

Rancho Monterey

SPECIFIC PLAN AMENDMENT

November 2022

Prepared For:
City of Rancho Mirage
Applicant:
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Prepared By:
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CHAPTER I: INTRODUCTION & SETTING

1.1 Executive Summary

The Rancho Monterey Specific Plan Amendment (SP Amendment) is a 35-acre planning area within the Monterey Specific Plan. The SP Amendment sets forth a comprehensive vision for a mixed-use project on the west side of Monterey Avenue within the corporate limits of Rancho Mirage, California. This SP Amendment will replace this portion of the existing Specific Plan and establish site-specific development standards, land use regulations, and programs to guide the development of the property in a manner that is consistent with the Rancho Mirage General Plan while also maintaining flexibility to respond to changing conditions that factor in any long-term development. This SP Amendment implements all applicable elements of the General Plan and includes detailed information about the site's master plan and infrastructure improvements such as circulation, water, sewer, grading and drainage design. The Amendment is presented as a stand-alone appendix and is organized in five chapters, as described below:

Chapter 1, Introduction & Setting: This section provides an overview of the document, the project setting and history, legislative authority for the Specific Plan, entitlement process and other contextual information.

Chapter 2, Master Plan and Infrastructure: This section describes the primary master plan components required for further development of the property. These include land use, circulation, open space and recreation, water and sewer, and grading and drainage.

Chapter 3, Development Standards: This section establishes the allowable uses and development standards applicable within the Specific Plan area.

Chapter 4, Design Guidelines: This section establishes the design guidelines applicable within the Specific Plan area.

Chapter 5, Plan Administration: This section describes the various processes and procedures used to administer and implement the adopted Specific Plan Amendment.

1.2 Purpose and Intent

This SP Amendment is intended to guide future development and use of land within the Rancho Monterey Specific Plan Amendment boundary, including the establishment of site-specific development standards and regulations. The Specific Plan Amendment is intended to ensure quality development consistent with the goals, objectives, and policies of the City of Rancho Mirage General Plan.

This document has been prepared pursuant to California Government Code Section 65450, which grants local governments the authority to prepare specific plans as a systematic means of implementing their General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identifies the required contents of a Specific Plan, and mandates consistency with the General Plan.

Per California Government Code Section 65451, a specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).
- The specific plan shall include a statement of the relationship of the specific plan to the general plan.

This Specific Plan Amendment defines the location, type and amount of development allowed within the Specific Plan area consistent with all requirements for Specific Plans identified in State Planning and Land Use Law as listed above and Section 17.54 of the Rancho Mirage Municipal Code (RMMC). It will also establish standards intended to allow the project to respond to market conditions.

1.3 Project Location & Site Characteristics

The Rancho Monterey Specific Plan Amendment area is located approximately 105 miles from the City of Los Angeles and the Pacific coast and approximately 240 miles from the Phoenix/Scottsdale metropolitan region. As shown on Figure 1.1, *Regional Location Map*, the Specific Plan is situated in the central portion of the Coachella Valley within the corporate limits of the City of Rancho Mirage at the northwest corner of Monterey Ave and Dick Kelly Drive. The project is accessible from Interstate 10 by way of Monterey Ave. The Specific Plan Amendment area totals approximately 35 acres (APNs 685-090-002, -003, -005, -006, and -007. Figure 1.2, *Vicinity Map*, depicts the physical setting of the property. Surrounding land uses are listed below in Table 1.1.

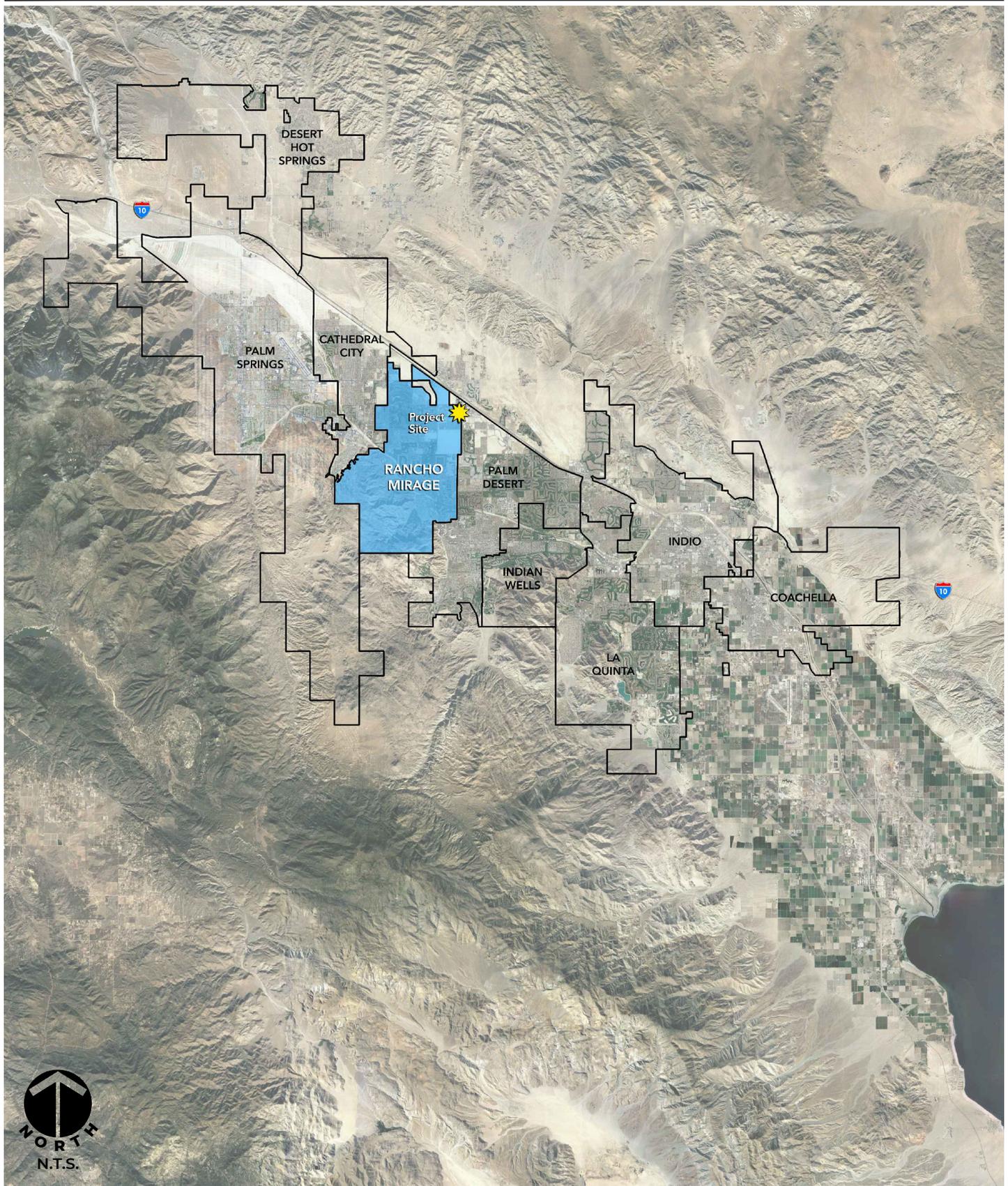
In its current condition the site consists entirely of undeveloped and relatively flat infill land as shown on Figure 1.3, *Aerial Photograph*. Site topography slopes from west to east with higher elevations ranging from 316 along the southwest corner of the property boundary to a low elevation of 258 along Monterey Ave to the northeast. A 25-foot high manufactured slope and retention basin are located along the northerly boundary of the property. The project site borders Monterey Ave to the east (an existing Major Arterial road).

**TABLE 1.1
EXISTING AND SURROUNDING USES**

	Jurisdiction	General Plan/Zoning	Existing Use
Site	Rancho Mirage	C-C; Monterey Specific Plan	Vacant Infill Land
North	Rancho Mirage	C-C; Monterey Specific Plan	Monterey Marketplace Shopping Center
South	Rancho Mirage	R-M; Monterey Specific Plan	Vacant Infill Land
East	Rancho Mirage / Palm Desert	C-C; Monterey Specific Plan	Vacant Infill Land, Monterey Ave, Desert Gateway Shopping Center
West	Rancho Mirage	OS-PP / R-H; Monterey Specific Plan	Vacant Infill Land

General Plan/Zoning Designations: R-M (Medium Density Residential 4 du/ac), R-H (High Density Residential 9 du/ac), C-C (Community Commercial), and OS-PP (Open Space Private Park).

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Source: MSA Consulting, Inc.

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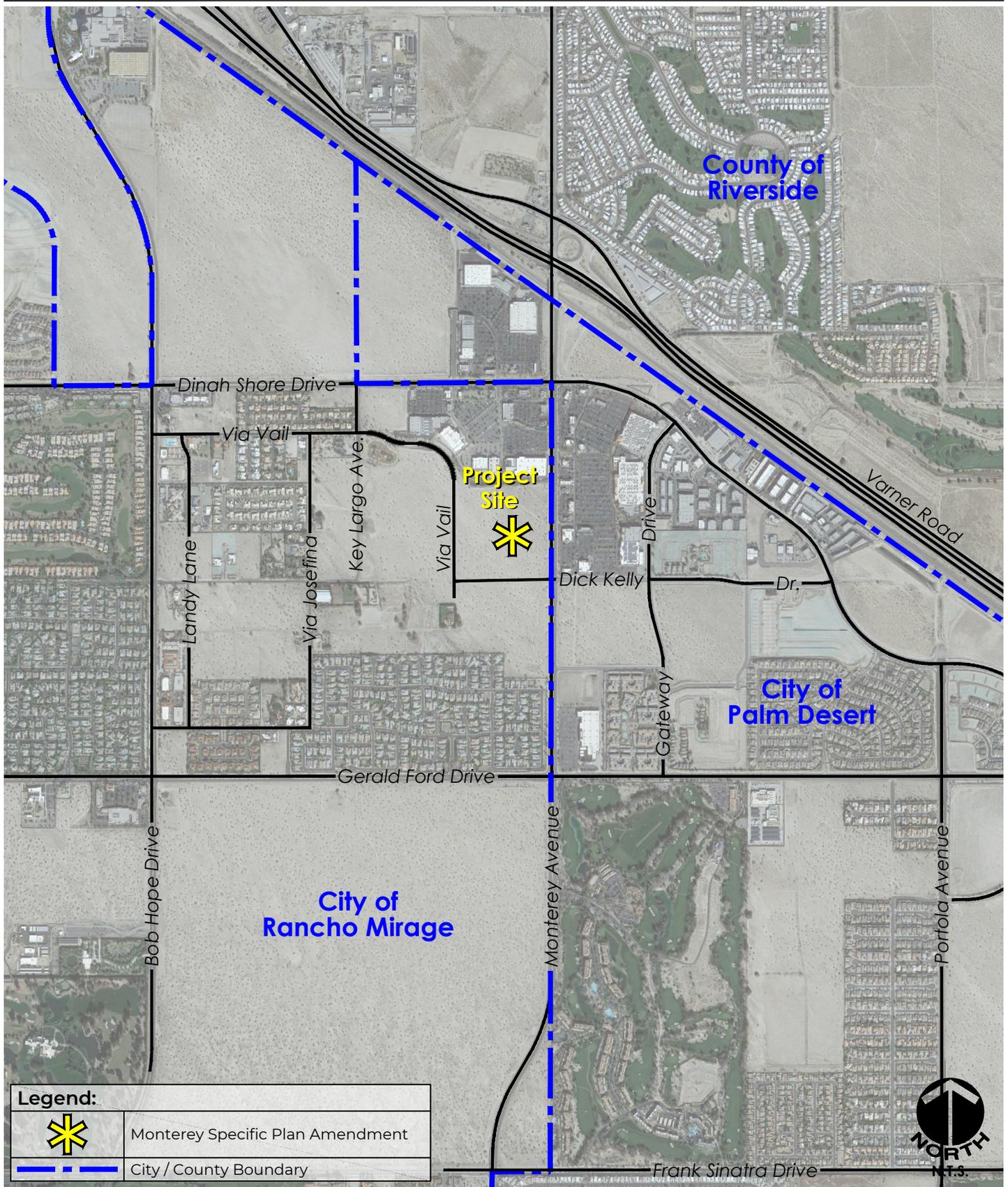


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REGIONAL LOCATION MAP

FIGURE 1.1
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Source: MSA Consulting, Inc.

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Source: City of Rancho Mirage

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AERIAL PHOTOGRAPH

FIGURE 1.3
PAGE 6

1.4 Background and History

The property was initially entitled in the early 1990's as part of the Monterey Specific Plan (MSP) Project which provided a comprehensive development vision to allow for a variety of commercial, retail, and residential uses on approximately 320 acres. The MSP provided development standards and design guidelines for the entire 320 acres which designated the Rancho Monterey property for Commercial Recreation and Medium Density Residential uses as shown in Figure 1.4 *Monterey SP Buildout Status*. As part of the MSP's approval, a Supplemental Environmental Impact Report (SEIR) was processed and approved for the project.

Implementing developments within the Monterey Specific Plan boundary include the Monterey Marketplace in the northern portion along Dinah Shore Drive, the Versailles gated residential community in the southern portion along Gerald Ford Drive and the City Dog Park off Key Largo Avenue. Otherwise, the balance of properties within the SP boundary are vacant as shown in Figure 1.4.

In 2005, a Letter of Understanding and Mutual Agreement was signed between the City of Palm Desert and the City of Rancho Mirage to establish vehicle access points along Monterey Ave between Gerald Ford Drive and Dinah Shore Drive. Figure 2.5, *Conceptual Circulation Plan* illustrates the proposed access points for this project which are based on the mutual agreement with modifications per direction from City Staff.

The City has also adopted a Master Circulation Plan for Section 30 which has been modified from time to time. This plan identifies planned roadways on all sides of the property including Ginger Rogers Drive (60' ROW local street) on the south, Via Vail (88' Minor Arterial) on the west, and an unnamed 60' local street on the north.

1.5 Development Concept

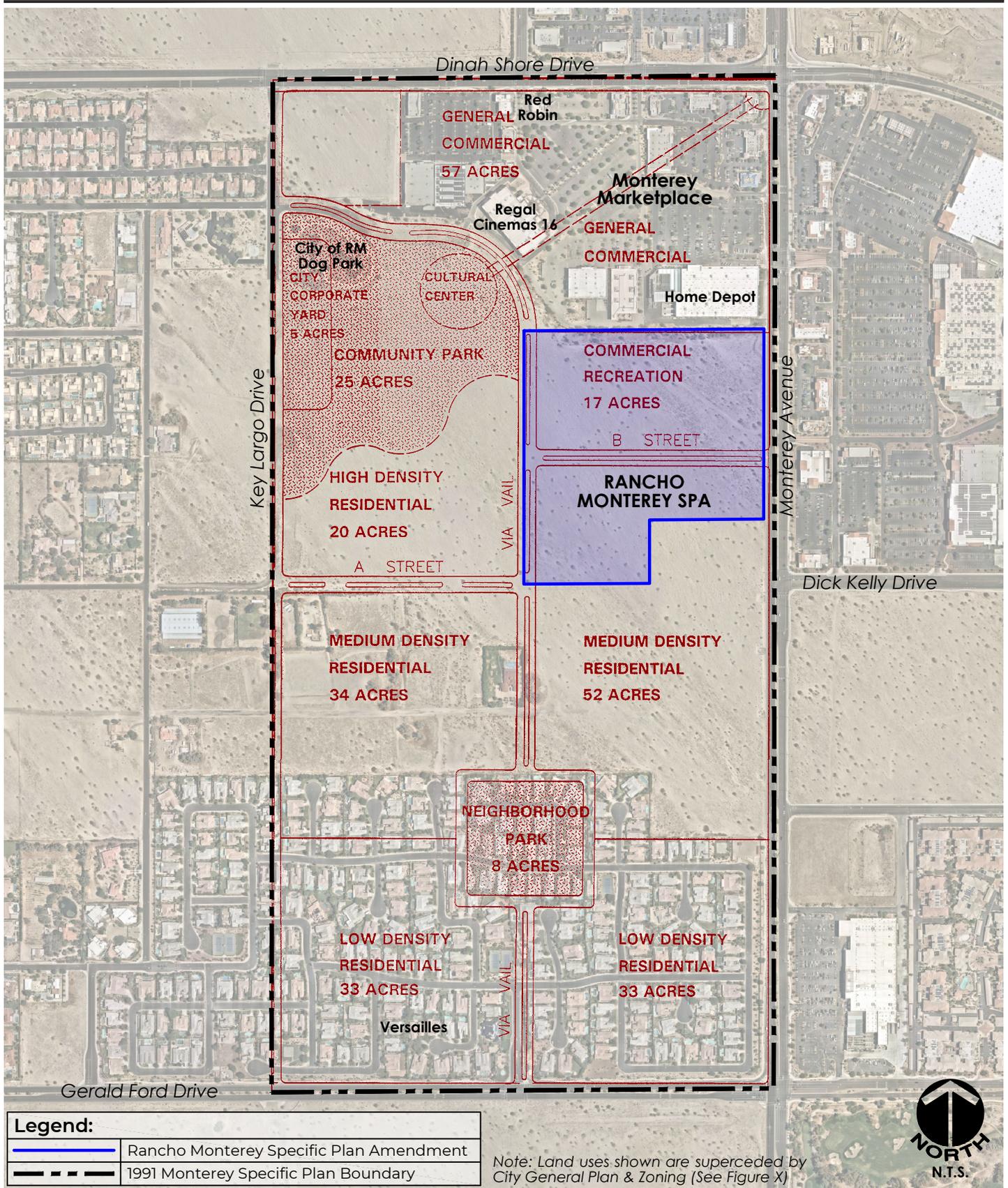
The Rancho Monterey Specific Plan Amendment proposes to develop a mixed-use project on approximately 35 acres that would provide for a variety of residential housing options and commercial retail uses in a pedestrian friendly setting. Such uses allowed within the Specific Plan include but are not limited to:

- Residential Uses (up to 400 dwelling units);
 - Including multi-family and senior apartments;
- Commercial / Retail Uses (up to 150,000 sf of retail space)
 - Including drive-through restaurants
 - Commercial may contain up to 150 hotel keys.
- Open space, parks, and retention.

