

OAK VALLEY NORTH SPECIFIC PLAN



OAK VALLEY NORTH

SPECIFIC PLAN No. XXXX

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ES – EXECUTIVE SUMMARY

ES.1 SPECIFIC PLAN PROJECT OVERVIEW

The Oak Valley North Specific Plan Area is an approximately 110.2-acre site of predominantly vacant land generally located in the south-central region of the City of Calimesa. The Specific Plan Area is bound by Calimesa Boulevard and Interstate 10 (I-10) to the southwest, vacant land to the north, Beckwith Avenue and single-family residences to the northeast, and the Rancho Calimesa Mobile Home Park to the southeast. The Specific Plan Area is further represented from a regional and local context in Figure ES-1, *Regional Map*, and Figure ES-2, *Vicinity Map*.

The following land use types are represented within the Oak Valley North Specific Plan:

- **Business Park (BP):** Includes manufacturing, warehousing, parcel hub, fulfillment center, light industrial, transportation/trucking storage yards, machinery sales and auction, and other associated uses.
- **Residential High (RH):** Includes multifamily housing and other associated uses. Churches and places of worship would also be conditionally allowed.

The Oak Valley North Specific Plan (“Specific Plan”) provides guidance for the development of a master-planned mixed-use center that is envisioned to contain industrial and high-density residential uses supported by public roads and utility infrastructure, private driveways and parking lots, truck courts, lighting, landscaping, signage, and other functional and decorative features. Much of the Specific Plan Area is to be developed for and occupied by business park uses proposed on 95.6 acres. The remaining 11.2 acres of developable property will be dedicated to high-density residential development.

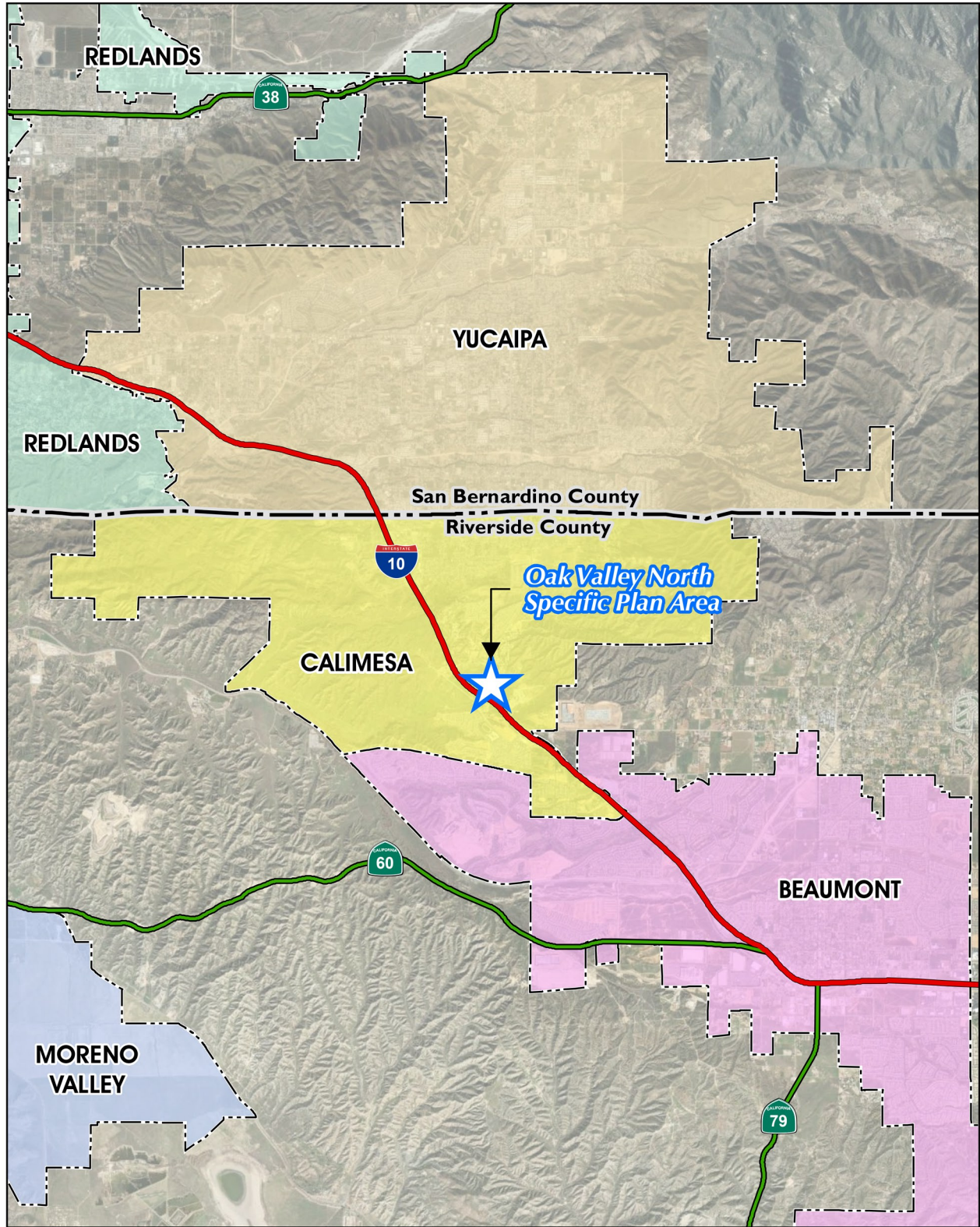
As designed, the Specific Plan Area provides for business park facilities that bring employment opportunities to the City of Calimesa as well as provide adjacent high-density multifamily housing. The high-density residential buildings will be located generally in the southern portion of the site, abutting the Rancho Calimesa Mobile Home Park. Further discussion on permitted land uses for each land use designation is provided in Chapter 3, *Land Use*, of this Specific Plan. A summary of the Specific Plan land uses is listed as follows:

Table ES-1 Land Use Summary

Land Use Designation	Acres ¹	Max FAR ²	Max Density (DU/AC)	Max Dwelling Units	Maximum Building Sq. Ft.
Business Park	95.6 AC	0.25			982,232 SF
Residential High	11.2 AC	--	20	223	N/A
Roadway	3.4 AC	--			N/A
Totals	110.2 AC			223	982,232 SF

¹ Acreages are approximate and subject to survey verification.

² FAR = Floor Area Ratio

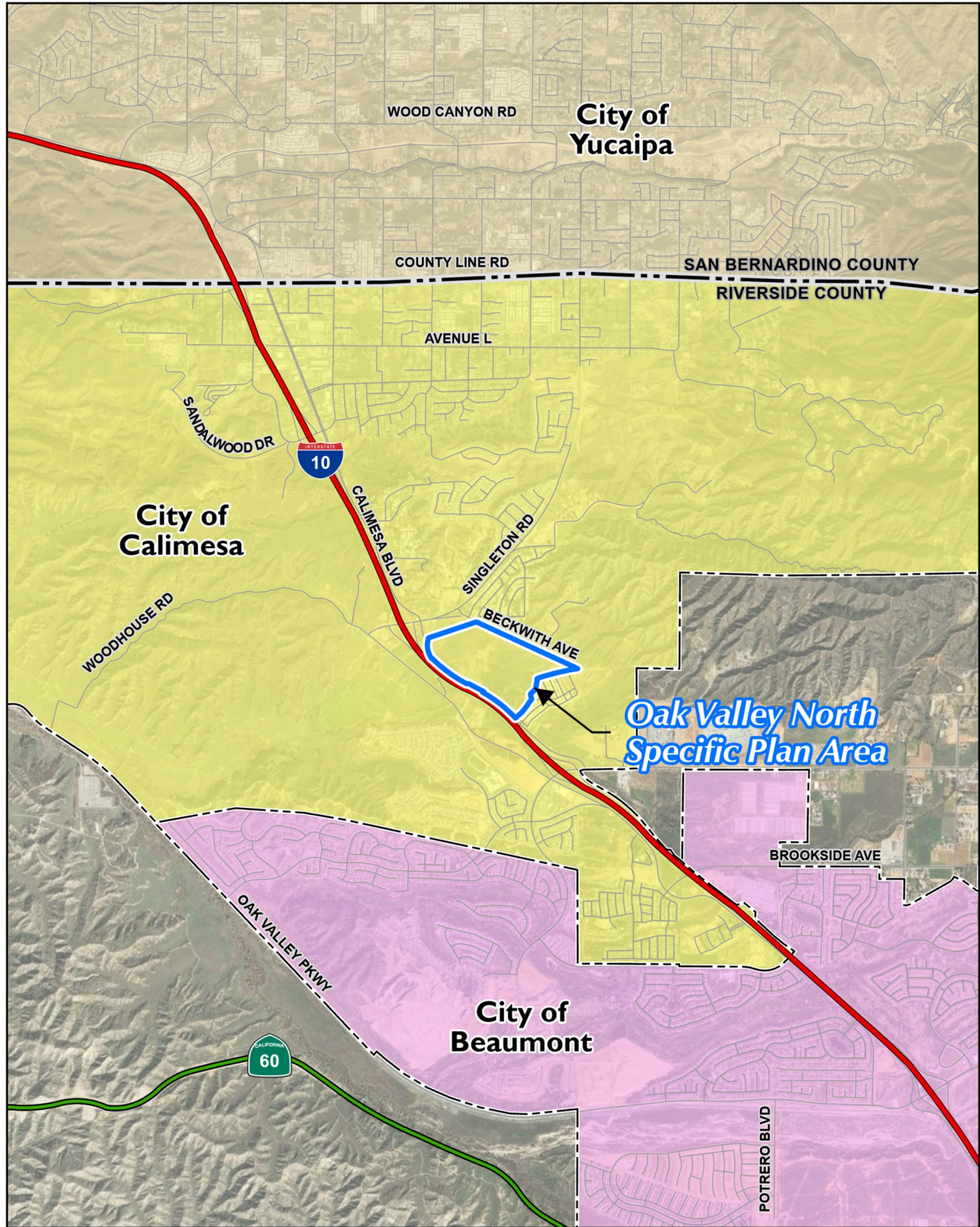


Source(s): ESRI, SB County (2020)

Figure ES-1

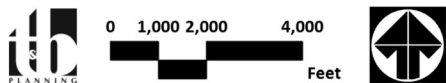


Regional Map



Source(s): ESRI, SB County (2020)

Figure ES-2



Vicinity Map

ES.2 OTHER GOVERNING DOCUMENTS

In addition to this Specific Plan, which includes a Land Use Plan, Infrastructure Plan, Development Regulations, Design Guidelines, Landscape Guidelines, and an Implementation Plan, the following documents also contain applicable information relevant to the Oak Valley North Specific Plan:

- **City of Calimesa General Plan.** Adopted in 2014, the City of Calimesa General Plan includes goals and policies that pertain to the land governed by the City of Calimesa, which includes land use, transportation and mobility, infrastructure and public services, housing, resource management, open space, safety, noise, air quality, and sustainability elements.
- **City of Calimesa Municipal Code.** The regulatory provisions in the City of Calimesa's Municipal Code govern topics which this Specific Plan's Development Regulations do not address. Note: where the requirements of the Specific Plan differ from the requirements of the City's Municipal Code (per Ord. 381 § 11, 2021), the Specific Plan takes precedence.
- **Mitigation Monitoring and Reporting Program (MMRP).** An Environmental Impact Report (EIR) is the California Environmental Quality Act (CEQA) compliance document for the Oak Valley North Specific Plan. The EIR's MMRP stipulates certain measures required to be implemented to mitigate environmental effects associated with the development represented in the Specific Plan Area.

ES.3 SPECIFIC PLAN COMPONENTS

The Oak Valley North Specific Plan is organized into the following chapters:

Chapter 1 – Introduction:

Describes the purpose and objectives of this Specific Plan, related entitlement approvals for implementing development, and the general relationship of this Specific Plan to the City of Calimesa General Plan.

Chapter 2 – Existing Conditions:

Describes the physical setting of the Oak Valley North Specific Plan Area and the physical conditions on and surrounding the property at the time this Specific Plan was prepared.

Chapter 3 – Land Use:

Describes the Oak Valley North Specific Plan development plan, which includes a Business Park and a Residential High planning area. Chapter 3 also specifies the acreage and maximum development intensities (amount of building square footage or maximum allowable housing units) permitted in each land use category.

Chapter 4 – Circulation and Infrastructure:

Provides information on vehicular and non-vehicular circulation improvements; the planned water, sewer, and storm drain systems; the planned dry utility network; and the preliminary grading concept for development within the Oak Valley North Specific Plan Area.

Chapter 5 – Development Regulations:

Establishes the list of permitted and conditionally permitted land uses within the Oak Valley North Specific Plan Area and presents the development standards that govern these uses. The Oak Valley North Specific Plan generally follows the regulations and standards provided for in the City of Calimesa

Municipal Code (per Ord. 381 § 11, 2021). Any land use, development regulation, and design standards deviation from the City's Municipal Code (per Ord. 381 § 11, 2021) will be addressed in Chapter 5 or in Appendix B.

Chapter 6 – Design Guidelines:

Provides guidelines for site planning and architectural quality of implementing development within the Oak Valley North Specific Plan Area. These guidelines address several items applicable to development within the Specific Plan Area, such as architectural design, fencing, lighting, and signage.

Chapter 7 – Landscape Guidelines:

Provides guidelines for the landscaping within the Oak Valley North Specific Plan Area. These guidelines address site landscape design, streetscapes, walls/fences, and entry treatments.

Chapter 8 – Implementation Plan:

Presents the policies and procedures for the City's review and approval necessary for the development of projects within the Oak Valley North Specific Plan Area. This Chapter also describes the methods and procedures for interpreting and amending the Specific Plan. A summary of maintenance responsibilities for development within the Specific Plan Area is also provided.

Appendix A – Consistency with the General Plan:

Provides a matrix evaluating the consistency of the Oak Valley North Specific Plan with each of the applicable policies of the City of Calimesa General Plan (2014).

Appendix B – Oak Valley North Zoning Ordinance:

Provides zoning requirements, development standards, and deviations from the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021) applicable within the Oak Valley North Specific Plan Area.



CHAPTER 1 – INTRODUCTION

1.1 SPECIFIC PLAN PURPOSE AND INTENT

The purpose of the Oak Valley North Specific Plan (“Specific Plan”) is to guide the development of an approximately 110.2-acre property into a mixed-use master-planned community known as Oak Valley North. Oak Valley North is located within the south-central region of the City of Calimesa (City), immediately northeast of Interstate 10 (I-10) and Calimesa Boulevard and southwest of Beckwith Avenue. The Specific Plan is poised to accommodate land uses that rely on access to the local and regional transportation network. The site location and proximity to I-10 provides the ability to quickly receive and transport goods and conduct other commerce activities. The location also provides future residents access to the same transportation network, easily connecting to neighboring services, jobs, and amenities.

Development projects proposed within the boundaries of the Specific Plan are required to adhere to the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021) as well as development standards, design guidelines, and landscape guidelines as set forth within this Specific Plan document.

1.2 SPECIFIC PLAN OBJECTIVES

This Specific Plan achieves the following objectives:

- To be consistent with the Goals, Policies, and Objectives of the City of Calimesa’s General Plan (2014).
- To provide a land use plan for developing a state-of-the-art mixed-use site that accommodates modern business and business park activities and high quality high-density multifamily housing.
- To attract and sustain business park uses in ways that are compatible with surrounding land uses.
- To provide opportunities for positive economic benefit to the City, including new General Fund net revenues that can assist with maintaining vital City services.
- To diversify the City’s available range of employment-generating land uses.
- To provide quality high-density housing opportunities designed to be marketable and accessible to those within the greater Calimesa area.
- To physically separate residential and business park areas through traditional and creative means such that the uses are complementary and supportive while limiting conflicts associated with the adjacency of these uses.
- To identify capital improvements for water, sewer, storm drain, and circulation facilities that serve planned land uses within and adjacent to the Specific Plan Area.
- To define guidelines and standards for architecture, landscaping, entry monuments/signage, and fencing and screening within the Specific Plan Area.

1.3 AUTHORITY

The Specific Plan is a regulatory document prepared pursuant to the provisions of California Government Code §§ 65450 through 65457, which grants local government agencies the authority to prepare Specific Plans for the systematic implementation of their General Plan for all or part of the area covered by the General Plan. While the City of Calimesa General Plan covers the entire City, the Specific Plan concentrates on the specific development of the approximately 110.2-acre Oak Valley North site.

California Government Code §§ 65450 through 65457 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to California Government Code § 65451:

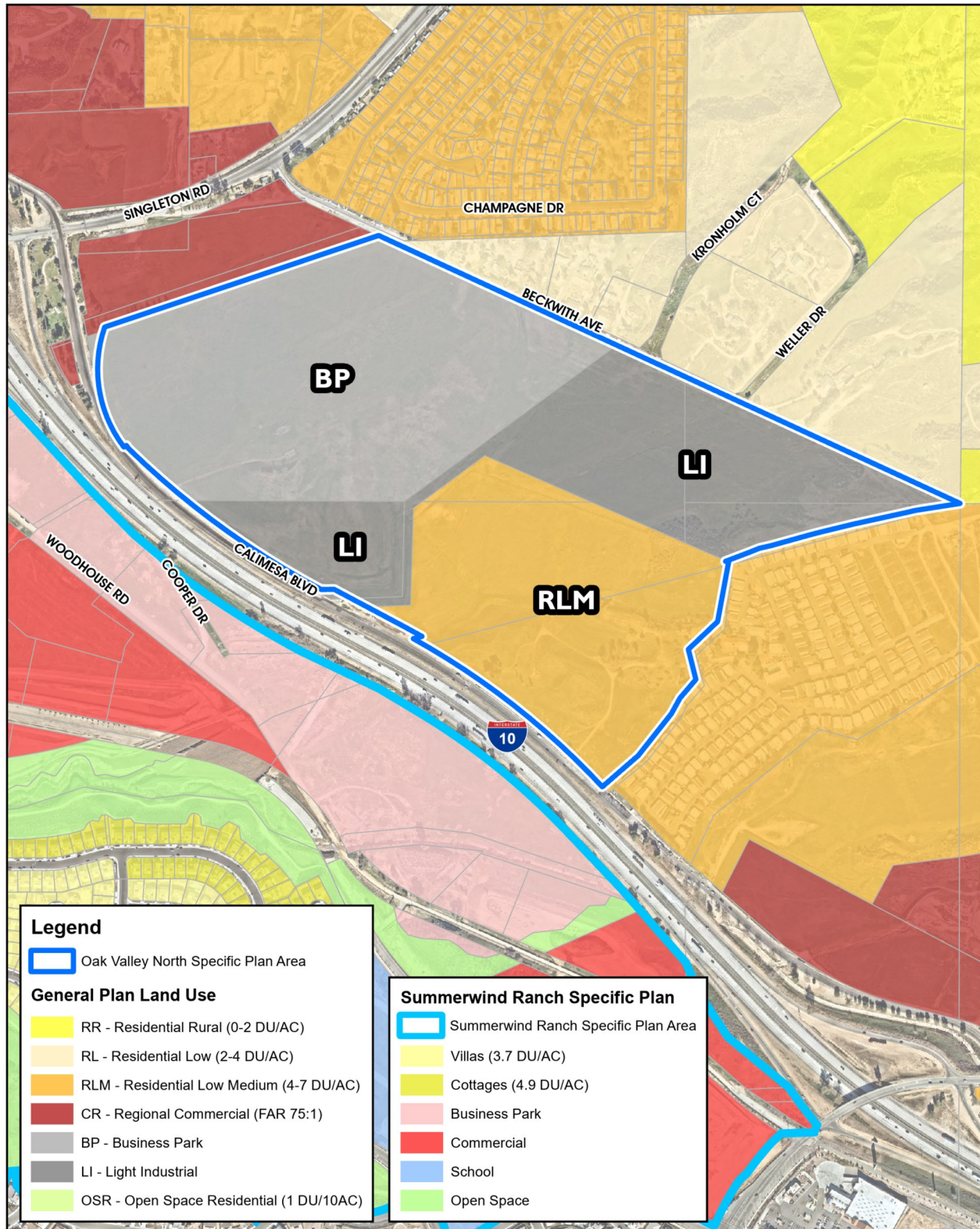
- (a) A Specific Plan shall include text and diagram which specify all the following in detail:
 - 1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
 - 2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
 - 3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
 - 4) A program of implementation measures, including regulations, programs, public works projects, and financing measures, is necessary to carry out items 1, 2, and 3.
- (b) The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.

This Specific Plan includes each of the required items listed above and establishes the essential link between the policies of the City of Calimesa General Plan and Oak Valley North. All future development plans and implementation construction activities within Oak Valley North are required to be consistent with the requirements set forth in the Specific Plan and with all other applicable City regulations.

1.4 PLANNING CONTEXT

As shown in Figure 1-1, *Existing General Plan Land Use Designations (2022)*, the City's General Plan (2014) designates the Oak Valley North property as Business Park (BP), Light Industrial (LI), and Residential Low Medium (RLM). A General Plan Amendment (GPA) is required concurrent with the approval of this Specific Plan to amend the City's General Plan Land Use Map to change the site's land use designations to Business Park (BP) and Residential High (RH), as shown in Figure 1-2, *Proposed General Plan Land Use Designations*.

The Oak Valley North property current zoning designations include Business Park (B-P), Light Industrial (L-I), and Residential Low/Medium (R-L-M), as shown in Figure 1-3, *Existing Zoning Designations (2022)*. A Zone Change is required concurrent with the approval of this Specific Plan to amend the City's Zoning Map to change the Oak Valley North property's zoning designation to Specific Plan Area (SPA) to allow for business park and high-density residential uses, as shown in Figure 1-4, *Proposed Zoning Designation*.

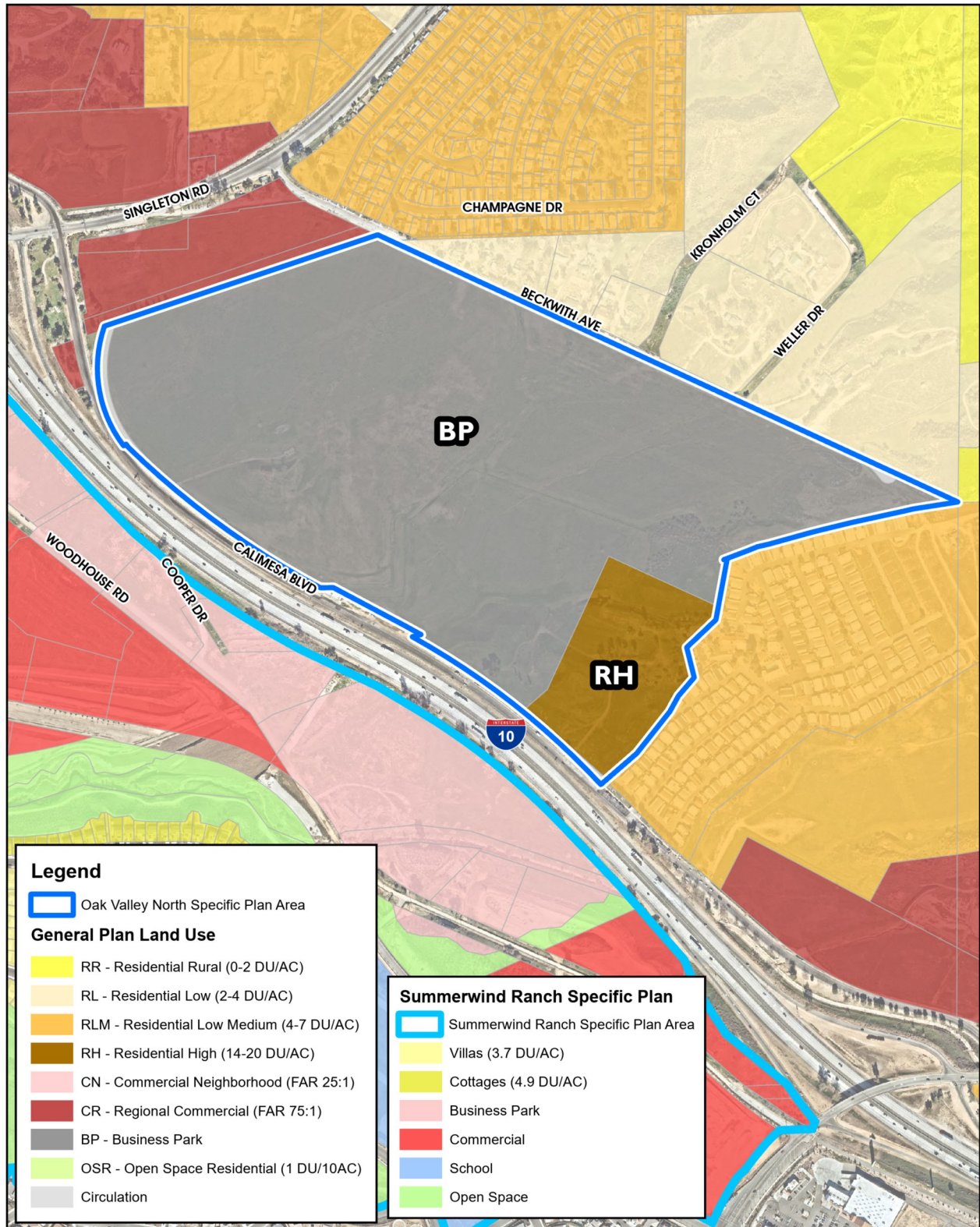


Source(s): City of Calimesa (2014), ESRI, NearMap (2023), RCTLMA (2022)

Figure 1-1



Existing General Plan
Land Use Designations (2022)

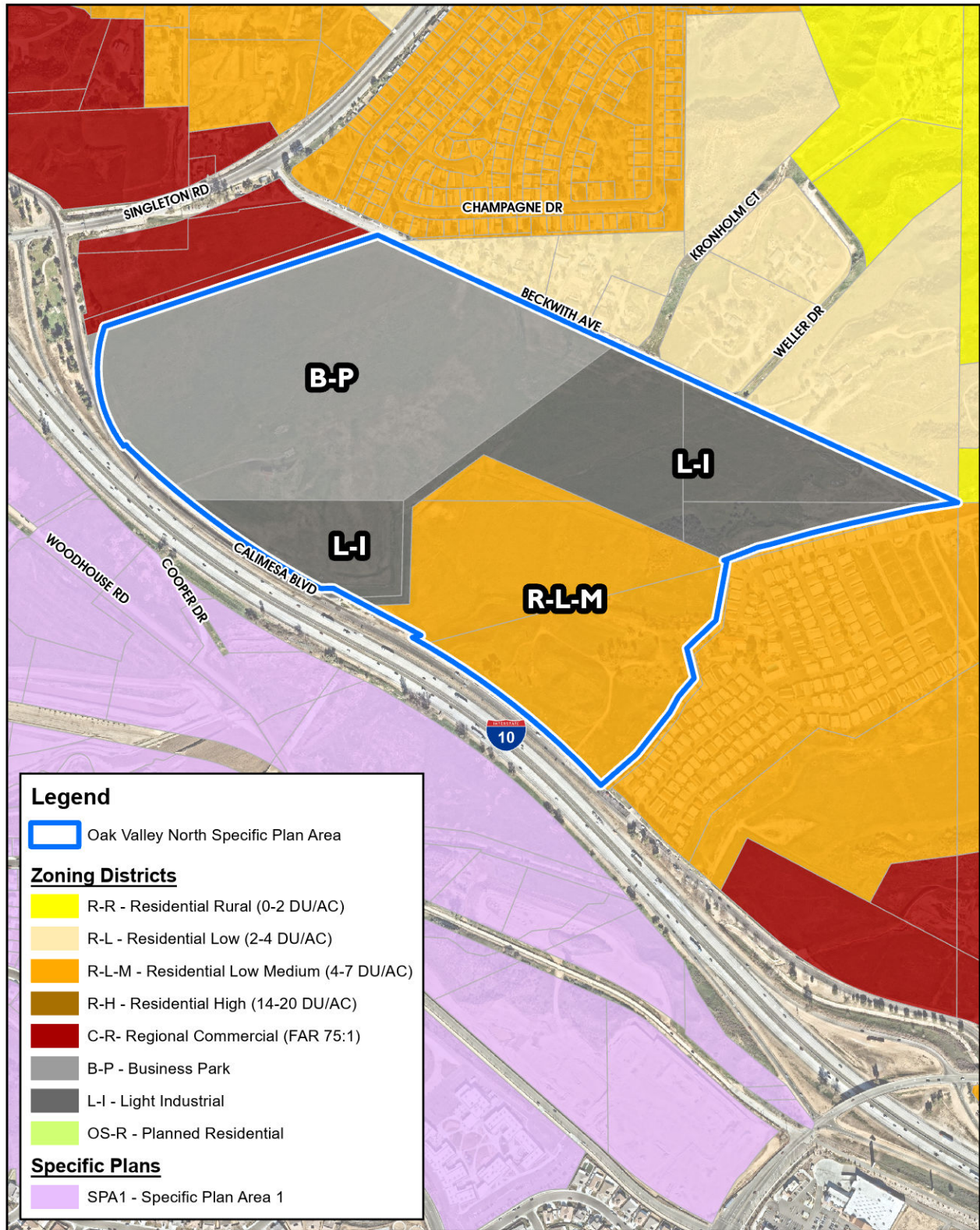


Source(s): City of Calimesa (2014), ESRI, NearMap (2023), RCTLMA (2022)

Figure 1-2



Proposed General Plan Land Use Designations

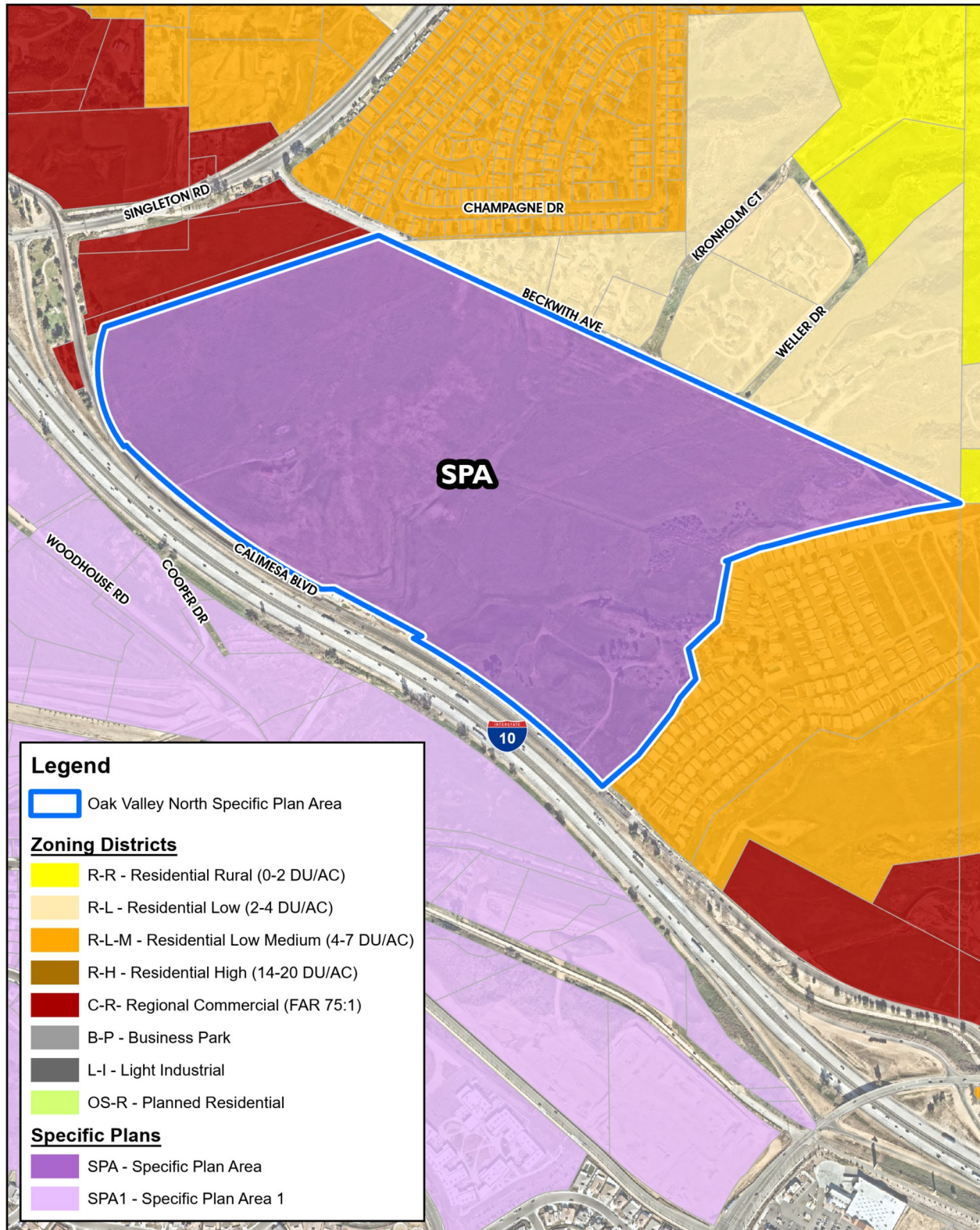


Source(s): City of Calimesa (2014), ESRI, NearMap (2023), RCTLMA (2022)

Figure 1-3



Existing Zoning Designations (2022)



Source(s): City of Calimesa (2014), ESRI, NearMap (2023), RCTLMA (2022)

Figure 1-4



Proposed Zoning Designations

1.5 ENVIRONMENTAL REVIEW

An Environmental Impact Report (EIR) (SCH No. 2022120265) has been prepared and concurrent with the approval of this Specific Plan is to be certified in compliance with the California Environmental Quality Act (CEQA) to serve as the project-wide environmental assessment document. Together, this Specific Plan and the environmental mitigation measures contained in the accompanying EIR's Mitigation Monitoring and Reporting Program (MMRP) provide a path to develop the property considering all applicable goals, objectives, government requirements, and environmental regulations.

