

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (CEQ / EA) Number: CEQ #240003

Project Case Type (s) and Number(s): Plot Plan No. 2200047 (PPT220047) and Variance #230002

Lead Agency Name: County of Riverside Planning Department

Address: 4080 Lemon Street 12th Floor, Riverside, CA 92501

Contact Person: Krista Mason, Project Planner

Telephone Number: 951-955-6060

Applicant's Name: Stephane Wandel on behalf of Thrifty Oil Co.

Applicant's Address: 13116 Imperial Highway, Santa Fe Springs, CA 90670

I. PROJECT INFORMATION

Thrifty Oil Co (Applicant) proposes to construct one 194,479 square foot (SF) concrete tilt-up, non-refrigerated warehouse on an 8.87-acres of vacant land designated as APN 317-260-016 and 317-260-015 on the northeast corner of Water Street and Tobacco Road in the unincorporated Mead Valley area of Riverside County, approximately 7 miles west of the City of Perris (Proposed Project, Figure 1 - *Regional Vicinity*; Figure 2 - *Project Site - Aerial View*; Figure 3 - *Project Site USGS View*). The Proposed Project is designed to house one or more tenant(s), which have not been designated at this time, and will include one 186,479 SF warehouse with 10 bays, one grade level dock, 22 high docks and two, 4,000 SF offices, and related site landscaping, drainage basin, and parking.

The Project also includes dedication of approximately 0.27 acres for public right of way improvements to be built along Water Street and Tobacco Road as a part of the Proposed Project, as well as off-site utility improvements.

The project will also include onsite and offsite infrastructure improvements as required by the County of Riverside.

Concurrent Entitlements:

The Project requires the following approvals:

- Plot Plan No. 2200047 (PPT220047) to approve 194,479 SF non-refrigerated warehouse with 10 bays, one grade level door and 22 truck docks on 8.78 (net) acres and approximately 0.27 acres for street dedication and drainage improvements.
- Variance application No. PPT220047 to reduce the setback from 50 feet to 41 feet on the northern property boundary where the property north of the Project Site (APN 317-260-17 and owned by Project Applicant) which is zoned R-R-1 and has a land use of Rural Community-Very Low Density Residential.

On-Site Improvements

The project proposes the following on-site improvements:

Site Plan Overview. The Project is to construct one 194,479 SF non-refrigerated warehouse with 10 bays, one grade level door and 22 truck docks on 8.87 (net) acres and approximately 0.27 acres for street dedication and drainage improvements (refer to Off-Site Improvements in this section). The warehouse is designed to house one or more tenant(s), which have not been identified at this time, and includes 8,000 square-feet of offices (Figure 4 - *Site Plan*). The lot coverage would be 47.8 percent

based on the gross lot size where a maximum of 50 percent is allowed, and the floor area ratio (FAR) would be 0.49 based on the gross lot size.

The Project Site abuts APN 317-260-17 on the north which has R-R-1 zoning and APN 317-260-034 on the east, which is zoned M-SC. The Project Applicant owns APN 317-260-17. The Project is designed with a building setback of 42-45 feet on the northern property boundary and an approximate 138 feet on the east, where a minimum of 50 feet is allowed where an industrial property abuts a residential or commercially zoned property. A 6-foot-minimum and approximately 13 foot maximum varying landscape area is planned along the northerly property line and approximately 25 feet is provided along the easterly property line, where a minimum of 20 feet is required unless a tree screen is proposed. Therefore, to be compliant with the design standards for the northern property boundary the Applicant requires a variance. It is not feasible to move the building due to lot size and topography, and it is not financially feasible for the Applicant to reduce the building size while funding the County's master plan of drainage and street improvements being required as part of Project approvals. Further details are provided in Applicant's request for variance application.

The building interior height would be approximately 36-foot minimum clear, with an exterior height not to exceed 47'-6" above finish floor which is consistent with Federal Aviation Administration/March Air Reserve Base limitations and is consistent with the building elevations of the industrial uses within the immediate Project vicinity (Figure 5 - *Building Elevations and Profiles*). The Project was reviewed and approved by the ALUC on January 12, 2023 under File No. ZAP1550MA22. The ALUC Staff Report analyzed Part 77 and stated that due to the project distance being 8,300 feet from the runway an FAA Review would be required for any structures with the top of roof exceeding 1,571 feet AMSL. The Site elevation is approximately 1,464 feet AMSL. With the building being as tall as 53.5' tall, the Top of Roof would be 1,517.5 feet AMSL and thus a review of the building by the FAA Obstruction Elevation Service is not required.

The color scheme of the warehouse is a variety of neutral earth tones with accents which are consistent with a color scheme to blend with the surrounding area.

Parking. The site contains a total of 126 auto-parking spaces, which include five spaces that are American with Disabilities Act (ADA)-compliant stalls. Pursuant to Section 5.106.5.3.1 of the CalGreen Code, a total of 26 electric vehicle (EV) capable spaces will be provided. Of the 26 EV capable spaces, 6 will be auto parking spaces with electric vehicle supply equipment (EVSE) installed. Of the 6 auto parking spaces with EVSE, one will be designated as standard accessible EVCS and one will be designated as van accessible EVCS. Pursuant to Section 5.106.4.1.2 of the CalGreen Code, 7 long-term bicycle parking spaces will be provided.

Landscaping and Hardscape. Landscaping is designed around the perimeter as well as within various parking areas. The facility will provide approximately 58,128 SF of landscaped area (approximately 15 percent of the net lot area), which exceeds the 15 percent (or 57,979 SF) minimum required by the County (refer to Figure 6 - *Landscaping Plan*). Drought tolerant plants are incorporated into the design. A street tree that will be determined in the construction phase is primarily planned for the Water Street frontage, while chitalpa and Rhus Lancea are planned for the Tobacco Road frontage. Brisbane box trees are planned for the northern property boundary, with Chitalpas and Brisbane box trees being temporarily planted along the slope extending off the property. Drought tolerant ground cover is identified around the building perimeter and along the property boundary perimeter. Best Management Practices (BMPs) are included to reduce imperviousness and incorporate Low Impact Design (LID) Principles into the landscape design.

Site Lighting: Site lighting will be LED lights building-mounted and pole-mounted hooded or shielded per the Airport Land Use Commission requirements that will be pointed downward at the parking lot and/or along the edges of the building (Figure 7 - *Photometric Plan*). Lighting will be retained onsite per County standards.

Stormwater Management: The Project Applicant has prepared a Water Quality Management Plan (WQMP, Appendix H-2) that identifies stormwater management for the building operations/post construction. Overall, the existing drainage patterns were identified, and the design preserves the overall drainage pattern. As part of the Project, the on-site storm drain system will be constructed to collect and convey the storm water runoff in a northeasterly direction to proposed permanent structural best management practices (BMPs) for treatment purpose. The site BMP's will consist of pre-treatment filtering systems prior to stormwater infiltration by underground storm chambers. The site will attenuate the Q-10 yr 24- hr. design storm and the design capture volume will be infiltrated. The chambers are sized to attenuate the developed flows and safely pass the Q-100 design storm at the project site. The stormwater will discharge through four 12-inch diameter storm drainpipes to an overflow "U" shaped concrete channel and weirs to the adjacent County of Riverside easterly parcel. There will also be a 3-foot wide stabilization blanket consisting of grouted rip-rap continuous to the property line discharge via sheet flow. Construction of the Project will also require the contractor to prepare a Stormwater Pollution Prevention Plan (SWPPP) as the site is more than 1 acre.

Utilities and Services: Public water and sewer are provided by Eastern Municipal Water District (EMWD), electrical service is available from Southern California Edison (SCE), and natural gas is available from Southern California Gas (SoCal Gas/Sempra Energy). The Applicant has received Will Serve Letters from EMWD and SCE (Appendix K). The Project will not require natural gas service.

Off-Site Improvements

The project proposes the following off-site improvements:

- Installation of approximately 1,250 linear feet of sewer main to connect with the existing main currently located east of the Project Site, at the intersection of Water Street and Harvill Avenue. A new 8-inch line will be installed in the Water Street right of way from the existing EMWD sewer manhole located at Harvill Avenue intersection (westerly side of the street).
- The water connections are planned to tie into existing water mains fronting the site in Tobacco Road and Water Street.
- Road improvements are proposed to widen and pave Water Street along the Project frontage, from Tobacco Road to approximately 660 feet easterly of the intersection of Water Street and Tobacco Road. Improvements include paving, installation of curb, gutter and sidewalk (28-foot half street improvements) plus 18-foot width.
- Road improvements are proposed to widen Tobacco Road from the intersection of Water Street approximately 650 linear feet north from the intersection of Tobacco Road and Water Street to Placentia Avenue. Improvements include 32 feet of pavement along the Project frontage with Tobacco Road and 16 feet of one-half street pavement and graded shoulder from the northern property boundary to the intersection of Tobacco Road and Placentia Avenue. In addition, minor curb return and pavement transitions to the existing asphalt pavement will be installed at the intersection of Tobacco Road and Placentia Avenue. An asphalt-concrete berm will be constructed to convey drainage to the Placentia Avenue intersection storm drain system (Lateral H 10.1).
- Construction of 630 feet of 36-inch Master Planned Storm Drain Line H-10 along the project frontage in Water Street from the intersection of Tobacco Road easterly to the tie-in per County of Riverside Storm Drain Improvement plan IP220057. The adjacent developer (BCIF Harvill Business Center LP) per PPT220002 will construct the Master Plan Storm Drain Line H-10, 672 feet of 36-inch reinforced concrete pipe (RCP) in Water Street from the intersection of Harvill Avenue and Water Street to the Project Site's easterly boundary. Thrifty Oil Company, has also

coordinated with BCIF Harvill Business Center LP for construction of the downstream storm drain Line H 10 (approximately 1,337.5 linear feet of 54-inch and 48-inch RCP in Harvill Avenue) from the intersection of Water Street and Harvill Avenue to the intersection of Harvill Avenue and Placentia Avenue per Perris Valley MDP Line H-10 County Flood Control Plans prepared per IP 220057. Therefore, the new storm drain planned from the Property Site boundary to the intersection of Water Street and Harvill Avenue, and from Harvill Avenue to Placentia Avenue, would be constructed by others, however, the Applicant is required to complete those improvements should the other applicant not follow through with construction of the new line. The storm drain alignment is shown on Figure 8 – *Off-Site Improvements*

- Construction of 1,250 feet of multipurpose trail per modified County of Riverside Standard No 405 (18-feet in width), consisting of 10-foot wide densified granite trail with a split rail equestrian fence separating an 8-foot wide parkway section consisting of 2 feet of landscaping and a 6-foot wide public sidewalk. The multipurpose trail will be constructed within the public right-of-way on the southerly side of Placentia Avenue from the southeasterly intersection of Tobacco Road to the intersection of Harvill Avenue. The trail section is shown on Figure 8 – *Off-Site Improvements*.
- Street lights along the property frontage along Water and Tobacco, to County standards.

Construction

Construction is anticipated to occur in one phase, beginning in winter 2024, lasting approximately 12 months. Initial site improvements include grading and underground infrastructure followed by building construction, paving, and landscape activities. The grading quantities are anticipated to balance on site and little to no import or export of fill material is anticipated. Project construction will require the use of heavy equipment such as dozers, scrapers, paving machines, concrete trucks, and water trucks.

Construction activities include the following:

Site grading and underground utility construction – expected to last approximately two months. Site activities include placement of underground water, sewer and other utilities throughout the site to service the building. Typical equipment includes excavators and trenchers.

Building Construction and Architectural Coating – construction of the warehouse (including the office space) is expected to occur over eight to nine months. The construction method is concrete tilt-up – concrete is formed on the ground, lifted into place and braced. Typical equipment includes welders, concrete trucks, and cranes for lifting. Should a crane be utilized, the Project contractor will comply with all local, State, and federal regulations, including but not limited to the FAA Section 77.13 for construction/alteration near airports. The type of equipment will be evaluated and all permits obtained as necessary prior to construction. All portions of the building will be completed including installation of rollup doors and painting, per plans to be permitted by the appropriate regulatory agencies.

Final Site Paving and Landscaping – anticipated to occur over one month. All parking areas will be paved, and landscaping placed per the design. All architectural and parking lot lighting will also be installed.

Operations

As no tenant has been selected at this time, the specific operational scenario for the Project cannot be identified. However, it is anticipated that the Project will be conditioned to operate within the County of Riverside zoning and regulatory guidelines for type of use and hours of operation. The Industrial Park zoning of the site provides for light industrial uses and related activities including manufacturing,

research, warehouse and distribution, assembly of non-hazardous materials and retail related to manufacturing. This zone correlates with the "Light Industrial" General Plan Land Use designation.

In general, the facility is designed to be a non-refrigerated warehouse facility with one grade level doors and 25 truck docks. Security gates are designed at the south entrance from Water Street, and in the drive aisle on the northern side of the building. The gates will be open during the tenant operating hours.

Based on the building size and the County of Riverside General Plan employee generation factor of 1 employee for every 1,030 SF of Light Industrial space layout, the calculation results in an employee total of approximately 188. However, this estimate exceeds the required parking of 125 spaces, as well as employment of similar operations. Employment estimates calculated using the employment density factors identified in the Southern California Association of Governments (SCAG) *Employment Density Study* (October 2001), which identifies a rate of one employee per 1,195 SF. of building area for industrial warehouse uses result in 163 employees ($194,479 \text{ SF} \div 1,195 \text{ SF/employee} = 163$ employees), again exceeding required parking. The estimated number of employees that would be required for the Project has not been estimated for purposes of this analysis at 100 based on actual data from similar facilities operating throughout southern California. This employment projection does not include truck drivers which may be accounted for in other jurisdictions (e.g. place of residence which may not be in the Project's area of Riverside County).

There are 3 vehicular access points into the Project Site; two on Tobacco and one on Water. The main entrance for autos is from the southern driveway along Tobacco Road. The primary truck entrance is located on the south end of the Project Site on Water street, with a secondary truck access on the north side of the building to accommodate overflow passenger cars and trucks as well as emergency vehicles.

Also, 30 trailer parking stalls are provided along the eastern side of the building, inside the truck court.

All driveways are designed to allow for full turns into and out of the Project Site, with all driveways to be a minimum of 250 feet from the nearest intersection.

The site falls within the Mead Valley Area Plan (MVAP), with a land use designation as Business Park. The parcel zoning is I-P Industrial Park (Figure 8 - Project Site Zoning).

A. Type of Project: Site Specific ; Countywide ; Community ; Policy .

B. Total Project Area:

Residential Acres:	Lots:	Units: 0	Projected No. of Residents:
Commercial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres: 9.14	Lots: 2	Sq. Ft. of Bldg. Area: 194,479	Est. No. of Employees:
Other:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees: 100

C. Assessor's Parcel No(s): 317-260-016 and 317-260-015

Street References: Northeast corner of Water Street and Tobacco Road, within the Mead Valley Area Plan (MVAP).

D. Section, Township & Range Description or reference/attach a Legal Description: Section 13, Township 4 South, Range 4 West, San Bernardino Base and Meridian, California, *Steel/Peek*, USGS Quad.

E. Brief description of the existing environmental setting of the project site and its surroundings: The Project Site is relatively flat, with elevations that range from approximately

1,567 to 1,532 feet above mean sea level, sloping in a northeasterly gradient. Figure 9 – *Project Site Zoning* identifies the Site and zoning and the surrounding zoning.

North: The Project Site abuts vacant property on the north side, zoned R-R-1 (Rural Residential). Placentia Ave lies approximately 650 feet to the north of the Project Site. Residential land uses exist immediately northeast of the Project Site, along Tobacco Road and Placentia Ave. That property is also owned by the Applicant and is intended to be converted to industrial uses.

South: Water Street, an approximately 21-foot-wide paved road, lies along the southern Project Site boundary. Water Street is planned to be a 60-foot-wide roadway, and the Project Site is situated outside of its ultimate alignment. Land immediately south of Water Street is zoned Industrial Park and is occupied by truck and trailer parking facility.

West: Tobacco Road, an approximately 26-foot-wide paved road, lies along the western Project Site Boundary. Zoning immediately west of Tobacco Road is agriculture (A-1-1) and is vacant, and the western extension of Water Street extends into this area, however, it is closed to the public. A portion of the vacant land is flat and a portion contains a granitic rock ridgeline that trends in a northerly-southerly direction through most of the Mead Valley area. The property is currently being considered for a land use change to Industrial.

East: The Project Site abuts vacant property along the east side that is zoned Manufacturing, Service Commercial (M-SC). This parcel is owned by the County of Riverside and the County intends to use this parcel as a transportation operations yard.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- **Land Use:** The Project Site is within the Mead Valley Area Plan (MVAP) with a General Plan Foundation Component of Community Development and a Land Use designation of Business Park (BP). The MVAP defines “Business Park” as “employee intensive uses, including research & development, technology centers, corporate offices, “clean” industry and supporting retail uses,” and supporting a floor area ratio (FAR) of 0.25 to 0.60. The Proposed Project is consistent with the use of Business Park, and the Project’s FAR is 0.497, consistent with the design standards.

Setbacks and Variance: County Code, Title 17, Section 17.96.040 requires a minimum 50 feet setback on any boundary where the industrial property abuts a residential or commercially zoned property. A minimum of 20 feet of the setback must be landscaped unless a tree screen is approved in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required. County Code, Title 17, Section 17.196.010 describes that a variance may be granted because of special circumstances applicable to a parcel of property, including size, shape, topography, location or surroundings, the strict application of this title deprives such property of privileges enjoyed by other property in the vicinity that is under the same zoning classification. Variances are limited to modifications of property development standards, such as lot size, lot coverage, yards, and parking and landscape requirements.

The Project Site abuts APN 317-260-17 on the north which has R-R-1 zoning and APN 317-260-034 on the east, which is zoned M-SC. The Project Applicant owns APN 317-260-17. The Project is designed with a building setback of 42-45 feet on the northern property boundary and an approximate 138 feet on the east. The Project landscaping is designed for

6-10 feet of the northern property setback and 18-25 feet within the eastern setback. Therefore, to be compliant with the design standards for the northern property boundary the Applicant requires a variance. It is not feasible to move the building due to lot size and topography, and it is not financially feasible for the Applicant to reduce the building size in addition to funding all of the County's master plan of drainage improvements being required as part of Project approvals. Further details are provided in Applicant's request for variance application.

- **Circulation:** The site is within the MVAP. Applicable circulation policies contained in the Plan include the following:
 - MVAP 9.1 – Design and develop the vehicular roadway system per General Plan Circulation Element Figure 7, Circulation, and in accordance with the Functional Classifications and Standards.
 - MVAP 9.2 – Maintain the County's roadway Level of Service standards as described in the Level of Service section of the General Plan Circulation Element.

The Project Site is not located adjacent to a scenic area nor are there General Plan identified scenic resources in the area. Therefore, the circulation policies relative to scenic highways are not applicable as there are no scenic highways in the Project area.

The Project includes street improvements to Tobacco Road and Water Street. Project Site access would be accommodated off of Tobacco Road and Water Street for both passenger cars and trucks. Access to the I-215 Freeway is anticipated to occur via Placentia Avenue to the north of the Project Site directly to the I-215 Freeway. The Proposed Project will be reviewed and approved for conformance with Riverside County Ordinance No. 461, "Road Improved Standards and Specifications" by the Riverside County Transportation Department.

The General Plan Element identifies that Level of Service (LOS) "C" applies to all development proposals within the MVAP. The Proposed Project is anticipated to generate a total of 334 two-way trips per day with 31 AM peak hour trips and 36 PM peak hour trips (in actual vehicles). In comparison, the Proposed Project is anticipated to generate a total of 514 passenger car equivalent (PCE) two-way trips per day with 39 PCE AM peak hour trips and 39 PCE PM peak hour trips. According to the County's traffic study guidelines, the Project generates less than 100 vehicle trips during the peak hours and is exempt from preparing a Traffic Impact Analysis. Therefore, it is assumed that the Project would maintain a LOS C consistent with the General Plan.

- **Multipurpose Open Space:** The Proposed Project is not located in an Open Space area or adjacent to an Open Space area. No natural open space land is required to be preserved within the boundaries of this Project.

The property is located in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Conservation Area and falls within Criteria Cell 2529. A Habitat Evaluation and Acquisition Negotiation Strategy (HANS) evaluation for the Proposed Project was prepared and submitted to Riverside County for review and processing. There is approximately 29.69 acres of native scrub within Criteria Cell 2529 that would meet the goals of conserving between 8.70 (5%) and 24.25 (15%) acres of habitat. These acres lie outside of the Project Site boundaries to the west, and is the portion of the Cell desired for acquisition. The western acreage is also closest to the existing conserved lands. The County will provide conditions of approval reflecting HANS compliance measures.

The Project is consistent with or would otherwise not conflict with MSHCP Section 3.3.13 evaluation, findings and recommendations. No riparian or other sensitive vegetation is located on the site and the Project Site is not a wildlife corridor nor located in a floodway or floodway fringe area. The site also does not contain agricultural resources, mineral resources, or any known significant cultural or paleontological resources, and is not located in a designated scenic corridor. The Proposed Project would not be a water-intensive use, and the Project's landscaping plan complies with County Ordinance No. 859.3, "Water Efficient Landscape Requirements".

The Proposed Project meets all other applicable Multipurpose Open Space Element Policies.

- **Safety:** The Proposed Project is not located within any special hazard zone (including fault zone, high liquefaction, dam inundation zone, high fire hazard area, etc.). On January 12, 2023, the Riverside County Airport Land Use Commission (ALUC) reviewed the Proposed Project for air hazard safety and deemed the project consistent with the March Air Reserve Base Airport Land Use Compatibility Plan for Zone C2 subject to conditions of approval which the County will impose as conditions of approval on Plot Plan No. 2200047. The Proposed Project has allowed for sufficient provision of emergency response services to the future users of this facility through the design and payment of development impact fees. The Proposed Project meets with all other applicable Safety Element policies.
- **Noise:** Noise associated with this Proposed Project will be during the initial grading and building construction, which is temporary. Operational noise will meet all applicable Noise policies.
- **Housing:** The Proposed Project does not include housing.
- **Air Quality:** The Proposed Project would control any fugitive dust during grading and construction activities pursuant to South Coast Air Quality Management District (SCAQMD) requirements. The Proposed Project meets all applicable Air Quality Element policies.
- **Healthy Communities:** Not applicable. The Proposed Project is a warehouse within an industrial area. The Project would not result in any air quality, hazardous materials, noise or other impacts that would affect Healthy Communities.
- **Environmental Justice:** The Project would develop and operate one speculative warehouse building on the undeveloped site, which has been planned for Business Park uses. The Project is located in the Mead Valley Environmental Justice Community (see Figure 9). In compliance with General Plan Policy HC 15.1, multiple outreach events have been conducted during the planning process for the Project. Additionally, the Applicant has provided a completed an Environmental Justice Form showing that the Proposed Project complies with all applicable Environmental Justice Policies. Figure 10 – *Environmental Justice Communities* provides the Project Site location in relation to sensitive communities.

B. General Plan Area Plan(s): Mead Valley Area Plan (MVAP).

C. Foundation Component(s): Community Development.

D. Land Use Designation(s): Business Park (Mead Valley)

E. Overlay(s), if any: March Air Reserve Base Influence Area, Zone C2

F. Policy Area(s), if any: N/A

G. Adjacent and Surrounding:

1. **General Plan Area Plan(s):** Mead Valley
2. **Foundation Component(s):** Rural Community (north and west); Community Development (east and south)
3. **Land Use Designation(s):** Business Park (east adjacent); Rural Community-Very Low Residential Density (north adjacent); Tobacco Road (west adjacent, Rural Community-Very Low Residential Density west of Tobacco Road), Water Street (south adjacent, Business Park, south of Water Street).
4. **Overlay(s), if any:** Not Applicable.
5. **Policy Area(s), if any:** N/A

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Not Applicable.
2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable.

I. Existing Zoning: I-P (Industrial Park)

J. Proposed Zoning, if any: No change.

K. Adjacent and Surrounding Zoning: M-SC (east adjacent); R-R-1 (north adjacent); Tobacco Road (west adjacent, A-1-1 west of Tobacco Road), Water Street (south adjacent, I-P and M-SC, south of Water Street).

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|--|
| <input type="checkbox"/> Aesthetics | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities / Service Systems |
| <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Energy | <input checked="" type="checkbox"/> Paleontological Resources | <input checked="" type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

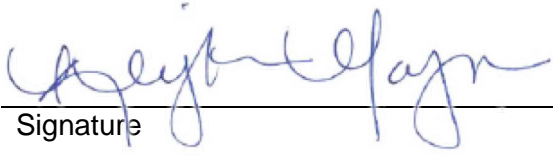
I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would

substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

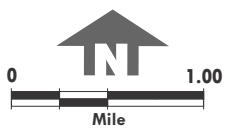
02/22/2024

Date

Krista Mason

Printed Name

For John Hildebrand
Planning Director



LILBURN
CORPORATION

REGIONAL LOCATION

Thrifty Oil Speculative Warehouse
23682 Water Street
Riverside County, California

FIGURE 1

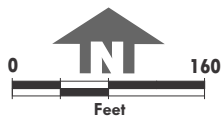


Placentia Ave.

PROJECT SITE

Harvill Ave.

Water St.



LILBURN
CORPORATION

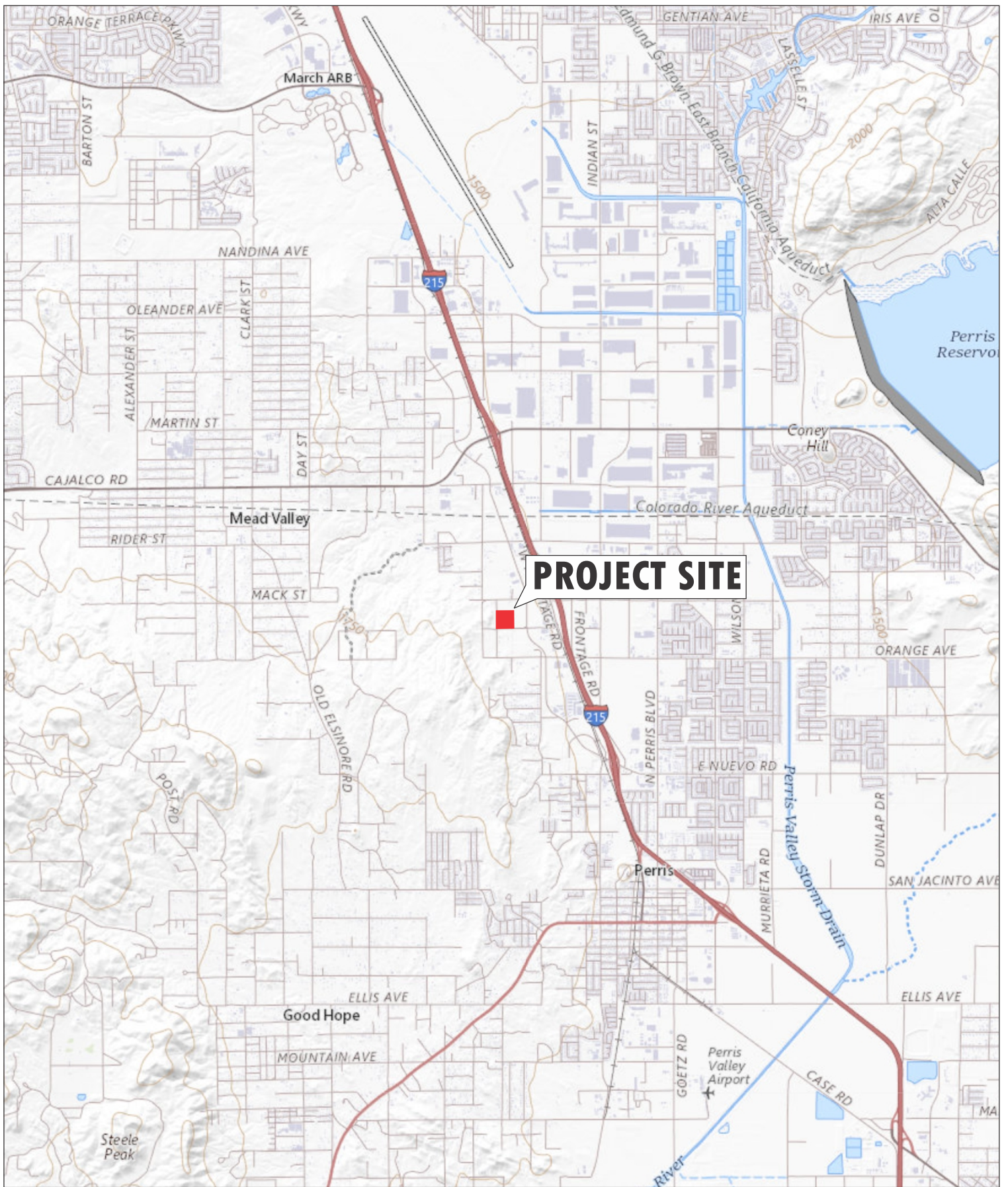
PROJECT SITE-AERIAL VIEW

Thrifty Oil Speculative Warehouse

23682 Water Street

Riverside County, California

FIGURE 2



PROJECT SITE

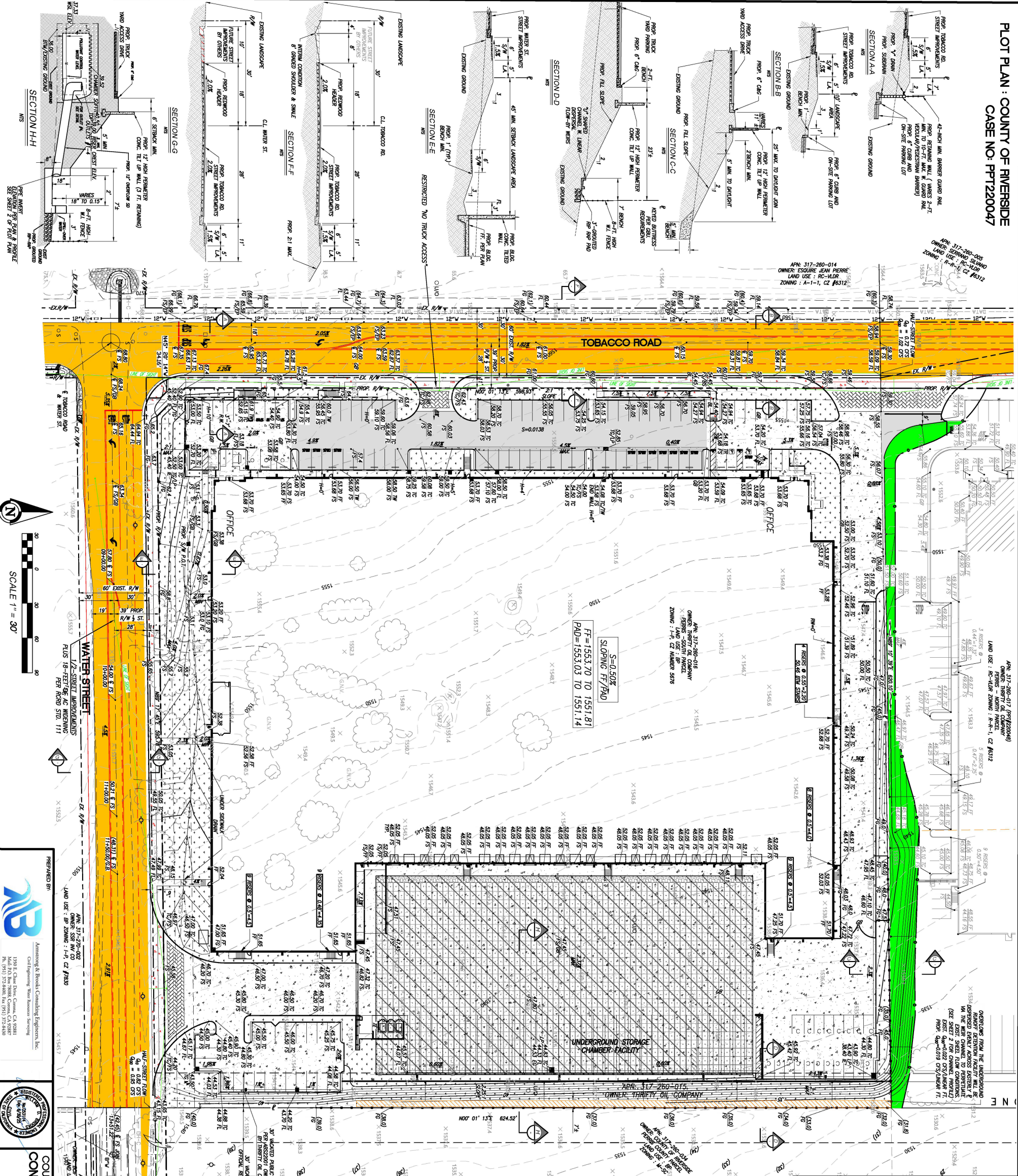


LILBURN
CORPORATION

PROJECT SITE-USGS VIEW

Thrifty Oil Speculative Warehouse
23682 Water Street
Riverside County, California

