



Referral Early Consultation

Date: January 12, 2024
To: Distribution List (See Attachment A)
From: Emily DeAnda, Assistant Planner
 Planning and Community Development
Subject: GENERAL PLAN AMENDMENT, REZONE, AND PARCEL MAP
 APPLICATION NO. PLN2022-0085 – WESTLEY TRIANGLE TRUCK STOP
Respond By: January 29, 2024

******PLEASE REVIEW REFERRAL PROCESS POLICY******

The Stanislaus County Department of Planning and Community Development is soliciting comments from responsible agencies under the Early Consultation process to determine: a) whether or not the project is subject to CEQA and b) if specific conditions should be placed upon project approval.

Therefore, please contact this office by the response date if you have any comments pertaining to the proposal. Comments made identifying potential impacts should be as specific as possible and should be based on supporting data (e.g., traffic counts, expected pollutant levels, etc.). Your comments should emphasize potential impacts in areas which your agency has expertise and/or jurisdictional responsibilities.

These comments will assist our Department in preparing a staff report to present to the Planning Commission. Those reports will contain our recommendations for approval or denial. They will also contain recommended conditions to be required should the project be approved. Therefore, please list any conditions that you wish to have included for presentation to the Commission as well as any other comments you may have. Please return all comments and/or conditions as soon as possible or no later than the response date referenced above.

Thank you for your cooperation. Please call (209) 525-6330 if you have any questions.

Applicant: Daniel Barnes, RMK Design, Inc.
Project Location: 7001 and 7003 South McCracken Road, between North Interstate-5 and the California Aqueduct, in the Westley area.
APN: 016-036-028
Williamson Act Contract: N/A
General Plan: Agriculture
Current Zoning: General Agriculture (A-2-40)

Project Description: Request to amend the General Plan and zoning designations of a 50± acre parcel from Agriculture and General Agriculture (A-2-40) to Planned Development (P-D), and to subdivide the parcel into three parcels (16.0±, 24.0±, and 10.1± acres in size), to allow for a cargo container storage yard, a truck stop and a church. The parcel is currently under an active code enforcement case as an unpermitted cargo container storage yard. An amendment to the General Plan designation and rezone is required to bring the project site into compliance.

The project site is currently developed with a 1,752± square-foot manufactured dwelling and 400± square-foot carport. Proposed Parcel 1 is 16.0± acres in size and contains the existing manufactured dwelling and carport which are proposed to be demolished to allow the development of a cargo container storage depot yard consisting of 764 asphalt stalls for the storage of cargo

containers for use by various transportation companies. The cargo containers will be stacked two-high by large forklift tractors for a total storage capacity of 1,528 cargo containers and will be stored on-site awaiting transportation to other facilities. Goods to be contained within the cargo containers will include general goods such as, dry goods, passenger vehicle batteries, or other similar commodities. Hours of operation for the cargo container storage yard will be 24 hours a day, seven days a week.

Proposed Parcel 2 is 24.0± acres in size and is proposed to be developed with a truck stop consisting of overnight parking and a single-story, 28±-foot-tall, 14,869± square-foot commercial building. The commercial building will be accessible by the traveling public and will contain: a semi-truck wash area; a repair shop for semi-truck repairs with a tire storage area; an office and employee breakroom area; restrooms; and convenience market. The applicant proposes to develop an asphalt lot containing 253± parking stalls for overnight parking of semi-trucks used for the hauling of a variety of products including commercial and agricultural commodities, and hazardous materials. Hours of operation for the truck parking, repair shop services and convenience market will be 24 hours a day, seven days a week. The applicant anticipates employing 15-20 employees for the repair shop and convenience market uses. Additionally, a 400± square-foot security booth will also be constructed adjacent to the eastern property line. Three security guards for the project site will be present 24 hours a day seven days a week. Total employee vehicle trips for the uses on Proposed Parcel 2 will be a maximum of 23 per-day.

Proposed Parcel 3 is 10.08± acres in size and is proposed to be developed with a future 10,000± square-foot church. The church is anticipated to have 75-100 daily attendees Monday through Saturday and a maximum of 300 attendees on Sunday. The church will operate seven days a week. Activities for the church will include worship services and prayer groups. The church will also function as an event center with a 3,500± square-foot social hall and 1,500± square-foot kitchen for food services, to be used primarily for weddings, and will be available for rent by both members of the church and the general public. While included in the rezone for a new Planned Development zoning district, the applicant has requested that the development of the church on proposed Parcel 3 be subject to the approval of a Conditional Use Permit by the Stanislaus County Planning Commission after the development of proposed Parcels 1 and 2. The use permit will evaluate site specific requirements for a church and potential impacts it may create.

As part of the proposed project, the applicant is proposing an agricultural buffer consisting of a six-foot-tall perimeter chain-link fence with privacy slats be placed along the north, west, and east property lines of the project site. In addition to the proposed fencing, evergreen trees are proposed to be installed along the north and west portions of the project site, adjacent to the surrounding agricultural-zoned parcels. Additionally, the applicant proposes to install shade trees and evergreen ground cover around the proposed building footprint, and palm trees along South McCracken Road frontage for Proposed Parcel 2. The applicant proposes to cover approximately 505,771 square feet of the southern portion of the project site across Proposed Parcels 2 and 3 with either gravel or crushed almond shells. Proposed signage for the project site consists of a 35-foot-tall pylon sign for the traveling public on State Route 33 and a six-foot-tall monument sign to be located on Proposed Parcel 2 for all uses on the project site.

Stormwater for the entire development will be managed via two stormwater retention basins. One basin will be developed on the northwest portion of Proposed Parcel 3, and the second basin will be developed on the northeast portion of Proposed Parcel 2. There are two existing PG&E easements that are located across the project site; the existing 15-foot-wide easement will be located on the northeastern portions of each proposed parcel; and a 50-foot-wide easement will run along the western property lines of Proposed Parcel 2 and 3, and the southern property line of Proposed Parcel 2. An existing drainage easement (which is for the purposes of maintaining stormwater coming off Interstate-5) is located on the southwestern property line of Proposed Parcel 2 and a telephone easement is located across the northeastern portions of Proposed Parcels 1 and 2, and the northeastern corner of Proposed Parcel 3. The truck stop on Proposed Parcel 2, and the church on Proposed Parcel 3 will each be served by private septic systems and wells; Proposed



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

1010 10TH Street, Suite 3400, Modesto, CA 95354

Planning Phone: (209) 525-6330 Fax: (209) 525-5911

Building Phone: (209) 525-6557 Fax: (209) 525-7759

Parcel 1, which will be developed with the cargo container storage yard, will not be developed with or have any septic or water service connections for the site.

Proposed Parcel 2 will take direct access from County-maintained South McCracken Road via a 40-foot-wide driveway, while Proposed Parcels 1 and 3 will gain access to South McCracken Road via a proposed 26-foot-wide irrevocable reciprocal access easement from Proposed Parcel 2. The applicant anticipates the grading and construction to take place in two phases. The first phase will include the development of Proposed Parcels 1 and 2, to begin upon project approval. The second phase, for development of the church site on Proposed Parcel 3, will begin with submittal of land use entitlements, will occur prior to 2025.

**Full document with attachments available for viewing at:
<http://www.stancounty.com/planning/pl/act-projects.shtm>**



GENERAL PLAN AMENDMENT, REZONE, AND PARCEL MAP APPLICATION NO. PLN2022-0085 – WESTLEY TRIANGLE TRUCK STOP
Attachment A

Distribution List

X	CA DEPT OF CONSERVATION Land Resources		STAN CO ALUC
X	CA DEPT OF FISH & WILDLIFE		STAN CO ANIMAL SERVICES
X	CA DEPT OF FORESTRY & FIRE PROTECTION (CAL FIRE)	X	STAN CO BUILDING PERMITS DIVISION
X	CA DEPT OF TRANSPORTATION DIST 10	X	STAN CO CEO
X	CA OPR STATE CLEARINGHOUSE		STAN CO CSA
X	CA RWQCB CENTRAL VALLEY REGION	X	STAN CO DER
X	CA DEPT OF WATER RESOURCES		STAN CO ERC
X	CEMETERY DISTRICT: PATTERSON	X	STAN CO FARM BUREAU
X	CENTRAL VALLEY FLOOD PROTECTION	X	STAN CO HAZARDOUS MATERIALS
	CITY OF:		STAN CO PARKS & RECREATION
	COMMUNITY SERVICES DIST:	X	STAN CO PUBLIC WORKS
X	COOPERATIVE EXTENSION		STAN CO RISK MANAGEMENT
X	COUNTY OF: SAN JOAQUIN	X	STAN CO SHERIFF
X	DER GROUNDWATER RESOURCES DIVISION	X	STAN CO SUPERVISOR DIST FIVE: C. CONDIT
X	FIRE PROTECTION DIST: WEST STANISLAUS	X	STAN COUNTY COUNSEL
X	GSA: DELTA-MENDOTA II	X	StanCOG
X	HOSPITAL DIST: DEL PUERTO HEALTHCARE DISTRICT	X	STANISLAUS FIRE PREVENTION BUREAU
X	IRRIGATION DIST: DEL PUERTO WATER DISTRICT	X	STANISLAUS LAFCO
X	MOSQUITO DIST: TURLOCK	X	STATE OF CA SWRCB DIVISION OF DRINKING WATER DIST. 10
X	STANISLAUS COUNTY EMERGENCY MEDICAL SERVICES		SURROUNDING LANDOWNERS
	MUNICIPAL ADVISORY COUNCIL:		INTERESTED PARTIES
X	PACIFIC GAS & ELECTRIC	X	TELEPHONE COMPANY: AT&T
	POSTMASTER:	X	TRIBAL CONTACTS (CA Government Code §65352.3)
	RAILROAD:	X	US ARMY CORPS OF ENGINEERS
X	SAN JOAQUIN VALLEY APCD	X	US FISH & WILDLIFE
X	SCHOOL DIST 1: PATTERSON JOINT UNIFIED		US MILITARY (SB 1462) (7 agencies)
	SCHOOL DIST 2:	X	USDA NRCS
X	WORKFORCE DEVELOPMENT	X	SAN LUIS & DELTA-MENDOTA WATER AUTHORITY
X	STAN CO AG COMMISSIONER		

**STANISLAUS COUNTY
CEQA REFERRAL RESPONSE FORM**

TO: Stanislaus County Planning & Community Development
1010 10th Street, Suite 3400
Modesto, CA 95354

FROM: _____

**SUBJECT: GENERAL PLAN AMENDMENT, REZONE, AND PARCEL MAP APPLICATION
NO. PLN2022-0085 – WESTLEY TRIANGLE TRUCK STOP**

Based on this agency's particular field(s) of expertise, it is our position the above described project:

- _____ Will not have a significant effect on the environment.
- _____ May have a significant effect on the environment.
- _____ No Comments.

Listed below are specific impacts which support our determination (e.g., traffic general, carrying capacity, soil types, air quality, etc.) – (attach additional sheet if necessary)

- 1.
- 2.
- 3.
- 4.

Listed below are possible mitigation measures for the above-listed impacts: *PLEASE BE SURE TO INCLUDE WHEN THE MITIGATION OR CONDITION NEEDS TO BE IMPLEMENTED (PRIOR TO RECORDING A MAP, PRIOR TO ISSUANCE OF A BUILDING PERMIT, ETC.):*

- 1.
- 2.
- 3.
- 4.

In addition, our agency has the following comments (attach additional sheets if necessary).

Response prepared by:






Name Title Date

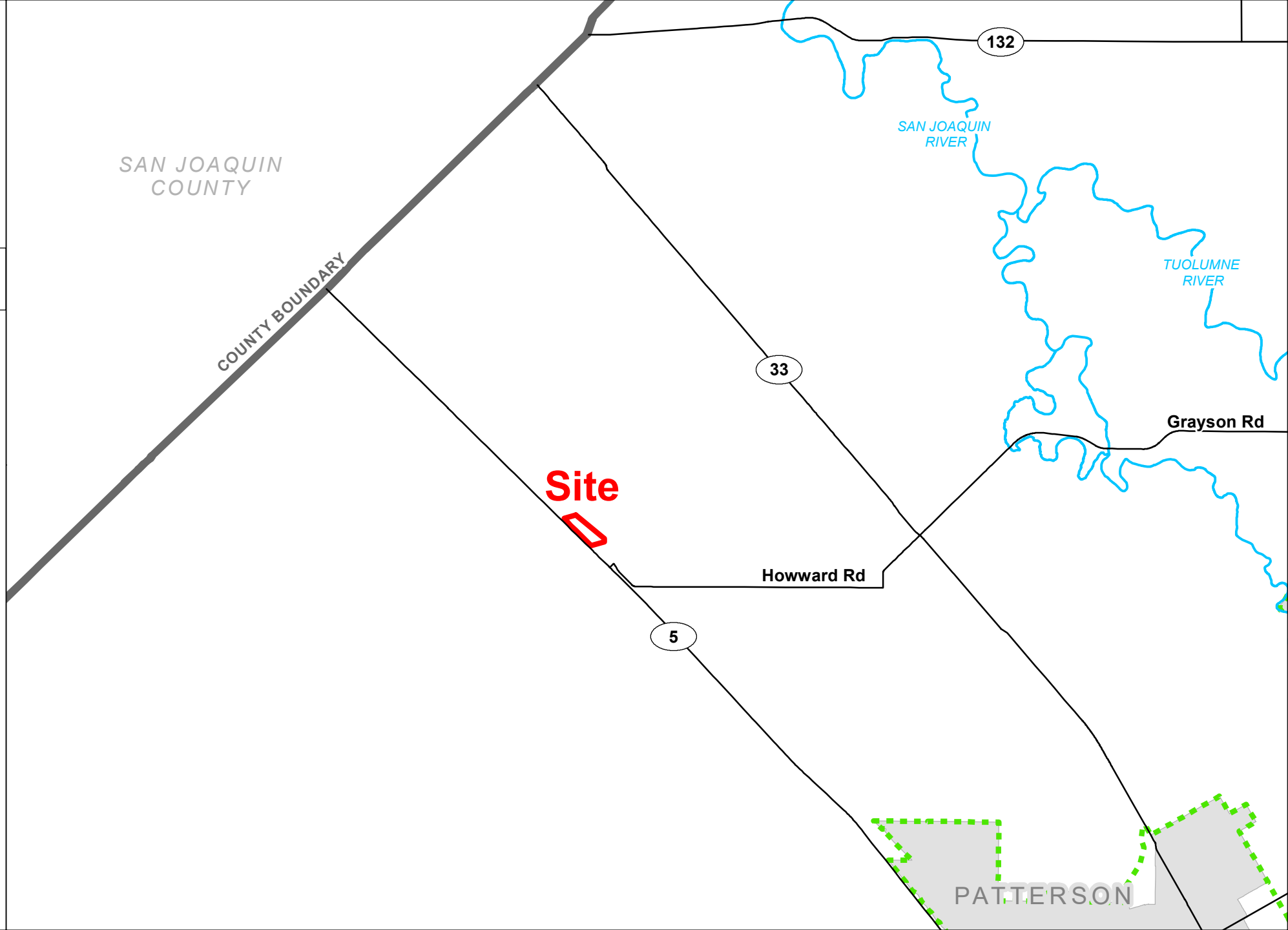
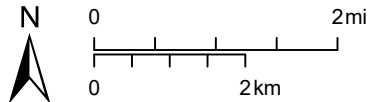
WESTLEY TRIANGLE TRUCK STOP

**GPA/REZ/PM
PLN2022-0085**

AREA MAP

LEGEND

-  Project Site
-  Sphere of Influence
-  City
-  Road
-  River




WESTLEY TRIANGLE TRUCK STOP

**GPA/REZ/PM
PLN2022-0085**

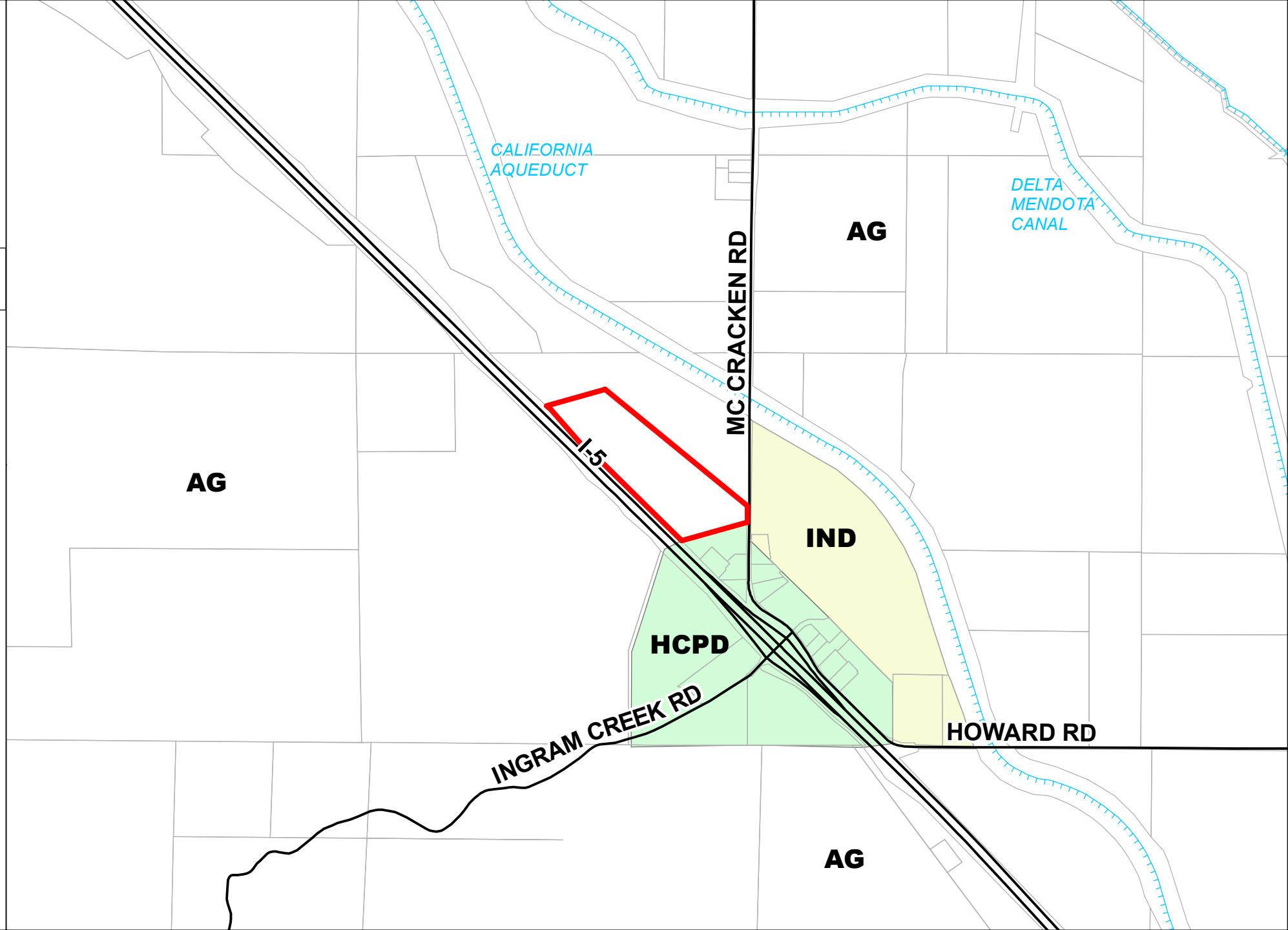
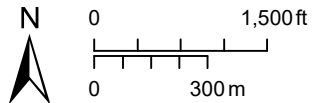
GENERAL PLAN MAP

