

## **Appendix M1   Utilities Study**

## Appendices

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# **Irwindale Gateway**

## **UTILITIES STUDY**

**PREPARED FOR:**

**KP Irwindale Owner, LLC**

**PREPARED BY:**

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**Tustin, CA 92780**

**Project Manager: Oscar Rivera, P.E.**



**DAVID EVANS  
AND ASSOCIATES INC.**

**March 2023**

**DEA Project Number: KREC00000002**



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## **1.0 INTRODUCTION**

David Evans and Associates, Inc. was hired by KP Irwindale Owner to conduct a utilities study for the project below.

KP Irwindale Owner is considering redeveloping a site located at 13620 Live Oak Lane, Irwindale, California.

Below is a summary of the documentation obtained for the project pertaining to the surrounding infrastructure. All documentation presented below are general requirements and do not specifically outline the final determination/ conditions established for the project. The final determination will be determined as part of the entitlement coordination with the City of Irwindale. The summary below represents the infrastructure needs of Option 1 of the Irwindale Gateway Specific Plan. Option 2 Battery Energy Storage System (BESS) will have fewer infrastructure demands as it does not require sewer, will require minimal water for fire suppression if deemed necessary, and will produce less stormwater runoff as it is more pervious than Option 1. The only dry utility need will be from electric which is discussed in the appropriate section below.

## **2.0 SEWER**

### *2.1 Existing Infrastructure*

An existing 10" sewer line and 15" sewer line are located along Live Oak Avenue and Commerce Drive/Center Street, respectively on the southeast side of the project. This sewer line is designed to drain south to the main trunk line on Ramona Parkway, conveying the sewer load from the existing commercial/industrial developments located on the northeast corner of Live Oak Avenue and Rivergrade Road, as well as the commercial/industrial development on the north side of Rivergrade Road. The 10" VCP sewer line on Live Oak Avenue is under the jurisdiction of the City of Irwindale, while the 15" sewer main on Commerce Drive and Center Street is under the jurisdiction of the City of Baldwin Park.

### *2.2 Proposed Infrastructure*

Referring to the Sewer Area Map located in Appendix B, the sewer production includes the 3 proposed buildings, which encompasses a total service area of 997,796 SQFT. The sewer production is to be conveyed to a proposed 6" force main sewer line that drains east on Live Oak Avenue to the existing 10" VCP sewer line (Line C) on Live Oak Avenue and Rivergrade Road.



Referring to Table 2: Zoning Coefficients in Appendix B, based on the Sewer Area Study Web page from the Los Angeles County Public Works, the loading factors used for the analysis come from cross-referencing the City of Irwindale Zoning Map, which shows most of the study area under a Heavy Manufacturing and a small portion under Commercial Manufacturing.

For the onsite project area, it is expected to be designated as M-2, Heavy Manufacturing. The following summary shows the total area and expected generated flows under Heavy Manufacturing vs Commercial Manufacturing:

<b>Sewer Capacity Summary Table based on Land Use</b>			
<b>Land-Use</b>	<b>cfs/acre</b>	<b>Area (acres)</b>	<b>Flow (cfs)</b>
Heavy Manufacturing (M-1 to M-4)	0.021	60.570	1.272
Commercial Manufacturing (C1 to C4)	0.015	0.230	0.003

Based on the Los Angeles County Policy for Managing Available Sewer Capacity and Sewage Discharging Excess of Design capacity, sewer line capacities are defined as follows:

<15" Diameter ½ Full = 100% Capacity (d/D)

>15" Diameter ¾ Full = 100% Capacity (d/D)

Comparing the total tributary flow to the existing 15" & 10" VCP capacities, based on the controlling slope segments and/or change in sewer load, the table below demonstrates that the existing lines can handle the additional flows from the proposed project, in accordance with the above design criteria. It should be noted that there is 1 segment that deviates from the above criteria, where the existing capacity of sewer line C-1 conveys flows beyond 100% capacity. However, based on design criteria, bullet point 3 of memorandum dated Oct 12, 2005 Policies for Managing Available Sewer Capacity and Sewage Discharge in Excess of Design Capacity, the existing sewer line has sufficient capacity acceptable by the County of Los Angeles, based discharges falling between 101% and 150%.



Offsite Sewer Capacity for Controlling Segment - Summary Table				
Line ID	Pipe Size (inches)	Min. Pipe Slope (%)	50%/75% Capacity (cfs)	Project Flow Calculated (cfs)
Line A	6	0.01	n/a	0.48
Line C-1	10	0.64	0.824	0.85
Line D	15	0.16	2.31	1.28

Based on the above table and previously stated criteria, the proposed site is expected to produce a total of peak flow of 0.48 cfs, which will drain towards the existing sewer line on Live Oak Avenue and Rivergrade Road. The table demonstrates that the sewer has sufficient capacity to accept the sewer production from the site, which will ultimately drain to Line C-1 and D along Center Street and finally, to the main trunk line on Ramona Parkway. Based on the Will Serve letter in Appendix C, the trunk line has a capacity of 7.43 cfs (4.8 mgd), with a current loading of 3.25 cfs (2.1 mgd). This amounts to a 17% increase from the current production load and a total conveyed flow of 4.53 cfs, demonstrating that the main line has sufficient capacity to accept the projects sewer production. Please refer to the enclosed report for additional details that support the projects sewer design.

### **3.0 WATER**

#### *3.1 Existing Infrastructure*

The site is served by the Valley County Water District. It is part of the Upper Baldwin Park Pressure Zone. There is a 12" line in Live Oak Lane as well as a 12" line in Arrow Highway near the site. There are several existing 6" J-3708 Fire Hydrants with shut-off valves on the line. Please refer to Attachment B for a detailed service area map.

#### *3.2 Proposed Infrastructure*

2,100 LF 12" public water main to be installed in Live Oak Lane and Arrow Highway to create a loop in the existing Valley County Water District system. 2" Water Service Connections are proposed in Live Oak Lane for proposed buildings. 2 new meters will be for domestic service with 1 new meter for landscape service. The project will also utilize an existing 2" meter for domestic service. There will be an install of 7,500 LF of 12" fire water loop system with two points of connection in Live Oak Lane. Valley County Water District will provide a Will Serve Letter when the WSA for the project is completed.



## **4.0 STORMWATER**

### *4.1 Existing Infrastructure*

The existing onsite condition consists of graded land that sheet flows west towards an existing detention basin/pit. The overall drainage flows southwest towards the I-605 freeway with an average slope of 3%. The onsite soil classification is split between class 008 and 015. Soil Class 008 is described as Hanford Silt Loam Soils and Class 015 is described as Tujunga Fine Sandy Loam Soils. The onsite area is mostly pervious in the existing condition. However, a visit to the project site revealed the presence of an impervious asphalt layer in several locations of the site. For that reason, the impervious ratio for the existing onsite area is 25%.

Prior to the use of the project site as a quarry and now graded land, stormwater flowed across the site from the north and east to the southwest and would leave the site at its southwest corner and discharge to culverts located beneath Live Oak Avenue. These existing storms drain facilities are no longer used and will not be used as a part of this project.

### *4.2 Proposed Infrastructure*

The project site will be developed into an industrial logistics center that will construct three warehouses with associated parking stalls and loading docks. Similar to the existing condition, the soil group for the project is defined by soil type 008 and 015, but for the purpose of simplicity and modeling, a soil type of 008 was used, which is the more conservative value. A rainfall depth of 1.07 and 6.8 inches was used to analyze the site hydrology for the 85<sup>th</sup> percentile storm.

Overall, the developed condition hydrology will follow the existing condition surface flow pattern, where drainage continues to flow south towards the proposed detention basin pit, now referred to as Basin A1. The existing pit has been altered in coordination with Southern California Edison and is now configured into two basins, which is modeled as one basin in this report by hydraulically connecting them through storm drainpipe.

Onsite drainage areas are described through areas A1-A3 and will be pumped from the proposed detention basin, for storm events exceeding the 85<sup>th</sup> percentile storm. The draining will be directed to Line E on Live Oak Avenue, which outfalls to the San Gabriel River, located to the east of the project. The onsite drainage can be described in 5 sub-drainage areas:

Area A1 refers to the northerly drainage area that includes offsite drainage from the existing commercial site, proposed building 1 and 2 and pavement from parking stalls and





drive isles. The drainage here sheet flows to nearby catch basins, into the underground storm drain system and outlets to proposed detention basin A1. Drainage for the 85<sup>th</sup> percentile will first drain to two drywells located on the northwest boundary, adjacent to the basin and I-605 freeway for onsite retention, for the purpose of water quality.

Area A2.1 refers to the onsite drainage located in the middle of that site. The drainage area includes drainage from building 2, building 3 and pavement from the parking isles and stalls. Storm water will first drain to nearby catch basins, into the underground storm drain and into proposed detention basin A1.

Area A2.2 refers to the onsite drainage located in the westerly side of the site. The drainage area includes drainage from building 3 and pavement from the parking isles and stalls. Storm water enters the underground storm drain system and drains to proposed detention basin A1, where storm water is treated and mitigated.

Area A3 refers to the onsite drainage that makes up the proposed detention basin. The basin is considered self-retaining and does not affect the onsite storm drain system. It does however contribute to sizing the detention basin itself and the design of the outlet storm drain/pump discharge line. The basin also manages storm water volumes for the proposed drywells for the 85<sup>th</sup> percentile storm.

Area A4 refers to the offsite project area located in the southeast side of that site. The drainage area includes runoff from the existing businesses on Live Oak Lane and the existing street width, which includes the improved sections that is part of the project. Storm water follows the existing flow path, draining south towards Live Oak Avenue, along the street gutters on Live Oak Lane. Storm water for this drainage area will first flow into a Modular Wetlands System and then into a catch basin. Water will drain into a proposed storm drain line that will connect to Line E on Live Oak Lane and drain towards the San Gabriel River.

Please refer to Attachment C Proposed Hydrology Exhibit for an overview of the described hydrology.

## **5.0 ELECTRIC**

### *5.1 Existing Infrastructure*

Based on the site review and discussions with the Southern California service planner there is a 500kva transmission lines that run across Live Oak Ave North and South along the West property line and (3) 66kva transmission lines East and West along the North side of Live Oak Avenue. This will have to be protected in place and will require a consent to grade from SCE Transmission. There is also a power communication "Pcom" line that may need to be undergrounded that runs the whole length of Live Oak Ave if the city requires it. This includes risers, trench conduit sand and new fiber.



## *5.2 Proposed Infrastructure*

In order to grade or do any improvements to the SCE transmission easement the developer will be required to submit plans to SCE Transmission Real Properties for a consent to grade within their easement. The project manager will review all grading plans, grade elevations associated with the existing verses proposed, review existing and proposed pole locations, site drainage in their easement, ingress and egress street improvements and access points to their poles.

SCE is prepared to serve the project from the corner of Live Oak Avenue and Live Oak Lane from the existing overhead 12-16kva on Live Oak Avenue. The developer will be required to construct all on-site underground substructures per the cities policy that meet the California Public Utility Commissions (CPUC) rule and SCE specifications. Electric Will Serve is forthcoming and will be incorporated into report once received.

For Option 2, the BESS project will require and secure a Generator Interconnection Agreement (GIA) to interconnect to the existing SCE Rio Hondo Substation, located immediately south of the Project site. The project will store and deliver electricity to the grid through the GIA. The project design and discussions with SCE are all preliminary at this time.

## **6.0 GAS**

### *6.1 Existing Infrastructure*

Southern California Gas Company (SCG) will serve the project area. Currently there is one (8") eight-inch gas high pressure distribution line on the South side of Live Oak Avenue that will provide service to the project.

### *6.2 Proposed Infrastructure*

Service of SCG facilities will be provided in accordance with the SCG companies policies and the CPUC rules governing gas distribution. SCG requires new facilities that cross their pipelines maintain a minimum one (1) foot of vertical separation and new facilities installed parallel to there pipelines maintain a minimum two (2) feet of horizontal separation. Existing twelve (12) inch and larger gas lines require additional horizontal separation. Gas Will Serve is forthcoming and will be incorporated into report once received.

## **7.0 TELEPHONE**

### *7.1 Existing Infrastructure*



Frontier Communications serves the project area. Currently there is fiber located on the North side of Live Oak Avenue.

### *7.2 Proposed Infrastructure*

The fiber located on the North side of Live Oaks Avenue will be the service point of connection for project. The developer will construct underground conduit system that meets with CPUC rules and Frontier's standards which will serve the project area. See Will Serve Letter in Attachment G.

## **8.0 CABLE TELEVISION**

### *8.1 Existing Infrastructure*

Charter/Spectrum will serve the Specific Plan area. There are existing Charter facilities on the North side of Live Oaks Avenue.

### *8.2 Proposed Infrastructure*

Charter will supply service to the project from the North side of Live Oaks Avenue. The developer will be responsible for supplying trenching to supply the for Charter per their specifications as a franchise provided to the city. See Will Serve Letter in Attachment H.



## Attachment A – Sewer Study

# SEWER AREA STUDY

-FOR-

## IRWINDALE GATEWAY PROJECT

APN(S): 8532-002-035,8532-002-036, 8532-002-042, 8532-002-043  
PROPERTY ADDRESS: 13620 Live Oak Lane, Irwindale, CA  
PLANNING APPLICATION #: DA NO. 01-2022  
GRADING PERMIT #: TBD  
BUILDING PERMIT #: TBD

PREPARED FOR: **KP IRWINDALE OWNER, LLC**  
1875 Century Park East, Ste 380  
Los Angeles, CA 90067  
Contact: Steven Hillgren  
(310)-203-1861

PREPARED BY: **Oscar Rivera**  
**DAVID EVANS & ASSOCIATES, INC**  
17542 17th Street, Suite 150  
Tustin, CA 92780  
orivera@deainc.com  
510-862-1907

DATE PREPARED: 6/30/2022



DAVID EVANS  
AND ASSOCIATES INC.

**Sewer Area Study For  
Nu-Way Live Oak Industrial Warehouse**

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This report has been prepared by or under the direction of the following registered civil engineer who attests to the technical information contained herein. The registered civil engineer has also judged the qualifications of any technical specialists providing engineering data upon which recommendations, conclusions, and decisions are based.

Signature: \_\_\_\_\_  
Print: Oscar Edgardo Rivera Date: 3/20/2023





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## SECTION I. INTRODUCTION AND PURPOSE

The purpose of this report is to analyze the capacity of the existing sewer line on Center Street, for the purpose of discharging the onsite sewer loads for the Irwindale Gateway project, henceforth referred to as the project. The project is located in the City of Irwindale in the County of Los Angeles, bound by the 605 Interstate Freeway on the project's westerly boundary, Live Oak Ln on the north and east and Live Oak Avenue on the south.

The report estimates peak sewer flows based on the expected zoning designation, which is classified as M-2 Heavy Manufacturing. Specifically, three buildings are proposed, with two being Warehouses and one being designated as Office Space. This report will confirm that the contributing flow to the existing sewer system has adequate capacity to accept the additional flow from the proposed project. The proposed development refers to Option 1 in the city's Draft Specific Plan, which effectively addresses the design for Option 2, which is Battery Energy Storage System (BESS). Option 1 has a larger contributing area than Option 2 and therefore, is conservative. The BESS development will not require a sewer lateral and will not produce any sewer flows.

## SECTION II. PROJECT SITE DESCRIPTION

### II.1 EXISTING CONDITIONS

The project is located in the City of Irwindale in the County of Los Angeles, bound by the 605 Interstate Freeway on the project's westerly boundary, Live Oak Ln on the north and east and Live Oak Avenue on the south. There is no infrastructure, including sewer, within the project boundaries at this time.

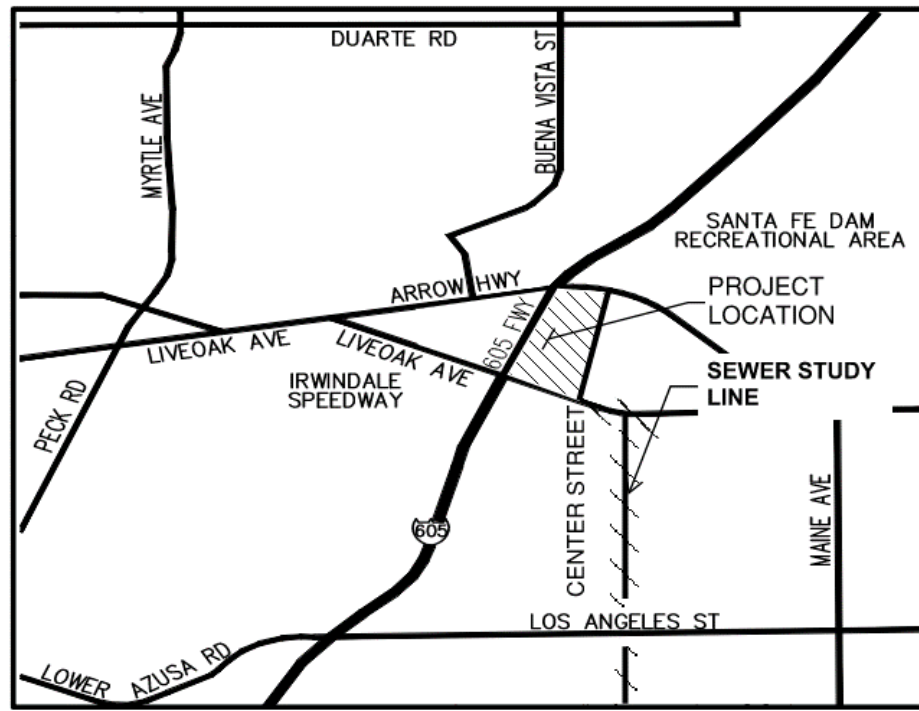


Figure 1: Vicinity Map





## **II.2 EXISTING SEWER SYSTEM**

An existing 10" sewer line and 15" sewer line is located along Live Oak Avenue and Commerce Drive/Center Street, respectively, on the east side of the project. This sewer line is designed to drain south to the main trunk line on Ramona Parkway, conveying the sewer load from the existing commercial/industrial developments located on the northeast corner of Live Oak Avenue and Rivergrade Road, as well as the commercial/industrial development on the north side of Rivergrade Road. The 10" VCP sewer line on Live Oak Avenue is under the jurisdiction of the City of Irwindale, while the 15" sewer main on Commerce Drive and Center Street is under the jurisdiction of the City of Baldwin Park.

## **II.3 PROPOSED SEWER DESIGN AND ESTIMATED FLOW**

Referring to the Sewer Area Map located in Appendix B, the sewer production includes the 3 proposed buildings, which encompasses a total service area of 989,250 SQFT. The sewer production is to be conveyed to a proposed 6" force main sewer line that drains east on Live Oak Avenue to the existing 10" VCP sewer line (Line C) on Live Oak Avenue and Rivergrade Road.

Referring to Table 2: Zoning Coefficients in Appendix B, based on the Sewer Area Study Web page from the Los Angeles County Public Works, the loading factors used for the analysis come from cross-referencing the City of Irwindale Zoning Map, which shows most of the study area under a Heavy Manufacturing and a small portion under Commercial Manufacturing.

For the onsite project area, it is expected to be designated as M-2, Heavy Manufacturing. The following summary shows the total area and expected generated flows under Heavy Manufacturing vs Commercial Manufacturing:

<b>Sewer Capacity Summary Table based on Land Use</b>			
<b>Land-Use</b>	<b>cfs/acre</b>	<b>Area (acres)</b>	<b>Flow (cfs)</b>
Heavy Manufacturing (M-1 to M-4)	0.021	60.570	1.272
Commercial Manufacturing (C1 to C4)	0.015	0.230	0.003



## SECTION III. ANALYSIS

### III.1 SEWER CAPACITY ANALYSIS

Based on the Los Angeles County Policy for Managing Available Sewer Capacity and Sewage Discharging Excess of Design capacity, sewer line capacities are defined as follows:

<15" Diameter ½ Full = 100% Capacity (d/D)

>15" Diameter ¾ Full = 100% Capacity (d/D)

Comparing the total tributary flow to the existing 15" & 10" VCP capacities, based on the controlling slope segments and/or change in sewer load, the table below demonstrates that the existing lines can handle the additional flows from the proposed project, in accordance with the above design criteria. It should be noted that there is 1 segment that deviates from the above criteria, where the existing capacity of sewer line C-1 conveys flows beyond 100% capacity. However, based on design criteria, bullet point 3 of memorandum dated Oct 12, 2005 Policies for Managing Available Sewer Capacity and Sewage Discharge in Excess of Design Capacity, the existing sewer line has sufficient capacity acceptable by the County of Los Angeles, based discharges falling between 101% and 150%.

Offsite Sewer Capacity for Controlling Segment - Summary Table				
Line ID	Pipe Size (inches)	Min. Pipe Slope (%)	50%/75% Capacity (cfs)	Project Flow Calculated (cfs)
Line A	10	0.50	n/a	0.48
Line C-1	10	0.64	0.824	0.85
Line D	15	0.28	3.07	1.28

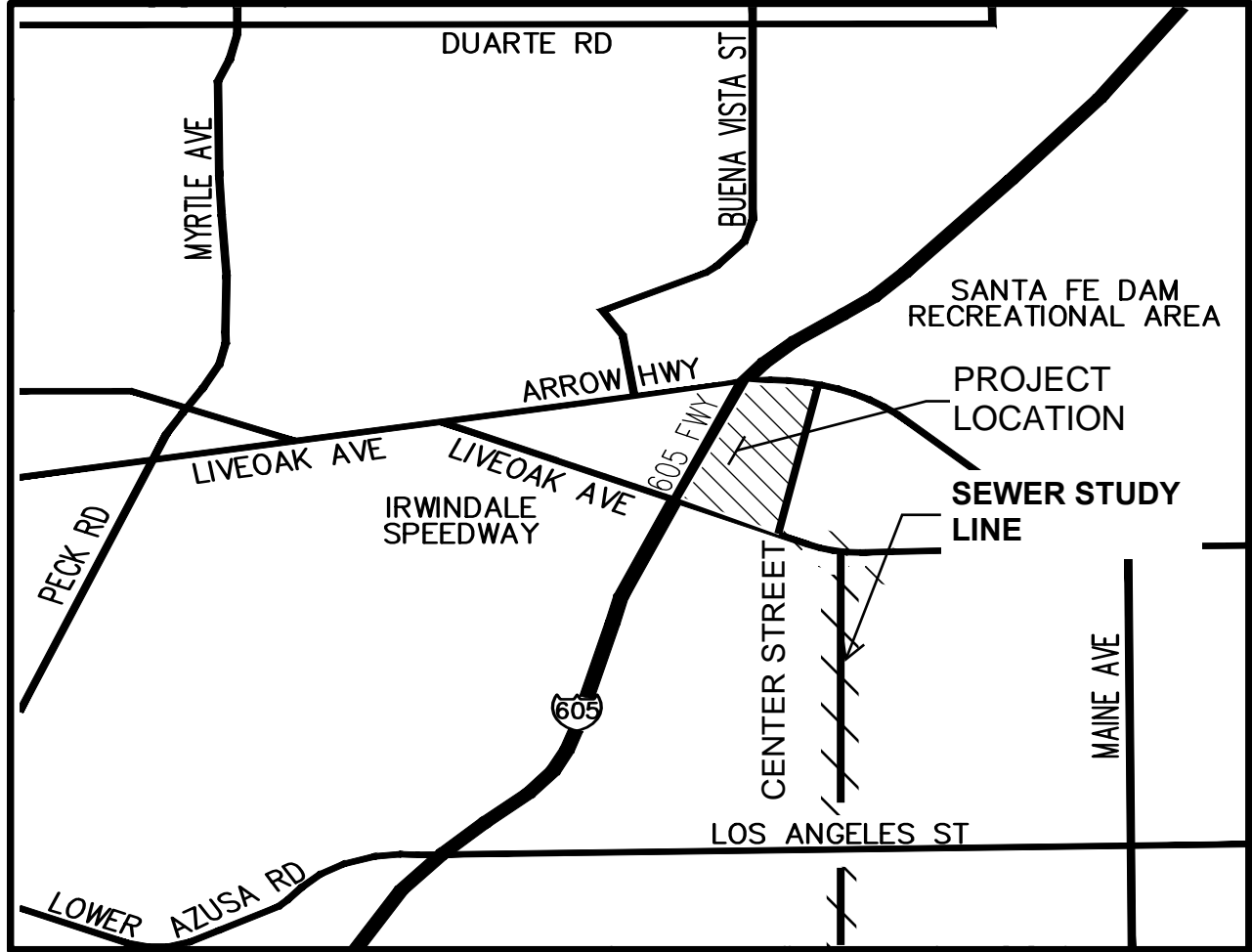
## SECTION IV. CONCLUSION

Based on the above table and previously stated criteria, the proposed site is expected to produce a total of peak flow of 0.48 cfs, which will drain towards the existing sewer line on Live Oak Avenue and Rivergrade Road. The table demonstrates that the sewer has sufficient capacity to accept the sewer production from the site, which will ultimately drain to Line C-1 and D along Center Street and finally, to the main trunk line on Ramona Parkway. Based on the Will Serve letter in Appendix C, the trunk line has a capacity of 7.43 cfs (4.8 mgd), with a current loading of 3.25 cfs (2.1 mgd). This amounts to a 17% increase from the current production load and a total conveyed flow of 4.53 cfs, demonstrating that the main line has sufficient capacity to accept the projects sewer production. Please refer to the enclosed report for additional details that support the projects sewer design.



# **APPENDIX A: SEWER AREA EXHIBIT**

- Vicinity Map
- Sewer Area Exhibit



VICINITY MAP

NOT TO SCALE

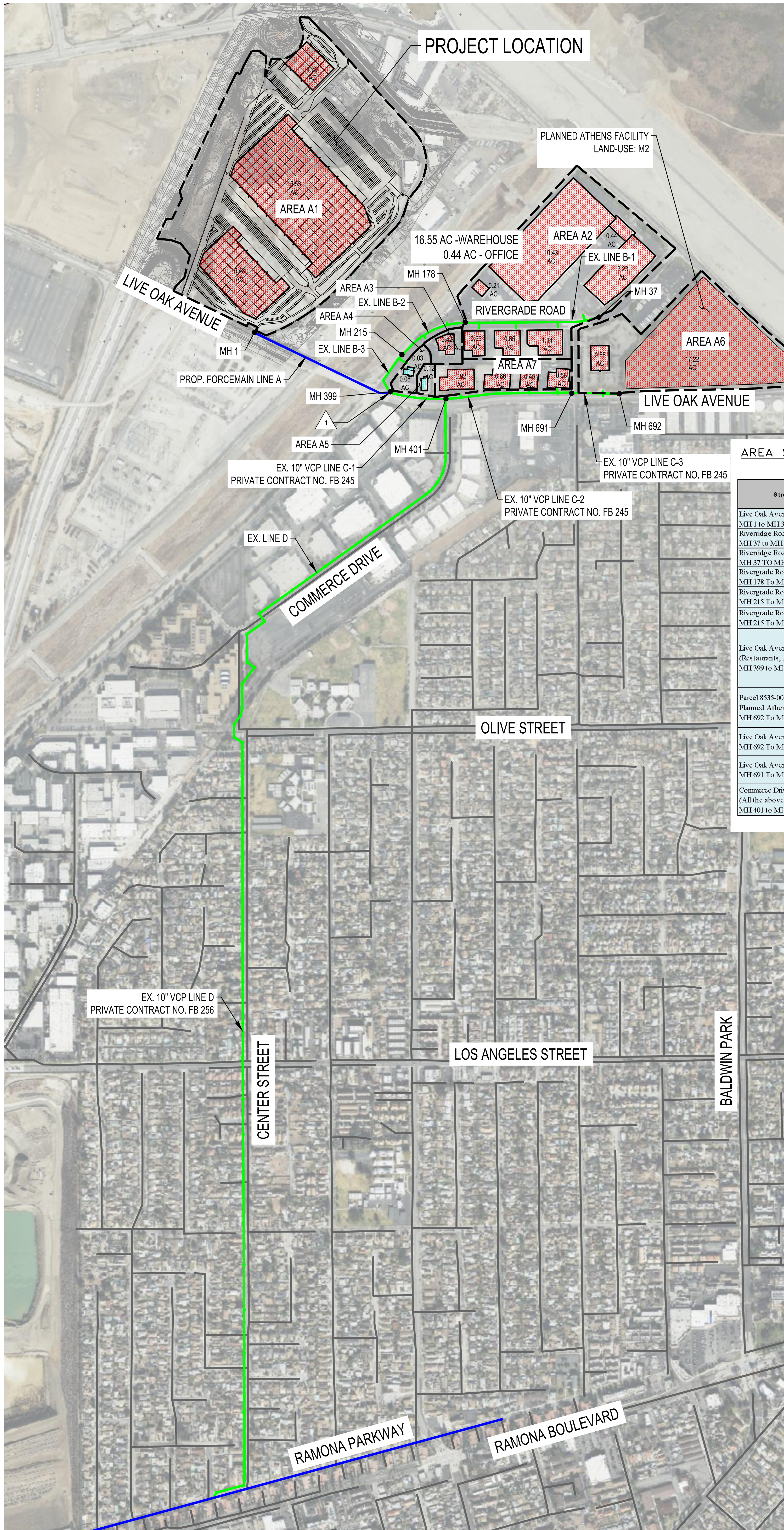


**DAVID EVANS  
AND ASSOCIATES INC.**

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VICINITY MAP

IRWINDALE GATEWAY  
DEVELOPMENT



**IRWINDALE ZONING CODES**

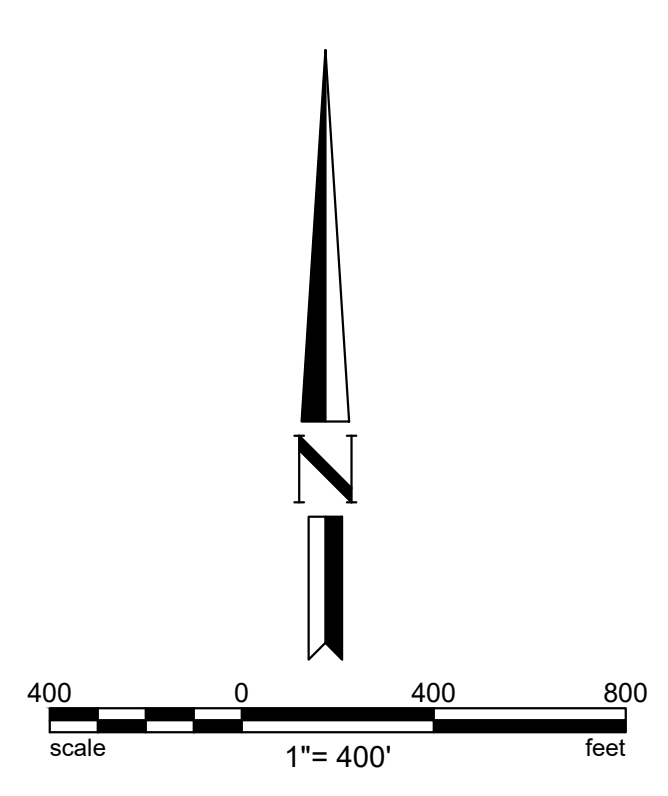
- M2 - HEAVY MANUFACTURING
- CM - COMMERCIAL MANUFACTURING

**AREA SUMMARY TABLE**

Street Name/Building Type	Area ID Contributing to Sewer Segment (Acres)	Segment Line ID	Area (Acres)
Live Oak Avenue (Warehouse) MH 1 to MH 399, Zoning M-2	A1	Prop. Line A	22.70
Rivergrade Road (Office) MH 37 to MH 178, Zoning M1-M4	A2	Ex. Line B-1	0.44
Rivergrade Road (Warehouse) MH 37 To MH 178, Zoning M1-M4	A2	Ex. Line B-1	16.55
Rivergrade Road (Autosales/Repair) MH 178 To MH 215	A3	Ex. Line B-2	0.42
Rivergrade Road (Carwash-Recycling) MH 215 To MH 399, Zoning C1-C4	A4	Ex. Line B-3	0.03
Rivergrade Road (Service Station) MH 215 To MH 399, Zoning C1-C4	A4	Ex. Line B-3	0.08
Live Oak Avenue (Restaurants, 35 Seats) MH 399 to MH 401, Zoning C1-C4	A5	Ex. Line C-1	0.12
Parcel 8535-001-039 Planned Athens Facility MH 692 to MH 691, Zoning M1-M4	A6	Ex. Line C-3	17.22
Live Oak Avenue (Office) MH 692 to MH 691, Zoning M1-M4	A6	Ex. Line C-3	0.65
Live Oak Avenue (Warehouse) MH 691 To MH 401, Zoning M1-M4	A7	Ex. Line C-2	2.59
Commerce Drive/Center Street (All the above developments) MH 401 to MH 693, Zoning Mixed, See Above	ALL	Line D	60.80

