

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



October 5, 2023

Emery Papp, Project Planner
City of Banning Community Development Department – Planning Division
99 E. Ramsey Street
Banning, CA 92220

CHAIR

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Lake Elsinore

VICE CHAIR

Russell Betts
Desert Hot Springs

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County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1049BA23
Related File No.: GPA23-2502 (General Plan Amendment), CZ3502 (Change of Zone) DR23-7008 (Design Review)
APNs: 540-180-020, 540-180-022, 540-180-026

Dear Mr. Papp,

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Banning Case No. DR23-7008 (Design Review), a proposal to construct a 46,944 square foot manufacturing building on on 15.79 acres located northerly of Lincoln Street, westerly of Eighth Street, and southerly of the I-10 Freeway. The applicant also proposes changing the westerly portion of the site’s (which is located outside the airport influence area) land use designation and zoning from General Commercial to Industrial. The project does not propose any legislative actions within the airport influence area Zone D.

The portion of the site is located within Airport Compatibility Zone D of the Banning Municipal Airport Influence Area (AIA). Zone D restricts non-residential intensity to 200 people per average acre and 800 people per single acre. The project does not propose any buildings within the Zone D portion of the site, therefore no occupancy will be generated.

The elevation of Runway 8-26 at its westerly terminus is 2,119 feet above mean sea level (AMSL). At a distance of approximately 9,000 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 2,209 feet AMSL. The site’s finished floor elevation is 2,390 feet AMSL and the proposed building height is 37 feet, resulting in a top point elevation of 2,427 feet AMSL. Therefore, FAA Obstruction Evaluation Service review for height/elevation reasons was required. However, since the building is located outside the airport influence area, the FAA OES review will be conditioned to be done prior to building permit.

Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C).

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 9,098 feet), the project utilizes underground infiltration systems which will not

contain surface water or attract wildlife and, therefore, would not constitute a hazard to flight.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Banning Municipal Airport Land Use Compatibility Plan, as amended in 2016, provided that the City of Banning applies the following recommended conditions:

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses.
 - (f) Any use which results in a hazard to flight, including physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice.
4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. This project has been evaluated as consisting of a 46,944 square foot manufacturing building. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP criteria, at the discretion of the ALUC Director.
6. Prior to building permit issuance, the project shall be submitted to the Federal Aviation Administration Obstruction Evaluation Service for their review and issuance of their Determination of No Hazard to Air Navigation letter.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachment: Notice of Airport in Vicinity

cc: Sagecrest Planning Environmental (applicant/representative)
Brown Strauss, Inc (property owner)
Art Vela, P.E., City of Banning Director of Public Works
Carl Szoyka, Manager, Banning Municipal Airport
ALUC Case File

X:\AIRPORT CASE FILES\Banning\ZAP1049BA23\ZAP1049BA23.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

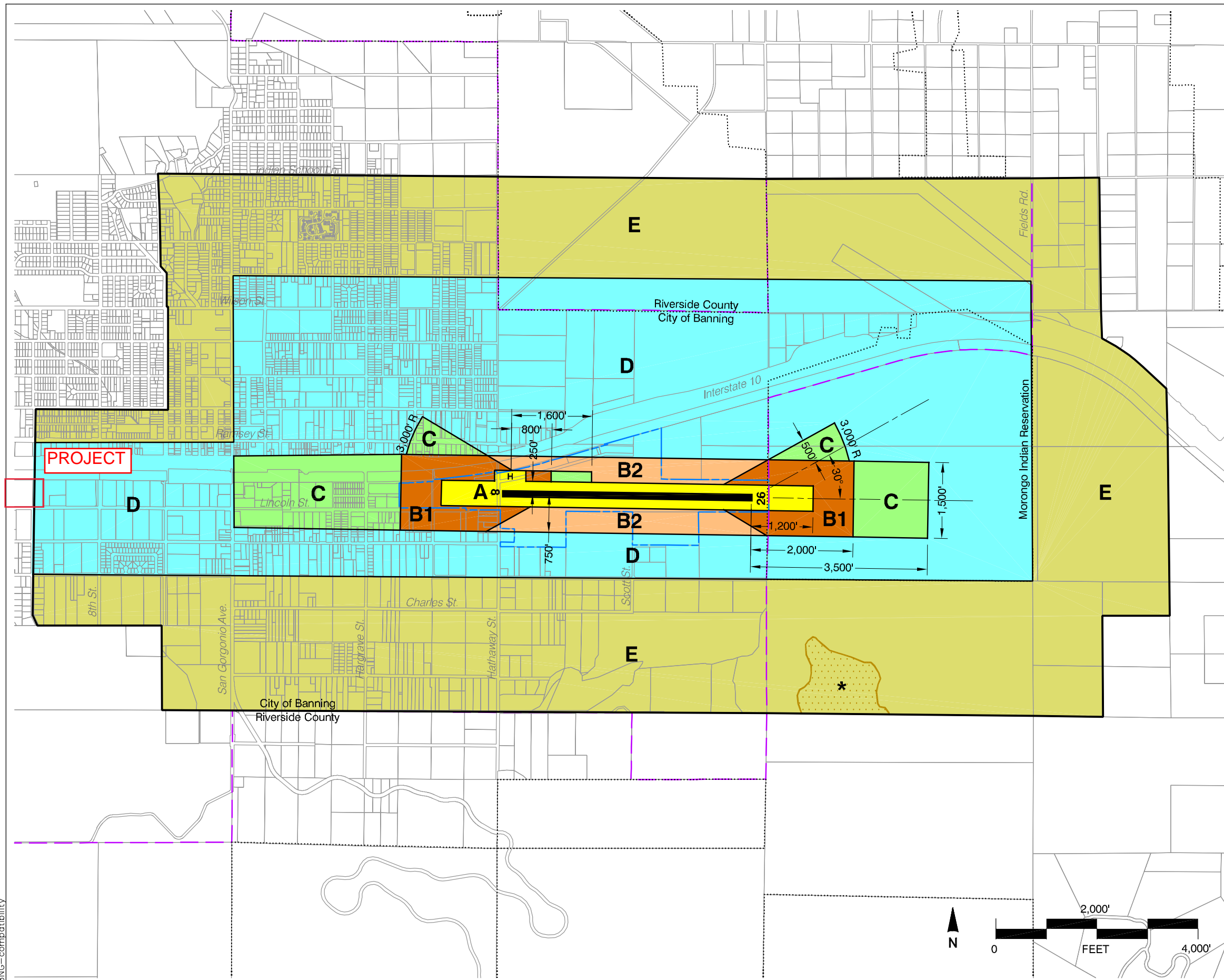
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits
- Morongo Indian Reservation

Note

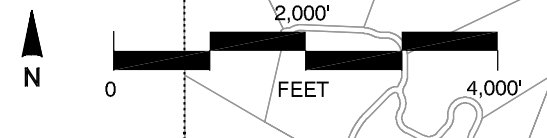
Dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

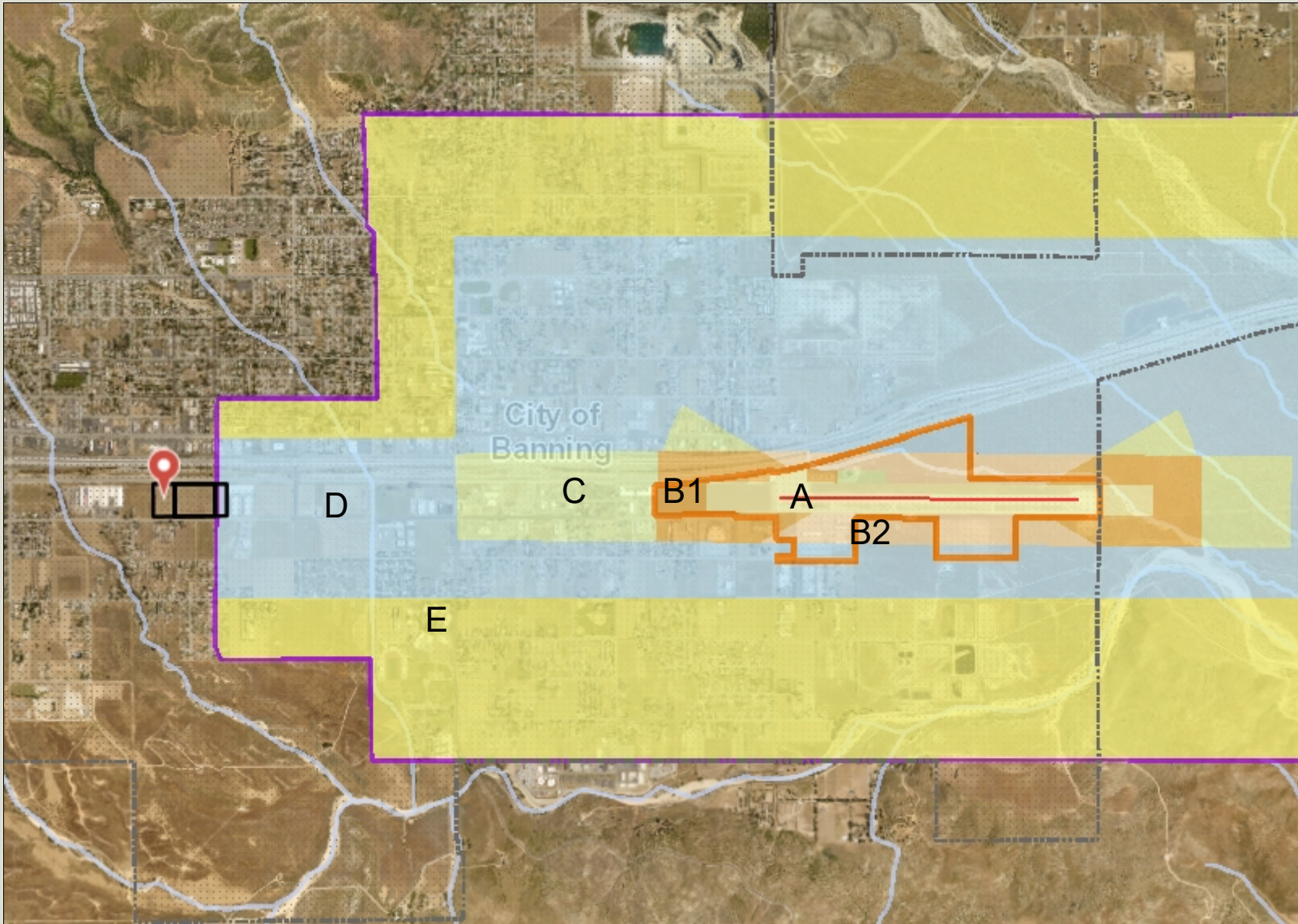
Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted October 2004)

