

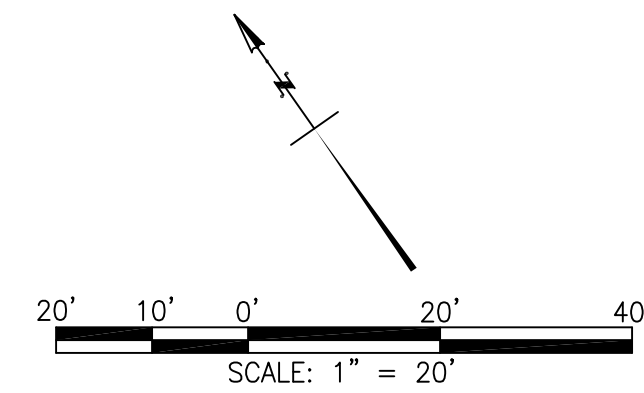
TENTATIVE MAP
1070 BALMORE COURT
MS21-0003
EL SOBRANTE
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

BENCHMARK:

HORIZONTAL DATUM IS BASED UPON AN ASSUMED LOCAL COORDINATE SYSTEM. VERTICAL DATUM IS BASED UPON NGS BENCHMARK #DE8497, A BRASS DISC ATOP A CATCH BASIN LOCATED AT THE NORTHEASTERLY INTERSECTION OF SAN PABLO DAM ROAD AND CASTRO RANCH ROAD. TOP OF DISC ELEVATION TAKEN AS 172.40', NAVD88. TEMPORARY CONTROL POINTS HAVE BEEN ESTABLISHED TO PERPETUATE THE DATUM FOR FUTURE USE.

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED UPON THE MONUMENTED CENTERLINE OF BALMORE COURT AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD IN BOOK 26 OF MAPS AT PAGE 786 OF CONTRA COSTA COUNTY RECORDS. SAID BEARING TAKEN AS NORTH 28°49'10" EAST.



EXISTING LOT:

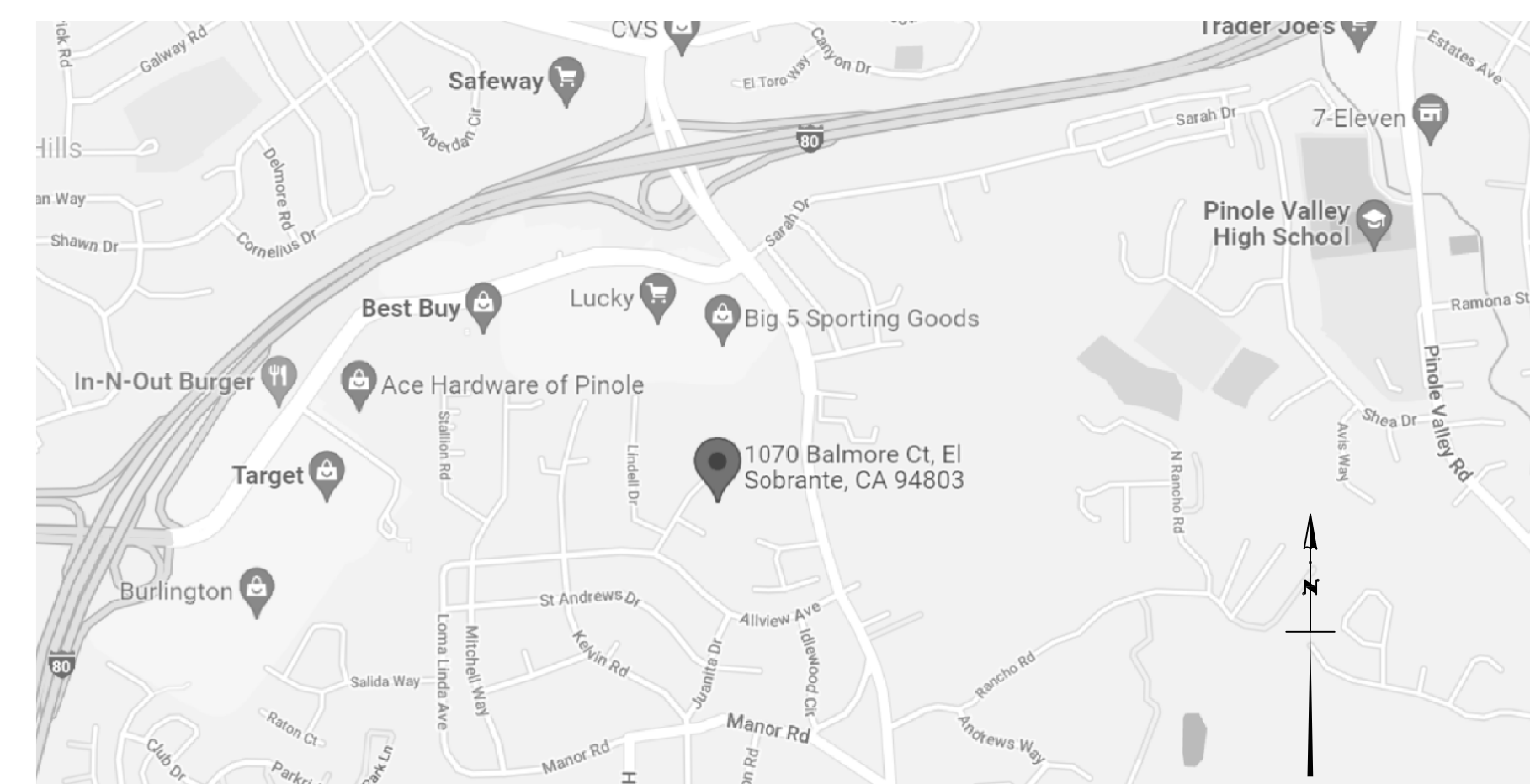
1070 BALMORE COURT
EL SOBRANTE, CA 94803
APN: 426-030-001
43,560 SF±

