

**Department of
Conservation and
Development**

30 Muir Road
Martinez, CA 94553

Phone: 1-855-323-2626

**Contra
Costa
County**



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May 3, 2023

**NOTICE OF PUBLIC REVIEW AND INTENT TO ADOPT
A PROPOSED MITIGATED NEGATIVE DECLARATION**

County File No. CDTP19-00049

Pursuant to the State of California Public Resources Code and the “Guidelines for Implementation of the California Environmental Quality Act of 1970” as amended to date, this is to advise you that the Community Development Division of the Department of Conservation and Development of Contra Costa County has prepared an initial study on the following project:

PROJECT NAME: 65 Alhambra Creek Road Development Project (County File #CDTP19-00049)

LOCATION: The property is located at 65 Alhambra Creek Road, Martinez, CA 94513
Assessor’s Parcel Number: 365-050-009

APPLICANT: Scott Kuehne, Kuehne Architecture, 2412 14th Avenue, San Francisco, CA 94618

LEAD AGENCY: Contra Costa County, Department of Conservation and Development (925)655-2872
30 Muir Road, Martinez, CA 94553

DESCRIPTION:

Project Description: The applicant is requesting approval of a tree permit for the removal of 111 code-protected trees and work within the dripline of 17 code-protected trees in order to construct a new 5,846 sq. ft. single-family residence, a 1,071 sq. ft. Accessory Dwelling Unit (ADU), and 1,527 sq. ft. barn on a vacant agricultural lot.

With implementation of the geotechnical engineering study recommendations, the project could include more than 1,000 cubic yards of grading.

Site and Area Description: Surrounding Land Uses and Setting: The project site is comprised of approximately 11 acres located approximately 700 feet southwest of Alhambra Valley Road at 65 Alhambra Creek Road in unincorporated Martinez. The site is located within a narrow valley, which is formed by a ridge on the south side of the property, with Spring Water Creek at the bottom just north of the project site. Approximately 8 acres of the property (all areas above 475 feet in elevation) are protected from development by a scenic easement. The proposed building footprints are located between the easement and Alhambra Creek Road, which runs across the northern portion of the property.

The immediate surrounding area is representative of agricultural rural residential development in Contra Costa County. The adjacent properties surrounding the project site include large-lot ranch homes to the north, east and west, and undeveloped East Bay Regional Park property to the south.

ENVIRONMENTAL EFFECTS:

The initial study for the proposed project identified potentially significant impacts in the environmental areas of Air Quality, Biological Resources, Cultural Resources, Geological Resources, Hydrology, and Tribal Cultural Resources. Environmental analysis determined that measures were available to mitigate potential adverse impacts to insignificant levels. As a result, a Mitigated Negative Declaration (MND) has been prepared pursuant to Public Resources Code Section 21080(c), 21063.5, and Article 6 of the California Environmental Quality Act (CEQA) Guidelines.

Pursuant to the requirements of CEQA (CEQA Guidelines Section 15071) the MND describes the proposed project; identifies, analyzes, and evaluates the potential significant environmental impacts, which may result from the proposed project; and identifies measures to mitigate adverse environmental impacts. The mitigations identified in this document and designed for the proposed project, will ensure that the project will not cause a significant impact on the environment.

A copy of the mitigated negative declaration and all documents referenced in the mitigated negative declaration may be reviewed on the Department of Conservation and Development webpage at the following address:

<https://www.contracosta.ca.gov/4841/CEQA-Notifications>

Public Comment Period - The period for accepting comments on the adequacy of the environmental documents extends to **Tuesday, May 23, 2023, at 5:00 P.M.** Following the close of the public comment period, the County will consider adopting the Mitigated Negative Declaration prior to consideration of the Tree Permit. Any comments should be in writing and submitted by email to joseph.lawlor@dcd.cccounty.us or by post to the following address:

Name: Joseph W. Lawlor Jr, AICP; Project Planner; (925) 655-2872
Community Development Division
Contra Costa County, Department of Conservation and Development
30 Muir Road, Martinez, CA 94553