As listed above, this SP Amendment is anticipated to allow for the development of up to 400 residential units and 150,000 sf of commercial retail space (including up to 150 hotel keys). The Project would also incorporate open space, recreational, and outdoor gathering spaces as unifying project design features. Pedestrian access and integration between the uses is encouraged by this Specific Plan and the City's General Plan. Chapter 4 of this Specific Plan provides design guidelines and development standards to ensure quality project design that is compatible with the existing built environment and with the Goals and Policies of the City of Rancho Mirage General Plan.

This Specific Plan Amendment intends to provide a degree of flexibility for future developers to design projects that respond to market demand. The Rancho Monterey Specific Plan will supersede the development guidelines and regulations of the Monterey Specific Plan to allow for a fresh, contemporary development strategy for the 35 acres. This SP amendment is intended to function as a standalone document in the event the Monterey Specific Plan is rescinded.

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Source: City of Rancho Mirage

Exhibit Date: June 14, 2022

MONTEREY SP BUILD OUT STATUS

1.6 Project Objectives

Various issues were considered and evaluated during the preparation of this Specific Plan Amendment. Engineering feasibility, water efficiency, General Plan goals, and compatibility with surrounding land uses were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic contribution of this development, unique project objectives were established as follows:

- Develop a thoughtfully planned and integrated project to allow for a variety of uses including but not limited to residential, commercial retail, office, and hotel uses.
- Provide a comprehensive land use plan that establishes development standards, land use regulations, and programs to guide the orderly transition/development of the property.
- Accommodate phasing that provides for multi-year project development in an orderly and efficient manner.
- Provide flexible development regulations that allow future projects to be entitled quickly and easily in response to market demand and evolving design needs.
- Establish design guidelines, development regulations, use standards and procedures that result in cohesive and attractive landscape and architectural treatments.
- Provide a safe and efficient circulation system;
- Provide water, sewer, and drainage systems to adequately service the project;
- Promote quality development consistent with the goals and policies of the Rancho Mirage General Plan.

1.7 General Plan and Zoning

The Rancho Mirage General Plan, updated in late 2017, establishes the City's policy relative to the planned future pattern, intensity, density, and relationships of land uses in the City and the various infrastructure systems needed to effectively support those land uses. The Specific Plan Amendment implements the Rancho Mirage General Plan by bringing detailed policies and regulations together into a focused development plan for the Specific Plan area. It serves as a link between the Rancho Mirage General Plan and subsequent development proposals within the Specific Plan area. This Specific Plan Amendment is a regulatory document which, when adopted by the Rancho Mirage City Council, will govern all facets of project development including the distribution of land uses, location and sizing of supporting infrastructure, as well as development standards and regulations.

Figure 1.5, *General Plan and Zoning Map*, displays the existing General Plan Land Use Map, which designates this site as Community Commercial (C-C). However, the residential uses proposed by the project are not allowed in the C-C zone, so the General Plan/Zoning Map will be amended to "*Rancho Monterey Specific Plan*" with underlying zoning designations of M-U (Mixed Use) and C-C (Community Commercial). The intention is to anchor the west side along Via Vail with residential, the east side along Monterey with commercial but allow uses in the center of the property to mix, flex and integrate seamlessly without restriction by an arbitrary zoning boundary.

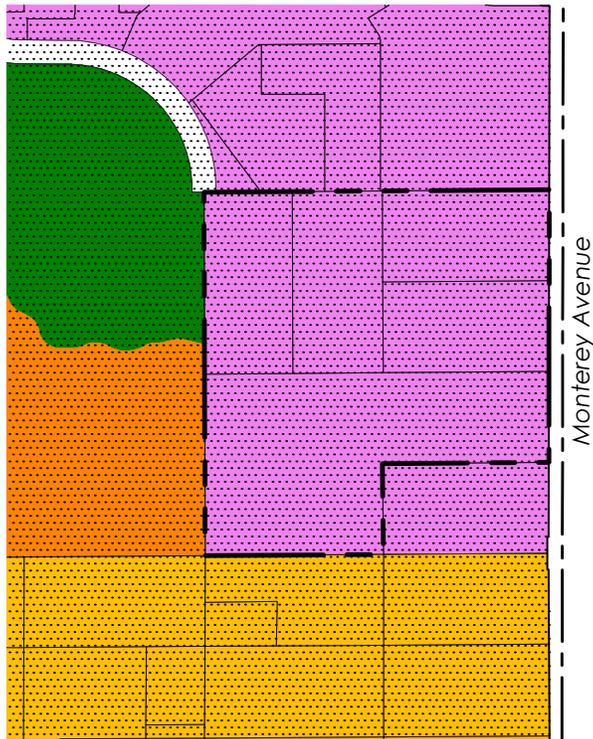
1.8 Utility & Service Providers

The Rancho Monterey project is within the service area of the utility and service providers as listed in Table 1.2.

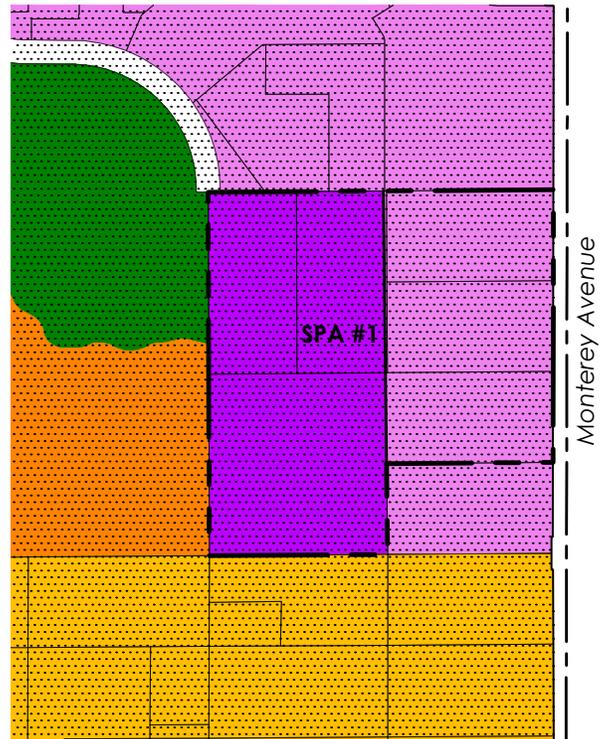
**TABLE 1.2
UTILITY & SERVICE PROVIDERS**

UTILITY/SERVICE	AGENCY	ADDRESS	PHONE
Sewer	CVWD	75-525 Hovley Lane, Palm Desert, CA.	760.398.2651
Water	CVWD	75-525 Hovley Lane, Palm Desert, CA.	760.398.2651
Natural Gas	Southern California Gas	P.O. Box 3150, San Dimas, CA. 91773	877.238.0092
Electric	IID	333 E. Barioni Blvd.	760.339.9379
Electric	Rancho Mirage Energy	69-825 Highway 111, Rancho Mirage, CA. 92270	760.578.6092
Cable TV	Spectrum	44-425 Town Center Way Ste H, Palm Desert CA 92211	760.340.2225
Police	County of Riverside	73-705 Gerald Ford Dr., Palm Desert, CA 92211	760-863-8990
Fire	County of Riverside	71-751 Gerald Ford Dr., Rancho Mirage, CA 92270	760.869.8886
Solid Waste	Burrtec	41575 Eclectic Street, Palm Desert, CA. 92260	760.340.2113
Schools	PSUSD	150 District Center Drive Palm Springs, CA 92264	760.883.2700

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Existing General Plan / Zoning



Proposed General Plan / Zoning

Legend:	
	SPA #1 Boundary (Rancho Monterey)
	City Limits
	Monterey SP Area
	R-M Residential Medium Density
	R-H Residential High Density
	C-C Community Commercial
	OS-PP Public Park
	M-U Mixed Use



Source: City of Rancho Mirage / MSA Consulting, Inc.

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GENERAL PLAN / ZONING

1.9 CEQA

The project is subject to the requirements of the California Environmental Quality Act (CEQA). Pursuant to the CEQA Guidelines, an Initial Study has been prepared for the Specific Plan Amendment to analyze the environmental impacts of the project.

No adverse impacts were identified that could not be mitigated to a level of less than significant. Therefore, the City will prepare a Mitigated Negative Declaration (MND) containing an evaluation of potential environmental impacts associated with the project and appropriate mitigation measures for each potential impact. All mitigation measures identified in the Mitigated Negative Declaration shall be identified in a Mitigation Monitoring and Reporting Program (MMRP) to ensure that implementation occurs.

The MND will apply to all subsequent implementing entitlements proposed within the Specific Plan Amendment boundary. All future development projects for the project site will be reviewed with the Specific Plan and the MND to determine whether additional environmental documentation must be prepared pursuant to CEQA Guidelines.

1.10 Entitlement Process

Approval of the following entitlements will implement this project:

Specific Plan Amendment (SPA) – The SPA will cover approximately 35 acres to provide comprehensive development guidelines, allowable uses, and development standards.

General Plan Zoning Map Amendment (GPZMA) – The GPZMA will amend the General Plan land use designation and zoning from “Community Commercial (C-C)” to “*Rancho Monterey Specific Plan*” with underlying zoning designations of “Community Commercial (C-C)” and “Mixed-Use (M-U).” The GPZMA also requires public hearings before the Planning Commission and the City Council.

Preliminary Development Plan (PDP) – to demonstrate the design guidelines required by the Specific Plan and to ensure quality architecture, landscape, and site design future development projects within the Specific Plan Amendment area shall follow the Development Plan Permit process as outlined in Chapter 17.42 of the RMMC.

Lot Line Adjustment (LLA) – If necessary, to adjust existing parcel lines to create the zoning boundary between M-U and C-C areas as well as providing a flexibility to adjust parcel acreages to facilitate future development projects. The LLA will require approval by the City of Rancho Mirage Public Works Engineering Division.

See Section 4.2 of this Specific Plan Amendment for more detailed information on the administrative and public hearing processes related to these implementing approvals.

CHAPTER 2: MASTER PLAN

2.1 Land Use Plan

The Specific Plan Amendment would facilitate construction of up to 400 residential units (density range of 9-20 du/ac) and 150,000 sf of Commercial Retail space (including up to 150 hotel keys) on approximately 35 acres (33 acres developable and 2 acres of perimeter public right-of-way) within two distinct Planning Areas as shown in Figure 2.1 *LAND USE MAP*. Locations of these uses are undefined but depicted for illustrative purposes in Figure 2.3, *Conceptual Site Rendering #1* and Figure 2.4, *Conceptual Site Rendering #2*. Implementing entitlement approvals may adjust the size, location and configuration of these uses as outlined in Section 1.10. Each Project component is described below and accompanied by a detailed discussion of permitted uses and relevant development standards in Chapter 3. Table 2.1 provides a summary tabulation of uses and square footages within the project.

**TABLE 2.1
LAND USE SUMMARY**

Land Use	Max. Dwelling Units (DU)	Non-Residential Building (SF)
Multi-Family Residential	Up to 400 Units	
Commercial Retail		Up to 150,000 sf

Notes:

1. These columns represent the maximum building square footage and unit counts allowed within the Specific Plan. The intent is to ensure that future entitlements reflect multiple uses integrated vertically or horizontally within the maximum limits.
2. Commercial Retail may include up to 150 hotel keys.
3. Refer to Chapter 3: Development Standards for heights, allowable uses, and other development standards.

2.2 Planning Area Descriptions

The Specific Plan is broken into two Planning Areas, each corresponding with a basic land use component. In addition, a Mixed-Use / Commercial Flex Zone over the two Planning Areas will allow for developer flexibility and design creativity for future development of the site. Figure 2.1, *Land Use Plan* illustrates the location of two planning areas and flex zone.

Planning Area 1 (PA-1) – Community Commercial

PA-1 consists of approximately 14 acres of land and will allow for community commercial uses. Representative uses within this planning area include restaurants (including drive-thru), hotels, and commercial retail. A comprehensive list of allowable uses within PA-1 is provided in Chapter

Planning Area 2 (PA-2) – Mixed Use

PA-2 consists of approximately 18.5 acres of land and will allow for a variety of uses, which may include commercial space and residential units. Representative uses within this planning area include commercial, office and residential. A comprehensive list of allowable uses is provided in Chapter 3.

Mixed-Use / Commercial Flex Zone Overlay

The purpose of the residential / commercial flex zone is to allow for a dynamic mix of residential and commercial uses while allowing creative flexibility to future developers and the ability adapt to changing market conditions. The flex zone is approximately 9.5 acres in size (located entirely within the boundary of PA-II) and uses in the flex zone are generally those allowed in PA-1 and PA-2 as described in Chapter 3. Development standards for the flex zone are also outlined in Chapter 3 and residential density within the flex zone will be the same as PA-2 (between 9-20 du/ac.)

