

SKY HIGH FARMS

DRAINAGE & EROSION CONTROL SITE PLAN

10788 SKY HIGH RIDGE ROAD
LOWER LAKE, CA 95457
APN: 122-340-02

Project Information

CLIENT: KATHY CRIST
10788 SKY HIGH RIDGE ROAD
LOWER LAKE, CA 95457
HAPPYHARVESTLANDSCAPING@GMAIL.COM
(707) 830-0577

ENGINEER: NORTH BAY CIVIL CONSULTING, INC
MATT KLEIN, PRINCIPAL ENGINEER
100 E ST, SUITE 104
SANTA ROSA, CA 95404
KG@NORTHBAYCIVILCONSULTING.COM
(707) 595-5919

PROJECT ADDRESS: 10788 SKY HIGH RIDGE ROAD
LOWER LAKE, CA 95457

LAND USE: RL

PARCEL AREA: 21.159 ACRES

Purpose

THE PURPOSE OF THIS PLAN SET IS TO PROVIDE SUPPORT IN OBTAINING A COMMERCIAL CANNABIS PERMIT FOR (1) A-TYPE 3B LICENSE FOR 22,000 SQFT OF MIXED-LIGHT CANNABIS CULTIVATION IN THE COUNTY OF LAKE. THIS PROJECT PLANS TO EARLY ACTIVATE 22,000 SQFT OF OUTDOOR CANNABIS CULTIVATION.

Erosion Hazard Rating

SOIL TYPE: KONOCTI-HAMBRIGHT COMPLEX
HAZARD RATING: MODERATE

Flood Hazard Zone Information

FIRM DESIGNATED FLOOD ZONE: D
BASE FLOOD ELEVATION: NA
CULTIVATION AREA ELEVATION: 1760.0 FEET
FLOOD PROOFING REQUIRED? NO

Linetype Legend

EXISTING	PROPOSED	DEFINITION
-x-x-x-x-x-	-x-x-x-x-x-	FENCE
----	----	DRAINAGE PIPE
----	----	PROPERTY LINE
- > - > -	----	WATERCOURSE
----	----	ELECTRICAL UTILITY LINE
----	----	WATER LINE
----	----	SANITARY SEWER
----	----	FIBER ROLL
	X	TREE TO BE REMOVED

