

Appendix Q

Harmon Ranch Specific Plan



Harmon Ranch Specific Plan

March 2024

City of Poway

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Harmon Ranch Specific Plan

March 2024

Adopted by the Poway City Council _____

By Resolution No. ____

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Chapter One - Introduction

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Chapter 1 - Introduction

1.0 Introduction

Poway is one of the premier communities in San Diego County. With high-quality housing surrounded by extensive open space areas, close proximity to jobs and services and an exceptional school district, Poway provides a sought-after lifestyle.

The underutilized 11.5-acre site subject to the Harmon Ranch Specific Plan is located in the southern area of the City of Poway, generally south of Poway Road and east of Pomerado Road. Much of the site was recently utilized by San Diego Gas & Electric Company as a storage and staging area. There are four existing homes within the site including a historic home that would be retained as part of the project. See **Exhibit 1.1: Vicinity Map**. The Harmon Ranch site creates an opportunity to provide much needed housing within the City of Poway, helping the City meet its Regional Housing Needs Allocation. With existing public street access and utilities available to serve the site, the proposed Harmon Ranch community is well situated to meet Poway's ever-growing need for housing.

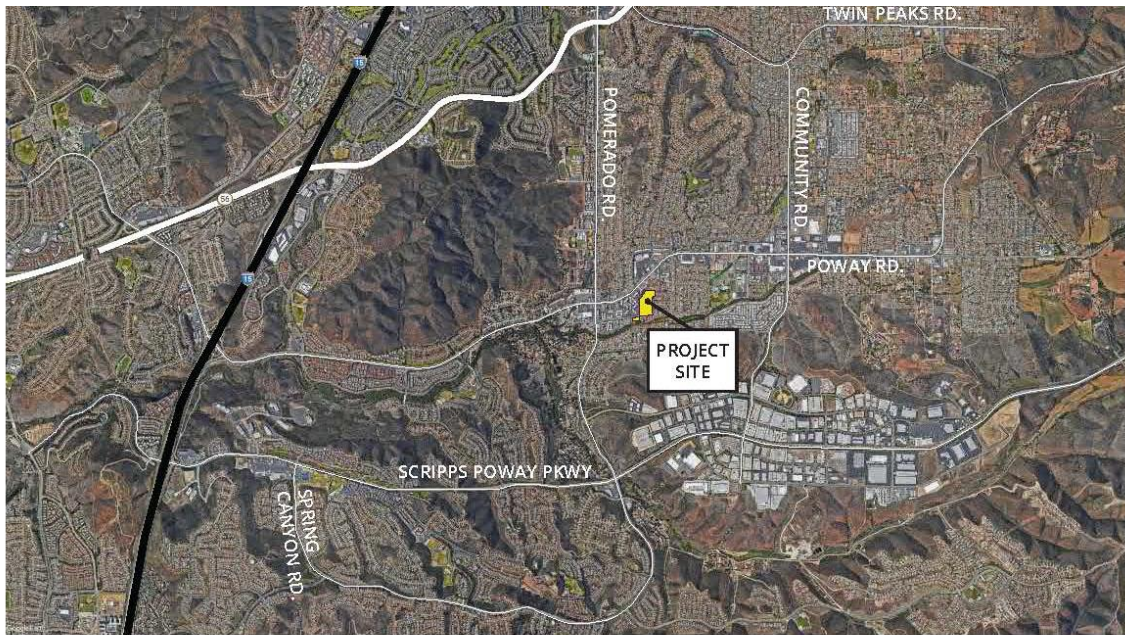


Exhibit 1.1: Vicinity Map

1.1 Specific Plan Purpose and Authority

The Harmon Ranch Specific Plan provides a permanent solution to revitalizing and maximizing utility of an underutilized 11.5-acre site located in the heart of an existing residential community. There are 64 homes within the Specific Plan Area: 63 new homes and an existing historic home. The 63 home single family neighborhood and associated improvements will be managed by a newly established Community Association to ensure the private streets and private open space and recreation uses are well maintained and managed, alleviating the City of Poway of maintenance responsibilities.

The Specific Plan establishes development standards and design guidelines to make certain all new development is compatible with the existing residential uses adjacent to the site.

Authorized by California Government Code Section 65450, the Specific Plan allows for specialized regulations, development standards and design guidelines for future development that address the unique characteristics of the site. This tool is utilized to facilitate the creation of distinctive communities and unique places. All subsequent development plans, tentative parcel and/or tract map(s) and/or similar entitlements for the project site within the Specific Plan area shall be consistent with the regulations set forth in the Specific Plan and with other applicable City of Poway regulations. Where the Specific Plan is silent, the Poway Municipal Code shall govern.

In accordance with Government Code Sections 65450-65457, the Harmon Ranch Specific Plan provides the following content and scope:

- A statement of relationship to Poway General Plan – Chapter 1
- A statement of Specific Plan vision, setting and objectives – Chapter 2
- Land use location and distribution and Development Regulations – Chapter 3
- A description of roadways, traffic calming measures and parking – Chapter 4
- A description of grading, utilities and services – Chapter 6
- Implementation, including financing tools, maintenance responsibilities and administrative procedures - Chapter 7

State law also allows Specific Plans to address any other subjects deemed necessary or valuable to achieve city goals. The following additional content is provided to support the Specific Plan Objectives identified in Section 2.3.

- Community Design Guidelines for Open Space and Residential Land Uses– Chapter 5

1.2 Specific Plan Location and Context

Located in northeastern San Diego County, the City of Poway is characterized by hills, scenic viewsheds and vast open space areas. Regional access to Poway is provided via Interstate 15 (I-15) which is located west of the City.

The approximately 11.5-acre Specific Plan area, known as the Harmon Ranch Specific Plan, is located in the southern portion of the City of Poway, approximately two and a half miles east of I-15 as shown in Exhibit I.1: Vicinity Map.

The Specific Plan Area is bisected by existing Oak Knoll Road, which provides primary access to the site. Surrounding land uses include the Towne Center shopping center and Kumeyaay Ipai Interpretive Center along Poway Road to the north, Oak Knoll Road, Poway Creek and existing single-family homes to the south, existing single-family homes to the east and a multi-family apartment community to the west. See Exhibit 1.2 – Surrounding Land Uses.



Exhibit 1.2 – Surrounding Land Uses

1.3 Relationship to the General Plan

According to the State of California Office of Planning and Research (OPR), “A Specific Plan is a tool for the systematic implementation of the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area.” Pursuant to California Government Code Section 65454, a Specific Plan shall be consistent with the local jurisdiction General Plan. Concurrent with this Specific Plan, a General Plan Amendment (GPA) is also proposed, which would change the land use designation of the Specific Plan Area from the existing Residential Single Family 7 (RS-7) General Plan land use designation to the Planned Community (PC) land use designation.

Goal 1 of the Poway General Plan states: It is the goal of the City of Poway to preserve Poway’s unique and desirable character as “the City in the Country” and to maintain high quality design and environmental standards in all new development and redevelopment. **Table 1.1: General Plan Consistency Analysis** demonstrates how the proposed residential development would address the applicable policies and goals to comply with the intent of the General Plan. Through implementation of the following applicable General Plan strategies, the project complies with the intent of the respective policies.

Table 1.1: General Plan Consistency Analysis

GENERAL PLAN POLICY	PROJECT RESPONSE
<p>Policy A – Streetscape Seek to develop an attractive streetscape which reflects the rural, small town character of the City.</p>	<p>The entry into the proposed project is located at the intersection of Oak Knoll Road and a planned private street. A community entry wall with signage, lighting and landscaping creates an inviting and attractive entry into the neighborhood, consistent with the rural character of the City. The style, materials and colors planned for the entry monument are compatible with the architectural style of the proposed homes.</p> <p>The proposed project is served by a series of narrow private streets, which minimizes paving, while providing access to all homes. These right-sized streets accommodate street lighting and pedestrian access as well as parking along certain segments. The Community Trail extends through the project, further enhancing pedestrian connectivity to the shopping areas to the north. All new utilities are located underground, consistent with the General Plan strategy.</p> <p>Project CC&Rs will ensure on-going maintenance of private streets, public street frontages, recreation areas, common landscape areas and enforcement of private landscape installation and ongoing maintenance.</p>
<p>Policy B – Subdivision Design Subdivisions should be designed to ensure that future land development supports the goals of the General Plan.</p>	<p>The proposed project includes 63 new homes and retains an existing historic home within the Specific Plan Area. The project density is 8.8 DUs/AC, consistent with the surrounding development and slightly higher than the existing RS-7 zoning designation for the site which permits 8.0 DUs/AC.</p> <p>Lot sizes, spacing, setbacks and building orientation provide for a variety of architectural styles and facades. compatible with the residential character of single family and multi-family neighborhoods adjacent to the Specific Plan Area. By replacing an underutilized, blighted property with a new aesthetically pleasing residential neighborhood, conflicts associated with the existing use of the land will be reduced. Further, the project provides a transition between the higher density apartment community and single-family homes adjacent to the Specific Plan Area and preserves the existing historic home.</p> <p>Each home has an entry element that clearly defines the front of the homes. Since the proposed lots are less than 8,000 SF, lots are primarily rectangular in shape, consistent with the General Plan strategy.</p> <p>On-site significant resources, including a portion of Poway Creek and a tributary to Poway Creek open space areas, are retained in their natural condition. The on-site historical structure is also retained within an 0.25-acre lot within the Specific Plan Area.</p>

GENERAL PLAN POLICY	PROJECT RESPONSE
	<p>The proposed site grading is efficient and avoids potentially hazardous soils conditions.</p>
<p>Policy C – Site Design Attractive, efficient site design shall be required of all development</p>	<p>The design of the site maximizes, to the greatest extent possible, the southern exposure of homes within the project to encourage solar exposure.</p> <p>Based on the Harmon Ranch Tree Inventory and Arborist Report prepared by Dudek (July 2021), one existing tree is subject to the Poway Municipal Code Section 32.170. As required, a 96-inch box tree will be planted at the community entry. Though not required by PMC, the project will also plant up to 42 trees to replace trees impacted by the development. The final number of replacement trees to be determined during preparation of Landscape Improvement Plans.</p> <p>Mailbox locations are shown on the landscape plans in locations that are readily accessible to residents and avoid conflicts with adjacent sidewalks and parking areas.</p> <p>As shown on the site plan and landscape plan, the site design has been coordinated between the Civil and Landscape engineers to improve line-of-sight for both pedestrian and vehicular travel.</p> <p>Single Family homes have been plotted with and without front porches to break-up the building massing and avoid a monotonous line of buildings. With three unique floorplans, four architectural styles and 12 color schemes, the project will create an interesting and vibrant streetscape.</p> <p>Each dwelling unit is provided with private rear yards, consistent with the General Plan strategy.</p>
<p>Policy D – Grading Necessary grading should be done so as to minimize the disturbance to the site and the environmental and aesthetic impacts.</p>	<p>Because the majority of the site is currently disturbed, grading has been minimized to the greatest extent possible. Development is clustered in the disturbed area, while impacts to the most environmentally sensitive areas have been avoided.</p> <p>Except where there are existing rock outcroppings, all exposed graded slopes will be planted with materials compatible with surrounding vegetation, as shown on the project’s landscape plan.</p>
<p>Policy E – Interior Circulation and Parking Adequate, safe and efficient on-site circulation and parking areas should be provided for vehicles, which do not conflict with</p>	<p>Through implementation of the following applicable General Plan strategies, the project complies with the intent of Policy E.</p> <p>The project is served by a series of private streets with narrowed paving sections, parallel and head-in parking areas, a sidewalk on one side of the private street and extension of the Community Trail along</p>

GENERAL PLAN POLICY	PROJECT RESPONSE
<p>pedestrian areas or visually dominate the appearance of the development.</p>	<p>Street “A.” Traffic calming measures, including the planned community entry, narrow streets, on-street parking, enhanced paving and stop control at the entry all provide for safe vehicular and pedestrian circulation throughout the project.</p> <p>Decorative paving is planned at the community entry and in several additional locations to create a threshold between the public roadway and private streets and at the intersection of Streets “A” and “D” to provide an enhanced pedestrian crossing. A crosswalk at Oak Knoll Road is planned east of the community entry for additional pedestrian connectivity within the Specific Plan Area. Pedestrian crossing signs will be posted and the crosswalk will feature striping and rectangular rapid flashing beacons (RRFBs).</p>
<p>Policy F – Architecture The design of buildings should be aesthetically pleasing and consistent with the City’s desire to retain Poway’s small town character and image.</p>	<p>The proposed project includes two story home that do not exceed the 35-foot height limit in the General Plan.</p> <p>As described in Chapter 5, Community Guidelines, the project features four architectural styles, Santa Barbara, Ranch, Farmhouse and Monterey –modern interpretations of the old California design theme. A variety of materials and colors will create a cohesive yet interesting streetscape. These designs include trails, trees and front porches, which are compatible with surrounding neighborhoods and Poway’s small-town character and image.</p> <p>Roofing materials are also provided in Chapter 5, Community Design, which complement the architectural styles described above.</p>
<p>Policy G – Landscaping Appropriate and well-maintained landscaping should be used to enhance the appearance of development and to modify climatic conditions on site.</p>	<p>All landscaped areas will be maintained pursuant to the community CC&Rs and landscape guidelines, as enforced by the community homeowner’s association (HOA).</p> <p>Front yard landscaping will include drought tolerant landscape materials, consistent with City water conservation policies and guidelines.</p> <p>Front yard landscaping will be installed by the developer and maintained by the private homeowner. The developer is also required to install one tree per lot and the HOA will maintain these trees in perpetuity. All landscape plans are subject to review and approval of the HOA to ensure conformance with SP guidelines and City policies and guidelines.</p> <p>The project provides “street trees” within the private homeowner lots, secured with a landscape easement. The community CC&Rs will prohibit homeowners from removing street trees and the HOA will maintain and trim the trees consistent with the General Plan strategy in perpetuity.</p>

GENERAL PLAN POLICY	PROJECT RESPONSE
<p>Policy H – Walls and Fencing Walls and fencing should be provided where necessary to ensure privacy or provide noise attenuation.</p>	<p>Along the western boundary, an existing 6-foot-high masonry wall with stucco finish will remain in place separating the proposed single-family homes from the adjacent apartment complex.</p> <p>Though not an arterial roadway, homes along Oak Knoll Road will have a combination block/tubular steel wall at the rear property line. The wall/fence will be broken up by 5-foot-deep recesses that provide space for tree planting.</p> <p>The project includes a combination of retaining walls and 5-foot vinyl fencing and free-standing 5-foot vinyl fencing which provide adequate screening to ensure privacy for the homeowner. There are no sound attenuation walls required within the project.</p>
<p>Policy I – Lighting Lighting should be provided for public convenience and safety but not conflict with the rural nature of the community.</p>	<p>The project includes a conceptual lighting plan that identifies the location of proposed streetlights and landscape lighting which will demonstrate adequate lighting for streets, walkways and parking areas.</p> <p>Landscape lighting will illuminate the community entry and key landscape elements located within the private recreation areas, as appropriate.</p> <p>Architectural lighting detail will be provided as part of the construction documents.</p>

1.4 How to Use This Specific Plan

The Specific Plan is designed to inform future developers, property owners and city staff regarding the permitted uses, regulations, activities and development standards that apply to a particular site within the Specific Plan Area. The intent is to create easily understood rules and guidelines, avoid confusion and conflict when processing future permits and development applications, inform community members about what can occur within the Specific Plan Area and establish a clear process for permit and development applications. The following steps are provided to assist users in finding the necessary information within the Specific Plan:

Step 1: Determine the Applicable Land Use

Refer to **Exhibit 3.1: Land Use Plan** and **Table 3.1: Land Use Summary** to determine the permitted land use and intensity. Refer to **Table 3.2: Open Space Permitted Land Uses** for a list of permissible uses within the Open Space Land Use Districts and **Table 3.3: Residential Permitted Land Uses** for a list of permissible uses within the Residential Land Use District.

Step 2: Review Regulations and Development Standards

Refer to Section 3.3 for regulations and development standards applicable to the Residential Land Use District. Development standards and regulations for temporary uses, parking, landscaping, lighting, walls and fences and utilities in Chapter 3. Refer to Chapter 4 for street and parking standards.

Step 3: Review Design Guidelines

Refer to the applicable Community Design Guidelines in Chapter 5

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Chapter Two

Vision

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Chapter 2 - Vision

2.0 Introduction

This chapter presents the overall vision for the Harmon Ranch project in the context of existing site conditions, surrounding neighborhood character and the rural nature of Poway.

2.1 Community Vision

The vision for the Harmon Ranch project is to create a new residential neighborhood that is compatible with the surrounding neighborhoods in character and scale, retains the existing historic home as part of the Specific Plan Area, conserves the portion of the site containing sensitive resources, establishes opportunities for active and passive recreation areas for the enjoyment of the residents and provides much needed housing within the City of Poway. This new residential neighborhood will be designed to be aesthetically appealing and compatible with the surrounding residential neighborhoods. The homes will feature high quality architecture that will create an interesting streetscape and pleasing views from the surrounding neighborhoods and public streets. Simplicity in building form with meaningful detailing inspired by natural materials will convey quality and thoughtful designs. Landscaping, lighting, furnishings and the design of outdoor spaces will convey a similar theme through the use of simple designs inspired by natural materials colors and patterns.

Exhibit 2.1: Illustrative Site Plan represents a conceptual design solution that fulfills the vision of the Specific Plan. The Illustrative Site Plan conveys the intended design character and implements the development program permitted by the Specific Plan. The open space recreation areas shown reflect the anticipated land uses and enhance the neighborhood setting envisioned for the project. Recreational uses are distributed throughout the neighborhood and connect to the planned Community Trail to provide ample opportunities for gathering and recreation for neighborhood residents. Floodways are set aside in separate open space lots to ensure they remain in their existing natural condition.



Exhibit 2.1: Illustrative Site Plan

2.2 Setting and Existing Conditions

This Project Site is 11.5 acres and is currently designated Residential Single Family 7 (RS-7) in the Poway Comprehensive Plan General Plan which permits single-family homes on minimum 4,500 square foot sized lots and a maximum density of eight dwelling units per acre. Surrounding land uses include a mix of commercial uses and the Kumeyaay Ipai Interpretive Center to the north, Oak Knoll Road, Poway Creek and existing single-family homes to the south, existing single-family homes to the east and an apartment community to the west.

The Specific Plan would designate approximately 5.7 acres for new residential development, a 0.25-acre site containing an existing historic home, 1.9 acres for private streets and 3.2 acres of open space (natural and private recreation). Approximately 0.5 acres of public right-of-way (Oak Knoll Road) is also included in the Specific Plan boundary. The overall density of the proposed project is 8.8 DUs/Acre, which is slightly higher than the existing RS-7 designation, which permits 8.0 DUs/Acre.

The Specific Plan Area consists of approximately nine acres of disturbed land bisected by existing Oak Knoll Road. The majority of the site is disturbed and was recently utilized as a storage/staging area for San Diego Gas & Electric Company.

The site is relatively flat with an elevation of approximately 446 feet Mean Sea Level (MSL) to 448 MSL. The northern portion of the property is level to moderate sloping with elevations ranging from approximately 449 feet MSL to 495 feet MSL. Poway Creek is located along the southern boundary of the southern parcels. The flood elevation of 447 feet MSL is shown on the Tentative Map. A tributary to Poway Creek exists along the northwest property boundary. The tributary has been channelized and outlets into a storm drain system beneath Oak Knoll Road. Surface drainage across the northern property is generally south and southwest toward Oak Knoll Road, while the southern property drains south and southwest into Poway Creek.

Four surficial soil types and two geologic formations exist on site. The surficial deposits consist of undocumented fill, alluvium, colluvium and terrace deposits. The formational units include the Eocene-age Friars Formation and the Cretaceous-age granodiorite (granitic rock).

The Biological Resources Technical Report for Harmon Ranch prepared by Dudek (July 2022) included the results of a general biological reconnaissance survey and vegetation mapping conducted in November 2021 and a rare plant survey conducted in April 2002. Based on the survey results, no sensitive plant or wildlife species were observed within the Specific Plan area, and none have a potential to occur. Vegetation communities onsite consist of disturbed wetland, disturbed habitat, urban/developed areas, non-native riparian, Arundo-dominated riparian, southern willow scrub and freshwater. Of these vegetation communities, only southern willow scrub and freshwater are native. The proposed project would focus development in areas which are

currently either disturbed or developed. The Arundo-dominated riparian associated with Poway Creek currently extends over the property line and therefore would need to be trimmed back to the property line resulting in a potential temporary loss of 0.02 acres of this vegetation community. It is anticipated that the vegetation will grow back following construction and therefore no mitigation is proposed for impacts to this invasive plant community.

The Harmon Ranch Tree Inventory and Arborist Report prepared by Dudek (July 2022) included an inventory of existing on-site trees. The arborist identified a total of 58 trees on-site. Of the 58 on-site trees, one oak tree met the City's definition of a "native" tree which would require the replacement of the oak tree with a comparable size (96" box tree) and species. The remaining 57 trees are not protected by the City's ordinance. The project proposed to remove all on-site trees as part of the site development and plant up to 42 replacement trees within the Specific Plan Area, as shown on **Exhibit 5.3: Conceptual Tree Plan**. The final number of trees to be determined during preparation of Landscape Improvement Plans.

There are four existing homes within the project site. According to information obtained from the San Diego County Assessor's office, three of these homes were constructed between 1946 and 1957. There are three homes located within the proposed development area that will be demolished as part of the project. One of the existing homes is a locally designated historic building located at 12702 Oak Knoll Road (APN 317-500-14-00). The historic building was built in 1933 and is constructed of cobblestones. The building is presently designated as City of Poway Historical Site I13 and is documented and known as the "Harmon House." The historic home will be retained in place within a 0.25-acre site as part of the project.

2.3 Specific Plan Objectives

The following objectives have been developed to implement the vision of the Specific Plan and support the goals and policies of the General Plan:

- 1) Implement applicable goals and policy of the General Plan.
- 2) Develop a residential neighborhood within an underutilized site with quality architecture and community design aesthetics that respect and enhance the existing neighborhood's appeal and character.
- 3) Ensure new uses are compatible with the existing surrounding homes by establishing setbacks, design regulations and guidelines that protect the privacy and quality of life for neighboring residents.
- 4) Contribute new housing units to the City of Poway and the region by providing single family housing.
- 5) Conserve portions of the Project Site to minimize environmental impacts of the Project and allow for the development of an environmentally sensitive neighborhood.

