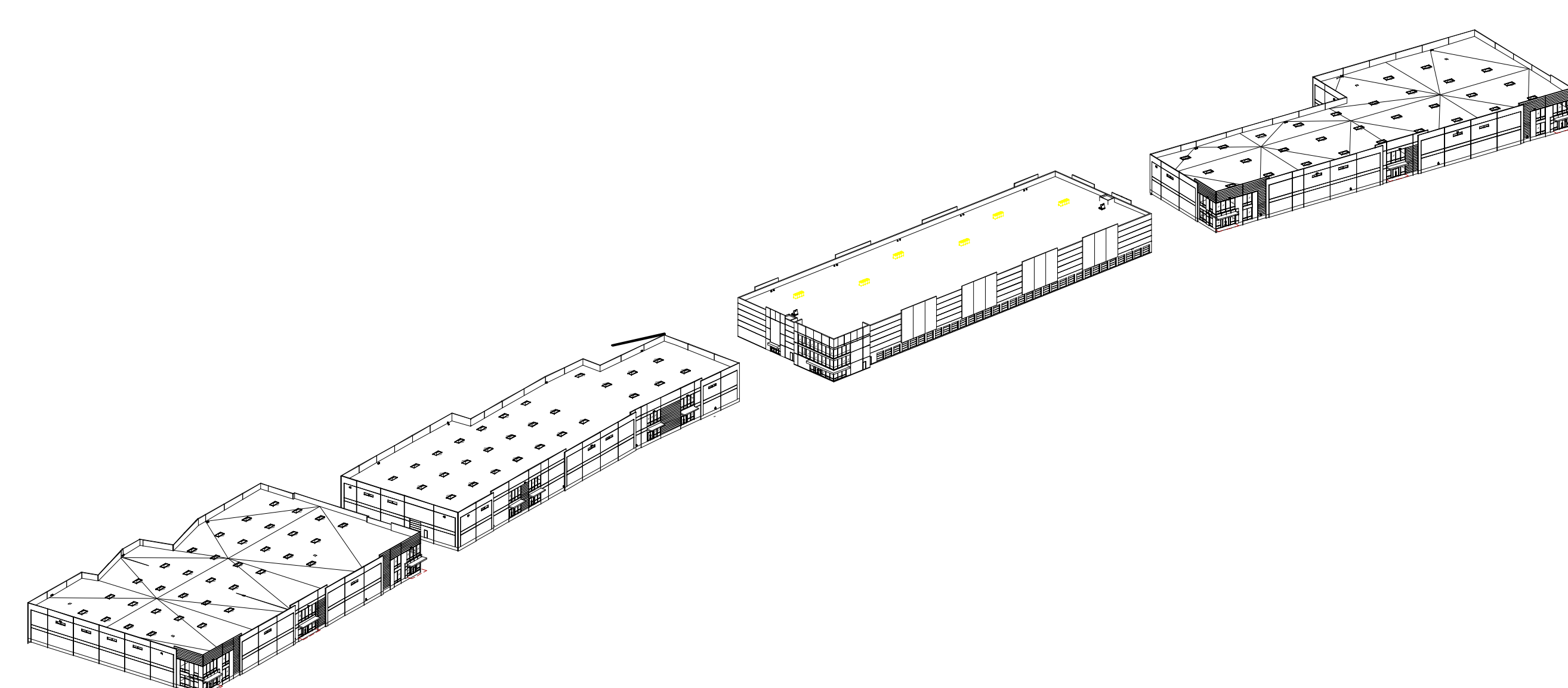


PROJECT DATA

BUILDING DEPARTMENT: CITY OF CHULA VISTA
APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS), 2019 STATE OF CALIFORNIA ENERGY CODE, 2019 STATE OF CALIFORNIA GREEN BUILDING CODE, 2019 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS, TITLE 15 OF THE CHULA VISTA MUNICIPAL CODE (CVMC)
ZONING CLASSIFICATION: IL (LIMITED INDUSTRIAL)
OCCUPANCY CLASSIFICATION: PER CBC CHAPTER 3 - B / S-1
OCCUPANCY SEPARATION: PER CBC TABLE 508.4 - NO SEPARATION REQUIREMENT
TYPE OF CONSTRUCTION: PER CBC CHAPTER 6 (SECTION 602)
BUILDING 1 - IIB
BUILDING 2 - IIB
BUILDING 3 - IB
BUILDING 4 - IIB
SPRINKLED: YES
NUMBER OF STORIES: 1-3
ASSESSOR'S PARCEL NO.: 644-050-13, 644-050-14, PORTION OF 644-050-08
LEGAL DESCRIPTION: PARCEL 1 OF PARCEL MAP NO. 21587 IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MAY 18, 2018.
PROJECT SCOPE: THREE (3) NEW 2-STORY WAREHOUSE BUILDINGS WITH MEZZANINES AND ONE (1) NEW 3-STORY STORAGE BUILDING ALL TOTALING 299,218 SF.
TENANT OCCUPANCY: BUILDING 1 - WAREHOUSE (S-1) 60,430 S.F.
BUILDING 2 - WAREHOUSE (S-1) 48,658 S.F.
BUILDING 3 - SELF-SERVICE STORAGE (S-1) 140,802 S.F.
BUILDING 4 - WAREHOUSE (S-1) 49,328 S.F.
LOT: 579,976 S.F. 13.31 (ACRES)
GROSS SQUARE FOOTAGE: 299,218 S.F.
BUILDING COVERAGE: .34 %
FAR: .516
LANDSCAPE AREA REQUIRED (15%): 86,996 S.F.
LANDSCAPE PROVIDED: 150,532 S.F.
LANDSCAPE COVERAGE: 25 %
TOTAL PARKING LOT AREA: 77,973 S.F.
PARKING AREA LANDSCAPE REQUIRED (10%): 7,797 S.F.
PARKING LANDSCAPE PROVIDED: 18,404 S.F.
WAREHOUSE BY EMPLOYMENT .282/ 1.5 188 REQUIRED
OFFICE 9,808 S.F./ 300 34 REQUIRED
MEZZANINE 7,865 S.F./ 300 27 REQUIRED
BUILDING 3 - AS RECOMMENDED BY THE SUBMITTED PARKING STUDY (APPENDIX U) 14 REQUIRED
TOTAL REQUIRED: 263 REQUIRED
TOTAL PROVIDED (NOT INCLUDING STORAGE PARKING): 290
TOTAL PROVIDED (INCLUDING STORAGE PARKING): 309
STANDARD PARKING PROVIDED: 294 STALLS
ACCESSIBLE PARKING REQUIRED: 7 STALLS
ACCESSIBLE PARKING PROVIDED: 15 STALLS
VAN ACCESSIBLE PARKING PROVIDED: 7 STALLS
CLEAN AIR VEHICLE REQUIRED: 8 %
EV CHARGING REQUIRED: 6 %
BICYCLE PARKING REQUIRED: 15 STALLS
BICYCLE LOCKERS PROVIDED: 15 STALLS
EXISTING TOTAL NUMBER OF LOTS: 2
PROPOSED NUMBER OF LOTS: 4

NIRVANA BUSINESS PARK

821 MAIN STREET
CHULA VISTA, CA 91911



SHEET INDEX

TOTAL SHEETS 130

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- A0.1 TITLE SHEET
A1.0 SITE PLAN
A1.1 WEST WALL AND FENCE PLAN
A1.2 EAST WALL AND FENCE PLAN
A1.3 FIRE ACCESS PLAN
A1.4 FIRE CONTROL ROOM PLANS AND DETAIL
A1.5 SITE PARCELS PLAN
A2.1-1 BUILDING 1 - FIRST FLOOR PLAN
A2.2-1 BUILDING 1 - SECOND FLOOR PLAN
A3.1-1 BUILDING 1 - ROOF PLAN
A4.1-1 BUILDING 1 - EXTERIOR ELEVATIONS
A5.0-1 BUILDING 1 - BUILDING SECTIONS
A9.0-1 BUILDING 1 - PERSPECTIVE
A2.1-2 BUILDING 2 - FIRST FLOOR PLAN
A2.2-2 BUILDING 2 - SECOND FLOOR PLAN
A3.1-2 BUILDING 2 - ROOF PLAN
A4.1-2 BUILDING 2 - EXTERIOR ELEVATIONS
A5.0-2 BUILDING 2 - BUILDING SECTIONS
A9.0-2 BUILDING 2 - PERSPECTIVE
A2.1-3 BUILDING 3 - FIRST FLOOR PLAN
A2.2-3 BUILDING 3 - FIRST FLOOR UNIT MIX PLAN
A2.3-3 BUILDING 3 - SECOND FLOOR PLAN
A2.4-3 BUILDING 3 - SECOND FLOOR UNIT MIX PLAN
A2.5-3 BUILDING 3 - THIRD FLOOR PLAN
A2.6-3 BUILDING 3 - THIRD FLOOR UNIT MIX PLAN
A3.1-3 BUILDING 3 - ROOF PLAN
A4.1-3 BUILDING 3 - EXTERIOR ELEVATIONS
A5.0-3 BUILDING 3 - BUILDING SECTIONS
A9.0-3 BUILDING 3 - PERSPECTIVE
A2.1-4 BUILDING 4 - FIRST FLOOR PLAN
A2.2-4 BUILDING 4 - SECOND FLOOR PLAN
A3.1-4 BUILDING 4 - ROOF PLAN
A4.1-4 BUILDING 4 - EXTERIOR ELEVATIONS
A5.0-4 BUILDING 4 - BUILDING SECTIONS
A9.0-4 BUILDING 4 - PERSPECTIVE
A6.0 TRASH ENCLOSURE PLAN AND ELEVATIONS
ARCHITECTURAL SHEET COUNT: 36

ELECTRICAL

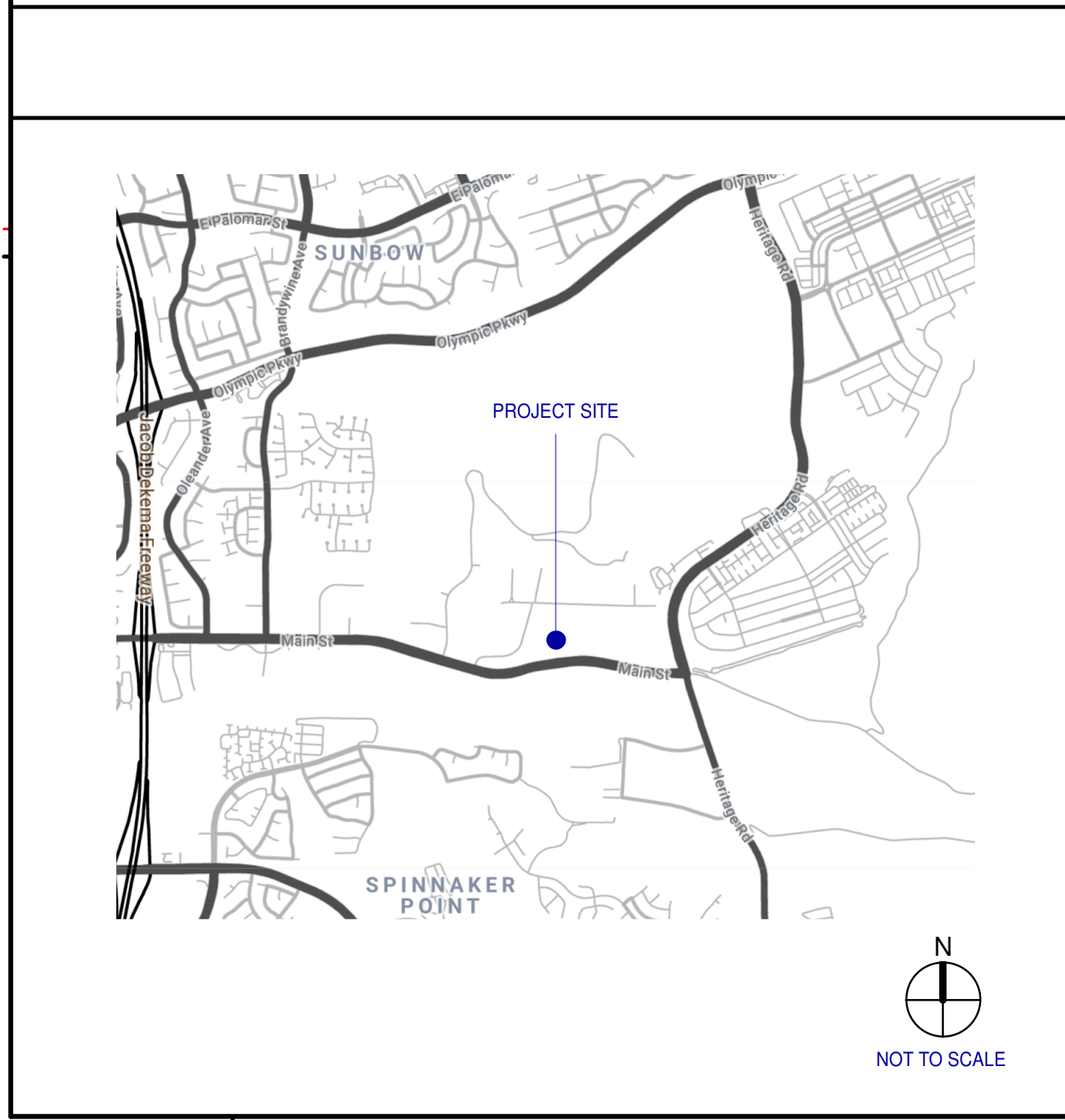
- E0.1 SHEET INDEX AND NOTES
E010 OVERALL SITE PLAN
E011 SITE LIGHTING PLAN 1
E012 SITE LIGHTING PLAN 2
E100 SITE PHOTOMETRICS 1
E101 SITE PHOTOMETRICS 2
E200 DETAIL SHEET
ELECTRICAL SHEET COUNT: 7

LANDSCAPE

- L0.1 SHEET INDEX AND NOTES
L1.0 PRELIMINARY LANDSCAPE LEGENDS & NOTES
L1.1 PRELIMINARY LANDSCAPE PLAN
L1.2 PRELIMINARY LANDSCAPE PLAN
L1.3 PRELIMINARY LANDSCAPE PLAN
L2.1 PRELIMINARY SHADING DIAGRAM
L2.2 PRELIMINARY SHADING DIAGRAM
L2.3 PRELIMINARY SHADING DIAGRAM
L3.0 LANDSCAPE AREA TABULATIONS
L4.1 MAIN STREET IMPROVEMENTS - MSE WALL PLANTING
L5.1 FENCE AND WALL PLAN
LANDSCAPE SHEET COUNT: 11

CIVIL

- C1.0 TITLE SHEET
C2.0 EXISTING CONDITIONS
C3.0 PRELIMINARY GRADING PLAN
C4.0 PRELIMINARY GRADING PLAN
C5.0 PRELIMINARY UTILITY PLAN
C6.0 PRELIMINARY UTILITY PLAN
C7.0 SITE SECTIONS
CIVIL SHEET COUNT: 7



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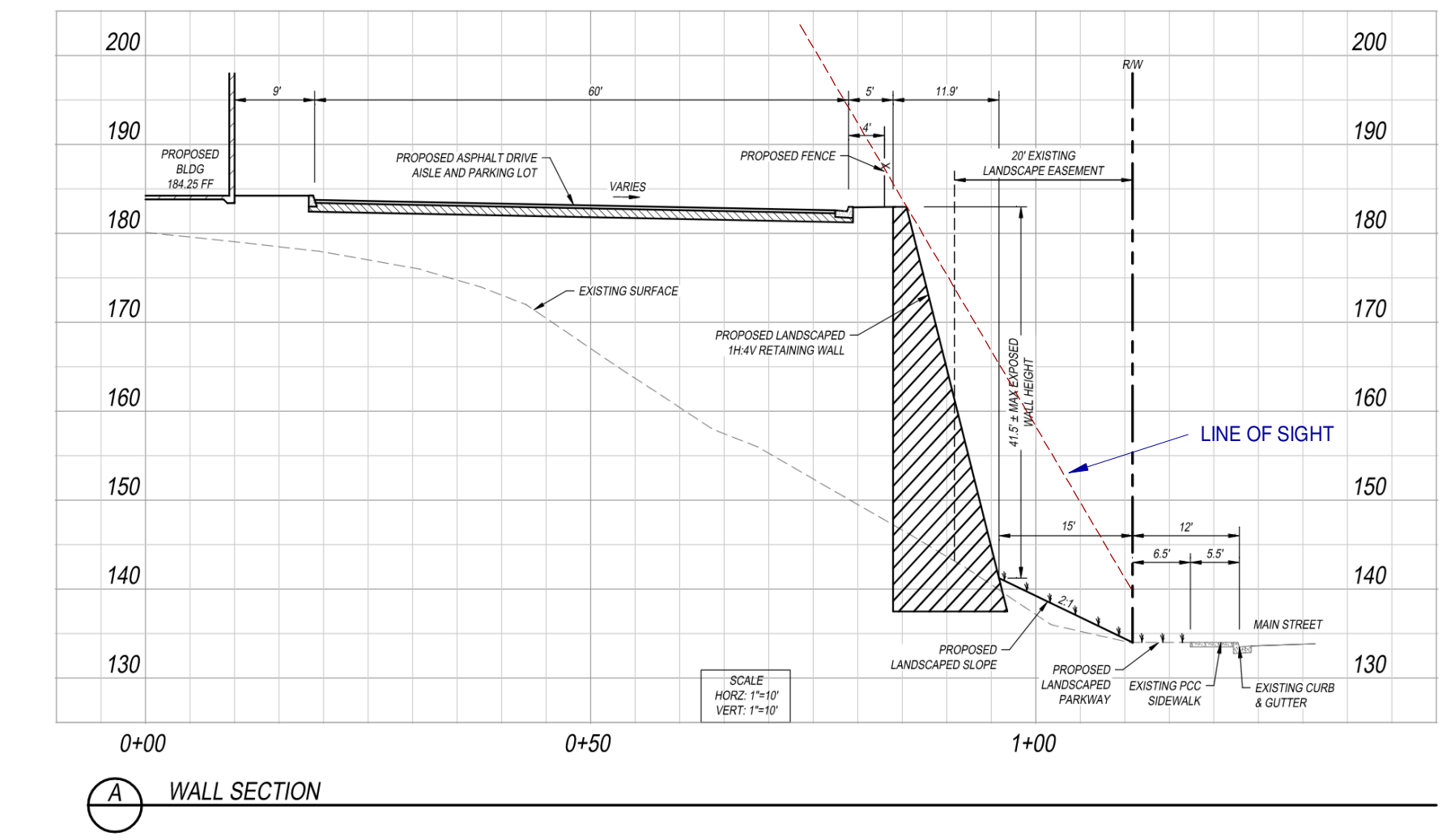
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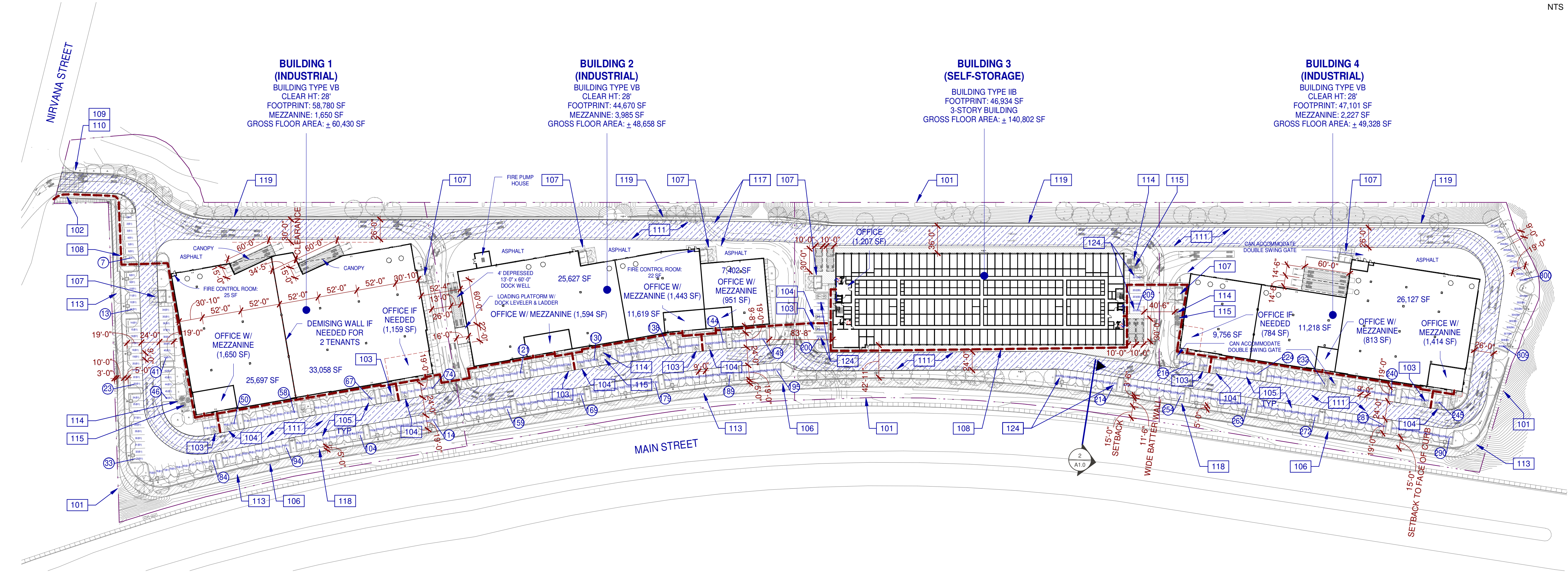
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Table with 2 columns: PA/PM, DRAWN BY, JOB NO. Values: Approver, Author, SDG21-0055-00.

SHEET A0.1

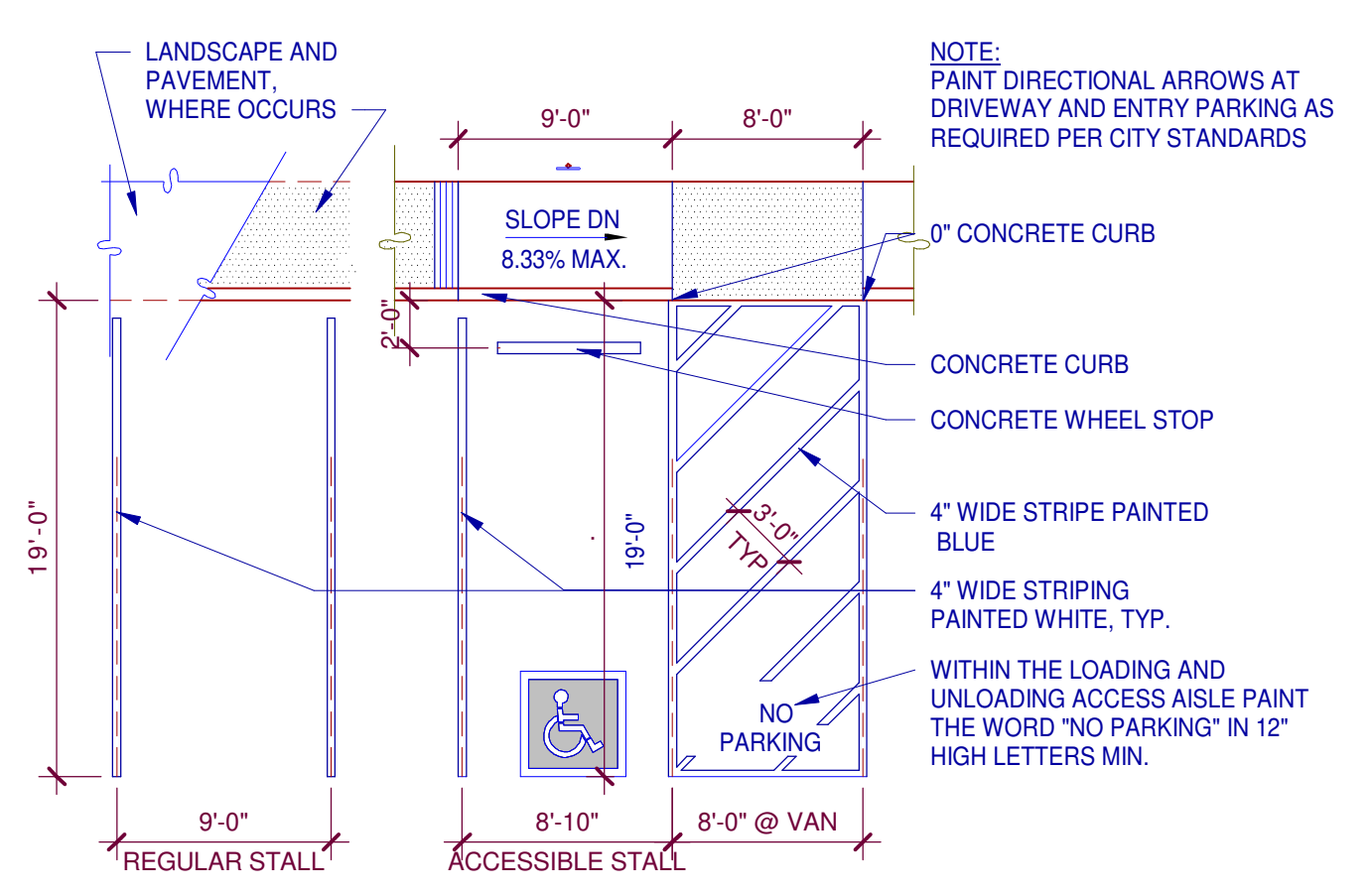


Retaining Wall Section
NTS (2)



SITE PLAN
SCALE: 1" = 80'-0" (1)

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TYPICAL PARKING STALLS
SCALE: 1/8" = 1'-0" (3)

LEGEND



KEYNOTES:

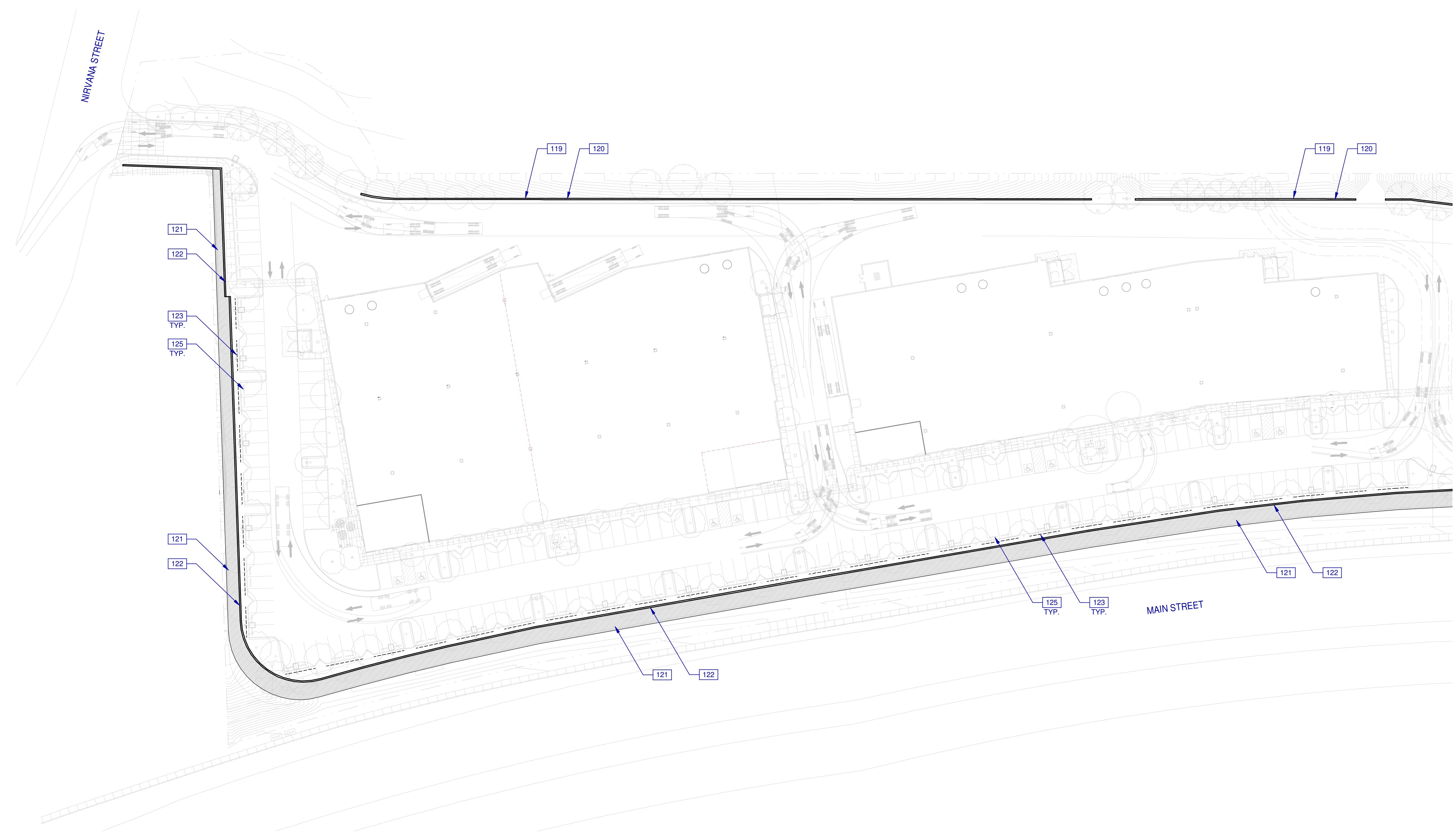
- 101 PROPERTY LINE. SEE CIVIL DRAWINGS.
- 102 ACCESSIBLE ENTRY SIGNAGE. SEE 6/A8.1.
- 103 ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 104 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 105 PAINTED PARKING STRIPING PER CITY STANDARDS.
- 106 2'-0" PARKING OVERHANG.
- 107 TRASH ENCLOSURE WITH RECYCLE BIN. FOOD WASTE AND ORGANICS WILL BE RECYCLED AND NOT DISPOSED IN LANDFILL. CONCRETE APRON IN FRONT OF ENCLOSURE EXTENDS 12'-0" FROM THE GATES AND OVERHANGS AT LEAST 2'-0" ON EACH SIDE OF ENCLOSURE.
- 108 ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE. SEE CIVIL DRAWINGS.
- 109 FIRE LANE ENTRY SIGNAGE. SEE 7/A8.1.
- 110 FIRE LANE SIGNAGE. SEE 8/A8.1.
- 111 FIRE LANE (MINIMUM OF 24'-0" IN WIDTH AND WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" THROUGHOUT).
- 113 BATTER RETAINING WALL (PLANTED).
- 114 BIKE RACK.
- 115 AMENITY AREA - REFER TO LANDSCAPE PLANS.
- 117 PROPOSED DRAINAGE EASEMENT TO CITY OF CHULA VISTA.
- 118 5'-0" SETBACK FROM FACE OF RETAINING WALL TO BACK OF CURB.
- 119 VERTICAL SOIL NAIL CONCRETE RETAINING WALL ALONG NORTH EDGE OF PROPERTY. REFER TO LANDSCAPE SHEET 5.1 FOR SECTION.
- 124 19 PARKING SPACES (B3) FOR STORAGE FACILITY.

SITE PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
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SHEET
A1.0



WEST WALL AND FENCE PLAN
SCALE: 1" = 40'-0"

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WEST WALL AND FENCE PLAN		REMARKS
1	09/20/2021	DESIGN REVIEW SUBMITTAL
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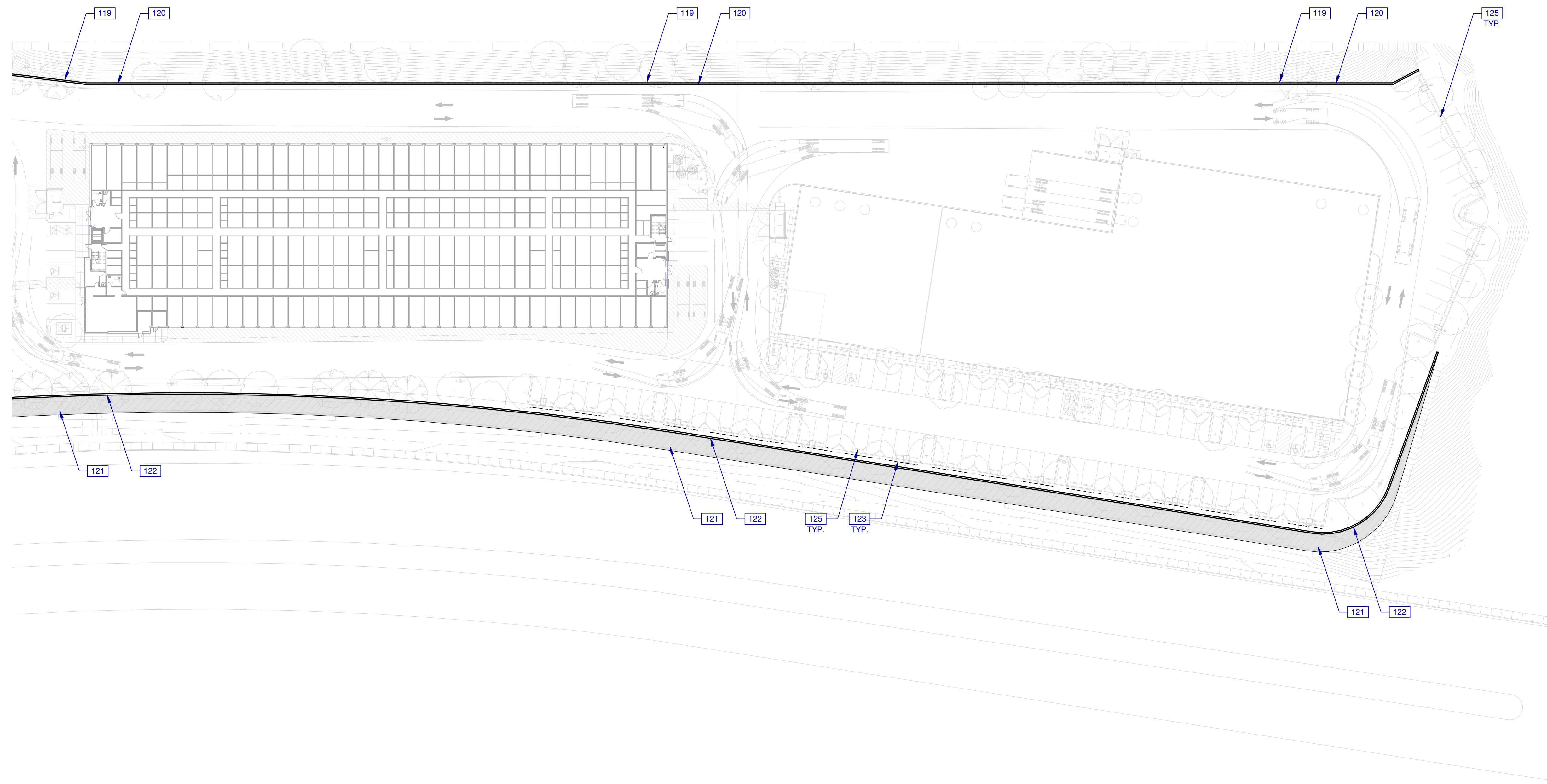
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LEGEND

 FIRE LANE (HATCHED)

KEYNOTES:

- 119 VERTICAL SOIL NAIL CONCRETE RETAINING WALL ALONG NORTH EDGE OF PROPERTY. REFER TO LANDSCAPE SHEET 5.1 FOR SECTION.
- 120 TYPICAL CALTRANS HIGHWAY CABLE RAIL FENCE (42" HIGH) MOUNTED ON TOP OF VERTICAL RETAINING WALL ALONG NORTH EDGE OF PROPERTY. REFER TO LANDSCAPE SHEET 5.1 FOR ELEVATION.
- 121 SLOPED MSE RETAINING WALL ALONG SOUTH, WEST AND EAST EDGE OF PROPERTY. REFER TO LANDSCAPE SHEET 5.1 FOR SECTION.
- 122 5'-0" HIGH WROUGHT IRON FENCE ON TOP OF SLOPED SOUTH, WEST AND EAST RETAINING WALL.
- 123 CRASH BARRIER FENCE 24" BEHIND BACK OF CURB ALONG SOUTH AND WEST PL. REFER TO LANDSCAPE SHEET 5.1 FOR ELEVATION.
- 125 WHEEL STOPS ALONG CRASH BARRIER FENCE.



