BELOW ARE BUILDING CONSTRUCTION REQUIREMENTS PER THE 2019 CALIFORNIA RESIDENTIAL CODE. SECTION 337 ROOFING SECTION R337.5

R337.5.1 GENERAL: ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R337.5 AND R902. ROOFS SHALL HAVE A ROOFING ASSEM NSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURE'S INSTALLATION INSTRUCTIONS. RASSANCE ROOF COVERINGS: WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING. THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRE-STOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE R337.5.3 ROOF VALLEYS: WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 0.019-INCH NO.26 GAGE ALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72-POUND MINERAL-SURFACE NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. AT LEAST 36-INCH-EIDE RUNNING WITH FULL LENGTH OF THE VALLEY. RA337.5.4 ROOF GUTTERS: ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN

R337.6.2 REQUIREMENTS: VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORME WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY OVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS: * THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH. * THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.

EXCEPTION: VENTS LOCATED UNDER THE ROOF COVERING, ALONG THE RIDGE OF ROOFS, WITH THE EXPOSED SURFACE OF THE VENT COVERED BY NONCOMBUSTIBLE WITH MESH, MAY BE OF COMBUSTIBLE MATERIALS. * THE MATERIALS USED SHALL BE CORROSION RESISTANT R337.6.3 VENTILATION OPENINGS ON THE UNDERSIDE OF EAVES AND CORNICES: VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES

* THE ENFORCING AGENCY MAY ACCEPT OR APPROVE SPECIAL EAVE AND CORNICE VENTS THAT RESIST THE INTRUSION OF FLAME AND BURNING EMBERS. VENTS COMPLYING WITH THE REQUIREMENTS OF SECTION R337.6.2 MAY BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES IN ACCORDANCE WITH EITHER ONE OF THE FOLLOWING CONDITIONS: * THE ATTIC SPACE BEING VENTILATED IS FULLY PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OF THE CALIFORNIA BUILDING CODE. OR: * THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE FAVE ARE OF NONCOMBUSTIBLE MATERIAL. OR IGNITION-RESISTANT-MATERIALS AS DETERMINED IN ACCORDANCE WITH SFM STANDARD 12-7A-5 IGNITION-RESISTANT MATERIAL AND THE VENT IS LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO, OR SIMILAR SURFACE.

EXTERIOR COVERINGS SECTION R337.7 R337.7.3 EXTERIOR WALLS: THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:

* NONCOMBUSTIBLE MATERIAL

* IGNITION-RESISTANT MATERIAL. * HEAVY-TIMBER EXTERIOR WALL ASSEMBLY LOG WALL CONSTRUCTION ASSEMBLY

ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE

* FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS.

IGNITION-RESISTANT MATERIA

* WALL ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAN CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1. EXCEPTIONS: ANY OF THE FOLLOWING SHALL BE DEEMED TO MEET THE ASSEMBLY PERFORMANCE CRITERIA AND INTENT OF THIS SECTION: ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE * THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL R337.7.3.1 EXTENT OF EXTERIOR WALL COVERING: EXTERIOR WALL COVERINGS SHALL EXTEND FORM THE TOP OF THE FOUNDATION TO THE

R337.7.4 OPEN ROOF EAVES: THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF ONE OF THE * NONCOMBUSTIBLE MATERIAL * IGNITION-RESISTANT MATERIAL

ROOF. AND TERMINATE A 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS. OR IN THE CASE OF

* ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE * THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL XCEPTIONS: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION: SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF OPEN ROOF EAVES HAVING A MINIMUM NOMINAL DIMENSION OF 2 INCH. * SOLID WOOD BLOCKING INSTALLED BETWEEN RAFTER TAILS ON THE EXPOSED UNDERSIDE OF OPEN ROOF EAVES HAVING A MINIMUM NOMINAL DIMENSION OF 2 INCH. * GABLE END OVERHANGS AND ROOF ASSEMBLY PROJECTIONS BEYOND AN EXTERIOR WALL OTHER THAN AT THE LOWER END OF THE RAFTER

R337.7.5 ENCLOSED ROOF FAVES AND ROOF FAVE SOFFITS: THE EXPOSED UNDERSIDE OF ENCLOSED ROOF FAVES HAVING FITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAIL, SHALL BE PROTECTED BY ONE OF THE FOLLOWING: * NONCOMBUSTIBLE MATERIAL.

IGNITION-RESISTANT MATERIA ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE * THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

EXCEPTIONS: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION: GABLE END OVERHANGS AND ROOF ASSEMBLY PROJECTIONS BEYOND AN EXTERIOR WALL OTHER THAN AT THE LOWER END OF THE RAFTER * FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS

R337.7.6 EXTERIOR PORCH CEILINGS: THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE

IGNITION-RESISTANT MATERIA ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE SSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUA PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3 EXCEPTION: ARCHITECTURAL TRIM BOARDS.

337.7.7 FLOOR PROJECTIONS: THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING:

IGNITION-RESISTANT MATERIA ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE * THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL. THE UNDERSIDE OF A FLOOR PROJECTION ASSEMBLY THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES ET FORTH IN SFM STANDARD 12-7A-3 **EXCEPTIONS: ARCHITECTURAL TRIM BOARD**

R337.7.8 UNDERFLOOR PROTECTION: THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL CONSIST OF ONE OF THE IGNITION-RESISTANT MATERIA

* ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE * THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUA THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTI N SFM STANDARD 12-7A-3. EXCEPTION: HEAVY-TIMBER STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION.

R337.7.9 UNDERSIDE OF APPENDAGES: WHEN REQUIRED BY THE ENFORCEMENT AGENCY THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED JNDERFLOOR SHALL CONSIST OF ONE OF THE FOLLOWING: NONCOMBUSTIBLE MATERIAL

* ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE * THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL * THE UNDERSIDE OF A FLOOR PROJECTION ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3. EXCEPTION: HEAVY-TIMBER STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION.

EXTERIOR WINDOWS AND DOORS SECTION R337.8 R337.8.2.1 EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLY REQUIREMENTS: EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR SSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS: BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 AFETY GLAZING, OR;

* BE CONSTRUCTED OF GLASS BLOCK UNITS. OR * HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA

SECTION R337.7.3 R337.8.3 EXTERIOR DOORS: EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:

* BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

* THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, * SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS: * STILES AND RAILS SHALL NOT BE LESS THAN 1-3/8 INCHES THICK.

337.8.2.2 STRUCTURAL GLASS VENEER: THE WALL ASSEMBLY BEHIND STRUCTURAL GLASS VENEER SHALL COMPLY WITH EXTERIOR WALLS.

RAISED PANELS SHALL NOT BE LESS THAN 1-1/4 INCHES THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252. * SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

R337.9.2 WHERE REQUIRED: THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL COMPLY WITH THE QUIREMENTS OF THIS SECTION WHEN ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING. 37.9.3 DECKING SURFACES: THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS * IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM * EXTERIOR FIRE RETARDANT TREATED WOOD.

* NONCOMBUSTIBLE MATERIAL. * ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL OVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. EXCEPTION: WALL MATERIAL MAY BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH THIS CHAPTER WHEN THE DECKING SURFACE ATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS ASTM E 84 WITH A CLASS B FLAME SPREAD RATING.

FIRE SAFETY NOTES

THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THIS BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS AS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPARTMENT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS AS MANY OF THESE FIRE PROTECTION REQUIREMENTS MAY REQUIRE THE INSTALLATION OF FIRE SPRINKLERS/ SPECIAL SAFETY GLAZED WINDOWS/ NON-COMBUSTIBLE EXTERIOR CONSTRUCTION AND ROOFS/ SPECIAL SETBACKS/ SPECIAL DRIVEWAY-ROADWAY REQUIREMENTS OR OTHER SAN LUIS OBISPO COUNTY GREEN BUILDING ORDINANCE

THIRD PARTY VERIFICATION FOR HOMES > 2,500 SF NEW HOMES GREATER THAN 2,500 SF SHALL COMPLETE THIRD PARTY VERIFIED CERTIFICATION. CERTIFICATION SHALL INCLUDE ONE OF THE FOLLOWING, INCLUDING EXCEEDING THE 2010 TITLE 24 PART 6 ENERGY REQUIREMENTS BY A MINIMUM OF

1. GREEN POINT RATED WITH 75 POINTS MINIMUM (HTTP://WWW.BUILDITGREEN.ORG/GUIDELINES--CHECKLISTS/); OR 2. LEED FOR HOMES CERTIFIED. (HTTP://NEW.USGBC.ORG/)

Per the San Luis Obispo County Green Building Ordinance, you are required to hire a certified Home Energy Rating System (HERS) rater to perform a Home Energy Rating prior to construction completion. See the Green Building Ordinance handout for links to companies that perform HERS ratings.

http://www.slocounty.ca.gov/Assets/PUbuilding/GBO-res.pdf

Per the San Luis Obispo County Green Building Ordinance, any existing water fixtures that exceed the thresholds in the water use baseline shall be retrofitted to this: * Kitchen faucets - 1.8 gpm @ 60psi * Lavatory faucets - 1.2 gpm @ 60psi * Toilets - 1.28 gallons per flush * Showerheads - 1.8 gpm @ 80psi

Only existing fixtures that exceed the usage below must be retrofitted: * Toilets rated at no more than 1.6 gallons per flush * Showerheads rated at no more than 2.5 gpm @ 80 psi * Lavatory faucets rated no more than 2.2 gpm @ 60 psi * Kitchen faucets rated no more than 2.2 gpm @ 60 psi

** AT FIRST INSPECTION THE THIRD PARTY CERTIFIER IS TO MEET INSPECTOR ON THE JOBSITE TO GO OVER THE GREEN POINTS REQUIRED TO BE CERTIFIED. ** PRIOR TO FRAMING INSPECTION THE BUILDING INSPECTOR IS TO VERIFY THIRD PARTY CERTIFIER HAS BEEN CALLED TO THE JOBSITE TO INSPECT VARIOUS GREEN

CAL GREEN MANDATORY MEASURES

4.106.2 A plan is developed and implemented to manage storm water drainage during

construction, 4,106,3 The site shall be planned and developed to keep surface water away

from buildings. Construction plans shall indicate how site grading or a drainage system will

4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits or other

closing such openings with cement mortar, concrete masonry or similar methods acceptable

openings in plates at exterior walls shall be protected against the passage of rodents by

4.408.1 A minimum of 75% of the construction waste generated at the site is diverted to

4.408.2 Where a local jurisdiction does not have a construction and demolition waste

management ordinance, a construction waste management plan shall be submitted for

An operation and maintenance manual shall be provided to the building occupant owner.

4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any

4.504.1 Duct openings and other related air distribution components openings shall be

4.504.2.1 Adhesives, sealants and caulks shall be complaint with VOC and other toxic

4.504.2.2 Paints, stains and other coatings shall be complaint with product weighted MIR

4.504.2.3 Aerosol paints and coatings shall be complaint with product-weighted MIR limits

4.504.4 50% of floor area receiving resilient flooring shall comply with the VOC-emission

Program. 4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood

Materials List or be certified under the Resilient Floor Covering Institute(RFCI) FloorScore

limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting

used in interior finish systems shall comply with low formaldehyde emission standards.

4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.

