

INITIAL STUDY/NEGATIVE DECLARATION

[Pursuant to Public Resources Code Section 21080(c) and California Code of Regulations, Title 14, Sections 15070-15071]

LEAD AGENCY: San Joaquin County Community Development Department

PROJECT APPLICANT: Shack & Company, Inc.

PROJECT TITLE/FILE NUMBER(S): PA-2200255 (SA)

PROJECT DESCRIPTION: A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest. There are 10 festivals proposed with this application with a maximum of 40 attendees. The project will be served by on-site well, septic, and storm drainage systems. The proposed project site has direct access from the northside of W. Larch Rd. The project site is not under a Williamson Act Contract.

The project site is located on the northside of West Larch Rd., 930 feet east of North Corral Hollow Rd., Tracy

ASSESSOR PARCEL NO.: 212-180-12

ACRES: 2.01

GENERAL PLAN: R/L (Low Density/ Residential)

ZONING: R-L (Low Density-Residential)

POTENTIAL POPULATION, NUMBER OF DWELLING UNITS, OR SQUARE FOOTAGE OF USE(S):

A 3,000-square-foot Religious Assembly facility for a maximum occupancy of 50 attendees including a single-family residence for the priest.

SURROUNDING LAND USES:

NORTH: City of Tracy

SOUTH: Residences, religious assembly, and City of Tracy

EAST: Residences, City of Tracy

WEST: Residences and a religious assembly

REFERENCES AND SOURCES FOR DETERMINING ENVIRONMENTAL IMPACTS:

Original source materials and maps on file in the Community Development Department including: all County and City general plans and community plans; assessor parcel books; various local and FEMA flood zone maps; service district maps; maps of geologic instability; maps and reports on endangered species such as the Natural Diversity Data Base; noise contour maps; specific roadway plans; maps and/or records of archeological/historic resources; soil reports and maps; etc.

TRIBAL CULTURAL RESOURCES:

Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

No

GENERAL CONSIDERATIONS:

1. Does it appear that any environmental feature of the project will generate significant public concern or controversy?

Yes No

Nature of concern(s): Enter concern(s).

2. Will the project require approval or permits by agencies other than the County?

Yes No

Agency name(s): Enter agency name(s).

3. Is the project within the Sphere of Influence, or within two miles, of any city?

Yes No

City: Tracy

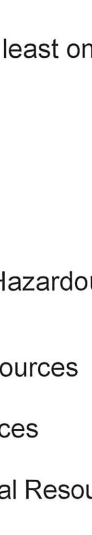
ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials |
| <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Wildfire | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency) On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier **EIR** or **NEGATIVE DECLARATION** pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier **EIR** or **NEGATIVE DECLARATION**, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


Signature: Nancy Arroyo Associate Planner

11/28/2023
Date

EVALUATION OF ENVIRONMENTAL IMPACTS:

- a) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- b) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- c) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- d) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in (5) below, may be cross-referenced).
- e) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - i) Earlier Analysis Used. Identify and state where they are available for review.
 - ii) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - iii) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- f) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- g) Supporting Information Sources: A source list should be attached, and other sources used, or individuals contacted should be cited in the discussion.
- h) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- i) The explanation of each issue should identify:
 - i) the significance criteria or threshold, if any, used to evaluate each question; and
 - ii) the mitigation measure identified, if any, to reduce the impact to less than significance.

Issues:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
I. AESTHETICS.					
Except as provided in Public Resources Code Section 21099, would the project:					
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a-c) The project site is located on W. Larch Road, south of the City of Tracy. Pursuant to San Joaquin County General Plan 2035 Local Scenic Roadways Table 12-2, W. Larch Road is not designated as a Scenic Route, nor are there known scenic resources on or near the site. The project site is zoned R-L (Low Density Residential) and is located within an urbanized area. A Religious Assembly may be conditionally permitted in the R-L zone with an approved Site Approval and the proposed building will be subject to all applicable Development Title requirements regarding setbacks and building heights. Therefore, the project will not impact, or substantially damage, a scenic vista or resource, nor will it affect other regulations governing scenic quality.
- d) If the proposed project is approved, all project lighting shall be designated to confine direct rays to the premises. No spillover beyond the property lines shall be permitted, except onto public roads, provided, however, that such light shall not cause a hazard to motorist. As a result, new source of light or glare from project site are anticipated to have a less than significant impact on day or nighttime views in the area.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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II. AGRICULTURE AND FORESTRY RESOURCES.

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. -- Would the project:

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|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to nonagricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Result in the loss of forest land or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest. A religious assembly is classified under Religious Assembly- Neighborhood use type and may be a conditionally permitted use in the R-L (Low Density Residential) zone with an approved Site Approval application.