1.6 DISCRETIONARY ACTIONS

The Specific Plan and any future amendments are required to be considered by the City of Calimesa Planning Commission and City Council and adopted by ordinance or resolution of the City Council, pursuant to City of Calimesa Municipal Code Chapter 18.15, Administrative Provisions. More information on implementation procedures is contained in Chapter 8, *Implementation Plan*. The following discretionary actions will be required as part of the Oak Valley North Specific Plan:

General Plan Amendment: A General Plan Amendment is required concurrent with the approval of this Specific Plan to reflect the changes to land uses as shown in Figure 1-2, *Proposed General Plan Land Use Designation*. The General Plan Amendment will designate approximately 95.6 acres as Business Park (BP) and approximately 11.2 acres as Residential High (RH).

Change of Zone: A Change of Zone will take place concurrent with the approval of this Specific Plan. As depicted in Figure 1-4, *Proposed Zoning Designation*, the Change of Zone will designate the entire 110.2 acres Project site as Specific Plan Area (SPA).

Tentative Parcel Map: A Tentative Parcel Map (TPM) will be reviewed and considered concurrent with the approval of this Specific Plan indicating the boundaries and dimensions of parcels within the Specific Plan Area. Following approval of the TPM, a Final Map will become the legal document that defines the parcels within the Specific Plan Area.

Development Agreement: Due to the scale of the Project, a Development Agreement is proposed to vest the entitlements and fees, to ensure financing of public improvements required by the conditions of approval, and to provide community benefits. The Development Agreement will include provision of new public benefits, including, but not limited to, expansion of employment opportunities for area residents.

Development Plan Review: All development within the Oak Valley North Specific Plan Area shall be subjected to a Development Plan Review. The development standards, design guidelines, and landscaping guidelines provided in the Oak Valley North Specific Plan shall be the design criteria which the City of Calimesa refers to during the Development Plan Review process.

CHAPTER 2 – EXISTING CONDITIONS

2.1 EXISTING AND SURROUNDING LAND USES

At the time Oak Valley North Specific Plan (“Specific Plan”) was prepared, the site was vacant and undeveloped apart from one vacant (1) single-family home located in the central portion of the site. As shown in Figure 2-1, *Existing Site Condition (2022)*, the Specific Plan Area is bound by Calimesa Boulevard and Interstate 10 (I-10) to the southwest, vacant land to the north, Beckwith Avenue and single-family residences to the northeast, and single-family residences to the southeast.

2.2 EXISTING TOPOGRAPHY

The Specific Plan area is generally flat with the highest elevation found in the northeast and the lowest elevation in the south. Figure 2-2, *Surrounding Land Use*, and Figure 2-3, *USGS Topographic Map*, depict the physical condition when this Specific Plan was prepared.

2.3 EXISTING CIRCULATION AND ACCESS

2.3.1 Regional Circulation

As shown in Figure ES-2, *Vicinity Map*, Interstate 10 (I-10) is located adjacent to and immediately southwest of the Specific Plan Area. The Specific Plan Area is accessible to and from I-10 via the Singleton Road interchange (approximately ¼ mile to the northwest) as well as the Cherry Valley Boulevard interchange (approximately ½ mile to the southeast).

2.3.2 Local Circulation

As shown in Figure ES-2, *Vicinity Map*, access to the Specific Plan Area is provided from Calimesa Boulevard and Beckwith Avenue.

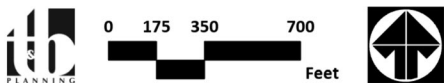
Calimesa Boulevard abuts the southwestern boundary of the Specific Plan Area. The existing street currently consists of one lane in each direction and is absent of on-street parking. The City’s General Plan (2014) classifies Calimesa Boulevard as a Major Arterial Roadway, which provides 92 feet of right-of-way upon full buildout.

Beckwith Avenue abuts the northeastern boundary of the Specific Plan Area, consisting of one lane in each direction and absent of on-street parking. The City’s General Plan (2014) classifies Beckwith Avenue as a Collector Roadway, which provides 52 feet of right-of-way upon full buildout.

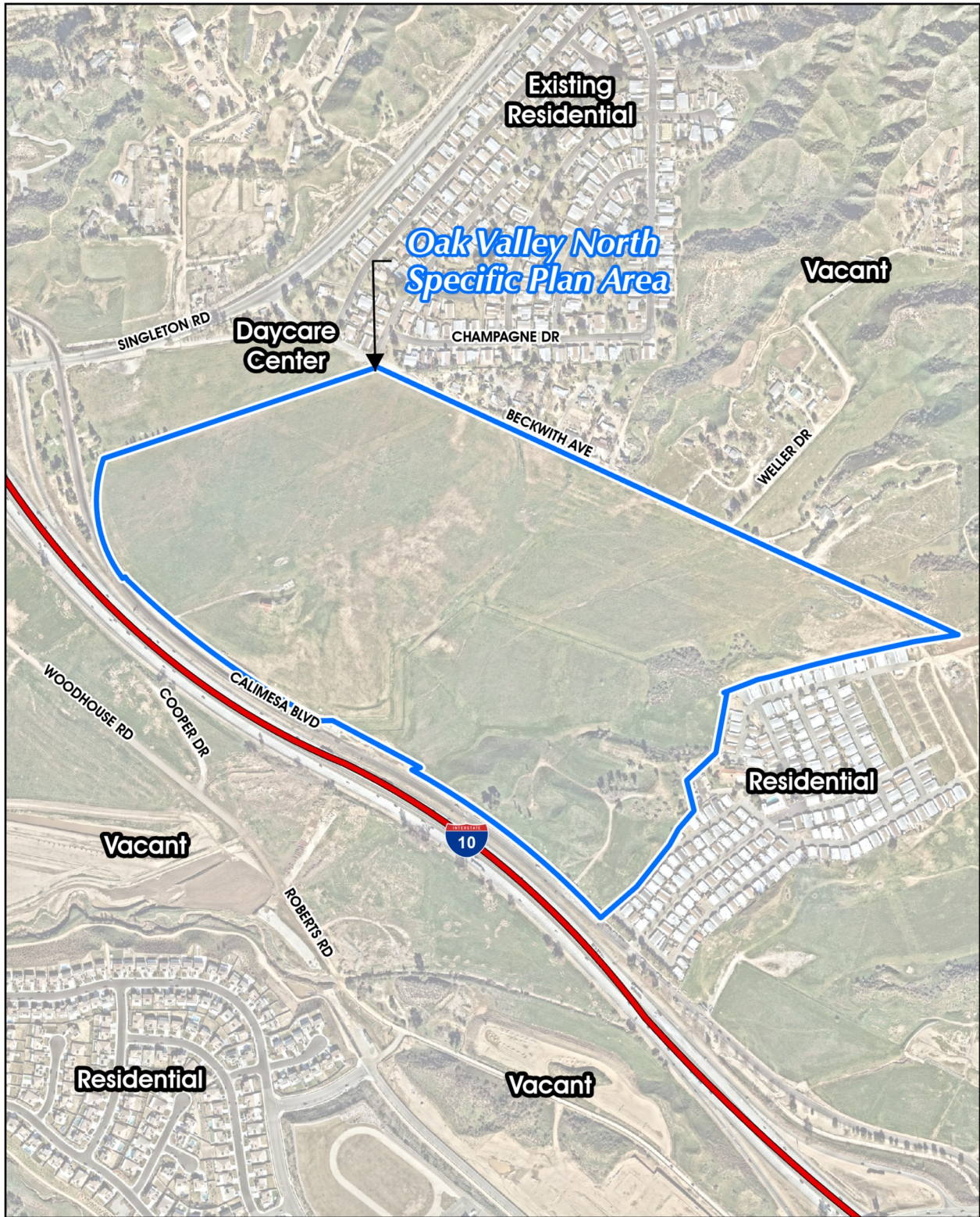


Source(s): ESRI, NearMap (2023), RCLMA (2022)

Figure 2-1



Existing Site Condition (2022)

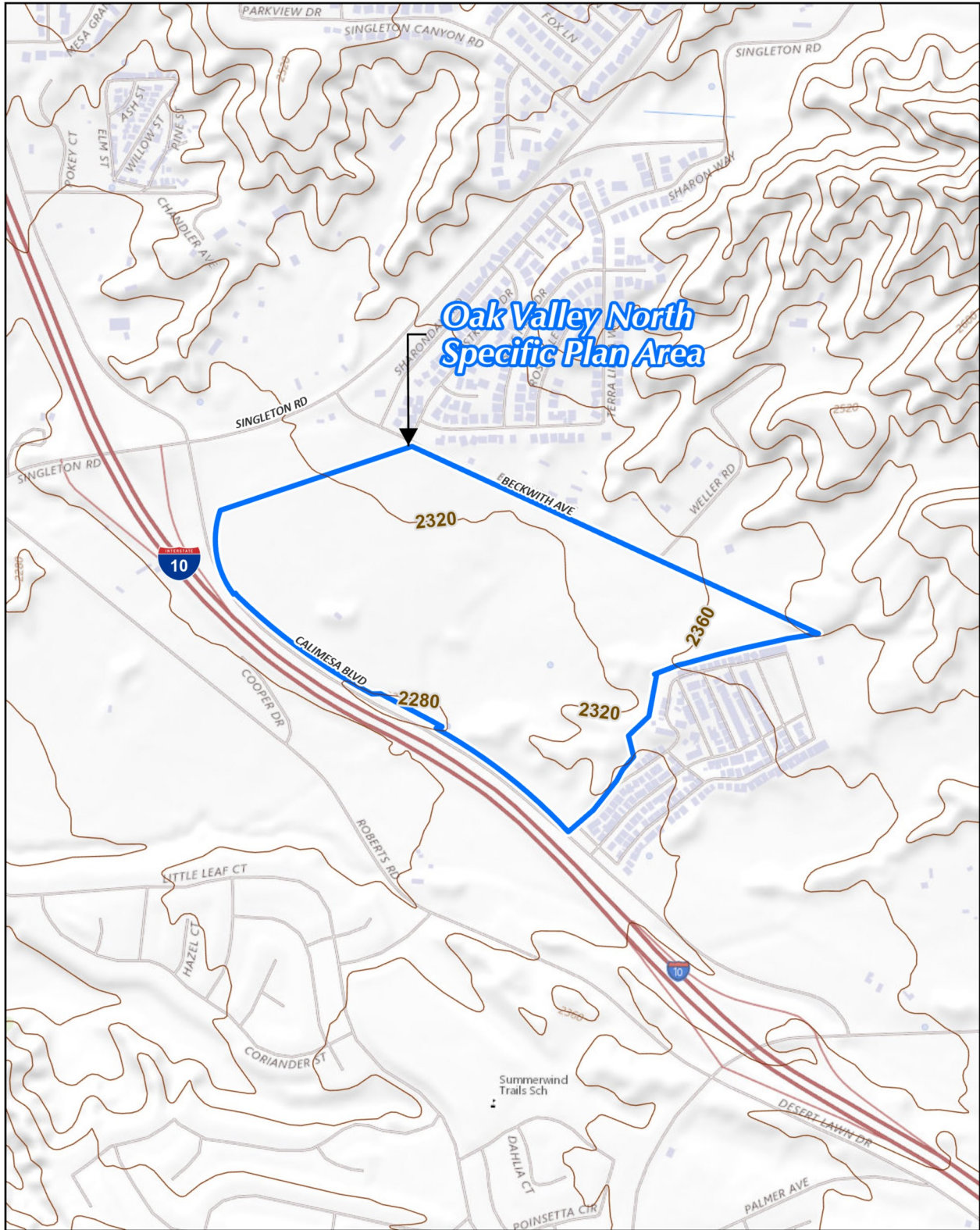


Source(s): ESRI, NearMap (2023), RCTLMA (2022)

Figure 2-2



Surrounding Land Use



Source(s): ESRI, USGS (2021)

Figure 2-3



USGS Topographic Map

CHAPTER 3 – LAND USE

3.1 VISION

The Oak Valley North Specific Plan (“Specific Plan”) is designed to serve as a mixed-use master-planned community consisting of business park and residential land uses. Located in the south-central region of the City of Calimesa, the Specific Plan is positioned to attract various business types and sizes and provide high-density residential housing for the increasing population and demand for housing. The Specific Plan Area is envisioned as an attractive economic investment location for businesses to provide goods, services, and job opportunities to the Calimesa community and surrounding region.

3.2 LAND USE PLAN

A “Specific Plan Area” is a specific geographic area in which development standards are uniformly applied. The Specific Plan establishes two (2) land use designations: Business Park (BP) and Residential High (RH). The approximately 110.2-acre Oak Valley North Specific Plan is divided into two (2) planning areas for planning purposes. Figure 3-1, *Conceptual Land Use Plan*, depicts the physical arrangement of the planning areas and the major roads within and abutting the Specific Plan.

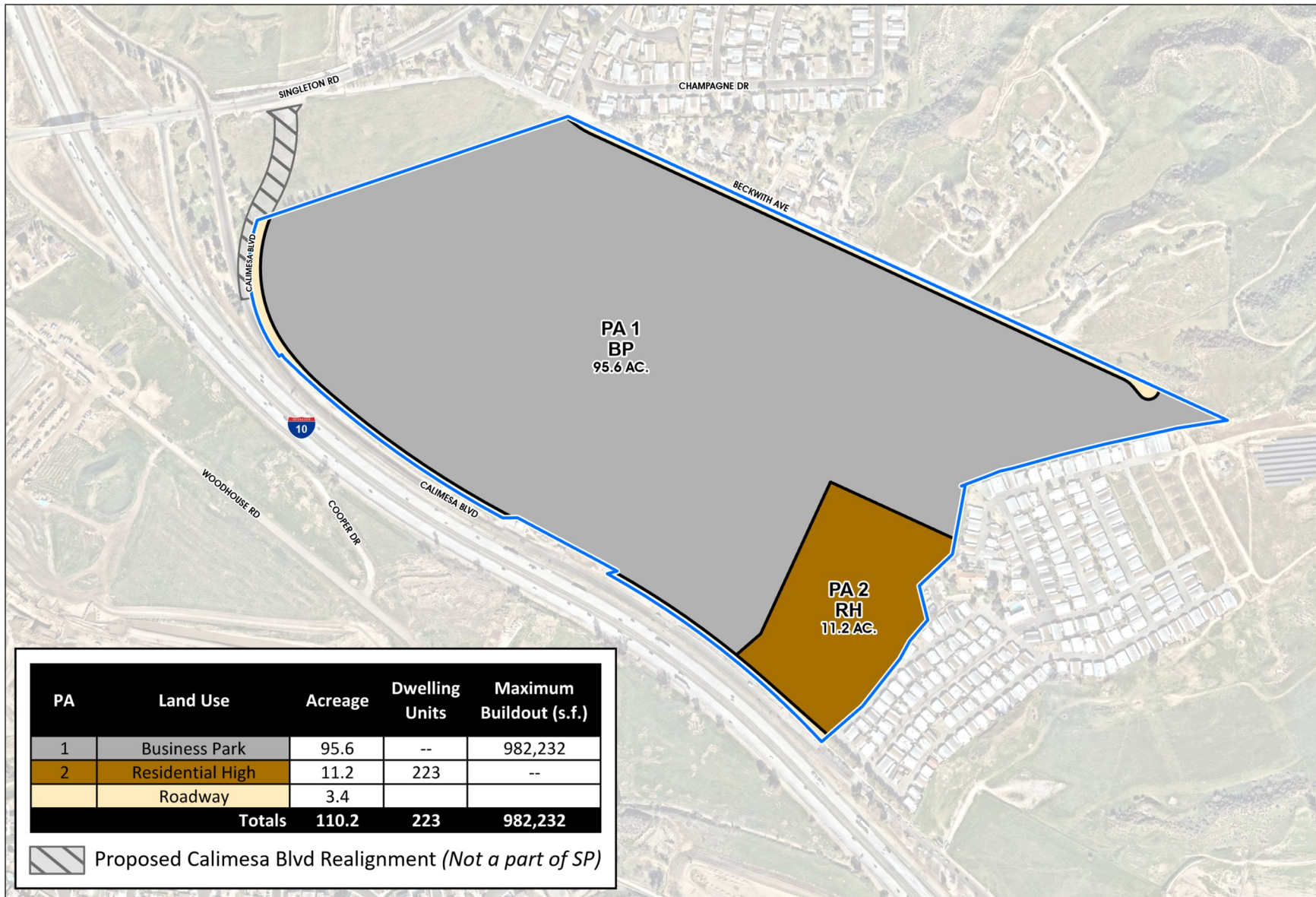
Table 3-1, *Land Use Plan Statistical Summary*, lists each planning area and its respective land use designation, acreage, maximum floor area ratio (FAR), maximum residential density per acre, maximum allowed dwelling units, and maximum building square footage. The maximum building square footage is specific to the Business Park designated land provided for in Planning Area 1, representing up to 982,232 square feet (s.f.) on approximately 95.6 acres. The Residential High land use in Planning Area 2 allows a maximum density of 20 dwelling units per acre (du/ac) on approximately 11.2 acres, representing the development potential for up to 223 dwelling units. Planning Area 2 also conditionally permits churches and other religious institutions. Refer to Figures 3-2 and 3-3 for conceptual site plans representing two different development options within Planning Area 2.

Table 3-1 Land Use Plan Statistical Summary

Planning Area	Land Use Designation	Acres ¹	Max FAR ²	Max Density (DU/AC)	Max Dwelling Units	Maximum Building Sq. Ft.
1	Business Park	95.6 AC	0.25	--	--	982,232 SF
2	Residential High	11.2 AC	--	20	223	--
	Roadway	3.4 AC	--	--	--	--
Totals		110.2 AC			223	982,232 SF

¹ Acreages are approximate and subject to survey verification.

² FAR = Floor Area Ratio



Source(s): ESRI, NearMap Imagery (2023), Webb (04-19-2023)

Figure 3-1





Source(s): HPA (02-21-2024)

Figure 3-2



Not to Scale



Conceptual Site Plan – Residential



Source(s): HPA (02-21-2024)

Figure 3-3



Not to Scale



Conceptual Site Plan – Church

3.2.1 Business Park

Planning Area 1 is approximately 95.6 acres designated “Business Park”, located in the central portion of the Specific Plan Area. Planning Area 1 allows for an overall maximum floor area ratio (FAR) of 0.25, with a maximum developable square footage of up to 982,232 s.f. Individual parcels within Planning Area 1 shall be allowed a maximum floor area ratio of 0.50, provided the maximum developable square footage of Planning Area 1 is not exceeded.

Examples of uses allowed in the Business Park designation include business/professional offices, light manufacturing, storage, warehousing/distribution, transportation/trucking storage yards, limited retail sales, and services related to or supportive of manufacturing activity and employees. Outdoor storage is permitted, provided such areas are generally screened from public rights-of-way (ROW) and are ancillary to an indoor industrial business. Refer to Chapter 5, *Development Regulations*, and Section 18.30.030 of the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021) for a comprehensive list of permitted and conditionally permitted land uses within the Business Park land use designation.

A sloped area and open space buffer is located adjacent to Beckwith Avenue along the northeast boundary of the Specific Plan. The sloped area and open space area will establish a landscape buffer between the business park development and the residences across Beckwith Avenue. The open space area will include a meandering multi-use trail that will ultimately link residents along Beckwith Avenue with Singleton Road. The proposed multi-use trail will accommodate for movements of both pedestrians and cyclists.

3.2.2 Residential High

Planning Area 2 encompasses approximately 11.2 acres designated “Residential High”, located in the southeastern portion of the Specific Plan Area, abutting the Rancho Calimesa Mobile Home Ranch. The Residential High designation provides a maximum density of 20 dwelling units per acre (du/ac), which would provide for the development of up to 223 residential units. The Residential High land use designation also conditionally permits churches and other religious institutions. Refer to Chapter 5, *Development Regulations*, and Section 18.20.030 of the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021) for a comprehensive list of permitted and conditionally permitted land uses within the Residential High land use designation.

CHAPTER 4 – CIRCULATION AND INFRASTRUCTURE

4.1 CIRCULATION AND ACCESS PLAN

The Oak Valley North Specific Plan (“Specific Plan”) Circulation and Access Plan is designed to provide direct, safe, and convenient access for visitors, residents, employees, and goods movement to and from the Specific Plan Area. Components of this Specific Plan’s Circulation and Access Plan are discussed and illustrated on the following pages.

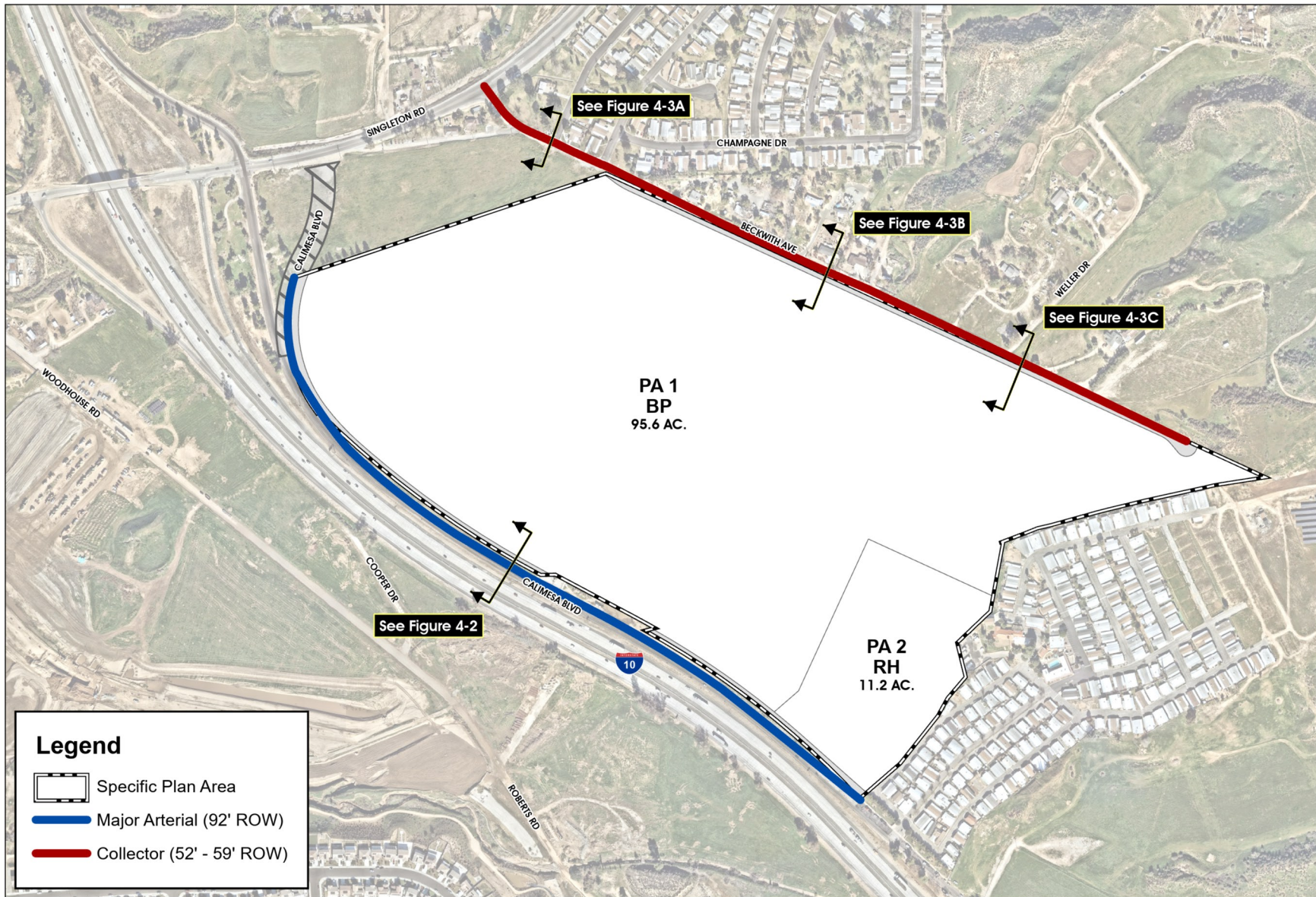
4.1.1 Vehicular Circulation

Calimesa Boulevard and Beckwith Avenue are adjacent to and from the southwestern and northeastern borders of the Specific Plan Area, respectively. Calimesa Boulevard will provide direct access to Planning Areas 1 and 2 while Beckwith Avenue will provide emergency vehicle access to Planning Area 1.

Immediately outside of the Specific Plan Area, the northern portion of Calimesa Boulevard will be realigned as part of road improvements being implemented in association with the Oak Valley Town Center project. As depicted in Figure 3-1, *Conceptual Land Use Plan*, the street realignment will relocate the Calimesa Boulevard and Singleton Road intersection approximately 300 feet to the east of its current location. Existing utility infrastructure within the current Calimesa Boulevard right-of-way (ROW) will remain in place and will not be relocated to follow the new street realignment. Utility infrastructure within the Specific Plan Area is further described in Section 4.2, *Utility Infrastructure Plan*.

Figure 4-1, *Conceptual Vehicular Circulation and Access Plan*, illustrates the vehicular circulation plan for the Specific Plan. Final intersection designs, intersection spacing, intersection right-of-way, and traffic controls must conform to all applicable City Standards and occur to the satisfaction of the City Engineer.





Source(s): ESRI, NearMap (2023), RCTLMA (2022)

Figure 4-1



Conceptual Vehicular Circulation and Access Plan

A. Calimesa Boulevard (92-Foot ROW)

Calimesa Boulevard forms the southwesterly boundary of the Specific Plan Area and provides direct access to Planning Areas 1 and 2. As depicted in Figure 4-2, *Typical Calimesa Boulevard Cross Section*, the Calimesa Boulevard design at the driveway intersections serving the Specific Plan Area provides a 92-foot right-of-way with one 12-foot travel lane and one 20-foot-wide travel lane in each direction. A 6-foot-wide sidewalk and 2-foot-wide landscape area are provided on the northeast side of Calimesa Boulevard and an 8-foot-wide landscape buffer provided on the southwest side abutting I-10. A 12-foot-wide striped median is provided in the center of the street right-of-way.

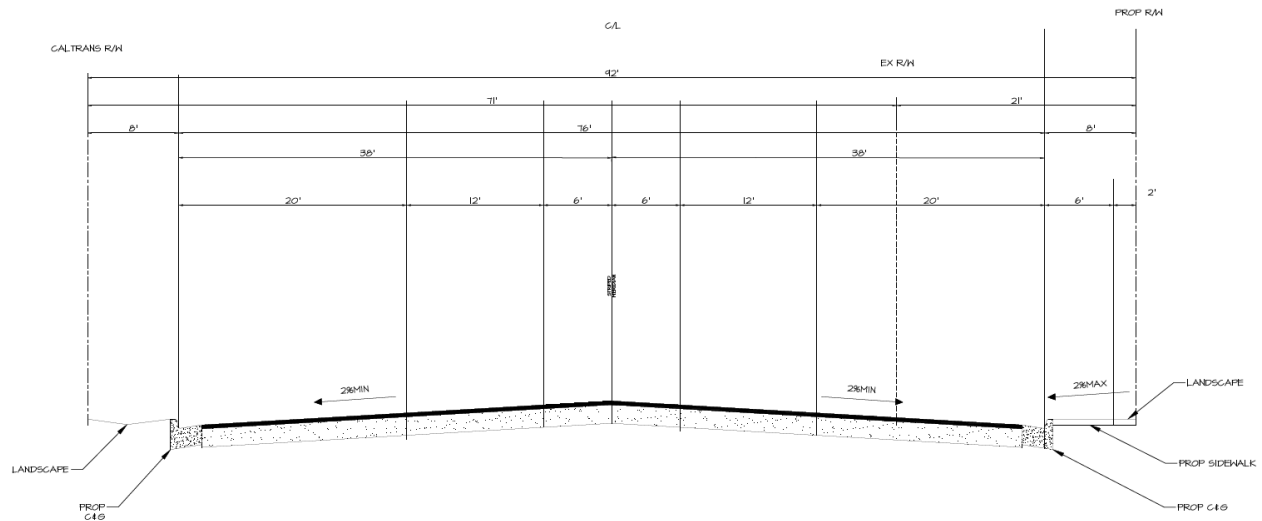


Figure 4-2 Typical Calimesa Boulevard Cross Section

Calimesa Boulevard improvements comply with all applicable City of Calimesa requirements, including the Transportation and Mobility chapter of the City of Calimesa General Plan and sight distance requirements. Industrial buildings and multi-family housing within Planning Areas 1 and 2 will connect directly with Calimesa Boulevard via driveway connections. Final driveway connection locations will be determined in conjunction with the design of implementing development plans.

B. Beckwith Avenue (52- to 59-Foot ROW)

Beckwith Avenue forms the northeastern boundary of the Oak Valley North Specific Plan Area and provides emergency vehicle access to Planning Area 1. As shown in Figure 4-3A, Beckwith Avenue between Singleton Road and the Specific Plan Area provides a 59-foot right-of-way with one 8-foot-wide parking lane and a 12-foot-wide travel lane in the southbound direction, and an 11-foot-wide parking lane and 12-foot-wide travel lane in the northbound direction. A 6-foot-wide curb adjacent sidewalk is to be provided along the west side of the street.

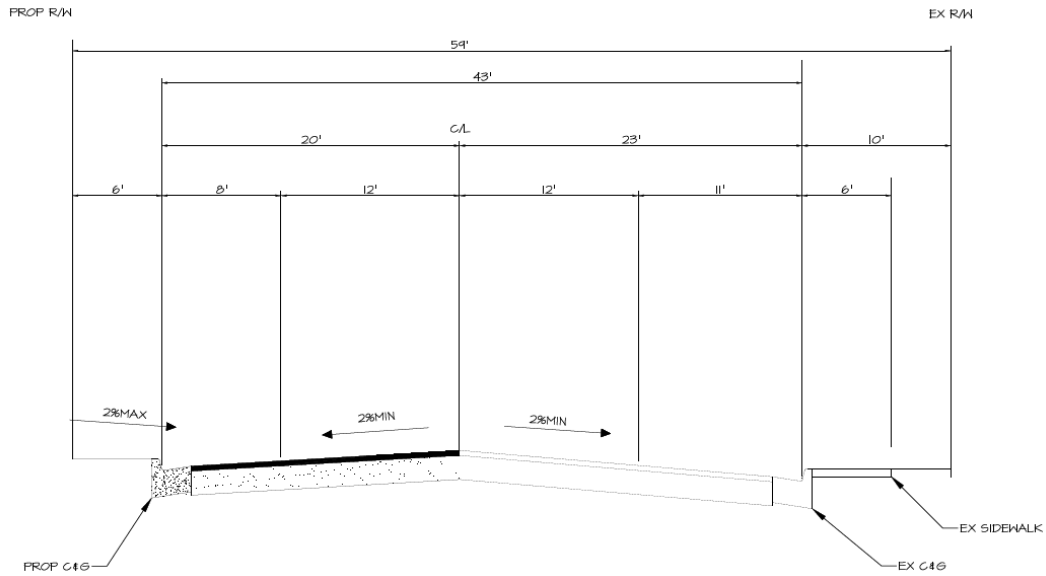


Figure 4-3A Typical Beckwith Avenue

As shown in Figure 4-3B below, the central portion of Beckwith Avenue abutting Planning Area 1 provides a 56-foot right-of-way with an 8-foot-wide parking lane and 12-foot-wide travel lane in the southbound direction, a 12-foot-wide travel lane and 18-foot-wide ROW area for future improvements (to be completed by others) in the northbound direction to the ultimate road design, and a 6-foot-wide landscaped buffer along the western side. A 25-foot-wide landscape buffer easement exists to the west of and abutting the Beckwith Avenue right-of-way that includes an 8-foot-wide meandering multi-use trail. The easement includes landscaping and a screen wall that serves as an aesthetic and noise buffer between the business park buildings and residential uses located on the opposite side of Beckwith Avenue. For more information on the 25-foot-buffer, refer to Chapter 7, *Landscape Guidelines*.