**LEGEND**

- EX. SEWER TRUNK LINE
- EX. SEWER MAIN OF STUDY
- EX. SEWER SYSTEM
- POINT OF CONNECTION
- LOADING AREA





# **APPENDIX B: SEWER CAPACITY ANALYSIS**

- Table 2 - Zoning Coefficients
- Policies for Managing Available Sewer Capacity
- Sewer Area Study Table
- Formula Table

**Estimated Average Daily Sewage Flows for Various Occupancies**

Occupancy	Abbreviation	*Average daily flow
<b>Apartment Buildings:</b>		
Bachelor or Single dwelling units	Apt	150 gal/D.U.
1 bedroom dwelling units	Apt	200 gal/D.U.
2 bedroom dwelling units	Apt	250 gal/D.U.
3 bedroom or more dwelling units	Apt	300 gal/D.U.
Auditoriums, churches, etc.	Aud	5 gal/seat
Automobile parking	P	25 gal/1000 sq ft gross floor area
Bars, cocktails lounges, etc.	Bar	20 gal/seat
Commercial Shops & Stores	CS	100 gal/1000 sq ft gross floor area
Hospitals (surgical)	HS	500 gal/bed
Hospitals (convalescent)	HC	85 gal/bed
Hotels	H	150 gal/room
Medical Buildings	MB	300 gal/1000 sq ft gross floor area
Motels	MB	150 gal/unit
Office Buildings	Off	200 gal/1000 sq ft gross floor area
Restaurants, cafeterias, etc.	R	50 gal/seat
<b>Schools:</b>		
Elementary or Jr. High	S	10 gal/student
High Schools	HS	15 gal/student
Universities or Colleges	U	20 gal/student
College Dormitories	CD	85 gal/student

\*Multiply the average daily flow by 2.5 to obtain the peak flow

**Table 2: Zoning Coefficients**

Zone	Coefficient (cfs/Acre)
Agriculture -----	0.001
Residential*:	
R-1 -----	0.004
R-2 -----	0.008
R-3 -----	0.012
R-4 -----	0.016*
Commercial:	
C-1 through C-4 -----	0.015*
Heavy Industrial:	
M-1 through M-4 -----	0.021*

\* Individual building, commercial or industrial plant capacities shall be the determining factor when they exceed the coefficients shown

\* Use 0.001 (cfs/unit) for condominiums only

**Source:**

<https://pw.lacounty.gov/idd/iddservices/sewerAreaStudy/sewerAreaStudy.shtml>

*Steve Borge*

October 12, 2005

*Dean D. Efstathiou*  
Approved

TO: Dean Efstathiou  
FROM: Dennis Hunter *DH*  
Land Development Division

**POLICIES FOR MANAGING AVAILABLE SEWER CAPACITY AND SEWAGE DISCHARGE IN EXCESS OF DESIGN CAPACITY**

The following will set forth Public Works' policies related to managing sewer infrastructure capacity. Design capacity of the sewer mainline is defined as follows:

- < 15" diameter      ½ full = 100% capacity (d/D)
- ≥ 15" diameter      ¾ full = 100% capacity (d/D)

When Public Works determines there is available capacity in a mainline sewer for infill and redevelopment projects, the remaining available capacity shall be allocated on a first come – first serve basis.

Sewer Advisory Committee

A Sewer Advisory Committee (SAC) will be formed for the purpose of recommending courses of action to address proposed development connecting to existing sewers that will cause them to be operating beyond their design capacity. The SAC will make their recommendations to Dean Efstathiou, Assistant Director. The SAC will be chaired by Waterworks and Sewer Maintenance Division and will have representatives from Design and Land Development Divisions. Each Division will appoint a Principal Engineer or Senior Civil Engineer as a representative to the SAC and will convene whenever sewer decisions are required to address developmental impacts. Sewer Maintenance will maintain records of SAC meetings and will prepare recommendations to Administration for approval. The SAC may require other Division representatives to participate on a case-by-case basis when necessary, such as Building and Safety and Programs Development.

**Divisional Responsibilities**

Design Division

1. Support activities of the SAC.
2. Prepare sewer area studies when required.



3. Maintain records/archive of all approved sewer area studies and flow measurements.

#### Land Development Division

1. Support activities of the SAC.
2. Impose sewer area study requirements for private developments if necessary and review/approve all submittals.
3. Refer cases to SAC when both sewer area studies and flow measurements indicate that a potential overload situation exists or will exist based on criteria described below.
4. Provide copies of all approved sewer area studies and flow measurements to Design Division for archiving.

#### Waterworks and Sewer Maintenance Division

1. Chair the SAC, maintain meeting records and prepare position papers to Administration.
2. Advise the SAC when an overload condition is observed during maintenance activities.
3. Initiate effort to track and map all overload areas within the Consolidated Maintenance District.
4. Keep database of all flow measurement results.

#### Design Criteria

1. Capacity of sewer mainlines less than 15" in diameter are considered full (100 percent) when the ratio of the depth of flow ( $d$ ) over the pipe diameter ( $D$ ) is equal to 0.5, expressed as  $d/D = 0.5$ .
2. Capacity of sewer mainlines equal to or greater than 15" in diameter are considered full (100 percent) when the ratio of the depth of flow ( $d$ ) over the pipe diameter ( $D$ ) is equal to 0.75, expressed as  $d/D = 0.75$ .

Dean Efstathiou  
August 25, 2005  
Page 3

3. When an area study indicates that flow conditions based on calculated discharges is between 101 percent to 150 percent of capacity, no flow measurements and no mitigation will be required. If maintenance records warrant, a flow test may be required.
4. When an area study for a development that proposes to increase the density or change the zoning indicates that flow conditions are between 151 to 200 percent of capacity, flow measurements shall be required. If the flow test indicates that the actual flow condition is below 151 percent, no mitigation will be required. If the flow test results indicate the actual flow is above 151 percent, the case shall be referred to the SAC to evaluate options and make recommendations to Administration for approval. These options may include, but are not limited to: requiring full mitigation from the development, assessing pro-rata shares, creation of a reimbursement district, or establishing a County Improvement (CI) district.

AHN:ca

P:\LD\PUB\SUBPCHECK\SEWER\MISCELLANEOUS\SEWER INFRASTRUCTURE MANAGEMENT

cc: Administration (Kelly)  
Building and Safety (Patel)  
Design (Kumar)  
Land Development (D'Antonio, Burger, ~~Ruiz~~ Pachan's, Chong, Witler, Narag)  
Programs Development (Afshari)  
Waterworks and Sewer Maintenance (Del Real, Lehto)

**Sewer Area Study Table**

\* Calculated using Kutter's Formula with n=0.013  
 \*\* Value Based on building footprint shown in Sewer Area Study Exhibit  
 \*\*\* Based on current land use and coefficients per LA County. (Attach supporting calculations)  
 Design capacity keeps three decimal places at least.  
 For pipes < 15", design capacity of the sewer mainline is defined as 1/2 full = 100% capacity (d/D)  
 For pipes ≥ 15", design capacity of the sewer mainline is defined as 3/4 full = 100% capacity (d/D)

$$C = \frac{41.65 + \frac{0.00281}{s} + \frac{1.811}{n}}{1 + \frac{n}{\sqrt{R}} \left( 41.65 + \frac{0.00281}{s} \right)} \quad V = C\sqrt{RS}$$

$$Q = CA\sqrt{RS}$$

Street Name/Building Type	Area ID Contributing to Sewer Segment (Acres)	Segment Line ID	Pipe			*Design Capacity			Area (Acres)	Area (sqft)	Flow (cfs/acre) 0.015 for C1-C4 0.021 for M1-M4	Calculated Flow (cfs)	***Cumulative Calculated Flow (cfs)	PC or CI Construction Plan #	%Full Cumulative Flow / Capacity	Comment	Jurisdiction	Notes
			Size (in.)	Slope (%)	1/2 Full(<15")	3/4 Full(≥15")	100% Full(≥15")											
Live Oak Avenue (Warehouse) MH 1 to MH 399, Zoning M-2	A1	Prop. Line A (Force main)	6	0.005	N/A	N/A	N/A	22.70	988,812.00	0.0210	0.477	0.477	TBD	N/A	N/A	LA County	Prop. Line A is a Forcemain. Forcemain and Pump station will be analyzed during final engineering	
Riverridge Road (Office) MH 37 to MH 178, Zoning M1-M4	A2	Ex. Line B-1	10	0.0048	0.711		1.421	0.44	19,166.40	0.0210	0.009	0.009	FB 245	1.30%	OK	LA County	Refer to As built ID# FB 245 and Appendix D of this report.	
Riverridge Road (Warehouse) MH 37 TO MH 178, Zoning M1-M4	A2	Ex. Line B-1	10	0.0048	0.711		1.421	16.55	720,918.00	0.0210	0.348	0.357	FB 246	50.20%	OK	LA County	Refer to As built ID# FB 245 and Appendix D of this report.	
Rivergrade Road (Autosales/Repair) MH 178 To MH 215	A3	Ex. Line B-2	10	0.0064	0.822		1.643	0.42	18,295.20	0.0210	0.009	0.366	FB 245	44.50%	OK	LA County	Refer to As built ID# FB 245 and Appendix D of this report.	
Rivergrade Road (Carwash-Recycling) MH 215 To MH 399, Zoning C1-C4	A4	Ex. Line B-3	10	0.0064	0.822		1.643	0.03	1,306.80	0.0150	0.000	0.366	FB 245	44.56%	OK	LA County	Refer to As built ID# FB 245 and Appendix D of this report.	
Rivergrade Road (Service Station) MH 215 To MH 399, Zoning C1-C4	A4	Ex. Line B-3	10	0.0064	0.822		1.643	0.08	3,484.80	0.0150	0.001	0.367	FB 246	44.70%	OK	LA County	Refer to As built ID# FB 245 and Appendix D of this report.	
Live Oak Avenue (Restaurants, 35 Seats) MH 399 to MH 401, Zoning C1-C4	A5	Ex. Line C-1	10	0.0064	0.822		1.643	0.12	5,052.96	0.0150	0.002	0.846	FB 245	102.94%	Over Capacity	LA County	Refer to As built ID# FB 245 and Appendix D of this report. Based on memorandum dated Oct 12, 2005 Policies for Managing Available Sewer Capacity and Sewage Discharge in Excess of Design Capacity, the ex sewer line has sufficient capacity acceptable by the County of Los Angeles	
Parcel 8535-001-039 Planned Athens Facility MH 692 To MH 691, Zoning M1-M4	A6	Ex. Line C-3	10	0.0053	0.747	1.388	1.494	17.22	750,103.20	0.0210	0.362	0.362	None	48.40%	OK	LA County	Per Zoning Coefficient Table based on Land-Use	
Live Oak Avenue (Office) MH 692 To MH 691, Zoning M1-M4	A6	Ex. Line C-3	10	0.0053	0.747		1.494	0.65	28,314.00	0.0210	0.014	0.375	FB 245	50.23%	OK	LA County	Refer to As built ID# FB 256 and Appendix D of this report.	
Live Oak Avenue (Warehouse) MH 691 To MH 401, Zoning M1-M4	A7	Ex. Line C-2	10	0.0046	0.696		1.391	2.59	112,820.40	0.0210	0.054	0.430	FB 245	61.77%	OK	LA County		
Commerce Drive/Center Street (All the above developments) MH 401 to MH 693, Zoning Mixed. See Above	ALL	Line D	15	0.0028		3.068	3.316	60.80	2,648,273.76	See above	None	1.275	FB 256	41.58%	OK	LA County	Refer to As built ID# FB 256 and Appendix D of this report.	

Excerpt from Memorandum for Over capacity Pipes. Full text found in Appendix D

- When an area study indicates that flow conditions based on calculated discharges is between 101 percent to 150 percent of capacity, no flow measurements and no mitigation will be required. If maintenance records warrant, a flow test may be required.

	A	B	C	D	E	F	Y	Z	AA	AB	AC	AD	AE	AF	AG	AH	AI			
1	<b>Formula Table</b>																<b>Kutter's Formula</b>			
2																	$C = \frac{41.65 + \frac{0.00281}{S} + \frac{1.811}{n}}{1 + \frac{n}{\sqrt{R}} \left( 41.65 + \frac{0.00281}{S} \right)}$		$V = C\sqrt{RS}$ $Q = CA\sqrt{RS}$	
3																				
4																				
5																				
6																				
7																				
8	Street Name/Building Type	Area ID Contributing to Sewer Segment (Acres)	Segment Line ID	Pipe Size (in.)	Slope (%)	*Design Capacity			Area (Acres)	Area (sqft)	Flow (cfs/acre) 0.015 for C1-C4 0.021 for M1-M4	Calculated Flow (cfs)	Cumulative Calculated Flow (cfs)	PC or CI Construction Plan #	%Full Cumulative Flow / Capacity	Comment				
9						1/2 Full(<15")	3/4 Full(<15")	100% Full(<15")												
12	Live Oak Avenue (Warehouse) MH 1 to MH 399, Zoning M-2 Riverridge Road (Office)	A1	Prop. Line A	10	0.005				22.7	=AB12*43560	0.021	=AD12*AB12	=AE12	FB 245	=AF12					
13	MH 37 to MH 178, Zoning M1-M4 Riverridge Road (Warehouse)	A2	Ex. Line B-1	10	0.0048	=IF(E13<15,L13*((K13*SF13)^0.5)*I13,"")	=IF(E13>=15,R13*((Q13*SF13)^0.5)*O13,"")	=X13*((W13*SF13)^0.5)*U13	0.44	=AB13*43560	0.021	=AD13*AB13	=AE13	FB 245	=IF(E13<15,AF13/Y13,AF13/Z13)	=IF(AND(E13<15,AH13<=1),"OK",IF(AND(E13>=15,AH13<=1),"OK","Over Capacity"))				
14	MH 37 TO MH 178, Zoning M1-M4 Rivergrade Road (Autosales/Repair)	A2	Ex. Line B-1	10	0.0048	=IF(E14<15,L14*((K14*SF14)^0.5)*I14,"")	=IF(E14>=15,R14*((Q14*SF14)^0.5)*O14,"")	=X14*((W14*SF14)^0.5)*U14	16.55	=AB14*43560	0.021	=AD14*AB14	=AE14+AF13	FB 246	=IF(E14<15,AF14/Y14,AF14/Z14)	=IF(AND(E14<15,AH14<=1),"OK",IF(AND(E14>=15,AH14<=1),"OK","Over Capacity"))				
15	MH 178 To MH 215 Rivergrade Road (Carwash-Recycling)	A3	Ex. Line B-2	10	0.0064	=IF(E15<15,L15*((K15*SF15)^0.5)*I15,"")	=IF(E15>=15,R15*((Q15*SF15)^0.5)*O15,"")	=X15*((W15*SF15)^0.5)*U15	0.42	=AB15*43560	0.021	=AD15*AB15	=AE15+AF14	FB 245	=IF(E15<15,AF15/Y15,AF15/Z15)	=IF(AND(E15<15,AH15<=1),"OK",IF(AND(E15>=15,AH15<=1),"OK","Over Capacity"))				
16	MH 215 To MH 399, Zoning C1-C4 Rivergrade Road (Service Station)	A4	Ex. Line B-3	10	0.0064	=IF(E16<15,L16*((K16*SF16)^0.5)*I16,"")	=IF(E16>=15,R16*((Q16*SF16)^0.5)*O16,"")	=X16*((W16*SF16)^0.5)*U16	0.03	=AB16*43560	0.015	=AD16*AB16	=AE16+AF15	FB 245	=IF(E16<15,AF16/Y16,AF16/Z16)	=IF(AND(E16<15,AH16<=1),"OK",IF(AND(E16>=15,AH16<=1),"OK","Over Capacity"))				
17	MH 215 To MH 399, Zoning C1-C4 Live Oak Avenue (Restaurants, 35 Seats) MH 399 to MH 401, Zoning C1-C4	A4	Ex. Line B-3	10	0.0064	=IF(E17<15,L17*((K17*SF17)^0.5)*I17,"")	=IF(E17>=15,R17*((Q17*SF17)^0.5)*O17,"")	=X17*((W17*SF17)^0.5)*U17	0.08	=AB17*43560	0.015	=AD17*AB17	=AE17+AF16	FB 246	=IF(E17<15,AF17/Y17,AF17/Z17)	=IF(AND(E17<15,AH17<=1),"OK",IF(AND(E17>=15,AH17<=1),"OK","Over Capacity"))				
18		A5	Ex. Line C-1	10	0.0064	=IF(E18<15,L18*((K18*SF18)^0.5)*I18,"")	=IF(E18>=15,R18*((Q18*SF18)^0.5)*O18,"")	=X18*((W18*SF18)^0.5)*U18	0.116	=AB18*43560	0.015	=AD18*AB18	=AF17+AF12+AE18	FB 245	=IF(E18<15,AF18/Y18,AF18/Z18)	=IF(AND(E18<15,AH18<=1),"OK",IF(AND(E18>=15,AH18<=1),"OK","Over Capacity"))				
19	Parcel 8535-001-039 Planned Athens Facility MH 692 To MH 691, Zoning M1-M4	A6	Ex. Line C-3	10	0.0053	=IF(E19<15,L19*((K19*SF19)^0.5)*I19,"")	=R19*((Q19*SF19)^0.5)*O19	=X19*((W19*SF19)^0.5)*U19	17.22	=AB19*43560	0.021	=AD19*AB19	=AE19	None	=IF(E19<15,AF19/Y19,AF19/Z19)	=IF(AND(E19<15,AH19<=1),"OK",IF(AND(E19>=15,AH19<=1),"OK","Over Capacity"))				
20	Live Oak Avenue (Office) MH 692 To MH 691, Zoning M1-M4	A6	Ex. Line C-3	10	0.0053	=IF(E20<15,L20*((K20*SF20)^0.5)*I20,"")	=IF(E20>=15,R20*((Q20*SF20)^0.5)*O20,"")	=X20*((W20*SF20)^0.5)*U20	0.65	=AB20*43560	0.021	=AD20*AB20	=AF19+AE20	FB 245	=IF(E20<15,AF20/Y20,AF20/Z20)	=IF(AND(E20<15,AH20<=1),"OK",IF(AND(E20>=15,AH20<=1),"OK","Over Capacity"))				
21	Live Oak Avenue (Warehouse) MH 691 To MH 401, Zoning M1-M4	A7	Ex. Line C-2	10	0.0046	=IF(E21<15,L21*((K21*SF21)^0.5)*I21,"")	=IF(E21>=15,R21*((Q21*SF21)^0.5)*O21,"")	=X21*((W21*SF21)^0.5)*U21	=0.92+0.66+0.45+0.56	=AB21*43560	0.021	=AD21*AB21	=AF20+AE21	FB 245	=IF(E21<15,AF21/Y21,AF21/Z21)	=IF(AND(E21<15,AH21<=1),"OK",IF(AND(E21>=15,AH21<=1),"OK","Over Capacity"))				
22	Commerce Drive/Center Street (All the above developments) MH 401 to MH 693, Zoning Mixed. See Above	ALL	Line D	15	0.0028	=IF(E22<15,L22*((K22*SF22)^0.5)*I22,"")	=IF(E22>=15,R22*((Q22*SF22)^0.5)*O22,"")	=X22*((W22*SF22)^0.5)*U22	=SUM(AB12:AB21)	=AB22*43560	See above	None	=AF21+AF18	FB 256	=IF(E22<15,AF22/Y22,AF22/Z22)	=IF(AND(E22<15,AH22<=1),"OK",IF(AND(E22>=15,AH22<=1),"OK","Over Capacity"))				



# APPENDIX C: WILL SERVE LETTER

- Will Serve Letter



March 7, 2022

Ref. DOC 6469812

Mr. Oscar Rivera, Project Manager  
David Evans and Associates, Inc.  
17782 17<sup>th</sup> Street, Suite 200  
Tustin, CA 92780

Dear Mr. Rivera:

**Will Serve Letter for Irwindale Gateway Industrial Project**

The Los Angeles County Sanitation Districts (Districts) received your will serve letter request for the subject project on February 18, 2022. The proposed project is located within the jurisdictional boundary of District No. 22. We offer the following comments regarding sewerage service:

1. The wastewater flow originating from the proposed project will discharge to a local sewer line, which is not maintained by the Districts, for conveyance to the Districts' Baldwin Park Trunk Sewer, located in Ramona Parkway at Grace Avenue. The Districts' 18-inch diameter trunk sewer has a capacity of 4.8 million gallons per day (mgd) and conveyed a peak flow of 2.1 mgd when last measured in 2013.
2. The wastewater generated by the proposed project will be treated at the San Jose Creek Water Reclamation Plant (WRP) located adjacent to the City of Industry, which has a capacity of 100 mgd and currently processes an average flow of 61.2 mgd. All biosolids and wastewater flows that exceed the capacity of the San Jose Creek WRP are diverted to and treated at the Joint Water Pollution Control Plant in the City of Carson.
3. The expected increase in average wastewater flow from the project, described in the application as 920,000 square feet of warehouse structures, is 22,833 gallons per day, after all structures on the project site are demolished. For a copy of the Districts' average wastewater generation factors, go to [www.lacsd.org](http://www.lacsd.org), Wastewater & Sewer Systems, click on Will Serve Program, and click on the [Table 1, Loadings for Each Class of Land Use](#) link.
4. The Districts are empowered by the California Health and Safety Code to charge a fee to connect facilities (directly or indirectly) to the Districts' Sewerage System or to increase the strength or quantity of wastewater discharged from connected facilities. This connection fee is used by the Districts for its capital facilities. Payment of a connection fee may be required before this project is permitted to discharge to the Districts' Sewerage System. For more information and a copy of the Connection Fee Information Sheet, go to [www.lacsd.org](http://www.lacsd.org), under Services, then Wastewater (Sewage) and select Rates & Fees. In determining the impact to the Sewerage System and applicable connection fees, the Districts will determine the user category (e.g. Condominium, Single Family home, etc.) that best represents the actual or anticipated use of the parcel(s) or facilities on the parcel(s) in the development. For more specific information regarding the connection fee application procedure and fees, the developer should contact the Districts' Wastewater Fee Public Counter at (562) 908-4288, extension 2727.

5. In order for the Districts to conform to the requirements of the Federal Clean Air Act (CAA), the capacities of the Districts' wastewater treatment facilities are based on the regional growth forecast adopted by the Southern California Association of Governments (SCAG). Specific policies included in the development of the SCAG regional growth forecast are incorporated into clean air plans, which are prepared by the South Coast and Antelope Valley Air Quality Management Districts in order to improve air quality in the South Coast and Mojave Desert Air Basins as mandated by the CAA. All expansions of Districts' facilities must be sized and service phased in a manner that will be consistent with the SCAG regional growth forecast for the counties of Los Angeles, Orange, San Bernardino, Riverside, Ventura, and Imperial. The available capacity of the Districts' treatment facilities will, therefore, be limited to levels associated with the approved growth identified by SCAG. As such, this letter does not constitute a guarantee of wastewater service, but is to advise the developer that the Districts intend to provide this service up to the levels that are legally permitted and to inform the developer of the currently existing capacity and any proposed expansion of the Districts' facilities.

If you have any questions, please contact the undersigned at (562) 908-4288, extension 2708 or at [dcurry@lacsdc.org](mailto:dcurry@lacsdc.org).