4.505.3 Moisture content of building materials used in wall and floor framing is checked

4.506.1 Exhaust fans which terminate outside the building are provided in every bathroom.

4.507.1 Whole house exhaust fans shall have insulated louvers or covers which close when

systems according to ACCA 29-D (Manual D) or equivalent. 3. Select heating and cooling

702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems 702.2 Special inspectors employed by the enforcing agency must be qualified and

Irrigation Controllers. Automatic irrigation system controllers for landscaping provided by

the builder and installed at the time of final shall comply with the following:

1. Controller shall be weather or soil moisture-based controllers that automatically adjust

2. Weather-based controllers without integral rain sensors or communication systems that

account for local rainfall shall have a separate wired or wireless rain sensor which connects

or communicate with the controllers(s) Soil Moisture-based controllers are not required to

At the time of final inspection, a manual, compact disc, web-based reference or other media

acceptable to the enforcing agency which includes items 1 through 10 in accordance with CGBSC Section 4.410.1 shall be placed in the building.

Prior to enclosing the wall and framing, confirmation must be provided to the building

Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

2. Unless functioning as a component of a whole house ventilation system, fans must be

Outdoor Water: shall comply with CAL Green Tier 1 for outdoor water requirements.

4.304.1 Irrigation controllers. Automatic irrigation system controllers for landscaping

1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust

2. Weather-based controllers without integral rain sensors or communication systems that

account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to

A4.304.1 Install a low-water consumption irrigation system which minimizes the use of spray

A4.304.2 A rainwater capture storage and re-use sustem is designed and installed (optional)

provided by the builder and installed at the time of final inspection shall comply with the

Cal Green Mandatory Measures: (With Tier 1 required this becomes mandatory)

irrigation in response to changes in plants' needs as weather conditions change.

A4.304.3 A water budget shall be developed for landscape irrigation. (optional)

potable water; does not exceed 65 percent of ETo times the landscape area.

A4.304.4 Provide water efficient landscape irrigation design that reduces the use of

inspector showing the framing members do not exceed 19% moisture content.

rrigation in response to changes in plants" needs as weather conditions change.

the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2. 4.507.2 Duct

systems are sized, designed and equipment is selected using the following methods: 1. Establish head loss and heat gain values according to ACCA Manual J or equivalent. 2. Size duct

4.504.2.4 Documentation shall be provided to verify that complaint VOC limit finish materials

have been used. (All adhesives, sealants, caulks, paints, coatings, and aerosol paint containers

V.O.C.'S - 4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT

OMPLAINT YOC LIMIT FINISH MATERIALS HAVE BEEN USED

must remain on the site for field verification by the building inspector.)

4.504.3 Carpet and carpet systems shall be complaint with VOC limits.

equipment according to ACCA 36-5 (Manual 5) or equivalent.

able to demonstrate competence in the discipline they are inspecting.

INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS

controlled by a humidistat which shall be readily accessible.

nstalled woodstove or pellet stove shall comply with US EPA Phase II emission limits where

applicable. Moodstoves, pellet stoves and fireplaces shall also comply with applicable local

CAL GREEN MANDATORY MEASURES TO BE IMPLEMENTED:

ENHANCED DURABILITY AND REDUCED MAINTENANCE

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

SITE DEVELOPMENT

approval to the enforcing agency.

BUILDING MAINTENANCE AND OPERATION

limits for ROC and other toxic compounds.

for ROC and other toxic compounds.

have rain sensor input.

Bathroom exhaust fans.

have rain sensor input.

BUILDING MAINTENANCE AND OPERATION

OUTDOOR WATER REQUIREMENTS

** PRIOR TO PROJECT FINAL "INSPECTOR TO VERITY/COLLECT THIRD PARTY CERTIFICATION FOR COMPLIANCE WITH SLO COUNTY GREEN BUILDING ORDNANCE. DEFERRED ITEMS WILL TRIGGER A CONDITION COMPLIANCE MONITORING CASE WHICH WILL COST \$230.00 - (L 15 CONDITION COMPLIANCE - MINOR WITHOUT SITE

3 GOVERNING LAMS: ALL MORK SHALL AT LEAST, CONFORM TO ALL OF THE COUNTY OF SAN LUIS OBISPO REQUIREMENTS, THE LATEST ADOPTED EDITION OF THE CBC, CMC, CPC, CEC, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL LAMS, RULES & SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR

SUBCONTRACTS OF THIS PROJECT.)

INC. EXPRESS, WRITTEN CONSENT.

GENERAL NOTES

USE OF PLANS: THESE PLANS ARE THE PROPERTY OF MULFF

DESIGN, INC. AND MAY NOT BE USED WITHOUT MULFF DESIGN,

(THESE NOTES APPLY TO ALL PORTIONS, PHASES &

WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS & THE EXISTING CONDITIONS) ARE FOUND. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM <mark>WULFF DESIGN, INC</mark> PRIOR TO PROCEEDING WITH ANY RELATED WORK. SITE ADDRESS NUMBERS SHALL BE PLAINLY VISIBLE AND

LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 6" IN HEIGHT 1. MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. WHERE ADDRESS CANNOT BE VIEWED FROM PUBLIC WAY A MONUMENT OR POLE SHALL BE USED.

ANY CHANGE ORDERS MADE DURING THE CONSTRUCTION PROCESS WHICH REQUIRE THE SUBMITTAL OF A PLAN SET BY THE PROPERTY OWNER, REQUIRE A COPY TO BE PROVIDED TO THE ASSESSOR.

BATTENBURG RESIDENCE

PASO ROBLES

STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SURFACE

TOWEL BAR
TELEPHONE
THICK(NESS)
THROUGH
TOP OF CURB

TOP OF WALL

TELEVISION

VERIFY IN FIELD VENT PIPE

MOOD MATER HEATER

WEATHERSTRIPPING

TRANSFORMER

MIDTH MITH MITHOUT

SUSPEND SYMBOL OR SYMMETRICAL

TYPICAL UNDERWRITER'S LABORATORIES UNFINISHED

UNLESS OTHERWISE NOTED VERTICAL

MASHING MACHINE OR WEST OR

MALL COVERING OR WATER CLOSET

WATERPROOF WASTE RECEPTAGLE OR WATER

SYSTEM TOP AND BOTTOM TONGUE AND GROOVE

LOOR GIRDER

FLUORESCENT FACE OF CONCRETE

FIREPROOF FEET OR FOOT

FOOTING FURNACE

FURRING FUTURE

GROUND GRADE

GALVANIZED GRAB BAR

GARBAGE DISPOSAL

GYPSUM BOARD HOSE BIB

HOT WATER HARDWOOD INSIDE DIAMETER (DIM.)

HOLLOW CORE HEAD HARDWARE

HORIZONTAL HOUR HEIGHT HEATER

GLASS GLUED LAMINATED BEAM

GALVANIZED SHEET METAL

FPRF. (') OR FT FTG. FURN. FURR.

G.S.M. GYP. BD.

H.C. HD. HDMR. HORIZ. HR.

IN.OR (")

FLAT HEAD WOOD SCREW

CALIFORNIA

SYMBOL LEGEND **ABREVIATIONS** PROJECT DATA SHEET INDEX ASPHALTIC CONCRETE ADJUSTABLE ABOVE FINISHED FLOOR DESCRIPTION: A PROPOSED 3216 SQUARE FOOT 1 STORY SINGLE FAMILY RESIDENCE T1.1 TITLE SHEET, SHEET INDEX, PROJECT DATA ABOVE FINISHED AGGREGATE ALUMINUM ALTERNATE APPROXIMATE ARCHITECTURAL ASPHALT BOARD BETWEEN SITE INFORMATION KILN-DRIED SECTION IDENTIFICATION LAMINATE(D) LAVATORY LAG SCREW SHEET WHERE SECTION IS DRAWN STREET ADDRESS: A 1.1 FLOOR PLAN - MAIN LEVEL 00000 VILLA LOTS RD 018-011-017 A 1.2 FLOOR PLAN - TOWER LIGHT MAXIMUM MACHINE BOLT LEGAL DESCRIPTION: VILLA LT 83 PTN A 2.1 EXTERIOR ELEVATIONS MEDICINE CABINET MECHANICAL MEDIUM LOT SIZE: 9.02 ACRE BITUMINOUS BUILDING BLOCK BLOCKING BEAM BULLNOSE BOTTOM DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN BUILDING INFORMATION: MANUFACTURER FIRST LEVEL LIVING AREA BUILDING SIZE MINIMUM MIRROR MISCELLANEOUS MOUNTED METAL MULLION NORTH TOTAL LIVING AREA = 3216 SQ.FT 1125 SQ.FT. CABINET CARRIAGE BOLT OR CEILING COVERED PORCH SHEET WHERE ELEVATION IS 144 SQ.FT. BEAM OR CATCH BASIN CEMENT CERAMIC TOWER PORCH 100 SQ.FT. ELEVATION IDENTIFICATION TOTAL STRUCTURE = 4585 SQ.FT CORNER GUARD CAST IRON NOMINAL NOT TO SCALE CEILING JOIST OR CONTROL JOINT 160 SQ.FT. POOL OVER OVERALL OBSCURE ON CENTER COLUMN/GRID LINES PATIO 1523 SQ.FT. CLEAR CORRUGATED METAL PIPE CONCRETE MASONRY UNIT LETTERS ONE DIRECTION ENTRY COURTYARD 1113 SQ.FT. NUMBERS IN OTHER DIRECTION OUTSIDE DIAMETER (DIM.) OVERHEAD CLEANOUT OR CASED OPENING OHNG. OPP.5. PERF. PLAWD. PM.C.STAB PRCSTAB PRCSTAB PRCPP. 2019 CALIFORNIA ENERGY CODE OPENING OPPOSITE POWDER DRIVEN STUD 2019 CALIFORNIA BUILDING CODE, VOLS 1 & 2 2019 CALIFORNIA ELECTRICAL CODE CONSTRUCTION CONTINUOUS CORRIDOR PLYMOOD EDGE NAILING 2019 CALIFORNIA FIRE CODE PERFORATED PLATE OR PROPERTY LINE SHADED PORTION IS THE SIDE 2019 CALIFORNIA GREEN BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE CLEAN OUT TO GRADE COUNTERSINK COLLAR TIE COLD WATER DRYER 2019 CALIFORNIA PLUMBING CODE PATCH TO MATCH EXISTING PAIR 2019 CALIFORNIA REFERENCE STANDARDS CODE 2019 CALIFORNIA RESIDENTIAL CODE **KEYNOTE REFERENCE** PRE-CAST PREFABRICATED COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19 PROJECT PROPERTY COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23 DETAIL DOUGLAS FIR OR DRINKING FOUNTAIN COUNTY FIRE CODE ORDINANCE - TITLE 16 ___ FLOOR FINISH BREAK COUNTY LAND USE ORDINANCE - TITLE 22 PRESSURE TREATED DOUGLAS FIR PARTITION P.T.D.F. PTN. QTR DIAMETER DIMENSION DISPENSER DOWN DOOR DOWNSPOUT QUARTER FIRE HAZARD SEVERITY ZONE: FLOOR LEVEL CHANGE QUALITY RADIUS OR RISER SPRINKLERED YES SEISMIC DESIGN CATEGORY: DOWNSPOUT DISHWASHER DRAWING DRAWER EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EDGE OF SLAB EQUIPMENT ESTIMATE EYCAVATE CEILING LEVEL CHANGE REFERENCE REFRIGERATOR OCCUPANCY GROUP: R-3 & U REINFORCE REQUIRED ROOM CONSTRUCTION TYPE: WORK, CONTROL OR DATUM ROOF RATING: CLASS "A" ROUGH OPENING MAX. BUILDING HEIGHT ABOVE (A.N.G.): RIGHT OF MAY REDMOOD MAX. ALLOWED +35 (1059.0) S. 4.S. S.C. SCHED. S.D. POINT CONDITION PROPOSED +21.27(1045.27) SURFACED 4 SIDES UTILITIES: SCHEDULE SOAP DISPENSER ELECTRICITY PACIFIC GAS & ELECTRIC OR SMOKE DETECTOR **ROOM IDENTIFICATION** LPG (PRIVATE) EXCAVATE EXHAUST EXISTING MATER: PRIVATE ROOM NAME SHELF OR SHELVING CEILING HEIGHT PRIVATE SHOMER SHEET SHEATHING SIMILAR EXPOSED OR EXPANSION FLOOR FINISH TELEPHONE AT&T ROOM DIMENSIONS FABRICATE FORCED AIR UNIT FACE OF CURB FLOOR DRAIN C.A.T.V. FOUNDATION FINISH FLOOR