FIGURE 3



VICINITY MAP
 TOWNSHIP 4S
 RANGE 4W, SECTION 13

LEGEND

- APPROXIMATE GROSS LAND AREA
- APPROXIMATE NET LAND AREA (87 AC)
- LEGAL DESCRIPTION: APN: 317-260-016
- LEGAL DESCRIPTION: APN: 317-260-015

ABBREVIATIONS

- AC: ASPHALT CONCRETE
- CC: CONCRETE
- CL: CLAY
- CM: COMBINATION
- CS: CONCRETE SURFACE
- DC: DRAINAGE CHANNEL
- EM: EXISTING MATERIAL
- FM: FINISHED GRADE
- FL: FLOW LINE
- FS: FINISHED SURFACE
- GS: GRAVEL SURFACE
- HS: HARD SURFACE
- IS: IMPROVED SURFACE
- LA: LANDSCAPE AND LANDSCAPE AREA
- LI: LANDSCAPE IMPROVEMENT
- LS: LANDSCAPE SURFACE
- MS: MASONRY SURFACE
- NS: NATURAL SURFACE
- OS: OPEN SURFACE
- PS: PROPOSED SURFACE
- RS: REINFORCED SURFACE
- SS: SLOPED SURFACE
- TS: TOP OF CURB
- US: UNDER SURFACE
- VS: VERTICAL SURFACE
- WS: WATER SURFACE
- YS: YARD SURFACE

General Notes

1. THESE ARE NOT DIMENSIONED CONCRETE WALLS OR CONCRETE WALLS ON-SITE.
2. THERE IS NO OVERLAP POWER DRAWING ALONG WATER ST. OR TOBACCO RD.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

UTILITY PURVEYORS

- WATER: EASTERN MUNICIPAL WATER DISTRICT
- SEWER: EASTERN MUNICIPAL WATER DISTRICT
- ELECTRIC: SOUTHERN CALIFORNIA EDISON
- GAS: SOUTHERN CALIFORNIA GAS COMPANY
- WASTE: WASTE MANAGEMENT COMPANY

EARTHWORK QUANTITIES

CUT = 12,411 CU. YD.
 FILL = 50,412 CU. YD.
 NET = 38,000 CU. YD.

DATE OF PLOT : 02-07-2024

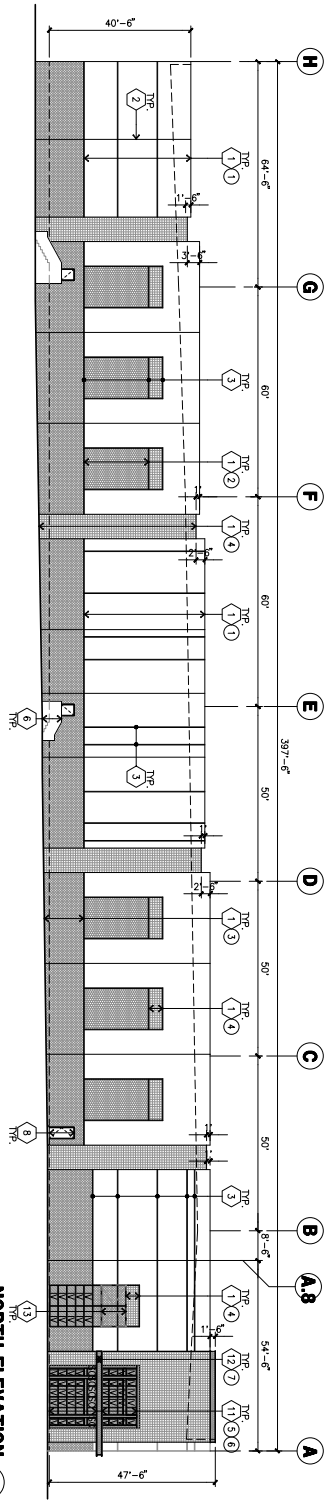
COUNTY OF RIVERSIDE - THRIFTY OIL
CONCEPTUAL GRADING AND DRAINAGE
PLAN - SCHEME 13
 SHEET 1 OF 4
 APNS 317-260-015 AND 317-260-016

PREPARED BY:

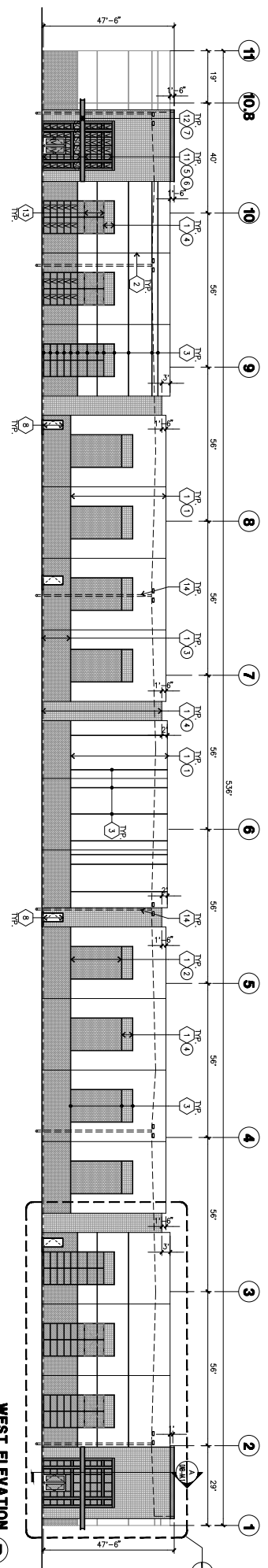
 Armstrong & Brooks Consulting Engineers, Inc.
 1591 E. Orange Street, Suite 200, CA 92513
 (951) 773-8800 FAX (951) 773-8839



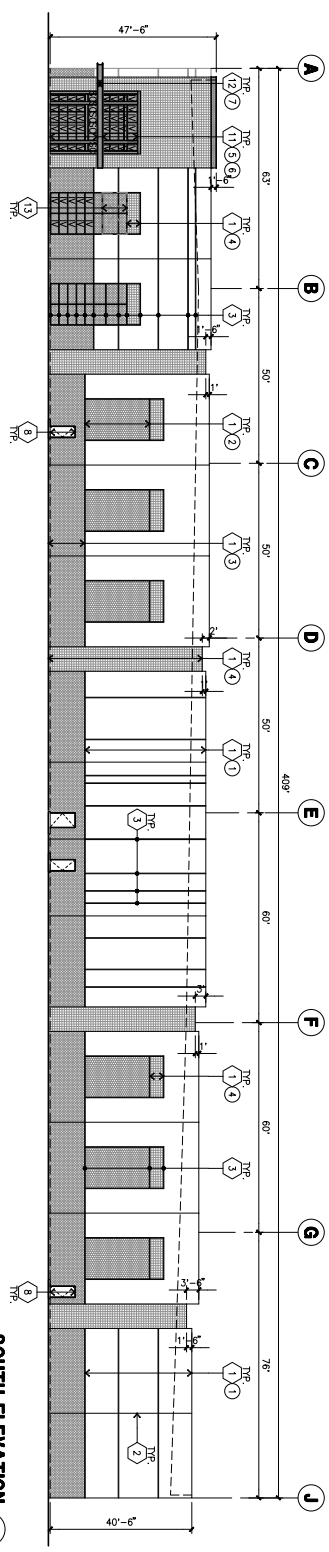
SITE PLAN
Thrifty Oil Speculative Warehouse
 23682 Water Street
 Riverside County, California
FIGURE 4



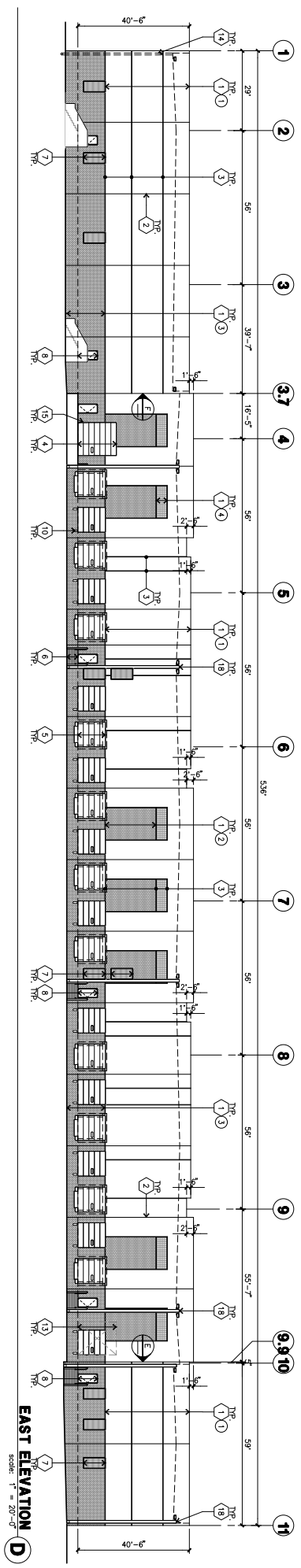
NORTH ELEVATION
scale: 1" = 20'-0"



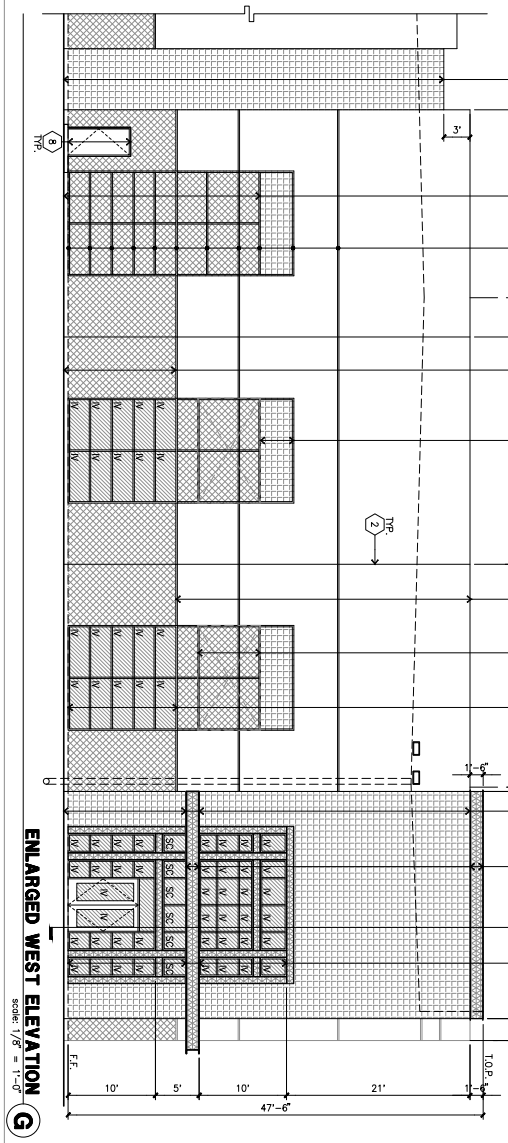
WEST ELEVATION
scale: 1" = 20'-0"



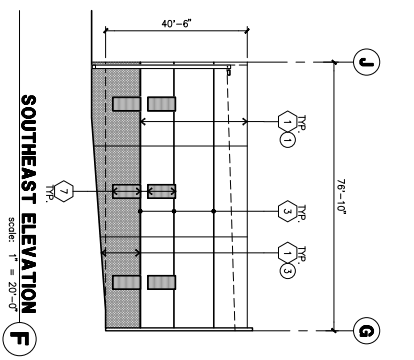
SOUTH ELEVATION
scale: 1" = 20'-0"



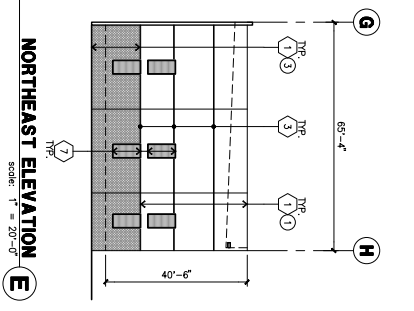
EAST ELEVATION
scale: 1" = 20'-0"



ENLARGED WEST ELEVATION
scale: 1/8" = 1'-0"



SOUTHEAST ELEVATION
scale: 1" = 20'-0"



NORTHEAST ELEVATION
scale: 1" = 20'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
- 4 REVEAL COORDINATION TO SEE SAME BUILDING FACILE COMPLETE.
- 5 WEATHER-STRIPPING PROTECTION ALL AROUND. WEATHER COMPLETE.
- 6 WEATHER-STRIPPING PROTECTION ALL AROUND.
- 7 CONCRETE STRIP, JAMING AND CLAMPING W/ METAL PIPE HANGING.
- 8 AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS COMPENSATING COLORED 3" WIDE WARNING STRIPES INTERNAL TO CONCRETE AT TOP AND BOTTOM OF STEPS FOR VISUALIZATION. PAINT TO MATCH BUILDING COLOR.
- 9 FOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL ROOF LINE REVEALS.
- 10 ROCK ROOF RAINERS SPREAD.
- 11 ALUMINUM STIFFENER FRAMING WITH TAPERED GLAZING AT ALL DOORS. SEALANTS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 METAL CLAMP.
- 13 KNOCK-OUT PANEL.
- 14 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCOPPERS.
- 15 CONC. FILLED GUARD POST. 6" DIA. UNLO. 42H.
- 16 EXTERIOR LIGHTING FIXTURE.
- 17 APPROXIMATE LOCATION OF ADDRESS ON WALL.
- 18 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCOPPERS.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. TOP E.L. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STORMWATER CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST - WIND, EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED FINISH (SEE ELEVATIONS) AND OWNER SHALL PROVIDE FINISH TO MATCH REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANGLER GLAZING, ALLOW SPACE BEHIND SPANGLER TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPREAD-ON.
11. ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR.

ELEVATION COLOR LEGEND/SCHED.

- 1 PAINT. COLOR : SW 6070 HERON FLUIDE (299-C1)
- 2 PAINT. COLOR : SW 7051 ANNUAL GRAY (246-C2)
- 3 PAINT. COLOR : SW 7540 FAWN BRINDLE (247-5)
- 4 PAINT. COLOR : SW 7075 WEB GRAY (235-05)
- 5 BUILDING COLOR : BLACK WALL/IN
- 6 GLAZING COLOR : BLUE GLAZING
- 7 METAL CLAMP, BLACK I-BEAM

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TAPERED.
- INSULATED WIND GLASS
 - SPANGLER GLAZING WITH SPANGLER BEHIND
 - SMOKE LITE
 - INSULATED WIND GLASS
 - 1/4" VISION GLASS + 1/4" SOLARFILM 60 CLEAR
 - 1/2" VISION GLASS + 1/2" SOLARFILM 60 CLEAR
 - U-0.32 R-0.91 UNIT WITH 3/4" AIR SPACE AND 1/4" U-GS
 - MINIMUM 1/8" TO BE 0.42 PER 2016 CBC TABLE 1403.5-B
 - SC : PAVEMENT REVEALS TO MATCH ADJACENTLY BLUE GRANITE PAINTED ON REFLECTIVE INSTALLED ON CONCRETE
 - V : VISION GLASS, METAL
 - W : WOOD, METAL, METAL
 - WALLS : BLACK ANODIZED



HPA, Inc.
18851 Bardner Avenue - Ste. #100
Riverside, CA 92504
Tel: 949-853-1170
Fax: 949-853-1951
email: hpa@hpaarch.com

Owner:
THRIFTY OIL CO.

13116 Imperial Highway
Suite 100
Serra Pk Springs CA 92570
Tel: 952-321-3381

Project:
Tobacco Rd & Water St

SWC of Tobacco and Water
Riverside County, CA

Consultants:
Armstrong & Brooks
Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

The: **ELEVATIONS**
P/N Plan No. 2200047, PRT2200047

Project Number: 21228
Drawn by: LJK
Date:

Revision:
DAB 1ST SUBMITTAL 11/14/22
DAB 2ND SUBMITTAL 02/28/23
DAB 3RD SUBMITTAL 07/27/23
DAB 4TH SUBMITTAL 11/07/23
DAB 5TH SUBMITTAL 02/01/24

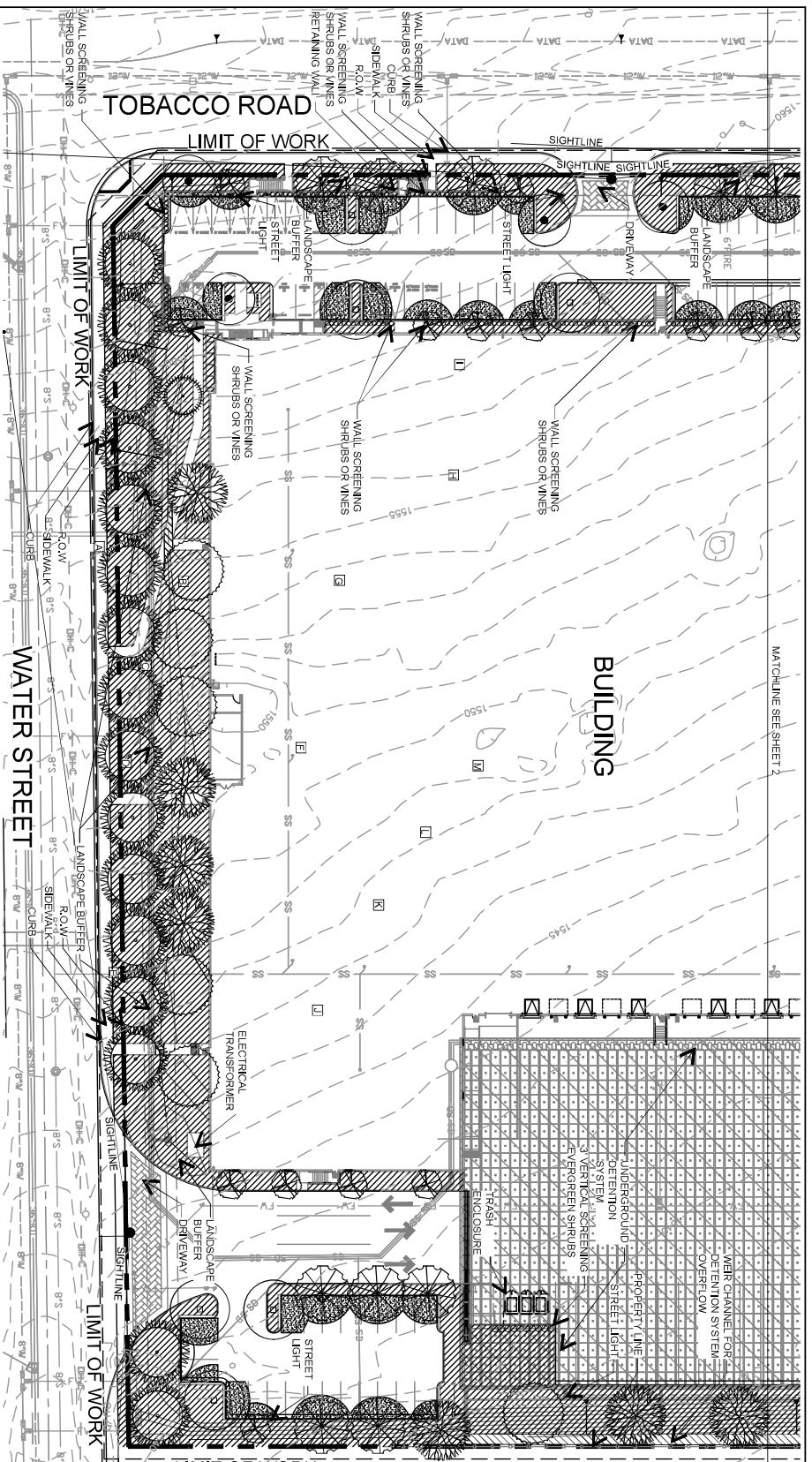
Sheet:
DAB-A3.1



BUILDING ELEVATIONS AND PROFILES

Thrifty Oil Speculative Warehouse
23682 Water Street
Riverside County, California

FIGURE 5



PLANTING LEGEND

TREES	SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING	REMARKS
		Ficus Ash	36" Box	7	L	Standard	30' O.C.
		Catalpa bignonioides	36" Box	2	L	Multi	30' O.C.
		Chitalpa tashiroensis	36" Box	20	L	Standard	30' O.C.
		Shear Tree	36" Box	16	M	Street Tree	30' O.C.
		Pinus attenuata	36" Box	10	L	Standard	30' O.C.
		Pinus torreyana	36" Box	9	M	Standard	30' O.C.
		Callitris nivalis	36" Box	8	L	Standard	30' O.C.
		Trestia conferta	36" Box	57	M	Standard	25' O.C.

Riverside County Ordinance 659 Landscape Water Use Calculations

(Insert Project Name, Description)

Project Type: Commercial

Eto Allowance: 0.45

Applicant to use drop down menus in cells that indicate a selection to describe each Hydrozone. Where "N/A" is shown, applicant to enter project specific information. Please note that enclosed formulas will reflect as "N/A" or as an error until selections are completed.

Hydrozone	Plant Type	Water Use
1 Maximum Annual Water Allowance (MAMA)		61,196 5 F.
INPUT: the total square footage of landscape = 55,40		
INPUT: the Eto for the area = 0.45		
MAMA = 139,258	cu ft / yr	
2 Estimated Annual Water Use (EAWU)		
INPUT: Square Foot Area of Hydrozone = 16,549		
Hydrozone #1 INPUT: Infiltration Efficiency = 0.20	Plant Factor = 0.2	Plant Type: Street / Groundcover
Hydrozone #2 INPUT: Infiltration Efficiency = 0.25	Plant Factor = 0.2	Plant Type: Street / Groundcover
Hydrozone #3 INPUT: Infiltration Efficiency = 0.25	Plant Factor = 0.2	Plant Type: Street / Groundcover
Hydrozone #4 INPUT: Infiltration Efficiency = 0.25	Plant Factor = 0.5	Plant Type: Tree / Shrub
Hydrozone #5 INPUT: Infiltration Efficiency = 0.25	Plant Factor = 0.2	Plant Type: Street / Groundcover
Hydrozone #6 INPUT: Infiltration Efficiency = 0.25	Plant Factor = 0.2	Plant Type: Street / Groundcover
INPUT: Infiltration System Operation Factor = 0.85		
Total EAWU = 81,785	cu ft / yr	
MAMA - EAWU = 49,471	cu ft / yr	
(this number must be positive)		
PERCENTAGE OF WATER SAVED RELATIVE TO MAX. ALLOWED = 36%		

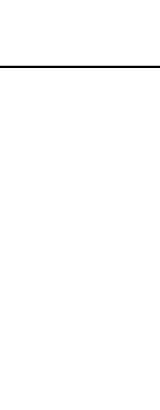
- NOTES:
- ALL TREES WITHIN 6' OF HARDSCAPE SHALL LINEAR ROOT BARRIER BE SURE TO EXTEND 5' MIN. ALONG HARDSCAPE IN BOTH DIRECTIONS FROM THE CENTER OF THE TREE.
 - CONTRACTOR TO INSTALL CONCRETE MOW CURB BETWEEN PLANTERS AND ROCK AREAS.
 - ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF SHREDED ORGANIC MULCH, 4" PER GROUND COVER, 6" PER GRASS, 8" PER TREE.
 - PER ORDINANCE NO. 946, SECTION 14.2, 50% OF PARKING AREA SHALL BE SHADED.
 - IRRIGATION AND PLANTING TO BE IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE NO. 659.
 - PER ORDINANCE NO. 457, SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL BE PROTECTED BY 6" HIGH CONCRETE CURB.
 - LANDSCAPE PLAN TO CONFORM TO ORDINANCE NO. 893.3 AND COUNTY OF RIVERSIDE GUIDE TO CALIFORNIAN LANDSCAPING.
 - REVERSE SLOPE SHALL BE SLOPED WITH PLANT MATERIAL.
 - HYDROZONES WILL BE FREQUENTLY OBSERVED AND METHODS OF IRRIGATION IDENTIFIED.
 - NO OVERHEAD IRRIGATION ALLOWED WITHIN 24" OF NON-PERMEABLE SURFACES. SLOPED AREA WILL BE IRRIGATION WITH ROTARY HEADS AND PLANTING AREAS LESS THAN 10' IN WIDTH WILL BE USING SUBSURFACE DRIP IRRIGATION. DRIP IRRIGATION WILL ALSO BE UTILIZED IN PLANTING AREAS.
 - SUBSURFACE OR LOW-VOLUME IRRIGATION MUST BE USED FOR IRREGULARLY SHAPED AREAS OR LESS THAN 10 FEET IN WIDTH.
 - ALL PLANTER AREAS PROTECTED BY 6" HIGH CONCRETE CURB.
 - CAR OVERHANG AREAS TO BE W/COVERED. SHRUBS OR GROUND COVER TO BE PLANT MATERIAL IS RESTRICTED TO A MAXIMUM HEIGHT OF 12' AT MATURITY.
 - WITHIN RESTRICTED SIGHTLINE AREA PER COUNTY STANDARD.
 - 6" HIGH CURB WITH A 12" WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
 - PLANT MATERIAL SHALL BE SEPARATED BY WATER NEEDS IN SEPARATE HYDROZONES.

- Prior to project construction, I agree to submit a complete Landscape Construction Document Package that complies with the requirements of applicable ordinances, including but not necessarily limited to Ordinance No. 659.3, Ordinance 348, Ordinance 461, project Conditions of Approval, and a substantial concurrence with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.
- The property owner is to assume all responsibility to maintain all on and off site landscape including plant material and irrigation for the life of the project.
- 40% of trees shall be removed. 60% of shrubs shall be removed. 25% of shrubs shall be removed. 10% of shrubs shall be removed. 10% of shrubs shall be removed. 10% of shrubs shall be removed.
- GENERAL PARKING LOT SHADING CRITERIA:
 ALL PARKING AREAS EXCLUDING DRIVE AISLES SHALL RECEIVE A MIN. 50% SHADING UTILIZING AN ASSORTMENT OF EVERGREEN AND DECIDUOUS TREES, (CANOPY OF TREES WITH 15 YEARS OF AGE)
- CONSTRUCTION CONSERVATION STATEMENT:
 SHUT OFF DEVICES, MASTER VALVES AND FLOW SENSORS AND WATER EFFICIENT IRRIGATION HEADS.
- 36" EUCALYPTUS TREE TO BE REMOVED
 - 36" EUCALYPTUS TREE TO BE REMOVED
 - 36" EUCALYPTUS TREE TO BE REMOVED
 - 36" EUCALYPTUS TREE TO BE REMOVED
 - 36" PEPPER TREE TO BE REMOVED
 - 36" PALM TREE TO BE REMOVED
 - 36" PALM TREE TO BE REMOVED
 - 36" EUCALYPTUS TREE TO BE REMOVED
 - 36" EUCALYPTUS TREE TO BE REMOVED
 - 36" EUCALYPTUS TREE TO BE REMOVED

PLANT MATERIAL PROTECTION NOTE:
 PLANT MATERIAL SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT OR OVERHANG.

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING
	Baccharis A. Pigeon Point	1 Gal	L	L	6' O.C.
	Dianella Corymbosa	1 Gal	M	M	36" O.C.
	Cordia N. Orange	1 Gal	M	M	12' O.C.
	Ficus A. Blue	1 Gal	M	M	24' O.C.
	Hamamelis Yellow	1 Gal	M	M	24' O.C.
	Rosa N. Thimble	1 Gal	L	L	48" O.C.
	Tillandsia	1 Gal	M	M	24' O.C.
	Scaevola	1 Gal	M	M	24' O.C.

