



Ararat Homes Residential Care and Nursing Facility Project

Cultural Resources Assessment Report

prepared for

Ararat Home of Los Angeles
15105 Mission Hills Road
Los Angeles, California 91345

prepared by

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Executive Summary

Purpose and Scope

Ararat Home of Los Angeles, Inc. (Ararat Home) retained Rincon Consultants, Inc. (Rincon) to prepare an Initial Study (IS) for the proposed Ararat Home Residential Care and Nursing Facility Project (project), located off Mission Hills Road in the City of Los Angeles' Mission Hills Community Plan Area (CPA). The proposed project includes the redevelopment of four Los Angeles County Assessor's parcels (assessor parcel numbers [APNs] 2664-022-018, 2664-022-019, 2664-022-008 and 2664-022-009) to accommodate expansion of the existing Ararat Home facility, located adjacent to the project site at 15105 Mission Hills Road. The project would result in the demolition of all buildings and features within the project site and its redevelopment to serve as a residential care and nursing facility. Redevelopment would consist of an upper campus comprised of several residential buildings and a lower campus containing a skilled nursing facility.

The purpose of this study, which is prepared in support of the IS, is to identify cultural resources that have the potential to be impacted by the proposed project. It includes searches of the California Historical Resources Information System (CHRIS) and the Native American Heritage Commission (NAHC) Sacred Lands File (SLF), Native American outreach, archaeological and built environment field surveys of the project site, background and archival research, and evaluation of two properties within the project site for listing in the National Register of Historic Places (NRHP), California Register of Historical Resources (CRHR), and for designation as City of Los Angeles Historic Cultural Monuments (HCMs) or Historic Preservation Overlay Zone (HPOZ) contributors.

The proposed project is subject to the California Environmental Quality Act (CEQA) with the City of Los Angeles serving as the lead agency. The current study complies with Public Resources Code (PRC) §5024.1, Section 15064.5 of the Guidelines, and Sections 21083.2 and 21084.1 of the Statutes of CEQA (Governor's Office of Planning and Research 1998). PRC §5024.1 requires the identification and evaluation of historical resources that may be affected by a project. This report was prepared in accordance with Chapter 9, Division 22 (Cultural Heritage Ordinance 2018) of the Los Angeles Administrative Code and the current requirements for historic resource assessments as defined by the City of Los Angeles Office of Historic Resources (OHR).

Dates of Investigation

The CHRIS search summarized in this study was performed at the South Central Coastal Information Center (SCCIC) on March 20, 2018. SLF searches were conducted on March 30, 2018 and January 12, 2021. Native American outreach was performed throughout April 2018 and in late January and throughout February 2021. Archaeological and built environment field surveys of the project site were conducted on April 3 and 10, 2018. The background and archival research and historic evaluations were completed in late March/early April 2018 and early February 2021. This report was updated to account for minor changes and updates to project design in September 2023.

Summary of Findings

Archaeological Resources

The project site is located approximately 0.5 mile north of Mission San Fernando. The CHRIS search identified five cultural resources, including three historic period resources associated with the mission, that have been previously recorded within a 0.50-mile radius of the project site; none of these resources are located within the project site. Due to the presence of Mission San Fernando approximately 0.5 mile to the south and three previously recorded Mission-related resources within 0.50-mile of the project site, the project site is considered sensitive for historic-period archaeological resources. The 2018 SLF search conducted for this study returned negative results; however, a SLF search conducted in 2021 was positive. Additionally, during the Native American outreach conducted for the study in 2018 and 2021, Native American contacts identified the project site as culturally sensitive. In addition, the 2018 outreach resulted in a request for Native American monitoring during project-related development within previously undisturbed areas. Although the pedestrian archaeological survey conducted for this study was negative, the project site is considered sensitive for archaeological resources due to its proximity to the mission.

As a result of the information summarized above, Rincon recommends a CEQA finding of ***less than significant impact to archaeological resources with mitigation incorporated***. The Following Mitigation Measures (CUL-1 Worker’s Environmental Awareness program and CUL-2 Cultural Resources Monitoring) are recommended. Additionally, the following best management practices (Discovery of Cultural Resources and Unanticipated Discovery of Human Remains) are recommended in the event of the discovery of cultural resources or human remains during project construction.

Mitigation Measures

WORKER’S ENVIRONMENTAL AWARENESS PROGRAM

A Worker’s Environmental Awareness Program (WEAP) training on archaeological sensitivity shall be conducted by a qualified archaeologist meeting the Secretary of the Interior’s Professional Qualification Standards for archaeology (National Park Service 1983) and a Native American representative for all construction personnel prior to the commencement of any ground disturbing activities. The WEAP training shall include a description of the types of cultural material that may be encountered, cultural sensitivity issues, the regulatory environment, and, in the event of a discovery, the proper protocol for treatment of the materials. Attendees shall include construction supervisors, equipment operators, Ararat Homes, and City of Los Angeles staff to ensure that all parties understand their respective roles and responsibilities. Attendees shall fill out a sign-in sheet acknowledging that they received the WEAP training.

CULTURAL RESOURCES MONITORING

A qualified archaeologist and Native American representative shall observe ground-disturbing activities up to five feet below the surface of native intact soil, unless there is evidence to suggest cultural resources extend below the specified depth. Ground disturbing activities include, but are not limited to, tree/shrub removal and planting, clearing/grubbing, grading, excavation, trenching, drainage and irrigation removal and installation, and archaeological work. If cultural resources are encountered, the qualified archaeologist and Native American representative shall have the

authority to request ground disturbing activities cease within 50 feet of the discovery to assess and document potential finds. After approximately 50 percent of initial ground-disturbing activities have been completed, the qualified archaeologist and Native American representative shall discuss with Ararat Homes and City of Los Angeles staff the potential to reduce the level of cultural resources monitoring to “spot monitoring” or even to cease cultural resources monitoring based on the condition and types of soil observed during monitoring and the monitoring results to date.

Best Management Practices

UNANTICIPATED DISCOVERY OF CULTURAL RESOURCES

In the event that archaeological resources are unexpectedly encountered during ground-disturbing activities, work within 50 feet of the find shall halt and an archaeologist meeting the Secretary of the Interior’s Professional Qualifications Standards for archaeology (National Park Service 1983) shall be contacted immediately to evaluate the resource. If the resource is determined by the qualified archaeologist to be prehistoric, then a Native American representative shall also be contacted to participate in the evaluation of the resource. If the qualified archaeologist and/or Native American representative determines it to be appropriate, archaeological testing for CRHR eligibility shall be completed. If the resource proves to be eligible for the CRHR and significant impacts to the resource cannot be avoided via project redesign, a qualified archaeologist shall prepare a data recovery plan tailored to the physical nature and characteristics of the resource, per the requirements of the California Code of Regulations (CCR) Guidelines Section 15126.4(b)(3)(C). The data recovery plan shall identify data recovery excavation methods, measurable objectives, and data thresholds to reduce any significant impacts to cultural resources related to the resource. Pursuant to the data recovery plan, the qualified archaeologist and Native American representative, as appropriate, shall recover and document the scientifically consequential information that justifies the resource’s significance. The City shall review and approve the treatment plan and archaeological testing as appropriate, and the resulting documentation shall be submitted to the regional repository of the California Historical Resources Information System, per CCR Guidelines Section 15126.4(b)(3)(C).

UNANTICIPATED DISCOVERY OF HUMAN REMAINS

In the unlikely event of an unexpected discovery of human remains, all ground-disturbing activities in the vicinity of the discovery will be immediately suspended and redirected elsewhere. All steps required to comply with State of California Health and Safety Code Section 7050.5 and Public Resources Code Section 5097.98 including contacting the Los Angeles County Coroner will be implemented. If the human remains are determined to be prehistoric, the coroner will notify the NAHC, which will determine and notify a most likely descendant (MLD). The MLD shall complete an inspection of the site and provide recommendations for treatment to the landowner within 48 hours of being granted access.

Built Environment Resources

This study identified the presence of properties featuring historic-period development at 15151 and 15155 Mission Hills Road, within the project site. These two properties were recorded on California Department of Parks and Recreation 523 Series forms (DPR forms) and evaluated for historical significance. As a result of this study, 15151 and 15155 Mission Hills Road are recommended ineligible for listing in the NRHP, CRHR and for local designation and therefore, are not considered historical resources for the purposes of CEQA.

Ararat Homes Residential Care and Nursing Facility Project

The background research conducted for this study identified one SurveyLA identified resource in the immediate vicinity of the proposed project site, Eden Memorial Park Cemetery, located adjacent (to the west) of the proposed project site. All potential impacts associated with construction of the proposed project are anticipated to be temporary in nature and will not result in permanent impacts to Eden Memorial Park Cemetery. While the proposed project will introduce several buildings to the vicinity of Eden Memorial Park Cemetery, the property that encompasses the potential resource is expansive and overall, its setting, which includes development such as Interstate (I) 405, would not be significantly altered by the proposed project.

As a result of the information summarized above, Rincon recommends a CEQA finding of ***less than significant impact to historical resources.***

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1 Introduction

Ararat Home of Los Angeles, Inc. (Ararat Home) retained Rincon Consultants, Inc. (Rincon) to prepare an Initial Study (IS) for the proposed Ararat Home Residential Care and Nursing Facility Project (project), located off Mission Hills Road in Los Angeles' Mission Hills Community Plan Area (CPA). The proposed project includes the redevelopment of four Los Angeles County Assessor's parcels (assessor parcel numbers [APNs] 2664-022-018, 2664-022-019, 2664-022-008 and 2664-022-009) to accommodate expansion of the existing Ararat Home facility, located adjacent to the project site at 15105 Mission Hills Road.

The purpose of this study, prepared in support of the IS-MND, is to identify cultural resources that have the potential to be impacted by the proposed project. It includes searches of the California Historical Resources Information System (CHRIS) and the Native American Heritage Commission (NAHC) Sacred Lands File (SLF), Native American outreach, archaeological and built environment surveys of the proposed project site, background and archival research, and evaluation of two properties within the project site for listing in the National Register of Historic Places (NRHP), California Register of Historical Resources (CRHR), and for local historic designation as City of Los Angeles Historic Cultural Monuments (HCMs) and Historic Preservation Overlay Zone (HPOZ) contributors. The proposed project is subject to the California Environmental Quality Act (CEQA) with the City of Los Angeles serving as the lead agency.

1.1 Project Location and Description

The irregularly shaped, roughly 13 acre project site encompasses the following four contiguously located properties: 15151 Mission Hills Road (APN 2664-022-018) which is approximately 6.83 acres and contains a single-family residence, garage, guesthouse and developed pool area, 15155 Mission Hills Road (APN 2664-022-019) which is approximately 1.07 acres and contains a single-family residence, and two unaddressed parcels (APNs 2664-022-008 and 2664-022-009) which are approximately 3.09 and 1.96 acres respectively and do not contain any built environment features. The project site is located off Mission Hills Road in the Mission Hills CPA. It is approximately 0.25 mile south of the Interstate (I) 5 and 405 interchange (Figure 1 and Figure 2). It is bordered on the south by Mission Hills Road, on the east by Eden Memorial Park, and on the west by the existing Ararat Home Residential Care and Nursing Facility. A large single-family residential property is located north of the project site.

The proposed project encompasses an expansion of the existing Ararat Home Residential Care and Nursing Facility, located adjacent to the project site at 15105 Mission Hills Road. All extant buildings and features located at 15155 and 15151 Mission Hills Road would be demolished and the four properties comprising the project site would be redeveloped with a lower and upper campus that would contain residential and skilled nursing facilities (Figure 3 through Figure 6).

The lower campus would be sited along the project site's southern boundary and would encompass a total building area of approximately 214,500 square feet consisting of two buildings and one subterranean parking structure. Buildings comprising the lower campus would include: a three-story building (maximum height: 57 feet) containing assisted living and memory care units, a three-story building (maximum height: 55 feet) containing skilled nursing in-patient units, and a subterranean

parking structure that would contain approximately 151 vehicular parking spaces as well as two kitchens, offices, laundry areas, and storage and utility rooms.

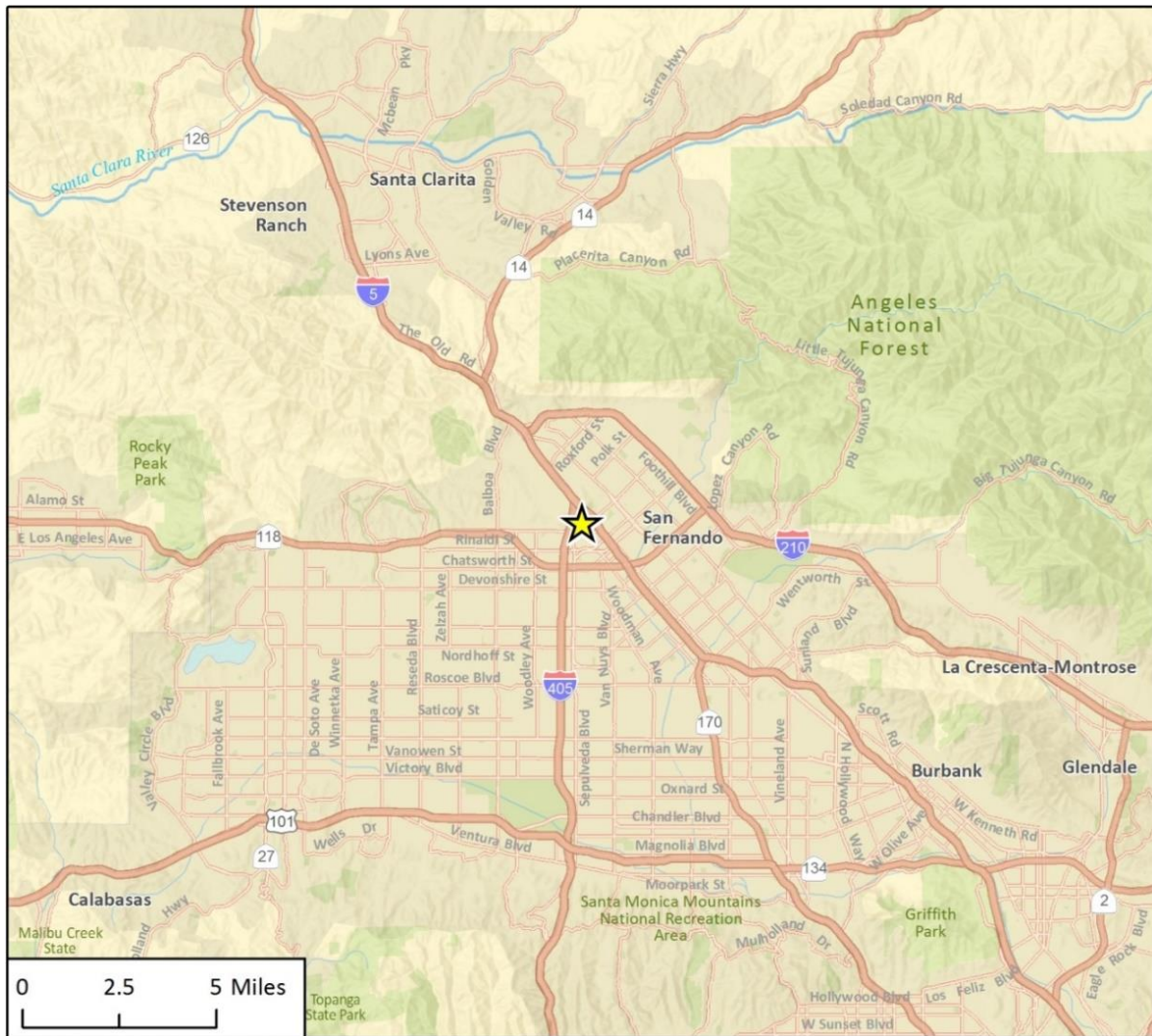
The upper campus would be sited in the north of the project site and would encompass a total building area of approximately 155,000 square feet consisting of an independent living complex with 40 townhomes and 61 apartment units over one level of subterranean parking. The townhomes would be contained in four two-story buildings (maximum height: 27 feet) and the apartment units would be contained in one four-story building (maximum height: 55 feet). The subterranean parking garage, atop which the aforementioned buildings would be constructed, would contain 111 parking spaces.

1.2 Personnel

This study was managed by Rincon Architectural Historian Rachel Perzel, MA, with senior oversight provided by Rincon Principal and Architectural Historian Shannon Carmack. Ms. Perzel performed the built environment field survey, background and archival research, historic evaluation and served as the primary author of this report. Ms. Perzel and Ms. Carmack meet the Secretary of the Interior's Professional Qualification Standards (PQS) for architectural history and history (National Park Service [NPS] 1983). Rincon Senior Archaeologist Ken Victorino, MA, Registered Professional Archaeologist (RPA) acted as principal investigator for the study. Under their direction, Rincon Archaeologist Meagan Szromba, MA, RPA, performed the archaeological field survey and Native American outreach and Rincon Archaeologist Lindsay Porras, MA, RPA, conducted the cultural resources records search summarized here within. Ms. Haas, Mr. Victorino, Ms. Szromba, and Ms. Porras all meet the Secretary of the Interior PQS in archaeology. Rincon GIS Analyst Allysen Valencia and Rincon Graphics Technician Christopher Thomas prepared the figures in the report. This report was reviewed by Ms. Carmack for quality control. Preparer's qualifications are included in Appendix A.

Ararat Home of Los Angeles
Ararat Homes Residential Care and Nursing Facility Project

Figure 1 Project Site Vicinity Map



Imagery provided by Esri and its licensors © 2018.

★ Project Location

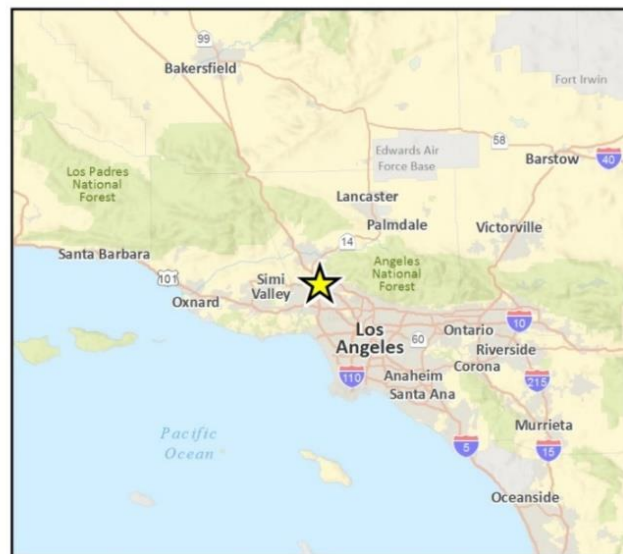


Fig. 3 Regional Location

Figure 2 Project Site Location Map



Figure 3 Proposed Site Plan



Source: Zakian Woo Architects, 2023

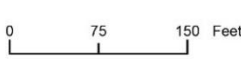
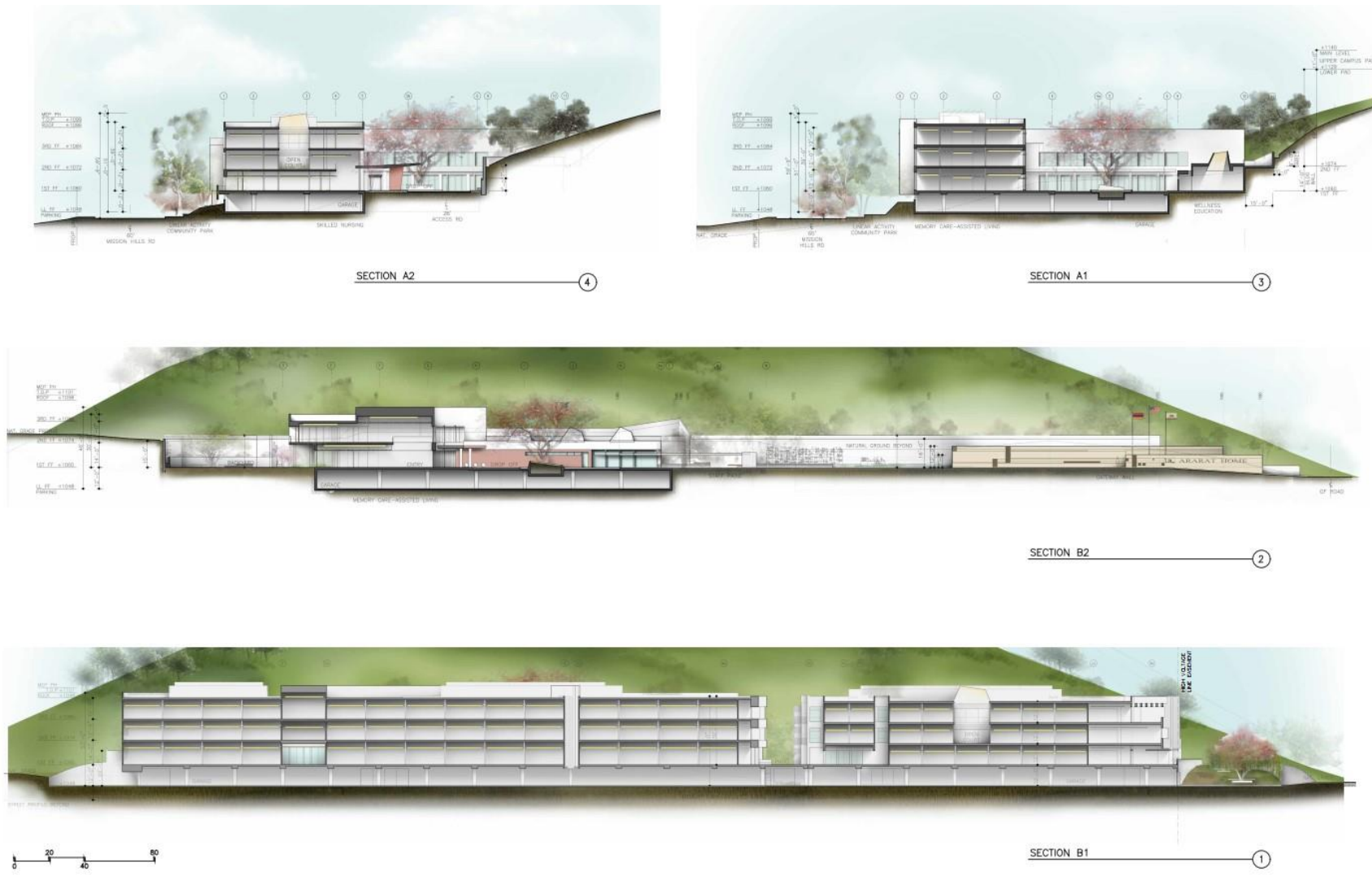


Figure 4 Proposed Lower Campus Elevations



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Figure 5 Proposed Upper Campus South and West Elevations

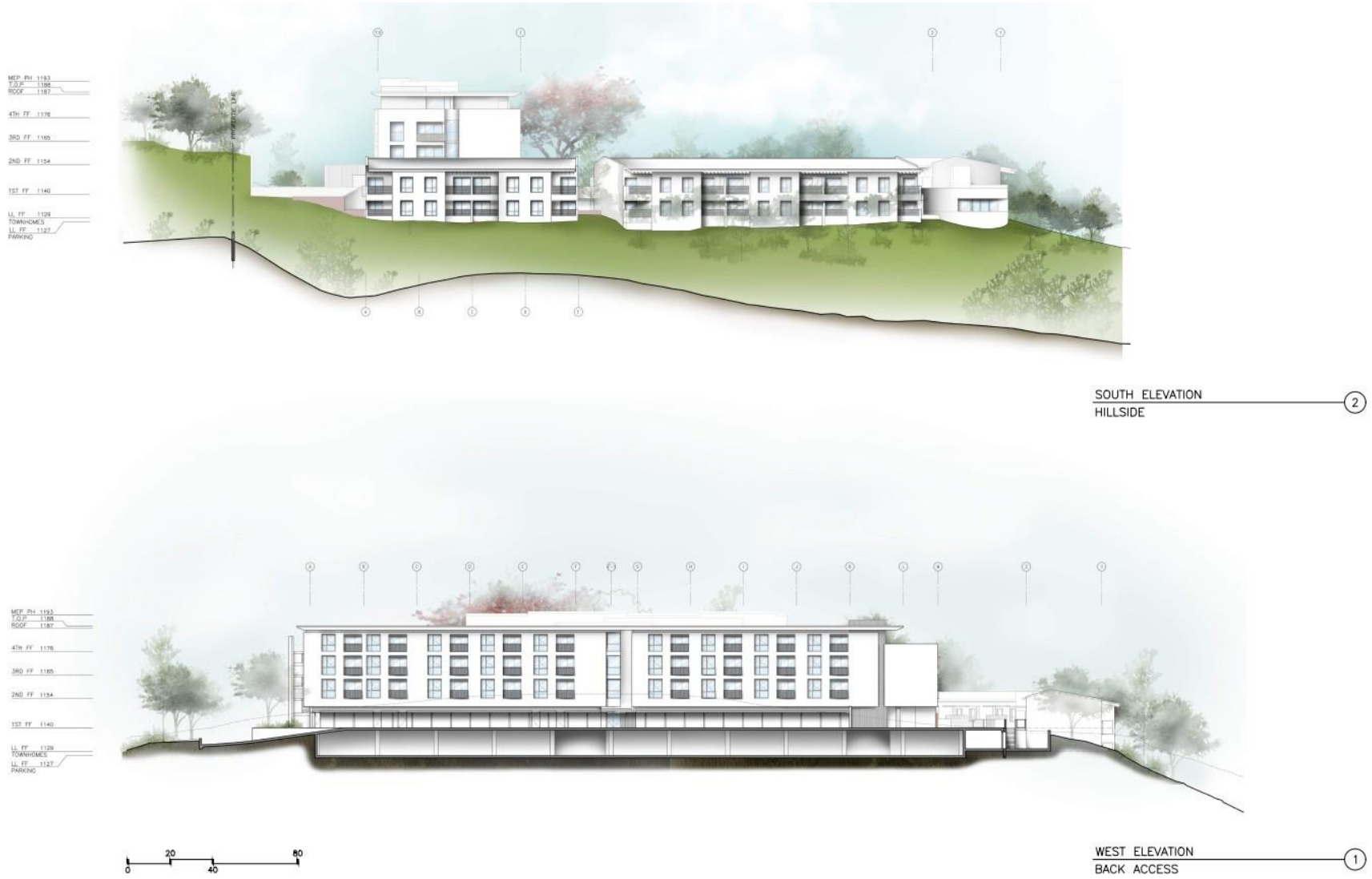


Figure 6 Proposed Upper Campus East and North Elevations



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2 Regulatory Framework

This section includes a discussion of the applicable state and local laws, ordinances, regulations, and standards governing cultural resources, which must be adhered to before and during implementation of the project.

2.1 California Environmental Quality Act

California Public Resources Code (PRC) Section 21084.1 requires lead agencies determine if a project could have a significant impact on historical or unique archaeological resources. As defined in PRC Section 21084.1, a historical resource is a resource listed in, or determined eligible for listing in, the California Register of Historical Resources (CRHR), a resource included in a local register of historical resources or identified in a historical resources survey pursuant to PRC Section 5024.1(g), or any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be historically significant. PRC Section 21084.1 also states resources meeting the above criteria are presumed to be historically or cultural significant unless the preponderance of evidence demonstrates otherwise. Resources listed in the National Register of Historic Places (NRHP) are automatically listed in the CRHR, as are California Historical Landmarks 770 and above; both are therefore historical resources under CEQA. Historical resources may include eligible built environment resources and archaeological resources of the precontact or historic periods.

CEQA Guidelines Section 15064.5(c) provides further guidance on the consideration of archaeological resources. If an archaeological resource does not qualify as a historical resource, it may meet the definition of a “unique archaeological resource” as identified in PRC Section 21083.2. PRC Section 21083.2(g) defines a unique archaeological resource as an artifact, object, or site about which it can be clearly demonstrated that, without merely adding to the current body of knowledge, there is a high probability that it meets any of the following criteria: 1) it contains information needed to answer important scientific research questions and that there is a demonstrable public interest in that information, 2) has a special and particular quality such as being the oldest of its type or the best available example of its type, or 3) is directly associated with a scientifically recognized important prehistoric or historic event or person.

If an archaeological resource does not qualify as a historical or unique archaeological resource, the impacts of a project on those resources will be less than significant and need not be considered further (CEQA Guidelines Section 15064.5[c][4]). CEQA Guidelines Section 15064.5 also provides guidance for addressing the potential presence of human remains, including those discovered during the implementation of a project.

According to CEQA, an impact that results in a substantial adverse change in the significance of a historical resource is considered a significant impact on the environment. A substantial adverse change could result from physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of the historical resource would be materially impaired (CEQA Guidelines Section 15064.5 [b][1]). Material impairment is defined as demolition or alteration in an adverse manner [of] those characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in, the CRHR or a local register (CEQA Guidelines Section 15064.5[b][2][A]).

If it can be demonstrated that a project will cause damage to a unique archaeological resource, the lead agency may require reasonable efforts be made to permit any or all of these resources to be preserved in place or left in an undisturbed state. To the extent that resources cannot be left undisturbed, mitigation measures are required (PRC Section 21083.2[a][b]).

The requirements for mitigation measures under CEQA are outlined in CEQA Guidelines Section 15126.4(a)(1). In addition to being fully enforceable, mitigation measures must be completed within a defined time period and be roughly proportional to the impacts of the project. Generally, a project which is found to comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (the Standards) is considered to be mitigated below a level of significance (CEQA Guidelines Section 15126.4 [b][1]). For historical resources of an archaeological nature, lead agencies should also seek to avoid damaging effects where feasible. Preservation in place is the preferred manner to mitigate impacts to archaeological sites; however, data recovery through excavation may be the only option in certain instances (CEQA Guidelines Section 15126.4[b][3]).

National Register of Historic Places

Although the project does not have a federal nexus, properties which are listed in or have been formally determined eligible for listing in the NRHP are automatically listed in the CRHR. The following is therefore presented to provide applicable regulatory context. The NRHP was authorized by Section 101 of the National Historic Preservation Act and is the nation's official list of cultural resources worthy of preservation. The NRHP recognizes the quality of significance in American, state, and local history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects. Per 36 CFR Part 60.4, a property is eligible for listing in the NRHP if it meets one or more of the following criteria:

- Criterion A:** Is associated with events that have made a significant contribution to the broad patterns of our history
- Criterion B:** Is associated with the lives of persons significant in our past
- Criterion C:** Embodies the distinctive characteristics of a type, period, or method of installation, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction
- Criterion D:** Has yielded, or may be likely to yield, information important in prehistory or history

In addition to meeting at least one of the above designation criteria, resources must also retain integrity. The National Park Service recognizes seven aspects or qualities that, considered together, define historic integrity. To retain integrity, a property must possess several, if not all, of these seven qualities, defined as follows:

- Location:** The place where the historic property was constructed or the place where the historic event occurred
- Design:** The combination of elements that create the form, plan, space, structure, and style of a property
- Setting:** The physical environment of a historic property
- Materials:** The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property

- Workmanship:** The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory
- Feeling:** A property’s expression of the aesthetic or historic sense of a particular period of time
- Association:** The direct link between an important historic event or person and a historic property

Certain properties are generally considered ineligible for listing in the NRHP, including cemeteries, birthplaces, graves of historical figures, properties owned by religious institutions, relocated structures, or commemorative properties. Additionally, a property must be at least 50 years of age to be eligible for listing in the NRHP. The National Park Service states that 50 years is the general estimate of the time needed to develop the necessary historical perspective to evaluate significance (National Park Service 1997:41). Properties which are less than 50 years must be determined to have “exceptional importance” to be considered eligible for NRHP listing.

California Register of Historical Resources

The CRHR was established in 1992 and codified by PRC Sections 5024.1 and Title 14 Section 4852. The CRHR is an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change (Public Resources Code, 5024.1(a)). The criteria for eligibility for the CRHR are consistent with the NRHP criteria but have been modified for state use in order to include a range of historical resources that better reflect the history of California (Public Resources Code, 5024.1(b)). Unlike the NRHP however, the CRHR does not have a defined age threshold for eligibility; rather, a resource may be eligible for the CRHR if it can be demonstrated sufficient time has passed to understand its historical or architectural significance (California Office of Historic Preservation 2011). Furthermore, resources may still be eligible for listing in the CRHR even if they do not retain sufficient integrity for NRHP eligibility (California Office of Historic Preservation 2011). Generally, the California Office of Historic Preservation recommends resources over 45 years of age be recorded and evaluated for historical resources eligibility (California Office of Historic Preservation 1995:2).

A property is eligible for listing in the CRHR if it meets one of more of the following criteria:

- Criterion 1:** Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage
- Criterion 2:** Is associated with the lives of persons important to our past
- Criterion 3:** Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values
- Criterion 4:** Has yielded, or may be likely to yield, information important in prehistory or history

California Assembly Bill 52 of 2014

As of July 1, 2015, Assembly Bill (AB) 52 was enacted and expands CEQA by defining a new resource category, “tribal cultural resources”. AB 52 establishes, “a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment” (PRC Section 21084.2). It further states the CEQA lead

agency shall establish measures to avoid impacts that would alter the significant characteristics of a tribal cultural resource, when feasible (PRC Section 21084.3).

PRC Section 21074 (a)(1)(A) and (B) define tribal cultural resources as “sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe” and that meets at least one of the following criteria, as summarized in CEQA Guidelines Appendix G:

- 1) Listed or eligible for listing in the CRHR, or in a local register of historical resources as defined in PRC Section 5020.1(k)
- 2) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of PRC Section 5024.1. In applying these criteria, the lead agency shall consider the significance of the resource to a California Native American tribe.

AB 52 also establishes a formal consultation process with California Native American tribes that must be completed before a CEQA document can be certified. Under AB 52, lead agencies are required to “begin consultation with a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project.” California Native American tribes to be included in the process are those that have requested notice of projects proposed within the jurisdiction of the lead agency.

2.2 California Health and Safety Code

Section 7050.5 of the California Health and Safety Code states that in the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of the county in which the remains are discovered has determined if the remains are subject to the Coroner’s authority. If the human remains are of Native American origin, the coroner must notify the NAHC within 24 hours of this identification.

2.3 California Public Resources Code §5097.98

Section 5097.98 of the California Public Resources Code states that the NAHC, upon notification of the discovery of Native American human remains pursuant to Health and Safety Code §7050.5, shall immediately notify those persons (i.e., the Most Likely Descendant [MLD]) that it believes to be descended from the deceased. With permission of the landowner or a designated representative, the MLD may inspect the remains and any associated cultural materials and make recommendations for treatment or disposition of the remains and associated grave goods. The MLD shall provide recommendations or preferences for treatment of the remains and associated cultural materials within 48 hours of being granted access to the site

important historic event or person and a historic property (NPS 1995).

2.4 Local Regulations

Los Angeles Historic-Cultural Monuments and Historic Preservation Overlay Zones

Local landmarks in Los Angeles are known as HCMs and are managed under the aegis of the City of Los Angeles Planning Department, OHR. The Cultural Heritage Ordinance defines a monument or local landmark as any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles. The City Council may designate a proposed HCM upon the recommendation of the Cultural Heritage Commission if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community.
2. Is associated with the lives of historic personages important to national, state, city, or local history.
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age. (Los Angeles Municipal Code Section 22.171.7 added by Ordinance No. 185,472, Effective April 28, 2018).

The City additionally adopted an HPOZ ordinance in 1979, the purpose of which is to preserve local historic districts. The HPOZ ordinance aims to identify and protect neighborhoods with distinct architectural and cultural resources and to provide for review of proposed exterior alterations and additions to historic properties within designated districts. An eligible HPOZ is described by the OHR as a “collection of a cohesive, unique, and intact gathering of historic resources.”

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3 Historic Context

3.1 Prehistoric Overview

During the twentieth century, many archaeologists developed chronological sequences to explain prehistoric cultural changes within all or portions of southern California (c.f., Jones and Klar 2007, Moratto 1984). Wallace (1955, 1978) devised a prehistoric chronology for the southern California coastal region based on early studies and focused on data synthesis that included four horizons: Early Man, Milling Stone, Intermediate, and Late Prehistoric. Though initially lacking the chronological precision of absolute dates (Moratto 1984:159), Wallace's (1955) synthesis has been modified and improved using thousands of radiocarbon dates obtained by southern California researchers over recent decades (Byrd and Raab 2007:217, Koerper and Drover 1983, Koerper et al. 2002, Mason and Peterson 1994). The prehistoric chronological sequence for southern California presented below is a composite based on Wallace (1955) and Warren (1968) as well as later studies, including Koerper and Drover (1983).

Early Man Horizon (ca. 10,000 – 6,000 B.C.)

Numerous pre-8000 B.C. sites have been identified along the mainland coast and Channel Islands of southern California (c.f., Erlandson 1991, Johnson et al. 2002, Jones and Klar 2007, Moratto 1984, Rick et al. 2001:609). The Arlington Springs site on Santa Rosa Island produced human remains dated to approximately 13,000 years ago (Arnold et al. 2004, Johnson et al. 2002). On nearby San Miguel Island, human occupation at Daisy Cave (SMI-261) has been dated to nearly 13,000 years ago and included basketry greater than 12,000 years old, the earliest recorded on the Pacific Coast (Arnold et al. 2004).

Although few Clovis or Folsom style fluted points have been found in southern California (e.g., Dillon 2002, Erlandson et al. 1987), Early Man Horizon sites are generally associated with a greater emphasis on hunting than subsequent horizons. Recent data indicate that the Early Man economy was a diverse mixture of hunting and gathering, including a significant focus on aquatic resources in coastal areas (e.g., Jones et al. 2002) and on inland Pleistocene lakeshores (Moratto 1984). A warm and dry 3,000-year period called the Altithermal began around 6000 B.C. The conditions of the Altithermal are likely responsible for the change in human subsistence patterns at this time, including a greater emphasis on plant foods and small game.

