

GOERNER RESIDENCE

(n) single family residence



ZONING ANALYSIS

SITE APN: 011-010-008 AND 011-01-015
 SITE ADDRESS: 1017 HOT SPRINGS ROAD
 SITE ZONING: RMZ-40
 SITE SIZE: 40 ACRES

ALLOWABLE USES PER TABLE 2-4 BELOW

(1) ONE FAMILY DWELLING.

MAX SIZE OF TOTAL DEVELOPMENT = 7,000 NET SF PER MONTECITO ARCHITECTURAL GUIDELINES AND DEVELOPMENT STANDARDS' SECTION 4, ITEM D, TABLE 2.

(1) GUEST HOUSE.

GUEST HOUSES GOVERNED BY 35.422.120
 PER SUBSECTION B
 E. 800 NET S.F. SIZE MAX.
 H. 16' MAX HEIGHT (1) STORY MAX.
 G. NO KITCHEN FACILITIES
 I. WET BARS ARE ALLOWED UP TO COUNTER AREAS OF 7', PLUS A BAR SINK, AND UNDER-COUNTER FRIDGE.

(1) HOME OCCUPATION.

HOME OCCUPATIONS GOVERNED BY 35.422.130.
 NO HOME OCCUPATION IS REQUESTED AT THIS TIME.

PER 35.422.030 E ACCESSORY STRUCTURES AND USES ARE LIMITED TO SWIMMING POOLS AND WATER STORAGE TANKS AND SOLAR SYSTEMS.

KEY STATISTICS: HEIGHT LIMIT: 25' *
 SIZE OF OF (N) STRUCTURES: 4'
 SIZE OF LOT: 40 ACRES

* REDUCED TO 16' BY 35.452.040 B, SUBSECTION C.1.

1. PRIMARY ORDINANCE.

MLUDC 35.422-RESOURCE PROTECTION ZONE; SEE TABLE 2-4

2. OVERLAY ZONE: 35.428.070-MONTECITO HILLSIDE (H-MON) OVERLAY ZONE-INLAND AREA

PER SUBSECTION B OF APPLICABLE SB COUNTY ZONING MAPS.

MEANING: REQUIRED TO COMPLY W/ SECTION IV.C (HILLSIDE DEVELOPMENT STANDARDS)

3. C. HILLSIDE DEVELOPMENT STANDARDS/ MONTECITO ARCHITECTURAL GUIDELINES AND DEVELOPMENT

THE FOLLOWING HILLSIDE DEVELOPMENT STANDARDS APPLY TO ALL PROPERTIES WITHIN THE MONTECITO HILLSIDE DISTRICT. THE BOARD OF ARCHITECTURAL REVIEW SHALL INTERPRET AND APPLY THE HILLSIDE DEVELOPMENT STANDARDS.

- THE VISUAL BULK OF RESIDENTIAL STRUCTURES SHALL BE MINIMIZED AS VIEWED FROM SCENIC VIEW CORRIDORS AS SHOWN ON FIGURE 37, VISUAL RESOURCES MAP IN THE MONTECITO COMMUNITY PLAN EIR (02-ER-03).
- THE AVERAGE HEIGHT OF THE PRIMARY RESIDENCE SHOULD NOT EXCEED 16 FEET.
- NO ELEVATION, INCLUDING RETAINING WALLS ADJACENT TO THE STRUCTURE, SHALL EXCEED AN AVERAGE HEIGHT OF TWENTY (20) FEET AS MEASURED AT FIVE FOOT INTERVALS FROM AVERAGE FINISHED GRADE TO THE AVERAGE HEIGHT OF THE HIGHEST GABLE ROOF OR TO THE TOP OF THE PARAPET OF A FLAT ROOF AT NO POINT SHALL THE STRUCTURE EXCEED THIRTY (30) FEET IN HEIGHT FROM ANY FINISHED GRADE TO THE HIGHEST GABLE, EXCEPT FOR ARCHITECTURAL FEATURES.
- ACCESSORY STRUCTURES EXCEPT BARN AND STABLES SHALL NOT EXCEED SIXTEEN (16) FEET IN HEIGHT.
- ACCESSORY STRUCTURES, EXCLUDING BARN AND STABLES, CONTAINING ONE OR MORE ACCESSORY USE SHALL NOT EXCEED A BUILDING FOOTPRINT AREA OF 800 SQUARE FEET.
- THE FLOOR AREA OF GUEST HOUSES, ARTIST STUDIOS, OR POOL HOUSE/CABANA SHALL NOT EXCEED 800 SQUARE FEET. HOWEVER, SUCH STRUCTURES MAY BE ATTACHED TO AN ACCESSORY STRUCTURE PROVIDED THE BUILDING FOOTPRINT OF THE COMBINED STRUCTURE DOES NOT EXCEED 800 SQUARE FEET.
- PROJECT GRADING SHALL NOT EXCEED 1500 CUBIC YARDS OF CUT OR FILL, UNLESS ADDITIONAL GRADING IS NECESSARY TO ALLOW REASONABLE DEVELOPMENT OF THE PROPERTY OR TO ACHIEVE REASONABLE VEHICULAR ACCESS. EXCEPTION: EXCAVATION NOT APPARENT FROM THE EXTERIOR SUCH AS BASEMENTS ENTIRELY BELOW GRADE, CRAWL SPACES, SWIMMING POOLS, UNDERGROUND WATER STORAGE TANKS, ETC., SHALL NOT BE INCLUDED IN THE GRADING CALCULATIONS UNDER THIS PROVISION. GRADING MAY EXCEED 1500 CUBIC YARDS IF ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - THE PROPOSED GRADING RESPECTS THE SIGNIFICANT NATURAL LAND FORMS OF THE SITE AND BLENDS WITH ADJACENT PROPERTIES.
 - THE GRADED SLOPES RELATE TO THE NATURAL CONTOURS OF THE SITE.
 - THE LENGTH AND HEIGHT OF RETAINING WALLS HAVE BEEN MINIMIZED TO THE MAXIMUM EXTENT FEASIBLE.
 - THERE ARE NO OTHER SUITABLE ALTERNATIVE BUILDING SITES AVAILABLE ON THE PROPERTY THAT COULD BE UTILIZED WITH SIGNIFICANTLY LESS REQUIRED GRADING FOR THE PRIMARY RESIDENCE AND/OR ACCESS ROAD.

- FILL FOR RESIDENTIAL STRUCTURES ON DOWN-SLOPE AREAS SHALL NOT BE OVER 10 FEET IN HEIGHT AT THE HIGHEST POINT (TOP OF SLOPE).
- CUT OVER THIRTY (30) FEET IN TOTAL HEIGHT SHALL BE AVOIDED TO THE EXTENT FEASIBLE.
- FREESTANDING VERTICAL RETAINING WALLS OVER EIGHT (8) FEET IN HEIGHT SHOULD BE AVOIDED TO THE EXTENT FEASIBLE.

11. BUILDING MATERIALS AND COLOR SCHEMES OF STRUCTURES, WALLS AND ROOFS SHALL BLEND WITH PREDOMINANT COLORS AND VALUES OF THE SURROUNDING NATURAL LANDSCAPE.

12. THE DESIGN OF NEW DEVELOPMENT SHALL PROTECT TO THE EXTENT FEASIBLE, UNIQUE OR SPECIAL FEATURES OF THE SITE, SUCH AS LANDFORMS, ROCK OUTCROPPINGS, MATURE TREES, UNIQUE VEGETATIVE GROUPINGS, DRAINAGE COURSES, HILLTOPS AND RIDGELINES.

13. LANDSCAPE PLANS SHALL INCLUDE APPROPRIATE PLANTING TO REDUCE FIRE HAZARD, STABILIZE CUT/FILL SLOPES, REDUCE EROSION, RETAIN MOISTURE, REPAIR AREAS OF REQUIRED FIRE DEPARTMENT BRUSH REMOVAL, AND INTEGRATE ARCHITECTURAL COMPONENTS.

14. CALCULATION OF RUNOFF FROM IMPERVIOUS SURFACES SHALL BE MADE BY A LICENSED CIVIL ENGINEER PRIOR TO ISSUANCE OF ANY PERMITS FOR NEW RESIDENCES OR ADDITIONS WHICH EXCEED FIFTY (50) PERCENT OF EXISTING FLOOR AREA OF THE PRINCIPAL STRUCTURE. PROJECT REVIEW WILL INCLUDE CONSIDERATION OF ANY INCREASED RUNOFF AND ITS IMPACT ON OFF-SITE DRAINAGE COURSES. THESE CALCULATIONS WILL BE RETAINED IN COUNTY RECORDS FOR USE IN PREPARING A MASTER DRAINAGE PLAN.

4. MONTECITO RIDGELINE AND HILLSIDE DEVELOPMENT

BASED ON CHAPTER 35.452.040 B
 PER SUBSECTION C 1
 B. RURAL AREAS

- THE HEIGHT OF ANY STRUCTURE SHOULD NOT EXCEED 16 FEET WHEREVER THERE IS A 16 FOOT DROP IN ELEVATION WITHIN 100 FEET OF THE PROPOSED STRUCTURE'S LOCATION.
- BUILDING RAKE AND RIDGE LINE SHOULD CONFORM TO OR REFLECT THE SURROUNDING TERRAIN.
- MATERIALS AND COLORS SHOULD BE COMPATIBLE WITH THE CHARACTER OF THE TERRAIN AND NATURAL SURROUNDINGS OF THE SITE.
- LARGE, VISUALLY UNBROKEN AND/OR EXPOSED RETAINING WALLS SHOULD BE MINIMIZED.
- LANDSCAPING SHOULD BE USED TO INTEGRATE THE STRUCTURE INTO THE HILLSIDE, AND SHALL BE COMPATIBLE WITH THE ADJACENT VEGETATION.
- GRADING SHALL BE MINIMIZED, IN COMPLIANCE WITH THE COMPREHENSIVE PLAN.
- DEVELOPMENT ON RIDGELINES SHALL BE DISCOURAGED IF SUITABLE ALTERNATIVE LOCATIONS ARE AVAILABLE ON THE LOT.

LAND USE (1)	PERMIT REQUIRED BY ZONE		Specific Use Regulations
	RMZ		
Table 2-4	E	Allowed use, no permit required (Exempt)	
	P	Permitted use, Land Use or Coastal Permit required (2)	
	CUP	Conditional Use Permit required	
	S	Permit determined by Specific Use Regulations	
	—	Use Not Allowed	

AGRICULTURAL, MINING & ENERGY FACILITIES		
Animal keeping	S	35,442.040
Aquaculture	CLUP	
Cultivated agriculture, orchard, vineyard, new	CLUP	
Cultivated agriculture, orchard, vineyard, historic legal use	E	
Grazing	E	
Mining	CUP	35,472,140

RECREATION, EDUCATION & PUBLIC ASSEMBLY		
Education or research facility, limited	CUP	
Meeting facility, religious	CLUP	
Rural recreation	CLUP	
School	CLUP	
Spa	CUP	35,442,170

RESIDENTIAL		
Guesthouse	P	35,442,120
Home occupation	P	35,442,130
Dwelling, one-family	P	
Residential accessory uses and structures	P	35,422,030.E
Special care home, 7 or more clients	CUP	35,442,070

SERVICES		
Large family day care home	P	35,442,070
Small family day care home	E	35,442,070
Child care center, Non-residential	CUP	35,442,070
Child care center, Residential	CUP	35,442,070

LAND USE (1)	PERMIT REQUIRED BY ZONE		Specific Use Regulations
	RMZ		
Table 2-4 - Continued	E	Allowed use, no permit required (Exempt)	
	P	Permitted use, Land Use or Coastal Permit required (2)	
	CUP	Conditional Use Permit required	
	S	Permit determined by Specific Use Regulations	
	—	Use Not Allowed	

TRANSPORTATION, COMMUNICATIONS & INFRASTRUCTURE		
Electrical substation - Minor (3)	CUP	
Electrical substation - Major (3)	CUP	
Electrical transmission line (4)	CUP	
Private services and utilities	CUP	
Public works and utilities	CUP	
Telecommunications facility	S	35,444

WATER SUPPLY & WASTE WATER FACILITIES		
Reservoir, less than 20,000 sf of total development	CUP	
Reservoir, 20,000 sf or more of total development	CUP	
Wastewater treatment system, individual	E	
Wastewater treatment facility, less than 200 connections	CUP	
Water or sewer system pump or lift station	CUP	
Water system with 1 connection	E	
Water system with 2 or more connections	CUP	
Water well, agricultural	E	

MONTECITO Floor Area Calculator and Project Statistics Worksheet

(Print on Cover Sheet of Project Plans)

PROJECT INFORMATION

Owner: John D & Mark Goerner
 Agent: Vanguard Planning Inc.
 Site Address: 1017 Hot Springs
 Assessor's Parcel Number(s): 011-010-008
 Case Number(s): 08DVP-00000-00022

PROJECT STATISTICS

	Floor Area Net Square Feet ¹				
	Existing	Existing to be Removed	New or Addition	Finished Project	Area Used in Floor Area Calculation
Primary Residential Building	2nd Floor				
	1st Floor	0	0	4,083	4,083
	Attached Garage(s) ²	0	0	1,612	1,612
	Partly Underground Basement				
	Wholly Underground Basement				0
	Attached Residential Second Unit				0
	Enter type of attached accessory structure				
	Enter type of attached accessory structure				
	Enter type of attached accessory structure				
	Enter type of attached accessory structure				
Subtotals	0	0	5,695	5,695	4,895
HOUSE NET FLOOR AREA³					4,895
Detached Accessory Structures	Guest House		607	607	
	Enter type of detached accessory structure				
	Enter type of detached accessory structure				
Subtotals	0	0	607	607	
GRAND TOTALS	0	0	6,302	6,302	

FLOOR AREA CALCULATIONS

Size of Lot (Gross Acres)	40.00
Montecito Hillside (H-MON) Overlay Zone (Y/N) ⁴	Y
Recommended Maximum House Net Floor Area ⁵	7,000
House Net Floor Area ⁶	4,895
Percent of Recommended Maximum House Net Floor Area ⁷	70%

Applicants enter project information and statistics (net square feet) into shaded cells. The calculator automatically enters statistics into clear (unshaded) cells. See next page for footnotes.

