

VICINITY MAP
N.T.S. 5

LAND USE PERMIT & REZONE FOR EXPANSION OF EX. GAS STATION (RAISE & RE-BUILD)

15031, 15045 & 15057 BYRON HWY. BYRON, CA 95514

COUNTY OF CONTRA COSTA

APN: #002-140-010, 002-140-025, & 002-140-027

GROSS AREA: 0.98 ACRE

NET AREA AFTER R.O.W. DEDICATION: 0.75 ACRE

- LAND USE PERMIT, GENERAL PLAN AMENDMENT & RE-ZONE OF THREE PARCELS AS PER PARCEL DETAILS ON THIS SHEET.
- EXISTING C-STORE (2,180 SQ.FT.) & GAS CANOPY (908 SQ.FT.) IN ONE PARCEL TO BE RAISED. NEW C-STORE (3,713 SQ.FT.), GAS CANOPY (4,652 SQ.FT.) & RESTAURANT (1,145 SQ.FT.) TO BE BUILT ON THREE PARCELS.
- SIGNAGE PERMIT BY OTHERS. PRELIMINARY SIGN PROGRAM IS SHOWN ONLY.
- SITE TO BE SERVED BY ONSITE WATER WELL & CONNECTED TO PUBLIC SEWER.
- EXISTING UNDERGROUND STORAGE TANKS (UST'S) TO REMAIN.

SCOPE OF WORK 1

REVISIONS:

NO.	REVISION	ISSUE	DATE

Continental Development Consultants, Inc.
Las Vegas, NV Woodland, CA
Phone (702)347-6137; (530)405-3780 • FAX (702)664-6237
Email: Contact@continentaldc.com
Civil Engineering • Land Planning and Zoning Entitlements • Building Design and Improvements • Construction Consulting

PROPERTY OWNER
15031 BYRON HWY
BYRON CA 95514

CONTACT:
SHAHI JASVIR SINGH
EMAIL: jasvirshahi@att.net

CONSULTANT
CONTINENTAL DEVELOPMENT CONSULTANTS
P.O. BOX 1924
WOODLAND CA 95776

CONTACT:
SUKHJIT TONY SINGH, PRINCIPAL MANAGER
PHONE: (702)287-0347
EMAIL: tony@continentaldc.com

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PROJECT INFORMATION

- I. PROJECT NAME C STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
- II. LOCATION 15031, 15045 & 15057 BYRON HWY. BYRON, CA 95514
- III. APN # 002-140-010, 002-140-025 & 002-140-027
- IV. JURISDICTION COUNTY OF CONTRA COSTA
- V. AREA REFER PARCEL DETAILS TABLE BELOW

PLANNING INFORMATION

I. PARCEL DETAILS:

APN#	GENERAL PLAN DESIGNATION	ZONING		AREA (SQ.FT.)		REMARKS
		EXISTING	PROPOSED	GROSS AREA	NET AREA AFTER R.O.W. DEDICATION	
002-140-027	SH CO	A-2	R-B	7,495	6,245	R.O.W. DEDICATION PROPOSED
002-140-025	SH CO	A-2	R-B	17,986	16,155	R.O.W. DEDICATION PROPOSED
002-140-010	SH CO	R-B	R-B	17,274	10,609	R.O.W. DEDICATION EXISTING (14230 O.R. 593)
TOTAL AREA				42,755 (APPROX. 0.98 ACRE)	33,009 (APPROX. 0.75 ACRE)	

II. SETBACKS (TITLE-8 ZONING, CHAPTER 84 SECTION 84-52.1004)

SETBACK	REQUIRED	PROVIDED	REMARKS
FRONT	10 FT.	140 FT.	ALONG CAMINO DIABLO ROAD
SIDE	NIL	10 FT./150 FT.	ALONG BYRON HIGHWAY AND EAST RESIDENTIAL
REAR	NIL	NIL	ALONG SOUTH RESIDENTIAL

III. HEIGHTS (TITLE-8 ZONING, CHAPTER 84 SECTION 84-52.802)

ALLOWED 50 FT.
PROPOSED 22 FT.

IV. SITE AREA ANALYSIS:

TOTAL AREA 33,009 SQ.FT.

IMPERVIOUS AREA		REMARKS
BUILDING	4,513 SQ.FT. (13.7%)	
RETAINING & MASONRY BLOCK WALL	207 SQ.FT. (0.6%)	
CONCRETE PAVING (INCL. CANOPY AREA)	7,745 SQ.FT. (23.4%)	
ASPHALT PAVING	10,849 SQ.FT. (32.9%)	
PERVIOUS AREA		
LANDSCAPING INCL. RETENTION POND	9,080 SQ.FT. (27.5%)	REFER 1/LP-RZ-2.1
POROUS ASPHALT	615 SQ.FT. (1.9%)	REFER 2/LP-RZ-2.1
TOTAL	33,009 SQ.FT. (100%)	

V. PARKING ANALYSIS (TITLE-8 ZONING, CHAPTER 82)

- a) REQUIRED 34.6 = 35 SPACES
- GAS STATION INCL. CONVENIENCE MARKET @ 0.9' FUELING POSITION (SECTION 82-16.406(8)) 12 x 0.9 = 10.8
 - RETAIL STORE @ 1/300 SF. OF GROSS FLOOR AREA (SECTION 82-16.406(20)) 3,713/300 = 12.37
 - RESTAURANT @ 1/100 SF. OF GROSS FLOOR AREA (SECTION 82-16.406(17)) 1,147/100 = 11.47
- PROVIDED 35 SPACES
- b) COMPACT CAR PARKING SPACE (SECTION 82-16.404.b(1))
REQUIRED: 6 (MAX. 25% OF TOTAL REQUIRED CAR PARKING)
PROVIDED: 5
- c) ACCESSIBLE PARKING (PER SECTION 11-B 208.2.4, 2019 CBC)
REQUIRED: 2
PROVIDED: 2
- d) ELECTRIC VEHICLE CHARGING STATION (TABLE 5.106.5.3.3)
REQUIRED: 3
PROVIDED: 3
- e) BICYCLE PARKING (SECTION 82-16.412(c))

BLDG. TYPE	REQUIRED	PROVIDED	REMARKS
LONG-TERM BICYCLE PARKING			
C-STORE	2	2	BICYCLE LOCKERS ARE PROPOSED
RESTAURANT	2	2	
SHORT-TERM BICYCLE PARKING			
C-STORE	2	2	BICYCLE RACKS ARE PROPOSED
RESTAURANT	2	2	

BUILDING INFORMATION

I. AREA BREAKDOWN:

BUILDING TYPE	OCC. GROUP	TYPE OF CONST.	# OF STORIES	AREAS	REMARKS
C-STORE	M	V-B	2	3,713 SQ.FT.	FIRST FL. = 3368 SQ.FT. SECOND FL. = 345 SQ.FT.
RESTAURANT	B	V-B	1	1,145 SQ.FT.	
GAS CANOPY	M	II-B	1	4,652 SQ.FT.	
TRASH ENCLOSURE	U	II-B	1	120 SQ.FT.	

- II. BUILDING CODES: 2019 CALIFORNIA BUILDING CODE
..... 2019 CALIFORNIA PLUMBING CODE
..... 2019 CALIFORNIA ENERGY CODE
..... 2019 GREEN BUILDING CODE
..... 2019 CALIFORNIA MECHANICAL CODE
..... 2019 CALIFORNIA ELECTRICAL CODE
..... 2019 CALIFORNIA FIRE CODE
- III. FIRE PROTECTION: YES, FULLY AUTOMATIC FIRE SPRINKLERS & FIRE ALARMS
- IV. FIRE RATED WALL: 4HR. RATED (EXTERIOR) @ SOUTH-EAST SIDE

V. PLUMBING FIXTURE ANALYSIS:

a) C-STORE		
OCCUPANCY GROUP-M		
TOTAL AREA		3,713 SQ.FT.
OCCUPANT LOAD (2019 CPC - SEC. 422.1 & TABLE A)		
C-STORE/RETAIL		3,713/200 = 18.5
TOTAL OCCUPANTS		19
b) RESTAURANT		
OCCUPANCY GROUP-B		
TOTAL AREA		1,145 SQ.FT.
OCCUPANT LOAD (2019 CPC - SEC. 422.1 & TABLE A)		
A) DINING		317/30 = 10.5
B) REMAINING AREA		828/200 = 4.2
TOTAL OCCUPANTS		14.7 = 15
c) # OF OCCUPANTS		
RESTAURANT (B OCC.) (15 OCCUPANTS)	50 OR LESS OCCUPANT LOAD OCCUPANCIES REQUIRES ONE RESTROOM. (SEC. 422.2: EXCEP.(3))	ONE ALL GENDER RESTROOM
C-STORE (M OCC.) (19 OCCUPANTS)		ONE MEN & ONE WOMEN RESTROOM @ FIRST FLOOR ONE EMPLOYEE RESTROOM @ SECOND FLOOR

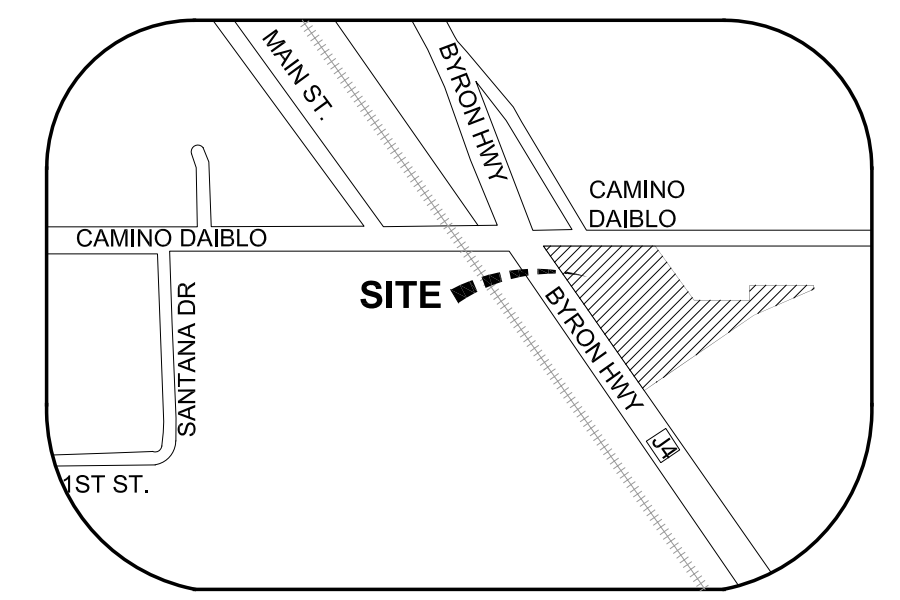
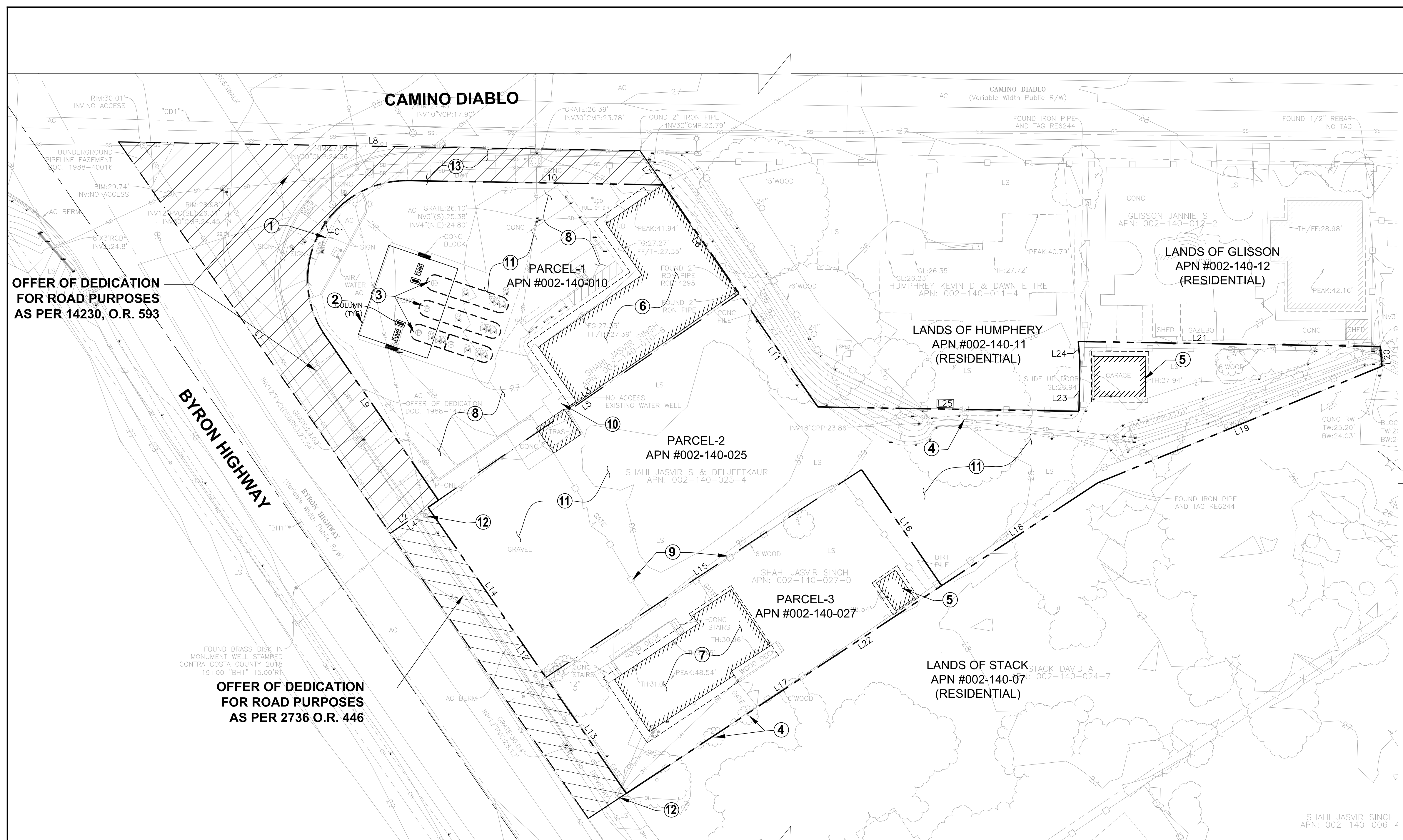
COVER SHEET

TITLE
PROJECT
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYRON HWY
BYRON, CONTRA COSTA COUNTY, CA 94514

DATE: 07/12/2021
JOB: JSS-BR-01
DWG BY: DV
CHK BY: SPK

LP-RZ-1.0

PROJECT DATA 2



VICINITY MAP
N.T.S

LEGEND

- PROPERTY LINE
- ROAD CENTER LINE
- (E) PROPERTY BOUNDARY
- PARCEL LINE
- EXISTING GRADE BREAK LINE
- EXISTING PROPERTY BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING STREET CENTERLINE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE AS NOTED
- EXISTING BUILDING LINE AT GROUND LEVEL
- EXISTING BUILDING OVERHANG
- EXISTING FENCE LINE
- EXISTING WOOD FENCE
- EXISTING PAINT LINE
- EXISTING RETAINING WALL AS NOTED
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- ASPHALTIC CONCRETE
- CONCRETE
- CURB INLET W/ CATCH BASIN
- CORRUGATED METAL PIPE
- CORRUGATED PLASTIC PIPE
- DRAINAGE INLET
- DRIVEWAY
- ELECTRIC
- FINISHED FLOOR
- FLOW LINE
- FLOW LINE
- FINISHED GRADE
- GRADE BREAK
- GARAGE LIP
- HIGH DENSITY POLY ETHYLENE
- LIP OF GUTTER
- LANDSCAPING
- ON GRADE
- REINFORCED CONCRETE BOX
- RIGHT OF WAY
- RETAINING WALL
- STORM DRAIN
- SANITARY SEWER
- SIDEWALK
- TELECOMMUNICATION
- TOP BACK OF CURB
- TOP OF CURB
- THRESHOLD
- TRAFFIC SIGNAL
- UNIDENTIFIED UTILITY VAULT
- WATER
- BOLLARD
- 990 DRAIN CLEAN OUT
- EQO ELECTRIC GROUND
- EM ELECTRIC MANHOLE
- EM ELECTRIC METER
- FOUND SURVEY MONUMENT
- ▲ SURVEY CONTROL POINT AS NOTED
- ▲ GAS METER
- ▲ GAS VALVE
- ▲ GUY WIRE
- ▲ IRRIGATION CONTROL VALVE
- ▲ PETROLEUM MANHOLE
- ▲ SANITARY SEWER CLEAN OUT
- ▲ SANITARY SEWER MANHOLE
- ▲ SIGN
- ▲ STREET LIGHT W/MAST
- ▲ STORM DRAIN MANHOLE
- ▲ TELECOMMUNICATION MANHOLE
- ▲ TRAFFIC SIGNAL VAULT
- ▲ UTILITY POLE
- ▲ UTILITY VAULT AS NOTED
- ▲ WATER METER
- ▲ WATER VALVE
- ▲ CONTOUR ELEVATION
- ▲ SPOT ELEVATION
- ▲ BYRON HIGHWAY IMPROVEMENT PLANS
- ▲ TREE W/ TRUNK Ø

Parcel Table			
Line #/ Curve #	Length	Direction/Delta	Radius
C1	76.80'	125°43'14"	35.00'
L1	168.81'	S34° 46' 03"E	
L2	20.99'	N55° 28' 57"E	
L3	128.95'	N55° 28' 57"E	
L4	16.20'	S55° 28' 57"W	
L5	133.73'	N55° 28' 57"E	
L6	46.84'	N34° 46' 03"W	
L7	14.78'	N34° 46' 03"W	
L8	184.69'	N89° 02' 27"W	
L9	70.74'	N34° 45' 42"W	
L10	90.54'	S89° 02' 27"E	
L11	48.93'	S34° 46' 03"E	
L12	123.29'	S34° 45' 55"E	
L13	50.00'	N34° 46' 03"W	
L14	73.29'	N34° 45' 50"W	
L15	133.80'	N56° 37' 00"E	
L16	50.00'	S34° 38' 00"E	
L17	133.68'	S56° 37' 04"W	
L18	66.12'	N56° 36' 52"E	
L19	108.95'	N67° 40' 10"E	
L20	6.98'	N04° 39' 27"W	
L21	107.03'	N89° 02' 27"W	
L22	199.80'	N56° 37' 00"E	
L23	17.80'	N00° 57' 33"E	
L24	6.98'	S04° 39' 27"E	
L25	92.48'	S89° 02' 27"E	

1 EXISTING SITE PLAN

- CONSTRUCTION NOTES:**
- 1 SIGN TO BE REPLACED UNDER SEPARATE PERMIT
 - 2 GAS CANOPY TO BE DEMOLISHED & DISPENSERS TO BE REMOVED
 - 3 UNDERGROUND STORAGE TANKS : 10K GALLONS GAS (REGULAR), 10K GALLONS DSL, 15K (10+5) GALLONS GAS (PREMIUM) TO REMAIN
 - 4 REMOVE EXISTING TREE
 - 5 STORAGE BUILDING TO BE DEMOLISHED
 - 6 C-STORE BUILDING TO BE DEMOLISHED AND REBUILD
 - 7 EX. RESIDENCE TO BE DEMOLISHED
 - 8 EXISTING PARKING TO BE RELOCATED & REDESIGNED
 - 9 FENCE TO BE REMOVED
 - 10 WATER WELL TO BE ABANDONED
 - 11 SITE IMPROVEMENTS PER PLAN
 - 12 POWER POLE TO REMAIN
 - 13 DRIVEWAY TO REMAIN

TOPOGRAPHIC SURVEY NOTE:
 INFORMATION SHOWN ON THIS PLAN IS BASED ON TOPOGRAPHIC SURVEY DATED 05/03/2021 PREPARED BY SLS AND SHOWN ON SHEET C2.0, C2.1.1 & C2.1.2.

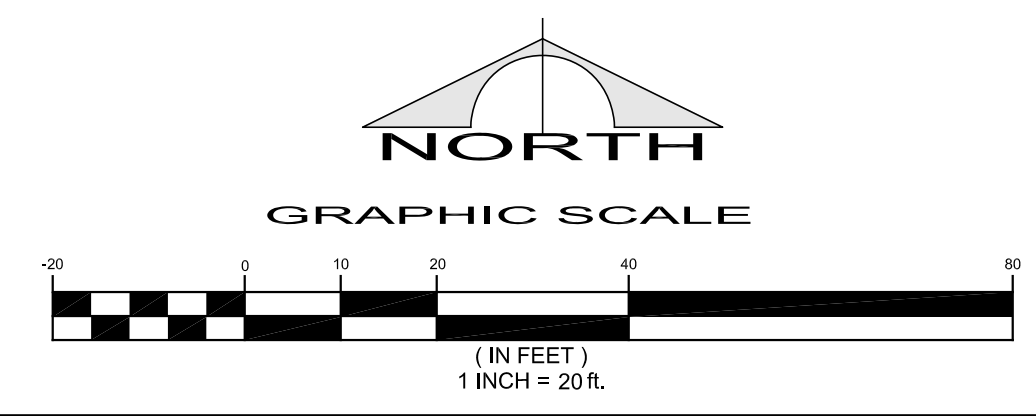
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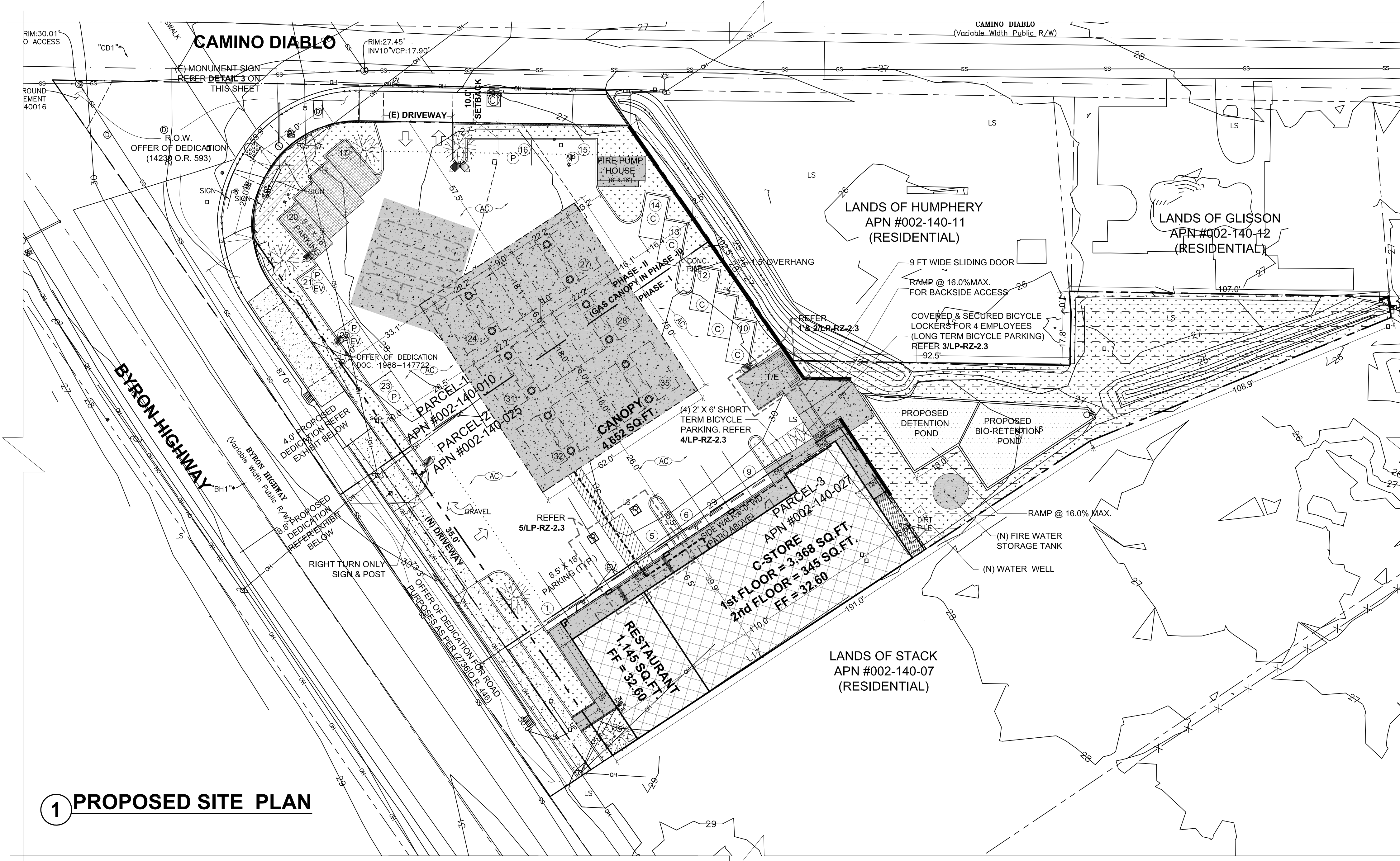
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 Las Vegas, NV Woodland, CA
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EXISTING SITE & DEMOLITION PLAN
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
 15031, 15045 & 15057 BYORN HWY
 BYRON, CONTRA COSTA COUNTY, CA 94514

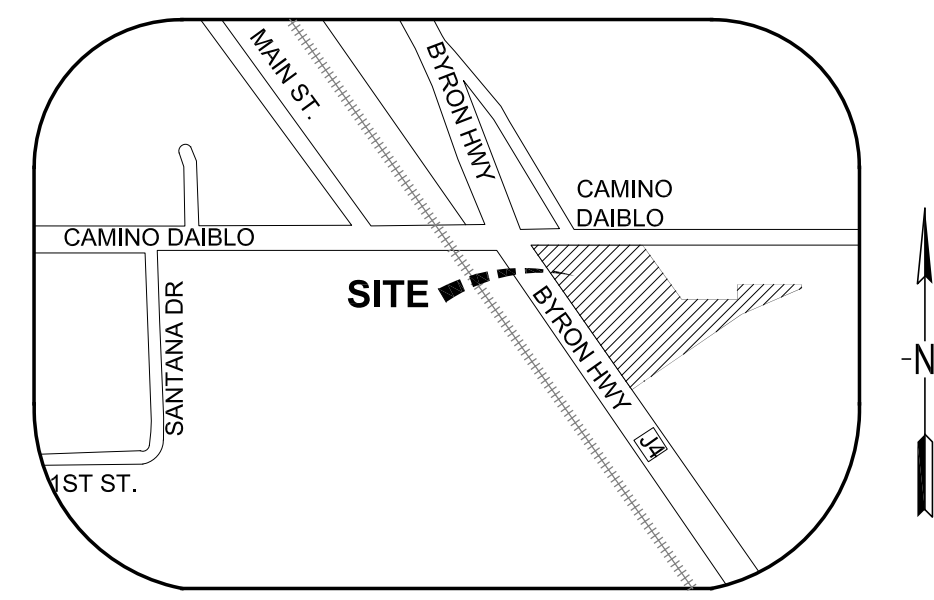
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LP-RZ-2.0





1 PROPOSED SITE PLAN



VICINITY MAP
N.T.S.