Sheet Index

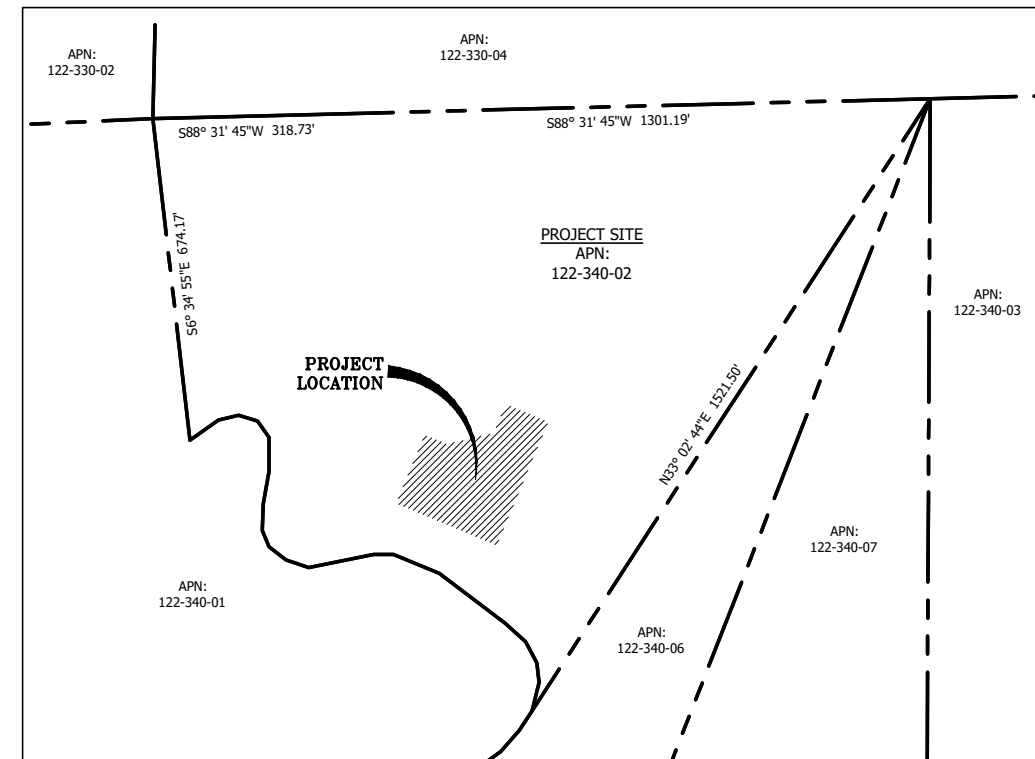
1.0	COVER SHEET
2.0	OVERALL SITE PLAN
3.0	DRAINAGE & EROSION CONTROL SITE PLAN

Topographic Information

TOPOGRAPHIC INFORMATION WAS OBTAINED THROUGH THE U.S. GEOLOGICAL SURVEY 3D ELEVATION PROGRAM. LONGITUDE AND LATITUDE GEOGRAPHICAL COORDINATES ARE HORIZONTALLY REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD88).

Abbreviations

AC	ASPHALT CONCRETE	FG	FINISH GRADE
APN	ASSESSOR'S PARCEL NUMBER	FL	FLOW LINE
APPROX	APPROXIMATE	GH	GREENHOUSE
C L	CENTERLINE	HH	HOOPHOUSE
CONC	CONCRETE	INV	INVERT
CY	CUBIC YARD	LF	LINEAR FEET
Ø	DIAMETER	MAX	MAXIMUM
EG	EXISTING GROUND	MIN	MINIMUM
ELEV	ELEVATION	NA	NOT APPLICABLE
EP	EDGE OF PAVEMENT	NTS	NOT TO SCALE
(E)	EXISTING	(P)	PROPOSED
FF	FINISHED FLOOR	s	SLOPE



APN MAP
NTS



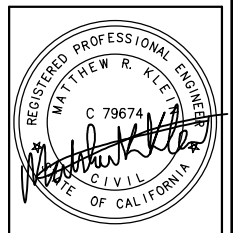
LOCATION MAP
NTS

NORTH BAY CIVIL CONSULTING

WWW.NORTHBAYCIVILCONSULTING.COM
PHONE: (707) 595-5919
FAX: (707) 595-5919
SANTA ROSA, CA 95404

NOTES:

- PROPERTY LINES, EASEMENTS, AND TOPOGRAPHIC INFORMATION IS APPROXIMATE AND OBTAINED FROM PUBLICLY AVAILABLE INFORMATION.
- WATERCOURSE LINETYPE THICKNESS TO DELINEATE THE TOP OF BANK.
- BASED ON PUBLICLY AVAILABLE DATA THERE ARE NO FAULT ZONES ON THE SUBJECT PROPERTY.
- STRAW MATS SHALL BE PLACED AROUND CULTIVATION AREAS TO PREVENT STORMWATER RUNOFF.
- ENTIRE CULTIVATION SITE SHALL BE HYDROSEED TO STABILIZE SOIL.
- PROJECT PARCEL SHALL ADHERE TO THE STATE OF CALIFORNIA PUBLIC RESOURCE CODE, DIVISION 4 AND ALL SECTIONS IN 4290 AND 4291 (001-058) REQUIREMENTS. CAL FIRE ROAD STANDARDS SHALL REFLECT THE MOST CURRENT REGULATIONS (JANUARY 3, 2020).
- ALL ROADWAY SLOPES SHOWN WITHIN THIS PLAN SET ARE LESS THAN 16%. ROADWAY SLOPES EXCEEDING 16% ARE NOT ALLOWED BY GOVERNING JURISDICTION AND ALL FUTURE ROAD IMPROVEMENTS ONSITE SHALL COMPLY.
- ALL STRUCTURES SHALL HAVE 100' OF DEFENSIBLE SPACE. DEFENSIBLE SPACE SHALL BE AS DEFINED IN STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS. STRUCTURES AND/OR LOCATIONS WHICH STORE HAZARDOUS, FLAMMABLE, OR DANGEROUS MATERIAL SHALL ESTABLISH AND MAINTAIN A MINIMUM 300' VEGETATION FUELS REDUCTION BUFFER.
- ALL ROADWAYS SHALL BE IMPROVED TO MEET STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS AT THE TIME PERMITS ARE OBTAINED FOR SUCH IMPROVEMENTS.
- THESE DRAWINGS ARE FOR PLANNING PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.



