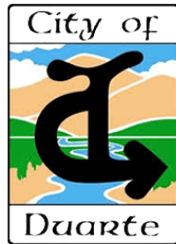


Westminster Gardens/Morrison House Renovation Project

Initial Study and Mitigated Negative Declaration

Lead Agency:

City of Duarte
Community Development Department
1600 Huntington Drive
Duarte, California 91010



Prepared for:

HumanGood
1900 Huntington Drive
Duarte, California 91010

Prepared by:

MIG, Inc.
1650 Spruce Street, Suite 106
Riverside, California 92507



Public Review Draft
February 9, 2023

- This document is designed for double-sided printing -

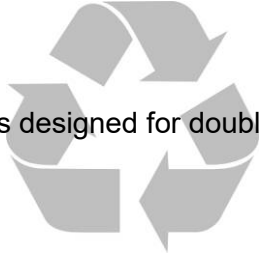


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Appendix A Historic Resources Technical Report

1 Introduction

The City of Duarte (Lead Agency) received an application for the renovation of the Historic Morrison House building, now part of the 32-acre Westminster Gardens senior living community. The approval of the application constitutes a *project* that is subject to review under the California Environmental Quality Act (CEQA) 1970 (Public Resources Code §§ 21000, *et seq.*), and the CEQA Guidelines (14 California Code of Regulations §§ 15000, *et. seq.*).

This Initial Study was prepared to assess the short-term, long-term, and cumulative environmental impacts resulting from the proposed project. This report was prepared to comply with CEQA Guidelines § 15063, which sets forth the required contents of an Initial Study. These include:

- A description of the project, including the location of the project (See Section 2);
- Identification of the environmental setting (See Section 2.10);
- Identification of environmental effects by the use of a checklist, matrix, or other methods, provided that entries on the checklist or other form are briefly explained to indicate that there is some evidence to support the entries (See Section 4);
- Discussion of ways to mitigate significant effects identified, if any (See Section 4);
- Examination of whether the project is compatible with existing zoning, plans, and other applicable land use controls (See Section 4.11); and
- The name(s) of the person(s) who prepared or participated in the preparation of the Initial Study (See Section 5).

1.1 – Purpose of CEQA

CEQA § 21000 of the California Public Resources Code provides as follows:

The Legislature finds and declares as follows:

- a) The maintenance of a quality environment for the people of this state now and in the future, is a matter of statewide concern.
- b) It is necessary to provide a high-quality environment that at all times is healthful and pleasing to the senses and intellect of man.
- c) There is a need to understand the relationship between the maintenance of high-quality ecological systems and the general welfare of the people of the state, including their enjoyment of the natural resources of the state.
- d) The capacity of the environment is limited, and it is the intent of the Legislature that the government of the state take immediate steps to identify any critical thresholds for the health and safety of the people of the state and take all coordinated actions necessary to prevent such thresholds being reached.
- e) Every citizen has a responsibility to contribute to the preservation and enhancement of the environment.
- f) The interrelationship of policies and practices in the management of natural resources and waste disposal requires systematic and concerted efforts by public and private interests to enhance environmental quality and to control environmental pollution.
- g) It is the intent of the Legislature that all agencies of the state government which regulate activities of private individuals, corporations, and public agencies which are found to affect the quality of the environment, shall regulate such activities so that major consideration is given to preventing environmental damage while providing a decent home and satisfying living environment for every Californian.

The Legislature further finds and declares that it is the policy of the state to:

- h) Develop and maintain a high-quality environment now and in the future, and take all action necessary to protect, rehabilitate, and enhance the environmental quality of the state.
- i) Take all action necessary to provide the people of this state with clean air and water, enjoyment of aesthetic, natural, scenic, and historic environmental qualities, and freedom from excessive noise.
- j) Prevent the elimination of fish or wildlife species due to man's activities, ensure that fish and wildlife populations do not drop below self-perpetuating levels, and preserve for future generations representations of all plant and animal communities and examples of the major periods of California history.
- k) Ensure that the long-term protection of the environment, consistent with the provision of a decent home and suitable living environment for every Californian, shall be the guiding criterion in public decisions.
- l) Create and maintain conditions under which man and nature can exist in productive harmony to fulfill the social and economic requirements of present and future generations.
- m) Require governmental agencies at all levels to develop standards and procedures necessary to protect environmental quality.
- n) Require governmental agencies at all levels to consider qualitative factors as well as economic and technical factors and long-term benefits and costs, in addition to short-term benefits and costs, and to consider alternatives to proposed actions affecting the environment.

A concise statement of legislative policy, with respect to public agency consideration of projects for some form of approval, is found in CEQA § 21002, quoted below:

The Legislature finds and declares that it is the policy of the state that public agencies should not approve projects as proposed if there are feasible alternatives or feasible mitigation measures available which would substantially lessen the significant environmental effects of such projects, and that the procedures required by this division are intended to assist public agencies in systematically identifying both the significant effects of proposed projects and the feasible alternatives or feasible mitigation measures which will avoid or substantially lessen such significant effects. The Legislature further finds and declares that in the event that specific economic, social, or other conditions make infeasible such project alternatives or such mitigation measures, individual projects may be approved in spite of one or more significant effects thereof.

1.2 – Public Comments

Comments from all agencies and individuals are invited regarding the information contained in this Initial Study. Such comments should explain any perceived deficiencies in the assessment of impacts in the Initial Study. Materials related to the preparation of this Initial Study are available for public review in person or on the City's website. To request an appointment to review these materials, please contact:

Nick Baldwin, Associate Planner
City of Duarte Community Development Department
1600 Huntington Drive
Duarte, California 91010
(626) 357-7931 ext. 238

All written comments received during the 30-day public review period for the Initial Study/Mitigated Negative Declaration will be considered by the City of Duarte prior to adoption.

2 Project Description

2.1 – Project Title

Westminster Gardens/Morrison House Renovation Project

2.2 – Lead Agency Name and Address

City of Duarte
Community Development Department
1600 Huntington Drive
Duarte, CA 91010

2.3 – Contact Person and Phone Number

Nick Baldwin, Associate Planner
(626) 357-7931 ext. 238

2.4 – Project Location

The project site is located at 1420 Santo Domingo Avenue in the Westminster Gardens senior living community in the City of Duarte, California (See Exhibit 1, Regional Context Map). The community is bounded by Santo Domingo Avenue to the west, Central Avenue to the south, Huntington Drive (or Historic Route 66) to the North, and both Bradbourne Avenue and Amberwood Drive to the east (See Exhibit 2, Project Vicinity Map).

- Latitude 34° 08' 14.97" North, Longitude 117° 57' 40.71 West
- (APN #8529-014-025)

2.5 – Project Sponsor's Name and Address

HumanGood
1900 Huntington Drive
Duarte, California 91010
Rick Hatzenbuehler
(408) 891-6462

2.6 – General Plan Land Use Designation

Specific Plan (SP)

2.7 – Zoning District

Specific Plan (SP)

2.8 – Environmental Setting

The project site is located in the Westminster Gardens Senior Living Community on a single parcel of land in south-central Duarte, Los Angeles County. The project site is zoned Specific Plan (SP) as designated by the City of Duarte and is located in the southwestern portion of Westminster Gardens, and is accessible through the entrance off Santo Domingo Avenue (APN #8529-014-025). The parcel occupies most of the block bounded by Central Avenue to the south, Santo Domingo Avenue to the west, Huntington Drive to the north, and Bradbourne Avenue to the east. Morrison house is in the southwestern corner of Westminster Gardens. Surrounding structures mostly consist of low-rise single and multi-family housing, with structures dating from the 1950s to 90s. The area surrounding Westminster Gardens include single and multi-family residences to the west, north and east, and warehouses to the south. The warehouses are not visible from the project site however as the Interstate 210 freeway bounds Westminster Gardens to the south as well. There is an interior courtyard that the Morrison House is built around with a lawn and brick walkway in an H-shape that frames a 12-ft deep, tile-lined reflecting pool, now filled and used as a planter. North of the house is a woodland garden, and the homes throughout the remainder of Westminster Gardens have lawns and trees framing the properties.

Landscaping

The landscaping of Morrison House was developed around the building's construction in the late 1930s, and includes a central courtyard with a brick walkway and reflecting pool (currently used as a planter). The courtyard is mostly characterized by a large, manicured lawn. North of the house is a woodland garden with flowers, grasses, mature trees and shrubs with a small water way collecting into several pools. Landscaping improvements to the site include a redesign of the courtyard, the addition of a reflection pool, and accessibility improvements to pathways.

Fencing

Fencing around Westminster Gardens varies between metal chain link fencing with shrubbery growing over it along Santo Domingo Avenue and large concrete walls along Central Avenue, and a combination of concrete and metal fencing along Huntington Drive. There is no fencing around the Morrison House structure itself.

Circulation – Access and On-Site

Primary access to Westminster Gardens, and to Morrison House, is through the driveway on Santo Domingo Avenue just north of the corner of Central Avenue and Santo Domingo Avenue. There is a pedestrian gate with a key lock off the sidewalk on Santo Domingo Avenue. There is a small chain link fence with a driveway just south of the intersection of Santo Domingo Avenue and Huntington Drive. There is a driveway at the northeast corner of the property off Huntington Drive, with signage indicating the entrance to the property is on Santo Domingo Avenue. Finally, there is another pedestrian gate entrance towards the center of Bradbourne Avenue.

Drainage

The City of Duarte contracts the Los Angeles County Sewer Maintenance Division for the upkeep of its sewer system. The proposed project involves the installation of a reflecting pool, as well as the construction of a public restroom. All drainage connections that need to be made will need to comply

with the City of Duarte Sewer System Management Plan and the Los Angeles County Sewer Management Plan.

Building Operations

The house is now used for various purposes for the Westminster Gardens community. First floor uses include a lobby, mail room, library, offices, restrooms, and a social hall. The 2nd floor has a meeting room with several offices and vacant rooms.

2.9 – Surrounding Land Uses

The project site is bounded to north by medium and high-density residential housing, to the east by low to medium residential housing, to the west by medium density residential housing and housing zoned for specific plan land uses, and to the south by the 210 Freeway, which separates Westminster Gardens from Industrial zoning used for warehouse buildings. Surrounding uses are summarized in Table 1 (Surrounding Land Uses).

**Table 1
Surrounding Land Uses**

Direction	General Plan Designation	Zoning District	Existing Land Use
Project Site	SP – Specific Plan	Specific Plan (SP)	Administrative Building for Westminster Gardens
North	MDR – Medium Density Residential HDR – High Density Residential	Medium Density Residential (MDR) High Density Residential (HDR)	Multi-Family Residential
South	I – Industrial	Industrial (I)	Warehouse
East	MDR – Medium Density Residential LDR – Low Density Residential	Medium Density Residential (MDR) Low Density Residential (LDR)	Single and Multi-Family Residential
West	MDR – Medium Density Residential SP – Specific Plan	Medium Density Residential (MDR) Specific Plan (SP)	Single Family Residential

2.10 – Project Description

The project involves the renovation of the Morrison House, a historic house that has been repurposed for living, administrative, and communal spaces for the Westminster Gardens senior living community (See Exhibit 3, Site Plan). The project includes exterior and interior improvements to the house, with those improvements intended to enhance the visual quality, energy efficiency, and accessibility of the building (See Exhibit 4, Project Elevations).

Proposed interior improvements include, but are not limited to:

- Renovation of the interior space for administrative offices
- Enclosure of the existing portico
- Addition of new entry shade structure at arrival
- New entry door at main lobby
- Addition of new elevator with three (3) stops

2 – Project Description

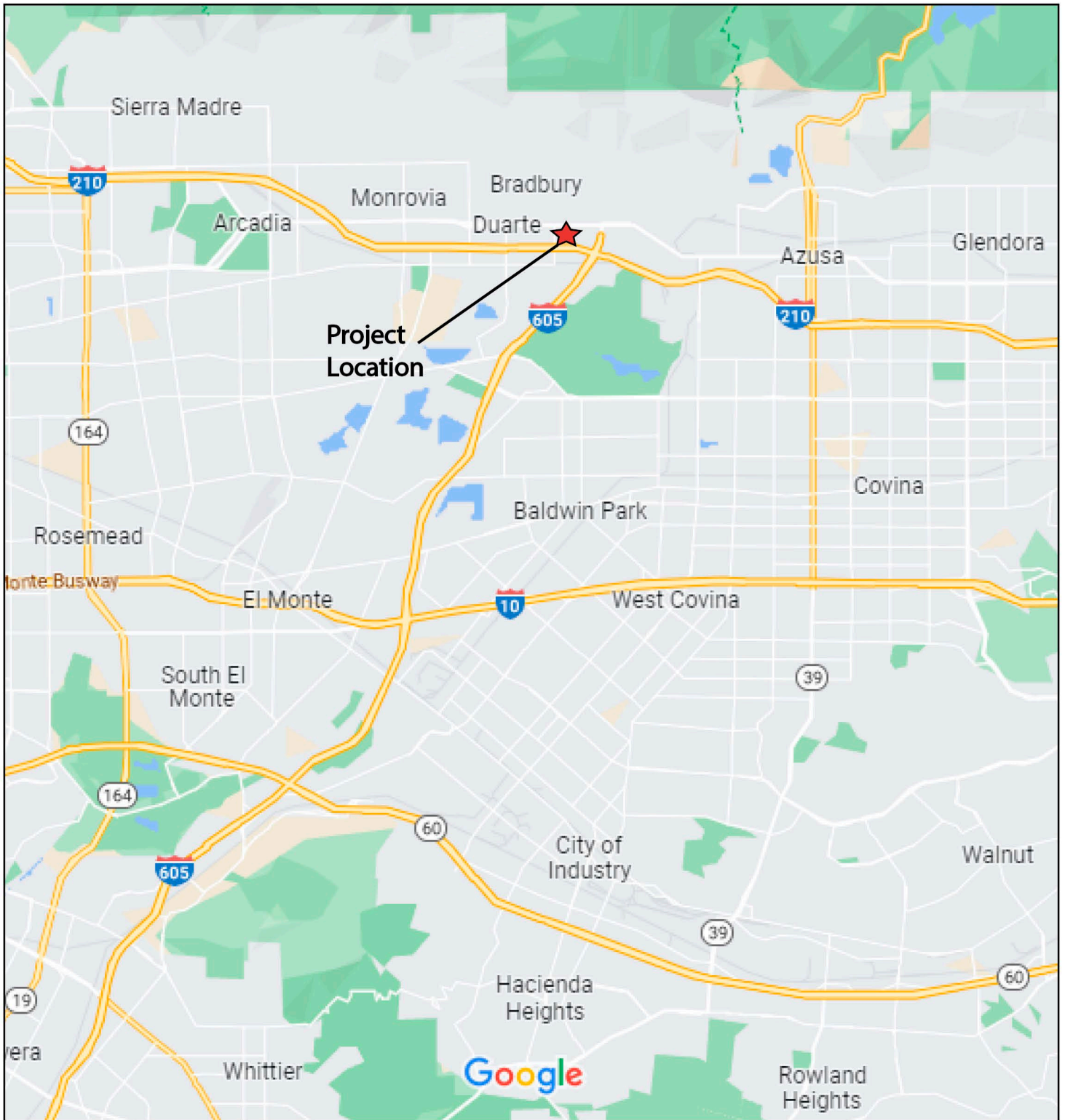
- New public restrooms
- New lounge
- New kitchen
- Interior finish and cosmetic repair work
- Accessible restrooms
- New accessible guest suites

Proposed exterior improvements include, but are not limited to:

- Redesign of the courtyard
- Addition of a reflection pond
- Replacement of existing pathway to make it ADA accessible
- Enhancement of building entry path
- Incorporation of service pathway around building
- Accessible entrance to existing pool
- Renovation of existing BBQ patio outside El Sueño
- Footbridge across existing concrete channel wash
- Rooftop solar panel installation

2.11 – Required Approvals

The City of Duarte is the only land use authority for this project.



Source: Google Maps



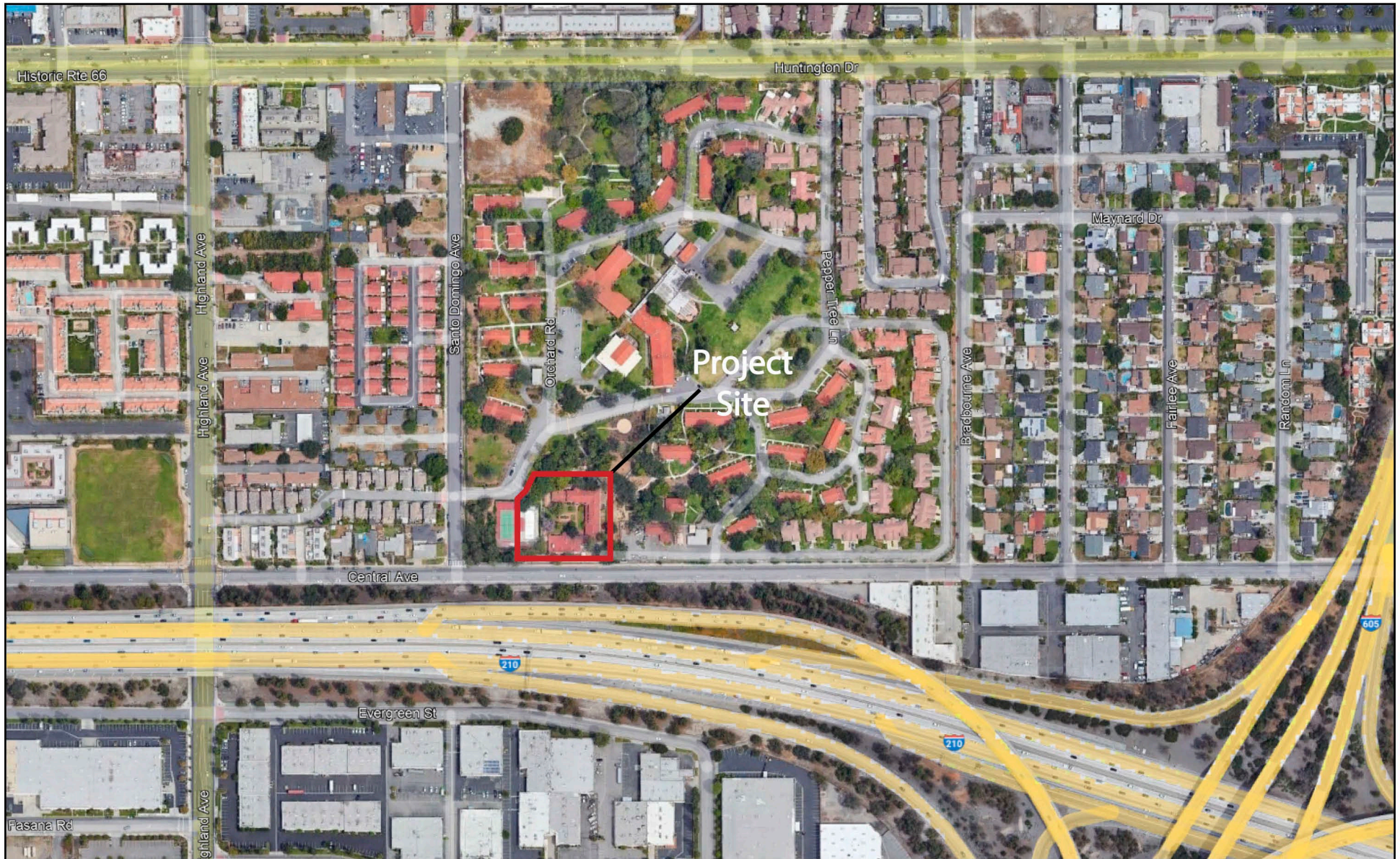
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Exhibit 1 Regional Context Map

Westminster Gardens/Morrison House Renovation Project
Duarte, California

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Source: Google Earth



- Project Site

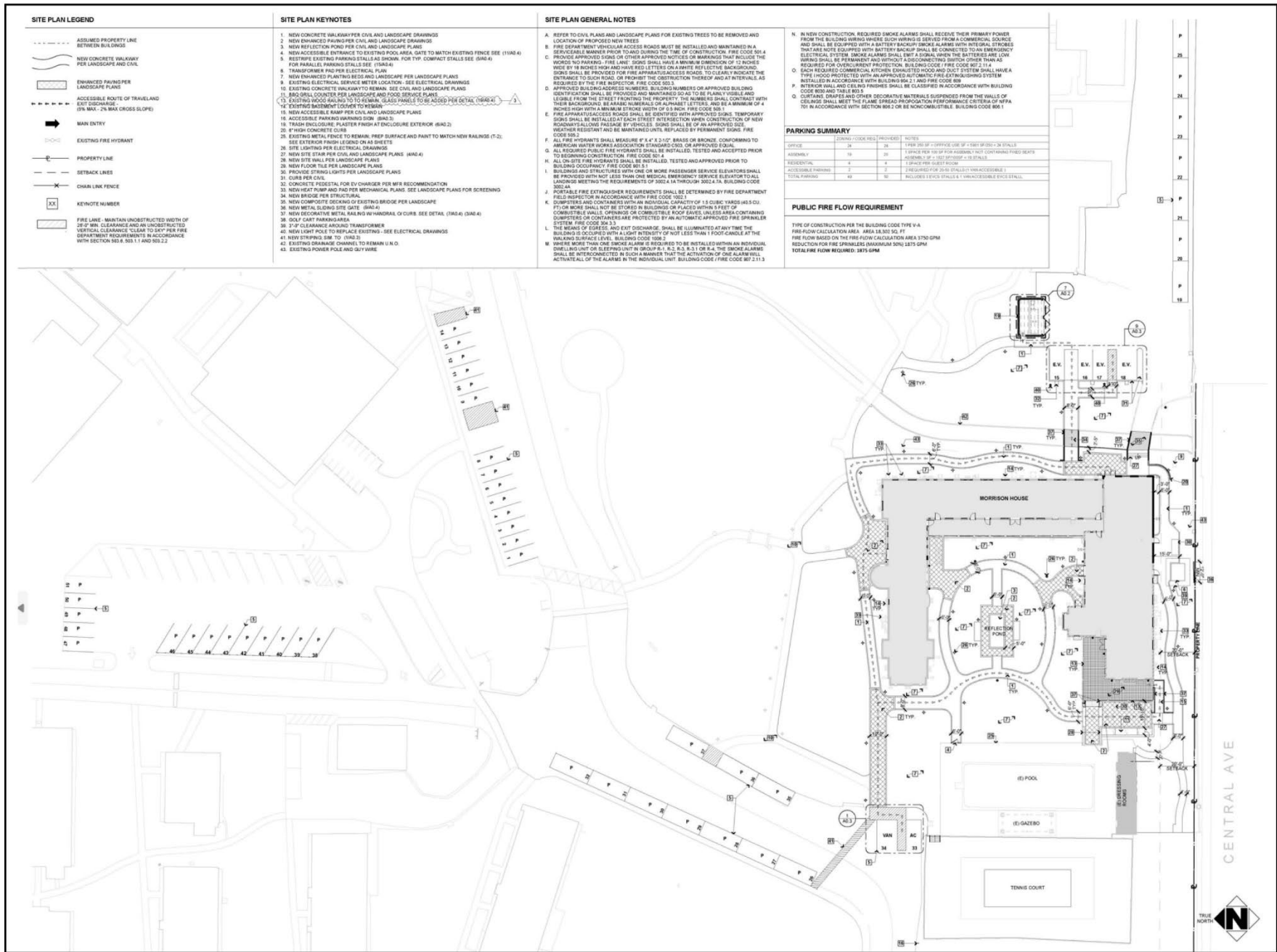
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Exhibit 2 Project Vicinity Map

Westminster Gardens/Morrison House Renovation Project
Duarte, California

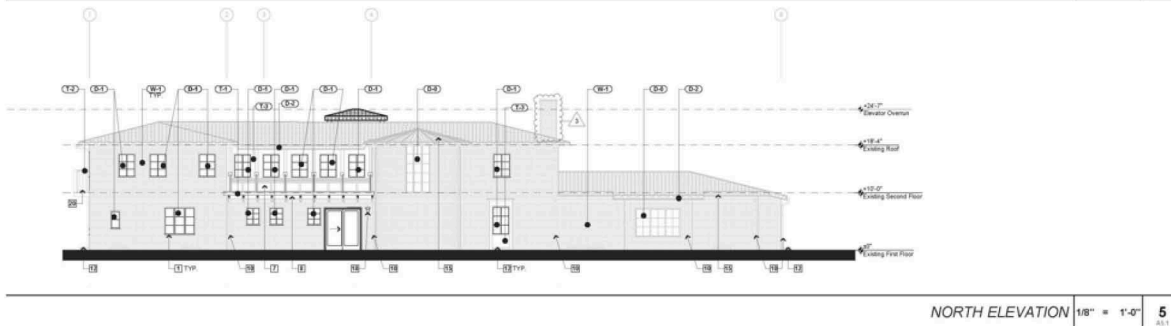
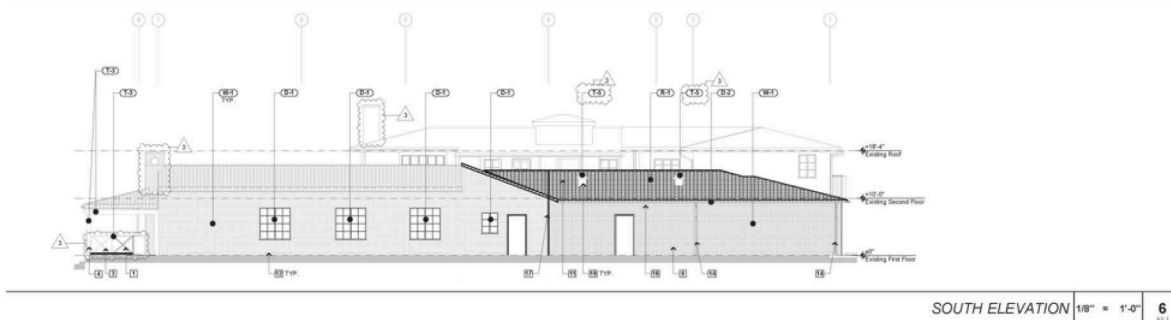
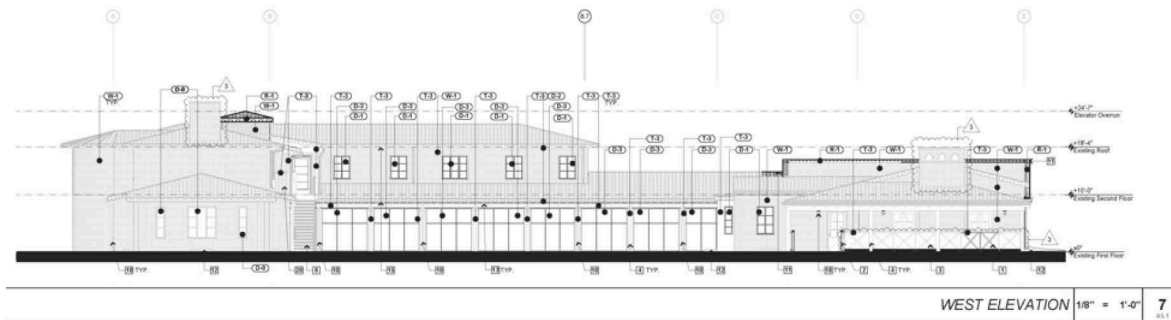
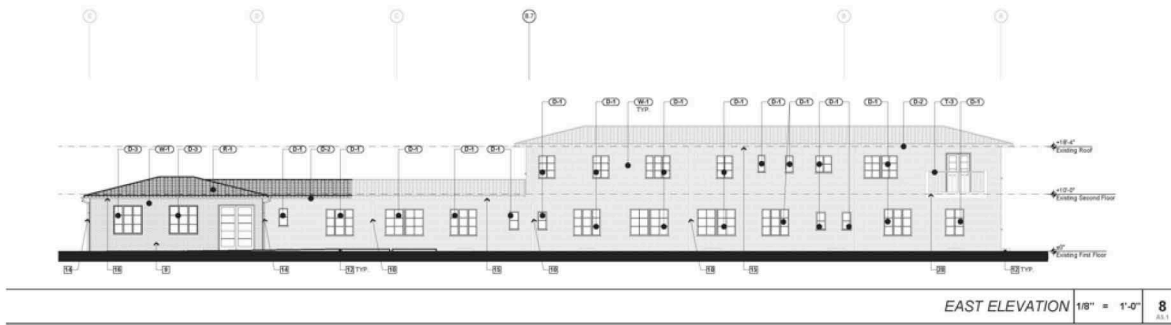
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Source: Douglas Pancake Architecture



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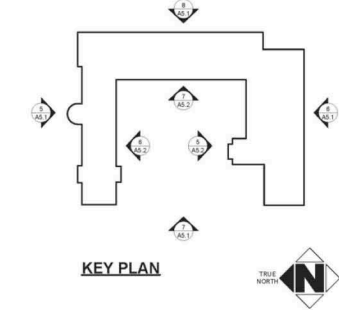
- EXTERIOR ELEVATION KEYNOTES**
1. NEW WOOD RAILING TO MATCH EXISTING
 2. NEW DECORATIVE METAL RAILING (S&S)
 3. EXISTING WOOD RAILING & FOOT TO REMAIN. PREP SURFACE TO RECEIVE NEW PAINT FINISH. LEGEND: (E) RAILING TO RECEIVE NEW GLASS PANEL BEHIND PER DETAIL (1984)
 4. EXISTING COLUMN TO REMAIN
 5. WOOD BEAM
 6. EXISTING STAIR
 7. EXISTING DECORATIVE WOOD PANELING
 8. NEW ENTRY CANOPY. SUNLITE POLYCARBONATE SHEET OVER PT WOOD BATTERS OVER PT WOOD BEAM. WOOD BEAMS & BATTERS TO BE PAINTED TO MATCH (E). DECORATIVE PANELING ABOVE. REFER TO DETAIL (1984.1)
 9. PORTION OF NEW WALL TO RECEIVE NEW BRICK VENEER. FINISH TO MATCH (E). BRICK VENEER, G.C. TO VERIFY COLOR, TEXTURE AND BRICK DIMENSIONS TO MATCH EXISTING BRICK
 10. EXISTING DOWNSPOUT TO REMAIN. (5506) TO MATCH ADJACENT WALL/COLUMN
 11. NEW ROOF. COLOR TO MATCH EXISTING. SEE SHEET #4.1
 12. EXISTING BASEMENT DOORS TO REMAIN
 13. EXISTING ROOF BATTERS TO REMAIN
 14. NEW DOWNSPOUT (1584.1)
 15. EXISTING UTILITY TO REMAIN
 16. EXISTING UTILITY TO REMAIN
 17. SEISMIC JOINT PER STRUCTURAL PLANS
 18. NEW EXTERIOR LIGHT FIXTURES. REFER TO ELECTRICAL SITE PLAN (101) AND (202)
 19. FOR EXTERIOR LIGHT SPECIFICATIONS
 20. EXHAUST FAN PER MECHANICAL PLANS. REFER TO EXTERIOR FINISH LEGEND FOR MATERIAL AND COLOR