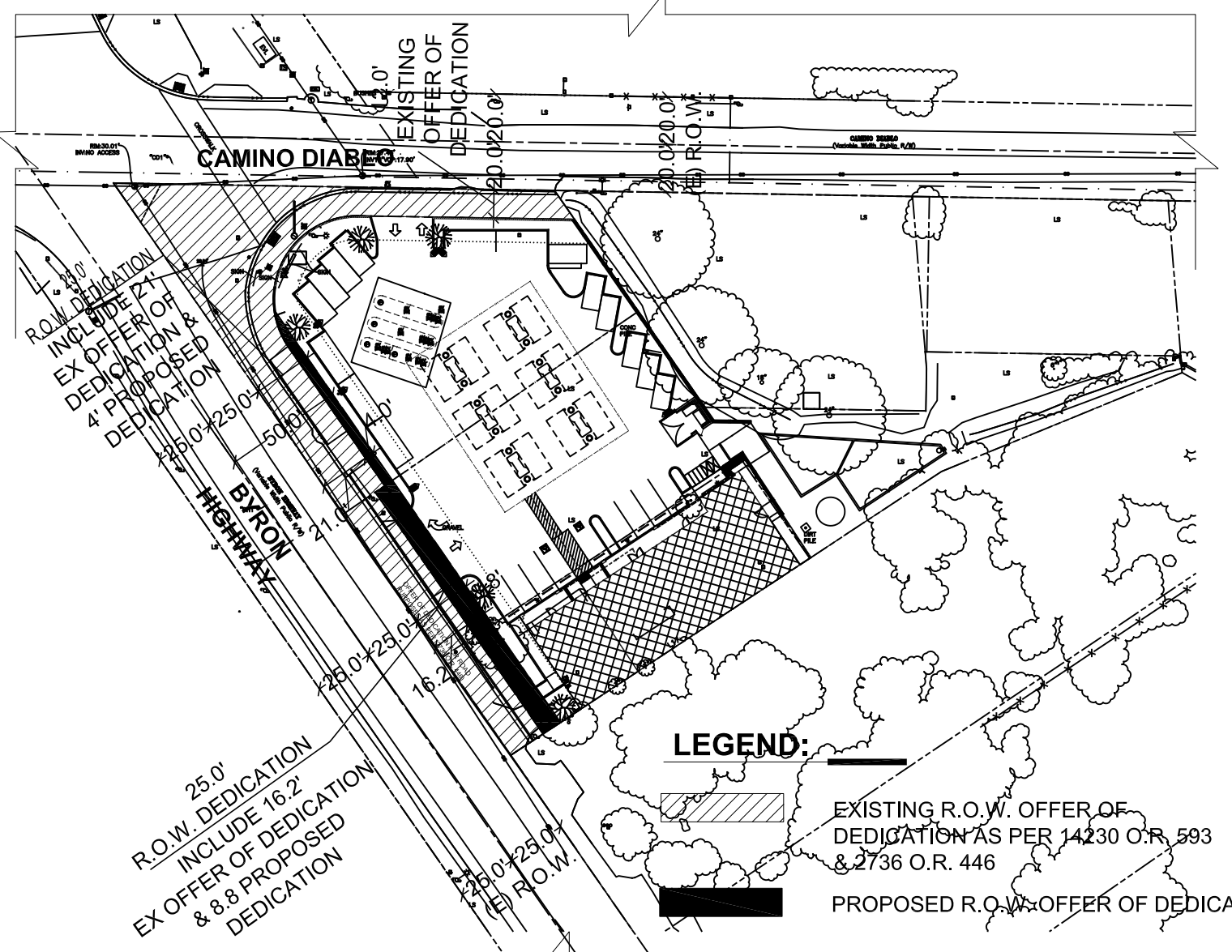
- LEGEND:**
- PROPOSED PROPERTY LINE
 - ROAD CENTER LINE
 - (E) PROPERTY LINE
 - PARCEL LINE
 - SETBACK LINE
 - ▨ PROPOSED BUILDING
 - ▨ CONCRETE PAVING
 - ▨ ASPHALT CONCRETE PAVING
 - ▨ LANDSCAPING
 - ▨ POROUS ASPHALT PAVING. REFER POROUS CALCS ON THIS SHEET.
 - ▨ BLOCK MASONRY WALL
 - ▨ RETAINING WALL. REFER CIVIL PLANS FOR DETAILS
 - ▨ SITE VISIBILITY ZONE
 - ▨ PROPOSED 10' WIDE R.O.W. DEDICATION
 - ▨ (E) DIRT TO BE CLEARED OF VEGETATION
 - ▨ PROPOSED RETENTION/ DETENTION POND
 - ▨ ACCESSIBLE AISLE AND PATH
 - Ⓟ PARKING NUMBER
 - Ⓜ ACCESSIBLE PARKING (9.0' x 19.0')
 - ⓐ COMPACT PARKING (7.5' x 16.0')
 - Ⓟ PARALLEL PARKING (8.5' x 21.0')
 - ⓂⓅ ELECTRIC VEHICLE CHARGING PARKING
 - ⓂⓂⓂ SITE LIGHTING. REFER ELECTRICAL PLANS FOR DETAILS
 - WROUGHT IRON FENCE
 - 34" HIGH GUARD RAIL

- CONTRA COSTA ENVIRONMENTAL HEALTH DIVISION (CCEHD) NOTES:**
- A PERMIT FROM CCEHD IS REQUIRED FOR ANY WELL OR SOIL BORING PRIOR TO COMMENCING DRILLING ACTIVITIES, INCLUDING THOSE ASSOCIATED WITH WATER SUPPLY, ENVIRONMENTAL INVESTIGATION AND CLEANUP, OR GEOTECHNICAL INVESTIGATION.
 - ANY ABANDONED WELLS (WATER, ENVIRONMENTAL, OR GEOTECHNICAL) AND SEPTIC TANKS MUST BE DESTROYED UNDER PERMIT FROM CCEHD. IF THE EXISTENCE OF SUCH WELLS OR SEPTIC TANKS ARE KNOWN IN ADVANCE OR DISCOVERED DURING CONSTRUCTION OR OTHER ACTIVITIES, THESE MUST BE CLEARLY MARKED, KEPT SECURE, AND DESTROYED PURSUANT TO CCEHD REQUIREMENTS.
 - DEBRIS FROM CONSTRUCTION OR DEMOLITION ACTIVITY TO GO TO A SOLID WASTE OR RECYCLING FACILITY THAT COMPLIES WITH THE APPLICABLE REQUIREMENTS AND CAN LAWFULLY ACCEPT THE MATERIAL (e.g., SOLID WASTE PERMIT, EA NOTIFICATION, etc.). THE DEBRIS MUST BE TRANSPORTED BY A HAULER THAT CAN LAWFULLY TRANSPORT THE MATERIAL. DEBRIS BIN OR BOXES OF ONE CUBIC YARD OR MORE OWNED BY THE COLLECTION SERVICE OPERATOR SHALL BE IDENTIFIED WITH THE NAME AND TELEPHONE NUMBER OF THE AGENT SERVICING THE CONTAINER.

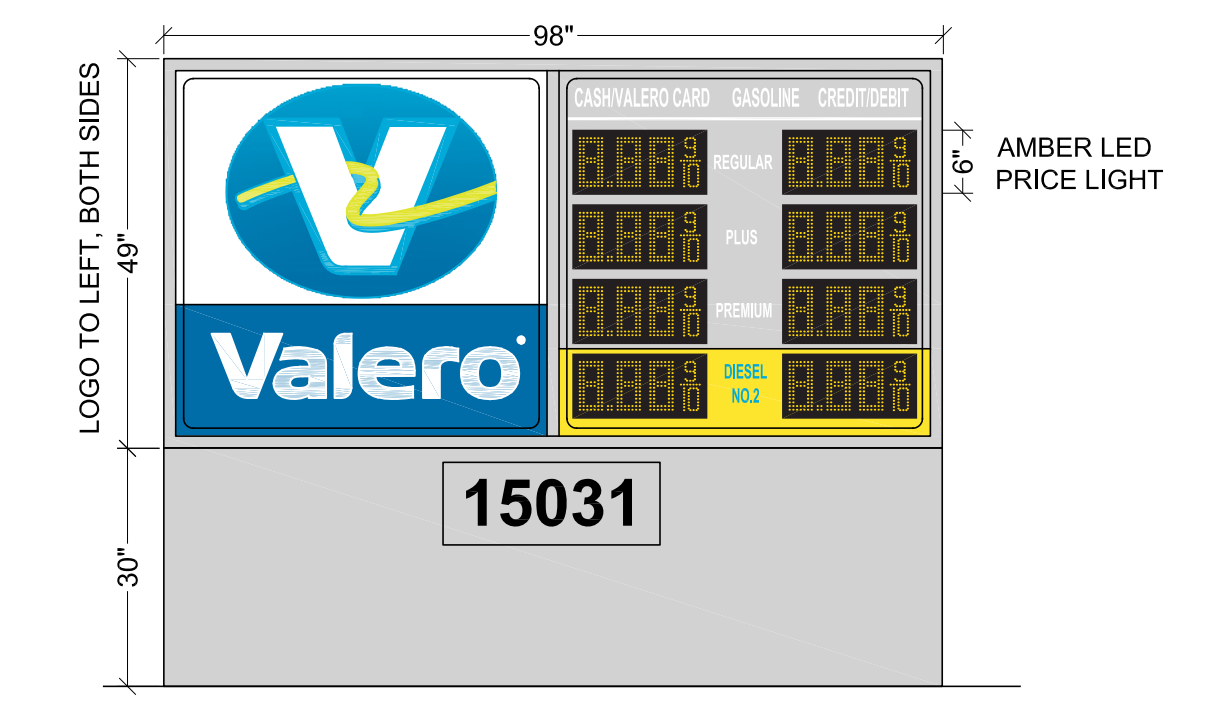
- CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT NOTES:**
- EMERGENCY APPARATUS ACCESS ROADWAYS AND HYDRANT TO BE INSTALLED, IN SERVICE, AND INSPECTED BY THE FIRE DISTRICT PRIOR TO CONSTRUCTION OR COMBUSTIBLE STORAGE ON SITE (501.4) CFC. A TEMPORARY AGGREGATE BASE OR ASPHALT GRINDINGS ROADWAY IS NOT CONSIDERED AN ALL-WEATHER SURFACE FOR EMERGENCY APPARATUS ACCESS. THE FIRST LIFT OF ASPHALT CONCRETE PAVING TO BE INSTALLED AS THE MINIMUM ROADWAY MATERIAL AND MUST BE ENGINEERED TO SUPPORT THE DESIGNATED GROSS VEHICLE WEIGHT OF 22/37 TONS.
 - FIRE FLOW REQUIREMENTS: MIN. 1500 GPM FOR 120 MINUTES DURATION AT MIN. 20 LBS RESIDUAL PRESSURE.
 - FLAMMABLE OR COMBUSTIBLE LIQUID STORAGE TANKS NOT TO BE LOCATED ON THE SITE WITHOUT OBTAINING APPROVAL AND NECESSARY PERMITS FROM THE FIRE DISTRICT (3401.4 CFC)
 - APPROVALS, LISTED BELOW ARE REQUIRED PRIOR TO CONSTRUCTION:
 - PRIVATE UNDERGROUND FIRE SERVICE WATER MAINS.
 - FIRE SPRINKLERS
 - FIRE ALARM/ FIRE SPRINKLER MONITORING SYSTEM.
 - ABOVE GROUND/ UNDERGROUND FLAMMABLE/ COMBUSTIBLE LIQUID STORAGE TANKS
 - COMMERCIAL KITCHEN HOOD EXTINGUISHING SYSTEMS
 - SPECIAL SUPPRESSION SYSTEMS.

PERVIOUS AREA ANALYSIS

A) TOTAL SITE AREA:	33,009 SQ.FT.
B) PARKING SURFACE AREA (INCL. GAS CANOPY CAR PARKING)	
• 5 SPACES (7.5' X 16.0')	600 SQ.FT.
• 24 SPACES (8.5' X 18.0')	3,672 SQ.FT.
• 2 SPACES (9.0' X 19.0')	342 SQ.FT.
• 4 SPACES (8.5' X 21.0')	714 SQ.FT.
TOTAL	5,328 SQ.FT.
C) LANDSCAPING IN PARKING SURFACE AREA (SEC. 82-16.404(C)(3))	
• REQUIRED	MIN. 5% OF 5,328 SQ.FT. = 266.4 SQ.FT.
• PROVIDED	1436 SQ.FT. (26.9%) (LANDSCAPE ISLANDS IN PARKING AREA ONLY)
D) POROUS ASPHALT AREA IN PARKING (SEC. 82-16.404(a)(5))	
• REQUIRED	MIN. 10% OF 5,328 SQ.FT. = 532.8 SQ.FT.
• PROVIDED	614 SQ.FT. (11.5%)



2 R.O.W. DEDICATION EXHIBIT
SCALE: N.T.S.



3 (E) MONUMENT SIGN REFACED
SCALE: 1/2"=1'-0"

MONUMENT SIGN SPECIFICATION

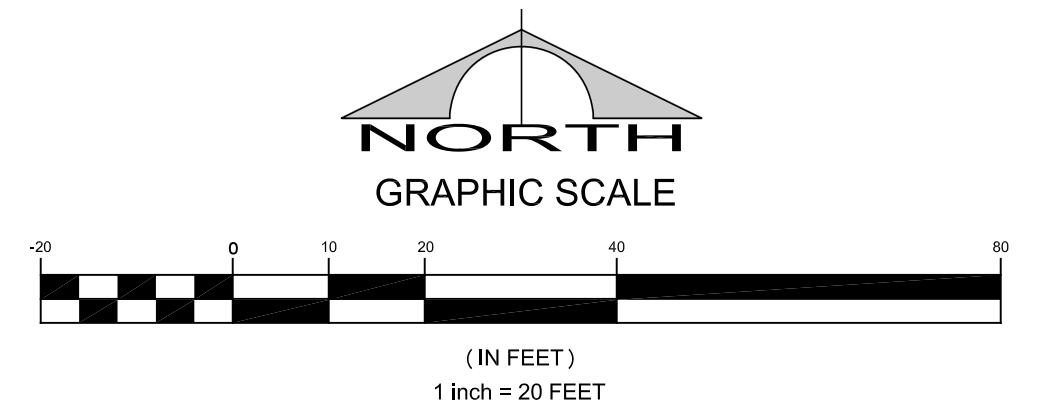
CABINET CONSTRUCTION: ALUMINIUM

ILLUMINATION/ ELECTRICAL: STANDARD FLOURESCENT COOL WHITE HIGH OUTPUT INTERNAL ILLUMINATION. INTERNAL MAGNETEK BALLASTS (OR EQUAL), UL LABEL & VISIBLE DISCONNECT SWITCH ALL ELECTRICAL COMPONENTS TO BE UL LISTED & APPROVED.

FACE MATERIAL: MOLDED POLYCARBONATE CLEAR FACES W/ TRANSLUCENT 3M VINYL SECOND SURFACE DECORATION

FINISH SPECIFICATIONS: SHERWINN WILLIAMS PAINTED, RETAINERS, DIVIDER BARS, POLE & BASE TO MATCH VALERO LIGHT GRAY.

GENERAL NOTE: ALL SIGNAGES TO BE MANUFACTURED & INSTALLED ACCORDING TO LOCAL & NATIONAL BUILDING & ELECTRICAL CODES.



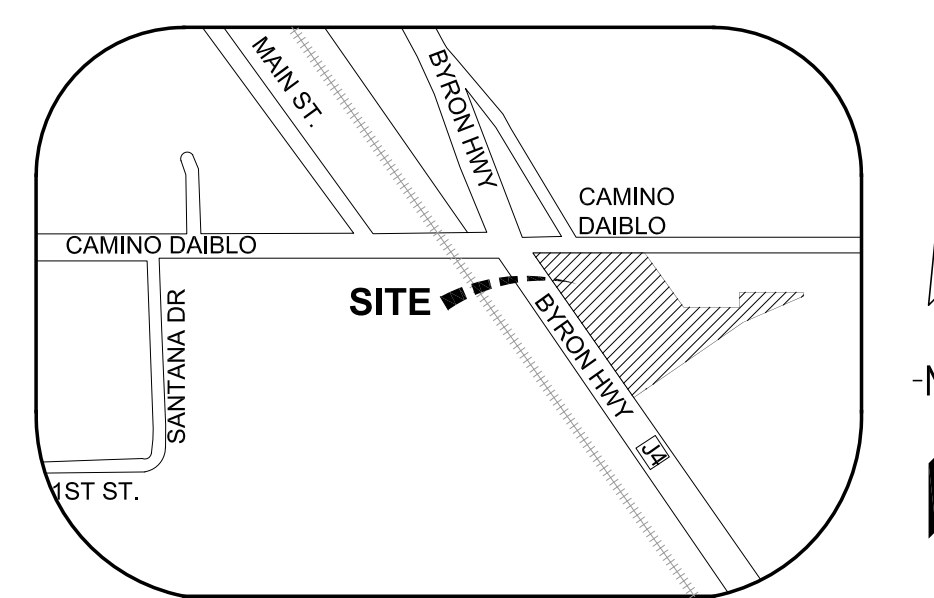
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PROPOSED SITE PLAN
PROJECT
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
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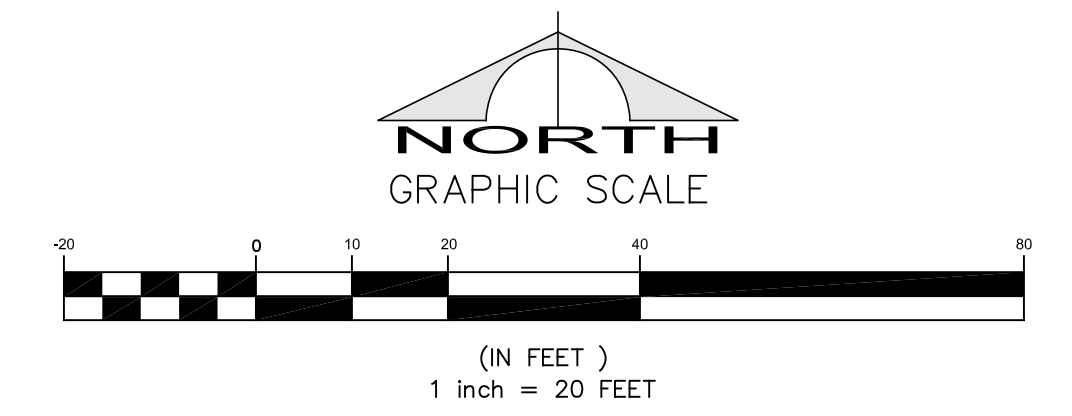


VICINITY MAP
N.T.S

LEGEND:

- PROPOSED PROPERTY LINE
- FUEL TRUCK ROUTE (DOUBLE TANKER (WB-40))
- 20' WIDE FIRE TRUCK ROUTE
- 5.0' WIDE PEDESTRIAN ACCESS ROUTE
- BICYCLE ACCESS ROUTE
- TRASH TRUCK ROUTE
- ONSITE CIRCULATION FOR GAS DISPENSERS
- UST'S UNDERGROUND FUEL STORAGE TANKS

1 ON-SITE CIRCULATION PLAN



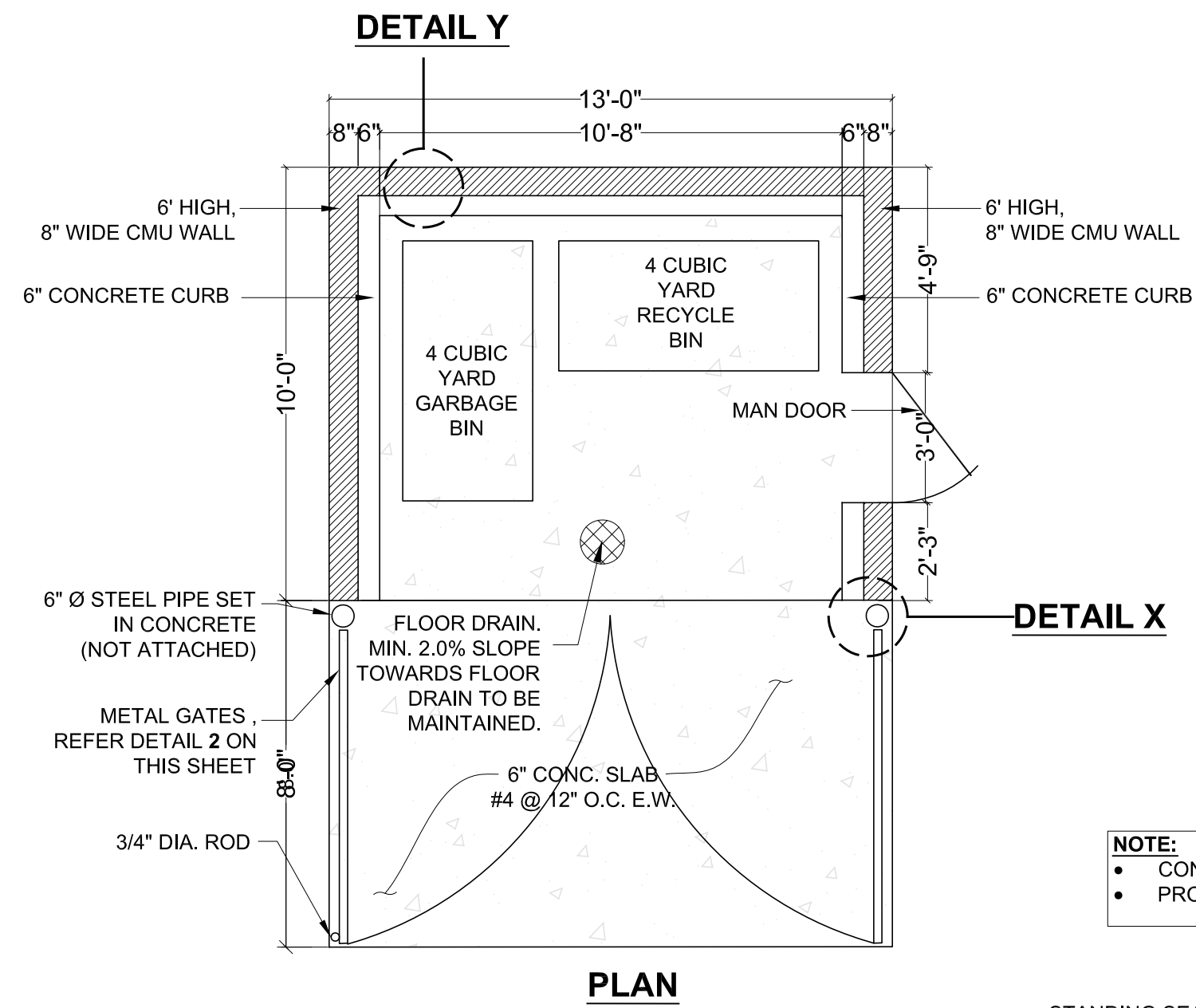
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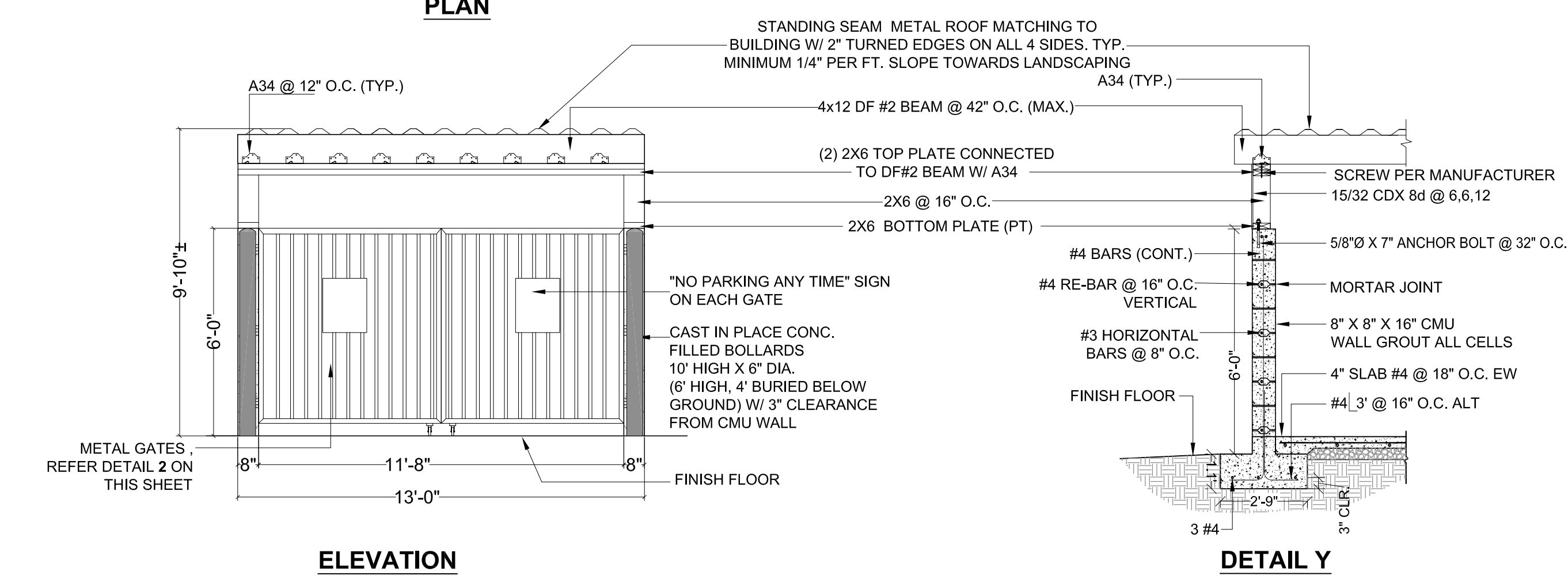
ON-SITE CIRCULATION PLAN
 PROJECT
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
 15031, 15045 & 15057 BYORN HWY
 BYRON, CONTRA COSTA COUNTY, CA 94514

DATE: 07/12/2021
 JOB: JSS-BR-01
 DWG BY: DV
 CHK BY: SPK

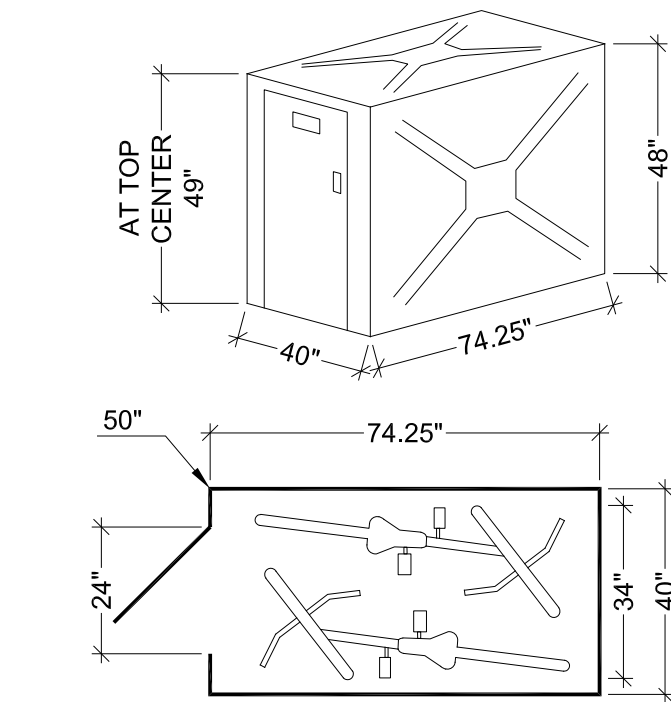
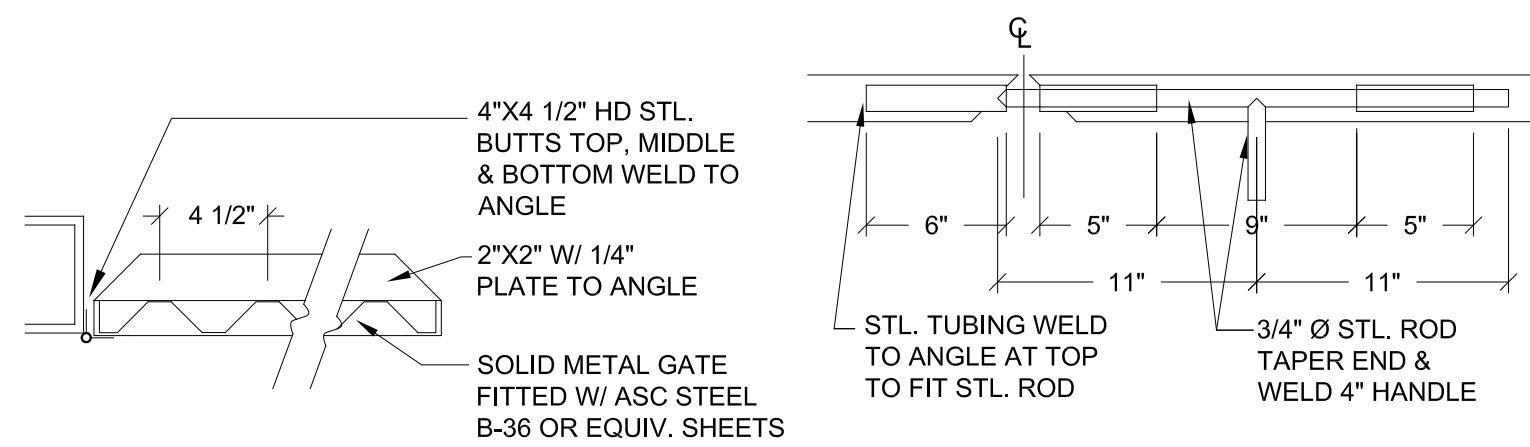
LP-RZ-2.2



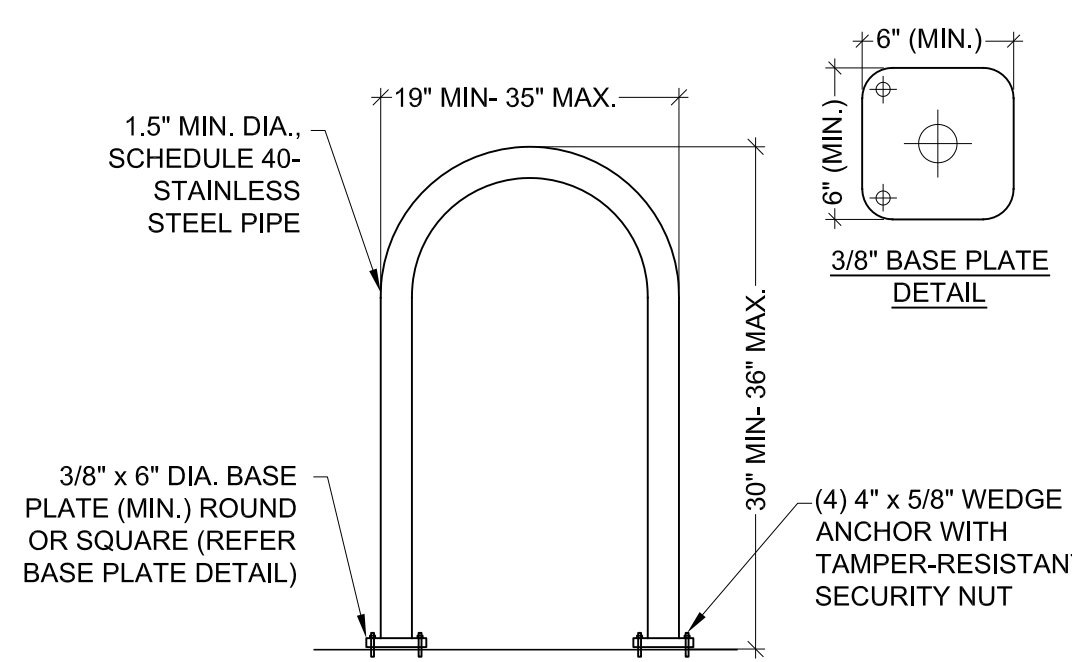
NOTE:
 • CONNECT FLOOR DRAIN TO THE SANITARY SEWER
 • PROVIDE HOT/COLD WATER SUPPLY.



