


AREA CALC.

FIRST LEVEL LIVING AREA	32,16 SQ.FT.
TOTAL LIVING AREA	32,16 SQ.FT.
GARAGE	1,225 SQ.FT.
COVERED PORCH	144 SQ.FT.
TOWER PORCH	100 SQ.FT.
TOTAL STRUCTURE	45,885 SQ.FT.
POOL	180 SQ.FT.
PATIO	19,225 SQ.FT.
ENTRY COURTYARD	1,113 SQ.FT.

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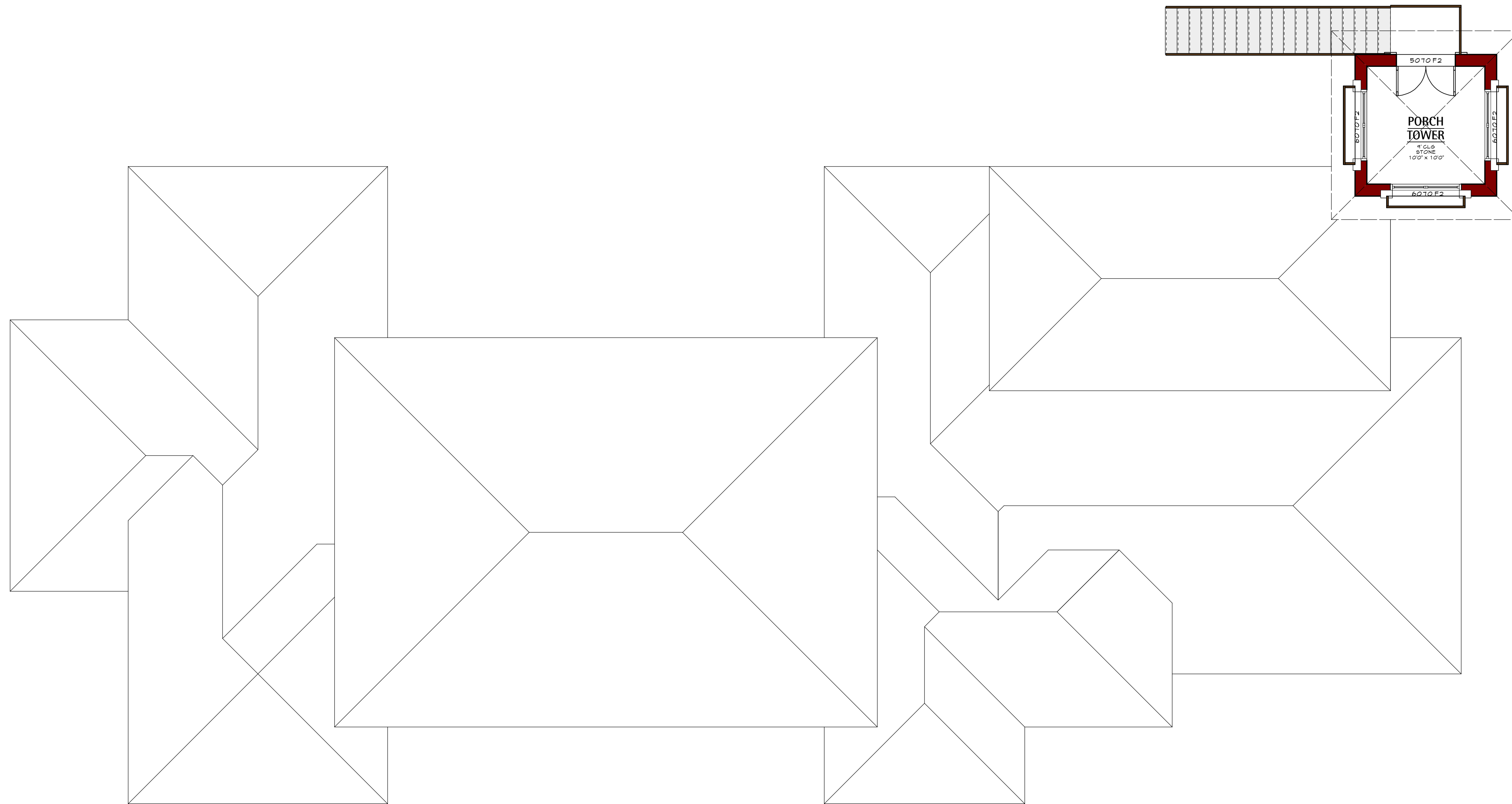
No.	Date	Issue Notes
		
		105 Calle Propano Paso Robles, CA 93446 t 805.238.0530 f 805.238.0530 www.wulffdesign.com


Project Title: **Battensburg Residence**
 Villa Lots Parcel 2
 Paso Robles, CA

Drawing Title: **FLOOR PLAN - FIRST LEVEL**

Project Manager	Project ID	22-101
Drawn By	Scale	3/16" = 1'
Reviewed By	Drawing No.	A1.1
Date		02-11-2022
CDW File Name		2020BATT_NRL_02.6 v12.mxd

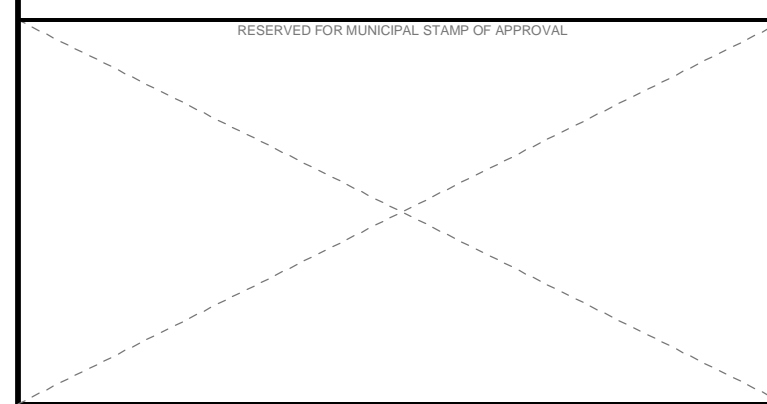
SCALE
 3/16" = 1 FT.




SCALE
 3/16" = 1 FT.

AREA CALC.

FIRST LEVEL LIVING AREA	3216 SQ.FT.
TOTAL LIVING AREA +	3216 SQ.FT.
GARAGE	1125 SQ.FT.
COVERED PORCH	144 SQ.FT.
TOWER PORCH	100 SQ.FT.
TOTAL STRUCTURE +	4585 SQ.FT.
POOL	180 SQ.FT.
PATIO	1925 SQ.FT.
ENTRY COURTYARD	1113 SQ.FT.