EAST WALL AND FENCE PLAN
SCALE: 1" = 40'-0"

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EAST WALL AND FENCE PLAN		REMARKS
1	09/20/2021	DESIGN REVIEW SUBMITTAL
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3	03/11/2022	DESIGN REVIEW RE-SUBMITTAL
4	05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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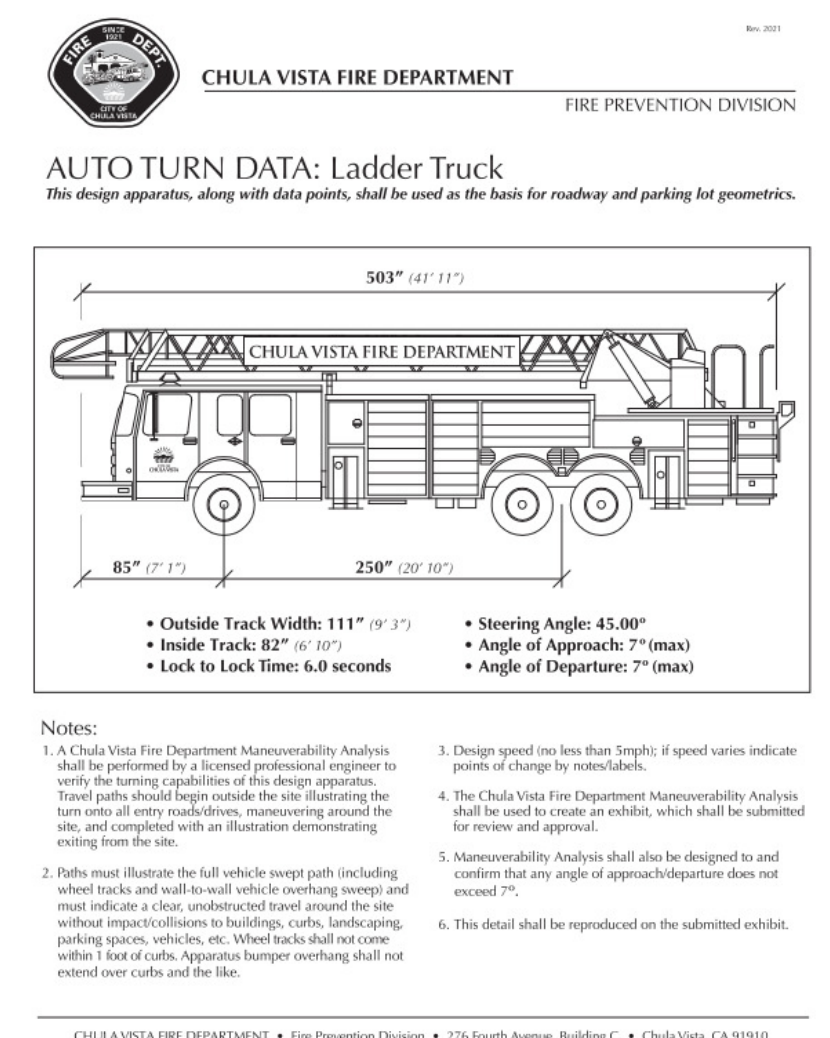
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LEGEND

 FIRE LANE (HATCHED)

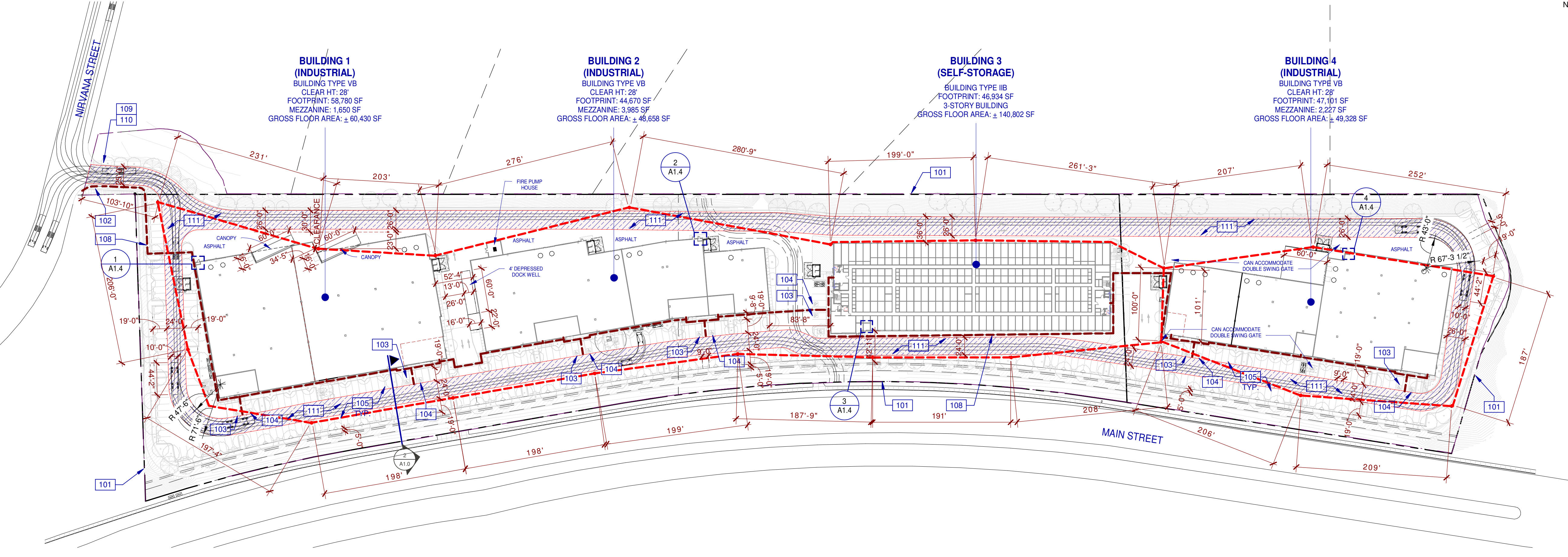
KEYNOTES:

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- 123 CRASH BARRIER FENCE 24" BEHIND BACK OF CURB ALONG SOUTH AND WEST PL. REFER TO LANDSCAPE SHEET 5.1 FOR ELEVATION.
- 125 WHEEL STOPS ALONG CRASH BARRIER FENCE.



FIRE TRUCK TURNING RADIUS

2



FIRE ACCESS PLAN

1

SCALE: 1" = 80'-0"

GENERAL NOTES

- SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES
- MAINTAIN 1/2" PER FOOT MINIMUM SLOPE THROUGHOUT ROOF.
 - WALKWAY PADS TO BE PROVIDED AT AREAS SHOWN AND TO INCLUDE ALL EQUIPMENT INSTALLATIONS, DOORWAYS, STAIR/LADDER LANDINGS, AND OTHER AREAS REQUIRING REGULAR MAINTENANCE.
 - CONTRACTOR TO PROVIDE COVERS, ENCLOSURES, AND/OR SEALANTS AT ALL ROOF PENETRATIONS, PIPES, CURBS, DUCTS, AND CONNECTIONS. COORDINATE AND REFER TO MECHANICAL/ELECTRICAL DISCIPLINES FOR ADDITIONAL INFORMATION.
 - PROVIDE TAPERED INSULATION ROOF CRICKETS AT MECHANICAL UNITS AS REQUIRED. MIN SLOPE TO BE 1/4" / 1' 0". PROVIDE VALLEY SLOPES AS REQUIRED BY AHJ AND WARRANTY REQUIREMENTS.
 - ALL DIMENSIONS ARE FOR GENERAL ARRANGEMENT AND LOCATION ONLY. ACTUAL REQUIREMENTS AND DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH EQUIPMENT SHOP DRAWINGS, AND STRUCTURAL FRAMING.
 - SEE STRUCTURAL FRAMING PLAN FOR ROOF DECK HEIGHTS TO ESTABLISH ROOF SLOPES AND ROOF MEMBER LOCATIONS.
 - NO CONDUIT ON ROOF.
 - ALL COMPONENTS FOR THE ROOF DRAINAGE SYSTEM SHALL BE SIZED BASED ON A STORM OF 60 MINUTES DURATION AND 100 YEAR RETURN PERIOD PER LOCAL BUILDING CODE.
 - ALL ROOF MATERIALS SHALL COMPLY W/ THE STANDARDS AS SPECIFIED BY LOCAL CODE AND SHALL HAVE A FIRE CLASSIFICATION AS REQUIRED.
 - ALL ROOF DRAINS SHALL COMPLY WITH LOCAL BUILDING CODE. ALL STORM DRAINS SHALL PROVIDE CLEAN CUTS AND OVERFLOWS AS REQUIRED BY CODE.
 - ALL ROOF TOP EQUIPMENT AND DEVICES REQUIRING MAINTENANCE SHALL BE NO CLOSER THAN 20 FEET FROM THE PARAPET WALL.

FIRE NOTES

- "FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4" (NEW ISSUE)
- "FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4" (NEW ISSUE)
- "DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5. SEE APPENDIX D CFC FIGURE D103.1 RADIUS 30' INSIDE 50' OUTSIDE." (NEW ISSUE)
- "AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S). SHOW ALL PROPOSED LOCATIONS WHERE AERIAL ACCESS IS BEING PROVIDED. (SEE CFC APPENDIX D/FPB POLICY A-14-1)" (NEW ISSUE)
- "POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. CFC 912.2.1" (NEW ISSUE)
- "ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR." (NEW ISSUE)
- "ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS SHALL BE LOCATED AND SPACED IN ACCORDANCE WITH CFC APPENDIX C (NEW ISSUE)
- "CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS: A 3 FOOT RADIUS CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED." (NEW ISSUE)
- HYDRANT LOCATIONS SHALL BE IDENTIFIED PER CITY OF CHULA VISTA FIRE DEPARTMENT REQUIREMENTS. (NEW ISSUE)
- "ALL RED CURB/NO PARKING SIGN AREAS HAVE BEEN SHOWN WITH A KEY INDICATOR. ALL REQUIRED ACCESS ROADWAYS SHALL NOT PROVIDE LESS THAN THE REQUIRED APPROVED WIDTH AND/OR BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES, WHERE INADEQUATE WIDTH HAS NOT PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEN SUCH ACCESS SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1." (NEW ISSUE)
- "THE LOCATION(S) OF AN APPROVED "KNOX" KEY BOX PER CITY OF CHULA VISTA FIRE DEPARTMENT REQUIREMENTS. (NEW ISSUE)
- "AN APPROVED VEHICLE STROBE DETECTOR SYSTEM AND/OR KNOX KEYSWITCH OVERRIDE SHALL BE PROVIDED FOR ALL VEHICLE ENTRY AND/OR EMERGENCY VEHICLE ENTRY POINTS TO THE PROJECT SITE; LOCATIONS TO BE APPROVED BY FIRE ACCESS REVIEWER. CFC SECTION 506." (NEW ISSUE)
- "VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES." (NEW ISSUE)

LEGEND



KEYNOTES:

- PROPERTY LINE. SEE CIVIL DRAWINGS.
- ACCESSIBLE ENTRY SIGNAGE. SEE 6/A8.1.
- ACCESSIBLE PARKING STALL WITH SIGNAGE.
- VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
- PAINTED PARKING STRIPING PER CITY STANDARDS.
- ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE. SEE CIVIL DRAWINGS.
- FIRE LANE ENTRY SIGNAGE. SEE 7/A8.1.
- FIRE LANE SIGNAGE. SEE 8/A8.1.
- FIRE LANE (MINIMUM OF 24'-0" IN WIDTH AND WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" THROUGHOUT).

FIRE ACCESS PLAN

DATE	REMARKS
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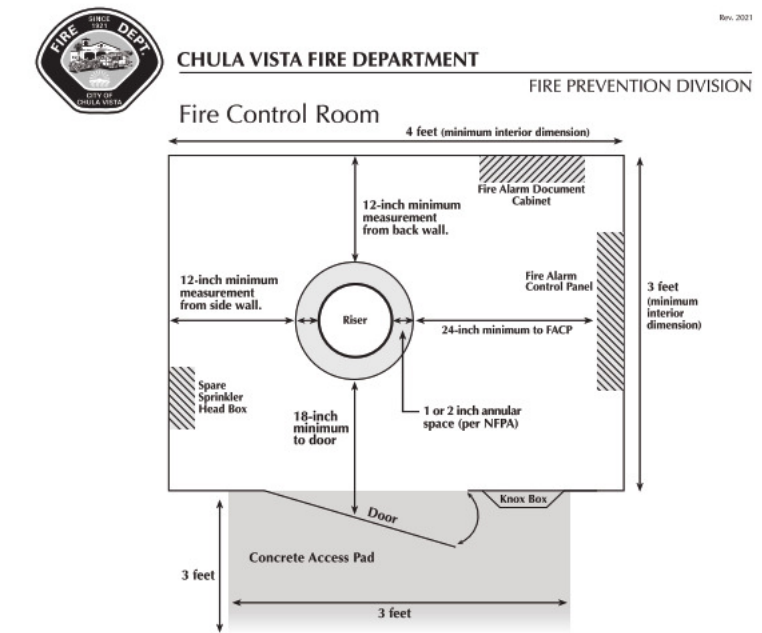
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A1.3

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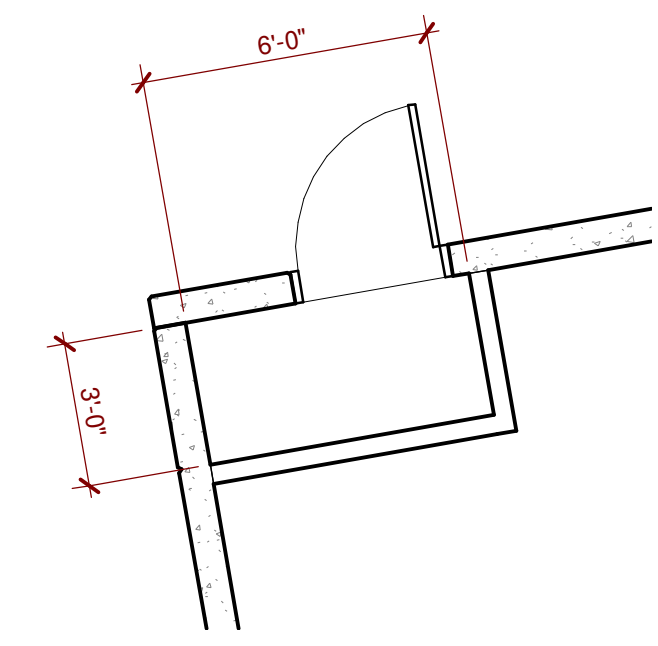
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821 MAIN STREET
CHULA VISTA, CA 91911



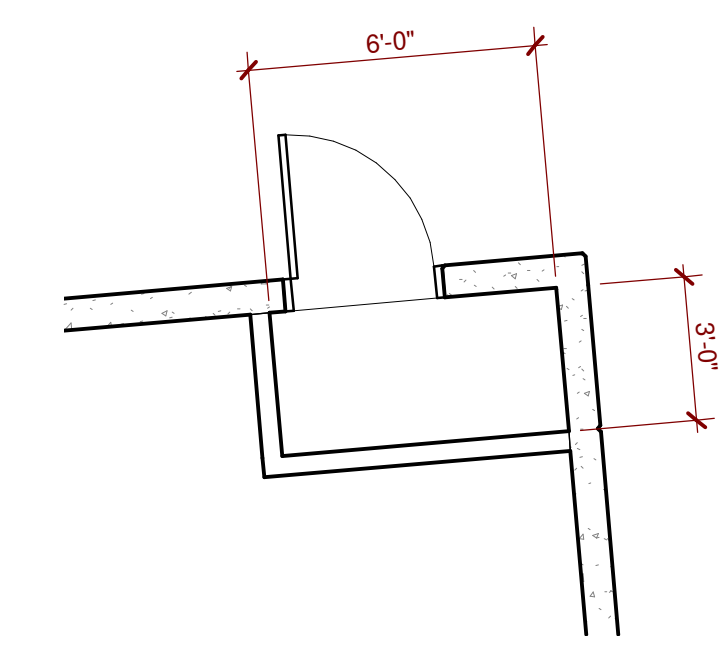
- Fire Control Room Specifications**
- Measurements must be exact and will be subject to field verification above illustrations is not to scale.
 - For multiple rooms in a row, in addition to the room's minimum 12 square foot area, the room's overall dimension must equal and provide no less than 18 inches of clear width from door in all directions (and requires no less than 24 inches to the ceiling).
 - Door must provide a minimum clear opening width of 28 inches.
 - Door must be marked "FIRE CONTROL ROOM" in a each door and be in a contrasting color to the background.
 - Door shall be equipped with key-operated locking door hardware.
 - Door shall not directly to the exterior of the building and shall not be obstructed by any means.
 - Door requires appropriate weather stripping to prevent element intrusion into the room.
 - Room requires permanently installed lighting with a backup power source.
 - Room requires a NFPA 72 compliant document cabinet.
 - Room shall not be used for other purposes (i.e., no other non-fire safety equipment or storage can be in this room).
 - A 4 inch thick concrete apron shall be provided at the door's exterior leading edge, measuring 1 foot by 1 foot, width of the same elevation as the room's finished grade.
 - A fire control room shall be provided for each new structure that has an automatic fire sprinkler system and for major commercial tenant improvements.

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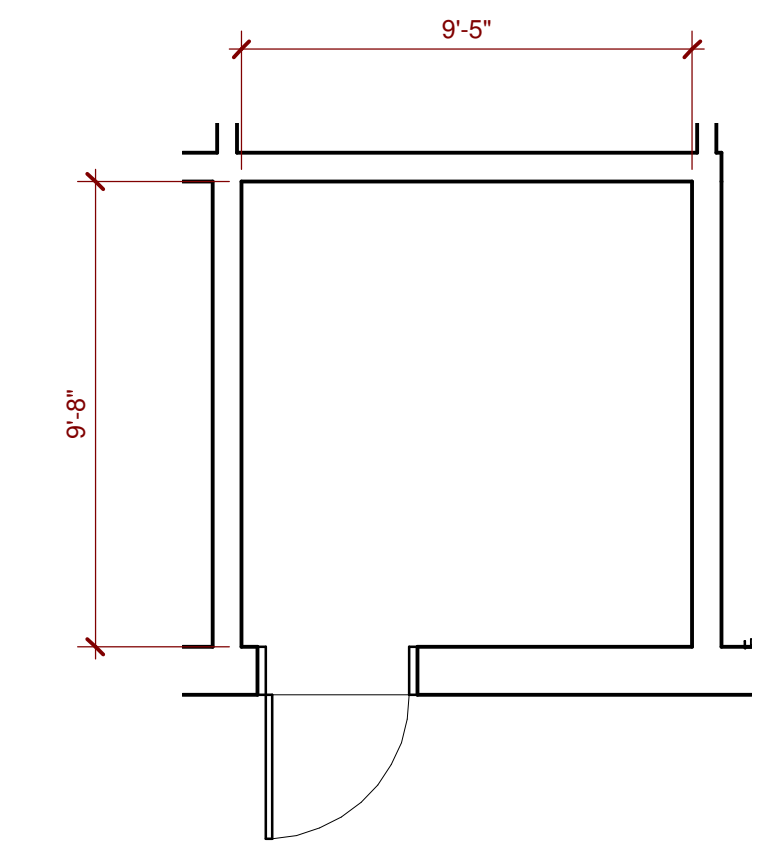
FIRE CONTROL ROOM DETAIL NTS **5**



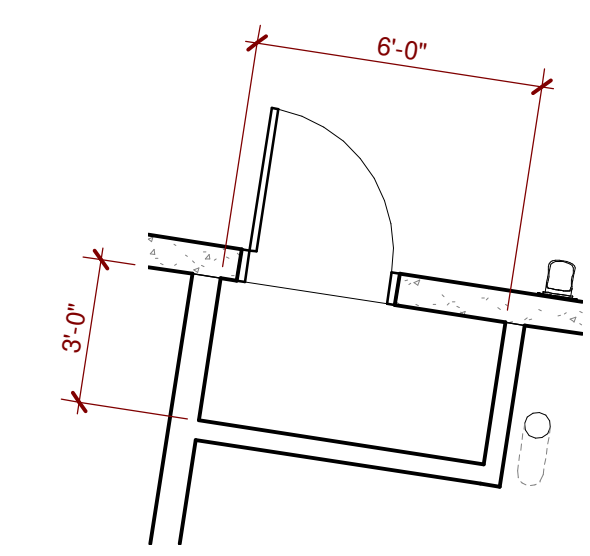
FIRE CONTROL ROOM - BUILDING 1 SCALE: 1/4" = 1'-0" **1**



FIRE CONTROL ROOM - BUILDING 2 SCALE: 1/4" = 1'-0" **2**



FIRE CONTROL ROOM - BUILDING 3 SCALE: 1/4" = 1'-0" **3**



FIRE CONTROL ROOM - BUILDING 4 SCALE: 1/4" = 1'-0" **4**

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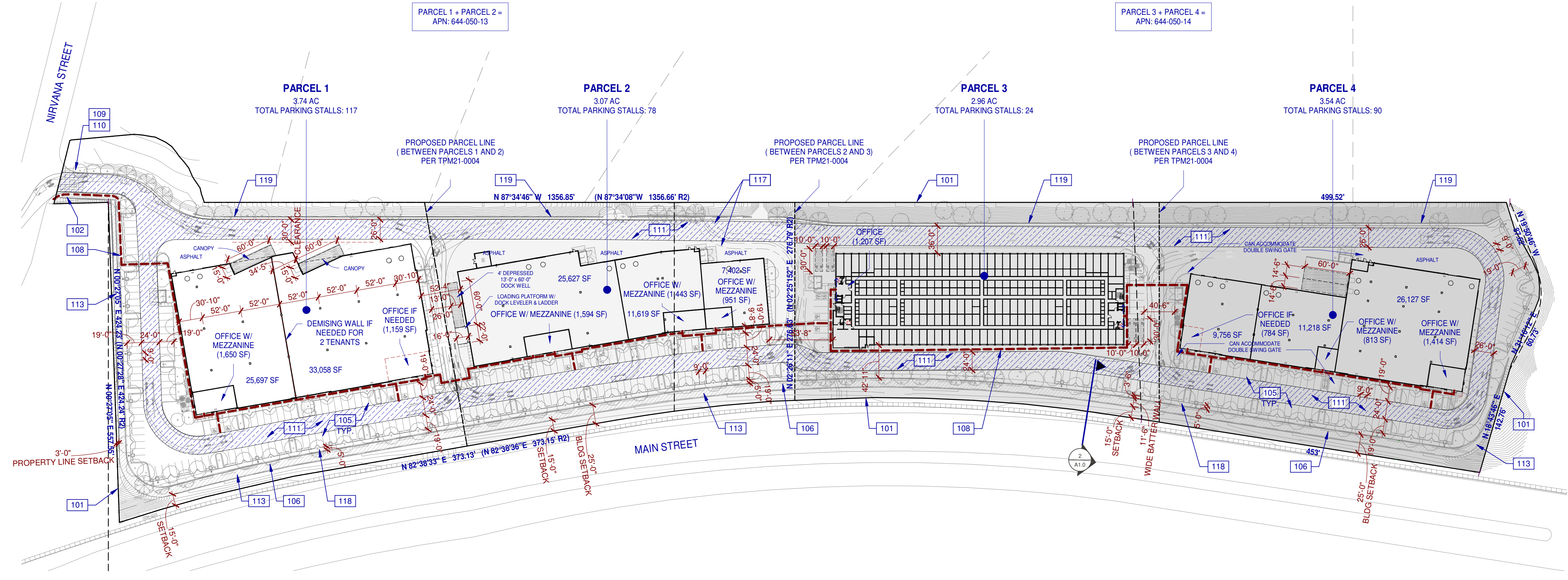
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FIRE CONTROL ROOM PLANS AND DETAIL

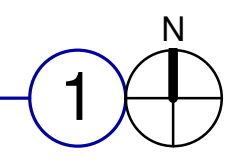
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PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0055-00

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SITE PARCELS PLAN
 SCALE: 1" = 80'-0"



LEGEND

FIRE LANE (HATCHED)

KEYNOTES:

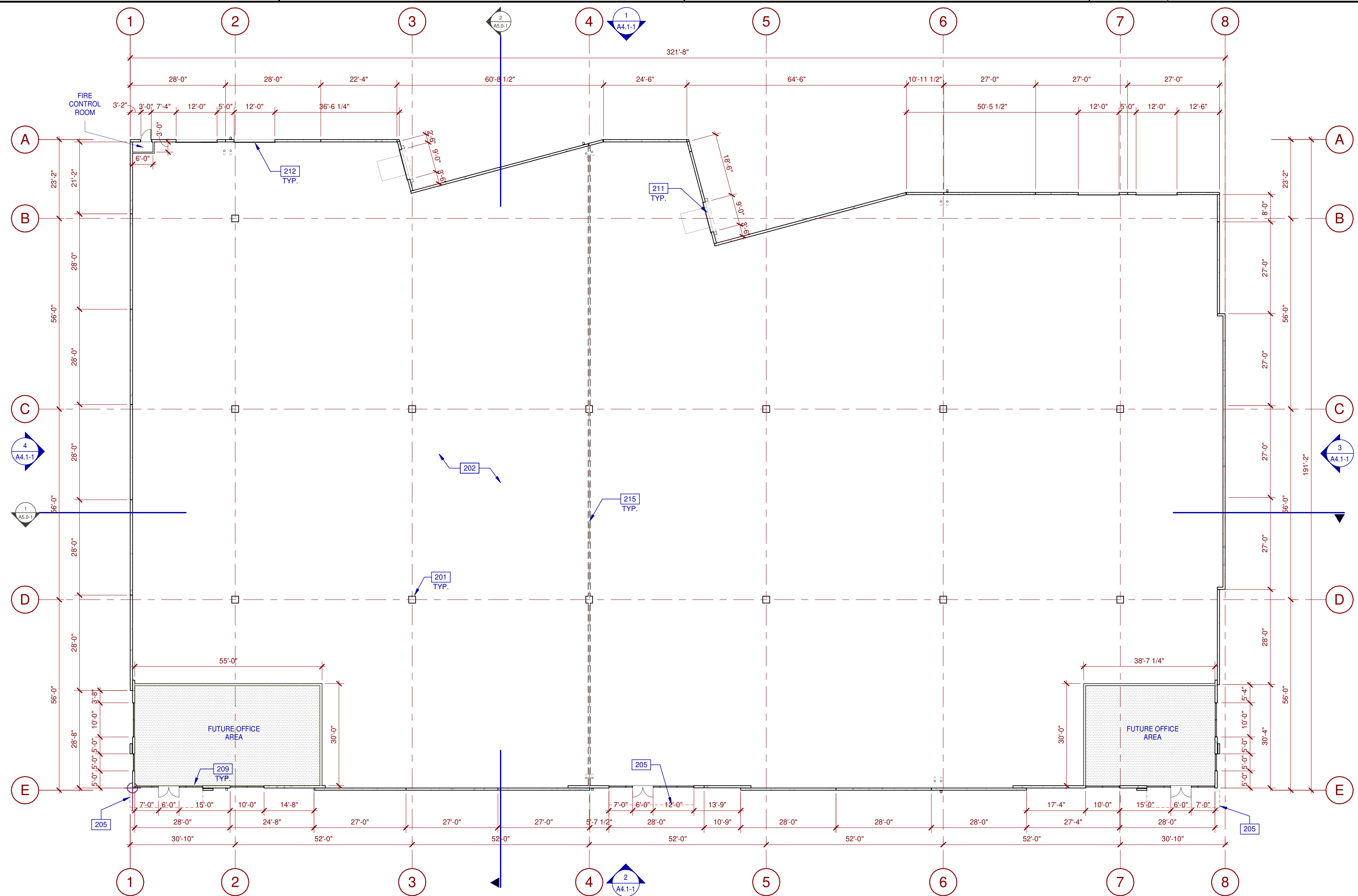
- 101 PROPERTY LINE, SEE CIVIL DRAWINGS.
- 102 ACCESSIBLE ENTRY SIGNAGE, SEE 6/A8.1.
- 105 PAINTED PARKING STRIPING PER CITY STANDARDS.
- 106 2'-0" PARKING OVERHANG.
- 108 ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS.
- 109 FIRE LANE ENTRY SIGNAGE, SEE 7/A8.1.
- 110 FIRE LANE SIGNAGE, SEE 8/A8.1.
- 111 FIRE LANE (MINIMUM OF 24'-0" IN WIDTH AND WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" THROUGHOUT).
- 113 BATTER RETAINING WALL, (PLANTED).
- 117 PROPOSED DRAINAGE EASEMENT TO CITY OF CHULA VISTA.
- 118 5'-0" SETBACK FROM FACE OF RETAINING WALL TO BACK OF CURB.
- 119 VERTICAL SOIL NAIL CONCRETE RETAINING WALL ALONG NORTH EDGE OF PROPERTY, REFER TO LANDSCAPE SHEET 5.1 FOR SECTION.

SITE PARCELS PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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SHEET
A1.5



FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEGEND

PROPOSED FUTURE OFFICE AREA

WALL LEGEND

CONCRETE WALL
 1HR FIRE-RESISTANCE RATED
 INTERIOR NON-RATED PARTITION

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL COLUMN, TYP.
 - 202 CONCRETE SLAB PER STRUCTURAL.
 - 205 CANOPY LINE ABOVE, CALCULATIONS & ANCHORAGE PER STRUCTURAL.
 - 209 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
 - 211 9' x 10' SECTIONAL DOOR, PAINTED.
 - 212 14' x 12' SECTIONAL DOOR.
 - 215 FUTURE DEMISING WALL.

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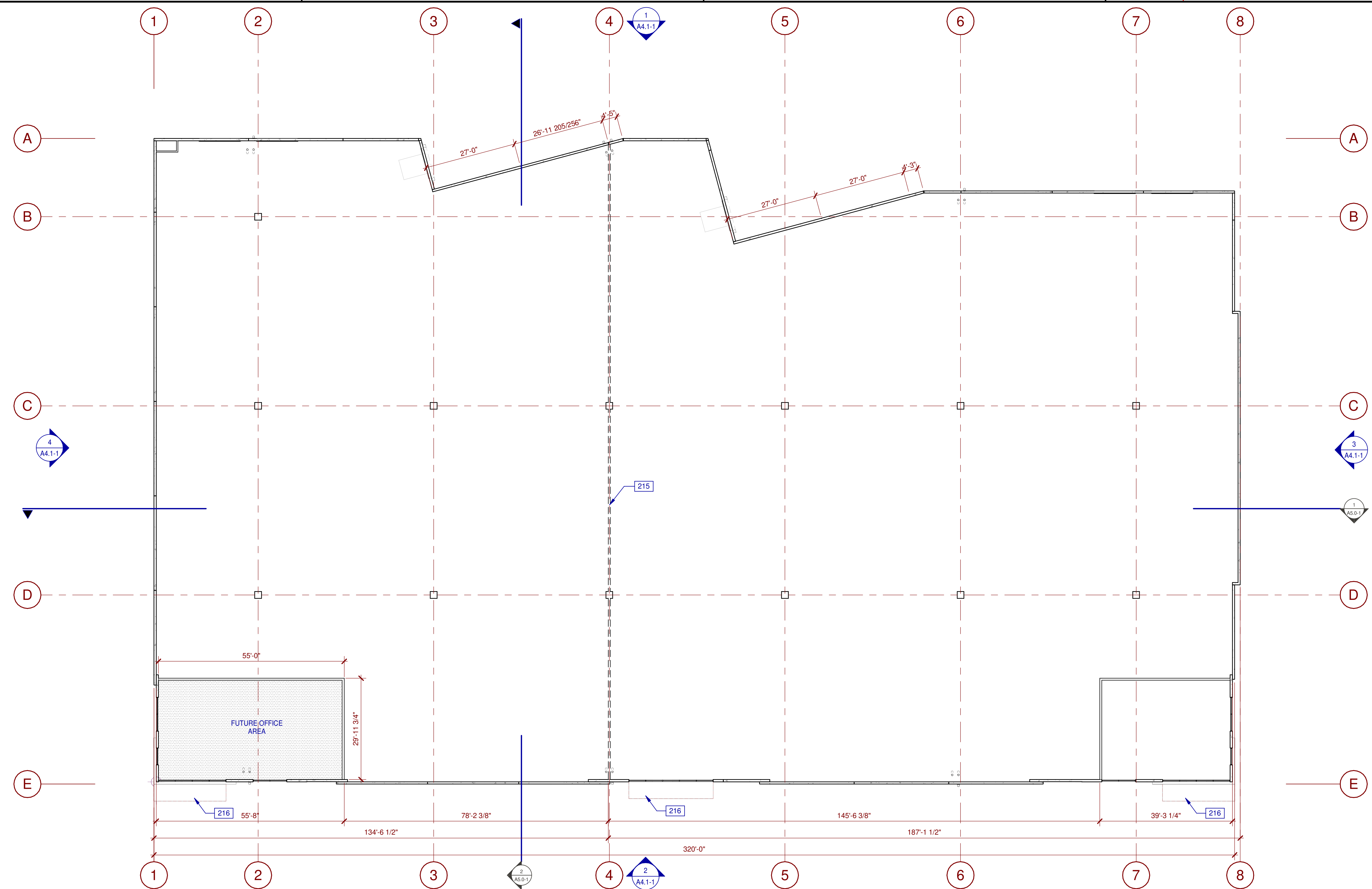
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BUILDING 1 - FIRST FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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A2.1-1






SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEGEND

 PROPOSED FUTURE OFFICE AREA

WALL LEGEND

-  CONCRETE WALL
-  1HR FIRE-RESISTANCE RATED
-  INTERIOR NON-RATED PARTITION

KEYNOTES:

215 FUTURE DEMISING WALL

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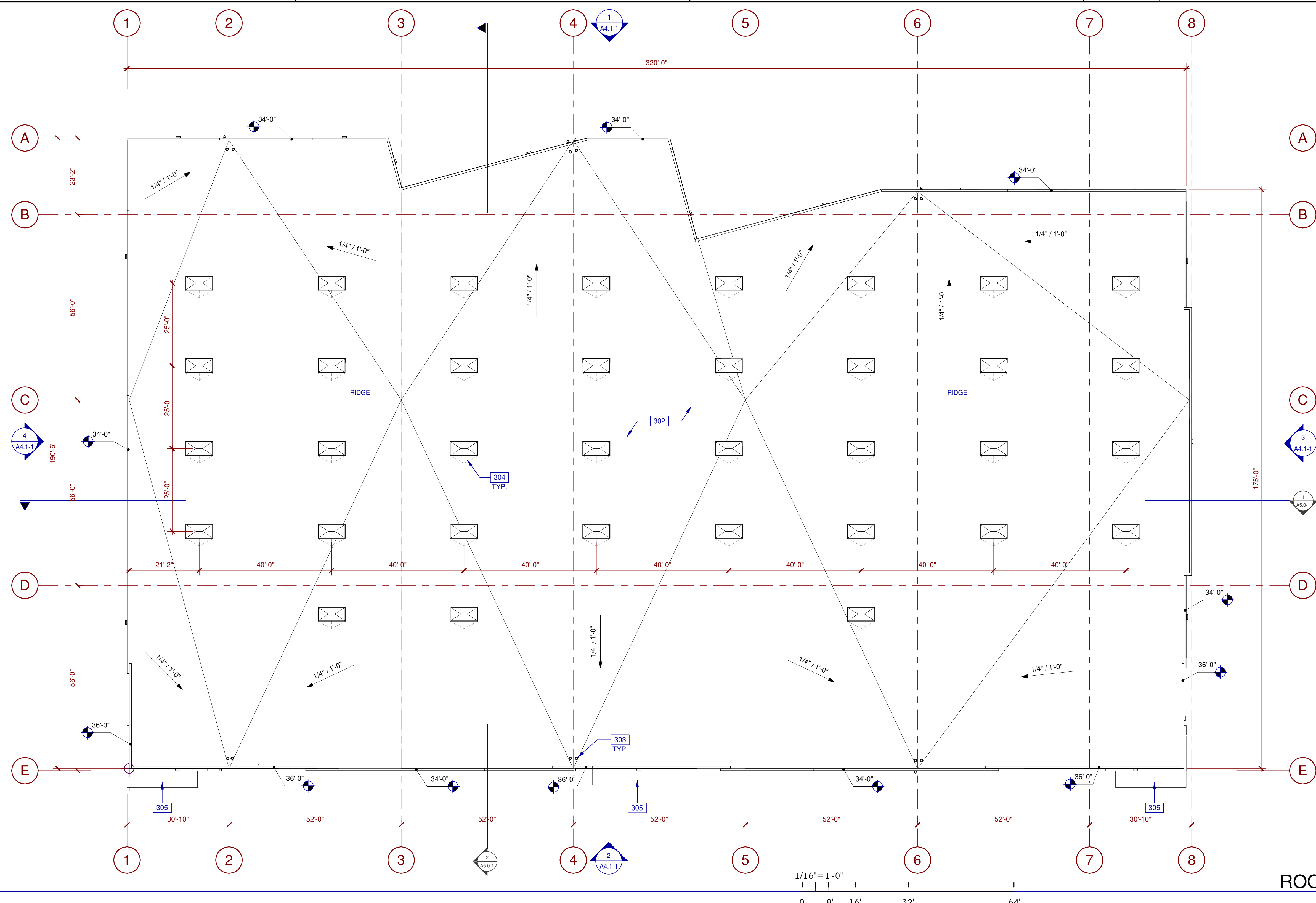
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BUILDING 1 - SECOND FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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A2.2-1



ROOF PLAN 1 N
SCALE: 1/16" = 1'-0"

LEGEND

- SKYLIGHT: (2%)
COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

ABBREVIATIONS

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

CALCULATIONS

SKYLIGHTS:
SKYLIGHT SIZE: 48"x96"=32 S.F.
WAREHOUSE AREA S.F. x 2.0% = $\frac{56,160 \times .02}{32}$
DESIRED: 35 SKYLIGHTS
PROVIDED: 35 SKYLIGHTS

FUTURE SOLAR:

ROOF AREA:	55,474	S.F.
SKYLIGHT AREA:	1,120	S.F.
ROOF AREA LESS SKYLIGHT:	54,354	S.F.