OWNER:

AGUSTIN & PAULINA CASTRO
1070 BALMORE CT, EL SOBRANTE CA 94803

CIVIL ENGINEER:

SF CIVIL
PATRICK MACDONALD, PE
sfcivil@yahoo.com
510-282-5281
2352 SANTA CLARA AVE
#151 ALAMEDA, CA 94501



VICINITY MAP (NOT TO SCALE)

SHEET INDEX:

CIVIL DRAWINGS	
SHEET NO.	DESCRIPTION
1	TENTATIVE MAP TITLE SHEET
2	PRELIMINARY GRADING & DRAINAGE PLAN
3	PRELIMINARY UTILITY PLAN

GENERAL:

APN: 426-030-001
CONSTRUCTION TYPE: V-B
EXISTING USE: RESIDENTIAL SFD
PROPOSED USE: RESIDENTIAL SFD
EXISTING ZONING: R-7
PROPOSED ZONING: R-7
EXISTING STORIES-RESIDENCE AND GARAGE: NA
PROPOSED STORIES-RESIDENCE AND GARAGE: 2
FIRE SPRINKLERS: NO AT (E) RESIDENCE, WILL BE REQUIRED FOR (N) RESIDENCE

LOT AND BUILDING CALCULATIONS:
(E) LOT SIZE: 43560 SF
(P) LOT SPLIT (N) PARCEL SIZE: 21734
(P) LOT COVERAGE (RESIDENCE): 2200 SF, F.A.R.=10.1%
CONCRETE FLAT WORK: 800 SF, F.A.R.=3.7%