Map BN-1

Compatibility Map
Banning Municipal Airport



Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

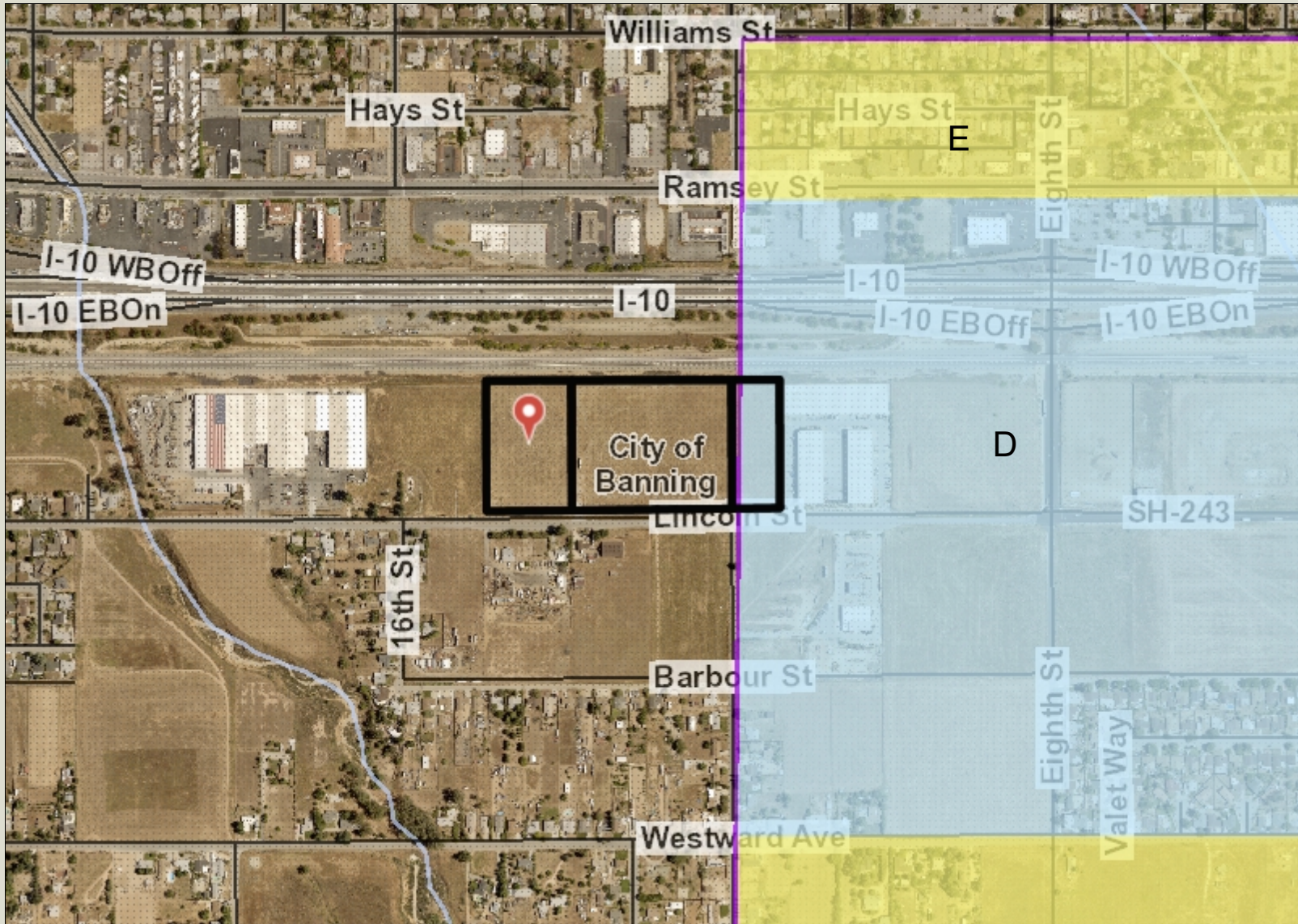
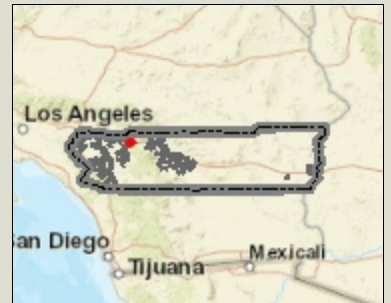


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Notes

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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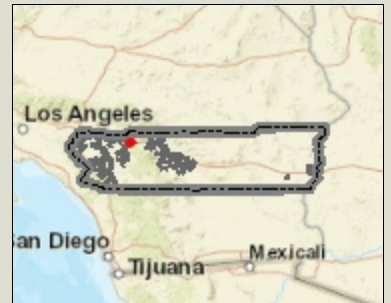


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Notes

Map My County Map



- Legend**
- County Centerline Names
 - County Centerlines
 - Blueline Streams
 - City Areas
 - World Street Map



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Notes



Map My County Map



Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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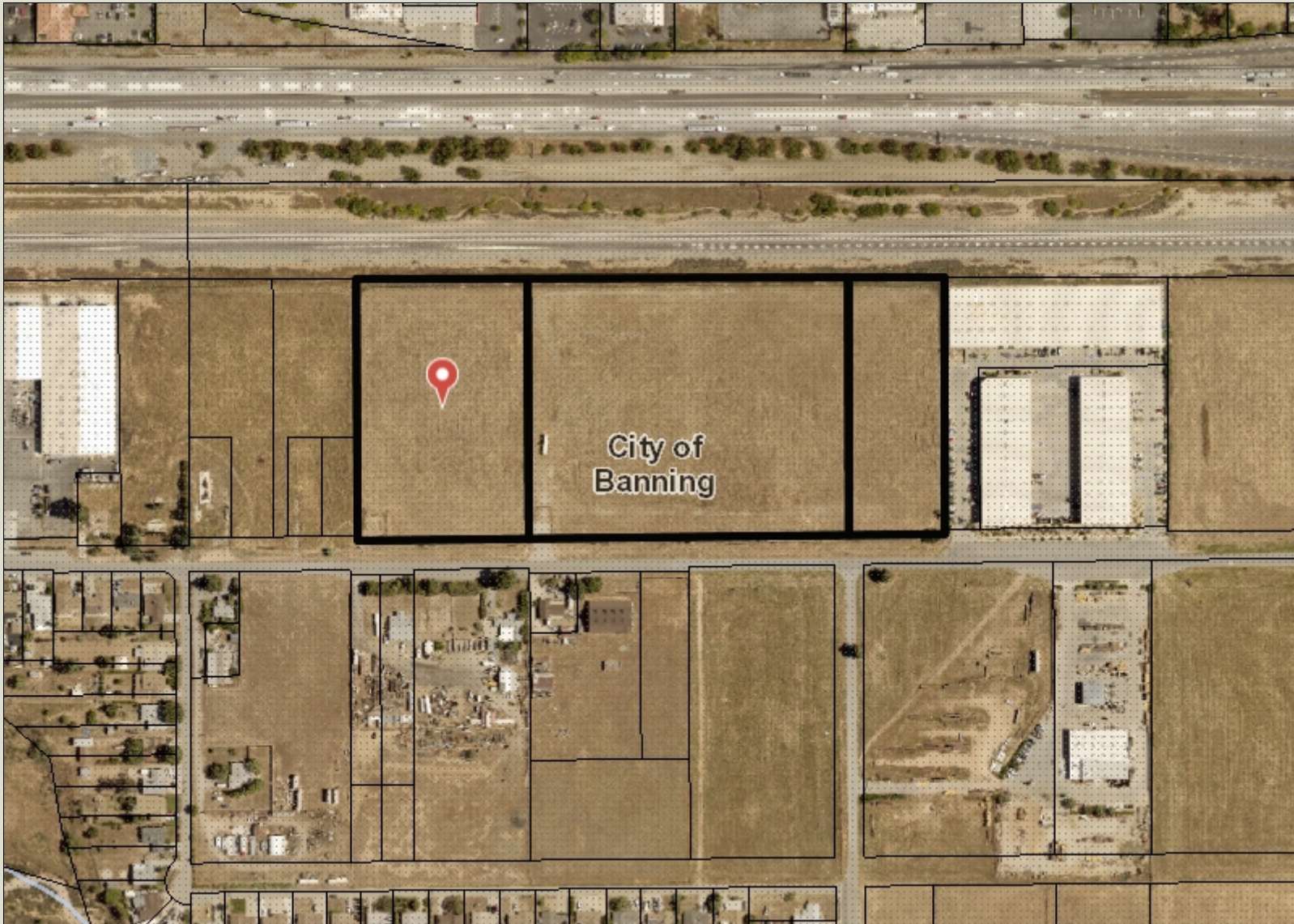
0 770 1,539 Feet

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Notes

Map My County Map



Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



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0 385 770 Feet

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Notes

PROPOSED BROWN STRAUSS STEEL FACILITY



VERTREES A&E
Architectural & Engineering Services
532 East Lambert Road
Brea, CA 92821
tel. 714.255.9645
www.vertreesae.com