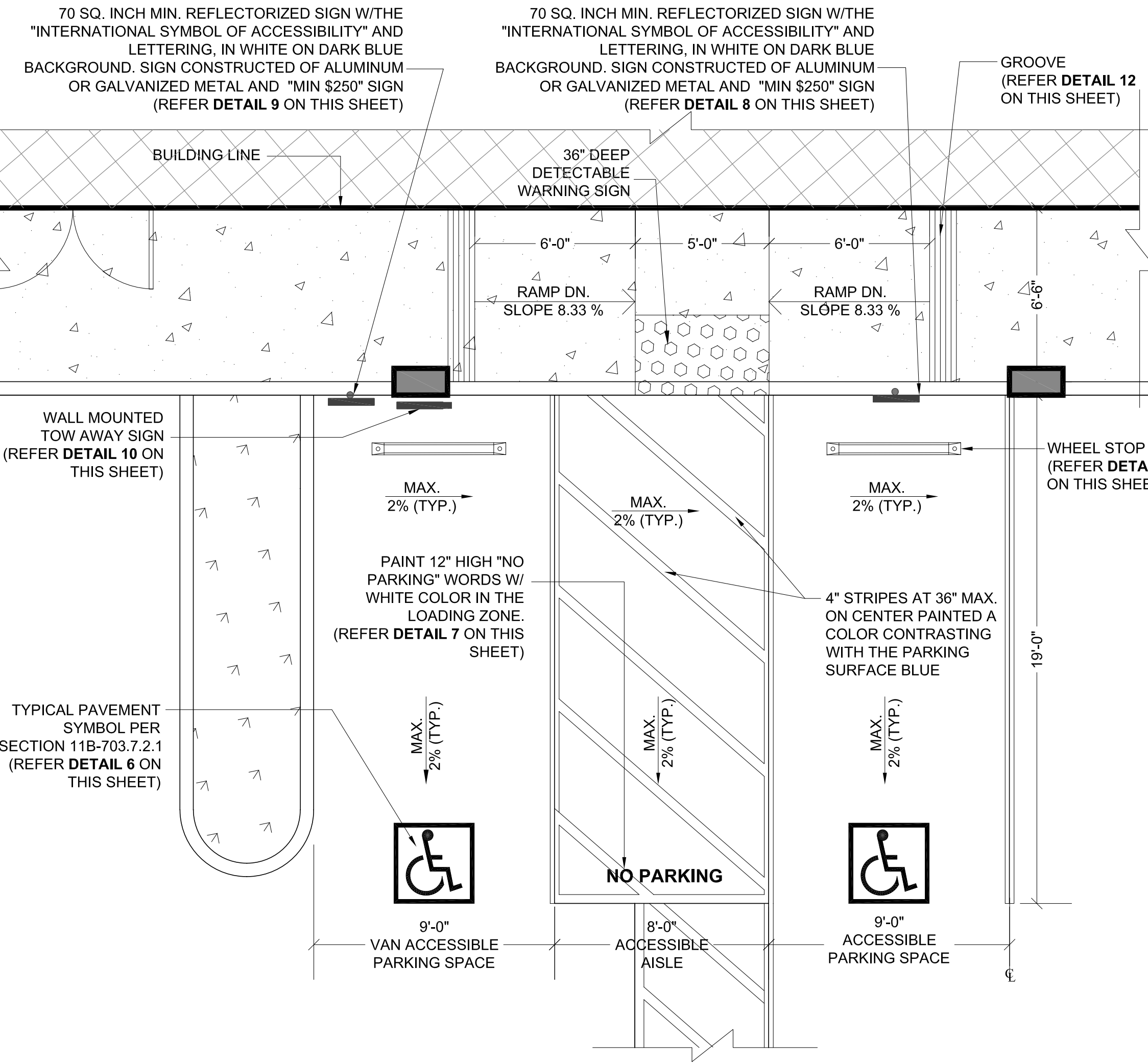
1 TRASH ENCLOSURE DETAIL
 SCALE: N.T.S.



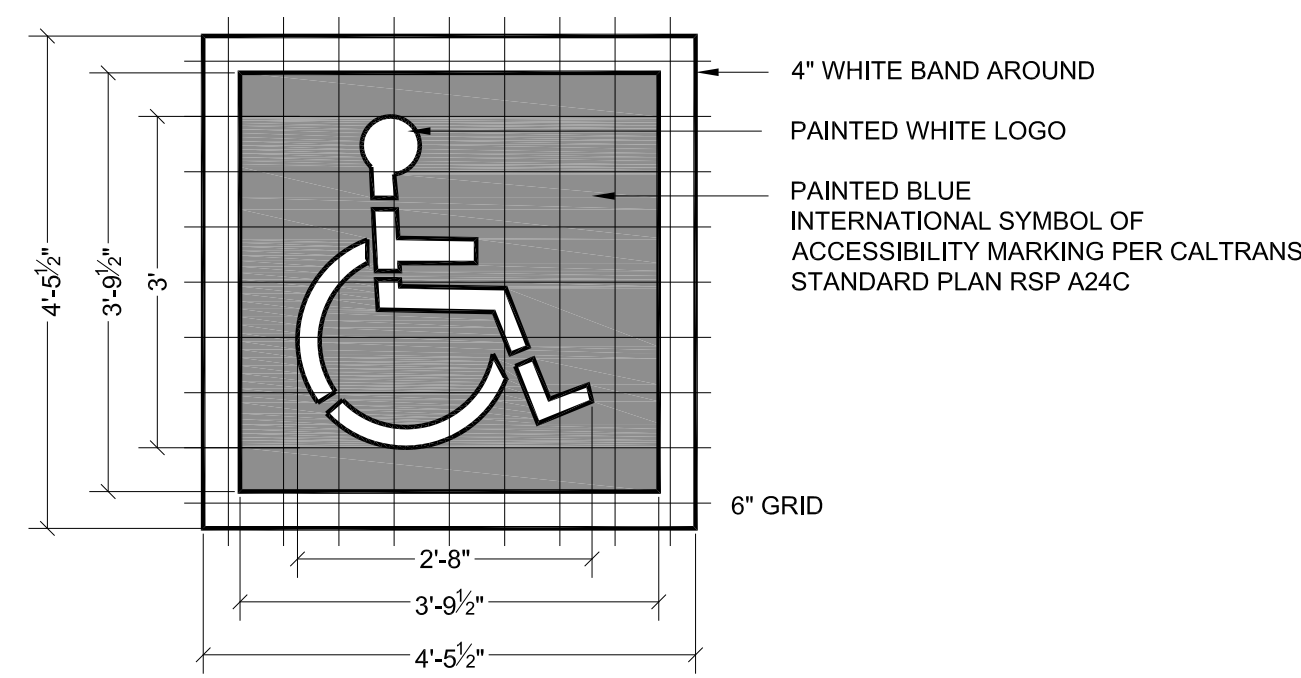
3 BICYCLE LOCKER
 SCALE: N.T.S.



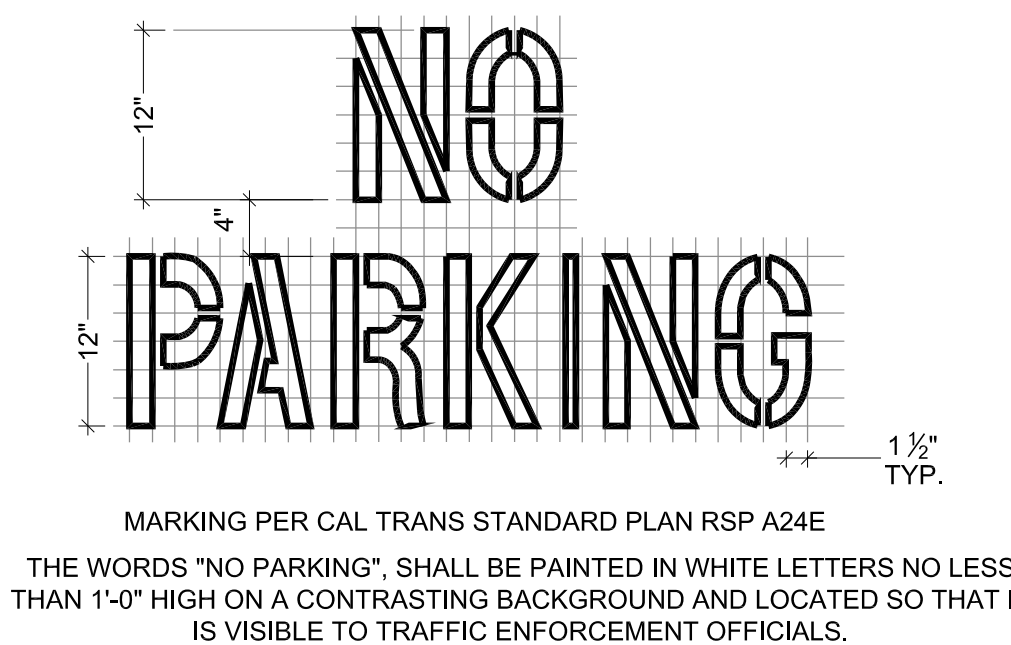
4 BICYCLE RACK
 SCALE: N.T.S.



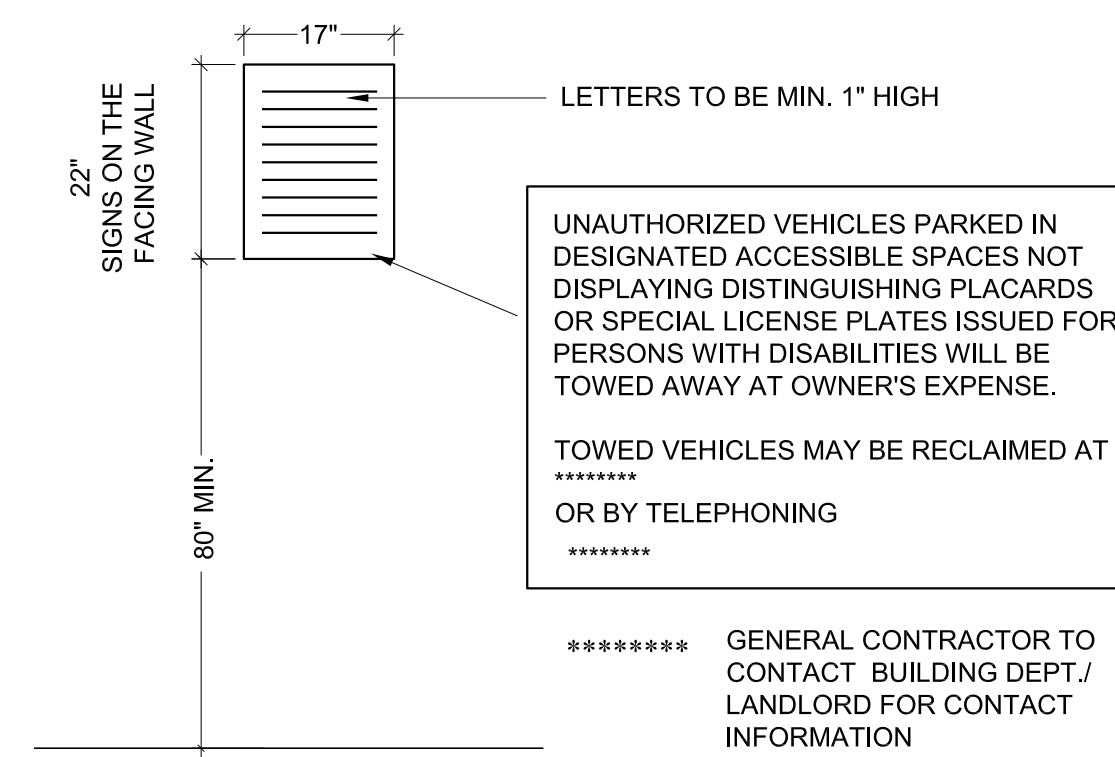
5 ACCESSIBLE PARKING DETAIL
 SCALE: N.T.S.



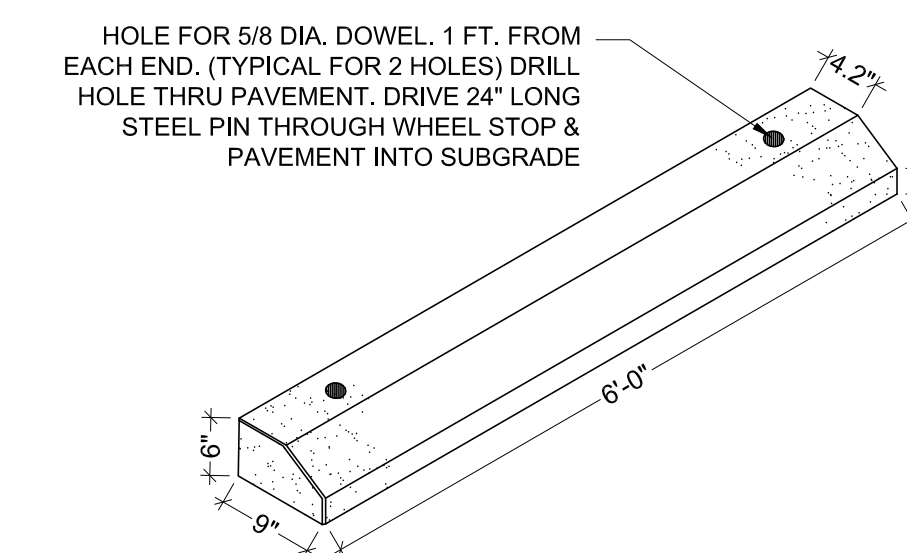
6 ACCESSIBLE PAVEMENT MARKER
 SCALE: N.T.S.



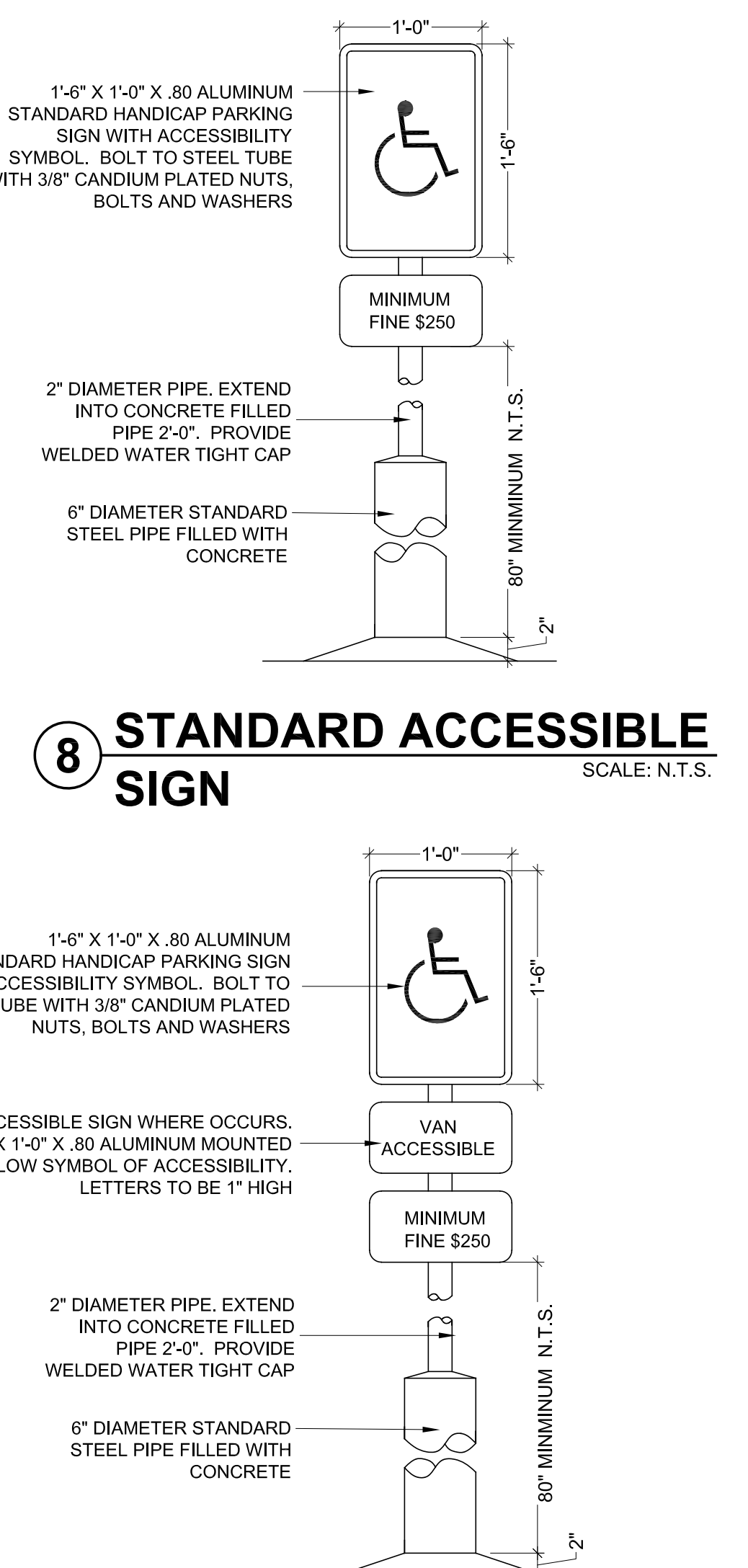
7 NO PARKING PAVEMENT MARKER
 SCALE: N.T.S.



10 TOW AWAY SIGN
 SCALE: N.T.S.

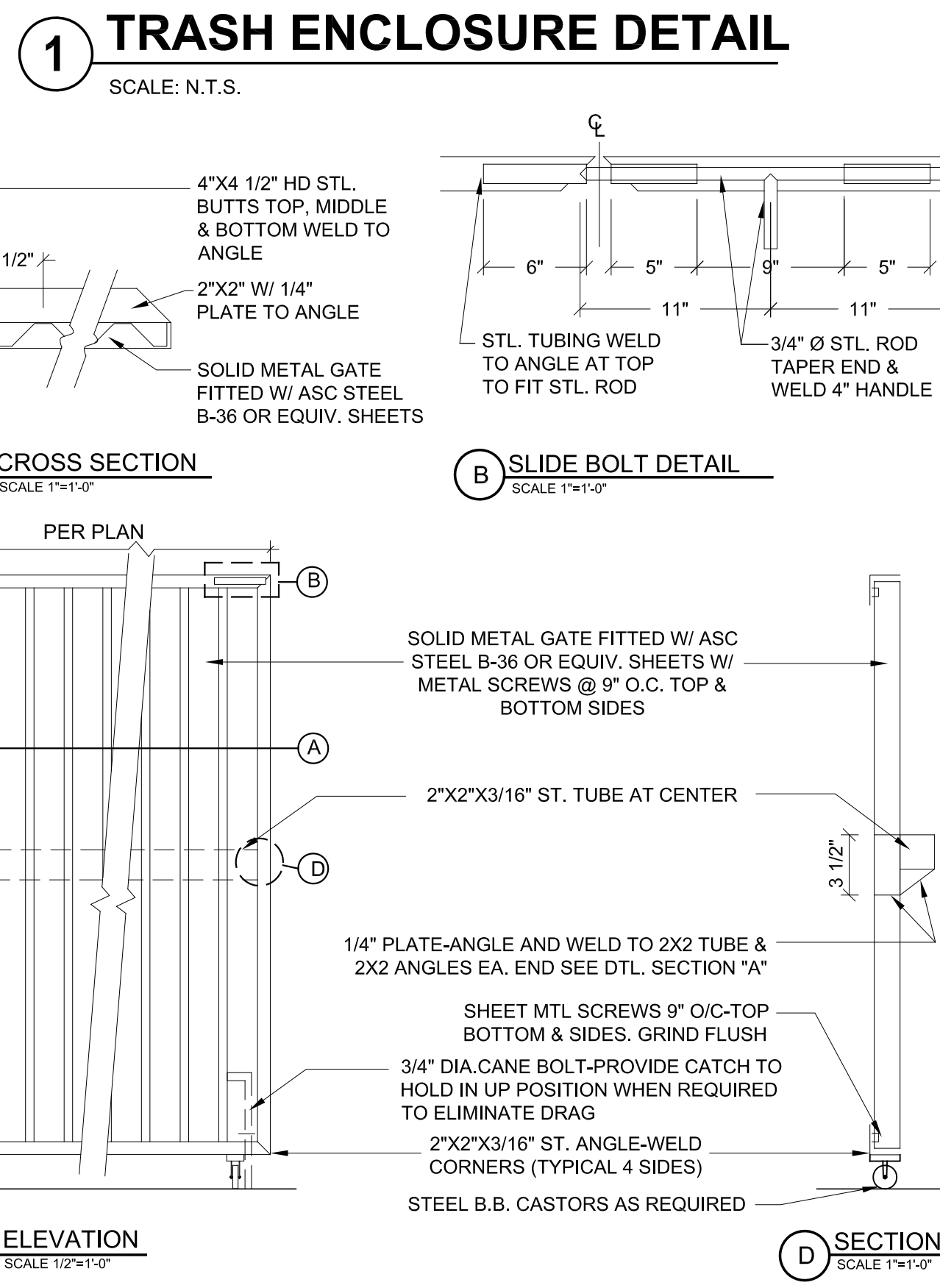


11 WHEEL STOP
 SCALE: N.T.S.



8 STANDARD ACCESSIBLE SIGN
 SCALE: N.T.S.

9 VAN ACCESSIBLE SIGN
 SCALE: N.T.S.



2 TRASH ENCLOSURE GATE DETAIL
 SCALE: N.T.S.

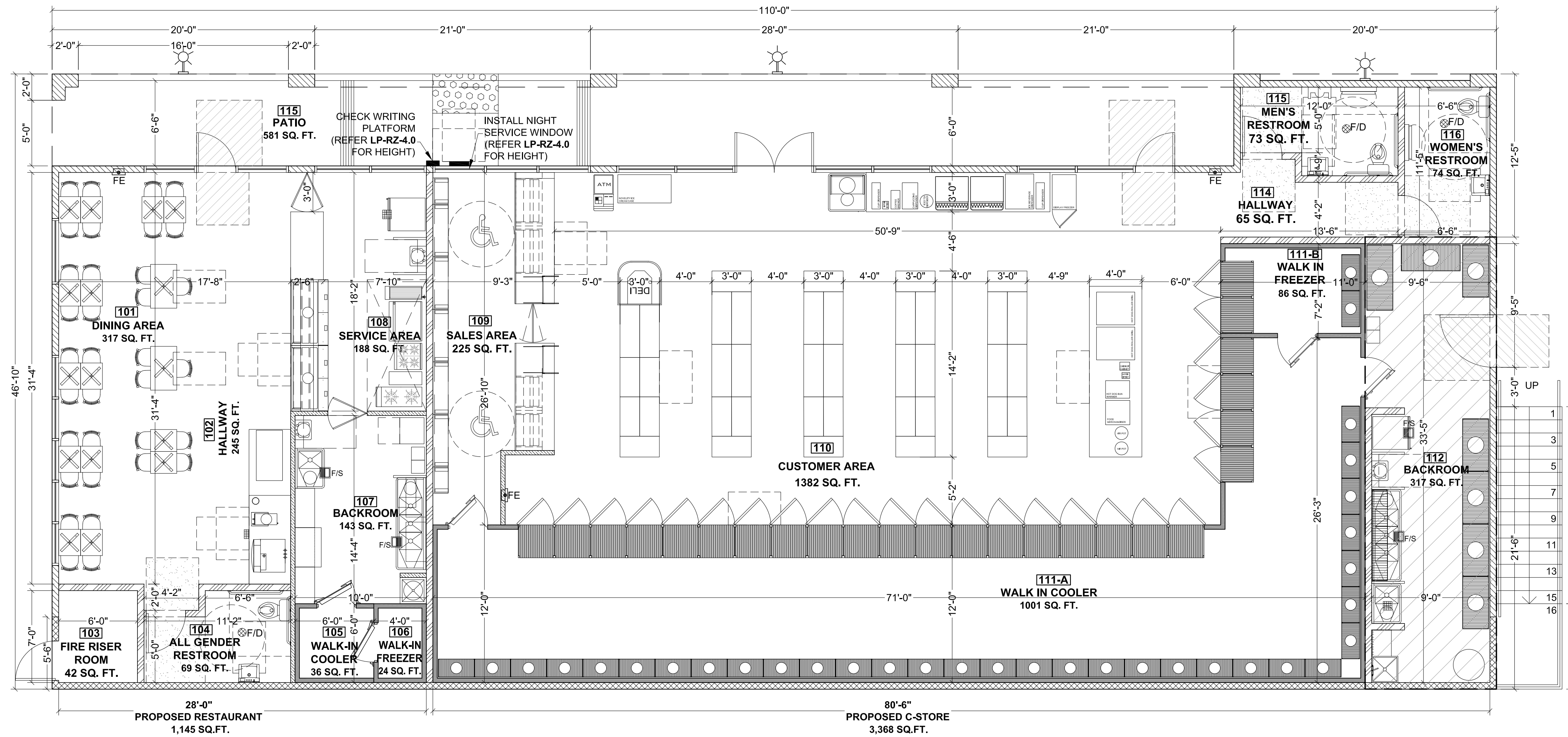
REVISIONS:	DATE	ISSUE

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SITE DETAILS
 PROJECT
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
 15031, 15045 & 15057 BYORN HWY
 BYRON, CONTRA COSTA COUNTY, CA 94514