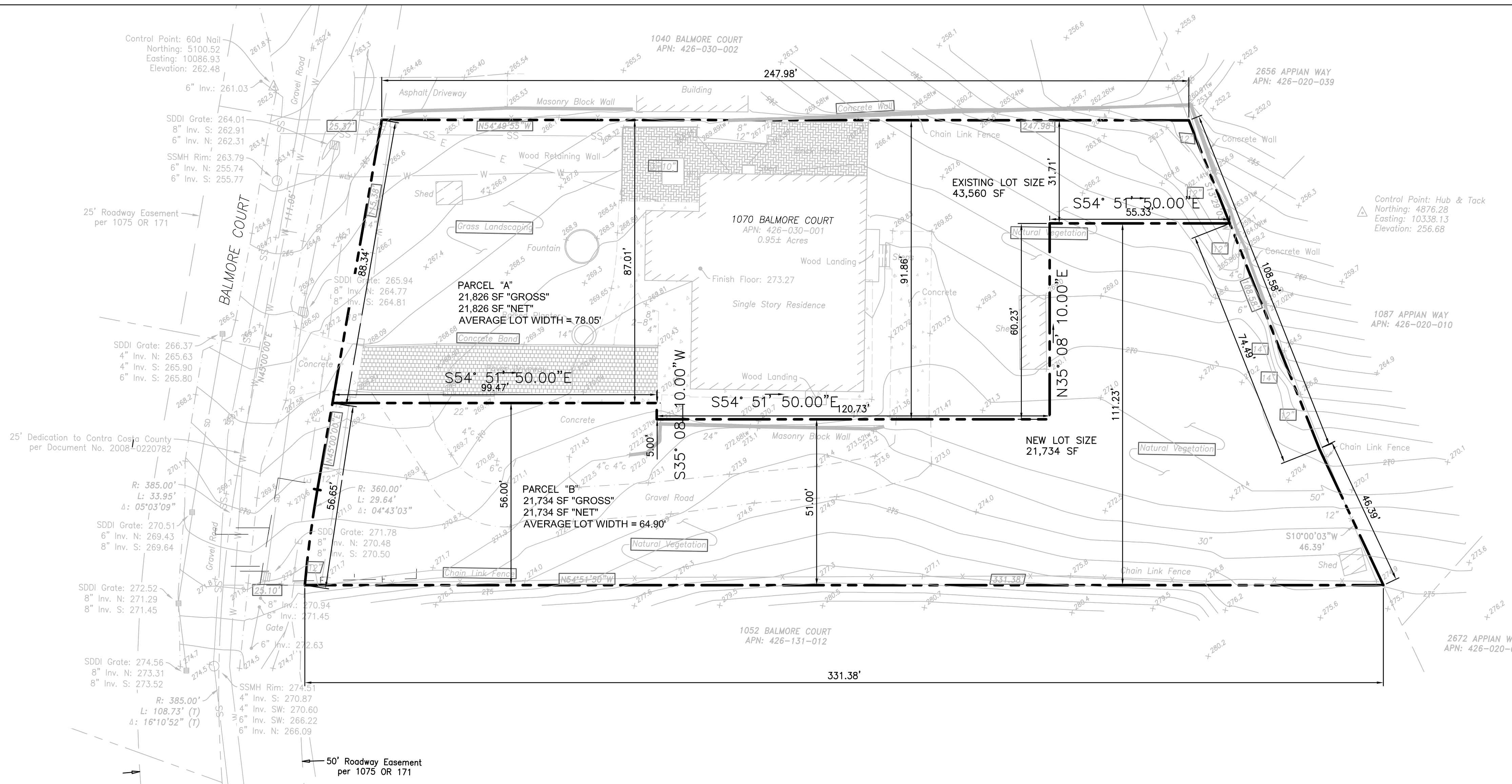
NUMBER OF UNITS: 2 LOTS
DENSITY: 2 UNITS/AC
FEMA: ZONE X PER MAP 06013C0231G EFF. 3/21/2017 AREA OF MINIMAL FLOOD HAZARD

FACILITIES:

WATER: EASTBAY MUNICIPAL UTILITY DISTRICT
SEWER: WEST COUNTY WASTEWATER
STORM DRAIN: CONTRA COSTA COUNTY
FIRE: COCPFD
GAS & ELECTRIC: PG&E
TELEPHONE: AT&T
CABLE: COMCAST

Legend

	Adjoiner Line
	Boundary Line
	Building Line
	Catch Basin
	Gas Meter
	Brick
	Concrete
	Gravel
	Pavers
	Sanitary Sewer Cleanout
	Spot Elevation
	Tree Trunk / Size
	Tree Trunk Cluster
	Water Meter
	Water Valve



1070 BALMORE COURT
MS21-0003
APN: 426-030-001
EL SOBRANTE - CONTRA
COSTA COUNTY - CA

CONSULTANT:
COMPANY NAME: SF CIVIL
CIVIL ENGINEER: PATRICK MACDONALD
2532 SANTA CLARA AVE #151
ALAMEDA, CA 94501
(P) 510-282-5281
(E) sfcivil@yahoo.com

STAMP:
PROFESSIONAL ENGINEER
PATRICK MACDONALD
No. 85555
CIVIL
STATE OF CALIFORNIA
2022-02-22
DATE SIGNED

REVISIONS	
	DATE

SHEET
TENTATIVE MAP
TITLE SHEET

DATE
2022-02-22

C:\Users\Patrick\OneDrive\Documents\1070 Balmore Ct, El Sobrante, CA 94803\1070 Balmore Ct, El Sobrante, CA 94803.dwg
2/2/2022 11:20 AM
P:\Projects\1070 Balmore Ct, El Sobrante, CA 94803\1070 Balmore Ct, El Sobrante, CA 94803.dwg

TENTATIVE MAP
1070 BALMORE COURT
MS21-0003
EL SOBRANTE
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

AREA SUMMARY:

TOTAL LOT AREA:	43,560 SF
EXISTING IMPERVIOUS AREA:	9,440 SF
EXISTING PERVIOUS AREA:	34,120 SF
POST PROJECT IMPERVIOUS AREA:	11,312 SF
POST PROJECT PERVIOUS AREA:	32,248 SF
TOTAL DISTURBED AREA:	5,712 SF