Milling Stone Horizon (6000 – 3000 B.C.)

Wallace (1955:219) characterized the Milling Stone Horizon as “marked by extensive use of milling stones and mullers, a general lack of well-made projectile points, and burials with rock cairns.” This characterization indicates a subsistence strategy oriented around collecting plant foods and small animals. A broad spectrum of food resources including small and large terrestrial mammals, birds, yucca, agave, and seeds and other plant products was consumed (Kowta 1969, Reinman 1964). Variability in artifact collections over time and from the coast to inland sites indicates that Milling Stone Horizon subsistence strategies adapted to environmental conditions (Byrd and Raab 2007:220). Lithic artifacts associated with Milling Stone Horizon sites are dominated by locally available tool stone. Chopping, scraping, and cutting tools are very common as are ground stone tools, such as manos and metates. Kowta (1969) attributes the presence of numerous scraper-plane

tools in Milling Stone Horizon collections to the processing of agave or yucca for food or fiber. The mortar and pestle, associated with acorns or other foods processed through pounding, were first used during the Milling Stone Horizon and increased dramatically in later periods (Wallace 1955, 1978, Warren 1968).

Two types of artifacts that are considered diagnostic of the Milling Stone period are the cogged stone and discoidal, most of which have been found within sites dating between 4,000 and 1,000 B.C. (Moratto 1984:149), though possibly as far back as 5,500 B.C. (Couch et al. 2009). The cogged stone is a ground stone object that has gear-like teeth on the perimeter and is produced from a variety of materials. The function of cogged stones is unknown, but many scholars have postulated ritualistic or ceremonial uses (c.f., Dixon 1968:64-65, Eberhart 1961:367). Similar to cogged stones, discoidals are found in the archaeological record subsequent to the introduction of the cogged stone. Cogged stones and discoidals were often purposefully buried, or “cached.” They are most common in sites along the coastal drainages from southern Ventura County southward and are particularly abundant at some Orange County sites, although a few specimens have been found inland at Cajon Pass (Dixon 1968:63, Moratto 1984:149).

Mortuary practices observed at Milling Stone Horizon sites include extended and loosely flexed burials, with reburials common in Los Angeles County (Wallace 1955, 1978, Warren 1968).

Intermediate Horizon (3,000 B.C. – A.D. 500)

Wallace’s Intermediate Horizon dates from approximately 3,000 B.C. to A.D. 500 and is characterized by a shift toward a hunting and maritime subsistence strategy, as well as greater use of plant foods. During the Intermediate Horizon, a noticeable trend occurred toward greater adaptation to local resources. Tool kits for hunting, and processing food and materials reflect this increased diversity, with flake scrapers, drills, and various projectile points being manufactured.

Mortars and pestles became more common during this transitional period, gradually replacing manos and metates as the dominant milling equipment. Many archaeologists believe this change in milling stones signals a change from the processing and consuming of hard seed resources to the increasing reliance on acorn (e.g., Glassow et al. 1988, True 1993). Mortuary practices during the Intermediate Horizon typically included fully flexed burials oriented toward the north or west (Warren 1968:2-3).

Late Prehistoric Horizon (A.D. 500 – Historic Contact)

During Wallace’s (1955, 1978) Late Prehistoric Horizon the diversity of plant food resources and land and sea mammal hunting increased even further than during the Intermediate Horizon. More classes of artifacts were observed during this period and high-quality exotic lithic materials were used for small finely worked projectile points associated with the bow and arrow. More artistic artifacts were recovered from Late Prehistoric Horizon sites and cremation became a common mortuary custom. Larger, more permanent villages supported an increased population size and social structure (Wallace 1955:223).

Warren (1968) attributes this dramatic change in subsistence focus, material culture, and burial practices to the westward migration of desert people he called the Takic, or Numic, Tradition in Los Angeles, Orange, and western Riverside counties. This Takic Tradition was formerly referred to as the “Shoshonean wedge” (Warren 1968), but this nomenclature is no longer used to avoid confusion with ethnohistoric and modern Shoshonean groups (Heizer 1978:5, Shipley 1978:88, 90).

The modern Cahuilla groups in Riverside County are generally considered by archaeologists to be descendants of these prehistoric Uto-Aztecan, Takic-speaking populations.

3.2 Ethnographic Overview

The project site is located within the traditional territory of the Native American group known as the Gabrielino. The name Gabrielino was applied by the Spanish to those natives that were attached to Mission San Gabriel (Bean and Smith 1978). Today, most contemporary Gabrielino prefer to identify themselves as Tongva, a term that will be used throughout the remainder of this section (King 1994).

Tongva territory included the Los Angeles basin and southern Channel Islands as well as the coast from Aliso Creek in the south to Topanga Creek in the north. Their territory encompassed several biotic zones, including Coastal Marsh, Coastal Strand, Prairie, Chaparral, Oak Woodland, and Pine Forest (Bean and Smith 1978). The Tongva language belongs to the Takic branch of the Uto-Aztecan language family, which can be traced to the Great Basin region (Mithun 1999). This language family includes dialects spoken by the nearby Juaneño and Luiseño but is considerably different from those of the Chumash people living to the north and the Diegueño (including Ipai, Tipai, and Kumeyaay) people living to the south.

Tongva society was organized along patrilineal non-localized clans, a common Takic pattern. Each clan had a ceremonial leader and contained several lineages. The Tongva established large permanent villages and smaller satellite camps throughout their territory. Recent ethnohistoric work (O'Neil 2002) suggests a total tribal population of nearly 10,000, considerably more than earlier estimates of around 5,000 (Bean and Smith 1978:540). Tongva subsistence was oriented around acorns supplemented by the roots, leaves, seeds, and fruits of a wide variety of plants. Meat sources included large and small mammals, freshwater and saltwater fish, shellfish, birds, reptiles, and insects (Kroeber 1976, Bean and Smith 1978, McCawley 1996, Langenwalter et al. 2001). The Tongva employed a wide variety of tools and implements to gather and hunt food. The digging stick used to extract roots and tubers was frequently noted by early European explorers (Rawls 1984). Other tools included the bow and arrow, traps, nets, blinds, throwing sticks and slings, spears, harpoons, and hooks. Like the Chumash, the Tongva made oceangoing plank canoes (known as a *ti'at*) that were capable of holding six to 14 people and were used for fishing, travel, and trade between the mainland and the Channel Islands. Tule reed canoes were employed for near-shore fishing (Blackburn 1963, McCawley 1996).

Chinigchinich, the last in a series of heroic mythological figures, was central to Tongva religious life at the time of Spanish contact (Kroeber 1976). The belief in Chinigchinich was spreading south among other Takic-speaking groups at the same time the Spanish were establishing Christian missions. Elements of Chinigchinich beliefs suggest it was a syncretic mixture of Christianity and native religious practices (McCawley 1996). Prior to European contact, deceased Tongva were either buried or cremated, with burial more common on the Channel Islands and the adjacent mainland coast and cremation on the remainder of the coast and in the interior (Harrington 1942; McCawley 1996). After pressure from Spanish missionaries, cremation essentially ceased during the post-contact period (McCawley 1996).

3.3 Historic Overview

The post-contact history of California is generally divided into three time spans: the Spanish period (1769–1822), the Mexican period (1822–1848), and the American period (1848–present). Each of these periods is briefly described below.

Spanish Period (1769–1822)

Spanish exploration of California began when Juan Rodriguez Cabrillo led the first European expedition into the region in 1542. For more than 200 years after his initial expedition, Spanish, Portuguese, British, and Russian explorers sailed the California coast and made limited inland expeditions, but they did not establish permanent settlements (Bean 1968; Rolle 2003). In 1769, Gaspar de Portolá and Franciscan Father Junipero Serra established the first Spanish settlement in what was then known as Alta (upper) California at Mission San Diego de Alcalá. This was the first of 21 missions erected by the Spanish between 1769 and 1823. It was during this time that initial Spanish settlement of the project vicinity began. Mission San Gabriel was first founded in 1771. It was the fourth mission to be established in California and is located approximately 12 miles west of the project site (California Missions Foundation, n.d.).

In 1775 the mission was moved approximately three miles to its present location to improve conditions for planting and cultivating crops. Mission San Gabriel became one of the most productive and affluent missions in Alta California, providing support for surrounding missions (California Missions Foundation, n.d.). At its peak, the mission population reached 1,701 people in 1817 (Bodkin, 1910:10).

Mexican Period (1822–1848)

The Mexican Period commenced when news of the success of the Mexican War of Independence (1810-1821) against the Spanish crown reached California in 1822. This period saw the privatization of mission lands in California with the passage of the Secularization Act of 1833. This Act federalized mission lands and enabled Mexican governors in California to distribute former mission lands to individuals in the form of land grants. Successive Mexican governors made approximately 700 land grants between 1833 and 1846, putting most of the state's lands into private ownership for the first time (Shumway, 2007:10). After secularization, the San Gabriel Mission and its grounds deteriorated and the Native American population eventually dispersed (Bodkin, 1910:10-11).

In 1842 John Rowland was granted the 17,740-acre Rancho La Puente by Mexican governor Juan Bautista Alvarado for the sum of \$1,000. The rancho property had been part of Mission San Gabriel's land holdings. In 1845, the rancho was enlarged to 48,790 acres when Governor Pio Pico named both John Rowland and William Workman as co-owners. The U.S. government challenged the validity of the grant once California became a U.S. territory.

The Mexican Period for the Los Angeles County region ended in early January 1847. Mexican forces fought and lost to combined U.S. Army and Navy forces in the Battle of the San Gabriel River on January 8 and in the Battle of La Mesa on January 9 (Nevin 1978). On January 10, leaders of the pueblo of Los Angeles surrendered peacefully after Mexican General Jose Maria Flores withdrew his forces. Shortly thereafter, newly appointed Mexican Military Commander of California Andrés Pico surrendered all of Alta California to U.S. Army Lieutenant Colonel John C. Fremont in the Treaty of Cahuenga (Nevin 1978).

American Period (1848–Present)

The American Period officially began with the signing of the Treaty of Guadalupe Hidalgo in 1848, in which the United States agreed to pay Mexico \$15 million for conquered territory including California, Nevada, Utah, and parts of Colorado, Arizona, New Mexico, and Wyoming. Settlement of the Los Angeles region increased dramatically in the early American Period.

The discovery of gold in northern California in 1848 led to the California Gold Rush, though the first California gold was previously discovered in Placerita Canyon in 1842 (Guinn 1977, Workman 1935:26). By 1853, the population of California exceeded 300,000. Thousands of settlers and immigrants continued to immigrate to the state, particularly after the completion of the First Transcontinental Railroad in 1869. The U.S. Congress in 1854 agreed to let San Pedro become an official port of entry. By the 1880s, the railroads had established networks from the port and throughout the Los Angeles area, resulting in fast and affordable shipment of goods, as well as a means to transport new residents to the booming region (Dumke 1944). New residents included many health-seekers drawn to the area by the fabled southern California climate in the 1870s and 1880s.

3.4 City of Los Angeles

In 1781, a group of 11 Mexican families traveled from Mission San Gabriel Arcángel to establish a new pueblo called El Pueblo de Nuestra Señora de Los Angeles (The Town of our Lady of the Angels). This settlement consisted of a small group of adobe-brick houses and streets and would eventually be known as the City of Los Angeles, which incorporated on April 4, 1850, only two years after the Mexican-American War and five months prior to California achieving statehood. Settlement of the Los Angeles region continued in the early American Period. The County of Los Angeles was established on February 18, 1850, one of 27 counties established in the months prior to California acquiring official statehood in the United States. Many of the ranchos in the area now known as Los Angeles County remained intact after the United States took possession of California. However, a severe drought in the 1860s resulted in many of the ranchos being sold or otherwise acquired by Americans. Most of these ranchos were subdivided into agricultural parcels or towns (Dumke 1944). Nonetheless, ranching retained its importance, and by the late 1860s, Los Angeles was one of the top dairy production centers in the country (Rolle 2003). By 1876, Los Angeles County reportedly had a population of 30,000 persons (Dumke 1944).

Los Angeles maintained its role as a regional business center and the development of citriculture in the late 1800s and early 1900s further strengthened this status (Caughey 1977). These factors, combined with the expansion of port facilities and railroads throughout the region, contributed to the impact of the real estate boom of the 1880s in Los Angeles (Dumke 1944, Caughey 1977).

By the late 1800s, government leaders recognized the need for water to sustain the growing population in the Los Angeles area. Irish immigrant William Mulholland personified the city's efforts for a stable water supply (Dumke, Remi 1997). By 1913, the City of Los Angeles had purchased large tracts of land in the Owens Valley and Mulholland planned and completed the construction of the 240-mile aqueduct that brought the valley's water to the city (Dumke, Remi).

Los Angeles continued to grow in the twentieth century, in part due to the discovery of oil in the area and its strategic location as a wartime port. The county's mild climate and successful economy continued to draw new residents in the late 1900s, with much of the county transformed from ranches and farms into residential subdivisions surrounding commercial and industrial centers.

Hollywood's development into the entertainment capital of the world and southern California's booming aerospace industry were key factors in the county's growth in the twentieth century.

3.5 Mission Hills

The proposed project site is located in the city of Los Angeles, in the Mission Hills portion of the Mission Hills-Panorama City-North Hills CPA. This CPA encompasses the northeastern portion of the San Fernando Valley. European settlement within the Mission Hills-Panorama City-North Hills CPA began in 1797 within the founding of Mission San Fernando Rey de Espana (San Fernando) as the seventeenth of Alta California's 21 Spanish missions. Mission San Fernando is located roughly 0.5 mile south of the proposed project site. Following the secularization of the missions in the 1830s, much of the San Fernando Valley, inclusive of the Mission San Fernando, was deeded as land grants and leased for cattle and sheep ranching. These grant lands were subsequently subdivided and sold during the American period.

Around the turn of the twentieth century, California's landscape was incrementally being transformed with the coming of the railroad. The railroads served as the primary transportation connection between the San Fernando Valley and Los Angeles during the late 1800s through the turn of the century, and the region was predominantly agricultural. The San Fernando Valley landscape saw dramatic change following World War II. In discussing this period of development within the CPA, the SurveyLA Historic Survey Report for the Mission Hills-Panorama City-North Hills CPA states:

The CPA experienced rapid physical and economic growth shortly after World War II. With its abundance of agricultural and ranch lands, the area was attractive to developers who were eager to capitalize on the increased demand for housing and employment in the postwar era. By the 1950s, large-scale suburban development had transformed the once-rural CPA into the residential, commercial, and industrial center of the North San Fernando Valley.

Suburban development also occurred at an accelerated pace in the north and central portions of the CPA, in present-day North Hills (known as Sepulveda until 1992) and Mission Hills (known as Dennis Park until 1958). Large tracts of agricultural lands and ranches were incrementally purchased and developed into single-family neighborhoods in the 1950s and 1960s. However, unlike Panorama City, the development of these communities was not guided by a master plan, so subdivisions arose in a more piecemeal fashion. This wave of residential development was accompanied by commercial and institutional development along the area's primary thoroughfares. In 1955, the Veterans' Administration opened a psychiatric hospital on 160 acres in Sepulveda, reflecting the area's rapid growth and increased demand for services.

The completion of the 5 and 405 Freeways in the 1960s and the subsequent construction of the 118 Freeway further bolstered suburban growth by providing the CPA with direct connections to major employment centers in central Los Angeles. The few remaining vacant parcels were developed with single-family and multi-family residences during this period. Like much of the San Fernando Valley, the CPA was almost entirely built out with a mix of residential, commercial, and institutional properties by the close of the 1960s (ARG 2014).

3.6 The Ranch House

As described in detail in the results section of this report, the project site includes two properties developed with single-family dwellings designed in the Ranch style. To provide context for the evaluation of these properties, the following excerpt from the Los Angeles Citywide Historic Context Statement which describes the development of the style is included.

Few architectural idioms have had as profound an impact on the built environment of the nation – and particularly Los Angeles – as the Ranch house. While they were well-accepted prior to World War II, Ranch style houses are most strongly associated with the rapid suburbanization that occurred in the postwar period, during which time they were built in unprecedented numbers. Referring to the Ranch house in 1949, Architectural Forum declared that “never before in the history of U.S. buildings had one house type made such an impact on the industry in so short a time.” Los Angeles in particular became well-known as a place inextricably tied to the Ranch house, helping to establish standards for the rest of the nation. By the 1970s, when their popularity had begun to wane, Ranch houses had become firmly ingrained in the public consciousness as a ubiquitous component of suburban America.

“Ranch House” is a broad term that refers to two related aspects of the built environment — a property type and a style of architecture most commonly applied to residential buildings. As a property type, the Ranch house refers to a one-story, single-family residence with a rambling footprint, horizontal massing, an open and free-flowing interior plan, and an integral relationship with the outdoors. Historians Alan Hess and John English note that the informal composition of the Ranch house type exhibits “many of the same spatial and structural tendencies seen in other Modern residential architecture of the period, though in a more moderate manner.” Moreover, Ranch houses were almost always accompanied by a garage to house the family’s car. As an architectural style, the Ranch house refers to a distinctive aesthetic that is defined by a number of essential physical characteristics: informality and asymmetry, low-pitched roofs, a variety of façade treatments that typically includes wood board-and-batten siding, picture windows, and the application of historicist or modern ornament and details.

The origins of the twentieth century Ranch house can be traced to multiple architectural and cultural antecedents, some of which embraced past traditions and others that rejected them. At the forefront were the vernacular residential buildings that peppered the landscape of the American West and Southwest in the nineteenth century, specifically the haciendas of Southern California and the simple, wood-frame farmhouses built by early American pioneers who set down roots in Northern California, Texas, and the plains of the American West. Erected when California was under Spanish (1769-1821) and later Mexican (1821-1848) rule, haciendas drew upon the vernacular architecture of Spain and typically featured adobe walls, low-pitched shed or gabled roofs, and decorative wood window grilles (rejas) and lattices (celosias). Haciendas eschewed rigid symmetry and formality and instead featured asymmetrical, rambling forms that were oriented inward and opened into a courtyard. Similarly, early American farmhouses assumed a plainspoken appearance and were characterized by their asymmetry, prominent front porches, board-and-batten siding, and cedar shake roofs. Both haciendas and early American farmhouses projected a sense of simplicity, directness, rusticity, and authenticity that proved ripe for reinterpretation in the early twentieth century, a time when the American public expressed a heightened interest in its collective past and Colonial-era roots.

A number of more progressive architectural trends that took root in the early twentieth century also influenced the Ranch house, albeit in a less direct manner. Of note was the Craftsman

movement, which gained traction in Southern California and also in the hills of Berkeley in Northern California; the Prairie School, which proliferated in the Midwest and was championed by Frank Lloyd Wright; and early Modernism as expressed in the pioneering work of Modern architect R.M. Schindler. Though these movements all developed within different contexts and may not appear, at first glance, to work toward a common goal, they all rejected past traditions and advocated an aesthetic that was more simple and honest, embraced the use of natural materials and abstract ornament, were configured in an open, free-flowing manner that enhanced livability, and were appropriately suited to their respective context. As noted by Alan Hess, these architectural movements helped to inspire the twentieth century Ranch house by laying “the foundations for new themes in residential architecture – themes related to informal living, indoor-outdoor spaces, rustic aesthetics and natural materials, simple materials simply expressed, a low profile, a fascination with the vernacular...which the Ranch House continued.”

Also important to the conception of the Ranch house was the advent of the automobile. In the late nineteenth and early twentieth centuries, houses tended to be concentrated in areas within walking distance to streetcar lines and, given the finite amount of land around these lines, they tended to be small and compact. However, as more and more Americans purchased cars in the early twentieth century, it became feasible to build houses beyond those areas adjacent to transit lines. The freedom of movement afforded by the car made it possible for houses to assume more horizontal plans and to occupy wider lots than before, making the construction of rambling Ranch houses much more feasible.

From this amalgam of influences emerged what are considered to be the earliest examples of the twentieth century Ranch house. In 1903, architects Charles and Henry Greene, best known for their Craftsman style houses, designed what is considered to be one of the first examples of the Ranch house near Pasadena for the son and daughter-in-law of Don Juan Bandini, a prominent nineteenth century California land owner. Greene and Greene designed the Bandini House to resemble the vernacular architecture of California haciendas: the one-story house had a rambling, U-shaped plan; rooms were oriented around a rear-facing courtyard and were connected by an exterior corridor supported by hewn timber posts; and ornament was restrained as to maintain a rusticated and unassuming appearance. However, instead of adobe bricks, exterior surfaces were clad with board-and-batten siding that was most often seen on early American farmhouses. The Bandini House was demolished in the 1960s.

In 1927, Bay Area architect William Wurster designed another early example of the Ranch in Scotts Valley, California, several hundred miles north of the Bandini House. Commissioned by Sadie Gregory, the widow of a prominent San Francisco attorney, the dwelling was fashioned after the simple working ranch buildings of California’s Central Valley, where Wurster was raised. The Gregory Farmhouse was deliberately designed to project a crude and rusticated appearance and is often described as resembling “a collection of sheds.” Its low-to-the-ground profile, one-story configuration, L-shaped footprint, cedar shake roof, vertical board siding, and sparse ornament evoked vivid images of rugged nineteenth century California and a sense of authenticity. *Sunset* magazine prominently featured the house on the cover of its July 1930 edition and described its aesthetic as “sophisticated rusticity.”

The Bandini House and the Gregory Farmhouse were among the earliest buildings in California to exhibit the essential characteristics of the Ranch house. However, since this architectural type was still coming into being, neither residence was explicitly described as “Ranch” at the time of its construction. Rather, it was the work of one man, Cliff May, commonly referred to as

“father of the Ranch house,” that propelled the style into the public consciousness and rendered it a popular choice for residential design (City of Los Angeles 2015).

3.7 Cliff May

The single-family residence located at 15151 Mission Hills Road was designed by prolific Los Angeles-based architect Cliff May, who was known in particular for his contribution to the development of the Ranch house style. To provide context for the evaluation of 15151 Mission Hills Road, the following excerpt from the Los Angeles Citywide Historic Context Statement which describes May’s contributions is included.

A sixth-generation Californian and a descendent of San Diego’s pioneering Estudillo family, designer Clifford Magee, “Cliff” May, did not invent the Ranch house, but is arguably the figure most closely associated with its early popularization. It has been said that “more than any other designer, architect, or developer, it was Cliff May who perfected the graceful, informal, low-slung, single-story style marked by the mingling of interior and exterior spaces.” May, in collaboration with contractor Orville Miracle, designed his first Ranch house on speculation in San Diego in 1931. Between 1931 and 1937, May designed roughly 50 Ranch houses around San Diego before relocating his practice to Los Angeles in 1938. Drawing upon many of the ideas that Greene and Greene, Wurster, and others had experimented with in previous years, May developed his own distinctive aesthetic that was characterized by open and free-flowing interior plans, a blending of interior and exterior spaces, and a hand-hewn character that loosely resembled the haciendas of early California. The “California Ranch Houses” that represent May’s early work are described by historian Mary van Balgooy as follows:

Generally, May designed his houses as asymmetrical, one-story dwellings with a low-pitched roof and wide overhanging eaves. One room deep, it was crucial that the house take an L- or U-shaped configuration to form a patio or courtyard in the back so that the rooms of the ranch house faced or opened into these areas. Like the California adobes of the nineteenth century, May’s houses did not include an interior hallway. Instead, an exterior corridor, or covered veranda, served as the primary hallway of the house. May also designed his houses so that they presented a blank façade to the street; however, he modernized his ranch houses with the use of large picture windows for the rooms facing the back.

As May’s career progressed, so too did his interpretation of the Ranch style, and, by the late 1930s, his houses adhered to one of two basic design schemes. First was his quintessential “Mexican Hacienda,” which featured clay tile roofs, troweled stucco exteriors, deeply inset windows and doors, and hewn lintels. Second was what May dubbed the “Early California Rancheria,” which more closely resembled the farmhouses of the American West and exhibited such features as board-and-batten siding and wood shake roofs. May’s designs were featured in popular magazines, most notably *Sunset*, which presented his interpretation of the Ranch house to a wide audience and thrust it into the national spotlight.

By about 1940, the Ranch style had emerged as a popular choice for residential architecture and had secured its position as “an accepted style for custom houses throughout the United States.” Due to the commodious lots and desirable suburban settings that were generally required of these dwellings, Ranch style houses that were built prior to World War II tended to be large, high-style residences that were custom-designed for individual clients. Cliff May was one of the designers most closely associated with the architectural type, but almost every architect and designer of note included Ranch in the “menu” of architectural styles she or he offered clients.

Ararat Homes Residential Care and Nursing Facility Project

In and around Los Angeles, noted architects including Gerard Colcord, H. Roy Kelley, Wallace Neff, Lulah Maria Riggs, Sumner Spaulding, and Paul R. Williams incorporated Ranch into their repertoire, as did many others. In the 1930s and early 1940s, a number of these sprawling, custom Ranch houses were constructed in some of Los Angeles' more affluent neighborhoods including Bel Air, Brentwood, Pacific Palisades, and the hills of the San Fernando Valley, all of which possessed the rural, suburban backdrop that was so strongly associated with this architectural type. Cliff May designed several custom Ranch houses in the Brentwood and Pacific Palisades area around this time, including the Cliff May Experimental House at 1831 Old Ranch Rd. (HCM #716), which for a period served as his personal residence.

In the years immediately preceding World War II, several Los Angeles architects and builders began to experiment with the construction of Ranch style houses on a larger scale. In 1939, Cliff May embarked upon the development of Riviera Ranch, a small subdivision composed of custom Ranch houses off of Sunset Boulevard in the Brentwood area. Deed restrictions ensured that the houses constructed in Riviera Ranch kept in character with May's trademark California Ranch style, and many of the houses were designed by May himself. Opened to the public in 1940, Riviera Ranch is generally considered to be the most complete embodiment of May's early work. Advertisements for Riviera Ranch were awash in imagery and hyperbole, extolling the merits of the semi-rural lifestyle that these houses offered and emphasizing the historical association to the respective Mexican rancho on which they were situated.

At around the same time that Cliff May developed Riviera Ranch; several California merchant builders experimented with the incorporation of Ranch style architecture into the design of mass-produced dwellings for households of more modest means. This "democratization" of the Ranch house took root in the late 1930s, as the need for new housing became apparent in areas of the country such as Los Angeles that were experiencing considerable growth in their defense and aircraft industries. Developers and community builders responded to the increased demand for housing by devising new methods of erecting small, economical houses by the hundreds. The construction of houses on such a large scale marked a diversion from what were then considered to be more conventional methods of residential development, in which local builders would develop a handful of houses in a piecemeal manner.

Leading the charge toward the mass production of housing were merchant builders Fred Marlow and Fritz Burns of Los Angeles, and David Bohannon of the San Francisco Bay area. Marlow and Burns pioneered mass production efforts in Los Angeles by developing entire new communities including Windsor Hills (1938), Westside Village in West Los Angeles (1939), Westchester (1941), and Toluca Wood in the San Fernando Valley (1941). Bohannon spearheaded similar large-scale building efforts in Northern California, specifically in the suburbs of San Francisco.

Marlow, Burns, Bohannon, and their contemporaries all expressed a strong preference for Ranch style architecture in their new, mass-produced communities. Specifically, they took the essential form and aesthetic of the custom Ranch houses that had been designed by Cliff May and others and pared them down, producing a much more modest interpretation of the Ranch house that was standardized and easy to produce at a large scale. Called Minimal Ranches, these modest dwellings laid the groundwork for the mass production of housing after World War II. This nexus between mass-produced housing and Ranch style architecture is attributed in large part to aesthetics and cultural associations; since Ranch style architecture had historically been associated with affluence and high style design, it was also embraced by those of more modest means. However, several other factors were also at play. The open, free-flowing interior

plans that characterized Ranch houses were efficient and thus well-suited to mass production. Ranch style architecture proved quite easy to manipulate and could accommodate a wide variety of personal tastes, thereby providing each standardized house with an individual flair. Perhaps most importantly, the Ranch house had been vetted by the Federal Housing Administration (FHA) due to its efficiency and adaptability and was deemed an appropriate choice for the design of new, economical housing. Winning FHA approval meant that these mass-produced Ranch houses satisfied the eligibility criteria for the agency's low-cost home loans – “an essential component to successful mass sales.”

While the Ranch house had become firmly ingrained in the public consciousness and was a well-established architectural type prior to World War II, it surged in popularity in the decades after the war as American society entered into a period characterized by a prevailing sense of optimism and economic prosperity. A variety of factors including pent-up consumer demand, soldiers' return from battle en masse, a steadily increasing birth rate, and favorable lending conditions provided by the FHA and Veterans Administration (VA) coalesced to produce an unprecedented demand for new, middle-income housing in the suburbs. The Ranch house emerged as the architecture of choice within these new developments. A housing industry report issued in 1945 asserted that “a California-styled house – like the ranch type – built in a carefully planned neighborhood or community with all the essentials for good living is your best bet for the post-war.” “By the 1950s, the Ranch house had become the predominant choice for detached, single-family residences, a position it held well into the 1960s,” said architectural historian David Bricker. By some accounts, it is estimated that eight of every ten new houses built in the 1950s embodied the Ranch aesthetic in one way or another (ARG 2015).

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4 Background Research

4.1 Cultural Resources Records Search

Rincon conducted a CHRIS search on March 20, 2018 at the South Central Coast Information Center (SCCIC) at California State University, Fullerton. The purpose of the search was to identify previously conducted cultural resource studies and cultural resources that have been previously recorded within a 0.50-mile radius of the proposed project site. The search included a review of the NRHP, CRHR, the California Points of Historical Interest and Landmarks and Archaeological Determinations of Eligibility lists. Non-confidential results from the record searches are provided in Appendix B of this report.

The CHRIS search identified 16 previously conducted cultural resource studies within a 0.50-mile radius of the project site (Table 1), none of which include any portion of the proposed project site. The study area associated with four of the previously conducted studies identified by the CHRIS search include areas located adjacent to the proposed project site. However, none of these studies resulted in the identification of cultural resources adjacent to the proposed project site.

Table 1 Previous Studies within a 0.50-Mile Radius of the Project Site

SCCIC Report No.	Author	Year	Study	Relationship to Project Site
LA-01464	Colby, Susan M.	1985	<i>An Archaeological Resource Survey and Impact Assessment of a 10 + Acre Parcel at 10105 Mission Hills Road, Los Angeles County, California</i>	Adjacent
LA-04077	Reilly, Geoffrey	1998	<i>Archaeological and Historical Survey and Impact Assessment of Tract 52539, a +/- 30 Acre Parcel in the Mission Hills Community of Los Angeles, California</i>	Adjacent
LA-04499	Slawson, Dana N.	1998	<i>Historical Resource Investigation for Health Structures Tract 52539</i>	Adjacent
LA-10756	McKenna, Jeanette	2010	<i>A Cultural Resources Overview and Preliminary Assessment of the Pacoima/Panorama City Redevelopment Plan Amendment/Expansion Project Area, Los Angeles County, California</i>	Adjacent
LA-01432	Colby, Susan M.	1985	<i>An Archaeological Resource Survey and Impact Assessment of Northern Parcels of Holy Cross Hospital Property, Mission Hills, Los Angeles County, California</i>	Outside
LA-01018	Singer, Clay A	1980	<i>Cultural Resource Survey and Impact Assessment for Tentative Tract No. 37743, Near the Community of San Fernando, Los Angeles County, California</i>	Outside
LA-01151	Rechtman, Robert B. and Richard D. Aycock	1982	<i>An Archaeological Resource Survey and Impact Report Assessment of a 9 Acre Parcel, Eastern Holy Cross Property, Los Angeles County, California</i>	Outside

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SCCIC Report No.	Author	Year	Study	Relationship to Project Site
LA-02517	Wlodarski, Robert J.	1991	<i>A Phase 1 Archaeological Study for Eight Areas Proposed for the New Los Angeles Police Training Academy, and Driver Training Facility, City of Los Angeles County, California</i>	Outside
LA-02683	Anonymous	1992	<i>Draft Environmental Impact Report for the Police Bond Program Police Driver Training Facility</i>	Outside
LA-04107	York, Andrew L. and Gene Davis	1991	<i>B1r Route Variation Supplement & Templin Hwy Supplement to Mobile M-70 Pipeline Replacement Project Cultural Resources Survey Report</i>	Outside
LA-07165	Thal, Erika	2005	<i>CA-6392a/chips Telecommunications 12000 Blucher Avenue, Granada Hills, Ca Los Angeles County</i>	Outside
LA-07903	Wlodarski, Robert J.	2006	<i>Record Search and Field Reconnaissance for the Proposed Royal Street Communications Wireless Telecommunications Site La0042a (North Valley Storage-Rinaldi), Located at 14800 Rinaldi Street, Mission Hills, California 91345</i>	Outside
LA-10179	Smith, Phil and Gary Iverson	2000	<i>Highway Project Description—n - 1Y0201</i>	Outside
LA-11606	Maxon, Patrick	2011	<i>Phase I Cultural Resources Assessment, Sylmar Ground Return Replacement Project, Los Angeles County, California</i>	Outside
LA-11664	Loftus, Shannon	2011	<i>Cultural Resource Records Search and Site Survey, AT&T Site LA0609 (44468) I-5 FWY/I-405 Fwy Interchange 12000 North Blucher Avenue, Granada Hills, Los Angeles County, California 91344</i>	Outside
LA-11818	Dietler, Sara, Linda Kry, and Heather Gibson	2012	<i>Phase I Cultural Resources Assessment for the Van Norman Complex Water Quality Improvement Project City of Los Angeles, California</i>	Outside

Source: SCCIC 2018

The CHRIS search identified five cultural resources that have been previously recorded within a 0.50-mile radius of the project site (Table 2). Three of the previously recorded cultural resources identified by the CHRIS search including P-19-000169 (the San Fernando Mission Archaeological Site), P-19-000960, (the San Fernando Mission Dam), and P-19-167231 (the Mission San Fernando Rey de Espana Convento building) are historic-period resources associated with the Mission. None of the previously recorded resources identified by the CHRIS search are located within the current project site.

Table 2 Previously Recorded Cultural Resources within a 0.50-Mile Radius of the Project Site

Primary Number	Description	CRHR/NRHP Eligibility Status	Recorded by and Year	Relationship to Project Site
P-19-000169	San Fernando Mission Archaeological Site	Does not appear to have been previously evaluated/ associated with California Historical Landmark #157	1950 (Pilling); 2013 (Aaron Elzinga and Chris Millington, SWCA); 2014 (Andrea Bean, John-Mark Cardwell, Chris Purtel, SWCA)	Outside
P-19-000411	Walker's Site E	Not evaluated	1970 (T. King)	Outside
P-19-000960/ P-19-150411/ P-19-167230	San Fernando Mission Dam	7N-needs to be reevaluated	1978 (Bob Edberg, NARC); 1978 (Bob Edberg, NARC)	Outside
P-19-002760	Mission (San Fernando Mission Lands Company) Reservoir and Weir Box	CRHR eligible	1998 (D. Slawson, Greenwood & Associates)	Outside
P-19-167231/ P-19-174268	Mission San Fernando Rey de Espana Convento Building	Listed in the NRHP/ Listed as California Historical Landmark #157	1988 (D. Cameron, Archival Center, San Fernando Mission)	Outside

Source: SCCIC 2018

4.2 Potential and Designated Resources

The City of Los Angeles maintains a city-wide historic resources survey program, SurveyLA, to identify potential resources for planning purposes. The program is organized geographically by CPAs. As previously noted, the project site is located in the Mission Hills-Panorama City-North Hills CPA, which was surveyed by Architectural Resources Group, Inc. (ARG) between May 2013 and March 2014. As part of the current study, the following SurveyLA reports were reviewed to identify potential resources located in the vicinity of the project site.

- *Historic Resources Survey Report-Mission Hills-Panorama City-North Hills CPA (3/20/14)*
- *Mission Hills- Panorama City-North Hills Report-Individual Resources (3/20/14)*
- *Mission Hills- Panorama City-North Hills Report-Non-Parcel Resources (3/20/14)*
- *Mission Hills- Panorama City-North Hills Report-Historic Districts, Planning Districts and Multi-Property Resources (3/20/14)*

Review of the above documents indicates that SurveyLA identified the following three potential resources in the vicinity of the proposed project site: Eden Memorial Park Cemetery, Dam Remnants at Rinaldi Street and Sharp Avenue, and Mission San Fernando Cemetery. Additionally, the following four designated City of Los Angeles HCMs are located in the Mission Hills-Panorama City-North Hills

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CPA: Andres Pico Adobe (HCM # 7), Lankershim Reading Room (HCM # 978), San Fernando Mission (HCM # 23), and the Sepulveda Unitarian Universalist Society Sanctuary, (HCM # 975).

Table 3 identifies the three potential resources identified by SurveyLA and the one designated HCM located in the vicinity of the project site. Eden Memorial Park Cemetery is located immediately adjacent to the project site. It is therefore described in further detail following Table 3. None of the designated HCMs in the Mission Hills-Panorama City-North Hills CPA are in the immediate vicinity of the project site. The closest HCM, San Fernando Mission, is approximately 0.50 mile south of the project site.