PROJECT ADDRESS:
10788 SKY HIGH RIDGE ROAD
LOWER LAKE, CA 95457

APN:
122-340-02

CLIENT:
KATHY CRIST

CONSULTANT:
KYLE GEITNER,
PRINCIPAL CONSULTANT

DATE: 7/1/2022	DRAWN: ANR
JOB #: 20-089	SCALE: AS SHOWN
REVISION:	CHECKED: KJG

SHEET TITLE:
COVER SHEET
SHEET: 1.0
1 OF 3

EROSION PREVENTION & SEDIMENT CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTER 30 OF THE LAKE COUNTY CODE OF ORDINANCES.
- THE APPROVED PLANS SHALL CONFORM TO THE EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) PER LAKE COUNTY'S STANDARDS.
- THE PROPERTY OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION PREVENTION AND/OR SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER AND/OR ADDITIONAL INSPECTION FEES TO VERIFY COMPLIANCE WITH LAKE COUNTY.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED ON THE APPROVED PLANS OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- AT ALL TIMES THE PROPERTY OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION AND LAND DISTURBING ACTIVITIES SUCH AS CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
- THE PROPERTY OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 1 - APRIL 30). GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH LAKE COUNTY MUNICIPAL CODE.
- DURING THE RAINY SEASON, STORM WATER BMP'S REFERENCED OR DETAILED IN LAKE COUNTY'S EROSION CONTROL STANDARDS SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES AND THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED ONE ACRE OR 20 PERCENT OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30 PERCENT OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMP'S REFERENCED OR DETAILED IN LAKE COUNTY'S EROSION CONTROL STANDARDS SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMP'S SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- EROSION PREVENTION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED BY THE PROPERTY OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE BMP'S ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL BMP'S THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS IF THE ALTERNATIVE BMP'S ARE EQUIVALENT OR MORE PROTECTIVE THAN THE BMP'S SHOWN ON THE APPROVED PLANS. ALTERNATIVE BMP'S ARE SUBJECT TO REVIEW AND APPROVAL BY LAKE COUNTY STAFF.
- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
- ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN, AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION BMP'S TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS, OR MATS. TEMPORARY REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL, BUT IN ALL CASES PRIOR TO OCTOBER 1. PERMANENT REVEGETATION OR LANDSCAPING SHALL BE INSTALLED PRIOR TO FINAL INSPECTION.
- WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION BMP'S ON EXPOSED SLOPES, SEDIMENT CONTROL BMP'S SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.

- HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.

APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY SIX TO EIGHT INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

THE MATERIALS LISTED BELOW ARE NOT INTENDED FOR WETLAND AREAS.

MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	
<i>BROMIUS MOLLIS</i> (BLANDO BROME)	40
<i>TRIFOLIUM HIRTUM</i> (HYKON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULPHUR	500
MULCH	
STRAW	4000
HYDRAULIC STABILIZING*	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER

*NON-ASPHALTIC, DERIVED FROM PLANTS

DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.

- STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION IS COMPLETE.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
- SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED WITH PLASTIC COVERS OR EQUIVALENT BMP'S TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
- A CONCRETE WASHOUT AREA SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL. CONCRETE WASTE SHALL BE PROPERLY DISPOSED.
- PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
- APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