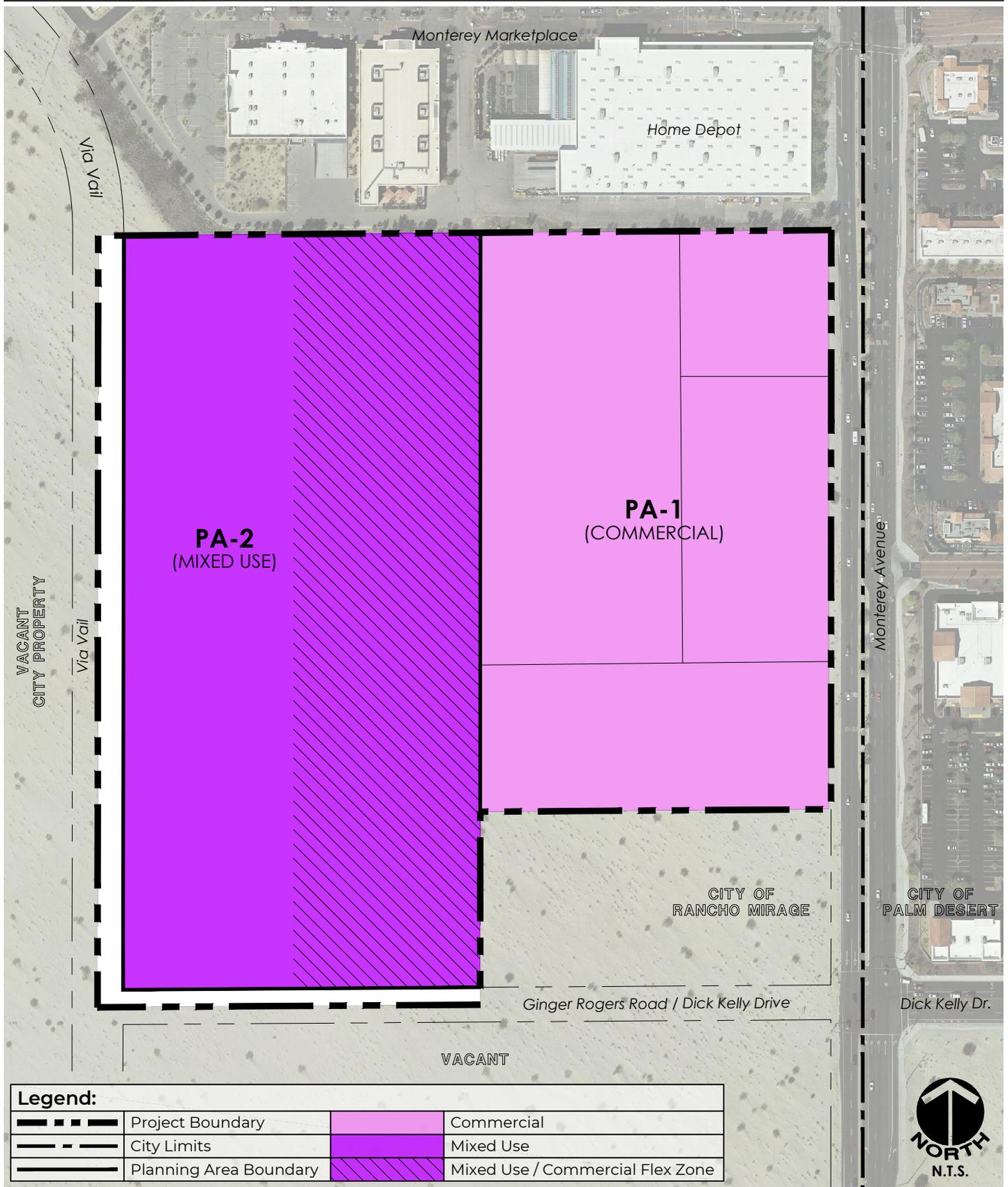
2.3 Monterey Avenue and Ginger Rogers Height Buffer Zones

Chapter 3 of this Specific Plan provides standards for allowable maximum height for the project. These maximum height standards are determined by use and planning area as summarized on Table 3.2 (PA-1 and PA-2 Development Standards). In addition to these standards, the Specific Plan includes a 250 ft height limit buffer zone off Monterey Ave and a 100 ft height limit buffer zone off Ginger Rogers Road. All development within the Monterey Ave buffer Zone will be limited to 20 ft / 1 story from finished grade. All development within the Ginger Rogers Ave buffer Zone will be limited to 20 ft / 1 story from finished grade, excluding residential uses. Figure 2.2 Monterey Avenue and Ginger Rogers Height Buffer Zones illustrate the buffer Zones and locations.

2.4 Conceptual Site Renderings

The illustrative site plans shown in Figure 2.3, *Conceptual Site Rendering #1* and Figure 2.4, *Conceptual Site Rendering #2* are conceptual and subject to change as the project's design, land use acreages, unit mix, and building locations are finalized. A final development plan will ultimately depend on the retail and residential projects proposed for the site. The illustrations included here are meant to demonstrate hypothetical scenarios of what such a development could look like.

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Source: MSA Consulting, Inc.

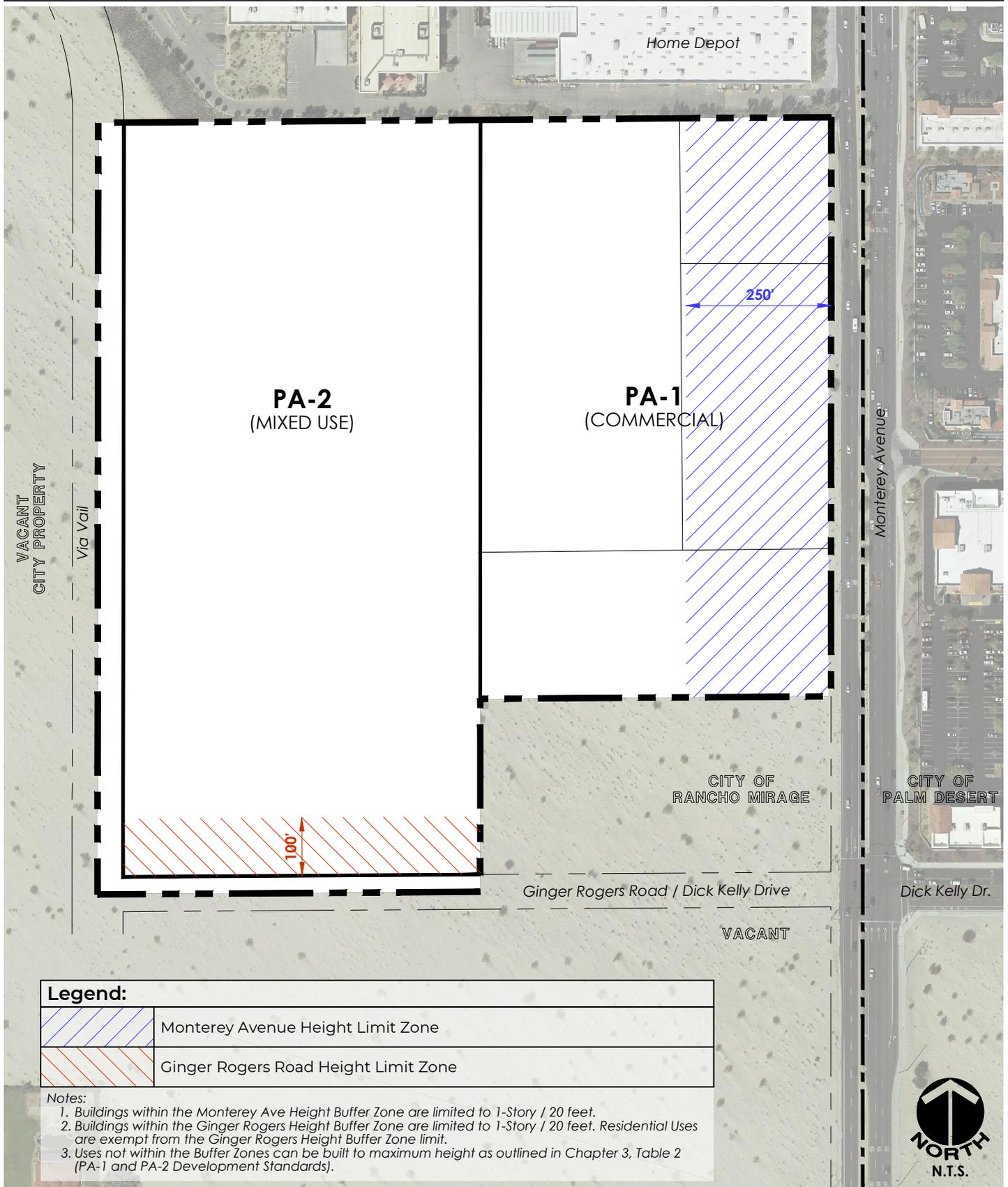
Exhibit Date: June 14, 2022



PROPOSED LAND USE PLAN

FIGURE 2.1
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RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Legend:	
	Monterey Avenue Height Limit Zone
	Ginger Rogers Road Height Limit Zone

- Notes:
1. Buildings within the Monterey Ave Height Buffer Zone are limited to 1-Story / 20 feet.
 2. Buildings within the Ginger Rogers Height Buffer Zone are limited to 1-Story / 20 feet. Residential Uses are exempt from the Ginger Rogers Height Buffer Zone limit.
 3. Uses not within the Buffer Zones can be built to maximum height as outlined in Chapter 3, Table 2 (PA-1 and PA-2 Development Standards).



Source: MSA Consulting, Inc.

Exhibit Date: June 14, 2022

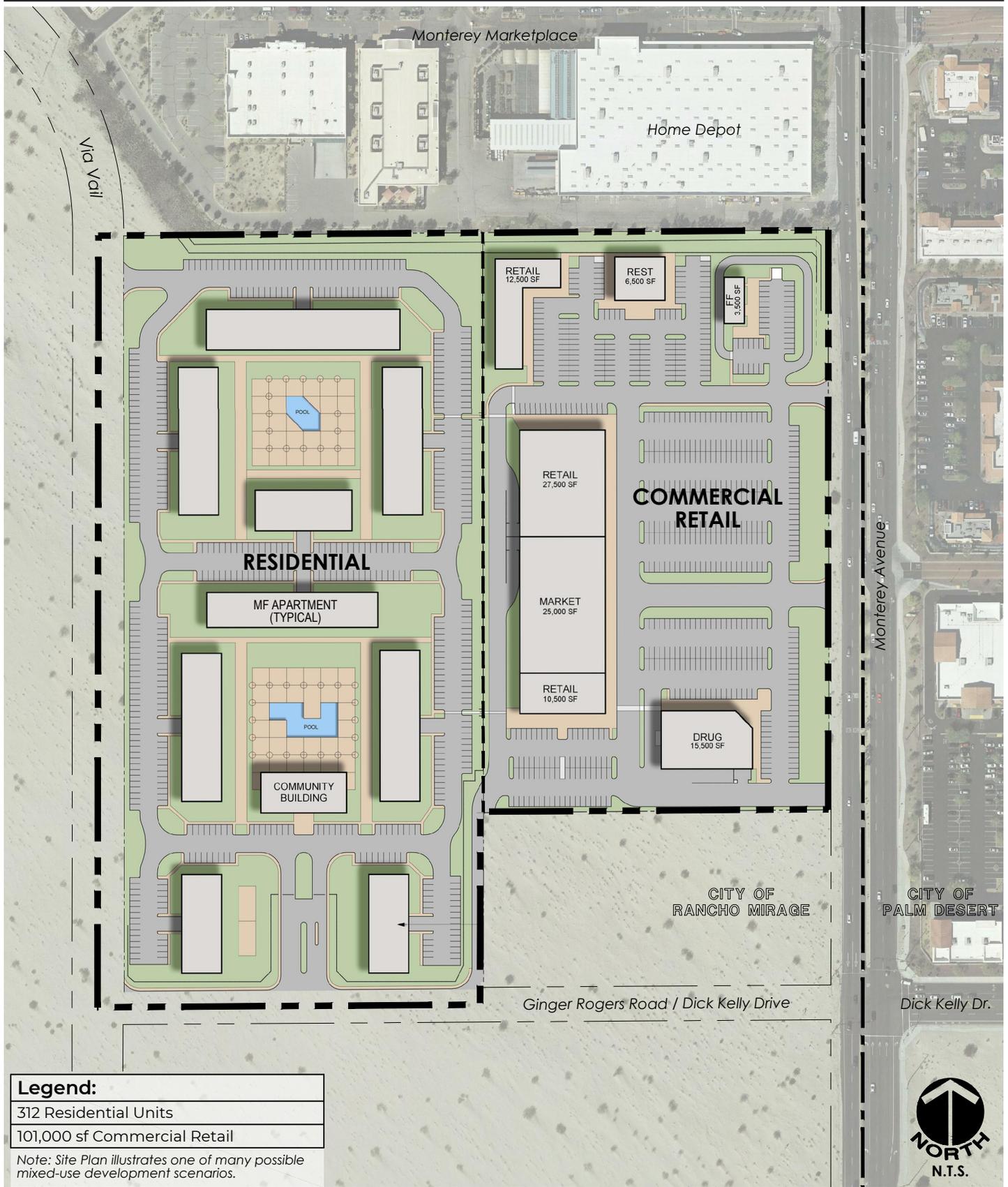


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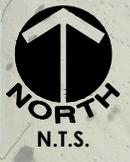
MONTEREY AVENUE & GINGER ROGERS ROAD HEIGHT BUFFER ZONE

FIGURE 2.2
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RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Legend:
 312 Residential Units
 101,000 sf Commercial Retail
 Note: Site Plan illustrates one of many possible mixed-use development scenarios.



Source: Prest Vuksic

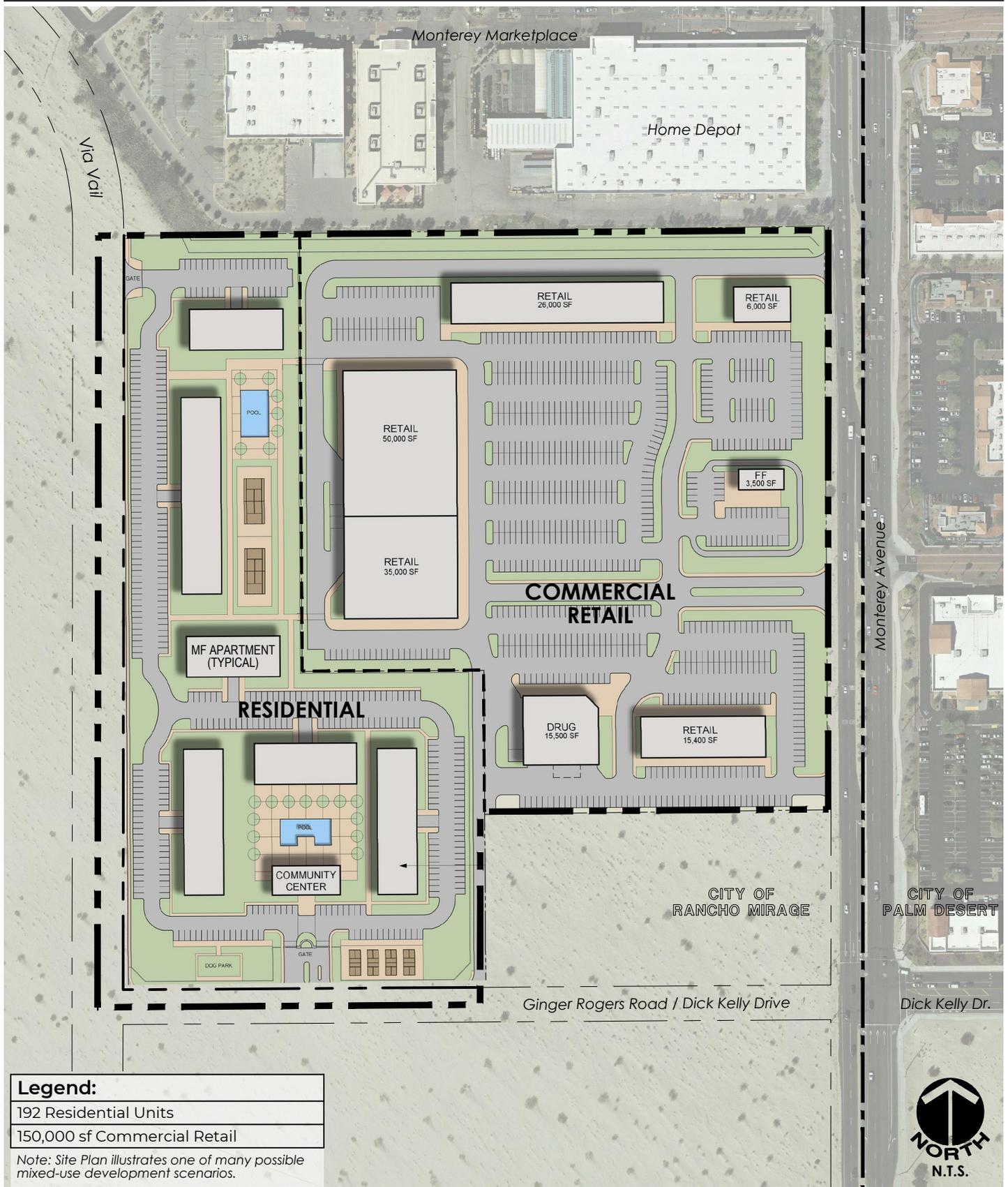
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CONCEPTUAL SITE RENDERING NO. 1

FIGURE 2.3
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RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Source: Prest Vuksic

Exhibit Date: October 14, 2022

CONCEPTUAL SITE RENDERING NO. 2

2.5 Circulation

Vehicular and pedestrian circulation systems are an important component of every development project. The Rancho Monterey development has direct and convenient vehicular access to Monterey Ave, Via Vail, and Dick Kelly Road. Vehicles will circulate through standard parking lots with drive aisles in compliance with City engineering and Fire Department design standards. The circulation system is illustrated in Figure 2.5, *Conceptual Circulation Plan* and Figure 2.6, *Roadway Classifications*. Key aspects of the circulation system include:

Off-Site Street Improvements – Monterey Ave currently exists along the project's easterly frontage and has been already been constructed to ultimate ROW width as illustrated in *Figure 2.2 Roadway Classifications*. Dick Kelly Drive and Via Vail are both currently undeveloped and will be built to 60' and 88' ultimate ROW respectively per the Section 30 Master Circulation Plan as shown in Figure 2.6.