LEGEND

-  Project Site
-  Parcel
-  Road
-  Canal

General Plan

-  Agriculture
-  Highway Commercial / Planned Development
-  Industrial



WESTLEY TRIANGLE TRUCK STOP


**GPA/REZ/PM
PLN2022-0085**

ZONING MAP

LEGEND

 Project Site

 Parcel

 Road  Canal

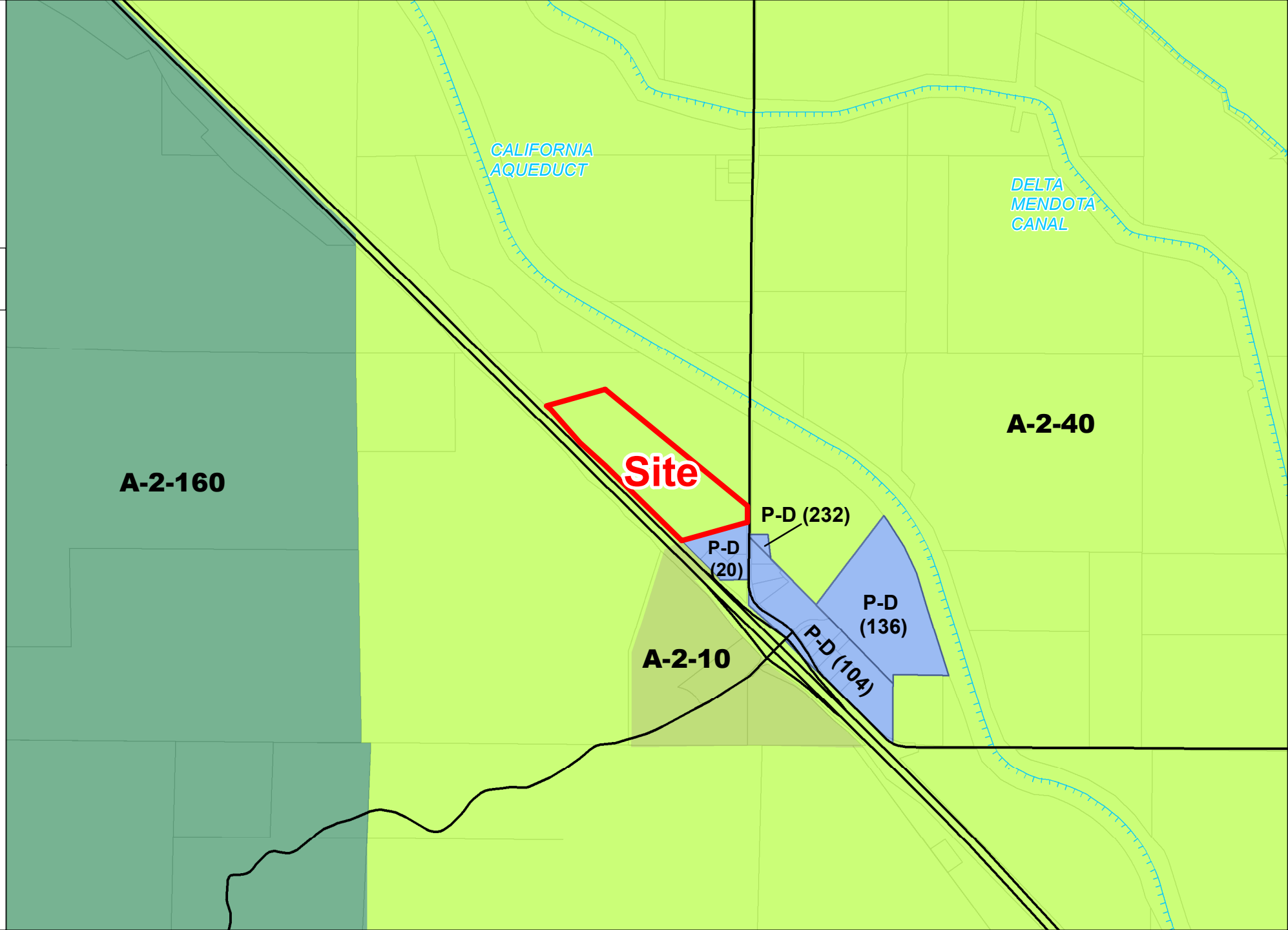
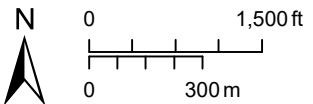
Zoning Designation

 General Agriculture 10 Acre

 General Agriculture 40 Acre

 General Agriculture 160 Acre

 Planned Development






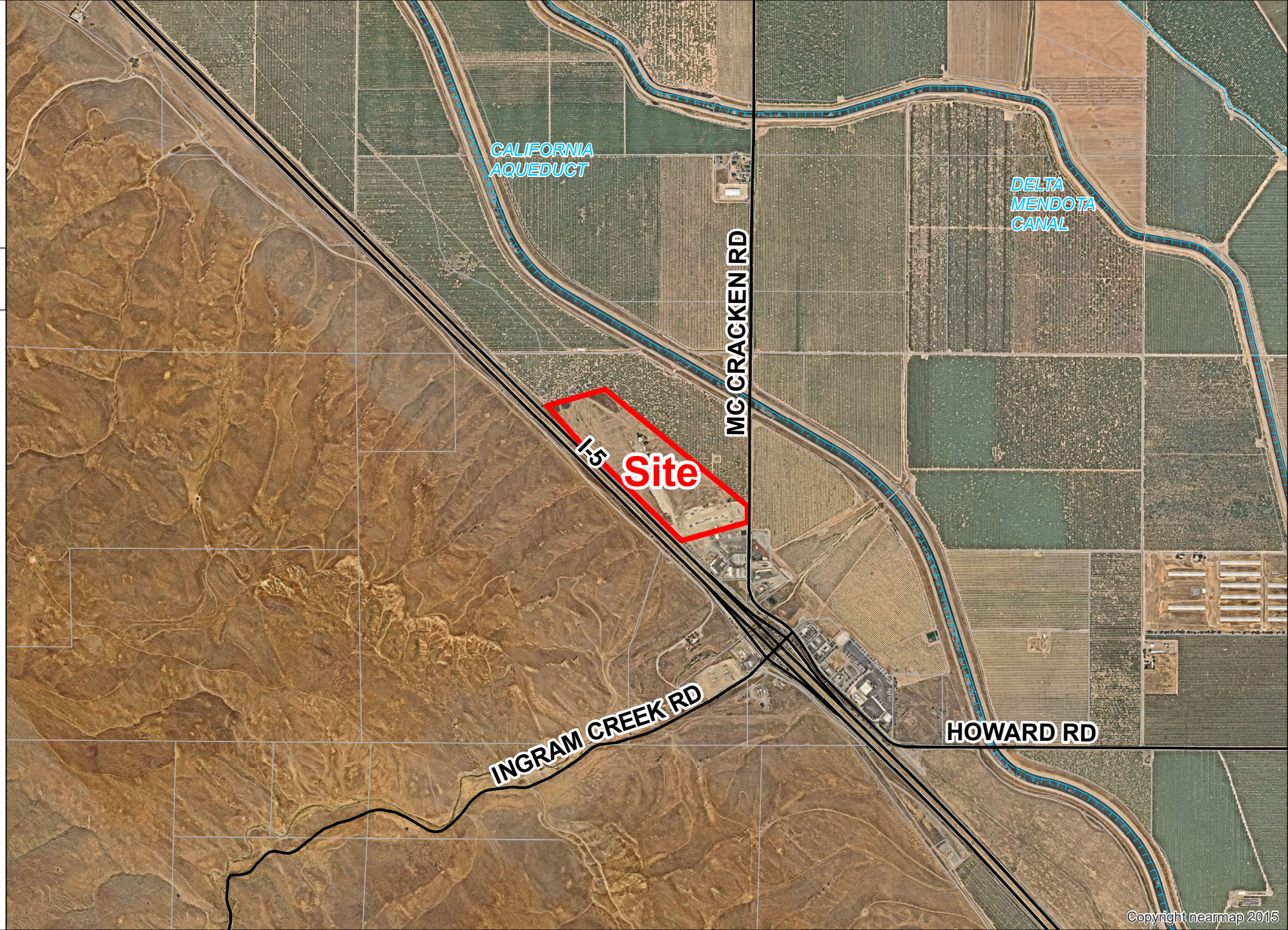
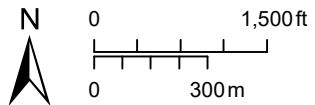
WESTLEY TRIANGLE TRUCK STOP

GPA/REZ/PM
PLN2022-0085

2023 AERIAL AREA MAP

LEGEND

-  Project Site
-  Road
-  Canal






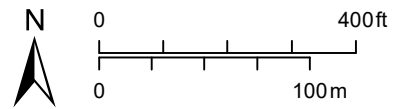
WESTLEY TRIANGLE TRUCK STOP

GPA/REZ/PM
PLN2022-0085

2023 AERIAL SITE MAP

LEGEND

-  Project Site
-  Road
-  Canal







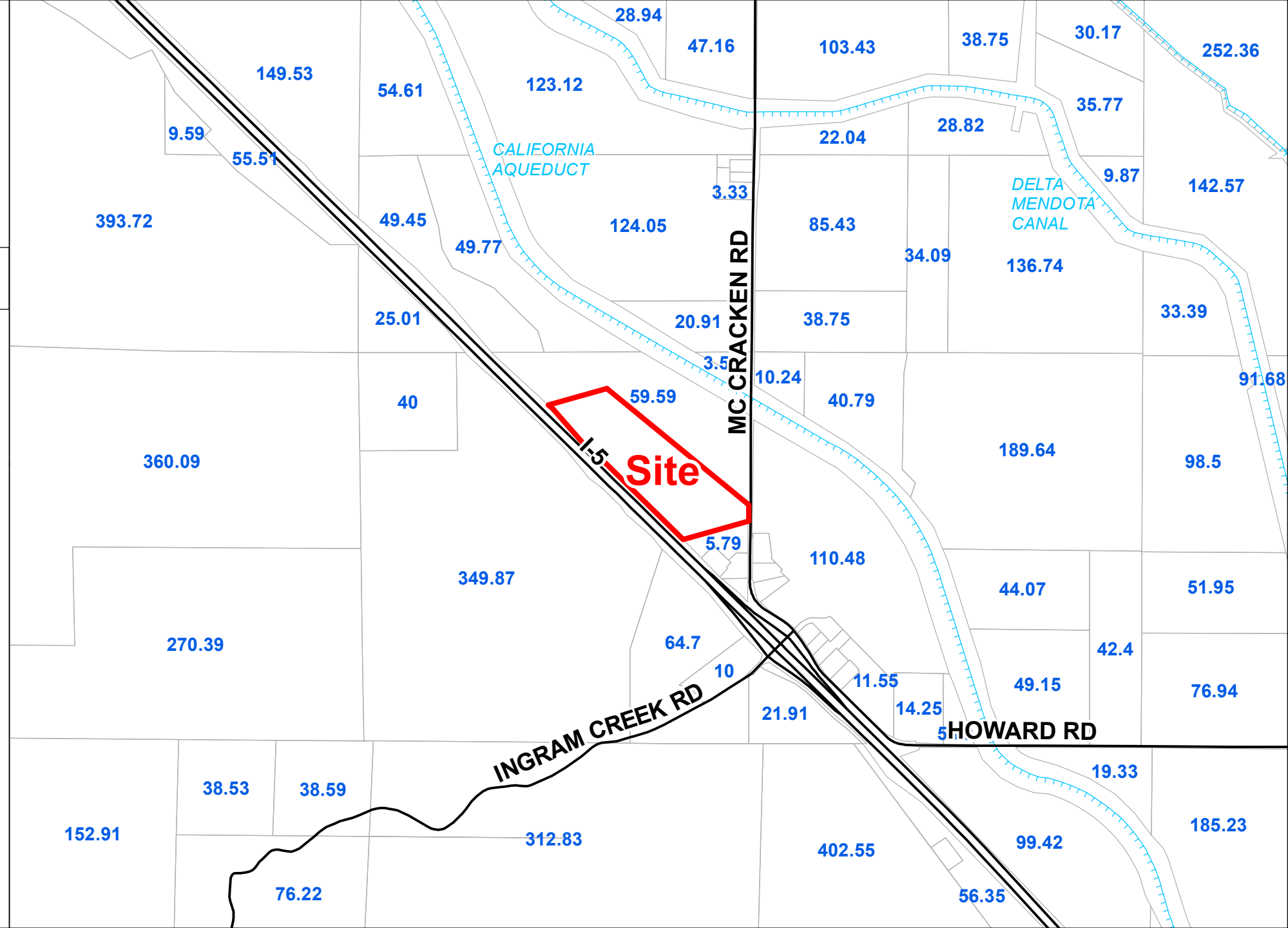
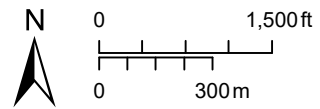
WESTLEY TRIANGLE TRUCK STOP

GPA/REZ/PM
PLN2022-0085

ACREAGE MAP

LEGEND

-  Project Site
-  Parcel/Acres
-  Road
-  Canal



BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE EAST SECTION LINE OF SECTION 35 BEARING NORTH 0° 22' 28" WEST, AS SHOWN ON PARCEL MAP NO. 54-31

LEGAL DESCRIPTION

PARCEL "A" AS SHOWN UPON THAT CERTAIN PARCEL MAP FILED FOR RECORD FEBRUARY 9, 2006, IN BOOK 54, PAGE 31 OF PARCEL MAPS, STANISLAUS COUNTY RECORDS.

EXCEPT THEREFROM: ALL OIL, GAS, PETROLEUM AND OTHER HYDROCARBON SUBSTANCES AND MINERALS WITHIN OR UNDERLYING SAID LAND, AS RESERVED IN DEEDS OF RECORD.

BENCHMARK

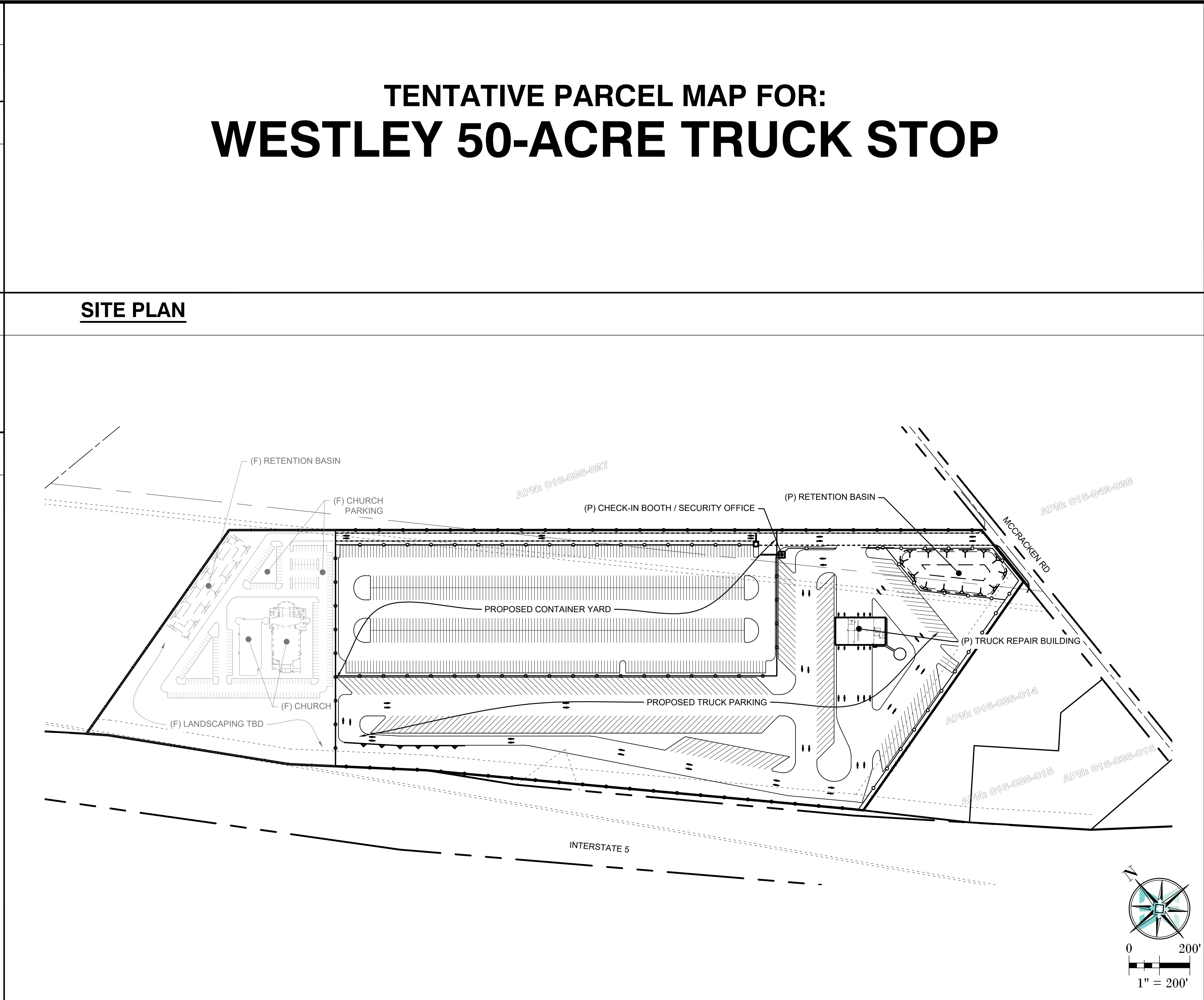
ELEVATION: 247.80 (NAVD 88)
 DESCRIPTION / LOCATION:
 M-31.5 (PID HS0835) NAVD88 LOCATED 28.4 MILES SE ALONG THE CA AQUADUCT FROM DELTA PUMP PLANT, IN THE TOP AND 1 FT EAST OF THE WEST END OF THE NORTH CONCRETE ABUTMENT OF McCRACKEN RD BRIDGE OVER THE AQUADUCT, 18 FT SOUTH OF THE CL NORTH LEVEE RD, AND 1 FT HIGHER THAN THE ROAD.