- EXTERIOR ELEVATION GENERAL NOTES**
- A. ALL DOWNSPOUTS (EXISTING AND PROPOSED) TO BE PAINTED TO MATCH ADJACENT WALL OR COLUMN COLOR
 - B. EXISTING WINDOWS TO BE PREPARED AND CLEANED TO RECEIVE NEW PAINT. NEW BRICK VENEER & RAILING TO BE IN PLACE TO MATCH COLOR, TEXTURE AND PROFILE OF EXISTING BRICK

EXTERIOR FINISHES

EXTERIOR WALLS		
BRICK VENEER	W-1	MANUF. SUN-EDWARDS TYPE: PAINTED BRICK VENEER COLOR: SPONGE BLENDED KBO NO. SEALS
PLASTER @ TRASH ENCLOSURE	W-2	MANUF. SUN-EDWARDS TYPE: EXTERIOR PLASTER COLOR: TUFFALL KBO NO. SEALS
ENTRY CANOPY	T-1	MANUF. SUN-EDWARDS TYPE: PAINTED PT WOOD COLOR: LOG CABIN KBO NO. SEALS
METAL RAILING, GATES	T-2	MANUF. CUSTOM TYPE: PAINTED METAL COLOR: SUN-EDWARDS BLACK KBO NO. SEALS
(E) WOOD PANELING, EXPOSED WOOD BEAMS/PTILES, RAILINGS	T-3	MANUF. SUN-EDWARDS TYPE: PAINTED PT WOOD COLOR: LOG CABIN KBO NO. SEALS
METAL RAILING	T-4	MANUF. CUSTOM TYPE: PAINTED METAL COLOR: SUN-EDWARDS LOG CABIN KBO NO. SEALS
EXHAUST FAN SEE MECH. PLANS	T-4	MANUF. PER MECHANICAL PLANS TYPE: PAINTED ALUMINUM COLOR: SUN-EDWARDS BUCKLE KBO NO. SEALS
WINDOWS @ EXISTING BUILDING	D-4	MANUF. (E) TO REMAIN TYPE: PAINTED STEEL COLOR: SUN-EDWARDS LOG CABIN KBO NO. SEALS
WINDOWS @ EXISTING BUILDING	D-4*	MANUF. RETROFITTED ALUMINUM TYPE: PAINTED STEEL COLOR: SUN-EDWARDS LOG CABIN KBO NO. SEALS
WINDOWS @ NEW ADDITION ENCLOSED WALKWAY	D-3	MANUF. ARCADIA TYPE: PAINTED ALUMINUM COLOR: SUN-EDWARDS LOG CABIN KBO NO. SEALS
GUTTERS	D-2	MANUF. SUN-EDWARDS TYPE: BRASS CAST COLOR: SUN-EDWARDS KBO NO. SEALS
WINDOWS @ NEW ADDITION ENCLOSED WALKWAY	D-3	MANUF. ARCADIA TYPE: PAINTED ALUMINUM COLOR: SUN-EDWARDS LOG CABIN KBO NO. SEALS
ROOF	R-1	MANUF. WESTLAKE ROYAL ROOFING TYPE: GUTT ROOF - PACE BISSON STYLE: BARKETT COLOR: WINDUSTRIAL KBO NO. SLAUGHTER

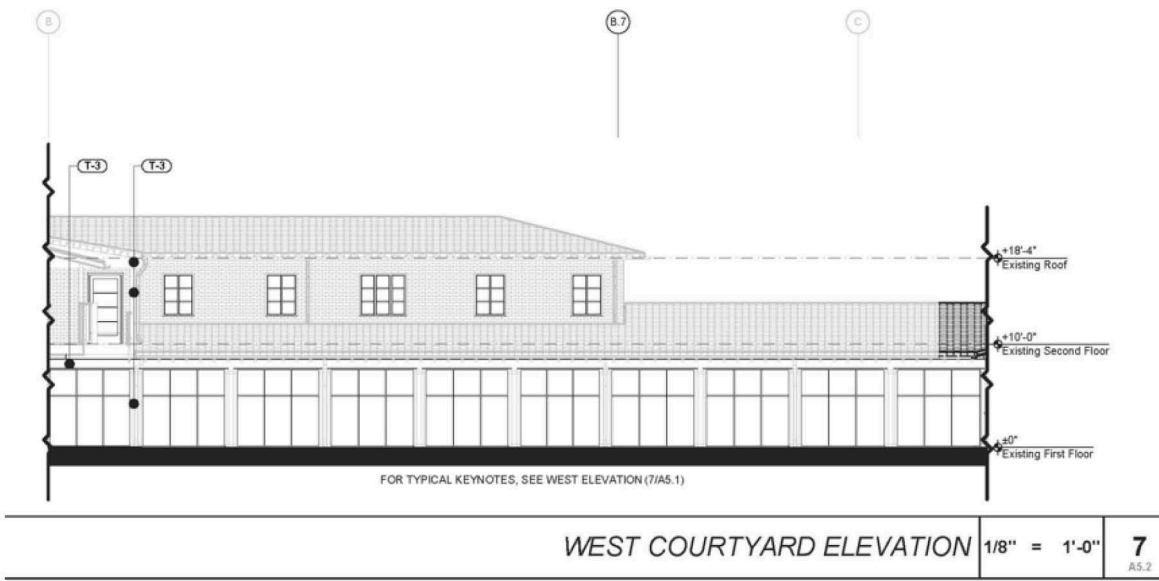
NOTE: FOR WINDOWS IN SCOPE AT EXISTING BUILDING, RETROFIT @ WINDOWS OR PROVIDE NEWLY MANUFACTURED HISTORICALLY APPROPRIATE REPLACEMENT WINDOW. SAMPLE OF MOCK-UP OF RETROFITTED WINDOW & REPLACEMENT WINDOW WILL BE PROVIDED TO THE CITY FOR REVIEW AND APPROVAL.



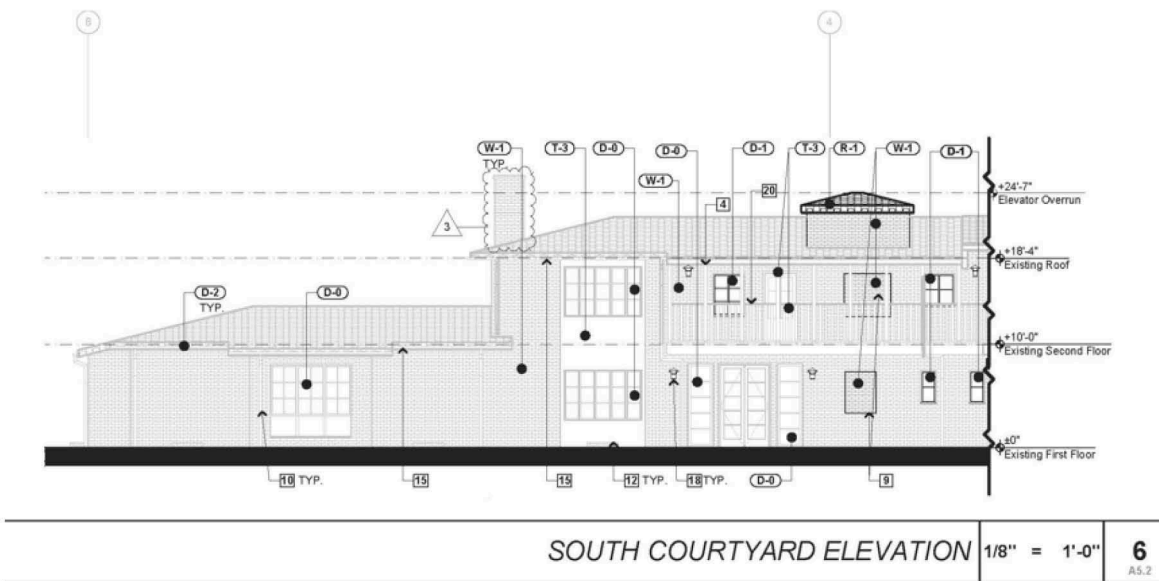
Source: Douglas Pancake Architecture



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- EXTERIOR ELEVATION KEYNOTES**
1. NEW WOOD RAILING TO MATCH EXISTING
 2. NEW DECORATIVE METAL RAILING - GRASS
 3. EXISTING WOOD RAILING IS TO REMAIN. PREP SURFACE TO RECEIVE NEW PAINT FINISH LEGEND (E) RAILING TO RECEIVE NEW GLASS PANEL BEHIND PER DETAIL (18A.4)
 4. EXISTING COLUMN TO REMAIN
 5. WOOD BEAM
 6. EXISTING STAIR
 7. EXISTING DECORATIVE WOOD PANELING
 8. NEW ENTRY CANOPY: SOLIDITE POLYCARBONATE SHEET OVER PT WOOD RAFTERS OVER PT WOOD BEAM. WOOD BEAMS & RAFTERS TO BE PAINTED TO MATCH (E) DECORATIVE PANELING ABOVE. REFER TO DETAIL (11A.1)
 9. PORTION OF NEW WALL TO RECEIVE NEW BRICK VENEER FINISH TO MATCH (E) BRICK VENEER, A.C. TO VERIFY COLOR, TEXTURE AND BRICK DIMENSIONS TO MATCH EXISTING BRICK
 10. EXISTING DOWNSPOUT TO REMAIN. COLOR TO MATCH ADJACENT WALL COLUMN
 11. NEW ROOF: COLOR TO MATCH EXISTING. SEE SHEET A1.1
 12. EXISTING BASEMENT COVER TO REMAIN
 13. EXISTING ROOF RAFTERS TO REMAIN
 14. NEW DOWNSPOUT (11B.1)
 15. EXISTING GUTTER TO REMAIN
 16. NEW GUTTER
 17. SEISMIC JOINT PER STRUCTURAL PLANS
 18. NEW EXTERIOR LIGHT FIXTURES. REFER TO ELECTRICAL SITE PLAN (E1) AND (E2) FOR EXTERIOR LIGHT SPECIFICATIONS
 19. EXHAUST FAN PER MECHANICAL PLANS. REFER TO EXTERIOR FINISH LEGEND FOR MATERIAL AND COLOR.

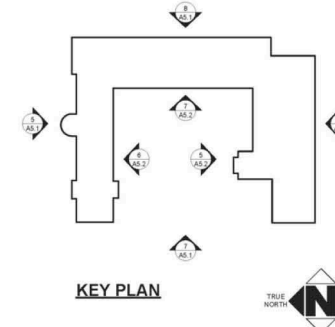
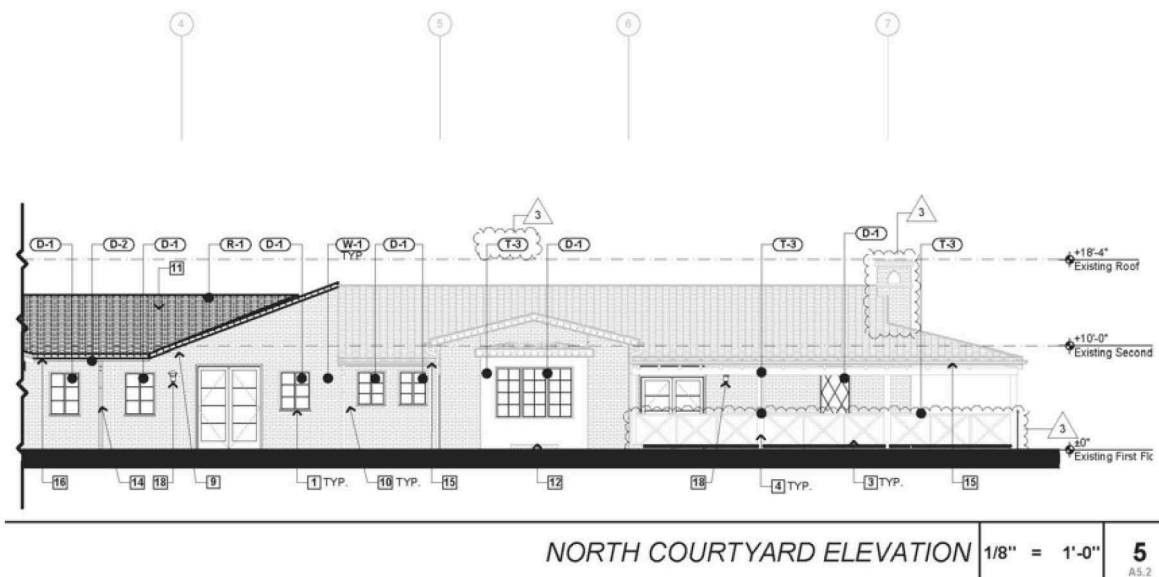


- EXTERIOR ELEVATION GENERAL NOTES**
- A. ALL DOWNSPOUTS (EXISTING AND PROPOSED) TO BE PAINTED TO MATCH ADJACENT WALL OR COLUMN COLOR
 - B. EXISTING WOODWORK IS TO BE PREPARED AND CLEANED TO RECEIVE NEW PAINT
 - C. NEW BRICK VENEER AT AREAS TO BE INFILLED TO MATCH COLOR, TEXTURE AND PROFILES OF EXISTING BRICK

EXTERIOR FINISHES

EXTERIOR WALLS		
BRICK VENEER	W-1	MANUF. DUINN EDWARDS TYPE: PAINTED BRICK VENEER COLOR: BRICK BUTTEREGG ICBO NO.: DES12
PLASTER @ TRASH ENCLOSURE	W-2	MANUF. DUINN EDWARDS TYPE: EXTERIOR PLASTER COLOR: TORTILLA ICBO NO.: DES4
ENTRY CANOPY	T-1	MANUF. DUINN EDWARDS TYPE: PAINTED PT WOOD COLOR: LOG CABIN ICBO NO.: DES12
METAL RAILING, GATES	T-2	MANUF. CUSTOM TYPE: PAINTED METAL COLOR: DUINN EDWARDS BLACK ICBO NO.: DES10
(E) WOOD PANELING, EXPOSED WOOD BEAMS/RAFTERS, RAILINGS	T-3	MANUF. DUINN EDWARDS TYPE: PAINTED PT WOOD COLOR: LOG CABIN ICBO NO.: DES12
METAL RAILING	T-4	MANUF. CUSTOM TYPE: PAINTED METAL COLOR: DUINN EDWARDS LOG CABIN ICBO NO.: DES10
EXHAUST FAN SEE MECH PLANS	T-5	MANUF. PER MECHANICAL PLANS TYPE: PER ALUMINUM COLOR: DUINN EDWARDS BRONZE ICBO NO.: DES13
WINDOWS @ EXISTING BUILDING	D-4	MANUF. IS TO REMAIN TYPE: PAINTED STEEL COLOR: DUINN EDWARDS LOG CABIN ICBO NO.: DES12
WINDOWS @ EXISTING BUILDING	D-4*	MANUF. RETROFITTED (L) WINDOWS TYPE: ALUMINUM COLOR: DUINN EDWARDS LOG CABIN ICBO NO.: DES12 OR MANUF. ARCADIA TYPE: PAINTED ALUMINUM COLOR: DUINN EDWARDS LOG CABIN ICBO NO.: DES12
GUTTERS	D-2	MANUF. DUINN EDWARDS TYPE: EXTERIOR PAINT COLOR: STING BUTTEREGG ICBO NO.: DES13
WINDOWS @ NEW ADDITION/ ENCLOSED WALKWAY	D-3	MANUF. ARCADIA TYPE: PAINTED ALUMINUM COLOR: DUINN EDWARDS LOG CABIN ICBO NO.: DES12
ROOF	R-1	MANUF. WESTLAKE ROYAL ROOFING TYPE: CLAY ROOF - SPICE BRICK STYLE: BARREL TILE COLOR: NEWSPAPER TILING ICBO NO.: (14A)(17)(8)

*NOTE: FOR WINDOWS IN SCOPE AT EXISTING BUILDING, RETROFIT (E) WINDOWS OR (E) NEWLY MANUFACTURED HISTORICALLY APPROPRIATE REPLACEMENT WINDOW SAMPLE OF MOCK-UP OF RETROFITTED WINDOW & REPLACEMENT WINDOW WILL BE PROVIDED TO THE CITY FOR REVIEW AND APPROVAL.



Source: Douglas Pancake Architecture

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Exhibit 4 Project Elevations continued

Westminster Gardens/Morrison House Renovation Project
Duarte, California

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3 Determination

3.1 – Environmental Factors Potentially Affected

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a 'Potentially Significant Impact' as indicated by the checklist on the following pages.

<input type="checkbox"/>	Aesthetics	<input type="checkbox"/>	Agriculture Resources	<input type="checkbox"/>	Air Quality
<input type="checkbox"/>	Biological Resources	<input checked="" type="checkbox"/>	Cultural Resources	<input type="checkbox"/>	Energy
<input type="checkbox"/>	Geology /Soils	<input type="checkbox"/>	Greenhouse Gas Emissions	<input type="checkbox"/>	Hazards & Hazardous Materials
<input type="checkbox"/>	Hydrology / Water Quality	<input type="checkbox"/>	Land Use / Planning	<input type="checkbox"/>	Mineral Resources
<input type="checkbox"/>	Noise	<input type="checkbox"/>	Population / Housing	<input type="checkbox"/>	Public Services
<input type="checkbox"/>	Recreation	<input type="checkbox"/>	Transportation/Traffic	<input type="checkbox"/>	Tribal Cultural Resources
<input type="checkbox"/>	Utilities / Service Systems	<input type="checkbox"/>	Wildfire	<input type="checkbox"/>	Mandatory Findings of Significance

3.2 – Determination

<input type="checkbox"/>	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/>	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
<input type="checkbox"/>	I find that the proposed project MAY have a 'potentially significant impact' or 'potentially significant unless mitigated' impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Name: Nick Baldwin, Associate Planner

Date

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4 Evaluation of Environmental Impacts

4.1 – Aesthetics

Except as provided in Public Resources Code Section 21099, would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within view from a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public view are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) No Impact. Scenic vistas can be impacted by development in two ways. First, a structure may be constructed that blocks the view of a vista. Second, the vista itself may be altered (i.e., development on a scenic hillside). Scenic vistas can generally be defined as natural landscapes that form views of unique flora, geologic, or other natural features that are generally free from urban intrusions. Typical scenic vistas include views of mountains and hills, large, uninterrupted open spaces, and waterbodies. Scenic vistas generally play a large role in the way a community defines itself and also effects development patterns as projects are designed to take advantage of viewsheds.

The proposed project would not add onto the Morrison House building in a way that would block any scenic views. The City of Duarte sits just south of the San Gabriel Mountains and the Angeles National Forest. The mountains and forest land are accessible from the city and provide a scenic mountain

backdrop characteristic of Los Angeles County. The proposed project consists of modifications to the interior and landscaping of an already existing structure, and will not further interfere with any views, and as such, there will be no impacts.

b) No Impact. There are no historic highways on the project site, and the site is not visible to a designated state scenic highway as identified on the California Scenic Highway Mapping System.¹ The nearest officially designated scenic highway is California State Route 2, approximately 19 miles northwest of the project site, intersecting the San Gabriel Mountains.² As of this document being written, State Route 39 in Azusa and the San Gabriel Mountains has not been officially designated but is eligible. Typical examples of natural scenic resources include rock outcroppings, trees, and prominent ridgelines. The project is not expected to significantly impact scenic resources. No impacts will occur.

c) No Impact. The project is located in an urbanized area and is already developed. The proposed project involves making improvements to the already built Morrison House and does not involve an expansion or increase in building height and, as such, the project would not interfere with the visibility of scenic vistas. The proposed improvements to the structure and building site comply with all specific plan, and development code requirements and will enhance accessibility to outdoor areas around the house, and will improve the scenic quality of the building site. There will be no adverse impacts.

d) No Impact. The proposed project involves interior improvements to the Morrison House building including, but not limited to, renovating office spaces, adding shade structures at entry points, and interior cosmetic work, as well as exterior landscaping improvements on walkways, footbridges, and a BBQ patio among other improvements. The structure is not currently a substantial source of light and glare, and improvements to the building are not expected to produce any increase in glare or light that would affect day or nighttime views. The project would have no impacts.

4.2 – Agriculture and Forest Resources

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104 (g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) No Impact. The California Important Farmland Finder prepared by the California Department of Conservation does not identify the project site as being located on prime farmland, unique farmland, or

farmland of Statewide Importance.³ The project site is identified to be located in a built-up or urbanized area. There will be no impacts to potential farmland conversation.

b) No Impact. The project site is not located on land that is used for or conflicts with agriculturally zoned land. The project site is currently zoned Specific Plan (SP), for the Westminster Gardens community, which does not allow for agricultural uses.⁴ The project site is not located on a Williamson Act parcel in Los Angeles County.⁵ There will be no conflict with existing zoning for agricultural use or a Williamson Act contract, therefore there will be no impact.

c) No Impact. Public Resources Code Section 12220(g) identifies forest land as *land that can support 10-percent native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits.* The project site and surrounding properties are not currently being managed or used for forest land as identified in Public Resources Code Section 12220(g). The project site is zoned as Specific Plan for a senior living community in an urbanized area, and as such, development of the project would have no impact to any timberland or forestland zoning.

d) No Impact. As indicated in 4.2.c), the area is not designated as forest land; thus, there will be no loss of forest land or conversion of forest land to non-forest use as a result of the project.

e) No Impact. The project site is currently developed within a senior living community with multiple residential and recreational buildings, within an urbanized environment. The project does not propose any changes to the surrounding environment that would convert farmland to non-agricultural uses. Zoning to the east, west, and north of the site is for residential uses, and the I-210 Highway bounds the site to the south. None of the surrounding sites contains existing forest uses. The development of this proposed project would not change the existing environment in a manner that would result in the conversion of forest land to non-forest use. No impact would occur.

4.3 – Air Quality

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. A project that conflicts with or obstructs the implementation of the South Coast Air Quality Management District’s (SCAQMD) South Coast Air Basin 2016 Air Quality Management Plan (AQMP) could hinder the implementation of the AQMP, delay efforts to meet attainment deadlines, and/or interfere with SCAQMD efforts to maintain compliance with, and attainment of, applicable air quality standards. Pursuant to the methodology provided in Chapter 12 of the SCAQMD *CEQA Air Quality Handbook*, consistency with the AQMP is affirmed if the project (SCAQMD, 1993):

- 1) Is consistent with the growth assumptions in the AQMP; and
- 2) Does not increase the frequency or severity of an air quality standards violation or cause a new one.

The proposed project would not induce population growth and involves only cosmetic and accessibility improvements to an already existing structure. The project involves the addition of 1,274 sq. ft. to the Morrison House for new restrooms, lounge, and kitchen space. The proposed expansions would not contribute to population growth unforeseen population growth. Furthermore, the Morrison House is used for administrative and aesthetic purposes in Westminster Gardens, a senior living community with an established population. The improvements made to the building will not impact expand the building or effect population growth, therefore, the proposed project would not conflict with the first consistency criterion. The project would not involve any demolition or grading on site, as the proposed project involves only minor improvements to an already existing building and the parts of the building site. Air

quality thresholds would not exceed the construction or operational air quality thresholds maintained by the SCAQMD. The proposed project would not conflict with or obstruct the implementation of the SCAQMD 2016 AQMP (SCAQMD, 2017b).⁶

b) Less than Significant Impact. The proposed project would generate negligible short-term construction emissions. Operational emissions are not expected to change as the project site is already developed and in use. Operational uses of the Morrison House will not change, and the frequency of visitation to the building, whether it be staff or Westminster Gardens residents, will be similar to existing conditions and will not induce a net increase in any criteria pollutant. Impacts will be less than significant.

c) Less than Significant Impact. The SCAQMD identifies sensitive receptors as populations more susceptible to the effects of air pollution than the general population. Some people are more affected by air pollution than others. Sensitive air quality receptors include specific subsets of the general population that are susceptible to poor air quality and the potential adverse health effects associated with poor air quality. Both CARB and the SCAQMD consider residences, schools, parks and playgrounds, childcare centers, athletic facilities, long-term health care facilities, rehabilitation centers, convalescent centers, and retirement homes to be sensitive air quality land uses and receptors (SCAQMD 2017a; CARB 2005). Residents of Westminster Gardens would constitute a nearby population sensitive to substantial pollutant concentrations.

Due to the very limited nature of renovation activities which will not include any grading or expansion of the building so emissions from construction are anticipated to be minimal. Since the project would not involve an increase in building area or substantial intensification the use of the existing facilities operational emission would be similar to the existing conditions and no substantial increase in emissions are anticipated. Based on the relatively minor nature of renovations to be made during construction and the fact that there will be no increase in the existing floor area of the building, increase in emissions with respect to their potential impact on nearby receptors would be less than significant.

d) Less than Significant Impact. According to the SCAQMD CEQA Air Quality Handbook, land uses associated with odor complaints include agricultural operations, wastewater treatment plants, landfills, and certain industrial operations (such as manufacturing uses that produce chemicals, paper, etc.). Odors are typically associated with industrial projects involving the use of chemicals, solvents, petroleum products, and other strong-smelling elements used in manufacturing processes, as well as sewage treatment facilities and landfills. The Morrison House is used as office and event space for Westminster Gardens, and contains an interior courtyard with landscaping, gardening, and a reflecting pond. The project site does not involve the above-mentioned land uses or use such chemicals, and there will be no impacts related to odor.

4.4 – Biological Resources

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Less than Significant Impact. Approximately 53%, or 3.6 square miles of incorporated Duarte, is undeveloped land adjacent to the Angeles National Forest on the western slopes of the mountains, creating a large open space resource for the city.⁷ The project site is in an urbanized area of Duarte in the south-central portion of the City. Specifically, the Morrison House is located in a developed residential community, and is surrounded by single and multi-family residences to the east, north, and west, and is bounded by the I-210 Highway to the south. The proposed project involves interior renovations to the Morrison House, exterior renovations to the courtyard, landscaping, and ponds, as well as making general accessibility improvements. Since the project is located in an already heavily developed portion of Duarte devoid of natural open space, it would not disturb existing habitat, or impact local candidate, sensitive or sensitive species of fauna and flora. Impacts would be less than significant.

b) No Impact. The local San Gabriel Mountains provide riparian forest habitats for local wildlife, however the project site is located away from Duarte’s wilderness areas as described in the City’s General Plan. Improvements proposed in the project would take place in an urbanized section of Duarte, and as such will not affect the riparian habitat, or other sensitive natural community.

c) No Impact. There are no wetlands or riparian areas on or near the project site. No impacts will occur.

d) No Impact. Wildlife corridors link together areas of suitable habitat that are otherwise separated by rugged terrain, changes in vegetation, or human disturbance. The fragmentation of open space areas by urbanization creates isolated “islands” of wildlife habitat. In the absence of habitat linkages that allow movement to adjoining open space areas. The project site is currently developed and in an urbanized area of the City of Duarte. While City jurisdiction does include wilderness areas, the project site is located approximately 4.5 miles south of any undeveloped forest land associated with the local San Gabriel Mountains.⁸ There are no wildlife corridors within or adjacent to the site. There are no waterways within or adjacent to the project site used by migratory fish species or as nursery sites. Furthermore, improvements being made to the project site would not interfere with any wildlife corridors. No impacts will occur.

e) No Impact. Article 3 of the Development Code of the City of Duarte establishes that a biological resource survey must be conducted for any improvements or developments within Hillside Designation Boundaries.⁹ The project site is not located within any of these boundaries and will not interfere with this policy. No impacts will occur.

f) No Impact. The project site is not located within a Natural Community Conservation Plan or Habitat Conservation Plan Area. No impacts will occur.

4.5 – Cultural Resources

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource pursuant to '15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to '15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of dedicated cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

A Historic Resources Technical Report was conducted by the Historic Resources Group, and completed November, 2022. Conclusions made in this section of the document are derived from the report. The Technical Report is included and available for viewing as Appendix A. For a more detailed discussion about the historic significance of the Morrison House the reader is referred to this report.

a) Less than Significant Impact with Mitigation Incorporated. The project site is already developed and located in an urbanized area of Duarte. The proposed project involves renovations to the Morrison House building and associated landscaping. The report concluded that the Morrison House is eligible for listing in the National Register and California Register of Historic Places at the local level of significance following Criteria B/2 and C/3; its association with an important person and architectural merit respectively. With its eligibility, the Morrison House is considered a historic resource as defined by CEQA. The proposed project would not result in the alteration or destruction of such characteristics that qualify its eligibility in the above registers. Before alterations to the Morrison House are approved, the project site requires proper documentation and recordation of the existing conditions of the historic resource. In doing this, the historic character of the site will be recorded and preserved prior to project operations taking place. The project proposes several alterations to the interior and exterior of the Morrison House. The original wood railings will be kept, with new glass panels added with adjustable glass clamps. The historic railings will remain in place, and the new railings will not visually obstruct the originals. The project includes an addition to the southeastern corner of the building. The addition will be located at the rear of the building in a less visible location, and will utilize similar materials to the original building, keeping in character and appearance, and not detracting from its historic quality. The existing steel-sash windows and doors will be retained, but updated for energy-efficiency and safety considerations, still maintaining their initial design and character. One characteristic of significance to the project site are the windows of the Morrison House. The project requires that all windows shall be retained as part of the project, however, if a historic window along a secondary façade is so severely deteriorated that it cannot be repaired, the applicant may request City approval to replace the deteriorated window. Implementation of the Mitigation Measures CUL-1 and CUL-2 would reduce any potential impacts to this historic resource to less than significant.

b) Less Than Significant Impact. The project site is already developed and located in an urbanized area of Duarte. The proposed project involves renovations to the Morrison House building and associated landscaping. No grading will take place, and any archaeological resources that may exist beneath the project site will not be encountered or disturbed due to the limited nature of construction activities taking place. There will be less than significant impacts to archaeological resources.

c) Less Than Significant Impact. There are no existing or known cemeteries on or adjacent to the project site. As a result, project implementation is not anticipated to impact human remains associated with a cemetery. No known human remains are anticipated to be located on or beneath the project site. Construction activities will be relatively minor in nature, involving renovations to already existing structures and landscapes. Construction will not involve significant earth-moving operations. Impacts to buried human remains will be less than significant as a result of project construction.

Mitigation Measures

CUL-1 Documentation. Prior to the issuance of a building permit for alteration, abatement, renovation/rehabilitation, or expansion of the Morrison House, the applicant shall retain a qualified historic preservation professional who meets the Secretary of the Interior’s Professional Qualification Standards to document the existing condition of the eligible historic resource in accordance with accepted industry guidelines for such documentation. The photographs shall include overall views, exterior façades, interiors, and details of specific elements that contribute to the historic integrity of the structure. The documentation shall include narrative information about the building, and if available, copies of blueprints, plans, or drawings of the original structure. Hard copies and/or electronic versions of the archival photographic documentation shall be assembled and sent to the Southern California Information Center at California State University, Fullerton and the City of Duarte, and also retained by the applicant.

CUL-2 Window Replacement. The City of Duarte may approve a replacement window if the below conditions are met.