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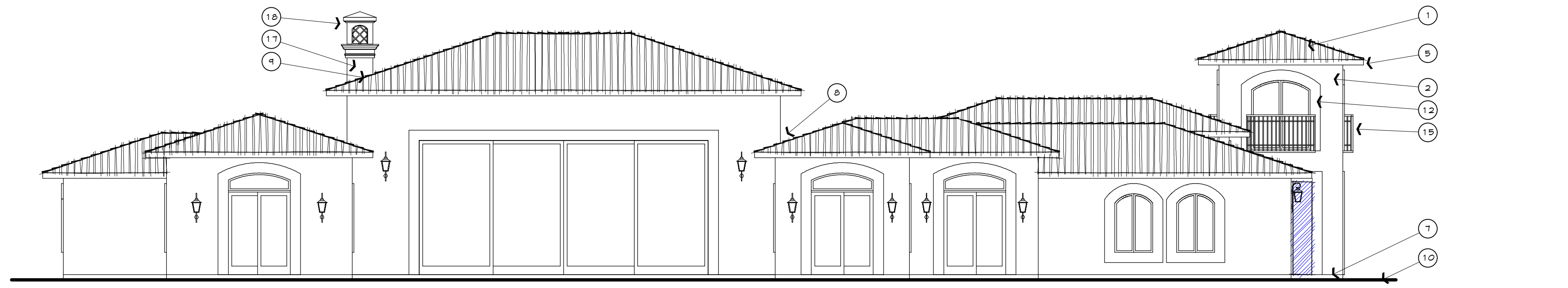


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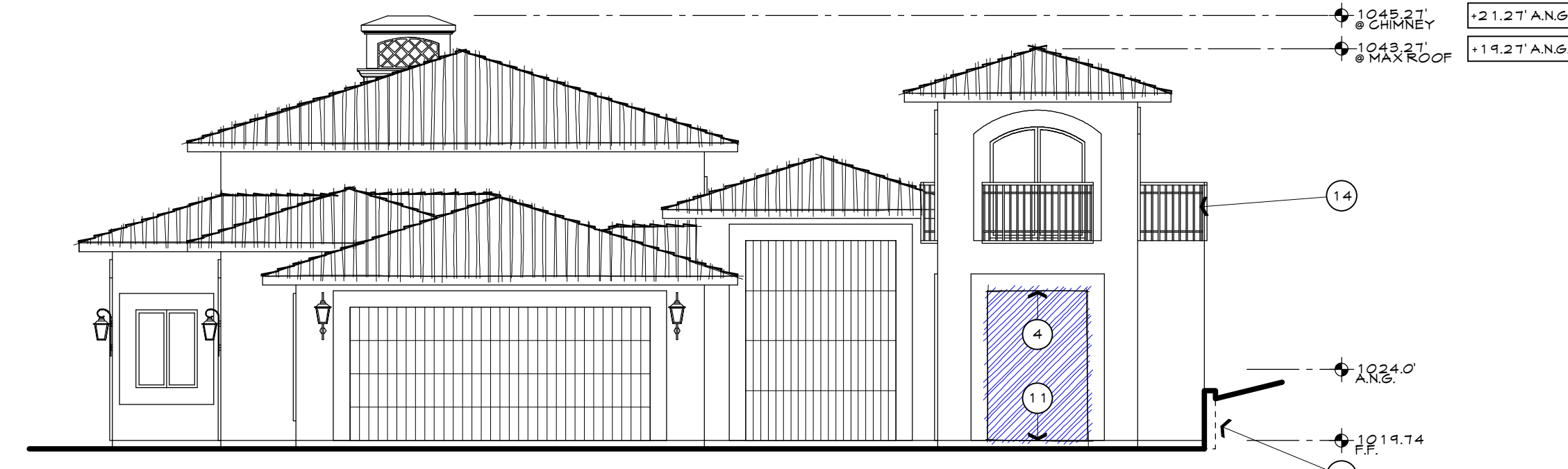
Project Title: **Battensburg Residence**
 Villa Lots Parcel 2
 Paso Robles, CA

Drawing Title: **FLOOR PLAN - SECOND LEVEL**

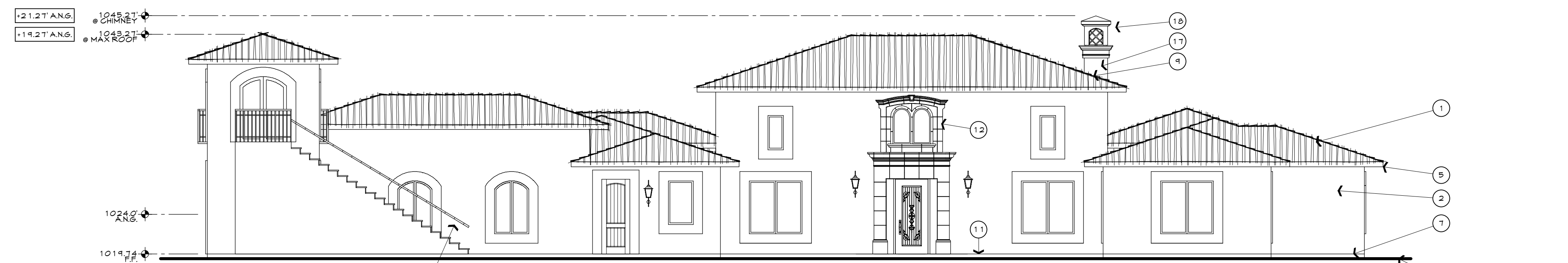
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Drawn By	-	Scale	3/16" = 1"
Reviewed By	-	Drawing No.	A1.2
Date	02-11-2022		of
Drawn File Name	20240801_NLR_02.6 v12.rvt		