- 6) Ensure the retention of the on-site historic home, provide a landscape plan to maintain the historic setting and provide a buffer to ensure the permanent protection of the historic resource during construction.
- 7) Create an internal network of private streets that minimizes traffic impacts on existing neighborhoods, incorporate a trail connection to the adjacent commercial/industrial land use and provide on-street parking and safe access to homes within the Project.
- 8) Minimize the environmental impact of new development through best management and low impact development practices, water and energy conservation measures and green construction.
- 9) Create a land use plan that can realistically be developed within a foreseeable time frame and under projected economic conditions.

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Chapter Three

Land Use & Regulations

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Chapter 3 – Land Use & Regulations

3.0 Introduction

Land Uses are organized to optimize compatibility with the surrounding land uses. The Specific Plan proposed both open space and residential land use districts. The purpose of establishing land use districts is to classify, regulate, and restrict the type of uses and structures permitted within the land use districts.

3.1 Land Use Summary & Plan

Land uses within the Specific Plan Area consist of open space and residential uses as summarized in Table 3.1: Land Use Summary and Exhibit 3.1: Land Use Plan, which describe the distribution and maximum development intensity of uses as permitted in the Specific Plan.

Table 3.1: Land Use Summary¹

Use/Land Use	Approx. Net Acres (AC)	% of Planning Area	Max. Dwelling Units (DU) ²	Density (DU/AC) ³
Non-Residential Land Uses				
Open Space (OS-1 & 2) (Floodway)	1.88	16.3%		
Open Space (OS-3 & 4)	0.31	2.7%		
Open Space Recreation (OSR-1 to 7)	0.99	8.6%		
Subtotal Open Space	3.18	27.6%		
Private Internal Residential Streets	1.88	16.3%		
Oak Knoll Road ROW (existing)	0.49	4.3%		
Subtotal Streets	2.37	20.6%		
Subtotal Non-Residential	5.55	48.2%		
Residential (R) Land Use				
Residential Single Family (R-SF) (Lots 1 to 64)	5.96	51.8%	64	
Subtotal Residential	5.96	51.8%	64	
TOTAL Specific Plan Area¹	11.51	100%	64	8.8

1. Statistics are based upon preliminary design and may vary slightly from Development Plan, Tentative Map, and/or Final Map. Refer to Chapter 7 regarding substantial conformance.
2. Pursuant to State Law, local governments cannot preclude an Accessory Dwelling Unit (ADU) or Junior Accessory Dwelling Units (JADU). An ADU and JADU is an accessory use for the purposes of counting allowable density under general plan and zoning and is therefore not counted as an additional unit. An ADU and JADU shall be permissible in accordance with the PMC or, if the locally adopted ordinance is void, the State Government Code. See Section 3.2.2.G for information regarding ADUs.
3. Open Space areas within the floodway (OS-1 and OS-2) and public street (Oak Knoll Road) and internal private streets are excluded from the density calculation. The following calculation was utilized to determine the net residential density for the project: Residential (5.96 ac) + Open Space Recreation Lots 1-7 (0.99 ac) + Open Space Lots 3 and 4 (0.31 ac) = 7.26 ac. 64 / 7.26 = 8.8 DUs/AC.



Exhibit 3.1: Land Use Plan

3.2 Open Space Land Use Regulations

Two open space land use districts support the development of the master planned community envisioned by the Specific Plan and would implement the following purpose and intent:

- Open Space (OS) is designed to permanently conserve the on-site open space areas that contain sensitive biological and/or cultural resources. These areas (OS-1 to OS-3) would not be impacted by development of the Project and remain as natural open space areas. Open Space 4 (OS-4) is a disturbed area that is outside of the proposed development area and not accessible from the new residential neighborhood. This area would be secured with perimeter fencing and revegetated with a native hydroseed mix to stabilize the area and deter unauthorized access to the area.
- Open Space – Recreation (OSR) is intended to provide passive and active recreational opportunities and open landscaped areas to support the new residential uses and manufactured slopes within the Specific Plan Area. Recreation amenities shall be provided to support healthy and active lifestyles and encourage community interaction and engagement. These areas include OSR-1 to 7.

Parcels designated OS (OS-1, OS-2, OS-3 and OS-4) shall be deed restricted to ensure that future development is restricted to that specified in the Open Space Land Use Regulations in perpetuity.

3.2.1 Open Space Permitted Uses

Permitted uses within the open space land use districts are listed in Table 3.2: Open Space Permitted Uses.

Table 3.2: Open Space Permitted Uses

Use	OS	OS-R	Additional Requirements
Agriculture			
Specialty and community gardens	X	P	See Section 3.2.3.A
Beekeeping	X	X	
Christmas tree, Halloween pumpkin, or other seasonal sales and other holiday events	X	T	See Section 3.2.3.B and Section 3.2.3.F
Cultivation, delivery or sale of cannabis or cannabis products	X	X	
Recreational Amenities			
Picnic pavilions/Trellis with overhead lighting, tables, benches and BBQ	X	P	
Playgrounds and tot-lots, open play turf areas	X	P	
Trail amenities such as lighting, peeler pole fencing, benches, signage	X	P	
Trails for walking and biking	X	P	See Chapter 4

Use	OS	OS-R	Additional Requirements
Public Art such as sculptures	X	P	See Section 3.2.3.G
Above ground utilities including stealth telecommunication facilities	X	P	Section 3.9
Satellite Dish Antennas	X	P	See PMC
Temporary trailers and offices	X	T	See Section 3.4
Water quality features	X	P	See Section 7.1
Fencing and screening other than trail fencing	X	P	See Sections 3.8 and 5.5
Temporary parking on unimproved surface; Paved Turnaround	X	P/X	Temporary parking permitted within OS-4 only; parking is not permitted within other areas designated OS-R; paved turnaround permitted within OSR-6 only.
Other uses that the City Council may determine to be compatible and substantially in conformance with the goals and objectives of this Specific Plan	C	C	

- P = Permitted by Right
C = Conditionally Permitted (CUP required)
M = Conditionally Permitted (Minor CUP required)
X = Not Permitted
PMC = Subject to Poway Municipal Code regulations
T = Temporary Use Permit

A. Permitted Deviations and Additional Open Space Standards

The following standards are provided to ensure that maintenance and operation of all open space uses remains compatible with surrounding residential uses:

- (1) All structures shall maintain adequate fire access approved by the City of Poway Fire Department and shall be designed to current building and fire code standards.
- (2) Hours of operation of any use or activity shall be restricted to between sunrise and 10:00 p.m. weekdays, weekends and holidays unless otherwise specified herein. Any exceptions to these time limits with regard to special events shall be subject to a temporary use permit granted by the Director of Development Services.
- (3) All gambling and the sale and consumption of illegal drugs on-site is strictly prohibited. The sale, manufacturing delivery and cultivation of marijuana and cannabis products shall also be prohibited.
- (4) The noise level emanating from any use or activity shall not exceed 60 dBA CNEL, as the acceptable outdoor noise exposure level when measured at the exterior boundaries of the Specific Plan area unless otherwise specified herein. This may be achieved through the construction of sound attenuation barriers based upon an approved noise study.
- (5) No use shall be permitted which creates offensive odors in such quantities as to be readily detectable beyond the boundaries of any proposed parcel or the exterior boundaries of the Specific Plan Area.

3.3 Residential Land Use Regulations

The Specific Plan includes one residential land use district (Residential-Single Family) that would allow for the development of traditional single-family detached homes on individual deeded legal lots, and address an existing historic home located within the Specific Plan Boundary.

All residential properties shall be deed-restricted to prevent any future increase in residential density in perpetuity.

3.3.1 Residential Permitted Uses (R-SF)

Permissible uses within the R-SF residential land use district are listed in the following table.

Table 3.3: R-SF Permitted Uses

Use	R-SF	Additional Requirements
Existing (Category C) Historic Home	P	Subject to PMC 17.45 Historical Structures
Accessory Buildings	P	
Accessory Dwelling Units	P	See Section 3.3.2.B
Home Occupation	H	
Keeping of animals	P	See PMC
Detached Single-Family Home	P	
Temporary trailers, offices and associated uses	T	See Section 3.4
RV, Truck and Trailer Storage	X	Restricted per Community Association CC&Rs
Outdoor Prefabricated Storage Units/Sheds	P	Subject to Community Association See CC&Rs and must meet minimum setback requirements
Patio Covers, Awnings, Trash Enclosures	P	Subject to Community Association CC&Rs
Pools/Spas	P	See Section 3.3.2(A)(3)
Roof Mounted Solar Panels	P	See PMC
Ground Mounted Solar Panels	X	
Roof Mounted Antennas	X	
Satellite Dish Antennas	P	
Utilities	P	See Section 3.9
Water Quality Features	P	See Section 6.1.3
Other uses that the City Council may determine to be compatible excluding increased housing density and multi-family homes	C	

- P = Permitted by Right
- C = Conditionally Permitted (CUP required)
- M = Conditionally Permitted (Minor CUP required)
- X = Not Permitted
- PMC = Subject to Poway Municipal Code regulations
- T = Temporary Use Permit
- H = Home Occupation Permit

3.3.2 Residential Development Standards

Development standards include minimum lot dimensions, minimum setbacks and building separation, maximum building height and minimum private open space requirements.

Residential Single Family (R-SF)

The Residential Single-Family designation consists of the 63 proposed single-family homes and an existing historic home to remain within its existing lot. The 63 new homes planned would include floor plans 1, 2 and 3. Typical setbacks are depicted on **Exhibit 3.2 – Typical Lot Details - Residential Single Family**. Typical plotting provided for reference; however, final plotting to be provided during final engineering. See Development Review Plan for irregular lot setbacks. The setbacks for the existing historic home (Lot 64) are depicted on **Exhibit 3.3: Proposed Historic Home Setbacks** and the proposed historical setting are depicted on **Exhibit 3.4: Proposed Historic Home Setting**.¹

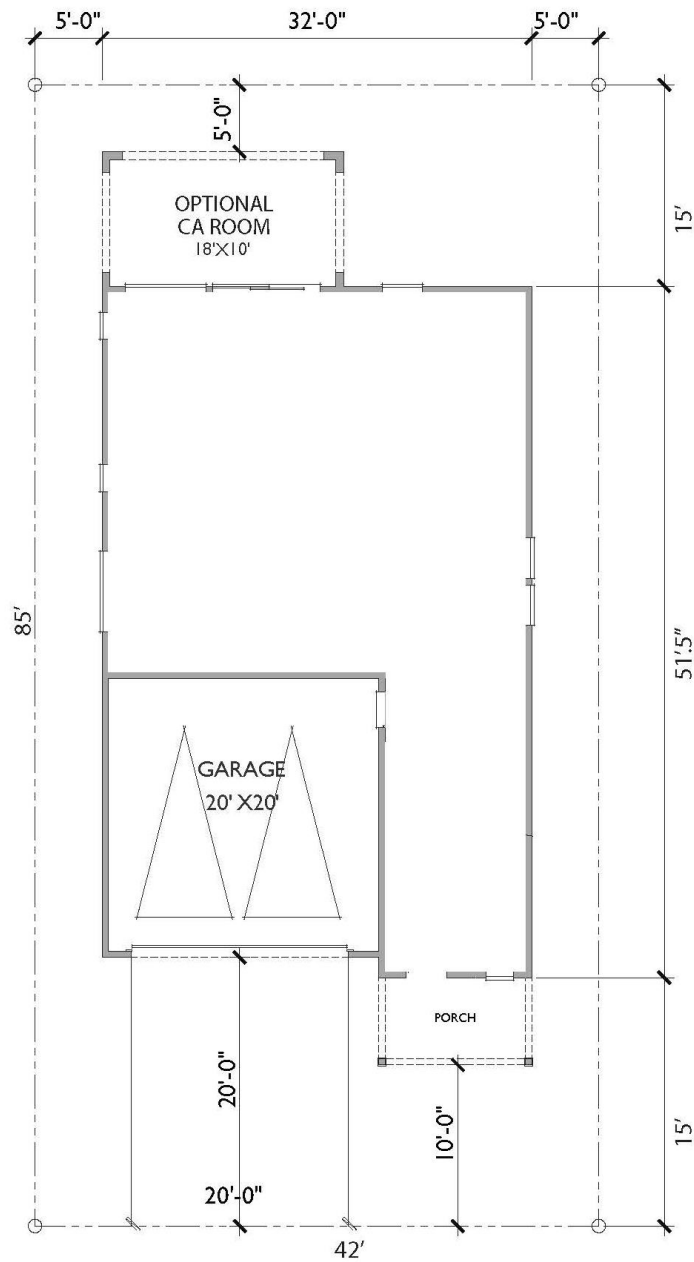
¹ Lot 64 must comply with PMC 17.45 Historical Structures. Setbacks established on **Exhibit 3.3: Proposed Historic Home Setbacks** (Front 54', side (east) 29', side (west) 35' and rear 6') may not be modified and no further encroachments are permitted. Lot 64 may not be subdivided in the future, except as permitted in the PMC.

Table 3.4: Residential Development Standards (R-SF)

Description	Minimum Requirements
Lot Dimensions	
Lot Size	3,470 SF
Lot Width (Measured at setback)	42 feet
Lot Depth	85 feet
Lot Coverage	55% max
Minimum Building Setbacks³	
Front - Garage Door to Property Line	20 feet
Front - Primary Building to Property Line	15 feet
Front - Porch to Property Line	10 feet
Side - Primary Building to Corner @ Property Line	6 feet
Side - Primary Building to Property Line	5 feet
Rear - Primary Building to Property Line	15 feet
Rear - CA Room to Property Line (Max width of CA Room limited to 50% of Primary Building width)	5 feet
Building Separation	10 feet
Building Height	2 Stories and 35 feet max
Walls	
Retaining Wall Height (PMC 17.08.240.A)	6 feet max
Combo Retaining Wall/Fence Landscape Area (PMC 17.08.240)	0 to 4 feet max for retaining wall and 5 feet max for fence (varies)

- 1 All dimensions are minimum unless otherwise stated and apply to Lots 1-63, except as described below in Note 2.
- 2 Minimum setbacks apply to typical lot configurations only. Setbacks for irregular shaped lots (Lots 17, 20, 36, 37 and 39) vary and may be reduced, depending on the specific lot conditions, but can't project into setback beyond original footprint. See Development Review Plan (22-0003) for irregular lot setbacks.
- 3 See Section 3.3.2.A for permitted encroachments into minimum setbacks.

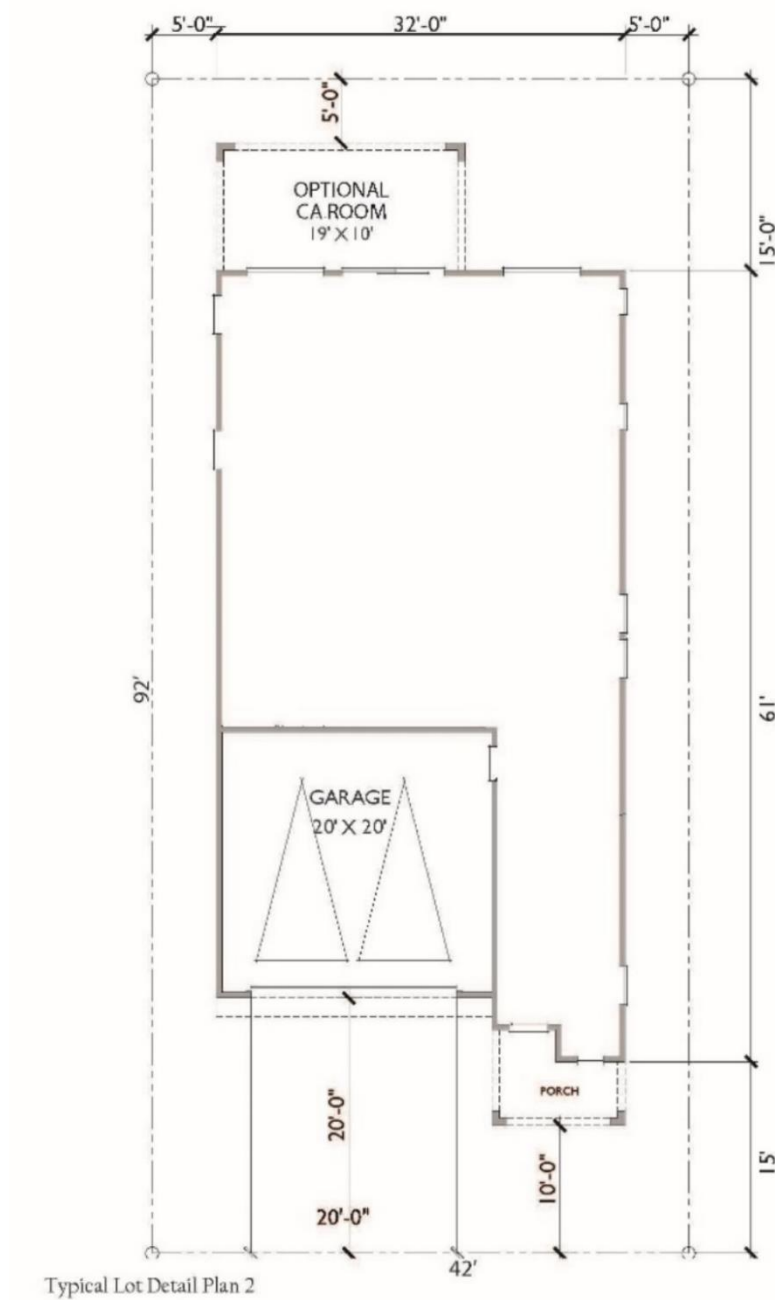
Residential Private Open Space Requirements: Each residential lot shall provide private outdoor open space areas equal to 10 percent of the home square footage. The full rear yard private open space on a typical lot is approximately 620 square feet, which exceeds the 10 percent private open space minimum requirement. Rear yards, including California Rooms, porches and side yard areas located behind side/rear yard fencing shall be counted toward meeting the private open space minimum requirement. Where the California Room is provided, it is included in the minimum rear yard area calculation and shall receive credit toward the 10 percent private open space requirement. Final calculations to be provided during final engineering.



Typical Lot Detail Plan 1

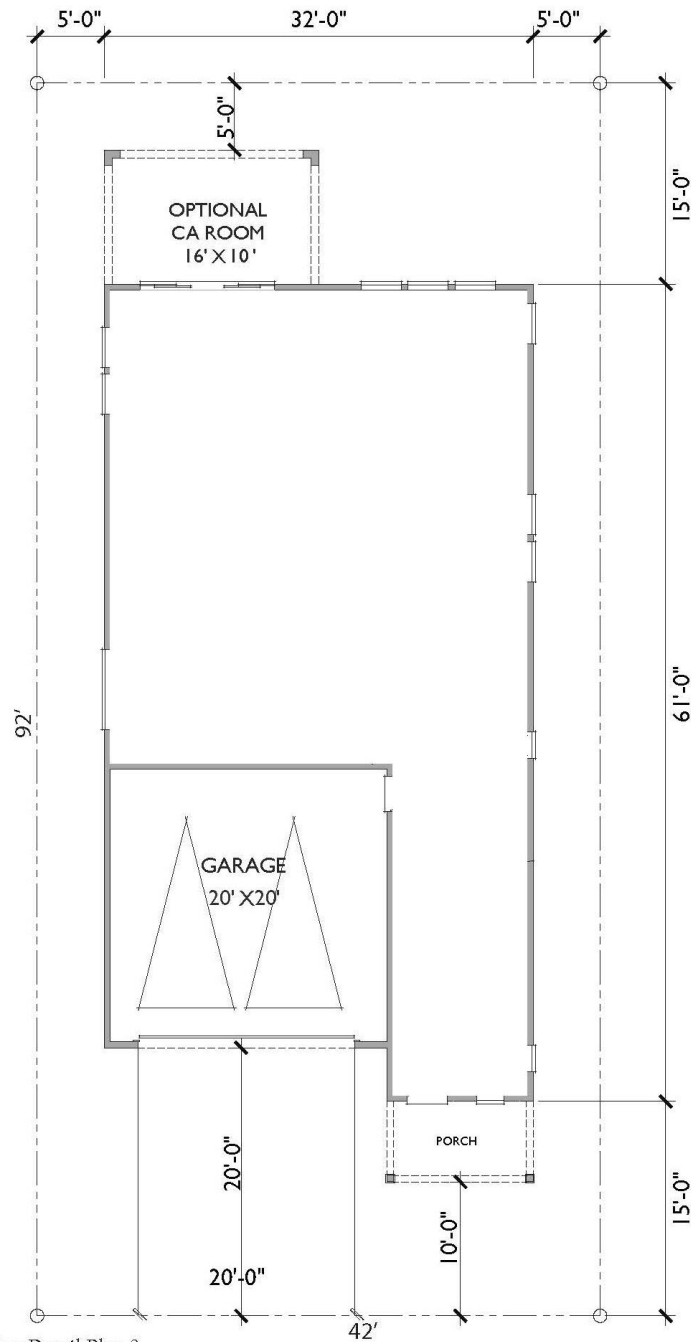
Note: All setbacks are minimum dimensions. Minimum setbacks apply to typical lot configurations only. Setbacks for irregular shaped lots (Lots 17, 20, 36, 37 and 39) vary and may be reduced depending on the specific lot conditions. See Development Review Plan (22-0003) for irregular lot dimensions and setbacks.

Exhibit 3.2: Typical Lot Details – Residential Single Family



Note: All setbacks are minimum dimensions. Minimum setbacks apply to typical lot configurations only. Setbacks for irregular shaped lots (Lots 17, 20, 36, 37 and 39) vary and may be reduced depending on the specific lot conditions. See Development Review Plan (22-0003) for irregular lot dimensions and setbacks.

Exhibit 3.2: Typical Lot Details – Residential Single Family (continued)



Typical Lot Detail Plan 3

Note: All setbacks are minimum dimensions. Minimum setbacks apply to typical lot configurations only. Setbacks for irregular shaped lots (Lots 17, 20, 36, 37 and 39) vary and may be reduced depending on the specific lot conditions. See Development Review Plan (22-0003) for irregular lot dimensions and setbacks.