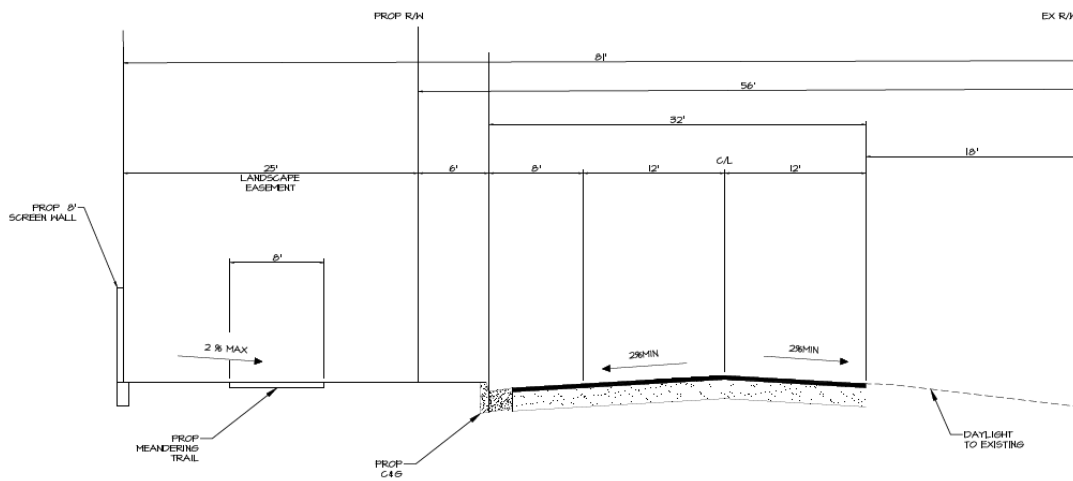


Figure 4-3B Typical Beckwith Avenue Cross Section - Central

As shown in Figure 4-3C, the southeastern portion of Beckwith Avenue adjacent to the Specific Plan Area provides a 52-foot right-of-way with a 24-foot-wide travel lane that provides for both directions of travel, a 22-foot-wide storm drain ditch, and a 6-foot-wide landscaped buffer along the western side. Future storm drain and road improvements to be completed by others will provide additional street width to the ultimate road design. A 25-foot-wide landscape buffer easement exists west of and abutting the Beckwith Avenue right-of-way that includes an 8-foot-wide meandering multi-use trail. The easement includes landscaping and a screen wall that will serve as an aesthetic and noise buffer between the business park buildings and residential uses located on the opposite side of Beckwith Avenue. For more information on the 25-foot-buffer, refer to Chapter 7, *Landscape Guidelines*.

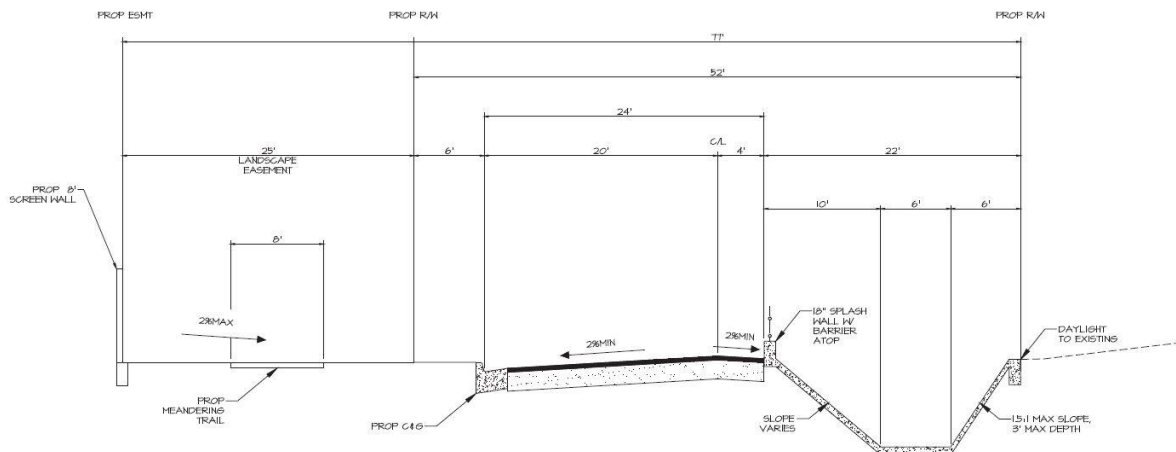


Figure 4-3C Typical Beckwith Avenue Cross Section - South

The Beckwith Avenue improvements will comply with all applicable City of Calimesa requirements, including the Transportation and Mobility chapter of the City of Calimesa General Plan and applicable sight distance requirements. Beckwith Avenue will provide emergency vehicle access to Planning Area 1. Final driveway connection locations will be determined in conjunction with the design of implementing development plans.

C. Private Drive Aisles

Private drive aisles connect individual planning areas to the roadways described above. Within Planning Area 1, private drive aisles provide vehicular access for automobiles and trucks to parking lots, truck lots, loading dock areas, etc. For Planning Area 2, private drive aisles provide access for automobiles to parking lots and garages (if provided) if residential buildings are developed and access for automobiles to parking lots if a church is developed. Private drive aisles are not depicted in Figure 4-1, *Conceptual Vehicular Circulation and Access Plan*, as their locations, alignments, and widths will be determined in conjunction with the design of implementing development plans.

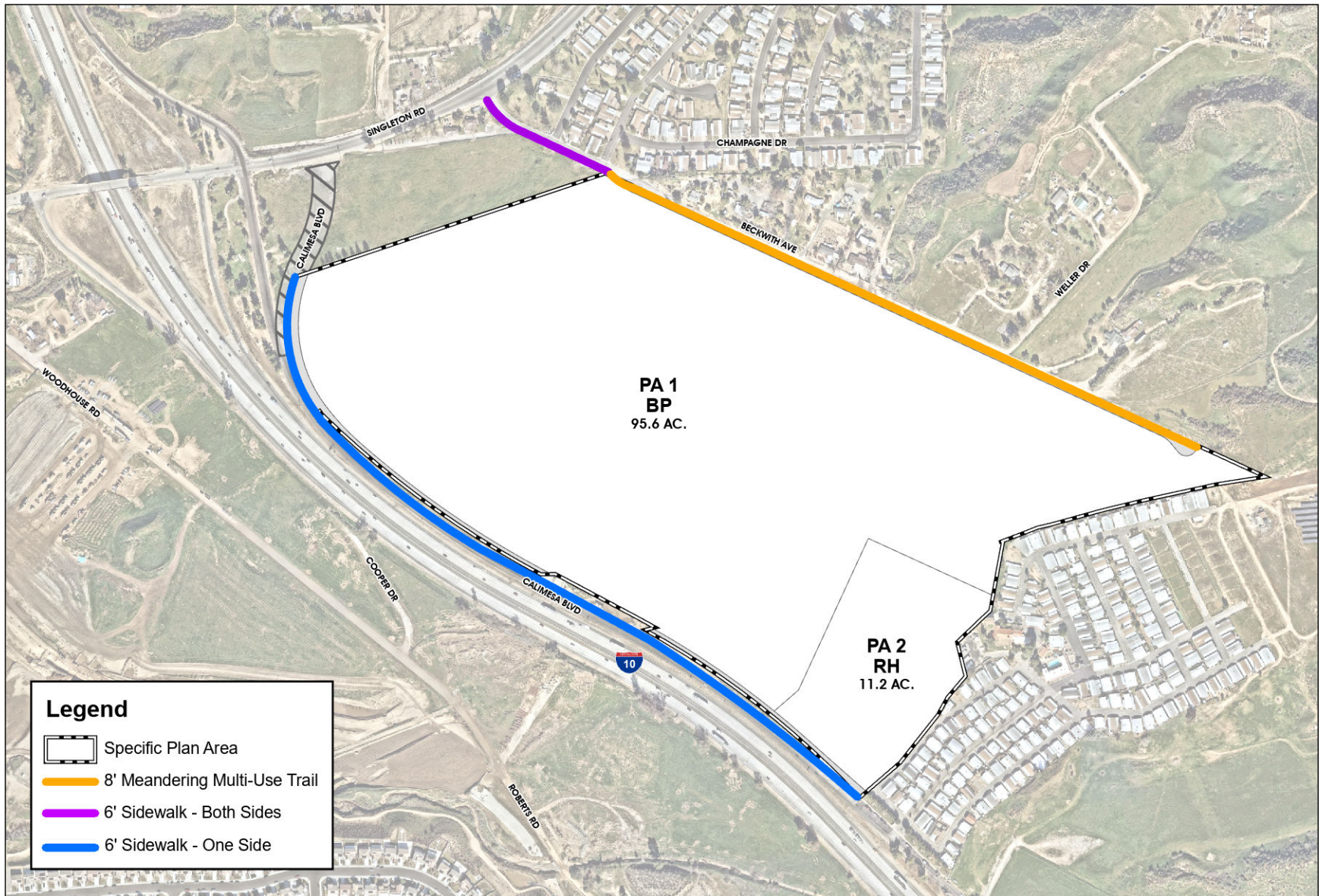
4.1.2 Non-Vehicular Circulation

This Specific Plan encourages access and circulation within and surrounding the Specific Plan Area via non-motorized means. A network of sidewalks along Calimesa Boulevard provide access to the two Specific Plan Planning Areas, as well as connecting with Singleton Road to the north. Additional

pedestrian pathways and connections will be identified on the site development plans for the industrial and residential areas and established in association with development.

As illustrated in Figure 4-4, *Non-Vehicular Circulation and Mobility Plan*, the Specific Plan provides for a 6-foot-wide sidewalk along the northeastern side of Calimesa Boulevard. A sidewalk is not provided along the southwestern side of Calimesa Boulevard.

As depicted in Figure 4-4, a 6-foot-wide sidewalk is provided along the western side of Beckwith Avenue between Singleton Road and Planning Area 1, just outside the Specific Plan boundary. An 8-foot-wide meandering pathway is provided across Planning Area 1 within the 25-foot easement abutting the southwestern side of Beckwith Avenue. The pathway connects with the 6-foot-wide sidewalk just outside the Specific Plan Area, leading up to and connecting with Singleton Road. The 25-foot-wide easement provides area for substantial landscaping that will be aesthetically pleasing and include shade trees for pedestrians using the pathway, resulting in a pleasant walking environment for those who use the pathway.



Source(s): ESRI, NearMap (2023), RCTLMA (2022)

Figure 4-4



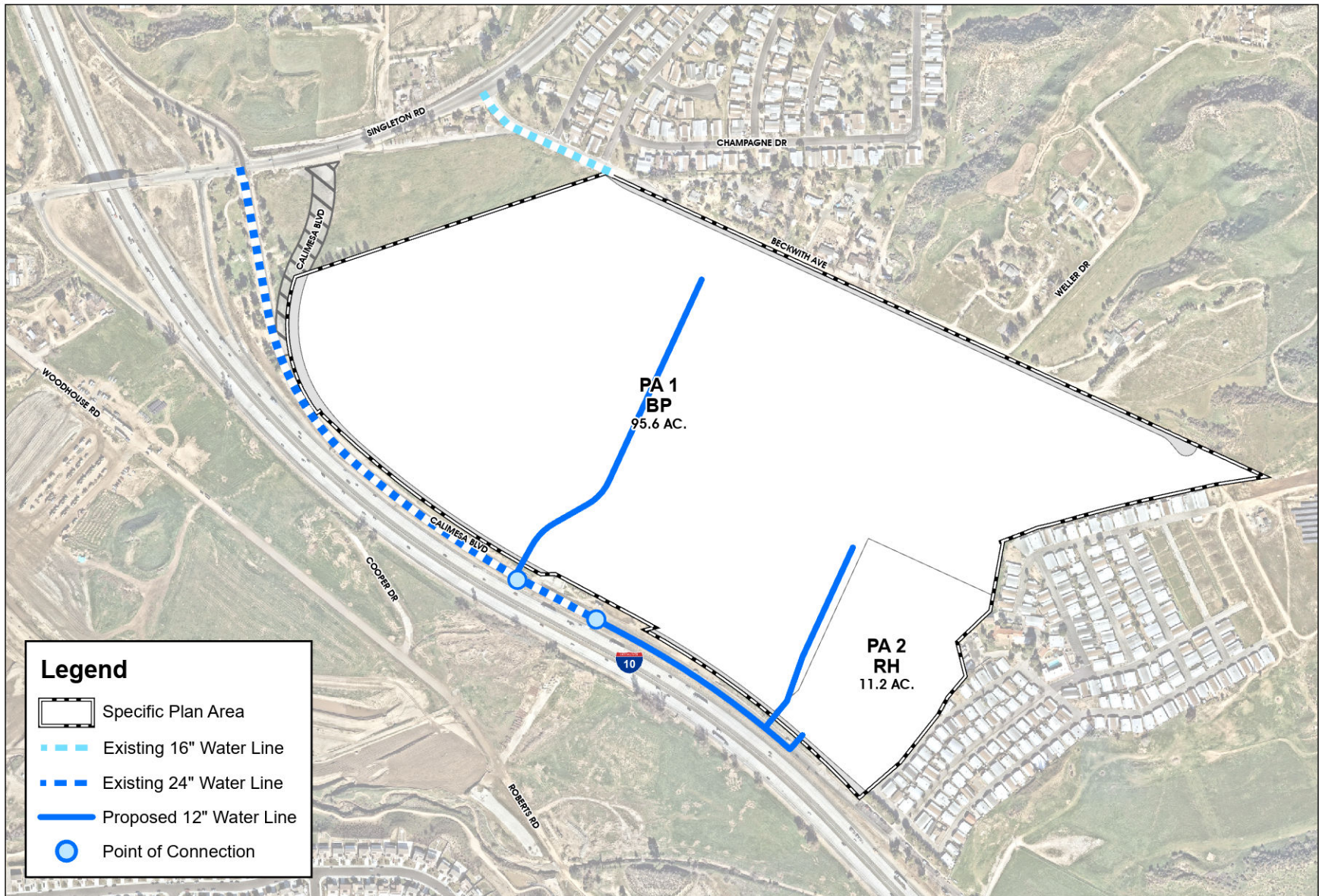
4.2 UTILITY INFRASTRUCTURE PLAN

Development within the Specific Plan Area requires connection to the existing water, sewer, drainage, and other utility infrastructure. Any additional utility infrastructure will be constructed in accordance with applicable Yucaipa Valley Water District (YVWD) and the City of Calimesa design standards and specifications.

4.2.1 Potable Water Plan

Potable water service for the Specific Plan is provided by the Yucaipa Valley Water District (YVWD). As depicted in Figure 4-5, *Potable Water Infrastructure Plan*, an existing 24-inch diameter YVWD water line is located within the Calimesa Boulevard right-of-way and an existing 16-inch diameter YVWD water line is located within the Beckwith Avenue right-of-way.

The Specific Plan requires the planning, design, and construction of the potable water system serving the Specific Plan Area. A new 12-inch water line will be installed within the Calimesa Boulevard right-of-way abutting a portion of Planning Areas 1 and 2, which will serve Planning Areas 1 and 2. Additionally, a new 12-inch line will be installed within the central portion Planning Area 1 with a point of connection at Calimesa Boulevard, providing connections to the business park buildings within the Planning Area.



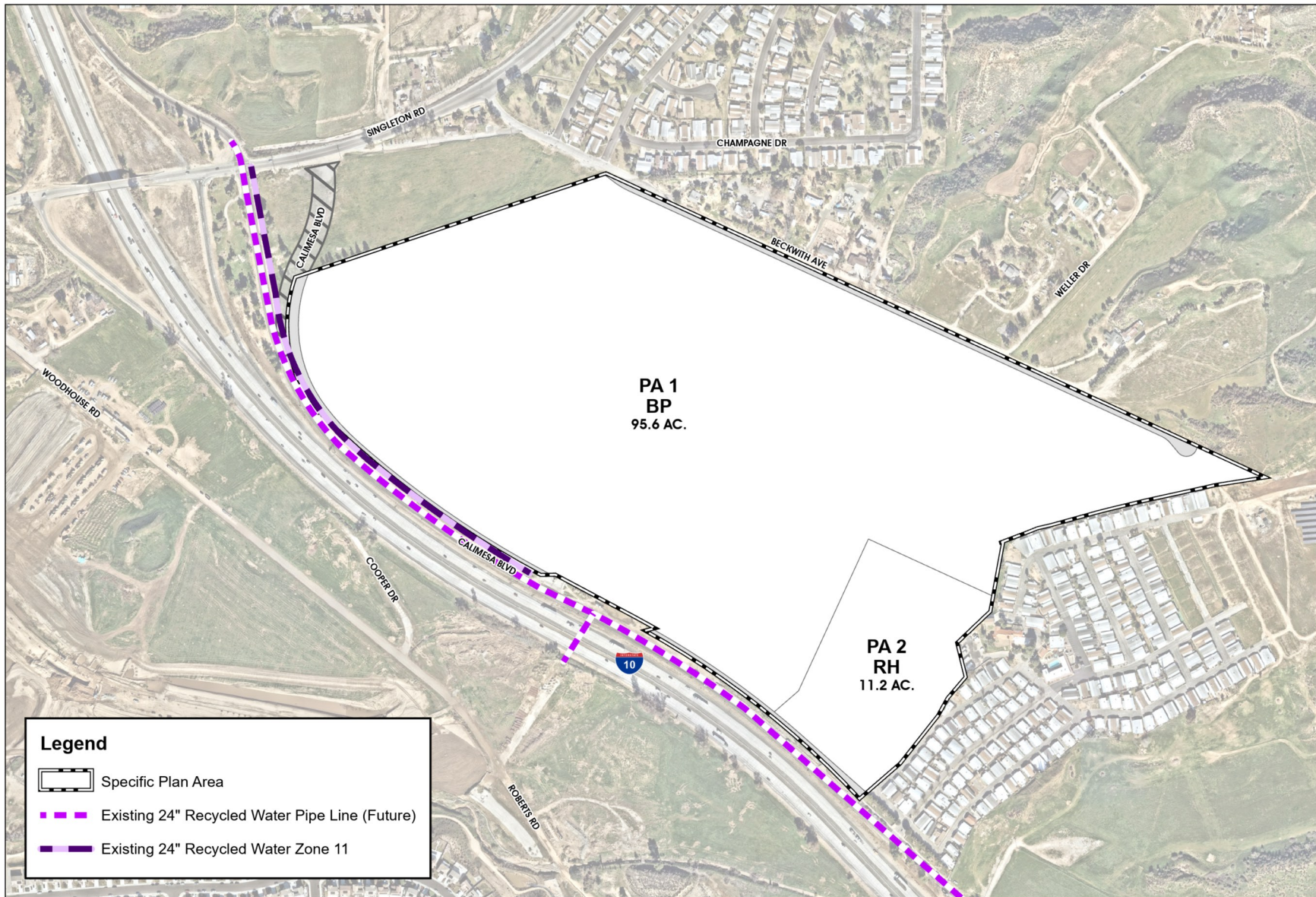
Source(s): ESRI, NearMap (2023), RCTLMA (2022), Webb Associates (2024)

Figure 4-5



4.2.2 Recycled Water Plan

Recycled water is available to service the Specific Plan Area, which is provided by the Yucaipa Valley Water District (YVWD). As depicted in Figure 4-6, *Recycled Water Infrastructure Plan*, an existing 24-inch diameter YVWD recycled water line intersects Calimesa Boulevard on the west side of the Specific Plan Area, going underneath Interstate 10. The YVWD is proposing future development of a 24-inch diameter recycled water line along the Calimesa Boulevard right-of-way. Future use of recycled water within the Specific Plan Area is dependent upon service availability.



Source(s): ESRI, NearMap (2023), RCTLMA (2022), Webb Associates (2023)

Figure 4-6

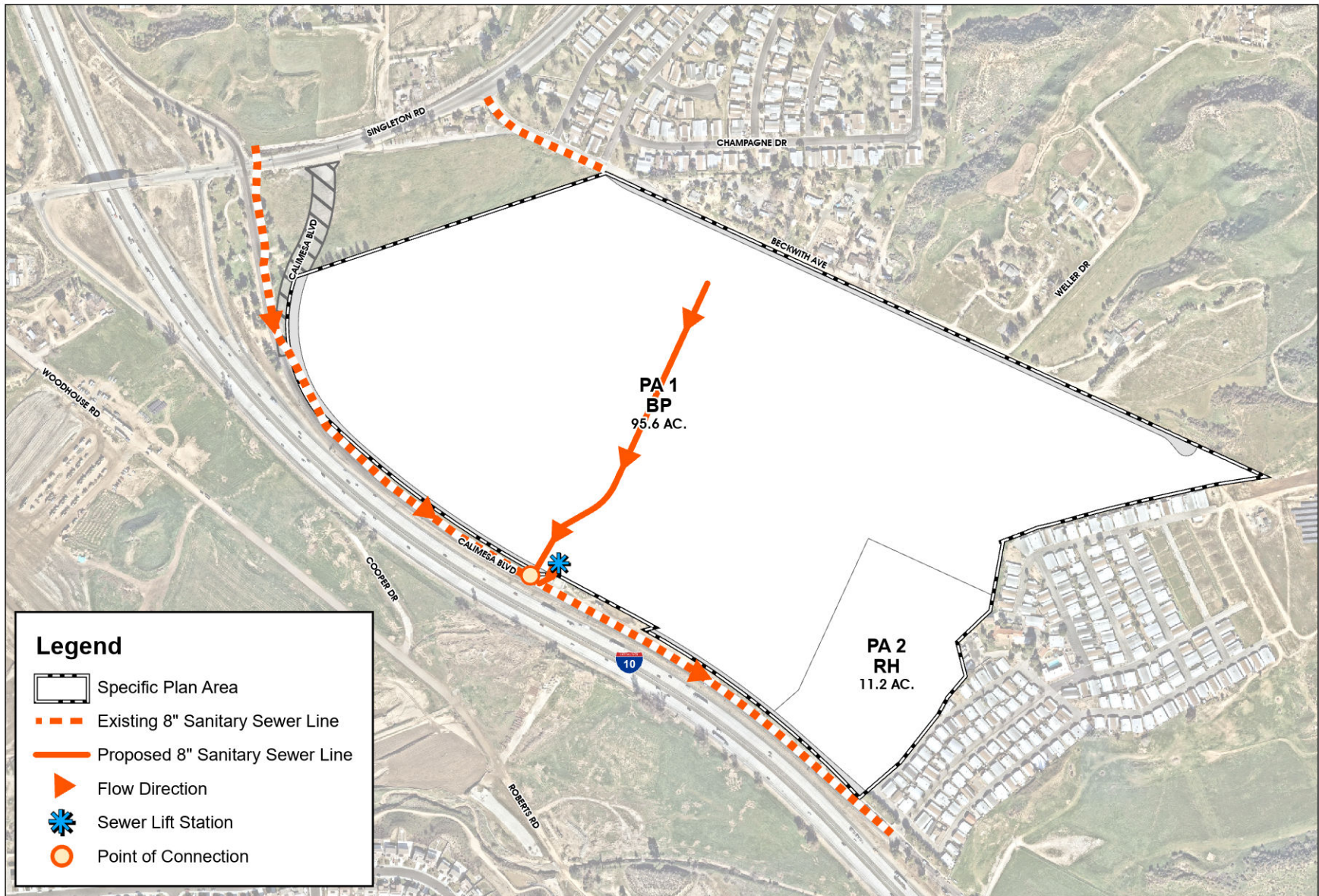


Recycled Water Infrastructure Plan

4.2.3 Sanitary Sewer Plan

Sanitary Sewer service for the Specific Plan Area is provided by the Yucaipa Valley Water District (YVWD). As depicted in Figure 4-7, *Sanitary Sewer Infrastructure Plan*, an existing 8-inch diameter sewer line is located along Calimesa Boulevard and an existing 8-inch diameter sewer line is located in the northwestern segment of Beckwith Avenue. In addition to these existing sewer lines, an existing 6-inch sewer force main is located in the southern central portion of the Oak Valley North Specific Plan Area and travels along the Calimesa Boulevard right-of-way.

This Specific Plan requires planning, designing, and constructing new sanitary sewer system infrastructure to serve the proposed future development. Infrastructure improvements include installing an 8-inch diameter sanitary sewer line along the central portion of Planning Area 1, which will serve Planning Areas 1. Planning Area 2 will be served by the existing 8-inch sewer link located along Calimesa Boulevard. The proposed sanitary sewer lines will connect to the existing YVWD sanitary sewer lines along Calimesa Boulevard.



Source(s): ESRI, NearMap (2023), RCTLMA (2022), Webb Associates (2024)

Figure 4-7



Sanitary Sewer Infrastructure Plan

4.2.4 Storm Water Management Plan

The master storm water drainage system serving the Specific Plan Area is shown in Figure 4-8, *Storm Drain Infrastructure Plan*. No storm drain infrastructure system is currently established within the Specific Plan Area except for a limited number of storm drain culverts scattered throughout Beckwith Avenue and Calimesa Boulevard.

This Specific Plan requires planning, designing, and constructing a storm drainage system to serve the Specific Plan Area and any additional historical or associated obligations, such as abutting streets. Storm water improvements include the installation 12-inch to 72-inch storm drain lines within the central portion of Planning Area 1, the eastern portion of the Specific Plan Area between Planning Areas 1 and 2, underground modular wetland system (MWS) vaults and infiltration chamber systems, as well as general collection and conveyance infrastructure that includes use of various gutters and pipes. Off-site flows will be collected along Beckwith Avenue, ultimately flowing to Calimesa Boulevard and connecting with the existing storm drain conveyance system.



Source(s): ESRI, NearMap (2023), RCTLMA (2022), Webb Associates (2024)

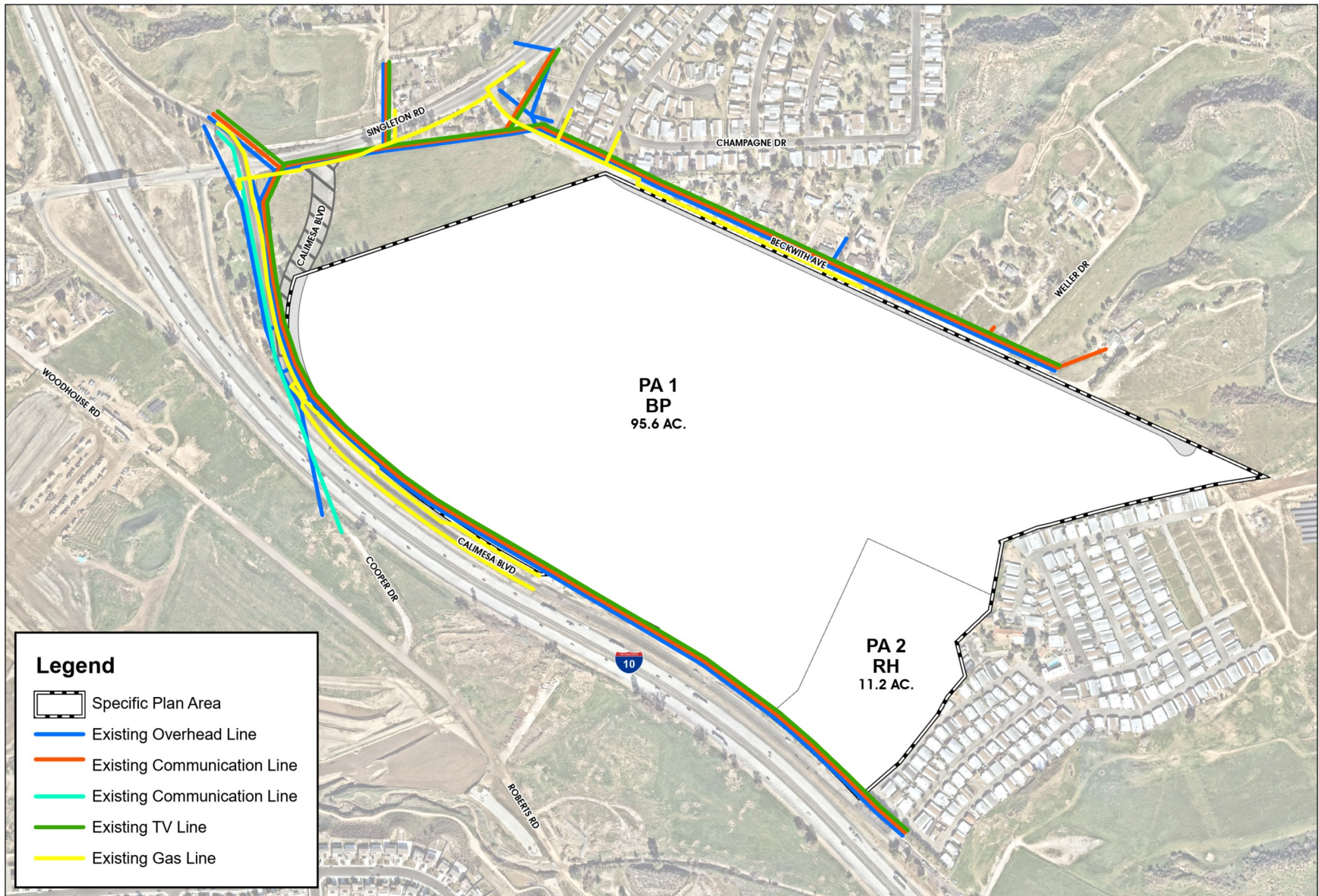
Figure 4-8



Storm Drain Infrastructure Plan

4.2.5 Dry Utilities Plan

Southern California Edison and SoCalGas provide electricity and natural gas service to the Specific Plan Area, respectively. Telephone, communication, and television services are offered by multiple carriers, including Dish, DirecTV, Frontier, and Spectrum. As shown in Figure 4-9, *Dry Utility Infrastructure Plan*, gas, telephone, communication, television, and overhead lines are located within the Calimesa Boulevard and Beckwith Avenue rights-of-way. No new backbone dry utility infrastructure is proposed or anticipated within the Specific Plan boundary as existing infrastructure can sufficiently serve development anticipated within the Specific Plan Area.



Source(s): ESRI, NearMap (2023), RCTLMA (2022), Webb Associates (2022)

Figure 4-9

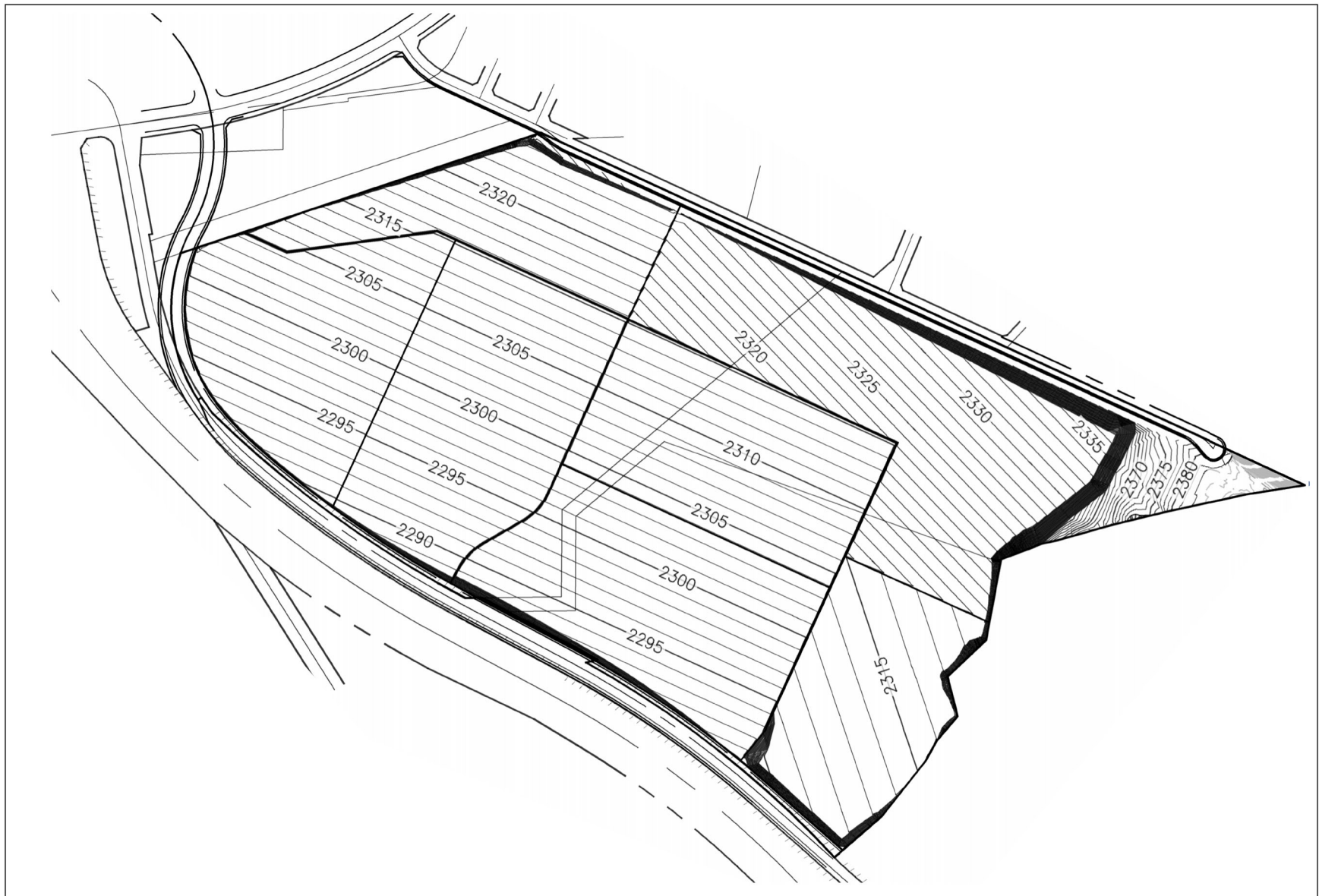


4.2.6 Solid Waste

The solid waste provider currently serving the Calimesa community and anticipated to serve businesses and residents within the Specific Plan Area is CR&R Waste Management. Solid waste is collected on-site and later disposed of at the CR&R Waste Management material recovery, transfer, and disposal facility located in the City of Perris.

4.3 GRADING

Grading of the Oak Valley North Specific Plan Area prepares lots, roads, drainage, and water quality features for development. The current topography within the Specific Plan Area will require a moderate amount of grading with substantial export of earth materials expected. The mass grading plan represents site grading that will provide stable development pads, driveways and parking areas to accommodate future construction of business park and residential buildings, as well as meet all applicable City of Calimesa building standards and applicable infrastructure gradient requirements. Figure 4-10, *Mass Grading Plan*, provides the proposed grading concept for the Specific Plan Area.