DATE: 05/18/2021
 JOB: JSS-BR-01
 DWG BY: HPS
 CHK BY: SPK

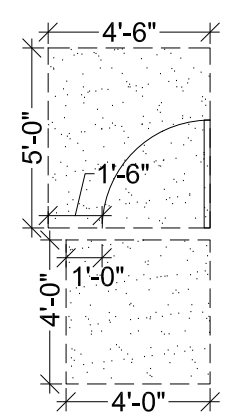
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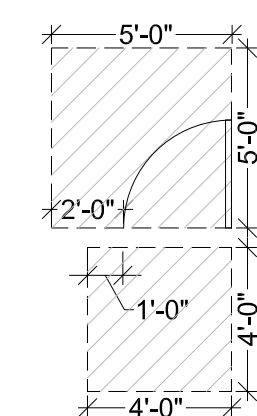
1 PROPOSED FLOOR PLAN
SCALE: 1'-0" = 3/16"

LEGEND

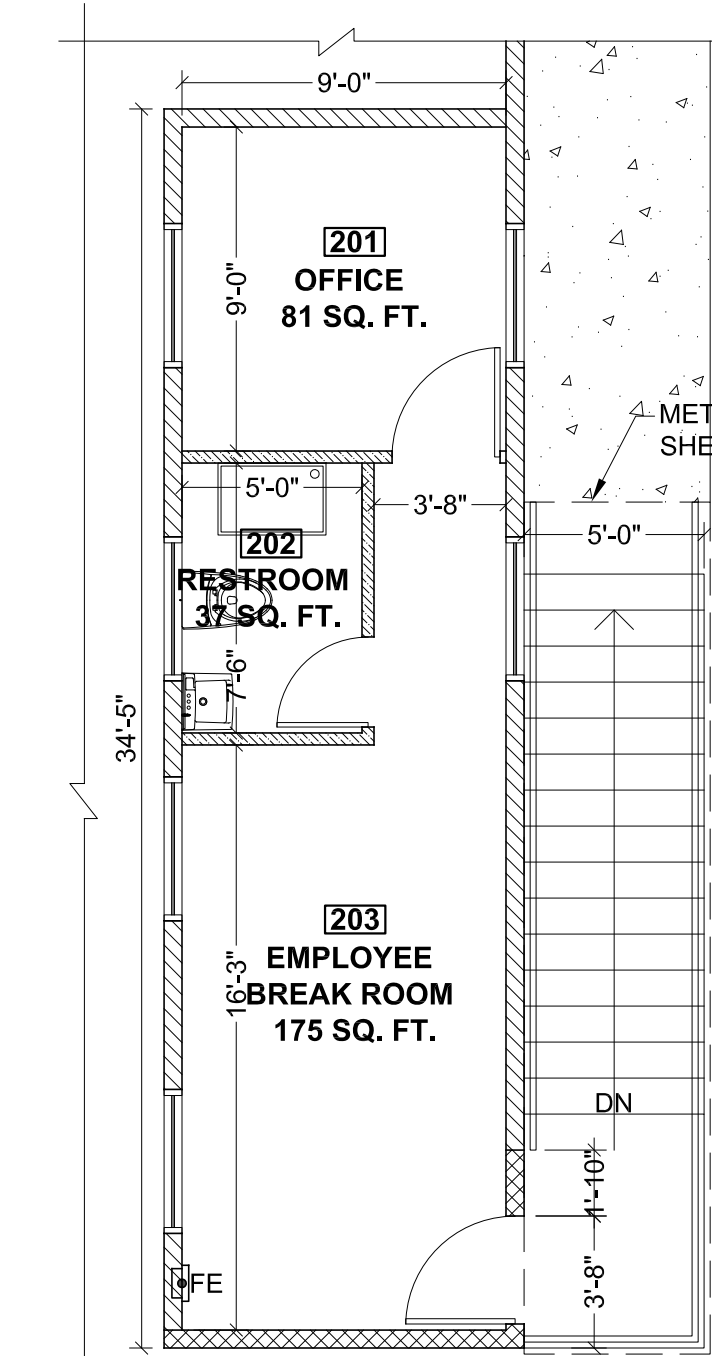
- 4 HR. RATED MASONRY BLOCK WALL
- 2 x 6 EXTERIOR WOOD STUD WALL @ 16" O.C. W/ STUCCO OUTSIDE & 1/2" GYP. BOARD ON INSIDE
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL @ 16" O.C. W/ 1/2" GYP BOARD BOTH SIDES
- 2 x 4 INTERIOR WOOD STUD FULL HEIGHT WALL @ 16" O.C. W/ 1/2" GYP BOARD BOTH SIDES
- STEEL PANEL @ WALK-INS
- UPPER MEZZANINE FLOOR LINE
- STOREFRONT
- FLOOR DRAIN
- FLOOR SINK
- FIRE EXTINGUISHER
- WALL MOUNTED LED LIGHT
- 30" x 48" KNEE & TOE CLEARANCE



INTERIOR DOOR LANDINGS & MANEUVERING CLEARANCE FROM FRONT APPROACH



EXTERIOR DOOR LANDINGS & MANEUVERING CLEARANCE FROM FRONT APPROACH



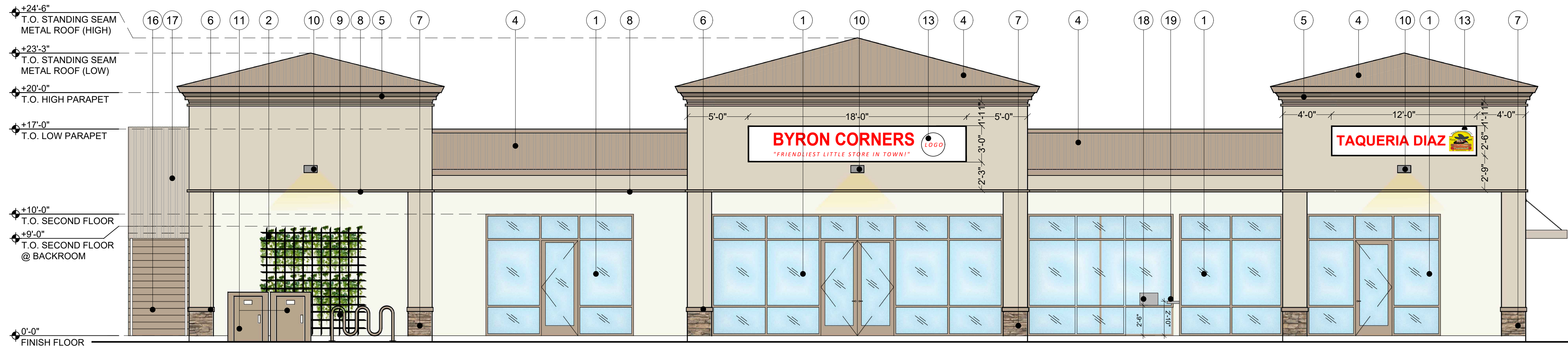
1 PROPOSED SECOND FLOOR PLAN (345 SQ.FT.)
SCALE: 1'-0" = 3/16"

REVISIONS:	DATE

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PROPOSED FLOOR PLANS
PROJECT: C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYORN HWY
BYRON, CONTRA COSTA COUNTY, CA 94514

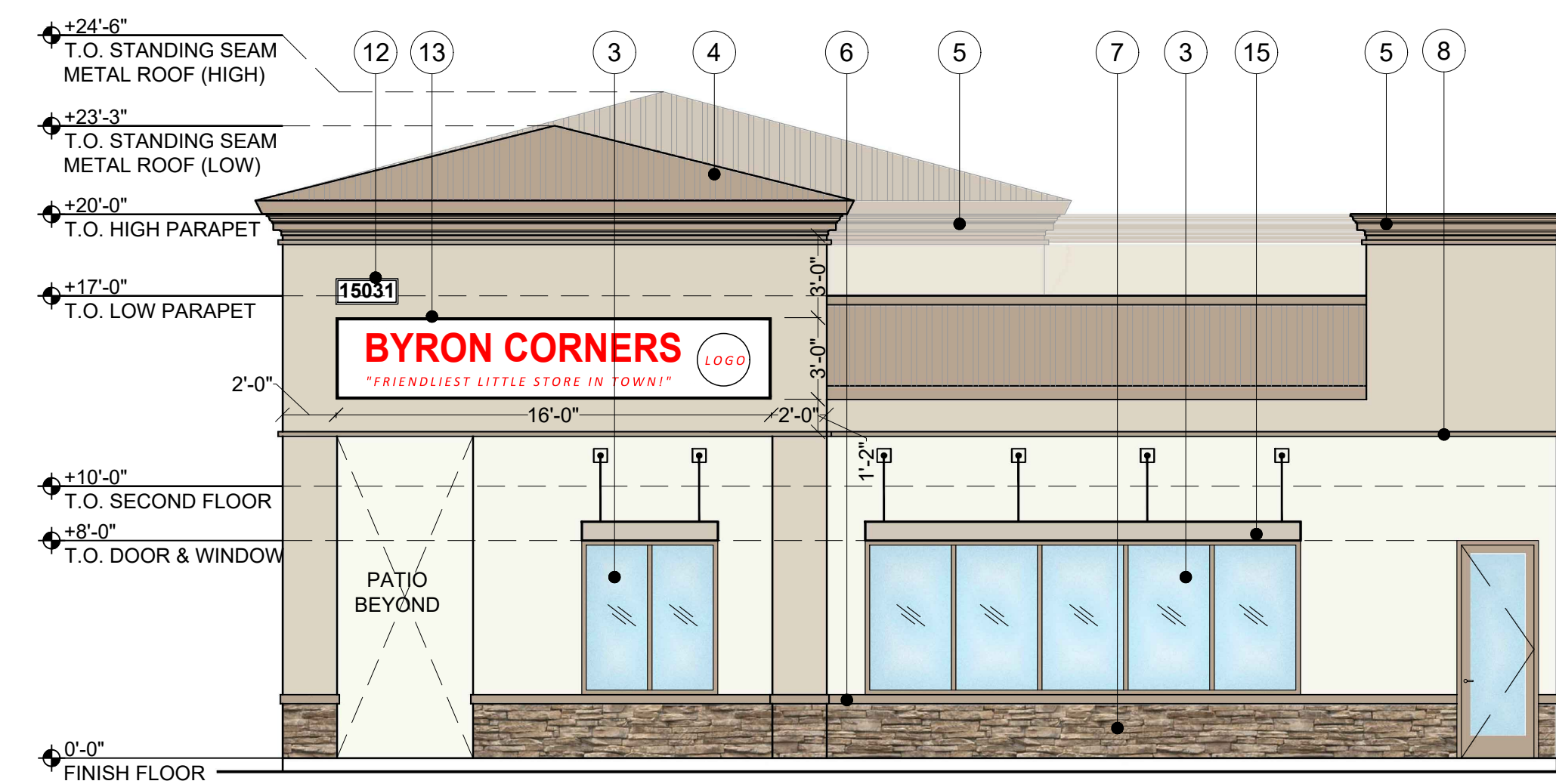
DATE: 07/12/2021
JOB: JSS-BR-01
DWG BY: DV
CHK BY: SPK
LP-RZ-3.0



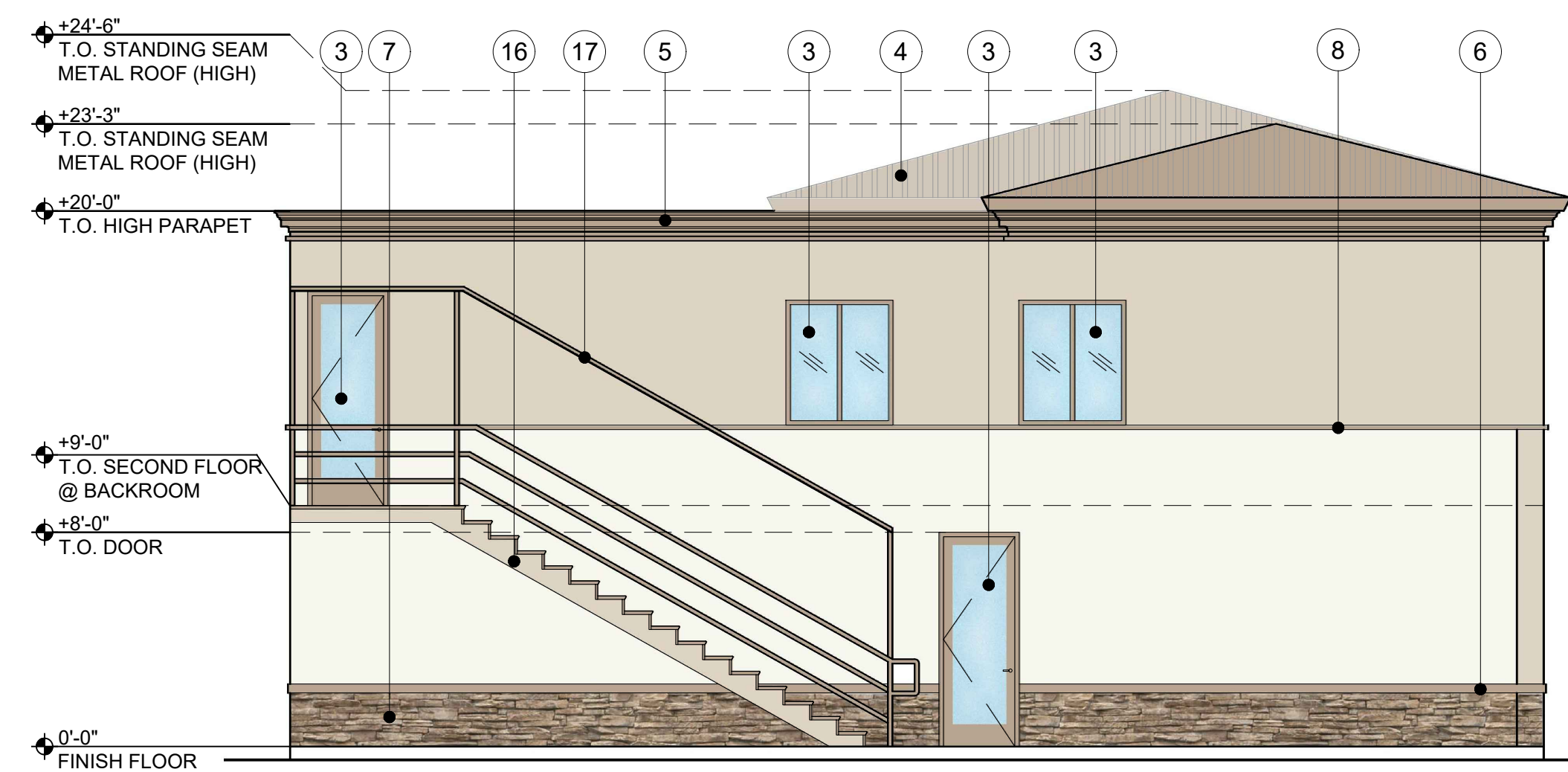
1 FRONT (NORTH-WEST) ELEVATION
SCALE: 3/16"=1'

ELEVATION KEY NOTES:

1	STOREFRONT SYSTEM
2	METAL LATTICE
3	WINDOW/DOOR SYSTEM
4	STANDING SEAM METAL ROOF
5	FOAM CORNICE
6	ACCENT STRIPE
7	STONE WAINSCOT
8	STUCCO TRIM
9	(4) 2' X 6' SHORT TERM BICYCLE PARKING.
10	WALL MOUNTED LED LIGHT
11	COVERED & SECURED BICYCLE LOCKERS FOR 4 EMPLOYEES
12	BUILDING ADDRESS
13	SIGNAGE
14	CMU BLOCK WALL W/ PAINTED FINISH
15	METAL AWNING
16	STAIRS
17	METAL SHED
18	NIGHT SERVICE WINDOW
19	CHECK WRITING PLATFORM



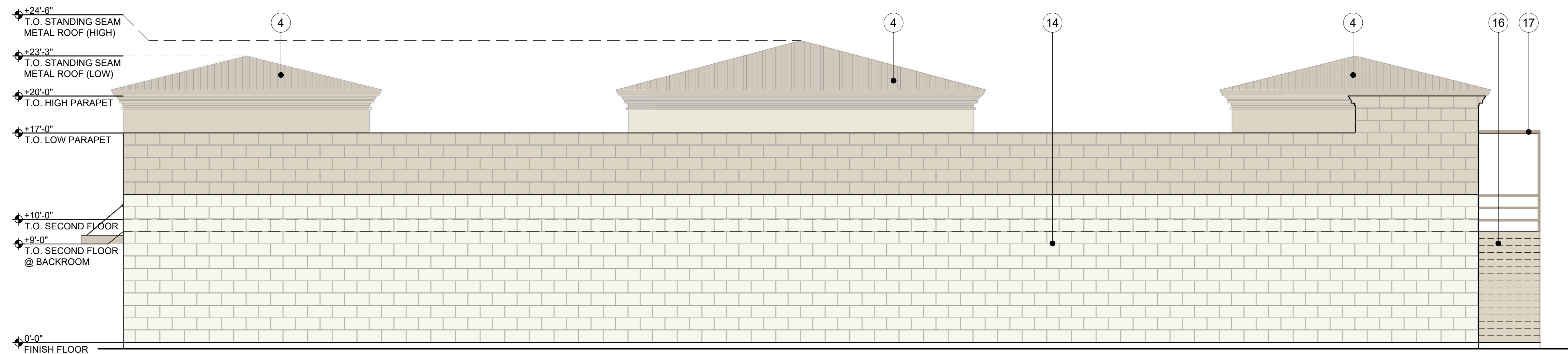
2 STREET SIDE (SOUTH-WEST) ELEVATION
SCALE: 3/16"=1'



3 INTERIOR SITE SIDE (NORTH-EAST) ELEVATION
SCALE: 3/16"=1'

EXTERIOR COLOR SCHEDULE

MATERIAL	LEGEND	COLOR OR TYPE	DESCRIPTION & ITEM CODES
STONE WAINSCOT	BASE	GOLDEN SAND	MANUFACTURER-CORONADO VIRGINIA LEDGE
SEMI-GLOSS PAINT	ACCENT-I	DELLWOOD SAND	BENJAMIN MOORE 1019
SEMI-GLOSS PAINT	BODY-I	DUSTY ROAD	BENJAMIN MOORE 1017
SEMI-GLOSS PAINT	BODY-II	SIMPLY WHITE	BENJAMIN MOORE 2143-70



4 REAR (SOUTH-EAST) ELEVATION
SCALE: 3/16"=1'

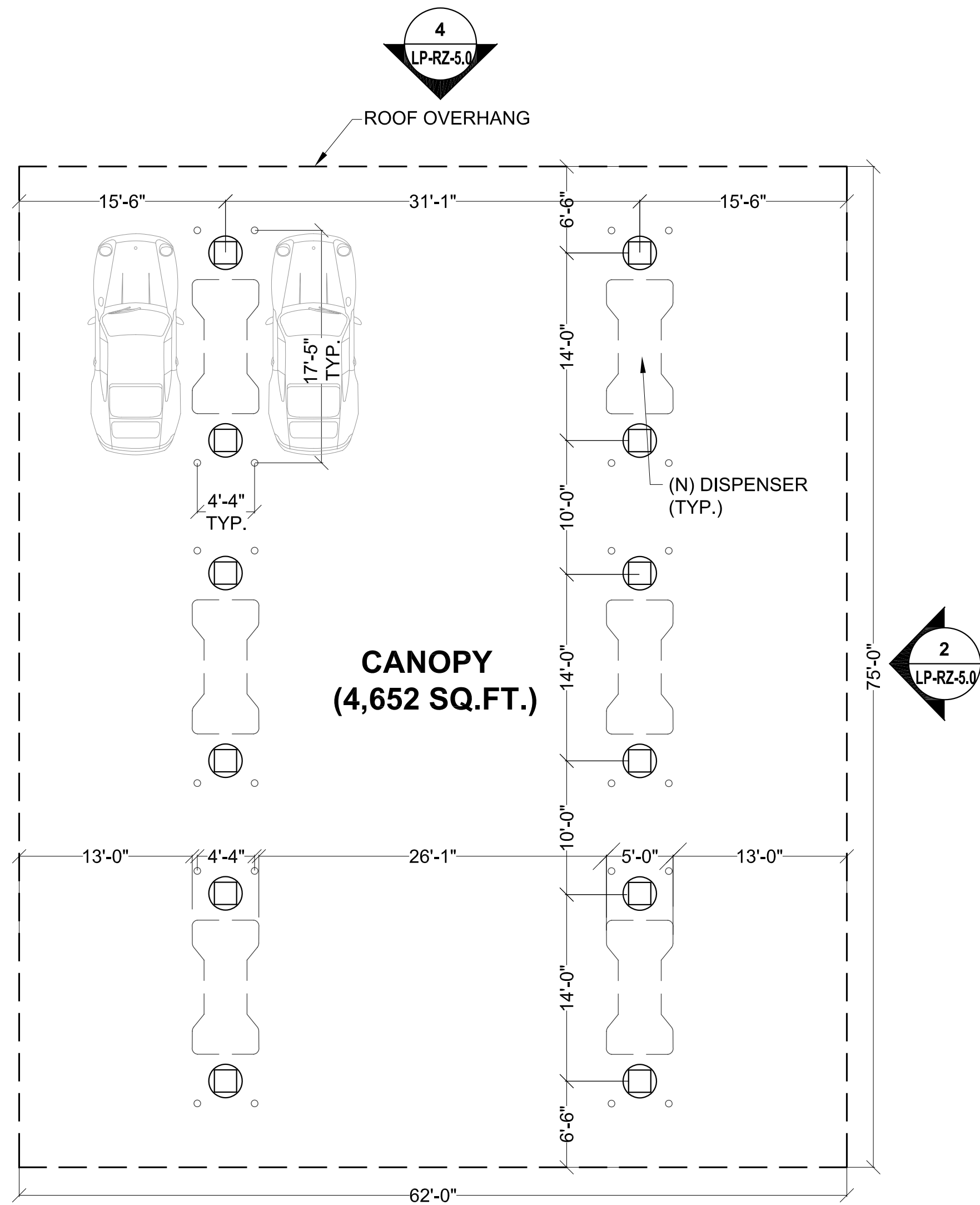
REVISIONS: [Table with columns for REVISION, ISSUE, DATE]

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TITLE PROPOSED BUILDING ELEVATIONS
PROJECT C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYORN HWY
BYRON, CONTRA COSTA COUNTY, CA 94514

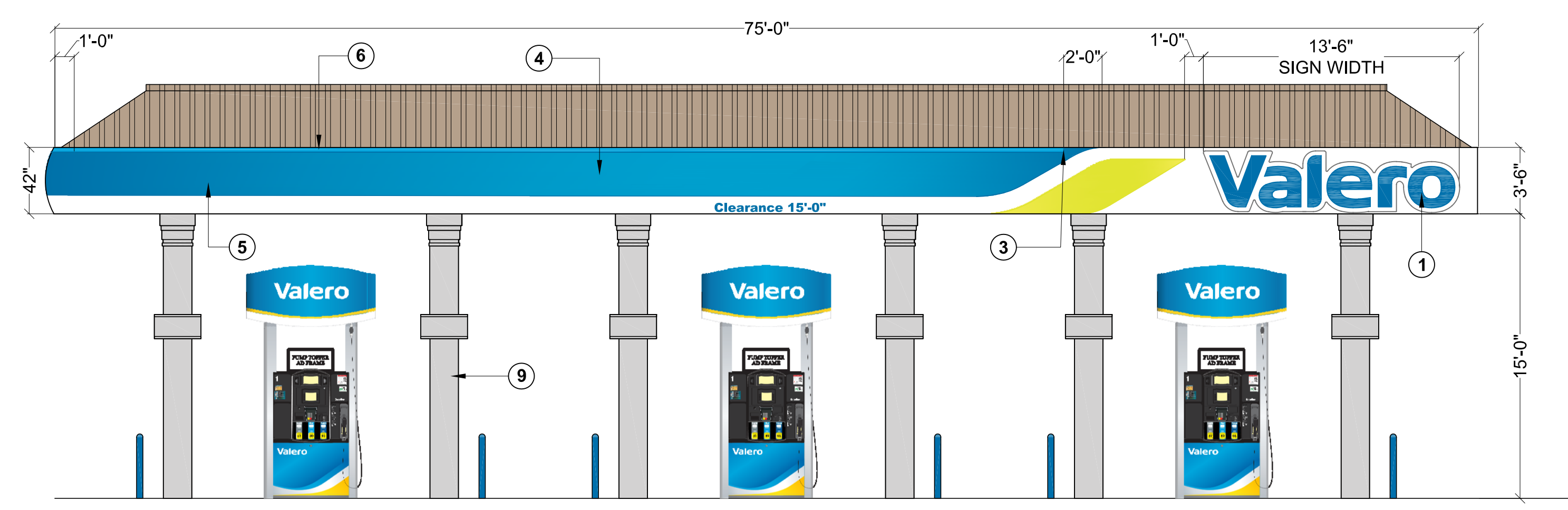
DATE: 07/12/2021
JOB: JSS-BR-01
DWG BY: DV
CHK BY: SPK