Joseph W. Lawlor Jr, AICP
Project Planner

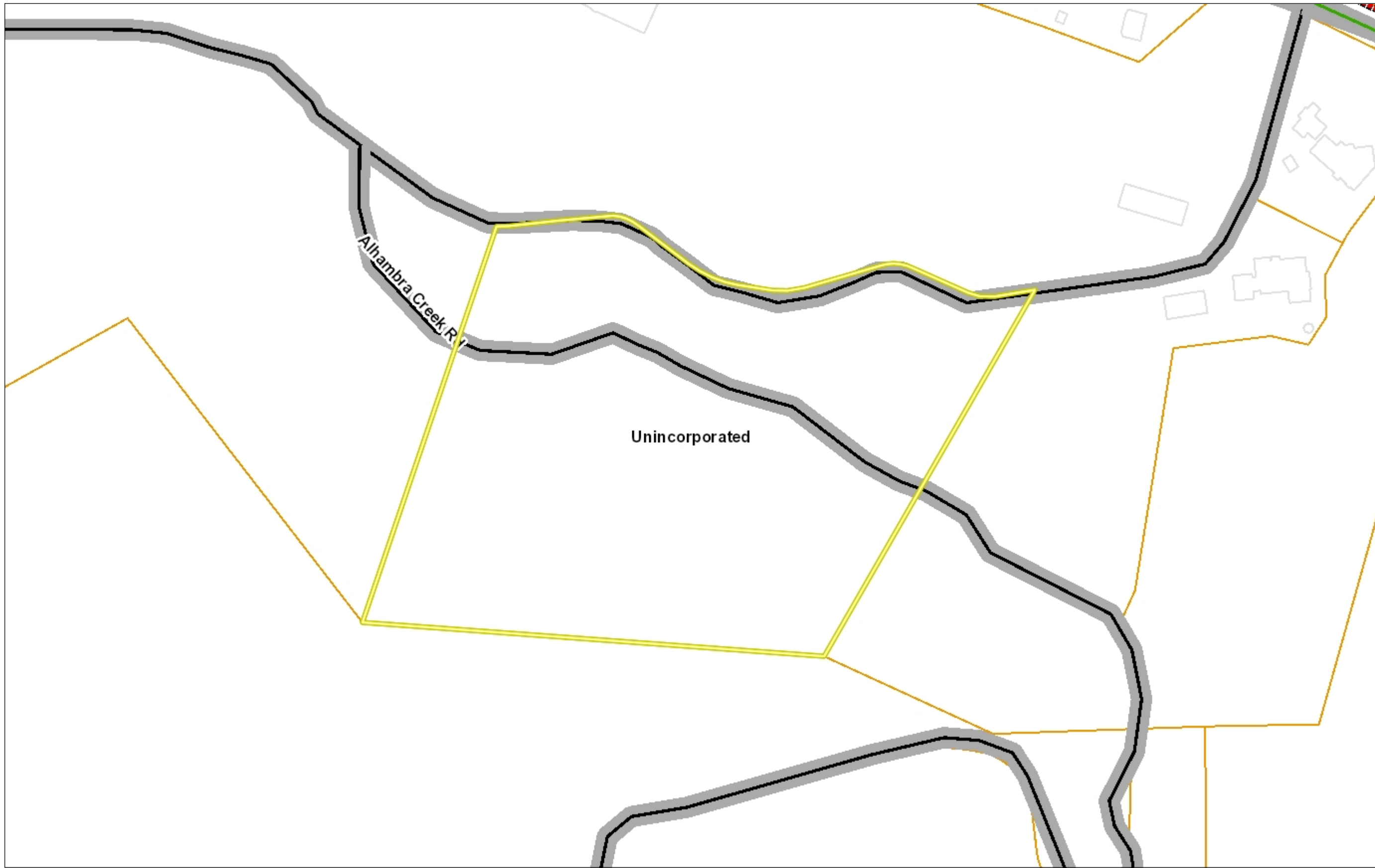
cc: County Clerk’s Office (2 copies)
Adjacent Occupants and Owners
Notification List
Attached: Vicinity Map

Vicinity Map



Legend

-  Building Outlines
-  Maintained Roads
-  City Limits
- Unincorporated
-  Highways
-  Highways Bay Area
-  Streets
-  Maintained Roads
-  Water Bodies
-  County Boundary
-  Bay Area Counties
-  Assessment Parcels



1: 2,257



0.1 0 0.04 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Contra Costa County -DOIT GIS