1431 WEST LINCOLN STREET, BANNING, CA 92220

09-14-23 PLANNING RESUBMITTAL
04-19-23 PLANNING SUBMITTAL

Contractor:
BREMCO CONSTRUCTION, INC.
3470 E SPRING ST.
LONG BEACH, CA 90806

Proposed:
BROWN STRAUSS BANNING FACILITY

For:
BROWN STRAUSS STEEL
AN EMPLOYEE-OWNED COMPANY
2495 URAVAN STREET
AURORA, CO 80011

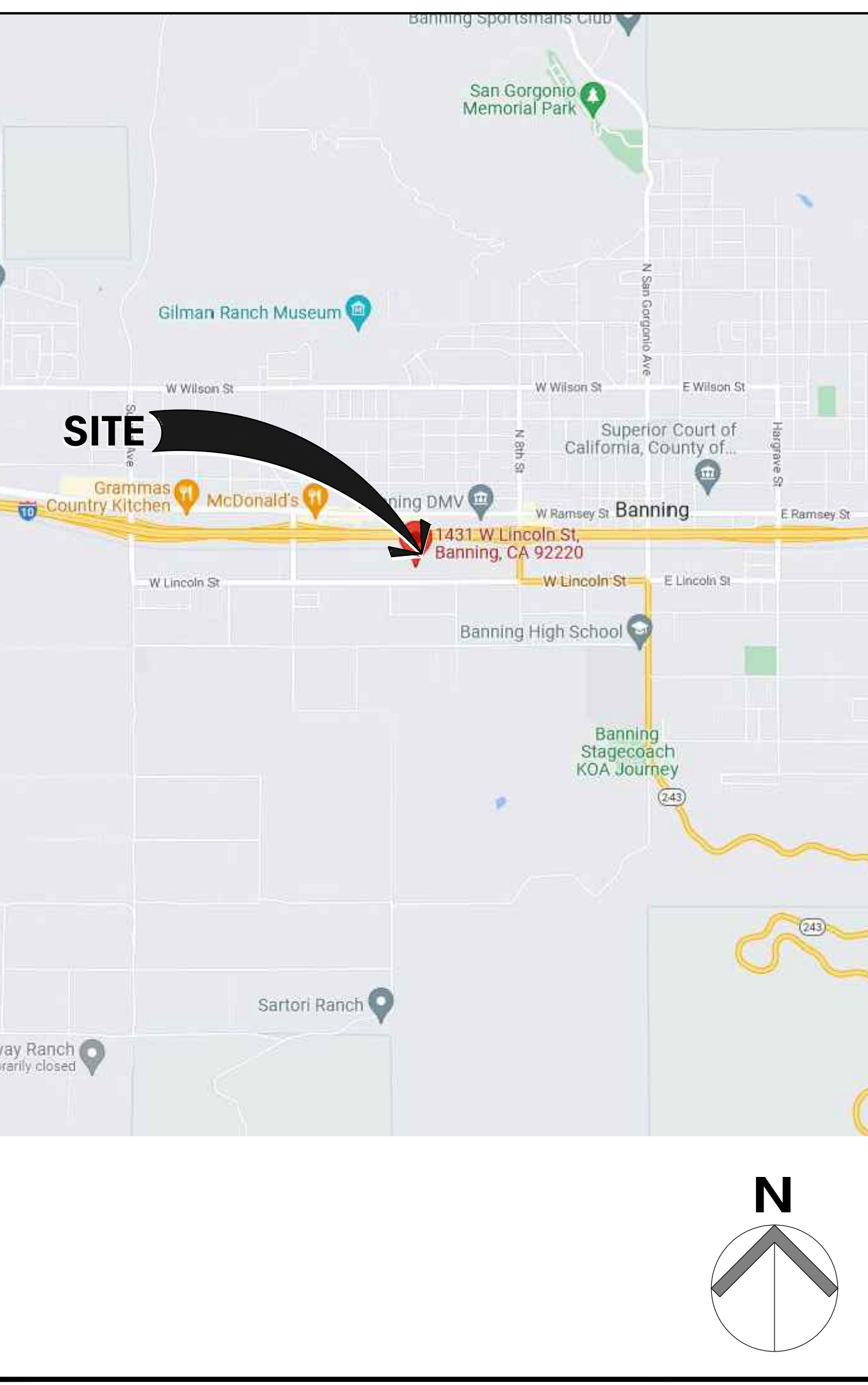
Project Address:
1431 W LINCOLN ST
BANNING, CA 92220
APN: 540-180-020,
540-180-026, 540-180-022
BANNING PAC22-14

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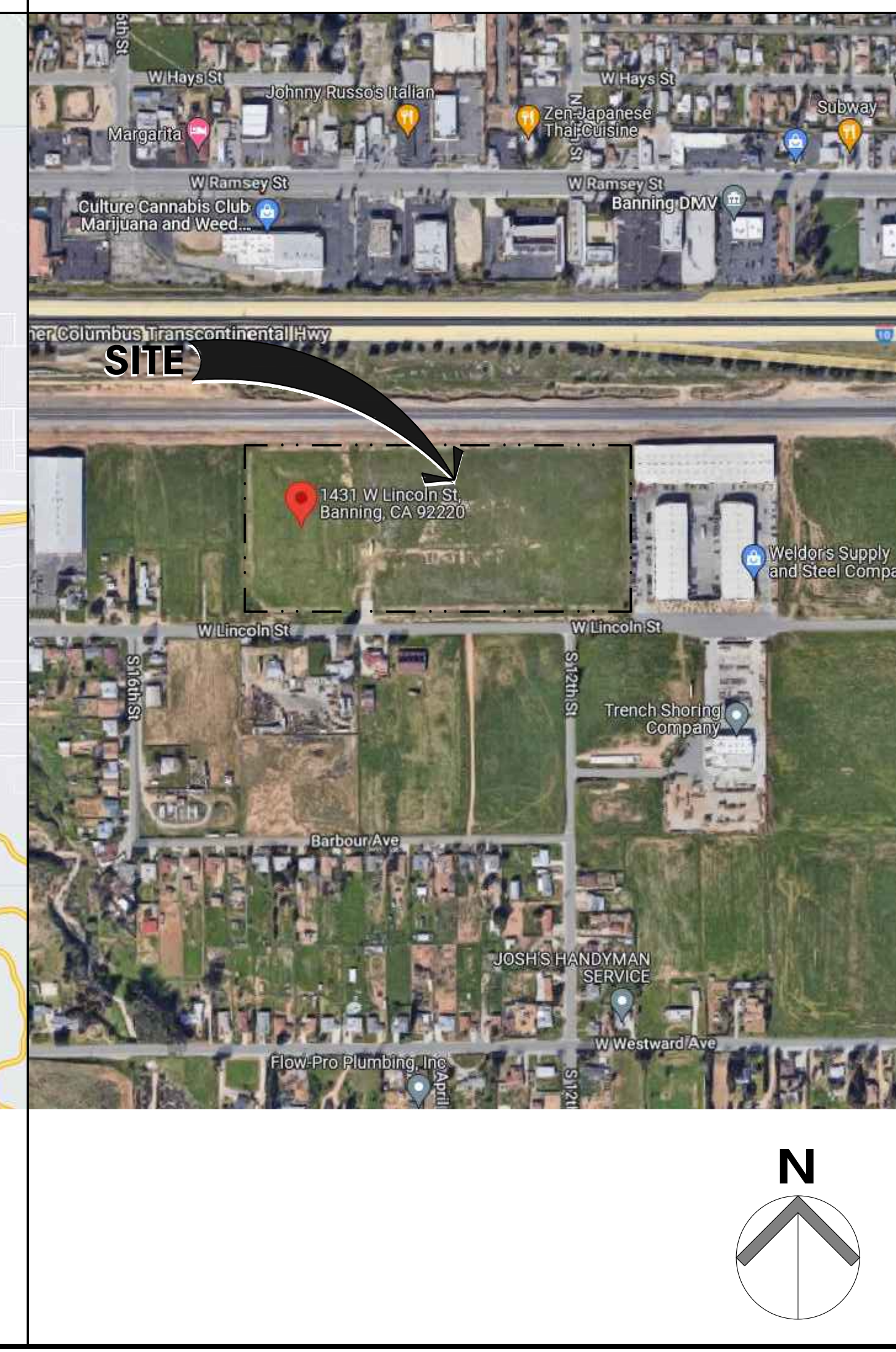
COVER SHEET
Plot Date
09/07/2023
VAE Project No.
1246

A0.1

VICINITY MAP



AERIAL VIEW



PROJECT DATA

OWNER:
BROWN STRAUSS, INC.
2495 URAVAN STREET
AURORA, CO 80011
P (303) 576-6213
CONTACT: RYAN SECRIST

ARCHITECT & STRUCTURAL ENGINEER:
VERTREES A&E
532 EAST LAMBERT ROAD
BREA, CA 92821
P (714) 255-9645
CONTACT: JOE VERTREES, P.E., AIA

PLANNING & ENVIRONMENTAL:
SAGECREST
27128 PASEO ESPADA
SAN JUAN CAPISTRANO, CA 92675
P (352) 262-6323
CONTACT: KELLY RIBUFFO

CIVIL:
JOSEPH E. BONADIMAN & ASSOC. INC.
234 N ARROWHEAD AVE.
SAN BERNARDINO, CA 92804-1721
P (909) 885-3806
CONTACT: J.T. STANTON, P.E.

LANDSPACE:
ROYAL OAK DESIGN
10252 GOLDEN YARROW LANE
ALTA LOMA, CA 91701
P (909) 244-9667
CONTACT: SYLVIA E. LYONS

CONTRACTOR:
BREMCO CONSTRUCTION, INC.
3470 E SPRING ST.
LONG BEACH, CA 90806
P (562) 595-4687
CONTACT: GREG DARLING

PROJECT DESCRIPTION
NEW 1-STORY OFFICE, STEEL TUBE STORAGE WAREHOUSE SF, TWO STEEL CUTTING SHEDS, AND ASSOCIATED SITE IMPROVEMENTS

CODE DATA
OCCUPANCY: S1, F1, B
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT: 36'-0" MAX
SPRINKLERED: FULLY SPRINKLERED
ALLOWABLE AREA: UNLIMITED (60' SIDE YARDS)

PROPOSED BLDG AREA:
WAREHOUSE: 42,510 SF
MANUFACTURING: 1,000 SF
OFFICE: 3,434 SF
TOTAL: 46,944 SF

LOT AREA:
GROSS AREA: 687,683 SF / 15.79 ACRES
NET AREA: 621,431 SF / 14.27 ACRES
DISTURBANCE AREA: 687,683 SF / 15.79 ACRES

FLOOR AREA RATIO: 0.0683 (6.83 %)

CONCRETE/ASPHALT GRAVEL: 417,491 SF / 9.59 ACRES
LANDSCAPING: 92,982 SF / 2.13 ACRES
PARKING LOT: 64,504 SF / 1.48 ACRES
PARKING LOT: 13,562 SF / 0.31 ACRES

LEGAL DESCRIPTION
RIVERSIDE COUNTY, APN: 540-180-020, 540-180-026, AND 540-180-022

PARCEL 1:
THE WESTERLY 198.00 FEET OF BLOCK 273 OF LANDS OF THE BANNING LAND COMPANY, IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 44 OF MAPS, SAN BERNARDINO COUNTY RECORDS, EXCEPT THAT PORTION IN THE RIGHT OF WAY OF THE SOUTHERN PACIFIC RAILROAD COMPANY, ACQUIRED BY UNITED STATES CONGRESSIONAL GRANT.

PARCEL 2:
BLOCK 274 OF LANDS OF THE BANNING LAND COMPANY, IN THE CITY OF BANNING, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 44 OF MAPS, SAN BERNARDINO COUNTY RECORDS, EXCEPT THAT PORTION IN THE RIGHT OF WAY OF THE SOUTHERN PACIFIC RAILROAD COMPANY, ACQUIRED BY UNITED STATES CONGRESSIONAL GRANT.

PARCEL 3:
THE EAST ONE-HALF LOT OF 285 IN BANNING, AS SHOWN BY A CERTAIN MAP ENTITLED "AMENDED MAP OF BANNING LAND CO., AS PER MAP RECORDED IN BOOK 9, PAGE 44 OF MAPS, RECORDS OF SAN BERNARDINO, CALIFORNIA, EXCEPTING THEREFROM THAT PORTION IN THE RIGHT OF WAY ACQUIRED BY THE UNITED STATES CONGRESSIONAL GRANT.