Very truly yours,



Donna J. Curry  
Customer Service Specialist  
Facilities Planning Department

DC:dc

cc: A. Schmidt  
A. Howard



# **APPENDIX D: SUPPORTING PLANS**

- Private Contract No. FB 25505 Sewer Plans on Live Oak Avenue
- Private Contract No. FB 256 Sewer Plans on Center Street
- As-built E-2168
- As-built E-2169
- Assessors Map for Athens Development
- City of Irwindale Zoning Map

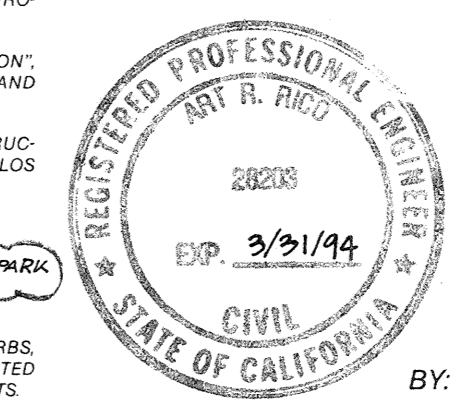


# SANITARY SEWERS

TO BE CONSTRUCTED IN  
**PARCEL MAP NO. 22505**  
CITY OF IRWINDALE  
AND  
CITY OF BALDWIN PARK

## PRIVATE CONTRACT NO. INDEX

3 SHEETS; 5 PAGES



SCALE: VERT 1" = 4'  
HORIZ 1" = 40' APRIL 15, 1991

PREPARED IN THE OFFICES OF  
**WILLIAMSON & SCHMID**  
1500 Red Hill Ave., Tustin, California 92680  
BY: *W.A. Schmid* TEL NO. (714) 259-7900  
*M.R. Rios* REG. C.E. No. 28203 EXP. DATE 03-31-94

THE FOLLOWING LATEST REVISED STANDARD PLANS ON FILE IN THE OFFICE OF THE DEPARTMENT OF PUBLIC WORKS SHALL APPLY IN THE CONSTRUCTION OF THIS PROJECT:

LEGEND	S-1
MINIMUM PUBLIC SAFETY REQUIREMENTS	S-2
BRICK MANHOLE	S-3
REINFORCED PRECAST CONCRETE MANHOLE	S-6
STANDARD MANHOLE STEP	S-17
BEDDING FOR SEWER PIPE	S-21
CRADLING AND ENCASUREMENT	S-23
WYE OR TEE SUPPORT	S-26
ALLOWABLE TRENCH WIDTHS	S-33
LOCKING MANHOLE FRAME AND COVER	S-35
NON-REINFORCED PRECAST CONCRETE MANHOLE	S-38

COUNTY OF LOS ANGELES, CALIFORNIA  
CARLOS ALVARADO  
CITY ENGINEER, CITY OF IRWINDALE  
CHARLES W. CARRY  
CHIEF ENGINEER  
CO SAN DIST NO. 15

APPROVED *Carlos Alvarado* (DATE) REVIEWED BY *James James* (DATE)  
CITY ENGINEER, CITY OF BALDWIN PARK  
LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS  
CONSOLIDATED SEWER MAINTENANCE DISTRICT  
REVIEWED FOR MAINTENANCE  
APPROVED *Charles W. Carry* (DATE) REVIEWED BY *Charles W. Carry* (DATE)

B.M. CG 4480 ELEV 408.193  
FC BR MON @ SE COR BRIDGE NO. 81314  
44 FT S C/L LIVE OAK AVE +119 FT W/O  
C/L INT RIVERGRADE RD MKD  
(BM 079 - C3442 - 1974)  
COVINA QUAD. 1975

NO CONNECTION FOR THE DISPOSAL OF INDUSTRIAL WASTES SHALL BE MADE TO SEWERS SHOWN ON THESE DRAWINGS UNTIL A PERMIT FOR INDUSTRIAL WASTEWATER DISCHARGE HAS BEEN ISSUED BY THE SANITATION DISTRICTS FOR SAID CONNECTION.  
BEFORE BREAKING INTO OR CONSTRUCTION ON A COUNTY SANITATION DISTRICT SEWER AND PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, SANITATION DISTRICT INSPECTOR SHALL BE NOTIFIED BY PHONE (818) 962-8605 SO THAT REQUIRED INSPECTION CAN BE MADE.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
The existence and location of any underground utility pipes or structures shown on this plan are obtained by a search of available records. To the best of our knowledge there are no existing utilities except as shown on these plans. The contractor is required to take due precautionary measures to protect the utilities shown and any other lines or structures not shown on these plans.  
All contractors and subcontractors performing work shown on or related to these plans shall conduct their operations so that all employees are provided a safe place to work and the public is protected. All contractors and subcontractors shall comply with the "Occupational Safety and Health Regulation" of the U.S. Department of Labor, and with the State of California Department of Industrial Relations' "Construction Safety Orders."  
The civil engineer shall not be responsible in any way for the contractors' and subcontractors' compliance with the "Occupational Safety and Health Regulations" of the U.S. Department of Labor or with the State of California Department of Industrial Relations' "Construction Safety Orders."  
Contractor further agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the owner and the engineer harmless from and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

- GENERAL NOTES:**
- A SEWER CONSTRUCTION PERMIT SHALL BE OBTAINED AND A FEE PAID FOR CONSTRUCTION INSPECTION AND RECORD PLANS TO THE CITY OF IRWINDALE AND THE CITY OF BALDWIN PARK AT THE PERMIT COUNTER 800 SOUTH FREMONT AVENUE, 8TH FLOOR ALHAMBRA, AT LEAST 72 HOURS PRIOR TO STARTING WORK UNDER THIS CONTRACT. COPIES OF ALL OTHER REQUIRED PERMITS, SUCH AS ROAD EXCAVATION, CALTRANS, ETC. MUST BE FILED WITH THE PERMIT APPLICATION.
  - PRIOR TO ISSUANCE OF ANY PERMIT, THE CONTRACTOR SHALL FILE A PERMIT FOR EXCAVATIONS AND TRENCHES FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND A CERTIFICATE OF WORKERS COMPENSATION INSURANCE WITH THE CITY OF IRWINDALE AND THE CITY OF BALDWIN PARK, NAMED AS THE CERTIFICATE HOLDER TO BE NOTIFIED 30 DAYS PRIOR TO CANCELLATION OF POLICY.
  - IF WORK IS TO BE DONE IN A STATE HIGHWAY, A PERMIT MUST BE OBTAINED FROM THE STATE OF CALIFORNIA DIVISION OF HIGHWAYS, 120 SOUTH SPRING STREET, LOS ANGELES, CALIFORNIA.
  - WHEN WORK IS WITHIN CONTRACT LIMITS, THE CONTRACTOR MUST CONTACT THE DIRECTOR OF PUBLIC WORKS OF THOSE CITIES, TO DETERMINE THE LOCATION TO PAY THE INSPECTION FEES.
  - THE CONTRACTOR SHALL CONTACT THE CITY OF IRWINDALE (818) 962-3381 AND THE CITY OF BALDWIN PARK (818) 819-5255 TO ARRANGE FOR AN ACCEPTABLE CONSTRUCTION START DATE, AND SHALL NOTIFY THE CONSTRUCTION DIVISION BY TELEPHONE (818) 488-3129 AT LEAST TWENTY-FOUR HOURS BEFORE STARTING ANY WORK UNDER THIS CONTRACT.
  - APPROVAL OF THIS PLAN BY THE CITY OF IRWINDALE AND THE CITY OF BALDWIN PARK DOES NOT CONSTITUTE A REPRESENTATION AS TO ACCURACY OF THE LOCATION OF OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THIS NOTE APPLIES TO ALL PAGES.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION", INCLUDING SUPPLEMENTS AND THE SPECIAL PROVISIONS FOR THE CONSTRUCTION OF SANITARY SEWERS, DATED JULY 31, 1988, AND SHALL BE PROSECUTED ONLY IN THE PRESENCE OF THE CITY OF IRWINDALE AND THE CITY OF BALDWIN PARK.
  - THE CONTRACTOR'S ATTENTION IS DIRECTED TO SECTION 7104.1 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION IN REGARD TO SAFETY ORDERS AND SHALL CONFORM TO THE "MINIMUM PUBLIC SAFETY REQUIREMENTS" AS SHOWN ON LOS ANGELES DEPARTMENT OF PUBLIC WORKS STANDARD S-2.
  - ELEVATIONS ARE IN FEET ABOVE U.S.C. & G.S. SEA LEVEL DATUM OF 1929.
  - NO REVISIONS SHALL BE MADE IN THESE PLANS WITHOUT THE APPROVAL OF THE CITY ENGINEERS OF IRWINDALE & BALDWIN PARK.
  - NO REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC WORKS WILL SURVEY OR LAY OUT ANY PORTION OF THE WORK.
  - GRADES TO WHICH THIS IMPROVEMENT IS TO BE CONSTRUCTED ARE SHOWN ON PLANS AND PROFILES. GRADE POINTS FOR TOP OF CURBS, CENTERLINE OF STREETS, OR CENTERLINE OF ALLEYS, ARE SHOWN BY CIRCLES ON PROFILES AT ALL POINTS BETWEEN DESIGNATED POINTS. THE GRADE SHALL BE ESTABLISHED SO AS TO CONFORM TO A STRAIGHT LINE DRAWN BETWEEN SAID DESIGNATED POINTS.
  - THE PRIVATE ENGINEER SHALL FURNISH THE DEPARTMENT OF PUBLIC WORKS WITH GRADE SHEETS AND STATIONING FOR ALL HOUSE LATERALS AND "Y" OR "T" BRANCHES AND SHALL PROVIDE STAKES FOR THEM AT THEIR PROPER LOCATIONS WITH STATIONING PLAINLY MARKED. ALL HOUSE LATERALS SHALL BE CONSTRUCTED IN A STRAIGHT ALIGNMENT AT RIGHT ANGLES FROM THE MAIN LINE SEWER EXCEPT AS SHOWN ON THE PLANS. HOUSE LATERALS FROM CHIMNEYS SHALL NOT HAVE AN ANGLE LESS THAN 45° WITH THE M.L. SEWER. ANY CHANGE IN ALIGNMENT SHALL BE REQUESTED IN WRITING BY THE PRIVATE ENGINEER.
  - THE PRIVATE ENGINEER SHALL FURNISH THE HOUSE LATERAL DEPTH AT THE PROPERTY LINE BELOW THE TOP CURB ELEVATION FOR EACH HOUSE LATERAL ON THE GRADE SHEET.

GENERAL NOTES: (CONT'D)

13. THIS SUBJECT SANITARY SEWER PROJECT WILL NOT BE ACCEPTED FOR MAINTENANCE UNTIL SUCH TIME THE OUTLET SEWER FB 256 HAS BEEN CONSTRUCTED AND ACCEPTED BY THE CITY OF IRWINDALE FOR PUBLIC USE.

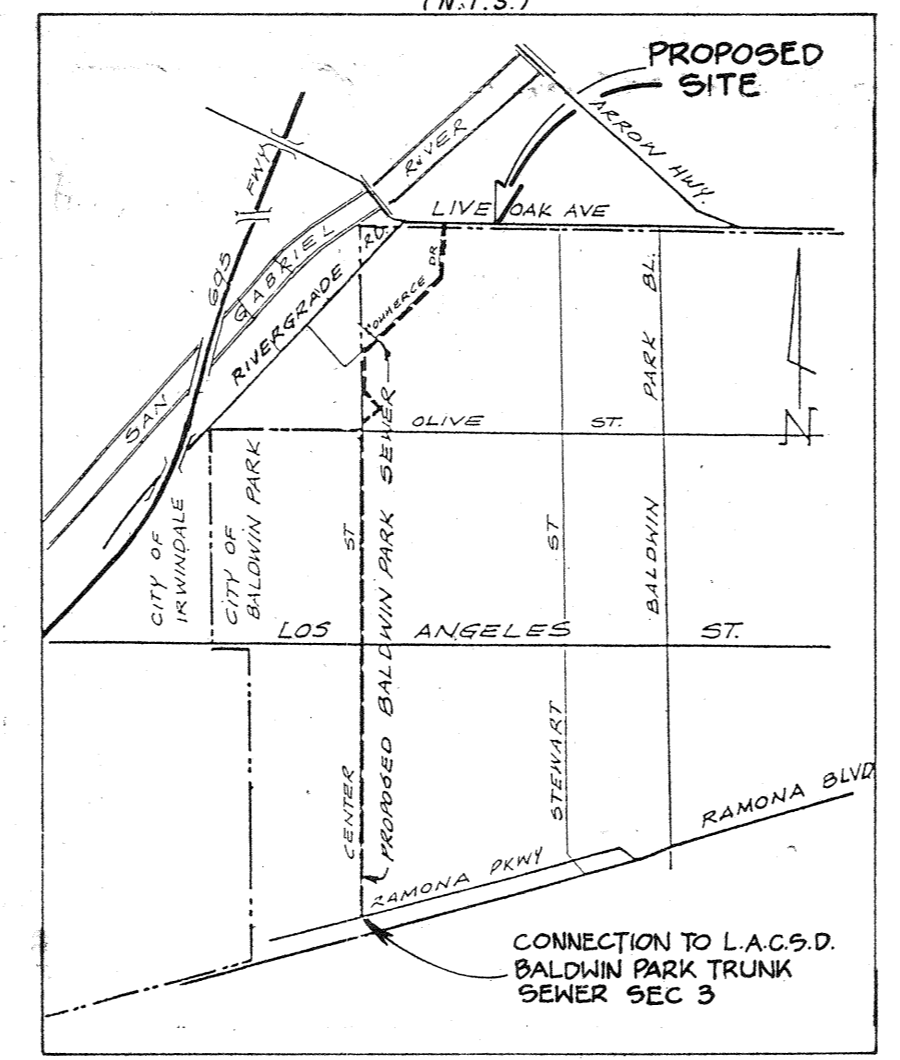
CONSTRUCTION NOTES: (CONT'D)

14. BACKFILL TRENCH AND REPLACE OTHER EARTH REMOVED, SO AS TO ACHIEVE THE NATURAL OR FINISHED GRADES AND SLOPES SHOWN ON THE GRADING PLAN APPROVED FOR THIS PARCEL MAP BY THE CITY OF IRWINDALE.

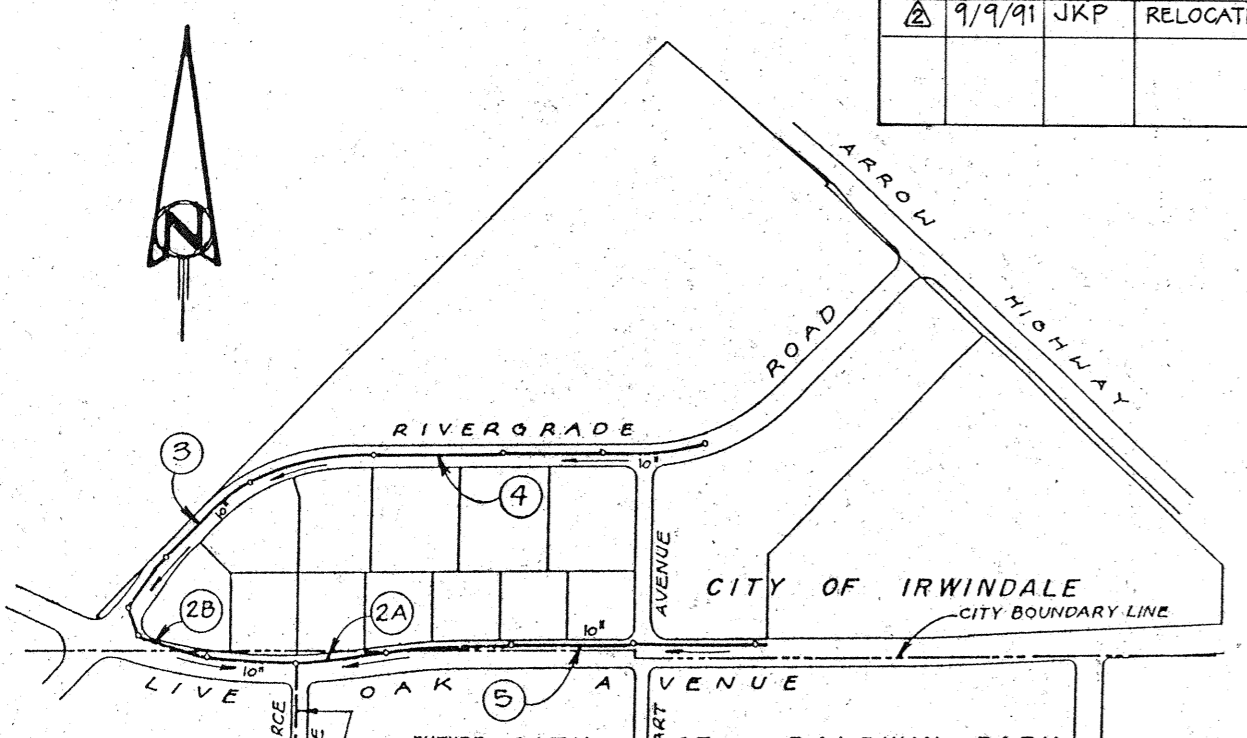
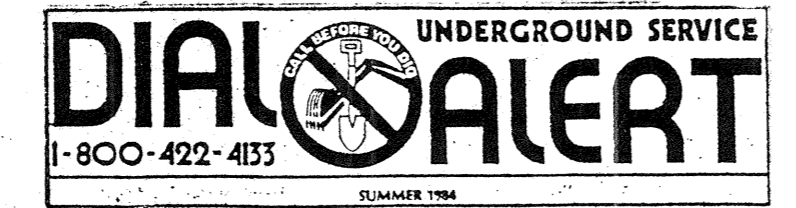
**REVISIONS**

REV.	DATE	INITIALS	DESCRIPTION	APP'D
1	7/16/91	J.K.P.	ADD NOTES, CHANGE L.A. COUNTY TO CITY OF IRWINDALE, ADD SIGNATURE BLOCKS; ADD B.C. & C.; CROSS-OUT PAGE 6; ADD 9' STUB @ COMMERC.	C.A.
2	9/9/91	J.K.P.	RELOCATE 10' ENCASING AND ADD ANOTHER ON PAGE 4.	C.A.

### LOCATION MAP (N.T.S.)

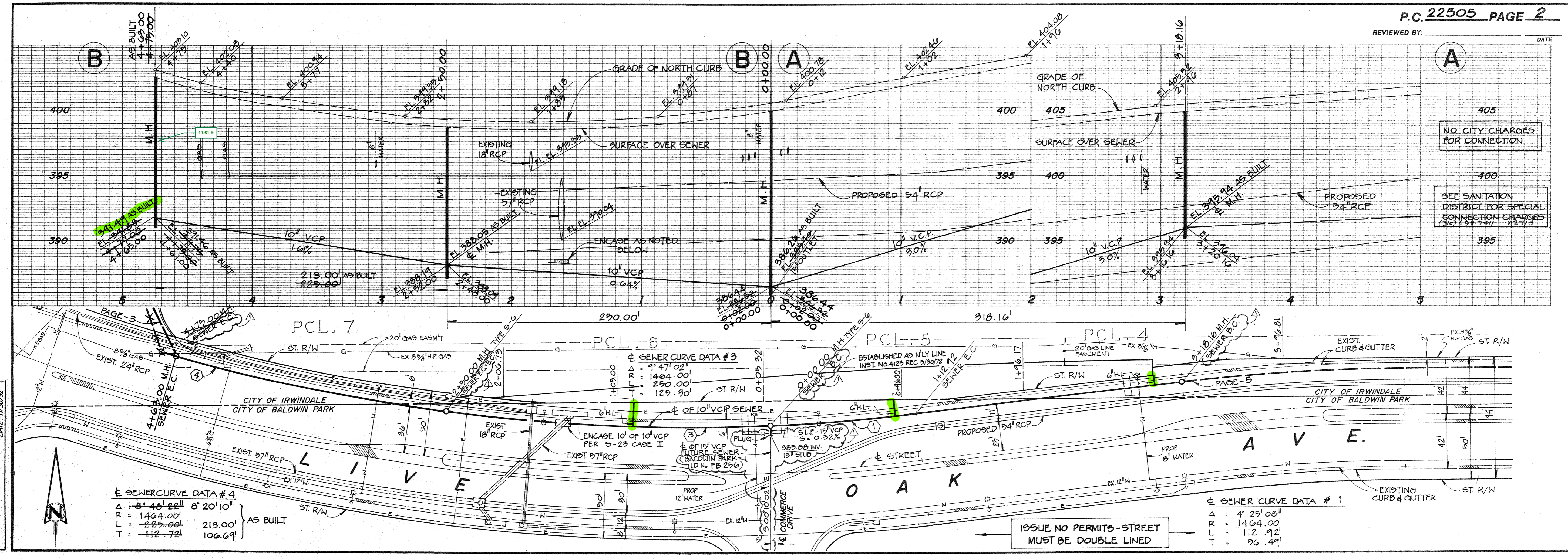


**IMPORTANT NOTICE**  
Section 4216/4217 of the Government Code Requires a Dig-Alert Identification Number be Issued Before a "PERMIT TO EXCAVATE" WILL BE VALID. For your Dig Alert ID, Number call Underground Service Alert TOLL FREE 1 800 422 4133 Two working days before you dig.



**INDEX MAP**  
PARCEL MAP NO. 22505  
SCALE: 1" = 600'  
THOMAS GUIDE PAGE 39 (1991 EDITION)

**"RECORD DRAWINGS"**  
THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/20/92



**SEWER CURVE DATA # 4**

Δ	8' 40" 22"	8' 20' 10"
R	1464.00'	
L	229.00'	213.00' AS BUILT
T	112' 72"	106.69'

**SEWER CURVE DATA # 3**

Δ	11' 47" 02"
R	1464.00'
L	290.00'
T	129.90'

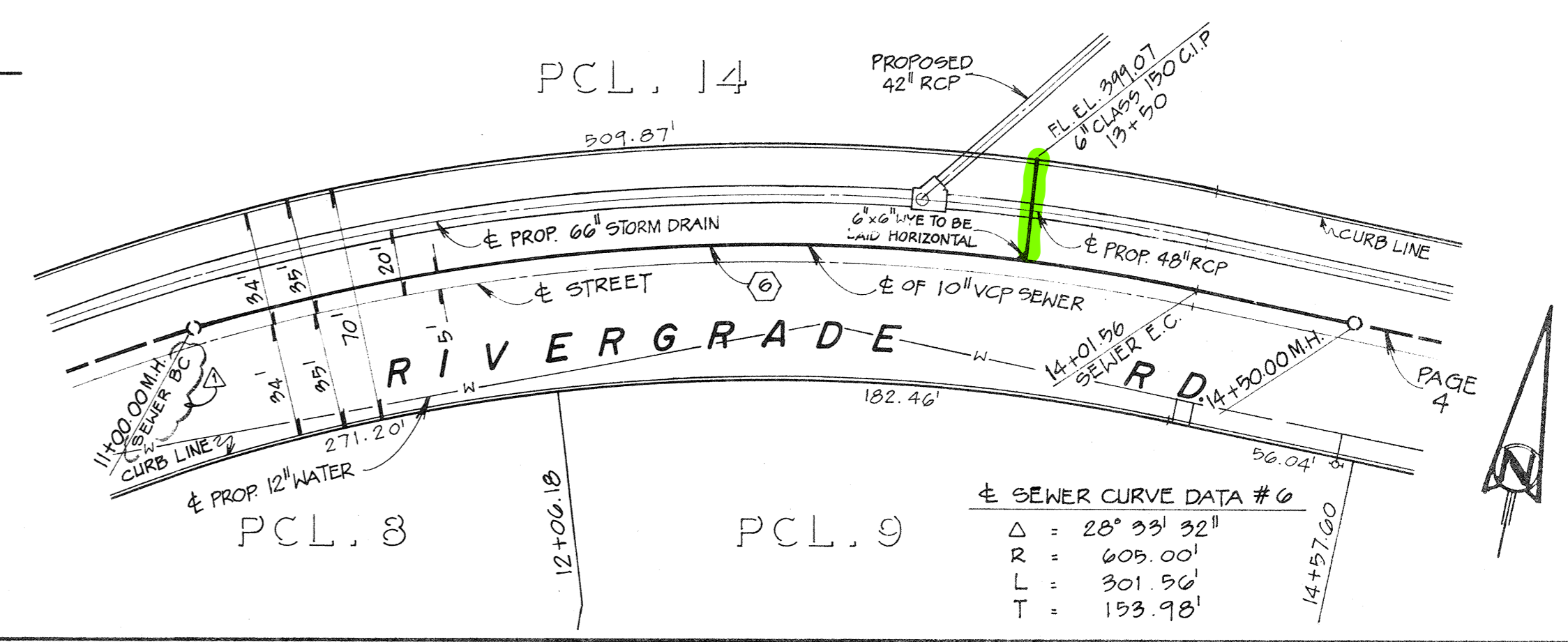
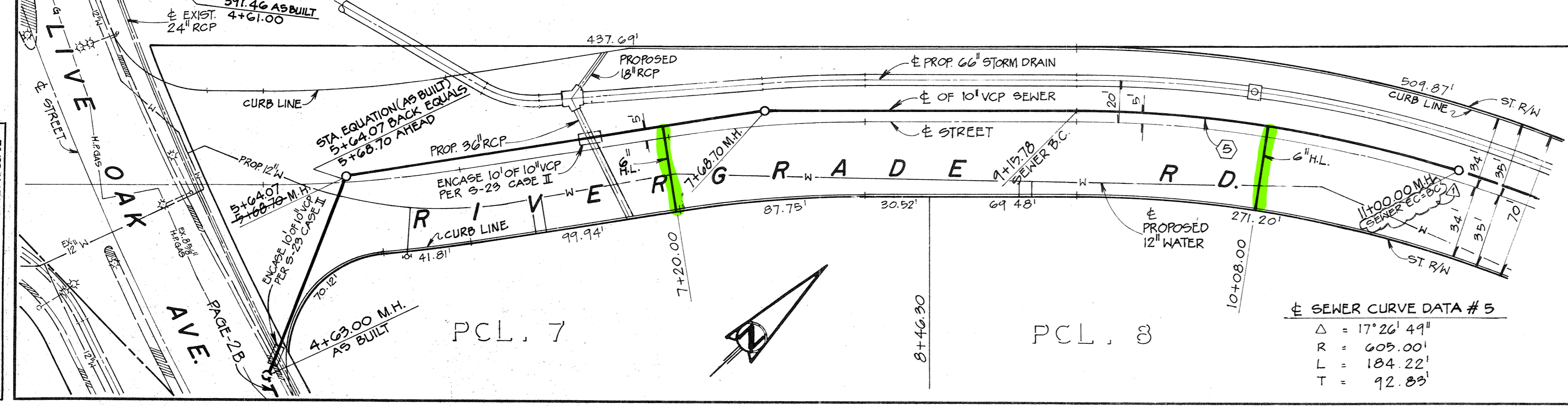
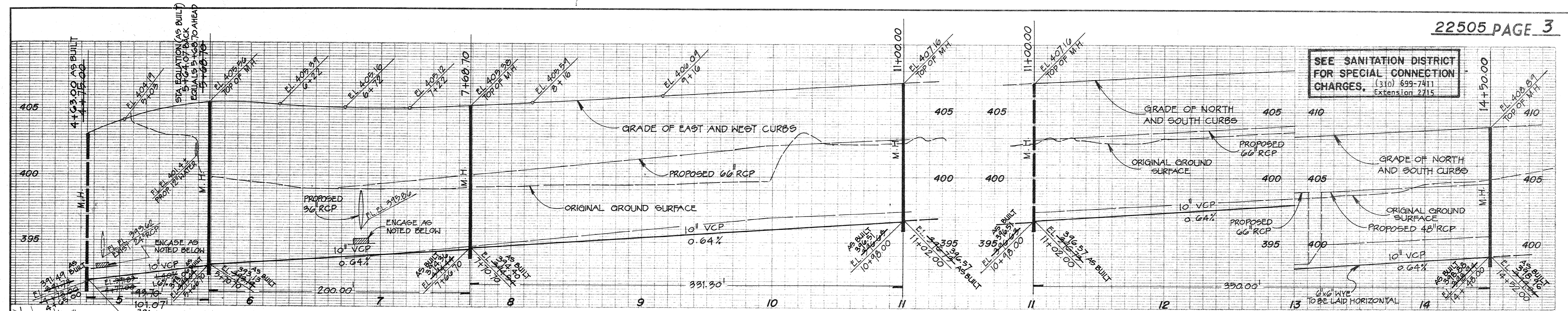
**SEWER CURVE DATA # 1**

Δ	4' 25' 08"
R	1464.00'
L	112.92'
T	96.49'

**"RECORD DRAWINGS"**  
THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/20/92

ISSUE NO PERMITS - STREET MUST BE DOUBLE LINED

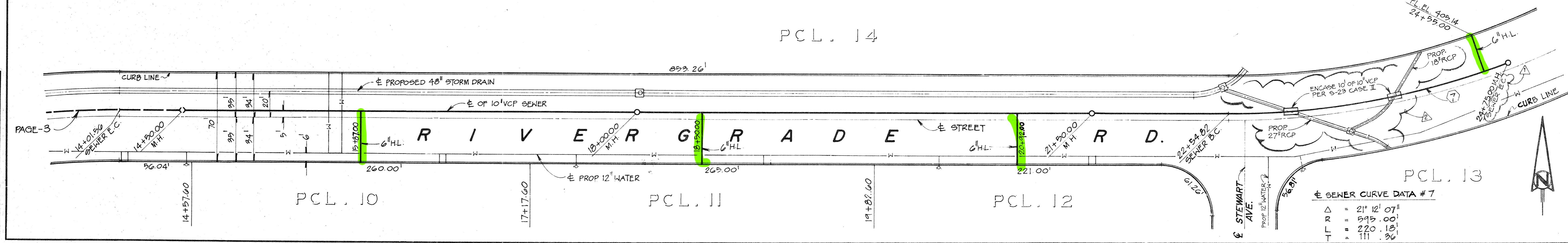
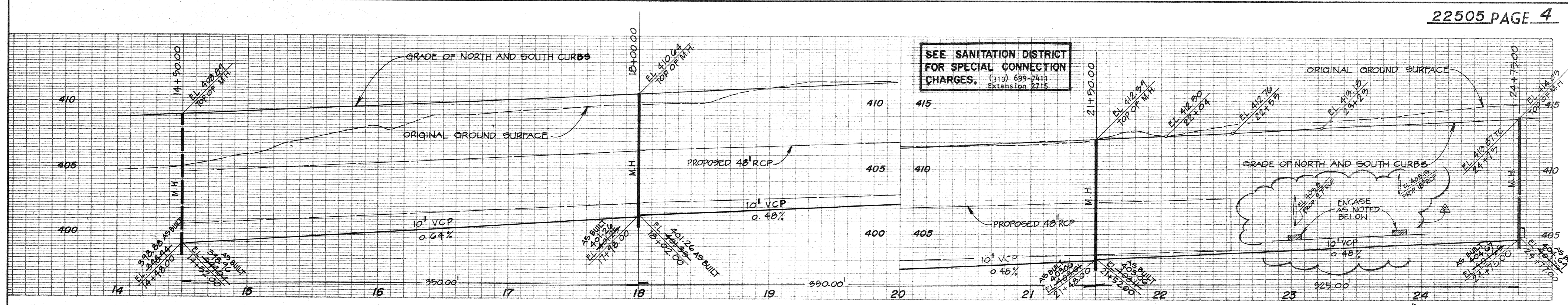
SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (310) 699-7411 Extension 2715



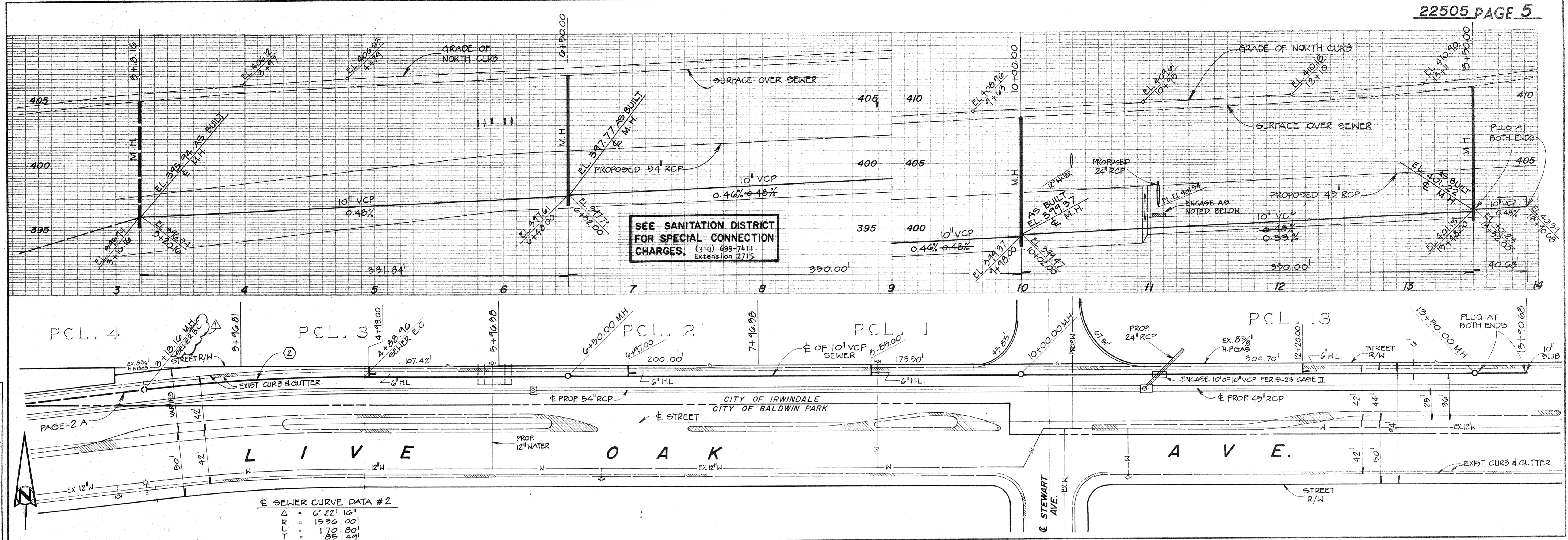
DATE: 12/1/92  
EXPIRES: 9/3/94  
R.C.E.: 28203  
AET: RICO