- The applicant can demonstrate that the window is deteriorated beyond repair. A determination as to when deterioration is sufficiently severe to justify replacement shall be based on documentation of the condition of the window. At a minimum documentation must include sufficient good quality photographs to clearly depict the full range of conditions; description of the location of the window; and an evaluation by a qualified professional that the window cannot be repaired.
- The proposed replacement window fits within the existing opening, and shall match the existing window in design, color, texture, material, and operation. Moreover, the window sections provided for replacement windows must clearly show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details, including joinery, must also be apparent.

4.6 – Energy

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption or energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. Implementation of the project may lead to a marginal increase in demand for electricity and gasoline at the project site during construction and operation. These potential increases are discussed in more detail below.

Electricity

Construction. Temporary electric power would be required for lighting and electronic equipment and power tools used by the construction crew. However, the electricity used for such activities would be temporary and would have a negligible contribution to the project’s overall energy consumption.

Operational. New interior improvements to the Morrison House include the installation of an elevator as well as a new catering kitchen and public restroom. The improvements made will lead to a marginal increase in electricity consumption. However, the project improvements aim to modernize and improve the energy efficiency of the Morrison House. Exterior improvements include the addition of rooftop solar ready areas. Any future installation of solar panels after the completion of this project would improve the energy efficiency of the building, and outweigh any increase in consumption from new building facilities. Furthermore, legislation passed by the State of California will lead to the gradual expansion of renewable energy use in the state. Improvements made to the Morrison House will allow for greater energy efficiency. For example, renovations made to the roof are being made to make solar panel placement accessible, and window refurbishments with better glazing and weatherstripping will increase energy efficiency as well.

Natural Gas

Construction. Natural gas consumption is not anticipated during construction operations of the project. Fuels used for construction would generally consists of diesel and gasoline, which are discussed in the next subsection. Any amounts of natural gas that may be consumed during project construction would be nominal and would have a negligible contribution to the project’s overall energy consumption.

Operational. Natural gas consumption is anticipated to be nominal during normal building operations, and is assumed to mostly be consistent with heating, cooling, cooking, and other various uses. Natural gas consumption is not anticipated to increase by a substantial amount, and consumption of natural gas during the typical building operating hours will not be wasteful or inefficient; as such, impacts would be less than significant.

Diesel and Gasoline Fuel

Construction. Diesel and gasoline fuels, also referred to as petroleum in this subsection, would be consumed throughout construction of the project. Fuel consumed by construction equipment, and vehicle miles traveled (VMT) associated with the transportation of construction materials (e.g., deliveries to the site) and worker trips to and from the site would also result in petroleum consumption. Whereas on-site, some heavy-duty construction equipment and delivery trucks would predominantly use diesel fuel, construction workers would generally rely on gasoline-powered vehicles. However, the diesel and gasoline used for construction activities would be temporary and would have a negligible contribution to the project's overall energy consumption. In addition, the project would be required to comply with CARB's Airborne Toxic Control Measures, which restricts heavy-duty diesel vehicle idling to five minutes. Since petroleum use during construction would be temporary and required to conduct development activities, it would not be wasteful or inefficient, and impacts would be less than significant.

Operational. Fuel consumption associated with the project's operational phase would primarily be attributable to customers driving to and from the site (vehicle miles traveled). Over the lifetime of the project, the fuel efficiency of the vehicles being used by residences and delivery services is expected to increase. As such, the amount of petroleum consumed as a result of vehicular trips to and from the project site during operation is anticipated to decrease over time. Although the project would increase petroleum use in the region during construction and initial operation, the use would be a small fraction of the statewide use and with fuel efficiency increasing gradually throughout the state, this would diminish over time. As such, petroleum consumption associated with the project would not be considered inefficient or wasteful and would result in a less-than-significant impact.

b) Less than Significant Impact. The project would not conflict with or obstruct a state or local plan adopted for the purposes of increasing the amount of renewable energy or energy efficiency. The City of Duarte Code of Ordinances adopted both the 2019 California Energy Code and Uniform Code for Solar Energy Installations. The project would be required to comply with the above-mentioned codes, and project improvements made to the Morrison House will not conflict or obstruct a state or local renewable energy or efficiency plan. Impacts will be less than significant.

4.7 – Geology and Soils

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1997), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a.i) Less than Significant Impact. No known fault lines intersect the project area, however, there are several faults that run through or are in close proximity to the City of Duarte. The Sierra Madre fault zone runs directly through Duarte, and is approximately 1.6 miles northeast of the project site. Other fault-lines that run near the City include the Raymond Fault and the Sawpit section of the Sierra Madre Fault. Impacts will be less than significant.

a.ii) Less than Significant Impact. Duarte is also at risk of very strong ground acceleration from earthquakes originating from the San Andreas and Puente Hills Faults. The project is located in an area subject to strong ground shaking from earthquakes, and significant damage to structures during a large earthquake may be unavoidable. Per the City’s General Plan, the potential for ground shaking is severe due to the location of fault lines in and around the City. Improvements made to the Morrison House building will need to provide reasonable protections against personal injury. Adhering to the design and repair requirements adopted from the 2019 California Building Code (CBC)¹⁰ will be sufficient for mitigating any potential impacts. While structures may be damaged during earthquakes, adherence to these design requirements will minimize damage to the structure and its surroundings as they are designed to not collapse. Impacts due to strong ground shaking would be less than significant.

a.iii) Less than Significant Impact. Liquefaction is a form of ground failure that occurs when soil transforms from a solid state to liquefied condition due to intense seismic ground shaking. Liquefaction typically occurs in loose granular materials, with saturated silt and clay contents, at shallow groundwater tables less than 50 feet from the surface. Parts of the City of Duarte are susceptible to liquefaction and ground failure from seismically induced ground shaking. However, the City’s General Plan indicates that the project site is not located in an area with any susceptibility to liquefaction.¹¹ The nearest groundwater well is approximately 1.8 miles east of the project site, and was last measured July, 2021 to have a depth below ground surface of 130 ft.¹² Impacts will be less than significant, as the project is not located in an area susceptible to liquefaction, and the proposed project involves improvements to an already existing structure that will not create a major disturbance to the ground.

a.iv) No Impact. The City’s General Plan identifies areas in Duarte susceptible to landslides; the project site is generally flat and not located in an area with a high susceptibility to landslide or ground subsidence.¹³ Impacts will be less than significant.

b) Less than Significant Impact. Topsoil is used to cover surface areas for the establishment and maintenance of vegetation due to its high concentrations of organic matter and microorganisms. The project is located in an already developed area of Duarte, although there is the potential to expose surface soils to wind and water erosion during construction activities. However, wind erosion would be minimized through soil stabilization measures required by SCAQMD Rule 403 (Fugitive Dust), such as daily watering. Water erosion would be prevented through the City’s standard erosion control practices required pursuant to the CBC and the National Pollution Discharge Elimination System (NPDES)

regulations, such as silt fencing, fiber rolls, or sandbags. Following construction of the project improvements, the site itself will consist of the Morrison House and landscaping in the interior courtyard and around the building. Impacts related to soil erosion would be less than significant with implementation of existing regulations.

c) Less than Significant Impact. Lateral spreading is the downslope movement of surface sediment due to liquefaction in a subsurface layer. The downslope movement is due to a combination of gravity and ground shaking. Lateral spreading has been observed to generally take place toward a free face (i.e., retaining wall, slope, or channel) and to lesser extent on ground surfaces with a very gentle slope. As previously discussed, the project site is in an area with a low susceptibility to liquefaction, and thus a low potential for lateral spreading to occur on the project site. The project site is located in a flat developed area, and any soil instability on the project site would not be cause for a landslide. Project improvements are required to be in compliance with existing CBC regulations, which limit hazardous impacts that would arise from any unstable soils. Impacts will be less than significant.

d) No Impact. According to the City's General Plan, soils in the project area are non-expansive, there are no design considerations warranted for expansive soils.¹⁴ No impacts will occur.

e) No Impact. The project site is already developed and connected to the existing municipal sewer system. The proposed project would remain connected to this system once completed, and would not require use of septic tanks. No impact will occur.

f) Less than Significant Impact. The project site is already developed and located in a highly urbanized and trafficked area, and as such has been highly disturbed during previous earth moving activities. Any buried paleontological resources would likely have been already been uncovered or destroyed during these activities. Furthermore, construction activities associated with the proposed project would not involve intensive earth moving activities, and any remaining paleontological resources in the area would not be uncovered. Impacts to paleontological resources will be less than significant as a result of construction of the proposed project.

4.8 – Greenhouse Gas Emissions

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. Gases that trap heat in the atmosphere and affect regulation of the Earth’s temperature are known as greenhouse gases (GHGs). GHG that contribute to climate change are a different type of pollutant than criteria or hazardous air pollutants because climate change is global in scale, both in terms of causes and effects. Some GHG are emitted to the atmosphere naturally by biological and geological processes such as evaporation (water vapor), aerobic respiration (carbon dioxide), and off-gassing from low oxygen environments such as swamps or exposed permafrost (methane); however, GHG emissions from human activities such as fuel combustion (e.g., carbon dioxide) and refrigerants use (e.g., hydrofluorocarbons) significantly contribute to overall GHG concentrations in the atmosphere, climate regulation, and global climate change. The six most common GHG’s are described below.

- Carbon Dioxide (CO₂)
- Methane (CH₄)
- Nitrous oxide (N₂O)
- Sulfur hexafluoride
- Hydrofluorocarbons (HFCs) and
- Perfluorocarbons (PFCs).

The proposed project would generate GHG emissions during short-term construction and may generate some emissions during long-term operation. Construction activities would generate GHG emissions primarily from equipment fuel combustion as well as worker and vendor trips to and from the project site during site preparation, construction, renovations, and equipment installation. Construction activities would cease to emit GHG upon completion. Once completed, the project site will continue to operate as an administrative and recreational facility for the Westminster Gardens community. Staff will most likely be driving to the facility, and the vehicle travel will in small part contribute to GHG emissions. However, as the project site is already developed and already in use, the proposed improvements will not substantially increase GHG emitted. In fact, the proposed improvements include refitting the roof of the building, so it is capable of supporting solar panels in the future. Improvements made to the Morrison House will improve the efficiency of the building in the long term; impacts to GHG emissions will be less than significant.

b) Less than Significant Impact. The project would not conflict with CARB’s Scoping Plan, the Southern California Association of Governments (SCAG) 2045 RTP/SCS, the City of Duarte General Plan, or the City of Energy Action Plan. The project’s consistency with these plans is described in more detail below.

CARB Scoping Plan

The 2017 Climate Change Scoping Plan is CARB’s primary document used to ensure State GHG reduction goals are met. The plan identifies an increasing need for coordination among State, regional, and local governments to achieve the GHG emissions reductions that can be gained from local land use planning and decisions. The major elements of the 2017 Climate Change Scoping Plan, which is designed to achieve the State’s 2030 GHG reduction goal include:

- Implementing and/or increase the standards of the Mobile Source Strategy, which include increasing zero emission vehicle (ZEV) buses and trucks.
- Low Carbon Fuel Standard (LCFS), with an increased stringency (18 percent by 2030).
- Implementation of SB 350, which expands the Renewable Portfolio Standard (RPS) to 50 percent and doubles energy efficiency savings by 2030.
- California Sustainable Freight Action Plan, which improves freight system efficiency, utilizes near-zero emissions technology, and deployment of ZEV trucks.
- Implementing the proposed Short-Lived Climate Pollutant Strategy, which focuses on reducing CH₄ and hydrocarbon emissions by 40 percent and anthropogenic black carbon emissions by 50 percent by year 2030.
- Continued implementation of SB 375.
- Post-2020 Cap-and-Trade Program that includes declining caps.
- 20 percent reduction in GHG emissions from refineries by 2030.
- Development of a Natural and Working Lands Action Plan to secure California’s land base as a net carbon sink.

Nearly all of the specific measures identified in the 2017 Climate Change Scoping Plan would be implemented at the state level, with CARB and/or another state or regional agency having the primary responsibility for achieving required GHG reductions. The project, therefore, would not directly conflict with any of the specific measure identified in the 2017 Climate Change Scoping Plan.

City of Duarte General Plan

The project involves the renovation of the Morrison House in the Westminster Gardens Senior Living Community. The area is already developed and is zoned Specific Plan (SP) per the City General Plan. Improvements to the building are to improve the accessibility and general efficiency of the building, and will not interfere with the City’s General Plan.

City of Duarte Energy Action Plan

The City of Duarte Energy Action Plan is designed to improve the energy efficiency of the City. The plan assists the City in prioritizing goals, policies, and assign appropriate energy consumption targets across the community. The plan includes statewide and municipal policies that future developments in the community are expected to adhere to. The project would be in compliance with the City’s Energy Action Plan, as the project involves negligible improvements to an already existing structure and will generally make it more energy efficient.

4.9 – Hazards and Hazardous Materials

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. Implementation of the project could create significant hazards as a result of the routine transport, use, or disposal of hazardous materials during the construction of the proposed project.

Short-term Activities (Construction): Project construction activities would involve the temporary use and transport of fuels, equipment, earth and building materials, among other potentially hazardous materials. Impacts to the surrounding area through the disposal of on-site hazardous materials and waste would be less than significant. The project would be in the jurisdiction, and in compliance of the Environmental Protection Agency (EPA) and Los Angeles County, which manage the inspection, regulation, transportation, use, and disposal of hazardous materials in Duarte. Per the City's General Plan, the project site and proposed project would be in compliance with federal, state, and local regulations pertaining to safe transport, use, handling, and disposal of hazardous materials. Impacts will be less than significant impact.

Long-term Activities (Operation): The project site will continue to operate as an administrative building and recreational space for Westminster Gardens staff and residents after project improvements are completed. Hazardous materials that may be used on site include Household Hazardous Waste (HHW), typically used for cleaning, disinfecting, painting, etc., and prohibited or discouraged from being disposed of at local landfills. The LA County Department of Public Works manages local collection services for the disposal of such waste. Following local guidance and strategies, the use of common household hazardous materials, created waste, and their disposal do not present a substantial health risk to the community. Impacts associated with the routine transport, use, or disposal of hazardous materials or wastes would be less than significant.

b) Less than Significant Impact. According to the California State Water Resources Control Board (SWRCB) there are no open cases of leaking underground storage tanks (LUST) on site.¹⁵ Impacts would be less than significant in regard to the subsurface release of hazardous materials into the environment. Impacts to the public through the accidental release of hazardous materials would be less than significant with diligent sampling and removal methods taken.

c) No Impact. Westminster Gardens is located approximately 0.4 miles east of Duarte High School, more than a quarter mile distance. The project would not emit hazardous emissions or handle hazardous materials, substances, or waste within one-quarter mile of the school. No Impacts will occur.

d) No Impact. The proposed project is not located on a site listed on the state *Cortese List*, a compilation of various sites throughout the state that have been compromised due to soil or groundwater contamination from past uses.¹⁶

Based upon review of the *Cortese List*, the project site is not:

- listed as a hazardous waste and substance site by the Department of Toxic Substances Control (DTSC),¹⁷
- listed as a leaking underground storage tank (LUST) site by the State Water Resources Control Board (SWRCB),¹⁸
- listed as a hazardous solid waste disposal site by the SWRCB,¹⁹
- currently subject to a Cease and Desist Order (CDO) or a Cleanup and Abatement Order (CAO) as issued by the SWRCB,²⁰ or
- developed with a hazardous waste facility subject to corrective action by the DTSC.²¹

e) Less than Significant Impact. The project site is not located in an area with an airport land use plan and is located more than two miles away from the San Gabriel Valley Airport, approximately 7.5

miles southwest of the project site.²² The project would not result in a safety hazard or excessive noise for people residing or working in the project area, there will be no impacts.

f) Less than Significant Impact. Construction operations conducted at the project site will not significantly impede the flow of traffic on major evacuation routes in and around the City of Duarte, as the project site is located within a gated community. The project would not impair implementation of or physically interfere with an adopted emergency response plan or evacuation plan because no permanent public street or lane closures are proposed. Construction work in the street associated with the project would be limited to a nominal potential traffic diversion, within the Westminster Gardens community, and is not anticipated to affect traffic on Santo Domingo Avenue. Project impacts would be less than significant.

g) Less than Significant Impact. The project site is not located within a State Responsibility Area or other wildland areas.²³ The nearest such area is located to the east outside of the City of Duarte. Any potential impacts related to wildland fire would be less than significant.

4.10 – Hydrology and Water Quality

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. The project site is located in the Westminster Gardens Senior Living Community, zoned as Specific Plan (SP). The area is utilized for residential purposes for elderly residents, and includes recreational and administrative facilities. The proposed project involves interior and exterior improvements to the already built Morrison House building and courtyard. Due to the project involving improvements to an already built area, and the nominal nature of the project itself, a Water Quality Management Plan (WQMP) was not prepared. The Morrison House will continue operating regularly after improvements are completed, as such, the project would not violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality. Impacts to water quality standards will be less than significant.

b) Less than Significant Impact. The project site is not utilized for groundwater recharge and includes landscaping that will contribute to infiltration. The project site is located in the San Gabriel Valley Basin. The nearest monitoring well to the project site is approximately 1.8 miles east of the site, along the San Gabriel River. As of the writing of this document, the most recent readings available via the Geotracker website were taken July 21st, 2021, with a depth to groundwater of 130 ft. The well is currently inactive and used only for observational purposes. The proposed project would not substantially decrease groundwater supplies or interfere substantially with groundwater recharge, in such a way that may impede sustainable groundwater management of the basin. Improvements made to the project site will have a less than significant impact on the groundwater table level.

c.i) Less than Significant Impact. According to the City of Duarte General Plan, Conservation and Open Space Element, the San Gabriel River runs within and adjacent to Duarte.²⁴ The river and its tributaries do not intersect the project site. Further, the project would not result in the significant alteration of drainages and drainage patterns, as existing drainage facilities on-site will continue to be regularly maintained as they were before project improvements were made. Proper maintenance of drainage facilities will decrease the likelihood of erosion of sensitive stream habitats, and as such any impacts to streams or rivers near the project site will be less than significant.

c.ii) Less than Significant Impact. No streams traverse the project site; thus, the project would not result in the alteration of any stream course. Project improvements include the restoration of the reflecting pond, redesign of the courtyard, enhancement and installation of ADA accessible pathways. Exterior improvements made to the project site are meant to enhance the accessibility of the Morrison House. Such improvements will not increase surface runoff. The project would be required to comply with construction pollutant reductions, BMPs, inspections, and other applicable drainage and runoff guidelines pursuant to the Duarte Municipal Code Chapter 6.15, Stormwater and Urban Runoff Pollution Control.²⁵ Any surface runoff associated with the proposed development would be collected on site through multiple drainage areas and infiltration systems, and conveyed to the City's storm drainage system. Impacts will be less than significant.

c.iii) Less than Significant Impact. Development of the proposed project is not anticipated to change the net area of impermeable surfaces on the site; and operations in the project area will not change after improvements are completed. Runoff from the project site will continue to be collected through on-site drainage areas and into the City's storm drainage system. All drainage plans are subject to City review and approval. The proposed project is zoned for Specific Plan use, and improvements made to the project site would not degrade drainage efficiency or quality. With proper maintenance of drainage facilities and adherence to City guidelines, impacts would be less than significant.

c.iv) No Impact. According to flood maps prepared by the Federal Emergency Management Agency (FEMA), the project site is located in zone X, outside of the 500 year flood plain, an area with minimal chances of flooding.²⁶ The project site is in an area of minimal flood hazard and will not impede or redirect flood flows. No impacts will occur.

d) No Impact. The City is not exposed to tsunami hazards due to its inland location.²⁷ The project area is within the dam inundation area of the San Gabriel Dam. Much of the City of Duarte is located in the dam inundation area. According to the Safety Element of the Duarte General Plan, the project site is an area where it would take over 40 minutes for first water to reach the site in event of dam failure.²⁸ The project renovations create no greater chance of releasing pollutants in the event of dam failure than other areas of Duarte. Possible pollutants on-site would-be household hazardous items such as paints, cleaning solutions, and electronic equipment. According to FEMA, there are no 100 or 500-year flood zones in Duarte. As such, the project site is in an area of minimal flood hazard, impacts would be less than significant impact.

e) Less than Significant Impact. The Los Angeles Regional Water Quality Control Board's (LARWQCB) Basin Plan is designed to preserve and enhance water quality and protect the beneficial uses of all regional waters. Development of the proposed project would be required to adhere to requirements of the Basin Plan. Development of the project site would be subject to all existing water quality regulations and programs, including all applicable construction permits. Existing General Plan policies related to groundwater quality are applicable to the project. The Conservation and Open Space Element includes policies that would limit potential water quality impacts to surface water and groundwater resources. Given the limited nature of the project improvements, and that it will not increase surface runoff water quality impacts related to the proposed project would be less than significant.

4.11 – Land Use and Planning

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) No Impact. The project site is located in Westminster Gardens on a single parcel of land, zoned for Specific Plan, in this case the Westminster Gardens Senior Living Community. The Morrison House building is already developed and used for staff and recreational purposes by the Westminster community. The project involves interior and exterior improvements to the Morrison House; and will not include any reconfiguration of existing roadways or streets. The project would not physically divide an established community, there will be no impacts.

b) No Impact. The Project would not conflict with existing land uses, as designated in the General Plan Land Use Plan. The proposed project is located within the City of Duarte with the Zoning designation of Specific Plan (SP). The site is located within a specific plan area, however the project involves improvements to an already existing building in the specific plan area, and will conflict with any other land use plan, policy or regulation of any agency with jurisdiction over the project adopted for the purpose of avoiding or mitigating an environmental effect. No impact will occur.

4.12 – Mineral Resources

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less Than Significant Impact. According to the California Department of Conservation, portions of the city of Duarte are classified as MRZ-2, indicating that significant mineral deposits are likely to be present.²⁹ The project area, however, is not located in an area designated by the State Mining and Geology Board, containing regionally significant PCC-grade aggregate resources. Furthermore, the project site is already developed, and project improvements will not result in the loss of availability of mineral resources of value to the state.

b) Less than Significant Impact. Mineral resources found in Duarte may be significant to the State of California. The project site is located close to an area designated as a Mineral Resource Zone, MRZ-2, which are areas of where significant mineral deposits are likely to be present. However, the area is zoned for Specific Plan (SP), that being the Westminster Gardens Senior Living Community. The area is highly urbanized, and is surrounded by areas that would not support the development of mining operations and the subsequent increase in mining related pollution. The project involves improvements on an already existing structure within the Specific Plan, and will not result in any further loss of possible mineral resources, impacts would be less than significant.

4.13 – Noise

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant The proposed project involves accessibility and aesthetic improvements to the exterior and interior areas of the Morrison House. Project renovations will include minimal construction activities such as those described in the Project Description. The site is currently developed, construction will consist mainly of interior renovations, will be contained to the Morrison House building and courtyards, and will not involve the surrounding Westminster Gardens developments.

Construction Noise

Construction of the proposed project would generate a negligible temporary change in noise in the Westminster Gardens community. Construction of the Morrison House renovations will be minimal and will not involve the usage of any heavy construction equipment or grading. Construction activities will not create a nuisance to residents of the surrounding area in Westminster Gardens. Impacts would be less than significant.

Operational Noise

The intensity of operations on the project site will not change after project completion, therefore, noise levels will be similar to those prior to project initiation. Operation after project completion will not increase

noise levels, as operations will not change on site. Any impacts from future daily operations on the project site will be less than significant.

b) Less than Significant Impact. Project construction activities will not involve the use of heavy construction equipment capable of generating ground borne vibrations. Short-term construction operations taking place at the Morrison House will not last an extensive period of time and will not require heavy equipment, as such, impacts will be less than significant.

c) Less than Significant Impact. There are no airports located in the City of Duarte. The nearest airport to the project site is the San Gabriel Valley Airport, approximately 7.5 miles southwest. The project would not expose people residing and working in the project area to excessive noise levels having to do with airport proximity: project impacts would be less than significant.

4.14 – Population and Housing

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) Less than Significant Impact The project site is located in a Specific Plan area designated in the City of Duarte General Plan and Zoning Ordinance, and comprises a senior living community, with single-family residences and recreational facilities, as well the Morrison House. The project site is zoned as Specific Plan for the Westminster Gardens Senior Living Community. The project involves adding improvements to an already developed portion of the community; the project is consistent with the anticipated buildout of the City’s General Plan, and will not induce any unplanned population growth. Impacts will be less than significant.

b) No Impact. No housing would be displaced as a result of project development. The project does not provide any housing and is not located in an undeveloped area that would require a major extension of infrastructure, and as such there will be no impact.

4.15 – Public Services

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) Less than Significant Impact. Fire services are provided to the City of Duarte by the Los Angeles County Fire Department. The Fire Department responds to medical emergencies, hazardous materials incidents, rescue calls, and motor-related accidents, and provide wildfire and regular fire suppression services. LA County Fire Dept. Station 44 is located at 1105 Highland Ave, Duarte, CA 91010, and is located approximately 0.4 miles north of the project site.³⁰ The project involves improving an existing building in the interest of increasing efficiency and accessibility. The proposed project improvements are not anticipated to create an increase in demand for fire services, as they are general improvements to an existing building. There are no anticipated impacts to the expansion of fire protection services

b) Less than Significant Impact. Residents in the City of Duarte receive policing services from several stations. 24 hour law enforcement services to Duarte, Bradbury, and the unincorporated area west of Duarte are provided by patrol deputies out of the Duarte Public Safety Sub-Station at 1042 Huntington Drive, Duarte, CA 91010.³¹ The station serves as a launching center, and does not have dispatch or booking ability. The station is open to the public Monday-Thursday from 7:30 a.m. to 6:00 p.m. and Friday and Saturdays from 7:30 a.m. to 4:00 pm. The project is not anticipated to generate an increase in need for police protection in the project area as they are general improvements to an existing building. There are no anticipated impacts to the expansion of police services.

c) No Impact. The project involves renovations of the Morrison House building in the Westminster Gardens community, and includes interior and exterior improvements to the building and its immediate surroundings. The project would not result in any population growth, or associated growth in students within the Duarte Unified School District. There will be no impact to school facilities.

d) No Impact. Development of the project is not anticipated to impact demand on parks and recreation facilities, and is not anticipated to generate any associated population growth that would require the expansion of said facilities. No impacts will occur.

e) No Impact. The project is not expected to create an increase in residents that would generate additional demand for public facilities such as libraries or hospitals: as such there will be no impacts.

4.16 – Recreation

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) No Impact. The project involves making interior and exterior improvements to the Morrison House building having to do with improving the efficiency and accessibility of the facilities. The project itself would not create demand for additional parks, or other recreational activities, and would not create a demand for additional housing that is not included in the City’s General Plan. There will be no impacts to recreational facilities.

b) No Impact. The project does not include any recreational facilities or require the construction of new facilities, and there would not be an adverse physical effect to the environment. Therefore, there would be no impact.

4.16 – Transportation

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. As detailed in Section 4.17.b, the proposed project is determined to have a less than significant impact on VMT due to the negligible nature of improvements on the project site and its location within Westminster Gardens. The project would not conflict with a program plan, ordinance, or policy addressing the roadway circulation system, and impacts will be less than significant.

Public Transit

The project site is located within ½ mile of several existing transit stops, and is located just south of Huntington Drive, a principal arterial in Duarte. The three nearest bus stops to the project site are off Highland Avenue and Central Avenue serving route 272, off Highland Avenue and Huntington Drive South serving routes 860 and 861, and off of Huntington Drive and Highland Avenue West serving routes 187, 272, and 860. The proposed project would not remove or impact any of these bus stops and will not interrupt service to any of these bus stops during either construction or operation. The proposed project would also not significantly increase or decrease the use of these facilities as a result of construction or operation. As such, the project would not have an impact on transit.

Pedestrian and Bicycle Facilities

Pedestrian and Bicycle facilities vary at different points around the project site. A concrete sidewalk is accessible all along Santo Domingo Avenue and Central Avenue. According to the Circulation Element of the City of Duarte General Plan, there are no bicycle lanes adjacent to the project site or Westminster Gardens. The existing sidewalks that surround Westminster Gardens will not be affected by project

construction, additionally, bicycle facilities will not be affected by the proposed project. Impacts will be less than significant.

b) Less than Significant Impact. In December 2018, the California Natural Resources Agency certified and adopted the updated CEQA Guidelines package. The amended CEQA Guidelines, specifically Section 15064.3, recommend the use of Vehicle Miles Travelled (VMT) as the primary metric for the evaluation of transportation impacts, under CEQA, associated with land use and transportation projects. In general terms, VMT quantifies the amount and distance of automobile travel attributable to a project or region. All agencies and projects State-wide are required to utilize the updated CEQA guidelines recommending the use of VMT for evaluating transportation impacts as of July 1, 2020.

CEQA Guidelines allow for lead agency discretion in establishing methodologies and thresholds provided there is substantial evidence to demonstrate that the established procedures promote the intended goals of the legislation. The proposed project is located within a specific plan area, and project improvements are limited to the Morrison House building and courtyard. It was determined that a VMT screening was unnecessary due to the minor nature of improvements and the building's location, neither of which will influence traffic after project completion. The project would have a less than significant impact on VMT, no additional VMT modeling or mitigation measures are required.

c) Less than Significant Impact. A significant impact would occur if the proposed project substantially increased an existing hazardous design feature or introduced incompatible uses to the existing traffic pattern. Access to the site will be provided via a single, two-lane driveway on Santo Domingo Avenue. The project does not involve any changes to the alignment or uses of existing roadways, and the proposed project is consistent with City of Duarte zoning uses. Construction operations occurring on site will comply with the California Building Code adopted in the City of Duarte Municipal Code. The proposed project would not result in a traffic safety hazard due to any design features, and any impacts would be less than significant.

d) Less than Significant Impact. A significant impact would occur if the design of the proposed project would not satisfy emergency access requirements of the Los Angeles County Fire Department or in any other way threaten the ability of emergency vehicles to access and serve the project site or adjacent uses. The proposed project would not result in inadequate emergency access. As discussed above, the site will be accessible via the driveway on Santo Domingo Avenue, and is sufficient to provide access to fire and emergency vehicles and is consistent with California Fire Code requirements. All access features are subject to and must satisfy the City of Duarte design requirements. This project would therefore not result in adverse impacts with regard to emergency access, and impacts will be less than significant.

4.17 – Tribal Cultural Resources

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a Cultural Native American tribe, and that is:				
i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a.i) Less than Significant Impact. A Historic Resources Technical Report was conducted by the Historic Resources Group, and completed November, 2022. It was determined that while the project site is not listed, it is eligible for listing in the National Register of Historic Places (National Register) and the California Register of Historical Resources (California Register) at the local level following Criteria B/2 and C/3. The site does not have any known historic tribal cultural resources. Based on the urbanized nature of the project area and the minor nature of alterations taking place, there is little potential for the proposed project to impact any unknown archaeological resources that may exist on the site during construction. The project site is not located in an area of significance or cultural value for Native American tribes; furthermore, the proposed alterations to the project site are minor and with

implementation of Mitigation Measure CUL-1 and CUL-2 (See Cultural Resources Section), will not degrade the historical significance of the site. Impacts will be less than significant.

a.ii) Less than Significant Impact. California Government Code, Section 65352.3 incorporates the protection of California traditional tribal cultural places into land use planning for cities, counties, and agencies by establishing responsibilities for local governments to contact, refer plans to, and consult with California Native American tribes as part of the adoption or amendment of any general or specific plan proposed on or after March 1, 2005. California Assembly Bill (AB) 52 requires that lead agencies consult with California Native American tribes that are traditionally and culturally affiliated with the geographic area of the proposed project and who have requested in writing to be informed by the lead agency of proposed projects in the tribe's geographic area.