15% OF ROOF AREA (LESS SKYLIGHTS): 8,153 S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED: 8,153 S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED: 8,153 S.F.

*CEC SECTION 110.10(B) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 302 BUILT-UP ROOFING.
 - 303 ROOF DRAIN AND OVERFLOW DRAIN LOCATION.
 - 304 CRICKET.
 - 305 SHADE CANOPY, TYP.

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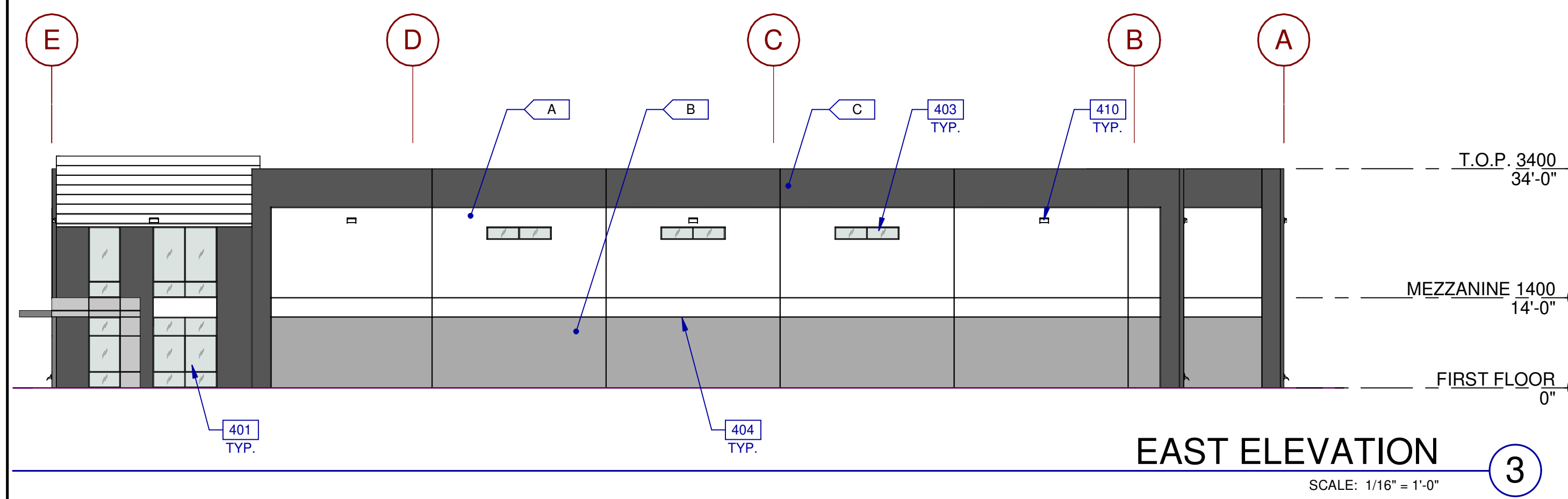
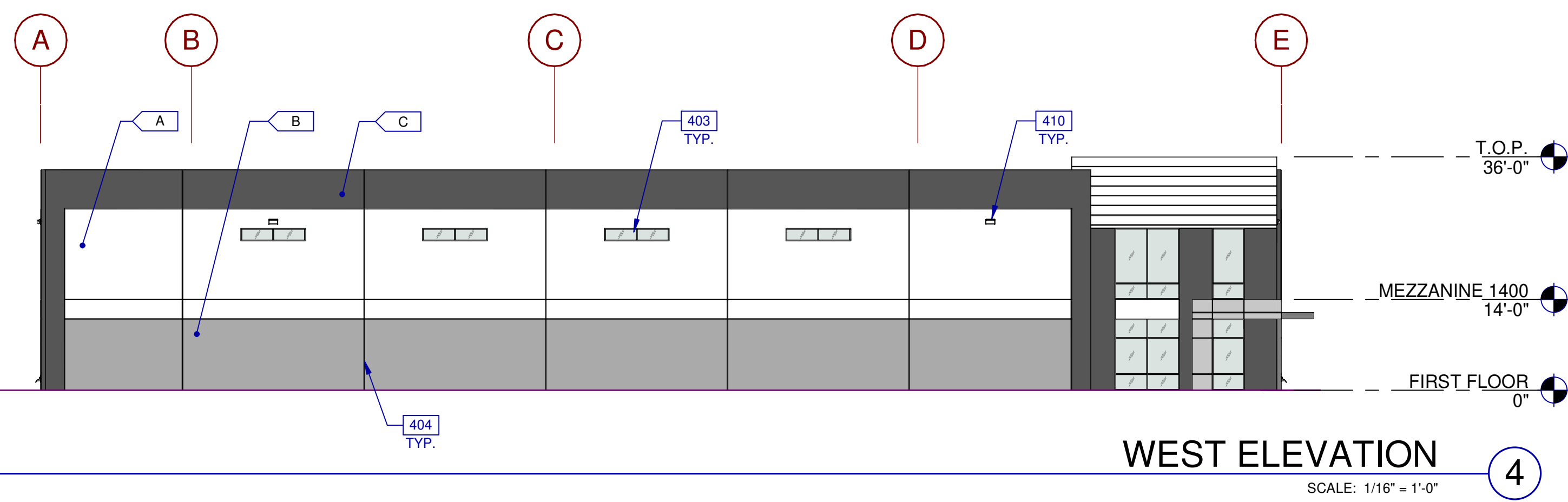
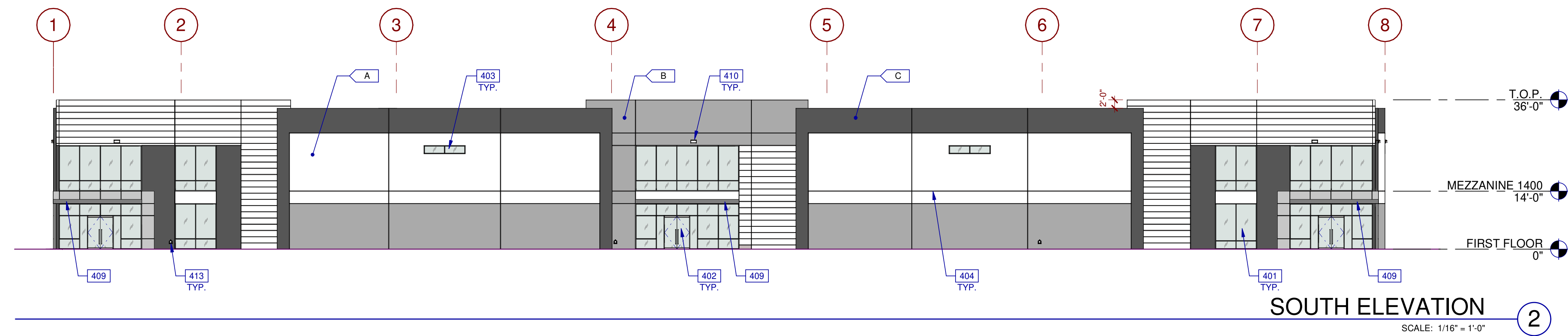
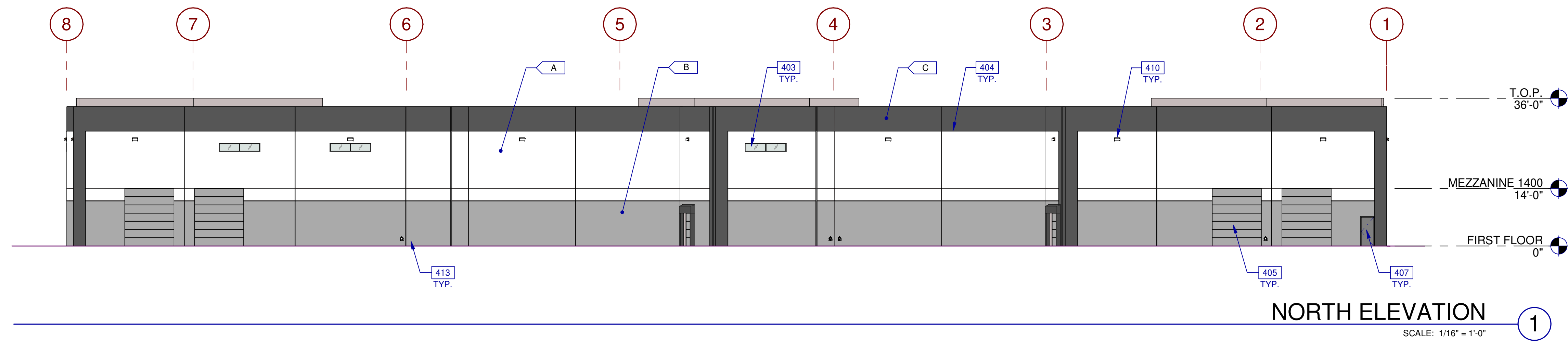
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BUILDING 1 - ROOF PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
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03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

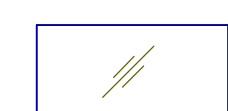
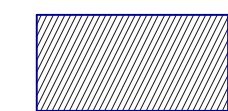

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A3.1-1



LEGEND

GLASS:

-  VISION GLASS
-  SPANDREL GLASS
-  TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 XXXXXX
 U FACTOR = 0.28 AND SHGC = 0.28
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT


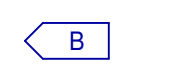


LEGEND

MATERIALS:

-  EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
-  EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER METAL STUD WALL
-  METAL CANOPY, PAINTED

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

-  A WHITE
-  B MEDIUM GRAY
-  C DARK CHARCOAL
-  D ACCENT COLOR: XXX

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 401 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
- 402 ALUMINUM STOREFRONT DOOR.
- 403 ALUMINUM FRAMED CLERESTORY WINDOW WITH 1" THICK INSULATED GLASS, COLOR TBD.
- 404 V-SHAPED REVEAL.
- 405 14' X 12' SECTIONAL DOOR, PAINTED.
- 407 HOLLOW METAL DOOR.
- 409 SHADE CANOPY PER STRUCTURAL.
- 410 WALL PACK LIGHT. SEE ELECTRICAL DRAWINGS FOR SPECIFICATION.
- 413 SECONDARY OVERFLOW WITH COW'S TONGUE.

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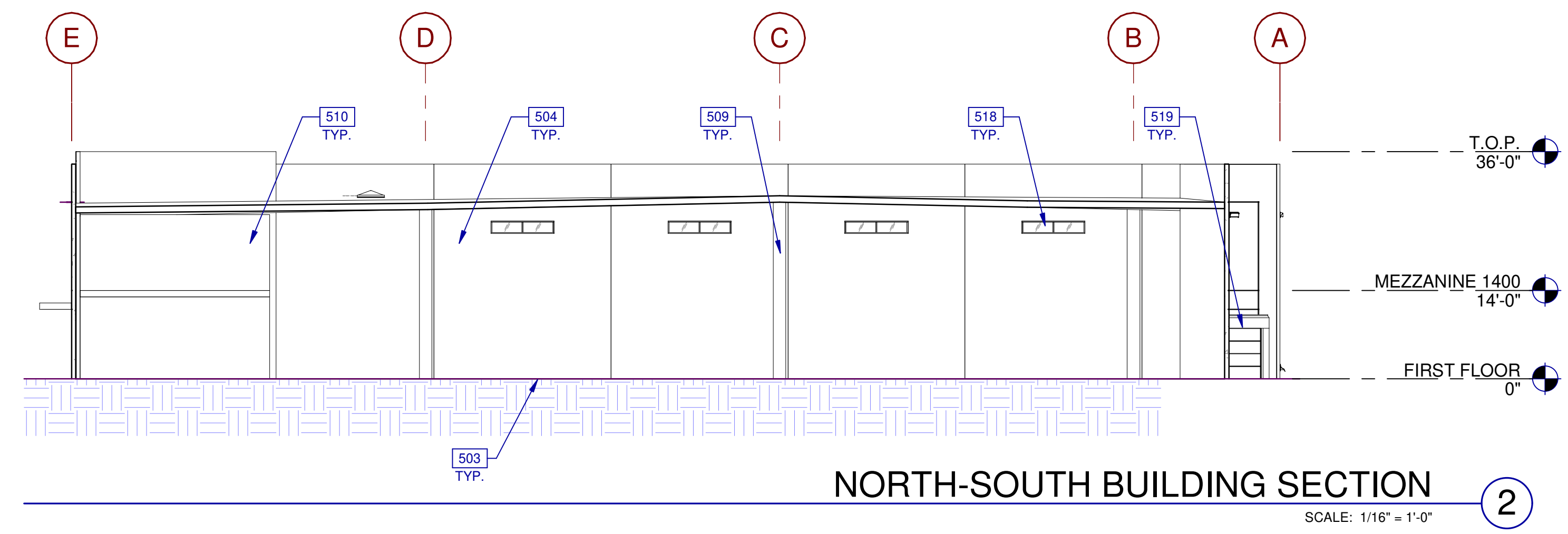
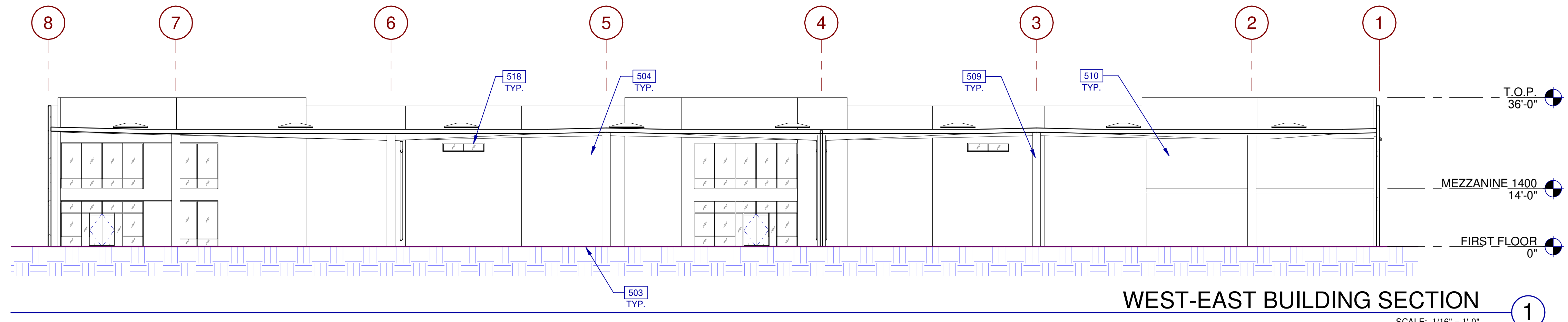
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A4.1-1



- KEYNOTES:**
- 503 CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 504 CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 509 STRUCTURAL COLUMN BEYOND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 510 WALL BEYOND.
 - 518 ALUMINUM FRAMED CLERESTORY WINDOW WITH 1" THICK INSULATED GLASS, COLOR TBD.
 - 519 SECTIONAL GRADE DOOR, PAINTED. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

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BUILDING 1 - BUILDING SECTIONS	
DATE	REMARKS
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12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
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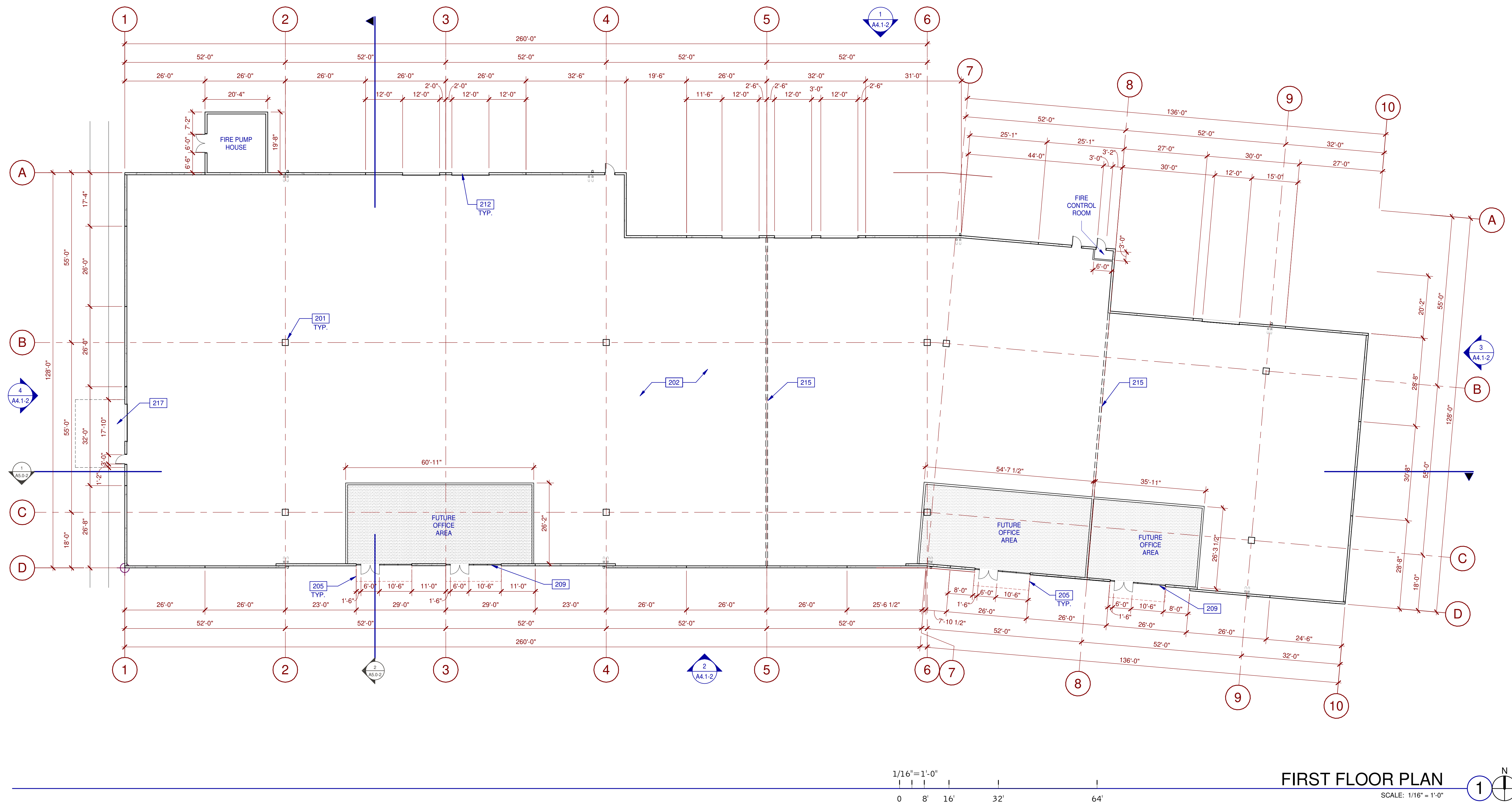
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BUILDING 1 - PERSPECTIVE		REMARKS
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2	12/16/2021	DESIGN REVIEW RE-SUBMITTAL
3	03/11/2022	DESIGN REVIEW RE-SUBMITTAL
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FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEGEND

	PROPOSED FUTURE OFFICE AREA
--	-----------------------------

WALL LEGEND

	CONCRETE WALL
	1HR FIRE-RESISTANCE RATED
	INTERIOR NON-RATED PARTITION

KEYNOTES:

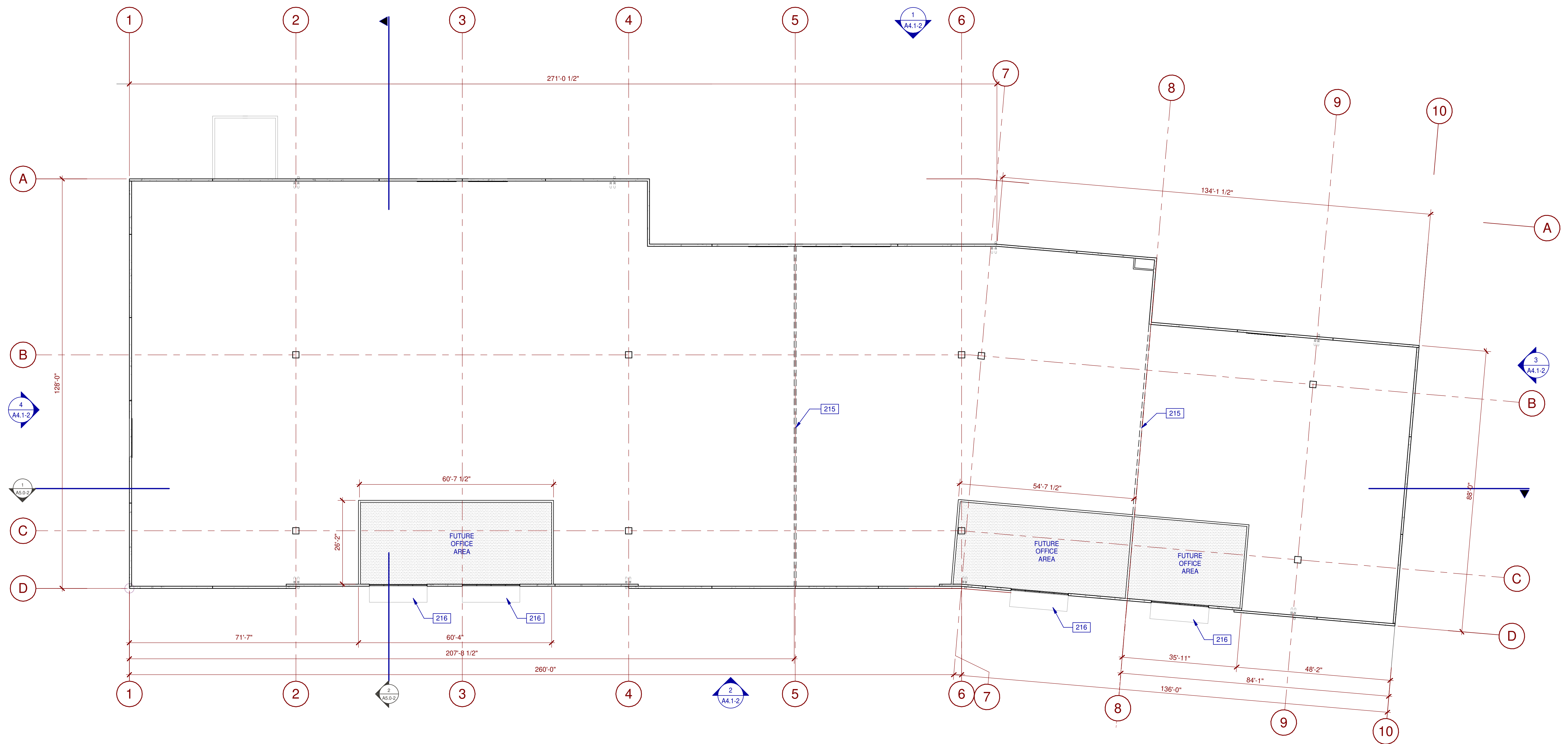
SEE SHEET A0.2 FOR GENERAL NOTES

201	STRUCTURAL COLUMN, TYP.
202	CONCRETE SLAB PER STRUCTURAL.
205	CANOPY LINE ABOVE, CALCULATIONS & ANCHORAGE PER STRUCTURAL.
209	ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
212	14' x 12' SECTIONAL DOOR.
215	FUTURE DEMISING WALL.
217	LOADING PLATFORM WITH DOCK LEVELER & LADDER.

BUILDING 2 - FIRST FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
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1/16" = 1'-0"
 0 8' 16' 32' 64'
SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

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BUILDING 2 - SECOND FLOOR PLAN

DATE	REMARKS
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03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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PROPOSED FUTURE OFFICE AREA

WALL LEGEND

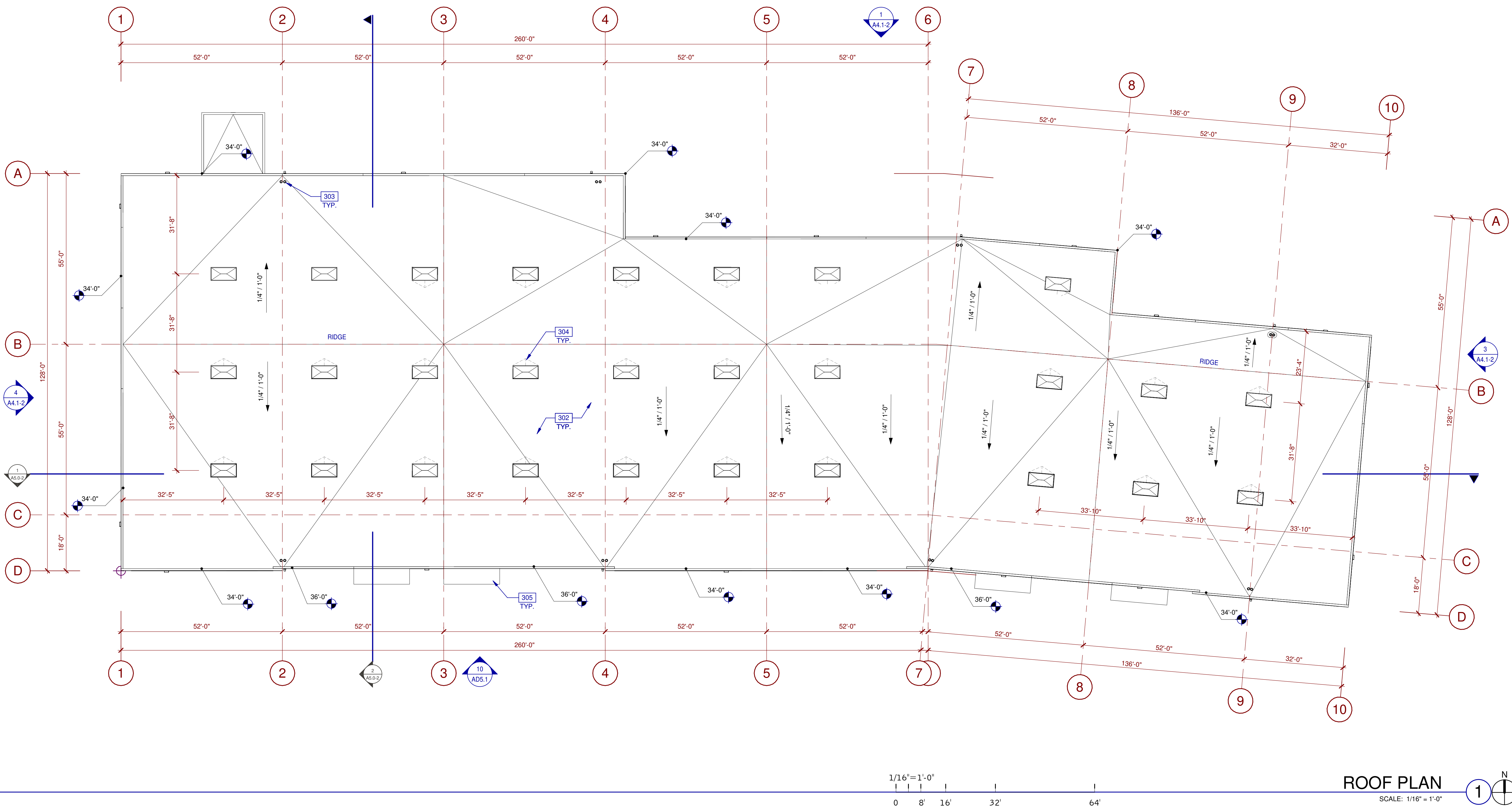
- CONCRETE WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 215 FUTURE DEMISING WALL.
- 216 SHADE CANOPY.

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BUILDING 2 - ROOF PLAN

DATE	REMARKS
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LEGEND

SKYLIGHT: (2%)
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

ABBREVIATIONS

T.O.P. = TOP OF PARAPET
 H.P. = TOP OF ROOFING - HIGH POINT
 M.P. = TOP OF ROOFING - MID POINT
 L.P. = TOP OF ROOFING - LOW POINT

CALCULATIONS

SKYLIGHTS:
 SKYLIGHT SIZE: 48"x96"=32 S.F.
 (WAREHOUSE AREA S.F.) x 2.0% = 40,358 S.F. x .02
 (SKYLIGHT SIZE) 32

DESIRED: 26 SKYLIGHTS
 PROVIDED: 28 SKYLIGHTS

FUTURE SOLAR:

ROOF AREA:	43,825	S.F.
SKYLIGHT AREA:	896	S.F.
ROOF AREA LESS SKYLIGHT:	42,929	S.F.

15% OF ROOF AREA (LESS SKYLIGHTS): 6,439 S.F.
 TOTAL AREA FOR FUTURE SOLAR REQUIRED: 6,439 S.F.*
 TOTAL AREA FOR FUTURE SOLAR PROVIDED: XXX,XXX S.F.

*CEG SECTION 110.10(B) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

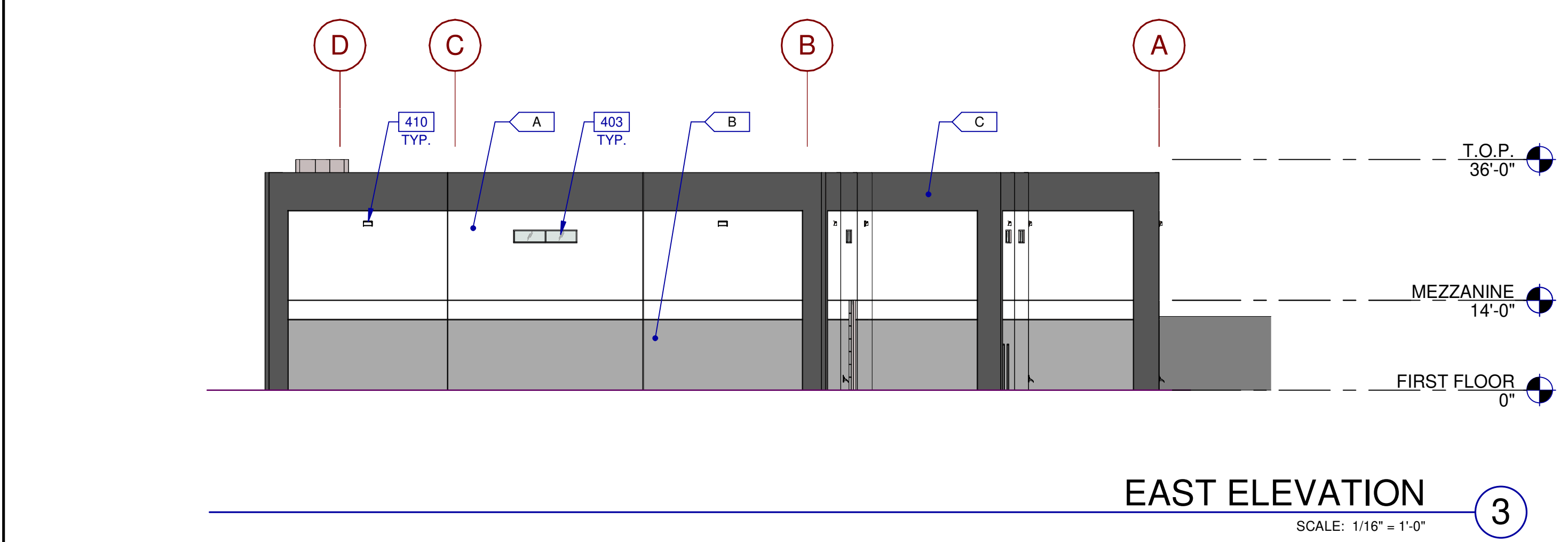
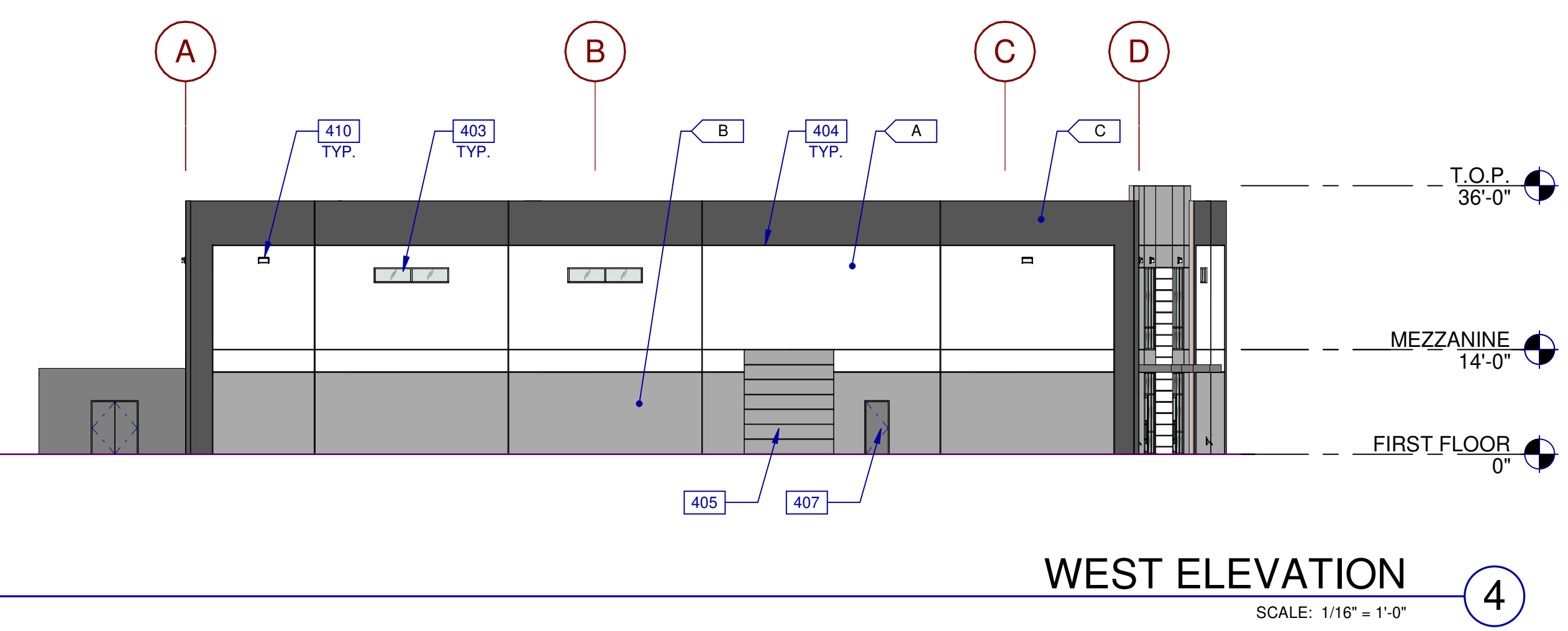
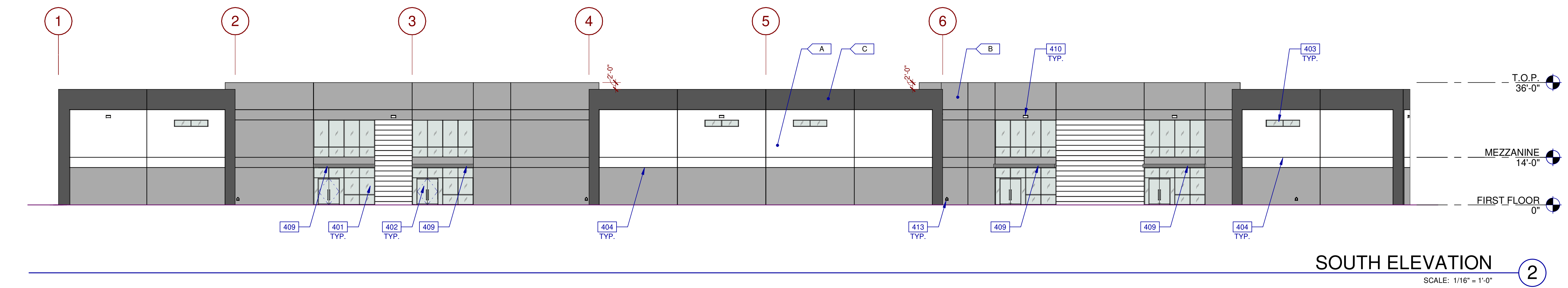
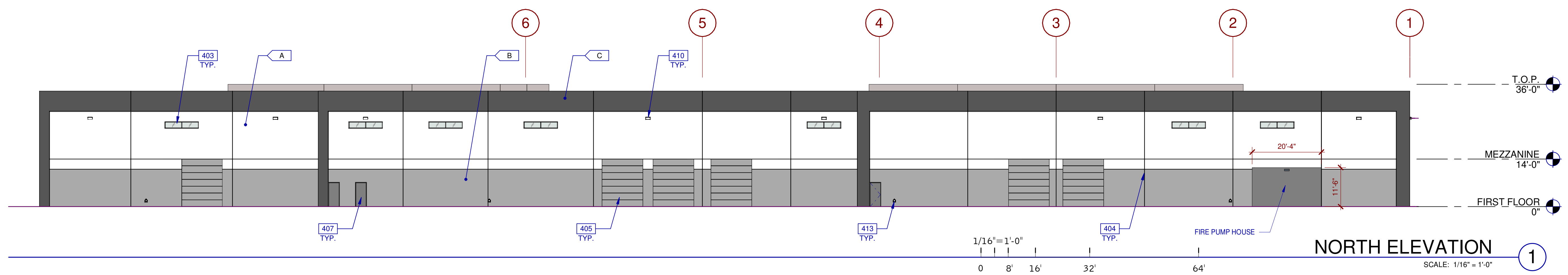
KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