Exhibit 3.2: Typical Lot Details – Residential Single Family (continued)

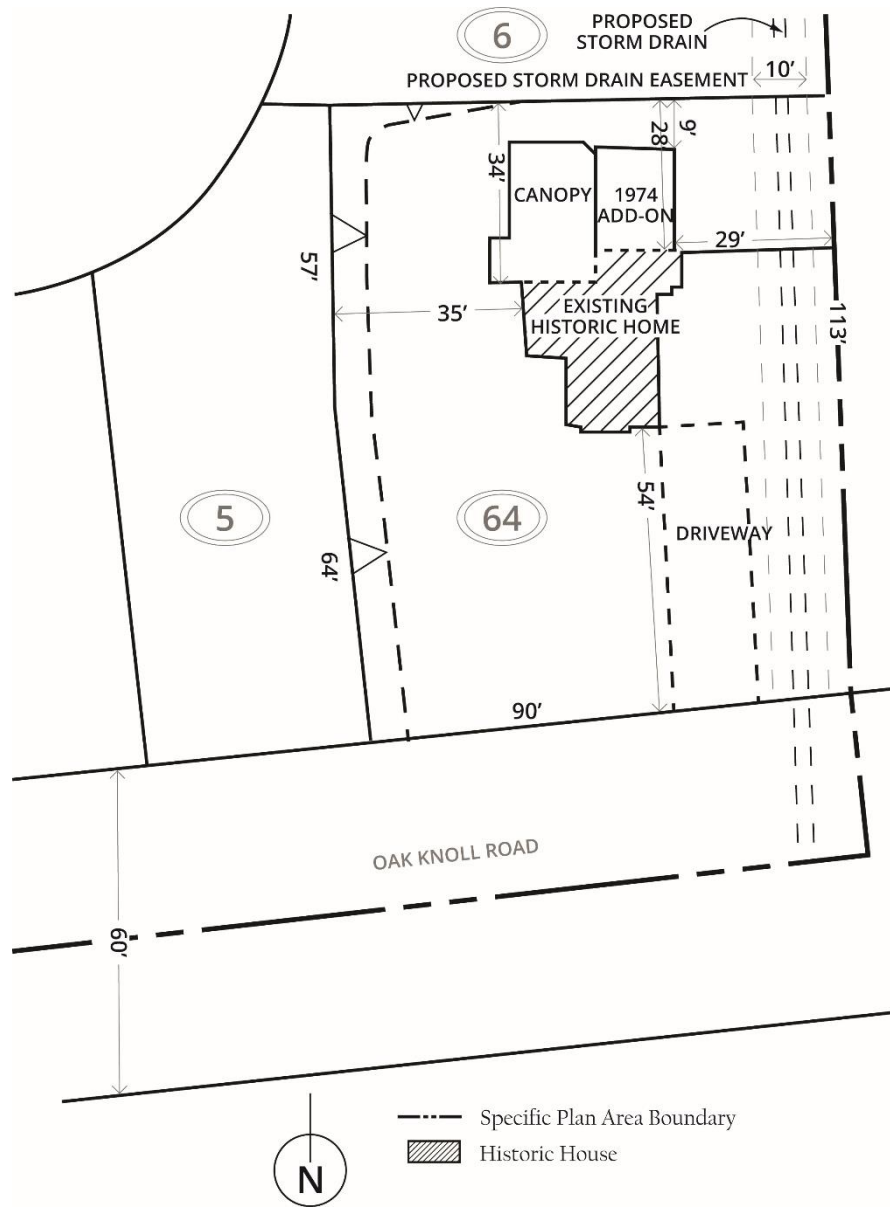


Exhibit 3.3: Proposed Historic Home Setbacks²

² Lot 64 must comply with PMC 17.45 Historical Structures. Setbacks established on Exhibit 3.3: Proposed Historic Home Setbacks (Front 54', side (east) 29', side (west) 35' and rear 6') may not be modified and no further encroachments are permitted. Lot 64 may not be subdivided in the future, except as permitted in the PMC.



Exhibit 3.4: Proposed Historic Home Setting

A. Residential Encroachments

- (1) Stoops, steps and architectural features such as eaves, awning, chimneys and balconies, stairways, wing walls and/or bay windows may project not more than four feet into any required front or rear setback area, or into any required side setback area but not more than one-half of said required side setback.
- (2) Open front porches may encroach up to five feet into the required front setback and may be counted toward meeting the private open space requirement.
- (3) Swimming pools or spas, diving boards, slides and similar devices, shall be located a minimum of three feet from the main residence on the lot and at least three feet from the property line and shall comply with all PMC safety requirements. In no instance shall swimming pools or spas be located within the front yard setback.
- (4) Refer to Section 3.3.2.B for permitted accessory structure encroachments, including California Rooms.

B. Residential Accessory Buildings and Structures

Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) are permitted on all residential lots to provide opportunities for multi-generational living and rental units that fulfill the need for diverse and more affordable housing options in accordance with PMC Section 17.08.180(A).

California Rooms

California Rooms are transitional spaces that provide indoor-outdoor living space in a partially enclosed room. California Rooms often include built-in lighting, overhead fan, media cabinet and/or similar features designed for relaxation and entertainment. Sliding or folding doors provide access to the home, which can be opened to make interior spaces feel larger and more connected to the rear yard. A California Room is attached to the home and is usually integrated into the home's floor plan and roof plan. All California Rooms shall meet the following requirements, unless otherwise approved by the Director of Development Services:

- (1) The square footage of the California Room shall be counted toward meeting the minimum 10 percent private open space requirement.
- (2) A minimum of 50 percent of the California Room's walls shall remain open or include operable doors or windows that open to the rear or side yard.
- (3) The California Room may extend a maximum of 50 percent of the width of the primary building.
- (4) The California Room may extend into the rear yard setbacks up to 10 feet but shall maintain a minimum five-foot rear yard setback.
- (5) The size of the California Room may be reduced to ensure conformance with the minimum rear setback requirements.

- (6) The second story living space above the California Room shall adhere to the setback requirements of the primary building.

C. Other Residential Accessory Buildings & Structures

- (1) Second story balconies and decks are prohibited on lots adjacent to existing residential lots (Lots 6-17).
- (2) Structures including, but not limited to, a trellis, storage building, pool, spa, outdoor kitchen, etc. and trees are not permitted within the storm drain easement located at the rear property line of Lots 6 to 11 and the northeast side of Lot 64.
- (3) Overhead trellis or patio covers must be 50 percent open and must meet the minimum side and rear setback requirements.
- (4) Storage sheds shall be located a minimum of three feet from the main residence on the lot and at least five feet from the property line. In no instance shall storage sheds be located within the front yard or side yard setback.

3.3.3 Residential Performance Standards

The noise level emanating from any residential use or operation within the Residential (R-SF) Land Use District shall not exceed 60 dBA CNEL as the acceptable outdoor noise exposure level when measured at the property line. The interior noise level shall not exceed 45 dBA CNEL within the R-S Land Use District.

3.4 Temporary Uses

The following temporary uses are permitted throughout the Specific Plan Area:

- (1) Religious, patriotic, historic, holiday or similar displays or exhibits are permitted on a temporary basis, within residential front yards or within the OS-R Land Use District in accordance with the PMC.
- (2) Prior to initial sale of all residential lots, a subdivision sales office and model home complex shall be permissible, subject to all of the following minimum requirements:
 - A parking lot shall be provided with a sufficient number of parking spaces.
 - Temporary sales offices shall be removed no later than 60 days after the sale of the last house. Annual review by the City for compliance with the conditions of approval may be required.
 - Faithful performance bonding in an amount appropriate to guarantee removal and/or conversion of the sales office and associated facilities shall be required.
 - Other conditions that the Director of Development Services deems necessary to assure that the sales office will not constitute a nuisance or be objectionable to the residential uses in the neighborhood.

- (3) Additional uses determined by the PMC or the Director of Development Services to be consistent and comparable with permissible uses in **Table 3.4: Residential Permitted Uses**.

3.5 Parking Regulations

Parking regulations are intended to provide adequate parking with sufficient capacity to minimize impacts to residential streets, provide safe circulation to minimize traffic conflicts and promote public safety and preserve an attractive visual character within and around the Specific Plan Area. Parking shall meet the requirements of the PMC, unless otherwise specified herein. Recreational vehicle and trailer parking is prohibited.

3.5.1 On-Street Parking

As described in **Chapter 4: Mobility & Parking**, on-street parking is provided along certain Private Streets within the neighborhood to serve as additional guest parking for residents. See **Exhibit 4.1 – Conceptual Mobility & Parking Plan** for street sections and parking locations within the Specific Plan Area. The following standards apply to on-street parking:

- 1) Parallel parking spaces shall provide a minimum dimension of 8 feet x 22 feet.
- 2) Perpendicular parking spaces shall provide a minimum dimension of 9 feet x 19 feet.
- 3) Recreational vehicle and trailer parking is prohibited.

3.5.2 Residential Off-Street Parking

Off-street parking for residential uses shall be provided as follows:

- (1) A minimum of two side-by-side garage spaces are required. Garage interiors shall provide a minimum dimension of 20 feet x 20 feet interior clear of obstructions.
- (2) Residential driveways shall maintain a minimum dimension of 20 feet x 20 feet.
- (3) The maximum slope for any residential driveway shall be 20 percent.
- (4) Residential driveways and other paved areas available for vehicle parking shall not exceed 600 square feet of the front yard area. A three-car driveway is prohibited.
- (5) Parking spaces shall remain free and clear of obstructions.
- (6) Each residential garage shall include overhead storage and bicycle racks.
- (7) Recreational vehicle and trailer parking are not permitted on private streets or within private driveway areas.
- (8) Semi-trucks and trailers, dump trucks, moving vans and other heavy-duty commercial vehicles shall not be parked on any residentially zoned lot for a period longer than eight hours.
- (9) Parking restrictions shall be included in the Community Association Covenants, Conditions & Restrictions (CC&Rs).

3.6 Landscape Requirements

For purposes of this section, landscaping may include ornamental and/or native landscape materials.

- (1) Landscaping and irrigation of front and street side setback areas (outside of private fenced rear yard areas) shall be installed by the developer and maintained by private homeowners. Landscaping shall consist of trees, plant materials, natural ground cover and decorative rocks, except for necessary walks, drives and fences. Artificially colored decorative rocks and mulch (organic and inorganic) are not permitted; Artificial turf is permitted in front and rear yard areas. Accent paving and hardscape (e.g. boulders, dry streambed, patterned concrete, etc.) is encouraged. No more than 25 percent of landscape areas shall consist of non-living plant materials, including rock, cobble, gravel and decomposed granite, but excluding artificial turf for residential lots and common recreation areas.
- (2) Interior side and rear yards within the fenced areas of residential lots shall include groundcover on all bare earth areas within one year of purchase unless specified otherwise by the CC&Rs.
- (3) All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash, debris. Such maintenance shall be regulated by the community CC&Rs.
- (4) Landscaping in parking areas shall include a minimum of one 15-gallon tree for every three parking spaces. Large planting islands provide for every eight to 10 parking spaces are encouraged.
- (5) Landscaping shall conform to the City of Poway Landscape and Irrigation Design Manual (March 2018), PMC Chapter 17.41, Landscape Efficiency Standards and Water Conservation Plan; PMC Chapter 8.94, Water Conservation Plan; State of California AB 1881, The Water Conservation in Landscaping Act.
- (6) A minimum of fifty percent of landscape areas shall consist of live plant materials.
- (7) Street trees shall be planted within each residential lot within a six-foot wide landscape easement established on the Final Map. Trees shall be planted and maintained consistent with the City of Poway Landscape and Irrigation Design Plan (March 2018).
- (8) Trees shall be planted in Open Space Recreation areas at an average ratio of one tree per 750 square feet (approximately 60 trees per acre). Trees shall be 15-gallon nursery container size (minimum) and at least 25 percent of the total tree quantity shall be 24-inch box size or larger. The project shall provide (a) one tree every 30 lineal feet of street frontage (24-inch box size minimum); and (b) one tree every 50 lineal feet of trail and community sidewalk. Trees shall be broad-canopy species to provide effective shading within 15 years of planting.
- (9) Plant materials shall conform to ANSI Z60 “American Standard for Nursery Stock” (latest edition) regarding condition, tree caliper/height, and other general standards and specifications for nursery container stock.

3.7 Lighting Standards

All lighting within the Specific Plan Area shall comply with Title 24 of the California Code of Regulations. In addition, lighting within the Specific Plan Area shall conform to the following unless otherwise superseded by Title 24 regulations. See **Exhibit 3.5: Lighting Concept Plan** and **Exhibit 3.6: Conceptual Lighting Details** for the conceptual location of streetlights along the private streets and landscape lighting proposed at the community entry and open space areas. The conceptual street and landscape lighting fixtures are provided in **Exhibit 3.6**. See the Harmon Ranch Conceptual Lighting Plan prepared by Visual Concepts Lighting, Inc. (December 2022) for additional details. Final lighting fixture locations and fixtures to be determined during final design/engineering.

- (1) All outdoor light fixture, including but not limited to illuminated signage, decorative building or landscape lighting, illuminated recreation areas, and parking areas shall be turned off between the hours of 11:00 p.m. and sunrise, except when used for security purposes, except for lighting of roadways, sidewalks and similar safety-related applications, or when operating hours continue after 11:00 p.m., but only as long as such facility is open.
- (2) Automatic timing devices shall be integrated into all new or modified lighting systems to turn off lights at 11:00 p.m.
- (3) All exterior lighting shall be shielded, as needed, to avoid light spillage onto adjacent streets and adjoining properties.
- (4) Lighting should be integrated into the architecture of the building to the extent feasible.
- (5) The intensity of light at the boundary of any property shall not exceed 75 foot-lamberts from the source of reflected light.
- (6) Streetlights shall be provided at a minimum spacing of one per 100 lineal feet of street.
- (7) Lighting shall comply with “Dark Sky” Policies to the greatest extent feasible.
- (8) Trees within Open Space Recreation Areas may be provided with uplighting in the locations shown on **Exhibit 2.1: Illustrative Plan**. The final lighting plan to be provided the during final landscape design phase and may include landscape lighting at the community entry and a portion of the Entry Open Space Areas (OSR-2)/

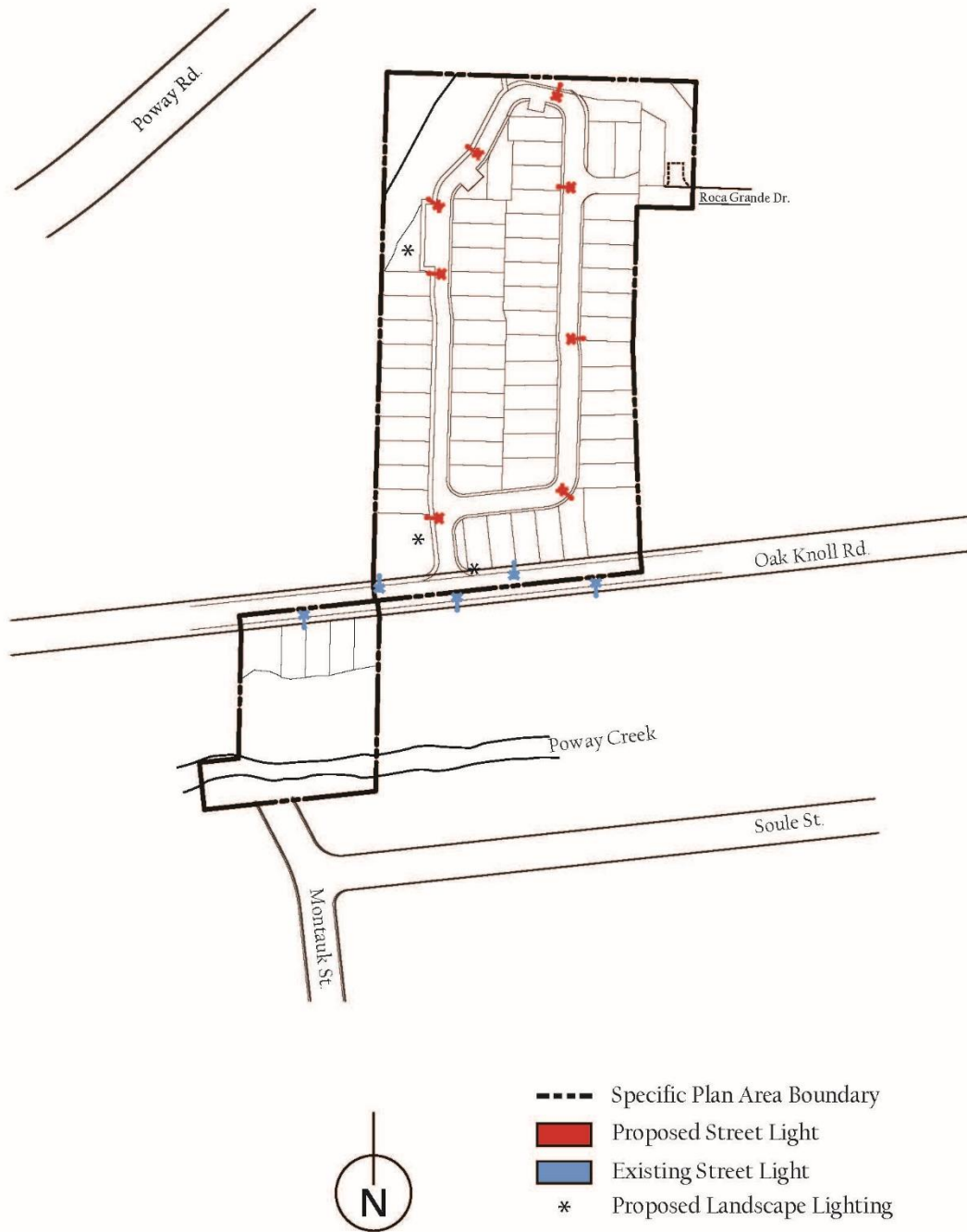
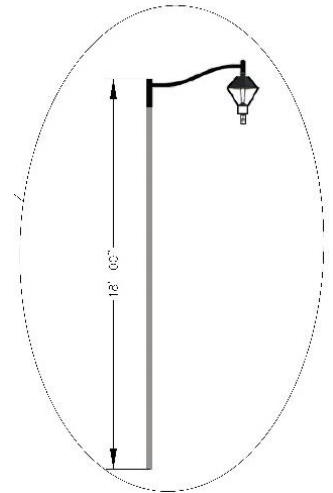


Exhibit 3.5: Lighting Concept Plan

Conceptual Street Lighting



This illustration is provided to depict the lighting aesthetic relates to each architectural style. See Exhibit 3.5: Conceptual Lighting Plan for conceptual fixture locations. Ultimate street light spacing and quantity to be finalized during final engineering.



Conceptual Streetlight Fixture

Conceptual Monument and Tree Up-Lighting (OSR)



Conceptual Tree Up- Lighting



Conceptual Monument & Tree Fixture

The conceptual location of tree and community entry lighting and fixture types are shown on the Conceptual Lighting Plan. Ultimate lighting locations, quantities and fixture to be determined during final design.

Exhibit 3.6: Conceptual Lighting Details

3.8 Walls and Fences

Requirements for walls and fences within the Specific Plan Area shall be as follows:

- (1) Fence and wall details, including proposed materials and heights are depicted in **Exhibit 3.7: Conceptual Fence and Wall Plan** and **Exhibit 3.8: Conceptual Fence and Wall Details**. See **Exhibit 3.9: Conceptual Retaining Wall & Fence Design** for proposed perimeter and internal retaining wall and fence designs. Final wall/fence heights to be determined during Final Engineering.
- (2) A wall or fence located within a street-adjacent front yard shall not exceed three feet in height.
- (3) Walls and fences at all roadway and driveway intersections shall comply with site visibility design standards by providing corner cut-offs as required by the PMC.
- (4) All fences, walls and retaining walls shall be constructed of attractive new or recycled material such as wood, vinyl, masonry or similar that is compatible with the community theme. Fences and walls shall be installed and constructed in accordance with methods that conform to the requirements of the Uniform Building Code. Additionally, all walls and fences shall be maintained in a state of good repair. Dilapidated, dangerous or unsightly fences, walls and retaining walls shall be repaired or removed.
- (5) Fiberglass sheeting, bamboo sheeting or other similar temporary materials shall not be permitted as fencing materials. Barbed wire strands, razor wire or concertina wire (coiled barbed wire) shall not be permitted as fencing material.