- a) The project site is not designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance on the maps prepared for the Farmland Mapping and Monitoring Program of the California Resources Agency. Therefore, the proposed religious assembly project will not convert such land.

- b) The project site is zoned Low Density Residential and is not under a Williamson Act Contract. The closest parcels with farming activity are approximately 0.3 miles to the west of the project site. As provided for in Land Use Goal LU-9 of the 2035 General Plan, this religious facility is located and designed to complement a San Joaquin County community while also minimizing incompatibility with the neighborhood and other uses by providing buffers between the development and adjacent properties. As a result, no agricultural activities or Williamson Act contracts on adjacent parcels will be impacted.
- c-d) The subject property is not categorized or zoned as forest land, timberland, or Timberland Production as defined by Public Resources Code and Government Code. As a result, no forest land or timberland zoning is impacted, and the project will not result in the conversion of any forest land or timberland.
- e) The proposed project site has a General Plan designation of R/L (Low Density Residential) and a zoning of R-L (Low Density Residential), and these designations will remain the same if the project is approved. As noted above, the project site is not designated Farmland or forest land, and the adjacent properties are also not designated Farmland or forest land, with the exception of the City of Tracy park located to the north of the project site, which is designated as Farmland of Local Importance. However, the proposed project will not interfere with any agricultural activity or forest land on or near the subject parcel, and therefore, will have a less than significant impact on Farmland or forest land.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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III. AIR QUALITY.

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Result in substantial emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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a-d) The project site is in the San Joaquin Valley Air Basin, which is regulated by the San Joaquin Valley Unified Air Pollution Control District (SJVAPCD). The SJVAPCD is the lead air quality regulatory agency for the San Joaquin County. The applicant will be required to meet existing requirements for emissions and dust control as established by SJVAPCD. The project was referred to the SJVAPCD for review on February 27, 2023, and the project will be subject to the District's rule and regulations.

The project was reviewed under the SJVAPCD's Small Project Analysis Levels (SPAL). A Religious Assembly on the use table for SPAL is classified as Place of Worship, and a Place of Worship that proposes less than 141,000 for the use and generates less than 1,000 average daily one-way- trips are presumed to have less than significant impact on air quality. As a result, air quality impacts are anticipated to be less than significant. As a result, there will not be any impacts to air quality.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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IV. BIOLOGICAL RESOURCES:

Would the project:

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

a,d,f) A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544-square-foot single-family residence for the priest.

The Natural Diversity Database lists the list the Swainson's hawk (*Buteo Swainsoni*), American badger (*Taxidea taxus*, Burrowing owl (*Athene cunicularia*), Tricolored blackbird (*Agelaius tricolor*), Big tarplant (*Blepharizonia plumosa*), Caper-fruited tropidocarpum (*Tropidocarpum capparideum*, Big Tarplant (*Blepharizonia*), Great Valley Oak Riparian area, and the San Joaquin kit fox (*Vulpes Macrotis mutica*) as rare, threatened, or endangered species in the project vicinity. There is no riparian habitat or natural waterways in the project vicinity. The San Joaquin Council of Governments (SJCOG) has determined that the project is subject to the San Joaquin Multi-Species Habitat Conservation and Open Space Plan (SJMSCP), and the applicant has confirmed that they will participate. As a result, participation in the SJMSCP, and will be included in the conditions of project approval for this proposal, and participation will be required prior to issuance of any building permits. Pursuant to the *Final EIR/EIS for San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP)*, dated November 15, 2000, and certified by SJCOG on December 7, 2000, participation in the SJMSCP is expected to reduce impacts to biological resources resulting from the proposed project to less-than-significant level.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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V. CULTURAL RESOURCES.

Would the project:

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) Disturb any human remains, including those interred outside of dedicated cemeteries? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

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- a-c) In the event human remains are discovered at any point of the project, California state law requires that there shall be no further excavation or disturbance of the site, or any nearby area reasonably suspected to overlie adjacent remains until the coroner of the county has determined the manner and cause of death. Recommendations concerning the treatment and disposition of the human remains shall have been made to the person responsible for the excavation (California Health and Safety Code - Section 7050.5). At the time development, if Human burials are found to be of Native American origin, the developer shall follow the procedures pursuant to Title 14, Division 6, Chapter 3, Article 5, Section 15064.5(e) of the California State Code of Regulations. Additionally, as also noted in the Tribal Cultural Resources discussion, if Tribal Cultural Resources (TCR) should be inadvertently encountered during project, Buena Vista Rancheria requested that additional notification be provided so that steps may be taken to protect and preserve them. This will be included as condition of approval if the project is approved.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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VI. ENERGY.