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING
	Baccharis A. Pigeon Point	1 Gal	L	L	6' O.C.
	Dianella Corymbosa	1 Gal	M	M	36" O.C.
	Cordia N. Orange	1 Gal	M	M	12' O.C.
	Ficus A. Blue	1 Gal	M	M	24' O.C.
	Hamamelis Yellow	1 Gal	M	M	24' O.C.
	Rosa N. Thimble	1 Gal	L	L	48" O.C.
	Tillandsia	1 Gal	M	M	24' O.C.
	Scaevola	1 Gal	M	M	24' O.C.



Water Street and Tobacco Road Sheet 1

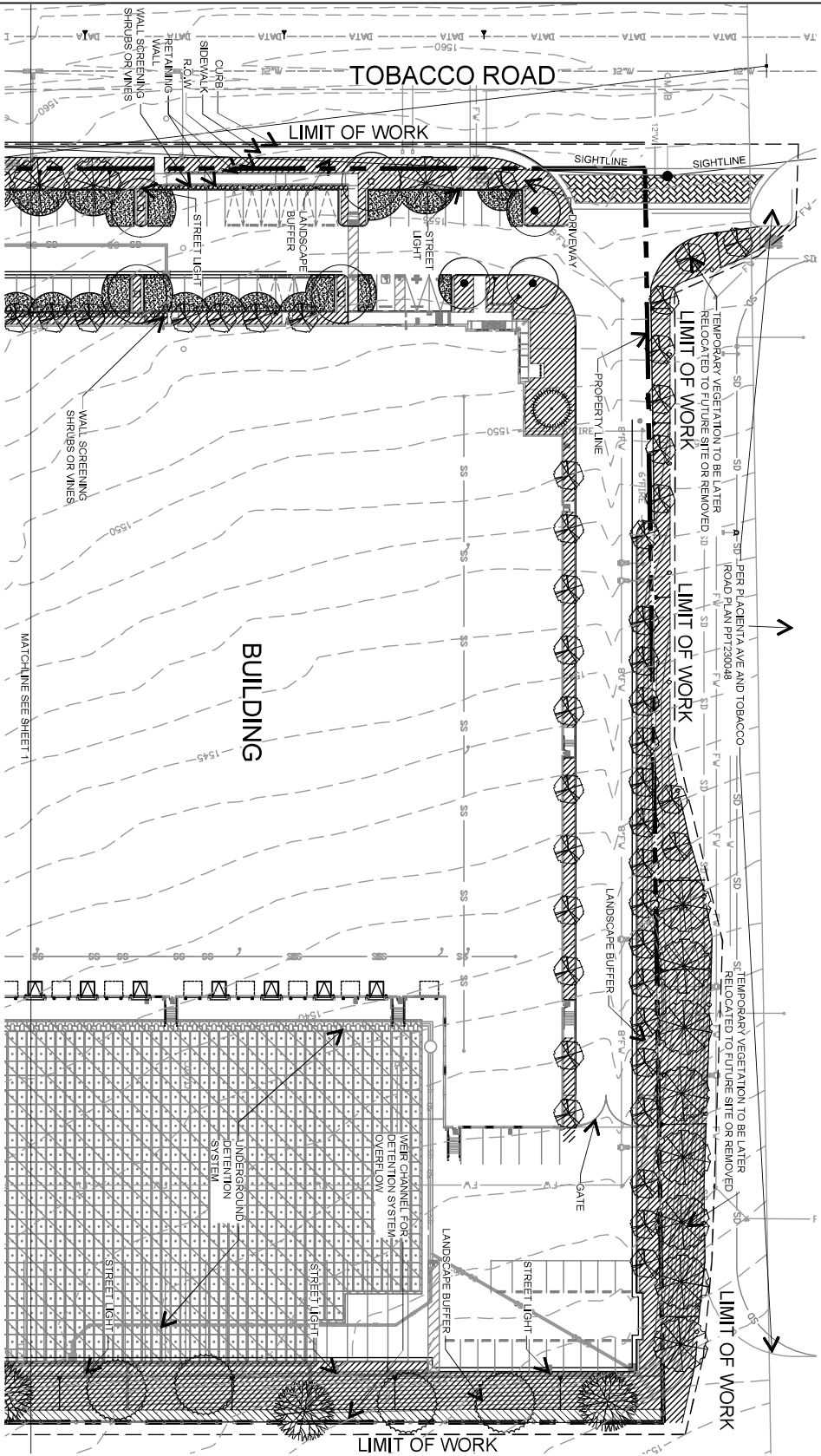
22-056
 6/15/22 10:25:22 07/10/23 11:15:23
 9/15/22 03:07:23 07/27/23 02:01:23
 9/19/22 03:21:23 10/12/23

County of Riverside, California

HUNTER LANDSCAPE
 711 FEE ANA STREET PLACENTIA, CA 92870
 714.986.2400
 Applicant: HP, Inc. tel: 949.863.1770
 18831 Bardens Ave. Ste 100, Irvine, CA 92612
 Owner: Thrifty Oil Co. tel: 562.921.3581
 13116 Imp. Highway, Santa Fe Springs, CA 90670

Water Street and Tobacco Road Sheet 2

22056
6.15.22, 10.25.22, 07.10.23, 11.15.23
9.19.22, 03.21.23, 10.12.23



- 1. ALL TREES WITHIN 6' OF HARDSCAPE SHALL LINEAR ROOT BARRIER, BE SURE TO EXTEND 6' (MIN.) ALONG HARDSCAPE IN BOTH DIRECTIONS FROM THE CENTER OF THE TREE.
- 2. CONTRACTOR TO INSTALL CONCRETE MOW CURB BETWEEN PLANTERS AND ROCK AREAS.
- 3. ALL AREAS TO RECEIVE A 3" LAYER OF SHREDDED ORGANIC MULCH.
- 4. PROJECT INCLUDING ON AND OFF SITE TO BE MAINTAINED BY OWNER.
- 5. PER ORDINANCE NO. 348, SECTION 18.12.50% OF PARKING AREA SHALL BE SHADED.
- 6. IRRIGATION AND PLANTING TO BE IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE NO. 935.
- 7. SLOPED AREAS EXCEEDING 15% SHALL BE IRRIGATED WITH ROTARY HEADS AND PLANTING AREAS LESS THAN 10% WIDTH WILL BE USING SURFACE DRIP PLANTING AND SLOPED AREAS EXCEEDING 15% SHALL BE IRRIGATED WITH POINT-TO-POINT DRIP METHOD.
- 8. SUSURFACE OR LOW-VOLUME IRRIGATION MUST BE USED FOR IRREGULARLY SHAPED AREAS OR LESS THAN 10 FEET IN WIDTH.
- 9. ALL PLANTER AREAS PROTECTED BY A 6" HIGH CONCRETE CURB.
- 10. ALL PLANTER AREAS SHALL BE IRRIGATED WITH ROTARY HEADS OR SURFACE DRIP.
- 11. PLANT MATERIAL IS RESTRICTED TO A MAXIMUM HEIGHT OF 12' AT MATURITY.
- 12. WITHIN RESTRICTED SIGHTLINE AREA PER COUNTY STANDARD.
- 13. A 6" HIGH CURB WITH A 12" WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
- 14. PLANT MATERIAL SHALL BE SPARKED BY WATER NEEDS IN SEPARATE SCHEDULES.
- 15. THERE IS THE PRESENCE OF SEVERAL MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MHS) PARCELS WITHIN 1 MILE OF THE PROJECT ALL PART OF THE SL-1 POTTERMOROCK RESERVE. THE ABN ARE LISTED BELOW.

Notes:

- 1. ALL TREES WITHIN 6' OF HARDSCAPE SHALL LINEAR ROOT BARRIER, BE SURE TO EXTEND 6' (MIN.) ALONG HARDSCAPE IN BOTH DIRECTIONS FROM THE CENTER OF THE TREE.
- 2. CONTRACTOR TO INSTALL CONCRETE MOW CURB BETWEEN PLANTERS AND ROCK AREAS.
- 3. ALL AREAS TO RECEIVE A 3" LAYER OF SHREDDED ORGANIC MULCH.
- 4. PROJECT INCLUDING ON AND OFF SITE TO BE MAINTAINED BY OWNER.
- 5. PER ORDINANCE NO. 348, SECTION 18.12.50% OF PARKING AREA SHALL BE SHADED.
- 6. IRRIGATION AND PLANTING TO BE IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE NO. 935.
- 7. SLOPED AREAS EXCEEDING 15% SHALL BE IRRIGATED WITH ROTARY HEADS AND PLANTING AREAS LESS THAN 10% WIDTH WILL BE USING SURFACE DRIP PLANTING AND SLOPED AREAS EXCEEDING 15% SHALL BE IRRIGATED WITH POINT-TO-POINT DRIP METHOD.
- 8. SUSURFACE OR LOW-VOLUME IRRIGATION MUST BE USED FOR IRREGULARLY SHAPED AREAS OR LESS THAN 10 FEET IN WIDTH.
- 9. ALL PLANTER AREAS PROTECTED BY A 6" HIGH CONCRETE CURB.
- 10. ALL PLANTER AREAS SHALL BE IRRIGATED WITH ROTARY HEADS OR SURFACE DRIP.
- 11. PLANT MATERIAL IS RESTRICTED TO A MAXIMUM HEIGHT OF 12' AT MATURITY.
- 12. WITHIN RESTRICTED SIGHTLINE AREA PER COUNTY STANDARD.
- 13. A 6" HIGH CURB WITH A 12" WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
- 14. PLANT MATERIAL SHALL BE SPARKED BY WATER NEEDS IN SEPARATE SCHEDULES.
- 15. THERE IS THE PRESENCE OF SEVERAL MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MHS) PARCELS WITHIN 1 MILE OF THE PROJECT ALL PART OF THE SL-1 POTTERMOROCK RESERVE. THE ABN ARE LISTED BELOW.

PLANT MATERIAL PROTECTION NOTE
PLANT MATERIALS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT OR OVERHANGS.

PLANTING LEGEND

TREES	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS	SPACING
	Prunus Ash	36" Box	7	L	Standard	30' O.C.
	Chilopsis Magnis	36" Box	2	L	Multi	30' O.C.
	Chilopsis magnanensis	36" Box	20	L	Standard	30' O.C.
	Street tree TBD Construction Phase	36" Box	16	M	Street Tree	
	Prunus alberta	36" Box	10	L	Standard	30' O.C.
	Palmus fasciata	36" Box	9	M	Standard	30' O.C.
	Palmus fasciata	36" Box	8	L	Standard	25' O.C.
	Palmus fasciata	36" Box	57	M	Standard	25' O.C.

SHRUBS	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING
	Baccharis p. Cantharel	5 Gal	0	L	2.4 O.C. hardscape
	Coyote Bush	5 Gal	0	L	2.4 O.C. hardscape
	Callistemon 'Little John'	5 Gal	0	L	2.4 O.C. hardscape
	Carrub Bush	5 Gal	0	L	2.4 O.C. hardscape
	Santal Bush	5 Gal	0	L	2.4 O.C. hardscape
	Canary bush	5 Gal	0	M	2.4 O.C. hardscape
	European Grey Sedge	5 Gal	0	L	2.4 O.C. hardscape
	Cistus spp.	5 Gal	0	L	2.4 O.C. hardscape
	Dielis bush	5 Gal	0	M	2.4 O.C. hardscape
	Forsythia	5 Gal	0	M	2.4 O.C. hardscape
	Lagerstrum 'Tuxinum	5 Gal	0	M	2.4 O.C. hardscape
	Laurus 'Priscilla'	5 Gal	0	M	2.4 O.C. hardscape
	Pittosporum 'Wendell'	5 Gal	0	M	2.4 O.C. hardscape
	Rhipidaphis 'Chari'	5 Gal	0	M	2.4 O.C. hardscape
	Riparian Hawthorn	5 Gal	0	M	2.4 O.C. hardscape
	Rhamnus californica	5 Gal	0	L	2.4 O.C. hardscape
	Rosmary	5 Gal	0	L	2.4 O.C. hardscape
	Santal	5 Gal	0	L	2.4 O.C. hardscape
	Santal	5 Gal	0	L	2.4 O.C. hardscape
	Santal	5 Gal	0	L	2.4 O.C. hardscape
	Santal	5 Gal	0	L	2.4 O.C. hardscape
	Santal	5 Gal	0	L	2.4 O.C. hardscape

ACENTS	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	SPACING
	Aloe vera	5 Gal	0	L	6' O.C.
	Century Plant	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.
	Sage	5 Gal	0	L	6' O.C.

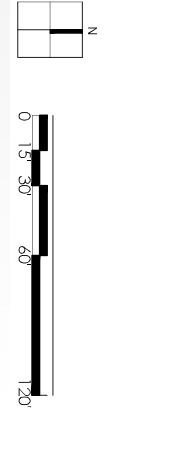
Riverside County Ordinance 899 Landscape Water Use Calculations

Project Type: Commercial
 (Insert Project Name, Description)
 Eto allowance: 0.45

Appliment to use crop down means in cells that indicate a selection to describe each hyzone.

When "NUT" is shown, applicant to enter project specific intervention.
 Please note that enclosed formulas will reflect as "NUT" or as an area until selections are completed.

Hyzone	Area	Plant Factor	Plant Type	Water Use
Hyzone # 1	INPUT Square Foot Area of Hyzone = 17,358	Plant Factor = 0.2	Staked / Groundcover	
Hyzone # 2	INPUT Square Foot Area of Hyzone = 1,832	Plant Factor = 0.2	Staked / Groundcover	
Hyzone # 3	INPUT Square Foot Area of Hyzone = 2,770	Plant Factor = 0.2	Staked / Groundcover	
Hyzone # 4	INPUT Square Foot Area of Hyzone = 259	Plant Factor = 0.5	Tree / Shrub	
Hyzone # 5	INPUT Square Footage of Hyzone = 0.2	Plant Factor = 0.2	Staked / Groundcover	
Hyzone # 6	INPUT Square Footage of Hyzone = 0.25	Plant Factor = 0.25	Staked / Groundcover	
Hyzone # 7	INPUT Square Footage of Hyzone = 1	Plant Factor = 1	Tree / Shrub	
Total	INPUT Total Area = 22,819	Plant Factor = 0.2		148,689 cu ft / yr
Total Eto	INPUT Total Eto = 52,183			52,183 cu ft / yr
PERCENTAGE OF WATER SAVED RELATIVE TO MAX ALLOWED				39%



HUNTER LANDSCAPE

714 FEE ANA STREET PLACENTIA, CA 92870
 714-986-2400
 Applicant: HPA, Inc. tel: 949-863-1770
 18831 Bardene Ave. Ste 100, Irvine, CA 92612
 Owner: The TFO Oil Co. tel: 562-921-3581
 13116 Imp. Highway, Santa Fe Springs, CA 90670

HPA, Inc.
18831 Hardden Avenue - Ste. #100
Pineville, CA 95612
Tel: 949-485-4770
Fax: 949-485-4851
Email: hpa@hpas.com

THIRTY OIL CO.

13116 Imperial Highway
Santa Fe Springs, CA 90670
Tel: 562-921-5561

Project:

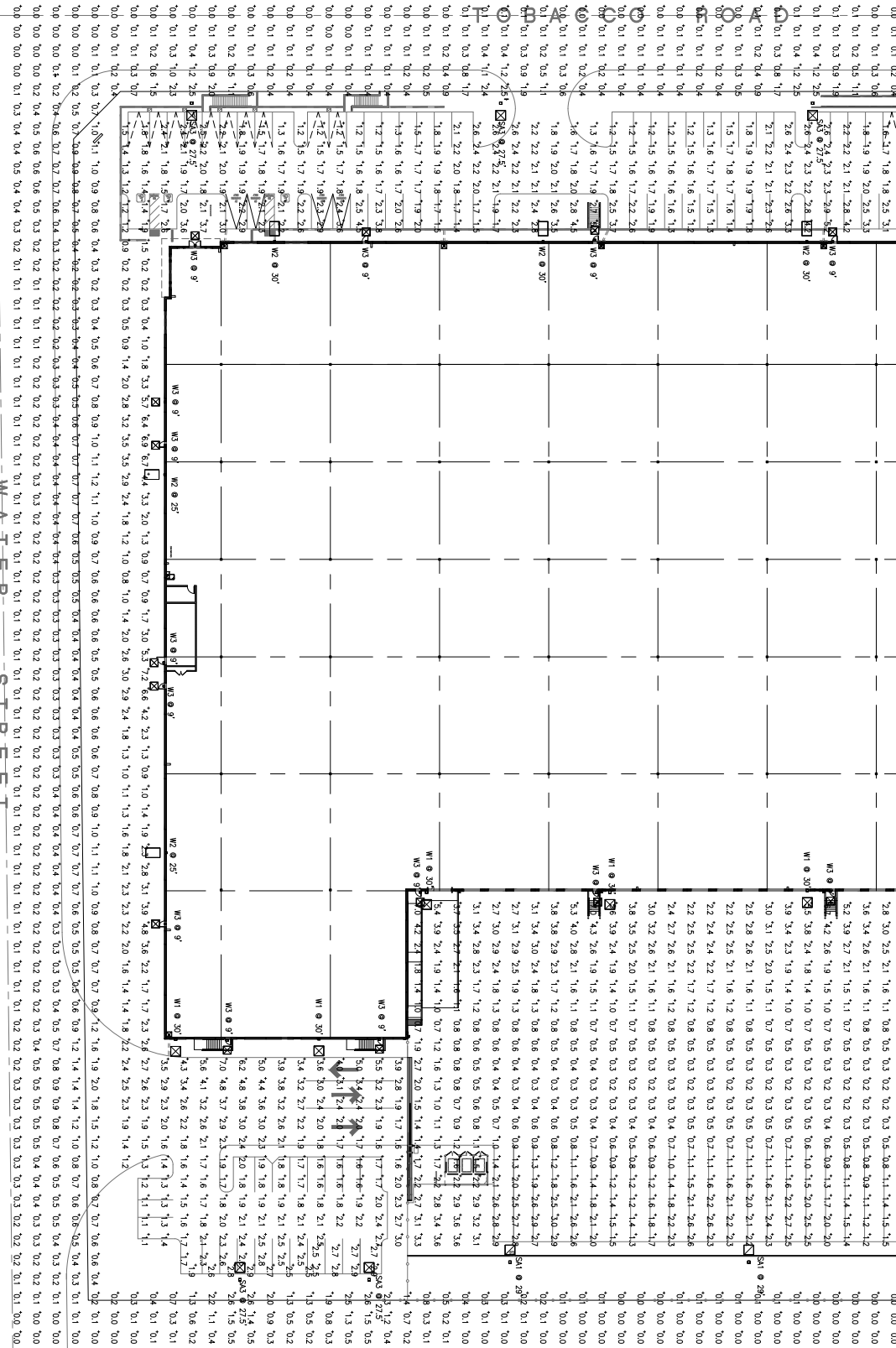
Tobacco Rd & Water St

Consultants:

- Amstrong & Brooks - Civil, Structural, Mechanical, Plumbing, Electrical, Landscape, Fire Protection, Soils Engineer

Project Number: 2126
Drawn by: JK
Date: 3/31/2022
Revision:

Table with columns: Symbol, Qty, Catalog Number, Description, Lamp, Number of Lamps, UFL, Maltese. Rows include lighting fixtures like VALUUM SERIES-LED and RAZAR SERIES-LED.



SITE PHOTOMETRIC STUDY 1

SCALE: 1"=30'-0" (DO NOT SCALE DIMENSIONS, VERIFY IN FIELD)

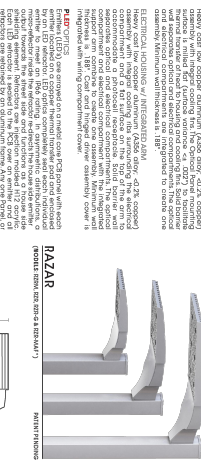
SOLID STATE AREA LIGHTING VALUUM SERIES-LED SPECIFICATIONS

Table with columns: Symbol, Avg, Max, Min, Wd, Hgt, Wd/Min, Hgt/Min, Wd/Ft, Hgt/Ft. It lists technical specifications for different lighting models.



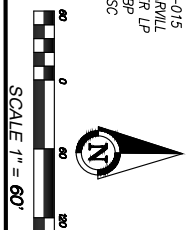
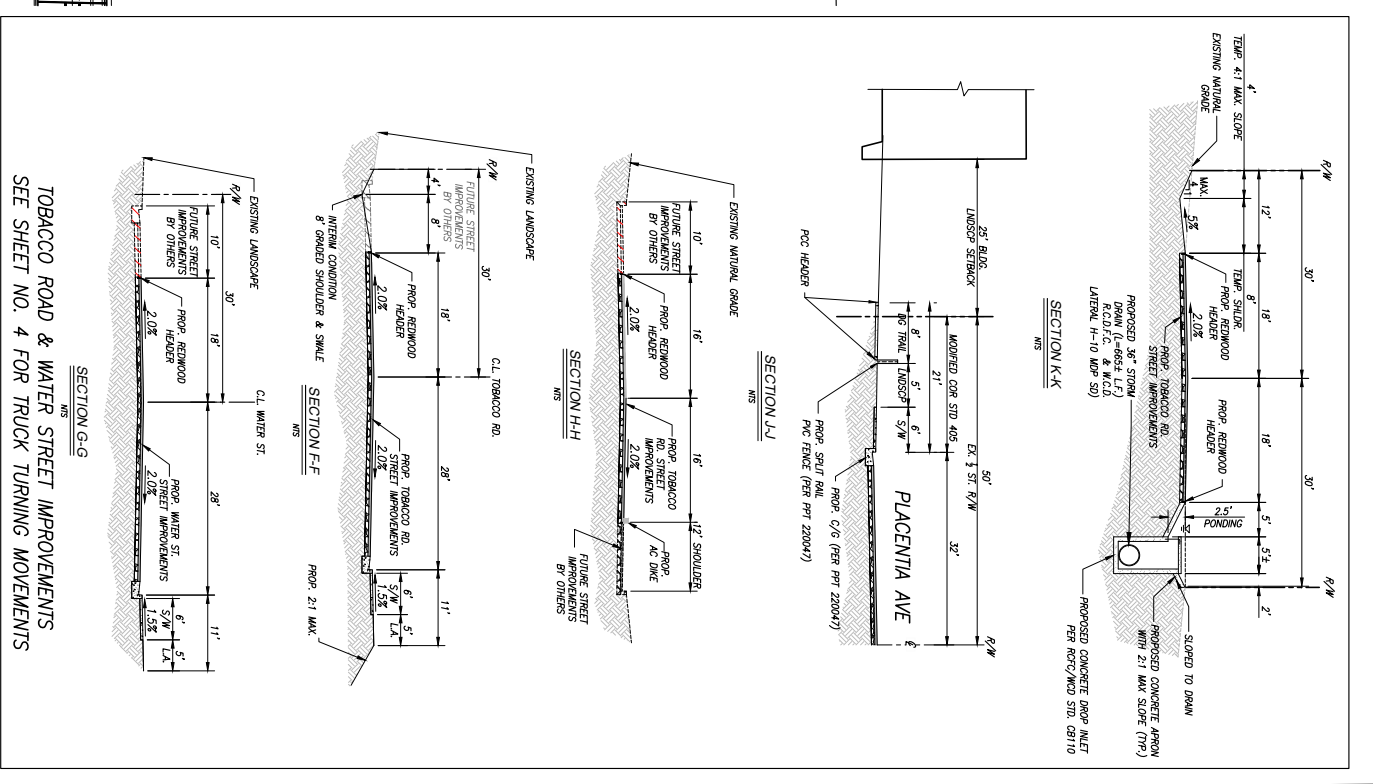
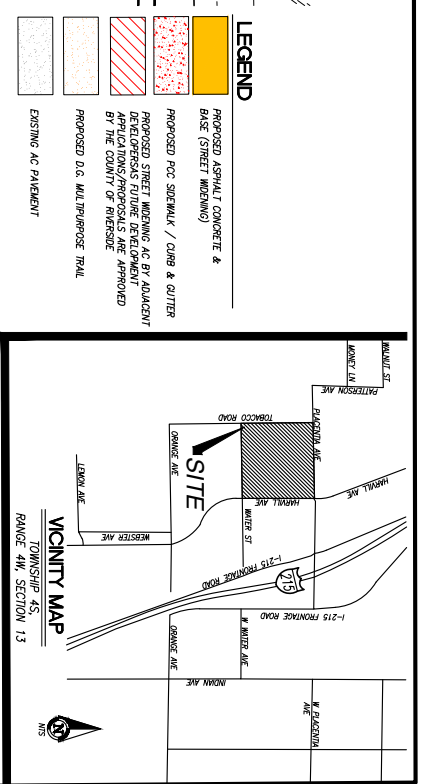
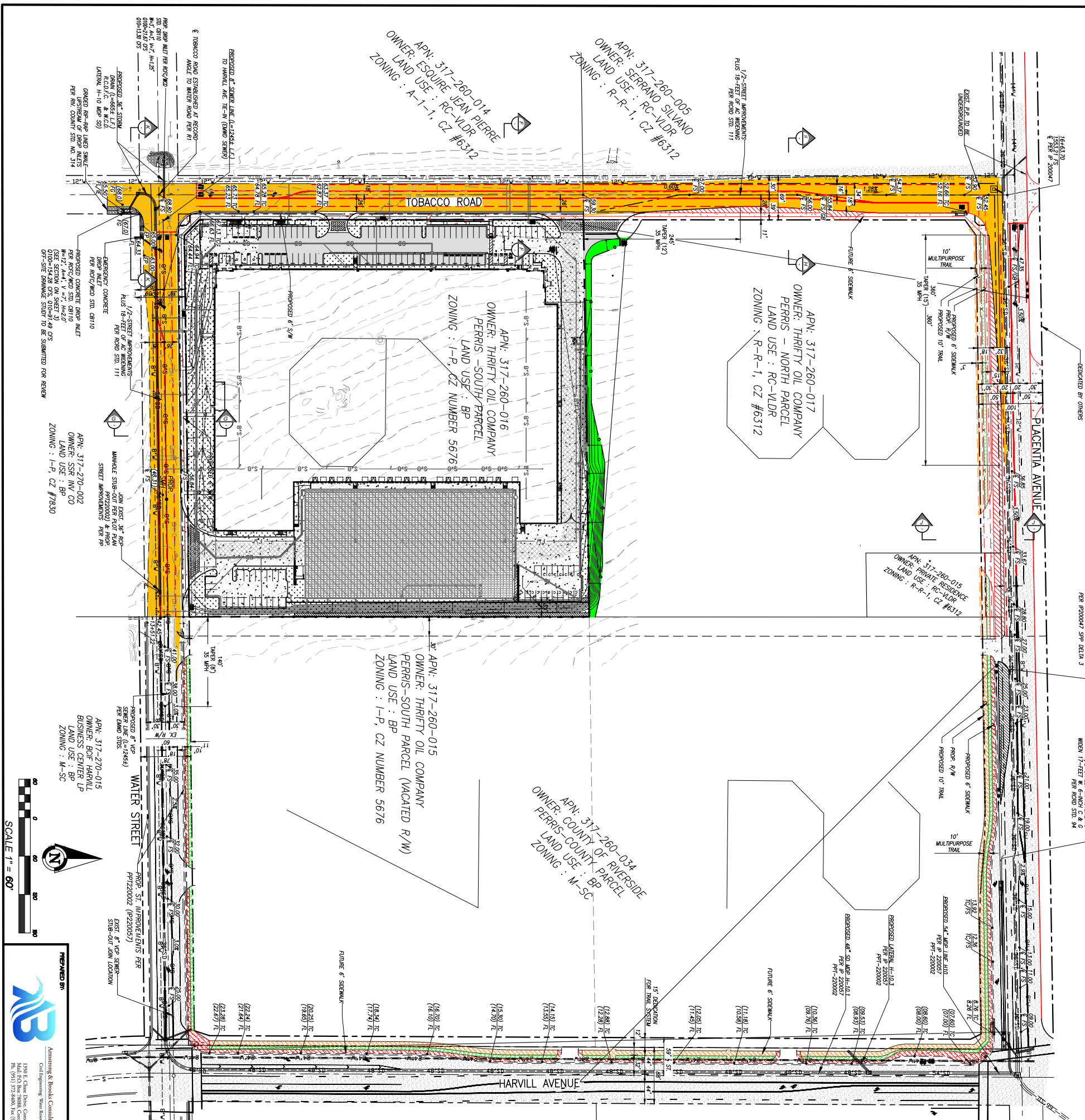
SOLID STATE AREA LIGHTING RAZAR SERIES-LED SPECIFICATIONS

Table with columns: Symbol, Avg, Max, Min, Wd, Hgt, Wd/Min, Hgt/Min, Wd/Ft, Hgt/Ft. It lists technical specifications for different lighting models.



Professional seal for Registered Professional Engineer No. E15466. Includes logos for US Architectural Lighting, RPMA, and IESNA. Text: 'CAUTION: IF THIS SHEET IS NOT A REV. X.42Z IT IS A REDUCED PRINT'.