FENCE AND WALL LEGEND

SCALE: 1" = 150'










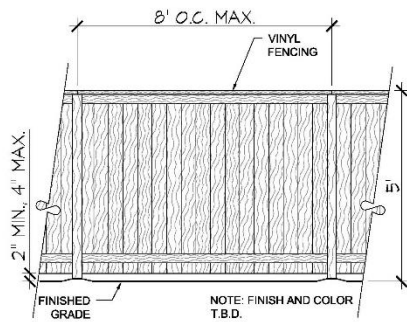
- | | | | |
|---|-----------------------------------|---|---|
|  | RETAINING WALL PER CIVIL ENGINEER |  | 42" FALL PROTECTION FENCE SUCH AS CABLE RAIL OR VINYL |
|  | 5' SIDEYARD VINYL FENCE |  | 5' COMBO WALL (2' MASONRY, 3' TUBE STEEL) |
|  | MONUMENT WALL |  | 5' DECORATIVE MASONRY BLOCK WALL |
|  | 24" SQ. CMU PILASTER |  | 5' TUBULAR STEEL FENCE |
|  | 5' VINYL COATED CHAIN LINK FENCE | | |

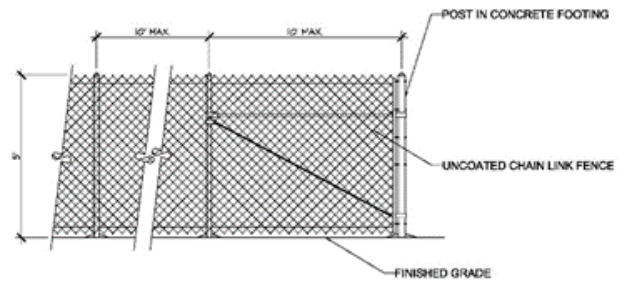
Exhibit 3.7 – Conceptual Fence and Wall Plan



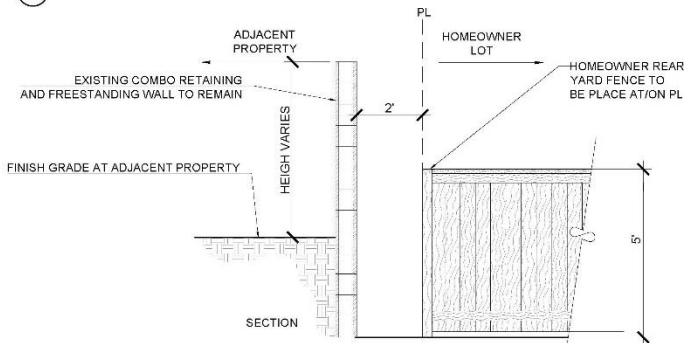
(A) MONUMENT WALL



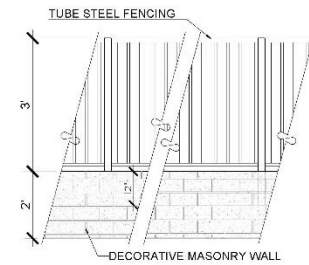
(B) VINYL FENCING



(C) CHAIN LINK FENCE



(D) VINYL FENCING AT EXISTING RETAINING WALL AT WESTERN PROPERTY LINE



(E) COMBO MASONRY WALL / T.S. FENCE



Exhibit 3.8: Conceptual Fence and Wall Details

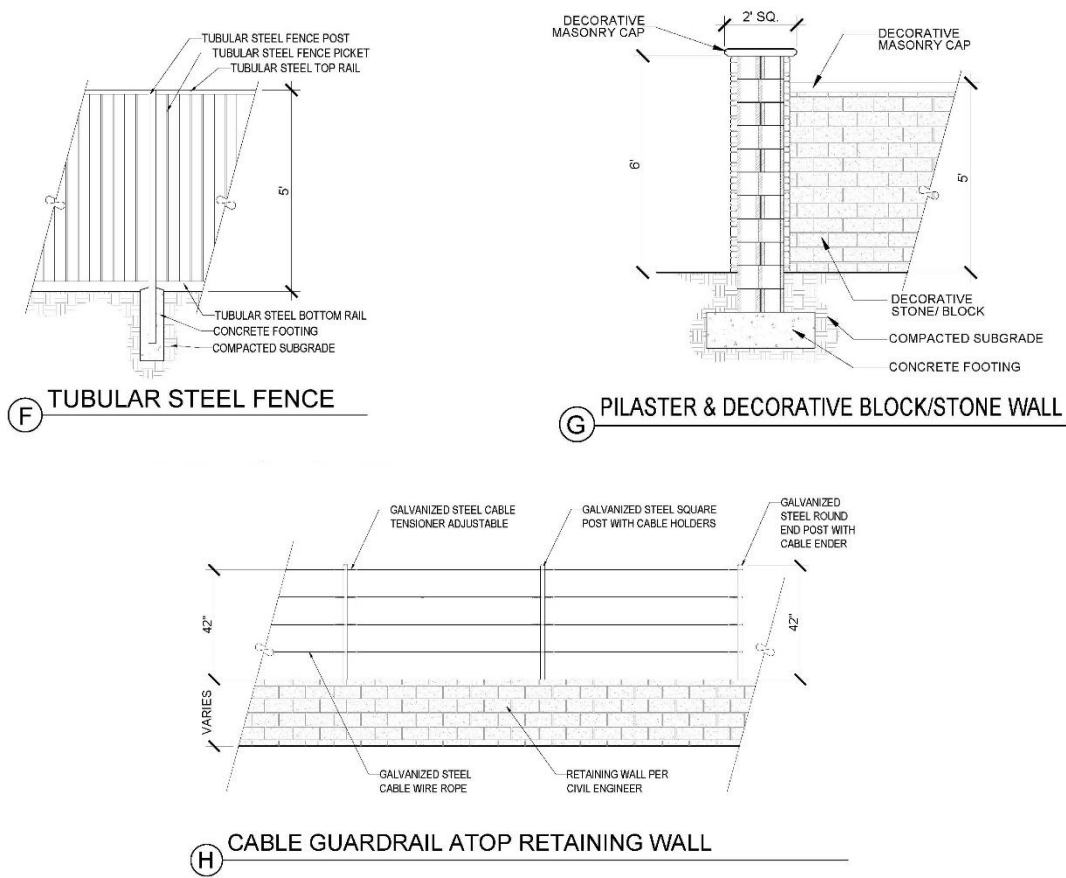


Exhibit 3.8: Conceptual Fence and Wall Details (continued)

Exhibit 3.9: Conceptual Fence & Retaining Wall Design depict the designs for combination fencing and retaining walls proposed at the perimeter and interior of the site. These designs are intended to be utilized to increase the buildable pad area of the proposed lots and/or provide additional space on the proposed lots to facilitate additional separation between proposed and existing lots to enhance the privacy of existing homeowners. The project provides 5-foot vinyl fencing in both rear and side yard conditions to provide for privacy between private lots. Where the project is adjacent to existing single family homes, a 6-foot vinyl fence is provided. The Noise Technical Report for The Harmon Ranch Project (Dudek, July 2022) determined that noise attenuation walls are not required to comply with interior or exterior sound limits (per PMC 8.08.040).

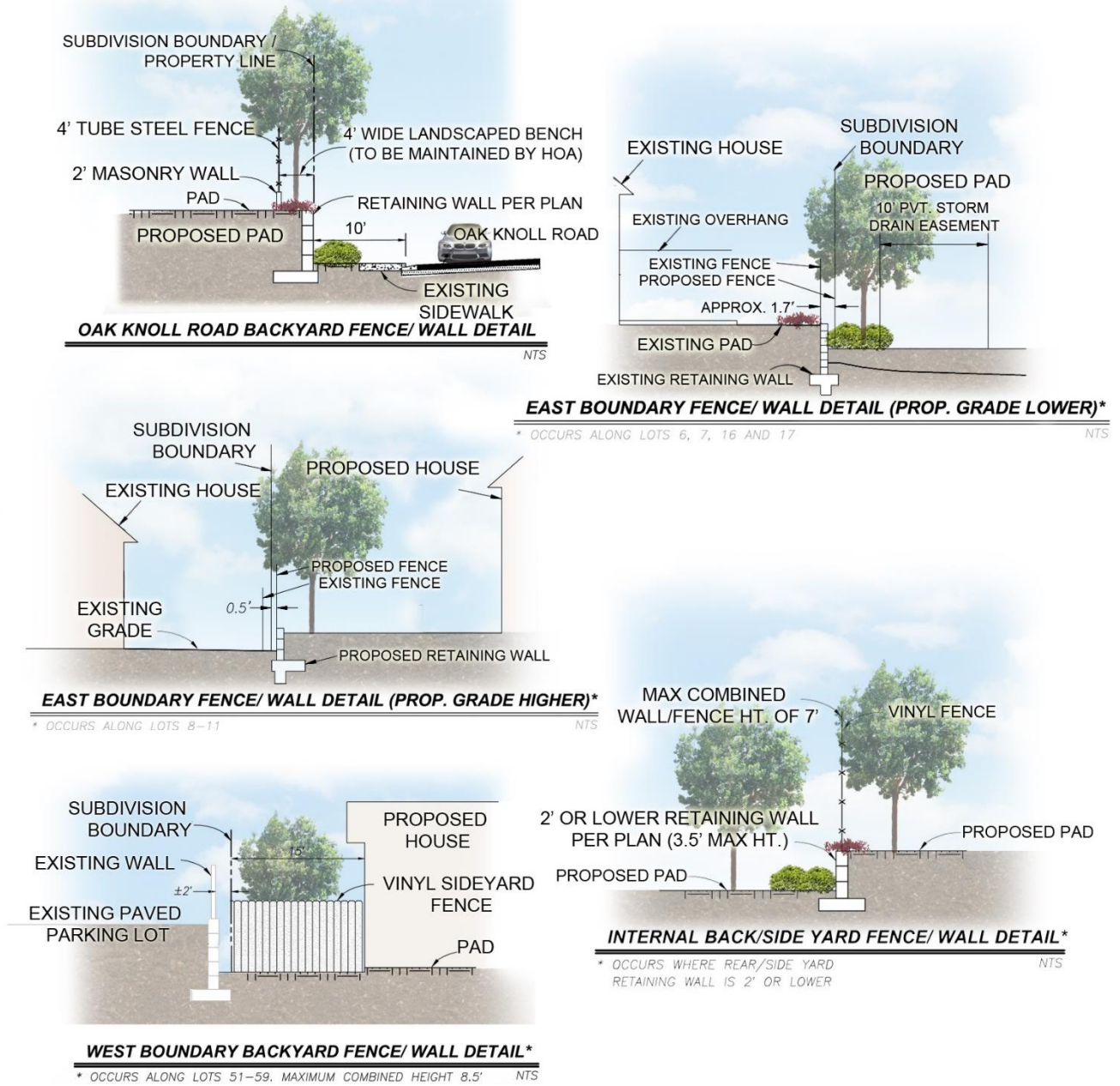


Exhibit 3.9: Conceptual Retaining Wall & Fence Design



Chapter Four

Mobility & Parking Plan

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Chapter 4 – Mobility & Parking Plan

4.0 Introduction

The Mobility & Parking Plan focuses on maintaining the rural character of the surrounding community, promoting an active lifestyle and providing safe and efficient vehicular and pedestrian access throughout the Specific Plan Area. Planned private streets provide access through the Specific Plan area. Access to the Specific Plan area is provided via existing Oak Knoll Road, a local collector road. The project includes a segment of the Community Trail identified in the Poway General Plan which has the potential to connect to the adjacent Towne Center Plaza and MTS local bus stops located on Poway Road. The objectives of the Mobility & Parking Plan include the following:

- (1) Provide safe and efficient vehicular access throughout the Specific Plan Area.
- (2) Provide adequate on-site resident and guest parking to avoid overflowing into adjacent public streets and neighborhoods.
- (3) Provide a segment of the Community Trail through the Specific Plan Area that is open to the public.
- (4) Provide safe pedestrian crossings and access to private recreational areas within the Specific Plan Area.

4.1 Street Classifications

As depicted on **Exhibit 4.1: Conceptual Mobility & Parking Plan**, the Specific Plan Area circulation is comprised of three unique private street designs (Streets A & C, B & D and E). Private streets are intentionally designed as low-speed streets to promote pedestrian and bicyclist mobility. A sidewalk or Community Trail is provided on one side of Private Streets A, B, C and D. Travel lane widths are a minimum of 24 feet as required for fire access and curved alignments create a physical condition that reduces driver comfort and forces slower speeds. Low speeds also allow the private streets to be shared with low-speed vehicles and bicycles. The internal street system consists of two types of private streets, private streets with an 8-foot parallel parking lane on one side and private streets/drive without parking. The Community Trail is planned along Street A and a portion of Street C and a sidewalk is provided along Streets B and D. A crosswalk at Oak Knoll Road is planned to provide an enhanced pedestrian crossing within the Specific Plan Area. Pedestrian crossing signs will be posted and the crosswalk will feature striping and RRFBs. A public sewer, water and access easement will be recorded over all private streets. A paved turnaround is provided at Roca Grande Drive.

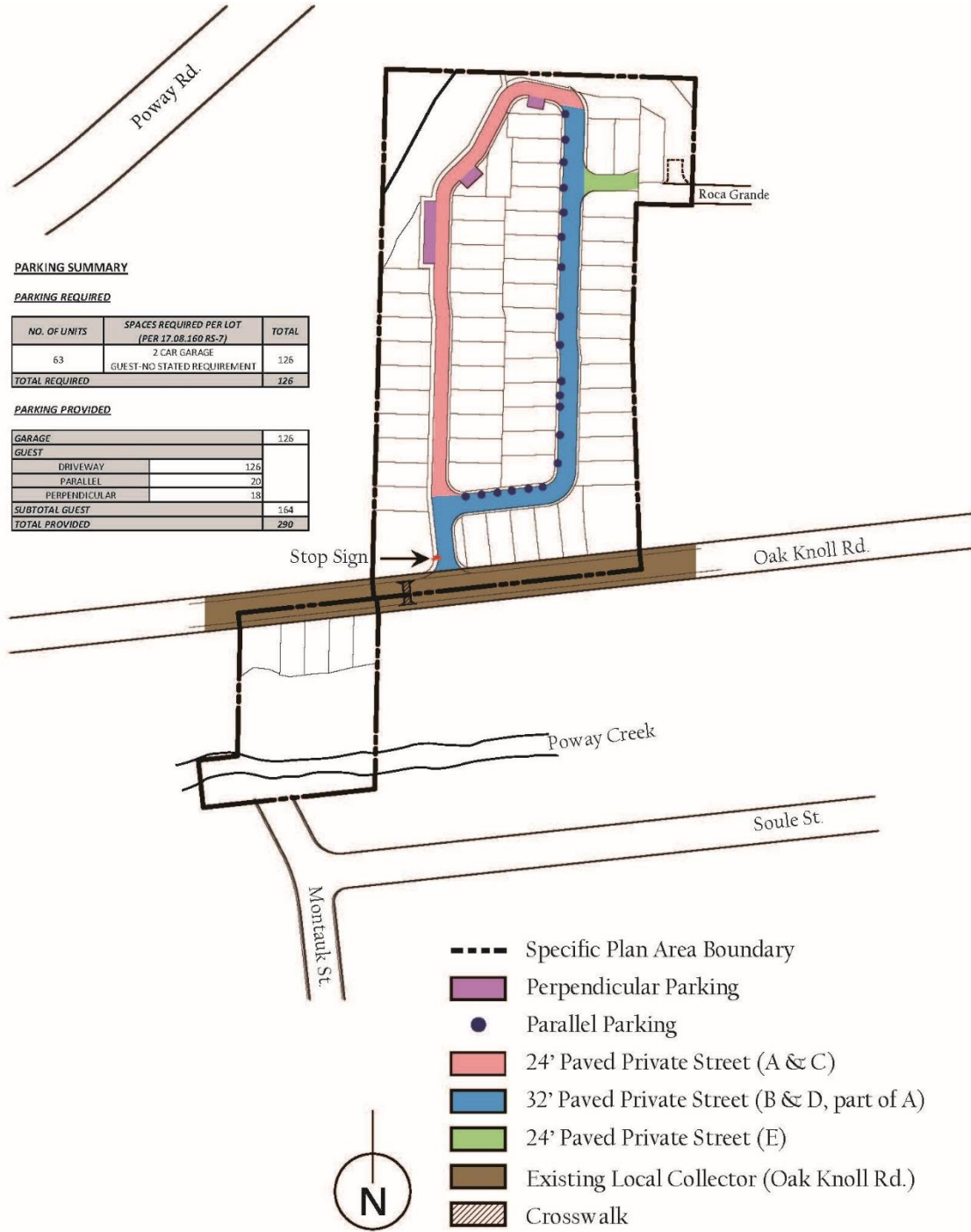
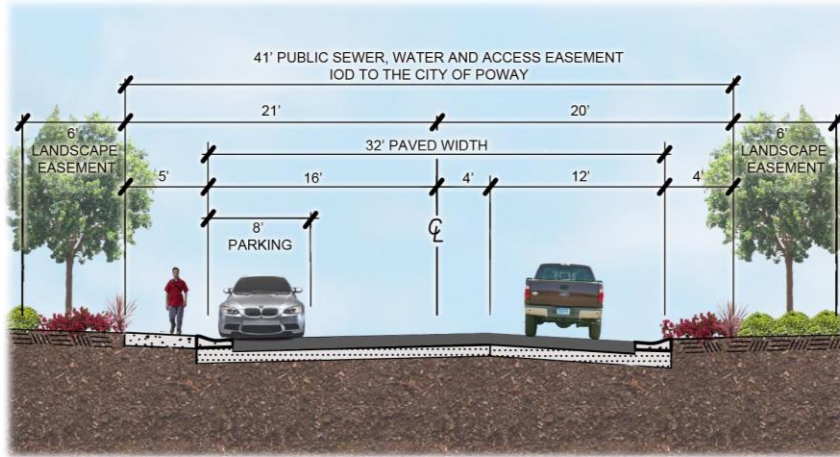


Exhibit 4.1: Conceptual Mobility & Parking Plan

Private Streets with Parking

Private streets with parking (Streets B and D) consist of a 41-foot-wide private road easement (See Exhibit 4.2: Private Street with Parking). The paved section of the roadway includes a 24-foot travel-way (one lane in each direction) plus an eight-foot parking lane on one side for a total dimension of 32 feet from curb to curb. The parking lane is accompanied by a five-foot sidewalk on one side. Shade trees will be planted in the private front yards, protected with a recorded six-foot wide landscape easement.



**32' PAVED PRIVATE STREET
STREETS 'B' & 'D', AND PORTION OF 'A'**

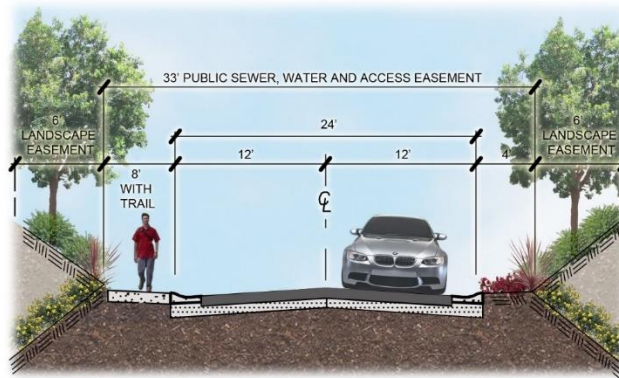
PARKING PERMITTED ON ONE SIDE OF ROAD
20 MPH DESIGN SPEED

PRIVATE ROAD

Exhibit 4.2: Private Street with Parking

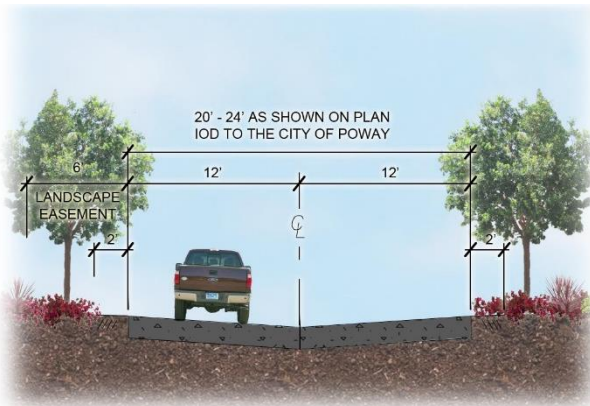
Private Streets without Parking

Private streets without parking (Streets A and C) consist of a 33-foot-wide private road easement (see Exhibit 4.3: Private Street without Parking). The paved section of the roadway includes a 24-foot travel-way (one lane in each direction) measured from curb to curb. A five-foot sidewalk is provided on one side. Shade trees will be planted in the private front yards, protected with a recorded six-foot wide landscape easement. Please note, Street E is comprised of a 24-foot travel-way (one lane in each direction) with no parking or sidewalk for the short segment serving two residential lots.



**24' PAVED PRIVATE STREET
STREETS 'A' & 'C'**

20 MPH DESIGN SPEED PRIVATE ROAD NTS



**24' PAVED PRIVATE DRIVEWAY
DRIVEWAY 'E'**

20 MPH DESIGN SPEED PRIVATE ROAD NTS

Exhibit 4.3: Private Street / Drive without Parking

4.2 On-site Parking

The proposed project is required to provide 126 on-site parking spaces, per PMC 17.08.160. The project exceeds the minimum requirements by 164 spaces, as depicted in Table 4.1: Parking Summary.

Table 4.1: Parking Summary

Units	RS-7 Requirement per PMC 17.08.160	Total
63	2 car garage	126

Parking Type	Required Spaces	Provided Spaces
Resident Parking		
2-car Garages ¹	126	126
Subtotal Resident Spaces	126	126
Guest Parking		
Private Driveways ²		126
Parallel Spaces ³		20
Perpendicular Spaces ⁴		18
Subtotal Guest Spaces		164
Total Parking	126	290

Notes:

1. 2-car garages are a minimum of 20-feet x 20-feet clear of obstructions.
2. Private Driveways are 20-feet x 20-feet.
3. Parallel parking spaces are located along portions of Streets A, B and C and are 8-feet wide x 22-feet.
4. Perpendicular parking spaces are located along Street C and a portion of Street A and are 9-feet x 19-feet.

4.3 Traffic Calming Plan

The purpose of the Harmon Ranch Traffic Calming Plan is to lower the vehicle speeds on neighborhood streets without restricting access. The overall goals of the Traffic Calming Plan are to:

- Improve the quality of life for residents;
- Reduce impacts of motor vehicles on streets;
- Create safe and attractive streets; and
- Create a friendly environment for pedestrians and bicyclists.

Traffic calming measures are designed to physically force drivers to slow down to avoid an uncomfortable driving experience. Traffic calming measures can also be designed to achieve a desired speed limit which drivers are physically compelled to meet. Design considerations include safety, maintenance, emergency vehicle access, self-enforcement and drainage. There are a variety of traffic calming measures that are widely used throughout the United States. The Harmon Ranch Traffic Calming Plan includes the traffic calming measures described in Table 4.2: Traffic

Calming Measures. The conceptual locations of proposed traffic calming measures are depicted in Exhibit 2.1: Illustrative Site Plan. The final locations of these measures will be determined during final engineering.

Table 4.2: Traffic Calming Measures

Traffic Calming Measure	Description	Benefit/Target
Gateway	Gateway treatments include the use of signs, landscaping, enhanced paving and community identification monuments placed at the entrance to a neighborhood announcing to motorist that they are entering a community where there is a significant change in the driving environment.	<ul style="list-style-type: none"> • Reduces speed • Improves safety • Enhances community aesthetics
Lane Narrowing	Travel lanes are narrowed by reducing the paving width from standards	<ul style="list-style-type: none"> • Reduces speed • Improves safety • Provides multi-modal accommodations
On-Street Parking	Striped diagonal parking or parallel parking along one or both sides of a street	<ul style="list-style-type: none"> • Reduces speed • Improves safety
Enhanced Paving	Physical measures such as colored, patterned and textured pavement within the travel lanes	<ul style="list-style-type: none"> • Reduces speed • Encourages safe and appropriate driving behavior • Enhances pedestrian safety • Enhances community aesthetic
Mid-Block Crossing	A mid-block crossing is intended to slow traffic and allow enhanced pedestrian crossings mid-block. Physical measures such as pedestrian crossing signage and RRFBs	<ul style="list-style-type: none"> • Reduces speed • Enhances pedestrian safety • Provide multi-modal accommodations where appropriate

4.4 Community Trail

An eight-foot-wide segment of the Community Trail is planned between Oak Knoll Road and the north portion of the Specific Plan Area. As planned in the Poway General Plan, the Community Trail may connect to the Towne Center Plaza in the future, subject to the adjacent property owner's cooperation. The Community Trail is planned along Street A and a portion of Street C. See Exhibit 2.1: Illustrative Plan for the Community Trail location.



Chapter Five

Community Design Guidelines

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Chapter 5 – Community Design Guidelines

5.0 Introduction

The purpose of this chapter is to establish architectural and landscape guidelines intended to create a harmonious and intimate residential neighborhood, complimentary to the rural character of existing neighborhoods.

5.1 Architectural Design Guidelines

Architectural guidelines will provide the architectural styles, colors, and variety of elevation plotting to create a vibrant streetscape and avoid a street scene that appears repetitive.

Architectural Design Guideline objectives include the following:

- Provide a diverse palette of architectural styles compatible with the rural character of surrounding neighborhoods.
- Promote diversity in the residential street scene and create individuality between homes.
- Avoid a monotonous streetscape by incorporating a variety of architectural elements on the front elevations.
- Utilize a variety of muted colors and quality materials that align with the character and design of the intended architectural styles.