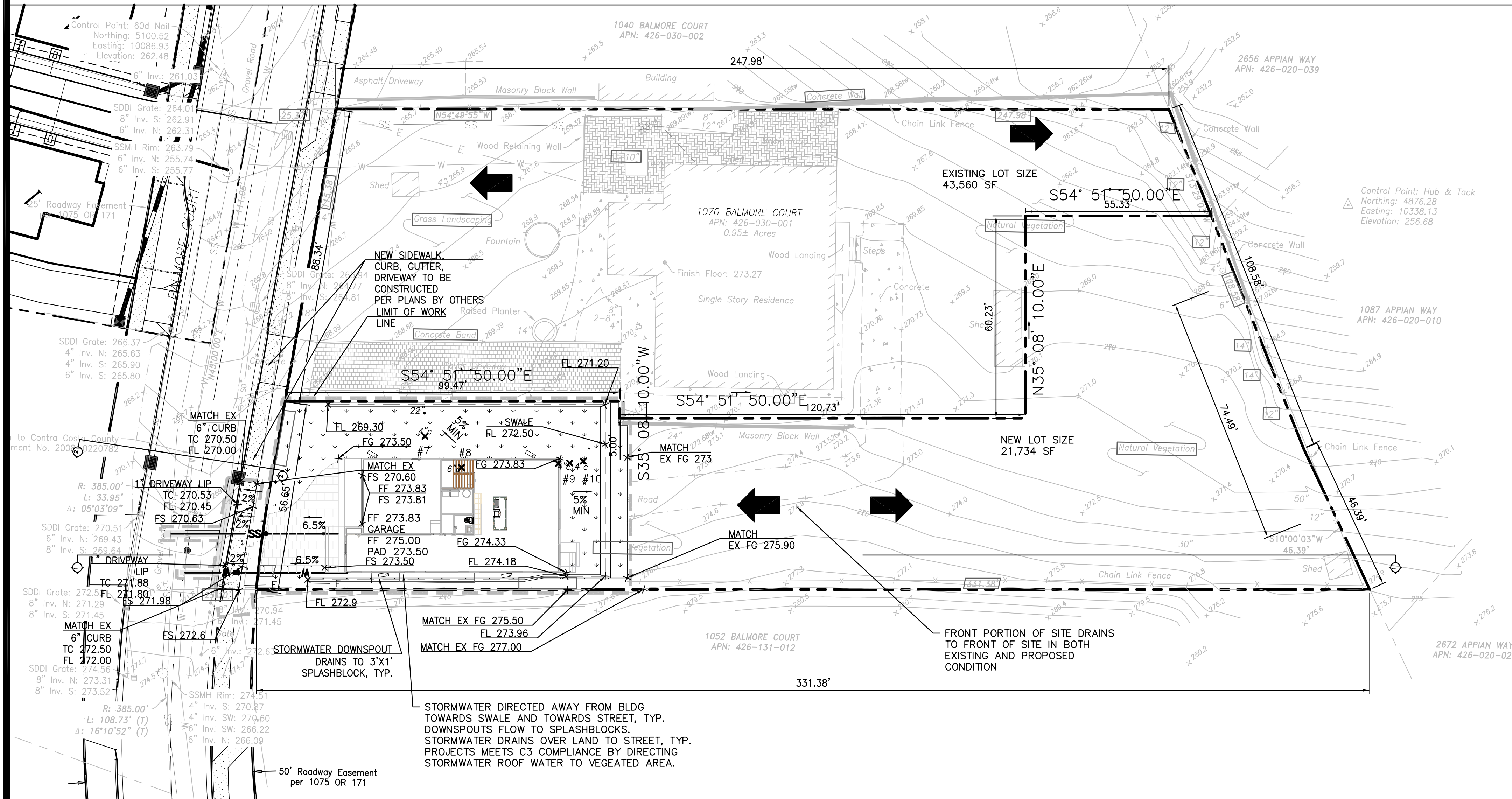
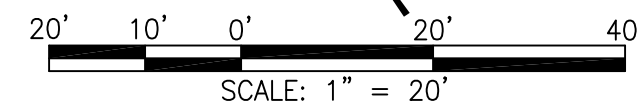
GRADING QUANTITIES

CUT: 20 CU. YDS
FILL: 160 CU. YDS
NET FILL: 140 CU. YDS

NOTE: EARTHWORK NUMBERS ARE APPROXIMATE. EARTHWORK NUMBERS ARE GENERATED BY CREATING A SURFACE USING A CAD PROGRAM FROM THE EXISTING ELEVATION DATA AND COMPARING THE EXISTING SURFACE WITH THE PROPOSED SURFACE.

