



May 10, 2023

Project No. RCE-22136-01
Ninyo&Moore Project No: 208829001

TO: Industrial Outdoor Ventures
10 N. Martingale Rd., Suite 560
Schaumburg, IL 60173

ATTENTION: Rob Chase

SUBJECT: Response to City Geotechnical Review for MA22123, Proposed New Warehouse/Retail Facility, Riverside Drive (APN 156-030-016, -017 and -042), City of Jurupa Valley, California

REFERENCE: Soil Exploration Co., Inc., "Preliminary Soil Investigation, Liquefaction Evaluation and Infiltration Tests Report, Proposed Construction Equipment Rental Facility, Riverside Drive (APN 156-030-016, -017 and -042), City of Jurupa Valley, California", Dated September 12, 2019 (Project No. 1826-01).

Rodriguez Consulting and Engineering," Soil Report & Seismic (CBC 2019) Update, Proposed New Warehouse/Retail Facility, Riverside Drive (APN 156-030-016, -017 and -042), City of Jurupa Valley, California", Dated

Introduction/Items Response

As requested, we have prepared the following response to the subject review comments dated April 7, 2023.

Comment No. 1: Rodriguez Consulting and Engineering is new geotechnical consultant of record for the subject site. After reviewing the above referenced report, the updated site plan (dated 5/23/2023), conceptual gradings (See Attachments), all pertinent geology maps for the area (including geologic hazard maps), we have come to the conclusion that the latest proposed development, the existing site condition, the scope of work and geologic hazards are remain the same. Recommendations presented in the previous reports and additional recommendations based on our observations/testing of any site grading and inspection of foundation excavations will be followed during construction. The current grading plans will be reviewed for conformance with the report. Rodriguez consulting and Engineering should review any changes in the project and modify and approve in writing the conclusions and recommendations of this report.

Comment No. 2:

California Building Code (CBC) 2019 Update

2022 CBC – SEISMIC PARAMETERS		
SITE COORDINATES	LATITUDE	LONGITUDE
	34.0193	-117.5459

Mapped Spectral Response Acceleration	$S_s = 1.618$	$S_1 = 0.59$
Site Coefficients (Class “D”)	$F_a = 1.0$	$F_v = 1.7$
Maximum Considered Earthquake (MCE) Spectral Response Acceleration	$S_{MS} = 1.618$	$S_{M1} = 1.00$
Design Spectral Response Acceleration Parameters	$S_{DS} = 1.079$	$S_{D1} = 0.669$
Seismic Design Category	D	
Peak Ground Acceleration (PGA)	0.676g	
Site Amplification factor at PGA (F_{PGA})	1.1	
Site Modified Peak Ground Acceleration (PGA_m)	0.743	

References:

- Earthquake.usgs.gov/research/hazmaps/design
- 2022 California Building Code, California Code of Regulations, Title 24, Part 2, Volume 2 of 2, Section 1613, Earthquake Loads

Liquefaction Analysis/Dynamic Settlement: LiquefyPro

Liquefaction susceptibility using Standard Penetration Test data and laboratory Grain size test results were analyzed using LiquefyPro software (Version 5.5g). A predominant earthquake magnitude of 6.8 (USGS Interactive Deaggregation, 10% probability of exceedance in 50 years) was used. An associated ground acceleration of 0.5g (equivalent to two-thirds of PGAM), and a depth to groundwater of 175 feet below the existing ground surface were used in our liquefaction evaluation. The software output is presented in Appendix B.

The main observations of the results are as follows:

Boring No.	Total settlement (inch)	Differential Settlement (inch)
B-3	0.24	0.122 to 0.161

- Onsite soils at the site in general have a Safety Factor of 5.0 against liquefaction

Comment No. 3: The slopes that descend towards the site is roughly 30 feet high and slope ratio of 2.5:1(from Adkan Engineers). No evidence of significant slope instability and erosion were observed at the time this work was performed.

Comment No. 4: Over-excavation for masonry block walls/retaining walls should be at least one (1) foot below bottom of footings and one (1) foot laterally beyond the walls area (where practical). Rodriguez Consulting and Engineering should observe footing excavation and prior to placement of footing materials.

Comment No. 5: (See Appendix A for References).

Comment No.6:

Infiltration Test/Tabulated Test Results

Test No.	Depth of Test (feet)	Earth Material	Measured Infiltration Rate (in/hr)	Measured Infiltration Rate, inch/hr, K_M *(corrected for test-specific bias)	Design Infiltration Rate, in/hr, $K_{DESIGN} = K_M / S_{TOT}$
I-1	6	Silty Sand (SM)	9.5	4.75	2.38
I-2	6	Silty Sand (SM)	2.3	1.15	0.58

Factor Category		Factor Description	Assigned Weight (w)	Factor Value (v)	Product (p) $p = w \times v$
A	Suitability Assessment	Soil assessment methods	0.25	1	0.25
		Predominant soil texture	0.25	1	0.25
		Site soil variability	0.25	1	0.25
		Depth to groundwater / impervious layer	0.25	1	0.25
		Suitability Assessment Safety Factor, $S_A = \sum p$			
B	Design	Tributary area size	0.25	2	0.5
		Level of pretreatment/ expected sediment loads	0.25	2	0.5
		Redundancy	0.25	2	0.5
		Compaction during construction	0.25	1	0.25
		Design Safety Factor, $S_B = \sum p$			
Combined Safety Factor, $S_{TOT} = S_A \times S_B$				1.75(use 2.0)	

- *A minimum required factor of safety of 2 was applied to the measured infiltration rates.
- Based on the test results, the design infiltration rate obtained from the field is greater than 0.3 inches per hour. Therefore, soils are considered potentially feasible for infiltration.
- The design infiltration rate of 0.58 in/hr. should be used for the infiltration facility.
- The distance between the infiltration facility and the adjacent private property, any building and walls shall be a minimum of 10 feet.

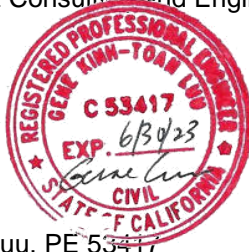
Comment No. 7: The distance of the proposed retaining wall from the bottom of the east side of the infiltration basin is roughly 22 feet. Therefore, the potential for infiltration water to migrate laterally toward the retaining wall is nil.

Comment No. 8: The conceptual grading plans that were submitted to the City were reviewed and the future precise grading plans and foundation plans will be reviewed for conformance with the report. Rodriguez consulting and Engineering should review any changes in the project and modify and approve in writing the conclusions and recommendations of this report.

Closure

We sincerely hope that the above will suffice to expedite the city review process. Should you have any questions or concerns please do not hesitate to call this office.

Very truly yours,
Rodriguez Consulting and Engineering

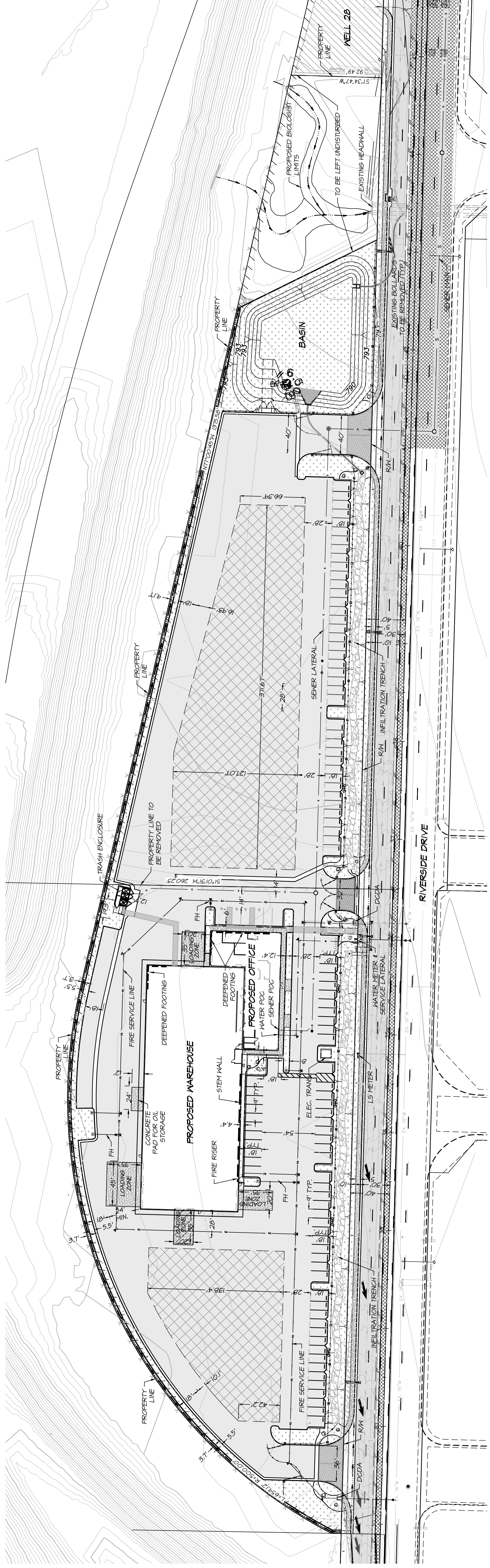


Gene K. Luu, PE 53417
Project Engineer

Distribution: [1] Addressee

Attachments: Figure 1 Site Plan
Figure 2 Conceptual Grading Plans
Appendix A References
Appendix B Liquefaction Analysis