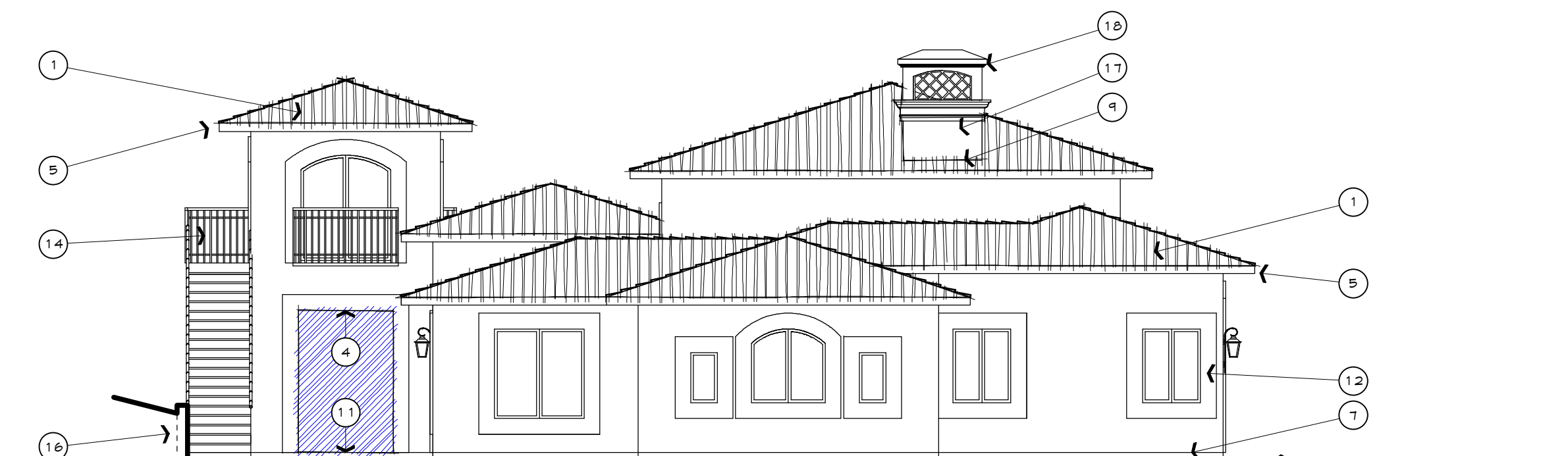
FRONT



RIGHT



REAR



LEFT

GENERAL NOTES

- A FOR SPECIFIC OR ADDITIONAL INFORMATION SEE FLOOR PLANS, SCHEDULES AND ROOF PLAN.
- B CHIMNEYS SHALL TERMINATE AT LEAST 3 FEET ABOVE THE ROOF AND 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN A HORIZONTAL DISTANCE OF 10 FEET & TERMINATE THE VENT AT LEAST 10 FEET FROM A PROPERTY LINE.
- C W/5 APRX CHIMNEY CAP WITH W/5 APRX LISTED SPARK ARRESTOR (1 1/2" MESH SCREEN MAXIMUM)
- D FOUNDATION VENTS: PROVIDE MINIMUM 1 - 1/2 SF PER 25 LINEAL FEET OF EXTERIOR WALL OR 1 SF FOR EACH 150 SF OF UNDER FLOOR AREA.
- E APPLICATION OF METAL PLASTER BASES:
 - 1. THE APPLICATION OF METAL LATH OR WIRE FABRIC LATH SHALL BE AS SPECIFIED IN SECTION 2310.
 - 2. WHERE NO EXTERNAL CORNER REINFORCEMENT IS USED, LATH SHALL BE FURRED OUT AND CARRIED AROUND CORNERS AT LEAST ONE SUPPORT ON FRAME CONSTRUCTION.
 - 3. A MINIMUM 0.21" (0.48MM) NO. 28 GALVANIZED SHEET GAGE CORROSION-RESISTANT NEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 - 1/2 INCHES (89MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102MM) ABOVE THE EARTH OR 2 INCHES (51MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED.
 - F STUCCO SHALL BE APPLIED WITH THREE COAT APPLICATION. 2 LAYERS OF GRADE 7 PAPER REQUIRED UNDER GIBBER PLASTER WHEN APPLIED OVER FLOOD SHEATHING.
 - G GARAGE DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK, OR SHALL A FIRE RESISTIVE RATING OF NOT LESS THAN 20 MINUTES OR BE OF EXTERIOR FIRE RETARDANT TREATED WOOD.

KEY NOTES

- 1 ROOFING (CLASS A) - REDLANDS TWO-PIECE MISSION TILE OVER MIN ONE LAYER OF 40# BUILDING FELT. ICES EVALUATION REPORT EIR-43-19. PROVIDE NON-COMBUSTIBLE BIRDSTOPS FOR CURVED TILE.
- 2 THREE COAT 7/8" STUCCO (SANTA BARBARA FINISH) OVER METAL LATH & BUILDING PAPER (2 LAYERS TYPE D) OVER FLOOD SHEATHING. SEE OWNER FOR TEXTURE & COLOR.
- 3 PORCH LIDS: 2X6 T&G W/ NO ATTIC SPACE ABOVE
- 4 SOFFITS: TO BE STUCCO
- 5 OVERHANG - OVERHANGS TO BE EXPOSED 18" PROJECTION & 6 DEG SHARPE TAILS W/ 2X6 T&G ROOF DECKING. (PROFILE BY OWNER)
- 6 CRICKET
- 7 NEEP SCREED
- 8 HORIZONTAL EXTERIOR SURFACES TO BE THREE COAT 1/2" STUCCO, OVER RIBBED METAL LATH & 2 LAYERS TYPE D' BULING PAPER.
- 9 FLASH AND COUNTER-FLASH SEE A4.1 FOR DETAILS ON ROOF TO WALL FLASH DOORS AND WINDOWS PER MANUFACTURER'S SPECS.
- 10 FINISH GRADE
- 11 PATIO/STUCCO
- 12 PRECAST CONCRETE MOULDING
- 13 PROVIDE CLAY TILE BIRD STOPS AT ALL LEAVES
- 14 WROUGHT IRON RAINING
- 15 WROUGHT IRON JULIETTE BALCONY
- 16 SITE WALL: 3.5' AT MAX.
- 17 CHIMNEY CHASE
- 18 PRECAST CONG. CHIMNEY CAP

NOTE: PROVIDE MINIMUM OF ONE LAYER NO. 15 ASPHALT FELT COMPLYING WITH ASTM D226 AT EXTERIOR WALLS.


NOTE: ALL EXTERIOR LIGHTING SHALL BE DESIGNED TO AVOID GLARE INTO ADJACENT OPEN SPACE AREAS. FIXTURES SHOULD DIRECT ILLUMINATION DOWNWARD, AND SECURITY LIGHTING, WHERE NECESSARY, SHALL BE HOODED OR RECESSED TO AVOID OFF-SITE GLARE.

BUILDING HEIGHT CALC

THE HEIGHT OF THE STRUCTURE IS TO BE MEASURED AS THE VERTICAL DISTANCE FROM THE HIGHEST POINT OF THE STRUCTURE TO THE AVERAGE OF THE HIGHEST AND LOWEST POINTS WHERE THE PLANE OF THE EXTERIOR WALL MEETS THE NATURAL GRADE LEVEL OF THE SITE.

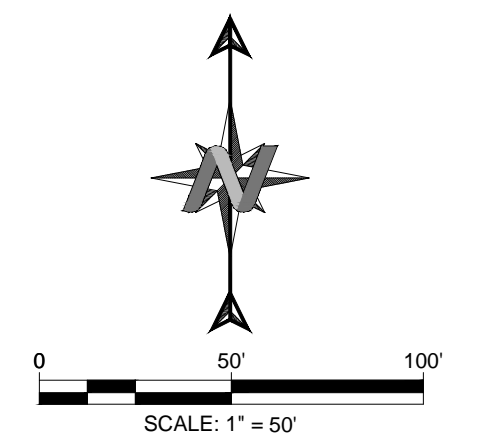
LOW	1011.0	HIGH	1031.0
ANG.	1011.0 + 1031.0		1024.0
			2
MAX. BUILDING HEIGHT ALLOWED	1024.0 + 35 = 1059.0		
PROPOSED BUILDING HEIGHT	1011.4 + 23.33 = 1045.27		
	= 6 CHIMNEY		
	1049.27 < 1059.0		

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No.	Date	Issue Notes
		
		105 Calle Propano Paso Robles, CA 93446 t 805.239.0530 f 805.238.0530 www.wulffdesign.com
Project Title Battenburg Residence Villa Lots Parcel 2 Paso Robles, CA		
Drawing Title ELEVATIONS		
Project Manager	-	Project ID 22-101
Drawn By	-	Scale 1/8" = 1'
Reviewed By	-	Drawing No. A2.1
Date	02-11-2022	of
CUO File Name	221010BATT_VILLA_02.6 v12.mxd	

- GENERAL LEGEND**
- EXISTING/PROPOSED CENTERLINE (C)
 - EXISTING PROPERTY LINE (EX. P)
 - . - . PROPOSED PROPERTY LINE (P)
 - PROPOSED SETBACK LINE
 - EXISTING/PROPOSED EASEMENT

- GENERAL SITE NOTES:**
- A. PROJECT AREAS:
 RESIDENTIAL SITE AREA OF DISTURBANCE = 1.0 AC
 DRIVEWAY SITE AREA OF DISTURBANCE = 1.1 AC
 TOTAL AREA OF DISTURBANCE = 2.1 AC
- TOTAL PROPOSED IMPERVIOUS AREA = 0.7 AC
 TOTAL PROPOSED PERVIOUS AREA = 1.4 AC



811
 Know what's below. Call 811 before you dig.

NOTE: UTILITIES SHOWN WERE PLOTTED FROM OBSERVED EVIDENCE AND PLANS OBTAINED FROM UTILITY PROVIDERS. EXACT LOCATIONS AND QUANTITIES MAY VARY. THE CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATING SERVICES PRIOR TO EXCAVATION AND USE EXTREME CAUTION WHEN EXPOSING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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NO.	DATE	REVISIONS
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 1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

MIRANDA BATTENBURG
 BATTENBURG RESIDENCE
 VILLA LOTS PARCEL 2, PASO ROBLES, CA



DESIGNED BY: TW
 CHECKED BY: TW
 APPROVED BY: MRW
 DATE: 03/02/22

OVERALL SITE PLAN

SHEET
C1.0

- ### GENERAL LEGEND
- EXISTING/PROPOSED CENTERLINE (C)
 - EXISTING PROPERTY LINE (EX. P)
 - PROPOSED PROPERTY LINE (P)
 - PROPOSED SETBACK LINE
 - EXISTING/PROPOSED EASEMENT
 - PROPOSED SAWCUT
 - GUTTER FLOWLINE
 - PROPOSED CURB AND GUTTER
 - PROPOSED SLOTTED CURB
 - PROPOSED RETAINING WALL HEIGHT PER PLAN.
 - PROPOSED CONCRETE PAVEMENT/HARDSCAPE
 - PROPOSED ASPHALT CONCRETE PAVEMENT
 - PROPOSED GRAVEL
 - PROPOSED PAVERS
 - DEEPEMED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.
 - RAISED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.