LP-RZ-4.0

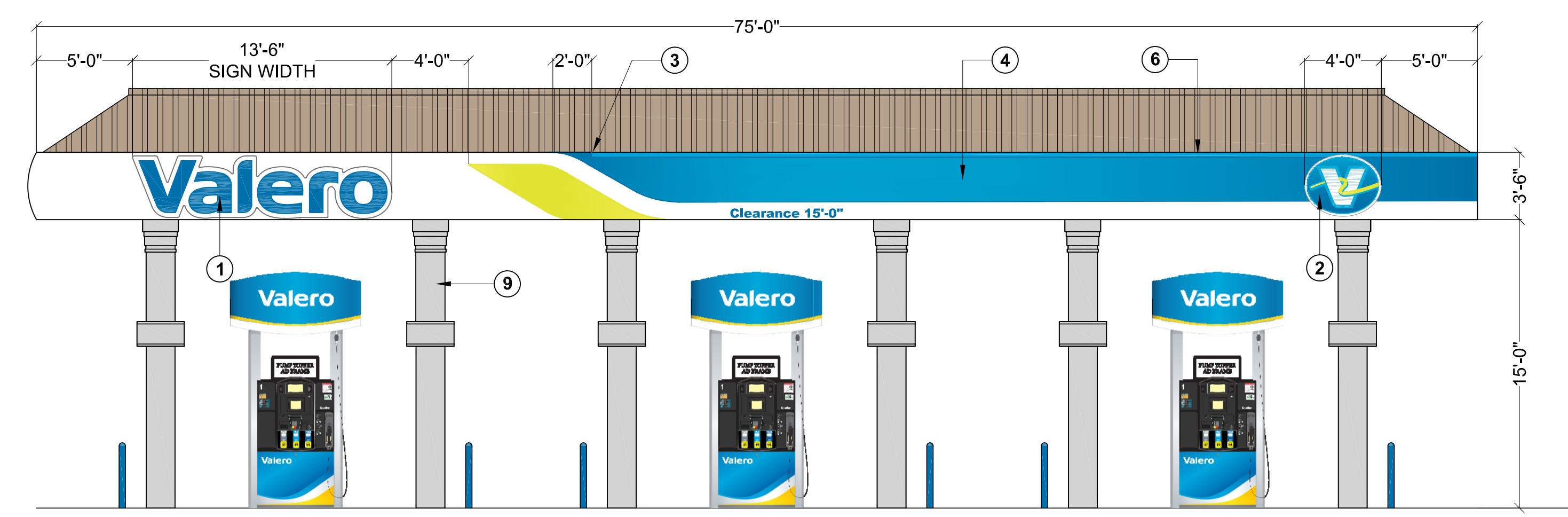


1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

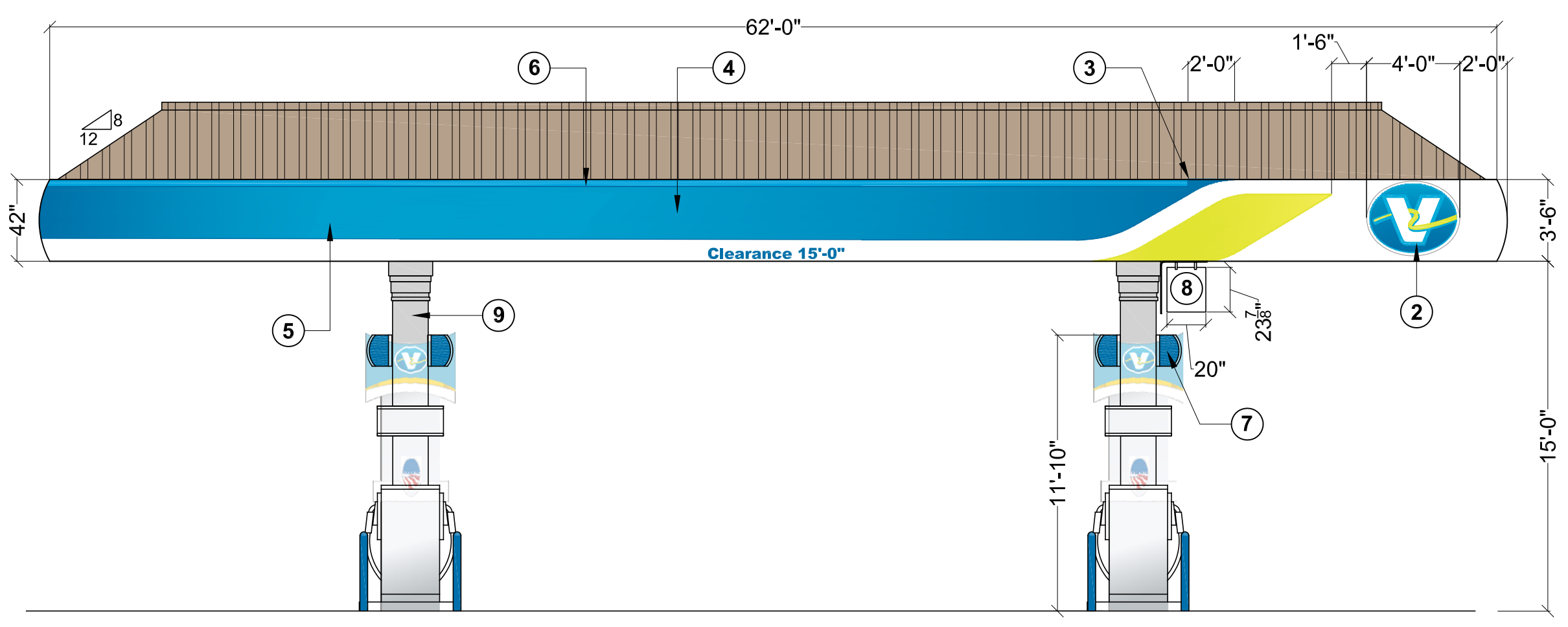
- LEGEND**
- DISPENSER ON 6" HIGH CONCRETE PEDESTAL (REFER MANUFACTURER SPECIFICATIONS ALSO)
 - STR. COLUMNS WRAPPED PER VALERO



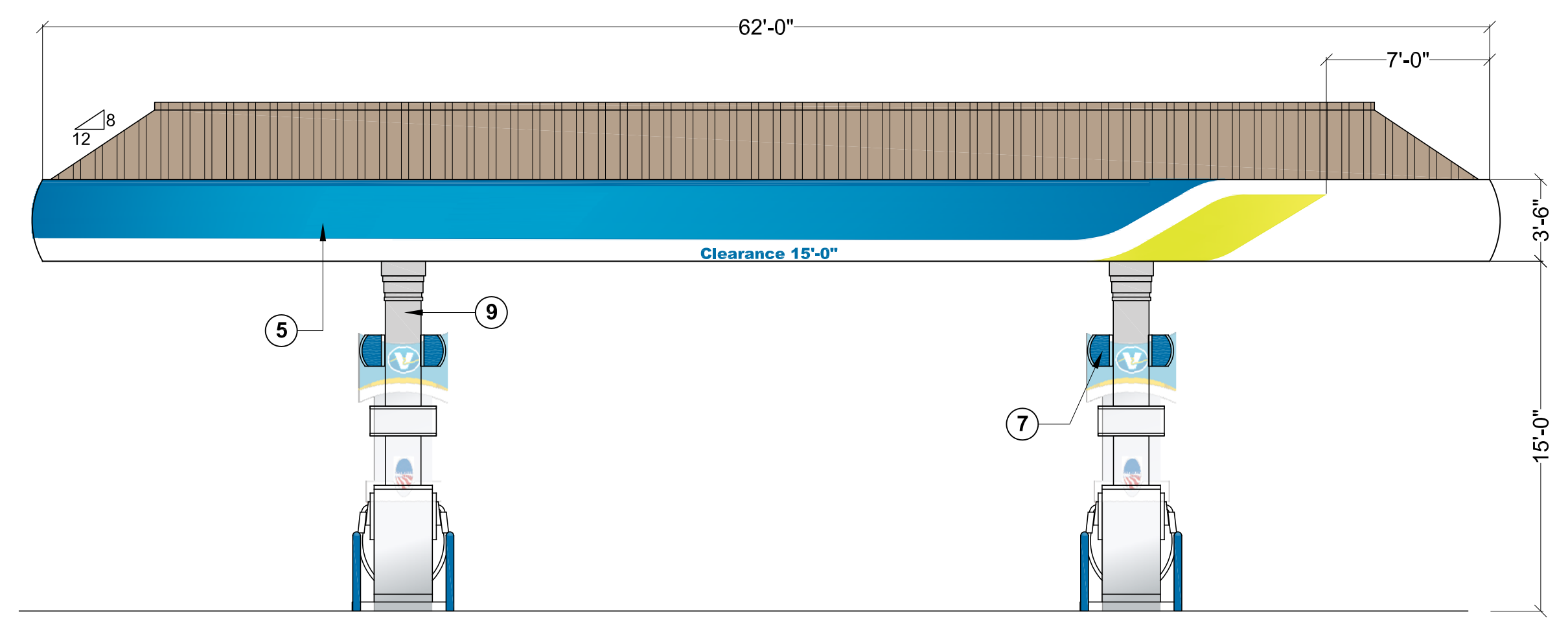
2 ELEVATION (NORTH-EAST)
SCALE: 3/16"=1'-0"



3 ELEVATION (SOUTH-WEST) - FACING BYRON HWY.
SCALE: 3/16"=1'-0"



4 ELEVATION (NORTH-WEST) - FACING CAMINO DIABLO
SCALE: 3/16"=1'-0"



5 ELEVATION (SOUTH-EAST) - FACING C-STORE
SCALE: 3/16"=1'-0"

KEYNOTES

- 1 ILLUMINATED VALERO LED WORD MARK SIGN.
- 2 ILLUMINATED VALERO LOGO.
- 3 STOP LIGHT BAR BEFORE END OF BLUE GRAPHIC AS SHOWN.
- 4 RADIUS FASCIA W/ ILLUMINATED LIGHT BAR
- 5 SILK-SCREENED DECORATION GRAPHIC WRAPS AROUND CORNER.
- 6 LED LIGHT BAR APPLIED TO FASCIA, ALIGN W/ TOP BAR HOUSING VALERO BLUE W/ BLUE LED LIGHT.
- 7 BLADE SIGN WHITE LETTERING W/ BLUE BACKGROUND.
- 8 INSTALL FLEET SIGN TO LIGHT STANDARD TOWARD STREET.
- 9 PAINTED COLUMN W/ VALERO LIGHT GRAY.

NOTE: REFER ELECTRICAL FOR CEILING PLAN.

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TITLE CANOPY - PLANS & ELEVATIONS
PROJECT C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYORN HWY
BYRON, CONTRA COSTA COUNTY, CA 94514

DATE: 06/03/2021
JOB: JSS-BR-01
DWG BY: DV
CHK BY: SPK

LP-RZ-5.0

TOPOGRAPHIC SURVEY NOTE:

INFORMATION SHOWN ON THIS PLAN IS BASED ON TOPOGRAPHIC SURVEY DATED 05/03/2021 PREPARED BY SLS AND SHOWN ON SHEET C2.0 & C2.1.

LEGEND

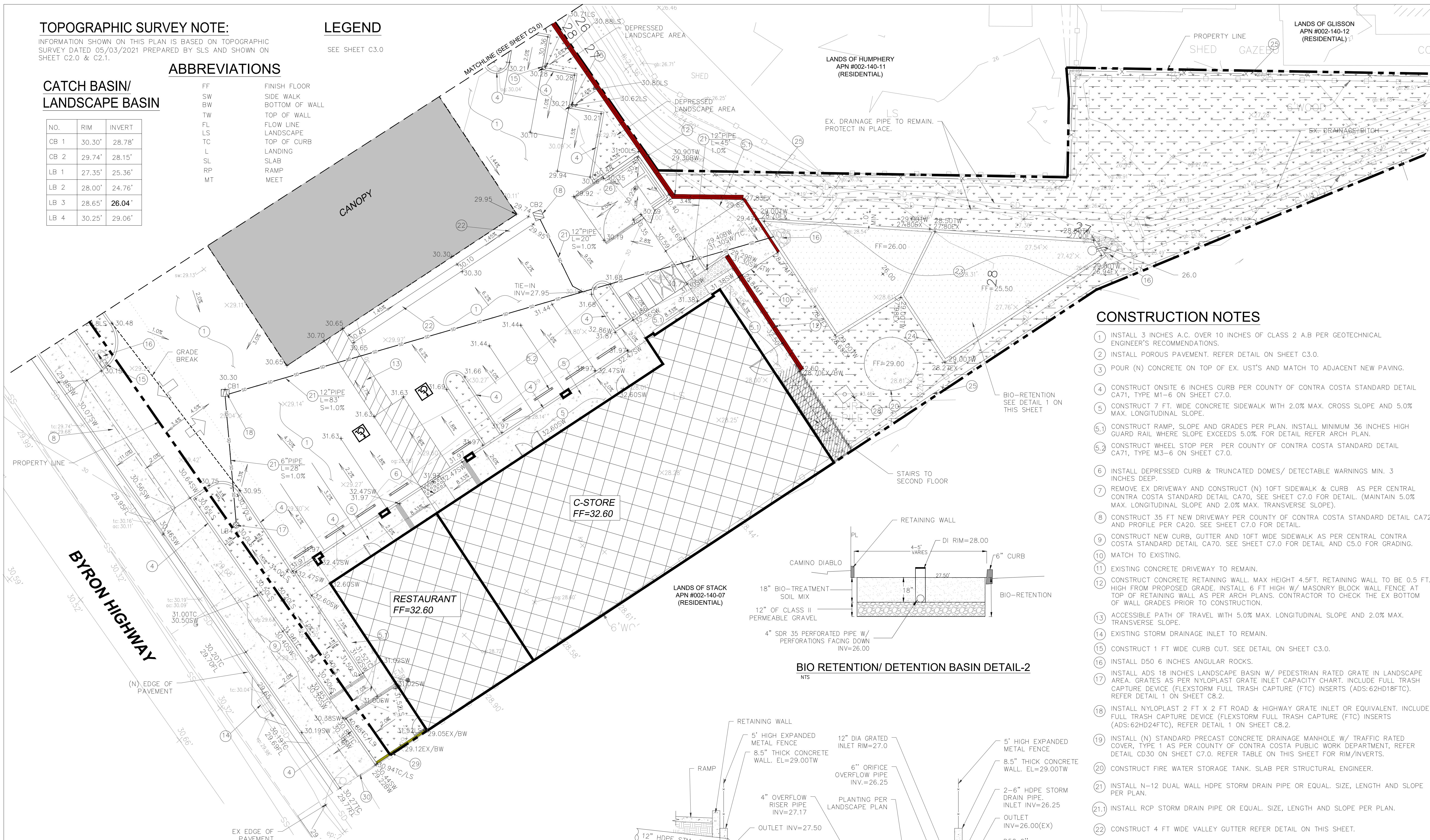
SEE SHEET C3.0

**CATCH BASIN/
LANDSCAPE BASIN**

NO.	RIM	INVERT
CB 1	30.30'	28.78'
CB 2	29.74'	28.15'
LB 1	27.35'	25.36'
LB 2	28.00'	24.76'
LB 3	28.65'	26.04'
LB 4	30.25'	29.06'

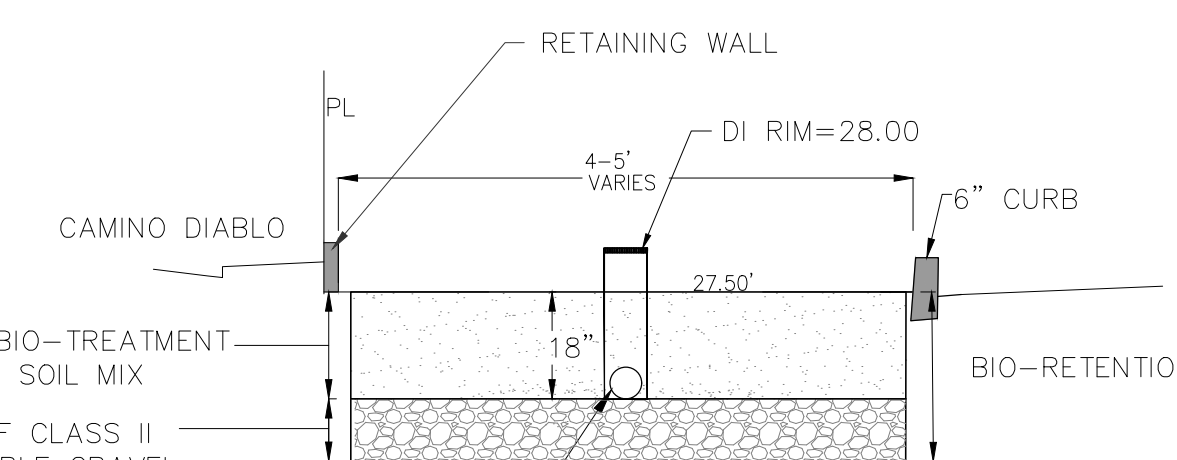
ABBREVIATIONS

FF	FINISH FLOOR
SW	SIDE WALK
BW	BOTTOM OF WALL
TW	TOP OF WALL
FL	FLOW LINE
LS	LANDSCAPE
TC	TOP OF CURB
L	LANDING
SL	SLAB
RP	RAMP
MT	MEET

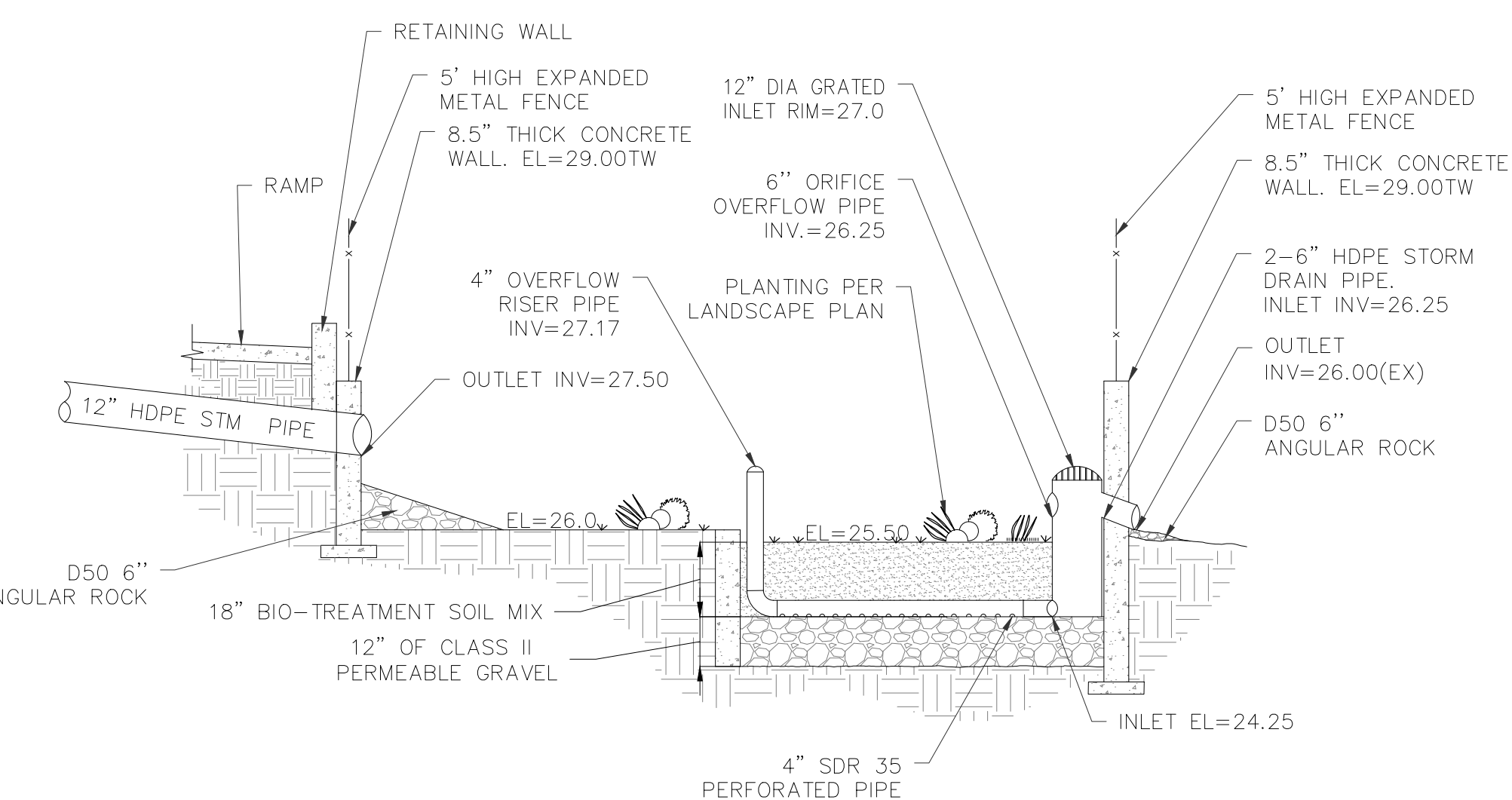


CONSTRUCTION NOTES

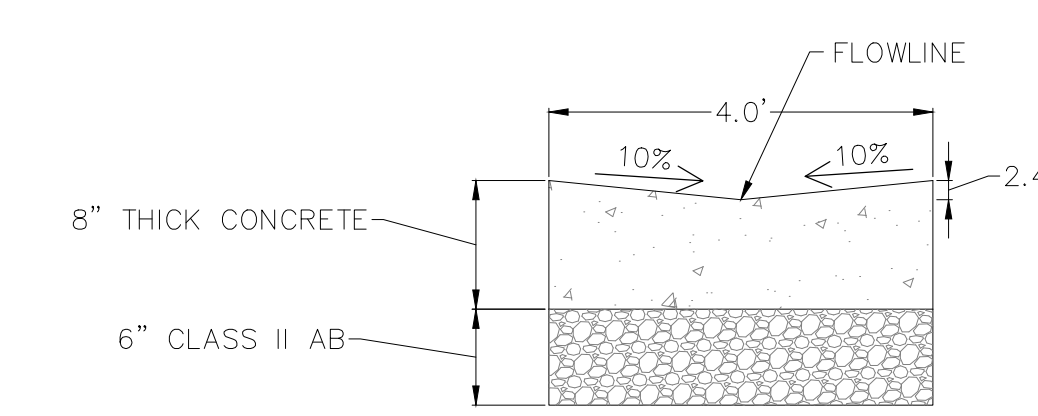
- 1 INSTALL 3 INCHES A.C. OVER 10 INCHES OF CLASS 2 A.B PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- 2 INSTALL POROUS PAVEMENT. REFER DETAIL ON SHEET C3.0.
- 3 POUR (N) CONCRETE ON TOP OF EX. UST'S AND MATCH TO ADJACENT NEW PAVING.
- 4 CONSTRUCT ONSITE 6 INCHES CURB PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA71, TYPE M1-6 ON SHEET C7.0.
- 5 CONSTRUCT 7 FT. WIDE CONCRETE SIDEWALK WITH 2.0% MAX. CROSS SLOPE AND 5.0% MAX. LONGITUDINAL SLOPE.
- 5.1 CONSTRUCT RAMP, SLOPE AND GRADES PER PLAN. INSTALL MINIMUM 36 INCHES HIGH GUARD RAIL WHERE SLOPE EXCEEDS 5.0%. FOR DETAIL REFER ARCH PLAN.
- 5.2 CONSTRUCT WHEEL STOP PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA71, TYPE M3-6 ON SHEET C7.0.
- 6 INSTALL DEPRESSED CURB & TRUNCATED DOMES/ DETECTABLE WARNINGS MIN. 3 INCHES DEEP.
- 7 REMOVE EX DRIVEWAY AND CONSTRUCT (N) 10FT SIDEWALK & CURB AS PER CENTRAL CONTRA COSTA STANDARD DETAIL CA70, SEE SHEET C7.0 FOR DETAIL. (MAINTAIN 5.0% MAX. LONGITUDINAL SLOPE AND 2.0% MAX. TRANSVERSE SLOPE).
- 8 CONSTRUCT 35 FT NEW DRIVEWAY PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA72 AND PROFILE PER CA20. SEE SHEET C7.0 FOR DETAIL.
- 9 CONSTRUCT NEW CURB, GUTTER AND 10FT WIDE SIDEWALK AS PER CENTRAL CONTRA COSTA STANDARD DETAIL CA70. SEE SHEET C7.0 FOR DETAIL AND C5.0 FOR GRADING.
- 10 MATCH TO EXISTING.
- 11 EXISTING CONCRETE DRIVEWAY TO REMAIN.
- 12 CONSTRUCT CONCRETE RETAINING WALL. MAX HEIGHT 4.5FT. RETAINING WALL TO BE 0.5 FT. HIGH FROM PROPOSED GRADE. INSTALL 6 FT HIGH W/ MASONRY BLOCK WALL FENCE AT TOP OF RETAINING WALL AS PER ARCH PLANS. CONTRACTOR TO CHECK THE EX BOTTOM OF WALL GRADES PRIOR TO CONSTRUCTION.
- 13 ACCESSIBLE PATH OF TRAVEL WITH 5.0% MAX. LONGITUDINAL SLOPE AND 2.0% MAX. TRANSVERSE SLOPE.
- 14 EXISTING STORM DRAINAGE INLET TO REMAIN.
- 15 CONSTRUCT 1 FT WIDE CURB CUT. SEE DETAIL ON SHEET C3.0.
- 16 INSTALL D50 6 INCHES ANGULAR ROCKS.
- 17 INSTALL ADS 18 INCHES LANDSCAPE BASIN W/ PEDESTRIAN RATED GRATE IN LANDSCAPE AREA. GRATES AS PER NYLOPLAST GRATE INLET CAPACITY CHART. INCLUDE FULL TRASH CAPTURE DEVICE (FLEXSTORM FULL TRASH CAPTURE (FTC) INSERTS (ADS:62HD18FTC). REFER DETAIL 1 ON SHEET C8.2.
- 18 INSTALL NYLOPLAST 2 FT X 2 FT ROAD & HIGHWAY GRATE INLET OR EQUIVALENT. INCLUDE FULL TRASH CAPTURE DEVICE (FLEXSTORM FULL TRASH CAPTURE (FTC) INSERTS (ADS:62HD24FTC). REFER DETAIL 1 ON SHEET C8.2.
- 19 INSTALL (N) STANDARD PRECAST CONCRETE DRAINAGE MANHOLE W/ TRAFFIC RATED COVER, TYPE 1 AS PER COUNTY OF CONTRA COSTA PUBLIC WORK DEPARTMENT, REFER DETAIL CD30 ON SHEET C7.0. REFER TABLE ON THIS SHEET FOR RIM/INVERTS.
- 20 CONSTRUCT FIRE WATER STORAGE TANK. SLAB PER STRUCTURAL ENGINEER.
- 21 INSTALL N-12 DUAL WALL HDPE STORM DRAIN PIPE OR EQUAL. SIZE, LENGTH AND SLOPE PER PLAN.
- 21.1 INSTALL RCP STORM DRAIN PIPE OR EQUAL. SIZE, LENGTH AND SLOPE PER PLAN.
- 22 CONSTRUCT 4 FT WIDE VALLEY GUTTER REFER DETAIL ON THIS SHEET.
- 23 INSTALL BIO-RETENTION/DETENTION BASIN. SEE DETAIL 1 AND 2 ON THIS SHEET.
- 24 INSTALL (N) 5 FT HIGH EXPANDED METAL FENCE.
- 25 INSTALL 6 FT HIGH WOOD FENCE. EXISTING DRAINAGE DITCH FLOWS TO REMAIN UNDISTURBED.
- 26 NEW TRASH ENCLOSURE, REFER ARCHITECTURAL PLANS FOR DETAILS. DUMPSTER WILL BE MARKED WITH A "DO NOT DUMP HAZARDOUS MATERIALS HERE". FOR TRASH ENCLOSURE DRAINAGE SEE SHEET C8.0.
- 27 CONSTRUCT PUMP HOUSE CONCRETE SLAB PER STRUCTURAL ENGINEER.
- 28 WATER WELL TO BE INSTALLED BY OTHERS.
- 28 CONSTRUCT CMU BLOCK WALL. MAX HEIGHT 3FT.
- 30 INSTALL SIDEWALK END BARRICADE. SEE SHEET C5.0 FOR DETAIL.