NEW WAREHOUSE/RETAIL FACILITY SITE PLAN PROJECT No. MA22123, SDRP22038



OWNER/APPLICANT ENGINEER

INDUSTRIAL OUTDOOR VENTURES
6878 AIRPORT DRIVE
SCHMIDT, IL 60173
TEL (224) 361-4341
FAX (260) 760-1221

ZONING/LAND USE

I-P
VACANT
COMMERCIAL

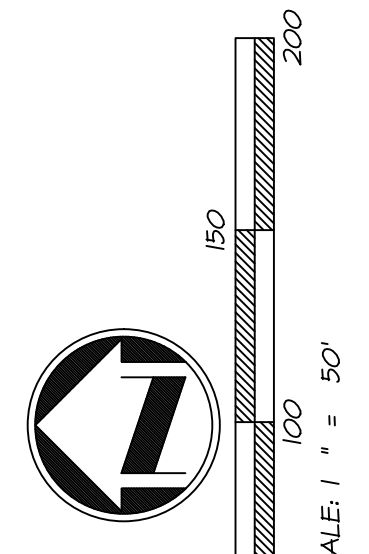
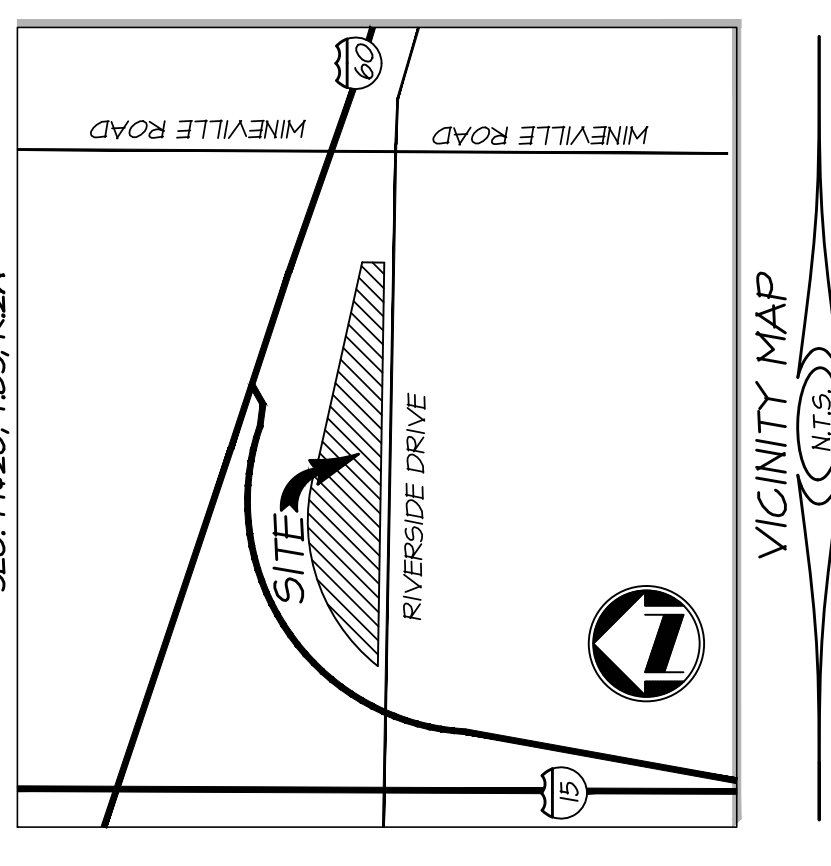
UTILITY PURVEYORS

WATER: JURUPA COMMUNITY SERVICES DISTRICT
SEWER: JURUPA COMMUNITY SERVICES DISTRICT
GAS: SOUTHERN CALIFORNIA GAS COMPANY
ELECTRICITY: SOUTHERN CALIFORNIA Edison
TELEPHONE: VERIZON
CATV: CHARTER COMMUNICATIONS
SCHOOL DISTRICT: CORONA-NORCO UNIFIED SCHOOL DISTRICT

LEGEND

- PROP. PROPOSED
- EX. EXISTING
- TYP. TYPICAL
- LANDSCAPING
- EXISTING TREE TO BE REMOVED
- GRAVEL INFILTRATION TRENCH
- CONCRETE WALKWAY
- CENTERLINE
- C&B
- FLOWLINE
- PROP. GUTTER
- EX. WATER
- EX. STORM DRAIN
- EX. FIRE HYDRANT
- PROPOSED EQUIPMENT DISPLAY

THOMAS BROS. GUIDE PAGE 474,
GRID C-4 2006 EDITION
SEC. 14120, T.8S. R.2N



PLANS DRAWN BY: **adkan ENGINEERS**
Civil Engineering • Surveying • Planning
10000 Valley View Street
Tel: (951) 668-0241, Fax: (951) 668-0339
FOR: Industrial Outdoor Ventures W.O. 9405
DATE: May 23, 2007
Ref. Date: 2/7/2007

LEGAL DESCRIPTIONS

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, AND IS DESCRIBED AS FOLLOWS:
THAT PORTION OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6, THE INTERSECTION OF SAID WEST LINE WITH THE SOUTHEASTERNLY LINE OF THE LAND CONVERTED TO THE STATE OF CALIFORNIA BY DEED RECORDED NOVEMBER 25, 1968 AS INSTRUMENT NO. 19590 OF OFFICIAL RECORDS OF THE STATE OF CALIFORNIA, BY DEED RECORDED OCTOBER 31, 1975 AS INSTRUMENT NO. 142429 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;
THENCE NORTHEASTERLY FROM THE SOUTHEASTERNLY LINE OF SAID LAND CONVERTED TO THE STATE OF CALIFORNIA, BY DEED RECORDED OCTOBER 31, 1975 AND ALONG A NON-TANGENT CURVE TO THE RIGHT 500 FEET, TANGENT BEARING NORTH 28 DEGS. 49 MIN. 40 SEC. EAST, WITH A RADIUS OF 694.02 FEET; THENCE SOUTH 71 DEGS. 58' 00" EAST, ALONG THE SOUTHEASTERNLY LINE OF SAID LAND CONVERTED TO THE STATE OF CALIFORNIA, BY DEED RECORDED OCTOBER 31, 1975 A DISTANCE OF 104.91 FEET TO THE EASTERNLY LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6;
THENCE EASTERNLY ALONG THE EASTERNLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6, A DISTANCE OF 240.25 FEET, BEING 40 FEET NORTHEASTERLY CORNER THEREOF;
THENCE WESTERLY AND PARALLEL WITH THE SOUTHERLY LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6, A DISTANCE OF 655.50 FEET TO THE POINT OF BEGINNING.

SITE STATISTICS

PROJECT AREA: 6.83 ACRES
DISTURBED AREA: 6.71 ACRES

ASSESSORS PARCEL NUMBERS

156-030-016, 017, 042

NEW LIGHT INDUSTRIAL BUILDING/RETAIL FACILITY
CONCEPTUAL GRADING PLANS
CASE NO. MA22123, SDP22038

GENERAL NOTES

- 1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY DOES NOT AUTHORIZE THE SUBDIVIDER AND/OR OWNER TO VIOLATE ANY FEDERAL, STATE, COUNTY, OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
3. ALL GRADING SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING CODE CHAPTER 17, 18, & APPENDIX J AS AMENDED BY ORDINANCE 451 AND CITY OF JURUPA VALLEY MUNICIPAL CODE (TITLE 8).
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8711 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF JURUPA VALLEY MUST BE NOTIFIED, IN WRITING, AT LEAST THREE (3) DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
5. ALL PROPERTY CORNERS, GRADING BOUNDARIES AND ALL CONSERVATION AREAS/LEAST SENSITIVE AREA (LSA) DETERMINED BY THE ENVIRONMENTAL PROGRAMS DEPARTMENT (EPD) SHALL BE CLEARLY DELINEATED AND STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
6. ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND A SEPARATE REVIEW-APPROVAL (PERMIT) FROM THE TRANSPORTATION DEPARTMENT.
7. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION PREPARED BY SOILS EXPLORATION INC. DATED SEPTEMBER 12, 2019 AND SOILS REPORT & SEISMIC (CBC 2019) UPDATE BY RODRIGUEZ CONSULTING AND ENGINEERING DATED AUGUST 24, 2022.
8. COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5.2. PROJECTS WITHOUT A PRELIMINARY SOILS REPORT SHALL INCLUDE DETAILED SPECIFICATIONS IN ACCORDANCE WITH SECTIONS 1803.2 AND 1803.5 PREPARED BY THE ENGINEER OF RECORD.
9. THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
10. PER SECTION 4216 OF THE GOVERNMENT CODE, THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, TWO (2) DAYS PRIOR TO DIGGING AT 1-800-422-4133.
11. PRIOR TO TRAINING, A MEETING SHALL BE SCHEDULED WITH A RIVERSIDE COUNTY ENVIRONMENTAL COMPLIANCE INSPECTOR PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CUT/FILL

- 1. MAXIMUM CUT AND FILL SLOPE SHALL BE 2:1, HORIZONTAL TO VERTICAL.
2. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHALL BE PLACED IN THIN LIFTS (8-INCH MAX) OR AS RECOMMENDED IN THE SOILS REPORT AND TESTED THROUGHOUT THE GRADING PROCESS UNTIL FINAL GRADES ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5:1, HORIZONTAL TO VERTICAL, AND A HEIGHT GREATER THAN FIVE (5) FEET SHALL BE KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE TEN (10) FEET WIDE MINIMUM.
3. THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER THIRTY (30) FEET IN VERTICAL HEIGHT, OR CUT SLOPES STEEPER THAN 2:1 HAVE BEEN VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5.
4. NO ROCK OR SIMILAR MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE (12) INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN TEN (10) FEET TO THE FINISHED GRADE.

COMPLETION OF WORK NOTES

- 1. FOR ROUGH GRADING PLANS, A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING REPORT AND IT SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY FOR REVIEW AND APPROVAL. THE REPORT SHALL INCLUDE BUILDING FOUNDATION DESIGN PARAMETERS, EXPANSION INDEX, DESIGN ALTERNATIVES (IF IE > 20), WATER SOLUBLE SULFATE CONTENT, CORROSIVITY AND REMEDIAL MEASURE IF NECESSARY.
2. FOR ROUGH GRADING PLANS, EXCEPT FOR NON-TRACT SINGLE RESIDENTIAL ROUGH GRADING, THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATIONS LISTED ON TABLE 1105.6 OF 2014 CALIFORNIA BUILDING CODE.
3. FOR ROUGH GRADING, IN ADDITION TO OBTAINING ALL REQUIRED INSPECTIONS AND APPROVAL OF ALL FINAL REPORTS, ALL SITES PERMITTED FOR ROUGH GRADE ONLY SHALL PROVIDE VEGETATIVE COVERAGE (100%) OR OTHER MEANS OF SITE STABILIZATION APPROVED BY ENVIRONMENTAL COMPLIANCE DIVISION, PRIOR TO RECEIVING A ROUGH GRADE PERMIT FINAL SIGNATURE.
4. FOR PRECISE GRADING, A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT A WRITTEN CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO THE REQUEST OF PRECISE GRADING INSPECTION.

DRAINAGE, EROSION/DUST CONTROL

- 1. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
2. THE CONTRACTOR SHALL PROVIDE A PAVED SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN FORTY (40) FEET TOWARDS THE CUT SLOPE.
3. THE CONTRACTOR SHALL PROVIDE FIVE (5) FEET WIDE BY ONE (1) FOOT HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1, HORIZONTAL TO VERTICAL.
4. THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 1:12 HORIZONTAL TO 15% VERTICAL. A MINIMUM DISTANCE OF TEN (10) FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
5. NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
6. DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT FLOODING WATER AND DRAINAGE TO ADJACENT PROPERTIES.
7. DUST CONTROL SHALL BE CONTROLLED BY OTHER APPROVED METHODS.
8. CONSTRUCTION SITES SUBJECT TO PM10 FUGITIVE DUST MITIGATION SHALL COMPLY WITH AQMD RULE 403.1.
9. ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
10. FOR ALL SLOPES EQUAL TO OR GREATER THAN THREE (3) FEET IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT-TOLERANT GROUND COVER AT A MINIMUM SPACING OF 12' ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT AND DROUGHT-TOLERANT SHRUBS SPACED AT NO MORE THAN 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER G.P.C. CHAPTER 6. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SLOPE PLANTING SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING PRECISE GRADE INSPECTION.

