
APPENDIX C
Cultural Resources

Historic Resource Assessment Report for Found Residences, Los Angeles, Los Angeles County, California

August 2021



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ASM Project Number 31810

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EXECUTIVE SUMMARY

This report is an evaluation of the properties at 6422 Selma Avenue (Baker Garage) and 1550 North Wilcox Avenue (Gilbert Garage) in Los Angeles, Los Angeles County, California, for eligibility for the California Register of Historical Resources (CRHR) and the City of Los Angeles Register of Historic-Cultural Monuments (HCM). It has been prepared pursuant to the California Environmental Quality Act (CEQA) prior to the City of Los Angeles's permitting process for the partial demolition of an office building (garage), demolition of a storage building (located on the rear of the Gilbert Hotel property at 1550 Wilcox Avenue), and the construction of a 14-story multi-family development, Found Residences (Project).

ASM Affiliates, Inc. (ASM) evaluated the office building constructed on Assessor's Parcel Number (APN) 5546-013-003 at 6422 Selma Avenue in the Hollywood neighborhood of Los Angeles. The building is a one-story brick office space originally constructed as an automobile garage in 1912. ASM considered whether the building is a good representation of two historic contexts: Pre-Consolidation Communities of Los Angeles, 1850-1932, and Commercial Development and the Automobile, 1910-1970. Since further research revealed that the building was constructed after the annexation of Hollywood, the pre-consolidation context is not applicable. However, the building was associated with automobiles from its initial construction until its conversion to offices in 1986. Although there have been some interior renovations, the building retains overall integrity, including high integrity of location, design, materials, workmanship, feeling, and association; there has been some loss of integrity of setting. As such, it is a rare example of this building type as well as a good representation of the theme of *Commercial Development and the Automobile in Hollywood*. Therefore, 6422 Selma Avenue is recommended eligible as an individual resource under CRHR/HCM criteria 1 and 3.

The storage building was originally built as a garage for the Gilbert Hotel constructed in 1925 on APN 5546-013-002 at 1550 North Wilcox Avenue. Although the hotel was previously evaluated and given a status code of 5S2, recent surveys of Hollywood have indicated only the sign is eligible. Because it is not visible from the public right-of-way, the garage building was not included in any previous survey of Hollywood. ASM evaluated the Gilbert Garage as an ancillary structure to the hotel under the contexts *Commercial Development, 1850-1980* and theme *Hotels, 1880-1980* and *Architecture and Engineering, 1850-1980* theme *Mediterranean and Indigenous Revival Architecture, 1887-1952*, Sub-theme *Spanish Colonial Revival 1915-1942*. Because of extensive alterations, the hotel has lost character defining features and integrity to the point where it no longer reflects these contexts and therefore the Gilbert Hotel, and its ancillary garage, is not eligible as an individual resource under any CRHR or HCM criteria.

As the Project involves the removal of a portion of the Baker Garage building at 6422 Selma Avenue, there is the potential for an adverse change in the significance to the historical resource. Proposed mitigation measures would reduce the impacts of the Project to less than significant pursuant to PRC Code § 21081.6.

1. INTRODUCTION

This assessment was prepared by ASM Affiliates, Inc. (ASM) to determine the historical and architectural significance of the commercial building located at 6422 Selma Avenue and the storage building at 1550 North Wilcox Avenue. Section 21084.1 of the California Environmental Quality Act (CEQA) defines a historical resource as any resource listed in, or eligible for listing in, the California Register of Historical Resources (CRHR). These properties are not currently listed in the CRHR; they are not California Points of Historical Interest or California State Historical Landmarks. They are also not currently listed on the National Register of Historic Places (NRHP). The property at 6422 Selma Avenue (Baker Garage) was recorded as part of the historic resources survey of the Hollywood Redevelopment Project Area, completed by Architectural Resources Group, GPA Consulting and Historic Resources Group in 2020 (2020 Survey) in which it was determined to be the only extant commercial structure built before Hollywood's annexation in 1910. The storage building located within the Project area was built as the parking garage for the Gilbert Hotel in 1925, concurrent with the hotel. The 2020 survey included the Gilbert Hotel sign but recommended the hotel building was not eligible due to alterations. The Gilbert Garage has never been included in a survey as it is not visible from a public right-of-way.

In this report, the buildings at 6422 Selma Avenue (Baker Garage) and 1550 North Wilcox Avenue (Gilbert Garage) are evaluated for their eligibility for designation within a local-level context on the local and state registers as individual resources and as potential contributors to a historic district or Historic Preservation Overlay Zone (HPOZ), in accordance with CEQA, HCM, and CRHR guidelines. The results of this analysis will assist the City of Los Angeles in determining whether the properties need to be considered as historically significant for future planning purposes in compliance with CEQA.

This section of the report provides a project description, location, current setting, and summary of previous findings. Section 2 addresses archival research and field survey methodology. The historic context is addressed in Section 3 and architectural descriptions are provided in Section 4. The regulatory framework and evaluations are included in Section 5. Section 6 contains the impacts assessment and Section 7 the mitigation measures, followed by a conclusion in Section 8. The Department of Parks and Recreation (DPR) 523 site record forms for the properties are provided in Appendix A, a records search from the South Central Coastal Information Center (SCCIC) of the California Historical Resources Information System is located in Appendix B, resumes of key personnel are found in Appendix C, the chain of title for the garage and hotel is included in Appendix D, and building records are found in Appendix E. Appendix F contains Sanborn maps and architectural plans (original and revised) as well as construction details are included as Appendix G. Comments received from Hollywood Heritage are included in Appendix H. Finally, confidential Native American Heritage Commission correspondence can be found in Appendix I.

1.1 PROJECT LOCATION

The Project is located in the Hollywood neighborhood of the City of Los Angeles, within the Hollywood Community Plan Area, in Los Angeles County, California (Figure 1). It can be found on the Hollywood USGS 7.5-minute quadrangle map on the south side of Selma Avenue between Cahuenga Boulevard and Wilcox Avenue (Figures 2-3). The project site includes Assessor's parcel number (APN) 5546-013-003, encompassing Lot 4 of Tract 1754 (Selma Site) and a portion of APN 5546-013-002 which includes lots 2, 3 and 5 of Tract 1754 (Wilcox Site). It is located at 6422 Selma Avenue and 1550 Wilcox Avenue, an urban area characterized by mixed residential and commercial properties (Figure 4).

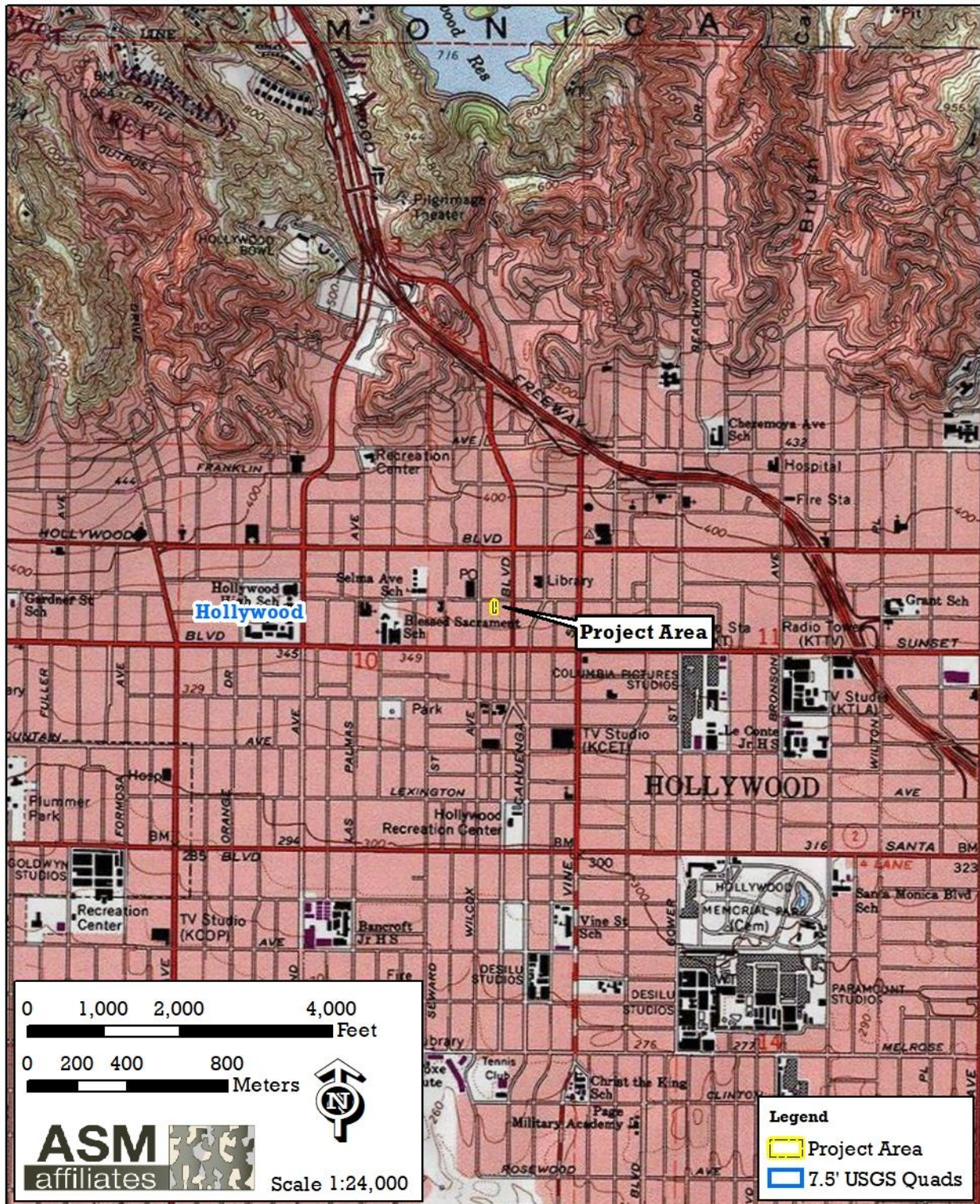


Figure 2. Hollywood USGS map

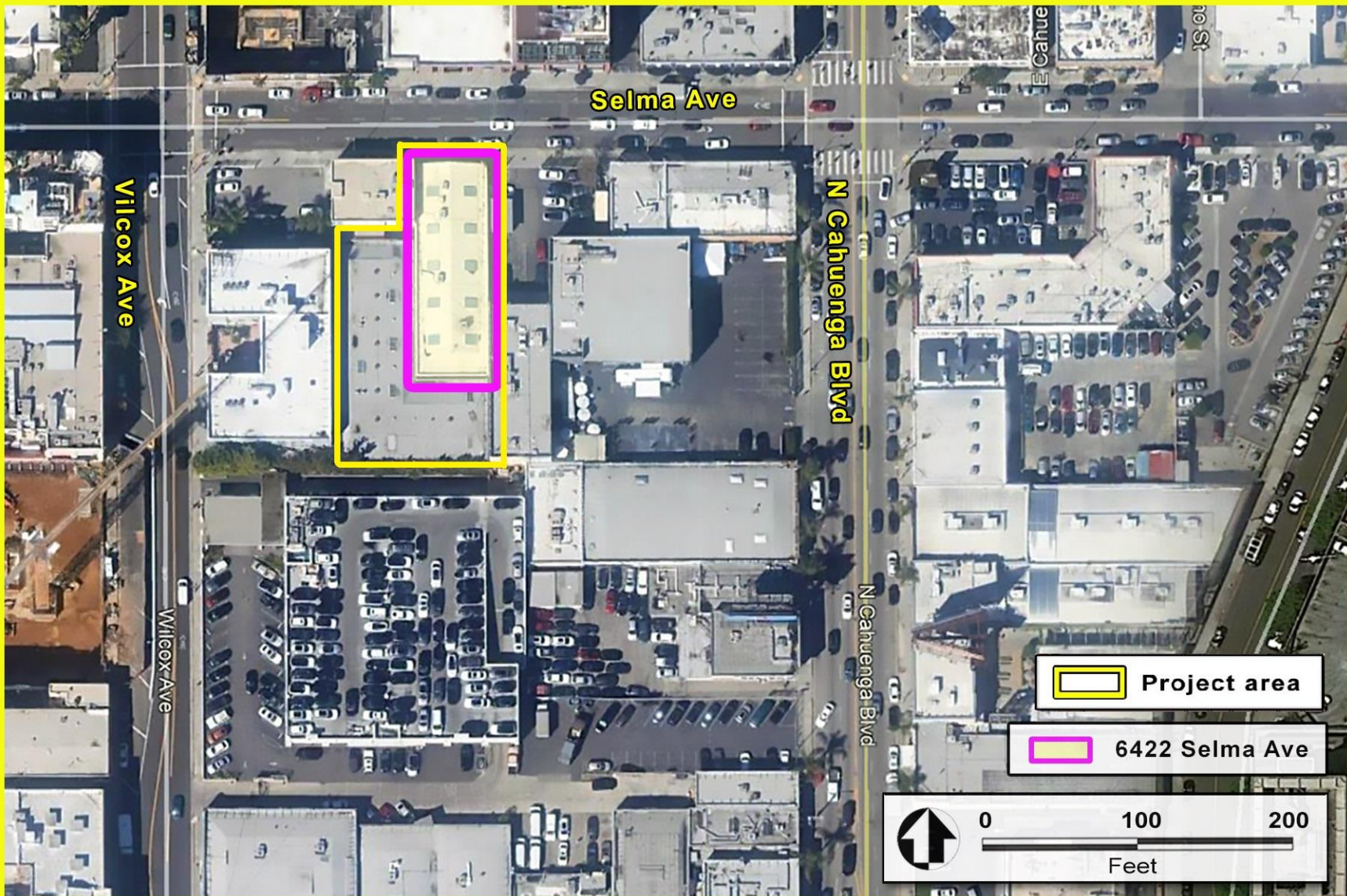


Figure 3. Aerial map showing Project area.

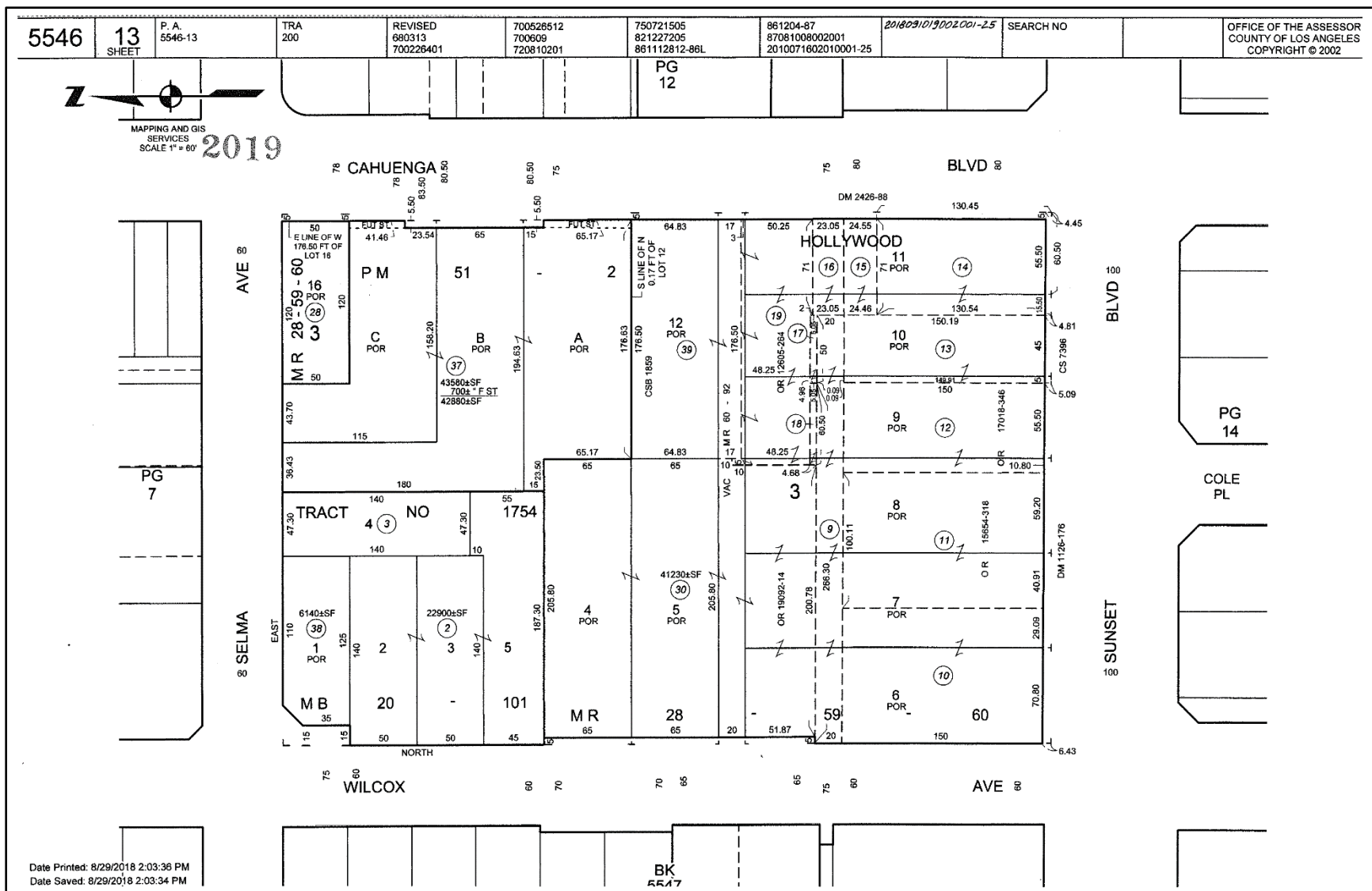


Figure 4. Parcel map of Tract Number 1754.

1.2 PROJECT DESCRIPTION

The proposed Project involves the construction of a new apartment building containing 45 residential units utilizing a 19% Density Bonus, including 11% (5 units) designated for Very Low-Income households, and 38 on-site parking spaces (Appendix G). The building comprises 67,564 square feet, 14 stories, and is 172'-8" high, providing 12 residential levels above two levels of at- and above-grade stacked parking, and ground-floor residential amenity space.

The Project is related to Planning Case No. AA-2019-476-PMEX, a request for a lot line adjustment to the common lot line shared by the subject property and the property to the west, located at 1540-1552 N. Wilcox Avenue ("Wilcox Property"). The Gilbert Garage at the rear of the Wilcox Property would be demolished, and the parking spaces associated with the Wilcox Property (pursuant to LADBS building permit number 20016-10000-07091) would be provided onsite in the Project's proposed parking levels. As such, this is a related project, and thus the proposed plans and case materials also account for the adjacent Wilcox property and existing hotel building.

The Project proposes 45 four-bedroom units. An open plan concept is employed in the common areas of the units to maximize interior space and flexibility. This unit plan layout maximizes the natural light in all common areas offering a visual connection to the outside from the living, kitchen, and dining areas. Parking is provided on the lower two levels of the Project, accessed by one driveway along Selma Avenue. The parking is provided through a stacking system, tall enough to accommodate three automobiles high (two above ground and one below ground).

The Project proposes a total of 6,288 square feet of open space, including a rear yard (2,064 SF), terraces on the 13th and 14th floors (1,367 SF and 1,205 SF respectively), and a roof terrace (1,652 SF). A minimum of 25% of the total outdoor common open space will be landscaped with a variety of drought-tolerant plant species. The building will be sustainably designed to meet and/or exceed all City of Los Angeles current building code and Title 24 requirements. As such, the Project will incorporate eco-friendly building materials, systems, and features wherever feasible, including Energy Star appliances, water saving/low flow fixtures, non-VOC paints/adhesives, drought tolerant planting, and high-performance building envelopment.

Through consultation with the client and architect, several versions of the Project were created to retain more of the materials and features of the historic Baker Garage. An historic architect or qualified structural engineer with experience in historic brick buildings will be retained during construction to ensure that remaining façades are properly stabilized with a recommended tilt-up brace on the exterior walls during the construction activities. The architect or engineer will also conduct a pre- and post-construction survey of the portions of the building that will be retained to document any damage to those materials during construction to ensure they are repaired or replaced in kind as part of the project. A historic brick specialist will be consulted to determine whether the removal of the paint from the primary façade will damage the brick and if there is an appropriate non-abrasive method of paint removal.

Additionally, a structural engineer specializing in historic roof materials provided guidance in the best method for removing, storing, and reinstalling the original trusses during the construction process. To extract the trusses from the masonry wall, the inner two rows of brick from the point where the trusses connect to the top of the wall will need to be removed. The truss can then be lifted out. As it is lime mortar the engineer believes the brick will not be difficult to remove. The wood trusses are in good condition overall, with about 15 percent of the wood requiring repair or replacement in kind. Most damage was evident in the lower chord portion of the trusses. Details of the construction plan can be found in Appendix G.

1.3 CURRENT SETTING

The Project area is located between Cahuenga Boulevard and Wilcox Avenue on the south side of the street in an area of dense commercial development. There is a parking area at the northeast corner of 6422 Selma Avenue and a production studio with a building adjacent to the east wall of the south end of the building (Figure 5). The Hollywood Clinic is located immediately to the west of the property and the Dream Hollywood Hotel and Tao restaurant are located across Selma Avenue to the north (Figures 6-7). Commercial blocks are located on the north and south corners of Selma Avenue and Cahuenga Boulevard (Figures 8-9). The northwest corner of Selma Avenue and Wilcox Avenue is currently under construction (Figure 10). The Gilbert Hotel is located on the east side of North Wilcox Avenue (Figure 11). This portion of Wilcox Avenue has several hotels, including Mama Shelter at 6500 Selma Avenue and the Mark Twain at 1622 Wilcox Avenue. The Gilbert Hotel is located across the street from the Citizen-News building with a car dealership located to the south (Figure 12). The parking garage is located to the east (rear) of the hotel and not visible from Wilcox Avenue.

1.4 SUMMARY OF PREVIOUS FINDINGS

ASM referred to the available findings of previous surveys of Hollywood, including the most recent Historic Resources Survey Report for the Hollywood Redevelopment Plan Area prepared for CRA/LA by Architectural Resources Group, GPA Consulting, and Historic Resources Group in 2020. The Baker Garage was included in the most recent survey and was recognized as the only commercial building remaining from pre-annexation Hollywood. This was based on the assessor's office date of 1909, but further research has confirmed that the building was constructed in 1912, after the 1910 annexation. As it is still a rare early example of a building constructed for the automobile, and the Hollywood survey did not include an appropriate context, ASM determined that it would best be evaluated under the SurveyLA context of *Commercial Development, 1850-1980*, and the theme of *Commercial Development and the Automobile, 1910-1970*.

The Gilbert Garage at 1550 N. Wilcox was originally built as a garage for the Gilbert Hotel. The California Office of Historic Preservation's Built Environment Resource Directory (BERD) lists the Gilbert Hotel with an address of 1544 North Wilcox Avenue and a status code of 5S2 (eligible for local designation). The DPR associated with this evaluation was completed in 1979 and is included in Appendix A. The matrix of historic resources and previous surveys compiled as part of the 2020 survey uses the 1544 North Wilcox Avenue address and indicates that the building has been demolished; however, the hotel is still extant. The 2020 survey identifies the Gilbert Hotel's rooftop and blade signs as eligible resources but states that the "building does not appear to be eligible" (Architectural Resources Group et al. 2020: 132). ASM evaluated the garage as an ancillary structure to the hotel under the contexts *Commercial Development, 1850-1980* and theme *Hotels, 1880-1980*, and *Architecture and Engineering, 1850-1980* theme *Mediterranean and Indigenous Revival Architecture, 1887-1952*, Sub-theme *Spanish Colonial Revival 1915-1942*.



Figure 5. East façade of 6422 Selma Avenue, looking southwest.



Figure 6. Hollywood Clinic located on the parcel west of the building, looking east.

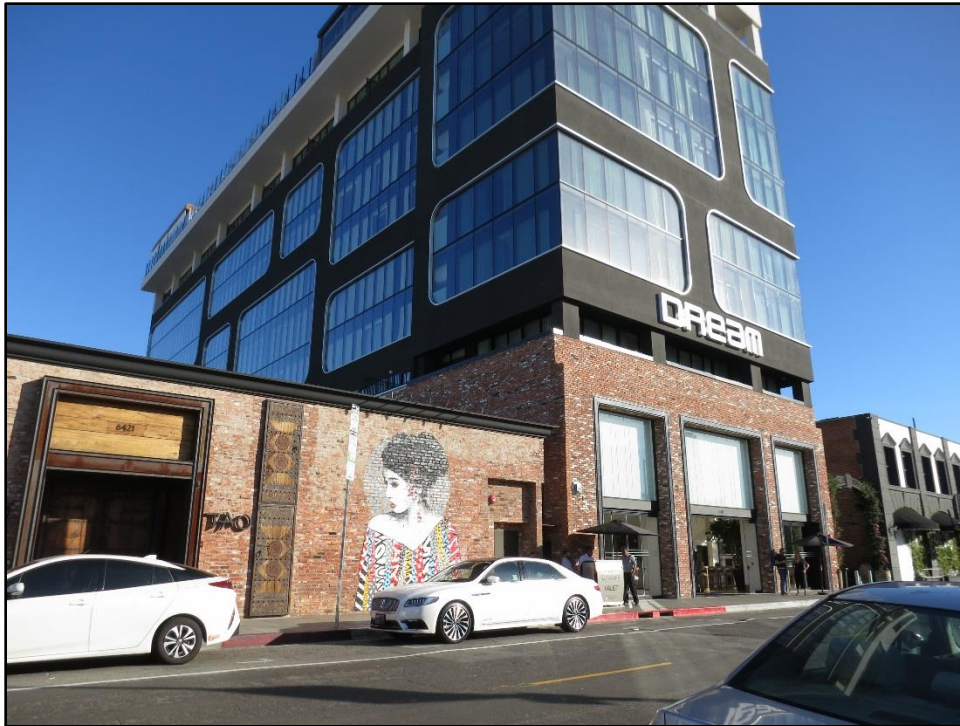


Figure 7. Buildings north of the property, looking northeast.



Figure 8. Commercial block at southwest corner of Cahuenga Boulevard and Selma Avenue, looking east.



Figure 9. Commercial block at northwest corner of Cahuenga Boulevard and Selma Avenue, looking northeast.



Figure 10. Construction site on northeast corner of Selma and Wilcox avenues, looking northwest.



Figure 11. View of Citizen-News Building at 1545 North Wilcox Avenue, looking southwest.



Figure 12. Overview of Gilbert Hotel, looking southeast.

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2. METHODOLOGY

2.1 ARCHIVAL RESEARCH

To develop the appropriate historic context from which to evaluate the properties, ASM Architectural Historian Laura Taylor Kung, M.A., conducted archival research for information on the history of the resources. To determine the site-specific history, ASM first reviewed the chains of ownership, building permits, and Los Angeles County Assessor's Records. Original building permits are not on record for the Baker Garage (6422 Selma Avenue) or specifically for the garage for the Gilbert Hotel, so dates of construction were confirmed through newspaper and periodical research. ASM also consulted Sanborn maps and aerial photos to further understand the development of the properties and neighborhood (Historicaerials.com 1948, 1952, 1964, 1972, 1980, 1989, 2003, 2012). Additional sources consulted to develop the appropriate site-specific history include the United States Census, Los Angeles City Directories, Ancestry.com, and Los Angeles newspapers indices, obituaries, and death records.

A record search for the project area and a ¼-mile (mi.) buffer around it was requested from the SCCIC at California State University, Fullerton, in order to determine whether the buildings had been recorded previously and to identify any buildings, structures, or objects that had been recorded within ¼ mi. of the property (Appendix B). Two reports have addressed the Project site, but the records search indicated that no previously recorded cultural resources are located within the it. Some 158 cultural resources have been previously recorded within the ¼-mi. records search radius. The previously recorded resources are all built environment resources consisting of a historic district, historic residences, commercial buildings, and hotels.

A request for a search of the Sacred Lands File held by the California Native American Heritage Commission (NAHC) was made by ASM on July 17, 2020. This search was undertaken to supplement the SCCIC records search to inquire as to whether resources important to local Native American groups may exist within the proposed Project area that may not appear within the CHRIS system. The NAHC response on July 21, 2020, was positive, stating that sites may be located within the Project area that may be impacted by the project. A list of five tribal contacts who may have interest in the Project area was provided with the NAHC response; this response and contact list is provided with this memo as Confidential Appendix I.

2.2 FIELD SURVEY METHODS

ASM Architectural Historian Laura Taylor Kung conducted an intensive-level historical resource field survey on January 25, 2019, to document the Baker Garage and on September 14, 2020, for the Gilbert Garage. During the surveys, multiple photographs were taken of the buildings' interiors and exterior to document the resources and their setting. The buildings' plans, architectural features, condition, and historical integrity were noted. In order to determine whether the buildings might be associated with a historic district, particular attention was paid to the surrounding neighborhood, including a brief windshield survey. Architectural descriptions of the buildings, including photos, are provided in Section 4. DPR 523 site record forms were prepared to document this field survey and are provided in Appendix A.

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3. HISTORIC CONTEXT

3.1 SPANISH AND MEXICAN PERIODS

Spanish explorer Juan Rodríguez Cabrillo first encountered California in 1542, claiming it for the King of Spain. More than two centuries later, Christian missionaries and soldiers made port and founded San Gabriel Arcangel Mission in 1771, the fourth of 21 Spanish missions (1769-1823). It was relocated to the area that is now San Gabriel in 1776. The City of Los Angeles was founded to the southeast on September 4, 1781. After Mexican independence from Spain in 1821, the process of dismantling the mission system began to unfold. The missions, including San Gabriel, were secularized by the 1833 Secularization Act passed by the Mexican Congress, which ordered half of all mission lands to be transferred to the Indians, and the other half to remain in trust and to be managed by an appointed administrator. These orders were never implemented due to several factors that conspired to prevent the Indians from regaining their patrimony. The majority of mission lands were taken from the Catholic Church and granted to individuals who had served as either Spanish or Mexican soldiers, settlers, financiers, and the like. The Hollywood area was part of two ranchos: Rancho La Brea and Rancho Los Feliz. During this period, Americans began to settle throughout California. The western half of what is now Hollywood was part of Rancho La Brea—Spanish land grant to Antonio Jose Rocha and Nemisio Domiguez; the eastern half occupies what was formerly Rancho Los Feliz, 7,000 acres that extended from present-day Gower Street on the west to the Los Angeles River on the east, and from the top of the hills on the north to the Los Angeles pueblo limits in the south. Rancho Los Feliz was granted to Jose Vincente Feliz in the 1780s and stayed in the Feliz family until 1861. These two ranchos were strategically oriented with respect to the Cahuenga Pass, a major transportation corridor to the north and the growing city of Los Angeles to the south. This low-lying sliver of land between the mountain ranges defined the Cahuenga valley to the north and connected Hollywood not only to the adjacent San Fernando Valley but also to the northern California coast beyond. In 1848, as a result of the Mexican-American War, the United States gained Mexican territory throughout the Southwest, including California (Chattel Architecture 2010).

3.2 AMERICAN PERIOD

The discovery of gold in northern California in 1848 led to an enormous influx of American citizens in the 1850s and 1860s, and these settlers rapidly displaced the old rancho families. California became a state in 1850. During the period of 1850 to 1870, American settlers and developers acquired much property from the old Californio ranchos throughout southern California due to taxes, droughts, and floods.

The Southern Pacific Railroad extended its line from San Francisco to Los Angeles in 1876. Increasing travel opportunities allowed newcomers to pour into Los Angeles, and the population nearly doubled between 1870 and 1880. In 1886, the completion of the second transcontinental line, the Santa Fe, led to a fare war that drove fares to an unprecedented low. Settlers continued to head west and the demand for real estate skyrocketed. Los Angeles's population rose from 11,000 in 1880 to 50,000 by 1890 (Meyer 1981). By the 1890s, Los Angeles had developed into an urban center, and surrounding communities such as Hollywood and Beverly Hills were established and starting to grow.

3.2.1 Development of Hollywood

The following historic context is excerpted from the *Historic Resources Survey Hollywood Redevelopment Project Area*, a report completed by Chattel Architecture, Inc. in 2010 for the Community Redevelopment Agency of the City of Los Angeles (Chattel Architecture 2010).

When Hollywood was established as an independent city in 1903 it was a small agricultural community. While the beginnings of the town that is today synonymous with the film and entertainment industry were

3. Historic Context

quite humble, the location of the area was by no means incidental to its early development. The area was developed as individual tracts of land by a handful of Anglo settlers beginning in the 1860s. The southern end of present-day Hollywood was owned by John T. Gower as a 160-acre ranch in 1869, while the east side was part of a large tract that came into the hands of Griffith J. Griffith in 1882.

A further large tract of 120 acres to the northwest was recorded in 1887 as having been sold to Harvey Wilcox for \$150 an acre. It was the bequeathed name of this particular tract that would become the name of the city a decade and a half later. The most widely spread story of how the City of Hollywood acquired its name is attributed to Harvey Wilcox's wife, Daeida Wilcox. The story goes that she met a woman on a train who described her summer home named Hollywood, and Mrs. Wilcox was so enchanted by her description that she bestowed the name on her and her husband's new tract, which ran from Whitley Avenue east on Sunset Boulevard to Gower, north on Gower to Hollywood Boulevard, west to Vine Street, north to Franklin Avenue, west to Whitley, and south to Sunset. Wilcox laid out his tract in a manner similar to tracts across the western United States during the late nineteenth century, utilizing an orthogonal grid of rectangular lots, typical of development under the Homestead Act, the grid in this case lined with pepper trees. Also now part of present-day Hollywood was a large area called the Colegrove Addition. It developed separately from these other tracts at the end of the nineteenth century, as it had its own commercial center. These tracts remained sparsely settled through the end of the nineteenth century and were largely devoted to the cultivation of fields and orchards, often tended by Chinese labor.

The fields and orchards in the area at the end of the nineteenth century increasingly gave way to speculative real estate development by the turn of the twentieth century. In 1900, the Cahuenga Valley Improvement Association was formed for the purpose of guiding real estate development just as the first electric track was installed down the length of Prospect Avenue (present-day Hollywood Boulevard). Subsequently, orchardists, such as O. E. Roberts, began to subdivide their land in an effort to reap the profit margins that only real estate, and not fruit, could supply. The area quickly became a mecca for capitalist/industrialist barons from the Midwest seeking respite from the weather of their home towns. Their preference for the milder climate of California and the burgeoning residential district centered on Prospect Street was reflected in the steady increase in real estate prices. While the Wilcoxes had purchased their tract for \$150 an acre in 1887, thirteen years later, land was selling for more than double that, at \$350 an acre. In 1901, a subdivision called the Ocean View Tract opened along Prospect Street, developed by a company including H. J. Whitley, General Otis of the Los Angeles Times, Harry Chandler, Griffith, and Moses Sherman. The subdivision was intended to cater to the affluent. Streets were laid out to be distinctive but uniform in appearance, as a different species of tree lined each one. A restriction against building apartments was instituted, ensuring that only people of significant means could live there. Zoning on Highland Avenue called for business on the western perimeter of the subdivision and provided easy but distanced access to commercial functions for residents of the neighborhood. Restrictions, such as prohibitions against liquor, enforced a certain moral tenor. The tract was so successful that by 1904, all of the lots were completely sold out and investors realized a 60 percent profit.

In 1903, the City of Hollywood became an incorporated city, with a population of 700. While residents clearly welcomed the wealth provided by escalating real estate prices, incorporation as a city may nonetheless have been fraught with misgivings about "urban vices," as the first law established after incorporation was one banning the sale of liquor within the city. Other outlawed vices included actual transportation of liquor as well as gambling activities that were often presumed to attend its consumption. Maintaining the moral fabric of the new city, however, was not the only concern of its residents, as growth also meant creating new infrastructure. In 1904, gas lines were laid, the streets were numbered, and a single track of the Los Angeles Pacific Railroad was placed perpendicular to the electric track already on Prospect Avenue. The changing character of the area from agricultural to residential is underlined by a slim book published by the Hollywood Board of Trade in 1904 that characterized the small new city as a "City of Homes." Large estates lined Prospect Avenue, and as the area became increasingly developed, churches,

clubs, and schools built in close proximity to single-family residences were executed in styles such as Mission Revival, American Foursquare, and Craftsman Bungalow.

By 1909, like many of its neighboring communities, Hollywood had experienced growth on an exponential scale. While its population in 1903 was a mere 700, by 1909 it had reached 4,000. Though dwarfed by the neighboring city of Los Angeles with 100,000 inhabitants, the small City of Hollywood was experiencing growing pains with water shortages, drainage issues, and sewage problems. It was around this time that the city's attitudes toward annexation began to change, as the infrastructure that a city like Los Angeles offered was seen as possibly solving some of these issues. The adjacent community was the first to fold its status as an independent city in 1909, but by November of that same year, the Hollywood Board of Trade announced to residents that it would not be able to resolve sewer problems on its own. Just two months later, in February of 1910, Hollywood became a district of Los Angeles.

Although merging with Los Angeles brought the promise of change and modernization, residents remained anxious regarding the shift toward urbanization, expressed through continued resolutions to keep "urban vices" at bay; it was decided, for example, to keep the ban on alcohol in place. Yet despite such anxieties, the relationship between Hollywood and Los Angeles had been increasingly strengthened in the decade preceding annexation. As early as 1904, the Red Car Balloon Route—a balloon-shaped route through Los Angeles and its environs operated by the Los Angeles Pacific Railroad—facilitated transportation between Hollywood and downtown Los Angeles. It brought tourists on excursions to such popular Hollywood stops as the studios and gardens of the famous French painter of floral arrangements, Paul de Longpré. The relationship of Hollywood to Los Angeles was further strengthened shortly following incorporation, as the east end of Hollywood Boulevard was routed to curve into Sunset, the main road to Los Angeles.

Five years after annexation, the area was in the midst of a real estate boom. No longer a small independent city struggling to deal with infrastructural problems, it was a thriving suburb of Los Angeles increasingly attracting residential and commercial interests. Concurrent with Hollywood's annexation was the increasing importance of the movie industry in the area. Japanese actor S. I. Hayakawa became the first actor to move into Hollywood when he purchased the elite residential Glengarry Castle from A. G. Schloesser in 1915. The upscale ambience, varied topography, and glamour associated with the rise of the movie industry were some of the qualities of Hollywood particularly appealing to potential residents. However, as land values escalated in the 1920s, the large estates of the elite that characterized much of Hollywood's development toward the end of the nineteenth century and the first decade of the twentieth gave way to the more intensive land use associated with a population boom. Whereas the population of Hollywood had been little over 4,000 people upon incorporation, the area would boast a population of 153,000 by the 1930s.

Hollywood also was proximate to the commercial district of downtown Los Angeles and yet was enough removed to make it attractive as a residential district for both wealthy elite residents and upwardly mobile commuters. The affluence associated with the area since its days before incorporation, as well as the wealth emerging with the success of the film industry, made it a prime area for the popular reception of upscale commercial goods. Among these was the private automobile, and car ownership in Hollywood was higher than that of many other areas of the city. While residential development in Hollywood during the first decade of the twentieth century had focused on Prospect Avenue (present-day Hollywood Boulevard) due to its proximity to streetcar lines, by the 1920s, development was widespread throughout the area in response to the automobile. Many of the people (including some movie actors and actresses) who bought homes in Hollywood embraced the modest lifestyle associated with the bungalows being built at a rapid rate north and south of Hollywood Boulevard.

Throughout the 1930s, residential development in Hollywood occurred at a much slower pace as it was limited to infill on scattered sites that had not yet been developed. However, in the decade and a half following World War II, the pace of residential development in Hollywood once again accelerated. The

increase in development in the post-war years reflected both a generalized building boom that was occurring nationwide and also a more intensely localized building boom unique to the Los Angeles region. The city quickly moved ahead of Philadelphia to become the third largest U.S. city during this era. By 1963, Los Angeles had a larger population than that of the New York metropolitan area. As growth of single-family residential areas moved farther out from the city center, dense multi-family development occurred as infill in areas of the city that had previously been considered suburban in character. One of the most prolific trends in multi-family apartment design was the development of the “dingbat” property type. Dingbat apartment buildings became a ubiquitous feature in large portions of the Los Angeles landscape during this era.

3.3 PROPERTY HISTORY: 6422 SELMA AVENUE

The history of the Baker Garage at 6422 Selma Avenue is closely tied to both the history of early Hollywood and the development of the automobile in Los Angeles. It is located on lot 4 of tract 1754, which was originally a part of parcel 3 when the city was first divided (Figure 13). It is located between Wilcox Avenue and Cahuenga Boulevard in an area near the heart of the city that was newly incorporated in 1903. The 1907 Sanborn map shows the parcel as undeveloped, but by 1913 the building is extant and labeled as a garage (Appendix F).

The original owner of the property, Edward Louis Baker, was considered one of the pioneers of early Hollywood. In a book published by the Hollywood Branch of the Security Trust and Savings Bank in 1922, E. L. Baker is noted as one of the first people to purchase acreage on Wilcox Avenue for lemon orchards in the 1890s (Hill 1922; 17). E. L. Baker was born in Illinois in 1851 (U.S. Census Bureau 1900). He lived in Colorado before arriving in Los Angeles sometime before 1890 when he married Caroline Field (California Department of Public Health 2017). In 1892 he listed his occupation as farmer and lived in the Cahuenga area (California State Library 2011). In the late 1890s, Baker began to look for buyers for his orchard land as he probably recognized the area was rapidly developing (*Los Angeles Times* 1896). He owned several cottages in the Hollywood area that he rented out, but he and his wife lived at 1627 Wilcox Avenue, less than a half block north of Selma Avenue (U.S. Census Bureau 1910). As Baker transitioned from farmer to landlord, he also became interested in automobiles. In 1909 an advertisement for Sillman Machine Works lists E. L. Baker as a “master mechanic” (*Los Angeles Times* 1909). At this point the automobile was brand new; the Ford Model T was introduced in 1908, and fewer than 6,000 were made. As an early car enthusiast, Baker must have realized the need for a storage space for the machines that needed protection from the weather and were so expensive that only the wealthy could afford them. (City of Los Angeles 2016).

Although the Los Angeles County Assessor lists the date of construction of the garage as 1909, there is no evidence to support this. The real estate section of the *Los Angeles Times* on May 26, 1912 notes that E. L. Baker purchased the vacant lot on Selma for \$1,000 (*Los Angeles Times* 1912a). Additionally, a 1912 issue of *American Art and Architecture Building News* mentions plans for the new “fireproof” garage that will be constructed on Selma Avenue (*American Art and Architecture Building News* 1912). When it was completed, Baker quickly began to advertise the space as “The Baker Garage,” which could be rented for \$65 a month, not a small amount in 1912 (Figure 14). It is not clear if Baker had many rentals during these first three years. The advertisement reappears in 1913, and in 1916 again as the “Baker Garage” (*Los Angeles Times* 1916).

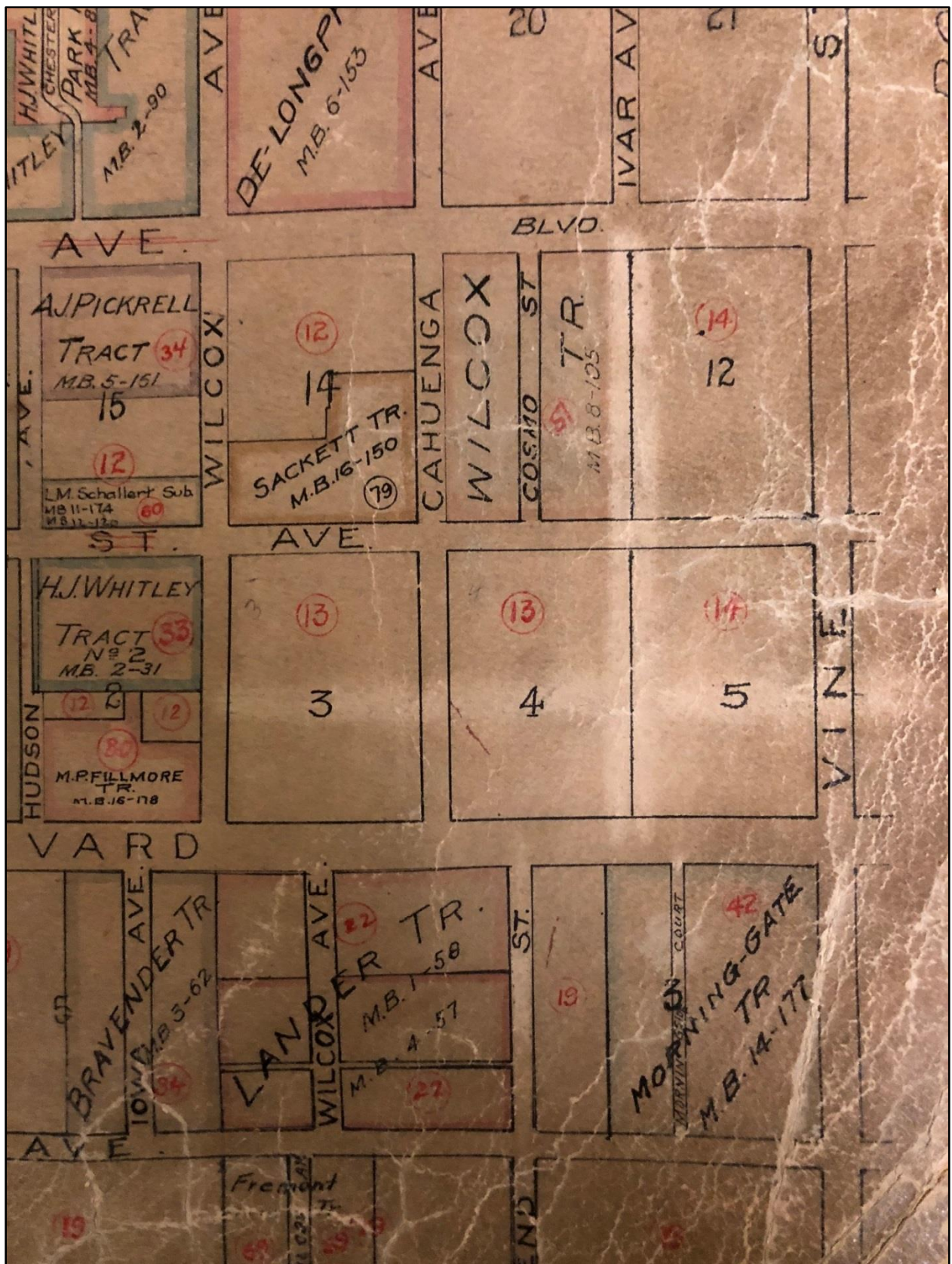


Figure 13. Assessor map showing original tract 3.

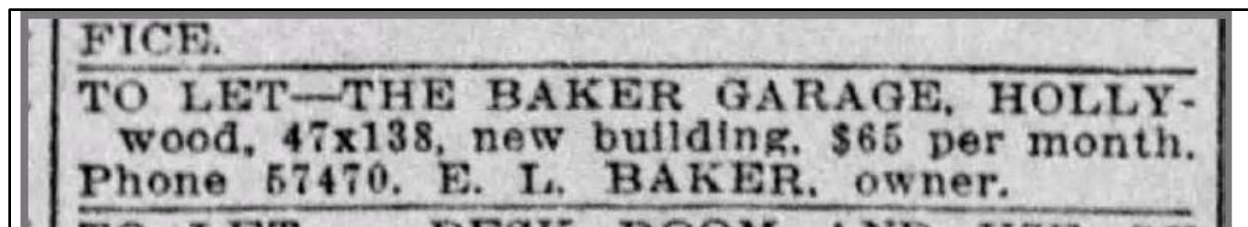


Figure 14. Advertisement from Los Angeles Times, November 30, 1912 (Los Angeles Times 1912c) for new Baker Garage.

By 1925, the space was leased by the Yellow Cab Company (*Los Angeles Times* 1925). The City Directory for the same year lists Tanner Automobile Service as the occupant, with C. C. Tanner as president (Los Angeles Directory Company 1925). Cab companies developed rapidly in the 1920s, with much competition and mergers between the various firms. C. C. Tanner was central to much of this development. Tanner founded the Brown and White Cab Company in February 1921 and in just over one year, their fleet had expanded to 50 cars (*Los Angeles Times* 1922). In 1924 the Brown and White Company consolidated with the Yellow Cab Company, and C. C. Tanner became the president of the new company. At that time the Yellow Cab Company had been in business for four years and had a fleet of 85 cars (*Los Angeles Times* 1924). The merger meant there were only two cab companies serving Los Angeles, the Brown and White-Yellow and the Black and White, which had a fleet of 85 cars. In addition to running the cab company, C. C. Tanner also founded the Tanner Livery Company in 1906 (*Los Angeles Times* 1956). By 1956, the company was still operating as a tour company, Tanner Gray Line Tours (Figure 15). The Yellow Cab company did not stay in the Baker Garage for very long, as a new garage was built on Beaudry Avenue between Third and Fourth Streets (*Los Angeles Times* 1926a). Baker advertised the space as available on April 1st of that year (*Los Angeles Times* 1926b). In 1929, someone selling their Packard lists the address of the car as the Baker Garage, so it appears to have been rented out by individuals during these years (*Los Angeles Times* 1929).

The 1930s brought a new occupant with a new direction for the garage. Joe Willharber was born in Minnesota in 1902 (U.S. Census Bureau 1940). In the 1930s Willharber found a unique way to merge the Hollywood film industry and the automobile by renting out foreign and exotic cars to be used in films or just for fun by the wealthy. The business was just beginning when it moved into the Baker Garage in 1930. A picture from 1931 depicts the Baker Garage during the time it was occupied by Willharber's company, Foreign Auto Rentals (Figure 16). By 1938 Willharber had moved locations and had a fleet of 28 specialty cars that he rented out for \$50 a day (*Los Angeles Times* 1938). An article about Willharber mentions his purchase of a Hispano-Suiza which was rented out for \$100 a day for the Greta Garbo film *The Green Hat*.

Also in 1931, E. L. Baker died (State of California 2018). His wife Caroline took over the ownership of the Baker Garage, and it continued to be occupied by Foreign Auto Rentals in 1932 (Los Angeles Directory Company 1932). Caroline Field was born in England in 1866 but emigrated to the United States with her family in 1868 (U.S. Census Bureau 1900). She married E. L. Baker in 1890, but they had no children. She frequently entertained at her house on Wilcox Avenue and was well known in Hollywood social circles (*Los Angeles Times* 1910). When she died in 1933 her sister Selena inherited the Baker home as well as the garage at 6422 Selma Avenue (*Los Angeles Times* 1933).

Selena Field Cluss was born in England in 1863 and emigrated with her sister Caroline and the rest of their family. In 1886 she married Edward L. Cluss who was born in Michigan in 1864. They lived in Wisconsin when their son Walter was born in 1889, and in Kansas when their daughter Ethel was born in 1893 (U.S. Census Bureau 1920). Walter Cluss worked as a mechanic in Fredonia, Kansas, but was lured to Los

Angeles by his uncle, E. L. Baker, who told him he could make more money there (*The Fredonia Daily Herald* 1911). He was the first of his family to relocate, but his parents and sister soon followed (*Los Angeles Times* 1912b). By 1920 the family was living at 1417 Alexandria Avenue (U.S. Census Bureau 1920). Her husband, Edward, died in 1942, and Selena moved to Pasadena sometime before 1947 (*Los Angeles Directory Company* 1947). She died in 1960 (Find-a-grave 2018).

In 1956...as in 1906
really see
Everything
with
TANNER GRAY LINE

The 1906 visitor to the Southwest went sightseeing in a handsome coach, behind a team of matched show horses. Today, the vehicle may be a sleek limousine with liveried chauffeur, a smart U-Drive car for personal sightseeing, or a luxury coach on a guided tour.

But the company which pioneered these services remains the same. The original Tanner Livery Company, established in 1906 by C. C. Tanner, is in its Golden Anniversary year under continuous family operation. Tanner Gray Line Motor Tours, in 1956, is the world's largest sightseeing organization, offering the tourist a complete transportation service.

GOLDEN ANNIVERSARY
Celebrating...
50 YEARS
OF TOURIST SERVICE

1906 1956

Mr. and Mrs. C. C. Tanner, founders of the company, go for a drive with a handsome team. This type of vehicle was the original "U-Drive" in 1906.

Snappy 1910 Cadillac limousine, featuring the first Fleetwood body, was the pride of the Tanner Livery service of that year, with uniformed chauffeur.

Off on a guided tour in 1914, a gay party might visit orange groves, beaches, or perhaps Mt. Lowe, for a magnificent view from the observatory.

Smart Avis Rent-A-Car takes the modern tourist on business or sightseeing trips. Tanner Gray Line, licensee, offers Plymouths, all popular makes, late models.

Limousines in 1956 offer the same outstanding service to visitor or resident, for business, social, sightseeing, weddings, premieres, parties, with liveried chauffeur.

Just word in sightseeing coaches are these newest additions to Tanner Gray Line fleet, bound for Disneyland, homes of stars, inside movie studios, hundreds of other tours.

Tops in Transportation
TANNER GRAY LINE
Motor Tours
1207 W. 3rd St., Los Angeles
MUTUAL 3111

**At leading hotels, Tanner offices, airports...
24 hours a day**

Licenses **AVIS**
RENT-A-CAR System
Today's smart travelers "fly and drive" with Avis; take advantage of easy "dismiss at destination" Avis arrangements. Avis offices are located throughout the world for the convenience of every traveler.

Branch offices in the following cities:
Hollywood • Beverly Hills • Pasadena • Long Beach • Glendale • Santa Monica • San Diego
Santa Barbara • Coronado • Riverside • Palm Springs • Las Vegas • Phoenix • Tucson

Figure 15. Advertisement for Tanner Gray Line Tours from the *Los Angeles Times*, May 28, 1956.



Figure 16. Front of 6422 Selma Avenue circa 1931.

Selena Cluss continued to rent out the garage during the time she owned it. In 1936 it was rented by Glenn Wellington and listed under the heading “Auto Jobbers” in the City Directory (Los Angeles Directory Company 1936). Glenn Wellington was born in Nebraska in 1898. By 1930 he was living in Los Angeles with his wife Marion Joy who was also born in Nebraska in 1899. At that time, he listed his occupation as proprietor of a machine shop and the couple rented a house on Gordon Street (U.S. Census Bureau 1930). By 1940, they owned a home on Beachwood Drive and had an eight-year-old son Rex (U.S. Census Bureau 1940). Glenn Wellington expanded his business from auto repair to auto parts and continued to use the Baker Garage as his place of business. He purchased the property from Selena Cluss in 1945, and in 1946 began to alter the structure to meet his needs. The building permits from this time note his intention to be a drive-in auto supply company, which prompted the need for a roll-up door instead of a window. He also converted the central and east bays to function as storefronts. The garage functioned as a car parts shop throughout the 1940s and 1950s. In 1961 the Wellingtons filed a fictitious name notice in the *Valley News* indicating the name of their business was Wellington Auto Parts at the Selma Avenue address (*Valley News* 1961). Glenn Wellington died in 1980 but sold the business to Sabin P. Sturtevant and Sarah S. Lee in 1972.

Sabin P. and Sarah were the children of Sabin B. Sturtevant, a well-respected San Fernando Valley businessman who founded a successful auto parts business. Sabin B. Sturtevant was born in Wisconsin in 1892 and married Elizabeth Phillips (born in Colorado in 1891) in 1920 (U.S. Census Bureau 1920). Their son Sabin Phillips Sturtevant was born in 1925, and his sister Sarah Jane Sturtevant was born in 1927. The couple arrived in Van Nuys in 1927, and Sabin soon established his auto parts dealership (*Los Angeles Times* 1965). By 1932 he had three stores operating as Sturtevant’s Auto Parts in Van Nuys, Canoga Park and San Fernando (*Valley News* 1932). In 1949 he was elected to the board of directors of the Motor Equipment Wholesalers Association and an additional store had opened in Glendale (*Valley News* 1949b). A spacious new office, headquarters, and store was opened on Oxnard Boulevard in Van Nuys in 1956 (*Valley News* 1956). By this time the senior Sturtevant had included his son Sabin and daughter’s husband, Granville Lee, in the operation of the business. During the 1950s, Sarah Sturtevant Lee and her mother Elizabeth were very active in social and civic events (*Valley News* 1949a). Their names frequently appear in the *Van Nuys News* as hosts of fundraising events and other activities. When the senior Sturtevant died in 1965, his children inherited the company. It appears that there were plans to expand, as they were

purchasing many smaller auto parts stores throughout the Valley and in Los Angeles, which may explain their purchase of Wellington Auto Parts in 1972.

During the time it was owned by the Sturtevents, the Baker Garage operated under the name Hollywood Auto Parts. In 1975 an illuminated projecting sign was installed above the building (Appendix E). Several ads for Hollywood Auto Parts appear in the *Los Angeles Times* in the early 1980s.

In 1986 the building at 6422 Selma Avenue ceased to be associated with automobiles when it was purchased by Carroll Parish and Sybil Kearns and converted into office space. A building permit indicates that the interior was altered, and a certificate of occupancy verifies the change in use (Appendix E). The city directory lists the address as occupied by Kerns and Associates in 1987 (Pacific Bell 1987). In 1989 the new owners, Ronald and Lucinda Michelson, continued to utilize the building as office space for their business, Concept Arts Studios. It was during this time that the sign was added, and the central bay was painted yellow. The building was occupied by Concept Arts until it was sold in 2018.

3.4 PROPERTY HISTORY: 1550 NORTH WILCOX AVENUE

Although financing expert Lowry Lytle was new to Los Angeles, he knew enough about Hollywood real estate to see that the lot on the east side of Wilcox Avenue was full of potential. He realized the possibilities of a parcel which afforded “space for a capacious garage at the rear where property was cheaper” and worked out a plan (*Hollywood Citizen-News* 1926a). He took his idea to investor Lewis G. Burmann and proceeded to work out a lease between the owner and the lessor, John Loyal Gilbert. Burmann was not a big shot in real estate. Born in Massachusetts, he was first married at the age of 23 and had two young boys when his first wife died. He remarried Evelyn Sarah Gilbert in 1899 and was working as a clerk in a dry goods store in Los Angeles by 1910 (California Department of Health 2017; U.S. Census Bureau 1910). By 1920 he was a real estate salesman looking for investments (U.S. Census Bureau 1920). John Loyal Gilbert was mayor of his hometown, Parkersburg, West Virginia, prior to moving west to operate the new hotel in Hollywood (*Los Angeles Evening Citizen* 1925).

Architects Gogerty and Weyl prepared plans for the new hotel, and Harry E. Jones was awarded the contract for construction (*Hollywood Daily Citizen* 1925). Henry L. Gogerty was born in Iowa 1894 and earned his bachelor's degree in architecture and engineering from the University of Illinois. He also received a certificate of architecture from the University of Southern California. After serving in the Army field artillery during World War I, he moved to southern California in 1923. He opened his first architectural office in Long Beach and practiced under the name H.L. Gogerty Associates. His projects included schools, shopping centers, jails, aircraft terminals, military installations, and commercial office buildings. Prior to 1925, Gogerty began an association with Carl Jules Weyl. Weyl was born in Germany and was naturalized in 1920. At the time he started working with Gogerty he was not a trained architect. As soon as he received his certificate in 1928, he ended his partnership with Gogerty (PCAD 2021). But during their three-year partnership, Gogerty and Weyl completed multiple projects in Hollywood and the surrounding area. Two of their first joint projects were the Highland Park Professional Building (1925) and a residence at 902 North Camden Drive in Beverly Hills (1925). Gogerty and Weyl specialized in the Spanish Colonial Revival and Art Deco styles with examples of both in Hollywood. The Baine Studio Building (1927) at 6605 Hollywood Boulevard is an example of their Spanish Colonial Revival style (Gebhard and Winter 2018: 187). A more ornate version of the building was replicated by Disney for their Hollywood Studios theme park (Figure 17). Another ornate Churrigueresque example of their work is the Hollywood Playhouse Theater (1926), now the Avalon, at 1735 Vine Street (Gebhard and Winter 2018:188). The Yucca-Vine Tower (1929) at 6305 Yucca Street is one of their last projects with elements of French curvilinear and Art Deco details. The NRHP nomination for the Hollywood Boulevard district noted that the prolific firm of Gogerty and Weyl executed designs that “created a feeling of sophisticated, yet relaxed, upscale shopping and entertainment district” (McAvoy 1985).

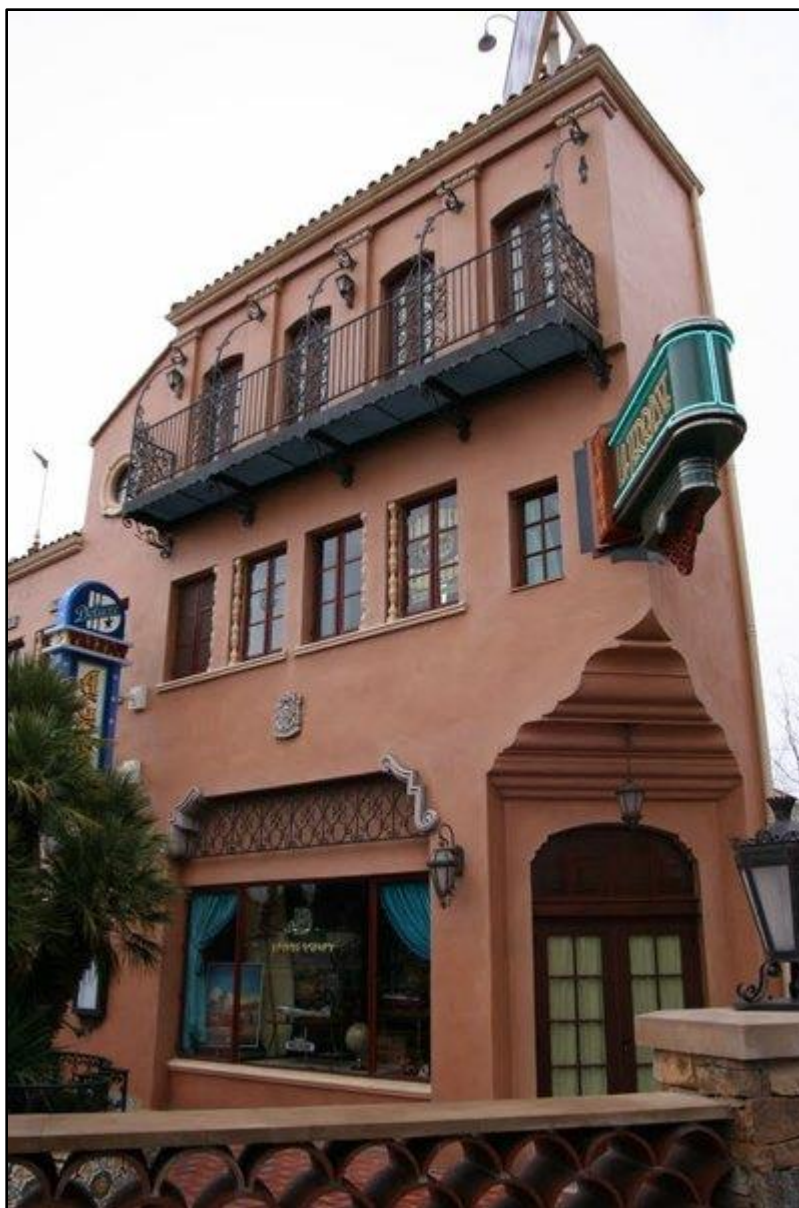


Figure 17. Reproduction of Baine Building at Disney's Hollywood Studios.
(Photo from designingdisney.com)

The plan for the Gilbert Hotel was one of their earliest projects, but the elements of Art Deco and Spanish Colonial Revival styles that characterized their subsequent projects were still evident in the design. When the hotel opened in January of 1926, two full pages of the *Hollywood Citizen-News* were devoted to the hotel and the party to celebrate its opening. One article detailed the architecture which was intended to invoke a Spanish charm that would seduce the influx of tourists and new transplants from the east. The lobby was accessed via a patio with a colored tile walk, electric fountain, cacti, and geraniums through an entrance with high doors and arched fanlights. It was decorated in warm tones, with comfortable chairs Davenports arranged near the fireplace and wall tapestries. The 70 rooms were decorated in more neutral tones, with walnut beds and dressers and an easy chair in every room. The rooms were made more homey with rich silk drapery and a candlestick with a wax taper in every room (*Hollywood Citizen-News* 1926b).