TREE REMOVAL SUMMARY (4)

TAG#	SPECIES	TRUNK DIA.	STATUS
7	BOTTLEBRUSH (CALLISTEMON CITRINUS)	4"	GOOD
8	BOTTLEBRUSH (CALLISTEMON CITRINUS)	6"	GOOD
9	BOTTLEBRUSH (CALLISTEMON CITRINUS)	4"	GOOD
10	BOTTLEBRUSH (CALLISTEMON CITRINUS)	4"	GOOD



GRADING AND DRAINAGE PLAN NOTES:

- PER 2019 CALIFORNIA BUILDING CODE SECTION 1804.4, THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).
- ALL STEPS AND CURBS SHALL BE IN BETWEEN 4" AND 7".
- NEW SIDEWALK IN PUBLIC RIGHT OF WAY SHALL HAVE A CROSS SLOPE TWO PERCENT OR UNDER.
- CURB, ASPHALT, AND SIDEWALK IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNTY STANDARDS AND SPECIFICATIONS.
- ELEVATION OF LANDSCAPED AREAS ADJACENT TO SIDEWALKS OR WALKWAYS SHALL BE LESS THAN FOUR INCHES DIFFERENCE PER 1116A.1 OF THE CALIFORNIA BUILDING CODE.
- THRESHOLDS, IF PROVIDED AT DOORWAYS SHALL BE HALF INCH HIGH MAXIMUM PER CALIFORNIA BUILDING CODE 11B-404.2.5.
- PROVIDE LEVEL LANDING AT DOORWAYS PER CALIFORNIA BUILDING CODE. DEPTH OF LEVEL LANDING SHALL NOT BE LESS THAN 44" AND MAX SLOPE IN ANY DIRECTION OF LEVEL LANDING SHALL BE TWO PERCENT.

LEGEND:

- OVERALL SURFACE FLOW DIRECTION
- PROPOSED SURFACE FLOW DIRECTION
- 27% SLOPE AND DIRECTION
- (E) EXISTING
- E ELECTRICAL LINE SHOWN FOR REFERENCE ONLY. FINAL ELECTRICAL LAYOUT TO BE SHOWN BY OTHERS
- W WATER PIPE. SEE UTILITY PLAN SHEET 3 OF 3
- SS SEWER PIPE. SEE UTILITY PLAN SHEET 3 OF 3
- SANITARY SEWER CLEANOUT
- METER BOX. TYPICALLY INSTALLED BY UTILITY COMPANIES.
- PROPERTY LINE
- SAWCUT LINE
- SECTION LABEL. SECTION LABEL IS SHOWN IN PLAN VIEW AND CORRESPONDING SECTION DETAIL IS SHOWN ON THIS SHEET.
- SWALE
- DRIVEWAY PAVERS. SEE PLANS BY LANDSCAPE/ARCHITECT FOR PAVES DETAIL.
- ASPHALT PER COUNTY STANDARDS AND SPECIFICATIONS
- CONCRETE SIDEWALK PER COUNTY STANDARDS AND SPECIFICATIONS.
- LANDSCAPE PER LANDSCAPE PLANS.
- LIMIT OF WORK
- X TREE REMOVAL