Pursuant to AB 52, as the CEQA Lead Agency, the City of Duarte sent AB 52 consultation notification letters via email on December 20, 2022, to the following Tribes: Gabrieleno Band of Mission Indians-Kizh Nation, Gabrielino-Tongva Tribe, and Soboba Band of Luiseno Indians. Neither the Gabrielino-Tongva Tribe nor the Soboba Band of Luiseno Indians responded to the notifications within the 30-day period outlined. On December 21, 2022, the City received a response from Andrew Salas, Chairman of the Gabrieleno Band of Mission Indians-Kizh Nation, requesting to schedule a consultation with the lead agency to discuss the project further. Further correspondence took place over email on January 10, 2023, with Nick Baldwin, the Associate Planner for the City of Duarte requesting to set up an online consultation date. Savannah Salas, the Admin Specialist for the Gabrieleno Band of Mission Indians-Kizh Nation, responded to that email informing Nick that Victoria Duarte is a cousin to Virginia Salas. The email contained a screenshot of a text message exchange with pictures of the two women together, and a picture of newspaper with an article about Chief Ernie Perez Salas Tautenes. These documents were sent to establish the connection between the tribe and the city. No further correspondence took place between the City and the Tribe. With the limited correspondence between the Lead Agency and the Tribe, and no further correspondence taking place within the 30-day review period, impacts by the project to a significant resource to a California Native American Tribe will be less than significant.

4.18 – Utilities and Service Systems

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Generate solid waste in excess of State and local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) **Less than Significant Impact.** The proposed project would not require the expansion or relocation of water facilities in the City of Duarte. The proposed project involves improvements to the Morrison House building, meant to improve the accessibility and efficiency of the site. Additionally, no expansion or improvements are anticipated to either sewer lines or treatment facilities to serve the project, as the project site is already in operation, and improvements will be in the form of renovations to existing structures and landscaping. Therefore, the project would result in less than significant impacts in regard to new or expanded water supply and wastewater treatment facilities.

As discussed in the Hydrology section, the project would not generate substantially increased runoff from the site that would require construction of new storm drainage facilities. The project would continue to be in compliance with Duarte Municipal Code Chapter 6.15, Stormwater and Urban Runoff Pollution Control. Impacts to stormwater runoff will be less than significant.

Impacts related to electric power, natural gas, and telecommunications facilities would also be less than significant. The project would connect to existing facilities and will not require any extension of services. Therefore, the proposed renovations will not require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause a significant environmental effect. Less than significant impacts will occur.

b) **Less than Significant Impact.** Any additional demand the project would generate would be a marginal increase from the City's wells, relative to overall existing citywide demand. The proposed project involves the renovation of an existing facility and will not increase water demand. The project would not substantially deplete water supplies, and the project would have a less than significant impact on entitled water supplies. The project's impacts to City groundwater supplies will be less than significant.

c) **Less than Significant Impact.** Potentially significant impacts could occur as a result of this project if it results in a determination by the wastewater treatment provider which serves or may serve the project that it does not have adequate capacity to serve the project's projected demand in addition to the provider's existing commitments. As detailed in Sections 4.19.a and 4.19.b, the project would be adequately served by existing wastewater treatment facilities. Therefore, a less than significant impact would occur.

d) **No Impact.** The project involves renovations to the Morrison House building within the Westminster Gardens community. Project operations will remain the same, and as such are not anticipated to generate additional solid waste in excess of local capacity. There is no expected increase in solid waste generation, no impacts will occur.

e) **No Impact.** The proposed project is required to comply with all applicable federal, state, County, and City statutes and regulations related to solid waste as a standard project condition of approval. Therefore, no impact would occur.

4.19 – Wildfire

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) No Impact. The project site is not located within a State Responsibility Area and is located approximately one mile north of a Federal Responsibility Area (FRA); the Santa Fe Dam Open Space area.³² There are no wildland conditions in the urbanized area where the project site is located. The Los Angeles County Department of Public Works identifies I-210 and I-605 as freeway disaster routes, as well as Huntington Drive as a disaster route.³³ The project would not interfere with the availability of these routes in the event of a wildfire or other disaster event. The project would not substantially impair any adopted emergency response plan or emergency evacuation plan, and no impact will occur.

b) No Impact. The project site is not located within a fire hazard zone, as identified on the Very High Fire Hazard Severity Zone (VHFHSZ) maps prepared by the California Department of Forestry and Fire Protection (CALFIRE).³⁴ A VHFHSZ begins at the southeastern corner of the intersection of Central Avenue and Bradbourne Avenue adjacent to Westminster Gardens. The project site will not exacerbate wildfire risks, thereby exposing occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire. No impact will occur.

c) No Impact. The project site is not located within a State Responsibility Area.³⁵ None of the project improvements would exacerbate fire risk or will result in a temporary or ongoing impact from wildfires requiring the installation or maintenance of associated infrastructure that may exacerbate fire risk, or that may result in temporary or ongoing impacts to the environment. No impact will occur.

d) No Impact. The project site is not located within a State Responsibility Area. According to the Federal Emergency Management Agency (FEMA) Flood Maps, the project site is in an area with no flood risk. No impacts will occur.

4.20 – Mandatory Findings of Significance

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Less than Significant Impact. The proposed project would not substantially impact any scenic vistas, scenic resources, or the visual character of the area, as discussed in Section 4.1, and would not result in excessive light or glare. The project site is located within a developed area with no natural habitat. The proposed project would not significantly impact any sensitive plants, plant communities, fish, wildlife, or habitat for any sensitive species. There are no jurisdictional waters on the project site. Adverse impacts to historic resources would not occur. Section 4.3 concludes that impacts related to emissions of criteria pollutants and other air quality impacts would be less than significant. Section 4.8 concludes that impacts related to climate change would be less than significant. Section 4.10 concludes that impacts related to hydrology and water quality would be less than significant. Based on the preceding analysis of potential impacts in the responses to items 4.1 thru 4.20, no evidence is presented that this proposed project would degrade the quality of the environment. Impacts related to degradation of the environment, biological resources, hydrology and water quality, and cultural resources would be less than significant.

b) Less than Significant Impact. Cumulative impacts can result from the interactions of environmental changes resulting from one proposed project with changes resulting from other past, present, and future projects that affect the same resources, utilities and infrastructure systems, public services, transportation network elements, air basin, watershed, or other physical conditions. Such impacts could be short-term and temporary, usually consisting of overlapping construction impacts, as well as long-term, due to the permanent land-use changes and operational characteristics involved with

the proposed Project. Cumulative impacts would be less than significant with mitigation incorporated, as further discussed herein.

Aesthetics

Impacts related to aesthetics at the project-level have no potential for cumulative impacts because impacts are limited to on-site conditions and include no component that could result in similar impacts over time or space. Therefore, no cumulative impacts related to this topic would occur.

Agricultural Resources

The analysis provided in Sections 4.2 found that no individual impacts would occur; therefore, the Project could not contribute considerably to local agriculture or forestry.

Air Quality

The analysis provided in Section 4.3 related to air quality found that impacts would be less than significant; therefore, the project would not contribute to localized or regional cumulative impacts.

Biological Resources

The analysis provided in Section 4.4 found that no individual impacts to sensitive species or migratory birds would occur; therefore, the project could not contribute considerably to regional impacts on such species. The project would have no other impacts on biological resources and would not result in localized or regional cumulative impacts.

Cultural Resources

Impacts related to cultural resources were found to be less than significant with the incorporation of mitigation measures CUL-1 and CUL-2. The proposed project would have no contribution to a cumulative loss of important local or regional archaeological knowledge.

Energy

The analysis provided in Section 4.6 found that no individual impacts related to energy use would occur as a result of the proposed project. Therefore, the project would not contribute to cumulative energy impacts.

Geology and Soils

Impacts related to geology at the project-level have no potential for cumulative impacts because impacts are limited to on-site conditions and include no component that could result in similar impacts over time or space. No cumulative impacts related to this topic would occur.

Greenhouse Gas Emissions

As discussed in Section 4.8, climate change is the result of numerous, cumulative sources of greenhouse gas emissions all over the world. The project would not contribute considerably to global climate change.

Hazardous Materials

The analysis provided in Section 4.9 related to hazards and hazardous materials found that impacts would be less than significant. Compliance with all regulations related to the disposal and storage of household hazardous waste would ensure that impacts would be less than significant.

Airport Hazards

Impacts related to airport hazards at the project-level have no potential for cumulative impacts because impacts are limited to on-site conditions and include no component that could result in similar impacts over time or space. Therefore, no cumulative impacts related to this topic would occur.

Wildfires

The analysis provided in Section 4.9(g) and 4.20 found that no individual, local, or regional impacts would occur; therefore, no cumulative impacts related to this topic would occur.

Groundwater Levels

The analysis provided in Section 4.10 (b) found that less than significant local or regional impacts would occur; therefore, while the project would contribute to individual, localized, or regional cumulative impacts, the project contribution would not be considerable.

Drainage/Water Quality

The analysis provided in Section 4.10 (a), (c), (d), (e), and (f), found that less than significant individual, local, or regional impacts would occur; therefore, while the proposed project would contribute to individual, localized or regional cumulative impacts, its contribution would not be considerable.

Flooding

The analysis provided in Section 4.10 (d) found that no regional impacts would occur; therefore, no cumulative impacts related to this topic would occur.

Land Use and Planning

The analysis provided in Section 4.11 related to Land Use and Planning found that impacts would be less than significant; therefore, while the proposed project would contribute to individual, localized, or regional cumulative impacts, its contribution would not be considerable.

Mineral Resources

The analysis provided in Section 4.12 related to mineral resources found that there would be no impact; therefore, while the project would contribute to localized or regional cumulative impacts, the project contribution would not be considerable.

Noise

As discussed in Section 4.12, on-site operational noise is not anticipated to change after project completion. Therefore, the proposed project would not contribute considerably to noise levels in the immediate vicinity of the project. The project would contribute to temporary increases in noise levels in the immediate project vicinity during construction activities; however, construction is anticipated to be minor, and impacts to receptors will remain less than significant.

Population and Housing

The analysis provided in Section 4.14 related to Population and Housing found that no impacts would result; therefore, no cumulative impacts related to this topic would occur.

Public Services

The analysis provided in Section 4.15 related to Public Services found that impacts would be less than significant; therefore, while the proposed project would contribute to localized cumulative impacts, the contribution would not be cumulatively considerable.

Recreation

The analysis provided in Section 4.16 related to Recreation found that impacts would be less than significant; therefore, no cumulative impacts related to this topic would occur.

Traffic and Transportation

Traffic conditions were analyzed in Section 4.17 and found to be less than significant. There is no indication that traffic capacity will be affected by the project. Therefore, the proposed project's contribution to cumulative impacts to local and regional transportation facilities would not be considerable.

Tribal Cultural Resources

The analysis provided in Section 4.18 related to Tribal Cultural Resources found with the limited scope of alterations proposed and the urbanized location of the project site, that impacts would be less than significant therefore, no cumulative impacts related to this topic would occur.

Utilities and Service Systems

The analysis provided in Section 4.19 related to Utilities and Service Systems found that impacts would be less than significant; therefore, while the project would contribute to localized or regional cumulative impacts, the project contribution would not be considerable.

Wildfire

The analysis provided in Section 4.20 related to Wildfire found that no impacts would result; therefore, no cumulative impacts related to this topic would occur.

c) Less than Significant Impact. Based on the analysis of the project's impacts in the responses to items 4.1 thru 4.20, there is no indication that this project could result in substantial adverse effects on human beings. Environmental effects would result in less than significant impacts. Based on the analysis in this Initial Study, the City finds that direct and indirect impacts to human beings would be less than significant.

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5.1 – List of Preparers

City of Duarte (Lead Agency)

City of Duarte Community Development Department
1600 Huntington Drive
Highland, CA 91010

- Craig Hensley, Community Development Director
- Nick Baldwin, Associate Planner

MIG, Inc.

MIG, Inc.
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- Bob Prasse, Director of Environmental Services
- Duncan Edwards, Assistant Planner

Historic Resources Group

12 S. Fair Oaks Avenue, Suite 200
Pasadena, CA 91105-3816
(626) 793-2400

- Alexandra Madsen, Senior Architectural Historian

5.2 – Persons and Organizations Consulted

- Gabrieleno Band of Mission Indians-Kizh Nation
- Gabrieleno-Tongva Tribe
- Soboba Band of Luiseno Indians.

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HISTORIC RESOURCES GROUP

HISTORIC RESOURCES TECHNICAL REPORT MORRISON HOUSE, DUARTE

NOVEMBER 2022



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1.0 EXECUTIVE SUMMARY

The Applicant is proposing alterations to the former Morrison House, which is now part of the 32-acre senior living community of Westminster Gardens. Westminster Gardens corresponds to the street address of 1420 S. Santo Domingo Avenue (APN [Accessor's Parcel No] 8529-014-025) in the City of Duarte. This report evaluates the Morrison House only; any other buildings or features on the property are outside the scope of this study. The purpose of this report is to determine if the Morrison House constitutes a historical resource as defined by the California Environmental Quality Act (CEQA).¹ This report is intended to inform environmental review of proposed alterations to the Morrison House (the Project).

The Morrison House was originally constructed between 1935 and 1939 as a residence for the Morrison family. It was surveyed for potential historical significance by students from California State Polytechnic University, Pomona in 2003.² At that time, the property was recommended for listing as a historical property in Duarte and was assigned a California Historical Resource Status Code of 3S, which is defined as “appears eligible for National Register as an individual property through survey evaluation” for its architectural and historical significance. The findings of the 2003 survey have not been officially adopted by the City of Duarte.

Based on additional research and site investigation conducted for this report, the Morrison House appears eligible for listing in the National Register of Historic Places (National Register) and the California Register of Historical Resources (California Register) at the local level of significance for its association with Wayland A. and Lucile P. Morrison and for its architectural merit. Therefore, it is recommended that the Morrison House be considered a historical resource for purposes of CEQA.

The Project proposes to alter the interior and exterior spaces of the Morrison House at Westminster Gardens. As proposed, the Project includes several exterior improvements to the residence and grounds, as well as internal changes. Analysis of the proposed Project found that it does not propose to alter the Morrison House such that the significance of the historical resource would be materially impaired. Morrison House would retain the significant physical features associated with its period of significance from 1935 to 1950. Therefore, the proposed Project would not result in a substantial adverse impact.

¹ California PRC, Section 21084.1.

² Barbara Watson, “1420 Santo Domingo,” California DPR Series 523 Form, California State Polytechnic University, Pomona, January 2003.

2.0 PROJECT SUMMARY

Project Location

Westminster Gardens is located at 1420 S. Santo Domingo Avenue in the City of Duarte. It consists of a single parcel (APN [Accessor's Parcel No] 8529-014-025). The Westminster Gardens property is generally bounded by Huntington Drive to the north, Bradbourne Avenue to the east, Central Avenue to the south, and Santo Domingo Avenue to the west. This report addresses the Morrison House and the immediately surrounding site features only; the Morrison House is located in the southwestern portion of the Westminster Gardens property and is accessed via Santo Domingo Avenue. A location map is included in Figure 1, below.

Project Description

The proposed Project would alter the interior and exterior spaces of the Morrison House at Westminster Gardens, as well as several features in the surrounding landscape. This report addresses proposed alterations to the Morrison House but does not evaluate or review other buildings or features on the property.

The Project would construct an addition at the southeast corner of the Morrison House to serve as a lounge/breakroom and restroom. Additionally, a new entrance with aluminum sliding double door along the secondary (northern) façade. The Project proposes to enclose the *corredor* along the western façade of the building with new glass partitions between the original columns. The Project would install glass panels on wood railings along balconies and porches. These glass panels would be attached to the wood columns via adjustable glass clamps.

The Project would retain and rehabilitate the building's existing steel-sash windows. Windows may be upgraded for better energy efficiency; proposed work items for the windows could include replacing glazing with laminated glass, repair/replacing damaged or missing hardware, repair/replace damaged sills, scraping loose paint and priming/repainting windows. Windows on the primary façade shall be retained and repaired, as needed. Deteriorated windows on secondary facades shall be retained and repaired, rather than replaced unless the Applicant adequately demonstrates that a window located on a secondary façade is so severely deteriorated that it cannot be repaired. In that case, the Applicant may ask for City approval to replace the window within the existing opening, subject to the provisions of the relevant mitigation measure in Section 11 of this report. The replacement window must match the original in design, color, texture, material, and operation.

The Project also proposes several interior alterations to the Morrison House, including renovations for administrative offices; new accessible restrooms and guest suites; and adding a new catering kitchen. Several interior walls would be removed and new partitions would be installed. A new elevator would also be installed in the main lobby. Interior changes would also include the removal of wainscoting, wall paneling, and tile flooring, but these original features would be retained in the Library and El Sueño.

The Project includes several exterior alterations to the landscape, including the removal of the brick walkway, completion of a new concrete walkway, and restoration of the reflecting pool. The

project incorporates increased circulation paths and hardscaping, such as the replacement of existing pathway for Americans with Disability Act (ADA) compliance; enhancement of building entry path; and incorporating a service pathway around to the building and to the pool. Rooftop solar ready areas would be established as per code requirements; no solar panels would be installed.

FIGURE 1: LOCATION MAP



3.0 METHODOLOGY

This report evaluates the Morrison House for potential historical significance. The field methods and analysis are based on guidance from the National Park Service and the California Office of Historic Preservation for evaluating potential historical resources. A site visit was conducted on June 10, 2022. Identification of physical features and historic integrity were ascertained during the site visit and through review of available building records and other archival materials.

This report was prepared using primary and secondary sources related to the history and development of the Morrison House, including reference materials available at the Duarte Historical Society and Monrovia Public Library. The following sources were consulted:

- Building permits
- Sanborn Fire Insurance maps
- Historic newspaper articles
- Historic photographs
- *Duarte* by Irwin Margiloff, Neil Earle, and the Duarte Historical Society (Charleston, SC: Arcadia Publishing, 2009)
- *On the Duarte* by R. Aloysia Moore and Bernice Bozeman Watson (City of Duarte, 1976)
- Interview with Chris Morrison³
- 2003 California State Polytechnic University, Pomona survey findings
- Other primary and secondary sources relevant to the history and development of the Project Site and surrounding area as listed in the bibliography

Research, field inspection, and analysis were performed by Christine Lazzaretto, Managing Principal; Alexandra Madsen, Senior Architectural Historian; John LoCascio, Principal Architect; and Ani Mnatsakanyan, Associate Architectural Historian, all of whom meet the Secretary of the Interior's Professional Qualifications Standards in their respective fields.

³ Chris Morrison is the grandson of Wayland and Lucile Morrison and the great-grandson of Norman H. Morrison.

4.0 REGULATORY FRAMEWORK

Historical Resources Under CEQA

The California Environmental Quality Act (“CEQA”) is the principal statute governing environmental review of projects occurring in the state and is codified in Public Resources Code (PRC) Section 21000 et seq. CEQA requires lead agencies to determine if a proposed project would have a significant effect on the environment, including significant effects on historical or unique archaeological resources. Under CEQA Section 21084.1, a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment.

CEQA Guidelines Section 15064.5 recognizes that historical resources include: (1) resources listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources; (2) resources included in a local register of historical resources, as defined in PRC Section 5020.1(k) or identified as significant in a historical resource survey meeting the requirements of PRC Section 5024.1(g); and (3) any objects, buildings, structures, sites, areas, places, records, or manuscripts which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California by the lead agency, provided the lead agency’s determination is supported by substantial evidence in light of the whole record.

Historic Designations

Historical and cultural resources fall within the jurisdiction of several levels of government. The framework for the identification and, in certain instances, protection of cultural resources is established at the federal level, while the identification, documentation, and protection of such resources are often undertaken by state and local governments. As described below, the principal federal, State, and local laws governing and influencing the preservation of historical resources of national, State, regional, and local significance include:

- The National Historic Preservation Act of 1966, as amended;
- The Secretary of the Interior’s Standards for the Treatment of Historic Properties (Secretary’s Standards);
- The California Environmental Quality Act (CEQA);
- The California Register of Historical Resources (California Register);
- The California Public Resources Code;
- The City of Duarte General Plan; and
- The City of Duarte Historic Preservation Element

NATIONAL REGISTER OF HISTORIC PLACES

The National Historic Preservation Act of 1966 established the National Register of Historic Places (National Register) as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s historic resources and to

indicate what properties should be considered for protection from destruction or impairment.”⁴ The National Register recognizes a broad range of historical and cultural resources that are significant at the national, state, and local levels and can include districts, buildings, structures, objects, prehistoric archaeological sites, historic-period archaeological sites, traditional cultural properties, and cultural landscapes.⁵ Within the National Register, approximately 2,500 (3 percent) of the more than 90,000 districts, buildings, structures, objects, and sites are recognized as National Historic Landmarks or National Historic Landmark Districts as possessing exceptional national significance in American history and culture.⁶

Whereas individual historic properties derive their significance from one or more of the criteria discussed in the subsequent section, a historic district derives its importance from being a unified entity, even though it is often composed of a variety of resources. With a historic district, the historic resource is the district itself. The identity of a district results from the interrelationship of its resources, which can be an arrangement of historically or functionally related properties.⁷ A district is defined as a geographic area of land containing a significant concentration of buildings, sites, structures, or objects united by historic events, architecture, aesthetic, character, and/or physical development. A district’s significance and historic integrity determine its boundaries. A resource that is listed in or eligible for listing in the National Register is considered “historic property” under Section 106 of the National Historic Preservation Act.

Criteria

To be eligible for listing in the National Register, a resource must be at least 50 years of age, unless it is of exceptional importance as defined in Title 36 CFR, Part 60, Section 60.4(g). In addition, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A.** It is associated with events that have made a significant contribution to the broad patterns of our history;
- B.** It is associated with the lives of persons significant in our past;
- C.** It embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D.** It has yielded, or may be likely to yield, information important in prehistory or history.⁸

⁴ 36 Code of Federal Regulations (CFR) 60. https://www.ecfr.gov/cgi-bin/text-idx?SID=b36f494ab8c19284178b4c593eda2a8f&tpl=/ecfrbrowse/Title36/36cfr60_main_02.tpl (accessed September 2022).

⁵ The identification of archaeological sites and traditional cultural properties is outside the scope of this report.

⁶ United States Department of the Interior, National Park Service, “National Historic Landmarks: Frequently Asked Questions,”

<https://www.nps.gov/subjects/nationalhistoriclandmarks/faqs.htm>. (accessed September 2022).

⁷ United States Department of the Interior, National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation, 1997, 5.

⁸ United States Department of the Interior, National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation, 1997, 8. Criterion D typically applies to potential archaeological resources, which is outside the scope of this report.

Integrity

In addition to meeting one or more of the criteria of significance, a property must have integrity, which is defined as “the ability of a property to convey its significance.”⁹ The National Register recognizes seven qualities that, in various combinations, define integrity. The seven factors that define integrity are location, design, setting, materials, workmanship, feeling, and association. To retain historic integrity a property must possess several, and usually most, of these seven aspects. Thus, the retention of the specific aspects of integrity is paramount for a property to convey its significance. In general, the National Register has a higher integrity threshold than State or local registers.

The National Register recognizes seven aspects or qualities that comprise integrity: location, design, setting, materials, workmanship, feeling, and association. These qualities are defined as follows:

- *Location* is the place where the historic property was constructed or the place where the historic event took place.
- *Design* is the combination of elements that create the form, plan, space, structure, and style of a property.
- *Setting* is the physical environment of a historic property.
- *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* is a property’s expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.¹⁰

CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is “an authoritative listing and guide to be used by State and local agencies, private groups, and citizens in identifying the existing historical resources of the State and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”¹¹ The California Register was enacted in 1992, and its regulations became official on January 1, 1998. The California Register is administered by the California Office of Historic Preservation (OHP). The criteria for eligibility for the California Register are based upon National Register criteria.¹² Certain resources are determined to be automatically included in the California Register, including California properties formally determined eligible for, or listed in, the National Register. To be eligible for the

⁹ United States Department of the Interior, National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation, 1997, 44.

¹⁰ U.S. Department of the Interior, National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation (Washington D.C.: National Park Service, 1995), 44-45.

¹¹ California Public Resources Code, Section 5024.1[a]. http://leginfo.legislature.ca.gov/faces/codes_displaySection.xhtml?lawCode=PRC§ionNum=5024.1 (accessed September 2022).

http://leginfo.legislature.ca.gov/faces/codes_displaySection.xhtml?lawCode=PRC§ionNum=5024.1 (accessed September 2022).

¹² California Public Resources Code, Section 5024.1[b]. http://leginfo.legislature.ca.gov/faces/codes_displaySection.xhtml?lawCode=PRC§ionNum=5024.1 (accessed September 2022).

California Register, a prehistoric or historic-period property must be significant at the local, State, and/or federal level under one or more of the following four criteria:

- A. It is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States; or
- B. It is associated with the lives of persons important to local, California or national history; or
- C. It embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values; or
- D. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.¹³

A resource eligible for the California Register must meet one of the criteria of significance described above and retain enough of its historic character or appearance (integrity) to be recognizable as a historical resource and to convey the reason for its significance. It is possible that a historic resource may not retain sufficient integrity to meet the criteria for listing in the National Register, but it may still be eligible for listing in the California Register.

Additionally, the California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally determined eligible for the National Register;
- California Registered Historical Landmarks from No. 770 onward; and,
- Those California Points of Historical Interest that have been evaluated by the State Office of Historic Preservation (OHP) and have been recommended to the State Historical Resources Commission for inclusion on the California Register.

Other resources that may be nominated to the California Register include:

- Historical resources with a significance rating of Category 3 through 5 (those properties identified as eligible for listing in the National Register, the California Register, and/or a local jurisdiction register);
- Individual historical resources;
- Historic districts; and,
- Historical resources designated under any local ordinance.

CITY OF DUARTE HISTORIC PRESERVATION ELEMENT

The City of Duarte does not have a Historic Preservation Ordinance that provides for the local designation of historical resources. Therefore, this report evaluates the Morrison House for listing in the National and California Registers. The identification of historical resources in the City is consistent with the goals of the Historic Preservation Element of the City's 2007 General Plan. The Historic

¹³ Criterion 4 addresses potential archaeological resources, which is outside the scope of this assessment.

Preservation Element outlines goals, objectives, and policies for historic preservation in the City.¹⁴ Relevant goals include:

Historic Preservation Goal 1: To make citizens and decision-makers aware of Duarte’s history and historic built environment.

- **Objective 1.3** Integrate historic preservation into the operations of the Community Development Department.

Historic Preservation Goal 2: To maintain and update the City’s inventory of historical resources.

- **Objective 2.1** Preserve Duarte’s historical resources by supporting continued research related to the City’s historic resources inventory.

Historic Preservation Goal 3: To promote the preservation of local historical resources.

- **Objective 3.1** Preserve the City’s inventory of historical resources for future generations to enjoy.

Policies

- HP 3.1.1 Encourage property owners to preserve the character defining features of historical resources.
- HP 3.1.2 Promote the preservation of historic and cultural resources by providing incentives and technical assistance.

¹⁴ Duarte General Plan 2005-2020, Chapter 7 - Historic Preservation Element.

5.0 SUMMARY OF PREVIOUS EVALUATIONS

Historic Resources Surveys

The City of Duarte conducted a windshield survey in October 2002 to identify buildings and structures within City limits which display architectural interest and contribute to the historic fabric of Duarte. In December 2002, the Duarte City Council approved a student project from California State Polytechnic University, Pomona to complete an intensive survey of each of the properties identified in the windshield survey. The purpose of the survey was to catalogue the historical and architectural significance of each property that was identified. The survey was conducted in the spring of 2003.

As part of the survey effort, the Morrison House located at 1420 S. Santo Domingo Avenue was recommended for listing as a historical property in Duarte and was assigned a California Historical Resource Status Code of 3S, which is defined as “appears eligible for National Register as an individual property through survey evaluation” for its architectural and historical significance. The findings of the 2003 survey have not been officially adopted by the City of Duarte.

In 2007, Duarte adopted a Historic Preservation Element as part of the City’s General Plan, which outlines goals, objectives, and policies for historic preservation in the City.¹⁵ The 2003 survey is referenced in the Element; however, it is noted that additional research is required to finalize the evaluations for each identified potential resource.

The documentation of the Morrison House completed in 2003 is included as Appendix C.

California Built Environment Resource Directory (BERD)

The California Office of Historic Preservation (OHP) maintains the Built Environment Resource Directory (BERD), a database of previously evaluated resources throughout the state. The BERD contains information only for cultural resources that have been processed through OHP. This includes resources reviewed for eligibility for the National Register of Historic Places and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs.¹⁶ The Morrison House is not listed on the BERD.

¹⁵ Duarte General Plan 2005-2020, Chapter 7 - Historic Preservation Element.

¹⁶ California Office of Historic Preservation, “Built Environment Resource Directory: Los Angeles County,” 2022.

6.0 DEVELOPMENT HISTORY

The City of Duarte comprises a portion of the Rancho Azusa de Duarte, which was granted to Andres Avelino de Duarte in 1841. Following the end of the rancho era, the former ranch lands were subdivided and used to grow citrus fruit, primarily oranges. Following World War II, consistent with development patterns throughout Southern California during this period, agricultural land was subdivided for residential development to house the rapidly growing population. The City of Duarte was incorporated in 1957.

The property where the Morrison House is located was part of the sale of the Rancho Azusa de Duarte lots. The property comprised one-half of a 40-acre parcel, described as the “north 20 acres of w ½ and w ½ of e ½ of lot 16, section 30, Azusa de Duarte Rancho.” The 20-acre parcel was owned by Norman C. Jones until his death in 1877 when it was sold by his heirs to B.D. Eachus.¹⁷ In 1887, Eachus sold the property to Henry N. Urmey for \$6,000.¹⁸

In 1888, Dr. Norman H. Morrison purchased the 20-acre lot.¹⁹ Morrison was chief surgeon for the Santa Fe Railway line and founder of the Santa Fe Hospital in the Boyle Heights neighborhood of Los Angeles.²⁰ He worked and resided in Los Angeles with his family but established the Morrison Ranch in Duarte and started citrus farming on the site shortly after purchasing the land.²¹ It appears that the ranch was mostly used as a summer retreat for much of the late 19th and early 20th centuries. In 1897, Morrison purchased the “old Santa Fe depot building at Duarte and remove[d] it to his ranch nearby for a farm building.”²²

Following the death of Norman H. Morrison in 1921, his son Dr. Wayland A. Morrison and Wayland’s wife Lucile Phillips Morrison took ownership of the ranch in Duarte.²³ At that time, the property was still used by the Morrison family as a weekend and vacation home. Although Wayland A. Morrison had plans for improvements at the ranch as early as 1911, it was not until 1924 that he started making changes to the site, including improvements to an existing Cape Cod cottage (demolished).²⁴ Morrison also built a five-room bungalow on the east side of the ranch for their tenant, O.R. Green.²⁵

In a 1930 newspaper article entitled “Who’s Who in Monrovia,” the *Monrovia News Post* recorded:

Dr. W. A. Morrison, Duarte, was born in Los Angeles and has lived in Los Angeles and Duarte all his life... The family has spent its summers in Duarte for a number of years, and each weekend the members has spent on their ranch home in Duarte. The site was chosen to give the children a wider range of play. They have a Cape

¹⁷ “Mortgage Sale,” *Los Angeles Evening Express*, March 9, 1877, 4.