Table 3 Potential Resources and Designated HCMs in the Vicinity of the Project Site

Resource Name	CHR Status Code/Designation	Relationship to Project Site
SurveyLA Identified Potential Resources		
Eden Memorial Park Cemetery	3S; 3CS; 5S3	Adjacent to the west
Dam Remnants at Rinaldi Street and Sharp Avenue	3S; 3CS; 5S3	Approximately 0.50 miles southeast
Mission San Fernando Cemetery	May be eligible; additional research needed	Approximately 0.25 miles south.
Designated HCM		
San Fernando Mission (site of)	HCM # 23	Approximately 0.50 miles south

Source: ARG 2014; Historicplacesla.org/map

Eden Memorial Park Cemetery

Eden Memorial Park Cemetery is an expansive property located immediately west of the project site. The following is an excerpt from *Mission Hills- Panorama City-North Hills Report-Historic Districts, Planning Districts and Multi-Property Resources*, which describes the potential resource. Although located adjacent to the project site, the proposed project would not significantly alter the setting of Eden Memorial Park Cemetery, such that it would be materially impaired.

Description: The 72-acre property is comprised primarily of manicured lawns that are planted with abundant shrubs and mature evergreen trees. Symmetrical rows of engraved stone bevel markers are set within the lawns. Three single-story buildings are located on the property and embody elements of American Colonial Revival architecture: a chapel and a mortuary are located at the southwest corner of the property, and an administration building is located at the southeast corner. Both the chapel and the administration building were single family residences that were remodeled and incorporated into the cemetery when it was developed in the early 1950s. Two mausoleum buildings are located near the center of the cemetery. A network of curvilinear streets traverses the property. The cemetery is accessed from the west and south by gated driveways that open onto Sepulveda Boulevard and Rinaldi Street, respectively.

Significance: Eden Memorial Park is significant as an institution that is associated with the rise of the Jewish community in the North San Fernando Valley during the post-World War II era. The cemetery, which opened in 1954, was commissioned by the United Synagogue of America to serve its 32 affiliated congregations in Southern California, several of which were located in the Mission Hills area. The cemetery stood out as one of the earliest and largest institutions in

the vicinity to address the needs of the area's growing Jewish population. Since the cemetery has incrementally expanded between 1954 and the present, the period of significance has been left open-ended. Additional research is needed in order to determine the property's period of significance.

4.3 Background and Archival Research

Archival research was conducted throughout February and March 2018 and in February 2021. Methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of the properties comprising the project site. Sources included, but were not limited to, historic maps and aerial photographs and written histories of the area. In addition to the sources listed in the references section, the following sources were relied upon to gain an understanding of the historical development of the properties:

- Dr. Otto Klinger, owner of 15151 Mission Hills Road from 1971 to 2018 (oral interview)
- University of California, Santa Barbara (UCSB) Architecture and Design Collections-*Cliff May Papers* (with assistance provided by Julia Larson, Reference Archivist)
- Architectural drawings of 15151 Mission Hills Road, provided by Dr. Klinger
- Building Records (including building permits and certificates of occupancy) obtained from the City of Los Angeles Department of Building and Safety
- City of Los Angeles Public Library, California Index, and Photo Collection
- County of Los Angeles Assessor Records
- Historical Sanborn Fire Insurance Maps obtained via the Los Angeles Public Library digital archive
- Historic period aerial imagery of the project site and surrounding area obtained from Environmental Data Resources, Inc., and the University of California, Santa Barbara Digital Library
- Historic period newspaper articles obtained from ProQuest Historical Newspapers, newspapers.com, and the California Digital Newspaper Collection
- Historic period photographs obtained from the Huntington Digital Library, USC Digital Library, Online Archive of California, Calisphere-University of California Digital Archives
- Los Angeles City Directories obtained from Environmental Data Resources, Inc.
- Publications produced by Cliff May, including *Western Ranch Houses by Cliff May* and *Western Ranch Houses*

4.4 Native American Outreach

Rincon contacted the NAHC on March 29, 2018 to request a SLF search of the project site and a contact list of Native Americans culturally affiliated with the project area. The NAHC responded on March 30, 2018, stating the result of the SLF search was negative. The NAHC additionally provided a list of 15 groups and/or individuals they recommended be contacted regarding potential cultural resources issues for the project. Rincon sent letters to these contacts on April 4, 2018, and received the following responses in April 2018.

- On April 9, 2018, Beverly Salazar Folkes, Fernandefio Tataviam Band of Mission Indians Elders Council member, contacted Rincon to inquire more about the project. She stated that

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the project site is within Chumash/Tataviam territory and noted that the area should be considered sensitive due to the proximity of the project site to the San Fernando Mission. Ms. Folkes additionally asked about the current condition of the project site and recommended Native American monitoring of project-related development within previously undisturbed areas.

- On April 27, 2018, Jairo Avila, Fernandeno Tataviam Band of Mission Indians Tribal Historic and Cultural Preservation Officer, responded with a formal request to consult on the project under Assembly Bill 52 (AB 52), wherein CEQA requires that lead agencies consult with interested Native American tribes. Mr. Avila indicated that the area is considered culturally sensitive because of sites in the vicinity. Rincon responded stating that an assessment was being conducted to identify potential issues that may arise during completion of the proposed development. Rincon additionally informed Mr. Avila that no lead agency involvement was underway at that stage of the project, and thus, AB 52 consultation had not been initiated. He was advised that, if the project proceeds, the lead agency would contact the Fernandeno Tataviam Band to request formal government-to-government consultation.

Due to a delay in project schedule, Rincon conducted an additional SLF search for the project site in January 2021. The NAHC responded on January 12, 2021, stating the results of the SLF search were positive. The NAHC additionally provided a list of 15 groups and/or individuals they recommended be contacted regarding potential cultural resources issues for the project. Rincon sent letters to these contacts on January 22, 2021 and conducted follow-up telephone calls and emails throughout February 2021. The following responses were received as a result of this additional outreach effort.

- On a follow-up telephone call on February 1, 2021, Julie Tumamait-Stenslie, on behalf of the Barbareño/Ventureño Band of Mission Indians, stated that the proposed project is outside the territory of the Barbareño/Ventureño Band of Mission Indians and that the Barbareño/Ventureño Band of Mission Indians defers to local tribes.
- On January 22, 2021, Rincon received an email from Mr. Avila, on behalf of the Fernandeno Tataviam Band of Mission Indians. The email stated the following: "On behalf of the Cultural Resource Management Division of the Fernandeno Tataviam Band of Mission Indians (FTBMI), thank you for the email and opportunity to share information. The Project is located in a culturally sensitive area and has a high potential to impact cultural resources during ground-disturbing activities. The CRM Division will follow up with the Lead Agency and provide cultural information during the AB52/Tribal consultation process."
- On January 26, 2021, Rincon received an email response from Brandy Salas, administration specialist for the Gabrieleno Band of Mission Indians - Kizh Nation. The email confirmed receipt of the outreach letter and requested contact information for the lead agency.
- On January 28, 2021, Rincon received an email response from Fred Collins, on behalf of the Northern Chumash Tribal Council (NCTC) that stated the "NCTC support the local tribal governments recommendations."
- On March 22, 2021, Rincon received an email with attached letter from Kelsie Merrick, Administrative Assistant to the Elder's Council and Culture Department for the Santa Ynez Band of Chumash Indians. The letter stated the following: "At this time, the Elders' Council requests no further consultation on this project; however, we understand that as part of NHPA Section 106, we must be notified of the project."

As of the time this report was finalized, the City was currently engaged in consultation with Native American Tribes in accordance with AB 52. Documentation related to the outreach effort performed by Rincon and described above is included in Appendix C.

5 Survey Methods and Results

5.1 Archaeological Survey

Methods

Ms. Szromba performed an pedestrian field survey of the project site on April 3, 2018 to identify the presence of archaeological resources within the project site. The archaeological survey was performed using transect intervals spaced between five and 15 meters apart and prioritized areas with previously undisturbed native soil. Transect orientation throughout the survey was variable and was dependent on the terrain. All exposed ground surfaces were examined for prehistoric artifacts (e.g., flaked stone tools, tool-making debris, stone milling tools); ecofacts (marine shell and bone); soil discoloration that might indicate the presence of a cultural midden; features indicative of the former presence of structures or buildings (e.g., standing exterior walls, foundations); and historic debris (e.g., metal, glass, ceramics). Ground disturbances such as animal burrows and drainages were inspected.

Results

The archaeological field survey of the project area was negative for cultural resources. Visibility, partially obscured by thick vegetation growth, was fair (approximately 60 percent) throughout the project site. Approximately 75 percent of the project site was able to be surveyed; however, approximately 25 percent of the project site was steeply sloped hillsides with dense brush that was unable to be safely surveyed. These steeply sloped hillsides generally would not have been occupied prehistorically or historically and are, therefore, considered to have a low potential for the presence of archaeological resources. Some modern refuse was noted within the project site, and some areas, particularly in the south of the project site and to the east and south of the property line, appeared to be previously disturbed by vegetation removal and grading. No archaeological resources were identified during the intensive pedestrian field survey.

5.2 Built Environment Survey

Methods

Rincon Architectural Historians performed two built environment field surveys of the project site, the first of which was undertaken on April 3, 2018 by Ms. Perzel. During the initial survey, Ms. Perzel performed a visual inspection of all built environment features located within the project site. Existing features were extensively photographed and field notes describing their physical characteristics, condition, character-defining features and alterations were taken.

On April 10, 2018, Ms. Perzel and Ms. Carmack conducted an additional site visit which focused exclusively on 15151 Mission Hills Road. The purpose of the follow-up site visit was to confirm the property's alteration history following preliminary research. Ms. Carmack and Ms. Perzel re-examined all built features at 15151 Mission Hills Road. Additionally, while on site, an informal interview with Dr. Otto Klinger, owner of the property from 1971 to 2018, and a brief survey of the interior of the primary residence was performed. The interview and interior survey focused on

confirming the property's alteration history. All field notes, photographs, and records related to the current study are on file at Rincon's Ventura office.

Results

The built environment field survey identified properties at 15151 and 15155 Mission Hills Road within the project site that include built features over 50 years of age (Figure 7). 15151 Mission Hills Road is an irregularly shaped parcel totaling just under seven acres which features a single-family residence constructed in 1950, a garage constructed in 1948, and a guesthouse, pool and spa constructed in 1981. 15155 Mission Hills Road is an irregularly shaped parcel totaling just over an acre. It features a single-family residence with attached garage constructed in 1964. As part of the current study, 15151 and 15155 Mission Hills Road were recorded on California Department of Parks and Recreation 523 Series forms (DPR forms) and evaluated for historic significance. DPR forms are included in Appendix D and summarized in the following sections.

Figure 7 Buildings Within the Proposed Project Site



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Fig. 7 Dates of Construction Map

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6 Historic Evaluations

6.1 15151 Mission Hills Road

Physical Description

15151 Mission Hills Road is an irregularly shaped property totaling just under seven acres which is accessible from a steep private drive extending northwest from Mission Hills Road. The property is composed of hilly terrain, the top portion of which is developed with a garage constructed in 1948, a single-family residence constructed in 1950, and a guesthouse, pool, and spa constructed in 1981. The developed portion of the property is surrounded with mature landscaping and various hardscaping. Each of the property's built features is described individually below.

Primary Residence

The primary residence is a single-story, 2,675 square foot building designed in the Ranch style (Figure 8). It features asymmetrical massing and sits on a poured concrete slab foundation. Exterior wall surfaces are clad primarily in wooden board and batten siding and large expanses of glass are featured. Fenestration consists of asymmetrically placed wood-framed windows and aluminum-framed slider doors. Indicative of alterations to its original design, the building's roof form is various and includes gabled, hipped and flat portions. The building is surrounded with a variety of hardscaped and landscaped areas containing mature plantings. Each elevation of the primary residence is described individually in the following sections.

Figure 8 North Elevation of Primary Residence



NORTH ELEVATION

The primary (north) elevation is accessed via a long driveway off Mission Hills Road. Original portions of the north elevation are clad in wooden board and batten siding, feature minimal window openings and are protected by wide overhanging eaves extending from a gabled roof. The façade features a prominent addition which was constructed in 1973 to contain an entry vestibule and expansion of the building's original kitchen. The façade entrance is via the addition through a pair of wood-clad doors (Figure 9). The addition is distinguishable from original portions of the building in its cladding, fenestration, and roof form. In addition to wood, it features brick cladding, an abundance of wood-framed slider windows and is topped with both hipped and flat roof forms (Figure 10).

Figure 9 Eastern Portion of North Elevation Addition



Figure 10 Western Portion of North Elevation Addition



EAST ELEVATION

The east elevation is clad in wood siding with fixed, transom windows. As noted in the *Developmental History* Section that follows, the east end of the building was originally designed as a lanai and carport with a semi-open plan (this was enclosed in 1973). A small lean-to addition extends at the northern corner to conceal a water heater. The roof line extends out from the east elevation with wide overhanging eaves supported by exposed beams (Figure 11).

Figure 11 East Elevation



SOUTH ELEVATION

The south elevation features an L-shaped symmetrical plan, divided by exposed wooden framing members and wide overhanging roof eaves. To integrate interior and exterior living areas, wall surfaces are largely occupied with fixed glass windows and aluminum-framed slider doors that open onto an adjacent hardscaped patio (Figure 12 and Figure 13). Non-original tile featuring an arabesque pattern extends from the interior of the building to cover the patio floor (Figure 14). All doors and most windows on the south elevation have been replaced with contemporary fenestration.

Figure 12 South Elevation



Figure 13 Close-Up View; South Elevation



Figure 14 South Elevation Wing



WEST ELEVATION

The west elevation of the primary residence is largely consistent in its design with those previously described. It is symmetrically divided by exposed wooden framing members and features aluminum slider doors and wooden, board and batten siding. West of the building is a covered patio which was added to the building in 1953 by extending the building's gabled roof westward. The patio features an open-air design and is topped with a gabled roof supported with exposed wood framing (Figure 15).

Figure 15 West Elevation and 1953 Patio Addition



Garage

Located approximately 60 feet northeast of the primary residence is a single-story, two-car garage constructed in 1948 (Figure 16). It features a roughly rectangular plan, sits on a concrete slab foundation and is clad in horizontally applied wooden tongue and groove siding. The garage's primary elevation is asymmetrical and is lined with the following from west to east: one four-light, wood-framed window, one pedestrian entry door and two vehicle entry doors; all doors appear to be modern replacements. The building is topped with a side-gabled roof featuring open eaves and exposed rafters and covered with wood shakes. A shed-style addition extends from the building's north and east elevations to provide additional storage space.

Figure 16 Two-Car Garage, South (front) Façade



Guesthouse

Located roughly 65 feet northwest of the primary residence is a guesthouse, pool, spa and hardscaped patio area, which was developed in 1981. The guesthouse features one and a half stories and an L-shaped footprint (Figure 17). It sits on a concrete slab foundation and is clad in a combination of wood and brick. Its pattern of fenestration is asymmetrical throughout; window sashes include one wood-framed hopper and a variety of aluminum window styles. Doors throughout are aluminum. The building is topped with a gabled roof with a wide fascia and open eaves. Roof cladding includes a combination of wood shakes and asphalt shingles. A patio area, which includes a pool partially surrounded with a wood and metal shade structure, a spa and hardscaping, is located south of the guesthouse (Figure 18).

Figure 17 South Elevation of Guesthouse



Figure 18 West-Facing View of the Pool Area from the Guesthouse



Developmental History

A construction history of the subject property was developed utilizing the sources summarized in the methods section including building permits, personal communication with former owner Dr. Otto Klinger, historic-period aerial images, and the *Cliff May Papers*. Table 4 and Figure 19 provide a visual aid and summary of the subject property's known history of construction. The table is followed by a narrative description of the property's developmental history.

Table 4 History of Construction-15151 Mission Hills Road

Approximate Date	Description of Construction Activity	Source of Information
August 1948	Construction of 12' x 32, wood-clad building (listed as dwelling); by -- E. Clark for Mr. and Mrs. Lloyd Aldrich	City of Los Angeles Building Permit, Record ID: 54381395.
December 1948	Construction of carport and storeroom (extant garage), 100 feet from garage; by Geo. W. Cont. Co. for Lloyd Aldrich	City of Los Angeles Building Permit, Record ID: 54388447
Prior to 1950	Construction of guest house and lath house	City of Los Angeles Building Permit, Record ID: 54530602
March 1950	Construction of 37' by 85' dwelling; by Cliff May for Lloyd Aldrich	City of Los Angeles Building Permit, Record ID: 54530602
June 1951	Previously extant Aldrich guest house is destroyed by fire	'Flames Destroy House of Engineer Aldrich,' <i>Los Angeles Times</i> , June 23, 1951
August 1953	Addition of 12' x 21'6" open porch to west façade of building; for Lloyd Aldrich	City of Los Angeles Building Permit, Record ID: 54770362
Early 1970's	Two window openings added to north elevation	Visual observation; confirmed by Dr. Klinger
Early 1970s	Additional wood framing added to structural system	Dr. Klinger interview
Early 1970s	Addition of Arabesque clay tile on interior and exterior ground surfaces	Visual observation; confirmed by Dr. Klinger
March 1973	Addition of new entry and breakfast and kitchen area (15 x 31); by Don Ayres (Engineer) and John L. Drout (Contractor) for Dr. and Mrs. Klinger	City of Los Angeles Building Permit, Record ID: 20933323
March 1973	Conversion of existing lanai (east end of residence) to bedroom and bathroom; by Don Ayres (Engineer); John L. Drout (Contractor) for Dr. and Mrs. Klinger	City of Los Angeles Building Permit, Record ID: 20933323
September 1980	Construction of new accessory living quarters (15 x 36) and attached open lattice patio covers (60 x 41 and 18 x 16 x 16); by Jack A. King (Engineer) for Dr. and Mrs. Klinger	City of Los Angeles Building Permit, Record ID: 56393673
September 1980	New construction-swimming-pool (18 x 50) and spa; by Farrel T. Miles (architect or Engineer); Swan Pools (Contractor) for Dr. and Mrs. Klinger	City of Los Angeles Building Permit, Record ID: 56384696
September 1983	Reroof main residence with Cal shale tile roof; by Key Roofing-Tony Crauke Roofing for Dr. Klinger	City of Los Angeles Building Permit, Record ID: 56517538
Date unknown; completed during Klinger occupation (circa 1980s)	Addition of wood-clad water heater closet in northern corner on east elevation	Visual observation; confirmed by Dr. Klinger

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Approximate Date	Description of Construction Activity	Source of Information
Date unknown; completed during Klinger occupation (circa 1980s)	Paint removal (sand blasting) of exterior wall surfaces	Dr. Klinger interview
Date unknown; completed during Klinger occupation (circa 1980s)	Replacement of some board and batten siding	Dr. Klinger interview
Date unknown; completed during Klinger occupation	Replacement of all original exterior (French) doors	Visual observation; confirmed by Dr. Klinger
Date unknown; completed during Klinger occupation (circa 1980s)	Replacement of many original windows	Visual observation; confirmed by Dr. Klinger
May 1994	Repair pool house canopy (damage due to earthquake); by Termer Construction for Dr. O. Klinger.	City of Los Angeles Building Permit, Record ID: 59060097
Date unverified	Replacement of original wood shingle roof with concrete shingles	Visual observation
Date unverified	Addition of brick curb wall on north elevation	Visual observation; confirmed by Dr. Klinger
Date unverified	Addition of two air conditioning units to building roof	Visual observation

Figure 19 Construction History



Construction Narrative

A 1947 aerial photograph of Mission Hills depicts the subject property as undeveloped (Figure 20). In 1948, then-owner Lloyd Aldrich filed a City of Los Angeles building permit application for the construction of a 12-foot (ft.) by 32-ft. single-story, wood-clad dwelling (City of Los Angeles 1948a). Destroyed by fire in 1951, this dwelling was occupied by Aldrich and his wife while the property's primary residence was under construction (*Los Angeles Times* 1951). A review of available building permits indicates that the extant garage (identified as a carport and storeroom in permit records) was also constructed in the 1948. In addition to these two remaining buildings, a guest house and lath house were constructed on the subject property prior to 1950 but no longer remain (City of Los Angeles 1950).

Figure 20 1947 Aerial Image of the Subject Property (Environmental Data Resources 2017a)



In 1950, a City of Los Angeles building permit application was filed by Lloyd Aldrich for the construction of a new residence on the subject property. Although no architect or engineer is listed on the permit application, Cliff May (State License No. 18939/13151 Sunset Boulevard, Los Angeles) was cited as the contractor for the project. The permit application is for construction of a 27-ft. by 85-ft., one-story, wood-clad dwelling. The permit states that the building would have a concrete slab

foundation and be post and beam (4 by 4-inch[in.]) construction with a wood shake roof (City of Los Angeles 1950). An aerial image dated 1952 (Figure 21) depicts the subject property shortly after completion of the primary residence. The current garage is also visible in that photograph.

Archival research conducted for this study indicates that the subject property's primary residence was designed by prolific Los Angeles-based architect, Cliff May. A review of the *Cliff May Papers* (Aldrich file) indicates that Mr. and Mrs. Aldrich commissioned at least two homes from Mr. May, referred to as Aldrich House # 1 and Aldrich House # 2 in the *Cliff May Papers*. Aldrich House # 1 was located in the Sullivan Canyon area of Pacific Palisades and was identified by SurveyLA (Old Ranch Road Residential Historic District) as a significant collection of California Ranch-style residential architecture and as an important example of postwar residential development by Cliff May (Historic Resources Group 2013). Although Aldrich House # 1 was designed, construction of the home remains unverified at the current time. Further review of the Aldrich file indicates that May's original design for Aldrich House # 2 (on the subject property) was a significantly larger and more elaborate design than appears on the property today. As can be seen in Figure 22 the original design for subject property included a primary residence with a U-shaped footprint in addition to guest quarters, a laundry room and car port and stables detached from the main living space.

Figure 21 Aerial Image of the Subject Property Dated 1952 (Fairchild Aerial Survey, Inc. 1952)



Figure 22 Renderings of May's Original Design for Aldrich House #2 (May circa 1948)



In his book, *Western Ranch Houses by Cliff May*, May describes several variations of his Ranch House design, applicable to particular living situations. Although the designs contained in the book were not mass produced, they were reproduced in variation for multiple clients and therefore, do not represent custom designs in the traditional sense. The designs featured in *Western Ranch Houses by Cliff May* represent standard designs that that were customized where applicable for many clients throughout Southern California. For reasons unverifiable, May's original design for Aldrich House #2 was never pursued and in 1950, a more compact and simplified version was constructed on the subject property for Lloyd and Agnes Aldrich. The design applied to the subject property appears typical of May's 'Ranch house for a city lot,' featured on page 92 of *Western Ranch Houses by Cliff May*.

The *Cliff May Papers* include four sheets (numbers 2, 3, 4, and 5) of architectural drawings that appear to depict May's updated design for the 15151 Mission Hills Road. Although not a complete set, extant drawings include a foundation and floor plan (Figure 23), framing plan, one sheet of elevations (Figure 24) and one sheet of typical framing details. The design depicted in archived drawings of Aldrich House #2 is consistent with those obtained from Dr. Klinger (owner the subject property from 1971-2018), which were also reviewed as part of the current study. In combination with visual observation, building permit history and verbal communication with Dr. Klinger, architectural drawings were relied upon to identify alterations that have been made to the primary residence since its original design.

Figure 23 May's Updated Design for Aldrich House #2 – Floorplan and Foundation Plan (May circa 1950)

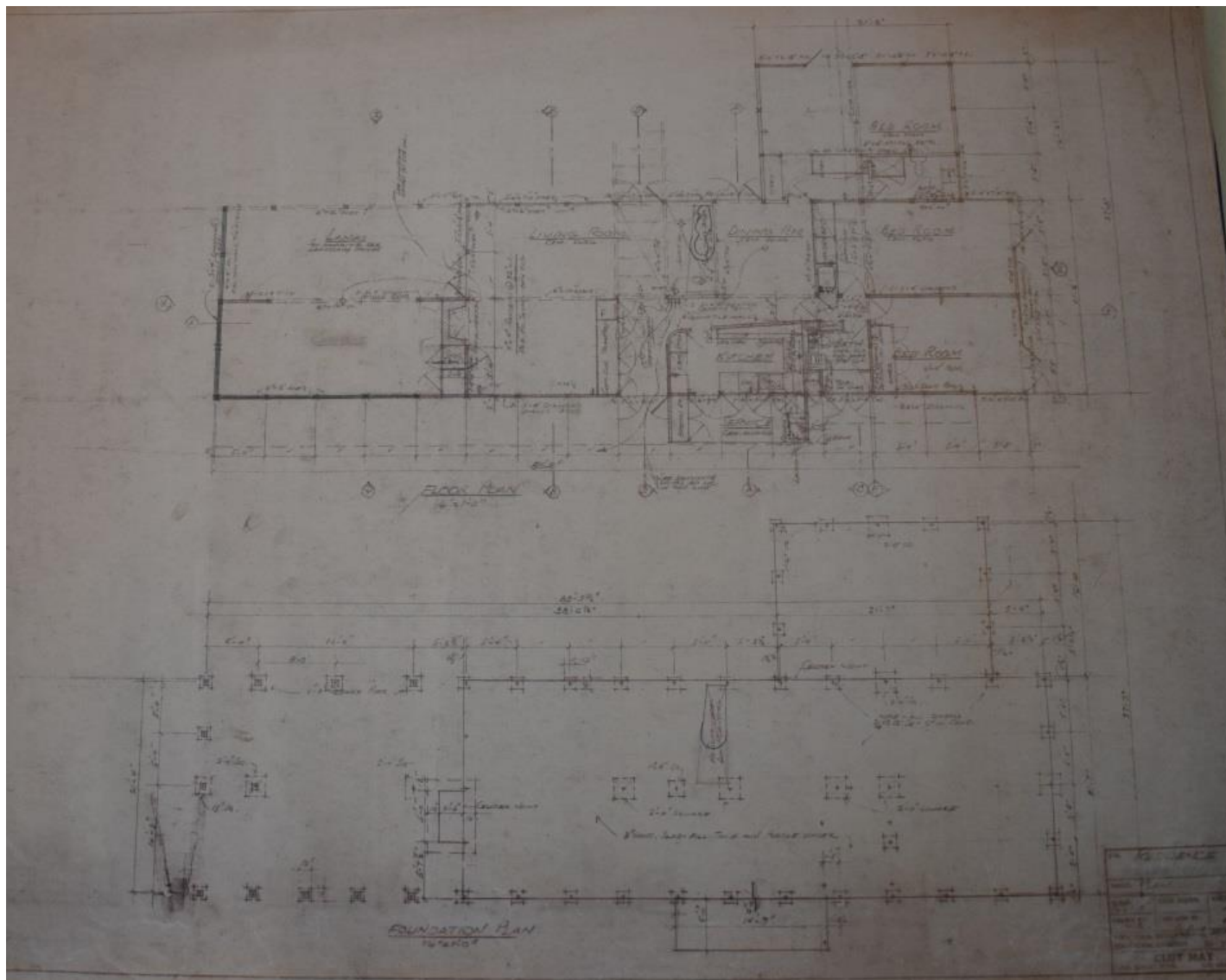
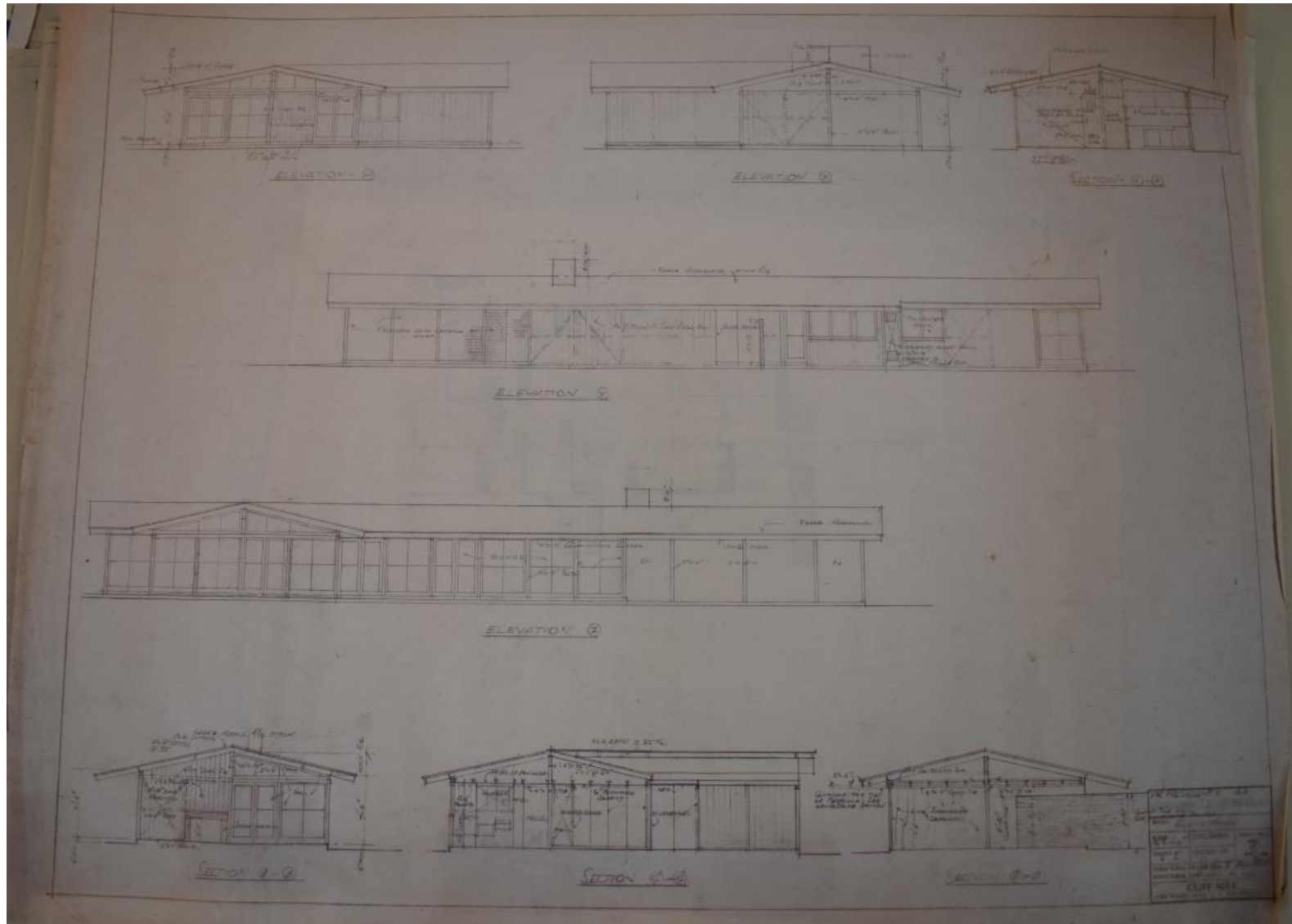


Figure 24 May's Updated Design for Aldrich House #2 – Elevation Plan (May circa 1950)



In 1953, May's design of Aldrich House #2 was altered for the first time with the addition of a 12-ft. by 21-ft. covered porch extending from the west (rear) elevation. Consistent in its materials with the house, the porch addition was framed with 4-in. by 4-in. wood piers and rafters and featured a concrete floor and wood shake roof (City of Los Angeles 1953). The permit for the porch addition is the last corresponding to the Aldrich's tenure on the subject property and appears to be the only notable alteration undertaken prior to the early 1970s.

Lloyd Aldrich passed away in 1967 and the subject property was left to his wife, Agnes, who sold the property to Dr. Klinger in the early 1970s. Dr. Klinger and his wife raised several children on the subject property and undertook alterations to suit their needs throughout the decades. In 1973, Dr. and Mrs. Klinger embarked on several large-scale modifications to the primary residence. A building permit dated March 1973 lists the architect and contractor associated with the projects as Don Ayres and John L. Drout, respectively. The permit corresponds to the following notable alterations: construction of an addition on the north elevation to accommodate expansion of the kitchen and an entry vestibule, removal of the building's primary entry as originally designed and integration of a new entryway into the aforementioned addition and conversion of the lanai and carport that originally occupied the building's east end to interior space to contain an additional bed and bathroom (City of Los Angeles 1973). These alterations are further described in the following.

To accommodate a kitchen expansion, a 15-ft. by 31-ft. addition was added to the residence's primary elevation. The addition is distinguishable in both its materials of construction and design from original portions of the building. It features brick cladding and a flat roof, materials and forms that do not appear elsewhere in the building's design (Figure 25 and Figure 26).

Figure 25 1973 Kitchen Addition; View to South

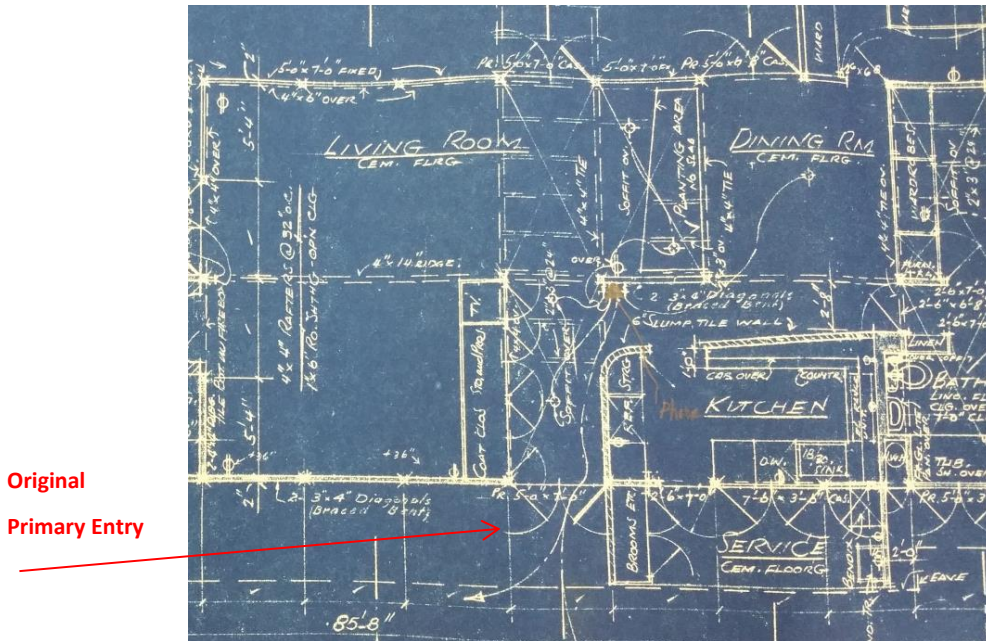


Figure 26 1973 Kitchen Addition; View to East



In addition to expansion of the kitchen, the 1953 addition accommodated the redesign of the building's primary entry. The original primary entry design included a set of double, north-facing doors centrally placed on the north elevation. Upon entry to the building from this set of doors, access to a central and open hallway running the building's width was immediately accessible. The hallway culminated in a set of south-facing, double doors on the south elevation, directly across from those on the north providing a view and method of circulation through the building (Figure 27).

Figure 27 Architectural Drawings Depicting May's Original Entrance Design (May circa 1950)



The 1973 redesign included the expansion of the central hallway northward to provide space for an entry vestibule and coat closet. As a component of this redesign, the primary entry doors were reoriented from north to east-facing essentially cutting off the former view and method of circulation original to May's design intent (Figure 28 and Figure 29).

Figure 28 Architectural Drawings Depicting 1973 Entrance Redesign (Ayes 1973)

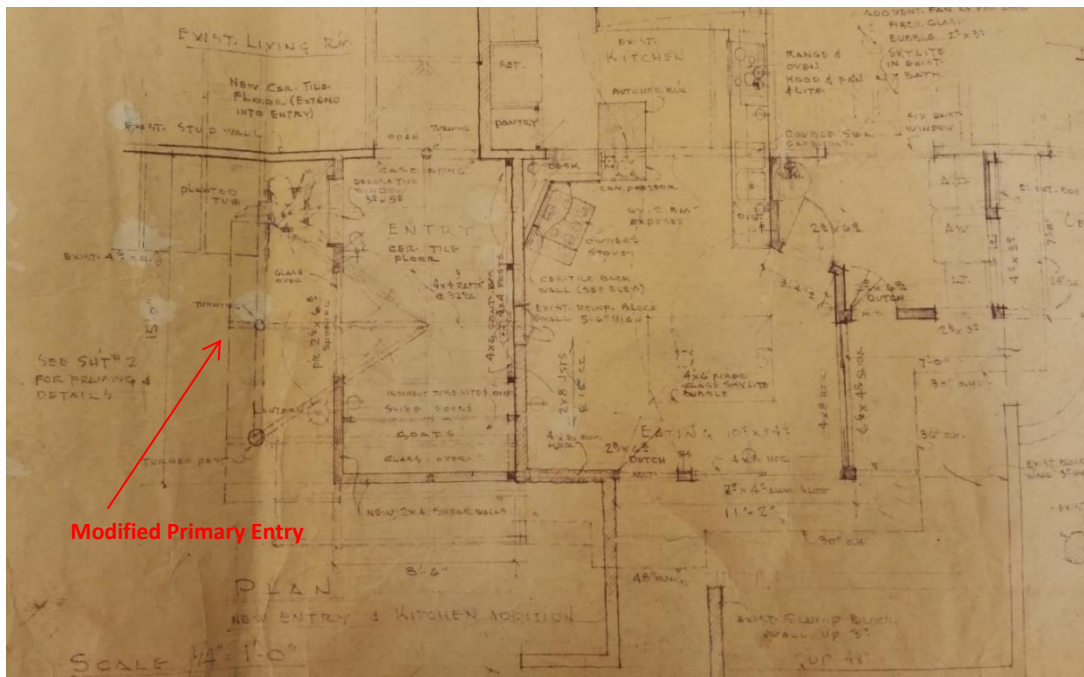


Figure 29 Current Primary Entry



Alterations completed in 1973 additionally include the conversion of what were originally a lanai and carport (Figure 30) to interior living space. As originally designed, the building's interior living space terminated roughly 20 ft. west of what is currently its eastern exterior wall. In its original design, the east gable end of the building functioned as a protected outdoor space encompassing a covered porch and carport. However, to create additional interior living space, interior partition walls were constructed and wood siding, fixed glass windows and doors were installed to enclose formally open walls (Figure 31).