Would the project:

- | | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Result in a potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy, or wasteful use of energy resources, during project construction or operation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

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- (a-b) The California Energy Code (also titled The Energy Efficiency Standards for Residential and Non-residential Buildings) was created by the California Building Standards Commission in response to a legislative mandate to reduce California's energy consumption. The code's purpose is to advance the state's energy policy, develop renewable energy sources and prepare for energy emergencies. These standards are updated periodically by the California Energy Commission. The code includes energy conservation standards applicable to most buildings throughout California. Although no new construction is proposed these requirements will be applicable to any project related construction ensuring that any impact to the environment due to wasteful, inefficient, or unnecessary consumption of energy will be less than significant and preventing any conflict with state or local plans for energy efficiency and renewable energy.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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VII. GEOLOGY AND SOILS.

Would the project:

a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil and create direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Impact Discussion:

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- a-c) The Soil Survey of San Joaquin County classifies the soil on the parcel as Cogna loam, 0 to 2 percent slopes; and the Stockton silty clay loam, 0 to 2 percent slopes. Cogna loam permeability is moderate and water capacity is high, This unit is suited to irrigated row, field, and orchard crops. Cogna loam has a storie index rating of 90 and a land capacity of I irrigated and IVc nonirrigated. Stockton clay permeability is slow and water capacity is moderate. This unit is suited to irrigated pasture. Stockton clay has a storie index rating of 20 and a land capacity of IIs irrigated and IVs nonirrigated.
- d-f) The project site contains expansive soil. At the time of future development, the Building Division will require a soils report to be submitted with a Building Permit application. The proposed project will not cause the risk of injury or death as a result of a rupture of a known earthquake fault, seismic activity, or landslides because there are no faults located near the project site, and the site is relatively flat. Like other areas located in seismically active Northern

California, the project area is susceptible to strong ground shaking during an earthquake, and the site would not be affected by ground shaking more than any other area in the region.

The proposed project will not result in substantial soil erosion or the loss of topsoil. Additionally, the proposed project will not destroy a unique paleontological resource or site or unique geological feature. The proposed project is also not located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse. As a result, the impact to geology and soils is anticipated to be less than significant.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	...Analyzed No Impact In The Prior EIR
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VIII. GREENHOUSE GAS EMISSIONS.

Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

a-b) Emissions of GHGs contributing to global climate change are attributable in large part to human activities associated with the industrial/manufacturing, utility, transportation, residential, and agricultural sectors. Therefore, the cumulative global emissions of GHGs contributing to global climate change can be attributed to every nation, region, and city, and virtually every individual on earth. An individual project's GHG emissions are at a micro-scale level relative to global emissions and effects to global climate change; however, an individual project could result in a cumulatively considerable incremental contribution to a significant cumulative macro-scale impact. As such, impacts related to emissions of GHG are inherently considered cumulative impacts.

Implementation of the project would cumulatively contribute to increases of GHG emissions. Estimated GHG emissions attributable to future development would be primarily associated with increases of carbon dioxide (CO₂) and, to a lesser extent, other GHG pollutants, such as methane (CH₄) and nitrous oxide (N₂O) associated with area sources, mobile sources or vehicles, utilities (electricity and natural gas), water usage, wastewater generation, and the generation of solid waste. The primary source of GHG emissions for the project would be mobile source emissions. The common unit of measurement for GHG is expressed in terms of annual metric tons of CO₂ equivalents (MTCO_{2e}/yr).

As noted previously, the project will be subject to the rules and regulations of the SJVAPCD. The SJVAPCD has adopted the *Guidance for Valley Land-use Agencies in Addressing GHG Emission Impacts for New Projects under CEQA* and the *District Policy – Addressing GHG Emission Impacts for Stationary Source Projects Under CEQA When Serving as the Lead Agency*.¹ The guidance and policy rely on the use of performance-based standards, otherwise known as Best Performance Standards (BPS) to assess significance of project specific greenhouse gas emissions on global climate change during the environmental review process, as required by CEQA. To be determined to have a less-than-significant individual and cumulative impact with regard to GHG emissions, projects must include BPS sufficient to reduce GHG emissions by 29 percent when compared to Business As Usual (BAU) GHG emissions. Per the SJVAPCD, BAU is defined as projected emissions for the 2002-2004 baseline period. Projects which do not achieve a 29 percent reduction from BAU levels with BPS alone are required to quantify additional project-specific reductions demonstrating a combined reduction of 29 percent. Potential mitigation measures may include, but not limited to: on-site renewable energy (e.g. solar photovoltaic systems), electric vehicle charging stations, the use of alternative-fueled vehicles, exceeding Title 24 energy efficiency standards, the installation of energy-efficient lighting and control systems, the installation of energy-efficient mechanical systems, the installation of drought-tolerant landscaping, efficient irrigation systems, and the use of low-flow plumbing fixtures.

It should be noted that neither the SJVAPCD nor the County provide project-level thresholds for construction-related GHG emissions. Construction GHG emissions are a one-time release and are, therefore, not typically expected to generate a significant contribution to global climate change.