Source(s): Albert A. Webb Associates (11-06-2023)

Figure 4-10



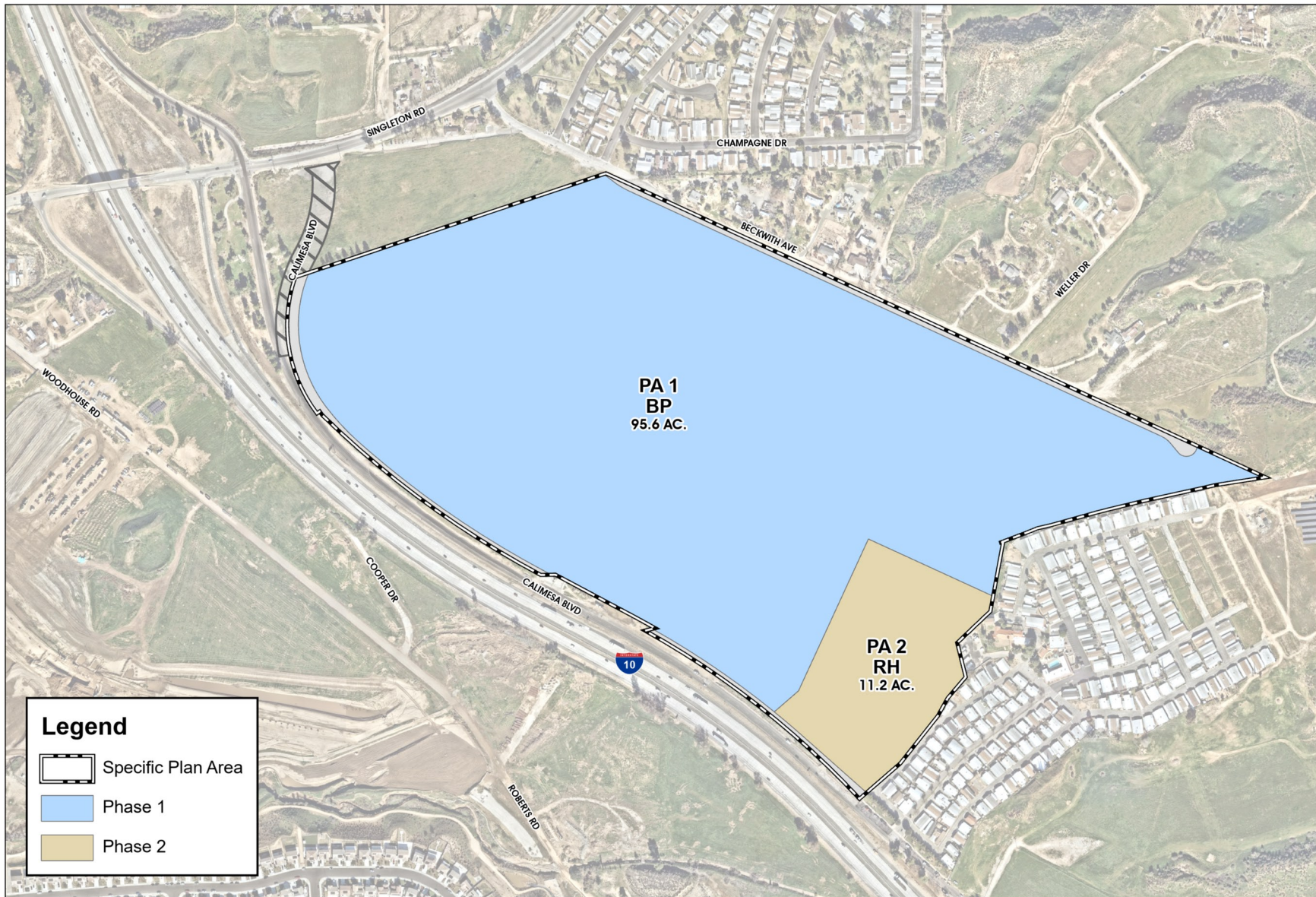
Not to Scale



Mass Grading Plan

4.4 PHASING PLAN

As shown in Figure 4-11, *Conceptual Phasing Plan*, the development of the Oak Valley North Specific Plan area is expected to occur in two (2) phases in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure. Phase 1 includes Planning Area 1, and Phase 2 includes Planning Area 2. These phases may be developed as subphases and may occur either sequentially or concurrently with one another.



Source(s): ESRI, NearMap (2023), RCTLMA (2022)

Figure 4-11



Conceptual Phasing Plan

CHAPTER 5 – DEVELOPMENT REGULATIONS

5.1 PURPOSE AND INTENT

This Chapter summarizes the land use permissions and development standards for the Oak Valley North Specific Plan (“Specific Plan”). The regulations provided herein, together with the architectural and landscape guidelines set forth in Chapter 6, *Design Guidelines*, Chapter 7, *Landscape Guidelines*, and Appendix B, *Oak Valley North Zoning Ordinance*, will guide the development of buildings and other physical characteristics within the Oak Valley North Specific Plan Area.

5.2 DEFINITION OF TERMS

The meaning of words, phrases, titles, and terms shall be the same as provided in the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021) in effect at the time this Specific Plan was approved, unless otherwise specifically defined in this Specific Plan.

5.3 APPLICABILITY

The regulations set forth in this Chapter apply to all development plans or agreements, parcel maps, tract maps, site plans, or any other action requiring administrative or discretionary approval within the Specific Plan Area. Any development standards, conditions, or situations not specifically addressed herein shall be subject to the applicable requirements of the City's Municipal Code (per Ord. 381 § 11, 2021). Whenever the development standards herein differ from those in the City's Municipal Code, the provisions of this Specific Plan shall take precedence.

5.4 BUSINESS PARK LAND USES & DEVELOPMENT STANDARDS

This Section establishes the permitted uses and development criteria that shall apply to the Specific Plan's Business Park (BP) land use designation.

5.4.1 Permitted, Conditional and Ancillary Uses

The uses permitted and conditionally permitted within the Business Park land use designation shall be the same as identified in the B-P column within Table 18.30.030 of the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021), except for the following additional uses that shall be conditionally permitted and prohibited in the BP land use designation:

Conditionally Permitted Uses

1. Recreational vehicle storage
2. Transportation/trucking yards, stations, terminals
3. Vehicle storage yards, inclusive of towing yards
4. Large equipment and construction vehicle sales and auctions
5. Animal hospital/veterinary office

Prohibited Uses

1. Cold storage

5.4.2 Development Standards

The BP development standards shall be the same as identified in Sections 18.30.040, 18.30.050, 18.30.060, 18.45, 18.65, 18.70, 18.75, 18.120, and any other relevant sections of the Calimesa Municipal Code (per Ord. 381 § 11, 2021), unless stated otherwise in this Specific Plan. Table 5-1, *BP Development Standards*, represents key development standards for the BP land use designation. Any development standards, conditions, or situations not specifically addressed herein shall be subject to the applicable requirements of the City's Municipal Code (per Ord. 381 § 11, 2021). If there is any inconsistency between the City's Municipal Code and this Specific Plan, the requirements of this Specific Plan shall take precedence.

Table 5-1 BP Development Standards

Site Requirements	
Minimum Site Area	1 acre
Maximum Floor Area Ratio ¹	0.50
Maximum Building Height	55 ft.
Maximum Size of a Single Building	250,000 sq. ft.
Minimum Separation Requirements	
Minimum Building Separation from BP Building to an Existing Sensitive Receptor ²	500 feet
Minimum Separation Distance between BP Buildings ³	250 feet
Minimum Parking Requirements	
Office	1 space/250 sq. ft.
Wholesale: First 40,000 sq. ft.	1 space/1,000 sq. ft.
Wholesale: 40,001 sq. ft. and above	1 space/3,000 sq. ft.
Landscape Requirements	
Minimum Landscape Buffer Between PAs 1 and 2	5 feet
Notes: ¹ Planning Area 1 provides for an overall maximum floor area ratio (FAR) of 0.25, with a maximum developable square footage of up to 982,232 s.f. Additionally, individual parcels within Planning Area 1 shall be allowed a maximum FAR of 0.50, provided the maximum developable square footage of Planning Area 1 is not exceeded. ² Distance between warehouse, storage, and distribution facilities buildings and sensitive receptors shall be measured from the property line of the proposed facility to the nearest property line of any sensitive receptor. ³ Distance between warehouse, storage, and distribution buildings shall be measured from the outer wall of the proposed building to the outer wall of the second building.	

5.4.3 Development Standards for Warehouse, Storage, and Distribution Facilities

Warehouses, storage, and distribution facilities are structures or buildings that store, temporarily store, or redistribute goods, wares, merchandise, equipment, and products. In addition to the development standards provided in Section 5.4.2, proposed warehouse, storage, and distribution facilities shall adhere to the following:

1. No warehouse, storage, or distribution facilities shall be located within 500 feet of any existing sensitive receptors. Sensitive receptors include any existing residential use, school, daycare center, preschool, nursery school, and other facilities for children, playground, hospital, youth

center, recreational facility, and elderly, group, or congregate care facility. The distance between proposed warehouse, storage, or distribution facilities and sensitive receptors shall be measured between property line of the proposed facility to the property line of the sensitive receptors.

2. No warehouse, storage, or distribution facility use shall be located within 250 feet of any other warehouse, storage or distribution facility located on the same lot or parcel. The distance between a proposed warehouse, storage or distribution facility and each other existing or proposed warehouse, storage or distribution facility on the same lot or parcel shall be determined according to the following method of measurement: by measuring the distance extending from each outer wall of the proposed warehouse, storage or distribution building to each outer wall of each existing or other proposed warehouse, storage or distribution facility located on the same lot or parcel.
3. No warehouse, storage or distribution facility use on a lot or parcel shall be located within 110 feet of any other lot or parcel containing an existing warehouse, storage or distribution facility use. The minimum 110-foot separation shall be determined according to the following method of measurement: by measuring the distance extending from each outer wall of the proposed warehouse, storage or distribution facility to the property line of its own lot or parcel; and by measuring the distance extending from each outer wall of any other existing or proposed warehouse, storage or distribution facility to the property line of such other lot or parcel.
4. Proposed buildings within Planning Area 2 of the Specific Plan Area are exempt from the minimum sensitive receptor separation distance represented in item #1 above. Buildings within Planning Area 2 shall adhere to the development standards provided for in Section 5.5, *Residential High Land Uses & Development Standards*. Additionally, warehouse, storage, or distribution facility dock doors facing Planning Area 2 shall have a minimum setback of 250 feet from the property line. Screening consisting of walls, berms, and/or landscaping shall be provided between Planning Areas 1 and 2.

5.5 RESIDENTIAL HIGH LAND USES & DEVELOPMENT STANDARDS

This Section establishes the permitted uses and development criteria that shall apply to the Specific Plan's Residential High (RH) land use designation.

5.5.1 Permitted, Conditional and Ancillary Uses

The uses permitted within the Residential High land use designation shall be the same as identified in the R-H column within Table 18.20.030 of the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021), except for the following additional use that shall be conditionally permitted in the RH land use designation:

Conditionally Permitted Uses

1. Churches and other religious institutions

5.5.2 Development Standards

Except as otherwise represented in this Specific Plan, the development standards within the Residential High land use designation shall be the same as identified in Sections 18.20.040, 18.20.050, Table 18.20.040, and any other relevant sections of the Calimesa Municipal Code. Table 5-2, *RH Development Standards*, represents RH development standards for the RH land use designation. Any development standards, conditions, or situations not specifically addressed herein shall be subject to the applicable requirements of the City's Municipal Code (per Ord. 381 § 11, 2021).

Table 5-2 RH Development Standards

Minimum Building Setback Requirements		
Front Yard Setback	10 feet	
Setback from Planning Area 1	50 feet	
One- and Two-story Buildings	5 feet	
Three-story Buildings	First two stories: 5 feet	
	Third story: 10 feet	
Minimum Area Requirements		
Minimum Livable Area	Number of Bedroom	Number of Baths
560 sq.ft.	1/Studio	1
800 sq.ft.	2	1
1,000 sq.ft.	3	2
1,100 sq.ft.	3+	2
Off-street Parking		
Studio/1 Bedroom	1 space/unit	
2 or 3 Bedrooms	2 spaces/unit	
4 or more Bedrooms	2.5 spaces/unit	
Guest Spaces	1 space/5 units	
Amenities Schedule		
Number of Units	Amenities ¹	
0-11	0	
12-50	1	
51-100	2	
101-200	3	
201-300	4	
Other Development Standards		
Enclosed Storage	Not required.	
Automatic Dishwasher	One for each dwelling unit.	
Open Space (Passive and Active Uses) ²	30% of the unit area for developments with 12 or more dwelling units.	
Minimum Private Open Space	50 sq.ft. per unit, such as a patio or balcony.	
Minimum Landscape Buffer between PAs 1 and 2	5 feet on either side of property line.	
Notes: ¹ Amenities may include swimming pool, spa; clubhouse; tot lot with play equipment; picnic shelter/barbecue area; court game facilities such as tennis, basketball, or racquetball;; or day care facilities. Final amenity features and scale shall be determined in conjunction with the implementing development plans.		

² Open Space (Passive and Active Uses) shall not include rights-of-way, vehicle parking areas, areas adjacent to or between any structures less than 15 feet apart, setbacks, patios or private yards, or slope areas greater than 8 percent.

5.6 FIRE PROTECTION PLAN

The Specific Plan Area is located within a “Very High” Fire Hazard Severity Zone as determined by the California Department of Forestry and Fire Protection (CAL FIRE). A Fire Protection Plan (FPP) (Oak Valley North Fire Protection Plan, Dudek, September 2023) and a Wildfire Evacuation Plan (WEP) (Oak Valley North Wildfire Evacuation Plan, Dudek, October 2023) have been prepared to ensure the protection of all development within the Oak Valley North Specific Plan Area from fire hazards.

Figure 4-1, *Conceptual Vehicular Circulation Plan*, represents that full vehicle access will be provided at multiple points along Calimesa Boulevard and a single emergency vehicle access point on Beckwith Avenue. The Beckwith Avenue emergency vehicle access will be gated and provide access for firefighting apparatus and evacuation. The emergency access gate shall meet all fire code requirements including an automatic gate opener with battery backup and solar charging. The emergency access gate shall provide various methods of opening including but not limited to:

- a) An “Opticom” system that can be controlled by first responders;
- b) Technology that enables remote (or on-site) gate control 24/7 such that it does not represent an obstructed roadway;
- c) An entrance gate equipped with a Knox key switch, which overrides all command functions and opens the gate;
- d) Gate activation devices will be equipped with a battery backup or manual mechanical disconnect in case of power failure; and
- e) Further, gates will be:
 - a. Minimum 14 feet wide of clearance for one-way traffic when fully open at entrance.
 - b. Minimum of one foot wider than road width at exit up to a maximum of 24 feet unless greater width is required to clear turning apparatus.
 - c. Constructed from non-combustible or exterior fire-rated treated wood materials.
 - d. Inclusive of provisions for manual operation from both sides if power fails. Gates will have the capability of manual activation from the development side or a vehicle (including a vehicle detection loop).

The final determination regarding the selected control mechanism shall be made by the Calimesa Fire Department. The Property Owners’ Association will maintain the gate and provide test confirmation to the Calimesa Fire Department on a regular schedule.

Prior to bringing lumber or combustible materials onto the Project site, improvements within the active development area shall be in place, including utilities infrastructure, operable fire hydrants, an approved temporary roadway surface, and construction phase fuel modification zones established. These features shall be approved by the Calimesa Fire Department or their designee prior to combustibles being brought on site.

5.6.1 Fuel Maintenance Zone (FMZ)

The fuel maintenance zone (FMZ) occurs around the Specific Plan Area's wildland exposure at Project build out. The FMZ will extend 100 feet in depth from the exterior of all proposed buildings. The FMZ shall primarily be paved or hardscape surface. Any landscaping provided within the FMZ shall include a permanent, automatic irrigation system. All highly flammable native vegetation within the FMZ shall be removed except for species approved by the fire marshal. Refer to Table 7-2, *Prohibited Plant List*, for a list of highly flammable plant species. The Project's plant palette shall be approved by the fire department.

5.6.2 Vegetation Management Maintenance

Assessment of fuel modification zones' condition and removal of dead and dying and undesirable species and thinning as necessary to maintain plant spacing and fuel densities shall be completed annually. Fuel modification maintenance during the interim period while the Project is built out and will include the following measures:

- a) Regular maintenance of any Open Space awaiting construction within the Specific Plan Area in accordance with weed abatement regulations;
- b) Removal or thinning of undesirable combustible vegetation and replacement of dead or dying landscaping;
- c) Maintain ground cover at a height not to exceed 18 inches. Annual grass and weeds shall be maintained at a height not to exceed three inches;
- d) Remove accumulated plant litter and dead wood. Debris and trimmings produced by thinning and pruning shall be removed from the Project site or chipped and evenly dispersed in the same area to a maximum depth of four inches;
- e) Maintain manual and automatic irrigation systems for operational integrity and programming. Effectiveness shall be regularly evaluated to avoid over or under-watering; and
- f) Comply with these FPP requirements on a year-round basis. Annual inspections are conducted following the natural drying of grasses and fine fuels, between the months of May and June, depending on precipitation during the winter and spring months.

5.6.3 Fire Protection Plan Improvement Standards

1. Buildings within the Specific Plan Area shall be constructed of ignition-resistant construction materials and include automatic fire sprinkler systems based on the latest adopted Building and Fire Codes for occupancy types.
2. Fuel modification shall be provided around the perimeter of each building within the Specific Plan Area as required by Calimesa Fire Department and will be a minimum of 100 feet wide.
3. Any proposed building within the Specific Plan Area shall have a fire protection plan approved by the Calimesa Fire Department.
4. Landscape plantings shall not utilize prohibited plants that have been found to be highly flammable.

5. Fire access roads shall be provided throughout the Specific Plan Area and shall provide at least the minimum required unobstructed travel lanes, lengths, turnarounds, and clearance required by applicable codes and the Calimesa Fire Department.
6. Buildings within the Specific Plan Area shall be equipped with automatic commercial fire sprinkler systems meeting Calimesa Fire Department requirements.
7. In the event that buildings do not achieve a minimum of 100 feet of defensible space, alternative materials and methods shall be implemented to provide the functional equivalency of a full 100 feet of defensible space. Proposed alternative methods shall be approved by the Calimesa Fire Department.

CHAPTER 6 – DESIGN GUIDELINES

6.1 PURPOSE AND INTENT

The design guidelines presented in this Chapter describe the quality and characteristics of the built environment expected within the Oak Valley North Specific Plan (“Specific Plan”). While design guidelines provide direction, they are meant to provide a certain level of flexibility to allow creative expression during the design of implementing development projects.

These design guidelines provide site design, building architecture, and signage criteria for future development within the Specific Plan Area. The design guidelines contained herein are presented in a manner that ensures consistent architectural expression across the Specific Plan Area while allowing practical flexibility in building design.

The objectives of these design guidelines are as follows:

- To provide the City of Calimesa with assurance that future development will be of a consistently high standard in accordance with the quality and character described within this Specific Plan.
- To provide guidance to developers, builders, engineers, architects, and other professionals to achieve and maintain the desired design quality.
- To provide aesthetic benchmarks for city staff, the Planning Commission, and the City Council in their review of the design of future implementing projects within the Specific Plan Area.
- To provide guidelines that convey an aesthetic theme and character appropriate for the Calimesa area while allowing flexibility for practical application and creative expression.
- To ensure that the Specific Plan design guidelines implement the intent of the City's General Plan and Municipal Code.

The criteria listed herein contain both guidelines and standards. Guidelines describe provisions that the Specific Plan encourages architect and developers to satisfy and are indicated by the word “should”. Standards describe provisions that Specific Plan requires architect and developers to satisfy and are indicated by the words “shall” or “must”. Alternatives will be permitted only if a physical condition constrains implementation of the requirement listed. Refer to Section 8.5, *Amendments to the Specific Plan*, of the Oak Valley North Specific Plan for guidance to amending this Specific Plan.

The design guidelines presented in this Chapter apply to all development within the Specific Plan Area, regardless of the land use category. These guidelines may be subject to modification and interpretation in response to unanticipated conditions, including but not limited to the changes in the real estate market, needs of building users and households, technology advancements, and fluctuations in economic conditions.

6.2 DESIGN THEME

To maintain theme continuity throughout the Specific Plan and the surrounding residential neighborhood, buildings in the Business Park and Residential High land use areas will use similar design and color theme that is characteristic and representative of the Calimesa area. The business park buildings feature a more traditional design aesthetic, which provides architectural styling with attractive detailing, steel accents, as well as a gray, yellow, and white-toned color palette. The residential development will include a range of compatible design features, including Farmhouse, Craftsman, or Mission Revival style designs.

6.3 BUSINESS PARK DESIGN GUIDELINES

This Section sets forth design guidelines for Business Park land uses within the Specific Plan Area. Developers, builders, engineers, architects, and other design professionals should utilize these guidelines to maintain design continuity throughout the Specific Plan Area.

6.3.1 Site Planning

The following guidelines are intended to ensure that Business Park development is attractive from public viewing areas, appropriately scaled, durable, and integrated consistently within the Specific Plan Area:

- 1) Position buildings to reduce visibility of loading doors, service docks, and equipment areas from publicly accessible locations and sensitive receptors within and around the Specific Plan Area. Building screening should utilize the site grade changes in combination with use of walls, fences, berms, and landscaping.
- 2) Onsite truck queuing areas should be adequately designed to serve business park users and avoid truck and vehicle stacking on public streets.
- 3) Design truck and service vehicle entries to provide clear and convenient access to truck courts and loading areas.
- 4) Install raceways for electrical conduit in truck courts and truck parking areas to allow future installation of charging stations for electric trucks as this technology becomes more readily available.
- 5) To encourage bicycle use, provide bicycle racks and power for electric bike charging at each building or in a common area that serves multiple buildings.
- 6) Provide shaded outdoor employee amenity areas at each building or in a common area that serves multiple buildings, including tables and chairs, for worker comfort and outdoor enjoyment.



6.3.2 Architectural Style

The architectural style of the Business Park buildings emphasizes building massing over structural articulation. Buildings are characterized by simple and distinct cubic masses with interlocking volumes of wall planes, colors, and materials to create visual appeal. Exterior building colors include the use of maroon, gray, yellow, and white tones with gray reflective glazing, black bullions, and awnings at focal points, such as building entrances and near outdoor gathering spaces. Additionally, architectural designs may mix colors, materials, and textures to articulate facades and create visual appeal.



6.3.3 Building Placement and Orientation

- 1) Building placement should emphasize the visual relationship with Calimesa Boulevard and Interstate 10, providing an attractive view for motorists and pedestrians.
- 2) Orient buildings in a way that protect privacy, views, and the visual quality of the abutting residential uses.
- 3) Limit windows facing residential planning areas to provide additional privacy for neighboring residential units.

6.3.4 Building Form and Massing

- 1) Long horizontal wall planes visible from a public street shall include periodic changes in exterior building materials, colors, decorative accents, and/or articulated features. Long expanses of blank walls are prohibited for all Business Park buildings.

- 2) Modulation and variation of building masses between buildings visible from the public streets are encouraged.
- 3) Emphasize pedestrian entrances to buildings (with the exception of service doors and emergency exit doors) through use of the “pitched roof” design, as well as changes in massing, color, and/or building materials. Utilize overhangs, awnings, and canopies or embellish entries with decorative framing treatments. Shading over pedestrians building entrances is encouraged.
- 4) Wrap materials applied to any elevation around the corner of the building to logical termination points in relation to architectural features or massing.



Inspirational Building Elevation facing Calimesa Boulevard

6.3.5 Articulation and Details

- 1) Window styles, trims, forms, and colors in each building should have a consistent appearance.
- 2) Glass should be clear or colored with subtle reflectiveness. Silver, bronze, and reflective glasses are prohibited.

6.3.6 Colors and Materials

- 1) Exterior materials, colors, and textures should complement one another throughout the business park buildings. Slight variations are encouraged to provide visual interest.
- 2) Appropriate primary exterior building materials include concrete tilt-up panels and similar materials. Use accent materials such as metal and natural or fabricated brick or stone.
- 3) Trim details may include metal finished in a consistent color, plaster or concrete elements finished consistently with the building treatment.
- 4) Primary exterior building colors should be in shades of yellow, gray, and/or beige. Darker and/or more vibrant accent colors should only be provided in focal point areas, such as building entrances and near outdoor gathering places.

- 5) Exposed downspouts, service doors, and mechanical screen colors should be the same color as the adjacent walls.



6.3.7 Utilitarian Elements

- 1) Ground-mounted equipment, including but not limited to mechanical or electrical equipment, emergency generators, boilers, storage tanks, risers, and electrical conducts, should be screened from surrounding properties and public streets with use of walls, fencing, berms, or landscaping.
- 2) Electrical equipment rooms should be within the building envelope. Pop-out or shed-like additions are discouraged.
- 3) Exterior wall-mounted items, such as electrical panels, should be avoided. When exterior mounting is necessary, items should be screened or incorporated into the architectural elements of the building so that they are not visually apparent from the street or other public areas.
- 4) Outdoor refuse containers shall be within a permanent, lockable, and durable enclosure with a solid roof and in an area not visible from public roads/views. The enclosure's design shall match the architectural style and colors of adjacent buildings.



- 5) Provide dock seals and plug-in electric outlets at loading bays intended for refrigerated trailers.

6.4 BUSINESS PARK DESIGN STANDARDS

This Section sets forth design standards that shall apply to the Business Park land uses within the Specific Plan Area. Design standards in this section are written as requirements, developers, builders, engineers, architects, and other design professionals shall comply with the standards listed.

6.4.1 Site Planning

- 1) Building and site layouts shall comply with Specific Plan Chapter 5, *Development Regulations*, and Chapter 18.30 of the City of Calimesa Municipal Code (per Ord. 381 § 11, 2021) regarding minimum setbacks, minimum open space, maximum building height requirements, etc.

- 2) No loading or unloading activity is permitted from public streets/views.

6.4.2 Site Access

- 1) Vehicular access to Planning Area 1 shall be limited to driveways connecting with Calimesa Boulevard.

6.4.3 Parking and Truck Loading

- 1) Uncovered parking areas shall include landscape treatments as required in Calimesa Municipal Code Section 18.70.130 (per Ord. 381 § 11, 2021) and other applicable landscaping standards within the Calimesa Municipal Code.
- 2) All landscaping planters shall be bounded by a curb at least six (6) inches wide and six (6) inches high. No parking islands shall be smaller than 25-feet excluding curbs. All planters shall include irrigated system.
- 3) All trees shall have an expected height of at least 35-feet at maturity.
- 4) Any development standards, conditions, or situations not specifically addressed herein shall be subject to the applicable requirements of the City's Municipal Code Chapter 18.45, *Off-Street Parking*.
- 5) No Truck loading and unloading activities shall take place between the hours of 7:00 PM and 7:00AM.

6.4.4 Building Form and Massing

- 1) Long horizontal wall planes visible from a public street shall include periodic changes in exterior building materials, color, decorative accents, and/or articulated features.

6.4.5 Articulation and Details

- 1) The patterns of window and door openings shall correspond with a uniform design characteristic of the building and should be consistent in form, pattern, and color with other buildings in Planning Area 1.

6.4.6 Roofs

- 1) Rooftop equipment should be limited to a maximum height no greater than the building parapet wall. Equipment exceeding parapet wall height and viewable from public streets shall be fully screened. All equipment shall be out of line-of-sight view from neighboring public streets and properties. Rooftop screens shall be integrated into the building architecture and utilize the same materials and colors.
- 2) Building roof structures shall support the future installation of solar panels.
- 3) Roof access (via roof ladders or other means) must be located interior of the building.

6.5 RESIDENTIAL HIGH DESIGN GUIDELINES

This Section sets forth design guidelines that apply to Residential High land uses within the Specific Plan Area. Developers, builders, engineers, architects, and other design professionals should utilize these guidelines to maintain design continuity throughout the Specific Plan Area.

6.5.1 Site Planning

- 1) Residential areas should be designed at a "human scale" with a pedestrian-friendly focus.
- 2) Entry into the residential areas should have strong landscaped edge treatments with views focused on landscape areas and building entries. Direct views of parking areas should be avoided. Colored, textured, permeable paving treatment at the entry drive is encouraged.
- 3) Parking areas should be screened from public street viewing with landscaping, berms and walls or located behind buildings.
- 4) Parking area access and internal circulation shall be designed to ensure safety, efficiency, and convenience. Provide adequate areas for maneuvering, stacking, and accommodating emergency vehicles.
- 5) The placement of carports adjacent to public streets, elevated slopes, or other highly exposed areas is prohibited.
- 6) The placement of solar panels on carports is strongly encouraged to increase the utility of the rooftops for renewable energy resources.

6.5.2 Building Typologies

Multi-family homes are anticipated to be developed within residential development areas. Vehicular access will be provided from Calimesa Boulevard or Beckwith Avenue via private driveways. Parking spaces are to be provided in garages or on-site parking areas. Pedestrian sidewalks and pathways shall provide access between parking and residential units, as well as to open space areas and amenities.

6.5.3 Architectural Styles

Architecture styles envisioned in the Residential High land use areas of the Specific Plan are intended to reflect the architectural style found in the City of Calimesa and the surrounding area. This Specific Plan proposes three architectural styles including Farmhouse, Craftsman and Mission Revival with the intent of creating a cohesive high-density residential neighborhood that will be complimentary to surrounding residential uses.

This section provides descriptions and key features of the Farmhouse, Craftsman, and Mission Revival architectural styles. Descriptions and general illustrations provided in this section are intended to serve as architectural design inspiration and are not indicative of the actual product types or building elements that may occur.

FARMHOUSE STYLE DESIGN ELEMENTS

The Farmhouse style reflects simplicity and practicality by combining practical elements with rustic materials. The American Farmhouse mixes well with other architectural style and creates a warm and approachable feel.

Design Characteristics and Elements

Form and Massing

- Front porches with a variety of wood columns and railings
- Simple massing forms broken only by covered porches and gable

Roof

- Simple gable roof forms both perpendicular and parallel to the front elevation
- Broad porches covered by shed roof forms
- Variation in heights and/or planes

Walls

- Exterior materials include predominantly wood siding

Materials and Colors

- Unadorned materials such as metal, wood, and masonry
- Combine contemporary design with rustic materials
- Neutral or muted colors to be predominant
- Monochrome accents on doors, windows, or architectural features

Doors and Windows

- Minimal molding around window and door openings
- Contrast color of window sash with color of the body of the building



CRAFTSMAN STYLE DESIGN ELEMENTS

The American Craftsman style features a minimalistic design through simplified lines with a functional floor plan that is easy for residents to decorate.

Design Characteristics and Elements

Form and Massing

- Porch elements with expressive structural components such as square, or tapered columns
- Expressive structural elements such as rafters, brackets, braces, and columns

Roof

- Shallow pitched roofs with overhangs
- Overhanging eaves with exposed rafter tails or beams

Walls

- Limited use of siding on front elevation
- Stone and brick bas accent

Materials and Colors

- A mixture of materials such as stone, shingles, and wood siding
- Use of dark, neutral, earth-toned color as the predominant color with light paint palettes in architectural features

Doors and Windows

- Asymmetrical massing and window and door compositions
- Windows and door color should contrast color of walls



MISSION REVIVAL STYLE DESIGN ELEMENTS

The Mission Revival style is recognized by emphasis upon curvilinear shaped gable walls and low parapets at the roof line, as well as low pitched roofs with projecting eaves and prominent use of plaster or smooth stucco finishes that is devoid of ornamentation and tile roofs.

Design Characteristics and Elements

Form and Massing

- Rounded arched entry areas and windows
- Balconies or small porches

Roof

- Low pitched roofs with projecting eaves and exposed rafter beams
- Use of ceramic tiles and clay or cement tile roofs

Walls

- Curvilinear shaped gable walls
- Smooth plaster or stucco finish with use of natural colors

Materials and Colors

- White or tan stucco wall with smooth or lightly textured finish

Doors and Windows

- Flat arch or semi-circle arch windows
- Recessed windows with sill and headers surrounds



6.5.4 Building Placement and Orientation

- 1) Buildings with strong architectural elements should be oriented to be viewed from Calimesa Boulevard to provide an attractive view for motorists and pedestrians.
- 2) Careful consideration should be given to street orientation and building placement to protect privacy, views, and the visual quality of the neighborhood.
- 3) Buildings should be placed next to primary open space areas in order to take advantage of these areas.
- 4) Buildings along Calimesa Boulevard are encouraged to have openings between buildings allowing visual connectivity between the residential community and the fronting street.

6.5.5 Building Form and Massing

- 1) Horizontal and vertical offsets should be used to reflect a variety of forms and create massing breaks, such as interconnection and lapping of building forms and heights.
- 2) Impacts on the adjoining Rancho Calimesa Mobile Home Park should be minimized with a sensitive transition in scale, massing, and height, and design the transition to ensure resident privacy.
- 3) Building configuration should place courtyards and gathering spaces where applicable. Accessible from inside the building or external pedestrian pathways, courtyards, or gather spaces should feature enhancements such as fountains, trellises, shade trees, comfortable outdoor furniture, or shade nodes.