PLOT PLAN : COUNTY OF RIVERSIDE CASE NO: PPT220047



PREPARED BY

Armstrong & Brock Consulting Engineers, Inc.
Civil Engineering, Water Resources, Surveying
1380 E. Chino Drive, Corona, CA 92881
Main: 951-768-8888, Fax: 951-768-8889
Cell: 951-768-8888, Email: info@armstrongandbrock.com

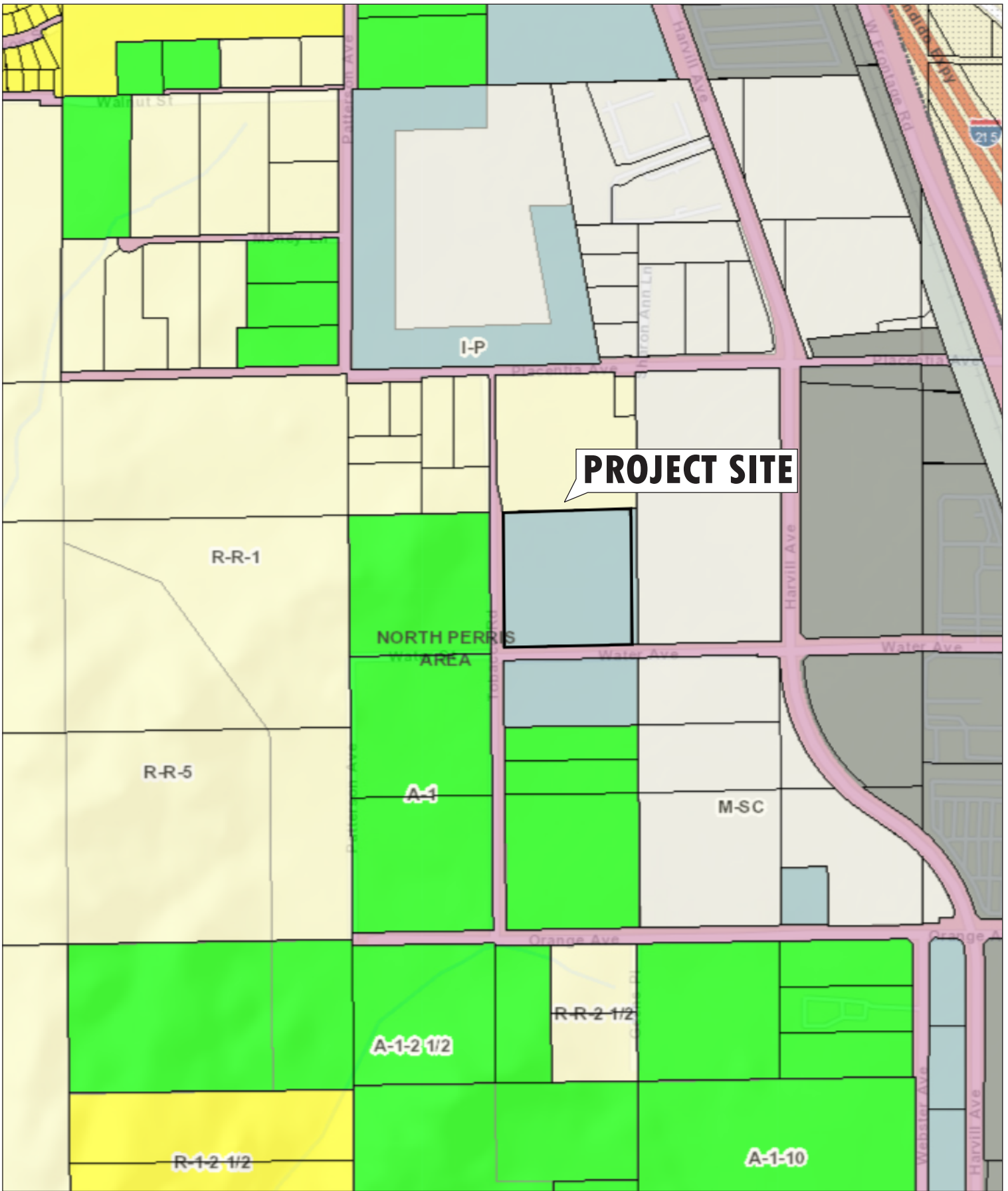
COUNTY OF RIVERSIDE - THRIFTY OIL
OFF-SITE IMPROVEMENT EXHIBIT
PLAN - SCHEME 13
APNS 317-260-015 AND 317-260-016

DATE OF PLOT : 02-07-2024

SHEET 3 OF 4

OFF-SITE IMPROVEMENT AREAS

Thrifty Oil Speculative Warehouse
23682 Water Street
Riverside County, California



PROJECT SITE

R-R-1

**NORTH PERRIS
AREA**

R-R-5

A-1

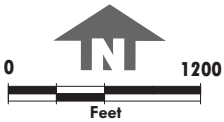
M-SC

A-1-2 1/2

R-R-2 1/2

R-12 1/2

A-1-10



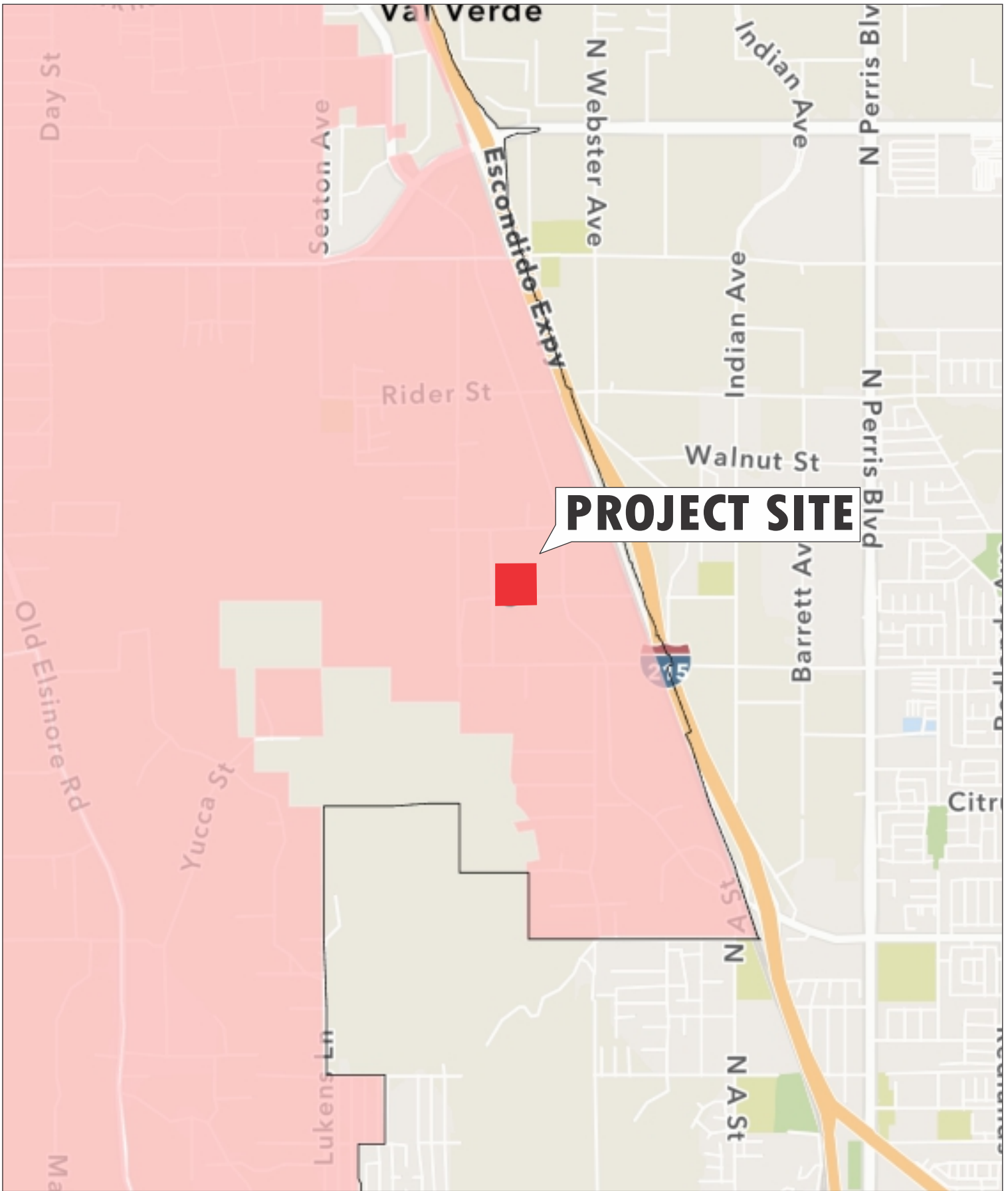
LILBURN
CORPORATION

	A-1		M-M
	A-1/2 1/2		M-SC
	A-1-10		R-R1
	I-P		R-R5
	M-H		R-1 2 1/2

PROJECT SITE ZONING

Thrifty Oil Speculative Warehouse
23682 Water Street
Riverside County, California

FIGURE 9

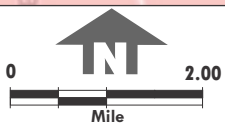


PROJECT SITE

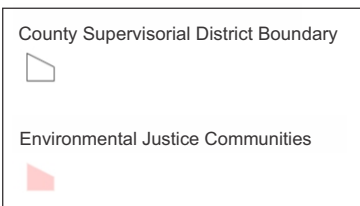
ENVIRONMENTAL JUSTICE COMMUNITIES

Thrifty Oil Speculative Warehouse
 23682 Water Street
 Riverside County, California

FIGURE 10



LILBURN
CORPORATION



ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project:				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan Figure C-8 “Scenic Highways,” Mead Valley, Figure 9 “Scenic Highway”; Project Engineering and Renderings.

Findings of Fact:

- a) The Project Site is not located within a scenic highway or scenic highway corridor as designated by the County or State or found eligible by the County or State. There is one State Eligible Scenic Highway in Mead Valley: State Route 74 as it connects with Interstate 215 in the southern portion of Mead Valley. State Route 74 is of regional significance because it provides a link between Orange and Riverside Counties through the Santa Ana Mountains and eventually through the San Jacinto Mountains as the famous Palms to Pines Scenic Highway. The Project Site is more than 6 miles to the north of State Route 74 and cannot be viewed from these scenic highways; the Project Site is not located in any scenic corridor or scenic highway. Therefore, there would be no impacts.
- b) There are approximately 30 trees on site, primarily dispersed throughout the southern portion of the Project Site and are a mix of eucalyptus, pepper and palm. These trees are primarily ornamental species and not considered native or common to the Project vicinity. There are no rock outcroppings or unique landmark features on the Project Site. highway.

Scenic views primarily exist along the granite ridgeline to the west. While the Project would change the visual character of the vicinity, it would not substantially degrade the existing visual character or create an aesthetically offensive site open to public view of the area and its surroundings because the Project is proposed to be constructed consistent with the height limits per the zoning, the building color is proposed to be neutral earth tones to blend with the environment, and the existing cluster of trees would be replaced with streamlined landscaping to be provided around the perimeter consistent with County standards. Impacts would be less than significant and no mitigation measures are required.

- c) The Project Site is within a rural area and is designed to be consistent with the industrial/business park zoning. Sensitive receptors would include the pocket of existing rural residential that exists to the northeast of the Project Site.

Most of the Project vicinity to the east of the Project Site is zoned for manufacturing and light industrial (M-SC and M-M) and is in the process of transitioning from vacant land to industrial uses. The Proposed Project includes construction of a 194,479 SF industrial building on 8.87 net acres, approximately 36 to 46 feet high. The building is designed with architectural features to reduce massing, and neutral earthtone colors with accents that would blend with the surrounding native environment. The MVAP requires a FAR of 0.25 – 0.60, and the Project proposes a FAR of 0.48.

The building would be set back from adjacent streets and would not encroach into public long-distance views. Parking and landscaping areas would be located in the setback space between roadways and buildings, which would minimize the visual scale of the structures. The areas most visible to the public would be landscaped with 115 new trees.

Areas adjacent to the buildings would be landscaped with trees and a variety of shrubs and ground covers. The layering of landscaping between the proposed building and the surrounding roadways would provide visual depth and distance between the roadways and proposed structures, while functioning as a screen to trailer parking and truck yard.

Therefore, potential impacts associated with scenic quality would be less than significant, and no mitigation would be required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

2. Mt. Palomar Observatory

- a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source(s): GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

- a) According to GIS database, the Project Site is located approximately 45 miles northwest of the Mt. Palomar Observatory and is located in Zone B of the Mt. Palomar Nighttime Lighting Policy Area. Projects within Zone B must adhere to the lighting requirements specified in Riverside County Ordinance No. 655 for standards that are intended to limit light leakage

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

and spillage that may interfere with the operations of the Mount Palomar Observatory. The Project is designed consistent with County Ordinance No. 655 with pole lights of varying height for parking lot lighting and exterior building downlighting. The lighting would be designed with light emitting diode (LED) lighting, pointed downward toward the parking lot and/or building. A photometric analysis has been completed that shows that light spill-over from the site lighting will not occur and will be in conformance with County ordinances. Therefore, due to distance and lighting design, the Project would not interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655. Impacts will be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): On-site Inspection, Project Application Description

Findings of Fact:

- a) The Project will create a new source of light from low-level exterior security lighting of the building, parking lot lighting, and ground-level landscape lighting. All lighting is designed with downward pointing lighting of a soft color and intensity to ensure safety but not to spill over to adjacent properties. Fixtures with light shields are specified at certain locations per the lighting plan. No lighting will be on during daytime hours. The lower color intensity of the building security lighting and the ground level landscape lighting will not impact localized nighttime views around the building and will not migrate to the night sky because all lights are pointed downward. The Project would therefore create a new source of light but because of shielding and use of low-intensity fixtures, the light would not be so substantial that it would adversely affect day or nighttime views in the area. Impacts will be less than significant.
- b) Residences exist along the northeast side of Tobacco Road, approximately 200 feet from the northwestern Property boundary. All lighting will be pointed downward, have light shields as indicated on the lighting plan and be of a color intensity that will not be bright or obtrusive to the residences. Therefore, the Project would not expose residential property to unacceptable light levels. Impacts will be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES Would the project:				
4. Agriculture	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, Project Application Materials

Findings of Fact:

- a) The Project Site is designated by the California Resources Agency Farmland Mapping and Monitoring Program as "Farmland of Local Importance" which is not prime, unique or other important farmland. Due to the designation of Farmland of Local Importance, there will be no conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. There would be no impacts and no mitigation measures are required.
- b) The Project Site is vacant, zoned for Industrial Park uses and not subject to a Williamson Act contract, nor is the Project Site eligible for a Williamson Act contract. Pursuant to California Government Code section 51242, no jurisdiction may contract with respect to the Williamson Act unless the land is devoted to agricultural use and is located within an area designated by a city or county as an agricultural preserve. The Project Site is not within a Riverside County designated Agricultural Preserve as the Project Site is zoned for Industrial Park. Therefore, no impacts associated with existing zoning for agricultural use, or a Williamson Act contract would occur, and no mitigation would be required.
- c) Properties within 300 feet of the Proposed Project to the west and south are primarily zoned for agricultural uses (A-1 and A-1-1) but are either vacant, do not contain active agricultural operations, or are developed with rural single family residential uses. The Project Site is zoned Industrial Park. Ordinance No. 625 "Right-to-Farm" is designed to reduce the County's loss of its agricultural resources by limiting the circumstances under which agricultural operations may be deemed to constitute a nuisance. Ordinance No. 625 provides that "no agricultural activity, operation, or facility, or appurtenances thereof, conducted or maintained for commercial purposes in the unincorporated area of the County, and in a manner consistent with proper and accepted customs and standards, as

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

established and followed by similar agricultural operations in the same locality, shall be or become a nuisance, private or public, due to any changed condition in or about the locality, after the same has been in operation for more than three (3) years, if it was not a nuisance at the time it began.” There are no active agricultural operations within 300 feet of the Project Site, therefore, Ordinance 625 is not applicable. The Proposed Project would not preclude or deter surrounding properties from conducting agricultural operations as allowed by the zoning. Therefore, impacts will be less than significant and no mitigation would be required.

- d) The Project Site is vacant and is not undergoing farming or agricultural activities. The Project Site is zoned for Industrial Park uses. The Proposed Project will construct a warehouse, which is consistent with the current zoning for the site. Therefore, while the Project will involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use, the Project Site is consistent with the zoning and land uses permitted for the Project Site by Riverside County. Therefore, impacts will be less than significant and no mitigation would be required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Forest				
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan Figure OS-3a “Forestry Resources Western Riverside County Parks, Forests, and Recreation Areas,” Figure OS-3b “Forestry Resources Eastern Riverside County Parks, Forests, and Recreation Areas,” Project Application Materials

Findings of Fact:

- a) The Project would not conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220[g]), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104[g]) because the General Plan identifies that the site is not zoned or used for timber production. The site is not located within forest land. There would be no impacts.
- b) The Project would not result in the loss of forest land or conversion of forest land to non-forest use because there is no forest land on the property. There would be no impacts.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- c) The Project will not involve other changes in the existing environment that could result in conversion of forest land to non-forest use because there is no forest or forest lands on the property. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

AIR QUALITY Would the project:

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors, which are located within one (1) mile of the project site, to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan, Riverside County Climate Action Plan (“CAP”), SCAQMD CEQA Air Quality Handbook; Report by Urban Crossroads titled *Thrifty Oil Warehouse, Air Impact Analysis*, dated May 17, 2022 (Appendix A-1); and Report by Urban Crossroads titled *Thrifty Oil Warehouse Mobile Source Health Risk Assessment*, dated May 17, 2022 (Appendix A-2), Lilburn Corporation, CalEEMod 2022 current Model outputs.

Findings of Fact:

- a) The Project site is located within the South Coast Air Basin (SCAB), which is characterized by relatively poor air quality. The South Coast Air Quality Management District (SCAQMD) has jurisdiction over an approximately 10,743 square-mile area consisting of the four-county Basin and the Los Angeles County and Riverside County portions of what use to be referred to as the Southeast Desert Air Basin. In these areas, the SCAQMD is principally responsible for air pollution control, and works directly with the SCAG, county transportation commissions, local governments, as well as state and federal agencies to reduce emissions from stationary, mobile, and indirect sources to meet state and federal ambient air quality standards.

Currently, these state and federal air quality standards are exceeded in most parts of the SCAB. In response, the SCAQMD has adopted a series of Air Quality Management Plan (AQMP)s to meet the state and federal ambient air quality standards. AQMPs are updated regularly in order to more effectively reduce emissions, accommodate growth, and to minimize any negative fiscal impacts of air pollution control on the economy.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

In March 2017, the SCAQMD released the Final 2016 AQMP (2016 AQMP). The 2016 AQMP continues to evaluate current integrated strategies and control measures to meet the NAAQS, as well as explore new and innovative methods to reach its goals. Some of these approaches include utilizing incentive programs, recognizing existing co-benefit programs from other sectors, and developing a strategy with fair-share reductions at the federal, state, and local levels. The 2012 AQMP and the 2016 AQMP incorporates scientific and technological information and planning assumptions, including the 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy (2016-2040 RTP/SCS), a planning document that supports the integration of land use and transportation to help the region meet the federal CAA requirements. The Project's consistency with the AQMP will be determined using the 2016 AQMP.

Criteria for determining consistency with the AQMP are defined in Chapter 12, Section 12.2 and Section 12.3 of the 1993 CEQA Handbook. These indicators are as follows:

Consistency Criterion No. 1

The proposed Project will not result in an increase in the frequency or severity of existing air quality violations or cause or contribute to new violations or delay the timely attainment of air quality standards or the interim emissions reductions specified in the AQMP.

Construction Impacts

Consistency Criterion No. 1 refers to violations of the California Ambient Air Quality Standards (CAAQS) and National Ambient Air Quality Standards (NAAQS). CAAQS and NAAQS violations would occur if localized or regional significance thresholds were exceeded. As evaluated, the Project's localized and regional construction-source emissions would not exceed applicable regional significance threshold and LST thresholds. Therefore, a less than significant impact is anticipated.

Operational Impacts – Consistency Criterion 1

As evaluated, the Project's localized and regional operation-source emissions would not exceed applicable regional significance threshold and LST thresholds. Therefore, a less than significant impact is anticipated.

Consistency Criterion No. 2

The Project will not exceed the assumptions in the AQMP based on the years of Project buildout phase.

The 2016 AQMP demonstrates that the applicable ambient air quality standards can be achieved within the timeframes required under federal law. Growth projections from local general plans adopted by cities in the district are provided to the SCAG, which develops regional growth forecasts, which are then used to develop future air quality forecasts for the AQMP. Development consistent with the growth projections in the County of Riverside General Plan is consistent with the AQMP.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Construction Impacts

Peak day emissions generated by construction activities are largely independent of land use assignments and are a function of development scope and maximum area of disturbance. Irrespective of the site's land use designation, development of the site to its maximum potential would likely occur, with disturbance to the entire site occurring during construction activities. Therefore, no emissions thresholds will be exceeded, a less than significant impact would result.

Operational Impacts

The Project site is located within an unincorporated portion of the County of Riverside. As per the General Plan, the unincorporated portions of the County are divided into 19 area plans. These area plans provide more detailed land use and policy direction regarding local issues such as land use, circulation, open space, and other topical areas. Per the General Plan, the Project site is located within the Mead Valley Area Plan and is designated Business Park uses. The Business Park land use designation allows for employee-intensive uses, including research and development, technology centers, corporate and support office uses, clean industry and supporting retail uses.

The Project site is also located within the Industrial Park zoning designated areas. As described by the County's Municipal Code Section 17.96.010, the Industrial Park zone allows a variety of uses that include: industrial and manufacturing uses, service and commercial uses, office uses, transportation related industries, engineering, and scientific uses, warehousing and distribution, and other similar uses. The Proposed Project is the development of 194,479 sf warehouse building. Therefore, the Proposed Project's uses are generally consistent with the site's land use and zoning designations.

The Project would not result in or cause NAAQS or CAAQS violations. Additionally, the proposed Project is consistent with the land use and growth intensities reflected in the adopted General Plan. The Project would not exceed any applicable regional or local thresholds. Therefore, the Project is consistent with the AQMP.

Impacts will be less than significant.

- b) The analyses provided below is based on the September 2022 reports prepared by Urban Crossroads and the November 2023, California Emissions Estimator Model (CalEEMod) version 2022 (the current Model outputs replace the outdated CalEEMod 2020 outputs) provided by Lilburn Corporation. CalEEMod was utilized to estimate the on-site and off-site construction emissions. The criteria pollutants screened for include reactive organic gases (ROG), nitrous oxides (NOx), carbon monoxide (CO), sulfur dioxide (SO2), and particulates (PM₁₀ and PM_{2.5}). Two of the analyzed pollutants, ROG and NOx, are ozone precursors. Both summer and winter season emission levels were estimated.

Construction Emissions

Construction emissions are considered short-term, temporary emissions and were modeled with the following construction parameters: site preparation, site grading (fine and mass grading), building construction, paving, and architectural coating. Construction is

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

anticipated to begin in 2024 and be completed in 2025. The resulting emissions generated by construction of the Proposed Project is shown in Table 1, which represent summer and winter construction emissions.

**Table 1
Estimated Project Construction Emissions**

Year	Emissions (lbs/day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Summer						
2024	3.7	36.0	34.4	0.0	9.5	5.5
2025	46.4	11.9	19.7	0.0	1.8	0.7
Winter						
2024	1.6	12.9	18.6	0.0	1.9	0.8
2025	1.5	12.0	18.1	0.0	1.8	0.7
Maximum Daily Emissions	46.4	36.0	34.4	0.0	9.5	5.5
SCAQMD Regional Threshold	75	100	550	150	150	55
Threshold Exceeded?	NO	NO	NO	NO	NO	NO

Operational Impacts

Operational activities associated with the Project would result in emissions of VOCs, NO_x, SO_x, CO, PM₁₀, and PM_{2.5}. Operational emissions are expected from the following primary sources: Area Source Emissions, Energy Source Emissions, Mobile Source Emissions, On-Site Cargo Handling Equipment Emissions, and Stationary Source Emissions. Estimated operational emissions from the Proposed Project are provided in Table 2. As shown, the impacts would be less than significant.

**Table 2
Estimated Peak Operational Emissions**

Source	Emissions (lbs/day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Summer						
Area Source	6.1	0.0	8.5	0.0	0.0	0.0
Energy Source	0.0	1.0	0.8	0.0	0.0	0.0
Mobile Source	0.6	4.3	6.7	0.0	2.3	0.7
On-Site Equipment Source	0.1	1.0	0.8	0.0	0.0	0.0
Total Maximum Daily Emissions	6.8	6.3	16.8	0.0	2.4	0.7
SCAQMD Regional Threshold	55	55	550	150	150	55
Threshold Exceeded?	NO	NO	NO	NO	NO	NO

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Winter						
Area Source	4.7	0.0	0.0	0.0	0.0	0.0
Energy Source	0.0	1.0	0.8	0.0	0.0	0.0
Mobile Source	0.5	4.6	5.7	0.0	2.5	0.7
On-Site Equipment Source	0.4	1.0	0.8	0.0	0.0	0.0
Total Maximum Daily Emissions	5.6	6.6	7.3	0.0	2.5	0.7
SCAQMD Regional Threshold	55	55	550	150	150	55
Threshold Exceeded?	NO	NO	NO	NO	NO	NO

c) Localized air quality impacts were evaluated at sensitive receptor land uses nearest the Project Site. All distances are measured from the Project Site boundary to the outdoor living areas (e.g., backyards) or at the building façade, whichever is closer to the Project Site. The selection of receptor locations is based on Federal Highway Administration (FHWA) guidelines and is consistent with additional guidance provided by Caltrans and the Federal Transit Administration (FTA).

- R1: Location R1 represents the existing residence at 23551 Placentia Avenue, approximately 503 feet northwest of the Project Site and 779 feet northwest of the truck court. R1 is placed in the private outdoor living areas (backyard) facing the Project Site.
- R2: Location R2 represents the existing residence at 23745 Placentia Avenue, approximately 455 feet north of the Project Site and 529 feet northeast of the truck court. R2 is placed in the private outdoor living areas (backyard) facing the Project Site.
- R3: Location R3 represents the existing residence at 20800 Tobacco Road, approximately 367 feet south of the Project Site and 643 feet southwest of the truck court. R3 is placed in the private outdoor living areas (backyard) facing the Project Site.
- R4: Location R4 represents the existing residence at 20601 Tobacco Road, approximately 215 feet northwest of the Project Site and 606 feet northwest of the truck court. R4 is placed in the private outdoor living areas (backyard) facing the Project Site.
- R5: Location R5 represents the nearest worker receptor, approximately 795 feet north of the Project Site and 883 feet northwest of the truck court. R5 is placed at the building façade facing the Project Site.

The SCAQMD recommends that the nearest sensitive receptor be considered when determining the Project's potential to cause an individual a cumulatively significant impact. The nearest land use (where an individual could remain for 24 hours) to the Project Site was considered in the project design, and has been used to determine localized construction and operational air quality impacts for emissions of PM₁₀ and PM_{2.5} (since PM₁₀ and PM_{2.5} thresholds are based on a 24-hour averaging time). The nearest receptor used for evaluation of localized impacts of PM₁₀ and PM_{2.5} is the existing residence at

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

20601 Tobacco Road, represented by R4, approximately 215 feet (66 meters) northwest of the Project Site.

SCAQMD’s Final Localized Significance Threshold Methodology (LST Methodology) establishes that impacts to air quality are significant if there is a potential to contribute or cause localized exceedances of the federal and/or state ambient air quality standards (NAAQS/CAAQS). Collectively, these are referred to as Localized Significance Thresholds (LSTs). Receptor locations are off-site locations where individuals may be exposed to emissions from Project activities. Consistent with LST Methodology, the nearest commercial/industrial use to the Project Site is used to determine construction and operational LST air impacts for emissions of NOX and CO as the averaging periods for these pollutants are shorter (8 hours or less) and it is reasonable to assumed that an individual could be present at these sites for periods of one to 8 hours. As there are no commercial/industrial uses located at a closer distance than the residential home located at 20601 Tobacco Road, the same distance of 215 feet (66 meters) was used for evaluation of located impacts of NOX and CO. Refer to Table 3 and Table 4 for Localized Significance Summary of Construction and Operational conditions, respectively. As shown impacts are less than significant.

**Table 3
Localized Significance Summary of Construction**

Construction Activity	Year	Emissions (lbs/day)			
		NO _x	CO	PM ₁₀	PM _{2.5}
Site Preparation	2024	3.7	36.0	9.5	5.6
	Maximum Daily Emissions	3.7	36.0	9.5	5.6
	SCAQMD Localized Threshold	273	2,077	36	10
	Threshold Exceeded?	NO	NO	NO	NO
	2025	46.4	19.7	1.8	0.7
	Maximum Daily Emissions	46.4	19.7	1.8	0.7
	SCAQMD Localized Threshold	238	1,740	29	8
	Threshold Exceeded?	NO	NO	NO	NO

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

**Table 4
Localized Significance Summary of Operations**

Scenario	Emissions (lbs/day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Summer	6.3	16.8	2.4	0.7
Winter	6.6	7.3	2.5	0.7
Maximum Daily Emissions	6.6	16.8	2.4	0.7
SCAQMD Localized Threshold	326	2,581	11	d
Threshold Exceeded?	NO	NO	NO	NO

Diesel Mobile Source Health Risk Analysis.

Health Risk Assessment (HRA), included as Appendix A-2, was prepared to evaluate the potential health risk impacts to sensitive receptors (which are residents) and adjacent workers associated with the development of the Project, more specifically, health risk impacts as a result of exposure to Toxic Air Contaminants (TACs) including diesel particulate matter (DPM) as a result of heavy-duty diesel trucks accessing the site.

The HRA is based on applicable guidelines to produce conservative estimates of human health risk posed by exposure to DPM. The conservative nature of this analysis is due primarily to the following factors:

- The ARB-adopted diesel exhaust Unit Risk Factor (URF) of 300 in one million per µg/m³ is based upon the upper 95 percentile of estimated risk for each of the epidemiological studies utilized to develop the URF. Using the 95th percentile URF represents a very conservative (health-protective) risk posed by DPM because it represents breathing rates that are high for the human body (95% higher than the average population).
- The emissions derived assume that every truck accessing the Project Site will idle for 15 minutes under the unmitigated scenario, and this is an overestimation of actual idling times and thus conservative.¹ The California Air Resources Board (CARB's) anti-idling requirements impose a 5-minute maximum idling time and therefore the analysis conservatively overestimates DPM emissions from idling by a factor of 3.

Residential Exposure Scenario: The residential land use with the greatest potential exposure to Project operational-source DPM emissions is Location R4 which is located approximately 215 feet northwest of the Project Site at an existing residence located at 20601 Tobacco Road. R4 is placed in the private outdoor living areas (backyard) facing the Project Site. At the Maximally Exposed Individual Receptor (MEIR), the maximum

¹ Although the Project is required to comply with ARB's idling limit of 5 minutes, staff at SCAQMD recommends that the on-site idling emissions should be estimated for 15 minutes of truck idling (personal communication, in person, with Jillian Wong, December 22, 2016), which would take into account on-site idling which occurs while the trucks are waiting to pull up to the truck bays, idling at the bays, idling at check-in and check-out, etc.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

incremental cancer risk attributable to Project operational-source DPM emissions is estimated at 0.41 in one million, which is less than the SCAQMD's significance threshold of 10 in one million. At this same location, non-cancer risks were estimated to be <0.01, which would not exceed the applicable significance threshold of 1.0. Because all other modeled residential receptors are exposed to lesser concentrations and are located at a greater distance from the Project Site and primary truck route than the MEIR analyzed herein, and TACs generally dissipates with distance from the source, all other residential receptors in the vicinity of the Project Site would be exposed to less emissions and therefore less risk than the MEIR identified herein. Therefore, the Project will not cause a significant human health or cancer risk to nearby residences.