Rev. 02/10/2017

sheet index

ARCHITECTURAL DRAWINGS

T.01 GENERAL INFORMATION, PROJECT DATA
 A0.01 OFFSET AND VISUAL SCALE STUDY
 AA2.01 PROPOSED GARAGE LEVEL FLOOR PLAN
 AA2.02 PROPOSED MAIN LEVEL FLOOR PLAN
 AA2.03 PROPOSED ROOF PLAN
 AB2.01 PROPOSED GUEST HOUSE & POOL PLANS
 A4.01 EXTERIOR ELEVATIONS MAIN HOUSE
 A4.02 EXTERIOR ELEVATIONS GUEST HOUSE
 A5.01 EXTERIOR SECTIONS
 A5.02 EXTERIOR SECTIONS

LANDSCAPE DRAWINGS

L1.0 FUEL MANAGEMENT PLAN
 L1.1 PLANTING PLAN
 L1.2 LIGHTING PLAN
 L2.0 IRRIGATION PLAN
 LR1.0 ROAD PLANT RESTORATION

PRELIMINARY GRADING AND DRAINAGE PLANS- ACCESS ROAD

C-0.1 TITLE SHEET & NOTES
 C-1.1 OVERALL SITE PLAN
 C-1.2 STA. 10+00 TO 14+00 PRELIMINARY IMPROVEMENT PLAN¹
 C-1.3 STA. 14+00 TO 18+00 PRELIMINARY IMPROVEMENT PLAN
 C-1.4 STA. 18+00 TO 22+00 PRELIMINARY IMPROVEMENT PLAN
 C-1.5 STA. 22+00 TO 26+00 PRELIMINARY IMPROVEMENT PLAN
 C-1.6 STA. 26+00 TO 30+50 PRELIMINARY IMPROVEMENT PLAN
 C-1.7 STA. 30+50 TO 35+00 PRELIMINARY IMPROVEMENT PLAN
 C-1.8 STA. 35+00 TO 37+31 PRELIMINARY IMPROVEMENT PLAN
 C-1.9 SITE SECTIONS
 C-1.10 HOUSE SITE PRELIMINARY GRADING PLAN
 C-2.1 EROSION CONTROL PLAN
 C-2.2 EROSION DETAILS

project data

CASE # 08DVP-00000-00022 AND 09CUP-00000-00007
 Owner MARCIA & D. JOHN GOERNER

Project Address 1017 HOT SPRINGS ROAD
 SANTA BARBARA, CA

APN Zone 011-010-008 AND 011-010-015
 COUNTY-RMZ-40

Applicable Codes:

This project shall comply with the 2016 CBC, 2016 CEC, 2016 CMC, 2016 CPC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA UNIFORM ADMINISTRATIVE CODE, TITLE 24, SB Municipal Code #5446 and State Codes.

PROJECT DESCRIPTION

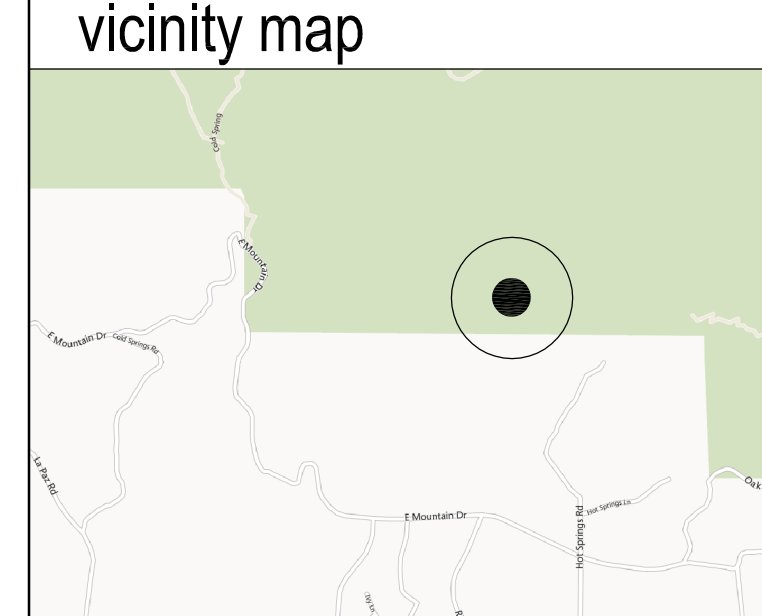
Proposed (N) Single Family Residence. Structures to include Main House/Garage, Guest House, and Pool.

FLOOR AREA	NET	GROSS
MAIN RESIDENCE	4,083 SF	4,267 SF
GARAGE/STORAGE	1,612 SF	1,842 SF
GUEST	607 SF	655 SF
PROPOSED TOTAL	6,302 SF	6,764 SF
PREVIOUS TOTAL	6,763 SF	7,081 SF
TOTAL AREA REDUCTION	= %7.09	= %4.48

*NOTE: NET SF TAKEN TO INSIDE OF EXTERIOR WALLS. GROSS SF TAKEN TO OUTSIDE OF EXTERIOR WALLS.

LOT COVERAGE

See table on sheet PS.1.



LAB

DESIGN STUDIO

INCORPORATED
 P H | 8 0 5 . 9 6 3 . 2 1 0 0
 F X | 8 0 5 . 9 6 3 . 2 3 0 0
 27 EAST COTA STREET, SUITE 503
 SANTA BARBARA, CALIFORNIA 93101
 www.abdesignstudioinc.com
 interior design
 urban planning

Project Team

[PROJECT DESIGNER / PROJECT MANAGER]
 MARK GOERNER
 1900 GARDEN STREET
 SANTA BARBARA, CA
 626.215.1793

[CIVIL ENGINEER]
 ASHLEY & VANCE ENGINEERING
 924 CHAPALA STREET, SUITE D
 SANTA BARBARA, CA
 805.962.9966
 JASON GOTSIS

[PROJECT BIOLOGIST]
 LAWRENCE HUNT
 372 VALDEZ AVE
 GOLETA, CA 93117
 805.967.8512

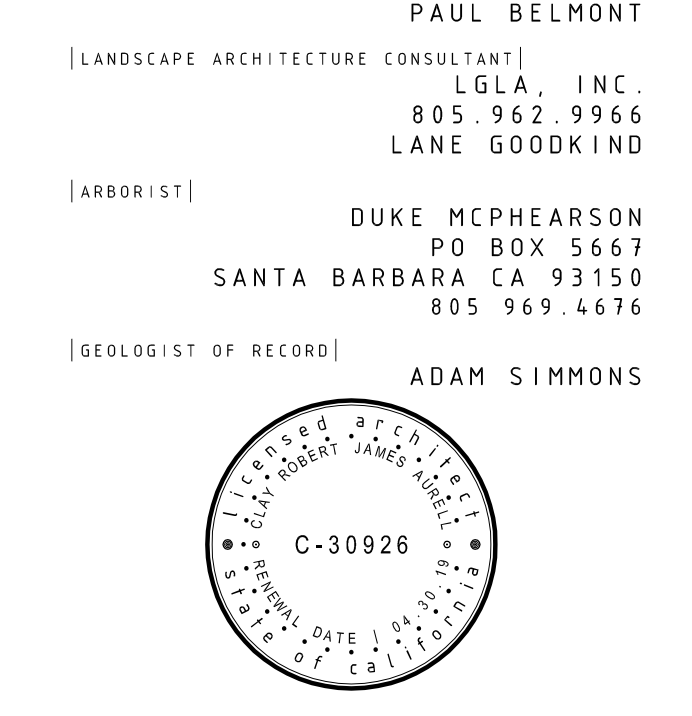
[GEOTECHNICAL ENGINEER]
 GEOSOLUTIONS INC.
 2370 SKYWAY DR. SUITE 104
 SANTA MARIA, CA 93455
 805.614.6333
 BRAD BUCHER

[STRUCTURAL ENGINEERING CONSULTANT]
 ASHLEY & VANCE ENGINEERING
 805.962.9966
 PAUL BELMONT

[LANDSCAPE ARCHITECTURE CONSULTANT]
 LGLA, INC.
 805.962.9966
 LANE GOODKIND

[ARBORIST]
 DUKE MCPHEARSON
 PO BOX 5667
 SANTA BARBARA, CA 93150
 805.969.4676

[GEOLOGIST OF RECORD]
 ADAM SIMMONS

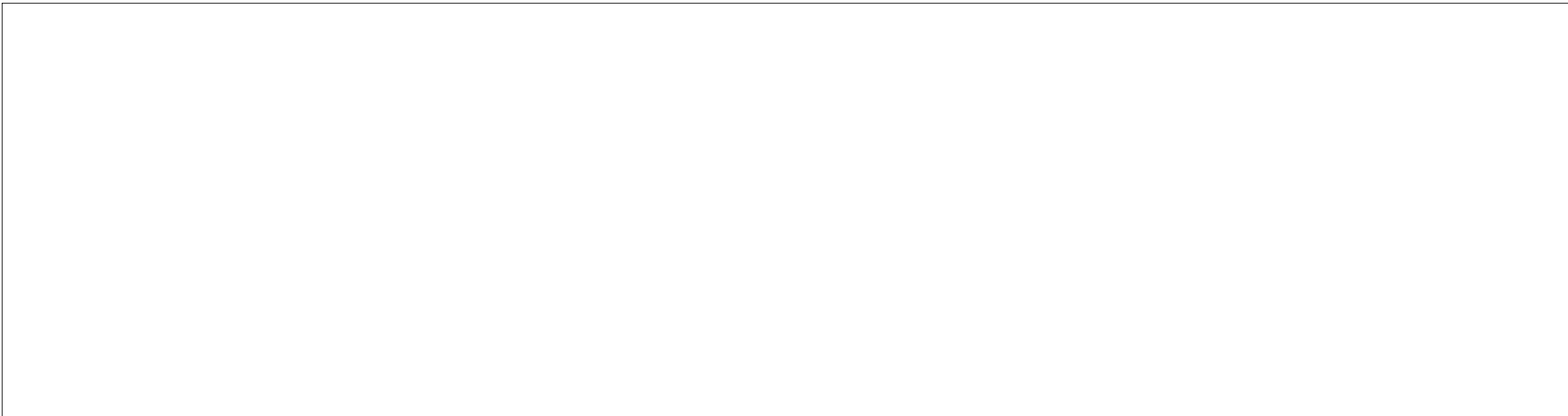


ABdesignstudio, inc.
 14 September 2018
 p l o t s t a m p
 [01.30.13]
 PLANNING REVIEW- SUBMITTAL 5
 [07.18.14]
 MBAR REVIEW
 [05.18.15]
 PLANNING REVIEW
 [11.10.17]
 PLANNING SUBMITTAL
 [07.30.18]
 PLANNING SUBMITTAL

PROJECT INFO
 [PROJECT - 1301]
GOERNER RESIDENCE
 PROJECT ADDRESS 1017 HOT SPRINGS ROAD
 SANTA BARBARA, CA
 OWNER CONTACT MARCIA & D. JOHN GOERNER
 815 | 455 1900