"RECORD DRAWINGS"  
THESE RECORD DRAWINGS WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/30/92

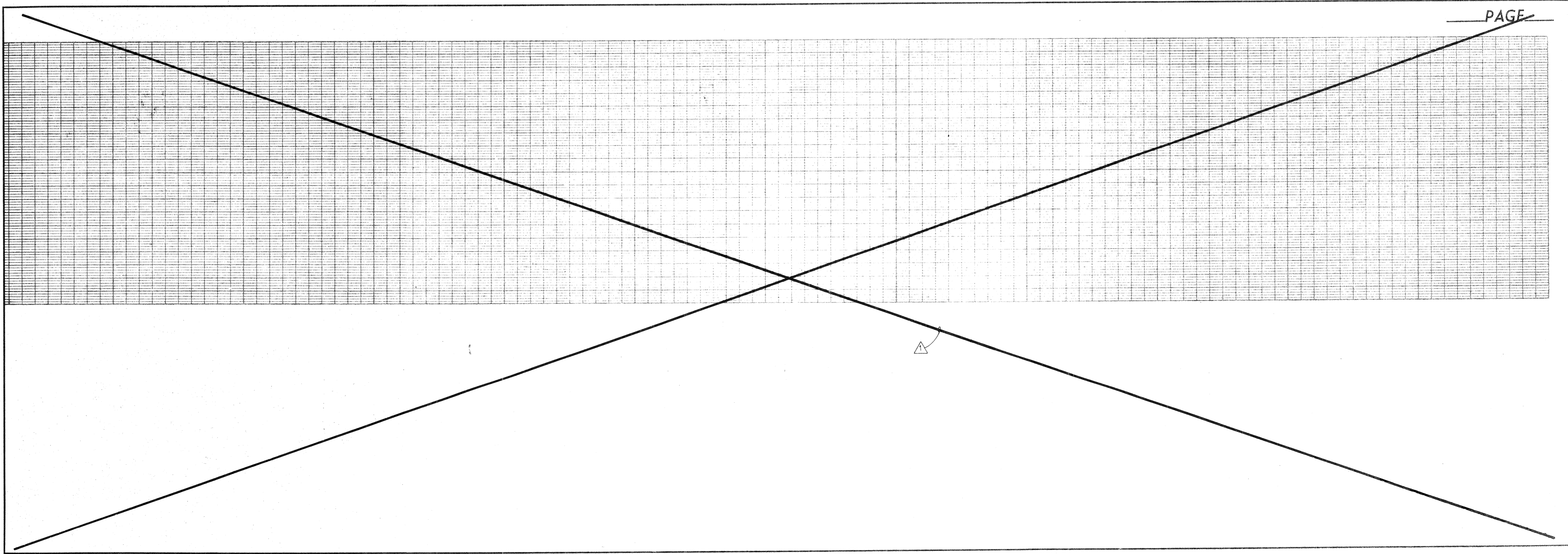
SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (310) 699-7411 Extension 2715



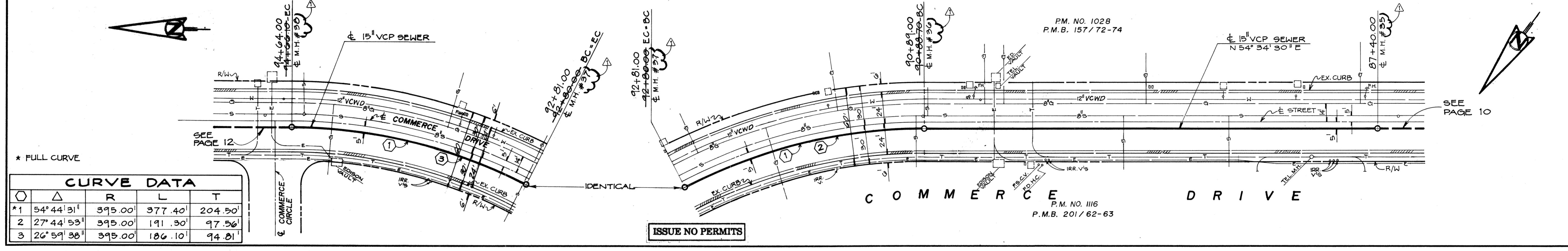
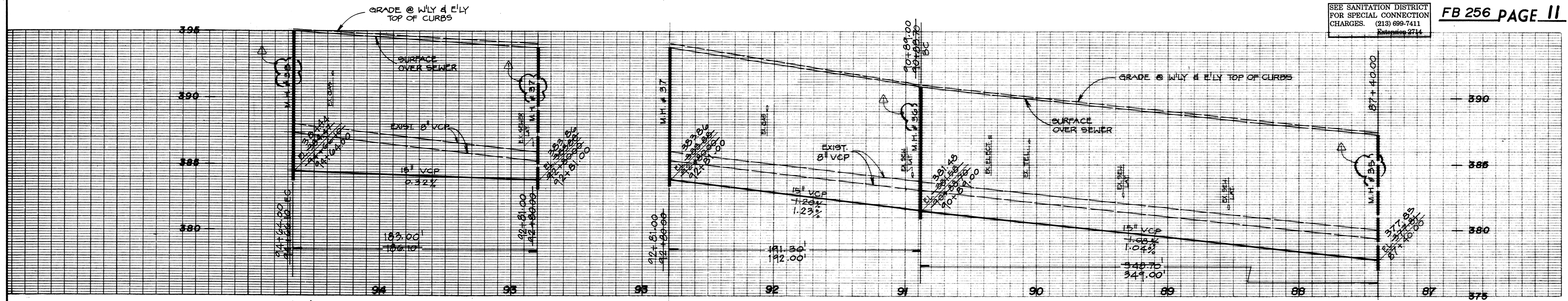
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THESE RECORD DRAWINGS WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/30/92



DATE: 12/1/92  
 EXPIRES: 9/3/94  
 R.C.E.: 28203  
 ART RICO  
 THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 12/20/92



SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411 Extension 2714



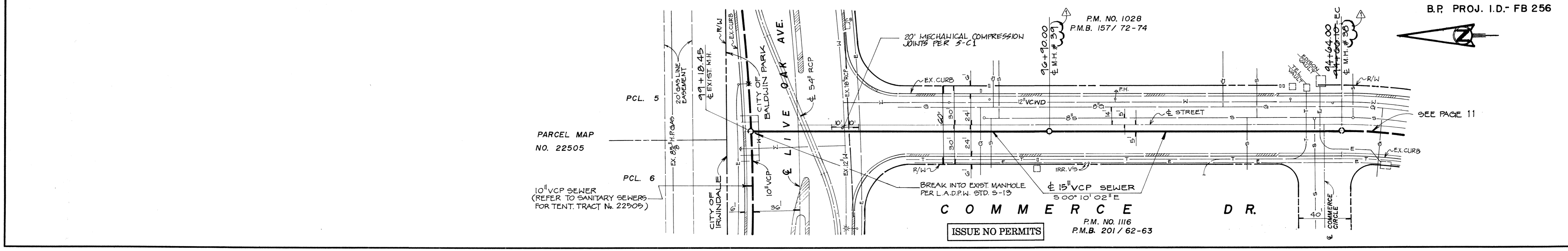
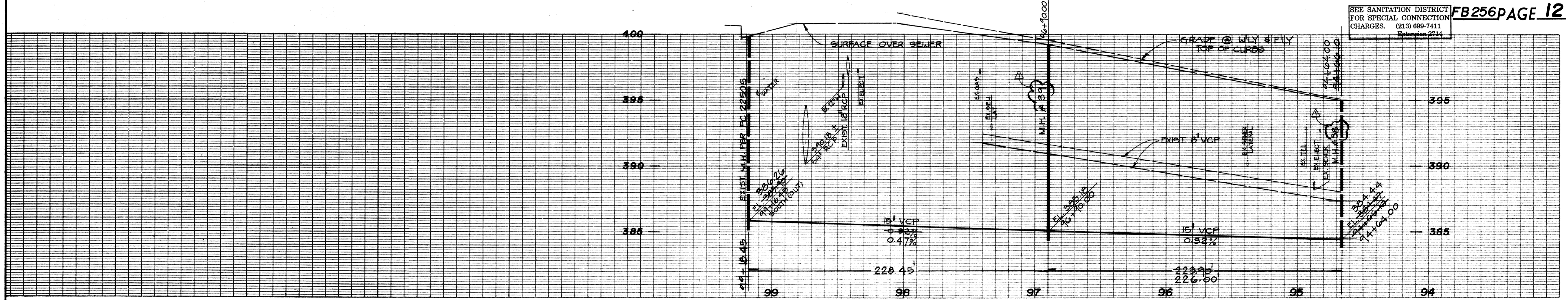
\* FULL CURVE

CURVE DATA				
Station	Grade	Length	Length	Length
94+81.00	0.22%	189.00'	192.00'	348.75'
92+81.00	1.23%	192.00'	348.75'	349.00'
90+81.00	1.04%	348.75'	349.00'	
87+40.00	1.04%	349.00'		

ART RICO  
26203 R.C.E.  
5/31/94 EXPIRES  
12/1/92 DATE

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SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411 Extension 2714

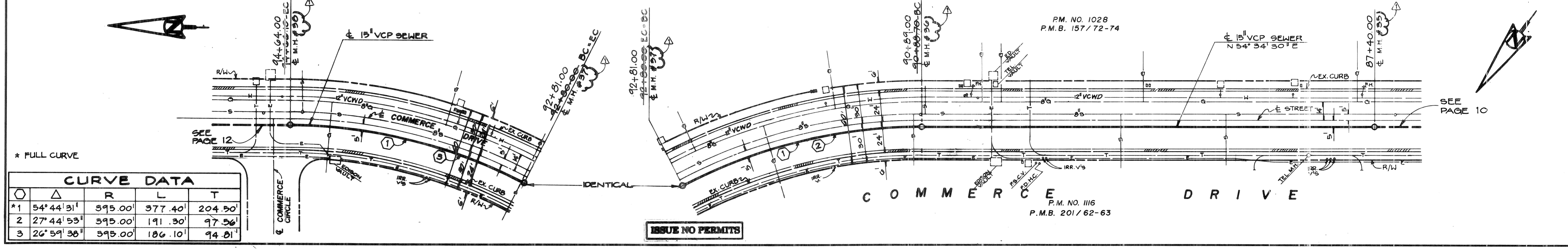
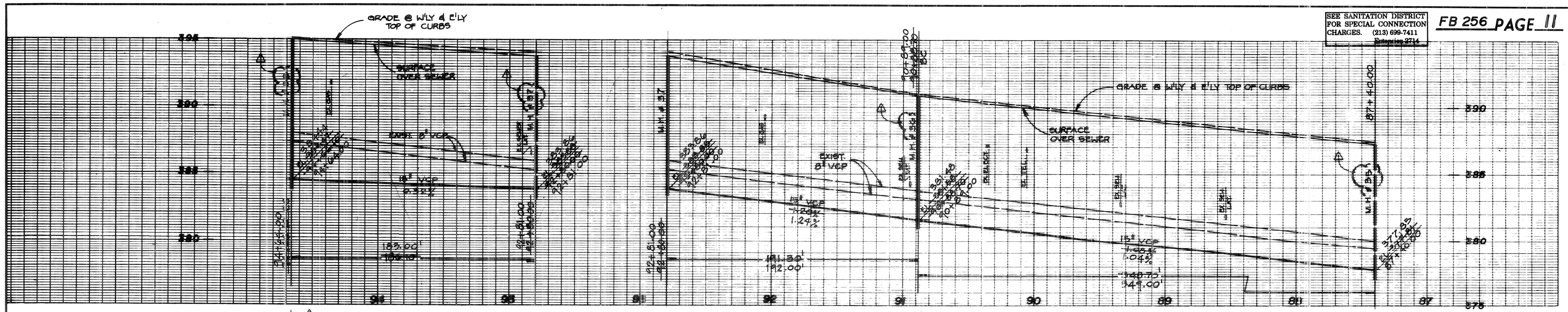


\* FULL CURVE

CURVE DATA				
Station	Grade	Length	Length	Length
94+81.00	0.47%	228.45'	226.00'	
92+81.00	0.32%	226.00'		

PC NO. FB 256

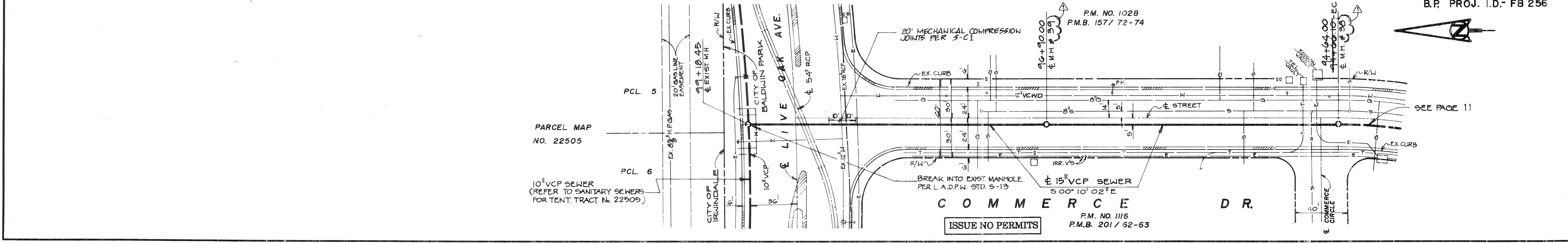
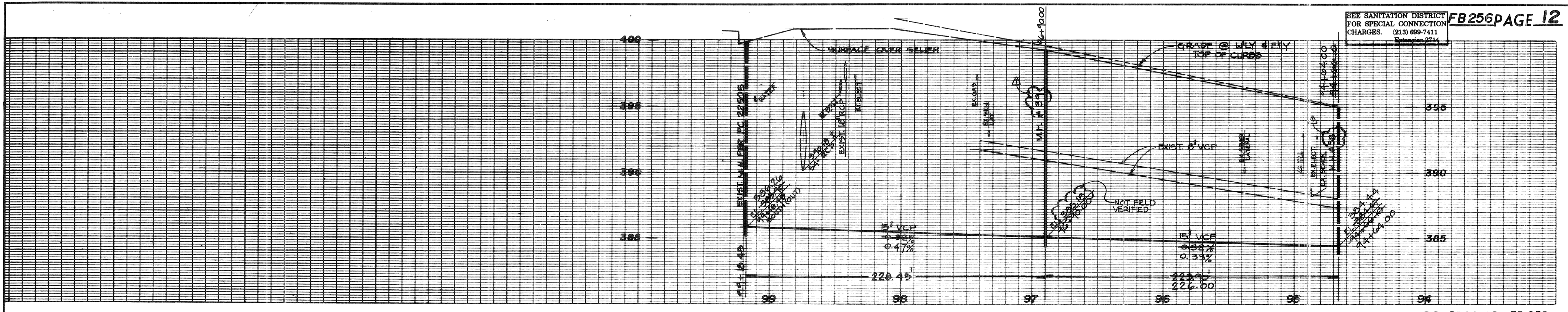
SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411  
 Drawing 2714



\* FULL CURVE

Δ	R	L	T	
1	54° 44' 31"	395.00'	377.40'	204.50'
2	27° 44' 53"	395.00'	191.30'	97.56'
3	26° 59' 36"	395.00'	186.10'	94.81'

SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411  
 Drawing 2714



ART RICO  
 28203 P.C.E.  
 3/31/94 EXPIRES  
 12/1/92 DATE

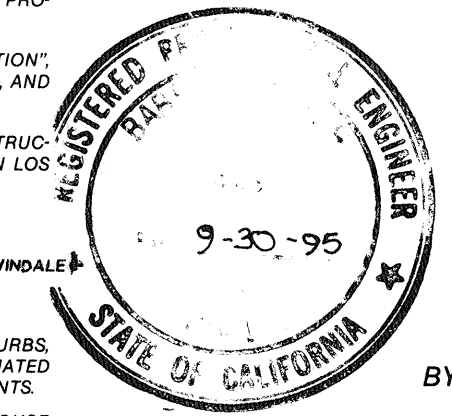
"RECORD DRAWINGS"  
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PARCEL MAP NO. 22505  
 10" VCP SEWER (REFER TO SANITARY SEWERS FOR TENT. TRACT N. 22505)

ISSUE NO PERMITS  
 P.M. NO. 1028 P.M.B. 157/72-74  
 P.M. NO. 1116 P.M.B. 201/62-63

# SANITARY SEWERS

TO BE CONSTRUCTED IN  
**CENTER ST. & COMMERCE DR.**  
CITY OF BALDWIN PARK  
AND CITY OF IRWINDALE  
**PRIVATE CONTRACT NO. FB 256**



**INDEX**  
7 SHEETS; 13 PAGES

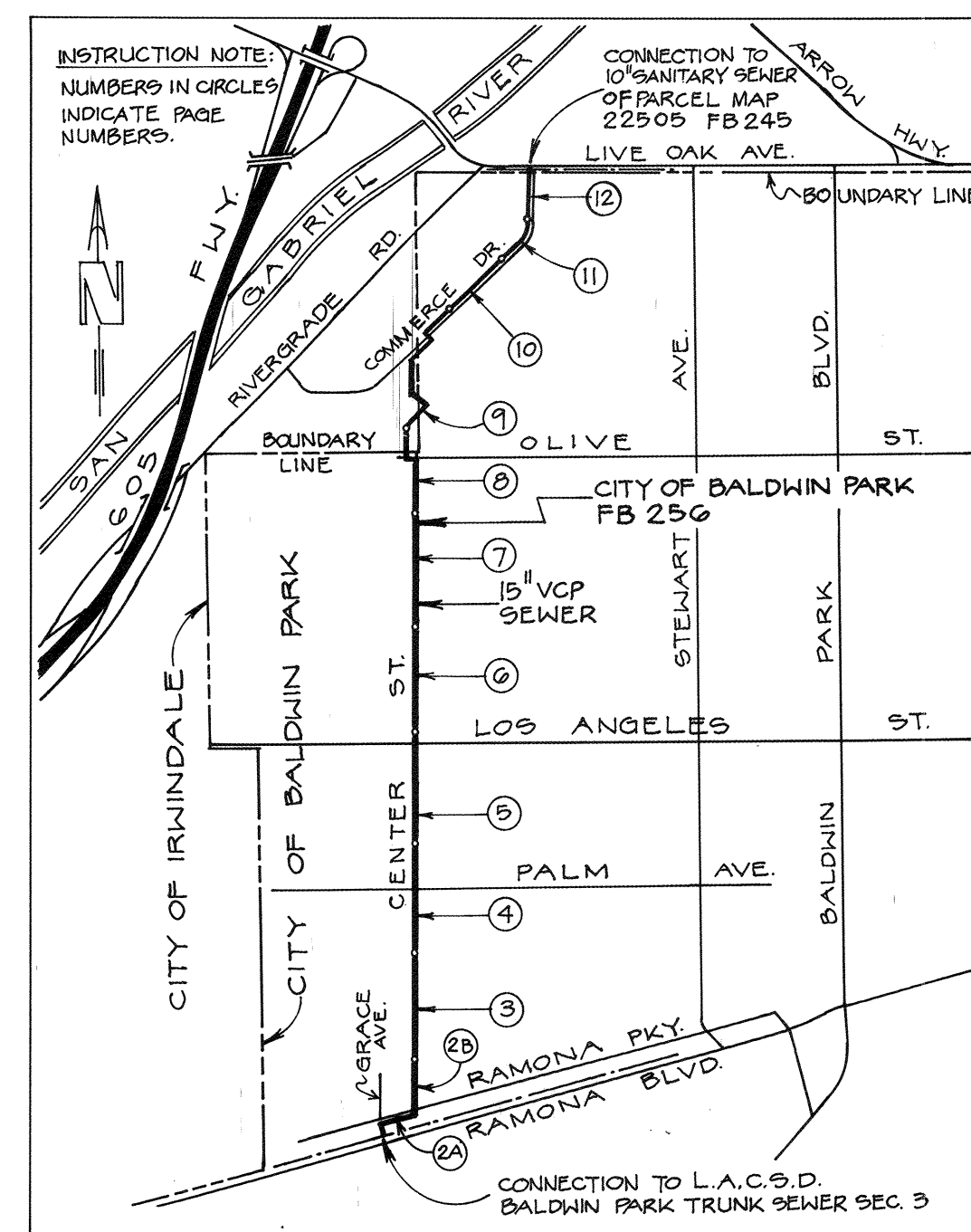
SCALE: VERT. 1"=4'  
HORIZ. 1"=40'

MAY 1, 1991

PREPARED IN THE OFFICES OF  
**WILLIAMSON & SCHMID**  
1501 Redhill Ave. • Tustin, California 92680  
TEL. NO. (714) 259-7900

BY: *B.L. Beach*  
REG. C.E. No. 34328 EXP. DATE 09/30/95

**B.M. C.G. 3288 ELEV. 336.646**  
R.D.B.M. TAG IN N. CB 40FT. N.+105FT.  
E. C/L INT. RAMONA BLVD. AND FOSTER  
AVE.  
**COVINA QUAD. 1975**



**INDEX MAP**  
SCALE: 1"=100'  
THOMAS GUIDE, PAGE 39 (1991 EDITION)

SEE SHEET 7, PAGE 13  
FOR 600' SCALE  
INDEX MAP.

**CONSTRUCTION NOTES & QUANTITIES:**

1 - SAWCUT & REMOVE AC PAVEMENT (GUTTER TO GUTTER)	14,616 S.F.
2 - CONSTRUCT 4" AC PAVEMENT (GUTTER TO GUTTER)	14,616 S.F.
3 - COLD PLANE 8" WIDE - ADJACENT TO GUTTERS ON EAST & WEST SIDE OF STREET	28,930 S.F.
4 - LAY ENGINEERING FABRIC (GUTTER TO GUTTER)	104,148 S.F.
5 - CONSTRUCT 1 1/2" AC OVERLAY (GUTTER TO GUTTER)	104,148 S.F.
6 - SEAL & SLURRY CRACKS AS REQUIRED	1 L.S.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**

The existence and location of any underground utility pipes or structures shown on this plan are obtained by a search of available records. To the best of our knowledge there are no existing utilities except as shown on these plans. The contractor is required to take due precautionary measures to protect the utilities shown and any other lines or structures not shown on these plans.

All contractors and subcontractors performing work shown on or related to these plans shall conduct their operations so that all employees are provided a safe place to work and the public is protected. All contractors and subcontractors shall comply with the "Occupational Safety and Health Regulation" of the U.S. Department of Labor, and with the State of California Department of Industrial Relations' "Construction Safety Orders."

The civil engineer shall not be responsible in any way for the contractors' and subcontractors' compliance with the "Occupational Safety and Health Regulations" of the U.S. Department of Labor or with the State of California Department of Industrial Relations' "Construction Safety Orders."

Contractor further agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

**GENERAL NOTES:**

- A SEWER CONSTRUCTION PERMIT SHALL BE OBTAINED AND A FEE PAID FOR CONSTRUCTION INSPECTION AND RECORD PLANS TO THE CITY OF BALDWIN PARK AT 1400 E. INGRAM BLVD. BALDWIN PARK, CA 91706 PRIOR TO STARTING WORK UNDER THIS CONTRACT. COPIES OF ALL OTHER REQUIRED PERMITS, SUCH AS ROAD EXCAVATION, CALTRANS, ETC., MUST BE FILED WITH THE PERMIT APPLICATION.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE CONTRACTOR SHALL FILE A PERMIT FOR EXCAVATIONS AND TRENCHES FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND A CERTIFICATE OF WORKERS COMPENSATION INSURANCE WITH THE DEPARTMENT OF PUBLIC WORKS NAMED AS THE CERTIFICATE HOLDER TO BE NOTIFIED 30 DAYS PRIOR TO CANCELLATION OF POLICY.
- IF WORK IS TO BE DONE IN A STATE HIGHWAY, A PERMIT MUST BE OBTAINED FROM THE STATE OF CALIFORNIA DIVISION OF HIGHWAYS, 120 SOUTH SPRING STREET, LOS ANGELES, CALIFORNIA.
- WHEN WORK IS WITHIN A CONTRACT CITY, THE CONTRACTOR MUST CONTACT THE DIRECTOR OF PUBLIC WORKS OF THAT CITY, TO DETERMINE THE LOCATION TO PAY THE INSPECTION FEE.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BALDWIN PARK AND IRWINDALE TO ARRANGE FOR AN ACCEPTABLE CONSTRUCTION START DATE, AND SHALL NOTIFY THE CITY ENGINEERS OF BALDWIN PARK AND IRWINDALE AT LEAST TWENTY-FOUR HOURS BEFORE STARTING ANY WORK UNDER THIS CONTRACT.
- APPROVAL OF THIS PLAN BY THE COUNTY OF LOS ANGELES DOES NOT CONSTITUTE A REPRESENTATION AS TO ACCURACY OF THE LOCATION OF OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THIS NOTE APPLIES TO ALL PAGES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION," INCLUDING SUPPLEMENTS AND THE SPECIAL PROVISIONS FOR THE CONSTRUCTION OF SANITARY SEWERS, DATED JULY 31, 1989, AND SHALL BE PROSECUTED ONLY IN THE PRESENCE OF THE CITY OF BALDWIN PARK AND IRWINDALE.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO SECTION 7-10.4.1 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION IN REGARD TO SAFETY ORDERS AND SHALL CONFORM TO THE "MINIMUM PUBLIC SAFETY REQUIREMENTS" AS SHOWN ON LOS ANGELES DEPARTMENT OF PUBLIC WORKS STANDARD S-2.
- ELEVATIONS ARE IN FEET ABOVE U.S.C. & G.S. SEA LEVEL DATUM OF 1929.
- NO REVISIONS SHALL BE MADE IN THESE PLANS WITHOUT THE APPROVAL OF THE CITY ENGINEERS OF BALDWIN PARK AND IRWINDALE.
- NO REPRESENTATIVE OF THE DEPARTMENT OF PUBLIC WORKS WILL SURVEY OR LAY OUT ANY PORTION OF THE WORK.
- GRADES TO WHICH THIS IMPROVEMENT IS TO BE CONSTRUCTED ARE SHOWN ON PLANS AND PROFILES. GRADE POINTS FOR TOP OF CURBS, CENTERLINE OF STREETS, OR CENTERLINE OF ALLEYS, ARE SHOWN BY CIRCLES ON PROFILES AT ALL POINTS BETWEEN DESIGNATED POINTS. THE GRADE SHALL BE ESTABLISHED SO AS TO CONFORM TO A STRAIGHT LINE DRAWN BETWEEN SAID DESIGNATED POINTS.
- THE PRIVATE ENGINEER SHALL FURNISH THE DEPARTMENT OF PUBLIC WORKS WITH GRADE SHEETS AND STATIONING FOR ALL HOUSE LATERALS AND "Y" OR "T" BRANCHES AND SHALL PROVIDE STAKES FOR THEM AT THEIR PROPER LOCATIONS WITH STATIONING PLAINLY MARKED. ALL HOUSE LATERALS SHALL BE CONSTRUCTED IN A STRAIGHT ALIGNMENT AT RIGHT ANGLES FROM THE MAIN LINE SEWER EXCEPT AS SHOWN ON THE PLANS. HOUSE LATERALS FROM CHIMNEYS SHALL NOT HAVE AN ANGLE OF LESS THAN 45° WITH THE M.L. SEWER. ANY CHANGE IN ALIGNMENT SHALL BE REQUESTED IN WRITING BY THE PRIVATE ENGINEER.
- THE PRIVATE ENGINEER SHALL FURNISH THE HOUSE LATERAL DEPTH AT THE PROPERTY LINE BELOW THE TOP CURB ELEVATION FOR EACH HOUSE LATERAL ON THE GRADE SHEET.

**LEGEND:**

- EX. 8" WATER VALVE (UNLESS OTHERWISE NOTED)
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SEWER MANHOLE (UNLESS OTHERWISE NOTED)
- C.B. EX. CATCH BASIN
- VVMM - VALLEY VIEW MUTUAL WATER FACILITY
- VWDM - VALLEY COUNTY WATER DISTRICT FACILITY

NO CONNECTION FOR THE DISPOSAL OF INDUSTRIAL WASTES SHALL BE MADE TO SEWERS SHOWN ON THESE DRAWINGS UNLESS A PERMIT FOR INDUSTRIAL WASTEWATER DISCHARGE HAS BEEN ISSUED BY THE SANITATION DISTRICT FOR SAID CONNECTION.

BEFORE BREAKING INTO OR CONSTRUCTION ON A COUNTY SANITATION DISTRICT SEWER AND PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, SANITATION DISTRICT INSPECTOR SHALL BE NOTIFIED BY PHONE (818) 982-8905 SO THAT REQUIRED INSPECTION CAN BE MADE.

**IMPORTANT NOTICE**

Section 4216/4217 of the Government Code Requires a Dig-Alert Identification Number be Issued Before a "PERMIT TO EXCAVATE" WILL BE Valid. For your Dig Alert I.D. Number call Underground Service Alert TOLL FREE 1 800 422 4133 Two working days before you dig.