Six hundred invitations were issued for the grand opening dance at 8pm on Saturday January 9, 1926. In addition, the paper ran a printed formal invitation and offered a bottle of Nu Grape soda to every guest (Figures 18 and 19). The ubiquitous spotlights used to draw attention to all events and premieres were used to draw visitors to the new Gilbert Hotel (Figure 20). The dance was to be held in the Gilbert Garage, a 10,000-square-foot building intended to provide a parking spot for every guest. The tagline, “A Home for You and Your Car,” appeared on several of the ads appearing in the local papers. Even the laundry service awarded the contract for the Gilbert applauded the hotel for including this rare amenity of parking (Figure 21). An article specifically about the garage appeared in the grand opening edition. It noted that this was the “first hotel in Hollywood to include a garage in its equipment.” The 80-car garage of brick and concrete was reached through a corridor directly from the lobby. The garage would provide a mechanic and oil and gas services provided by the Associated Oil Company and Quaker State Oil Company. The garage space could also be used as free storage from longer-term residents (*Hollywood Citizen-News* 1926c).

Despite the optimism of the sparkling Hollywood opening, the people associated with the hotel did not have much luck in the years that followed. Lewis Burmann moved into the hotel after his second wife, Evelyn, died in 1926 (California Department of Health 2017; California State Library 2017). J. Loyal Gilbert died in 1929 at the age of 50, but no obituary could be located in either Los Angeles or West Virginia papers. The only reference appears in a description of a meeting of Hollywood hotel owners where condolences were given to his son, Edward, who had taken over the management of the hotel (*Hollywood Citizen-News* 1929). Gilbert’s other son, John, had studied at Carnegie Tech and was working as a set designer when he collapsed and died in the street at the age of 31 (*Hollywood Citizen-News* 1941). It is unknown whether the name for the Gilbert Hotel came from J. Loyal Gilbert or from the maiden name of Burmann’s second wife, but either way the hotel had no association with either of its original founders by 1937. Lewis Burmann moved to San Diego where he became a rancher and died in 1946 (State of California 2000).

A picture of the hotel was included in the paper on the day of its opening (Figure 22). This is prior to addition of any signage or storefront alterations that occurred in the first few years. The first signs were added to the front façade in 1927 and to the roof in 1930. Although the 1930 roof sign is likely to be the current sign, the façade sign was replaced in 1955 (Appendix E). An undated postcard shows the front sign with the words “Drive-In Hotel” which remained in place until at least 1979 (Figure 23). This sign was designed by the Interstate Neon Corporation.

Storefront changes were also quite frequent, particularly in the restaurant area. The leased restaurant space changed names and menus nearly every year until it eventually closed sometime after 1950. The Gilbert Grill was renamed the Quality Dinette in 1928 (*Hollywood Daily Citizen* 1928). In 1932, there were two restaurants, the Jonathan Coffee Court and Gilbert Dining Room (Figure 24). The next year, the Kearns Coffee Shop offered a fried chicken luncheon for 35 cents (*Hollywood Citizen-News* 1933). In 1936, the Gilbert Hotel Café offered a full course Christmas dinner for 75 cents (*Hollywood Citizen-News* 1936). The OGee Restaurant opened in 1938 and boasted a soda fountain (*Hollywood Citizen-News* 1938). Next came Bender’s Coffee Shop which offered free coffee to service men in uniform during the war (*Hollywood Citizen-News* 1942). The last restaurant ads appear in 1950. In July, the restaurant was called Chef Le Vay’s and offered an all you can eat buffet for 99 cents and the Coffee Shop advertised Ukrainian, Polish, and Russian meals “cheaper than you can cook at home” (*Hollywood Citizen-News* 1950a and b).

The first publicized ownership change was in 1937, when I.C. Gordean and B.T. Schreiber purchased the hotel from the Title Insurance and Trust Company for 135,000 (*Hollywood Citizen-News* 1937). It is not known if Burmann sold or foreclosed on the hotel prior to moving to San Diego. Gordean submitted building permits for appearance of store fronts and removal of café partitions. Schreiber’s name appears on permits for the addition of partitions to the lobby and conversion of one of the stores to a space for a doctor’s office. The name Nicholas Fletcher appears on permits in the 1970s and Bee Patel from 1987 until 2013 (Appendix E).



Figure 18. Invitation to Gilbert Hotel's Grand Opening Dance from *Hollywood Citizen-News*, January 9, 1926.

To-night
Every Guest At The
Hotel Gilbert
1550 Wilcox Avenue
will be served an iced
bottle of



NuGrape
IMITATION GRAPE - NOT GRAPE JUICE

A Flavor You Can't Forget
Order It By The Case
If your neighborhood dealer
cannot supply you
Phone AX 1781

Figure 19. Advertisement offering Nu Grape soda to guests of the opening of the Gilbert Hotel, *Hollywood Citizen-News*, January 9, 1926.



Mr. GILBERT

Follow the Light in the Sky Tonight!

We light the World

Otto K. Olesen
Illuminating Co.

Spectacular
Lighting
Effects

WE CONGRATULATE YOU

Figure 20. Advertisement for Otto K Olesen's skylights for opening of Gilbert Hotel, *Hollywood Citizen-News*, January 9, 1926.

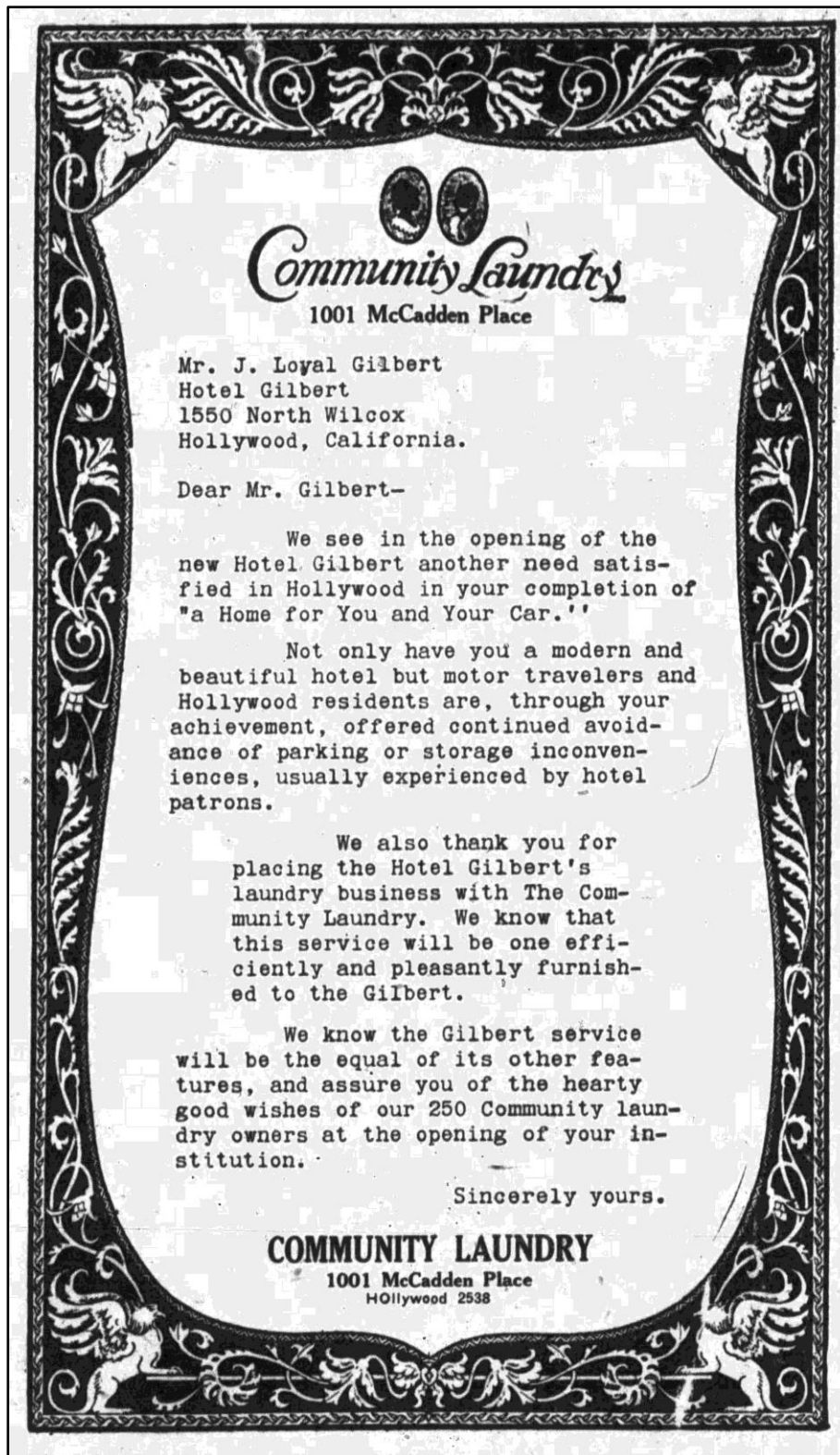


Figure 21. Letter from vendor Community Laundry that appeared in the *Hollywood Citizen-News*, January 9, 1926.

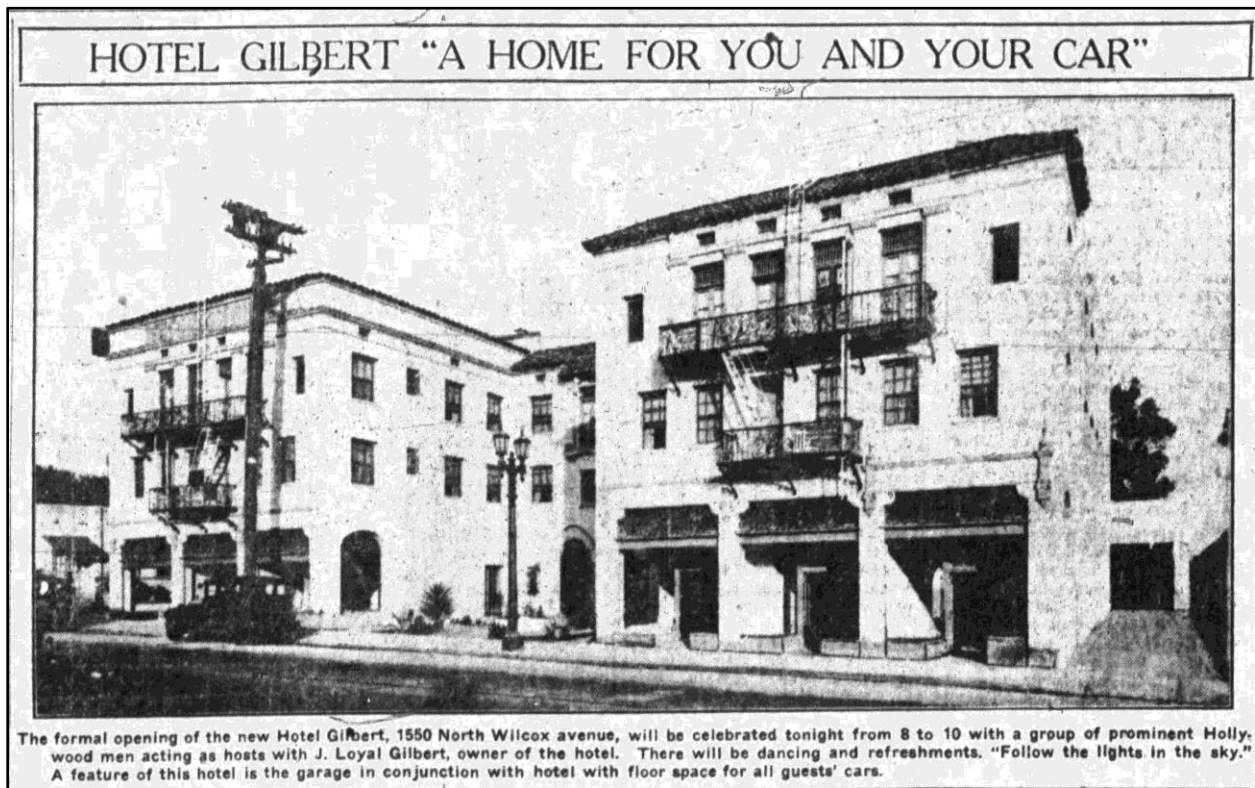


Figure 22. Photo of the Gilbert Hotel that appeared in the *Hollywood Citizen-News*, January 9, 1926.



Figure 23. Postcard of the Gilbert Hotel showing previous sign.

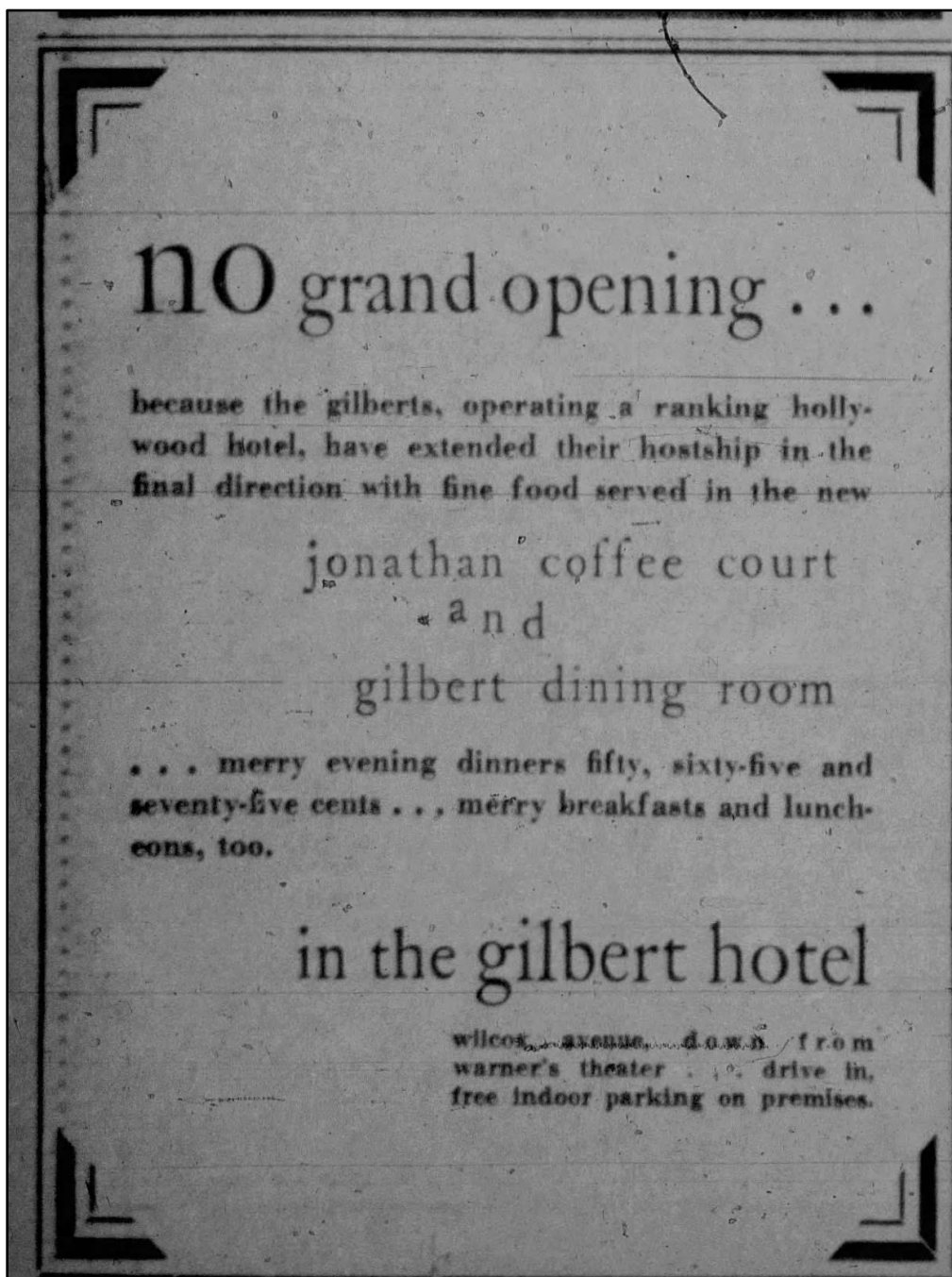


Figure 24. Advertisement for dining in the Gilbert Hotel from *Hollywood Citizen-News*, April 2, 1932.

As it was a residential as well as a tourist hotel, many people occupied the rooms of the Gilbert Hotel over the years. It was a popular choice for salespeople and actors between jobs. In 1940, residents included several students and the proprietor of the coffee shop, as well as actors Will Aubrey who had a small role in *The Thin Man* (1936), and Joe Sully, who had an uncredited role in Carole Lombard's *They Knew What They Wanted* that year (California State Library 2017; Internet Movie Database 2021). In 1944, the residents included actors Robert Ryan and Johnny Arthur (California State Library 2017). At that time, Robert Ryan had just appeared in the film *Bombadier* (1943) and would go on to have more than 90 film credits in a career that lasted until his death in 1973 (Figure 25). He is most known for the *Dirty Dozen* (1967) and the *Iceman Cometh* (1973) (Internet Movie Database 2021). Johnny Arthur was at the end of a career that began in silent films in the 1920s and ended with a small role as an apartment manager in *It Happened on Fifth Avenue* (1947). Arthur was found in a coma in his Gilbert Hotel room in 1946 and died in 1951 (*Hollywood Citizen-News* 1946).

Not appearing in the voter registration is writer Henry Miller, who stayed at the Gilbert Hotel in 1941 during his travels in America that would form the essays of his book *The Air-Conditioned Nightmare* published in 1945. He ended his trip in Hollywood and wrote most of the book while living in the Gilbert Hotel (*Los Angeles Times* 2000). As it was a road trip, he also would have made use of the Gilbert Garage. A 1979 song titled "A Sweet Little Bullet from a Pretty Blue Gun" by Tom Waits also includes lyrics about the Gilbert:

And now there's a place off the drag
Called the Gilbert Hotel
There's a couple letters
Burned out the sign

The parking garage was not significantly altered since it was first constructed. In 1934, the garage expanded their services to members of the Hollywood Athletic Club as well as local residents in need of parking. They offered weekly or monthly rates as well as a call and delivery service for the cars (*Hollywood Citizen-News* 1935). An ad for the garage appeared in a special cut-out section titled "A Directory of Reliable Hollywood Firms" (Figure 26).

The Gilbert Hotel was substantially remodeled in 2014 when it was converted to student housing. Most of the windows were replaced, the front storefronts altered, and the front courtyard was enclosed. The color scheme was also changed from the warm tones it was historically.



Figure 25. Photograph of actor Robert Ryan from Internet Movie Database.

CUT OUT FOR READY REFERENCE

INFORMATION DEPARTMENT

A DIRECTORY OF RELIABLE HOLLYWOOD FIRMS

Call or See Them Prompt Efficient Service
DEPENDABLE MERCHANDISE



Auto Lubrication Specializing in Certified Mobil Lubrication. Any Make Car, \$1.00
Burt Deibel Service Station 1600 NO. WILCOX AVE.
Cor. Selma. HO-5667.

Auto Park All Day in-and-out, 25c. Weekly, Monthly Rates. Call and Delivery Service
GILBERT HOTEL GARAGE 1550 NO. WILCOX
Gladstone 3141.

Figure 26. Advertisement for Gilbert Hotel Garage from *Hollywood Citizen-News*, January 3, 1934

4. ARCHITECTURAL DESCRIPTIONS

4.1 6422 SELMA AVENUE

6422 Selma Avenue is located between Cahuenga Boulevard and Wilcox Avenue in the Hollywood neighborhood of Los Angeles. It is a one-story building with a simple rectangular plan. Built as the Baker Garage in 1912, it is constructed of brick in a common bond of six stretchers per header row (Figure 27). The building has corner pilasters and a front-facing gable roof (Figure 28). The primary (north) façade is punctuated by three bays which have been altered over the years. The central bay has a projecting surround, which is currently painted yellow. Originally, this central opening was large enough to accommodate the cars of the 1910s and it was flanked by two windows (see Figure 16). Over the years as the building continued to be used for automobiles, the windows were removed and replaced by additional garage entrances. During the time it was used for automobile supplies, the central door was filled in with a traditional door with glass blocks and marble (Figure 29). The east opening was also filled in with a solid door with glass blocks and green marble (Figure 30). The west opening is a metal roll-up door (Figure 31).



Figure 27. North façade, looking south.

The west façade is completely obscured by the adjacent building. The east façade is partially obscured by a building that nearly abuts the wall at the rear of the property (Figure 32). There is one window opening visible from the street on this façade. It has an arched header and is currently filled in with glass block (Figure 33). The rear of the property is not accessible.

The interior was substantially altered in 1986 when the building was converted to office use (Figure 34). Walls and partitions were added, but the sense of the original space is still retained (Figure 35). The original rafter supports are visible and have a wide “W” pattern (Figure 36). In the northeast corner room, the window has the same green marble used on the exterior below it (Figure 37). The northwest room serves as a utility area (Figure 38). There are editing bays along the west side of the building and no fenestration

4. Architectural Descriptions

in that area (Figure 39). The rear of the building has multiple window openings that are probably not original. There are three one-over-one double-hung sash windows on the south façade (Figure 40). An arched opening in the brick was possibly a door at one time but is now filled in and illuminated by a small skylight (Figure 41). One-over-one double-hung sash windows also punctuate the east façade at the rear of the building, but they are against the wall of the adjacent building (Figure 42).



Figure 28. Detail of corner pilasters, looking south.



Figure 29. Detail of central glass block window and marble addition.



Figure 30. Detail of entrance in east bay, looking southeast.



Figure 31. Roll-up door in west bay, looking southwest.



Figure 32. East façade, looking west.



Figure 33. Detail of window on east façade.



Figure 34. View of interior, looking south (2021).

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Figure 35. Interior view showing added walls below ceiling (2021).



Figure 36. Interior view with ceiling trusses (2021).



Figure 37. Detail of north wall showing added marble (2019).



Figure 38. View of roll-up door in northwest corner room (2021).



Figure 39. View of west side of interior (2019).



Figure 40. View of windows on south wall of the building (2019).



Figure 41. Inset opening with skylight in south wall (2019).



Figure 42. Window on east wall (2019).

4.2 1550 NORTH WILCOX AVENUE

The former parking garage at 1550 North Wilcox Avenue is located between Sunset Boulevard and Selma Avenue in the Hollywood neighborhood of Los Angeles. It is located behind the Gilbert Hotel and accessed by narrow driveways to the north and south of the building (Figure 43). The hotel is a three-story masonry building constructed in 1925 and extensively remodeled in 2014 (see Figure 12). The Gilbert Garage was built concurrently with the hotel with the intention of providing parking for hotel guests. It is a one-story building with an L-shaped plan. The walls are constructed of brick in a common bond of six stretchers per header row which has been painted on some facades (Figure 44). Capped by a flat roof, the building has minimal fenestration and no decorative details. The east and north facades of the building are adjacent to the walls of the surrounding buildings at 6422 and 6430 Selma Avenue and are not visible. The south façade is partially visible and has paired anchor bolts for the interior trusses spaced along the upper portion of the wall (Figure 45). The primary (west) façade of the garage has two vehicular entrances at the north and south ends (Figure 46). There is also a pedestrian entrance near the middle of the building with a solid metal door. Although the metal vehicular doors have most likely been replaced, they retain their original size planned for automobiles in 1925 (Figure 47).

The interior of the Gilbert Garage appears to have had minimal alterations (Figure 48). The L-shaped plan requires a complex system of hip trusses spanning the space from east to west with cross braces and central supports on concrete piers (Figures 49-51). Brick pilasters support the trusses where they meet the wall and additional supports have been added in some locations (Figures 52 and 53). The wood roof is punctuated by skylights in several locations which appear to be original as there was no fenestration (Figure 54).



Figure 43. View of gated driveway to the south of the Gilbert Hotel, looking east.



Figure 44. Detail of brickwork on west façade of Gilbert Garage, looking south.



Figure 45. South façade of Gilbert Garage at 1550 North Wilcox, looking northeast.

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Figure 46. Detail of south door on west façade of Gilbert Garage, looking north.



Figure 47. Detail of north door on west façade of Gilbert Garage, looking east.



Figure 48. View of interior of Gilbert Garage, looking northeast.



Figure 49. Detail of roof and trusses of Gilbert Garage.

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Figure 50. Interior view of Gilbert Garage, looking east.



Figure 51. Detail of support post in center of Gilbert Garage, looking southeast.



Figure 52. View of brick and pilasters on interior of Gilbert Garage.



Figure 53. Detail of brick pilaster in Gilbert Garage.



Figure 54. Overview of interior showing skylights in the Gilbert Garage.

5. EVALUATION OF ELIGIBILITY

Districts, sites, buildings, structures, and objects are assigned historical significance based on their exceptional value or quality illustrating or interpreting the heritage of Los Angeles or the United States in history, architecture, archaeology, engineering, and culture. A number of criteria are used in demonstrating resource importance. Specifically, criteria are outlined in the CRHR and HCM, and provide the guidance for making such a determination. The following sections detail the criteria that a resource must meet in order to be determined eligible and receive a full evaluation of eligibility.

In evaluating the buildings, ASM considered a number of factors relevant to making a recommendation of eligibility, including:

- the history of Los Angeles and Hollywood;
- the history of the buildings' construction, use, and associations;
- the history of the surrounding community and the buildings' relationship to that community;
- the buildings' association with important people or events;
- whether or not the buildings are the work of a master architect, craftsman, artist, or landscaper;
- whether the buildings are representative of a particular style or method of construction; and
- whether the buildings have undergone structural alterations over the years, the extent to which such alterations have compromised their historical integrity, and the current condition of the properties.

5.1 REGULATORY FRAMEWORK AND ELIGIBILITY CRITERIA

5.1.1 California Register of Historical Resources

The CRHR program encourages public recognition and protection of resources of architectural, historical, archaeological, and cultural significance; identifies historical resources for state and local planning purposes; determines eligibility for state historic preservation grant funding; and affords certain protections under CEQA. The criteria established for eligibility for the CRHR are directly comparable to the national criteria established for the NRHP.

In order to be eligible for listing in the CRHR, a building must satisfy at least one of the following four criteria:

1. is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

Historical resources eligible for listing in the CRHR must meet one of the criteria of significance described above and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. For the purposes of eligibility for CRHR, integrity is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance” (California Office of Historic

Preservation 2001). This broad definition is generally strengthened by the more specific definition offered by the NRHP—the criteria and guidelines upon which the CRHR criteria and guidelines are based.

5.1.2 City of Los Angeles Historic-Cultural Monuments

According to the City of Los Angeles Cultural Heritage Ordinance Chapter 9, Division 22 (Cultural Heritage Ordinance) of the Los Angeles Administrative Code, Historic-Cultural Monument designation is reserved for any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles. A proposed Monument may be designated by the City Council upon the recommendation of the Commission if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
2. Is associated with the lives of historic personages important to national, state, city, or local history; or
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

5.1.3 Los Angeles Historic Preservation Overlay Zone

According to Section 12.20.3 of the Los Angeles Municipal Code, a HPOZ is an area of the City of Los Angeles that is designated as containing structures, landscaping, natural features, or sites having historic, architectural, cultural, or aesthetic significance. To receive such designation, areas must be adopted as a HPOZ by the City Planning Commission and the City Council through a zone change procedure that includes notification of all affected and nearby property owners and public hearings (ordinance enacted in 1979). HPOZ areas range in size from neighborhoods of approximately 50 parcels to more than 3,000 properties. While most districts are primarily residential, many have a mix of single-family and multi-family housing, and some include commercial and industrial properties. HPOZs are established and administered by the Los Angeles City Planning Department (in concert with the City Council). Individual buildings in a HPOZ need not be of landmark quality on their own: it is the collection of a cohesive, unique, and intact collection of historic resources that qualifies a neighborhood for HPOZ status.

5.1.4 California Environmental Quality Act Significance

CEQA Section 15064.5 *Determining the Significance of Impacts to Archeological and Historical Resources* requires that all private and public activities not specifically exempted be evaluated against the potential for environmental damage, including effects to historical resources. Historical resources are recognized as part of the environment under CEQA. It defines historical resources as “any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.”

Lead agencies have a responsibility to evaluate historical resources against the CRHR criteria prior to making a finding as to a proposed project’s impacts to historical resources. Mitigation of adverse impacts is required if the proposed project will cause substantial adverse change to a historical resource. Substantial adverse change includes demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired. While demolition and destruction are fairly obvious significant

impacts, it is more difficult to assess when change, alteration, or relocation crosses the threshold of substantial adverse change. The CEQA Guidelines provide that a project that demolishes or alters those physical characteristics of a historical resource that convey its historical significance (i.e., its character-defining features) can be considered to materially impair the resource's significance. The CRHR is used in the consideration of historical resources relative to significance for purposes of CEQA. The CRHR includes resources listed in, or formally determined eligible for listing in, the NRHP, as well as some California State Landmarks and Points of Historical Interest. Properties of local significance that have been designated under a local preservation ordinance (local landmarks or landmark districts), or that have been identified in a local historical resources inventory, may be eligible for listing in the CRHR and are presumed to be significant resources for purposes of CEQA unless a preponderance of evidence indicates otherwise.

Generally, a resource shall be considered by the lead agency to be a "historical resource" if it:

1. Is listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (PRC Section 5024.1, Title 14 CCR, Section 4850 et seq.).
2. Is included in a local register of historical resources or is identified as significant in a historical resource survey meeting the requirements Section 5024.1(g) of the PRC.
3. Is a building or structure determined to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.

Integrity

In order to be eligible for listing in the CRHR, a property must retain sufficient integrity to convey its significance. The NRHP publication *How to Apply the National Register Criteria for Evaluation*, National Register Bulletin 15, establishes how to evaluate the integrity of a property: "Integrity is the ability of a property to convey its significance" (National Park Service, National Register of Historic Places 1998). The evaluation of integrity must be grounded in an understanding of a property's physical features, and how they relate to the concept of integrity. Determining which of these aspects are most important to a property requires knowing why, where, and when a property is significant. To retain historic integrity, a property must possess several, and usually most, aspects of integrity:

1. **Location** is the place where the historic property was constructed or the place where the historic event occurred.
2. **Design** is the combination of elements that create the form, plan, space, structure, and style of a property.
3. **Setting** is the physical environment of a historic property and refers to the character of the site and the relationship to surrounding features and open space. Setting often refers to the basic physical conditions under which a property was built and the functions it was intended to serve. These features can be either natural or manmade, including vegetation, paths, fences, and relationships between other features or open space.
4. **Materials** are the physical elements that were combined or deposited during a particular period or time, and in a particular pattern or configuration to form a historic property.
5. **Workmanship** is the physical evidence of crafts of a particular culture or people during any given period of history or prehistory and can be applied to the property as a whole, or to individual components.
6. **Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, when taken together, convey the property's historic character.

7. **Association** is the direct link between the important historic event or person and a historic property.

5.2 STATEMENT OF SIGNIFICANCE

5.2.1 6422 Selma Avenue

5.2.1.1 California Register of Historical Resources Evaluation

ASM carefully considered whether the Baker Garage at 6422 Selma Avenue is individually eligible under any CRHR criteria. To do so, ASM evaluated the building within the historic context of Commercial Development and the Automobile, 1910-1970, an important theme identified in SurveyLA that relates to this building.

Under CRHR Criterion 1, the property is one of the only buildings associated with early automobile culture remaining in Hollywood. Although it dates to slightly after the annexation year of 1910, the Historic Context Statement for the Historic Resources Survey Hollywood Redevelopment Project Area (2020) notes that buildings dating from around this time are increasingly rare and appear particularly significant as an important pattern of development, illustrative of Hollywood's early development as an independent city. Furthermore, the building was constructed as a garage and continued to be associated with automobiles for more than 80 years. It evolved with the automobile and with Hollywood itself, intersecting with early cab companies, automobile parts and service, and as a supplier of exotic cars for the film industry. Because it retains integrity and such a close association with the automobile, the Baker Garage at 6422 Selma Avenue sufficiently represents the theme of Commercial Development and the Automobile, 1910-1970, on the local level. As such, it is recommended eligible under CRHR Criterion 1.

Several of the owners and occupants were well known locally or in the automobile industry, including Sabin Sturtevant and Joseph Willharber. Edward Baker is considered a Hollywood pioneer, but not a historically significant individual. As such, the Baker Garage at 6422 Selma Avenue is not recommended eligible under CRHR Criterion 2.

ASM considered whether the property is individually eligible under CRHR Criterion 3 as a parking structure building type. The SurveyLA theme of Commercial Development and the Automobile, 1910-1970, outlines registration requirements for several building types associated with the automobile, including parking structure, car repair facilities, and service stations, as well as drive-in commercial facilities. Designed and built for the singular purpose of housing cars, the Baker Garage is a good representation of a very early single-story parking structure. It is also related to the car repair building type with three bays on the primary facade. As most parking structures were two or more stories and most car repair shops date to after 1920, the Baker Garage is an incredibly rare example of an early garage. The building also demonstrates how its architecture is shaped by accommodation to the needs of the automobile as well as by the economic trends of the time. It was converted for use as a drive-in shop when the trend was to provide services directly to customers, so they could remain in their cars. Although the original building permit was not located, the structure is not believed to be associated with a master architect or builder. However, the Baker Garage at 6422 Selma Drive is recommended eligible under CRHR Criterion 3 because it represents the rare building type of a pre-1920 one-story garage.

The Baker Garage at 6422 Selma Avenue is not recommended eligible under CRHR Criterion 4. It does not have the potential to provide information about history or prehistory that is not available through historic research.

5.2.1.1 Los Angeles HCM Evaluation

The Baker Garage at 6422 Selma Avenue is recommended eligible under City of Los Angeles HCM criteria 1 and 3 following the reasons outlined in the preceding sections regarding individual eligibility under the corresponding CRHR criteria 1 and 3. As it is not associated with the lives of any historic personages, the Baker Garage at 6422 Selma Avenue is recommended not eligible under City of Los Angeles HCM Criterion 2.

5.2.1.2 Historic District and HPOZ Evaluation

ASM carefully considered whether the Baker Garage at 6422 Selma Avenue is eligible as a contributor to a historic district. The nearby Hollywood Boulevard Commercial and Entertainment District was listed in the NRHP in 1984. However, the district boundaries only include parcels along Hollywood Boulevard. There are other historic districts within Hollywood, but most are residential, and none are located near the Project site. The 2020 survey did not identify a historic district of which this property would be part, nor was an intact historic district identified during the site visit to the property and windshield survey of the neighborhood. As such, ASM recommends that the Baker Garage at 6422 Selma Avenue is not eligible as a contributing resource to any historic district

The Baker Garage at 6422 Selma Avenue is recommended not eligible as a contributor to any potential historic district. The building is located outside previously identified boundaries for nearby historic districts, nor was an intact historic district identified during our site visit to the property and windshield survey of the neighborhood.

5.2.1.3 California Environmental Quality Act Evaluation

The Baker Garage at 6422 Selma Avenue qualifies as a historical resource pursuant to CEQA Section 5024.1 and needs to be considered a historical resource for future project planning.

5.2.1.4 Integrity

Because the property is eligible under CRHR and HCM criteria 1 and 3, a full assessment of integrity is included below.

1. **Location** The garage has not been moved and retains integrity of location.
2. **Design** Although the fenestration pattern on the primary façade has been altered, the overall three-part arrangement and interior open space has remained intact. Therefore, the garage retains good integrity of design.
3. **Setting** The broader setting of Hollywood has changed substantially since 1912. However, many of the immediate buildings have been in place for more than 50 years and the relationship of the building to Selma Avenue and the sidewalk remains the same. As such, the building retains fair integrity of setting
4. **Materials** The original front windows and doors have been replaced, but the bulk of materials included the brickwork and trusses have been retained. Therefore, the garage retains fair integrity of materials.
5. **Workmanship** The primary evidence of workmanship in the garage is apparent in the brickwork and original wood trusses. As these features have not been altered, the building retains good integrity of workmanship.
6. **Feeling** Alterations have been made to the front façade and interior. However, the extent of alterations did not substantially impact character-defining features of the garage such as the brick walls and repetition of trusses. As such, the garage retains its integrity of feeling.

7. **Association** Despite its alterations, the garage continues to reflect its original use and therefore its association with the automobile and early Hollywood. Therefore, it has good integrity of association.

Overall, the Baker Garage at 6422 Selma Avenue retains fair to good integrity of all seven elements and continues to convey its association with the context of Commercial Development and the Automobile.

5.2.2 1550 North Wilcox Avenue

5.2.2.1 California Register of Historical Resources Evaluation

ASM carefully considered whether the Gilbert Garage at 1550 North Wilcox Avenue is eligible under any CRHR criteria. As an ancillary building to the Gilbert Hotel, ASM determined that it would best be evaluated under a context appropriate to the hotel, *Commercial Development, 1850-1980* and theme *Hotels, 1880-1980*. As the hotel was built in a Spanish Colonial Revival style it was also evaluated under the context of *Architecture and Engineering, 1850-1980* with the theme *Mediterranean and Indigenous Revival Architecture, 1887-1952*, and sub-theme *Spanish Colonial Revival 1915-1942*. The hotel's rooftop and blade signs were identified as eligible under the separate theme of *Commercial Signs, 1906-1980*.

The theme of *Hotels, 1880-1980* was further divided under the broader contexts developed by SurveyLA. The Gilbert Hotel would be considered a *Neighborhood Hotel (1895-1930)*, where Hollywood was acknowledged as "the most important neighborhood for hotel construction" (City of Los Angeles 2017: 16). It is an example of the apartment hotel, a hybrid "that combined the features of hotel living, from elegant common spaces to housekeeping, with some kind of dining and food preparation facility" (City of Los Angeles 2017: 18). In order to be eligible under this theme, the building should retain most of the essential character-defining features from the period of significance. For the neighborhood hotel these include storefronts, a well-appointed lobby, and a restaurant. Within Hollywood there are multiple neighborhood hotels, such as the St. Francis Hotel (1927) and the Palomar Hotel (1925), that are better representations of the context of *Commercial Development, 1850-1980* and the theme *Hotels, 1880-1980*. Therefore, the Gilbert Hotel, including the Gilbert Garage, is recommended not eligible under CRHR Criterion 1.

The Gilbert Hotel was associated with several people throughout its history. Original owner Lewis G. Burmann was an aspiring real estate investor but never really established himself in Los Angeles. Former mayor J. Loyal Gilbert may have been well-known in West Virginia but had not lived in southern California very long when he died in 1929. As a popular hotel with actors in need of temporary housing, the Gilbert Hotel was associated with several actors of varying degrees of fame. However, as a temporary residence no one occupied the hotel long enough to justify an association with a historically significant individual. Henry Miller is a historically significant writer who lived in Los Angeles while writing his book *The Air-Conditioned Nightmare*. However, there is limited evidence that he actually lived at the Gilbert Hotel during this time and additionally, it is not considered one of his important works. As such the Gilbert Hotel, including the garage, is recommended not eligible under CRHR Criterion 2.

ASM considered whether the Gilbert Hotel is eligible under CRHR Criterion 3 under the context of *Architecture and Engineering, 1850-1980* with the theme *Mediterranean and Indigenous Revival Architecture, 1887-1952*, and sub-theme *Spanish Colonial Revival 1915-1942*. When it was completed, the Gilbert Hotel had several character-defining features of the Spanish Colonial Revival style including red clay tile cladding on the roof, a front courtyard patio, use of decorative ironwork and arched openings. However, the building no longer has the red tile roof details, arched openings and most notably the front courtyard patio and fountain. Architects Gogerty and Weyl could be considered master architects, particularly in Hollywood. The loss of character-defining features of the hotel such as the open courtyard noted above mean that the hotel is no longer a good example of their work. Furthermore, there are multiple

better examples of their work with distinctive Churrigueresque or Art Deco details such as the Baine Building and the Yucca Vine Tower. As such, the Gilbert Hotel, including the Gilbert Garage, is recommended not eligible under CRHR Criterion 3.

The Gilbert Hotel, including its garage, is recommended not eligible under CRHR Criterion 4. The buildings do not have the potential to provide information about history or prehistory that is not available through historic research.

5.2.2.2 Los Angeles HCM Evaluation

The Gilbert Hotel, including its garage, at 1550 North Wilcox Avenue is recommended not eligible under City of Los Angeles HCM criteria 1, 2 and 3 for reasons outlined above under the corresponding CRHR criteria 1 through 3.

5.2.2.3 Historic District and HPOZ Evaluation

The Gilbert Hotel, including its garage, at 1550 North Wilcox Avenue is recommended not eligible as a contributor to any potential historic district. The buildings are located outside previously identified boundaries for nearby historic districts, nor was an intact historic district identified during our site visit to the property and windshield survey of the neighborhood.

5.2.2.4 California Environmental Quality Act Evaluation

The Gilbert Hotel, including its garage, at 1550 North Wilcox Avenue does not qualify as a historical resource pursuant to CEQA Section 5024.1 and therefore does not need to be considered a historical resource for future project planning.

5.2.2.5 Integrity

As stated above, the Gilbert Hotel, including its garage, is not eligible under any CRHR and HCM criteria due to alterations and loss of character defining features. However, ASM is including a full analysis of the seven aspects of integrity below to clarify why this property is no longer able to convey the historical themes with which it is associated. Note that the hotel's rooftop and blade signs were identified as eligible under the separate theme of *Commercial Signs, 1906-1980*.

1. **Location** The hotel and garage have not been moved and both retain integrity of location.
2. **Design** A primary element of the hotel was the entrance courtyard, which remained open until the most recent renovation in 2014. The storefront configuration, and details such as the red clay tile roof were important elements of the design which were lost through renovations. The garage is unaltered, and the rooftop sign has not been changed since 1930 although the letters of the blade sign were changed sometime after 1979 altering the overall design of the sign. Overall, the Gilbert Hotel has poor integrity of design.
3. **Setting** The broader setting of Hollywood has changed substantially since 1925. However, the relationship of the hotel to the street, including the driveways leading to the garage, have remained. The front courtyard was gated in 2014 which has had some impact of setting, but overall, the hotel retains fair integrity of setting.
4. **Materials** All of the original windows were replaced as part of the 2014 remodel if they had not been replaced previously. Character-defining features such as the tile patio, red clay tile roof, and warm color palettes are no longer extant. The garage retains its original brickwork, concrete floor, and trusses. The signs also appear to retain their original materials. Overall, the hotel has poor integrity of materials.

5. Evaluation of Eligibility

5. **Workmanship** All evidence of workmanship dating to 1925 has been lost in hotel renovations. Although the garage has truss and roofing details that demonstrate its original workmanship, overall, the hotel has poor integrity of workmanship
6. **Feeling** The Gilbert Hotel building has lost most character-defining features of the Spanish Colonial Revival style. No alterations were made to character-defining features of the garage such as the brick walls and repetition of trusses or to the lettering on the rooftop sign. However, as a whole the property no longer expresses the historic sense of time when it served as a hotel because it does not retain the physical features that convey its character. Overall, the hotel has poor integrity of feeling.
7. **Association** As it was converted to residences, the open plan of the hotel with its associated businesses and restaurants, the Gilbert Hotel has lost its association with the context of a Commercial Hotel. Similarly, as an ancillary building, the parking garage is no longer associated with this context. Despite the fact that the building no longer functions as a hotel, the signs continue to reflect their association with the Gilbert Hotel. Overall, the hotel has poor integrity of association.

The Gilbert Hotel retains integrity of location and setting but has poor integrity of design, materials, workmanship, feeling, and association largely as a result of its remodeling into a dormitory in 2014. As such, the Gilbert Hotel, and therefore its ancillary garage, do not retain sufficient integrity under any criteria, specifically for its potential association with the themes of *Hotels, 1880-1980* and *Spanish Colonial Revival 1915-1942*.

6. IMPACTS ASSESSMENT

As the Gilbert Hotel and its ancillary garage, are not considered a historical resource for the purposes of CEQA, an assessment of impacts is not required.

However, as a result of ASM's evaluation, the Baker Garage at 6422 Selma Avenue is recommended eligible for the CRHR and local register and therefore is a historical resource for the purposes of CEQA. CEQA Section 21084.1 states that significant impacts may occur if "a project may cause a substantial adverse change in the significance to a historic resource." CEQA Guidelines Section 15064.5(b)(1) defines a substantial adverse change as "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired."

According to Section 15064.5(b)(2)(A), "the significance of a historic resource is materially impaired when a project demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the CRHR as determined by a lead agency for purposes of CEQA." Projects that are found to be in conformance with the *Secretary of the Interior's (SOI) Standards for the Treatment of Historic Properties (Standards)* will not result in a substantial adverse change in the significance of a historical resource.

ASM reviewed the proposed plans for the alteration of the garage and new construction to assess whether the design of the Project is in accordance with the *Standards*.

Secretary of Interior's Standards

The *Standards* were codified in 1995 (36 CFR Part 68) to establish professional standards that apply to all proposed development grant-in-aid projects assisted through the National Historic Preservation Fund and serve as general guidance for work on any other historic building (Weeks et al. 2001). Of the four preservation approaches in the *Standards*, *Rehabilitation* is appropriate approach for the subject Project. Approach. The 10 Standards for *Rehabilitation* are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The garage at 6422 Selma Avenue will be incorporated into the first floor of the new residential project and become the entrance for pedestrian and vehicular traffic. The first third of the north (primary) and west façades of the garage will be retained and braced during construction to prevent damage to the brick walls and features. Additionally, most of the east façade will be retained. The south (rear) and portions of the west facades will be demolished resulting in 33% of the original brick walls removed, with 63% remaining in place and 4% removed and rebuilt in the original location. One-third of the wood trusses (four) will be retained in place. An additional four trusses will be removed during construction and reinstalled in their original locations. Two of the original trusses will be preserved and reinstalled in different locations and one truss will be removed. The current roof is not original, but 35% of this material will remain in place. The rest of the roof will either be removed (26%) or reconstructed (39%) and sheathed in sheet metal to differentiate it from the current roof. For the north, east, and partial west wall that will be retained, damaged brick will be repaired or, if beyond repair, replaced in-kind. On portions of the new north wall surrounding the entrance to the new lobby, a layer of brick veneer will be applied using brick salvaged from the portions of the original walls to be demolished. A brick-veneer header will be installed above the lobby opening and the brick-veneer wall will extend west of the lobby to the control room. The first third of the garage's interior space will be returned to its original use for automobile parking.

The openings of the north façade will be altered to more closely reflect their original uses. The east bay was probably a window originally although photographic evidence is not available. It was turned into a door in the 1940s and further altered with the marble and glass brick at a later date. The marble and glass block will be removed, and a more appropriate glazed door and window installed. The central bay, which is currently also filled in with glass block and marble, will be returned to the vehicular entrance depicted in the only known historic photograph of the building. The west bay, which was originally a window, was converted to roll-up door. This bay will become a pedestrian entrance and restore a sense of the symmetry of the original primary façade. Additionally, the Project includes the removal of the paint on the brick surround and primary façade.

In consideration of whether the proposed alterations follow the *Standards*, the alterations to the garage will return the building to its original use per *Standard 1* but will result in more than “minimal changes to its distinctive materials, features, spaces, and spatial relationships.” Per *Standard 2*, some of the “historic character of the property will be retained and preserved;” whereas the removal of the south and west walls and the roof constitutes removal of distinctive materials and alterations of spatial arrangements that characterize the garage. Similarly, only some of the “distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved” per *Standard 5*. Per *Standard 6*, deteriorated brick will be repaired rather than replaced and the gentlest means possible will be used to clean and treat the brick per *Standard 7*.

Standard 9 states that new construction should be designed in a way that is compatible with the historic building in terms of design, materials, features, size, scale and proportion, and massing, as well as relationship of solids to voids, color, and texture. The design may be contemporary or reference historic style/design motifs; however, the new construction should be designed in a manner that it is clearly

differentiated from the historic building (Weeks et al. 2001). Furthermore, new additions and adjacent or related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired (*Standard 10*). As new “related construction” the 14-story building is differentiated from the garage while attempting to be compatible with the materials of the historic property. Additionally, the new construction is set back on the parcel to the point where the scale and massing of the garage will not be impacted from the street-level/pedestrian view. Because the new construction will be integrated with the original building, it would not be unimpaired if removed in the future and does not comply fully with this standard.

Although the new construction and parts of the proposed renovation for the garage conform with many of the *Standards*, the loss of some of the materials, features, character, and spatial relationships of the historic building means the project does not fully comply with *Standards*. Therefore, the proposed Found Residences Project will result in an adverse change in the significance of a historical resource and significant impacts pursuant to CEQA Section 21084.1.

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7. RECOMMENDED MITIGATION

As proposed, the Project does not fully comply with the *Standards*. According to Section 15126.4 of CEQA Guidelines, feasible measures should be considered that minimize the significant impacts to the building at 6422 Selma Avenue. Project redesign is always the preferred option to minimize adverse impacts. Through consultation with the client and architect, several versions of the Project were created to retain more of the original building's materials and features. However, as analyzed in Section 6, the proposed design will still result in a significant impact. The following mitigation measures should be undertaken to minimize impacts:

Mitigation Measure 1:

Prior to any demolition or construction activity, the garage at 6422 Selma Avenue will be documented to Historic American Buildings Survey (HABS) Level 2 standards, according to the outline format described in the *Historic American Building Survey Guidelines for Preparing Written Historical Descriptive Data*. Photographic documentation should follow the Photographic Specification—Historic American Building Survey, including 10-15 archival quality, large-format photographs of the exterior and interior of the building and its architectural elements. Construction techniques and architectural details should be documented, especially noting the measurements, hardware, and other features that tie architectural elements to a specific date. If original architectural plans are located, they should be archivally reproduced, following HABS standards. Three copies of the HABS documentation package, with one copy including original photo negatives, will be produced, with at least one copy placed in an archive or history collection accessible to the general public.

Mitigation Measure 2:

Additional review of the project by OHR will only be required if, during construction, more than 10% of the materials currently proposed for retention cannot be retained as planned. For example, if after removal and storage of the wooden trusses it is discovered that 5% more of the wood must be replaced prior to reinstallation, no additional review will be required and the wood elements of the truss that require replacement will be made in-kind. However, if 15% more of the brick walls must be removed than is currently planned (33%), subsequent review of the construction plans would be required by OHR.

Mitigation Measure 3:

Develop at least two interpretative signs or murals that would communicate the significance of the garage at 6422 Selma Avenue to the Hollywood community. This could consist of a permanent interpretive exhibit that would incorporate information from historic photographs, HABS documentation, or other materials to highlight the building's association with the automobile and the significance of the automobile to Hollywood. The interpretive signs should be developed by a team that includes a SOI-qualified historian. At least one of the signs should be located near the Selma entrance to the garage to be accessible by the general public. The second mural could be located on the interior of the garage.

Mitigation Measure 4:

Prior to the start of construction, surveys shall be performed to document the conditions of the masonry of the remaining walls at 6422 Selma Avenue as well as the Gilbert Hotel building. A structural monitoring program shall be implemented and recorded during construction to ensure that ground borne vibration levels do not exceed 0.12 inches per second, PPV. The structural monitoring plan shall include documentation, consisting of video and/or photographic documentation of accessible and visible areas on the exterior of the buildings. A historic architect (meeting the SOI's Professional Qualification Standards) or structural engineer with experience

7. Recommended Mitigation

with historic masonry buildings shall establish baseline structural conditions of the building and prepare the shoring design. Additionally, a qualified acoustical engineer shall be retained to review the proposed construction equipment and develop and implement a vibration monitoring program capable of documenting the construction-related ground vibration levels at the Project site during demolition and excavation phases where heavy construction equipment (e.g., large bulldozer and drill rig) would be operating within 15 feet of the affected buildings.

The vibration monitoring system shall measure and continuously store the peak particle velocity (PPV) in inch/second. Vibration data shall be stored on a one-second interval. The system shall also be programmed for two preset velocity levels: a warning level of 0.07 inch/second (PPV) and a regulatory level of 0.12 inch/second (PPV). The system shall also provide real-time alert when the vibration levels exceed either of the two preset levels.

- In the event the warning level of 0.07 inch/second (PPV) is triggered, the contractor shall identify the source of vibration generation and provide steps to reduce the vibration level, including but not limited to halting/staggering concurrent activities and utilizing lower vibratory techniques.
- In the event the regulatory level of 0.12 inch/second (PPV) is triggered, the contractor shall halt the construction activities and visually inspect the Baker Garage for any damage. Results of the inspection must be logged. The contractor shall identify the source of vibration generation and provide steps to reduce the vibration level. Vibration measurement shall be made with the new construction method to verify that the vibration level is below the warning level of 0.07 inch/second (PPV). Construction activities may then restart.
- In the event damage occurs to historic finish materials due to construction vibration, such materials shall be repaired in consultation with a qualified preservation consultant.

The structure-monitoring program shall be submitted to the Department of Building and Safety and received into the case file for the associated discretionary action permitting the Project prior to initiating any construction activities.

If all of the above mitigation measures are undertaken, ASM recommends that the adverse impacts to the historical resource will be reduced to less than significant, pursuant to PRC Code § 21081.6.

8. CONCLUSION

After documentation and evaluation of the history of the commercial properties located at 6422 Selma Avenue (Baker Garage) and 1550 North Wilcox Avenue (Gilbert Garage), and careful consideration of their ability to reflect the historic contexts and individuals with which they are associated, the Gilbert Hotel and associated Gilbert Garage is recommended not eligible for the CRHR or as a Los Angeles HCM under any criteria. However, the Baker Garage at 6422 Selma Avenue is recommended eligible for the CRHR and as a Los Angeles HCM under criteria 1 and 3 as an individual resource. As such, the building is a *historical resource for the purposes of CEQA compliance*. All four of the mitigation measures recommended above, in consultation with the Lead Agency, should be undertaken to lessen the adverse impact pursuant to PRC Code § 21081.6.

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APPENDICES

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APPENDIX A
DPR 523 Forms

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 6

*Resource Name or #: Baker Garage

P1. Other Identifier: 6422 Selma Avenue

*P2. Location: Not for Publication Unrestricted

*a. County: Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Hollywood Date 1981 S.B. _____ B.M. _____

c. Address 6422 Selma Avenue City Los Angeles Zip 90028

d. UTM: (give more than one for large and/or linear resources) Zone _____ mE/ _____ mN;

e. Other Locational Data: (e.g. parcel#, directions to resource, elevation, etc.) APN 5546-013-003

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The building at 6422 Selma Avenue is located between Cahuenga Boulevard and Wilcox Avenue in the Hollywood neighborhood of Los Angeles. It is a one-story building with a simple rectangular plan. Built as a garage in 1912, it is constructed of brick in a common bond of six stretchers per header row. The building has corner pilasters and a front-facing gable roof. The primary (north) façade is punctuated by three bays which have been altered over the years. The central bay has a projecting surround, which is currently painted yellow. Originally, this central opening was large enough to accommodate the cars of the 1910s and it was flanked by two windows. Over the years as the building continued to be used for automobiles, the windows were removed and replaced by additional garage entrances. During the time it was used for automobile supplies, the central door was filled in with a traditional door with glass blocks and marble. The east opening was also filled in with a solid door with glass blocks and green marble. The west opening is a metal roll-up door.

(continued on pg. 3)

*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession#)

View of north façade looking south.

Photo taken on January 25, 2019.

*P6. Date Constructed/Age and Source:

Historic Prehistoric Both

1912 (Architectural News)

*P7. Owner and Address:

6422 Selma Avenue, LLC

11828 La Grange Avenue

Los Angeles, CA 90025

*P8. Recorded by: (Name, affiliation, and address)

Laura Taylor Kung

ASM Affiliates, Inc.

20 North Raymond Avenue, Suite 220

Pasadena, CA 91103

*P9. Date Recorded: January 25, 2019

*P10. Survey Type: (Describe) Building Evaluation

Historic Resources Assessment Report for Found Residences, Los Angeles County, Los Angeles, California (2021), ASM Affiliates, Inc.

*P11. Report Citation: (cite survey report and sources or enter "none.")

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 6

*NRHP Status Code 5S3

*Resource Name or # (Assigned by recorder) Baker Garage

B1. Historic Name: _____

B2. Common Name: 6422 Selma Avenue

B3. Original Use: Garage

B4. Present Use: Office

*B5. Architectural Style: Commercial Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1912; front windows replaced in 1946; interior remodeled in 1986

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: _____

B9a. Architect: _____ b. Builder: _____

*B10. Significance: Theme Commercial Development and the Automobile, 1910-1970 Area: Hollywood

Period of Significance: 1912-1970

Property Type: Office

Applicable Criteria: 1, 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The history of 6422 Selma Avenue is closely tied to both the history of early Hollywood and the development of the automobile in Los Angeles. It is located on lot 4 of tract 1754, which was originally a part of parcel 3 when the city was first divided. It is located between Wilcox Avenue and Cahuenga Boulevard in an area near the heart of the city that was newly incorporated in 1903. The 1907 Sanborn map shows the parcel as undeveloped, but by 1913 the building is extant and labeled as a garage.

The original owner of the property, Edward Louis Baker, was considered one of the pioneers of early Hollywood. In a book published by the Hollywood Branch of the Security Trust and Savings Bank in 1922, E. L. Baker is noted as one of the first people to purchase acreage on Wilcox Avenue for lemon orchards in the 1890s (Hill 1922; 17). E. L. Baker was born in Illinois in 1851 (U.S. Census Bureau 1900). He lived in Colorado before arriving in Los Angeles sometime before 1890 when he married Caroline Field (California Department of Public Health 2017).

(continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes) None

*B12. References: See report

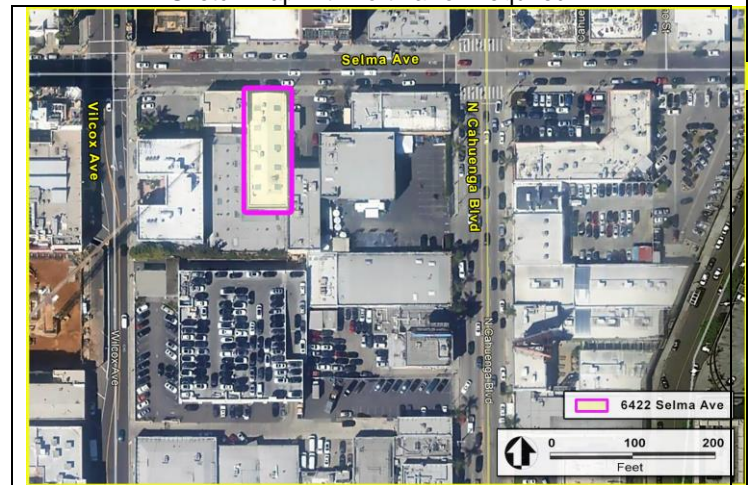
B13. Remarks: None

*B14. Evaluator: Laura Taylor Kung and Shannon Davis
ASM Affiliates, Inc.

*Date of Evaluation: January 25, 2019

(This space is reserved for official comments)

Sketch Map with north arrow required.



Primary # _____

HRI # _____

Trinomial _____

Page 3 of 6

*Resource Name or # (Assigned by recorder)

Baker Garage

Recorded by: Laura Taylor Kung

Date: January 25, 2019

Continuation Update

P3a. Description (continued from page 1)

The west façade is completely obscured by the adjacent building. The east façade is partially obscured by a building that nearly abuts the wall at the rear of the property. There is one window opening visible from the street on this façade. It has an arched header and is currently filled in with glass block. The rear of the property is not accessible.

The interior was substantially altered in 1986 when the building was converted to office use. Walls and partitions were added, but the sense of the original space is still retained. The original rafter supports are visible and have a wide "W" pattern. In the northeast corner room, the window has the same green marble used on the exterior below it. The northwest room serves as a utility area. There are editing bays along the west side of the building and no fenestration in that area. The rear of the building has multiple window openings that are probably not original. There are three one-over-one double-hung sash windows on the south façade. An arched opening in the brick was possibly a door at one time but is now filled in and illuminated by a small skylight. One-over-one double-hung sash windows also *punctuate the east façade* at the rear of the building, but they are against the wall of the adjacent building.

***B10. Significance** (continued from page 2)

In 1892 he listed his occupation as farmer and lived in the Cahuenga area (California State Library 2011). In the late 1890s, Baker began to look for buyers for his orchard land as he probably recognized the area was rapidly developing (*Los Angeles Times* 1896). He owned several cottages in the Hollywood area that he rented out, but he and his wife lived at 1627 Wilcox Avenue, less than a half block north of Selma Avenue (U.S. Census Bureau 1910). As Baker transitioned from farmer to landlord, he also became interested in automobiles. In 1909 an advertisement for Sillman Machine Works lists E. L. Baker as a "master mechanic" (*Los Angeles Times* 1909). At this point the automobile was brand new; the Ford Model T was introduced in 1908, and fewer than 6,000 were made. As an early car enthusiast, Baker must have realized the need for a storage space for the machines that needed protection from the weather and were so expensive that only the wealthy could afford them. (City of Los Angeles 2016).

Although the Los Angeles County Assessor lists the date of construction of the garage as 1909, there is no evidence to support this. The real estate section of the *Los Angeles Times* on May 26, 1912 notes that E. L. Baker purchased the vacant lot on Selma for \$1,000 (*Los Angeles Times* 1912b). Additionally, a 1912 issue of *American Art and Architecture Building News* mentions plans for the new "fireproof" garage that will be constructed on Selma Avenue (*American Art and Architecture Building News* 1912). When it was completed, Baker quickly began to advertise the space as "The Baker Garage," which could be rented for \$65 a month, not a small amount in 1912. It is not clear if Baker had many rentals during these first three years. The advertisement reappears in 1913, and in 1916 again as the "Baker Garage" (*Los Angeles Times* 1916).

By 1925, the space was leased by the Yellow Cab Company (*Los Angeles Times* 1925). The City Directory for the same year lists Tanner Automobile Service as the occupant, with C. C. Tanner as president (City Directory 1925). Cab companies developed rapidly in the 1920s, with much competition and mergers between the various firms. C. C. Tanner was central to much of this development. Tanner founded the Brown and White Cab Company in February 1921 and in just over one year, their fleet had expanded to 50 cars (*Los Angeles Times* 1922). In 1924 the Brown and White Company consolidated with the Yellow Cab Company, and C. C. Tanner became the president of the new company. At that time the Yellow Cab Company had been in business for four years and had a fleet of 85 cars (*Los Angeles Times* 1924). The merger meant there were only two cab companies serving Los Angeles, the Brown and White-Yellow and the Black and White, which had a fleet of 85 cars. In addition to running the cab company, C. C. Tanner also founded the Tanner Livery Company in 1906 (*Los Angeles Times* 1956). By 1956, the company was still operating as a tour company, Tanner Gray Line Tours. The Yellow Cab company did not stay in the Baker Garage for very long, as a new garage was built on Beaudry Avenue between Third and Fourth Streets (*Los Angeles Times* 1926a). Baker advertised the space as available on April 1st of that year (*Los Angeles Times* 1926b). In 1929, someone selling their Packard lists the address of the car as the Baker Garage, so it appears to have been rented out by individuals during these years (*Los Angeles Times* 1929).

(continued on page 4)

Page 4 of 6

*Resource Name or # (Assigned by recorder)

Baker Garage

Recorded by: Laura Taylor Kung

Date: January 25, 2019

Continuation Update

***B10. Significance** (continued from page 3)

The 1930s brought a new occupant with a new direction for the garage. Joe Willharber was born in Minnesota in 1902 (U.S. Census Bureau 1940). In the 1930s Willharber found a unique way to merge the Hollywood film industry and the automobile by renting out foreign and exotic cars to be used in films or just for fun by the wealthy. The business was just beginning when it moved into the Baker Garage in 1930. A picture from 1931 depicts the Baker Garage during the time it was occupied by Willharber's company, Foreign Auto Rentals. By 1938 Willharber had moved locations and had a fleet of 28 specialty cars that he rented out for \$50 a day (*Los Angeles Times* 1938). An article about Willharber mentions his purchase of a Hispano-Suiza which was rented out for \$100 a day for the Greta Garbo film "The Green Hat."