- ### GRADING LEGEND
- GB ... BRIDGE ... HINGE GRADE BREAK
 - CUT
 - FILL
 - DAYLIGHT OF GRADING LINES (CUT/FILL LINE)
 - LIMIT OF DISTURBANCE
 - SWALE
 - 100 CONTOUR MAJOR
 - 99 CONTOUR MINOR
 - TOP OF SLOPE
 - TOE OF SLOPE
 - OVERLAND RELEASE PATH

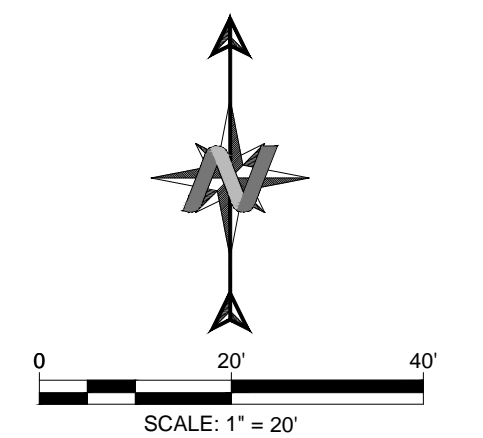
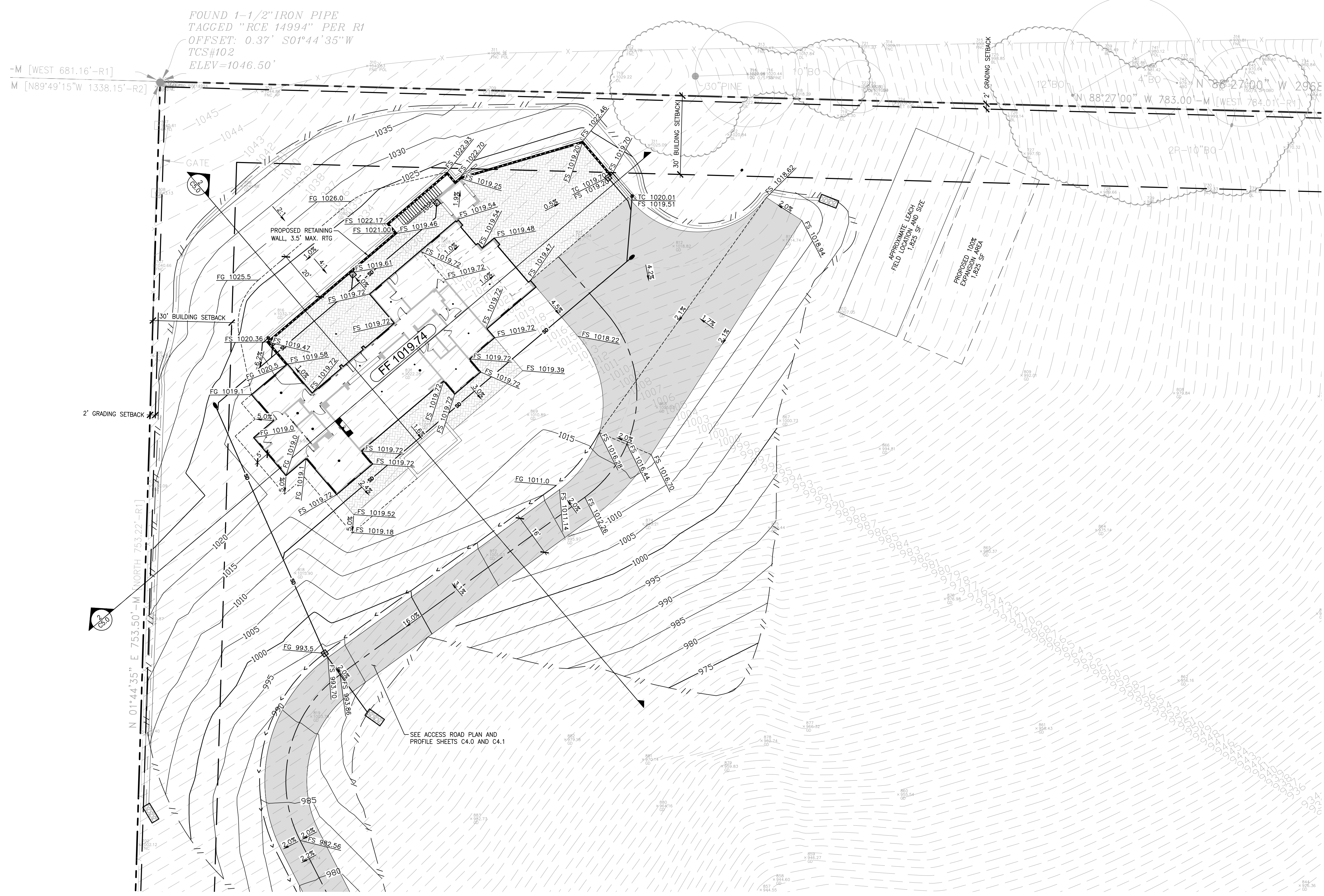
- ### STORM DRAIN LEGEND:
- 50LF12"SD@0.5% STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
 - PROPOSED SLOT/TRENCH DRAIN
 - PROPOSED BIO RETENTION BASIN
 - ENERGY DISSIPATOR
 - HEADWALL/ENDWALL
 - FLARED END SECTION
 - DROP INLET
 - MANHOLE
 - CLEANOUT

GRADING GENERAL NOTES:

A. ESTIMATED EARTHWORK QUANTITIES:
 CUT FILL NET
 7,700 CY 6,670 CY 1,030 CY

MAX CUT = 15.9 FT
 MAX FILL = 15.0 FT

NOTE: THE CUT AND FILL QUANTITIES SHOWN ABOVE ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR SHALL, AFTER EXAMINING THE GRADING PLAN, SOILS REPORT AND TERRAIN, PREPARE HIS/HER ESTIMATE INDEPENDENTLY OF THE ENGINEER'S ESTIMATE.