LEGAL DESCRIPTIONS

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 (A.P.N. 156-030-042)

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF JURUPA VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, SAID CORNER BEING THE INTERSECTION OF THE CENTERLINE OF RIVERSIDE DRIVE (40.00 FEET IN HALF WIDTH) WITH THE CENTERLINE OF WINEVILLE ROAD (30.00 FEET IN HALF WIDTH); THENCE NORTH 88° 24' 44" WEST ALONG SAID CENTERLINE OF RIVERSIDE DRIVE, A DISTANCE OF 488.00 FEET; THENCE NORTH 01° 35' 16" EAST, AT A RIGHT ANGLE, A DISTANCE OF 40.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID RIVERSIDE DRIVE AS GRANTED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED JUNE 20, 1954...

PARCEL 2 (A.P.N. 156-030-016; A.P.N. 156-030-017)

THAT PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF JURUPA VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 6, DISTANT SOUTH 00° 04' 25" EAST, 203.46 FEET FROM THE INTERSECTION OF SAID WEST LINE WITH THE SOUTHEASTERLY LINE OF THE LAND CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED NOVEMBER 25, 1968 AS INSTRUMENT NO. 11390, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, BEING A POINT ON THE SOUTHEASTERLY LINE OF THE LAND CONVEYED TO THE STATE OF CALIFORNIA, BY DEED RECORDED OCTOBER 31, 1973 AS INSTRUMENT NO. 142429, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA...

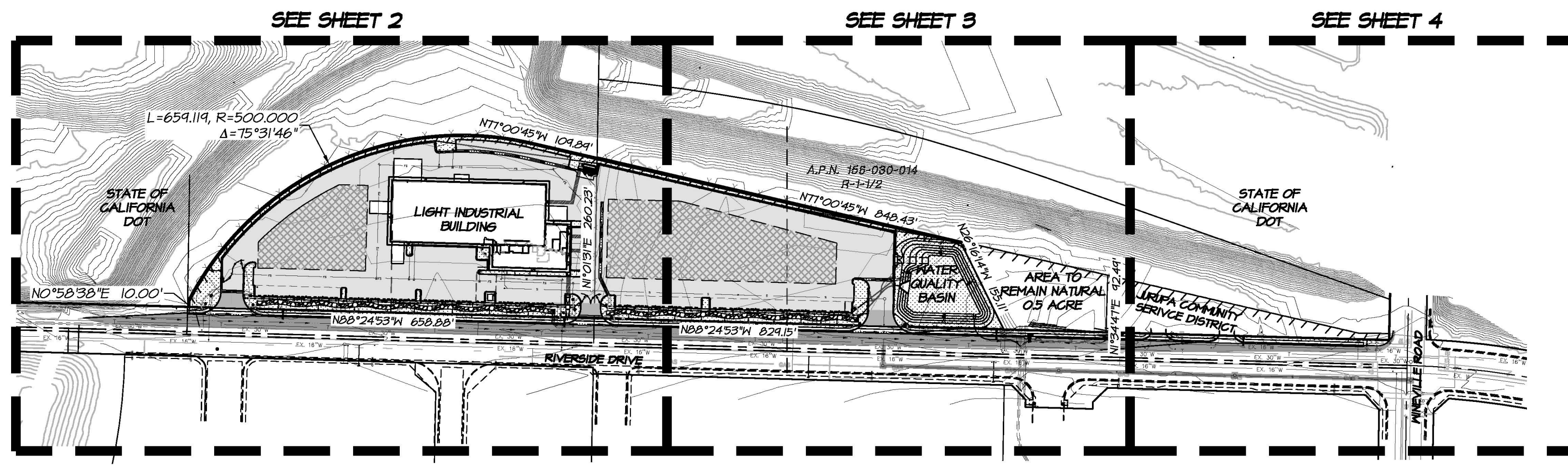
NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE. Underground Service Alert Call: TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG

IMPORTANT NOTE: THE GRADING AND/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO (2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS FOR CITY ENGINEER APPROVAL, UPDATED PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES, AND POLICIES.

Table with columns: MARK, DATE, INITIAL, DESCRIPTION, REVISION, REC., APPR., DATE.

PLANS PREPARED BY: adkan ENGINEERS Civil Engineering - Surveying - Planning 6504 Airport Blvd., Riverside, CA 92504 Tel: (951) 688-0241 Fax: (951) 688-0599

CITY OF JURUPA VALLEY CONCEPTUAL GRADING PLANS RIVERSIDE DRIVE & WINEVILLE ROAD NEW LIGHT INDUSTRIAL BUILDING/RETAIL FACILITY TITLE SHEET ACCT. NO. SHEET 1 OF 4 CITY I. D. NO. PLOT TIME: 5/9/2023 9:13 AM



LEGEND: AC ASPHALT CONCRETE, AP ANGLE POINT, BW BACK OF WALL, CB CATCH BASIN, CF CURB FACE, C4/G CURB & GUTTER, EG EXISTING GRADE, F6 FINISHED GRADE, FL FLOWLINE, FS FINISHED SURFACE, GB GRADE BREAK, HP HIGH POINT, LS LANDSCAPE, INV INVERT, O.C. OFF CENTER, PRO.P. PROPOSED, R/W RIGHT OF WAY, SD STORM DRAIN, TB TOP OF AC BERM, TC TOP OF CURB, TF TOP OF FOOTING, TG TOP OF GRADE, TW TOP OF WALL, TYP TYPICAL. CONSTRUCTION NOTES & QUANTITIES: THE QUANTITIES SHOWN BELOW ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR IS TO CONSTRUCT PROJECT PER THESE PLANS AND SUBMIT BID BASED ON THEIR OWN QUANTITY "TAKE-OFF."

OWNER/APPLICANT: INDUSTRIAL OUTDOOR VENTURES ATTN: ROB CHASE, 10 N. MARTINSALE ROAD #560 SCHAINBURG, IL 60173. ENGINEER: adkan ENGINEERS, 6874 AIRPORT DRIVE, RIVERSIDE, CA 92504. ZONING/LAND USE: EXISTING ZONING: I-P, PROPOSED ZONING: I-P, EXISTING LANDUSE: VACANT, PROPOSED LANDUSE: LIGHT INDUSTRIAL BUILDING. SITE STATISTICS: PROJECT AREA: 6.88 ACRES, DISTURBED AREA: 6.71 ACRES. ASSESSORS PARCEL NUMBERS: 156-030-016, 017, 042. FEMA FLOODZONE DESIGNATION: ZONE X. UTILITY PURVEYORS: WATER: JURUPA COMMUNITY SERVICES DISTRICT, SEWER: JURUPA COMMUNITY SERVICES DISTRICT, GAS: SOUTHERN CALIFORNIA GAS COMPANY, ELECTRICITY: SOUTHERN CALIFORNIA EDISON, TELEPHONE: CHARTER COMMUNICATIONS, CATV: CORONA-NORCO UNIFIED SCHOOL DISTRICT. EARTHWORK QUANTITIES: CUT: 8,240 CY, FILL: 6,228 CY, IMPORT/EXPORT: 2,062 CY EXPORT. BASIS OF BEARING: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF RIVERSIDE AVE, N89°14M PER PM NO. 35125, P.M.B 234/21-23. SOILS ENGINEER: SOILS EXPLORATION COMPANY, INC., 7535 JURUPA AVE., UNIT C, RIVERSIDE, CA, 92504. NOTE: 1. NEW UTILITIES TO BE LOCATED UNDERGROUND, 2. WALLS TO BE TREATED WITH ANTI-GRAFFITI COATING, 3. ALL RIGHT OF WAY NORTH OF THE SITE IS CALTRANS RIGHT OF WAY, 4. ABUTTER'S RIGHTS RESTRICTIONS ALONG THE REAR PROPERTY LINE ARE PER RECORDING NUMBERS: 113980, 113981, 90240, & 142429. SHEET INDEX: SHEET 1 TITLE SHEET, SHEETS 2-4 CONCEPTUAL GRADING.

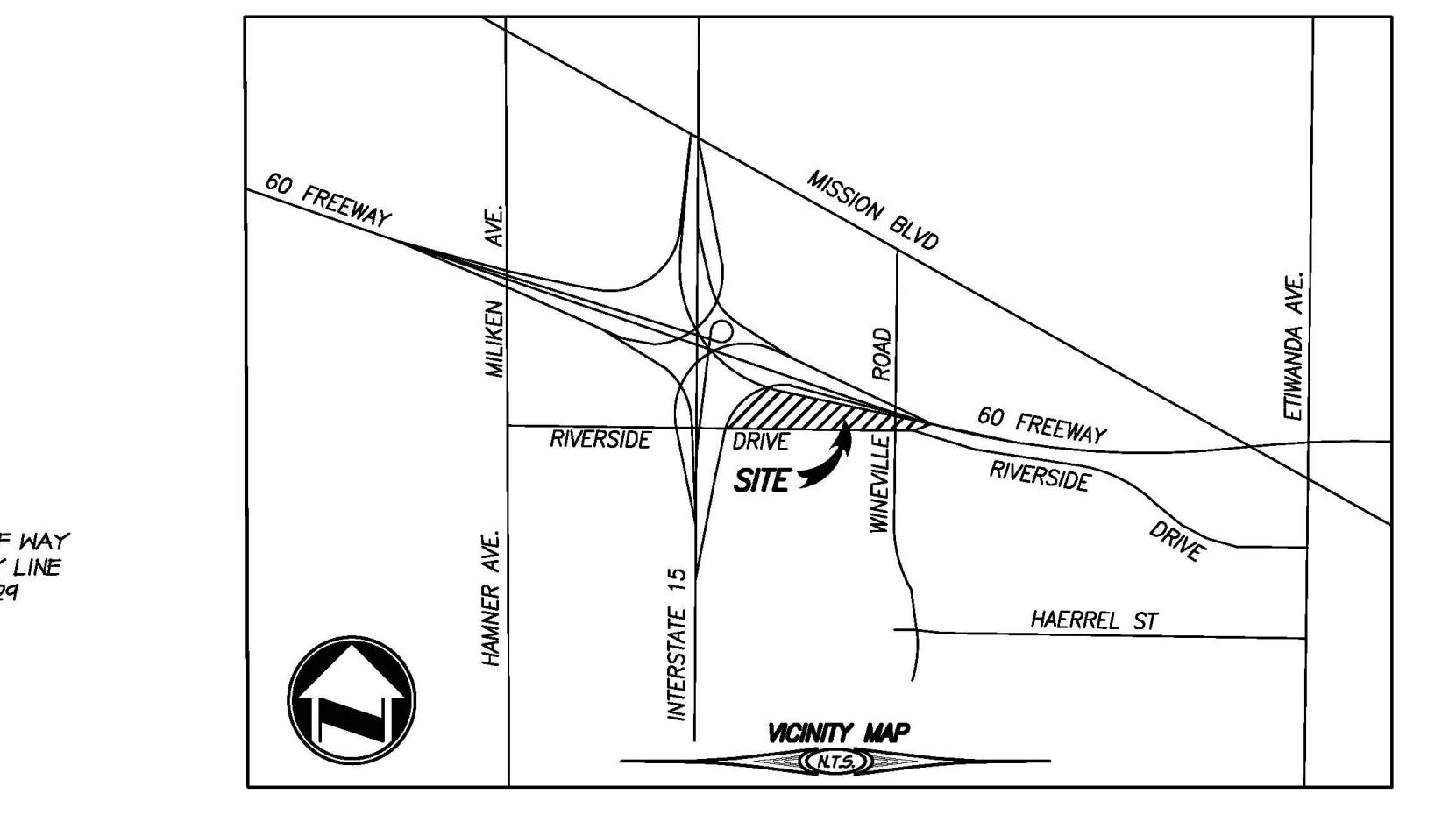
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)