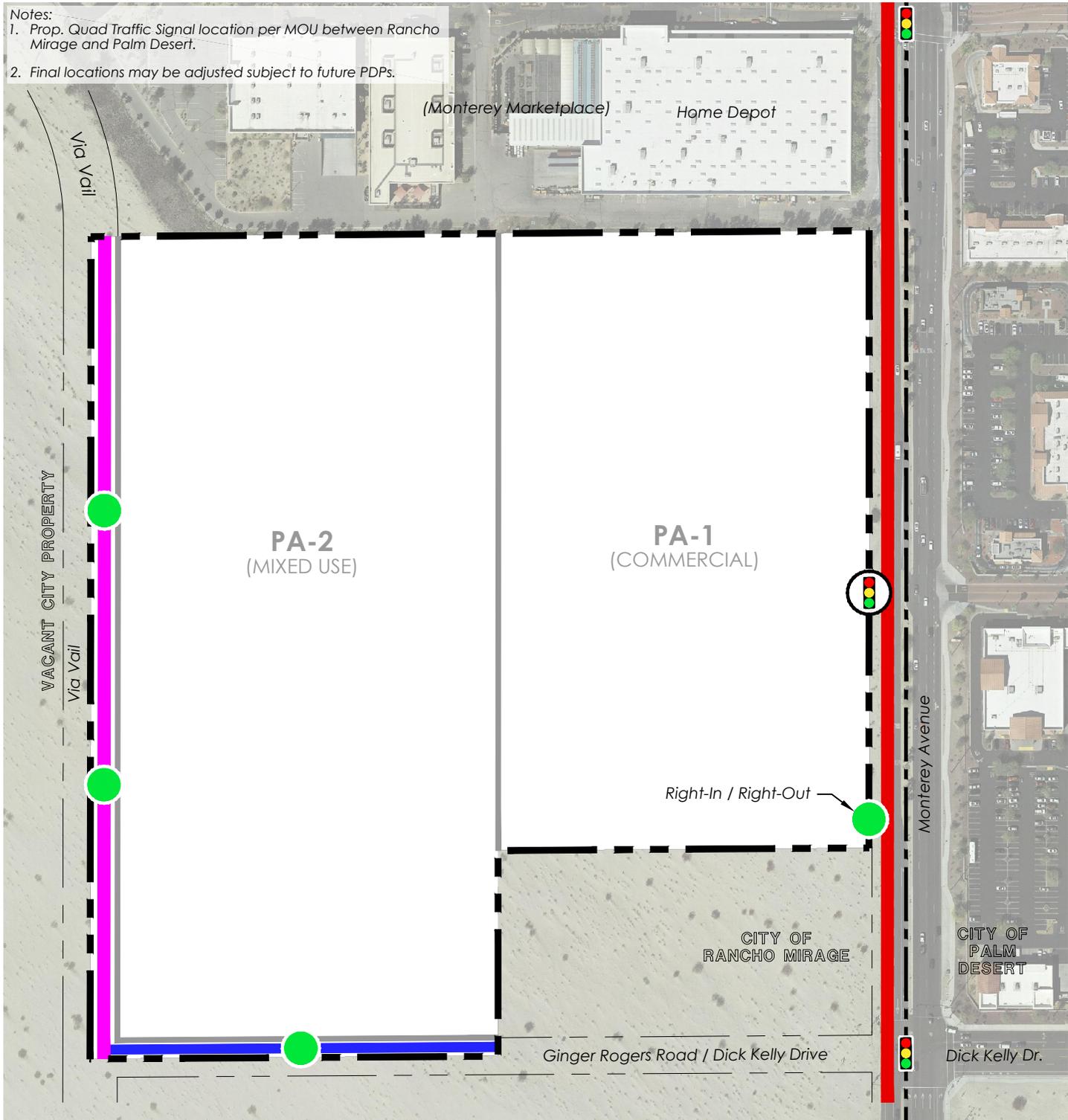
Entries – Vehicular access to the site is proposed from Monterey Avenue, Dick Kelly Drive, and Via Vail. The primary entry would occur on Monterey Avenue at a new signalized intersection at the midpoint of the project frontage. New entry points on Ginger Rogers and Via Vail would occur as individual projects are proposed. Entries would include landscaping, entry signage and pedestrian walkway connections.

Vehicular Circulation – The vehicular circulation system will consist of interior drive aisles that provide access to parking, loading, and service areas to serve future developments. The alignment of the internal circulation system will be determined as future implementing entitlement projects are proposed.

Pedestrian Circulation – Pedestrian links such as interior pathways, greenways, and crosswalks are encouraged to connect future onsite uses. Connectivity between onsite uses and sidewalks along Monterey Ave, Via Vail, and Dick Kelly Drive is strongly encouraged.

Parking – Sufficient off-street parking will be provided to serve each use. Parking standards for the Specific Plan are subject to City Review and to be consistent with City of Rancho Mirage Code Section 17.26 (PARKING AND LOADING STANDARDS).

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Legend:

	Project Boundary		Major Arterial (120' R/W) <i>(Per City of Rancho Mirage General Plan)</i>		Existing Traffic Signal		Proposed ² Driveway Location
	City Limits		Minor Arterial (88' R/W) <i>(Per Section 30 Circulation Master Plan)</i>		Proposed ¹ Traffic Signal		
	Planning Area Boundary		Local Street (60' R/W) <i>(Per Section 30 Circulation Master Plan)</i>				



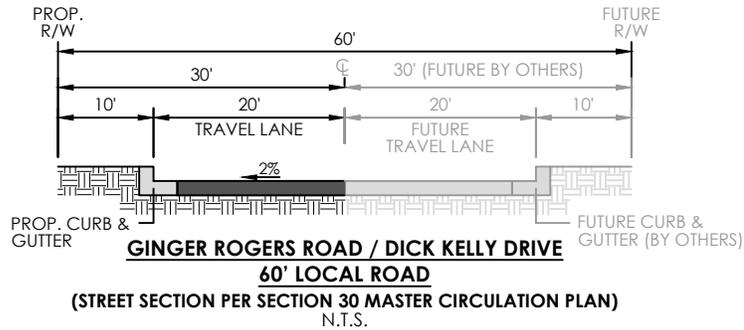
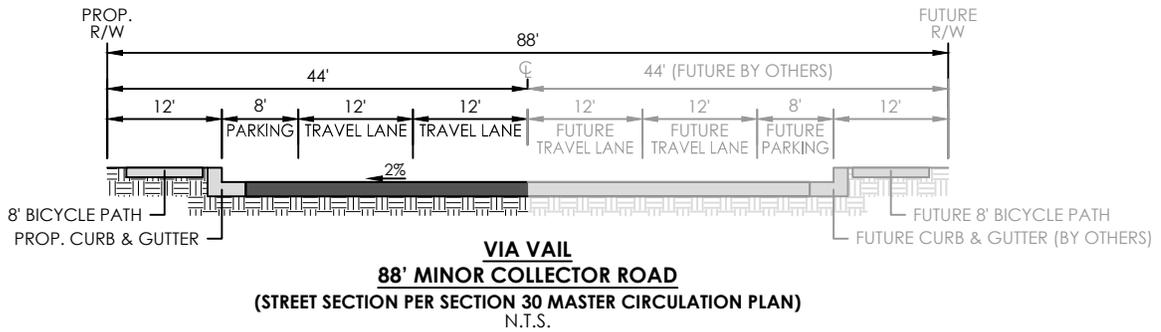
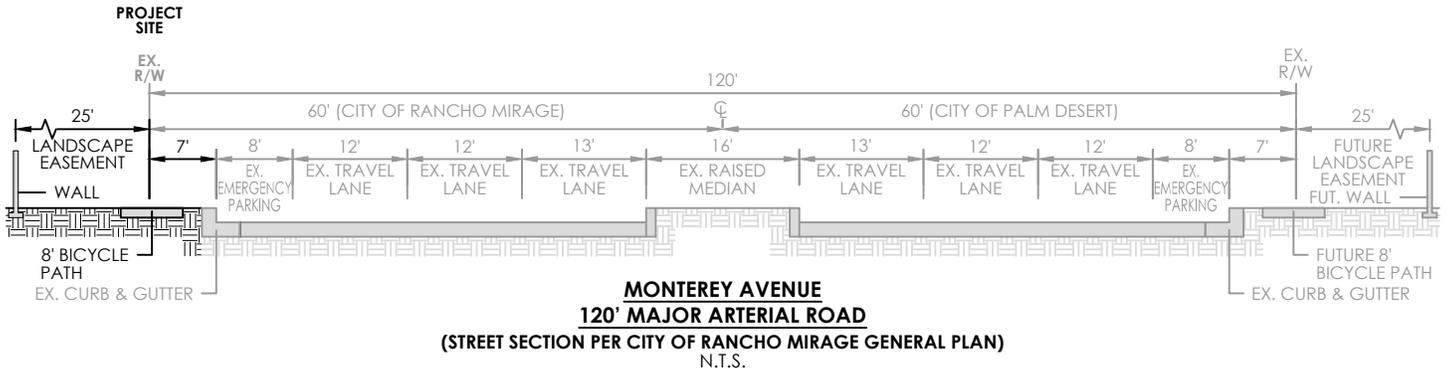
Source: City of Rancho Mirage / Prest Vuksic Greenwood Architects / MSA Consulting, Inc.

Exhibit Date: June 14, 2022

CONCEPTUAL CIRCULATION PLAN



RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Source: City of Rancho Mirage

Exhibit Date: September 13, 2022



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ROADWAY CLASSIFICATIONS

2.6 Landscaped Areas

Landscaping is an important component of quality development as it introduces greenery to soften and shade urban hardscape. Design Guidelines are found in Section 4.3. Key aspects of the landscape design include:

Public Streetscapes – Landscaping along the length of Monterey Ave is intended to achieve a consistent, colorful and attractive presentation and soften the project when viewed from the public street while also allowing visibility of commercial buildings and signage. Detailed landscaped sections are provided in Section 4.3.

Entries – Site entries will be attractively landscaped to provide a sense of identity and distinctiveness for the project. Entries will be well designed with integrated plant materials, vertical elements and signage that makes a defining statement as residents and customers enter the project. Typical entry landscape treatments are illustrated in Section 4.3.

Parking Lots – Planter islands will be spaced throughout the parking areas to incorporate shade trees and reduce heat generation on paved surfaces consistent with City parking lot shading requirements. Section 4.3 provides further direction and detail for parking lot shading strategies.

2.7 Water & Sewer

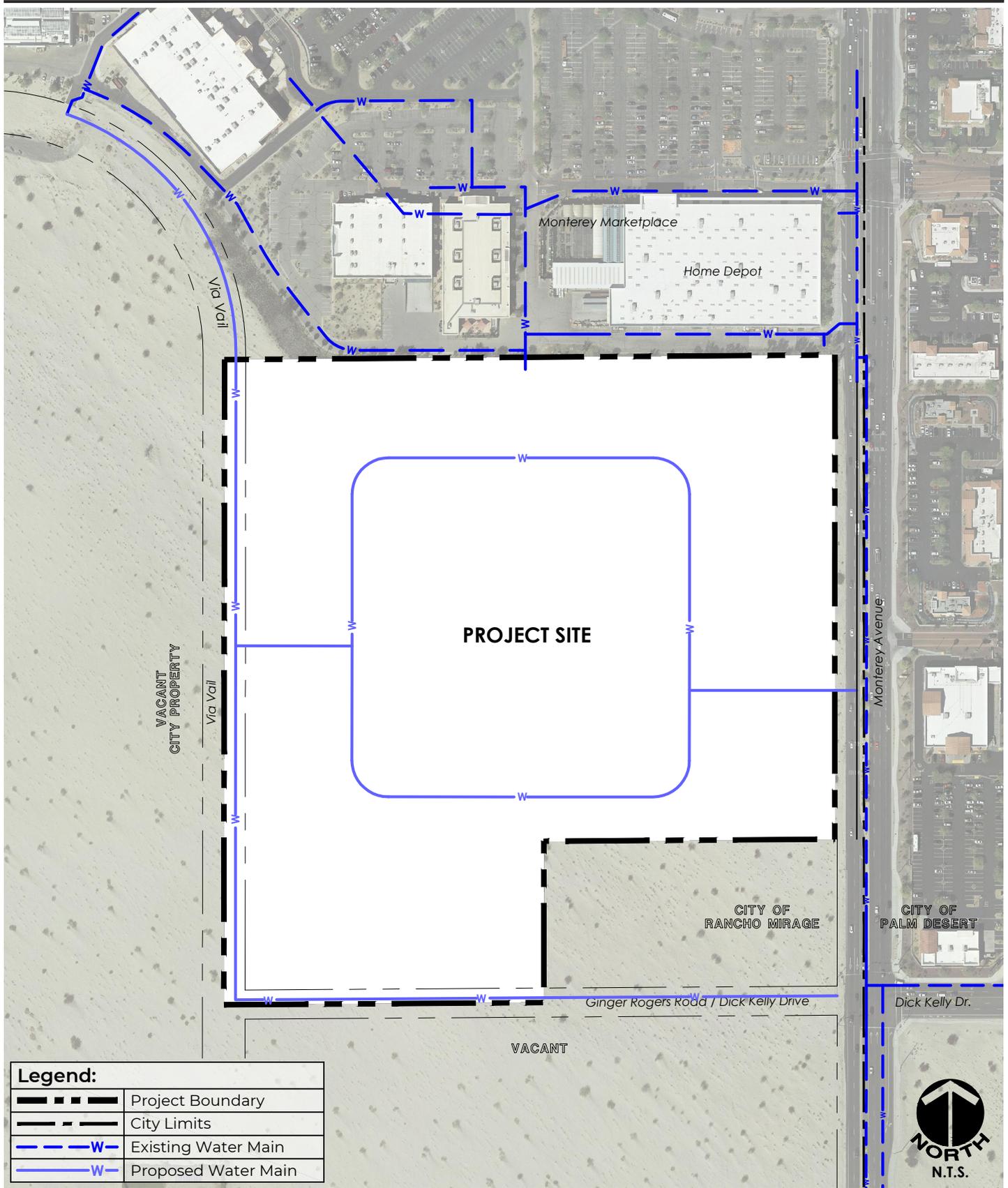
As shown in Figure 2.7, *Conceptual Water Plan* and Figure 2.8, *Conceptual Sewer Plan*, the Specific Plan Amendment area is provided with domestic water and sanitary sewer service by the Coachella Valley Water District (CVWD). Development within the project will be served by a private network of lines that will connect to existing public CVWD water and sewer lines located adjacent north to the site and on Monterey Ave.

Existing CVWD water mains are located north of the site in the Monterey Marketplace development and along Monterey Ave. The project proposes connection points to both locations as illustrated on the Conceptual Water Plan. Water mains are proposed to be extended along Via Vail and Ginger Rogers Road to adequately serve the project in addition to an internal network of private lines to serve on-site development.

An existing CVWD sewer main exists north of the project site behind the Monterey Marketplace development, however sewer infrastructure does not exist along the Monterey Ave frontage. The project proposes to connect to the existing CVWD sewer infrastructure and will provide a private network of sewer mains within the project to serve on-site uses.

Figure 2.7, *Conceptual Water Plan* and Figure 2.8, *Conceptual Sewer Plan* are conceptual and subject to refinement / modification as necessary in response to future specific development proposals.

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Legend:	
	Project Boundary
	City Limits
	Existing Water Main
	Proposed Water Main

Source: MSA Consulting, Inc.