LEGEND

	EXISTING	PROPOSED
CENTERLINE	---	---
SECTION LINE	---	---
RIGHT OF WAY	---	---
PROPERTY LINE	---	---
EASEMENT	---	---
CHAIN LINK FENCE	---	---
WOOD FENCE	---	---
WIRE FENCE	---	---
MASONRY WALL	---	---
RETAINING WALL	---	---
DRAINAGE SWALE	N/A	---
GRADE BREAK	---	---
RIDGE	---	---
SAWCUT	N/A	---
EDGE OF PAVEMENT	---	---
ASPHALT DIKE	---	---
CURB, GUTTER, & SIDEWALK	---	---
TRUNCATED DOMES	N/A	---
INLINE CURB RAMP	---	---
CURB RAMP (TYPES VARY)	---	---
WATER	---	---
SANITARY SEWER	---	---
STORM DRAIN	---	---
FORCE MAIN	---	---
UTILITY STUB	---	---
GAS	---	N/A
ELECTRICAL	---	N/A
TELECOMMUNICATION	---	N/A
POWER POLE & OVERHEAD UTILITY	---	N/A
STREET LIGHT W/ ARM	---	---
POST TOP LIGHT	---	---
PARKING LOT LIGHT	---	---
ELECTRICAL BOX	---	---
BENCHMARK	---	---
MONUMENT	---	---
WHEEL STOP	---	---
BOLLARD	---	---
TREE	---	---
MONUMENT SIGN	---	---
CONTOURS	---	---

ABBREVIATION LIST

@	AT	FDC	FIRE DEPARTMENT CONNECTION
AB	AGGREGATE BASE	FG	FINISH GRADE
AC	ASPHALT CONCRETE	FL	FIRE HYDRANT
ADA	AMERICAN DISABILITIES ACT	FL-LP	PROJECT FLOWLINE LOWPOINT ELEV.
BC	BEGINNING OF CURVE	FS	FIRE SERVICE
BND	BOUNDARY	G	GROUND
BVC	BEGIN VERTICAL CURVE	GB	GRADE BREAK
BW	BOTTOM WALL	GW	GREASE WASTE
C&G	CURB AND GUTTER	HGL	HYDRAULIC GRADE LINE
CB	CATCH BASIN	HP	HIGH POINT
CI	CURB INLET	INV	INVERT
CIP	CAST IN PLACE PIPE	IRR	IRRIGATION
CL	CENTERLINE	LF	LINEAL FEET OR LINEAR FEET
CO	CLEAN OUT	LP	LOW POINT
CONC	CONCRETE	MAX	MAXIMUM
CR	CURB RETURN	MH	MAINTENANCE HOLE
CRN	ROAD CROWN	MIN	MINIMUM
DCA	DOUBLE CHECK ASSEMBLY	MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	NTS	NOT TO SCALE
DI	DROP INLET	O.C.	ON CENTER
DIA / Ø	DIAMETER	(P)	PROPOSED
DIP	DUCTILE IRON PIPE	P	POST INDICATOR VALVE
DO	DRIVE OVER	PL	PROPERTY LINE
DW	DOMESTIC WATER	PP	POWER POLE
DWY	DRIVEWAY	PRC	POINT OF REVERSE CURVATURE
EA	EACH	PT	POINT
EASE	EASEMENT	PUE	PUBLIC UTILITY EASEMENT
EC	END OF CURVE	PVC	POLYVINYL CHLORIDE PIPE
EG	EXISTING GROUND	R	RADIUS
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	RGRCP	RUBBER GASKET REINFORCED CONCRETE PIPE
EV	ELECTRIC VEHICLE	ROW/RW	RIGHT-OF-WAY
EVA	EMERGENCY VEHICLE ACCESS		
EVC	END OF VERTICAL CURVE		
E.W.	EACH WAY		
EX, (EX)	EXISTING		
(F)	FUTURE		



ABBREVIATION LIST

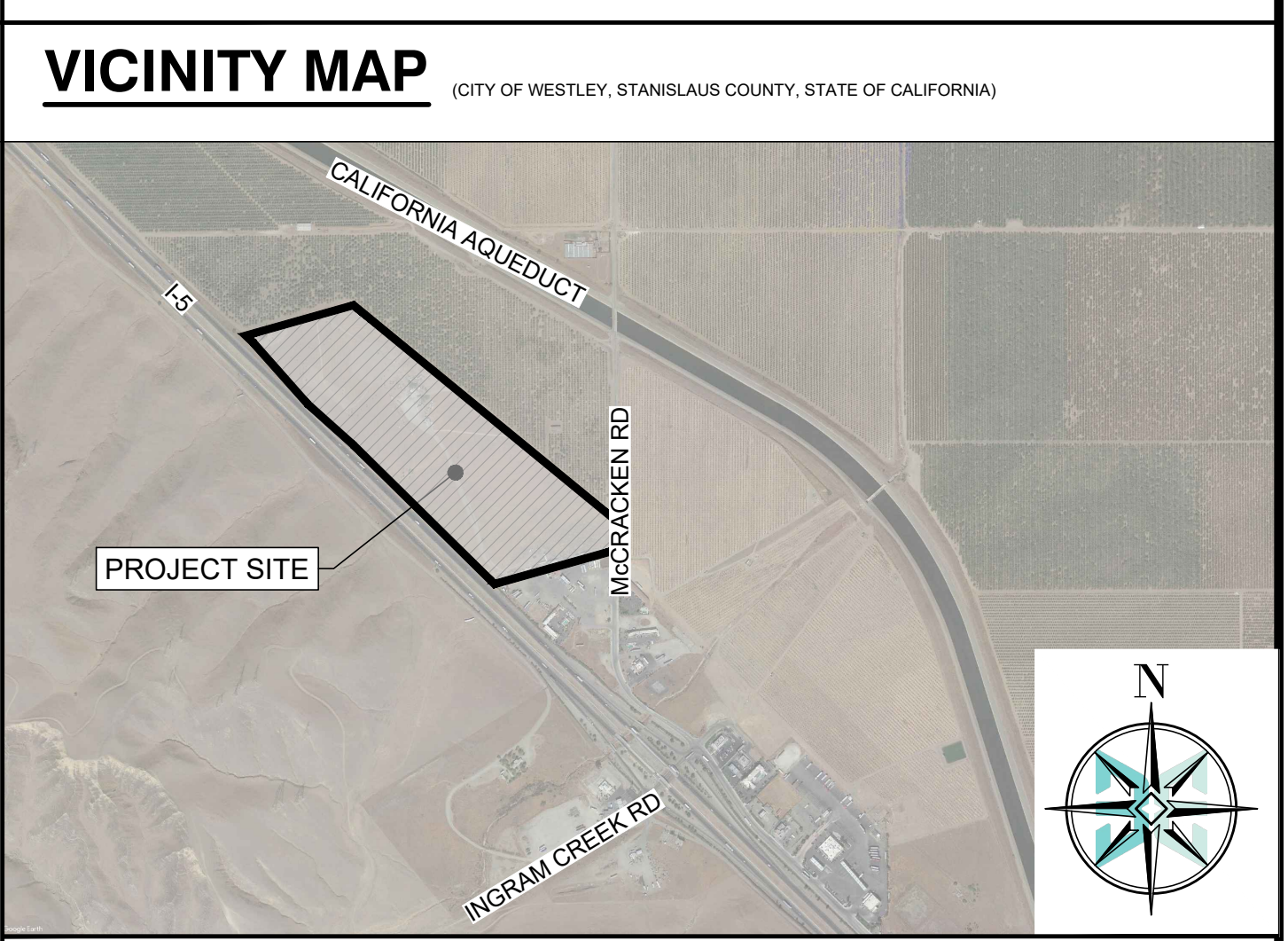
@	AT	FDC	FIRE DEPARTMENT CONNECTION
AB	AGGREGATE BASE	FG	FINISH GRADE
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CRN	ROAD CROWN	MIN	MINIMUM
DCA	DOUBLE CHECK ASSEMBLY	MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	NTS	NOT TO SCALE
DI	DROP INLET	O.C.	ON CENTER
DIA / Ø	DIAMETER	(P)	PROPOSED
DIP	DUCTILE IRON PIPE	P	POST INDICATOR VALVE
DO	DRIVE OVER	PL	PROPERTY LINE
DW	DOMESTIC WATER	PP	POWER POLE
DWY	DRIVEWAY	PRC	POINT OF REVERSE CURVATURE
EA	EACH	PT	POINT
EASE	EASEMENT	PUE	PUBLIC UTILITY EASEMENT
EC	END OF CURVE	PVC	POLYVINYL CHLORIDE PIPE
EG	EXISTING GROUND	R	RADIUS
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	RGRCP	RUBBER GASKET REINFORCED CONCRETE PIPE
EV	ELECTRIC VEHICLE	ROW/RW	RIGHT-OF-WAY
EVA	EMERGENCY VEHICLE ACCESS		
EVC	END OF VERTICAL CURVE		
E.W.	EACH WAY		
EX, (EX)	EXISTING		
(F)	FUTURE		

PROJECT TEAM

PROJECT MANAGER RMK Design, Inc. 5 East Main St (Suite B) Turlock, CA 95380 (209) 634-4832 Daniel Barnes dbarnes@rmkdesign.net	DEVELOPER RAJA CHANDI GROUP, INC. P.O. BOX 3820 Turlock, CA 95381 (209) 634-4832 Prabhjot Singh rj@rajachandi.net
CIVIL ENGINEER Barnes Engineering, Inc. 4634 Whisper Pl Turlock, CA 95382 (209) 765-4222 Daniel Barnes dbarnes@BarnesEng.com	OWNER TRIANGLE PROPERTY INC. P.O. BOX 3820 Turlock, CA 95381
SURVEYOR Van Ryn Engineering, Inc. 16766 Bernardo Center Dr., Suite 213 San Diego, CA 92128 (858) 521-8100 John Van Ryn john@vanryng.com	ARCHITECT AGC Design Concept 28524 Constellation RD Valencia, CA 91355 (213) 448-3911 Alex Cuevas acuevas@agdc.com
	LANDSCAPE ARCHITECT SHLA P.O. Box 2275 Oakdale, CA 95361 (209) 380-7376 Sam Harned sam@HarnedLA.com

SHEET INDEX

#	SHEET TITLE
C1.0	COVER SHEET
C2.0	TOPOGRAPHIC SURVEY & BOUNDARY PLAN
C3.0	CIVIL SITE PLAN
C4.0	TENTATIVE PARCEL MAP
A101	TRUCK REPAIR BUILDING FLOOR PLAN
A201	TRUCK REPAIR BUILDING EXT. ELEVATIONS
L0	PRELIMINARY LANDSCAPE PLAN OVERALL SITE
L1	PRELIMINARY LANDSCAPE PLAN SERVICE AREA
L2	PRELIMINARY LANDSCAPE PLAN
L3	PRELIMINARY LANDSCAPE PLAN
L4	PRELIMINARY LANDSCAPE PLAN
L5	PRELIMINARY LANDSCAPE PLAN



PROJECT INFORMATION

EXISTING CONDITIONS

SITE ADDRESS: 7003 SOUTH MCCRACKEN RD
 CITY/STATE/ZIP: PATTERSON, CA 95363
 APN: 016-036-028
 EXISTING PARCELS: 1
 EXISTING ACREAGE: ±50.05 ACRES
 FEMA FLOOD ZONE: ZONE X (AREA OF MINIMAL FLOOD HAZARD)

EXISTING ZONING: AG-40 AGRICULTURE
 CURRENT USE: VACANT

PROPOSED PROJECT

PROPOSED PARCELS:	ACREAGE	ZONING
PARCEL 1:	±16.00 ACRES	PD "CONTAINER YARD"
PARCEL 2:	±23.97 ACRES	PD "TRUCK PARKING / SERVICE STATION"
PARCEL 3:	±10.08 ACRES	PD "CHURCH"
TOTAL ACREAGE:	±50.05 ACRES	

PROPOSED USE: COMMERCIAL TRUCK PARKING / SERVICE STATION, CONTAINER YARD, CHURCH
 FUTURE USE: CHURCH

UTILITIES:

SEWER: ONSITE LEACHFIELD (OWNER)
 WATER: EXISTING ONSITE WELL (OWNER)
 STORM: ONSITE RETENTION BASIN (OWNER)
 GAS: PG&E (IF NEEDED)
 ELECTRIC: PG&E
 TELEPHONE: TBD
 CABLE TV: TBD

SURVEYOR'S NOTES:

- TOPOGRAPHY SHOWN IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED UNDER VAN RYN ENGINEERING, INC.
- IMPROVEMENTS SHOWN ON THIS VESTING TENTATIVE PARCEL MAP ARE SUBJECT TO REVISION IN FINAL DESIGN.
- THIS MAP IS FOR PLANNING PURPOSES ONLY. THE BEARINGS & DISTANCES SHOWN ON THE PROJECT BOUNDARY IS PLOTTED PER A FIELD SURVEY & RECORD MAPS. A RECORD OF SURVEY WILL BE PERFORMED TO RE-ESTABLISH THE TRUE PROPERTY CORNER, PRIOR TO THE FINAL PARCEL MAP.

COVER SHEET

WESTLEY 50-ACRE TRUCK STOP

7003 SOUTH MCCRACKEN RD
PATTERSON, CA

JOB #: RMK-0027
DATE: 12/15/2023
SCALE: AS SHOWN
DRAWN BY: DB
CHECKED BY: DB

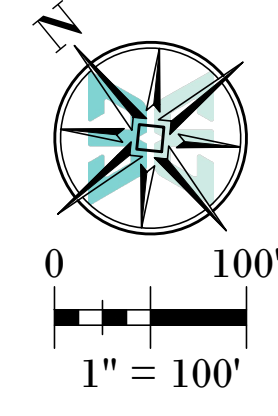
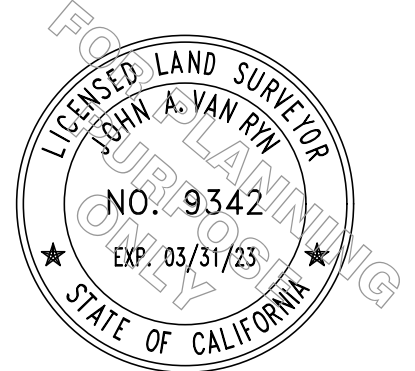
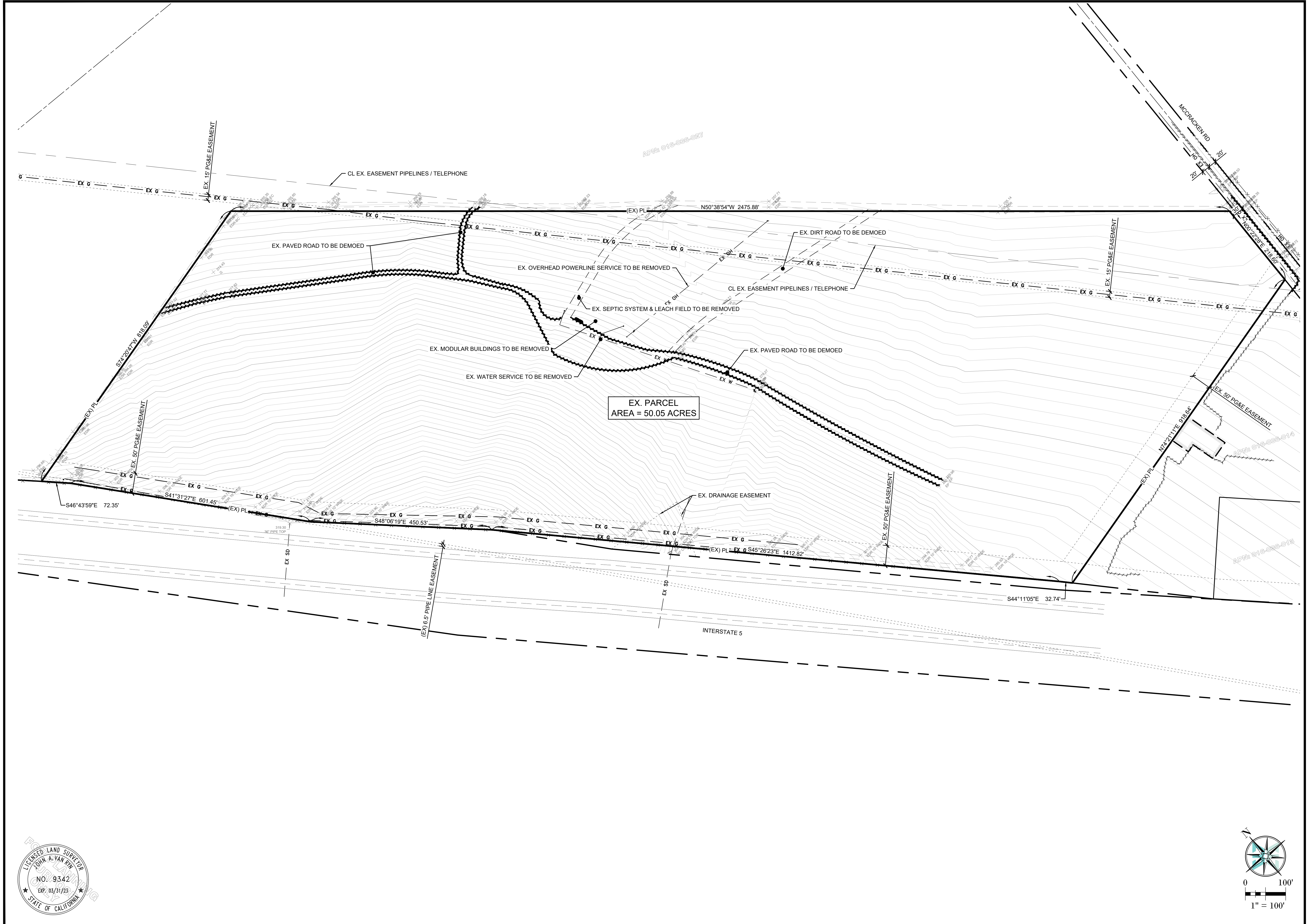
SHEET NUMBER
C1.0
 OF L5

REGISTERED LAND SURVEYOR
 JOHN A. VAN RYN
 No. 9342
 Exp. 03/31/23
 STATE OF CALIFORNIA

BARNES ENGINEERING, INC.
 REGISTERED PROFESSIONAL ENGINEER
 No. C94094
 CIVIL
 STATE OF CALIFORNIA

RMK DESIGN INC.
 ENGINEERING • ARCHITECTURAL • CONSULTING
 1801 LANDER AVENUE
 TURLOCK, CALIFORNIA 95380
 TELEPHONE: 209-634-4832 • FAX: 209-635-2209

