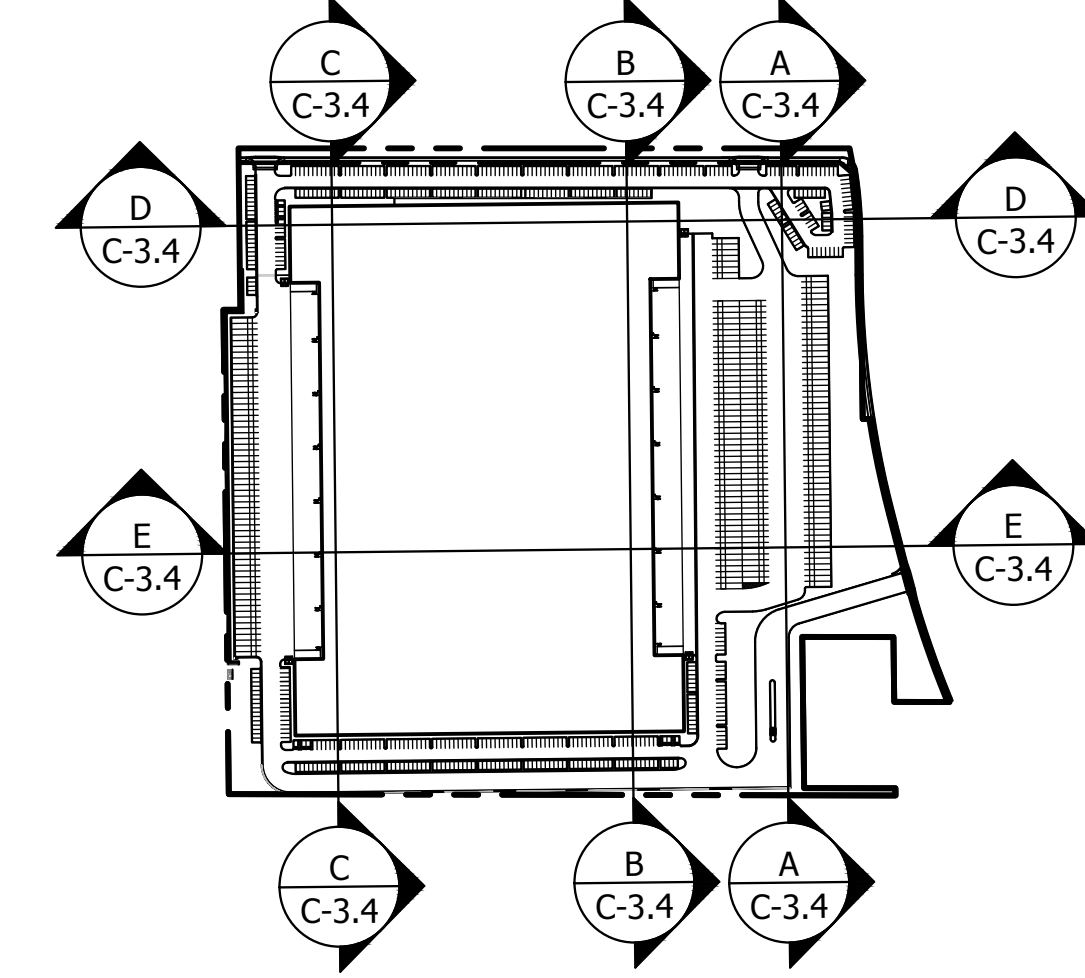
SECTION - C
SCALE: 1" = 80'



SECTION - D
SCALE: 1" = 80'



SECTION - E
SCALE: 1" = 80'



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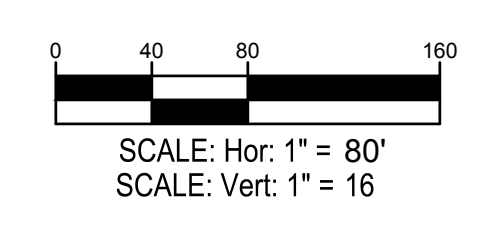
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No. 72588
CIVIL
STATE OF CALIFORNIA
10/13/22

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PRELIMINARY GRADING SECTIONS

NO.	DATE	REMARKS

MODIFIED BENCH SECTION ALONG STODDARD WELLS ROAD
SCALE: 1" = 80'