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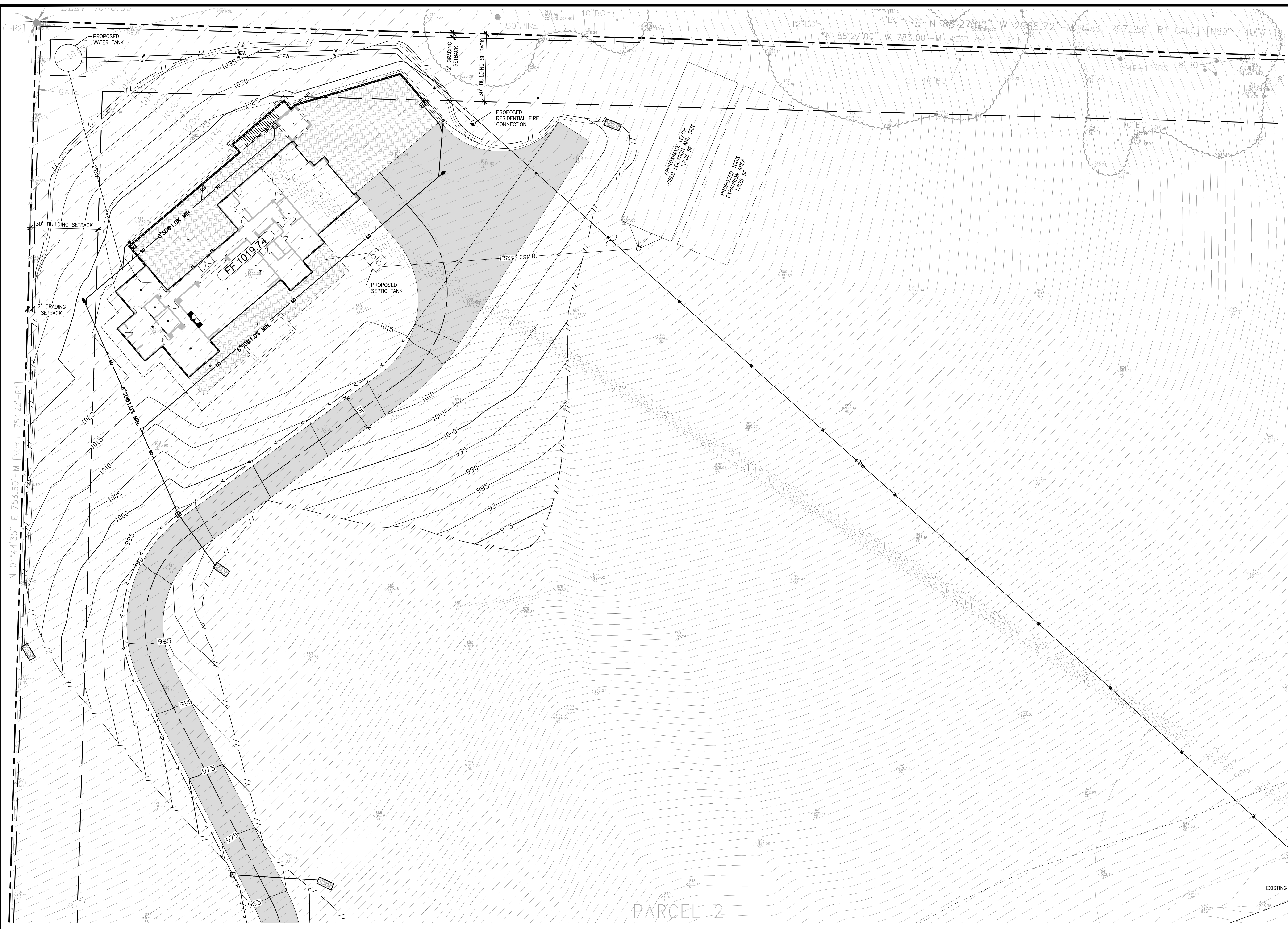
MIRANDA BATTENBURG
 BATTENBURG RESIDENCE
 VILLA LOTS PARCEL 2, PASO ROBLES, CA



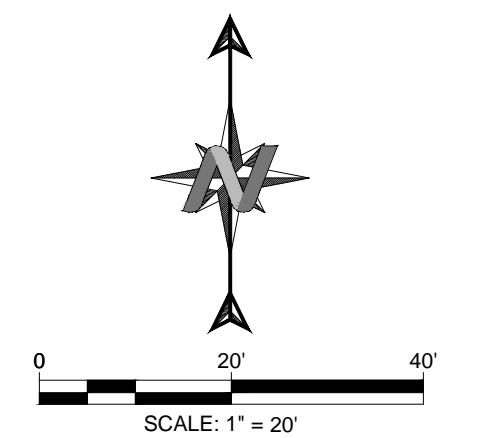
DESIGNED BY: TW
 CHECKED BY: TW
 APPROVED BY: MRW
 DATE: 03/02/22

PRELIMINARY
 GRADING AND
 DRAINAGE
 PLAN

SHEET
C2.0



- STORM DRAIN LEGEND:**
- 50LF12"SD@0.5% STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
 - PROPOSED SLOT/TRENCH DRAIN
 - PROPOSED BIO RETENTION BASIN
 - ENERGY DISSIPATOR
 - HEADWALL/ENDWALL
 - FLARED END SECTION
 - DROP INLET
 - MANHOLE
 - CLEANOUT
- SANITARY SEWER LEGEND:**
- 75LF6"SS@2.0% SANITARY SEWER PIPE LENGTH, SIZE AND SLOPE (SS)
 - SANITARY SEWER MANHOLE (SSMH)
 - SANITARY SEWER CLEANOUT TO GRADE (SSCO)
 - SANITARY SEWER BACKWATER VALVE
- WATER LEGEND:**
- 8"DW DOMESTIC WATER SERVICE AND SIZE (DW)
 - 8"FW FIRE WATER SERVICE AND SIZE (FW)
 - GATE VALVE
 - FIRE HYDRANT (FH)
 - POST INDICATOR VALVE (PIV)
 - FIRE DEPARTMENT CONNECTION (FDC)
 - BACKFLOW DEVICE FOR FIRE SERVICE (RPZ OR DDC)
 - BACKFLOW DEVICE FOR DOMESTIC SERVICE (RPZ)
 - DOMESTIC WATER METER
 - IRRIGATION METER (DESIGN BY OTHERS)