302 BUILT-UP ROOFING.
 303 ROOF DRAIN AND OVERFLOW DRAIN LOCATION.
 304 CRICKET.
 305 SHADE CANOPY, TYP.

BUILDING 2 - EXTERIOR ELEVATIONS		REMARKS
1	09/20/2021	DESIGN REVIEW SUBMITTAL
2	12/16/2021	DESIGN REVIEW RE-SUBMITTAL
3	03/11/2022	DESIGN REVIEW RE-SUBMITTAL
4	05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

LEGEND

MATERIALS:

	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER METAL STUD WALL
	METAL CANOPY, PAINTED

COLORS:

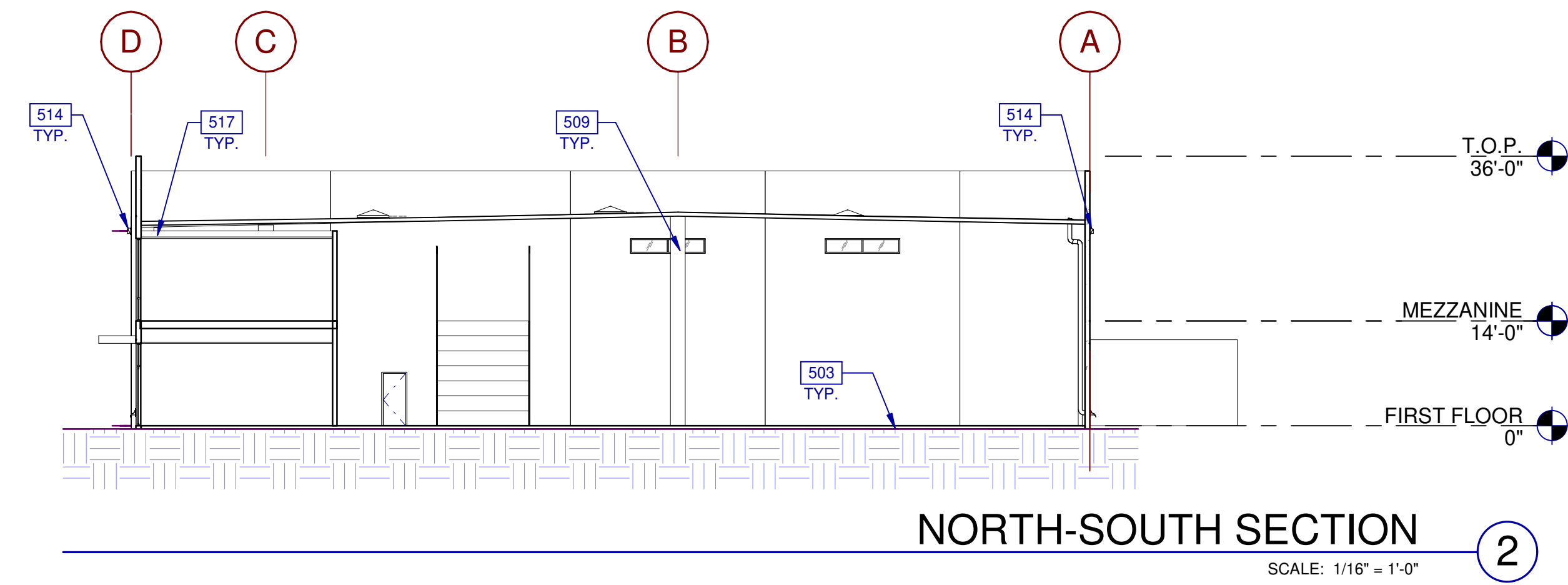
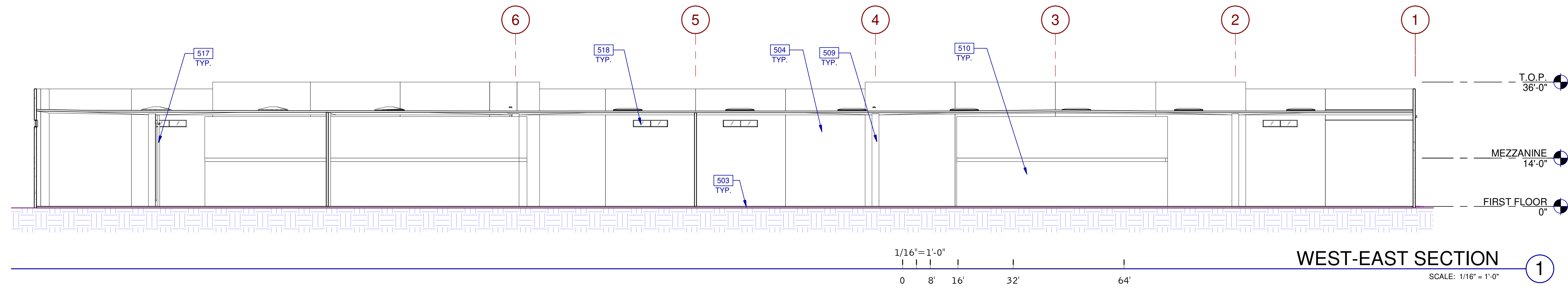
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

	WHITE
	MEDIUM GRAY
	DARK CHARCOAL
	ACCENT COLOR: XXX

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

401	ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
402	ALUMINUM STOREFRONT DOOR.
403	ALUMINUM FRAMED CLERESTORY WINDOW WITH 1" THICK INSULATED GLASS, COLOR TBD.
404	V-SHAPED REVEAL.
405	14' X 12' SECTIONAL DOOR, PAINTED.
407	HOLLOW METAL DOOR.
409	SHADE CANOPY PER STRUCTURAL.
410	WALL PACK LIGHT. SEE ELECTRICAL DRAWINGS FOR SPECIFICATION.
413	SECONDARY OVERFLOW WITH COW'S TONGUE.



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**BUILDING 2 - BUILDING
SECTIONS**

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0055-00

SHEET
A5.0-2

LEGEND

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 503 CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 504 CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 509 STRUCTURAL COLUMN BEYOND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 510 WALL BEYOND.
 - 514 WALL PACK LIGHT. SEE ELECTRICAL DRAWINGS FOR SPECIFICATION.
 - 517 ROOF DRAIN. SEE ROOF PLANS AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - 518 ALUMINUM FRAMED CLERESTORY WINDOW WITH 1" THICK INSULATED GLASS. COLOR TBD.



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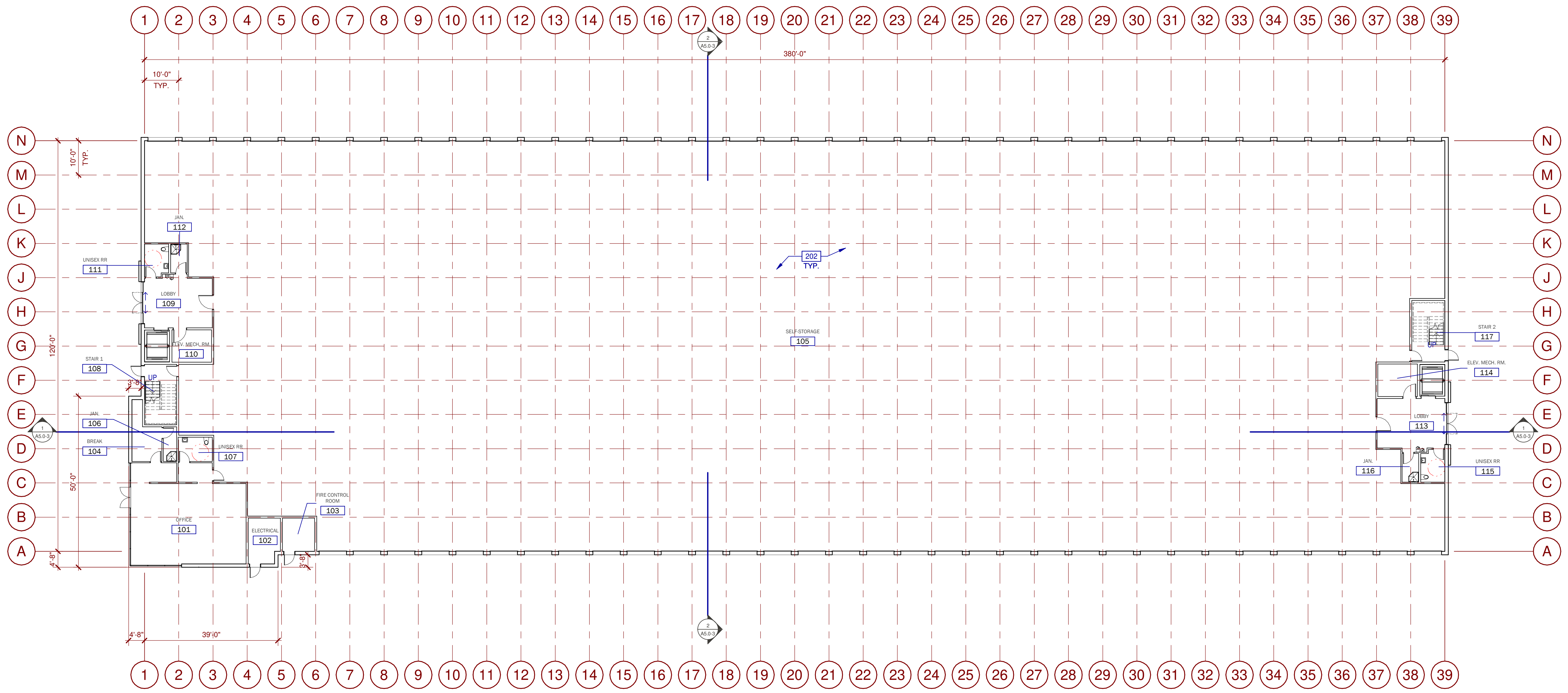
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BUILDING 2 - PERSPECTIVE		REMARKS
1	09/20/2021	DESIGN REVIEW SUBMITTAL
2	12/16/2021	DESIGN REVIEW RE-SUBMITTAL
3	03/11/2022	DESIGN REVIEW RE-SUBMITTAL
4	05/10/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM: Approver
 DRAWN BY.: Author
 JOB NO.: SDG21-0055-00

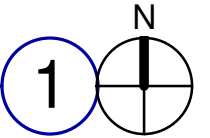
SHEET
A9.0-2



1/16"=1'-0"
0 8' 16' 32' 64'

FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



LEGEND

WALL LEGEND

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES
202 CONCRETE SLAB PER STRUCTURAL

BUILDING 3 - FIRST FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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DRAWN BY.:	LTV
JOB NO.:	SDG21-0055-00

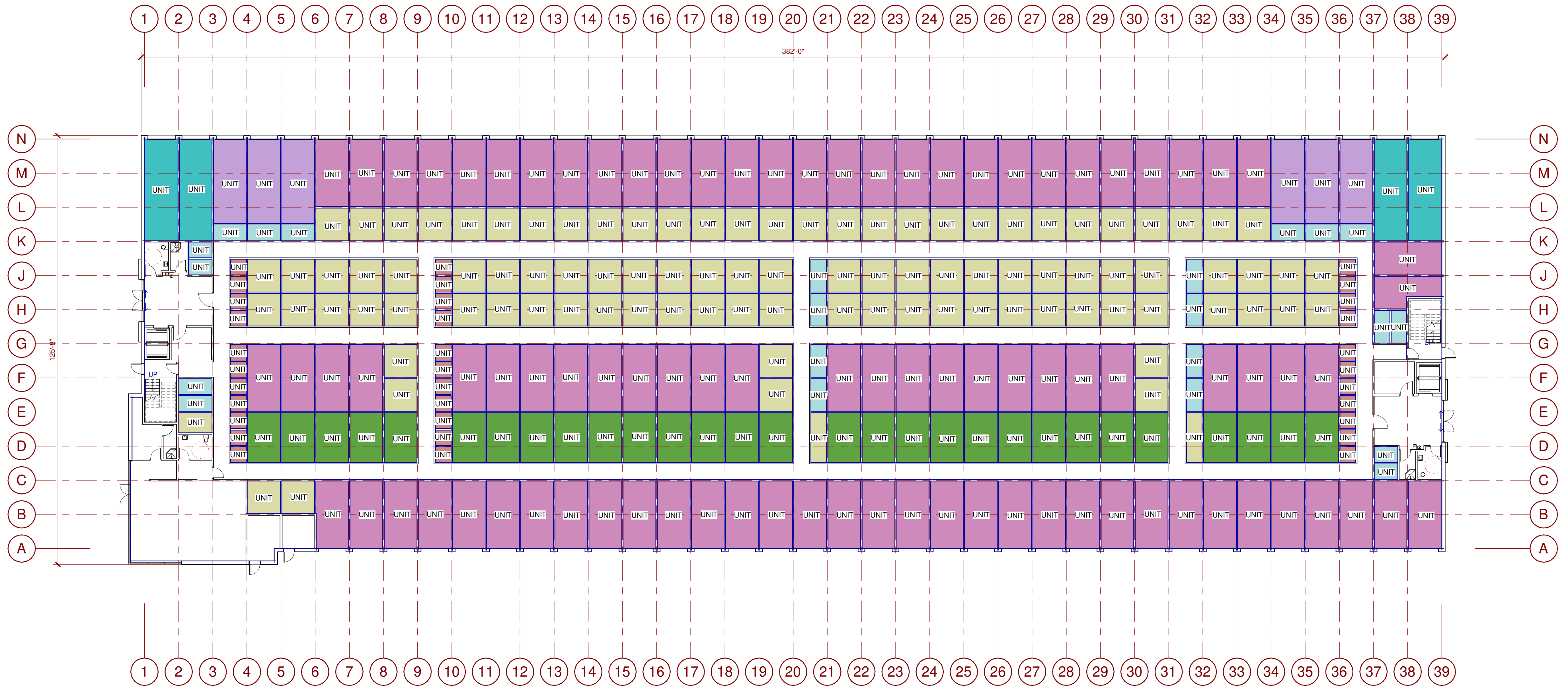
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1/16" = 1'-0"
0 8' 16' 32' 64'

FIRST FLOOR - UNIT MIX PLAN

SCALE: 1/16" = 1'-0"

25 SF Units	50 SF Units	100 SF Units	150 SF Units	200 SF Units	250 SF Units	300 SF Units
01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR
33	22	97	29	89	6	4
02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	Grand total:	Grand total:
82	141	86	26	71	6	4
03 Third Floor	03 Third Floor	03 Third Floor	03 Third Floor	03 Third Floor		
80	202	54	26	71		
Grand total:	Grand total:	Grand total:	Grand total:	Grand total:		
195	365	237	81	231		

GRAND TOTAL OF UNITS: 1,119

UNIT MIX LEGEND

- 5X5 UNIT
- 5X10 UNIT
- 10X10 UNIT
- 10X15 UNIT
- 10X20 UNIT
- 10X25 UNIT
- 10X30 UNIT

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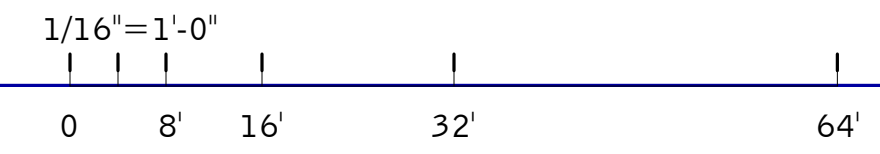
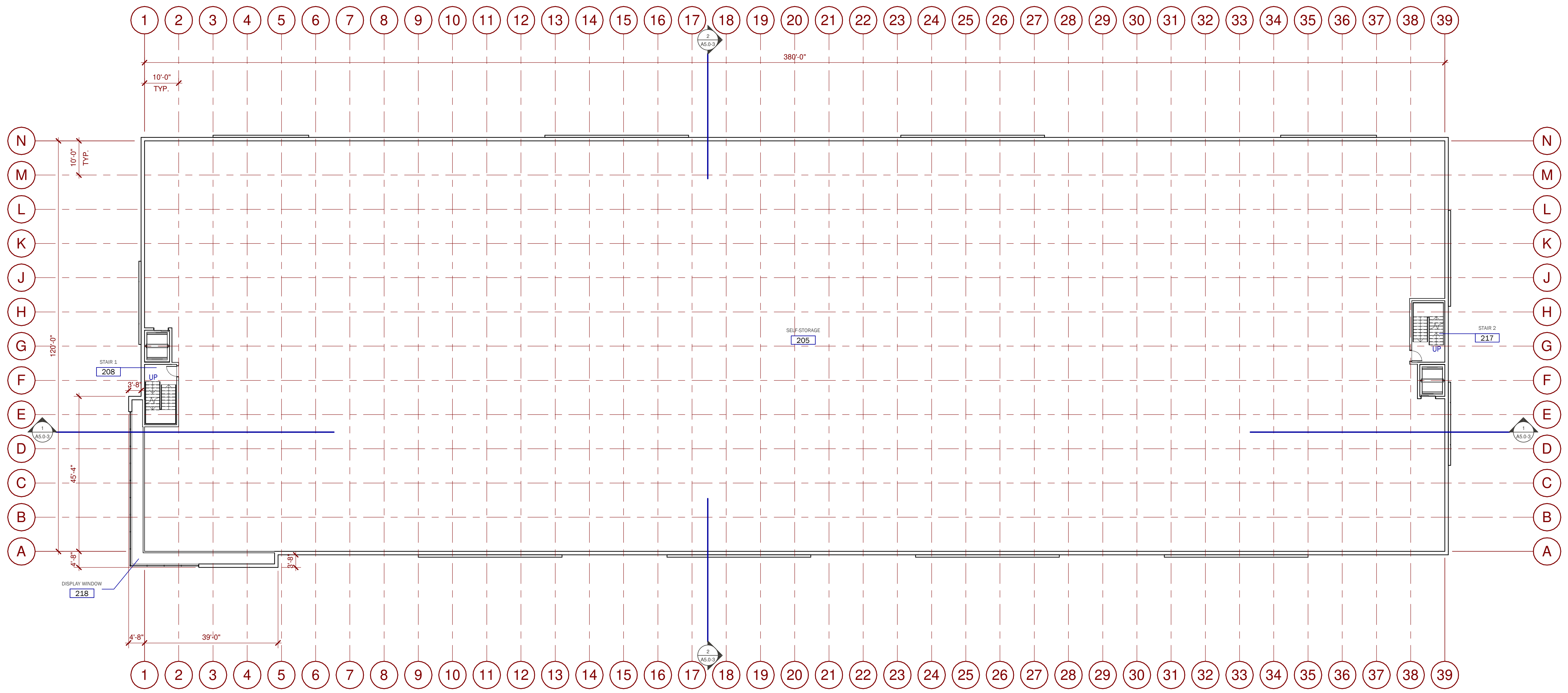
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BUILDING 3 - FIRST FLOOR UNIT MIX PLAN

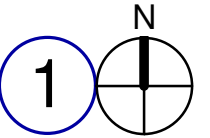
DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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A2.2-3



SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



LEGEND

WALL LEGEND

KEYNOTES: SEE SHEET A0.2 FOR GENERAL NOTES

BUILDING 3 - SECOND FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0055-00

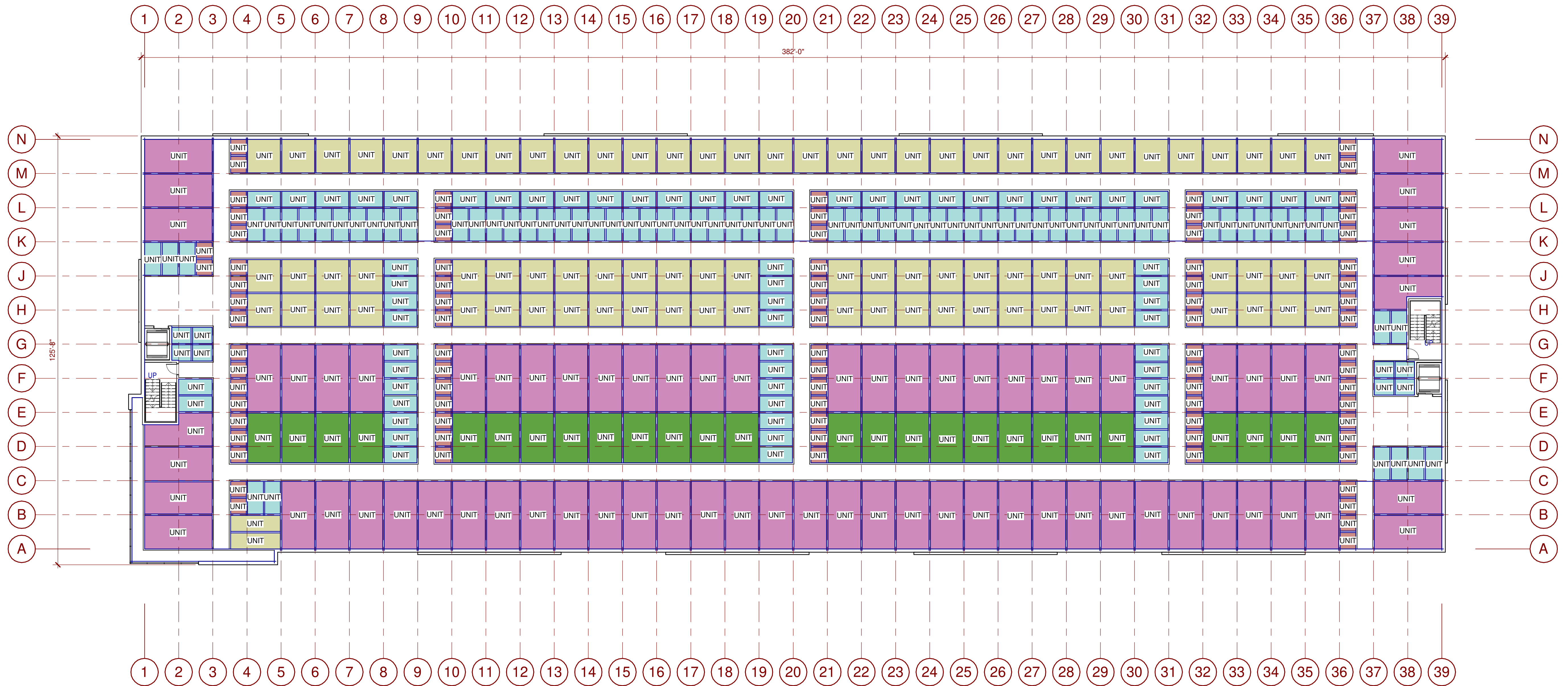
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1/16" = 1'-0"
0 8' 16' 32' 64'

SECOND FLOOR - UNIT MIX PLAN

SCALE: 1/16" = 1'-0"

25 SF Units	50 SF Units	100 SF Units	150 SF Units	200 SF Units	250 SF Units	300 SF Units
01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR
33	22	97	29	89	6	4
02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	Grand total:	Grand total:
82	141	86	26	71	6	4
03 Third Floor	03 Third Floor	03 Third Floor	03 Third Floor	03 Third Floor		
80	202	54	26	71		
Grand total:	Grand total:	Grand total:	Grand total:	Grand total:		
195	365	237	81	231		

GRAND TOTAL OF UNITS: 1,119

UNIT MIX LEGEND

- 5X5 UNIT
- 5X10 UNIT
- 10X10 UNIT
- 10X15 UNIT
- 10X20 UNIT
- 10X25 UNIT
- 10X30 UNIT

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BUILDING 3 - SECOND FLOOR UNIT MIX PLAN

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03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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JOB NO.:	SDG21-0055-00

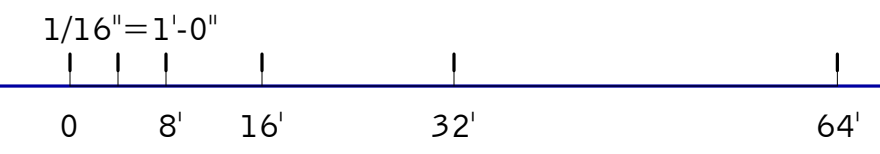
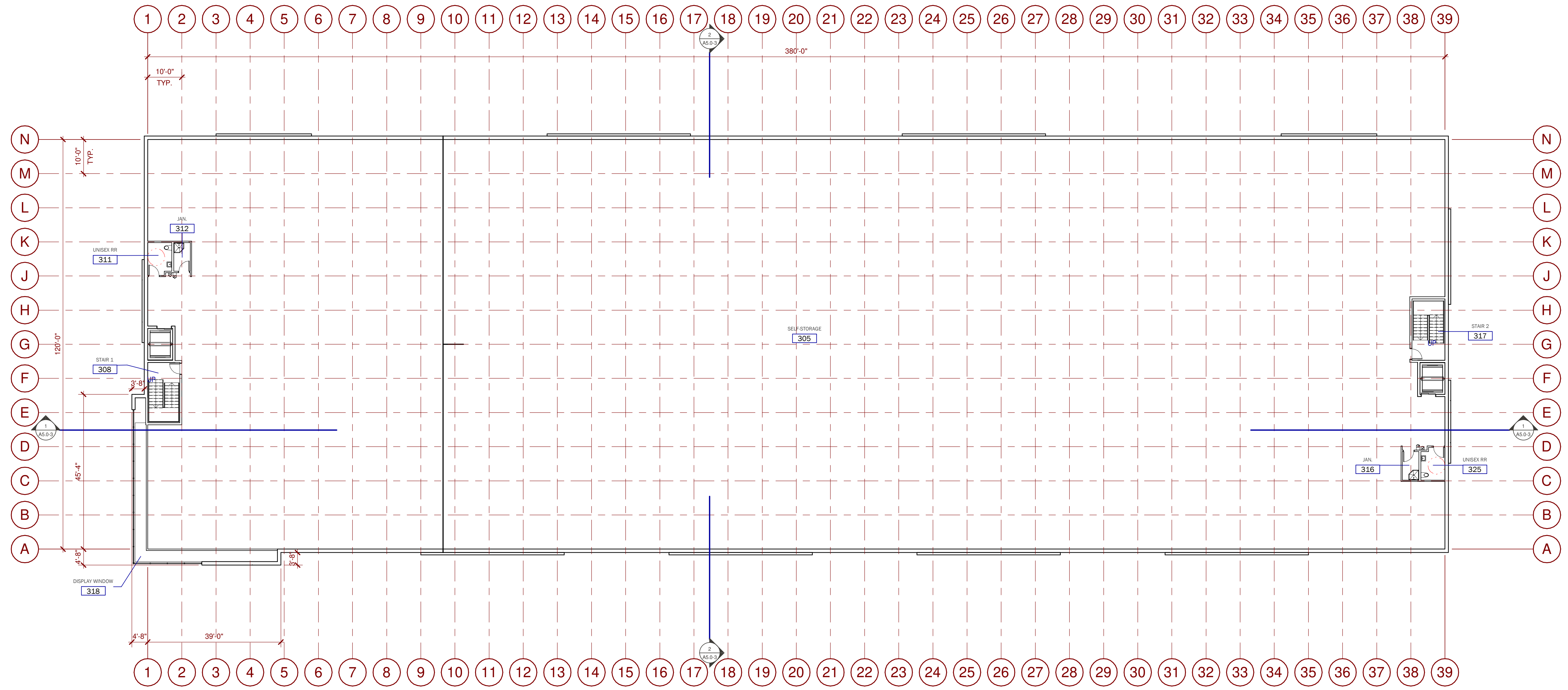
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THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0" 1 N

LEGEND

WALL LEGEND

KEYNOTES: SEE SHEET A0.2 FOR GENERAL NOTES

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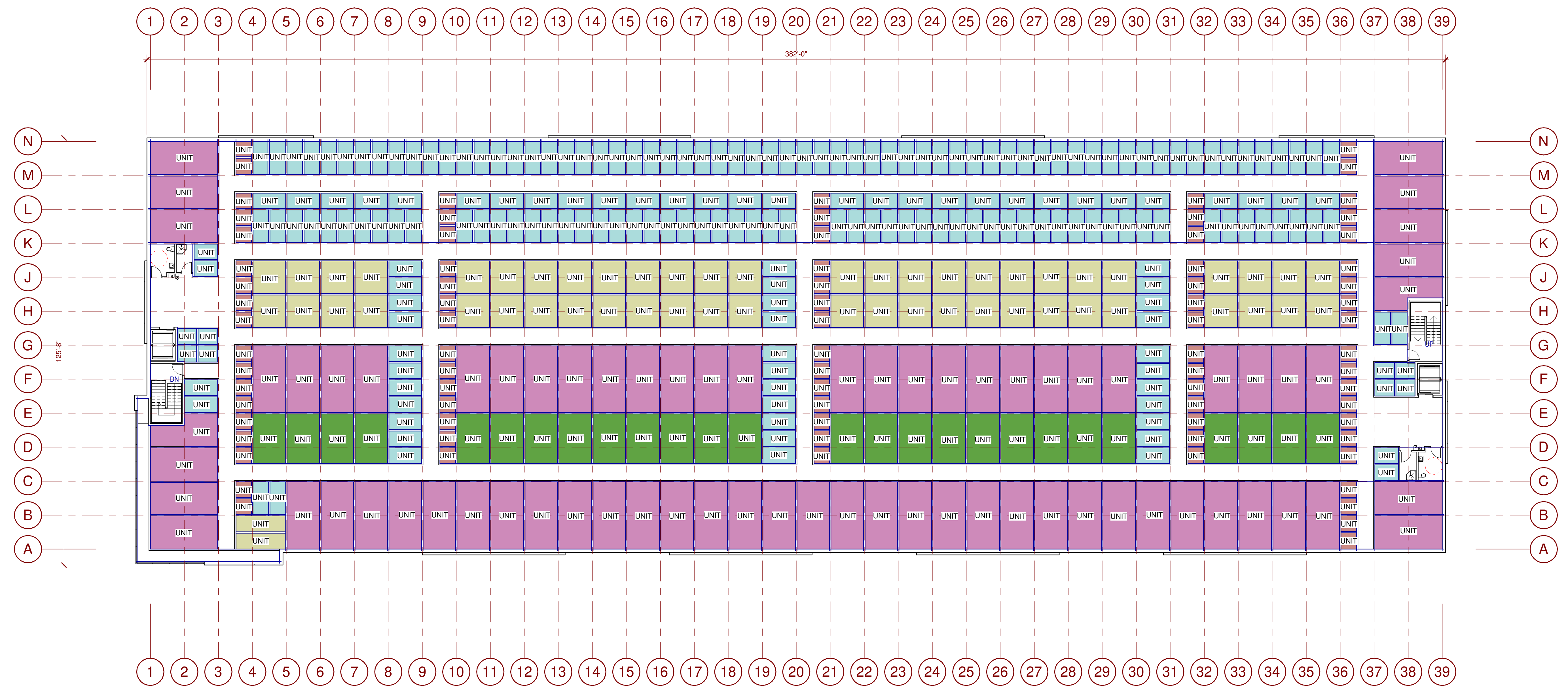
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BUILDING 3 - THIRD FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
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03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM:	Approver
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JOB NO.:	SDG21-0055-00

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A2.5-3



1/16" = 1'-0"
0 8' 16' 32' 64'

THIRD FLOOR - UNIT MIX PLAN

SCALE: 1/16" = 1'-0"

25 SF Units	50 SF Units	100 SF Units	150 SF Units	200 SF Units	250 SF Units	300 SF Units
01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR	01 FIRST FLOOR
33	22	97	29	89	6	4
02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	02 SECOND FLOOR	Grand total:	Grand total:
82	141	86	26	71	6	4
03 Third Floor	03 Third Floor	03 Third Floor	03 Third Floor	03 Third Floor		
80	202	54	26	71		
Grand total:	Grand total:	Grand total:	Grand total:	Grand total:		
195	365	237	81	231		

GRAND TOTAL OF UNITS: 1,119

UNIT MIX LEGEND

- 5X5 UNIT
- 5X10 UNIT
- 10X10 UNIT
- 10X15 UNIT
- 10X20 UNIT
- 10X25 UNIT
- 10X30 UNIT

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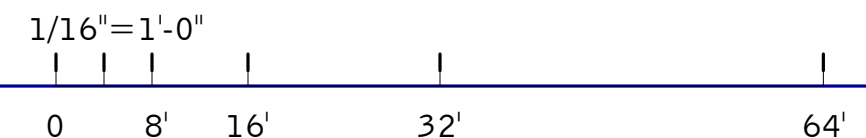
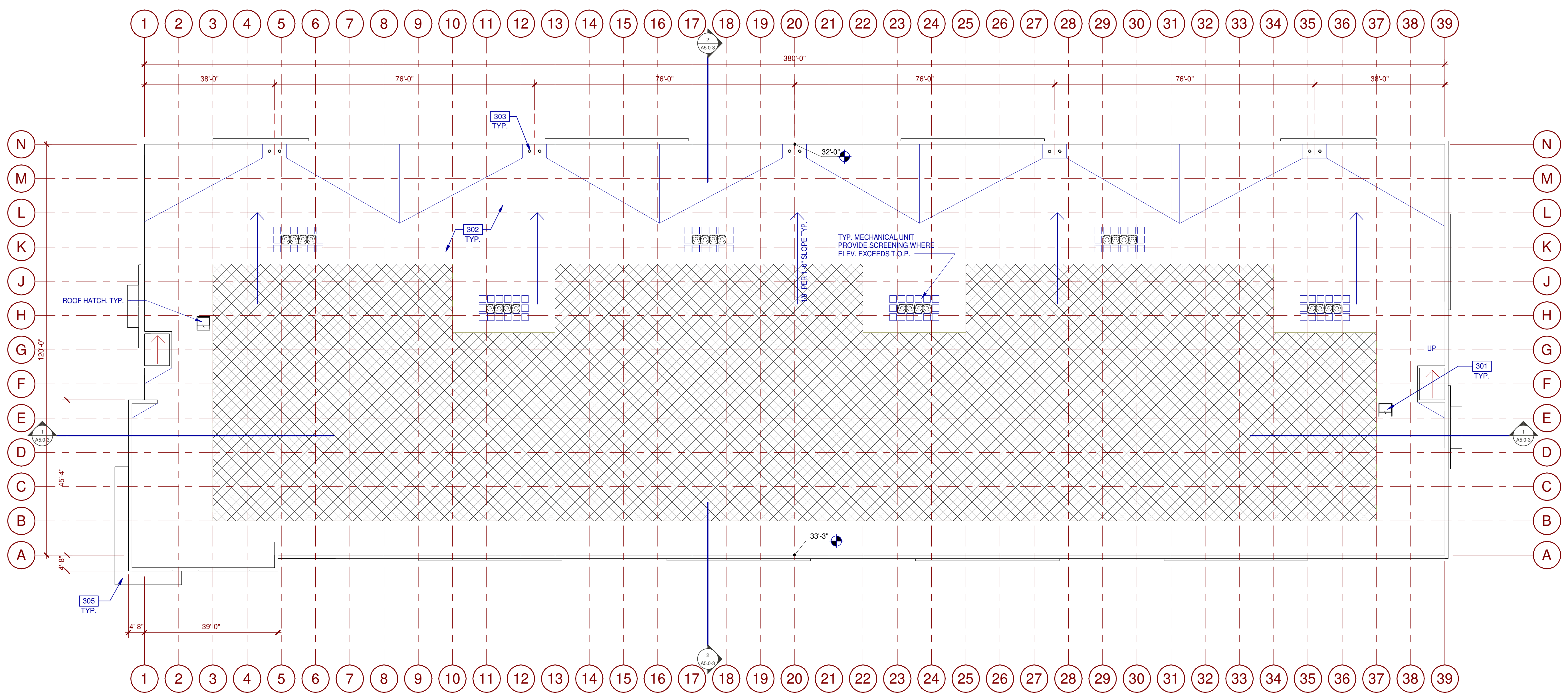
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BUILDING 3 - THIRD FLOOR UNIT MIX PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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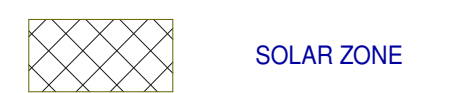


ROOF PLAN
SCALE: 1/16" = 1'-0"

ABBREVIATIONS

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

SOLAR ZONE



FUTURE SOLAR:

ROOF AREA:	45,897 S.F.
SKYLIGHT AREA:	0 S.F.
ROOF AREA LESS SKYLIGHT:	45,897 S.F.
15% OF ROOF AREA (LESS SKYLIGHTS):	6,885 S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED:	6,885 S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED:	23,700 S.F.