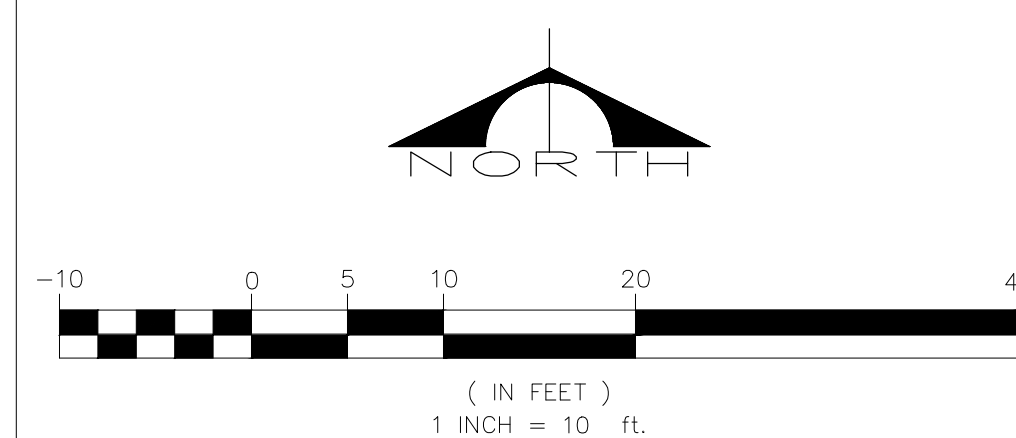
BIO RETENTION/ DETENTION BASIN DETAIL-2
NTS



BIO RETENTION/ DETENTION BASIN DETAIL-1
NTS

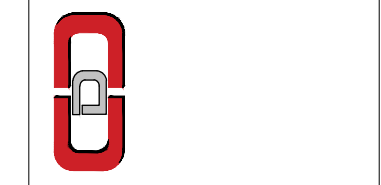


VALLEY GUTTER DETAIL
NTS



NO.	DATE	REVISIONS:

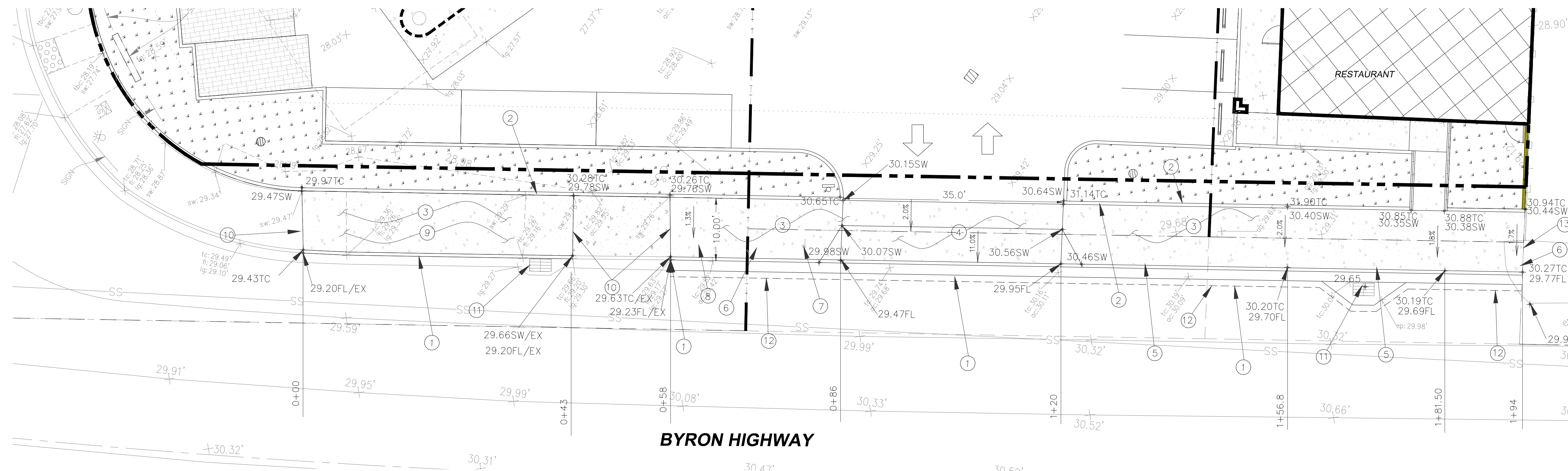
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Woodland, CA
Las Vegas, NV
Phone: (702)347-4613; (530)405-3780 • FAX (702)664-6237
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GRADING & DRAINAGE PLAN
PROJECT: LP13-2025
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYRON HWY
BYRON, CONTRA COSTA COUNTY, CA 94514

DATE: 06/14/2021
JOB: JSS-BR-01
DSN BY: NS
DWG BY: NS
CHK BY: HS

C3.1



PLAN

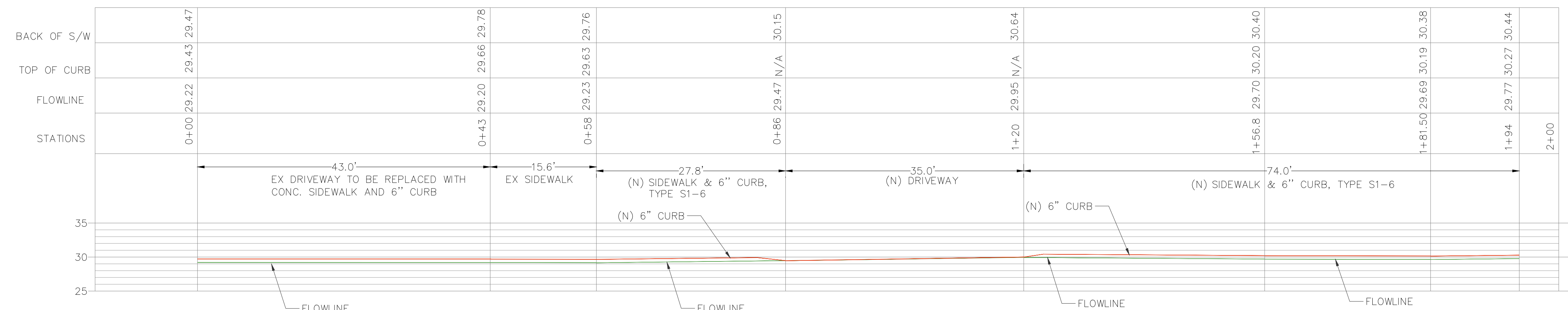
LEGEND

- PROPERTY LINE
- PROPOSED SIDEWALK CONCRETE
- EXISTING SIDEWALK CONCRETE

ABBREVIATIONS

- FL FLOW LINE
- FF FINISH FLOOR
- SW SIDEWALK
- EX EXISTING
- (N) NEW
- TC TOP OF CURB
- EP EDGE OF PAVEMENT

NOTE:
EXISTING IMPROVEMENTS ALONG CAMINO DIABLO TO REMAIN.



PROFILE

SCALE: HORIZONTAL-1:10, VERTICAL-1:10

LEGEND

- TOP OF CURB
- FLOWLINE

STREET IMPROVEMENT NOTES

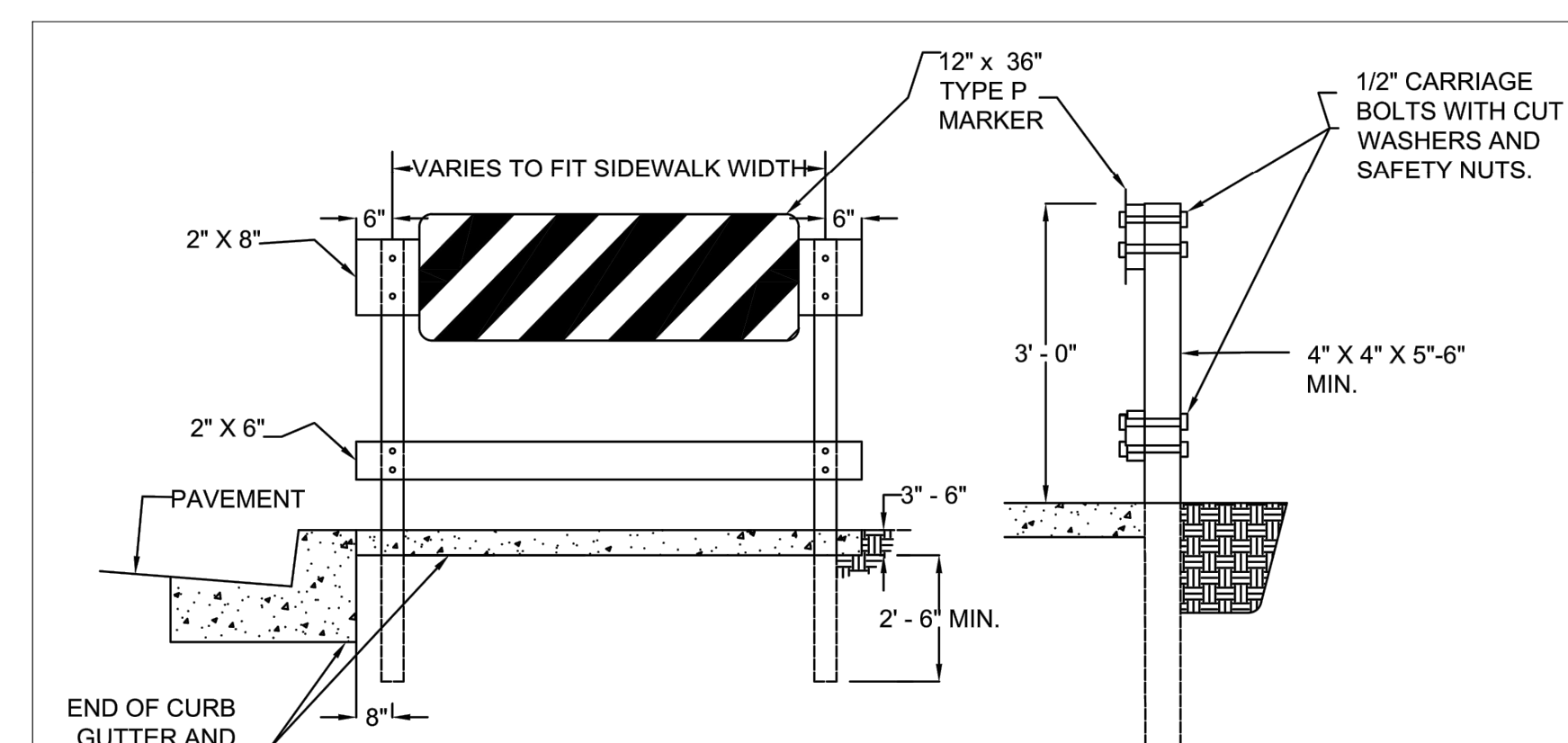
- 1 MATCH TO EXISTING GRADES.
- 2 CONSTRUCT 6 INCHES CURB BEHIND SIDEWALK PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA71, TYPE M1-6 ON SHEET C7.0.
- 3 CONSTRUCT NEW CURB, GUTTER AND SIDEWALK AS PER CENTRAL CONTRA COSTA STANDARD DETAIL CA70. SEE SHEET C7.0 FOR DETAIL.
- 4 CONSTRUCT 35 FT NEW DRIVEWAY PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA72 AND PROFILE PER CA20. SEE SHEET C7.0 FOR DETAIL. WIDTH PER PLAN.
- 5 CONSTRUCT 6 INCHES CURB PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA71, TYPE S1-6 ON SHEET C7.0.
- 6 EXISTING POWER POLE PROTECT IN PLACE.
- 7 EXISTING SIGN BOARD PROTECT IN PLACE.
- 8 EXISTING GUY WIRE PROTECT IN PLACE.
- 9 EXISTING DRIVEWAY TO BE REPLACED WITH NEW SIDEWALK AND CURB .
- 10 INSTALL DOWEL CONNECTIONS WHERE REQUIRED, PER COUNTY OF CONTRA COSTA STANDARD DETAIL CA74. FOR DETAIL SEE SHEET C7.0.
- 11 EXISTING DRAINAGE BASIN PROTECT IN PLACE.
- 12 SAW CUT LINE, MIN. 1 FT. TIE IN BETWEEN PROPOSED PAVEMENT AND NEW PAVEMENT. MAINTAIN EXISTING GRADES FOR PROPOSED EDGE OF PAVEMENT
- 13 INSTALL SIDEWALK END BARRICADE SEE DETAIL ON THIS SHEET.

DEDICATION NOTE:

FOR R.O.W AND DEDICATION, REFER ARCH PLAN LP-RZ-2.1

TOPOGRAPHIC SURVEY NOTE:

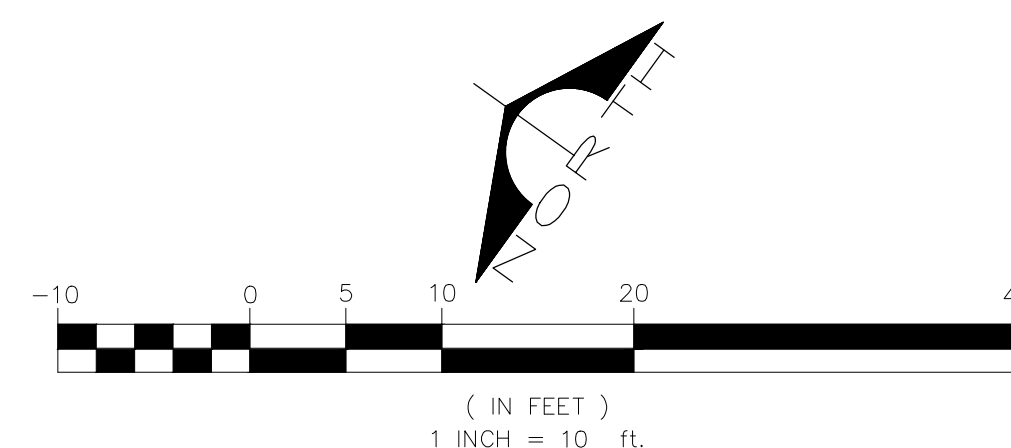
INFORMATION SHOWN ON THIS PLAN IS BASED ON TOPOGRAPHIC SURVEY DATED 05/03/2021 PREPARED BY SLS AND SHOWN ON SHEET C2.0 & C2.1.



SIDEWALK END BARRICADE

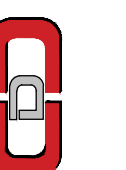
NOTES

1. SIDEWALK BARRICADE TO BE ERECTED AT EACH LOCATION WHERE SATISFACTORY PROVISION CANNOT BE MADE FOR PEDESTRIANS TO CONTINUE BEYOND THE TERMINOUS OF A SIDEWALK.
2. ALL EXPOSED SURFACES TO BE PAINTED WITH TWO (2) COATS OF WHITE PAINT. ALL PAINT TO CONFORM TO SEC. 91-3.02 OF CALTRANS STANDARDS SPECIFICATIONS.
3. ALL MATERIALS USED IN THE CONSTRUCTION OF BARRICADE SHALL BE TREATED DOUGLAS FIR IN CONFORMANCE WITH SEC 56-2.02 OF CALTRANS STANDARD SPECIFICATIONS.



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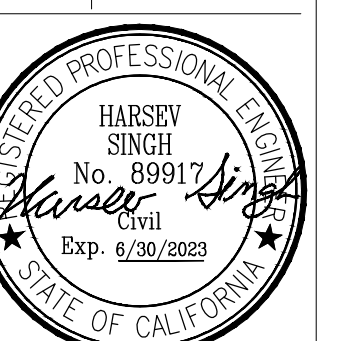
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Las Vegas, NV



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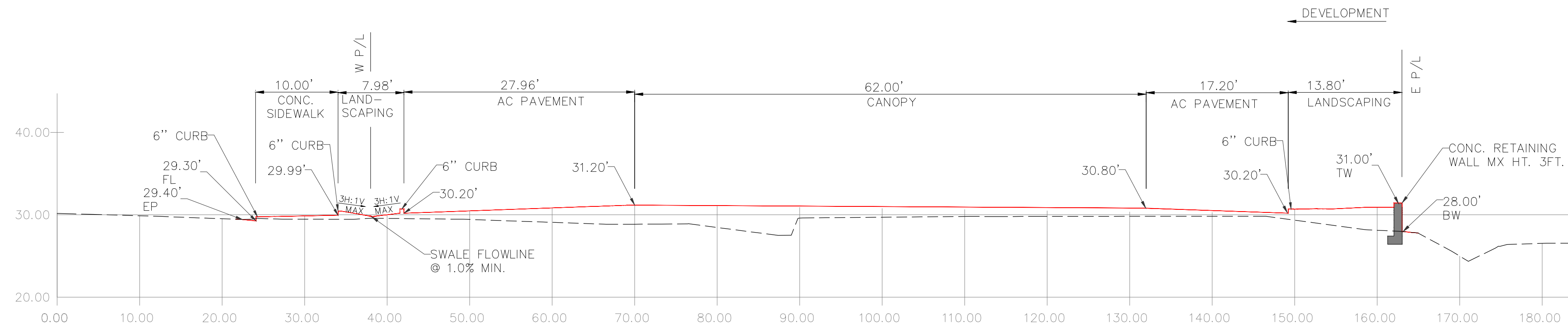
STREET IMPROVEMENTS PLAN

PROJECT LP13-2025
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYRON HWY
BYRON, CONTRA COSTA COUNTY, CA 94514



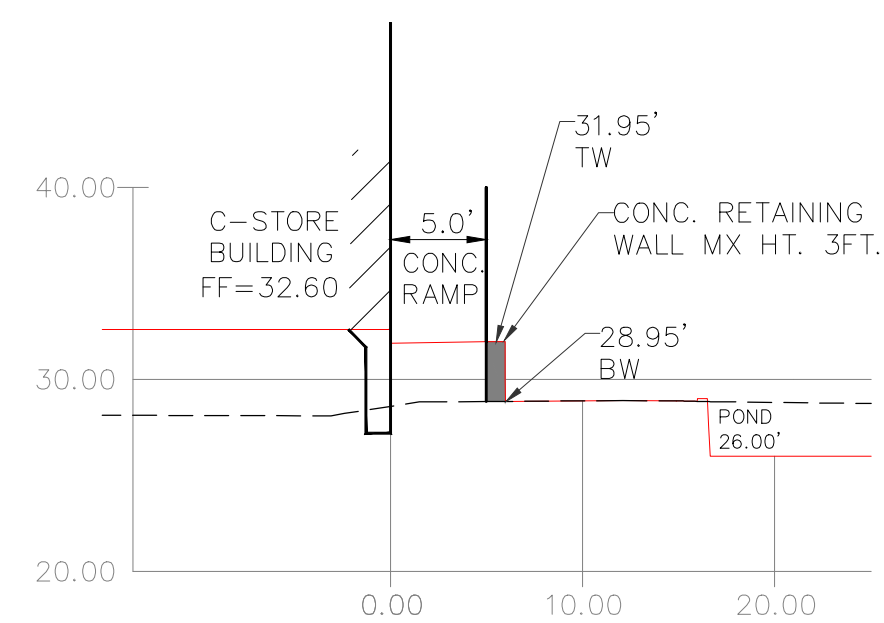
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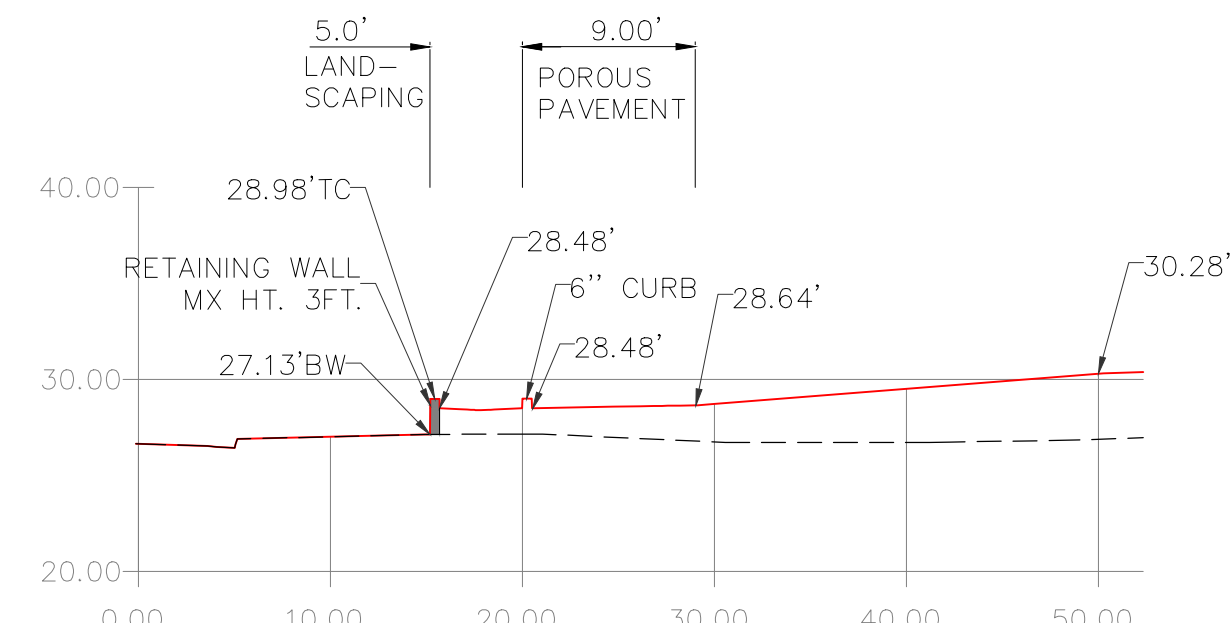
SECTION A-A

HRTZ: 1"=10'
VERT: 1"=10'



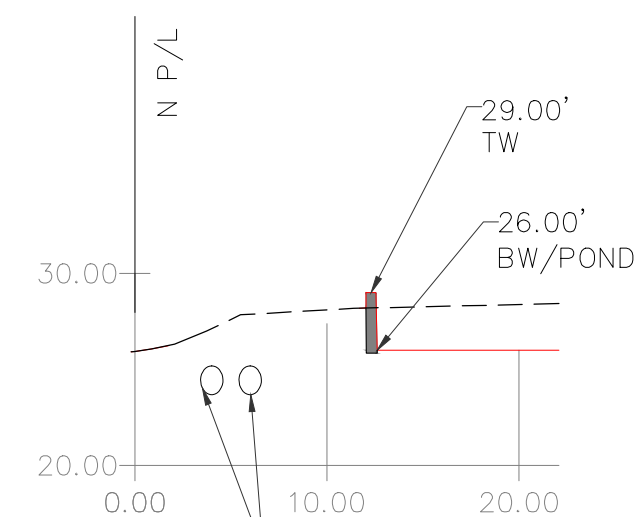
SECTION B-B

HRTZ: 1"=10'
VERT: 1"=10'



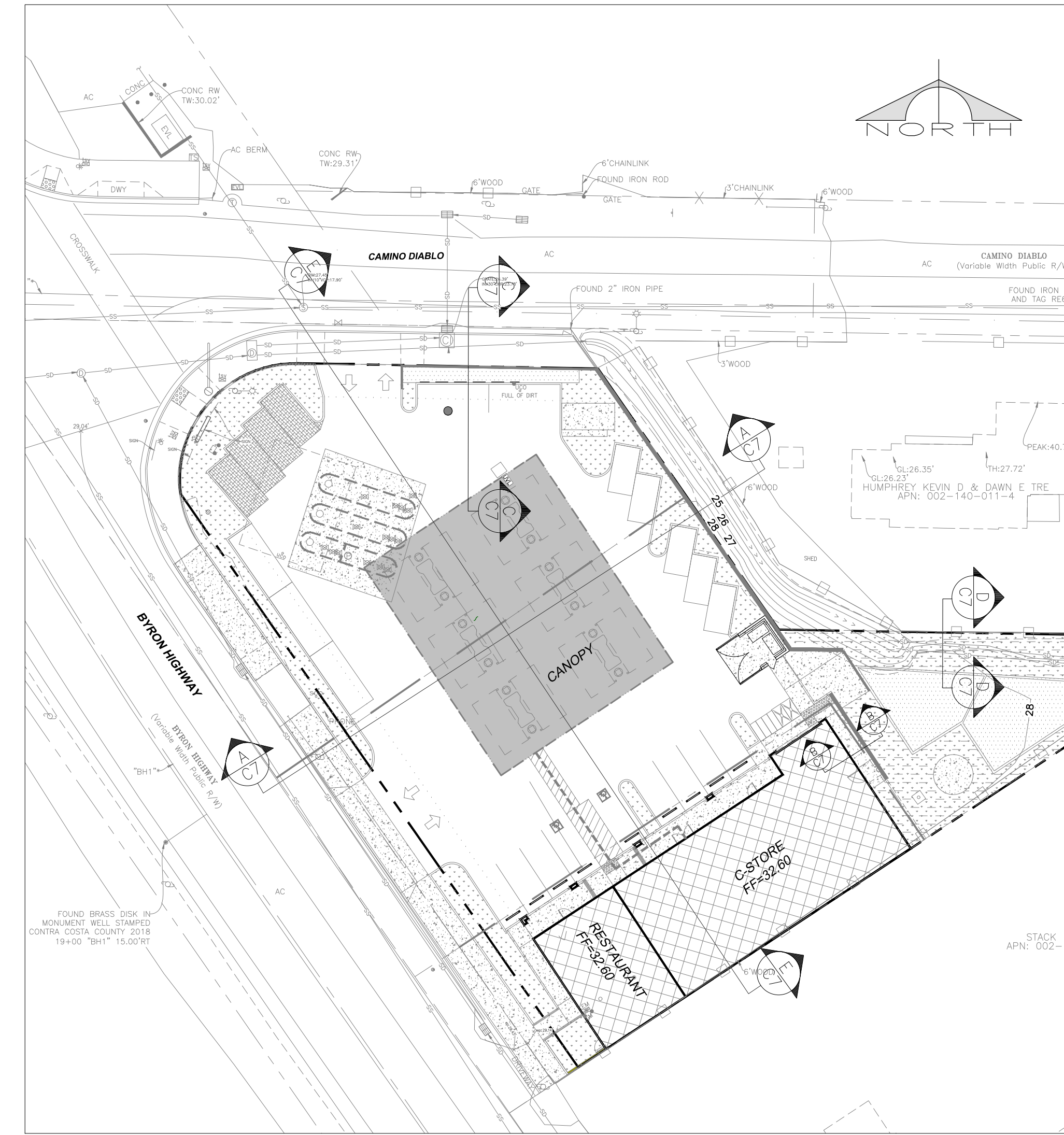
SECTION C-C

HRTZ: 1"=10'
VERT: 1"=10'



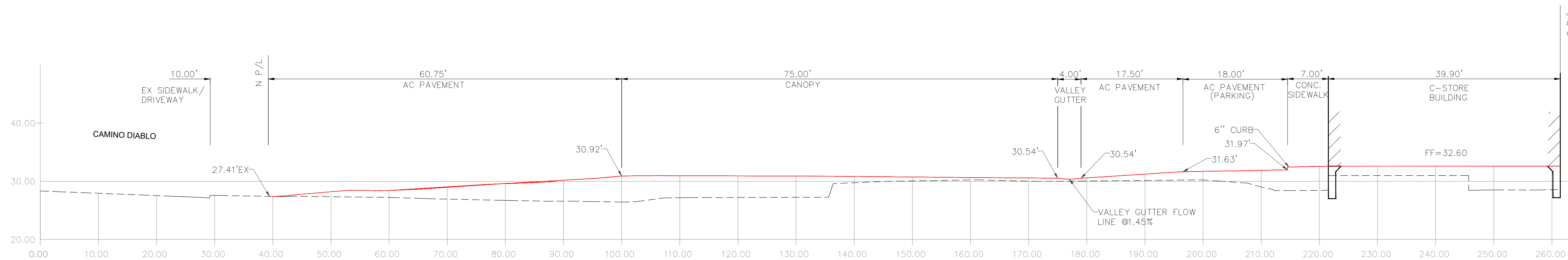
SECTION D-D

HRTZ: 1"=10'
VERT: 1"=10'



KEY PLAN

SCALE: 1"=30'



SECTION E-E

HRTZ: 1"=10'
VERT: 1"=10'

ABBREVIATIONS

SW	SIDEWALK
EX	EXISTING
CC	CEMENT CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
LS	LANDSCAPING
FL	FLOW LINE
	PROPOSED SURFACE
	EXISTING SURFACE

REVISIONS:	REVISION	ISSUE	DATE
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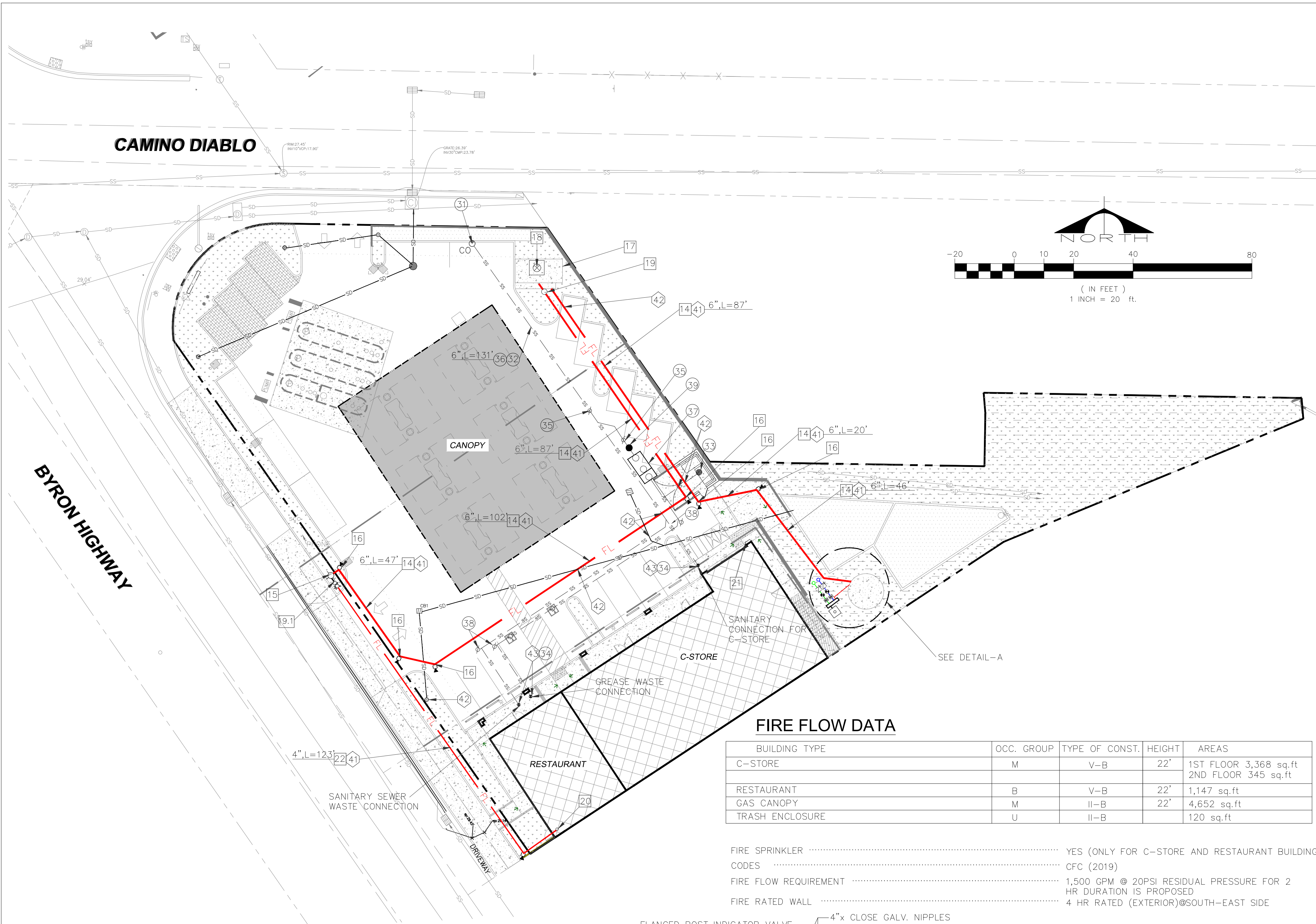
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SITE SECTIONS
PROJECT: LP13-2025
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYRON HWY
BYRON, CONTRA COSTA COUNTY, CA 94514