T.01

GENERAL INFORMATION
 PROJECT DATA
 SITE PLAN



PREVIOUS SUBMITTAL EAST ELEVATION SCALE: 1"=30'-0" 6



description of changes from last submittal

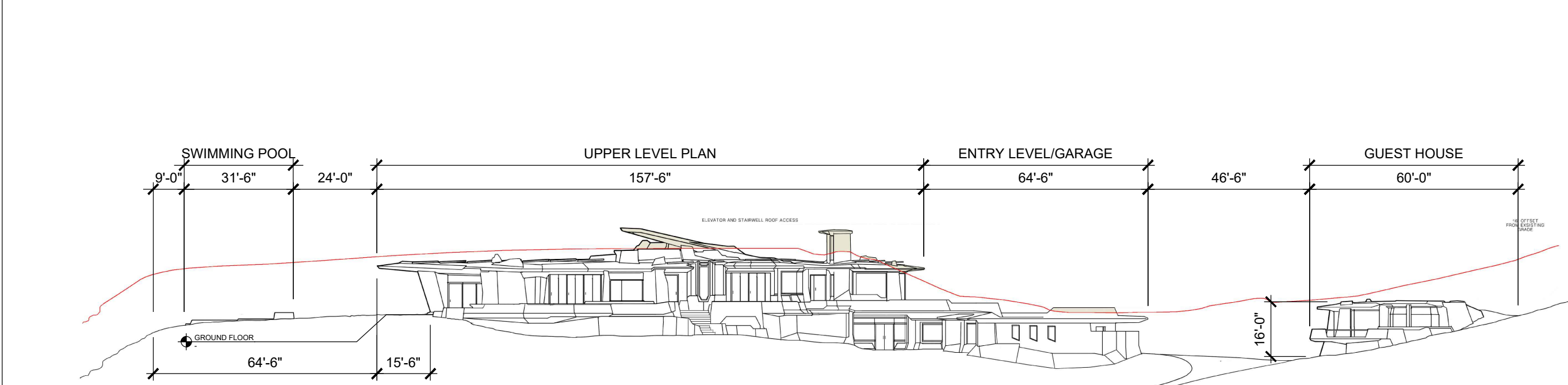
1 REDUCED SIZE OF ROOF DECK OVER COVERED PARKING SPACE. REDUCED FOUR (4) CAR GARAGE TO THREE (3) CAR GARAGE.	7 PULLED MAIN RESIDENCE STRUCTURE BACK FROM KNOLL.
2 REDUCED SIZE OF DRIVEWAY TO BETTER ACCOMMODATE CHANGES IN NATURAL GRADE AND (E) MULTI-TRUNK OAK.	8 PULLED POOL BACK FROM KNOLL EDGE.
3 SCREENED POOL WITH LARGE STONES EXCAVATED DURING CONSTRUCTION.	9 REDUCED VISUAL LENGTH AND WIDTH OF MAIN RESIDENCE.
4 COVERED FIRE ACCESS STAIR WITH VEGETATED, LANDSCAPED TUNNEL LID.	10 REDUCED LENGTH AND WIDTH OF GUEST HOUSE STRUCTURE.
5 DROPPED GUEST HOUSE BY 5' TO REDUCE VISUAL IMPACT AND PUSHED STRUCTURE BACK INTO HILLSIDE.	11 REDUCED AREA OF ENCRoACHING ARCHITECTURAL ELEMENTS INTO 16'-0" OFFSET.
6 REDUCED VERTICAL HEIGHT OF STRUCTURE AND SUNK INTO GRADE.	12 INCREASED LANDSCAPING AROUND BUILDING TO BETTER SCREEN STRUCTURE AND HELP STRUCTURE BLEND INTO HILLSIDE.

visual size calculations

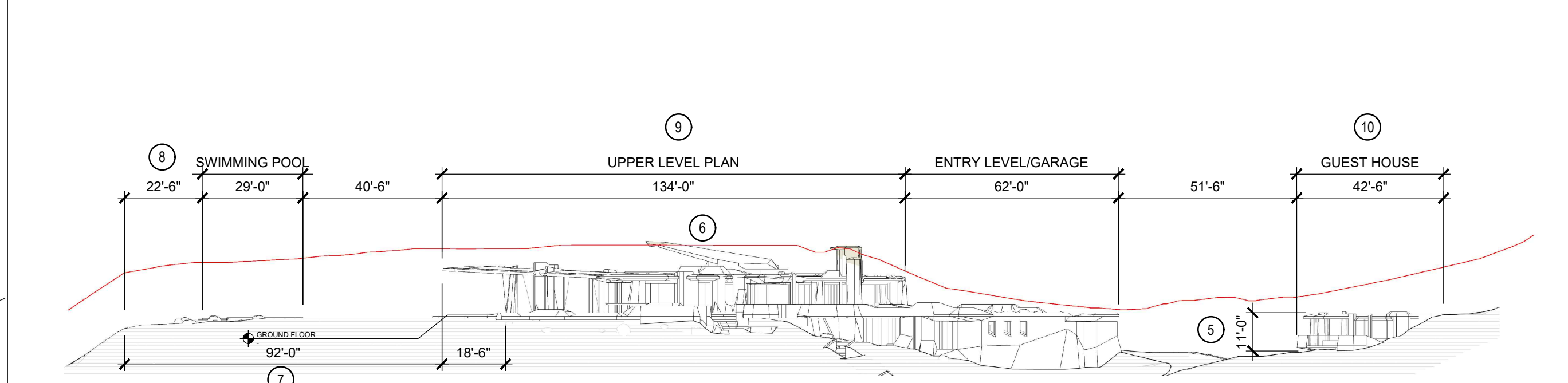
	PREV.	PROPOSED	PERCENTAGE CHANGE
POOL AND SPA			
DISTANCE FROM KNOLL:	9'-0"	22'-6"	%150 INCREASE (13.50)
VISUAL SIZE OF STRUCTURE:	31'-6"	29'-0"	%7.94 REDUCTION
MAIN HOUSE AND GARAGE			
DISTANCE FROM KNOLL:	64'-6"	92'-0"	%43.75 INCREASE (27.50)
VISUAL LENGTH OF MAIN HOUSE:	157'-6"	134'-0"	%14.92 REDUCTION
11 AREA ABOVE 16'-0" OFFSET:	708 SF	127 SF	%82.06 REDUCTION
VISUAL SIZE OF GARAGE:	64'-6"	62'-0"	%3.88 REDUCTION
VISUAL WIDTH OF MAIN HOUSE & GARAGE:	82'-6"	75'-0"	%9.10 REDUCTION
GUEST HOUSE			
VISUAL SIZE OF STRUCTURE:	60'-0"	42'-6"	%29.17 REDUCTION
VISUAL HEIGHT OF STRUCTURE:	16'-0"	11'-0"	%31.25 REDUCTION
VISUAL WIDTH OF STRUCTURE:	51'-0"	43'-0"	%15.86 REDUCTION



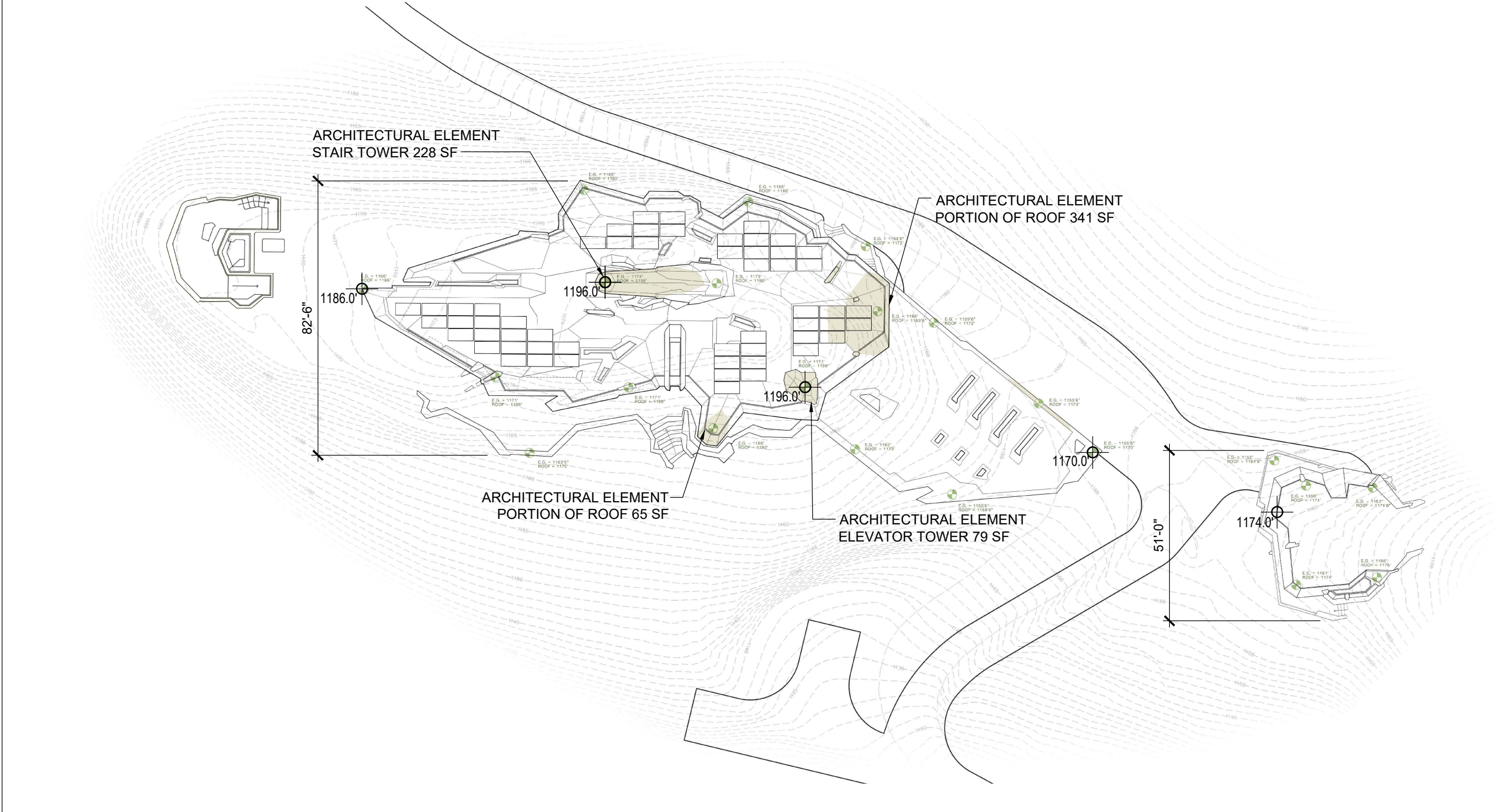
PROPOSED EAST ELEVATION SCALE: 1"=30'-0" 5



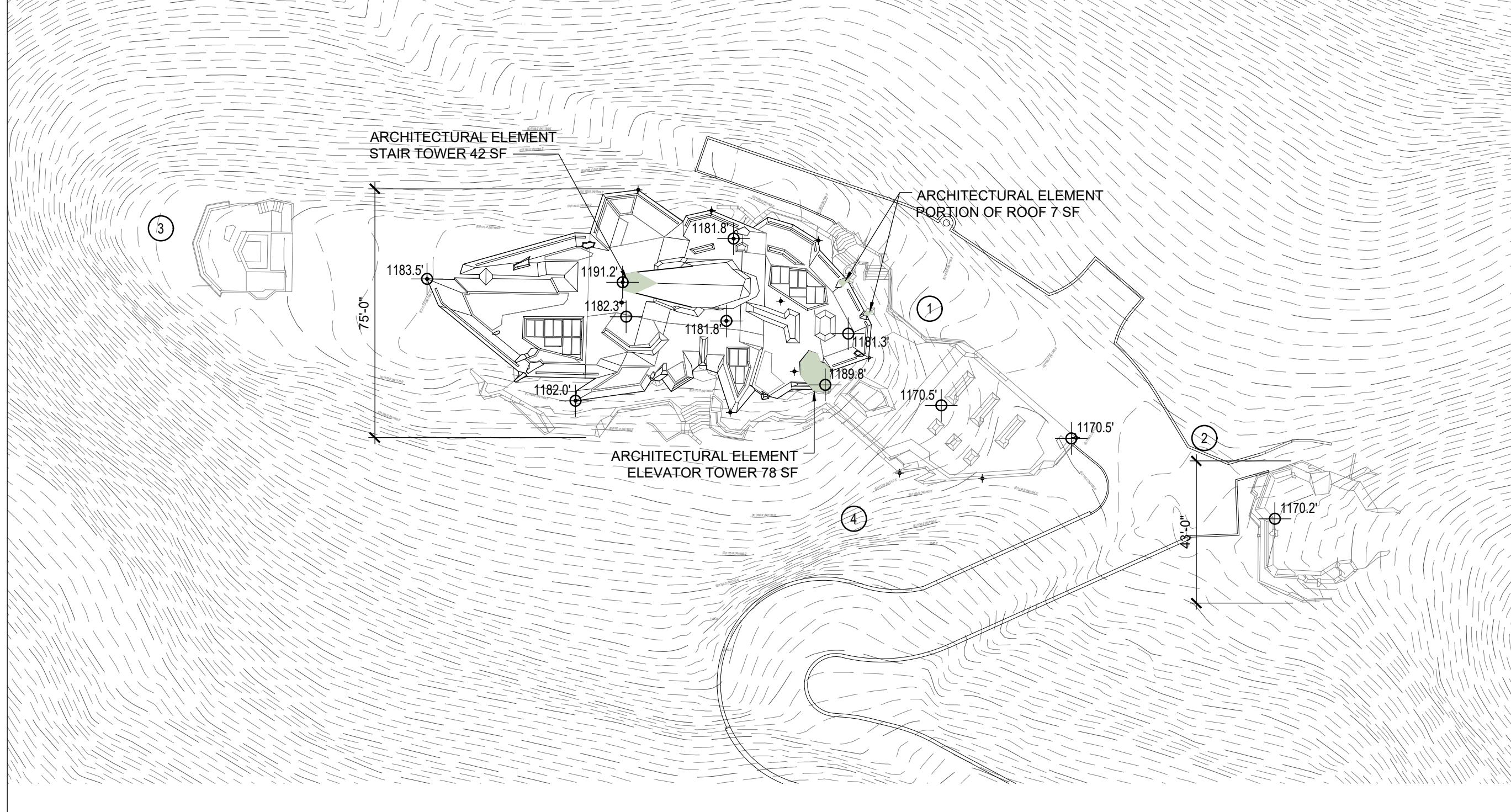
OFFSET STUDY OF PREVIOUS SUBMITTAL EAST ELEVATION SCALE: 1"=30'-0" 4



OFFSET STUDY OF PROPOSED EAST ELEVATION SCALE: 1"=30'-0" 3



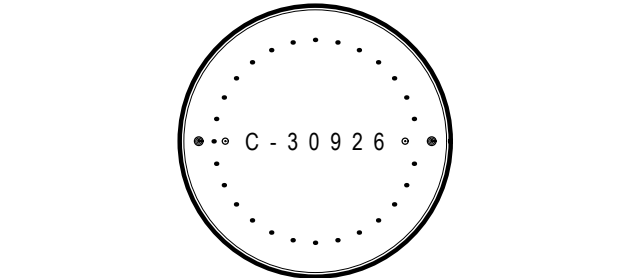
OFFSET STUDY OF PREVIOUS SUBMITTAL SITE PLAN SCALE: 1"=30'-0" 2