- 1. CONSTRUCTION SITE BMPs FOR THE MANAGEMENT OF STORM WATER AND NON-STORMWATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP ON THE JOBSITE THROUGHOUT THE TIME OF CONSTRUCTION, THE IMPLEMENTATION AND MAINTENANCE OF THE SITE BMPs IS REQUIRED TO MINIMIZE JOBSITE EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMPs THROUGHOUT THE TIME OF CONSTRUCTION.
2. EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE ENTRANCEMENT OF SOIL IN RIBOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
3. SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
4. GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREA EXPOSED TO THE EXTENT FEASIBLE.
5. AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
6. IF DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 21 DAYS. DURING STORM SEASON ALL SLOPES SHALL BE STABILIZED PRIOR TO PREDICTED STORM EVEN. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
7. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE OR STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT, THE STATEWIDE GENERAL PERMIT-CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOIL OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS. FIBERS, PAINT FLAKES OR STICKS, FRAGMENTS FUEL, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS, CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DREGASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING; DURING CONSTRUCTION DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED PHYSICAL AREA COMPLETELY SEPARATE FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
9. RUNOFF FROM EQUIPMENT AND VEHICLE STASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR LOCAL STORM DRAIN SYSTEM.
10. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROD THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
11. ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE TRAINED IN THE IMPLEMENTATION AND USE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURE FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS AND ALL TRAINING DOCUMENTATION SHALL BE MAINTAINED IN THE SWPPP.
12. DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
13. BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
14. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

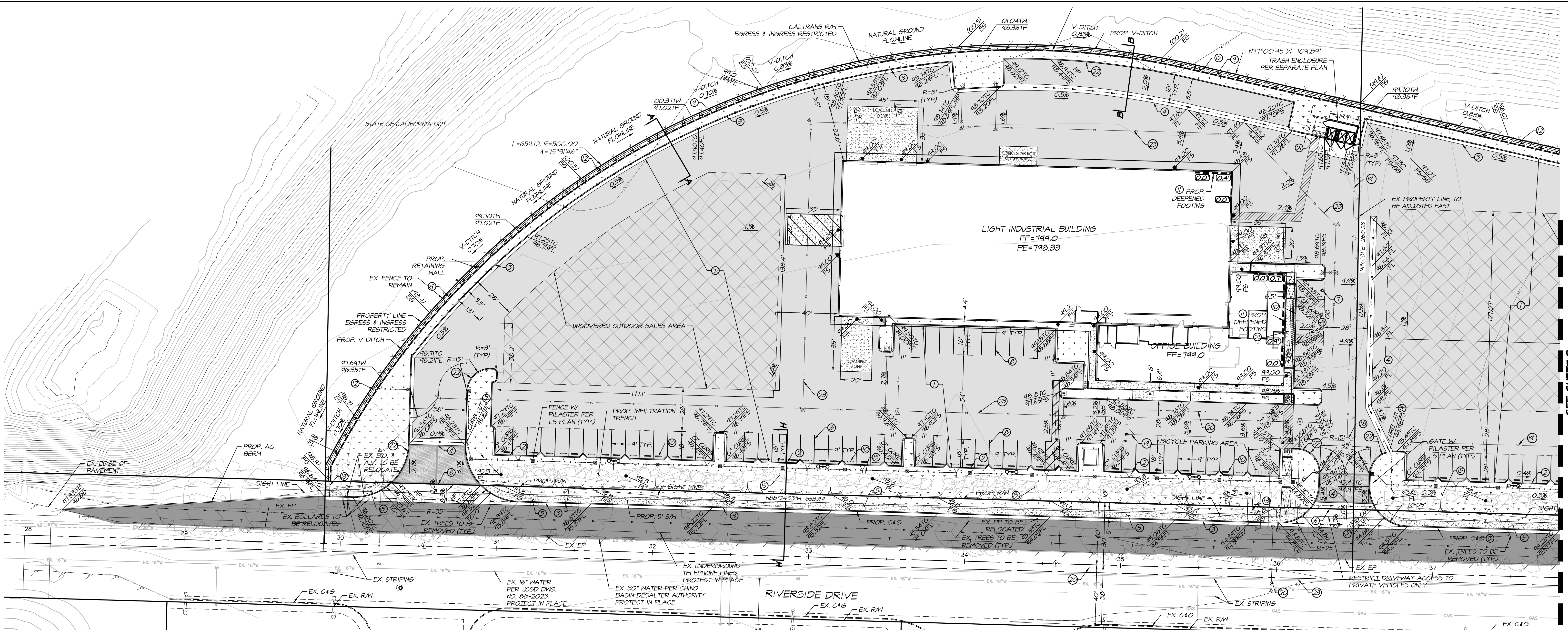
DECLARATION OF ENGINEER OF RECORD: I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES, AS THE ENGINEER IN RESPONSIBLE CHARGE OF DESIGN OF THESE IMPROVEMENTS, I ASSUME FULL RESPONSIBLE CHARGE FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE CITY OF JURUPA VALLEY IS A REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THE PLANS COMPLY WITH CITY PROCEDURES, APPLICABLE POLICIES AND ORDINANCES. THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT, THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS. AS ENGINEER OF RECORD (EOR), I AGREE TO INDEMNIFY AND HOLD THE CITY OF JURUPA VALLEY, THE JURUPA VALLEY HOUSING AUTHORITY, AND THE JURUPA VALLEY COMMUNITY SERVICES DISTRICT (JCS), ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY OF CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM THE NEGLIGENCE, ACTS, ERRORS OR MISIONS OF THE ENGINEER OF RECORD. I HAVE READ AND INFORMED THE PROJECT APPLICANT/DEVELOPER THAT APPROVAL OF THESE PLANS DO NOT RELIEVE THEM FROM THE REQUIREMENTS OF THE CONDITIONS OF APPROVAL (ATTACHED HEREIN OR IN OTHER APPROVED IMPROVEMENT PLANS). I ALSO HEREBY DECLARE THAT I HAVE COMPARED THESE PLANS WITH ALL APPLICABLE ADA TITLE II AND TITLE 24 REQUIREMENTS FOR DISABILITY ACCESS FOR THIS PROJECT, AND THESE PLANS ARE IN FULL COMPLIANCE WITH THOSE REQUIREMENTS.

DECLARATION OF ENGINEER OF RECORD (continued), ASSESSORS PARCEL NUMBERS, FEMA FLOODZONE DESIGNATION, UTILITY PURVEYORS, EARTHWORK QUANTITIES, BASIS OF BEARING, SOILS ENGINEER, NOTE.

UTILITY PURVEYORS, EARTHWORK QUANTITIES, BASIS OF BEARING, SOILS ENGINEER, NOTE (continued).