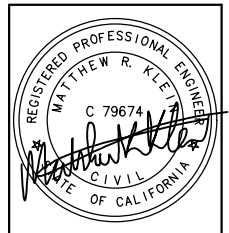
GENERAL NOTES

- CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD OWNER AND NORTH BAY CIVIL CONSULTING HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR CONSULTANT.
- THE CONSULTANT ASSUMES NO RESPONSIBILITY OTHER THAN FOR THE ADEQUACY OF THE DESIGN CONTAINED HEREIN.
- ALL MATERIALS TO BE USED ARE TO BE APPROVED BY THE CONSULTANT PRIOR TO THEIR PLACEMENT. ANY MATERIALS INSTALLED PRIOR TO APPROVAL ARE SUBJECT TO REMOVAL.
- AFTER COMPLETION OF WORK, WORK AREAS SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- NO GUARANTEE IS INTENDED THAT UNDERGROUND CONSTRUCTIONS NOT SHOWN ON THE PLANS WILL NOT BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE OWNER, THE CONSULTANTS AND THE COUNTY OF LAKE ASSUME NO RESPONSIBILITY FOR ANY OBSTRUCTIONS EITHER SHOWN OR NOT SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN AND BRING DISCREPANCIES TO THE ATTENTION OF THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO APPLICABLE LAKE COUNTY CODES AND STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING LAKE COUNTY DEPARTMENT OF FIRE SERVICES OF WORK PROGRESS SCHEDULES AND FOR OBTAINING NECESSARY INSPECTIONS/APPROVALS.
- THE OWNER SHALL PROVIDE THE NECESSARY MATERIAL AND SOILS TESTING INSPECTIONS AND OBSERVATIONS. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE PRIOR TO REQUIRED TESTING.
- ALL GRADING ON-SITE SHALL NOT INHIBIT OFF-SITE DRAINAGE. STRIPPING AND CLEARING OF SITE SHALL BE CONFINED TO ONLY AREAS TO BE IMPROVED. STOCKPILE STRIPPING MATERIAL AS AUTHORIZED BY THE OWNER. EQUIPMENT AND MATERIAL STORAGE AREAS SHALL BE APPROVED BY THE OWNER. EXCESS MATERIAL SHALL BE PLACED IN AREAS SHOWN ON THESE PLANS.
- OWNER SHALL PROVIDE ONE SET OF CONSTRUCTION SLOPE STAKES. OBLITERATED OR DISTURBED STAKES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- SILT FENCING SHALL BE USED FOR DUST MITIGATION FOR SEDIMENT CONTROL.
- ALL NATURAL AREAS DISTURBED BY EARTHWORK SHALL BE REPAIRED WITH EXISTING STOCKPILED TOPSOIL SPECIFIC TO DISTURBED AREA. PRIOR TO COMMENCING ANY EARTHWORK OR GROUND DISTURBANCE, CONTRACTORS SHALL IDENTIFY STOCKPILE LOCATIONS FOR TOP SOIL WITH THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR SHALL PLAN TO HAVE MULTIPLE STOCKPILE LOCATIONS ONSITE IN AN EFFORT TO SEPARATE TOP SOIL ZONES FOR REPLACEMENT AT THE END OF CONSTRUCTION. AFTER EARTHWORK IS COMPLETE, CONTRACTOR SHALL REPLACE STOCKPILED TOP SOILS AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- EXCESS EARTH MATERIAL SHALL BE PLACED IN AREAS DESIGNATED BY THE OWNER AND/OR PROJECT CONSULTANTS, AND INSPECTED/TESTED, AS NECESSARY, BY A GEOTECHNICAL ENGINEER. SHOULD ANY MATERIAL NEED TO BE REMOVED FROM SITE, ALL OFFHAUL MATERIAL SHALL BE INCLUDED IN BID.
- ALL CUT AND FILL EXCAVATION AND EARTH PLACEMENT SHALL BE IN CONFORMANCE WITH THE GEOTECHNICAL REPORT, IF APPLICABLE.
- CONTRACTOR TO COORDINATE WITH OWNERS AND GEOTECHNICAL FIRM THE PLACEMENT OF EARTH SPOILS, STABILIZATION, AND WINTERIZATION.