GENERAL PLAN LAND USE & ZONING

EXISTING :
I - INDUSTRIAL &
GC - GENERAL COMMERCIAL

PROPOSED:
I - INDUSTRIAL

BANNING AIRPORT COMPATIBILITY ZONE: NOT IN AN AIRPORT COMPATIBILITY ZONE.
FIRE HAZARD ZONE: NOT IN A FIRE HAZARD ZONE
FIRE RESPONSIBILITY AREA: NOT IN A FIRE RESPONSIBILITY AREA

CURRENT CODES IN EFFECT:
THE FOLLOWING CODES ARE IN EFFECT FOR THIS PROJECT:

- 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC) TITLE 24 - PART 1.
- 2022 CALIFORNIA BUILDING CODE (CBC) TITLE 24 - PART 2.
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) TITLE 24 - PART 3.
- 2022 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24 - PART 4.
- 2022 CALIFORNIA PLUMBING CODE (CPC) TITLE 24 - PART 5.
- 2022 CALIFORNIA ENERGY CODE (CEC) TITLE 24 - PART 6.
- 2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC) TITLE 24 - PART 8.
- 2022 CALIFORNIA FIRE CODE (CFC) TITLE 24 - PART 9.
- 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC) TITLE 24 - PART 10.
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC or CALGreen) TITLE 24 - PART 11.
- 2022 CALIFORNIA REFERENCED STANDARDS (CRS) TITLE 24 - PART 12.

NOTE: STATE OF CALIFORNIA CODES ARE BASED ON 2021 INTERNATIONAL BUILDING CODE (IBC) WITH CITY AMENDMENTS.



532 East Lambert Road
Brea, CA 92821
tel. 714.255.9645
www.vertreesae.com

KEYNOTES

- E1. EXISTING PROPERTY LINE
- E2. EXISTING POWER POLES - TO BE RELOCATED
- E3. EXISTING FIRE HYDRANT - TO BE RELOCATED
- N1. VAN ACCESSIBLE PARKING STALL (9'x19') STALL SHALL NOT BE STEEPER THAN 1:48 IN ANY DIRECTION (CA T24 11B-507)
- N2. STANDARD (9'x19') ACCESSIBLE PARKING STALL SHALL NOT BE STEEPER THAN 1:48 IN ANY DIRECTION (CA T24 11B-507)
- N3. STANDARD PARKING STALL, 9' WIDE X 19' DEEP.
- N4. ACCESSIBLE AISLE (8' WIDE) AISLE SHALL NOT BE STEEPER THAN 1:48 IN ANY DIRECTION. (CA T24 11B-509.3 + 509.4)
- N5. ACCESSIBLE PATH OF TRAVEL, RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48. (CA T24 11B-403.3)
- N6. ACCESSIBLE PARKING SPACE IDENTIFICATION SIGN. (CA T24 11B-507.6)
- N7. 11" MINIMUM WIDE, 22" MINIMUM HIGH "UNAUTHORIZED PARKING SIGN" (CA T24 11B-502.20)
- N8. CONCRETE SIDEWALK.
- N9. LANDSCAPED AREA PER PRELIMINARY LANDSCAPE PLANS.
- N10. ACCESSIBLE CURB CUT RAMP, 4' WIDE X MAX 6' WITH MAX. 1:12 SLOPE.
- N11. DETECTABLE WARNING CONSISTING OF A SURFACE OF TRUNCATED DOMES (CA T24 11B-109.11). DETECTABLE WARNING SHALL BE YELLOW CONFORMING TO FS 339.38 OF FEDERAL STANDARDS 595C (CA T24 11B-109.11.5)
- N12. LEVEL LANDINGS (MAX. 2% SLOPE) SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR (100%); AND A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44".
- N13. 8' TALL TUBULAR STEEL FENCING.
- N14. ELECTRICAL VEHICLE CAPABLE SPACE - PAINT "EV CLEAN AIR" WITH WHITE PAINT - 12" MIN. HT. TEXT, AND PER 2022 CGBC SECTION 9.06.5.3 (A05)
- N15. SHORT TERM BICYCLE RACK PER CGBC SECTION 9.06.4.11. BIKESCAPES, ECHO COLLECTION, 5X BIKE TUBULAR WAVE STYLE BIKE RACK (MODEL REC-09-25M STAINLESS STEEL FINISH)
- N16. LIGHT POLE PER ELECTRICAL PLANS AND CIVIL PLANS AND 12" CONCRETE BASE FOUNDATION PER STRUCTURAL.
- N17. NEW RAILROAD SPUR
- N18. 8' TALL SPLITFACE CMU SITE SCREEN WALL PER ELEVATION ON A6.2 WITH 16" SQUARE CMU FILASTERS AT 48'-0" O.C.
- N19. 8' TALL BIPARTING SLIDING STEEL GATE WITH KNOX-BOX.
- N20. 8' TALL SWING GATES AT RAILROAD SPUR.
- N21. 3' WIDE PEDESTRIAN GATE WITH INTERCOM, KEYPAD, AND KNOX-KEY BOX.
- N22. NEW DRIVEWAY APPROACH PER CIVIL AND CITY STANDARDS.
- N23. NEW CONCRETE CURB AND GUTTER PER CIVIL STREET IMPROVEMENT PLANS
- N24. NEW 3-BIN TRASH ENCLOSURE PER CITY OF BANNING STANDARDS. CMU WALLS, STEEL SWING GATES AND SOLID ROOF.
- N25. NEW CMU OR CONCRETE RETAINING WALLS. HEIGHT VARIES PER CIVIL PLANS.
- N26. NEW PAVED YARD PER CIVIL PLANS.
- N27. NEW MATERIAL STACKING AREA WITH GRAVEL BASE PER CIVIL.
- N28. PAVED FIRE ACCESS, 26' WIDE WITH MIN. 28' TURNING RADIUS AND 120' HAMMERHEAD TURNAROUND PER 2023 CFC APPENDIX D.
- N29. POLE MOUNTED "ONE-WAY, DO NOT ENTER" SIGN.
- N30. MONUMENT SIGN - UNDER SEPARATE PERMIT.
- N31. ELECTRICAL TRANSFORMER
- N32. ELECTRICAL METER AND M5B.
- N33. 30' TALL METAL FLAG POLE WITH UPLIGHT
- N34. PATIO CONCRETE PAVEMENT
- N35. 6' TALL CMU SCREEN WALL
- N36. NEW/RELOCATED METAL POWER POLES.
- N37. DIESEL FUEL STORAGE TANK AND FUEL DISPENSER, DOUBLE CONTAINED.
- N38. HVAC CONDENSERS AT GROUND LEVEL
- N39. STANDARD SEMI-TRUCK AND TRAILER 90 DEGREE TURNING TEMPLATE.

- 09-14-23 PLANNING RESUBMITTAL
- 04-19-23 PLANNING RESUBMITTAL

Contractor:
BREMCO CONSTRUCTION, INC.
3470 E SPRING ST.
LONG BEACH, CA 90806

Proposed:
BROWN STRAUSS BANNING FACILITY



2495 URAVAN STREET
AURORA, CO 80011

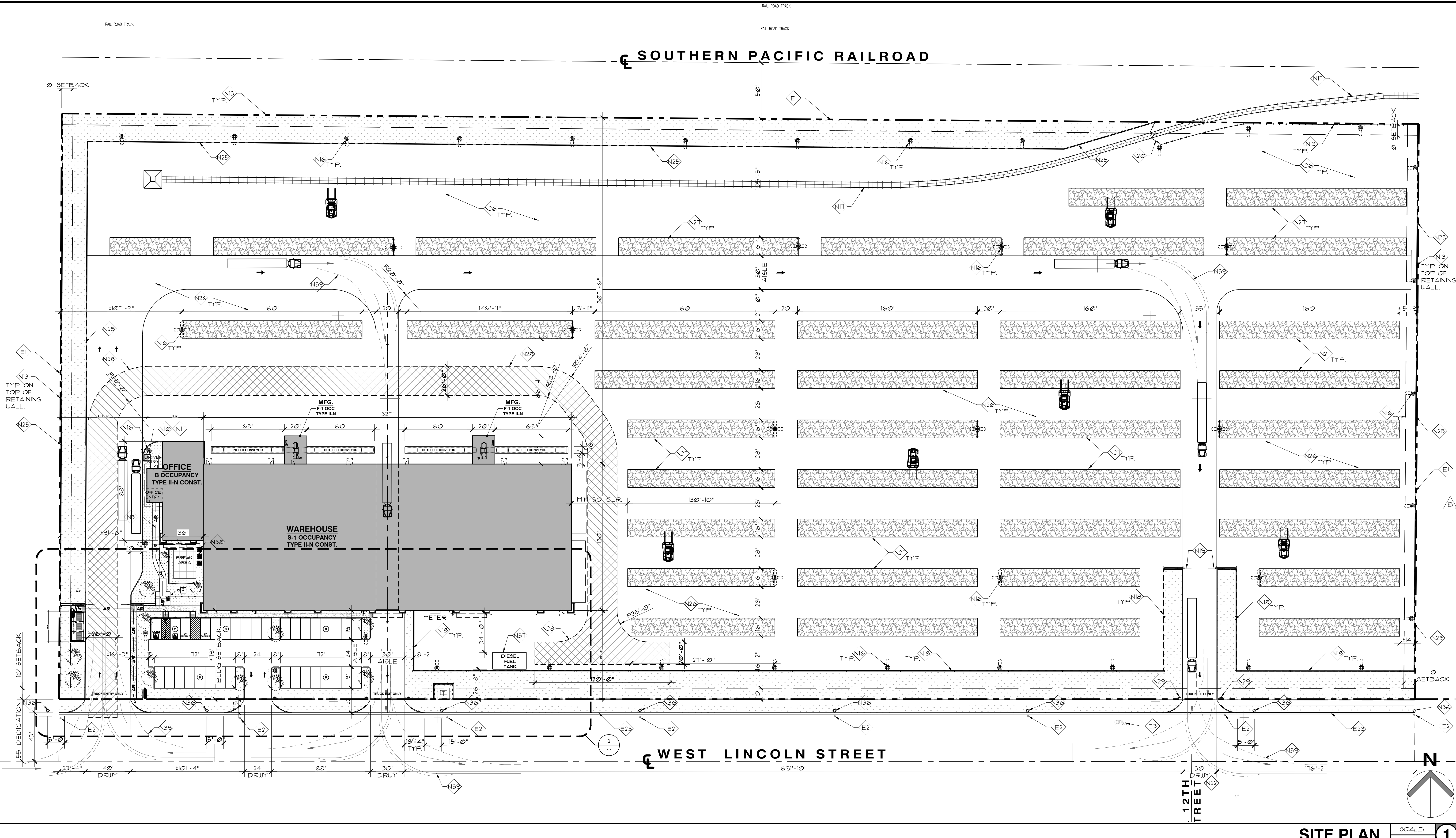
Project Address:
1431 W LINCOLN ST
BANNING, CA 92220
APN: 540-180-020,
540-180-026, 540-180-022
BANNING PAC22-14

Vertrees A&E shall retain all common law, statutory and other reserved rights, including the copyright for this document including represented designs and specifications.