811
 CALL BEFORE YOU DIG
 SAFE DIGGING PARTNER
 1.800.227.2600



NO.	DESCRIPTION	DATE	APPD

NO.	DESCRIPTION	DATE	APPD



TOPOGRAPHIC SURVEY & BOUNDARY PLAN
WESTLEY 50-ACRE TRUCK STOP
 7003 SOUTH MCCRACKEN RD
 PATTERSON, CA

JOB #: RMK-0027
 DATE: 12/15/2023
 SCALE: AS SHOWN
 DRAWN BY: DB
 CHECKED BY: DB

SHEET NUMBER
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 OF L5

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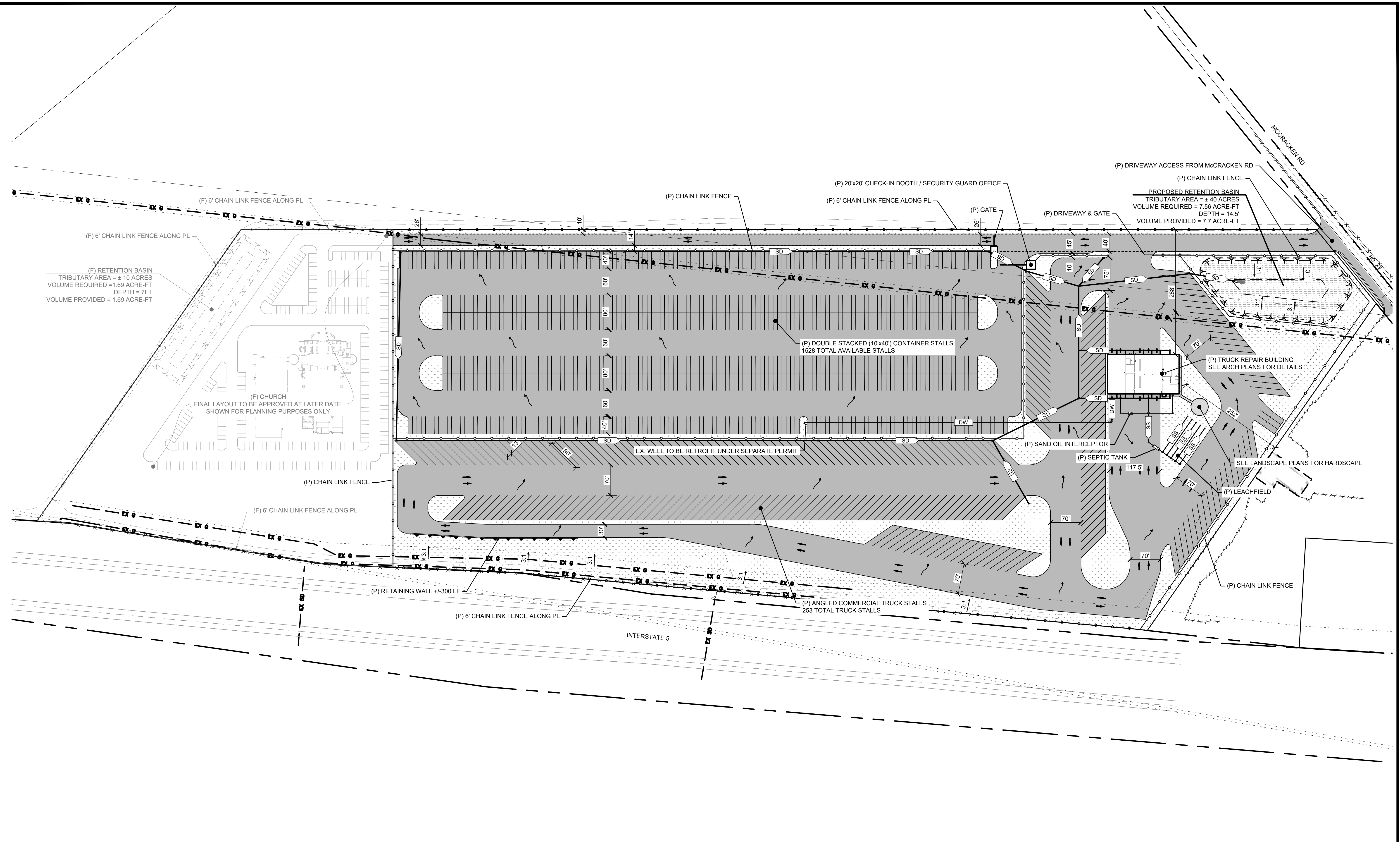


1.800.227.2600

CIVIL SITE PLAN
 WESTLEY 50-ACRE TRUCK STOP
 PATTERSON, CA
 7003 SOUTH MCCrackEN RD

JOB #: RMK-0027
DATE: 12/15/2023
SCALE: AS SHOWN
DRAWN BY: DB
CHECKED BY: DB

SHEET NUMBER
C3.0
 OF L5

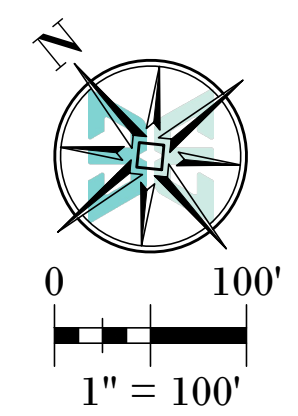


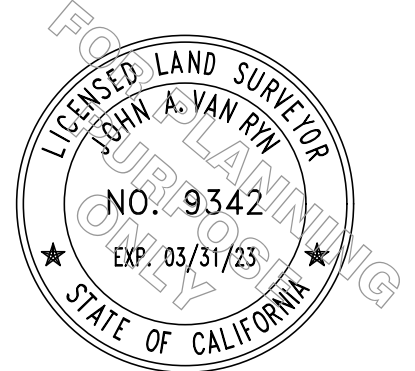
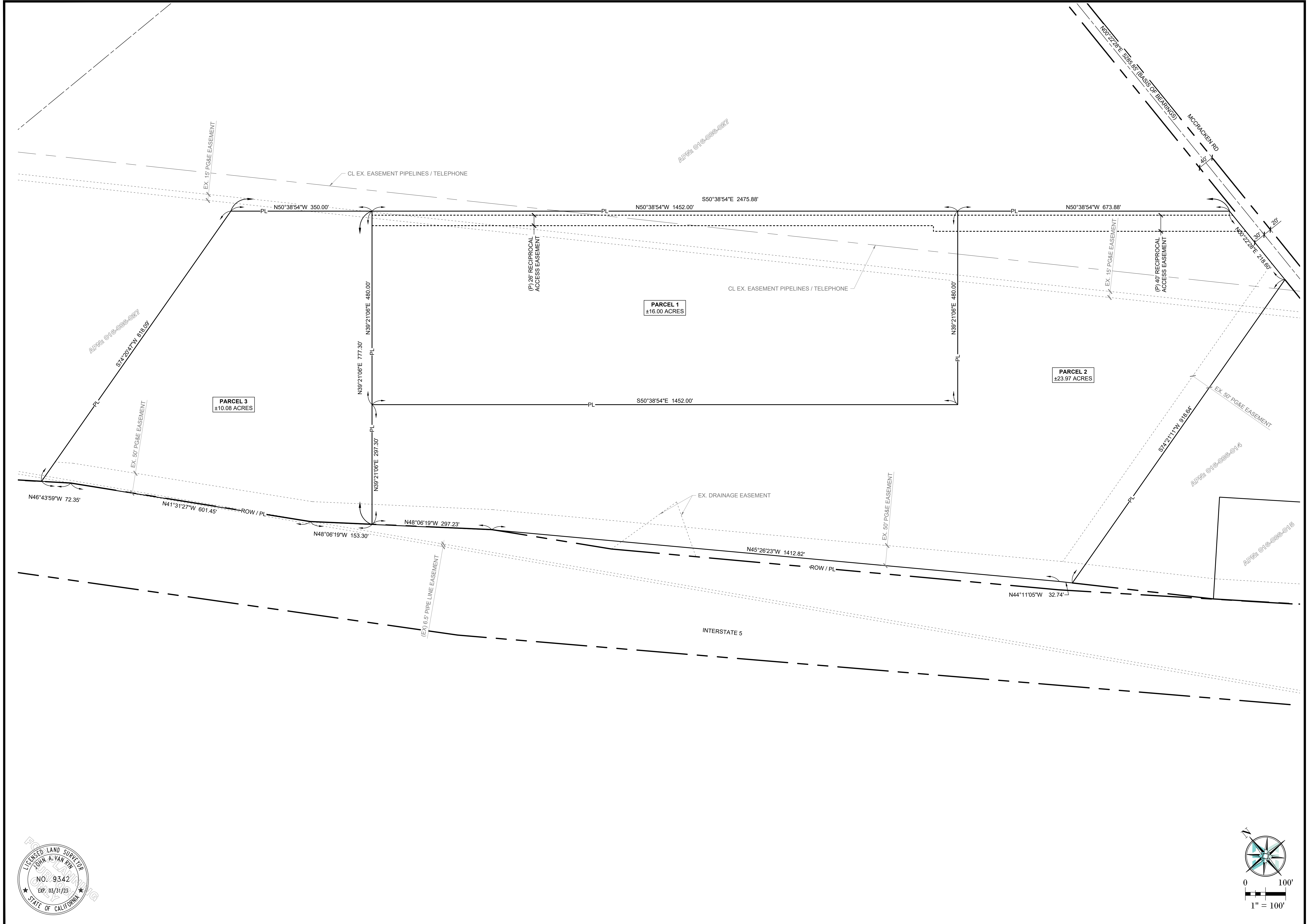
REQUIRED PARKING ANALYSIS PER MUNICIPAL CODE 21.76

DESCRIPTION	REQ. RATIO	TOTAL AREA (SF)	# SPACES REQUIRED
3 BAY TRUCK REPAIR / SERVICE STATION	1 SPACE / 300 SF	7,378	25

PROVIDED PARKING ANALYSIS

DESCRIPTION	# OF SPACES PROVIDED
(PARCEL 1) CONTAINER STALLS	764 @ 2 HIGH = 1528
(PARCEL 2) COMMERCIAL TRUCK STALLS	253





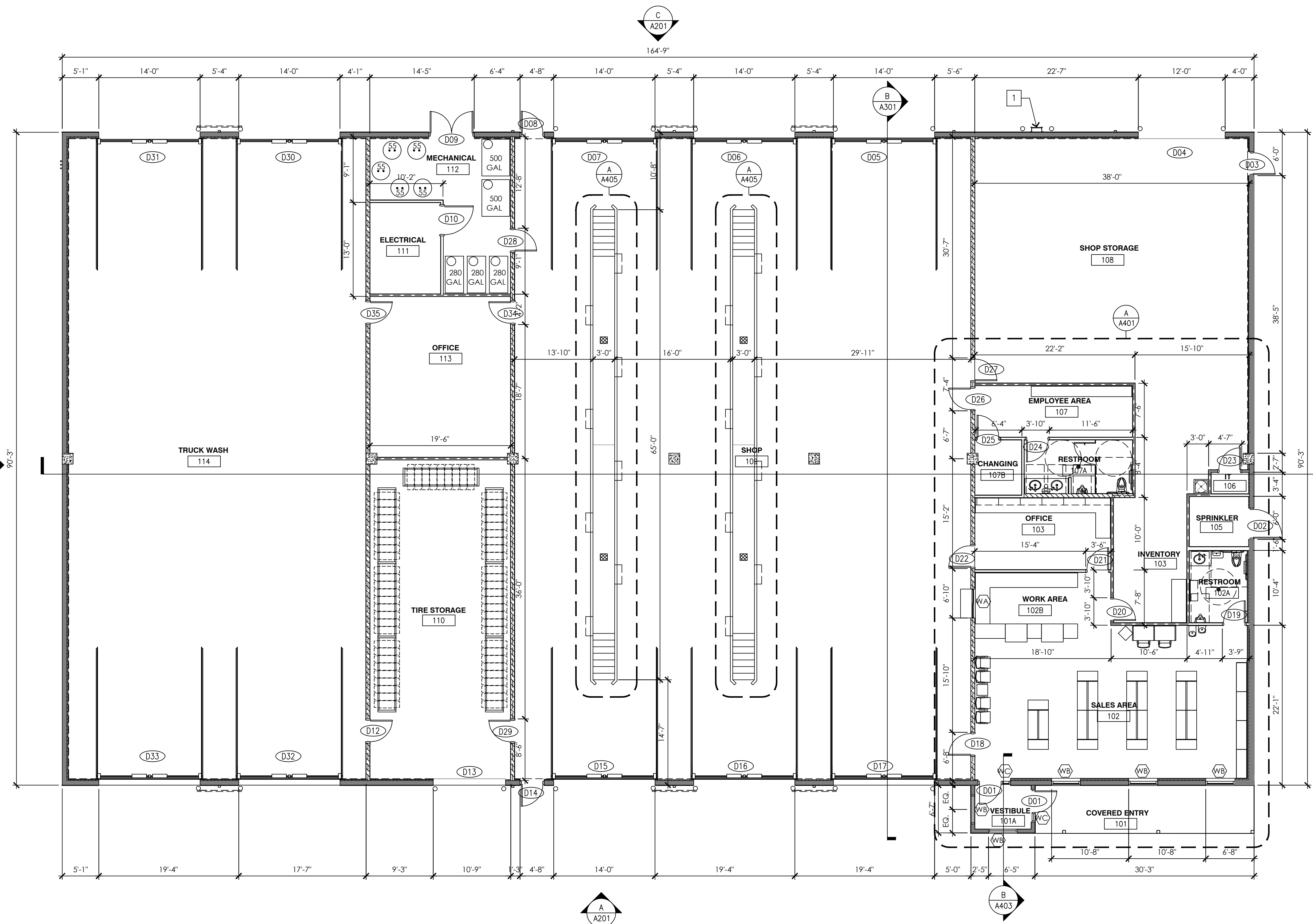
NO.	DESCRIPTION	DATE	APP'D



TENTATIVE PARCEL MAP
WESTLEY 50-ACRE TRUCK STOP
PATTERSON, CA
7003 SOUTH MCCRACKEN RD

JOB #: RMK-0027
DATE: 12/15/2023
SCALE: AS SHOWN
DRAWN BY: DB
CHECKED BY: DB

SHEET NUMBER
C4.0
OF L5



01 FLOOR PLAN
SCALE: 1/8"=1'-0"
N

GENERAL NOTES

- A. FOR ALL STRUCTURAL ELEMENTS AND INFORMATION, SEE STRUCTURAL DRAWINGS PREPARED BY SELECT STRUCTURAL ENGINEERING.
- B. FOR ALL MECHANICAL (HVAC), PLUMBING, ELECTRICAL & FIRE ALARM SYSTEM ELEMENTS AND INFORMATION, SEE DRAWINGS PREPARED BY WHS ENGINEERS.
- C. SEE ELECTRICAL DRAWINGS AND LIFE SAFETY PLAN FOR EXIT SIGN LOCATIONS AND PANIC HARDWARE LOCATIONS.
- D. SEE SHEET A002 FOR COMPLETE ACCESSIBILITY DIMENSION AND INFORMATION.
- E. TIRE RACK STORAGE MUST COMPLY WITH GEORGIA STATE MINIMUM FIRE PREVENTION CODE: SECTION 3409 OF INDOOR STORAGE ARRANGEMENT, AS FOLLOWS:
3409.1 PILE DIMENSIONS
WHERE TIRES ARE STORED ON TREAD, THE DIMENSION OF THE PILE IN THE DIRECTION OF THE WHEEL HOLE SHALL NOT BE MORE THAN 50 FEET (15 240 MM). TIRES STORED ADJACENT TO OR ALONG ONE WALL SHALL NOT EXTEND MORE THAN 25 FEET (7620 MM) FROM WALL. OTHER PILES SHALL NOT BE MORE THAN 50 FEET (15 240 MM) IN WIDTH.
NOTE: TIRE RACK SYSTEM TO BE DESIGNED BY THE TIRE RACK SUPPLIER AND COORDINATED WITH THE OWNER.

SYMBOLS

- D?? DOOR TAG, SEE SCHEDULE ON SHEET A601
- WB WINDOW TAG, SEE SCHEDULE ON SHEET A601

WALL LEGEND

- 8" CMU BLOCK WALL (SEE STRUCTURAL DRAWING FOR REINFORCING) WITH BRICK VENEER AND STUCCO FINISH TO EXTERIOR FACE (SEE EXTERIOR ELEVATIONS FOR LOCATION). ON INTERIOR FACE 5/8" GYPSUM WALL BOARD OVER 1-5/8" METAL STUDS PLACED AT 16" OC OVER 1-1/2" RIGID INSULATION.
- 8" CMU BLOCK WALL (SEE STRUCTURAL DRAWING FOR REINFORCING) WITH 5/8" GYPSUM WALL BOARD OVER 1-5/8" METAL STUDS PLACED AT 16" TO EXTERIOR FACE. ON INTERIOR FACE 5/8" GYPSUM WALL BOARD OVER 1-5/8" METAL STUDS PLACED AT 16" OC OVER 1-1/2" RIGID INSULATION.
- 8" CMU BLOCK WALL (SEE STRUCTURAL DRAWING FOR REINFORCING) WITH BRICK VENEER AND STUCCO FINISH TO EXTERIOR FACE (SEE EXTERIOR ELEVATIONS FOR LOCATION). ON INTERIOR FACE 5/8" FIRE-RETARDANT PLYWOOD OVER 1-1/2" RIGID INSULATION.
- STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS FOR TYPE).
- 6" METAL STUD WALL (PLUMBING) WITH 5/8" GYPSUM WALL BOARD ON EACH SIDE. STUDS PLACED AT 16" OC.
- 3-5/8" METAL STUD WALL (TYPICAL) WITH 5/8" GYPSUM WALL BOARD ON EACH SIDE. STUDS PLACED AT 16" OC.
- INDICATES WALL TO BE RAN TO UNDERSIDE OF STRUCTURE ABOVE. INSULATE WALL FLOOR TO STRUCTURE ABOVE. FULL BATT OR 3-1/2" MINIMUM IF INSULATION IS LESS THAN FULL DEPTH PROVIDE ANCHORAGE.

NOTE: WALLS NOT EXTENDED TO STRUCTURE TO BE LATERALLY BRACED AT 12'-0" OC MAX. SEE DETAIL A/A501.

KEY NOTES

- 1 FIXED ROOF ACCESS LADDER W/ CAGE AND WALK-THRU BY BC SITE SERVICE OR EQUAL.