NORTH BAY CIVIL CONSULTING

WWW.NORTHBAYCIVILCONSULTING.COM
 PHONE (707) 895-5919
 10000 SULLY AVENUE SUITE 100
 SANTA ROSA, CA 95404

NOTES:



PROJECT ADDRESS:
 10788 SKY HIGH RIDGE ROAD
 LOWER LAKE, CA 95457

APN:
 122-340-02

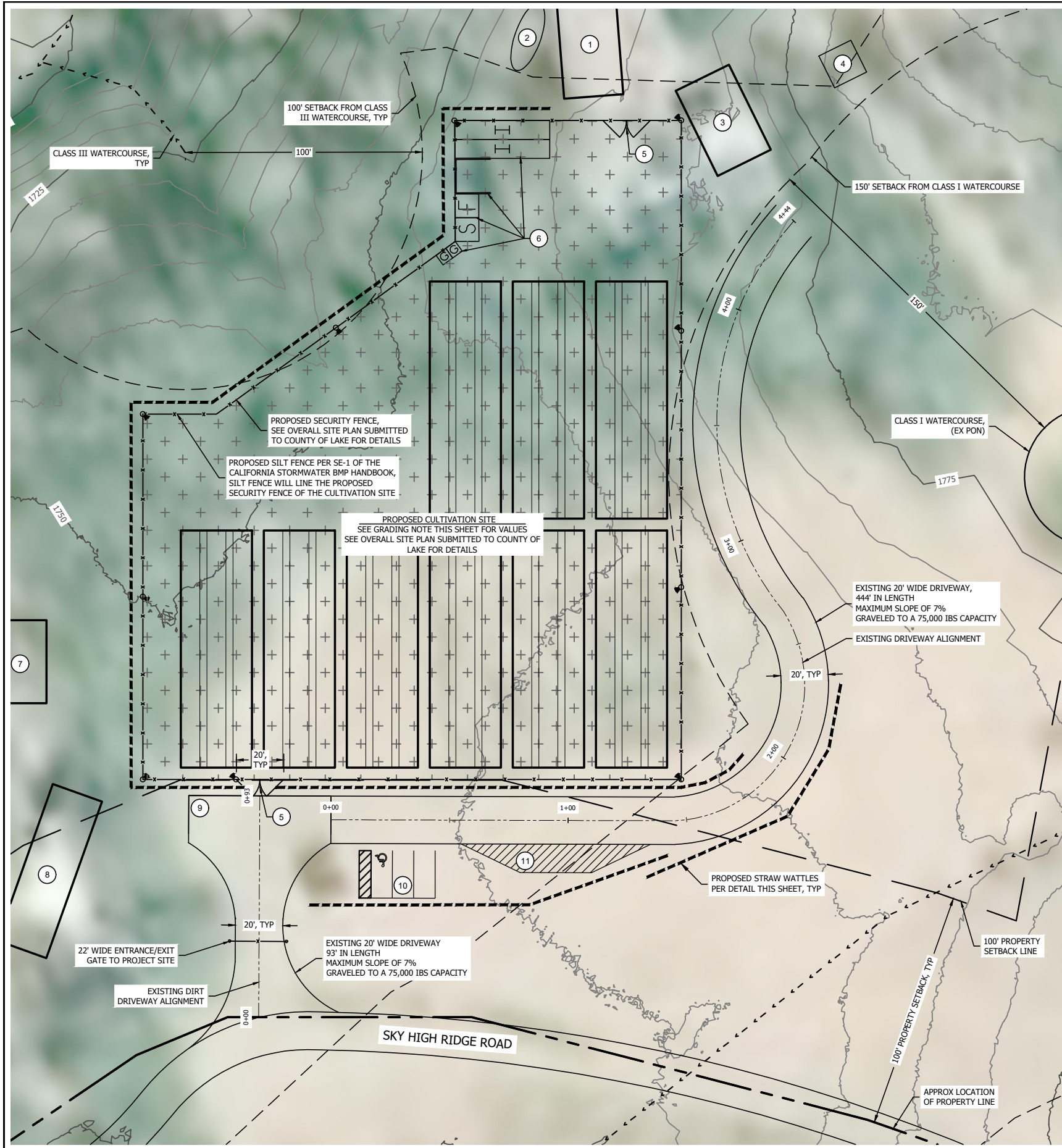
CLIENT:
 KATHY CRIST

CONSULTANT:
 KYLE GEITNER,
 PRINCIPAL CONSULTANT

DATE: 7/11/2022	DRAWN: ANR
JOB #: 20-089	SCALE: AS SHOWN
REVISION:	CHECKED: KJG

SHEET TITLE:
 NOTES

SHEET:
 2.0
 2 OF 3



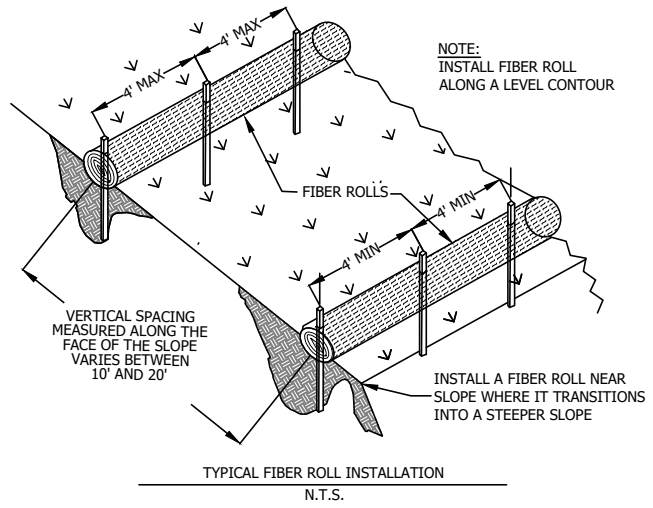
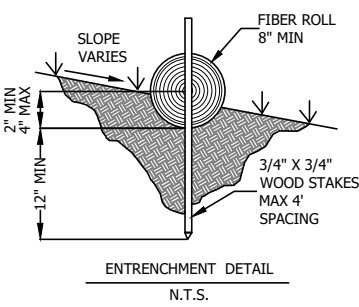
CULTIVATION & GRADING NOTE:

+ + + PROPOSED DISTURBED AREA
 TOTAL FENCED AREA = 50,400 SQFT
 TOTAL MIXED-LIGHT CANOPY = 21,600 SQFT
 9 PROPOSED MIXED-LIGHT GREENHOUSES, 30'Wx100'Lx12'H WITH (2) 3' WIDE AISLES
 MIXED-LIGHT CANOPY PER GREENHOUSE = 2,400 SQFT
 TOTAL ANTICIPATED DISTURBED AREA (CUBIC YARDS OF GRADING) = 50,400 SQFT (<45 CY)

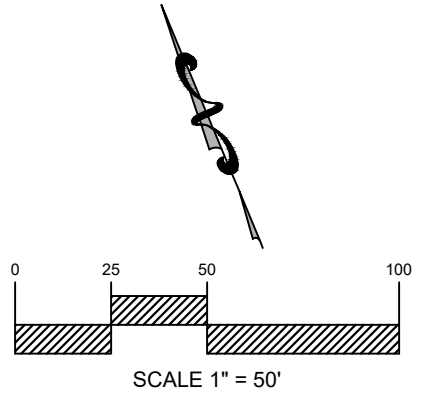