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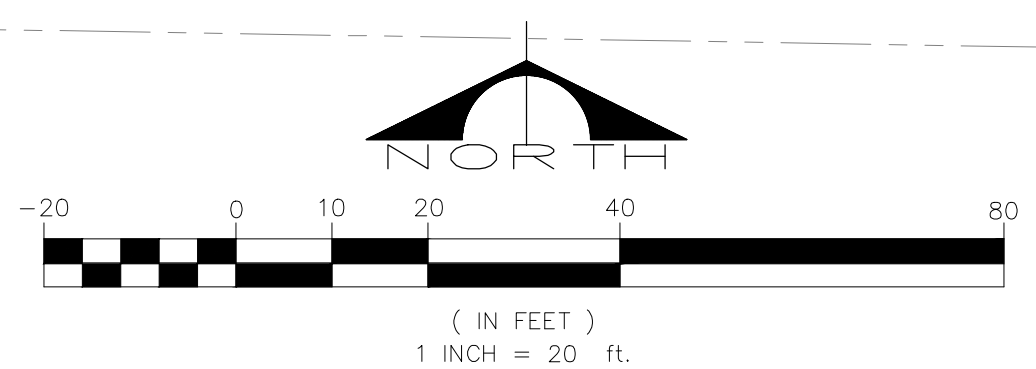


LEGEND

- FL FIRE LINE
- 2"W DOMESTIC WATER LINE
- 1"W IRRIGATION WATER LINE
- 6" MANIFOLD
- ⊗ WATER METER
- ⊕ GATE VALVE
- ⊕ DOUBLE CHECK DETECTOR ASSEMBLY
- ⊕ DRAFT CONNECTION
- ⊕ FIRE PUMP
- ⊕ FIRE HYDRANT
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ THRUST BLOCK
- SS — SS — SS SANITARY SEWER PIPE
- ⊕ EXISTING SANITARY CLEANOUT
- ⊕ FLOOR DRAIN (FOR SANITARY)
- ⊕ OIL AND WATER SEPARATOR
- SD — SD — SD STORM DRAIN PIPE
- ⊕ PROPOSED CATCH BASIN
- ⊕ PROPOSED LANDSCAPING BASIN

ABBREVIATIONS

- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FL FIRE LINE
- (N) NEW
- EX EXISTING



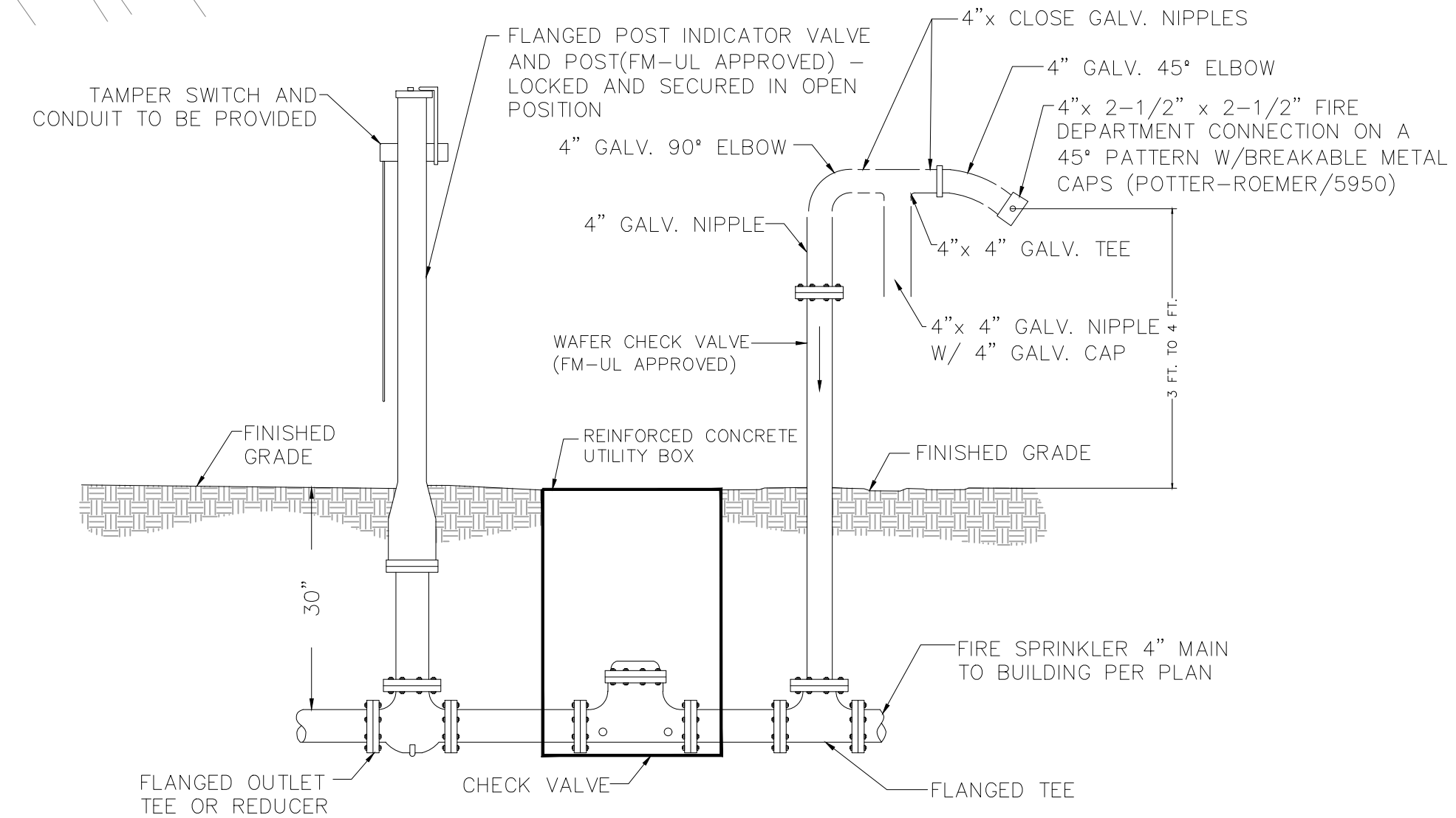
CONSTRUCTION NOTES

- WATER :**
- 1] INSTALL (N) WATER WELL UNDER SEPARATE PERMIT BY OTHERS .
 - 2] INSTALL 6" PVC SCH 80 NSF APPROVED MANIFOLD FOR DOMESTIC, IRRIGATION AND FIRE CONNECTIONS.
 - 3] INSTALL 2" DOMESTIC WATER METER.
 - 4] INSTALL GATE VALVE & VALVE BOX ASSEMBLY.
 - 5] INSTALL 2" REDUCED PRESSURE BACKFLOW PREVENTER AND PRV ASSEMBLY.
 - 6] INSTALL 1" IRRIGATION WATER METER.
 - 7] INSTALL 1" REDUCED PRESSURE BACKFLOW PREVENTER FOR IRRIGATION CONNECTION.
 - 8] DOMESTIC POINT OF CONNECTION (P.O.C). REFER PLUMBING PLANS FOR CONTINUATION.
 - 9] IRRIGATION POINT OF CONNECTION (P.O.C). REFER IRRIGATION PLANS FOR CONTINUATION.
 - 10] INSTALL 2" SCHEDULE 80 NSF APPROVED SAFE DOMESTIC WATER LINE CONNECTIONS WITH CORROSION RESISTANCE AND NSF POTABLE DRINKING WATER APPROVED. .
 - 11] INSTALL 1" SCHEDULE 80 NSF APPROVED IRRIGATION LINE CONNECTIONS.
 - 12] INSTALL 6" SCHEDULE 80 NSF APPROVED FIRE LINE TO STORAGE TANK.
 - 13] INSTALL 15,000 GALLONS FIRE DEPARTMENT APPROVED WATER STORAGE TANK. FOUNDATION PER STRUCTURAL PLAN.
 - 14] INSTALL 6" PVC CLASS 150-C900 FIRE LINE TO PUMP HOUSE AND FIRE HYDRANT, LENGTH PER PLAN.
 - 15] INSTALL FIRE DEPARTMENT APPROVED FIRE HYDRANT AS PER EAST BAY MUD DETAIL 9496-GB ON SHEET C8.2.
 - 16] INSTALL PVC BEND AND THRUST BLOCKS REFER CONTRA COSTA COUNTY WATER DISTRICT STANDARD DETAIL NO. SD-1 ON SHEET C8.2.
 - 17] INSTALL FIRE PUMP HOUSE PER MANUFACTURER SPECIFICATIONS SLAB PER STRUCTURAL SPECIFICATIONS.
 - 18] INSTALL FIRE PUMP (1000 GPM @ 80 PSI CAPACITY).
 - 19] INSTALL FIRE DEPARTMENT CONNECTION (FDC) FOR FIRE DEPARTMENT ACCESS IN CASE OF FIRE PUMP FAILURE.
 - 19.1] INSTALL FIRE DEPARTMENT CONNECTION (FDC) AND POST INDICATOR VALVE AS PER DETAIL ON THIS SHEET.
 - 20] IN-BUILDING FIRE RISER CONNECTION WITHOUT MECHANICAL JOINTS WITH FLANGE OUTLET 12" A.F.F. FIRE SPRINKLER CONTRACTOR TO TIE INTO THIS CONNECTION. REFER DETAIL 2 ON SHEET C8.2 FOR CLEARANCE & ONE-PIECE IN BUILDING RISER ASSEMBLY
 - 21] INSTALL KNOX BOX FOR PUMP HOUSE KEY.
 - 22] INSTALL 4" PVC CLASS 150-C900 FIRE LINE TO FIRE RISER ROOM, LENGTH PER PLAN.

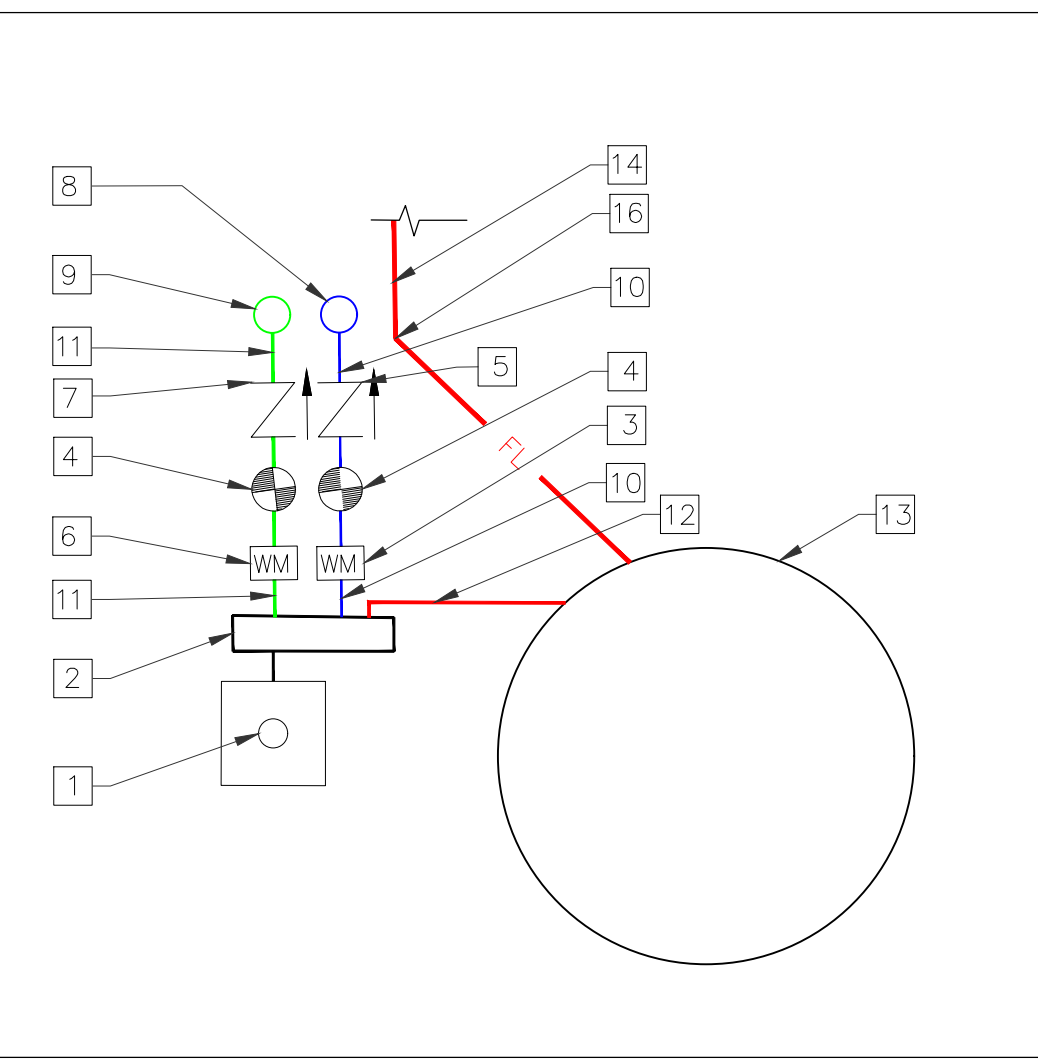
FIRE FLOW DATA

BUILDING TYPE	OCC. GROUP	TYPE OF CONST.	HEIGHT	AREAS
C-STORE	M	V-B	22'	1ST FLOOR 3,368 sq.ft 2ND FLOOR 345 sq.ft
RESTAURANT	B	V-B	22'	1,147 sq.ft
GAS CANOPY	M	II-B	22'	4,652 sq.ft
TRASH ENCLOSURE	U	II-B		120 sq.ft

- FIRE SPRINKLER YES (ONLY FOR C-STORE AND RESTAURANT BUILDING)
- CODES CFC (2019)
- FIRE FLOW REQUIREMENT 1,500 GPM @ 20PSI RESIDUAL PRESSURE FOR 2 HR DURATION IS PROPOSED
- FIRE RATED WALL 4 HR RATED (EXTERIOR)@SOUTH-EAST SIDE



TYPICAL FIRE DEPARTMENT CONNECTION, POST INDICATOR VALVE AND CHECK VALVE
SCALE: N.T.S.



MANIFOLD ENLARGED DETAIL-A
SCALE: N.T.S.

SANITARY :

- 31] TIE-IN TO EXISTING SANITARY SEWER CLEAN OUT. CONTRACTOR TO VERIFY INVERT OF EXISTING SANITARY SEWER PIPE AT TIE-IN LOCATION.
- 32] INSTALL 6 INCH PVC SCHEDULE C900 DR25 SANITARY SEWER PIPE, LENGTH PER PLAN.
- 33] TRASH ENCLOSURE, FLOOR DRAIN CONNECT TO SEWER. DUMPSTER WILL BE MARKED WITH A "DO NOT DUMP HAZARDOUS MATERIALS HERE".
- 34] SANITARY POINT OF CONNECTION (P.O.C). REFER PLUMBING PLANS FOR CONTINUATION.
- 35] INSTALL SANITARY TWIN CLEANOUT AS PER CONTRA COSTA SANITARY DISTRICT DWG NO. 22-07. REFER SHEET C8.2 FOR DETAIL
- 36] TRENCH AND BACKFILL REFER COUNTY OF CONTRA COSTA STANDARD DETAIL CU01.
- 37] INSTALL 1000 GALLONS GREASE INTERCEPTOR PER CENTRAL CONTRA COSTA SANITARY DISTRICT STANDARD DETAIL (2020 EDITION) DWG 23-02 SEE DETAIL ON SHEET C8.2.
- 38] INSTALL SANITARY IN LINE RISER CLEANOUT AS PER CONTRA COSTA SANITARY DISTRICT DWG NO. 22-07. REFER SHEET C8.2 FOR DETAIL.
- 39] INSTALL SAMPLING MANHOLE BOX PER CENTRAL CONTRA COSTA SANITARY DISTRICT STANDARD DETAIL (2020 EDITION) DWG 23-05. REFER SHEET C8.2 FOR DETAIL.

STORM

FOR STORM SYSTEM, SEE SHEET NO-C3.0

GENERAL NOTES

- 41] TRENCH AND BACKFILL REFER EAST BAY MUNICIPAL UTILITY DISTRICT STANDARD DETAIL NO. 1992-A ON SHEET C8.2.
- 42] WATER MAINS AND SERVICES, INCLUDING THE METERS, MUST BE LOCATED AT LEAST 10 FT HORIZONTALLY FROM AND 1 FT VERTICALLY ABOVE ANY PARALLEL PIPELINE CONVEYING UNTREATED SEWAGE (INCLUDING SANITARY SEWER LATERALS), AND AT LEAST 4 FT FROM AND ONE FOOT VERTICALLY ABOVE ANY PARALLEL PIPELINE CONVEYING STORM DRAINAGE. IF THE WATER AND SEWER/STORM LINES CROSS AND THE VERTICAL SEPARATION IS LESS THAN 2 FT, A 6 INCH CONCRETE ENCASEMENT OF THE SEWER/STORM MAIN IS REQUIRED FOR A DISTANCE OF 10 FT ON EACH SIDE OF THE CROSSING.
- 43] CAP UTILITY LINE WITHIN 5 FT. OF PROPOSED BUILDING. CONTRACTOR TO MARK STUB OUT LOCATION WITH WOODEN 2 FT. X 4 FT. AND MARK UTILITY AS APPLICABLE.



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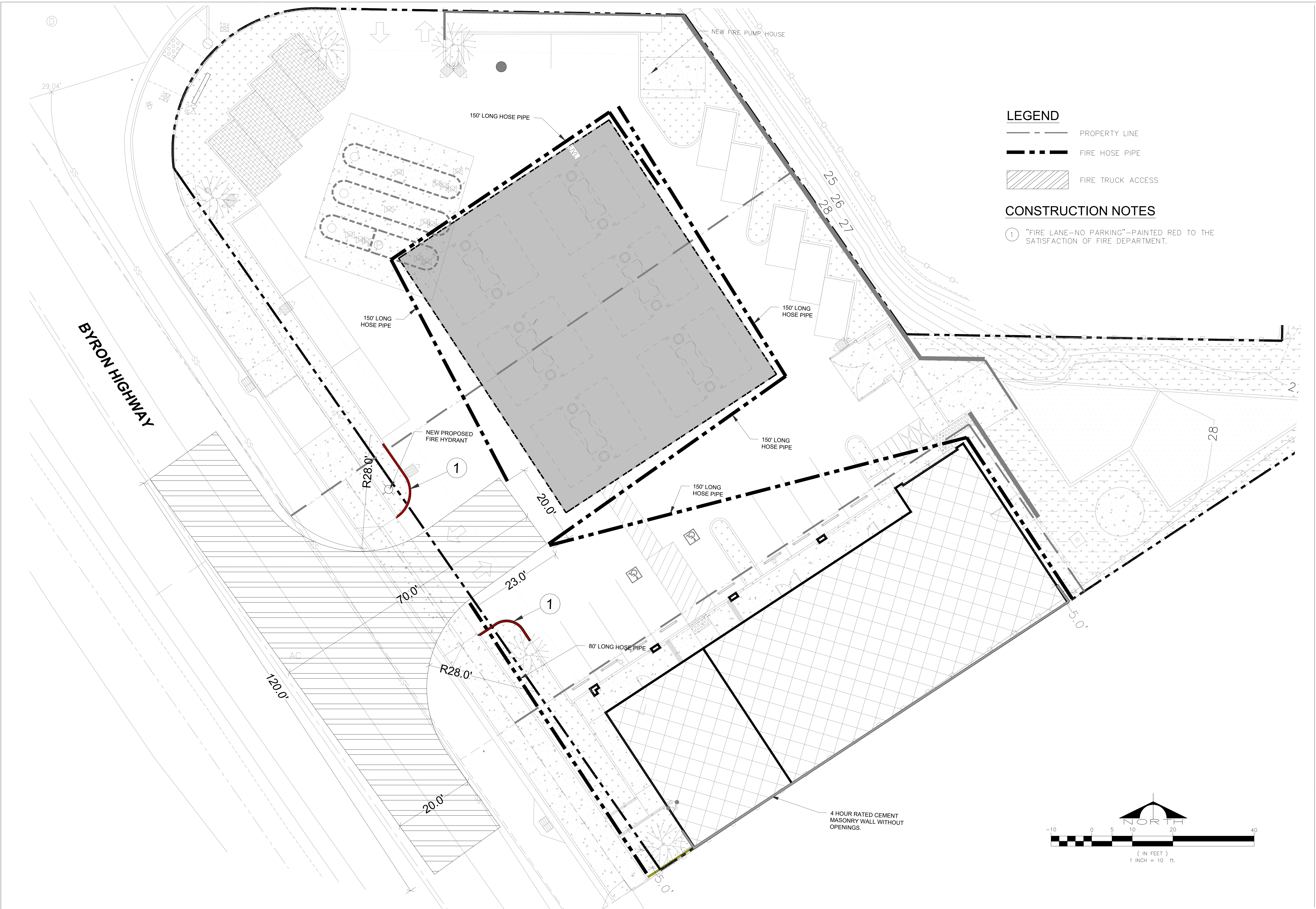
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UTILITY PLAN
PROJECT LP13-2025
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
15031, 15045 & 15057 BYRON HWY
BYRON, CONTRA COSTA COUNTY, CA 94514



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C8.0



LEGEND

- PROPERTY LINE
- FIRE HOSE PIPE
- FIRE TRUCK ACCESS

CONSTRUCTION NOTES

- ① "FIRE LANE—NO PARKING"—PAINTED RED TO THE SATISFACTION OF FIRE DEPARTMENT.

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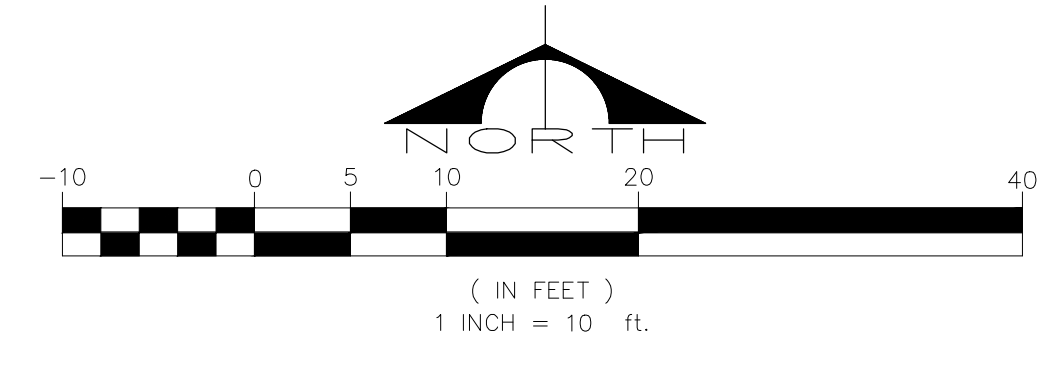
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FIRE TRUCK ACCESS
 PROJECT: LP13-2025
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
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 BYRON, CONTRA COSTA COUNTY, CA 94514



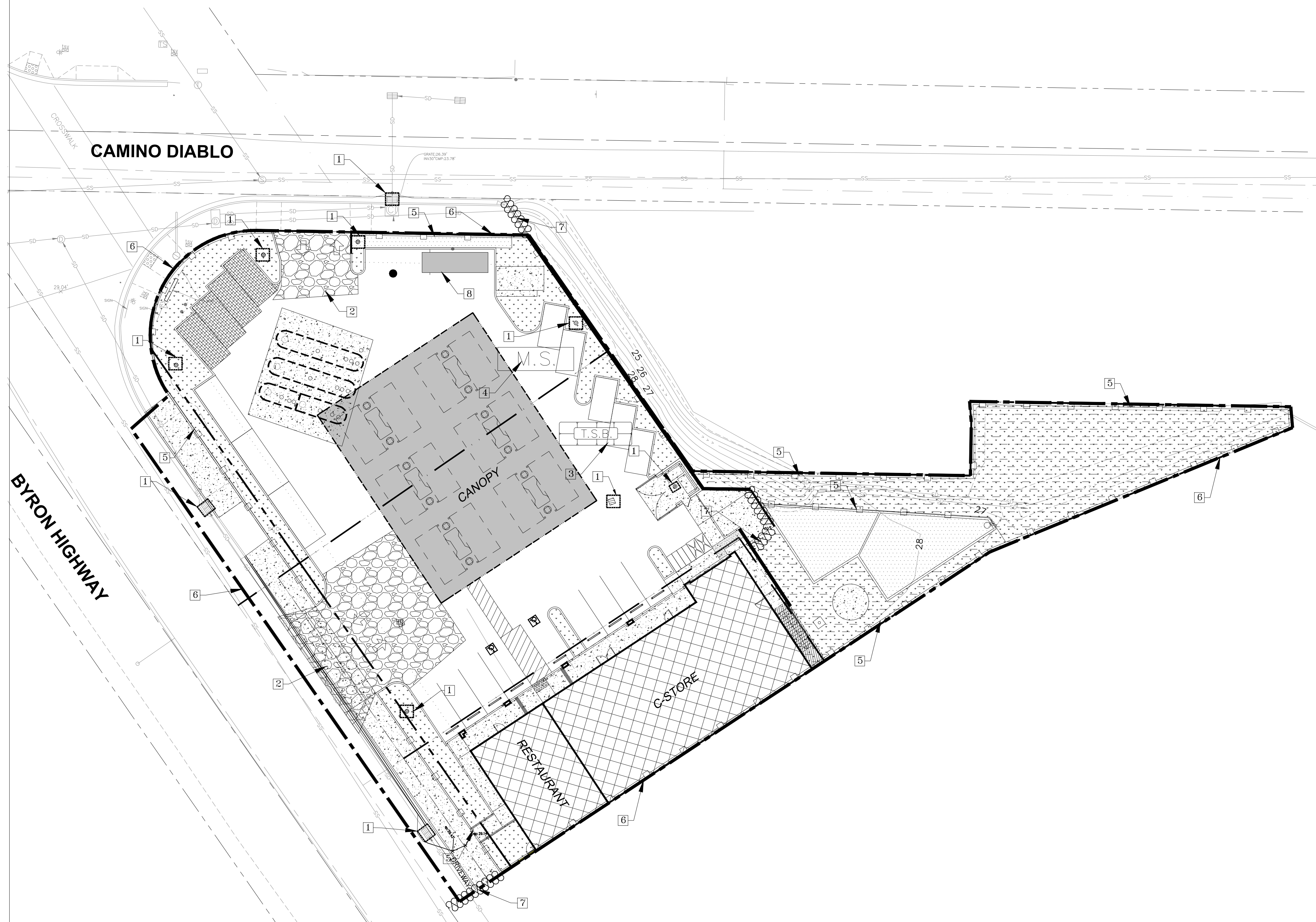
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 DWG BY: NS
 CHK BY: HS