**CONSTRUCTION NOTES (CONT'D):**

- SEWER TRENCH BACKFILL WITH EASEMENT: BACKFILL TRENCH AND REPLACE OTHER EARTH REMOVED, SO AS TO ACHIEVE THE NATURAL OR FINISHED GRADES AND SLOPES SHOWN ON THE GRADING PLAN APPROVED FOR THIS TRACT/PARCEL MAP BY THE CITY OF BALDWIN PARK.

**REVISIONS**

REV.	DATE	INITIALS	DESCRIPTION	APP'VD.
1	9/19/91	J.K.P.	MODIFY SEWER @ STA. 64+14.72 - RENUMBER MANHOLES. ADD EXISTING UTILITY FACILITIES.	C.A.
2	10/30/91	BLB	REDUCED LENGTH OF JACKED PIPE AT STA. 63+5.0 BY 3 FEET.	C.A.
3	12/30/91	BLB	CHANGED M.H. NO. 2 FROM 90" TO 45", ADDED REF TO LICENSE AGREEMENT, REVISED R.C.E. EXP. DATE.	C.A.
4	4/13/92	BLB	CHANGED CONST. NOTE 3 FROM COLD PLANE 8" WIDE - ADJACENT TO GUTTERS ON EAST & WEST SIDES	C.A.

**"RECORD DRAWINGS"**

THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID. UNLESS NOTED OTHERWISE, DATE: 11/30/92

DATE: 12/11/92  
DATE: 8/31/94  
DATE: 28/03  
DATE: 28/03

DATE: 11/30/92

THE FOLLOWING LATEST REVISED STANDARD PLANS ON FILE IN THE OFFICE OF THE DEPARTMENT OF PUBLIC WORKS SHALL APPLY IN THE CONSTRUCTION OF THIS PROJECT:

LEGEND	S-1
MINIMUM PUBLIC SAFETY REQUIREMENTS	S-2
BRICK MANHOLE	S-3
REINFORCED PRECAST CONCRETE MANHOLE	S-4
STANDARD MANHOLE STEP	S-17
BEDDING FOR SEWER PIPE	S-21
GRADING AND ENCASUREMENT	S-23
WYE OR TEE SUPPORT	S-28
ALLOWABLE TRENCH WIDTHS	S-33
LOCKING MANHOLE FRAME AND COVER	S-35
NON-REINFORCED PRECAST CONCRETE MANHOLE	S-36
DESIGN REQUIREMENT FOR SANITARY SEWER NEAR WATER MAIN	S-37
BREAKING INTO AN EXISTING MANHOLE	S-13
JACKING PIPE	S-15

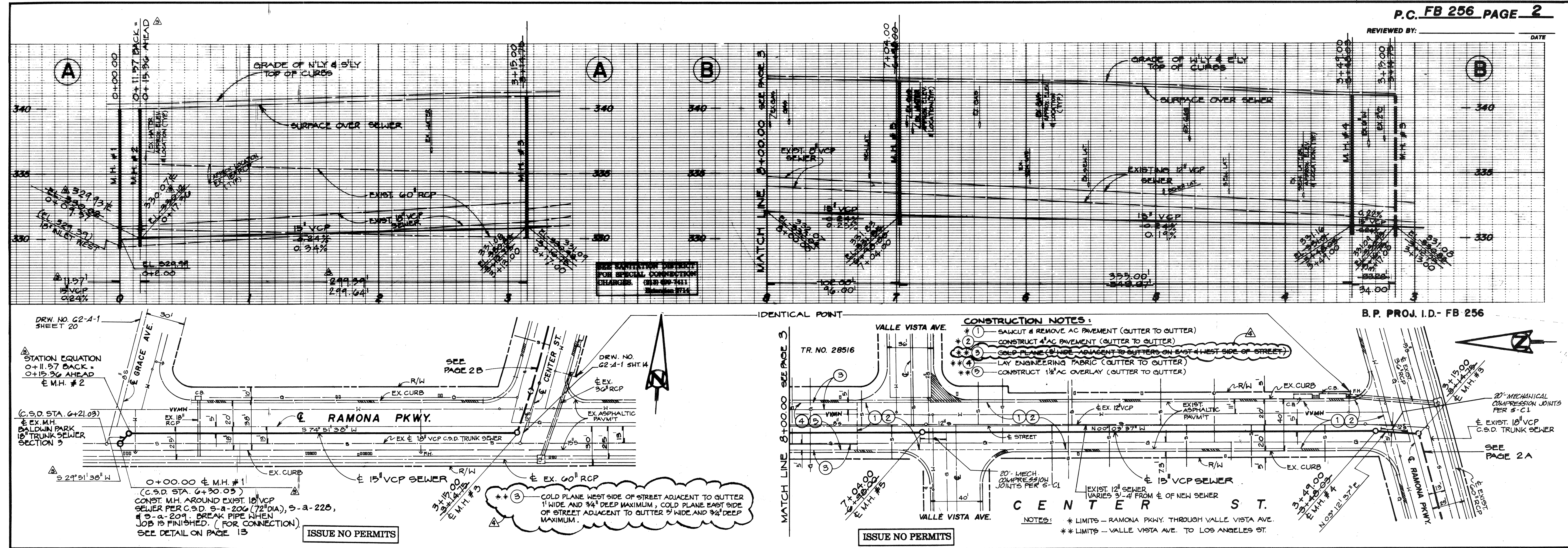
**PROJECT I.D. NO. FB 256 (BALDWIN PARK)**  
**CITY OF IRWINDALE SEWER PER SEWER LICENSE AGREEMENT**  
DATED: JANUARY 2, 1991

**COUNTY OF LOS ANGELES, CALIFORNIA**  
CARLOS ALVARADO  
ENGINEER, CITY OF IRWINDALE

**CITY ENGINEER, CITY OF BALDWIN PARK**  
APPROVED: *Carlos Alvarado* 9/14/91 (DATE)  
APPROVED: *Charles W. Carry* 9/6/91 (DATE)

DEPARTMENT OF PUBLIC WORKS  
CONSOLIDATED SEWER MAINTENANCE DISTRICT  
REVIEWED FOR MAINTENANCE

CHARLES W. CARRY  
CHIEF ENGINEER  
C.O.D. SANITATION DISTRICT  
REVIEWED BY: *HR Phijestek* 12-19-91 (DATE)  
APPROVED: *Charles W. Carry* 12/1/91 (DATE)



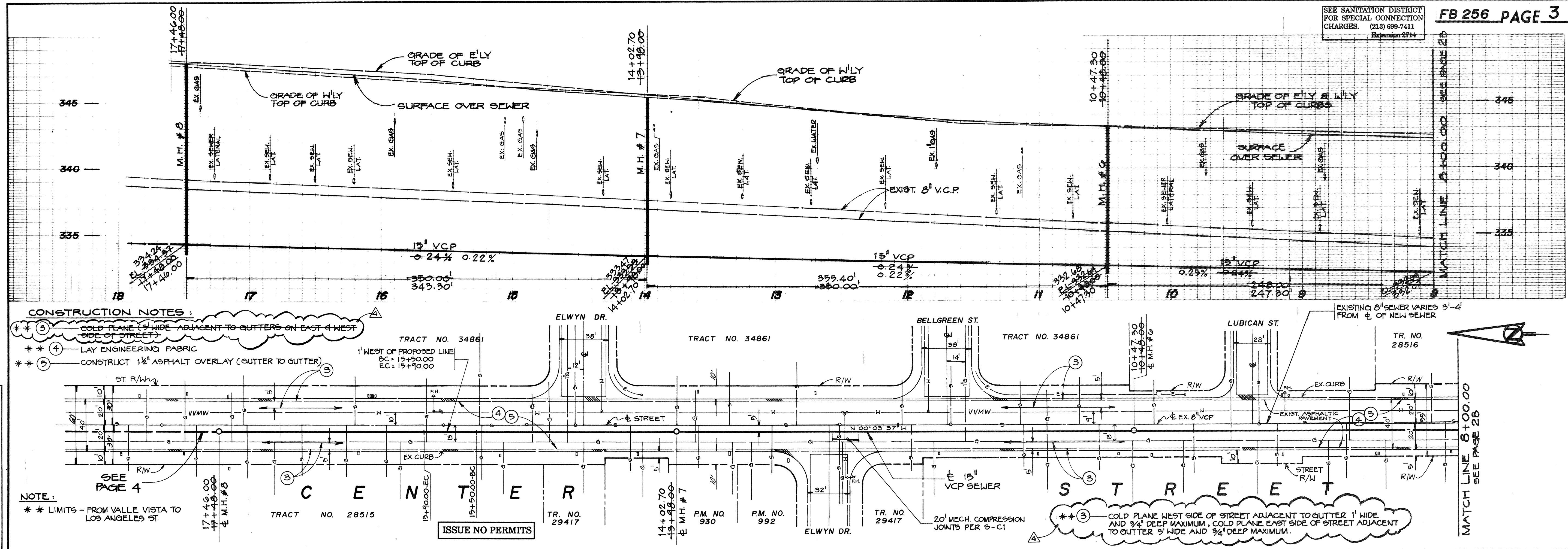
**CONSTRUCTION NOTES:**

- SAWCUT & REMOVE AC PAVEMENT (GUTTER TO GUTTER)
- CONSTRUCT 4" AC PAVEMENT (GUTTER TO GUTTER)
- COLD PLANE 8" WIDE - ADJACENT TO GUTTERS ON EAST & WEST SIDE OF STREET
- LAY ENGINEERING FABRIC (GUTTER TO GUTTER)
- CONSTRUCT 1 1/2" AC OVERLAY (GUTTER TO GUTTER)

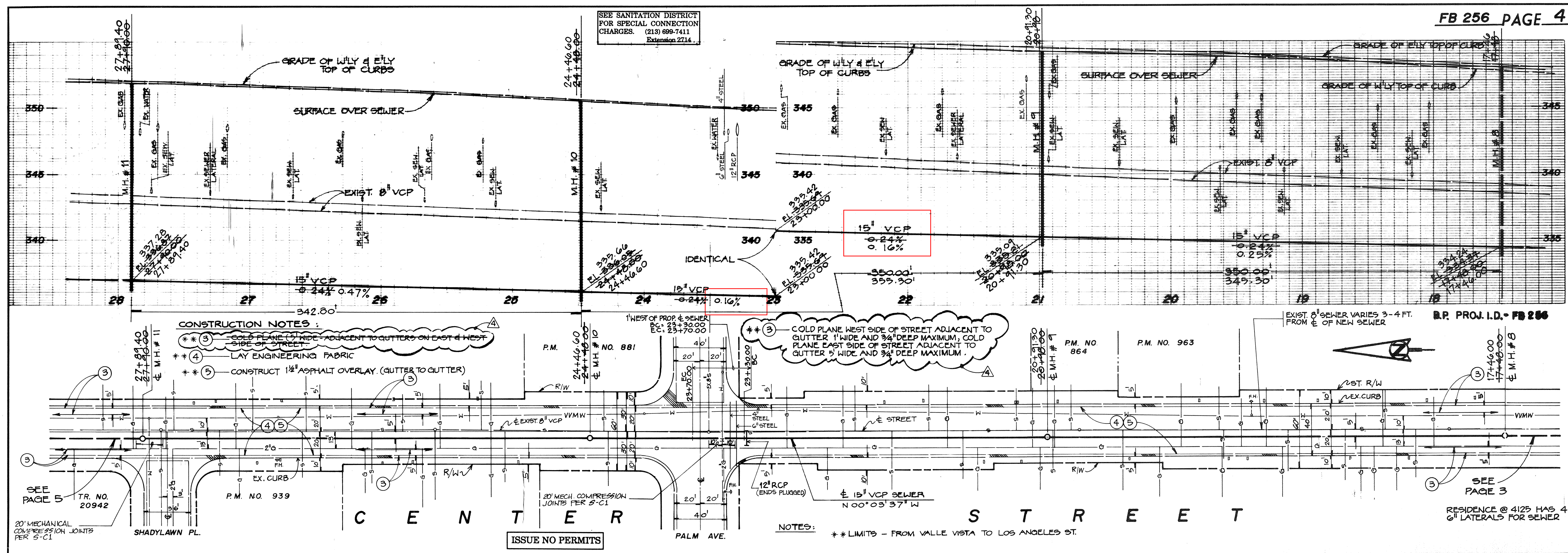
**NOTES:**

- \* LIMITS - RAMONA PKWY. THROUGH VALLE VISTA AVE.
- \* LIMITS - VALLE VISTA AVE. TO LOS ANGELES ST.

SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411 Extension 2714



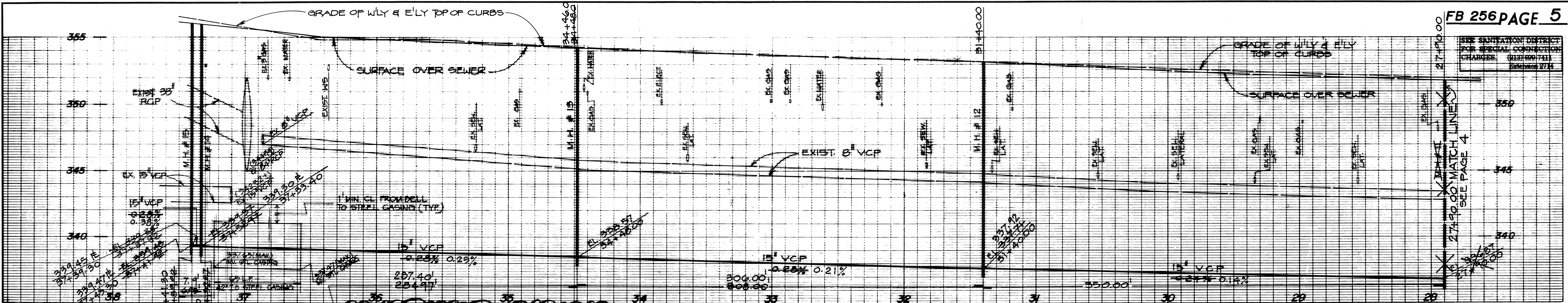
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 DATE: 11/30/92  
 ART RICO  
 28203 R.C.E.  
 3/9/94 EXPIRES  
 12/1/92 DATE



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 28203 R.C.E.  
 3/9/94 EXPIRES  
 12/1/92 DATE

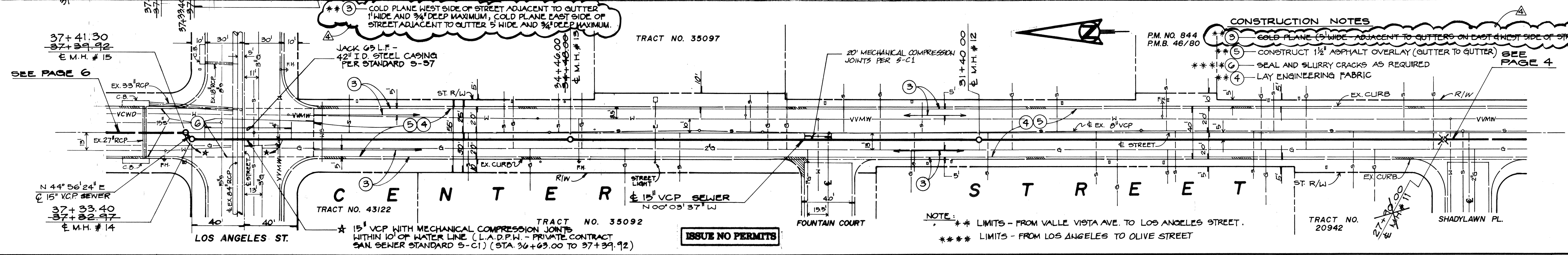
IRWINDALE SEWER AS-BUILTS - CENTER STREET  
 PC NO. FB 256  
 JOB N. 89140.22

SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES (213) 899-7411 Extension 2714



DATE 12/11/92  
EXPIRES 8/31/94  
R.C.E. 28203  
ART. RICO

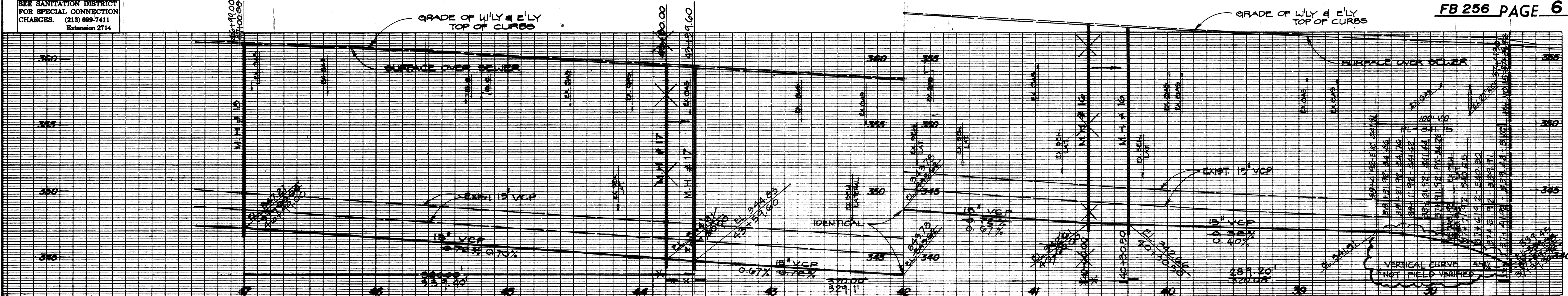
"RECORD DRAWINGS"  
THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/30/92



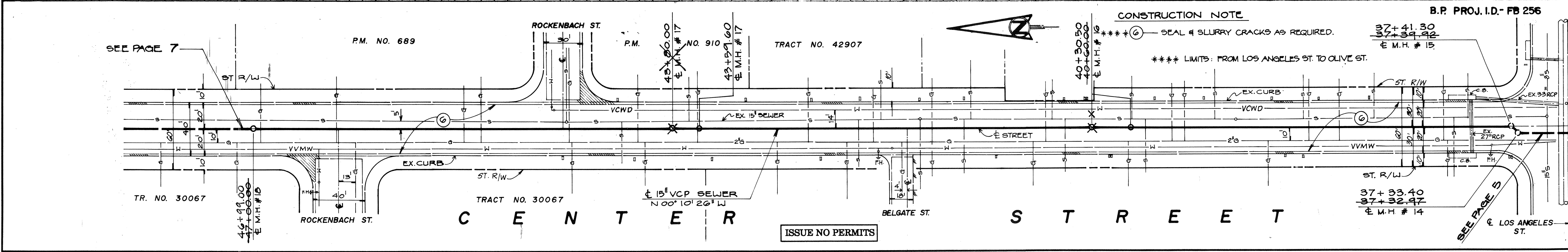
CONSTRUCTION NOTES  
1. GOLD PLANE (3" WIDE) ADJACENT TO GUTTERS ON EAST & WEST SIDE OF STREET  
2. CONSTRUCT 1 1/2" ASPHALT OVERLAY (GUTTER TO GUTTER) SEE PAGE 4  
3. SEAL AND SLURRY CRACKS AS REQUIRED  
4. LAY ENGINEERING FABRIC

NOTE: \*\* LIMITS - FROM VALLE VISTA AVE. TO LOS ANGELES STREET.  
\*\*\* LIMITS - FROM LOS ANGELES TO OLIVE STREET

SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES (213) 899-7411 Extension 2714

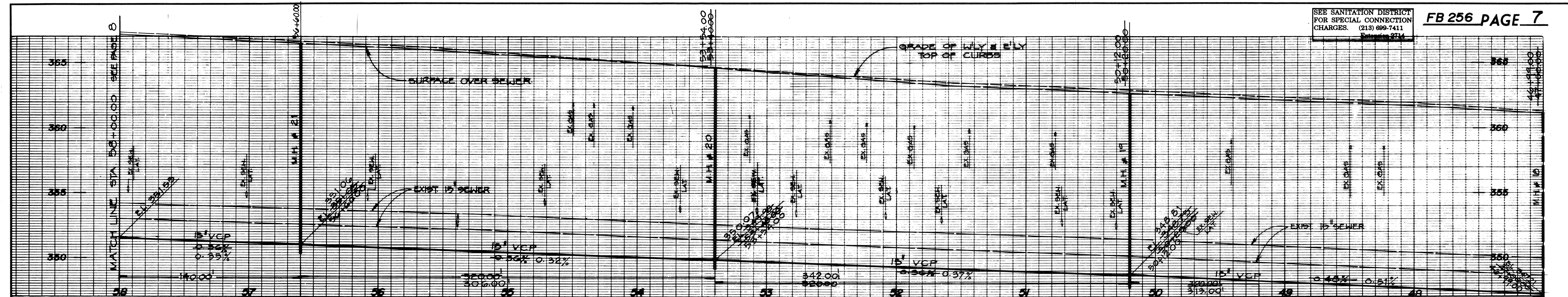


CONSTRUCTION NOTE  
1. SEAL & SLURRY CRACKS AS REQUIRED.  
\*\*\* LIMITS - FROM LOS ANGELES ST. TO OLIVE ST.



PC NO. FB 256

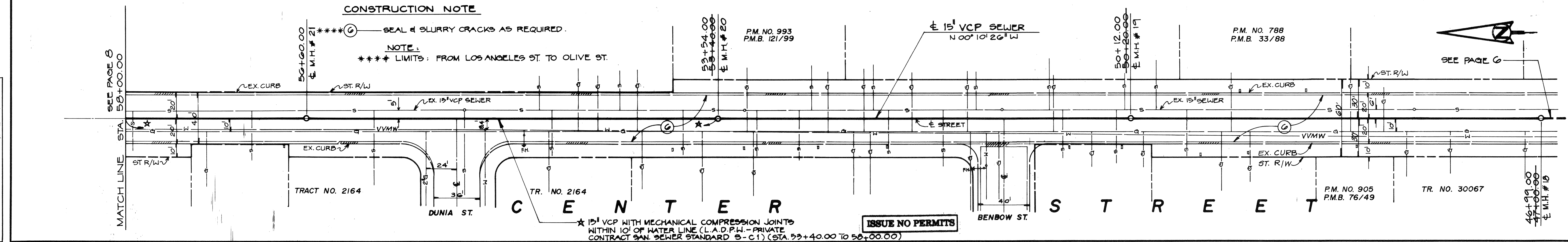




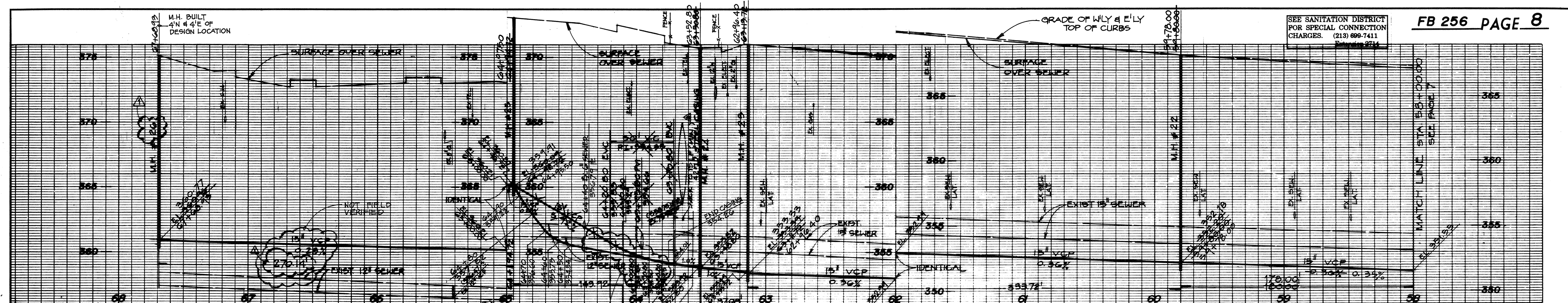
DATE: 12/1/92  
 EXPIRES: 9/31/94  
 R.C.E.: 28203  
 ART. RICO

**"RECORD DRAWINGS"**  
 THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHEIDT BASED ON SURVEY BY WILLIAMSON & SCHEIDT, LOS ANGELES & SCARSDALE, UNLESS NOTED OTHERWISE. DATE: 11/30/92

**CONSTRUCTION NOTE**  
 SEAL & SLURRY CRACKS AS REQUIRED.  
 NOTE:  
 \*\*\*\* LIMITS: FROM LOS ANGELES ST. TO OLIVE ST.



★ 15" VCP WITH MECHANICAL COMPRESSION JOINTS WITHIN 10' OF WATER LINE (L.A.D.P.W. - PRIVATE CONTRACT SAN. SEWER STANDARD S-C1) (STA. 53+40.00 TO 58+00.00)  
**ISSUE NO PERMITS**



NOTE: CONTRACTOR TO LOCATE ALL FACILITIES WITH HOME SAVINGS OF AMERICA REPRESENTATIVE PER SPECIAL PROVISIONS BEFORE STARTING ANY EXCAVATION.

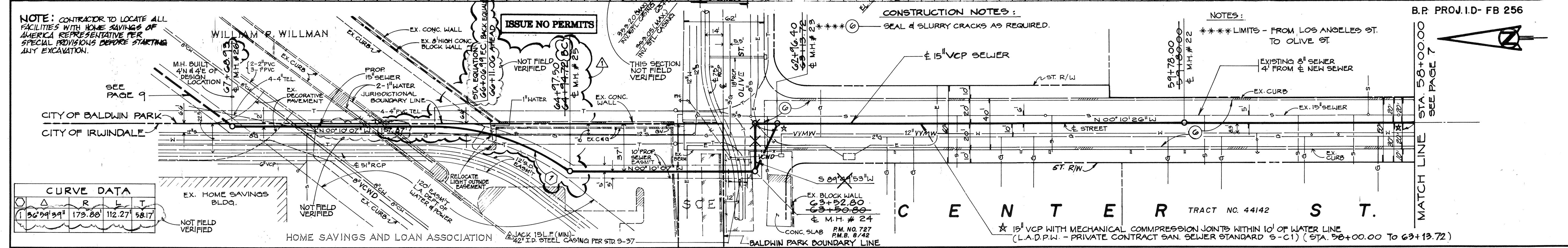
**ISSUE NO PERMITS**

**CONSTRUCTION NOTES:**  
 SEAL & SLURRY CRACKS AS REQUIRED.

NOTES:  
 \*\*\*\* LIMITS - FROM LOS ANGELES ST. TO OLIVE ST.