SITE PLAN

Plot Date
09/07/2023
VAE Project No.
1246

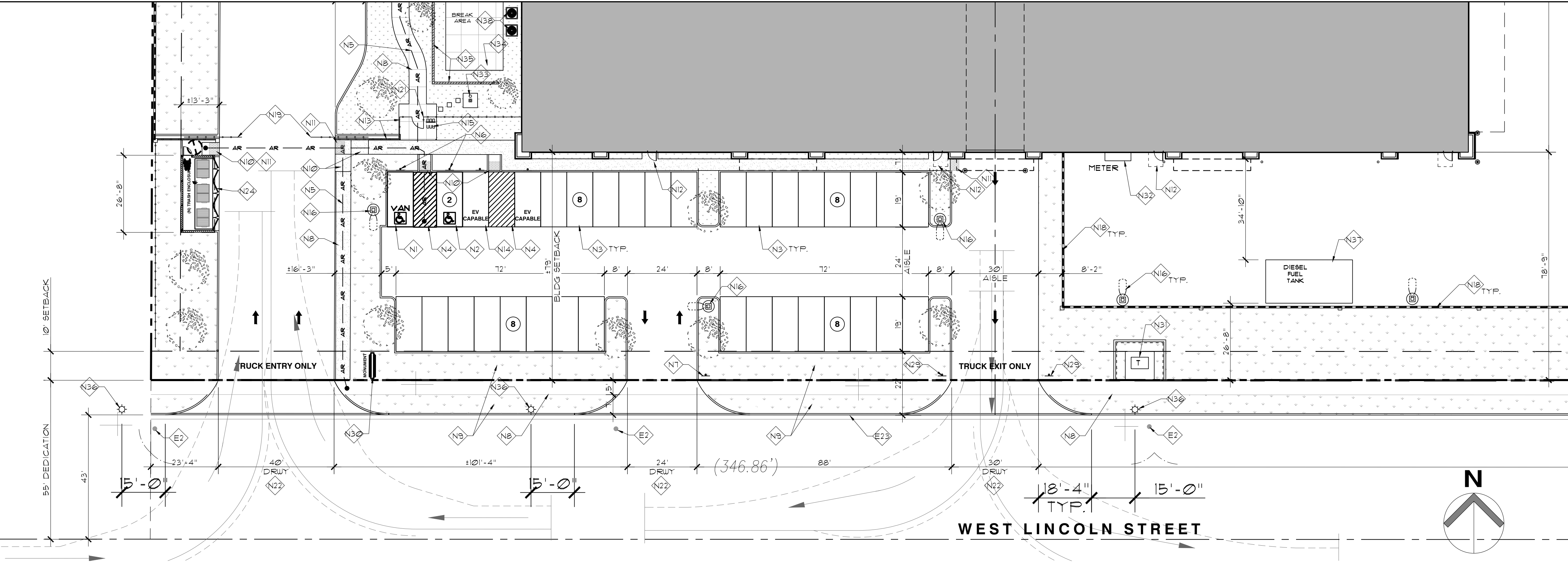
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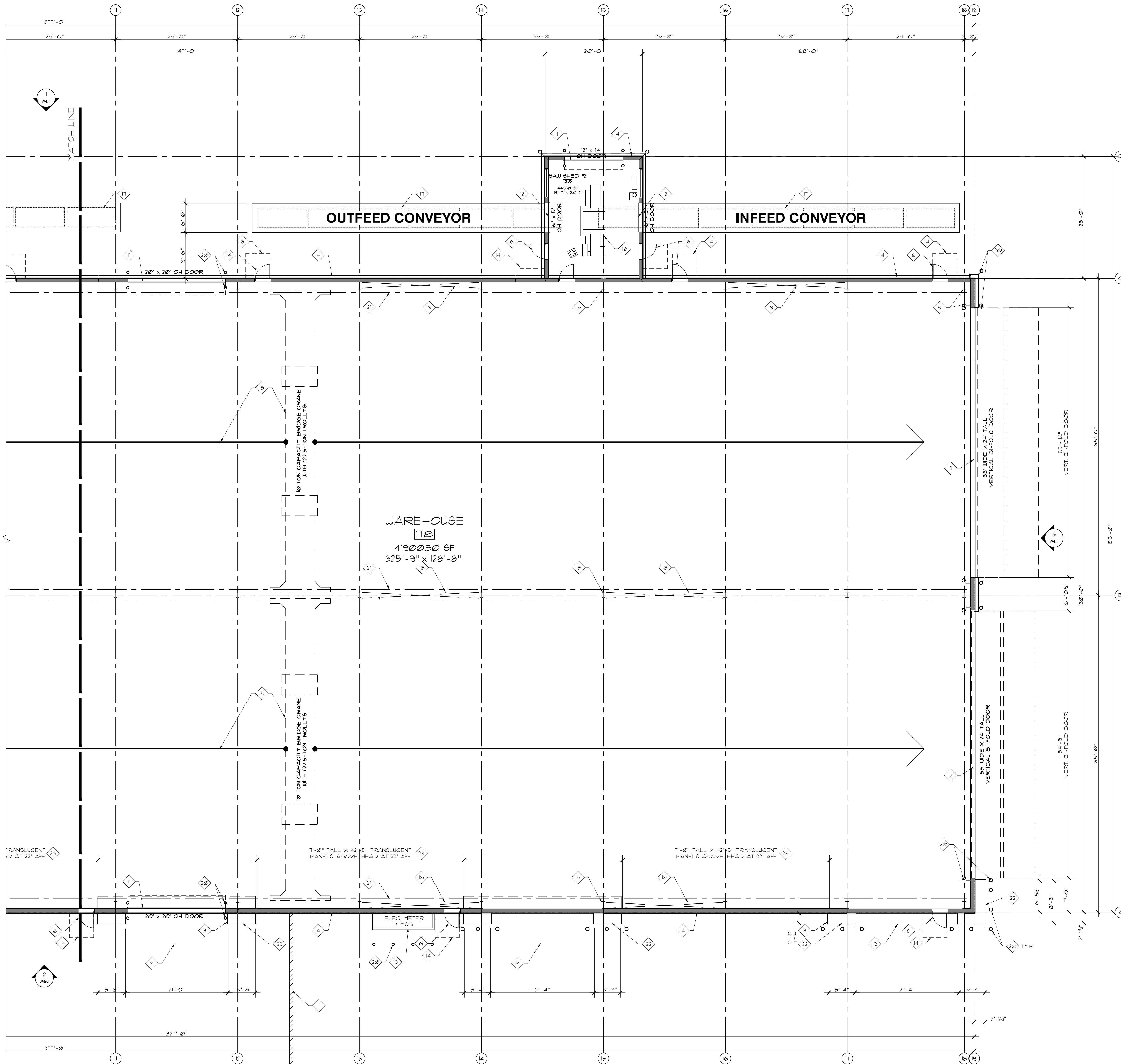
SITE PLAN SCALE: 1" = 40'-0" 1

PARKING ANALYSIS

USE TYPE	PARKING REQUIREMENTS ¹	SQUARE FOOTAGE	SPACES
GENERAL OFFICES	1,200 SF (UP TO 2,000 SF)	2,000 SF	10
	1,250 SF (2,000-15,000 SF)	1,434 SF	6
	MINIMUM REQUIRED SPACES PLUS CALCULATION BELOW		2
INDUSTRIAL WAREHOUSE	11,000 SF (UP TO 20,000 SF)	20,000 SF	20
	11,000 SF (OVER 20,000 SF)	22,510 SF	11
MANUFACTURING	MINIMUM REQUIRED SPACES PLUS CALCULATION BELOW		2
	1,600 SF	1,000 SF	2
TOTAL REQUIRED VEHICLE PARKING SPACES			53
PER CITY OF BANNING CHAPTER 11.28 PARKING AND LOADING STANDARDS REQUIRED PARKING TO BE REDUCED TO A TOTAL OF 34 SPACES BASED ON OCCUPANTS EMPLOYEE COUNT.			
PROVIDED PARKING			
STANDARD PARKING (9'x19')			30
EV CAPABLE SPACES ²			2
EV CAPABLE SPACES WITH EVSE ³			0
STANDARD ACCESSIBLE PARKING (9'x18' MIN.)			1
VAN ACCESSIBLE PARKING (9'x18' MIN.)			1
TOTAL PROVIDED PARKING SPACES			34
² PER 2022 CAL. GREEN BUILDING CODE, TABLE 9.06.5.3.1			
LOADING SPACES			
FREIGHT LOADING SPACES ³ (5'x20' 4' MIN. 15' HT.)			3
PASSENGER LOADING SPACES ³ (11'x20')			1
³ PER CITY OF BANNING SEC 11.28.010 OFF STREET LOADING STANDARDS			
TOTAL PROVIDED LOADING SPACES			4



ENLARGED SITE PLAN - PARKING LOT SCALE: 1" = 20'-0" 2



KEYNOTES

1. SITE SCREEN WALL PER SITE PLAN.
2. VERTICAL BI-FOLD DOOR PER ELEVATIONS.
3. EDGE OF SLAB LINE
4. EXTERIOR METAL BUILDING WALL WITH CLADDING PER ELEVATIONS.
5. PRE-ENGINEERED METAL BUILDING COLUMN.
6. 3'X1' DOOR
7. ALUMINUM FRAME STOREFRONT WINDOW.
8. 3'X8' ALUM. NARROW STYLE GLASS DOOR
9. LINE OF METAL CANOPY ABOVE.
10. LINE OF ROOF OVERHANG ABOVE.
11. SECTIONAL OVER-HEAD DOOR
12. COIL-UP DOOR
13. ELECTRICAL SERVICE WITH METER AND M5B
14. 5'X5' LEVEL LANDING
15. OVER-HEAD GANTRY/BRIDGE CRANE AS INDICATED.
16. STEEL CUTTING EQUIPMENT.
17. CONVEYORS AT 130" AFF
18. BUILDING STEEL ROD CROSS-BRACING
19. LINE OF SOFFIT ABOVE
20. STEEL PIPE BOLLARD, 4" TALL, MAX 4'-0" OC., PAINT CAUTION YELLOW.
21. BRIDGE CRANE RUNWAY BEAM, ABOVE
22. STEEL STUD FRAMED WALLS WITH HORIZONTAL IMP CLADDING PER ELEVATIONS.
23. EXTECH SERIES #3440 LIGHTWALL SYSTEM WITH CLEAR ALUMINUM FRAME AND 1 1/2" THK X 19" WIDE, TYPE 1541 CLEAR TRANSLUCENT POLYCARBONATE LIGHT PANELS.
24. HYAC CONDENSERS AT GROUND LEVEL