Also in 1931, E. L. Baker died (State of California 2018). His wife Caroline took over the ownership of the Baker Garage, and it continued to be occupied by Foreign Auto Rentals in 1932 (Los Angeles Directory Company 1932). Caroline Field was born in England in 1866 but emigrated to the United States with her family in 1868 (U.S. Census Bureau 1900). She married E. L. Baker in 1890, but they had no children. She frequently entertained at her house on Wilcox Avenue and was well known in Hollywood social circles (*Los Angeles Times* 1910). When she died in 1933 her sister Selena inherited the Baker home as well as the garage at 6422 Selma Avenue (*Los Angeles Times* 1933).

Selena Field Cluss was born in England in 1863 and emigrated with her sister Caroline and the rest of their family. In 1886 she married Edward L. Cluss who was born in Michigan in 1864. They lived in Wisconsin when their son Walter was born in 1889, and in Kansas when their daughter Ethel was born in 1893 (U.S. Census Bureau 1920). Walter Cluss worked as a mechanic in Fredonia, Kansas, but was lured to Los Angeles by his uncle, E. L. Baker, who told him he could make more money there (*The Fredonia Daily Herald* 1911). He was the first of his family to relocate, but his parents and sister soon followed (*Los Angeles Times* 1912). By 1920 the family was living at 1417 Alexandria Avenue (U.S. Census Bureau 1920). Her husband, Edward, died in 1942, and Selena moved to Pasadena sometime before 1947 (Los Angeles Directory Company 1947). She died in 1960 (Find-a-grave 2018).

Selena Cluss continued to rent out the garage during the time she owned it. In 1936 it was rented by Glenn Wellington and listed under the heading "Auto Jobbers" in the City Directory (Los Angeles City Directory Company 1936). Glenn Wellington was born in Nebraska in 1898. By 1930 he was living in Los Angeles with his wife Marion Joy who was also born in Nebraska in 1899. At that time, he listed his occupation as proprietor of a machine shop and the couple rented a house on Gordon Street (U.S. Census Bureau 1930). By 1940, they owned a home on Beachwood Drive and had an eight-year-old son Rex (U.S. Census Bureau 1940). Glenn Wellington expanded his business from auto repair to auto parts and continued to use the Baker Garage as his place of business. He purchased the property from Selena Cluss in 1945, and in 1946 began to alter the structure to meet his needs. The building permits from this time note his intention to be a drive-in auto supply company, which prompted the need for a roll-up door instead of a window. He also converted the central and east bays to function as storefronts. The garage functioned as a car parts shop throughout the 1940s and 1950s. In 1961 the Wellingtons filed a fictitious name notice in the *Valley News* indicating the name of their business was Wellington Auto Parts at the Selma Avenue address (*Valley News* 1961). Glenn Wellington died in 1980 but sold the business to Sabin P. Sturtevant and Sarah S. Lee in 1972.

Sabin P. and Sarah were the children of Sabin B. Sturtevant, a well-respected San Fernando Valley businessman who founded a successful auto parts business. Sabin B. Sturtevant was born in Wisconsin in 1892 and married Elizabeth Phillips (born in Colorado in 1891) in 1920 (U.S. Census Bureau 1920). Their son Sabin Phillips Sturtevant was born in 1925, and his sister Sarah Jane Sturtevant was born in 1927. The couple arrived in Van Nuys in 1927, and Sabin soon established his auto parts dealership (*Los Angeles Times* 1965). By 1932 he had three stores operating as Sturtevant's Auto Parts in Van Nuys, Canoga Park and San Fernando (*Valley News* 1932). In 1949 he was elected to the board of directors of the Motor Equipment Wholesalers Association and an additional store had opened in Glendale (*Van Nuys News* 1949b). A spacious new office, headquarters, and store was opened on Oxnard Boulevard in Van Nuys in 1956 (*Valley News* 1956). By this time the senior Sturtevant had included his son Sabin and daughter's husband, Granville Lee, in the operation of the business. During the 1950s, Sarah Sturtevant Lee and her mother Elizabeth were very active in social and civic events (*Van Nuys News* 1949a). Their names frequently appear in the *Van Nuys News* as hosts of fundraising events and other activities. When the senior Sturtevant died in 1965, his children inherited the company. It appears that there were plans to expand, as they were purchasing many smaller auto parts stores throughout the Valley and in Los Angeles, which may explain their purchase of Wellington Auto Parts in 1972.

(continued on page 5)

Primary # _____

HRI # _____

Trinomial _____

Page 5 of 6

*Resource Name or # (Assigned by recorder) Baker Garage

Recorded by: Laura Taylor Kung

Date: January 25, 2019

Continuation Update

***B10. Significance** (continued from page 4)

During the time it was owned by the Sturtevant, the Baker Garage operated under the name Hollywood Auto Parts. In 1975 an illuminated projecting sign was installed above the building. Several ads for Hollywood Auto Parts appear in the *Los Angeles Times* in the early 1980s.

In 1986 the building at 6422 Selma Avenue ceased to be associated with automobiles when it was purchased by Carroll Parish and Sybil Kearns and converted into office space. A building permit indicates that the interior was altered, and a certificate of occupancy verifies the change in use. The city directory lists the address as occupied by Kerns and Associates in 1987 (Pacific Bell 1987). In 1989 the new owners, Ronald and Lucinda Michelson, continued to utilize the building as office space for their business, Concept Arts Studios. It was during this time that the sign was added, and the central bay was painted yellow. The building was occupied by Concept Arts until it was sold in 2018.

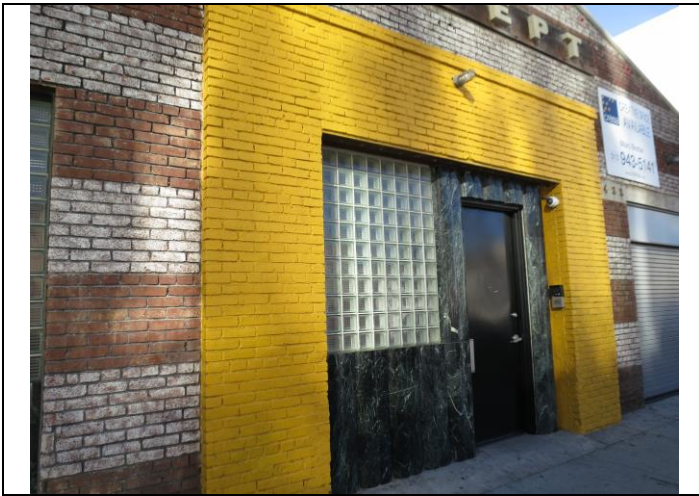


Image 1. Detail of central bay looking southwest.



Image 2. East façade looking west.



Image 3. Detail of east bay on north façade looking southwest.



Image 4. Detail of window on east façade looking west.

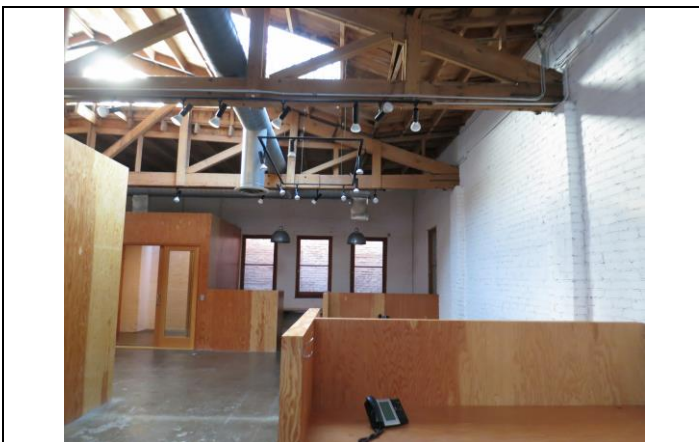


Image 5. View of interior looking south.



Image 6. Interior view showing ceiling truss.

Page 1 of 4

*Resource Name or # (Assigned by recorder)

Gilbert Hotel Garage

Recorded by: Laura Taylor Kung

Date: June 2021

Continuation Update

The following information is an update of a prior evaluation of the Gilbert Hotel. This update provides additional information about the garage built concurrently with the hotel in 1925.

P1. Other Identifier: 1550 North Wilcox Avenue

P2. Location: Unrestricted

c. Address: 1550 North Wilcox Avenue, Los Angeles, California 90028

***P8. Recorded by:** Shannon Davis and Laura Taylor Kung, ASM Affiliates, Inc., 20 N. Raymond Ave., Pasadena, CA 91103

***P9. Date Recorded:** September 11, 2020

P10. Survey Type: Intensive Reconnaissance Other

***P11. Report Citation:** ASM Affiliates, Inc. 2021.

Historic Resources Assessment Report for Found Residences, Los Angeles County, Los Angeles, California

***B10. Significance:**

Although financing expert Lowry Lytle was new to Los Angeles, he knew enough about Hollywood real estate to see that the lot on the east side of Wilcox Avenue was full of potential. He realized the possibilities of a parcel which afforded "space for a capacious garage at the rear where property was cheaper" and worked out a plan (*Hollywood Citizen-News* 1926a). He took his idea to investor Lewis G. Burmann and proceeded to work out a lease between the owner and the lessor, John Loyal Gilbert. Burmann was not a big shot in real estate. Born in Massachusetts, he was first married at the age of 23 and had two young boys when his first wife died. He remarried Evelyn Sarah Gilbert in 1899 and was working as a clerk in a dry goods store in Los Angeles by 1910 (California Department of Health 2017; U.S. Census Bureau 1910). By 1920 he was a real estate salesman looking for investments (U.S. Census Bureau 1920). John Loyal Gilbert was mayor of his hometown, Parkersburg, West Virginia, prior to moving west to operate the new hotel in Hollywood (*Los Angeles Evening Citizen* 1925).

Architects Gogerty and Weyl prepared plans for the new hotel, and Harry E. Jones was awarded the contract for construction (*Hollywood Daily Citizen* 1925). Henry L. Gogerty was born in Iowa 1894 and earned his bachelor's degree in architecture and engineering from the University of Illinois. He also received a certificate of architecture from the University of Southern California. After serving in the Army field artillery during World War I, he moved to southern California in 1923. He opened his first architectural office in Long Beach and practiced under the name H.L. Gogerty Associates. His projects included schools, shopping centers, jails, aircraft terminals, military installations, and commercial office buildings. Prior to 1925, Gogerty began an association with Carl Jules Weyl. Weyl was born in Germany and was naturalized in 1920. At the time he started working with Gogerty he was not a trained architect. As soon as he received his certificate in 1928, he ended his partnership with Gogerty (PCAD 2021). But during their three-year partnership, Gogerty and Weyl completed multiple projects in Hollywood and the surrounding area. Two of their first joint projects were the Highland Park Professional Building (1925) and a residence at 902 North Camden Drive in Beverly Hills (1925). Gogerty and Weyl specialized in the Spanish Colonial Revival and Art Deco styles with examples of both in Hollywood. The Baine Studio Building (1927) at 6605 Hollywood Boulevard is an example of their Spanish Colonial Revival style (Gebhard and Winter 2018: 187). A more ornate version of the building was replicated by Disney for their Hollywood Studios theme park.

(continued on page 2)

Attachments:

- None Location Map
 Sketch Map Continuation Sheet
 Building, Structure, and Object Record Archaeological Record
 District Record Linear Feature Record
 Milling Station Record Rock Art Record
 Artifact Record Photograph Record
 Other (List):

Page 2 of 4

*Resource Name or # (Assigned by recorder)

Gilbert Hotel Garage

Recorded by: Laura Taylor Kung

Date: June 2021

Continuation Update

***B10. Significance:** (continued from page 1)

Another ornate Churrigueresque example of their work is the Hollywood Playhouse Theater (1926), now the Avalon, at 1735 Vine Street (Gebhard and Winter 2018:188). The Yucca-Vine Tower (1929) at 6305 Yucca Street is one of their last projects with elements of French curvilinear and Art Deco details. The NRHP nomination for the Hollywood Boulevard district noted that the prolific firm of Gogerty and Weyl executed designs that “created a feeling of sophisticated, yet relaxed, upscale shopping and entertainment district” (McAvoy 1985).

The plan for the Gilbert Hotel was one of their earliest projects, but the elements of Art Deco and Spanish Colonial Revival styles that characterized their subsequent projects were still evident in the design. When the hotel opened in January of 1926, two full pages of the *Hollywood Citizen News* were devoted to the hotel and the party to celebrate its opening. One article detailed the architecture which was intended to invoke a Spanish charm that would seduce the influx of tourists and new transplants from the east. The lobby was accessed via a patio with a colored tile walk, electric fountain, cacti, and geraniums through an entrance with high doors and arched fanlights. It was decorated in warm tones, with comfortable chairs Davenports arranged near the fireplace and wall tapestries. The 70 rooms were decorated in more neutral tones, with walnut beds and dressers and an easy chair in every room. The rooms were made more homey with rich silk drapery and a candlestick with a wax taper in every room (*Hollywood Citizen News* 1926b).

Six hundred invitations were issued for the grand opening dance at 8pm on Saturday January 9, 1926. In addition, the paper ran a printed formal invitation and offered a bottle of Nu Grape soda to every guest. The ubiquitous spotlights used to draw attention to all events and premieres were used to draw visitors to the new Gilbert Hotel. The dance was to be held in the Gilbert Garage a 10,000-square-foot building intended to provide a parking spot for every guest. The tagline, “A Home for You and Your Car,” appeared on several of the ads appearing in the local papers. Even the laundry service awarded the contract for the Gilbert applauded the hotel for including this rare amenity of parking. An article specifically about the garage appeared in the grand opening edition. It noted that this was the “first hotel in Hollywood to include a garage in its equipment.” The 80-car garage of brick and concrete was reached through a corridor directly from the lobby. The garage would provide a mechanic and oil and gas services provided by the Associated Oil Company and Quaker State Oil Company. The garage space could also be used as free storage from longer-term residents (*Hollywood Citizen News* 1926c).

Despite the optimism of the sparkling Hollywood opening, the people associated with the hotel did not have much luck in the years that followed. Lewis Burmann moved into the hotel after his second wife, Evelyn, died in 1926 (California Department of Health 2017; California State Library 2017). J. Loyal Gilbert died in 1929 at the age of 50, but no obituary could be located in either Los Angeles or West Virginia papers. The only reference appears in a description of a meeting of Hollywood hotel owners where condolences were given to his son, Edward, who had taken over the management of the hotel (*Hollywood Citizen News* 1929). Gilbert’s other son, John, had studied at Carnegie Tech and was working as a set designer when he collapsed and died in the street at the age of 31 (*Hollywood Citizen News* 1941). It is unknown whether the name for the Gilbert Hotel came from J. Loyal Gilbert or from the maiden name of Burmann’s second wife, but either way the hotel had no association with either of its original founders by 1937. Lewis Burmann moved to San Diego where he became a rancher and died in 1946 (State of California 2000).

A picture of the hotel was included in the paper on the day of its opening. This is prior to addition of any signage or storefront alterations that occurred in the first few years. The first signs were added to the front façade in 1927 and to the roof in 1930. Although the 1930 roof sign is likely to be the current sign, the façade sign was replaced in 1955. A postcard from the 1950s shows the front sign with the words “Drive-In Hotel” rather than the current sign in this location. This sign was designed by the Interstate Neon Corporation.

Storefront changes were also quite frequent, particularly in the restaurant area. The leased restaurant space changed names and menus nearly every year until it eventually closed sometime after 1950. The Gilbert Grill was renamed the Quality Dinette in 1928 (*Hollywood Daily Citizen* 1928). In 1932, there were two restaurants, the Jonathan Coffee Court and Gilbert Dining Room. The next year, the Kearns Coffee Shop offered a fried chicken luncheon for 35 cents (*Hollywood Citizen-News* 1933). In 1936, the Gilbert Hotel Café offered a full course Christmas dinner for 75 cents (*Hollywood Citizen-News* 1936). The OGee Restaurant opened in 1938 and boasted a soda fountain (*Hollywood Citizen-News* 1938). Next came Bender’s Coffee Shop which offered free coffee to service men in uniform during the war (*Hollywood Citizen-News* 1942). The last restaurant ads appear in 1950. In July, the restaurant was called Chef Le Vay’s and offered an all you can eat buffet for 99 cents and the Coffee Shop advertised Ukranian, Polish, and Russian meals “cheaper than you can cook at home” (*Hollywood Citizen-News* 1950a and b).

The first publicized ownership change was in 1937, when I.C. Gordean and B.T. Schreiber purchased the hotel from the Title Insurance and Trust Company for 135,000 (*Hollywood Citizen-News* 1937). It is not known if Burmann sold or foreclosed on the hotel prior to moving to San Diego. Gordean submitted building permits for appearance of store fronts and removal of café partitions. Schreiber’s name appears

(continued on page 3)

Page 3 of 4

*Resource Name or # (Assigned by recorder)

Gilbert Hotel Garage

Recorded by: Laura Taylor Kung

Date: June 2021

Continuation Update

***B10. Significance:** (continued from page 2)

on permits for the addition of partitions to the lobby and conversion of one of the stores to a space for a doctor's office. The name Nicholas Fletcher appears on permits in the 1970s and Bee Patel from 1987 until 2013 (Appendix E).

As it was a residential as well as a tourist hotel, many people occupied the rooms of the Gilbert Hotel over the years. It was a popular choice for salespeople and actors between jobs. In 1940, residents included several students and the proprietor of the coffee shop, as well as actors Will Aubrey who had a small role in *The Thin Man* (1936), and Joe Sully, who had an uncredited role in Carole Lombard's *They Knew What They Wanted* that year (California State Library 2017; Internet Movie Database 2021). In 1944, the residents included actors Robert Ryan and Johnny Arthur (California State Library 2017). At that time, Robert Ryan had just appeared in the film *Bombadier* (1943) and would go on to have more than 90 film credits in a career that lasted until his death in 1973. He is most known for the *Dirty Dozen* (1967) and the *Iceman Cometh* (1973) (Internet Movie Database 2021). Johnny Arthur was at the end of a career that began in silent films in the 1920s and ended with a small role as an apartment manager in *It Happened on Fifth Avenue* (1947). Arthur was found in a coma in his Gilbert Hotel room in 1946 and died in 1951 (*Hollywood Citizen-News* 1946).

Not appearing in the voter registration is writer Henry Miller, who stayed at the Gilbert Hotel in 1941 during his travels in America that would form the essays of his book *The Air-Conditioned Nightmare* published in 1945. He ended his trip in Hollywood and wrote most of the book while living in the Gilbert Hotel (*Los Angeles Times* 2000). As it was a road trip, he also would have made use of the Gilbert Garage. A 1979 song titled "A Sweet Little Bullet from a Pretty Blue Gun" by Tom Waits also includes lyrics about the Gilbert:

And now there's a place off the drag
Called the Gilbert Hotel
There's a couple letters
Burned out the sign

The parking garage was not significantly altered since it was first constructed. In 1934, the garage expanded their services to members of the Hollywood Athletic Club as well as local residents in need of parking. They offered weekly or monthly rates as well as a call and delivery service for the cars (*Hollywood Citizen-News* 1935). An ad for the garage appeared in a special cut-out section titled "A Directory of Reliable Hollywood Firms."

The Gilbert Hotel was substantially remodeled in 2014 when it was converted to student housing. Most of the windows were replaced, the front storefronts altered, and the front courtyard was enclosed. The color scheme was also changed from the warm tones it was historically.



Image 1. View of south façade looking northeast.



Image 2. West façade looking north.

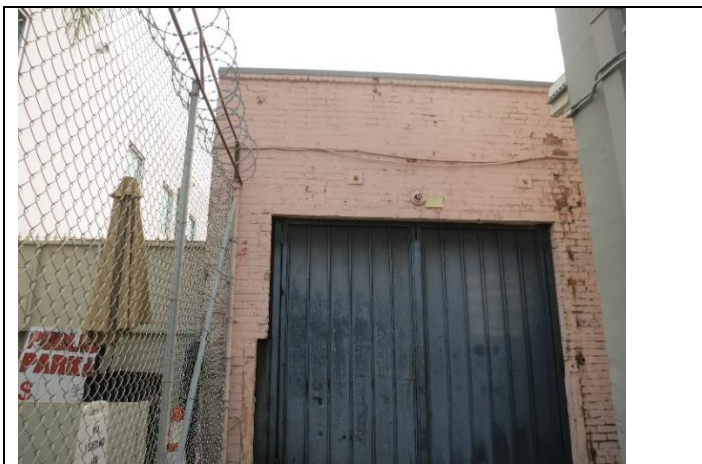


Image 3. Detail of north door on west façade looking east.



Image 4. View of interior looking northeast.



Image 5. View of interior looking northeast.



Image 6. Interior view showing ceiling truss support.

Ser. No. 665

HABS _____ HAER _____ NR 4 SHL _____ Loc _____
UTM: A _____ B _____
UTM C 11/377280/3773720 D _____

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

1. Common name: _____
2. Historic name: _____
3. Street or rural address: 1544-54 Wilcox Ave.
City Hollywood Zip 90028 County Los Angeles
4. Parcel number: _____
5. Present Owner: Fanny Fletcher Address: 1340 Carla Lane
City Beverly Hills Zip 90210 Ownership is: Public _____ Private X
6. Present Use: Hotel & commercial use Original use: Hotel

DESCRIPTION

- 7a. Architectural style: Spanish Revival
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

This is a three story brick apartment-hotel. The Spanish structure is "U" shaped and encloses a garden and fountain at the front. The first story has seen some remodeling as commercial enterprises have come and gone. The brick building, covered with stucco, has a stringcourse between the first and the upper stories. Window treatment is simple, except for pilasters between some of the third floor windows. Tiles appear on the roof around the garden courtyard, otherwise it is flat. A decorative pattern appears above the stringcourse above the third story. A balcony is within the courtyard at the third story. Heavy trees in the courtyard soften the structure. Wrought iron fire escapes grace the building.

Attach Photo(s) Here

8. Construction date: 1925
Estimated _____ Factual X
9. Architect Gogerty and Weyl
10. Builder Harry Jones
11. Approx. property size (in feet)
Frontage 187 Depth 145
or approx. acreage _____
12. Date(s) of enclosed photograph(s)
9/79

13. Condition: Excellent ___ Good Fair ___ Deteriorated ___ No longer in existence ___
14. Alterations: Minor
15. Surroundings: (Check more than one if necessary) Open land ___ Scattered buildings ___ Densely built-up
Residential ___ Industrial ___ Commercial Other: _____
16. Threats to site: None known Private development ___ Zoning ___ Vandalism ___
Public Works project ___ Other: _____
17. Is the structure: On its original site? Moved? ___ Unknown? ___
18. Related features: Fountain

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

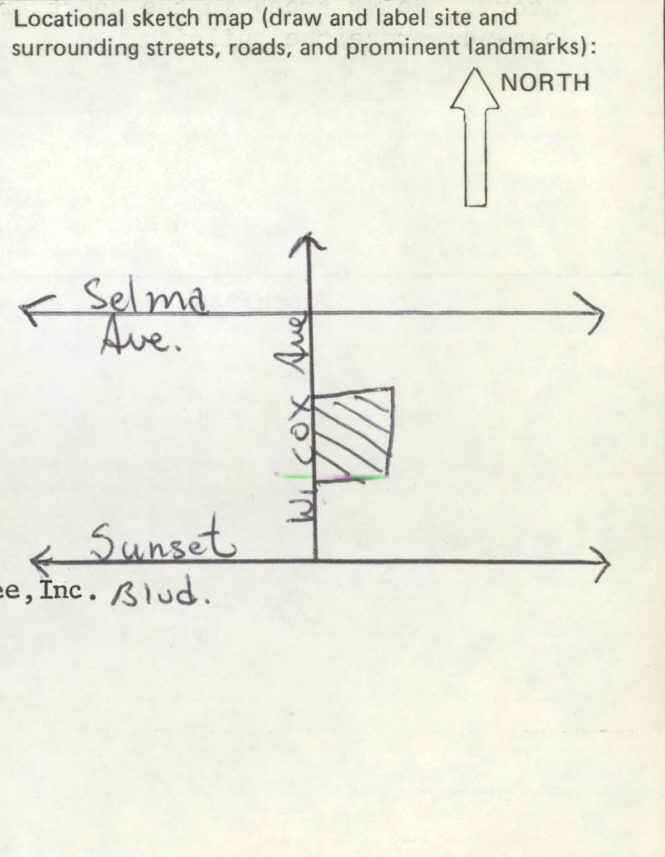
Gogerty and Weyl were prominent local architects who specialized in the Spanish style. They are well known for their designs of the Baine Building at the corner of Hollywood Boulevard and Whitley and the Hollywood Playhouse on Vine St. As one of their early designs in Hollywood, this building is a very simple design. The attractive courtyard with fountain was a stylistic feature these architects would return to.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture Arts & Leisure ___
Economic/Industrial ___ Exploration/Settlement ___
Government ___ Military ___
Religion ___ Social/Education ___

21. Sources (List books, documents, surveys, personal interviews and their dates).

Building permit, City of Los Angeles,
Department of Building and Safety.

22. Date form prepared 10/79
By (name) Denver Miller & Christy Johnson
Organization Hollywood Revitalization Committee, Inc. Blvd.
Address: 6253 Hollywood Blvd. - Suite 1019
City Hollywood Zip 90028
Phone: 213 464-3185





1550-54 Wilcox

Historic Name:
Address: 1544-54 Wilcox Ave.
City: Hollywood
County: Los Angeles
Date of Photo: 9/79
Photo View: Courtyard
Photographer: RANDOLPH POLK



POLYTRONICS 465-2064

SOUND SERVICE

CHANGERS

NEEDLES

ACCESSORIES

1554

ELECTRONIC PARTS
STEREO REPAIR
BUY SELL REPAIR
SERVICE

STE
REPAIR

BINGO CAR SALES INC.
461-3259 D.L.R. NO. 5238
1552 N. WILCOX, L.A.

HOLLYWOOD
CITIZEN NEWS

1550-54 Wilcox

Historic Name:
Address: 1544-54 Wilcox Ave
City: Hollywood
County: Los Angeles
Date of Photo: 9/79
Photo View: Front/Hall
Photographer: RANDOLPH POLK

APPENDIX B
Records Search Results

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South Central Coastal Information Center

California State University, Fullerton
Department of Anthropology MH-426
800 North State College Boulevard
Fullerton, CA 92834-6846
657.278.5395 / FAX 657.278.5542
sccic@fullerton.edu

California Historical Resources Information System
Orange, Los Angeles, and Ventura Counties

3/12/2019

Records Search File No.: 19956.5949

Marilyn Novell
ASM Affiliates, Inc.
20 N. Raymond Ave., Suite 220
Pasadena, CA 91103

Re: Record Search Results for PN 31810: 6422 Selma Avenue HRAR

The South Central Coastal Information Center received your records search request for the project area referenced above, located on the Hollywood, CA USGS 7.5' quadrangle. The following reflects the results of the records search for the project area and a ¼-mile radius:

As indicated on the data request form, the locations of non-archaeological resources and reports are provided in the following format: custom GIS maps shape files hand-drawn maps

Non-archaeological resources within project area: 0	None
Non-archaeological resources within ¼-mile radius: 30	SEE ATTACHED MAP or LIST
Resources listed in the OHP Historic Properties Directory within project area: 0	None
Resources listed in the OHP Historic Properties Directory within ¼-mile radius: 158	SEE ATTACHED LIST FOR INDIVIDUAL PROPERTY STATUS CODES – resource locations from the OHP HPD may or may not be plotted on the custom GIS map or provided as a shape file
Resources listed in the Historic Properties Directory that lack specific locational information: 9	SEE ATTACHED LIST FOR INDIVIDUAL PROPERTY STATUS CODES - These properties may or may not be in your project area or in the search radius.
Reports within project area: 2	LA-10507, LA-11797

- Resource Database Printout (list):** enclosed not requested nothing listed
- Resource Database Printout (details):** enclosed not requested nothing listed
- Resource Digital Database (spreadsheet):** enclosed not requested nothing listed
- Report Database Printout (list):** enclosed not requested nothing listed
- Report Database Printout (details):** enclosed not requested nothing listed

<u>Report Digital Database (spreadsheet):</u>	<input checked="" type="checkbox"/> enclosed	<input type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>Resource Record Copies:</u>	<input checked="" type="checkbox"/> enclosed	<input type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>Report Copies:</u>	<input checked="" type="checkbox"/> enclosed	<input type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>OHP Historic Properties Directory:</u>	<input checked="" type="checkbox"/> enclosed	<input type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>Archaeological Determinations of Eligibility:</u>	<input type="checkbox"/> enclosed	<input checked="" type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>Los Angeles Historic-Cultural Monuments</u>	<input checked="" type="checkbox"/> enclosed	<input type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>Historical Maps:</u>	<input checked="" type="checkbox"/> enclosed	<input type="checkbox"/> not requested	<input type="checkbox"/> nothing listed
<u>Ethnographic Information:</u>	<input checked="" type="checkbox"/> not available at SCCIC		
<u>Historical Literature:</u>	<input checked="" type="checkbox"/> not available at SCCIC		
<u>GLO and/or Rancho Plat Maps:</u>	<input checked="" type="checkbox"/> not available at SCCIC		
<u>Caltrans Bridge Survey:</u>	<input checked="" type="checkbox"/> not available at SCCIC; please go to		
	http://www.dot.ca.gov/hq/structur/strmaint/historic.htm		
<u>Shipwreck Inventory:</u>	<input checked="" type="checkbox"/> not available at SCCIC; please go to		
	http://shipwrecks.slc.ca.gov/ShipwrecksDatabase/Shipwrecks_Database.asp		
<u>Soil Survey Maps: (see below)</u>	<input checked="" type="checkbox"/> not available at SCCIC; please go to		
	http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx		

Please forward a copy of any resulting reports from this project to the office as soon as possible. Due to the sensitive nature of archaeological site location data, we ask that you do not include resource location maps and resource location descriptions in your report if the report is for public distribution. If you have any questions regarding the results presented herein, please contact the office at the phone number listed above.

The provision of CHRIS Data via this records search response does not in any way constitute public disclosure of records otherwise exempt from disclosure under the California Public Records Act or any other law, including, but not limited to, records related to archeological site information maintained by or on behalf of, or in the possession of, the State of California, Department of Parks and Recreation, State Historic Preservation Officer, Office of Historic Preservation, or the State Historical Resources Commission.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the CHRIS Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

Should you require any additional information for the above referenced project, reference the record search number listed above when making inquiries. Requests made after initial invoicing will result in the preparation of a separate invoice.

Thank you for using the **California Historical Resources Information System**,

Isabela Kott Digitally signed by Isabela Kott
Date: 2019.03.12 09:45:29 -07'00'

Isabela Kott
GIS Technician/Staff Researcher

Enclosures:

- (X) GIS Shapefiles – 32 shapes
- (X) Resource Database Printout (list) – 3 pages
- (X) Resource Database Printout (details) – 35 pages
- (X) Resource Digital Database (spreadsheet) – 30 lines
- (X) Report Database Printout (list) – 1 page
- (X) Report Database Printout (details) – 2 pages
- (X) Report Digital Database (spreadsheet) – 2 lines
- (X) Resource Record Copies – (all non-archaeological) 572 pages
- (X) Report Copies – (project area only) 389 pages
- (X) OHP Historic Properties Directory – 21 pages
- (X) City of Los Angeles Historic-Cultural Monuments (LAHCM) – 10 pages
- (X) National Register Status Codes – 1 page
- (X) Historical Maps – 4 pages

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APPENDIX C
Resumes of Key Personnel

Intentionally blank

Shannon Davis, M.A., RPH

Architectural Historian/Historian

Total Years of Experience: 20

Education:

M.A. 1998/Historic Preservation/George Washington University, Washington, D.C.
B.A. 1993/American History/University of Southern California, Los Angeles (Cum laude with honors)

Registrations

2011 Register of Professional Historians (No. 613)

Professional Profile:

Ms. Davis has 20 years of experience in the field of historic preservation. She has an MA in Historic Preservation/American Studies from George Washington University, where she wrote her master's thesis on the architectural history of drive-in theaters, and a B.A. in American History from the University of Southern California. As an Architectural Historian at ASM, Ms. Davis has documented and evaluated numerous cultural resources for California Environmental Quality Act (CEQA) and National Register of Historic Places (NRHP) compliance, prepared Historic Structures Reports (HSRs), Historic American Building Surveys (HABS), and conducted NRHP evaluations and nominations. Recent projects include a comprehensive city-wide survey of Chula Vista; successfully listing a property in the California Register of Historical Resources (CRHR); preparing NRHP nominations for a historic highway and a historic residential district; developing the historic context of Los Angeles military history for Survey LA; and preparing planning documents for several California Naval bases.

Before joining ASM, Ms. Davis worked for the National Trust for Historic Preservation as their west-coast representative for heritage tourism. Much of Ms. Davis's professional experience is with the cultural resources programs of the National Park Service (NPS). For eight years she worked for the NRHP as an Historian. She also worked as a Historic Preservation Specialist and Project Manager for three other NPS programs: American Battlefield Protection Program, NPS History Program and HABS/HAER/HALS/CRGIS. Ms. Davis has experience with the operational requirements of a historic site, through her position as Assistant Site Manager of the 1812 Federal home of Supreme Court Justice Gabriel Duvall. Additionally, Ms. Davis served for several years as Chair of a local preservation advocacy group, the Arlington Heritage Alliance, and was one of the founders of the national non-profit Recent Past Preservation Network.

Selected Project Experience:

Ontario International Airport Historic Context Statement and Survey, San Bernardino County, CA **Project Manager/Architectural Historian** **CLIENT: City of Ontario, California**

Conducted an intensive-level survey and completed documentation for numerous buildings and structures within the Ontario International Airport. Prepared a historic context statement for the Ontario International Airport, informed by extensive background research and an intensive-level survey. Developed themes, contexts, registration requirements, and character-defining features for identification of a range of property types, from World War II aircraft hangars to Cold War-era administration buildings. Conducted interviews for oral histories with individuals associated with the airport and preparation of a short video reviewing the history, findings, and stories gathered for the project. Oversaw the production of a 10-minute video documentary.

City of Monrovia Historic Context Statement, Los Angeles County, CA **Architectural Historian**

CLIENT: City of Monrovia

Prepared a historic context statement for the City of Monrovia, based on reconnaissance-level surveys of the city to identify and define potential historic districts within the City. Work included development of themes and identification of associated property types, character-defining features, and registration requirements for historic districts comprising late 19th-century to early 20th-century residential properties, commercial districts, ethnic enclaves, and institutional properties. Organized public outreach and meetings with City personnel.

University of Nevada, Reno, Historic Neighborhoods Historic Context Statement, Washoe County, NV**Architectural Historian****CLIENT: City of Reno**

As part of a Certified Local Government (CLG) grant, the City of Reno retained ASM Affiliates, Inc., to prepare a historic context statement for the neighborhoods surrounding the University of Nevada, Reno (UNR). City of Reno staff and the City of Reno Historical Resources Commission were interested in obtaining knowledge of the historical context of the area surrounding UNR, particularly with respect to growth patterns of the surrounding neighborhoods, how that pattern impacted the current neighborhood structure, and how UNR's historic and continued growth has influenced the development of the surrounding neighborhoods. ASM conducted a reconnaissance survey of 1,759 parcels and identified four historic districts that could potentially be eligible to the NRHP. Responsible for all project management tasks, including coordination between City of Reno and Nevada SHPO, and preparing the historic context statement.

Los Angeles County Landmark Evaluation Report: The Doumakes House, 4918 Angeles Vista Boulevard, View Park, California**Project Manager and Senior Architectural Historian****CLIENT: Los Angeles County Department of Regional Planning**

Prepared landmark evaluation report for Doumakes House as the first Los Angeles County Register of Landmarks under the new County Historic Preservation Ordinance. Prepared under our on-call contact as the Planning Department's historic preservation consultants. The Doumakes House is single family residence built in 1928, eligible because of its association with the Doumakes family and as a good example of a typical Spanish Colonial Revival single family residence.

HRER for 880 Stone Canyon, Los Angeles County, CA**Project Manager****CLIENT: City of Los Angeles Office Historic Preservation**

Surveyed, documented, and evaluated 1936 single-family residence built in the Hollywood Regency style by architect Douglas Honnold for screenwriter Stanley Rauh. Evaluated within the City of Los Angeles's Survey LA historic context statements for Residential Development and Suburbanization, 1850-1980 and Architecture and Engineering, 1850-1980, with the theme/subtheme of the Hollywood Regency, 1850-1980. Conducted in compliance with CEQA by request of the City of Los Angeles's Office of Historic Resources.

Historic Resources Evaluation Report for the Beckman Instruments Administration Building, Fullerton, Orange County, CA, 2016**Project Manager and Senior Architectural Historian****CLIENT: BonTerra Psomas**

Prepared evaluation and impact assessments report for development project with the potential to impact the Beckman Instruments Administration Building, a Mid-Century Modern building constructed as the headquarters for, a large scientific instrument research and manufacturing facility. Reviewed the pending National Register nomination, conducted site visit, and assessed direct and indirect impacts. Conducted in compliance with CEQA for the City of Fullerton as the Lead Agency.

Impacts Assessment Report for Subdivision of Sepulveda Unitarian Universalist Society Sanctuary ("The Onion") Property, North Hills, Los Angeles County, 2016**Project Manager and Senior Architectural Historian**

CLIENT: Jag Narayan

Prepared impacts assessment report for parcel subdivision of Sepulveda Unitarian Universalist Society Sanctuary (known as "The Onion") at 9550 N. Haskell, designated City of Los Angeles Historic Cultural Monument (#975). The report, which focused on viewshed impacts to and from the HCM, was prepared pursuant to CEQA at request of LA Office of Historic Resources.

Mt. San Antonio College Cultural Resources Evaluation Report, Walnut, Los Angeles County, CA, 2016**Project Manager and Senior Architectural Historian****CLIENT: Mt. San Antonio College**

Prepared cultural resources evaluation report for Supplemental EIR for the 2015 Facilities Master Plan Update and Physical Education Projects. The report evaluated more than 20 historic resources within the school's proposed project area, and to assess potential direct and indirect visual impacts to the Mt. SAC Historic District. Work included intensive pedestrian-level survey of potentially significant historic buildings on campus, as well as the Wildlife Sanctuary, and archival research. Report prepared in compliance with CEQA.

Historic Resource Assessment Report for the Rossmore Avenue Apartments, Los Angeles, Los Angeles County, CA, 2016**Project Manager and Senior Architectural Historian****CLIENT: etco Homes, Inc.**

Evaluated three 1948 French Revival-style apartment buildings at 535-553 N. Rossmore Avenue in the Hancock Park neighborhood of Los Angeles to determine their historic significance. The three buildings are located within the original boundaries of the Hancock Park Historic Preservation Overlay Zone (HPOZ), a City of Los Angeles-defined zoning district intended to preserve the historic nature of areas within the City. The evaluation included preparation of California DPR forms.

Historic Resource Evaluation Report for 427 Santa Clara Avenue, Los Angeles. Los Angeles County, CA, 2016**Project Manager and Senior Architectural Historian****CLIENT: Huron Drive LLC**

Evaluated a 1912 bungalow located in the Venice area of Los Angeles for CEQA compliance of a proposed project. Conducted a site visit and background research. Prepared documentation for determination of historic significance under NRHP, CRHR, City of Los Angeles Historic Cultural Monument and under contexts and themes defined by SurveyLA. Work was done in compliance with CEQA at request of LA Office of Historic Resources.

HRER for James A. Foshay Learning Center, Los Angeles County, CA**Senior Architectural Historian****CLIENT: Impact Sciences and Los Angeles Unified School District**

Completed an HRER for possible eligibility for the CRHR under eligibility criteria established by the LAUSD Historic Context Statement based on closely followed parallel criteria established for NRHP and CRHR significance. Conducted archival research for property information, including the architect, chain of title and history of the property as well as a records search at the local information center (IC). An intensive field survey was then undertaken including photographic documentation of the interior and exterior of the building to document the resources and its setting.

Historic Resource Evaluation Report for 420 Drake Circle, Sacramento, Sacramento County, CA**Project Manager****CLIENT: Kimley-Horn & Associates, Inc.**

Completed a Historic Resource Evaluation Report (HRER) for a commercial building in Sacramento prior to proposed renovations. The purpose was to evaluate whether or not the proposed project would affect any identified historic properties within the APE and was completed per Section 106 of the NHPA. Evaluated the historical and architectural significance of the building for eligibility to the NRHP and the CRHR as well as a contributor to a potential early 20th century residential historic district.

**Evaluation of Bakersfield High School Water Tower, Bakersfield, Kern County, California
Architectural Historian**

CLIENT: Lozano Smith, Attorneys at Law

Project Manager for an intensive-level survey to document the water tower, and a reconnaissance-level survey of the high school to assess the 1933 water tower. Prepared a Historical Resources Evaluation and California Department of Parks and Recreation (DPR) 523 A and B forms to evaluate the structure's eligibility for listing in the CRHR. Recommended that Water Tower as individually eligible for CRHR under Criterion 1 as a visual landmark representing the history and development of Bakersfield High School

Lanterman Developmental Center, Pomona, Los Angeles County, CA, 2016

Project Manager and Senior Architectural Historian

CLIENT: Petra Resource Management

Prepared Historic Resources Assessment Report (HRAR) for Lanterman Developmental Center—a state mental developmental center—to clarify NRHP and CRHR eligibility, develop historic context statement, period of significance, and contributing resources. On-site intensive pedestrian survey included photographic documentation of more than 100 buildings (exteriors and public interior spaces). Work included preparation of California DPR forms for historic district and individual eligibility. Prepared under PRC 5024 compliance for transfer of state property, for CA Dept. of General Services, with SHPO concurrence.

Historic Resources Evaluation Report for Academy Road Widening Project, Sanger, Fresno County, CA, 2016

Senior Architectural Historian

CLIENT: Petra Resource Management

Conducted a historic study to address road widening and reconstruction of Academy Avenue in Sanger. Performed intensive field survey and archival research to develop sufficient historic overview and site-specific histories. Made recommendations of eligibility for listing in the NRHP and CRHR for potentially historic buildings in the APE. Evaluated in compliance with requirements of Section 106 of the National Historic Preservation Act (NHPA), CEQA, and Caltrans guidelines as specified in the agency's Standard Environmental Reference (SER), Volume 2, Cultural Resources.

Maintenance Manual for Milpitas Ranch House/Hacienda, Fort Hunter Liggett, Jolon, Monterey County, CA, 2014

Project Manager and Senior Architectural Historian

CLIENT: Gulf South Research Corp.

Updated maintenance manual for 1930 ranch house designed by noted architect Julia Morgan for newspaper tycoon William Randolph Hearst, concurrent with her design of nearby Hearst's Castle. Conducted site inspection with US Army Corps of Engineers Historic Architect. Prepared manual targeted at maintenance staff audience, included background history of the property, assessment of current conditions, and specific guidance on what needs attention, how to preserve the building, where to acquire replacement materials, and recommended future restoration projects. Manual included quick reference guide to maintenance do's and don'ts, annual checklist, and list of character-defining features with links to online Flickr photo gallery of all such features and inappropriate alterations. Plan developed in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* in support of Section 106 and 110 of the National Historic Preservation Act (NHPA) for Army's Fort Hunter Liggett cultural resources staff, stewards of this NRHP listed-resource.

Inventory and NRHP Evaluation of 17 Potential Historic Resources, Fort Hunter Liggett, Jolon, Monterey County, CA, 2014

Project Manager and Senior Architectural Historian

CLIENT: Gulf South Research Corp.

Surveyed, documented, and evaluated a 17 built environment of early Fort Hunter Liggett. Resources included training facilities and cantonment and infrastructure features built between 1941 and 1951. Researched and developed appropriate historic context. Evaluated within the contexts of Military History

(1942-1945) and WWII Army property types. Conducted in compliance with Section 106 and 110/NHPA.

Peer Review of CRHR and NRHP Evaluation of Caltrans District 11 Headquarters, Old Town San Diego, San Diego County, CA, 2014

Senior Architectural Historian

CLIENT: California Department of State Parks

Reviewed prior evaluation for Caltrans district office complex (1947-1967) and concurred with determination of eligibility (as concurred on by SHPO) as a good example of a "Modernist" office building in the local San Diego area, and the best-designed Caltrans district office complex of that period. Preparing peer review letter, assessment of impacts, and proposing mitigation measures for proposed redevelopment of the property.

Bayshore Bikeway Project HPSR, ASR and FNAE, San Diego County, CA

Senior Architectural Historian

CLIENT: San Diego Association of Governments

In accordance with Caltrans Section 106 PA and CEQA, prepared HPSR and FNAE for bikeway project with the potential to impact the Western Salt Company Salt Works (WSCSW) Historic District. ASM recommended a FNAE without Standard Conditions as none of the character defining features of historic district would be adversely affected as a result of the proposed project activities. Reports prepared following updated Caltrans SER, Volume 2, Cultural Resources.

Historic Resources Report for Two Buildings at Hoover High School, San Diego, San Diego County, CA, 2014

Project Manager and Senior Architectural Historian

CLIENT: BRG Consulting for San Diego Unified School District

Surveyed, documented, and evaluated two mid-20th century buildings at Hoover High School: a Spanish Colonial Revival 1938-1942 classroom building and 1942-1970s Art Deco/Modern auditorium, built by master architects Kistner and Curtis. Evaluated within the local contexts of education, economics, social history, and architecture. Conducted in compliance with CEQA.

HRER for Vista/Highgrove Substation, Grand Terrace, San Bernardino County, CA, 2014

Senior Architectural Historian

CLIENT: Southern California Edison

Surveyed, documented, and evaluated a mid-20th century vernacular electrical substation complex constructed in 1945. Researched local historic context. Evaluated within the contexts of mid-twentieth century development of Grand Terrace or San Bernardino County and architecture. Conducted in compliance with CEQA.

Verizon St. Clair Wireless Telecommunications Tower FCC 620 Form, Los Angeles, Los Angeles County, California, 2014

Project Manager and Senior Architectural Historian

CLIENT: Archer, Inc.

Surveyed urban project APE to assess direct and indirect impacts from construction of new wireless telecommunications tower. Completed FCC Form 620 in compliance with Section 106 and the *Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (FCC), September 2004*. Prepared public notice, consulted with local government, tribes, and interested parties. Submitted 620 form electronically through FCC's website, and facilitated consultation on project with CA SHPO.

Verizon Wireless Telecommunications Tower Smart Forms, Los Angeles County, California, 2014

Project Manager and Senior Architectural Historian

CLIENT: Archer, Inc.

Conducted records searches and initial assessment of age of resources that could require assessment of impacts for three Verizon wireless telecommunciatons tower sites. Conducted in compliance with Section

106 and the *Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (FCC)*, September 2004.

HABS Documentation and Interpretive Signage, Marron-Hayes Adobes Historic District, Carlsbad, San Diego County, CA, 2014

Project Manager and Senior Architectural Historian

CLIENT: Corky McMillin Companies

Conducted official HABS Level II documentation for the Marron-Hayes Adobes Historic District, and coordinated submission with the HABS National Park Service headquarters office. Prepared outline history, large format photography, and sketch drawings. Developed content for interpretive signage including narrative text and historic photographs. Conducted in compliance with CEQA and Section 106 of the NHPA.

LARICS Communications Tower FCC 620 Form Compliance, Los Angeles County, California, 2014

Project Manager and Senior Architectural Historian

CLIENT: UltraSystems Environmental

Surveyed 863 NRHP eligible historic resources to assess direct and indirect impacts from construction of new Los Angeles Regional Interoperable Communications System Authority (LARICS) communication towers at more than 150 locations in Los Angeles County over a period of 6 months. Completed portions of FCC Form 620 for each project and resource in compliance with the Section 106 and the *Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (FCC)*, September 2004.

HRER for Grove Street Bible Church, Pomona, Los Angeles County, CA

Project Manager and Senior Architectural Historian, 2014

CLIENT: Warmington Residential

Surveyed, documented, and evaluated a Mid-Century Modern church constructed in 1961. Researched and developed local historic context. Evaluated within the contexts of mid-twentieth century development of Pomona and architecture. Conducted in compliance with CEQA.

Historic Resources Evaluation Report (HRER) for Imperial Beach Library, San Diego County, CA

Project Manager and Senior Architectural Historian

CLIENT: Dudek

Surveyed, documented, and evaluated a Mid-Century Modern library constructed in 1967. Evaluated the building within the contexts of community development, government services, and Modern architecture. Report to be prepared in accordance with CEQA.

Integrated Cultural Resource Management Plan (ICRMP) for Marine Corps Base Camp Pendleton, San Diego County, CA

Senior Architectural Historian

CLIENT: NAVFAC Southwest

Compiled ICRMP in collaboration with installation staff. Worked with Marine Corp to establish cultural resource and preservation goals and objectives. Synthesized previous studies to develop an update to the installation's comprehensive planning document.

Peer Review of Chula Vista Sears Evaluation, San Diego County, CA

Project Manager and Senior Architectural Historian

CLIENT: City of Chula Vista

Reviewed evaluation and recommendation of ineligibility for 1966 commercial building that ASM had previously recommended eligible. Provided additional support for our original recommendation and testimony to the Chula Vista Historic Preservation Commission and City Council.

Impacts Assessment for Construction of Lemon St. Parking Garage, Orange County, CA

Project Manager and Senior Architectural Historian

CLIENT: HDR Engineering, Inc.

Assessed and evaluated direct and indirect impacts on the construction of a parking garage on the Old Towne Orange and Plaza historic districts for three project alternatives in support of an Mitigated Negative Declaration. Participated in SHPO consultation process. Conducted in compliance with Section 106 of the NHPA, NEPA, CEQA, and Federal Highway Administration's (FHWA) Section 4(f) regulations.

**Historic Resources Evaluation for Ecke Ranch Office Building, San Diego County, CA
Project Manager and Senior Architectural Historian**

CLIENT: Leichtag Foundation

Surveyed, documented, and evaluated former office building of the Ecke Ranch, Evaluated the building as a contributor to potential Ecke Ranch Historic District for its associations with development of Encinitas, the agricultural industry, and its association with significant individuals Paul Ecke, Sr. and Paul Ecke, Jr.

Cultural and Historical Resources Existing Conditions and Evaluation Report for the Pacific Surfliner Carlsbad Village Double-Track Project, San Diego County, CA

Senior Architectural Historian

CLIENT: BRG Consulting, Inc.

Conducted an intensive level survey and evaluation of more than 60 potential historic resources, including residential, commercial, and transportation property types. Considered direct and indirect impacts from railroad improvements on eligible historic resources and recommended mitigation for adverse impacts. Conducted in compliance with Section 106 of the NHPA and NEPA.

**Historic Resources Technical Report (HRTR) for Hillside Receiving Home, San Diego County, CA
Project Manager and Senior Architectural Historian**

CLIENT: Dudek

Surveyed, documented, and evaluated a government residential facility for children, consisting of two Mid-Century Modern buildings constructed in 1955 and 1963. Evaluated within the contexts of San Diego County Public Welfare services and Modern architecture. Report prepared in accordance with CEQA.

**Impacts Assessment for Renovation of AMK Ranch Historic District, Teton County, WY
Project Manager and Senior Architectural Historian**

CLIENT: University of Wyoming and Walsh Environmental

Assessed and evaluated direct and indirect impacts on the historic AMK Ranch Historic District for three project alternatives for their renovation and expansion, in support of an Environmental Assessment (EA). Conducted on-site survey with National Park Service's Cultural Resources Specialist to identify potential areas of impact. Coordinating consultation with the Wyoming State Historic Preservation Office (SHPO).

Historic American Landscape Survey (HALS) Documentation for Arden, Helena Modjeska Historic House and Gardens, Orange County, CA

Project Manager and Senior Architectural Historian

CLIENT: Orange County Parks and Recreation

Documented 14.4-acre gardens and residential complex of Madame Helena Modjeska, famous late 19th-century Shakespearean actresses. Arden was Modjeska's primary residence from 1888 until 1905. Field survey included detailed field notes and digital photography. Prepared HALS Short Form. Landscape features include gardens with exotic and native plant species, cobble flowerbed garden borders, a well, fountains, pool/plunge, rock monument, meadow of grasses and native wildflowers, Santiago Creek and its associated wetland, and surrounding oak woodlands.

Henderson Historic Preservation Plan, Clark County, NV

Project Manager and Senior Architectural Historian

CLIENT: City of Henderson

Conducted community outreach and codified the steps needed to develop a Historic Preservation Plan for the City of Henderson. Worked with City staff, public officials, and members of the public to discuss the city's historic and cultural resources and foster community engagement/interest in the historic preservation process. Conducted a citywide reconnaissance survey of all buildings constructed prior to 1970. Made recommendations for the next steps in the Historic Preservation Plan process, and then through a

subsequent contract developed the Historic Preservation Plan for the City, which was adopted by the City Council. Identified prioritized areas in the city for future intensive survey to identify historic resources.

**Maintenance Plan for Naval Postgraduate Engineering Historic District, Monterey County, CA
Project Manager**

CLIENT: NAVFAC Southwest

Facilitated and oversaw the condition assessment of five mid-century educational buildings and make prioritized recommendations for their on-going maintenance, in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Developed in partnership with historic architects and structural engineers. Prepared in support of Section 106 and 110 of the National Historic Preservation Act (NHPA).

**HRER for St. Martha's Episcopal Church, Dove Residence, and Day School, Los Angeles County, CA
Project Manager and Senior Architectural Historian**

CLIENT: Warmington Residential

Surveyed, documented, and evaluated a Mid-Century Modern church complex, school, and Ranch house constructed between 1954 and 1965. Researched and developed local historic context. Evaluated within the contexts of mid-twentieth century development of West Covina and architecture. Conducted in compliance with CEQA.

**Eligibility Consultation, Orange County, CA
Project Manager and Senior Architectural Historian**

CLIENT: Sempra Utilities

Provided guidance to TRC and SDG&E on their consultation with the California State Historic Preservation Office (SHPO) regarding the eligibility of the Capistrano Utility Building. Helped draft a consultation letter to the SHPO, and recommended that the draft National Register of Historic Places (NRHP) nomination did not support an argument of eligibility.

**ICRMP for Marine Corps Mountain Warfare Training Center, Mono County, CA
Project Manager and Senior Architectural Historian**

CLIENT: NAVFAC Southwest

Compiled ICRMP in collaboration with installation staff. Worked with Marine Corp to establish cultural resource and preservation goals and objectives. Synthesized previous studies to develop one comprehensive planning document for installation that had not heretofore had any preservation management plan.

**HRER, Historical Resources Compliance Report (HRCR), and Treatment Plan for the Rancho Lilac Historic District, San Diego County, CA
Senior Architectural Historian**

CLIENT: Caltrans

Evaluated the eligibility of 27 built environment resources for the NRHP and as California Historic Landmarks prior to transfer of ownership. Recommended an eligible historic district with three periods of significance: the pioneer homesteading period (1880s-1900), early community and ranching period (1900-1945), and Irving Salomon's association with the property (1945 to 1966). Also prepared Treatment Plan recommending protective easements and covenants to ensure preservation of the district after transfer of ownership. Recommended *Rehabilitation* as the appropriate treatment standard and adherence to the Secretary of the Interior's (SOI) *Standards for the Treatment of Historic Properties*. Project conducted to comply with Public Resources Code (PRC) 5024.

**Visual Impacts Assessment on the Marron-Hayes Adobes Historic District for the Quarry Creek Master Plan Environmental Impact Report, San Diego County, CA
Senior Architectural Historian**

CLIENT: Corky McMillin Companies

Conducted a visual impacts assessment of the impacts of a housing development project on the Marron-Hayes Adobes Historic District, eligible for the NRHP. Recommended mitigation measures to address adverse indirect visual impact. Attended and testified at series of local planning commission and city council meetings. Conducted in compliance with CEQA and Section 106/NHPA.

**Palomar Gateway District Specific Plan Cultural Resources Report, San Diego County, CA
Senior Architectural Historian**

CLIENT: Atkins

Conducted constraints level analysis of Palomar Gateway project area in support of an EIR for a proposed Specific Plan. Identified 12 potential historic resources and provided constraint-level analysis of potential impacts on resources that were likely to be historically significant.

**HRER for Garfield Reservoir, Los Angeles County, CA
Project Manager and Senior Architectural Historian**

CLIENT: Helix Environmental Planning, Inc.

Surveyed, documented, and evaluated public water storage reservoir constructed in 1924. Evaluated within the contexts of community planning and development and architecture. Conducted in compliance with CEQA and NHPA.

**Cultural Resources Survey for the Metrolink CTO-31 Project, Los Angeles County, CA
Senior Architectural Historian**

CLIENT: HDR Engineering

Conducted windshield survey to identify potential historic resources within the project area, to provide baseline data for preliminary assessment of adverse impacts in compliance with NHPA and NEPA.

**Historic American Engineering Record (HAER) Documentation for Jet Propulsion Lab (JPL) Facility,
Kern County, CA**

Project Manager and Senior Architectural Historian

CLIENT: Edwards Air Force Base

Documented mid-twentieth century aeronautics testing facility through field documentation, review of architectural plans, and archival research. Facilitated recommendations for documentation with west-coast NPS regional staff. Provided HAER Level II and Level III documentation for 40 buildings and structures, including archival photographic documentation, outline and short-form historical reports, and hand-drawn sketch plans or reproduction of architectural plans and drawings.

Citywide Historic Resources Survey, San Diego County, CA

Senior Architectural Historian

CLIENT: City of Chula Vista

Conducted a reconnaissance survey of more than 12,000 parcels and intensive survey of more the 350 parcels, based on a historic context developed as part of the project for the City of Chula Vista. Solicited public input on and presented findings of the survey in a series of public meetings. Made recommendations of local, state, and national eligibility. In addition to a final survey report, prepared a comprehensive survey database as well as web-based interactive photograph and maps.

**NRHP Nomination and Historic American Building Survey (HABS) Documentation for Berylwood
Historic District, Ventura County, CA**

Project Manager and Senior Architectural Historian

CLIENT: San Diego Military Family Housing

Documented, researched, and reevaluated the 10-acre Berylwood Historic District to prepare an amended NHRP nomination and new HABS documentation of the district that included the 1912 Myron Hunt designed mansion built for prominent local developer and U.S. Senator, Thomas Bard, a second home built 1910-1925 for son and local businessman Richard Bard, as well as supporting structures and the cultural landscape associated with the estate. Developed and presented keynote address for centennial celebration of the construction of the house.

NRHP Nomination for U.S. Highway 80 in California, San Diego and Imperial counties, CA

Senior Architectural Historian

CLIENT: San Diego Gas & Electric

Evaluated the 186 –mile California segment of U.S. Highway 80, one of the earliest all-weather coast-to-coast highways in the United States. Developed NRHP nomination and supporting materials. Recommended an eligible historic district with contributing constructed during the period of significance (1926-1964) that include 42 bridges and culverts and 186 miles of the road from San Diego to Yuma (both current and abandoned segments of the road).

HABS, HRCR, and FAE for Sorrento Valley Industrial Park, San Diego County, CA

Senior Architectural Historian

CLIENT: Caltrans

Prepared Caltrans specific compliance for the proposed demolition of the Sorrento Valley Industrial Park Historic District. Summarized identification efforts and resources eligible for the NRHP, identified the effect of the project upon those resources, and prepared mitigation plan in compliance with CEQA and Public Resources Code (PRC) §5024. Prepared HABS Level II documentation (Caltrans Heritage documentation equivalent) as well as Finding of Adverse Effect (FAE) per Caltrans format.

Military Context for Survey Los Angeles, Los Angeles County, CA

Project Manager and Senior Architectural Historian

CLIENT: City of Los Angeles Office of Historic Preservation

Prepared pro-bono historic context statement for military history of Los Angeles in support of ongoing citywide-survey, Survey LA.

Evaluation of Banning Mine, Riverside County, CA

Senior Architectural Historian

CLIENT: Southern California Edison Company

Researched, documented, and evaluated a 1940s mine. Evaluated within the contexts of community planning and development, industry, or engineering. Conducted in compliance with CEQA.

HRTR for Padre Trail Inn, San Diego County, CA

Project Manager and Senior Architectural Historian

CLIENT: HELIX Environmental

Surveyed, documented, and evaluated a 1965 motel. Evaluated within the contexts of the tourism industry in San Diego and architecture. Report prepared in accordance with CEQA.

HRER for Fenton Dairy Houses and Office, San Diego County, CA

Project Manager and Senior Architectural Historian

CLIENT: Dudek

Surveyed, documented, and evaluated four workers' houses and one office constructed between 1940 and 1945. Evaluated within the contexts of settlement and agriculture/ranching. Conducted in compliance with CEQA.

Historic Resource Analysis for Five Buildings at Mount San Antonio College, Los Angeles County, CA

Project Manager and Senior Architectural Historian

CLIENT: Mount San Antonio College

Surveyed, documented, and evaluated five recreational college buildings constructed between 1958 and 1972. Evaluated as contributors to a potential historic district within the contexts of education and architecture. Conducted in compliance with CEQA.

HRER for 8048-8050-8052 Comstock Avenue in Whittier, Los Angeles County, CA

Project Manager and Senior Architectural Historian

CLIENT: City of Whittier

Surveyed, documented, and evaluated two residential buildings constructed between 1927 and 1929. Evaluated within the contexts of Community Planning and Development, Whittier Thrives in the Early Twentieth Century, Whittier in the 1920s, Oil Industry in Whittier, and architecture. Conducted in compliance with CEQA.

ICRMP for Detachment Fallbrook, San Diego County, CA

Project Manager and Senior Architectural Historian

CLIENT: NAVFAC Southwest

Compiled ICRMP in collaboration with installation staff. Advised client on recommended content, synthesized sections, and prepared three iterations of the plan, incorporating comments from client.

Impacts Assessment for the SDG&E East County Substation Project, San Diego County, CA

Senior Architectural Historian

CLIENT: Sunrise Powerlink

Analyzed potential for adverse effects from proposed SDG&E East County Substation Project. Provided recommendations for NRHP and CRHR eligibility for an approximate 14-mile (mi.) segment of Old Highway 80 within the APE, determined in consultation with BLM. Conducted in compliance with NHPA and CEQA.

Highway 80 Interpretive Signage Recommendations for the SDG&E East County Substation Project, San Diego County, CA

Senior Architectural Historian

CLIENT: Sunrise Powerlink

Surveyed historic Highway 80 to make recommendations for placement of interpretive signs. Recommendations for signs were made based on integrity of Highway 80 at specific locations, character of specific sections of the highway, and demarkation at regular intervals. a Conducted in compliance with NHPA and CEQA.

Advanced Summary Report for the Historical Resources Evaluation of Hamlet Parcel for the Sunrise Powerlink Phase I ESA, San Diego County, CA

Senior Architectural Historian

CLIENT: San Diego Gas & Electric

Conducted an on-site survey and provided summary report of five buildings within project area that were 45 years old and older. Conducted in compliance with CEQA to be incorporated into the Environmental Site Assessment (ESA).

Inventory, Evaluation and Analysis of Effects on Historic Resources for the Campo Verde Solar Project, Imperial County, CA

Senior Architectural Historian

CLIENT: KP Environmental, LLC

Conducted intensive survey within a 1,990 acre project area for proposed solar field and transmission line in Imperial County. Documented and evaluated 20 potential historic resources and analyzed the effects of the project on those resources recommended as historically significant.

Historic Structure Report (HSR) for Building 1133 (1st Marine Corps Division Headquarters), MCB Camp Pendleton, San Diego County, CA

Senior Architectural Historian

CLIENT: NAVFAC Southwest

Prepared HSR to evaluate and assess the architectural and structural state of Building 1133 to establish guidelines and priorities for maintenance and rehabilitation activities. Conducted in compliance with Sections 106 and 110 of the National Historic Preservation Act (NHPA).