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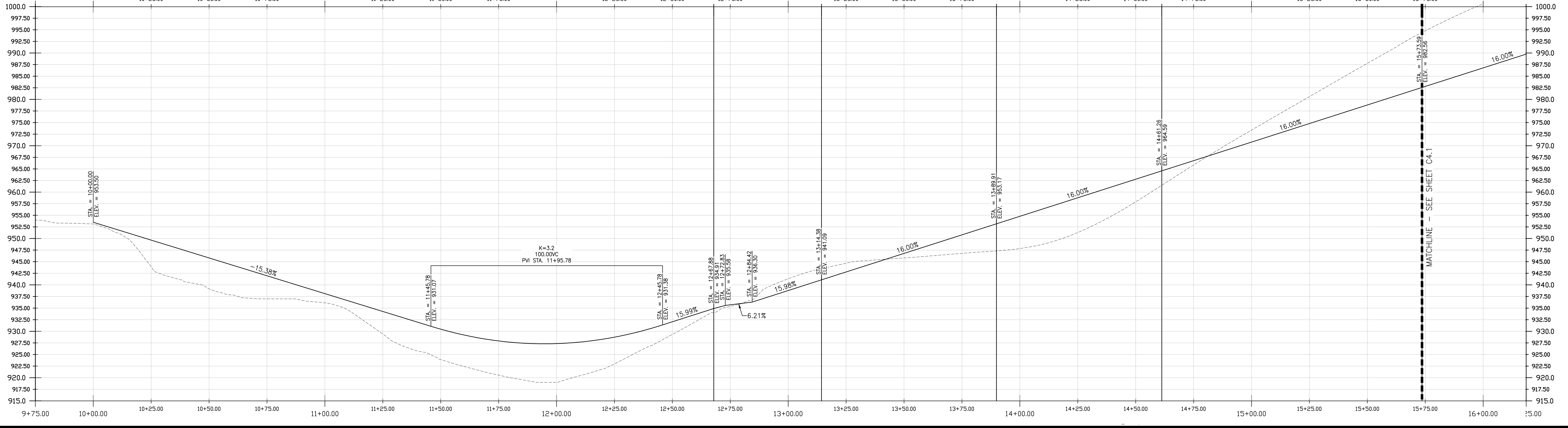
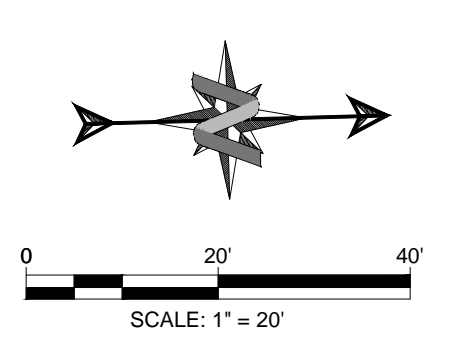
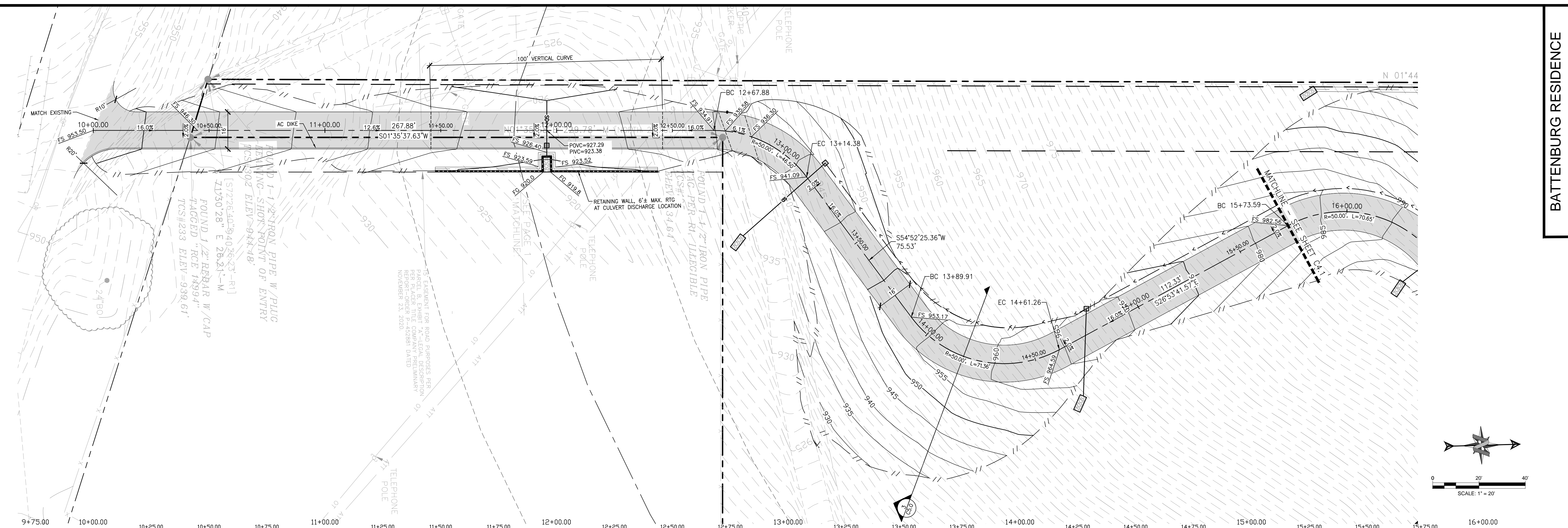


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 CHECKED BY: TW
 APPROVED BY: MRW
 DATE: 03/02/22

PRELIMINARY