6.5.6 Articulation and Details

- 1) All building elevations should include and equally represent architectural treatments and enhancements.
- 2) Windows and entries should be used to add articulation, break up massing, and play a key role in defining the style of a building. Consideration should also be given to energy performance and thermal comfort.
- 3) Balconies and window orientation on second and third floors should consider the relationship and privacy of the adjacent Rancho Calimesa Mobile Home Park.
- 4) Building placement along abutting project property lines should consider height variation or exaggerated separation between buildings in order to avoid extensive massing and encourage appropriate scale.

6.5.7 Roofs

- 1) Roof forms, pitches, and materials should be consistent with the architectural style of the building. Consider roof forms with the building mass to improve massing relief along public streets and other highly visible elevations.

- 2) Roof forms should be simple and efficient based on the architectural style and plan shape. Avoid overly complicated roof design that detracts from the characteristics of the architectural style.

6.5.8 Colors and Materials

- 1) Building materials and colors should be appropriate to the overall neighborhood design theme and relate to the selected architectural style. Frequent changes in materials shall be avoided.
- 2) A variety of textures and colors should be provided to allow for diversified expressions of individuality on building elevations while maintaining visual cohesiveness throughout the neighborhood.
- 3) Colors and materials should be applied to enhance changes in wall plane, reinforce articulation of elevations, and enhance special features such as entries, single-story elements, etc.
- 4) The colors of buildings should be warm-toned and should be complementary to the surrounding buildings.

6.5.9 Utilitarian Elements

- 1) All utilitarian equipment and features should be integrated into the site plan and should either be aesthetically screened from public view or designed to complement the architectural style of the development. Utility service areas should be part of the early site design process.
- 2) Placement of trash enclosures shall consider proximity to residential units and include separate access for pedestrians. Placement should also consider trash enclosure access by trash haulers.
- 3) Common mailbox enclosures should be similarly designed in form, materials, and color to the surrounding buildings.

6.6 RESIDENTIAL HIGH DESIGN STANDARDS

In response to the California Housing Crisis Act of 2019 (SB 330), objective design standards for housing development are established below. Objective design standards are defined in Government Code Sections 65913.4 and 66300 (a) (7), "involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official before submittal."

Objective design standards are written as requirements rather than guidelines; therefore, residential development within Specific Plan Area shall comply with each standard in this Section. The standards addressed in this Section only regulate site and structure design. Housing development must also comply with all applicable Calimesa zoning code requirements (per Ord. 381 § 11, 2021) and development standards in Chapter 5, *Development Regulations*, such as height, setbacks, parking, open space, etc.

6.6.1 Site Planning

- 1) Building and site layouts shall comply with Chapter 5, *Development Regulations* in this document and applicable City of Calimesa's standards regarding minimum setbacks, minimum open space, maximum height requirements, etc.

6.6.2 Site Access

- 1) **Pedestrian Access:** All structures, entries, facilities, amenities, and parking areas shall be internally connected via ADA compliant pedestrian pathways. Pedestrian pathways shall be connected to the public sidewalk and pathways along Calimesa Boulevard and/or Beckwith Avenue.
- 2) **Vehicular Access:** Vehicular access shall be limited to driveways connecting to Beckwith Avenue for Planning Area 2 and Calimesa Boulevard for Planning Area 3.

6.6.3 Parking

- 1) Uncovered parking areas shall include landscape treatments as required in Calimesa Municipal Code Section 18.70.130 and other applicable landscaping standards within the Calimesa Municipal Code (per Ord. 381 § 11, 2021).
- 2) Carports shall be designed to be architecturally compatible with associated primary buildings.

6.6.4 Primary Building Entries

- 1) Primary building entries shall be easily identifiable and emphasized with the use of architectural features, landscaping, and lighting.

6.6.5 Building Massing and Articulation

- 1) Unbroken wall planes shall not exceed 30 feet in length and incorporate varying recesses or setbacks of at least two (2) feet.
- 2) Projecting architectural features such as bowed or bay windows, columns, offset roof planes, and similar features shall be used to create both vertical and horizontal articulation.
- 3) All windows, doors, and other wall openings shall represent a consistent architectural style.

6.6.6 Roofs

- 1) Roof plan design shall maximize solar exposure and incorporate space for the potential installation of solar panels and/or tiles.

6.6.7 Materials and Colors

- 1) A minimum of two (2) materials shall be applied on all elevations.
- 2) A minimum of two (2) body colors and two (2) accent colors shall be applied on all elevations.
- 3) Where color or material changes occur on the building, such changes shall only occur at inside corners or wrapped to appropriate termination points where they provide a finished appearance from the street.

- 4) Where appropriate to the architectural style, materials and textures shall vary between the base and body of a building to break up large wall planes and add a visual base to the building.
- 5) Reflective materials shall be avoided on elevations facing the existing Rancho Calimesa Mobile Home Park.
- 6) Exposed gutters and downspouts must be colored to match or complement the surface to which they are attached.

6.6.8 Utilitarian Elements

- 1) Mechanical Equipment: All exposed air conditioning/heating equipment, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape/lighting shall be hidden from view in vaults, wells, constructed enclosures, or behind walls/fences. Enclosures shall be constructed similarly to and finished to match the building or material to which they are attached and no more than 6 feet in height.
- 2) Trash Enclosure
 - a. Areas provided for trash and recycling bins shall be concealed from public view, which shall include a roof element.
 - b. Where trash and recycling material collection facilities are shared by several units/buildings, the collection facilities shall be screened by architectural enclosures at 6-foot height. The screening enclosure materials and colors shall be similar or complementary to the exterior materials and colors used on the adjacent principal buildings.
 - c. A minimum three-foot landscape buffer shall be provided on all non-accessible sides of trash enclosures.
- 3) Utilities: Above-ground utilities, including the location of transformers and backflow prevention devices (fire, landscape, domestic/DCDA, etc.), shall be in underground vaults or screened from public view.

6.7 SIGNAGE GUIDELINES

Signage within the Specific Plan Area serves a variety of purposes. Signs will identify the Specific Plan Area and its building occupants and ensure the efficient circulation of vehicle traffic within the site by identifying vehicular entry points and directing vehicles to their on-site destinations. Additionally, signage will enhance the pedestrian experience through the design of wayfinding components: directories, directional signage, and destination identifiers.

As such, clear, concise, and easy-to-understand signage that is also visually appealing is important for positive worker and visitor experiences at Oak Valley North. General design requirements for signage are as follows:

- 1) The dimensions and shape of free-standing signs and sign panels or elements mounted on building facades or marquees are to be scaled proportionately to the building architecture.

- 2) Building occupant identification signage should remain thematically consistent throughout the Specific Plan Area, with variations allowed to accommodate individual user identities/corporate branding standards.
- 3) All signs are expected to be of the highest quality to pass eye-level examination and scrutiny.
- 4) All conductors, transformers, cabinets, housing, wiring, raceways, ballasts, and associated equipment to illuminate signs are to be concealed and/or incorporated into the building architecture.
- 5) Ensure that vehicular direction signs are consistent in size, shape, and design throughout the Specific Plan Area.
- 6) All signage shall comply with City of Calimesa Municipal Code Chapter 18.50 - Sign Regulations (per Ord. 381 § 11, 2021).

CHAPTER 7 – LANDSCAPE GUIDELINES

7.1 PURPOSE AND INTENT

The landscape design guidelines for the Oak Valley North Specific Plan Area establish landscape principles and standards that apply to all Specific Plan planning areas. The intent is to ensure that plant materials, monuments and entries, streetscapes, and other features are compatible with the overall design theme and that all implementing development projects are united under a common landscape design. The landscape design taken with the companion architectural design guidelines provided in Chapter 6 of the Specific Plan, establish an identity for the Specific Plan Area that is contemporary, visually appealing, and contextually sensitive to the surrounding area.

The design guidelines provided in this chapter are not intended to establish a set of ridged landscape requirements. These guidelines will occasionally need to have flexibility to meet certain parcel-specific or user-identity requirements. As such, these guidelines are intended to be flexible, and are subject to modification over time. Any deviations from these landscape guidelines are to be in keeping with the core elements of the overall theme described in this chapter to ensure a cohesive and unified landscape concept.

7.2 LANDSCAPE DESIGN GUIDELINES

Landscaping contributes to the visual appeal of the Specific Plan Area to the visitors, residents, and employees. Landscaping occurs throughout the Specific Plan Area, but it occurs most predominantly along roadways and at site entrances, and within passenger car parking lots. Any development standards, conditions, or situations not specifically addressed herein shall be subject to the applicable requirements of the City's Municipal Code Chapter 18.70, *Landscape Requirements*, and Chapter 18.75, *Water Conservation for Landscaping*. As shown in Figure 7-1, *Conceptual Landscape Design Keymap*, the Oak Valley North Specific Plan provides landscape design of streetscapes, pedestrian paths, interfaces, and monumentation.

7.2.1 Fences and Walls

- 1) Free-standing walls and fences are intended to be used for screening truck courts and loading docks. Landscaping may be used for visual screening instead of walls and fences where a solid physical barrier is not needed for safety and security.
- 2) Design walls and fences in public view with attractive, durable materials such as concrete, block, metal, and wrought iron.
- 3) Chain-link fencing is not permitted within the Specific Plan Area.
- 4) Wall and fence materials need to be visually compatible with other design elements within the Specific Plan.
- 5) Fences and walls are permitted at a height necessary to properly screen business park activities from nearby sensitive land uses and provide aesthetic benefit as long as they are placed at either the required setback or 10 feet from the property line, whichever is greater.

- 6) Wall height shall be measured from the highest grade, excluding retaining walls.
- 7) The height of outdoor trailer units shall not exceed the wall or fence screening height. Trailer stacking shall be prohibited.
- 8) A minimum 5-foot-wide landscape buffer shall be provided on both sides of the property line between Planning Areas 1 and 2 to provide adequate screening.



Source(s): HPA (02-27-2024)

Figure 7-1



Not to Scale



7.2.2 Outdoor Lighting

Outdoor Lighting of Oak Valley North is an essential architectural component that provides aesthetic appeal, enhances safe pedestrian and vehicular circulation, and adds to security. Lighting within the right-of-way shall adhere to applicable City of Calimesa requirements.

All other lightings on private property in the Specific Plan shall adhere to the following guidelines:

- 1) Minimize glare and "spill over" light onto public streets and adjacent properties by using downward-directed lights and/or cutoff devices (defined by the Illuminating Engineering Society of North American (IESNA) on outdoor lighting fixtures), including but not limited to spotlights, flood lights, electrical reflectors, and other means of illumination for signs, structures, parking, loading, unloading, and similar areas.
- 2) All lighting fixtures used in the Specific Plan should be from the same family of fixtures with respect to design, materials, fixture color, and light color. Use of LED Lighting is encouraged.
- 3) The design of light fixtures shall complement the architectural style of the proposed building.
- 4) Light fixtures should use durable materials, recessed, or otherwise designed to reduce the problems associated with damage and replacement fixtures.
- 5) Neon lighting, low-pressure fixture sodium lighting, and flashing lights are prohibited within the Specific Plan Area.
- 6) Electrical meter pedestals and light switch/control should be in areas with minimum public visibility or screened with appropriate materials.
- 7) Illuminate parking lots, loading dock areas, pedestrian walkways, building entrances, and public sidewalks to the level necessary for building operation and security reasons. Dimmers and motion detectors are permitted.
- 8) Where possible, low-mounted fixtures (ground or bollard height) should be used along walkways and sidewalks to reinforce the pedestrian scale.
- 9) Lighting locations should be chosen for maximum visual enhancement and safety, highlight important features, and provide lighting where people need it most.
- 10) The maximum lighting pole height shall be 25 feet.
- 11) Lighting standards shall adhere to Sections 18.12.070, 18.120.080, and 18.120.090 of the City of Calimesa Municipal Code (per Ord. 294 § 15, 2009).
- 12) Outdoor lighting systems in Planning Area 1 shall be turned off to the minimum number of fixtures or lighting level necessary for site security or reduced in lighting by at least 50 percent beginning at 10:00 p.m. or close of business, whichever is later, until dawn or the opening of business, whichever is earlier. The reduction shall be determined as an overall average for the parcel. Lighting shall be equipped with either timer controls or with photocell on and off switches.

7.2.3 Plant Palette

The plant palette for the Oak Valley North Specific Plan is water efficient while also providing an attractive and inviting aesthetic using shrubs and groundcovers, ornamental grass and succulents, and evergreen and deciduous trees – including flowering varieties – that are commonly used throughout Southern California. Many of the plant materials are water-efficient species native to Southern California or naturalized to the Southern California climate.

Table 7-1, *Plant Palette*, provides a list of plant materials approved for use in the Oak Valley North Specific Plan Area. The plants listed in Table 7-1 establish a base palette for the landscape design. Other similar plant materials may be substituted for species listed in Table 7-1, provided the alternative plants are drought-tolerant and complement the Oak Valley North design theme.

As discussed in Section 5.6, the Specific Plan Area is located within the “Very High” Fire Hazard Severity Zone. As a result, a list of highly flammable plant materials is provided in the Specific Plan as well. Table 7-2, *Prohibited Plant List*, provides native plant materials that are highly flammable and are prohibited within the Specific Plan Area as a landscape material.

Table 7-1 Plant Palette

Botanical Name	Common Name	Water Use ¹
Trees		
Cercidium ‘Desert Museum’	Blue Palo Verde	L
Chitalpa tashkentensis	Chitalpa	L
Heteromeles arbutifolia	Toyon	L
Pinus canariensis	Canary Island Pine	M
Pinus eldarica	Afghan Pine	L
Pistacia chinensis	Chinese Pistache	L
Platanus racemosa	California Sycamore	M
Quercus agrifolia	Coast Live Oak	M
Rhus lancea	African Sumac	L
Tristania conferta	Brisbane Box	M
Shrubs		
Aloe vera	Aloe	L
Bulbine f. ‘Hallmark’	Bulbine	M
Callistemon ‘Little John’	Dwarf Bottle Brush	M
Cassia phyllodenia	Silverleaf Cassia	L
Heteromeles arbutifolia	Toyon	M
Muhlenbergia reigens	Deer Grass	M
Rhamnus californica	Coffeeberry	L
Salvia leucantha	Mexican Sage	L
Westringia fruticosa	Coast Rosemary	L
Westringia f. ‘Grey Box’	Dwarf Coast Rosemary	L
Groundcover		
Baccharis p. ‘Pigeon Point’	Dwarf Coyote Bush	L
Myoporum parvifolium	Myoporum	L
Rosmarinus o. “Huntington Carpet”	Prostrate Rosemary	L
Trachelopsepium jasminoides	Star Jasmine	M

¹ Water use data is extracted from the *Water Use Classification of Landscape Species (WUCOLS)* where L stands for low water need, and M stands for moderate water need.

Table 7-2 Prohibited Plant Species

Botanical Name	Common Name	Comments ¹
Trees		
<i>Abies</i> species	Fir	F
<i>Agonis juniperina</i>	Juniper Myrtle	F
<i>Casuarina cunninghamiana</i>	River She-Oak	F
<i>Chamaecyparis</i> species (numerous)	False Cypress	F
<i>Cryptomeria japonica</i>	Japanese Cryptomeria	F
<i>Cupressocyparis leylandii</i>	Leyland Cypress	F
<i>Cupressus</i> species (<i>C. fobesii</i> , <i>C. glabra</i> , <i>C. sempervirens</i> ,)	Cypress (Tecate, Arizona, Italian, others)	F
<i>Eucalyptus</i> species (numerous)	Eucalyptus	F, I
<i>Juniperus</i> species (numerous)	Juniper	F
<i>Lithocarpus densiflorus</i>	Tan Oak	F
<i>Melaleuca</i> species (<i>M. linariifolia</i> , <i>M. nesophila</i> , <i>M. quinquenervia</i>)	Melaleuca (Flaxleaf, Pink, Cajeput Tree)	F, I
<i>Picea</i> (numerous)	Spruce	F
<i>Palm</i> species (numerous)	Palm	F, I
<i>Pinus</i> species (<i>P. brutia</i> , <i>P. canariensis</i> , <i>P. b. eldarica</i> , <i>P. halepensis</i> , <i>P. pinea</i> , <i>P. radiata</i> , numerous others)	Pine (Calabrian, Canary Island, Mondell, Aleppo, Italian Stone, Monterey)	F
<i>Platycladus orientalis</i>	Oriental arborvitae	F
<i>Pseudotsuga menziesii</i>	Douglas Fir	F
<i>Tamarix</i> species (<i>T. africana</i> , <i>T. aphylla</i> , <i>T. chinensis</i> , <i>T. parviflora</i>)	Tamarix (Tamarisk, Athel Tree, Salt Cedar, Tamarisk)	F, I
<i>Taxodium</i> species (<i>T. ascendens</i> , <i>T. distichum</i> , <i>T. mucronatum</i>)	Cypress (Pond, Bald, Monarch, Montezuma)	F
<i>Taxus</i> species (<i>T. baccata</i> , <i>T. brevifolia</i> , <i>T. cuspidata</i>)	Yew (English, Western, Japanese)	F
<i>Thuja</i> species (<i>T. occidentalis</i> , <i>T. plicata</i>)	Arborvitae/Red Cedar	F
Groundcovers, Shrubs & Vines		
<i>Acacia</i> species	Acacia	F, I
<i>Adenostoma fasciculatum</i>	Chamise	F
<i>Adenostoma sparsifolium</i>	Red Shanks	F
<i>Agropyron repens</i>	Quackgrass	F, I
<i>Anthemis cotula</i>	Mayweed	F, I
<i>Arctostaphylos</i> species	Manzanita	F
<i>Arundo donax</i>	Giant Reed	F, I
<i>Artemisia</i> species (<i>A. abrotanum</i> , <i>A. absinthium</i> , <i>A. californica</i> , <i>A. caucasica</i> , <i>A. dracunculus</i> , <i>A. tridentata</i> , <i>A. pynoccephala</i>)	Sagebrush (Southernwood, Wormwood, California, Silver, True tarragon, Big, Sandhill)	F
<i>Atriplex</i> species (numerous)	Saltbush	F, I
<i>Avena fatua</i>	Wild Oat	F
<i>Baccharis pilularis</i>	Coyote Bush	F
<i>Bambusa</i> species	Bamboo	F, I
<i>Bougainvillea</i> species	Bougainvillea	F, I
<i>Brassica</i> species (<i>B. campestris</i> , <i>B. nigra</i> , <i>B. rapa</i>)	Mustard (Field, Black, Yellow)	F, I
<i>Bromus rubens</i>	Foxtail, Red brome	F, I

Botanical Name	Common Name	Comments ¹
Castanopsis chrysophylla	Giant Chinquapin	F
Cardaria draba	Hoary Cress	I
Cirsium vulgare	Wild Artichoke	F, I
Conyza bonariensis	Horseweed	F
Coprosma pumila	Prostrate Coprosma	F
Cortaderia selloana	Pampas Grass	F, I
Cytisus scoparius	Scotch Broom	F, I
Eriogonum species (E. fasciculatum)	Buckwheat (California)	F
Fremontodendron species	Flannel Bush	F
Heterotheca grandiflora	Telegraph Plant	F
Hordeum leporinum	Wild barley	F, I
Juniperus species	Juniper	F
Lactuca serriola	Prickly Lettuce	I
Larrea tridentata	Creosote bush	F
Lolium multiflorum	Ryegrass	F, I
Lonicera japonica	Japanese Honeysuckle	F
Mimulus aurantiacus	Sticky Monkeyflower	F
Miscanthus species	Eulalie Grass	F
Muhlenbergia species	Deer Grass	F
Nicotiana species (N. bigelovii, N. glauca)	Tobacco (Indian, Tree)	F, I
Pennisetum setaceum	Fountain Grass	F, I
Perovskia atroplicifolia	Russian Sage	F
Phoradendron species	Mistletoe	F
Pickeringia montana	Chaparral Pea	F
Rhus (R. diversiloba, R. laurina, R. lentii)	Sumac (Poison oak, Laurel, Pink Flowering)	F
Ricinus communis	Castor Bean	F, I
Rhus Lentii	Pink Flowering Sumac	F
Salvia species (numerous)	Sage	F, I
Salsola australis	Russian Thistle	F, I
Solanum Xantii	Purple Nightshade (toxic)	I
Silybum marianum	Milk Thistle	F, I
Thuja species	Arborvitae	F
Urtica urens	Burning Nettle	F

¹ F = Flammable, I = Invasive

7.2.4 Irrigation

The following general irrigation concepts shall be considered in the design and installation of irrigation systems within the Oak Valley North Specific Plan Area:

- 1) Equip landscaped areas with a permanent, automatic, underground irrigation system. Drip systems shall be utilized in all areas needing irrigation. Irrigation systems must conform to all City of Calimesa requirements.
- 2) Design irrigation systems to apply water slowly, allowing plants to be deep soaked and to reduce run-off.
- 3) Irrigation systems shall connect to the recycled water conveyance system, when available.

- 4) “Pop-up” type sprinkler heads are permitted adjacent to all walks, drives, curbs (car overhangs), and not permitted within 24” of non-permeable surfaces. Parking areas and public rights-of-way must be designed to prevent all run-off and overspray.
- 5) The design of irrigation systems, particularly the location of controller boxes, valves, and other above-ground equipment (e.g., backflow prevention devices), shall be incorporated into the overall landscape design. Screen aboveground equipment or otherwise remove from public view to the extent possible.
- 6) Irrigation water shall be recycled as provided by Yucaipa Valley Water District (YVWD) and comply with applicable YVWD notes, details, and specifications.

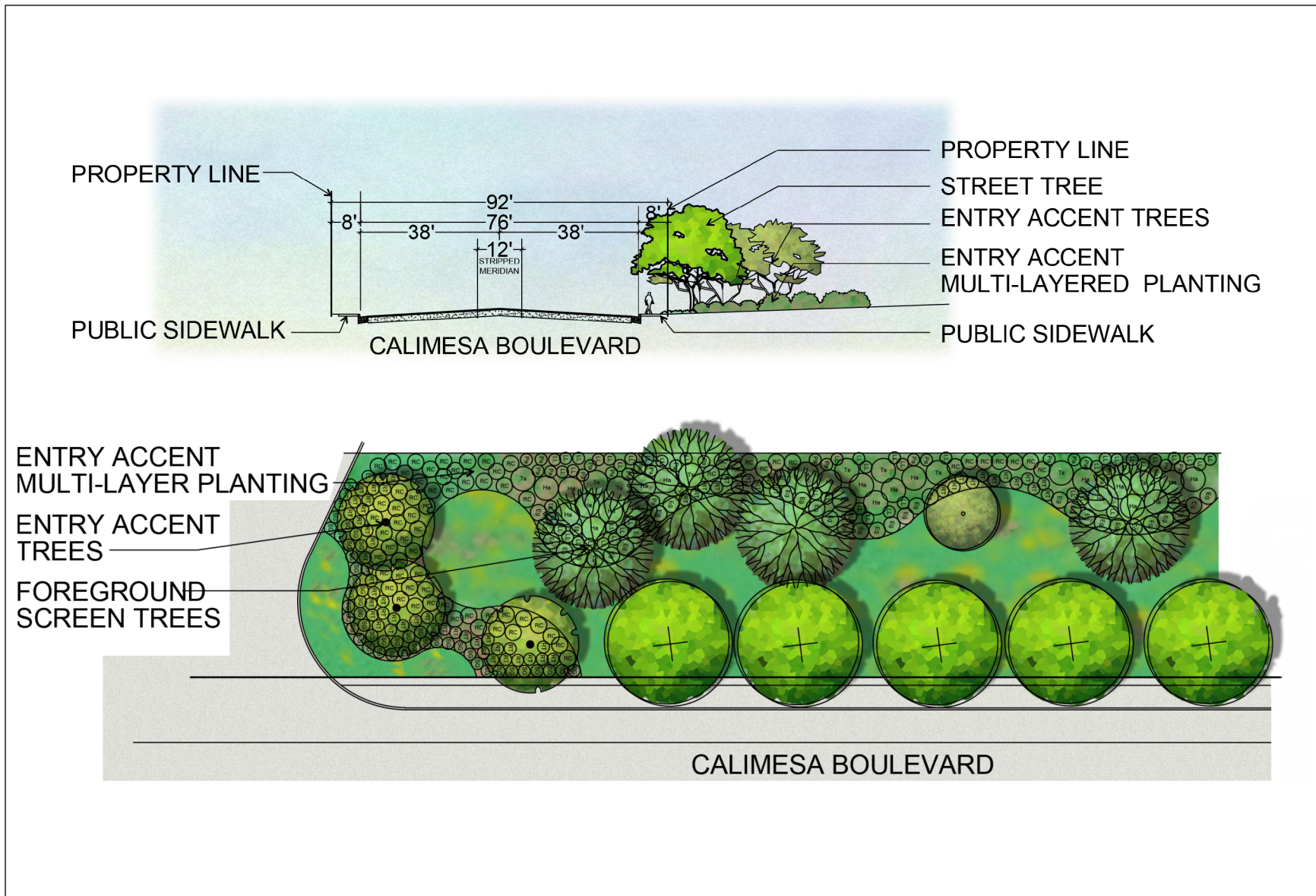
7.2.5 Streetscapes

Streetscape landscaping is intended to provide a sense of place as well as screen undesirable views and activities from the public view. Within the Specific Plan Area, streetscapes are planted with a combination of evergreen and deciduous trees, low shrubs, and masses of groundcovers to create a visually appealing view for pedestrians and motorists. The landscaping plant palette visually links the abutting roadways to the Specific Plan Area and reflects the overall landscape design theme.

The conceptual streetscape treatments within the Specific Plan Area are presented on the following pages. Any streetscape standards not specifically addressed herein shall be subject to Section 18.70.110, *Street Trees*, of the Calimesa Municipal Code (per Ord. 94-4; Code 1990 § 9.14.11.).

A. *Calimesa Boulevard Streetscape*

As depicted in Figure 7-2, *Typical Calimesa Boulevard Section*, Calimesa Boulevard provides landscapes on both sides of the street. On the side of the street abutting the Specific Plan, landscaping is provided within the Specific Plan Area. Street trees and accent trees provide shade to pedestrians, along with decorative shrubs and groundcover. Landscaping on the opposite side of the street, abutting Interstate-10, includes street trees, decorative shrubs, and groundcover.



Source(s): Hunter Landscape (11-22-2022)

Figure 7-2

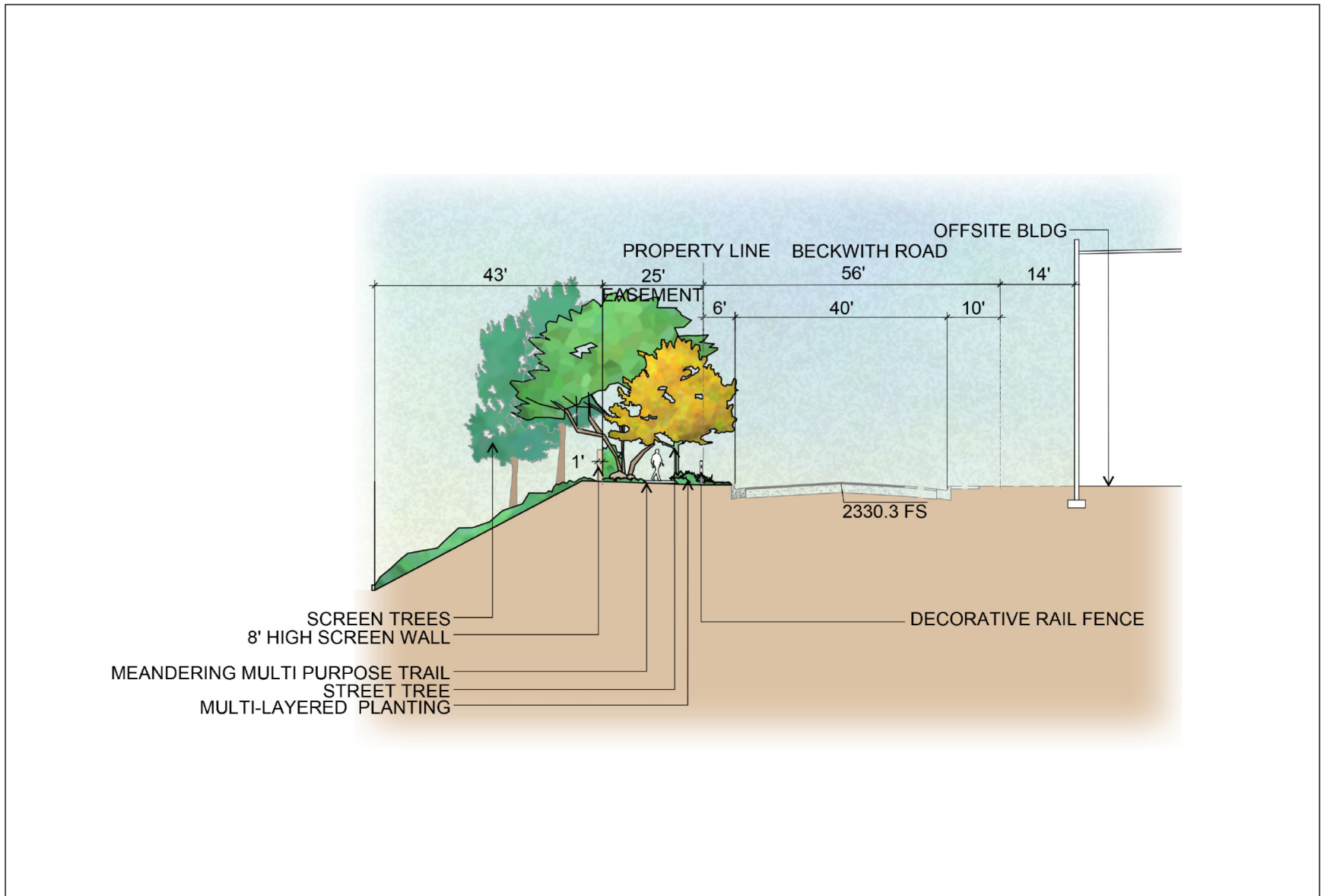


Not to Scale

Typical Calimesa Boulevard Section

B. Beckwith Avenue Streetscape

As depicted in Figures 7-3A to 7-3C, *Typical Beckwith Avenue Section*, Beckwith Avenue provides landscape treatment on the west side of the street, abutting the Specific Plan Area. In the street segment between Singleton Road and the Specific Plan Boundary, street trees and groundcovers are provided abutting the sidewalk, which will provide shade to pedestrians. Within the Specific Plan Area, the west side of Beckwith Avenue and the abutting landscape easement provide multiple layers of trees, shrubs, and groundcover to provide opportunity for shade and aesthetic benefit along the meandering multi-use trail. In addition, the landscaping in this segment also screens the abutting industrial activities from pedestrians, motorists, and neighboring properties to the northeast. As depicted in Figure 7-3C, a stormwater drainage channel will also be installed in the northeastern portion of the Specific Plan, conveying stormwater from north of the Specific Plan area to the south.