HSR for Building 51811 (San Onofre Beach Club), San Diego County, CA

Senior Architectural Historian

CLIENT: NAVFAC Southwest, MCB Camp Pendleton

Prepared HSR to evaluate and assess the architectural and structural state of Building 1133 to establish guidelines and priorities for maintenance and rehabilitation activities. Conducted in compliance with Sections 106 and 110.

HABS Documentation for the Cienega Elementary School, Los Angeles County, CA

Project Manager and Senior Architectural Historian

CLIENT: PMC World

Documented 1923 elementary school, with features of the Classical Revival and Spanish Colonial Revival styles. Field survey included sketch plan, detailed field notes, and archival research. Documentation prepared to HABS Level II standards.

HRER for Collier Park, San Diego County, CA

Project Manager and Senior Architectural Historian

CLIENT: Atkins

Surveyed, documented, and evaluated 7.7-acre park, portions of which were established in 1910. Report prepared in accordance with CEQA and Section 106 of NHPA prior to the park's redevelopment.

Built Environment Assessment for Gregory Canyon Landfill Project, San Diego County, CA

Senior Architectural Historian

CLIENT: PCR Services

Surveyed, documented, and evaluated two dairy complexes and associated buildings, of which one complex was recommended eligible. Report prepared in accordance with CEQA and Section 106 of the NHPA prior to the parcel's redevelopment.

Treatment Plan for 918 Discovery Street, San Diego County, CA

Senior Architectural Historian

CLIENT: City of San Marcos

Surveyed, documented, and evaluated residential building prior to its proposed relocation. Made recommendations for project preparation and execution, and future rehabilitation of the building with specific treatment recommendations for the building's character-defining features.

HRER for the California Valley Solar Ranch Project, San Luis Obispo County, CA

Senior Architectural Historian

CLIENT: Ecology and Environment

Consulted on and edited evaluation of a four-mi. segment of Highway 58, and two gypsum strip mines for a solar project in the California Valley for Sunpower.

HRER for 6940 Otay Mesa Road, Rabago Otay Technical Business Park, San Diego County, CA

Senior Architectural Historian

CLIENT: RBF Consulting

Documented and evaluated mid-20th-century farmstead including ranch house and barns for eligibility for NRHP, CRHR, San Diego County Local Register of Historical Resources, and the County of San Diego Resource Protection Ordinance (RPO) in accordance with CEQA.

Impacts Assessment for SDG&E East County Substation Project, San Diego County, CA

Senior Architectural Historian

CLIENT: Insignia Environmental

Consulted on and edited an evaluation and visual impacts assessment of a 13-mi. segment of historic Old Highway 80. Insignia Environmental requested this assessment for their powerline project in east San Diego County.

Inventory, Evaluation, and Analysis of Effects on Historic Built-Environment Properties, Imperial County, CA

Senior Architectural Historian

CLIENT: LS Power Development

Evaluated 16 resources within a solar project area in Imperial County and assessed the effects of the project on those resources recommended as historically significant.

Inventory, Evaluation and Analysis of Effects on Historic Built Environment Properties for the Imperial Solar Energy Center West and South Projects, Imperial County, CA

Senior Architectural Historian

CLIENT: LightSource, LLC

Surveyed, documented, and evaluated resources within a solar project area in Imperial County and analyzed the effects of the project on those resources recommended as historically significant for CSolar Development, LLC.

Documenting the Colorado River Front Work and Levee System (CRFWLS): A Historic Context and Inventory, San Bernadino, Riverside, and Imperial counties, CA and Yuma, La Paz, and Mojave counties, AZ

Historical Consultant

Consulted on, reviewed, and edited, report providing context for and documenting the CRFWLS.

HSR, Maravilla Handball Court and Market, LA Conservancy, Los Angeles County, CA

Project Manager and Senior Architectural Historian

CLIENT: LA Conservancy

Surveyed, evaluated, researched, and prepared HSR and California Register of Historical Resources (CRHR) nomination for a 1928 handball court and associated commercial and residential building as a pro-bono project for Los Angeles Conservancy. Evaluated for eligibility for CRHR and NRHP. Property was successfully designated on CRHR in 2012. Report prepared to assist with preservation efforts for neighborhood recreation and community center.

Section 106 Review and Recommendations, San Diego County, CA

Senior Architectural Historian

CLIENT: San Diego Military Family Housing

Annual review of multiple undertakings within historic districts at California Naval and Marine Corp Bases. Prepare determinations of effect, in conformance with several Programmatic Agreements (Pas) between the military, CA SHPO, and Advisory Council on Historic Preservation, governing undertakings at the specific military installation as well as *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Convair Lagoon Alternative Analysis of Historic Resources, San Diego County, CA

Senior Architectural Historian

CLIENT: Atkins

Consulted on, reviewed, and edited evaluation of seaplane ramp and pier located in a lagoon formerly owned by the now defunct aircraft manufacturer Convair in the San Diego Bay. Atkins requested a historic built environment study for the proposed demolition of both structures for future redevelopment project.

ICRMP for MCAS Miramar, San Diego County, CA

Senior Architectural Historian

CLIENT: NAVFAC Southwest

Addressed comments and finalized ICRMP for base facilities.

Historic Context and Eligibility Criteria for Puget Sound Dikes, Multiple Counties in Puget Sound, WA

Senior Architectural Historian

CLIENT: U.S. Fish and Wildlife Service

Assisted with research to develop historic context for late-nineteenth- and early-twentieth-century dikes that contributed to the agricultural development of the Puget Sound region of northwestern Washington. Developed NRHP eligibility criteria as a management tool for USFWS for future compliance with Section 106 of the NHPA.

HRER for Fort Yuma Healthcare Center, Imperial County, CA
Senior Architectural Historian

CLIENT: HKM Dowd

Surveyed, evaluated, and edited report for nine buildings on the 1.9 acres at Fort Yuma. Field survey included consultation with Quechan tribe. HSR prepared in support of an Environmental Assessment (EA) for potential demolition, including one contributing building to the Yuma Crossing National Historic Landmark (NHL) historic district.

Due Diligence Report for the Renovation of the Imperial Beach Library, San Diego County, CA
Architectural Historian

CLIENT: RBF Consulting

Evaluated the potential for historical significance of the subject property by conducting a constraints analysis to provide baseline information on the architect of record, date of construction, and potential eligibility to the CRHR.

Cultural Resources Survey for 203 E. Olive St., San Diego County, CA

Architectural Historian

CLIENT: The Planning Center

Evaluated and prepared survey report for one-acre parcel with three agricultural buildings, including 1898 farm house. In compliance with CEQA, each building was evaluated for eligibility for the NRHP, CRHR, and as a CEQA historic resource.

Cold War Historic Context for NAWS China Lake, San Bernardino County, CA

Architectural Historian

CLIENT: Epsilon Systems Solutions

Consulted on and edited historic context (1943-1989) prepared for updated inventory and evaluation of two historic districts listed in the NRHP. Context developed for one of the most significant World War II and Cold War research, development, testing, and evaluation facilities in the country.

HABS Documentation for the American Legion Hall, San Diego County, CA

Architectural Historian

CLIENT: City of Vista

Documented art deco American Legion Hall to HABS Level III standards. Field survey included photography, sketch plan, detailed field notes, and archival research. Edited survey report, including historical and architectural information prepared to HABS Level II standards.

HSR for Palomar College, San Diego County, CA

Architectural Historian

CLIENT: Palomar College

Consulted on and reviewed HSR for seven buildings at Palomar College. In compliance with CEQA, each building was evaluated for eligibility for the NRHP, CRHR, and as a CEQA historic resource.

Survey Eligibility and Update of NRHP Eligibility of 73 Buildings at Naval Weapons Station Seal Beach, Detachment Corona, Riverside County, CA

Field Director

CLIENT: NAVFAC Southwest

Surveyed 247 acre site to assess NRHP eligibility of 73 buildings, structures, and landscape features, within careful consideration of the site as a cultural landscape. Authored evaluation report, considering potential national, state, and local significance for three distinct periods of significance from 1927 to 1989.

Tenth Avenue Marine Terminal Historical Assessment, San Diego County, CA

Architectural Historian

CLIENT: Atkins

Evaluated mid-twentieth century maritime industrial buildings that served as transit sheds and warehouses. Conducted research and fieldwork to determine the buildings' architectural significance and eligibility for the CRHR.

Historic Building Maintenance Plan, Herrmann Hall (Building 220), Naval Postgraduate School, Monterey County, CA

Architectural Historian

CLIENT: NAVFAC Southwest

Assisted with preparation of maintenance plan for late nineteenth-century Spanish Mediterranean Revival-style former hotel building.

ICRMP for Naval Base San Diego, San Diego County, CA

Architectural Historian

CLIENT: NAVFAC Southwest

Prepared ICRMP for base facilities including Naval Station San Diego, Mission George Recreational Center, and Broadway Complex. Advised client on recommended content, conducted interviews, reviewed and synthesized previous cultural resource studies, and wrote three iterations of the plan, incorporating comments from client.

ICRMP for Naval Base Coronado, San Diego County, CA

Architectural Historian

CLIENT: NAVFAC Southwest

Prepared ICRMP for base facilities including NAS North Island, Naval Amphibious Base Coronado, Naval Radio Receiving Facility, Outlying Landing Field Imperial Beach, and Special Warfare Mountain Training Center La Posta. Advised client on recommended content, conducted interviews, reviewed and synthesized previous cultural resource studies, and wrote three iterations of the plan, incorporating comments from client.

ICRMP for Naval Base Ventura County, Ventura County, CA

Architectural Historian

CLIENT: NAVFAC Southwest

Assisted with preparation of final drafts of ICRMP for base facilities including NAS Point Mugu, CBC Port Hueneme, Laguna Peak, Catalina Heights housing area, and the Camarillo Airport. Prepared three iterations of the plan, incorporating comments from client.

2345 S. Gaffey Historic Resources Report, 2345 Gaffey Avenue, Los Angeles County, CA

Architectural Historian

CLIENT: LLC/Netarq Design Group

Assisted with the preparation of a report to private property owner for CEQA compliance. Conducted research and prepared written report detailing the building's architectural significance and eligibility for the NRHP, CRHR, Los Angeles Historic-Cultural Monument, and a Historic Preservation Overlay Zone.

National Trust for Historic Preservation

Heritage Travel, National Trust for Historic Preservation, Los Angeles, California, 2008-2009.

As Senior Account Executive, worked with west-coast communities and destinations to improve their marketing efforts to heritage and cultural travelers through new website, Gozaic.com. Working from Los Angeles office, participated in developing and executing marketing strategies both for the company and our clients. Represented company at professional conferences. Utilized Salesforce database to ensure timely communication with clients.

American Battlefield Protection Program, National Park Service

NPS Grants Administration, National Park Service Headquarters, 2007-2008. As Historic Preservation Specialist, evaluated applications, monitored projects, coordinated reporting and organized workshops for

grant recipients for \$1.5 million annual grant program. Reviewed deliverables such as NRHP nominations, easements, cultural resource inventories and management plans.

Section 106 Review, National Park Service Headquarters, 2007-2008. As Historic Preservation Specialist, reviewed projects potentially effecting historic battlefields for which the American Battlefield Protection party was a consulting party. Prepared comments to consultants evaluating projects and their potential effects on historic resources, and made recommendations for mitigation of projects adversely effecting historic battlefields.

Update of Civil War Sites Advisory Commission Report on the Nation's Civil War Battlefields, National Park Service Headquarters, 2007-2008. Conducted onsite evaluation and boundary determinations for Civil War battlefields in Charleston, South Carolina, and Leesburg, Virginia. Coordinated national survey of preservation activities at 384 Civil War battlefields for report to Congress. Identified changes in condition and threats, as well as preservation opportunities.

National Park Service History Program and HABS/HAER/HALS/CRGIS

HABS/HAER/HALS/CRGIS Online Publications, National Park Service Headquarters, 2006-2007. As Project Manager, redesigned navigation, content and design of HABS/HAER/HALS/CRGIS website and NPS History Program website. Created online publications for NPS History including Abraham Lincoln web feature, Teaching with Historic Places Lesson Plan on lighthouses, and Maritime Resources of Massachusetts travel itinerary.

Maritime Heritage Program, National Park Service Headquarters, 2006-2007. As Historian, maintained national inventory of historic lighthouses and ships for Maritime Heritage Program. Reviewed applications for the transfer of federally-owned historic light stations, under the National Historic Lighthouse Preservation Act of 2000.

National Park Service Cultural Resources Web Team, 1999-2008. As Team Member, assessed popularity and usability of web materials, and established guidance to achieve increased visibility. Served on subcommittee for website redesign, participated in focus group and usability testing.

National Register of Historic Places, National Park Service

Consultation on Review of National Register of Historic Places and National Historic Landmark Nominations, 1998-2006. As Historian, contributed to peer review of multiple nominations. Edited NHL nomination for Ryman Auditorium, Nashville, Tennessee. Wrote comments for return of Spud Drive-in Theater nomination, Driggs, Idaho to SHPO. Developed presentation for national conference: "America at Play: Documenting and Evaluating Recreational Resources with the National Register of Historic Places."

Public Outreach for NRHP, 1998-2006. As Historian, contributed to publication of printed and online materials to increase awareness of and understanding of NRHP. Provided guidance on listing properties, benefits of listing, and pertinent laws and regulations. Assisted with development of public workshops, production of brochures, bulletins, power point presentations and exhibits. Assisted with the final editing and printing of two NRHP bulletins: "Telling the Stories Planning Effective Interpretive Programs for Properties Listed in the National Register of Historic Places" and "Historic Residential Suburbs: Guidelines for Evaluation and Documentation for the National Register of Historic Places." Helped monitor the reprinting of several other NR technical bulletins, which provide standards and guidelines for evaluating historic properties.

Discover our Shared Heritage Travel Itineraries, 1998-2006. As Historian and Team Leader, coordinated the production of 38 travel itineraries developed in partnership with state and local governments, and private organizations. Each travel itinerary was created to highlight historic sites listed in the NRHP, increase awareness of the diverse and representative historic places across the United States, encourage heritage

tourism, and provide a valuable educational resource. Managed project development and supervised team members, evaluated new proposals, established work plans, coordinated launch and press releases, researched, wrote and edited historical descriptions, essays and program talking points, created graphics, web pages and PowerPoint presentations.

Development of Thematic Features, NRHP, National Park Service Headquarters, 1999-2006. As Historian, designed, researched and wrote content for periodic thematic features, highlighting the diversity of historic sites listed in the NRHP. Themes included African American History, Asian Pacific Heritage, Hispanic Heritage, Women's History, American Indian Heritage, Preservation Month, Veterans Day, National Park Week, and Family History Month.

Arlington Heritage Alliance

Chair and Board Member of Arlington Heritage Alliance, Arlington, Virginia, 2000-2008. As Chair, determined and guided the initiatives of local historic preservation non-profit organization. Developed projects and publications to broaden local preservation constituency. Developed and facilitated numerous small and large meetings of preservation constituents, including community-wide preservation planning committee. Represented organization at public meetings and in communication with local and national elected officials. Evaluated local development and preservation plans. Developed "My Historic House" program to encourage sensitive renovations and additions. Judged Arlington Historic Preservation Design Awards.

Recent Past Preservation Network

Founder, Recent Past Preservation Network, 2000-2006. As one of the founders, and inaugural Board Member, of a new national preservation non-profit, guided the organization's direction and initiatives, helped develop short- and long-term goals and objectives. Developed and facilitated annual membership meetings. Worked with legal council to file incorporation paperwork and secured 501(c)3 status with the IRS. As Treasurer, prepared and monitored five-year projected budget, filed annual reports, and analyzed fiscal feasibility of proposed projects.

Marietta Manor, Prince George's County, Maryland

Building Restoration, 1996. As Assistant Site Manager, contributed to final stages of restoration of the 1812 Federal home of Supreme Court Justice Gabriel Duvall. Developed and helped implement an interior paint plan based on paint analysis.

Museum Operations, 1996. As Assistant Site Manager, lead interpretative tours for school groups and the general public. Assisted with event planning for on-site programs and the County's Tri-centennial Celebration.

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Laura Taylor Kung, M.A.

Architectural Historian

Total Years of Experience: 9

Education:

M.F.A. 2011/Fiction and Literature/Bennington College
M.A. 1998/Historic Preservation Planning/Cornell University
B.A. 1993/Art History/DePaul University

Professional Profile:

Ms. Kung has nine years of experience in historic preservation and planning, including the completion of local and state building surveys, Historic Building Inventory and Evaluation documents, National Register nominations, Historic American Building Survey (HABS) submissions, Historic Structure Reports and Cultural Resources management plans.

Selected Project Experience:

Historic Context Statement for the City of Monrovia, Los Angeles County, CA
Architectural Historian

CLIENT: City of Monrovia

Assisted in the development a citywide historic context statement for Monrovia, including recommendations for historic districts. Contexts and themes were identified and defined based on a windshield survey of the city, archival research using primary and secondary resources, and review of previous evaluations.

Historic Resources Survey of the Works of Architect Loch Crane, San Diego County, CA
Architectural Historian

CLIENT: HELIX Environmental Planning

Researched and surveyed the work of San Diego architect Loch Crane. Developed a context based on survey findings, archival research of reviews of previous evaluations. The report included Department of Parks and Recreation (DPR) primary forms for 30 identified properties.

Cultural Resources Evaluation Report Clairemont High School Whole Site Modernization, San Diego County, CA
Architectural Historian

CLIENT: BRG Consulting

Prepared a historic evaluation report for eight buildings on the Clairemont High School campus in advance of modernization projects. Efforts included a site visit, photographic documentation of the buildings, and archival research. The evaluation included preparation of California DPR forms

Historic Resource Evaluation Memo for 110 and 132 East Crowther Avenue, Orange County, CA
Architectural Historian

CLIENT: HELIX Environmental Planning

Prepared an evaluation for two industrial properties located in the City of Placentia. Reviewed previous surveys, assessor's building records, and chain of ownership for the properties. Conducted an intensive pedestrian survey of the properties and a reconnaissance survey of the neighborhood to consider a potential historic district. The evaluation was conducted to consider the eligibility of the properties under NRHP, CRHR, and City of Placentia eligibility criteria and in compliance with CEQA.

Historic Resource Evaluation Memo for 1019 North Orange Grove Avenue, Los Angeles County, CA
Architectural Historian

CLIENT: 1019 North Orange Grove, LLC

Prepared an evaluation for a property located in the City of West Hollywood. Reviewed previous surveys, assessor's building records, and chain of ownership for the properties. Conducted an intensive pedestrian survey of the property and a reconnaissance survey of the neighborhood to consider a potential historic district. The evaluation was conducted to consider the eligibility of the properties under NRHP, CRHR, and City of West Hollywood eligibility criteria and in compliance with CEQA

Architectural History Technical Report for Muroc Joint Unified School District Facilities at Edwards Air Force Base, Kern County, CA

Architectural Historian

CLIENT: Muroc Joint Unified School District (MJUSD)

Prepared a technical report as part of a cultural resources study of five MJUSD campuses located on Edwards Air Force Base, based on an intensive-level pedestrian survey of the five schools and archival research. Included in the work effort was preparation of Department of Parks and Recreation (DPR) district and primary forms. The report was prepared in compliance with Section 106 of the National Historic Preservation Act (NHPA), the National Environmental Policy Act (NEPA), and the California Environmental Quality Act (CEQA).

On-Call Preservation Services for County of Los Angeles, Los Angeles County, CA

Architectural Historian

CLIENT: County of Los Angeles

Currently working with the County under its new Preservation Ordinance to review of proposed projects at specific residential sites. Work is performed to ensure compliance with the Secretary of the Interior's Standards for property owners to determine eligibility for Mills Act tax credits. Several of the properties reviewed are in the County's first designated historic district, the View Park Historic District.

Historic Context Report, San Bernardino County, CA

Historian

CLIENT: BNSF Railway Company

At a previous firm, wrote detailed history and significance of railroad construction.

State Inventory and Evaluation Forms, Los Angeles County, CA

Architectural Historian

CLIENT: City of Monrovia

At a previous firm, wrote building descriptions for 150 domestic and commercial buildings.

State Inventory and Evaluation Forms, Los Angeles County, CA

Architectural Historian

CLIENT: City of South Pasadena

At a previous firm, conducted field research, took photographs and wrote descriptions for 300 properties.

Historic American Building Survey, Los Angeles County, CA

Architectural Historian

CLIENT: Walt Disney Company

Research and wrote descriptive section of submission for Grand Central Terminal building.

State Inventory and Evaluation Forms, Riverside County, CA

Architectural Historian

CLIENT: City of Riverside

Wrote building descriptions and significance for over 1,500 domestic and commercial buildings.

State Inventory and Evaluation Forms, Los Angeles County, CA

Architectural Historian

CLIENT: City of Pasadena

Conducted field research and wrote building descriptions for 175 domestic and commercial buildings. Researched history and significance of 100 buildings.

Historic American Building Survey, Kelly Air Force Base, Bexar County, TX
Architectural Historian

CLIENT: U.S. Air Force

Conducted field research and completed HABS Level II documentaries for four buildings scheduled for re-use.

Historic Building Inventory and Evaluation for 18 Radar Sites, AK
Historian

CLIENT: U.S. Air Force

Evaluated findings from field research to determine Cold War significance of buildings and structures. Prepared report outlining findings and provided descriptions of both contributing and non-contributing buildings.

Cultural Resources Management Plan, Lajes Air Force Base, Azores, Portugal
Historian

CLIENT: U.S. Air Force

Prepared cultural resources plan to assist in management decision of the Portuguese-owned, United States-operated Air Force Base.

National Register Nomination, Lexington Blue Grass Army Depot, Madison County, KY
Architectural Historian

CLIENT: U.S. Army

Prepared ten individual forms to accompany multiple property nomination.

Historic Building Inventory and Evaluation, Air Force Plant 42, Los Angeles County, CA
Historian

CLIENT: U.S. Air Force

Conducted an evaluation of World War II and Cold War facilities.

New York State Historic Building Inventory, Madison County, NY
Architectural Historian

CLIENT: City of Morrisville

Conducted historic research of ten Main Street buildings. Prepared inventory forms for submission to state historic preservation office.

National Register Nomination, Lincoln Park, Cook County, IL
Intern

CLIENT: Chicago Park District

Research history of major city park. Organized data gathered from volunteer surveys to determine possible significance. Wrote description section of nomination as part of multiple property nomination.

Historic Preservation Teaching Assistance, Tompkins County, NY
Teaching Assistant

CLIENT: Cornell University

Provided lecture assistance and reviewed student work for Building Materials Conservation and Twentieth Century Building Materials courses. Conducted lectures and provided student assistance for Preservation Workshop.

Historic American Building Survey, Ontario County, NY
Architectural Historian

CLIENT: Cornell University

Conducted historic research and completed measured drawing of one evaluation of a deteriorated Italianate Style house. Completed drawings were submitted to HABS.

Historic Structures Report for Heacock House, Mahoning County, OH
Architectural Historian

CLIENT: Cornell University

Responsible for researching the complete history and physical evaluation of a structure. Provided recommendations and cost estimates for three possible restoration plans.

APPENDIX D
Chains of Title

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Chain of Title

6422 Selma Avenue

1912-1932 Edward Louis Baker
1932 Caroline Baker
1933 Estate of Caroline Baker
1934-1945 Selena E. Cluss
1945-1972 Glenn T. and Marian J. Wellington
1972-1978 Sabin P. Sturtevant and Sarah S. Lee
1978-1985 CTS Investments and Sarah S. Lee
1985-1988 Carroll Parish and Sybil Kerns
1988 Sybil Kerns
1989 Kerns and Associates
1989-1996 Ronald and Lucinda Michaelson
1996-2018 Ronald E. Michaelson Trust
September 2018 Lucinda Michaelson Trust
November 2018 6422 Selma Owner, LLC c/o Martin Colvin

Known owners 1550 North Wilcox Avenue

1921-1926 Lewis G. and Evelyn S. Burmann
1929-1936? Lewis G. Burmann
1937 Title Insurance and Trust Company
1937-1956 I.C. Gordean and B.T. Schreiber
1956-1987 Meyer Naxon and Nicholas Fletcher
1987-2013 Bee Patel

APPENDIX E
Building Permits

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3

APPLICATION TO ALTER, REPAIR MOVE OR DEMOLISH

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

From Lot 4 To Lot 1754 Present location of building 6422 Selma Ave New location of building 6422 Selma Ave Between what cross streets Calhoun Blvd & Wilcox Ave

USE INK OR INDELIBLE PENCIL 1. Present use of building Store Families Rooms 2. State how long building has been used for present occupancy 8 yrs 3. Use of building AFTER alteration or moving Store Families Rooms 4. Owner Glenn Wellington Phone 4138 5. Owner's Address 2747 No Beverlywood F.O. Los Angeles 25th St 6. Certificated Architect Paul Hayes State License No. Phone 7. Licensed Engineer Geo E Brandon State License No. Phone 8. Contractor Price Bros State License No. Phone 9. Contractor's Address 701 No Line 10. VALUATION OF PROPOSED WORK \$ 2000 11. State how many buildings NOW ONE on lot and give use of each (Store, Dwelling, apartment house, Hotel or other purpose) 12. Size of existing building 78 x 140 Number of stories high 1 Height to highest point 20' 13. Material Exterior Walls Brick Exterior framework (Wood or Steel) 14. Describe briefly all proposed construction and work Cement front replacing brick front

NEW CONSTRUCTION 15. Size of Addition 17'-2" x 17'-6" Size of Lot 47'-2" x 140' Number of Stories when complete 4 16. Footing: Width 4 Depth in Ground 1'-6" Width of Wall 12" Size of Floor Joists 2x8 17. Size of Studs x Material of Floor 2x4 Size of Rafters x Type of Roofing Gable

I hereby certify that to the best of my knowledge and belief the application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here (Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY (1) PLAN CHECKING Receipt No. Valuation \$ 2000 Fee Paid \$ 3 (2) REINFORCED CONCRETE Bbls. Cement Tons of Reinforcing Steel (3) The building referred to in this Application will be more than 100 ft. from Street Sign here Owner or Authorized Agent TYPE GROUP Maximum No. Occupants Inside Lot Corner Lot Key Lot Corner Lot Kept Zone Fire District NE No. Street Widening Fee 9.00 PERMIT No. 21951 Plans Specifications checked Corrections Verified Plans Specifications and Application reviewed and approved PLANS Application checked and approved State Seal AUG 6 1955 Clerk SPRINKLER Inspector

199-46-30000-10K

Date 4-27-75

SEARCHED
SERIALIZED
INDEXED
FILED

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. 4 Tract 1754

Location of Building 6422 S. Ina Ave. Approved by City Engineer [Signature]

Between what cross streets 4th St. to 5th St. (Cross Street and Street)

- 1. Present use of building Drive In Auto Supply Families Rooms
2. State how long building has been used for present occupancy 10 years
3. Use of building AFTER alteration or moving Same Families Rooms
4. Owner Clyde Wellington
5. Owner's Address 6422 Selma P. O. Hollywood, Calif.
6. Certificated Architect
7. Licensed Engineer
8. Contractor Coastal Overhead Door Co. State License No. 99989
9. Contractor's Address 4625 Exposition Blvd.

VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment thereof, or removal) \$ 700.00

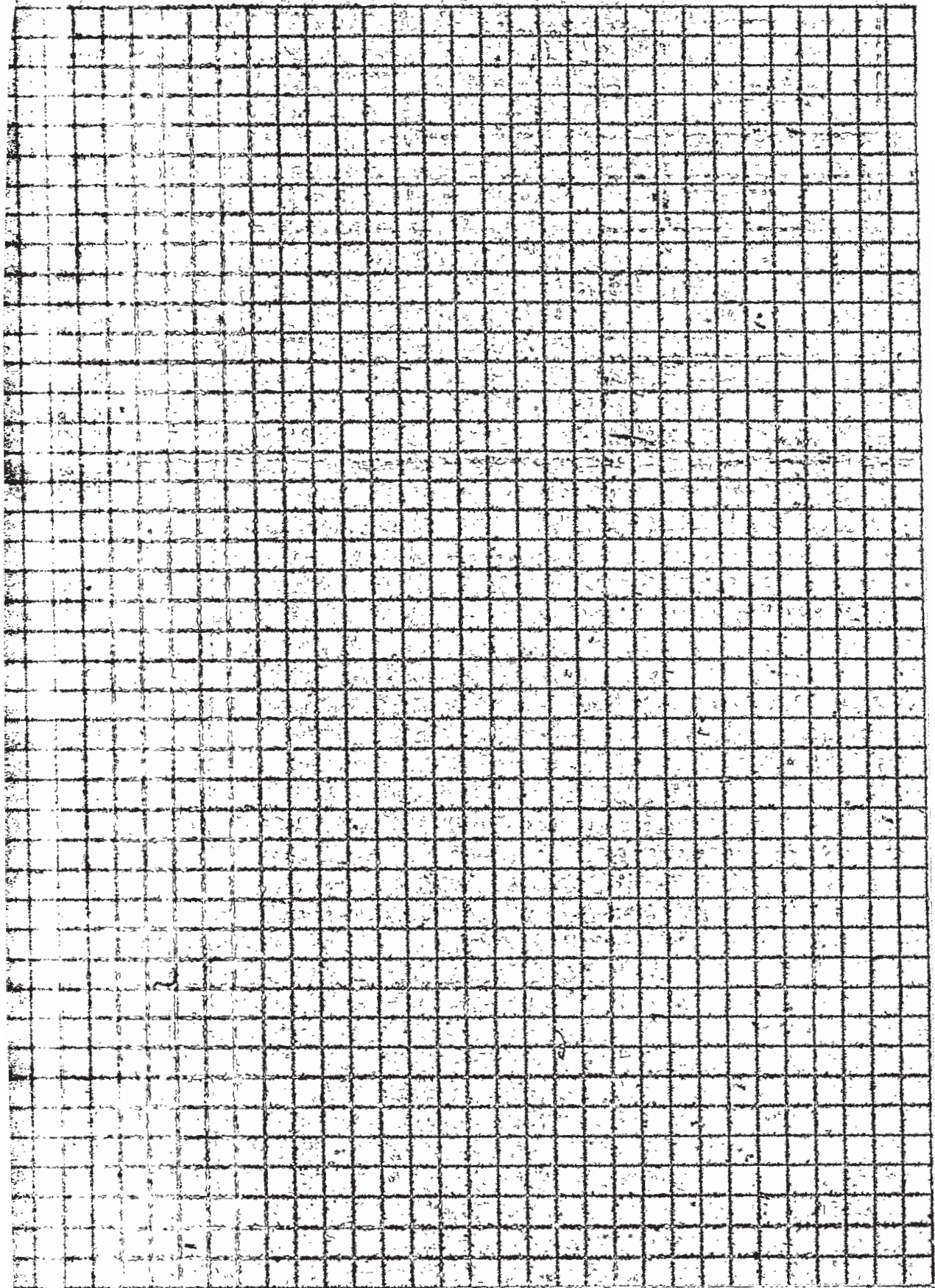
- 11. State how many buildings NOW on lot and give use of each One - Drive In Auto Supply
12. Size of existing building Number of stories high 1 Height to highest point 28'
13. Material Exterior Walls BRICK Exterior framework BRICK
14. Describe briefly all proposed construction and work: Remove Portion of Front, New Window Space Remodel for Attached Port & Placing Sectional Overhead Door in New Opening, wgt. of door will not be carried on 2" I-beam

NEW CONSTRUCTION

- 15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joist x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance. Signed Coastal O.H. Door Co. (Drawing Authorized Agent) By [Signature]

Table with columns: PLAN CHECKING (Receipt No. 2953, Valuation \$ 700, Fee Paid \$ 250), (2) REINFORCED CONCRETE, FEES (Bldg Per 4.60, Cart. of Occupancy, Total 4.50), TYPE GROUP (DIA C), PREMIT No. (3758), PLANS (C. W. Kiger), and other permit details.



APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

DIST. MAP	1. LEGAL LOT 4	BLK.	TRACT 1754
ZONE	2. BLDG. ADDRESS 6422 West Selma		APPROVED
FIRE DIST.	3. BETWEEN CROSS STS. Wilcox AND Cahuenga		
INSIDE KEY	4. PRESENT USE OF BLDG. Garage	NEW USE OF BLDG. same	
COR. LOT	5. OWNER Glen T. Willington		
REV. COR. LOT SIZE X	6. OWNER'S ADDRESS 6422 Selma		
REAR ALLEY	7. CERT. ARCH.		STATE LICENSE NUMBER
SIDE ALLEY			STATE LICENSE NUMBER
BLDG. LINE	8. LIC. ENG.		STATE LICENSE NUMBER
AFFIDAVITS	9. CONTRACTOR Willard-Brent		STATE LICENSE NUMBER
BLDG. AREA	10. SIZE OF EX. BLDG. 48 X 138 STORIES 1 HEIGHT		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO. <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST: <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER

3 6422 W. Selma Ave.

VALIDATION LA46449		UN-22-56	58692	B-2CK	1.00
TYPE IIIA	GROUP F-1	MAX. OCC. No Change	UN-22-56	58693	B-1CK 3.50

DIST. OFFICE

C. OF O. ISSUED **P.C. 1.00 B.P. 3.50**

DWELL. UNITS	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG. \$ 490.00	VALUATION APPROVED <i>[Signature]</i>
PARKING SPACES	13. SIZE OF ADDITION X STORIES HEIGHT	APPLICATION CHECKED <i>[Signature]</i>
GUEST ROOMS Selma Ave & exit	14. NEW WORK: Parapet corr. along Selma Ave & exit MATERIAL EXT. WALLS court MATERIAL ROOF	PLANS CHECKED <i>[Signature]</i>
FILE WITH	<p>I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation/insurance.</p> <p style="text-align: center;"><i>[Signature]</i> SIGNED</p> <p>This form when properly validated is a permit to do the work described.</p>	CORRECTIONS VERIFIED <i>[Signature]</i>
CONT. INSP.		PLANS APPROVED <i>[Signature]</i>
		APPLICATION APPROVED <i>[Signature]</i>

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.



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PERMIT APPLICATION FOR INSPECTION OF SIGNS

B&S B-5-R.8-74

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

5-1

1. LOT LEGAL DESCR.	4	BLK.	TRACT	1754	DIST. MAP	4755	CENSUS TRACT	1907.00
2. TYPE OF SIGN OR NEW WORK	<input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL			ZONE	C4-4			
(19) Projecting sign								
3. JOB ADDRESS	6422 Selma Ave.			FIRE DIST.	1			
4. BETWEEN CROSS STREETS	Wilcox Ave. AND Cahuenga Blvd.			LOT (TYPE)	key			
5. OWNER'S NAME	Hollywood Auto Parts			PHONE				
6. OWNER'S ADDRESS	same	CITY	Hollywood	ZIP	47.30x140			
7. ARCHITECT OR ENGINEER	ACTIVE STATE LICENSE NO.			PHONE	ALLEY			
8. QUALIFIED INSTALLER	ACTIVE STATE LICENSE NO.			PHONE	BLDG. LINE			
9. BRANCH LENDER	ADDRESS			CITY	AFFIDAVITS			
10. SIZE OF EXISTING BUILDING	TYPE	STORIES	EXT. WALL CONST.	ROOF CONST.				
11. SIZE OF SIGN	TOTAL COPY AREA	OVERALL HEIGHT	FROM GRADE	FROM ROOF				
12. MATERIAL OF SIGN CONSTRUCTION	SUPPORTING FRAME	FRAME OF COPY	SURFACE OF SIGN					
13. JOB ADDRESS	6422 Selma Ave.			DIST. OFFICE	LA			
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED SIGN	\$ 810			GRADING				
15. TYPE OF SIGN OR NEW WORK	<input type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> DOUBLE FACE			CONS.				
16. ILLUMINATION	<input type="checkbox"/> None <input checked="" type="checkbox"/> INTERNAL <input type="checkbox"/> EXTERNAL			<input type="checkbox"/> FLASHING <input checked="" type="checkbox"/> REVOLVING	OTHER		ZONED BY	
17. NO. OF SIGNS OR GAS TUBE SYSTEMS	1	NO. OF ADDITIONAL BRANCH CIRCUITS	0	NO. OF CONTROL DEVICES	1		FREEWAY CHECKED	
CLEARANCES AND/OR APPROVALS REQUIRED	ELECTRICAL PERMIT FEES			PLANS CHECKED		FREEWAY CLEARED		
Yes No	SIGN/G.T. SYSTEMS			PLANS APPROVED		DATE		
TRAFFIC DEPT.	ADDITIONAL CIRCUITS			APPLICATION APPROVED		FILED WITH		
BOARD	BLDG. PERMIT			CONT. INSP.		INSP. ACTIVITY		INSPECTOR
P.C.	ISSUING FEE			I.F.		G.P.I.		TYPIST
P.C. NO.	S.P.C.			E.P. TOTAL		PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.		

CASHIER'S USE ONLY

MAY-27-75 74683 E : 8216 U 11-6 EK 9.22
MAY-27-75 23.60

STATEMENT OF RESPONSIBILITY

I certify that in doing the work specified herein, I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

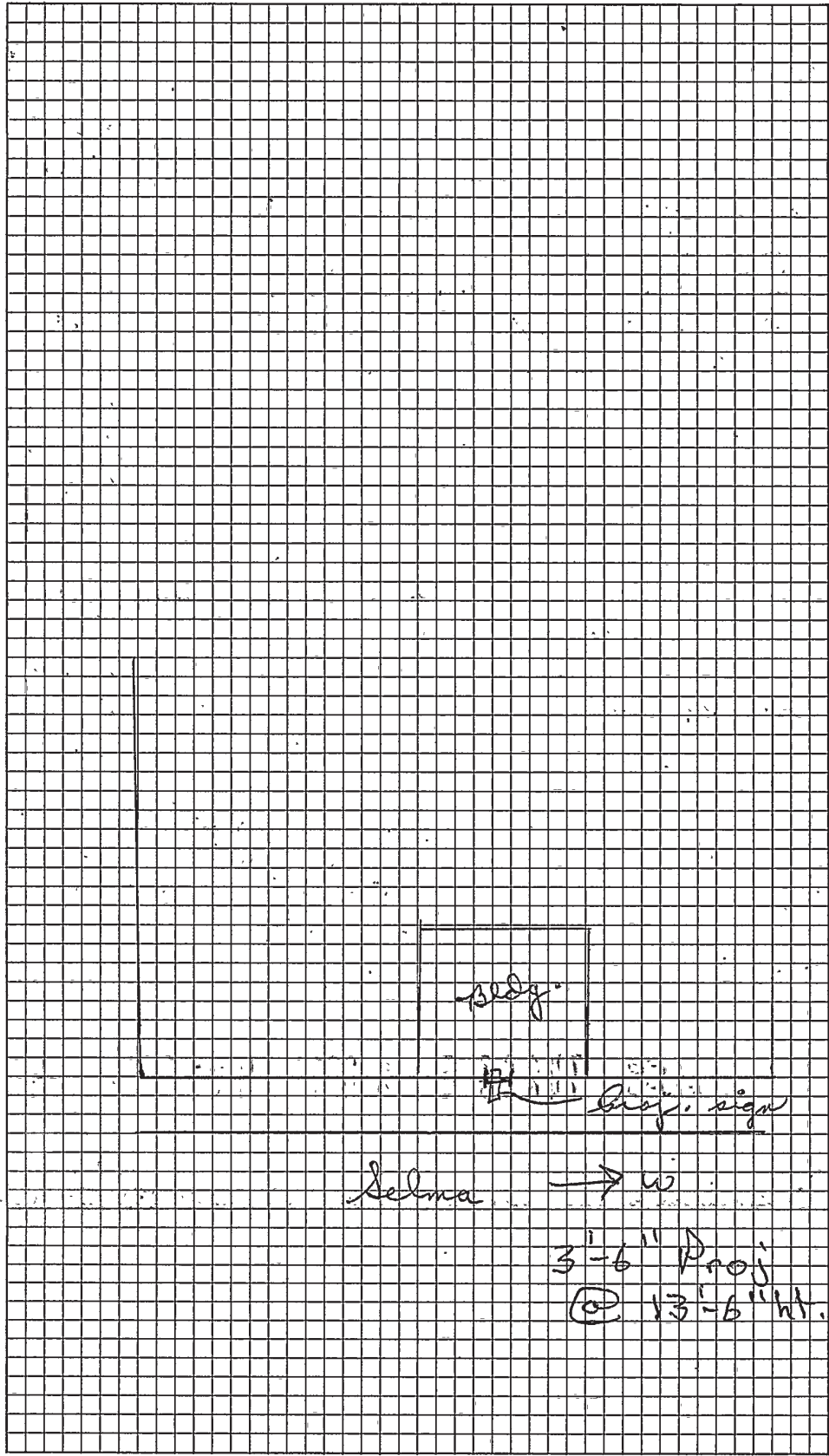
"This permit is an application for inspection, the issuance of which is not an approval of an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed D. A. Bennett
(Owner or Agent)

Signature/Date Lawson -4-27-75

Bureau of Engineering	ADDRESS APPROVED	
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/>	
Traffic	APPROVED FOR ISSUE	
Municipal Arts	APPROVED FOR ISSUE	
Planning	APPROVED UNDER CASE #	

Board of Building and Safety Commissioners File #



ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

3

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

Form with numbered sections 1-15. Section 1: LOT 4, BLOCK, TRACT 1754, COUNCIL DISTRICT NO. 13, DIST. MAP 4755, CENSUS TRACT 1907. Section 2: PRESENT USE OF BUILDING (16) Retail store, NEW USE OF BUILDING (13) Offices/Leading. Section 3: JOB ADDRESS 6422 Selma Avenue. Section 4: BETWEEN CROSS STREETS Wilcox AND Cahuenga. Section 5: OWNER'S NAME Jeff Kerns, PHONE 654-3000. Section 6: OWNER'S ADDRESS 8501 Hillside Ave., L.A. 90068. Section 7: ENGINEER. Section 8: ARCHITECT OR DESIGNER Fred Fisher On File, C010281, 451-1767. Section 9: ARCHITECT OR ENGINEER'S ADDRESS 1422 Second Street, Santa Monica 90401. Section 10: CONTRACTOR To be selected. Section 11: SIZE OF EXISTING BLDG. WIDTH 47, LENGTH 137, STORIES 1, HEIGHT 20. Section 12: CONST. MATERIAL Masonry, ROOF Compo, FLOOR Conc. Section 13: JOB ADDRESS 6422 Selma Avenue. Section 14: VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. Section 15: NEW WORK (Describe) misc. Change of Use, interior alterations & remodeling.

DECLARATIONS AND CERTIFICATIONS LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. Date Lic. Class Lic. Number Contractor (Signature)

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500). I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale. I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law. I am exempt under Sec. B. & P. C. for this reason. Date Jan 13, 1986 Owner's Signature Jeff Kerns

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.). Policy No. Insurance Company. Certified copy is hereby furnished. Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety. Date Applicant's Signature

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California. Date Applicant's Signature

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.). Lender's Name Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the City of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 L.M.C.)

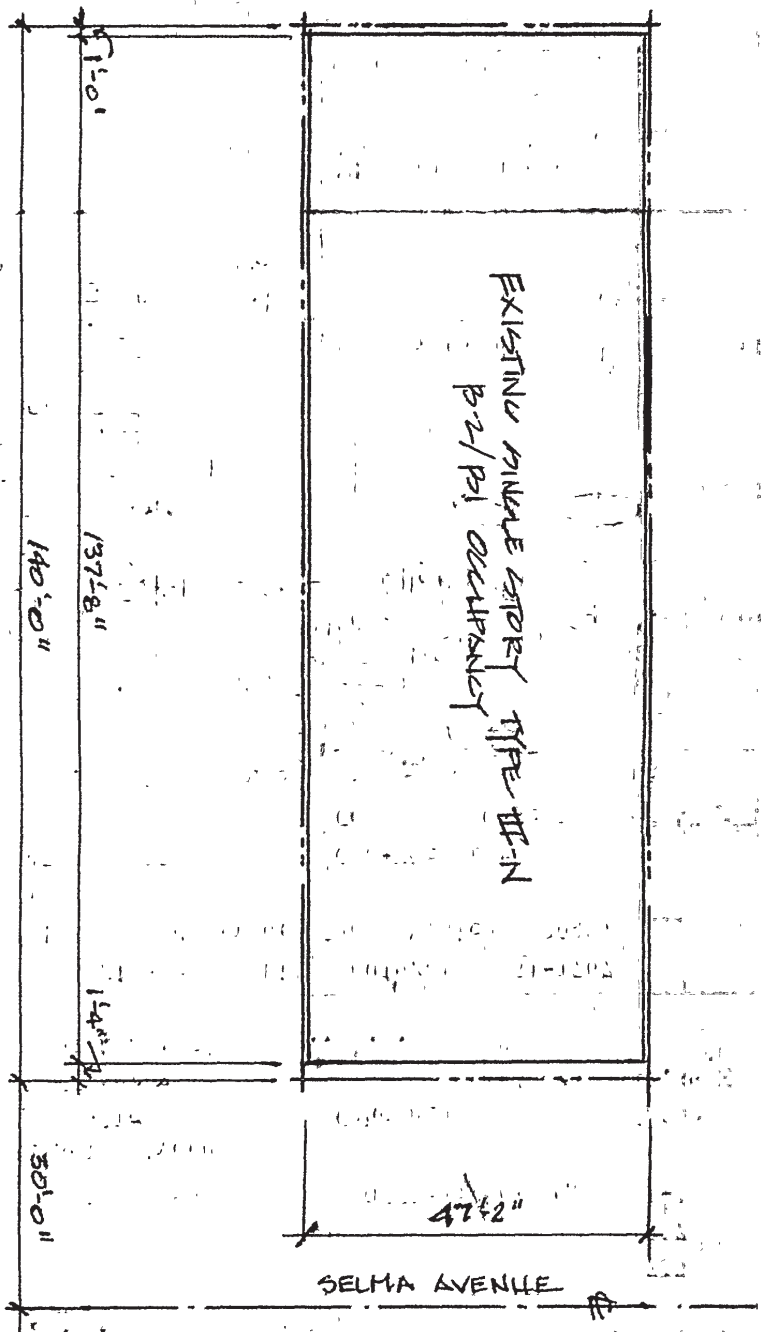
Signed Jeffery Kerns V. President Date Jan 13, 1986

CASHIER'S USE ONLY stamp with handwritten amounts: 447.52, 246.50, 8.95, 5.11, 246.50, 8.95, 5.11, 246.50, 8.95, 5.11. Includes date 11/701/85 and amount 456.47 CHTD.

1 2 3 8 4 0 0 4

BUTLER 1/15/86

Variance for 140'-0" separation of exits
in lieu of Div 33 requirements was
approved 12/19/85.

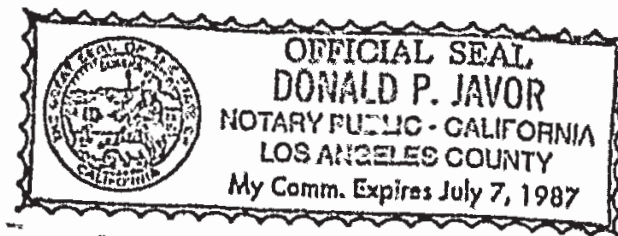


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STATE OF CALIFORNIA)
) SS
COUNTY OF LOS ANGELES)

On January 13, 1986 before me, the undersigned, a Notary Public in and for said State, personally appeared Jeffrey Kerns, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same.

WITNESS my hand and official seal.



Signature Donald P. Javor.

Donald P. Javor

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Bldg-Alter/Repair Commercial Express Permit No Plan Check	City of Los Angeles - Department of Building and Safety APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY	Issued On: 05/12/2008 Last Status: Issued Status Date: 05/12/2008
--	--	---

1. TRACT	BLOCK	LOT(s)	ARB	MAP REF #	PARCEL ID # (PIN)	2. BOOK/PAGE/PARCEL
TR 1754		4		M B 20-101	148-5A187 326	5546 - 013 - 003

3. PARCEL INFORMATION

Area Planning Commission - Central LADBS Branch Office - LA Council District - 13 Certified Neighborhood Council - Central Hollywood Community Plan Area - Hollywood	Census Tract - 1907.00 District Map - 148-5A187 Energy Zone - 9 Fire District - 1 (Entire parcel) Near Source Zone Distance - .9	Thomas Brothers Map Grid - 593-F4
--	--	-----------------------------------

ZONE(S): C4-2D /

4. DOCUMENTS

ZI - ZI-1352 Hollywood Redevelopmen	ORD - ORD-165660-SA180	CPC - CPC-1999-2293-ICO	CDBG - LARZ-Central City
ZI - ZI-2277 Hollywood Redevelopmen	ORD - ORD-173562	CPC - CPC-1999-324-ICO	CDBG - SEZ-Los Angeles State Enterp
ZI - ZI-2330 Hollywood Signage Suppl	CRA - ZI 1352 HOLLYWOOD	CPC - CPC-2003-2115-CRA	
ZI - ZI-2374 Los Angeles State Enterpri	CPC - CPC-1986-835-GPC	CDBG - BID-Hollywood Entertainment	

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):
Michaelson, Ronald E Co Tr Cowell Michael 6422 Selma Ave HOLLYWOOD CA 90028

Tenant:
Applicant: (Relationship: Net Applicant)
Steve Radenbaugh - 3310 Verdugo LOS ANGELES, CA 90065 (323) 254-2888

7. EXISTING USE	PROPOSED USE
(22) Warehouse	

8. DESCRIPTION OF WORK

Reroof with 59 sqrs BUILT UP roofing over new solid sheathing.

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: DAS PC By:
OK for Cashier: Coord. OK:
Signature: Date:

For Inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request Inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only W/O #: **81608008**
Project Name:

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$17,700	PC Valuation:
----------------------------	---------------

FINAL TOTAL Bldg-Alter/Repair	329.65
Permit Fee Subtotal Bldg-Alter/Repa	261.25
E.O. Instrumentation	3.72
O.S. Surcharge	5.70
Sys. Surcharge	17.10
Planning Surcharge	16.88
Planning Surcharge Misc Fee	5.00
Permit Issuing Fee	20.00

Sewer Cap ID: Total Bond(s) Due:

Payment Date: 05/12/08
Receipt No: IN0501135273
Amount: \$329.65
Method: Credit Card

12. ATTACHMENTS

2008EP13120

14. APPLICATION COMMENTS

E-Permit paid by credit card, fax number-> (323)254-3000. Approved Seismic Gas Shut-Off Valve May Be Required.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

(C) Bilt-Well Roof And Material Co

3310 Verdugo Road,

Los Angeles, CA 90065

CLASS LICENSE#

C39 458005

PHONE

3232542888

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **C39** Lic. No.: **458005** Contractor: **BILT-WELL ROOFING CO.,INC**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **STATE FUND INSURANCE** Policy Number: **1783600-2007**

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name (if any): _____ Lender's address: _____

21. FINAL DECLARATION

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **STEVE RADENBAUGH** Sign: **Internet e-Permit System Declaration** Date: **05/12/2008** Contractor Authorized Agent

EXPRESS PERMIT INSPECTION RECORD



For use by cashier only

Payment Date: 05/12/08
Receipt No: IN0501135273
Amount: \$329.65
Method: Credit Card

PERMIT #: 08016 - 90000 - 08008

ADDRESS: 6422 W Selma Ave

OWNER: Michaelson, Ronald E Co Tr Cowell Michaels
6422 Selma Ave
HOLLYWOOD CA 90028

Bldg-Alter/Repair
Commercial
Express Permit
No Plan Check

JOB DESCRIPTION: Reroof with 59 sqrs BUILT UP roofing over new solid sheathing.

INSPECTION RECORDS MUST BE AVAILABLE WHEN REQUESTED

GROUNDWORK INSPECTIONS		
Electrical		
Plumbing		
Gas Piping		
Heating & Refrigeration		
OK to Place Floor		
DO NOT PLACE FLOOR UNTIL ABOVE IS SIGNED		
ROUGH INSPECTIONS		
Electrical		
Plumbing		
Fire Sprinkler		
Heating & Refrigeration		
Roof Sheathing		
Framing		
Insulation		
Elevator		
Suspended Ceiling		
OK to Cover		

DO NOT COVER UNTIL PREVIOUS IS SIGNED		
Exterior Lathing		
Interior Lathing		
Drywall		
OK to Cover Walls		
DO NOT COVER UNTIL ABOVE IS SIGNED		
WORK OUTSIDE OF THE BUILDING		
Electrical Underground		
Gas		
Heating & Refrigeration		
Sewer		
FINAL INSPECTIONS		
Electrical		
Plumbing		
Gas		
Gas Test		
Heating & Refrigeration		
Elevator		
Fire Sprinkler		
LAFD (Title 19 only)		
LAFD Fire Life Safety		
PROJECT FINAL		

**FOR INSPECTION REQUESTS, PLEASE CALL
(888) LA-4BUILD (524-2845)
Outside LA County, call (213) 482-0000**

SUPPLEMENTAL NOTES: _____

IMPORTANT NOTICE

- * **Prior to the start of any construction work adjacent to any public way, pedestrian protection shall be provided (Sec. 91.3303 L.A.M.C.).**
- * Inspection(s) may be requested anytime via the Internet or touch tone phone. To request an inspection via the Internet, go to www.ladbs.org and click the "Inspection" link. To request an inspection via touch tone phone, call toll free (888) LA4BUILD (888-524-2845) and select option 1 for the Automated Inspection Request System. To request an inspection via the Customer Call Center between 7:00 a.m. and 5:00 p.m., select option 2. Outside LA County, call (213) 482-0000.
- * When requesting an inspection, the following information may be requested: job address, type of inspection, use of building, 15 digit permit number and a contact phone number of the person who can be reached on the day of the inspection. Inspection request(s) received by the Customer Call Center before 2:00 p.m. or Internet or Automated Inspection Request System before 3:00 p.m. can be requested for the following business day. An automated system will attempt to telephone the contact phone number before 10:00 a.m. on the day of the inspection.
- * Permit fees provide for a limited number of inspections. A re-inspection fee may be assessed when the work for which an inspection was requested is not ready, when inspection records are not available, or where no site access is made available.
- * **No person shall perform any construction or repair work between the hours of 9:00 p.m. (6:00 p.m. grading) and 7:00 a.m. the following day which results in loud noises to the disturbance of persons occupying sleeping quarters in any dwelling, hotel, motel, apartment, or other place of residence (Sec. 41.40 L.A.M.C.).**
- * No person, other than an individual homeowner engaged in the repair or construction of his/her single-family dwelling, shall perform any construction or repair work of any kind upon any building or structure located on land developed with residential buildings or perform work within 500 feet of land so occupied, before 8:00 a.m. or after 6:00 p.m. on any Saturday or at any time on Sunday (Sec. 41.40 L.A.M.C.).
- * Dust control measures to prevent dust from being blown or deposited over or upon any private property in any residential area must be implemented during any excavation or earth-moving phase of construction, sand blasting, or demolition.
- * Building permits are valid for two years or expire on the 180th day from the date of issuance if the work permitted has not commenced. The Department reserves the right to expire any permit where work has been suspended for a period of 180 days.
- * Inspection services will not be provided when there is an unleashed dog on the premises.

Intentionally blank

All Applications Must be Filled Out by Applicant

PLANS AND SPECIFICATIONS
and other data must also be filed

Bldg. Form 1

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

1

Application for the Erection of Buildings

CLASS ~~"A"~~ ~~"B"~~ "C"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

- First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.
- Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
- Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM No. 6 REAR OF NORTH ANNEX 1st FLOOR CITY CLERK PLEASE VERIFY

TAKE TO ROOM No. 405 SOUTH ANNEX ENGINEER PLEASE VERIFY

Lot No. 2, 3, & 5 Block 1754
(Description of Property)

District No. 32 1/4 M. B. Page 1018 F. B. Page 155
1546-48-30 110 - 1540-42

No. 1544 Wilcox Ave Street
1552
bet Selma & Sunset Blvd
(Location of Job)

(USE INK OR INDELIBLE PENCIL)

O.K. City Clerk
O.K. City Engineer

1. Purpose of Building Hotel No. of Rooms 72 No. of Families.....
2. Owner's name L. G. & Evelyn S. Burmann Phone Whitney 5287
3. Owner's address 1209 Redondo Hollywood
4. Architect's name Gogerty & Weyl Phone Holly 3045
5. Contractor's name Harry F. Jones Inc Phone " "
6. Contractor's address 820 Guaranty Bldg.
7. TOTAL VALUATION OF BUILDING {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ \$80,000.00
8. Any other buildings on lot at present? No How used?
9. Size of proposed building 80 x 124 Size of lot 145 x 127' 4" feet
10. Number of stories in height 3 Height to highest point 48'
11. Material of foundation Concrete Character of soil hard flat ground
12. Material of exterior walls Brick
13. Material of interior construction frame & steel
14. Material of floors Concrete and wood
15. Material of roof Composition & tile

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree, if a permit is issued, that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that the plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and State Laws.

OVER

(Sign here)

H. L. Gogerty
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>28867</u> 28867	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>8-15-22</u> <u>C. M. Butcher</u> Plan Examiner	Application checked and found O.K. <u>8/15</u> <u>W. H. G. H. K.</u> Clerk	Stamp Department of Buildings AUG 23 1922 L.A. Bldg. Div.
	(Signatures and initials)		

PLANS
 50
 1508

Ed. Turner (2)

8-15-22
 1508

FOR DEPARTMENT USE ONLY

APPLICATION	O.K. <i>CM</i>
CONSTRUCTION	O.K. <i>CM</i>
ZONING	O.K. <i>J</i>
SET-BACK LINE	O.K. <i>J</i>
ORD. 33761 (N. S.)	O.K. <i>J.M.</i>
FIRE DISTRICT	O.K. <i>CM</i>

REMARKS

Please change application
~~from 1544 Wilcox Ave -~~
~~to 1540 2-4-6-8-50-2 Wilcox Ave~~
 reason add 2 required
 Date 2/16/76 for L.K. Strickland (Owner or Agent)
Piece

Completed with forms

3

APPLICATION TO ALTER - REPAIR - DEMOLISH *Muller*
AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

DIST. MAP 4753	1. LEGAL LOT 2	BLK.	TRACT 1754
ZONE C-4	2. BLDG. ADDRESS 1550 N Wilcox	APPROVED BL	
FIRE DIST. 2	3. BETWEEN CROSS STS. SELMA	AND SUNSET	
INSIDE KEY X	4. PRESENT USE OF BLDG. Hotel	NEW USE OF BLDG Same	
COR. LOT	5. OWNER Gilbert Hotel		
REV. COR. LOT SIZE 50 x 140	6. OWNER'S ADDRESS 1550 N Wilcox		
REAR ALLEY	7. CERT. ARCH.	STATE LICENSE NUMBER	
SIDE ALLEY	8. LIC. ENG. G.H. Willson	STATE LICENSE NUMBER 2279	
BLDG. LINE	9. CONTRACTOR Interstate Neon Corp.	STATE LICENSE NUMBER 2279	
AFFIDAVITS	10. SIZE OF EX. BLDG. Aprox 80' x 80' STORIES 3 HEIGHT 38'		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE	ROOF CONST: <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER	

3 1550 N Wilcox

VALIDATION LA 30366	NOV-22-55	21084	B - 2 CK	2.00		
TYPE \$	GROUP 190	MAX. OCC.	NOV-22-55	21085	B - 1 CK	5.00
DIST. OFFICE LA	R.C. \$200		B.P. 5"			

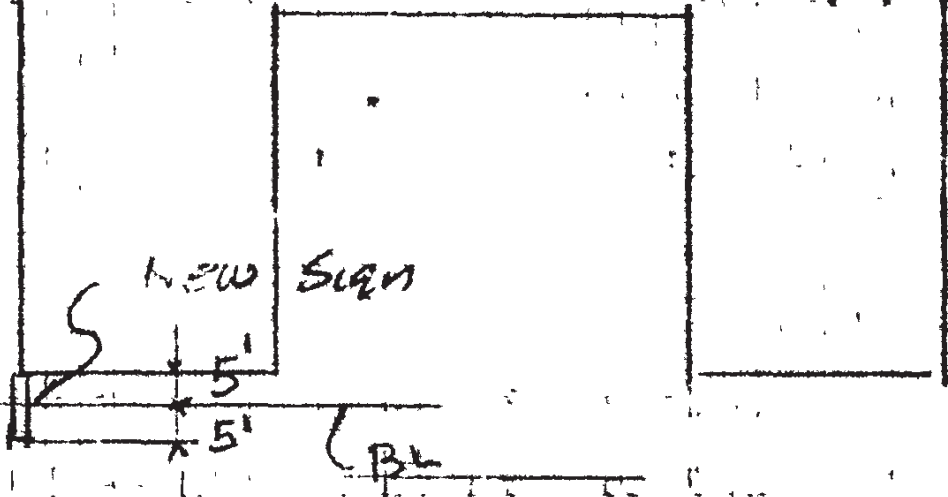
DWELL. UNITS	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG. \$ 800.00	VALUATION APPROVED <i>J.R. Murray</i>
PARKING SPACES	13. SIZE OF ADDITION X STORIES HEIGHT	APPLICATION CHECKED <i>J.R. Murray</i>
GUEST ROOMS	14. NEW WORK: Pr. Sign MATERIAL EXT. WALLS MATERIAL ROOF	PLANS CHECKED <i>J.R. Murray</i>
FILE WITH	<p>I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.</p> <p><i>G.H. Willson</i> SIGNED</p> <p>This form when properly validated is a permit to do the work described.</p>	CORRECTIONS VERIFIED
CONT. INSP.		PLANS APPROVED <i>J.R. Murray</i>
		APPLICATION APPROVED <i>J.R. Murray</i>

Drive way (Private)

80' Approx

80' Approx

3-Story Brick Hotel.



1550 N. Wilcox

Plot Plan

APPENDIX F
Sanborn Maps

Intentionally blank

W. PROSPECT 8

AV. 8

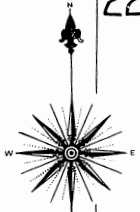
9

E. PROSPECT

21

MAY 1907
HOLLYWOOD
CAL.

22



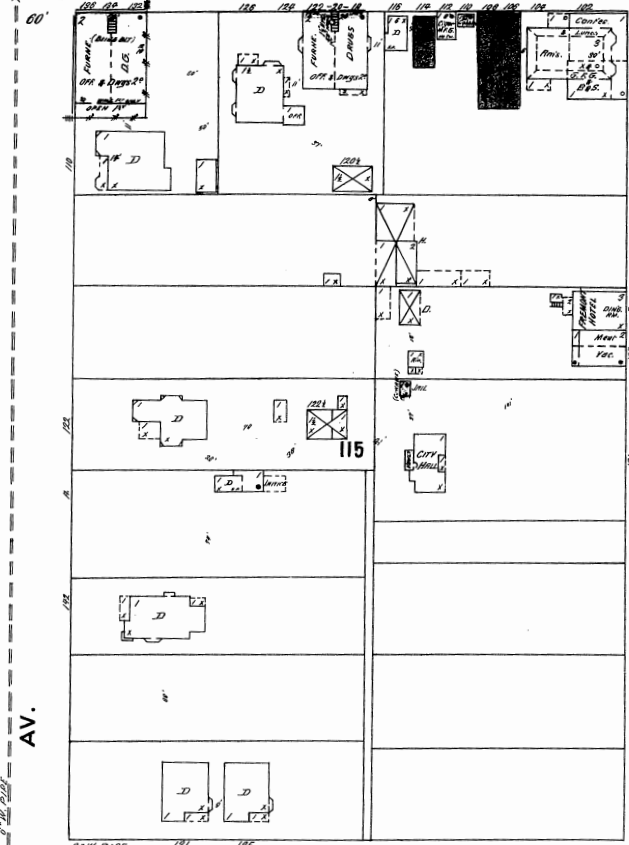
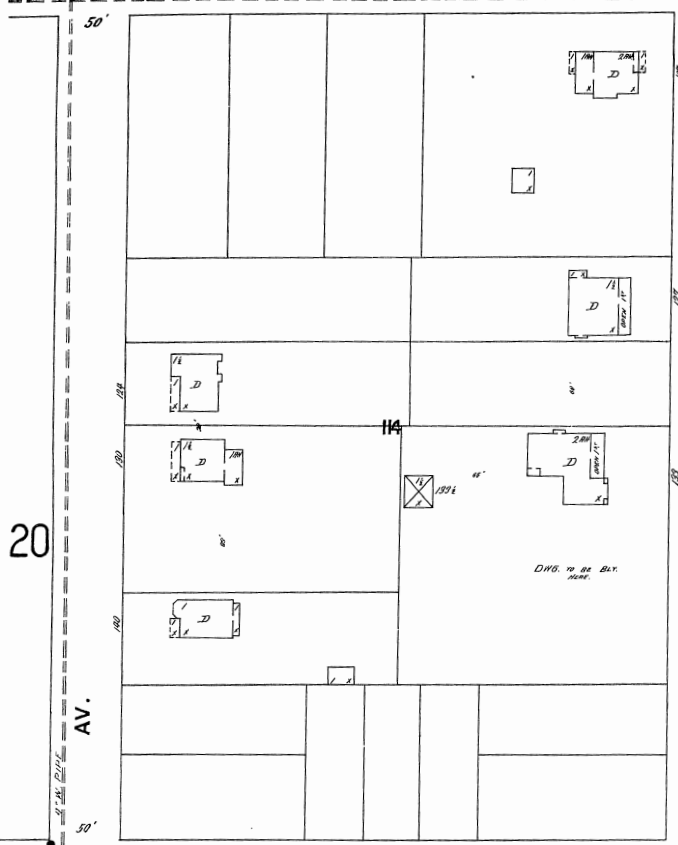
AV.