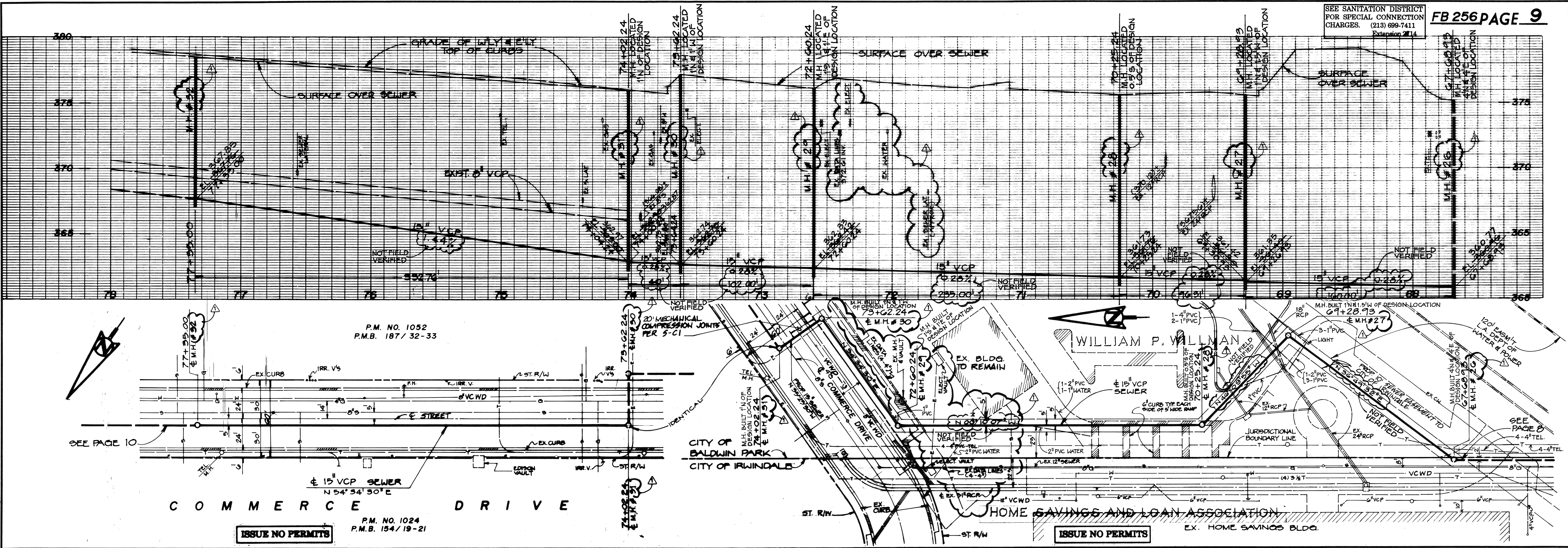
**CURVE DATA**

STATION	RIGHT	LEFT
196.94	179.00	112.27
58.17		



★ 15" VCP WITH MECHANICAL COMPRESSION JOINTS WITHIN 10' OF WATER LINE (L.A.D.P.W. - PRIVATE CONTRACT SAN. SEWER STANDARD S-C1) (STA. 58+00.00 TO 63+13.72)  
**ISSUE NO PERMITS**

PC NO. FB256



**"RECORD DRAWINGS"**  
 THESE "RECORD DRAWINGS" WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY INFORMATION PROVIDED BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/30/92

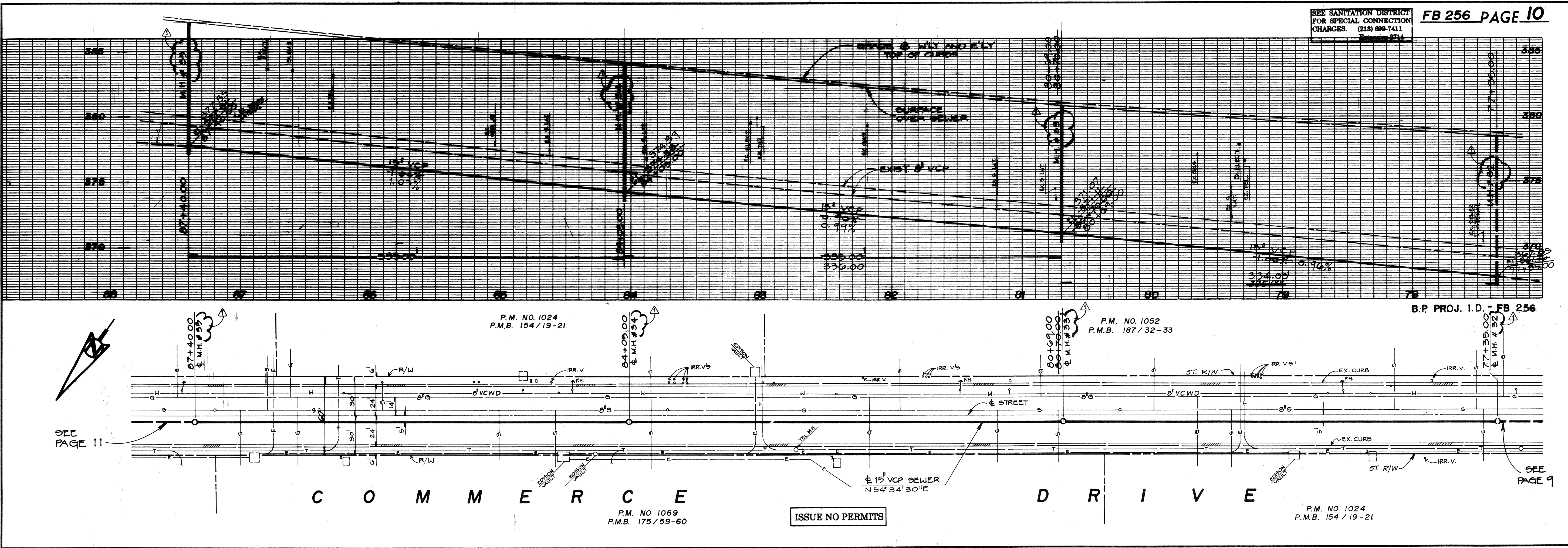
ART. RICO  
 22203 R.C.E.  
 8/31/94 DATES  
 12/1/92 DATE

SEE PAGE 10

P.M. NO. 1052  
 P.M.B. 187/32-33

P.M. NO. 1024  
 P.M.B. 154/19-21

**ISSUE NO PERMITS**



SEE PAGE 11

P.M. NO. 1024  
 P.M.B. 154/19-21

P.M. NO. 1052  
 P.M.B. 187/32-33

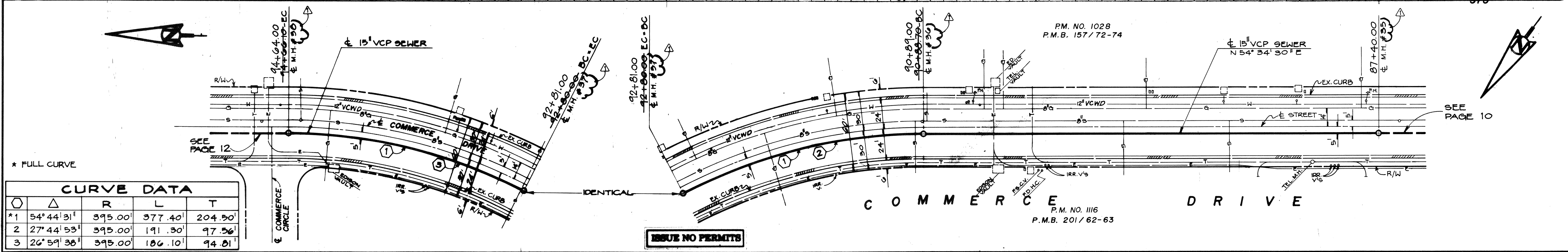
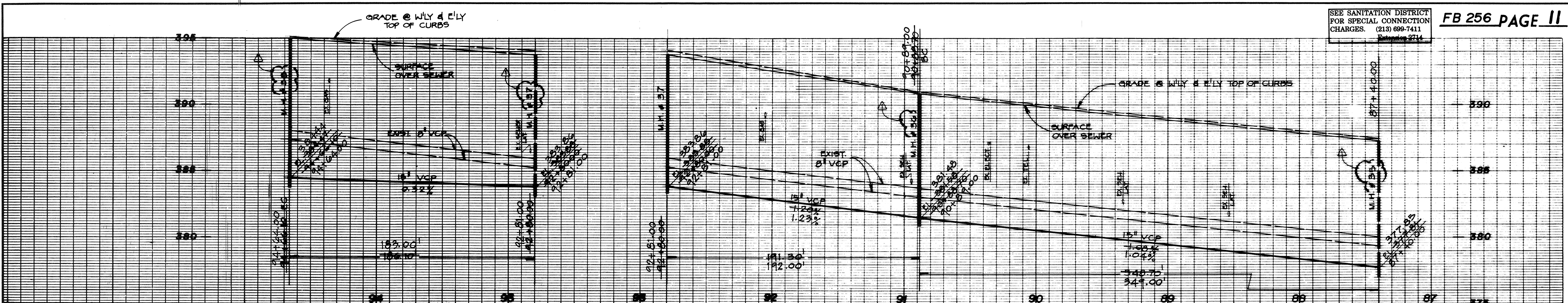
P.M. NO. 1069  
 P.M.B. 175/59-60

P.M. NO. 1024  
 P.M.B. 154/19-21

**ISSUE NO PERMITS**

PC NO. FB256

SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411

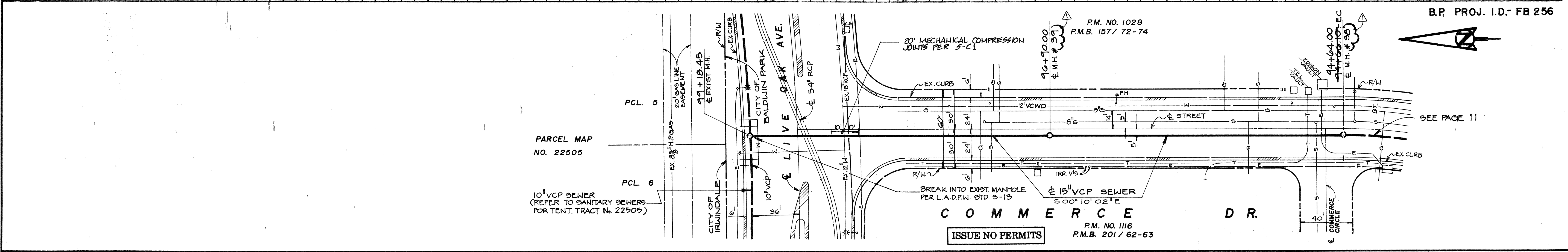
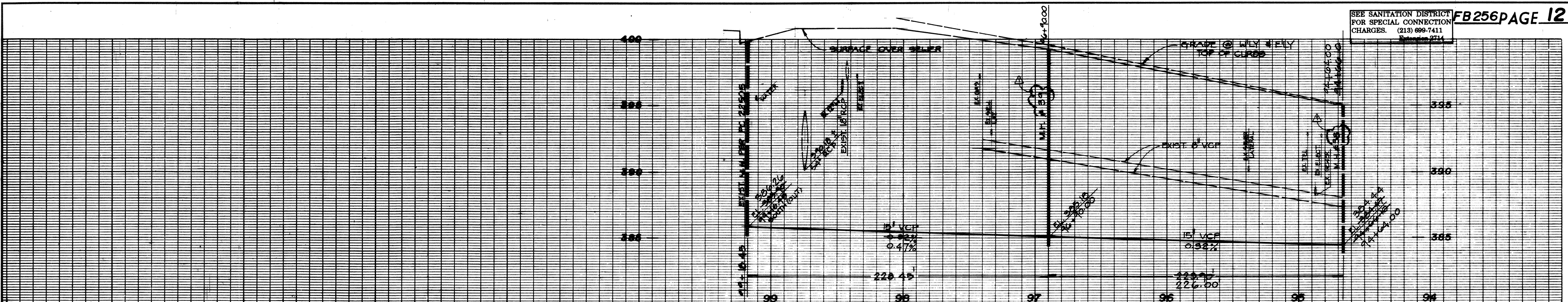


\* FULL CURVE

Δ	R	L	T
*1 54° 44' 31"	395.00'	377.40'	204.90'
2 27° 44' 53"	395.00'	191.30'	97.56'
3 26° 59' 38"	395.00'	106.10'	94.81'

ISSUE NO PERMITS

SEE SANITATION DISTRICT FOR SPECIAL CONNECTION CHARGES. (213) 699-7411



PARCEL MAP NO. 22505

10" VCP SEWER (REFER TO SANITARY SEWERS FOR TENT. TRACT No. 22505)

ISSUE NO PERMITS

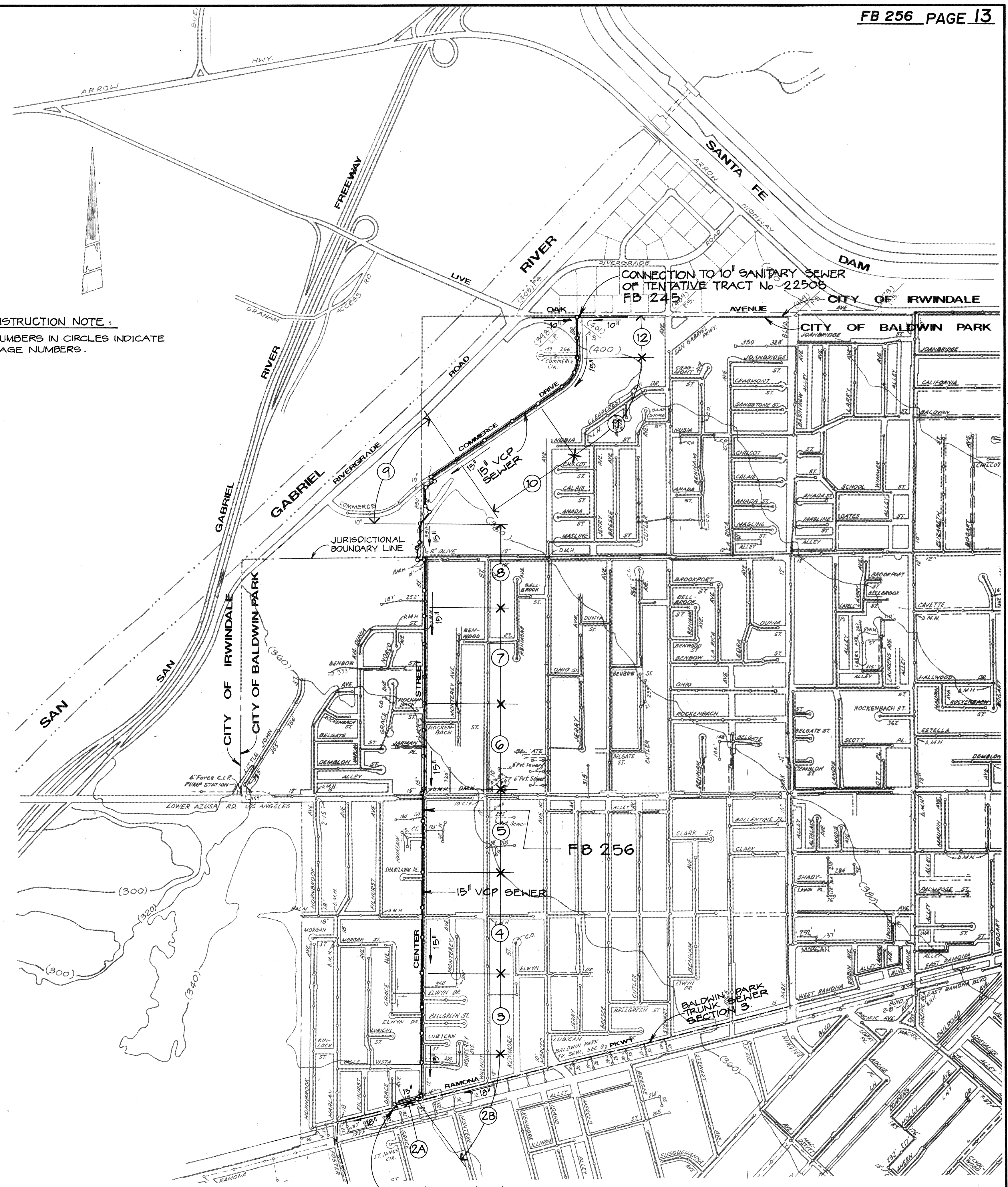
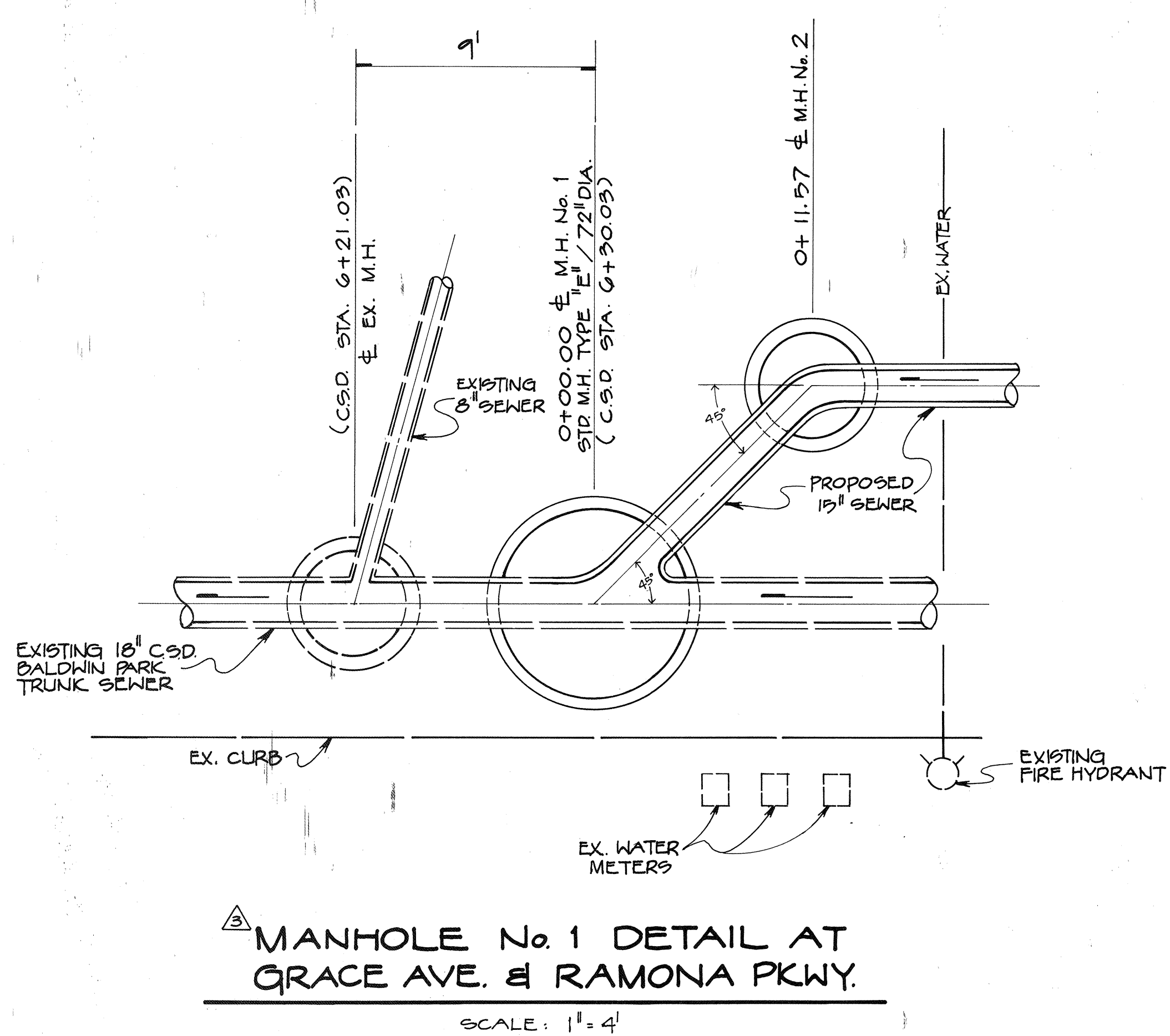
**"RECORD DRAWINGS"**

THESE RECORD DRAWINGS WERE PREPARED BY WILLIAMSON & SCHMID BASED ON SURVEY DATA BY WILLIAMSON & SCHMID, UNLESS NOTED OTHERWISE. DATE: 11/30/92

ART. RICO 28203 R.C.E. 8/31/94 EXPIRES 12/11/92 DATE

PC NO. FB 256

INSTRUCTION NOTE:  
NUMBERS IN CIRCLES INDICATE  
PAGE NUMBERS.



CONNECTION TO L.A.C.S.D.  
BALDWIN PARK TRUNK SEWER  
SECTION 3.  
**INDEX MAP**  
SCALE 1" = 600'

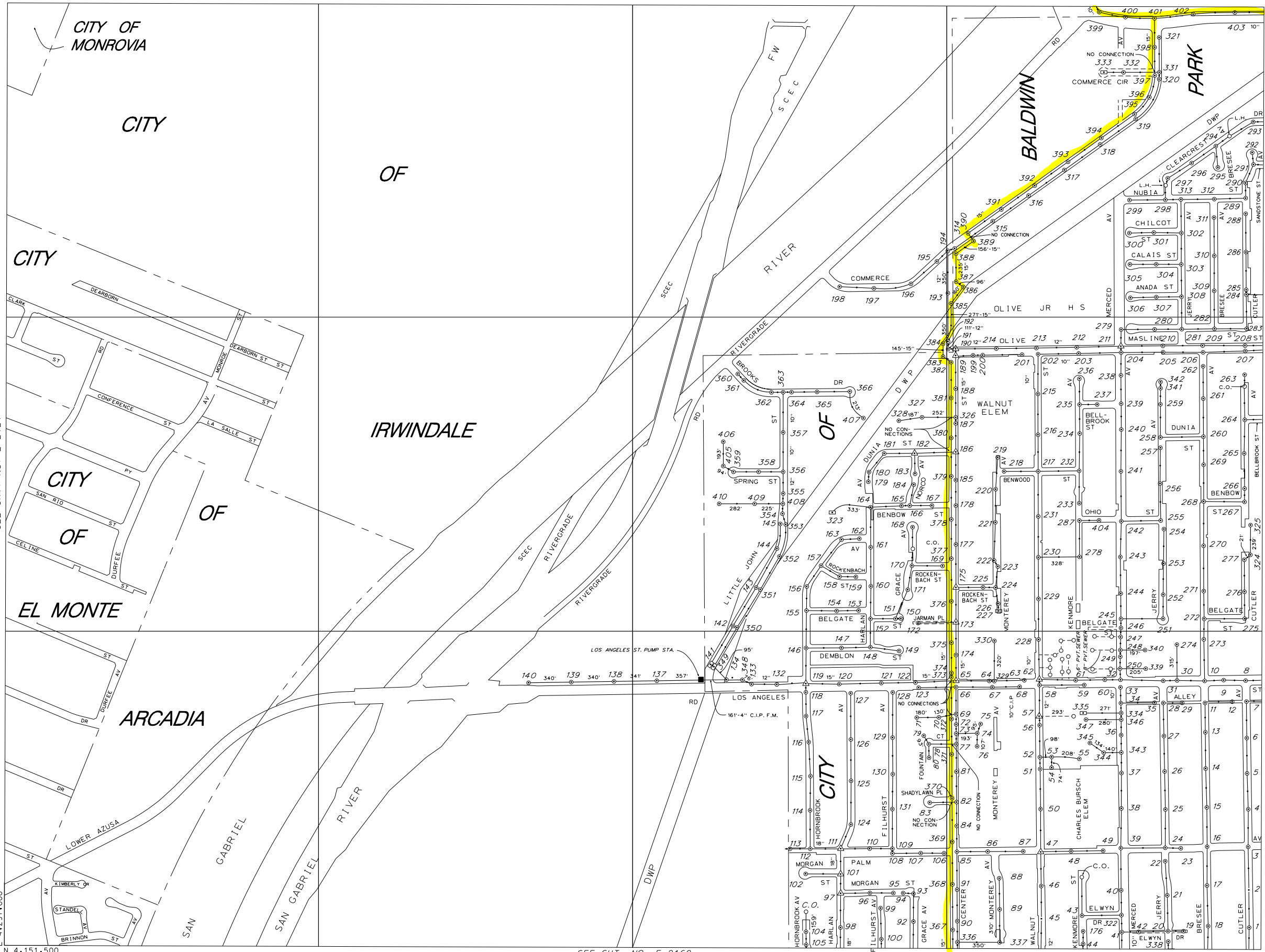
**"RECORD DRAWINGS"**  
THESE "RECORD DRAWINGS" WERE PREPARED  
BY WILLIAMSON & SCHMID BASED ON SURVEY  
INFORMATION PROVIDED BY WILLIAMSON &  
SCHMID, UNLESS NOTED OTHERWISE.  
DATE: 11/30/92

*Williamson & Schmid*  
ART R. RICO 28203 3/31/94 12/1/92  
R.C.E. EXPIRES DATE

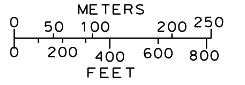
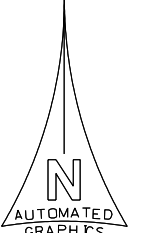
PC NO. FB 256

SEE SHT. NO. E-2167

U-67  
U-68



THIS MAP IS INTENDED FOR USE ONLY AS OPERATIONS MAP BY LOS ANGELES COUNTY SEWER MAINTENANCE DISTRICTS. LOS ANGELES COUNTY EXPRESSLY DISCLAIMS ANY LIABILITY FOR ANY INACCURACIES WHICH MAY BE PRESENT IN THIS MAP.



LEGEND

- CLAY SEWERS MAINTAINED BY SMD, 8" UNLESS OTHERWISE NOTED
- ..... PLASTIC SEWERS
- CONCRETE SEWERS
- CLAY SEWERS, LINED
- ..... CEMENT SEWERS, LINED
- FORCE MAINS
- - - SEWERS NOT MAINTAINED BY SMD
- - - TRUNK SEWERS
- CITY BOUNDARY
- STANDARD MANHOLE
- △ DROP MANHOLE
- SHALLOW MANHOLE
- ◇ TRAP MANHOLE
- ⊕ WEIR MANHOLE
- C.O. CLEANOUT
- L.H. LAMP HOLE
- PUMP STATION

TOTAL MH'S THIS MAP: 407

SEE SHT. NO. E-2121

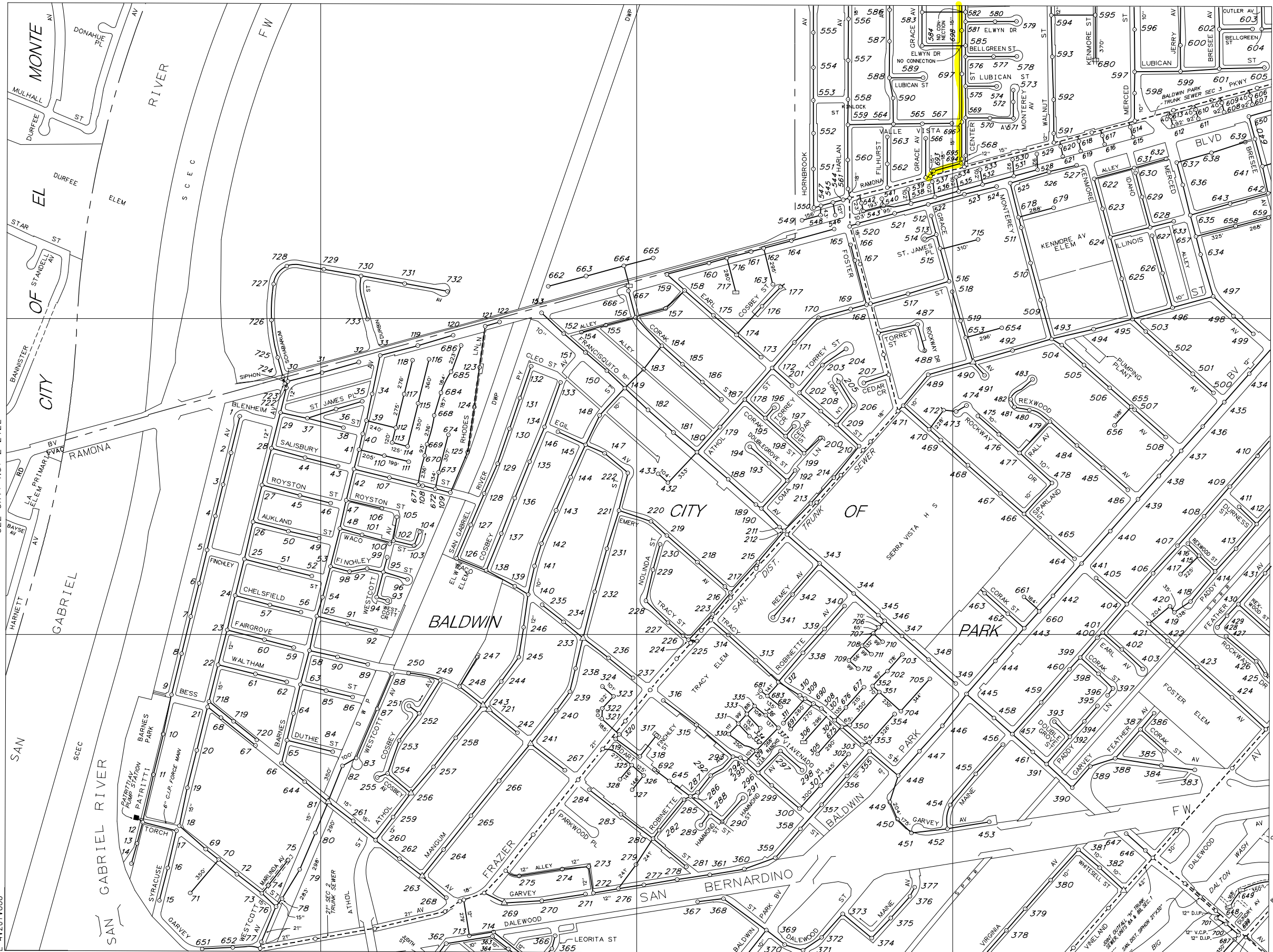
SEE SHT. NO. E-2214

SEE SHT. NO. E-2169

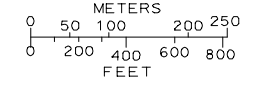
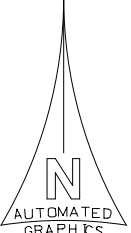
MAP REV  
06-23-10  
DATA BASE REV  
01-25-89

SEE SHT. NO. E-2169

U-68  
U-77  
U-78



THIS MAP IS INTENDED FOR USE ONLY AS OPERATIONS MAP BY LOS ANGELES COUNTY SEWER MAINTENANCE DISTRICTS. LOS ANGELES COUNTY EXPRESSLY DISCLAIMS ANY LIABILITY FOR ANY INACCURACIES WHICH MAY BE PRESENT IN THIS MAP.