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04-19-23	PLANNING

Contractor:
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3470 E SPRING ST.
LONG BEACH, CA 90806

Proposed:
BROWN STRAUSS BANNING FACILITY

For:
BROWN STRAUSS STEEL
AN EMPLOYEE-OWNED COMPANY
2495 URAVAN STREET
AURORA, CO 80011

Project Address:
1431 W LINCOLN ST
BANNING, CA 92220
APN: 540-180-020,
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LEGEND

- METAL STUD/WOOD WALL
- MASONRY WALL

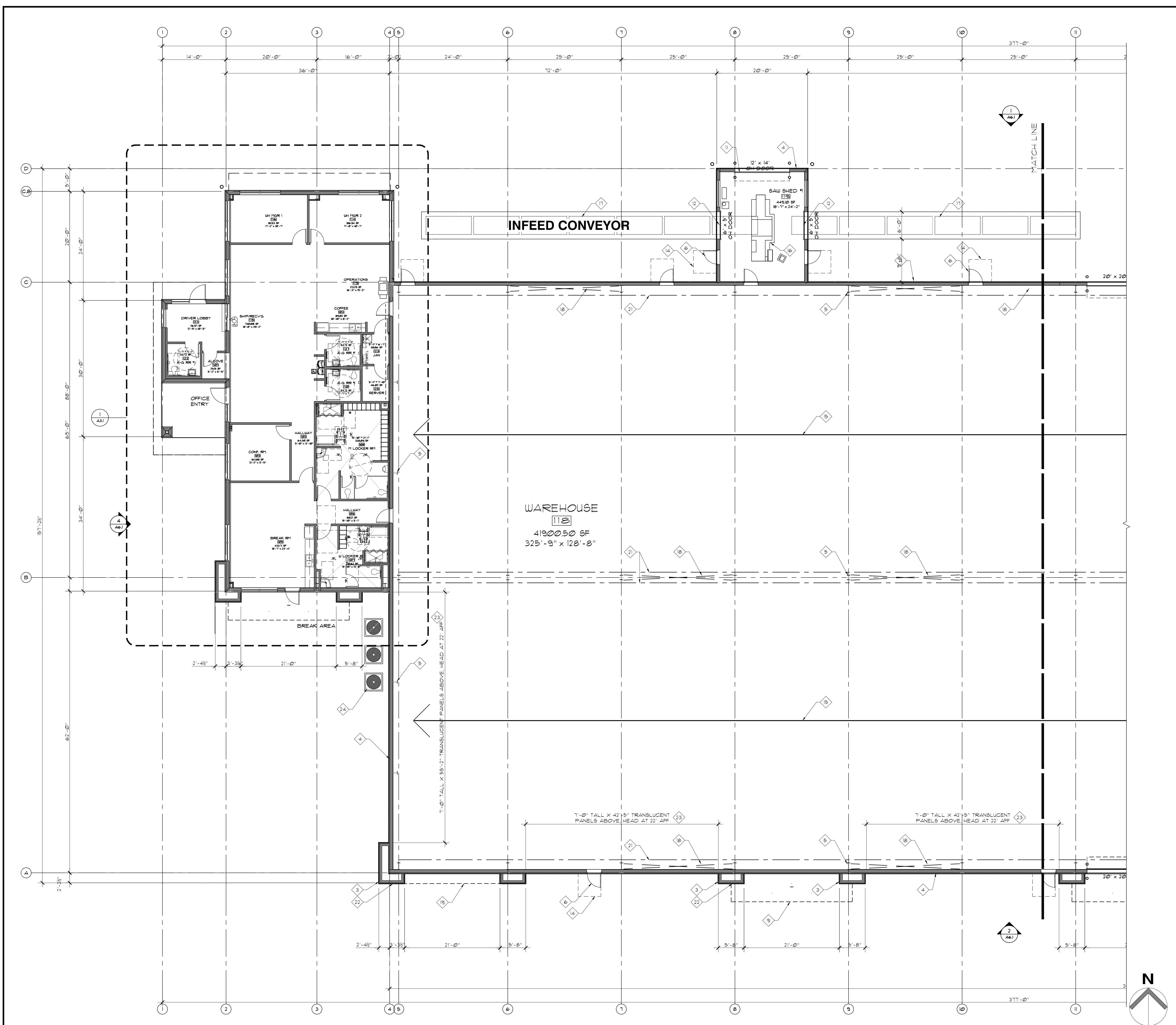
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PARTIAL FLOOR PLAN

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A2.1

PARTIAL FLOOR PLAN - EAST SCALE: 1/8" = 1'-0" **1**



KEYNOTES

1. SITE SCREEN WALL PER SITE PLAN.
2. VERTICAL BI-FOLD DOOR PER ELEVATIONS.
3. EDGE OF SLAB LINE.
4. EXTERIOR METAL BUILDING WALL WITH CLADDING PER ELEVATIONS.
5. PRE-ENGINEERED METAL BUILDING COLUMN.
6. 3'X1' DOOR.
7. ALUMINUM FRAME STOREFRONT WINDOW.
8. 3'X8' ALUM. NARROW STYLE GLASS DOOR.
9. LINE OF METAL CANOPY ABOVE.
10. LINE OF ROOF OVERHANG ABOVE.
11. SECTIONAL OVERHEAD DOOR.
12. COIL-UP DOOR.
13. ELECTRICAL SERVICE WITH METER AND M8B.
14. 5'X5' LEVEL LANDING.
15. OVERHEAD GANTRY/BRIDGE CRANE AS INDICATED.
16. STEEL CUTTING EQUIPMENT.
17. CONVEYORS AT 130" AFF.
18. BUILDING STEEL ROD CROSS-BRACING.
19. LINE OF SOFFIT ABOVE.
20. STEEL PIPE BOLLARD, 4" TALL, MAX 4'-0" OC., PAINT CAUTION YELLOW.
21. BRIDGE CRANE RUNWAY BEAM, ABOVE.
22. STEEL STUD FRAMED WALLS WITH HORIZONTAL IMP CLADDING PER ELEVATIONS.
23. EXTECH SERIES #3440 LIGHTWALL SYSTEM WITH CLEAR ALUMINUM FRAME AND 1 1/2" THK X 19" WIDE, TYPE #547 CLEAR TRANSLUCENT POLYCARBONATE LIGHT PANELS.
24. HVAC CONDENSERS AT GROUND LEVEL.

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PARTIAL FLOOR PLAN

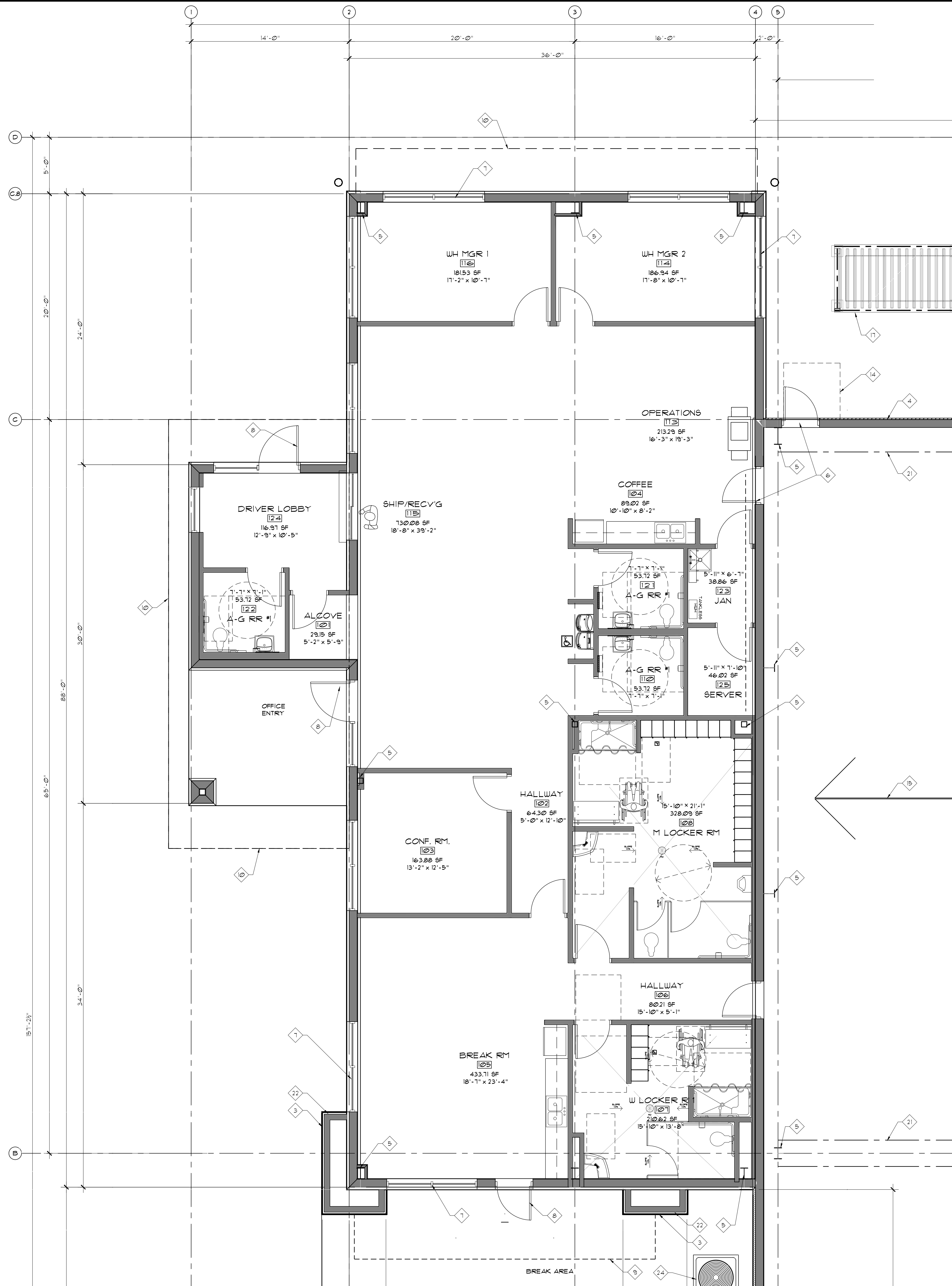
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LEGEND