C8.1



4 HOUR RATED CEMENT MASONRY WALL WITHOUT OPENINGS.

DISTURBED AREA DETAILS
TOTAL DISTURBED AREA - 0.85 ACRE



LEGEND

- 1 [Symbol] INLET SEDIMENT CONTROL REFER DETAIL ON SHEET ERCP2 AS PER CASQA MANUAL.
- 2 [Symbol] STABILIZED CONSTRUCTION ENTRANCE/EXIT REFER DETAIL ON SHEET ERCP2 AS PER CASQA MANUAL.
- 3 [Symbol] T.S.B. CONCRETE WASHOUT AREA REFER DETAIL ON SHEET ERCP2 AS PER CASQA MANUAL.
- 4 [Symbol] M.S. LOCATION OF EQUIPMENT/MATERIAL STORAGE.
- 5 [Symbol] SILT FENCE (AROUND PROPERTY LINE EXCEPT DRIVEWAYS) REFER DETAIL ON SHEET ERCP2 AS PER CASQA MANUAL.
- 6 [Symbol] LIMITS OF DISTURBED AREAS.
- 7 [Symbol] FIBER ROLLS REFER DETAIL ON SHEET ERCP2 AS PER CASQA MANUAL.
- 8 [Symbol] VEHICLE AND EQUIPMENT CLEANING/ VEHICLE AND EQUIPMENT MAINTENANCE

BMPs	MAINTENANCE
INLET SEDIMENT CONTROL	<ol style="list-style-type: none"> DISCHARGE OF SEDIMENT, WATER, TRASH, FLUIDS OF ANY KIND OFF THE PROPERTY, OR POSING A RISK FOR RELEASE OFF THE PROPERTY SHALL BE PROHIBITED AND ABATED IMMEDIATELY UPON DISCOVERY. DISCHARGE OFF THE PROPERTY IS A VIOLATION OF FEDERAL, STATE AND LOCAL LAW PUNISHABLE BY IMMEDIATE CITATION AND FORMAL ENFORCEMENT UP TO \$20,000 PER VIOLATION PER DAY. BIOFILTER BAGS EXPOSED TO SUNLIGHT WILL NEED TO BE REPLACED EVERY TWO TO THREE MONTHS DUE TO DEGRADING OF THE BAGS. SEDIMENT THAT IS RETAINED BY THE BMP SHOULD BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS.
VEHICLE AND EQUIPMENT CLEANING/MAINTENANCE AREA	<ol style="list-style-type: none"> INSPECTION AND MAINTENANCE IS MINIMAL, ALTHOUGH SOME BERM REPAIR MAY BE NECESSARY. INSPECT SUMP REGULARLY AND REMOVE LIQUIDS AND SEDIMENT AS NEEDED. VEHICLES AND EQUIPMENT SHOULD BE INSPECTED ON EACH DAY OF USE. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLE(S) OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE. KEEP STORAGE AREA CLEAN AND WELL ORGANIZED, INCLUDING A CURRENT LIST OF ALL MATERIALS ONSITE.
FIBER ROLL	<ol style="list-style-type: none"> REPAIR OR REPLACE SPLIT, TORN, UNRAVELING, OR SLUMPING FIBER ROLLS. IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP SHOULD BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-THIRD THE DESIGNATED STORAGE DEPTH. IF FIBER ROLLS ARE USED FOR EROSION CONTROL, SUCH AS IN A CHECK DAM, SEDIMENT REMOVAL SHOULD NOT BE REQUIRED AS LONG AS THE SYSTEM CONTINUES TO CONTROL THE GRADE. SEDIMENT CONTROL BMPs WILL LIKELY BE REQUIRED IN CONJUNCTION WITH THIS TYPE OF APPLICATION.
CONCRETE WASHOUTS	<ol style="list-style-type: none"> TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4IN. FOR ABOVE GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE MATERIALS SHOULD BE REMOVED AND PROPERLY DISPOSED OR RECYCLED IN ACCORDANCE WITH FEDERAL, STATE OR LOCAL REGULATIONS. CONCRETE WASHOUTS SHALL BE CLEANED WHEN THE WASTE VOLUME IN THE WASHOUT REACHES 75 PERCENT OF CAPACITY. INSPECT WASHOUT FACILITIES FOR DAMAGE (E.G. TORN LINER, EVIDENCE OF LEAKS, ETC.). REPAIR ALL IDENTIFIED DAMAGE.
MATERIAL & WASTE DISPOSAL LOCATION	INSPECT SITE ON A WEEKLY BASIS TO EXAMINE CONSTRUCTION MATERIALS ARE PROPERLY STORED AND WASTE IS PROPERLY DISPOSED TO PREVENT WATER POLLUTION.
STABILIZED CONSTRUCTION ACCESS	<ol style="list-style-type: none"> INSPECT STABILIZED CONSTRUCTION ACCESS DAILY FOR DAMAGE AND EFFECTIVENESS OF PREVENTING SOIL, SEDIMENT, AND CONSTRUCTION DEBRIS FROM BEING TRACKED ONTO PUBLIC STREETS. STREETS ADJACENT TO STABILIZED CONSTRUCTION ACCESS AREAS SHALL BE SWEEP DAILY TO REMOVE LOOSE MATERIALS. REMOVE AGGREGATE, SEPARATE, AND DISPOSED OF SEDIMENT IF CONSTRUCTION ACCESS IS CLOGGED WITH SEDIMENT OR AS DIRECTED BY THE COUNTY INSPECTOR.
SILT FENCE	<ol style="list-style-type: none"> INSPECT SILT FENCES WHEN RAIN IS FORECAST AND AGAIN AFTER RAINFALL EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN SEDIMENT ACCUMULATION IS 1/3 THE HEIGHT OF THE BARRIER OR WHEN SEDIMENT ACCUMULATION IS CAUSING THE SILT FENCE TO FAIL.

SEDIMENT CONTROL	REFERENCE ID
SILT FENCE	SE-1
FIBER ROLLS	SE-5
INLET SEDIMENT CONTROL	SE-10

TEMPORARY TRACKING CONTROL	REFERENCE ID
STABILIZED CONSTRUCTION ENTRANCE/EXIT	TC-1

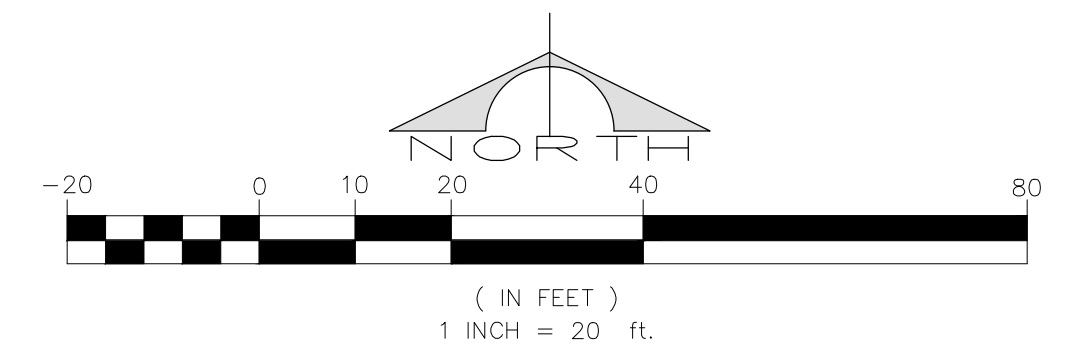
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL	REFERENCE ID
CONCRETE WASHOUT AREA	WM-8

NON-STORMWATER MANAGEMENT CONTROL	REFERENCE ID
VEHICLE AND EQUIPMENT CLEANING	NS-8
VEHICLE AND EQUIPMENT MAINTENANCE	NS-10

NOTE:

- BMPs MUST BE IMPLEMENTED IN ACCORDANCE WITH CONSTRUCTION GENERAL PERMIT, MUNICIPAL REGIONAL GENERAL PERMIT, AND GENERAL DUTY REQUIREMENTS FOR THE ASSOCIATED PROJECT TYPE, ACTIVITY AND RISK LEVEL ON A PROJECT OF THIS SCOPE IT IS RECOMMENDED THAT AT A MINIMUM BMPs BE INSPECTED DAILY, AND ALSO PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AND AFTER THE CONCLUSION OF RAIN EVENTS.
- THE PROPERTY OWNER AND/OR APPLICANT IS RESPONSIBLE FOR CLEANING STORM DRAINS AND CATCH BASINS THAT ARE LOCATED ON PRIVATE PROPERTY AT LEAST THREE TIMES EACH YEAR, ONCE PRIOR TO THE RAINY SEASON (BEFORE OCTOBER 1ST), ONCE IN JANUARY, AND ONCE IN MAY. THE PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CLEANING AS WARRANTED. MAINTENANCE AND CLEANING RECORDS SHALL BE MAINTAINED AT THE SITE.
- SIDEWALKS, PARKING LOTS, DRIVEWAYS, STREETS, GUTTER AND OTHER PAVED AREAS UNDER PRIVATE OWNERSHIP/MANAGEMENT SHALL BE REGULARLY SWEEP TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS. IF WATER IS USED, IT SHALL BE COLLECTED, ALONG WITH ANY DEBRIS BEFORE ENTERING THE STORM DRAIN SYSTEM.

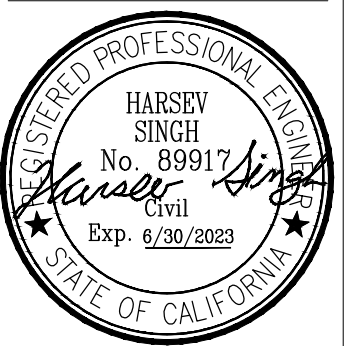
NOTE:
 ALL ABOVE DETAILS (SE-1, SE-5, SE-10, TC-1, WM-8, NS-8, AND NS-10) REFER TO THE CASQA BMP MANUAL GUIDANCE AND REFERENCE DOCUMENT DESIGNATIONS.



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EROSION AND SEDIMENT CONTROL PLAN
 PROJECT: LP13-2025
C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
 15031, 15045 & 15057 BYRON HWY
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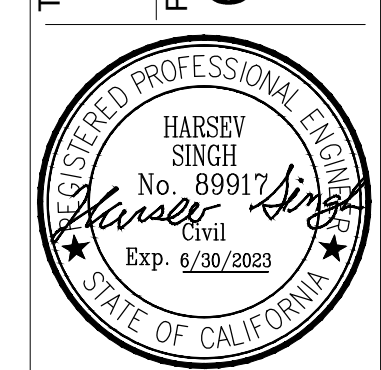
DRAINAGE AREA/TYPE

NO.	AREA (sq.ft)	TYPE
DMA 1	3367	BUILDING
DMA 2	1151	BUILDING
DMA 3	201	PAVEMENT
DMA 4	244	PAVEMENT
DMA 5	525	SELF RETAINING AREA-1
DMA 6	2403	PAVEMENT
DMA 7	338	PAVEMENT
DMA 8	1314	PAVEMENT
DMA 9	68	SELF RETAINING AREA-2
DMA 10	43	SELF RETAINING AREA-3
DMA 11	169	SELF TREATING AREA-1
DMA 12	3506	PAVEMENT
DMA 13	2389	BUILDING
DMA 14	2263	BUILDING
DMA 15	532	LANDSCAPE
DMA 16	5445	SELF TREATING AREA-2
DMA 17	238	LANDSCAPE
DMA 18	497	LANDSCAPE
DMA 19	2791	PAVEMENT
DMA 20	32	LANDSCAPE
DMA 21	243	PAVEMENT
DMA 22	1423	SELF RETAINING AREA - 4
DMA 23	615	SELF RETAINING AREA - 5
DMA 24	1229	PAVEMENT
DMA 25	1600	PAVEMENT
IMP 1	700	BIO-RETENTION AREA
IMP 2	230	BIO-RETENTION AREA

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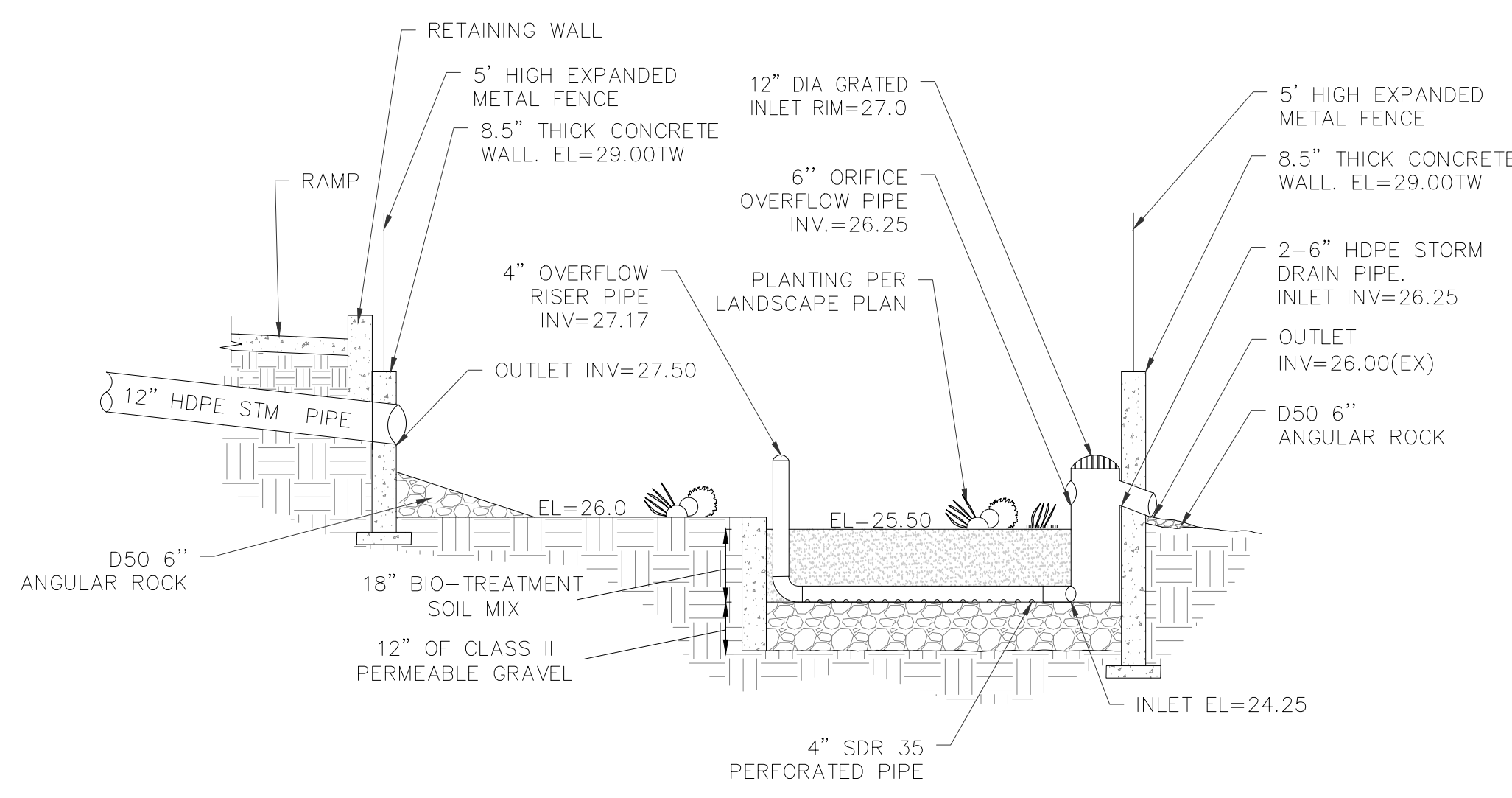
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DRAINAGE MANAGEMENT AREAS
 PROJECT LP13-2025
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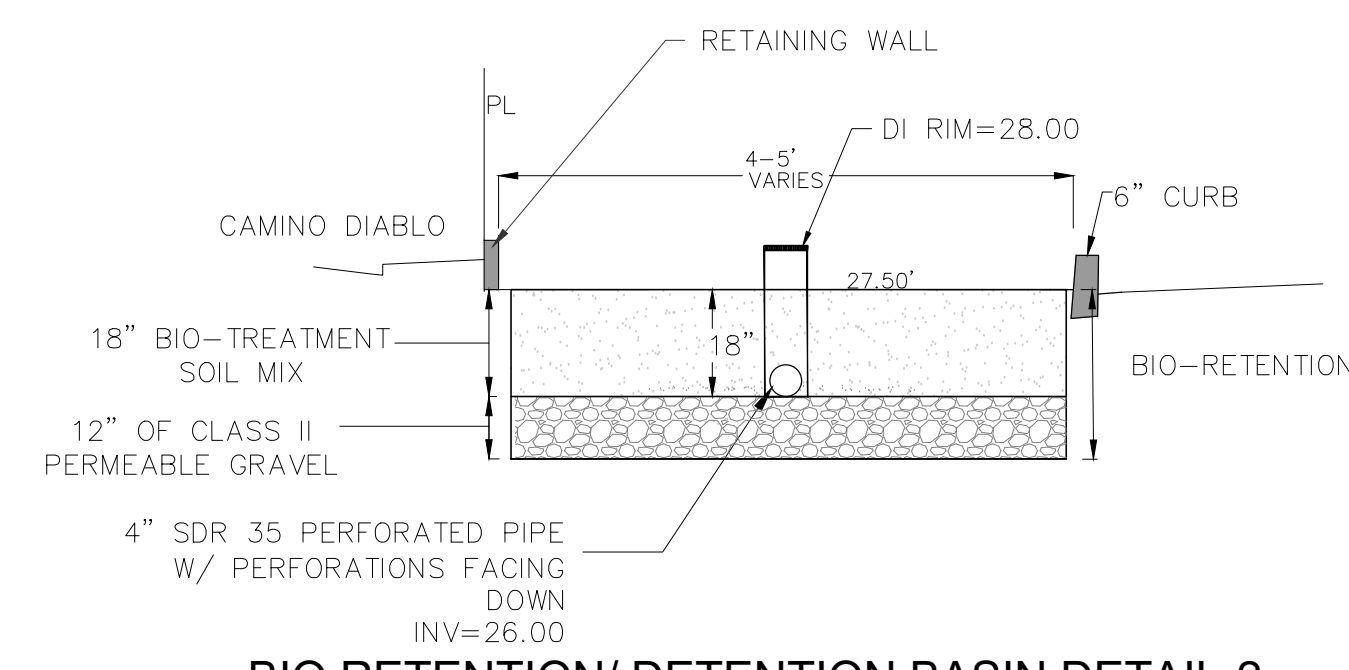


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 DWG BY: NS
 CHK BY: HS

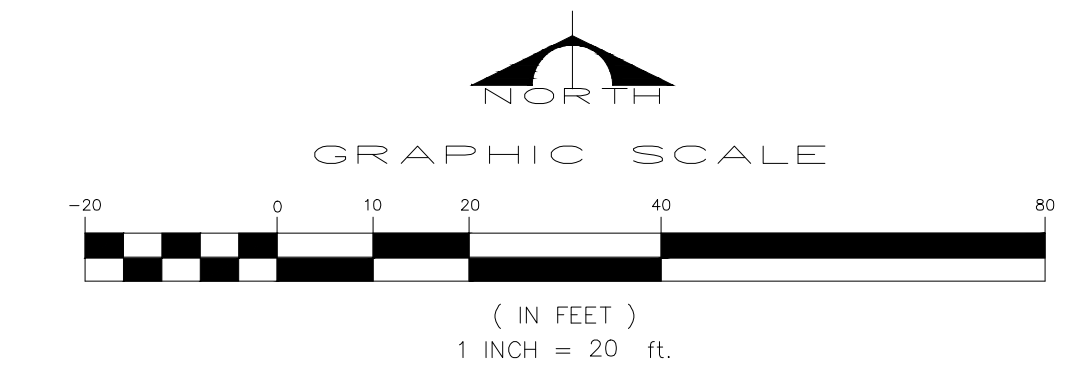
C10.0



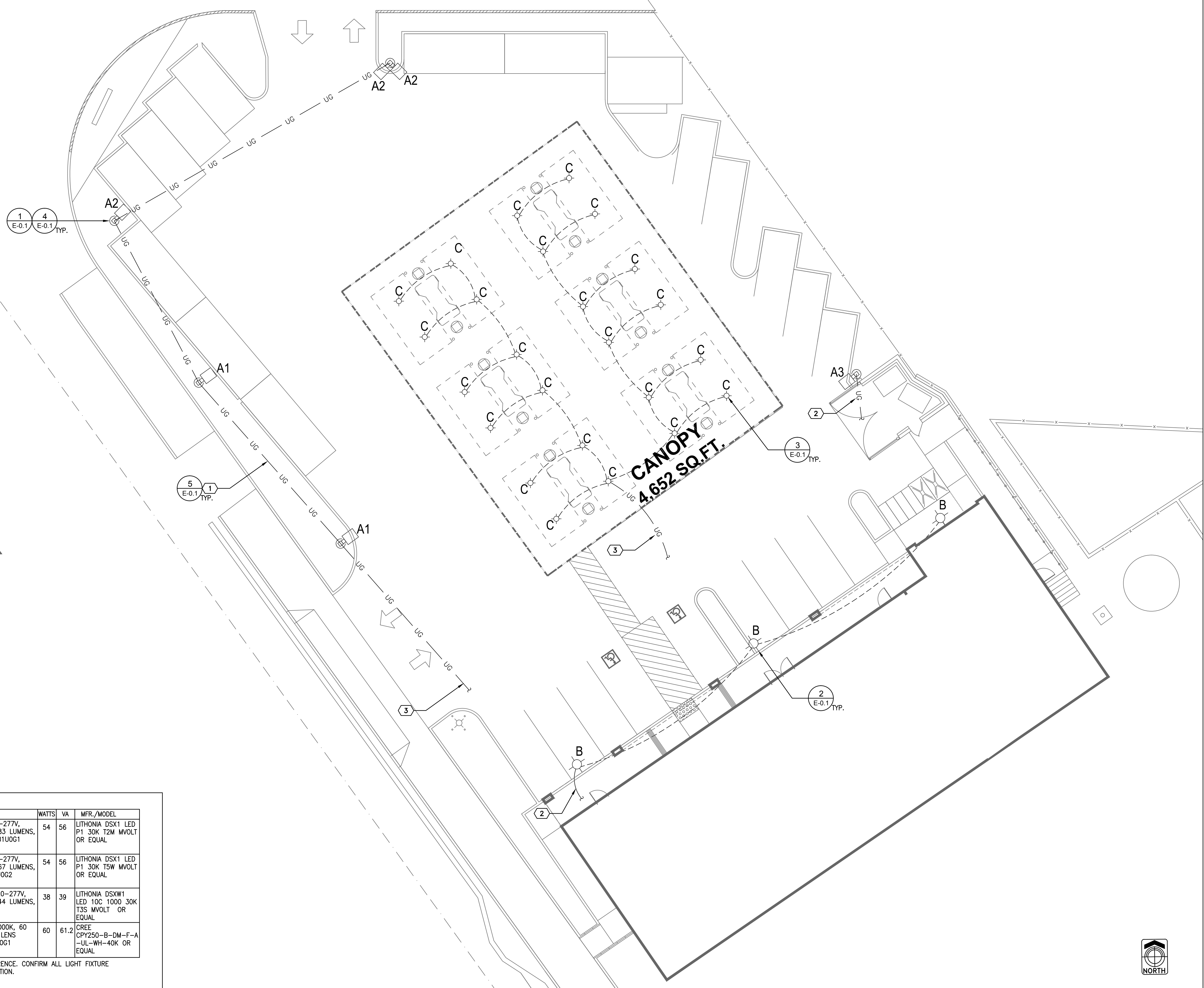
BIO RETENTION/ DETENTION BASIN DETAIL-1
NTS



BIO RETENTION/ DETENTION BASIN DETAIL-2
NTS



BYRON HIGHWAY



- KEYNOTES**
- CONDUIT ROUTINGS SHOWN ARE DIAGRAMMATIC. INSTALLER'S DISCRETION ON FIELD-ROUTING OF SIGHT LIGHTING RACEWAYS BASED ON FIELD CONDITIONS AND IN COORDINATION WITH OTHER UTILITIES.
 - 3/4" SCH 40 PVC. W/ 2#12 & 1#12 GND TO BLDG. ELECTRICAL PANEL VIA LIGHTING CONTROL PANEL (PANELS BY OTHERS UNDER SEPARATE PROJECT).
 - 1" SCH 40 PVC. W/ 2#8 & 1#12 GND TO BLDG. ELECTRICAL PANEL VIA LIGHTING CONTROL PANEL (PANELS BY OTHERS UNDER SEPARATE PROJECT).
 - ALL AREA LIGHTING SHOWN BE CONTROLLED PER THE REQUIREMENTS OF TITLE 24, PART 6, CALIFORNIA ENERGY CODE SECTION 130.2

REVISIONS:	REVISION	ISSUE	DATE

Continental Development Consultants, Inc.
 Las Vegas, NV
 Woodland, CA
 Phone (702)347-6137; (530)405-3780 • FAX (702)664-6237
 Email: Contact @ continentalcdc.com
 Civil Engineering • Land Planning and Zoning Entitlements •
 Building Design and Improvements • Construction Consulting

SITE LIGHTING PLAN
 PROJECT
 C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD)
 15031, 15045 & 15057 BYORN HWY
 BYRON, CONTRA COSTA COUNTY, CA 94514



DATE: 08/31/2020
 JOB : JSS-BR-01
 DWG BY: TB
 CHK BY: SS

E-1.0

FIXTURE	DESCRIPTION	WATTS	VA	MFR./MODEL
A1, A3	LED AREA LUMINAIRE, POLE-MTD., 120-277V, 3000K, 54 WATTS, QTY. 30-LED, 6,483 LUMENS, TYPE II MEDIUM DISTRIBUTION. BUG: B1U0G1 MTG. HT: 20'-0"	54	56	LITHONIA DSX1 LED P1 30K T2M MVOLT OR EQUAL
A2	LED AREA LUMINAIRE, POLE-MTD., 120-277V, 3000K, 54 WATTS, QTY. 30-LED, 6,667 LUMENS, TYPE V WIDE DISTRIBUTION. BUG: B3U0G2 MTG. HT: 20'-0"	54	56	LITHONIA DSX1 LED P1 30K T5W MVOLT OR EQUAL
B	LED AREA LUMINAIRE, BLDG.-MTD., 120-277V, 3000K, 38 WATTS, QTY. 10-LED, 3,644 LUMENS, TYPE III SHORT DISTRIBUTION. MTG. HT: 13'-0"	38	39	LITHONIA DSXW1 LED 10C 1000 30K T3S MVOLT OR EQUAL
C	LED CANOPY FIXTURE, 120V-277V, 4000K, 60 WATTS, 7,250 LUMENS, 70 CRI, FLAT LENS DISTRIBUTION, DIRECT-MTD. BUG: B3U0G1 MTG. HT: 15'-0" (CANOPY CEILING)	60	61.2	CREE CPY250-B-DM-F-A -UL-WH-40K OR EQUAL

FIXTURE MFR./MODEL NOS. SHOWN FOR REFERENCE. CONFIRM ALL LIGHT FIXTURE SELECTIONS WITH OWNER PRIOR TO CONSTRUCTION.

LIGHT FIXTURE SCHEDULE 2

SITE LIGHTING PLAN 1" = 1'-0" 1



BYRON HIGHWAY

PHOTOMETRIC ILLUMINANCE VALUE (FOOTCANDLES), TYP.



SITE PHOTOMETRIC SUMMARY					
AREA	AVE.	MAX.	MIN.	MAX:MIN	AVE:MIN
CANOPY (SITE OFF)	26.2	39.1	11.5	3.4:1	2.3:1
SITE (CANOPY OFF)	4.0	11.1	0.7	16:1	5.7:1
SITE (ALL ON)	10.8	39	1.6	24.4:1	6.8:1

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TITLE: **SITE LIGHTING PHOTOMETRIC PLAN**
 PROJECT: **C-STORE & GAS STATION EXPANSION (RAISE & RE-BUILD) 15031, 15045 & 15057 BYORN HWY BYRON, CONTRA COSTA COUNTY, CA 94514**



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E-1.1