OFFSET STUDY OF PROPOSED SITE PLAN SCALE: 1"=30'-0" 1

AB
 DESIGN STUDIO
 INCORPORATED
 PH | 805.963.2100
 FX | 805.963.2300
 27 EAST COTA STREET, SUITE 503
 SANTA BARBARA, CALIFORNIA 93101
 www.abdesignstudio.com
 architectural
 interior design
 urban planning

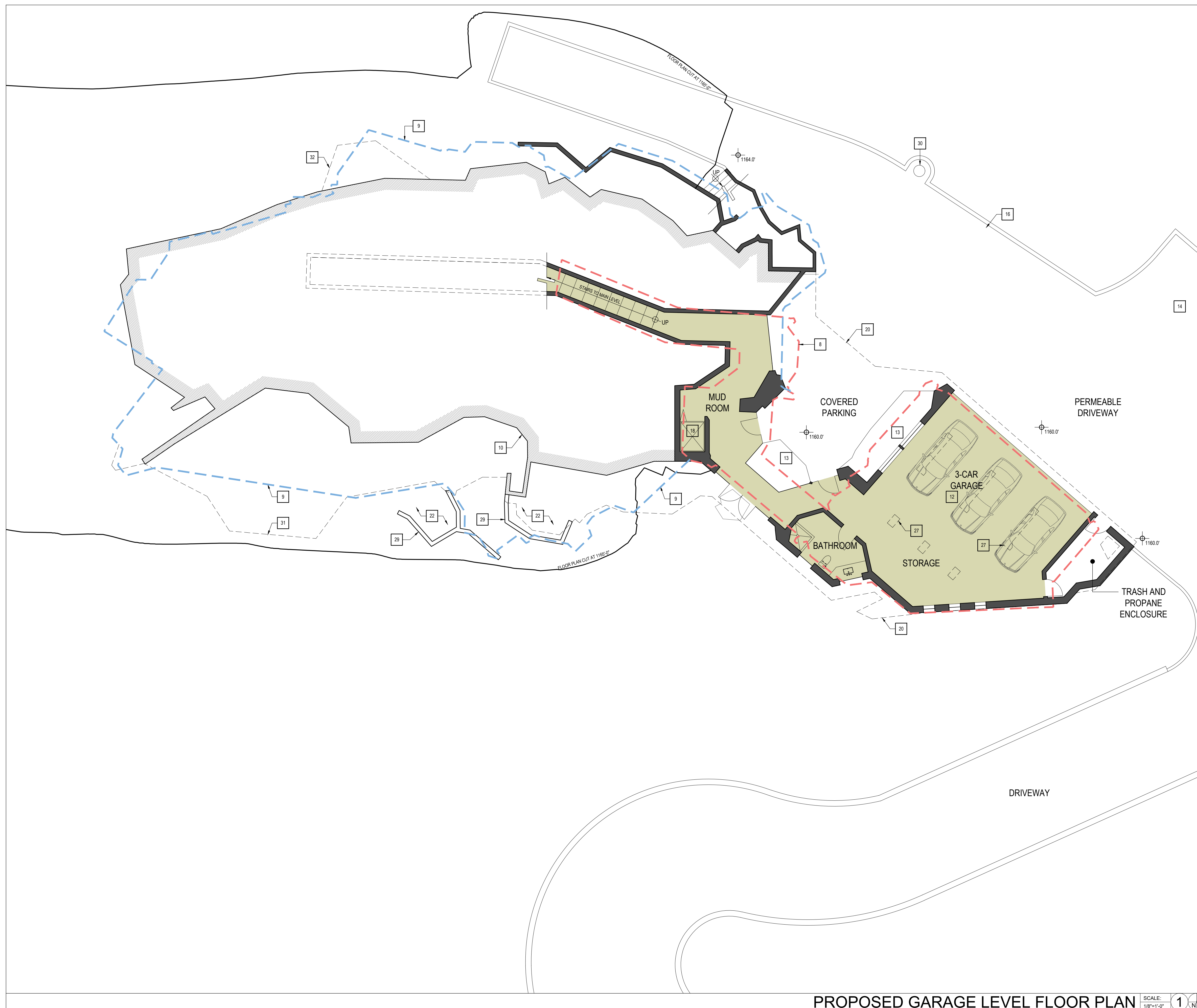
Project Team
 [PROJECT MANAGER / PROJECT MANAGER] MARK GOERNER
 1900 GARDEN STREET
 SANTA BARBARA, CA
 805.962.9966
 [CIVIL ENGINEER] ASHLEY & VANCE ENGINEERING
 924 CHAPALA STREET, SUITE D
 SANTA BARBARA, CA
 805.962.9966
 JASON GOTSIS
 [PROJECT BIOLOGIST] LAWRENCE HUNT
 372 VALDEZ AVE
 GOLETA, CA 93117
 805.967.8512
 [GEOTECHNICAL ENGINEER] GEOSOLUTIONS INC.
 2370 SKYWAY DR. SUITE 104
 SANTA MARIA, CA 93455
 805.614.6333
 BRAD BUCHER
 [STRUCTURAL ENGINEERING CONSULTANT] ASHLEY & VANCE ENGINEERING
 805.962.9966
 PAUL BELMONT
 [LANDSCAPE ARCHITECTURE CONSULTANT] LGLA, INC.
 805.962.9966
 LANE GOODKIND
 [ARBORIST] DUKE MCPHEARSON
 PO BOX 5667
 SANTA BARBARA, CA 93150
 805.969.4676
 [BIOLOGIST OF RECORD] ADAM SIMMONS



Abdesignstudio, inc.
 12 July 2018
 plot stamp
 print / revision
 [01.30.13]
 PLANNING REVIEW- SUBMITTAL 5
 [07.18.14]
 MBAR REVIEW
 [05.18.15]
 PLANNING REVIEW
 [11.10.17]
 PLANNING SUBMITTAL
 [07.30.18]
 PLANNING SUBMITTAL

Project Info
 [PROJECT - 1301]
GOERNER RESIDENCE
 [PROJECT ADDRESS] 1017 HOT SPRINGS ROAD
 SANTA BARBARA, CA
 [OWNER CONTACT] MARCIA & D. JOHN GOERNER
 815 | 455 1900

A0.01
 OFFSET STUDY &
 SITE

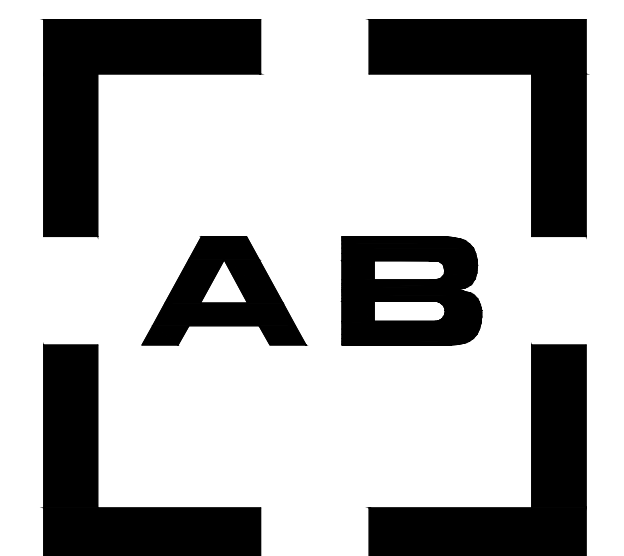


keynotes

- 1 RECESSED/SUNKEN PHOTOVOLTAIC SOLAR POWER SYSTEM
- 2 RECESSED/SUNKEN DOMESTIC HOT WATER SOLAR SYSTEM
- 3 DOMESTIC HOT WATER SOLAR SYSTEM
- 4 ROOF ELEMENT OVER ROOF ACCESS STAIR
- 5 ELEVATOR TOWER FOR ACCESSIBLE ROOF GARDEN ACCESS
- 6 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 7 SKYLIGHTS
- 8 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOOTPRINT
- 9 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOUNDATION
- 10 OUTLINE OF PROPOSED BUILDING FOUNDATION
- 11 RECESSED GUTTER SYSTEM
- 12 REDUCED GARAGE FROM A FOUR (4) CAR TO THREE (3) CAR GARAGE
- 13 PLANTER BED
- 14 REQ'D FIRE ACCESS TURN AROUND
- 15 SEAMLESS CONTINUITY OF ROOF GARDEN LANDSCAPE W/ ADJACENT TERRAIN
- 16 DRIVEWAY RETAINING WALL
- 17 CLOSET AT LANDING. STAIRS CONTINUE TO ROOF GARDEN
- 18 ELEVATOR
- 19 ARCHITECTURAL ELEMENT
- 20 LINE OF ROOF (ABOVE)
- 21 5 TRUNK OAK TO REMAIN WITH EXISTING GRADE AROUND
- 22 AREA OF FILL
- 23 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 24 OUTLINE OF PREVIOUS SUBMITTAL MAIN LEVEL TERRACE AND ROOF GARDEN
- 25 BUILT UP PLANTINGS AND LARGE ROCKS FROM CONSTRUCTION EXCAVATION TO REDUCE VISUAL IMPACT
- 26 WALK OUT TO GRADE
- 27 SKYLIGHT (ABOVE)
- 28 INFINITY EDGE AT POOL
- 29 NONSTRUCTURAL, LANDSCAPE RETAINING WALL
- 30 FIRE HYDRANT PER CIVIL DRAWINGS
- 31 LINE OF CANTILEVERED TERRACE (ABOVE)
- 32 LINE OF CANTILEVERED MASTER BEDROOM (ABOVE)
- 33 FIRE ACCESS STAIR
- 34 LANDSCAPED AREA BETWEEN MAIN HOUSE AND POOL AREA (SEE LANDSCAPE DRAWINGS)
- 35 (NOT USED)

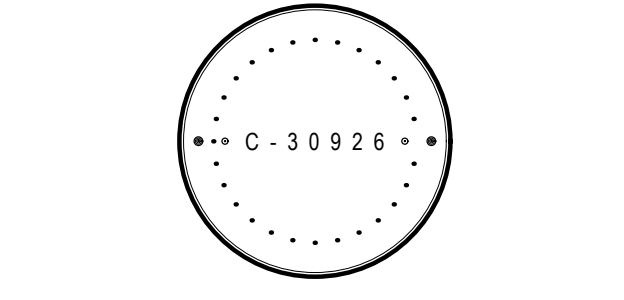
area calculations

PROPOSED AREAS		
	NET	GROSS
LOWER LEVEL	1,612 SF	1,842 SF
PREVIOUS SUBMITTAL AREAS		
	NET	GROSS
LOWER LEVEL	1,731 SF	1,908 SF
PERCENTAGE AREA REDUCTION		
	NET	GROSS
LOWER LEVEL	= 6.87%	= 3.46%



DESIGN STUDIO
INCORPORATED
PH | 805.963.2100
FX | 805.963.2300
27 EAST COTA STREET, SUITE 503
SANTA BARBARA, CALIFORNIA 93101
www.abdesignstudioinc.com
architectural interior design
urban planning

Project Team
[PROJECT DESIGNER / PROJECT MANAGER] MARK GOERNER
1900 GARDEN STREET
SANTA BARBARA, CA 626.215.1793
[CIVIL ENGINEER] ASHLEY & VANCE ENGINEERING
926 CHAPALA STREET, SUITE D
SANTA BARBARA, CA 805.962.9966
JASON GOTSIS
[PROJECT BIOLOGIST] LAWRENCE HUNT
372 VALDEZ AVE
GOLETA, CA 93117 805.967.8512
[GEOTECHNICAL ENGINEER] GEOSOLUTIONS INC.
2370 SKYWAY DR., SUITE 104
SANTA MARIA, CA 93455 805.614.6333
BRAD BUCHER
[STRUCTURAL ENGINEERING CONSULTANT] ASHLEY & VANCE ENGINEERING
805.962.9966
PAUL BELMONT
[LANDSCAPE ARCHITECTURE CONSULTANT] LGLA, INC.
805.962.9966
LANE GOODKIND
[ARBORIST] DUKE MCPHEARSON
PO BOX 5667
SANTA BARBARA CA 93150 805.969.4676
[GEOLOGIST OF RECORD] ADAM SIMMONS



ABdesignstudio, inc.
12 July 2018
plot stamp

print / revision
[01.30.13] PLANNING REVIEW- SUBMITTAL 5
[07.18.14] MBAR REVIEW
[05.18.15] PLANNING REVIEW
[11.10.17] PLANNING SUBMITTAL
[07.30.18] PLANNING SUBMITTAL

Project Info
[PROJECT - 1301] GOERNER RESIDENCE
[PROJECT ADDRESS] 1017 HOT SPRINGS ROAD
SANTA BARBARA, CA
[OWNER CONTACT] MARCIA & D. JOHN GOERNER
815 | 455 1900