E. SELMA

S. CAHUENGA

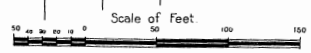
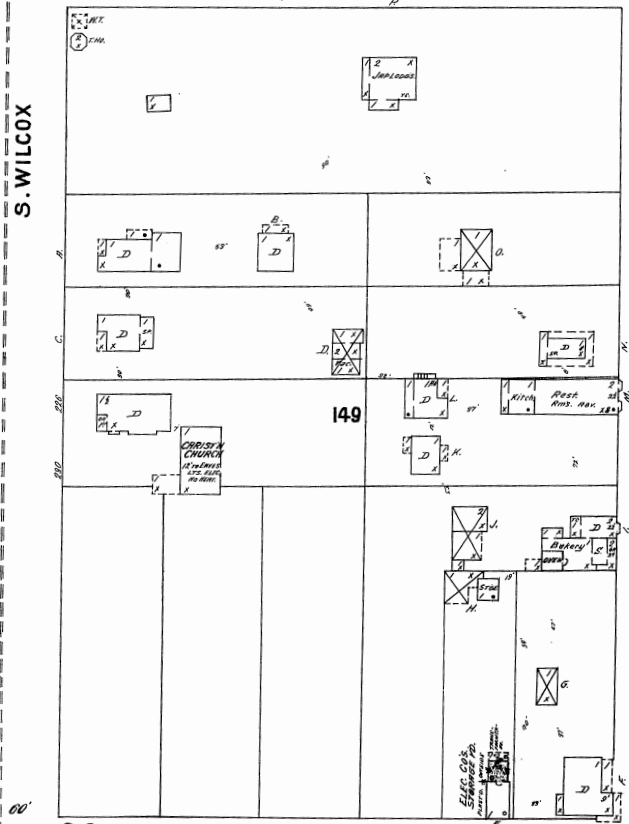
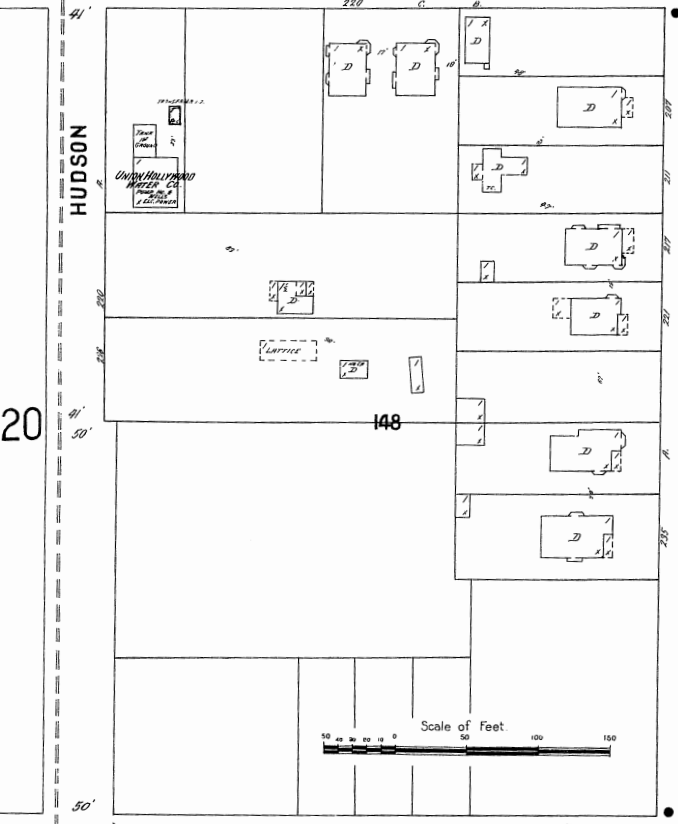
22

E. SUNSET



W. SELMA

AV. (60 FT. WIDE)



W. SUNSET

23 BLVD.

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HOLLYWOOD 12

BLVD. (W. PROSPECT AV.)

13

25

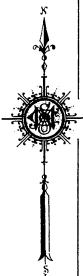
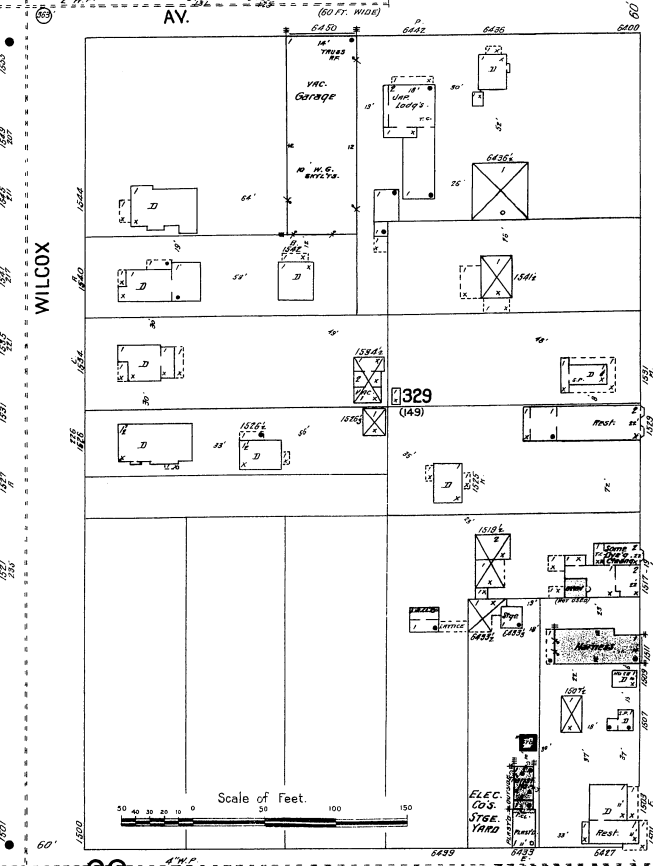
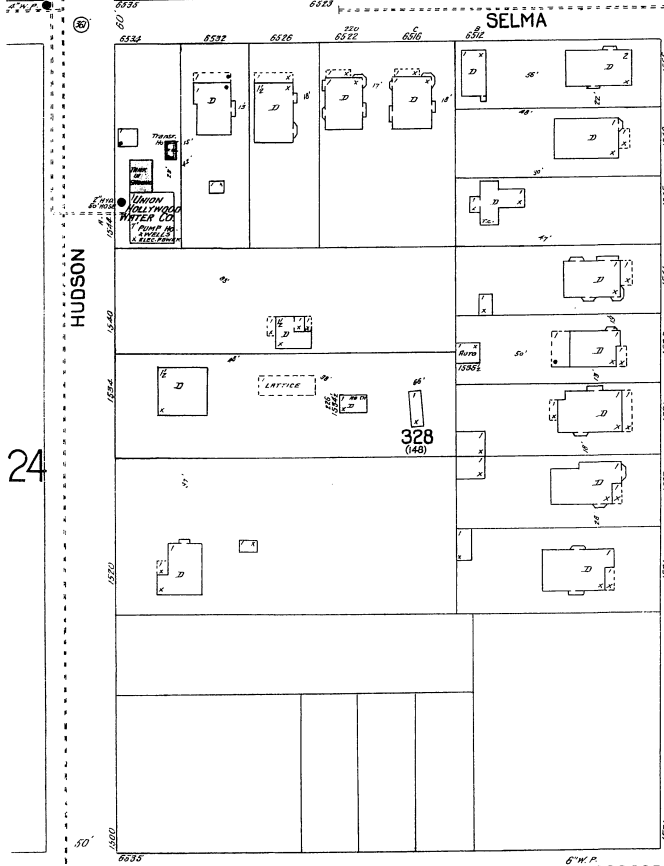
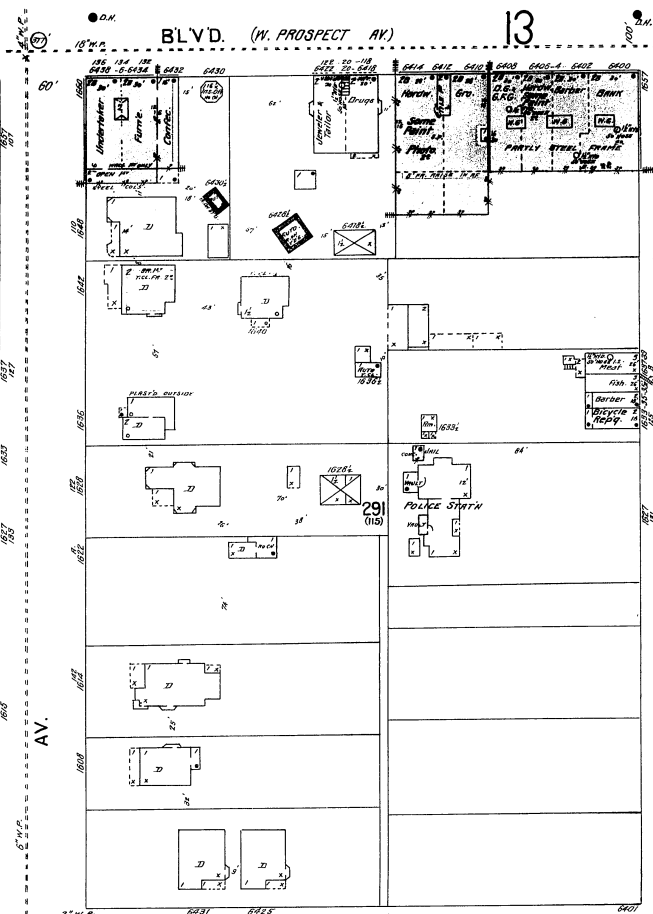
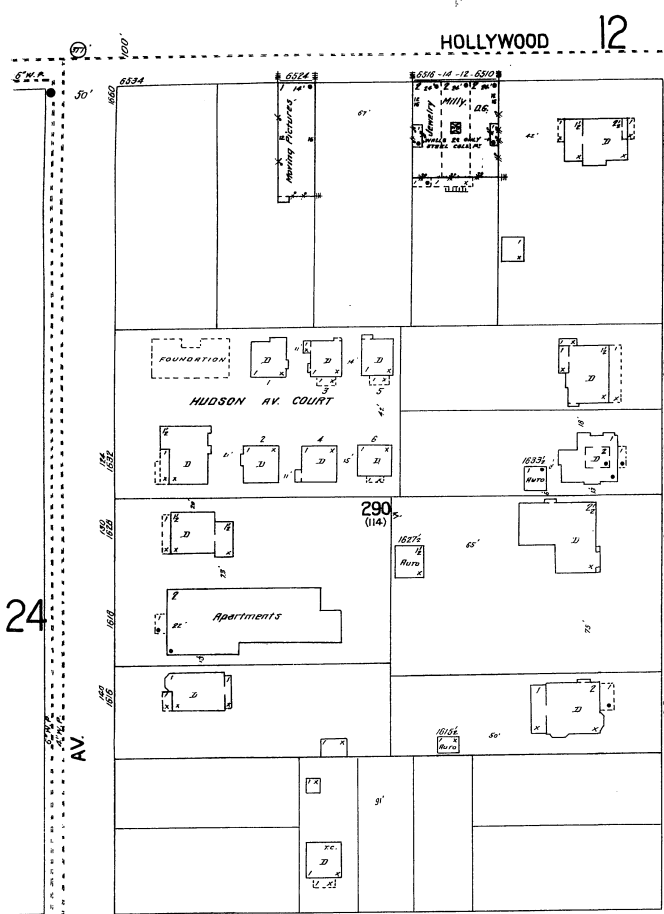
JAN 1913
HOLLYWOOD
CAL.

24

26

24

26



Scale of Feet. 0 50 100 150

SUNSET 30 BLVD.

Intentionally blank

APPENDIX G
Architectural Plans and Construction Plans

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2019 PLANS

6422 SELMA AVENUE
Los Angeles, CA 90028

APN:
5546013003

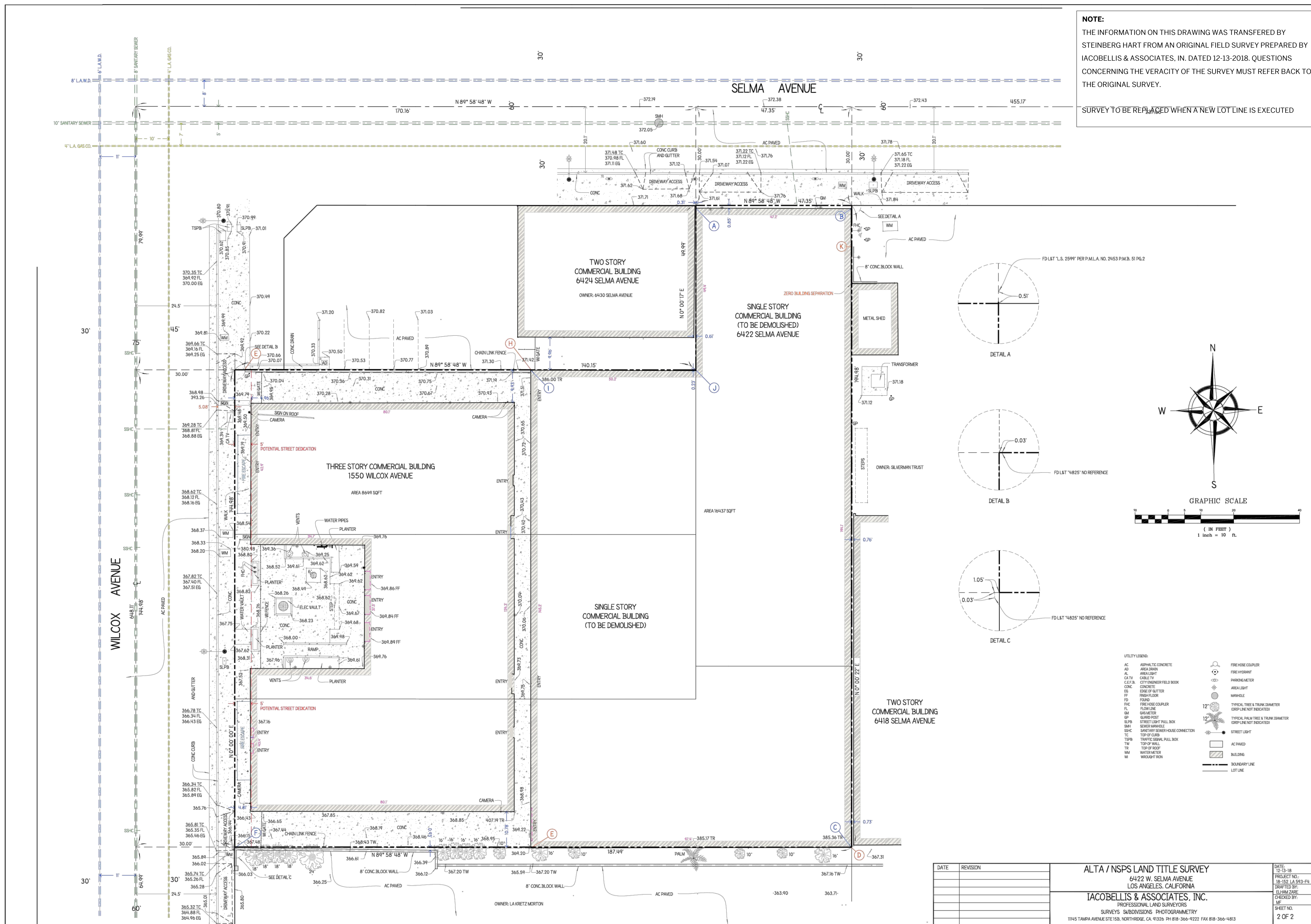
6422 SELMA OWNER
6422 SELMA OWNER, LLC
11828 La Grange Avenue
Los Angeles, CA 90025

ARCHITECT
STEINBERG HART
818 WEST 7TH STREET, SUITE 1100
LOS ANGELES, CA 90017

LANDSCAPE ARCHITECT
TINA CHEE LANDSCAPE STUDIO
1800 SOUTH BRAND BLVD, STUDIO 212
GLENDALE, CA 91204

LAND SURVEYOR
IACOBELLIS & ASSOCIATES, INC.
1145 TAMPA AVENUE STE 15B
NORTHRIDGE, CA 91326

NOTE:
THE INFORMATION ON THIS DRAWING WAS TRANSFERRED BY
STEINBERG HART FROM AN ORIGINAL FIELD SURVEY PREPARED BY
IACOBELLIS & ASSOCIATES, IN. DATED 12-13-2018. QUESTIONS
CONCERNING THE VERACITY OF THE SURVEY MUST REFER BACK TO
THE ORIGINAL SURVEY.
SURVEY TO BE REPLACED WHEN A NEW LOT LINE IS EXECUTED



DATE	REVISION

ALTA / NSPS LAND TITLE SURVEY 6422 W. SELMA AVENUE LOS ANGELES, CALIFORNIA		DATE: 12-13-18 PROJECT NO.: 18-332 - LA 593-FL
IACOBELLIS & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS SURVEYS SUBDIVISIONS PHOTOGRAMMETRY 1145 TAMPA AVENUE STE 15B, NORTHRIDGE, CA 91326 PH 818-366-9222 FAX 818-366-4813		DRAWN BY: ELIHAM PARE CHECKED BY: M.E. SHEET NO. 2 OF 2

ISSUE	DATE
ISSUANCE	MM.DD.YY

DRAWING SCALE: NTS
JOB NO.: 18160
DRAWING TITLE:
**ALTA / NSPS LAND
TITLE SURVEY**
DRAWING NO.:

6422 SELMA AVENUE
Los Angeles, CA 90028

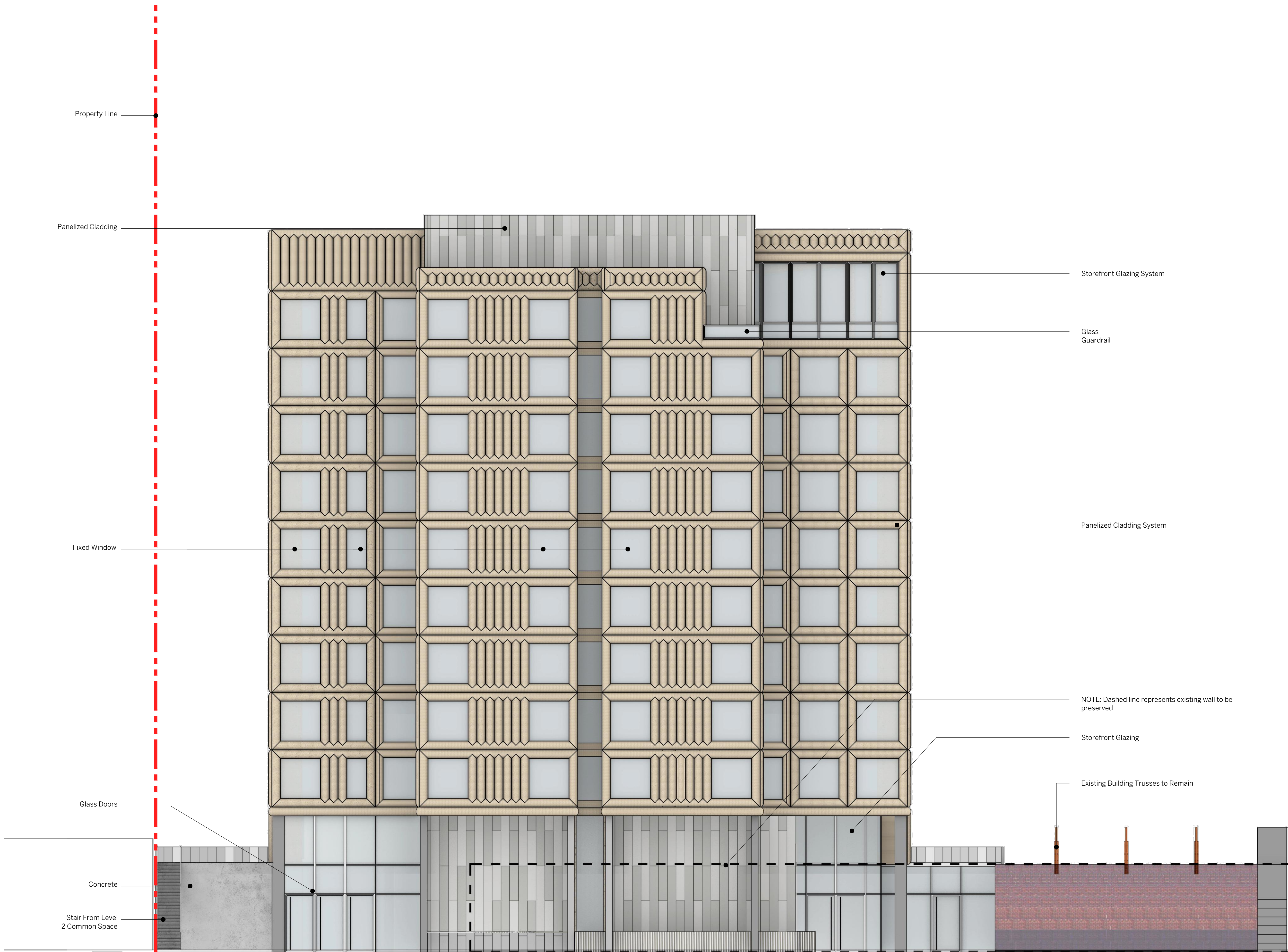
APN:
5546013003

6422 SELMA OWNER
6422 SELMA OWNER, LLC
11828 La Grange Avenue
Los Angeles, CA 90025

ARCHITECT
STEINBERG HART
818 WEST 7TH STREET, SUITE 1100
LOS ANGELES, CA 90017

LANDSCAPE ARCHITECT
TINA CHEE LANDSCAPE STUDIO
1800 SOUTH BRAND BLVD, STUDIO 212
GLENDALE, CA 91204

LAND SURVEYOR
IACOBELLIS & ASSOCIATES, INC.
1145 TAMPA AVENUE STE 15B
NORTHRIDGE, CA 91326



ISSUE	DATE
ISSUANCE	MM.DD.YY

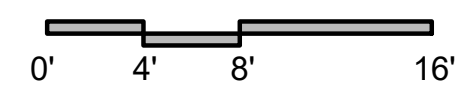
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JOB NO.:18160

DRAWING TITLE:

ELEVATION - EAST

DRAWING NO.:



A3.02

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6422 SELMA AVENUE
Los Angeles, CA 90028

APN:
5546013003

6422 SELMA OWNER
6422 SELMA OWNER, LLC
11828 La Grange Avenue
Los Angeles, CA 90025

ARCHITECT
STEINBERG HART
818 WEST 7TH STREET, SUITE 1100
LOS ANGELES, CA 90017

LANDSCAPE ARCHITECT
TINA CHEE LANDSCAPE STUDIO
1800 SOUTH BRAND BLVD, STUDIO 212
GLENDALE, CA 91204

LAND SURVEYOR
IACOBELLIS & ASSOCIATES, INC.
1145 TAMPA AVENUE STE 15B
NORTHRIDGE, CA 91326



ISSUE	DATE
ISSUANCE	MM.DD.YY

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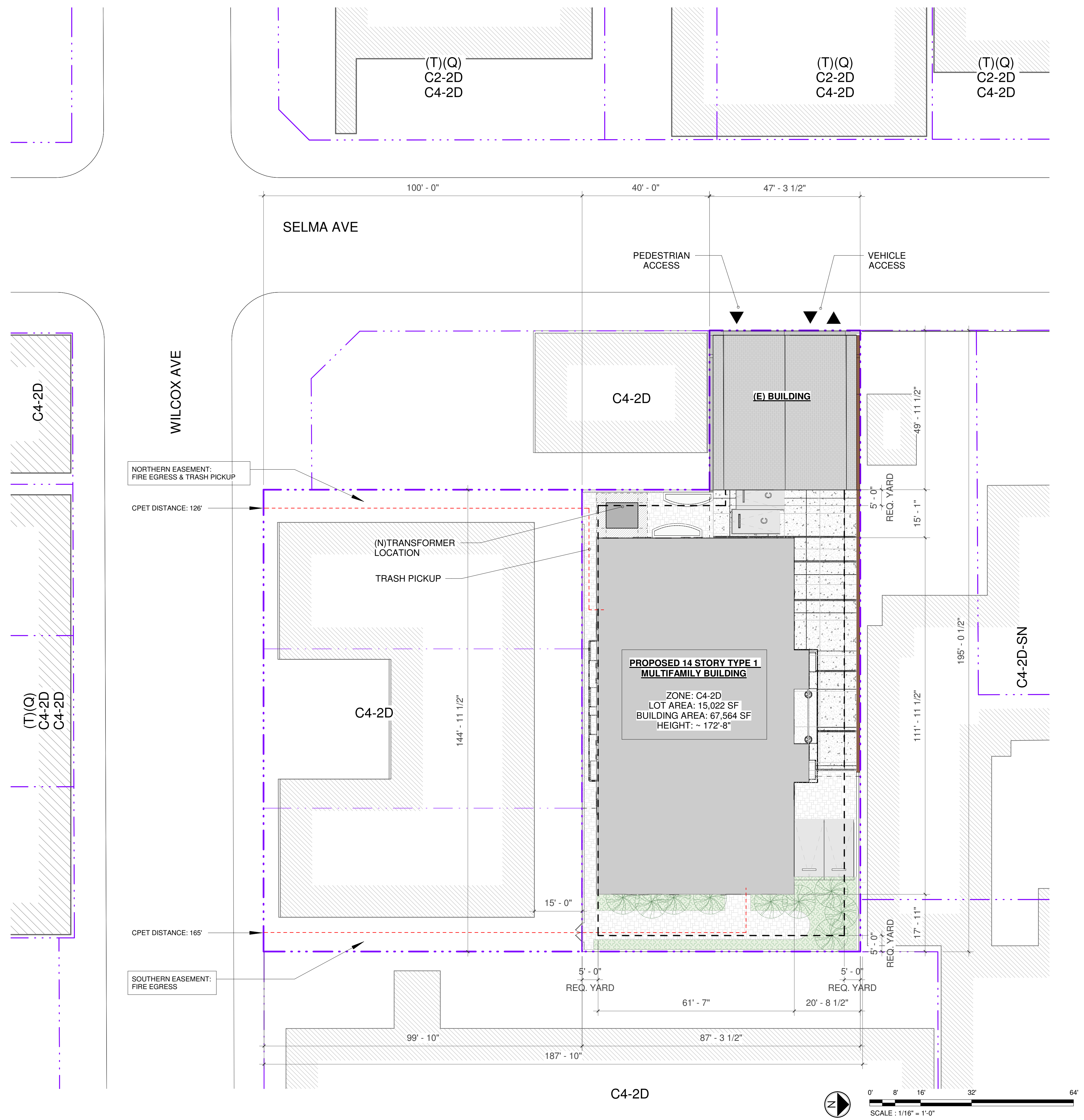
JOB NO.: 18160

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**PERSPECTIVE FROM
PIAZZA**

DRAWING NO.:

G0.52

2020 PLANS



Zoning/ Building Summary

	Required/Allowable	Proposed
Zoning	C4-2D	
Occupancy (Use)		R4 (Apartment house) S2 (Garage)
General Plan Designation	Regional Center Commercial	
Community Plan Area	Hollywood	
Historical Designation	No per Zimas	
Case Numbers	ORD-165660-SA180 (D-Limitation)	
Construction Type		Type 1-A (14 Stories)
Lot Area	15,022 SF (calculated)	
Buildable Area	15,022 SF (Same as Lot Area per LAMC Definition)	
Stories	unlimited	14 Stories
Maximum Height (Zoning)	Unlimited (per LAMC 12.21.1 : Height District 2)	172'-8"
Front Yard Setback	0' per C4 zone	0'
Landscape	25% of open space = 1,572 SF	1,605 SF
TOC - Tier 3 Base Incentives		
Dwelling Units	Base: 75 DU (15,022 SF / 200)	45 DUs
FAR	4.5:1 (3:1 + 50%)	4.498:1
Floor Area (per L.A.M.C. 12.03)	67,599 SF (15,022 SF x 4.5)	67,564 SF
Vehicular Parking	0.5 spaces per unit	23 Spaces
TOC - Tier 3 Additional Incentives		
Side Yard Setback	RAS3 setbacks: 5'	5' @ west side, 16' @ east side, 15' @ north side
Rear Yard Setback	RAS3 setbacks: 5'	18'
Open Space	Total sf total open space required = 7,785SF (175 x 45 units with more than 3 habitable rooms) - 25% reduction = 5,906.25 SF	6,288 SF

Parking Calculations

Auto Parking Required

LAMC 12.21.A.4(a)	45 DU (.5 spaces per unit)	23
Total Spaces Required		23 Spaces

Auto Parking Provided

Standard Spaces - Residential 8'-6" x 18'-0"	13 Spaces
Compact Spaces - Residential 7'-6" x 15'-0"	08 Spaces
Extra Spaces - Non Required	15 Spaces
Accessible Spaces	01 Spaces
Electric Vehicle Charging Spaces	01 Spaces
Total Spaces Provided	38 Spaces

Guest parking not required or provided.

Bike Parking Required

LAMC 12.21 A.16	Long-term Bike Parking	38 Spaces
	Short-term Bike Parking	5 Spaces

Bike Parking Provided

Long-term Bike Parking Spaces	40 Spaces
Short-term Bike Parking Spaces	5 Spaces

Open Space

L.A.M.C. 12.21.G.2	Required / Allowable	Proposed
	175 sf Per DU w/ 3 or more habitable rooms = 7,700 SF - 25% reduction per TOC	5,906.25 SF
Common Open Space	Rear Yard + North Yard (@Ground Floor)	2,064 SF
	Terraces @ 13th Floor	1,367 SF
	Terraces @ 14th Floor	1,205 SF
	Roof Terrace	1,652 SF
	TOTAL	5,288 SF

Total Area Per Floor (per L.A.M.C. 12.03)

Floor	Area (SF)
First	710 SF
Second	229 SF
Third - Twelfth	5,927 SF
Thirteenth	4,488 SF
Fourteenth	2,867 SF
Roof	0 SF
Total	67,564 SF

A	DATE	DESCRIPTION

JOHN KALISKI ARCHITECTS
3780 WILSHIRE BOULEVARD, SUITE 900
LOS ANGELES, CA 90010
(213) 383-7980 / k
www.johnkaliski.com
John Kaliski, AIA, CCSW



COVERSHEET

6422 Selma
2006 Selma Ave.
Los Angeles, CA 90028

Date: 10/24/19
Scale: 1/16" = 1'-0"
Drawn: Author
Job Number: 2006
Sheet:

P0-0



(N) AUTOMATIC COIL OVERHEAD GARAGE DOOR

REMOVE (E) SIGN TO REVEAL HISTORIC SIGN BELOW

(N) METAL MESH AT BIKE ROOM

EXISTING WOOD TRUSSES BEYOND

(N) STEEL STOREFRONT SYSTEM

EXISTING BRICK TO BE REPAIRED IN-KIND

PERSPECTIVE OF PROPOSED FACADE FROM SELMA AVE.



EXISTING FACADE OF 6422 SELMA AVE. (2020)



HISTORIC PICTURE OF 6422 SELMA AVE. (CIRCA 1925)

ISSUE DATES	
A	DESCRIPTION

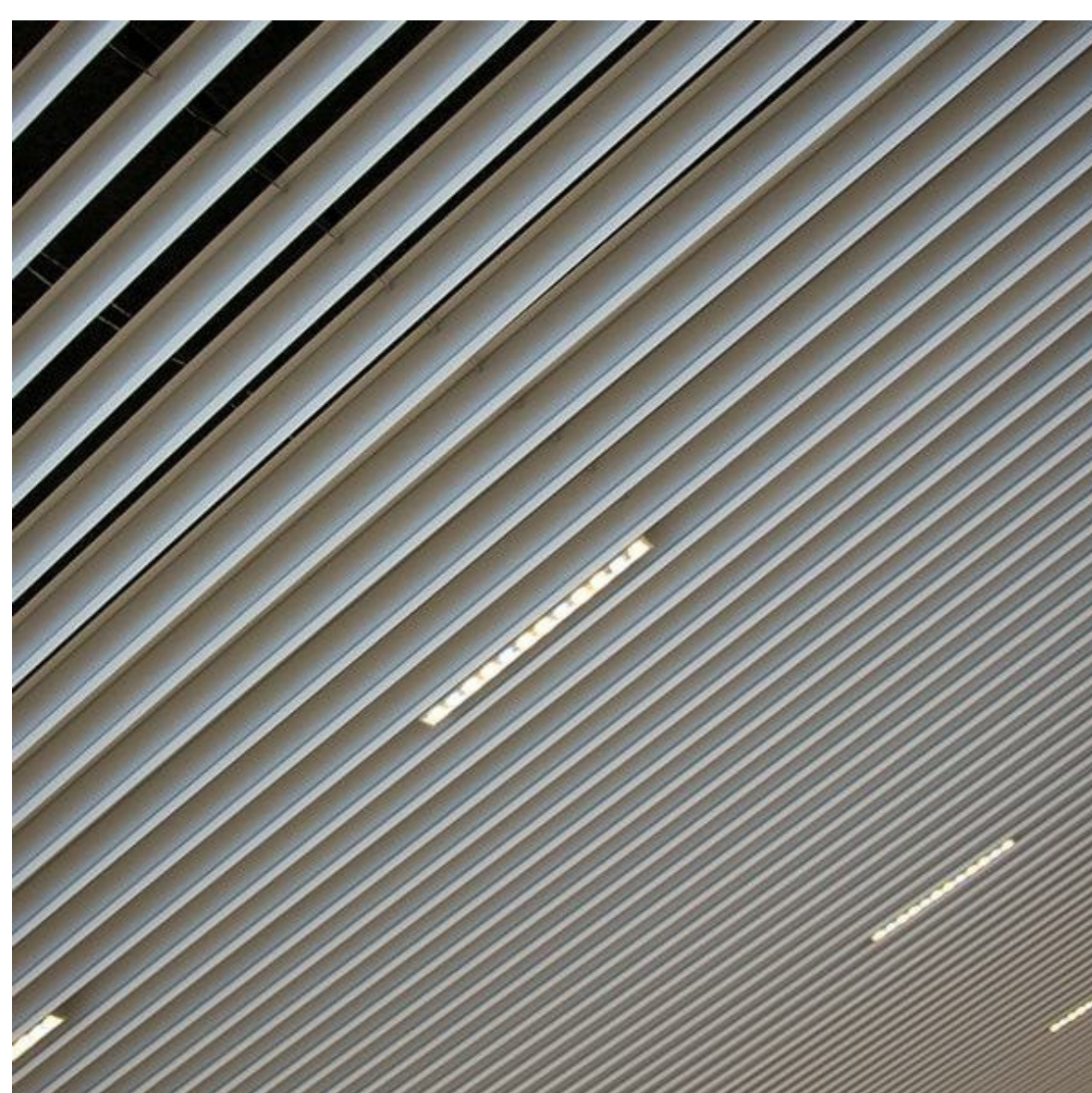
JOHN KALISH ARCHITECTS
3780 WILSHIRE BOULEVARD, SUITE 300
LOS ANGELES, CA 90010
(213) 383-7980 / jk
www.jkarchitects.com
John Kalish, AIA C1794



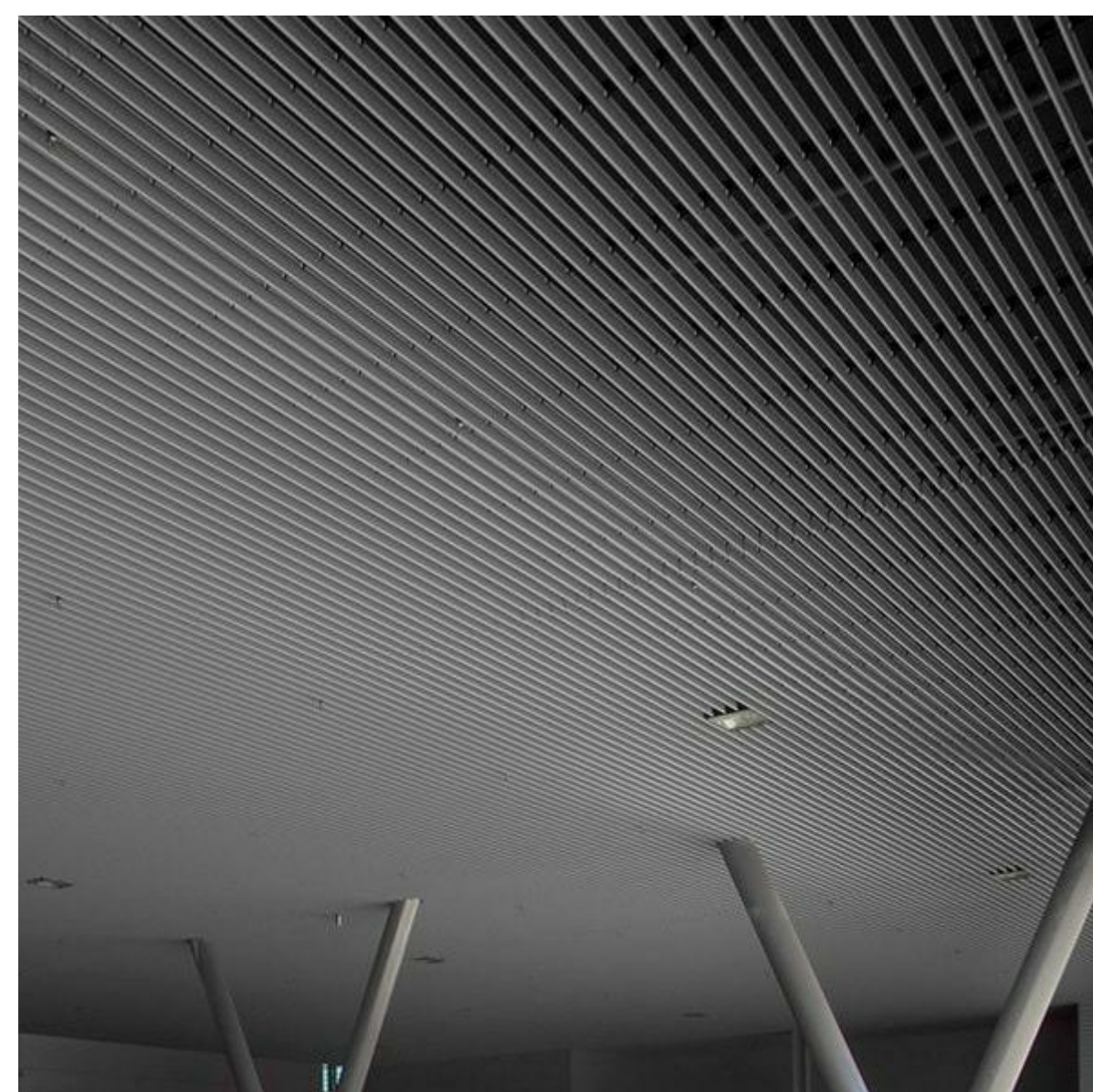
HISTORIC FACADE

6422 Selma
2006 Selma Ave.
Los Angeles, CA 90028

Date:	05/22/20
Scale:	
Drawn:	Author
Job Number:	2006
Sheet:	



LOUVERED CEILINGS



LOUVERED CEILINGS



PENDANT LIGHTS



ISSUE DATES

NO.	DATE	DESCRIPTION

JOHN KALISH ARCHITECTS
 3780 WILSHIRE BOULEVARD, SUITE 300
 LOS ANGELES, CA 90010
 (213) 383-7880 / jk
www.johnkalish.com
 John Kalish, AIA / CKP



TOWER ENTRY

6422 Selma
 2006 Selma Ave.
 Los Angeles, CA 90028

Date: 05/22/20
 Scale:
 Drawn: Author
 Job Number: 2006
 Sheet:

CURRENT PLANS

1

2

3

4



FOUND RESIDENCES

ENTITLEMENT PACKAGE

JANUARY 29, 2021

PROJECT DESCRIPTION:



NOT FOR CONSTRUCTION

Project Logo

FOUND RESIDENCES

6422 Selma Ave, Los Angeles, CA 90028

75-21703-00

COVER SHEET

A0-00

B:\M_360\75-21703-00 HW - Selma Residences\75-21703-00_HW-Selma-Res_AR_2020.rvt
1/29/2021 3:24:17 PM

PROJECT TEAM

OWNER:
Hawkins Way Capital
301 North Canon Drive, Suite 305
Beverly Hills, CA 90210
Contact: Karan Suri, Managing Partner
Tel:
Tel:
email: Karan.Suri@hawkinsway.com

CIVIL ENGINEER:
NA Associates, Inc.
22672 Lambert Street, Suite #606
Lake Forest, CA 92630
Contact: George Ayoub - Principal
Tel: (949) 753-0600
email: george.ayoub@nacivil.com

ARCHITECT:
DLR Group/ Los Angeles
700 South Flower Street, 22nd Floor,
Los Angeles, CA 90017

Architect: Mark Giles, AIA
Tel: 626-437-5450
email: mgiles@dlrgroup.com

LANDSCAPE ARCHITECT:
Cummings Curley and Associates, Inc.
Address:

Contact: Robert Curley
Tel: 562-424-8182 x112
email: Robert@cummingscurley.com

SHEET INDEX

A0-00	COVER SHEET	A1-3	TYPICAL FLOOR PLAN (LEVEL 3-12)
A0-01	SITE CONTEXT	A1-4	LEVEL 13 FLOOR PLAN
A0-02	BUILDING CONTEXT	A1-5	LEVEL 14 FLOOR PLAN
A0-03	EXISTING SITE PLAN & SITE CONTEXT	A1-6	LEVEL ROOF FLOOR PLAN
A0-04	PROPOSED SITE PLAN	A1-7	BUILDING ELEVATIONS - NORTH & SOUTH
A0-05	AREA PLANS	A1-8	BUILDING ELEVATIONS - WEST
A1-1	GROUND FLOOR & LANDSCAPE PLAN	A1-9	BUILDING ELEVATION - EAST
A1-2	SECOND FLOOR PLAN	A1-10	BUILDING SECTIONS

A

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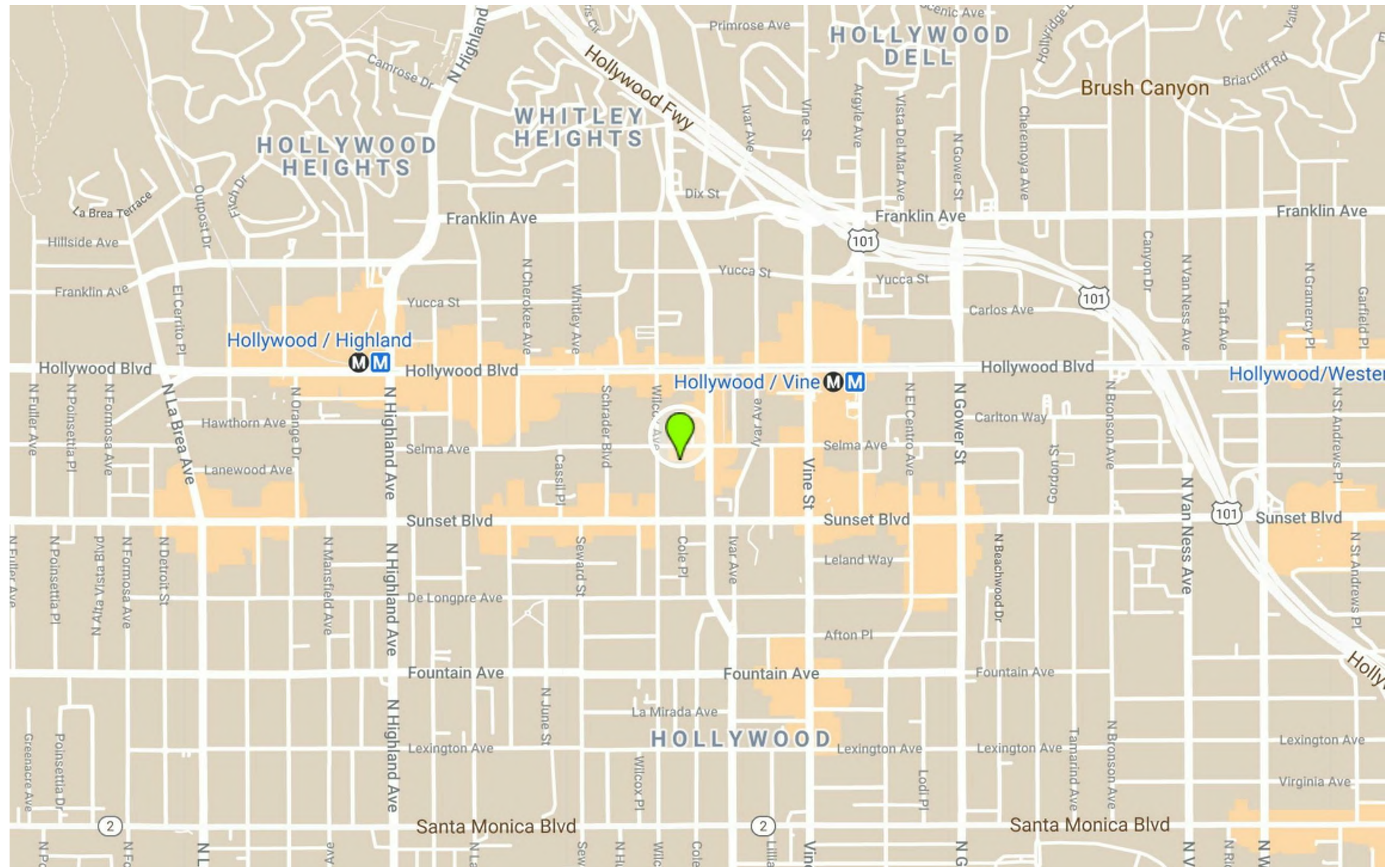
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 VICINITY MAP
NORTH



 SITE MAP
NORTH

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C

D

E

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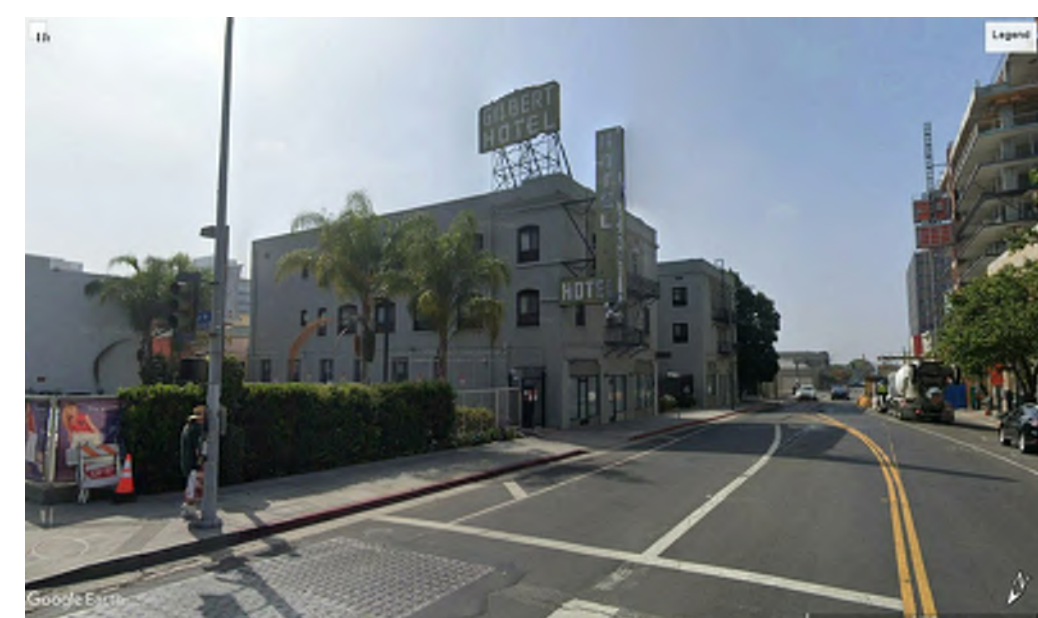
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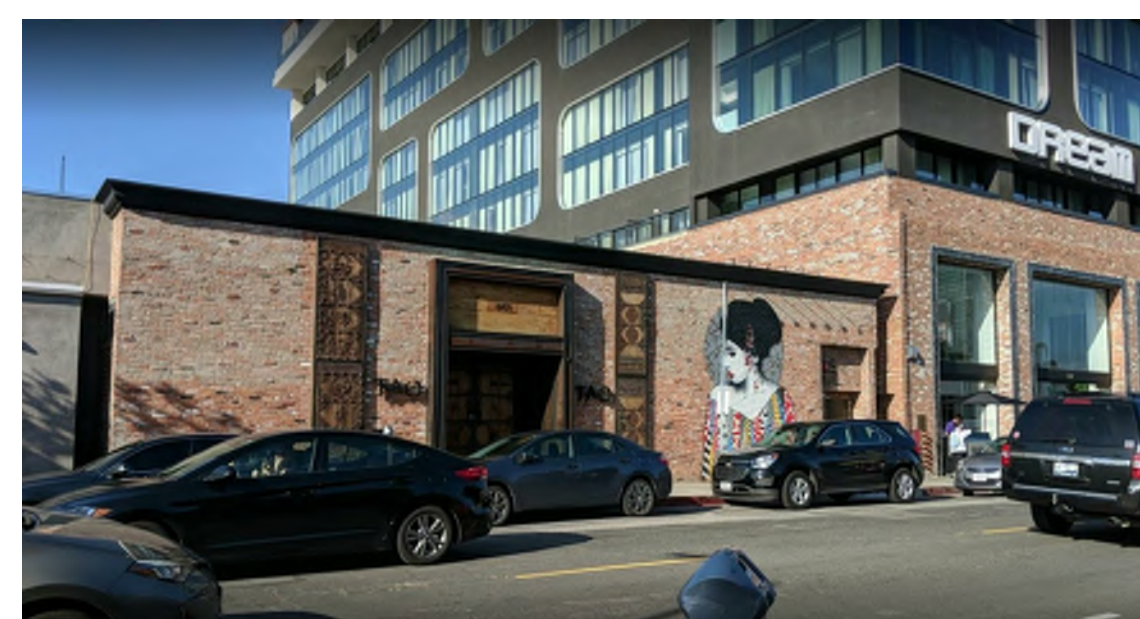
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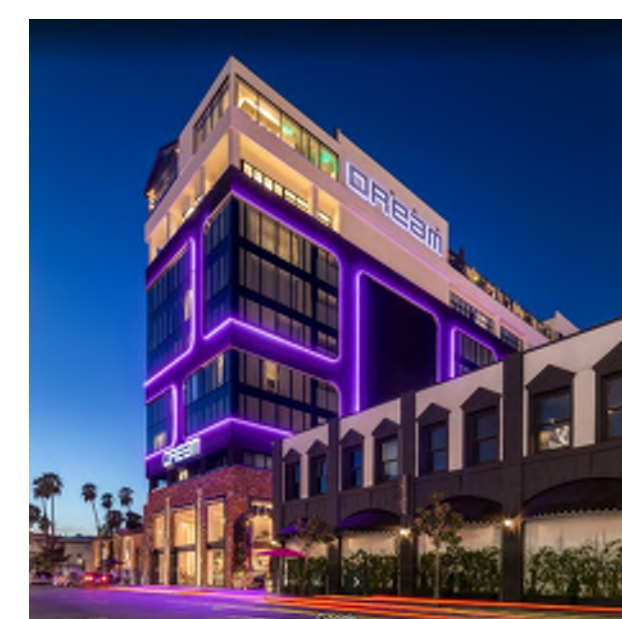
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1615 Wilcox Ave, Los Angeles, CA 90028
Post Office - 2 stories



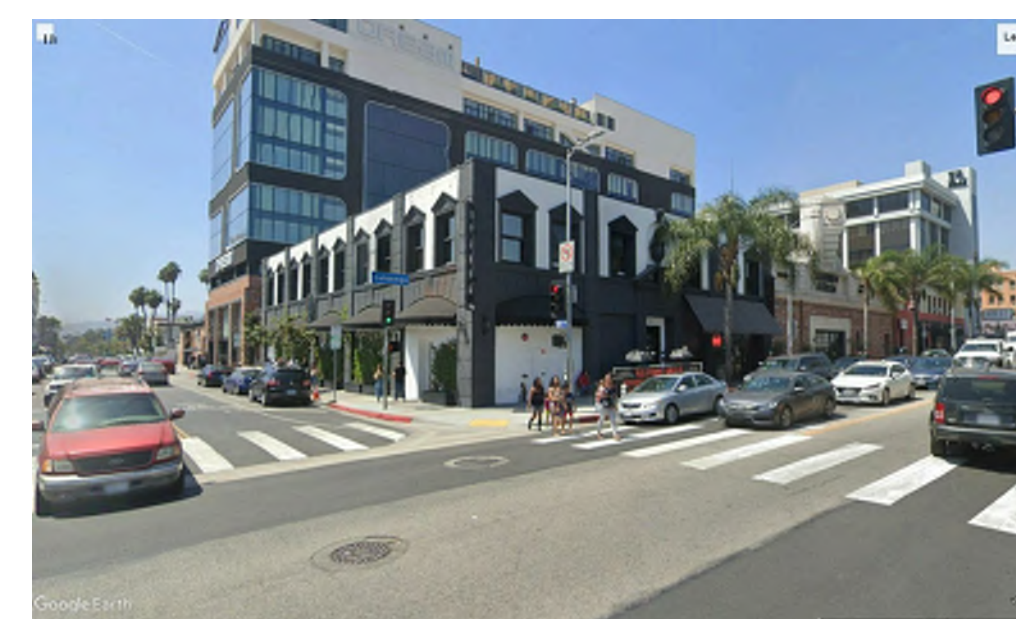
Gilbert Hotel
1550 Wilcox Ave, Los Angeles, CA 90028
Hotel - 3 stories



TAO Restaurant
6421 Selma Ave, Los Angeles, CA 90028
Restaurant - 1 story



Dream Hollywood
6417 Selma Ave, Hollywood, CA 90028
Hotel - 11 stories



Avenue
1601 N Cahuenga Blvd, Los Angeles, CA 90028
Cocktail Bar - 2 stories



Cafe Etc.
6371 Selma Ave, Los Angeles, CA 90028
Coffee Shop - 2 stories



Stout Burgers and Beers
1544 N Cahuenga Blvd, Los Angeles, CA 90028
Restaurant - 1 story

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D

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SELMA AVE.

WILCOX AVE.

HOLLYWD WALK-IN CLINIC

ADDRESS:
6430 W SELMA AVE
LOS ANGELES, 90028

OF STORIES: 2
CURRENT USE:
URGENT CARE

APN: 5546013003

(E) BUILDING
TO BE PARTIALLY
DEMOLISHED EXCEPT
STRUCTURE AND SELMA
FACADE

ADDRESS:
6422 W SELMA AVE
LOS ANGELES, 90028

OF STORIES: 2
CURRENT USE:
VEHICULAR TOWING
SERVICE

APN: 5546013002

GOYA STUDIOS SOUND STAGE

ADDRESS:
6416 W SELMA AVE
LOS ANGELES, 90028

OF STORIES: 1
CURRENT USE:
SOUND STAGE

APN: 5546013002

GILBERT HOTEL

ADDRESS:
1550 N WILCOX AVE
LOS ANGELES, 90028

OF STORIES: 3
CURRENT USE:
HOTEL

APN: 5546013002

(E) BUILDING
TO BE DEMOLISHED

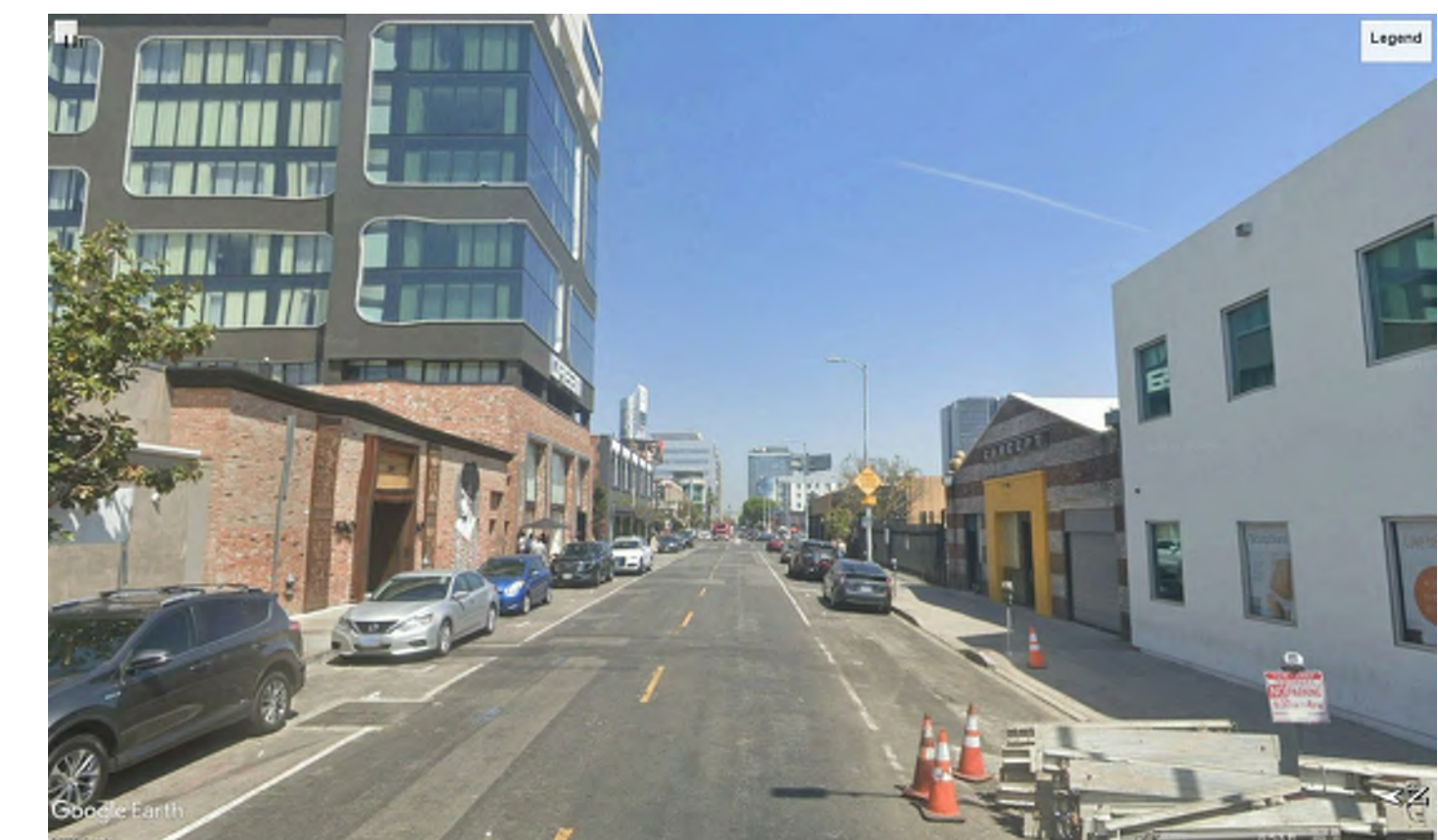
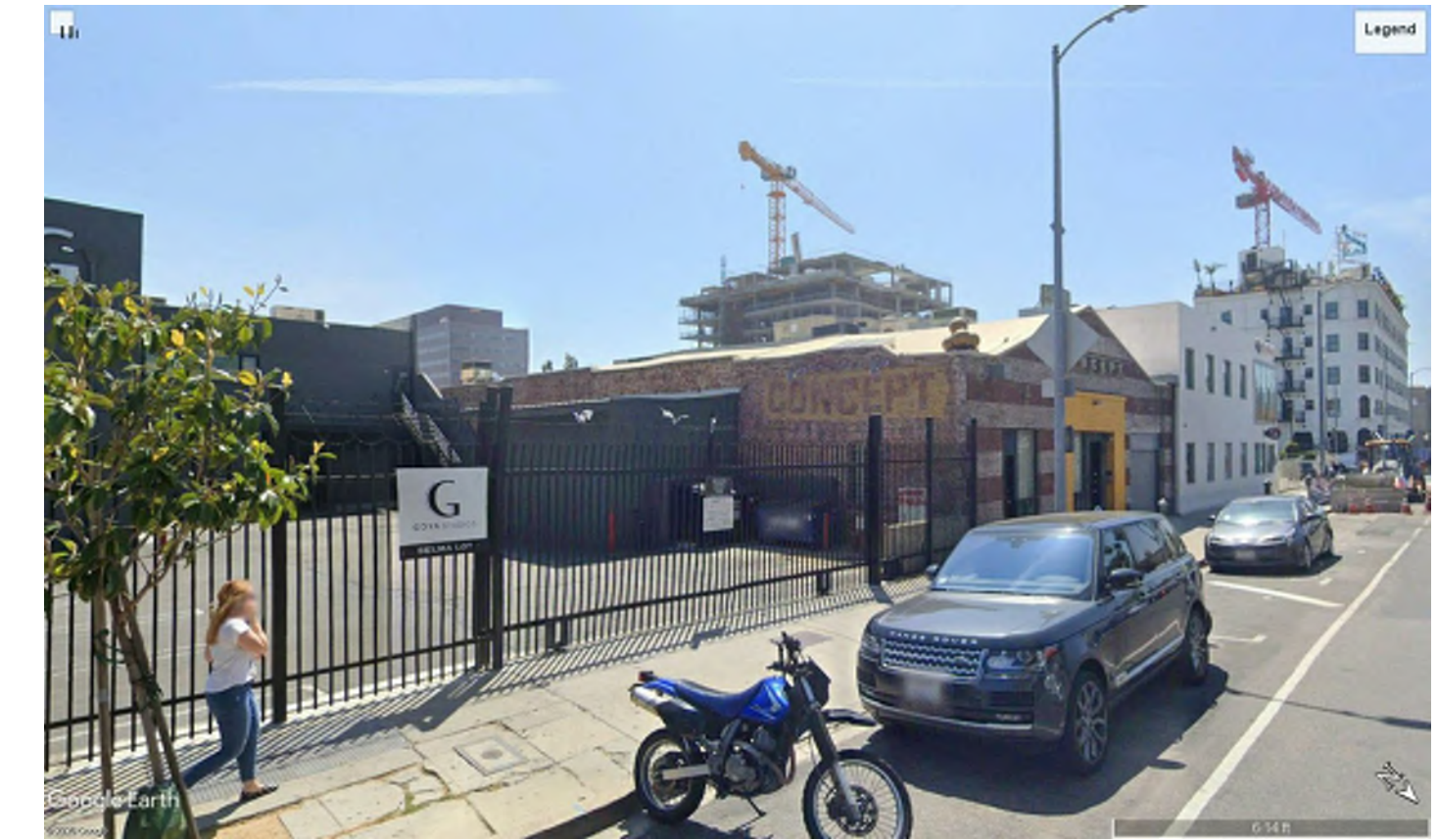
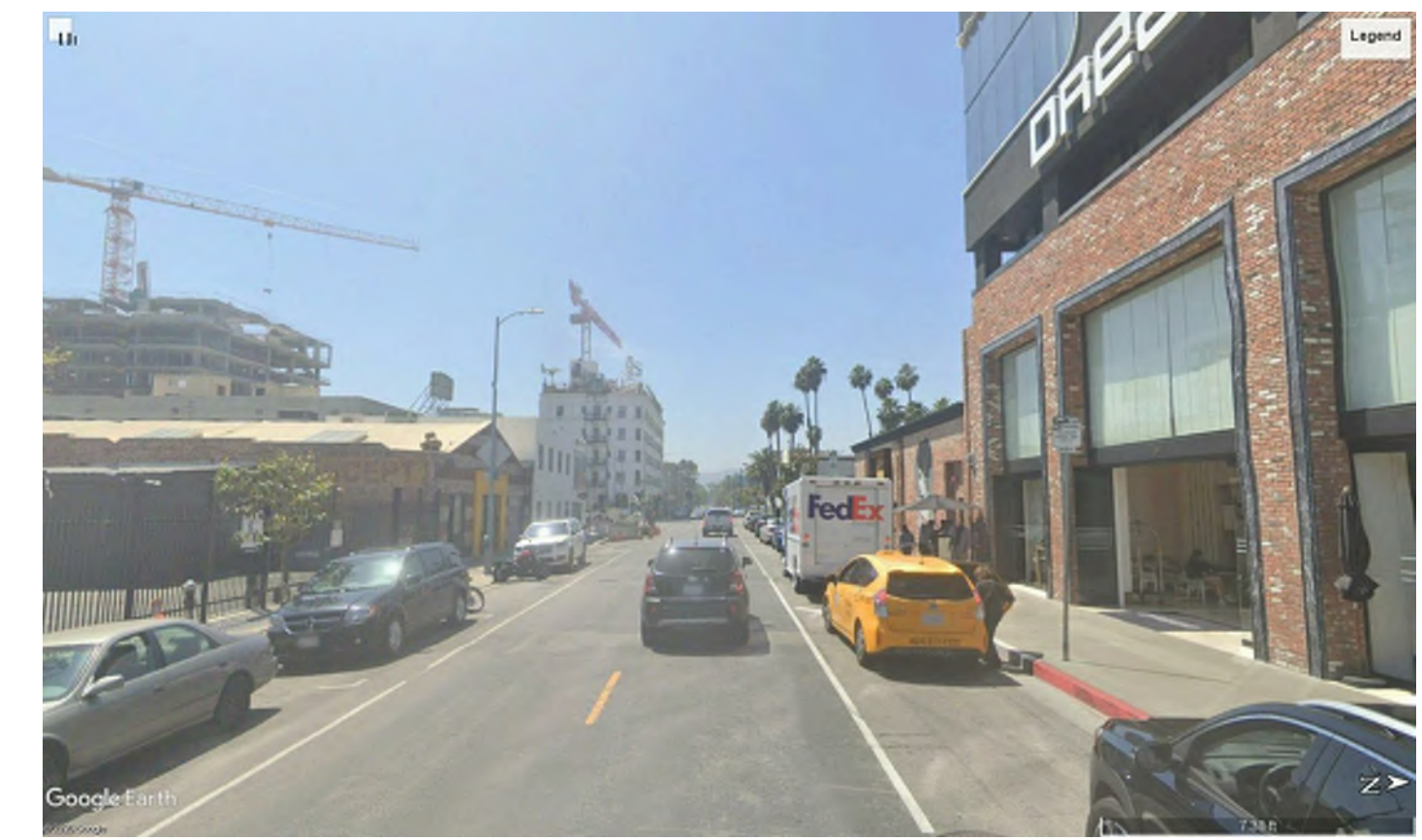
ADDRESS:
1540 N WILCOX AVE.