LEGEND

- CLAY SEWERS MAINTAINED BY SMD, 8" UNLESS OTHERWISE NOTED
- PLASTIC SEWERS
- CONCRETE SEWERS
- CLAY SEWERS, LINED
- CEMENT SEWERS, LINED
- FORCE MAINS
- - - SEWERS NOT MAINTAINED BY SMD
- TRUNK SEWERS
- - - CITY BOUNDARY
- STANDARD MANHOLE
- △ DROP MANHOLE
- SHALLOW MANHOLE
- ◇ TRAP MANHOLE
- ⊕ WEIR MANHOLE
- CLEANOUT
- LAMP HOLE
- PUMP STATION

TOTAL MH'S THIS MAP: 731

L. A. COUNTY

SEE SHT. NO. E-2122

SEE SHT. NO. E-2215

N 4.136.500

SEE SHT. NO. E-2170

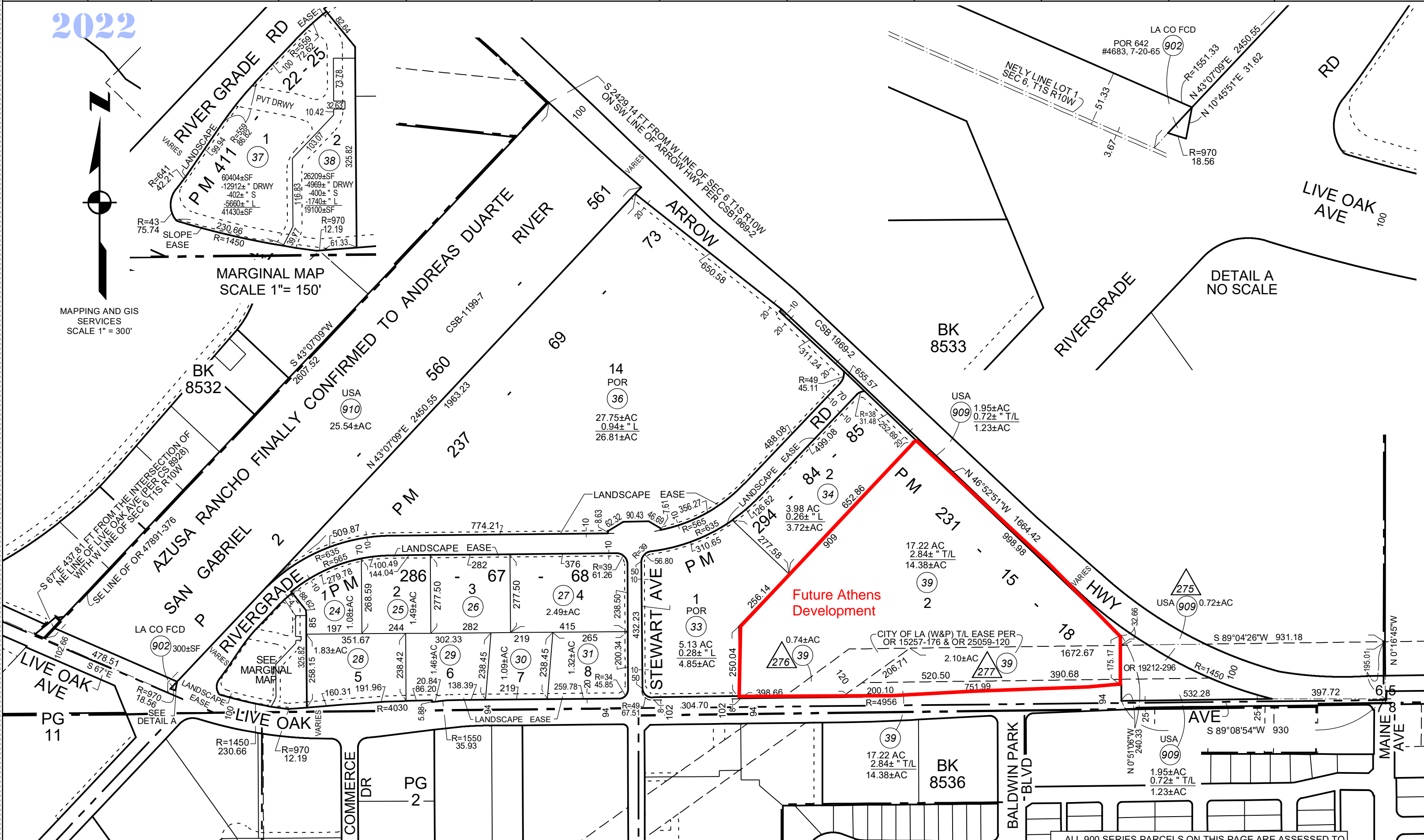
2022



MAPPING AND GIS SERVICES SCALE 1" = 300'

MARGINAL MAP SCALE 1" = 150'

DETAIL A NO SCALE

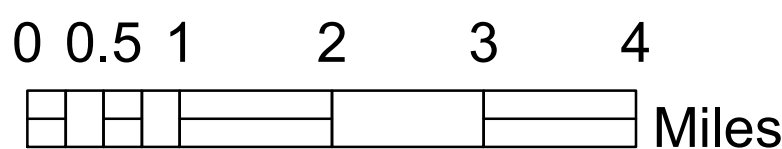
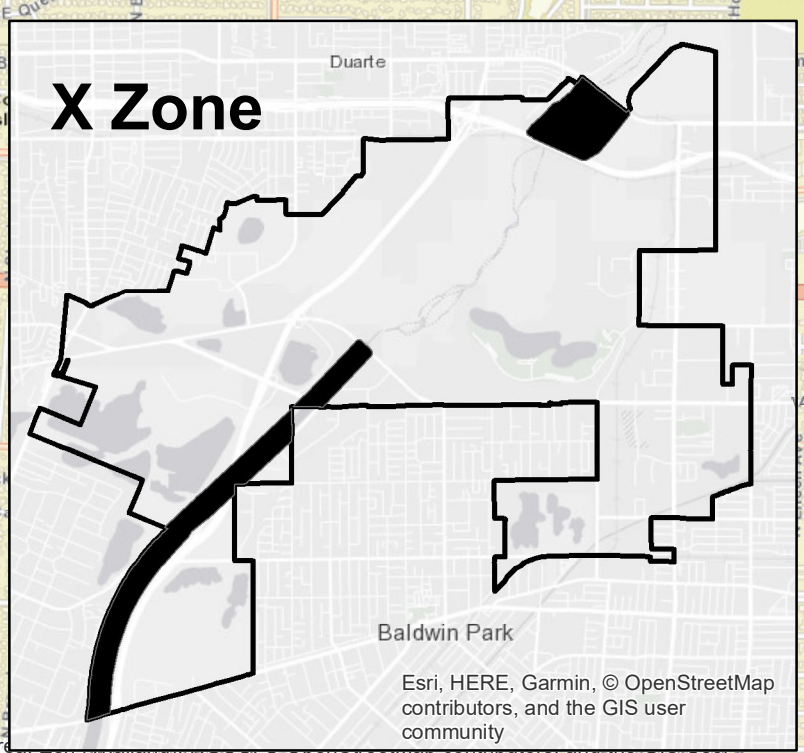
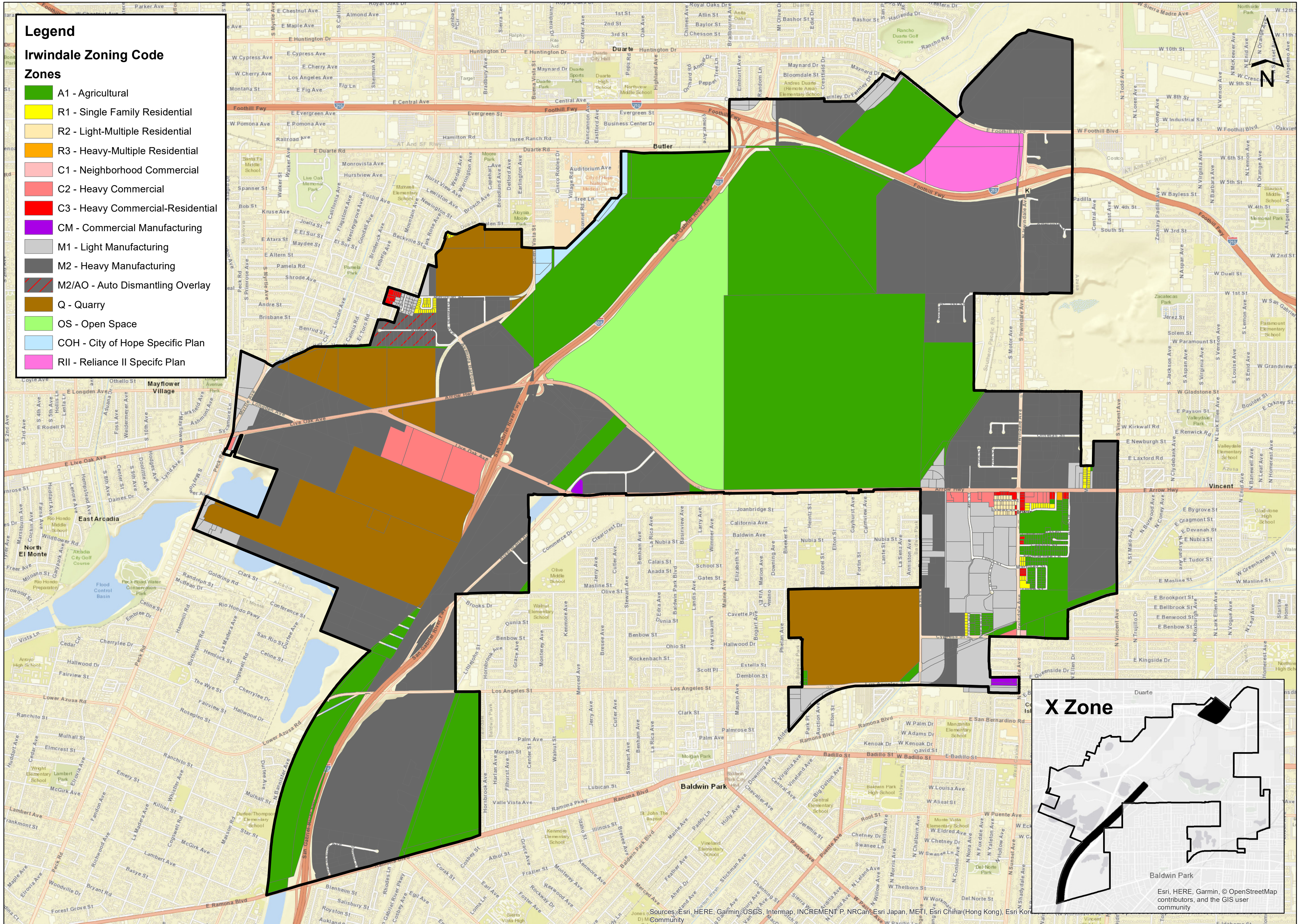


Future Athens Development

# CITY OF IRWINDALE - ZONING MAP (2018)



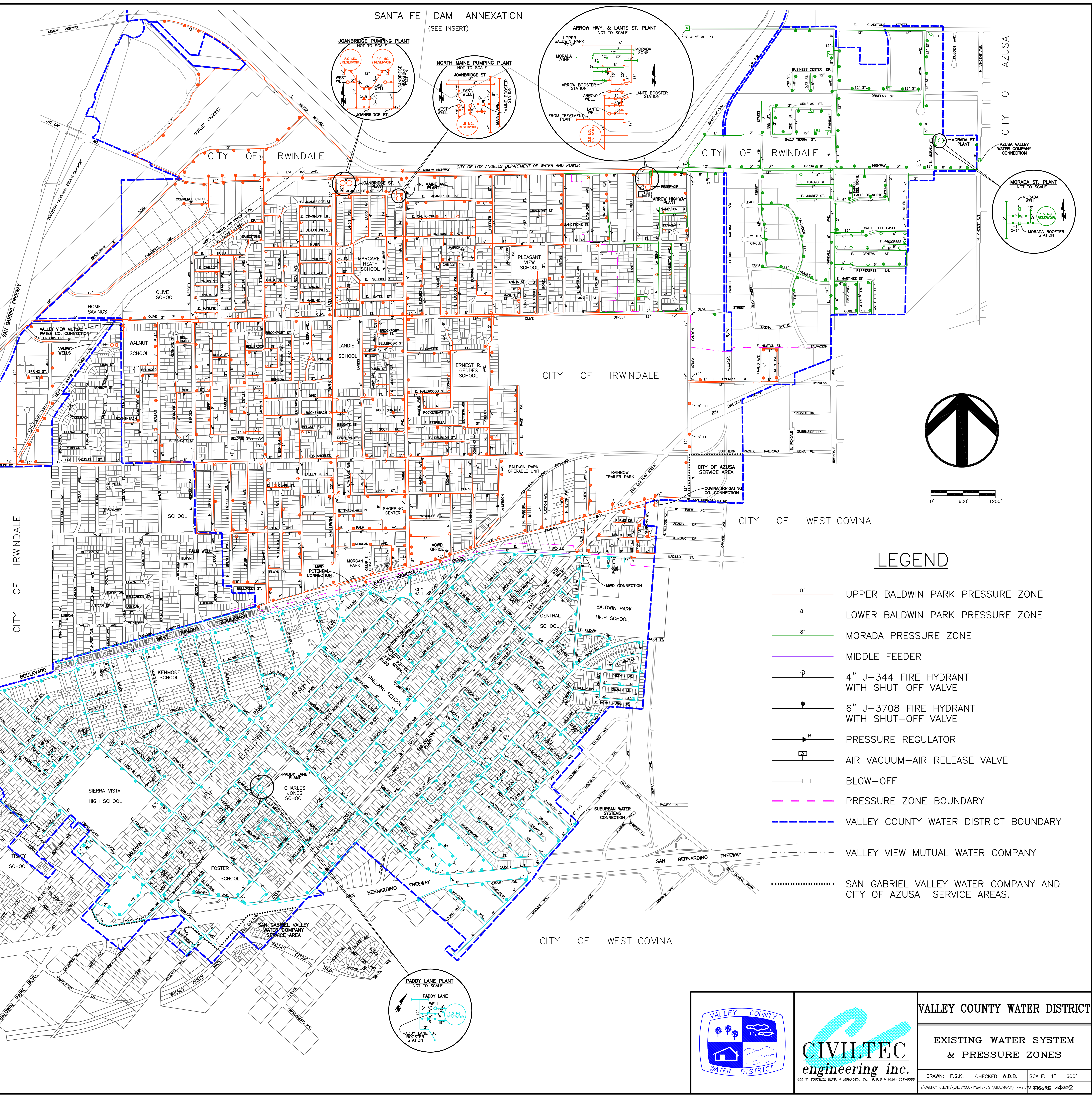
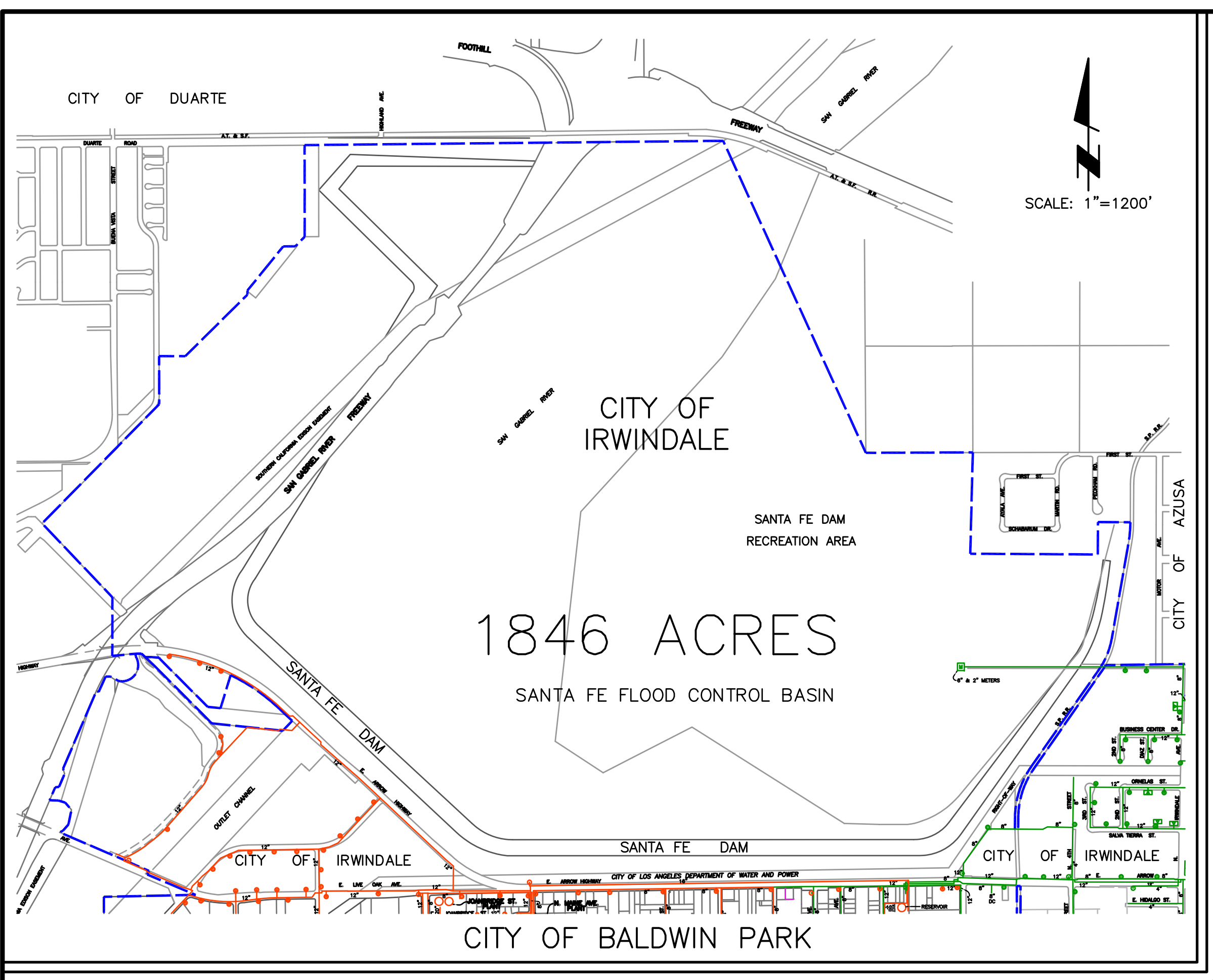
- Legend**
- Irwindale Zoning Code**
- Zones**
- A1 - Agricultural
  - R1 - Single Family Residential
  - R2 - Light-Multiple Residential
  - R3 - Heavy-Multiple Residential
  - C1 - Neighborhood Commercial
  - C2 - Heavy Commercial
  - C3 - Heavy Commercial-Residential
  - CM - Commercial Manufacturing
  - M1 - Light Manufacturing
  - M2 - Heavy Manufacturing
  - M2/AO - Auto Dismantling Overlay
  - Q - Quarry
  - OS - Open Space
  - COH - City of Hope Specific Plan
  - RII - Reliance II Specific Plan








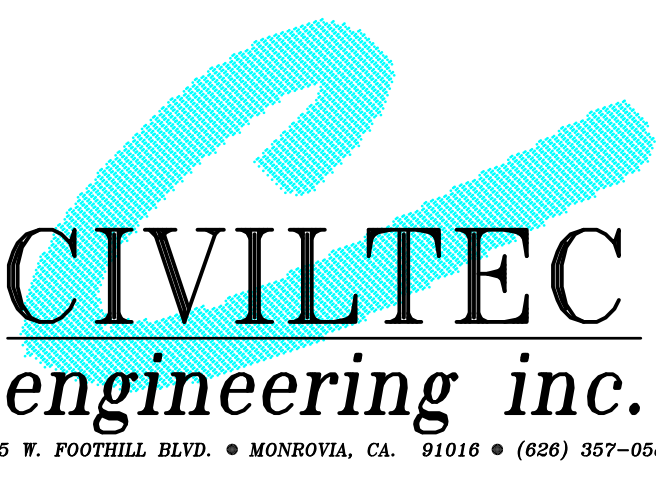
## Attachment B – Water Service Map



- ### LEGEND
- 8" UPPER BALDWIN PARK PRESSURE ZONE
  - 8" LOWER BALDWIN PARK PRESSURE ZONE
  - 8" MORADA PRESSURE ZONE
  - MIDDLE FEEDER
  - 4" J-344 FIRE HYDRANT WITH SHUT-OFF VALVE
  - 6" J-3708 FIRE HYDRANT WITH SHUT-OFF VALVE
  - PRESSURE REGULATOR
  - AIR VACUUM-AIR RELEASE VALVE
  - BLOW-OFF
  - PRESSURE ZONE BOUNDARY
  - VALLEY COUNTY WATER DISTRICT BOUNDARY
  - VALLEY VIEW MUTUAL WATER COMPANY
  - SAN GABRIEL VALLEY WATER COMPANY AND CITY OF AZUSA SERVICE AREAS.



VALLEY COUNTY  
WATER DISTRICT



CIVILTEC  
engineering inc.

855 W. PLYMOUTH BLVD. • MONROVIA, CA. 91016 • (888) 367-0508

**VALLEY COUNTY WATER DISTRICT**

EXISTING WATER SYSTEM  
& PRESSURE ZONES

DRAWN: F.G.K.    CHECKED: W.D.B.    SCALE: 1" = 600'

PROJECT: VALLEY COUNTY WATER DISTRICT WATER MAINS PLAN 4-2-2016    FIGURE 1-4-2016



## Attachment C – Proposed Hydrology Exhibit

REVIEWED BY: REVIEW BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
NO. DATE REVISION BY: \_\_\_\_\_

**SUBMITTAL TYPE**

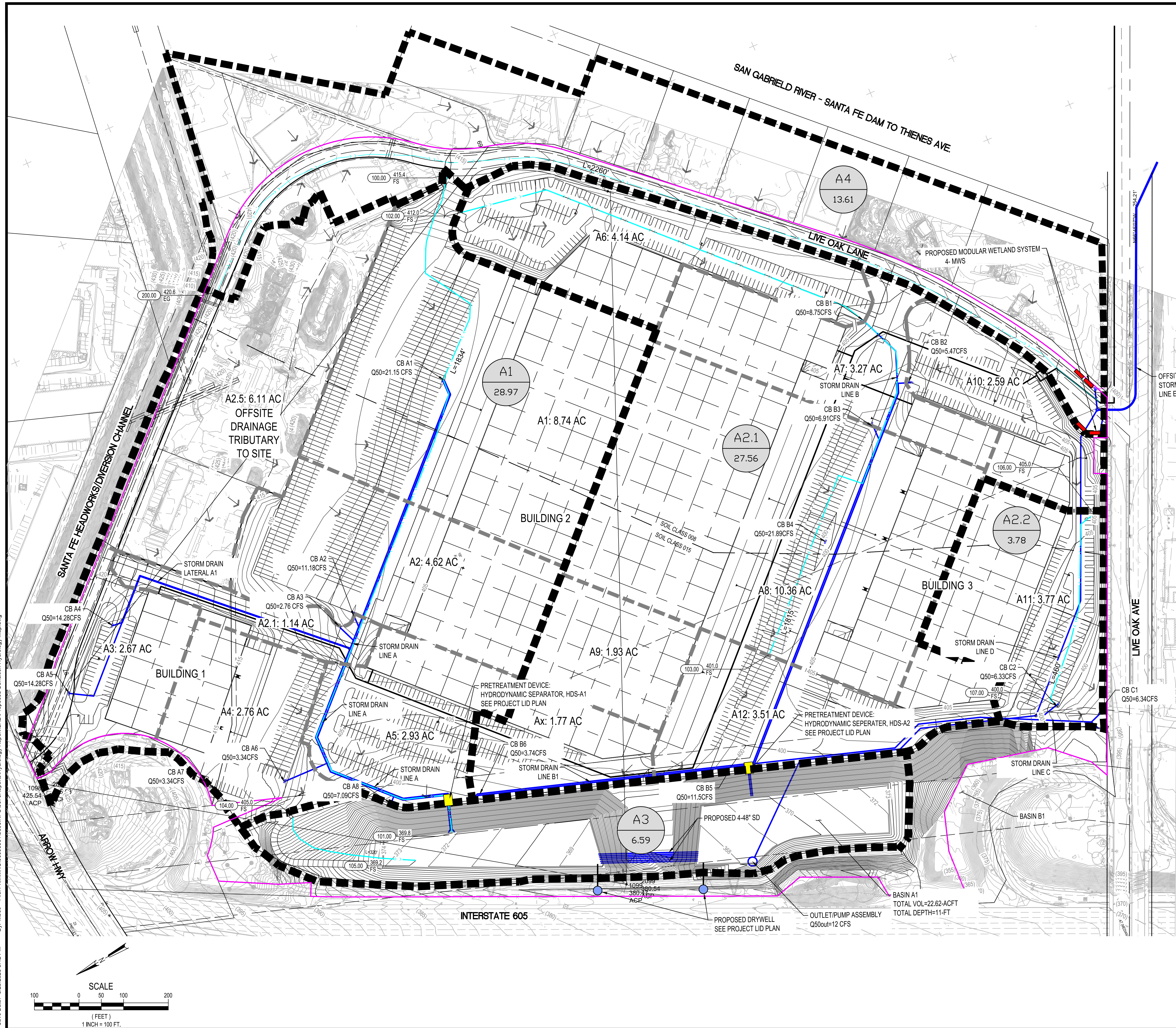
**SUBMITTAL STATUS**

CHECKED BY: MBEC  
DESIGNED BY: MBEC  
DRAWN BY: MBEC

DATE PREPARED: 10/4/2022

PROJECT NO.  
**MNOI00000001**

SHEET NO.



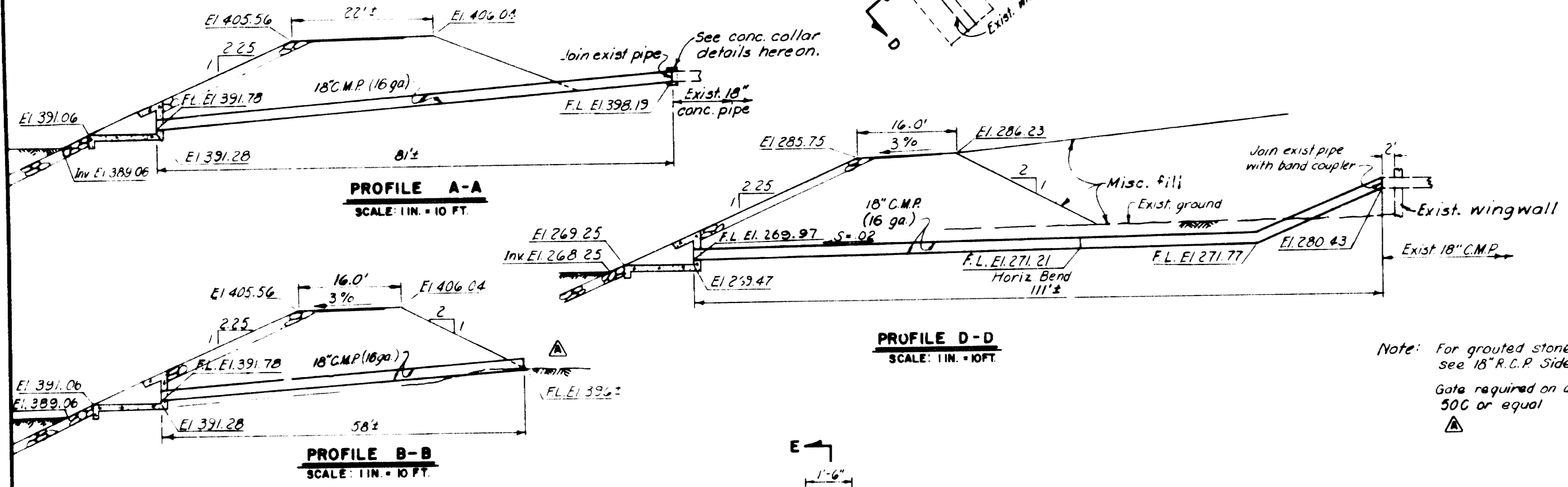
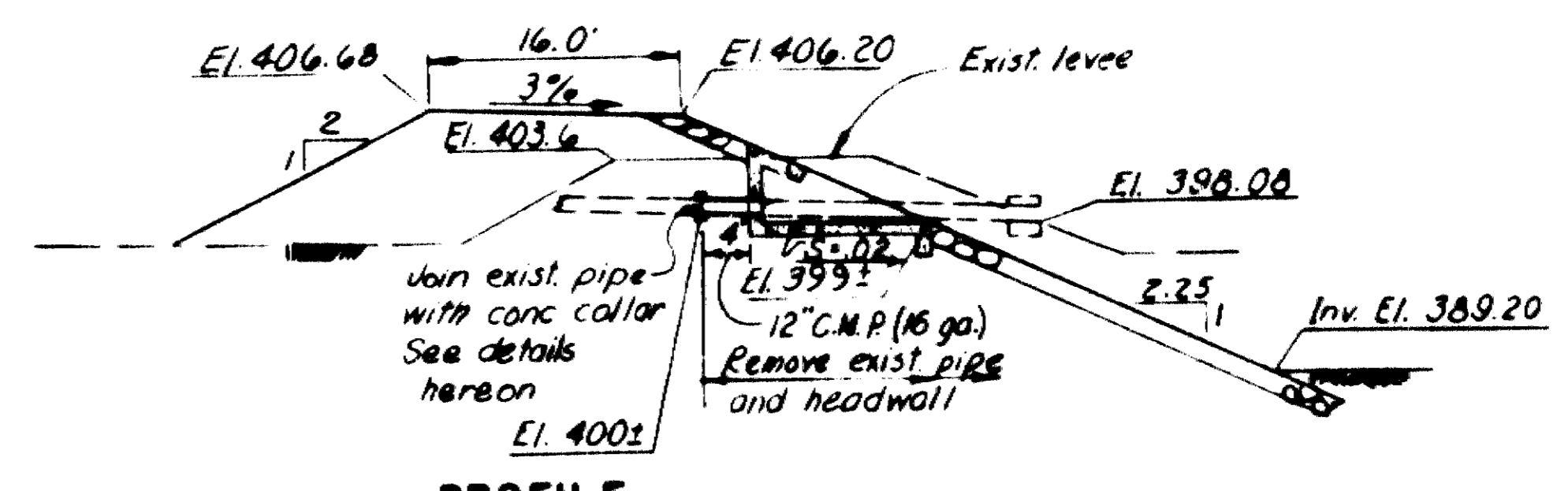
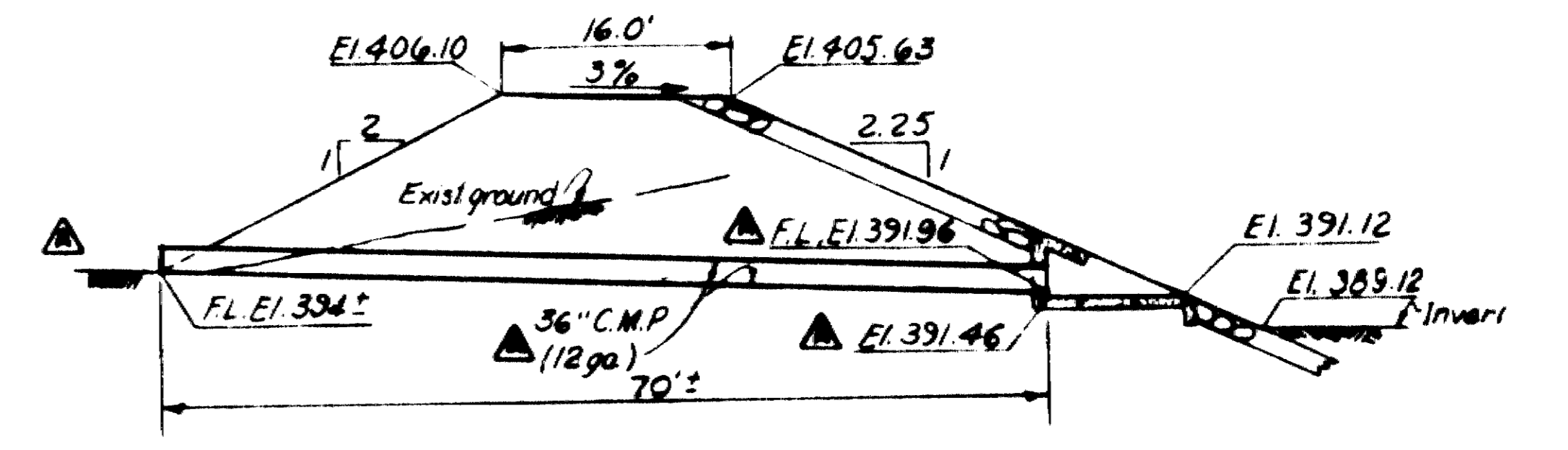
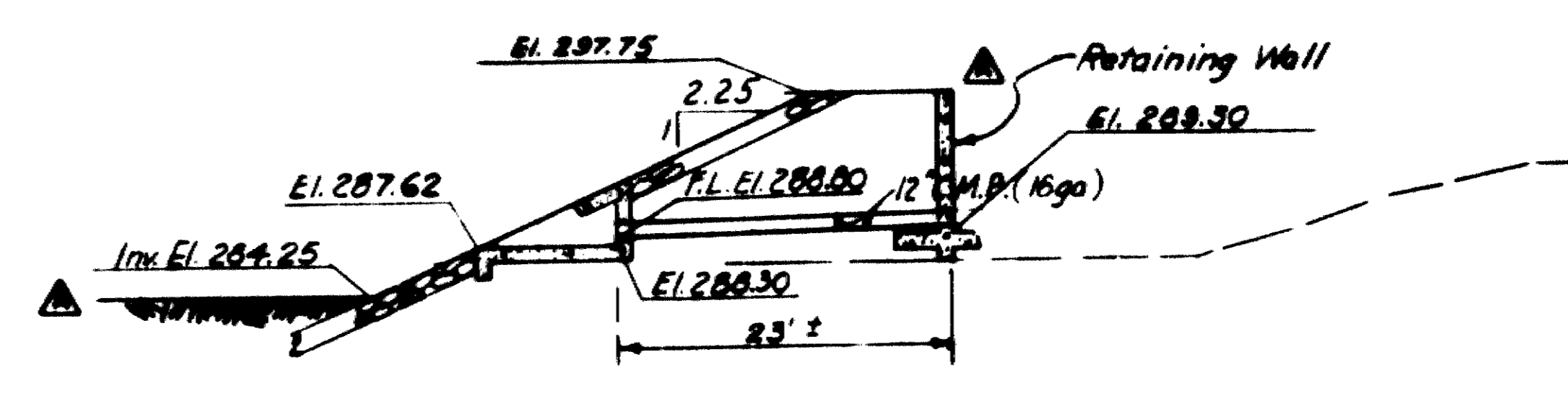
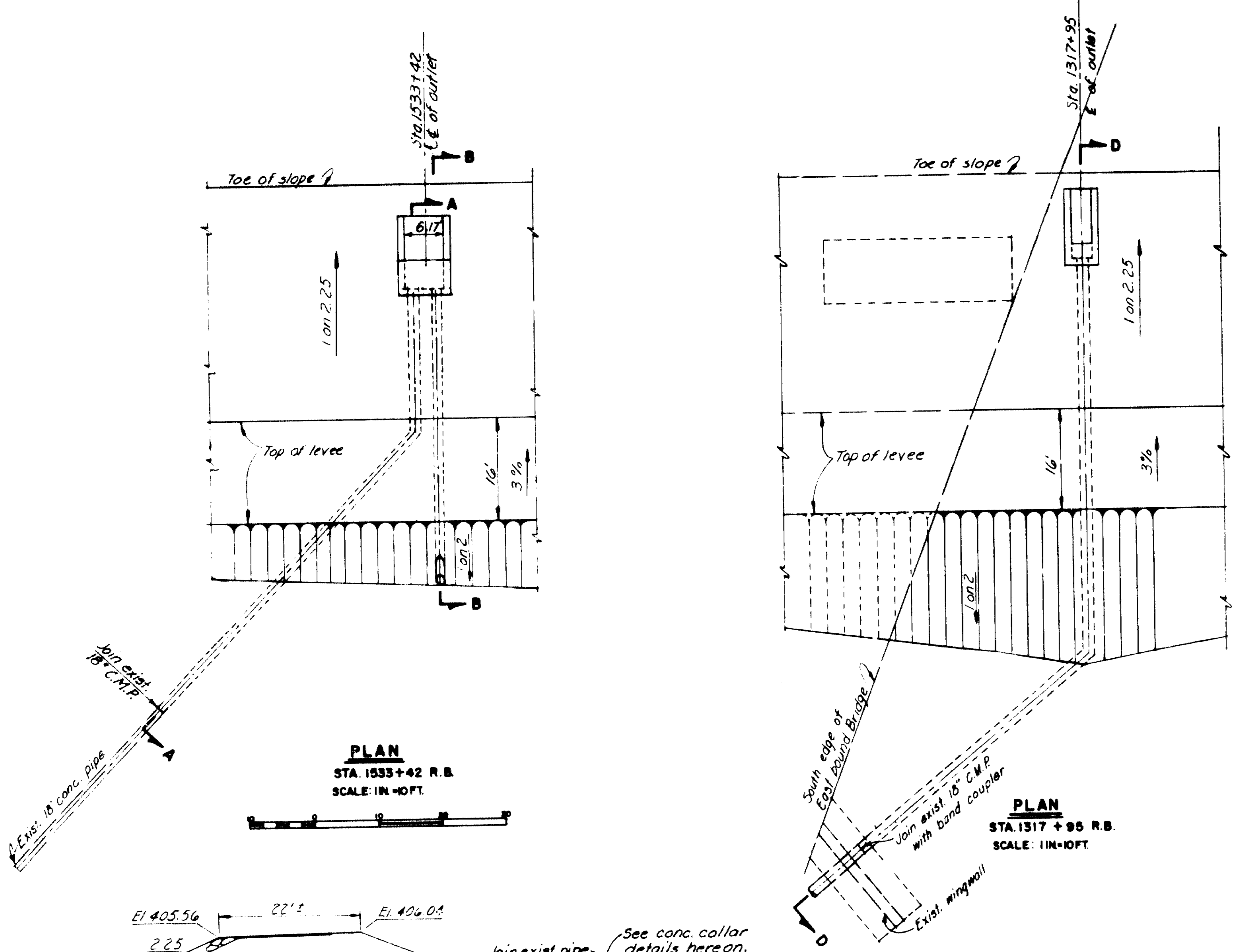
**LEGEND**