PROPOSED GARAGE LEVEL FLOOR PLAN SCALE: 1/8"=1'-0" 1

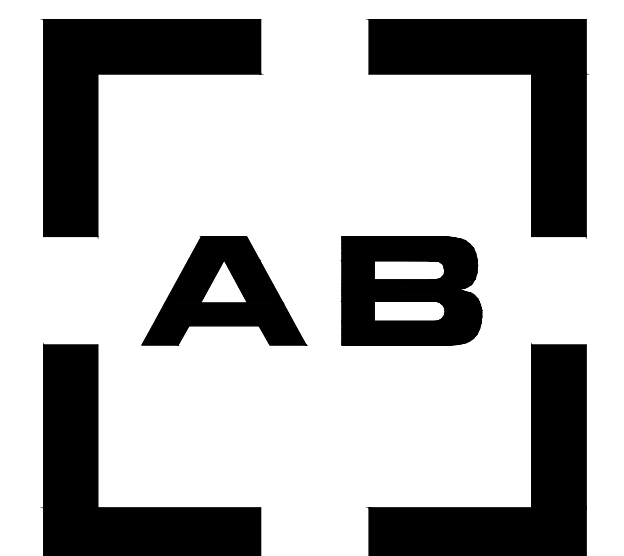


keynotes

- 1 RECESSED/SUNKEN PHOTOVOLTAIC SOLAR POWER SYSTEM
- 2 RECESSED/SUNKEN DOMESTIC HOT WATER SOLAR SYSTEM
- 3 DOMESTIC HOT WATER SOLAR SYSTEM
- 4 ROOF ELEMENT OVER ROOF ACCESS STAIR
- 5 ELEVATOR TOWER FOR ACCESSIBLE ROOF GARDEN ACCESS
- 6 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 7 SKYLIGHTS
- 8 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOOTPRINT
- 9 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOUNDATION
- 10 OUTLINE OF PROPOSED BUILDING FOUNDATION
- 11 RECESSED GUTTER SYSTEM
- 12 REDUCED GARAGE FROM A FOUR (4) CAR TO THREE (3) CAR GARAGE
- 13 PLANTER BED
- 14 REQ'D FIRE ACCESS TURN AROUND
- 15 SEAMLESS CONTINUITY OF ROOF GARDEN LANDSCAPE W/ ADJACENT TERRAIN
- 16 DRIVEWAY RETAINING WALL
- 17 CLOSET AT LANDING. STAIRS CONTINUE TO ROOF GARDEN
- 18 ELEVATOR
- 19 ARCHITECTURAL ELEMENT
- 20 LINE OF ROOF (ABOVE)
- 21 5 TRUNK OAK TO REMAIN WITH EXISTING GRADE AROUND
- 22 AREA OF FILL
- 23 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 24 OUTLINE OF PREVIOUS SUBMITTAL MAIN LEVEL TERRACE AND ROOF GARDEN
- 25 BUILT UP PLANTINGS AND LARGE ROCKS FROM CONSTRUCTION EXCAVATION TO REDUCE VISUAL IMPACT
- 26 WALK OUT TO GRADE
- 27 SKYLIGHT (ABOVE)
- 28 INFINITY EDGE AT POOL
- 29 NONSTRUCTURAL, LANDSCAPE RETAINING WALL
- 30 FIRE HYDRANT PER CIVIL DRAWINGS
- 31 LINE OF CANTILEVERED TERRACE (ABOVE)
- 32 LINE OF CANTILEVERED MASTER BEDROOM (ABOVE)
- 33 FIRE ACCESS STAIR
- 34 LANDSCAPED AREA BETWEEN MAIN HOUSE AND POOL AREA (SEE LANDSCAPE DRAWINGS)
- 35 (NOT USED)

area calculations

PROPOSED AREAS		
	NET	GROSS
MAIN LEVEL	4,083 SF	4,267 SF
PREVIOUS SUBMITTAL AREAS		
	NET	GROSS
MAIN LEVEL	4,403 SF	4,519 SF
PERCENTAGE REDUCTION		
	NET	GROSS
MAIN LEVEL	= 7.26%	= 5.58%



DESIGN STUDIO
INCORPORATED
PH | 805.963.2100
FX | 805.963.2300
27 EAST COTA STREET, SUITE 503
SANTA BARBARA, CALIFORNIA 93101
www.abdesignstudioinc.com
architectural interior design
urban planning

Project Team
[PROJECT DESIGNER / PROJECT MANAGER] MARK GOERNER
1900 GARDEN STREET
SANTA BARBARA, CA 93101
805.962.9966

[CIVIL ENGINEER] ASHLEY & VANCE ENGINEERING
926 CHAPALA STREET, SUITE D
SANTA BARBARA, CA 93101
805.962.9966
JASON GOTSIS

[PROJECT BIOLOGIST] LAWRENCE HUNT
372 VALDEZ AVE
GOLETA, CA 93117
805.967.8512

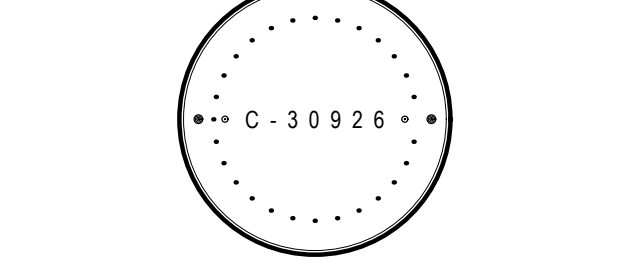
[GEOTECHNICAL ENGINEER] GEOSOLUTIONS INC.
2370 SKYWAY DR., SUITE 104
SANTA MARIA, CA 93455
805.614.6333
BRAD BUCHER

[STRUCTURAL ENGINEERING CONSULTANT] ASHLEY & VANCE ENGINEERING
805.962.9966
PAUL BELMONT

[LANDSCAPE ARCHITECTURE CONSULTANT] LGLA, INC.
805.962.9966
LANE GOODKIND

[ARBORIST] DUKE MCPHEARSON
PO BOX 5667
SANTA BARBARA, CA 93150
805.969.4676

[GEOLOGIST OF RECORD] ADAM SIMMONS



Abdesignstudio, inc.
12 July 2018
plot stamp

print / revision

NO.	DATE	DESCRIPTION
01-30-13		PLANNING REVIEW- SUBMITTAL 5
07-18-14		MBAR REVIEW
05-18-15		PLANNING REVIEW
11-10-17		PLANNING SUBMITTAL
07-30-18		PLANNING SUBMITTAL

Project Info
[PROJECT - 1301] **GOERNER RESIDENCE**
[PROJECT ADDRESS] 1017 HOT SPRINGS ROAD
SANTA BARBARA, CA
[OWNER CONTACT] MARCIA & D. JOHN GOERNER
815 | 455 1900



PROPOSED MAIN LEVEL FLOOR PLAN SCALE: 1/8"=1'-0" 1



keynotes

- 1 RECESSED/SUNKEN PHOTOVOLTAIC SOLAR POWER SYSTEM
- 2 RECESSED/SUNKEN DOMESTIC HOT WATER SOLAR SYSTEM
- 3 DOMESTIC HOT WATER SOLAR SYSTEM
- 4 ROOF ELEMENT OVER ROOF ACCESS STAIR
- 5 ELEVATOR TOWER FOR ACCESSIBLE ROOF GARDEN ACCESS
- 6 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 7 SKYLIGHTS
- 8 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOOTPRINT
- 9 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOUNDATION
- 10 OUTLINE OF PROPOSED BUILDING FOUNDATION
- 11 RECESSED GUTTER SYSTEM
- 12 REDUCED GARAGE FROM A FOUR (4) CAR TO THREE (3) CAR GARAGE
- 13 PLANTER BED
- 14 REQ'D FIRE ACCESS TURN AROUND
- 15 SEAMLESS CONTINUITY OF ROOF GARDEN LANDSCAPE W/ ADJACENT TERRAIN
- 16 DRIVEWAY RETAINING WALL
- 17 CLOSET AT LANDING. STAIRS CONTINUE TO ROOF GARDEN
- 18 ELEVATOR
- 19 ARCHITECTURAL ELEMENT
- 20 LINE OF ROOF (ABOVE)
- 21 5 TRUNK OAK TO REMAIN WITH EXISTING GRADE AROUND
- 22 AREA OF FILL
- 23 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 24 OUTLINE OF PREVIOUS SUBMITTAL MAIN LEVEL TERRACE AND ROOF GARDEN
- 25 BUILT UP PLANTINGS AND LARGE ROCKS FROM CONSTRUCTION EXCAVATION TO REDUCE VISUAL IMPACT
- 26 WALK OUT TO GRADE
- 27 SKYLIGHT (ABOVE)
- 28 INFINITY EDGE AT POOL
- 29 NONSTRUCTURAL, LANDSCAPE RETAINING WALL
- 30 FIRE HYDRANT PER CIVIL DRAWINGS
- 31 LINE OF CANTILEVERED TERRACE (ABOVE)
- 32 LINE OF CANTILEVERED MASTER BEDROOM (ABOVE)
- 33 FIRE ACCESS STAIR
- 34 LANDSCAPED AREA BETWEEN MAIN HOUSE AND POOL AREA (SEE LANDSCAPE DRAWINGS)
- 35 (NOT USED)
- 36 (NOT USED)

NOTE:
SEE CIVIL DRAWINGS FOR
PROPOSED CONTOURS

PROPOSED ROOF PLAN SCALE: 1/8"=1'-0" 1

landscaping areas

AREA LANDSCAPED (MAIN HOUSE ROOF)	= 1,315 SF
TOTAL AREA OF ROOF (MAIN HOUSE ROOF)	= 5,521 SF
PERCENT VEGETATIVE COVERAGE	= 23.81%



Project Team

PROJECT DESIGNER / PROJECT MANAGER:
MARK GOERNER
1900 GARDEN STREET
SANTA BARBARA, CA
626.215.1793

CIVIL ENGINEER:
ASHLEY & VANCE ENGINEERING
926 CHAPALA STREET, SUITE D
SANTA BARBARA, CA
805.962.9966
JASON GOTSIS

PROJECT BIOLOGIST:
LAWRENCE HUNT
372 VALDEZ AVE
GOLTA, CA 93117
805.967.8512

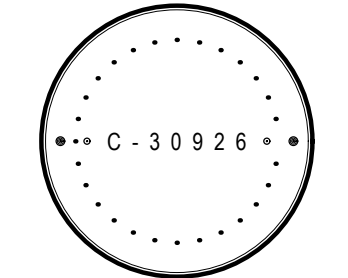
GEOTECHNICAL ENGINEER:
GEOSOLUTIONS INC.
2370 SKYWAY DR., SUITE 104
SANTA MARIA, CA 93455
805.614.6333
BRAD BUCHER

STRUCTURAL ENGINEERING CONSULTANT:
ASHLEY & VANCE ENGINEERING
805.962.9966
PAUL BELMONT

LANDSCAPE ARCHITECTURE CONSULTANT:
LGLA, INC.
805.962.9966
LANE GOODKIND

ARBORIST:
DUKE MCPHEARSON
PO BOX 5667
SANTA BARBARA CA 93150
805.969.4676

GEOLOGIST OF RECORD:
ADAM SIMMONS



ABdesignstudio, inc.
12 July 2018
plot stamp

print / revision

[01-30-13]	PLANNING REVIEW- SUBMITTAL 5
[07-18-14]	
[05-18-15]	MBAR REVIEW
[11-18-17]	PLANNING REVIEW
[07-30-18]	PLANNING SUBMITTAL
	PLANNING SUBMITTAL