5.1.1 Architectural Styles

To promote diversity in the residential street scene and create an interesting mix of architectural styles which are compatible with the existing rural character of surrounding neighborhoods, the following architectural styles will be implemented within Harmon Ranch:

- Santa Barbara
- Ranch
- Farmhouse
- Monterey



Exhibit 5.1 Conceptual Architectural Elevations

The following section describes each architectural style in greater detail. Styles may be represented as traditional or contemporary interpretations. A summary of Typical Features is intended to identify the minimum characteristics, such as massing, materials and roof form that are needed to successfully express the architectural style. Common Enhancements include features that may be provided but are not required within each particular style of home. Common Enhancements are provided to inspire additional design elements that may be added to further support the expression of the selected style.

A. Santa Barbara

In reference to the Mediterranean and formal Spanish Revival styles, the structural elements of Santa Barbara architecture include long and rectangular forms accentuated by horizontal massing of single-story roof elements utilizing low pitched roofs. The style is marked by the prominent use of smooth plaster (stucco) wall and built-up stucco eaves; clay tile hip, shed, or flat roofs; and arched elements. Other characteristics typically include small porches or balconies, taller windows or fenestrations, window shutters, canvas awnings, decorative patterned tile and iron detailing.



Table 5.1: Santa Barbara Style Characteristics

Element	Typical Features	Common Enhancements ¹
Massing	<ul style="list-style-type: none"> • Horizontal massing with some vertically accented elements. 	
Roof	<ul style="list-style-type: none"> • Single story roof edges • Shallower roof pitches: 3:12 to 5:12 • Hip and/or gable roof form • Overhang: 6” – 18” eaves with tighter rakes conditions • Built up stucco eave • Barrel or ‘S” tile roofing 	<ul style="list-style-type: none"> • Exposed rafters • Boosted roof tiles
Primary Entry Feature	<ul style="list-style-type: none"> • Front porch with simple arched openings • Rectangular shaped door • Header trim • Surface mounted lighting at entry to complement style 	<ul style="list-style-type: none"> • Decorative tile surround
Windows	<ul style="list-style-type: none"> • Multi-paned windows on front and highly visible side and rear elevations • Simple window trim accents 	<ul style="list-style-type: none"> • Bay windows • Thickened header trim • Shutters • Window Boxes
Wall Cladding	<ul style="list-style-type: none"> • Sand finished stucco 	
Garages	<ul style="list-style-type: none"> • Raised panel garage door • Header trim 	<ul style="list-style-type: none"> • Carriage door appearance • Surface mounted lighting complementary to style • Corbels at corners or arch header
Colors	<ul style="list-style-type: none"> • Body: Light neutral tones • Trim: Darker earth tones • Accents: Light or dark shades in contrast with body color 	

¹ Common Enhancements include features that may be provided but are not required within each particular style of home.

B. Farmhouse

The Farmhouse style represents the typical American farmhouse, which can be found throughout the United States. Farmhouses became a symbol of the rural agrarian style, its simplicity, and functionality. Originating during colonial times, early examples of the farmhouse style borrowed design elements from Cape Code and other Colonial styles including dormers, broad and wrapped front porches and symmetrical massing. Modification to the style over time reflected advancements in construction techniques and the availability of local materials. Today a resurgence in popularity of this style is expressed in the Modern Farmhouse, which combines the predominant design features expressed with simplified, contemporary lines and minimal but thoughtful detailing that is rustic and utilitarian in appearance.



Table 5.2: Farmhouse Style Characteristics

Element	Typical Features	Common Enhancements ¹
Massing Roof	<ul style="list-style-type: none"> • Simple symmetrical or asymmetrical • Steep roof pitch: 6:12 to 12:12 • Gable roof form • Deep overhang: 12” – 16” • Open eaves • Smooth, flat concrete tile (shingle appearance) and/or metal (metal roof materials limited to gabled dormers, cupolas, weather vanes, porches, verandas and accent roofs) 	<ul style="list-style-type: none"> • Gabled dormers • Cupolas • Weather vanes
Primary Entry Feature	<ul style="list-style-type: none"> • Rectangular shaped door • 2-6 panels and/or glass panes in door • Front porch with simple squared supports and shed roof • Surface mounted lighting at entry to complement style 	<ul style="list-style-type: none"> • Porches • Simple wood railings on porches • Thickened header trim • Porch supports with piers, double squared columns and/or battered columns • Dutch doors
Windows	<ul style="list-style-type: none"> • Vertical, two-over-two windows on front and highly visible side and rear elevations • Simple window surrounds (minimum 2x4) 	<ul style="list-style-type: none"> • Bay windows • Multi-paned windows • Thickened header trim • Extended sills • Shutters • Window boxes
Wall Cladding	<ul style="list-style-type: none"> • Horizontal and/or vertical siding (may be combined with stucco) • Changes in material type or direction to create a finished look 	
Garages	<ul style="list-style-type: none"> • Raised panel garage door 	<ul style="list-style-type: none"> • Barn door or carriage door appearance • Surface mounted lighting complementary to the style
Details Colors	<ul style="list-style-type: none"> • Body: Whites or light tinted colors • Trim: Whites or light shades complementary to body color • Accents: Light or dark shades in contrast with body color 	<ul style="list-style-type: none"> • Louvered attic vents

¹ Common Enhancements include features that may be provided but are not required within each particular style of home.

C. Ranch

Inspired by the ranch houses and haciendas built in California during the late 1800s, architect Cliff May adapted this style in the mid-1930s to meet the needs of large families. The Ranch home incorporates many of the original design concepts including strong indoor-outdoor relationships, low-to-the-ground and horizontal massing and casual living with open floor plans that maximize living space and the enjoyment of California's mild climate. Materials typically include siding, brick and stucco. Although Ranch style homes were predominantly single story, two-story ranch homes focus on maintaining vertical massing through proper roof design and limited or recessed second stories.

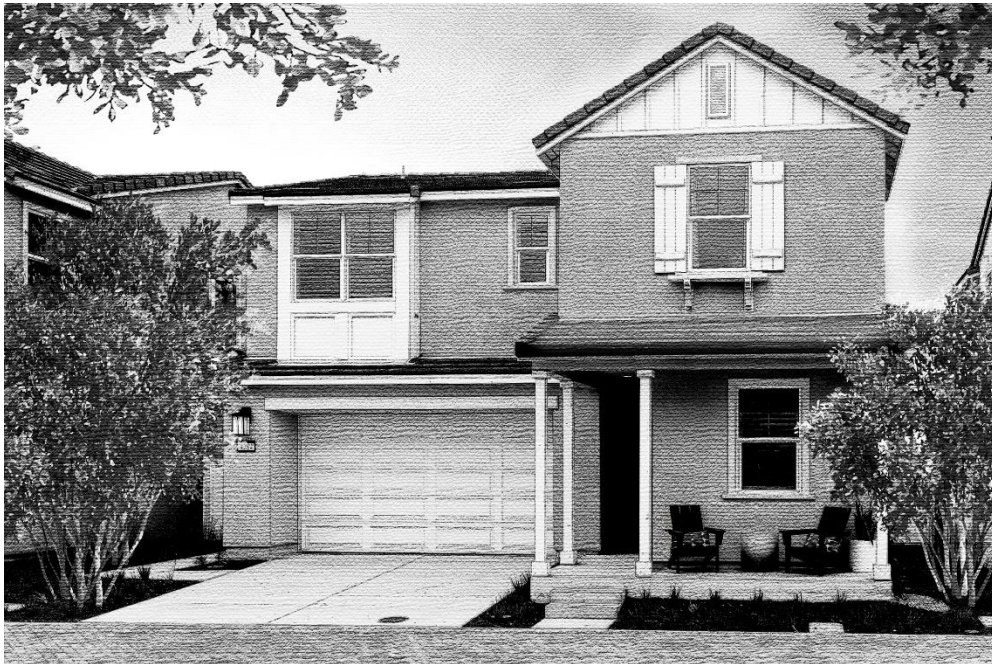


Table 5.3: Ranch Style Characteristics

Element	Typical Features	Common Enhancements ¹
Massing	<ul style="list-style-type: none"> Horizontal massing with strong indoor-outdoor connectivity 	
Roof	<ul style="list-style-type: none"> Steep roof pitch: 4:12 to 5:12 Hip and/or gable roof form Deep overhang: 18" – 24" Open eaves Smooth, flat concrete tile (shingle appearance) 	<ul style="list-style-type: none"> Dormers Deeper overhangs up to 36" Exposed rafters
Primary Entry Feature	<ul style="list-style-type: none"> Rectangular shaped door 2-6 panels and/or glass panes in door Simple door surrounds, minimum 2'x6' Front porch with simple squared supports Surface mounted lighting at entry to complement style 	<ul style="list-style-type: none"> Simple wood railings on porches Side lites Thickened header trim above door. Porch supports with double squared columns or thickened square columns
Windows	<ul style="list-style-type: none"> Multi-paned windows on front and highly visible side and rear elevations Simple window surrounds (minimum 2'x6') 	<ul style="list-style-type: none"> Bay windows Thickened header trim Extended sills Shutters Window Boxes
Wall Cladding	<ul style="list-style-type: none"> Horizontal and/or vertical siding (may be combined with stucco) or stucco with masonry or shingle siding Changes in material should occur on an inside plane or be separated by a raised horizontal band 	
Garages	<ul style="list-style-type: none"> Raised panel garage door 	<ul style="list-style-type: none"> Carriage door appearance Surface mounted lighting complementary to style
Details		<ul style="list-style-type: none"> Masonry chimney and accents Louvered attic vents
Colors	<ul style="list-style-type: none"> Body: Light to dark earth tones Trim: Off-whites or earth tones to contrast body color Accents: Light or dark shades in contrast with body color 	

¹ Common Enhancements include features that may be provided but are not required within each particular style of home.

D. Monterey

The Monterey Style originated in Southern California while still under Mexican rule. Monterey style homes are easily identified by the second story front balcony that dominates the front elevation. Although Spanish in origin, the Monterey style often incorporates materials such as brick and roof shingles, which are typically expressed in other Spanish architectural styles. This deviation from the typical Spanish palette of materials makes Monterey style highly versatile and complementary to a wide range of other architectural styles.



Table 5.4: Monterey Style Characteristics

Element	Typical Features	Common Enhancements ¹
Massing	<ul style="list-style-type: none"> Symmetrical or asymmetrical, rectangular, horizontal 	
Roof	<ul style="list-style-type: none"> Low to moderate roof pitch: 4:12 to 7:12 Gable roof form Shallow to moderate overhang: 12” – 24” Open eaves Barrel or ‘S” tile roofing 	<ul style="list-style-type: none"> Dormers Deeper overhangs up to 36” Exposed rafter tails and/or beams Shed roof at single story elements or balcony
Primary Entry Feature	<ul style="list-style-type: none"> Rectangular, arched or flat arched shaped door Planked or paneled appearance; for paneled doors, a minimum of 2-6 panels Simple door surrounds Covered stoop or porch Surface mounted lighting at entry to complement style 	<ul style="list-style-type: none"> Grates, speak easy or limited lites in door Rustic hardware such as strap hinges Thickened and/or shaped header trim at door Shaped balcony columns, railings and supports
Windows	<ul style="list-style-type: none"> Vertical, multi-paned windows on front and highly visible side and rear elevations “Wood” or stucco on foam window surrounds or recessed windows 	<ul style="list-style-type: none"> Vertical window groupings Thickened and/or shaped header trim Extended sills Shutters Deeply recessed windows Masonry or masonry accents
Wall Cladding	<ul style="list-style-type: none"> Stucco 	
Garages	<ul style="list-style-type: none"> Raised panel garage door 	<ul style="list-style-type: none"> Carriage door appearance Surface mounted lighting complementary to style
Details		<ul style="list-style-type: none"> Painted arbor or vine trellis Masonry chimney and accents Brackets, corbels and/or braces, particular at balcony cantilever Metal gates, grills and similar accents
Colors	<ul style="list-style-type: none"> Body: White or light beige Trim: Off-whites, rust or light to dark browns Accents: Greens, blues and reds 	

¹ Common Enhancements include features that may be provided but are not required within each particular style of home.

5.1.2 Street Scene Plotting

The primary goal of these guidelines is to create attractive, diverse and interesting street scenes that do not appear as a monotonous pattern of similar homes. To achieve this goal, the proposed community includes three floor plans ranging from 2,638 to 3,135 square feet featuring four bedrooms, three bathrooms and a two-car garage. Four architectural styles will be mixed between the three plans to increase diversity of character and interest throughout the neighborhood. To achieve this goal, the mix of floor plans and elevation styles should seek to achieve the following:

- (1) Provide a minimum of three floor plans and elevations.
- (2) For each series of elevations, select architectural styles that are noticeably different in appearance to ensure visual variation between homes.
- (3) Homes with the same combination of floor plan and elevation should not be plotted immediately adjacent to or face one another.

5.1.3 Roof Forms

The visibility of homes from a distance is influenced by the variety of roof forms and heights. In addition, the roof form is the defining element of architectural style and can serve to greatly reduce the perceived mass and scale of a home from the street. The following guidelines are provided to soften the impact of roof massing on individual homes as well as the overall street scene:

- (1) Vary ridge heights, roof forms and roof pitch between adjacent homes to avoid similar silhouettes and achieve undulation in the skyline.
- (2) Provide a variety of roof forms such as hipped roofs, gabled roofs, shed roofs, dormers to break up mass, reinforce style and create perceptible differences between adjacent homes.
- (3) Design rakes and eaves to reflect the architectural style of individual homes and contribute to the architectural quality of the community.
- (4) When provided, exposed rafter tails should measure a minimum of four inches and be painted or stained to match the color scheme of the home.
- (5) When appropriate to style, broad eaves are encouraged to provide passive shading and cooling.

5.1.4 Entry Design

The design of the front door entries plays a crucial role in establishing curb-appeal and a pedestrian friendly street scene. The front door represents the interface between the public realm and private living space. Entries should be the primary focus of the front elevation. The following guidelines apply to entry design:

- (1) Front doors should be designed to face the street whenever possible.

- (2) Entry design should be consistent with the architectural style to include door style, material surrounds, lighting and hardware.
- (3) Front entries should be covered by a minimum of 48 inches deep overhang, porch or similar projection to protect residents and visitors from inclement weather conditions.
- (4) Incorporate porches or other appropriate elements to primary entrances to enhance primary entries, create a sense of arrival and express the architectural style of the home.
- (5) Use color and materials to further enhance entries and convey their importance in the overall composition of the front elevation.

5.1.5 Windows

Windows are a major component of the elevation design and can be used to convey the architectural style of the home. The following guidelines apply to the selection and placement of windows when designing elevations:

- (1) Select windows with proportion, shape and size appropriate to the architectural style and overall composition of the elevation.
- (2) Placement of windows should reflect interior spaces, consider privacy of neighbors and encourage visual surveillance of the street, open space areas and other public areas.
- (3) When provided, multi-paned windows may be achieved by providing true divided lites, insert grids or applied grids.
- (4) When provided as appropriate to the architectural style, shutters should appear functional and sized to match the size of the adjacent window.
- (5) Window hardware and details such as grates and pot shelves should be appropriate to the architectural style of the home.
- (6) Recessed windows should have a minimum depth of 12 inches.
- (7) Select high-performance windows in accordance with CalGreen to promote energy conservation and thermal comfort.
- (8) Windows may be vinyl-wrapped, fiberglass, wood clad or wood.
- (9) When applied to siding, stone or brick, trim materials should consist of wood or have a wood-like appearance. On stucco surfaces, trim may consist of stucco or foam.

5.1.6 Exterior Lighting and Fixtures

Lighting of residential lots should focus on providing safety and security as well as enhancing the street scene. The need for security and safety must be balanced with preserving the rural character of the community. While light should be adequate to create a welcoming appearance from the street, preserving the visibility of the night sky and the privacy and comfort of adjacent homes is important to maintaining harmonious relationships between neighbors and reducing excessive sky glow. Appropriate lighting for residential lots can be achieved as follows:

- (1) Provide lighting along walkways and entries to welcome visitors and create safe walking conditions at night. Each home should be provided with at least one light fixture at each entry to the home.
- (2) Use lighting to illuminate dark spaces and maximize the visibility of entry points into the home to deter criminals from hiding or breaking in through windows or doors.
- (3) All lighting should consider neighboring properties by directing and shielding light downward to avoid spilling onto adjacent residences or into neighbor's windows.
- (4) When highlighting architectural or landscape features, opt for lighting designs that achieve security and aesthetics.
- (5) Select lighting fixtures that are complementary in style, color and materials to the architecture of home. Consider using lighting fixtures as focal point features where appropriate to reinforce the architectural style.
- (6) When lighting is provided in garage soffits, light sources should be recessed and not surface mounted.
- (7) Addresses should be illuminated so they are readily visible from the street in accordance with fire department standards.

5.1.7 Colors, Materials and Details

Color, material and detail selections offer an effective method of creating discernibly different homes along a street. Selections should reflect the intended architectural style and should be applied to convey high quality construction as provided in the following guidelines:

- (1) Select a varied palette of colors and materials that are consistent with the architectural style of the home and support the rural design vision of the community.
- (2) Consider the relationship between the range of colors, hues and material between the individual palettes to ensure that overall street scenes achieve a sense of individuality between residences while still resulting in a harmonious mix of homes.
- (3) Select durable roof materials and colors that are consistent with the architectural style and complementary to the selected color schemes.
- (4) For each color scheme specify color selections for body, trim and accents. Provide a minimum of three colors per home.
- (5) For each front elevation and elevations visible from the public view, provide a minimum of two materials such as stucco, siding, stone, masonry or similar as appropriate to the style. Changes in the direction of siding and/or additional roof materials may be considered an additional material.
- (6) Avoid plotting homes with the same color scheme immediately adjacent to or facing one another.
- (7) Ensure material and color changes occur on an inside corner such as a porch, media niche or similar architectural pop-out such that the material change is concealed and the material application does not appear to be false.

5.2 Landscape Design Guidelines

The Specific Plan Area includes two open space land use districts – Open Space and Open Space-Recreation. The areas designated “Open Space” will remain natural. The following landscape design guidelines will be implemented within designated “Open Space – Recreation” areas, which includes manufactured slopes, areas adjacent to private streets and areas designed to meet the passive recreation needs of the residents and the public (Poway Creek Overlook). (See **Exhibit 5.2: Landscape Palette**).

In support of a consistent community theme and reinforcement of the rural character of the surrounding neighborhoods, the following plant palette provides a unified list of trees, shrubs, succulents and ground cover for use on internal manufactured slopes, landscaped common areas and Open Space – Recreation areas as well as the Poway Creek Overlook site. Street trees are also designated below.

Street trees and landscaping within common areas to be maintained by the Homeowner’s Association, with maintenance requirements related to tree and shrub trimming and maintenance to be included in the community CC&Rs.

PLANT LEGEND

<u>TREES</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>WUCOLS</u>
	ARBUS X MARINA *-	STRAWBERRY TREE	24" - 48" BOX	L
	CITRUS SPECIES -	CITRUS	24" - 48" BOX	L
	CERCIDIUM X DESERT MUSEUM +-	PALO VERDE	24" - 48" BOX	L
	KOELRUTERIA BIPINNATA *	GOLDEN RAIN TREE	24" - 48" BOX	L
	LAGERSTOEMIA INDICA -	GRAPE MYRTLE	24" - 48" BOX	M
	OLEA EUROPEA 'WILSONI' -	WILSON OLIVE	24" - 48" BOX	L
	PODOCARPUS GRACILIOR *-	FERN PINE	24" - 48" BOX	M
	PISTACIA CHINENSIS*+	CHINESE PISTACHE (MALE ONLY)	24" - 48" BOX	L
	QUERCUS AGRIFOLIA+-	COAST LIVE OAK	24" - 96" BOX	L

NOTE:
 * DENOTES STREET TREES
 + DENOTES SLOPE TREES
 - DENOTES AMENITY/ENTRY TREES

TREES TO BE REMOVED



TO BE REPLACED WITH 24" QUERCUS AGRIFOLIA

SHRUBS & GROUND COVER



<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>WUCOLS</u>
AGAVE ATTENUATA	AGAVE	5 GAL	L
ACACIA REDOLENS 'LOWBOY'	LOWBOY BANK CATCLAW	5 GAL	L
BACCHARIS PILULARIS	DWARF COYOTE BUSH	FLAT	L
BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL	L
CALLISTEMON X 'LITTLE JOHN'	BOTTLEBRUSH	5 GAL	L
CAREX TUMULICOLA	BERKELEY SEDGE	5 GAL	L
DIANELLA REVOLUTA 'VARIEGATED'	VARIEGATED FLAX LILY	5 GAL	L
ENCELIA CALIFORNICA	CALIFORNIA SUNFLOWER	5 GAL	L
FESTUCA SISKIYOU BLUE	BLUE FESCUE	1 GAL	L
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL	L
HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	L
MUHLENBERGIA CAPILLARIS 'PINK CLOUD'	PINK MUHLY	5 GAL	L
RHAPHIOLEPIS INDICA 'PINKIE'	INDIAN HAWTHORNE	5 GAL	L
RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDA HAWTHORN	5 GAL	L
SALVIA LEUCANTHA	MEXICAN SAGE	5 GAL	L
SENECIO MANDRALISCAE	BLUE CHALK STICKS	FLAT	L

TURF



<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>WUCOLS</u>
HYBRID BERMUDA GRASS	BERMUDA GRASS TURF	SOD	M

NONIRRIGATED HYDROSEED MIX



	<u>LBS/ACRE</u>
ESCHOLZIA CALIFORNICA	2
LUPINUS SUCCULENTUS	2
MUHLENBERGIA RIGENS	2
SISYRINCHIUM BELLUM	1
STIPA PULCHRA	3
CALIFORNIA POPPY	2
ARROYO LUPIN	2
DEER GRASS	2
BLUE-EYED GRASS	1
PURPLE NEEDLE GRASS	3

Exhibit 5.2: Landscape Palette

5.2.1 Conceptual Tree Plan

Trees are the backbone of landscape design. Street trees will be provided within the private homeowner lots, secured with a recorded landscape easement to ensure the trees remain in place in perpetuity. Street trees to be maintained by the Homeowners Association, with maintenance requirements provided in the CC&Rs. Additional trees are planned within open space areas distributed throughout the Specific Plan Area. In addition, replacement trees are planned to mimic the existing trees on the historic home site, as depicted on Exhibit 5.3: Conceptual Tree Plan.