¹ San Joaquin Valley Air Pollution Control District. *Guidance for Valley Land-use Agencies in Addressing GHG*

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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IX. HAZARDS AND HAZARDOUS MATERIALS.

Would the project:

- | | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544-square-foot single-family residence for the priest.

- a-g) The project site is not located on a site which is included on a list of hazardous materials sites compiled pursuant to the government Code Section 65962.5 and, as a result would not create significant hazard to the public or the environment. The project would not result in, create or induce hazards and associated risks to the public. Construction activities for the project typically involve the use of toxic or hazardous materials such as paint, fuels, and solvents. Construction activities would be subject to federal, state, and local laws and requirements designed to minimize and avoid potential health and safety risks associated with hazardous materials. The proposed application would not result in, create, or induce hazards and associated risks to the public as no significant impacts are anticipated related to the transport, use, or storage of hazardous materials during construction activities. Additionally, the site is not located within an Airport Land Use Plan (ALUP) or within 2-miles of an existing airport. The project site does not physically interfere with an emergency evacuation plan or affect wildlands. Therefore, the project's impacts are less than significant.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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X. HYDROLOGY AND WATER QUALITY.

Would the project:

a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i) result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) impede or redirect flood flows?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a-e) A referral has been sent to the Department of Public Works, Flood Control Division for comments. If approved, any new developments will have to comply with Development Title Section 9-1605 regarding flood hazards. At the time of future development, all new construction and the substantial improvement of any structure in the area of special flood hazard shall be elevated a minimum of 13-feet or flood-proofed in accordance to San Joaquin County Development Title Section 9-703.130. Additionally, a grading and building permit drawings that must be stamped and signed by Registered Design Professional will be required as a Condition of Approval at the time of construction. These plans must be supported by calculations and are standard requirements.

The project site is located approximately 2 miles southeast of Old River. Additionally, the project site falls within 0.30 miles of the boundaries of Naglee-Burk Irrigation District. The developer shall provide drainage facilities in accordance with the San Joaquin County Development Standards. Retention basins shall be fenced with six (6) foot high chain link fence equal when the maximum design depth is 18 inches or more. Required retention basin

capacity shall be calculated and submitted with a drainage plan for review and approval, prior to release of building permit, as required by Development Title Section 9-606.010(g) Additionally, as a Conditions of Approval, the applicant is required to file a Storm Water Pollution Prevention Plan (SWPPP) with the Development of Public Works and a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and comply with the State "General Permit for Storm Water Discharges Associated with Construction Activity." The Waste Discharge Identification Number (WDID), issued by SWRCB, shall be submitted to Public Works prior to release of the building permit. Therefore, no impacts are anticipated to groundwater, Old River, or the Naglee-Burk Irrigation District Facilities.

The project will not substantially decrease groundwater supplies or interfere substantially with groundwater recharge, substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or impede or redirect flood flows. Additionally, the proposed project would not risk release of pollutants in flood hazard, tsunami, or seiche zones. As a result, the projects impacts are less than significant with mitigation incorporation.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XI. LAND USE AND PLANNING.

Would the project:

- | | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| a) Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest. The project is not a growth-inducing action nor is it in conflict with any existing or planned uses. The project site is zoned R-L (Low Density Residential) with an underlying General Plan designation of R/L (Low density Residential), and the Religious Assembly-Neighborhood use type may be conditionally permitted in the R-L zone subject to an approved Site Approval application.

- a) The project does not include construction of any feature that would impair mobility within an existing community, nor does it include removal of a means of access between a community and outlying area. The project site is not used as a connection between established communities. Instead, connectivity with the area surrounding the project is facilitated via local roadways. Therefore, the project will not result in dividing an established community.
- b) The project site is located in the Secondary Zone of the Delta, and must meet the requirements of the Delta Stewardship Council's Delta Plan and the Delta Protection Commission's Land Use and Resource Management Plan. Referrals were sent to the Delta Protection Commission and Delta Stewardship Council for review on February 22, 2023.

The project was reviewed under the Delta Stewardship Council's Delta Plan Covered Actions Checklist to determine if the project is a Covered Action, and subject to the Plan. A Covered Action is a development project within the boundary of the Delta Zone subject to the California Environmental Quality Act, carried out or approved by a public agency, which will have a significant impact on the Delta Stewardship Council's coequal goals, or the implementation of a government sponsored flood control program in the Delta. Pursuant to the Delta Stewardship Council's Delta Plan, the Delta Stewardship Council's coequal goals are to provide a reliable supply of water and an improved and restored Delta ecosystem, and a government sponsored flood control program is any State or federal strategy, project, approval, funding, or other effort that is intended to reduce the likelihood and/or consequence of flooding of real property and/or improvements, including risks to people, property, and State interests in the Delta, that is carried out pursuant to applicable law.