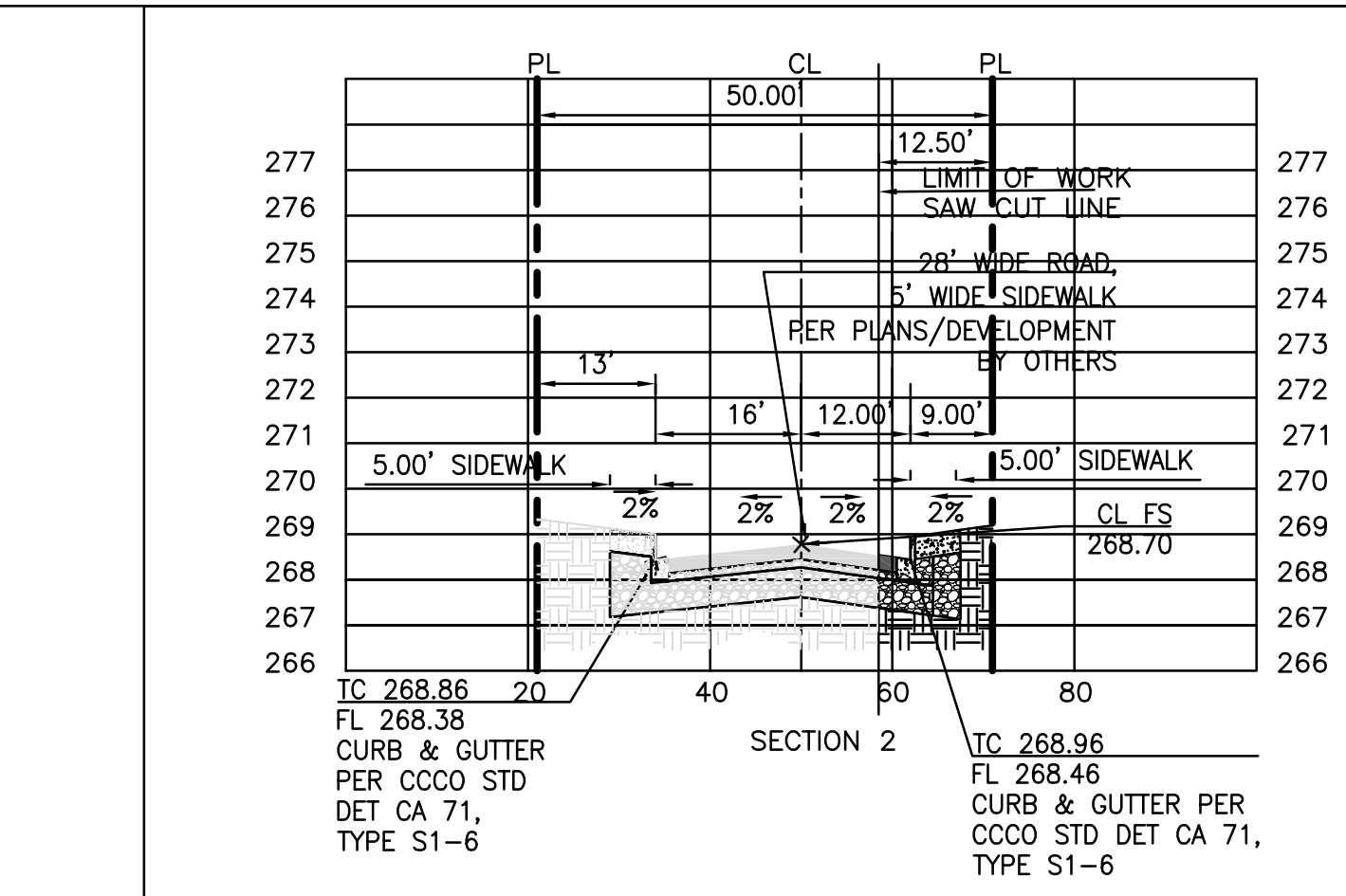
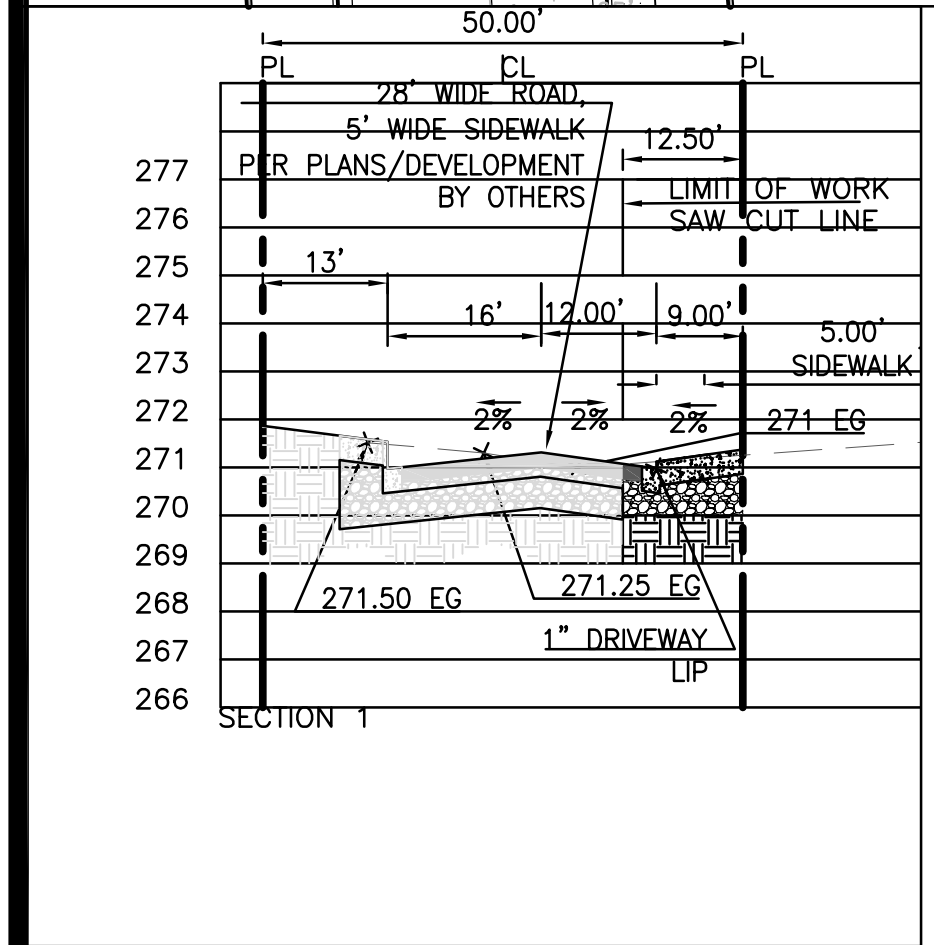
1070 BALMORE COURT
MS21-0003
APN: 426-030-001
EL SOBRANTE - CONTRA COSTA COUNTY - CA