* CEC SECTION 110.10(B)(4) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

KEYNOTES:

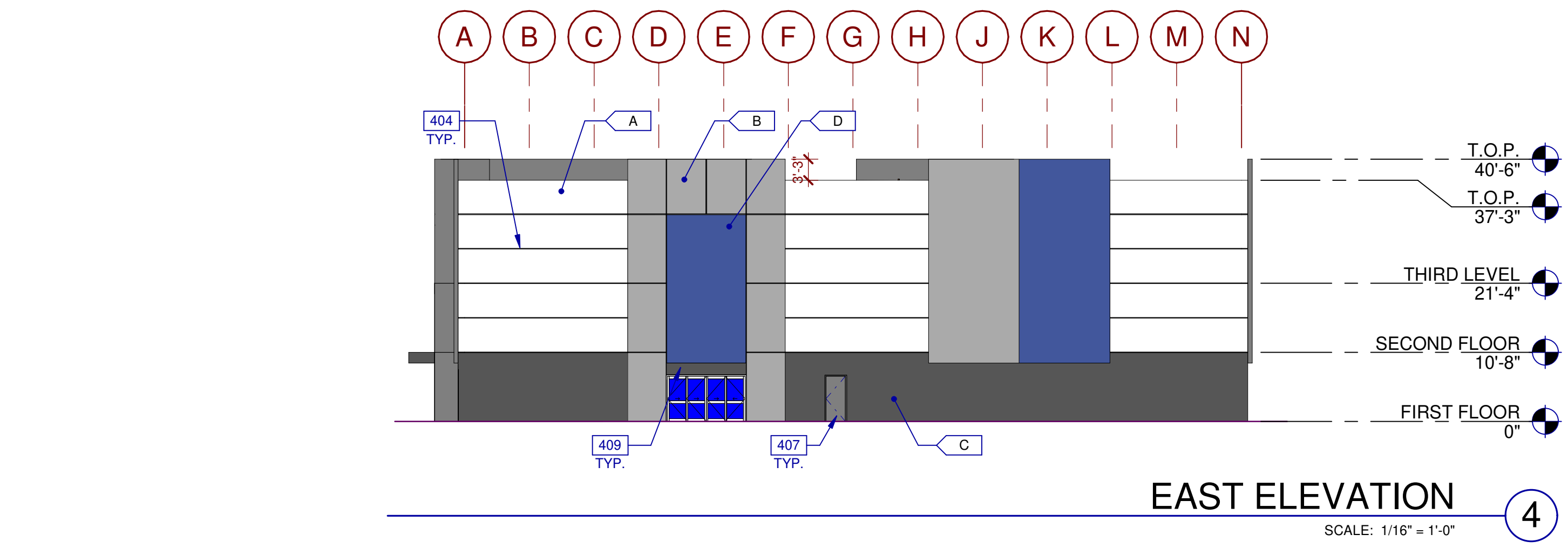
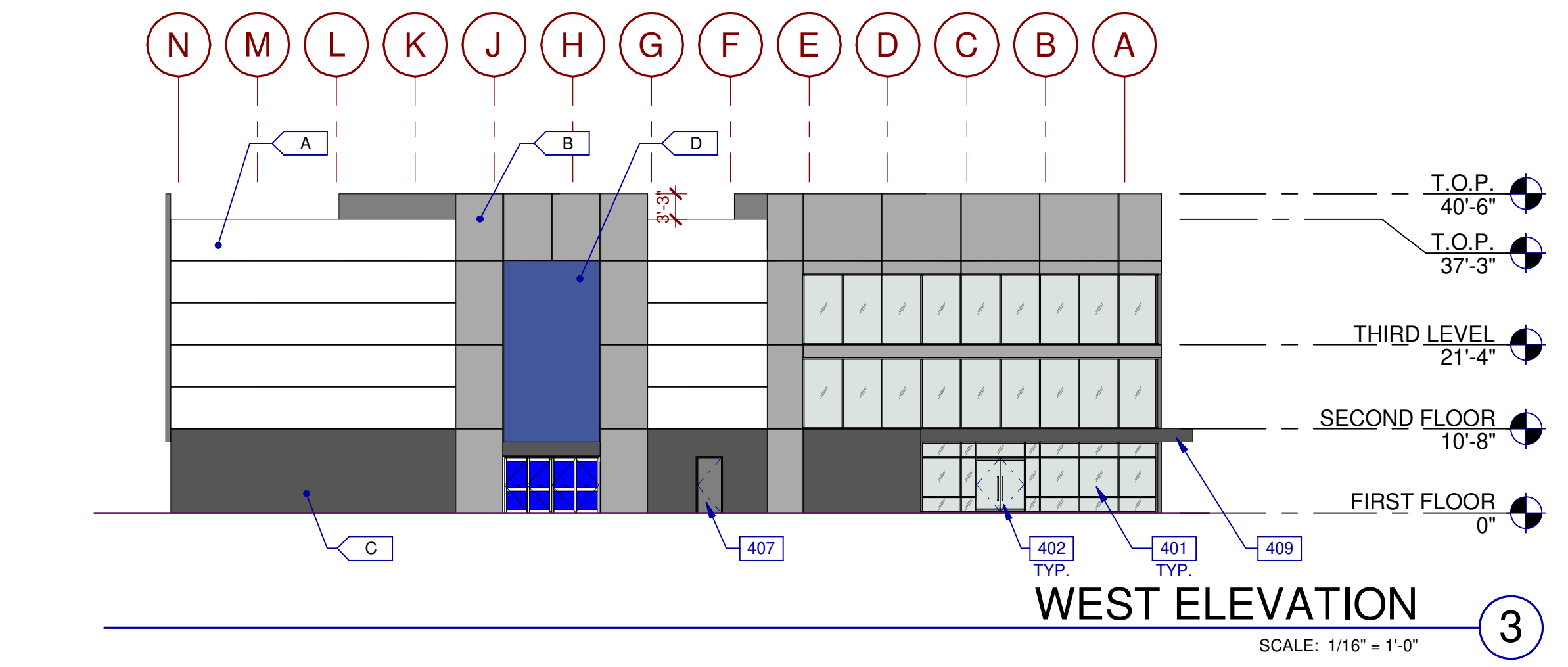
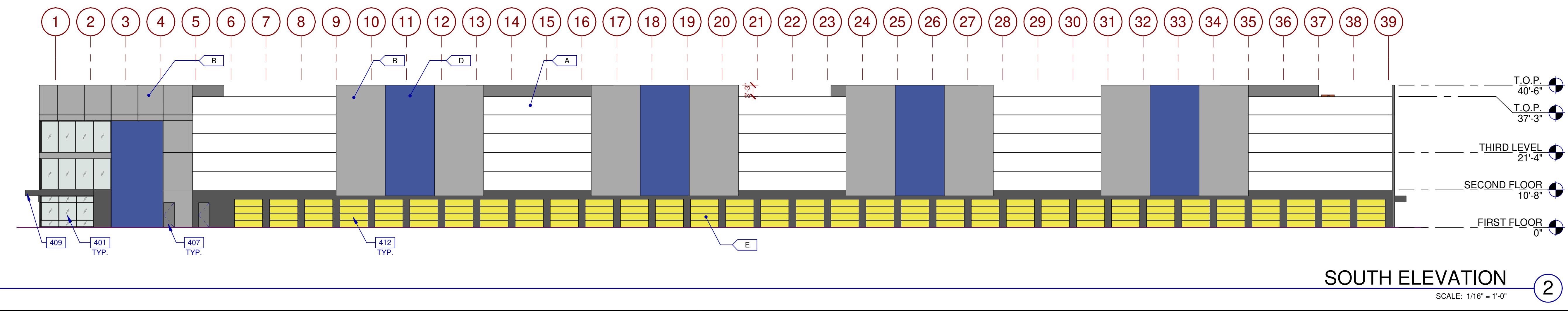
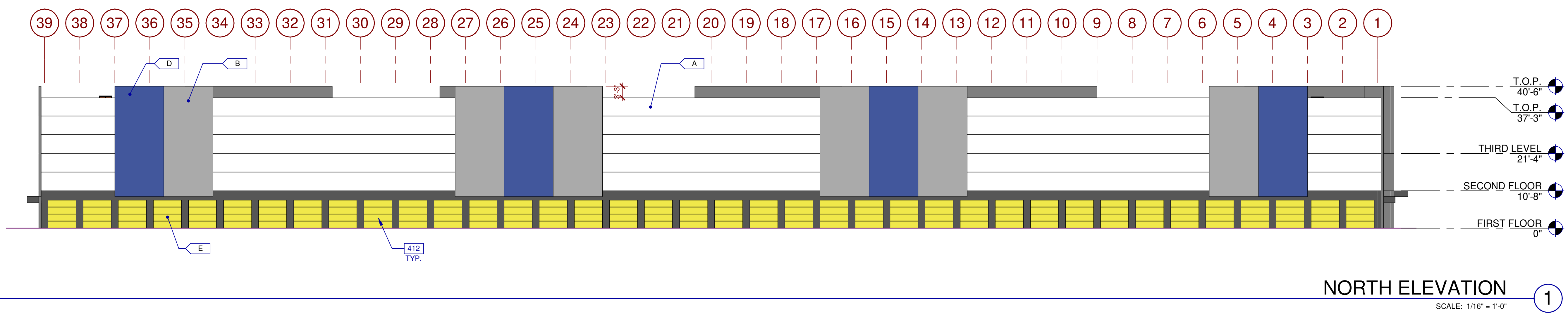
- SEE SHEET A0.2 FOR GENERAL NOTES
- 301 ROOF ACCESS PANEL, VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
 - 302 BUILT-UP ROOFING.
 - 303 ROOF DRAIN AND OVERFLOW DRAIN LOCATION.
 - 305 SHADE CANOPY, TYP.

BUILDING 3 - ROOF PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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A3.1-3



LEGEND

GLASS:

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

LEGEND

MATERIALS:

	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER METAL STUD WALL
	METAL CANOPY, PAINTED

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

	WHITE
	MEDIUM GRAY
	DARK CHARCOAL
	BLUE
	YELLOW

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

401	ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
402	ALUMINUM STOREFRONT DOOR.
404	V-SHAPED REVEAL.
407	HOLLOW METAL DOOR.
409	SHADE CANOPY PER STRUCTURAL.
412	8' X 8' SECTIONAL DOOR, PAINTED.

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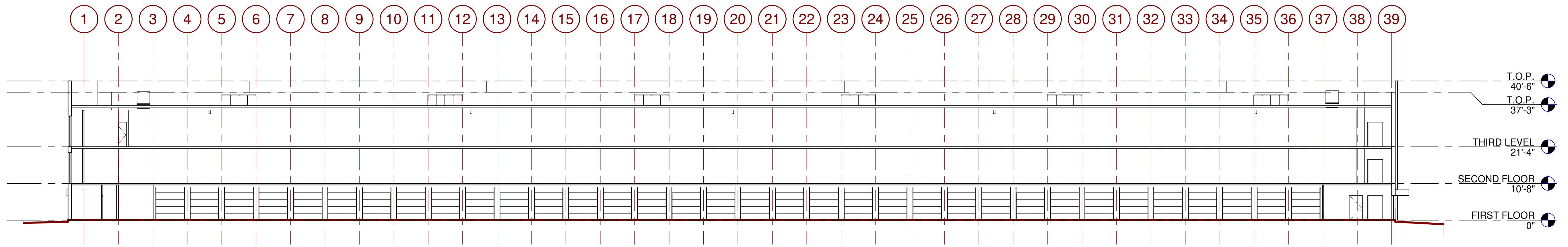
BUILDING 3 - EXTERIOR ELEVATIONS

NO.	DATE	REVISIONS
1	09/20/2021	DESIGN REVIEW SUBMITTAL
2	12/16/2021	DESIGN REVIEW RE-SUBMITTAL
3	03/11/2022	DESIGN REVIEW RE-SUBMITTAL
4	05/10/2022	DESIGN REVIEW RE-SUBMITTAL

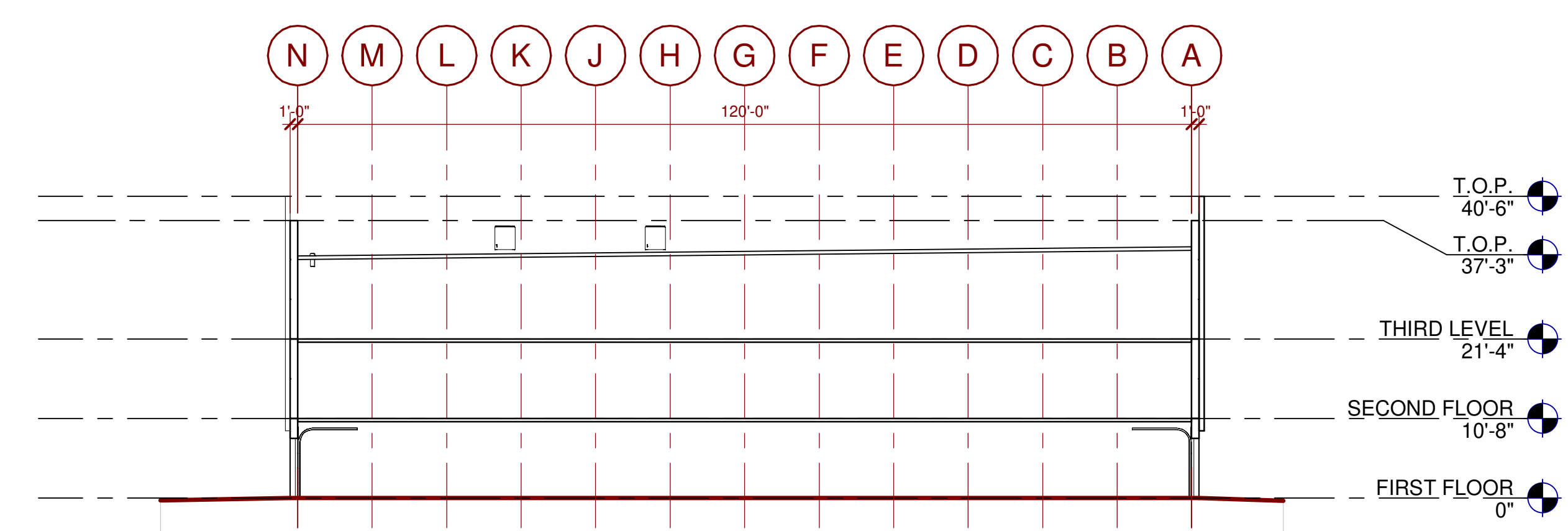
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BUILDING SECTION 1
SCALE: 1/16" = 1'-0"



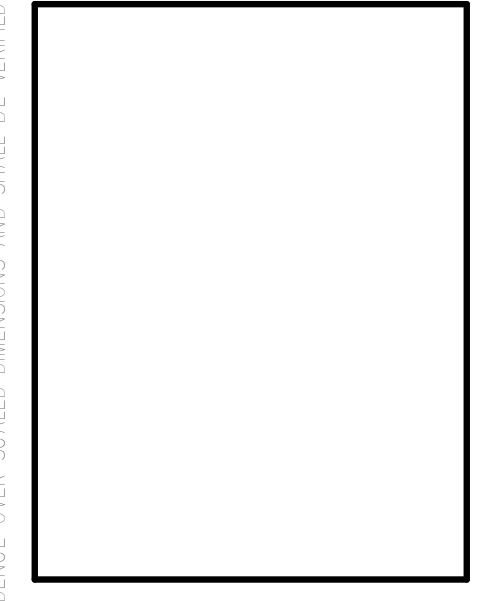
BUILDING SECTION 2
SCALE: 1/16" = 1'-0"

KEYNOTES:
SEE SHEET A0.2 FOR GENERAL NOTES

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BUILDING 3 - BUILDING SECTIONS

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
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03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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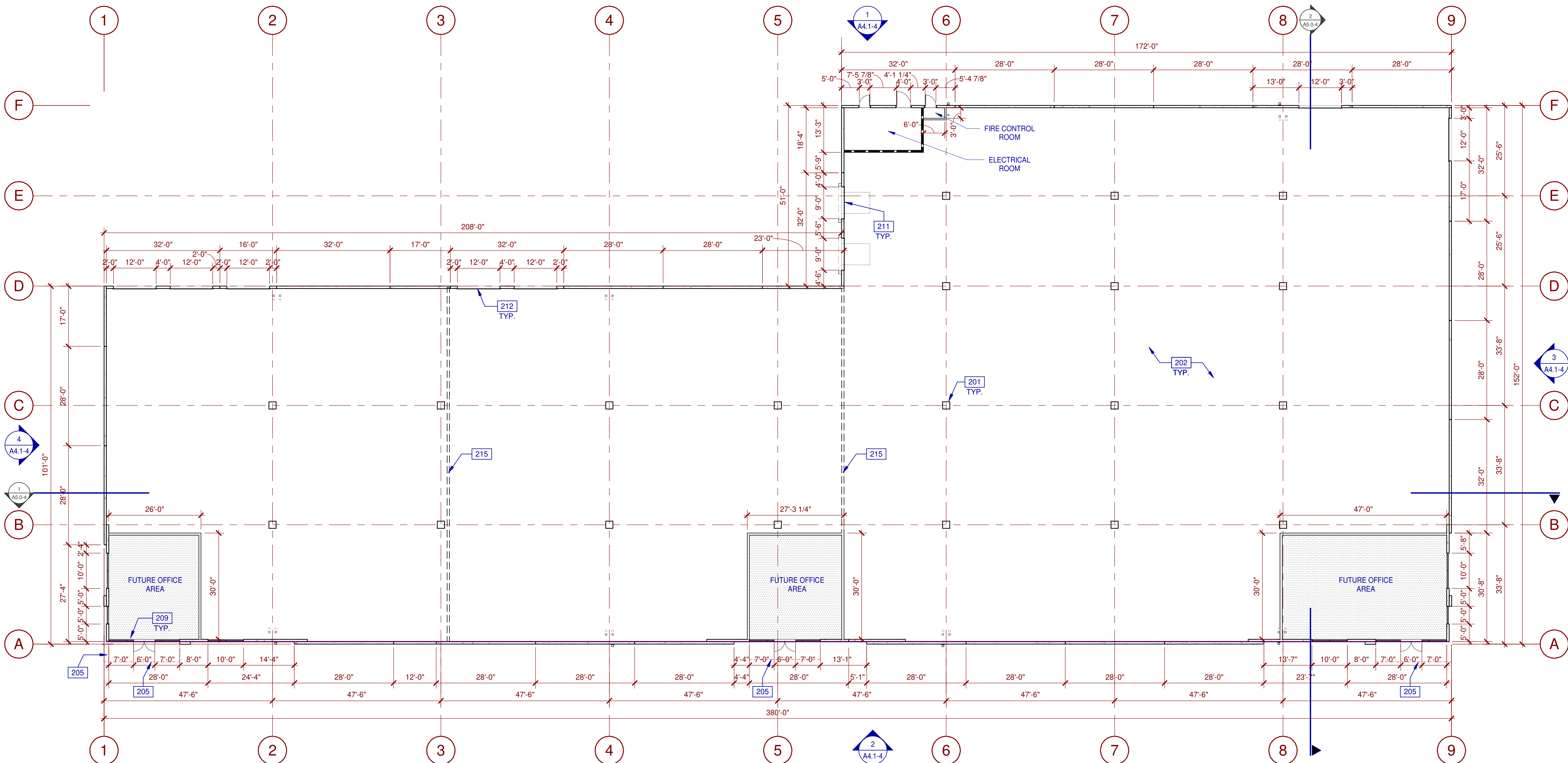
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03/11/2022	DESIGN REVIEW RE-SUBMITTAL	
05/10/2022	DESIGN REVIEW RE-SUBMITTAL	

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JOB NO.:	SDG21-0055-00

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A9.0-3






FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEGEND

 PROPOSED FUTURE OFFICE AREA

WALL LEGEND

 CONCRETE WALL
 1HR FIRE-RESISTANCE RATED
 INTERIOR NON-RATED PARTITION

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL COLUMN, TYP.
 - 202 CONCRETE SLAB PER STRUCTURAL.
 - 205 CANOPY LINE ABOVE, CALCULATIONS & ANCHORAGE PER STRUCTURAL.
 - 209 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLAZING UNITS.
 - 211 9' x 10' SECTIONAL DOOR, PAINTED.
 - 212 14' x 12' SECTIONAL DOOR.
 - 215 FUTURE DEMISING WALL.

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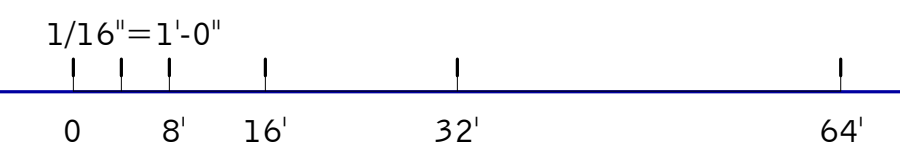
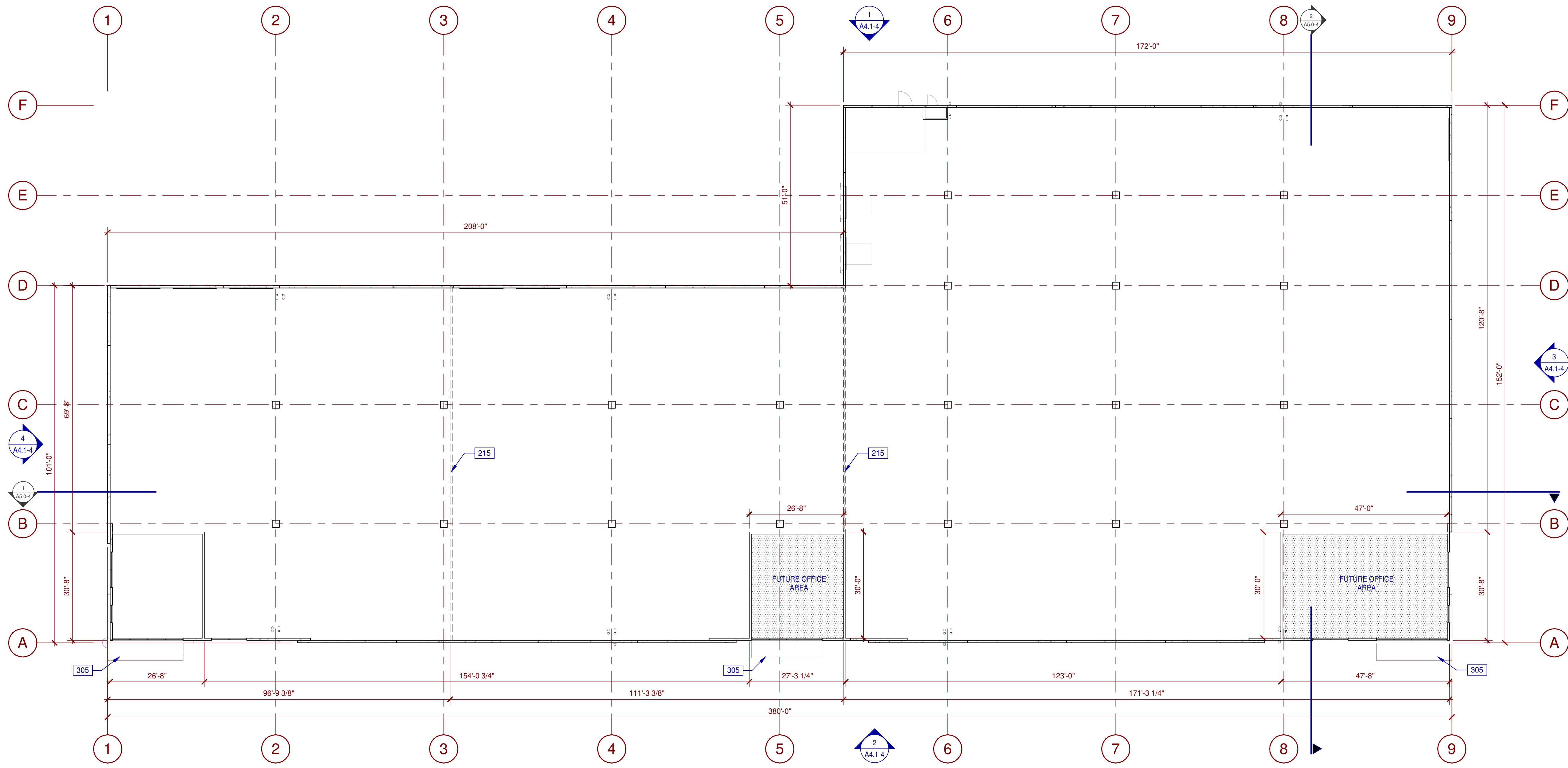
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BUILDING 4 - FIRST FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
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SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"
1 N

LEGEND

PROPOSED FUTURE OFFICE AREA

WALL LEGEND

- CONCRETE WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 215 FUTURE DEMISING WALL.
- 305 SHADE CANOPY, TYP.

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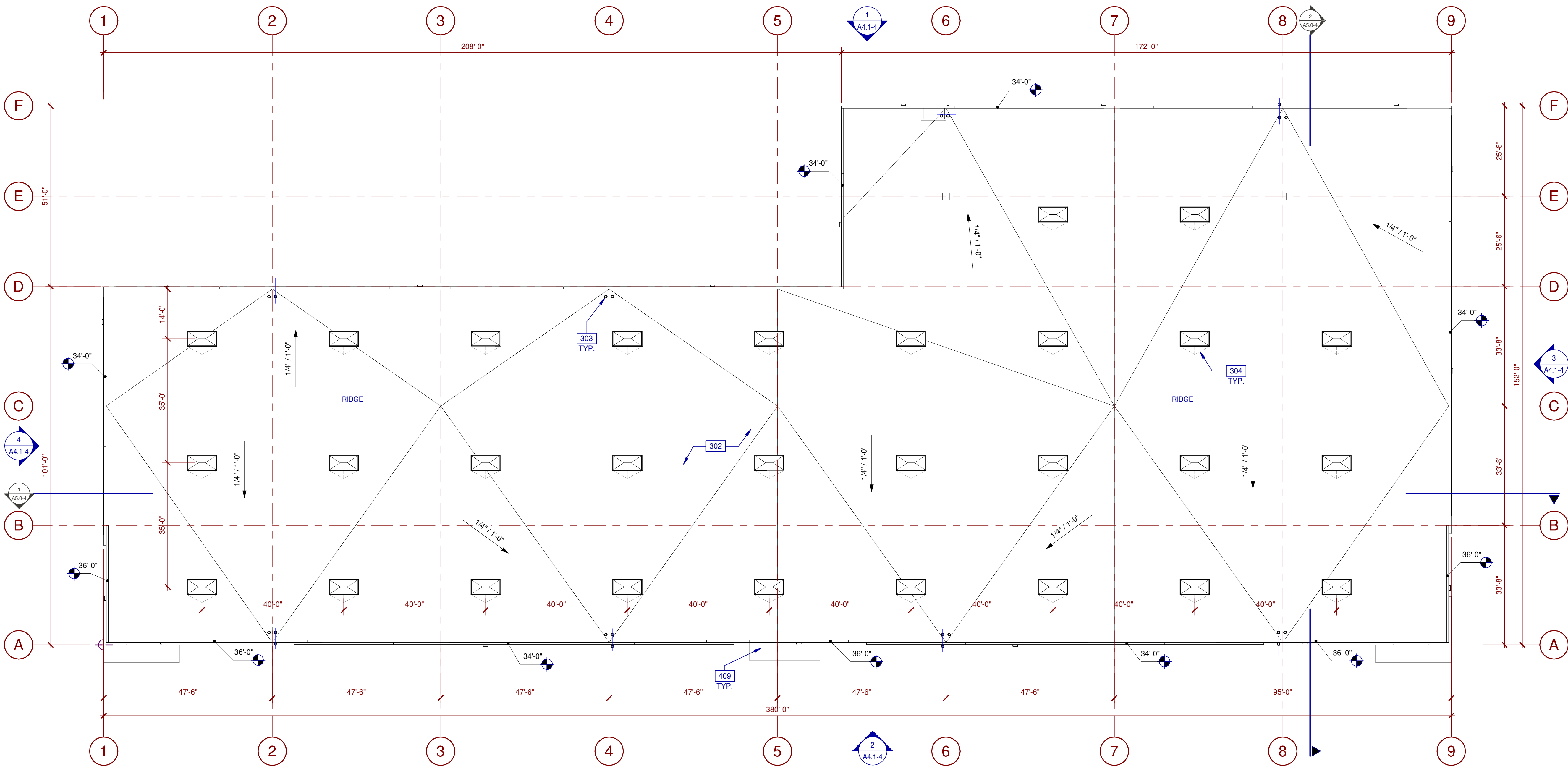
BUILDING 4 - SECOND FLOOR PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0055-00

SHEET
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8/4/2022 8:19:59 AM

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ROOF PLAN
SCALE: 1/16" = 1'-0"

LEGEND

- SKYLIGHT: (2%)
COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

ABBREVIATIONS

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

CALCULATIONS

SKYLIGHTS:
SKYLIGHT SIZE: 48"x96"=32 S.F.
WAREHOUSE AREA S.F. x 2.0% = $\frac{47,022 \times .02}{32}$

DESIRED: 29 SKYLIGHTS
PROVIDED: 29 SKYLIGHTS

FUTURE SOLAR:

ROOF AREA:	46,288	S.F.
SKYLIGHT AREA:	928	S.F.
ROOF AREA LESS SKYLIGHT:	45,360	S.F.

15% OF ROOF AREA (LESS SKYLIGHTS): 6,804 S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED: 6,804 S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED: 6,804 S.F.

*CEC SECTION 110.10(B) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 302 BUILT-UP ROOFING.
- 303 ROOF DRAIN AND OVERFLOW DRAIN LOCATION.
- 304 CRICKET.
- 409 SHADE CANOPY PER STRUCTURAL.

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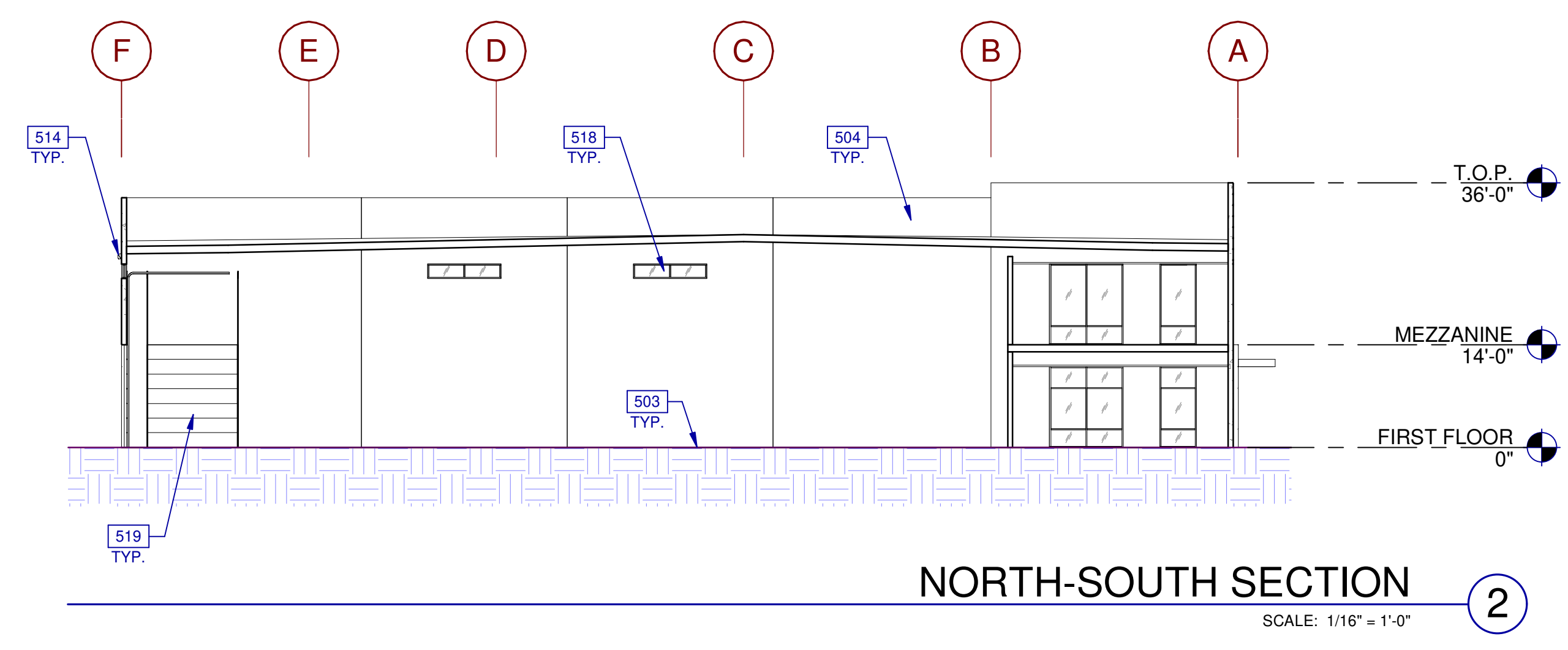
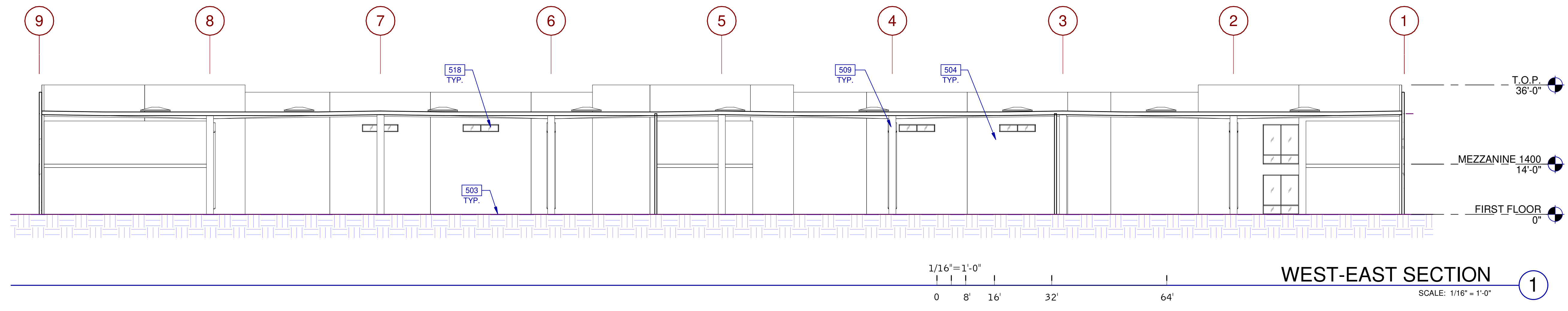
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BUILDING 4 - ROOF PLAN

DATE	REMARKS
09/20/2021	DESIGN REVIEW SUBMITTAL
12/16/2021	DESIGN REVIEW RE-SUBMITTAL
03/11/2022	DESIGN REVIEW RE-SUBMITTAL
05/10/2022	DESIGN REVIEW RE-SUBMITTAL

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JOB NO.:	SDG21-0055-00

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BUILDING 4 - BUILDING SECTIONS		REMARKS
1	09/20/2021	DESIGN REVIEW SUBMITTAL
2	12/16/2021	DESIGN REVIEW RE-SUBMITTAL
3	03/11/2022	DESIGN REVIEW RE-SUBMITTAL
4	05/10/2022	DESIGN REVIEW RE-SUBMITTAL

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0055-00

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LEGEND

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 503 CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 504 CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 509 STRUCTURAL COLUMN BEYOND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 514 WALL PACK LIGHT. SEE ELECTRICAL DRAWINGS FOR SPECIFICATION.
- 518 ALUMINUM FRAMED CLERESTORY WINDOW WITH 1" THICK INSULATED GLASS. COLOR TBD.
- 519 SECTIONAL GRADE DOOR, PAINTED. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.