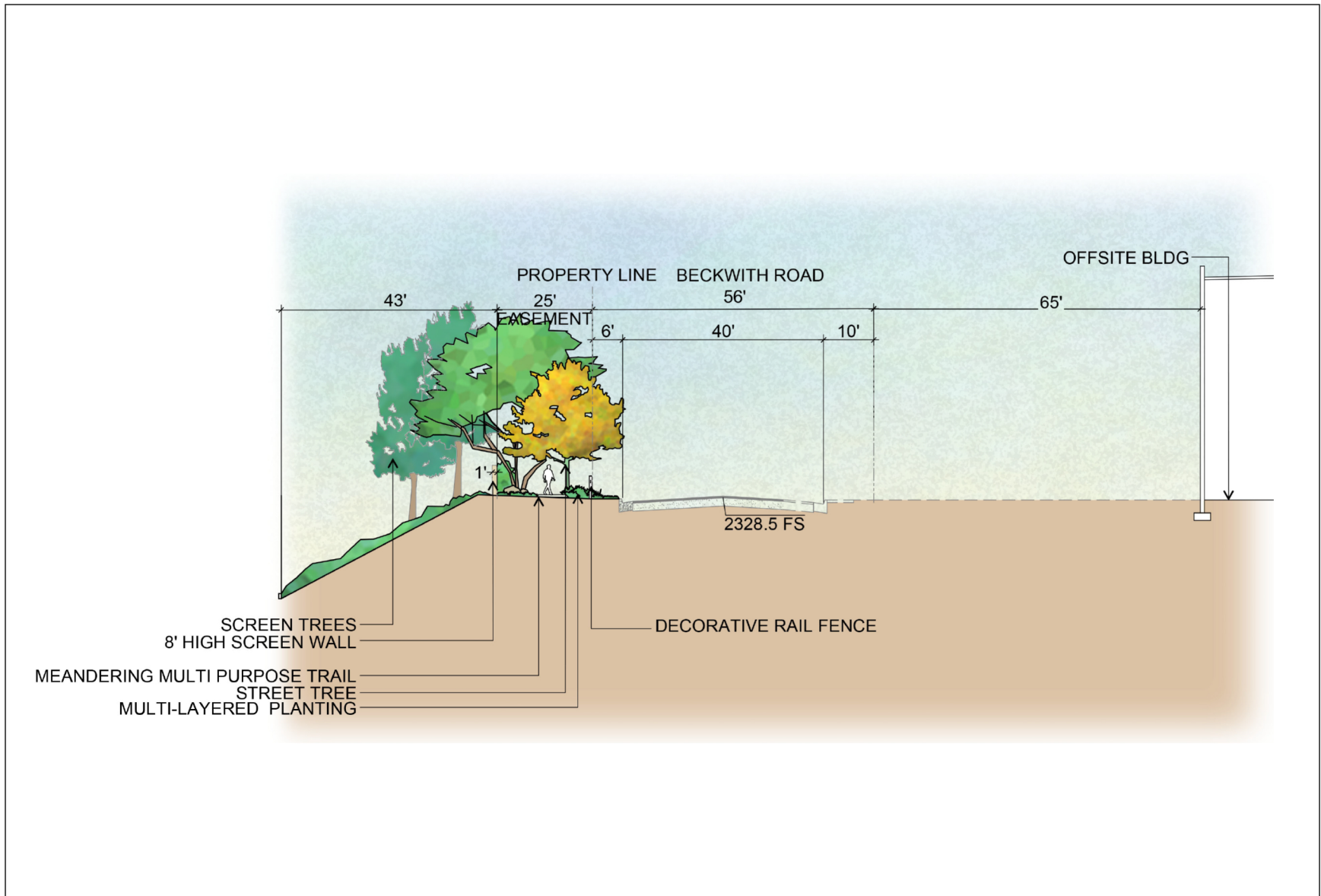
Source(s): Hunter Landscape (06-30-2023)

Figure 7-3A



Not to Scale

Typical Beckwith Avenue Section - North



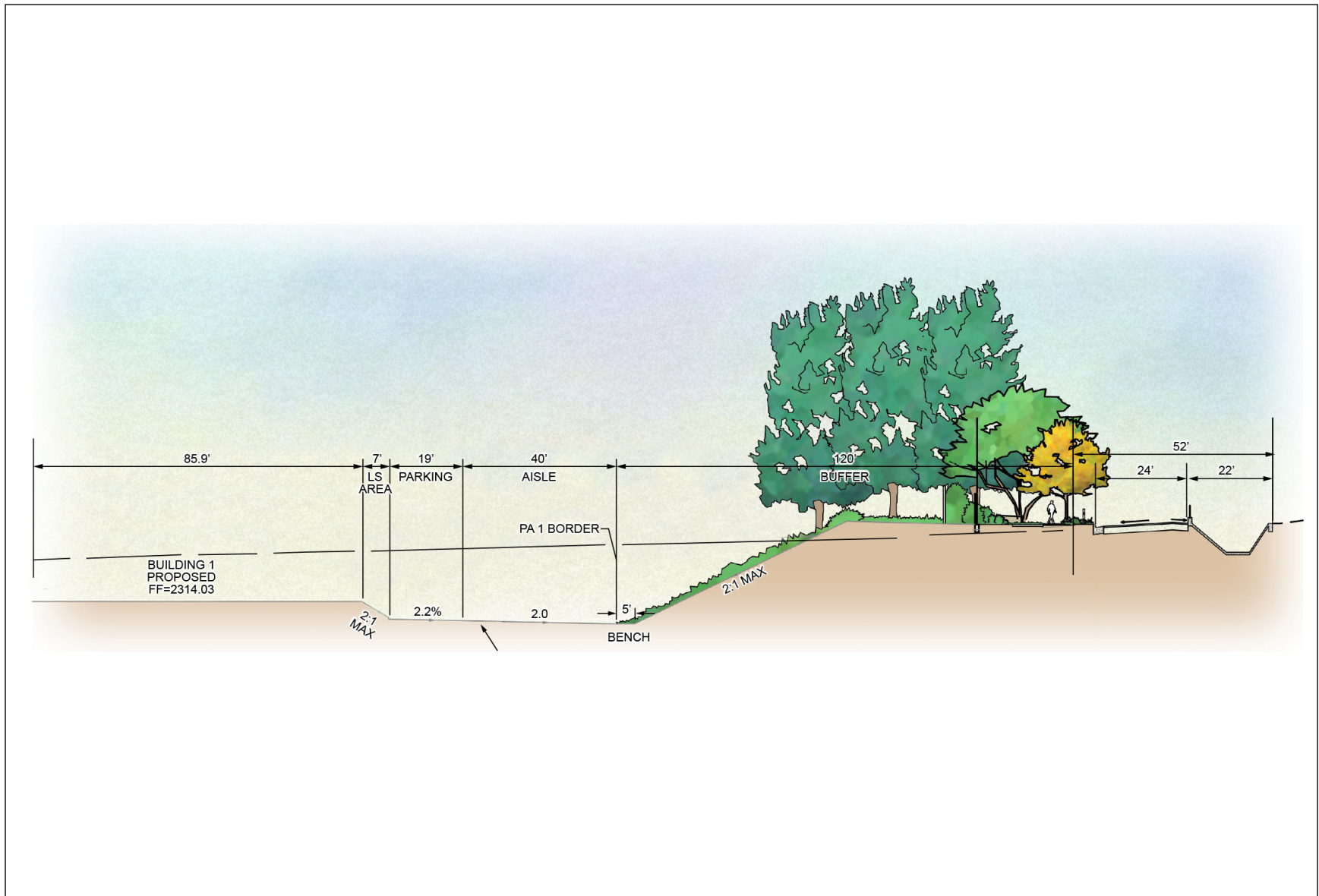
Source(s): Hunter Landscape (06-30-2023)

Figure 7-3B



Not to Scale

Typical Beckwith Avenue Section - Central



Source(s): Hunter Landscape (03-06-2024)

Figure 7-3C

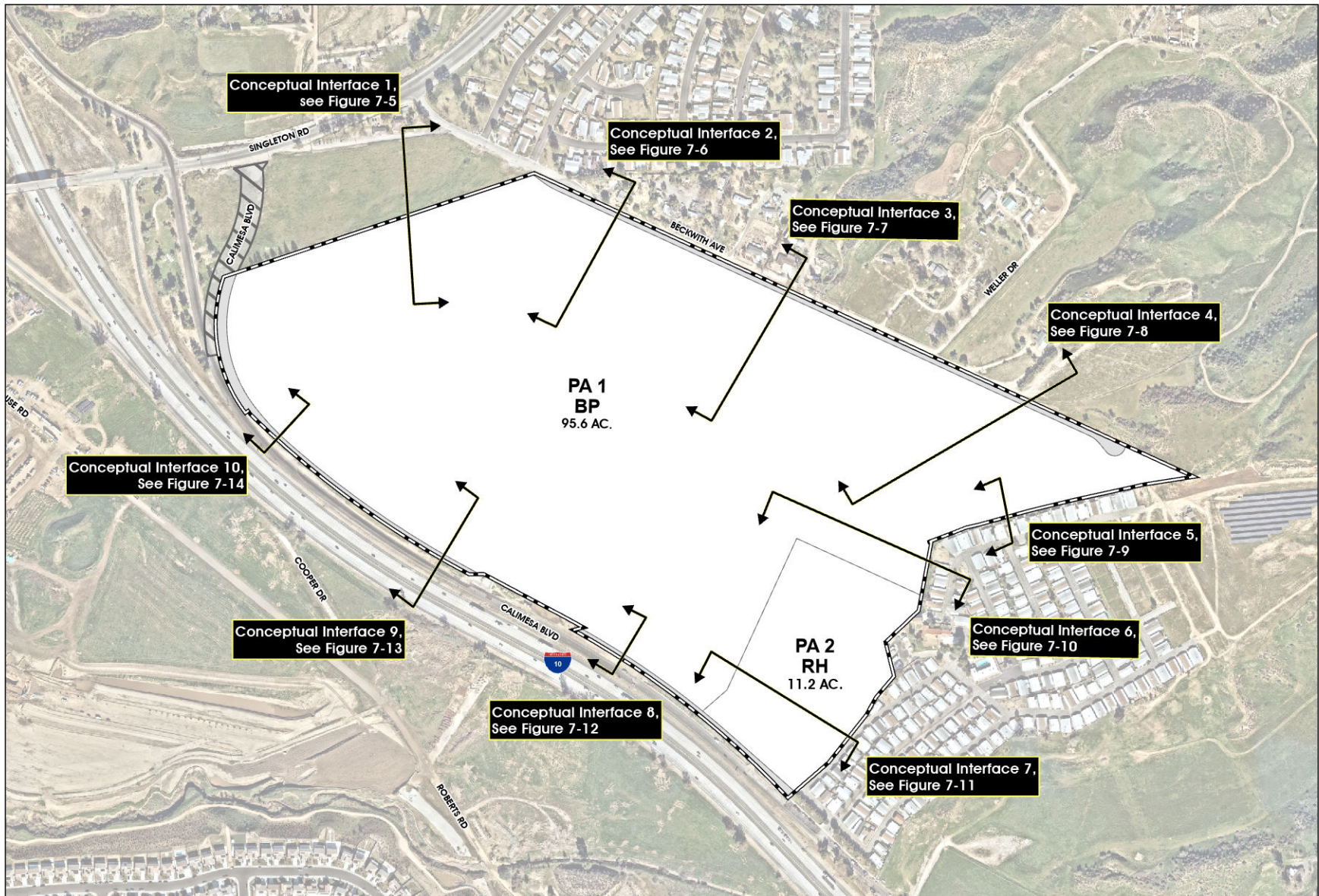


Not to Scale

Typical Beckwith Avenue Section - South

7.2.6 Landscape Interfaces

Within the Specific Plan Area, landscape treatments have been designed to address the interface with neighboring residential activities to the north, northeast, and southwest. The landscape interface provided in this section represents the physical relationship between the Specific Plan Area and abutting residential and other sensitive receptors activities. Refer to Figure 7-4, *Landscape Interface Keymap*, for reference of the interface locations. The interface exhibits presented in this section are not intended to represent a literal design, but rather serve as guidelines, which may be subject to modification over time.



Source(s): ESRI, NearMap (2023), RCTLMA (2022)

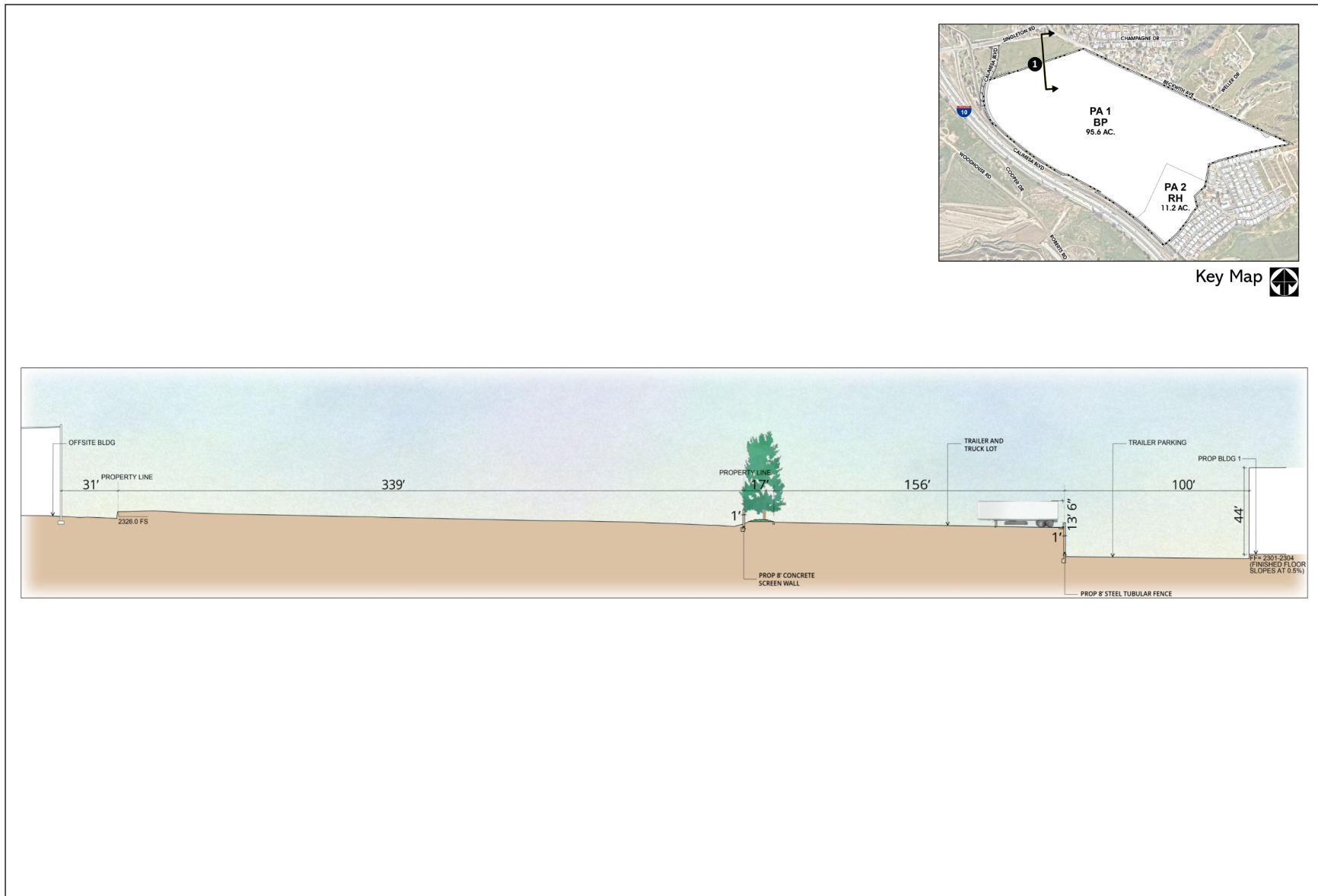
Figure 7-4



Landscape Interface Keymap

A. North Interface

The North Interface exhibit is intended to represent the relationship between the Specific Plan Area and Singleton Road. As depicted in Figure 7-5, *Conceptual Interface 1 – Business Park (PA 1) to Singleton Road*, truck stalls, retaining wall and fences separate the proposed industrial building and the Specific Plan Area boundary. The interface represents a separation distance of approximately 644 feet between the existing off-site sensitive receptor and the proposed business park building. The business park building grade at the interface point will be approximately 22feet lower than the property to the north. A retaining wall is proposed in proximity to the property line to properly address the grade difference.



Source(s): Hunter Landscape (06-29-2023)

Figure 7-5



Not to Scale

Conceptual Interface 1 – Business Park (PA 1) to Singleton Road

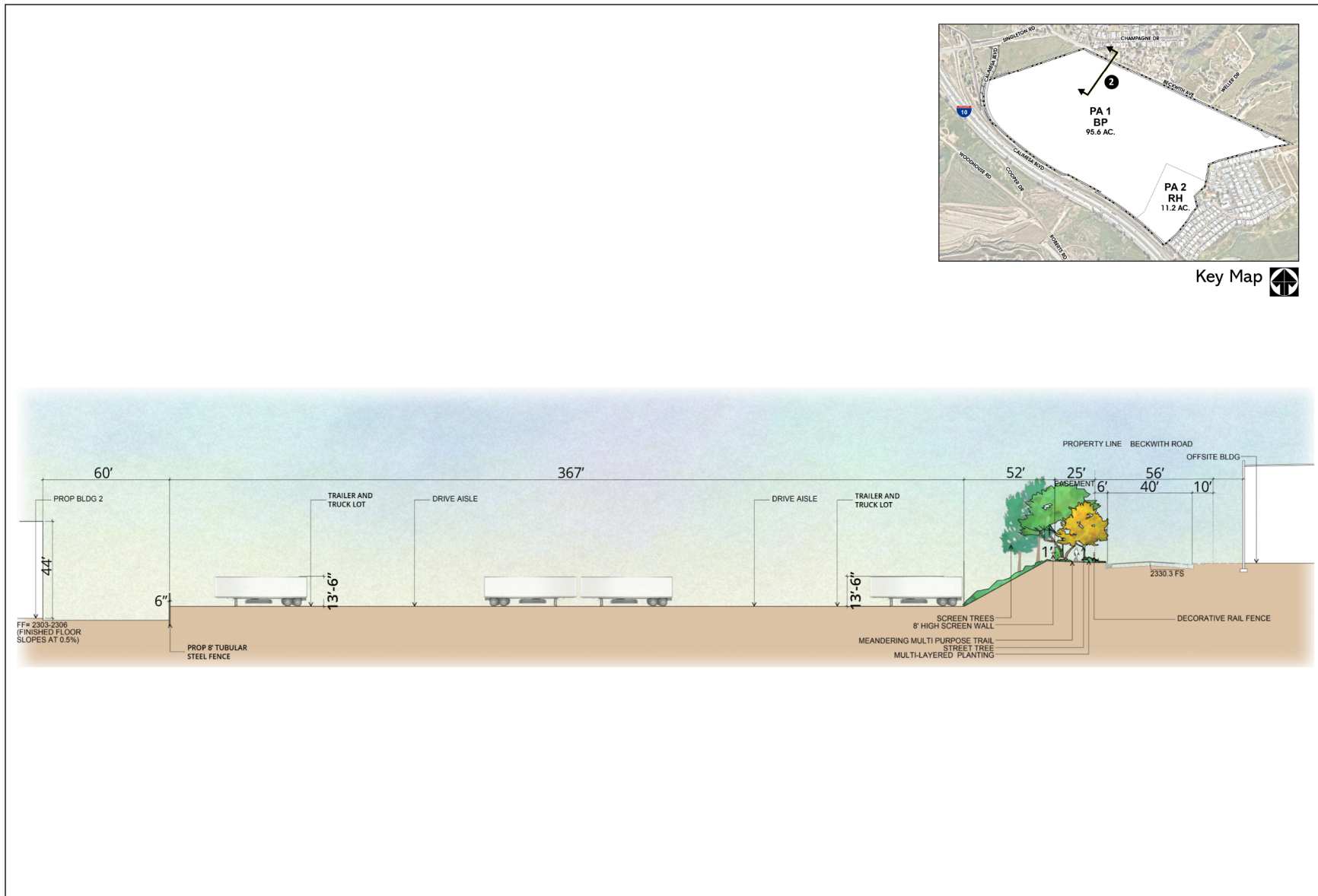
B. Beckwith Avenue Interface

Beckwith Avenue forms the northeastern boundary of the Specific Plan Area and separates the Specific Plan Area from the Sharondale Senior Community and single-family residential homes to the north and northeast. In addition to the Beckwith Avenue right-of-way, an abutting 25-foot-wide landscaped buffer will be provided within the Specific Plan Area, increasing the separation distance between existing residences and the business park buildings proposed within Planning Area 1. Three (3) conceptual interface exhibits are provided along the Beckwith Avenue boundary to properly represent the relationship between the existing residences and the business park buildings proposed within Planning Area 1.

As depicted in Figure 7-6, *Conceptual Interface 2 – Business Park (PA 1) to Offsite Single-Family Home*, the area between the identified residences and the proposed business park building includes Beckwith Avenue, an approximately 25-foot-wide landscaped easement, approximately 52 feet of max 2:1 landscaped buffer slope, truck and trailer lot, and a drive aisle. The business park building will be approximately 18 feet lower than the truck and trailer lot, and a retaining wall is proposed to address the grade difference. The interface represents a separation distance of approximately 574 feet between the existing residences and the proposed business park building. In addition, the building grade is 24 feet lower than Beckwith Avenue at this point. To help screen business park activities from the single family residentials, an 8-foot-tall screen wall will be placed at the top of the slope within the easement area, and the easement area will include extensive landscape plantings, particularly between the screen wall and Beckwith Avenue.

In Figure 7-7, *Conceptual Interface 3 – Business Park (PA 1) to Offsite Residence*, the area between the identified residence and the proposed business park building includes Beckwith Avenue, a 25-foot-wide landscaped easement, approximately 43 feet of max 2:1 landscaped buffer slope, and truck and trailer lot. The interface represents a separation distance of approximately 697 feet between the existing residence and the proposed business park building. In addition, the building grade is 14 feet lower than Beckwith Avenue at this point. To help screen industrial activities from the single family residentials, an 8-foot-tall screen wall will be placed at the top of the slope within the easement area, and the easement area will include extensive landscape plantings, particularly between the screen wall and Beckwith Avenue.

In Figure 7-8, *Conceptual Interface 4 – Business Park (PA 1) to Offsite Single-Family Home*, the area between the identified residence and the proposed business park building includes open space, Beckwith Avenue, a 32-foot-wide landscaped easement and approximately 125 feet of max 2:1 landscaped buffer slope, and truck and trailer lot. The business park building will be approximately 5 feet lower than the truck and trailer lot, and a retaining wall is proposed to address the grade difference. The interface represents a separation distance of approximately 1,065 feet between the existing off-site single-family home and the proposed business park building. The business park building grade is approximately 42 feet lower than Beckwith Avenue at this point. To help screen industrial activities from the residential uses, an 8-foot-tall screen wall will be placed at the top of the slope and extensive landscape plantings placed in proximity to the screen wall.

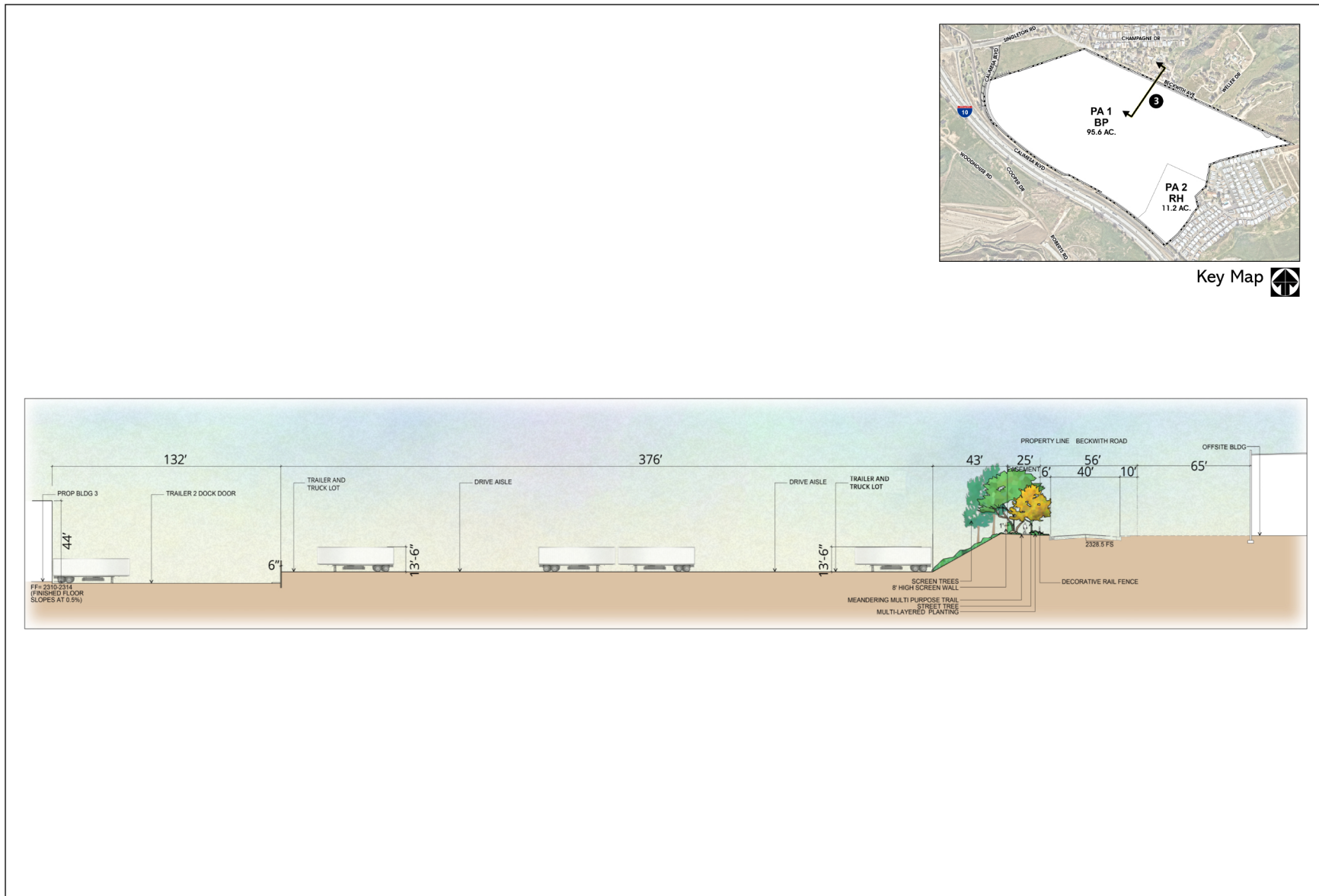


Source(s): Hunter Landscape (06-29-2023)

Figure 7-6

Conceptual Interface 2 – Business Park (PA 1) to Offsite Single-Family Home



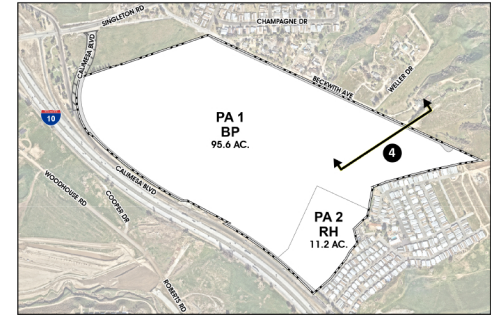
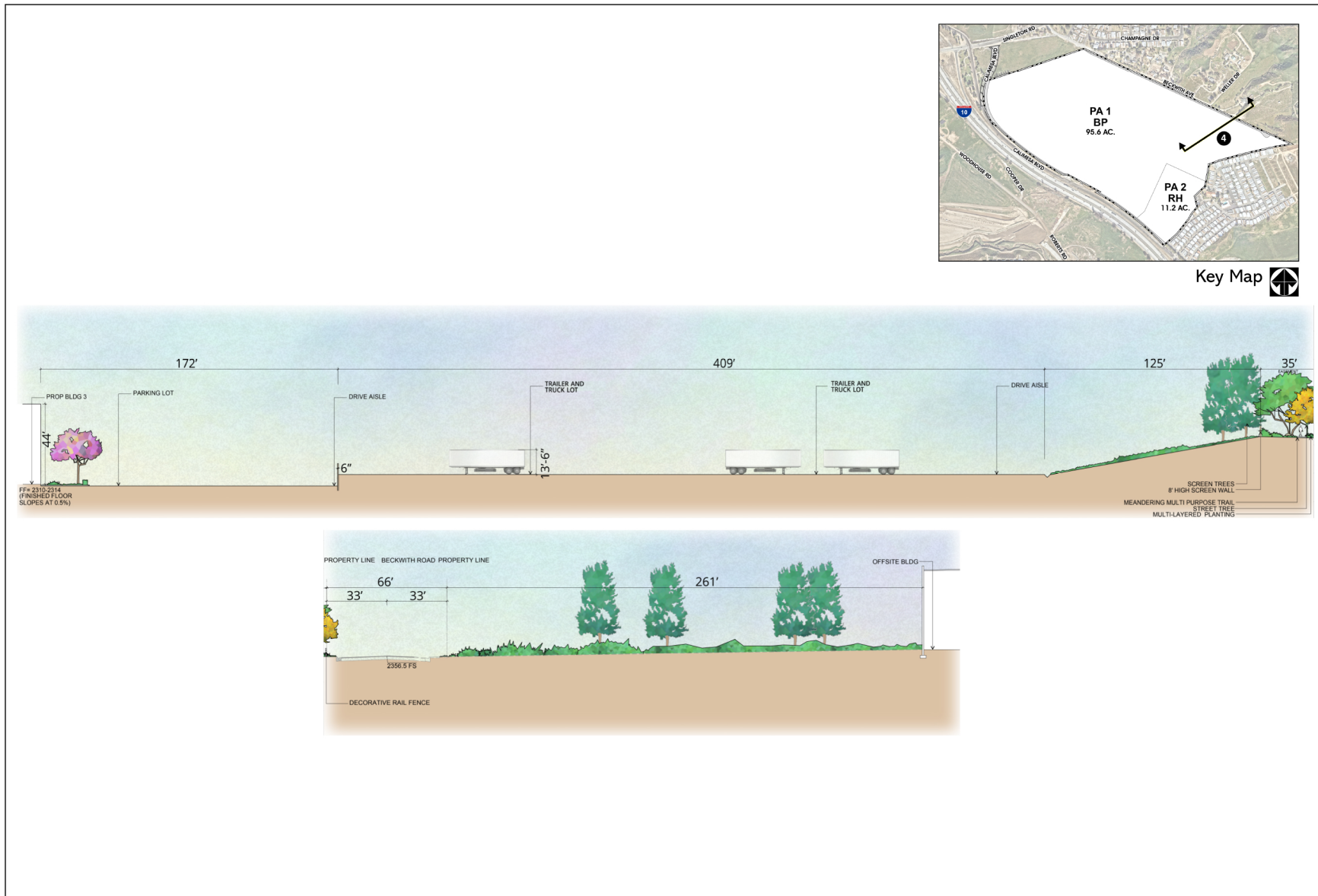


Source(s): Hunter Landscape (06-29-2023)

Figure 7-7



Conceptual Interface 3 – Business Park (PA 1) to Offsite Residence



Key Map

Source(s): Hunter Landscape (06-29-2023)

Figure 7-8

Conceptual Interface 4 – Business Park (PA 1) to Offsite Single-Family Home



C. Business Park and Offsite Medium Density Residential Interface Treatment

The eastern and southeastern portion of Planning Area 1 abuts the Rancho Calimesa Mobile Home Park. Nearest to the Specific Plan boundary abutting Planning Area 1 are the rear yards and access roads of the mobile park homes. Fences were installed by the mobile park home to separate property boundary. Two (2) conceptual interface exhibits are provided along the eastern and southeastern border of the Specific Plan Area to highlight the relationship between existing residences and the proposed trailer lot and business park buildings within Planning Area 1.

As depicted in Figure 7-9, *Conceptual Interface 5 – Business Park (PA 1) to Offsite Medium Density Residential*, 2:1 max landscaped slope provides a buffer between the proposed trailer lots in Planning Area 1 and the Rancho Calimesa Mobile Home Park. The interface represents a separation distance of approximately 185 feet between the existing residences and the proposed trailer lot. In addition, the trailer lot grade is 42 feet lower than Rancho Mobile Home Park at this point.

In Figure 7-10, *Conceptual Interface 6 – Business Park (PA 1) to Offsite Medium Density Residential*, the area between the identified residence and the proposed industrial building includes a 223 feet wide open space, and truck and trailer lot. The industrial building will be approximately 5 feet lower than the truck and trailer lot and a retaining wall is proposed to address the grade difference. The interface represents a separation distance of approximately 703 feet between the existing off-site mobile home and the proposed industrial building.

D. Business Park, High Density Residential, and Offsite Medium Density Residential Interface Treatment

Planning Area 2 abuts the Rancho Calimesa Mobile Home Park to the east and Planning Area 1 to the west. This interface section provides the relationship between Planning Area 1, Planning Area 2, and the Rancho Calimesa Mobile Home Park. Nearest to Planning Area 2 are the rear yards and access roads of the Rancho Calimesa Mobile Home Park. As depicted in Figure 7-11, *Conceptual Interface 7 – Business Park (PA 1) to Residential High (PA 2) and Offsite Medium Density Residential*, the offsite building and Planning Area 2 will be separated by a 35-foot-wide buffer, and the proposed business park building and Planning Area 2 will be separated by parking stalls and an access road, totaling up to 112 feet.

E. Business Park and Calimesa Boulevard Interface Treatment

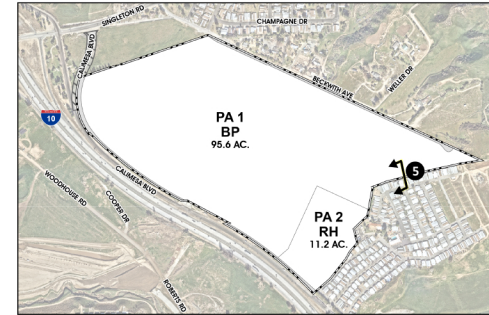
Calimesa Boulevard provides the south boundary to the Oak Valley North Specific Plan Area. Three (3) conceptual interface exhibits are provided along the southern border of Planning Area 1 to highlight the relationship between Calimesa Boulevard and the proposed business park buildings.

As depicted in Figure 7-12, *Conceptual Interface 8 – Business Park (PA 1) to Calimesa Boulevard – South*, the area between the business park building and Calimesa Boulevard includes standard vehicle parking, parking lot landscaping, and perimeter landscaping. The interface distance between Calimesa Boulevard and the business building is approximately 117 feet.