Exhibit Date: June 14, 2022

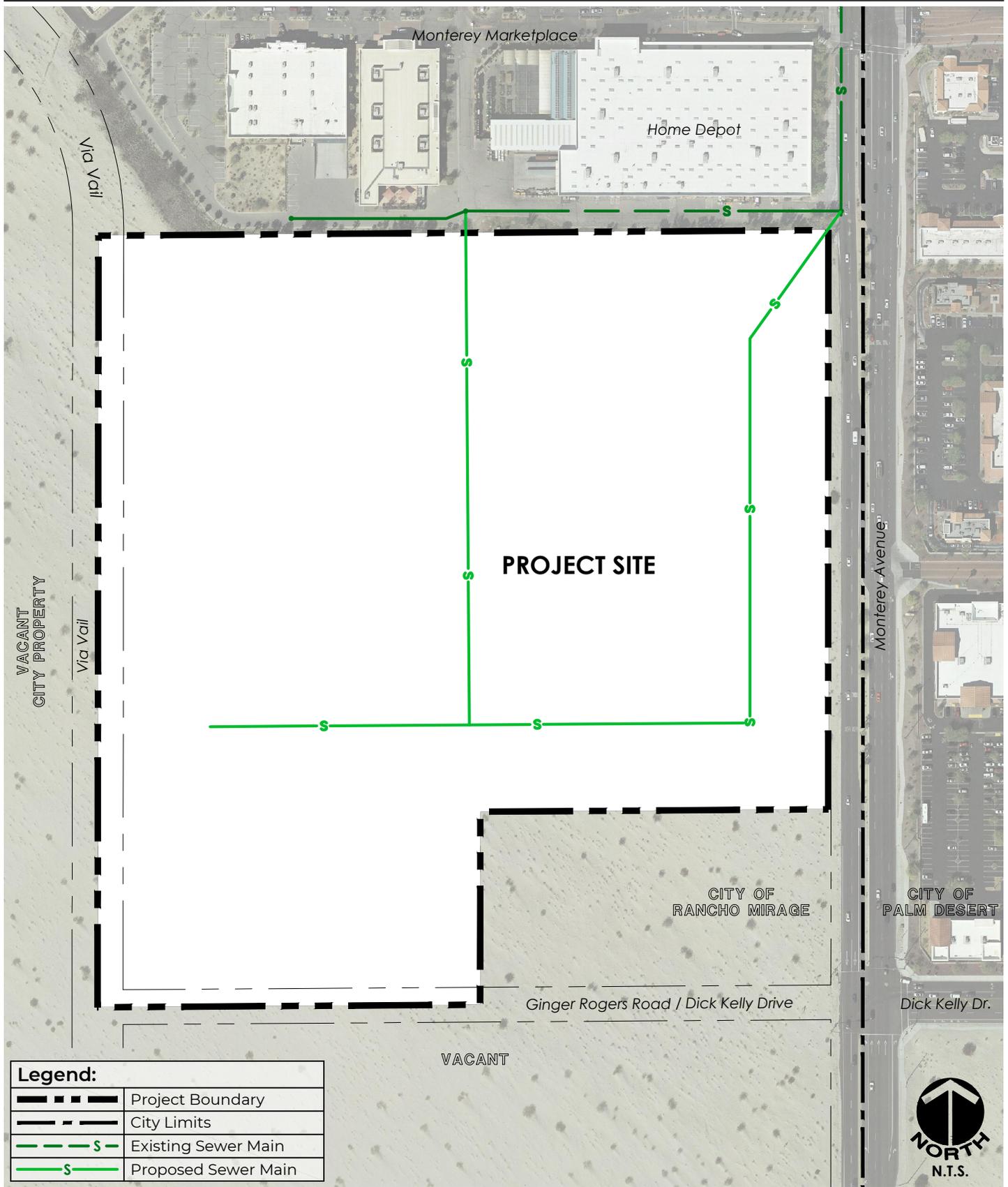


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CONCEPTUAL WATER PLAN

FIGURE 2.7
 PAGE 25

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Legend:	
	Project Boundary
	City Limits
	Existing Sewer Main
	Proposed Sewer Main

Source: MSA Consulting, Inc.

Exhibit Date: June 14, 2022



CONCEPTUAL SEWER PLAN

FIGURE 2.8
PAGE 26

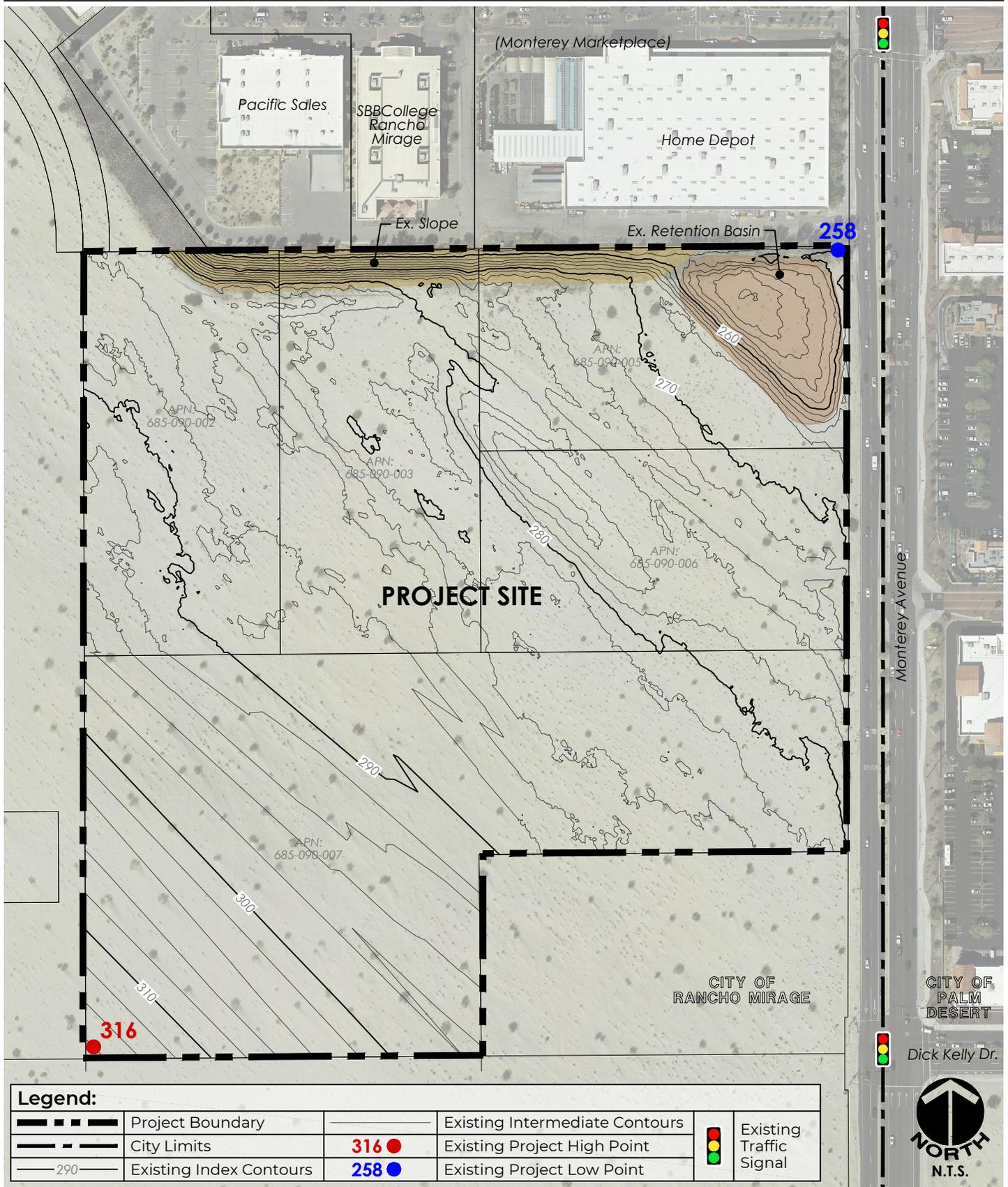
2.8 Grading & Drainage

Site topography slopes from west to east with higher elevations ranging from 316 along the southwest corner of the property boundary to a low elevation of 258 along Monterey Ave to the northeast. Because grading and drainage are closely interrelated, they are addressed jointly in this section.

Site grading will create building pads and parking areas while intending to keep the earthwork balanced on site. Because the site is relatively level, grading design will not deviate greatly from existing conditions and will be defined in greater detail as subsequent entitlement projects are proposed. Grading will achieve positive surface flows and protect all structures and physical improvements from the 100-year storm through surface runoff into retention basins either above or below the finished surfaces. Soil erosion and water quality will be protected both during and after construction is completed. The incremental increase in storm water runoff from an existing condition to the new developed condition created by impervious surfaces (roofs, pavement) will be retained on site.

As shown in Figure 2.9, *Existing Site Conditions* "developed condition" surface drainage will generally be conveyed from southwest to northeast through the site via future surface parking and drive aisles and captured in retention facilities at the lower end of the property. The stormwater drainage system depicts the general drainage structures which will be adapted and detailed with specificity as development proposals are put into place in the future. Adjustments may include the number, location, configuration and depth of drainage pipes and basins as well as the specific flow path through the site. However, the retention basins and storm drain pipes will be sized appropriately for each phase of the project using standard engineering modelling methods as approved by the Engineering Services Division.

RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



Legend:			
	Project Boundary		Existing Intermediate Contours
	City Limits	316 ●	Existing Project High Point
	Existing Index Contours	258 ●	Existing Project Low Point
			Existing Traffic Signal

Source: City of Rancho Mirage

Exhibit Date: June 14, 2022

2.9 Phasing

Development of the Rancho Monterey Specific Plan Amendment may occur as a single mixed-use project by a single developer or incrementally as multiple developers propose individual component projects. Phasing is allowed so long as each phase accommodates future phases with the orderly extension of circulation, parking, utilities, and infrastructure in accordance with the final conditions of approval for each project and the City's Public Works Department.

2.10 Electricity and Natural Gas

The project site falls within the electrical service area of the Imperial Irrigation District (IID). Currently an IID switch pad exists on the northeast corner of the project site and future development will likely connect to IID underground distribution lines serving the Rancho Monterey Marketplace located along Monterey Ave just north and adjacent to the site. Overhead transmission and distribution lines run along the east side of Monterey Ave across from the project site. However, these lines are within Southern California Edison (SCE) service jurisdiction and will not serve the project site as it is outside of SCE's service area.

The Southern California Gas Company (SoCalGas or the Gas Company) provides natural gas to the City of Rancho Mirage, serving residential, commercial, and industrial markets. Natural gas is the primary source of energy used in the City for space and water heating, as well as cooking. The Gas Company has major supply lines along Monterey Avenue, east of the project.

Future development projects within the specific plan will be required to work with IID and SoCalGas to determine scope, timing, and implementation of service to the site.

CHAPTER 3: DEVELOPMENT STANDARDS

3.1 Overview

This chapter identifies the development standards applicable to the Rancho Monterey Specific Plan Amendment area. The establishment of the site-specific development standards set forth in this chapter are intended to guide orderly development within the Specific Plan Amendment area, while also maintaining some flexibility to respond to changing conditions which may be a factor in any long-term development.

3.2 Permitted Uses

Development standards for the Rancho Monterey Specific Plan Amendment area are shown in Table 3.1 *Permitted Uses*.

**TABLE 3.1
PERMITTED USES**

Allowable Uses¹	PA-1	PA-2
<i>P-Permitted Use, D-Development Plan Permit, C – Conditional Use Permit, Blank – Not Allowed.</i>		
Education, Public Assembly, and Recreation		
Health/Fitness Centers	D	C
Indoor Amusement/Entertainment Centers	C	
Nightclubs, With or Without Food Service	C	
Outdoor Recreation, Commercial		C
Recreation Facilities, Private		D
Studios—Art, Dance, Music, Photography, etc.	D	D
Manufacturing and Processing		
Printing and Publishing	D	
Recycling Facilities—Reverse Vending Machines 17.30.180	D	
Retail		
	PA-1	PA-2
Accessory Retail Uses	P	P
Art, Antiques, Collectibles, and Gifts	D	D
Automobile Sales (new with incidental used)	C	
Auto (motor vehicle) Parts and Supplies	C	
Bars and Alcoholic Beverage Drinking Places, On-Site Consumption	C	

Building Material Stores	C	
Consignment Stores	C	C
Convenience Stores	C	C
Furniture, Furnishings and Equipment Stores	D	D
Grocery Stores	D	D
Liquor Stores, Off-Site Consumption	C	
Pet Stores	D	D
Plant Nurseries	D	D
Restaurants (Fast Food, Specialty, Standard)	D	
Restaurants with Drive-Thru	C	
Retail Stores, General Merchandise	D	
Shopping Centers	D	
Warehouse Retail Stores	C	
Automated Teller Machines (ATMs)	P	P
Banks and Financial Services	D	D
Bed and Breakfast Inns 17.30.050		C
Business Support Services	D	D
Car (Motor Vehicle) Wash	C	C
Hospital, Convalescent	C	
Hotels	D	D
Laundromats, Self-Service and Dry Cleaning, Drop-off	D	D
Medical Services, Clinics, and Laboratories	D	D
Mortuaries and Funeral Parlors	D	
Offices, Professional	D	D
Personal Services	D	
Repair and Maintenance, Consumer Products	D	
Service Stations	C	
	PA-1	PA-2
Spa Facilities	D	
Veterinarian Clinics and Animal Hospitals	C	C
Transportation and Communication Facilities		
Alternative Fuels and Recharging Facilities	D	D
Broadcast and Recording Studios	C	D
Public Utility Facilities	C	C

Satellite Antenna	C	C
Wireless Facilities 17.32.050	C	C
Residential		
Accessory Uses and Structures		P
Assisted Living Facilities 17.30.040		C
Child Care Centers Up to 15 Children 17.30.060	D	D
Child Care Centers 16—30 Children 17.30.060	C	
Live/Work Facilities		D
Multifamily Housing		D
State Licensed Residential Care Homes—6 Clients or Less		P
Large Residential Care Facilities (7+) and Non-licensed Residential Care Homes		D
Senior Congregate Care Housing 17.30.210		C

Foot Notes:

1. All uses in PA-1 and PA-2 are allowed within the “Flex Zone” overlay as shown in Figure 2.1 *Land Use Plan*. Uses within the flex zone will be subject to the more restrictive permit type.
2. Spa facilities are prohibited within the Flex Zone.
3. The general review authority (Planning Commission, City Council, etc.) for the subject permits above shall be determined as outlined in Section 17.34.010 of the Rancho Mirage Municipal Code.
4. All new construction / development projects will require a Development Plan Permit.

3.3 Development Standards

These standards apply to all land within PA-1, PA-2, and Flex Zone as described within the text and graphics of this Specific Plan.

**TABLE 3.2
PA-1 AND PA-2 DEVELOPMENT STANDARDS**

Gross Lot Area	-
Lot Coverage (Maximum)	35%
Setbacks	
From Monterey Ave	20 ft
Front	25 ft
Side (each)	20 ft
Street Side	25 ft
Rear	25 ft
Accessory Structures	See RMMC Section 17.30.190 (Accessory Uses and Structures)
Distance Between Structures	10 ft Minimum
Max. Height – Multi-Family Residential	44 ft. / 3 stories
Max. Height - Hotel	50 ft. / 4 stories
Max. Height - Office	40 ft. / 3 stories
Max. Height –Retail	20 ft. / 1 story
Max. Wall Height	Per City Code
Notes:	
<ol style="list-style-type: none"> 1. See additional height requirements (RMMC Section 17.20.100(A)). 2. These dimensions vary and will be determined during development plan permit review. 	