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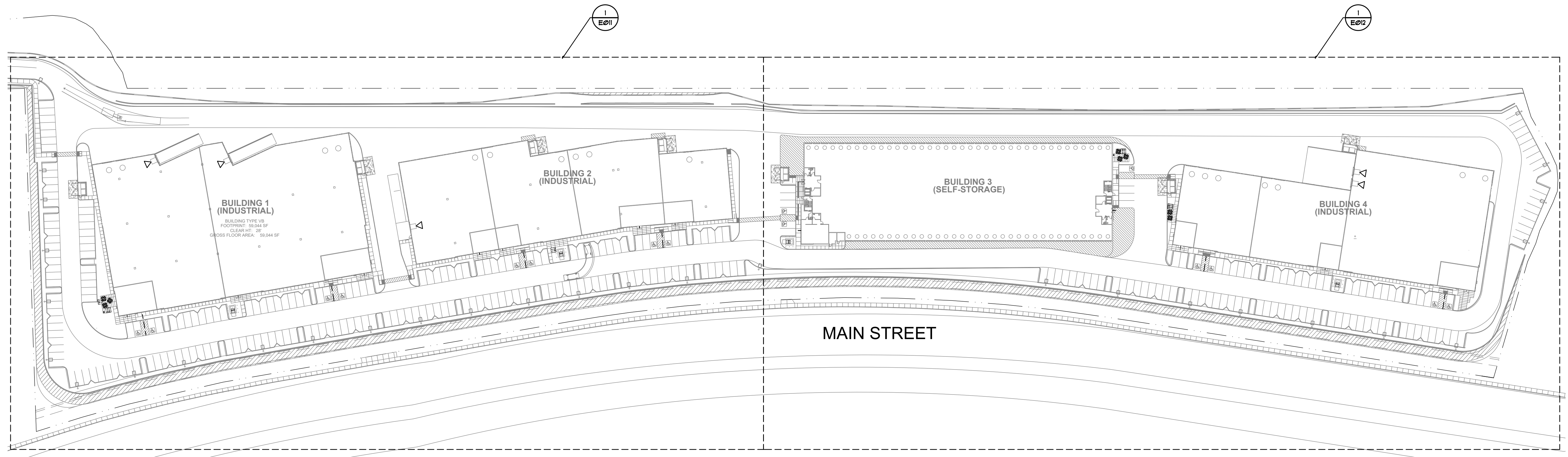
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BUILDING 4 - PERSPECTIVE		REMARKS
DATE	DESIGN REVIEW SUBMITTAL	
09/20/2021	DESIGN REVIEW SUBMITTAL	
12/16/2021	DESIGN REVIEW RE-SUBMITTAL	
03/11/2022	DESIGN REVIEW RE-SUBMITTAL	
05/10/2022	DESIGN REVIEW RE-SUBMITTAL	

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SDG21-0055-00

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**BUILDING 1
(INDUSTRIAL)**
BUILDING TYPE: VI
FOOTPRINT: 52,544 SF
CLEAR HT: 28'
GROSS FLOOR AREA: 93,044 SF

**BUILDING 2
(INDUSTRIAL)**

**BUILDING 3
(SELF-STORAGE)**

**BUILDING 4
(INDUSTRIAL)**

MAIN STREET

OVERALL SITE PLAN

SCALE:
1/64" = 1'-0"

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OVERALL SITE PLAN

DATE	REMARKS
09/17/21	DESIGN REVIEW SUBMITTAL

PA/PM:	Dan Mayorgas
DRAWN BY.:	Nick Knott
JOB NO.:	SDG21-0055-00

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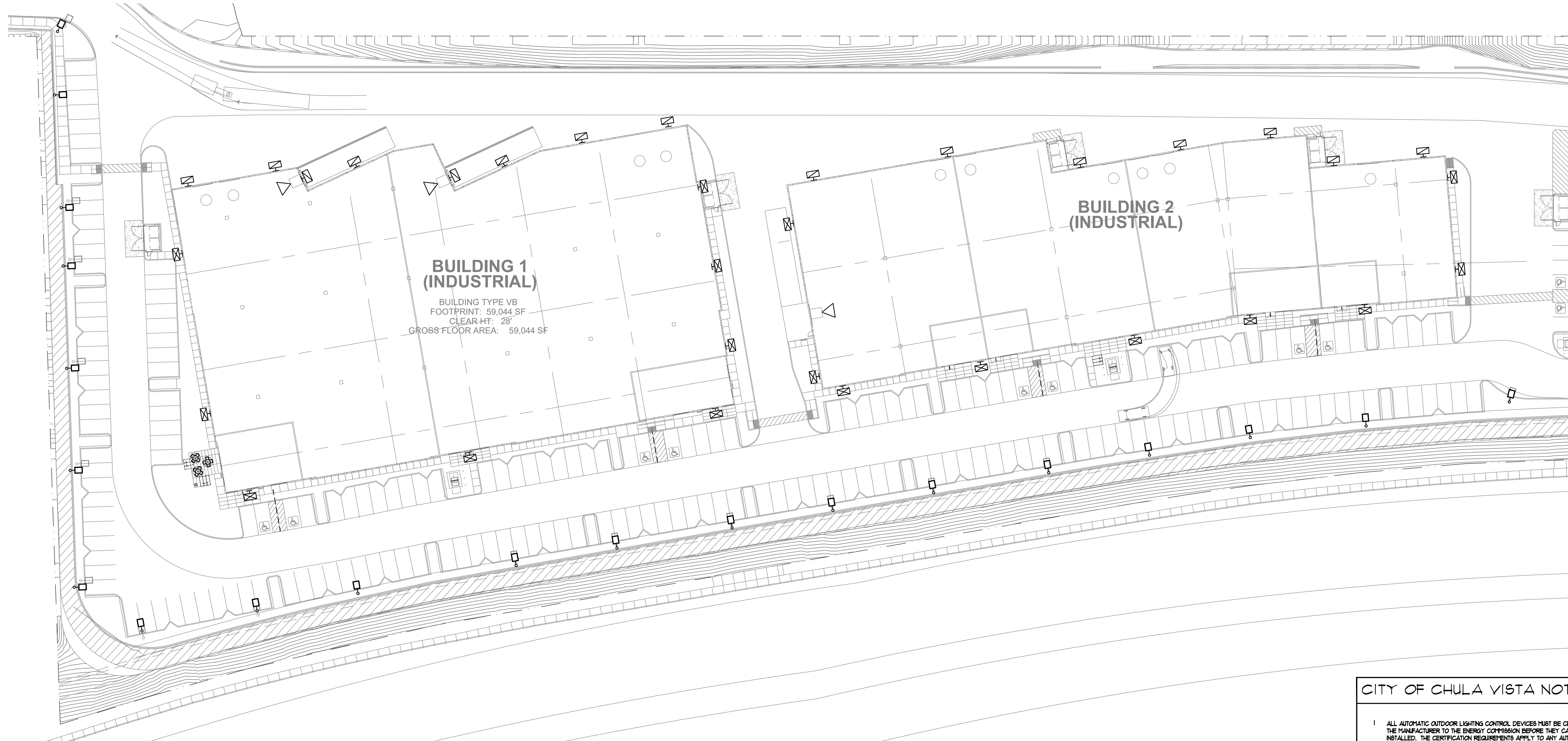
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**BUILDING 1
(INDUSTRIAL)**
 BUILDING TYPE V6
 FOOTPRINT: 59,044 SF
 CLEAR HT: 28'
 GROSS FLOOR AREA: 59,044 SF

**BUILDING 2
(INDUSTRIAL)**

CITY OF CHULA VISTA NOTES

- 1 ALL AUTOMATIC OUTDOOR LIGHTING CONTROL DEVICES MUST BE CERTIFIED BY THE MANUFACTURER TO THE ENERGY COMMISSION BEFORE THEY CAN BE INSTALLED. THE CERTIFICATION REQUIREMENTS APPLY TO ANY AUTOMATIC TIME SWITCH CONTROL DEVICE, OCCUPANT SENSOR, MOTION SENSOR, PHOTO SENSOR, OR AUTOMATIC DAY-LIGHTING CONTROL DEVICE (19).
- 2 PERMANENT FACTORY-INSTALLED LABELS SHALL BE APPLIED TO ALL LUMINAIRES, EQUIPMENT, AND SYSTEMS AS REQUIRED BY SECTION 05067.
- 3 ALL PERMANENTLY INSTALLED OUTDOOR LUMINAIRES EMPLOYING LAMPS RATED OVER 100 WATTS SHALL EITHER HAVE A LAMP EFFICACY OF AT LEAST 60 LUMENS PER WATT, OR BE CONTROLLED BY A MOTION SENSOR. SEE SECTION 0521A FOR EXCEPTIONS.
- 4 ALL OUTDOOR LUMINAIRES THAT USE LAMPS RATED GREATER THAN 175 WATTS IN HARDSCAPE AREAS INCLUDING PARKING LOTS, BUILDING ENTRANCES, SALES AND NON-SALES CANOPIES, AND ALL OUTDOOR SALES AREAS SHALL BE DESIGNATED CUTOFF FOR LIGHT DISTRIBUTION. SEE SECTION 0521B FOR EXCEPTIONS.
- 5 ALL PERMANENTLY INSTALLED OUTDOOR LIGHTING SHALL BE CONTROL BY A PHOTO CONTROL OR ASTRONOMICAL TIME SWITCH THAT AUTOMATICALLY TURNS OFF THE OUTDOOR LIGHTING WHEN DAYLIGHT IS AVAILABLE. SEE SECTION 0521C FOR EXCEPTIONS.

SITE LIGHTING PLAN 1

DATE	REMARKS
09/17/21	DESIGN REVIEW SUBMITTAL

PA/PM:	Dan Mayorgas
DRAWN BY.:	Nick Knott
JOB NO.:	SDG21-0055-00

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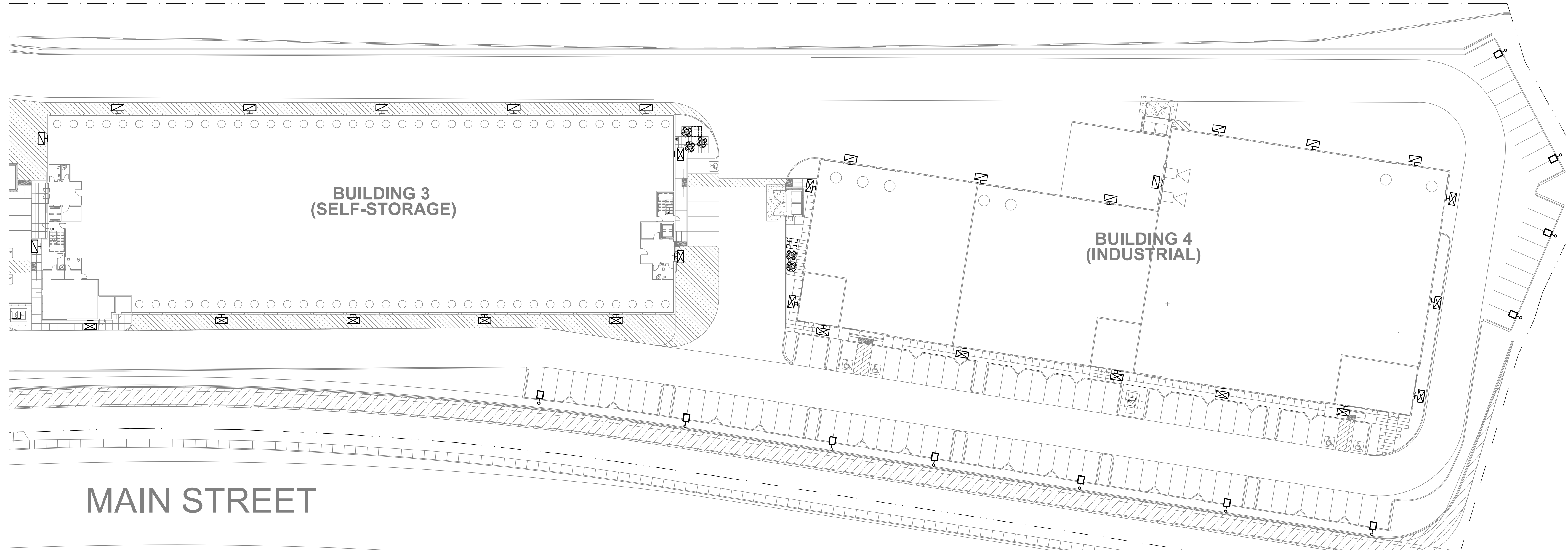
SITE LIGHTING PLAN 1

SCALE: 1/32" = 1'-0"

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CITY OF CHULA VISTA NOTES

- 1 ALL AUTOMATIC OUTDOOR LIGHTING CONTROL DEVICES MUST BE CERTIFIED BY THE MANUFACTURER TO THE ENERGY COMMISSION BEFORE THEY CAN BE INSTALLED. THE CERTIFICATION REQUIREMENTS APPLY TO ANY AUTOMATIC TIME SWITCH CONTROL DEVICE, OCCUPANT SENSOR, MOTION SENSOR, PHOTO SENSOR, OR AUTOMATIC DAY-LIGHTING CONTROL DEVICE (19).
- 2 PERMANENTLY FACTORY-INSTALLED LABELS SHALL BE APPLIED TO ALL LUMINAIRES, EQUIPMENT, AND SYSTEMS AS REQUIRED BY SECTION 180C7.
- 3 ALL PERMANENTLY INSTALLED OUTDOOR LUMINAIRES EMPLOYING LAMPS RATED OVER 100 WATTS SHALL EITHER HAVE A LAMP EFFICACY OF AT LEAST 60 LUMENS PER WATT, OR BE CONTROLLED BY A MOTION SENSOR. SEE SECTION 180(A) FOR EXCEPTIONS.
- 4 ALL OUTDOOR LUMINAIRES THAT USE LAMPS RATED GREATER THAN 100 WATTS IN LANDSCAPE AREAS INCLUDING PARKING LOTS, BUILDING ENTRANCES, SALES AND NON-SALES CANOPIES, AND ALL OUTDOOR SALES AREAS SHALL BE DESIGNATED CUTOFF FOR LIGHT DISTRIBUTION. SEE SECTION 180(B) FOR EXCEPTIONS.
- 5 ALL PERMANENTLY INSTALLED OUTDOOR LIGHTING SHALL BE CONTROL BY A PHOTO CONTROL OR ASTRONOMICAL TIME SWITCH THAT AUTOMATICALLY TURNS OFF THE OUTDOOR LIGHTING WHEN DAYLIGHT IS AVAILABLE. SEE SECTION 180(C) FOR EXCEPTIONS.

SITE LIGHTING PLAN 2

DATE	REMARKS
09/17/21	DESIGN REVIEW SUBMITTAL

PA/PM:	Dan Mayorgas
DRAWN BY.:	Nick Knott
JOB NO.:	SDG21-0055-00

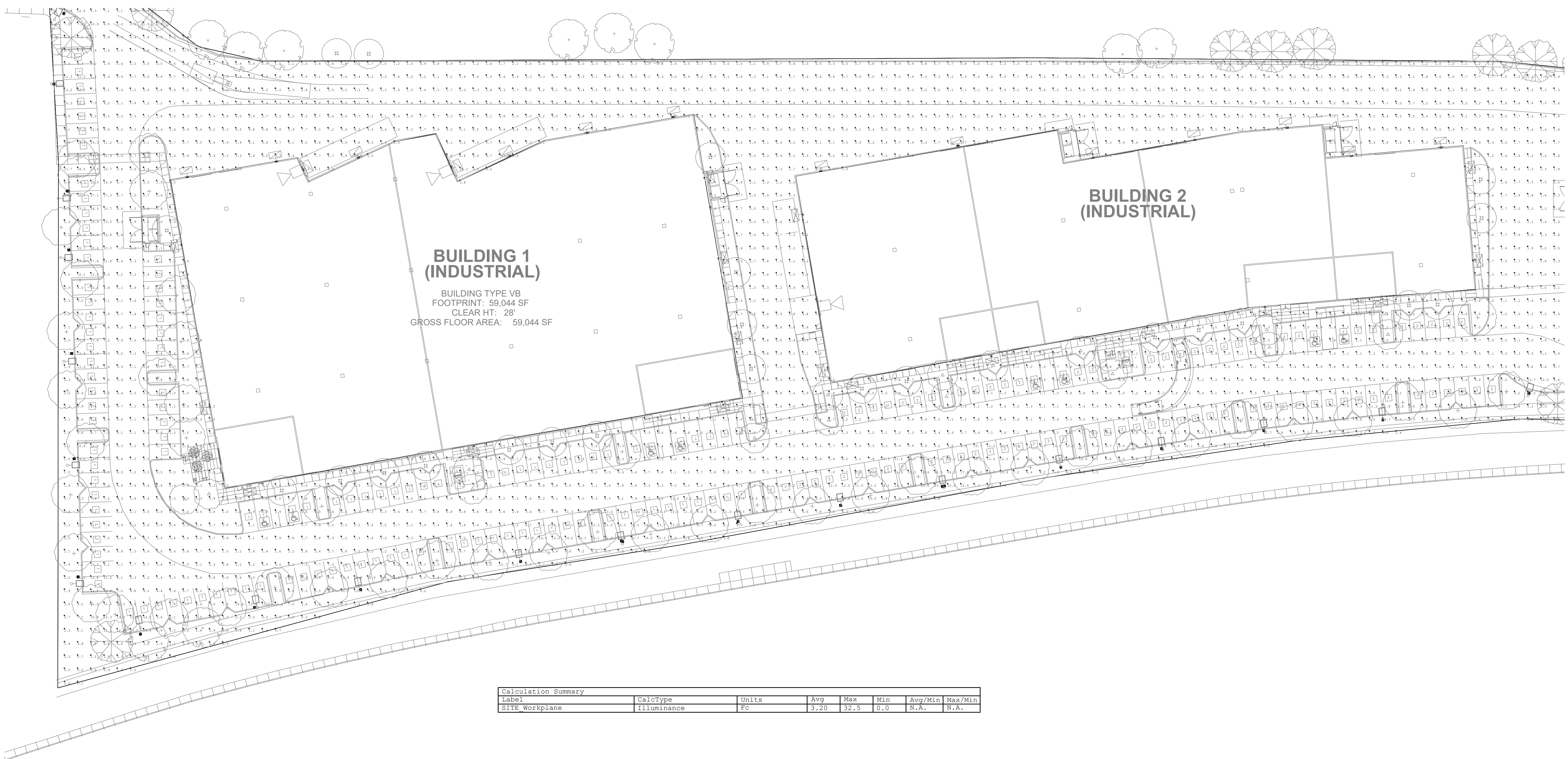
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SITE LIGHTING PLAN 2

SCALE:
 1/32" = 1'-0"



**BUILDING 1
(INDUSTRIAL)**
 BUILDING TYPE VB
 FOOTPRINT: 59,044 SF
 CLEAR HT: 28'
 GROSS FLOOR AREA: 59,044 SF

**BUILDING 2
(INDUSTRIAL)**

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SITE Workplane	Illuminance	Fc	3.20	32.5	0.0	N.A.

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SITE PHOTOMETRICS 1

DATE	REMARKS
09/17/21	DESIGN REVIEW SUBMITTAL

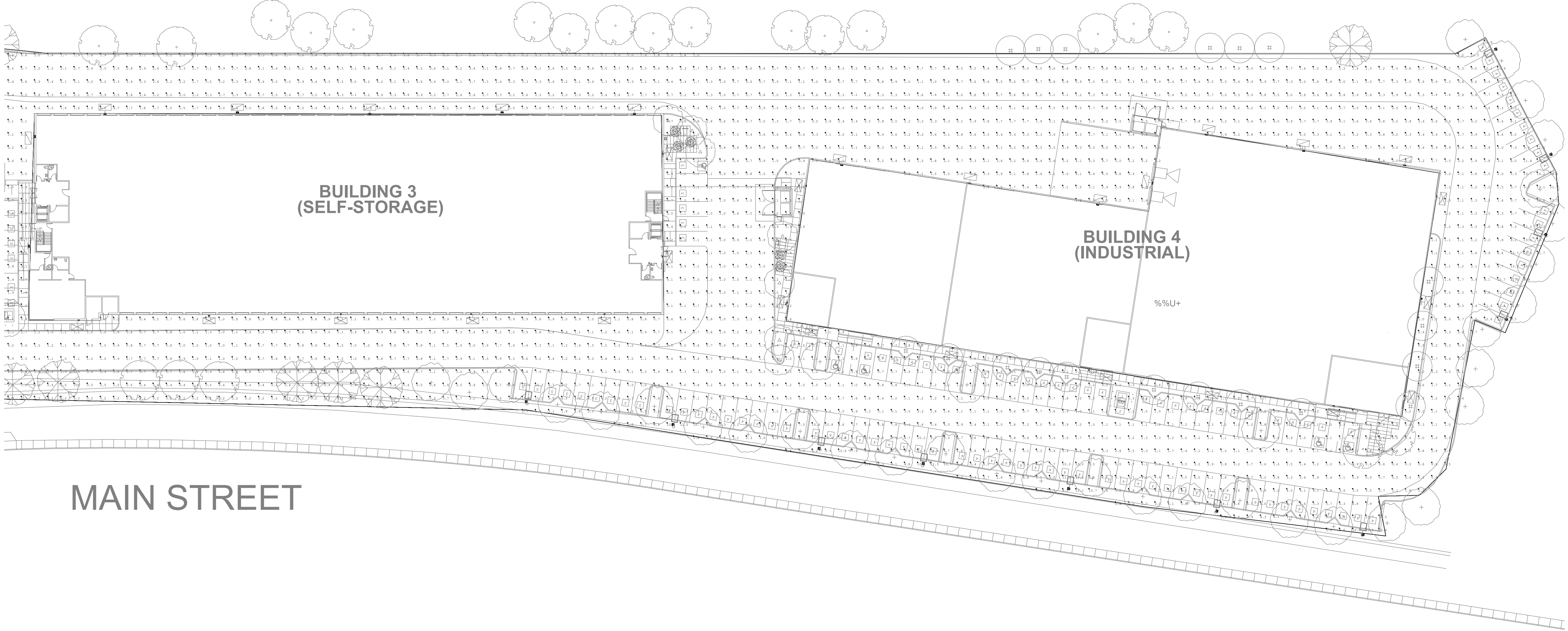
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DRAWN BY.:	Nick Knott
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**BUILDING 3
(SELF-STORAGE)**

**BUILDING 4
(INDUSTRIAL)**

MAIN STREET

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE Workplane	Illuminance	Fc	3.20	32.5	0.0	N.A.	N.A.

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SITE PHOTOMETRICS 2

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09/17/21	DESIGN REVIEW SUBMITTAL

PA/PM: Dan Mayorgas
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DETAIL SHEET
DATE: 09/17/21
REMARKS:
DESIGN REVIEW SUBMITAL

P/APP: Dan Mayorgas
DRAWN BY: Nick Knott
JOB NO.: SDG21-0055-00

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DATE: 09/17/21
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WARE MALCOMB LINC4 LARGE LED LITERAK. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

Cypher™ - CY2 Pedestrian Scale. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

Cypher™ - CY2 Pedestrian Scale. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

VIPER L STRIKE. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

WARE MALCOMB LINC4 LARGE LED LITERAK. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

Cypher™ - CY2 Pedestrian Scale. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

Cypher™ - CY2 Pedestrian Scale. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

VIPER L STRIKE. Includes features, specifications, construction, controls, and key data table. Key data: Lumen Range 4,200-14,700, Wattage Range 43.3-170, Efficacy Range (lm/W) 75.2-177, Picture Projected Life (Hours) L80-25K, Weight (lb./kg) 270 (22).

LANDSCAPE CONCEPT STATEMENT OF COMPLIANCE

THIS LANDSCAPE DESIGN AND THE FINAL LANDSCAPE PLANS WILL REFLECT CONFORMANCE WITH THE CITY OF CHULA VISTA'S LANDSCAPE WATER CONSERVATION ORDINANCE (CVMC20.12), PROMOTING WATER CONSERVATION THROUGH THE USE OF MODERATE AND LOW-WATER REQUIRING PLANT SPECIES, GROUPING OF PLANT MATERIALS WITH SIMILAR WATER REQUIREMENTS AND IMPLEMENTING A LOW-VOLUME AND EFFICIENT AUTOMATIC IRRIGATION SYSTEM.

CONCEPT DESIGN STATEMENT

THE LANDSCAPE DESIGN WILL BE SUSTAINABLE WITH AN EMPHASIS ON DROUGHT TOLERANT, NATIVE OR ADAPTIVE SPECIES THAT ARE LONG LIVED AND EASILY MAINTAINED IN THEIR NATURAL FORM. APPROXIMATELY 90% OF THE PLANTS USED WILL HAVE LOW WATER REQUIREMENTS BASED UPON THE "2014 WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS IV) AND WILL CONFORM TO CURRENT WATER CONSERVATION STANDARDS INCLUDING THE CITY OF CHULA VISTA LANDSCAPE WATER CONSERVATION ORDINANCE. PLANT MATERIAL WILL BE GROUPED BY HYDROZONES THAT HAVE SIMILAR WATER NEEDS.

EVERGREEN TREES WILL BE USED TO PROVIDE SHADE OVER PARKING AREAS AND TO SOFTEN THE BUILDING FACADE, WHILE FLOWERING DECIDUOUS TREES WILL BE USED TO ACCENTUATE THE BUILDING ENTRY AND OUTDOOR PATIO SPACES. HEDGES WILL BE USED TO SCREEN PARKING AREAS FROM THE PUBLIC RIGHT-OF-WAY AND ADJACENT PARCELS, AND EVERGREEN VINES WILL BE USED TO HELP SCREEN THE TRASH ENCLOSURE. SHRUBS AND GROUND COVERS WITH VARYING FORMS, COLORS AND TEXTURES WILL BE USED THROUGHOUT THE PROJECT TO PROVIDE INTEREST. THE PLANT PALETTE WILL COMPLEMENT THE ADJACENT PARCELS AND STREETScape TO HELP VISUALLY BLEND THE PROJECT INTO THE SURROUNDING NEIGHBORHOOD.

CONCEPTUAL IRRIGATION DESIGN STATEMENT

IRRIGATION DESIGN WILL CONFORM TO CURRENT WATER CONSERVATION STANDARDS INCLUDING THE CITY OF CHULA VISTA LANDSCAPE WATER CONSERVATION ORDINANCE AND THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL). IRRIGATION WILL BE DISTRIBUTED BY IN LINE DRIP TUBING AND A SMART IRRIGATION CONTROLLER WITH RAIN SHUT-OFF CAPABILITIES. THE VALVES WILL BE GROUPED BY HYDROZONE, EXPOSURE, SOIL TYPE AND GRADING FEATURES.

SHADE TREE POLICY

THE PURPOSE OF THIS POLICY IS TO PROVIDE GUIDELINES FOR THE SELECTION & PLACEMENT OF NEW SHADE TREES AS WELL AS THE RETENTION OF EXISTING SHADE TREE FOR BOTH PUBLIC AND PRIVATE PROJECTS. SHADE TREES SHALL BE PROVIDED FOR ALL NEW PARKING LOTS THAT, IN GOOD GROWING CONDITIONS, WILL ACHIEVE 50% CANOPY COVER OVER THE PARKING STALL AREAS FIVE TO FIFTEEN YEARS AFTER THE PLANTING DATE FOR THAT TREE.

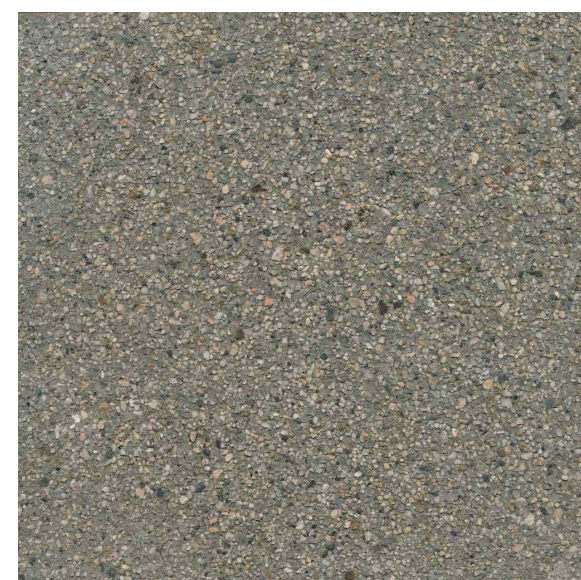
MAINTENANCE RESPONSIBILITY STATEMENT

OWNER IS RESPONSIBLE FOR INSTALLATION AND ONGOING MAINTENANCE OF IRRIGATION AND PLANTING WITHIN THE PROPERTY'S INTERIOR AND THE CITY RIGHT-OF-WAY.

LANDSCAPE MAINTENANCE AT FIRE LANES AND FIRE APPURTENANCES

OWNER IS RESPONSIBLE TO MAINTAIN 3' CLEAR SPACE AROUND THE CIRCUMFERENCE OF FIRE DEVICES AND 136" VERTICAL CLEARANCE AT ALL TREES ADJACENT TO FIRE LANES

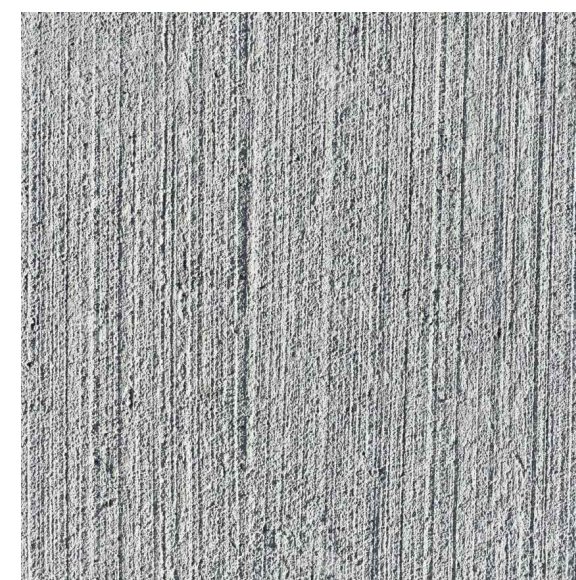
PROPOSED HARDSCAPE



NATURAL COLOR CONCRETE WITH TOPCAST #05 FINISH AT BUILDING ENTRIES AND EMPLOYEE PATIOS



NATURAL COLOR CONCRETE WITH TOPCAST #50 FINISH AT DRIVEWAY ENTRY



NATURAL COLOR CONCRETE WITH BROOM FINISH AT PEDESTRIAN CIRCULATION WALKWAYS

PROPOSED PLANTING - SLOPES

SHRUBS, GRASSES, & GROUNDCOVERS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA	1 GAL.	8' O.C.	L	EVERGREEN LOW SHRUB
	BOUGAINVILLEA 'LA JOLLA'	RED SHRUB BOUGAINVILLEA	1 GAL.	48" O.C.	L	FLOWERING SHRUB
	COTONEASTER DAMMERI 'LOWFAST'	BEARBERRY COTONEASTER	1 GAL.	48" O.C.	L	EVERGREEN LOW SHRUB
	ECHIUM FASTUOSUM	PRIDE OF MADEIRA	5 GAL.	48" O.C.	L	UPRIGHT SHRUB
	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL.	60" O.C.	L	LARGE SHRUB
	LIMONIUM PEREZII	SEA LAVENDER	1 GAL.	36" O.C.	L	FLOWERING LOW SHRUB
	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	PROSTRATE MYOPORUM	1 GAL.	36" O.C.	L	EVERGREEN GROUNDCOVER
	RHUS OVATA	SUGAR BUSH	1 GAL.	60" O.C.	L	LARGE SHRUB
	NATIVE HYDROSEED MIX	COASTAL / MARITIME SCRUB	--	--	L	NATIVE COVER

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

PROPOSED PLANTING - MSE WALL

SHRUBS, GRASSES, & GROUNDCOVERS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	FICUS PUMILA	CREEPING FIG	4" POT	1 PER CELL	M	SPREADING VINE
	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	4" POT	1 PER CELL	L	TRAILING EVERGREEN
	VERBENA SPP.	VERBENA	4" POT	1 PER CELL	L	TRAILING PERENNIAL
	LORNICERA JAPONCA.	HONEYSUCKLE	4" POT	1 PER CELL	L	TRAILING PERENNIAL
	BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	4" POT	1 PER CELL	L	TRAILING PERENNIAL

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

PROPOSED PLANTING - TREE WELL BMP

SHRUBS, GRASSES, & GROUNDCOVERS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	JUNCUS PATENS	GRAY RUSH	1 GAL.	24" O.C.	L	EVERGREEN PERENNIAL
	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	1 GAL.	24" O.C.	L	EVERGREEN PERENNIAL
	CAREX SPISSA	SAN DEIGO SEDGE	1 GAL.	24" O.C.	L	EVERGREEN PERENNIAL
	MUHLENBERGIA RIGENS	DEERGRASS	1 GAL.	48" O.C.	L	EVERGREEN PERENNIAL

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

PROPOSED PLANT SCHEDULE

TREES						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN.)	WATER USE	DESCRIPTION
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX STD.	9'H X 4"W X 1-1/2" CAL.	L	SMALL FLOWERING TREE
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX STD.	10'H X 3"W X 1-1/4" CAL.	M	VERTICAL EVERGREEN
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX STD.	10'H X 4"W X 1-1/2" CAL.	M	DECIDUOUS CANOPY - BMP TREE WELL BMP
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX STD.	9'H X 3"W X 1-1/4" CAL.	L	EVERGREEN CANOPY
	RHUS LANCEA	AFRICAN SUMAC	24" BOX STD.	9'H X 3"W X 1-1/4" CAL.	L	EVERGREEN CANOPY

SHRUBS, GRASSES, & GROUNDCOVERS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH	1 GAL.	48" O.C.	L	EVERGREEN LOW SHRUB
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	36" O.C.	L	FLOWERING SHRUB
	CARISSA M. 'GREEN CARPET'	DWARF NATAL PLUM	1 GAL.	30" O.C.	L	EVERGREEN LOW SHRUB
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.	24" O.C.	M	ORNAMENTAL GRASS
	CEANOTHUS G. 'POINT REYES'	POINT REYES CREEPER	1 GAL.	48" O.C.	L	FLOWERING LOW SHRUB
	DIANELLA 'CASSA BLUE'	CASSA BLUE FLAX LILY	1 GAL.	24" O.C.	L	UPRIGHT ACCENT
	HESPERALOE 'BRAKELIGHTS'	BRAKELIGHTS YUCCA	5 GAL.	36" O.C.	L	UPRIGHT ACCENT
	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL.	60" O.C.	L	LARGE SHRUB
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	36" O.C.	L	FLOWERING LOW SHRUB
	MUHLENBERGIA C. 'REGAL MIST'	PINK MUHLY	5 GAL.	36" O.C.	L	ORNAMENTAL GRASS
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	36" O.C.	L	ORNAMENTAL GRASS
	OLEA 'MONTRA'	LITTLE OLLIE	5 GAL.	36" O.C.	L	LARGE SHRUB
	RHAMPHILEPIS INDICA 'CLARA'	INDIAN HAWTHORN	5 GAL.	36" O.C.	L	EVERGREEN SHRUB
	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	1 GAL.	36" O.C.	L	EVERGREEN GROUNDCOVER
	WESTRINGIA F. 'WYNYABBIE GEM'	COAST ROSEMARY	5 GAL.	36" O.C.	L	EVERGREEN HEDGE
	WESTRINGIA 'MUNDI'	MUNDI COAST ROSEMARY	5 GAL.	36" O.C.	L	EVERGREEN LOW SHRUB

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

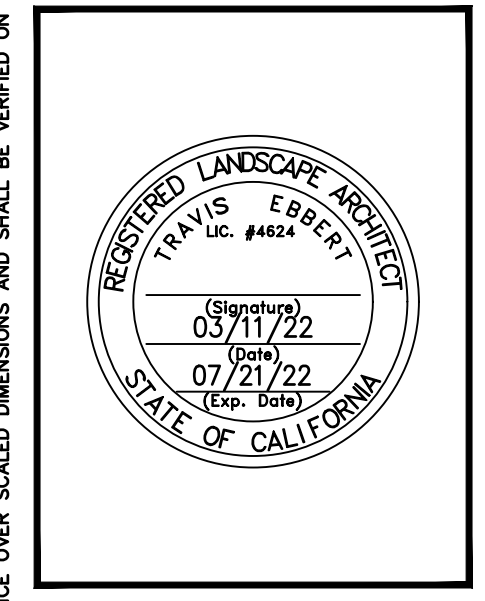
I AM FAMILIAR WITH AND AGREE TO COMPLY WITH THE REQUIREMENTS OF THE LANDSCAPE IMPROVEMENT PLAN AS DESCRIBED IN CHAPTER 20.12 OF THE CITY OF CHULA VISTA MUNICIPAL CODE. I HAVE PREPARED THESE PLANS IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THE REGULATIONS TO PROVIDE EFFICIENT WATER USE.