The project, although not statutorily exempt from regulation, does not meet the definition of a Covered Action under the Delta Stewardship Council Delta Plan because not all of the Screening Criteria apply. Specifically, Screening Criteria Number 4 is not applicable to the project, as noted in the analysis below:

The plan, program, or project:

1. Is "...a plan, program, or project as defined pursuant to Public Resources Code Section 21065."

Yes, the proposed project is an activity defined under Public Resources Code Section 21065 because the application will require approval from the San Joaquin County Community Development Department and a component of the project is grading and construction of buildings, which will result in a direct or indirect physical change in the environment.

2. Will occur, in whole or in part, within the boundaries of the Delta or Suisun Marsh.

Yes, the location of the project site is within the boundaries of the Delta Secondary Zone as defined in the Delta Plan.

3. Will be carried out, approved, or funded by the State or a local public agency.

Yes, the proposed project will require approval from a local public agency, the San Joaquin County Community Development Department.

4. Will have a significant impact on the achievement of one or both of the coequal goals or the implementation of a government-sponsored flood control program to reduce risks to people, property, and State interests in the Delta;

No, the project will not have a significant positive or negative impact on the achievement of one or both of the coequal goals or the implementation of a government-sponsored flood control program to reduce risks to people, property, and the State interests in the Delta. The proposed construction of a religious assembly, which is conditionally permitted in the R-L zone with a Site Approval will not have a significant impact on the achievement of the coequal goals related to the Delta ecosystem or the reliability of the water supply. Additionally, the project is located in an area with a government sponsored flood control program to reduce risks to people, property, and State interests in the Delta. However, the project will not impact implementation because prior to release of the building permit, all new construction and the substantial improvement of any structure or tanks in the area of special flood hazard shall be elevated or floodproofed subject to review by Public Works.

Because all four Screening Criteria cannot be met, the project, the project does not meet the definition of a Covered Action for the purposes of the Delta Plan. Therefore, the project is not subject to the regulatory policies of the Delta Plan.

The project was also reviewed for impacts based on the Delta Protection Commission's Land Use and Resource Management Plan. The policies in this document apply to the Primary Zone of the Delta and projects in the Secondary Zone that may have an impact on the Primary Zone. This project is located within the Secondary Zone, approximately 2.1 miles from the boundary of the Primary Zone and is not anticipated to have any impact on the Primary Zone. Therefore, the project is not subject to the policies of the Delta Protection Commission's Land Use and Resource Management Plan.

The zoning and the General Plan for the project site will remain the same if the project is approved. The Religious Assembly use type is conditionally permitted in the R-L zone (Low Density Residential) with an approved Site Approval. The 2035 General Plan states that compatible public, quasi-public, and special uses are allowed in the R/L designation. The proposed project will not conflict with any existing or planned uses or set a significant land use precedent. The proposed project is not in conflict with any Master Plans, Specific Plans, or Special Purpose Plans, or any other applicable plan adopted by the County. As a result, the project's impacts to land use and planning considerations are anticipated to be less than significant.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XII. MINERAL RESOURCES.

Would the project:

- | | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Result in the loss of availability of a locally- important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square- foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest. The project is not a growth-inducing action nor is it in conflict with any existing or planned uses. The Religious Assembly-Neighborhood use type may be conditionally permitted in the R-L (Low Density Residential) zone subject to an approved Site Approval application.

- a, b) The proposed project will not result in the loss of availability of a known mineral resource of a resource recovery site because the site does not contain minerals of significance or known mineral resources. San Joaquin County applies a mineral resource zone (MRZ) designation to land that meets the significant mineral deposits definition by the State Division of Mines and Geology. The project site is not located in a designated mineral resource zone. Additionally, there currently is no mining activity in the area, and the surrounding area is developed with agriculture uses and scattered residences. Therefore, the proposed project applications will have less than a significant impact on the availability of mineral resources or mineral resource recovery sites within San Joaquin County.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XIII. NOISE.

Would the project result in:

- | | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Generation of excessive ground borne vibration or ground borne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) For a project within the vicinity of a private airstrip or an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest. Typical activities such as worship services associated with a religious assembly will be conducted entirely within buildings.