CHAPTER 4: DESIGN GUIDELINES

4.1 Overview

The guidelines contained in this chapter identify unifying elements for design of site planning, permanent buildings and landscaping within the Rancho Monterey Specific Plan Amendment. These guidelines will ensure compatibility with the surrounding community and promote high-quality design within the SP Amendment area. This comprehensive approach represents a more understandable and predictable role in shaping the physical future by emphasizing building form and landscape design. The exhibits provided are intended as conceptual illustrations and do not depict final designs, nor should they limit the range of expression among the developer or their professional design team

4.2 Site Planning Guidelines

Integration of effective site planning techniques, incorporated with basic design elements will enhance the visual experience of the development. Key site planning principles include:

- Site design should be compatible with the surrounding development and the Monterey Ave Street frontages.
- Commercial buildings should be located and orientated to respect the need for privacy of surrounding uses, especially adjoining residential development.
- Develop a pedestrian-friendly site design encouraging pedestrian links such as interior pathways, greenways, and crosswalks are encouraged to connect future onsite uses.
- Uses that are developed should complement other uses onsite and be compatible with the overall vision of the Specific Plan Amendment and community.
- Entries shall be clear, identifiable, and street oriented driveways must be provided at the project and parking entrances. Parking entrances should be designed to ensure safe pedestrian access and provide clean line-of-sight-walkways.
- Public gathering spaces such as outdoor plazas and patios shall be encouraged in commercial retail or restaurant buildings. Inviting outdoor spaces create an environment of relaxation and community interaction. Trees, planting, and comfortable site furnishings contribute to enhanced enjoyment of these spaces. Dynamic and seasonal shading strategies for exterior occupied spaces such as plazas and seating areas shall be incorporated.
- Promote safe pedestrian movement through highly visible pathways and walkways. Pedestrian and plaza spaces shall be thoughtfully separated from parking lots and vehicular movement through creative landscaping and built structures.

4.3 Architectural Design Guidelines

The following architectural design guidelines are intended to ensure high level architectural quality and creative design for development within the Rancho Monterey Specific Plan Amendment. These guidelines do not promote a specific architectural style but rather establish guidelines that direct building form, massing, and high-quality architectural details. This Specific Plan allows for a wide range of commercial, residential, and hospitality uses. It is therefore anticipated that the site will be developed with a range of architectural styles, materials, and building types. The guidelines established in this section will ensure that all development within this Specific Plan is complementary within the Specific Plan and with the surrounding community. All projects within this Specific Plan Amendment must be consistent with the design guidelines and features covered in this section. The following guidelines will create a design framework to help developers and the City implement the project.

Architectural Style

- Though no particular architectural style is promoted within the Specific Plan, project architecture should be consistent and complimentary to surrounding architecture within the project and the existing surrounding community
- Architectural diversity within the project should be encouraged via the use of different, but complimentary architectural styles. For example, different architecture styles can and should be used to differentiate between retail, hospitality, and residential buildings, providing visual cues to suggest or identify the different types of uses.

Building Design

Architectural design is encouraged to incorporate architectural details to create visual interest, especially when visible from Monterey Avenue. Examples include the use of the following:

- Interesting and varied materials to include different plaster textures, stone tile, ceramic or porcelain tiles, cementitious simulated wood materials, various metals and finishes
- 3 dimensional massing of forms with offsets to create shadow lines, opportunities to change color and materials, and to create a more welcoming human scale.
- Roof lines that are varied so as to further enhance and support the 3 dimensional quality of the architecture.
- Roof types that are consistent with the architectural style, massing and scale of the building.
- Windows and glass walls that are recessed in thickened walls where practical to further create shadow lines and shade the glass.
- Metal and fabric awnings and shade structures are encouraged where applicable to create another layer to the architecture and provide additional shade opportunities
- Buildings should be oriented so that public access or windows face areas of pedestrian activity, such as parks, public plazas, and pedestrian pathways.

- Residential buildings shall emphasize pedestrian access and connections to public sidewalks, paths, recreational facilities.
- Articulation, window area and façade variation shall be employed to avoid blank, featureless wall spaces, except where the blank wall is thoughtfully incorporated as a break or relief from a heavily articulated section of the building. In such cases, scale and proportions are to be carefully considered.
- Building facades and design concepts should be reflective of building, structure, and scale.
- Drive-Thru Restaurants, if any, are to incorporate earth berming and landscaping so that the cars in the drive-thru aisle are reasonably screened from Monterey Ave. Any shade canopies that are part of the drive-thru are to be integrated into the architecture.
- Multifamily residential buildings and residential units in mixed-use buildings should be configured and oriented to provide privacy and permit individuality where practicable.
- Energy efficiency is encouraged through the use of window overhangs, arcades, solar water heating, advanced heating and cooling systems, or other conservation measures.

Materials

Though no specific architecture style is promoted within the Specific Plan, materials and finishes should be compatible and complimentary to surrounding architecture within the project and the existing surrounding community. Materials, color, and finishes should be appropriate to the intended architectural style of the building. High quality materials that perform well in the desert environment are encouraged. Projects are encouraged to use a variety of materials to create visual interest and may include (but not limited to) wood, metals, stonework, and plaster textures. Material types and examples are discussed further in the architectural character photos sections Figures 4.11-4.13 Architectural Character Imagery (Materials and Finishes) that highlight examples of appropriate techniques and methods

Signage

Signage will be subject to review according to the provisions of Section 17.28.040 of the RMMC.

Architectural Character

Figures 4.1 – 4.10 Architectural Character Imagery are intended to present some examples of the design intent and features described in the SP's architectural guidelines. The images are not intended to promote any particular architectural style but rather depict design features (such as massing, form, materials, etc.) representative of the types of developments that would be compatible within the Specific Plan. The images shown in these figures are purely conceptual and future developments are not required to match in terms of intensity or architectural style.



BALCONIES AND OPEN SPACE

1. Balconies to promote a connection to the outdoors and provide architectural interest.
2. Use of open space amenities to create a sense of place and promote gathering.
3. Examples of amenities may include water features, seat walls, benches and shade trees.



FORMS AND ARTICULATION

1. 3-Dimensional massing should be considered to create opportunities for material and color changes.
2. Massing techniques may include varying roof lines and overhangs, as well as recessed glass in thickened walls.





SHAPES AND EDGES

1. Articulation, window area and façade variation shall be employed to avoid blank, featureless wall spaces as an example, openings can be square or arched.
2. Roof types that are consistent with the architectural style, massing and scale of the building.
3. Windows and glass walls that are recessed in thickened walls where practical to further create shadow lines and shade the glass.

N.T.S.

Source: Prest Vuksic Greenwood Architects

Exhibit Date: June 14, 2022



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ARCHITECTURAL CHARACTER IMAGERY

FIGURE 4.2
PAGE 38



SPACES AND SHADE

1. Outdoor amenities to create a sense of place and promote gathering. Amenities such as firepits, patio furniture, seating are conducive to gathering.
2. Shade structures are encouraged as much as possible to create another layer to the architecture and provide additional shade opportunities.

N.T.S.

Source: Prest Vuksic Greenwood Architects

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FIGURE 4.3
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GATHERING AND RELAXING

1. Inviting outdoor spaces create an environment of relaxation and community interaction.
2. As an example, comfortable patio furniture creates an opportunity to gather and relax.
3. Umbrellas add texture and a sense of whimsy and lightness, while providing shade.

N.T.S.

Source: Prest Vuksic Greenwood Architects

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FIGURE 4.4
PAGE 40



OPEN AND INVITING

1. Outdoor spaces create an environment of relaxation and interaction.
2. Building edges and structures are used to define open spaces.
3. 3-dimensional massing of forms with offsets to create shadow lines, opportunities to change color and materials, and to create a more welcoming human scale.
4. Light, open structures may be used to define a gathering space.

Source: Prest Vuksic Greenwood Architects

Exhibit Date: June 14, 2022

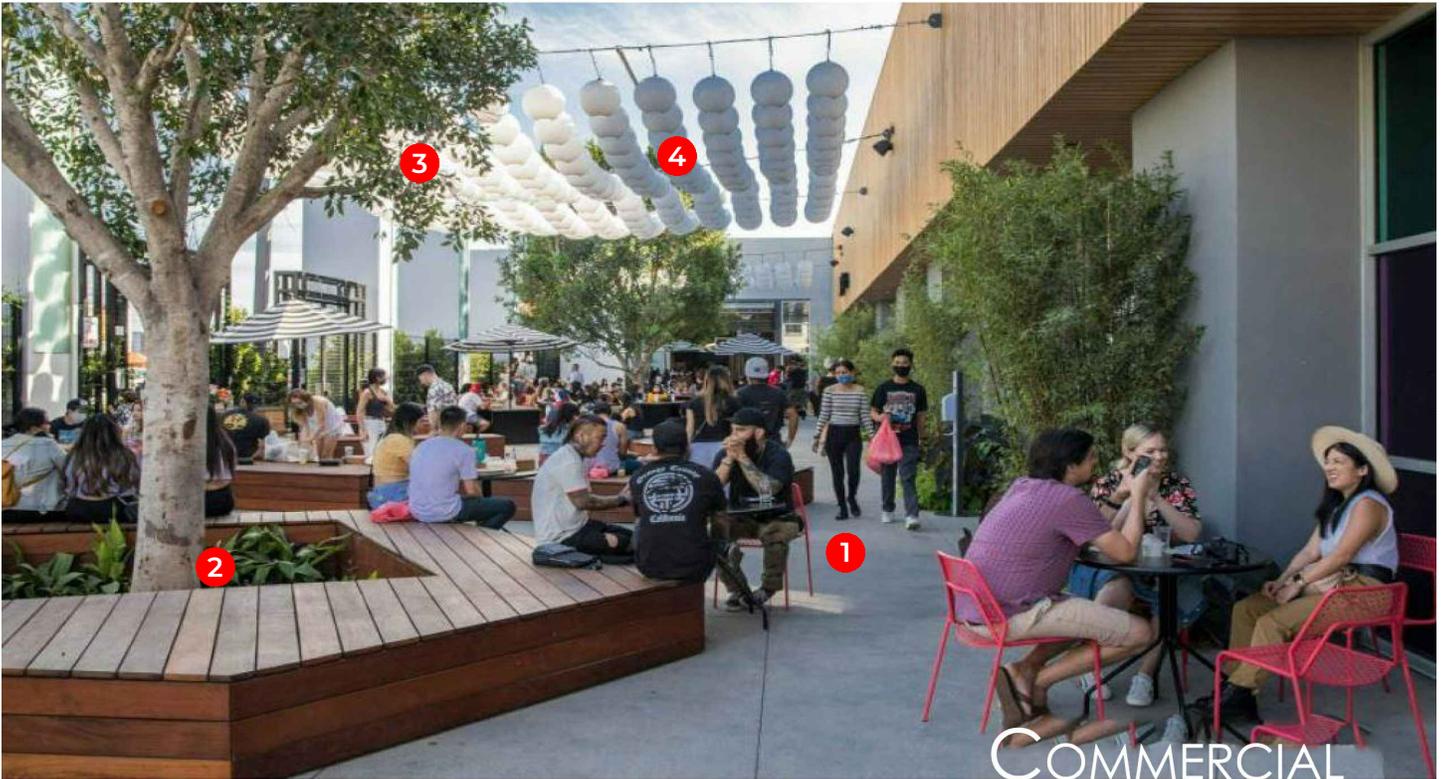


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N.T.S.

FIGURE 4.5
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GATHERING

1. Public gathering spaces such as outdoor plazas and patios shall be encouraged in commercial retail or restaurant buildings
2. Trees, planting, and comfortable site furnishings contribute to enhanced enjoyment of these spaces.
3. Dynamic and seasonal shading strategies for exterior occupied spaces such as plazas and seating areas shall be incorporated.
4. Overhead elements create shade and interest.

N.T.S.

Source: Prest Vuksic Greenwood Architects

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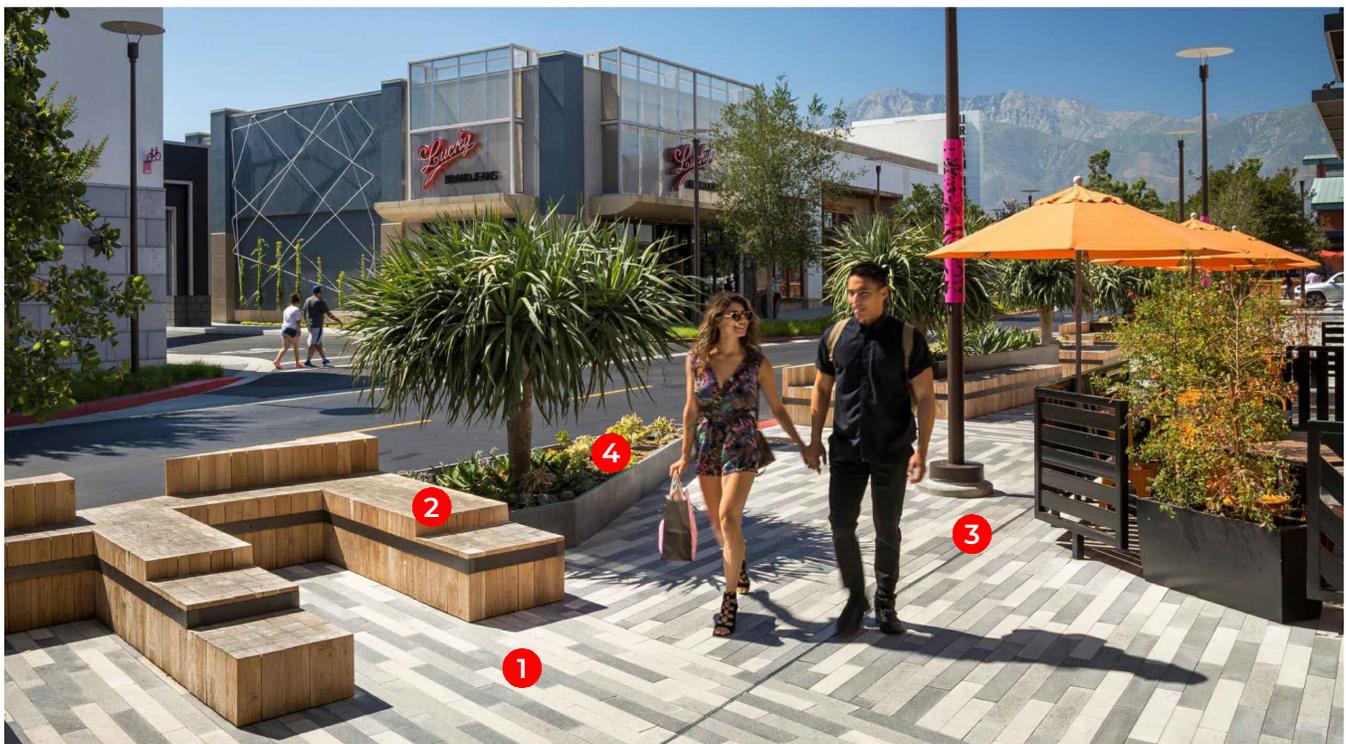
ARCHITECTURAL CHARACTER IMAGERY

FIGURE 4.6
PAGE 42



VISUAL INTEREST

1. Varied details around openings such as arches, mouldings, columns, and ironwork add visual interest.
2. Metal and fabric awnings and shade structures create another layer to the architecture and provide additional shade opportunities
3. Varying roof lines create architectural interest.
4. Building facades and design concepts should be reflective of building, structure, and scale.



PATHWAYS

1. Pedestrian-friendly site design encouraging pedestrian links such as interior pathways, greenways, and crosswalks are encouraged to connect future onsite uses.
2. Artful benches and various shapes and materials create interest.
3. Promote safe pedestrian movement through highly visible pathways and walkways.
4. Pedestrian and plaza spaces shall be thoughtfully separated from parking lots and vehicular movement through creative landscaping and built structures.

N.T.S.

Source: Prest Vuksic Greenwood Architects

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IDENTITY IN MATERIALS

1. Interesting and varied materials that pre-form well in the desert environment may include different plaster textures, stone tile, ceramic or porcelain tiles, cementitious simulated wood materials, various metals and finishes.
2. Materials, color, and finishes should be appropriate to the intended architectural style of the building.
3. Projects are encouraged to use a variety of materials to create visual interest.

N.T.S.

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FIGURE 4.8
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SHADE AND SEATING

1. Outdoor amenities to create a sense of place and promote gathering. Amenities such as firepits, patio furniture, seating are conducive to gathering.
2. Shade structures are encouraged as much as possible to create another layer to the architecture and provide additional shade opportunities.

Source: Prest Vuksic Greenwood Architects

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FIGURE 4.9
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1. Smooth plaster, board-scored plaster, stained wood beams. Board-formed concrete, metal panels, metal fascia, metal roofing.