Figure 30 Original Floorplan Drawing Indicating May's Original Design for the Building's East End (May circa 1950)

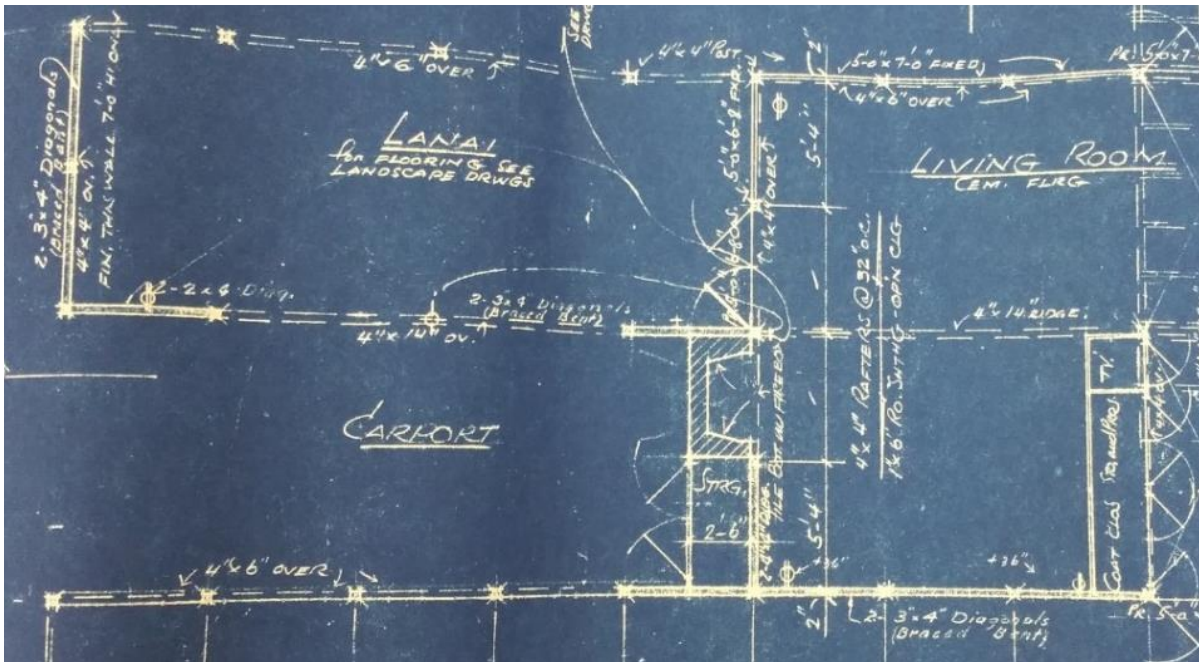
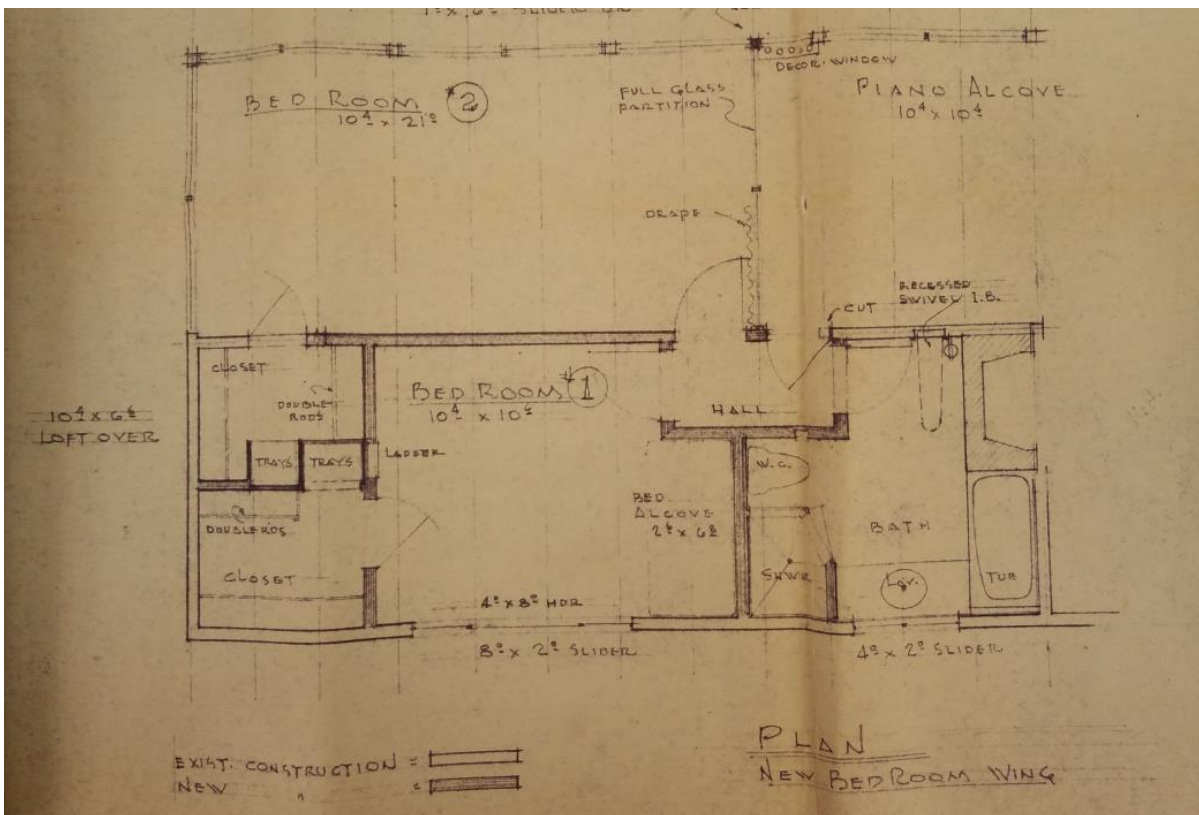




Figure 31 Architectural Drawings Depicting 1973 Entrance Conversion of Lanai and Carport to Bed and Bathroom (Ayes 1973)



In 1980, Dr. and Mrs. Klinger applied for a building permit for the construction of a new building, a guesthouse measuring 15 ft. by 36 ft. (City of Los Angeles 1980a). Also in 1980, the Klingers had a pool, spa, and accompanying C-shaped awning surrounding the pool installed (City of Los Angeles 1980b). These additions were constructed roughly 65 feet northwest of the primary residence.

The Klinger family owned and resided at the subject property from 1971-2018. In addition to the large modifications described above, many smaller alterations were pursued during this period. Archival research and verbal communication with Dr. Klinger indicate that alterations such as the installation of tile over large portions of interior and exterior floor surface areas and window and door replacement have occurred. Table 5 lists some of the more minor modifications undertaken during the period that the property was owned by Dr. Klinger. The property's construction history, as described above is additionally graphically displayed in Figure 19.

Table 5 Additional Klinger Occupation Alterations

Description of Construction Activity	Photograph
Addition of Arabesque patterned clay tile on interior and exterior ground surfaces	
Addition of wood-clad water heater closet in northern corner on east elevation	

Description of Construction Activity

Photograph

Paint removal (sand blasting) of exterior wall surfaces;
siding replacement in particular locations



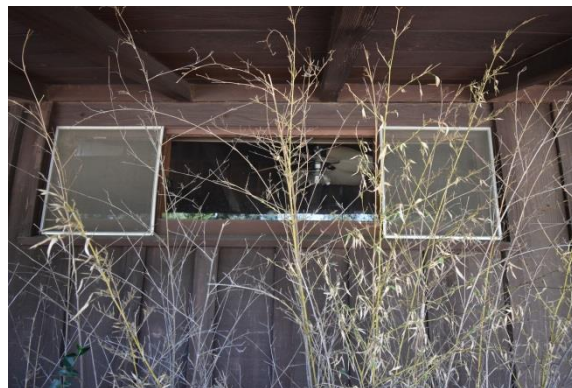
Replacement of all original exterior (French) doors





Replacement of many original windows (pattern of
windows appears extant)



Addition of two window openings to north elevation



Description of Construction Activity	Photograph
Brick curb wall/planter on north elevation	
Addition of two air conditioning units to building roof Removal and replacement of original wood shingle roof cladding with cement shingles	

Source: Interview with Dr. Klinger (April 10, 2018)

Ownership History

As previously noted, the subject property was originally developed by Lloyd and Agnes Aldrich beginning in the late 1940s. The Aldrich's owned and resided on the property until Lloyd's death in 1967. Agnes appears to have retained ownership of the property until it was sold to Dr. Klinger in the early 1970s. Dr. Klinger and his wife raised several children on the subject property and resided on site until 2018. Additional information pertaining to Lloyd Aldrich, potentially significant in the history of Los Angeles, is provided below for consideration

Lloyd Aldrich

Lloyd Aldrich was born in Marion Kansas and moved to Los Angeles at three months old. He obtained a Civil Engineering degree from Illinois University, following which point he served in various engineering positions including the following: engineer for the U.S. Reclamation Service, Highway Engineer for Stanislaus County, Highway Engineer for Fresno County and County Engineer for Sonoma County prior to his work for the city of Los Angeles. Aldrich was appointed City Engineer, a role he maintained for 22 years, in 1933. Aldrich was extensively involved in Los Angeles' Works Progress Administration (WPA) program. His accomplishments as City Engineer include the construction of the Hyperion Sewage Treatment Plant, one of the first large secondary treatment plants on the west coast and one of the most modern facilities in the world at the time of its construction. Aldrich additionally designed 400 bridges throughout Los Angeles (Los Angeles A

Environment and Sanitation 2021; Los Angeles Bureau of Engineering 2021). Aldrich ran an unsuccessful campaign for Mayor of Los Angeles in 1949.

Evaluative Framework for Historic Resources in Los Angeles

15151 Mission Hills Road has not been previously subject to historical evaluation. It is situated in the Mission Hills-Panorama City-North Hills CPA and was not identified by SurveyLA. The property is not located in a previously designated or potential historic district. The following evaluation is based on the methodology and framework developed by SurveyLA. A review of Context/Theme/Property Type (CTP)s indicates that two CTPs appropriate for application to the evaluation of 15151 Mission Hills Road, outlined below.

CTP #1: Architecture and Engineering-The Ranch House

Context: Architecture and Engineering, 1850-1980

Theme: The Ranch House, 1930-1975

Sub Theme: Contemporary Custom Ranch House, 1945-1975

Property Type: Residential

Property Sub Type: Single-Family Residence

Period of Significance: 1945-1975

ELIGIBILITY STANDARDS

- Is an important individual example that exemplifies the Contemporary Ranch Style and Ranch house type
- Was constructed during the period of significance
- Was custom designed (as opposed to mass-produced)

CHARACTER-DEFINING FEATURES

- 1,500-3,500 square feet in size
- Abstract in form
- Carports common
- Gable ends filled with clerestory windows
- Gable roofline, sometimes low-pitched
- Many are post and beam construction
- Modern ornamental details
- One or two stories in height
- Plain fascia board trim
- Porches or carports may be screened with concrete block or wood screen in an abstract design
- Typically designed by a well-known architect
- Wall materials or stucco, vertical and horizontal wood board, board and batten
- Windows and doors treated as void elements composed to balance solid walls

INTEGRITY CONSIDERATIONS

- Additions may be allowed if not visible within the public view

Ararat Homes Residential Care and Nursing Facility Project

- Roof line alterations are not acceptable
- Should retain integrity of Location, Design, Materials, and Workmanship

CTP #2: Other Context-Important Persons/Individuals

Context: Other Context, 1850-1980

Theme: Important Persons/Individuals, 1850-1980

Sub Theme: No Sub-Theme

Property Type: Residential

Property Sub Type: Single-Family Residence

Period of Significance: 1850-1980

ELIGIBILITY STANDARDS

- More research needed
- Resources does not meet Eligibility Standards
- No Eligibility Standards Checked
- Is associated with persons who made important individual contributions to the history of Los Angeles

CHARACTER-DEFINING/ASSOCIATIVE FEATURES

- Retains most of the essential physical features from the period of significance
- Persons may be important for ethnic/cultural associations
- Directly associated with the productive life of the individual in the field in which he/she achieved significance
- For residential properties, the individual must have resided in the property during the period in which he or she achieved significance
- For the National Register, properties associated with individuals whose significant accomplishments date from the last 50 years must pose exceptional importance
- More research needed
- Resource does not retain sufficient CDFs/Associative Features
- No CDFs/Associative Features checked

Evaluation

The subject property includes a two-car garage constructed in 1949, a one-story Ranch-style house constructed in 1950 and a guesthouse, pool and spa constructed in 1981. As a result of the current study, the subject property is recommended ineligible for federal, state, or local designation, either individually, or as a contributor to any existing or potential historic districts.

Significance Criterion A/1/1

The subject property does not appear eligible for its association with significant events. It was originally developed in 1948 with a small dwelling utilized by then-owner Lloyd Aldrich and his wife Agnes as a residence during the construction of their Ranch house. According to building permit records, by the time the primary residence was constructed in 1950, the property included a garage,

guest house and lath house. While the guest and lath house are no longer extant, the garage and primary residence remain. The property additionally includes a guest house sited adjacent to a developed pool area, constructed in the early 1980s by the property's second owners, Dr. and Mrs. Otto Klinger.

The subject property is one of numerous residences constructed as part of the rapid suburbanization that occurred in the Mission Hills-Panorama Hills-North Hills CPA in the post-World War II period. Review of the *Historic Resources Survey Report for the Mission Hills-Panorama City-North Hills CPA* confirms that suburban development occurred at an accelerated pace in the Mission Hills area in the post-war decades and that detached single-family residences constructed after World War II account for the majority of residential development in the CPA (ARG 2014). While the subject property is associated with the theme of suburbanization of the Mission Hills-Panorama Hills-North Hills CPA, the archival research conducted for this study failed to suggest that it is significant within that theme. As the suburbanization of the CPA was well underway by the time the primary residence was constructed in 1950 and the property does not represent a very early period of suburban residential development in the area. As countless single-family residences constructed following World War II remain in the CPA, the subject property is not a rare surviving example of a property from this period. Additionally, the subject property does not appear to represent any of the SurveyLA-identified themes of significance included within the context of Residential Development and Suburbanization, 1880-1980 (Early Residential Development, 1880-1930, Trailer Parks and Mobile Home Parks, 1920-1969, Tract Housing In California, 1945-1973, Multi-Family Residential Development, 1895-1970, Garden Apartments of Los Angeles, Public House in the United States, 1933-1949).

This study failed to identify any significant associations that the subject property has in the history of the city, region, state, or nation. It is therefore recommended ineligible for listing under Criterion A/1/1.

Significance Criterion B/2/2

Archival research indicates that the subject property is associated with Lloyd and Agnes Aldrich, owners from 1948-1967, and Dr. and Mrs. Otto Klinger, owners from 1967-2018. The research conducted for this study failed to indicate that the Klingers are significant individuals historically speaking. However, Lloyd Aldrich may qualify as an individual significant in the history of Los Angeles. Aldrich acted as City Engineer for Los Angeles for 22 years, during which time he made many contributions to the built environment of the city, including 400 bridges and design of the Hyperion Sewage Treatment Plant, one of the first large secondary treatment plants on the west coast and one of the most modern facilities in the world at the time of its construction. Along with his wife Agnes, Lloyd Aldrich was the original owner of the subject property. He commissioned the extant garage and primary residence and resided on the property from 1948 to his passing in 1967.

Integrity considerations for CTP #2 dictate that in order to meet eligibility criteria for residential properties, a significant individual must have resided in the property during the period in which they achieved significance. The property's primary residence was designed and constructed by Cliff May for Lloyd Aldrich in 1950 and became his primary residence following his retirement from the City of Los Angeles in 1955. Following his retirement, Aldrich participated in consulting work and ran, unsuccessfully, for mayor of Los Angeles. Aldrich's potential significance in relation to the city of Los Angeles, spans his time as City Engineer, from 1933 to 1955, and was achieved prior to his tenure on the subject property. As such the property does not appear to meet the eligibility standards of this CTP. Archival research failed to identify any other significant persons associated with the subject

property. Archival research also failed to reveal that any of the other individuals associated with the property made significant contributions to history at the local, state, or national level. The subject property is therefore recommended ineligible for listing under Criterion B/2/2.

Significance Criterion C/3/3

The primary residence on the subject property was designed by prominent Los Angeles-based architect Cliff May in the Ranch style, for which he is known. At the time of its construction, the subject building may have embodied the distinctive characteristics of a Contemporary Custom Ranch House and may have also been a representative example of the work of noted architect Cliff May. However, since the time of the building's construction, its original design has been extensively altered.

Several modifications to the building have impacted its original design; these include: a porch addition to the west gable end (1953), an addition to the primary elevation to accommodate a kitchen expansion and entry vestibule (1973), redesign of the primary entry including reorientation from north-facing to east-facing (1973), and conversion of the lanai and carport, originally a partially exterior space, to interior space to accommodate an additional bed and bathroom (1973). In addition to these major alterations, a wide range of smaller modifications have had an accumulated impact on the building's integrity of design, workmanship, and materials. Smaller-scale modifications include the application of arabesque patterned clay tile to many floor surfaces surrounding and on the building interior, addition of window openings to the building's north elevation, and the replacement of all original doors and many original windows.

Integrity considerations included in CTP #1 state that significant resources should retain integrity of location, design, materials and workmanship, that additions may be allowed if not visible within the public view and that roof line alterations are not acceptable. The primary residence's integrity of design, materials and workmanship has been compromised due to the alterations noted above. It has two additions, one of which is highly visible upon approach to the property from the driveway, its only point of entry from Mission Hills Road. Additionally, portions of the building's roofline have been altered to accommodate said addition. None of the other buildings on the property (two-car garage and guesthouse) represent the work of a master or embody the distinctive characteristics of a type, period, region, or method of construction. The subject property does not meet the eligibility criteria as outlined in CTP #1 and it is therefore recommended ineligible for listing under Criterion C/3/3.

Significance Criterion D/4

The research conducted for this study provide no evidence that the subject property may yield important information about prehistory or prehistory. The subject property is recommended ineligible for listing under Criterion D/4.

Integrity Assessment

Integrity is the ability of a property to convey its historic significance. In order to retain integrity, a significant property must not only resemble its historic appearance, but it must also retain physical materials, design features and aspects of construction that date from the period when it attained significance. According to the NPS, there are seven aspects of integrity: location, design, setting, materials, workmanship, feeling and association (NPS 1995). A property that retains integrity will possess several of these aspects, with those which are most relevant dependent on the property's significance. In the case of properties with potential architectural significance, the aspects of

integrity that relate to its physical features, for example integrity of design, materials, and workmanship, are paramount in the property's ability to retain integrity and convey significance.

The research conducted for this study indicates that the subject property includes one building, the primary residence, which possesses potential significance. Therefore, the following integrity assessment is focused primarily on that building. According to SurveyLA, integrity considerations for the Ranch House CTP indicate that eligible resources should retain integrity of location, design, materials and workmanship. All seven aspects of integrity as they relate to the primary residence are detailed below.

Location

The primary residence has not been moved from its original location. Therefore, it retains integrity of location.

Design

The primary residence was designed by prominent Los-Angeles based architect Cliff May. Archival research indicates that Cliff May's original design for the subject property deviates significantly from that which is extant today. In its inception, Aldrich House #2 was a larger scale version of a Traditional Custom Ranch Style home. For reasons unverifiable, May's original design was never executed on the subject property and the primary residence was constructed for Lloyd and Agnes Aldrich in 1950 in a design akin to a 'Ranch house for a city lot.'

According to the archival research conducted for this study, many alterations to May's design for the primary residence have been made. Alterations include a porch addition to the west gable end (1953), an addition to the primary elevation to accommodate a kitchen expansion and entry vestibule (1973), redesign of the primary entry including reorientation from north-facing to east-facing (1973), conversion of the lanai and carport, originally a partially exterior space, to interior space to accommodate an additional bed and bathroom (1973), in addition to a variety of smaller-scale modifications. Due to these alterations, the building's integrity of design has been substantially reduced.

Setting

The subject property was initially developed in the late 1940s and the primary residence was constructed in the early 1950s. At the time of its development, the area surrounding the subject property was a mix of undeveloped land, much of it occupied with agriculture, and suburban housing tracts. At that time, neither I-5 nor I-405 had been constructed. Today, the subject property is surrounded with dense suburban development and I-5 and 405 converge roughly 0.5 mile from the property.

An important aspect of many Ranch style residences, certainly Cliff May designs, was the interconnectedness of indoor and outdoor spaces. Many Ranch Houses designed by May featured garden or patio areas integrated into interior space with the use of glass walls. Additionally, May often employed landscape designs by Thomas D. Church on his projects. It remains unconfirmed whether Church was involved in the landscape design for the subject property.

A 1952 aerial photograph of the subject property depicts a neatly laid out parcel, the primary residence surrounded with hardscaping or compacted earth and a system of retaining walls, planters and pathways. A row of trees defines the eastern boundary of the parcel's developed area. While the building's patios have been partially retained, their integrity has been compromised due

to a high degree of alteration. Many of the features originally extant on the property have been removed and the parcel has been further developed with landscaping (in addition to buildings and a pool). Despite alterations to the property's larger setting as a result of encroaching development, its relatively large size has enabled the partial retention of its integrity of setting. However, the integrity of the primary residence's setting has been substantially reduced as a result of alterations to its immediate setting.

Materials

Original materials comprising the primary residence included a concrete slab foundation, 4 in. by 4 in. post and beam framing, wooden board and batten siding, a variety of doors and window types including metal and wood-framed, and a wood shake roof (Cost Estimate Sheet, UCSB Archive). Some of the building's original materials of construction, including its foundation, framing and some cladding remain. However, portions of the building's exterior wall surfaces have been re-clad, and all original French Doors have been removed and replaced. Although the pattern of openings appears to be intact, most windows within the house have been replaced in addition to the integration of new openings on the north elevation. The building's roofing material has been replaced. Due to these alterations, the building has reduced integrity of materials.

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture of people during a given period in history. Much of that which identifies the workmanship of the primary residence has been diminished through alteration or replacement of its original features. Therefore, its integrity of workmanship has been substantially reduced.

Feeling

Although altered, upon initial viewing, the primary residence clearly presents as featuring a Ranch House design. Despite alterations, it retains many of the features associated with Ranch House design including exposed framing, low slung roofline with wide, overhanging eaves, and expanses of glass openings to connect its interior and exterior spaces. Therefore, the primary residence retains integrity of feeling.

Association

The subject property retains integrity of association. Although it has been altered, its original design is identifiable despite alterations.

Summary of Integrity Assessment

Overall, the subject property does not retain sufficient integrity to convey its association as a Contemporary Custom Ranch House designed by noted architect Cliff May. The collective alterations that the property has undergone have resulted in a loss of integrity of design, setting, materials, and workmanship. In applying the SurveyLA integrity considerations for the Ranch House, 1945-1975, a property with potential significance should retain integrity of location, design, materials and workmanship. As the subject property retains only two out of seven aspects of integrity it does not retain sufficient integrity to meet the eligibility criteria required for federal, state, or local designation.

6.2 15155 Mission Hills Road

Physical Description

15155 Mission Hills Road is an irregularly shaped parcel totaling just over an acre which is accessible from a steep private drive that extends northwest from Mission Hills Road. The parcel is composed of hilly terrain and includes a one-story, single-family residence constructed in 1964 in a minimal version of the Ranch Style (Figure 32). The building measures roughly 93 ft. by 38 ft. and features an irregular footprint. A two-car garage is attached at south to the residential portion of the building at an angle. The building appears to sit on a concrete slab foundation, although the foundation is not visible from the building exterior and is not noted on building permits. Cladding is wooden and includes board and batten and horizontal lap siding. The building is topped with a gabled roof clad in composite shingles and closed eaves. A rectangular, stone-clad chimney rises centrally from the ridge. At rear (west), a wooden trellis shelters an outdoor patio. The building is surrounded with landscaping including a variety of mature trees.

Figure 32 Primary Elevation of Residence at 15155 Mission Hills Road



Developmental History

Historic-period aerial imagery depicts 15155 Mission Hills Road as undeveloped property into the early 1960s (NETRonline 2021). In 1963, owner Harold Sturgeon applied for a City of Los Angeles grading permit to level a portion of the property (City of Los Angeles building permit record ID: 55166941). On June 18 of the same year, Mr. Sturgeon applied for a building permit for the construction of a dwelling and attached garage on the property (City of Los Angeles building permit record ID: 55194824). The permit application describes the proposed building as a single-story, wood-framed, stucco clad and topped with a wood roof. The permit lists a T. Bennett as the building's designer. These permits are the only two currently on file that correspond to the property.

A review of available historic-period city directories and newspaper articles indicates that the property's original owners, Rachel and Harold Sturgeon were married in 1947. Rachel appears to have worked as a waitress for much of her life and in 1963 and 1964, Harold was a policeman (Ancertry.com 2021; *The Signal* 2010). The research conducted for this study failed to confirm how long Harold and Rachel Sturgeon occupied 15155 Mission Hills Road and was additionally unable to identify successive occupants of the property.

As noted previously, there are few permits on file with the city of Los Angeles that correspond to 15155 Mission Hills Road. Visual observation indicates that the building's roofing material has been replaced. The property's original building permit noted that the building proposed for the property in 1963 was stucco clad. If this information is accurate, the building has been reclad in wood. The building appears otherwise intact.

Evaluation

15155 Mission Hills Road has not been previously subject to historical evaluation. It is situated in the Mission Hills-Panorama City-North Hills CPA and was not identified by SurveyLA. The property is not located in a previously designated or potential historic district. The following evaluation is based on the methodology and framework developed by SurveyLA. A review of Context/Theme/Property Type (CTP)s indicates that one CTP (CTP #1: Architecture and Engineering-The Ranch House; previously outlined) is appropriate for application to the historical evaluation for 15155 Mission Hills Road, outlined below. 15155 Mission Hills Road includes a single-story Ranch House constructed in 1963. As a result of the current study, the property is recommended ineligible for federal, state, or local designation, either individually, or as a contributor to any existing or potential historic districts.

Significance Criterion A/1/1

15155 Mission Hills Road does not appear eligible for its association with significant events. The residence on the property was developed in 1963 with a single-family Ranch style house. 15155 Mission Hills Road is one of numerous residences constructed as part of the rapid suburbanization that occurred in the Mission Hills-Panorama Hills-North Hills CPA in the post-World War II period. The SurveyLA report prepared for this CPA confirms that suburban development occurred at an accelerated pace in the Mission Hills area in the post-war decades and that detached single-family residences constructed after World War II account for the majority of residential development in the CPA (ARG 2014). While the property is associated with the theme of suburbanization of the Mission Hills-Panorama Hills-North Hills CPA, the archival research conducted for this study failed to suggest that it is significant within that theme. By the time the existing residence was constructed in 1963, the CPA has been significantly developed with suburban residences and the property is not an early of a suburban residence in the area. 15155 Mission Hills Road is one of countless single-family residences constructed following World War II that remain in the CPA. Therefore, it is not a rare surviving example of a property from this period. Additionally, the subject property does not appear to represent any of the SurveyLA-identified themes of significance included within the context of Residential Development and Suburbanization, 1880-1980 (Early Residential Development, 1880-1930, Trailer Parks and Mobile Home Parks, 1920-1969, Tract Housing In California, 1945-1973, Multi-Family Residential Development, 1895-1970, Garden Apartments of Los Angeles, Public House in the United States, 1933-1949). Archival research additionally failed to identify any significant associations the property has in the history of the city, region, state, or nation. It is therefore recommended ineligible for listing under Criterion A/1/1.

Significance Criterion B/2/2

As its original owners, the property is associated with Rachel and Harold Sturgeon. No information to indicate that either of the Sturgeons may qualify as a significant individual was identified by the background and archival research conducted for this study. Archival research failed to identify any additional individuals associated with 15155 Mission Hills Road. It is therefore recommended ineligible for listing under Criterion B/2/2.

Significance Criterion C/3/3

15155 Mission Hills Road includes one residence constructed in a restrained version of the Ranch Style. While the building integrates some of the features that define that character of the Ranch Style, including its single-story height and low-pitched gable roof, it is not considered exemplary of the style. The property is therefore recommended ineligible for listing under Criterion C/3/3

Significance Criterion D/4

The research conducted for this study provide no evidence that the subject property may yield important information about prehistory or prehistory. The subject property is recommended ineligible for listing under Criterion D/4.

7 Findings and Conclusions

Archaeological Resources

The project site is located approximately 0.5 mile north of Mission San Fernando. The CHRIS search identified five cultural resources, including three historic period resources associated with the mission, that have been previously recorded within 0.50-mile of the project site; none of these resources are located within the project site. Due to the presence of Mission San Fernando approximately 0.5 mile to the south and three previously recorded Mission-related resources within 0.50-mile of the project site, the project site is considered sensitive for historic-period archaeological resources. The 2018 SLF search conducted for this study returned negative results; however, a SLF search conducted in 2021 was positive. Additionally, during the Native American outreach conducted for the study in 2018 and 2021, Native American contacts identified the project site as culturally sensitive. In addition, the 2018 outreach resulted in a request for Native American monitoring during project-related development within previously undisturbed areas. Although the pedestrian archaeological survey conducted for this study was negative, the project site is considered sensitive for archaeological due to its proximity to the mission.

As a result of the information summarized above, Rincon recommends a CEQA finding of ***less than significant impact to archaeological resources with mitigation incorporated***. The Following Mitigation Measures (CUL-1 Worker's Environmental Awareness program and CUL-2 Cultural Resources Monitoring) are recommended. Additionally, the following best managements practices (Discovery of Cultural Resources and Unanticipated Discovery of Human Remains) are recommended in the event of the discovery of cultural resources or human remains during project construction.

Mitigation Measures

WORKER'S ENVIRONMENTAL AWARENESS PROGRAM

A Worker's Environmental Awareness Program (WEAP) training on archaeological sensitivity shall be conducted by a qualified archaeologist meeting the Secretary of the Interior's Professional Qualification Standards for archaeology (National Park Service 1983) and a Native American representative for all construction personnel prior to the commencement of any ground disturbing activities. The WEAP training should include a description of the types of cultural material that may be encountered, cultural sensitivity issues, the regulatory environment, and, in the event of a discovery, the proper protocol for treatment of the materials. Attendees shall include construction supervisors, equipment operators, Ararat Homes, and City of Los Angeles staff to ensure that all parties understand their respective roles and responsibilities. Attendees will fill out a sign-in sheet acknowledging that they received the WEAP training.

CULTURAL RESOURCES MONITORING

A qualified archaeologist and Native American representative shall observe ground-disturbing activities up to five feet below the surface of native intact soil, unless there is evidence to suggest cultural resources extend below the specified depth. Ground disturbing activities include, but are not limited to, tree/shrub removal and planting, clearing/grubbing, grading, excavation, trenching, drainage and irrigation removal and installation, and archaeological work. If cultural resources are

encountered, the qualified archaeologist and Native American representative shall have the authority to request ground disturbing activities cease within 50 feet of the discovery to assess and document potential finds. After approximately 50 percent of initial ground-disturbing activities have been completed, the qualified archaeologist and Native American representative shall discuss with Ararat Homes and City of Los Angeles staff the potential to reduce the level of cultural resources monitoring to “spot monitoring” or even to cease cultural resources monitoring based on the condition and types of soil observed during monitoring and the monitoring results to date.

Best Management Practices

UNANTICIPATED DISCOVERY OF CULTURAL RESOURCES

In the event that archaeological resources are unexpectedly encountered during ground-disturbing activities, work within 50 feet of the find shall halt and an archaeologist meeting the Secretary of the Interior’s Professional Qualifications Standards for archaeology (National Park Service 1983) shall be contacted immediately to evaluate the resource. If the resource is determined by the qualified archaeologist to be prehistoric, then a Native American representative shall also be contacted to participate in the evaluation of the resource. If the qualified archaeologist and/or Native American representative determines it to be appropriate, archaeological testing for CRHR eligibility shall be completed. If the resource proves to be eligible for the CRHR and significant impacts to the resource cannot be avoided via project redesign, a qualified archaeologist shall prepare a data recovery plan tailored to the physical nature and characteristics of the resource, per the requirements of the California Code of Regulations (CCR) Guidelines Section 15126.4(b)(3)(C). The data recovery plan shall identify data recovery excavation methods, measurable objectives, and data thresholds to reduce any significant impacts to cultural resources related to the resource. Pursuant to the data recovery plan, the qualified archaeologist and Native American representative, as appropriate, shall recover and document the scientifically consequential information that justifies the resource’s significance. The City shall review and approve the treatment plan and archaeological testing as appropriate, and the resulting documentation shall be submitted to the regional repository of the California Historical Resources Information System, per CCR Guidelines Section 15126.4(b)(3)(C).

UNANTICIPATED DISCOVERY OF HUMAN REMAINS

In the unlikely event of an unexpected discovery of human remains, all ground-disturbing activities in the vicinity of the discovery will be immediately suspended and redirected elsewhere. All steps required to comply with State of California Health and Safety Code Section 7050.5 and Public Resources Code Section 5097.98 including contacting the Los Angeles County Coroner will be implemented. If the human remains are determined to be prehistoric, the coroner will notify the NAHC, which will determine and notify a most likely descendant (MLD). The MLD shall complete an inspection of the site and provide recommendations for treatment to the landowner within 48 hours of being granted access.

Built Environment Resources

This study identified the presence of two properties featuring historic-period development at 15151 and 15155 Mission Hills Road, within the project site. These two properties were recorded on DPR forms and evaluated for historic significance. As a result of this study, 15151 and 15155 Mission Hills Road are recommended ineligible for listing in the NRHP, CRHR and as Los Angeles HCMs and therefore, are not considered historical resources for the purposes of CEQA.

Ararat Homes Residential Care and Nursing Facility Project

The background research conducted for this study identified one SurveyLA identified resource in the immediate vicinity of the proposed project site, Eden Memorial Park Cemetery, located adjacent (to the west) of the proposed project site. All potential impacts associated with construction of the proposed project are anticipated to be temporary in nature and will not result in permanent impacts to Eden Memorial Park Cemetery. While the proposed project will introduce several buildings to the vicinity of Eden Memorial Park Cemetery, the property that encompasses the potential resource is expansive and overall, its setting, which includes development such as I 405, would not be significantly altered by the proposed project.

As a result of the information summarized above, Rincon recommends a CEQA finding of ***less than significant impact to historical resources.***

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Appendix A

Preparer Qualifications



Shannon Carmack

Principal/Architectural History Program Manager

Shannon has more than 20 years of professional experience providing cultural resources management and historic preservation planning for large-scale and high-profile projects. She has worked throughout California in numerous sectors including local planning, development/construction, public utilities, Department of Defense, transportation, recreation, and education. Shannon prepares documentation to satisfy CEQA/NEPA, Section 106, and Local Historic Preservation Ordinances. She also provides reports and studies that are in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties and the California Historic Building Code. She has developed and implemented successful mitigation for countless projects that included Historic American Building Survey documentation, oral histories, and interpretive programs. Shannon meets and exceeds requirements in the Secretary of the Interior's Professional Qualification Standards in Architectural History and History. Her experience includes being the Senior Architectural Historian on several projects including the City of Beverly Hills 9006 Wilshire Boulevard Historic Assessment, City of West Hollywood – 7965-7985 Santa Monica Boulevard EIR, and City of West Hollywood – Perry Hotel and Residences Cultural Resources Report.

EDUCATION

BA, History, emphasis in American History, California State University, Long Beach
AA, Anthropology, Orange Coast College; California

CERTIFICATIONS/ REGISTRATIONS

Green Strategies for Historic Buildings, National Preservation Institute
CEQA Workshop Training, AEP
Oral History Methods, CSU Long Beach
Identification and Evaluation of Mid-20th Century Buildings, National Preservation Institute
Section 4(f) Cultural Resources Compliance for Transportation Projects, National Preservation Institute

YEARS OF EXPERIENCE

20+

SELECT PROJECT EXPERIENCE

Principal Architectural Historian, Metropolitan Water District of Southern California – On-Call Environmental Services, Various Counties

Shannon has served as Principal Architectural Historian for multiple historic building documentation packages for Metropolitan. These documents were completed as part of the cultural resources mitigation adopted for various site and facilities improvements projects and documented significant properties such as filter buildings and wastewater reclamation plants. For these efforts, Mr. Carmack served in a senior oversight capacity, coordinating with staff to gather historical photographs, documents, and other materials on behalf of Metropolitan. Reports were subsequently prepared presenting the as-built and existing conditions of the properties, narrative statements of significance, and compiled historical documentation.

Senior Architectural Historian, Various Clients – F.E. Weymouth Treatment Plant Various Projects, Various Counties/Cities, California

Shannon has completed historic building documentation packages for the Filter Rehabilitation and Chemical Upgrades projects at the F.E. Weymouth Water Treatment Plant. Most recently, Shannon has led the preparation of a Preliminary Historic Design Review of the Plant Administration and Control Buildings Seismic Upgrades to help inform the appropriate CEQA documentation for the project.

Principal Architectural Historian, City of Long Beach – 300 Studebaker Road Industrial Park Project, Los Angeles County

Shannon has served as Principal Architectural Historian for the cultural resources study. The project included the development of two concrete tilt-up industrial buildings, as well as 1.81 acres designated as open space. For these efforts, Mr. Carmack served in a senior oversight capacity, coordinating with staff to complete fieldwork, archival research, Tribal coordination and report preparation.