PROJECT DIRECTORY VICINITY MAP

UNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

THIS PROJECT IS REQUIRED TO CONFORM WITH LAND USE ORDINANCE SECTION 22.94.025 - PASO ROBLES GROUNDWATER BASIN MHICH REQUIRES ALL NEW DEVELOPMENT IN THE PASO ROBLES GROUNDWATER BASIN AREA TO OFFSET NEW MATER USE THROUGH VERIFIABLE EVIDENCE OR DRAFTING PARTICIPATION IN AN APPROVED COUNTY WATER CONSERVATION PROGRAM. MULFF DESIGN INC

DOMESTIC MATER DOMESTIC MATER MELLS SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE STATE OF CALIFORNIA, ALL DOMESTIC MATER MELLS INTENDED TO PROVIDE POTABLE MATER TO HABITABLE BUILDINGS SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT FOR POTABLILITY. PRIOR TO FINAL, ENVIROMENTAL HEALTH DEPARTMENT WILL HAVE TO APPROVE WELL WATER QUALITY. CONTACT LESLIE TERRY @ 805.781.5551

OSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND

EROSION AND SEDIMENT CONTROL

PASO ROBLES GROUND WATER BASIN:

NSTALLATION CERTIFICATE SET OF CF-6R DOCUMENTS APPLICABLE TO THE CONSTRUCTION PROJECT IS REQUIRED TO BE ASSEMBLED AND POSTED AT THE BUILDING SITE PRIOR TO FINAL INSPECTION. THE INSTALLING ONTRACTORS ARE RESPONSIBLE FOR THE INSTALLATION OF THE WATER HEATING EQUIPMENT. THE OMS (FENESTRATION), THE LIGHTING SYSTEM, THE AIR DISTRIBUTION DUCTS AND HVAC EQUIPMENT AND THE MEASURES THAT AFFECT BUILDING ENVELOPE TIGHTNESS AND THE INSULATION ARE RESPONSIBLE FOR SUPPLYING AND COMPLETING THE CF-6R FORM. MOST COMPLIANCE MEASURES HAVE A SEPARATE CF-6R FORM THAT IS SPECIFIC TO A PARTICULAR INSTALLATION.

FOR COPIES OF THE FORMS, GO TO tp://www.energy.ca.gov/title24/2008standards/residential_manual.html#forms

SURVEYOR JOHN & MIRANDA BATTENBURG 106 PINE STREET PASO ROBLES, CA 93446 (805) 712-1362 805.434.1834

CIVIL ENGINEER MALSH ENGINEERING PASO ROBLES, CA 93446 805.239.0530 (805)319-4948

STRUCTURAL ENGINEERING CONSULTANT ASHLEY & VANCE ENGINEERING INC KIRK CONSULTING 14 13 MONTEREY ST. 8830 MORRO RD SAN LUIS OBISPO, CA 93401 ATASCADERO, CA 93422 805.545.0010 805.461.5765

CONTRACTOR PROBUILT 8052 CRISTOBAL AVE ATASCADERO, CA 93422

805.466.8822

LICENSE # 437999

SOILS ENGINEER BEACON GEOTECHNICAL SERVICES, LLC PASO ROBLES, CALIFORNIA 93447 805.239-9457 FAX 805.237.9098 REPORT NO: F-102564 (12-30-2020)

TWIN CITIES SURVEYING INC. 615-C MAIN STREET TEMPLETON, CA 93465

108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

SITE VILLA LOTS RD

22101BAT SFR 02.6 v12.mcd

lo. Date

105 Calle Propano Paso Robles, CA 93446 t 805.239.0530 f 805.238.0530 www.wulffdesign.com

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use on the specified project and shall not be used without the expressed written consent of Wulf

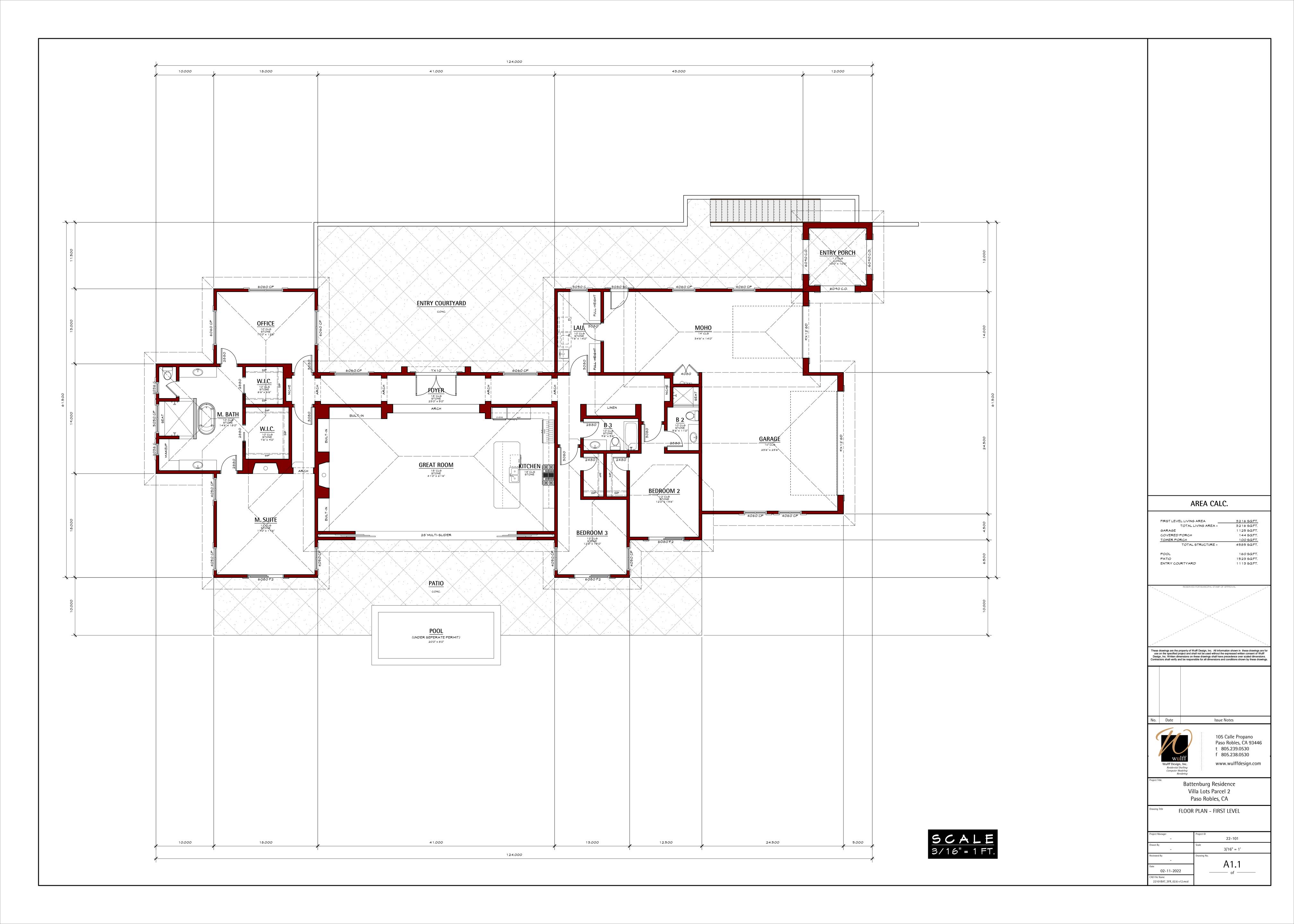
Design, Inc. Written dimensions on these drawings shall have precedence over scaled dimension

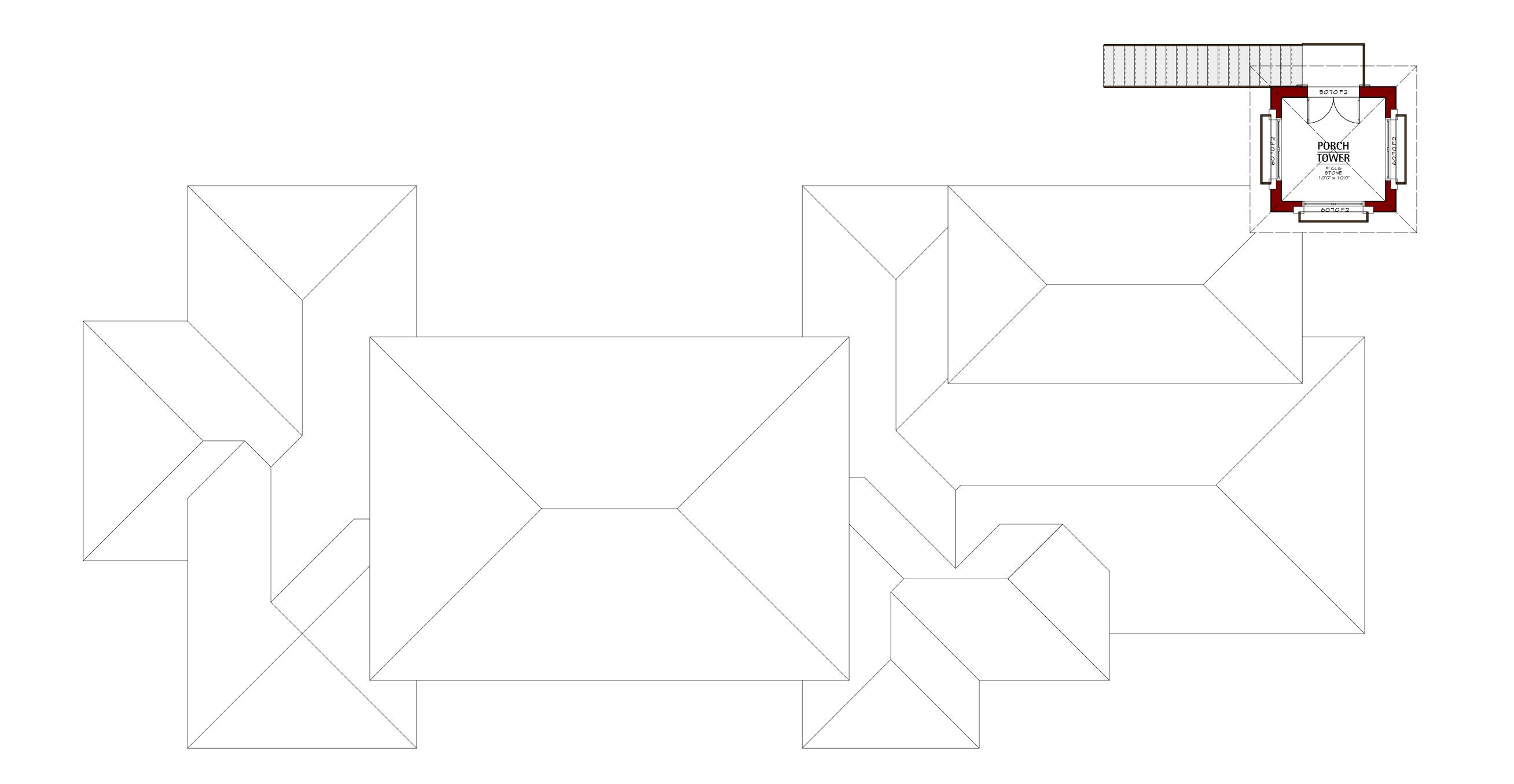
Battenburg Residence Villa Lots Parcel 2 Paso Robles, CA

COVER SHEET

22-101 AS NOTED _____ of _____

SPECIAL CONSTRUCTION.