OF STORIES: 2
CURRENT USE:
OFFICE BUILDING

ADDRESS:
6418 W SELMA AVE

OF STORIES: 1
CURRENT USE:
SOUND STAGE

1 OVERALL EXISTING SITE PLAN
A0-03 SCALE: 1/16" = 1'-0"



A

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SELMA AVE.

WILCOX AVE.

PROPOSED NORTHERN EASEMENT FOR FIRE ACCESS AND SANITATION PICK UP EASEMENT

PROPOSED SOUTHERN EASEMENT FOR FIRE ACCESS EASEMENT

HOLLYWD WALK-IN CLINIC
ADDRESS:
6430 W SELMA AVE
LOS ANGELES, 90028
OF STORIES: 2
CURRENT USE:
URGENT CARE

(E) BUILDING

GOYA STUDIOS SOUND STAGE
ADDRESS:
6416 W SELMA AVE
LOS ANGELES, 90028
OF STORIES: 1
CURRENT USE:
SOUND STAGE

GILBERT HOTEL
ADDRESS:
1550 N WILCOX AVE
LOS ANGELES, 90028
OF STORIES: 3
CURRENT USE:
HOTEL

PROPOSED BUILDING
14 STORY
TYPE 1
MULTIFAMILY
ZONE: C4-2D
LOT AREA: 15,022 SF
BUILDING AREA: 67,564 SF
HEIGHT: ~ 172'-8"

ADDRESS:
6418 W SELMA AVE
OF STORIES: 1
CURRENT USE:
SOUND STAGE

PARKING CALCULATIONS

Table with columns: CATEGORY, NUMBER OF SPACES. Includes sections for AUTO PARKING PROVIDED, GUEST PARKING, BIKE PARKING REQUIRED, and BIKE PARKING PROVIDED.

OPEN SPACE

Table with columns: DESCRIPTION, AREA. Lists various open space areas like REAR YARD, TERRACES, COMMON LIVING ROOM, etc.

TOTAL AREA PER FLOOR (PER L.A.M.C. 12.03)

Table with columns: FLOOR, AREA. Lists area for each floor from FIRST to TOTAL.

OVERALL PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"



ZONING/BUILDING SUMMARY

Summary table with columns: PROJECT NAME, ZONING, OCCUPANCY CLASSIFICATION, GENERAL PLAN DESIGNATION, COMMUNITY PLAN AREA, HISTORICAL DESIGNATION, CASE NUMBERS, CONSTRUCTION TYPE, LOT AREA, BUILDING AREA, STORIES, MAXIMUM HEIGHT (ZONING), SETBACKS (6422 SELMA, 1550 WILCOX), DENSITY, FAR, FLOOR AREA (PER L.A.M.C. 12.03), OPEN SPACE (6422 SELMA), LANDSCAPE AREA (6422 SELMA), VEHICULAR PARKING.



NOT FOR CONSTRUCTION

Project Logo

FOUND RESIDENCES

6422 Selma Ave, Los Angeles, CA 90028

75-21703-00

PROPOSED SITE PLAN

A0-04

BIM 360/75-21703-00 HW - Selma Residences/75-21703-00_HW-Selma-Res_AR_2020.rvt 1/29/2021 3:24:22 PM

A

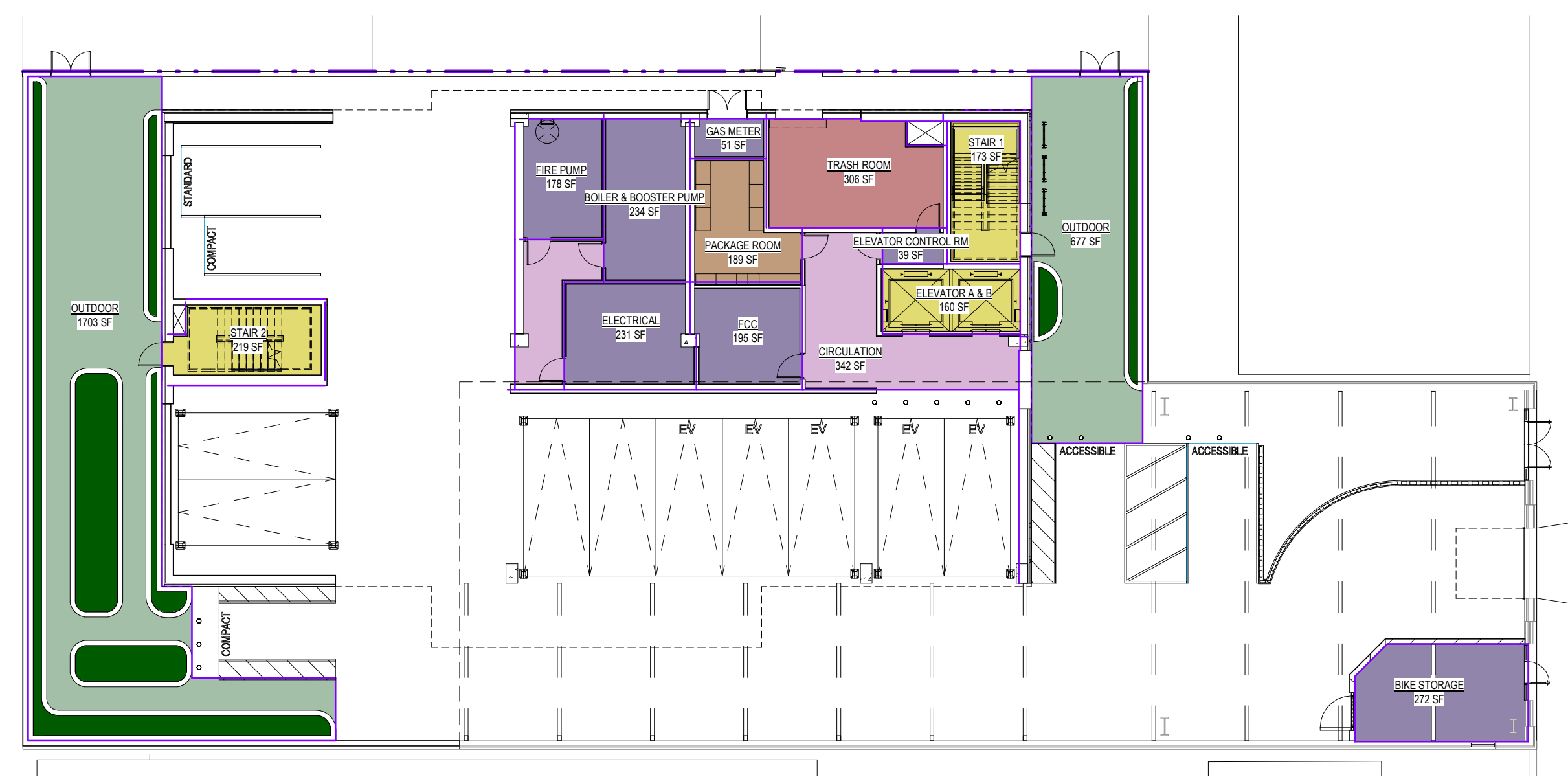
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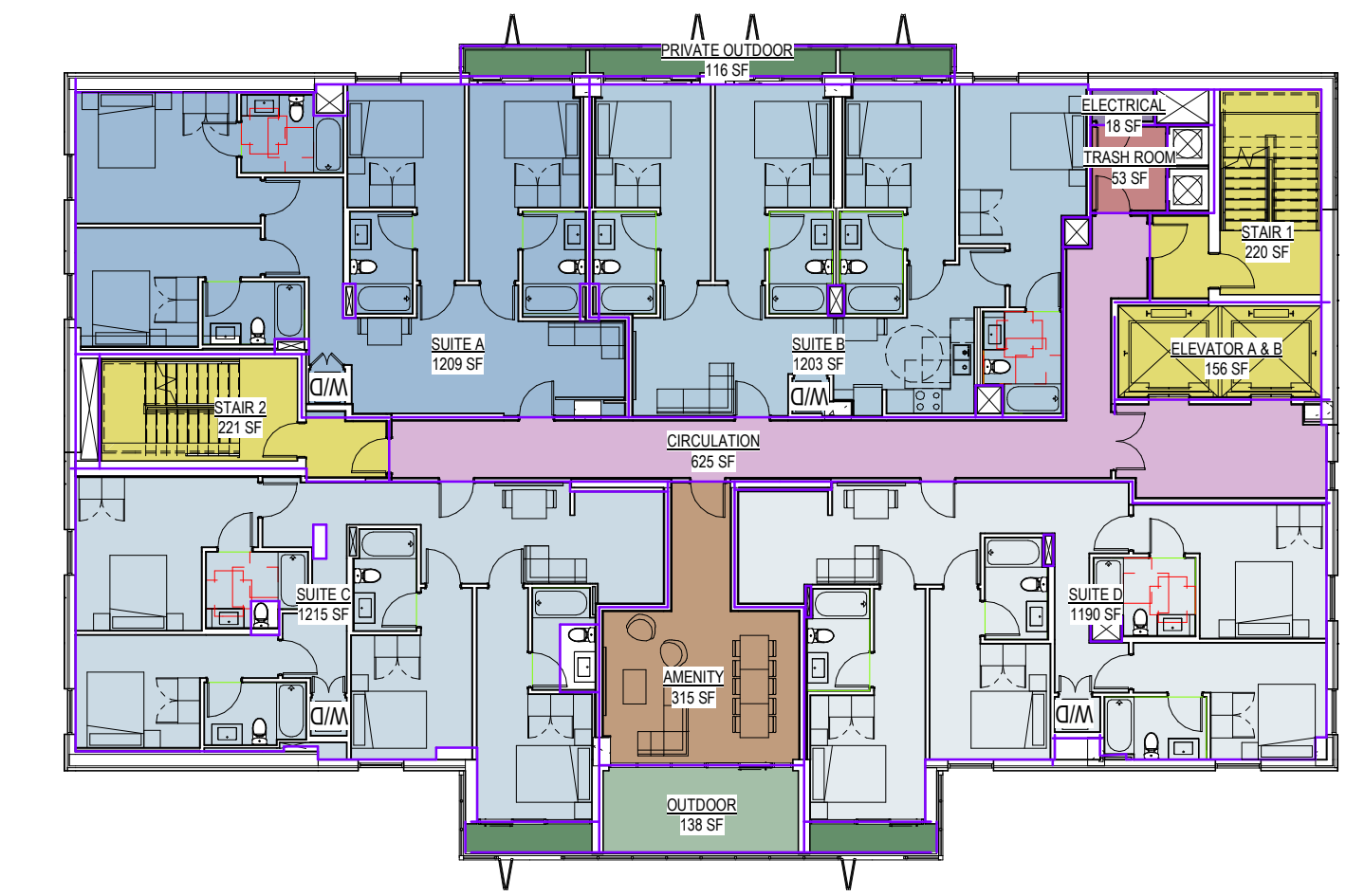
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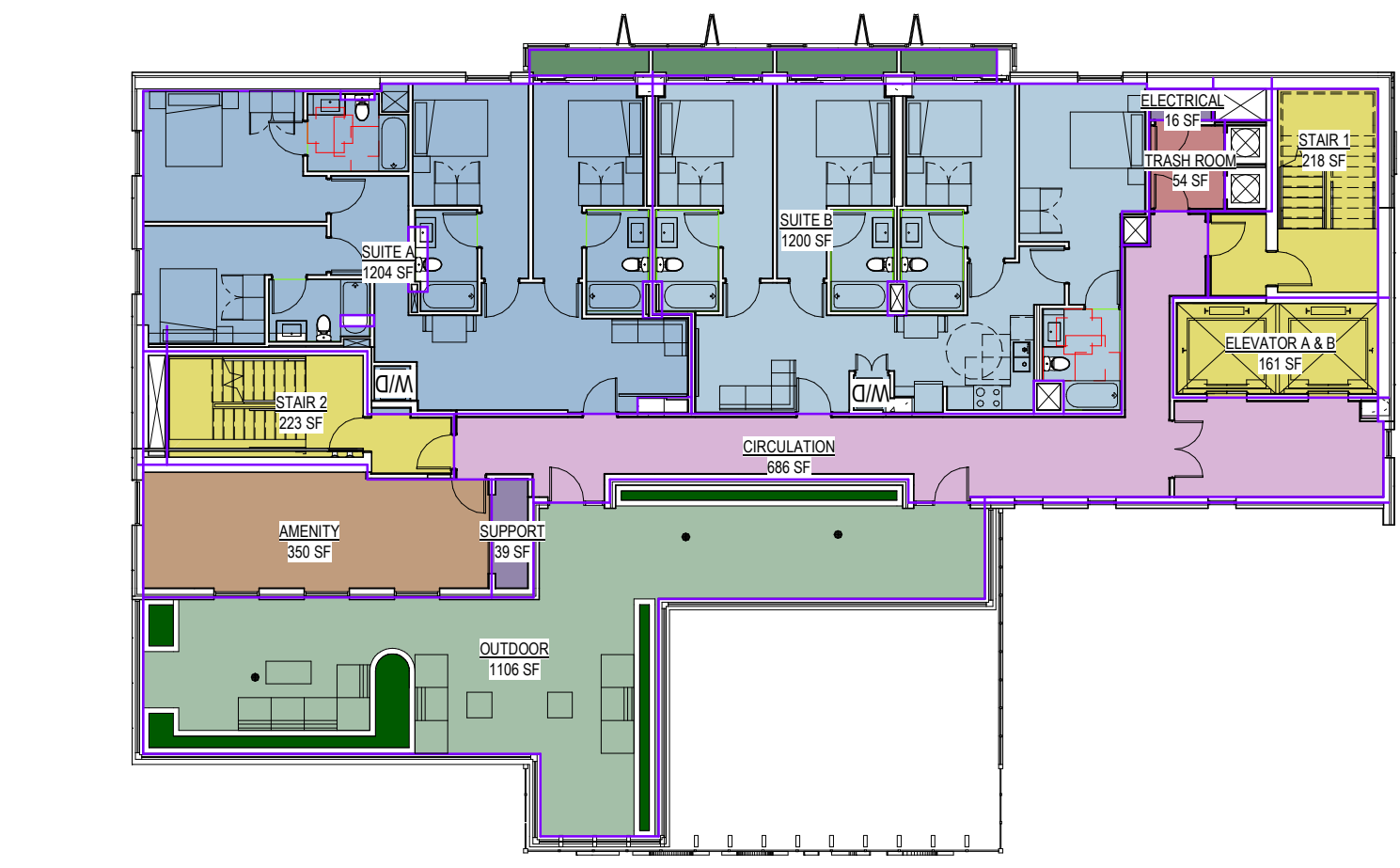


FLOOR PLAN - LEVEL 01
SCALE: 1/16" = 1'-0"

2

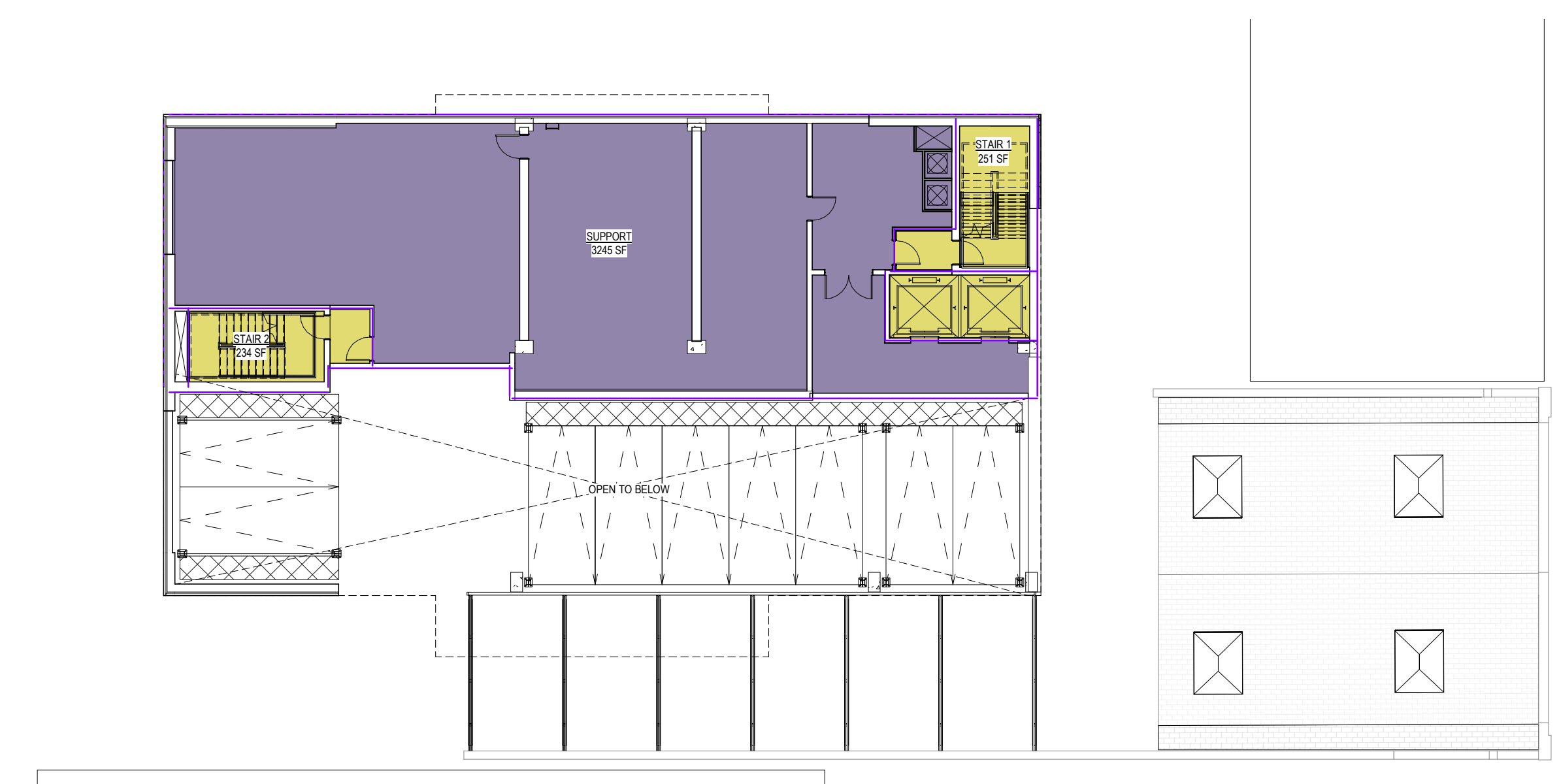


FLOOR PLAN - LEVEL 03 (TYP 03-12)
SCALE: 1/16" = 1'-0"

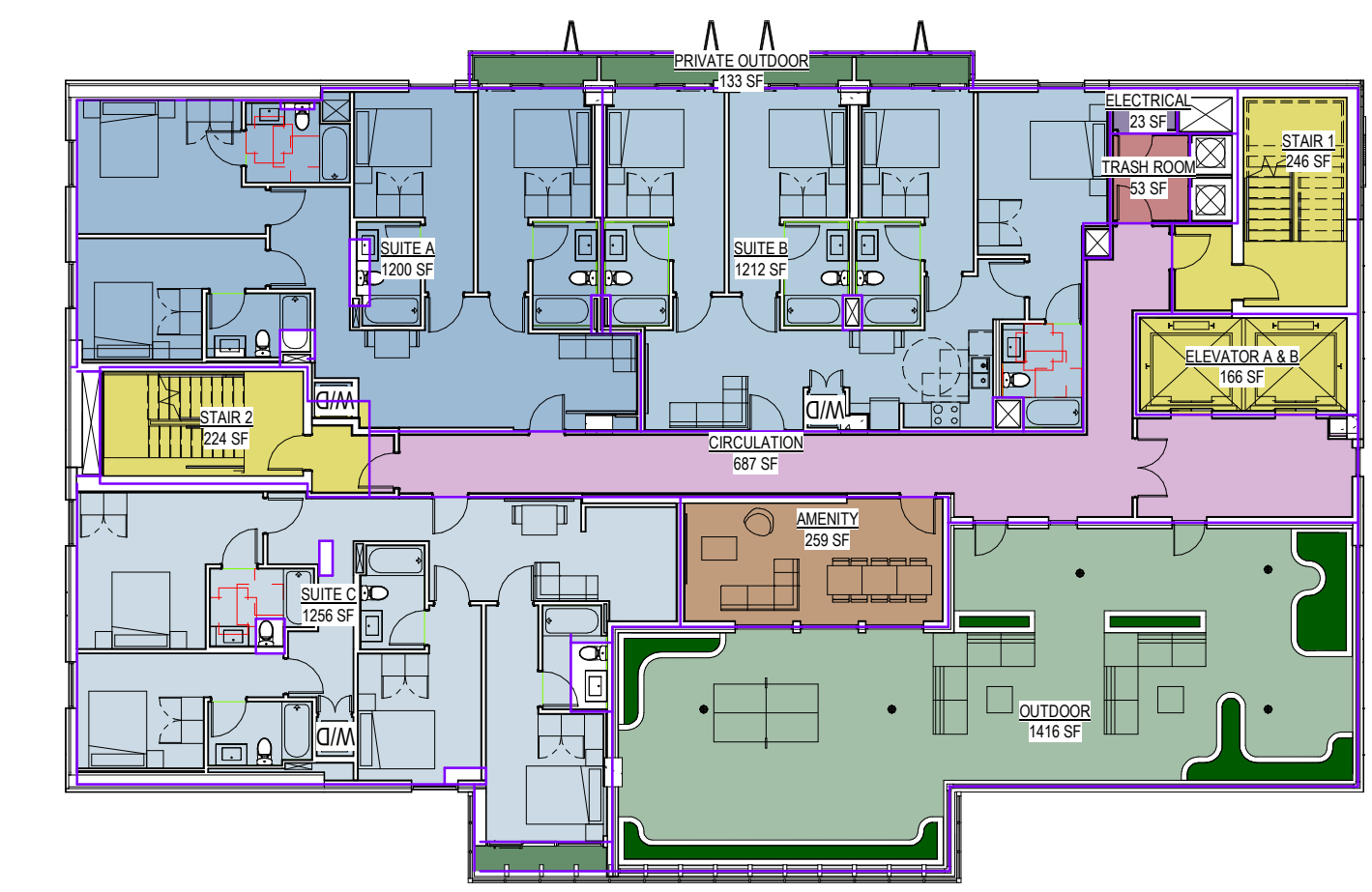


FLOOR PLAN - LEVEL 14
SCALE: 1/16" = 1'-0"

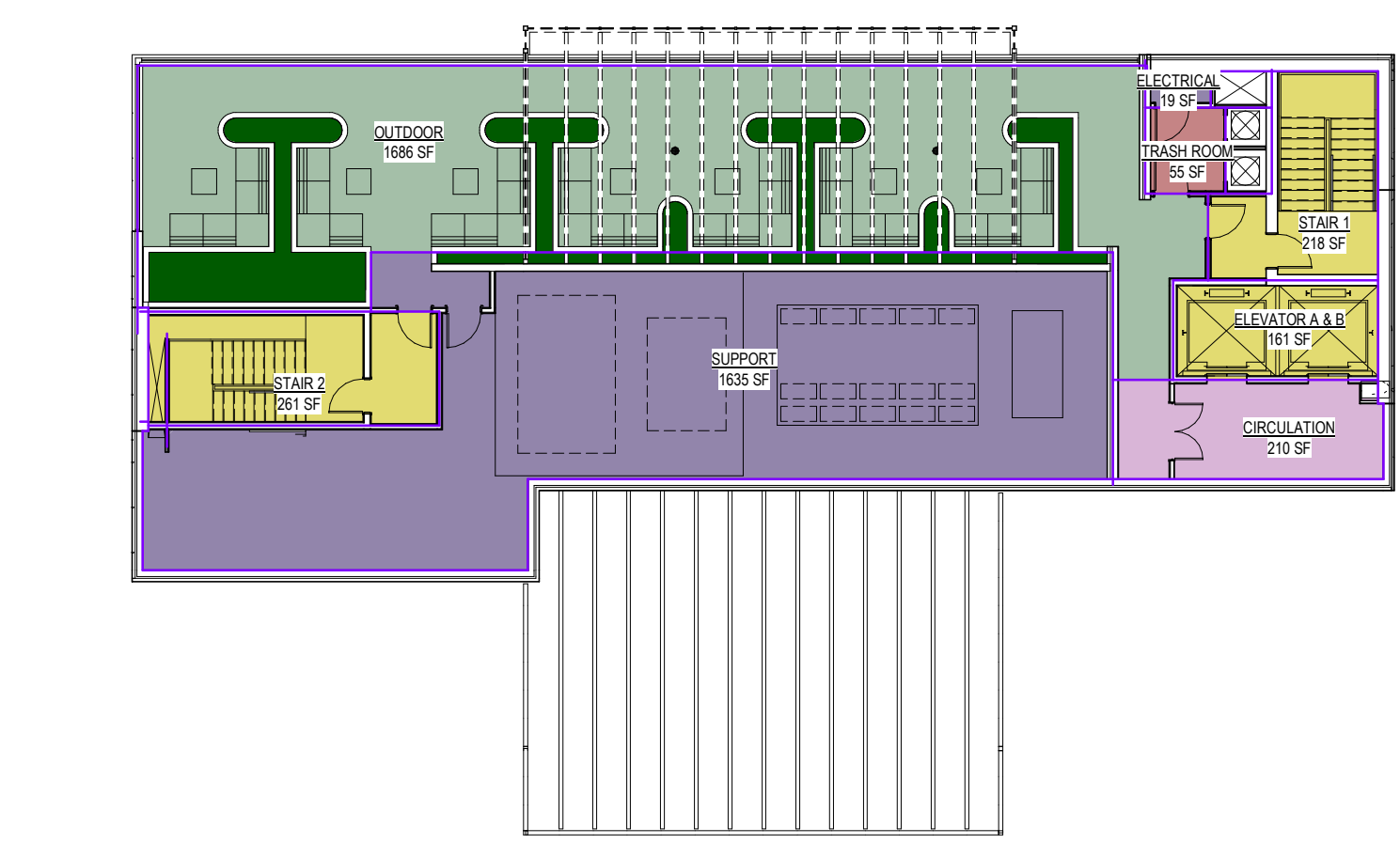
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FLOOR PLAN - LEVEL 02
SCALE: 1/16" = 1'-0"



FLOOR PLAN - LEVEL 13
SCALE: 1/16" = 1'-0"



FLOOR PLAN - LEVEL ROOF
SCALE: 1/16" = 1'-0"

4

BIM 360/75-21703-00 HW - Selma Residences/75-21703-00_HW-Selma-Res_AR_2020.rvt
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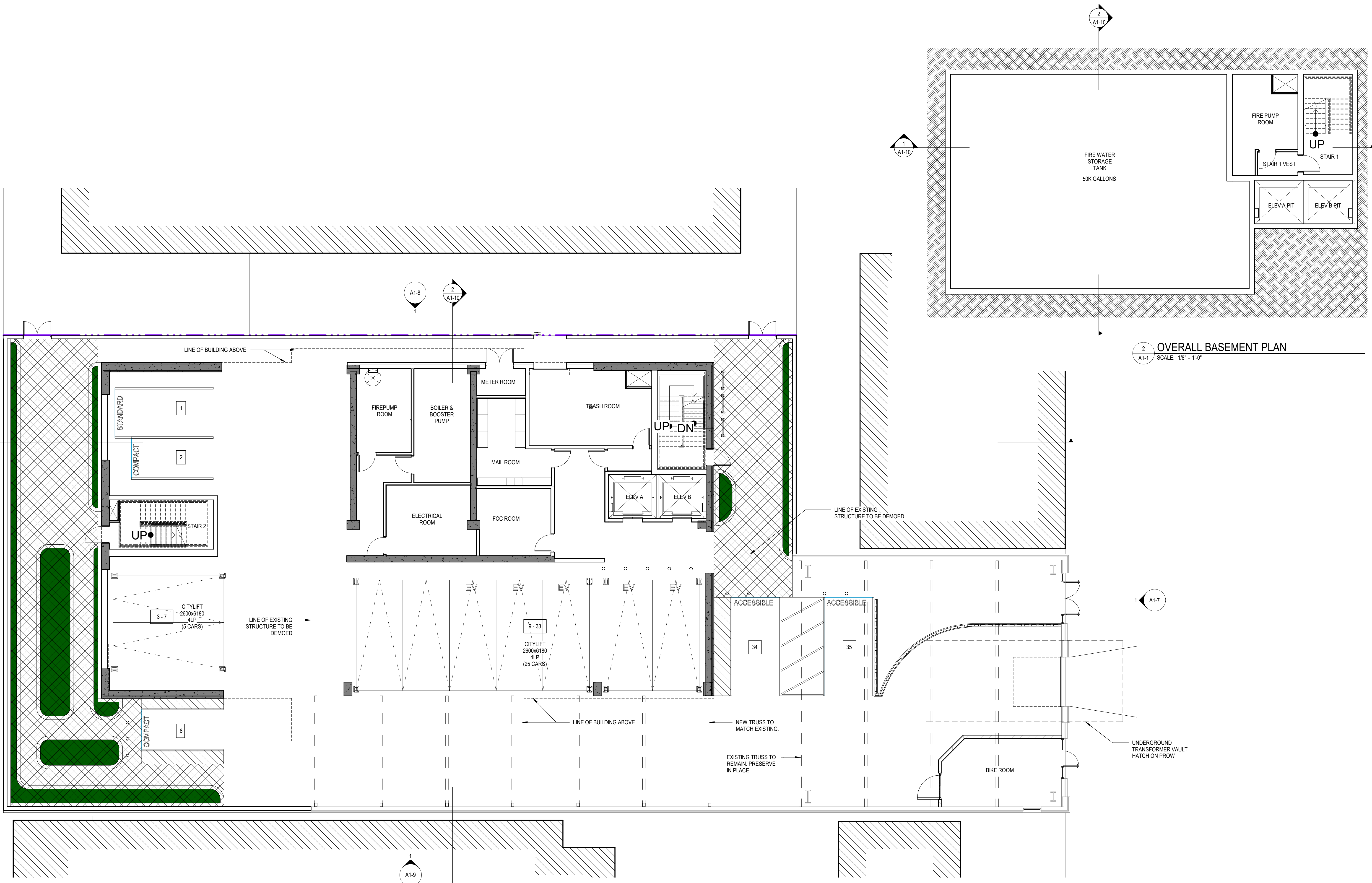
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2 OVERALL BASEMENT PLAN
 A1-1 SCALE: 1/8" = 1'-0"

1 OVERALL FLOOR PLAN, LEVEL 1
 A1-1 SCALE: 1/8" = 1'-0"



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COMMON AMENITY OPEN SPACE 2,258 SF

NOT FOR CONSTRUCTION

Project Logo

FOUND RESIDENCES

6422 Selma Ave, Los Angeles, CA 90028

75-21703-00
 GROUND FLOOR & LANDSCAPE PLAN

A1-1

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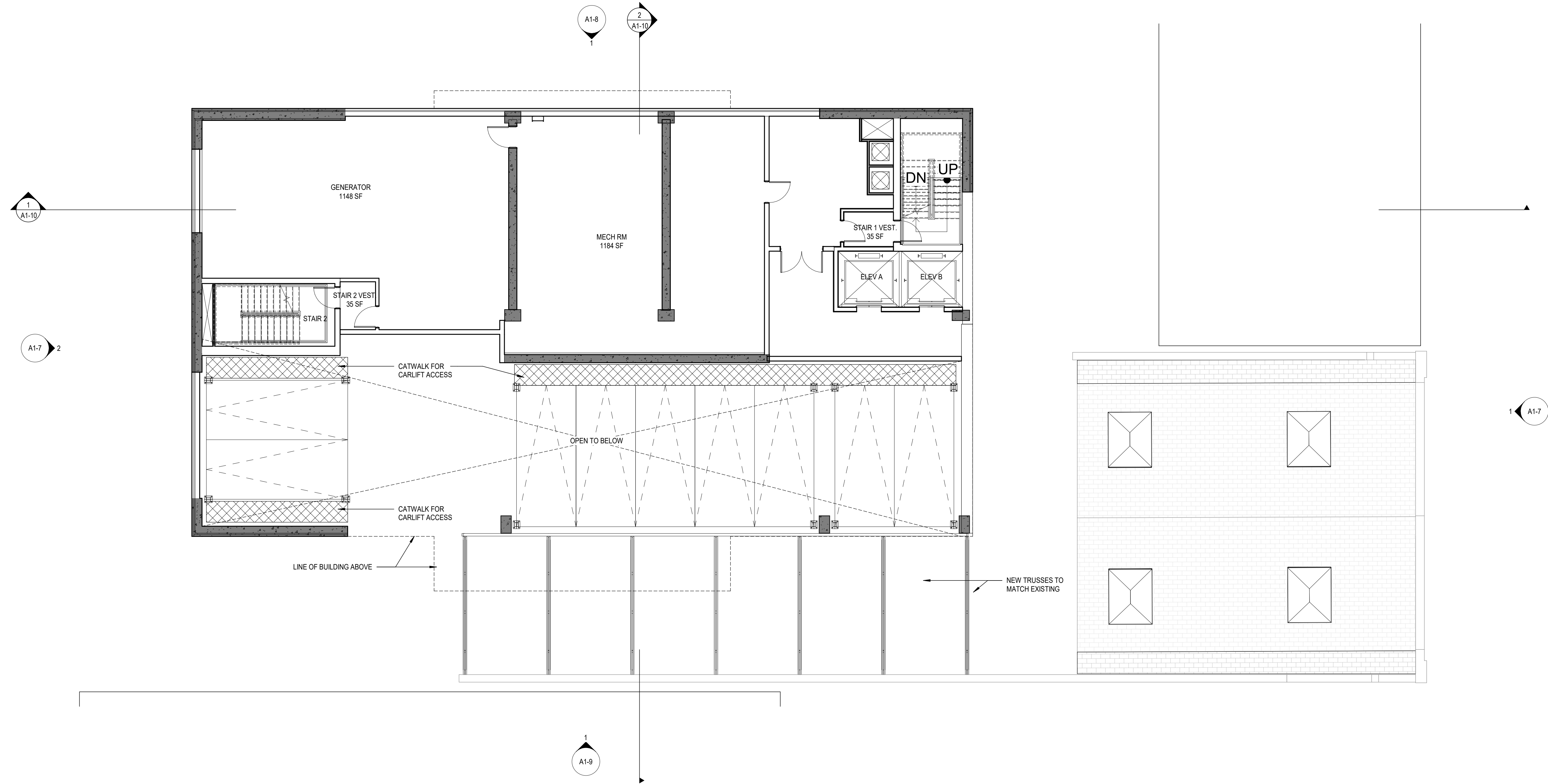
E

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1 OVERALL FLOOR PLAN, LEVEL 2
 A1-2 SCALE: 1/8" = 1'-0"
 NORTH

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PRIVATE RESIDENTIAL OPEN SPACE  26 + 25 + 25 + 21 + 37 + 37 SF = 171 SF / FLOOR

COMMON AMENITY OPEN SPACE  124 SF / FLOOR

TOTAL AREA: 6,218 SF
 TOTAL BEDROOMS: 4 x 4 = 16
 TOTAL RESTROOMS: 4 x 4 = 16

1 OVERALL FLOOR PLAN, TYPICAL (LEVEL 3-12)
 A1-3 SCALE: 3/16" = 1'-0" 

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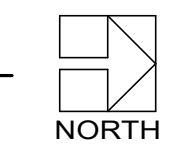


PRIVATE RESIDENTIAL OPEN SPACE  26 + 25 + 25 + 21 + 36 SF = 133 SF / FLOOR

COMMON AMENITY OPEN SPACE  1,347 SF / FLOOR

TOTAL AREA: 5,540 SF
 TOTAL BEDROOMS: 3 x 4 = 12
 TOTAL RESTROOMS: 3 x 4 = 12

1 OVERALL FLOOR PLAN, LEVEL 13
 A1-4 SCALE: 3/16" = 1'-0"



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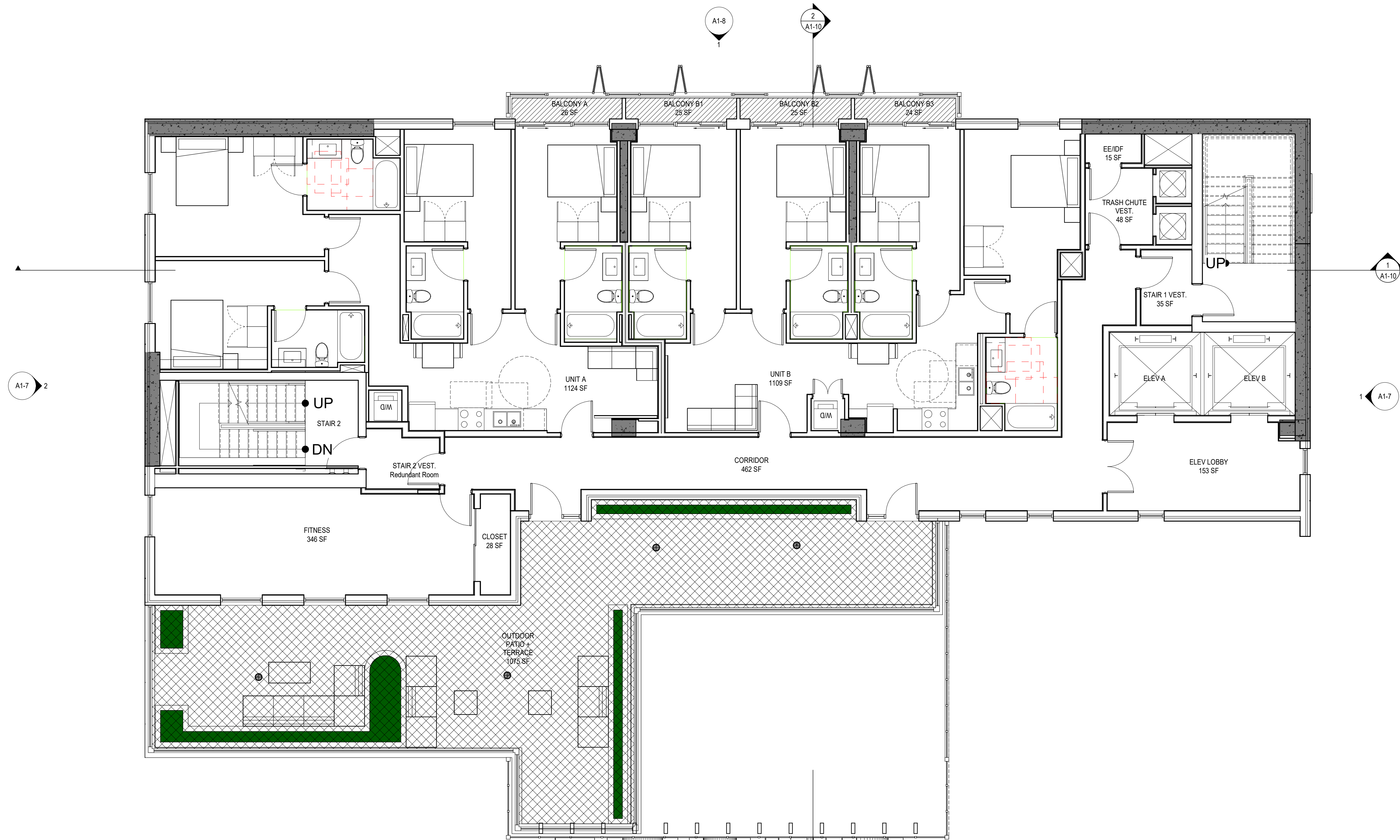
A B C D E


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PRIVATE RESIDENTIAL OPEN SPACE  26 + 25 + 25 + 21 SF = 97 SF / FLOOR

COMMON AMENITY OPEN SPACE  1,100 SF / FLOOR

TOTAL AREA: 5,540 SF

TOTAL BEDROOMS: 2 x 4 = 8

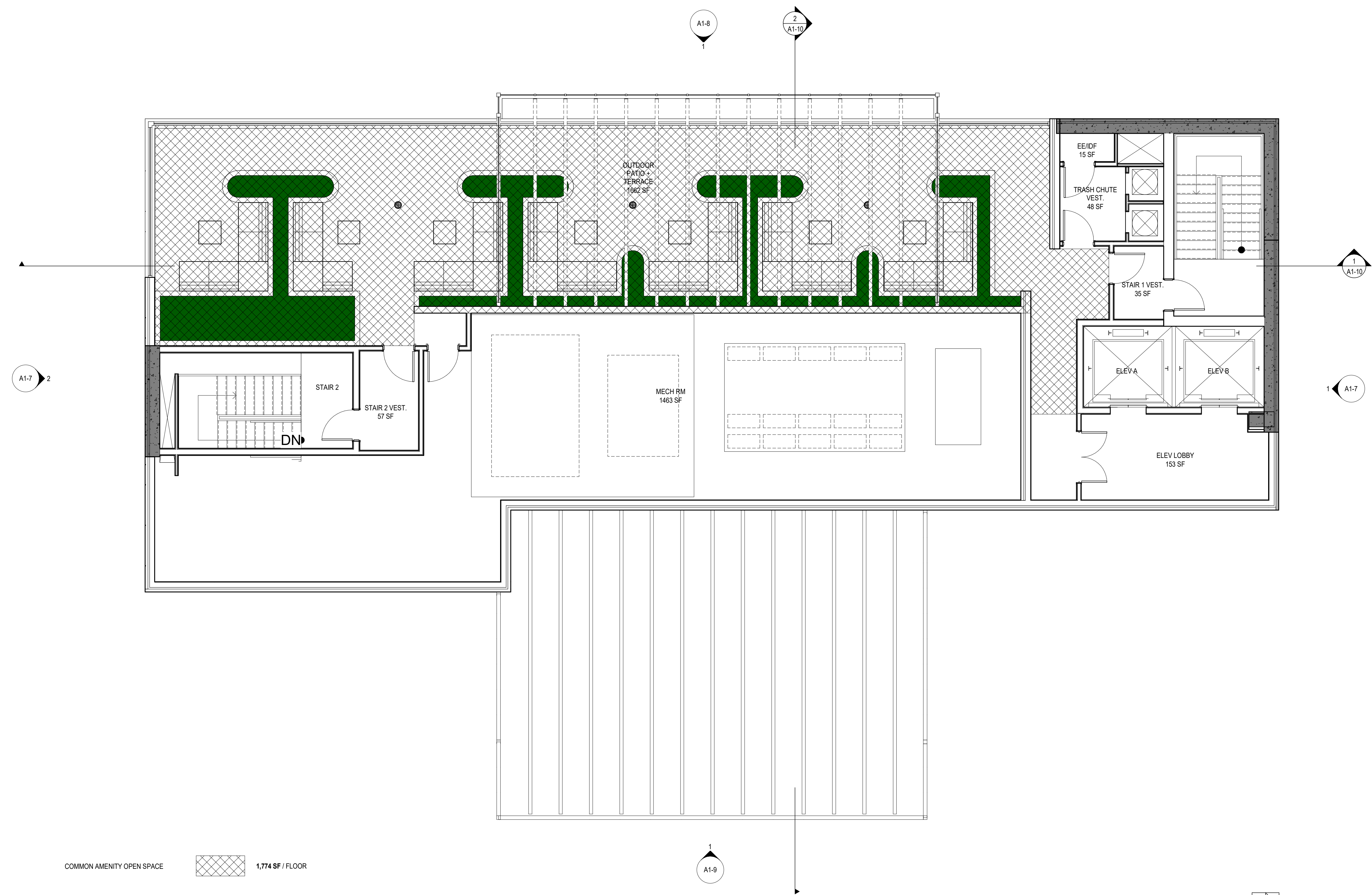
TOTAL RESTROOMS: 2 x 4 = 8

1 OVERALL FLOOR PLAN, LEVEL 14
 A1-5 SCALE: 3/16" = 1'-0"



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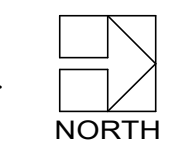
A B C D E



COMMON AMENITY OPEN SPACE 1,774 SF / FLOOR

TOTAL AREA : 4,177 SF

1 OVERALL FLOOR PLAN, LEVEL ROOF
A1-6 SCALE: 3/16" = 1'-0"



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E3

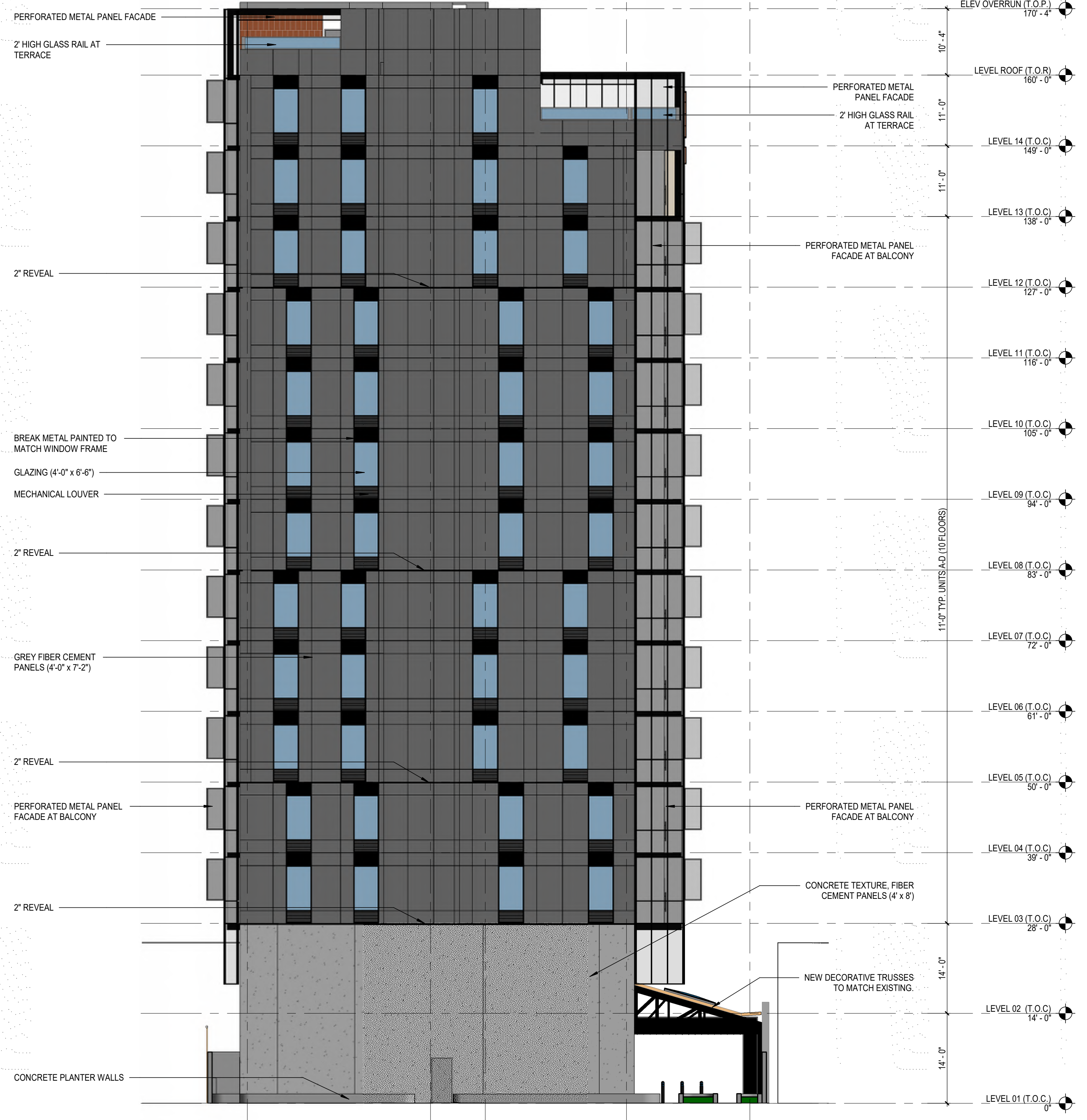
E3

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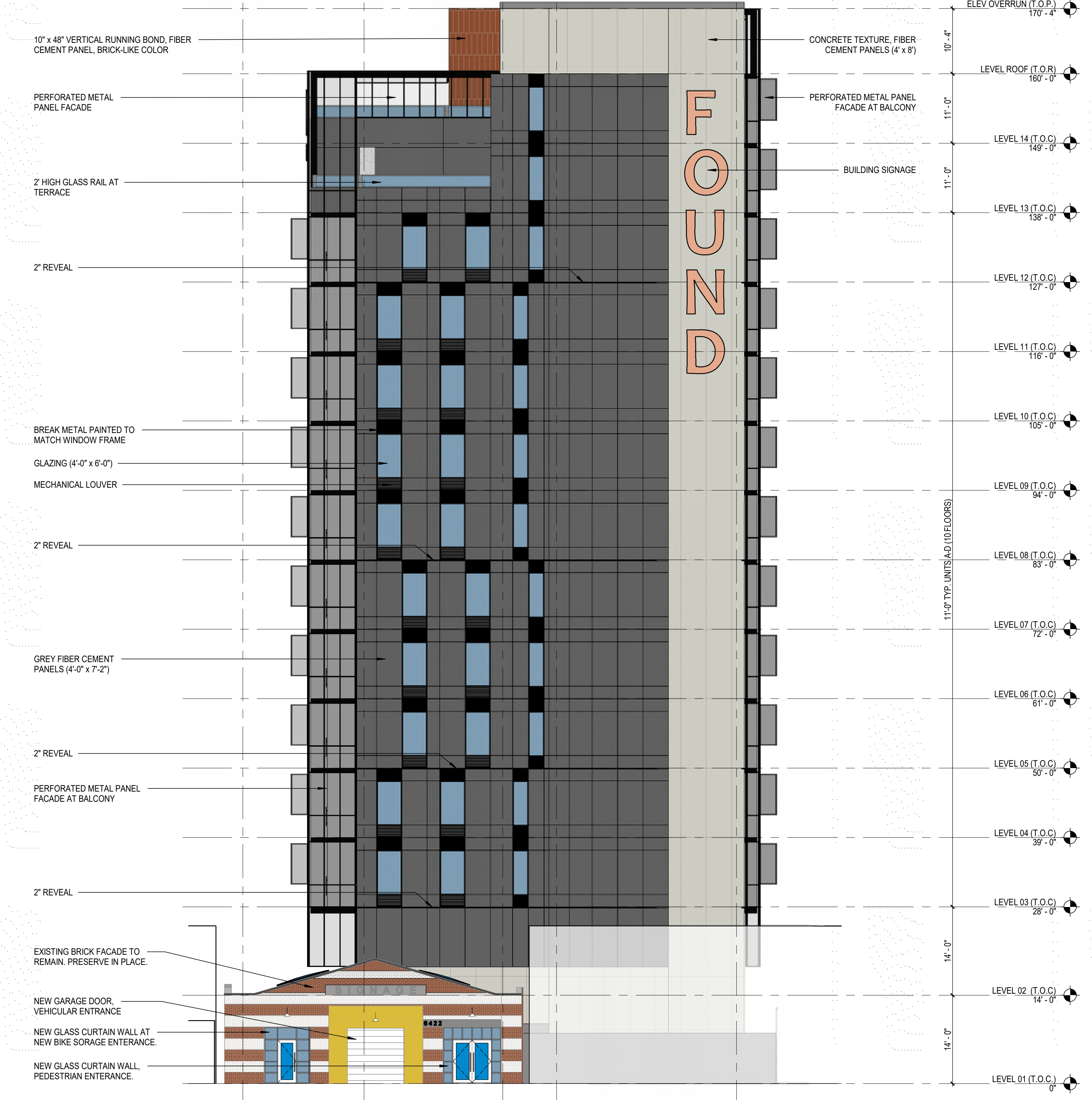
E2

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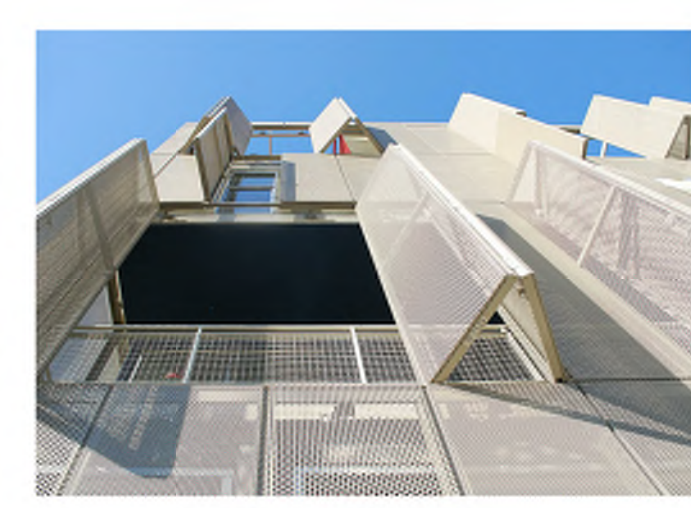
2 OVERALL ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



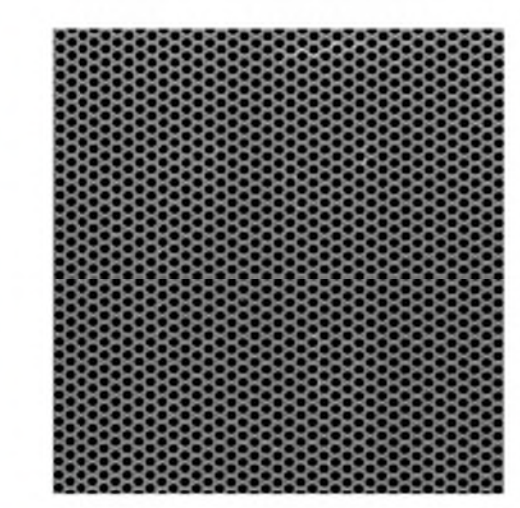
1 OVERALL ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



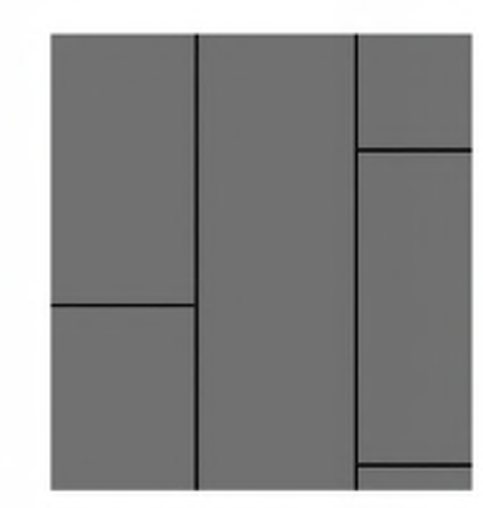
GLASS WINDSCREEN
MANUFACTURER: TREX COMMERCIAL PRODUCTS



OPERABLE PERFORATED METAL PANEL
MANUFACTURER: McNICHOLS



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE TECTIVA



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE PICTURA



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE 10' X 48" VERTICAL RUNNING BOND

A

B

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D

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(EH)

(EG)

(F)

(E)

(D)

(C)

(B)

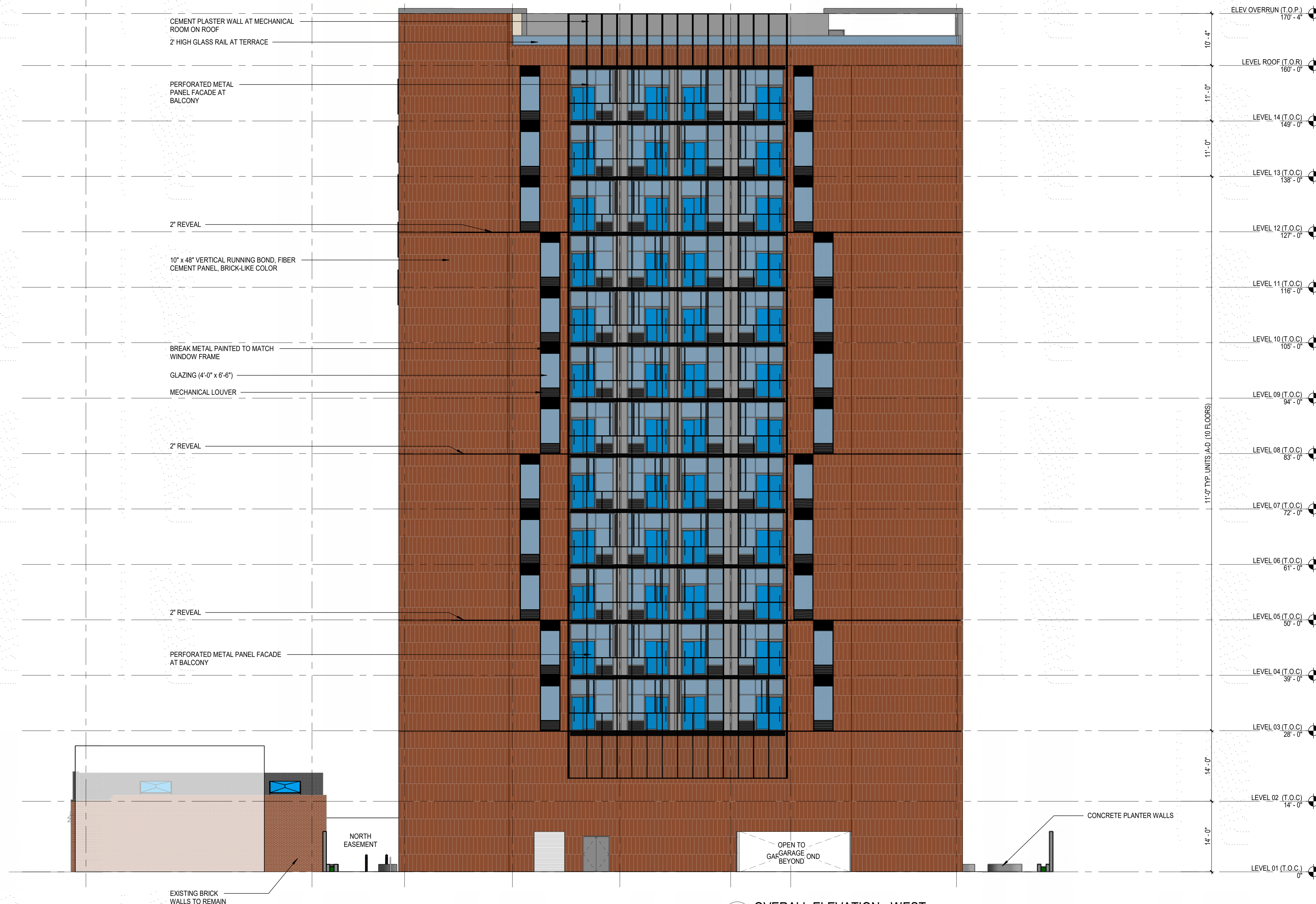
(A)

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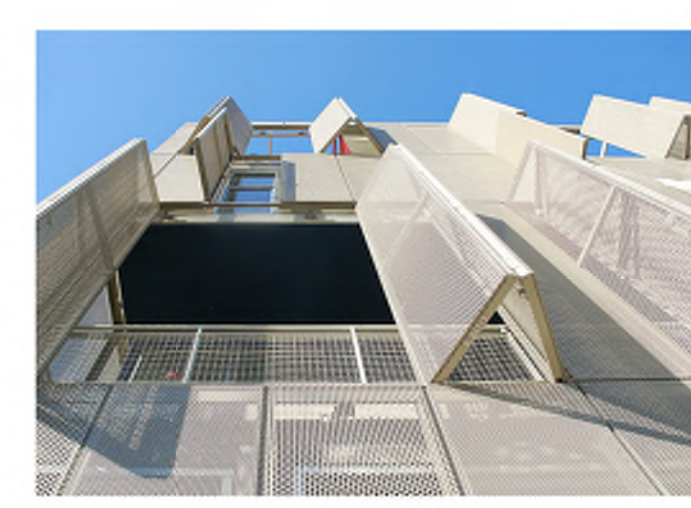
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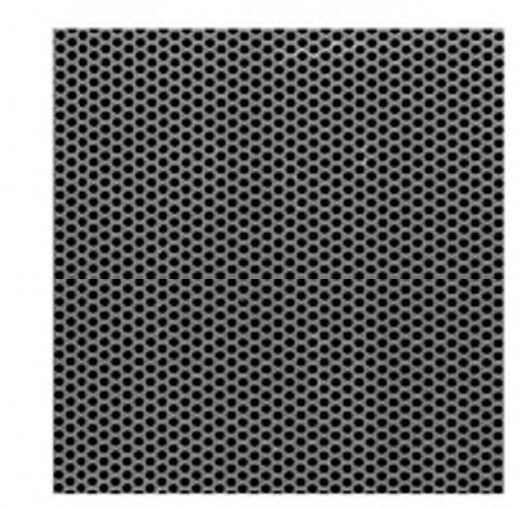
1 OVERALL ELEVATION - WEST
A1-8 SCALE: 3/32" = 1'-0"



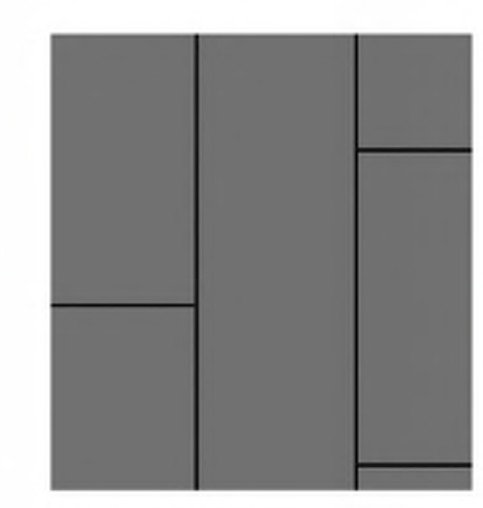
GLASS WINDSCREEN
MANUFACTURER: TREX COMMERCIAL PRODUCTS



OPERABLE PERFORATED METAL PANEL
MANUFACTURER: McNICHOLS



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE TECTIVA



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE PICTURA



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE 10" X 48" VERTICAL RUNNING BOND

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A

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E

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EG

E.H

2' HIGH GLASS RAIL AT TERRACE
BUILDING SIGNAGE

PERFORATED METAL PANEL
FACADE AT BALCONY

2' REVEAL

10" x 48" VERTICAL RUNNING BOND, FIBER
CEMENT PANEL, BRICK-LIKE COLOR

BREAK METAL PAINTED TO
MATCH WINDOW FRAME

GLAZING (4'-0" x 6'-0")
MECHANICAL LOUVER

2' REVEAL

PERFORATED METAL PANEL
FACADE AT BALCONY

2' REVEAL

NEW DECORATIVE TRUSSES
TO MATCH EXISTING.