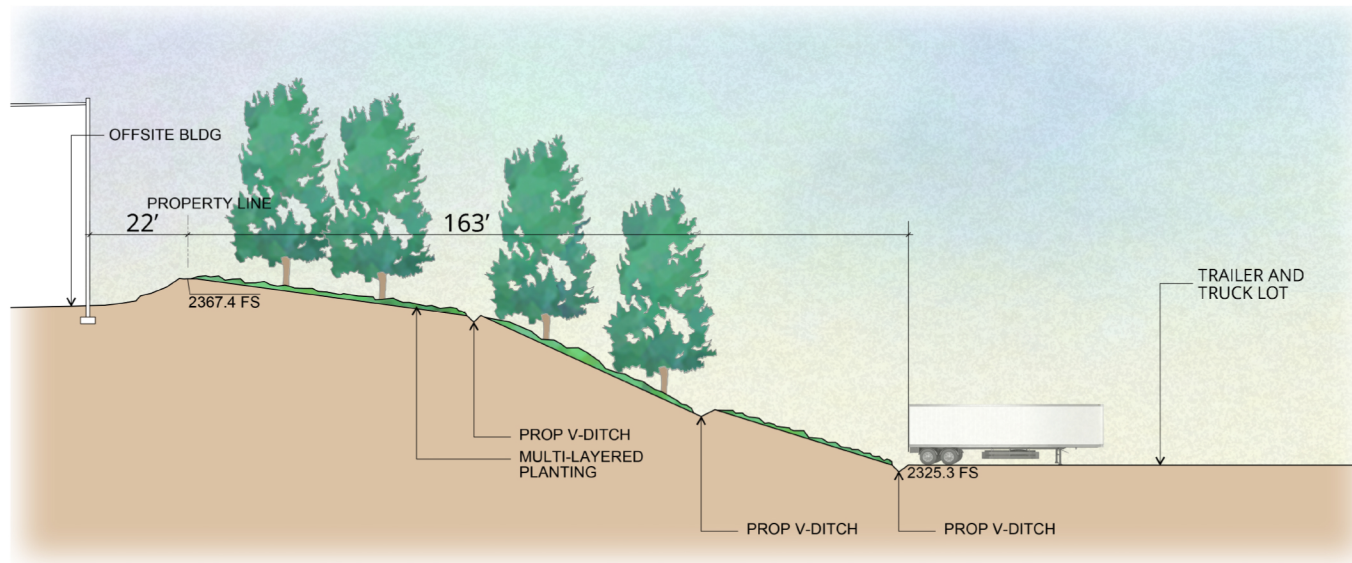
As depicted in Figure 7-13, *Conceptual Interface 9 – Business Park (PA 1) to Calimesa Boulevard – Central*, the area between the business park building and Calimesa Boulevard includes standard vehicle

parking, and perimeter landscaping. The interface distance between Calimesa Boulevard and the business park building is approximately 341 feet.

As depicted in Figure 7-14, *Conceptual Interface 10 – Business Park (PA 1) to Calimesa Boulevard – North*, the area between the business park building and Calimesa Boulevard includes standard vehicle parking, and perimeter landscaping. The interface distance between Calimesa Boulevard and the business park building is approximately 106 feet.

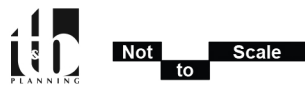


Key Map 

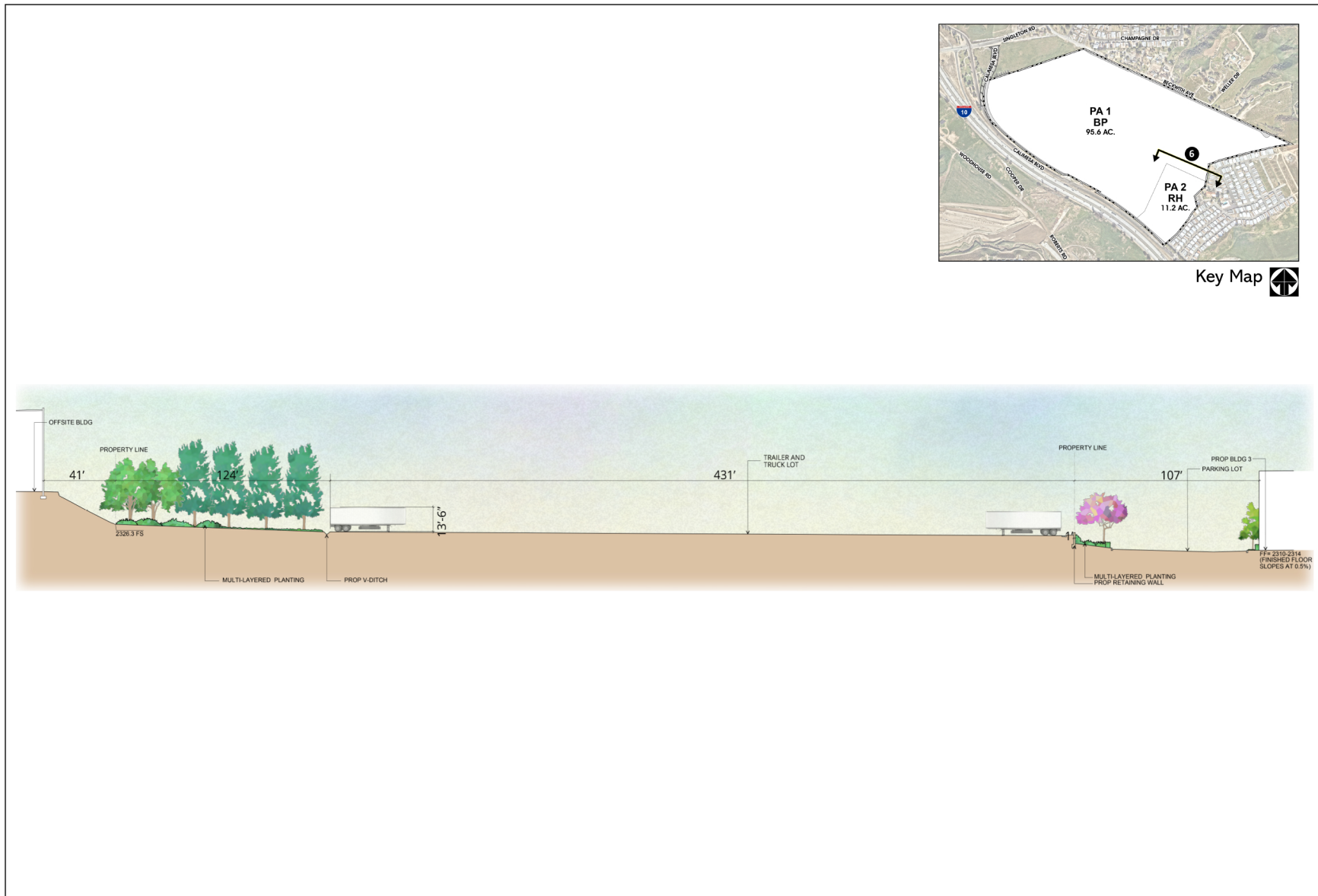


Source(s): Hunter Landscape (06-29-2023)

Figure 7-9



Conceptual Interface 5 – Business Park (PA 1) to Offsite Medium Density Residential

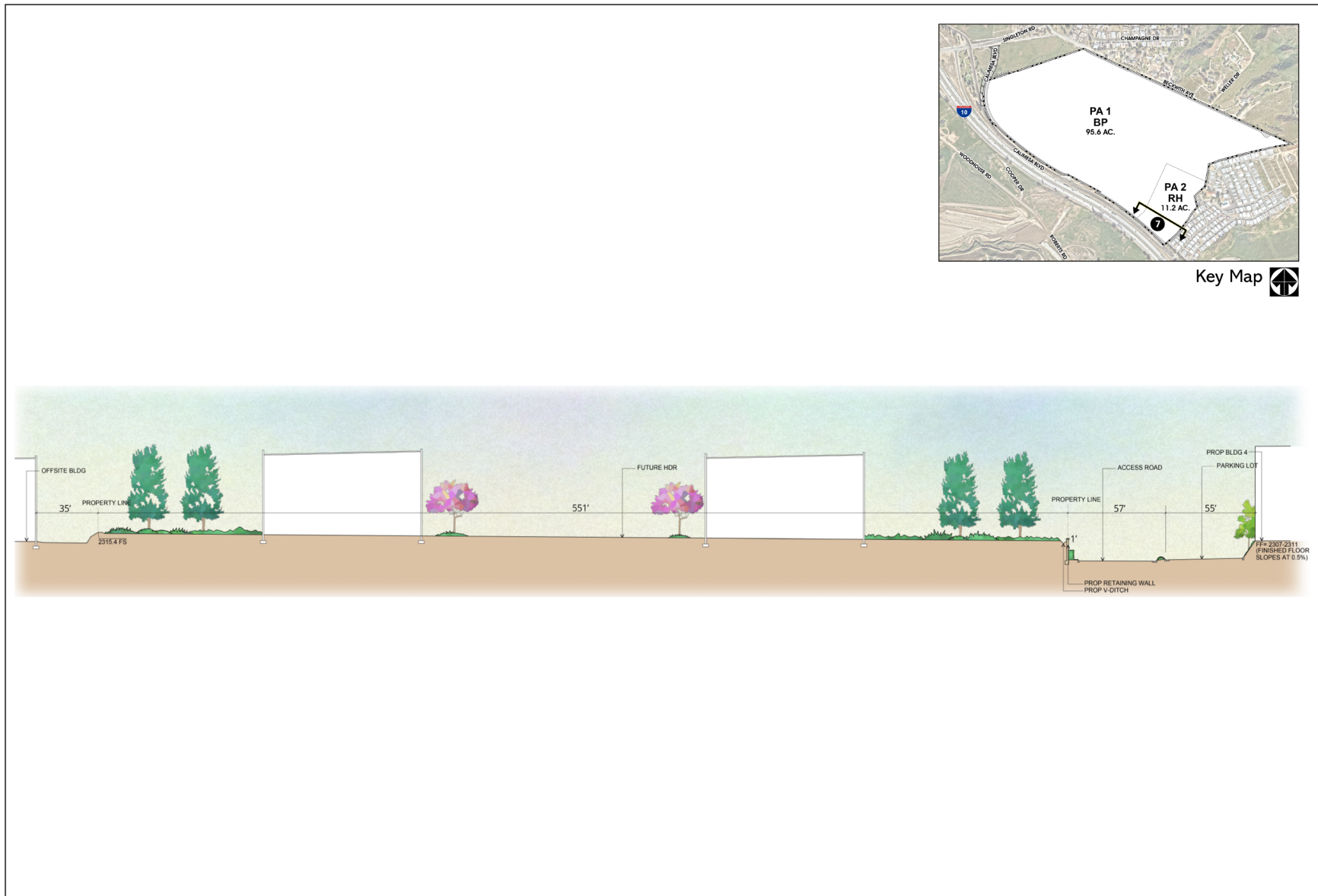


Source(s): Hunter Landscape (06-29-2023)

Figure 7-10



Conceptual Interface 6 – Business Park (PA 1) to Offsite Medium Density Residential



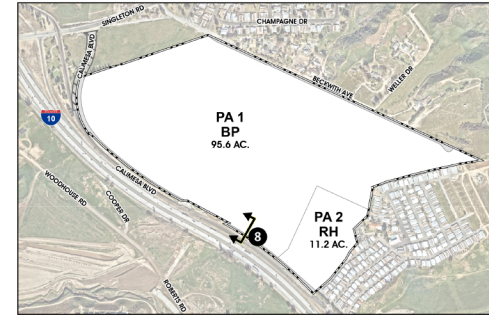
Source(s): Hunter Landscape (06-29-2023)

Figure 7-11

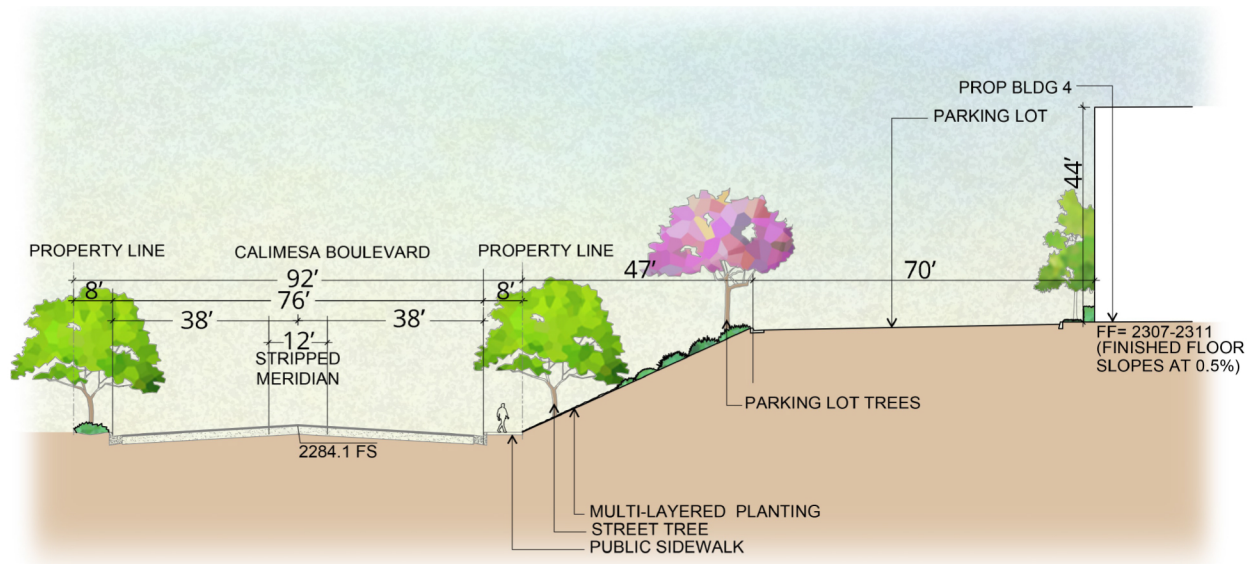


Not to Scale

Conceptual Interface 7 – Business Park (PA 1) to Residential High (PA 2) and Offsite Medium Density Residential



Key Map 



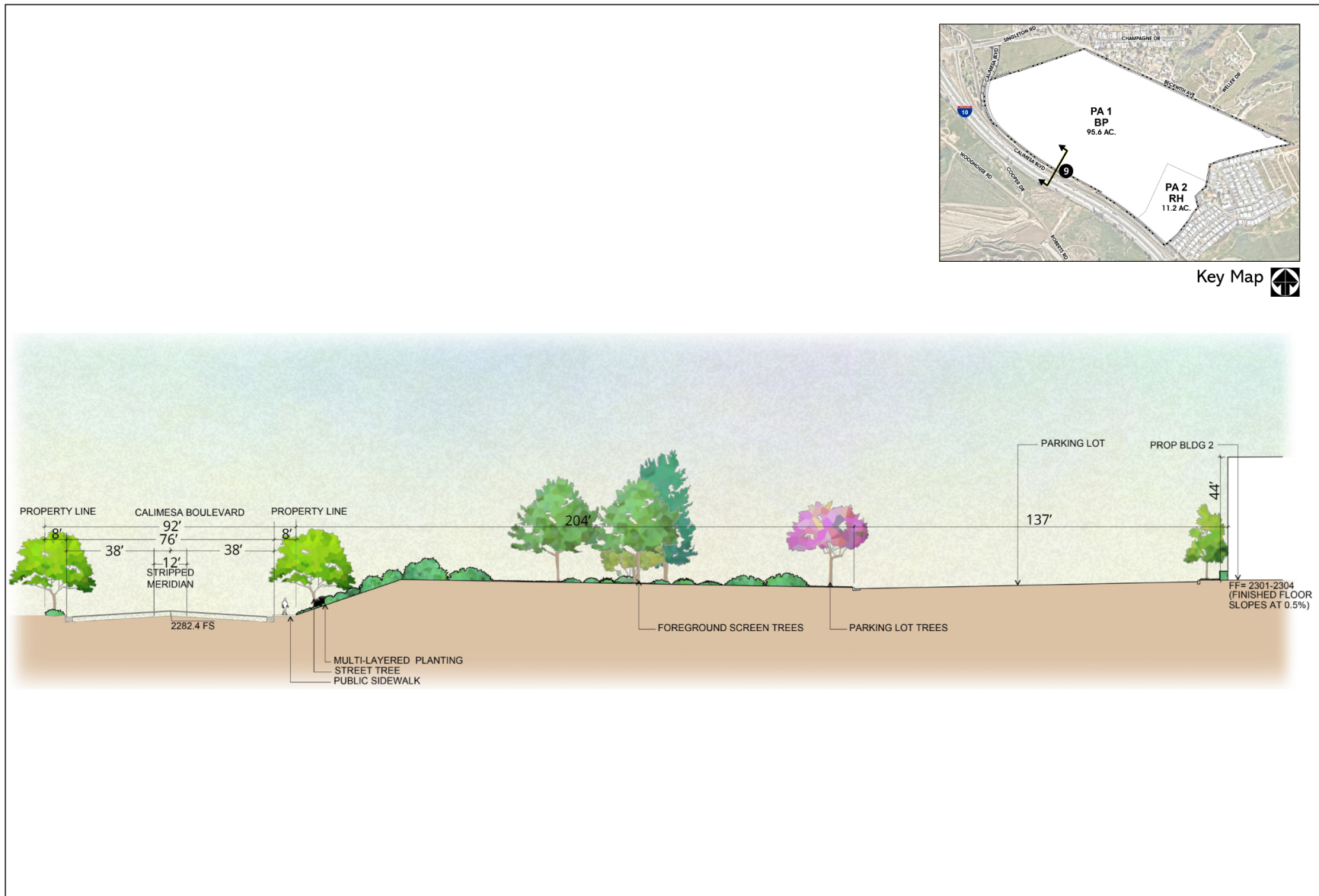
Source(s): Hunter Landscape (06-29-2023)

Figure 7-12



Not to Scale

Conceptual Interface 8 – Business Park (PA 1) to Interstate 10 – South



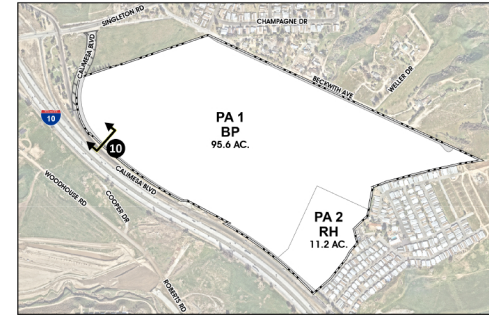
Source(s): Hunter Landscape (06-29-2023)

Figure 7-13

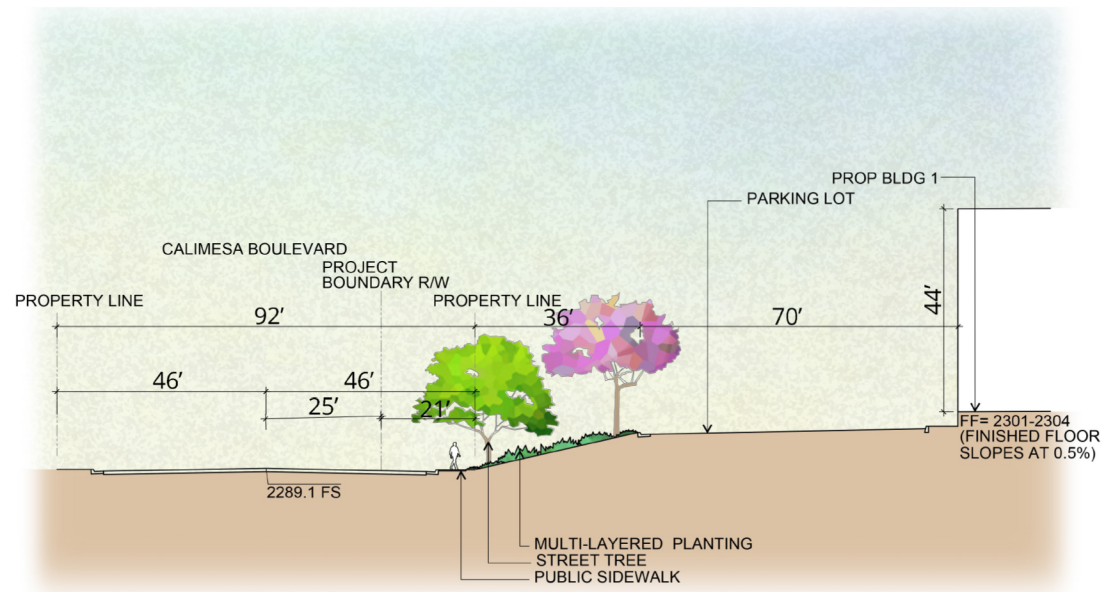


Not to Scale

Conceptual Interface 9 – Business Park(PA 1) to Interstate 10 – Central



Key Map



Source(s): Hunter Landscape (06-29-2023)

Figure 7-14



Not to Scale

Conceptual Interface 10 – Business Park (PA 1) to Interstate 10 – North

7.2.7 Entries and Monuments

The entry monuments within the Oak Valley North Specific Plan Area are designed to provide distinctive visual statements and emphasize the Specific Plan Area's aesthetic. All hardscape and landscape features at entry and monument locations shall provide adequate "line-of-sight" for motorists and shall comply with applicable City design standards and specifications. Monumentation shall not be located within the public street right-of-way.

The entry monument concepts described and illustrated on the following pages have been designed to provide a prominent reminder of the quality and distinctiveness of development within the Specific Plan Area and to complement and reinforce its general architectural and landscape theme. Implemented entry monuments should be flexible to respond to physical contexts and the needs and desires of specific tenants and may differ slightly from the concepts presented herein; however, all entry and corner treatments within the Specific Plan Area shall be consistent in theme and character. Refer to Figure 7-15, *Conceptual Monument Location*, for location of primary and tenant entry monuments and the freeway pylon sign.

A. Primary Entry Monument

The primary entry monument will be located at the western corner of the Oak Valley North Specific Plan Area. The conceptual design of the entry monument includes stacking different size rectangular geometries in dibond panels along with grey colored stones. Landscaping at the Primary Entry Monument will include shrubs and landcovers provided in Table 7-1. Figure 7-16, *Conceptual Monument Design*, conceptually illustrates the monument.

B. Tenant Entry Monument

The tenant entry monument will be located at the entrance of the access roads of the Oak Valley North Specific Plan Area. The conceptual design of the tenant monument includes stacking different size rectangular geometries in dibond panels along with a grey stone base. Figure 7-16, *Conceptual Monument Design*, conceptually illustrates the monuments.

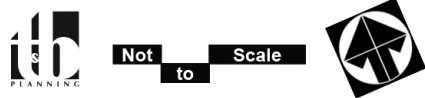
C. Freeway Pylon Sign

The freeway pylon sign will be located at the western portion of the Specific Plan Area abutting Calimesa Boulevard. The conceptual design of the freeway pylon includes a stone veneer base with tenant cabinets and City logo displayed visible from I-10. Figure 7-17, *Conceptual Freeway Pylon*, conceptually illustrates the pylon.

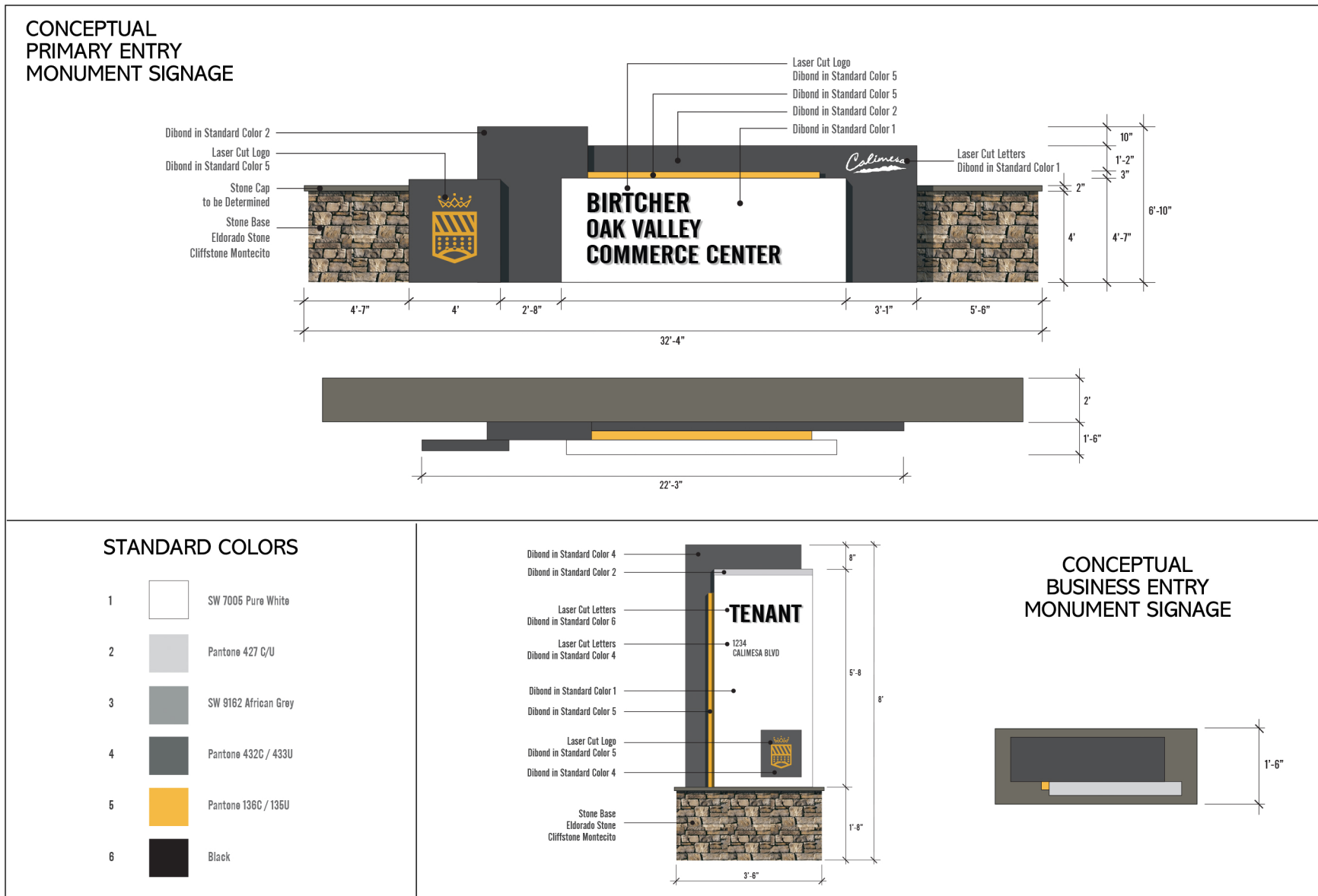


Source(s): HPA (02-27-2024)

Figure 7-15



Conceptual Monument Location



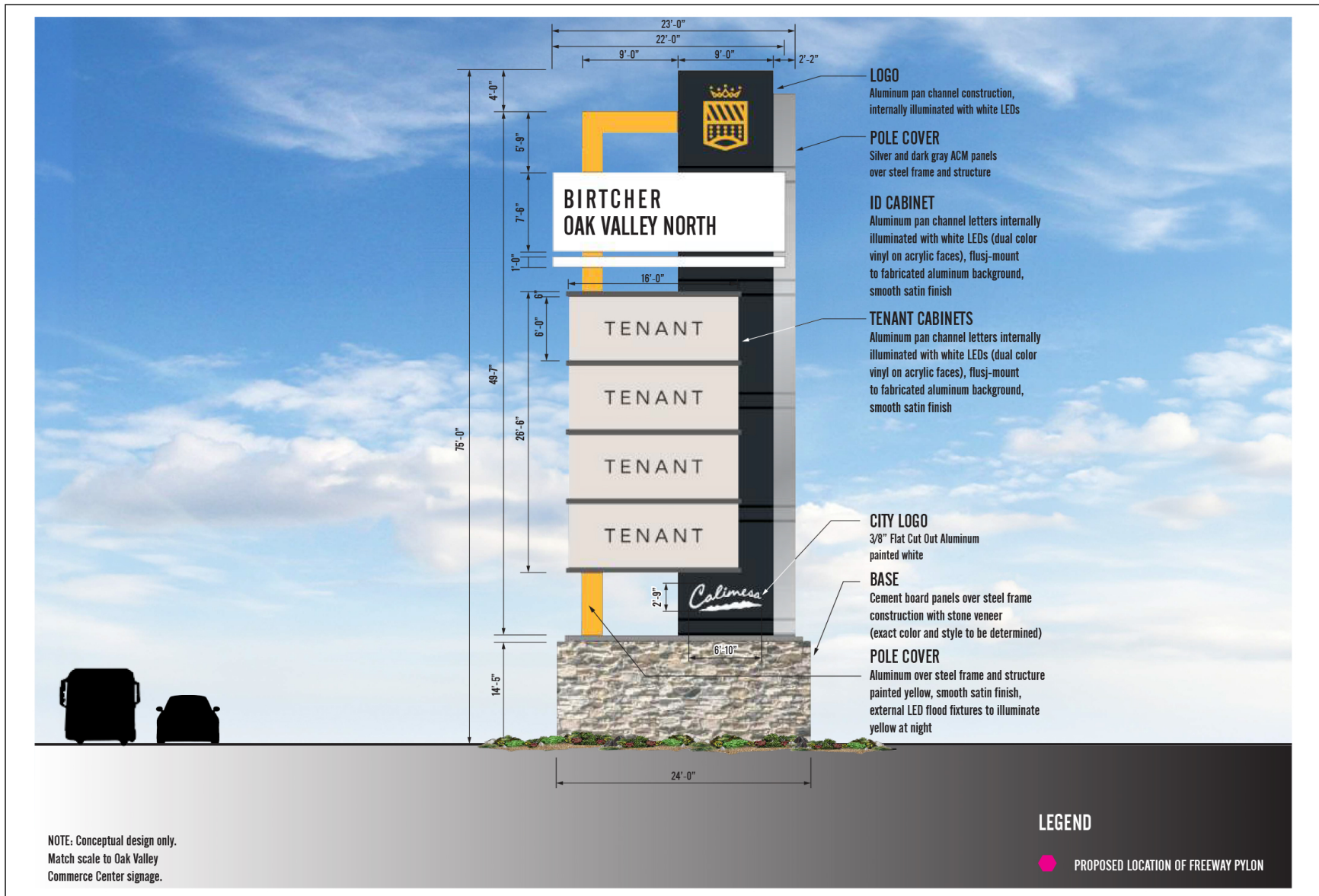
Source(s): HPA (06-23-2023)

Figure 7-16



Not to Scale

Conceptual Monument Design



Source(s): HPA (02-09-2024)

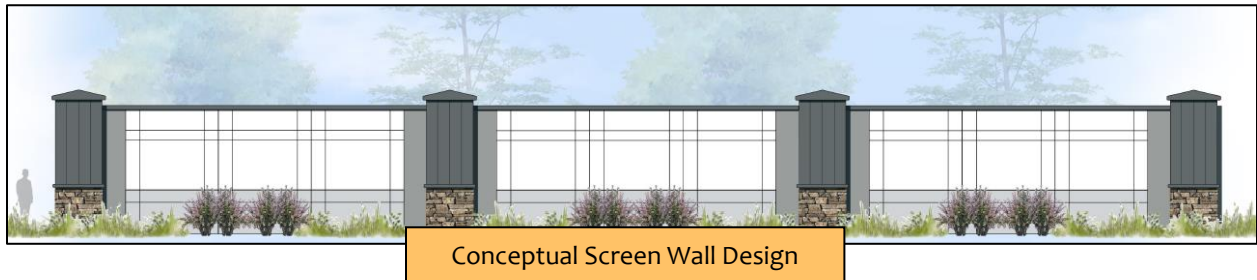
Figure 7-17

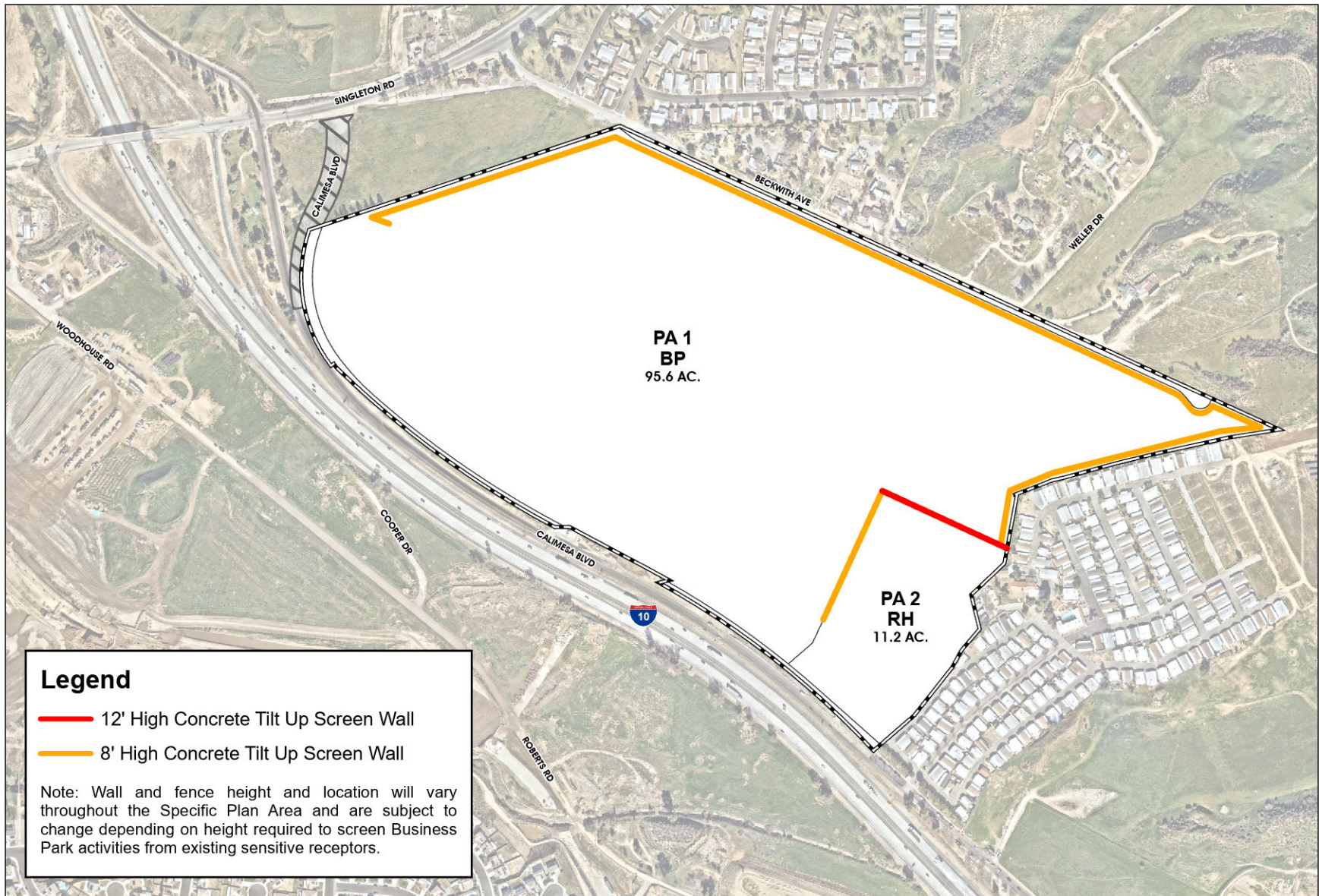


Conceptual Freeway Pylon

7.2.8 Wall and Fence Design

Walls and fences are necessary along the Specific Plan perimeters and interior to building sites to screen industrial activities from surrounding residential areas. As depicted in Figure 7-18, *Wall and Fence Plan*, 8-foot-high tilt up screen walls define much of the Specific Plan Area boundary, helping screen industrial activities and soften public view of the industrial buildings. 12-foot-high tilt up screen walls and tubular steel fencing placed around the border of Planning Areas 1 and 2 help screen business park activities from future building users of Planning Area 2. Perimeter screen walls and fences surrounding the truck and trailer storage lot shall have a minimum height of 14 feet to minimize direct views of trailers. Final placement locations and height of fences and walls will be determined as development plans are established and considered in association with the City of Calimesa's entitlement review process.