NO.	DATE	REVISIONS	BY

NEW TRUCK STOP FACILITY
7003 S. MCCrackEN AVe
WESTLEY, CA
TRUCK REPAIR BUILDING FLOOR PLAN

consultant job#	
master release date	
project exe date	master drawn by
Filename AGC	
Facility/Project	
sheet name	
A101	

GENERAL NOTES

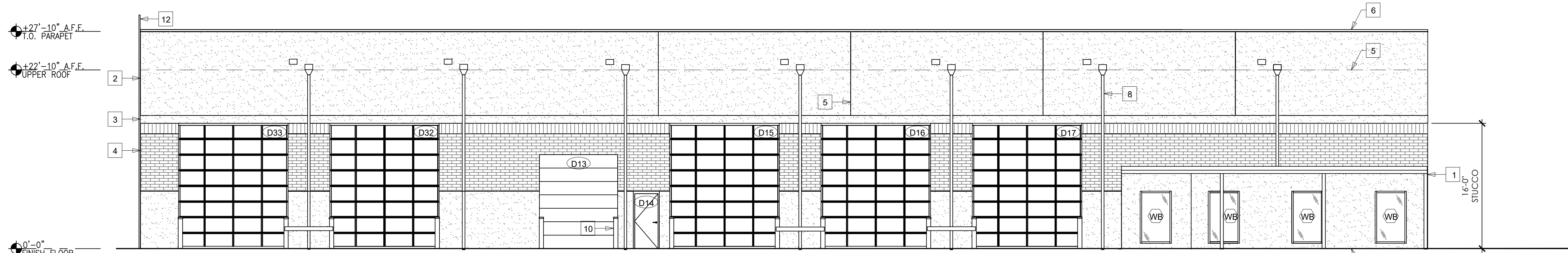
- A. TYPICAL EXTERIOR CLADDING - TEXTURED STUCCO FINISH AND BRICK VENEER.
- B. ALL BUILDING MOUNTED EQUIPMENT, AWNINGS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. FLINT BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES.
- C. ALL FINISH GRADE SHALL BE MINIMUM 4" FOR FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- D. ALL ATTACHMENTS AND PENETRATIONS THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
- E. ALL LOUVERS TO BE PAINT GRADE, AND TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL PANEL COLOR.
- F. ALL DOWNSPOUTS TO GO TO UNDERGROUND STORM. VERIFY WITH CIVIL. IF ALL DOWNSPOUTS ARE TIED TO UNDERGROUND AND IF NOT, TURN DOWNSPOUTS WITH 90° ELBOW AWAY FROM BUILDING.
- G. FOR FOUNDATION, SEE STRUCTURAL DRAWINGS.

TYPICAL STUCCO NOTES

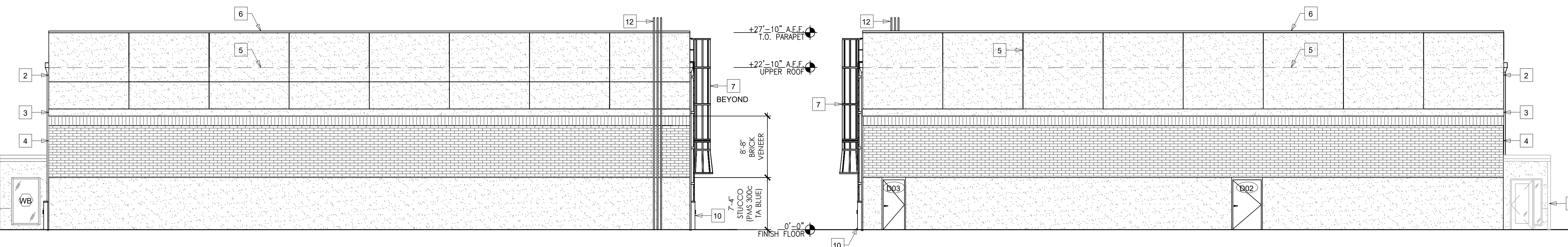
- 1. WEEP SCREED SHALL BE APPLIED AT FOUNDATION. PLACE LINE AT A MIN OF 4" ABOVE FINISHED GRADE AND MIN OF 2" ABOVE PAVED AREAS.
- 2. CONTROL JOINTS TO BE INSTALLED PER ASTM C-1063 INCLUDING THE FOLLOWING REQUIREMENTS:
 - A) CONTROL JOINTS TO BE INSTALLED IN WALLS TO DELINEATE AREAS NOT MORE THAN 144 SQ. FT.
 - B) DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18'-0" IN EITHER DIRECTION OR A LENGTH OR A LENGTH TO WIDTH RATIO OF 2-1/2' TO 1".
 - C) CONTROL JOINTS SHALL BE INSTALLED AT FLOOR LINES.

KEY NOTES

- 1. ALUMINUM FLAT PAN AWNING WITH GUTTER (COLOR AND STYLE SELECTED BY OWNER) BY AAA AWNING CO. INC. OR EQUAL.
- 2. TEXTURED STUCCO FINISH W/ REQUIRED PLASTIC COMPONENTS (PAINTED SW 7006 EXTRA WHITE, TYPICAL UNLESS NOTED OTHERWISE).
- 3. 12" WIDE CONTINUOUS SMOOTH STUCCO BANDING W/ REQUIRED PLASTIC COMPONENTS (PAINTED SW 9173 SHIITAKE).
- 4. BRICK VENEER FINISH W/ (2) ROWS OF SOLDER VENEER AT TOP (COLOR SELECTED BY OWNER).
- 5. 1/4" PLASTIC STUCCO REVEAL.
 - A. VERTICAL PLACEMENT EQUAL SPACING ALONG FACE OF WALL (QUANTITY PER ELEVATIONS).
 - B. HORIZONTAL PLACEMENT TO BE PLACED AT UPPER ROOF LEVEL.
- 6. CONTINUOUS ALUMINUM CAP FLASHING (COLOR SELECTED BY OWNER).
- 7. FIXED ROOF ACCESS LADDER W/ CAGE AND WALK-THRU BY PRECISION LADDERS, LLC OR EQUAL.
- 8. ALUMINUM BOX DRAIN SCUPPER W/ COLLECTOR BOX AND DOWN SPOUT W/ MATCHING OVERFLOW SCUPPER. SEE DETAIL 7/A507.
- 9. ALUMINUM GUTTER W/ DOWN SPOUTS (DOWN SPOUTS LOCATION PER GUTTER FABRICATOR).
- 10. CONCRETE FILLED BOLLARD GUARD (PAINTED SAFETY RED).
- 11. CONCRETE FILLED BOLLARDS W/ STEEL GUARD (PAINTED SAFETY RED).
- 12. TANK VENTS.

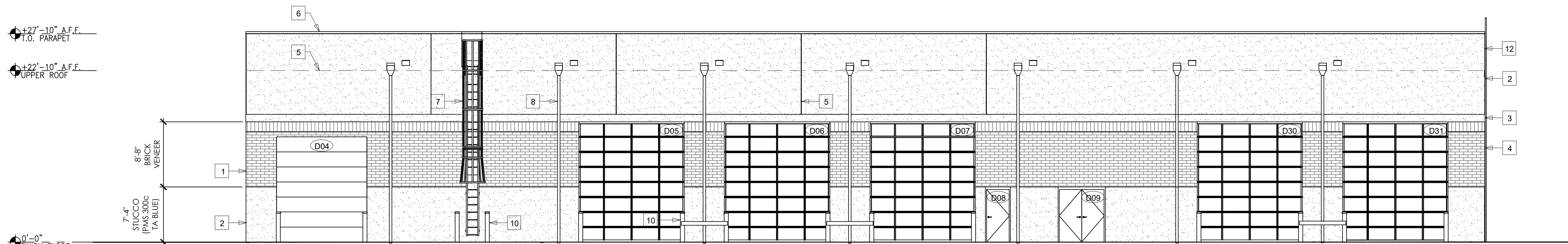


D1 FRONT ELEVATION
SCALE: 1/8"=1'-0"

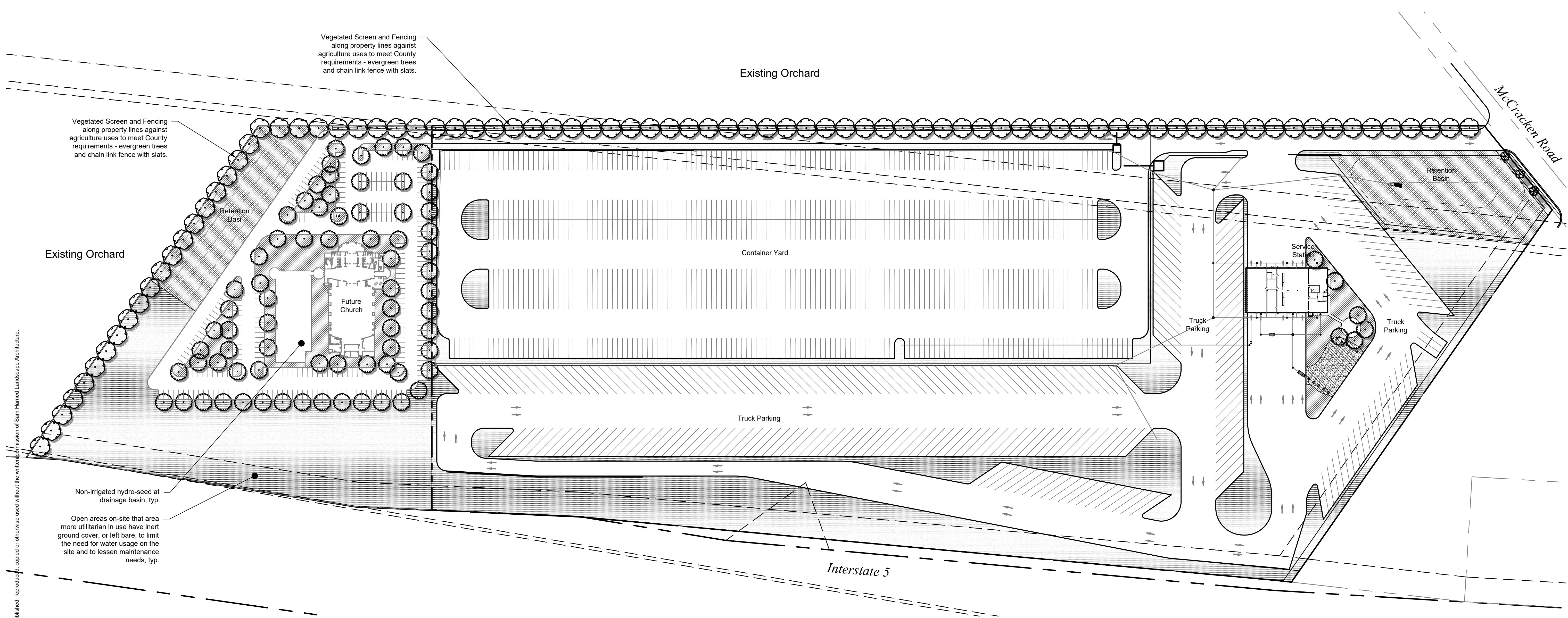


D2 SIDE ELEVATION
SCALE: 1/8"=1'-0"

D3 SIDE ELEVATION
SCALE: 1/8"=1'-0"



D4 REAR ELEVATION
SCALE: 1/8"=1'-0"



LANDSCAPE AREA CALCULATIONS

Total Site Area:	2,180,636 sf. (50.05 ac.)
Total Landscape Area:	699,463 sf.
Irrigated planter:	80,071 sf
Drainage basin (non-irrigated):	105,784 sf
Septic field (non-irrigated):	7,837 sf
Inert groundcover (non-irrigated):	505,771 sf

PRELIMINARY WELO CALCULATIONS

The calculations provided below are an initial estimate of water usage for the planting and irrigation design being proposed with this plan. Hydrozones are approximated and may change with the final design, but the overall intent will remain and compliance with WELO will be achieved.

City (ETo): Westley (57.1)

Plant Type	Water Use (per WUCOLS)	Type of Irrigation (IE)	Plant Factor	Hydrozone Area (sf)	ETWU (gal.)
Shrubs	Low	Drip (0.81)	0.3	80,071 sf	1,049,879
				Total:	80,071 sf 1,049,879
Estimated Total Water Use (ETWU):					1,049,879 gal.
Maximum Applied Water Allowance (MAWA):					1,275,603 gal.
Estimated Average ETAF:					0.37
Maximum Allowable ETAF:					0.45

	DRAINAGE BASIN Non-irrigated hydro-seed	105,784 sf	None
	SEPTIC FIELD Non-irrigated hydro-seed	7,837 sf	None
	INERT GROUND COVER / BARE GROUND Non-irrigated areas for ease of maintenance and limiting need for water use. Either bare ground or some type of inert ground cover such as gravel or crushed almond shells.	507,719 sf	None

CONCEPT PLANT SCHEDULE

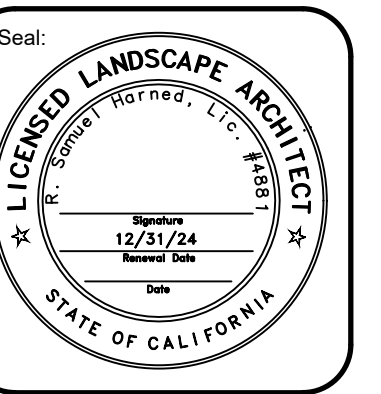
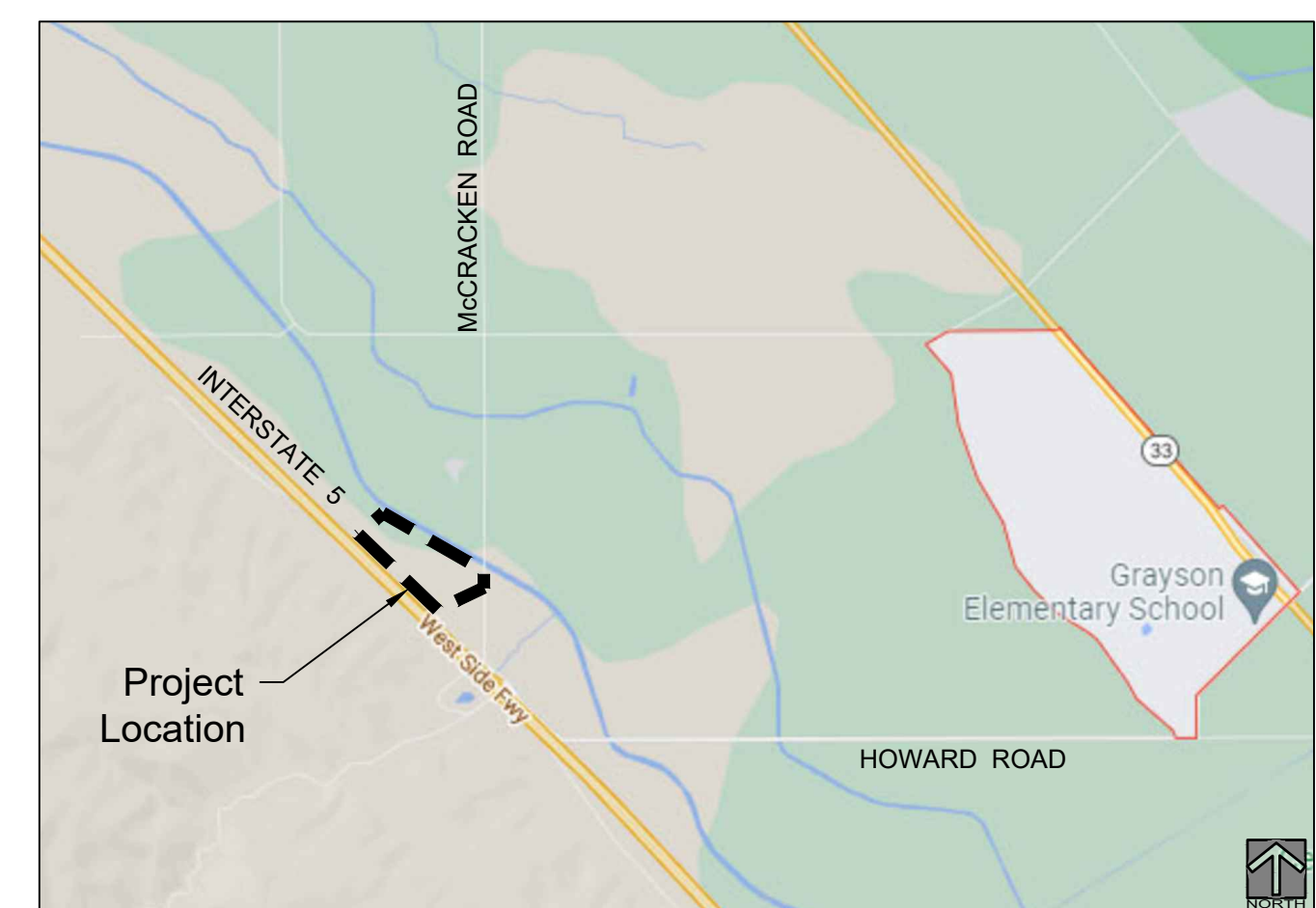
Plant Type	Quantity	Water Use (WUCOLS)
PALM TREE Match existing palm trees along McCracken Road Trachycarpus fortunei / Windmill Palm	3	24" box Moderate
SHADE TREE Spreading shade tree Acer x freemanii 'Jeffersred' TM / Autumn Blaze Freeman Maple Cinnamomum camphora / Camphor Tree Ulmus parvifolia 'Allee' TM / Allee Lacebark Elm Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	79	15 gal. Moderate 15 gal. Low 15 gal. Moderate 15 gal. Low
SCREEN TREE Evergreen tree for landscape buffer Eucalyptus papuana / Ghost Gum Eucalyptus sideroxyton / Red Ironbark	83	15 gal. Low 15 gal. Low
LANDSCAPE AREA Irrigated landscape areas around building and guest use areas. Some of these areas may include pedestrian paving and pedestrian use spaces which will be defined with the future design phases specific to each development, with County approval.	80,069 sf	
Landscape areas will include a mix of shrubs, grasses and ground cover of species that will be primarily low water using and low maintenance demands. The list provided is a sampling of the types of species that will be selected as part of the final design, with County approval.		
Baccharis pilularis 'Twin Peaks#2' / Twin Peaks #2 Coyote Brush	1,702	1 gal. 84" oc Low
Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5,211	5 gal. 48" oc Low
Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster	1,702	1 gal. 84" oc Low
Ligustrum japonicum 'Texanum' / Texanum Privet	5,212	5 gal. 48" oc Low
Muhlenbergia capillaris / Pink Muhly Grass	3,337	5 gal. 60" oc Low
Myoporum parvifolium 'Putah Creek' / Putah Creek Trailing Myoporum	1,702	1 gal. 84" oc Low
Olea europaea 'Montra' / Little Ollie® Olive	3,336	5 gal. 60" oc Very Low
Rhaphirolepis indica / Indian Hawthorn	3,336	5 gal. 60" oc Moderate

SITE CONCEPT NARRATIVE

This site landscape for this project has been designed to provide a responsible landscape design focused at active use areas. Irrigated landscape and shade trees are provided at outdoor use areas for employee and trucker comfort. The street frontage design intends to continue the existing street frontage established in this area. Most of the open areas on this site are left non-irrigated to limit the demand for irrigation water for this type of use and such a large scale site.