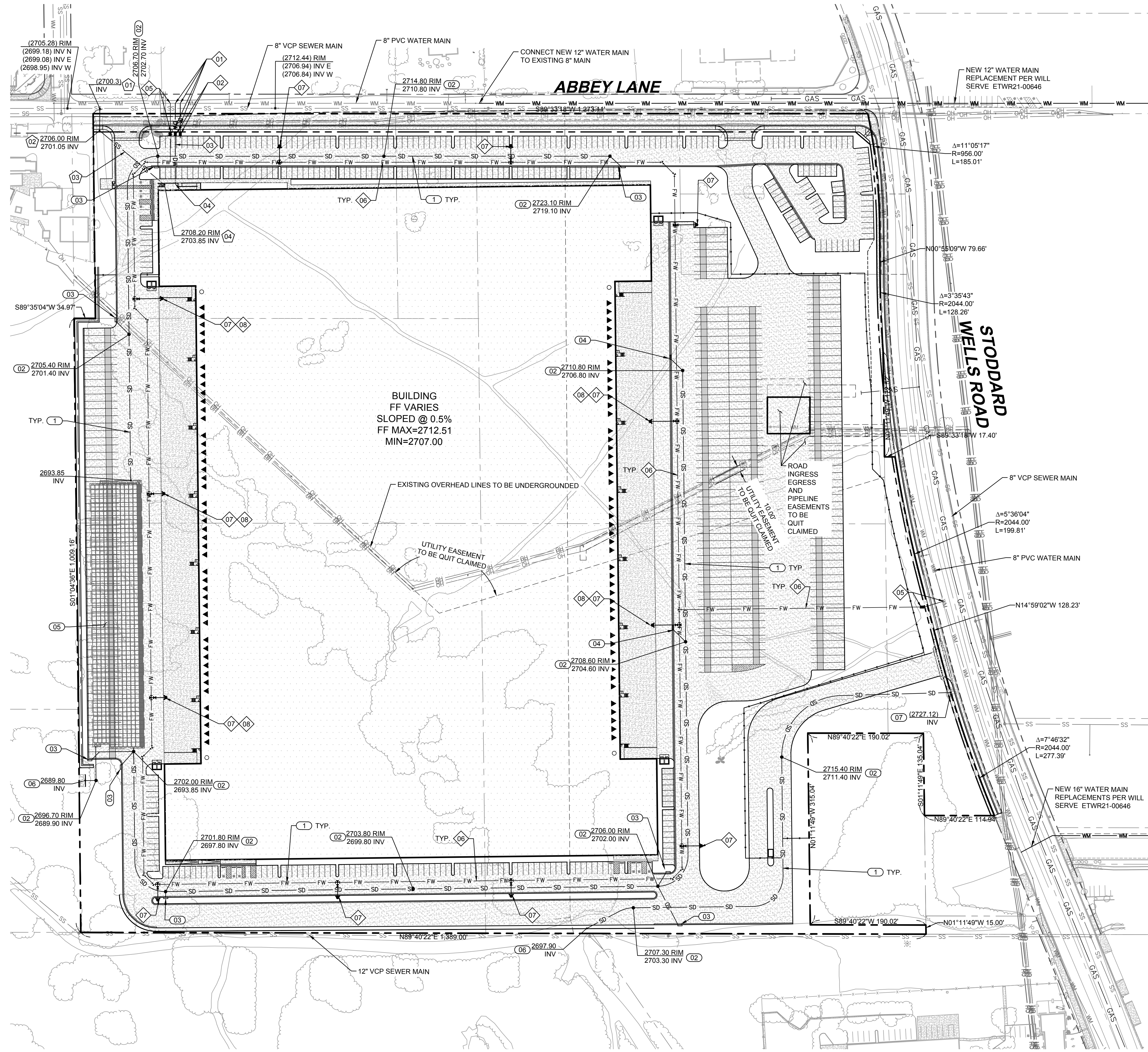


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STORM DRAINAGE NOTES

- 01 NEW STORM DRAIN LINE. SIZE TBD. SLOPED 0.5% MIN.
- 02 NEW MANHOLE STRUCTURE.
- 03 NEW CURB INLET
- 04 NEW GRATE INLET
- 05 NEW INFILTRATION GALLERY
- 06 NEW HEADWALL AND RIP RAP ENERGY DISSIPATION
- 07 CONNECT TO EXISTING STORM DRAIN

SEWER NOTES

- 01 NEW SEWER LATERAL AND CONNECTION PER CITY STD. SS-03
- 02 NEW SEWER LATERAL CLEANOUT PER CITY STD. SS-04
- 03 NEW 6" PVC SDR-35 SEWER LINE. TRENCHING PER CITY STD. SS-05
- 04 NEW SEWER BACKWATER VALVE AND BUILDING PLUMBING POINT OF CONNECTION

WATER NOTES

- 01 NEW 2" DOMESTIC WATER AND IRRIGATION SERVICE CONNECTIONS AND METERS PER CITY STD. W-03
- 02 NEW DOMESTIC WATER AND IRRIGATION RP DEVICES PER CITY STD. W-39
- 03 NEW 2" DOMESTIC WATER SERVICE PER CITY STD. W-35 AND W-36
- 04 NEW DOMESTIC WATER BUILDING PLUMBING POINT OF CONNECTION
- 05 NEW FIRE SERVICE AND BACKFLOW DEVICE PER CITY STD. W-28
- 06 NEW FIRE SERVICE LOOP WITH THRUST BLOCKS. PVC C900 SIZE TBD. PER CITY STD. W-35 AND W-36
- 07 NEW FIRE HYDRANT PER CITY STD W-11
- 08 GUARD POSTS PER CITY STD. W-42

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PRELIMINARY UTILITY PLAN

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