Senior Architectural Historian, City of Long Beach – 3655 N. Norwalk Boulevard Project, Los Angeles County

Shannon served as Senior Architectural Historian for the project to redevelop a church property constructed in 1969 into a residential development. Shannon conducted a survey of the subject property, historic research, significance evaluation and preparation of a historic assessment report. The results of the analysis found that the chapel appeared individually eligible for listing as a City of Long Beach Landmark and considered a historical resource for the purposes of CEQA. Mitigation measures were developed to mitigate the demolition of the chapel and reduce significant impacts to the historical resource.

Senior Architectural Historian, City of Long Beach – Long Beach Civic Center Project, Los Angeles County

Shannon served as the Senior Architectural Historian for the Long Beach Civic Center Project, to redevelop the 16-acre Civic Center site. The study included a cultural resources records search, Native American scoping, an intensive pedestrian survey of the Project Site, evaluation of historic built environment resources, and preparation of the technical report. The study found that the site, which included the City Hall-Library Complex was eligible for local historic designation as a City Landmark and is considered a historical resource under CEQA. Demolition of site would result in a significant and unavoidable impact under CEQA and mitigation was developed to reduce impacts to cultural resources.

Senior Architectural Historian, West Basin Municipal Water District (subconsultant to Prime contractor) – Palos Verdes Recycled Water Pipeline Project CEQA Documentation, Los Angeles County

Shannon served as Senior Architectural Historian for this project on behalf of the West Basin Municipal Water District. Shannon assisted with a cultural resources technical study for the project to deliver recycled water from the existing Anza Lateral pipeline in the city of Torrance to the Palos Verdes Golf Club in the city of Palos Verdes Estates. Rincon conducted a cultural resources technical study in accordance with CEQA Plus which included compliance with Section 106 of the National Historic Preservation Act. Specifically, Shannon led the built environment component of the analysis which included historic group consultation and the evaluation of several historic-period resources, including the Palos Verdes Golf Club property, which was determined to be ineligible for historic designation.

Senior Architectural Historian, City of San Gabriel – Chapman’s Millrace Relocation and Rehabilitation Cultural Resources Study, Los Angeles County

Shannon was the Senior Architectural Historian for a project to assess, plan and facilitate the removal, relocation and rehabilitation of a segment of a Mission-period water conveyance feature. Chapman’s Millrace, constructed by Native Americans in 1821, was uncovered during archaeological excavations across the street from Mission San Gabriel Arcángel during the Alameda Corridor East grade separation project. Shannon prepared a relocation feasibility analysis, reviewed structural and architectural plans, assisted in preparation of landscape plans, and designed and oversaw installation of all project interpretive signage. She also ensured that all appropriate laws and regulations were met, including compliance with the Secretary of the Interior’s Standards for Rehabilitation, Americans with Disabilities Act, California Historic Building Code, as well as all state and local permits. Shannon managed daily field operations and ensured target goals were met from the project team that included an architect, structural engineer, construction crews, large structure movers and landscapers. Shannon also maintained communication between the client, the City of San Gabriel, the San Gabriel Mission Church and field subcontractors.

Senior Architectural Historian, City of Los Angeles – Memorial Park Cemetery Rehabilitation Project, Los Angeles County

Shannon conducted a Historical Structures Report and Treatment Plan for the Harbor View Memorial Park Cemetery, located in San Pedro, City and County of Los Angeles, California. The Historical Structures Report and Treatment Plan included a field survey of the subject property, archival research, a review of project alternatives to improve the cemetery prepared by City of Los Angeles Department of Recreation and Parks, and preparation of a summary report. The report presented the known historical data on the property, identified its character-defining features, and made treatment recommendations for compliance with the Secretary of the Interior’s Standards.





Rachel Perzel

Architectural Historian/Cultural Resources Program Manager

Rachel is an architectural historian with 13 years of experience working in the field of historic preservation and cultural resource management. She specializes in conducting historic resource surveys and performing evaluations for the National Register of Historic Places (NRHP), California Register of Historical Resources (CRHR) and local register eligibility. Her professional experience includes the preparation of National Register, California Register and California Point of Historical Interest nominations, making her intimately familiar with the eligibility criteria associated with these registers. In support of the National Environmental Protection Act, Section 106 of the National Historic Preservation Act (Section 106), California Environmental Quality Act, and local ordinances, Rachel has evaluated dozens of buildings throughout the state. In doing so, she has demonstrated experience researching, assessing, and evaluating the significance and integrity of historic resources and identifying their character-defining features. She exceeds the Secretary of the Interior's Professional Qualifications for History and Architectural History.

EDUCATION

MA, Historic Preservation,
Savannah College of Art &
Design

BA, Historic Preservation &
Community Planning, College
of Charleston

CERTIFICATIONS/ REGISTRATIONS

Meets and exceeds
requirements in the Secretary
of the Interior's Professional
Qualification Standards in
Architectural History and
History

AFFILIATIONS

Chair-City of Ventura Historic
Preservation Committee

EXPERIENCE

Rincon Consultants, Inc.
(2017 to present)

National Park Service
(2010-2017)

SELECT PROJECT EXPERIENCE

Assistant Project Manager and Architectural Historian, WSP USA – West Santa Ana Branch Transit Corridor Project Cultural Resources Survey and Effects Reports, Los Angeles County

In support of the West Santa Ana Branch Transit Corridor Project, Rachel provided project management support and served as a co-author of the project's Cultural Resources Survey and Effects Reports. The study included a survey of the built environment surrounding the proposed 19-mile-long light rail alignment. It identified over 650 properties that were considered for the NRHP, CRHR, and local historic register eligibility. The study ultimately recorded approximately 450 properties on California Parks and Recreation 523 Series forms (DRP Forms).

Project Manager and Architectural Historian, County of Los Angeles – Cultural Resources Assessment for the Los Angeles Bikeway and Greenway Project, City and County of Los Angeles

Rachel served as cultural resources project manager and architectural historian for the Cultural Resources Assessment Report for the Los Angeles Bikeway and Greenway Project. The project proposed construction of a bikeway and greenway along the banks of the Los Angeles River and was subject to Section 106. In addition to the delineation of an area of Potential Effects (APE) and background research, the assessment included the recordation and evaluation of several historic period bridges and a historic period park, an assumption of eligibility for the Los Angeles River, and an assessment of effects in accordance with Section 106. Rincon recommended a finding of no adverse effect to historic properties as a result of the assessment.

Project Manager and Architectural Historian, Cultural Resources Assessment for the Reseda Riverloop Greenway Project, City and County of Los Angeles

With Rachel serving as cultural resources project manager and architectural historian, Rincon is currently preparing a cultural resources assessment for the Reseda Riverloop Greenway Project. The project, which is subject to Section 106, proposes development of a pedestrian greenway and associated small scale infrastructure along and near the banks of the Los Angeles River, roughly between Wilbur Avenue and Reseda Boulevard in Los Angeles's Reseda neighborhood.



The assessment includes the delineation of an APE, review of a previously conducted search of the California Historical Resources Information System (CHRIS), a search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF), Native American consultation, archival and background research, and a cultural resources field survey and builds on the findings of the previously described Cultural Resources Assessment Report for the Los Angeles Bikeway and Greenway Project, prepared by Rincon in 2020.

Project Manager/Architectural Historian, Southern California Gas Company (SoCalGas) – Santa Barbara County Data Collection Unit (DCU) Installation Project, Santa Barbara County

Rachel is currently serving as project manager for SoCalGas's Santa Barbara County Data Collection Unit Installation Project, which proposes to install 84 DCU's throughout Santa Barbara County. In support of the project, Rachel provides management oversight for the ongoing assessment of potential cultural and biological and cultural resource impacts associated with the installation of DCUs in 84 distinct locations throughout the county. At the current time 74 of the 84 proposed sites have been assessed. Rachel's roles as project manager include project tracking, client management and ensuring quality assurance/quality control. She additionally serves as the project's architectural historian and is the principal author of the cultural resource analysis included in all deliverables, of which thirteen have currently been produced.

Principal Author/Architectural Historian, East LA Community Corporation – Lucha Reyes Apartments Project Cultural Resources Assessment Report, City and County of Los Angeles

Rachel was the primary author of the Cultural Resources Assessment Report for the Lucha Reyes Apartments Project. The study included searches of the California Historical Resources Information System, the Native American Heritage Commission Sacred Lands File, an intensive level built environment survey and the reconsideration of Mariachi Plaza's historical significance. Due to its previous evaluation, the study does not formally reevaluate Mariachi Plaza. However, it clarified a series of conflicting previous evaluations and ultimately concludes that the Plaza is eligible for listing in the NRHP, CRHR, and as a City of Los Angeles Historic-Cultural Monument. Rachel additionally performed an assessment of the project's potential to impact Mariachi Plaza, concluding that less than significant impact would occur.

Principal Author/Architectural Historian, Ventura County, NRHP Nomination for the Saticoy Southern Pacific Railroad Depot, Saticoy, Ventura County

Rachel was the principal author of the Saticoy Southern Pacific Railroad Depot NRHP nomination, a building historically significant and eligible for the NRHP under Criterion A, for its association with the growth of the area, and under Criterion C as an intact example of Southern Pacific's programmatic architecture. As part of the NRHP nomination, Rachel conducted extensive background and archival research and developed the context within which the building was evaluated. The depot building was listed in the NRHP in 2017.





Ken Victorino, RPA

Senior Archaeologist

Mr. Victorino is a senior archaeologist with 24 years of professional experience in cultural resources management and extensive experience in all aspects of fieldwork, laboratory analysis, and report preparation. He has been an author, project manager, field supervisor, and laboratory supervisor for Phase 1 archaeological surveys, extended Phase 1 testing programs, Phase 2 significance evaluations, Phase 3 data recovery mitigation programs, and archaeological monitoring at prehistoric and historic archaeological sites in coastal, foothill, and desert regions. He has supervised cultural resources projects in accordance with state and federal regulations, such as CEQA/NEPA and Section 106 of the National Historic Preservation Act (NHPA). He was certified by the Register of Professional Archaeologists in 1997. Mr. Victorino prepares cultural resources management technical reports covering initial assessment, significance determination, and mitigation phases. He contributes to CEQA and NEPA documents as well as studies relating to the protection of historic properties (Section 106 of NHPA). Mr. Victorino prepares proposals and develops budgets, conducts and supervises surveys and excavations and laboratory analyses, consults with Native Americans, and writes draft and final documents.

EDUCATION

MA, Anthropology, California State University, Fullerton, 1996

BA, Anthropology, California State University, Fullerton, 1991

REGISTRATIONS

Registered Professional Archaeologist (no. 135466)

EXPERIENCE

Rincon Consultants, Inc.
(2020 to present)

Wood
(2018 to 2020)

Dudek
(2007 to 2017)

Science Applications International Corporation
(2000 to 2007)

ASM Associates, Inc.
(1996 to 2000)

DETAILED PROJECT EXPERIENCE

Senior Principal Investigator, County of Ventura – Fillmore Library Expansion Project, Ventura County, California

Mr. Victorino is the Senior Principal Investigator for the Fillmore Library Expansion project. Rincon is currently preparing a Historic Properties Assessment and Finding of No Historic Properties Affected, in compliance with Section 106 of the National Historic Preservation Act.

Senior Principal Investigator, Santa Clarita Valley Water Agency – Well 205 Groundwater Treatment Facility Project, Los Angeles County, California

Mr. Victorino oversaw and managed preparation of Cultural Resources Assessment, and Cultural Resources and Tribal Cultural Resources sections for Initial Study-Mitigated Negative Declaration consistent with CEQA.

Senior Archaeologist, City of Santa Barbara – Various Projects, Santa Barbara, California

Mr. Victorino managed archaeological staff and Native American representative during monitoring projects including La Quinta Inn & Suites and Days Inn. He also managed archeological crew and Native American representative during Extended Phase 1 testing programs. Mr. Victorino conducted a Phase 1 survey for the Arroyo Burro and Mission Creeks Stream Bank Stabilization Project for the Parks and Recreation Department, supervised extended Phase 1 testing involving backhoe trenching for the Lot 6 Parking Structure, and conducted archaeological monitoring for various sidewalk improvement projects for the Public Works Department.

Senior Principal Investigator, Many Mansions – Central Terrace Apartments Project, Ventura County, California

Mr. Victorino is currently overseeing and managing preparation of Cultural Resources Technical Study, in compliance with Section 106 of the National Historic Preservation Act. The project is currently undergoing Extended Phase I Archaeological Investigation to determine the potential presence of resources on-site.



Senior Principal Investigator, Santa Clarita Valley Water Agency – Phase 2B Recycled Water Tank Project, Los Angeles County, California

Mr. Victorino oversaw and managed preparation of Cultural Resources Assessment, and Cultural Resources and Tribal Cultural Resources sections for Initial Study-Mitigated Negative Declaration consistent with the California Environmental Quality Act.

Senior Archaeologist, City of Goleta – Various Projects, Goleta, California

Mr. Victorino managed an archaeological crew and Native American representative during Extended Phase 1 testing programs including: 151 South Fairview Avenue, 130 Robin Hill Road, Fire Station No. 10, Kellogg- Ekwil Old Town Goleta Village, South La Patera Lane Sidewalk Improvements, Ellwood Well Abandonment, 93 South La Patera Lane. He also managed archaeological staff and Native American representative during monitoring projects including: Village at Los Carneros, 6300 Hollister Avenue, 93 South La Patera Lane, Goleta Valley Professional Building, Haskells Landing, Willow Springs II, Trisep.

Senior Archaeologist, City of Carpinteria – Various Projects, Carpinteria, California

Mr. Victorino managed an archaeological crew and Native American representative during Extended Phase 1 testing programs including: 477 Concha Loma Drive, 650 Concha Loma Drive, Palm to Linden Trail. He also prepared the cultural resource section addressing historic and archaeological resources for both the Venoco Ellwood Marine Terminal Lease Renewal Project EIR and the Venoco Ellwood Oil Development and Pipeline Project EIR.

PROJECT EXPERIENCE

- Senior Archaeologist, City of Los Angeles Department of Public Works – Los Angeles Zoo Vision Plan, Los Angeles, California
- Senior Archaeologist, City of Santa Monica, Planning and Community Development Department – Ocean Avenue Project, Santa Monica
- Senior Archaeologist, Cortona Corner LP – Cortona Apartments Phase 3 Data Recovery Excavation Program, Goleta, California
- Senior Archaeologist, Direct Relief – Warehouse Phase 2 Significance Assessment and Phase 3 Data Recovery and Construction Monitoring, Santa Barbara, California
- Senior Archaeologist, R.D. Olson – Marriott Residence Inn Phase 2 Significance Assessment and Phase 3 Data Recovery and Construction Monitoring, Goleta, California
- Senior Archaeologist, Carpinteria Sanitary District – Rincon Point Septic to Sewer Phase 2 Significance Assessment and Phase 3 Data Recovery and Construction Monitoring, Santa Barbara County, California
- Senior Archaeologist, Private Developer – Residential Development Phase 2 Significance Assessment and Phase 3 Data Recovery and Construction Monitoring, Santa Barbara County, California
- Senior Archaeologist, The Towbes Group – Willow Springs Phase 3 Data Recovery Mitigation Program, Goleta, California
- Senior Archaeologist, Sares Regis Group – Cabrillo Business Park Phase 3 Data Recovery and Construction Monitoring, Goleta, California
- Senior Archaeologist, Patterson & Dewar Engineers, Inc. – Cox Communications Facilities Supplemental Extended Phase 1 Archaeological Investigation Goleta, California
- Senior Archaeologist, County of Santa Barbara – Various Projects, Santa Barbara County, California





Meagan Szromba, MA, RPA

ASSOCIATE ARCHAEOLOGIST

Meagan Szromba is an archaeologist with Rincon Consultants, Inc. who has extensive experience conducting cultural resources studies in support of the California Environmental Quality Act and Section 106 of the National Historic Preservation Act. She has performed a full range of archaeological and historical investigations throughout California, including within Santa Barbara, San Luis Obispo, and Ventura Counties. Ms. Szromba has a Master's Degree in Public Archaeology, and has specialized training and experience performing archaeological excavations, monitoring, mitigation and data recovery, surveys, site documentation, and site evaluation. She has additionally prepared, investigated, and authored numerous cultural resources technical studies, and has worked closely with Native American communities to protect and mitigate impacts to cultural resources.

EDUCATION

M.A., Public Archaeology,
California State University,
Northridge, 2016

B.A., Anthropology, California
State University, Long Beach,
2013

REGISTRATIONS

Registered Professional
Archaeologist, ID#: 41783154

AFFILIATIONS

Society for California
Archaeology Member

EXPERIENCE

Rincon Consultants, Inc. (2015
through present)

Totah Archaeological Project
(2014 through 2015)

Anthropological Research
Institute (2015)

Autry National Center (2014)

Los Angeles County
Department of Parks and
Recreation (2014)

William S. Hart Museum (2012
through 2014)

PROJECT EXPERIENCE

- Archaeological Monitoring Services for the 220 W. Gutierrez Street Project, Santa Barbara, Santa Barbara County, California (2017) – Client: Paladin Law Group, LLP. This project involved excavations at a private facility in the City of Santa Barbara. Ms. Szromba monitored excavations to determine if cultural materials were present and to ensure they were not impacted by construction.
- Archaeological Survey Report and Cultural Resources Investigation for the Cabrillo Boulevard Rail Bridge Replacement Project, Santa Barbara, Santa Barbara County, California (2016) – Client: TY Lin. This project involved infrastructure improvements along roadway and railroad right-of-ways in the City of Santa Barbara. Ms. Szromba performed the pedestrian survey, Native American outreach, and reporting for this project.
- Phase II Archaeological Testing Plan for the Hollister Avenue – State Street Improvements Project, Santa Barbara and Goleta, Santa Barbara County, California (2017) – Client: Caltrans. This project proposes to perform archaeological testing along sections of railroad and roadway right-of-ways in the Cities of Santa Barbara and Goleta. Ms. Szromba prepared and authored this proposed testing plan.
- Archaeological Site Testing, Excavation, and Mitigation Planning for the Goleta Extended Phase I Project, Goleta, Santa Barbara County, California (2017) – Client: SoCal Gas. This project involved the archaeological testing of a formerly recorded site at the SoCal Gas facility in the City of Goleta. Ms. Szromba performed the field work for this project.
- Cultural Resources Monitoring and Impact Assessment for the Key Site 30 Project, Santa Maria, Santa Barbara County, California (2016 – 2017) – Client: Bradley-Orcutt Ventures, LLC. This project involved the development of residential housing in an undeveloped area in the City of Santa Maria. Ms. Szromba monitored construction activities for this project.
- Archaeological Investigations for the North Fork Reservoir Project, New Cuyama, Santa Barbara County, California (2016) – Client: Mesa Vineyards. This project involved the development of agricultural land in New Cuyama. Ms. Szromba assisted in the documentation for this project.



PROJECT EXPERIENCE, CONT'D

- Phase I Archaeological Site Testing, Excavation, and Mitigation Planning for the Templeton to Atascadero Connector Project, City of Atascadero, San Luis Obispo County, CA (2016) – Client: Caltrans
- Phase II Archaeological Testing and Evaluation of the San Luis Ranch Complex, City of San Luis Obispo, San Luis Obispo County, CA (2016) – Client: City of San Luis Obispo
- Phase II Archaeological Testing Services for the Orcutt Area Specific Plan Project, City of San Luis Obispo, San Luis Obispo County, CA (2016) – Client: Ambient Communities LLC
- Cultural Resources Technical Study for the Kenney Street Widening and Pedestrian Improvements Project, El Rio, Ventura County, California (2017) – Client: Caltrans
- Archaeological Survey Report and Cultural Resources Investigation for the Yerba Buena Road Guardrails Project, Ventura County, California (2017) – Client: Caltrans
- Cultural Resources Services for the Hagle Lumber Testing Project, Ventura, Ventura County, California (2016 – 2017) – Client: Hagle Lumber Company, Inc.
- Cultural Resources Technical Study and Archaeological Monitoring for the Westpark Community Center Project, Ventura, Ventura County, California (2016 – 2017) – Client: City of Ventura
- Update to County Guidelines for Archaeological Sensitivity Determinations and Permitting Requirements, Ventura, Ventura County, California (2016) – Client: County of Ventura
- Emergency Evaluation and Cultural Resources Mitigation Planning for the Hall Canyon Oil Spill Response, Ventura, Ventura County, California (2016) – Client: Crimson Pipeline
- Native American Coordination Assistance for the Santa Felicia Dam Project, Lake Piru, Ventura County, California (2017) – Client: United Water Conservation District
- Water Quality Testing for the Storm Water Pollution Prevention Plan Springville Project, Camarillo, Ventura County, California (2017) – Client: KB Homes
- Cultural Resources Technical Study for the United Water Conservation District Recycled Water Pipelines Project, Oxnard, Ventura County, California (2017) – Client: United Water Conservation District
- Archaeological Resources Technical Study for the 751 West Los Angeles Avenue Project, Simi Valley, Ventura County, California (2016) – Brack Manufacturing, Inc.
- Cultural Resources Evaluation for the Lupe's Restaurant Mixed-Use Project, Thousand Oaks, Ventura County, California (2016) – Client: Daly Group Inc.
- Archaeological Resources Evaluation for the Pothole Trailhead Parking Project, Lake Piru, Ventura County, California (2016) – Client: United Water Conservation District
- Cultural Resources Study for the Avalon Homes Project, Oxnard, Ventura County, California (2016) – Client: City of Oxnard
- Cultural Resources and Historical Significance Evaluation for the Gateway Station Project, Oxnard, Ventura County, California (2016) – Client: Pacific West Companies, Inc.
- Archaeological Evaluation of Impacts to Historic Properties for the Vista Pacifica Project, Oxnard, Ventura County, California (2016) – Client: City of Oxnard Housing Department
- Evaluation of the Historical Significance and Potential Impacts to Historic Properties for the Fire Station Generator Replacements Project, Oxnard, Ventura County, California (2016) – Client: City of Oxnard General Services Department
- Archaeological Assessment for the Dockweiler Residential Development Project, Santa Clarita, Los Angeles County, California (2017) – Client: Trevion Investments, LLC
- Cultural Resources Technical Study for the Bonita Station Project, Pomona, Los Angeles County, California (2017) – Client: City of Pomona



EDUCATION

M.A., Applied Archaeology,
California State University San
Bernardino (2017)

B.A. Anthropology, University
of Nevada Reno (2004)

Archaeological Field School,
University of Nevada Reno
(2003)

CERTIFICATIONS/ REGISTRATIONS

Registered Professional
Archaeologist (ID 17082)

Society for California
Archaeology

EXPERIENCE

Rincon Consultants, Inc. (2017
–present)

Cogstone Resource
Management, Inc. (2009–2017)

Pechanga Band of Luiseño
Indians Cultural Resources
Intern (2016)

Statistical Research, Inc. (2008;
2010)

Garcia and Associates (2008)

Tetra Tech EC, Inc. (2008)

University of Nevada, Reno
(2003–2004)

Lindsay Porras, M.A. RPA

ASSOCIATE ARCHAEOLOGIST

Lindsay Porras is an Associate Archaeologist with Rincon Consultants. Ms. Porras is a qualified archaeologist and cross-trained paleontologist with over nine years of professional and academic experience in research, field, and laboratory procedures throughout Southern California. Her experience includes research, technical report preparation within the framework of the NHPA and CEQA, survey, site evaluation, and mitigation through data recovery and monitoring. Ms. Porras has considerable experience working independently as well as part of productive teams and has acted as field lead on multiple CRM projects in Southern California. Ms. Porras completed her M. A. in Applied Archaeology from California State University, San Bernardino, which included the completion of a master's thesis involving comparative analysis of late prehistoric resource use in the Salton Basin of the Colorado Desert. Ms. Porras has presented the results of her master's thesis to academic audiences including the Society for California Archaeology. Ms. Porras is a Registered Professional Archaeologist 17082 and a member of the Society for California Archaeology.

DETAILED PROJECT EXPERIENCE

Associate Archaeologist and Field Director: Riverside University Health Services (RUHS), Riverside County, CA 2018. Conducted archaeological monitoring spot checks of ground disturbing construction activities associated with RUHS expansion and upgrades.

Associate Archaeologist and Field Director: Downtown Perris Training Center, Riverside County, CA 2018. Performed a cultural resources records search and pedestrian survey of two parcels in downtown Perris, CA. *Client: City of Perris (3 days)*

Associate Archaeologist and Field Director: Archaeological Monitoring for Street Widening at 32151 Del Obispo Street, Orange County, CA 2017-2018. Conducted archaeological monitoring and co-authored a letter report summarizing the results and recommendations of the cultural resources monitoring effort during ground disturbing activities associated with potholing for utilities and trenching for pipeline relocation for the road widening of Del Obispo Street in San Juan Capistrano, CA. *Client: SoCalGas (1 week.)*

Associate Archaeologist: El Horno Street Project, Orange County, CA 2018. Co-authored a letter report summarizing the results and recommendations of the cultural resources monitoring efforts associated with pipeline repairs in the City of San Juan Capistrano, CA. *Client: SoCalGas (1 week)*

Associate Archaeologist: Archaeological Monitoring for Line 3000, San Bernardino County, CA 2017-2018. Associate Archaeologist. Co-authored a letter report summarizing the results and recommendations of the cultural resources monitoring effort for multiple pipeline repairs within the right-of-way of Line 3000 on Bureau of Land Management managed land near Needles, CA. Completed DPR forms associated with the recordation of a historic site. *Client: SoCalGas, Bureau of Land Management. (1 month)*



Associate Archaeologist: 1530 West Cameron, Los Angeles County, CA 2018. Performed a cultural resources records search, Native American scoping, and summarized the results in the cultural resources section of the Initial Study Mitigated Negative Declaration. *Client: City of West Covina, CA. (1 month)*

Associate Archaeologist: 780-808 Francesca Drive Residential Project, Los Angeles County, CA 2018. Conducted a cultural resources records search and initiated a Sacred Lands File (SLF) search through the Native American Heritage Commission. Prepared draft consultation letters and instructions and provided them to the City for use in consultation in accordance with SB 18 and AB 52. *Client: City of Walnut, CA. (2 weeks)*

Associate Archaeologist: SL 42 46-Inch relocate and Replacement Project, Orange County, CA 2018. Co-authored a letter report summarizing the results of archaeological and Native American monitoring efforts associated with the relocation of pipeline prior to the larger San Diego Freeway (Interstate 405 [I-405] Improvement Project. *Client: The Southern California Gas Company, City of Seal Beach, CA. (2 weeks)*

Associate Archaeologist: Tentative Tract 5961 Voelker Subdivision, Ventura County, CA 2018. Performed a cultural resources records search, prepared draft consultation letters and instruction for meaningful consultation in accordance with SB 18 and AB 52 and provided them to the City of use in government to government consultation.

Associate Archaeologist: Moorpark Rail Depot, Ventura County, CA 2018. Performed a cultural resources records search of the project site and vicinity and initiated a Sacred Lands File (SLF) search through the Native American Heritage Commission. Prepared draft consultation letters and instructions and provided them to the City for use in consultation in accordance with AB 52. *Client: City of Moorpark, CA (1 month)*

Associate Archaeologist and Field Director: Perris Valley Pipeline Extension, Riverside County, CA 2018. Performed a cultural resources records search and pedestrian survey. *Client: Metropolitan Water District of Southern California, City of Perris, CA. (1 week)*

Associate Archaeologist and Field Director: Nuevo Road Bridge Crossing, Riverside County, CA 2018. Performed a cultural resources records search, Native American scoping, a pedestrian survey, recordation of historic resources, and co-authored a technical report summarizing the results and recommendations. *Client: City of Perris, CA. (3 months)*

Associate Archaeologist and Field Director: Alabassi Commercial Center, Riverside County, CA 2018. Performed archaeological and paleontological monitoring during ground disturbing activities associated with construction of a commercial center. *Client: Alabassi Construction, City of Perris, CA. (3 days)*

Associate Archaeologist and Field Director: Trumble Road Open Pit Restoration Project, Riverside County, CA 2018. Performed a cultural resources records search of the project site and conducted an archaeological walk through of the 9-acre project site. *Client: North Pacific Developments, Inc., City of Menifee, CA. (1 week)*

Associate Archaeologist and Field Director: Proposed Perris Mobile Home Park, Riverside County, CA 2018. Performed a cultural resources records search, initial Native American scoping, a pedestrian survey, and co-authored a technical report summarizing the results and recommendations. *Client: Maria Jimenez; City of Perris, CA. (1 month)*

Associate Archaeologist: Cabazon Solar Energy Center Project, unincorporated Riverside County, CA 2018. Performed a cultural resources records search and initiated a Sacred Lands File (SLF) search through the Native American Heritage Commission and summarized the results in a cultural resources constraints analysis. *Client: Cabazon Solar Energy Center, LLC, Cabazon, CA. (1 week)*

Associate Archaeologist and Field Director: Rice Construction Coachella Brands, Riverside County, CA 2018. Provided a proposal for scope of work associated with a cultural resources site assessment, conducted a pedestrian survey, and summarized the results and recommendations in a letter report. *Client: Rice Construction, Inc., City of Coachella, CA. (1 week)*

Associate Archaeologist and Field Director: New Non-Potable Water Connections, Riverside County, CA 2017-2018. Conducted a cultural resources records search, Native American consultation, a pedestrian survey, and co-authored a technical report summarizing the results and recommendations. *Client: Coachella Valley Water District, City of Palm Desert, CA. (6 months)*



Associate Archaeologist: Palos Verdes Reservoir Upgrades Project, Los Angeles County, 2017. Co-authored a letter report summarizing the results and recommendations of the cultural resources monitoring effort in a Negative Findings Memorandum for the Palos Verdes Reservoir Upgrades in the City of Rolling Hills Estates in Los Angeles County. *Client: Metropolitan Water District of Southern California. (1 week)*

Associate Archaeologist and Field Director: Coachella Brands Project, Riverside County, CA 2017. Performed a cultural resources records search, initial Native American scoping, a pedestrian survey, and co-authored a technical report summarizing the results and recommendations. *Client: Coachella Brands Inc., City of Coachella, CA. (1 month)*

Associate Archaeologist and Field Director: Wyndham Hill Project, Riverside County, CA 2017. Performed a cultural resources records search, initial Native American scoping, a pedestrian survey, and co-authored a technical report summarizing the results and recommendations. *Client: Jim and Debbie Guthrie; City of Riverside, CA. (6 weeks)*

Associate Archaeologist and Field Director: Goddard School Project, San Bernardino County, CA 2017. Performed a cultural resources records search, initial Native American scoping, a pedestrian survey, and co-authored a technical report summarizing the results and recommendations. *Client: City of Chino Hills, CA. (1 month)*

Associate Archaeologist and Field Director: Sierra Altas Project KKG, Euclid and 8th San Bernardino County, CA 2017. Performed archaeological and paleontological monitoring and regular spot checks of ground disturbing activities associated with construction activities. *Client: City of Upland, CA. (3 months)*

Volunteer Archaeological Crew Member: The Agua Santa Project: Socio-Political Development on the California Channel Islands, Santa Cruz Island, Ventura County, CA, 2016. Participated in site survey and mapping using a Trimble Global Positioning System (GPS), performed archaeological excavations for the collection of contextual and chronological data suitable for AMS dating, processed column samples using flotation methods for the collection of small and fragile material, and maintained detailed field notes. Work conducted as part of the academic research directed by Dr. Amy Gusick, Director of the Applied Archaeology Graduate Program at California State University San Bernardino (CSUSB). Funded by the Department of Anthropology at CSUSB. *(1 week)*

Cultural Resources Intern: Pechanga Band of Luiseño Indians, Riverside County, CA, 2016: Reviewed reports for proposed projects; assisted ongoing research through academic literature review; sorted and identified artifacts for curation using *Past Perfect* electronic cataloging procedures *(9 months)*.

Lead Archaeological Field Technician: Chuckwalla Guest Ranch Project, Riverside County, CA, 2016. Performed archaeological survey, assessment and recording of historical archaeological features associated with the area's use as the Desert Training Center during World War II. *Client: Chuckwalla Raceway. (1 week)*

Lead Archaeological and Paleontological Monitor: Perris Valley Line, Metrolink, Riverside County Transportation Commission, Riverside County, CA, 2013-2016. Conducted paleontological and archaeological monitoring for construction of four new stations, upgrading associated track and utility relocations for the 24-mile extension of the Metrolink 91 Line to extend the Metrolink connection from Riverside through Moreno Valley to Perris. *Client: Subcontractor to HDR Engineering. (12+ months)*

Lead Archaeological/ Paleontological Monitor: Sentinel Power Plant, Southern California Edison, Riverside County, CA, 2013. Performed archaeological and paleontological monitoring services during ground disturbing activities north of the City of Palm Springs. *Client: Southern California Edison. (2 weeks)*

Lead Archaeological Monitor: Devers-Mirage 115-KV System Split Project, Southern California Edison, Riverside County, CA, 2011. Performed cultural resources mitigation monitoring during ground disturbing activities for electrical systems upgrade in Cathedral City, Indian Wells, Palm Desert, Palm Springs, Rancho Mirage, Thousand Palms and unincorporated Riverside County. *Client: Southern California Edison. (1 week)*

Lead Archaeological and Paleontological Monitor: Fogarty Substation, Southern California Edison, Riverside County, CA, 2010-2011. Performed cultural paleontological resources mitigation monitoring during ground disturbing activities in Lake Elsinore. Independently recovered fossils in the field and attended daily construction meetings. *Client Southern California Edison. (7 months)*



Lead Archaeological/Paleontological Monitor: Equinox DSP Rush Project, Southern California Edison, Riverside County, CA, 2011. Performed cultural resources mitigation monitoring during ground disturbing activities during ground disturbing activities associated with construction of a power pole line near Menifee. *Client: Southern California Edison. (3 weeks)*

Lead Archaeological/Paleontological Monitor: Doble 33-kV Transmission Line Emergency Repair, Southern California Edison, San Bernardino National Forest, CA, 2011. Independently performed emergency, on-call archaeological and paleontological monitoring of ground disturbing activities in the San Bernardino National Forest. *Client: Southern California Edison. (1 week)*

Archaeological/Paleontological Monitor: Daggett II, Southern California Edison, San Bernardino County, CA, 2011. Performed archaeological, and paleontological, monitoring during ground disturbing activities for the 225-acre Human External Cargo Helicopter Training Facilities Project in Daggett. *Client: Southern California Edison. (1 week)*

Lead Archaeological Field Technician: Leatherneck Substation Project, Southern California Edison, San Bernardino County, CA, 2012. Independently performed an intensive cultural resources survey of pulling stations near Twenty-Nine Palms. *Client: Southern California Edison. (1 week)*

Lead Archaeological Field Technician: Falcon Ridge Substation and Transmission Lines, Southern California Edison, San Bernardino County, CA, 2010. Performed archaeological survey, assessment and recording of historical archaeological features on 287 acres in Fontana and Rialto. *Client: Southern California Edison. (2 weeks)*

Lead Archaeological and Paleontological Monitor: Tehachapi Renewable Transmission Project, Segments 1- 3, Southern California Edison, Los Angeles and Kern Counties, CA, 2008-2009. Independently performed paleontological monitoring during ground disturbing activities and attended daily safety meetings. Performed supplemental surveys and site recordation. *Client: Southern California Edison. (10 months)*

Archaeological Crew Member: Playa Vista Archaeological and Historical Project, Los Angeles County, CA, (2008). Sorted and cataloged archaeological artifacts for curation and repatriation. *(3 months)*

Senior Archaeological Field Technician: San Bernardino National Forest (SBNF) near Big Bear, CA, San Bernardino County, CA, (2008). Conducted pedestrian survey of controlled burn areas; identified and recorded historic and prehistoric cultural resources using standardized forms; photographed cultural resources and maintained detailed field notes. *Client: San Bernardino National Forest. (2 weeks)*

Senior Field Technician: Genesis Solar Project, near Ford Dry Lake, CA, Riverside County, CA, (2007). Conducted intensive pedestrian survey; identified and recorded cultural resources using standardized forms. *Client: Genesis Solar. (2 weeks)*

Undergraduate Research Assistant for Dr. Catherine Fowler: Department of Anthropology, University of Nevada Reno, NV, (2003-2004). Compiled an ethno-botanical database using university and online resources; facilitated database sharing between university professors; digitized hand written field notes. *Client: University of Nevada Reno (8 months)*

PUBLICATIONS/PRESENTATIONS

- Presenter at the Society for California Archaeology 2017 Annual Meeting; Symposium 9; *Environmental Diversity and Resource Use in the Salton Basin*
- Porras, Lindsay A.,
2017 *Environmental Diversity and Resource Use in the Salton Basin Of The Colorado Desert" Electronic Theses, Projects, and Dissertations. 526.*
<http://scholarworks.lib.csusb.edu/etd/526>



Appendix B

California Historical Resources Information Center Search Results



CHRIS Information Center Records Search Data Sheet

Project Name: Ararat Homes Mission Hills

Project Number: 18-05520 Date: 3/20/18

Information Center: SCCIC

Search Radius: Half Mile: One Mile: Other:

USGS Quadrangle: San Fernando

Public Land Survey System (PLSS): Township: 2N Range: 15W Section: 04, 5, 8, 9

County: LA Co.