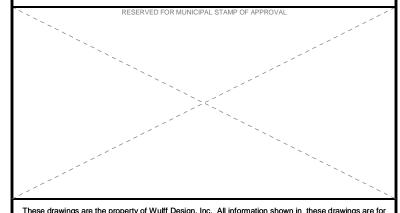




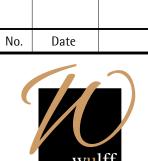


FIRST LEVEL LIVING AREA	3216 SQ.FT.
TOTAL LIVING AREA =	= 3216 SQ.FT.
GARAGE	1 1 25 SQ.FT.
COVERED PORCH	144 SQ.FT.
TOWER PORCH	100 SQ.FT.
TOTAL STRUCTURE =	4585 SQ.FT.
POOL	160 SQ.FT.
PATIO	1523 SQ.FT.

ENTRY COURTYARD 1113 SQ.FT.



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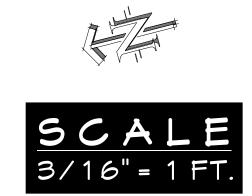
Computer Modeling Rendering

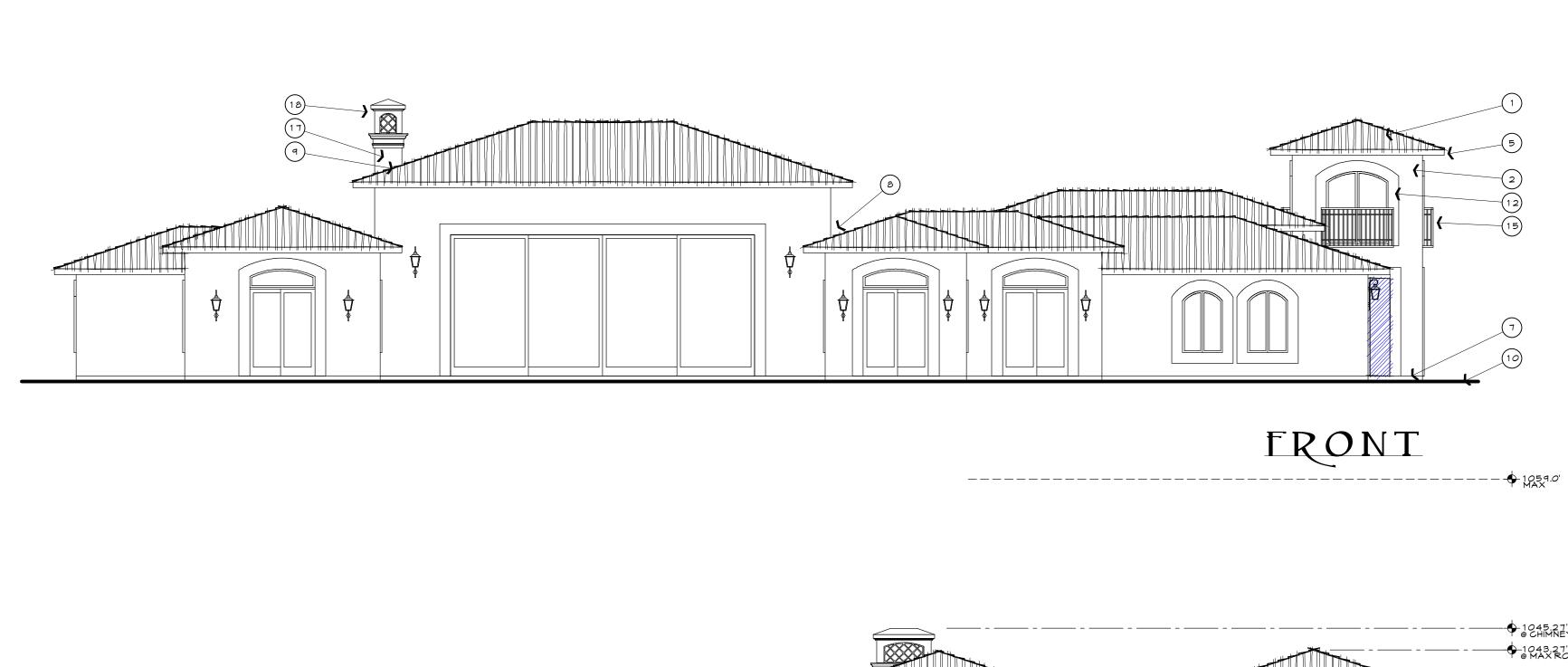
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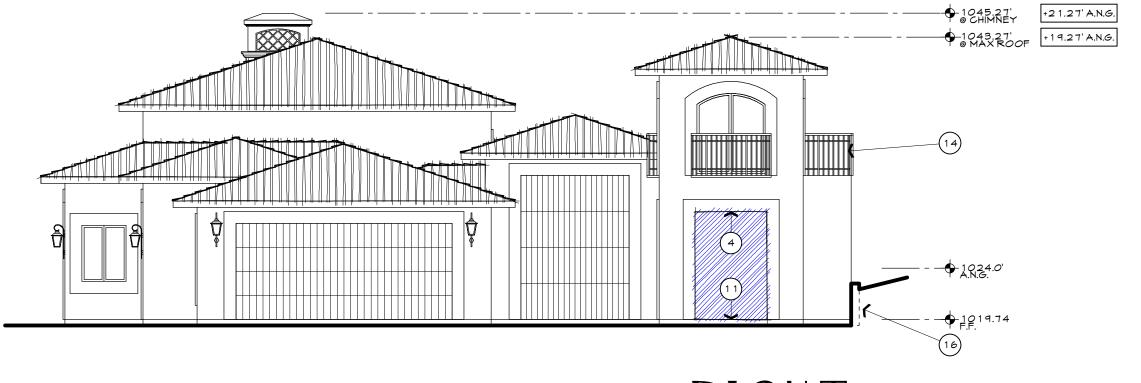
Battenburg Residence Villa Lots Parcel 2 Paso Robles, CA

FLOOR PLAN - SECOND LEVEL

Project Manager	Project ID
-	22-101
Drawn By	Scale
-	3/16" = 1'
Reviewed By	Drawing No.
-	A1.2
Date	A1.Z
02-11-2022	of
CAD File Name	7
22101BAT_SFR_02.6 v12.mcd	



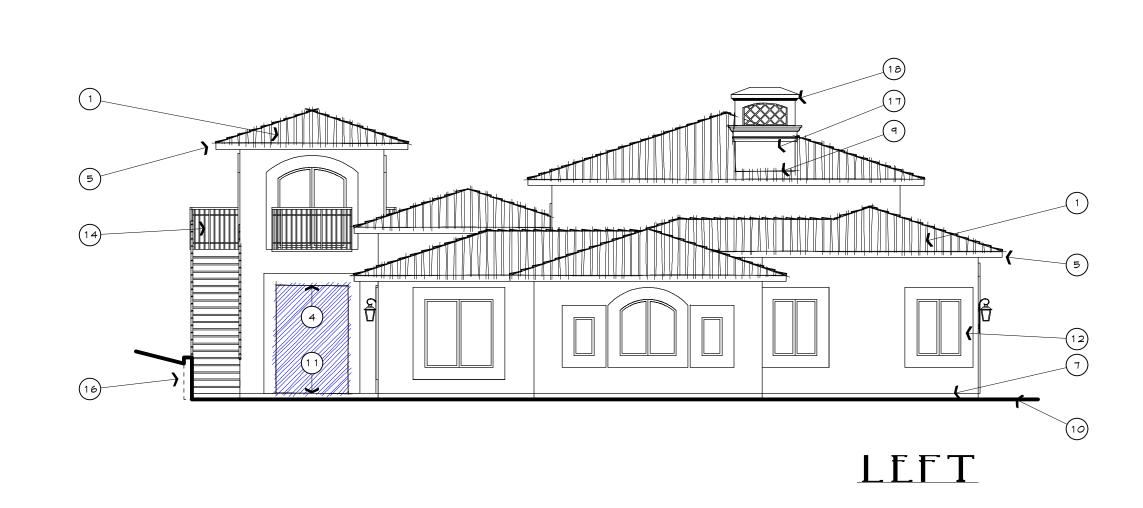




RIGHT



10590 + -----



GENERAL NOTES

- FOR SPECIFIC OR ADDITIONAL INFORMATION, SEE FLOOR PLANS, SCHEDULES, AND ROOF PLAN. B CHIMNEYS SHALL TERMINATE AT LEAST 3 FEET ABOVE THE ROOF AND 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN
- A HORIZONTAL DISTANCE OF 10 FEET & TERMINATE THE VENT AT LEAST 10 FEET FROM A PROPERTY LINE.
- C MFG. APPR. CHIMNEY CAP WITH MFG. APPR.\$ LISTED SPARK ARRESTOR (1/2" MESH SCREEN MAXIMUM) POUNDATION VENTS: PROVIDE MINIMUM 1-1/2 S.F. PER 25 LINEAL FEET OF EXTERIOR WALL OR 1 S.F. FOR EACH 150 S.F. OF UNDERFLOOR AREA.
- APPLICATION OF METAL PLASTER BASES:
- THE APPLICATION OF METAL LATH OR WIRE FABRIC LATH SHALL BE AS SPECIFIED IN SECTION 2510. WHERE NO EXTERNAL CORNER REINFORCEMENT IS USED, LATH SHALL BE FURRED OUT AND CARRIED AROUND CORNERS AT LEAST ONE SUPPORT ON FRAME CONSTRUCTION.
- 3. A MINIMUM 0.019" (0.48MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES (89MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD MALLS. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102M) ABOVE TH EARTH OR 2 INCHES (5 1MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE
- WEATHER-RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE, AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED.
- F STUCCO SHALL BE APPLIED WITH THREE COAT APPLICATION. 2-LAYERS OF GRADE 'D' PAPER REQUIRED UNDER CEMENT PLASTER WHEN APPLIED OVER WOOD SHEATHING. GARAGE DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE MOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK, OR SHALL A FIRE RESISTIVE RATING OF NOT LESS THAN 20 MINUTES OR BE OF EXTERIOR FIRE-RETARDANT TREATED MOOD.