¹⁸ “Daily Real Estate Record,” *Los Angeles Herald*, May 6, 1887, 2; “Real Estate Transfers,” *Los Angeles Evening Express*, September 14, 1888, 3.

¹⁹ “Real Estate Record,” *Los Angeles Herald*, September 26, 1888, 7.

²⁰ “Norman H. Morrison,” United States Federal Census, 1910, <https://www.ancestry.com>; (accessed June 2022); “Who’s Who in Monrovia,” *Monrovia News-Post*, July 9, 1930, 1.

²¹ “Dr. Morrison of Duarte Taken by Death,” *Monrovia Daily News Post*, January 6, 1950, 1 and 8.

²² “Azusa,” *Los Angeles Herald*, October 25, 1897, 7.

²³ “Operation Unavailing for Surgeon,” *Los Angeles Times*, July 4, 1921, 15.

²⁴ “The City in Brief,” *Monrovia Daily News*, October 10, 1911, 3.

²⁵ “Dr. Morrison, of L.A., Remodeling Home in Duarte,” *Monrovia Daily News*, May 2, 1924, 4.

Cod cottage upon the ranch which offers an interesting contrast with the modern Spanish homes. Their home is filled with interesting antiques.²⁶

It appears that the Morrises resided in the Cape Cod style cottage when visiting the ranch through the 1920s. In addition to utilizing the property as a summer retreat, Morrison also cultivated the land with citrus groves along Foothill Boulevard and sold rabbits in the 1920s and 1930s.²⁷ By the 1930s, the grounds were described as containing a lily pool shaded by huge trees, a woodland garden, and a swimming pool; the residence was described as featuring a music room and wood-paneled library.²⁸ The property also had a tennis court.

In 1935, the Morrises constructed a Spanish Colonial Revival style building on the property with a “large dance room, dining room, kitchen, powder room, [and] patio ... next to the swimming pool and tennis court.”²⁹ The Morrison children used this building to entertain their friends; it was known as “El Sueño” or “The Dream.” In 1939, “El Sueño” was incorporated into a new residence constructed by the family, forming the southern wing of a larger U-shaped building. The Morrison family referred to the new building as “La Casa Soñada,” or “the dreamed-of home.” The residence was designed by architect Robert Bennett, who was a distant cousin of the family, and built by J. Walter Johnson.³⁰ Morrison also expanded the acreage from twenty to fifty acres.³¹ At this time, the Morrises relocated to Duarte full-time.

The residence was described as a “spacious mansion with its three wings forming a U, it has eight suites of rooms built by the Morrises for their children and [their] families.”³² The property was described by the *Monrovia News-Post* in 1941:

Homes like that of Dr. Wayland Morrison, beautiful, typical of the best of Spanish architecture, are a credit to Duarte, and truth to tell most of the building done out Duarte way has been adapted to the rancher’s way of life.³³

Landscape features completed as part of the project include the brick walkway centered on a rectangular reflecting pool, likely clad in Gladding, McBean tiles.³⁴ On the interior, several of the rooms were adorned with intricate woodwork completed by Swedish craftsmen.³⁵

²⁶ “Whos’ Who in Monrovia,” *Monrovia News Post*, July 9, 1930, 1.

²⁷ “Fire,” *Monrovia News-Post*, September 28, 1936, 1; “Poultry – Rabbits,” *Monrovia Daily News Post*, June 6, 1944, 5; “Re-Zoning in Duarte Denied,” *Monrovia News-Post*, June 1, 1945, 1.

²⁸ “Richey-Barrett Wedding Will Take Place Tonight in Country Home Garden,” *Los Angeles Evening Post-Record*, August 18, 1934, 5; “Recent Fire Call to Duarte to Cost City \$1500 in Repair Work,” *Monrovia News Post*, September 28, 1936, 1; “Beautiful Duarte Home Is Setting for Morrison-Meyers Wedding,” *Monrovia News-Post*, February 9, 1942, 3; “Re-Zoning in Duarte Denied,” *Monrovia News-Post*, June 1, 1945, 1.

²⁹ Almar Whitaker, “Little Wonders of War,” *Los Angeles Times*, November 1, 1942, 71.

³⁰ Interview with Chris Morrison by Alexandra Madsen, June 13, 2022; Morrison Family Scrapbook by Lucille Morrison, Westminster Gardens.

³¹ Davis, 1938, 214.

³² “Pastors Visit Missionary Home in Duarte,” *Daily News-Post*, March 15, 1951, 2.

³³ “Postscripts,” *Monrovia News-Post*, May 20, 1941, 3.

³⁴ Interview with Chris Morrison, June 13, 2022. Gladding, McBean was established in 1874 in the town of Lincoln, California. It became the first company on the Pacific Coast to produce terra cotta roof tiles and by 1925, Gladding, McBean operated ten clay products plants in California, Oregon, Washington, Montana, and British Columbia. The company utilized two hundred kilns and employed over two thousand people. It was the primary supplier of sewer pipes, terra cotta roof tiles, and ornamental terra cotta on the West Coast and developed a nationwide reputation for quality and innovative design. Lucile Morrison’s father Lee A. Phillips was Vice President of Gladding, McBean.

³⁵ Interview with Chris Morrison by Alexandra Madsen, June 13, 2022. Several of the wood carvings were Egyptian themed, likely because the house was built shortly after Lucile Morrison finished writing her award-winning book *The Lost Queen of Egypt*.

During World War II, the Morrisons offered the building for use by the Red Cross, and it was transformed into a Casualty Station. As recorded in the *Los Angeles Times*, “the powder room is full of medical supplies. Cots can transform the dance room into a hospital. A huge closet contains air-raid warden equipment.”³⁶ At the time of its completion, the station was lauded by civilian defense officials as “one of the finest in the state,” with a staff of 45 doctors, nurses, and trained personnel.³⁷ The station offered nursing classes to interested students.

Following World War II, much of the farmland in the Duarte area was transformed from orange groves to residential subdivisions, and all of the citrus packing plants in Duarte closed. In 1949, a portion of the orange trees on the Morrison Ranch were removed and the land was briefly replanted with strawberries.³⁸ At that time, the ranch was noted as having chickens, peacocks, frogs, and goldfish on the grounds.³⁹

In 1949, the Morrisons donated 2.5-acres of their ranch for use as a youth agency recreation center.⁴⁰ A 16x44 foot clubhouse was purchased from a Duarte building development and moved onto the property. Plans were also designed for boys’ and girls’ campfire circles, a baseball diamond, a basketball court, a patio and fireplace, and a combination volleyball, shuffleboard, and badminton court.⁴¹

Dr. Wayland A. Morrison died in 1950, and his wife Lucile Morrison took over control of the ranch.⁴² Around this same time, Lucile Morrison moved to Arcadia,⁴³ and began selling or donating portions of the ranch. Land donated by Lucile Morrison provided for much-needed services for the local community. A large portion of the estate was sold at this time for use as a retirement home for Presbyterian missionaries, discussed further below.

In 1950, a cottage on the Morrison property was leased by Los Angeles County for use as the Duarte Branch Library.⁴⁴ The cottage was remodeled for this purpose and approximately 2,000 books were transferred to the new location.⁴⁵ The library opened in March 1950 and was identified by the address of 1220 S. Santo Domingo.⁴⁶

That same year, work began on a new Duarte Child Welfare Clinic, similarly located on land donated by the Morrisons. Identified by the address of 2026 E. Huntington Drive, the clinic was run by the Los Angeles County Health Department and overseen by Lucile P. Morrison, who served as the chairman of the health services committee of the Duarte Community Service Council.⁴⁷ In 1953, Lucile Morrison donated a three-acre portion of the ranch for a new Masonic Temple in honor of her late father-in-law and husband.⁴⁸ The Temple of Sojourner’s Lodge 607,

³⁶ Whitaker, 1942.

³⁷ “Open House at Duarte Center,” *Monrovia News-Post*, January 14, 1943, 1.

³⁸ “Citrus Groves in Duarte Yield to New Uses,” *Monrovia News Post*, March 26, 1949, 2.

³⁹ “Malicious Mischief Reported by Morrison Estate,” *Daily News-Post*, May 19, 1950, 2.

⁴⁰ “Dr. Morrison of Duarte Taken by Death,” *Monrovia Daily News Post*, January 6, 1950, 1 and 8.

⁴¹ “Recreation Need Met by Center,” *Daily News Post*, June 15, 1950, 2.

⁴² “Dr. Morrison of Duarte Taken by Death,” *Monrovia Daily News Post*, January 6, 1950, 1 and 8.

⁴³ “County Studies Proposal for Missionary Home in Duarte,” *Daily News-Post*, December 14, 1950, 1.

⁴⁴ “Full Time Branch Library in Duarte Indicated,” *Monrovia Daily News Post*, January 3, 1950, 1.

⁴⁵ “Conversion of Branch Library Under Way,” *Monrovia Daily News Post*, February 21, 1950, 2.

⁴⁶ “Duarte Library Opened Today,” *Monrovia Daily News Post*, March 6, 1950, 6.

⁴⁷ “Work Progresses on Child Clinic,” *Monrovia Daily News Post*, March 13, 1950, 2.

⁴⁸ “Duarte Temple Site Donated to Masons,” *Daily News-Post*, December 19, 1953, 1.

identified by the address 1900 E. Huntington Drive, was dedicated in 1955. Construction was completed by V. R. Bush, Albert Pederson, Jack La Sonce, Arno Krueger, and Dick Mosher.⁴⁹

The Morrison Ranch was also briefly considered as a site for a new Los Angeles County Park, although it was not ultimately purchased for that use.⁵⁰

Westminster Gardens⁵¹

In 1950, Frank Shu purchased a 27-acre portion of the Morrison Ranch. Shu was born in China and attended Yih Wen Commercial School led by Missionary teacher William Booth. In the late 1940s, Shu traveled to the United States where he presented \$1 million to the Presbyterian Missionary Board to be used to build a group of residences for retired Presbyterian missionaries.⁵² The former Morrison Ranch was subsequently converted for its new use, and it became known as Westminster Gardens.

The Morrison House was used to house 16 missionaries. At the time of purchase, the residence was described at length in the *Daily News-Post*:

The luxurious apartments are large, with view windows looking out onto gardens landscaped with shrubs, trees, flowers and lawn. The walls are of imported paneling in a natural finish and each suite contains several rooms... Several suites are located downstairs under the massive balconied piazza. Others are upstairs overlooking the tennis courts, the barbecue, and the swimming pool with its bordering patio. The immense library in the north wing of this gracious home of white brick and red tiles, is finished in Japanese oak and boasts a fireplace and shelved walls bearing 7,000 volumes... Across from this wing is the dining hall, and next the recreation room where 100 can be seated comfortably for diner... A medley of elaborate grained woods and delicately papered walls, this house with its early California architecture promises to provide every luxury for those who will call it "home."⁵³

A gift of \$100,000 by Gertrude Weller of Los Angeles provided funds for the remodeling of the rooms in the Morrison House into apartments.⁵⁴ Two other existing buildings from the Morrison's ownership were also adapted for apartments.⁵⁵ One of these was the "Cape Cod cottage, which is a replica of the cottage in which the former owners spent their honeymoon" in 1917.⁵⁶ A full building program was also approved shortly after purchase, and construction began on several new apartment buildings on the property in 1951, designed by Beverly Hills-based architect Douglas Honnold.⁵⁷ In 1952, the first phase of construction was completed. These "completely

⁴⁹ "Masonic Temple to be Dedicated," *Daily News Post*, June 24, 1955, 7.

⁵⁰ "Duarte Estate Action Lags," *Monrovia Daily News Post*, June 20, 1950, 8; "Morrison Park Deal Refused," *Daily News-Post*, June 27, 1950, 1.

⁵¹ As noted above, this report only evaluates the Morrison House. Information about the development of Westminster Gardens is included to provide contextual information only.

⁵² R. Aloysia Moore and Bernice Bozeman Watson, *On the Duarte* (Duarte: City of Duarte, 1976), 188.

⁵³ "Pastors Visit Missionary Home in Duarte," *Daily News-Post*, March 15, 1951, 2.

⁵⁴ Mollie Hopper, *Westminster Gardens: A 50 Year History* (Duarte, CA: Westminster Gardens, 2000), 2.

⁵⁵ "Westminster Directors View Building," *Daily News-Post*, October 8, 1951, 1.

⁵⁶ "Duarte Facility Houses 33 Retired Missionaries," *Los Angeles Times*, October 12, 1952, 178.

⁵⁷ "Start New Building at Westminster Gardens," *Pasadena Independent*, August 16, 1951, 49.

furnished modern cement block apartments” provided a capacity for 50 residents.⁵⁸ Westminster Gardens was dedicated in July of 1952.⁵⁹ At the time of its founding, residents were required to have served at least 20 years in a foreign country and have reached the age of retirement. Four additional apartment buildings were constructed between 1952 and 1960.

In 1957, Lucile Morrison deeded an additional strip of land along Huntington Drive to Westminster Gardens for its expansion eastward. That same year the Rest Home was designed by architects Douglas Honnold and John Rex. The 40,000-square-foot building was described in the *Los Angeles Times*:

Cross-shape building, each arm of which will have the capacity of 20 beds, with the center core housing medical, social, and service facilities, including common and dining room, office, laboratories, kitchen, and storerooms...The Contemporary-styled structure will feature one story, interior and exterior walls of natural finish light-weight aggregate concrete blocks. Floors will be of vinyl asbestos and the roof of composition mater, asphalt and gravel.⁶⁰

Only part of the building was constructed in 1957. It was completed in 1962, at which time it became known as the Grace Shu Lodge, named in honor of the wife of Frank M. S. Shu.⁶¹ A third wing of the building was constructed in 1966, which brought the total number of beds to 64. A new duplex was also constructed at the corner of Amber Drive and Live Oaks, and apartments on the first floor of the Morrison House were converted into administrative offices. The total number of residences reached 131 by 1967.⁶²

In 1970, four additional residences, and an ancillary building with a laundry and five-car garage were constructed in the northwestern portion of the property. Designed by architect Franklin Howell and built by Shephard and Morgan Construction Co., the buildings accommodated eighteen new residents.⁶³ The swimming pool was also renovated at that time. Five new apartments were constructed in 1972.⁶⁴ Development at Westminster Gardens has continued through the 1980s and to present day.

Spanish Colonial Revival Architecture

The Morrison House was designed in the Spanish Colonial Revival style of architecture. The Spanish Colonial Revival style attained widespread popularity throughout Southern California following the 1915 Panama-California Exposition in San Diego, which was housed in a series of buildings designed by chief architect Bertram Grosvenor Goodhue in the late Baroque *Churrigueresque* style of Spain and Mexico. The *Churrigueresque* style, with areas of intricate ornamentation juxtaposed against plain stucco wall surfaces and accented with towers and domes, lent itself to monumental public edifices, churches and exuberant commercial buildings and theaters, but was less suited to residential or smaller scale commercial architecture. For that, architects drew inspiration from provincial Spain, particularly the arid southern region of

⁵⁸ “Duarte Facility Houses 33 Retired Missionaries,” *Los Angeles Times*, October 12, 1952, 178.

⁵⁹ “Missionary Home to Be Dedicated,” *Daily News-Post*, July 18, 1952, 2.

⁶⁰ “First Unit of Duarte Project Furthered,” *Los Angeles Times*, March 3, 1957, 148.

⁶¹ “Westminster Gardens Dedicate New Structure,” *South Pasadena Review*, October 24, 1962, 15.

⁶² Hopper, 3.

⁶³ “Westminster Garden News,” *Daily News-Post*, August 28, 1970, 3.

⁶⁴ Hopper, 4.

Andalusia, where many young American architects were diverted while World War I prevented their traditional post-graduate “grand tour” of Great Britain, France, Italy, and Germany. The resulting style was based on infinitely creative combinations of plaster, tile, wood, and iron, featuring plaster-clad volumes arranged around patios, low-pitched tile roofs, and a spreading, horizontal orientation. It was a deliberate attempt to develop a “native” California architectural style and romanticize the area’s colonial past, though it drew directly from Spanish and other Mediterranean precedents and bore little resemblance to the missions and rustic adobe ranch houses that comprised the state’s actual colonial-era buildings.

The popularity of the Spanish Colonial Revival style extended across nearly all property types, including a range of residential, commercial, and institutional buildings, and coincided with Southern California’s population boom of the 1920s, with the result that large expanses of Santa Monica, Los Angeles, and surrounding cities were developed in the style. Some towns, such as Santa Barbara, even passed ordinances requiring its use in new construction. It shaped the region’s expansion for nearly two decades, reaching a high point in 1929 and tapering off through the 1930s during the Great Depression. Like other revival styles, the Spanish Colonial Revival style was often simplified, reduced to its signature elements, or creatively combined with design features of other Mediterranean regions such as Italy, southern France, and North Africa, resulting in a pan-Mediterranean *mélange* of eclectic variations.

Character-defining features of Spanish Colonial Revival architecture may include:

- Asymmetrical façade
- Irregular plan and horizontal massing
- Varied gable or hipped roofs with clay barrel tiles
- Plaster veneered exterior walls forming wide, uninterrupted expanses
- Wood-sash casement or double-hung windows, typically with divided lights
- Round, pointed, or parabolic arched openings
- Arcade, colonnade, or *corredor*⁶⁵
- Decorative grilles of wood, wrought iron, or plaster
- Balconies, patios or towers
- Decorative terra cotta or glazed ceramic tile work

Morrison Family

The property that now comprises Westminster Gardens was owned by the Morrison family from 1888-1950. The Morrison House that is the subject of this evaluation was constructed by Wayland and Lucile Morrison in 1935-1939.

Biographical information about the Morrisons is included below.

⁶⁵ A *corredor* is a narrow external porch that often lines an outdoor patio; also referred to as a portale.

TABLE 3. SUMMARY OF OWNERS/OCCUPANTS

DATE	OWNER/OCCUPANT	USE
1888-1921	Norman H. Morrison	Vacation Residence
1921-1938	Wayland A. and Lucile P. Morrison	Vacation Residence
1939-1950	Wayland A. and Lucile P. Morrison	Primary Residence
1951-Present	Westminster Gardens	Retirement Community

NORMAN H. MORRISON

Norman H. Morrison was born in 1853 in Missouri. Morrison ran away from home at the age of ten, eventually attending the University of Iowa. He moved to Santa Barbara with his new wife, Marie Cobb, in 1877.⁶⁶ In Santa Barbara, Morrison worked on a dairy before making the acquaintance of Dr. Bates, a local doctor who agreed to teach Morrison the basics of medicine. After memorizing *Grey's Anatomy*, Morrison sold his dairy and moved to San Francisco. Morrison briefly attended the University of California before transferring to the Kansas City Medical College. Graduating in 1880, Morrison worked as the local doctor in McPherson, Kansas.

The lure of California ultimately brought Morrison to Los Angeles, where he was made Chief Surgeon of the Southern California Railroad in 1888.⁶⁷ That same year, he bought the 20-acre ranch property in Duarte. In 1904, with the merging of the Southern California Railroad and the Atchison, Topeka and Santa Fe Railroad, he became their first Chief Surgeon. Morrison held the position of Chief Surgeon for seventeen years and was largely responsible for the founding of the 1905 Santa Fe Hospital in Boyle Heights. Following the death of his first wife Marie Cobb, Morrison remarried Irma Rhodes. They resided at 1263 W. Adams Boulevard in Los Angeles until his death in 1921.⁶⁸ Although Morrison resided primarily in Los Angeles, he is recorded as never losing “his love of the soil and many of his spare hours were spent working around the orange trees on his ranch in Duarte.”⁶⁹

WAYLAND A. MORRISON

Wayland A. Morrison inherited the Duarte ranch from his father Norman H. Morrison in 1921. He used the property as a summer residence from 1921 to 1938 and resided there full-time with his wife Lucile P. Morrison and their children from 1939 until 1950 in a “beautiful Spanish Structure.”⁷⁰

Wayland A. Morrison was born in 1888.⁷¹ He was primarily raised in Los Angeles, although he did briefly attend Duarte Elementary School.⁷² He earned a Bachelor of Arts degree from Stanford University in 1910. Following graduation, Morrison briefly moved to Duarte, where he worked as an automobile salesman at E. M. F. and Flanders automobile agency and as a real estate agent at Tifal Brothers.⁷³ Morrison planned to build a residence on the Duarte property around that time.⁷⁴

⁶⁶ “Matrimonial,” *Fort Scott Daily Mirror*, January 31, 1877, 4.

⁶⁷ Davis, 1957, 292; Interview with Chris Morrison by Alexandra Madsen, June 13, 2022.

⁶⁸ “Bride for Dr. Morrison,” *Los Angeles Times*, September 5, 1906, 15.

⁶⁹ Davis, 1957, 293.

⁷⁰ Davis, 1957, 293.

⁷¹ “Wayland A. Morrison,” United States Federal Census, 1940, accessed on June 2, 2022, at: <https://www.ancestry.com>.

⁷² Charles F. Davis, *History of Monrovia and Duarte* (Monrovia, CA: A. H. Cawston, 1938), 214.

⁷³ “For Sale,” *Monrovia Daily News*, February 1, 1912, 3.

⁷⁴ “Return of W. A. Morrison,” *Monrovia Daily News*, October 10, 1911, 3.

Morrison briefly resided in Massachusetts, where he attended Harvard Medical School. Following his graduation in 1914, Morrison worked as the house surgeon at Massachusetts General Hospital for two years before returning to Southern California in 1916.⁷⁵ Morrison served in the U.S. Army Medical Corps for the duration of World War I; he was discharged as a Major at the end of the war. Morrison then returned to Southern California where he married Lucille Phillips in 1917, and the couple resided in their new residence at 434 Plymouth Boulevard, designed by architects Meyer & Holler of the Milwaukee Building Company.⁷⁶ Morrison succeeded his father as chief surgeon of the Santa Fe Railway in 1919.

In the late 1930s, Morrison and his wife Lucile P. Morrison sold the property at Plymouth Boulevard and moved to Duarte full-time.⁷⁷ At this time, Morrison expanded his acreage from twenty to fifty acres.⁷⁸ He was known for giving “much of his time to community affairs and problems.”⁷⁹ Morrison served on the boards of the Duarte-Monrovia Citrus Association, the Duarte-Mutual Irrigation and Canal Co., the Duarte-Mutual Water Co., and as a director for the Duarte City Commerce. During World War II, Morrison served as the Area Medical Director of the War Casualty Stations for the Office of Civilian Defense, and organized stations at Rosemead, Temple City, and Duarte; the latter of which was housed in a wing of his own residence.⁸⁰ Dr. Wayland A. Morrison died in 1950.

LUCILE P. MORRISON

Lucile Phillips Morrison was born in Los Angeles in 1896 to philanthropist Catherin Coffin and Los Angeles financier Lee A. Phillips. Lucile Phillips was raised at #4 Berkeley Square in the West Adams neighborhood and attended the Marlborough School. She graduated from Vassar College in 1917 and married Wayland A. Morrison that same year.

Lucile Phillips Morrison was a notable author of numerous children’s books and the novel *The Lost Queen of Egypt*, which won the first prize for fiction from the National League of American Penwomen in 1938. In 1958, she received a master’s degree in psychology from Pepperdine University and began her own private psychology practice. Morrison served as a board member for the Educational Policy Committee for Scripps College for 42 years and was named an Honorary Trustee of Scripps College.⁸¹

In addition to her many other pursuits, Lucile Morrison was extremely active in Duarte’s civic affairs. In 1957, she was described by historian Charles Davis as “one of the community’s greatest benefactors. For years she has generously dedicated her time and means for worthy Duarte projects.”⁸² Morrison offered her Duarte property for use as a casualty station during World War II, and the site was used after the war as a Well Baby Clinic, Communicable Diseases Clinic, Dental Clinic, and one of the cottages served as Duarte’s first county library facility. She also donated land for the Duarte Masonic Hall.

⁷⁵ “Return of W. A. Morrison,” *Monrovia Daily News*, October 10, 1911, 3.

⁷⁶ “Home for Doctor,” *Los Angeles Times*, June 8, 1919, 83.

⁷⁷ “Phillips’ Widow, Daughter to Handle Million,” *Daily News*, February 1, 1938, 9.

⁷⁸ Davis, 1938, 214.

⁷⁹ “Dr. Morrison of Duarte Taken by Death,” *Monrovia Post*, January 6, 1950, 1-

⁸⁰ Davis, 1957, 295.

⁸¹ “Scripps College Honors Arcadian,” *Arcadia Tribune*, August 6, 1972, 5.

⁸² Davis, 1957, 295.

Lucile Morrison also organized and served as the first president of the Duarte Community Service Council and helped establish the Duarte Youth Acres, the city's first recreational facility. She served on the boards for the Duarte Community Center Corporation; Duarte Mutual Water Company; Chamber of Commerce; Duarte Women's Club; Reading Circle; and at Westminster Gardens. In 1967, Morrison was honored with the Duarte Historical Society's Pioneer Service Award.⁸³ She also organized and preserved newspaper articles, which were donated to the Duarte Historical Society.⁸⁴ Lucile P. Morrison died in 1991.

Architect, Robert E. Bennett

Robert E. Bennett of Bennett & Bennett designed the Morrison House. Bennett was born in Pasadena in 1915 to John Cyril Bennett and Olevia Cobb. He received a bachelor's degree in architecture from the University of California in 1936 and a master's degree from the California Institute of Technology in 1937. Robert E. Bennett was a distant cousin of the Morrison family and designed the Morrison House shortly after receiving his architecture degree. Bennett then briefly worked under his father, notable local architect John Cyril Bennett (Cyril Bennett). In 1946, he and his father entered into a partnership in the firm Bennett & Bennett.

Robert E. Bennett's father, J. Cyril Bennett was a notable local architect. Cyril Bennett attended the University of California, Berkeley where he graduated with a bachelor's degree in Architecture in 1910. Bennett then moved to Pasadena, California, where he married Olevia Cobb in 1913 and briefly worked as a draftsman for architect Sylvanus B. Marston before forming his own company in 1914. Cyril Bennett completed several independent projects during his early career, including the Raymond Theater (1919-1921); City of Pasadena Fire Department Main Station (1922); and Glendora Theater (1923). He also designed several residences, such as the W. H. Batterson House (1921) and William Leithed House (1924) in Pasadena. In 1924, Cyril Bennett joined with architect Fitch Haskell to form Bennett and Haskell. The partnership designed several notable buildings in Pasadena from 1924 to 1934, including the Central National Bank in Pasadena (1926); All Saints' Episcopal Church Parish House and Rector (1929-1930); and their collaboration with George E. Bergstrom on the design of the Pasadena Civic Auditorium (1925-1932).⁸⁵ From 1934 to 1941, Bennett again formed his own firm.

In 1946, his son Robert E. Bennett joined the firm to form Bennett and Bennett, which lasted until his retirement in 1955. Bennett & Bennett designed several commercial and educational buildings. Notable commissions include the Temple City National Bank (1950) and the First National Bank in Santa Ana (1953).⁸⁶ Notable education projects include an administrative building at Edison Elementary School (1945) and the Physical Sciences building at the University of California, Riverside (1954).⁸⁷ Community projects included the Van Ness Community Center (1949) and three clubhouses for parks in Los Angeles (1949).⁸⁸ Bennett & Bennett designed several bakeries in Los Angeles, including the Barbara Ann Bakery (1955); Coliseum Bakery (1955); Langendorf

⁸³ "Historical Society Holds Annual Installation Fete," *Daily News-Post*, May 17, 1967, 1.

⁸⁴ Claudia Heller, *Duarte Chronicles* (Charleston, SC: The History Press, 2013), 27.

⁸⁵ "John Cyril Bennett," *Pacific Coast Architecture Database*, <https://pcad.lib.washington.edu/person/477/> (accessed June 13, 2022).

⁸⁶ "Construction Under Way on New Santa Ana Bank Unit," *Los Angeles Times*, April 26, 1953, 112; "Temple City Bank

Plans New Building," *Pasadena Independent*, February 24, 1950, 2; "Bank Here Plans Remodeling Program," *Long Beach Press*, September 25, 1955.

⁸⁷ "Bennett, Robert E." *American Architects Directory*, 1956; "Award Architects' Contracts for New School Buildings," *Pasadena Independent*, November 7, 1945, 3.

⁸⁸ "New Recreation Center," *Southwest Wave*, July 31, 1949, 2; "Draw Clubhouses," *Pasadena Independent*, January 30, 1949, 26.

Bakery (1955); and Sheriff's Wayside Honor Farm Bakery (1958).⁸⁹ The firm also completed updates and modernizations to the Los Angeles Coliseum and designed a two-story office building immediately adjacent to it in 1953.⁹⁰

Cyril Bennett died in 1957.⁹¹ Following the death of his father, Robert E. Bennett continued working for the firm. In 1969, Robert E. Bennett was awarded a CTI gold plaque for his work on the Los Angeles Coliseum.⁹² In 1968, Bennett & Bennett was hired to enlarge the women's facilities at the Rose Bowl in Pasadena.⁹³ Robert E. Bennett died in 2003.

⁸⁹ "Additions Slated for Honor Farm," *Los Angeles Times*, April 20, 1958, 116.

⁹⁰ "Building Added to Los Angeles' Huge Stadium," *Los Angeles Times*, September 6, 1953, 21.

⁹¹ "Cyril Bennett, 65, Dies; Pasadena Civic Leader," *Los Angeles Times*, May 26, 1957, 5.

⁹² "Peristyle Tile Work Wins Master Award," *Los Angeles Times*, March 23, 1969, 134.

⁹³ "400,000 Approved for Rose Bowl Projects," *Los Angeles Times*, May 29, 1968, 24.