Plant species have been selected to perform well in this region. Plants selected for this project have a low or medium water use classification, are durable, and require low maintenance. The planting design conforms to the County's WELO ordinance.

VICINITY MAP



Prepared for:
Triangle Property Inc.
PO Box 3820
Turlock, CA 95381

Project:
WESTLEY 50-ACRE TRUCK STOP
7003 MCCRACKEN ROAD, WESTLEY, CA

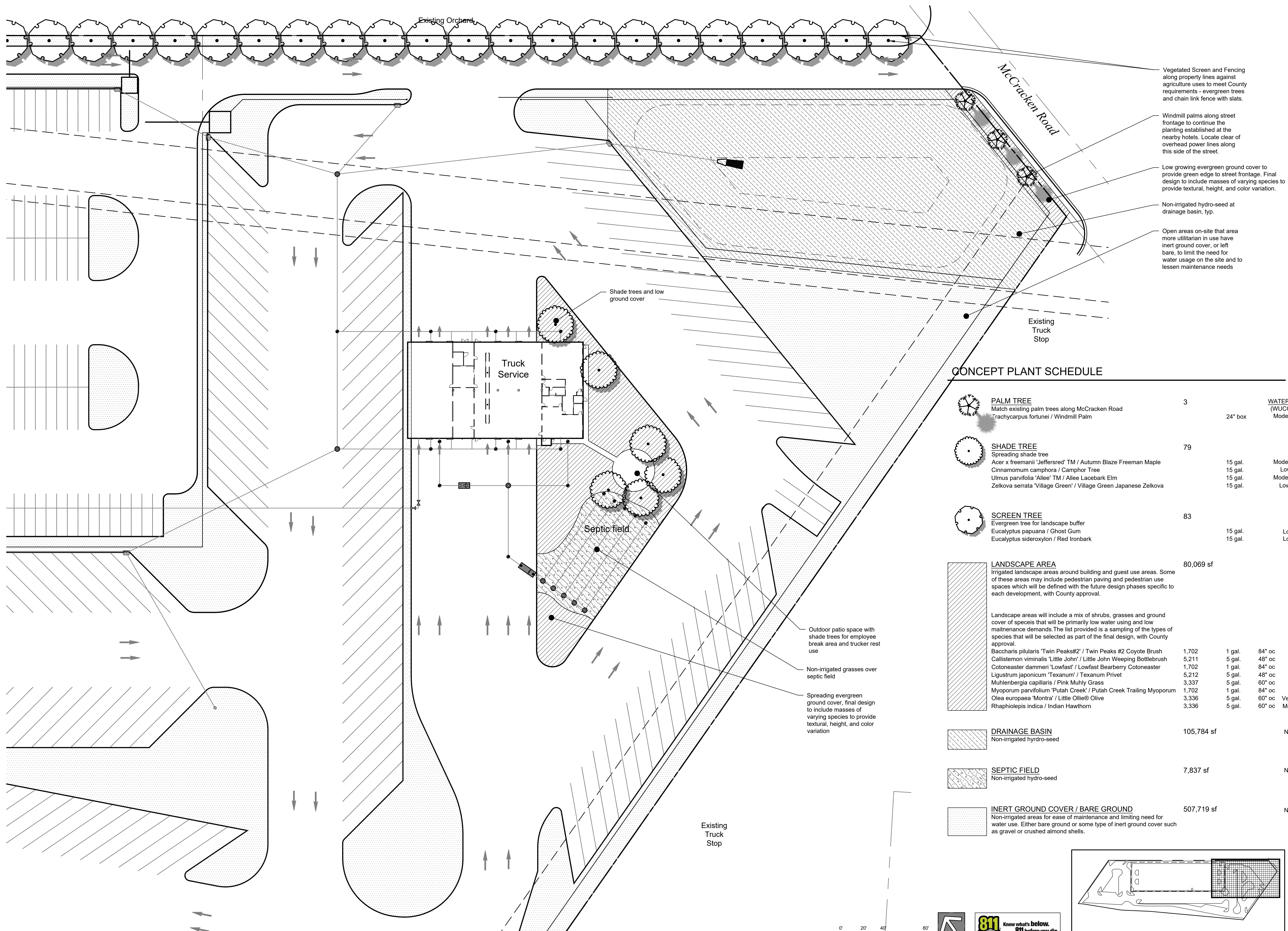
Revision:
No. Desc. Date

Date: 20 Dec 2023
Drawn: RSH
Checked: RSH
Project No.: 22-032
Scale: 1" = 100'-0"

Sheet:
Preliminary Landscape Plan Overall Site

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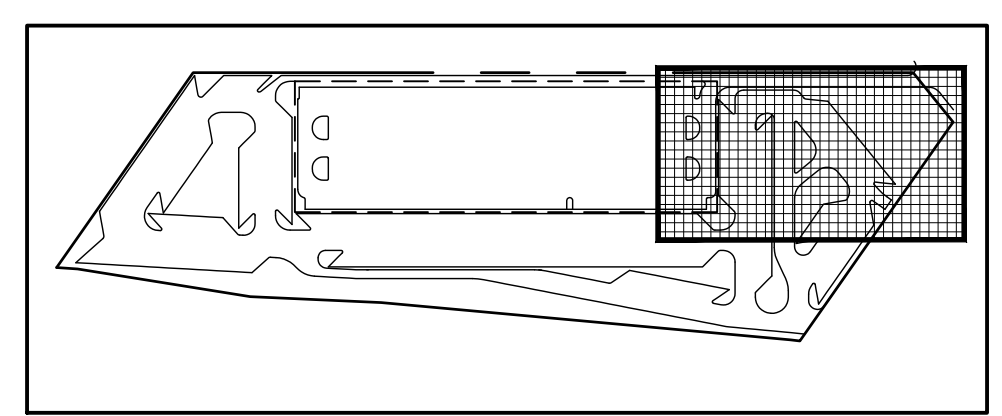
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CONCEPT PLANT SCHEDULE

Plant Type	Quantity	Water Use (WUCOLS)
PALM TREE Match existing palm trees along McCracken Road Rachycarpus fortunei / Windmill Palm	3	Moderate
SHADE TREE Spreading shade tree Acer x freemanii 'Jeffersred' TM / Autumn Blaze Freeman Maple Cinnamomum camphora / Camphor Tree Ulmus parvifolia 'Allee' TM / Allee Lacebark Elm Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	79	Moderate Low Moderate Low
SCREEN TREE Evergreen tree for landscape buffer Eucalyptus papuana / Ghost Gum Eucalyptus sideroxylon / Red Ironbark	83	Low Low
LANDSCAPE AREA Irrigated landscape areas around building and guest use areas. Some of these areas may include pedestrian paving and pedestrian use spaces which will be defined with the future design phases specific to each development, with County approval.	80,069 sf	
DRAINAGE BASIN Non-irrigated hydro-seed	105,784 sf	None
SEPTIC FIELD Non-irrigated hydro-seed	7,837 sf	None
INERT GROUND COVER / BARE GROUND Non-irrigated areas for ease of maintenance and limiting need for water use. Either bare ground or some type of inert ground cover such as gravel or crushed almond shells.	507,719 sf	None

Plant Name	Quantity	Water Use	Size	Notes
Baccharis pilularis 'Twin Peaks#2' / Twin Peaks #2 Coyote Brush	1,702	Low	84" oc	
Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5,211	Low	48" oc	
Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster	1,702	Low	84" oc	
Ligustrum japonicum 'Texanum' / Texanum Privet	5,212	Low	48" oc	
Muhlenbergia capillaris / Pink Muhly Grass	3,337	Low	60" oc	
Myoporum parvifolium 'Putah Creek' / Putah Creek Trailing Myoporum	1,702	Low	84" oc	
Olea europaea 'Montra' / Little Olive	3,336	Very Low	60" oc	
Raphiolepis indica / Indian Hawthorn	3,336	Moderate	60" oc	



Sam Harned Landscape Architecture
 P.O. Box 2275
 Oakdale, CA 95361
 209-380-7376
 www.harnedia.com

Seal: **LICENCED LANDSCAPE ARCHITECT**
 12/31/24
 STATE OF CALIFORNIA

Prepared for:
 Triangle Property Inc.
 PO Box 3820
 Turlock, CA 95381

Project:
WESTLEY 50-ACRE TRUCK STOP
 7003 McCracken Road, Westley, CA

Revision:
 No. Desc. Date

Date: 20 Dec 2023
 Drawn: RSH
 Checked: RSH
 Project No.: 22-032
 Scale: 1" = 40'-0"

Sheet:
Preliminary Landscape Plan Service Area
 L1



Prepared for:
Triangle Property Inc.
PO Box 3820
Turlock, CA 95381

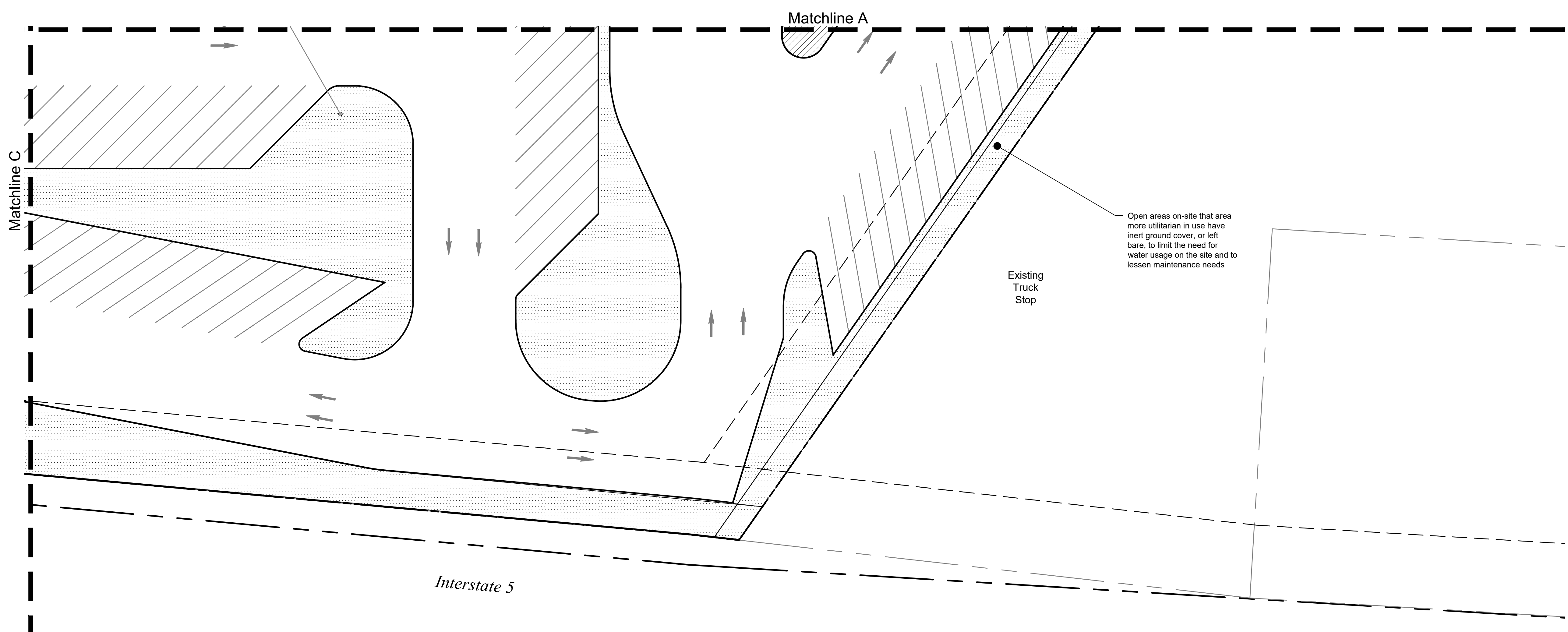
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**WESTLEY 50-ACRE
TRUCK STOP**
7003 McCracken Road, Westley, CA

Revision:
No. Desc. Date

Date: 20 Dec 2023
Drawn: RSH
Checked: RSH
Project No.: 22-032
Scale: 1" = 40'-0"

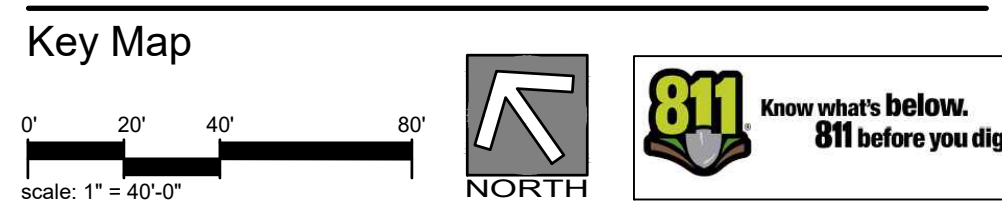
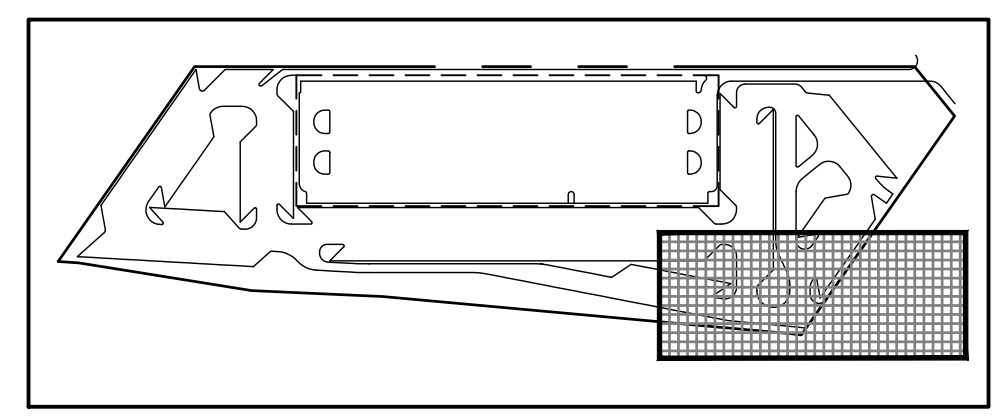
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Plan**

L2

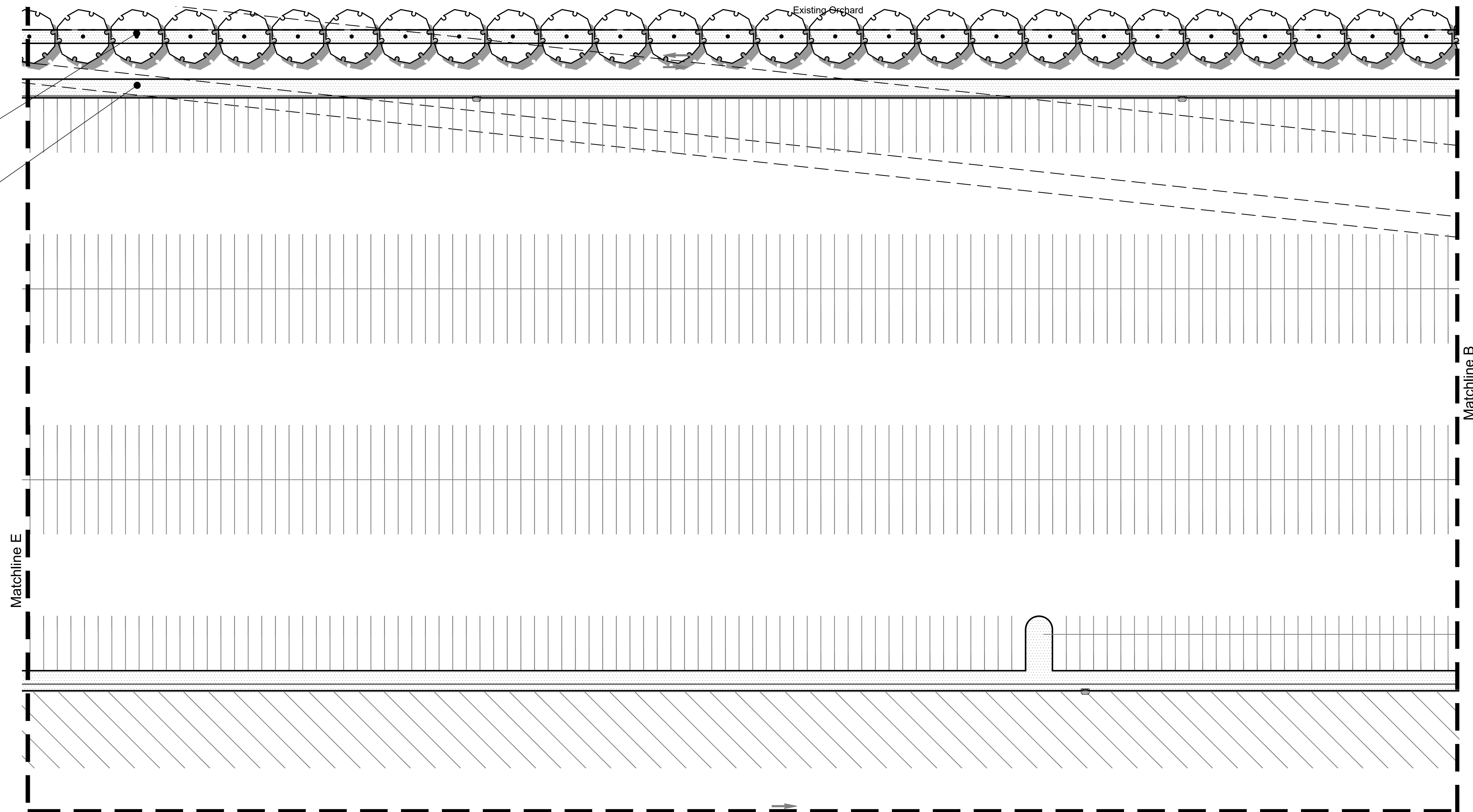


CONCEPT PLANT SCHEDULE

	PALM TREE Match existing palm trees along McCracken Road Trachycarpus fortunei / Windmill Palm	3	24" box	WATER USE (WUCOLS) Moderate		
	SHADE TREE Spreading shade tree Acer x freemanii 'Jeffersred'™ / Autumn Blaze Freeman Maple Cinnamomum camphora / Camphor Tree Ulmus parvifolia 'Allee'™ / Allee Lacebark Elm Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	79	15 gal. 15 gal. 15 gal. 15 gal.	Moderate Low Moderate Low		
	SCREEN TREE Evergreen tree for landscape buffer Eucalyptus papuana / Ghost Gum Eucalyptus sideroxylon / Red Ironbark	83	15 gal. 15 gal.	Low Low		
	LANDSCAPE AREA Irrigated landscape areas around building and guest use areas. Some of these areas may include pedestrian paving and pedestrian use spaces which will be defined with the future design phases specific to each development, with County approval. Landscape areas will include a mix of shrubs, grasses and ground cover of species that will be primarily low water using and low maintenance demands. The list provided is a sampling of the types of species that will be selected as part of the final design, with County approval. Baccharis pitularis 'Twin Peaks#2' / Twin Peaks #2 Coyote Brush Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster Ligustrum japonicum 'Texanum' / Texanum Privet Muhlenbergia capillaris / Pink Muhly Grass Myoporum parvifolium 'Putah Creek' / Putah Creek Trailing Myoporum Olea europaea 'Montra' / Little Olive Rhapiolepis indica / Indian Hawthorn	80,069 sf	1,702 5,211 1,702 5,212 3,337 1,702 3,336 3,336	1 gal. 5 gal. 1 gal. 5 gal. 5 gal. 1 gal. 5 gal. 5 gal.	84" oc 48" oc 84" oc 48" oc 60" oc 84" oc 60" oc 60" oc	Low Low Low Low Low Low Very Low Moderate
	DRAINAGE BASIN Non-irrigated hydro-seed	105,784 sf		None		
	SEPTIC FIELD Non-irrigated hydro-seed	7,837 sf		None		
	INERT GROUND COVER / BARE GROUND Non-irrigated areas for ease of maintenance and limiting need for water use. Either bare ground or some type of inert ground cover such as gravel or crushed almond shells.	507,719 sf		None		