Project Info

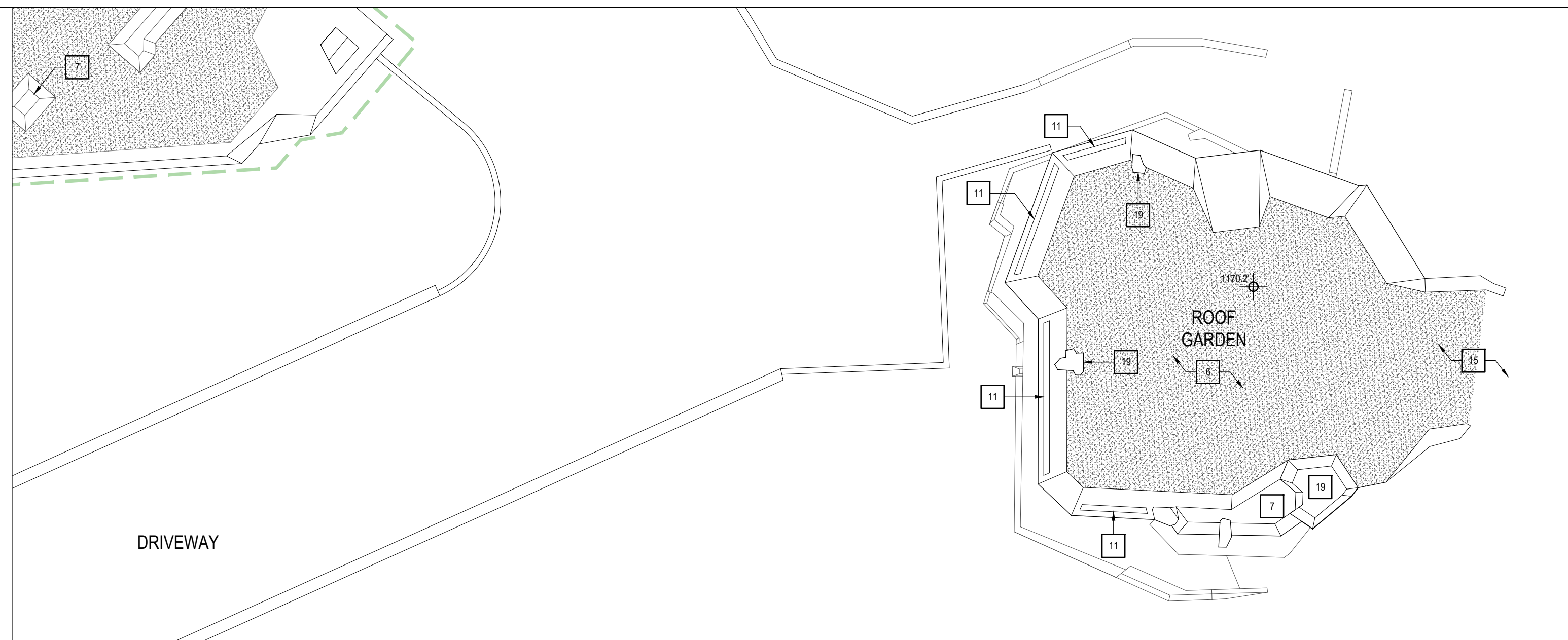
PROJECT - 1301

GOERNER RESIDENCE

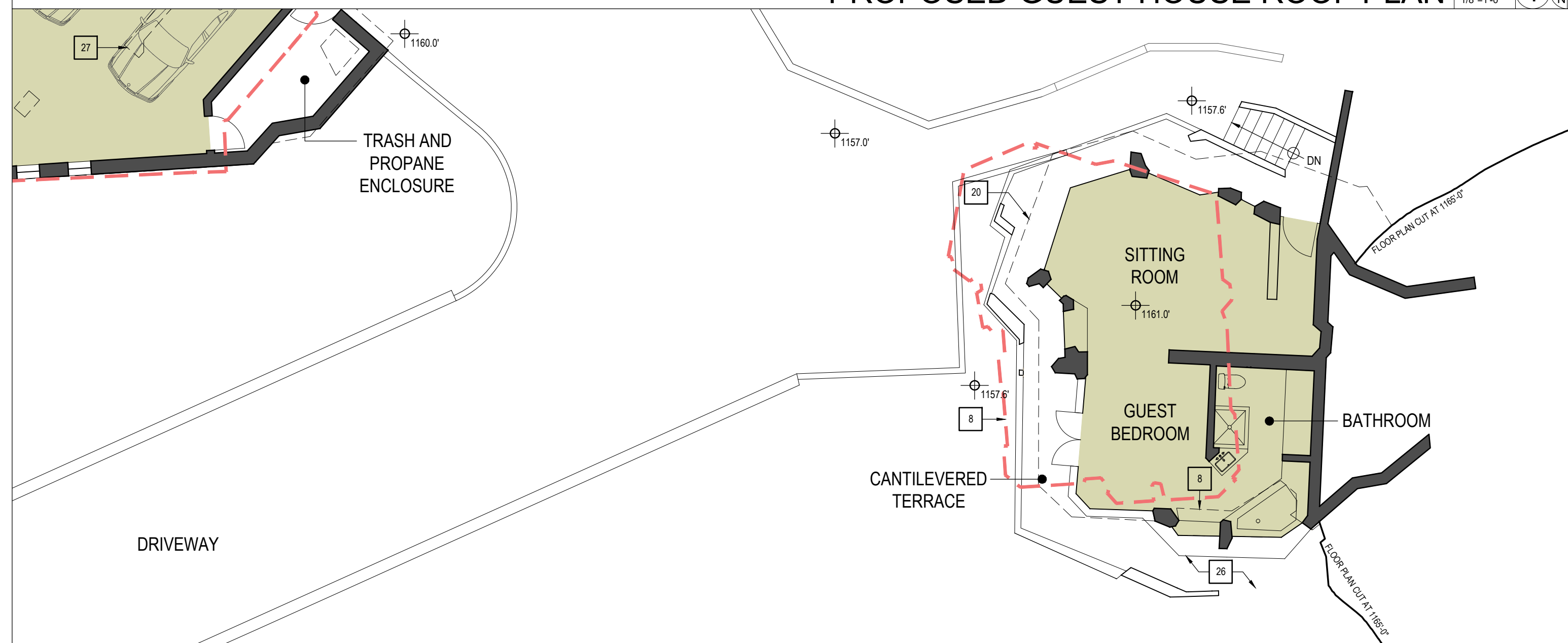
PROJECT ADDRESS:
1017 HOT SPRINGS ROAD
SANTA BARBARA, CA

OWNER CONTACT:
MARCIA & D. JOHN GOERNER
815 | 455 1900

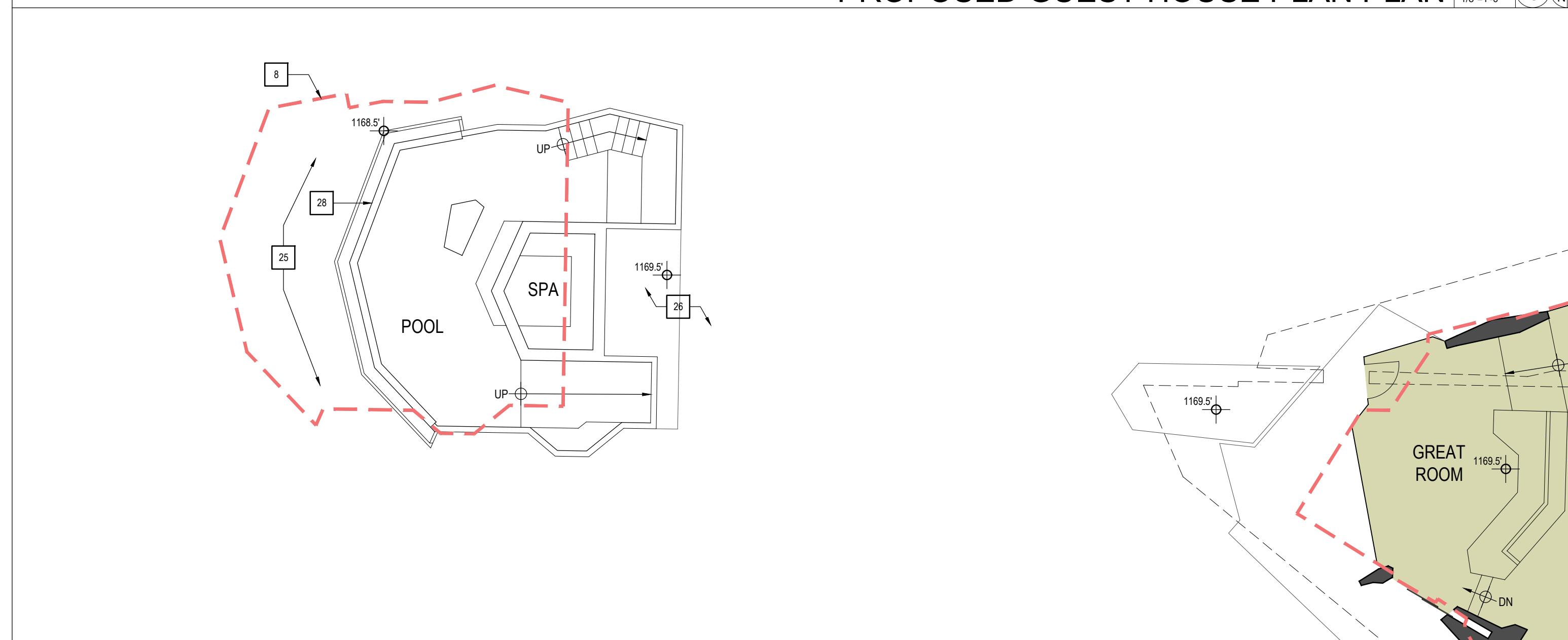




PROPOSED GUEST HOUSE ROOF PLAN SCALE: 1/8"=1'-0" 1



PROPOSED GUEST HOUSE PLAN PLAN SCALE: 1/8"=1'-0" 1



PROPOSED POOL PLAN SCALE: 1/8"=1'-0" 1

keynotes

- 1 RECESSED/SUNKEN PHOTOVOLTAIC SOLAR POWER SYSTEM
- 2 RECESSED/SUNKEN DOMESTIC HOT WATER SOLAR SYSTEM
- 3 DOMESTIC HOT WATER SOLAR SYSTEM
- 4 ROOF ELEMENT OVER ROOF ACCESS STAIR
- 5 ELEVATOR TOWER FOR ACCESSIBLE ROOF GARDEN ACCESS
- 6 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 7 SKYLIGHTS
- 8 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOOTPRINT
- 9 OUTLINE OF PREVIOUS SUBMITTAL BUILDING FOUNDATION
- 10 OUTLINE OF PROPOSED BUILDING FOUNDATION
- 11 RECESSED GUTTER SYSTEM
- 12 REDUCED GARAGE FROM A FOUR (4) CAR TO THREE (3) CAR GARAGE
- 13 PLANTER BED
- 14 REQ'D FIRE ACCESS TURN AROUND
- 15 SEAMLESS CONTINUITY OF ROOF GARDEN LANDSCAPE W/ ADJACENT TERRAIN
- 16 DRIVEWAY RETAINING WALL
- 17 CLOSET AT LANDING. STAIRS CONTINUE TO ROOF GARDEN
- 18 ELEVATOR
- 19 ARCHITECTURAL ELEMENT
- 20 LINE OF ROOF (ABOVE)
- 21 5 TRUNK OAK TO REMAIN WITH EXISTING GRADE AROUND
- 22 AREA OF FILL
- 23 ROOF DECK LANDSCAPING PER LANDSCAPE DRAWINGS (SEE L1.0)
- 24 OUTLINE OF PREVIOUS SUBMITTAL MAIN LEVEL TERRACE AND ROOF GARDEN
- 25 BUILT UP PLANTINGS AND LARGE ROCKS FROM CONSTRUCTION EXCAVATION TO REDUCE VISUAL IMPACT
- 26 WALK OUT TO GRADE
- 27 SKYLIGHT (ABOVE)
- 28 INFINITY EDGE AT POOL
- 29 NONSTRUCTURAL, LANDSCAPE RETAINING WALL
- 30 FIRE HYDRANT PER CIVIL DRAWINGS
- 31 LINE OF CANTILEVERED TERRACE (ABOVE)
- 32 LINE OF CANTILEVERED MASTER BEDROOM (ABOVE)
- 33 FIRE ACCESS STAIR
- 34 LANDSCAPED AREA BETWEEN MAIN HOUSE AND POOL AREA (SEE LANDSCAPE DRAWINGS)
- 35 (NOT USED)

general pool notes

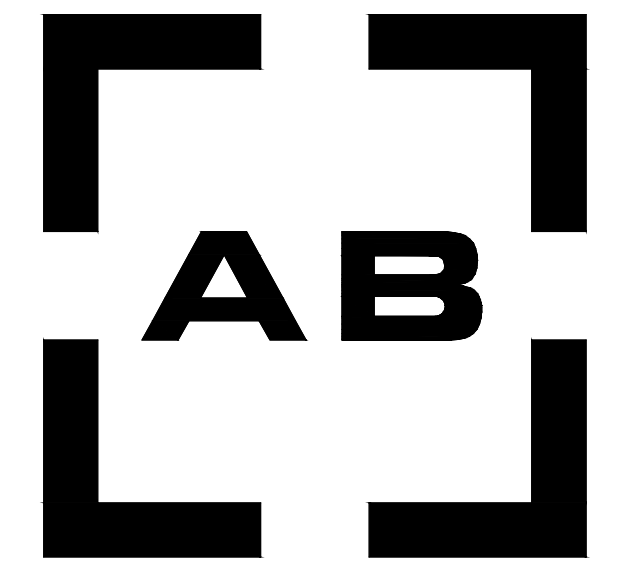
1. POOL SHIFTED 10'-0" NORTH BACK FROM FRONT EDGE OF KNOLL AND 2'-0" EAST.

landscaping areas

AREA LANDSCAPED (GUEST HOUSE ROOF)	= 790 SF
TOTAL AREA OF ROOF (GUEST HOUSE ROOF)	= 1,104 SF
PERCENT VEGETATIVE COVERAGE	= 71.56%

area calculations

PROPOSED AREAS (GUEST HOUSE)	
GUEST HOUSE	NET 607 SF / GROSS 655 SF
PREVIOUS SUBMITTAL AREAS	
GUEST HOUSE	NET 589 SF / GROSS 654 SF
PERCENTAGE INCREASE	
GUEST HOUSE	NET = 3.05% / GROSS = 0.00%
PROPOSED POOL AREAS	
SPA	AREAS 68 SF
POOL	479 SF



DESIGN STUDIO
INCORPORATED
PH | 805.963.2100
FX | 805.963.2300
27 EAST COTA STREET, SUITE 503
SANTA BARBARA, CALIFORNIA 93101
WWW.ABDESIGNSTUDIO.COM
ARCHITECTURE
INTERIOR DESIGN
URBAN PLANNING

Project Team

[PROJECT MANAGER] MARK GOERNER
1900 GARDEN STREET
SANTA BARBARA, CA 93101
805.962.9966

[CIVIL ENGINEER] ASHLEY & VANCE ENGINEERING
924 CHAPALA STREET, SUITE D
SANTA BARBARA, CA 93101
805.962.9966
JASON GOTSIS