- a-c) Pursuant to Chapter 15 Noise of the 2035 General Plan Background Report, 38 feet of the southern boundary of the project parcel lies within the sixty-five decibel (65 dB) noise contour of W. Larch Road. The nearest single-family residence is located approximately 5 feet east of property line. The proposed Prayer Hall is approximately 37 feet from this residence. Development Title Section 9-1025.9 lists the Residential use type as a noise sensitive land use. Development Title Section Table 9-1025.9 Part II states that the maximum sound level for stationary noise sources during the daytime is 70 dB 65 dB for nighttime. This applies to outdoor activity areas of the receiving use or applies at the lot line if no activity area is known. Additionally, noise from construction activities is exempt from noise standards provided the construction occur no earlier than 6:00 A.M. and no later than 9:00 P.M. The proposed project would be subject to these Development Title standards. A 6-foot masonry wall will be included as a Condition of Approval which will provide a barrier between the religious assembly and adjacent residential uses, and aid in land use compatibility. This is consistent with the requirement of Development Title Section 9-1022.4(d) which states that a masonry wall 6 to 7 feet in height is required for projects that abut a residential zone, or an area shown in the General Plan for residential use. Therefore, noise impacts from the proposed project are expected to be less than significant.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XIV. POPULATION AND HOUSING.

Would the project:

- | | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a-b) The project site is currently vacant. The proposed project includes construction of a priest home, but no additional residences. Additionally, the project does not include the demolition of any residences. Therefore, the project will not provide substantial population growth in the area or displace substantial numbers of existing people or housing or necessitate the construction of replacement housing. As a result, the project is expected to have a less than significant impact on population and housing.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XV. PUBLIC SERVICES.

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Impact Discussion:

A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

a) The existing fire protection is provided by the Tracy Rural, existing law enforcement protection is provided by the San Joaquin County Sheriff's Department, and existing school services are provided by the Tracy Unified School District. There is a park 1650 feet east of the project location and none are required to be provided. Therefore, the project will not result in the need for additional fire protection, police protection, schools, parks, or other public facilities.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XVI. RECREATION.

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

a-b) The proposed project is located 1640 feet west from an existing neighborhood and regional park. The proposed construction of a priest's home as part of the project will not substantially increase the use of existing neighborhood and regional parks. Additionally, the project does not include recreation facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment. Impacts to recreation opportunities are anticipated to be less than significant.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XVII. TRANSPORTATION.

Would the project:

- | | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| a) Conflict with a program plan, ordinance, or policy addressing the circulation system, including transit, roadways, bicycle, and pedestrian facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a) The project was referred to the Department of Public Works on February 27, 2023, for review. California Environmental Quality Act (CEQA) Guidelines section 15064.3 requires Vehicle Miles Traveled be evaluated as a part of the environmental review. The Department of Public Works has reviewed the VMT for the proposed project and has determined the project will generate less than 110 vehicle trips per day. Therefore, the project is considered a small project according to the Technical Advisory on Evaluating Transportation Impacts in CEQA, as published by the California Office of Planning and Research (OPR) in December 2018. According to this OPR guidance, a small project that generates or attracts "fewer than 110 trips per day generally may be assumed to cause a less-than-significant transportation impact" with regards to Vehicle Miles Traveled (VMT). Thus, the proposed project is presumed to have a less than significant impact on VMT. As a result, the project will have a less than significant impact on transportation.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XVIII. TRIBAL CULTURAL RESOURCES.

a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- | | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot a Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a) Project referrals were sent to the United Auburn Indian Community (UAIC), North Valley Yokuts Tribe, and the Buena Vista Rancheria for review related to potential Tribal Cultural Resources (TCR) on February 27, 2023. Buena Vista Rancheria responded on March 22, 2023. If any suspected TCR are discovered during ground disturbing construction activities, all work shall cease within 100 feet of the find. A tribal representative from culturally affiliated tribes shall be immediately notified and shall determine if the find is a TCR pursuant to Public Resources Code Section 21074. The tribal representative will make recommendations regarding the treatment of the discovery. Preservation in place is the preferred alternative under CEQA and UAIC protocols, and every effort must be made to preserve the resources in place, including through project redesign. Work at the discovery location cannot resume until all necessary investigation and evaluation of the discovery under the requirements of CEQA, including AB 52, has been satisfied. The contractor shall implement any measures deemed by the lead agency to be necessary and feasible to preserve in place, avoid, or minimize impacts to the resource, including but not limited to, facilitating the appropriate tribal treatment of the find, as necessary. This has been incorporated into the project's Conditions of Approval.

Additionally, if human remains are discovered during any ground disturbing activities, all work shall stop immediately in the vicinity (e.g. 100 feet) of the finds until they can be verified. The County Coroner shall be immediately contacted in accordance with Health and Safety Code section 7050.5(b). Protocol and requirements outlined in Health and Safety Code sections 7050.5(b) and 7050.5(c) as well as Public Resources Code section 5097.98 shall be followed. As a result of the Conditions of Approval for the discovery of TCRs and meeting the existing Health and Safety Code regulations, the impact to tribal cultural resources is anticipated to be less than significant.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XIX. UTILITIES AND SERVICE SYSTEMS.