Worker Exposure Scenario. The worker receptor land use with the greatest potential exposure to Project operational-source DPM emissions is Location R5, which represents the adjacent potential worker receptor approximately 795 feet north of the Project Site. At the MEIW, the maximum incremental cancer risk impact is 0.03 in one million which is less than the SCAQMD's threshold of 10 in one million. Maximum non-cancer risks at this same location were estimated to be <0.01, which would not exceed the applicable significance threshold of 1.0. Because all other modeled worker receptors are located at a greater distance than the MEIW analyzed herein, and DPM dissipates with distance from the source, all other worker receptors in the vicinity of the Project would be exposed to less emissions and therefore less risk than the MEIW identified herein. Therefore, the Project will not cause a significant human health or cancer risk to adjacent workers.

School Child Exposure Scenario. There are no schools within one-quarter mile of the Project Site. The nearest school is Val Verde Elementary School, which is located approximately 3,580 feet east of the Project Site. Because there is no reasonable potential that TAC emissions would cause significant health impacts at distances of more than one-quarter mile from the air pollution source, there would be no significant impacts that would occur to any schools in the vicinity of the Project.

- d) Construction of the Project has the potential to emit odors during the operation of heavy equipment and application of materials such as asphalt pavement. However, the objectionable odors that may be produced during the construction process are short-term in nature. Potential odor emissions from pavement emissions are expected cease upon the drying or hardening of the pavement. Diesel exhaust and volatile organic compounds (VOCs) would be emitted by heavy equipment used during construction, which are objectionable to some; however, these emissions would disperse rapidly from the Project Site and therefore should not reach an objectionable level at the nearest sensitive receptors. Due to the short-term nature and limited amounts of odor producing materials being utilized, no significant impact related to odors would occur during construction of the Proposed Project. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project:				
7. Wildlife & Vegetation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection; Report by Natural Resources Assessment titled *Thrifty Oil Commercial Development Plot Plan No. 2200047, General Biological Assessment, Riverside County, California*, February 14, 2024 (Appendix B-1); Report by Natural Resources Assessment titled *Thrifty Oil Commercial Development HANS220027 Burrowing Owl Breeding Season Surveys Report, Riverside County, California*, February 14, 2024 (Appendix B-2); and Report by Natural Resources Assessment titled *Thrifty Oil Commercial Development HANS220027, HANS Analysis, Riverside County, California*, February 14, 2024 (Appendix B-3)

Findings of Fact:

- a) The property is located in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Mead Valley Plan Area. The Project was evaluated for consistency with MSHCP as follows:

Criteria Cell Location. The Project Site falls within Criteria Cell 2529. A Habitat Evaluation and Acquisition Negotiation Strategy (HANS) evaluation for the Proposed Project was prepared and submitted to Riverside County for review and processing (Appendix B-3).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

There is approximately 29.69 acres of native scrub within Criteria Cell 2529 that would meet the goals of conserving between 8.70 (5%) and 24.25 (15%) acres of habitat. These acres lie outside of the Project Site boundaries to the west and is the portion of the Cell desired for acquisition. The western acreage is also closest to the existing conserved lands. The County will provide conditions of approval reflecting HANS compliance measures.

Section 6.1.2 - Riverine/Riparian Resources. The biological report included in Appendix B-1 identified that the Project Site does not contain any drainage, riparian, or riverine features. In addition, none of the riparian/riverine bird species listed in Section 6.1.2 of the MSHCP were found within the Project area. Due to the lack of suitable riparian habitat on the Project Site, focused surveys for riparian/riverine bird species listed in Section 6.1.2 of the MSHCP are not warranted and were not conducted. Additionally, none of the conditions associated with vernal pools (i.e., depressions, ponded water, hydric soils, etc.) were observed on site. No features are present that would support fairy shrimp. There are no other sources of standing water, such as cattle ponds or watering holes, or evidence of such ponding, which would provide suitable habitat for the Riverside fairy shrimp, vernal pool fairy shrimp or Santa Rosa fairy shrimp.

Section 6.1.4 – Urban/Wildland Interface. The site is not immediately adjacent to wildlands and open space areas and has been subject to human use. It is close to the Motte Rimrock Reserve that forms part of the conservation lands under the MSHCP. The project design is conceptual and may change in certain aspects. The potential indirect impacts may include noise, lighting, dust, invasive plants, and toxic materials such as herbicides and pesticides used in landscaping and maintenance. Because the project is both downhill and downwind from the conserved areas, including Motte Rimrock Reserve, vehicular residues such as non-hazardous oils and fuels used during project operations are not expected to impact the areas identified for conservation. Project lighting is anticipated to be shielded and not rich in blue light to not affect wildlife. This on-site lighting plan requires the identification of the type, intensity, and location of each proposed on-site lighting source. The Riverside County Building and Safety will require review of the lighting plans to ensure that the proposed on-site lighting sources would meet County lighting standards. Operational noise was evaluated in (results in Appendix I) shows that the nearest receiver locations will satisfy the reasonable daytime 80 dBA L_{eq} significance threshold during Project construction and both project-related noise and vibration levels are considered less than significant at all receiver locations. The project will be conditioned to meet all applicable County noise policies. Overall, the analyses provided found the Project consistent with MSHCP Section 6.1.4.

Section 6.3.2 – Additional Surveys. The Project Site is not located within plan-defined areas requiring surveys for narrow endemic plant species or criteria area plant species. However, the Project is located within a designated area, requiring surveys for burrowing owl. A habitat assessment was prepared in January 2022 which determined potential suitable habitat for burrowing owl. Therefore, focused surveys were conducted in August 2022 and in June 2023 in accordance with County protocols (Appendix B-2). The result of the surveys was that no burrowing owls or evidence of recent or historic use by burrowing owls were observed on the Project Site. As a result, burrowing owls are presumed absent from the Project Site. However, because there is suitable habitat on site, **Mitigation Measure BIO-1** to conduct a pre-construction survey for burrowing owl is required to ensure potential impacts to burrowing owls and their burrows would be avoided during construction. The

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

mitigation measure also identifies that relocation may occur under certain conditions to avoid impacts during construction. Refer to “Mitigation” at the end of this section for details.

Impacts would be less than significant with the incorporated mitigation.

- b) A literature review and field assessment were performed to document baseline conditions and assess the potential for special status plants and wildlife species to occur within the Project Site. Special attention was given to the suitability of on-site habitat to support special status species as identified by the California Department of Fish and Wildlife (CDFW) and other electronic databases utilized for the assessment. The results of the assessment identified that there are no sensitive species or habitat identified by the federal, State or the MSCHP literature found to be present on site. Based on the assessment, there would be no impact, directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12).

The assessment in Appendix B-1 identified potential habitat for BUOW. The BUOW is not listed as an endangered or threatened species in accordance with Title 14 of the California Code of Regulations (Sections 670.2 or 670.5), however the California Department of Fish and Wildlife (CDFW) identifies BUOW as a Species of Special Concern. Focused surveys were conducted in August 2022 in accordance with County protocols. The result of the surveys was that no burrowing owls or evidence of recent or historic use by burrowing owls were observed on the Project Site (Appendix B-2). As a result, burrowing owls are presumed absent from the Project Site. However, this species is afforded protection separate from that identified in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5). **Mitigation Measure BIO-1** would be implemented and is designed to avoid and minimize potential impacts to burrowing owl.

Impacts would be less than significant with the incorporated mitigation.

- c) The Project Site contains suitable habitat for BUOW, identified by the CDFW as a Species of Special concern. **Mitigation Measure BIO-1** would be implemented and is designed to avoid and minimize potential impacts to burrowing owl.

The Project Site and immediate surrounding areas also contain habitat suitable for nesting birds in general, including the shrubs on site, and nesting birds are protected under the Migratory Bird Treaty Act (MBTA) of 1918. The MBTA provides protection for nesting birds that are both residents and migrants whether or not they are considered sensitive by resource agencies. The MBTA makes it unlawful to take, possess, buy, sell, purchase, or barter any migratory bird listed under 50 CFR 10, including feathers or other parts, nests, eggs, or products, except as allowed by implementing regulations (50 CFR 21). The direct injury or death of a migratory bird, due to construction activities or other construction-related disturbance that causes nest abandonment, nestling abandonment, or forced fledging would be considered take under federal law. The U.S. Fish and Wildlife Service (USFWS), in coordination with the CDFW administers the MBTA. CDFW’s authoritative nexus to MBTA is provided in FGC Sections 3503.5 which protects all birds of prey and their nests and FGC Section 3800 which protects all non-game birds that occur naturally in the State.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

To ensure potential impacts to nesting birds are avoided or minimized during construction of the remaining Project Site, **Mitigation Measure BIO-2** to conduct a pre-construction survey for nesting birds and establishment of no-work buffers during construction is required to ensure birds and their nests are not disturbed during construction. Refer to "Mitigation" at the end of this section for details.

Impacts would be less than significant with the incorporated mitigation.

- d) There are no native resident or migratory fish or wildlife species, established native resident or migratory wildlife corridors, or native wildlife nursery sites on the Project Site according to surveys conducted (Appendix B-1). The Project Site was not identified as occurring in a wildlife corridor or linkage or wildlife nursery site(s). The Proposed Project will be confined to existing areas that have been heavily disturbed or developed, are isolated from regional wildlife corridors and linkages, and there are no riparian corridors, creeks, or useful patches of stepping stone habitat (natural areas) within or connecting the improvement areas to a recognized wildlife corridor or linkage. No construction or construction staging, or operations would occur in the Conservation area along the eastern portion of the Project Site.

Impacts would be less than significant.

- e) The biological survey identified that there is no riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by CDFW or USFWS that would be impacted by the Project. The Project Site is flat with a plant community characterized as non-native grasses and weedy/early successional plant species. Therefore, the Project would not impact any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by CDFW or USFWS because none exist in the areas where construction and operations would occur.

No impacts would occur because no riparian habitat or other sensitive community occurs on the Project Site.

- f) The biological survey identified that there are no State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) on the Project Site.

As such, there would be no impacts.

- g) Aside from the MSHCP, the only other local policies/ordinances protecting biological resources within the Project area are the Riverside County Oak Tree Management Guidelines and the Stephens' Kangaroo Rat (SKR) Impact Fee Area. There are no oak trees on the Project Site, therefore, this guideline is not applicable.

The Project Site is located within the Mitigation Fee Area of the SKR Habitat Conservation Plan. Therefore, the Applicant will be required to pay the SKR HCP Mitigation Fee prior to development of the Project Site.

Impacts would be less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: The following mitigation measures are required:

BIO – 1 A preconstruction survey shall be conducted within 30 days prior to ground disturbance to avoid direct take of burrowing owls. If burrowing owls are found to be present or nesting on-site during the preconstruction survey, then the following recommendations must be adhered to: Exclusion and relocation activities may not occur during the breeding season, which is defined as March 1 through August 31, with the following exception: From March 1 through March 15 and from August 1 through August 31 exclusion and relocation activities may take place if it is proven to the County and appropriate regulatory agencies (if any) that egg laying or chick rearing is not taking place. Any relocation activities cannot occur without first consulting with the CDFW, and any relocation would be conducted in accordance with the conditions set forth by the CDFW. The pre-construction survey must be conducted by a qualified biologist; any relocation activities would be undertaken by a qualified biologist as approved by the CDFW.

BIO-2 Bird nesting season generally extends from February 1 through September 15 in southern California and specifically, April 15 through August 31 for migratory passerine birds. To avoid impacts to nesting birds (common and special status) during the nesting season, a qualified Avian Biologist shall conduct pre-construction Nesting Bird Surveys (NBS) at least three (3) days prior to project-related disturbance to nestable vegetation to identify any active nests. If no active nests are found, no further action is required. If an active nest is found, the qualified Avian Biologist shall set appropriate no-work buffers around the nest which will be based upon the nesting species, based on the individual species type, its sensitivity to disturbance, nesting stage and expected types of nest, and the intensity and duration of disturbance. The nests and buffer zones shall be field checked weekly by a qualified biological monitor. The approved no-work buffer zone shall be clearly marked in the field, within which no disturbance activity shall commence until the qualified biologist has determined the young birds have successfully fledged and the nest is inactive.

Monitoring: A qualified Avian Biologist will conduct the pre-construction surveys as identified in the mitigation measures.

CULTURAL RESOURCES Would the project:				
8. Historic Resources				
a) Alter or destroy a historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): On-site Inspection, Project Application Materials; Report by Tierra Environmental Services, titled *Cultural Resources Assessment for 23682 Water Street, Riverside County*, April 24, 2023 (Appendix C).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact:

- a) The Phase 1 Cultural assessment report prepared for the Project (Appendix C) identified that there are no historic sites on the Project Site. At the time of the Phase 1 cultural resources assessment in February 2022, a modern style recreational vehicle existed on site, which is not considered a historic resource. The recreational vehicle has since been removed. Therefore, the Project Site is currently vacant and there are no known historical resources on-site. There would be no impacts.
- b) The Phase 1 Cultural assessment report prepared for the Project (Appendix C) identified that there are no historical resources pursuant to California Code of Regulations, Section 15064.5 on the Project Site. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

9. Archaeological Resources				
a) Alter or destroy an archaeological site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source(s): On-Site Inspection, Project Application Materials; Report by Tierra Environmental Services, titled *Cultural Resources Assessment for 23682 Water Street, Riverside County, April 24, 2022* (Appendix C), *Advisory Notification Document, PPT220047*, County of Riverside Transportation and Land Development Agency, April 26, 2023 (on file with the County)

- a) The Phase 1 Cultural Resources Assessment report prepared for the Project Site (Appendix C) identified that there have been 37 previously conducted investigations within one mile of the Project Site which identified 101 cultural resources. Of the 101 previously recorded resources, 85 are prehistoric, 15 are historic and one is comprised of both prehistoric and historic components (multicomponent). The prehistoric cultural resources are composed of bedrock milling features, habitation sites, rock shelters, pictographs, lithic scatters, as well as isolated lithic artifacts. The historic resources contain buildings, structures, trash scatters, and an isolate. One of the multi-component sites is comprised of prehistoric bedrock milling feature and a historic trash scatter.

The report in Appendix C concluded that due to previous disturbance due to prior agricultural activities within the Project Site, as well as the absence of significant archaeological sites within the immediate vicinity of the project site, potential for subsurface artifacts is low. Significant archaeological sites have been recorded within the mile-radius of the project area, but none are within the ¼ mile or ½ mile radius of the Project Site. Impacts would be less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- b) As discussed above in Threshold 9.a), the Phase 1 cultural resources report in Appendix C did not identify any archaeological sites on the Project Site or in the vicinity, and identified a low potential that previously undiscovered archaeological resources may exist within the Project Site which may be exposed during the Project’s ground-disturbing construction activities. Therefore, **Mitigation Measures CUL-1** and **CUL-2**, which requires archaeological monitoring and disposition requirements, shall be implemented to reduce impacts related to historical and archaeological resources to a less than significant level. Impacts would be less than significant levels with mitigation incorporated. Mitigation Measure CUL-1 reflects the conditions of the County’s Planning-CUL.2 *PDA 8323* and Planning-CUL.3 *Unanticipated Resources* which require archaeological monitoring for unanticipated resources (*Advisory Notification Document, PPT220047*, County of Riverside Transportation and Land Development Agency, April 26, 2023).
- c) Grading and excavation will occur as part of the Project construction. There are no known cemeteries in the Project Site. State Health and Safety Code Section 7050.5 states in the event human remains are discovered during construction, the County Coroner must be notified of the find immediately. No further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The Project Applicant is required to comply with all State, federal and local laws with respect to Project implementation and therefore will comply with this requirement. Nonetheless, **Mitigation Measure CUL-3** is provided to further ensure compliance with the mandatory regulatory requirements. Impacts would be less than significant with mitigation incorporated. Mitigation Measure CUL-2 reflects the conditions of the County’s Planning-CUL.1 Human Remains (*Advisory Notification Document, PPT220047*, County of Riverside Transportation and Land Development Agency, April 26, 2023). Mitigation Measure CUL-2 complements the County’s Conditions of Approval as identified in the *Advisory Notification Document*.

Mitigation: The following mitigation measures are required:

CUL-1: Planning-CUL. 2 PDA 8323 Accepted. County Archaeological Report (PDA) No. 8323 submitted for this project (PPT220047) was prepared by Tierra Environmental Services and is entitled: “Cultural Resources Assessment for 23682 Water Street, Riverside County, California” dated April 24, 2023.

PDA 8323 concludes: Based on the Project environment and the archival research the parcel has a potential for subsurface cultural resources. However, no cultural resources were identified during the current investigation. Since no resource has been previously recorded or observed during the pedestrian survey, and based on the data collected during this investigation, the proposed project would not adversely affect any known significant resources.

Due to the potential for intact subsurface cultural resources and the potential for cultural resources within a one-mile area, archaeological monitoring is recommended for the proposed Project.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

These documents are herein incorporated as a part of the record for project.

CUL-2: Planning-CUL. 3 Unanticipated Resources. The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the Project archaeologist shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist, the Native American tribal representative, and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

CUL-3 Planning-CUL-1. Human Remains. If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

Conditions of Approval: The following conditions of approval are required Prior to Grading Permit Issuance:

060 - Planning-CUL. 1 ECS sheet Resource reburial area (if needed). Prior to issuance of grading permits: the developer/ applicant shall provide evidence to the Riverside County Planning Department that an Environmental Constraints Sheet has been included in the Grading Plans. This sheet shall indicate an area that will be used, if needed, for reburial of any artifacts that have been identified during grading and cannot be avoided. This area will be protected and not disturbed in the future. This is confidential information and the exact nature of this area will not be called out on the grading plans.

060 - Planning-CUL. 2 Native American Monitor. Prior to the issuance of grading permits, the developer/permit applicant shall enter into an agreement with the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

consulting tribe(s) for a Native American Monitor. The Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.

The developer/permit applicant shall submit a fully executed copy of the agreement to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition.

This agreement shall not modify any condition of approval or mitigation measure.

060 - Planning-CUL. 3 Project Archaeologist. Prior to issuance of grading permits: The Applicant/Developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program (CRMP). A Cultural Resource Monitoring Plan shall be developed that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this project. A fully executed copy of the contract and a wet-signed copy of the Monitoring Plan shall be provided to the County Archaeologist to ensure compliance with this condition of approval.

Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The frequency and location of inspections will be determined by the Project Archaeologist.

Conditions of Approval: The following conditions of approval are required Prior to Grading Final Inspection:

070 - Planning-CUL. 1 Artifact Disposition. Prior to Grading Permit Final Inspection, the landowner(s) shall relinquish ownership of all cultural resources that are unearthed on the Project property during any ground-disturbing activities, including previous investigations and/or Phase III data recovery. Historic Resources- all historic archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), shall be curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Guidelines for the Curation of Archaeological Resources ensuring access and use pursuant to the Guidelines.

Prehistoric Resources- One of the following treatments shall be applied.

- a. Reburial of the resources on the Project property. The measures for reburial shall include, at least, the following: Measures to protect the reburial area from any future impacts. Reburial shall not occur until all required cataloguing, analysis and studies have been completed on the cultural resources, with an exception that sacred items, burial goods and Native American human remains are excluded. Any reburial processes shall be culturally appropriate. Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request.
- b. If reburial is not agreed upon by the Consulting Tribes then the resources shall be curated at a culturally appropriate manner at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources ensuring access and use pursuant to the Guidelines. The collection and associated records shall be transferred, including title, and are to be accompanied by payment of the fees necessary for permanent curation. Evidence of curation in the form of a letter from the curation facility stating that subject archaeological materials have been received and that all fees have been paid, shall be provided by the landowner to the County. There shall be no destructive or invasive testing on sacred items, burial goods and Native American human remains.

070 - Planning-CUL. 2 Phase IV Monitoring Report. Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department’s requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Management Plan.

Monitoring: Prior to the issuance of grading permits, the Applicant shall provide a letter to the County Planning Department, or designee identifying that the qualified archaeologist has been retained for activities detailed in Mitigation Measure CUL-2. Monitoring shall be conducted by a qualified archaeologist in coordination with the Riverside County Archaeologist.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
ENERGY Would the project:				
10. Energy Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan, Riverside County Climate Action Plan (“CAP”), Report by Urban Crossroads titled *Thrifty Oil Warehouse, Greenhouse Gas Analysis, Riverside County*, May 4, 2023 (Appendix D), Lilburn Corporation, CalEEMod 2022 current Model outputs.

Findings of Fact:

- a) The Proposed Project would not result in a significant impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation. Project energy demand is as follows:

Electricity

Southern California Edison (SCE) currently provides electrical service to the project area. The demand for electricity associated with the Proposed Project would be for operation of the 194,479 SF non-refrigerated warehouse and on-site lighting. In 2021, the Industry sector of the Southern California Edison planning area consumed 12,717.05 GWh of electricity. Based on the CalEEMod emission output tables for the Proposed Project, the estimated electricity demand is 0.894458 GWH. The Proposed Project’s estimated annual electricity consumption compared to the 2021 annual electricity consumption of the overall Industry Sector in the SCE Planning Area would account for approximately 0.0154214 percent of total electricity consumption. The existing SCE electrical facilities have the capacity to meet this increased demand. Total electricity demand in SCE’s service area is estimated to increase by approximately 12,000 GWh between the years 2015 and 2026. The increase in electricity demand from the Proposed Project is insignificant compared to the projected electricity demand for SCE’s Industry sector demand and SCE’s estimated increase in demand between 2015 and 2026. No significant adverse impacts are identified or are anticipated, and no mitigation measures are required.

Natural Gas

The vicinity of the Project Site is served by Southern California Gas Company (SoCalGas), and no natural gas is currently used on-site. The project has been designed to rely on electricity only to meet energy demands. Therefore, the Proposed Project would not result in a significant impact due to wasteful, inefficient, or unnecessary consumption of natural gas during project construction or operation. No impacts are identified or anticipated, and no mitigation measures are required.

- b) Federal and State agencies regulate energy use and consumption through various means and programs. On the federal level, the United States Department of Transportation, the United States Department of Energy, and the United States Environmental Protection

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Agency are three federal agencies with substantial influence over energy policies and programs. On the state level, the Public Utilities Commission (PUC) and the California Energy Commissions (CEC) are two agencies with authority over different aspects of energy.

The Riverside County Climate Action Plan (CAP, 2019) is designed to reduce GHG emissions associated with developed land use 15 percent below baseline levels by 2020. The CAP summarizes various State and local policies that will contribute to reduced GHG emissions in Riverside County by the year 2020 and beyond. Some of these policies include updated building codes for energy efficiency, the low carbon fuel standard, Pavley (California Assembly Bill) vehicle emissions standards, and the Renewable Portfolio Standards for utility companies. As noted in the CAP Update (2019), policies to reduce GHG emissions often overlap with policies addressing energy conservation, reduced automobile use, water conservation, and many other issues.

The Proposed Project has been designed in compliance with California’s Energy Efficiency Standards and 2022 CALGreen Standards. These measures include but are not limited to the use of water conserving plumbing, the use of LED lighting, and water-efficient irrigation systems. The Project seeks to comply with all applicable State standards for energy efficiency, therefore, does not conflict with or obstruct a state or local plan for renewable energy or energy efficiency. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

GEOLOGY AND SOILS Would the project directly or indirectly:

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source(s): Riverside County General Plan Safety Element (adopted September 28, 2021) Figure 1 “Fault Lines,” GIS database, California Department of Conservation; Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1); and Response to County Geologic Report Review, January 30, 2024 (Appendix E-2).

Findings of Fact:

a) The Project Site is located in Southern California, a seismically active area and susceptible to the effects of seismic activity include rupture of earthquake faults. The Project Site is not located on or near a Alquist-Priolo Earthquake fault, according to the geotechnical report in Appendix E-1. The closest known active earthquake fault with a documented location is the Casa Loma Fault Zone located approximately 13 miles to the east. Due to the distance of the Project Site from the closest fault zone, there is a less than significant potential for the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Project to be subject to rupture of a known earthquake fault. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source(s): Riverside County General Plan Safety Element (adopted September 28, 2021) Figure 2 “Liquefaction Zones,” Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1); and Response to County Geologic Report Review, January 30, 2024 (Appendix E-2).

Findings of Fact:

Liquefaction occurs when shallow, fine to medium-grained sediments saturated with water are subjected to strong seismic ground shaking. It generally occurs when the underlying water table is 50 feet or less below the surface. The Project Site is identified by the Riverside County General Plan as being in a mapped area with low potential for liquefaction.

- a) The Riverside County Department of Building and Safety reviews structural plans and geotechnical data prior to issuance of a grading permit and conducts inspections during construction, which would ensure that all required CBC (California Building standards Commission) measures are incorporated. Compliance with the CBC as included as a condition of approval and verified by the County’s review process would ensure that impacts related to liquefaction are less than significant.

Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source(s): Riverside County General Plan Safety Element (adopted September 28, 2021) Figure 1 “Fault Lines,” GIS database, California Department of Conservation; Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1); and Response to County Geologic Report Review, January 30, 2024 (Appendix E-2).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact:

- a) The Project Site is located in Southern California, a seismically active area and susceptible to the effects of seismic activity include rupture of earthquake faults. The closest known active earthquake fault with a documented location is the Casa Loma Fault Zone located approximately 13 miles to the east. The Proposed Project would be designed in accordance with the most current California building codes that are designed to reduce structural impacts from earthquakes. The Riverside County Department of Building and Safety reviews structural plans and geotechnical data prior to issuance of a grading permit and conducts inspections during construction, which would ensure that all required CBC (California Building standards Commission) measures are incorporated. Compliance with the CBC as included as a condition of approval and verified by the County’s review process would ensure that impacts related to strong seismic ground shaking are less than significant.

Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

14. Landslide Risk

- a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source(s): On-site Inspection, Riverside County General Plan Safety Element (adopted September 28, 2021) Figure 3 “Landslide Risk,” Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1).

Findings of Fact:

- a) *Landslides, Rockfall Hazards.* Landslides are the downhill movement of masses of earth and rock and are often associated with earthquakes; but other factors, such as the slope, moisture content of the soil, composition of the subsurface geology, heavy rains, and improper grading can influence the occurrence of landslides. The Project Site and adjacent parcels are relatively flat with elevations that range from approximately 1,567 to 1,532 feet above mean sea level, and there are no hills or steep slopes on the Project Site or in the vicinity. The MVAP Figure 14 *Steep Slopes* also identifies there are no steep slopes in the Project area. The Proposed Project would not construct manufactured slopes. Because the Project Site and vicinity are relatively flat, impacts related to landslides or rock falls would not occur from implementation of the Proposed Project.

Lateral Spreading. Lateral spreading is a type of liquefaction hazard associated with ground failure and/or lateral displacement of surficial blocks of sediment resulting from liquefaction in a subsurface layer. Once liquefaction transforms the subsurface layer into a fluid mass,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

gravity plus the earthquake inertial forces may cause the mass to move downslope towards a free face (such as a river channel or an embankment). No groundwater was encountered during the Geotechnical Investigation of the Project Site (Appendix E-1). The investigation also found that the potential for liquefaction at the Project Site to be very low due to the dense and very dense subsurface soils. Therefore, the Geotechnical Investigation determined that the Project Site is not susceptible to liquefaction (Appendix E-1). As such, the Proposed Project is not subject to lateral spreading.

In addition, the Geotechnical Investigation describes that on-site soils have an expected settlement of 1-inch and differential settlement potential of less than 3/4-inch. However, excavation and recompaction of the artificial fill soils in compliance with the CBC as required through the County’s permitting process would ensure that settlement related impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source(s): On-site Inspection, Riverside County General Plan Safety Element (adopted August 6, 2019) Figure S-7 “ Documented Subsidence Areas,” GIS Database, Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1); and Response to County Geologic Report Review, January 30, 2024 (Appendix E-2).

Findings of Fact:

a) The Project Site is within an area mapped by the Riverside County General Plan as being susceptible to subsidence. Project construction will occur in the flatter portions of the site, which consist of natural alluvial terrace deposits from the ground surface to the depth explored of 29 feet below ground surface, according to the geotechnical report prepared for the Project (Appendix E-1). Recommended grading as provided in a final Geotechnical Report to be approved by the County Geologist should provide adequate support for the proposed structure during a seismic event. In addition, any future potential collapse and/or settlement at greater depth should not have any adverse effect on the new structure. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source(s): Project Application Materials; Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1).

Findings of Fact:

- a) The Project Site is not located near steep hillsides subject to mudflow or volcanoes (Riverside County General Plan, *Safety Element*). With respect to seiches, the nearest body of water to the Project Site is Lake Perris, located approximately 4 miles to the northeast (Google Earth Pro, 2022). A seiche is the sloshing of a closed body of water from earthquake shaking. Seiches are of concern relative to water storage facilities because inundation from a seiche can occur if the wave overflows a containment wall, such as the wall of a reservoir, water storage tank, dam, or other artificial body of water. Due to the distance of the closest water body an impact related to seiche would not occur. Therefore, there is no potential for the Proposed Project to be subject to hazards associated with seiches, mudflows, and/or volcanic hazards. No impacts would occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

17. Slopes

a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riv. Co. 800-Scale Slope Maps, Project Application Materials, Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1).

Findings of Fact:

- a) As described previously, the Project Site and the adjacent parcels are relatively flat, with the elevations that range from approximately 1,567 to 1,532 feet above mean sea level, sloping in a northeasterly gradient (Appendix E-1). The site does not contain steep slopes and is not adjacent to any steep slopes. These areas would be backfilled with recompacted on site soils and imported soils to be used for recompaction on the site. Thus, the Project would not change topography or ground surface relief features, and no impacts would occur.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- b) No cut or fill slopes greater than 2:1 or higher than 10 feet are proposed as part of the Proposed Project grading. There would be no impacts.
- c) Subsurface sewage disposal systems are not proposed as part of the Project. The Project includes installation of approximately 1,245 feet of a new sewer lateral in Water Street that would connect to the County’s existing sewer system at the intersection of Water Street and Harvill Avenue. The installation and grading of the Project Site would be completed pursuant to the County’s and EMWD’s required specifications for sewer installation for positive gravity flow. Therefore, there would be no grading that affects or negates subsurface sewage disposal systems. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

18. Soils	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1803.5.3 of the California Building Code (2022), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection Report by Geo Environmental Resources, Inc titled, *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022 (Appendix E-1); and Response to County Geologic Report Review, January 30, 2024 (Appendix E-2).