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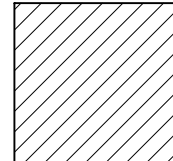
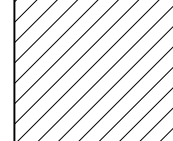
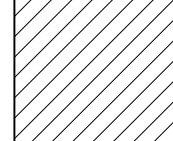
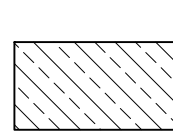


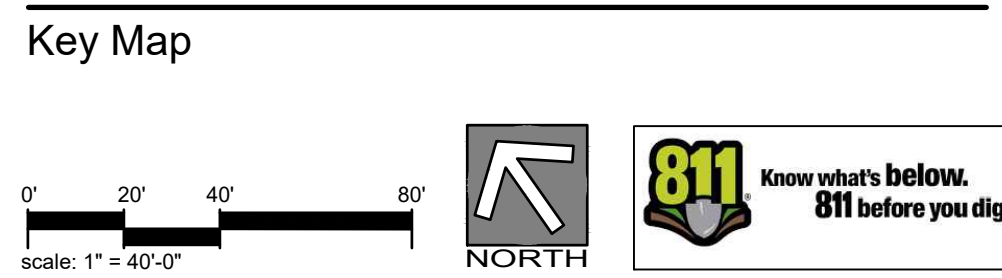
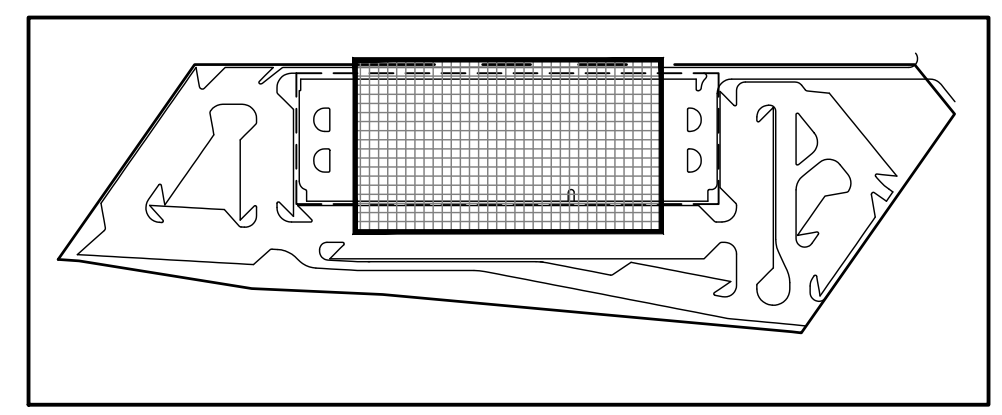
Vegetated Screen and Fencing along property lines against agriculture uses to meet County requirements - evergreen trees and chain link fence with slats.

Open areas on-site that are more utilitarian in use have inert ground cover, or left bare, to limit the need for water usage on the site and to lessen maintenance needs.

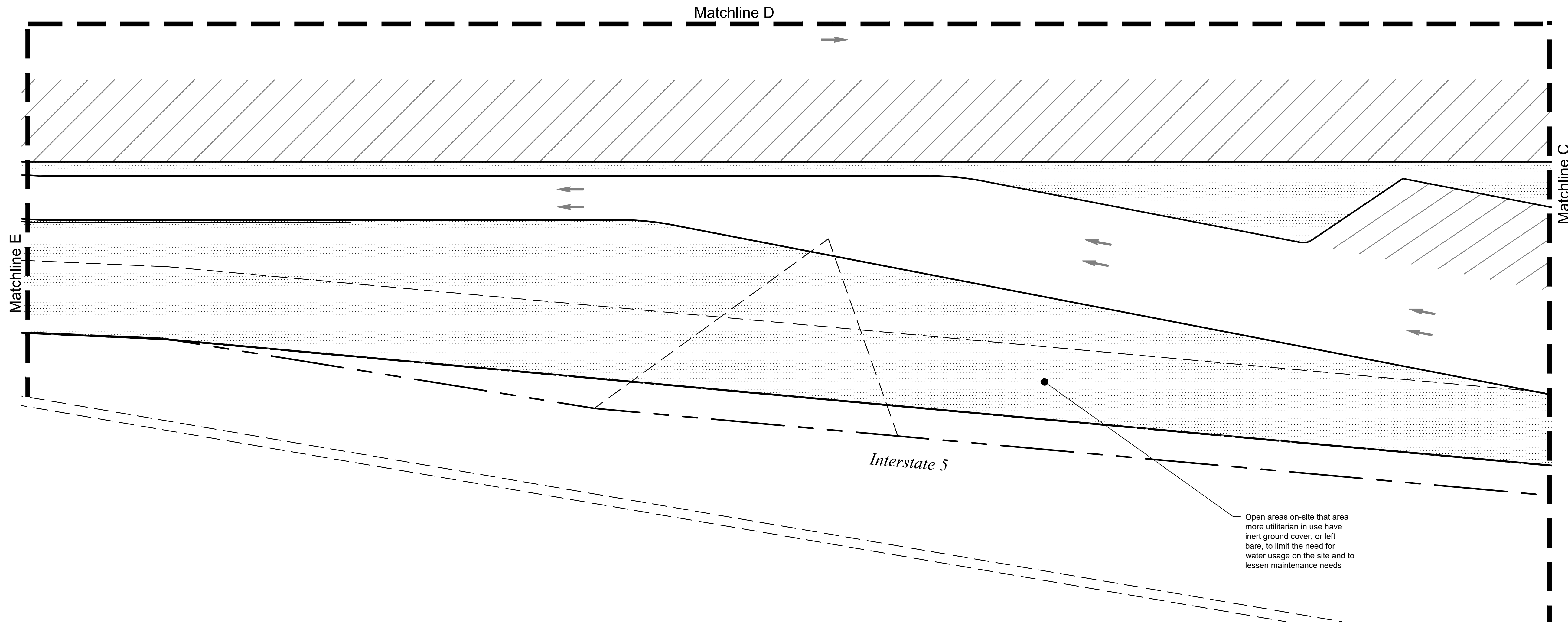
CONCEPT PLANT SCHEDULE

Symbol	Plant Name	Quantity	Size	Water Use (WUCOLS)
	PALM TREE Match existing palm trees along McCracken Road Trachycarpus fortunei / Windmill Palm	3	24" box	Moderate
	SHADE TREE Spreading shade tree Acer x freemanii 'Jeffersred' TM / Autumn Blaze Freeman Maple Cinnamomum camphora / Camphor Tree Ulmus parvifolia 'Allee' TM / Allee Lacebark Elm Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	79	15 gal. 15 gal. 15 gal.	Moderate Low Moderate Low
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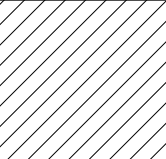

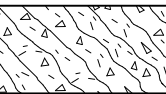
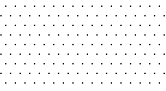
Area Type	Area	Area (sf)	Notes
	LANDSCAPE AREA Irrigated landscape areas around building and guest use areas. Some of these areas may include pedestrian paving and pedestrian use spaces which will be defined with the future design phases specific to each development, with County approval.	80,069 sf	Landscape areas will include a mix of shrubs, grasses and ground cover of species that will be primarily low water using and low maintenance demands. The list provided is a sampling of the types of species that will be selected as part of the final design, with County approval.
	DRAINAGE BASIN Non-irrigated hydro-seed	105,784 sf	None
	SEPTIC FIELD Non-irrigated hydro-seed	7,837 sf	None
	INERT GROUND COVER / BARE GROUND Non-irrigated areas for ease of maintenance and limiting need for water use. Either bare ground or some type of inert ground cover such as gravel or crushed almond shells.	507,719 sf	None



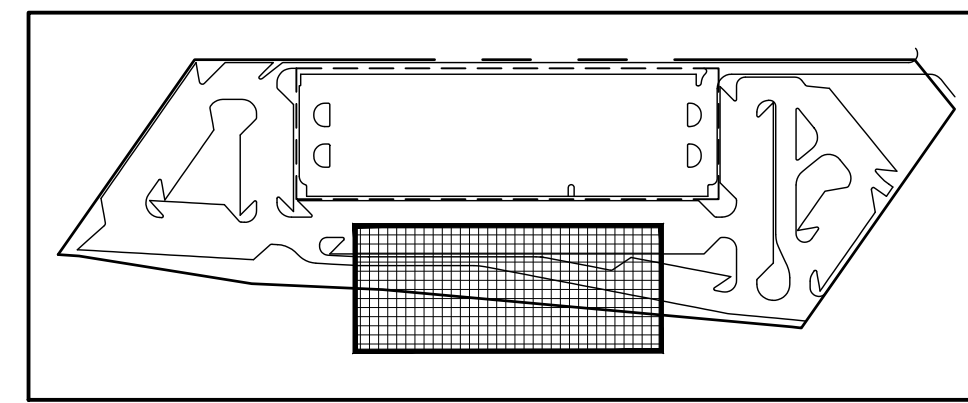
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CONCEPT PLANT SCHEDULE

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	SCREEN TREE Evergreen tree for landscape buffer Eucalyptus papuana / Ghost Gum Eucalyptus sideroxylon / Red Ironbark	83	15 gal. 15 gal.	Low Low
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	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5,211	5 gal.	48" oc Low
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	Ligustrum japonicum 'Texanum' / Texanum Privet	5,212	5 gal.	48" oc Low
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	Myoporum parvifolium 'Putah Creek' / Putah Creek Trailing Myoporum	1,702	1 gal.	84" oc Low
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Open areas on-site that area more utilitarian in use have inert ground cover, or left bare, to limit the need for water usage on the site and to lessen maintenance needs



Key Map



Prepared for:
Triangle Property Inc.
PO Box 3820
Turlock, CA 95381


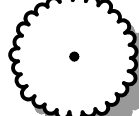

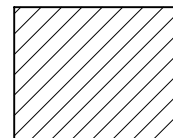
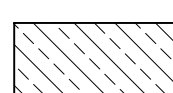
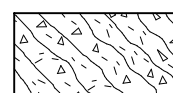
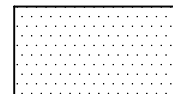
Project:
WESTLEY 50-ACRE TRUCK STOP
7003 MCCRACKEN ROAD, WESTLEY, CA

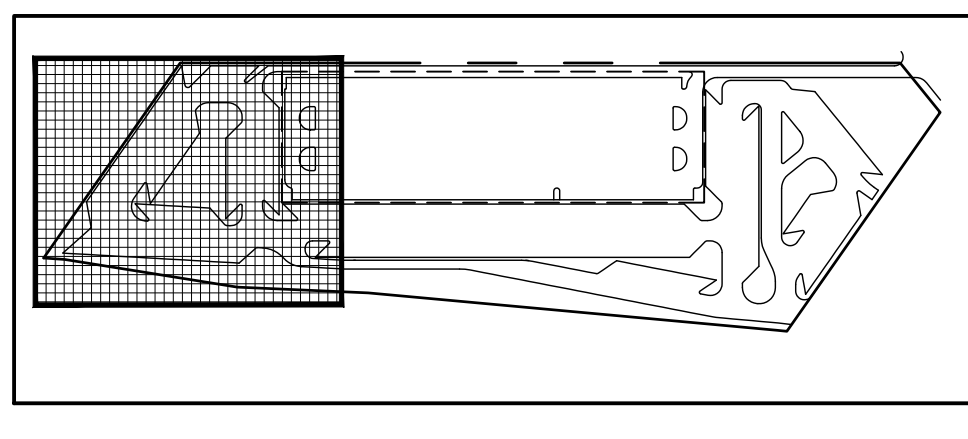
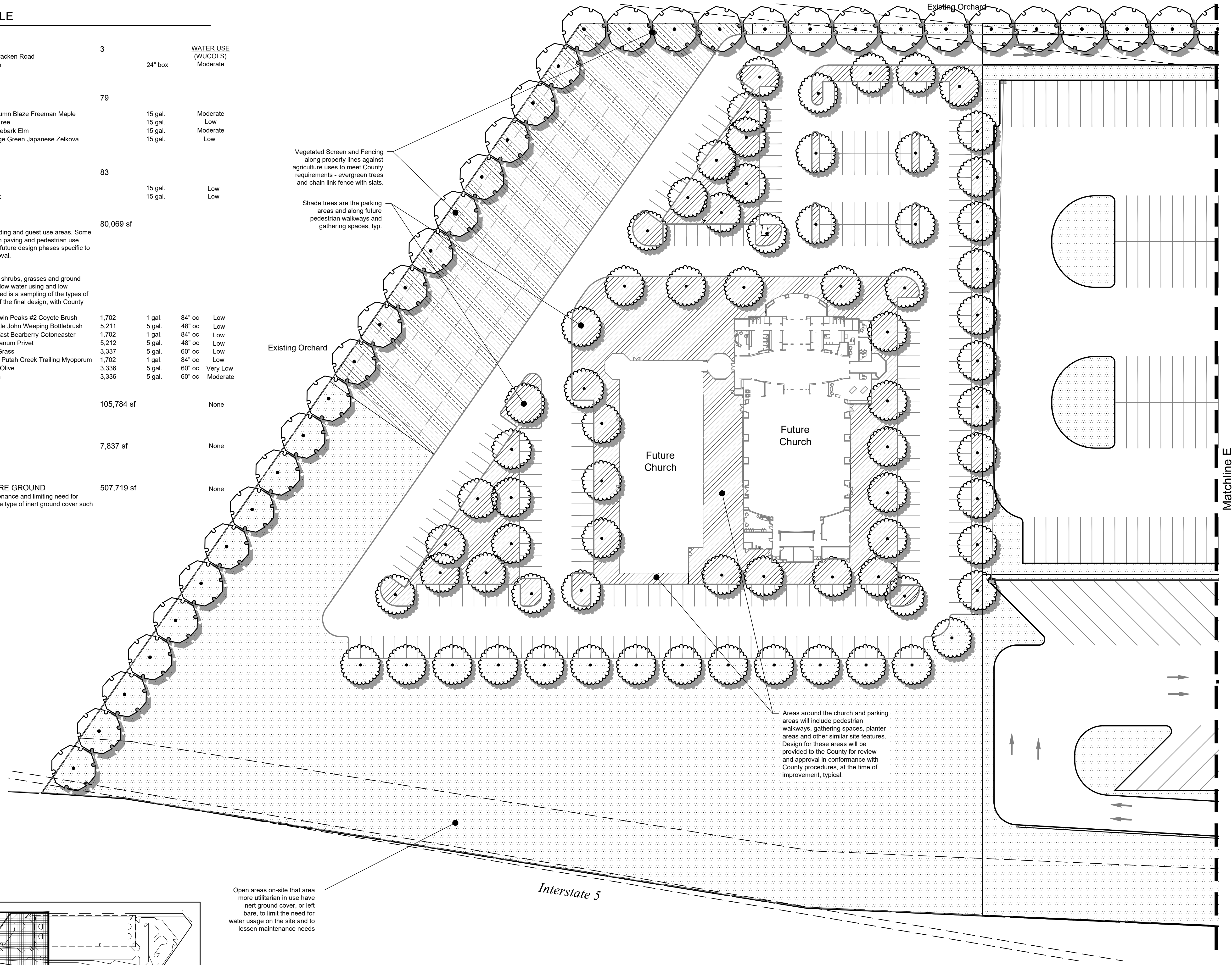
Revision:
No. Desc. Date

Date: 20 Dec 2023
Drawn: RSH
Checked: RSH
Project No.: 22-032
Scale: 1" = 40'-0"

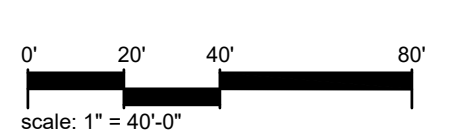
Sheet:
Preliminary Landscape Plan
L4

CONCEPT PLANT SCHEDULE

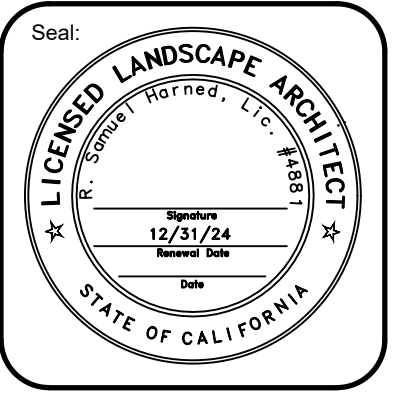
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Key Map



Sam Harned
Landscape
Architecture
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Seal: 

Prepared for:
Triangle Property Inc.
PO Box 3820
Turlock, CA 95381

Project:
WESTLEY 50-ACRE TRUCK STOP
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APPLICATION QUESTIONNAIRE

<p><u>Please Check all applicable boxes</u> APPLICATION FOR: <i>Staff is available to assist you with determining which applications are necessary</i></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Rezone <input type="checkbox"/> Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Historic Site Permit </td> <td style="width: 50%; vertical-align: top;"> <input type="checkbox"/> Subdivision Map <input checked="" type="checkbox"/> Parcel Map <input type="checkbox"/> Exception <input type="checkbox"/> Williamson Act Cancellation <input type="checkbox"/> Other _____ </td> </tr> </table>	<input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Rezone <input type="checkbox"/> Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Historic Site Permit	<input type="checkbox"/> Subdivision Map <input checked="" type="checkbox"/> Parcel Map <input type="checkbox"/> Exception <input type="checkbox"/> Williamson Act Cancellation <input type="checkbox"/> Other _____	<p>PLANNING STAFF USE ONLY: Application No(s): <u>PLN2008-0085</u> Date: <u>7/27/22</u> S <u>35</u> T <u>4</u> R <u>6</u> GP Designation: <u>AG</u> Zoning: <u>A-2-4D</u> Fee: <u>11985</u> Receipt No. <u>567425</u> Received By: <u>TM</u> Notes: <u>GPA/REZ/PM</u></p>
<input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Rezone <input type="checkbox"/> Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Historic Site Permit	<input type="checkbox"/> Subdivision Map <input checked="" type="checkbox"/> Parcel Map <input type="checkbox"/> Exception <input type="checkbox"/> Williamson Act Cancellation <input type="checkbox"/> Other _____		

In order for your application to be considered COMPLETE, please answer all applicable questions on the following pages, and provide all applicable information listed on the checklist on pages i – v. Under State law, upon receipt of this application, staff has 30 days to determine if the application is complete. We typically do not take the full 30 days. It may be necessary for you to provide additional information and/or meet with staff to discuss the application. Pre-application meetings are not required, but are highly recommended. An incomplete application will be placed on hold until all the necessary information is provided to the satisfaction of the requesting agency. An application will not be accepted without all the information identified on the checklist.