KEY NOTES

- 1 ROOFING 'CLASS A' REDLAND'S TWO-PIECE MISSION TILE OVER MIN. ONE LAYER OF 90# BUILDING FELT. ICC-ES EVALUATION REPORT ESR-4395 PROVIDE NON-COMBUSIBLE BIRDSTOPS FOR CURVED TILE. THREE COAT 7/8" STUCCO (SANTA BARBARA FINISH), OVER
 METAL LATH & BUILDING PAPER (2-LAYERS TYPE 'D' OVER
 MOOD SHEATHING). SEE OWNER FOR TEXTURE & COLOR.
 - 3) PORCH LIDS: 2X6 T&G W/ NO ATTIC SPACE ABOVE
- 4) SOFFITS: TO BE STUCCO OVERHANG - OVERHANGS TO BE EXPOSED 18" PROJECTION 4X6 DECO SHAPED TAILS M/ 2X6 T&G ROOF DECKING. (PROFILE BY OWNER)
- 6 CRICKET

+35' A.N.G.

-) WEEP SCREED.
- 8 HORIZONTAL EXTERIOR SURFACES TO BE THREE COAT 1/8" STUCCO, OVER RIBBED METAL LATH & 2-LAYERS TYPE 'D' BUILING PAPER.
- FLASH AND COUNTER-FLASH. SEE A 4.1 FOR DETAILS ON ROOF TO WALL. FLASH DOORS AND WINDOWS PER MANUFACTURER'S SPECS.
- O) FINISH GRADE 1) PATIO/STOOP
- 2) PRECAST CONCRETE MOULDING
- 3) PROVIDE CLAY TILE BIRD STOPS AT ALL EAVES
- 14) WROUGHT IRON RAINING
- 15) WROUGHT IRON JULIETTE BALCONY
- 16) SITE WALL: 3.5' AT MAX.
- 7) CHIMNEY CHASE
- 18) PRECAST CONC. CHIMNEY CAP

NOTE: PROVIDE MINIMUM OF ONE LAYER NO. 15 ASPHALT FELT COMPLYING WITH ASTM D226 AT EXTERIOR WALLS. NOTE: ALL EXTERIOR LIGHTING SHALL BE DESIGNED TO AVOID GLARE INTO ADJACENT OPEN SPACE AREAS. FIXTURES SHOULD DIRECT ILLUMINATION DOMNWARD, AND SECURITY LIGHTING, WHERE NECESSARY, SHALL BE HOODED OR RECESSED TO AVOID OFF-SITE GLARE.

BUILDING HEIGHT CALC

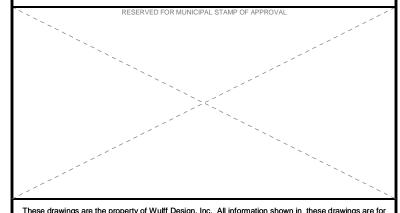
THE HEIGHT OF THE STRUCTURE IS TO BE MEASURED AS THE VERTICAL DISTANCE FROM THE HIGHEST POINT OF THE STRUCTURE TO THE AVERAGE OF THE HIGHEST AND LOWEST POINTS WHERE THE VERTICAL PLANE OF THE EXTERIOR WALLS WOULD TOUCH THE NATURAL GRADE LEVEL OF THE SITE.

LOM: 1017.0 HIGH: 1031.0

A.N.G. = $\frac{1017.0 + 1031.0}{2}$ = 1024.0 MAX. BUILDING HEIGHT ALLOWED 1024.0 + 35 = 1059.0

PROPOSED BUILDING HEIGHT

 $\frac{\text{F.F.}}{1019.74} + \frac{\text{H}}{25.53} = 1045.27$ ← @ CHIMNEY 1045.27 < 1059.0



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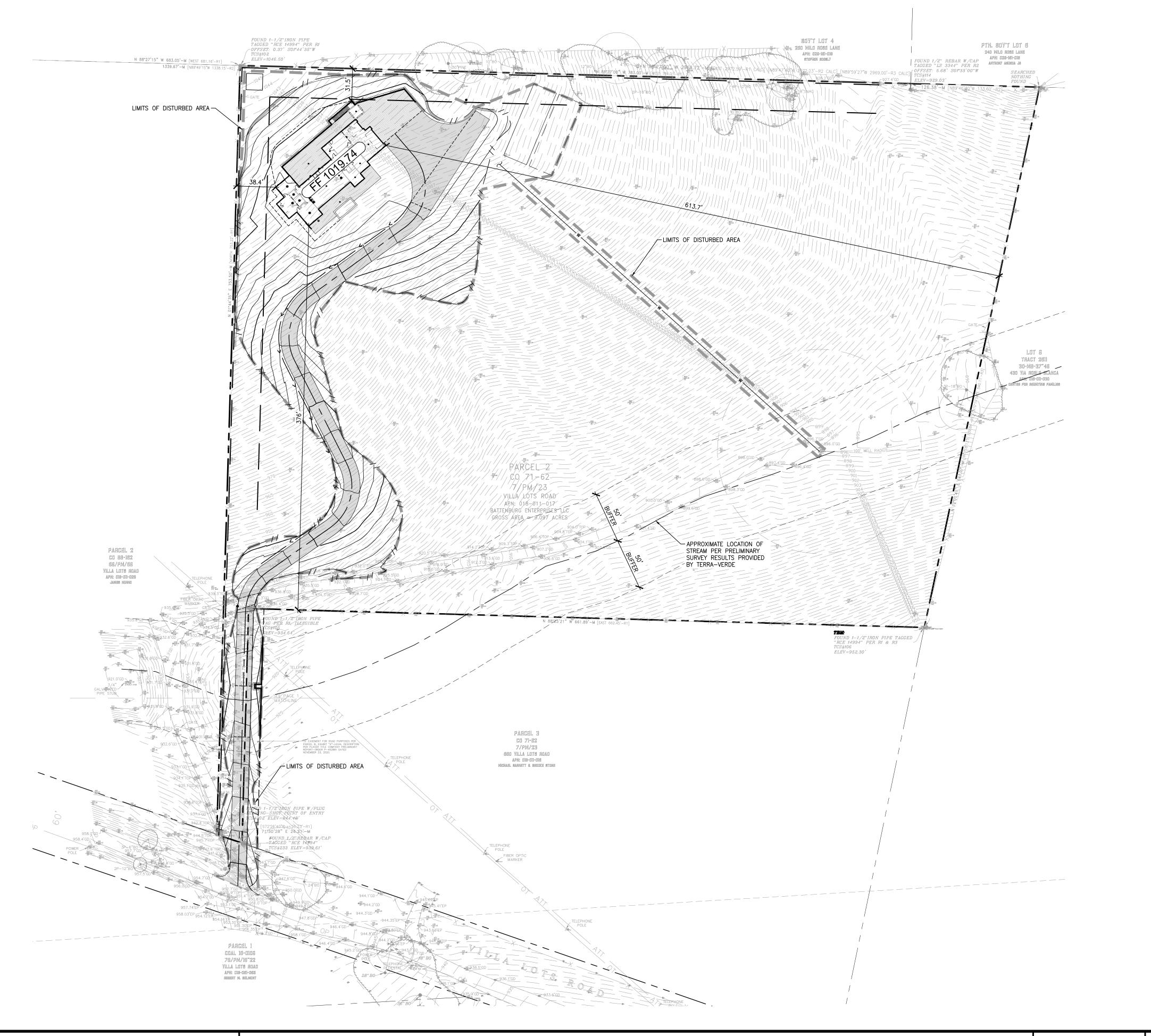
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Battenburg Residence Villa Lots Parcel 2 Paso Robles, CA

ELEVATIONS

-	22-101
Drawn By –	Scale 1/8" = 1'
Reviewed By –	Drawing No.
Date 02-11-2022	A2.1



GENERAL LEGEND

————— EXISTING/PROPOSED CENTERLINE (©)

EXISTING PROPERTY LINE (EX. P.)

PROPOSED PROPERTY LINE (P)

PROPOSED SETBACK LINE

— — — — — EXISTING/PROPOSED EASEMENT

GENERAL SITE NOTES:

A. PROJECT AREAS:

RESIDENTIAL SITE AREA OF DISTURBANCE = 1.0 AC

DRIVEWAY SITE AREA OF DISTURVANCE = 1.1 AC

TOTAL AREA OF DISTURBANCE = 2.1 AC

TOTAL PROPOSED IMPERVIOUS AREA = 0.7 AC TOTAL PROPOSED PERVIOUS AREA = 1.4 AC

O 50' 1

SCALE: 1" = 50'

NOTE: UTILITIES SHOWN W
FROM OBSERVED EVIDENCE

NOTE: UTILITIES SHOWN WERE PLOT FROM OBSERVED EVIDENCE AND PLOBTAINED FROM UTILITY PROVIDERS. LOCATIONS AND QUANTITIES MAY VACONTRACTOR SHALL CALL 811 FOR LOCATING SERVICES PRIOR TO EXCAND USE EXTREME CAUTION WHEN EXPOSING UTILITIES. ANY DAMAGE TEXISTING UTILITIES WILL BE THE SORESPONSIBILITY OF THE CONTRACTOR

RESPONSIBILITY OF THE CONTRACTOR.

Know what's below. Call 811 before you dig.

NO. DATE REVISIONS

A STATE TO THE PREVISIONS

WALSHENGINEERING.NET (805) 319-4948

1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

MIRANDA BATTENBURG

BATTENBURG RESIDENCE

VILLA LOTS PARCEL 2, PASO ROBLES, CA



DESIGNED BY: TW
CHECKED BY: TW
APPROVED BY: MRW
DATE: 03/02/22

OVERALL SITE PLAN

TE C1.0

EXISTING PROPERTY LINE (EX. 凡)
PROPOSED PROPERTY LINE (凡)

PROPOSED PROPERTY LINE (

GUTTER FLOWLINE
PROPOSED CURB AND GUTTER

PROPOSED SLOTTED CURB

PROPOSED RETAINING WALL. HEIGHT PER PLAN.

PROPOSED CONCRETE PAVEMENT/HARDSCAPE

PROPOSED ASPHALT CONCRETE PAVEMENT
PROPOSED GRAVEL

PROPOSED PAVERS

DEEPENED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.

ATTENBURG RESIDENCE

RAISED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.

GRADING LEGEND

TOE OF SLOPE

OVERLAND RELEASE PATH

STORM DRAIN LEGEND:

—50LF12"SD⊕0.5% — STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)

PROPOSED SLOT/TRENCH DRAIN

PROPOSED BIO RETENTION BASIN

ENERGY DISSIPATOR

HEADWALL/ENDWALL

FLARED END SECTION

DROP INLET

MANHOLE

GRADING GENERAL NOTES:

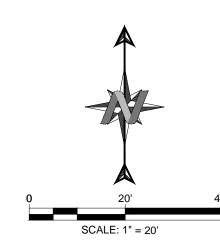
A. ESTIMATED EARTHWORK QUANTITIES:
CUT FILL NET
7,700 CY 6,670 CY 1,030 CY

MAX CUT = 15.9 FT

CLEANOUT

 $\begin{array}{lll} \text{MAX CUT} &=& 15.9 \text{ FT} \\ \text{MAX FILL} &=& 15.0 \text{ FT} \end{array}$

NOTE: THE CUT AND FILL QUANTITIES SHOWN ABOVE ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR SHALL, AFTER EXAMINING THE GRADING PLAN, SOILS REPORT AND TERRAIN, PREPARE HIS/HER ESTIMATE INDEPENDENTLY OF THE ENGINEER'S ESTIMATE.