Previously Recorded Sites: S: 2760, 960, 169 (167231 w/in/near 169)
411,

Previous Studies: S: 4077, 4499, 10179, 11606,
11818, 10756

National Register of Historic Places:	Copies:	Y	N
California Register of Historical Resources:	Copies:	Y	N
California Points of Historical Interest:	Copies:	Y	N
California Historical Landmarks List:	Copies:	Y	N
Archaeological Determinations of Eligibility:	Copies:	Y	<u>N</u>
California Historical Resources Inventory:	Copies:	<u>Y</u>	N <u>167231</u>

Historic Maps: _____

Notes: _____

Ararat Homes Mission Hills #18-05520

Resources

within Adjacent Outside

(LA Co. San Fernando Quad)

2760

960

169

411

167231

X

X

X

X

X

near/
within boundary of 169
Nominated for Nat'l Reg
HRI# 021181

HRI: 167231

ADOE: ~~Q~~

1pg

Ararat Homes Mission Hills #18-05520

Reports

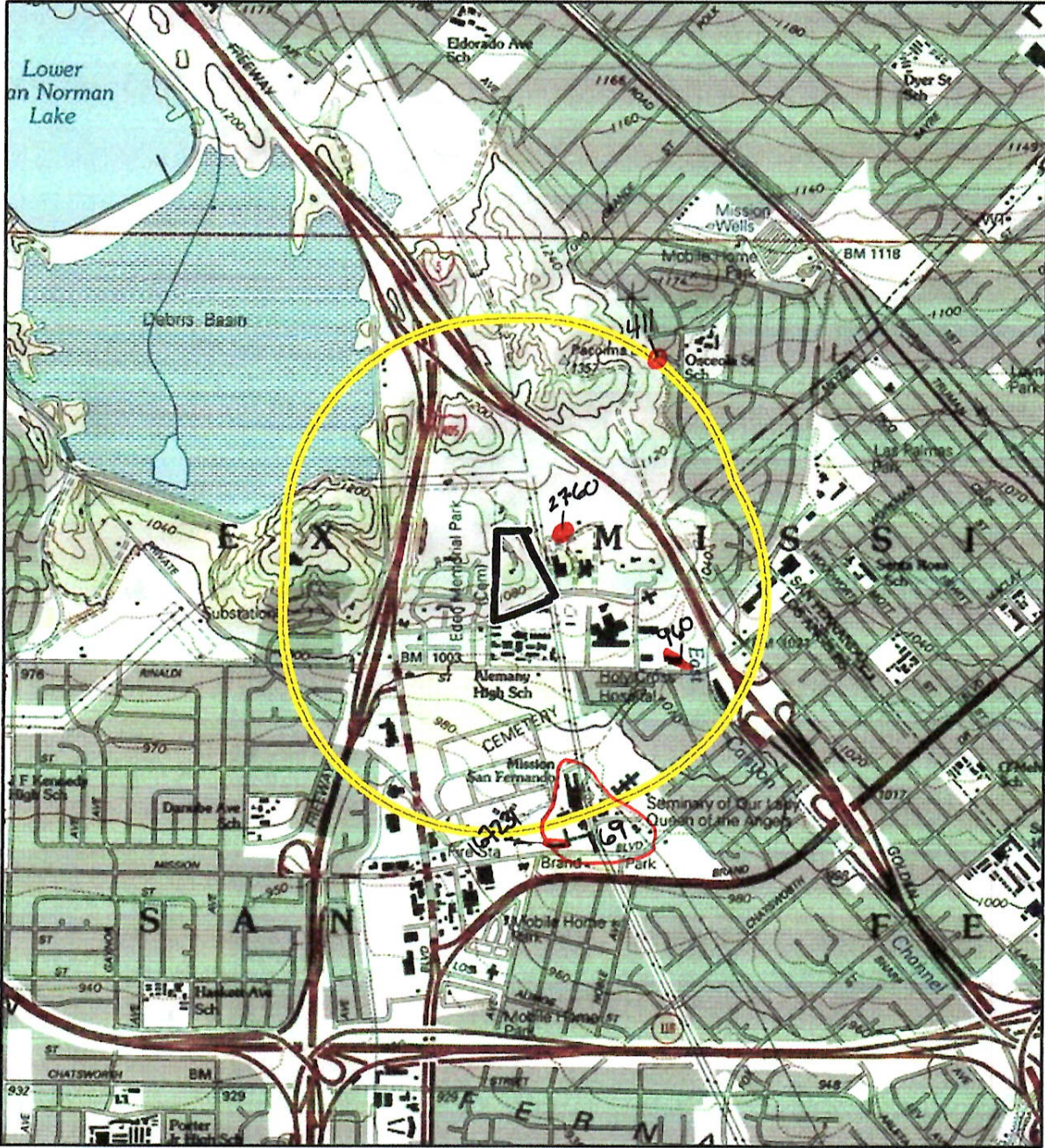
W/in Adjacent

Outside

(LA Co. San Fernando Quad)

2683			X
2517			X
4107			X
1018			X
7165			X
11664			X
1432		X	
1464	X		
1151			X
4107 duplicate #			X
7903			X
4077		X	
4499		X	
10179			X
11606			X
11818			X
10756		X	

399



2760
960
169
411
167231

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Ararat Honor Mission Hills
18-05520

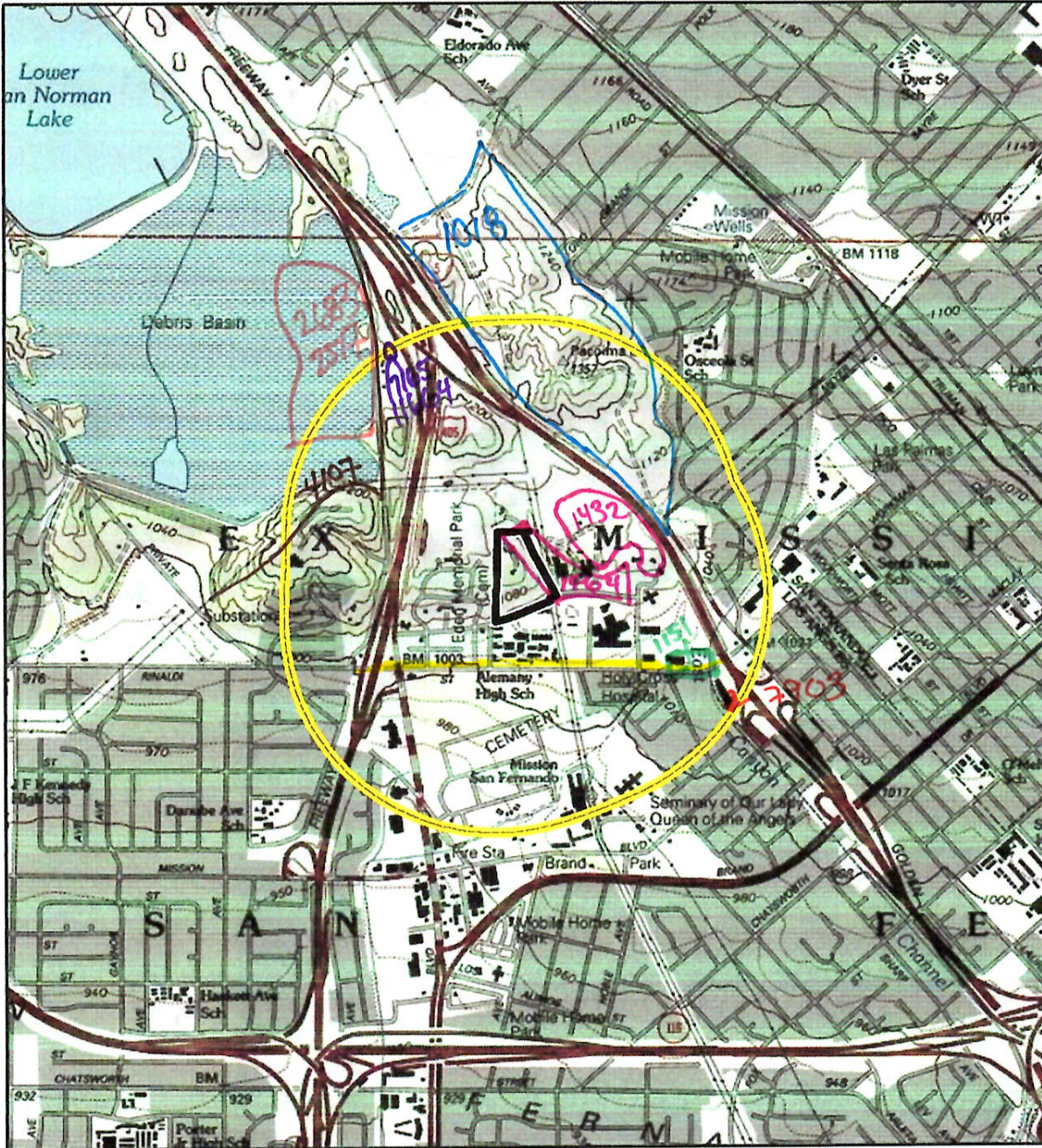
 Half Mile Buffer
 Project Site

N
0 1,000 2,000 Feet
0 250 500 Meters
1:24,000

Resources plot

Records Search Map





2683
2517
4107
1018
7165
11664
1432
1464
1151
4107
7903

Imagery provided by National Geographic Society, Esri and its licensors © 2018.
San Fernando Quadrangle. T02N R15W S04,05,08,09. The topographic representation depicted in this map may not portray all of the features currently found in the vicinity today and/or features depicted in this map may have changed since the original topographic map was assembled.

Ararat Home - Mission Hills
18-05520

- Half Mile Buffer
- Project Site



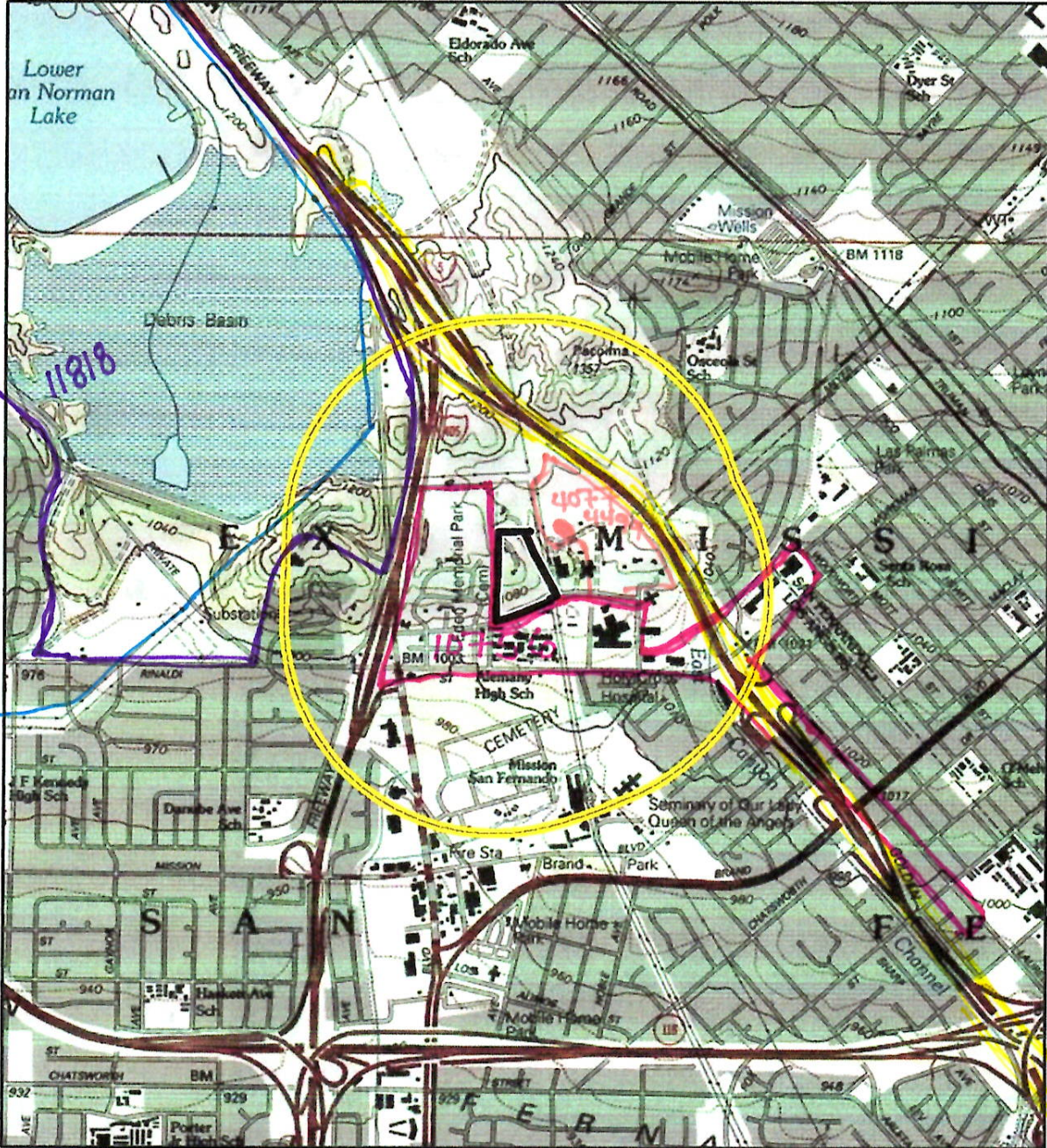
0 1,000 2,000 Feet

0 250 500 Meters

1:24,000

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Records Search Map



11606

11818

4077
44099
10179
11606
11818
10756

Imagery provided by National Geographic Society, Esri and its licensors © 2018. San Fernando Quadrangle. T02N R15W S04,05,08,09. The topographic representation depicted in this map may not portray all of the features currently found in the vicinity today and/or features depicted in this map may have changed since the original topographic map was assembled.

Ararat Home Mission Hills
18 05520

- Half Mile Buffer
- Project Site



0 1,000 2,000 Feet

0 250 500 Meters

1:24,000

Reports p. 2 of 2

Records Search Map



Appendix C

Sacred Lands File Search Results (2018 and 2020) and Native American Outreach Documentation

NATIVE AMERICAN HERITAGE COMMISSION

Cultural and Environmental Department
1550 Harbor Blvd., Suite 100
West Sacramento, CA 95691
(916) 373-3710



March 30, 2018

Meagan Szromba
Rincon Consultants, Inc.

Sent by E-mail: mszromba@rinconconsultants.com

RE: Proposed Ararat Homes Project, Community of Granada Hills; San Fernando USGS
Quadrangle, Los Angeles County, California

Dear Ms. Szromba:

A record search of the Native American Heritage Commission (NAHC) *Sacred Lands File* was completed for the area of potential project effect (APE) referenced above with negative results. Please note that the absence of specific site information in the *Sacred Lands File* does not indicate the absence of Native American cultural resources in any APE.

Attached is a list of tribes culturally affiliated to the project area. I suggest you contact all of the listed Tribes. If they cannot supply information, they might recommend others with specific knowledge. The list should provide a starting place to locate areas of potential adverse impact within the APE. By contacting all those on the list, your organization will be better able to respond to claims of failure to consult. If a response has not been received within two weeks of notification, the NAHC requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from any of these individuals or groups, please notify me. With your assistance we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact via email: gayle.totton@nahc.ca.gov.

Sincerely,

A handwritten signature in cursive script that reads "Gayle Totton".

Gayle Totton, M.A., PhD.
Associate Governmental Program Analyst
(916) 373-3714

CONFIDENTIALITY NOTICE: This communication with its contents may contain confidential and/or legally privileged information. It is solely for the use of the intended recipient(s). Unauthorized interception, review, use or disclosure is prohibited and may violate applicable laws including the Electronic Communications Privacy Act. If you are not the intended recipient, please contact the sender and destroy all copies of the communication.

**Native American Heritage Commission
Native American Contact List
Los Angeles County
3/29/2018**

Barbareno/Ventureno Band of Mission Indians

Patrick Tumamait,
992 El Camino Corto Chumash
Ojai, CA, 93023
Phone: (805) 216 - 1253

Fernandeno Tataviam Band of Mission Indians

Alan Salazar, Chairman Elders Council
1019 Second St., Suite 1 Tataviam
San Fernando, CA, 91340
Phone: (805) 423 - 0091

Barbareno/Ventureno Band of Mission Indians

Eleanor Arrellanes,
P. O. Box 5687 Chumash
Ventura, CA, 93005
Phone: (805) 701 - 3246

Fernandeno Tataviam Band of Mission Indians

Beverly Salazar Folkes, Elders Council
1931 Shady Brooks Drive Tataviam
Thousand Oaks, CA, 91362
Phone: (805) 558 - 1154
folkes9@msn.com

Barbareno/Ventureno Band of Mission Indians

Julie Tumamait-Stennsle,
Chairperson Chumash
365 North Poli Ave
Ojai, CA, 93023
Phone: (805) 646 - 6214
jtumamait@hotmail.com

Gabrieleno Band of Mission Indians - Kizh Nation

Andrew Salas, Chairperson
P.O. Box 393 Gabrieleno
Covina, CA, 91723
Phone: (626) 926 - 4131
admin@gabrielenoindians.org

Barbareno/Ventureno Band of Mission Indians

Raudel Banuelos,
331 Mira Flores Chumash
Camarillo, CA, 93012
Phone: (805) 427 - 0015

Gabrieleno/Tongva San Gabriel Band of Mission Indians

Anthony Morales, Chairperson
P.O. Box 693 Gabrieleno
San Gabriel, CA, 91778
Phone: (626) 483 - 3564
Fax: (626) 286-1262
GTTribalcouncil@aol.com

Coastal Band of the Chumash Nation

Mia Lopez, Chairperson Chumash
24 S. Voluntario Street
Santa Barbara, CA, 93101
Phone: (805) 324 - 0135
mialopez2424@gmail.com

Gabrielino /Tongva Nation

Sandonne Goad, Chairperson
106 1/2 Judge John Aiso St., Gabrielino
#231
Los Angeles, CA, 90012
Phone: (951) 807 - 0479
sgoad@gabrielino-tongva.com

Fernandeno Tataviam Band of Mission Indians

Jairo Avila, Tribal Historic and Cultural Preservation Officer
1019 Second Street, Suite 1 Tataviam
San Fernando, CA, 91340
Phone: (818) 837 - 0794
Fax: (818) 837-0796
jairo.avila@tataviam-nsn.us

Gabrielino Tongva Indians of California Tribal Council

Robert Dorame, Chairperson
P.O. Box 490 Gabrielino
Bellflower, CA, 90707
Phone: (562) 761 - 6417
Fax: (562) 761-6417
gtongva@gmail.com

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resource Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources assessment for the proposed Ararat Homes Project, Los Angeles County.

**Native American Heritage Commission
Native American Contact List
Los Angeles County
3/29/2018**

Gabrielino-Tongva Tribe

Charles Alvarez,
23454 Vanowen Street Gabrielino
West Hills, CA, 91307
Phone: (310) 403 - 6048
roadkingcharles@aol.com

***San Fernando Band of Mission
Indians***

Donna Yocum, Chairperson
P.O. Box 221838 Kitanemuk
Newhall, CA, 91322 Serrano
Phone: (503) 539 - 0933 Tataviam
Fax: (503) 574-3308
ddyocum@comcast.net

***Santa Ynez Band of Mission
Indians***

Kenneth Kahn, Chairperson
P.O. Box 517 Chumash
Santa Ynez, CA, 93460
Phone: (805) 688 - 7997
Fax: (805) 686-9578
kkahn@santaynezchumash.org

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This list is only applicable for contacting local Native Americans with regard to cultural resources assessment for the proposed Ararat Homes Project, Los Angeles County.



Rincon Consultants, Inc.

180 North Ashwood Avenue
Ventura, California 93003

805 644 4455 OFFICE AND FAX

info@rinconconsultants.com
www.rinconconsultants.com

Native American Contact Table Ararat Homes Project

Native American Contact	Tribal Affiliation	Mailing Address	Email Address	Phone Number	Contact Attempt	Results
Patrick Tumamait	Barbareño/ Ventureño Band of Mission Indians	992 El Camino Corto Ojai, CA 93023	N/A	(805) 216- 1253	Letter sent April 4, 2018	Did not receive a response.
Eleanor Arrellanes	Barbareño/ Ventureño Band of Mission Indians	P.O. Box 5687 Ventura, CA 93005	N/A	(805) 701- 3246	Letter sent April 4, 2018	Did not receive a response.
Julie Tumamait-Stenslie, Chairperson	Barbareño/ Ventureño Band of Mission Indians	365 North Poli Avenue Ojai, CA 93023	jtumamait @hotmail.c om	(805) 646- 6214	Letter sent April 4, 2018	Did not receive a response.
Raudel Banuelos	Barbareño/ Ventureño Band of Mission Indians	331 Mira Flores Camarillo, CA 93012	N/A	(805) 427- 0015	Letter sent April 4, 2018	Did not receive a response.
Mia Lopez, Chairperson	Coastal Band of the Chumash Nation	24 S. Voluntario Street Santa Barbara, CA 93101	mialopez24 24@hmail. com	(805) 324- 0135	Letter sent April 4, 2018	Did not receive a response.



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Native American Contact	Tribal Affiliation	Mailing Address	Email Address	Phone Number	Contact Attempt	Results
Jairo Avila, Tribal Historic and Cultural Preservation Officer	Fernandeno Tataviam Band of Mission Indians	1019 Second Street, Suite 1 San Fernando, CA 91340	jairo.avila@tataviam-nsn.us	(818) 837-0794	Letter sent April 4, 2018	Mr. Avila contacted Rincon on April 27, 2018 requesting to formally consult on the project under AB 52. He additionally stated that the project area is considered culturally sensitive and that sites were located in the vicinity. Rincon informed Mr. Avila that the project is being conducted as a preliminary study to assess potential issues should the project move forward, and that formal consultation has not been initiated under AB 52; Rincon stated that if and when the project proceeds, the lead agency should initiate consultation.
Alan Salazar, Chairman Elders Council	Fernandeno Tataviam Band of Mission Indians	1019 Second Street, Suite 1 San Fernando, CA 91340	N/A	(805) 423-0091	Letter sent April 4, 2018	Did not receive a response.
Beverly Salazar Folkes, Elders Council	Fernandeno Tataviam Band of Mission Indians	1931 Shady Brooks Drive Thousand Oaks, CA 91362	folkes9@msn.com	(805) 558-1154	Letter sent April 4, 2018	Ms. Folkes contacted Rincon on April 9, 2018 to inquire more about the project. She stated that the project site is within Chumash and Tataviam territory, and noted its sensitivity due to its proximity to the mission. She asked what the project site currently looked like (i.e. developed, disturbed) and recommended Native American monitoring for areas previously undisturbed.



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Anthony Morales, Chairperson	Gabrieleno/Tongva San Gabriel Band of Mission Indians	P.O. Box 693 San Gabriel, CA 91778	GTtribalcouncil@aol.com	(626) 483-3564	Letter sent April 4, 2018	Did not receive a response.
Sandonne Goad, Chairperson	Gabrielino/Tongva Nation	106 ½ Judge John Aiso St., #231 Los Angeles, CA 90012	sgoad@gabrielino-tongva.com	(951) 807-0479	Letter sent April 4, 2018	Did not receive a response.
Robert Dorame, Chairperson	Gabrielino Tongva Indians of California Tribal Council	P.O. Box 490 Bellflower, CA 90707	gtongva@gmail.com	(562) 761-6417	Letter sent April 4, 2018	Did not receive a response.
Charles Alvarez	Gabrielino-Tongva Tribe	23454 Vanowen Street West Hills, CA 91307	roadkingcharles@aol.com	(310) 403-6048	Letter sent April 4, 2018	Did not receive a response.
Donna Yocum, Chairperson	San Fernando Band of Mission Indians	P.O. Box 221838 Newhall, CA 91322	ddyocum@comcast.net	(503) 539-0933	Letter sent April 4, 2018	Did not receive a response.
Freddie Romero (on behalf of Kenneth Kahn, Chairperson)	Santa Ynez Band of Mission Indians	P.O. Box 517 Santa Ynez, CA 93460	kkahn@santaynezchumash.org	(805) 688-7997	Letter sent April 4, 2018	Did not receive a response.

Source: Native American Heritage Commission (NAHC) Response 2018



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April 4, 2018

Patrick Tumamait
Barbareño/Ventureño Band of Mission Indians
992 El Camino Corto
Ojai, California 93023

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County, California

Dear Mr. Tumamait,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

This letter serves to inquire about your knowledge of potential cultural resources within the vicinity that may be impacted by project development. Rincon contacted the Native American Heritage Commission to request a Sacred Lands File search of the project area that was returned with negative results. However, we are aware that the results of this search do not negate the possibility of cultural resources existing within the area.

If you have knowledge of cultural resources that may exist within or near the project area, please contact me at (805) 644 4455 extension 165, or at mszromba@rinconconsultants.com. A Project Location Map is enclosed with this letter for your reference. Thank you for your assistance.

Sincerely,
Rincon Consultants, Inc.

Meagan Szromba, MA, RPA
Associate Archaeologist



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Los Angeles, California 90012

213 788 4842
FAX 908 2200

info@rinconconsultants.com
www.rinconconsultants.com

April 4, 2018

Eleanor Arrellanes
Barbareño/Ventureño Band of Mission Indians
P.O. Box 5687
Ventura, California 93005

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Ms. Arrellanes,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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April 4, 2018

Julie Tumamait-Stenslie, Chairperson
Barbareño/Ventureño Band of Mission Indians
365 North Poli Avenue
Ojai, California 93023

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Chairperson Tumamait-Stenslie,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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April 4, 2018

Raudel Banuelos
Barbareño/Ventureño Band of Mission Indians
331 Mira Flores
Camarillo, California 93012

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Mr. Banuelos,

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April 4, 2018

Mia Lopez, Chairperson
Coastal Band of the Chumash Nation
24 South Voluntario Street
Santa Barbara, California 93101

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Chairperson Lopez,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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April 4, 2018

Jairo Avila, Tribal Historic and Cultural Preservation Officer
Fernandeno Tataviam Band of Mission Indians
1019 Second Street, Suite 1
San Fernando, California 91340

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Mr. Avila,

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April 4, 2018

Alan Salazar, Chairman Elders Council
Fernandeno Tataviam Band of Mission Indians
1019 Second Street, Suite 1
San Fernando, California 91340

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Mr. Salazar,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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Associate Archaeologist



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April 4, 2018

Beverly Salazar Folkes, Elders Council
Fernandeno Tataviam Band of Mission Indians
1931 Shady Brooks Drive
Thousand Oaks, California 91362

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Ms. Salazar Folkes,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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April 4, 2018

Andrew Salas, Chairperson
Gabrieleno Band of Mission Indians – Kizh Nation
P.O. Box 393
Covina, California 91723

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

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April 4, 2018

Anthony Morales, Chairperson
Gabrieleno/Tongva San Gabriel Band of Mission Indians
P.O. Box 693
San Gabriel, California 91778

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Chairperson Morales,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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April 4, 2018

Sandonne Goad, Chairperson
Gabrielino/Tongva Nation
106 ½ Judge John Aiso Street, #231
Los Angeles, California 90012

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Chairperson Goad,

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April 4, 2018

Robert Dorame, Chairperson
Gabrielino Tongva Indians of California Tribal Council
P.O. Box 490
Bellflower, California 90707

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Chairperson Dorame,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

This letter serves to inquire about your knowledge of potential cultural resources within the vicinity that may be impacted by project development. Rincon contacted the Native American Heritage Commission to request a Sacred Lands File search of the project area that was returned with negative results. However, we are aware that the results of this search do not negate the possibility of cultural resources existing within the area.

If you have knowledge of cultural resources that may exist within or near the project area, please contact me at (805) 644 4455 extension 165, or at mszromba@rinconconsultants.com. A Project Location Map is enclosed with this letter for your reference. Thank you for your assistance.

Sincerely,
Rincon Consultants, Inc.

Meagan Szromba, MA, RPA
Associate Archaeologist



Rincon Consultants, Inc.

250 East 1st Street, Suite 301
Los Angeles, California 90012

213 788 4842
FAX 908 2200

info@rinconconsultants.com
www.rinconconsultants.com

April 4, 2018

Charles Alvarez
Gabrielino – Tongva Tribe
23454 Vanowen Street
West Hills, California 91307

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County, California

Dear Mr. Alvarez,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

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Sincerely,
Rincon Consultants, Inc.

Meagan Szromba, MA, RPA
Associate Archaeologist



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250 East 1st Street, Suite 301
Los Angeles, California 90012

213 788 4842
FAX 908 2200

info@rinconconsultants.com
www.rinconconsultants.com

April 4, 2018

Donna Yocum, Chairperson
San Fernando Band of Mission Indians
P.O. Box 221838
Newhall, California 91322

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County,
California

Dear Chairperson Yocum,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

This letter serves to inquire about your knowledge of potential cultural resources within the vicinity that may be impacted by project development. Rincon contacted the Native American Heritage Commission to request a Sacred Lands File search of the project area that was returned with negative results. However, we are aware that the results of this search do not negate the possibility of cultural resources existing within the area.

If you have knowledge of cultural resources that may exist within or near the project area, please contact me at (805) 644 4455 extension 165, or at mszromba@rinconconsultants.com. A Project Location Map is enclosed with this letter for your reference. Thank you for your assistance.

Sincerely,
Rincon Consultants, Inc.

Meagan Szromba, MA, RPA
Associate Archaeologist



Rincon Consultants, Inc.

250 East 1st Street, Suite 301
Los Angeles, California 90012

213 788 4842
FAX 908 2200

info@rinconconsultants.com
www.rinconconsultants.com

April 4, 2018

Freddie Romero
Santa Ynez Band of Mission Indians
P.O. Box 517
Santa Ynez, California 93460

Subject: Cultural Resources Study for the Ararat Homes Project, Mission Hills, Los Angeles County, California

Dear Contact,

Rincon Consultants, Inc. (Rincon) has been retained to conduct a cultural resources study for the Ararat Homes Project (project) in the Mission Hills area of Los Angeles County. Rincon understands the project to involve expanding the capacity of the existing Ararat Home Residential Care and Nursing Facility by purchasing the adjacent residential property and redeveloping it with assisted living and nursing facilities and active senior condominiums. This project is subject to the California Environmental Quality Act.

This letter serves to inquire about your knowledge of potential cultural resources within the vicinity that may be impacted by project development. Rincon contacted the Native American Heritage Commission to request a Sacred Lands File search of the project area that was returned with negative results. However, we are aware that the results of this search do not negate the possibility of cultural resources existing within the area.

If you have knowledge of cultural resources that may exist within or near the project area, please contact me at (805) 644 4455 extension 165, or at mszromba@rinconconsultants.com. A Project Location Map is enclosed with this letter for your reference. Thank you for your assistance.

Sincerely,
Rincon Consultants, Inc.

Meagan Szromba, MA, RPA
Associate Archaeologist

NATIVE AMERICAN HERITAGE COMMISSION

January 12, 2021

Rachel Perzel
Rincon Consultants, Inc.

Via Email to: rperzel@rinconconsultants.com

Re: Native American Tribal Consultation, Pursuant to the Assembly Bill 52 (AB 52), Amendments to the California Environmental Quality Act (CEQA) (Chapter 532, Statutes of 2014), Public Resources Code Sections 5097.94 (m), 21073, 21074, 21080.3.1, 21080.3.2, 21082.3, 21083.09, 21084.2 and 21084.3, Ararat Homes Project, Los Angeles County

Dear Ms. Perzel:

Pursuant to Public Resources Code section 21080.3.1 (c), attached is a consultation list of tribes that are traditionally and culturally affiliated with the geographic area of the above-listed project. Please note that the intent of the AB 52 amendments to CEQA is to avoid and/or mitigate impacts to tribal cultural resources, (Pub. Resources Code §21084.3 (a)) ("Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource.")

Public Resources Code sections 21080.3.1 and 21084.3(c) require CEQA lead agencies to consult with California Native American tribes that have requested notice from such agencies of proposed projects in the geographic area that are traditionally and culturally affiliated with the tribes on projects for which a Notice of Preparation or Notice of Negative Declaration or Mitigated Negative Declaration has been filed on or after July 1, 2015. Specifically, Public Resources Code section 21080.3.1 (d) provides:

Within 14 days of determining that an application for a project is complete or a decision by a public agency to undertake a project, the lead agency shall provide formal notification to the designated contact of, or a tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, which shall be accomplished by means of at least one written notification that includes a brief description of the proposed project and its location, the lead agency contact information, and a notification that the California Native American tribe has 30 days to request consultation pursuant to this section.

The AB 52 amendments to CEQA law does not preclude initiating consultation with the tribes that are culturally and traditionally affiliated within your jurisdiction prior to receiving requests for notification of projects in the tribe's areas of traditional and cultural affiliation. The Native American Heritage Commission (NAHC) recommends, but does not require, early consultation as a best practice to ensure that lead agencies receive sufficient information about cultural resources in a project area to avoid damaging effects to tribal cultural resources.

The NAHC also recommends, but does not require that agencies should also include with their notification letters, information regarding any cultural resources assessment that has been completed on the area of potential effect (APE), such as:

1. The results of any record search that may have been conducted at an Information Center of the California Historical Resources Information System (CHRIS), including, but not limited to:



CHAIRPERSON
Laura Miranda
Luiseño

VICE CHAIRPERSON
Reginald Pagaling
Chumash

SECRETARY
Merri Lopez-Keifer
Luiseño

PARLIAMENTARIAN
Russell Attebery
Karuk

COMMISSIONER
Marshall McKay
Wintun

COMMISSIONER
William Mungary
Paiute/White Mountain
Apache

COMMISSIONER
Julie Tumamait-Stenslie
Chumash

COMMISSIONER
[Vacant]

COMMISSIONER
[Vacant]

EXECUTIVE SECRETARY
Christina Snider
Pomo

NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov

- A listing of any and all known cultural resources that have already been recorded on or adjacent to the APE, such as known archaeological sites;
- Copies of any and all cultural resource records and study reports that may have been provided by the Information Center as part of the records search response;
- Whether the records search indicates a low, moderate, or high probability that unrecorded cultural resources are located in the APE; and
- If a survey is recommended by the Information Center to determine whether previously unrecorded cultural resources are present.

2. The results of any archaeological inventory survey that was conducted, including:

- Any report that may contain site forms, site significance, and suggested mitigation measures.

All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum, and not be made available for public disclosure in accordance with Government Code section 6254.10.

3. The result of any Sacred Lands File (SLF) check conducted through the Native American Heritage Commission was positive. Please contact the Gabrieleno Band of Mission Indians – Kizh Nation on the attached list for more information.

4. Any ethnographic studies conducted for any area including all or part of the APE; and

5. Any geotechnical reports regarding all or part of the APE.

Lead agencies should be aware that records maintained by the NAHC and CHRIS are not exhaustive and a negative response to these searches does not preclude the existence of a tribal cultural resource. A tribe may be the only source of information regarding the existence of a tribal cultural resource.

This information will aid tribes in determining whether to request formal consultation. In the event that they do, having the information beforehand will help to facilitate the consultation process.

If you receive notification of change of addresses and phone numbers from tribes, please notify the NAHC. With your assistance, we can assure that our consultation list remains current.

If you have any questions, please contact me at my email address: Andrew.Green@nahc.ca.gov.

Sincerely,



Andrew Green
Cultural Resources Analyst

Attachment

**Native American Heritage Commission
Tribal Consultation List
Los Angeles County
1/12/2021**

Barbareno/Ventureno Band of Mission Indians

Julie Tumamait-Stenslie,
Chairperson
365 North Poli Ave
Ojai, CA, 93023
Phone: (805) 646 - 6214
jtumamait@hotmail.com
Chumash

Chumash Council of Bakersfield

Julio Quair, Chairperson
729 Texas Street
Bakersfield, CA, 93307
Phone: (661) 322 - 0121
chumashtribe@sbcglobal.net
Chumash

Coastal Band of the Chumash Nation

Mariza Sullivan, Chairperson
P. O. Box 4464
Santa Barbara, CA, 93140
Phone: (805) 665 - 0486
cbctribalchair@gmail.com
Chumash

Fernandeno Tataviam Band of Mission Indians

Rudy Ortega, Tribal President
1019 Second Street, Suite 1
San Fernando, CA, 91340
Phone: (818) 837 - 0794
Fax: (818) 837-0796
rortega@tataviam-nsn.us
Tataviam

Fernandeno Tataviam Band of Mission Indians

Jairo Avila, Tribal Historic and Cultural Preservation Officer
1019 Second Street, Suite 1
San Fernando, CA, 91340
Phone: (818) 837 - 0794
Fax: (818) 837-0796
jairo.avila@tataviam-nsn.us
Tataviam

Gabrieleno Band of Mission Indians - Kizh Nation

Andrew Salas, Chairperson
P.O. Box 393
Covina, CA, 91723
Phone: (626) 926 - 4131
admin@gabrielenoindians.org
Gabrieleno

Gabrieleno/Tongva San Gabriel Band of Mission Indians

Anthony Morales, Chairperson
P.O. Box 693
San Gabriel, CA, 91778
Phone: (626) 483 - 3564
Fax: (626) 286-1262
GTtribalcouncil@aol.com
Gabrieleno

Gabrielino /Tongva Nation

Sandonne Goad, Chairperson
106 1/2 Judge John Aiso St.,
#231
Los Angeles, CA, 90012
Phone: (951) 807 - 0479
sgoad@gabrielino-tongva.com
Gabrielino

Gabrielino Tongva Indians of California Tribal Council

Robert Dorame, Chairperson
P.O. Box 490
Bellflower, CA, 90707
Phone: (562) 761 - 6417
Fax: (562) 761-6417
gtongva@gmail.com
Gabrielino

Gabrielino-Tongva Tribe

Charles Alvarez,
23454 Vanowen Street
West Hills, CA, 91307
Phone: (310) 403 - 6048
roadkingcharles@aol.com
Gabrielino

Northern Chumash Tribal Council

Fred Collins, Spokesperson
P.O. Box 6533
Los Osos, CA, 93412
Phone: (805) 801 - 0347
fcollins@northernchumash.org
Chumash

San Luis Obispo County Chumash Council

Mark Vigil, Chief
1030 Ritchie Road
Grover Beach, CA, 93433
Phone: (805) 481 - 2461
Fax: (805) 474-4729
Chumash

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and section 5097.98 of the Public Resources Code.

This list is only applicable for consultation with Native American tribes under Public Resources Code Sections 21080.3.1 for the proposed Ararat Homes Project, Los Angeles County.