Please contact staff at (209) 525-6330 to discuss any questions you may have. Staff will attempt to help you in any way we can.

PROJECT INFORMATION

PROJECT DESCRIPTION: (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets as necessary)

**Please note: A detailed project description is essential to the reviewing process of this request. In order to approve a project, the Planning Commission or the Board of Supervisors must decide whether there is enough information available to be able to make very specific statements about the project. These statements are called "Findings". It is your responsibility as an applicant to provide enough information about the proposed project, so that staff can recommend that the Commission or the Board make the required Findings. Specific project Findings are shown on pages 17 – 19 and can be used as a guide for preparing your project description. (If you are applying for a Variance or Exception, please contact staff to discuss special requirements).*

This 50-acre parcel is located at 7003 S McCracken Road in Westley, CA and is directly adjacent to Highway 5 at Howard Road exit. This project is proposing three newly created parcels and will contain primarily truck parking stalls along with a container storage yard. The truck parking will be placed on two adjacent parcels directly north of the existing truck stop to the south. These parcels will be 24-acres and 10-acres, respectively. The container storage yard will be 16-acres.

PROJECT SITE INFORMATION

Complete and accurate information saves time and is vital to project review and assessment. Please complete each section entirely. If a question is not applicable to your project, please indicated this to show that each question has been carefully considered. Contact the Planning & Community Development Department Staff, 1010 10th Street – 3rd Floor, (209) 525-6330, if you have any questions. Pre-application meetings are highly recommended.

ASSESSOR'S PARCEL NUMBER(S): Book 016 Page 036 Parcel 028

Additional parcel numbers: _____

**Project Site Address
or Physical Location:** 7003 S McCracken Road, Westley, CA 95387

Property Area: Acres: 50 or Square feet: _____

Current and Previous Land Use: (Explain existing and previous land use(s) of site for the last ten years)

Ag-40, but the property has not been used for agriculture, but instead for illegal residential (mobile home) use.

List any known previous projects approved for this site, such as a Use Permit, Parcel Map, etc.: (Please identify project name, type of project, and date of approval)

Only projects we are aware of being approved is the existing planned development site directly south of this property which is owned by the same entity. The existing site south is a truck stop with truck wash, gas station, and diesel fuel.

Existing General Plan & Zoning: Ag-40

Proposed General Plan & Zoning: Planned Development - Commercial
(if applicable)

ADJACENT LAND USE: (Describe adjacent land uses within 1,320 feet (1/4 mile) and/or two parcels in each direction of the project site)

East: Ag-40

West: Highway 5 & Ag-40

North: Ag-40

South: Planned Development - Commercial

WILLIAMSON ACT CONTRACT:

Yes No

Is the property currently under a Williamson Act Contract?
Contract Number: _____

If yes, has a Notice of Non-Renewal been filed?

Date Filed: _____

Yes No

Do you propose to cancel any portion of the Contract?

Yes No

Are there any agriculture, conservation, open space or similar easements affecting the use of the project site. (Such easements do not include Williamson Act Contracts)

If yes, please list and provide a recorded copy: _____

SITE CHARACTERISTICS: (Check one or more)

Flat

Rolling

Steep

VEGETATION: What kind of plants are growing on your property? (Check one or more)

Field crops

Orchard

Pasture/Grassland

Scattered trees

Shrubs

Woodland

River/Riparian

Other

Explain Other: The existing site has a few dirt roads and mostly low lying, dead weeds

Yes No

Do you plan to remove any trees? (If yes, please show location of trees planned for removal on plot plan and provide information regarding transplanting or replanting.)

GRADING:

Yes No

Do you plan to do any grading? (If yes, please indicate how many cubic yards and acres to be disturbed. Please show areas to be graded on plot plan.) +/- 200,000 cy

STREAMS, LAKES, & PONDS:

Yes No

Are there any streams, lakes, ponds or other watercourses on the property? (If yes, please show on plot plan)

Yes No

Will the project change any drainage patterns? (If yes, please explain – provide additional sheet if needed) The site will retain the existing grade along the highway-5 frontage and then will slope down at a maximum 3:1 slope. The remainder of the site will be graded at +/- 3% N-S

Yes No

Are there any gullies or areas of soil erosion? (If yes, please show on plot plan)

Yes No

Do you plan to grade, disturb, or in any way change swales, drainages, ditches, gullies, ponds, low lying areas, seeps, springs, streams, creeks, river banks, or other area on the site that carries or holds water for any amount of time during the year? (If yes, please show areas to be graded on plot plan)

Please note: If the answer above is yes, you may be required to obtain authorization from other agencies such as the Corps of Engineers or California Department of Fish and Game.

STRUCTURES:

Yes No Are there structures on the site? (If yes, please show on plot plan. Show a relationship to property lines and other features of the site.)

Yes No Will structures be moved or demolished? (If yes, indicate on plot plan.)

Yes No Do you plan to build new structures? (If yes, show location and size on plot plan.)

Yes No Are there buildings of possible Historical significance? (If yes, please explain and show location and size on plot plan.) _____

PROJECT SITE COVERAGE:

Existing Building Coverage: +/- 5,500 Sq. Ft. Landscaped Area: 0 (dirt&weeds) Sq. Ft.

Proposed Building Coverage: +/- 7,600 Sq. Ft. Paved Surface Area: +/- 185,000 Sq. Ft.

BUILDING CHARACTERISTICS:

Size of new structure(s) or building addition(s) in gross sq. ft.: (Provide additional sheets if necessary) One new building
at approximately 7,600 sf which includes three (3) lube bays and storage for diesel truck maintenance.

Number of floors for each building: 1-story

Building height in feet (measured from ground to highest point): (Provide additional sheets if necessary) 24.5'

Height of other appurtenances, excluding buildings, measured from ground to highest point (i.e., antennas, mechanical equipment, light poles, etc.): (Provide additional sheets if necessary) N?A

Proposed surface material for parking area: (Provide information addressing dust control measures if non-asphalt/concrete material to be used) Parking areas will be pavement and walkways around building and near outdoor grass areas will be concrete.

UTILITIES AND IRRIGATION FACILITIES:

Yes No Are there existing public or private utilities on the site? Includes telephone, power, water, etc. (If yes, show location and size on plot plan)

Who provides, or will provide the following services to the property?

Electrical: PG&E Sewer*: Private septic system

Telephone: _____ Gas/Propane: PG&E

Water**: Private on-site well Irrigation: Private on-site well

***Please Note:** A “will serve” letter is required if the sewer service will be provided by City, Sanitary District, Community Services District, etc.

****Please Note:** A “will serve” letter is required if the water source is a City, Irrigation District, Water District, etc., and the water purveyor may be required to provide verification through an Urban Water Management Plan that an adequate water supply exists to service your proposed development.

Will any special or unique sewage wastes be generated by this development other than that normally associated with resident or employee restrooms? Industrial, chemical, manufacturing, animal wastes? (Please describe:)

No, sewage waste will be directyl from one restroom and multiple faucet/sinks inside building. Wastewater will be minimal and will be accounted for via septic tank and leach lines.

Please Note: Should any waste be generated by the proposed project other than that normally associated with a single family residence, it is likely that Waste Discharge Requirements will be required by the Regional Water Quality Control Board. Detailed descriptions of quantities, quality, treatment, and disposal may be required.

Yes No Are there existing irrigation, telephone, or power company easements on the property? (If yes, show location and size on plot plan.)

Yes No Do the existing utilities, including irrigation facilities, need to be moved? (If yes, show location and size on plot plan.)

Yes No Does the project require extension of utilities? (If yes, show location and size on plot plan.)

AFFORDABLE HOUSING/SENIOR:

Yes No Will the project include affordable or senior housing provisions? (If yes, please explain)

RESIDENTIAL PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Total No. Lots: _____ Total Dwelling Units: _____ Total Acreage: _____

Net Density per Acre: _____ Gross Density per Acre: _____

<i>(complete if applicable)</i>	Single Family	Two Family Duplex	Multi-Family Apartments	Multi-Family Condominium/ Townhouse
Number of Units:	_____	_____	_____	_____
Acreage:	_____	_____	_____	_____

COMMERCIAL, INDUSTRIAL, MANUFACTURING, RETAIL, USE PERMIT, OR OTHER PROJECTS: (Please complete if applicable – Attach additional sheets if necessary)

Square footage of each existing or proposed building(s): +/- 7,600 sf

Type of use(s): Three (3) bay lube and tire repair shop for existing and proposed truck stop facility.

Days and hours of operation: Truck parking will be 24/7, lube bay(s) and repair shop building will be 7 days a week 7am-7pm, and the container storage yard will be open 7 days a week from 7am-7pm.

Seasonal operation (i.e., packing shed, huller, etc.) months and hours of operation: N/A

Occupancy/capacity of building: N/A

Number of employees: (Maximum Shift): 5 (repair shop) 7 (container) (Minimum Shift): 2 (repair shop) 3 (container)

Estimated number of daily customers/visitors on site at peak time: 10 trucks at peak time (repair shop) 10 (containers)

Other occupants: N/A

Estimated number of truck deliveries/loadings per day: Twice per week (repair shop) about 20 per day (container)

Estimated hours of truck deliveries/loadings per day: 7am-7pm (repair shop) 7am-7pm (container)

Estimated percentage of traffic to be generated by trucks: TBD

Estimated number of railroad deliveries/loadings per day: N/A

Square footage of:

Office area: _____ Warehouse area: _____

Sales area: _____ Storage area: _____

Loading area: _____ Manufacturing area: _____

Other: (explain type of area) _____

Yes No Will the proposed use involve toxic or hazardous materials or waste? (Please explain)

The lube bay/repair shop will handle different types of hazardous materials/waste including oils, gasoline, etc. All hazardous materials and waste will be handled and disposed of per local laws/standards.

ROAD AND ACCESS INFORMATION:

What County road(s) will provide the project's main access? (Please show all existing and proposed driveways on the plot plan)

S McCracken Road currently provides access to the existing Triangle Truck stop. The proposed truck parking and repair shop will be accessed directly through the existing Triangle Truck Stop to the South (same owners with reciprocal access easements). S McCracken Road will provide direct access for the container storage yard.

Yes No Are there private or public road or access easements on the property now? (If yes, show location and size on plot plan)

Yes No Do you require a private road or easement to access the property? (If yes, show location and size on plot plan)

Yes No Do you require security gates and fencing on the access? (If yes, show location and size on plot plan)

Please Note: Parcels that do not front on a County-maintained road or require special access may require approval of an Exception to the Subdivision Ordinance. Please contact staff to determine if an exception is needed and to discuss the necessary Findings.

STORM DRAINAGE:

How will your project handle storm water runoff? (Check one) Drainage Basin Direct Discharge Overland

Other: (please explain) _____

If direct discharge is proposed, what specific waterway are you proposing to discharge to? _____

Please Note: If direct discharge is proposed, you will be required to obtain a NPDES permit from the Regional Water Quality Control Board, and must provide evidence that you have contacted them regarding this proposal with your application.

EROSION CONTROL:

If you plan on grading any portion of the site, please provide a description of erosion control measures you propose to implement.

Construction entrance, fiber rolls, silt fencing, inlet filter bags with gravel bags, wind/dust and erosion control via construction water. etc.

Please note: You may be required to obtain an NPDES Storm Water Permit from the Regional Water Quality Control Board and prepare a Storm Water Pollution Prevention Plan.

ADDITIONAL INFORMATION:

Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. (Attach extra sheets if necessary)

CENTRAL CALIFORNIA INFORMATION CENTER

California Historical Resources Information System

Department of Anthropology – California State University, Stanislaus

One University Circle, Turlock, California 95382

(209) 667-3307



Alpine, Calaveras, Mariposa, Merced, San Joaquin, Stanislaus & Tuolumne Counties

Date: 7/26/2022

Records Search File #: 12249N

Project: Proposed Truck Stop

Development, 7003 S. McCracken Rd., Westley,
CA 95363

Prabhjot Singh, Owner
5 E. Main Street, Suite B
Turlock, CA 95380

Invoice to: c/o Daniel Barnes/RMK Design, Inc.
1801 Lander Ave, Turlock, CA 95380
(209) 634-4832
dbarnes@rmkdesign.net

Dear Mr. Singh:

We have conducted a Priority Response/non-confidential extended records search as per the request of Mr. Daniel Barnes, PE, RMK Design, Inc. for the above-referenced project area located on the Solyo USGS 7.5-minute quadrangle map in Stanislaus County.

Search of our files includes review of our maps for the specific project area and the immediate vicinity of the project area, and review of the following:

National Register of Historic Places (NRHP)
California Register of Historical Resources (CRHR)
California Inventory of Historic Resources (1976)
California Historical Landmarks
California Points of Historical Interest listing
Office of Historic Preservation Built Environment Resource Directory (BERD) and the
Archaeological Determinations of Eligibility (ADOE)
Survey of Surveys (1989)
Caltrans State and Local Bridges Inventory
General Land Office Plats
Other pertinent historic data available at the CCalC for each specific county

The following details the results of the records search:

Prehistoric or historic resources within the project area:

- There are no formally recorded prehistoric or historic archaeological resources or historic buildings or structures within the project area.
- The General Land Office Survey Plats for T4S R6E (dated 1855 and 1871) do not show any historic features within the NE ¼ of Section 35.

- The 1953 edition of the Solyo 7.5' USGS quadrangle shows "Pipelines" adjacent to the northeast portion of the project area in the NE ¼ of Section 35, T4S R6E. We have no further information on file regarding these possible historical resources.

Prehistoric or historic resources within the immediate vicinity of the project area: None formally reported to the Information Center, but we caution that both prehistoric and historic archaeological resources as well as historic structures have been recorded within the general environs of the Solyo USGS map.

Resources that are known to have value to local cultural groups: None has been formally reported to the Information Center.

Previous investigations within the project area: Three investigations have been conducted that included the general project area (see references below), but no project-specific investigations have been conducted:

Moratto, M. et al. (INFOTECH Research, Inc. and BioSystems Analysis, Inc.)

1990 *Cultural Resources Assessment Report PGT-PG&E Pipeline Expansion Project in Idaho, Washington, Oregon and California; Phase I: Survey, Inventory, and Preliminary Evaluation of Cultural Resources [CCIC has only a partial copy of report].*

CCaIC Report ST-00621

Maniery, M. L. (Public Anthropological Research)

1985 *Cultural Resource Inventory and Evaluation of Stanpac #2 Gasoline Project, Stanislaus and San Joaquin Counties, California.*

CCaIC Report ST-00749

Canaday, T., M. Ostrogorsky, and M. Hess (Infotec Research, Inc.)

1992 *Archaeological Survey of Right-of-Way Corridor and Extra Work Spaces Construction Spread 5B, California; PGT-PG&E Pipeline Expansion Project, California.*

CCaIC Report ST-01846

Recommendations/Comments:

Please be advised that a historical resource is defined as a building, structure, object, prehistoric or historic archaeological site, or district possessing physical evidence of human activities over 45 years old. Since the property has not been subject to project-specific investigations, there may be unidentified features involved in your project that are 45 years or older and considered as historical resources requiring further study and evaluation by a qualified professional of the appropriate discipline.

If the current project does not include ground disturbance, further study for archaeological resources is not recommended at this time. If ground disturbance is considered a part of the current project, we recommend further review for the possibility of identifying prehistoric or historic-era archaeological resources.

If the proposed project contains buildings or structures that meet the minimum age requirement (45 years in age or older) it is recommended that the resource/s be assessed by a professional familiar with architecture and history of the county. Review of the available historic building/structure data has included only those sources listed above and should not be considered comprehensive.

If at any time you might require the services of a qualified professional the Statewide Referral List for Historical Resources Consultants is posted for your use on the internet at <http://chrisinfo.org>

If archaeological resources are encountered during project-related activities, work should be temporarily halted in the vicinity of the discovered materials and workers should avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations. Project personnel should not collect cultural resources.

If human remains are discovered, California Health and Safety Code Section 7050.5 requires you to protect the discovery and notify the county coroner, who will determine if the find is Native American. If the remains are recognized as Native American, the coroner shall then notify the Native American Heritage Commission (NAHC). California Public Resources Code Section 5097.98 authorizes the NAHC to appoint a Most Likely Descendant (MLD) who will make recommendations for the treatment of the discovery.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the State Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the CHRIS Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

We thank you for contacting this office regarding historical resource preservation. Please let us know when we can be of further service. Thank you for submitting the signed **Access Agreement Short Form**.

Note: Billing will be transmitted separately via email from the Financial Services office* (\$225.00), payable within 60 days of receipt of the invoice.

If you wish to include payment by Credit Card, you must wait to receive the official invoice from Financial Services so that you can reference the CMP # (Invoice Number), and then contact the link below:

<https://commerce.cashnet.com/ANTHROPOLOGY>

Sincerely,

E. A. Greathouse

E. A. Greathouse, Coordinator
Central California Information Center
California Historical Resources Information System

* Invoice Request sent to: ARBilling@csustan.edu, CSU Stanislaus Financial Services