CONSULTANT:
COMPANY NAME: SF CIVIL
CIVIL ENGINEER: PATRICK MACDONALD
2532 SANTA CLARA AVE #151
ALAMEDA, CA 94501
(P) 510-282-5281
(E) sfcivil@yahoo.com

STAMP:

REVISIONS	
NO.	DATE

SHEET
TENTATIVE MAP
PRELIMINARY GRADING &
DRAINAGE PLAN
SHEET 2 OF 3



SECTION 1

SECTION 2

C:\Users\paul\OneDrive\Documents\1070 Balmore\1070 Balmore.dwg - 2/2/2022 11:22 AM - RDR: Patrick Macdonald

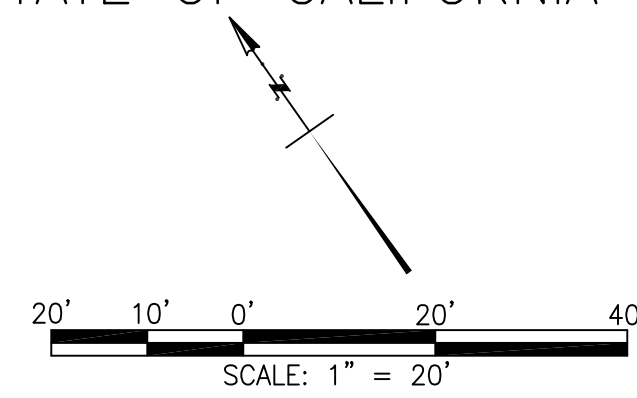
UTILITY NOTES:

1. UTILITY PIPES AND STRUCTURES SHALL BE INSTALLED AT LEAST FIVE FEET FROM THE EDGE OF EXISTING OR PROPOSED TREE BASINS.
2. SEWER PIPE SHALL BE HDPE SDR 21 OR APPROVED EQUAL.
3. UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY UTILITY TRENCH DETAILS.
4. SEE GRADING PLAN FOR STORM DRAINAGE DESIGN.
5. UTILITY CROSSINGS SHOULD HAVE AT LEAST ONE FOOT OF VERTICAL SEPARATION IN BETWEEN THE CROSSING UTILITIES.

HORIZONTAL CONTROL:

1. DIMENSIONS SHOWN ARE TO AID CONTRACTOR IN LAYING OUT THE SITE.
2. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.