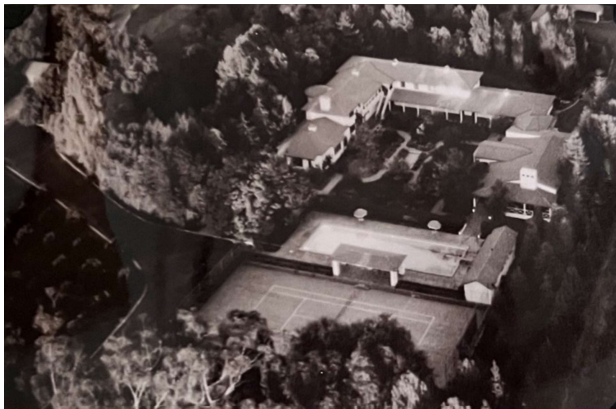
7.0 PHYSICAL DESCRIPTION

Current Setting

The Morrison House is now part of Westminster Gardens in the south-central region of the City of Duarte. Westminster Gardens comprises a single parcel and occupies the majority of the block bounded by Huntington Drive to the north, Bradbourne Avenue to the east, Central Avenue to the south, and Santo Domingo Avenue to the west. The Morrison House is located in the southwestern portion of the property.

The surrounding area is characterized primarily by its relatively flat topography and mix of low-rise residential development, including single-family homes, duplexes, and apartment buildings, often set in tract developments, dating from the 1950s through 1990s. Westminster Gardens is surrounded by residential uses to the north, east, and west: single- and multi-family residences are located immediately to the west; apartment buildings are located immediately to the north; and a single-family residential tract development is located immediately to the east. The property is bounded by Interstate 210 (I-210) to the south.

The landscaping immediately surrounding the Morrison House was designed at the time of the building's completion in the late 1930s. Designed landscape features include the central courtyard with a curving, intersecting brick walkway that is roughly H-shaped and centers on a rectangular reflecting pool. The reflecting pool, which is currently used as a planter, is approximately 12" deep and lined with Gladding-McBean tiles.⁹⁴ A manicured lawn covers much of the courtyard, intersperse with shrubbery and mature trees. To the north of the Morrison House, there is a woodland garden with a small brook that collects into several pools. Vegetation includes mature trees, shrubs, grasses, and flowers. Hardscaping includes winding concrete pathways and scattered brick planters.



Overview of Morrison House, facing east in 1940 (left) and 2022 (right). Source: Westminster Gardens and Google Earth.

⁹⁴ Interview with Chris Morrison by Alexandra Madsen, June 13, 2022.

Morrison House

The Morrison House is a one- and two-story Spanish Colonial Revival style building that was constructed in two phases: the southern wing of the building “El Sueño” was constructed in 1935, and an L-shaped addition “La Casa Soñada” (composed of the central block and north wing) was added in 1939. Built as a single-family residence, the building is now used for office and communal spaces at Westminster Gardens.

The Morrison House has a U-shaped plan that frames a central courtyard. It has complex massing and an asymmetrical composition; the stairwell on the north wing creates a cylindrical volume. The building has a mix of low-pitched gable and hipped roofs which are clad in red clay tiles and have boxed eaves with plaster soffits. Several clay tile chimneys are located along the ridgeline. There are two chimneys with chimney hoods: one on the north wing and one on the south wing. The building has a second-story cantilevered balcony that has wood posts, a wood balustrade with shaped wood balusters, and open eaves with exposed, shaped rafter tails. It is accessible via an exterior staircase on the north façade. A *corredor*⁹⁵ on the first floor has octagonal columns with cushion capitals, exposed rafters, and tile floor.

Fenestration consists primarily of divided-light steel sash casement windows in single, coupled, and grouped configurations. There is a stacked bow window located along the south façade and a cantilevered enclosed paneled wood balcony along the north façade of the north wing. A heraldic-themed leaded stained glass window is on the west façade. The primary entrance is located on the south façade of the north wing and consists of divided-light steel French doors with sidelights, terracotta tile terrace; it is accessible via a ramp. Secondary entrances consist of single and paired partially-glazed divided-light wood doors.

The first floor interior of the Morrison House has rooms arranged along the main entrance hall. The first floor includes a lobby (historic entrance hall), mail room (historic dining room), library, hallway, several offices and restrooms, and social hall. Most rooms have plaster walls with crown molding, carpeted floors, and wood baseboards. The lobby has wood crown molding and a semicircular wood staircase with balusters and newels shaped to resemble lotus flowers. The mail room has wood paneled walls and a paneled dado below the bow window carved with Egyptian motifs. The library has wood floors, wood paneled walls with wood built-ins (some of which feature Egyptian vegetal motifs), and a fireplace with a marble mantel. The central hallway has wood paneled pocket doors that open to storage closets. The rear offices and communal spaces have wood paneled built ins. The social hall is a large open space with a wood floor, king post wood truss ceiling, wood Pickwick paneled walls, and a large fireplace with a brick surround and wood mantel carved with a grape and vine motif.

The second floor has a meeting room, central hallway, several offices, and a few currently vacant rooms. Similar to the first floor, most rooms have plaster walls with crown molding, carpeted floors, and wood baseboards. The meeting room has wood paneled walls with built-in shelving and a fireplace that has been filled-in with brick. Office spaces and vacant rooms on the second floor have wainscoting. There are wood door and window casings, and brass hardware throughout

⁹⁵ A *corredor* is a narrow external porch that often lines an outdoor patio; also referred to as a *portale*.

the interior of the building. Some bathrooms and kitchens feature historic tilework, typically using white and accent-colored tiles set in a diamond pattern.

ALTERATIONS

The Morrison House has been altered several times since its original construction in 1935-1939.⁹⁶ A kitchen unit was added to the building in 1956.⁹⁷ In 1957, the interior of the building was remodeled; two bathrooms were divided into four bathrooms, and four dressing rooms were converted into kitchens.⁹⁸ Fire sprinklers were installed in 1975.⁹⁹ The building was reroofed by Lytle Roofing in 1980.¹⁰⁰ Part of the building was transformed from a residential unit into office space in 1982.¹⁰¹

⁹⁶ Building permits prior to 1950 are not on file with the City of Duarte of County of Los Angeles and were not available for review.

⁹⁷ County of Los Angeles, Building Permit No. 7870, issued on July 6, 1956.

⁹⁸ County of Los Angeles, Building Permit No. 1534, issued on December 18, 1957.

⁹⁹ City of Duarte, Building Permit No. 6063, Issued on January 21, 1975.

¹⁰⁰ City of Duarte, Building Permit No. 15209, issued on December 30, 1980.

¹⁰¹ County of Los Angeles, Miscellaneous Application No. 2483A, issued on March 31, 1982.

EXISTING CONDITIONS PHOTOGRAPHS

Historic Resources Group, June 2022



Overview of Morrison House, facing east.



Overview of Morrison House, facing northeast.



Primary Entrance, South Façade of North Wing, Morrison House, facing north.



West Façade of Central Block, Morrison House, facing south.



Colonnade on West Façade of Central Block, Morrison House, facing southeast.



Colonnade on West Façade of Central Block, Morrison House, facing east.



Balcony on South Façade of North Wing, Morrison House, facing west.



South Façade of North Wing, Morrison House, facing north.



South and West Façade of North Wing, Morrison House, facing northeast.



North and West Façades of North Wing, Morrison House, facing east.



North Façade of North Wing, Morrison House, facing southeast.



North Façade of North Wing, Morrison House, facing south.



North Façade of North Wing and East Façade of Central Block, Morrison House, facing southwest.



East Façade of Central Block, Morrison House, facing west.



South Façade of Central Block and East Façade of South Wing, Morrison House, facing northwest.



South Façade of South Wing, Morrison House, facing northwest.



South and West Facades of South Wing, Morrison House, facing northeast.



North Façade of South Wing, Morrison House, facing south.



Lobby, Morrison House.



Staircase, Morrison House.



Library, Morrison House.



Meeting Room, Morrison House.



Upstairs Hallway, Morrison House.



Social Hall, Morrison House.



Paneled Dado with Egyptian Motifs, Morrison House.



Courtyard, facing north.



Courtyard, facing west.



Lilly Pond, facing south.



Courtyard and Planter/Reflecting Pool, facing northeast.



Planter/Reflecting Pool and Tile, facing north.

8.0 HISTORICAL RESOURCES EVALUATION

The Morrison House was identified as potentially eligible for historic designation in the 2003 survey. The findings of the 2003 survey were not officially adopted by the City of Duarte. In addition, given the amount of time that has passed since that survey was completed it is appropriate to re-evaluate the residence based on current conditions and using current best practices. The City does not have an ordinance that defines local designation criteria. Therefore, the Morrison House is re-evaluated against the established criteria for listing in the National Register of Historic Places and the California Register of Historical Resources.

Evaluation of Eligibility

CRITERION NR A/CR 1 (EVENTS/PATTERN OF DEVELOPMENT)

According to guidance from the National Park Service, in order to be considered eligible for designation under Criterion A/1 for representing an important event or pattern of development, a property must be associated with one or more events that are clearly important within an associated context; and the property's specific association with the events or trends must be considered important as well. Mere association is not enough. The important association can be with a specific event marking an important moment in American pre-history or history; or with a pattern of events or a historic trend that made a significant contribution to the development of a community, a State, or the nation.¹⁰²

The Morrison property was originally part of the Rancho Azusa de Duarte, which was subdivided and purchased in 1888 by Norman H. Morrison as a vacation home and citrus farm. The Morrisons originally lived in a cottage and the Depot house, which is no longer extant. The Morrison House postdates these associations, and the property as a whole no longer reflects its early ranching history or association with prewar agriculture. The Morrison House itself was constructed in several stages. In 1935, the southern wing was constructed for use as a social hall for the family and their guests. At this time, the property was used as a vacation and summer home for the family, and their permanent residence was in Los Angeles. In 1939, the central block and north wing were added, and the building was used as a residence. When the residence was completed, the Morrison family relocated to the property full-time.

Over the course of its history, the Morrison House has been used as a social hall, residence, World War II Casualty Station, and it now serves as living, administrative, and communal spaces for Westminster Gardens. Based on research conducted for this report, there is no evidence that a singular event important in history occurred at the Morrison House. In addition, the original construction of the Morrison House as a single-family residence and its subsequent uses do not meet the threshold as defined by the National Park Service for designation as an example of an important trend or development pattern. The historical uses of Morrison House are not historically significant in a local, state, or national historic context.

¹⁰² *National Register Bulletin 15, 12.*

Therefore, the Morrison House is not eligible for listing in the National Register of Historic Places or the California Register of Historical Resources under Criterion A/1.

CRITERION NR B/CR 2 (ASSOCIATION WITH AN IMPORTANT PERSON)

According to the National Park Service, properties may be eligible for an association with the lives of persons significant in our past. Persons “significant in our past” refers to individuals whose activities are demonstrably important within a local, state, or national historic context. A property is not eligible if its only justification for significance is that it was owned or used by a person who is a member of an identifiable profession, class, or social or ethnic group. In addition, the property must be associated with a person’s productive life, reflecting the time period when he or she achieved significance.¹⁰³

Both Wayland A. Morrison and Lucile P. Morrison were notable and active residents of Duarte. They both resided at the Morrison House during their period of important involvement in the nascent community. Besides Wayland A. Morrison and Lucile P. Morrison’s given careers, as surgeon and author, respectively, the Morrises were also significant and active members in the community of Duarte. The Morrises served as members of civic community boards, even founding several organizations, and consistently donated to and promoted philanthropic causes in Duarte. These activities frequently involved the Morrison House, which served as the site for numerous meetings and events. The Morrises both worked at the Red Cross Casualty Station established at the house during World War II, and donated land to various causes, often focused on establishing much-needed services in Duarte. This included donating land for the establishment of a youth agency recreation center, public library, Duarte Child Welfare Clinic, and Duarte Masonic Temple. Overall, the Morrises contributed to the growth and development of community services in Duarte during their years at the Morrison House.

Therefore, the Morrison House appears eligible for listing in the National Register of Historic Places and the California Register of Historical Resources at the local level of significance under Criterion B/2 for its association with notable Duarte residents Wayland A. Morrison and Lucile P. Morrison.

CRITERION NR C/CR 3 (ARCHITECTURAL MERIT)

The Morrison House was designed by noted local architect Robert E. Bennett and constructed in two phases from 1935 to 1939. It is an excellent example of the Spanish Colonial Revival style of architecture designed early in Bennett’s career. The building exhibits high quality of design and distinctive characteristics of the style; design details are fully integrated in the both the interior and exterior of the residence. The Morrison House is U-shaped in plan and reflects Southern California indoor-outdoor living in the relationship between the house and the central courtyard. It is a high style example of Spanish Colonial Revival architecture, reflecting significant character-defining features of the style, including low-pitched gable and hipped roofs clad in red tiles, *corredor*, cantilevered balcony, central courtyard, stair tower, and elaborate chimneys. As discussed further below, although the house has been altered since its original construction, it

¹⁰³ *National Register Bulletin 15*, 15.

retains important features of its original design and retains sufficient historic integrity to convey its architectural significance.

Therefore, the Morrison House appears eligible for listing in the National Register of Historic Places and the California Register of Historical Resources at the local level of significance under Criterion C/3 for its architectural merit.

Evaluation of Integrity

Historic integrity is the ability of a property to convey its significance and is defined as the “authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s prehistoric or historic period.”¹⁰⁴ The National Park Service defines seven aspects of integrity for historic resources. These are *location*, *design*, *setting*, *materials*, *workmanship*, *feeling*, and *association*. The integrity of the Morrison House is evaluated below based on these seven aspects. The period of significance under Criterion A/1 is 1939-1950, reflecting the period when the Morrison family lived full-time on the property. The period of significance under Criterion C/3 is 1939, the year construction on the residence was completed.

Location: The Morrison House remains in its original location on the site. Therefore, it retains integrity of *location*.

Design: The Morrison House retains distinctive design characteristics from its original construction. Significant design elements include its one- to two-story height, asymmetrical composition, complex massing, and mix of gable and hipped roofs; and Spanish Colonial Revival features including clay barrel tile roofing, multiple chimneys, a *corredor* with octagonal columns, bow windows, steel-sash windows, and cantilevered balcony. Despite some interior alterations over time, the Morrison House retains the majority of the essential physical features that reflect its original Spanish Colonial Revival design. Therefore, it retains integrity of *design*.

Setting: The Morrison House was constructed as a single-family residence surrounded by landscaping on a large, otherwise mostly vacant parcel. The house retains the setting of its immediate surroundings, including the landscaped central courtyard, and adjacent pool. However, since the 1950s when the property was converted to Westminster Gardens, additional buildings have been added to the site to accommodate the new use and there have been continued changes to the wider surroundings. Therefore, integrity of *setting* has been compromised. However, for eligibility under Criterion B/2 and C/3, changes to setting are acceptable as long as the building retains sufficient integrity to convey the reason for its significance.

Materials: The Morrison House retains most of its materials from the period of significance, including brick and cement plaster exterior wall cladding, clay roof tiles, brick chimneys, steel frame windows, wood balconies, and carved wood panels, among others. The building’s material components have not been altered. Therefore, it retains integrity of *materials*.

¹⁰⁴ U. S. Department of the Interior, National Park Service, *National Register Bulletin 16A: How to Complete the National Register Nomination Form* (Washington, DC: 1997), 4.

Workmanship: The Morrison House retains the physical evidence of the workmanship of a 1930s single-family residence. The building's masonry, shaped wood rafter tails, clay roof tiles, wood staircase and terracotta pavers all reflect the crafts of the time. The building continues to retain substantial physical evidence of period construction techniques, including finishes and design elements, that reflect the character and identity of the building. Therefore, it retains integrity of *workmanship*.

Feeling: The Morrison House retains integrity of location, design, materials, and workmanship, and thus continues to express the aesthetic and historic sense of a 1930s Spanish Colonial Revival building. Therefore, it retains integrity of *feeling*.

Association: Association is the direct link between an important historic event or person and a historic property. Because the Morrison House retains integrity of *location, design, materials, workmanship, and feeling*, it continues to convey its direct link to the 1930s residence occupied by the Morrison Family.

Summary of Eligibility Findings

The Morrison House appears eligible at the local level of significance under National Register Criterion B/California Register Criterion 2 for its association with notable Duarte residents Wayland A. and Lucile P. Morrison. It is eligible at the local level of significance under National Register Criterion C/California Register Criterion 3 as an excellent example of Spanish Colonial Revival residential architecture in Duarte, designed by noted architect Robert E. Bennett early in his career. When Lucile Morrison sold the property to Westminster Gardens in 1950, the interior was converted from a single-family residence to a dormitory for retired missionaries, and subsequently altered into office spaces. However, there have been minimal changes to the exterior, and the interior retains significant decorative features associated with its original design. The Morrison House therefore retains integrity of location, design, materials, workmanship, feeling, and association, and continues to convey its historic significance.

9.0 CHARACTER-DEFINING FEATURES

Every historic building is unique, with its own identity and its own distinctive character. *Character-defining features* are those visual aspects and physical features or elements, constructed during the property's period of significance, that give the building its historic character and contribute to the integrity of the property. Character-defining features should be considered in the planning and design of a project and preserved to the maximum extent possible. Character-defining features can identify the building as an example of a specific building type, usually related to the building's function; they can exemplify the use of specific materials or methods of construction or embody an historical period or architectural style; and they can convey the sense of time and place in buildings associated with significant events or people. In general, retaining character-defining features retains the integrity of an historic property and maintains the property's eligibility as an historical resource. Removal or alteration of one feature does not necessarily change the eligibility of an historical resource. Significant impacts on an historical resource result from major change or many incremental changes over time.

Character-defining features of the Morrison House are:

- U-shaped plan
- Relationship between residence, courtyard, and reflecting pool
- One- to two-story height
- Complex massing
- Asymmetrical composition
- Mix of low-pitched gable and hip roofs
- Boxed eaves with plaster soffit
- Red clay tiles on roof
- Chimneys (some with chimney hoods)
- Second-story cantilevered balcony with shaped wood balusters
- Exterior staircase
- *Corredor* with octagonal columns, cushion capitals, and exposed rafters
- Masonry exterior
- Steel sash casement windows
- Bow windows
- Primary entrance with French doors
- Semicircular wood staircase with balusters and newels shaped as lotus flowers
- Fireplace with marble mantel in library
- King post wood truss ceiling in social hall
- Social hall fireplace with brick surround
- Original interior woodwork and casework, including pocket doors, mantels, and carved wood features, including wood carved panels in the mail room, social hall, and library

10.0 ANALYSIS OF POTENTIAL IMPACTS

The Project proposes to alter the interior and exterior spaces of the Morrison House at Westminster Gardens. As proposed, the Project would construct an addition at the southeast corner of the residence, renovate the primary entrance, add a new entry door along the secondary (northern) façade and enclose the *corredor*. The Project would also add additional railings to balconies and porches, renovate interiors, and redesign the courtyard. Potential impacts to the Morrison House are discussed below.

SIGNIFICANCE THRESHOLD

A significant effect on the environment as defined by CEQA would occur if a project results in a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines Section 15064.5(a). Substantial adverse change is defined as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.”¹⁰⁵ According to CEQA Guidelines Section 15064.5(b)(2), the significance of a historical resource is materially impaired when a project demolishes or materially alters in an adverse manner those physical characteristics that:

- A. Convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register; or
- B. Account for its inclusion in a local register of historical resources pursuant to PRC Section 5020.1(k) or its identification in a historical resources survey meeting the requirements of PRC Section 5024.1(g) Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- C. Convey its historical significance and that justify its eligibility for inclusion in the California Register as determined by a Lead Agency for purposes of CEQA.

This section examines potential impacts to historical resources on the Project Site as a result of the Project. The Project application materials, plans, elevation drawings, and renderings were used to analyze potential impacts to historical resources.

POTENTIAL IMPACTS TO THE MORRISON HOUSE

The Project proposes several alterations to the Morrison House at Westminster Gardens.

The Project proposes to retain and rehabilitate the Morrison House’s existing steel-sash windows and doors. These character-defining features would be retained but updated for energy efficiency and safety considerations. Proposed work items for the windows could include replacing glazing with laminated glass, repair/replacing damaged or missing hardware, repair/replace damaged sills,

¹⁰⁵ CEQA Guidelines, Section 15064.5(b)(1).

scraping loose paint and priming/repainting windows. If some windows on secondary façades have deteriorated beyond repair, they will be replaced in accordance with Mitigation Measure 2 as set forward in this report (see page 48). As such, the overall fenestration pattern and appearance of the building's windows will be retained.

The original wood railings on the balconies and porches would also be retained, and new, compatible glass panels would be added. These new glass panels would be installed along the building side of the railing and would be attached to the original wood railing columns via two adjustable glass clamps. As such, the historic railings will remain intact and in place and the new railings will be visually unobtrusive. Therefore, the overall appearance and historic character of the railings will be preserved.

The Project also includes a new addition to the southeastern corner of the building and the installation of a new secondary forefront door; both alterations are located on secondary façades. The proposed addition to the Morrison House would be located along the rear, southeast corner of the building in a secondary, less-visible location. The one-story addition would be compatible in scale and massing to the historic building and utilize similar, compatible materials, including plaster walls and tile roof. The addition thereby follows specific recommendations for new additions as set forth in the Secretary of the Interior's *Standards* for Rehabilitation: it would not destroy historic materials; it is located at the rear; is limited in size, scale, and proportion; and is compatible and subordinate to the historic building.

The Project proposes to add a new double door along the secondary (northern) façade. Because the north façade is a secondary façade the new entrance would not affect the overall visual character of the building. Although this door would serve as a new, accessible primary entrance, the historic primary entrance would remain intact and in place. The new entrance would have an aluminum automatic sliding double door, and would be distinguishable from, but compatible with, original metal doors on the historic building.

The Project proposes to enclose the *corredor* in the courtyard with new glass partitions between the original columns. The glass partitions are divided into six large panels that provide greater transparency and visibility of the historic building. The Project would partially alter the appearance of the *corredor* by enclosing a previously open space. However, the installation of the minimalist glass would ensure that the original construction of the *corredor* is retained and visible from the interior and exterior of the enclosure and would maintain the historic rhythm and articulation of the *corredor*.

The Project proposes some alterations to the interior of the Morrison House. The interior of the Morrison House has been altered consistently since its conversion from a single-family residence to a retirement home. Interior alterations proposed by the Project include the construction of an elevator in the main lobby and removal of added features, including the reception desk and mailbox. The proposed Project would retain many significant historic features, such as the staircase and wood wall carvings, that convey the building's original interior. While some original features, such as the wood wainscoting and tile floors, would be removed in several interior rooms, they would be retained in the Library and El Sueño, where they add to the overall

character of the space. The interior finishes are the most intact in these two rooms, and their preservation would ensure that these spaces continue to retain their character-defining features. These rooms are relatively self-contained spaces, and are connected to other rooms, such as the lobby, via smaller interior hallways. These hallways will be retained, and the spatial relationship between rooms will be preserved. Therefore, interior renovations would not alter major character-defining features, such as wood paneling, wainscoting, and tile flooring, in the building's intact spaces.

Updates to the landscaping in the courtyard of the Morrison House include the removal of the brick walkway, completion of a new concrete walkway, and restoration of the reflecting pool. The courtyard of the Morrison House has a brick walkway surrounding a central reflecting pool that was converted into a planter at an unknown date. The significance of the courtyard is conveyed not by the materials, but rather by its general design, notably its ambulatory circulation route and central water feature. Although the Project would include the removal of the brick walkway, it would install a new concrete walkway designed in a similar layout to the original walkway, thereby retaining the general spatial relationship of the pathway and residence. The Project would also convert the planter back into a reflecting pool to serve its original use. Therefore, the Project would not significantly alter the courtyard's design, and would retain the space's character and relationship with the residence.

For these reasons, the Project does not propose to alter the Morrison House such that the significance of the historical resource would be materially impaired. Instead, Morrison House would retain the significant physical features associated with its period of significance from 1935 to 1950, including its plan, massing, height, combination of gable and hip roofs, red clay roof tiles, chimneys, balcony, *corredor*, and various steel windows, among others. The Project would not materially impair the significance of the Morrison House and would not result in a substantial adverse impact. Therefore, the Morrison House will still convey its significance as a Spanish Colonial Revival style residence associated with the Morrison Family.

11.0 MITIGATION MEASURES

This evaluation has identified the Morrison House as eligible for listing in the National Register and California Register at the local level of significance under Criteria B/2 and C/3. The proposed Project would not result in removal or alteration of characteristics of the Morrison House that convey its historical significance and justify its eligibility for inclusion in these registers.

Implementation of the following mitigation measures would further reduce potential impacts to the historic resource.

MM-1 DOCUMENTATION

Prior to the issuance of a building permit for alteration, abatement, renovation/rehabilitation, or expansion of the Morrison House, the Applicant shall retain a qualified historic preservation professional who meets the Secretary of the Interior's Professional Qualification Standards to document the existing condition of the eligible historic resource in accordance with accepted industry guidelines for such documentation. The photographs shall include overall views, exterior façades, interiors, and details of specific elements that contribute to the historic integrity of the structure. The documentation shall include narrative information about the building, and if available, copies of blueprints, plans, or drawings of the original structure. Hard copies and/or electronic versions of the archival photographic documentation shall be assembled and sent to the Southern California Information Center at California State University, Fullerton and the City of Duarte, and also retained by the Applicant.

MM-2 WINDOW REPLACEMENT

The Project requires that all historic windows shall be retained as part of the Project. However, if a historic window along a secondary façade is so severely deteriorated that it cannot be repaired, the Applicant may request City approval to replace the deteriorated window. The City may approve the replacement of a historic window based on the following conditions:

- The Applicant can demonstrate that the window is deteriorated beyond repair. A determination as to when deterioration is sufficiently severe to justify replacement shall be based on documentation of the condition of the window. At a minimum documentation must include sufficient good quality photographs to clearly depict the full range of conditions; description of the location of the window; and an evaluation by a qualified professional that the window cannot be repaired.
- The proposed replacement window fits within the existing opening, and shall match the existing window in design, color, texture, material, and operation. Moreover, the window sections provided for replacement windows must clearly show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details, including joinery, must also be apparent.

If the above conditions are met, the City may approve the replacement window.

12.0 CONCLUSION

Based on visual observation of the property, research of primary and secondary sources, and an analysis of the eligibility criteria for listing at the federal and state levels, HRG has identified the Morrison House as eligible for listing in the National Register of Historic Places and California Register of Historical Resources at the local level under Criteria B/2 and C/3. As such, the Morrison House is considered a historical resource as defined by CEQA.

As proposed, the Project includes several exterior improvements to the residence and grounds, as well as internal changes. Analysis of the proposed Project found that it does not propose to alter the Morrison House such that the significance of the historical resource would be materially impaired. Morrison House would retain the significant physical features associated with its period of significance from 1935 to 1950. Therefore, the Project would not result in a substantial adverse change in the significance of a historical resource and would not have a significant effect on the environment as defined by CEQA.

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APPENDIX A

HISTORIC AERIAL PHOTOGRAPHS

TOP-DOWN VIEWS



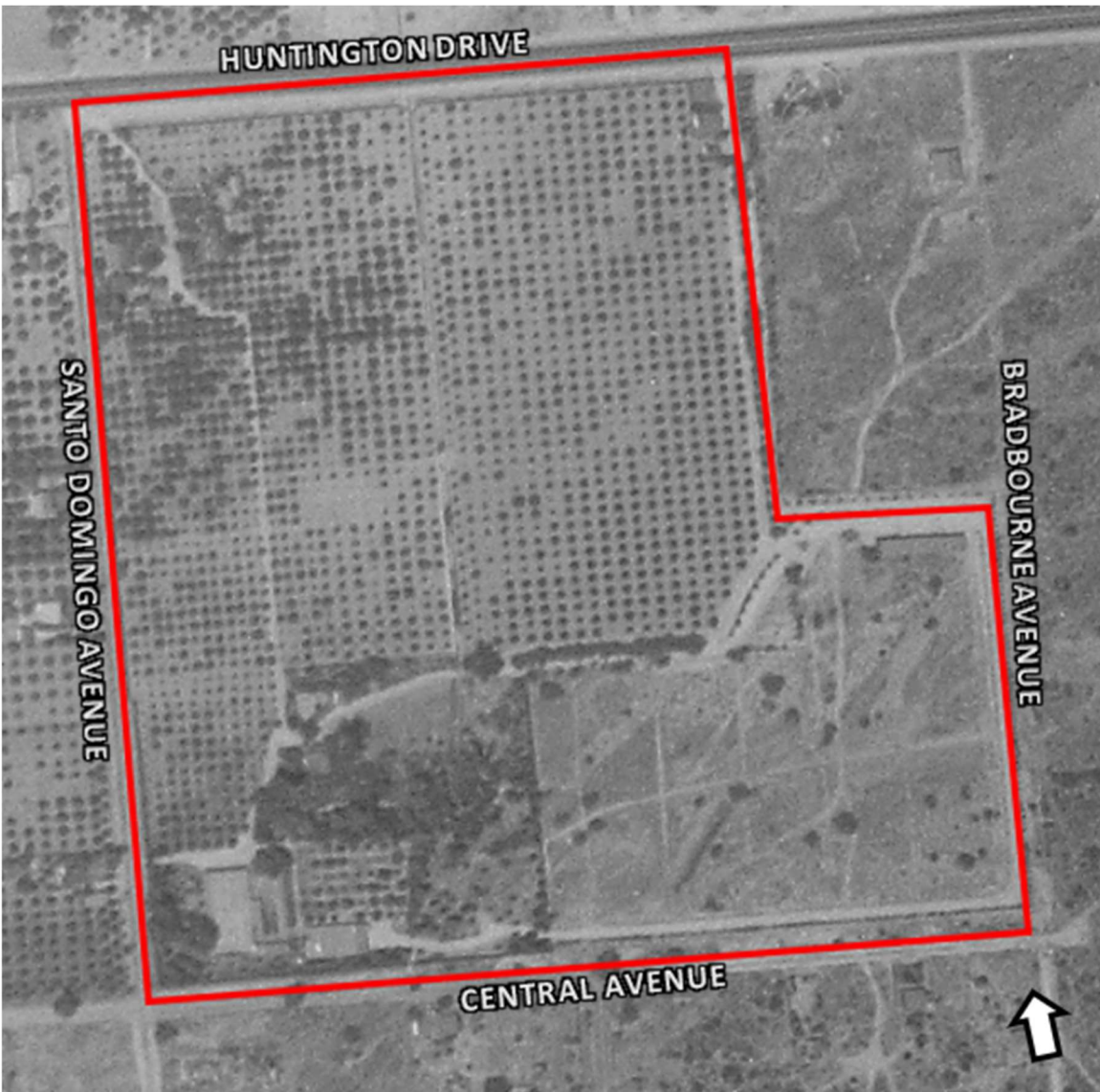
1928 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-300. Frame 1-63. University of California Santa Barbara Aerial Photography Collection.



1932 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-1960. Frame 15. University of California Santa Barbara Aerial Photography Collection.



1934 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-4061. Frame 1. University of California Santa Barbara Aerial Photography Collection.



1936 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-4061. Frame 49. University of California Santa Barbara Aerial Photography Collection.



1938 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-5043. Frame 50. University of California Santa Barbara Aerial Photography Collection.



1944 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID ddf-1944. Frame 8-109. University of California Santa Barbara Aerial Photography Collection.