CONCRETE PLANTERS

FOUND RESIDENCES

- ELEV OVERRUN (T.O.P.) 170'-4"
- 10'-4"
- LEVEL ROOF (T.O.R) 160'-0"
- 11'-0"
- LEVEL 14 (T.O.C) 149'-0"
- 11'-0"
- LEVEL 13 (T.O.C) 138'-0"
- LEVEL 12 (T.O.C) 127'-0"
- LEVEL 11 (T.O.C) 116'-0"
- LEVEL 10 (T.O.C) 105'-0"
- LEVEL 09 (T.O.C) 94'-0"
- LEVEL 08 (T.O.C) 83'-0"
- LEVEL 07 (T.O.C) 72'-0"
- LEVEL 06 (T.O.C) 61'-0"
- LEVEL 05 (T.O.C) 50'-0"
- LEVEL 04 (T.O.C) 39'-0"
- LEVEL 03 (T.O.C) 28'-0"
- LEVEL 02 (T.O.C) 14'-0"
- LEVEL 01 (T.O.C) 0'

11'-0" TYP. UNITS AD (10 FLOORS)

SELMA AVE.

NEW BRICK SCREEN BETWEEN PED
ENTRANCE AND DRIVE AISLE

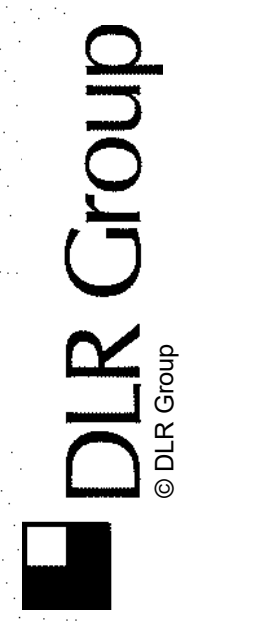
NEW WOOD TRUSS TO BE
REPLICATED TO MATCH EXISTING

EXISTING WOOD TRUSS TO
REMAIN AND REINFORCED

EXISTING SKYLIGHTS
TO REMAIN

1 OVERALL ELEVATION - EAST
A1-9 / SCALE: 3/32" = 1'-0"

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NOT FOR
CONSTRUCTION

Project
Logo

FOUND RESIDENCES

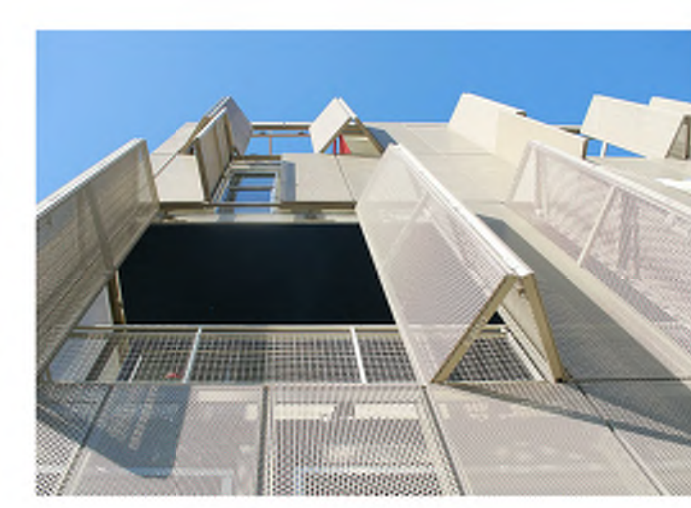
6422 Selma Ave, Los Angeles, CA 90028

75-21703-00
BUILDING
ELEVATION -
EAST

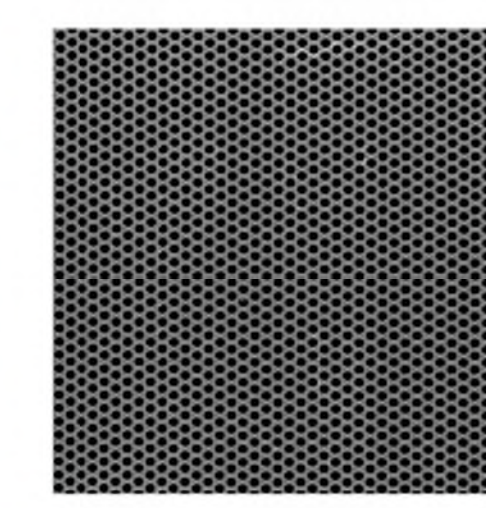
A1-9



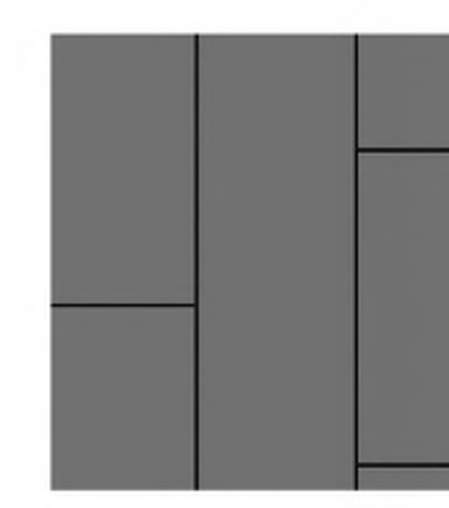
GLASS WINDSCREEN
MANUFACTURER: TREX COMMERCIAL PRODUCTS



OPERABLE PERFORATED METAL PANEL
MANUFACTURER: MGNICHOLS



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE
TECTIVA



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE
PICTURA



FIBER CEMENT PANEL
MANUFACTURER: EQUITONE
10" X 48" VERTICAL RUNNING BOND

BIM 360/75-21703-00 HW - Selma Residences/75-21703-00_HW-Selma-Res_AR_2020.rvt
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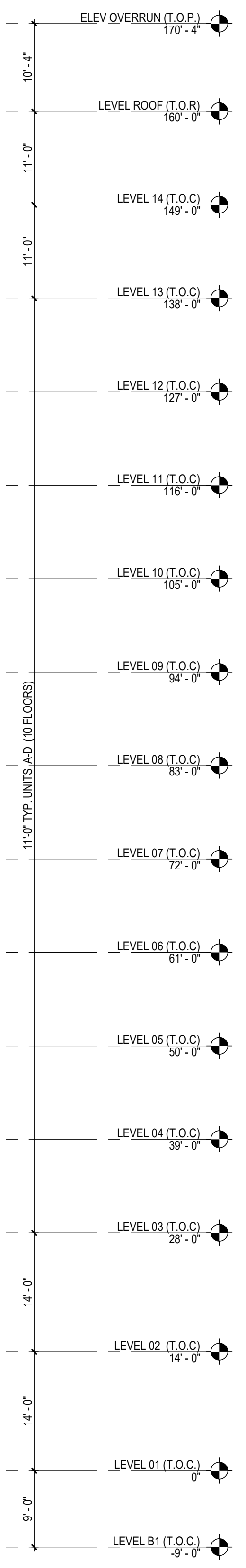
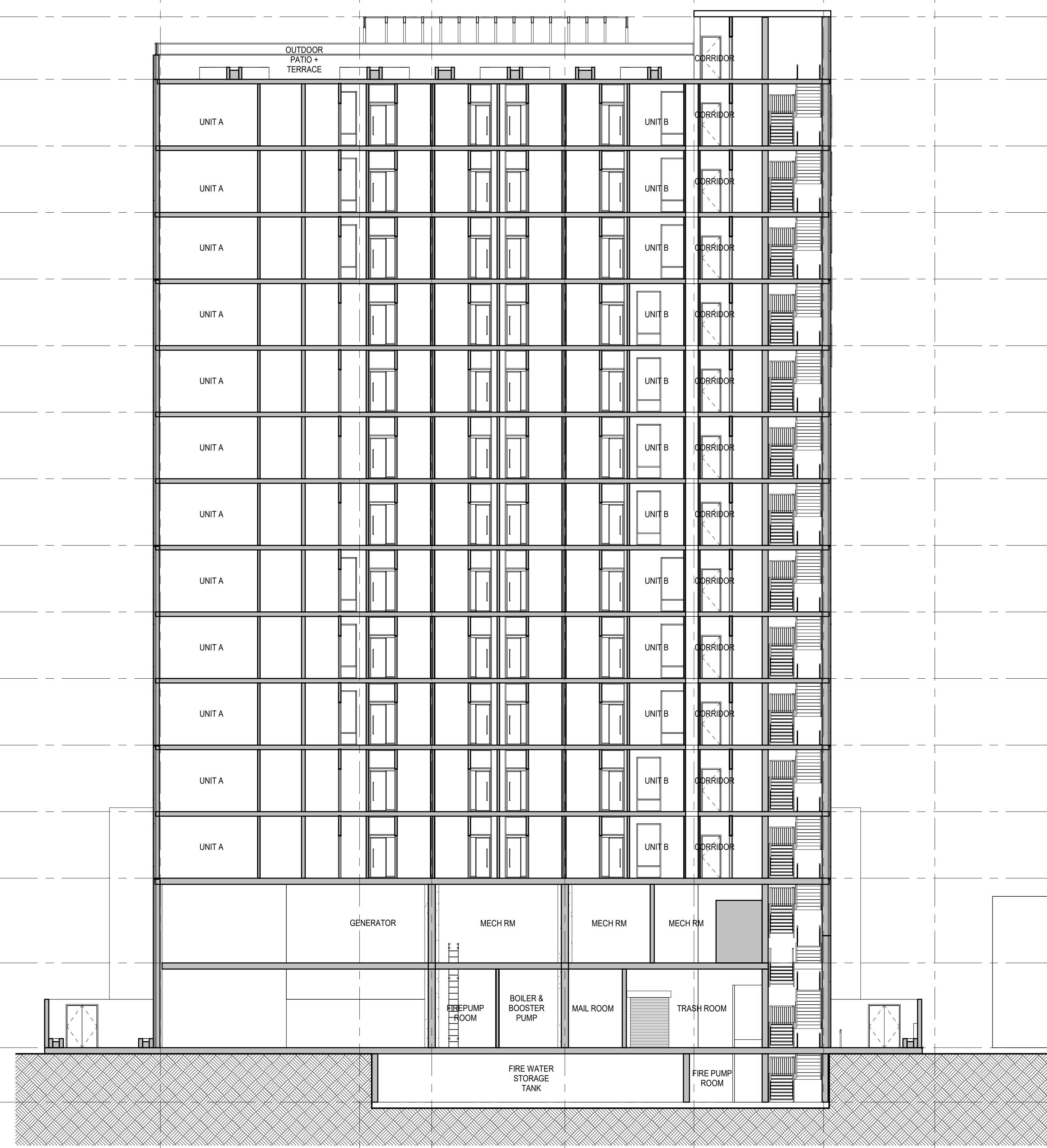
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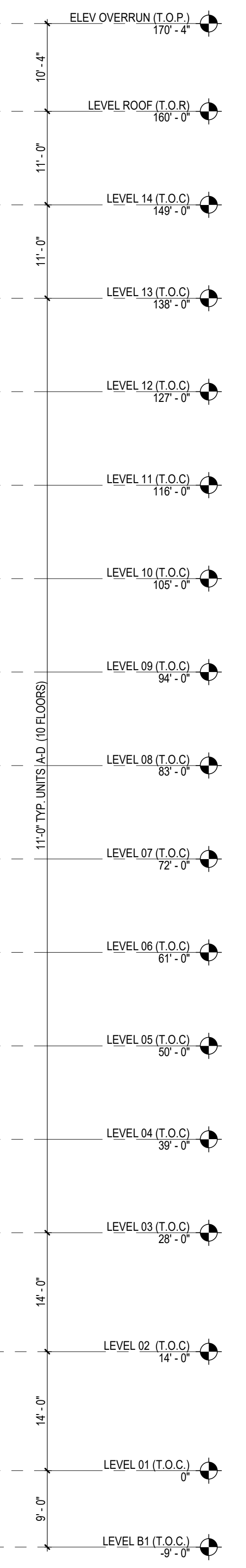
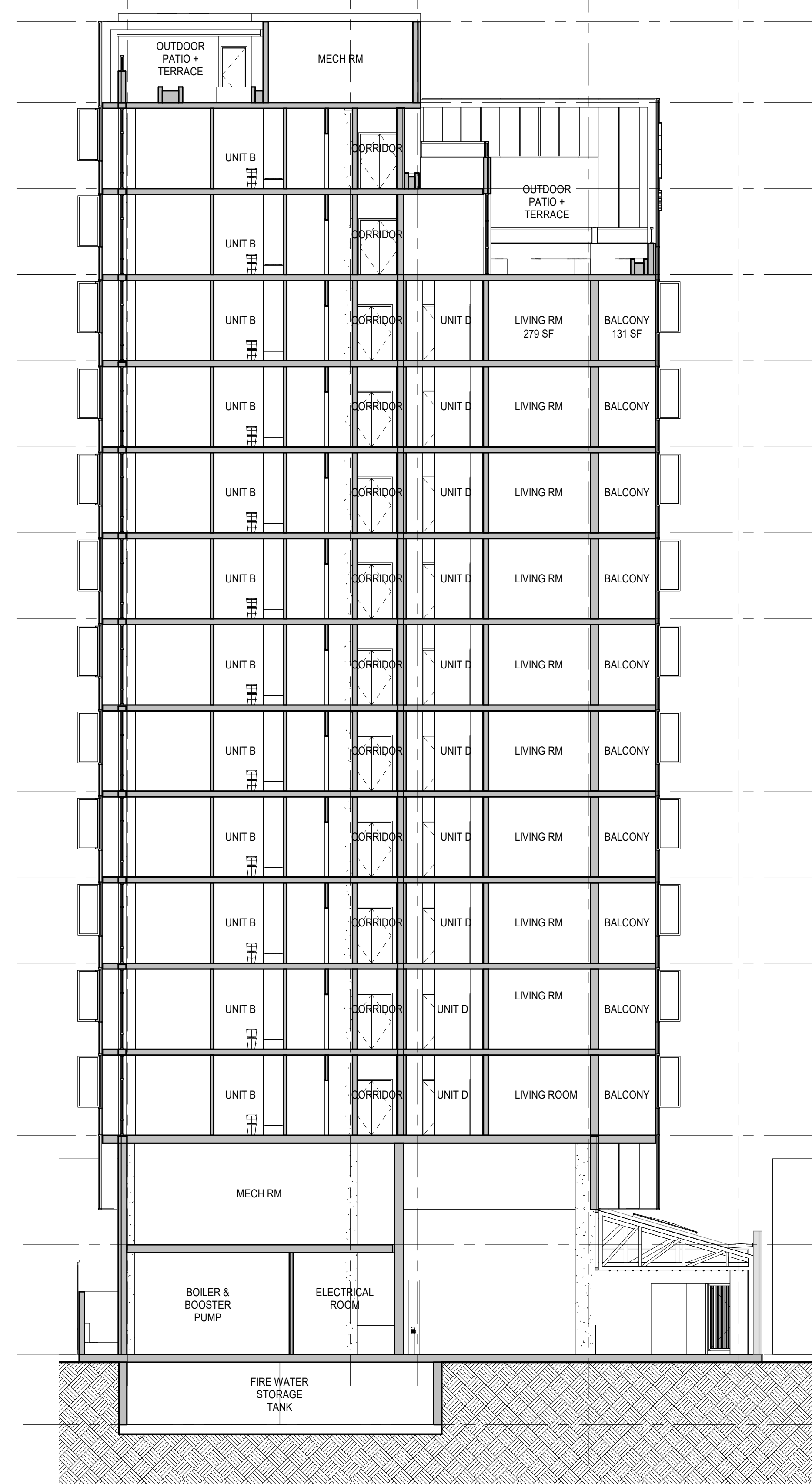
A B C D E

A B C D E F EG

1 2 E2 3 E3



1 OVERALL BUILDING SECTION - NORTH/SOUTH
A1-10 SCALE: 3/32" = 1'-0"



2 OVERALL BUILDING SECTION - WEST/EAST
A1-10 SCALE: 3/32" = 1'-0"



HISTORIC IMAGE



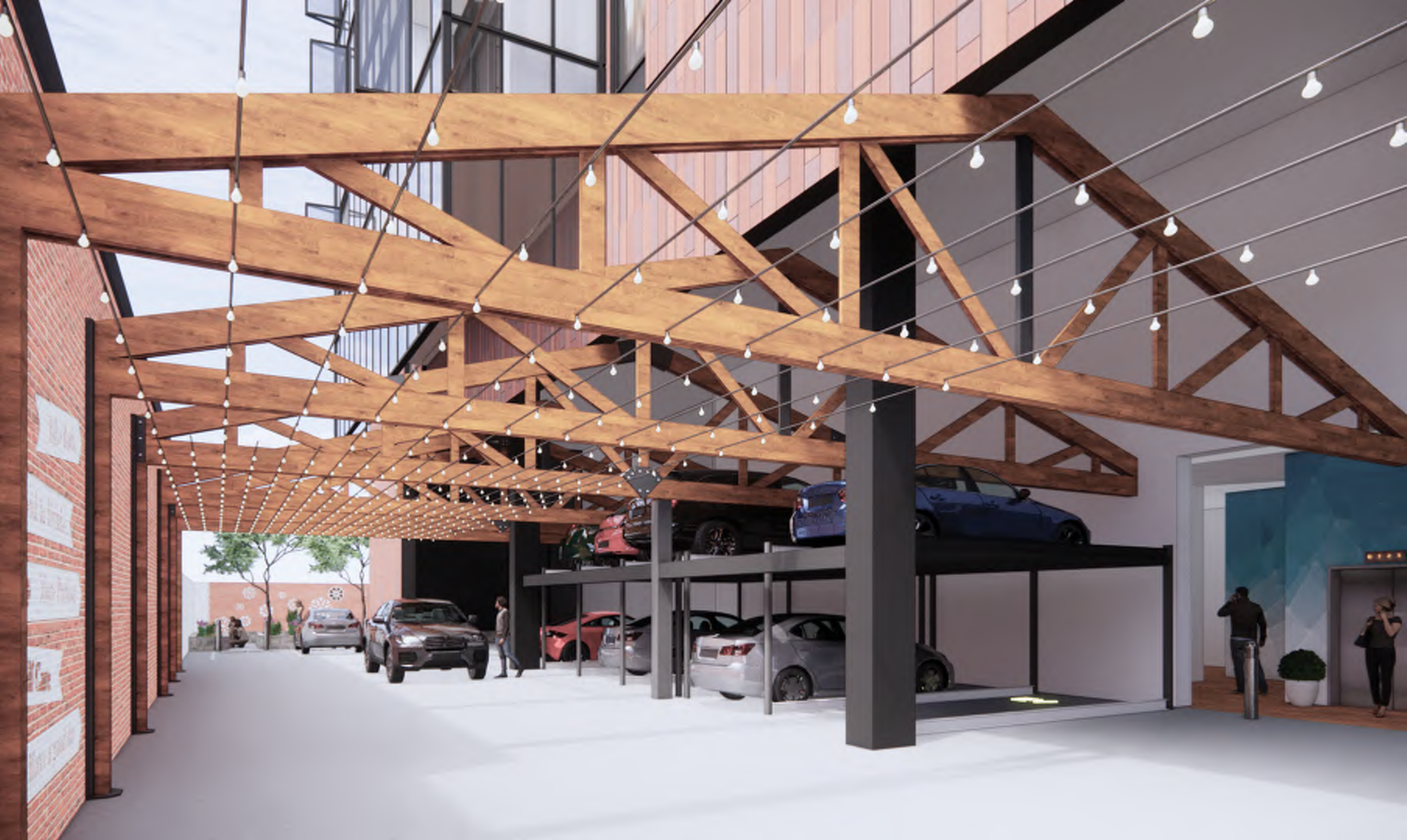
EXISTING

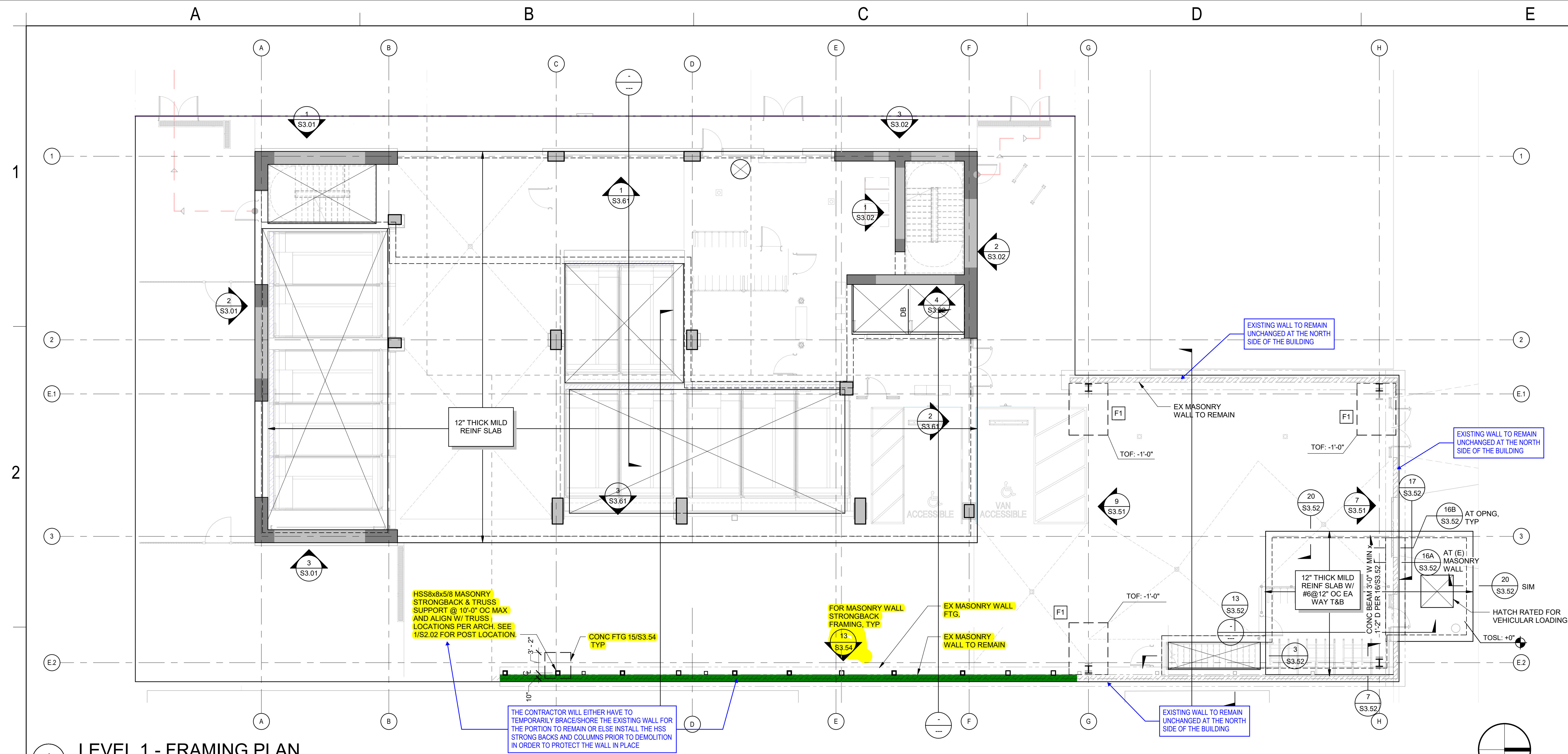
HISTORIC FACADE



PROPOSED







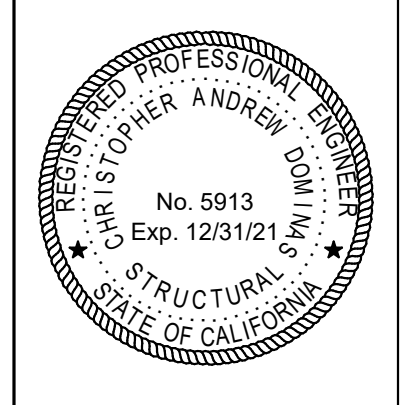
GENERAL PLAN NOTES:
 G1. REFERENCE DRAWINGS:
 S0.0X - STRUCTURAL NOTES, SPECIAL INSPECTION SCHEDULE, SYMBOLS AND ABBREVIATIONS
 S1.XX - LOAD MAPS
 S4.0X - TYPICAL CONCRETE DETAILS
 S4.21 - CONCRETE COLUMN SCHEDULE
 S5.0X - TYPICAL STEEL DETAILS
 S6.0X - TYPICAL CMU DETAILS
 S7.01 - TYPICAL COLD-FORMED STEEL DETAILS
 S8.01 - EXTERIOR CLADDING DETAILS
 A2.0X - SLAB PLANS

G2. INDICATES COLUMN ABOVE PER S4.21.

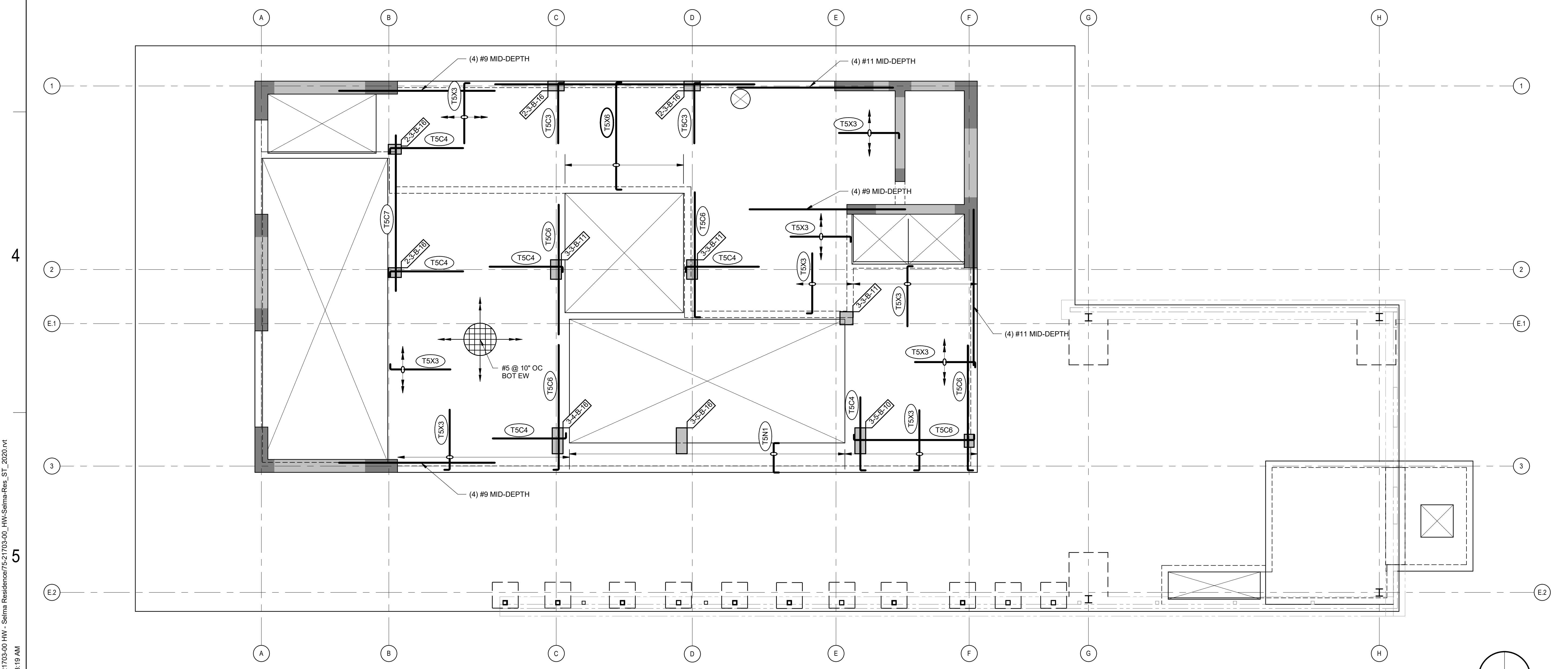
FOUNDATION PLAN NOTES:
 F1. TOP OF MAT FOUNDATION SHALL BE 42"-0" THIS LEVEL, UNO.
 F2. SLAB-ON-GRADE SHALL BE 4" THICK WITH #4 @ 18" OC EW, UNO. BASE FOR SLAB-ON-GRADE SHALL CONSIST OF VAPOR RETARDER OVER 7" COMPACTED GRAVEL FILL.
 F3. SEE FOOTING SCHEDULE ON THIS SHEET FOR PAD FOOTINGS AT EXISTING ONE-STORY BUILDING.

CONCRETE FRAMING PLAN NOTES:
 C1. TOP OF SLAB SHALL BE THIS LEVEL, UNO.
 C2. (+X-X") INDICATES VERTICAL OFFSET OF TOP OF SLAB RELATIVE TO ELEVATIONS SPECIFIED IN NOTE C2.
 C3. B-T INDICATES CONCRETE BEAM PER S4.08.
 C6. INDICATES AREA OF SLAB ON EPS GEOFOAM PER S4.01.

EXISTING ONE-STORY BUILDING PAD FOOTING SCHEDULE				
TYPE	LENGTH	WIDTH	THICKNESS	REINFORCEMENT
F1	8'-0"	6'-0"	1'-0"	(6) #5 LONG & (8) #6 SHORT T&B



1 LEVEL 1 - FRAMING PLAN
 1/8" = 1'-0"



REINFORCING SCHEDULE			
MARK	QUANTITY	MARK	SPACING
--A	(4)	--N	@ 4" OC
--B	(6)	--P	@ 6" OC
--C	(8)	--O	@ 8" OC
--D	(10)	--R	@ 9" OC
--E	(12)	--S	@ 10" OC
--F	(14)	--T	@ 12" OC
--G	(16)	--U	@ 14" OC
--H	(18)	--V	@ 16" OC
--J	(20)	--W	@ 18" OC
--K	(24)	--X	@ 24" OC
--L	(28)	--Y	@ 30" OC
--M	-	--Z	-

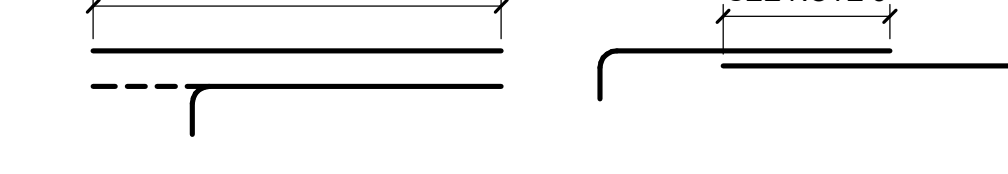
BAR SIZE:
 4 = #4 7 = #7
 5 = #5 8 = #8
 6 = #6 9 = #9

BAR POSITION:
 T = TOP
 B = BOT
 M = MID

BAR QUANTITY OR SPACING PER REINFORCING SCHEDULE:
 TWO LETTERS INDICATE BAR QUANTITY AND SPACING

BAR LENGTH:
 1 = 6'-0" 6 = 20'-0"
 2 = 7'-6" 7 = 24'-0"
 3 = 10'-0" 8 = 30'-0"
 4 = 12'-0" 9 = 40'-0"
 5 = 15'-0" 0 = PER PLAN

EXAMPLES:
 T4A2 = (4) #4x7'-6" TOP REINFORCEMENT
 B6N4 = #6x12'-0" BOTTOM REINFORCEMENT, SPACED AT 4" OC
 B5CR9 = (8) #5 x 15'-0" BOTTOM REINFORCEMENT, SPACED AT 9" OC



NOTES:
 1. BARS ARE HOOKED ONE OR BOTH ENDS, OR STRAIGHT PER PLAN.
 2. TOP AND BOTTOM BARS IN SCHEDULE ARE IN ADDITION TO DISTRIBUTED BARS SHOWN ON PLAN.
 3. BARS MAY BE SPLICED AT CONTRACTOR'S OPTION. SEE BAR SPLICE AND DEVELOPMENT SCHEDULE ON SHEET S4.08.
 4. REINFORCEMENT SHALL BE PLACED IN THE FOLLOWING SEQUENCE:
 A. E-W BOT REINF / ALL BEAM STIRRUPS
 B. N-S BOT REINF / ALL BEAM LONGITUDINAL
 C. N-S TOP REINF
 D. E-W TOP REINF

5. INDICATES STUDRAILS PER S4.08.

2 LEVEL 1 - REINFORCING PLAN
 1/8" = 1'-0"

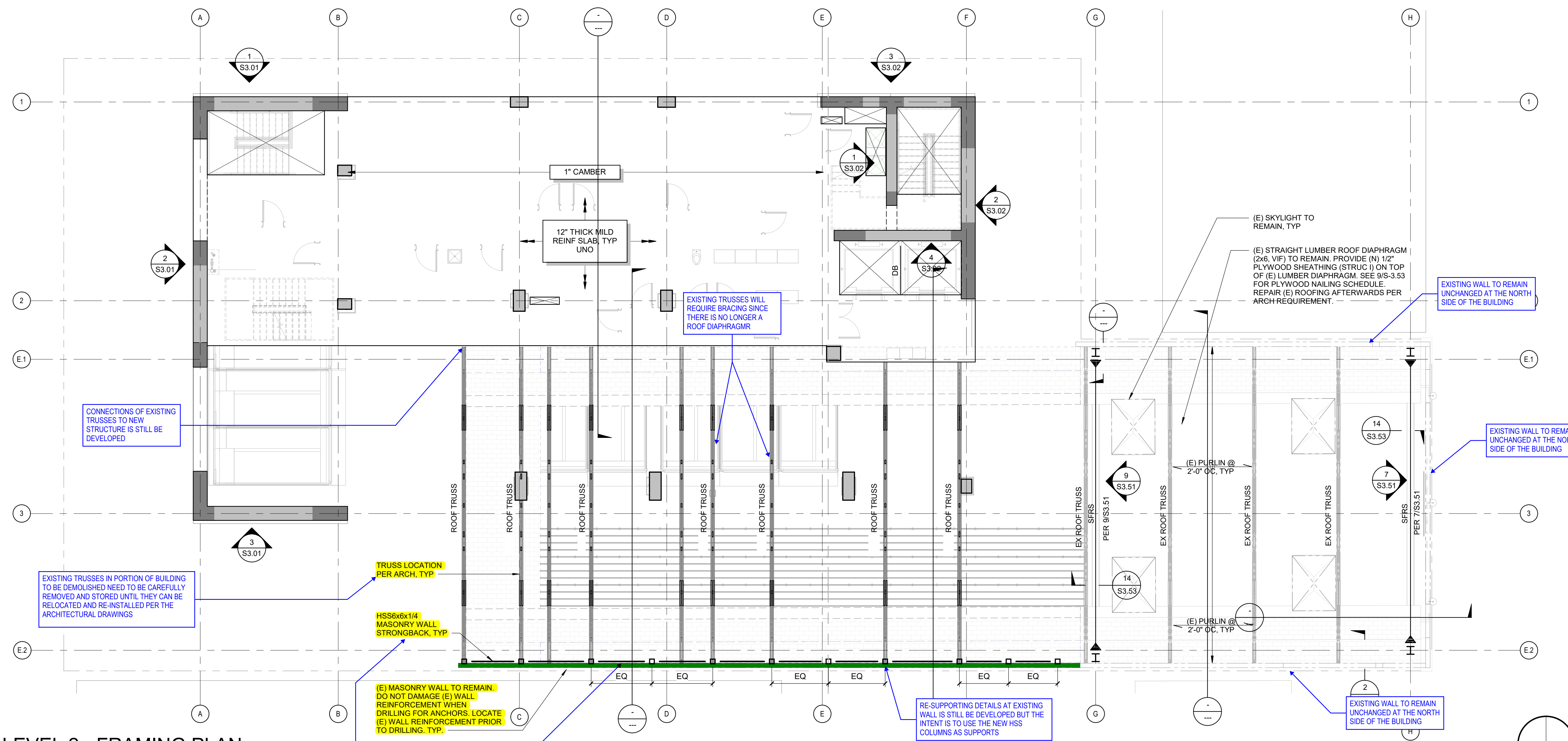
FOUND RESIDENCES

60% CONSTRUCTION DOCUMENTS
 04/23/2021
 REVISIONS

75-21703-00
 LEVEL 01 FRAMING & REINFORCING PLANS

S2.01

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1 LEVEL 2 - FRAMING PLAN
1/8" = 1'-0"

THE CONTRACTOR WILL EITHER HAVE TO TEMPORARILY BRACE/SHORE THE EXISTING WALL FOR THE PORTION TO REMAIN OR ELSE INSTALL THE HSS STRONG BACKS AND COLUMNS PRIOR TO DEMOLITION IN ORDER TO PROTECT THE WALL IN PLACE

- GENERAL PLAN NOTES:**
- G1. REFERENCE DRAWINGS:
 - S0.0X - STRUCTURAL NOTES, SPECIAL INSPECTION SCHEDULE, SYMBOLS AND ABBREVIATIONS
 - S1.XX - LOAD MAPS
 - S4.0X - TYPICAL CONCRETE DETAILS
 - S4.21 - CONCRETE COLUMN SCHEDULE
 - S5.0X - TYPICAL STEEL DETAILS
 - S6.0X - TYPICAL CMU DETAILS
 - S7.01 - TYPICAL COLD-FORMED STEEL DETAILS
 - S8.01 - EXTERIOR CLADDING DETAILS
 - A2.0X - SLAB PLANS

G2. INDICATES COLUMN ABOVE PER S4.21.

- CONCRETE FRAMING PLAN NOTES:**
- C1. TOP OF SLAB SHALL BE 14'-0" THIS LEVEL, UNO.
 - C2. (+X'-X") INDICATES VERTICAL OFFSET OF TOP OF SLAB RELATIVE TO ELEVATIONS SPECIFIED IN NOTE C1.
 - C3. B-1 INDICATES CONCRETE BEAM PER "77".
 - C4. INDICATES AREA OF SLAB ON EPS GEOFOAM PER 14S4.01.
 - C5. INDICATES STUDRAIL PER S4.08.

MARK	QUANTITY	MARK	SPACING
--A	(4)	--N	@ 4" OC
--B	(6)	--P	@ 6" OC
--C	(8)	--Q	@ 8" OC
--D	(10)	--R	@ 9" OC
--E	(12)	--S	@ 10" OC
--F	(14)	--T	@ 12" OC
--G	(16)	--U	@ 14" OC
--H	(18)	--V	@ 16" OC
--J	(20)	--W	@ 18" OC
--K	(24)	--X	@ 24" OC
--L	(28)	--Y	@ 30" OC
--M	-	--Z	-

BAR SIZE:
4 = #4 7 = #7
5 = #5 8 = #8
6 = #6 9 = #9

BAR POSITION:
T = TOP
B = BOT
M = MID

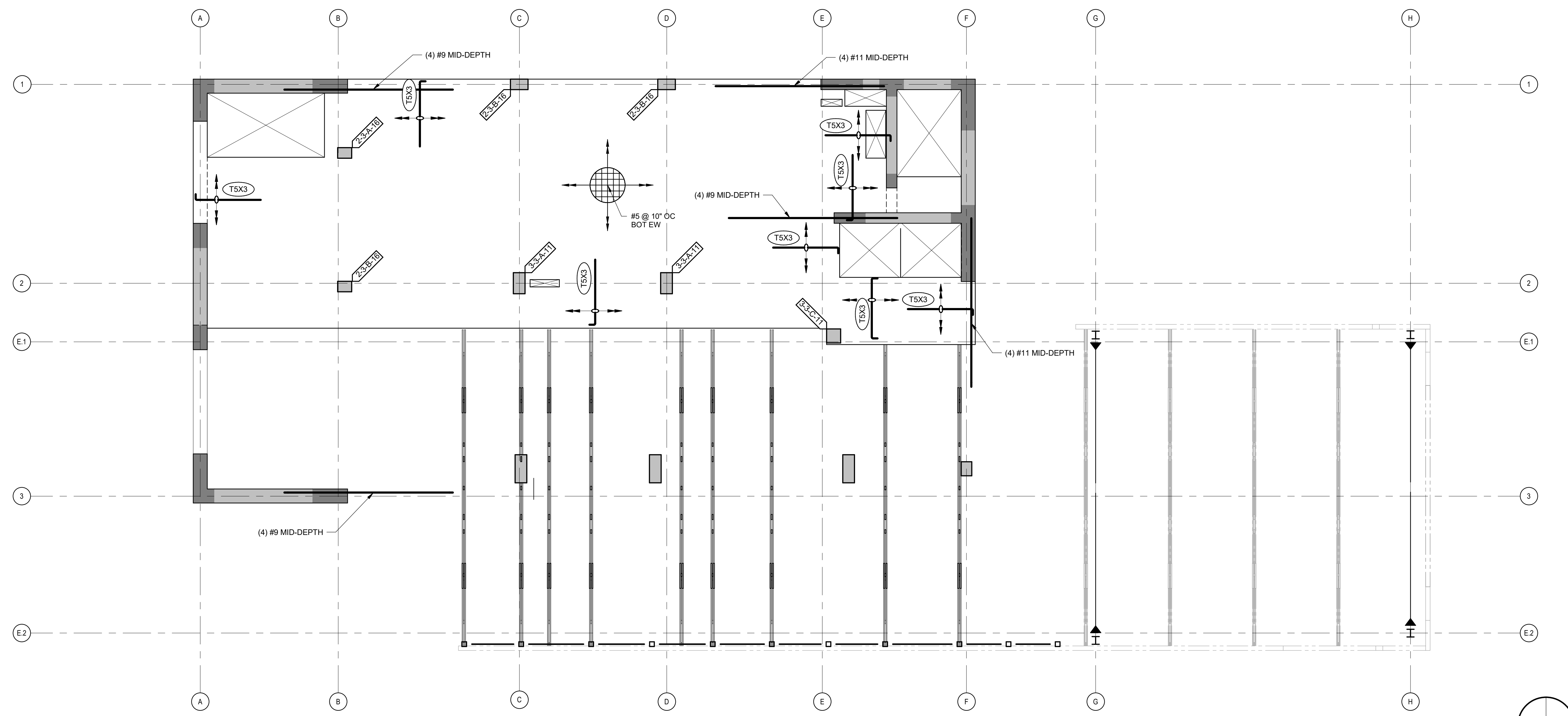
BAR QUANTITY OR SPACING PER REINFORCING SCHEDULE:
TWO LETTERS INDICATE BAR QUANTITY AND SPACING

BAR LENGTH:
1 = 6'-0" 6 = 20'-0"
2 = 7'-6" 7 = 24'-0"
3 = 10'-0" 8 = 30'-0"
4 = 12'-0" 9 = 40'-0"
5 = 15'-0" 0 = PER PLAN

EXAMPLES:
T4A2 = (4) #4x7'-6" TOP REINFORCEMENT
B6N4 = #6x12'-0" BOTTOM REINFORCEMENT, SPACED AT 4" OC
B5CR8 = (8) #5 x 15'-0" BOTTOM REINFORCEMENT, SPACED AT 9" OC

NOTES:

1. BARS ARE HOOKED ONE OR BOTH ENDS, OR STRAIGHT PER PLAN.
2. TOP AND BOTTOM BARS IN SCHEDULE ARE IN ADDITION TO DISTRIBUTED BARS SHOWN ON PLAN.
3. BARS MAY BE SPLICED AT CONTRACTOR'S OPTION. SEE BAR SPLICE AND DEVELOPMENT SCHEDULE ON SHEET S4.00.
4. REINFORCEMENT SHALL BE PLACED IN THE FOLLOWING SEQUENCE:
 - A. E-W BOT REINF / ALL BEAM STIRRUPS
 - B. N-S BOT REINF / ALL BEAM LONGITUDINAL
 - C. N-S TOP REINF
 - D. E-W TOP REINF
5. INDICATES STUDRAILS PER S4.08.

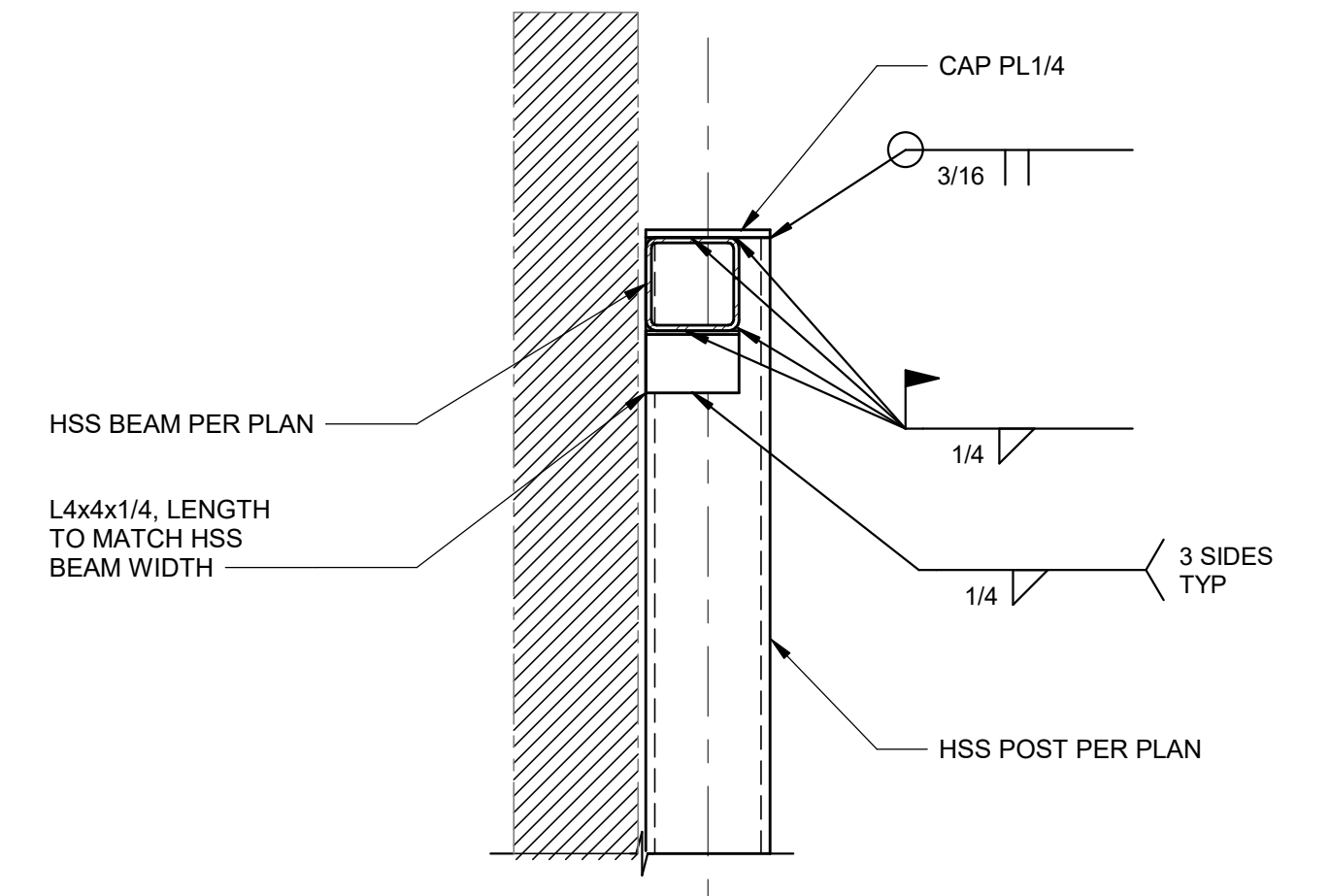
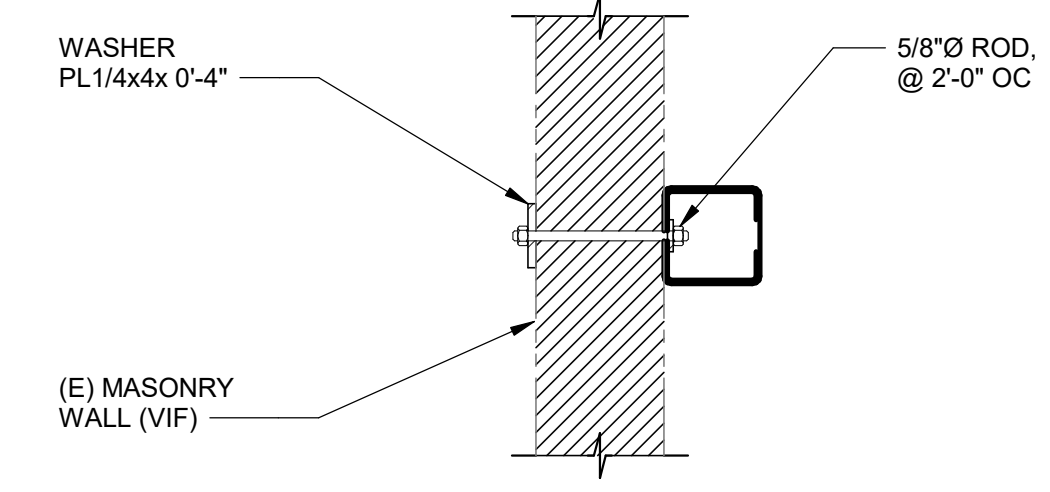


2 LEVEL 2 - REINFORCING PLAN
1/8" = 1'-0"

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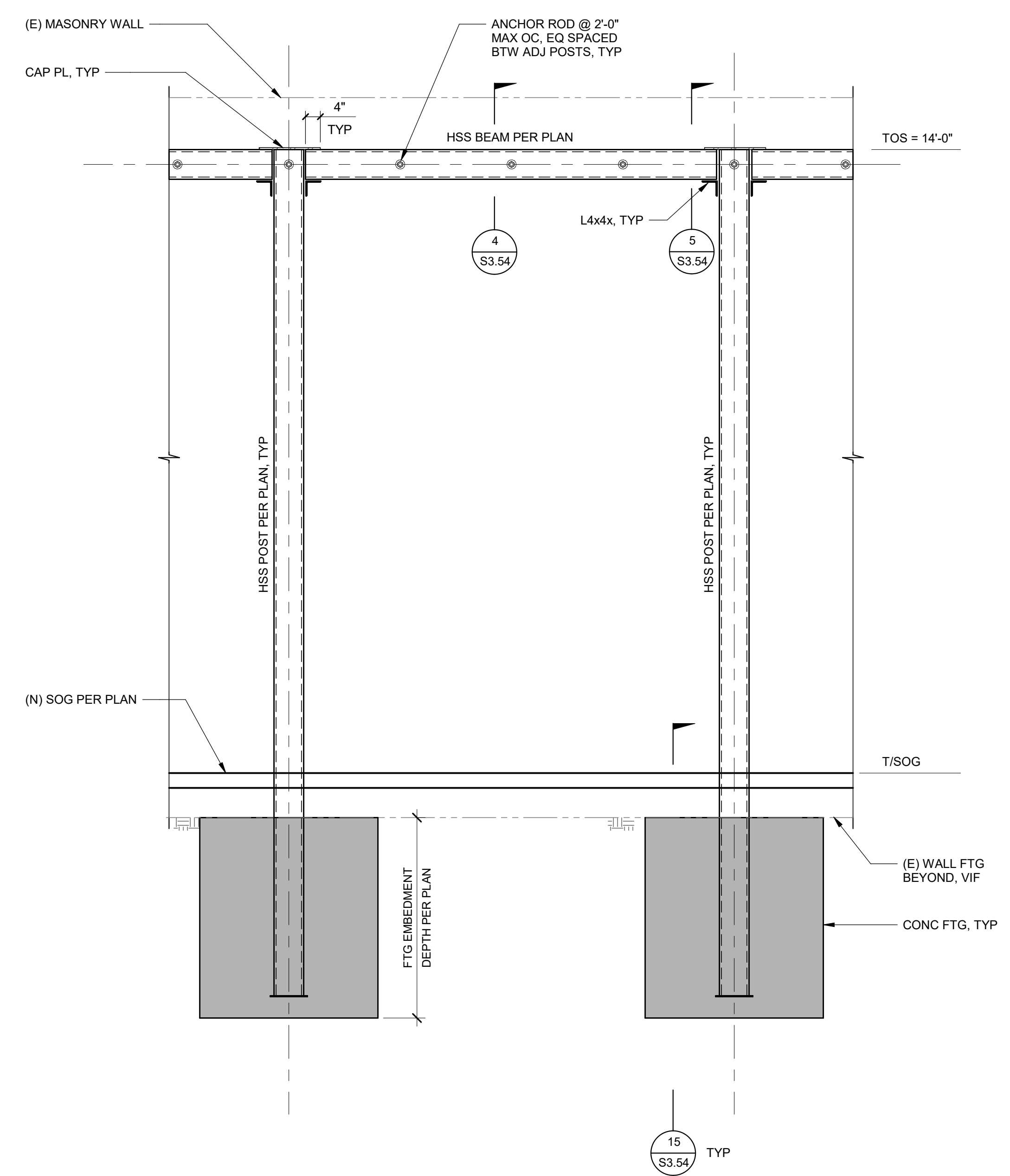
A B C D E F

1

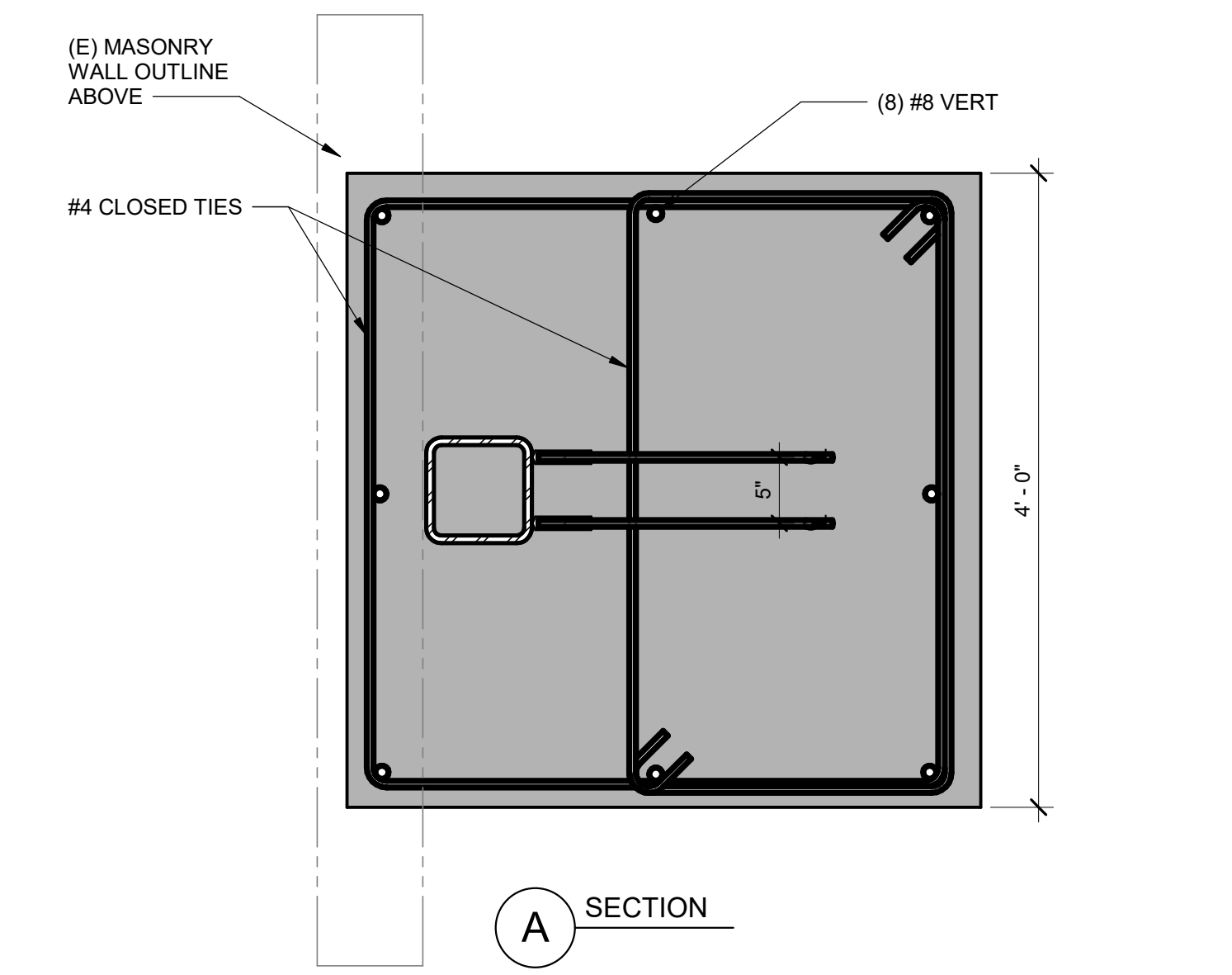
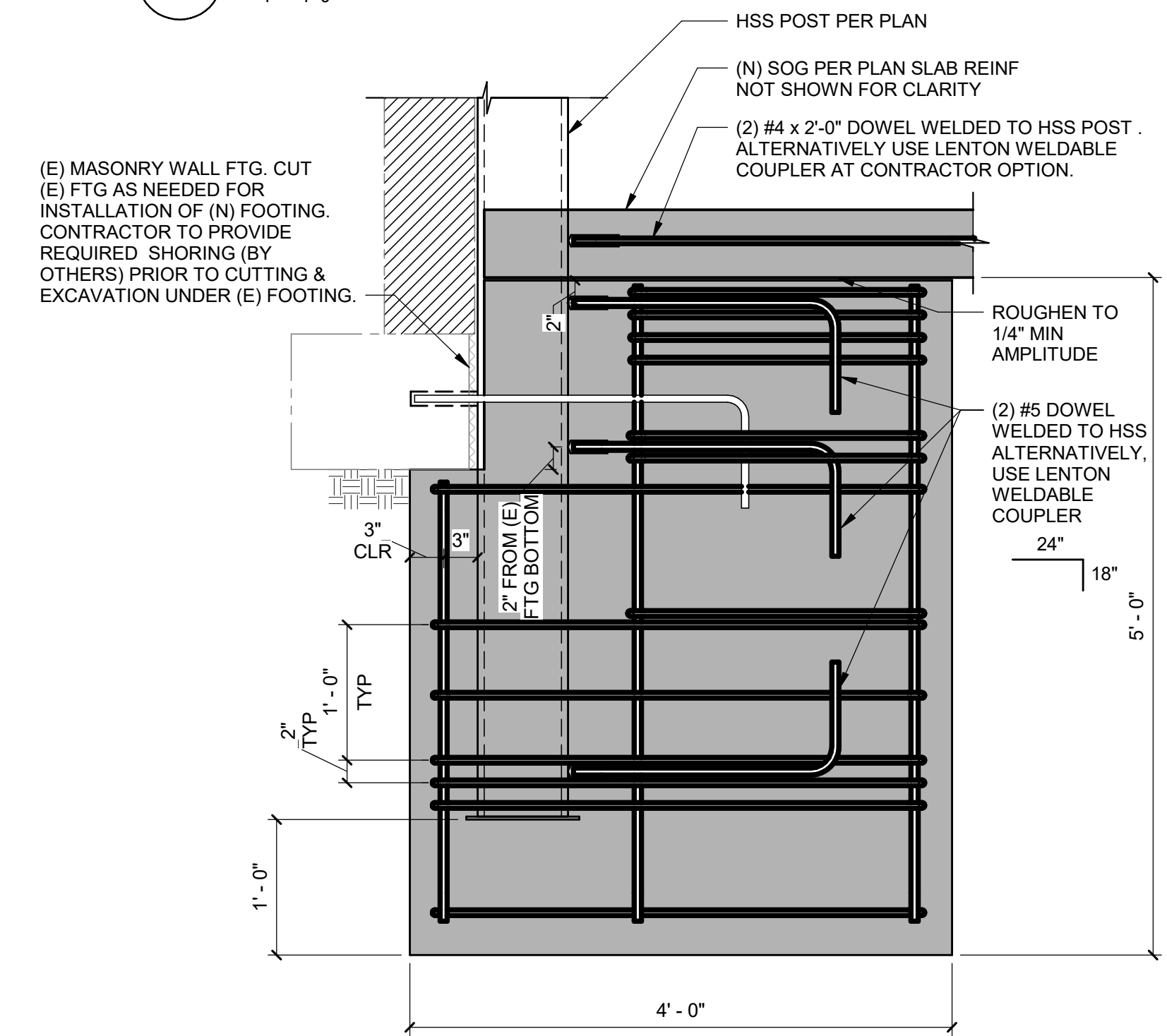


4 HSS BEAM ATTACHMENT TO (E) MASONRY WALL
1" = 1'-0"

5 HSS BEAM ATTACHED HSS COLUMN
1" = 1'-0"



13 HSS COLUMNS AT (E) MASONRY WALL
1/2" = 1'-0"



15 CAISSON FOOTING
1" = 1'-0"



13800 Van Nuys Ave., Suite 600
Van Nuys, CA 91412
Tel: 818.252.2022
Fax: 818.252.2022
www.kpff.com

FOUND RESIDENCES
6422 Selma Ave., Los Angeles, CA 90028

60% CONSTRUCTION DOCUMENTS
04/23/2021
REVISIONS

75-21703-00
EXISTING BUILDING DETAILS

S3.54

BIM 650/75-21703-00 HW - Selma Residence/75-21703-00_HW-Selma-Res_ST_2020.rvt
 4/23/2021 10:35:40 AM