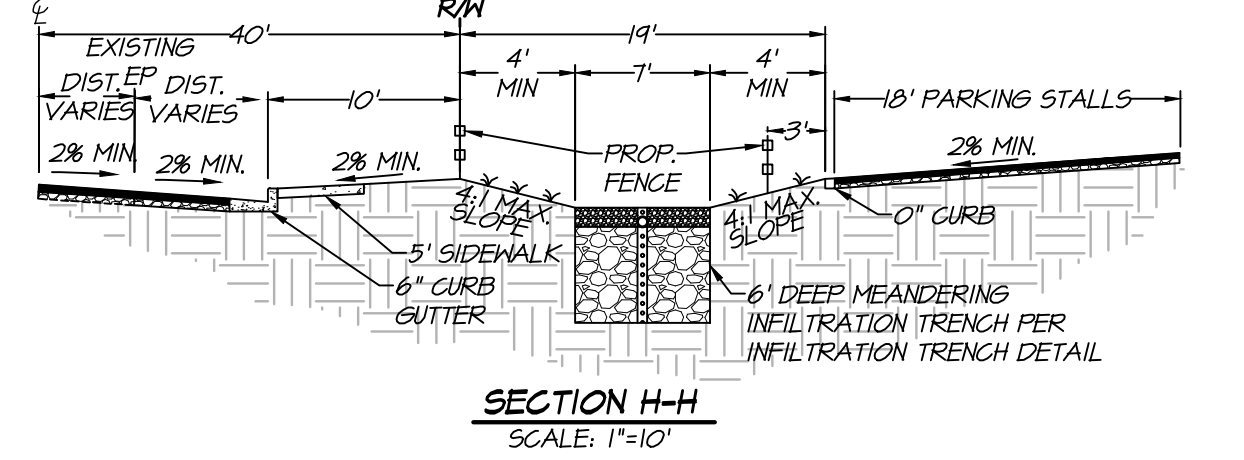
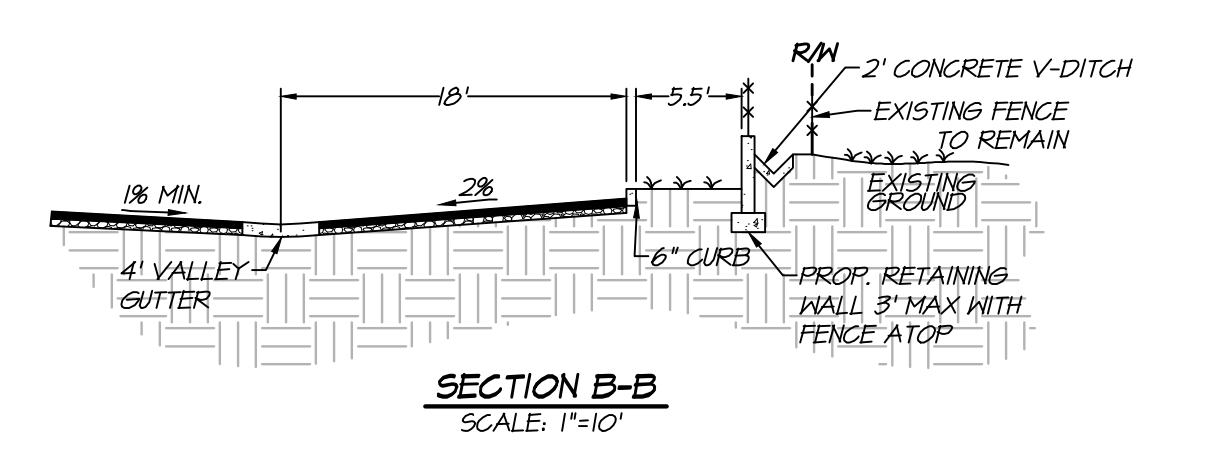
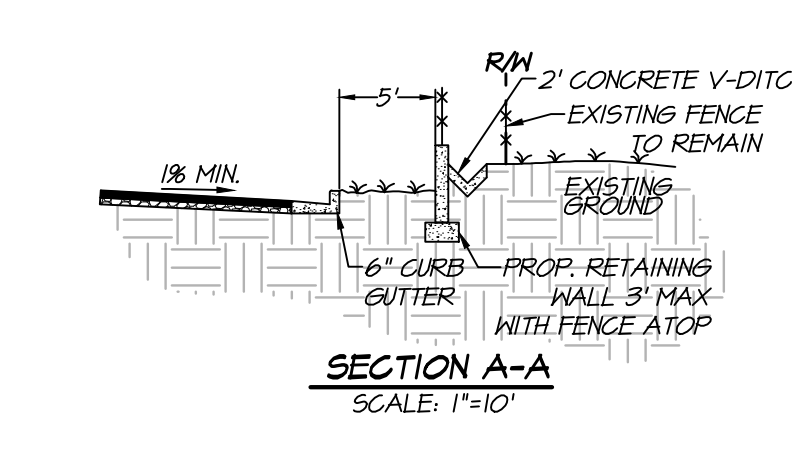
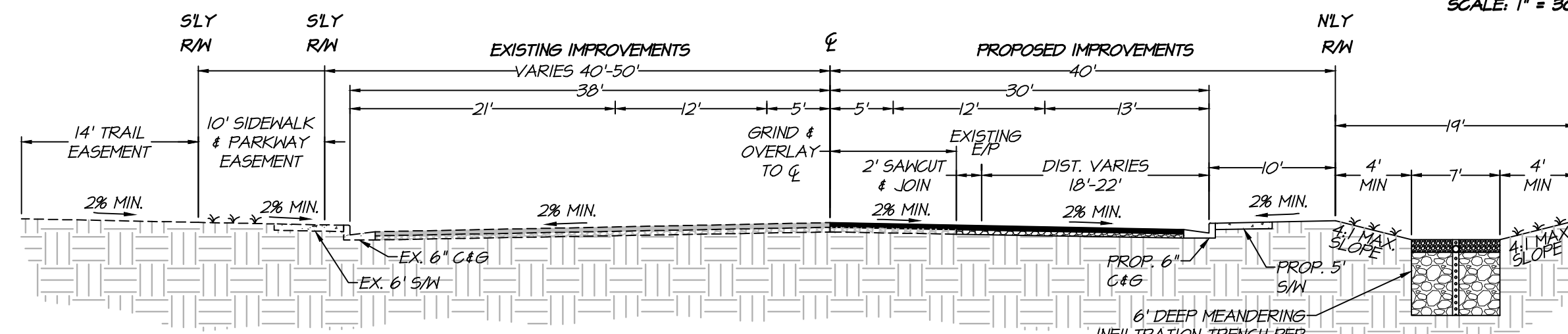
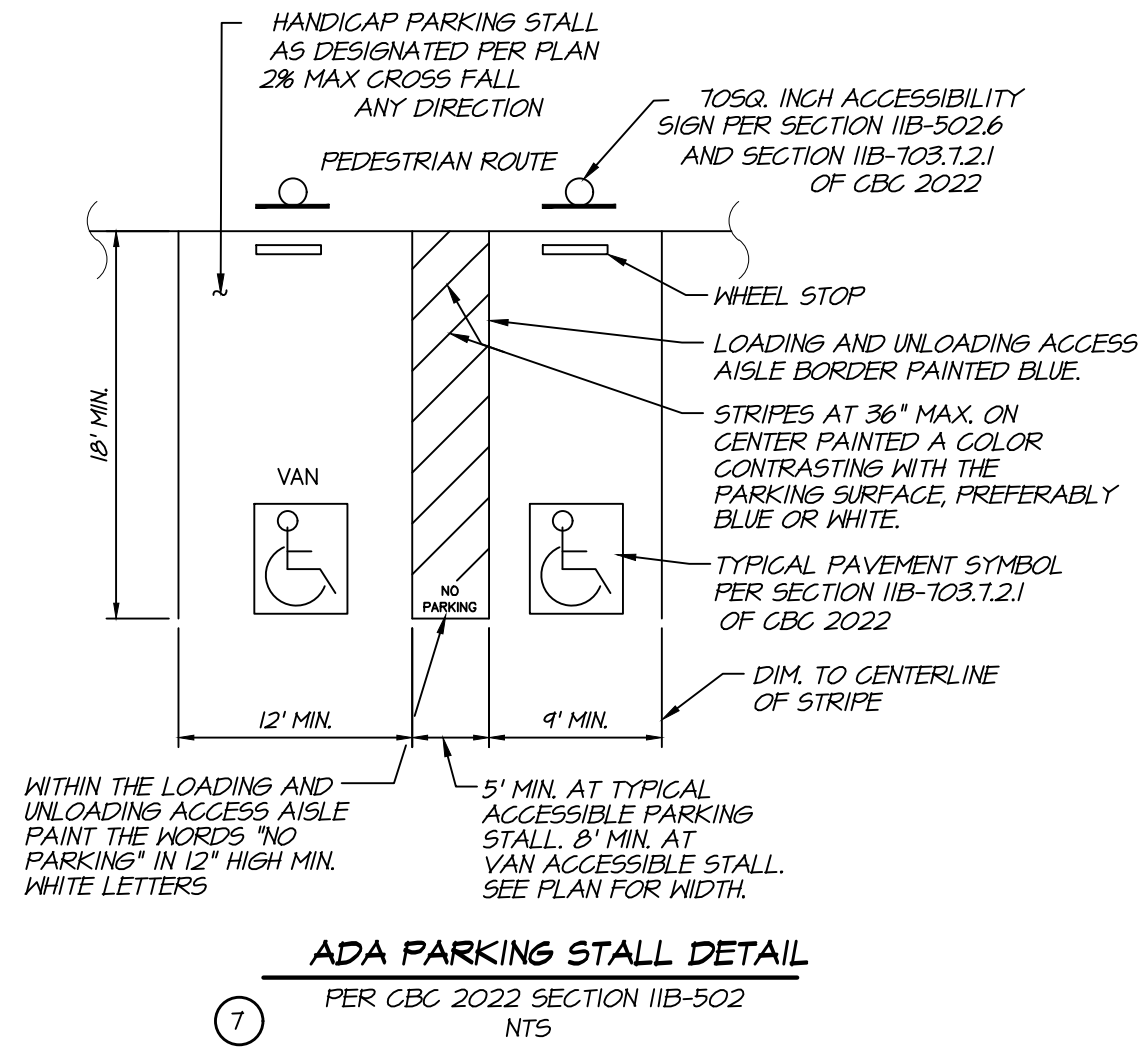
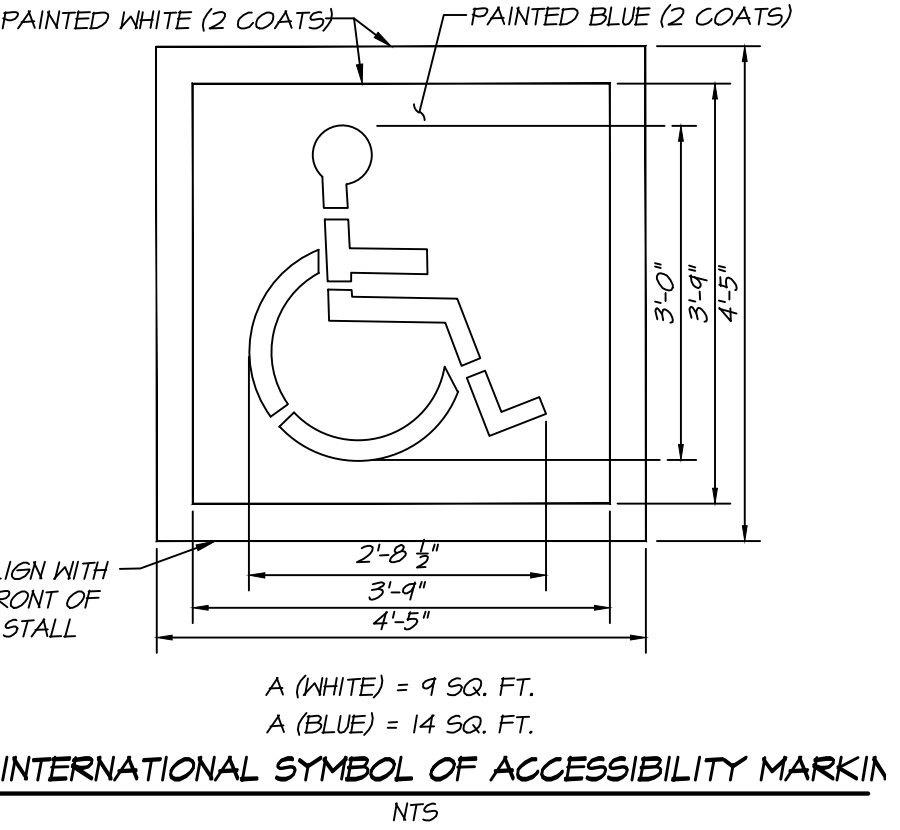