1949 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-13990. Frame 1-176x. University of California Santa Barbara Aerial Photography Collection.



1952 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID axj-1952. Frame 5k-23. University of California Santa Barbara Aerial Photography Collection.



1956 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID tg-2400. Frame 1-135. University of California Santa Barbara Aerial Photography Collection.



1960 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-23870. Frame 1558. University of California Santa Barbara Aerial Photography Collection.



1968 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID tg-2400. Frame 1-135. University of California Santa Barbara Aerial Photography Collection.

OBLIQUE VIEWS



1940 oblique aerial photograph of ranch and residence, facing north. Source: Westminster Gardens.



1940 oblique aerial photograph of Morrison House, facing east. Source: Westminster Gardens.



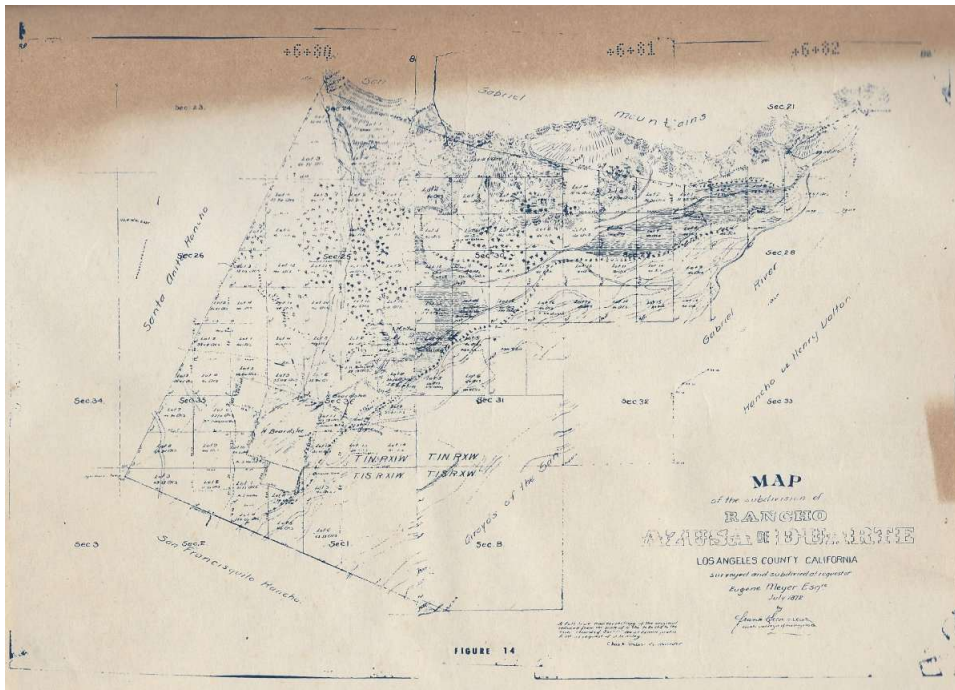
C. 1949 oblique aerial photograph of Morrison House, facing east. Source: Westminster Gardens.



C. 1949 close-up view of Morrison House, facing east. Source: Westminster Gardens.

APPENDIX B

HISTORIC PHOTOGRAPHS



Map of Rancho Azusa de Duarte, 1872. Source: City of Monrovia.



Duarte Railroad Depot, later moved to the Morrison Ranch property by Norman H. Morrison for use as a farm building, c. 1886. Source: City of Monrovia.



Norman H. Morrison in Orange Groves on Morrison Ranch, 1914. Source: Westminster Gardens.



Santa Fe Station, first summer residence of Morrison family in Duarte (demolished), circa 1914. Source: Westminster Gardens.



Construction of South Wing (El Sueño) of Morrison House, 1935. Source: Westminster Gardens.



Construction of South Wing (El Sueño) of Morrison House, Lucile Morrison with builders, 1935. Source: Westminster Gardens.



Morrison Children (Keith and Wayland) at South Wing (El Sueño) of Morrison House, 1935. Source: Westminster Gardens.



View of North Wing (La Casa Soñada) of Morrison House Under Construction, 1939. Source: Chris Morrison.



View of Central Block and North Wing (La Casa Soñada) of Morrison House Under Construction, 1939. Source: Chris Morrison.



Roofing North Wing (La Casa Soñada) of Morrison House, 1939. Source: Chris Morrison.



North Wing (La Casa Soñada) of Morrison House Under Construction, 1939. Source: Chris Morrison.



Completed North Wing (La Casa Soñada) of Morrison House, 1940. Source: Westminster Gardens.



Completed North Wing (La Casa Soñada) of Morrison House, 1940. Source: Westminster Gardens.



Primary Entrance and Staircase North Wing (La Casa Soñada) of Morrison House, 1940. Source: Westminster Gardens.



Reflecting Pool at Morrison House, 1940. Source: Westminster Gardens.



Moving Cape Cod Cottage, 1940. Source: Westminster Gardens.



Moving Cape Cod Cottage, 1940. Source: Westminster Gardens.



Morrison Family on Christmas Day, 1939. Source: Westminster Gardens.



Morrison Family in Library, c. 1945. Source: Westminster Gardens.



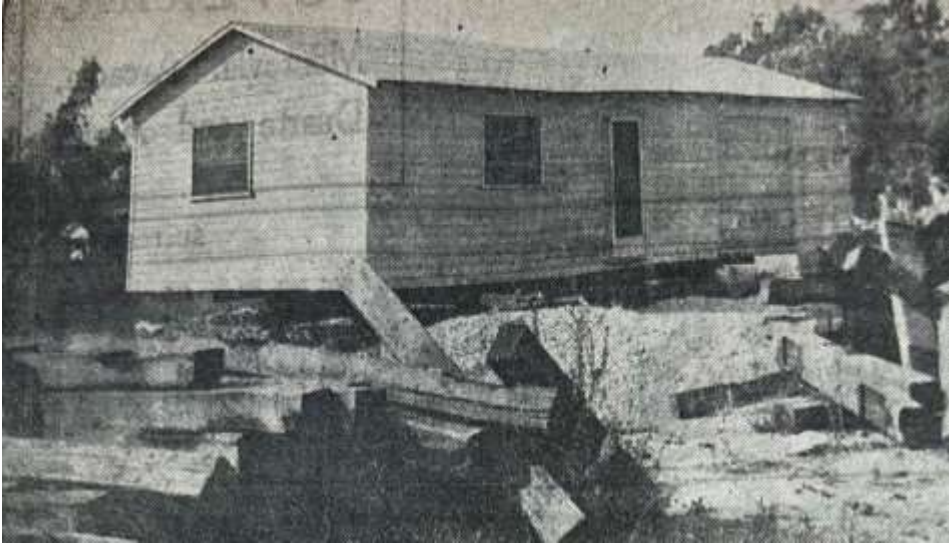
Library, Westminster Gardens, n.d. Source: City of Duarte.



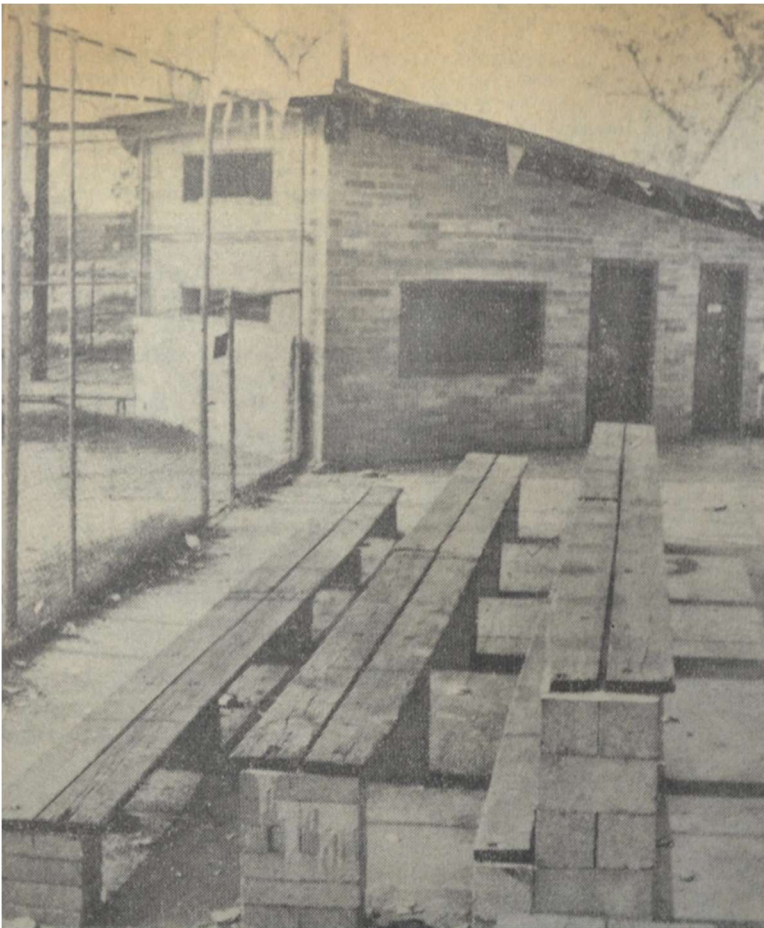
Dedication of Youth Agency Acres in Duarte, 1950. Source: Margiloff, Earle, and the Duarte Historical Society.



Dedication of Youth Agency Acres in Duarte, 1950. Source: Daily News Post.



Duarte Youth Acres, c. 1950. Source: Monrovia News-Post.



Duarte Youth Acres, baseball field and concession stand, c. 1950. Source: Duarte Rock.



Child Care Clinic on northeast corner of Morrison property at 2026 E. Huntington Drive, 1950. Source: Monrovia Daily News Post.



Morrison House purchased by Westminster Gardens, 1951. Source: Los Angeles Times.



William C. Booth at Westminster Gardens, 1951. Source: Los Angeles Times.



Surveyors at Morrison House for Westminster Gardens, 1951. Source: Los Angeles Times.



Board of Directors reviewing building program for Westminster Gardens, 1951. Source: Daily News Post.



Aloysia Moore, Congressman Charles Wiggins, Lucile P. Morrison, and Joe Molyneau during the Duarte Historical Society award ceremony, 1967. Lucile Morrison won a Pioneer Service Award for her contributions to the City of Duarte. Source: Daily News Post.

APPENDIX C

PREVIOUS EVALUATIONS

EXECUTIVE SUMMARY

Westminster Gardens – Morrison House 1420 Santo Domingo Duarte, CA 91010

NAME	Westminster Gardens – Morrison House			REF. NO.	50
ADDRESS	1420 Santo Domingo				
CITY	Duarte	ZIP	91010	LOS ANGELES COUNTY	
YEAR BUILT	1920	LOCAL REGISTER CATEGORY:			
HISTORIC DISTRICT		NEIGHBORHOOD			
NATIONAL REGISTER CRITERIA FOR EVALUATION	A, B, C	NATIONAL REGISTER STATUS CODE		3S	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Spanish Revival

Spanish Revival style is based on Spanish colonial and Mexican buildings that were built in California, Texas and the American Southwest between the early 1600s and the 1840s. The style regained popularity as a revival style during the 1920s. Characteristics of Spanish Revival that this building possesses are stucco walls, rounded archways and windows, and a tile roof.

SUMMARY/CONCLUSION:

This structure should be included in the Duarte list of historical properties because of its architectural and historical significance. The building is a good example of the Spanish Revival style. In term of its history, It is now part of a property that is home for retired Presbyterian ministers and it was the original Santa Fe Railroad station in Duarte. It also became the first part of the Morrison Ranch house when Dr. Wayland A. Morrison and his wife Lucille bought the property. At this location, much of Duarte's history was activated in this particular structure in that the first Community Service Councils and many other organizations met here during the 1940's.

EXPLANATION OF CODES:

- **National Register Criteria for Evaluation:** (From Appendix 7 of Instructions for Recording Historical Resources, Office of Historic Preservation)
 - (a) that are associated with events that have made a significant contribution to the broad patterns of our history
 - (b) that are associated with the lives of persons significant in our past
 - (c) that embody the distinctive characteristics of a type, period, or method of construction
- **National Register Status Code:** (From Appendix 2 of Instructions for Recording Historical Resources, Office of Historic Preservation)
3S. Appears to be eligible for separate listing

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3 Resource name(s) or number (assigned by recorder) Morrison House

P1. Other Identifier: none

***P2. Location:** Not for Publication Unrestricted

***a. County** Los Angeles County

***b. USGS 7.5' Quad** Azusa

Date: 1995

***c. Address** 1420 Santo Domingo

City Duarte

Zip 91010

***e. Other Locational Data:** Assessor's Parcel Number: 8529-014-025, 8529-014-026

Legal Description: SUB OF THE RANCHO AZUSA DE DUARTE 25.75 MORE OR LESS ACS COM S ON W LINE OF LOT 16 IN SEC 30 T 1N R 10W 320.01 FT AND N 89°41'30" E 30 FT FROM NW COR OF ... SEE MAPBOOK FOR MISSING PORTION ... OF LOT 16 IN SEC 30 T 1N R 10W

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Spanish Revival building has a hipped roof covered with red Spanish-style tiles and medium sized eaves. The porch area has a shed roof with the same type of red tiles and evenly spaced columns. The exterior walls are covered with stucco. The windows are evenly spaced along the second story, are square or rectangular shaped sliders, and each one has an overhang. The porch runs along the full width of the house and is supported by several evenly spaced columns.

***P3b. Resource Attributes:** (list attributes and codes) HP2 single family property

***P4. Resources Present:** Building Structure Object Site District Element of District Other



P5b. Photo: (view and date)
View from the East, February 2003

***P6. Date Constructed/Age and Sources:**
1920
Source: Los Angeles Co.Assessors

***P7. Owner and Address:**
Westminster Gardens and
Presbyterian Church
1420 Santo Domingo Avenue
Duarte, CA 91010

***P8. Recorded by:**
Barbara Watson
URP 431
California State Polytechnic
University, Pomona

***P9. Date Recorded:**
January, 2003

***P10. Survey Type:**
Intensive Survey

***P11. Report Citation:** (Cite survey report and other sources, or enter "none")

Duarte Historical Society: File, Duarte Historical Landmarks
Duarte-Monrovia Community Book

***Attachments:** None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
Artifact Record Photograph Record Other (list)

State of California — The Resources Agency # _____ DEPARTMENT _____ OF _____ PARKS _____ AND _____ RECREATION HRI# _____ BUILDING, STRUCTURE, AND OBJECT RECORD	Primary _____ *NRHP Status Code _____
---	---

Page 2 of 3

*Resource Name or #: Morrison House

- B1. Historic Name: Morrison House
- B2. Common Name: Morrison House
- B3. Original Use: Railroad Station, Single Family house
- B4. Present Use: Administration building for home for retired Presbyterian ministers and missionaries

*B5. Architectural Style: Spanish Revival.

*B6. Construction History: (Construction date, alterations, and date of alterations):
 Constructed in 1926

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

*B10. Significance: Theme Area Duarte

Period of Significance: 1920's Property Type: Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

Spanish Revival style is based on Spanish colonial and Mexican buildings that were built in California, Texas and the American Southwest between the early 1600s and the 1840s. The style regained popularity as a revival style during the 1920s. In terms of its history, this building was the original Santa Fe Railroad station in Duarte. It then became the first part of the Morrison ranch house when Dr. Wyland Morrison and his wife Lucille purchased the property. The rest of the building was added over the years. Much of Duarte's early history was enacted in this particular structure in that the first Community service council and many organizations met here in the 1940'.

B11. Additional Resource Attributes: (List attributes and codes) _____

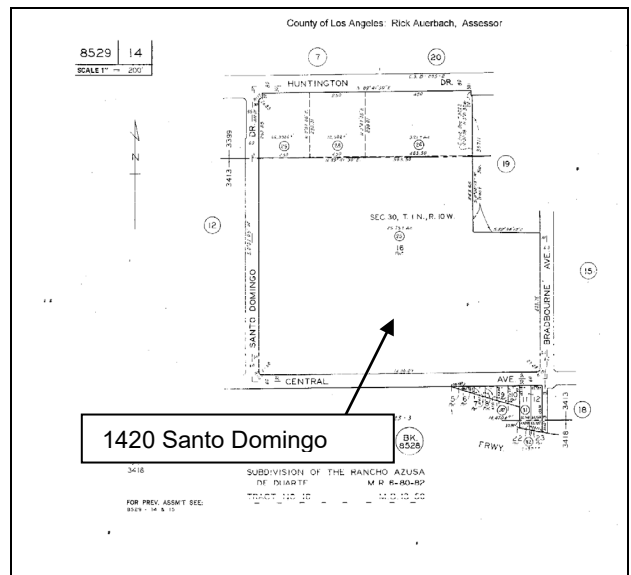
*B12. References:

B13. Remarks:

*B14. Evaluator:

*Date of Evaluation:

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

Primary # _____

HRI # _____

CONTINUATION SHEET

Trinomial _____

Page 3 of 3

Resource Name or # (Assigned by recorder) Morrison House

*Recorded by _____

*Date _____

Continuation Update

*B10. Significance (continued):

*B12. References (continued):

APPENDIX D

CALIFORNIA DPR 523 FORMS

State of California  The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
NRHP Status Code 3S

Other Listings
 Review Code

Reviewer

Date

Page 1 of 25 *Resource Name or #: (Assigned by recorder) Morrison House

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County Los Angeles County

*b. USGS 7.5' Quad Azusa Date 1995 T 2S; R 13W; ___ of ___ of Sec ___ B.M.

c. Address 1420 Santo Domingo Avenue City Duarte Zip 91010

d. UTM: Zone 11S, 411174.9 mE/ 3777707.5 mN

e. Other Locational Data: APN: 8529-014-025

***P3a. Description:**

The Morrison House is a one- and two-story Spanish Colonial Revival style building that was constructed in two phases: the southern wing of the building "El Sueño" was constructed in 1935, and an L-shaped addition "La Casa Soñada" (comprised of the central block and north wing) was added in 1939. Built as a single-family residence, the building is now used for office and communal spaces at Westminster Gardens.

The Morrison House has a U-shaped plan that frames a central courtyard. It has complex massing and an asymmetrical composition; the stairwell on the north wing creates a cylindrical volume. The building has a mix of low-pitched gable and hipped roofs which are clad in red clay tiles and have boxed eaves with plaster soffits. Several clay tile chimneys are located along the ridgeline. There are two chimneys with chimney hoods: one on the north wing and one on the south wing. The building has a second-story cantilevered balcony that has wood posts, a wood balustrade with shaped wood balusters, and open eaves with exposed, shaped rafter tails. It is accessible via an exterior staircase on the north façade. (See Continuation Sheet)

*P3b. Resource Attributes: HP13. Community center/social hall; HP6. 1-3 story commercial building

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P4. Resources Present: Building

Structure Object Site District

Element of District Other (Isolates, etc.)

P5b. Description of Photo:

View facing northeast, June 2022

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1935-1939

*P7. Owner and Address:

Westminster Gardens

1420 Santo Domingo Avenue

Duarte, California 91010

*P8. Recorded by:

Alexandra Madsen and Christine Lazzaretto

Historic Resources Group

12 S. Fair Oaks Avenue, Suite 200

Pasadena, CA 91105

*P9. Date Recorded: July 2022

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historic Resources Group, "Morrison House Historic Resources Evaluation Report," prepared for MIG, July 2022.

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) Morrison House *NRHP Status Code 3S

Page 2 of 25

B1. Historic Name: Wayland A. and Lucile P. Morrison House

B2. Common Name: Morrison House

B3. Original Use: Residential B4. Present Use: Administrative/Office/Communal Space

*B5. Architectural Style: Spanish Colonial Revival

*B6. Construction History:

The site that now comprises Westminster Gardens was historically located in the Rancho Azusa de Duarte, a 6,596-acre land grant given to Andrews Avelino Duarte by Governor Juan Alvarado in 1841. Born at the Mission San Juan Capistrano in 1805, Duarte served in the Mexican army before setting on his land grant. However, following the culmination of the Mexican-American War in 1848, Duarte was forced to prove his ownership of the land to the United States. Duarte was forced to sell most of his land holdings to fund his defense, including a single sale of 220 acres followed by several 40-acre lots. (See Continuation Sheet)

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: None.

B9a. Architect: Robert E. Bennett b. Builder: J. Walter Johnson

*B10. Significance: Theme Significant Persons; Residential Architecture Area Duarte
Period of Significance 1935-1950 Property Type Residential Applicable Criteria B/2 and C/3

Findings

Morrison House was owned by the Morrison Family from 1935 to 1950. The Morrises were significant local leaders in Duarte during this period. The Morrison House was designed by noted architect Robert E. Bennett of Bennett & Bennett and is an excellent example of local Spanish Colonial Revival architecture.

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes) HP2. Single family property

*B12. References:

"Azusa." *Los Angeles Herald*. October 25, 1897.

"Beautiful Duarte Home Is Setting for Morrison-Meyers Wedding." *Monrovia News-Post*. February 9, 1942.

California Public Resources Code, Sections 21000-21177.

California Code of Regulations, Title 14, Division 6, Chapter 3, Sections 15000-15387.

"Citrus Groves in Duarte Yield to New Uses." *Monrovia News-Post*. March 26, 1949.

City of Duarte. "City History."

<http://www.accessduarte.com/about/history.htm> (accessed June 2017).

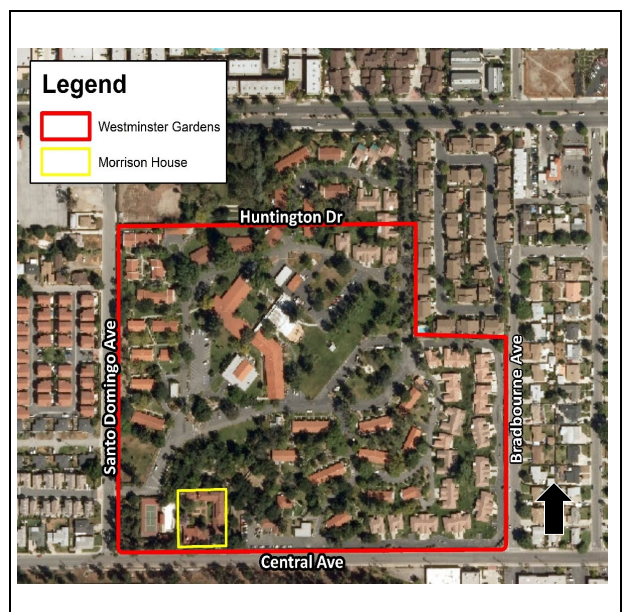
(See Continuation Sheet)

B13. Remarks:

*B14. Evaluator: Alexandra Madsen, Historic Resources Group

*Date of Evaluation: July 2022

(This space reserved for official comments.)



CONTINUATION SHEET

Primary #
HRI#

Trinomial 3S

Page 3 of 25

*Recorded by: Historic Resources Group

*Date: July 2022

*Resource Name or # Morrison House

Continuation Update

*P3a. Description: (Continued...)

A *corredor* on the first floor has octagonal columns with cushion capitals, exposed rafters, and tile floor. Fenestration consists primarily of divided-light steel sash casement windows in single, coupled, and grouped configurations. There is a stacked bow window located along the south façade and a cantilevered enclosed paneled wood balcony along the north façade of the north wing. A heraldic-themed leaded stained glass window is situated on the west façade. The primary entrance is located on the south façade of the north wing and consists of divided-light steel French doors with sidelights, terracotta tile terrace; it is accessible via a ramp. Secondary entrances consist of single and paired partially-glazed divided-light wood doors.

The first floor interior of the Morrison House has rooms arranged one after another centered on the main entrance hall. The first floor includes a lobby (historic entrance hall), mail room (historic dining room), library, hallway, several offices and restrooms, and social hall. Most rooms have plaster walls with crown molding, carpeted floors, and wood baseboards. The lobby has wood crown molding and a semicircular wood staircase with balusters and newels shaped to resemble lotus flowers. The mail room has wood paneled walls and a paneled dado below the bow window carved with Egyptian motifs. The library has wood floors, wood paneled walls with wood built-ins (some of which feature Egyptian vegetal motifs), and a fireplace with a marble mantel. The central hallway has wood paneled pocket doors that open to storage closets. The rear offices and communal spaces feature wood paneled built ins. The social hall is a large open space with a wood floor, king post wood truss ceiling, wood Pickwick paneled walls, and a large fireplace with a brick surround and wood mantel carved with a grape and vine motif.

The second floor has a meeting room, central hallway, several offices, and a few currently vacant rooms. Similar to the first floor, most rooms have plaster walls with crown molding, carpeted floors, and wood baseboards. The meeting room has wood paneled walls with built-in shelving and a fireplace that has been filled-in with brick. Office spaces and vacant rooms on the second floor have wainscoting. There are wood door and window casings, and brass hardware throughout the interior of the building. Some bathrooms and kitchens feature historic tilework, typically using white and accent-colored tiles set in a diamond pattern.

The landscaping immediately surrounding the Morrison House was designed at the time of the building's completion in the 1930s. The designed landscape includes a central courtyard with a curving, intersecting brick walkway that is roughly H-shaped and centers on a rectangular reflecting pool. The reflecting pool, which is currently used as a planter, is approximately 12" deep and clad in teal Gladding, McBean tiles. A manicured lawn covers much of the courtyard, although shrubbery and mature trees are sporadically placed on the lawn.

To the north of the Morrison House, the woodland garden has a small brook that collects into several pools. Vegetation includes mature trees, shrubs, grasses, and flowers. Hardscaping in the woodland garden includes winding concrete pathways and scattered brick planters.

*B6. Construction History (Continued...):

The subject property was half of one 40-acre lot, and legally described at the "north 20 acres of w ½ and w ½ of e ½ of lot 16, section 30, Azusa de Duarte Rancho." The land was owned by Norman C. Jones until his death in 1877; at that point it was sold as part of his estate by his heirs of the Gale family. The land was purchased by B. D. Eachus, who in turn sold it to Henry N. Army in 1887 for \$6,000.

MORRISON RANCH

In 1888, Dr. Norman H. Morrison purchased the 20-acre lot. Norman H. Morrison was chief surgeon for the Santa Fe Railway line and founder of the Santa Fe Hospital in the Boyle Heights neighborhood of Los Angeles. He worked and resided in Los Angeles with his family and established the Morrison Ranch in Duarte shortly after purchasing the land.

. It appears that the ranch was mostly used as a summer retreat for much of the late 19th and early 20th century. In 1897, Morrison purchased the "old Santa Fe depot building at Duarte and remove[d] it to his ranch nearby for a farm building."

CONTINUATION SHEET

Primary #
HRI#

Trinomial 3S

Page 4 of 25

*Resource Name or # Morrison House

*Recorded by: Historic Resources Group

*Date: July 2022

Continuation

Update

*B6. Construction History (Continued...):

MORRISON RANCH

Following the death of Norman H. Morrison in 1921, his son Dr. Wayland A. Morrison and Wayland's wife Lucile Phillips Morrison took over control of the ranch in Duarte. At that time, the property was still used by the Morrison family as a weekend and vacation home. Although Wayland A. Morrison intended to expand the ranch as early as 1911, it was not until 1924 that he started making changes to the site, including improvements to an existing Cape Cod cottage (demolished). Morrison also built a five-room bungalow on the east side of the ranch for his tenant, O.R. Green.

In a 1930 newspaper article entitled "Who's Who in Monrovia," the *Monrovia News Post* recorded: Dr. W. A. Morrison, Duarte, was born in Los Angeles and has lived in Los Angeles and Duarte all his life... The family has spent its summers in Duarte for a number of years, and each weekend the members has spent on their ranch home in Duarte. The site was chosen to give the children a wider range of play. They have a Cape Cod cottage upon the ranch which offers an interesting contrast with the modern Spanish homes. Their home is filled with interesting antiques.

It appears that Morrisons resided in the Cape Cod style cottage when visiting the ranch through the 1920s. In addition to utilizing the property as a summer retreat, Morrison also cultivated the land with citrus groves along Foothill Boulevard and sold rabbits in the 1920s and 1930s. By the 1930s, the grounds were described as containing a lily pool shaded by huge trees, a woodland garden, and a swimming pool; the residence was described as featuring a music room and wood-paneled library. The property also had a tennis court.

In 1935, the Morrisons erected a Spanish Colonial Revival style building with "a large dance room, dining room, kitchen, powder room, [and] patio ... next to the swimming pool and tennis court." The Morrison children used the building to entertain their friends; it was known as "El Sueño" or "The Dream,".

In 1939, "El Sueño" was incorporated into a new residence constructed by the family, forming the southern wing of a larger U-shaped building. The Morrison family referred to the new building as "La Casa Soñada," or "the dreamed-of home." The building was designed by architect Robert Bennett, who was a distant cousin of the family, and built by J. Walter Johnson. Morrison also expanded the acreage from twenty to fifty acres. As this time, the Morrisons relocated to Duarte full time.

The residence was described as a "spacious mansion with its three wings forming a U, it has eight suites of rooms built by the Morrisons for their children and [their] families."

The property was described by the *Monrovia News-Post* in 1941: "Homes like that of Dr. Wayland Morrison, beautiful, typical of the best of Spanish architecture, are a credit to Duarte, and truth to tell most of the building done out Duarte way has been adapted to the rancher's way of life."

Landscape features completed as part of the project include the brick walkway centered on a rectangular reflecting pool, likely clad in Gladding, McBean tiles. On the interior, several of the rooms were adorned with intricate woodwork completed by Swedish craftsmen.

During World War II, the Morrisons offered the building to the Red Cross, and it was transformed into a Casualty Station. As recorded in the *Los Angeles Times*, "the powder room is full of medical supplies. Cots can transform the dance room into a hospital. A huge closet contains air-raid warden equipment." At the time of its completion, the station was lauded by civilian defense officials as "one of the finest in the state" with a staff of 45 doctors, nurses, and trained personnel. The station offered nursing classes to interested students.

Following World War II, much of the farmland in Duarte transformed from orange groves to subdivisions, and all of the citrus packing plants closed. In 1949, a portion of the orange trees on the Morrison Ranch were removed and the land was briefly replanted with strawberries. At that time, the ranch was noted as having chickens, peacocks, frogs, and goldfish on the grounds.

***B6. Construction History (Continued...):**

In 1949, the Morrisons donated a 2.5-acre piece of their ranch for use as a youth agency recreation center. A 16x44 foot clubhouse was purchased from a Duarte building development company and moved onto the property. Plans were also designed for boys' and girls' campfire circles, a baseball diamond, a basketball court, a patio and fireplace, and a combination volleyball, shuffleboard, and badminton court.

In 1950, a cottage on the Morrison property was leased by Los Angeles County for use as the Duarte Branch Library. The cottage was remodeled for this purpose and approximately 2,000 books were transferred to the new location. The library opened in March 1950 and was identified by the address of 1220 S. Santo Domingo.