Findings of Fact:

- a) Construction activities associated with the Proposed Project’s construction over the approximately 8.72 net acre site would involve earth movement and the exposure of soil which has the potential to contribute to soil erosion and the loss of topsoil. However, the Project would also be required to adhere to standard regulatory requirements designed to reduce erosional impacts, including, but not limited to, requirements imposed by the State Water Resources Control Board Construction General Permit Order 2009-0009-DWQ which requires projects that disturb one (1) or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity Construction General Permit Order 2009-0009-DWQ. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling or excavation. The Construction General Permit requires the development of a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). The Proposed Project is anticipated to disturb more than one acre, and therefore, would be subject to preparation of a SWPPP.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The SWPPP would include BMPs to be implemented during and after Project construction to minimize erosion and sedimentation of downstream watercourses. Impacts would be less than significant.

The Proposed Project includes installation of landscape and hardscape features adjacent to the proposed buildings and throughout the proposed parking areas. Upon operations, the landscape and hardscape features would eliminate areas of loose topsoil that could erode by wind or water. In addition, as described in Section 23, Hydrology and Water Quality, the hydrologic features of the Proposed Project have been designed to slow, filter, and retain stormwater within landscaping and direct stormwater to underground chambers, which would also reduce the potential for stormwater to erode topsoil. Furthermore, implementation of the Project requires County approval of a Water Quality Management Plan (WQMP), which would ensure that RWQCB requirements and appropriate operational BMPs would be implemented to minimize or eliminate the potential for soil erosion or loss of topsoil to occur. As a result, with implementation of existing requirements, impacts related to substantial soil erosion or loss of topsoil would be less than significant.

- b) The Geotechnical Engineering Exploration and Response to County Geologic Report Review (Appendix E-2) identified that the near-surface material are low expansive with in expansion potential, as defined in Section 1803.5.3 of the California Building Code (2022). The Riverside County Department of Building and Safety reviews structural plans and geotechnical data prior to issuance of a grading permit and conducts inspections during construction, which would ensure that all required CBC (California Building standards Commission) measures are incorporated. Compliance with the CBC as included as a condition of approval and verified by the County’s review process would ensure that impacts related to expansive soils are less than significant.
- c) The Project does not propose to install any septic tanks or alternative wastewater disposal systems. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

19. Wind Erosion and Blowsand from project either on or off site.

- a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source(s): Riverside County General Plan Safety Element (adopted August 6, 2019) Figure S-8 “Wind Erosion Susceptibility Areas,” Riverside County General Plan Safety Element (Adopted Sept. 28, 2021),” GIS database, Ord. No. 460, Article XV & Ord. No. 484.

Findings of Fact:

- a) Figure S-8 of the Riverside County General Plan Safety Element adopted August 6, 2019 identified that the Project Site is located within an area of Moderate Wind Erodibility rating. The General Plan Safety Element did not evaluate wind erosion and blow sand as an

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

independent risk category, but did evaluate the potential effects of “severe weather” due to climate change. “Severe weather” was defined as localized storms that bring heavy rain, hail, lightning, and strong winds. Severe weather is usually caused by intense storm systems, although types of strong winds can occur without a storm. The Safety Element includes a Vulnerability Assessment that identified “industrial buildings” to have a “moderate vulnerability” to severe weather. The Riverside County Department of Building and Safety reviews structural plans and geotechnical data prior to issuance of a grading permit and conducts inspections during construction, which would ensure that all required CBC (California Building standards Commission) measures, including wind loading, are incorporated. Compliance with the CBC included as a condition of approval and verified by the County’s review process would ensure that impacts related to severe weather including wind erosion and blowsand are less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

GREENHOUSE GAS EMISSIONS Would the project:

20. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan, Riverside County Climate Action Plan (“CAP”), *Report by Urban Crossroads titled Thrifty Oil Warehouse, Greenhouse Gas Analysis, Riverside County, May 4, 2023* (Appendix D). Lilburn Corporation, CalEEMod 2022 current Model outputs.

Findings of Fact:

- a) Gases that trap heat in the atmosphere are often referred to as greenhouse gases (GHG). These gases are released into the atmosphere by both natural and anthropogenic (human) activity. Without the natural greenhouse gas effect, the earth’s average temperature would be approximately 61° Fahrenheit (F) cooler than it is currently. The cumulative accumulation of these gases in the earth’s atmosphere is considered to be the cause for the observed increase in the earth’s temperature.

Currently neither the CEQA statutes, OPR guidelines, nor the draft proposed changes to the CEQA Guidelines prescribe thresholds of significance or a particular methodology for performing an impact analysis; as with most environmental topics, significance criteria are left to the judgment and discretion of the Lead Agency.

Riverside County’s Climate Action Plan (CAP) provides guidance on how to analyze GHG emissions and determine significance during the CEQA review of proposed development projects within the County. To address the state’s requirement to reduce GHG emissions, the County prepared its CAP with the goal of reducing GHG emissions within the County

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

by 49% below “existing” 2008 levels by the year 2030 and 83% below the 2008 baseline levels by 2050. The County’s GHG reduction targets are consistent with the AB 32, SB 32, and EO S-3-05, and ensure that the County is providing GHG reductions locally that will complement the State and international efforts of stabilizing climate change.

The CAP identifies a two-step approach in evaluating GHG emissions. First, a screening threshold of 3,000 MTCO₂e/yr is used to determine if additional analysis is required. Projects that exceed the 3,000 MTCO₂e/yr will be required to quantify and disclose the anticipated GHG emissions then either 1) demonstrates GHG emissions at project buildout year levels of efficiency and includes project design features and/or MMs to reduce GHG emissions or 2) garner 100 points through the Screening Tables.

Based on the CalEEMod version 2022 output as shown in Table 5, the Project will result in approximately 1,316.2 MTCO₂e/yr and would not exceed the County’s screening threshold of 3,000 MTCO₂e/yr. Thus, the Project would not have the potential to result in a cumulatively considerable impact with respect to GHG emissions and Project GHG emissions would have a less than significant impact.

**Table 5
Project GHG Emissions**

Emission Source	Emissions (MT/yr)			
	CO ₂	CH ₄	N ₂ O	Total CO ₂ e
Annual construction-related emissions amortized over 30 years	17.9	0.0	0.0	18.2
Area Source	3.9	0.0	0.0	4.0
Energy Source	345	0.0	0.0	347
Mobile Source	753	0.0	0.0	780
On-Site Equipment	50.77	0.02	0.00	51.18
Waste	16.3	1.6	0.0	57.0
Water Usage	63.3	1.5	0.0	111
Total CO₂e (All Sources)	1,316.2			

Impacts would be less than significant.

- b) The applicable plan for the Proposed Project is the County of Riverside Climate Action Plan (adopted November 2019) which assists the County in conforming to the GHG emissions reductions as mandated under AB 32. As noted in the CAP Update (2019), policies to reduce GHG emissions often overlap with policies addressing energy conservation, reduced automobile use, water conservation, and many other issues. In addition to policies specifically targeting GHG emissions, Riverside County has many General Plan policies that help reduce GHG emissions while targeting other policies applicable to Riverside County. The Project is consistent with the CAP as it will implement many of the policies that reduce GHG emissions (see Appendix D). And, as discussed, the Project will result in approximately 1,316.2 MTCO₂e/yr which is below the County’s screening threshold of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

3,000 MTCO_{2e}/yr. Therefore, the Project is consistent with applicable plans, policies or regulations adopted for the purpose of reducing GHG emissions. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

HAZARDS AND HAZARDOUS MATERIALS Would the project:

21. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Report by Waterstone Environmental, Inc. titled *Phase 1 Environmental Site Assessment for the 8.72 Acre Property, 23682 Water Street, Perris, California 92570*, March 5, 2022 (Appendix F-1); Report by Waterstone Environmental, Inc. titled *Report of Agricultural Crops on 8.72 Acre Property at 23682 Water Street, Perris, California 92570*, November 20, 2023 (Appendix F-2)

Findings of Fact:

- a) A hazardous material is a substance that is toxic, flammable/ignitable, reactive, or corrosive. Extremely hazardous materials are substances that show high or chronic toxicity, carcinogenic, bioaccumulative properties, persistence in the environment, or that are water reactive. Improper use, storage, transport, and disposal of hazardous materials and waste may result in harm to humans, surface and groundwater degradation, air pollution, fire, and explosion.

Construction

Construction of the Proposed Project would involve the use and routine transport of small quantities of construction-related chemicals including but not limited to hydraulic fluids, motor oil, grease, runoff, and other related fluids and lubricants. The construction activities would involve the disposal and recycling of materials, trash, and debris. The County's

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

General Plan Safety Element addresses potential hazards in the County and identifies goals and policies to reduce risks and damages associated with hazards, including disposal of hazardous materials due to human activities. Compliance with all local, State and federal regulations related to hazardous materials use and transport during construction would reduce potential hazards to the public or the environment through the routine transport, use, or disposal of hazardous materials.

Operations

The Proposed Project would operate one industrial warehouse, the tenant of which has not yet been identified. A typical business/industrial operation would generally use limited hazardous materials, such as: cleaning agents, paints, pesticides, batteries, and aerosol cans. Normal routine use of these types of products would not result in a significant hazard to residents or workers in the vicinity of the Proposed Project as these materials would be handled and stored in compliance with all with applicable federal, state, and local requirements. Also, should any future business that occupies the proposed building handle acutely hazardous materials (as defined in Section 25500 of California Health and Safety Code, Division 20, Chapter 6.95) the business would require a permit from the Riverside County Department of Health Hazardous Materials Branch. This branch of the County would ensure that the operation complies with all local, State and federal regulations applicable to the business use. Therefore, operation of the Proposed Project would result in a less than significant impact related to the routine transport, use, or disposal of hazardous materials and no mitigation measures are required.

- b) A Phase 1 Environmental Site Assessment (ESA) was prepared for the Project Site (Appendix F-1). The Phase 1 ESA identified that there were no potentially hazardous conditions that existed on the Project Site. The Phase 1 ESA identified that the property has been either undeveloped or developed as agricultural land between 1938 through 2006. A farmhouse had been on the property as early as 1938, but was not present as of 2009. The Phase I ESA identified three properties, downgradient approximately one-eighth of a mile to the east and to the north of the Project Site that had been identified for underground fuel storage or auto parts stores, with no violations.

Construction

Construction activities would require the temporary use of hazardous substances, such as fuel, lubricants, and other petroleum-based products for operation of construction equipment as well as oil, solvents, or paints. As a result, the Proposed Project could result in the exposure of persons and/or the environment to an adverse environmental impact due to the accidental release of a hazardous material. However, the transportation, use, and handling of hazardous materials would be temporary and would coincide with the short-term Project construction activities. Further, the construction contractor is required to ensure that these materials would be handled and stored in compliance with all with applicable federal, state, and local requirements. Any handling of hazardous materials would be limited to the quantities and concentrations set forth by the manufacturer and/or applicable regulations, and all hazardous materials would be securely stored in a construction staging area or similar designated location within the Project Site. In addition, the handling, transport, use, and disposal of hazardous materials must comply with all applicable federal, state, and local agencies and regulations, including the Department of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Toxic Substances Control; Occupational Health and Safety Administration (OSHA); Caltrans; and the County Health Department - Hazardous Materials Management Services.

Operations

As discussed, although a tenant has not yet been identified, operations would be consistent with industrial/business park uses per the County’s General Plan. This may include use of small quantities of cleaning agents, paints, pesticides, batteries, and aerosol cans in accordance with existing laws established for the use of these substances. Should any future business that occupies the proposed building handle acutely hazardous materials (as defined in Section 25500 of California Health and Safety Code, Division 20, Chapter 6.95) the business would require a permit from the Riverside County Department of Health Hazardous Materials Branch. This branch of the County would ensure that the operation complies with all local, State and federal regulations applicable to the business use. Impacts would be less than significant and no mitigation measures are required.

- c) The Proposed Project would not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. Project construction will occur on a vacant parcel. Short-term construction of off-site improvements will occur along local roadways, but the construction will be conducted consistent with all applicable rules for traffic control which outlines procedures for emergency situations. The Project design allows for adequate emergency access off the site onto local roads. Evacuation routes are determined by the local emergency services; none are identified adjacent to the Project Site. The Proposed Project would be reviewed by the local emergency services agencies for compliance with all applicable codes. Impacts would be less than significant and no mitigation measures are required.
- d) The Val Verde Elementary School is located approximately three-quarters of a mile east of the Project. Small quantities of fuel and lubricants will be transported to the Project Site during construction. As previously discussed, the limited quantities of hazardous materials would be transported, handled, and disposed of in accordance with all regulations. Additionally, the potential emissions that would be generated from construction and operation of the Proposed Project were evaluated in the air quality analyses presented in Appendix A-1 and Appendix A-2 which identified that the emissions generated from the Proposed Project would not cause or contribute to an exceedance of the federal or state air quality standards. Thus, the Proposed Project would not emit hazardous or handle acutely hazardous materials, substances, or waste within 0.25 mile of school. No impacts would occur.
- e) The Phase 1 ESA prepared for the Project (Appendix F) included a historical literature review of the Project Site and surrounding area. The results indicated that the Project Site is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Therefore, construction and operation of the Proposed Project would not create a significant hazard to the public or the environment. No impacts would occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
22. Airports				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan Figure S-20 “Airport Locations,” GIS database; Letter from Airport Land Use Commission, Riverside County regarding Airport Land Use Commission (ALUC) Development Review ZAP1550MA22 for PPT220047, dated January 12, 2023 (Appendix G).

Findings of Fact:

- a) The Project Site is not located within an Airport Master Plan; therefore, the Project would not result in an inconsistency with an Airport Master Plan. There would be no impacts.
- b) The Project Site is located within Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). The C2 zone is identified as a flight corridor zone for March Air Reserve Base. The ALUCP restricts the number of people within the C2 zone to an average of 200 people per acre, with no more than 500 people in one acre. The Airport Land Use Commission (ALUC) evaluated the Proposed Project January 2023 (Appendix G) and found the project to be consistent with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB LUC Plan). The ALUC also issued a set of conditions for the County to include in its approval for the Proposed Project to ensure consistency with the Plan. The Proposed Project would be required to comply with these conditions. Impacts would be less than significant and no mitigation measures are required.
- c) The ALUC identified that the Proposed Project is consistent with the MARB LUC Plan and included conditions for the County to require the Applicant to comply with as part of Project approval (Appendix G). Adherence to these conditions will remove or reduce any safety hazard for people residing or working in the Project area. There are no public airports or public use airports within two (2) miles of the Project Site. Impacts would be less than significant and no mitigation measures are required.
- d) The Project Site is not located within two miles of any private airstrip, or heliport; therefore, the Project would not create a safety hazard for people residing or working in the Project area. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project:				
23. Water Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in substantial erosion or siltation on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) In flood hazard, tsunami, or seiche zones, risk the release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan Figure S-9 “Special Flood Hazard Areas,” Figure S-10 “Dam Failure Inundation Zone,” GIS database; Report by Armstrong & Brooks Consulting Engineers titled *Hydrology Study for Thrifty Oil-Perris Industrial*, February 17, 2023 (Appendix H-1) and Report by Armstrong & Brooks Consulting Engineers titled *Project Specific Water Quality Management Plan*, February 23, 2023 (Appendix H-2).

Findings of Fact:

- a) The Project Site is within the Santa Ana Watershed Region of Riverside County, within the San Jacinto Sub-Watershed and under the jurisdiction of the Santa Ana Regional Water Quality Control Board (SARWQCB), which sets water quality standards for all ground and surface waters within its region.

Construction

The SARWQCB requires that dischargers whose construction projects disturb one (1) or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Activity Construction General Permit Order 2009-0009-DWQ. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation. The Construction General Permit requires the development of a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). The Proposed Project is anticipated to disturb more than 1 acre, and therefore, would be subject to preparation of a SWPPP. The SWPPP would include BMPs to be implemented during and after Project construction to minimize erosion and sedimentation of downstream watercourses. The SWPPP is required for plan check and approval by the County’s Building and Safety Division, prior to provision of permits for the Project, and would include construction BMPs such as:

- Silt fencing, fiber rolls, or gravel bags
- Street sweeping and vacuuming
- Storm drain inlet protection
- Stabilized construction entrance/exit
- Vehicle and equipment maintenance, cleaning, and fueling
- Hydroseeding
- Material delivery and storage
- Stockpile management
- Spill prevention and control
- Solid waste management
- Concrete waste management

Adherence to the existing requirements and implementation of the appropriate BMPs per the permitting process would ensure that activities associated with construction would not violate any water quality standards. The Project would be required to have an approved grading and erosion control plan and approval of a SWPPP, which would include construction BMPs to minimize the potential for construction related sources of pollution, per County conditions of approval, which would be implemented during construction. As a result, impacts related to the degradation of water quality during construction of the Proposed Project would be less than significant.

Operations

Riverside County and 23 other cities and agencies obtained a joint National Pollutant Discharge Elimination System (NPDES) permit from the SARWQCB to control pollutants in runoff. The Proposed Project has prepared a Project Specific Water Quality Control Plan (PWQMP), which is provided in Appendix H-2 which incorporates stormwater control for the post-construction condition, and includes Low Impact Development (LID) site design, source control, and treatment control BMPs. The County would review and approve the PWQMP as part of the design for the Proposed Project. Design features that reduce runoff that could cause water quality impacts include proposed storm drains that would allow for site runoff to be conveyed to a proposed underground detention chamber below the eastern truck parking lot. Overflow from this proposed facility will be discharged using a side-flow weir to distribute the storm water runoff linearly (non-concentrated) at a rate per linear foot less than existing, predeveloped conditions. The underground chamber will allow water to recharge into the ground with the soil acting to filter pollutants. Therefore, the Project would not violate any water quality standards or waste discharge requirements or otherwise

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

substantially degrade surface or ground water quality. Impacts would be less than significant and no mitigation measures are required.

- b) The Proposed Project does not include the construction of groundwater wells, nor will its water supply originate from groundwater wells. Eastern Municipal Water District (EMWD) provides water services to the area of the Project Site. The Project area overlies the Perris North Groundwater basin, which is located within the West San Jacinto Basin, and is managed through the West San Jacinto Groundwater Management Plan. The plan manages groundwater extraction, supply, and quality. Because the groundwater basin is managed through this plan, which limits the allowable withdrawal of water from the basin by water purveyors, and the Proposed Project would not pump water from the project area (as water supplies would be provided by EMWD), the Proposed Project would not result in a substantial depletion of groundwater supplies.

Development of the Proposed Project would result in a large area of impervious surface (341,933 SF) on the Project Site. The project design includes an underground infiltration chamber that would capture and filter runoff. In addition, the Project includes installation of 56,169 SF of landscaping that would infiltrate stormwater onsite. As a result, the Proposed Project would not decrease groundwater supplies or interfere substantially with groundwater recharge such that the Project may impede sustainable groundwater management of the basin. The Proposed Project would have a less than significant impact. Therefore, the Proposed Project would not substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the Proposed Project may impede sustainable groundwater management of the groundwater basin. There would be no impacts.

- c) There are no streams or rivers on the Project Site or adjacent to the Project Site. Thus, impacts related to alteration of the course of a stream or river would not occur. However, based on the existing topography, the Project Site drains easterly across the APN 317-260-034 (County of Riverside owned undeveloped parcel immediately adjacent to east of the Project Site), via sheet flow at the common property line boundary (eastern Project Site property boundary/western property boundary of the County parcel) (Appendix H-1). The stormwater runoff from the addition of impervious surfaces from development of the Proposed Project would be conveyed to an underground chamber system for infiltration and discharge. Over-flows in excess of water quality capture volume requirements will be discharged from the underground facility via overflow pipes. These overflow pipes will discharge into a concrete U-shaped channel constructed with side weirs where flows will be dispersed at a rate per linear foot less than or equal to pre-developed conditions. for conveyance off-site. Drainage would be controlled and would not result in substantial alteration of the drainage pattern. In addition, a WQMP has been developed to satisfy the requirements of the adopted NPDES program, which would be verified by the County's Building and Safety Division through the County's permitting process and through conditions of approval. Therefore, the Proposed Project would result in less than significant impacts related to alteration of the drainage pattern of the site or area and no mitigation measures are required.
- d) As discussed in 23.a, the SWPPP that would be prepared by the project contractor would include BMPs to be implemented during and after project construction to minimize erosion or siltation on-site and/or off-site. Implementation of a WQMP would provide operational

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

BMPs to ensure that operation of the industrial warehouse use would not result in erosion or siltation. Impacts would be less than significant and no mitigation measures are required.

- e) Project construction includes the preparation of an SWPPP that would include BMPs to be implemented during Project construction to minimize the rate and/or amount of surface runoff during construction. The Project’s drainage features would make the site drainage consistent with the existing drainage pattern for the area (refer to Appendices H-1 and H-2). Therefore, the Proposed Project would not substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site. Impacts would be less than significant and no mitigation measures are required.

- f) The Proposed Project’s stormwater will not exceed the capacity of the existing or planned stormwater drainage system in the area because stormwater improvements are planned as part of the Proposed Project. Thrifty Oil currently owns project parcels APN 317-260-016 (8.70 AC) and parcel (APN 317-260-015) (0.44 AC). The Project would grade the existing site for the development of an industrial facility at the northeast corner of the Tobacco Road and Water Street intersection. The site consists of approximately 9.1 gross acres and is currently undeveloped and barren land consisting of sparsely spread weeds and grasses. The surrounding areas have similar conditions. Per the County’s Master Drainage Plan (MDP), the 40-acre drainage area bounded by Water Street and Harvill Avenue, Tobacco Road and Placentia Avenue, and includes the Project Site, is identified to drain northeast to an existing 66-inch storm drain at Harvill/Placentia intersection, after the confluence of Lateral H 10 (in Harvill) and Lateral H 10.1 (in Placentia). However, based on the existing topography, the Project Site actually drains easterly across the APN 317-260-034 (County of Riverside owned undeveloped parcel immediately adjacent east of the Project Site), via sheet flow at the common property line boundary (eastern Project Site property boundary/western property boundary of the County parcel). Per drainage case law, a project’s natural drainage condition is permitted to perpetuate existing conditions as long as the flow is not concentrated, and the volume and velocities emitted from the site are less than the predeveloped conditions. The Riverside County Flood Control and Water Conservation District (RCFCD & WCD) has indicated during its project review process that interim detention facilities are not required if the 100-year flow-rate is conveyed to the 66-inch RCP outlet at the Harvill/Placentia intersection. However, to accomplish such would require installation of approximately 1,400 linear feet of a new parallel storm drain in Placentia Avenue to Harvill Avenue as there is no capacity in Lateral H 10.1, or the installation of a new storm drain across the County parcel in an easement. Neither alternative is desirable to the Applicant or to the RCFCD & WCD.

Due to the lack of adequate capacity in Placentia and the desire to not encumber the County parcel with a storm drain and easement, Project flows will be routed to an underground on-site detention/infiltration system where the design capture volume (DCV) of runoff will be treated through infiltration. All runoff that exceeds the site’s DCV will be discharged from the underground facility via overflow pipes. These overflow pipes will discharge into a concrete U-shaped channel constructed with side weirs where flows will be dispersed at a rate per linear foot less than or equal to pre-developed conditions. A grouted rip-rap stabilization blanket will be provided along the Project Site’s easterly border, to protect the County parcel and assist in dispersing the minimal flow Q-100 discharge of only 0.019 cfs per linear foot.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The Proposed Project is designed to comply with the RCFCD & WCD’s interim detention basin facilities requirements since there is no practical storm drain outlet provided for the Project Site per the current MDP. The Proposed Project would therefore perpetuating the natural drainage conditions, while providing an effective safe and practical point of discharge. The Proposed Project would provide underground storm drain detention basin systems in similar concept and principal to recently approved project located northwest of the Project Site along Patterson and Placentia Avenues per PPT 190008 “Barker Logistics”. This includes a safe weir dispersal structure, minimal flows for the Q-100, a free draining facility chamber basin within 72-hrs., and no dead storage or pumping facilities. Infiltration techniques are also provided to meet regional WQMP best management practices, and enhance water quality and quantities.

Therefore, the Project would not create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff. Impacts would be less than significant and no mitigation measures are required.

- g) As indicated in General Plan Figure S-9 and S-10, the Project Site is not located in an area with the potential for flood hazards where the Proposed Project would impede or redirect flood flows. There would be no impacts.
- h) As indicated in General Plan Figure S-9 and S-10, the Project Site is not located in an area of a flood hazard, tsunami, or seiche zone. Therefore, there is no risk related to the release of pollutants due to Project Site inundation. There would be no impacts.
- i) As described previously, the Proposed Project would be required to have an approved SWPPP, which would include construction BMPs to minimize the potential for construction related sources of pollution. For operations, the Proposed Project would be required to implement source control BMPs to minimize the introduction of pollutants; and treatment control BMPs to treat runoff in accordance with its approved WQMP. With implementation of the operational source and treatment control BMPs that would be required by the County during the Project permitting and approval process, potential pollutants would be reduced to the maximum extent feasible, and implementation of the Proposed Project would not obstruct implementation of a water quality control plan.

The Project Site overlies the Perris North Groundwater basin, which is located within the West San Jacinto Basin, and is managed through the West San Jacinto Groundwater Management Plan. The Proposed Project would not directly extract groundwater; however, with addition of the Proposed Project, an increase in impervious surface cover would occur over approximately 86% of the site, which would reduce the amount of water directly percolating into the groundwater table. However, the Proposed Project includes an underground chamber which would capture and infiltrate nearly all of the flows into the underlying groundwater basin. The BMPs that are incorporated into the site design would minimize potential adverse effects related to groundwater recharge. After implementation of the Proposed Project, the proposed stormwater drainage system would convey water runoff into the public storm drain system which flows to downstream water bodies where percolation into the groundwater table occurs. Therefore, the Proposed Project would not conflict or obstruct implementation of a groundwater management plan or implementation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

of a groundwater sustainability plan. Therefore, impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

LAND USE/PLANNING	Would the project:			
24. Land Use				
a) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan, GIS database, Project Application Materials.

Findings of Fact:

- a) The Project Site is within the Mead Valley Area Plan (MVAP) with a General Plan Foundation Component of Community Development and a Land Use designation of Business Park (BP). The MVAP defines “Business Park” as “employee intensive uses, including research & development, technology centers, corporate offices, “clean” industry and supporting retail uses,” and supporting a floor area ratio (FAR) of 0.25 to 0.60. The Proposed Project’s FAR is 0.48.

Setbacks and Variance: County Code, Title 17, Section 17.96.040 requires a minimum 50 feet setback on any boundary where the industrial property abuts a residential or commercially zoned property. A minimum of 20 feet of the setback must be landscaped unless a tree screen is approved in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required. County Code, Title 17, Section 17.196.010 describes that a variance may be granted because of special circumstances applicable to a parcel of property, including size, shape, topography, location or surroundings, the strict application of this title deprives such property of privileges enjoyed by other property in the vicinity that is under the same zoning classification. Variances are limited to modifications of property development standards, such as lot size, lot coverage, yards, and parking and landscape requirements.

The Project Site abuts APN 317-260-17 on the north which has R-R-1 zoning and APN 317-260-034 on the east, which is zoned M-SC. The Project Applicant owns APN 317-260-17. The Proposed Project is designed with a building setback of 42-45 feet on the northern property boundary and an approximate 138 feet on the east. The Proposed Project landscaping is designed for 15% percent of the northern property setback and 6-8 feet within the eastern setback. Therefore, to be compliant with the design standards for the northern property boundary the Applicant requires a variance. It is not feasible to move the building due to lot size and topography, and it is not financially feasible for the Applicant to

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

reduce the building size and still fund all of the County's master plan of drainage improvements being required as part of project approvals. Therefore, with approval of the Variance, the Project would be consistent with the County's zoning and Plan's Land Use for the site. Impacts would be less than significant and no mitigation measures are required.

- b) The Proposed Project would occur on property located on the southeast corner of Water Street and Tobacco Road and is consistent with the Project Site's zoning. The area east and south of the Project Site are zoned Industrial Park. Rural residential land uses exist to the north and northwest of the Project Site. The Proposed Project will not disrupt or divide the physical arrangement of the community because the Proposed Project is consistent with the zoning. There would be no impact.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

MINERAL RESOURCES Would the project:				
25. Mineral Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Potentially expose people or property to hazards from proposed, existing, or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan Figure OS-6 "Mineral Resources Area."

Findings of Fact:

- a) The State Mining and Geology Board (SMGB) has also established Mineral Classification Zones (MRZs) to designate lands that contain mineral deposits. The Riverside County General Plan identifies the Project area as MRZ-3 (areas where the available geologic information indicates that mineral deposits are likely to exist, however, the significance of the deposit is undetermined). No mining activities are proposed. An area with undetermined mineral significance would not be valuable to the region or residents of the state until its mineral significance is confirmed. Additionally, the Project Site is surrounded by residential and industrial uses. The current uses of the Project Site and surrounding areas are not compatible with mineral resource extraction. Therefore, no significant impacts are identified or anticipated, and no mitigation measures are required. There would be no impacts.
- b) The Project is zoned MRZ-3 which contains undetermined mineral deposits. However, the Project Site is not located within a planning area designated for mining. There would be no impacts.
- c) There are no existing or abandoned mines or quarries on site. There would be no impacts.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

NOISE Would the project result in:				
26. Airport Noise	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) For a project located within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan Figure S-20 “Airport Locations,” County of Riverside Airport Facilities Map; Report by Urban Crossroads titled, *Thrifty Oil Warehouse, Noise Impact Analysis*, April 12, 2023 (Appendix I).

Findings of Fact:

- a) The March Joint Air Reserve Base/March Inland Port (March Air Reserve Base) is located approximately 4 miles to the northeast. During the field review for the noise evaluation (Appendix I), military aircraft were observed taking off east of the Project Site flying in a northwest to southeast pattern; sound from these aircraft was noticeable and were recorded during ambient noise measurements at the sensitive receptor locations. Occasional flights east of the Project Site at higher altitude were from a southeast to northwest direction but the sound generated was considerably less.

The Project Site is located within Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). The C2 zone is identified as a flight corridor zone for March Air Reserve Base. The ALUCP restricts the number of people within the C2 zone to an average of 200 people per acre, with no more than 500 people in one acre. The Airport Land Use Commission (ALUC) evaluated the Project in January 2023 and found the Project to be consistent with the 2014 MARB LUC Plan. The ALUC also issued a set of conditions for the County to include in its approval for the Project to ensure consistency with the Plan. The Project is required to comply with these conditions. Impacts would be less than significant.