*PROPOSED MIXED-LIGHT CULTIVATION SITE WILL OCCUR ON RELATIVELY LEVEL TERRAIN. MINIMAL GRADING WILL OCCUR TO REMOVE ANY DEVIATIONS IN THE LEVEL TERRAIN OF THE CULTIVATION AREA AND WILL NOT EXCEED 45 CUBIC YARDS OF GRADING. GREENHOUSES WILL BE CONSTRUCTED UNDER A SEPARATE BUILDING PERMIT AND WILL NOT EXCEED 500 CUBIC YARDS OF GRADING. PLEASE REFER TO THE PROJECT MANAGEMENT PLAN FOR ALL BMPs AND GRADING/EROSION CONTROL MEASURES.

KEYNOTES:

- 1 EXISTING RESIDENCE, APPROX 85'Wx40'Lx22'H
- 2 APPROX LOCATION OF EXISTING SEPTIC SYSTEM
- 3 EXISTING METAL GARAGE, APPROX 40'Wx25'Lx12'H
- 4 EXISTING SHED, APPROX 15'Wx15'Lx12'H
- 5 20' WIDE ENTRANCE/EXIT TO CULTIVATION SITE
- 6 CULTIVATION UTILITIES, SEE OVERALL SITE PLAN SUBMITTED TO COUNTY OF LAKE FOR DETAILS
- 7 EXISTING CABIN, APPROX 45'x35'Lx16'H
- 8 EXISTING BARN, APPROX 70'Wx22'Lx12'H
- 9 DESIGNATED SRA FIRE SAFE HAMMERHEAD TURNAROUND LOCATION
- 10 PROPOSED ADA COMPLIANT PARKING AREA PER ARTICLE 46 OF THE LAKE COUNTY ZONING ORDINANCE
 PROPOSED PARKING:
 1 ADA PARKING SPACE
 2 STANDARD PARKING SPACES
- 11 PROPOSED LOADING AREA FOR CULTIVATION SITE, APPROX 12'Wx70'L