THE PLAN IS VALID FOR PROJECTS NOT LISTED IN THE CITY ENGINEER'S CONCEPTUAL GRADING PLAN CASE NO. MA22123, SDP22038



CONSTRUCTION NOTES

- 1 INSTALL 3" AC PAVEMENT OVER 4" BASE PER SOILS REPORT
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- 3 CONSTRUCT 6" CURB AND GUTTER PER COUNTY OF RIVERSIDE STD. 200
- 4 CONSTRUCT 4" WIDE VALLEY GUTTER PER DETAIL ON SHEET 3
- 5 CONSTRUCT CONCRETE SIDEWALK PER COUNTY OF RIVERSIDE STD. 401 - WIDTH PER PLAN
- 6 CONSTRUCT COMMERCIAL DRIVEWAY PER COUNTY OF RIVERSIDE STD. 201A.
- 7 INSTALL ADA PARKING STRIPING PER DETAILS ON SHEET 2
- 8 INSTALL PARKING STRIPING
- 9 CONSTRUCT RETAINING WALL - HEIGHT PER PLAN
- 10 INSTALL WHEEL STOP PER DETAIL ON SHEET 3
- 11 CONSTRUCT DEEPENED FOOTING - DEPTH PER PLAN
- 12 CONSTRUCT 2" WIDE CONCRETE V-DITCH
- 13 INSTALL UNDER SIDEWALK DRAIN PER COUNTY OF RIVERSIDE STD. 304
- 14 INSTALL 4" CURB CUT
- 15 CONSTRUCT 7" WIDE INFILTRATION TRENCH - SEE WOMP FOR DETAILS
- 16 INSTALL 18" STORM DRAIN - SEE WOMP FOR DETAILS
- 17 INSTALL 10" SEWER LINE
- 18 INSTALL SEWER MANHOLE
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- 23 INSTALL 6" FIRE SERVICE LINE



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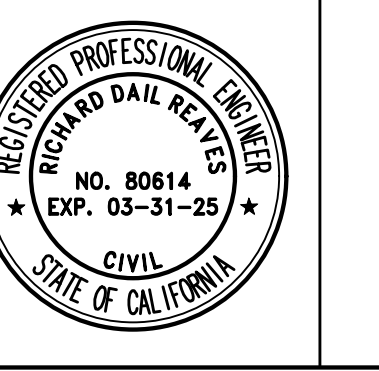
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MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE



PLANS PREPARED BY:
adkan ENGINEERS
Civil Engineering - Surveying - Planning
6579 Airport Drive, Riverside, CA 92504
Tel: (951) 688-0241, Fax: (951) 688-0599

Under the Supervision of:
Richard D. Reves, R.C.E. 80614 Exp. 3.31.21 Date:

CITY OF JURUPA VALLEY

CONCEPTUAL GRADING PLANS
RIVERSIDE DRIVE & WINVILLE ROAD
NEW LIGHT INDUSTRIAL BUILDING/RETAIL FACILITY

CONCEPTUAL GRADING

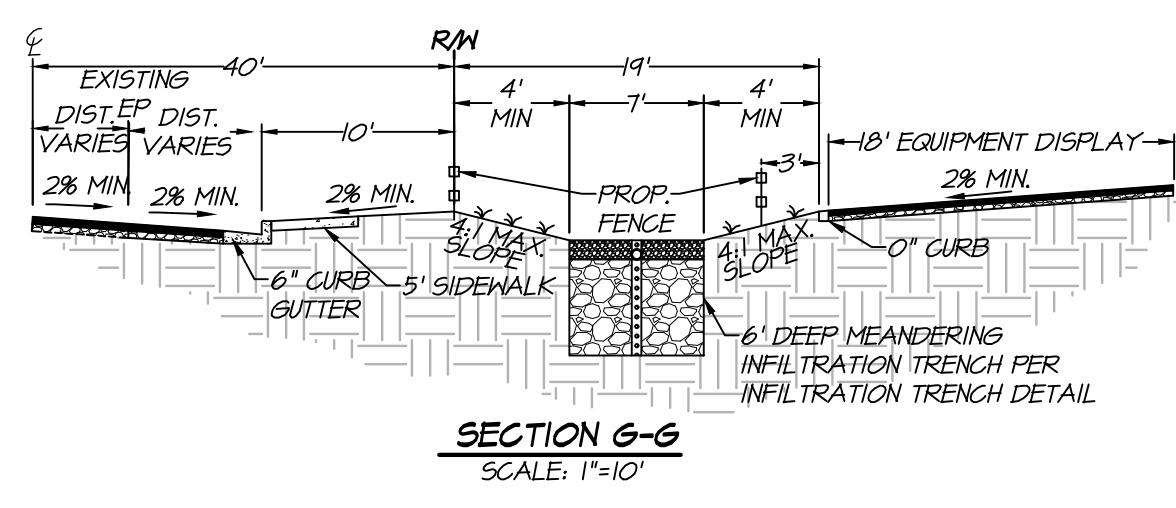
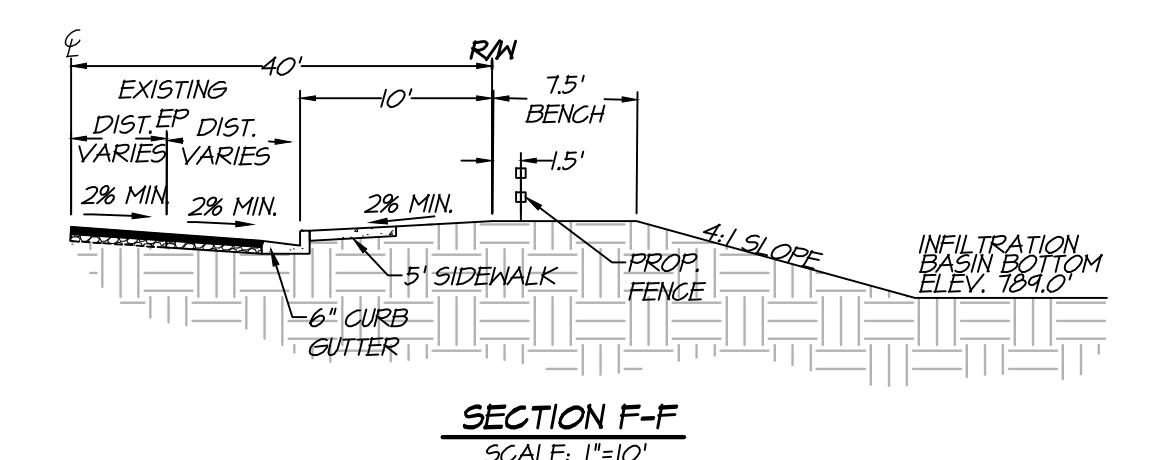
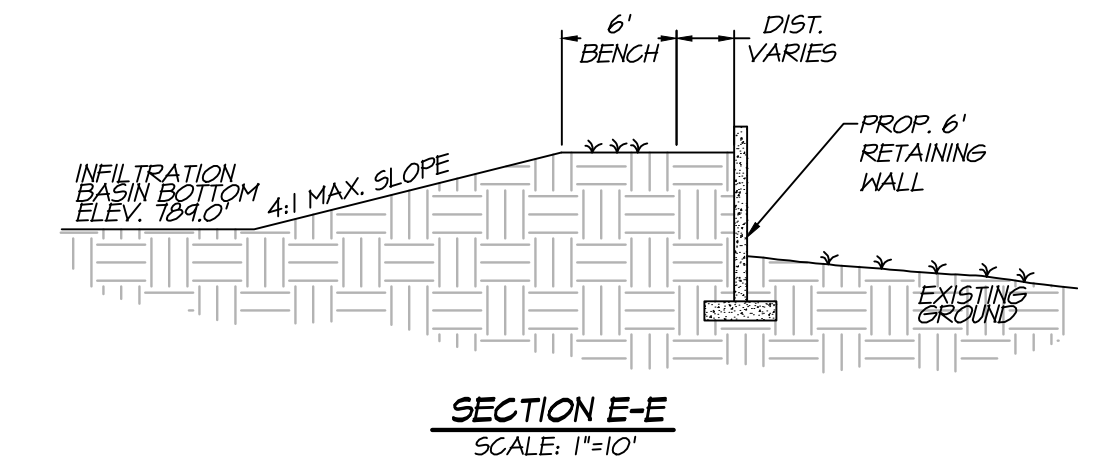
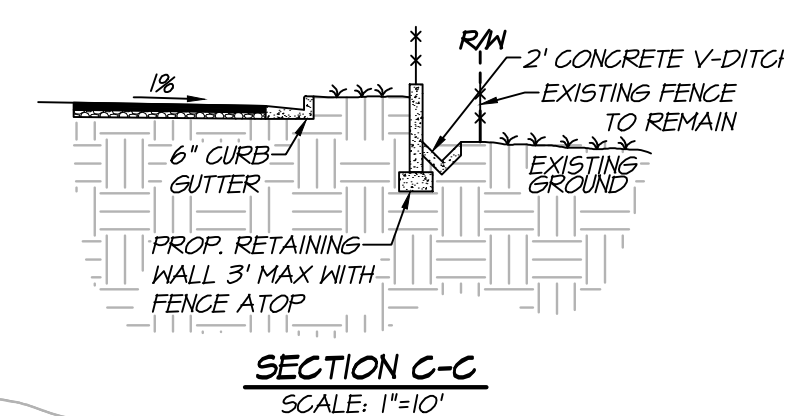
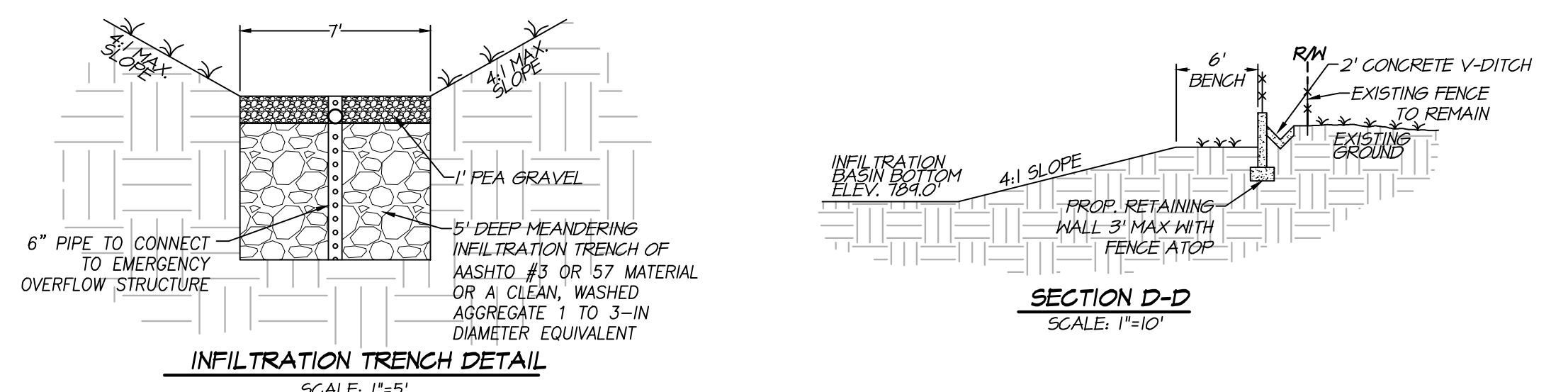
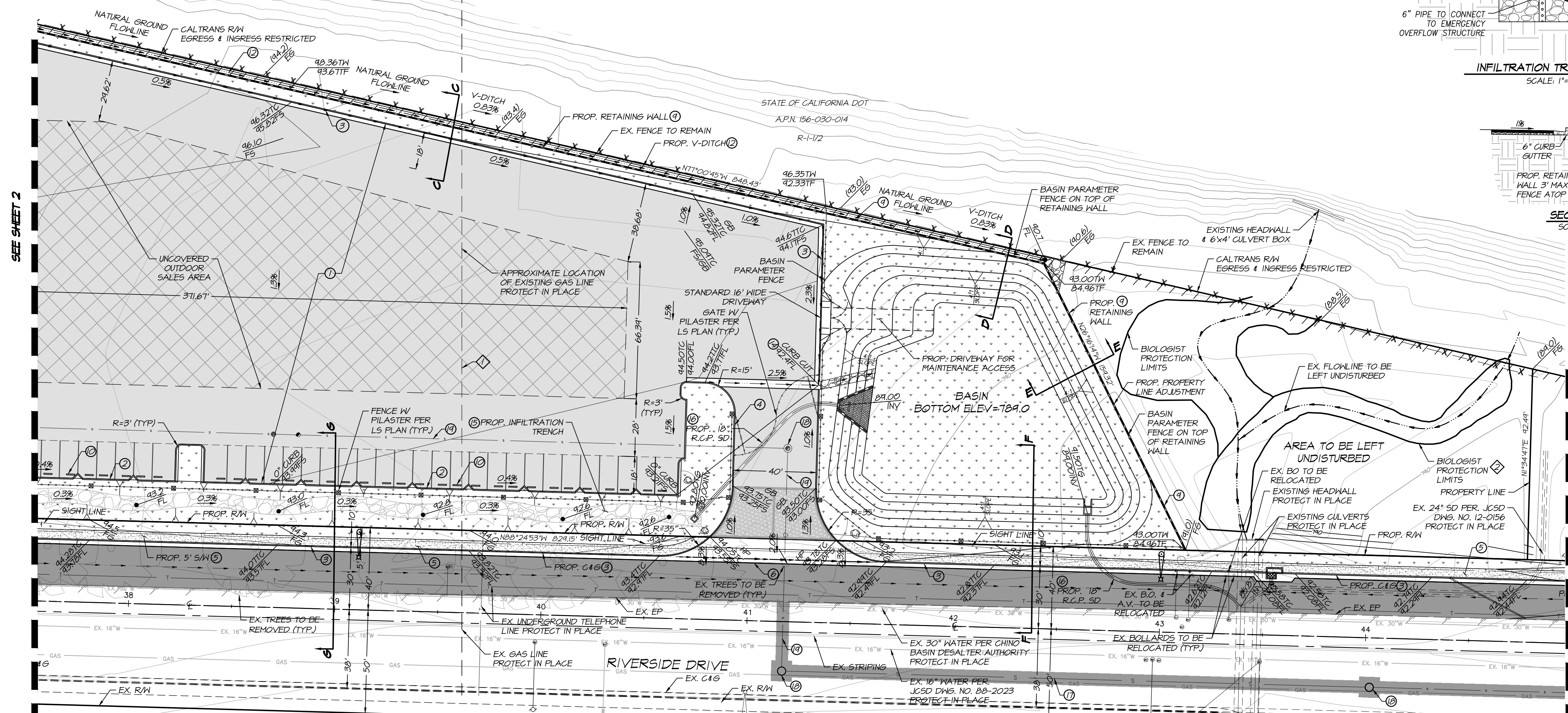
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SHEET **2** OF **4**