TENTATIVE MAP
1070 BALMORE COURT
MS21-0003
EL SOBRANTE
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

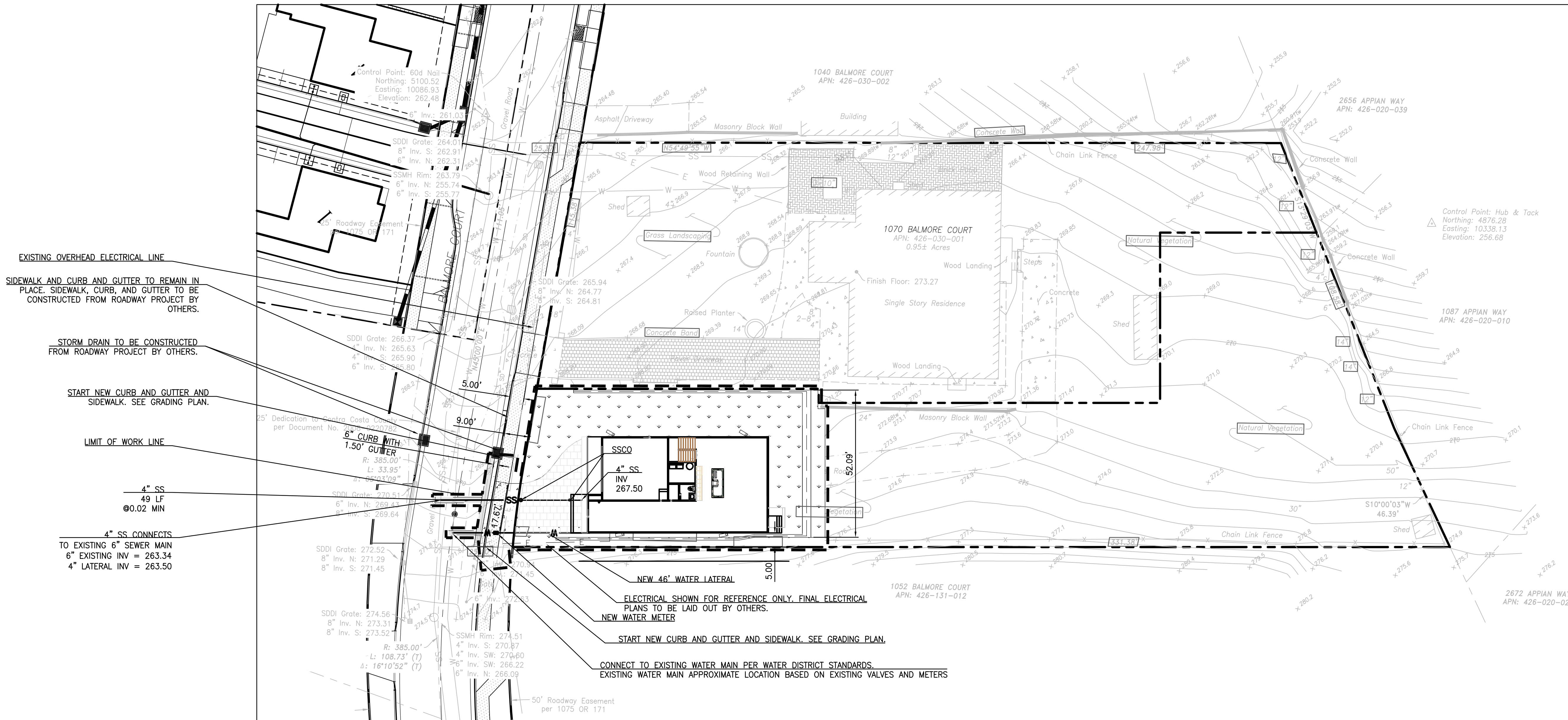


LEGEND:

- E — GAS PIPE SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS.
- W — WATER PIPE
- SS — 4" HDPE SDR 21 SEWER PIPE
- — SANITARY SEWER CLEANOUT
- — METER BOX, TYPICALLY INSTALLED BY UTILITY COMPANIES.
- — PROPERTY LINE

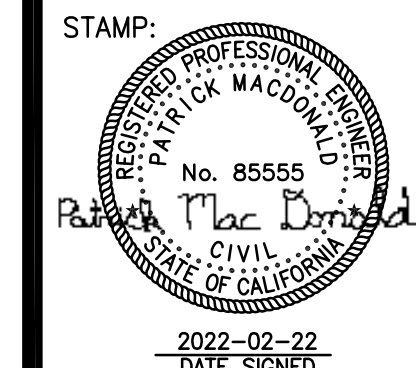
ABBREVIATIONS:

- EG — EXISTING GROUND
- EX — EXISTING
- HDPE — HIGH DENSITY POLY ETHYLENE
- INV — INVERT
- PL — PROPERTY LINE
- SDR — STANDARD DIMENSION RATION
- SSCO — SANITARY SEWER CLEAN OUT



1070 BALMORE COURT
MS21-0003
APN: 426-030-001
EL SOBRANTE - CONTRA
COSTA COUNTY - CA

CONSULTANT:
COMPANY NAME: SF CIVIL
CIVIL ENGINEER: PATRICK MACDONALD
2532 SANTA CLARA AVE #151
ALAMEDA, CA 94501
(P) 510-282-5281
(E) sfcivil@yahoo.com



REVISIONS	DATE

SHEET
TENTATIVE MAP
UTILITY PLAN

C:\Users\Patrick\OneDrive\Documents\1070 Balmore\1070 Balmore.dwg - Utility Plan.dwg 2/2/2022 11:28 AM:SER: Patrick