- METAL STUD/WOOD WALL
- MASONRY WALL

PARTIAL FLOOR PLAN - WEST SCALE: 1/8" = 1'-0" 1



KEYNOTES

1. SITE SCREEN WALL PER SITE PLAN.
2. VERTICAL BI-FOLD DOOR PER ELEVATIONS.
3. EDGE OF SLAB LINE
4. EXTERIOR METAL BUILDING WALL WITH CLADDING PER ELEVATIONS.
5. PRE-ENGINEERED METAL BUILDING COLUMN.
6. 3'X1' DOOR
7. ALUMINUM FRAME STOREFRONT WINDOW.
8. 3'X8' ALUM. NARROW STYLE GLASS DOOR
9. LINE OF METAL CANOPY ABOVE.
10. LINE OF ROOF OVERHANG ABOVE.
11. SECTIONAL OVER-HEAD DOOR
12. COIL-UP DOOR
13. ELECTRICAL SERVICE WITH METER AND M8B
14. 5'X5' LEVEL LANDING
15. OVER-HEAD GANTRY/BRIDGE CRANE AS INDICATED.
16. STEEL CUTTING EQUIPMENT.
17. CONVEYORS AT 130" AFF
18. BUILDING STEEL ROD CROSS-BRACING
19. LINE OF SOFFIT ABOVE
20. STEEL PIPE BOLLARD, 4" TALL, MAX 4'-0" OC., PAINT CAUTION YELLOW.
21. BRIDGE CRANE RUNWAY BEAM, ABOVE
22. STEEL STUD FRAMED WALLS WITH HORIZONTAL IMP CLADDING PER ELEVATIONS.
23. EXTECH SERIES #3440 LIGHTWALL SYSTEM WITH CLEAR ALUMINUM FRAME AND 1 1/2" THK X 19" WIDE, TYPE #541 CLEAR TRANSLUCENT POLYCARBONATE LIGHT PANELS.
24. HYAC CONDENSERS AT GROUND LEVEL

LEGEND

- METAL STUD/WOOD WALL
- MASONRY WALL

ENLARGED FLOOR PLAN - OFFICE SCALE: 1/4" = 1'-0" **1**



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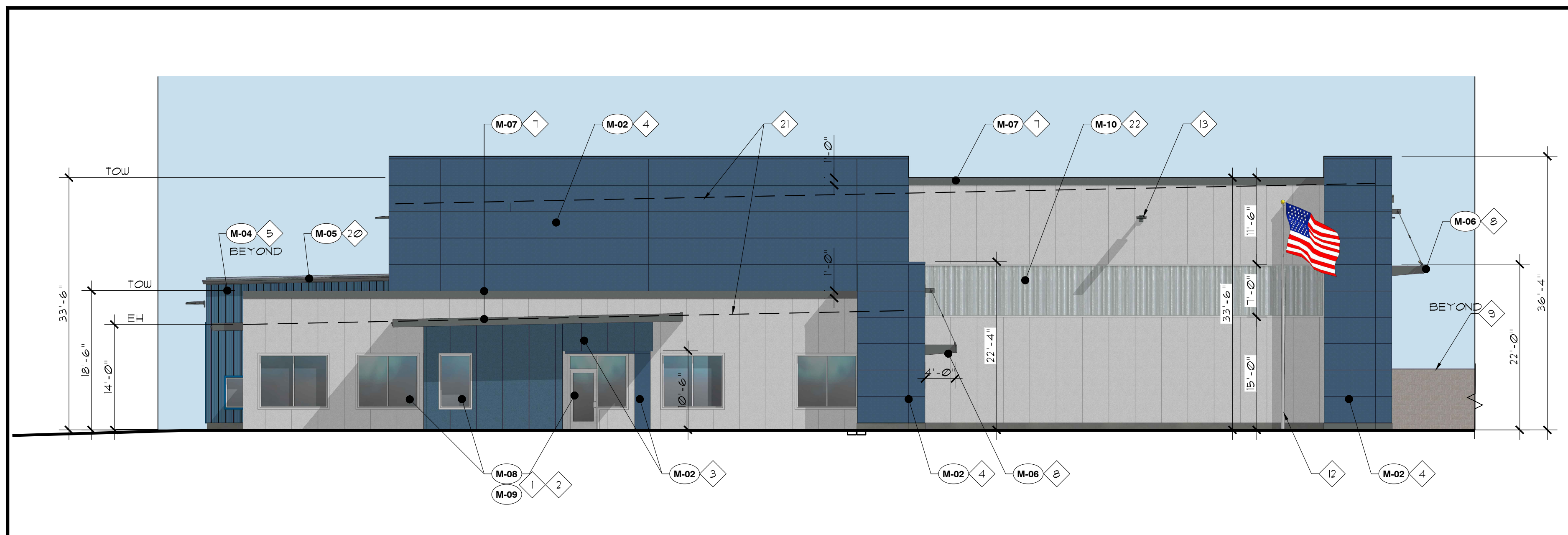
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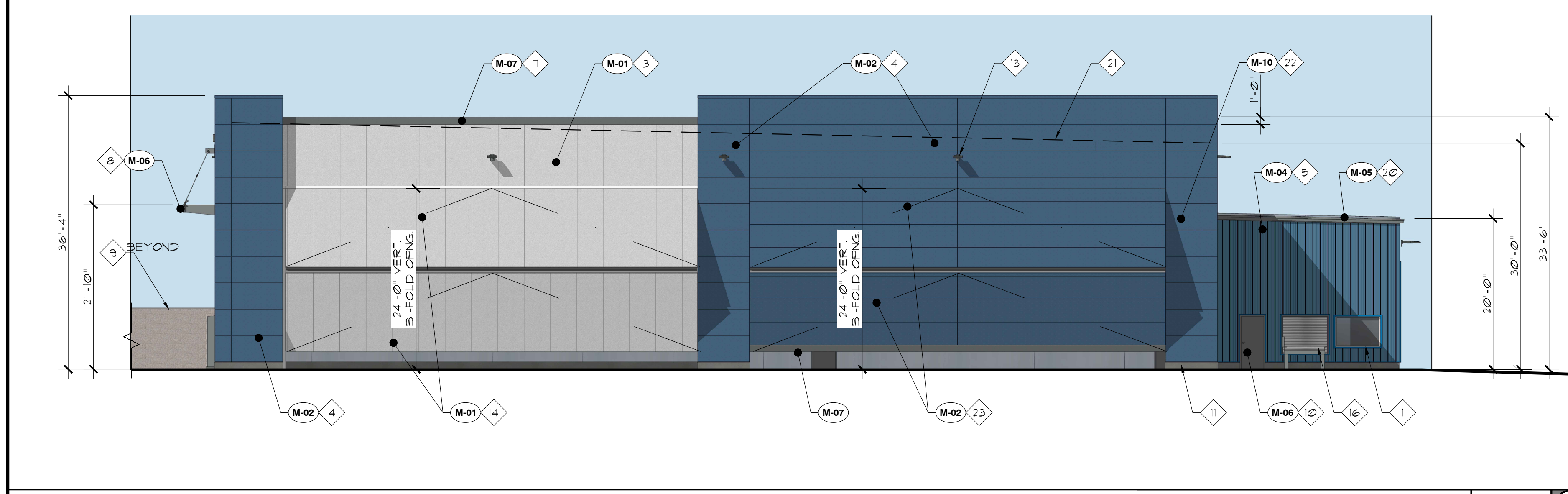
ENLARGED FLOOR PLAN

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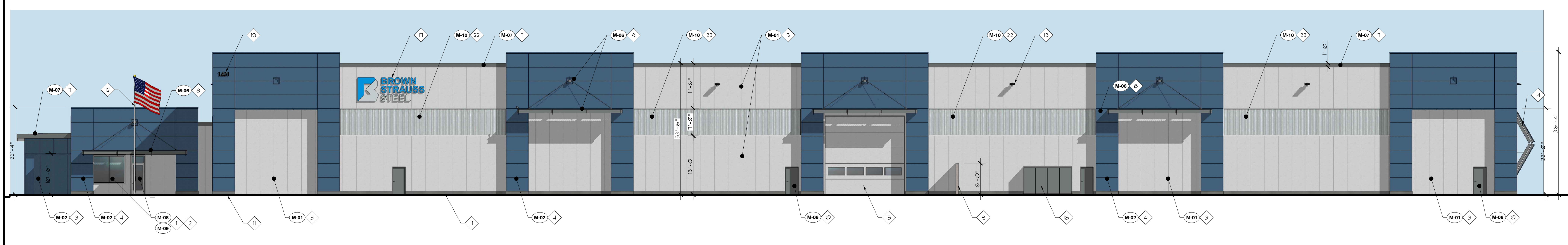
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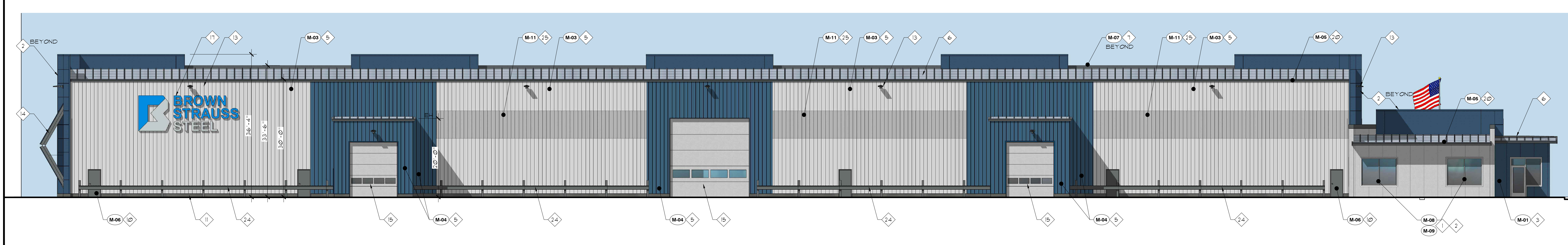
WEST ELEVATION SCALE: 1/8" = 1'-0" 4