[PROJECT BIOLOGIST] LAWRENCE HUNT
372 VALDEZ AVE
GOLETA, CA 93117
805.967.8512

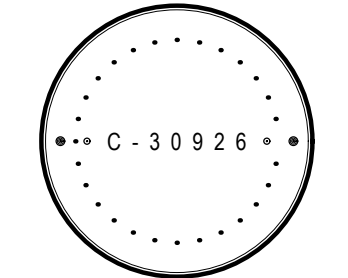
[GEOTECHNICAL ENGINEER] GEOSOLUTIONS INC.
2370 SKYWAY DR., SUITE 104
SANTA MARIA, CA 93455
805.614.6333
BRAD BUCHER

[STRUCTURAL ENGINEERING CONSULTANT] ASHLEY & VANCE ENGINEERING
805.962.9966
PAUL BELMONT

[LANDSCAPE ARCHITECTURE CONSULTANT] LGLA, INC.
805.962.9966
LANE GOODKIND

[ARBORIST] DUKE MCPHEARSON
PO BOX 5667
SANTA BARBARA, CA 93150
805.969.4676

[GEOLOGIST OF RECORD] ADAM SIMMONS



ABdesignstudio, inc.
12 July 2018
plot stamp

Print / Revision

[01.30.13]

PLANNING REVIEW- SUBMITTAL 5

[07.18.14]

MBAR REVIEW

[05.18.15]

PLANNING REVIEW

[11.10.17]

PLANNING SUBMITTAL

[07.30.18]

PLANNING SUBMITTAL

Project Info

[PROJECT - 1301] GOERNER RESIDENCE

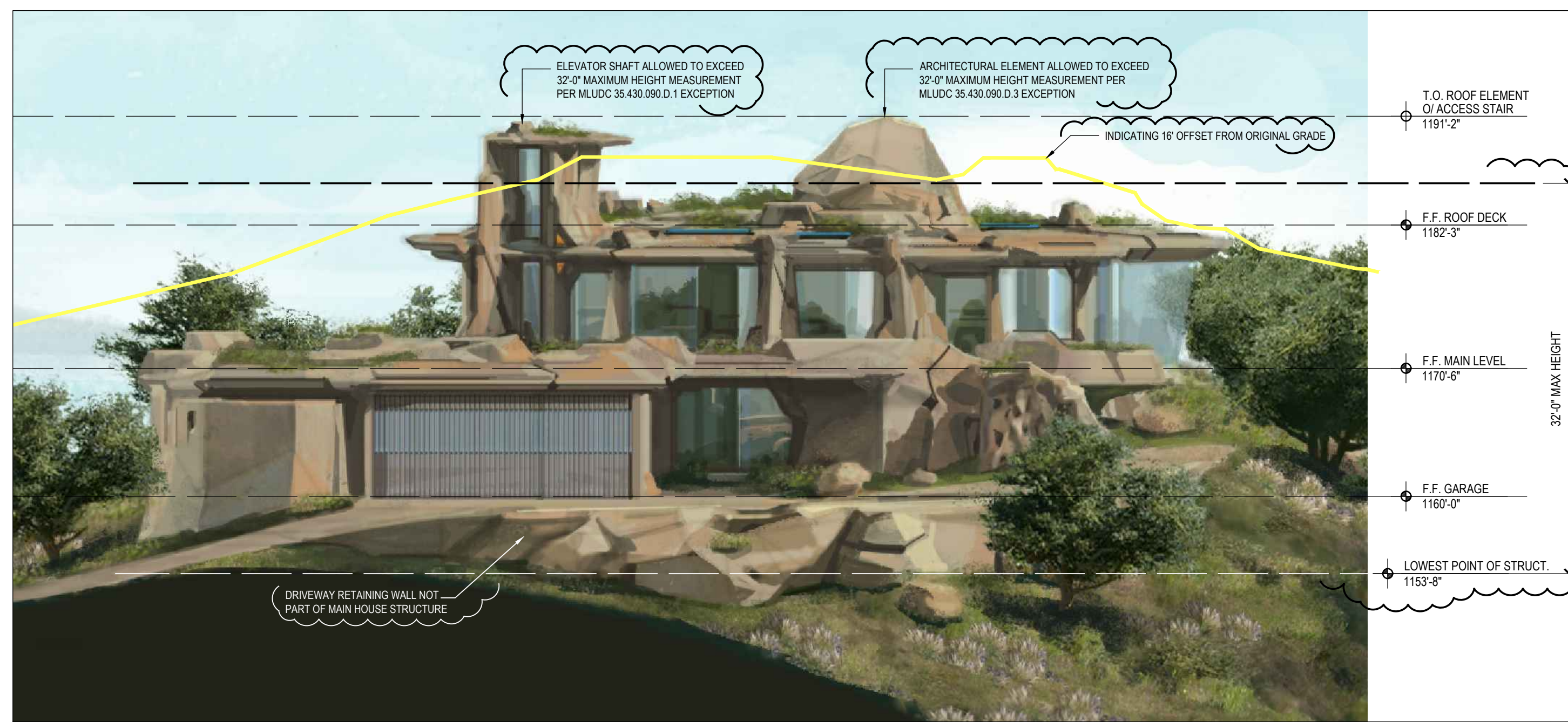
[PROJECT ADDRESS] 1017 HOT SPRINGS ROAD

SANTA BARBARA, CA

[OWNER CONTACT] MARCIA & D. JOHN GOERNER

815 | 455 1900

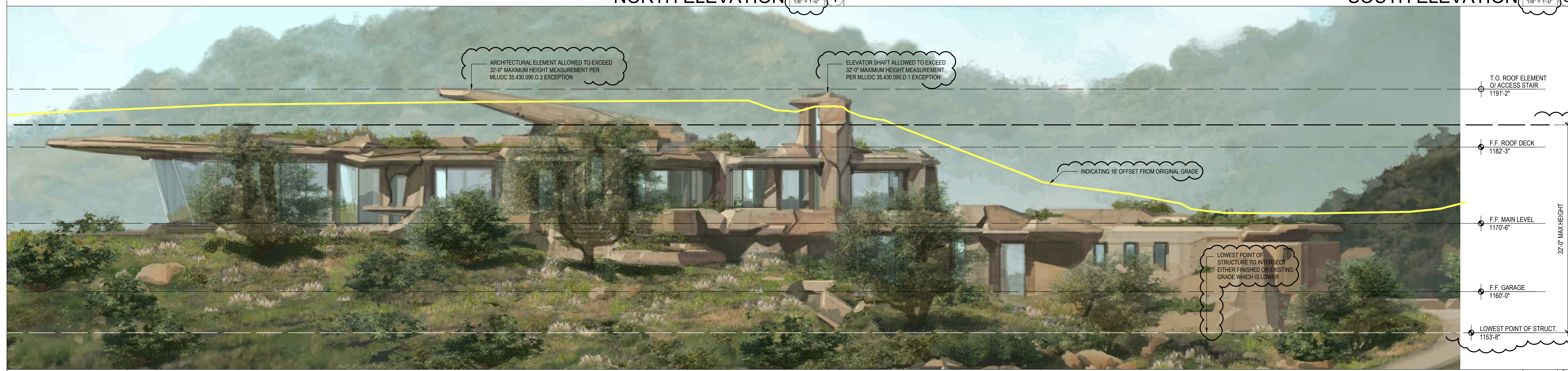




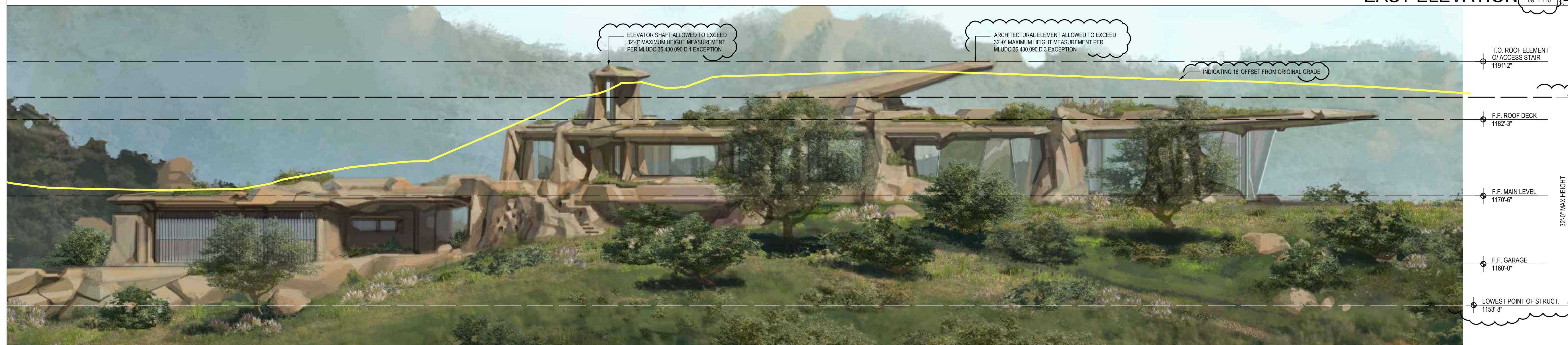
NORTH ELEVATION SCALE: 1/8" = 1'-0" 4



SOUTH ELEVATION SCALE: 1/8" = 1'-0" 3



EAST ELEVATION SCALE: 1/8" = 1'-0" 2



WEST ELEVATION SCALE: 1/8" = 1'-0" 1

AB
DESIGN STUDIO
 INCORPORATED
 PH | 805.963.2100
 FX | 805.963.2300
 27 EAST COTA STREET, SUITE 503
 SANTA BARBARA, CALIFORNIA 93101
 www.abdesignstudio.com
 ARCHITECTURE
 INTERIOR DESIGN
 URBAN PLANNING

Project Team
 [PROJECT DESIGNER / PROJECT MANAGER]
 MARK GOERNER
 1900 GARDEN STREET
 SANTA BARBARA, CA
 805.962.9966
 626.215.1793
 [CIVIL ENGINEER]
 ASHLEY & VANCE ENGINEERING
 924 CHAPALA STREET, SUITE D
 SANTA BARBARA, CA
 805.962.9966
 JASON GOTSIS
 [PROJECT BIOLOGIST]
 LAWRENCE HUNT
 372 VALDEZ AVE
 GOLETA, CA 93117
 805.967.8512
 [GEOTECHNICAL ENGINEER]
 GEOSOLUTIONS INC.
 2370 SKYWAY DR., SUITE 104
 SANTA MARIA, CA 93455
 805.614.6333
 BRAD BUCHER
 [STRUCTURAL ENGINEERING CONSULTANT]
 ASHLEY & VANCE ENGINEERING
 805.962.9966
 PAUL BELMONT
 [LANDSCAPE ARCHITECTURE CONSULTANT]
 LGLA, INC.
 805.962.9966
 LANE GOODKIND
 [ARBORIST]
 DUKE MCPHEARSON
 PO BOX 5667
 SANTA BARBARA CA 93150
 805.969.4676
 [GEOLOGIST OF RECORD]
 ADAM SIMMONS

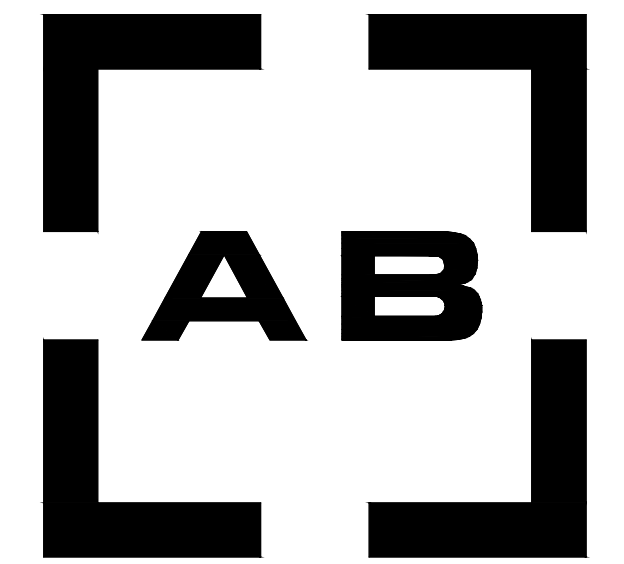
C-30926
 Abdesignstudio, inc.
 12 July 2018
 plot stamp

PRINT / REVISION

[01.30.13]	PLANNING REVIEW- SUBMITTAL 5
[07.18.14]	MBAR REVIEW
[05.18.15]	PLANNING REVIEW
[11.10.17]	PLANNING SUBMITTAL
[07.30.18]	PLANNING SUBMITTAL

Project Info
 [PROJECT - 1301]
GOERNER RESIDENCE
 [PROJECT ADDRESS]
 1017 HOT SPRINGS ROAD
 SANTA BARBARA, CA
 [OWNER CONTACT]
 MARCIA & D. JOHN GOERNER
 815 | 455 1900

A4.01
 EXTERIOR ELEVATIONS
 MAIN HOUSE



DESIGN STUDIO
 INCORPORATED
 PH | 805.963.2100
 FX | 805.963.2300
 27 EAST COTA STREET, SUITE 503
 SANTA BARBARA, CALIFORNIA 93101
 www.abdesignstudio.com
 architectural interior design
 urban planning

Project Team
 [PROJECT DESIGNER / PROJECT MANAGER]
 MARK GOERNER
 1900 GARDEN STREET
 SANTA BARBARA, CA
 626.215.1793
 [CIVIL ENGINEER]
 ASHLEY & VANCE ENGINEERING
 924 CHAPALA STREET, SUITE D
 SANTA BARBARA, CA
 805.962.9966
 JASON GOTSIS