FROM OBSERVED EVIDENCE AND PLAN
OBTAINED FROM UTILITY PROVIDERS. E
LOCATIONS AND QUANTITIES MAY VARY
CONTRACTOR SHALL CALL 811 FOR U
LOCATING SERVICES PRIOR TO EXCAVA
AND USE EXTREME CAUTION WHEN
EXPOSING UTILITIES. ANY DAMAGE TO
EXISTING UTILITIES WILL BE THE SOLE

Know what's below. Call 811 before you dig.

NO. DATE REVISIONS

A CONTROL OF THE PROPERTY OF THE PROPERTY

MIRANDA BATTENBURG

BATTENBURG RESIDENCE

VILLA LOTS PARCEL 2, PASO ROBLES, CA



DESIGNED BY: TW
CHECKED BY: TW
APPROVED BY: MRW
DATE: 03/02/22

PRELIMINARY
GRADING AND
DRAINAGE
PLAN

C2.0

VILLA LOTS PARCEL 2, PASO ROBLES, CA

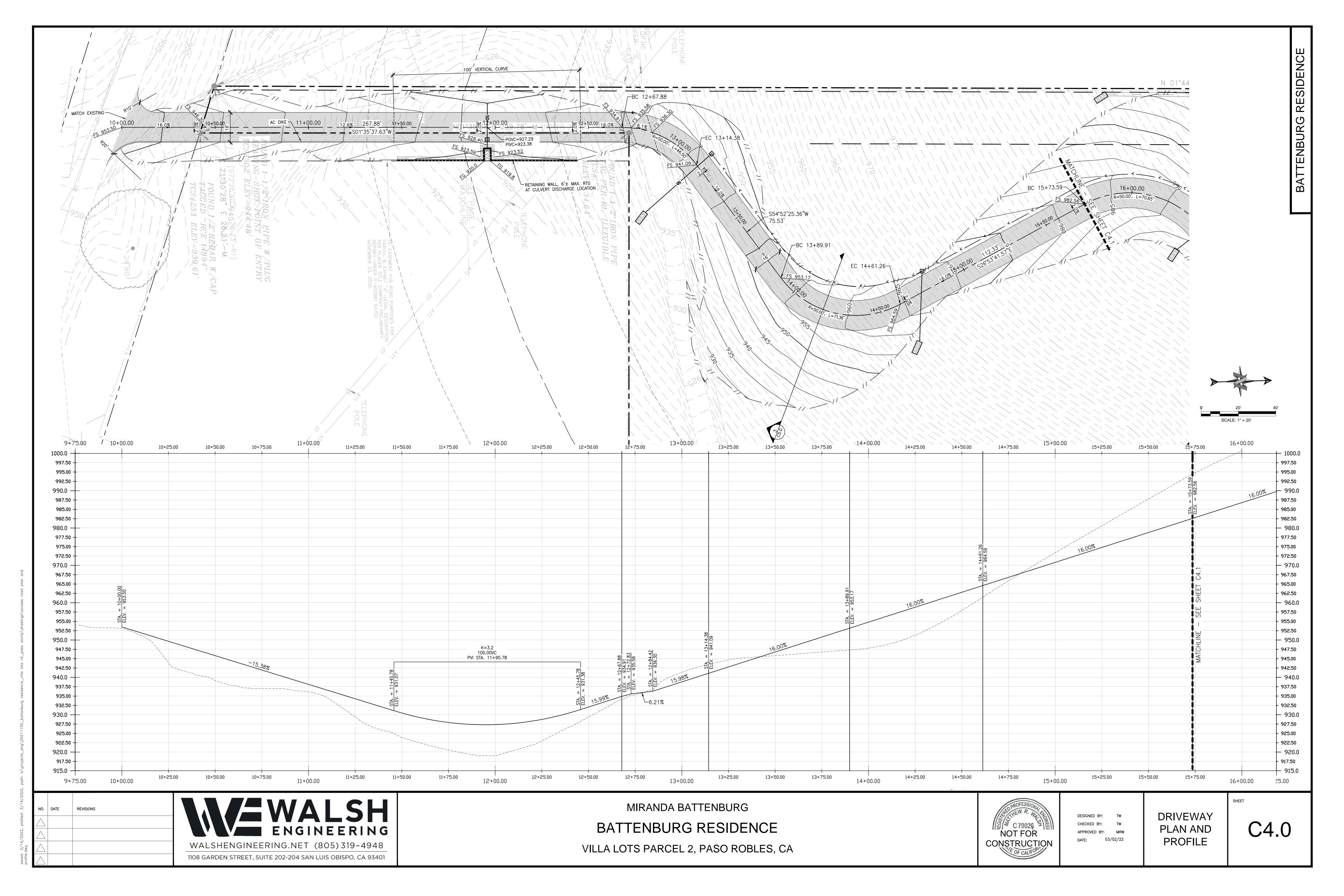
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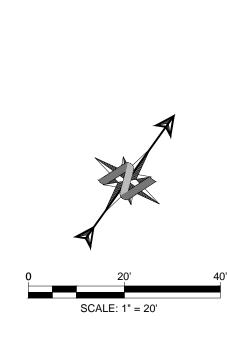
1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