TRAVIS EBBERT LIC. NO 4624 09/15/2021

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CHULA VISTA, CA 91911

REVISIONS	APP	DATE

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JOB NO.:	SDG21-0055-00

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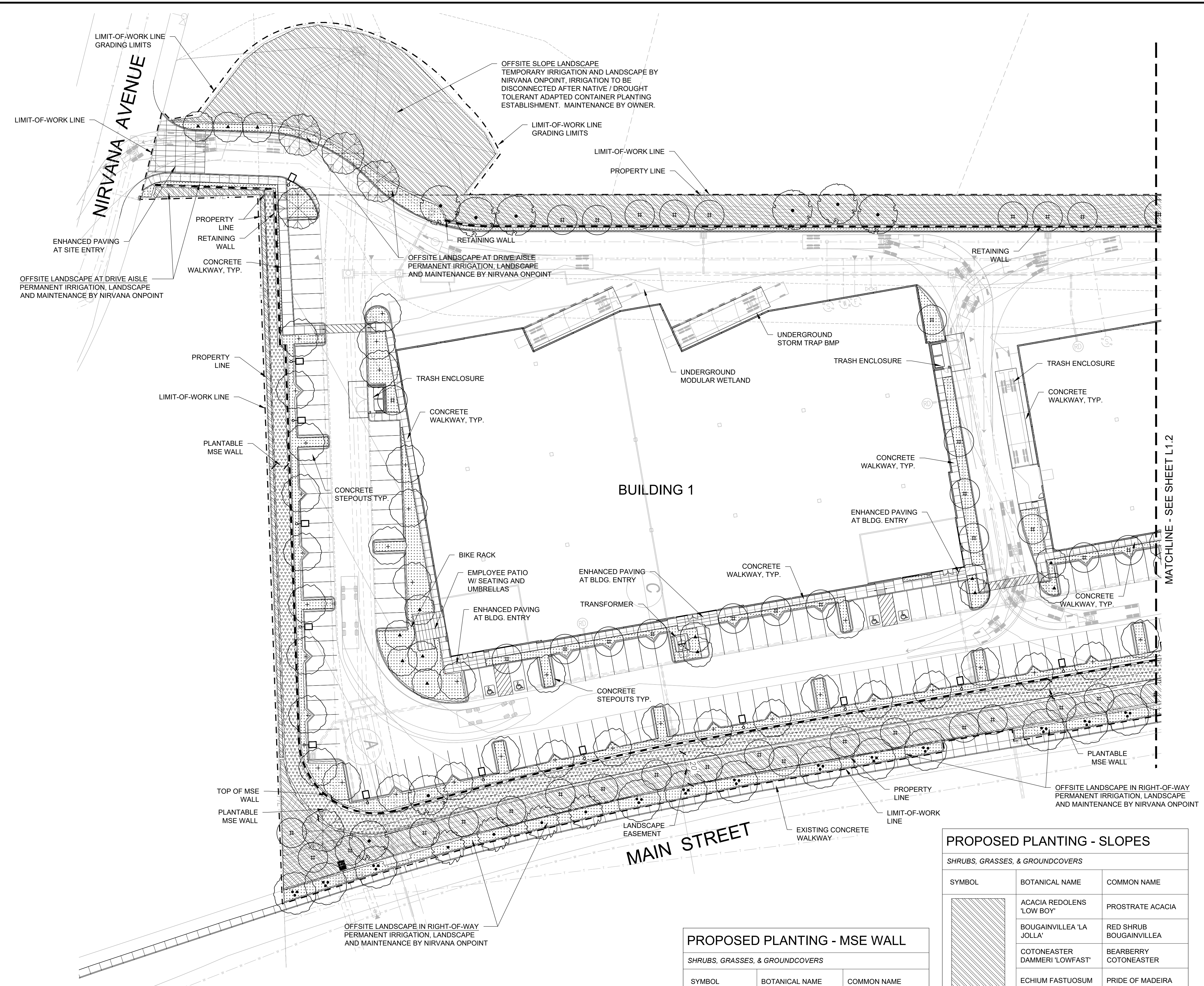
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PROPOSED PLANT SCHEDULE

TREES		
SYMBOL	BOTANICAL NAME	COMMON NAME
▲	CERCIS OCCIDENTALIS	WESTERN REDBUD
#	LOPHOSTEMON CONFERTUS	BRISBANE BOX
⊗	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE
●	QUERCUS AGRIFOLIA	COAST LIVE OAK
+	RHUS LANCEA	AFRICAN SUMAC

SHRUBS, GRASSES, & GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME
⊠	BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH
⊡	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH
⊢	CARISSA M. 'GREEN CARPET'	DWARF NATAL PLUM
⊣	CAREX DIVULSA	BERKELEY SEDGE
⊤	CEANOTHUS G. 'POINT REYES'	POINT REYES CREEPER
⊥	DIANELLA 'CASSA BLUE'	CASSA BLUE FLAX LILY
⊦	HESPERALOE 'BRAKELIGHTS'	BRAKELIGHTS YUCCA
⊧	HETEROMELES ARBUTIFOLIA	TOYON
⊨	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
⊩	MUHLENBERGIA C. 'REGAL MIST'	PINK MUHLY
⊪	MUHLENBERGIA RIGENS	DEER GRASS
⊫	OLEA 'MONTRA'	LITTLE OLLIE
⊬	RHAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN
⊭	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY
⊮	WESTRINGIA F. 'WYNABBIE GEM'	COAST ROSEMARY
⊯	WESTRINGIA 'MUNDI'	MUNDI COAST ROSEMARY

PROPOSED PLANTING - SLOPES

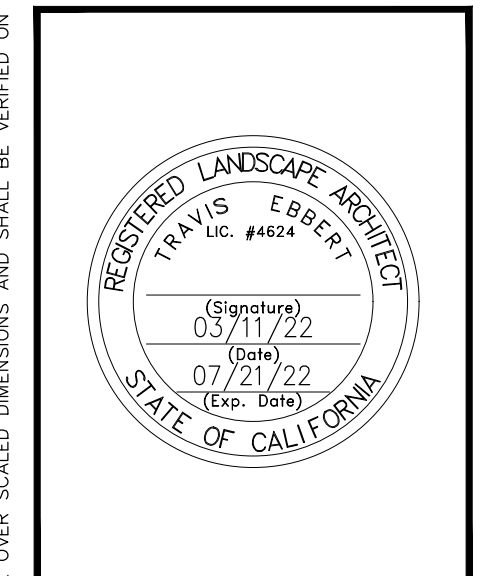
SHRUBS, GRASSES, & GROUNDCOVERS		
SYMBOL	BOTANICAL NAME	COMMON NAME
⊰	ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA
⊱	BOUGAINVILLEA 'LA JOLLA'	RED SHRUB BOUGAINVILLEA
⊲	COTONEASTER DAMMERI 'LOWFAST'	BEARBERRY COTONEASTER
⊳	ECHIUM FASTUOSUM	PRIDE OF MADEIRA
⊴	HETEROMELES ARBUTIFOLIA	TOYON
⊵	LIMONIUM PEREZII	SEA LAVENDER
⊶	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	PROSTRATE MYOPORUM
⊷	RHUS OVATA	SUGAR BUSH
⊸	NATIVE HYDROSEED MIX	COASTAL / MARITIME SCRUB

PROPOSED PLANTING - MSE WALL

SHRUBS, GRASSES, & GROUNDCOVERS		
SYMBOL	BOTANICAL NAME	COMMON NAME
⊹	FICUS PUMILA	CREEPING FIG
⊺	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY
⊻	VERBENA SPP.	VERBENA
⊼	LORNICERA JAPONICA	HONEYSUCKLE
⊽	BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA

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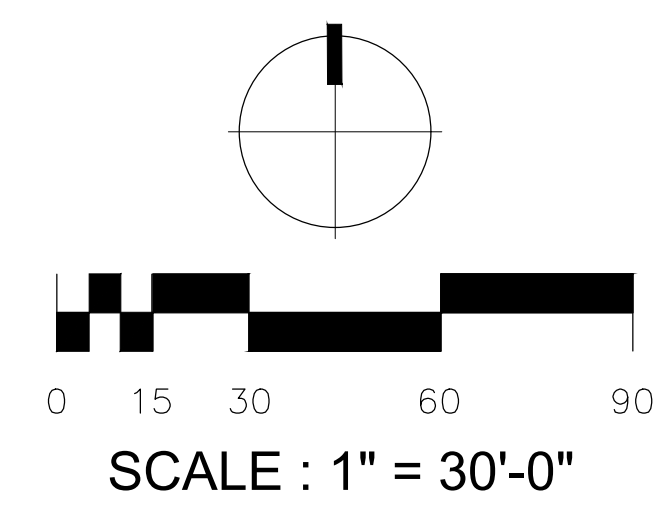


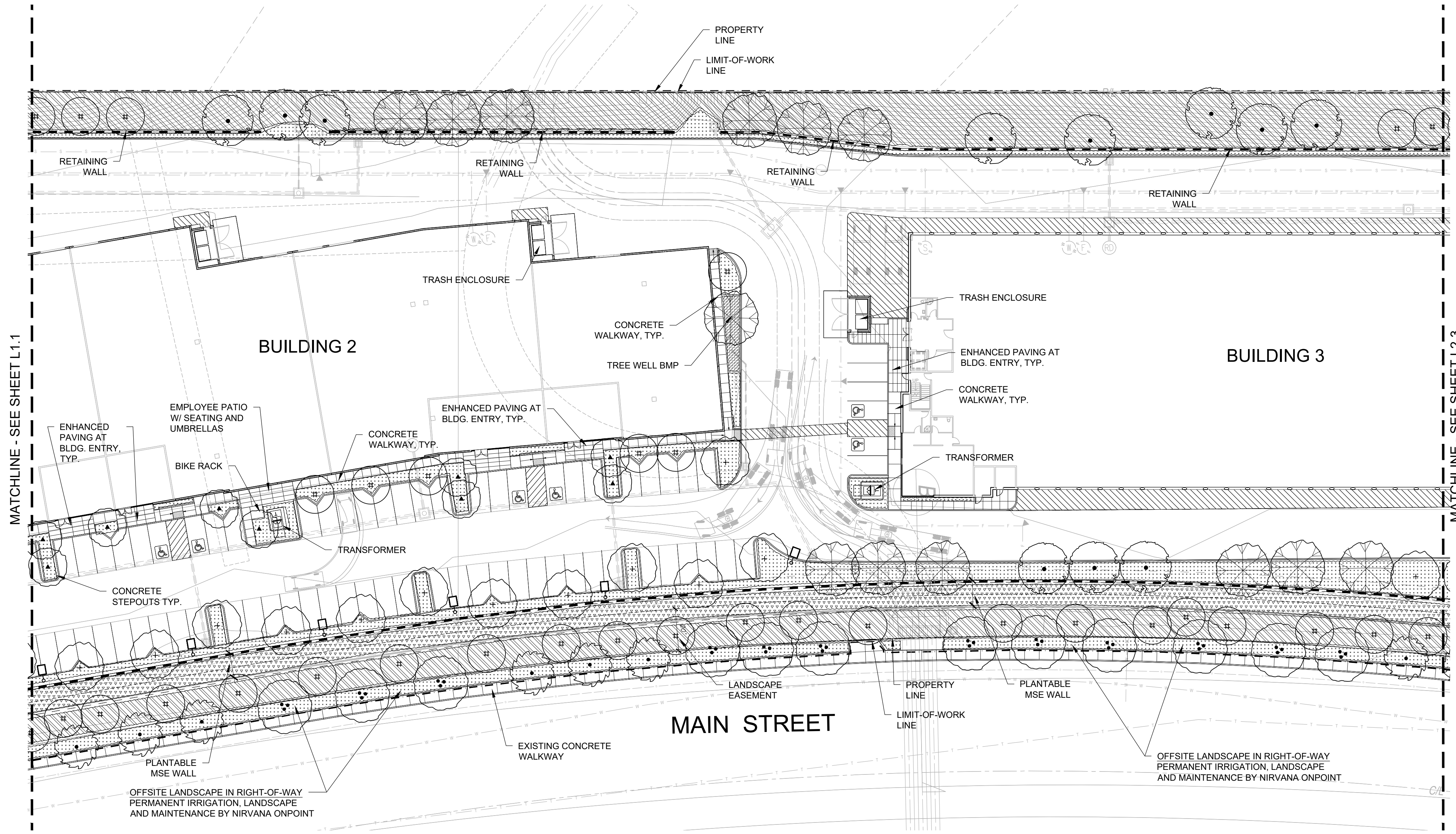
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PRELIMINARY LANDSCAPE PLAN		
REVISIONS	APP	DATE

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MATCHLINE - SEE SHEET L1.1

MATCHLINE - SEE SHEET L2.3

PROPOSED PLANT SCHEDULE

TREES		
SYMBOL	BOTANICAL NAME	COMMON NAME
	CERCIS OCCIDENTALIS	WESTERN REDBUD
	LOPHOSTEMON CONFERTUS	BRISBANE BOX
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE
	QUERCUS AGRIFOLIA	COAST LIVE OAK
	RHUS LANCEA	AFRICAN SUMAC

SHRUBS, GRASSES, & GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME
	BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH
	CARISSA M. 'GREEN CARPET'	DWARF NATAL PLUM
	CAREX DIVULSA	BERKELEY SEDGE
	CEANOTHUS G. 'POINT REYES'	POINT REYES CREEPER
	DIANELLA 'CASSA BLUE'	CASSA BLUE FLAX LILY
	HESPERALOE 'BRAKELIGHTS'	BRAKELIGHTS YUCCA
	HETEROMELES ARBUTIFOLIA	TOYON
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
	MUHLENBERGIA C. 'REGAL MIST'	PINK MUHLY
	MUHLENBERGIA RIGENS	DEER GRASS
	OLEA 'MONTRA'	LITTLE OLLIE
	RHAMPHOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN
	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY
	WESTRINGIA F. 'WYNYABBIE GEM'	COAST ROSEMARY
	WESTRINGIA 'MUNDI'	MUNDI COAST ROSEMARY

PROPOSED PLANTING - MSE WALL

SHRUBS, GRASSES, & GROUNDCOVERS		
SYMBOL	BOTANICAL NAME	COMMON NAME
	FICUS PUMILA	CREeping FIG
	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY
	VERBENA SPP.	VERBENA
	LORNICERA JAPONCA.	HONEYSUCKLE
	BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA

PROPOSED PLANTING - SLOPES

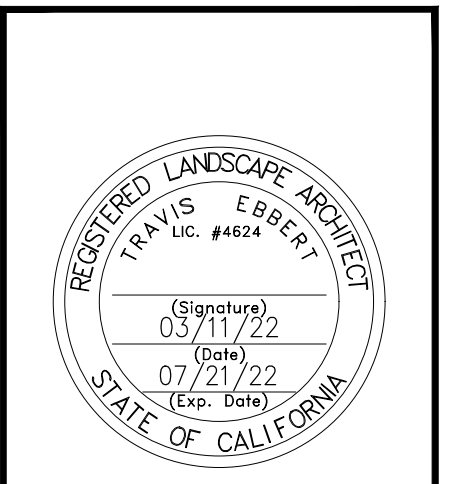
SHRUBS, GRASSES, & GROUNDCOVERS		
SYMBOL	BOTANICAL NAME	COMMON NAME
	ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA
	BOUGAINVILLEA 'LA JOLLA'	RED SHRUB BOUGAINVILLEA
	COTONEASTER DAMMERI 'LOWFAST'	BEARBERRY COTONEASTER
	ECHIUM FASTUOSUM	PRIDE OF MADEIRA
	HETEROMELES ARBUTIFOLIA	TOYON
	LIMONIUM PEREZII	SEA LAVENDER
	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	PROSTRATE MYOPORUM
	RHUS OVATA	SUGAR BUSH
	NATIVE HYDROSEED MIX	COASTAL / MARITIME SCRUB

PROPOSED PLANTING - TREE WELL BMP

SHRUBS, GRASSES, & GROUNDCOVERS		
SYMBOL	BOTANICAL NAME	COMMON NAME
	JUNCUS PATENS	GRAY RUSH
	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE
	CAREX SPISSA	SAN DIEGO SEDGE
	MUHLENBERGIA RIGENS	DEERGRASS

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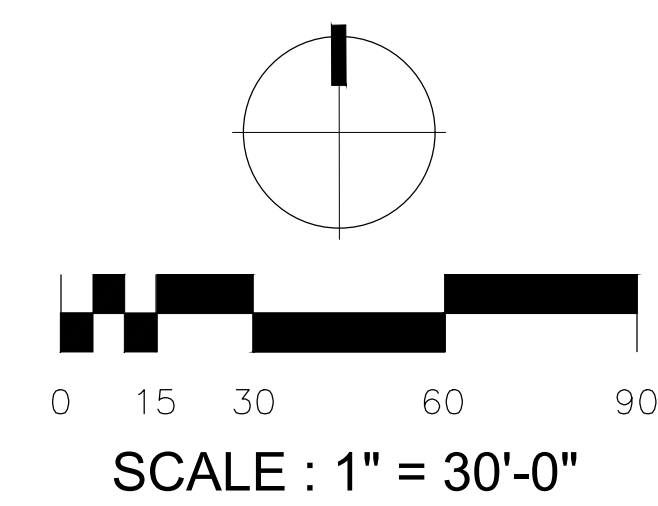


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PRELIMINARY LANDSCAPE PLAN		
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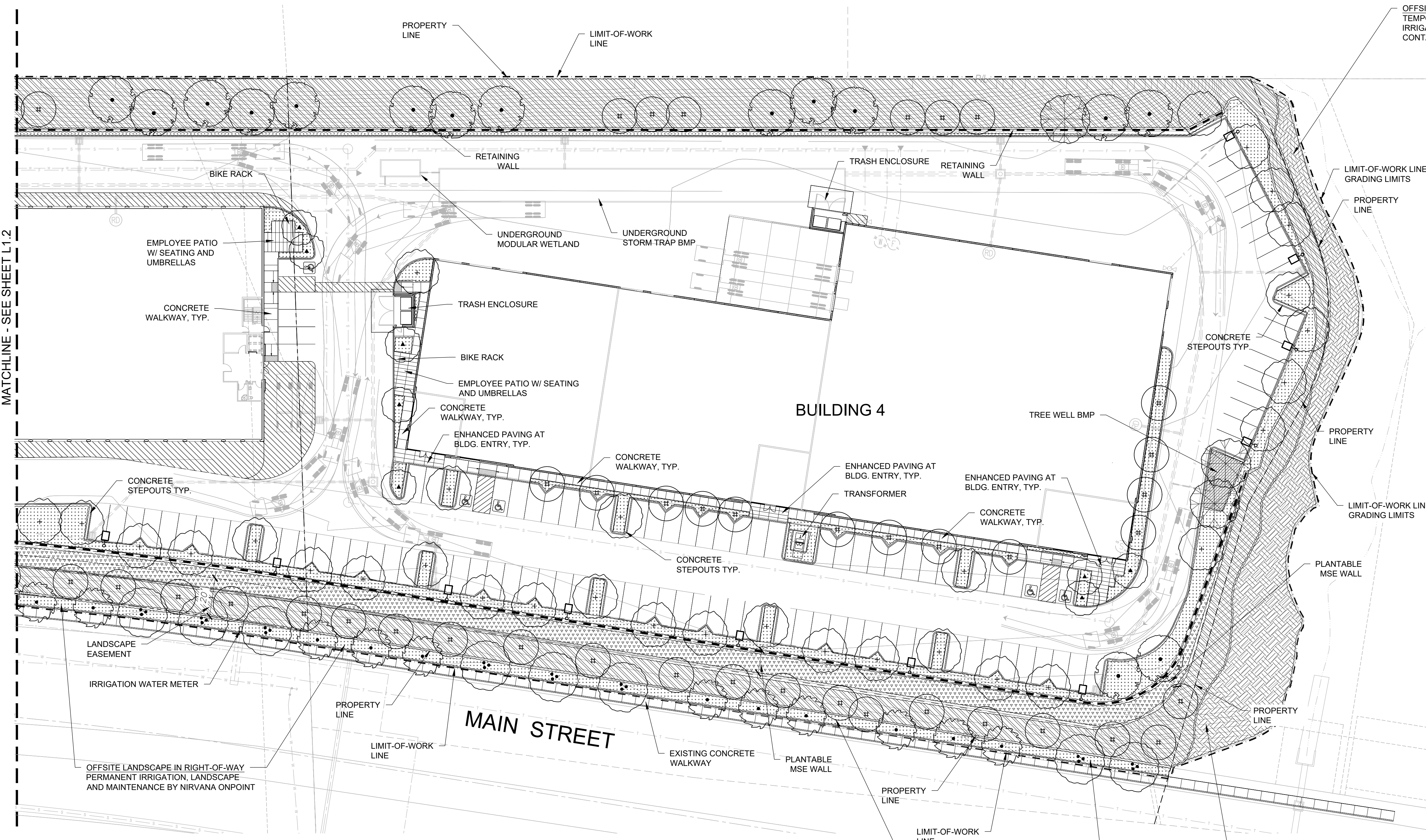


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PROPOSED PLANT SCHEDULE

TREES

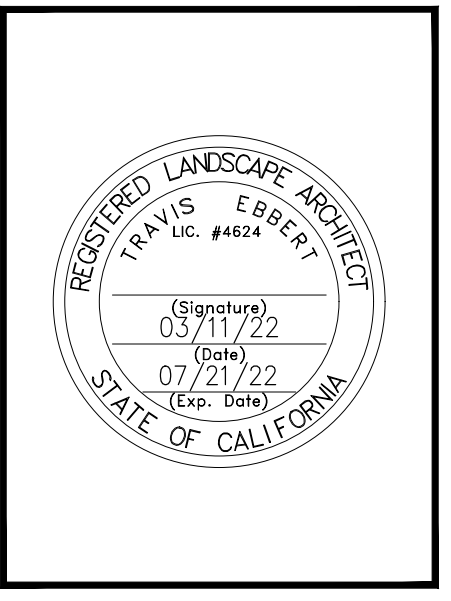
SYMBOL	BOTANICAL NAME	COMMON NAME
	CERCIS OCCIDENTALIS	WESTERN REDBUD
	LOPHOSTEMON CONFERTUS	BRISBANE BOX
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE
	QUERCUS AGRIFOLIA	COAST LIVE OAK
	RHUS LANCEA	AFRICAN SUMAC

SHRUBS, GRASSES, & GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME
	BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH
	CARISSA M. 'GREEN CARPET'	DWARF NATAL PLUM
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	WESTRINGIA F. 'WYNYABBIE GEM'	COAST ROSEMARY
	WESTRINGIA 'MUNDI'	MUNDI COAST ROSEMARY

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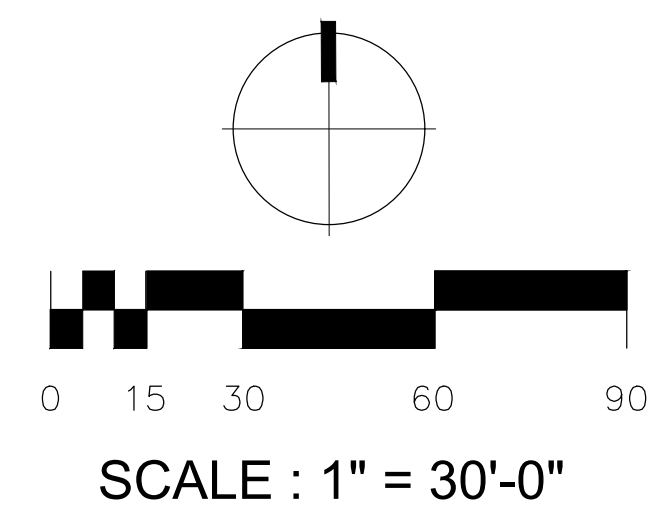
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PRELIMINARY LANDSCAPE PLAN

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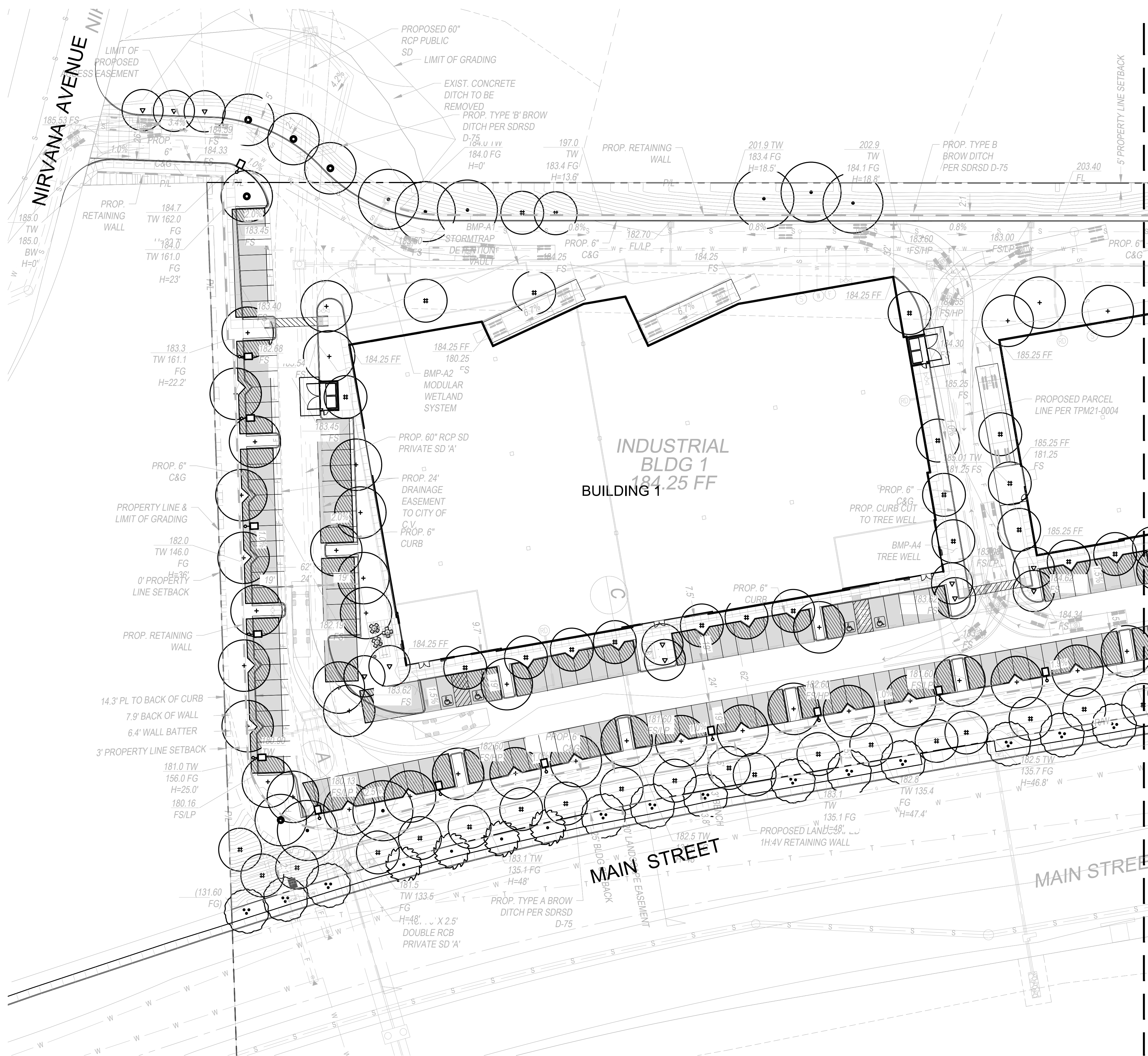
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SHADE CALCULATION

TOTAL AREA OF PARKING STALLS	= 54,764 S.F.
TOTAL REQUIRED SHADE AREA (50%)	= 27,382 S.F.
TOTAL AREA OF SHADE FROM TREES (TREES AT 5 YEARS MATURITY)	= 28,603 S.F.
TOTAL SHADED AREA	= 28,603 S.F. (52.2%)

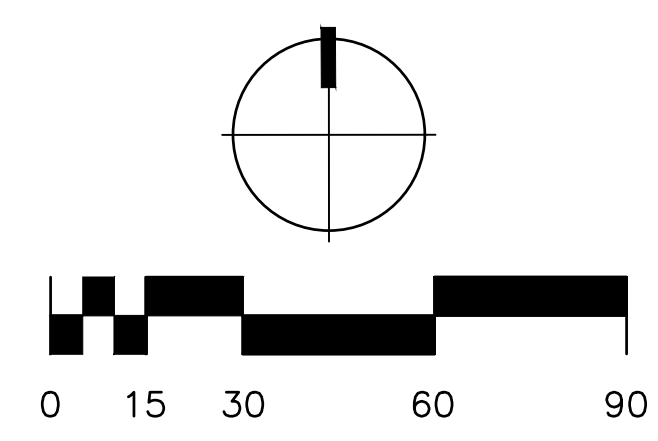
SHADE AND PAVING LEGEND

- [Hatched Box] AREA OF PARKING STALLS & ASSOCIATED VEHICULAR CIRCULATION
- [Dotted Box] SHADE PROVIDED BY TREES AT 5 YEARS GROWTH

PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
▽	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX STD.
#	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL. STD.
●	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX STD.
•	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX STD.
+	RHUS LANCEA	AFRICAN SUMAC	24" BOX STD.

MATCHLINE - SEE SHEET L2.2



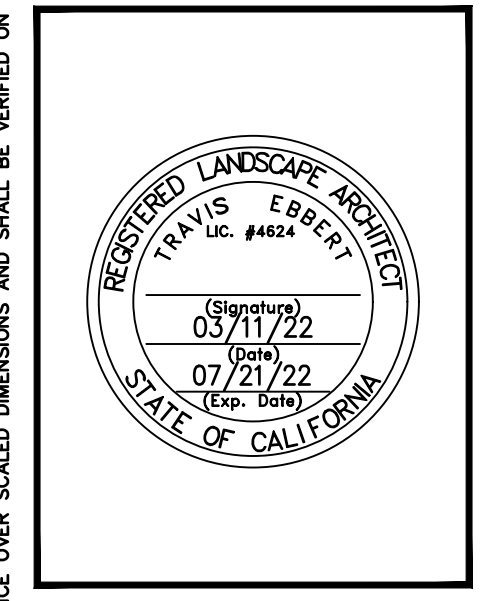
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PRELIMINARY SHADING DIAGRAM

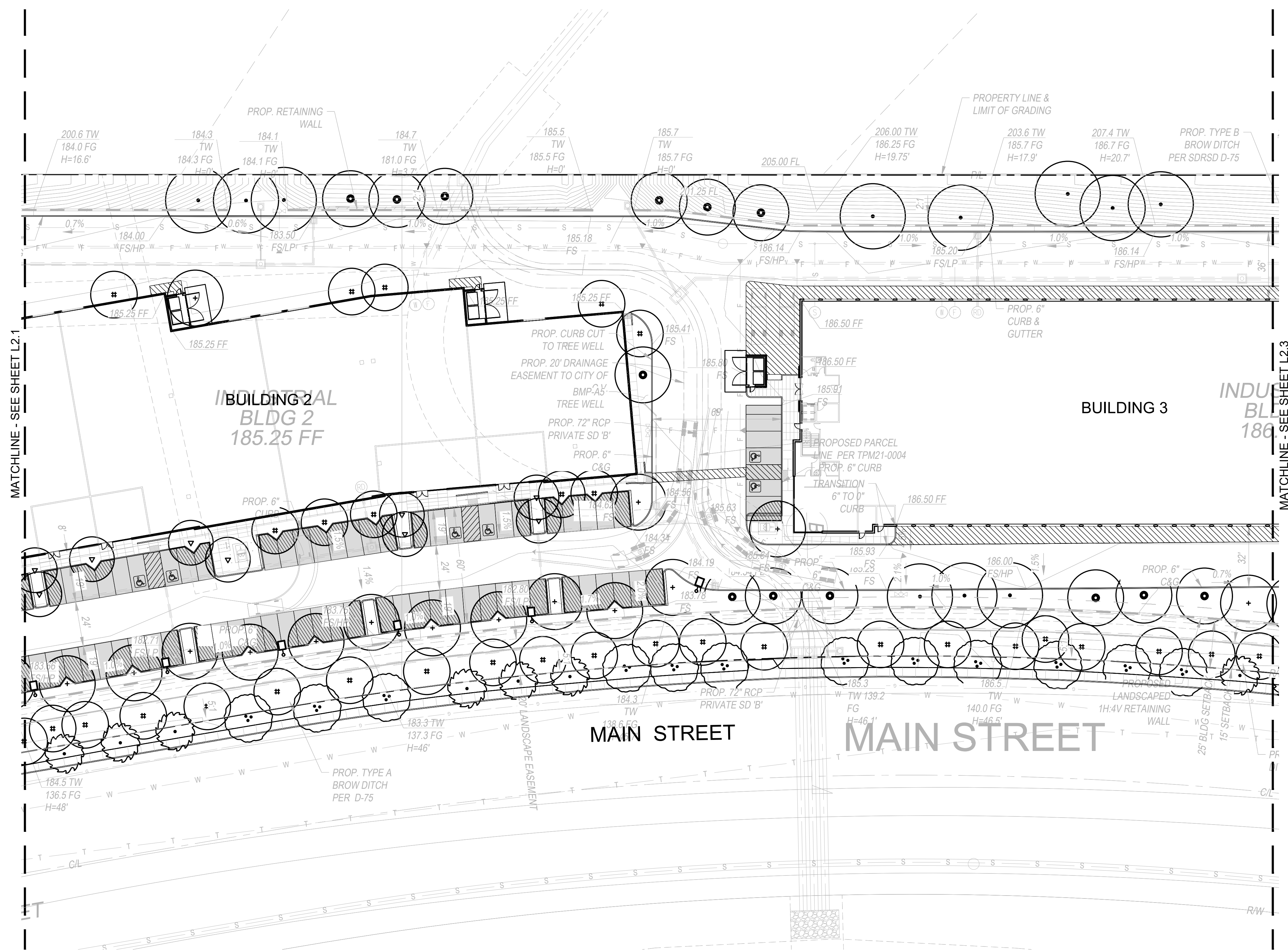
REVISIONS	APP	DATE

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JOB NO.:	SDG21-0055-00

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SHADE CALCULATION

TOTAL AREA OF PARKING STALLS	= 54,764 S.F.
TOTAL REQUIRED SHADE AREA (50%)	= 27,382 S.F.
TOTAL AREA OF SHADE FROM TREES (TREES AT 5 YEARS MATURITY)	= 28,603 S.F.
TOTAL SHADED AREA	= 28,603 S.F. (52.2%)

SHADE AND PAVING LEGEND

- [Hatched Box] AREA OF PARKING STALLS & ASSOCIATED VEHICULAR CIRCULATION
- [Dotted Box] SHADE PROVIDED BY TREES AT 5 YEARS GROWTH

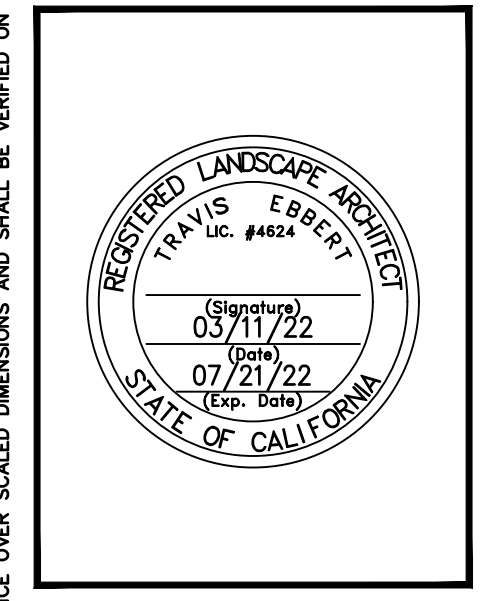
PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
▽	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX STD.
#	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL. STD.
●	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX STD.
•	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX STD.
+	RHUS LANCEA	AFRICAN SUMAC	24" BOX STD.