Would the project:

- | | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a-e) The project proposes on-site for water, sewer, and storm drainage. The project will be required to keep all storm drainage on-site, and the project proposes on on-site stormwater retention pond. The Department of Public Works will require the developer providing drainage facilities in accordance with the San Joaquin County Development Standards. The project proposes an on-site well for potable water, and as a Condition of Approval the applicant must coordinate with the Environmental Health Department to determine if the on-site well can be classified as a Small Public Water System. As a result, the supplier must possess adequate financial, managerial, and technical capability to assure delivery of pure, wholesome, and potable drinking water in accordance with San Joaquin County Development Title, Sections 9-602.010 and 9-601.030 and C.C.R., Title 22, and Health and Safety Code, Section 116525 116570. The project also proposes an on-site septic system for wastewater disposal. As a Condition of Approval, a Soil Suitability/Nitrate Loading Study is required, and a wastewater disposal system is required to be constructed under permit with the Environmental Health Department based on the results of that Soil Suitability/Nitrate Loading Study. A Small Public Water System preliminary technical report to the California State Water Resources Control Board, Division of Drinking Water (water Board) prior to issuance of building permits and at least six months before initiating construction is also required. Therefore, the impact on public services will be less than significant.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XX. WILDFIRE.

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Substantially impair an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

- a-d) The project site is classified as a high and very high fire hazard severity zone pursuant to the San Joaquin Fire Severity Zone map. The project site is located in the Tracy Rural Fire District and project plans are referred to their department for review. The project proposes a 25-foot-wide driveway in accordance with fire road standards. Therefore, the proposed project is anticipated to have a less than significant impact related to wildfire hazards.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact	Analyzed In The Prior EIR
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XXI. MANDATORY FINDINGS OF SIGNIFICANCE

a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

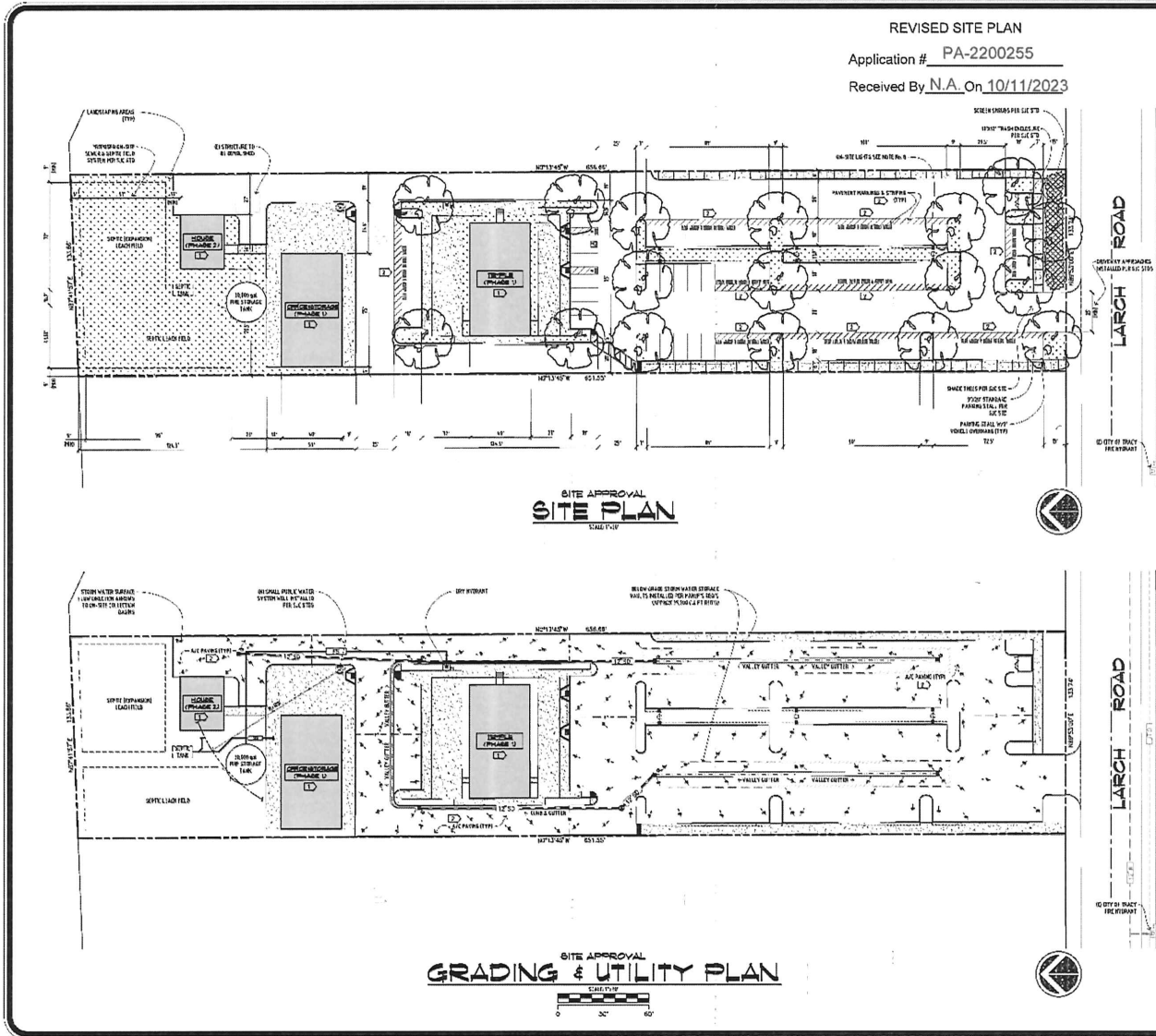
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Impact Discussion:

A Site Approval for a 7,544 square-foot Religious Assembly facility for a maximum occupancy of 50 attendees to be constructed in 2 phases over 5 years. Phase 1 proposes to construct a 3,000-square-foot prayer hall; a 3,000-square-foot storage and office space, and 17 parking spaces. Phase 2 proposes to construct a 1,544 -square-foot single-family residence for the priest.

a-c) Review of this project has not indicated any features which might significantly impact the environmental quality of the site and/or surrounding area. Mitigation measures have been identified in areas where a potentially significant impact has been identified and these measures, included as Conditions of Approval, will reduce these impacts to a less than significant level.



SITE DATA

NOTES

1. ZONE: R-1 (LOW DENSITY RESIDENTIAL)
2. GENERAL PLAN: AG 1 (LOW DENSITY RESIDENTIAL)
3. PROJECT OWNER: HONOLULU RAINBOW SAFETY SERVICES & SERVICES COMPANY
500 KALANANʻOHI DRIVE
SUITE 200, HONOLULU, HI 96813
4. DESIGNER: LINDSEY & COMPANY, INC.
1000 KALANANʻOHI DRIVE
SUITE 200, HONOLULU, HI 96813
5. PROPERTY ADDRESS: 1000 KALANANʻOHI DRIVE
SUITE 200, HONOLULU, HI 96813
6. ACCESSORY FACILITY: 20-40-2
7. UTILITIES: WATER: ON-SITE WELL
SEWER: ON-SITE SEWER SYSTEM
STORMWATER: ON-SITE STORMWATER COLLECTION SYSTEM
GAS: ON-SITE GAS SERVICE
ELECTRICITY: ON-SITE ELECTRIC SERVICE
8. EXISTING UTILITIES: EXISTING UTILITIES ARE SHOWN AS SHOWN. ALL UTILITIES SHALL BE DELETED AND RELOCATED TO THE PROPOSED UTILITIES. ALL UTILITIES SHALL BE DELETED AND RELOCATED TO THE PROPOSED UTILITIES. ALL UTILITIES SHALL BE DELETED AND RELOCATED TO THE PROPOSED UTILITIES.
9. ALL WORK SHALL BE DONE TO THE STANDARD OF THE TRADE.
10. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE STANDARD OF THE TRADE.
11. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE STANDARD OF THE TRADE.
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19. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE STANDARD OF THE TRADE.
20. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE STANDARD OF THE TRADE.

AREAS & FINISHES

1. SITE AREA	A: 1000 SQ FT	B: 1000 SQ FT	C: 1000 SQ FT
2. BUILDING AREA	A: 1000 SQ FT	B: 1000 SQ FT	C: 1000 SQ FT
3. LOT COVERED	A: 1000 SQ FT	B: 1000 SQ FT	C: 1000 SQ FT
4. SITE DEVELOPMENT AREA	A: 1000 SQ FT	B: 1000 SQ FT	C: 1000 SQ FT
5. PARKING AREA	A: 1000 SQ FT	B: 1000 SQ FT	C: 1000 SQ FT



PLANNING DEPT. INFORMATION

DATE: 10/23/22
DRAWN BY: MQH
CHECKED BY: SFS
JOB NO: 22-045

SA.1
OF 1 SHEETS

TRACY HINDS ENGINEERING
1000 KALANANʻOHI DRIVE
SUITE 200, HONOLULU, HI 96813
TEL: (808) 551-1111
WWW.TRACYHINDS.COM

Mitigation Monitoring and Reporting Plan

Project #	PA-2200255							
Date	11/15/2023							
Impact	Mitigation Measure/Condition	Type of Review		Agency for Monitoring and Reporting Compliance	Action Indicating Compliance or Review	Verification of Compliance or Annual Review of Conditions		
		Monitoring	Reporting			By	Date	Remarks
IV. Biological Resources	Participation in the SIMSCP	X		San Joaquin Council of Governments	Certificate of Payment and Signed ITMM			
XVIII. Tribal Cultural Resources	Notify Buena Vista Rancheria if TCR are encountered		X	Buena Vista Rancheria				