EAST ELEVATION SCALE: 3/32" = 1'-0" 3



SOUTH ELEVATION SCALE: 3/32" = 1'-0" 2



NORTH ELEVATION SCALE: 3/32" = 1'-0" 1

MATERIAL LEGEND

- M-01** KINGSPAN INSULATED METAL PANELS WITH GRANITSTONE COATING AT EXTERIOR FACE.
COLOR: IMPERIAL WHITE
- M-02** KINGSPAN INSULATED METAL PANELS WITH GRANITSTONE COATING AT EXTERIOR FACE.
COLOR: MEDIUM BLUE, CUSTOM COLOR
- M-03** NUCOR BUILDING SYSTEMS, R-PANEL 26 GA METAL PANELS, WITH NUCOR PVDF COOL COATING.
COLOR: REGAL WHITE
- M-04** NUCOR BUILDING SYSTEMS, R-PANEL 26 GA METAL PANELS, WITH NUCOR PVDF COOL COATING.
COLOR: ROYAL BLUE
- M-05** NUCOR BUILDING SYSTEMS, 26 GA METAL TRIM, WITH NUCOR PVDF COOL COATING.
COLOR: CHARCOAL
- M-06** MEDIUM GRAY PAINT - METAL PAINT WITH SEMIGLOSS SHEEN OVER METAL PRIMER.
COLOR: DUNN EDWARDS PAINT, DE6363, "POINTED ROCK".
- M-07** MEDIUM GRAY METAL TRIM AND CAP FLASHING WITH GRANITSTONE TEXTURE COATING.
COLOR: CUSTOM COLOR TO MATCH DUNN EDWARDS PAINT, DE6363, "POINTED ROCK".
- M-08** CLEAR BRUSHED ALUMINUM FINISH.
- M-09** TINTED GRAY GLASS, VITRO ARCHITECTURAL GLASS, SOLARGRAY.
- M-10** EXTECH, TYPE 541 CLEAR POLYCARBONATE LIGHT PANELS
- M-11** TRANSLUCENT WALL PANELS WITH PROFILE TO MATCH NUCOR R-PANELS

KEYNOTES

1. ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED GLASS.
2. ALUMINUM STOREFRONT DOORS WITH TINTED GLASS.
3. INSULATED METAL PANELS WITH STUCCO COATING, 42" WIDE VERTICAL ORIENTATION.
4. INSULATED METAL PANELS (IMP) WITH STUCCO COATING, 42" WIDE WITH HORIZONTAL ORIENTATION AND 38" JOINT/REVEAL.
5. BUTLER RIB II - 12" O.C. RIBBED METAL PANELS
6. STANDING SEAM ROOF, 24" O.C. SEAMS, BUTLER MR-24 SYSTEM.
7. WALL TOP CAP METAL TRIM WITH STUCCO TEXTURE COATING
8. STEEL CANOPY WITH ROD BRACES - PAINT PER COLOR PER.
9. CMU SITE WALL PER A6.2
10. 3' X 7' EXTERIOR DOOR
11. CONCRETE CURB, BACK SMOOTH AND SEAL.
12. FLAG POLE PER PLAN
13. LIGHT FIXTURES PER ELECTRICAL
14. VERTICAL BI-FOLD DOORS WITH INSULATED METAL PANEL GLAZING, 42" WIDE WITH VERTICAL ORIENTATION. ALIGN PANEL JOINTS WITH WALL PANELS ABOVE.
15. SECTIONAL OVERHEAD DOOR WITH VISION PANELS, COIL-UP DOOR.
16. BROWN STRAUSS STEEL BUILDING SIGN UNDER SEPARATE SIGN PERMIT.
18. ELECTRICAL METER AND M5B.
19. WALL MOUNTED BUILDING ADDRESS NUMBERS.
20. 24 GA. GI METAL CLAD FASCIA + GUTTER FLASHING PER DETAILS, COLOR/FINISH.
21. LINE OF ROOF BEYOND
22. EXTECH SERIES "3440 LIGHTWALL SYSTEM WITH CLEAR ALUMINUM FRAME AND 1 1/2" THK X 19" WIDE, TYPE "541 CLEAR TRANSLUCENT POLYCARBONATE LIGHT PANELS.



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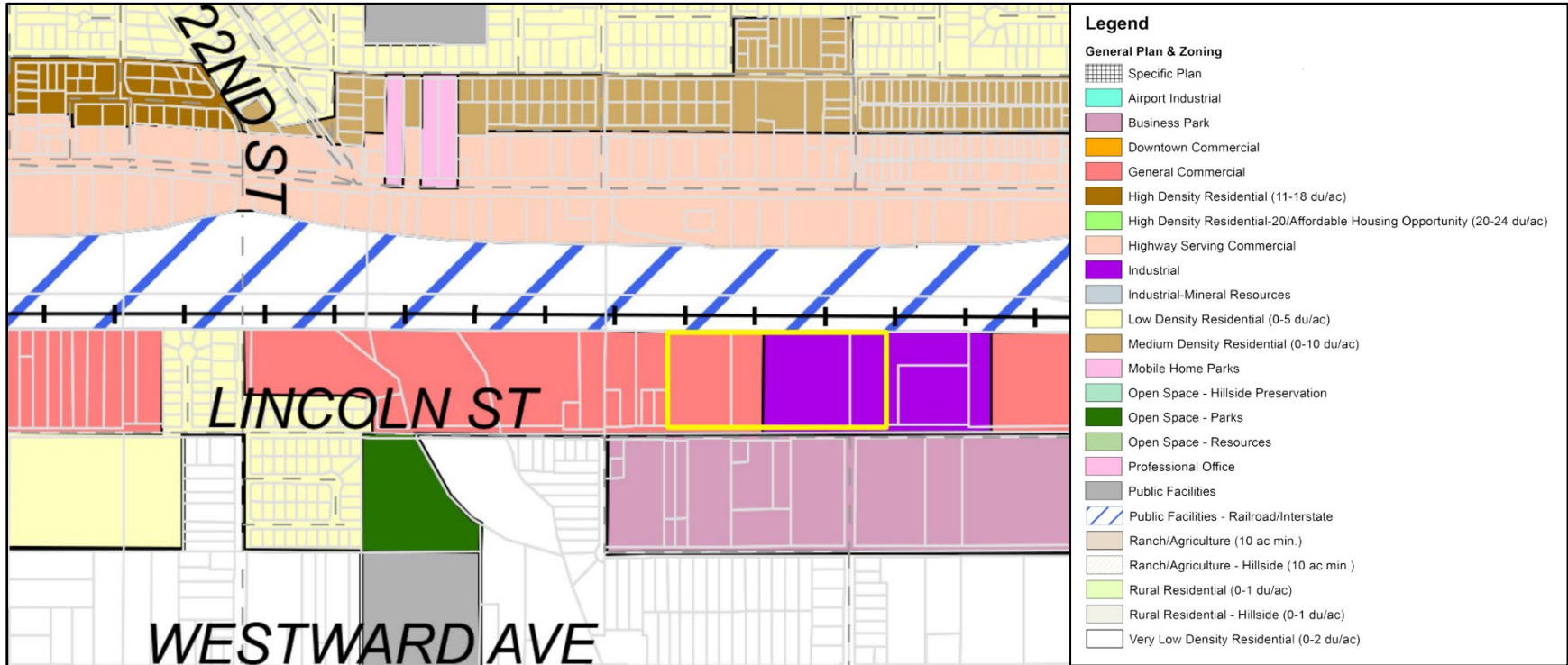
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ELEVATIONS

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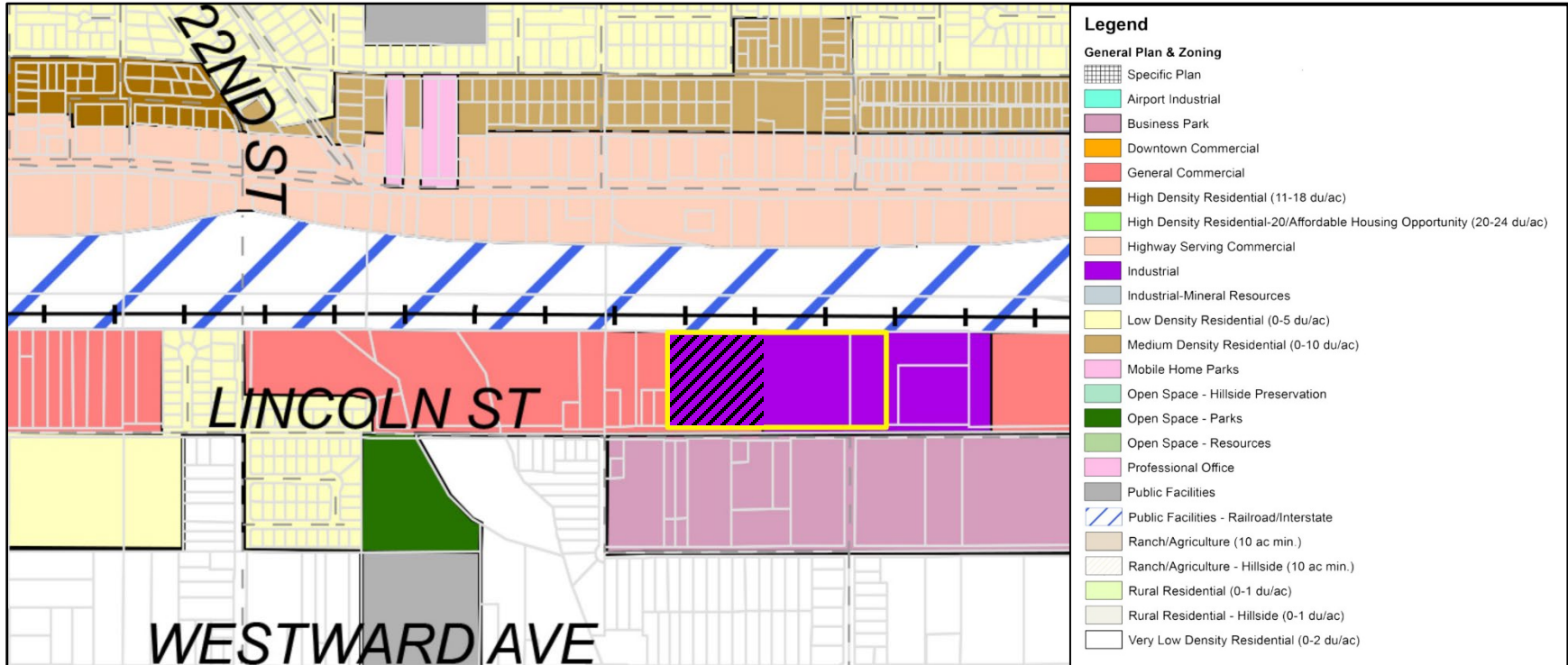
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PROJECT SITE

Figure 1: Existing General Plan and Zoning Map

Source: City of Banning



PROJECT SITE



Area of Proposed Zone Change to Industrial

Figure 2: Proposed General Plan and Zoning Map

Source: *City of Banning/Sagecrest*