 UTILITY PLAN


SHEET
C3.0

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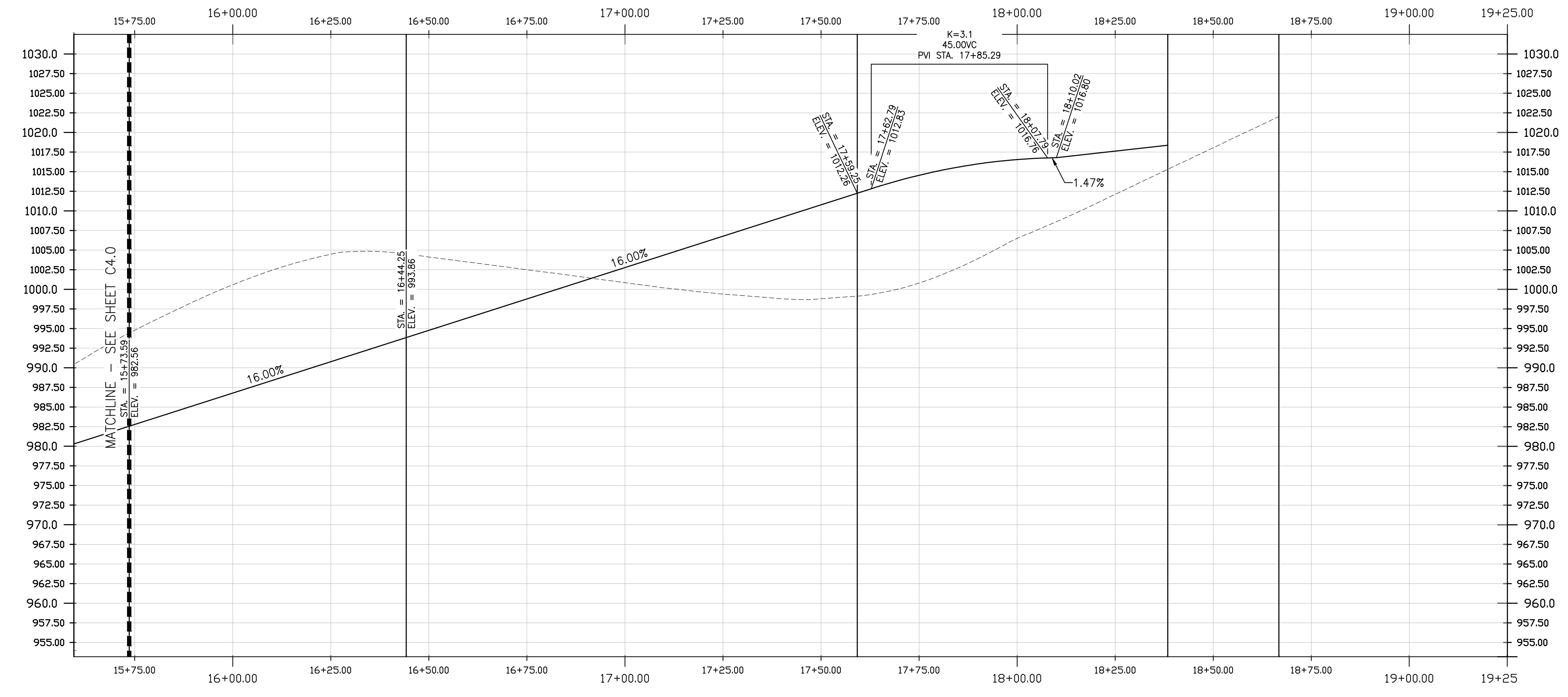
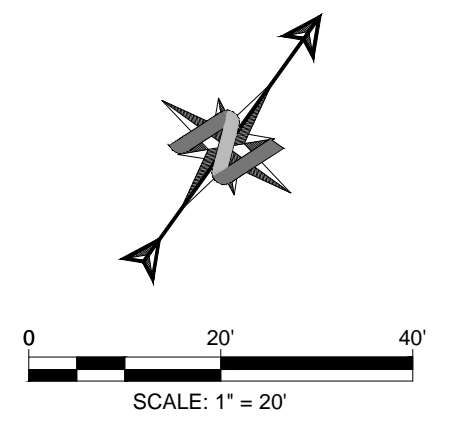
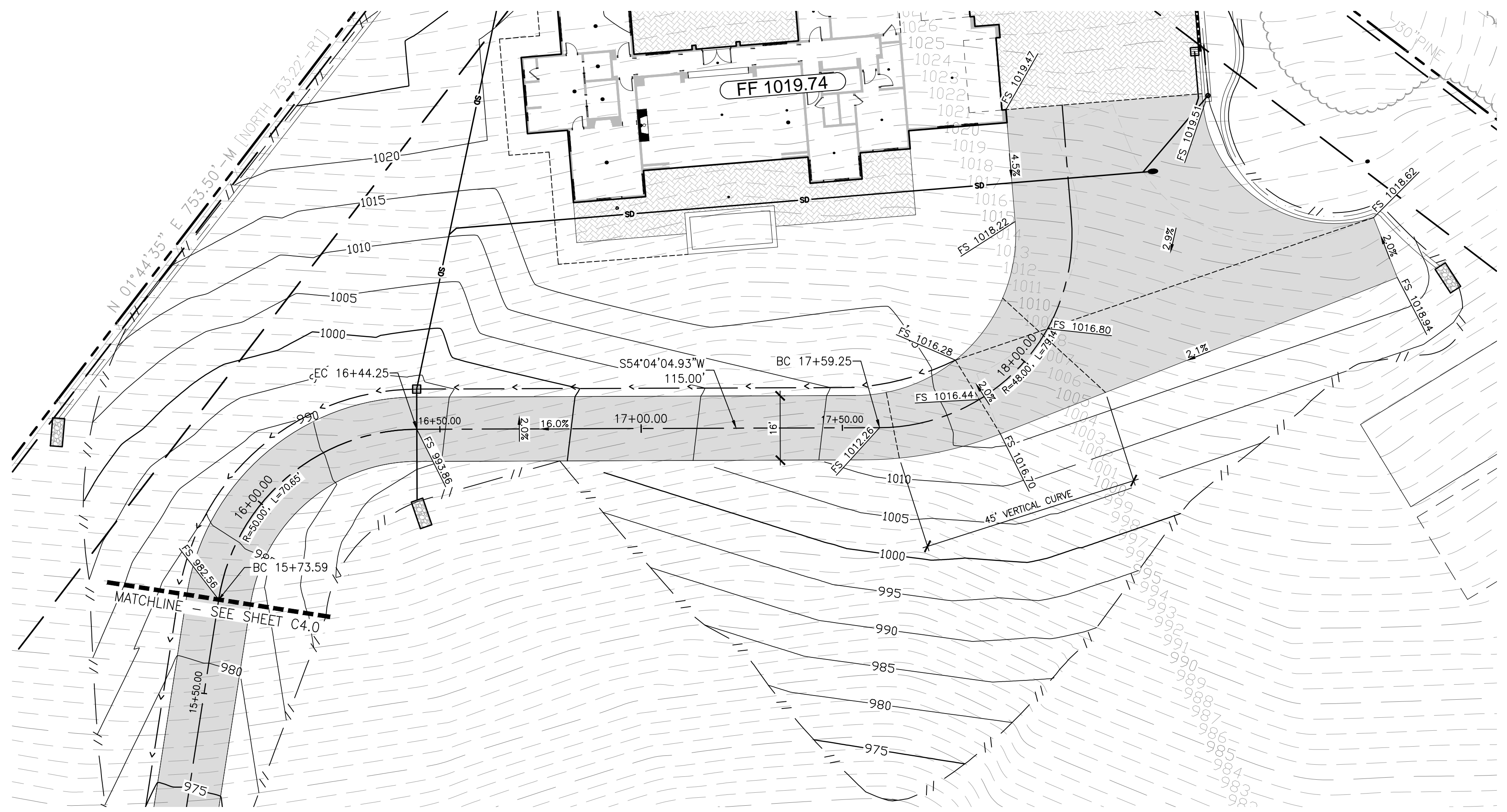
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**DRIVEWAY
 PLAN AND
 PROFILE**