2. Clay or ceramic pots, patina-finish plaster, colored poured-in-place concrete, cobble or brick pavers.



4. Concrete masonry unit blocks, tube steel, smooth plaster.



3. T&G wood, laser-cut metal screens.

MATERIALS AND FINISHES

Source: Prest Vuksic Greenwood Architects

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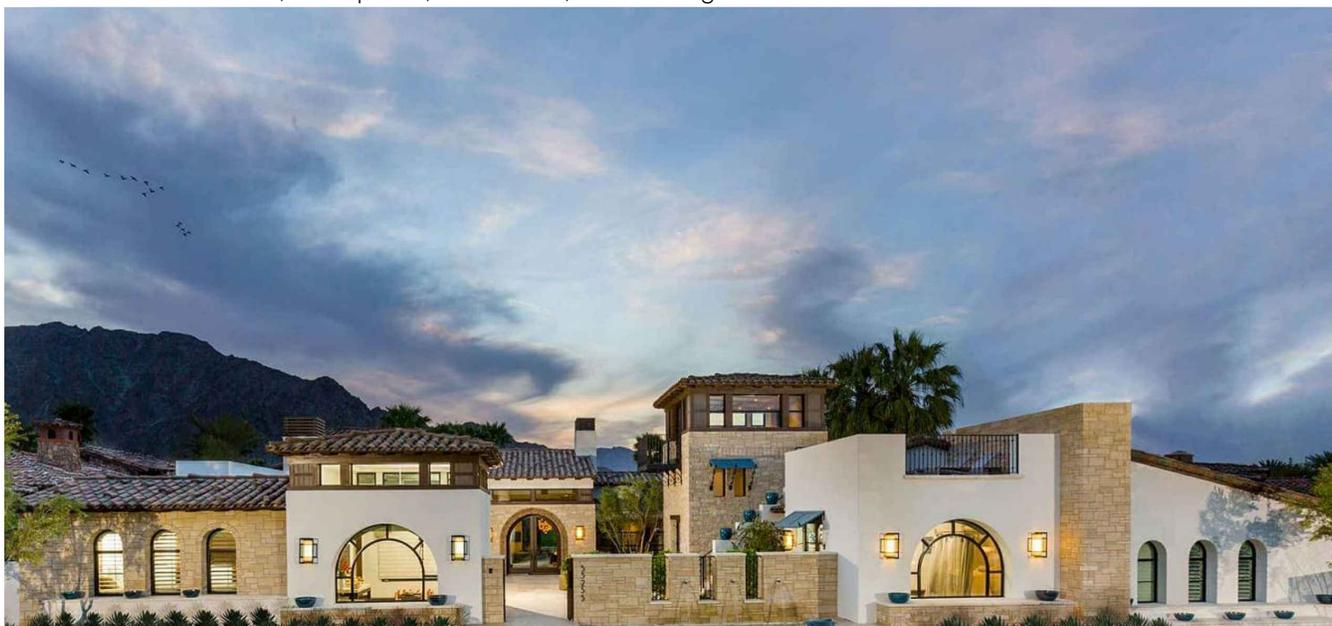
ARCHITECTURAL CHARACTER IMAGERY

FIGURE 4.10
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RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



1. Board-formed concrete, metal panels, metal fascia, metal roofing.



2. Smooth plaster, stone veneer, clay tile roofing, steel or iron rails, ceramic pots, canvas awnings, stone or tile paving, landscaping stone or tile paving, landscaping.

A VARIETY OF MATERIALS FROM WOOD, METALS, STONWORK AND PLASTER TEXTURES WITH A PALETTE OF NEUTRALS AND EARTH TONES IDENTITY, FRAME AND INVITES ONE INTO VARIOUS SPACES. HARD MATERIALS ARE SOFTENED BY BOTH SCALE AND FORM AND ARE ADORNED WITH NATURAL LANDSCAPE THROUGHOUT.

N.T.S.

Source: Prest Vuksic Greenwood Architects

Exhibit Date: June 14, 2022



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ARCHITECTURAL CHARACTER IMAGERY

FIGURE 4.11
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RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



1. Stone veneer, brick accents, stone or tile paving, landscaping.



2. Smooth plaster, Stone veneer, Clay tile roofing, steel or iron rails, Canvas awnings, Stone or tile paving, Landscaping.

N.T.S.

Source: Prest Vuksic Greenwood Architects

Exhibit Date: June 14, 2022



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ARCHITECTURAL CHARACTER IMAGERY

FIGURE 4.12
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RANCHO MONTEREY SPECIFIC PLAN AMENDMENT



1. Smooth plaster, stone veneer, clay tile roofing, steel or iron rails, ceramic pots, canvas awnings, stone or tile paving, landscaping.



2. Metal shade screens, steel & glass, smooth plaster, patina-finish plaster.

Source: Prest Vuksic Greenwood Architects

Exhibit Date: June 14, 2022



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FIGURE 4.13
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4.4 Landscape Design Guidelines

Landscape Character

The landscape at Rancho Monterey will support the goals of the master plan through visually cohesive landscaped spaces within the contemporary village. Landscape areas will provide a sense of arrival, offer clear and safe pathways for interconnectivity, and invite visitors to stay while providing a level of visual continuity.



Pedestrian Experience

An emphasis will be placed on pedestrian-oriented experiences that incorporate a mix of materials, complementing the adjacent architecture. Water elements are encouraged near seating areas to enhance the visitor experience.



- Shade canopies and trellises *shall be used* to reinforce the “urban village”, provide architectural interest in the landscape while providing visual interest and individuality to each district. Seasonal shading concepts shall be considered for plazas and seating areas that address the variation in seasonal temperatures.
- Large specimen shade trees should be considered within plaza spaces to create inviting destinations and a sense of permanence. A thoughtful selection of trees, plant species and comfortable site furnishings will contribute to the enjoyment of these spaces.
- Conveniently placed bike racks near commercial corridors and visible from a variety of destinations will increase alternative modes of transportation.
- Select gathering areas shall be visible from Monterey Avenue to energize the street presence and invite visitors.
- Creative solutions for screening undesirable views shall include berms, multiple layers of landscaping and architectural screens that complement the building architecture.

Entries and Gateways

The landscape design for Entries and Gateways shall utilize a hierarchy that provides visually prominent planting for inviting and guiding, and a more visually receding landscape for more functional spaces.

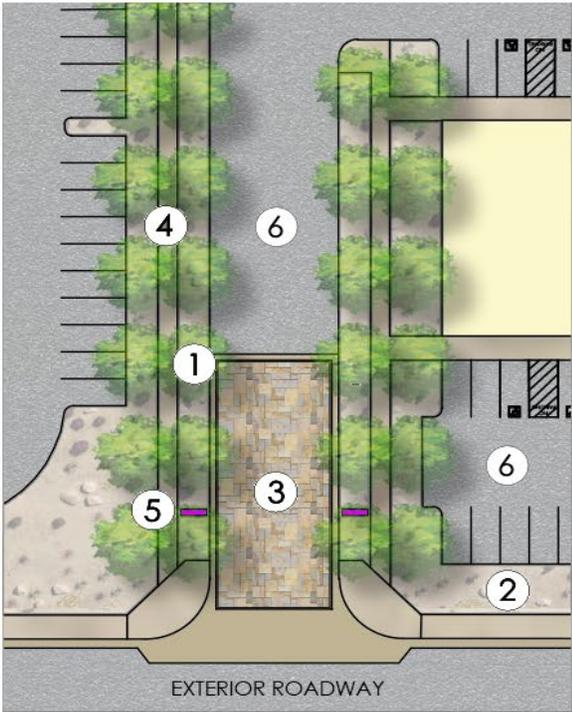
Some guiding ideas:

- Resort-style palm trees at retail and hotel entries
- Desert shade trees at medical/ office entries and parking areas
- Formal use of planting at entries, gateways and transition areas
- Large evergreen shade trees and palms at plazas and seating areas

The following design studies are intended to guide the hierarchy described above.



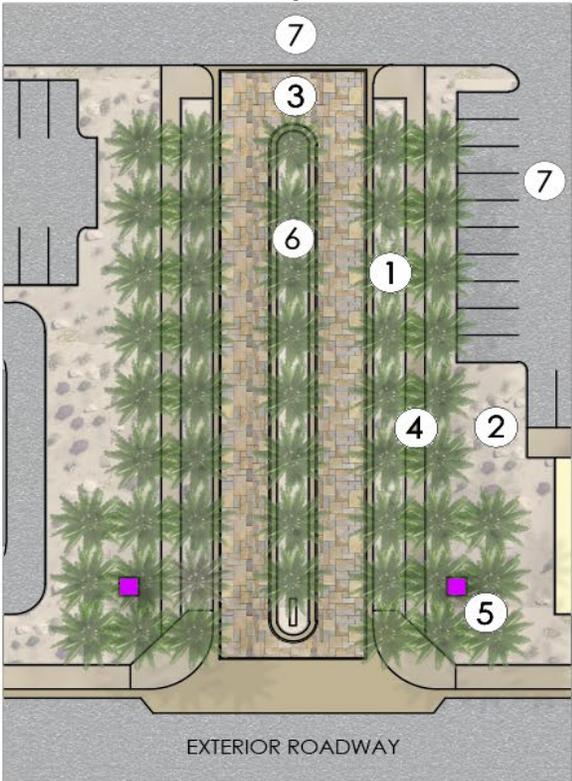
Residential and Office Entry



Residential and Office Entry

- 1. Desert canopy tree
- 2. Desert landscape areas
- 3. Enhanced pavement
- 4. 6' wide colored concrete walkway
- 5. Horizontal or vertical marker
- 6. Parking lot/ Driveway

Hotel and Retail Entry



Hotel and Retail Entry

- 1. Date palm tree
- 2. Desert landscape areas
- 3. Enhanced pavement
- 4. 6' wide colored concrete walkway
- 5. Horizontal or vertical marker
- 6. 10' wide median island
- 7. Parking lot/Driveway

Social Gardens and Parks

The landscape concept at Rancho Monterey will reinforce the contemporary mixed-use village while providing visual cues for visitors and inviting destinations. Contemporary landscape districts shall be incorporated into the design of the hospitality, retail, office, mixed-use and residential areas. Each area shall have a distinct “personality” that supports the adjacent uses while lending individuality to each district.





Shade

Providing shade for both pedestrians and vehicles is required in the local desert climate. Parking areas shall focus on effective shade through a consistent use of canopy trees that thrive in the desert environment. Shaded walkways will promote comfortable connections to each district. Car ports may be used where appropriate. Utilizing a variety of evergreen and deciduous trees at seating areas will provide seasonally adapted shade.

Landscape Standards

Landscape standards (ex. minimum landscape requirements, parking lot requirements, minimum number of trees, etc.) within this Specific Plan will be consistent with those outlined in Chapter 17.24 LANDSCAPING STANDARDS of the Rancho Mirage Municipal Code (RMMC).

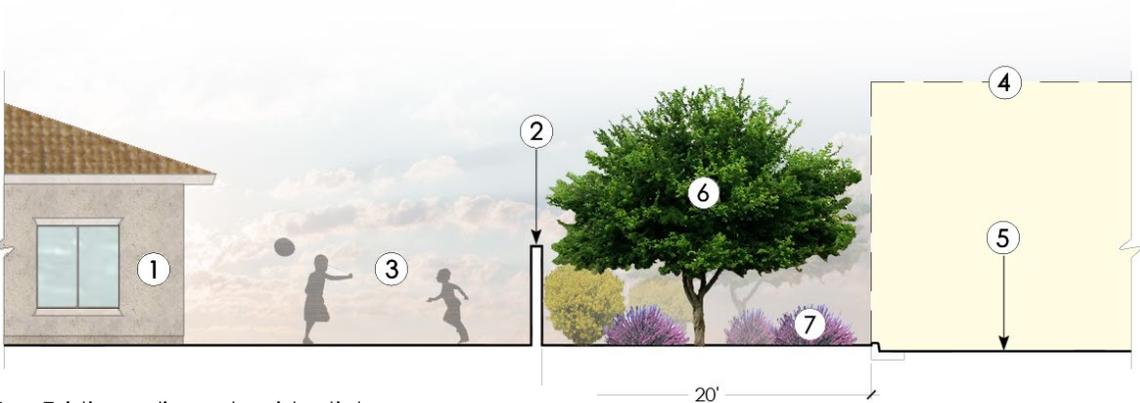
Perimeter Streets and Edge Conditions

Screening and buffering adjacent conditions will be required for successfully integrating into the surrounding neighborhood. Some edge requirements include:

- Monterey Avenue: 25' landscape area with 8' meandering sidewalk
- Property edges adjacent to residential areas: landscape buffers with screen planting and wall treatments
- Drive thru retail: screening for vehicular queuing visible from neighboring roadways

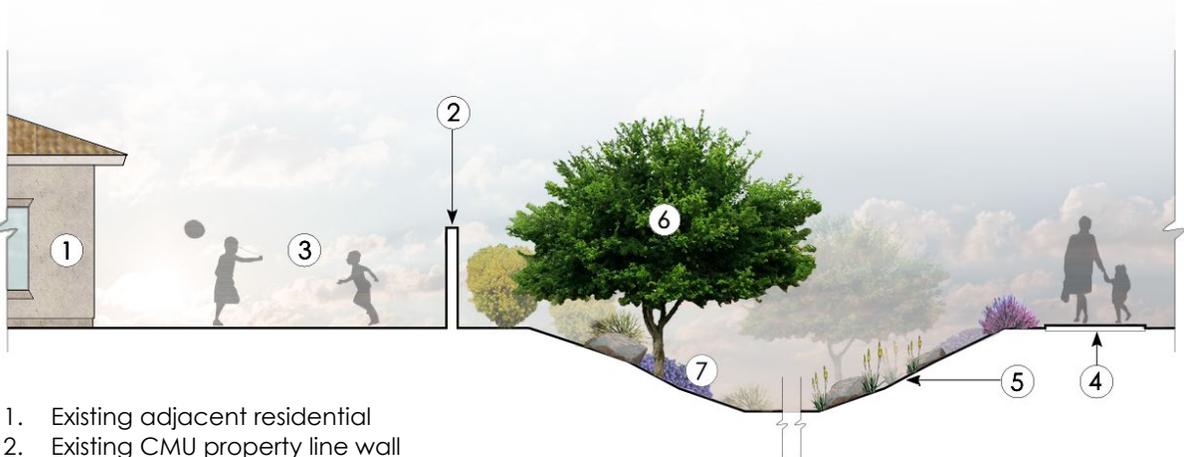
Perimeter Streets and Edge Conditions Sections

Residential Edge Condition- Combination Section (Parking Lot/ Building Edge)



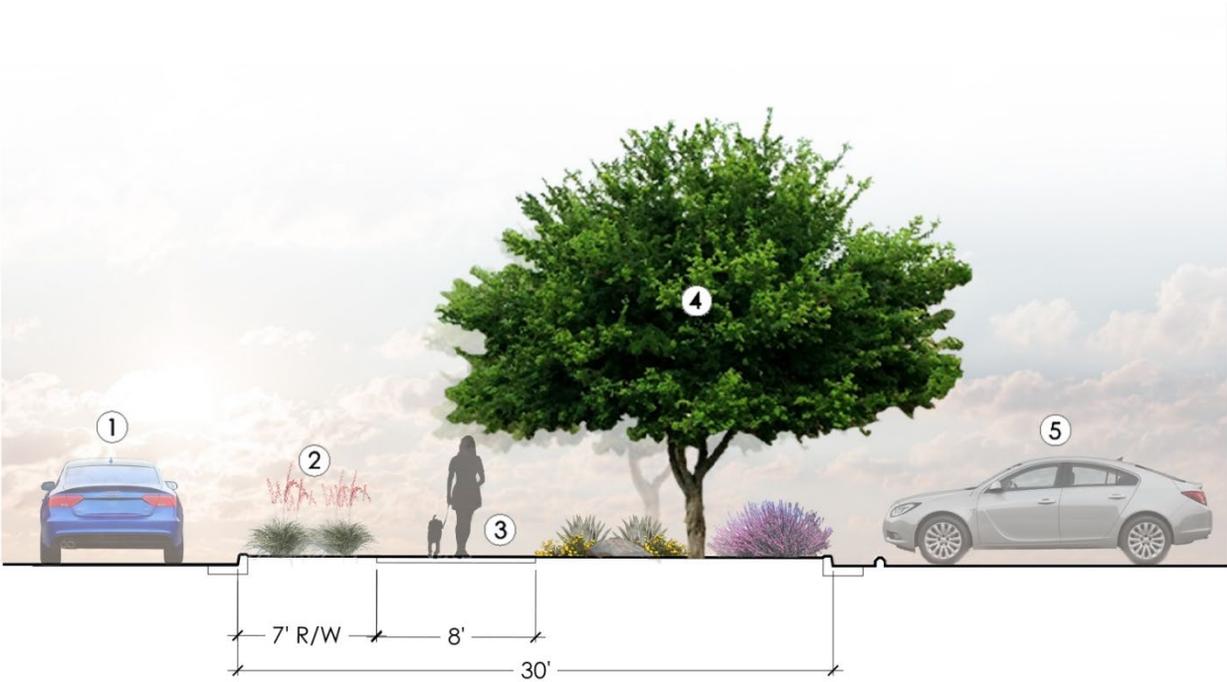
- 1. Existing adjacent residential
- 2. Existing CMU property line wall
- 3. Rear yard
- 4. Single story building condition
- 5. Optional parking lot conditions
- 6. Large canopy tree
- 7. Water efficient landscape