CITY I. D. NO. _____

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SEE SHEET 2

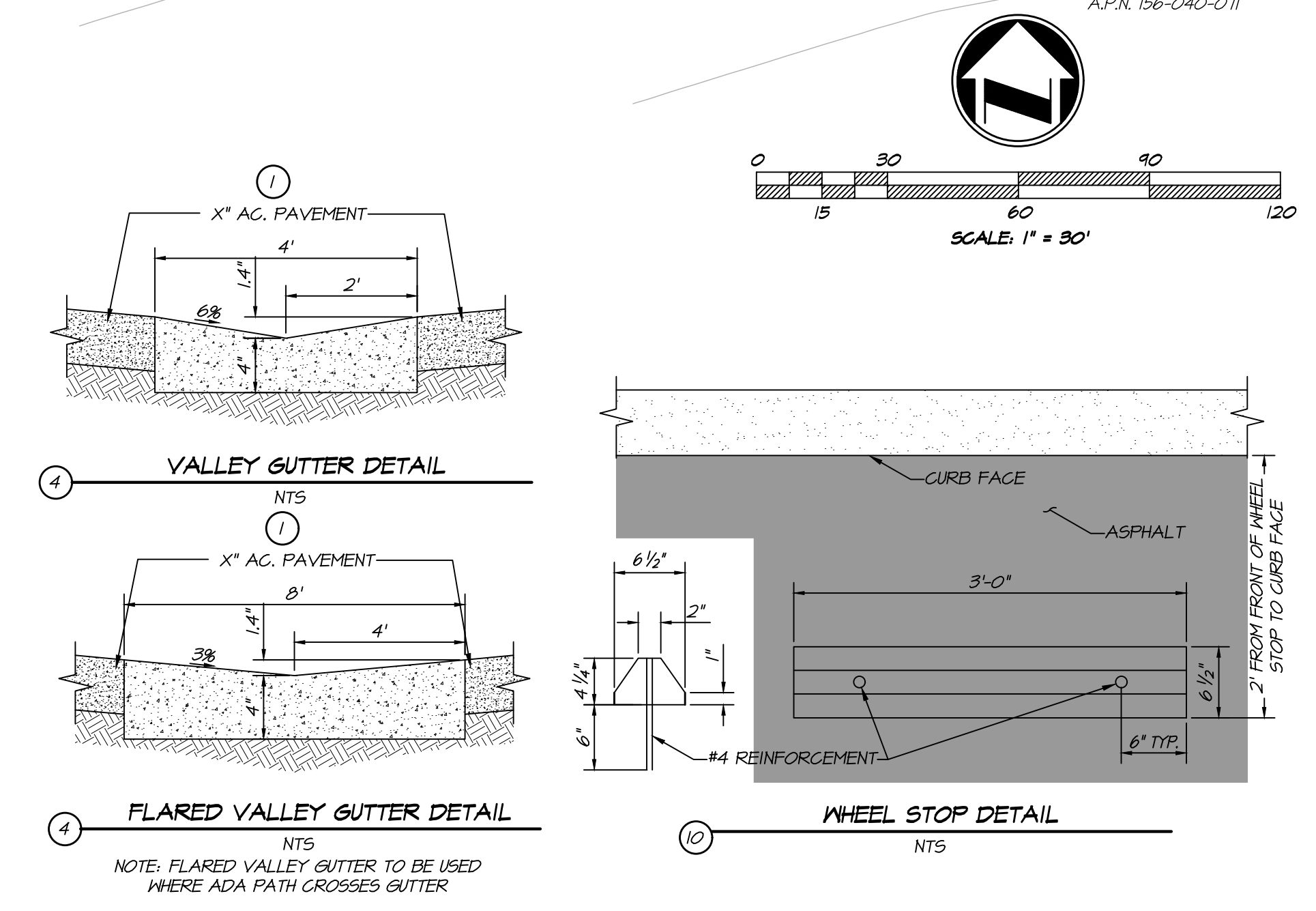


EASEMENT & BIOLOGICAL NOTES

- 1. AN EASEMENT IN FAVOR OF STATE OF CALIFORNIA FOR INSTALLATION, REPLACEMENT, REPAIR, REMOVAL AND MAINTENANCE OF A STEEL GAS LINE AS SHOWN BY DOCUMENT RECORDED SEPTEMBER 4, 1969 AS INSTRUMENT NUMBER 1969-90240.
- 2. AREA PER WESTERN RIVERSIDE COUNTY MULTIPLE SPECIES HABITAT CONSERVATION PLAN CONSISTENCY ANALYSIS AND BIOLOGY RESOURCES ASSESSMENT REPORT BY LSA ASSOCIATES, INC. DATED OCTOBER 2022.

CONSTRUCTION NOTES & QUANTITIES

1. INSTALL 4" AC PAVEMENT OVER 4" BASE PER SOILS REPORT
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8. INSTALL PARKING STRIPING
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13. INSTALL UNDER SIDEWALK DRAIN PER COUNTY OF RIVERSIDE STD. 309
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CITY OF JURUPA VALLEY BUSINESS TAX ACCT. NO. 00094 EXP. 9-7-23

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6579 Airport Drive, Riverside, CA 92504
Tel: (951) 688-0241; Fax: (951) 688-0599

Under the Supervision of:
Richard Dail Reeves, R.C.E. 80614 Exp. 3.31.21 Date:

CITY OF JURUPA VALLEY

CONCEPTUAL GRADING PLANS
RIVERSIDE DRIVE & WINEVILLE ROAD
NEW LIGHT INDUSTRIAL BUILDING/RETAIL FACILITY

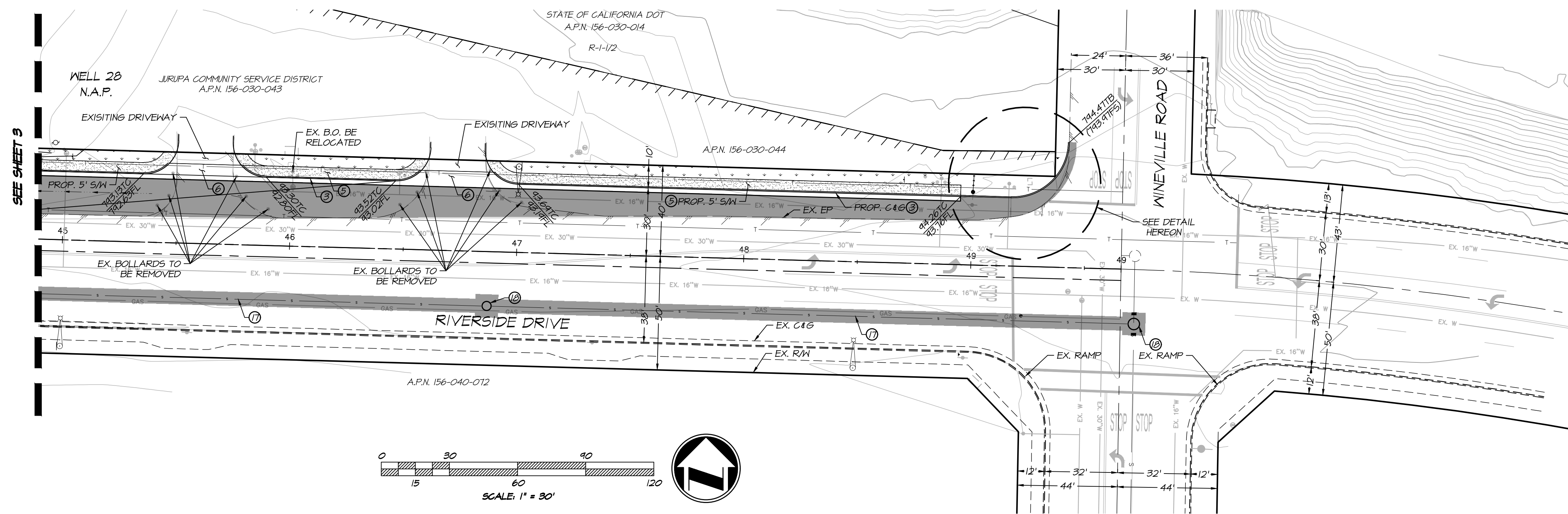
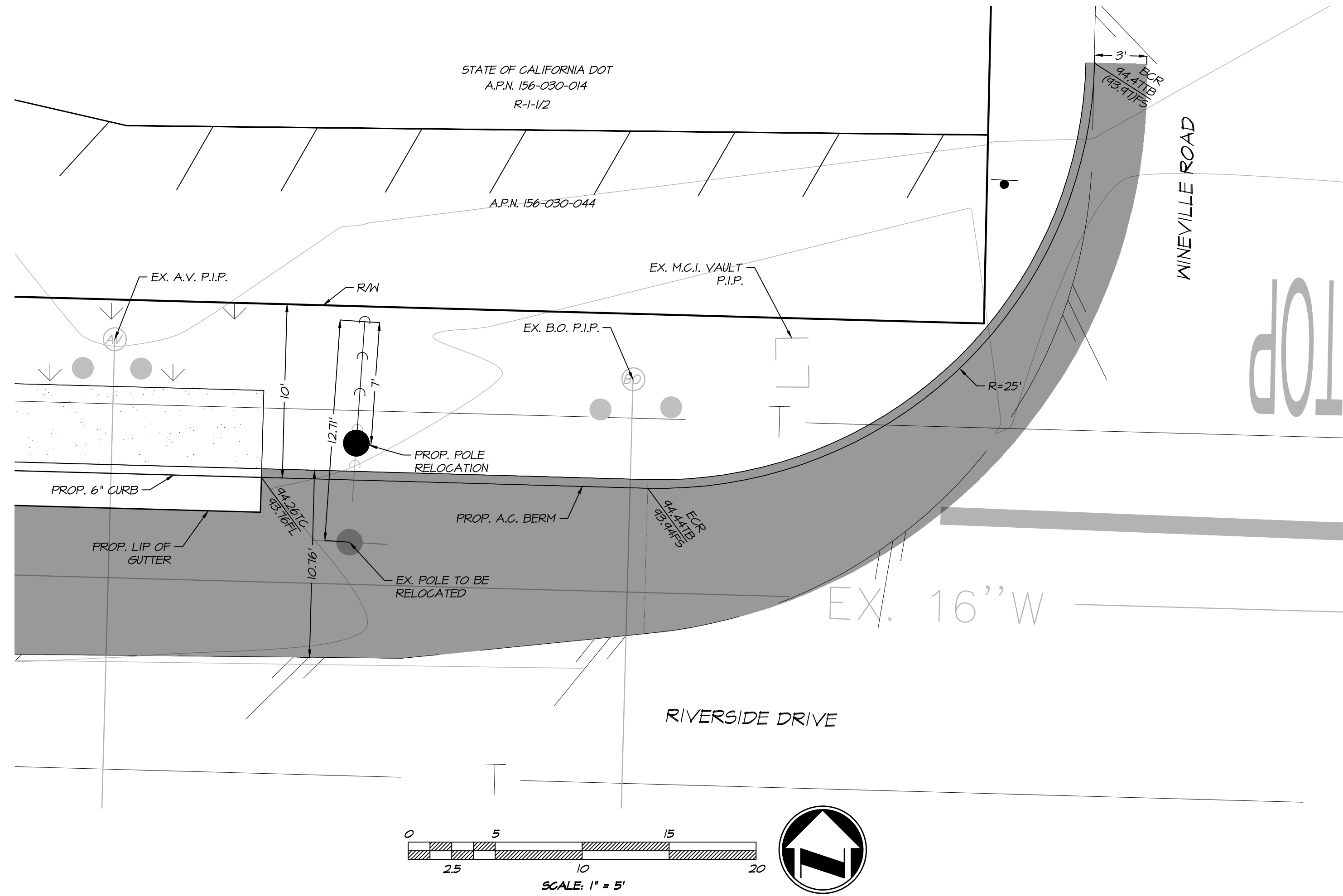
CONCEPTUAL GRADING

ACCT. NO. _____

SHEET **3** OF **4**

CITY I. D. NO. _____

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CONSTRUCTION NOTES & QUANTITIES

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CONCEPTUAL GRADING

ACCT. NO. _____

SHEET **4** OF **4**

CITY I. D. NO. _____

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APPENDIX A

REFERENCES

- CDMG, Maps of Known Active Fault Near-Source Zones in California and Adjacent Portions of Nevada, Dated February 1998.
- USGS Geologic Map of the San Bernardino and Santa Ana 30'x60' Quadrangles, California, 2006.
- Riverside County GIS Map.
- U.S. Geological Survey Faults 2014.
- Riverside County Stormwater Quality Best Management Practice, Design Handbook for Low Impact Development, Dated June 2014.
- Civiltech Software LiquefyPro (Version 5.5g)
- ASTM D422 - Standard Test Method for Particle-Size Analysis
- California Code of Regulations, Title 24, 2022, "California Building Code," 2 volumes.
- Seed, H.B., Tokimatsu, K., Harder, L.F., and Chung, R.M., (1985), "Influence of SPT Procedures in Soil Liquefaction Resistance Evaluations," Journal of the Geotechnical Engineering Division, American Society of Civil Engineers, Vol. 111, No. GT12, pp. 1425-1445.
- Tokimatsu, K., and Seed, H.B., (1987), "Evaluation of Settlements in Sands Due to Earthquake Shaking," Journal of the Geotechnical Engineering Division, American Society of Civil Engineers, Vol. 113, No. 8, pp. 861-878.
- "Earthquake Hazards Program, Seismic Design Maps and tools", ASCE 7-10 Standard.
- Department of the Interior, U.S. Geological Survey, Contour Map Showing Minimum Depth to Ground Water, Upper Santa Ana River Valley, California 1973-1979 (Sheet 2 of 2), By Scott E. Carson and Jonathan C. Matti, Dated 1985.
- USGS 2008 National Seismic Hazard Maps – Source Parameters
- USGS Unified Hazard Tool

APPENDIX B

LIQUEFACTION ANALYSIS SUMMARY

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Font: Courier New, Regular, Size 8 is recommended for this report.
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Input File Name: UNTITLED
Title: PROJECT NAME: Industrial Outdoor
Subtitle: Proj No. RCE-

Surface Elev.=Existing Ground
Hole No.=B-3
Depth of Hole= 50.00 ft
Water Table during Earthquake= 175.00 ft
Water Table during In-Situ Testing= 175.00 ft
Max. Acceleration= 0.5 g
Earthquake Magnitude= 6.80

Input Data:

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Hole No.=B-3
Depth of Hole=50.00 ft
Water Table during Earthquake= 175.00 ft
Water Table during In-Situ Testing= 175.00 ft
Max. Acceleration=0.5 g
Earthquake Magnitude=6.80

1. SPT or BPT Calculation.
 2. Settlement Analysis Method: Ishihara / Yoshimine
 3. Fines Correction for Liquefaction: Idriss/Seed
 4. Fine Correction for Settlement: During Liquefaction*
 5. Settlement Calculation in: All zones*
 6. Hammer Energy Ratio, Ce = 0.89
 7. Borehole Diameter, Cb= 1.15
 8. Sampling Method, Cs= 1
 9. User request factor of safety (apply to CSR) , User= 1
Plot two CSR (fs1=1, fs2=User)
 10. Use Curve Smoothing: Yes*
- * Recommended Options

In-Situ Test Data:

Depth SPT gamma Fines

ft		pcf	%
0.00	9.00	120.00	28.00
5.00	20.00	120.00	38.00
10.00	20.00	120.00	14.00
15.00	44.00	120.00	14.00
20.00	68.00	120.00	14.00
25.00	100.00	120.00	14.00
30.00	100.00	120.00	14.00
35.00	40.00	120.00	8.00
40.00	100.00	120.00	8.00
45.00	40.00	120.00	8.00
50.00	33.00	120.00	8.00

Output Results:

Settlement of Saturated Sands=0.00 in.
Settlement of Unsaturated Sands=0.24 in.
Total Settlement of Saturated and Unsaturated Sands=0.24 in.
Differential Settlement=0.122 to 0.161 in.

Depth ft	CRRm	CSRfs	F.S.	S_sat. in.	S_dry in.	S_all in.
0.00	0.25	0.32	5.00	0.00	0.24	0.24
5.00	2.57	0.32	5.00	0.00	0.23	0.23
10.00	0.38	0.32	5.00	0.00	0.21	0.21
15.00	2.57	0.31	5.00	0.00	0.19	0.19
20.00	2.57	0.31	5.00	0.00	0.18	0.18
25.00	2.57	0.31	5.00	0.00	0.16	0.16
30.00	2.52	0.30	5.00	0.00	0.15	0.15
35.00	0.45	0.29	5.00	0.00	0.13	0.13
40.00	2.38	0.28	5.00	0.00	0.10	0.10
45.00	0.34	0.26	5.00	0.00	0.08	0.08
50.00	0.24	0.25	5.00	0.00	0.00	0.00

* F.S.<1, Liquefaction Potential Zone
(F.S. is limited to 5, CRR is limited to 2, CSR is limited to 2)

Units: Depth = ft, Stress or Pressure = atm (tsf), Unit Weight = pcf,
Settlement = in.

1 atm (atmosphere)	= 1 tsf (ton/ft ²)
CRRm	Cyclic resistance ratio from soils
CSRsf	Cyclic stress ratio induced by a given earthquake (with user request factor of safety)
F.S.	Factor of Safety against liquefaction, F.S.=CRRm/CSRsf
S_sat	Settlement from saturated sands
S_dry	Settlement from Unsaturated Sands

S_all
NoLiq

Total Settlement from Saturated and Unsaturated Sands
No-Liquefy Soils