The Riverside County Airport Land Use Compatibility Plan, Volume 2, Chapter W7, identifies that the Project Site is situated outside of the 60 dB CNEL noise contour, which is the contour measured furthest from the airport. Therefore, this airport does not appreciably contribute to noise impacts at the site. Impacts would be less than significant.

- b) There are no private airstrips in the vicinity of the Project. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
27. Noise Effects by the Project				
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan, Table N-1 (“Land Use Compatibility for Community Noise Exposure”), Report by Report by Urban Crossroads titled, *Thrifty Oil Warehouse, Noise Impact Analysis*, April 12, 2023 (Appendix I).

Findings of Fact:

- a) Environmental noise is commonly measured in A-weighted decibels (dBA). A decibel (dB) is a unit of sound energy intensity. Sound waves, traveling outward from a source, exert a sound pressure level (commonly called a “sound level”) measured in dB. An A-weighted decibel (dBA) is a decibel corrected for the variation in frequency response that duplicates the sensitivity of human ears. Decibels are measured on a logarithmic scale. Generally, a 3 dBA increase in ambient noise levels represents the threshold at which most people can detect a change in the noise environment; an increase of 10 dBA is perceived as a doubling of loudness.

To determine potential noise impact standards, the Noise Impact Analysis in Appendix I utilized the criteria standards provided in Table 6: *Significance Criteria Summary*.

**Table 6
Significance Criteria Summary**

Analysis	Receiving Land Use	Condition(s)	Significance Criteria	
			Daytime	Nighttime
Operational	Noise-Sensitive	Exterior Noise Level Standards ¹	55 dBA Leq	45 dBA Leq
		If ambient is < 60 dBA Leq ²	≥ 5 dBA Leq Project increase	
		If ambient is 60 - 65 dBA Leq ²	≥ 3 dBA Leq Project increase	
		If ambient is > 65 dBA Leq ²	≥ 1.5 dBA Leq Project increase	
Construction		Noise Level Threshold ³	80 dBA Leq	
		Vibration Level Threshold ⁴	0.01 in/sec RMS	

¹ County of Riverside General Plan Municipal Code, Section 9.52.040.

² Federal Interagency Committee on Noise, 1992.

³ Federal Transit Administration, Transit Noise and Vibration Impact Assessment Manual.

⁴ County of Riverside General Plan Noise Element, Policy N 16.3.

"Daytime" = 7:00 a.m. to 10:00 p.m.; "Nighttime" = 10:00 p.m. to 7:00 a.m.

The Noise Impact Study also analyzed the existing noise levels at three noise-sensitive receptor locations closest to the Project Site Tuesday, December 21, 2021, positioned as close to the receiver locations as possible. The existing noise measurements are identified in Table 7: *Ambient Noise Level Measurements*.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

**Table 7
Ambient Noise Level Measurements**

Location ¹	Description	Energy Average Noise Level (dBA L _{eq}) ²	
		Daytime	Nighttime
R1	Located northeast of the Project site near single-family residence at 23551 Placentia Avenue, approximately 503 feet northwest of the Project Site. Receiver R1 is placed at the private outdoor living areas (backyards) facing the Project Site.	53.8	54.7
R2	Located northwest of the Project site near single-family residence at 23745 Placentia Avenue, approximately 455 feet northeast of the Project Site. Receiver R2 is placed at the private outdoor living areas (backyards) facing the Project Site.	54.9	56.8
R3	Located south of the Project site near single-family residence at 20800 Tobacco Road, approximately 367 feet north of the Project Site. Receiver R3 is placed at the private outdoor living areas (backyards) facing the Project Site.	51.7	52.4

Construction

The County of Riverside outlines its noise standards within its General Plan and Riverside County Ordinance 847. Ordinance 847 also identifies a list of exemptions and exceptions to the noise standards which includes construction and demolition. Riverside Ordinance 847 identifies that private construction within one-quarter of a mile from an inhabited dwelling cannot occur between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September; and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May.

Construction noise would be limited primarily to the use of the heavy equipment for initial site grading and excavating activities at the site which will be short-term in nature. Although the Project Applicant anticipates a 2-month initial site grading and excavating activities, the noise modeling accounted for construction occurring over 12 months. Construction overall will occur during the permissible hours as described in the County of Riverside Noise Ordinance 847.

To evaluate whether the Project will generate potentially significant short-term noise levels at nearest receiver locations, a construction-related daytime noise level threshold of 80 dBA L_{eq} is used as a reasonable threshold to assess the daytime construction noise level impacts. The construction noise analysis in Appendix I identifies that the nearest receiver locations will satisfy the reasonable daytime 80 dBA L_{eq} significance threshold during Project construction activities as shown on Table 8: *Construction Noise Level Compliance*. Therefore, the noise impacts due to Project construction noise are considered less than significant at all receiver locations.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

**Table 8
Construction Noise Level Compliance**

Receiver Location ¹	Construction Noise Levels (dBA L _{eq})		
	Highest Construction Noise Levels ²	Threshold ³	Threshold Exceeded? ⁴
R1	56.4	80	No
R2	57.3	80	No
R3	58.9	80	No

¹ Noise receiver locations are shown on Exhibit 8-A of Appendix I.

² Highest construction noise level calculations based on distance from the construction noise source activity to the nearest receiver locations as shown on Table 8-2 of Appendix I.

³ Construction noise level thresholds as shown on Table 4-1 of Appendix I.

⁴ Do the estimated Project construction noise levels exceed the construction noise level threshold?

Operations

The Project is to construct one 186,479 SF warehouse with 10 bays, one grade level dock, 22 high docks and two, 4,000 SF offices, and related site landscaping, drainage basin, and parking on 8.87 acres. Access is accommodated off of Tobacco Road and Water Street for both passenger cars and trucks, however, the primary truck entrance is designated as Water Street.

The County has set stationary-source hourly average L_{eq} exterior noise limits to control loading dock activity, roof-top air conditioning units, trash enclosure activity, parking lot vehicle movements, and truck movements associated with development. Policy N 4.1 of the Riverside County General Plan Noise Element sets a stationary-source average L_{eq} exterior noise limit not to be exceeded for a cumulative period of more than ten minutes in any hour of 65 dBA L_{eq} for daytime hours of 7:00 a.m. to 10:00 p.m., and 45 dBA L_{eq} during the noise-sensitive nighttime hours of 10:00 p.m. to 7:00 a.m. (Appendix I).

Operational noise was analyzed in Appendix I. The analysis is intended to describe noise level impacts associated with the expected typical of daytime and nighttime activities at the Project site. To present the potential worst-case noise conditions, the analysis in Appendix I assumed the Project would be operational 24 hours per day, seven days per week. Consistent with similar warehouse and industrial uses, the Project business operations would primarily be conducted within the enclosed buildings, except for traffic movement, parking, as well as loading and unloading of trucks at designated loading bays. The on-site Project-related noise sources are expected to include the following:

- **Loading Dock Activity:** includes employees unloading a docked truck container included the squeaking of the truck’s shocks when weight was removed from the truck, employees playing music over a radio, as well as a forklift horn and backup alarm. In addition, during the noise level measurement a truck entered the loading dock area and proceeded to reverse and dock in a nearby loading bay, adding truck engine, idling, air brakes noise, in addition to on-going idling of an already docked truck.
- **Roof-top Air Conditioning:** the roof-top air conditioning units are estimated to operate for and average 39 minutes per hour during the daytime hours, and 28 minutes per hour during the nighttime hours, which would be typical for the region’s climate.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- Trash Enclosure Activity: when trash is dropped into an empty metal dumpster, estimated to occur for 10 minutes per hour.
- Parking Lot Movements: Parking activities are expected to take place during the full hour (60 minutes) throughout the daytime and evening hours. The parking lot noise levels are mainly due cars pulling in and out of parking spaces in combination with car doors opening and closing.
- Truck Movements: As shown in the trip generation assessment in Appendix J-1, the proposed Project is anticipated to generate a total of total of approximately 118 two-way truck trips per day (in actual vehicles). Truck movements will be limited to the driveways located on Water Street and Tobacco Road.

To demonstrate compliance with local noise regulations, the Project-only operational noise levels were evaluated against exterior noise level thresholds based on the County of Riverside exterior noise level standards at nearby noise-sensitive receiver locations. The results of the noise study in Appendix I identified that the operational noise levels associated with Thrifty Oil Warehouse would not exceed the County of Riverside daytime and nighttime exterior noise level standards at all nearby receiver locations.

Operational noise level increases were also analyzed as part of the noise study in Appendix I. The Project operational noise levels were combined with the existing ambient noise levels measurements for the nearby receiver locations potentially impacted by Project operational noise sources. The analysis in Appendix I, as shown on identified that the Project-related operational noise level increases would not exceed the operational noise level increase significance criteria.

The results of the existing ambient, the Project noise, and the noise increases are identified in Table 9 *Operational Noise Level Compliance*

**Table 9
Operational Noise Level Compliance**

Daytime Project Operational Noise Level Increases						
Receiver Location	Total Project Operational Noise Level	Reference Ambient Noise Levels	Combined Project and Ambient	Project Increase	Increase Criteria	Increase Criteria Exceeded?
R1	42.3	53.8	54.1	0.3	5.0	No
R2	45.7	54.9	55.4	0.5	5.0	No
R3	42.6	51.7	52.2	0.5	5.0	No
Nighttime Operational Noise Level Increases						
Receiver Location	Total Project Operational Noise Level	Reference Ambient Noise Levels	Combined Project and Ambient	Project Increase	Increase Criteria	Increase Criteria Exceeded?
R1	40.8	54.7	54.9	0.2	5.0	No
R2	44.9	56.8	57.1	0.3	5.0	No
R3	42.2	52.4	52.8	0.4	5.0	No

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Further, Project will be conditioned to operate within the County of Riverside guidelines for type of use and hours of operation. The Industrial Park zoning of the site provides for light industrial uses and related activities including manufacturing, research, warehouse and distribution, assembly of non-hazardous materials and retail related to manufacturing. This zone correlates with the “Light Industrial” General Plan Land Use designation.

Overall, the project would not generate construction or operational noise levels exceeding County standards. Impacts would be less than significant.

- b) The Caltrans Transportation and Construction Vibration Guidance Manual (Guidance Manual) is used to evaluate potential construction vibration impacts related to both potential building damage and human annoyance (Appendix I). Based on the Caltrans criteria shown in Table 19 of the Guidance Manual, construction vibration impacts would be significant if vibration levels exceed 1.0 inches per second (in/sec) PPV (transient sources) and 0.5 in./sec. PPV (continuous/frequent intermittent sources) for new residential structures.

Certain types of construction equipment can generate high levels of ground borne vibration. Construction of the Proposed Project would potentially utilize bulldozers, loaded trucks, and jackhammers during construction phases. Vibration impacts are assessed based on the distance from the location of vibration-intensive construction activities, conservatively assumed to be at edge of a project site, to the edge of nearby off-site structures.

Table 10: *Construction Reference Noise Levels* presents the combined noise levels for the loudest construction equipment, assuming they operate at the same time. As shown on Table 10, the construction noise levels are expected to range from 50.4 to 58.9 dBA Leq at the nearby receiver locations (Appendix I).

**Table 10
Construction Reference Noise Levels**

Construction Stage	Reference Construction Activity	Reference Noise Level @ 50 Feet (dBA Leq) ¹	Combined Noise Level (dBA Leq) ²	Combined Sound Power Level (PWL) ³
Site Preparation	Crawler Tractors	78	80	112
	Hauling Trucks	72		
	Rubber Tired Dozers	75		
Grading	Graders	81	83	115
	Excavators	77		
	Compactors	76		
Building Construction	Cranes	73	81	113
	Tractors	80		
	Welders	70		
Paving	Pavers	74	83	115
	Paving Equipment	82		
	Rollers	73		
	Cranes	73	77	109

Potentially Significant Impact Less than Significant with Mitigation Incorporated Less Than Significant Impact No Impact

Construction Stage	Reference Construction Activity	Reference Noise Level @ 50 Feet (dBA Leq) ¹	Combined Noise Level (dBA Leq) ²	Combined Sound Power Level (PWL) ³
Architectural Coating	Air Compressors	74		
	Generator Sets	70		

¹ FHWA Roadway Construction Noise Model (RCNM).

² Represents the combined noise level for all equipment assuming they operate at the same time consistent with FTA Transit Noise and Vibration Impact Assessment guidance.

³ Sound power level represents the total amount of acoustical energy (noise level) produced by a sound source independent of distance or surroundings. Sound power levels calibrated using the CadnaA noise model at the reference distance to the noise source.

In addition, as a warehouse use, the Proposed Project would not generate significant stationary sources of vibration. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

PALEONTOLOGICAL RESOURCES:

28. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, site, or unique geologic feature?

Source(s): Riverside County General Plan Figure OS-8 “Paleontological Sensitivity,” Letter by Western Science Center, untitled, March 22, 2023 (Appendix E-3).

Findings of Fact:

- a) The Project Site contains natural alluvial terrace deposits from the ground surface to 2 to 9 feet below ground surface, according to the geotechnical report prepared for the Project. The native material was identified as alluvial fan deposits (Qoa), and either old alluvial fan deposits (Qof) or very old alluvial fan deposits (Qvof). The Western Science Center (WSC, Appendix E-3), characterizes the geologic units underlying the Project as Pleistocene-aged alluvial deposits of gravel and sand. Pleistocene units are considered to be highly paleontologically sensitive.

The Riverside County General Plan identifies that the western portion of Project Site is of a low paleontological sensitivity while the eastern portion has a “high” sensitivity for paleontological resources. In addition, the record searches completed as part of the Paleontological Records Search did not identify localities within the Project area or within a 1-mile radius. Because of the County identified “high” sensitivity on a portion of the Project Site, Project related excavations that extend down into older Pleistocene-aged deposits may encounter fossil vertebrates. As a result, Mitigation Measure PAL-1 is included to require that any substantial excavations below 4 feet be monitored to identify and recover any significant fossil remains. With implementation of Mitigation Measure PAL-1, impacts to paleontological resources would be less than significant.

Impacts would be less than significant with mitigation incorporated.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: The following mitigation measure is required:

PAL – 1 Paleontological Monitoring. Prior to the issuance of grading permits, the Applicant shall provide a letter to the County of Riverside Planning Department, or designee, from a professional paleontologist, stating that a qualified paleontologist has been retained to provide services for the Project. The paleontologist will monitor all site preparation activities that involve excavations that extend down into older Pleistocene-aged deposits. In the event paleontological resources are encountered, ground disturbing activity within 50 feet of the area shall cease. The paleontologist shall examine the materials encountered, assess the nature and extent of the find, and recommend a course of action to further investigate and protect or recover and salvage those resources that have been encountered.

Monitoring: Monitoring is required pursuant to Mitigation Measure PAL-1, above.

POPULATION AND HOUSING Would the project:				
29. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County’s median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Project Application Materials, GIS database, Riverside County General Plan Housing Element.

Findings of Fact:

- a) The Project Site is vacant and unoccupied, therefore, construction and operations of the Project will not displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere. There would be no impacts.
- b) The Proposed Project would develop a warehouse building totaling 194,479 SF and associated parking lot, landscaping, and infrastructure. For purposes of analysis, the Project is estimated to require approximately 100 employees. The employees that would fill these roles are anticipated to reside within commuting distance and would not generate needs for any housing. The California Employment Development Department Labor Market Information Division published an average 3.9% unemployment rate in March 2023 for the four communities near the Project Site (Moreno Valley, Nuevo, Perris, and Riverside).

In addition, should the Project require employees to relocate to the area for work, there is sufficient vacant housing available within the region, including the Mead Valley area, City

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

of Perris, City of Hemet, City of Moreno Valley and City of Menifee. Riverside County, and the cities within proximity to Mead Valley, have adopted General Plan Housing Elements which describe their jurisdiction’s strategies for accommodating affordable housing. Thus, the Proposed Project would not create a demand for substantial additional housing, including housing affordable to households earning 80 percent or less of the County’s median income. Impacts would be less than significant and no mitigation measures are required.

- c) As discussed, workers are anticipated to come from within the region. The Project is consistent with the MVAP and the County General Plan with a Land Use designation of Business Park. The MVAP defines “Business Park” as “employee intensive uses, including research & development, technology centers, corporate offices, “clean” industry and supporting retail uses.” Therefore, the Project will not induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure). Impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

30. Fire Services

Source(s): Riverside County General Plan, Google Earth imagery, GIS Database, General Plan Final Program Environmental Impact Report (State Clearinghouse No. 2002051143)

Findings of Fact:

The Project Site receives fire protection services from the Riverside County Fire Department (RCFD). Development of the Project Site with a warehouse building has the potential to increase the frequency of fire protection calls to the site.

There are several fire stations within 3 miles of the Project Site that can service the Project within acceptable service ratios, response times or other performance objectives. These include but are not limited to:

- Riverside County Station 90, 333 Placentia Ave, Perris, CA 92571;
- Riverside County Fire Station 59, 21510 Pinewood St, Perris, CA 92570

To ensure adequate fire protection for all residents of Riverside County, the Riverside County Department of Building and Safety and the RCFD enforce fire standards as they review building plans, conduct building inspection and review structures for compliance with the California Code, including Public Resources Code Sections 4290-4299 and California Government Code Section

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

51178 that address fire safety and Riverside County Ordinance No. 787 (Fire Code Standards). Although the Proposed Project's increased demand on fire services could impact the RCFD's response times, the impact under CEQA is determined to be less than significant because the Proposed Project would be served from existing RCFD fire stations and would not require the construction of a new fire station or physical alteration of an existing fire station. The Project Applicant would be required to comply with Riverside County Ordinance No. 659 (the County Development Impact Fee [DIF]), which requires a fee payment by developers for the funding of public facilities, including fire protection facilities.

Therefore, the Project will not result in substantial adverse physical impacts associated with the provision of new or physically altered fire services or facilities. Impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

31. Sheriff Services

Source(s): Riverside County General Plan, General Plan Final Program Environmental Impact Report (State Clearinghouse No. 2002051143)

Findings of Fact:

The Project Site is located within an existing service area of the Riverside County Sheriff Department and specifically serviced by the Perris Station, located at 137 N. Perris Blvd, Suite A, Perris, CA 92570, approximately 3 miles south of the Project Site. In addition to the main assigned substation, the Sheriff's Department maintains routine patrols in various areas of the County to maintain acceptable service ratios and response times. The Proposed Project would result in additional on-site employees and goods that could create the need for sheriff services. Operation of the industrial warehouse may generate a typical range of sheriff service calls, such as burglaries, thefts, and employee disturbances. Unincorporated Riverside County has set a minimum standard of 1.0 deputy per 1,000 residents. As discussed throughout this document, the Proposed Project would not result in an increase in residents. As such, the Project would not result in a demand for additional Sheriff's Department employees, facilities, or service levels. The Project Applicant will be required to comply with Riverside County Ordinance No. 659 (the County DIF), which requires a fee payment by developers for the funding of public facilities, including sheriff protection facilities. Therefore, the Proposed Project will not result in substantial adverse physical impacts associated with the provision of new or physically altered sheriff services or facilities. Impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

32. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source(s): GIS database, General Plan Final Program Environmental Impact Report (State Clearinghouse No. 2002051143)

Findings of Fact:

The Project Site is located in the Val Verde Unified School District. The Proposed Project consists of an industrial warehouse facility that would not directly generate students. As described previously, the Proposed Project is not anticipated to generate a new population, as the employees needed to operate the Project are anticipated to come from within the Project region. Pursuant to Government Code Section 65995 applicants shall pay developer fees to the appropriate school districts at the time building permits are issued; and payment of the adopted fees provides full and complete mitigation of school impacts. Therefore, the Project will not result in substantial adverse physical impacts associated with the provision of new or physically altered school services or facilities. Impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

33. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source(s): Riverside County General Plan, General Plan Final Program Environmental Impact Report (State Clearinghouse No. 2002051143)

Findings of Fact:

The Project consists of the development of a warehouse where employees are anticipated to come from within the local region. As such, there would be no increase population where existing area and regional libraries will need to expand personnel or physical building space to accommodate additional patrons. The Project Applicant will be required to comply with Riverside County Ordinance No. 659 (the County DIF), which requires a fee payment by developers for the funding of public facilities, including library facilities. Therefore, the Proposed Project will not result in substantial adverse physical impacts associated with the provision of new or physically altered library services or facilities. Impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan.

Findings of Fact:

The General Plan indicates the location of a number of hospitals and medical facilities all located within 5 miles of the Project Site. The Project can be served by existing health services within acceptable service ratios. Therefore, the Project will not result in substantial adverse physical impacts associated with the provision of new or physically altered health services or facilities. Impacts would be less than significant and no mitigation measures are required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

RECREATION Would the project:				
35. Parks and Recreation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review.

Findings of Fact:

- a) The Proposed Project consists of the development of a warehouse where employees are anticipated to come from within the region and therefore would not require new park or recreational facilities. Therefore, the Proposed Project will not create the need for new recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. Impacts would be less than significant and no mitigation measures are required.
- b) The Proposed Project consists of the development of a warehouse where employees are anticipated to come from within the region and therefore would not require new park or recreational facilities. The Project Applicant will be required to comply with Riverside County Ordinance No. 659 (the County DIF), which requires a fee payment by developers for the funding of public facilities, including park facilities. The Project does not increase population and will not increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

accelerated. Impacts would be less than significant and no mitigation measures are required.

- c) According to the County of Riverside Economic Development publicly available mapping, the Proposed Project is not located in a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees). There would be no impact.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

36. Recreational Trails

- a) Include the construction or expansion of a trail system?

Source(s): Riverside County General Plan Figure C-6 Trails and Bikeway System, Lake Mead Valley Area Plan.

Findings of Fact:

- a) The Proposed Project consists of the development of a warehouse where employees are anticipated to come from within the region and therefore would not require new trails or the expansion of trails. However, the Project includes construction of 1,250 feet of multipurpose trail in accordance with County of Riverside Standards. The multipurpose trail will be constructed within the public right-of-way on the southerly side of Placentia Avenue from the southeasterly intersection of Tobacco Road to the intersection of Harvill Avenue. The trail section is shown on Figure 8 – *Off-Site Improvements*. There will be a public sidewalk along Water Street and Tobacco Road frontage that will satisfy pedestrian use. The Project Applicant will be required to comply with Riverside County Ordinance No. 659 (the County DIF), which requires a fee payment by developers for the funding of public facilities, including trail facilities. Impacts would be less than significant and no mitigation is required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

TRANSPORTATION Would the project:

37. Transportation

- a) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?
- b) Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan; Report by Urban Crossroads titled *Scoping Agreement for Traffic Impact Study/Trip Generation Assessment*, April 28, 2022 (Appendix J-1); and Focused Traffic Assessment, February 5, 2024 (Appendix J-1); Report by Urban Crossroads titled *Thrifty Oil Vehicle Miles Traveled (VMT) Screening Evaluation*, May 24, 2022 (Appendix J-2); and Report by Urban Crossroads titled Focused Traffic Assessment, February 5, 2024 (Appendix J-3).

Findings of Fact:

- a) The MVAP programs and policies are supplemental to, and coordinated with, the policies of the Riverside County General Plan Circulation Element. As such, the circulation system of MVAP is tied to the countywide system and its long-range direction.

The Project Site is located on the northeast corner of Water Street and Tobacco Road. Neither of these roadways are designated as arterials, major roadways, or secondary roadways. Trucks coming to the site would generally access from Harvill Avenue, a major roadway, and travel west on Water Street, and exit the Project Site on Tobacco Road, and return to Water Street to travel to Harvill Avenue.

The MVAP identifies applicable circulation policies to include following:

- o MVAP 9.1 - Design and develop the vehicular roadway system per Figure 7, Circulation, and in accordance with the Functional Classifications and Standards section in the General Plan Circulation Element.
- o MVAP 9.2 - Maintain the County's roadway Level of Service standards as described in the Level of Service section of the General Plan Circulation Element.

The Proposed Project was reviewed and approved for conformance with Riverside County Ordinance No. 461, "Road Improved Standards and Specifications" by the Riverside County Transportation Department. The Project road improvements include the following:

- Road improvements to widen and pave Water Street along the Project frontage, from Tobacco Road to approximately 660 feet easterly of the intersection of Water Street and Tobacco Road. Improvements include paving, installation of curb, gutter and sidewalk (28-foot half street improvements) plus 18-foot wide.
- Road improvements to widen Tobacco Road from the intersection of Water Street approximately 650 linear feet of north from the intersection to Tobacco Road and Water Street to Placentia Avenue. Improvements include 32 feet of pavement along the Project frontage with Tobacco Road and 16 feet of one-half street pavement and graded shoulder from the northern property boundary to the intersection of Tobacco Road and Placentia Avenue. In addition, minor curb return and pavement transitions to

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

the existing asphalt pavement will be installed at the intersection of Tobacco Road and Placentia Avenue. An asphalt-concrete berm will be constructed to convey drainage to the Placentia Avenue intersection storm drain system (Lateral H 10.1).

The General Plan Element identifies that Level of Service (LOS) “C” applies to all development proposals within the MVAP.

As shown in Appendix J-1 the Proposed Project is anticipated to generate a total of 334 two-way trips per day with 31 AM peak hour trips and 36 PM peak hour trips (in actual vehicles). In comparison, the Proposed Project is anticipated to generate a total of 514 Passenger Car Equivalent (PCE) two-way trips per day with 39 PCE AM peak hour trips and 44 PCE PM peak hour trips. According to the County’s traffic study guidelines, the Project generates less than 100 vehicle trips during the peak hours and is exempt from preparing a Traffic Impact Analysis. Therefore, it is assumed that the Project would maintain a LOS C consistent with the General Plan consistent with the County’s level of service standards. Impacts would be less than significant and no mitigation is required.

The County of Riverside contains bicycle, pedestrian, and multi-purpose trails that traverse urban, rural, and natural areas. These multi-use trails serve both as a means of connecting the unique communities and activity centers throughout the County of Riverside and as an effective alternate mode of transportation. The MVAP does not identify any bicycle, pedestrian, and multi-purpose trails in the Project vicinity. As part of the Project, a sidewalk will be constructed along the Water Street and Tobacco Road Project frontage to facilitate pedestrian and/or non-motorized users. Therefore, the Project is consistent with the Area Plan’s vision for bikeways and pedestrian facilities. Impacts would be less than significant and no mitigation is required.

- b) Senate Bill 743, adopted in 2013, added section 21099 to the Public Resources Code, which states that automobile delay, as described by level of service (LOS) or similar measures of vehicular capacity or traffic congestion, shall not be considered a significant impact on the environment. Essentially a project’s environmental impacts can no longer focus on vehicle delay at street intersections or on roadway segments but must use the miles a vehicle must travel between a dwelling and commerce, recreation and/or work. The intent of this shift in methodology is to encourage different land use and transportation decisions to reduce greenhouse gas emission, support in-fill development and improve public health through active transportation. Section 15064.3, subdivision (b)(1) of the CEQA Guidelines requires a determination as to whether the project will result in a substantial increase in vehicle miles traveled (VMT). Riverside County adopted the *Transportation Analysis Guidelines for Level of Service, Vehicle Miles Traveled* (December 2020) to be compliant with CEQA Guidelines section 15064.3, subdivision (b) and provide screening criteria and methodology for vehicle miles traveled (VMT) analysis.

The Vehicle Miles Traveled Screening Evaluation prepared for the Project (Appendix J-2) identified that the Project falls within the VMT screening criteria for “Small Project/Low GHG Emissions Based Screening.” The County Guidelines identify those projects forecasted to generate greenhouse gas (GHG) emissions below 3,000 Metric Tons of Carbon Dioxide Equivalent (MTCO2e) per year are assumed to cause a less than significant VMT impact. County Guidelines identify that industrial warehouse buildings (without refrigeration) below 208,000 square-feet in total building size or General Light Industrial buildings with area less

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

than or equal to 179,000 square-feet are expected to generate fewer than 3,000 MTCO_{2e} per year and would therefore be considered less than significant. The Proposed Project is designed with a total of 194,479 SF. The Greenhouse Gas analysis in Appendix D identified that the Proposed Project does not exceed the County identified threshold. Therefore, this Project will screen out from a VMT analysis, and is therefore consistent with CEQA Guidelines Section 15064.3, subdivision (b). Additionally, as identified in Section 20.b of this document, operational emissions occur over the life of the Project. Appendix D identifies that the operational emissions for the Project are approximately 1,706 metric tons of CO_{2e} per year, which does not exceed the SCAQMD screening threshold for all land uses of 3,000 metric tons of CO_{2e} per year. Impacts would be less than significant and no mitigation is required.

- c) The Proposed Project road improvements include street development and widening and curb and gutter along the Project Site frontage, and from Tobacco Road to the intersection with Placentia Avenue. The Focused Traffic Assessment, February 5, 2024 in Appendix J-3 illustrates the potential truck routes to and from the site. These improvements do not increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment) because the improvements are designed to County standards. Additionally, the driveways to be used by the trucks and passenger vehicles have been separated to reduce conflicts with Project-related traffic. Trucks would enter via a right turn into one entrance Tobacco Road and exit via a left turn onto Water Street; passenger vehicles would enter and exit via a separate driveway along Tobacco Road. Therefore, while the Project would make various street improvements, there are no geometric changes to the roadways that would create a geometric hazard or sharp curve or dangerous intersection. There would be less than significant impacts, and no mitigation is required.
- d) The County does not maintain a truck route exhibit; however, the County has Ordinance No. 500 which reduces the permissible weight of certain vehicles on identified County highways. There are no weight restrictions on any of the surrounding roadways that lead to the I-215 Freeway (Water Street, Tobacco Road, Harvill Avenue, and Placentia Avenue). Per the County's Board Policy C3.8, trucks are to avoid driving through residential areas. Recent roadway improvements to the intersection Tobacco Road and Placentia Avenue allow for trucks to utilize Placentia Avenue as a secondary route to the I-215 Freeway. The Project's main truck ingress/egress is from Placentia. The Project's north driveway on Tobacco Road will be used as a secondary access. Proposed Project roadway modifications along Water Street and Tobacco Road do not cause an effect upon, or a need for new or altered maintenance of roads as these are existing roadways and the modifications will improve the roadway conditions by installing curb and gutter and pavement rehabilitation. Impacts would be less than significant and no mitigation is required.
- e) The Proposed Project would not cause an effect upon circulation during the Project's construction because all equipment and materials needed for construction would be staged within the Project Site. Construction vehicles accessing the site would be transported to the site under all State, federal and local transport regulations along the area's roadways. Impacts would be less than significant and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- f) Primary and secondary access for the Proposed Project consists of one driveway off of Water Street and two driveways off of Tobacco Road. Due to the typical wide turning radius of large trucks, a truck turning template, has been overlaid on the site plan at each applicable Project driveway anticipated to be utilized by heavy trucks and the site adjacent intersection of Tobacco Road at Placentia Avenue in order to determine appropriate curb radii and to verify that trucks will have sufficient space to execute turning maneuvers (see Attachment A of the Focused Traffic Assessment in Appendix J-3). A WB-67 truck (53-foot trailer) has been utilized for the purposes of this assessment. As shown in Attachment A, the proposed driveways are anticipated to accommodate the ingress and egress of heavy trucks as currently designed with the exception of the driveway on Water Avenue which will require a 65-foot curb radius on the northeast corner. With the developer being the owner of both the Project and the adjacent site to the north on Tobacco Road at the request of County staff, a proposed "joint use" driveway has been provided per the recommendation of County staff. This driveway would require a reciprocal access agreement being approved between the two properties and put in place prior to the start of construction.