Residential Edge condition- Combination Section (Parking Lot/ Building Edge with Retaining Basin)



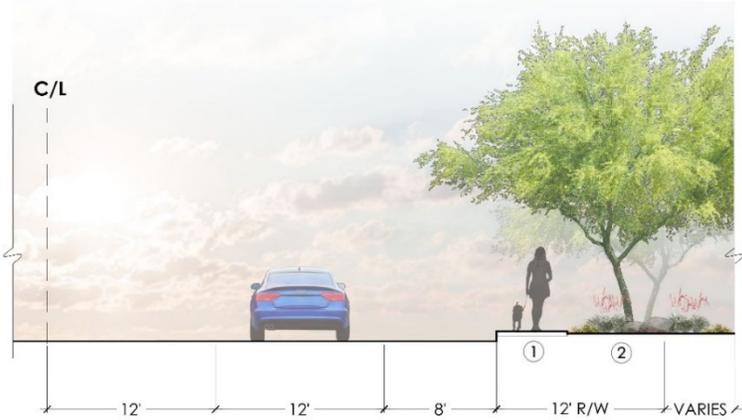
- 1. Existing adjacent residential
- 2. Existing CMU property line wall
- 3. Rear yard
- 4. 4' sidewalk
- 5. Retaining basin conditions
- 6. Large canopy tree
- 7. Water efficient landscape

Monterey Ave Condition - Parkway/Parking Lot



- 1. Existing adjacent arterial roadway
- 2. Existing 7' R/W
- 3. Landscape buffer
- 4. 8' Sidewalk
- 5. Parking Lot

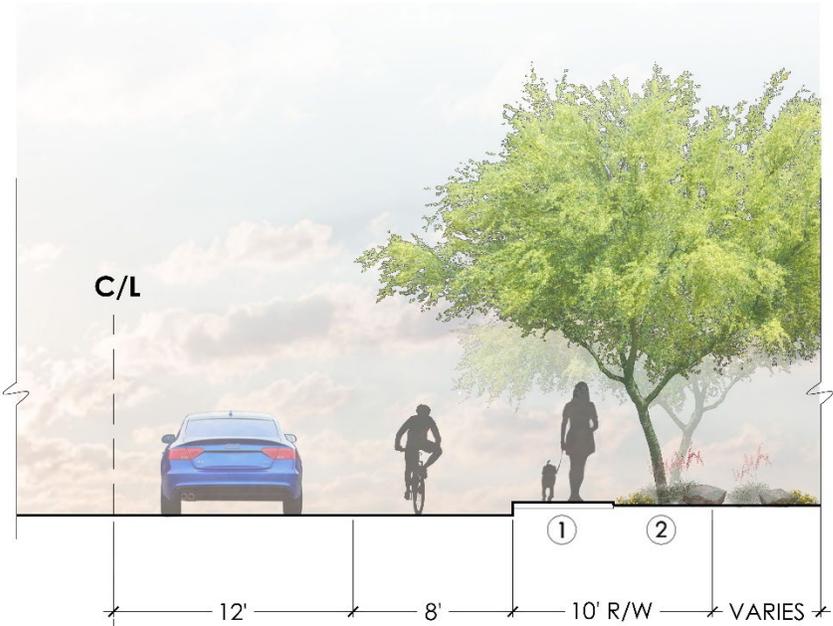
Via Vail Condition



- 1. 5' Sidewalk
- 2. Landscape Area

*Onsite landscape treatments to be determined in response to specific development proposals

Ginger Rogers Condition



- 1. 5' Sidewalk
- 2. Landscape Area

*Onsite landscape treatments to be determined in response to specific development proposals

Internal Streets and Common Areas

- Parkway
- Detention Basins
- Roundabouts

Detention basins shall include desert riparian trees, desert cactus and succulents, and select groundcovers combined with rock outcroppings. Gathering areas with gabion structures are encouraged around the basins to activate these open spaces. Natural, undulating landforms are preferred over geometrically graded basins.



RANCHO MONTEREY SPECIFIC PLAN AMENDMENT

TREES	BOTANICAL / COMMON NAME
	CERCIDIUM X 'DESERT MUSEUM' 'DESERT MUSEUM PALO VERDE'
	OLEA EUROPAEA 'MANZANILLO OLIVE'
	OLNEYA TESOTA 'DESERT IRONWOOD'
	PARKINSONIA FLORIDUM 'BLUE PALO VERDE'
	SOPHORA SECUNDIFLORA 'TEXAS MOUNTAIN LAUREL'
PALM TREES	BOTANICAL / COMMON NAME
	PHOENIX ROEBELENI 'PYGMY DATE PALM'
	WASHINGTONIA ROBUSTA 'MEXICAN FAN PALM'
SHRUBS	BOTANICAL / COMMON NAME
	BOUGAINVILLEA X 'LA JOLLA'
	CAESALPINIA GILLIESII 'YELLOW BIRD OF PARADISE'
	CALLISTEMON CITRINUS 'LITTLE JOHN' 'DWARF BOTTLE BRUSH'
	CARISSA MACROCARPA 'BOXWOOD BEAUTY' 'BEAUTY NATAL PLUM'
	CHRYSACTINIA MEXICANA DAMIANITA
	DASYLIRION WHEELERI 'GREY DESERT SPOON'
	EREMOPHILA MACULATA 'VALENTINE' SPOTTED EMU BUSH
	EUPHORBIA MILII 'JERRY'S CHOICE' 'CROWN OF THORNS'
	HESPERALOE FUNIFERA 'GIANT HESPERALOE'
	HESPERALOE PARVIFLORA 'DESERT FLAMENCO TM RED YUCCA'
	HESPERALOE X PINK PARADE PP#218728
	IXORA COCCINEA 'MAUI YELLOW' 'MAUI IXORA'
	LANTANA CAMARA 'DALLAS RED LANTANA'
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' 'COMPACT TEXAS RANGER'
	MUHLBERGIA CAPILLARIS 'LENCA' TM 'REGAL MIST PINK MUHLY GRASS'
	OLEA EUROPAEA 'MONTRA' 'LITTLE OLLIE DWARF OLIVE'
	RUSSELIA EQUISETIFORMIS 'CORAL FOUNTAIN'
	THEVETIA PERUVIANA 'YELLOW OLEANDER MULTI-TRUNK'
	XYLOSMA CONGESTUM 'SHINY XYLOSMA'

ACCENTS	BOTANICAL / COMMON NAME
	AGAVE AMERICANA 'CENTURY PLANT'
	AGAVE DESMETTIANA 'DWARF CENTURY PLANT'
	AGAVE HAVARDIANA 'HAVARD'S CENTURY PLANT'
	AGAVE OCAHUI 'CENTURY PLANT'
	AGAVE VICTORIAE-REGINAE 'QUEEN VICTORIA AGAVE'
	AGAVE X 'BLUE GLOW' 'BLUE GLOW AGAVE'
	ECHINOCACTUS GRUSONII 'GOLDEN BARREL CACTUS'
	EUPHORBIA RESINIFERA 'RESIN SPURGE'
	NOLINA SPECIES NOLINA
	YUCCA GLORIOSA 'SPANISH DAGGER'
	YUCCA PENDULA 'SOFT LEAF YUCCA'
	YUCCA ROSTRATA 'BEAKED YUCCA'
VINE / ESPALIER	BOTANICAL / COMMON NAME
	BOUGAINVILLEA X 'BARBARA KARST'
	PYROSTEGIA VENUSTA 'FLAME VINE'
CRUSHED STONE	COMMON NAME
	* BAJA CRESTA RUBBLE
	* COPPER CANYON (AVAILABLE IN MULTIPLE SIZES)
	* MOJAVE GOLD
	* PALOMINO CORAL
DECOMPOSED GRANITE	COMMON NAME
	* DESERT GOLD
	* MOJAVE GOLD
	* PALOMINO CORAL
* NOTE: AVAILABLE THROUGH SOUTHWEST BOULDER PALM SPRINGS, OR APPROVED EQUAL	

Source: MSA Consulting, Inc.

Exhibit Date: June 14, 2022



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> PLANNING > CIVIL ENGINEERING > LAND SURVEYING
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PLANT PALETTE

FIGURE 4.14
PAGE 60

Landscape Sustainability and Water Efficiency

The plant palette throughout the Specific Plan area shall utilize a low maintenance and low water palette. Turf grasses will only be permitted in "use" areas that include open lawn for play/recreation and for the infiltration portions of detention basins. Annual plant materials are allowed in accent landscaping areas but shall not be allowed in permanent planting areas of the Specific Plan.

The landscaping and irrigation plans and system shall comply with all City ordinances relating to water efficiency and shall be an automatic system with an irrigation timer and two drip or bubbler heads per tree to produce deep root irrigation. The water use calculations for this system will be prepared and submitted per Coachella Valley Water District's (CVWD) irrigation design requirements.

Landscape lighting will include tree and shrub up lights, path lights, and step lights. All lighting will be low voltage and have low maintenance LED fixtures. The selective use of up lights will be limited to high-profile specimen tree and shrubs and will be shielded to reduce glare and hot spots. There shall be zero lumen foot candle for all exterior lighting at any property line of abutting properties and/or public right-of-way. Lighting for landscaping, pathways and stairways, monuments and signs shall be installed as needed for security and safety purposes.

Temporary Landscape Conditions

All vacant pads and portions of the subject parcel in any Planning Area shall be planted with drought tolerant landscaping and/or decomposed granite if they remain inactive for a period of 6 months following completion of grading. This shall include all pads or portion of the subject parcel and shall include fencing as appropriate. All landscaping and fencing shall remain in place and shall be regularly irrigated and maintained until the property has received authorization from the City to begin initial construction. The final landscape plan for each parcel or Planning Area shall contain detailed information for the planting, irrigation and maintenance of the vacant pad areas and/or undeveloped portions of the parcel

CHAPTER 5: PLAN ADMINISTRATION

5.1 OVERVIEW

This chapter describes the procedures for administration and implementation of the Rancho Monterey Specific Plan Amendment. The City of Rancho Mirage Development Services Department shall have the responsibility for plan administration and implementation as established in this chapter.

5.2 IMPLEMENTATION

Entitlement approvals and construction permits shall be reviewed by all applicable departments and agencies (Planning Division, Public Works, Building and Safety, Fire, etc.) where necessary to ensure consistency with the Specific Plan, RMMC, and applicable building codes. This Specific Plan Amendment establishes the general intent and comprehensive framework for the future development of the Rancho Monterey project. However, prior to construction, various implementing approvals are required, as noted below.

Specific Plan Amendment (SPA) - The SPA will cover approximately 35 acres to provide comprehensive development guidelines, allowable uses, and standards. The SPA requires public hearings before the Planning Commission and the City Council.

General Plan Zoning Map Amendment (GPZMA) - The GPZMA will amend the General Plan land use designation and zoning from "Community Commercial (C-C)" to "Rancho Monterey Specific Plan" with underlying zoning designations of "Community Commercial (C-C)" and "Mixed-Use (M-U)." The GPZMA also requires public hearings before the Planning Commission and the City Council.

Development Plan Permit – Future development projects within the Specific Plan Amendment area shall follow the Development Plan Permit process as outlined in Chapter 17.42 of the RMMC. This is intended to ensure that project architecture, landscape, and site design have been reviewed by the Architectural Review Board (ARB), Planning Commission, and City Council and are found consistent with this Specific Plan Amendment. It is expected that multiple Preliminary Development Plans (PDP) may be submitted in phases up to the total buildout allowed by the Specific Plan. Each PDP that is approved may be implemented by submitting incremental Final Development Plans (FDP) for Staff approval.

Conditional Use Permit (CUP) – Uses that require a Conditional Use Permit per Chapter 3 of this SP shall obtain a CUP in compliance with Chapter 17.48 of the RMMC. This is intended to ensure that project architecture, landscape, and site design for conditional uses have been reviewed by the Architectural Review Board (ARB), Planning Commission, and City Council and are found consistent with this Specific Plan Amendment.

Tentative Parcel Map (TPM)/Tentative Tract Map (TTM) – TPM/TTMs are intended to implement the project and subdivide the property into smaller parcels/lots for development or sale. TPM/TTMs may be filed with each phase of development as necessary in accordance to Chapter 16.04 of the RMMC. Each TPM/TTM will require review by the Planning Commission.

Lot Line Adjustment (LLA) – If necessary, to adjust existing parcel lines to create the zoning boundary between M-U and C-C areas as well as providing a flexibility to adjust parcel acreages to facilitate future development projects. The LLA will require approval by the City of Rancho Mirage Public Works Engineering Division.

5.3 ADMINISTRATION

Administrative Changes - Minor modifications that are consistent with the purpose and intent of the Rancho Monterey Specific Plan Amendment are allowed at the discretion of the Development Services Director or designee. Therefore, it is intended that this Specific Plan provide City Staff with the flexibility to interpret the details of project development as well as those items described in general terms in the Specific Plan without requiring a Specific Plan Amendment.

Requests for administrative changes shall be made in writing. If/when it is determined that changes or adjustments are necessary or appropriate, these shall be approved administratively by the Development Services Director or designee. After approval, any such administrative change shall be attached to the Specific Plan Amendment as an addendum and may be further changed and amended from time to time as necessary.

Representative examples of such changes may include, but are not limited to:

- The addition of new information to the Specific Plan maps or text that do not substantially change the effect of any regulation. The new information may include more detailed, site-specific information.
- Changes to infrastructure such as drainage systems, roads, water and sewer systems, etc.
- Deviations not exceeding 10% of the development regulations set forth in Chapter 3 of this Specific Plan will be considered on a case-by-case basis, subject to the discretion and approval of the Development Services Director.

Formal Amendments - If it has been determined that the proposed change is not in conformance with the intent of the current Specific Plan Amendment approval, the Specific Plan may be amended in accordance with the procedures set forth in Chapter 17.54 of the Rancho Mirage Municipal Code (Municipal Code).

5.4 INTERPRETATION

Uses Not Listed - All uses not listed as allowed in this Specific Plan Amendment are prohibited. However, the Development Services Director may determine that a use not listed is included within, similar to or comparable to a listed use and, once so determined; it shall be treated in the same manner as a listed use.

Application of Standards - Where there is ambiguity between the Specific Plan Amendment and the Zoning Code, the Development Services Director shall review pertinent information and make a determination as to which code or standard applies. All determinations shall be in writing and shall be attached to the Specific Plan Amendment as noted under *Administrative Changes*, earlier in this section.

5.5 ENFORCEMENT

The enforcement of the provisions of this Specific Plan Amendment shall be by the following:

- The City of Rancho Mirage Development Services Department shall enforce the development standards and regulations set forth herein.
- Any administrative decision or interpretation of this Specific Plan may be appealed to the Planning Commission per Chapter 17.76 APPEALS of the Rancho Mirage Municipal Code. Likewise, any decision by the Planning Commission may be appealed to the City Council.
- The City of Rancho Mirage shall administer the provisions of the Rancho Monterey Specific Plan Amendment in accordance with the State of California Government Code, Subdivision Map Act, the City of Rancho Mirage General Plan, and the City of Rancho Mirage Municipal Code.
- The Specific Plan Amendment development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future.
- All regulations, conditions, and programs contained herein shall be deemed separate distinct and independent provisions of this Specific Plan Amendment. In the event that any such provision is held invalid or unconstitutional, the validity of all the remaining provisions of this Specific Plan Amendment shall not be affected.
- Any development regulation and building requirement not addressed in this Specific Plan Amendment shall be subject to all relevant City of Rancho Mirage ordinances, codes, and regulations.