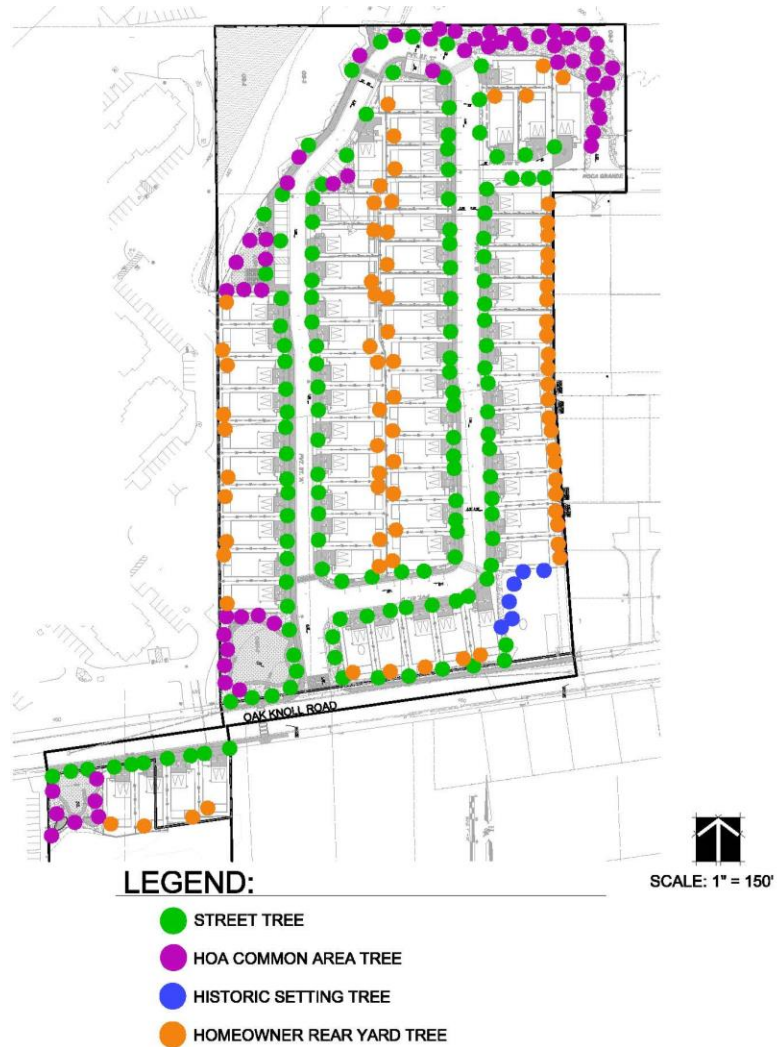


Exhibit 5.3: Conceptual Street Tree Plan

5.2.2 Open Space Landscape Concepts

Thematic landscape is a somewhat refined palette of ornamental and native plants that are emblematic of a rural landscape with year-round appeal. This landscaping theme will be implemented within the planned passive recreation areas identified in the Specific Plan as OS-R (1-8). Detailed descriptions of the OS-R areas planned to provide for passive uses follows.

The overlook planned on the south side of Oak Knoll Road is approximately 5,600 SF and includes an open turf area, two covered seating areas, landscaped planters and an open lawn area. This open space feature will be owned and maintained by the Community Association and open for public access and use. See Exhibit 5.4: Poway Creek Overlook (OSR-1) Conceptual Plan. Please note, the conceptual designs presented below may be modified during final design.

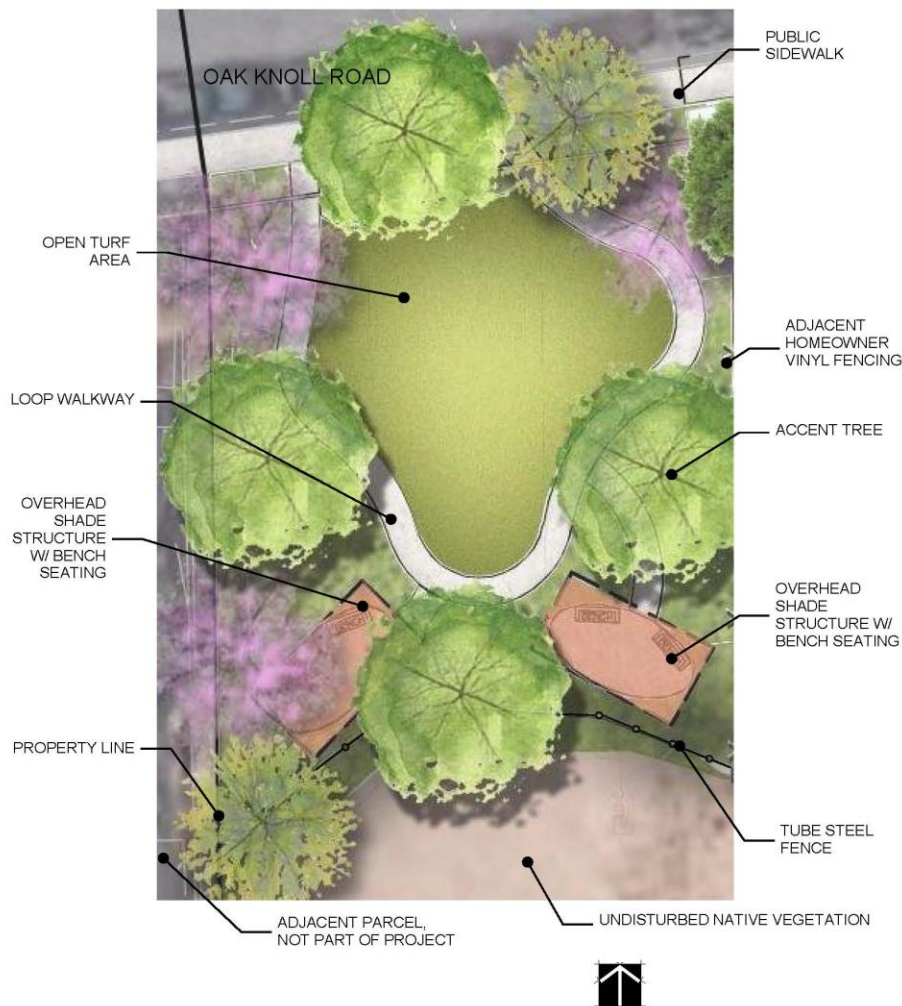


Exhibit 5.4: Poway Creek Overlook (OSR-1) Conceptual Plan

The open space recreation area designated OSR-2 is located adjacent to the community entry. The Entry Open Space Area is approximately 11,358 SF and is planned to provide an open lawn area for informal play and gathering, a looped walkway with bench seating, landscaped planter areas and shade trees. OSR-2 will be owned and maintained by the Community Association for use by residents. See Exhibit 5.5: Entry Open Space Area (OSR-2) Conceptual Plan. Please note, the conceptual design presented below may be modified during final design.

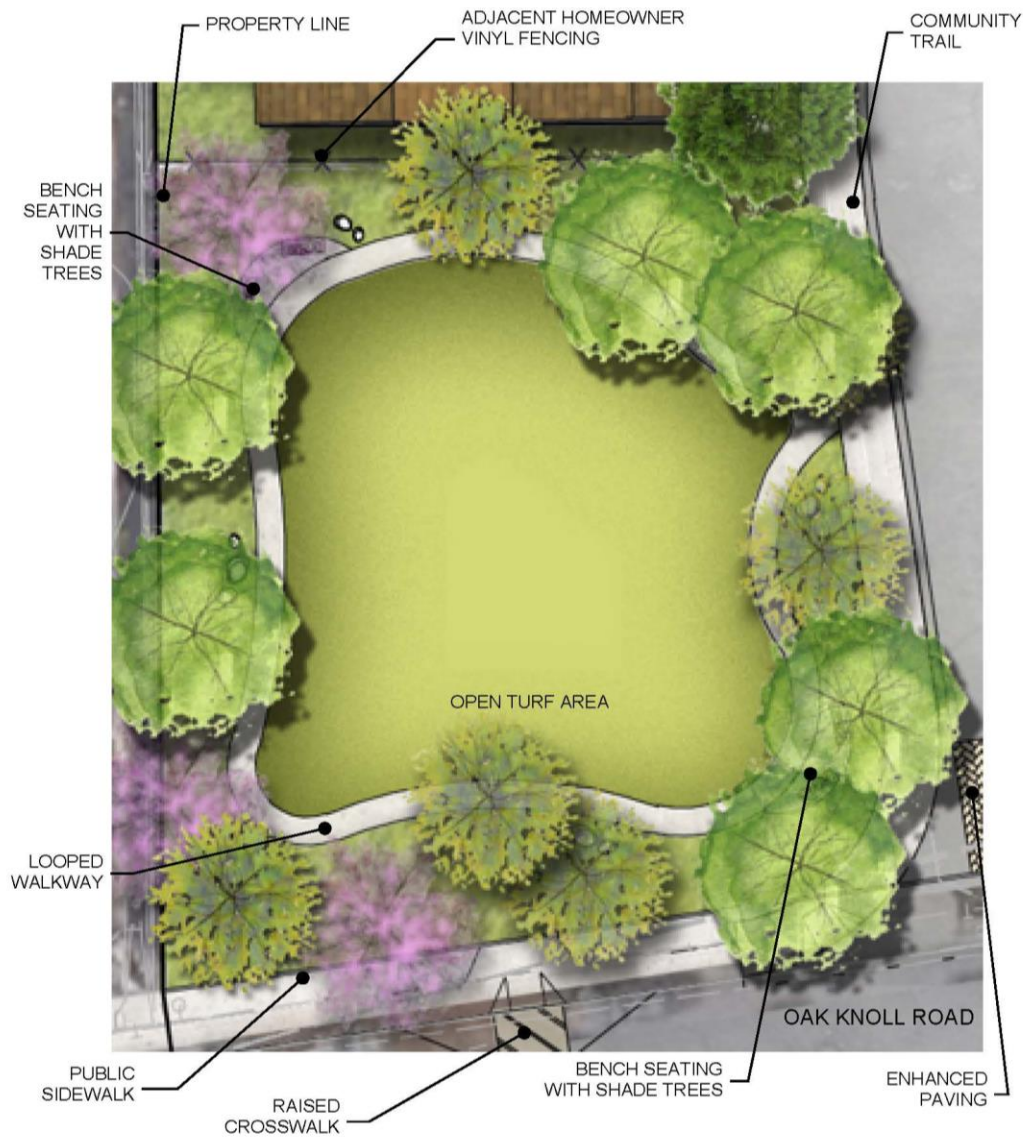


Exhibit 5.5: Entry Open Space Area (OSR-2) Conceptual Plan

The Open Space – Recreation area designated OSR-3 is approximately 4,511 SF and is centrally located along the extension of the Community Trail. This passive recreation area is planned to include an open turf area for casual play and gathering, an overhead shade structure with tables and BBQ, landscape planters and shade trees. See Exhibit 5.6: Central Open Space (OSR-3) Conceptual Plan. Please note, the conceptual design presented below may be modified during final design.

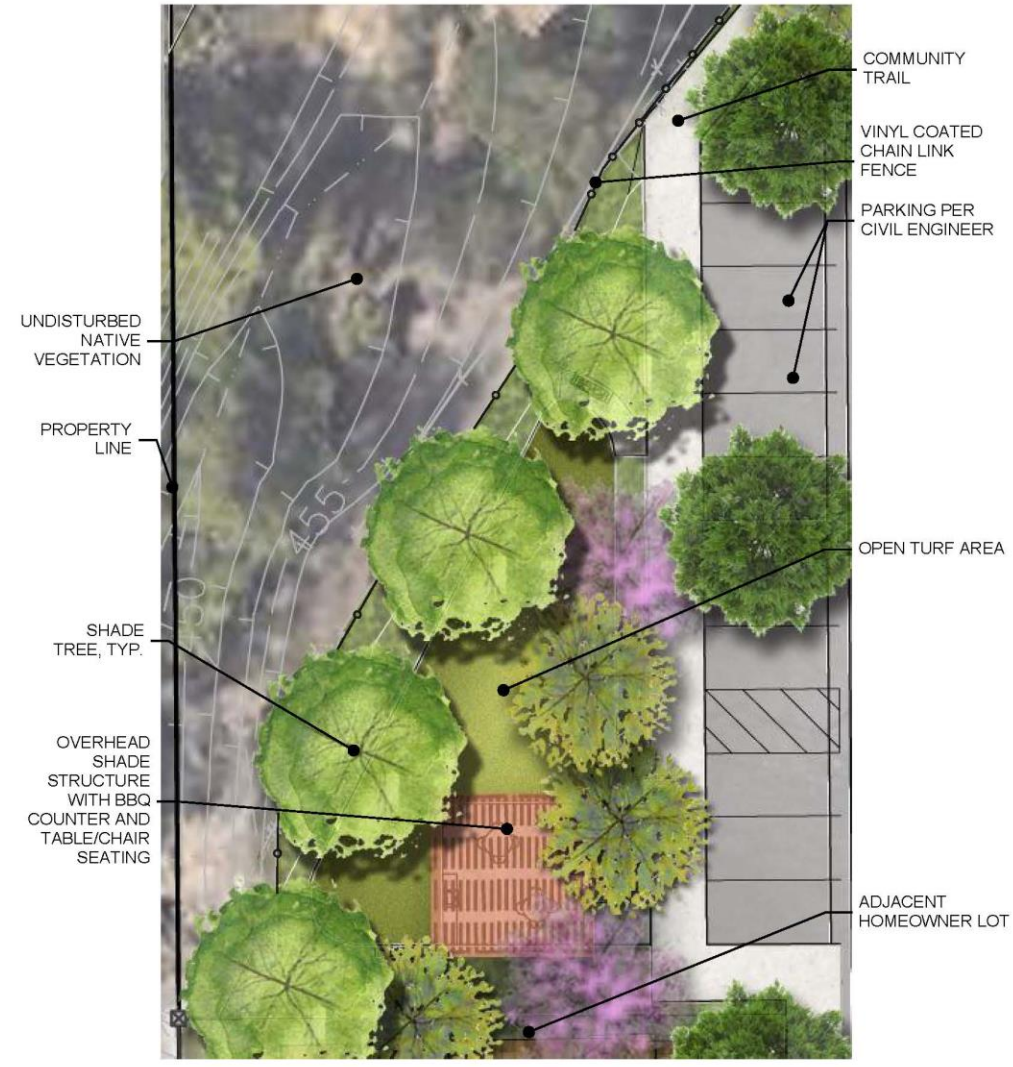


Exhibit 5.6: Central Open Space (OSR-3) Conceptual Plan

5.2.3 Residential Landscape Concept

Installation of front, side and rear yard landscaping shall comply with the requirements in Section 3.6 Landscape Requirements of this Specific Plan. Final designs will be subject to the provisions in the community CC&Rs and associated architectural guidelines.

5.4 Community Entry Monument

A community entry monument is planned at the intersection of Street A and Oak Knoll Road. This entry feature will be incorporated into the retaining wall design and will feature a decorative stone or block face with a decorative masonry cap, raised planter and metal pin mounted lettering. The sign portion of the entry will be illuminated with up-lights. The monument will be approximately 4 feet in height. The final community monument to be refined during final engineering. This simple, yet elegant feature will announce arrival into the Harmon Ranch neighborhood and provide the community with its own identity. The signage shall comply with the standards in the Poway Municipal Code and be subject to a Sign Permit. Please note, the conceptual design may be modified during final design. See **Exhibit 5.7: Conceptual Community Entry Monument**.



Exhibit 5.7: Conceptual Community Entry Monument

5.5 Wall and Fence Design

Walls and fencing provide safety, privacy and contribute to the community style and theme. Refer to **Exhibit 3.7: Conceptual Fence and Wall Plan** for proposed wall and fence locations and wall details. Within Harmon Ranch, vinyl fencing is proposed at the rear and side yards. At the perimeter of the project adjacent to Oak Knoll Road and existing homes, a combination of up to three feet of block retaining wall and vinyl fence is proposed to enhance the privacy of neighbors.

5.6 Conformance to Design Guidelines

It shall be the duty of the Community Association to review and approve proposed construction for compliance with Community Design Guidelines. Submittal to the City with Community Association approval constitutes Community Association review and approval of architectural and landscape design. The City has the duty to review proposed construction for conformance with Chapter 6, Community Design Guidelines in addition to ensuring compliance with the PMC and, accept where exempt, all construction requires a building permit.

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Chapter Six

Grading, Utilities & Services

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Chapter 6 - Grading Utilities & Services

6.0 Introduction

This chapter provides an overview of the grading plan, utility plans and services necessary to support development of the Harmon Ranch project. The intent is to provide the basic utilities and services to ensure the community functions properly but also seeks to conserve onsite resources by implementing best management practices, low impact development practices, water and energy conservation measures and adequate public services such as schools, fire protection and public safety.

6.1 Grading and Drainage

6.1.1 Grading

Grading of the site respects the existing topography to the extent feasible for implementing the plan and adheres to PMC Grading Standards unless otherwise shown and as recommended in the Geotechnical Report prepared by GEOCON dated July 15, 2022. Grading for the site is balanced at 19,250 Cubic Yards of cut and fill to avoid export or import of dirt. **Exhibit 6.1: Conceptual Grading Plan** highlights how dirt will be distributed throughout the site. Cut and fill slopes are designed at a slope ratio of 2:1 maximum, as shown on **Exhibit 6.2: Conceptual Cut and Fill Plan**.

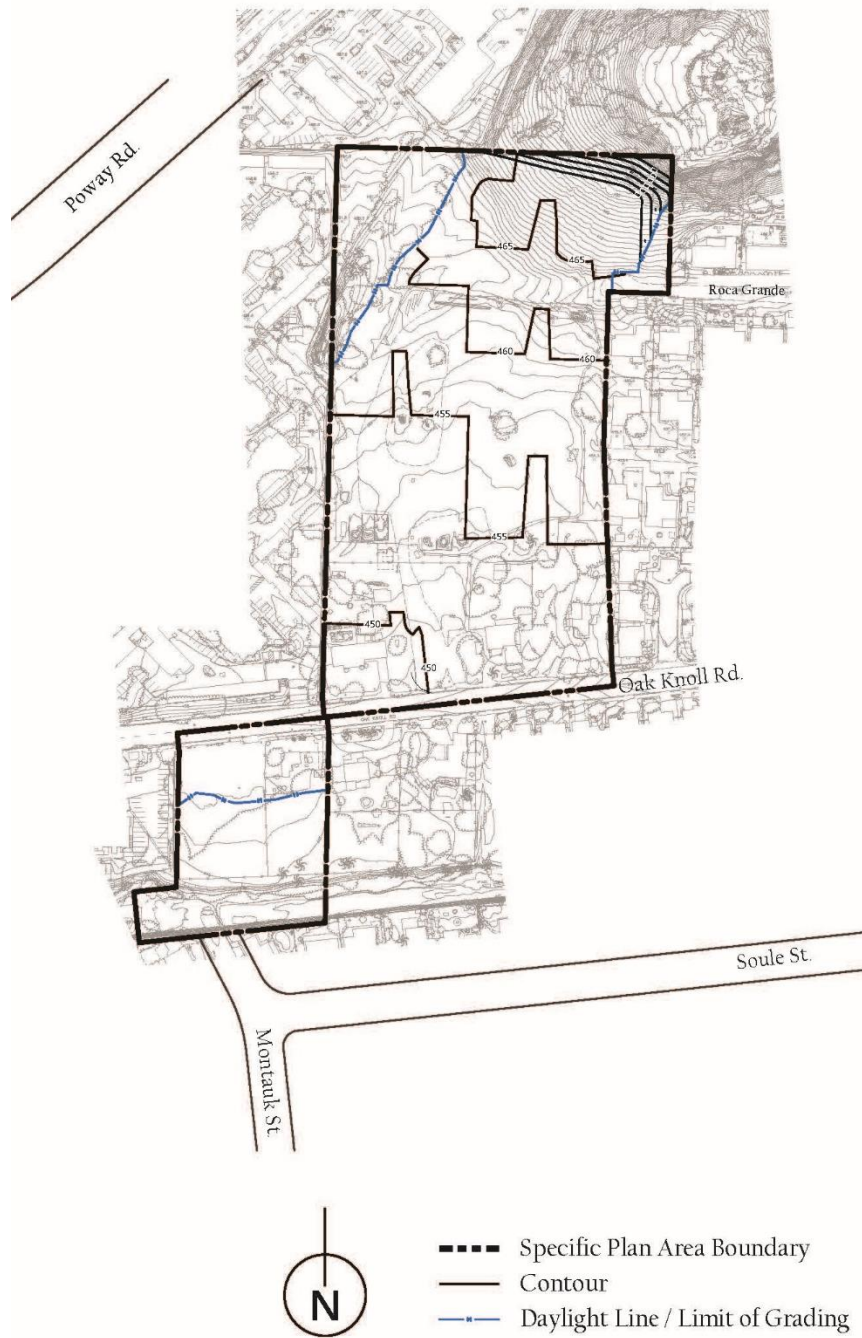
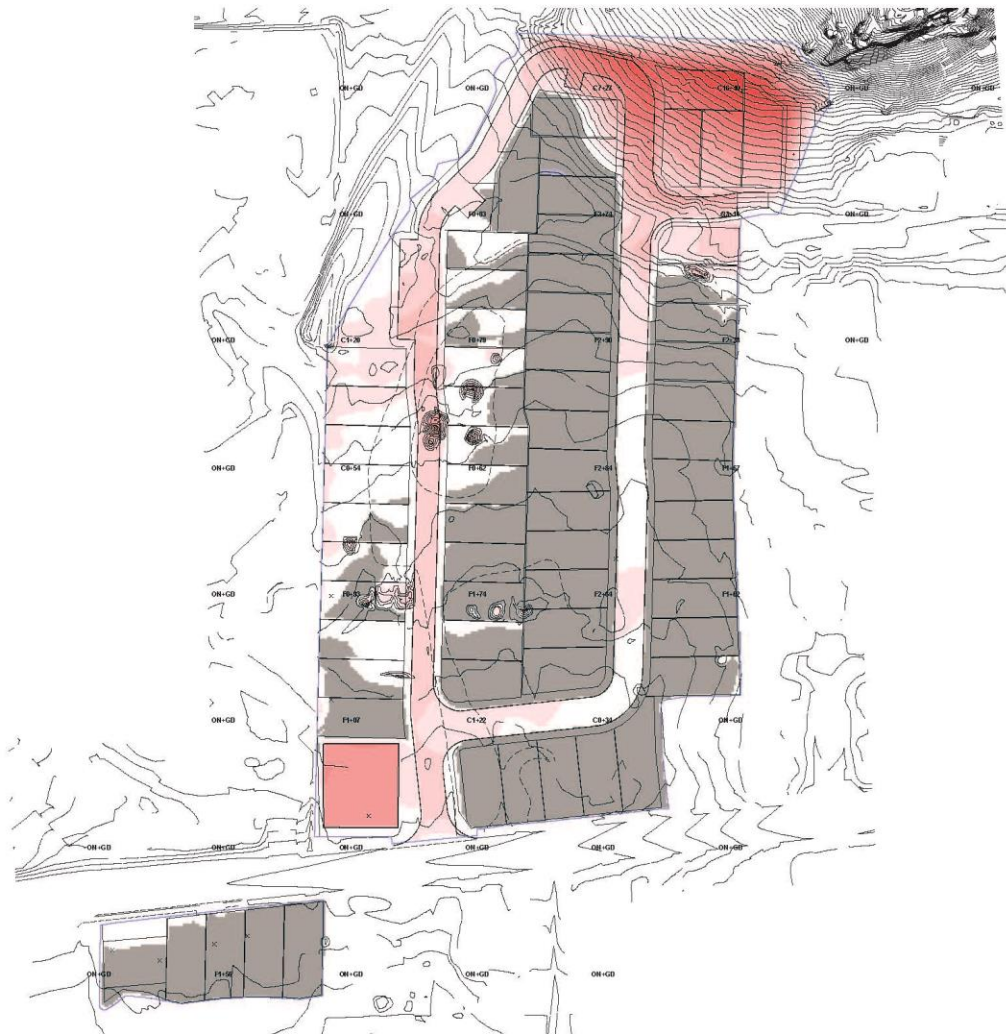


Exhibit 6.1: Conceptual Grading Plan



Grading Summary

CUT: 19,250 C.Y.
FILL: 19,250 C.Y.