Using the WB-67 truck template, the truck stacking has been identified behind the gate and the public street at both access on Water Street and access on Tobacco Road. As a tenant has not currently been identified for the proposed Project, the anticipated truck circulation for the building is unknown at this time. Stacking accommodated on-site is in excess to the stacking provided for other surrounding warehouse uses of similar size in the immediate vicinity and is well in excess of the anticipated truck activity. Based on the Project's anticipated trip generation, as evaluated in the Thrifty Oil Warehouse Trip Generation Assessment (dated April 28, 2022), no more than seven (7) trucks are anticipated to arrive during either peak hour, which is approximately one (1) truck every 10 minutes. The intent of the gate operation is to remain open during business hours, however, should the tenant require gates to be closed during business operations, up to four (4) WB-67 trucks could be stored between the closed gate and Water Street access (two in each lane behind the gate) and up to six (6) WB-67 trucks could be stored between the gate and Tobacco Road access. Prior to construction, the Project would be subject to review by the County's Fire and Sheriff Departments, as well as grading plan review, to assure that adequate emergency access is provided to and from the Project Site and for surrounding residents. Impacts would be less than significant and no mitigation is required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

38. Bike Trails

- a) Include the construction or expansion of a bike system or bike lanes?

Source(s): Riverside County General Plan.

Findings of Fact:

- a) According to the County General Plan, the Project Site is not located adjacent to or nearby any designated bike trails. The Proposed Project does not propose a bicycle trail system or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

bike lanes, nor is there a requirement to construct or expand any of the existing bike trail/lane systems within the Project vicinity. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

TRIBAL CULTURAL RESOURCES Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

39. Tribal Cultural Resources

a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?

b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

Source(s): County Archaeologist, Native American Consultation, Report by Tierra Environmental Services, titled *Cultural Resources Assessment for 23682 Water Street, Riverside County, April 24, 2023* (Appendix C), *Advisory Notification Document, PPT220047*, County of Riverside Transportation and Land Development Agency, April 26, 2023 (on file with the County).

Findings:

- a) Changes in the California Environmental Quality Act, effective July 2015, require that the County address a new category of cultural resources – tribal cultural resources – not previously included within the law’s purview. Tribal Cultural Resources are those resources with inherent tribal values that are difficult to identify through the same means as archaeological resources. These resources can be identified and understood through direct consultation with the tribes who attach tribal value to the resource. Tribal cultural resources may include Native American archaeological sites, but they may also include other types of resources such as cultural landscapes or sacred places. The appropriate treatment of tribal cultural resources is determined through consultation with tribes.

In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on December 14, 2022.

No response was received from the Santa Rosa Band of Cahuilla Indians, Ramona Band of Cahuilla Mission Indians, Pala Band of Mission Indians, the Cahuilla Band of Indians, or the Colorado River Indian Tribe. The Soboba Band of Luiseno Indians did not respond

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

within the 30-day time frame in which to request consultation. The Quechan Indian Nation responded in an email dated December 19, 2022, and deferred consultation to nearer tribes.

Consultation was requested by the Pechanga Band of Luiseno Indians, Rincon Band of Luiseno Indians, and the Agua Caliente Band of Cahuilla Indians,

The Rincon Band of Luiseno Indians responded in a letter dated January 26, 2023, requesting consultation. The cultural report and conditions of approval were provided to Rincon on April 10, 2023. Rincon concluded consultation on June 13, 2023.

The Pechanga Band of Mission Indians responded in an emailed letter dated January 05, 2023, requesting consultation. In the letter the Pechanga Tribe told Planning that *“the Project area is part of 'Ataaxum (Luisefio), and therefore the Tribe's, aboriginal territory as evidenced by the existence of cultural resources, named places, t6ota yixelval (rock art, pictographs, petroglyphs), and an extensive 'Ataaxum artifact record in the vicinity of the Project. This culturally sensitive area is affiliated with the Pechanga Band of Luisefio Indians because of the Tribe's cultural ties to this area as well as our extensive history with the County and other projects within the area”*.

On April 10, 2023, the Planning Department provided the following project information via email to Pechanga: Phase I Cultural Survey Report and the Advisory Notification Document and Conditions of Approval. The original consultation request letter stated that the project lies within a Traditional Cultural Property (TCP). This is the Qaxáalku Kwíimik TCP which consists of village complexes with multiple domestic activity areas containing bedrock mortars and slicks, rock art in the form of pictographs and cupules, ceremonial areas, and other features that represent everyday activities of tribal culture. This particular property, however, has no tangible cultural and/or tribal cultural resources. Although no specific physical Tribal Cultural Resources were identified Pechanga expressed concerns that the project has the potential for as yet unidentified subsurface tribal cultural resources. The tribes request that a Native American monitor be present during ground disturbing activities so any unanticipated finds will be handled in a timely and culturally appropriate manner. Pechanga concurred with the Conditions of Approval and consultation was concluded.

Based on the results of tribal consultation, there is no potential significant impact to Tribal Cultural Resources as defined in Section 21074 of the Public Resources Code because there are no physical Tribal Cultural Resources present.

The project will be required to adhere to State Health and Safety Code Section 7050.5 in the event that human remains are encountered and by ensuring that no further disturbance occur until the County Coroner has made the necessary findings as to origin of the remains. Furthermore, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. This is State Law and a standard condition of approval and is not considered a mitigation measure for the purposes of this project.

CEQA requires the Lead Agency to address any unanticipated cultural resources discoveries during Project construction. Therefore, a condition of approval that dictates the procedures to be followed should any unanticipated cultural resources be identified during

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

ground disturbing activities has been placed on this project. This is a standard condition of approval and is not considered a mitigation measure for the purposes of this project.

- b) Refer to Item 39.a above. All mitigation measures and COAs previously identified would also apply to this criterion to reduce potential impacts to less than significant for the reasons previously identified.

Findings of Fact: Impacts would be less than significant with the incorporated mitigation

Mitigation: Refer to Section 9 for Mitigation Measures and COAs that would also apply as mitigation and COAs for Tribal Cultural Resources.

Monitoring: Monitoring will be conducted by qualified archaeologists and tribal representatives as identified in the Mitigation Measures and COAs.

UTILITIES AND SERVICE SYSTEMS Would the project:				
40. Water				
a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Project Application Materials; letter by Eastern Municipal Water District, SAN 53-WS20220000754 – APN: 317-260-016, 016, dated June 3, 2022 and letter by Southern California Edison, dated May 9, 2022 (Appendix K).

- a) Domestic water and sewer service for the Project area is provided by the Eastern Municipal Water District (EMWD). The EMWD issued a “will serve” letter to the Project Applicant dated June 3, 2022 indicating that the District has capacity to provide both waster and sewer service to the Proposed Project within EMWD’s existing facility abilities. Because the Proposed Project’s connection to EMWD’s existing facilities will occur within existing roadways and rights of way and stormwater will be contained on site, the Project does not require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects. Impacts would be less than significant. Impacts would be less than significant.
- b) The EMWD reviewed the Proposed Project’s water needs in light of project water demands in its Urban Water Management Plan and issued a “will serve” letter to the Project Applicant for domestic water service on June 3, 2022. Therefore, there are sufficient water supplies available to serve the Proposed Project and reasonably foreseeable future development during normal, dry, and multiple dry years. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
41. Sewer				
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Department of Environmental Health Review; letter by Eastern Municipal Water District, SAN 53-WS20220000754 – APN: 317-260-016, 016, dated June 3, 2022 (Appendix K).

- a) Domestic sewer service for the Project area is provided by the EMWD. Project improvements include installation of approximately 1,250 linear feet of sewer main to connect with the existing main, easterly of the Project Site, at the intersection of Water Street and Harvill Ave. The new 8-inch line will be installed in the Water Street right of way to the existing EMWD sewer manhole located at Harvill Avenue intersection (westerly side of the street). Sewer connection fees will be paid by the Project owner that will help pay a prorated portion of cumulative connection impacts to the wastewater treatment facilities. Because the sewer connection will occur within existing roadways and rights of way, the Proposed Project will not require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects. Impacts would be less than significant and no mitigation is required.
- b) The EMWD issued a “will serve” letter to the Project Applicant for sewer service on June 3, 2022 that indicated it had capacity to serve the Proposed Project within its existing facility abilities. Therefore, the Proposed Project will not result in a determination by the wastewater treatment provider that serves the project that it has adequate capacity to serve the projected demand in addition to the provider's existing commitments. Impacts would be less than significant and no mitigation is required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

42. Solid Waste				
a) Generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- a) Solid waste generated within the planning area is primarily transferred to the Riverside County Waste Management Department's (RCWMD) Badlands Landfill, located approximately 1.5 miles north of SR-60 near Ironwood Ave and Theodore Street. However, the County's waste hauler can also use other County landfills in the area such as the Lamb Canyon Landfill and El Sobrante landfill. All Riverside County landfills are Class III disposal sites permitted to receive non-hazardous municipal solid waste. Waste Management of Inland Empire currently provides waste pickup in Project area. The intention of the goals, policies, and land use map of the County's General Plan is that the Project Site and surrounding parcels be used for residential and other permitted purposes. The Proposed Project is consistent with the designated land use and waste generated has therefore been accounted for in the County's long-range plans for waste management and landfill capacity. As such, the County's solid waste handling infrastructure has sufficient capacity to serve solid waste generated by the Proposed Project.

The Proposed Project would generate construction waste during building construction, and general solid waste during operations. As noted above, the Proposed Project's waste generation would be handled by the local waste hauler and sufficient capacity would exist at the local County landfills. Therefore, the Project will not generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals. Impacts would be less than significant and no mitigation is required.

- b) The Countywide Integrated Waste Management Plan (CIWMP) was prepared in accordance with the California Integrated Waste Management Act of 1989, Chapter 1095 (AB 939). AB 939 requires each of the cities and unincorporated portions of counties throughout the state to divert a minimum of 25% by 1995 and 50% of the solid waste landfilled by the year 2000. Riverside County reports to the State indicate that the County is in compliance with the AB 939 goals. The County's private waste hauler provides contractors separate bins where construction waste can be separated for disposal from regular trash, which is typically required by waste haulers for construction projects to ensure proper recycling and disposal of construction debris. During operations, the Proposed Project would be required to comply with the County's recycling regulations where separate bins for recyclable materials will be placed and handled separately by the waste hauler. Therefore, the Proposed Project will comply with federal, state, and local management and reduction statutes and regulations related to solid waste including the CIWMP. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

43. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Project Application Materials, Utility Companies, Appendix K.

- a) Electricity: Development of the Proposed Project would cause a permanent increase in demand for electricity when compared to existing conditions. Information from the CalEEMod 2020.4.0 Daily and Annual Outputs contained in the Air Quality Impact study (Appendix A-1) was utilized to generate estimates of the Project’s electricity, natural gas, and fuel consumption for construction and operational aspects of the Project. Electricity used for the Project during construction and operations would be provided by Southern California Edison (SCE), which serves more than 15 million customers. The increased demand is expected to be sufficiently served by existing SCE electrical facilities, however the Applicant received a letter from SCE (dated May 9, 2022 refer to Appendix K) indicating the company “will serve” the Project and will review the project to determine the required electrical utility work. There are currently overhead power lines and related easements on Water Street. All of these lines will remain overhead in coordination with Southern California Edison. Impacts would be less than significant and no mitigation is required.
- b) Natural Gas: The Project is designed to solely rely on electricity for all services, and no natural gas would be used. There would be no impact on natural gas services and no mitigation is required.
- c) Communications Systems: Existing overhead telephone and cable TV cables will remain in their current location to serve the Project. Impacts would be less than significant and no mitigation is required.
- d) Street Lighting: The County will require street lighting along the project frontage as a standard condition of approval. The streetlights will be consistent with the County of Riverside standards. Impacts would be less than significant and no mitigation is required.
- e) Public Facilities: Water Street and Tobacco Avenue will be widened and re-paved with a new curb and gutter and sidewalk on the easterly side for its full length along the Project frontages. Curb cuts with accessible pedestrian crossings will be constructed on the north side of Water Avenue at the intersection with Tobacco Road. Land is being dedicated to the County to facilitate these improvements to public facilities. These features will be maintained by the County, but they will be designed and constructed to County standards which facilitates proper maintenance. Impacts would be less than significant and no mitigation is required.
- f) Government Services: There will be no government services that need to be constructed as part of, or to serve the Proposed Project. There would be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
WILDFIRE If located in or near a State Responsibility Area (“SRA”), lands classified as very high fire hazard severity zone, or other hazardous fire areas that may be designated by the Fire Chief, would the project:				
44. Wildfire Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan Figure S-11 “Wildfire Susceptibility”, GIS database, Project Application Materials.

- a) The California Fire Hazard Severity Zone Mapping, the County of Riverside GIS database, and the County General Plan Figures show that the Project Site is not within a High Fire Severity Zone. The area west of Tobacco Road is mapped as within a “Very High” Fire Hazard Severity Zone. The County of Riverside utilizes a Multi-Jurisdictional Local Hazard Mitigation Plan that identifies risks by natural and human-made disasters and ways to minimize the damage from those disasters.

During construction, all activities will occur on the Project Site. Road improvements may temporarily block full access to Water Street and Tobacco Road, but such closures would be in accordance with all local and State guidelines to allow for emergency access. For Proposed Project operations, the Riverside County Department of Building and Safety and the RCFD enforce fire standards as they review building plans and conduct building inspections. This includes a review for compliance with Riverside County Ordinance No. 787, which requires, among other measures, the County to review all future building plans to ensure that every building is positioned in a way that allows adequate access for emergency. Therefore, impacts would be less than significant and no mitigation is required.

- b) The Project area is primarily flat, and a rock outcropping is located west of the Project Site, west of Tobacco Road. The Riverside County General Plan Figure S-11 classifies the Project area as Other Areas, as no wildfire susceptibility rating has been identified for the Project Site.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Construction

While the Project Site is not identified as being within a high fire risk area, the vacant area immediately adjacent to the Project Site on the west, along Tobacco Road, is identified as having a high fire risk, though this area primarily consists of rocks and boulders, as well as small dry, weedy vegetation. The National Weather Service issues Red Flag Warnings & Fire Weather Watches to alert fire departments of the onset, or possible onset, of critical weather and dry conditions that could lead to rapid or dramatic increases in wildfire activity.

A Red Flag Warning is issued for weather events which may result in extreme fire behavior that will occur within 24 hours. A Fire Weather Watch is issued when weather conditions could exist in the next 12-72 hours. A Red Flag Warning is the highest alert. During these times extreme caution is urged by all residents, because a simple spark can cause a major wildfire. A Fire Weather Watch is one level below a warning, but fire danger is still high.

The contractor must submit a fire safety practices and procedures document for welding and the use of various equipment, consistent with OSHA General Industry Standards. The procedures must include procedures for routinely checking weather reports, requiring fire suppression equipment to be functional and maintained on site at all times, emergency procedures, and the protocol for suspension of welding operations, outside of a partially or fully constructed building, when a Red Flag warning has been issued by the National Weather Service. Welding inside of a partially or fully constructed warehouse would be authorized.

Operations

The Project is subject to compliance with the 2023 California Building Code (or the most current version) and the 2022 edition of the California Fire Code (Part 9 of Title 24 of the California Code of Regulations, or most current version). Compliance with these regulations would reduce impacts of wildfire risks to Project occupants including, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire. Impacts would be less than significant.

- c) Implementation of the Proposed Project would not require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment. Impacts would be less than significant.
- d) The Project Site is not within a High Fire Hazard Severity Zone and there is no indication of landslides, slumps, rock fall hazard, debris flow or slope instability surrounding the Project Site. The Project Site and surrounding area are flat with no steep slopes. As the Project Site and vicinity are not within a wildfire hazard zone, wildfire hazards are not anticipated to occur. The Project would not expose people or structures to downslope flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes. Therefore, there would be no impacts.
- e) The Project Site is not within a High Fire Hazard Severity Zone. The Project would be constructed to comply with the 2023 California Building Code (or the most current version) and the 2020 edition of the California Fire Code (Part 9 of Title 24 of the California Code of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Regulations). Therefore, the Project would not expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires. Impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required. None.

MANDATORY FINDINGS OF SIGNIFICANCE Does the Project:

45. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self- sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	-------------------------------------	--------------------------	--------------------------

Source(s): Staff Review, Project Application Materials

Findings of Fact: The Project Site is vacant, contains no drainages, and complies with the Western Riverside Multiple Species Habitat Conservation Plan. The site contains suitable habitat for burrowing owl and nesting birds, although none were identified on site. However, implementation of **Mitigation Measure BIO-1** and **BIO-2** will reduce potential impacts to burrowing owl and nesting birds during construction by conducting a pre-construction survey and implementing the appropriate mitigation measures, if found. Implementation of the Project will not substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self- sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal.

The portion of Project Site slated for development does not contain examples of the major periods of California history or prehistory. Implementation of **Mitigation Measures CUL-1, Mitigation Measure CUL-2, and Mitigation Measure CUL-3**, along with Conditions of Approval (060 - Planning CUL.1, 060 - Planning CUL.2, 060 - Planning CUL. 3, 070-Planning CUL.2, and 070-Planning CUL.2) will manage unanticipated discoveries through implementation of extensive monitoring, reporting and inspection required procedures to reduce impacts to potential cultural resources and will reduce impacts to less than significant levels.

Thus, the Proposed Project will not degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self- sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or an endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. Therefore, impacts are less than significant with mitigation incorporated.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>46. Have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Staff Review, Project Application Materials

Findings of Fact: The environmental analysis conducted in this Initial Study determined that the Proposed Project is consistent with the County's General Plan land use and zoning projections. The land use has been considered with overall County growth. The analysis demonstrated that the Project is in compliance with federal, State, and County applicable regulations. There are no other projects planned for the Project vicinity that would be considered cumulatively considerable. Therefore, the Project would not create impacts, that considered with the effects of other past, present, and probable future projects, would be cumulatively considerable because Project impacts were either determined to have no impact or to be less than significant.

<p>47. Have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	-------------------------------------	--------------------------	--------------------------

Source(s): Staff Review, Project Application Materials

Findings of Fact: The Project is required to comply with a number of Project-specific mitigation measures that are identified throughout this document to ensure that the Project's environmental effects will have a less than significant effects on human beings, either directly or indirectly. These mitigation measures are summarized as follows:

Therefore, with mitigation incorporated, the Proposed Project would not directly or indirectly cause substantial adverse effects on human beings.

V. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). There was no earlier analyses, therefore, this is not applicable.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

LIST OF APPENDICES

- Appendix A-1 *Thrifty Oil Warehouse, Air Impact Analysis*, dated May 17, 2022, prepared by Urban Crossroads
- Appendix A-2 *Thrifty Oil Warehouse Mobile Source Health Risk Assessment*, dated May 17, 2022, prepared by Urban Crossroads
- Appendix B-1 *Thrifty Oil Commercial Development Plot Plan No. 2200047, General Biological Assessment, Riverside County, California*, dated February 14, 2024, prepared by Natural Resources Assessment
- Appendix B-2 *Thrifty Oil Commercial Development HANS220027 Burrowing Owl Breeding Season Surveys Report, Riverside County, California*, dated February 14, 2024, prepared by Natural Resources Assessment
- Appendix B-3 *Thrifty Oil Commercial Development HANS220027, HANS Analysis, Riverside County, California*, dated February 14, 2024, prepared by Natural Resources Assessment
- Appendix C *Cultural Resources Assessment for 23682 Water Street, Riverside County*, April 24, 2023, prepared by Tierra Environmental Services (with Advisory Notification Document, PPT220047, County of Riverside Transportation and Land Development Agency, April 26, 2023)
- Appendix D *Thrifty Oil Warehouse, Greenhouse Gas Analysis, Riverside County*, May 4, 2023, prepared by Urban Crossroads
- Appendix E-1 *Geotechnical Engineering Exploration and Analysis Proposed Commercial Tilt-up Building 23628 Water Street Perris, CA*, March 26, 2022, prepared by Geo Environmental Resources
- Appendix E-2 Response to County Geologic Report Review, January 30, 2024 Letter from Geo Environmental Resources Inc.
- Appendix E-3 Western Science Center March 22, 2023 Letter from Western Science Center
- Appendix F-1 *Phase 1 Environmental Site Assessment for the 8.72 Acre Property, 23682 Water Street, Perris, California 92570*, March 5, 2022, prepared by Waterstone Environmental, Inc
- Appendix F-2 Report by Waterstone Environmental, Inc. titled *Report of Agricultural Crops on 8.72 Acre Property at 23682 Water Street, Perris, California 92570*, November 20, 2023
- Appendix G Airport Land Use Commission (ALUC) Development Review ZAP1550MA22 for PPT220047, dated January 12, 2023, letter prepared by Airport Land Use Commission, Riverside County
- Appendix H-1 *Hydrology Study for Thrifty Oil-Perris Industrial*, February 17, 2023, prepared by Armstrong & Brooks Consulting Engineers
- Appendix H-2 *Project Specific Water Quality Management Plan*, February 23, 2023, prepared by Armstrong & Brooks Consulting Engineers
- Appendix I *Thrifty Oil Warehouse, Noise Impact Analysis*, April 12, 2023, prepared by Urban Crossroads
- Appendix J-1 *Scoping Agreement for Traffic Impact Study*, April 28, 2022, prepared by Urban Crossroads
- Appendix J-2 *Thrifty Oil Vehicle Miles Traveled (VMT) Screening Evaluation*, May 24, 2022, prepared by Urban Crossroads
- Appendix J-3 *Focused Traffic Assessment*, February 25, 2024, prepared by Urban Crossroads
- Appendix K Will Serve Letters from Utilities

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

LIST OF EXHIBITS

- Figure 1 – Regional Location
- Figure 2 – Project Site - Aerial View
- Figure 3 – Project Site - USGS View
- Figure 4 – Site Plan
- Figure 5 – Building Elevations and Profiles
- Figure 6 – Landscaping Plan
- Figure 7 – Photometric Plan
- Figure 8 – Off-Site Improvements
- Figure 9 - Project Site Zoning
- Figure 10 – Environmental Justice Communities

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

SUMMARY OF MITIGATION MEASURES

Mitigation Measure	Monitoring Method
<p>BIO-1: A preconstruction survey shall be conducted within 30 days prior to ground disturbance to avoid direct take of burrowing owls. If burrowing owls are found to be present or nesting on-site during the preconstruction survey, then the following recommendations must be adhered to: Exclusion and relocation activities may not occur during the breeding season, which is defined as March 1 through August 31, with the following exception: From March 1 through March 15 and from August 1 through August 31 exclusion and relocation activities may take place if it is proven to the County and appropriate regulatory agencies (if any) that egg laying or chick rearing is not taking place. Any relocation activities cannot occur without first consulting with the CDFW, and any relocation would be conducted in accordance with the conditions set forth by the CDFW. The pre-construction survey must be conducted by a qualified biologist; any relocation activities would be undertaken by a qualified biologist as approved by the CDFW.</p>	<p>A qualified biologist will conduct the pre-construction surveys as identified in the mitigation measure.</p>
<p>BIO-2: Bird nesting season generally extends from February 1 through September 15 in southern California and specifically, April 15 through August 31 for migratory passerine birds. To avoid impacts to nesting birds (common and special status) during the nesting season, a qualified Avian Biologist shall conduct pre-construction Nesting Bird Surveys (NBS) at least three (3) days prior to project-related disturbance to nestable vegetation to identify any active nests. If no active nests are found, no further action is required. If an active nest is found, the qualified Avian Biologist shall set appropriate no-work buffers around the nest which will be based upon the nesting species, based on the individual species type, its sensitivity to disturbance, nesting stage and expected types of nest, and the intensity and duration of disturbance. The nests and buffer zones shall be field checked weekly by a qualified biological monitor. The approved no-</p>	<p>A qualified biologist will conduct the pre-construction surveys as identified in the mitigation measure.</p>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation Measure	Monitoring Method
<p>work buffer zone shall be clearly marked in the field, within which no disturbance activity shall commence until the qualified biologist has determined the young birds have successfully fledged and the nest is inactive.</p>	
<p>CUL-1: Planning-CUL. 2 PDA 8323 Accepted. County Archaeological Report (PDA) No. 8323 submitted for this project (PPT220047) was prepared by Tierra Environmental Services and is entitled: "Cultural Resources Assessment for 23682 Water Street, Riverside County, California" dated April 24, 2023.</p> <p>PDA 8323 concludes: Based on the Project environment and the archival research the parcel has a potential for subsurface cultural resources. However, no cultural resources were identified during the current investigation. Since no resource has been previously recorded or observed during the pedestrian survey, and based on the data collected during this investigation, the proposed project would not adversely affect any known significant resources.</p> <p>Due to the potential for intact subsurface cultural resources and the potential for cultural resources within a one-mile area, archaeological monitoring is recommended for the proposed Project.</p> <p>These documents are herein incorporated as a part of the record for project.</p>	<p>The Project Cultural Report will be kept as part of the Project record.</p>
<p>CUL-2: Planning-CUL. 3 Unanticipated Resources. The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources are discovered, the following procedures shall be followed:</p> <p>All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the Project archaeologist shall call the County Archaeologist immediately upon</p>	<p>A qualified archaeological monitor, in coordination with a tribal monitor, will monitor grading activities and provide a report to the County upon completion.</p>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation Measure	Monitoring Method
<p>discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist, the Native American tribal representative, and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.</p> <p>Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.</p> <p>* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other.</p> <p>** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.</p>	
<p>CUL-3 Planning-CUL-1. Human Remains. If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5</p>	
<p>060 - Planning-CUL. 1 ECS sheet Resource reburial area (if needed). Prior to issuance of grading permits: the developer/ applicant shall provide evidence to the Riverside County Planning Department that an Environmental Constraints Sheet has been included in the Grading Plans. This sheet shall indicate an area that will be used, if needed, for reburial of any artifacts that have been identified during grading and cannot be avoided. This area will be protected and not disturbed in the future. This is confidential information and the exact</p>	

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation Measure	Monitoring Method
<p>nature of this area will not be called out on the grading plans.</p>	
<p>060 - Planning-CUL. 2 Native American Monitor. Prior to the issuance of grading permits, the developer/permit applicant shall enter into an agreement with the consulting tribe(s) for a Native American Monitor. The Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.</p> <p>The developer/permit applicant shall submit a fully executed copy of the agreement to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition.</p> <p>This agreement shall not modify any condition of approval or mitigation measure.</p>	<p>A qualified archaeological monitor, in coordination with a tribal monitor, will monitor grading activities and provide a report to the County upon completion</p>
<p>060 - Planning-CUL. 3 Project Archaeologist. Prior to issuance of grading permits: The Applicant/Developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program (CRMP). A Cultural Resource Monitoring Plan shall be developed that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this project. A fully executed copy of the contract and a wet-signed</p>	

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation Measure	Monitoring Method
<p>copy of the Monitoring Plan shall be provided to the County Archaeologist to ensure compliance with this condition of approval.</p> <p>Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The frequency and location of inspections will be determined by the Project Archaeologist.</p>	
<p>070 - Planning-CUL. 1 Artifact Disposition. Prior to Grading Permit Final Inspection, the landowner(s) shall relinquish ownership of all cultural resources that are unearthed on the Project property during any ground-disturbing activities, including previous investigations and/or Phase III data recovery. Historic Resources- all historic archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), shall be curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources ensuring access and use pursuant to the Guidelines.</p> <p>Prehistoric Resources- One of the following treatments shall be applied.</p> <p>a. Reburial of the resources on the Project property. The measures for reburial shall include, at least, the following: Measures to protect the reburial area from any future impacts. Reburial shall not occur until all required cataloguing, analysis and studies have been completed on the cultural resources, with an exception that sacred</p>	

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation Measure	Monitoring Method
<p>items, burial goods and Native American human remains are excluded. Any reburial processes shall be culturally appropriate. Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request.</p> <p>b. If reburial is not agreed upon by the Consulting Tribes then the resources shall be curated at a culturally appropriate manner at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources ensuring access and use pursuant to the Guidelines. The collection and associated records shall be transferred, including title, and are to be accompanied by payment of the fees necessary for permanent curation. Evidence of curation in the form of a letter from the curation facility stating that subject archaeological materials have been received and that all fees have been paid, shall be provided by the landowner to the County. There shall be no destructive or invasive testing on sacred items, burial goods and Native American human remains.</p>	
<p>070 - Planning-CUL. 2 Phase IV Monitoring Report. Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department’s requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during</p>	

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation Measure	Monitoring Method
<p>the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Management Plan.</p>	
<p>PAL-1: Prior to the issuance of grading permits, the Applicant shall provide a letter to the County of Riverside Planning Department, or designee, from a professional paleontologist, stating that a qualified paleontologist has been retained to provide services for the Project. The paleontologist will monitor all site preparation activities that involve excavations that extend down into older Pleistocene-aged deposits. In the event paleontological resources are encountered, ground disturbing activity within 50 feet of the area shall cease. The paleontologist shall examine the materials encountered, assess the nature and extent of the find, and recommend a course of action to further investigate and protect or recover and salvage those resources that have been encountered.</p>	<p>Monitoring during is required during ground disturbance in the event paleontological resources are encountered.</p>