SHEET
C4.0



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NO.	DATE	REVISIONS


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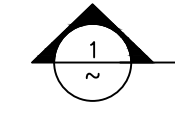
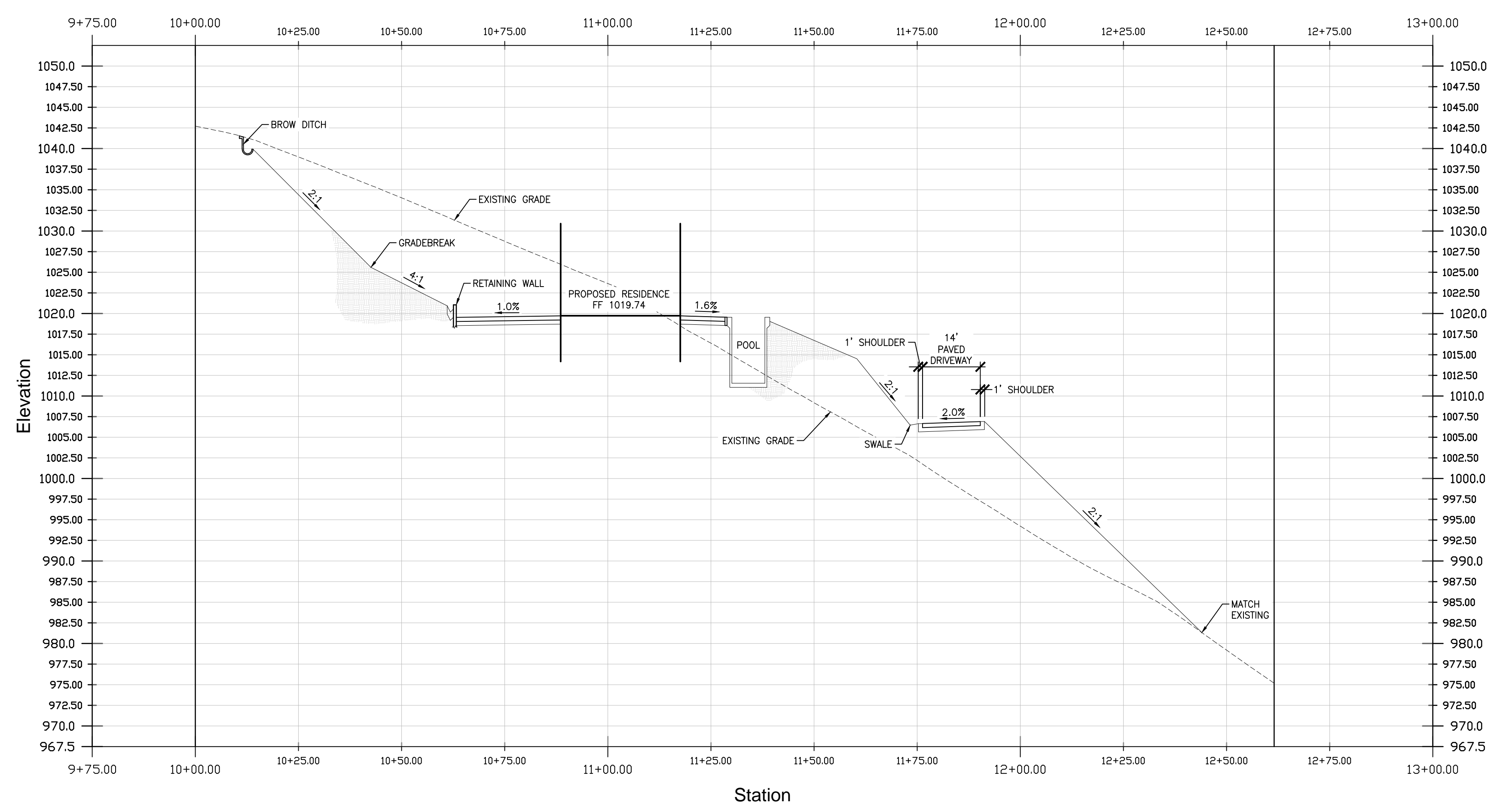
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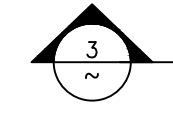
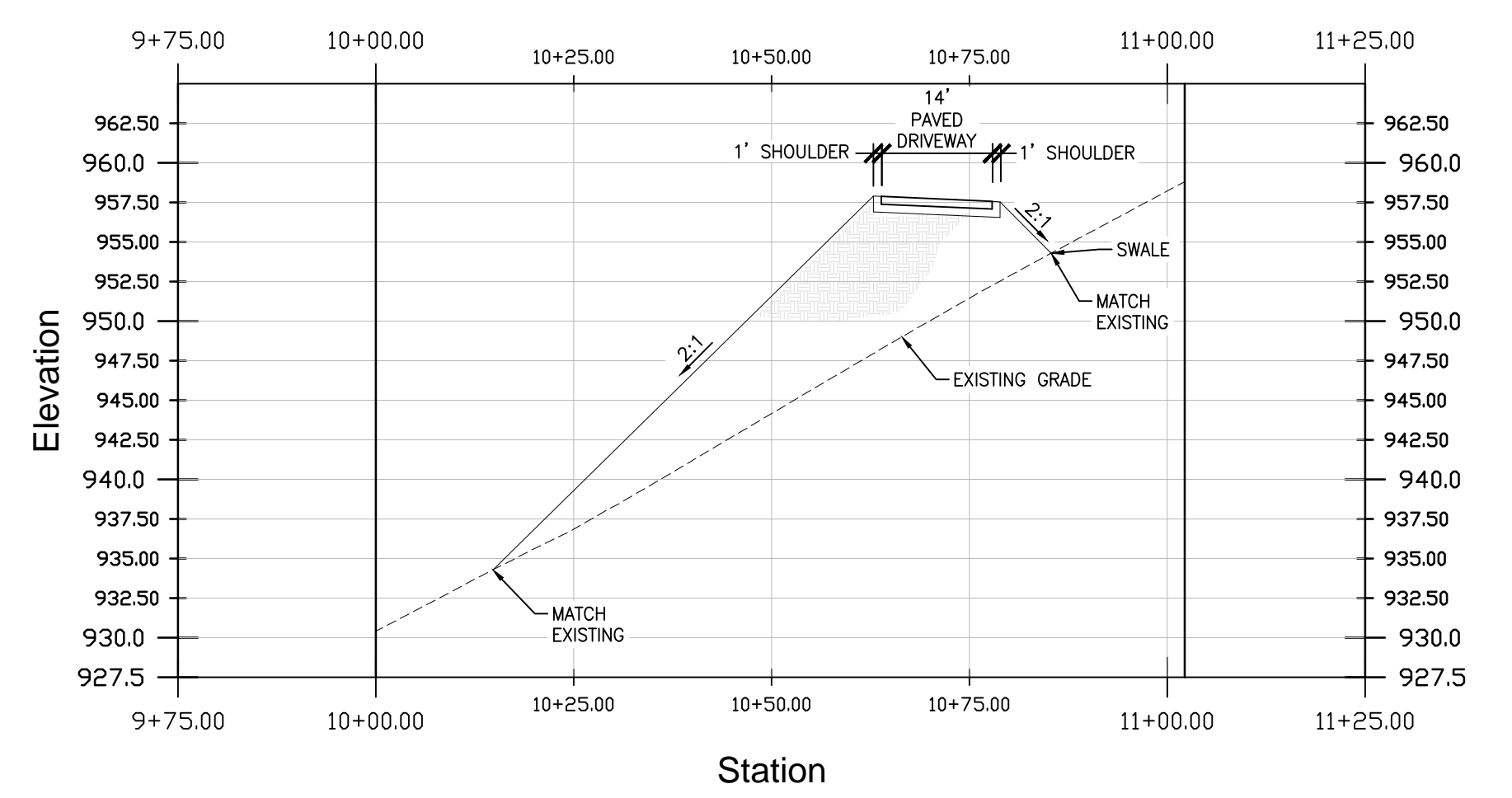
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 APPROVED BY: MRW
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**DRIVEWAY
 PLAN AND
 PROFILE**

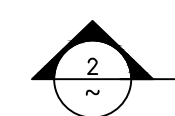
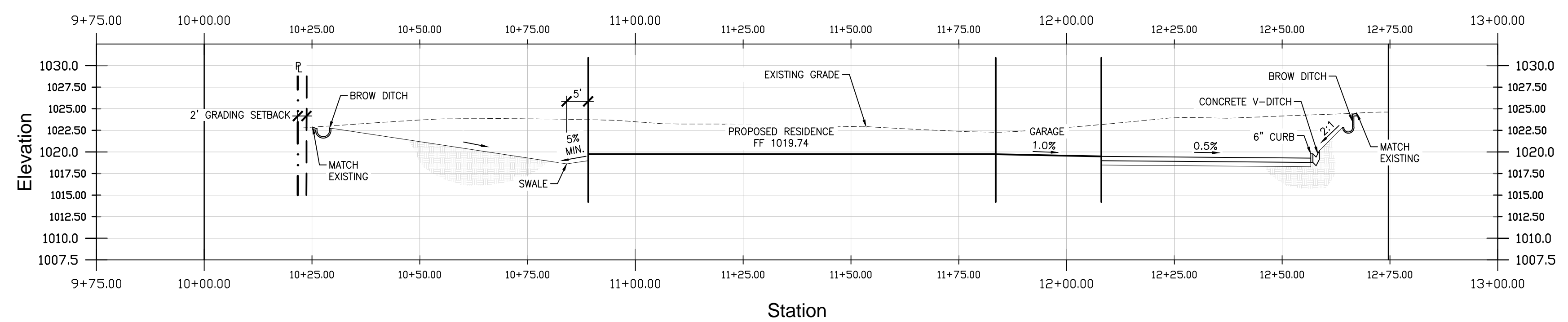
SHEET
C4.1



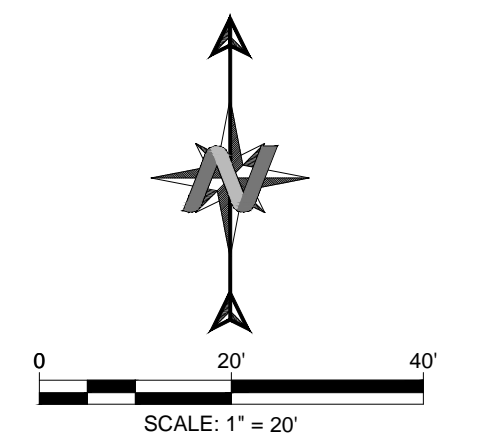
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'



HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'



HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'



811
Know what's below. Call 811 before you dig.

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MIRANDA BATTENBURG
BATTENBURG RESIDENCE
VILLA LOTS PARCEL 2, PASO ROBLES, CA

REGISTERED PROFESSIONAL ENGINEER
MATTHEW R. WALSH
C 79026
NOT FOR CONSTRUCTION
STATE OF CALIFORNIA

DESIGNED BY: TW
CHECKED BY: TW
APPROVED BY: MRW
DATE: 03/02/22

SECTIONS

SHEET
C5.0