Native American Heritage Commission
Tribal Consultation List
Los Angeles County
1/12/2021

***Santa Rosa Band of Cahuilla
Indians***

Lovina Redner, Tribal Chair
P.O. Box 391820
Anza, CA, 92539
Phone: (951) 659 - 2700
Fax: (951) 659-2228
lsaul@santarosa-nsn.gov

Cahuilla

***Santa Ynez Band of Chumash
Indians***

Kenneth Kahn, Chairperson
P.O. Box 517
Santa Ynez, CA, 93460
Phone: (805) 688 - 7997
Fax: (805) 686-9578
kkahn@santaynezchumash.org

Chumash

***Soboba Band of Luiseno
Indians***

Scott Cozart, Chairperson
P. O. Box 487
San Jacinto, CA, 92583
Phone: (951) 654 - 2765
Fax: (951) 654-4198
jontiveros@soboba-nsn.gov

Cahuilla
Luiseno

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and section 5097.98 of the Public Resources Code.

This list is only applicable for consultation with Native American tribes under Public Resources Code Sections 21080.3.1 for the proposed Ararat Homes Project, Los Angeles County.

Table 1 Native American Outreach Documentation-2021

Tribal Contact	Rincon Outreach Effort	Response to Outreach Efforts
<p>Barbareno/Ventureno Band of Mission Indians Att: Julie Tumamait-Stenslie, Chairperson 365 North Poli Avenue Ojai, CA, 93023 Phone: (805) 646 - 6214 Email: jtumamait@hotmail.com</p>	<p>1/22/2021: Sent outreach letter via email. 2/1/2021: Conducted follow-up telephone call.</p>	<p>2/1/2021: Spoke with Ms. Tumamait-Stenslie who stated that the project is outside the territory of the Barbareno/Ventureno Band of Mission Indians and that they defer to local tribes.</p>
<p>Chumash Council of Bakersfield Att: Julio Quair, Chairperson 729 Texas Street Bakersfield, CA, 93307 Phone: (661) 322 - 0121 Email: chumashtribe@sbcglobal.net</p>	<p>1/22/2021: Sent outreach letter via email; email was returned undeliverable. 1/22/2021: Placed two calls to try and obtain/verify email address; no answer or ability to leave message. 2/1/2021: Placed two calls to try and obtain/verify email address; no answer or ability to leave message.</p>	<p>No response received.</p>
<p>Coastal Band of the Chumash Nation Att: Mariza Sullivan, Chairperson P. O. Box 4464 Santa Barbara, CA, 93140 Phone: (805) 665 - 0486 Email: cbcntribalchair@gmail.com</p>	<p>1/22/2021: Sent outreach letter via email. 2/1/2021: Conducted follow-up telephone call; no answer, left message requesting callback.</p>	
<p>Fernandeno Tataviam Band of Mission Indians Att: Rudy Ortega, Tribal President 1019 Second Street, Suite 1 San Fernando, CA, 91340 Phone: (818) 837 - 0794 Fax: (818) 837-0796 Email: rortega@tataviam-nsn.us</p>	<p>1/22/2021: Sent outreach letter via email. 2/1/2021: Conducted follow-up telephone call; spoke with administrative assistant who stated that Mr. Ortega was on another call but that he would make him aware of the follow up call.</p>	
<p>Fernandeno Tataviam Band of Mission Indians Att: Jairo Avila, Tribal Historic and Cultural Preservation Officer 1019 Second Street, Suite 1 San Fernando, CA, 91340 Phone: (818) 837 - 0794 Fax: (818) 837-0796 Email: jairo.avila@tataviam-nsn.us</p>	<p>1/22/2021: Sent outreach letter via email.</p>	<p>1/22/2021: Rincon received an email from Jairo Avila which stated: <i>On behalf of the Cultural Resource Management Division of the Fernandeno Tataviam Band of Mission Indians (FTBMI), thank you for the email and opportunity to share information. The Project is located in a culturally sensitive area and has a high potential to impact cultural resources during ground-disturbing activities. The CRM Division will follow up with the Lead Agency and provide cultural information during the AB52/Tribal consultation process.</i></p>

Tribal Contact	Rincon Outreach Effort	Response to Outreach Efforts
<p>Gabrieleno Band of Mission Indians - Kizh Nation Att: Andrew Salas, Chairperson P.O. Box 393 Covina, CA, 91723 Phone: (626) 926 - 4131 Email: admin@gabrielenoindians.org</p>	<p>1/22/2021: Sent outreach letter via email.</p> <p>1/27/2021: Rincon responded to the email noted at right and stated that we do not currently have a city contact but that we would pursue obtaining a city contact and be in touch if/when one is available.</p> <p>1/27/2021: Rincon responded to Ms. Salas making her aware that the lead agency for the project is the City of Los Angeles and that the client for the project is not the city. Rincon stated that they would attempt to obtain lead agency contact information for Ms. Salas. Rincon then reached out to the client via email to attempt to obtain contact information to pass on as requested.</p> <p>7/20/2021: Rincon responded to Ms. Salas via email and provided contact information for the lead agency, as provided by client (Peg Malone-Brown, City Planning Associate, Los Angeles City Planning).</p>	<p>1/26/2021: Rincon received an email response from the administration specialist for the Gabrieleno Band of Mission Indians - Kizh Nation (Brandy Salas) confirming receipt of the outreach letter and requesting contact information for the lead agency.</p>
<p>Gabrieleno/Tongva San Gabriel Band of Mission Indians Att: Anthony Morales, Chairperson P.O. Box 693 San Gabriel, CA, 91778 Phone: (626) 483 - 3564 Fax: (626) 286-1262 Email: GTTribalcouncil@aol.com</p>	<p>1/22/2021: Sent outreach letter via email.</p> <p>2/1/2021: Conducted follow-up telephone call; no answer, left message requesting callback.</p>	
<p>Gabrielino /Tongva Nation Att: Sandonne Goad, Chairperson 106 1/2 Judge John Aiso St., #231 Los Angeles, CA, 90012 Phone: (951) 807 - 0479 Email: sgoad@gabrielino-tongva.com</p>	<p>1/22/2021: Sent outreach letter via email.</p> <p>2/1/2021: Conducted follow-up telephone call; no answer, left message requesting callback.</p>	
<p>Gabrielino Tongva Indians of California Tribal Council Att: Robert Dorame, Chairperson P.O. Box 490 Bellflower, CA, 90707 Phone: (562) 761 - 6417 Fax: (562) 761-6417 Email: gtongva@gmail.com</p>	<p>1/22/2021: Sent outreach letter via email.</p> <p>2/1/2021: Conducted follow-up telephone call; no answer, left message requesting callback.</p>	
<p>Gabrielino-Tongva Tribe Att: Charles Alvarez, 23454 Vanowen Street West Hills, CA, 91307 Phone: (310) 403 - 6048 Email: roadkingcharles@aol.com</p>	<p>1/22/2021: Sent outreach letter via email.</p> <p>2/1/2021: Conducted follow-up telephone call; no answer, left message requesting callback.</p>	

Tribal Contact	Rincon Outreach Effort	Response to Outreach Efforts
<p>Northern Chumash Tribal Council (NCTC) Att: Fred Collins, Spokesperson P.O. Box 6533 Los Osos, CA, 93412 Phone: (805) 801 – 0347 Email: fcollins@northernchumash.org</p>	<p>1/22/2021: Sent outreach letter via email. 2/1/2021: Conducted follow-up telephone call; no answer, left message requesting callback.</p>	<p>1/28/2021: Received email from Fred Collins that stated: <i>NCTC support the local tribal governments recommendations.</i></p>
<p>San Luis Obispo County Chumash Council Att: Mark Vigil, Chief 1030 Ritchie Road Grover Beach, CA, 93433 Phone: (805) 481 - 2461 Fax: (805) 474-4729 Email: cnam9783@gmail.com</p>	<p>1/22/2021: Sent outreach letter via email 1/25/2021: Conducted telephone call to obtain/confirm email address; phone number appears to have been disconnected. 1/25/2021: Sent internal email to obtain/confirm email address and/or phone number. 1/25/2021: Obtained an email from Rincon colleague located in San Luis Obispo that stated that it's correct that the telephone and email address associated with Mr. Vigil no longer functions and that Rincon has not been successful in contacting him on other recent projects.</p>	<p>1/23/2021: Original email was returned as undeliverable. No additional response received.</p>
<p>Santa Rosa Band of Cahuilla Indians Lovina Redner, Tribal Chair P.O. Box 391820 Anza, CA, 92539 Phone: (951) 659 - 2700 Fax: (951) 659-2228 Email: lsaul@santarosa-nsn.gov</p>	<p>1/22/2021: Sent outreach letter via email. 2/1/2021: Conducted follow-up telephone call. Administrative assistant (Joanie) stated that the person who normally handles outreach responses is out on leave. She requested that the outreach letter be sent to her (Jmiranda@santarosa-nsn.gov). Rincon confirmed that the original outreach letter was sent via email to Jmiranda@santarosa-nsn.gov.</p>	
<p>Santa Ynez Band of Chumash Indians Att: Kenneth Kahn, Chairperson P.O. Box 517 Santa Ynez, CA, 93460 Phone: (805) 688 - 7997 Fax: (805) 686-9578 Email: kkahn@santaynezchumash.org</p>	<p>1/22/2021: Sent outreach letter via email. 2/1/2021: Conducted follow-up telephone call. Spoke with operator who forwarded call to Kelsie Merrick, administrative assistant in the cultural department. No answer, left message requesting callback.</p>	<p>3/22/2021: Rincon received an email with attached letter from Kelsie Merrick, Administrative Assistant to the Elder's Council and Culture Department for the Santa Ynez Band of Chumash Indians. The letter stated the following: <i>"At this time, the Elders' Council requests no further consultation on this project; however, we understand that as part of NHPA Section 106, we must be notified of the project."</i></p>

Tribal Contact	Rincon Outreach Effort	Response to Outreach Efforts
<p>Soboba Band of Luiseno Indians Att: Scott Cozart, Chairperson P. O. Box 487 San Jacinto, CA, 92583 Phone: (951) 654 - 2765 Fax: (951) 654-4198 Email: jontiveros@soboba-nsn.gov</p>	<p>1/22/2021: Sent outreach letter via email.</p> <p>2/1/2021: Conducted follow-up telephone call. No answer, left message requesting callback.</p>	



Rincon Consultants, Inc.

250 East 1st Street, Suite 1400
Los Angeles, California 90012

213 788 4842 OFFICE AND FAX

info@rinconconsultants.com
www.rinconconsultants.com

January 22, 2021
Project No: 18-05520

Gabrieleno Band of Mission Indians - Kizh Nation
Att: Andrew Salas, Chairperson
P.O. Box 393
Covina, California 91723
Via Email: admin@gabrielenoindians.org

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Salas:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

Rincon initially contacted the Native American Heritage Commission (NAHC) to request a Sacred Lands File (SLF) search of the project area in March 2018, the results of which were negative. Native American outreach was performed in April 2018 using a tribal contact list provided by the NAHC at that time. Following this outreach effort, the project was placed on hold. Rincon requested a new SLF search and updated tribal contact list from the NAHC on December 30, 2020. On January 12, 2021, the NAHC responded that the results of the SLF search were positive. As a result, Rincon is sending outreach letters to all tribes included on the current Tribal Consultation List for Los Angeles County. Additionally, a search of the California Historical Resources Information System (CHRIS) was performed on March 20, 2018. The CHRIS search did not identify any previously conducted cultural resource studies that identified cultural resources within the project site or previously recorded cultural resources within the project site.

This letter serves to inquire about your knowledge of potential cultural resources within the vicinity of the subject property that may be impacted by the proposed project. If you have knowledge of cultural resources that may exist within or near the project area, please contact me at (805) 644 4455 extension 138, or at rperzel@rinconconsultants.com. A Project Location Map is enclosed with this letter for your reference. Thank you for your assistance.

Sincerely,
Rincon Consultants, Inc.

A handwritten signature in black ink that reads "Rachel Perzel". The signature is written in a cursive, flowing style.

Rachel Perzel, MA
Cultural Resources Specialist

Attachments: *Project Location Map*



Rincon Consultants, Inc.

250 East 1st Street, Suite 1400
Los Angeles, California 90012

213 788 4842 OFFICE AND FAX

info@rinconconsultants.com
www.rinconconsultants.com

January 22, 2021
Project No: 18-05520

Gabrieleno/Tongva San Gabriel Band of Mission Indians
Att: Anthony Morales, Chairperson
P.O. Box 693
San Gabriel, California 91778
Via Email: GTTribalcouncil@aol.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Morales:

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Sincerely,
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Rachel Perzel, MA
Cultural Resources Specialist

Attachments: *Project Location Map*



Rincon Consultants, Inc.

250 East 1st Street, Suite 1400
Los Angeles, California 90012

213 788 4842 OFFICE AND FAX

info@rinconconsultants.com
www.rinconconsultants.com

January 22, 2021
Project No: 18-05520

Gabrielino-Tongva Tribe
Att: Charles Alvarez
23454 Vanowen Street
West Hills, California 91307
Via Email: roadkingcharles@aol.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Mr. Alvarez:

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January 22, 2021
Project No: 18-05520

Northern Chumash Tribal Council
Att: Fred Collins, Spokesperson
P.O. Box 6533
Los Osos, California 93412
Via Email: fcollins@northernchumash.org

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Spokesperson Collins:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

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January 22, 2021
Project No: 18-05520

Fernandeno Tataviam Band of Mission Indians
Att: Jairo Avila, Tribal Historic and Cultural Preservation Officer
1019 Second Street, Suite 1
San Fernando, California 91340
Via Email: jairo.avila@tataviam-nsn.us

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Tribal Historic and Cultural Preservation Officer Avila:

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January 22, 2021
Project No: 18-05520

Barbareno/Ventureno Band of Mission Indians
Att: Julie Tumamait-Stenslie, Chairperson
365 North Poli Avenue
Ojai, California 93023
Via Email: jtumamait@hotmail.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Ms. Tumamait-Stenslie:

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January 22, 2021
Project No: 18-05520

Chumash Council of Bakersfield
Att: Julio Quair, Chairperson
729 Texas Street
Bakersfield, California 93307
Via Email: chumashtribe@sbcglobal.net

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Quair:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

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January 22, 2021
Project No: 18-05520

Santa Ynez Band of Chumash Indians
Att: Kenneth Kahn, Chairperson
P.O. Box 517
Santa Ynez, CA, 93460
Via Email: kkahn@santaynezchumash.org

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Kahn:

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January 22, 2021
Project No: 18-05520

Santa Rosa Band of Cahuilla Indians
Lovina Redner, Tribal Chair
P.O. Box 391820
Anza, California 92539
Via Email: Isaul@santarosa-nsn.gov

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Tribal Chair Redner:

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January 22, 2021
Project No: 18-05520

Coastal Band of the Chumash Nation
Att: Mariza Sullivan, Chairperson
P. O. Box 4464
Santa Barbara, California 93140
Via Email: cbcntribalchair@gmail.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Sullivan:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

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January 22, 2021
Project No: 18-05520

San Luis Obispo County Chumash Council
Att: Mark Vigil, Chief
1030 Ritchie Road
Grover Beach, California 93433
Via Email: cnam9783@gmail.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chief Vigil:

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January 22, 2021
Project No: 18-05520

Gabrielino Tongva Indians of California Tribal Council
Att: Robert Dorame, Chairperson
P.O. Box 490
Bellflower, California 90707
Via Email: gtongva@gmail.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Dorame:

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January 22, 2021
Project No: 18-05520

Fernandeno Tataviam Band of Mission Indians
Att: Rudy Ortega, Tribal President
1019 Second Street, Suite 1
San Fernando, California 91340
Via Email: rortega@tataviam-nsn.us

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Tribal President Ortega:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

Rincon initially contacted the Native American Heritage Commission (NAHC) to request a Sacred Lands File (SLF) search of the project area in March 2018, the results of which were negative. Native American outreach was performed in April 2018 using a tribal contact list provided by the NAHC at that time. Following this outreach effort, the project was placed on hold. Rincon requested a new SLF search and updated tribal contact list from the NAHC on December 30, 2020. On January 12, 2021, the NAHC responded that the results of the SLF search were positive. As a result, Rincon is sending outreach letters to all tribes included on the current Tribal Consultation List for Los Angeles County. Additionally, a search of the California Historical Resources Information System (CHRIS) was performed on March 20, 2018. The CHRIS search did not identify any previously conducted cultural resource studies that identified cultural resources within the project site or previously recorded cultural resources within the project site.

This letter serves to inquire about your knowledge of potential cultural resources within the vicinity of the subject property that may be impacted by the proposed project. If you have knowledge of cultural resources that may exist within or near the project area, please contact me at (805) 644 4455 extension 138, or at rperzel@rinconconsultants.com. A Project Location Map is enclosed with this letter for your reference. Thank you for your assistance.

Sincerely,
Rincon Consultants, Inc.

A handwritten signature in black ink that reads "Rachel Perzel". The signature is written in a cursive, flowing style.

Rachel Perzel, MA
Cultural Resources Specialist

Attachments: *Project Location Map*



Rincon Consultants, Inc.

250 East 1st Street, Suite 1400
Los Angeles, California 90012

213 788 4842 OFFICE AND FAX

info@rinconconsultants.com
www.rinconconsultants.com

January 22, 2021
Project No: 18-05520

Gabrielino /Tongva Nation
Att: Sandonne Goad, Chairperson
106 1/2 Judge John Aiso St., #231
Los Angeles, California 90012
Via Email: sgoad@gabrielino-tongva.com

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Goad:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

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Rachel Perzel, MA
Cultural Resources Specialist

Attachments: *Project Location Map*



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250 East 1st Street, Suite 1400
Los Angeles, California 90012

213 788 4842 OFFICE AND FAX

info@rinconconsultants.com
www.rinconconsultants.com

January 22, 2021
Project No: 18-05520

Soboba Band of Luiseno Indians
Att: Scott Cozart, Chairperson
P. O. Box 487
San Jacinto, CA, 92583
Via Email: jontiveros@soboba-nsn.gov

Subject: Cultural Resources Study for the Ararat Homes Project, City and County of Los Angeles, California

Dear Chairperson Cozart:

Rincon Consultants, Inc. (Rincon) was retained to conduct a cultural resources study for the Ararat Homes Project (project) located at 15151 Mission Hills Road (subject property) in the Mission Hills community of the City of Los Angeles. The project involves expansion of the currently existing Ararat Home Residential Care and Nursing Facility located adjacent to the subject property, at 15105 Mission Hills Road. The project consists of the demolition of all existing buildings and features located on the subject property and its redevelopment with several new buildings. The new buildings include a 51,000 square foot (SF) skilled nursing facility and a 96,150 SF assisted living/memory care facility in a lower campus, and 90,460 SF of apartments and townhomes in an upper campus. A combination of surface and underground parking is proposed. The project would include ground disturbance associated with demolition and construction activities and is subject to the California Environmental Quality Act.

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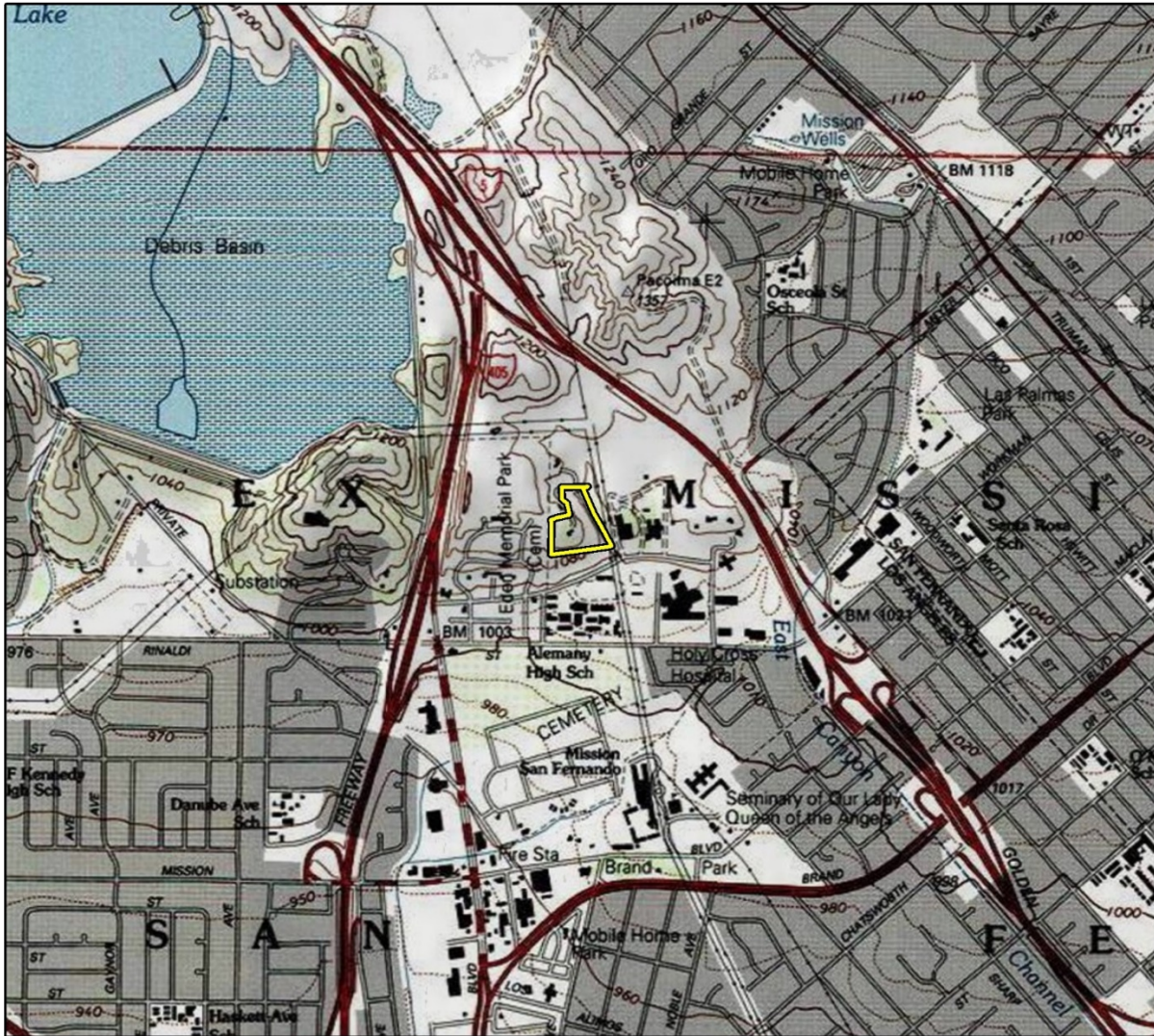
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Rincon Consultants, Inc.

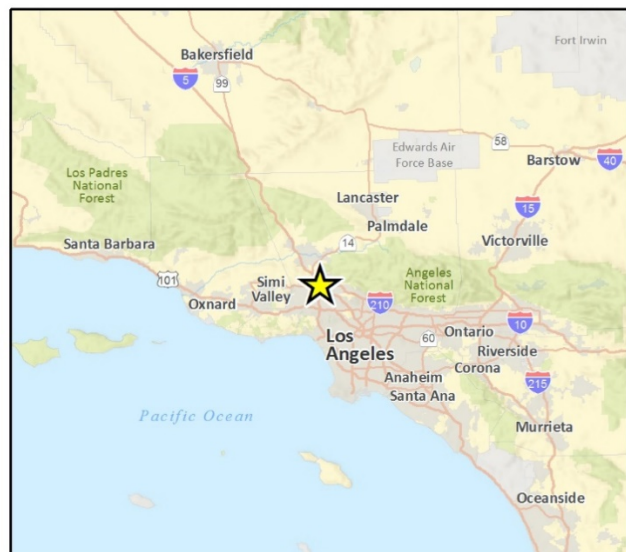
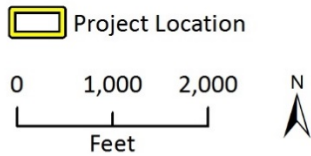
A handwritten signature in black ink that reads "Rachel Perzel". The signature is written in a cursive, flowing style.

Rachel Perzel, MA
Cultural Resources Specialist

Attachments: *Project Location Map*



Imagery provided by National Geographic Society, Esri and its licensors © 2018. San Fernando Quadrangle. T02N R15W S04. The topographic representation depicted in this map may not portray all of the features currently found in the vicinity today and/or features depicted in this map may have changed since the original topographic map was assembled.



CR Fig 1 Proj Locn Map

Rachel Perzel

From: Jairo Avila <jairo.avila@tataviam-nsn.us>
Sent: Friday, January 22, 2021 4:09 PM
To: Rachel Perzel
Cc: Ken Victorino
Subject: [EXT] Re: Outreach Letter-Ararat Homes Project

Follow Up Flag: Follow up
Flag Status: Completed

CAUTION: This email originated from outside of Rincon Consultants. Be cautious before clicking on any links, or opening any attachments, until you are confident that the content is safe .

Dear Rachel Perzel,

On behalf of the Cultural Resource Management Division of the Fernandeano Tataviam Band of Mission Indians (FTBMI), thank you for the email and opportunity to share information. The Project is located in a culturally sensitive area and has a high potential to impact cultural resources during ground-disturbing activities. The CRM Division will follow up with the Lead Agency and provide cultural information during the AB52/Tribal consultation process.

Respectfully,

Jairo F. Avila, M.A., RPA.
Tribal Historic and Cultural Preservation Officer
Cultural Resources Management Division
Tribal Historic and Cultural Preservation Department

Fernandeano Tataviam Band of Mission Indians
1019 Second Street, Suite 1
San Fernando, California 91340
Office: (818) 837-0794
Website: <http://www.tataviam-nsn.us>

From: Rachel Perzel <rperzel@rinconconsultants.com>
Sent: Friday, January 22, 2021 2:11 PM
To: Jairo Avila <jairo.avila@tataviam-nsn.us>
Cc: Ken Victorino <kvictorino@rinconconsultants.com>
Subject: Outreach Letter-Ararat Homes Project

[CAUTION] EXTERNAL Email. Exercise caution.

Good Afternoon Tribal Historic and Cultural Preservation Officer Avila,
I hope 2021 is treating you well! Please see the attached outreach letter for a project proposed in the Mission Hills community of Los Angeles.
Please feel free to reach out to me at any time should you wish to discuss any cultural resources concerns you may have in association with the project.
Best,

Rachel Beth Perzel, Cultural Resources Specialist

Rincon Consultants, Inc.

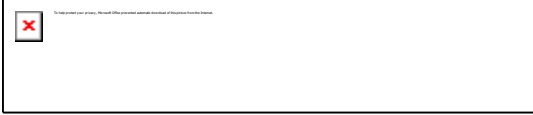
Environmental Scientists | Planners | Engineers

805-644-4455 x 138

732-233-3997 Mobile

rinconconsultants.com

Note on COVID-19: I'm available and working remotely to employ social distancing. Additionally, our work systems remain operational and we continue to perform work for our clients. Feel free to e-mail me or reach me directly at 805-947-4817.



 Please consider the environment before printing this email.

Rachel Perzel

From: Gabrieleno Administration <admin@gabrielenoindians.org>
Sent: Tuesday, July 20, 2021 12:17 PM
To: Rachel Perzel
Subject: Re: [EXT] Re: Outreach Letter-Ararat Homes Project

CAUTION: This email originated from outside of Rincon Consultants. Be cautious before clicking on any links, or opening any attachments, until you are confident that the content is safe .

Hello Rachel

Thank you for your email and the information. It is greatly appreciated.

Thank you

Sincerely,
Brandy Salas

Admin Specialist
Gabrieleno Band of Mission Indians - Kizh Nation
PO Box 393
Covina, CA 91723
Office: 844-390-0787
website: www.gabrielenoindians.org



The region where Gabrieleño culture thrived for more than eight centuries encompassed most of Los Angeles County, more than half of Orange County and portions of Riverside and San Bernardino counties. It was the labor of the Gabrieleño who built the missions, ranchos and the pueblos of Los Angeles. They were trained in the trades, and they did the construction and maintenance, as well as the farming and managing of herds of livestock. “The Gabrieleño are the ones who did all this work, and they really are the foundation of the early economy of the Los Angeles area “. “That’s a contribution that Los Angeles has not recognized--the fact that in its early decades, without the Gabrieleño, the community simply would not have survived.”

On Tue, Jul 20, 2021 at 11:22 AM Rachel Perzel <rperzel@rinconconsultants.com> wrote:

Hi Brandy

I know it’s been quite literally forever!

This project has been on again-off again for quite a long time.

Despite that, I felt it was important to follow up with you on this. I am again working on the cultural study and finally received some lead agency contact information that I wanted to pass on to you (see below). Please let me know if I can assist any further and I hope you are well.

Best,

Rachel

Peg Malone-Brown

City Planning Associate
Los Angeles City Planning
6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

Preferred pronouns: she/her

E peggy.malone-brown@lacity.org

D 818.374.5036

Planning4LA.org

From: Gabrieleno Administration <admin@gabrielenoindians.org>

Sent: Tuesday, January 26, 2021 1:18 PM

To: Rachel Perzel <rperzel@rinconconsultants.com>

Subject: [EXT] Re: Outreach Letter-Ararat Homes Project

CAUTION: This email originated from outside of Rincon Consultants. Be cautious before clicking on any links, or opening any attachments, until you are confident that the content is safe .

Good afternoon Rachel

Thank you for your email. Can you please provide the lead agencies contact information?

Thank you

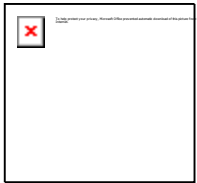
Sincerely,

Brandy Salas

Admin Specialist
Gabrieleno Band of Mission Indians - Kizh Nation
PO Box 393
Covina, CA 91723

Office: 844-390-0787

website: www.gabrielenoindians.org



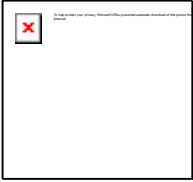
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On Tue, Jan 26, 2021 at 1:16 PM Gabrieleno Administration <admin@gabrielenoindians.org> wrote:

Admin Specialist
Gabrieleno Band of Mission Indians - Kizh Nation
PO Box 393
Covina, CA 91723

Office: 844-390-0787

website: www.gabrielenoindians.org



The region where Gabrieleño culture thrived for more than eight centuries encompassed most of Los Angeles County, more than half of Orange County and portions of Riverside and San Bernardino counties. It was the labor of the Gabrieleño who built the missions, ranchos and the pueblos of Los Angeles. They were trained in the trades, and they did the construction and maintenance, as well as the farming and managing of herds of livestock. “The Gabrieleño are the ones who did all this work, and they really are the foundation of the early economy of the Los Angeles area “. “That’s a contribution that Los Angeles has not recognized--the fact that in its early decades, without the Gabrieleño, the community simply would not have survived.”

On Fri, Jan 22, 2021 at 2:13 PM Rachel Perzel <rperzel@rinconconsultants.com> wrote:

Good Afternoon Chairperson Salas,

I hope 2021 is treating you well! Please see the attached outreach letter for a project proposed in the Mission Hills community of Los Angeles.

Please feel free to reach out to me at any time should you wish to discuss any cultural resources concerns you may have in association with the project.

Best,

Rachel Beth Perzel, Cultural Resources Specialist

Rincon Consultants, Inc.

Environmental Scientists | Planners | Engineers

805-644-4455 x 138

732-233-3997 Mobile

rinconconsultants.com

Note on COVID-19: I'm available and working remotely to employ social distancing.

Additionally, our work systems remain operational and we continue to perform work for our clients.

Feel free to e-mail me or reach me directly at 805-947-4817.



 Please consider the environment before printing this email.

Rachel Perzel

From: Fred Collins <fcollins@northernchumash.org>
Sent: Thursday, April 22, 2021 5:21 AM
To: Rachel Perzel
Subject: [EXT] RE: Outreach for the Cypress Place at Garden City project in Oxnard.

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of Rincon Consultants. Be cautious before clicking on any links, or opening any attachments, until you are confident that the content is safe .

Hello Rachael,

NCTC supports the local Tribal Governments recommendations for this proposed project.

Thank you,

Fred Collins
NCTC

From: Rachel Perzel [mailto:rperzel@rinconconsultants.com]
Sent: Wednesday, April 21, 2021 12:20 PM
To: fcollins@northernchumash.org
Cc: Ken Victorino
Subject: Outreach for the Cypress Place at Garden City project in Oxnard.

Good Afternoon Spokesperson Collins,
I hope all is well! Please see the attached outreach letter for the Cypress Place at Garden City project in Oxnard. Please feel free to reach out any time, should you wish to discuss the project. I will follow up with you in a few weeks via email and/or telephone.
Best,

Rachel Beth Perzel, Architectural Historian
Rincon Consultants, Inc.
Environmental Scientists | Planners | Engineers
805-644-4455 x 138
732-233-3997 Mobile
rinconconsultants.com



 Please consider the environment before printing this email.



Santa Ynez Band of Chumash Indians
Tribal Elders' Council

P.O. Box 517 ♦ Santa Ynez ♦ CA ♦ 93460

Phone: (805)688-7997 ♦ Fax: (805)688-9578 ♦ Email: elders@santaynezchumash.org

March 22, 2021

Rincon Consultants, Inc.

Att.: Rachel Perzel, MA Cultural Resources Specialist

Re: Ararat Homes Project

Dear Ms. Perzel:

Thank you for contacting the Tribal Elders' Council for the Santa Ynez Band of Chumash Indians.

At this time, the Elders' Council requests no further consultation on this project; however, we understand that as part of NHPA Section 106, we must be notified of the project.

Thank you for remembering that at one time our ancestors walked this sacred land.

Sincerely Yours,

Kelsie Merrick

Administrative Assistant | Elders' Council and Culture Department

Santa Ynez Band of Chumash Indians | Tribal Hall

(805) 688-7997 ext. 7516

kmerrick@santaynezchumash.org

Appendix D

California Department of Parks and Recreation 523 Series Forms

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 6Z

Other Listings
Review Code

Reviewer

Date

Page 1 of 9

*Resource Name or #: 15151 Mission Hills Road

P1. Other Identifier: APN 2664-022-018

*P2. Location: Not for Publication Unrestricted *a. County: Los Angeles

*b. USGS 7.5' Quad: *San Fernando*

Date: 1995

Township: 02N, Range: 15W, Section: 04 S.B.B.M.

c. Address: 15151 Mission Hills Road

City: Los Angeles

Zip: 91345

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: N/A

***P3a. Description:**

15151 Mission Hills Road is an irregularly shaped property totaling just under seven acres which is accessible from a steep private drive extending northwest from Mission Hills Road. The property is composed of hilly terrain, the top portion of which is developed with a garage constructed in 1948, a single-family residence constructed in 1950, and a guesthouse, pool, and spa constructed in 1981. The developed portion of the property is surrounded with mature landscaping and various hardscaping. Each of the property's built features is described individually below.

Primary Residence: The primary residence is a single-story, 2,675 square foot building designed in the Ranch style. It features asymmetrical massing and sits on a poured concrete slab foundation. Exterior wall surfaces are clad primarily in wooden board and batten siding and large expanses of glass are featured. Fenestration consists of asymmetrically placed wood-framed windows and aluminum-framed slider doors. Indicative of alterations to its original design, the building's roof form is various and includes gabled, hipped and flat portions. The building is surrounded with a variety of hardscaped and landscaped areas containing mature plantings. Each elevation of the primary residence is described individually in the following sections.