DLR GROUP_PAGE 1 OF 4
SKETCH PER OHR COMMENTS
9:00AM MTG MINUTE
7/13/2021

NOT FOR
CONSTRUCTION

Project
Logo

FOUND RESIDENCES

6422 Selma Ave, Los Angeles, CA 90028

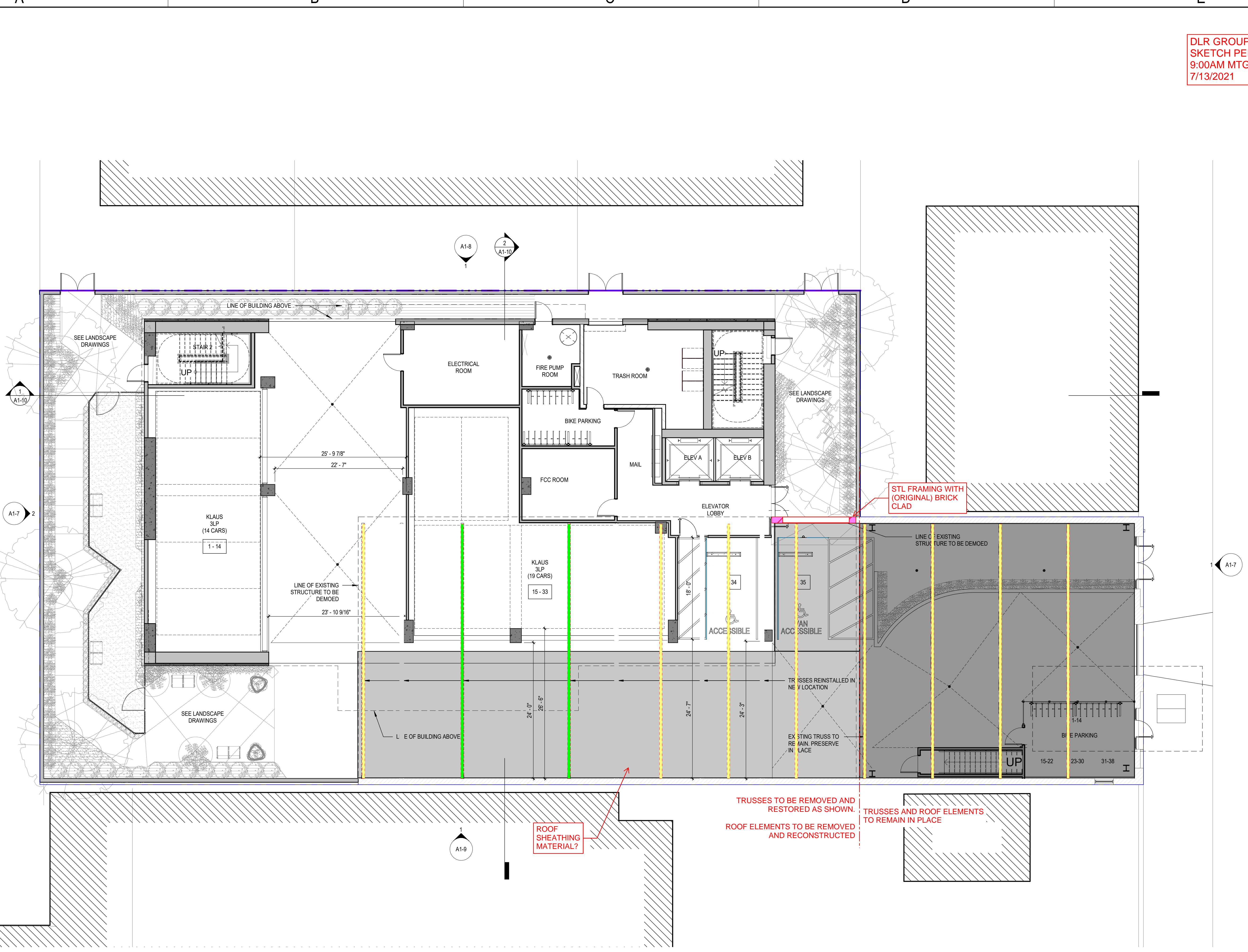
75-21703-00

GROUND FLOOR
& LANDSCAPE
PLAN

A1-1

BIM 360/75-21703-00 HW - Selma Residences/75-21703-00_HW-Selma-Res_AR_2020.rvt
5/10/2021 12:22:10 PM

1
2
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4



1 OVERALL FLOOR PLAN, LEVEL 1
A1-1 SCALE: 1/8" = 1'-0"



A

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C

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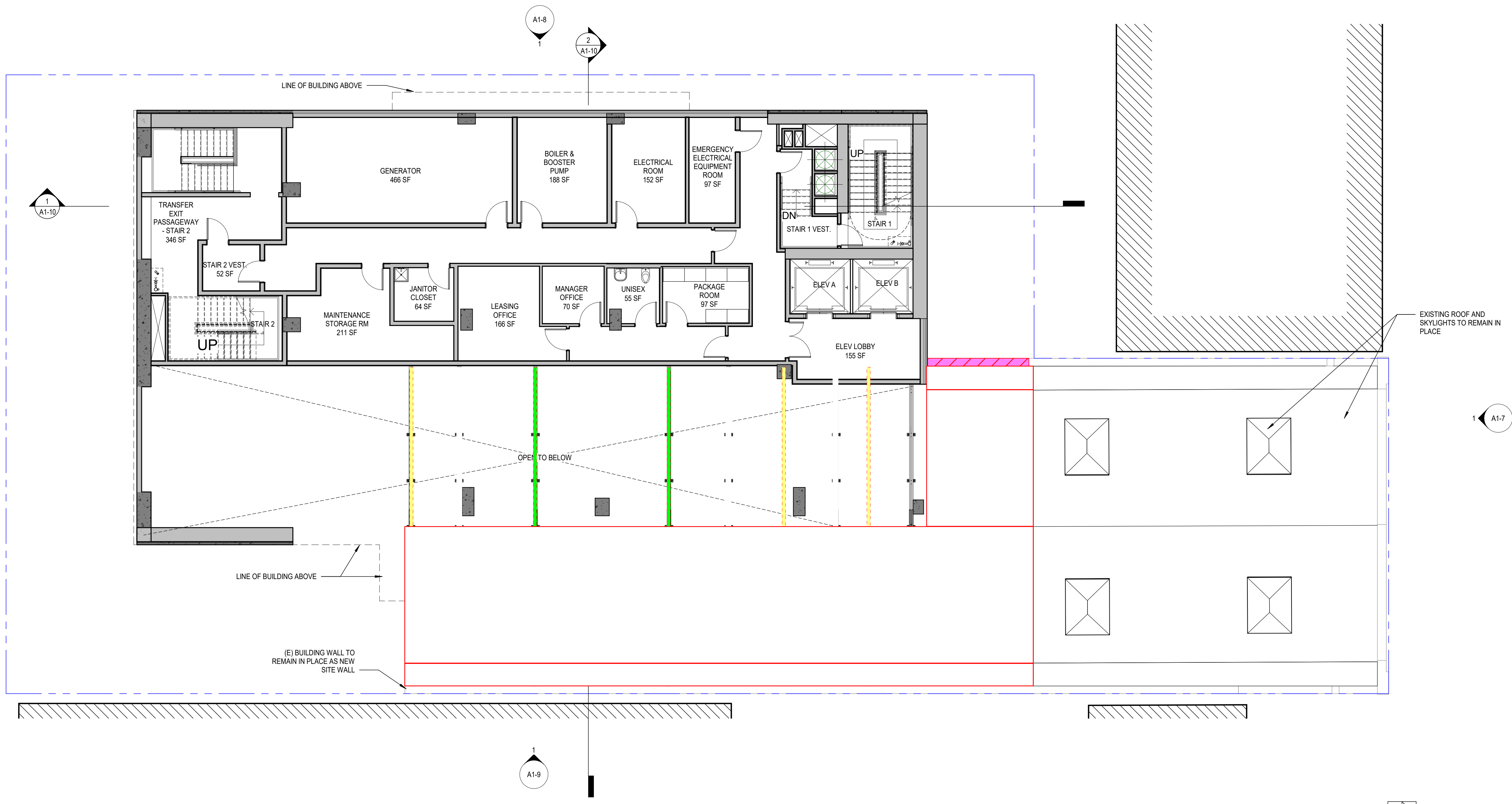
1

2

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B:\M_360\75-21703-00 HW - Selma Residences\75-21703-00_HW-Selma-Res_AR_2020.rvt
5/10/2021 12:22:12 PM



1 OVERALL FLOOR PLAN, LEVEL 2
 A1-2 SCALE: 1/8" = 1'-0"
 NORTH

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H

G

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D

C

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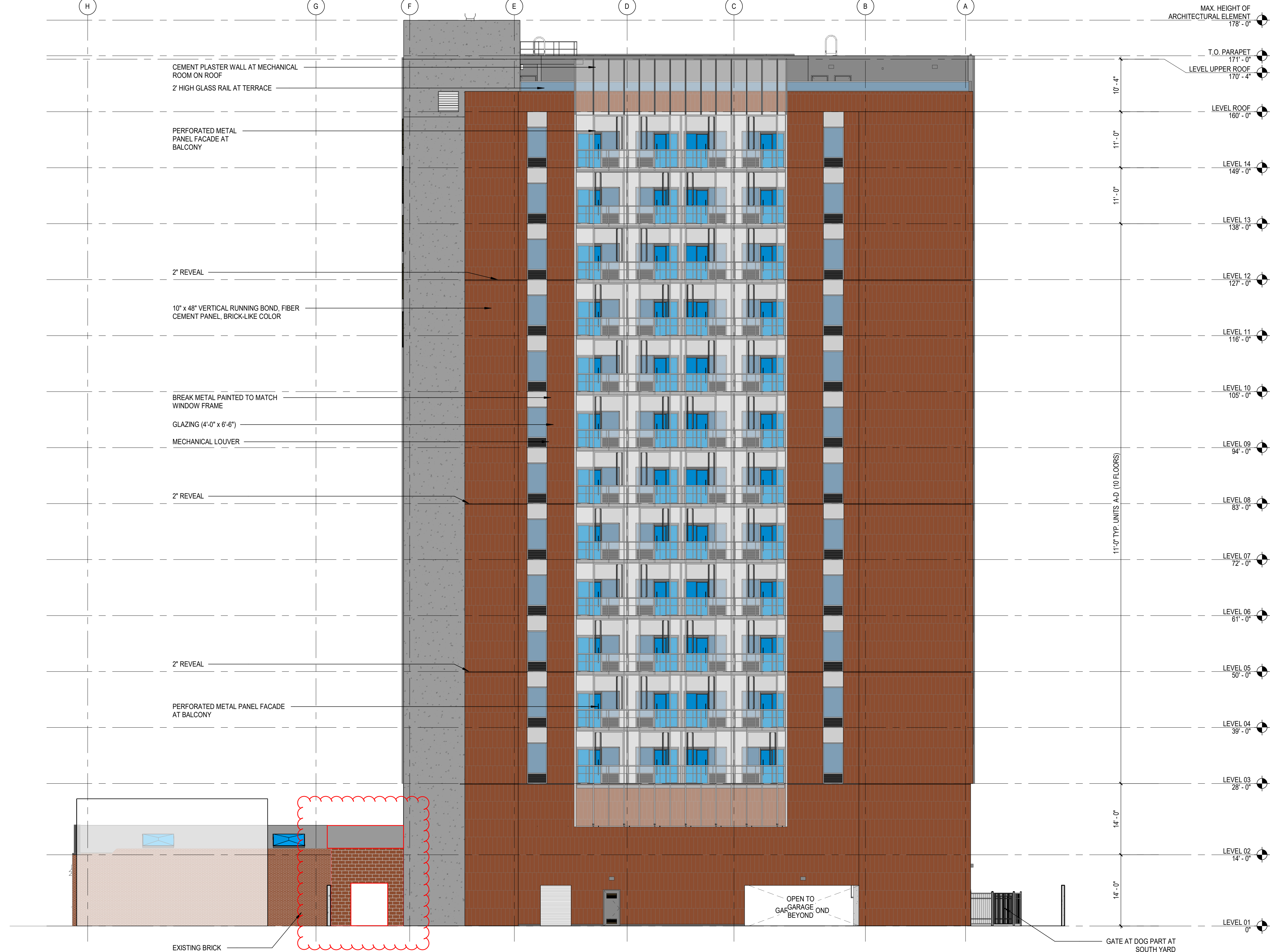
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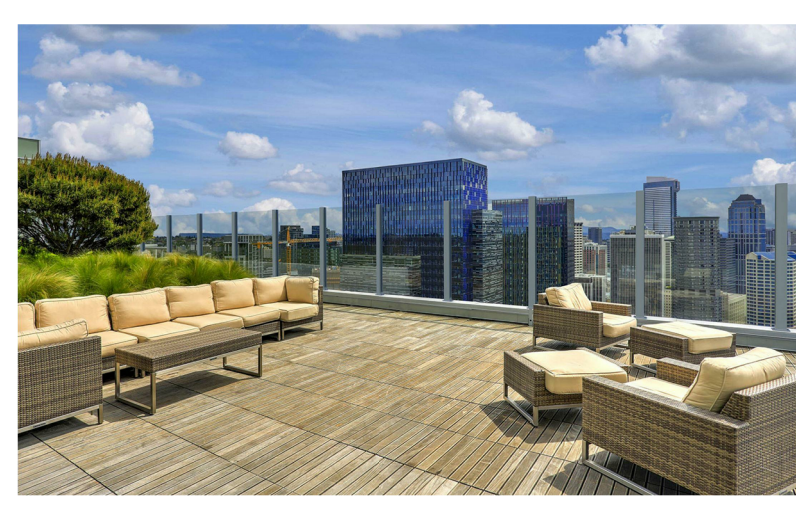
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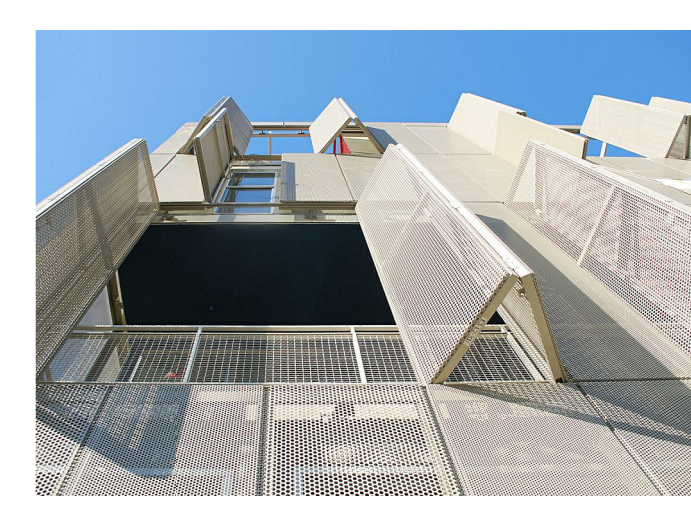
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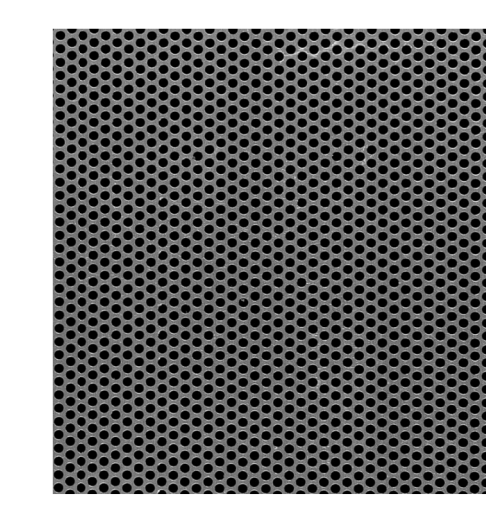
1 OVERALL ELEVATION - WEST
 A1-8 SCALE: 3/32" = 1'-0"



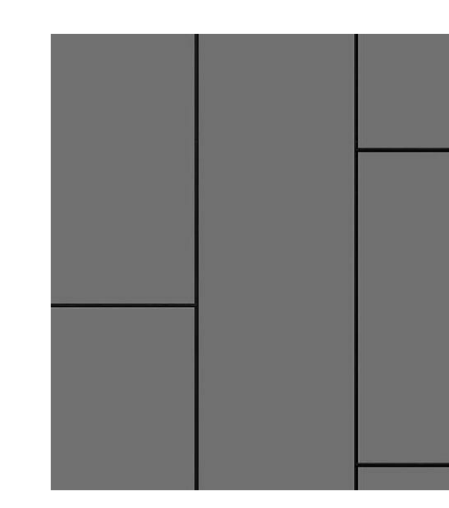
GLASS WINDSCREEN
 MANUFACTURER: TREX COMMERCIAL PRODUCTS



OPERABLE PERFORATED METAL PANEL
 MANUFACTURER: McNICHOLS



FIBER CEMENT PANEL
 MANUFACTURER: EQUITONE TECTIVA



FIBER CEMENT PANEL
 MANUFACTURER: EQUITONE PICTURA



FIBER CEMENT PANEL
 MANUFACTURER: EQUITONE 10' X 48" VERTICAL RUNNING BOND

A

B

C

D

E

A

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G

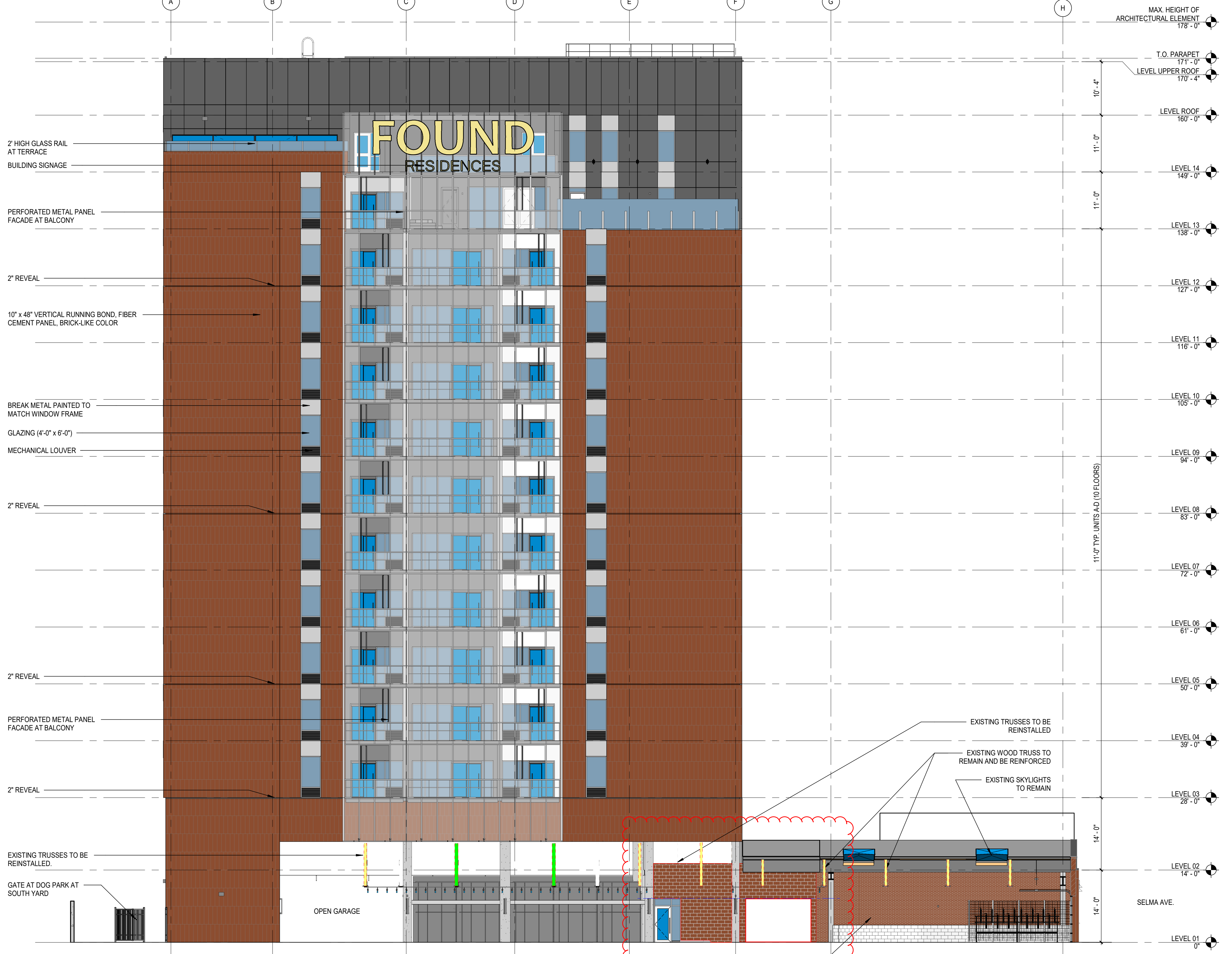
H

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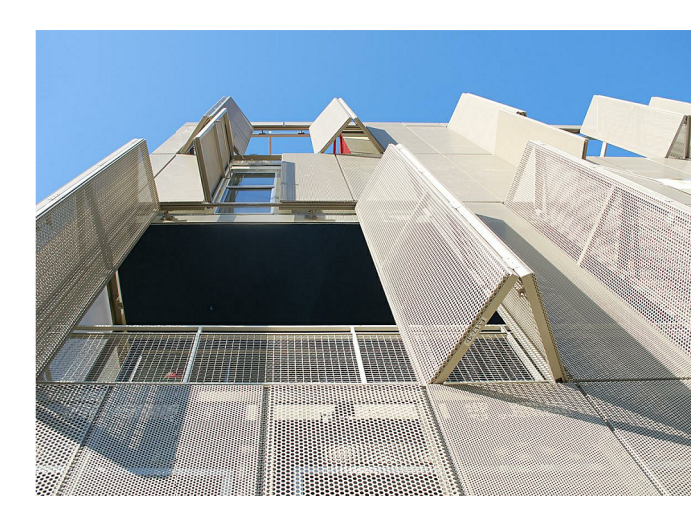
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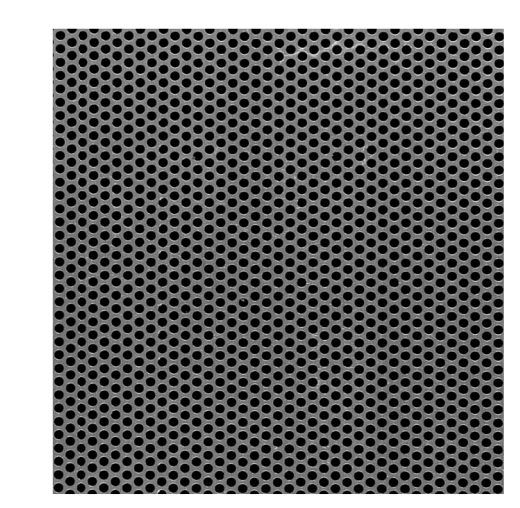
1 OVERALL ELEVATION - EAST
 A1-9 SCALE: 3/32" = 1'-0"



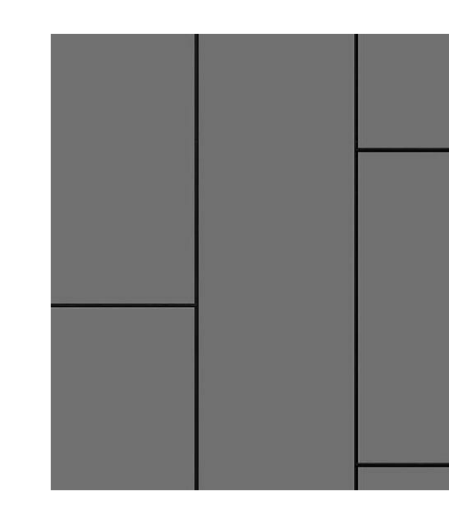
GLASS WINDSCREEN
 MANUFACTURER: TREX COMMERCIAL PRODUCTS



OPERABLE PERFORATED METAL PANEL
 MANUFACTURER: McNICHOLS



FIBER CEMENT PANEL
 MANUFACTURER: EQUITONE TECTIVA



FIBER CEMENT PANEL
 MANUFACTURER: EQUITONE PICTURA



FIBER CEMENT PANEL
 MANUFACTURER: EQUITONE 10" X 48" VERTICAL RUNNING BOND

BIM 360/75-21703-00 HW - Selma Residences/75-21703-00_HW-Selma-Res_AR_2020.rvt
 5/10/2021 12:22:40 PM

6422 Selma Owner, LLC
301 N Canon Dr, Ste 305
Beverly Hills, CA 90210

March 3, 2021

RE: 6422 Selma St/Concept Arts Building

We have had discussions with our structural engineer, KPFF Consulting Engineers, and our construction consultant, Churchill Cost Consultants regarding the steps to ensure the retained portion of the historic structure will be properly supported during and after the construction activities.

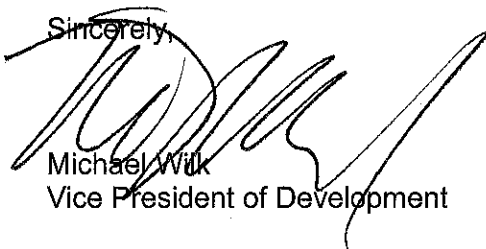
The method for keeping the building in place during construction is to essentially do the necessary structural and seismic improvements first and then demolish the portion of the building that needs to be removed to build the new structure.

The sequence of work is as follows:

1. Strong backs will be installed inside the building behind the front facade with a horizontal beam higher up parallel to the ground.
2. Carefully expose the existing footing of the street façade.
3. Using a keyed pattern developed by a shoring engineer, excavate below the footing to dowel and form a new concrete beam under and behind the existing footing. This beam is the beam that will span the future vault and it will support the moment frame installed behind the front façade.
4. Install the moment frames that support the front façade and the future open back side at the point where the rest of the building will be demolished.
5. The east wall that will remain gets a new footing and shotcrete support walls.

At this point the existing historic structure to remain will be fully supported and the balance of the structure can be selectively demolished.

Sincerely,



Michael Wilk
Vice President of Development

6422 Selma Owner, LLC
301 N Canon Drive, Suite 305
Beverly Hills, CA 90210
424.291.5860

APPENDIX H
Hollywood Heritage Comments

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Hollywood Heritage INC.
P.O.BOX 2586
HOLLYWOOD, CA 90078
(323) 874-4005 • FAX (323) 465-5993

Dana Sayles AICP
three6ixty
11287 W. Washington Blvd
Culver City, California 90230

April 10th 2021

RE: 6422 Selma Ave Project

Dear Dana,

Thank you so much once again for your presentation in February. Our team appreciated your consideration in consulting us and we look forward to continue working with you on this project so it can be a true asset to Hollywood's historic core.

Hawkins Way Capital and DLR Group, the property owners are proposing the construction of FOUND Residences, a multistory residential complex, which is to be accessed through a historic garage building at 6422 Selma Ave.

Hollywood Heritage is commenting on the proposed work in its concept stage as shown in the PowerPoint provided to us. Our interest is both for the contribution the building makes to Hollywood's historic core and for the proposed restoration/alteration and adaptive reuse of the historic garage building on Selma.

Historic Significance: The project incorporates the historic garage at 6422 Selma Ave. Identified in 2018 on the Architectural Resources Group Historic Resources Survey of the Hollywood Redevelopment Plan Area, the 6422 Selma was a commercial structure built in 1909 and described as a rare example of commercial development that pre-dates Hollywood's consolidation with the City of Los Angeles. For that reason, it is Hollywood Heritage's view that the site is eligible for designation locally and a historic resource for the purposes of CEQA.

Alteration History: Records dating back to 1947 show that the building has undergone several alterations and changes of use particularly in 1947, 1956, 1975, 1986, and 2008.

Positive Project: Hollywood Heritage is certainly pleased with the direction of the design of the project, now taking its stylistic and material inspiration from many of the brick industrial buildings in the surrounding area and that it intends to re-use and highlight the historic structure at 6422 Selma. We are

also pleased that the developer has hired a qualified historic resources consultant, ASM Affiliates, to fully assess 6422 Selma.

Process for the City or Other Review: We understand that City Planning's successor entity to the CRA, the Redevelopment Unit, as well as the Office of Historic Resources are both involved in the review of this project. Keeping us informed of the review process is helpful to allowing us to provide input in a timely manner.

Process going forward: Hollywood Heritage was told that ASM had not completed the historic resource assessment for the historic garage. We look forward to reviewing this document to give a full picture of the historic structure, which parts of the fabric are original, and which alterations can be reversed to allow the building to read as close to the original appearance as possible while serving its new purpose.

- I. **Technical investigations:** Hollywood Heritage needs to understand the projects fundamentals with regards to the historic garage.
 - a. **Detailed survey or conditions:** It is our expectation that the historic resource assessment will include investigations on the current state of the historic fabric of 6422 Selma including masonry, the truss system, the roof, floor etc.
 - b. **Assessment of proposed alterations:** How do the proposed alterations affect the historic fabric and maintain its status as a historic resource.
 - c. **Seismic retrofit:** Details are required with regards plans for the seismic retrofit of the historic masonry.

- II. **Aesthetic/preservation questions:** Hollywood Heritage has two comments with regards to the proposed alterations to 6422 Selma.
 - a. It is our recommendation that the façade of 6422 Selma be returned as close as possible to its earliest iteration including restoring the original double hung windows as appear in historic photos.
 - b. We are troubled by the proposed amount of historic fabric to be removed to achieve the design program. According to the renderings provided, it appears that over 50% of the historic fabric is to be removed, particularly the southern half of the building, large sections of the roof and additional sections of the western wall of the building.

Hollywood Heritage will reserve its final judgement on the proposed project until the release of the ASM historic resource assessment and a follow up discussion. At the moment while we are pleased with recent design changes and the efforts to integrate the existing historic structure we still have reservations. In our experience these are not insurmountable, as we have worked with many developers to produce successful designs with appropriate preservation elements. We look forward to continuing the discussion with your team as the project proceeds.

Sincerely,



Brian Curran
President, Hollywood Heritage

APPENDIX I
Confidential NAHC Response

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July 17, 2020

Steven Quinn
California Native American Heritage Commission
1550 Harbor Blvd., Suite 100
West Sacramento, California 95691

Via email: nahc@nahc.ca.gov

Re: Sacred Lands File Search Request for the 6422 Selma Avenue Project, Los Angeles, Los Angeles County, California

Dear Mr. Quinn,

ASM Affiliates, Inc. (ASM) is conducting a historic resource assessment study for 6422 Selma Avenue, Los Angeles, Los Angeles, California. The proposed project site is located in the Hollywood neighborhood of Los Angeles, on the south side of Selma Avenue, between Wilcox and Cahuenga. The project area is located on the Hollywood, California USGS 7.5-minute topographic quadrangle (see attached).

A records search has been ordered from the South Central Coastal Information Center. I am writing to request a search of your Sacred Lands File and to inquire if you have registered any cultural resources, traditional cultural properties, or areas of heritage sensitivity within this proposed project area. Please send the results of this search to me at our Pasadena office, listed below, and feel free to call, write, fax (626) 793-2008, or e-mail (sandrews@asmaffiliates.com) if you have any questions. We appreciate any information you can provide on this project.

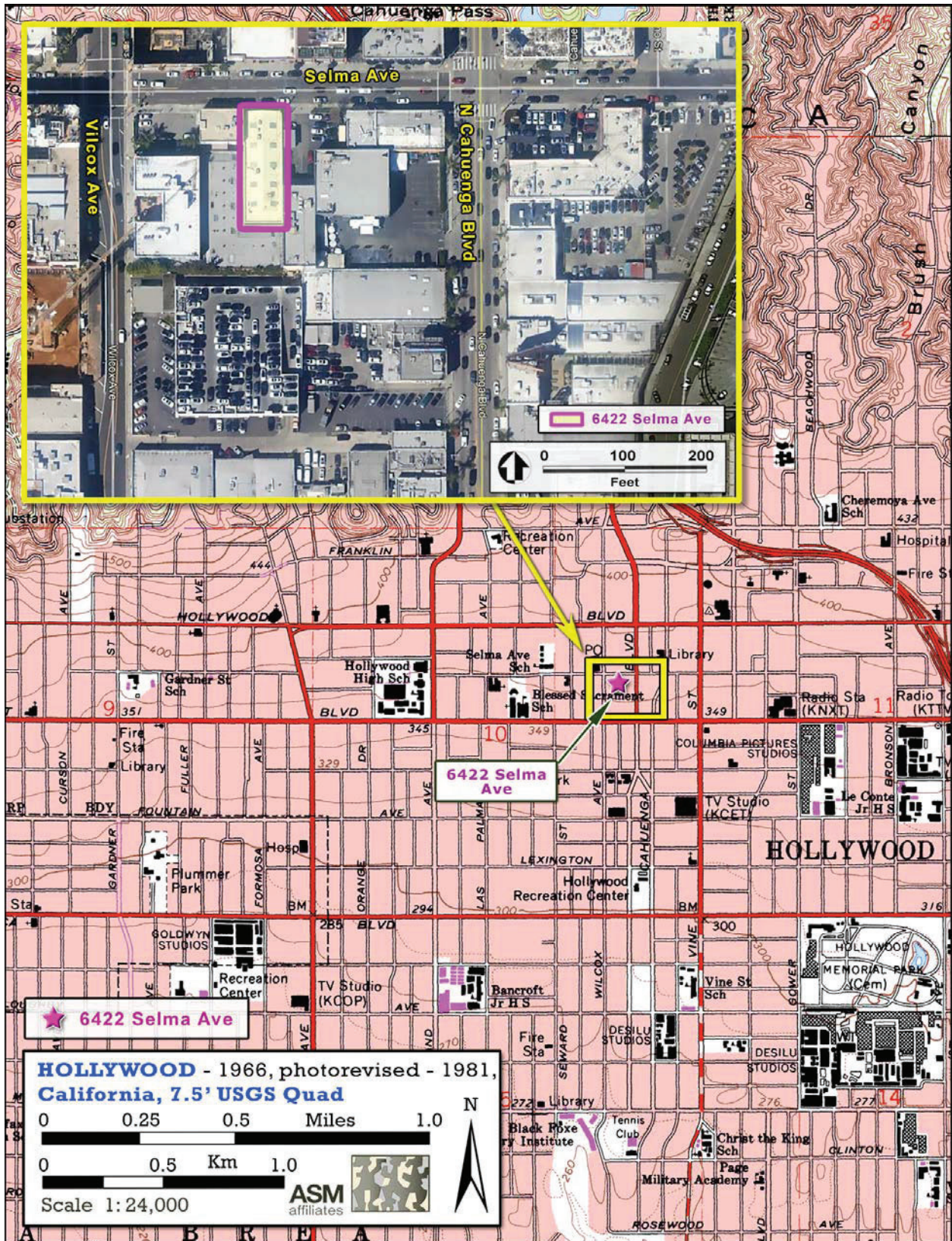
Sincerely,

A handwritten signature in black ink that reads 'Sherri Andrews'. The signature is fluid and cursive, with the first name 'Sherri' being more prominent than the last name 'Andrews'.

Sherri Andrews, M.A., J.D., RPA
ASM Affiliates, Inc.
Senior Archaeologist

Attachment:

Figure 1. Map of the 6422 Selma Avenue Project area shown on the USGS Hollywood, California 7.5-minute topographic quadrangle



NATIVE AMERICAN HERITAGE COMMISSION

July 21, 2020

Sherri Andrews
ASM Affiliates

Via Email to: sandrews@asmaffiliates.com

Re: 6422 Selma Avenue Project, Los Angeles County

Dear Ms. Andrews:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were positive. Please contact the Gabrieleno/Tongva San Gabriel Band of Mission Indians on the attached list for more information. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated; if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify me. With your assistance, we can assure that our lists contain current information.

If you have any questions or need additional information, please contact me at my email address: steven.quinn@nahc.ca.gov.

Sincerely,



Steven Quinn
Cultural Resources Analyst

Attachment



CHAIRPERSON
Laura Miranda
Luiseño

VICE CHAIRPERSON
Reginald Pagaling
Chumash

SECRETARY
Merri Lopez-Keifer
Luiseño

PARLIAMENTARIAN
Russell Attebery
Karuk

COMMISSIONER
Marshall McKay
Wintun

COMMISSIONER
William Mungary
Paiute/White Mountain
Apache

COMMISSIONER
[Vacant]

COMMISSIONER
Julie Tumamait-Stenslie
Chumash

COMMISSIONER
[Vacant]

EXECUTIVE SECRETARY
Christina Snider
Pomo

NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov

Native American Heritage Commission
Native American Contact List
Los Angeles County
7/21/2020

Fernandeno Tataviam Band of Mission Indians

Jairo Avila, Tribal Historic and Cultural Preservation Officer
1019 Second Street, Suite 1
San Fernando, CA, 91340
Phone: (818) 837 - 0794
Fax: (818) 837-0796
jairo.avila@tataviam-nsn.us

Tataviam

Soboba Band of Luiseno Indians

Joseph Ontiveros, Cultural Resource Department
P.O. BOX 487
San Jacinto, CA, 92581
Phone: (951) 663 - 5279
Fax: (951) 654-4198
jontiveros@soboba-nsn.gov

Cahuilla
Luiseno

Gabrieleno Band of Mission Indians - Kizh Nation

Andrew Salas, Chairperson
P.O. Box 393
Covina, CA, 91723
Phone: (626) 926 - 4131
admin@gabrielenoindians.org

Gabrieleno

Soboba Band of Luiseno Indians

Scott Cozart, Chairperson
P. O. Box 487
San Jacinto, CA, 92583
Phone: (951) 654 - 2765
Fax: (951) 654-4198
jontiveros@soboba-nsn.gov

Cahuilla
Luiseno

Gabrieleno/Tongva San Gabriel Band of Mission Indians

Anthony Morales, Chairperson
P.O. Box 693
San Gabriel, CA, 91778
Phone: (626) 483 - 3564
Fax: (626) 286-1262
GTTribalcouncil@aol.com

Gabrieleno

Gabrielino /Tongva Nation

Sandone Goad, Chairperson
106 1/2 Judge John Aiso St.,
#231
Los Angeles, CA, 90012
Phone: (951) 807 - 0479
sgoad@gabrielino-tongva.com

Gabrielino

Gabrielino Tongva Indians of California Tribal Council

Robert Dorame, Chairperson
P.O. Box 490
Bellflower, CA, 90707
Phone: (562) 761 - 6417
Fax: (562) 761-6417
gtongva@gmail.com

Gabrielino

Gabrielino-Tongva Tribe

Charles Alvarez,
23454 Vanowen Street
West Hills, CA, 91307
Phone: (310) 403 - 6048
roadkingcharles@aol.com

Gabrielino

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resource Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources assessment for the proposed 6422 Selma Avenue Project, Los Angeles County.



ASM
affiliates
archaeology
history
ethnography
architectural history

August 17, 2020

Gabrieleno/Tongva San Gabriel Band of Mission Indians
Anthony Morales, Chairperson
P.O. Box 693
San Gabriel, California 91778
Via email: GTTribalcouncil@aol.com

Re: 6422 Selma Avenue Project, Los Angeles, Los Angeles County, California

Dear Chairperson Morales,

ASM Affiliates, Inc. (ASM) is conducting a historic resource assessment study for 6422 Selma Avenue, Los Angeles, Los Angeles, California. The proposed Project site is located in the Hollywood neighborhood of the City of Los Angeles, on the south side of Selma Avenue, between Wilcox Avenue and Cahuenga Boulevard. The Project proposes the removal of the building located at 6422 Selma Avenue to allow access to the adjacent parcel to the south for construction of an 11-story hotel with a subterranean garage. After construction, the front façade of the building would be returned to its original location and reconstructed. The Project location is on an urban street characterized by mixed residential and commercial properties. The surrounding neighborhood is primarily commercial with some multi-unit residential developments. The Project area is located on the Hollywood, California USGS 7.5-minute topographic quadrangle (see attached). This study is being undertaken in compliance with CEQA.

A search of the Native American Heritage Commission's (NAHC) Sacred Lands File has been undertaken with positive results. The NAHC response suggested that you be contacted for more information. As a result, we would appreciate any information you may wish to share regarding Native American cultural resources located in or near the proposed Project location or concerns you may have regarding the proposed Project. This query is for informational purposes only. Any information concerning the location, identity, character, and traditional use of cultural places identified will be considered strictly confidential.

You may contact me at sandrews@asmaffiliates.com, (626) 793-7395, or the Pasadena address provided below. Thank you in advance for taking the time to review this request.

Respectfully yours,

Sherri Andrews, M.A., RPA
Senior Archaeologist

Attachment: Figure 1. Map of the 6422 Selma Avenue Project area shown on the USGS Hollywood, California 7.5-minute topographic quadrangle.

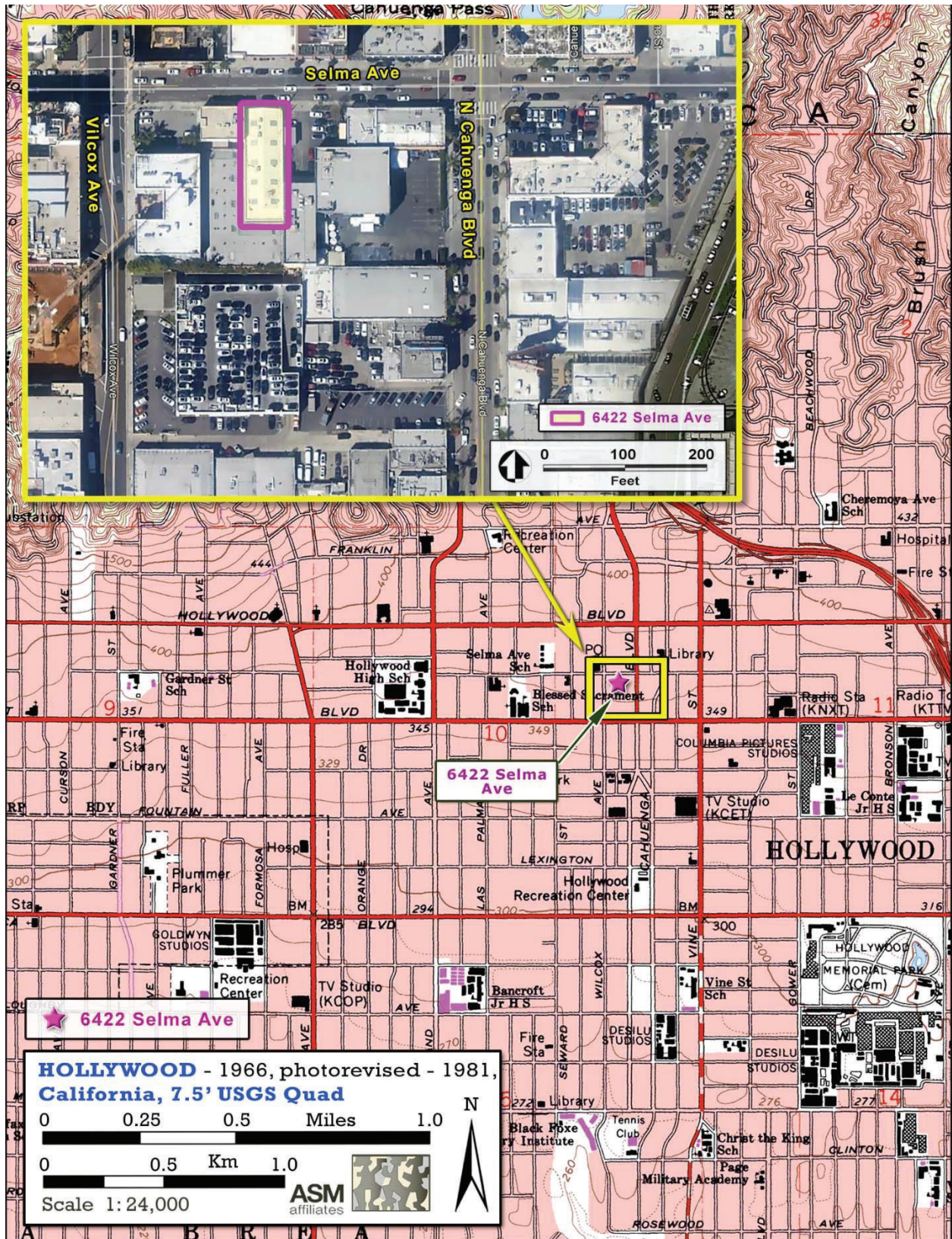


Figure 1. Map of the 6422 Selma Avenue Project area shown on the USGS Hollywood, California 7.5-minute topographic quadrangle.

From: Shannon Davis
To: Micaela Torres-Gil; Zachary Andrews
Cc: Lambert Giessinger; Michael Wilk; lisa.kolieb@akerman.com; Dana Sayles; Mark Giles; Joel Wilbur; Laura Taylor Kung; Amy Kong
Subject: RE: [EXTERNAL] Re: 6422 Selma HRAR -- request for review
Date: Monday, August 23, 2021 3:27:00 PM
Attachments: image001.png
image002.png
image003.png
image004.png

Thanks Mickie for the speedy response!

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>
Sent: Monday, August 23, 2021 2:51 PM
To: Zachary Andrews <zachary@three6ixty.net>
Cc: Shannon Davis <sdavis@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>; Michael Wilk <michael.wilk@hawkinsway.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Mark Giles <mgiles@dlrgroup.com>; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Amy Kong <akong@dlrgroup.com>
Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Thanks, Shannon, for sending the revised report!

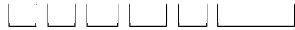
Zachary - Our office accepts the findings of the report dated August 20, 2021 that project impacts on the eligible historic resource will be less than significant. We are comfortable with the project moving forward with Expedite review.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



Planner for historic review in **Redevelopment Project Areas**. Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Mon, Aug 23, 2021 at 12:54 PM Zachary Andrews <zachary@three6ixty.net> wrote:

Thank you Shannon!

Mickie and Lambert, now that the revised report has been submitted, can you provide email correspondence stating that OHR is comfortable with the less than significant historic findings and the case can reasonably be accepted by the Expedite Unit? As we discussed, this will permit us to begin case filing intake.

Please let me know if you have any questions or comments, happy to discuss.

Thank you both,



Zachary Andrews
11287 W. Washington Boulevard
Culver City, California 90230
T (310) 204.3500 x305 F 204.3505
zachary@three6ixty.net

Please note: By State and City mandate, Three6ixty employees are working remotely until further notice. I am available by email or cell phone (775-338-5637) for any client needs during this time. Phone calls to our office lines will be forwarded to our personal phones, but we are most easily accessible via email. We are monitoring the evolving standards for municipal submittals and are continuing to move forward with projects as much as possible. Thank you for your continued business and patience as we all adjust during this crisis.

From: Shannon Davis <sdavis@asmaffiliates.com>
Sent: Friday, August 20, 2021 4:28 PM
To: Micaela Torres-Gil <micaela.torres-gil@lacity.org>
Cc: Lambert Giessinger <lambert.giessinger@lacity.org>; Michael Wilk <michael.wilk@hawkinsway.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Mark Giles <mgiles@dlrgroup.com>; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Amy Kong <akong@dlrgroup.com>
Subject: RE: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Mickie and Lambert

The updated report is on our fileshare website:

<https://asmaffiliates.filecloudonline.com/url/ctb3gmhazwxsuriz>

Password: ASM040621

Note the two additional sentences added on page 58 of the report, at the end of the first paragraph.

Have a great weekend,
Shannon

From: Shannon Davis

Sent: Tuesday, August 17, 2021 5:06 PM

To: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Cc: Lambert Giessinger <lambert.giessinger@lacity.org>; Michael Wilk <michael.wilk@hawkinsway.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Mark Giles <mgiles@dlrgroup.com>; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Amy Kong <akong@dlrgroup.com>

Subject: RE: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Mickie

We are all free at 4pm on Thursday. Thank you for offering to send the meeting invite/call-in info. If you have any troubles with that let us know and one of our team would be happy to set that up.

--Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Monday, August 16, 2021 8:37 AM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: Lambert Giessinger <lambert.giessinger@lacity.org>; Michael Wilk <michael.wilk@hawkinsway.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Mark Giles <mgiles@dlrgroup.com>; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Amy Kong <akong@dlrgroup.com>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon,

Thanks for your patience. Can we schedule a call with you and the team? We have the following times available this week and next week:

- Wednesday, 8/18 at 9AM, 1PM and 3PM
- Thursday, 8/19 at 4PM
- Monday, 8/23 between 9AM and 12PM
- Tuesday, 8/24 between 10AM and 2PM
- Wednesday, 8/25 anytime

Please let us know what time might work for you, and I will send a calendar invitation with a call-in number.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



Planner for historic review in **Redevelopment Project Areas**. Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Mon, Aug 9, 2021 at 11:49 AM Micaela Torres-Gil <micaela.torres-gil@lacity.org> wrote:

Hi Shannon,

Thanks for sending the revised report. We will review the edits and get back to you shortly.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



Planner for historic review in **Redevelopment Project Areas**. Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Thu, Jul 29, 2021 at 10:10 AM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Hi Lambert and Mickie

We have revised the HRAR to reflect the changes discussed below. The updated drawings you reviewed last week have been added to Appendix G (pgs 189-193 of the pdf). The revised HRAR is available at the same link:

<https://asmaffiliates.filecloudonline.com/url/ctb3gmhazwxsuriz>

Password: ASM040621

--Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Thursday, July 22, 2021 12:27 PM

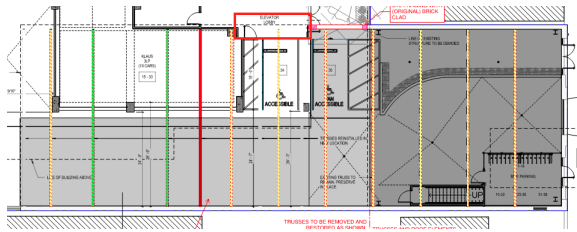
To: Amy Kong <akong@dlrgroup.com>

Cc: Michael Wilk <michael.wilk@hawkinsway.com>; Shannon Davis <sdavis@asmaffiliates.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Mark Giles <mgiles@dlrgroup.com>; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Amy,

I understand about the brick across the FCC room, but would a brick header in the lobby be visible?



Thanks for clarifying about the trusses and the roof material. I'll let Lambert weigh in on these items.

Best,
Mickie

Micaela (Mickie) Torres-Gil

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Los Angeles City Planning
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Planner for historic review in **Redevelopment Project Areas**. Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Wed, Jul 21, 2021 at 3:21 PM Amy Kong <akong@dlrgroup.com> wrote:

Hi Mickie,

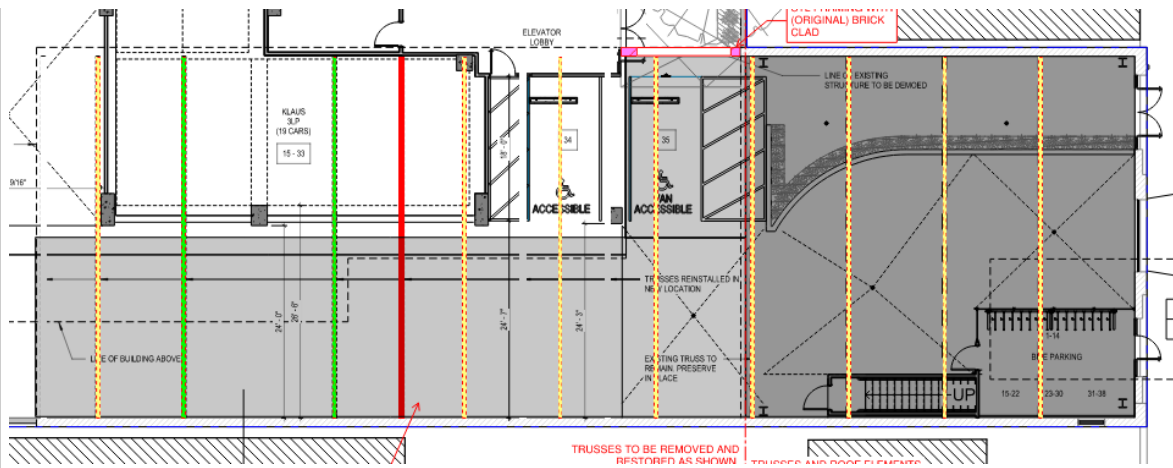
Thank you for the comments. Regarding the first comment on extending the brick veneer across the lobby and FC room, this portion would not be visible by the users at any point of the driveway due to the garage doors for the mechanical car lifts. Let us know if this changes your comment.

We are considering metal panel ceiling system for the underside of the lighter gray roof to visually differentiate the two roofs.

We reduced the number of trusses as a response to your comment about the rhythm of truss spacings so that as a user, the experience doesn't feel interrupted by the random spacing (by the mechanical car lift area). See below for the comparison. Red is removed.

Let us know if this clarifies your questions/concerns.
Please feel free to call me if you have any questions.

Thank you,



Amy E. Kong, AIA

Architect | Associate
 akong@dlrgroup.com

DLR Group

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 700 South Flower Street, 22nd Floor Los Angeles, CA 90017
 Find us at: dlrgroup.com | [Instagram](#) | [LinkedIn](#)

[Salus Architects Joins DLR Group.](#)

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Wednesday, July 21, 2021 9:13 AM

To: Amy Kong <akong@DLRGROUP.com>

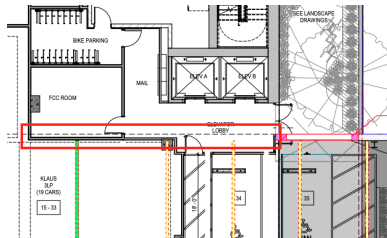
Cc: Michael Wilk <michael.wilk@hawkinsway.com>; Shannon Davis <sdavis@asmaffiliates.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Mark Giles <mgiles@DLRGROUP.com>; Joel Wilbur <jlwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Amy and team,

Thanks for your patience. Lambert and I reviewed the revised design together and agree that it is moving in the right direction, though we'd like you to flush out some additional ideas:

- Consider extending a brick header across the lobby and extending the brick veneer across the exterior wall of the FCC room (so that this reads as one continuous, retained wall); as we discussed during our meeting on 7/13, the portion of the lobby wall that projects past the original building footprint doesn't need to have brick veneer.



- Finalize the material for the portion of the roof shaded in light grey on the drawings - this can be some kind of spaced sheathing that will provide a sense of enclosure (i.e. fireproof material); it doesn't have to be a fully enclosed roof
- We are happy with the number of trusses being retained, though Lambert recalled from our meeting on 6/30 that there may have been a way to space the trusses above the parking racks that retained an additional truss. Was there a reason this didn't work out?

With these items resolved, we feel that the project has met the threshold for physical retention of the historic resource and the report can move forward with revisions. I will be out of town for two weeks starting on Friday, but Lambert can review the revised drawings ahead of the updates to the report.

Best,
 Mickie

Micaela (Mickie) Torres-Gil

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On Thu, Jul 15, 2021 at 9:28 AM Micaela Torres-Gil <micaela.torres-gil@lacity.org> wrote:

Hi Amy,

That's not a problem. However, we'll probably want to see this information included in the HRA.

Thanks!

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
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Planner for historic review in **Redevelopment Project Areas**. Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Wed, Jul 14, 2021 at 4:16 PM Amy Kong <akong@dlrgroup.com> wrote:

Hi Mickie,

Per your comment that the roof sheathing can of different material in lieu of pretending that it is historic, we think this is a great idea but need to think about the exact material and finish. Can we leave it like that for now and finalize this later? We'd need to internally discuss with the design team using various simulation programs and wouldn't want to hold up your process.

Let me know what you think.

Thank you,

Amy E. Kong, AIA

Architect | Associate
akong@dlrgroup.com

DLR Group

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700 South Flower Street, 22nd Floor Los Angeles, CA 90017
Find us at: dlrgroup.com | [Instagram](#) | [LinkedIn](#)

[Salus Architects Joins DLR Group.](#)

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Tuesday, July 13, 2021 5:14 PM

To: Amy Kong <akong@DLRGROUP.com>

Cc: Michael Wilk <michael.wilk@hawkinsway.com>; Shannon Davis <sdavis@asmaffiliates.com>; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Mark Giles <mgiles@DLRGROUP.com>; Joel Wilbur <jwilbur@dlrgroup.com>;

Laura Taylor Kung <lkung@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Thanks Amy! Would you be able to update the drawings with what you decide about the roof material?

Best,
Mickie

Micaela (Mickie) Torres-Gil

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221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

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Planner for historic review in **Redevelopment Project Areas**. Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Tue, Jul 13, 2021 at 9:55 AM Amy Kong <akong@dlrgroup.com> wrote:

Hi Mickie,

Thank you for the productive call (and sorry for the tech delay!).
Please see attached sketches per today's call. And feel free to call me if you'd like to discuss further.

Thank you,

Amy E. Kong, AIA

Architect | Associate
akong@dlrgroup.com

DLR Group

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[Salus Architects Joins DLR Group.](#)

From: Michael Wilk <michael.wilk@hawkinsway.com>

Sent: Thursday, July 8, 2021 9:21 PM

To: Micaela Torres-Gil <micaela.torres-gil@lacity.org>; Shannon Davis <sdavis@asmaffiliates.com>

Cc: lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@DLRGROUP.com>; Mark Giles <mgiles@DLRGROUP.com>; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>

Subject: RE: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon and Mickie,

Can someone send a meeting invitation for this? Thank you.

Sincerely,

Michael Wilk
Mobile: 415-350-2971

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Wednesday, July 7, 2021 3:19 PM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon,

Tuesday, 7/13 at 9AM works for me.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



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On Wed, Jul 7, 2021 at 12:57 PM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Hi Mickie

9am on Tuesday 7/13 works for most of our team—if that still works for you, we will send you a meeting invite.

--Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Tuesday, July 6, 2021 3:45 PM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong

<akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>; Lambert Giessinger <lambert.giessinger@lacity.org>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon,

I'm out of the office this Friday, but will be available next week on Monday, 7/12 before 3PM; Tuesday, 7/13 before 12PM; or Wednesday, 7/14 at any time. If you'd like to wait until Lambert returns, Tuesday, 7/20 or Wednesday 7/21 would probably be best.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

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On Tue, Jul 6, 2021 at 2:42 PM Lambert Giessinger <lambert.giessinger@lacity.org> wrote:

I'm not available until the week of July 19. If Mickie is available, perhaps you can go ahead without me on Friday.

Lambert Giessinger

Architect
Los Angeles City Planning
221 N. Figueroa Street, Suite 1350

Los Angeles, CA 90012

Planning4LA.org

T: (213) 847-3648

On Tue, Jul 6, 2021 at 2:29 PM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Hi Mickie and Lambert

Do you have time this Friday July 9th for a follow-up meeting where Amy can show you a sketch of what additional materials can be retained? Our team is open that day except for 2:30pm to 3pm, so just let us know what time works best for you.

Thanks,
Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Wednesday, June 30, 2021 1:49 PM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: lambert.giessinger@lacity.org; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon and team,

It was great chatting earlier. Please find OHR's full comments on the report, attached, and let me know if you have any questions.

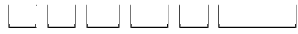
[6422 Selma Ave draft HRAR_6.4.21_OHR Markup.pdf](#)

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



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On Thu, Jun 17, 2021 at 8:02 PM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Good evening Mickie

11am on Wednesday the 30th works well for our team. I will send out a calendar invite.

--Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Wednesday, June 16, 2021 5:23 PM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: lambert.giessinger@lacity.org; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon,

Wow - I completely messed those dates up! My apologies. I blame the heat!

We'd like to schedule something for the week of 6/28, so the potential dates would be as follows:

- Monday, 6/28 before 3PM
- Tuesday, 6/29 between 11AM and 3PM
- Wednesday, 6/30 before 12PM

Thanks,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

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On Wed, Jun 16, 2021 at 5:20 PM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Hi Mickie

Thank you so much. We would be happy to schedule a call—can you confirm if the dates you suggested are Mon-Wed Jun 21-23rd (next week) or Mon-Wed Jun 28-30th (the following week)?

Thanks,
Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Wednesday, June 16, 2021 3:35 PM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: lambert.giessinger@lacity.org; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>

Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon,

Thanks for your patience. We've had a chance to review the report and would like to set-up a meeting with the team for the week of 6/28 to go over our feedback. Some general timeframes that are currently available are:

- Monday, 6/18 before 3PM
- Tuesday, 6/19 between 11AM and 3PM
- Wednesday, 6/19 before 12PM

Can you provide some times that might work for you and the team?

Thanks,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



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On Mon, Jun 7, 2021 at 9:55 AM Micaela Torres-Gil <micaela.torres-gil@lacity.org> wrote:

Hi Shannon,

Thanks for sending the revised report. We will review and follow-up within the next 1-2 weeks.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Fri, Jun 4, 2021 at 4:37 PM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Good afternoon Mickie and Lambert

ASM has completed our revision to the HRAR for 6422 Selma project, responding to your comments on the Draft report. The revised report can be downloaded from the same link I provided previously:

<https://asmaffiliates.filecloudonline.com/url/ctb3gmhazwxsuriz>

Password: ASM040621

Again, please let me know if you have any difficulty in downloading the report.

Have a nice weekend,
Shannon

From: Shannon Davis

Sent: Wednesday, April 28, 2021 11:45 AM

To: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Cc: lambert.giessinger@lacity.org; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>

Subject: RE: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Mickie

Thank you so much—we have a team meeting this afternoon, so the timing on the comments is perfect for us to discuss internally.

At first glance, I do have one item to clarify. We are not recommending that the building is eligible within a California or national-level context, only the local (Los Angeles) level context. But we do recommend that it is eligible for all three registers: HCM, CRHR, and NRHP (CRHR and NRHP listings primarily include properties eligible only within their local context). We can certainly add a full integrity analysis to clarify that.

--Shannon

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>

Sent: Wednesday, April 28, 2021 10:33 AM

To: Shannon Davis <sdavis@asmaffiliates.com>

Cc: lambert.giessinger@lacity.org; lisa.kolieb@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>;

mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>
Subject: Re: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Hi Shannon,

Thanks for your patience. Please find OHR's comments, attached. Generally, we think you should explore the property's eligibility at the local level only, as recently surveyed. We'd also recommend that you consider how incorporating the mitigation measures directly into the project might help the property to retain eligibility at a local level.

We'd be happy to follow-up with a call once you've had a chance to review our comments.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



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On Wed, Apr 14, 2021 at 10:17 AM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Thanks Mickie!

From: Micaela Torres-Gil <micaela.torres-gil@lacity.org>
Sent: Wednesday, April 14, 2021 10:11 AM
To: Shannon Davis <sdavis@asmaffiliates.com>
Cc: lambert.giessinger@lacity.org; lisa.kolieh@akerman.com; Dana Sayles <dana@three6ixty.net>; Zachary Andrews <zachary@three6ixty.net>; Amy Kong <akong@dlrgroup.com>; Michael Wilk <michael.wilk@hawkinsway.com>; mgiles@DLRGROUP.com; Joel Wilbur <jwilbur@dlrgroup.com>; Laura Taylor Kung <lkung@asmaffiliates.com>
Subject: [EXTERNAL] Re: 6422 Selma HRAR -- request for review

Caution: This email is from an EXTERNAL sender. Be safe and verify links and/or attachments prior to opening.

Hi Shannon,

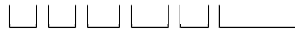
Confirming receipt of the materials - thanks for sending. Please allow approximately 2 weeks for review.

Best,
Mickie

Micaela (Mickie) Torres-Gil

Planning Assistant | Office of Historic Resources
Los Angeles City Planning
221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | Planning4LA.org



Please keep all emails in a single thread. Multiple threads will delay case processing time.

On Tue, Apr 13, 2021 at 7:14 PM Shannon Davis <sdavis@asmaffiliates.com> wrote:

Hi Lambert and Mikki

Thanks for all your guidance on this project. Please find below a link to download the Historical Resources Assessment Report for the garage at 6422 Selma. We also just received written comments from Hollywood Heritage today; please see the attached letter.

<https://asmaffiliates.filecloudonline.com/url/ctb3gmhazwxsuriz>

Password: ASM040621

Let me know if you have any difficulties downloading. Looking forward to your review and comments,
Shannon



Shannon Davis M.A., RPH

Director, Architectural History

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Office: (760) 804-5757/(626) 793-7395 | Mobile: 310-492-5606
sdavis@asmaffiliates.com
www.asmaffiliates.com