-  CUT
-  FILL

Exhibit 6.2: Conceptual Cut and Fill Plan

6-6.1.2 Drainage

The site drains generally from north to south and discharges to an existing 36" RCP storm drain located in Oak Knoll Road. An existing open channel across the northwestern portion of the site drains southwesterly to the adjacent apartment site. Drainage is conveyed offsite within an 8'x5' Reinforced Concrete Box in a southwesterly direction. The 36" Oak Knoll Road system joins the 8'x5' RCB that discharges to the west of the Specific Plan into Poway Creek.

The southerly portion of the site is within a FEMA AE Zone and will be raised above the flood elevation in accordance with FEMA regulations.

The Specific Plan accepts storm water from adjoining properties to the north and east. The northern drainage bypasses naturally through the site as previously described. Drainage from existing home sites to the east is conveyed in a by-pass storm drain system directly to the existing Oak Knoll Road system (See **Exhibit 6.3: Conceptual Drainage Plan**).

The grading plan is designed to drain all storm water directly to private streets. Once in the street, storm water is collected by catch basin and inlets and a system of private underground storm drain pipes.

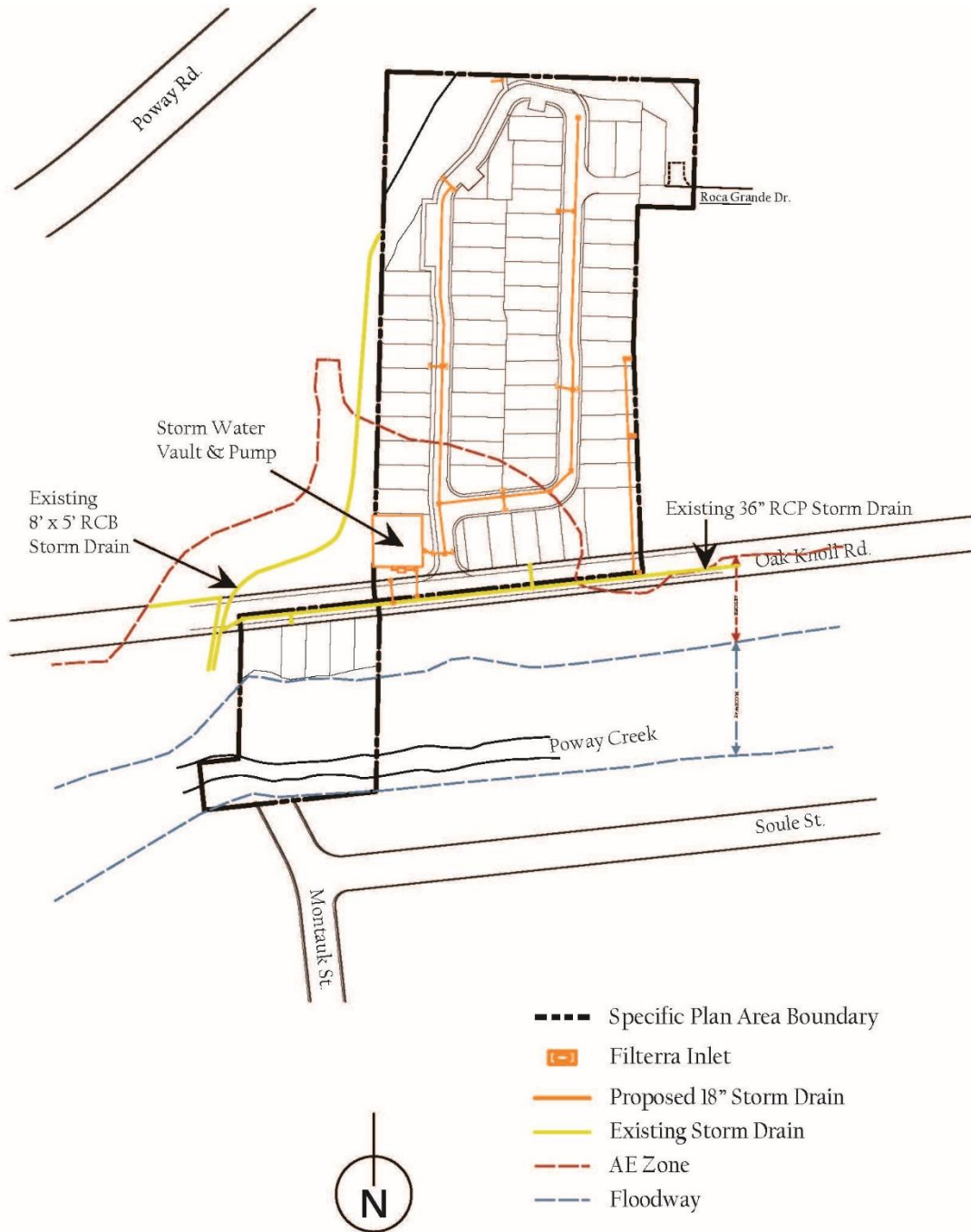


Exhibit 6.3: Conceptual Drainage Plan

6.1.3. Stormwater Treatment

The City's strategy and policy direction is to reduce discharge of pollutants into the stormwater conveyance system through implementation of best management practices (BMPs). Adopted in 2015, the City of Poway Jurisdictional Runoff Management Program includes implementation of BMP requirements, water quality monitoring, educational outreach, municipal maintenance procedures and inspection and enforcement programs. The City conducts annual storm drain facility rehabilitation and replacement projects as needed. Development projects throughout the City are required to implement site-specific storm drain improvements and contribute fees toward regional improvements.

Stormwater runoff collected from the Specific Plan area may contain high sediment loads and many types of pollutants, including oil and grease, chemicals, pesticides, heavy metals, bacteria, viruses and oxygen-demanding compounds. The primary method for treating this stormwater involves a series of bioretention basins. Stormwater is collected and conveyed to these basins via a series of private catch basins and pipes located within private streets. Once collected, the bioretention basins are designed to slow the velocity and volume of water, a process called hydromodification, and treat stormwater through various processes collectively referred to as bioretention.

Hydromodification is important to protecting stormwater quality by preventing flooding, sedimentation and erosion downstream. Flooding of areas that are normally dry can result in chemicals, fuel, trash, bacteria and other potential pollutants entering the natural drainage system. Sedimentation and erosion can also damage the environment by altering the physical characteristics of water bodies that provide habitat for plant and animal species.

Biofiltration is important to protecting stormwater quality by removing potential pollutants within water prior to leaving the site. Biofiltration removes pollutants in a variety of ways:

Evapotranspiration: The process in which water is transferred from the soil by evaporation and from plants by transpiration into the air, leaving the pollutants behind.

Nutrient Cycling: The process in which plants extract nutrients, i.e., organic and inorganic matter that can affect water quality, back into the production of organic matter.

Filtration: The process through which runoff filtrates through grasses, grates and screens that remove pollutants.

Water quality measures require maintenance by the Community Association to ensure they continue to operate properly. Maintenance includes repairing erosion, removing sediment and trash, mowing and managing vegetation and ensuring filters are not blocked and are functioning properly. Post treatment, stormwater is released from basins into bypass pipes

which convey existing ditches, channels or pipes that are part of the City's existing storm drain system.

In addition to treatment methods within the stormwater system, pollution prevention strategies, including the Stormwater Pollution Prevention (SWPP) for construction are specifically designed to protect stormwater from potential contamination.

As further described in the Harmon Ranch Drainage Report (Hunsaker July 2022), the community proposes catch basins and inlets containing Filterra units that provide the required water quality. The stormwater is then conveyed to an underground vault system for storage to meet hydromodification requirements. The vault discharges to the Oak Knoll Road 36" RCP storm drain system. Due to the relatively shallow grade of the exiting storm drain, the storage vault is pumped to the discharge point.

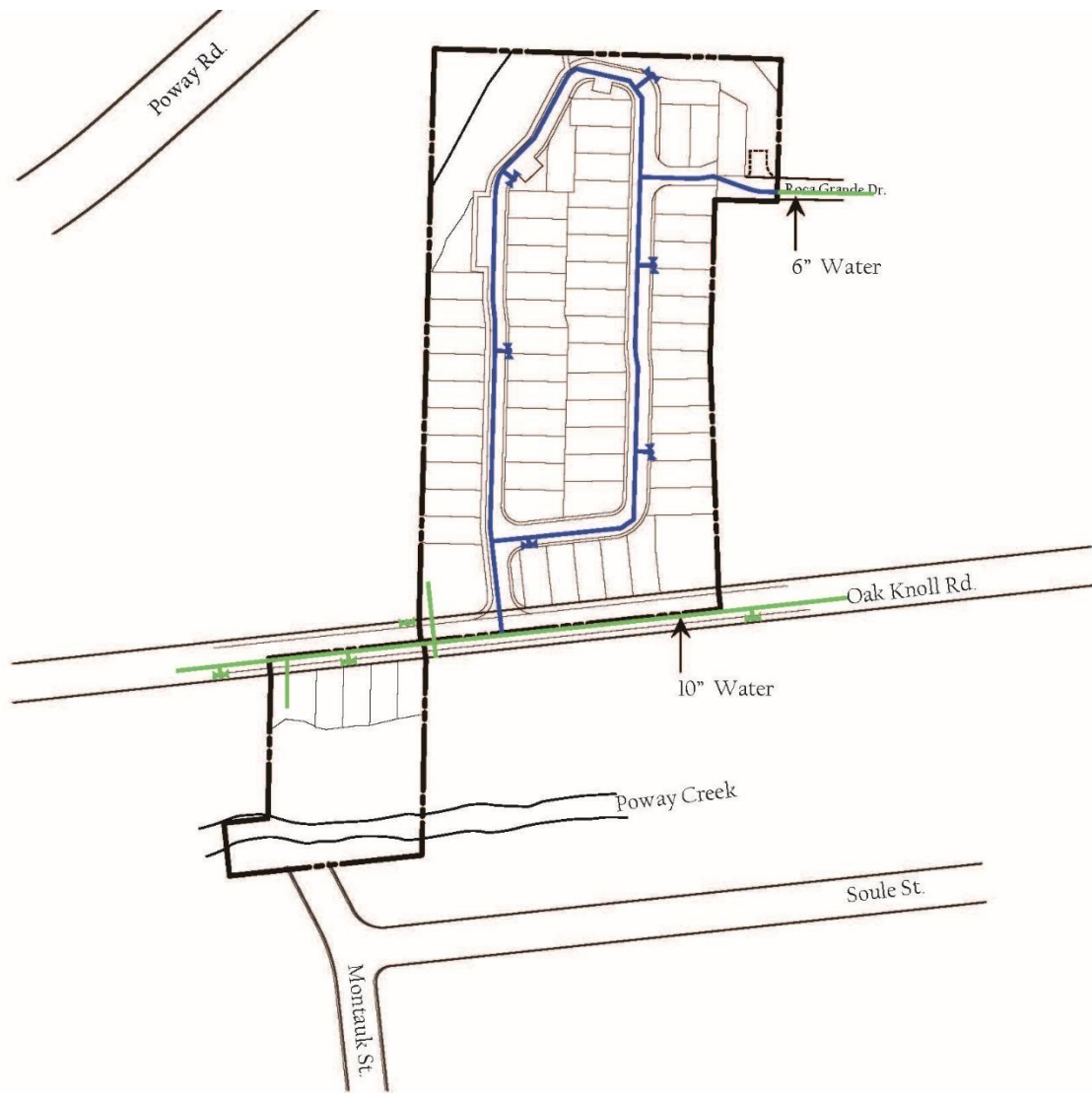
6.2 Domestic Water Source and Supply

The City's Public Works Department will provide domestic water to Harmon Ranch. The San Diego County Water Authority (SDCWA) provides 99 percent of Poway's water in the form of untreated water, with the remaining demand met through recycled water purchased from the City of San Diego. SDCWA is supplied water by the Metropolitan Water District of Southern California (MWD), water transfers from the Imperial Irrigation District and desalinated water from the Carlsbad Desalination Plant. MWD water derives primarily from the State Water Project and the Colorado River. All imported water is treated locally at the City's water treatment plant and then distributed via a complex and comprehensive system of pumps and pipes.

Over the past decade, water in California has become an increasing concern. Severe droughts have resulted in a host of issues related to water quality and adequate supply to serve the state's growing population. Recognizing the importance of conserving and efficiently managing limited water resources, the City adopted the 2015 Urban Water Management Plan (UWMP). The UWMP provides a framework for Poway's long-term water management and provides public information regarding planning efforts to ensure an adequate supply of clean and potable water remains available for existing and future homes and businesses. The UWMP is updated every five years. Any future modification to the Specific Plan's water distribution system shall comply with the most current UWMP.

The Harmon Ranch Specific Plan Area is served by the 715 Zone. The on-site water system proposed for the project consists of a series of 8-inch pipes as illustrated in **Exhibit 6.4: Conceptual Water Plan**, to create a looped system that serves all of the homes within the Specific Plan Area. The internal looped system will connect to the existing 6" line in Roca Grande Road and the existing 10" line in Oak Knoll Road.

The planning criteria used to evaluate the potable water system requirements for the Specific Plan Area are in accordance with the City of Poway Potable Water Master Plan Update, dated June 2008 (City of Poway 2008 Water Master Plan) which outlines minimum and maximum allowable pressures and velocities in the public water system, under different operating conditions. Potable water demand for the Specific Plan Area was estimated using water demand factors provided in the City of Poway 2008 Water Master Plan. The estimated average potable water demand for the project is 18.48 gpm or 26,611 gpd.



- Specific Plan Area Boundary
- Proposed 8" Water Line
- Existing Water Line

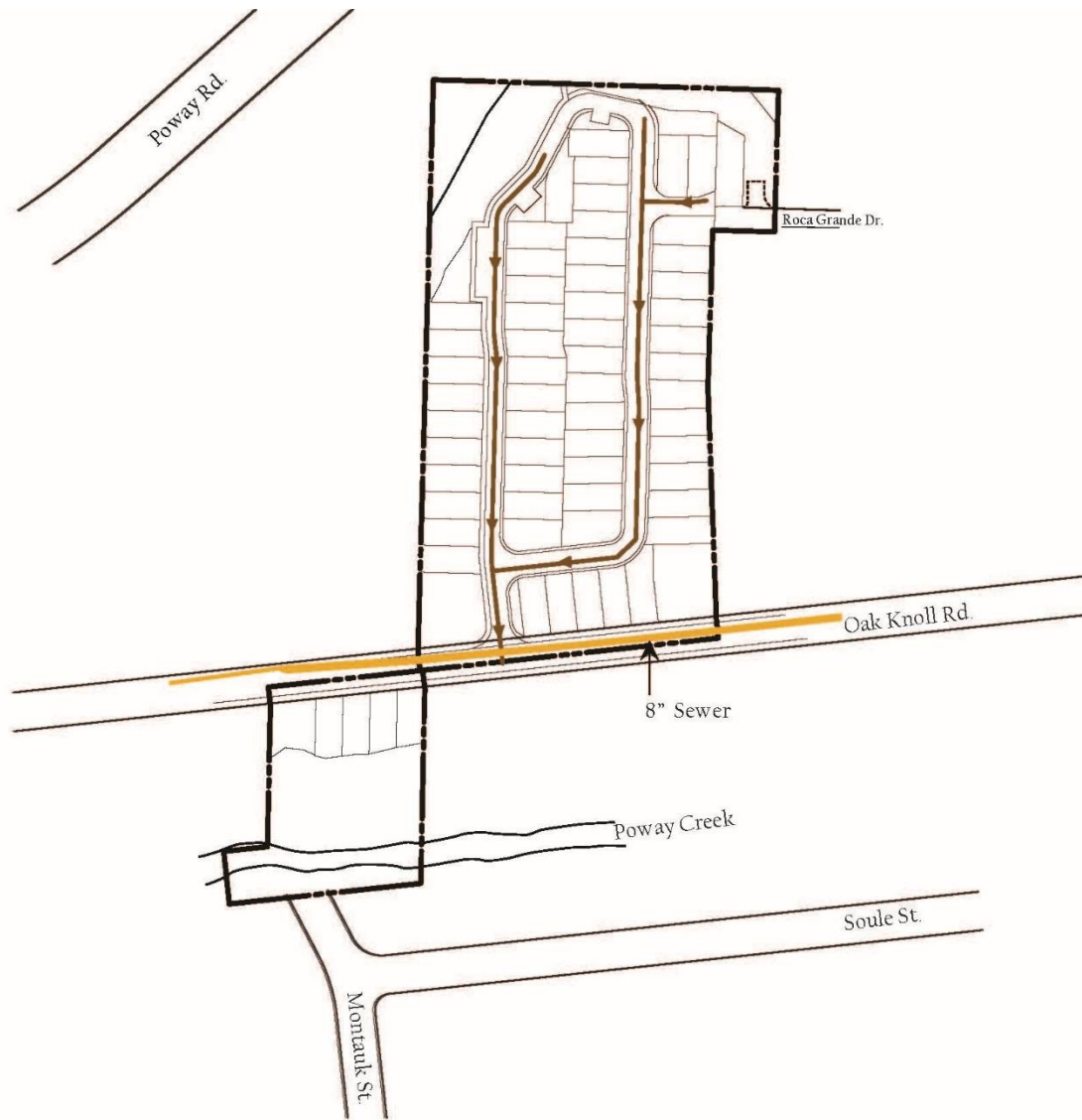
Exhibit 6.4: Conceptual Water Plan

6.3 Wastewater

Wastewater includes water collected from sinks, toilets and showers that is conveyed into the City's sanitary sewer system. The sewer system in the City of Poway is outlined in the City's Sanitary Sewer Master Plan. Wastewater collection and the sewage system are maintained and operated by the City's Public Works Department to ensure sufficient capacity is available for dry weather peak-flow conditions and storm or wet weather events. Wastewater collected in the City's sewage system is conveyed through the City of San Diego's Municipal Wastewater System for conveyance, treatment and disposal at either the North City Water Reclamation Plant or the Point Loma Wastewater Treatment Plant.

City sewer system facilities in the vicinity of the project include existing 8-inch public sewer lines and a 30-inch public trunk sewer within Oak Knoll Road located along the project frontage. The existing 8-inch public gravity sewer lines convey sewer flows from existing residences along Oak Knoll Road from east to west and tie into the existing 30-inch public trunk sewer. The 30-inch trunk sewer conveys flow west in Oak Knoll Road to Pomerado Road.

The proposed onsite public sewer system, as depicted on **Exhibit 6.5: Conceptual Sewer Plan**, includes 8-inch public gravity sewer lines to serve the 59 dwelling units north of Oak Knoll Road. The proposed onsite 8-inch public sewer lines will convey sewage from the 59 dwelling units south to the existing 8-inch public sewer line directly fronting the project's south entrance in Oak Knoll Road. The remaining 4 lots south of Oak Knoll Road will make individual lateral connections to the same existing 8-inch public sewer line in Oak Knoll Road. This existing 8-inch public sewer line will convey flows west to the existing 30-inch public trunk sewer in Oak Knoll Road. The projected average flow is 13,760 gpd. The resulting projected peak flow for the project is 44,720 (13,760 gpd x 3.25).



- Specific Plan Area Boundary
- Proposed 8" Sewer
- Existing 8" Sewer

Exhibit 6.5: Conceptual Sewer Plan

6.4 Solid Waste

The City contracts with EDCO, a private hauler, for residential and commercial solid waste and recycling pickup and disposal. As part of Poway's comprehensive waste reduction and recycling program, the solid waste franchisee provides single stream commingled recycling, green waste and biannual self-haul event for bulky items. EDCO currently operates six certified buyback centers, two material recovery facilities (MFRs), six transfer stations and two mixed construction demolition and inert (CDI) processing facilities with the goal of achieving zero waste. In 2017, EDCO diverted over 619,676 tons from the landfill. All development within the Specific Plan Area will comply with City, County, State and CalGreen requirements regarding recycling and waste disposal.

Waste collected from the Specific Plan area will be taken to either the Escondido Resource Recovery (ERR) Center or the Ramona facility. The ERR facility was opened in June 2017 and provides commingled recycling, mixed waste processing and an anaerobic digester. The Ramona facilities include an organics facility, transfer station and recycling buyback center.

6.5 Electricity and Natural Gas

Electrical power and natural gas are provided by San Diego Gas and Electric Company. No major improvements to the local distribution networks will be needed to support the growth associated with this Specific Plan. The Project will coordinate with utility providers to ensure utility systems have adequate capacity to serve future residential uses.

New development within the Specific Plan Area will be required to meet the California Energy Code (Title 24) and CalGreen requirements. Title 24, Part 6 and CalGreen include the most stringent requirements for energy conservation in the Country. To meet these requirements, all new development within the Specific Plan Area will include rooftop photovoltaic (PV) solar panels, electric vehicle (EV) charging stations, energy efficient lighting and appliances, low-flow fixtures and other design features that conserve energy.