North Elevation: The primary (north) elevation is accessed via a long driveway off Mission Hills Road. Original portions of the north elevation are clad in wooden board and batten siding, feature minimal window openings and are protected by wide overhanging eaves extending from a gabled roof. The façade features a prominent addition which was constructed in 1973 to contain an entry vestibule and expansion of the building's original kitchen. The façade entrance is via the addition through a pair of wood-clad doors. The addition is distinguishable from original portions of the building in its cladding, fenestration, and roof form. In addition to wood, it features brick cladding, an abundance of wood-framed slider windows and is topped with both hipped and flat roof forms. see continuation sheet

*P3b. Resource Attributes: HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo:

North Elevation of Primary Residence

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both

1948 (garage), 1950 (primary residence), 1981 (guesthouse)

*P7. Owner and Address:

N/A

*P8. Recorded by:

R. Perzel and S. Carmack, Rincon Consultants
180 North Ashwood Ave
Ventura CA 93003

*P9. Date Recorded:

April, 2018

*P10. Survey Type:

Intensive

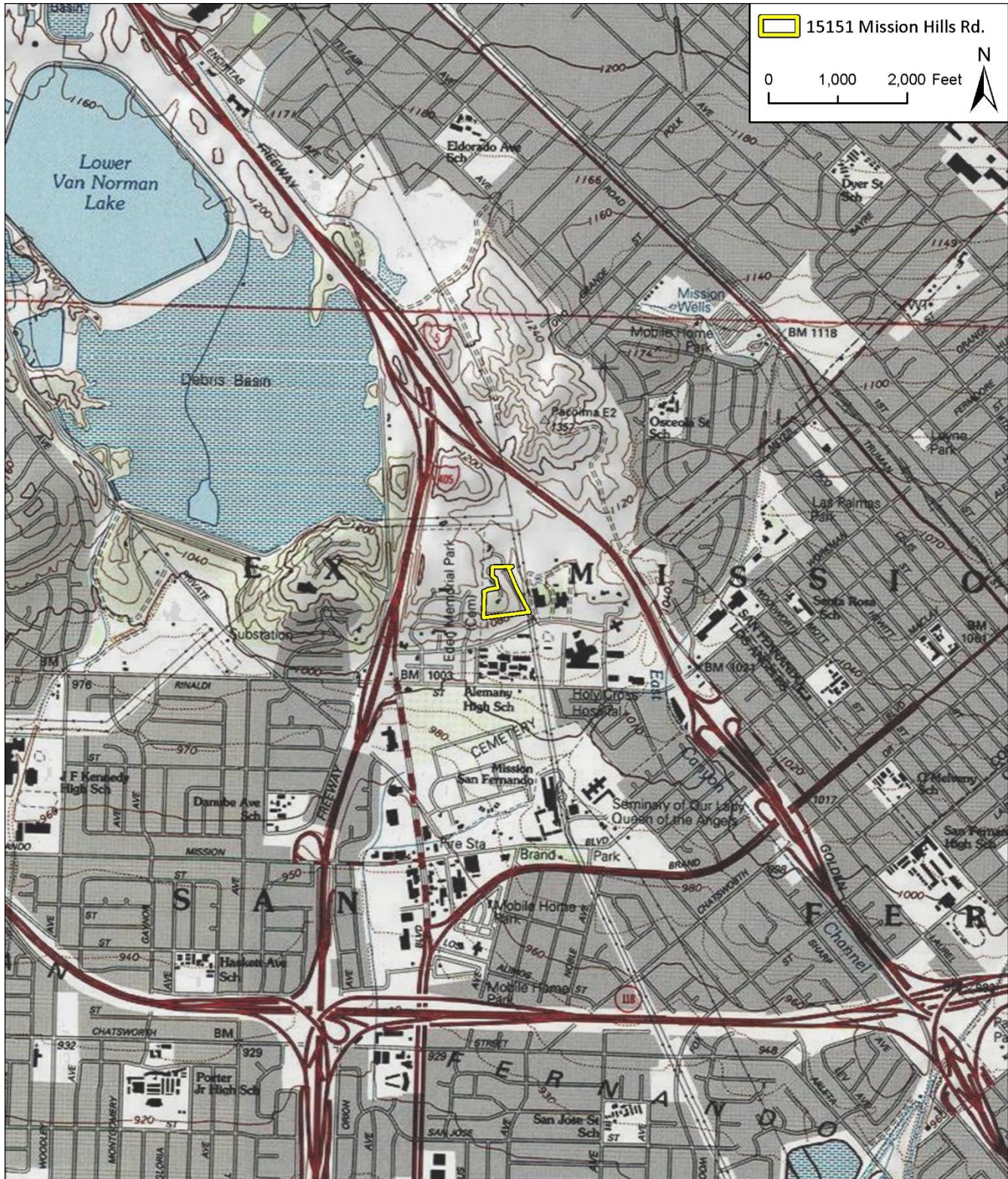
***P11. Report Citation:**

Perzel, Rachel, Shannon Carmack, Ken Victorino, and Meagan Szromba. 2021. *Ararat Homes Residential Care and Nursing Facility Project Cultural Resources Assessment Report*. Rincon Consultants, Inc., Project No. 18-05520

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):



BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # 15151 Mission Hills Road

*NRHP Status Code 6Z

Page 3 of 9

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence (vacant)

*B5. Architectural Style: Ranch Style

*B6. Construction History:

Garage: 1948; primary residence: 1950; guesthouse: 1981; see continuation sheet for additional details

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: None

B9a. Architect: Cliff May

b. Builder: Unknown

*B10. Significance: Theme N/A

Area N/A

Period of Significance N/A

Property Type N/A

Applicable Criteria N/A

Construction Narrative: A 1947 aerial photograph of Mission Hills depicts the subject property as undeveloped. In 1948, then-owner Lloyd Aldrich filed a City of Los Angeles building permit application for the construction of a 12-foot (ft.) by 32-ft. single-story, wood-clad dwelling (City of Los Angeles 1948a). Destroyed by fire in 1951, this dwelling was occupied by Aldrich and his wife while the property's primary residence was under construction (Los Angeles Times 1951). A review of available building permits indicates that the extant garage (identified as a carport and storeroom in permit records) was also constructed in the 1948. In addition to these two remaining buildings, a guest house and lath house were constructed on the subject property prior to 1950 but no longer remain (City of Los Angeles 1950).

In 1950, a City of Los Angeles building permit application was filed by Lloyd Aldrich for the construction of a new residence on the subject property. Although no architect or engineer is listed on the permit application, Cliff May (State License No. 18939/13151 Sunset Boulevard, Los Angeles) was cited as the contractor for the project. The permit application is for construction of a 27-ft. by 85-ft., one-story, wood-clad dwelling. The permit states that the building would have a concrete slab foundation and be post and beam (4 by 4-inch[in.]) construction with a wood shake roof (City of Los Angeles 1950). An aerial image dated 1952 depicts the subject property shortly after completion of the primary residence. The current garage is also visible in that photograph.

Archival research conducted for this study indicates that the subject property's primary residence was designed by prolific Los Angeles-based architect, Cliff May. A review of the *Cliff May Papers* (Aldrich file) indicates that Mr. and Mrs. Aldrich commissioned at least two homes from Mr. May, referred to as Aldrich House # 1 and Aldrich House # 2 in the *Cliff May Papers*. Aldrich House # 1 was located in the Sullivan Canyon area of Pacific Palisades and was identified by SurveyLA (Old Ranch Road Residential Historic District) as a significant collection of California Ranch-style residential architecture and as an important example of postwar residential development by Cliff May (Historic Resources Group 2013). Although Aldrich House # 1 was designed, construction of the home remains unverified at the current time. Further review of the Aldrich file indicates that May's original design for Aldrich House # 2 (on the subject property) was a significantly larger and more elaborate design than appears on the property today. The original design for subject property included a primary residence with a U-shaped footprint in addition to guest quarters, a laundry room and car port and stables detached from the main living space. see continuation sheet

B11. Additional Resource Attributes: N/A

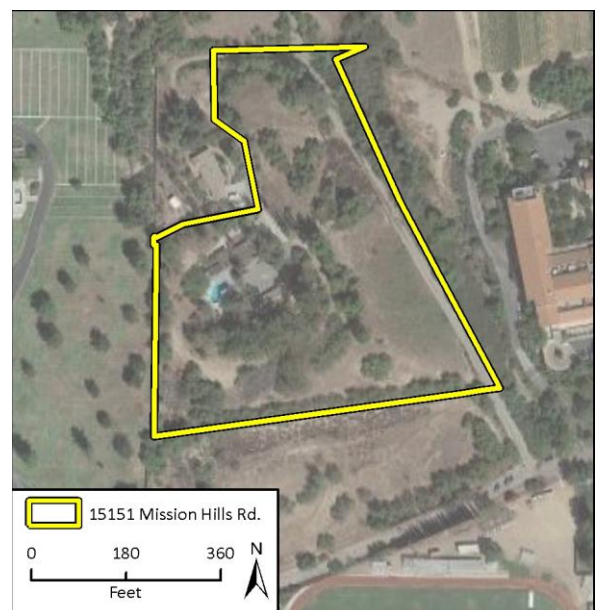
*B12. References:

see continuation sheet

B13. Remarks:

*B14. Evaluator: R. Perzel and S. Carmack, Rincon Consultants

*Date of Evaluation: July 23, 2021



(This space reserved for official comments.)

CONTINUATION SHEET

***P3a.Description (continued):**

East Elevation: The east elevation is clad in wood siding with fixed, transom windows. As noted in the Developmental History Section that follows, the east end of the building was originally designed as a lanai and carport with a semi-open plan (this was enclosed in 1973). A small lean-to addition extends at the northern corner to conceal a water heater. The roof line extends out from the east elevation with wide overhanging eaves supported by exposed beams.

South Elevation: The south elevation features an L-shaped symmetrical plan, divided by exposed wooden framing members and wide overhanging roof eaves. To integrate interior and exterior living areas, wall surfaces are largely occupied with fixed glass windows and aluminum-framed slider doors that open onto an adjacent hardscaped patio. Non-original tile featuring an arabesque pattern extends from the interior of the building to cover the patio floor. All doors and most windows on the south elevation have been replaced with contemporary fenestration.

West Elevation: The west elevation of the primary residence is largely consistent in its design with those previously described. It is symmetrically divided by exposed wooden framing members and features aluminum slider doors and wooden, board and batten siding. West of the building is a covered patio which was added to the building in 1953 by extending the building's gabled roof westward. The patio features an open-air design and is topped with a gabled roof supported with exposed wood framing.

Garage: Located approximately 60 feet northeast of the primary residence is a single-story, two-car garage constructed in 1948. It features a roughly rectangular plan, sits on a concrete slab foundation and is clad in horizontally applied wooden tongue and groove siding. The garage's primary elevation is asymmetrical and is lined with the following from west to east: one four-light, wood-framed window, one pedestrian entry door and two vehicle entry doors; all doors appear to be modern replacements. The building is topped with a side-gabled roof featuring open eaves and exposed rafters and covered with wood shakes. A shed-style addition extends from the building's north and east elevations to provide additional storage space.

Guesthouse: Located roughly 65 feet northwest of the primary residence is a guesthouse, pool, spa and hardscaped patio area, which was developed in 1981. The guesthouse features one and a half stories and an L-shaped footprint. It sits on a concrete slab foundation and is clad in a combination of wood and brick. Its pattern of fenestration is asymmetrical throughout; window sashes include one wood-framed hopper and a variety of aluminum window styles. Doors throughout are aluminum. The building is topped with a gabled roof with a wide fascia and open eaves. Roof cladding includes a combination of wood shakes and asphalt shingles. A patio area, which includes a pool partially surrounded with a wood and metal shade structure, a spa and hardscaping, is located south of the guesthouse.

***B10. Significance: Construction Narrative (continued):** In his book, *Western Ranch Houses by Cliff May*, May describes several variations of his Ranch House design, applicable to particular living situations. Although the designs contained in the book were not mass produced, they were reproduced in variation for multiple clients and therefore, do not represent custom designs in the traditional sense. The designs featured in *Western Ranch Houses by Cliff May* represent standard designs that that were customized where applicable for many clients throughout Southern California. For reasons unverifiable, May's original design for Aldrich House #2 was never pursued and in 1950, a more compact and simplified version was constructed on the subject property for Lloyd and Agnes Aldrich. The design applied to the subject property appears typical of May's 'Ranch house for a city lot,' featured on page 92 of *Western Ranch Houses by Cliff May*.

The *Cliff May Papers* include four sheets (numbers 2, 3, 4, and 5) of architectural drawings that appear to depict May's updated design for the 15151 Mission Hills Road. Although not a complete set, extant drawings include a foundation and floor plan, framing plan, one sheet of elevations and one sheet of typical framing details. The design depicted in archived drawings of Aldrich House #2 is consistent with those obtained from Dr. Klinger (owner the subject property from 1971-2018), which were also reviewed as part of the current study. In combination with visual observation, building permit history and verbal communication with Dr. Klinger, architectural drawings were relied upon to identify alterations that have been made to the primary residence since its original design.

In 1953, May's design of Aldrich House #2 was altered for the first time with the addition of a 12-ft. by 21-ft. covered porch extending from the west (rear) elevation. Consistent in its materials with the house, the porch addition was framed with 4-in. by 4-in. wood piers and rafters and featured a concrete floor and wood shake roof (City of Los Angeles 1953). The permit for the porch addition is the last corresponding to the Aldrich's tenure on the subject property and appears to be the only notable alteration undertaken prior to the early 1970s.

Lloyd Aldrich passed away in 1967 and the subject property was left to his wife, Agnes, who sold the property to Dr. Klinger in the early 1970s. Dr. Klinger and his wife raised several children on the subject property and undertook alterations to suit their needs throughout the decades. In 1973, Dr. and Mrs. Klinger embarked on several large-scale modifications to the primary residence. A building permit dated March 1973 lists the architect and contractor associated with the projects as Don Ayres and John L. Drout, respectively. see continuation sheet

CONTINUATION SHEET

***B10. Significance: Construction Narrative (continued):** The permit corresponds to the following notable alterations: construction of an addition on the north elevation to accommodate expansion of the kitchen and an entry vestibule, removal of the building's primary entry as originally designed and integration of a new entryway into the aforementioned addition and conversion of the lanai and carport that originally occupied the building's east end to interior space to contain an additional bed and bathroom (City of Los Angeles 1973). These alterations are further described in the following.

To accommodate a kitchen expansion, a 15-ft. by 31-ft. addition was added to the residence's primary elevation. The addition is distinguishable in both its materials of construction and design from original portions of the building. It features brick cladding and a flat roof, materials and forms that do not appear elsewhere in the building's design.

In addition to expansion of the kitchen, the 1953 addition accommodated the redesign of the building's primary entry. The original primary entry design included a set of double, north-facing doors centrally placed on the north elevation. Upon entry to the building from this set of doors, access to a central and open hallway running the building's width was immediately accessible. The hallway culminated in a set of south-facing, double doors on the south elevation, directly across from those on the north providing a view and method of circulation through the building.

The 1973 redesign included the expansion of the central hallway northward to provide space for an entry vestibule and coat closet. As a component of this redesign, the primary entry doors were reoriented from north to east-facing essentially cutting off the former view and method of circulation original to May's design intent.

Alterations completed in 1973 additionally include the conversion of what were originally a lanai and carport to interior living space. As originally designed, the building's interior living space terminated roughly 20 ft. west of what is currently its eastern exterior wall. In its original design, the east gable end of the building functioned as a protected outdoor space encompassing a covered porch and carport. However, to create additional interior living space, interior partition walls were constructed and wood siding, fixed glass windows and doors were installed to enclose formally open walls.

In 1980, Dr. and Mrs. Klinger applied for a building permit for the construction of a new building, a guesthouse measuring 15 ft. by 36 ft. (City of Los Angeles 1980a). Also in 1980, the Klingers had a pool, spa, and accompanying C-shaped awning surrounding the pool installed (City of Los Angeles 1980b). These additions were constructed roughly 65 feet northwest of the primary residence.

The Klinger family owned and resided at the subject property from 1971-2018. In addition to the large modifications described above, many smaller alterations were pursued during this period. Archival research and verbal communication with Dr. Klinger indicate that alterations such as the installation of tile over large portions of interior and exterior floor surface areas and window and door replacement have occurred.

Ownership History: As previously noted, the subject property was originally developed by Lloyd and Agnes Aldrich beginning in the late 1940s. The Aldrich's owned and resided on the property until Lloyd's death in 1967. Agnes appears to have retained ownership of the property until it was sold to Dr. Klinger in the early 1970s. Dr. Klinger and his wife raised several children on the subject property and resided on site until 2018. Additional information pertaining to Lloyd Aldrich, potentially significant in the history of Los Angeles, is provided below for consideration

Lloyd Aldrich was born in Marion Kansas and moved to Los Angeles at three months old. He obtained a Civil Engineering degree from Illinois University, following which point he served in various engineering positions including the following: engineer for the U.S. Reclamation Service, Highway Engineer for Stanislaus County, Highway Engineer for Fresno County and County Engineer for Sonoma County prior to his work for the city of Los Angeles. Aldrich was appointed City Engineer, a role he maintained for 22 years, in 1933. Aldrich was extensively involved in Los Angeles' Works Progress Administration (WPA) program. His accomplishments as City Engineer include the construction of the Hyperion Sewage Treatment Plant, one of the first large secondary treatment plants on the west coast and one of the most modern facilities in the world at the time of its construction. Aldrich additionally designed 400 bridges throughout Los Angeles (Los Angeles A Environment and Sanitation 2021; Los Angeles Bureau of Engineering 2021). Aldrich ran an unsuccessful campaign for Mayor of Los Angeles in 1949.

Evaluation: The subject property does not appear eligible for its association with significant events. It was originally developed in 1948 with a small dwelling utilized by then-owner Lloyd Aldrich and his wife Agnes as a residence during the construction of their Ranch house. According to building permit records, by the time the primary residence was constructed in 1950, the property included a garage, guest house and lath house. While the guest and lath house are no longer extant, the garage and primary residence remain. The property additionally includes a guest house sited adjacent to a developed pool area, constructed in the early 1980s by the property's second owners, Dr. and Mrs. Otto Klinger.

see continuation sheet

***B10. Significance: Evaluation (continued):** The subject property is one of numerous residences constructed as part of the rapid suburbanization that occurred in the Mission Hills-Panorama Hills-North Hills CPA in the post-World War II period. Review of the Historic Resources Survey Report for the Mission Hills-Panorama City-North Hills CPA confirms that suburban development occurred at an accelerated pace in the Mission Hills area in the post-war decades and that detached single-family residences constructed after World War II account for the majority of residential development in the CPA (ARG 2014). While the subject property is associated with the theme of suburbanization of the Mission Hills-Panorama Hills-North Hills CPA, the archival research conducted for this study failed to suggest that it is significant within that theme. As the suburbanization of the CPA was well underway by the time the primary residence was constructed in 1950 and the property does not represent a very early period of suburban residential development in the area. As countless single-family residences constructed following World War II remain in the CPA, the subject property is not a rare surviving example of a property from this period. Additionally, the subject property does not appear to represent any of the SurveyLA-identified themes of significance included within the context of Residential Development and Suburbanization, 1880-1980 (Early Residential Development, 1880-1930, Trailer Parks and Mobile Home Parks, 1920-1969, Tract Housing In California, 1945-1973, Multi-Family Residential Development, 1895-1970, Garden Apartments of Los Angeles, Public House in the United States, 1933-1949). This study failed to identify any significant associations that the subject property has in the history of the city, region, state, or nation. It is therefore recommended ineligible for listing under Criterion A/1/1.

Archival research indicates that the subject property is associated with Lloyd and Agnes Aldrich, owners from 1948-1967, and Dr. and Mrs. Otto Klinger, owners from 1967-2018. The research conducted for this study failed to indicate that the Klingers are significant individuals historically speaking. However, Lloyd Aldrich may qualify as an individual significant in the history of Los Angeles. Aldrich acted as City Engineer for Los Angeles for 22 years, during which time he made many contributions to the built environment of the city, including 400 bridges and design of the Hyperion Sewage Treatment Plant, one of the first large secondary treatment plants on the west coast and one of the most modern facilities in the world at the time of its construction. Along with his wife Agnes, Lloyd Aldrich was the original owner of the subject property. He commissioned the extant garage and primary residence and resided on the property from 1948 to his passing in 1967.

Integrity considerations for CTP #2 dictate that in order to meet eligibility criteria for residential properties, a significant individual must have resided in the property during the period in which they achieved significance. The property's primary residence was designed and constructed by Cliff May for Lloyd Aldrich in 1950 and became his primary residence following his retirement from the City of Los Angeles in 1955. Following his retirement, Aldrich participated in consulting work and ran, unsuccessfully, for mayor of Los Angeles. Aldrich's potential significance in relation to the city of Los Angeles, spans his time as City Engineer, from 1933 to 1955, and was achieved prior to his tenure on the subject property. As such the property does not appear to meet the eligibility standards of this CTP. Archival research failed to identify any other significant persons associated with the subject property. Archival research also failed to reveal that any of the other individuals associated with the property made significant contributions to history at the local, state, or national level. The subject property is therefore recommended ineligible for listing under Criterion B/2/2.

The primary residence on the subject property was designed by prominent Los Angeles-based architect Cliff May in the Ranch style, for which he is known. At the time of its construction, the subject building may have embodied the distinctive characteristics of a Contemporary Custom Ranch House and may have also been a representative example of the work of noted architect Cliff May. However, since the time of the building's construction, its original design has been extensively altered.

Several modifications to the building have impacted its original design; these include: a porch addition to the west gable end (1953), an addition to the primary elevation to accommodate a kitchen expansion and entry vestibule (1973), redesign of the primary entry including reorientation from north-facing to east-facing (1973), and conversion of the lanai and carport, originally a partially exterior space, to interior space to accommodate an additional bed and bathroom (1973). In addition to these major alterations, a wide range of smaller modifications have had an accumulated impact on the building's integrity of design, workmanship, and materials. Smaller-scale modifications include the application of arabesque patterned clay tile to many floor surfaces surrounding and on the building interior, addition of window openings to the building's north elevation, and the replacement of all original doors and many original windows.

Integrity considerations included in CTP #1 state that significant resources should retain integrity of location, design, materials and workmanship, that additions may be allowed if not visible within the public view and that roof line alterations are not acceptable. The primary residence's integrity of design, materials and workmanship has been compromised due to the alterations noted above. It has two additions, one of which is highly visible upon approach to the property from the driveway, its only point of entry from Mission Hills Road. Additionally, portions of the building's roofline have been altered to accommodate said addition. None of the other buildings on the property (two-car garage and guesthouse) represent the work of a master or embody the distinctive characteristics of a type, period, region, or method of construction. The subject property does not meet the eligibility criteria as outlined in CTP #1 and it is therefore recommended ineligible for listing under Criterion C/3/3.

The research conducted for this study provide no evidence that the subject property may yield important information about prehistory or prehistory. The subject property is recommended ineligible for listing under Criterion D/4.

Overall, the subject property does not retain sufficient integrity to convey its association as a Contemporary Custom Ranch House designed by noted architect Cliff May. The collective alterations that the property has undergone have resulted in a loss of integrity of design, setting, materials, and workmanship. In applying the SurveyLA integrity considerations for the Ranch House, 1945-1975, a property with potential significance should retain integrity of location, design, materials and workmanship. As the subject property retains only two out of seven aspects of integrity it does not retain sufficient integrity to meet the eligibility criteria required for federal, state, or local designation.

***B12. References (continued):**

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2021 Granada Hills City Directories for 1962, 1963, 1964, 1966. Accessed at Ancertry.com. February 2021.

Architectural Resources Group (ARG)

2015 Los Angeles Citywide Historic Context Statement. Context: Architecture and Engineering. Theme: The Ranch House, 1930-1975. Theme: Housing and the Masses, 1880-1975. Sub-Theme: Ranch House Neighborhoods, 1938-1975. Prepared for the City of Los Angeles. December.

2014 SurveyLA. *Historic Resources Survey Report Mission Hills-Panorama City-North Hills Community Plan Area*. Prepared for the City of Los Angeles. March 20.

Ayres, Don

1973 Architectural drawings corresponding to 1973 remodel. Obtained from Ararat Home, April 2018.

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2017a The EDR Aerial Photo Decade Package. Inquiry Number: 5109258.12. November 16, 2017.

2017b The EDR-City Directory Abstract. Inquiry Number: 5109258.5. November 16, 2017.

Fairchild Aerial Survey, Inc.

1952 Aerial image of the subject property. Obtained from Ararat Home, April 2018. Image dated 5 23, 1952.

Historic Resources Group (HRG)

2013 *Historic Resources Survey Report Brentwood-Pacific Palisades Community Plan Area*. Prepared for the City of Los Angeles Department of City Planning Office of Historic Resources.

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2018 Los Angeles Historic Resources Inventory. *Los Angeles Historic-Cultural Monument*. Accessed online at <http://historicplacesla.org/search>.

Los Angeles, Bureau of Engineering

2021 "Lloyd Aldrich." Accessed at <https://eng.lacity.org/lloyd-aldrich>. February 3, 2021.

Los Angeles, City of

1948a City of Los Angeles building permit record id: 54381395. Accessed at <http://ladbsdoc.lacity.org/idispublic/>.

1948b City of Los Angeles building permit record id: 35418. Accessed at <http://ladbsdoc.lacity.org/idispublic/>.

1950 Los Angeles building permit record id #54530602. Accessed at <http://ladbsdoc.lacity.org/idispublic/>.

1953 Los Angeles building permit record Id #54770362. Accessed at <http://ladbsdoc.lacity.org/idispublic/>.

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1980a Los Angeles building permit record Id #56393673. Accessed at <http://ladbsdoc.lacity.org/idispublic/>.

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2021 "Hyperion Water Reclamation Plant." Accessed https://www.lacitysan.org/san/faces/home/portal/s-lsh-wwd/s-lsh-wwd-cw/s-lsh-wwd-cw-p/s-lsh-wwd-cw-p-hwrp;jsessionid=z31pbH3wQhYF45rLBSPZIU8n2DJrUYOimXa4lqbr63PFSgAK1T49!-1621259815!-1808116812?_afzLoop=1072799146479014&_afzWindowMode=0&_afzWindowId=null&_adf.ctrl-state=1o2h1vrcj_1#!%40%40%3F_afzWindowId%3Dnull%26_afzLoop%3D1072799146479014%26_afzWindowMode%3D0%26_adf.ctrl-state%3D1o2h1vrcj_5. February 3, 2021.

Los Angeles Times

1951 Flames Destroy House of Engineer Aldrich. Accessed at <https://www.newspapers.com/>.

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1948 Architectural renderings of original design for Aldrich House #2. Obtained from UCSB Art and Architecture Archive. May (Cliff) Papers. Aldrich File. April 2018.

1950 Architectural drawings of updated design for Aldrich House #2. Obtained from UCSB Art and Architecture Archive. May (Cliff) Papers. Aldrich File. April 2018.

1958 *Western Ranch Houses By Cliff May*. Lane Publishing Co., Menlo Park, California.

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The Signal

2010 Obituary for Rachael Sturgeon. Accessed at <https://www.legacy.com/obituaries/signalscv/obituary.aspx?n=rachael-a-sturgeon&pid=140590195>. February 2021.

P5a. Photo (continued):

Western Portion of North Elevation Addition



East Elevation of Primary Residence



South Elevation of Primary Residence



P5a. Photo (continued):

East Elevation of Primary Residence



Primary Elevation of Two-Car Garage



Primary Elevation of Guesthouse



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 6Z

Other Listings
Review Code

Reviewer

Date

Page 1 of 4

*Resource Name or #: 15155 Mission Hills Road

P1. Other Identifier: APN 2664-022-019

*P2. Location: Not for Publication Unrestricted *a. County: Los Angeles

*b. USGS 7.5' Quad: San Fernando Date: 1995 Township: 02N, Range: 15W, Section: 04 S.B.B.M.

c. Address: 15155 Mission Hills Road City: Los Angeles Zip: 91345

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: N/A

***P3a. Description:**

15155 Mission Hills Road is an irregularly shaped parcel totaling just over an acre which is accessible from a steep private drive that extends northwest from Mission Hills Road. The parcel is composed of hilly terrain and includes a one-story, single-family residence constructed in 1964 in a minimal version of the Ranch Style. The building measures roughly 93 ft. by 38 ft. and features an irregular footprint. A two-car garage is attached at south to the residential portion of the building at an angle. The building appears to sit on a concrete slab foundation, although the foundation is not visible from the building exterior and is not noted on building permits. Cladding is wooden and includes board and batten and horizontal lap siding. The building is topped with a gabled roof clad in composite shingles and closed eaves. A rectangular, stone-clad chimney rises centrally from the ridge. At rear (west), a wooden trellis shelters an outdoor patio. The building is surrounded with landscaping including a variety of mature trees.

*P3b. Resource Attributes: HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo:

Primary Elevation of Residence

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both

*P7. Owner and Address:

N/A

*P8. Recorded by:

R. Perzel and S. Carmack, Rincon Consultants
180 North Ashwood Ave
Ventura CA 93003

*P9. Date Recorded:

April 2018

*P10. Survey Type:

Intensive

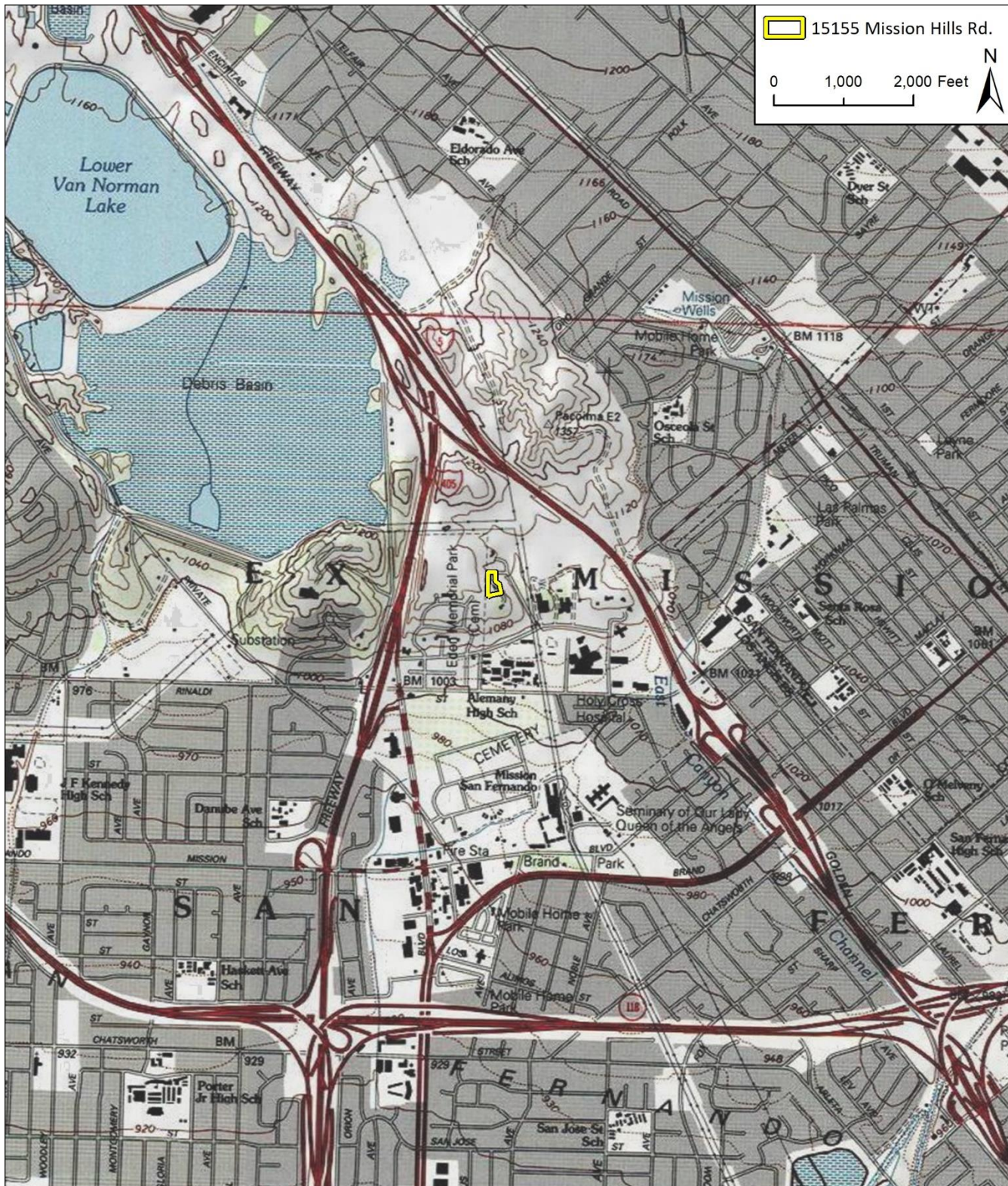
***P11. Report Citation:**

Perzel, Rachel, Shannon Carmack, Ken Victorino, and Meagan Szromba. 2021. *Ararat Homes Residential Care and Nursing Facility Project Cultural Resources Assessment Report*. Rincon Consultants, Inc., Project No. 18-05520

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):



BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # 15155 Mission Hills Road

*NRHP Status Code 6Z

Page 3 of 4

B1. Historic Name: N/A
B2. Common Name: N/A
B3. Original Use: Single-family residence
B4. Present Use: Single-family residence (vacant)
*B5. Architectural Style: Ranch Style
*B6. Construction History: Residence construction in 1964.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: None

B9a. Architect: N/A b. Builder: Unknown

*B10. Significance: Theme N/A Area N/A
Period of Significance N/A Property Type N/A Applicable Criteria N/A

Developmental History:

Historic-period aerial imagery depicts 15155 Mission Hills Road as undeveloped property into the early 1960s (NETRonline 2021). In 1963, owner Harold Sturgeon applied for a City of Los Angeles grading permit to level a portion of the property (City of Los Angeles building permit record ID: 55166941). On June 18 of the same year, Mr. Sturgeon applied for a building permit for the construction of a dwelling and attached garage on the property (City of Los Angeles building permit record ID: 55194824). The permit application describes the proposed building as a single-story, wood-framed, stucco clad and topped with a wood roof. The permit lists a T. Bennett as the building's designer. These permits are the only two currently on file that correspond to the property.

A review of available historic-period city directories and newspaper articles indicates that the property's original owners, Rachel and Harold Sturgeon were married in 1947. Rachel appears to have worked as a waitress for much of her life and in 1963 and 1964, Harold was a policeman (Ancertry.com 2021; *The Signal* 2010). The research conducted for this study failed to confirm how long Harold and Rachel Sturgeon occupied 15155 Mission Hills Road and was additionally unable to identify successive occupants of the property.

As noted previously, there are few permits on file with the city of Los Angeles that correspond to 15155 Mission Hills Road. Visual observation indicates that the building's roofing material has been replaced. The property's original building permit noted that the building proposed for the property in 1963 was stucco clad. If this information is accurate, the building has been reclad in wood. The building appears otherwise intact.

See continuation sheet

B11. Additional Resource Attributes: N/A

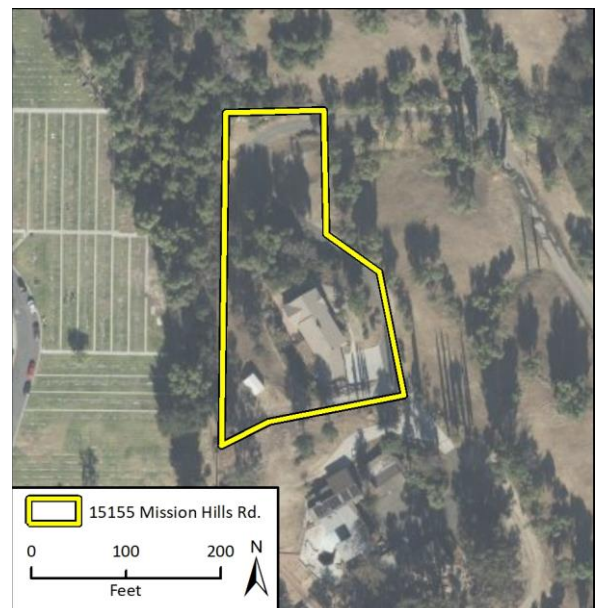
*B12. References: see continuation sheet

B13. Remarks:

*B14. Evaluator: R. Perzel and S. Carmack, Rincon Consultants

*Date of Evaluation: July 23, 2021

(This space reserved for official comments.)



***B10. Significance: Evaluation (continued):**

15155 Mission Hills Road has not been previously subject to historical evaluation. It is situated in the Mission Hills-Panorama City-North Hills CPA and was not identified by SurveyLA. The property is not located in a previously designated or potential historic district. The following evaluation is based on the methodology and framework developed by SurveyLA. A review of Context/Theme/Property Type (CTP)s indicates that one CTP (CTP #1: Architecture and Engineering-The Ranch House; previously outlined) is appropriate for application to the historical evaluation for 15155 Mission Hills Road, outlined below. 15155 Mission Hills Road includes a single-story Ranch House constructed in 1963. As a result of the current study, the property is recommended ineligible for federal, state, or local designation, either individually, or as a contributor to any existing or potential historic districts.

15155 Mission Hills Road does not appear eligible for its association with significant events. The residence on the property was developed in 1963 with a single-family Ranch style house. 15155 Mission Hills Road is one of numerous residences constructed as part of the rapid suburbanization that occurred in the Mission Hills-Panorama Hills-North Hills CPA in the post-World War II period. The SurveyLA report prepared for this CPA confirms that suburban development occurred at an accelerated pace in the Mission Hills area in the post-war decades and that detached single-family residences constructed after World War II account for the majority of residential development in the CPA (ARG 2014). While the property is associated with the theme of suburbanization of the Mission Hills-Panorama Hills-North Hills CPA, the archival research conducted for this study failed to suggest that it is significant within that theme. By the time the existing residence was constructed in 1963, the CPA has been significantly developed with suburban residences and the property is not an early of a suburban residence in the area. 15155 Mission Hills Road is one of countless single-family residences constructed following World War II that remain in the CPA. Therefore, it is not a rare surviving example of a property from this period. Additionally, the subject property does not appear to represent any of the SurveyLA-identified themes of significance included within the context of Residential Development and Suburbanization, 1880-1980 (Early Residential Development, 1880-1930, Trailer Parks and Mobile Home Parks, 1920-1969, Tract Housing In California, 1945-1973, Multi-Family Residential Development, 1895-1970, Garden Apartments of Los Angeles, Public House in the United States, 1933-1949). Archival research additionally failed to identify any significant associations the property has in the history of the city, region, state, or nation. It is therefore recommended ineligible for listing under Criterion A/1/1.

As its original owners, the property is associated with Rachel and Harold Sturgeon. No information to indicate that either of the Sturgeons may qualify as a significant individual was identified by the background and archival research conducted for this study. Archival research failed to identify any additional individuals associated with 15155 Mission Hills Road. It is therefore recommended ineligible for listing under Criterion B/2/2.

15155 Mission Hills Road includes one residence constructed in a restrained version of the Ranch Style. While the building integrates some of the features that define that character of the Ranch Style, including its single-story height and low-pitched gable roof, it is not considered exemplary of the style. The property is therefore recommended ineligible for listing under Criterion C/3/3

The research conducted for this study provide no evidence that the subject property may yield important information about prehistory or prehistory. The subject property is recommended ineligible for listing under Criterion D/4.

***B12. References (continued):**

Ancerty.com

2021 Granada Hills City Directories for 1962, 1963, 1964, 1966. Accessed at Ancerty.com. February 2021.

NETRonline

2021 Various historic-period aerial images of Mission Hills. Accessed at <https://www.historicaerials.com/viewer>. February 2021.

The Signal

2010 Obituary for Rachael Sturgeon. Accessed at <https://www.legacy.com/obituaries/signalscv/obituary.aspx?n=rachael-a-sturgeon&pid=140590195>. February 2021.