- PRETREATMENT (HYDRODYNAMIC SEPARATOR)  
SEE PROJECT LID PLAN
- MODULAR WETLANDS SYSTEM
- DRAINAGE AREA BOUNDARY (A1,A2.1,A2.2,A3,A4)
- PRORATED DRAINAGE AREA
- PROJECT BOUNDARY
- PROPOSED STORM DRAIN
- FLOW PATH
- DIRECTION OF FLOW
- SOIL CLASSIFICATION
- NODE DESIGNATION
- PRORATED SUB-AREA
- D  
0.18  
AC DMA ID  
HYDROLOGY STUDY AREA (ACREAGE)

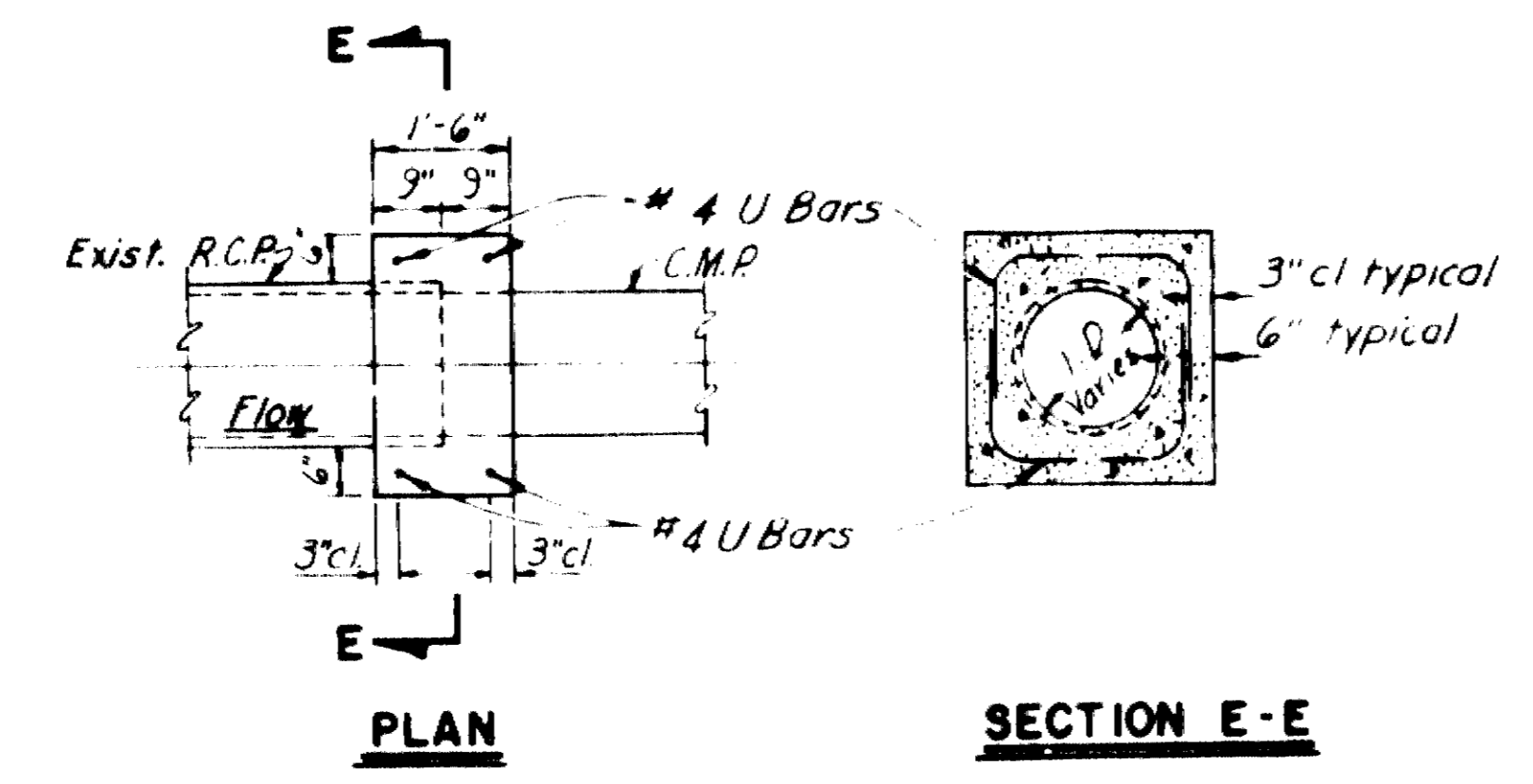
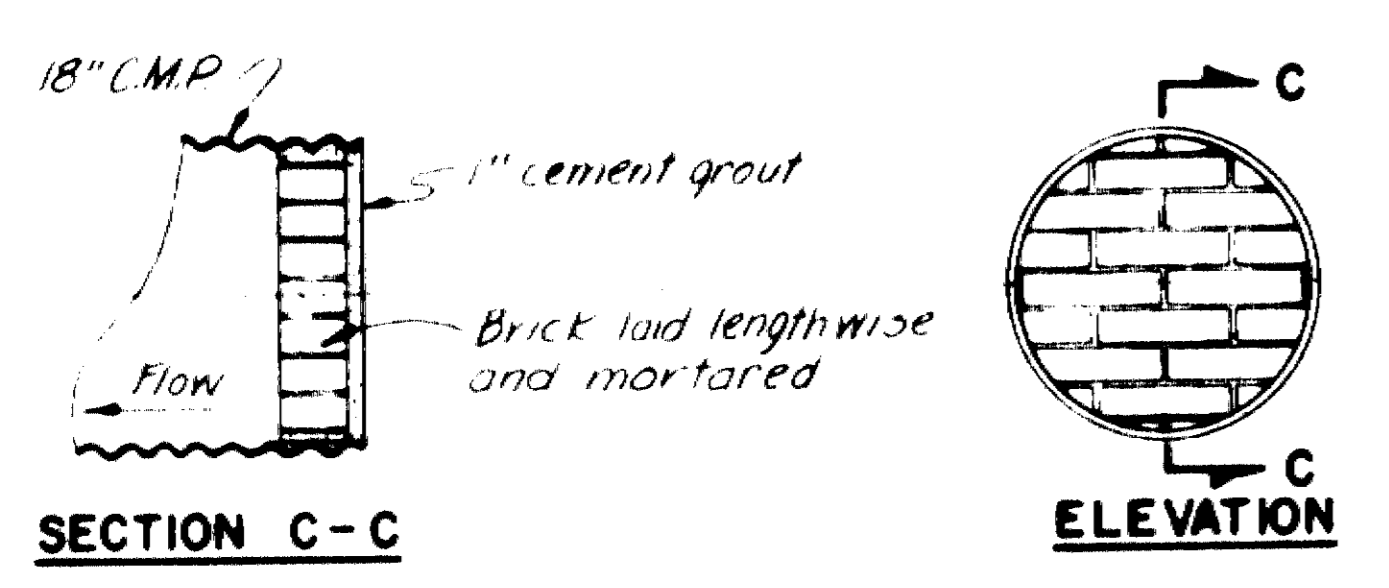
Plot Date: 3/20/2023 5:43 PM  
 Save Date: 3/20/2023 5:42 PM  
 By: Michael Baccara  
 File: P:\MAIN\000000001\0600\0607\0607\Report\CAD\Proposed Condition Hydrology Map.dwg



## Attachment D – Stormwater As-Builts



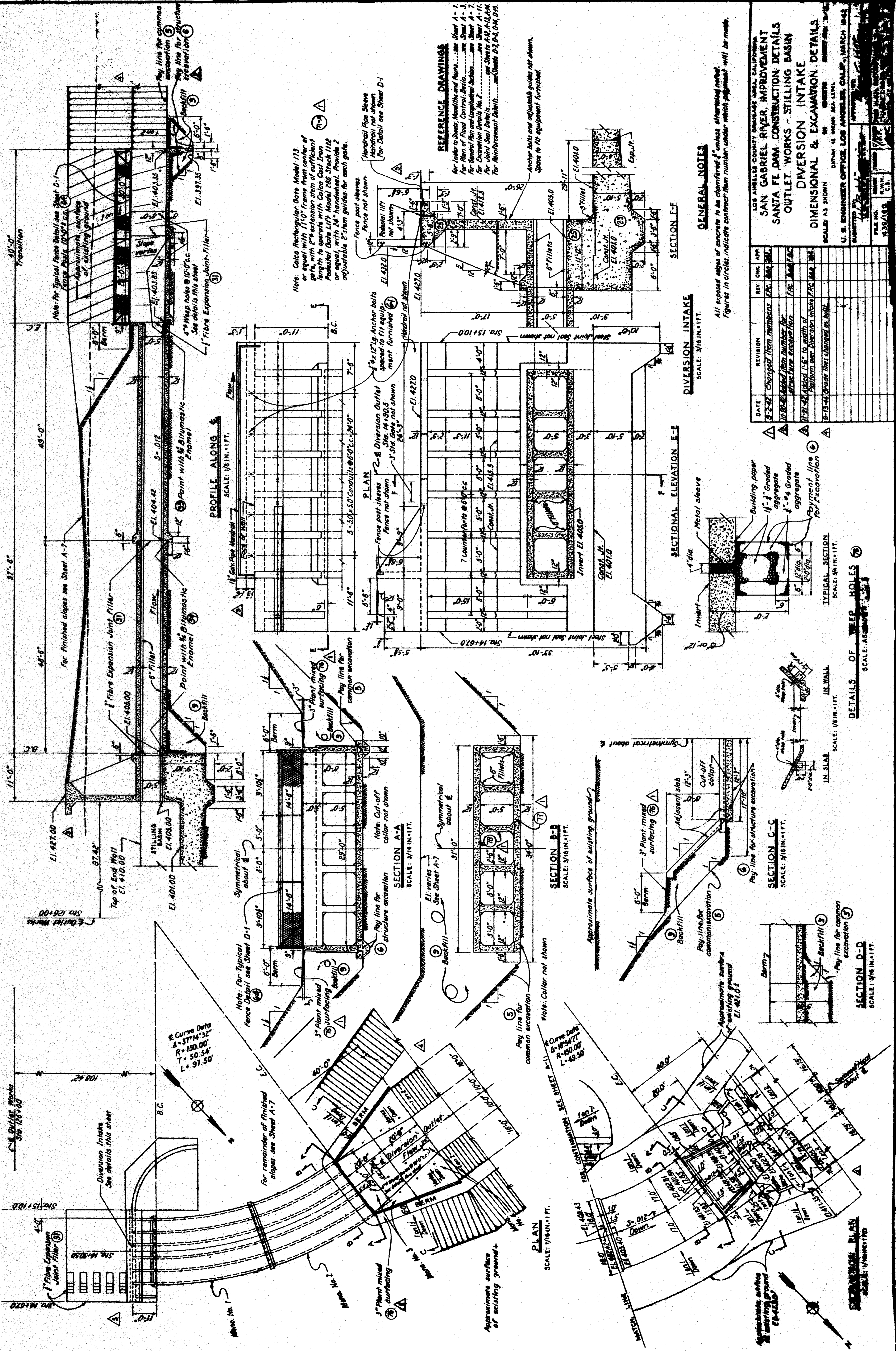
Note: For grouted stone & outlet structural details see 18" R.C.P. Side Drain (Typ) sheet 97  
Gates required on all pipes, Armcoc Modal 50G or equal



REVISION DRAWING - AS CONSTRUCTED  
CORP. No. 62-152, REV. A, DATE 8/16/61 BY RAL  
CORP. No. REV. DATE BY  
CORP. No. REV. DATE BY

REV	DATE	REVISION	REV	CHK	APP
1	6 Dec 61	Revised Profiles, Changed Metal of Gate "As Constructed"			

DRAWN: A.W.R.-L.F.  
CHECKED BY: L.L.A.  
DESIGNED BY: Edward Keenan  
SCALE: AS SHOWN  
DATE: AUGUST 1960  
TO ACCOMPANY SPECIFICATIONS CIVENS 04-388-60-11 SHEET 98 OF 99 FILE NO. 15 9 5297 170/161 REV. A

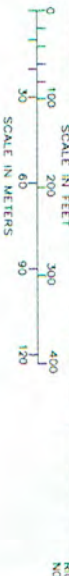


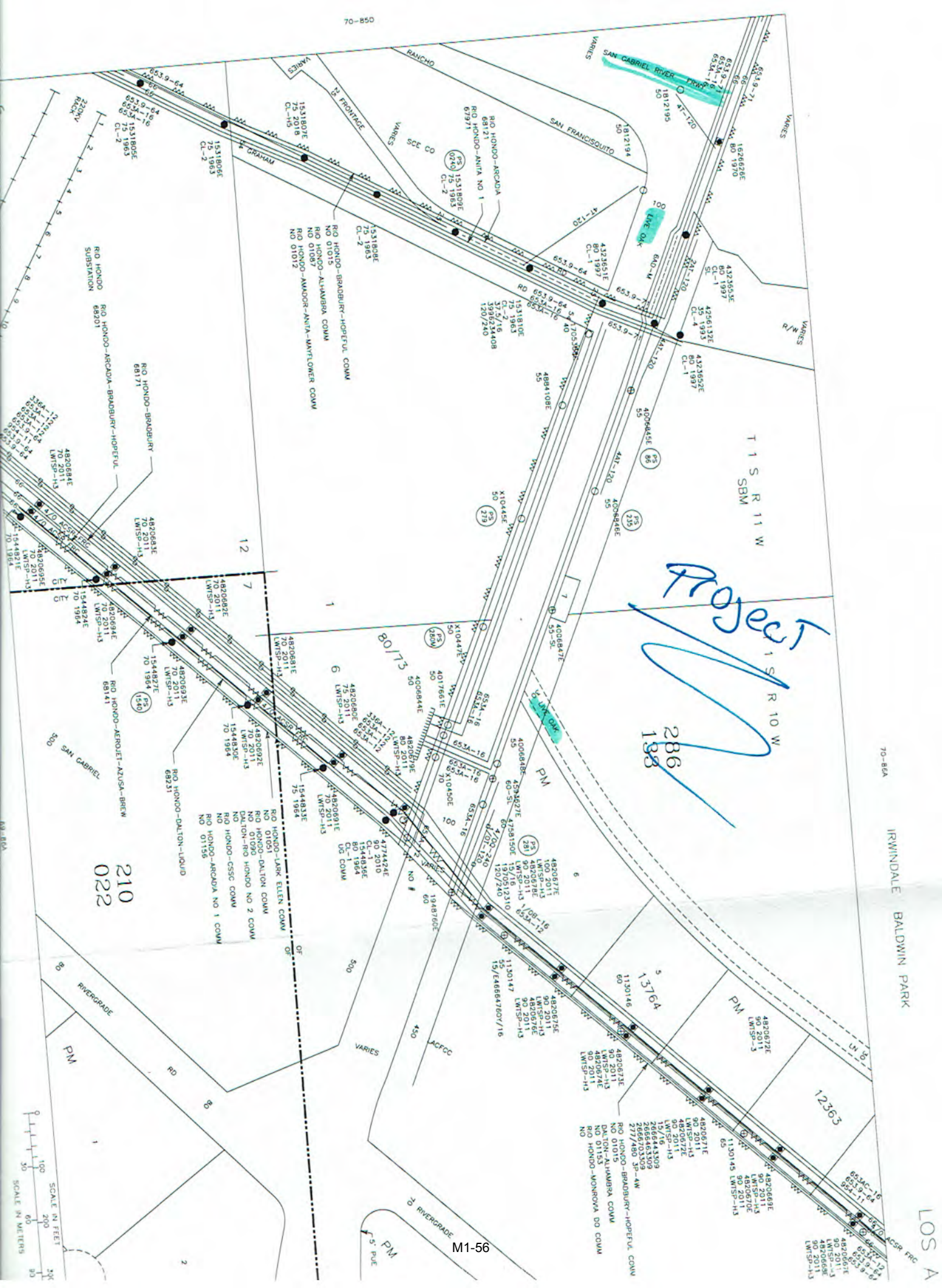
LOS ANGELES COUNTY, DRAINAGE DISTRICT, CALIFORNIA  
**SANTA FE DAM CONSTRUCTION DETAILS**  
**OUTLET WORKS - STILLING BASIN**  
**DIVERSION INTAKE**  
**DIMENSIONAL & EXCAVATION DETAILS**  
 SCALE AS SHOWN  
 DRAWN BY: W. H. HARRIS  
 U. S. ENGINEER OFFICE, LOS ANGELES, CALIF., MARCH 1934



## Attachment E – Electric As-Built







T 1 S R 11 W

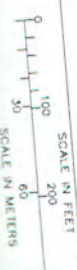
Project

286  
188

S R 10 W

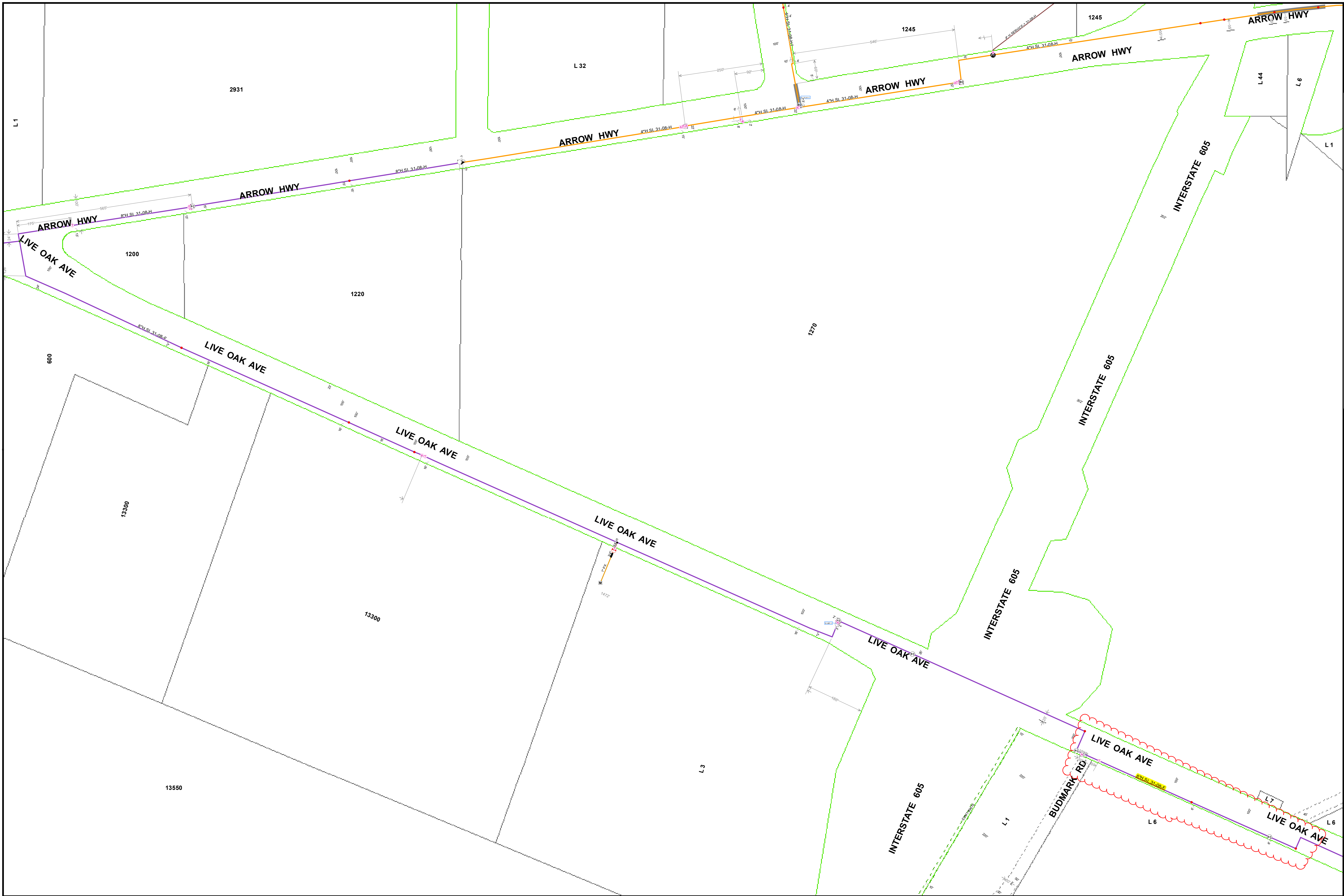
210  
022

M1-56





## Attachment F – Gas As-Built



1 inch = 130 feet

Map Number:  
 Map Type: **Gas Asset Map**  
 Printed By: sanchondo  
 Printed Date: 4/7/2017

**LIABILITY STATEMENT**  
 The facilities and their depiction on these maps are believed to be reasonably accurate, but the maps are not to be used in lieu of field verification or calling USA at 800-422-4133. NO WARRANTY expressed or implied (including merchantability or of fitness for particular purpose) is made as to any matter, including but not limited to, the design, size, type or location of the facilities, their presence or absence, the accuracy of the maps, the means used to transmit the data, absence of viruses (if transmitted electronically, by disk or diskette), data translation or transmission errors or omissions, compatibility with the user's system or its ability to interpret the data correctly or at all, or any other matter. The Gas Company has no liability for damages (direct, indirect, consequential, incidental or punitive) arising from the transmission, receipt or use by others of the maps or information contained in the maps.  
 \*Certain technology used under license from AT&T Intellectual Property I, L.P. Copyright 1996-2007 AT&T Intellectual Property I, L.P. All rights Reserved\*





## Attachment G – Telephone Will Serve

January 16, 2020

Bud Pharris  
CRG Acquisitions  
567 San Nicolas Drive, Suite 160  
Newport Beach, CA 92660

Dear Mr. Pharris:

Subject: Will Serve Letter- 13620 Live Oak Lane Irwindale, CA APN 8532-002-035

We have received your request for a Will Serve Letter for the above referenced location. The site is located inside the basic rate area of our serving area.

Telephone facilities will be provided under the provisions of the tariffs on file with the Public Utilities Commission of the State of California. No additional charges other than normal installation costs apply.

If you have any questions, please contact me.

Very truly yours ,

Carl Specht  
OSP Engineering  
1400 E Phillips Blvd, BLD A  
Pomona, CA 91766  
Tel: 909-469-4731  
E-mail: carl.specht@ftr.com



## Attachment H – Cable As-Built and Will Serve

# Live Oak Avenue & Live Oak Lane Map Irwindale, CA 91706

Red-existing Charter aerial facilities within project limits.

Green-existing Charter underground facilities within project limits.







## Will Serve Letter

1/6/2020

Bud Pharris  
CRG Acquisition, LLC  
567 San Nicholas Drive, Suite 160  
Newport Beach, CA 92660

Project Name: WSL - 13620 Live Oak Ln Irwindale CA 91706  
LOCATION: 13620 Live Oak Ln Irwindale CA 91706

Re: May Serve Letter by Charter Communications or an affiliate authorized to provide service ("Charter")

Thank you for your interest in receiving Charter service. The purpose of this letter is to confirm that the Property is within an area that Charter may lawfully serve. However, it is not a commitment to provide service to the Property. Prior to any determination as to whether service can or will be provided to the Property, Charter will conduct a survey of the Property and will need the following information from you:

- Exact site address and legal description
- Is this an existing building or new construction?
- Site plans, blue prints, plat maps or any similar data
- The location of any existing utilities or utility easements
- \_\_\_\_\_

Please forward this information to the construction manager listed below. Upon receipt, a Charter representative will be assigned to you to work through the process. Ultimately, a mutually acceptable service agreement for the Property will be required and your cooperation in the process is appreciated.

**Construction Manager Contact:**

Bowers, Judy  
Manager, Enterprise Service Delivery  
17777 Center Court Drive North, 8th Floor  
Cerritos CA 90703  
562-677-0259  
[judy.bowers@charter.com](mailto:judy.bowers@charter.com)

Sincerely,



Judy Bowers (Jan 6, 2020)