6.6 Broadband and Telecommunications

Broadband and telecommunication services are provided by Cox Communications, Spectrum, AT&T and Windstream Communications. Users have choices and the available systems provide appropriate facilities and services to meet the needs of the Specific Plan Area.

6.7 Public Park Land

In accordance with the PMC, “A ratio of five park acres to 1,000 population, in accordance with the adopted park and recreation element of the City’s general plan shall be used to compute the amount of land to be dedicated.” Based on Poway’s average household size from the 2010 Census, the Department of Finance estimates that Poway’s household size in 2019 is approximately 3.12 persons per household (E-5 estimates dated 1/1/2019). **Table 6.1: Estimated Park Land Requirement** illustrates how the park acreage required is calculated, resulting in a total of approximately 0.98 acres.

The project includes 0.99 acres of open space/private recreation amenities distributed across seven sites within the Specific Plan Area. Planned amenities include open turf play areas, family gathering and seating spaces and picnic and BBQ gathering areas. Except for the Poway Creek Overlook, these facilities are to be privately maintained by the community HOA for the exclusive use of residents. The planned Poway Creek Overlook is also maintained by the HOA but is open to the public. Though these community amenities meet the intent of the PMC, they are not eligible for park credit as they do not meet the minimum 2-acre size requirement per PMC 16.38.100. Therefore, the project proposes to satisfy its public park obligation through the payment of the City’s park in-lieu fee, per PMC 16.38.040.

Table 6.1: Estimated Parkland Requirement

Household Type	Units	Population / Household	Total Population	Park Land Ratio	Total Park Land Required ¹
Single Family	63	3.12	197	5 AC / 1,000 Pop	0.98 AC

¹ The existing historical home is not included in the total park land required calculation.

6.8 Schools

The Specific Plan Area is within the boundaries of the Poway Unified School District (PUSD). PUSD serves the City of Poway as well as surrounding communities. **Table 6.1: Projected Students** provides an estimate of the number of new students anticipated to be generated by development of 63 homes within the Specific Plan Area. Estimates are based on current information available and may be subject to changes with input from PUSD.

Table 6.2: Projected Students

Education Level	Estimated Student Generation Rate ³	Projected Students ¹
Elementary (K-5)	0.2686	17
Middle (6-8)	0.0813	5
High (9-12)	0.1764	11
Total		33

¹ Projected student calculation does not include the existing historic home.

The Specific Plan Area is served by Valley Elementary School (grades K-5) located at 3000 Bowron Road. Valley Elementary School has a capacity of 709 students. The projected enrollment for the 2024-2025 school year is 669 students.

The Specific Plan Area is served by Meadowbrook (grades 6-8) located at 12320 Meadowbrook Lane. Meadowbrook Middle School has a capacity of 1,458 students. The projected enrollment for the 2024-2025 school year is 1,110 students.

The Specific Plan Area is served by Poway High School (grades 9-12) located at 15500 Espola Road. Poway High School has a capacity of 2,754 students. The projected enrollment for the 2024-2025 school year is 2,087 students.

Although capacity appears to be available at the schools that would serve students from the proposed project, PUSD will determine if the district will have available capacity to serve the additional 33 students generated by the proposed project.

Schools are funded through the payment of development impact fees pursuant to SB50/Government Code 665995, which would be paid prior to issuance of building permits. Pursuant to Education Code Section 17620(a)(1), the governing board of any school district is authorized to levy a fee, charge, dedication or other requirement against any construction within the boundaries of the District, for the purpose of funding the construction or reconstruction of school facilities. The Applicant would be required to pay SB50 fees, in accordance with SB50 alternative school fees prior to building permit issuance. According to SB50, payment of developer impact fees constitutes adequate mitigation related to school facility impacts.

6.9 Fire Prevention Services

The Poway Fire Department (PFD) would serve the Specific Plan Area. The PFD provides structural fire protection and advanced life support-level emergency medical services within the City limits; the PFD is an all-hazard, all-risk response agency. From three fire stations, 17 personnel respond to emergency and non-emergency calls for service by staffing three paramedic

³ Source: Poway Unified School District 2022 Development Fee Justification Study (April 26, 2022).

engines, a paramedic ladder truck, two paramedic ambulances and one incident commander (Fire Battalion Chief). Engine company personnel cross-staff ICS Type III wildland brush engines and provides staffing of a CalOES Type I engine when called upon. The PFD maintains response aid agreements with surrounding jurisdictions and participates in the California State Fire & Rescue Mutual Aid System and FEMA's Urban Area Search & Rescue team. The PFD's resources are grouped into the Metro Zone area of San Diego County Operational Area and partners with fire departments from San Diego City, Miramar, Chula Vista, National City, Coronado, Imperial Beach, and U.S. Navy Federal. The PFD operates two primary Fire Stations (Stations 1 and 3) that would respond to an incident at the proposed Project site, with first-due response likely from Station 1 given its closer location and greater coverage in a faster timeframe. Station 3 would respond as necessary and would also provide fast response throughout the Project.

Response to the proposed community site from the closest existing PFD fire station (Station 1) would arrive at the Project's primary entrance off Oak Knoll Road within 3 minutes, 19 seconds travel time (4 minutes 49 seconds total response time). The most remote homes within the Project are reached within 3 minutes, 27 seconds travel time, or 4 minutes 57 seconds total response time. This analysis indicates that the entire Project is within the PFD's internal response timeframe. This analysis also indicates that Station 3 arrives to the Project in 3 minutes, 48 seconds travel time (5 minutes 18 seconds total response time) and is an appropriate second-due engine.⁴

6.10 Public Safety and Emergency Services

The City of Poway contracts with the San Diego County Sheriff's Department for law enforcement services. The Poway station, located near City Hall in downtown Poway, provides patrol, traffic and investigative services for the entire City. The Poway station consists of 45 sworn personnel, six civilians, 13 reserve deputies and 55 Senior Volunteer patrol personnel. Poway enjoys consistently low crime rates.

Emergency medical services, including ambulance transportation, are provided by the City of Poway as part of the Poway Fire Department operations. Palomar Medical Center Poway is the closest emergency medical facility.

The City of Poway also administers the Community Emergency Response Team (CERT) Program, which educates the residents of Poway and adjacent cities about disaster preparedness. The city of Poway offers a CERT academy once a year. The CERT Program provides training in basic disaster response skills such as fire safety, simple search and rescue and basic first aid, terrorism,

⁴ Response time estimates presented herein were provided by Poway Fire Department based on dispatch estimates. See Fire Response Technical memo prepared by Dudek (February 14, 2023) for GIS-modeled response times.

emergency preparedness and disaster psychology. Graduates of the program or an equivalent CERT course are eligible to apply for membership in the Poway CERT Program and are required to attend two training sessions or community events each calendar year. CERT members must be 18 years or older.



Chapter Seven

Implementation & Administration

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Chapter 7 – Implementation & Administration

7.0 Introduction

Implementation of the Harmon Ranch Specific Plan relies upon private investment and the systematic phasing of improvements. This chapter identifies the steps that need to be taken following Specific Plan approval and the financing mechanisms needed for the long-term maintenance of the community. This chapter also provides the City with guidance on proper administration of the Specific Plan, which includes the review of all future development permit applications, enforcement of Specific Plan standards and approved Conditional Use Permits within the Specific plan Area and proposed amendments to the Specific Plan that may occur in the future. Future applications shall be reviewed for consistency with the policies, design guidelines and regulations of the Specific Plan.

7.1 Implementation

Implementation of the Specific Plan requires approval of a General Plan Amendment, Zone Change, Tentative Map, Development Review (DR) Plan and Final Map by the City Council. Once approved and upon review and issuance of a grading permit, the site will be graded in accordance with Chapter 6. Grading is anticipated to begin in early 2024 and will be completed in a single phase. Grading activities are anticipated to be completed in six months. Construction will be phased as depicted in **Exhibit 7.1: Conceptual Phasing Plan** and is anticipated to be completed by June 2026.

7.2 Financing & Maintenance

The physical improvements described in the Harmon Ranch Specific Plan will be financed entirely by private investment. The following sections describe the funding mechanisms that may be utilized to provide long-term maintenance of the Specific Plan Area and provide public services to support the proposed project.

7.2.1 Development Impact Fees

Development Impact Fees (DIF) are imposed by the City of Poway on new development to finance the proportional demand for infrastructure and services created by new development. The Mitigation Fee Act requires that local jurisdictions establish a nexus between proposed fees and new development to ensure that each project pays only its proportional share of the cost. Developers within the Specific Plan Area will pay all DIFs required by the City of Poway

in accordance with the City's approved DIF Schedule. The Developer will also be required to pay impact fees to the Poway Unified School District.



Exhibit 7.1: Conceptual Phasing Plan

7.2.2 Community Association

All properties designated OS and OSR shall be deed restricted to ensure they remain open space in perpetuity and cannot be further developed into residential uses in the future. Maintenance and operation of the community will be financed through a Community Association (Association), which will be responsible for maintenance of all private streets, common utilities, common area landscaping and other commonly held properties and facilities. The Association will also be responsible for enforcement of the community's Covenants, Conditions & Restrictions (CC&Rs) to ensure that privately owned properties comply with the Specific Plan and are properly maintained to protect, preserve and enhance the property values in the community and surrounding neighborhoods. A schedule of fines and penalties shall be included in the CC&Rs to allow Association enforcement. **Exhibit 7.2: Ownership, Maintenance Responsibilities & Public Access** illustrates the anticipated ownership and maintenance responsibilities of non-residential parcels. The exhibit also indicates areas that are anticipated to be available for public access and which areas are to remain private. The Community Trail along Streets A and C and the Poway Creek Overlook are required to be open to the public.

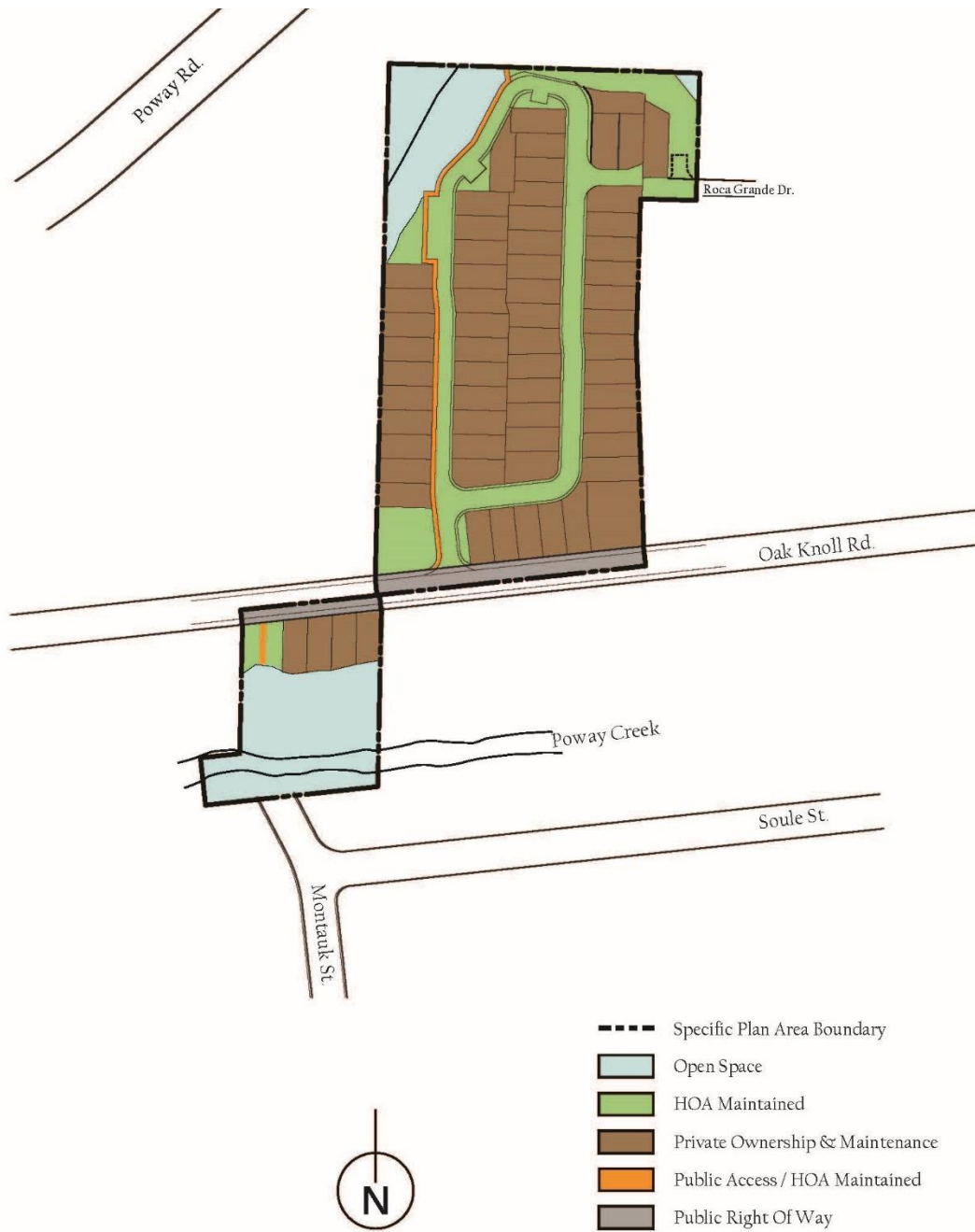


Exhibit 7.2: Ownership, Maintenance Responsibilities & Public Access

The Association shall contract with qualified professional for the long-term care and maintenance of all catch basins, Filterra units and the hydromodification vault to ensure they continue to function properly and comply with the Water Quality Management Plan (WQMP). Maintenance shall occur as required by the City of Poway.

The Community Trail and private streets within the Specific Plan Area will be maintained by the Association. The Community Trail shall remain open for public use.

7.2.3 Exactions

Cities may exact additional fees or in-lieu payment from developers or property owners to finance anticipated impacts. Exactions that may apply to the Specific Plan Area may include affordable housing, public park in-lieu and other fees to offset the impacts that the proposed project has on public services.

7.3 Specific Plan Administration

The Specific Plan serves as the implementation tool for the General Plan by establishing development regulations, permitted uses, performance standards and other standards for the Specific Plan Area. The Specific plan addresses general provisions, permitted uses, development and design standards, design guidelines, mobility and parking improvements and infrastructure. All development proposals within the Specific Plan Area are subject to the procedures established herein and all state and federal requirements. The Specific Plan shall be administered and regulated in accordance with the PMC unless otherwise specified herein.

7.3.1 Interpretation

As specified in the PMC Section 17.02.040 (Clarification of Ambiguity), unless otherwise provided, any ambiguity concerning the content or application of the Specific Plan is resolved by the review authority or the Development Services Director (Director) in a manner consistent with the goals, policies and intent established in this Specific Plan and subsequently the General Plan.

7.3.2 Severability

If any section, subsection, sentence, clause, phase or portion of this Specific Plan, or any future amendments or additions, is for any reason held to be invalid or unconstitutional by the

decision of any court or competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan or any further amendments or additions.

7.3.3 Environmental Review

The EIR for the Specific Plan area addresses project-specific environmental review for the project described by the Specific Plan. Future amendments may require additional specific environmental review as necessary if they do not substantially conform with the Specific Plan. This could include targeted studies on one or more identified environmental concerns. The City will make these determinations, and environmental review may be incorporated into the development review process.

7.3.4 Review and Approval Process

All development and uses proposed within Harmon Ranch Specific Plan shall substantially conform with the provisions of this Specific Plan. Chapter 17.52 (Development Review Procedure) of the PMC sets forth development review requirements and process for approval of projects, which shall apply to projects proposed within the Specific Plan Area.

7.3.5 Substantial Conformance

Substantial conformance means that any proposed activity, construction and development complies with the Harmon Ranch Specific Plan, adopted mitigation measures, and project conditions of approval, where no additional homes (except accessory dwelling units), property, or parcels beyond that provided by the Specific Plan or approved map are involved, approved minimum lot sizes are maintained, proposed construction is consistent with the architectural guidelines provided in the Specific Plan, no grading beyond substantial conformance limits is proposed, and no significant environmental impact is created. The Director or their designee shall determine of substantial conformance prior to the issuance of any permits or approval of plans. No written determination is required provided that plans submitted to the City for approval exhibit substantial conformance with the Harmon Ranch Specific Plan. Plans found not to be in substantial conformance shall not be approved and shall be revised or a Specific Plan amendment shall be required.

7.3.6 Administrative Adjustments

The Administrative Adjustment review process allows limited exceptions to certain development standards. An application for an Administrative Adjustment is processed administratively through an Administrative Use Permit (AUP) as described in Section 7.3.7 without the submission of a formal Variance filed on forms provided by the Director and shall include data and plans as required to make an investigation and evaluation of the application. Fees shall be paid as established by City Council resolution. A property owner or authorized

agent of the property owner shall file an Administrative Adjustment application whenever any one of the following deviations from the provisions of this Specific Plan is proposed:

- (1) Alteration of a condition of approval for an approved Conditional Use Permit or development agreement.
- (2) Reduction of required setbacks by up to 10 percent.
- (3) Other Standards. A reduction in any other numeric development standard, excluding density or height, not exceeding 10 percent.

The Director shall reserve the right to refer any proposed alteration, reduction, or other adjustment to the City Council for consideration.

7.3.7 Administrative Adjustments Review and Findings

The Director, or the City Council upon referral, may approve and/or modify an Administrative Adjustment application in whole or in part, with or without conditions, if the applicant can demonstrate that the circumstances of the particular case can justify making the following findings.

- (1) The requested adjustment will not interfere with the purpose and intent of the regulations for the land use district in which the property is located.
- (2) The approval or conditional approval of the adjustment will not be injurious to adjacent property or the surrounding area.
- (3) The approval or conditional approval of the adjustment will promote the general welfare and will not adversely affect the goals and policies of the City of Poway General Plan.
- (4) The plans for construction and/or development resulting from approval or conditional approval of the adjustment would result in a superior design solution that enhances the visual quality, use, and function of the site and surrounding area.
- (5) Special circumstances exist that justify a deviation in the minimum required standard. Public notice for an Administrative Adjustment may be required at the discretion of the Director. Refer to the PMC for public noticing procedures. Any decision of the Director may be appealed in accordance with PMC Chapter 2.20. Appeals shall be filed on forms provided by the Development Services Department and shall require payment of a fee established by City Council resolution.

7.3.8 Specific Plan Minor Modifications and Amendments

Modifications to the text or exhibits of this Specific Plan may be warranted to accommodate unforeseen conditions or events. The City will process revisions in a manner pursuant to the provisions in this section.

A. Minor Modifications

Minor Modifications to the Specific Plan are processed administratively through a Specific Plan Amendment application with approval by the Director of Development Services and do not require a public hearing or review by the City Council. The Director shall reserve the right to refer any Decision to the City Council. The Director shall have the authority to make modifications to the Specific Plan as follows:

- (1) Additions, deletions, or modifications to **Table 3.2: Open Space Permitted Uses** and **Table 3.3: Residential Permitted Uses** which include uses similar to a use already listed and are consistent with the purpose and intent of the particular district and the Environmental Impact Report for the Specific Plan, provided that density, intensity, and traffic, are not increased.
- (2) Minor modifications to design guidelines for architectural features and materials, landscape treatments, lighting, and signage which are consistent and compatible with the surrounding area and neighborhoods.
- (3) Revisions to exhibits in the Specific Plan that do not (a) substantially change the Specific Plan's Purpose, Authority, Vision or Objectives; (b) reduce development standards to provide visual encroachments into established neighborhoods.
- (4) Modifications to the Specific Plan that are of a similar magnitude to those listed above, which are deemed minor by the Director and conform to the Purpose, Authority, Vision and Objectives of this Specific Plan. Public notice for a Minor Modification may also be required at the discretion of the Director. Refer to the PMC for public noticing procedures. Any decision of the Director may be appealed in accordance with PMC Chapter 2.20. Appeals shall be filed on forms provided by the Development Services Department and shall require payment of a fee established by City Council resolution.

B. Amendments

Proposed changes to this Specific Plan that do not meet the criteria for a Minor Modification shall be subject to a formal Specific Plan Amendment process pursuant to Chapter 17.47 (Specific Plan Regulations) of the PMC. All Specific Plan Amendments are required to be found consistent with the Poway General Plan in compliance with Government Code Section 65454. The Development Services Director reserves the right to interpret land uses to substantially conform or to be substantially similar or consistent with one or more of the allowable land uses provided in and/or the purpose and intent of the OSR and OS zoning districts. The Specific Plan may be amended as often as deemed necessary by the City Council in compliance with Government Code Section 65453.

7.3.9 Administrative Use Permit

The Administrative Use Permit process is established to provide for administrative review of certain applications that may require special considerations and imposition of specific conditions because of their unusual characteristics. This review process allows consideration with respect to the objectives of this Specific Plan and potential effects on surrounding properties. To achieve these purposes, the Development Services Director or his/her designee is empowered to grant and to deny applications for Administrative Use Permits for such uses in such land use districts as are prescribed in **Table 3.1: Land Use Summary** of this Specific Plan, and to impose reasonable conditions upon the granting of Administrative Use Permits. Administrative Use Permits are subject to the following:

A. Application and Fees

An application for an Administrative Use Permit shall be filed on forms provided by the Director and shall include the data and plans set forth in PMC Section 17.48.020. Fees shall be paid as established by City Council resolution.

B. Investigation and Report

The Director shall make an investigation of the application and shall prepare a Notice of Decision identifying the proposed action to be taken, as well as any conditions to be applied to the application.

C. Action

Prior to acting to approve, approve with conditions, or deny an application for an Administrative Use Permit, the Director shall provide notice to property owners within 500 feet of the exterior boundaries of the subject property. The notice shall state that the Director will decide whether to approve, conditionally approve, or deny the Administrative Use Permit application on a date specified in the notice, and that a public hearing will be held only if requested in writing by any interested person before the specified date for the decision.

Any written request for a public hearing shall be based on issues of significance directly related to the application. If the Director determines that the evidence has merit and can be properly addressed by a condition(s) added to the Administrative Use Permit approval, the Director may consider the permit in compliance the Findings requirements below and not conduct a public hearing. If a public hearing is requested and the provisions of the paragraph above do not apply, a hearing before the Director shall be scheduled, noticed, and conducted.

D. Required Findings

The Director or City Council shall make all of the following findings before granting or modifying an Administrative Use Permit:

- (1) The proposed location size, design and operating characteristics of the proposed use are in conformance with this Specific Plan, the purpose of the land use district in which the site is located, and the City's General Plan.
- (2) The location, size, design, and operating characteristics of the proposed use will be compatible with and will not adversely affect or be materially detrimental to adjacent uses, residents, buildings, structures or natural resources.