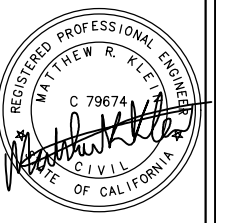
DETAIL: STRAW WATTLE
NOT TO SCALE



NOTE:
 GRAVEL DISTURBED AREAS OF THE CULTIVATION SITE, INCLUDING BUT NOT LIMITED TO; WALKWAYS OF CULTIVATION SITE, SURROUNDING AREAS OF CULTIVATION SITE AND UTILITIES, AND ACCESS ROADS/PARKING WHEN APPLICABLE. RECOMMEND HYDROSEEDING AREAS OF CULTIVATION SITE THAT ARE DISTURBED AND NOT GRAVELED.

CIVIL CONSULTING
 NORTH BAY
 WWW.NORTHBAYCIVILCONSULTING.COM
 PHONE: (707) 895-8919
 1001 S. J STREET
 SANTA ROSA, CA 95404

- NOTES:**
- PROPERTY LINES, EASEMENTS, AND TOPOGRAPHIC INFORMATION IS APPROXIMATE AND OBTAINED FROM PUBLICLY AVAILABLE INFORMATION.
 - WATERCOURSE LINETYPE THICKNESS TO DELINEATE THE TOP OF BANK. BASED ON PUBLICLY AVAILABLE DATA THERE ARE NO FAULT ZONES ON THE SUBJECT PROPERTY.
 - STRAW WATTLES SHALL BE PLACED AROUND CULTIVATION AREAS TO PREVENT STORMWATER RUNOFF. ENTIRE CULTIVATION SITE SHALL BE HYDROSEEDED TO STABILIZE SOIL.
 - PROJECT PARCEL SHALL ADHERE TO THE STATE OF CALIFORNIA PUBLIC RESOURCE CODE, DIVISION 4 AND ALL SECTIONS IN 4290 AND 4291 (4001-498) REQUIREMENTS. CAL FIRE ROAD STANDARDS SHALL REFLECT THE MOST CURRENT REGULATIONS (JANUARY 3, 2020).
 - ALL ROADWAY SLOPES SHOWN WITHIN THIS PLAN SET ARE LESS THAN 16%. ROADWAY SLOPES EXCEEDING 16% ARE NOT ALLOWED BY GOVERNING JURISDICTION AND ALL FUTURE ROAD IMPROVEMENTS ONSITE SHALL COMPLY.
 - ALL STRUCTURES SHALL HAVE 100' OF DEFENSIBLE SPACE. DEFENSIBLE SPACE SHALL BE AS DEFINED IN STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS. STRUCTURES AND/OR LOCATIONS WHICH STORE HAZARDOUS, FLAMMABLE, OR DANGEROUS MATERIAL SHALL ESTABLISH AND MAINTAIN A MINIMUM 300' VEGETATION FUELS REDUCTION BUFFER.
 - ALL ROADWAYS SHALL BE IMPROVED TO MEET STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS AT THE TIME PERMITS ARE OBTAINED FOR SUCH IMPROVEMENTS.
 - THESE DRAWINGS ARE FOR PLANNING PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.



PROJECT ADDRESS:
 10788 SKY HIGH RIDGE ROAD
 LOWER LAKE, CA 95457
APN:
 122-340-02
CLIENT:
 KATHY CRIST
CONSULTANT:
 KYLE GEITNER,
 PRINCIPAL CONSULTANT

DATE:	7/1/2022	DRAWN:	ANR
JOB #:	20-089	SCALE:	AS SHOWN
REVISION:		CHECKED:	KJG

SHEET TITLE:
 DRAINAGE & EROSION CONTROL SITE PLAN
SHEET: 3.0
 3 OF 3