That same year, work began on a new Duarte Child Welfare Clinic, similarly located on land donated by the Morrisons. Identified by the address of 2026 E. Huntington Drive, the clinic was run by the Los Angeles County Health Department and overseen by Lucile P. Morrison, who served as the chairman of the health services committee of the Duarte Community Service Council. In 1953, Lucile Morrison donated a three-acre portion of the ranch for a new Masonic Temple in honor of her late father-in-law and husband. The Temple of Sojourner's Lodge 607, identified by the address 1900 E. Huntington Drive, was dedicated in 1955. Construction was completed by V. R. Bush, Albert Pederson, Jack La Sonce, Arno Krueger, and Dick Mosher.

The Morrison Ranch was also briefly considered as a site for a new Los Angeles County Park, although it was not ultimately purchased for that use.

WESTMINSTER GARDENS

In 1950, Frank Shu purchased a 27-acre portion of the Morrison Ranch. Shu was born in China and attended Yih Wen Commercial School led by Missionary teacher William Booth. In the late 1940s, Shu traveled to the United States where he presented \$1 million to the Presbyterian Missionary Board to be used to build a group of residences for retired Presbyterian missionaries. The former Morrison Ranch was subsequently converted for its new use, and it became known as Westminster Gardens.

The Morrison House was used to house 16 missionaries. At the time of purchase, the site had the large Morrison residence, which was used to house 16 missionaries. The residence at the time of purchase was described at length in the *Daily News-Post*: "The luxurious apartments are large, with view windows looking out onto gardens landscaped with shrubs, trees, flowers and lawn. The walls are of imported paneling in a natural finish and each suite contains several rooms... Several suites are located downstairs under the massive balconied piazza. Others are upstairs overlooking the tennis courts, the barbecue., and the swimming pool with tis bordering patio. The immense library in the north wing of this gracious home of white brick and red tiles, is finished in Japanese oak and boasts a fireplace and shelved walls bearing 7,000 volumes... Across from this wing is the dining hall, and next the recreation room where 100 can be seated comfortably for diner... A medley of elaborate grained woods and delicately papered walls, this house with its early California architecture promises to provide every luxury for those who will call it 'home.'"

A gift of \$100,000 by Gertrude Weller of Los Angeles provided funds for the remodeling of the rooms in the Morrison House into apartments. Two other existing buildings from the Morrison's ownership were also adapted for apartments. One of these was the "Cape Cod cottage, which is a replica of the cottage in which the former owners spent their honeymoon" in 1917. A full building program was also approved shortly after purchase, and construction began on several new apartment buildings on the property in 1951, designed by Beverly Hills-based architect Douglas Honnold.

In 1952, the first phase of construction was completed. These "completely furnished modern cement block apartments" provided a capacity for 50 residents. Westminster Gardens was dedicated in July of 1952. At the time of its founding, residents were required to have served at least 20 years in a foreign country and have reached the age of retirement. Four additional apartment buildings were constructed between 1952 and 1960.

The 40,000-square-foot building's design was described by the *Los Angeles Times*: "Cross-shape building, each arm of which will have the capacity of 20 beds, with the center core housing medical, social, and service facilities, including common and dining room, office, laboratories, kitchen, and storerooms... The Contemporary-styled structure will feature one story, interior and exterior walls of natural finish light-weight aggregate concrete blocks. Floors will be of vinyl asbestos and the roof of composition mater, asphalt and gravel."

***B6. Construction History (Continued...):**

Only part of the building was constructed in 1957. It was completed in 1962, at which time it became known as the Grace Shu Lodge, named in honor of the wife of Frank M. S. Shu. A third wing of the building was constructed in 1966, which brought the total number of beds to 64. A new duplex was also constructed at the corner of Amber Drive and Live Oaks and apartments on the first floor of the Morrison House were converted into administrative offices. The total number of residences reached 131 by 1967.

In 1970, four additional residences, and an ancillary building with a laundry and five-car garage were constructed in the northwestern region of the property. Designed by architect Franklin Howell and built by Shephard and Morgan Construction Co., the buildings accommodated eighteen new residents. The swimming pool was also renovated at that time. Five new apartments were constructed in 1972. Development at Westminster Gardens has continued through the 1980s and to present day.

***B10. Significance (Continued...):**

SPANISH COLONIAL REVIVAL ARCHITECTURE

The Morrison House was designed in the Spanish Colonial Revival style of architecture. The Spanish Colonial Revival style attained widespread popularity throughout Southern California following the 1915 Panama-California Exposition in San Diego, which was housed in a series of buildings designed by chief architect Bertram Grosvenor Goodhue in the late Baroque *Churrigueresque* style of Spain and Mexico. The *Churrigueresque* style, with areas of intricate ornamentation juxtaposed against plain stucco wall surfaces and accented with towers and domes, lent itself to monumental public edifices, churches and exuberant commercial buildings and theaters, but was less suited to residential or smaller scale commercial architecture. For that, architects drew inspiration from provincial Spain, particularly the arid southern region of Andalusia, where many young American architects were diverted while World War I prevented their traditional post-graduate "grand tour" of Great Britain, France, Italy, and Germany. The resulting style was based on infinitely creative combinations of plaster, tile, wood, and iron, featuring plaster-clad volumes arranged around patios, low-pitched tile roofs, and a spreading, horizontal orientation. It was a deliberate attempt to develop a "native" California architectural style and romanticize the area's colonial past, though it drew directly from Spanish and other Mediterranean precedents and bore little resemblance to the missions and rustic adobe ranch houses that comprised the state's actual colonial-era buildings.

The popularity of the Spanish Colonial Revival style extended across nearly all property types, including a range of residential, commercial, and institutional buildings, and coincided with Southern California's population boom of the 1920s, with the result that large expanses of Santa Monica, Los Angeles, and surrounding cities were developed in the style. Some towns, such as Santa Barbara, even passed ordinances requiring its use in new construction. It shaped the region's expansion for nearly two decades, reaching a high point in 1929 and tapering off through the 1930s during the Great Depression. Like other revival styles, the Spanish Colonial Revival style was often simplified, reduced to its signature elements, or creatively combined with design features of other Mediterranean regions such as Italy, southern France, and North Africa, resulting in a pan-Mediterranean *mélange* of eclectic variations.

NORMAN H. MORRISON

Norman H. Morrison was born in 1853 in Missouri. Morrison ran away from home at the age of ten, eventually attending the University of Iowa. He moved to Santa Barbara with his new wife, Marie Cobb, in 1877. In Santa Barbara, Morrison worked on a dairy before making the acquaintance of Dr. Bates, a local doctor who agreed to teach Morrison the basics of medicine. After memorizing *Grey's Anatomy*, Morrison sold his dairy and moved to San Francisco. Morrison briefly attended the University of California before transferring to the Kansas City Medical College. Graduating in 1880, Morrison worked as the local doctor in McPherson, Kansas.

The lure of California ultimately brought Morrison to Los Angeles, where he was made Chief Surgeon of the Southern California Railroad in 1888. That same year, he bought the 20-acre ranch property in Duarte. In 1904, with the merging of the Southern California Railroad and the Atchison, Topeka and Santa Fe Railroad, he became their first Chief Surgeon. Morrison held the position of Chief Surgeon for seventeen years and was largely responsible for the founding of the 1905 Santa Fe Hospital in Boyle Heights. Following the death of his first wife Marie Cobb, Morrison remarried Irma Rhodes. They resided at 1263 W. Adams Boulevard in Los Angeles until his death in 1921. Although Morrison resided primarily in Los Angeles, he is recorded as never losing "his love of the soil and many of his spare hours were spent working around the orange trees on his ranch in Duarte."

***B10. Significance (Continued...):**

WAYLAND A. MORRISON

Wayland A. Morrison inherited the Duarte ranch from his father Norman H. Morrison in 1921. He used the property as a summer residence from 1921 to 1938 and resided there full-time with his wife Lucile P. Morrison and their children from 1939 until 1950 in a "beautiful Spanish Structure."

Wayland A. Morrison was born in 1888. He was primarily raised in Los Angeles, although he did briefly attend Duarte Elementary School. He earned a Bachelor of Arts degree from Stanford University in 1910. Following graduation, Morrison briefly moved to Duarte, where he worked as an automobile salesman at E. M. F. and Flanders automobile agency and as a real estate agent at Tifal Brothers. Morrison planned to build a residence on the Duarte property around that time.

Morrison briefly resided in Massachusetts, where he attended Harvard Medical School. Following his graduation in 1914, Morrison worked as the house surgeon at Massachusetts General Hospital for two years before returning to Southern California in 1916. Morrison served in the U.S. Army Medical Corps for the duration of World War I; he was discharged as a Major at the end of the war. Morrison then returned to Southern California where he married Lucille Phillips in 1917, and the couple resided in their new residence at 434 Plymouth Boulevard, designed by architects Meyer & Holler of the Milwaukee Building Company. Morrison succeeded his father as chief surgeon of the Santa Fe Railway in 1919.

In the late 1930s, Morrison and his wife Lucile P. Morrison sold the property at Plymouth Boulevard and moved to Duarte full-time. At this time, Morrison expanded his acreage from twenty to fifty acres. He was known for giving "much of his time to community affairs and problems." Morrison served on the boards of the Duarte-Monrovia Citrus Association, the Duarte-Mutual Irrigation and Canal Co., the Duarte-Mutual Water Co., and as a director for the Duarte City Commerce. During World War II, Morrison served as the Area Medical Director of the War Casualty Stations for the Office of Civilian Defense, and organized stations at Rosemead, Temple City, and Duarte; the latter of which was housed in a wing of his own residence. Dr. Wayland A. Morrison died in 1950.

LUCILE P. MORRISON

Lucile Phillips Morrison was born in Los Angeles in 1896 to philanthropist Catherin Coffin and Los Angeles financier Lee A. Phillips. Lucile Phillips was raised at #4 Berkeley Square in the West Adams neighborhood and attended the Marlborough School. She graduated from Vassar College in 1917 and married Wayland A. Morrison that same year.

Lucile Phillips Morrison was a notable author of numerous children's books and the novel *The Lost Queen of Egypt*, which won the first prize for fiction from the National League of American Penwomen in 1938. In 1958, she received a master's degree in psychology from Pepperdine University and began her own private psychology practice. Morrison served as a board member for the Educational Policy Committee for Scripps College for 42 years and was named an Honorary Trustee of Scripps College.

In addition to her many other pursuits, Lucile Morrison was extremely active in Duarte's civic affairs. In 1957, she was described by historian Charles Davis as "one of the community's greatest benefactors. For years she has generously dedicated her time and means for worthy Duarte projects." Morrison offered her Duarte property for use as a casualty station during World War II, and the site was used after the war as a Well Baby Clinic, Communicable Diseases Clinic, Dental Clinic, and one of the cottages served as Duarte's first county library facility. She also donated land for the Duarte Masonic Hall.

Lucile Morrison also organized and served as the first president of the Duarte Community Service Council and helped establish the Duarte Youth Acres, the city's first recreational facility. She served on the boards for the Duarte Community Center Corporation; Duarte Mutual Water Company; Chamber of Commerce; Duarte Women's Club; Reading Circle; and at Westminster Gardens. In 1967, Morrison was honored with the Duarte Historical Society's Pioneer Service Award. She also organized and preserved newspaper articles, which were donated to the Duarte Historical Society. Lucile P. Morrison died in 1991.

ROBERT E. BENNETT/BENNETT & BENNETT

Robert E. Bennett of Bennett & Bennett designed the Morrison House. Bennett was born in Pasadena in 1915 to John Cyril Bennett and Olevia Cobb. He received a bachelor's degree in architecture from the University of California in 1936 and a master's degree from the California Institute of Technology in 1937. Robert E. Bennett was a distant cousin of the Morrison family and designed the Morrison House after finishing architecture school. Bennett then briefly worked under his father, notable local architect John Cyril Bennett (Cyril Bennett). In 1946, he and his father entered into a partnership in the firm Bennett & Bennett.

***B10. Significance (Continued...):**

ROBERT E. BENNETT/BENNETT & BENNETT

Robert E. Bennett's father, J. Cyril Bennett was a notable local architect. Cyril Bennett attended the University of California, Berkeley where he graduated with a bachelor's degree in Architecture in 1910. Bennett then moved to Pasadena, California, where he married Olevia Cobb in 1913 and briefly worked as a draftsman for architect Sylvanus B. Marston before forming his own company in 1914. Cyril Bennett completed several independent projects during his early career, including the Raymond Theater (1919-1921); City of Pasadena Fire Department Main Station (1922); and Glendora Theater (1923). He also designed several residences, such as the W. H. Batterson House (1921) and William Leithed House (1924) in Pasadena. In 1924, Cyril Bennett joined with architect Fitch Haskell to form Bennett and Haskell. The partnership designed several notable buildings in Pasadena from 1924 to 1934, including the Central National Bank in Pasadena (1926); All Saints' Episcopal Church Parish House and Rector (1929-1930); and their collaboration with George E. Bergstrom on the design of the Pasadena Civic Auditorium (1925-1932). From 1934 to 1941, Bennett again formed his own firm. In 1946, his son Robert E. Bennett joined his firm to form Bennett and Bennett, which lasted until his retirement in 1955.

Bennett & Bennett designed several commercial and educational buildings. Notable commissions include the Temple City National Bank (1950) and the First National Bank in Santa Ana (1953). Notable education projects include an administrative building at Edison Elementary School (1945) and the Physical Sciences building at the University of California, Riverside (1954). Community projects included the Van Ness Community Center (1949) and three clubhouses for parks in Los Angeles (1949). Bennett & Bennett designed several bakeries in Los Angeles, including the Barbara Ann Bakery (1955); Coliseum Bakery (1955); Langendorf Bakery (1955); and Sheriff's Wayside Honor Farm Bakery (1958). The firm also completed updates and modernizations to the Los Angeles Coliseum and designed a two-story office building immediately adjacent to it in 1953.

Cyril Bennett died in 1957. Following the death of his father, Robert E. Bennett continued working for the firm, still named Bennett & Bennett. In 1969, Robert E. Bennett was awarded a CTI gold plaque for his work on the Los Angeles Coliseum. In 1968, Bennett & Bennett was hired to enlarge the women's facilities at the Rose Bowl in Pasadena. Robert E. Bennett died in 2003.

EVALUATION

The Morrison House was identified as potentially eligible for historic designation in the 2003 Survey of Duarte. The findings of the 2003 survey were not officially adopted by the City of Duarte. In addition, given the amount of time that has passed since that survey was completed it is appropriate to re-evaluate the residence based on current conditions and using current best practices. The City does not have an ordinance that defines local designation criteria. Therefore, the Morrison House is re-evaluated against the established criteria for listing in the National Register of Historic Places and the California Register of Historical Resources.

CRITERION NR A/CR 1 (ASSOCIATION WITH EVENTS OR PATTERNS OF DEVELOPMENT)

According to guidance from the National Park Service, in order to be considered eligible for designation under Criterion A/1 for representing an important event or pattern of development, a property must be associated with one or more events that are clearly important within an associated context; and the property's specific association with the events or trends must be considered important as well. Mere association is not enough. The important association can be with a specific event marking an important moment in American pre-history or history; or with a pattern of events or a historic trend that made a significant contribution to the development of a community, a State, or the nation.

The Morrison property was originally part of the Rancho Azusa de Duarte, which was subdivided and purchased in 1888 by Norman H. Morrison as a vacation home and citrus farm. The Morrisons originally lived in a cottage and the Depot house, which is no longer extant. The Morrison House postdates these associations, and the property as a whole no longer reflects its early ranching history or association with prewar agriculture. The Morrison House itself was constructed in several stages. In 1935, the southern wing was constructed for use as a social hall for the family and their guests. At this time, the property was used as a vacation and summer home for the family, and their permanent residence was in Los Angeles. In 1939, the central block and north wing were added, and the building was used as a residence. When the residence was completed, the Morrison family relocated to the property full-time.

Over the course of its history, the Morrison House has been used as a social hall, residence, World War II Casualty Station, and it now serves as living, administrative, and communal spaces for Westminster Gardens.

***B10. Significance (Continued...):**

EVALUATION (CONTINUED)

Based on research conducted for this report, there is no evidence that a singular event important in history occurred at the Morrison House. In addition, the original construction of the Morrison House as a single-family residence and its subsequent uses do not meet the threshold as defined by the National Park Service for designation as an example of an important trend or development pattern. The historical uses of Morrison House are not historically significant in a local, state, or national historic context.

Therefore, the Morrison House is not eligible for listing in the National Register of Historic Places or the California Register of Historical Resources under Criterion A/1.

CRITERION NR B/CR 2 (ASSOCIATION WITH AN IMPORTANT PERSON)

According to the National Park Service, properties may be eligible for an association with the lives of persons significant in our past. Persons “significant in our past” refers to individuals whose activities are demonstrably important within a local, state, or national historic context. A property is not eligible if its only justification for significance is that it was owned or used by a person who is a member of an identifiable profession, class, or social or ethnic group. In addition, the property must be associated with a person’s productive life, reflecting the time period when he or she achieved significance.

Both Wayland A. Morrison and Lucile P. Morrison were notable and active residents of Duarte. They both resided at the Morrison House during their period of important involvement in the nascent community. Besides Wayland A. Morrison and Lucile P. Morrison’s given careers, as surgeon and author, respectively, the Morrises were also significant early members in the community of Duarte. The Morrises served as members of civic community boards, even founding several organizations, and consistently donated to and promoted philanthropic causes in Duarte. These activities frequently involved the Morrison House, which served as the site for numerous meetings and events. The Morrises both worked at the Red Cross Casualty Station established at the house during World War II, and donated land to various causes, often focused on establishing much-needed services in Duarte. This included donating land for the establishment of a youth agency recreation center, public library, Duarte Child Welfare Clinic, and Duarte Masonic Temple. Overall, the Morrises contributed to the growth and development of community services in Duarte during their years at the Morrison House.

Therefore, the Morrison House appears eligible for listing in the National Register of Historic Places and the California Register of Historical Resources at the local level under Criterion B/2 for its association with notable Duarte residents Wayland A. Morrison and Lucile P. Morrison.

CRITERION NR C/CR 3 (ARCHITECTURAL MERIT)

The Morrison House is an excellent example of the Spanish Colonial Revival style of architecture. It was designed by architect Robert E. Bennett of Bennett & Bennett and constructed in two phases from 1935 to 1939. The building exhibits high quality of design and distinctive characteristics of the style; design details are fully integrated in the both the interior and exterior of the residence. The Morrison House is U-shaped in plan and has a central landscaped courtyard with reflecting pool. It retains significant character-defining features of Spanish Colonial Revival style architecture, including low-pitched gable and hipped roofs clad in red tiles, *corredor*, central courtyard, tower, and elaborate chimneys. The residence also features several unique elements, such as a cantilevered second floor balcony and brick exterior.

The building was designed by local architect Robert E. Bennett, a distant cousin of the Morrison family and partner of Bennett & Bennett with his father, notable architect Cyril Bennett. Bennett’s work at the Morrison House reflects high artistic value from its general construction to its intricate design work.

Therefore, the Morrison House appears eligible for listing in the National Register of Historic Places and the California Register of Historical Resources at the local level of significance under Criterion C/3 for its Spanish Colonial Revival style of architecture.

INTEGRITY ANALYSIS

Historic integrity is the ability of a property to convey its significance and is defined as the “authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s prehistoric or historic period.”

*B10. Significance (Continued...):

INTEGRITY ANALYSIS (CONTINUED)

The National Park Service defines seven aspects of integrity for historic resources. These are *location, design, setting, materials, workmanship, feeling, and association*. The integrity of the Morrison House is evaluated below based on these seven aspects. The period of significance under Criterion A/1 is 1939-1950, reflecting the period when the Morrison family lived full-time on the property. The period of significance under Criterion C/3 is 1939, the year construction on the residence was completed.

Location: The Morrison House remains in its original location on the site. Therefore, it retains integrity of *location*.

Design: The Morrison House retains many of the character-defining features from the period of significance, 1935-1950. Design elements of the building include its one- to two-story height, asymmetrical composition, complex massing, and mix of gable and hipped roofs. Other features including clay barrel tile roofing, multiple chimneys, a *corredor* with octagonal columns, bow windows, steel-sash windows, and cantilevered balcony. Despite some minor interior alterations, such as the painting of wood paneling, the Morrison House retains the majority of the essential physical features that reflect its original Spanish Colonial Revival design. Therefore, it retains integrity of *design*.

Setting: The Morrison House was constructed as a single-family residence surrounded by landscaping on a large, otherwise mostly vacant parcel. Since the 1950s when the property was converted to Westminster Gardens, additional buildings have been added to the site to accommodate senior living. Therefore, the integrity of *setting* has been compromised.

Materials: The Morrison House retains most of its materials from the period of significance. including clay tiles roofs, steel windows, masonry walls, wood balconies, and carved wood panels, among others. The building's material components have not been altered. Therefore, it retains integrity of *materials*.

Workmanship: The Morrison House retains the physical evidence of the workmanship of a 1930s single-family residence. The building's masonry, shaped wood rafter tails, clay roof tiles, wood staircase and terracotta pavers all reflect the crafts of the time. The building continues to retain substantial physical evidence of period construction techniques, including finishes and design elements, that reflect the character and identity of the building. Therefore, it retains integrity of *workmanship*.

Feeling: The Morrison House retains integrity of location, design, materials, and workmanship, and thus continues to express the aesthetic and historic sense of a 1930s Spanish Colonial Revival building. Therefore, it retains integrity of *feeling*.

Association: Association is the direct link between an important historic event or person and a historic property. Because the Morrison House retains integrity of *location, design, materials, workmanship, and feeling*, it continues to convey its direct link to the 1930s residence occupied by the Morrison Family.

CHARACTER-DEFINING FEATURES

- U-shaped plan
- Relationship between residence, courtyard, and reflecting pool
- One- to two-story height
- Complex massing
- Asymmetrical composition
- Mix of low-pitched gable and hipped roofs
- Boxed eaves with plaster soffit
- Red clay tiles on roof
- Chimneys (some with chimney hoods)
- Second-story cantilevered balcony with shaped wood balusters
- Exterior staircase
- Corredor* with octagonal columns, cushion capitals, and exposed rafters
- Masonry exterior
- Steel sash casement and bow windows
- Primary entrance with French doors
- Original interior woodwork and casework, including pocket doors, mantels, and carved wood features

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CHARACTER-DEFINING FEATURES (CONTINUED)

- Crown molding, baseboards, and window casings
- Semicircular wood staircase with balusters and newels shaped as lotus flowers
- Wood vegetal motif carvings in mail room, social hall, and library

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Additional Documentation

EXISTING CONDITIONS PHOTOGRAPHS



Overview of Morrison House, facing east.



Overview of Morrison House, facing northeast.



Primary Entrance, South Façade of North Wing, facing north.



West Façade of Central Block, Morrison House, facing south.

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Colonnade on West Façade of Central Block, facing southeast.



Colonnade on West Façade of Central Block, Morrison House, facing east.



Balcony on South Façade of North Wing, facing west.



South Façade of North Wing, Morrison House, facing north.



South and West Façade of North Wing facing northeast.



North and West Façades of North Wing, facing east.

Additional Documentation



North Façade of North Wing, facing southeast.



North Façade of North Wing, facing south.



North Façade of North Wing, facing southwest.



East Façade of Central Block, facing west.



South Façade of Central Block, facing northwest.



South Façade of South Wing, facing northwest.

Additional Documentation



South and West Facades of South Wing, facing northeast.



North Façade of South Wing, facing south.



Lobby, Morrison House.



Staircase, Morrison House.



Library, Morrison House.



Meeting Room, Morrison House.

Additional Documentation



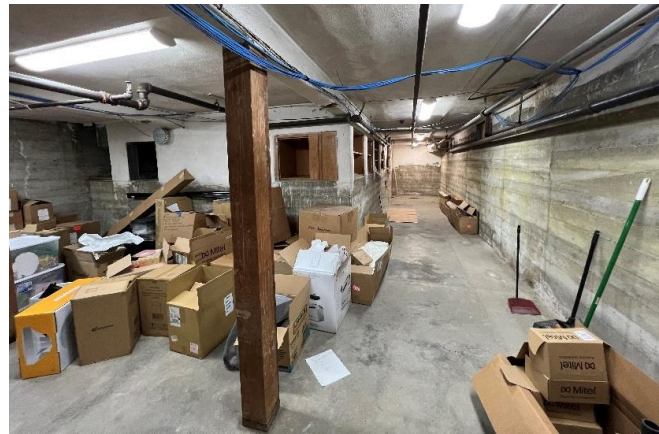
Upstairs Hallway, Morrison House.



Office, Morrison House.



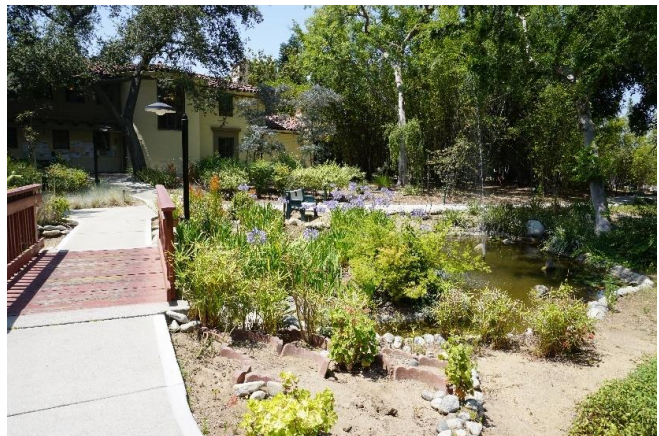
Social Hall, Morrison House.



Concrete Foundation in Basement, Morrison House.



Courtyard, facing north.



Lilly Pond, facing south.

Additional Documentation



Courtyard and Reflecting Pool, facing northeast.



Reflecting Pool and Tile, facing north.

HISTORIC AERIAL PHOTOGRAPHS



1928 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-300. Frame 1-63. University of California Santa Barbara Aerial Photography Collection.

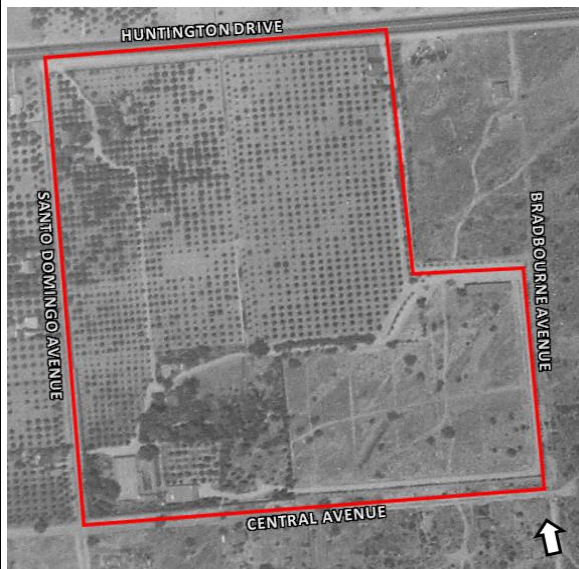


1932 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-1960. Frame 15. University of California Santa Barbara Aerial Photography Collection.

Additional Documentation



1934 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-4061. Frame 1. University of California Santa Barbara Aerial Photography Collection.



1936 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-4061. Frame 49. University of California Santa Barbara Aerial Photography Collection.



1938 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-5043. Frame 50. University of California Santa Barbara Aerial Photography Collection.

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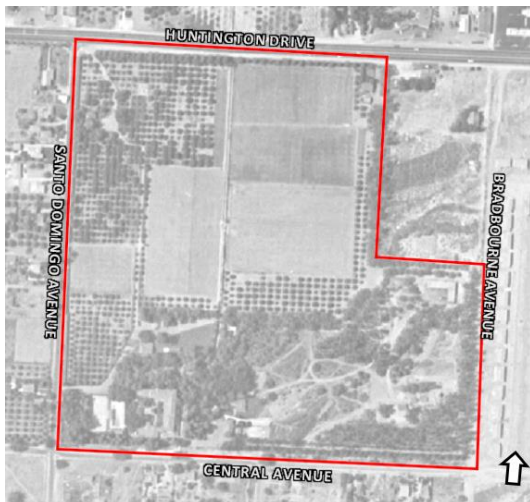
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Additional Documentation



1944 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID ddf-1944. Frame 8-109. University of California Santa Barbara Aerial Photography Collection.



1949 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-13990. Frame 1-176x. University of California Santa Barbara Aerial Photography Collection.



1952 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID axj-1952. Frame 5k-23. University of California Santa Barbara Aerial Photography Collection.

Additional Documentation



1956 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID tg-2400. Frame 1-135. University of California Santa Barbara Aerial Photography Collection.



1960 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Flight ID c-23870. Frame 1558. University of California Santa Barbara Aerial Photography Collection.

Additional Documentation



Oblique aerial photograph of ranch and residence, facing north, 1940. Source: Westminster Gardens.



Oblique aerial photograph of Morrison House, facing east, 1940. Source: Westminster Gardens.

Additional Documentation

SELECTED HISTORIC PHOTOGRAPHS



Norman H. Morrison in Orange Groves on Morrison Ranch, 1914. Source: Westminster Gardens.



Santa Fe Station, first summer residence of Morrison family in Duarte (demolished), circa 1914. Source: Westminster Gardens.



Moving Cape Cod Cottage, 1940. Source: Westminster Gardens.

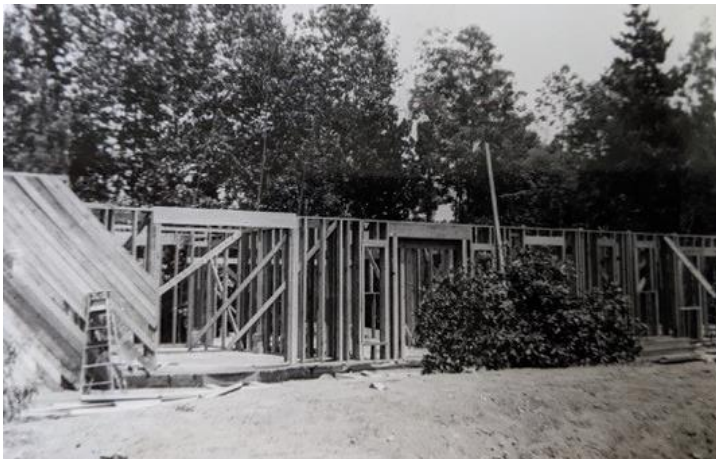
Additional Documentation



Construction of South Wing (El Sueño) of Morrison House, 1935. Source: Westminster Gardens.



Construction of South Wing (El Sueño) of Morrison House, Lucile Morrison with builders, 1935. Source: Westminster Gardens.



Construction of South Wing (El Sueño) of Morrison House, Lucile Morrison with builders, 1935. Source: Westminster Gardens.

Additional Documentation



View of Central Block and North Wing (La Casa Soñada) Under Construction, 1939. Source: Chris Morrison.



Roofing North Wing (La Casa Soñada) of Morrison House, 1939. Source: Chris Morrison.



Completed North Wing (La Casa Soñada) of Morrison House, 1940. Source: Westminster Gardens.

Additional Documentation



Morrison Family on Christmas Day, 1939. Source: Westminster Gardens.



Morrison House purchased by Westminster Gardens, 1951. Source: Los Angeles Times.