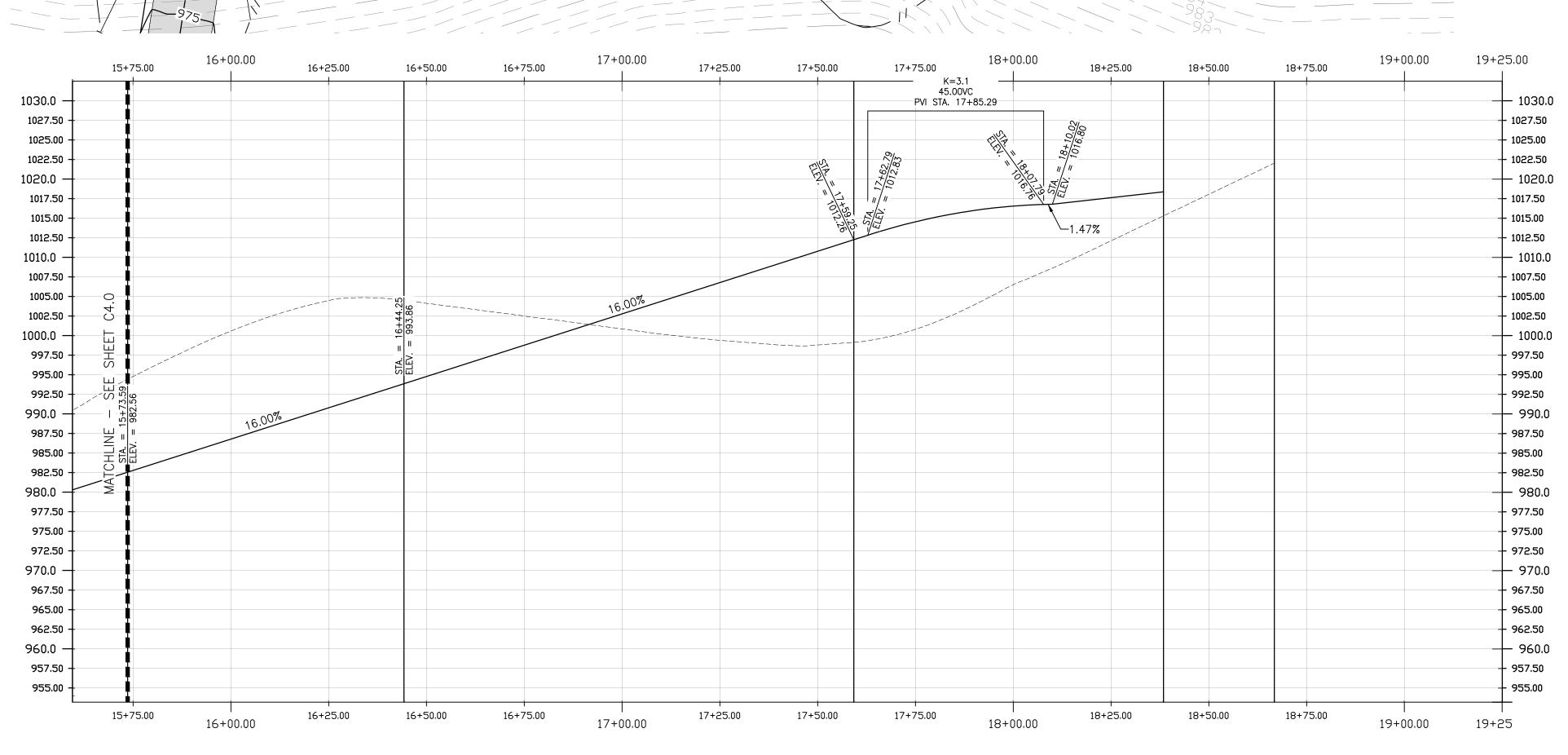
UTILITY PLAN

03/02/22

CONSTRUCTION







NO. DATE 1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

WALSHENGINEERING.NET (805) 319-4948

MIRANDA BATTENBURG

BATTENBURG RESIDENCE

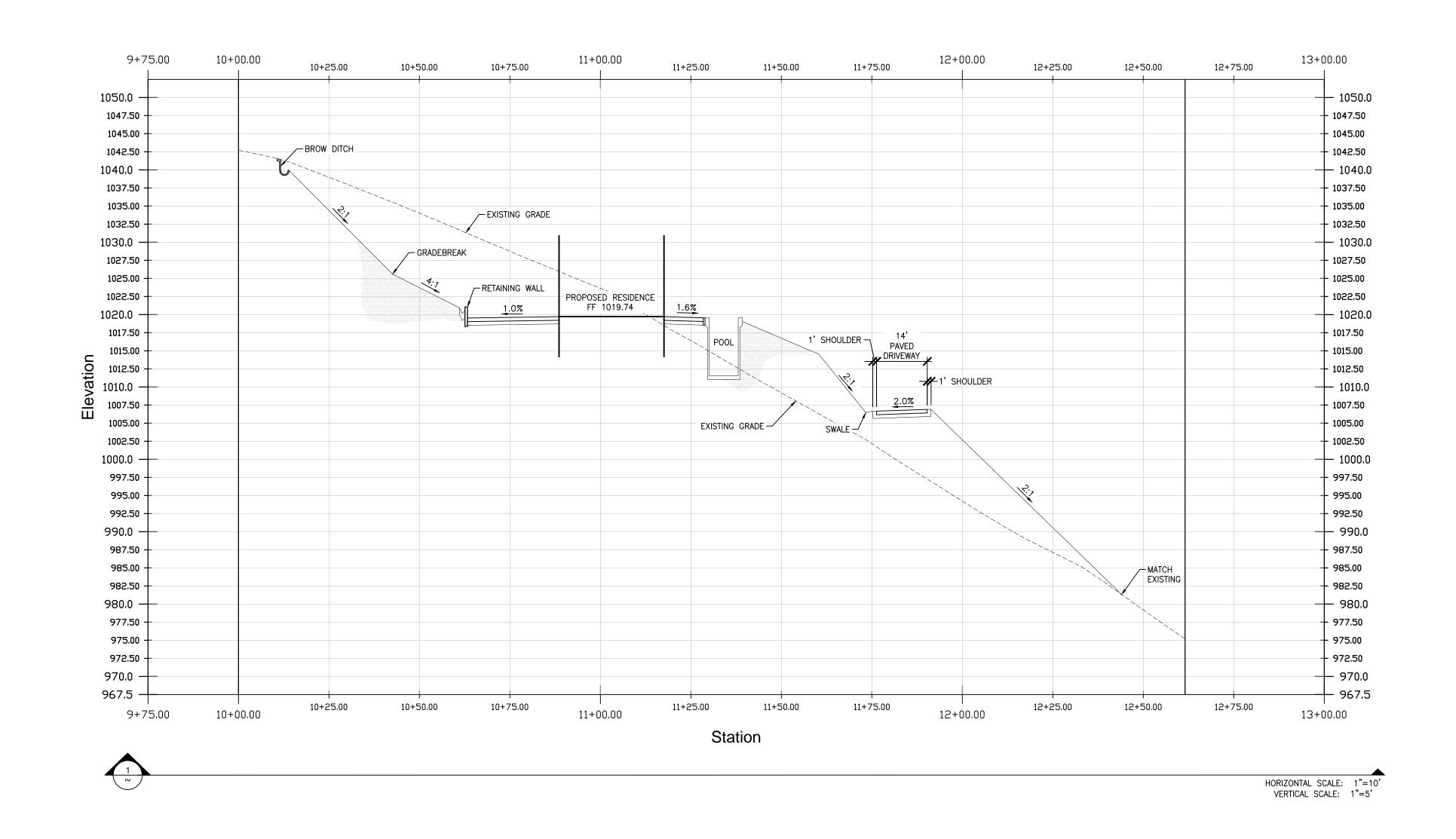
VILLA LOTS PARCEL 2, PASO ROBLES, CA

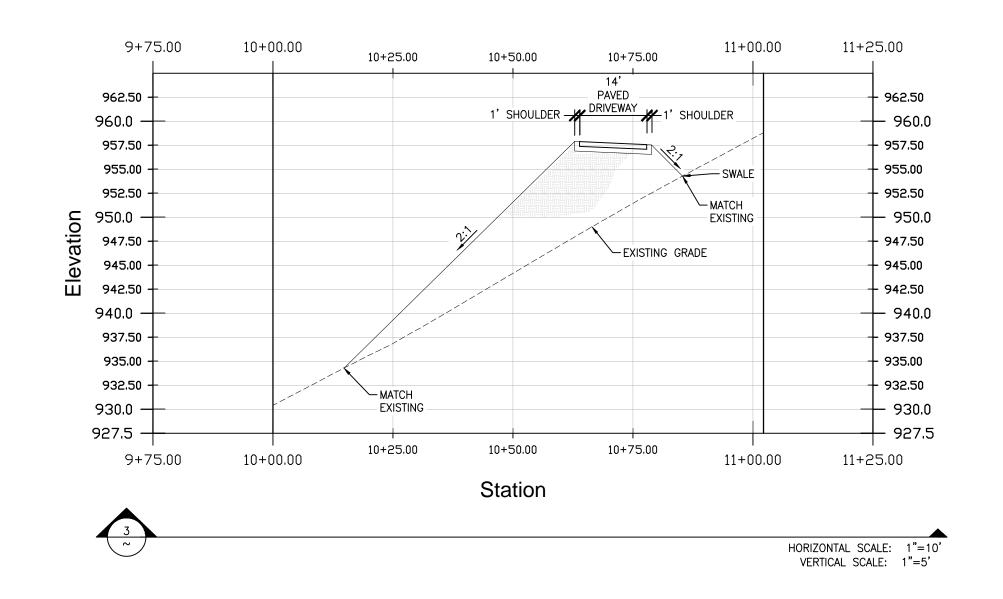


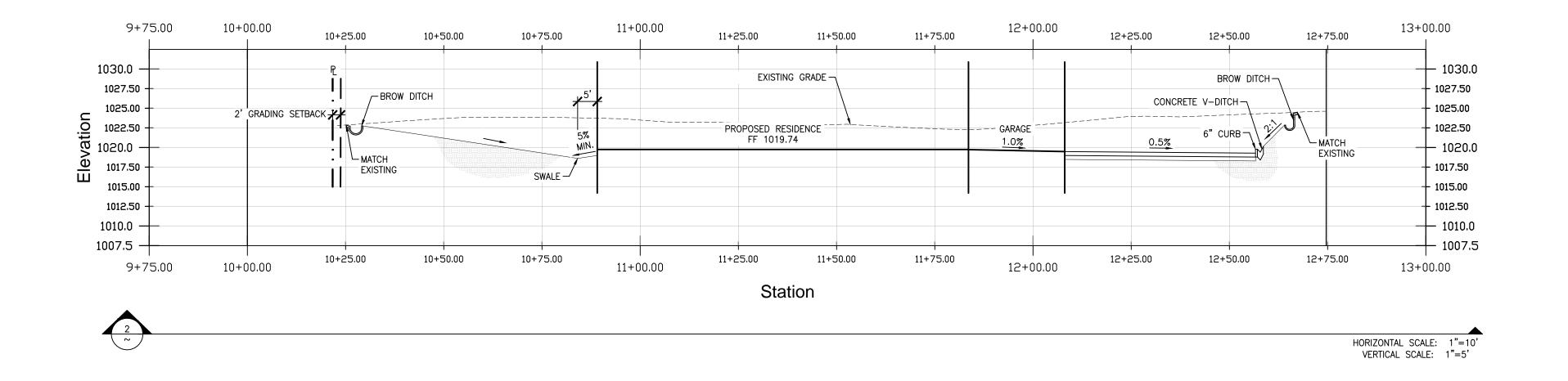
CHECKED BY:

DRIVEWAY PLAN AND PROFILE

C4.1









NO.	DATE	REVISIONS	MALSH
\triangle			ENGINEERING
\triangle			WALSHENGINEERING.NET (805)319-4948
\land			1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

MIRANDA BATTENBURG

BATTENBURG RESIDENCE

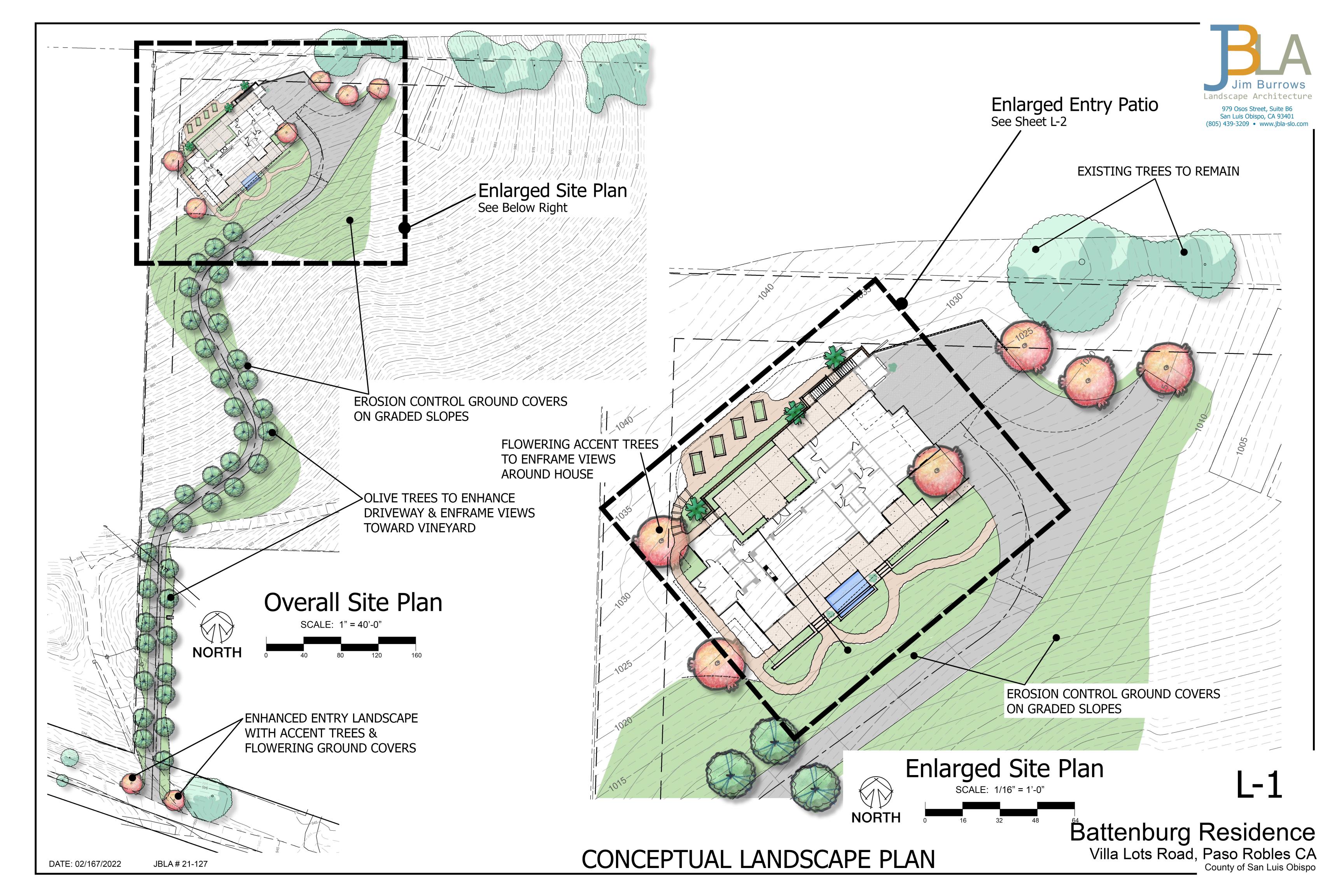
VILLA LOTS PARCEL 2, PASO ROBLES, CA



DESIGNED BY: TW
CHECKED BY: TW
APPROVED BY: MRW
DATE: 03/02/22

SECTIONS

C5.0



Proposed Trees - Design Notes

WATER USE*

CERCIS OCCIDENTALIS WESTERN REDBUD Height: 10-20; Spread: 10-20; low branching, vase-shaped form. Good tree for windy areas. Medium growth rate. Drought tolerant, resists oak root rot, good parking lot tree (root intrusion: low) Deciduous. Flowers: brilliant magenta flowers (spring) Fall color: yellow to red. California native. Biogenic Volatile Organic Compounds emissions (BVOC): Low.

CHITALPA TASHKENTENSIS Height: 25-35'; Spread: 30'; low branching, vase-shaped form. Fast growth (3' per year). Branch strength: medium-weak. Desirable wildlife plant. Deciduous. Flowers: Showy lavender (Spring through Fall).

FICUS CARICA 'MISSION' Height: 30' maximum; Spread: 10-20'; Rounded or vase shape. Fast growth (3' per year or more). Branch strength: Medium. Root intrusion: low. Deciduous. Fruit value: Edible (Summer-Fall). Litter: Wet fruit.

LAGERSTROEMIA 'NACHEZ' NACHEZ HYBRID CRAPE MYRTLE Height: 20-25'; Spread: 15-20'; upright form. Drought tolerant. Moderate growth rate (1-2' per year). Good tree for windy areas. Good parking lot tree (root intrusion: low), high mildew resistance. Branch strength: medium. Deciduous. Flowers: 4" clusters of showy white flowers (summer). Litter issue: dry fruit. Biogenic Volatile Organic Compounds emissions (BVOC): Negligible.