Source(s): ESRI, NearMap (2023), RCTLMA (2022)

Figure 7-18



Conceptual Wall and Fence Plan

CHAPTER 8 – IMPLEMENTATION PLAN

8.1 SEVERABILITY

The Oak Valley North Specific Plan (“Specific Plan”) enables the City of Calimesa to facilitate the processing and approval of development plans and implementing permits necessary to build Oak Valley North. If any regulation, condition, program, or portions shall be deemed separate, distinct, and independent provisions, the invalidity of such portions or provisions shall not affect the validity and enforceability of the remaining provisions contained herein.

8.2 APPLICABILITY

Approval of the Specific Plan represents acceptance by the City of Calimesa City Council of a general framework for developing the Oak Valley North Specific Plan Area. Part of that framework establishes specific development standards that constitute the zoning regulations for the Specific Plan (refer to Chapter 5, *Development Regulations* and Appendix B, *Oak Valley North Zoning Ordinance*). The provisions contained herein are intended to regulate development within the Specific Plan.

Development within the Specific Plan Area shall be implemented through the City’s approval of Subdivision Maps and the Development Plan Review, Conditional Use Permits, and Variance application processes established in the City’s Municipal Code. The implementation process described herein provides the mechanisms for the review and approval of development projects within the Oak Valley North Specific Plan Area.

8.3 INTERPRETATION

Unless otherwise provided, any ambiguity concerning the content or application of the Specific Plan shall be resolved by the City’s Planning Director, or his/her designee, in a manner consistent with the goals, policies, purpose, and intent established in the Specific Plan. The Planning Director may elect to forward any item or matter to the Planning Commission for final interpretation or determination.

8.4 DEVELOPMENT REVIEW PROCESS

8.4.1 Subdivision Map

Approval of subdivision maps within the Specific Plan Area may occur concurrently with or subsequently to adoption of the Specific Plan. All tentative and final subdivision maps shall be reviewed and approved pursuant to the applicable provisions of the City of Calimesa and consistent with the applicable provisions established within the Land Use, Infrastructure, Design Guidelines, Landscaping Guidelines, and Development Regulations chapters of this Specific Plan.

8.4.2 Development Plan Review

All development within this Specific Plan shall be subject to the Development Plan Review Process as represented in Calimesa Municipal Code Chapter 18.90 (per Ord. 381 § 11, 2021). The Specific Plan includes design and landscape guidelines that are contained in Chapters 6 and 7, which shall be considered when reviewing development projects within the Specific Plan area during Development Plan Review. For design items which these guidelines do not address, the applicable guidelines

contained within the Calimesa Municipal Code shall apply. The Specific Plan design guidelines provided for in Chapters 6 and 7 are intended to be flexible in nature while establishing rudimentary evaluation criteria for City review of development projects during the Design Review process.

8.4.3 Conditional Use Permits

Uses specified as conditionally permitted uses within Chapter 5, *Development Regulations*, of this Specific Plan or within Calimesa Municipal Code Chapter 18.30 (per Ord. 381 § 11, 2021) shall be reviewed and approved by the City pursuant to the requirements of the City's Municipal Code, Chapter 18.15.050, "Conditional Use Permits."

8.4.4 Variances

Variances to the development regulations contained in Chapter 5, *Development Regulations*, of this Specific Plan or within Calimesa Municipal Code Chapter 18.30 (per Ord. 381 § 11, 2021) with respect to the site area, setback dimensions, building heights, distance between buildings, landscape percentage and off-street parking and loading shall be considered and reviewed pursuant to the requirements of the City of Calimesa's Municipal Code, Chapter 18.15.140, "Variances."

8.5 AMENDMENTS TO THE SPECIFIC PLAN

8.5.1 Minor Adjustments and Modifications

The following constitute minor adjustments and modifications to the Specific Plan, which are subject to Planning Director approval and do not require a Specific Plan Amendment:

1. Minor adjustments of up to 10% of the development standards and requirements such as setbacks, building heights, etc. that are specified in Chapter 5, *Development Regulations*, of this Specific Plan.
2. Adjustments of Planning Area boundaries or acreage provided total acreage of planning area(s) do not change by more than 10%.
3. Minor changes to the street cross-section design, provided that the changes are deemed acceptable by the City's Traffic Engineer.
4. Minor modifications to the conceptual grading, water, sewer and drainage plans.
5. Addition of new information or data to the Specific Plan maps, exhibits, and/or text which does not change the effect of any concepts or regulations.
6. Other modifications of a similar nature to those listed above, which are deemed minor by the Planning Director, are in keeping with the purpose and intent of the approved Specific Plan and are in conformance with the General Plan.

The Planning Director or his/her designee shall have the final decision on the threshold of what is considered as minor adjustments and modifications to the Specific Plan. If the Planning Director deemed the modification as major, a formal Specific Plan Amendment is required. Section 8.5.2, *Specific Plan Amendments*, provides guidelines for amendment to the Specific Plan.

8.5.2 Specific Plan Amendments

Except as represented in Specific Plan Section 8.5.1, Minor Adjustments and Modifications, modifications to this Specific Plan document shall be deemed to require a formal Specific Plan Amendment. This document was prepared pursuant to California Government § 65450, et. Amendments shall be processed in accordance with the applicable requirements of the law, which include § 65450, et seq. of the California Government Code.

Formal Specific Plan Amendments shall be subject to the review and approval of the City Council. The Planning Commission should first hear and consider all applications for formal Specific Plan Amendments and provide a recommendation to the City Council. As required by the California Government Code, all government agencies significantly affected by the proposed Amendments shall be notified of the proposed action prior to the approval. In addition, and as required by CEQA, formal Specific Plan Amendments shall be appropriately reviewed in accordance with the State CEQA Guidelines, with the City of Calimesa serving as the CEQA Lead Agency.

Any formal Specific Plan Amendments initiated by an applicant require preliminary review by the Planning Director, filing of an official application and required materials supporting the Amendment, submittal of a fee deposit, Planning Commission review and recommendations, and City Council review and final decision.

Amendments also may be initiated by the City Council or Planning Commission by majority vote. All Planning Commission requested amendments shall be submitted and considered by the City Council and accepted for processing by a majority vote. City staff may initiate an Amendment by submitting the requested Amendment to the Planning Commission for a vote. Only amendments accepted by a majority vote of the Planning Commission shall be submitted to the City Council for consideration; however, the Applicant shall have the right to appeal to City Council if the Planning Commission fails to approve the Amendment.

In considering approval or disapproval of formal Specific Plan Amendments, the City Council shall find that the request is:

- Consistent with the goals, policies, and objectives of the Specific Plan.
- Compatible with surrounding land uses with respect to use, development standards, density, or issues of health, public safety, and general welfare.
- Consistent with the overall design character and general structure of Oak Valley North as set forth in Chapter 6, *Design Guidelines*, and Chapter 7, *Landscape Guidelines*, of this Specific Plan.

8.6 PROJECT FINANCING

Various methods are available to finance the required improvements for the Specific Plan. A detailed financing plan shall be established by the developer to implement the improvements outlined in the Specific Plan. The appropriate mechanism for implementing each improvement shall be tied to the construction schedule, design criteria, mitigation measures, and established conditions of approval for implementing the project. The following is a summary of potential methods that could be used to finance the improvements proposed within the Specific Plan Area.

8.6.1 Developer Funding

It is reasonable for developers, builders, and property owners to provide all or most of the funding for certain onsite and offsite facilities and improvements that are directly associated with phases of development to secure development rights. Onsite local streets, utility connections to existing service lines, and drainage facilities are examples of facilities and improvements typically required to run concurrent with development and are often funded by the developers, builders, or the property owners.

8.6.2 Special Assessment Districts

A Special Assessment District is a benefit district that requires approval by the property owners to encompass a defined geographic area. Property owners within the defined geographic area agree to pay an additional assessment to fund specific improvements within that district. The City or other agencies may form Special Assessment Districts under one of several statutory acts to construct public improvements such as streets, storm drains, sidewalks, streetlight, sewer facilities, and other similar capital facilities. Special Assessment Districts can also issue bonds to finance the improvements listed in this section and levy a special assessment to pay debt service on those bonds.

8.6.3 Landscape and Lighting Maintenance District (LLMD)

A Landscape and Lighting Maintenance District (LLMD) may be used for maintenance and servicing of landscaping and lighting through annual assessments within the Specific Plan boundaries. LLMD's can also provide maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities.

8.6.4 Community Facilities Districts (CFD)

The Mello-Roos Community Facilities Act of 1982 allows the creation of special districts authorized to levy a special tax and issue tax exempt bonds to finance public facilities and services. A Community Facilities District (CFD) may be initiated by the legislative body or by property owner petition and must be approved by a 2/3 majority vote. Mello-Roos levies may be used for the residential land uses proposed within Planning Area 2 to fund improvements of general benefits, such as fire and police facilities, libraries, and parks, as well as improvements that benefit specific properties. The provision also allows the reallocation of cost burdens to alleviate untenable burdens on specific properties.

8.6.5 Landscape Security/Bonding

Landscape security and bonding provides guarantees that a landscape contractor will complete projects according to state-mandated licensing guidelines and protect the developers financially. A landscape contractor contracts, maintains, repairs, installs, or subcontracts the development of landscape systems and facilities for public and private gardens or functionally improve the grounds within or surrounding a structure or a tract or plot of land. The landscape security and bonding provide protection to the developer in the event that property is damaged when landscaping is being installed.

8.6.6 Covenants, Conditions, and Restrictions (CC&Rs)

Covenants, conditions, and restrictions (CC&Rs) indicate the existence or future existence of limitations associated with the use of the land and provide a legal description of the development.

CC&Rs describe property rights and obligations of the membership, such as (i) restrictions on the use of property, (ii) member and association maintenance duties, (iii) enforcement powers, (iv) lender protection provisions, (v) assessments obligations and lien/collection rights, (vi) duty to insure, and (vii) dispute resolution and attorneys’ fees provisions. CC&Rs may apply if high density residential is developed within Planning Area 2.

8.6.7 Market Feasibility Study

Market feasibility study is a document that helps the developer assess the likelihood of success, and the studies may provide an analysis of the industry and its competitors. A market feasibility analysis can help the developer determine the potential issues and returns of the project and steps that should be considered before moving the proposed development within the Specific Plan area forward.

8.6.8 Other Funding Sources

Other funding sources may be available to finance the various improvements associated with this Plan. Other sources include federal, state, regional, or local government grants, public agency construction, private developer coalitions, or various types of bonds not previously identified.

8.7 MAINTENANCE PLAN

The public and private improvements to be constructed within the Specific Plan Area shall be maintained through a combination of public and private entities as described in Table 8-1, *Finance and Maintenance Plan*. Table 8-1 provides a list of maintenance entity options that may fund and/or maintain facilities within the Specific Plan. A Property Owner Associations (POA) shall be established for the maintenance of common area landscape improvements and private roadways within areas of the Specific Plan. For areas in public ownership (such as public roadway ROWs), municipal maintenance districts may fund the maintenance of these areas.

Table 8-1 Finance and Maintenance Plan

Facility	Responsible for Construction	Responsible for Financing	Responsible for Ongoing Maintenance and Repairs
Public Roadways (Calimesa Blvd. and Beckwith Ave.)			
• Curb-to-Curb Improvements	Master Developer	TUMF + Developer Fee Credits or Master Developer	City of Calimesa, Property Owners Association, and/or CFD/LLMD
• Parkways within Public Right-of-Way (ROW) or LLMD	Master Developer	TUMF + Developer Fee Credits or Master Developer	City of Calimesa and/or CFD/LLMD
• Development Edges and Trails	Master Developer	Developer Fee Credits or Master Developer	City of Calimesa and/or CFD/LLMD
• Landscape Areas Outside of Public ROW/LLMD	Master Developer or Builder	Master Developer or Builder	Property Owners Association
Off-Street Parking Areas	Master Developer or Builder	Master Developer or Builder	Property Owner or Occupant
Traffic Control Signs – in the Public ROW/LLMD	Master Developer	TUMF + Developer Fee Credits or Master Developer	City of Calimesa and/or CFD/LLMD

Facility	Responsible for Construction	Responsible for Financing	Responsible for Ongoing Maintenance and Repairs
Traffic Control Signs – not in the Public ROW/LLMD	Master Developer	Master Developer	Property Owners Association
Streetlights – in the Public ROW	Master Developer	TUMF + Developer Fee Credits or Master Developer	City of Calimesa and/or CFD/LLMD
Streetlights – not in the Public ROW	Master Developer	Master Developer or Builder	Property Owners Association
Public Water, Sewer, and Storm Drain Improvements within Public ROW (excluding laterals)	Master Developer and Utility Provider	Master Developer	City of Calimesa/YVWD and/or CFD/LLMD
On-site Landscaping and Irrigation	Master Developer or Builder	Master Developer or Builder	Property Owners Association and/or Property Owner or Occupant
Common Open Space	Master Developer	Master Developer	Property Owners Association
Walls and Fences	Master Developer	Master Developer	Property Owners Association and/or Property Owner or Occupant
Corner and Entry Monuments	Master Developer	Master Developer	Property Owners Association
Tenant Signage	Builder	Builder	Property Owners Association and/or Property Owners or Occupant
Off-Street Lighting	Master Developer or Builder	Master Developer or Builder	Property Owners Association and/or Property Owners or Occupant
Offsite Stormwater Drainage/Water Quality Facilities – within the Public ROW/LLMD	Master Developer and Utility Provider	Master Developer	City of Calimesa and/or CFD/LLMD
Onsite Stormwater Drainage/Water Quality Facilities (Swales, Basins, Biotreatment Filers, etc.)	Master Developer	Master Developer	Property Owner Associations
Fiber Optic Communication System in the Public ROW	Master Developer, Builder, or Utility Provider	Master Developer or Builder	Utility Provider
Emergency Access Gate	Master Developer or Builder	Master Developer	Property Owners Association

APPENDIX A – GENERAL PLAN CONSISTENCY

A.1 OVERVIEW

California Government Code (Title 7, Division 1, Chapter 3, Article 8, §§ 65450 through 65457) allows local government to adopt and administer Specific Plans as tools to implement their general plan; however, Specific Plans must demonstrate consistency with the goals and policies set forth in the local general plan. Appendix A provides a summary discussion to demonstrate that the Oak Valley North Specific Plan (“Specific Plan”) is consistent with, and results in the implementation of, applicable primary goals and policies of the City of Calimesa General Plan.

A.2 GENERAL PLAN ELEMENTS

A.2.1 Land Use

- **Policy LU-14:** *Discourage land use conflicts and incompatibilities by providing buffers to include, but not limited to, landscaping, setbacks, walls/fencing, site design, architectural features, density/intensity/operation reduction, or shielding of lighting between incompatible land uses and new development.*
Consistency: The Specific Plan will include development standards and an open space buffer overlay intended to discourage land use conflicts and incompatibilities with existing surrounding land uses as well as between varying development types within the Specific Plan boundary.
- **Policy LU-18:** *New development should be contiguous or close to existing development and in locations where infrastructure, public facilities, and services are available when needed.*
Consistency: The Specific Plan is adjacent or near existing infrastructure, public facilities, and services necessary to serve the proposed development.
- **Policy LU-19:** *Locate commercial and industrial development in areas where street rights-of-way and capacity are available, as well as sufficient infrastructure and public services.*
Consistency: The business park development proposed for the Specific Plan is adjacent to existing street rights-of-way that will ultimately have sufficient infrastructure capacity to serve the proposed development, subject to certain identified improvements being completed in association with the project.
- **Policy LU-21:** *Proposed zone changes and general plan amendments shall respect the logical extension of land uses.*
Consistency: As represented in Chapters 3 and 5, the Specific Plan proposes business park and residential land uses consistent with existing or proposed uses adjacent to and in the general vicinity of the subject site.
- **Policy LU-22:** *Encourage the development of commercial and industrial centers to expand the employment and fiscal base of Calimesa.*
Consistency: The Specific Plan provides opportunities for new or the expansion of existing business park businesses that will result in employment opportunities and expansion of the city’s fiscal base.

A.2.2 Transportation and Mobility

- **Policy TM-1:** *Provide for roadways in accordance with the Circulation Plan.*
Consistency: The Specific Plan will provide certain road improvements to the abutting streets (Calimesa Boulevard and Beckwith Avenue) that will meet, if not exceed, the City's Circulation Plan requirements.
- **Policy TM-3:** *Strive to construct streets in accordance with the City's standard street classification.*
Consistency: The Specific Plan will provide certain road improvements to abutting streets (Calimesa Boulevard and Beckwith Avenue) in accordance with the City's standard street classification requirements.
- **Policy TM-4:** *Maintain and rehabilitate roadways to preserve and improve the quality of city streets and throughfares that promote access and mobility between residential neighborhoods, employment centers, shopping, and health services.*
Consistency: The Specific Plan will provide certain road improvements to the abutting streets (Calimesa Boulevard and Beckwith Avenue) that will preserve and improve the quality of these streets in proximity to the site.
- **Policy TM-5:** *Design each roadway with sufficient width to accommodate projected traffic at acceptable service levels, based on the intensity of planned land uses.*
Consistency: The Specific Plan will provide certain road improvements to the abutting streets (Calimesa Boulevard and Beckwith Avenue) that will meet, if not exceed, the City's Circulation Plan requirements, as well as be developed in accordance with the City's standard street classification requirements.
- **Policy TM-6:** *Access points must be located a sufficient distance away from major intersections to allow for safe, efficient operation.*
Consistency: Access points for the proposed future development will be designed to meet all applicable City of Calimesa standards and requirements, including being located a sufficient distance from major intersections.
- **Policy TM-9:** *The City will include the public in all aspects of transportation planning and its development process.*
Consistency: The City of Calimesa's review process for considering the Specific Plan and future development within the project area includes opportunity for public review and comment.
- **Policy TM-11:** *Reduce vehicles trips through design and changes in operations.*
Consistency: The Specific Plan will improve job/housing balance by providing an employment opportunity in proximity to existing and proposed residential development. This will allow residents to work locally, rather than commuting outside of the Calimesa area. Job/housing balance will help reduce vehicle trips and miles of travel.

A.2.3 Infrastructure and Public Services

- **Policy IPS-1:** *The City will work with water providers and developers to ensure that water supply and delivery systems are capable of meeting normal and emergency needs.*
Consistency: As described in Chapter 4, *Infrastructure Plan*, the water supply system will have sufficient capacity to meet normal and emergency water needs.

- **Policy IPS-2:** *Groundwater supplies should be protected from septic system contamination. The city will encourage existing development to connect to the public sewer system.*

Consistency: Development within the Specific Plan will connect to the public sewer system, protecting groundwater supplies from septic system contamination.

- **Policy IPS-14:** *Fire management plans shall be required for all new development in areas subject to wildfire.*

Consistency: Development within the Specific Plan will include wildfire management plans to minimize risk from wildfires.

A.2.4 Housing

- **Policy H-1.4:** *Participate in state and federal housing programs designed to improve and increase the City's housing stock.*

Consistency: The Specific Plan proposes the future development of up to 223 multi-family residential housing units, which will improve and increase the City's housing stock.

- **Policy H-3.1:** *Encourage a variety of housing types and densities, each appropriately located with reference to topography, traffic circulation, community facilities, and aesthetic considerations.*

Consistency: The Specific Plan proposes future development of up to 223 high-density multi-family residential units. This housing type is complimentary to the various existing and proposed housing densities in proximity to the project site. The Specific Plan takes into consideration the current environment, including potential impacts to traffic and community facilities, as well as aesthetics that provide for an overall project design that is complimentary to the area.

- **Policy H-3.2:** *Encourage development of a variety of housing types affordable to households at all economic levels, including townhouses, apartment, single-family dwellings, and manufactured homes.*

Consistency: The Specific Plan proposes the development of up to 223 high-density multi-family residential apartment homes that may include workforce/affordable housing units.

A.2.5 Resource Management

- **Policy RM-1:** *Development shall be prohibited in areas containing sensitive biological resources and habitats, cultural resources, groundwater recharge areas, or prominent ridgelines, unless adequate protection and/or mitigation is provided.*

Consistency: The Specific Plan area does not include any sensitive biological resources and habitats, cultural resources, groundwater recharge areas, or prominent ridgelines.

- **Policy RM-4:** *Require the practice of soil management techniques to reduce erosion, sedimentation, and other soil-related problems.*

Consistency: Development within the Specific Plan will implement all soil management techniques necessary to minimize erosion, sedimentation, or any other soil-related issues during site grading activities.

- **Policy RM-14:** *Encourage the planting of native tree species and drought-tolerant vegetation. Allow new development to remove only the minimum natural vegetation and require the revegetation of graded areas with native plant species.*

Consistency: The Specific Plan provides for future landscaping improvements to include the planting of drought-tolerant vegetation, as well as the use of native plant species whenever possible and appropriate to do so.

- **Policy RM-16:** *Identify, protect, and preserve the historical and cultural resources of the City.*

Consistency: The project EIR has been prepared to assess and, if appropriate, mitigate project impacts upon historic, archaeological, and paleontological resources with the specific plan boundary.

A.2.6 Safety

- **Policy SAF-1:** *Discourage development near areas susceptible of potential seismic or geological hazards.*

Consistency: A geological reconnaissance has been conducted for the property. That study revealed that there are no active or inactive faults crossing the property and that the property is suitable for development.

- **Policy SAF-7:** *Land uses involved in the production, storage, transportation, handling, or disposal of hazardous materials shall be located a safe distance from land uses that may be adversely impacted by such activities.*

Consistency: Development within the Specific Plan shall comply with regulations and guidelines relating to hazardous material exposure/contamination.

A.2.7 Noise

- **Policy N-1:** *Future development that could increase ambient noise levels shall be required to mitigate the anticipated noise increase to the extent possible.*

Consistency: Development and operations within the Specific Plan project boundary will be required to implement all noise mitigation provisions established in the project EIR.

- **Policy N-4:** *Encourage noise-tolerant land uses such as commercial or industrial development to locate in areas already committed to land uses that are noise producing.*

Consistency: The subject site includes properties zoned business park. Additionally, properties to the west, across Interstate 10, are also designated for business park and commercial development. Development and operations within the Specific Plan project boundary will be required to implement all noise mitigation provisions established in the project EIR.

- **Policy N-18:** *The City encourages good acoustical design in new construction.*

Consistency: Development and operations within the Specific Plan project boundary shall implement all noise mitigation provisions established in the project EIR.

- **Policy N-19:** *Natural buffers, setbacks, or other noise attenuation shall be established between freeways and urban arterial roadways and adjoining noise-sensitive areas.*

Consistency: The Specific Plan proposes to utilize buffers, landscaping, and walls for noise-attenuation between non-residential and sensitive receptor land uses. Though these improvements are intended to reduce noise levels between the Specific Plan and surrounding residential uses, it may also help attenuate noise generated from neighboring Interstate 10.

- **Policy N-27:** *Ensure compatibility between industrial and commercial development and adjacent land uses. To achieve compatibility, industrial and commercial development projects may be required to include noise mitigation measures to avoid or minimize project impacts on adjacent uses.*
Consistency: The Specific Plan proposes to utilize buffers, landscaping, walls, and building orientation for noise-attenuation between non-residential and sensitive receptor land uses.
- **Policy N-28:** *Require that loading docks/delivery areas of commercial or industrial land uses and similar noise sources be designed to minimize potential noise impacts on adjacent noise-sensitive land uses.*
Consistency: The Specific Plan includes development standards that limit the establishment of loading docks/delivery areas in proximity to sensitive receptor land uses.
- **Policy N-31:** *Ensure that construction activities are regulated to establish hours of operation in order to prevent and/or mitigate the generation of excessive or adverse noise impacts on surrounding areas.*
Consistency: Construction activities associated with the Specific Plan will be required to comply with all applicable City of Calimesa noise standards and any mitigation measures set forth in the project EIR.
- **Policy N-32:** *Require that all construction equipment be kept properly tuned and use noise reduction features that are no less effective than those originally installed by the manufacturer.*
Consistency: Construction activities within the Specific Plan will be required to comply with all applicable City of Calimesa noise standards and any mitigation measures set forth in the project EIR.

A.2.8 Air Quality

- **Policy AQ-12:** *Encourage use of drought-resistance vegetation in new development projects.*
Consistency: The landscape plan provided for the Specific Plan includes drought tolerant plants. Irrigation will be moisture sensitive to limit irrigation during times of heavy rain.
- **Policy AQ-16:** *Reduce fugitive dust emissions from construction activities.*
Consistency: Development in the Oak Valley North Specific Plan will comply with the policies outlined in the City of Calimesa General Plan, including the implementation of fugitive dust reduction techniques, support of efficient street cleaning equipment, maintenance of the natural topography, and compliance with the South Coast Air Quality Management District.

A.2.9 Sustainability

- **Policy SUS-13:** *Provide for the development of retail, commercial, and light industrial and service uses in close proximity to transits, schools, and housing.*
Consistency: The Oak Valley North Specific Plan proposes the future development of business park and residential development in proximity to existing arterials and Interstate 10, providing for ease of access and promotes the creation of jobs in close proximity to existing and future housing.
- **Policy SUS-20:** *Promote and support green building techniques and practices to reduce energy use.*
Consistency: The project EIR provides mitigation measures that encourage techniques and practices to reduce energy consumption. Refer to the Oak Valley North Specific Plan EIR for a detailed analysis of the mitigation measures to properties associated with the implementation of the Specific Plan.

SPECIFIC PLAN AREA NO. X

OAK VALLEY NORTH ZONING ORDINANCE

The City Council of the City of Calimesa ordains as follows:

This ordinance shall provide the Specific Plan Zone Requirements and Standards for Specific Plan Area No. X.

A. Planning Area 1

(1) The uses permitted within land use Planning Area 1 shall be the same as those identified in the Business Park (BP) Zone Districts represented in Table 18.30.030 of the City of Calimesa Municipal Code, except for the following:

- a. Recreational vehicle storage shall be a conditionally permitted use.
- b. Transportation/trucking yards, stations, terminals shall be a conditionally permitted use.
- c. Vehicle storage yards, inclusive of towing yards, shall be a conditionally permitted use.
- d. Large equipment and construction vehicle sales and auctions shall be a conditionally permitted use.
- e. Animal hospital/veterinary office shall be a conditionally permitted use.
- f. Cold storage shall be a prohibited use.

(2) The development standards for Planning Areas 1 shall be the same as those identified in Section 18.30.040 of the City of Calimesa Municipal Code except the following:

- a. The maximum height for buildings and structures shall be 55 feet.

(3) The development standards for Planning Area 1 shall be the same as those identified in Section 18.30.110 of the City of Calimesa Municipal Code except for the following:

- a. No warehouse, storage or distribution facility use on a lot or parcel shall be located within 110 feet of any other lot or parcel containing an existing or proposed warehouse, storage or distribution facility use. The minimum 110-

30 foot separation shall be determined according to the following method of
31 measurement: by measuring the distance extending from each outer wall of the
32 proposed warehouse, storage or distribution facility to the property line of its
33 own lot or parcel; and by measuring the distance extending from each outer
34 wall of any other existing or proposed warehouse, storage or distribution
35 facility to the property line of such other lot or parcel.

36 b. To the extent it would otherwise apply, proposed buildings within Planning
37 Area 2 of the Specific Plan Area are exempt from the minimum sensitive
38 receptor separation difference represented in Section 18.30.110.B.2 of the
39 City of Calimesa Municipal Code. This minimum distance requirement only
40 applies to sensitive receptors that exist at the time when the applicable
41 warehouse, storage, or distribution facilities are approved. Buildings within
42 Planning Area 2 shall adhere to the development standards provided in Section
43 5.5, Residential High Land Uses & Development Standards, of the Oak Valley
44 North Specific Plan. Additionally, warehouse, storage, or distribution facility
45 dock doors facing Planning Area 2 shall have a minimum setback of 250 feet
46 from the property line. Screening consisting of walls, berms, and/or
47 landscaping shall be provided between Planning Areas 1 and 2.

48 (4) The uses within Planning Area 1 shall comply with all performance and design
49 standards identified in Section 18.30.050 and 18.30.080 of the City of Calimesa
50 Municipal Code, except for the following:

51 a. Architectural design for industrial developments shall not require use of heavy
52 lumber, rustic weathered wood or new or used brick and stone but shall
53 maintain good planning and design principles and sound development
54 practices.

55 (5) The off-street parking requirements within Planning Area 1 shall be the same as those
56 identified in Section 18.45 of the City of Calimesa Municipal Code except the
57 following:

58 a. The minimum parking space required for the first 40,000 sq. ft. of warehouse
59 and wholesaling uses shall be 1 space for every 1,000 sq. ft.

60 b. The minimum parking space required for warehouse and wholesaling uses
61 above 40,001 sq. ft. shall be 1 space for every 3,000 sq. ft.

62 **B. Planning Areas 2**

63 (1) The uses permitted within land use Planning Areas 2 shall be the same as those listed
64 in the Residential High (R-H) Zone District as represented in Table 18.20.030 of the
65 City of Calimesa Municipal Code, except for the following:

66 a. Churches and other religious institutions shall be a conditionally permitted
67 use.

68 (2) Except as otherwise set forth in Section A of this Ordinance, the development
69 standards for Planning Areas 2 shall be the same as those identified in Section
70 18.20.040 and Table 18.20.040 of the City of Calimesa Municipal Code, except the
71 following shall apply to rental projects with 100% of units (exclusive of managers
72 units) restricted to affordable rents, as defined in Health and Safety Code Section
73 50053:

74 a. The minimum front yard setback for multifamily buildings shall be 10 feet.

75 b. The minimum side yard setback for multifamily buildings shall be the
76 following:

- 77 1. One- and two-story buildings: five feet
- 78 2. For buildings with more than two stories: five feet for the first two
79 stories and an additional five feet for each story thereafter.

80 c. The minimum rear yard setback for multifamily buildings shall be the
81 following:

- 82 1. One- and two-story buildings: five feet
- 83 2. For buildings with more than two stories: five feet for the first two
84 stories and an additional five feet for each story thereafter.

85 d. The minimum area requirements for apartments/multifamily are as follows:

Minimum Livable Area	Number of Bedrooms	Number of Baths
560 sq. ft.	1	1

800 sq. ft.	2	1
1,000 sq. ft.	3	2
1,100 sq. ft.	3+	2

86 e. All multifamily developments with 12 or more dwelling units shall provide 30
87 percent open space for passive and active recreational uses.

88 f. Each multifamily dwelling unit shall have private open space, such as patio or
89 balcony, of at least 50 sq. ft.

90 g. Each multifamily dwelling unit shall be encouraged but not required to
91 provide an enclosed storage space in a garage, carport, or immediately
92 adjacent to the dwelling unit.

93 h. Each multifamily dwelling unit shall be provided with an automatic
94 dishwasher. A heavy-duty garbage disposal unit shall not be required.

95 i. Telephone jacks may be installed in all living rooms, kitchens, and bedrooms.

96 j. Each multiple-dwelling building or complex may provide hose bibs and
97 dedicated car washing spaces.

98 k. Multi-dwelling buildings may provide recreational storage facilities.

99 (3) The uses within Planning Areas 2 shall comply with all performance and design
100 standards identified in Section 18.45.060 of the City of Calimesa Municipal Code,
101 except the following shall apply to rental projects with 100% of units (exclusive of
102 managers units) restricted to affordable rents, as defined in Health and Safety Code
103 Section 50053:

104 a. The number of required off-street parking spaces or apartments shall be as
105 follows:

Apartments:	Number of Required Spaces
Studio/1 Bedroom	1 space/unit
2 or 3 bedrooms	2 spaces/unit
4 or more bedrooms	2.5 spaces/unit
Guest Spaces	1 space/5 units

106 b. Off-street parking spaces may be covered.