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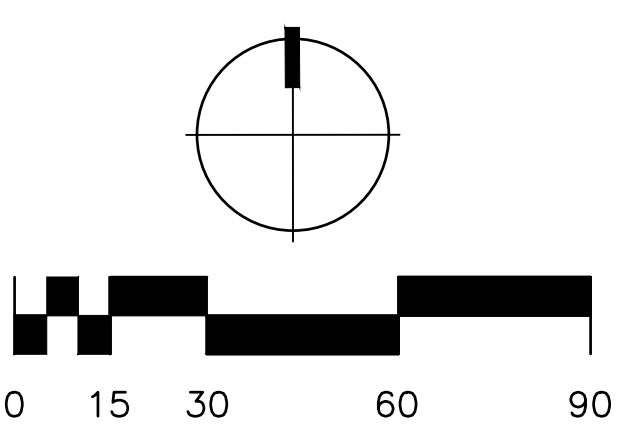
NIRVANA ONPOINT DEVELOPMENT
821 MAIN STREET
CHULA VISTA, CA 91911

PRELIMINARY SHADING DIAGRAM

REVISIONS	APP	DATE

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JOB NO.:	SDG21-0055-00

SHEET
L2.2

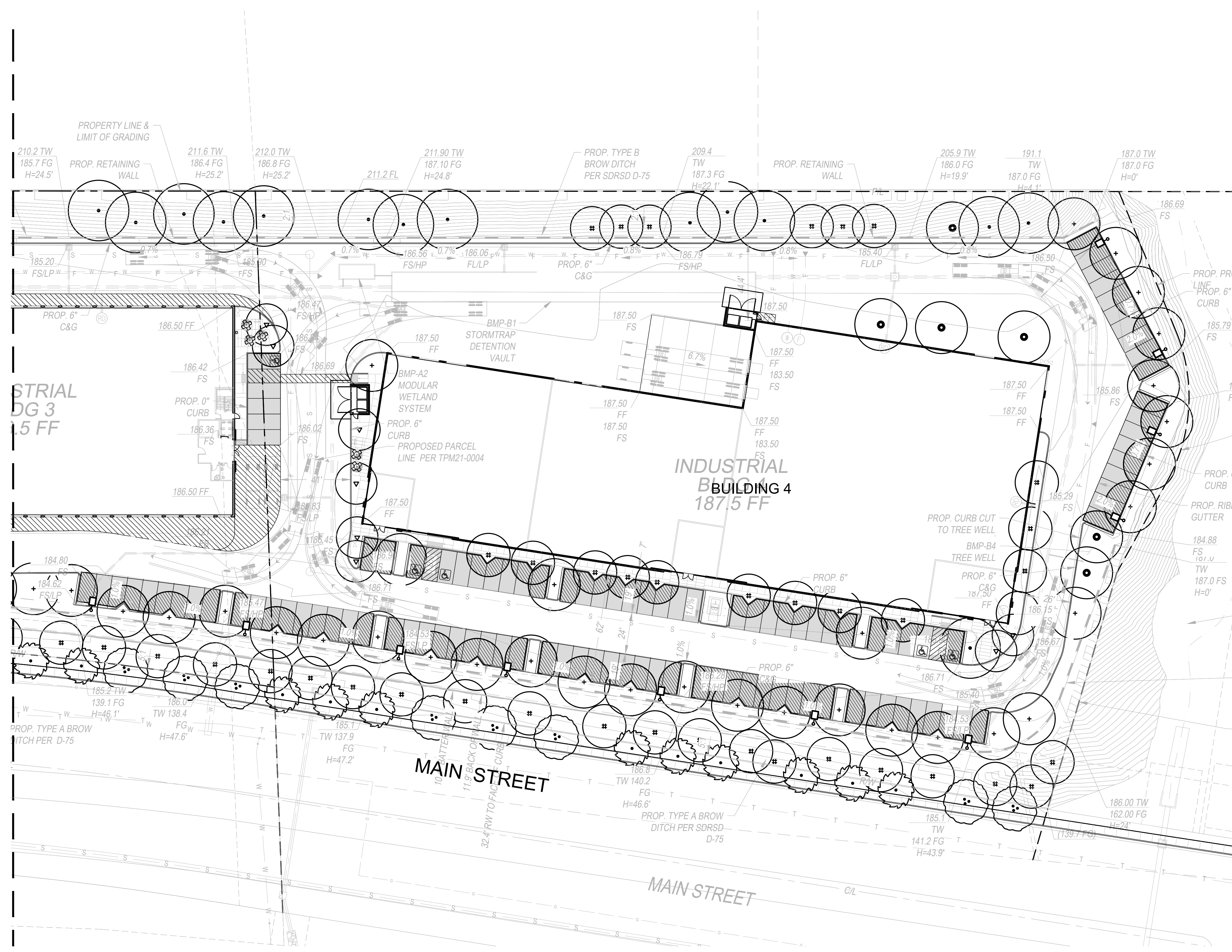


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MATCHLINE - SEE SHEET L1.2



SHADE CALCULATION

TOTAL AREA OF PARKING STALLS	= 54,764 S.F.
TOTAL REQUIRED SHADE AREA (50%)	= 27,382 S.F.
TOTAL AREA OF SHADE FROM TREES (TREES AT 5 YEARS MATURITY)	= 28,603 S.F.
TOTAL SHADED AREA	= 28,603 S.F. (52.2%)

SHADE AND PAVING LEGEND

- [Hatched Box] AREA OF PARKING STALLS & ASSOCIATED VEHICULAR CIRCULATION
- [Dotted Box] SHADE PROVIDED BY TREES AT 5 YEARS GROWTH

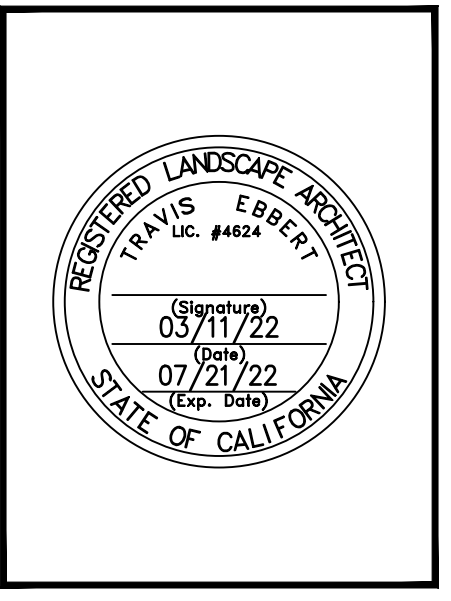
PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
▽	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX STD.
#	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL. STD.
●	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX STD.
•	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX STD.
+	RHUS LANCEA	AFRICAN SUMAC	24" BOX STD.

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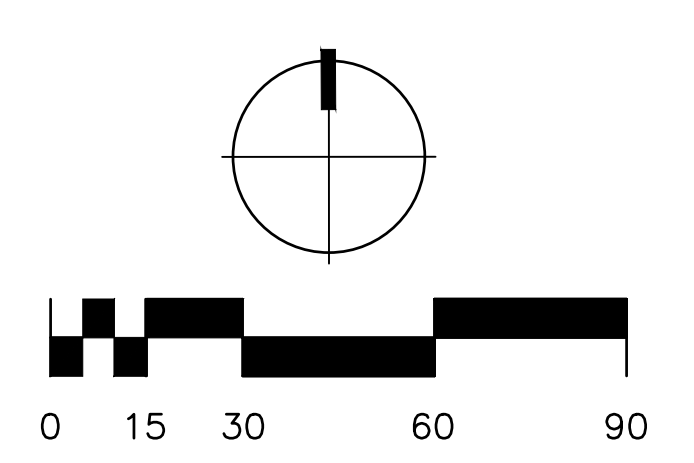
NIRVANA ONPOINT DEVELOPMENT
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PRELIMINARY SHADING DIAGRAM

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SHEET
L2.3

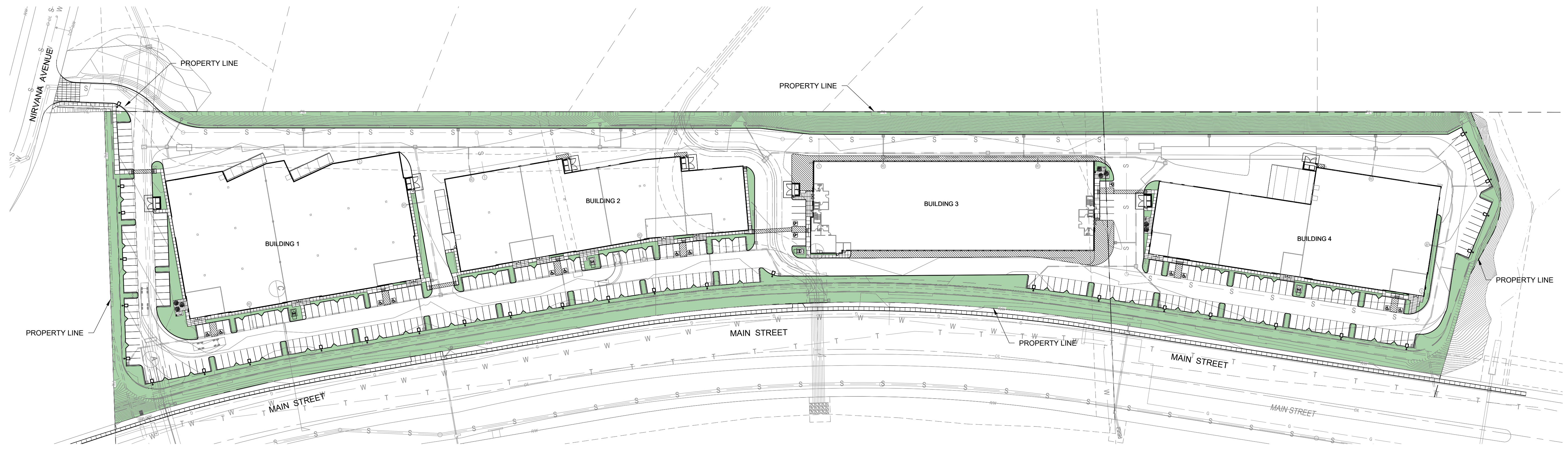


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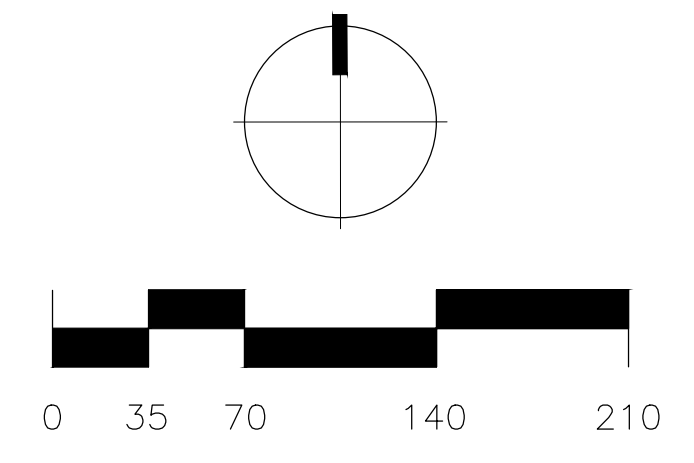
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LANDSCAPE TABULATIONS

TOTAL SITE AREA	=	579,977 S.F.
TOTAL SITE LANDSCAPE AREA REQUIRED (15%)	=	86,997 S.F.
TOTAL LANDSCAPE PROVIDED	=	134,688 S.F. (23%)
TOTAL PARKING LOT AREA	=	78,015 S.F.
TOTAL PARKING LOT LANDSCAPE AREA REQUIRED (10%)	=	7,802 S.F.
TOTAL PARKING LOT LANDSCAPE AREA PROVIDED	=	16,947 S.F. (21%)

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LANDSCAPE AREA TABULATIONS

REVISIONS	APP	DATE

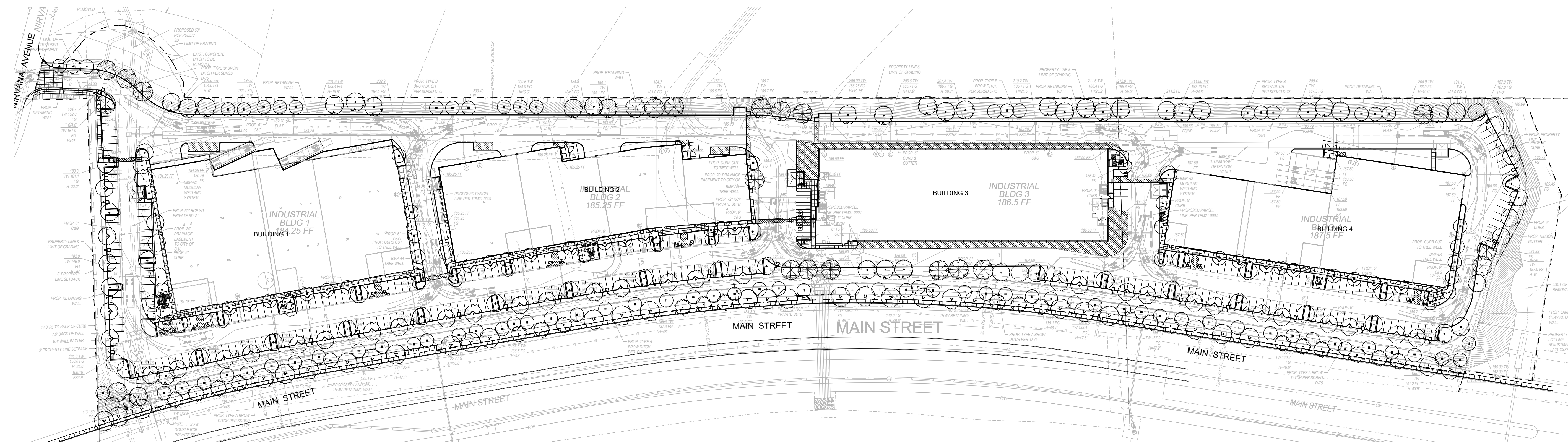
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MAIN STREET PROPOSED TREES

TREES								
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN.)	WATER USE	DESCRIPTION	DETAIL	QTY.
	PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX STD.	10'H X 6'W X 1-1/2" CAL.	L	SMALL FLOWERING TREE	A,B	27
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX STD.	10'H X 3'W X 1-1/4" CAL.	M	VERTICAL EVERGREEN	C	14
	SCHINUS MOLLE	CALIFORNIA PEPPER	24" BOX STD.	6'H X 5'W X 1-1/2" CAL.	VL	DECIDUOUS CANOPY	A,B	18

WATER USE KEY:
 VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

PROPOSED PLANTING - MSE WALL

SHRUBS, GRASSES, & GROUNDCOVERS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	FICUS PUMILA	CREeping FIG	4" POT	1 PER CELL	M	SPREADING VINE
	ROSMARINUS O. PROSTRATUS	PROSTRATE ROSEMARY	4" POT	1 PER CELL	L	TRAILING EVERGREEN
	VERBENA SPP.	VERBENA	4" POT	1 PER CELL	L	TRAILING PERENNIAL
	LORNICERA JAPONICA.	HONEYSUCKLE	4" POT	1 PER CELL	L	TRAILING PERENNIAL
	BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	4" POT	1 PER CELL	L	TRAILING PERENNIAL

WATER USE KEY:
 VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF CHULA VISTA.

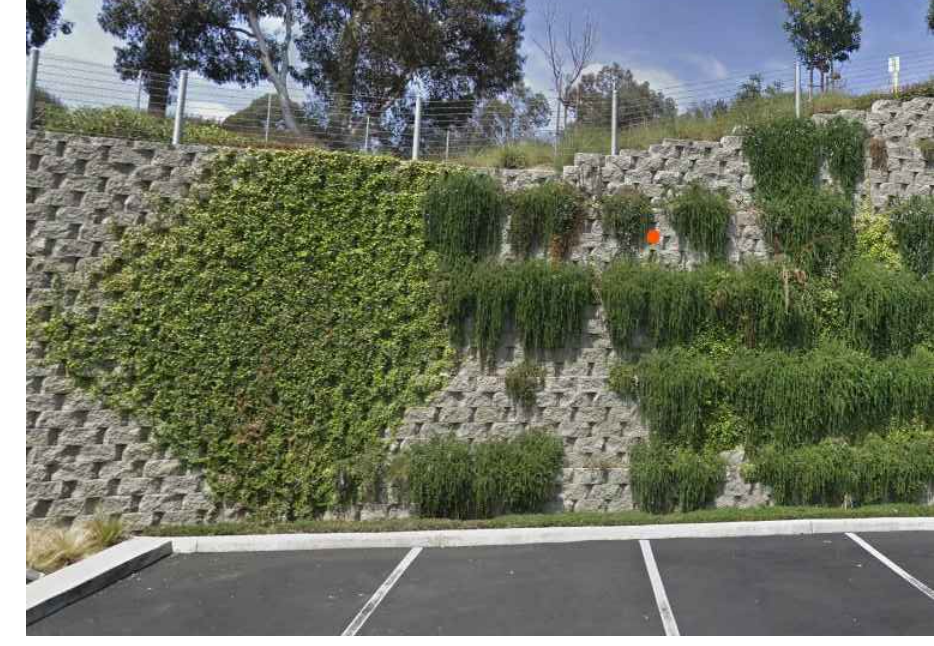
PROPOSED PLANTING - TREE WELL BMP



VERBENA SPP. TRAILING VERBENA



LORNICERA SPP. HONEYSUCKLE



FICUS REPENS CREEPING FIG



ROSMARINUS T. PROSTRATA PROSTRATE MROSEMARY



BOUGAINVILLEA SPP. BOUGAINVILLEA



PINUS CANARIENSIS / CANARY ISLAND PINE



SCHINUS MOLLE / CALIFORNIA PEPPER TREE



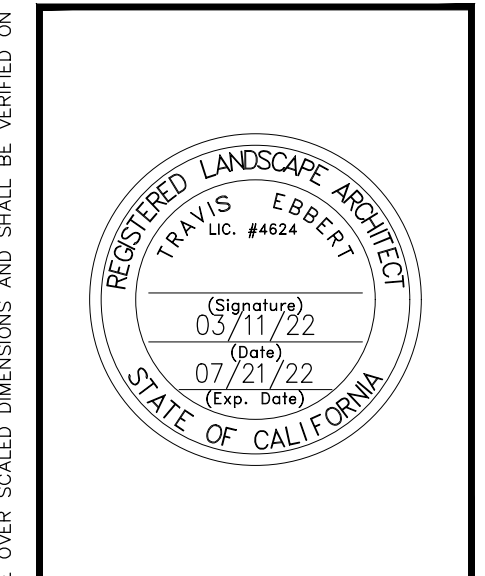
LOPHOSTEMON CONFERTUS / BRISBANE BOX

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MAIN STREET IMPROVEMENTS	
MSE WALL PLANTING	DATE
REVISIONS	APP

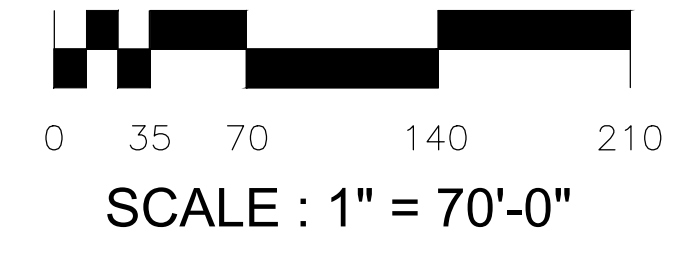
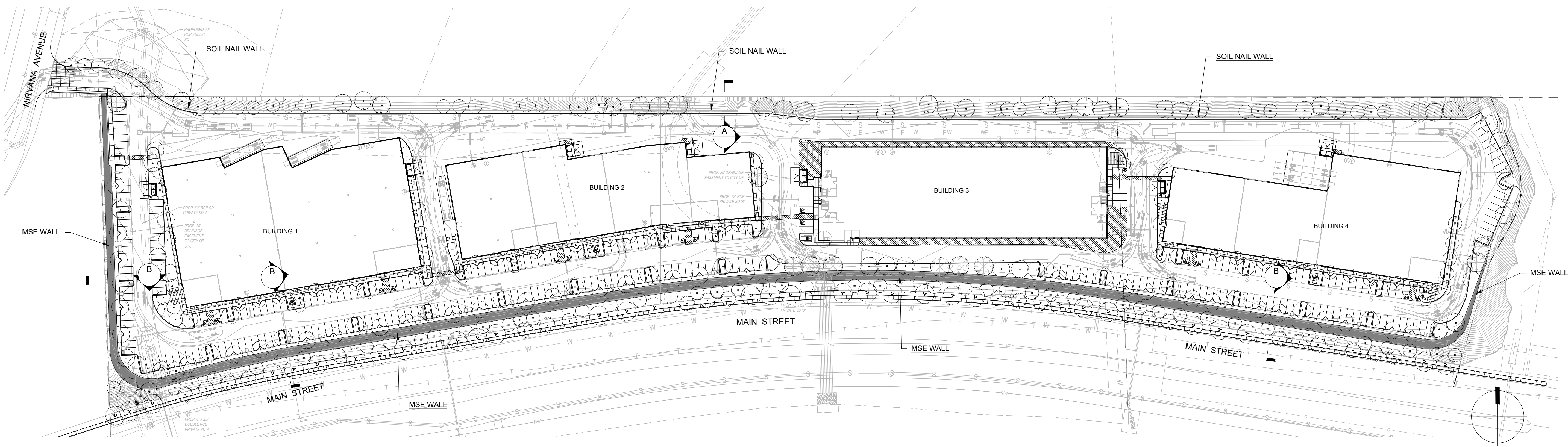
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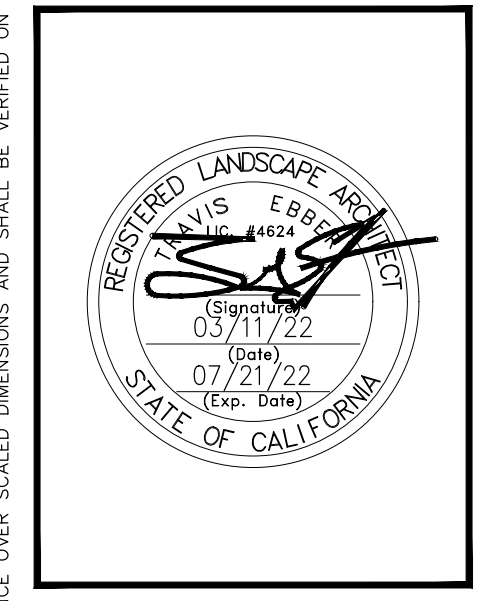
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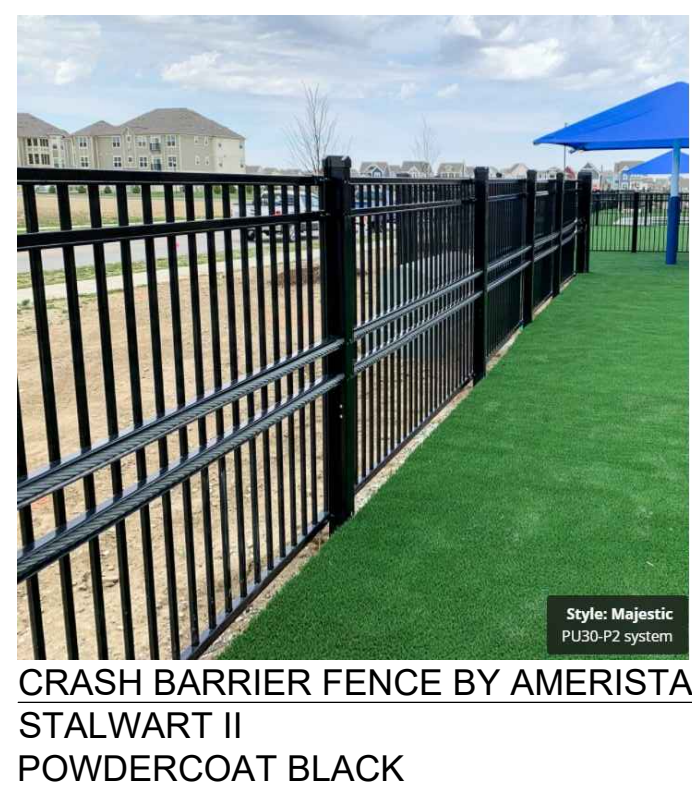
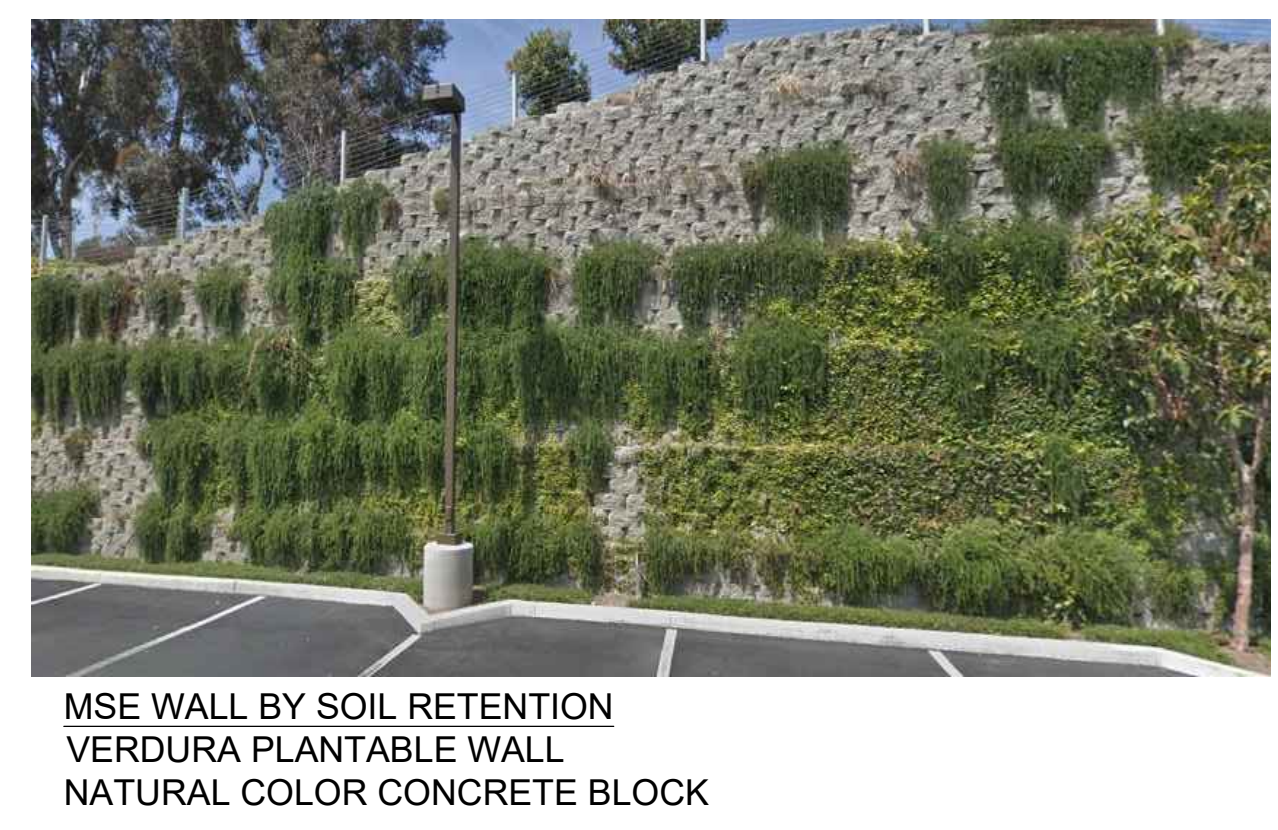
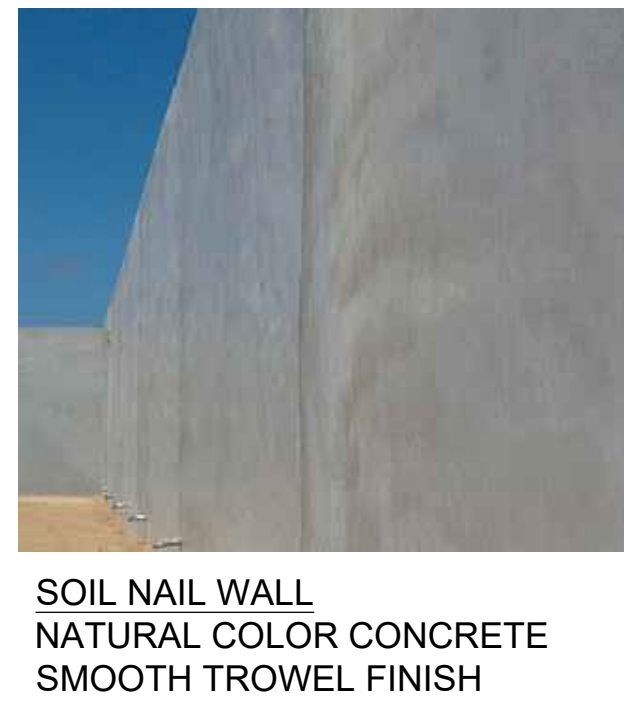
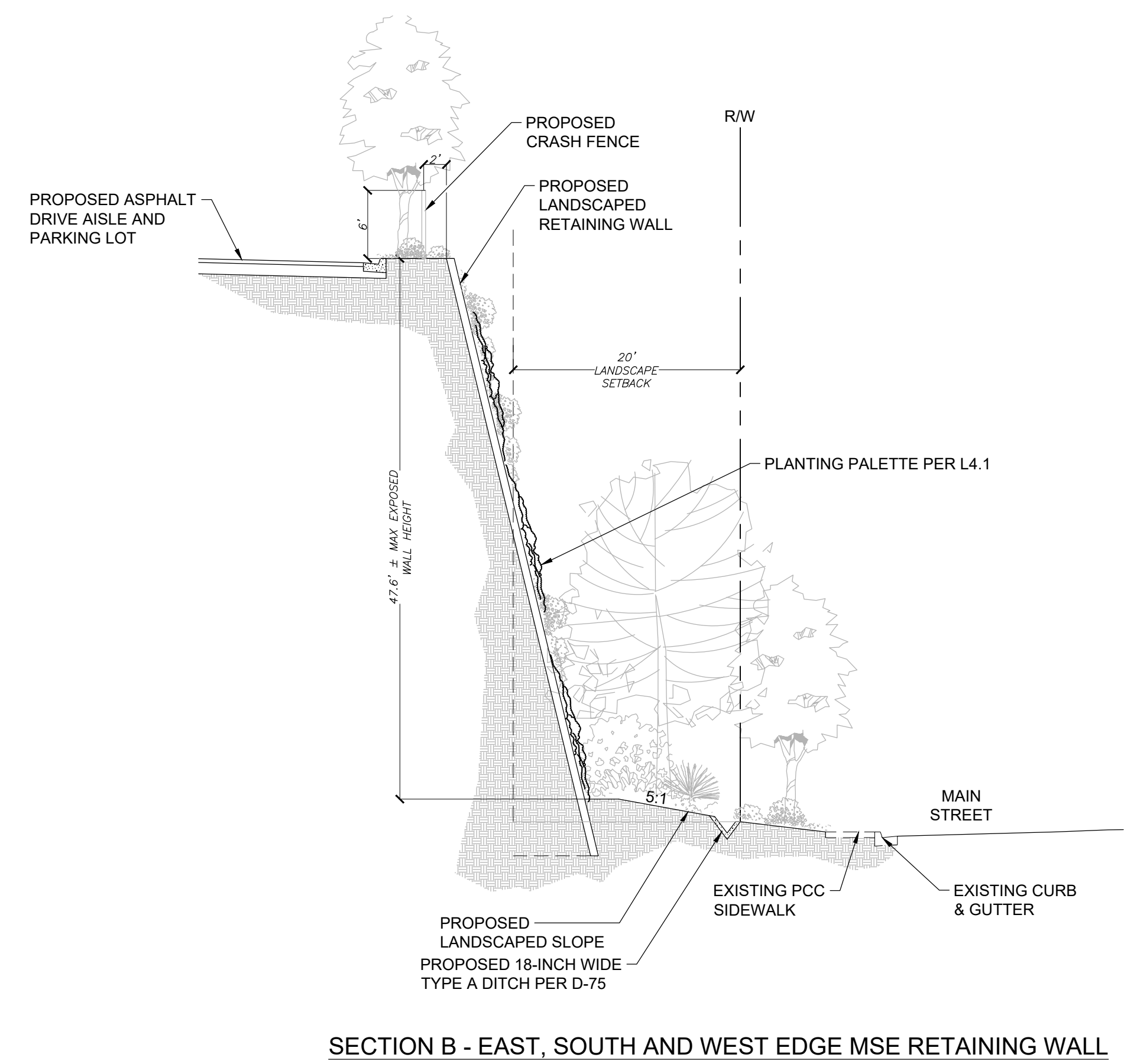
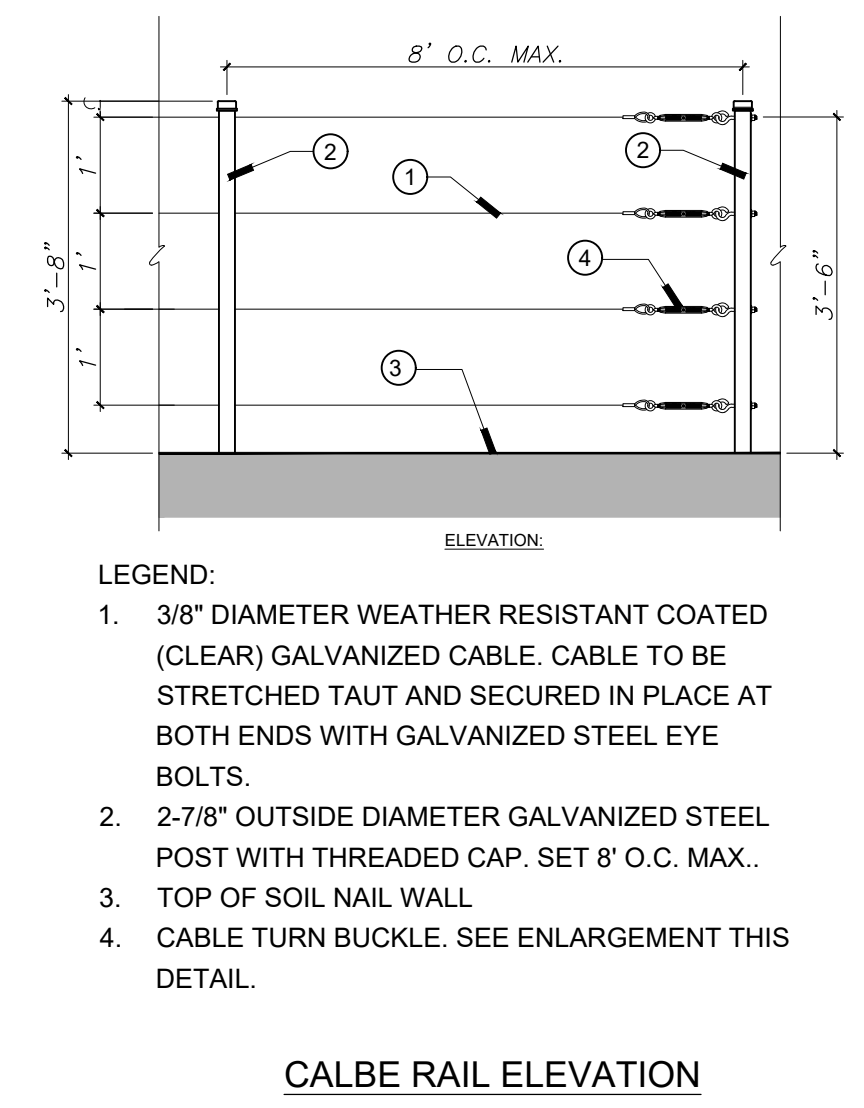
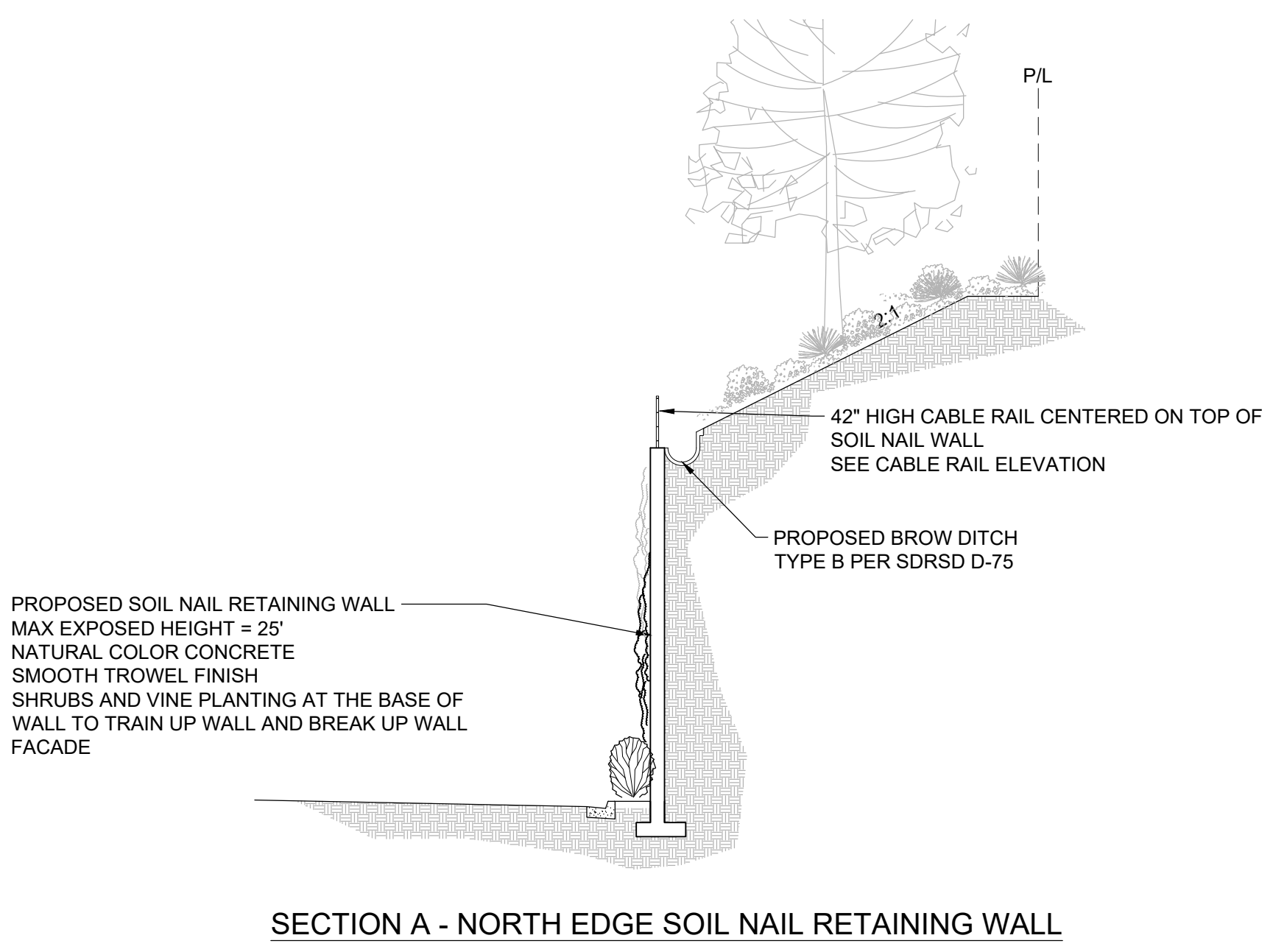


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FENCE AND WALL PLAN	
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