FRUITLESS EUROPEAN OLIVE OLEA EUROPEA 'SWAN HILL' Height: 25-30'; Spread: 25-30'; upright, rounded crown, gray bark becomes gnarled and sculptural with age. Medium-slow growth. Deep green leaves, less 'blue' than fruiting varieties. Very drought tolerant. Evergreen. 'Swan Hill' bears no fruit, has little or no pollen (a benefit to allergy sufferers).

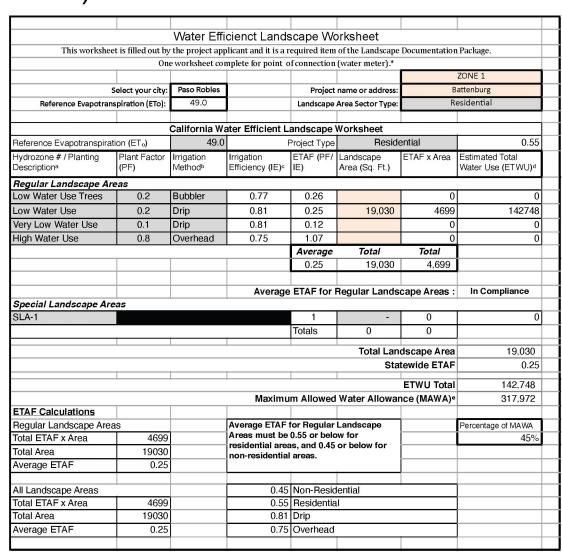
QUERCUS AGRIFOLIA COAST LIVE OAK Height: 20-70'; Spread: 30-80'. Dense, round crown. Slow to moderate growth. Subject to oak root rot, can have aggressive roots (root intrusion: high). Evergreen. Dense foliage. Extremely drought tolerant, California native. Litter issue: dry leaves & acorns

*WATER-USE EVALUATION OF PLANT MATERIALS

WATER USE OF PROPOSED PLANTS HAVE BEEN EVALUATED USING THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION.)

References: https://selectree.calpoly.edu/

Water Efficient Landscape Ordinance (WELO) Worksheet



Existing Tree Protection Notes - County of San Luis Obispo Final plans shall include and implement the existing tree protection measures of the San Luis Obispo County Code, Title 22, Land Use Ordinance (LUO), "Chapter 22.56-TREE PRESERVATION." Tree protection notes to include, but are not limited to:

Existing Tree Protection:

Final planting plan shall contain the location of all existing trees that are eight inches or larger in diameter at four feet above natural grade in or within 50 feet of areas proposed for grading or other construction. Trees proposed to be removed shall be identified. (LUO 22.16.040.D.3[a])

Existing Tree Removal:

No existing tree within the project boundary shall be removed without first obtaining a tree removal permit. (LUO 22.56.020 et. al.)

Installation of Tree Protection Fences

• 4-foot minimum height fence around drip-line of trees to be saved, in place throughout the entire construction phase of the project.

The following will not be allowed within the drip-line of trees or shrubs to be saved:

Parking, storage and/or stockpiling of building materials;

 Parking of vehicles and/or construction equipment; • Dumping or depositing or water, waste or construction materials within 20 feet of

drip-line of trees to be saved;

 Pruning of tree limbs unless approved by the Project Arborist; • Use of herbicide (including pre- and post-emergent) within 20 feet of drip-line of

trees to be saved;

Attachment of anything to trunk or any portion of trees to be saved;

• Grading cuts or fills, and/or trenching of any depth, within the drip-line of trees or shrubs to be saved, unless approved by the Project Arborist;

Additional notes regarding trees or shrubs to be saved:

• During excavation, any roots encountered will be protected and handled to the satisfaction

of the Project Arborist.

• Directional boring within drip-line of trees to be saved must maintain a minimum depth of 5 feet.

MEDIUM HEIGHT SHRUBS











LOW GROUND COVERS



Lavendula Munstead



Penstemon Margarita BOP

Entry Patio and Pool Deck





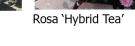


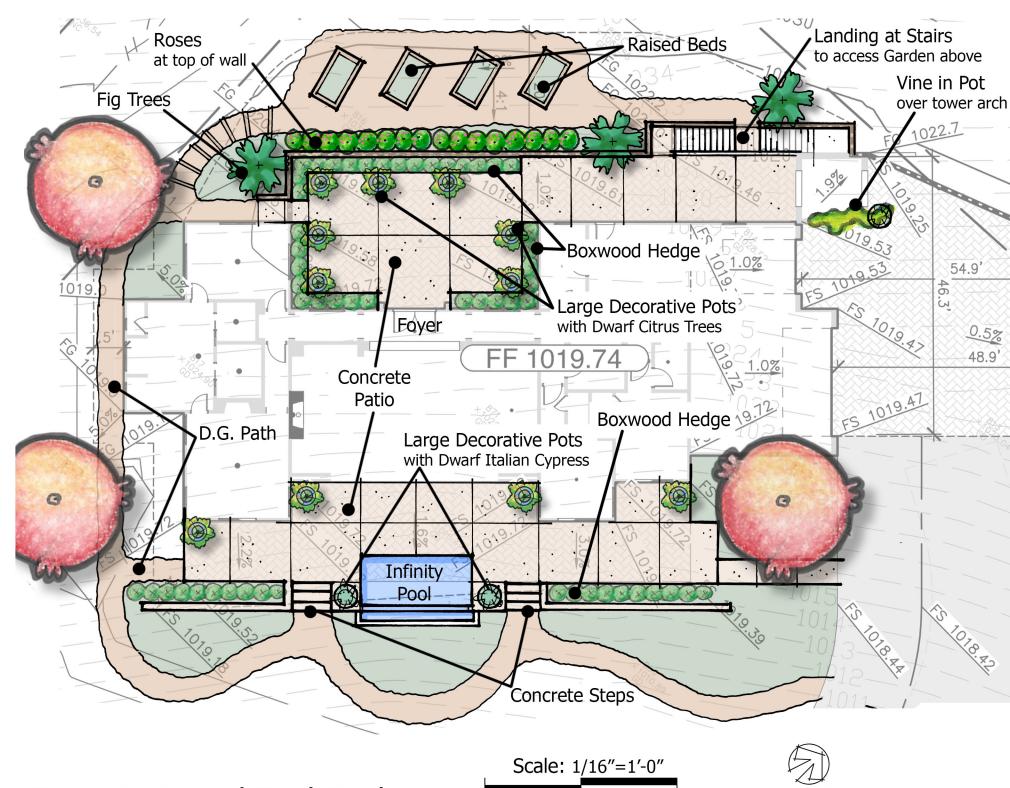












Proposed Plant Materials

EVERGREEN TREES



DECIDUOUS TREES



BOTANICAL NAME / COMMON NAME

Lagerstroemia 'Natchez'

Lagerstroemia 'Natchez

LARGE SCREEN SHRUBS

Ceanothus Concha Heteromeles arbutifolia



San Luis Obispo, CA 93401

(805) 439-3209 • www.jbla-slo.com

*WUCOLS

Plant List – Battenburg Residence (Sunset Zone 7)

ABBREV	SIZE	BOTANICAL NAME / COMMON NAME	RATIN
Evergreen	Trees		
OLE EUR 'SH		OLEA EUROPEA 'SWAN HILL'/EUROPEAN OLIVE (FRUITLESS)	VL
QUE AGR	15G	QUERCUS AGRIFOLIA / COAST LIVE OAK	VL
FIC 'M'	15G	FICUS CARICA 'MISSION' / MISSION FIG	М
Deciduous	Trees		
CER OCC	24"B	CERCIS OCCIDENTALIS / WESTERN REDBUD	L
CHI TAS	15G	CHITALPA TASHKENTENSIS / CHITALPA (MULTI-TRUNK)	L
LAG IND 'N'	24"B	LAGERSTROEMIA INDICA 'NACHEZ / CRAPE MYRTLE (WHITE)	L
Large Scre	en Shruk	OS .	
CEA 'RH'	5G	CEANOTHUS 'RAY HARTMAN' / RAY HARTMAN CALIFORNIA LILAC	L
HET ARB	5G	HETEROMELES ARBUTIFOLIA / TOYON	VL
Accent Sh	rubs		
ROS FLO 'I'	5G	ROSA FLORIBUNDA 'ICEBERG' / ICEBERG ROSE	М
ROS 'HT'	5G	ROSA 'HYBRID TEA' / HYBRID TEA ROSE	М
VINES			
ROS BAN 'L'	5G	ROSA BANKSAEA 'LUTEA' / LADY BANKS ROSE	L
Madium H	oiaht Shr	uho	
Medium He ARC DEN 'HI		ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / MANZANITA	VL
BUX JAP 'GB		BUXUS JAPONICA 'GREEN BEAUTY' / JAPANESE BOXWOOD	M
CAL 'LJ'	, 5G	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLEBRUSH	L
POL DAL	5G	POLYGALA × DALMAISIANA / SWEET PEA SHRUB	ī
. 01 2/12	•	(This is the shrub in the photo in your email of February 3, 2022)	_
ROS OFF 'TE	3' 5G	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / ROSEMARY	L
SAL 'PB'	1G	SALVIA 'POZO BLUE' / GRAY MUSK SAGE	L
Spreading	Frosion-	Control Ground Covers for Slopes	
A 72" OC		CEANOTHUS 'YANKEE POINT' / CARMEL CEANOTHUS	L
B 72" OC			Ĺ
C 72" OC			L
D 36" OC		ZAUSCHNERIA CALIFORNICA 'GHOSTLY RED, / CALIFORNIA FUCHSIA	VL
Low Groun	nd Covers	8	
E 36" OC		LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD LAVENDER	L
F 36" OC	1G	PENSTEMON 'MARGARITA BOP' / MARGARITA BOP PENSTEMON	L
G 24"OC		TEUCRIUM CHAMAEDRYS / GERMANDER	L
H 24"OC	1G	TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE	М
<u>MULCH</u>			
		COVER AND PLANTER AREAS AREAS (EXCEPT WHERE JUTE MESH IS INS	TALLED)
DESIGNATE			

DESIGNATED ON PLAN.

1. 3" MINIMUM LAYER 'WALK-ON' BARK. 2. 3" MINIMUM LAYER COBBLESTONE: NOIYO COBBLE 1-1/2".

JUTE MESH

CONTRACTOR TO INSTALL JUTE MESH ON ALL SLOPES 2:1 OR STEEPER. INSTALL PRIOR TO INSTALLATION

OF BOTOR / SPRAY IRRIGATION OF DRIP TUBING & EMITTERS, AND AFTER TRENCHING & INSTALLATION OF ROTOR / SPRAY IRRIGATION.

VL = VERY LOW WATER USE L = LOW WATER USE M = MEDIUM WATER USE H = HIGH WATER USE G = GALLONS

STD. = STANDARD (SINGLE TRUNK) FORM

*WATER-USE EVALUATION OF PLANT MATERIALS

WATER USE OF PROPOSED PLANTS HAVE BEEN EVALUATED USING THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION.)

Battenburg Residence Villa Lots Road, Paso Robles CA County of San Luis Obispo

PROPOSED PLANT MATERIALS and WELO Worksheet

NORTH