[PROJECT BIOLOGIST]
 LAWRENCE HUNT
 372 VALDEZ AVE
 GOLETA, CA 93117
 805.967.8512

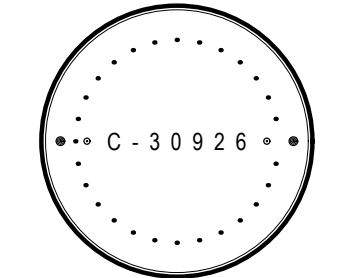
[GEOTECHNICAL ENGINEER]
 GEOSOLUTIONS INC.
 2370 SKYWAY DR., SUITE 104
 SANTA MARIA, CA 93455
 805.614.6333
 BRAD BUCHER

[STRUCTURAL ENGINEERING CONSULTANT]
 ASHLEY & VANCE ENGINEERING
 805.962.9966
 PAUL BELMONT

[LANDSCAPE ARCHITECTURE CONSULTANT]
 LGLA, INC.
 805.962.9966
 LANE GOODKIND

[ARBORIST]
 DUKE MCPHEARSON
 PO BOX 5667
 SANTA BARBARA, CA 93150
 805.969.4676

[GEOLOGIST OF RECORD]
 ADAM SIMMONS



ABdesignstudio, inc.
 12 July 2018
 plot stamp

Print / Revision

[01.30.19]

PLANNING REVIEW- SUBMITTAL 5

[07.18.16]

MBAR REVIEW

[05.18.15]

PLANNING REVIEW

[11.10.17]

PLANNING SUBMITTAL

[07.30.18]

PLANNING SUBMITTAL

Project Info

[PROJECT - 1301]

GOERNER RESIDENCE

[PROJECT ADDRESS]
 1017 HOT SPRINGS ROAD
 SANTA BARBARA, CA

[OWNER CONTACT]
 MARCIA & D. JOHN GOERNER
 815 | 455 1900



SOUTH ELEVATION-GUEST HOUSE

SCALE: 1/8"=1'-0" 3

T.O. GUEST HOUSE ROOF
1170'-4"

F.F. GUEST HOUSE
1161'-0"

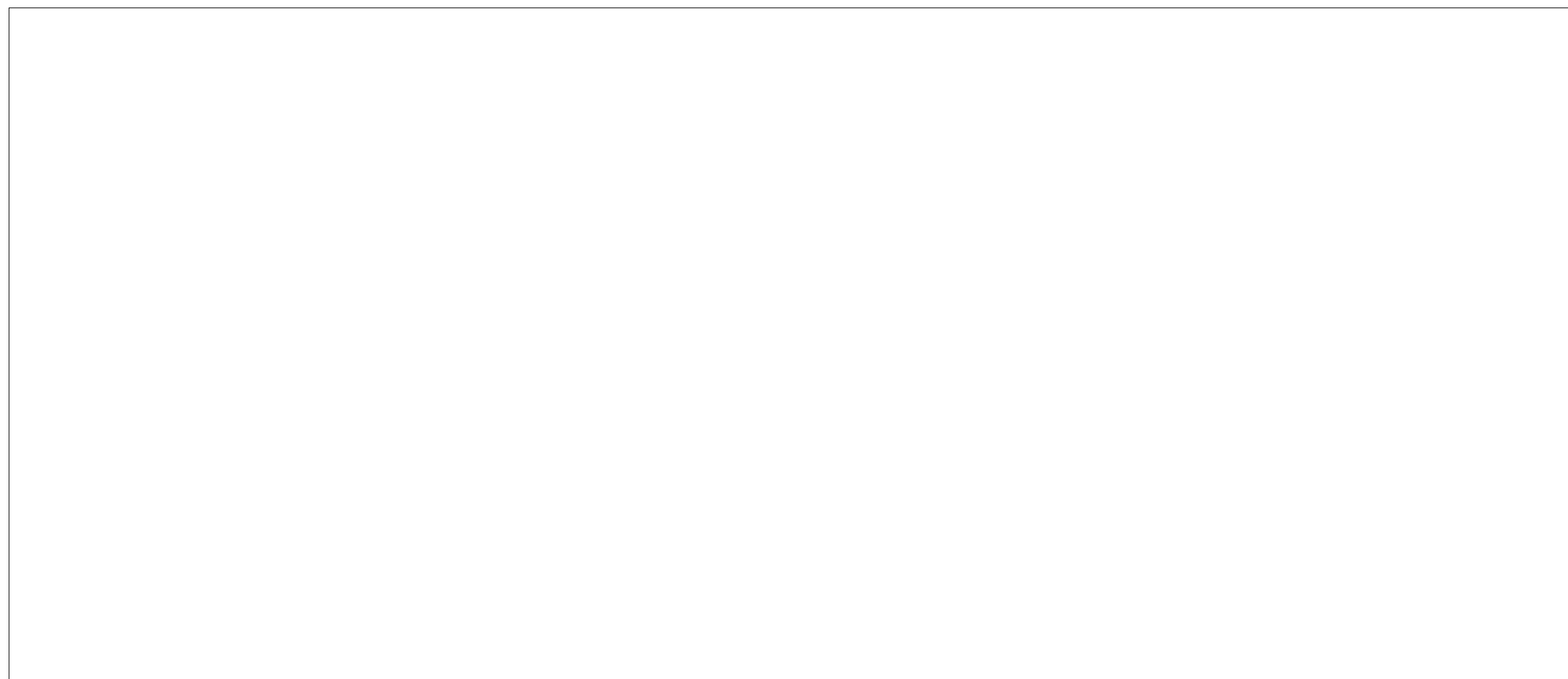


WEST ELEVATION-GUEST HOUSE

SCALE: 1/8"=1'-0" 2

T.O. GUEST HOUSE ROOF
1170'-4"

F.F. GUEST HOUSE
1161'-0"



NORTH ELEVATION-GUEST HOUSE

SCALE: 1/8"=1'-0" 4

T.O. ROOF ELEMENT
OF ACCESS STAIR
1191'-2"

F.F. ROOF DECK
1182'-3"

T.O. GUEST HOUSE ROOF
1170'-4"

F.F. GUEST HOUSE
1161'-0"

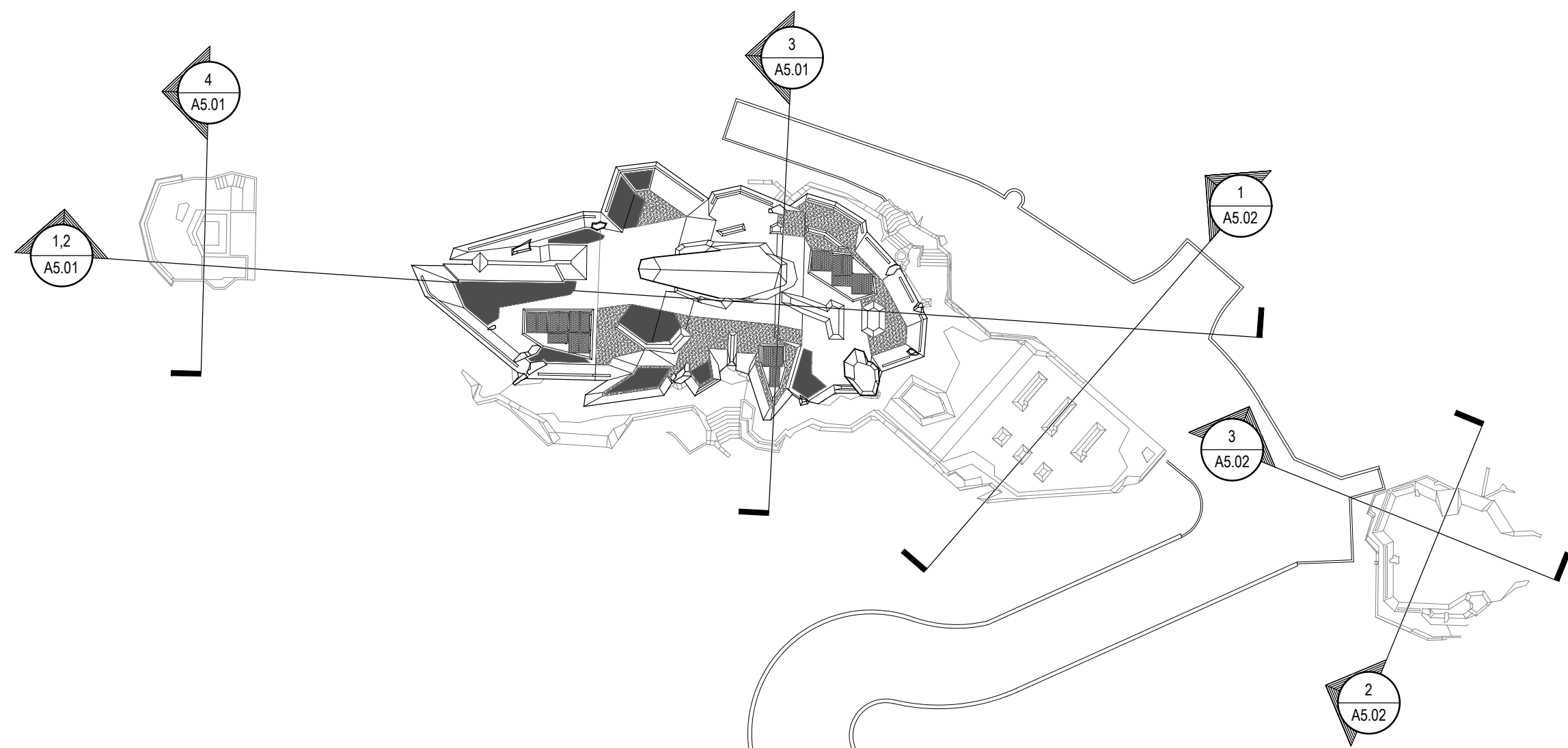


EAST ELEVATION-GUEST HOUSE

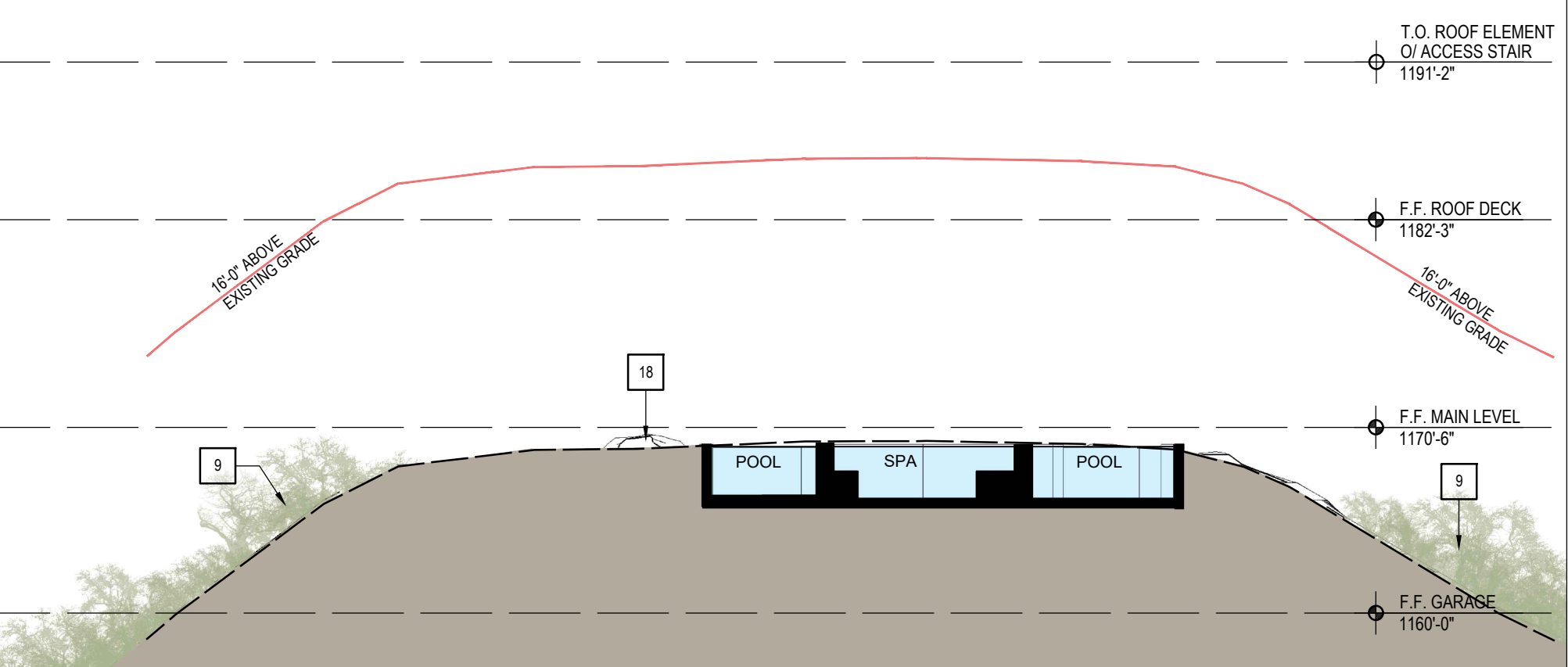
SCALE: 1/8"=1'-0" 1

T.O. GUEST HOUSE ROOF
1170'-4"

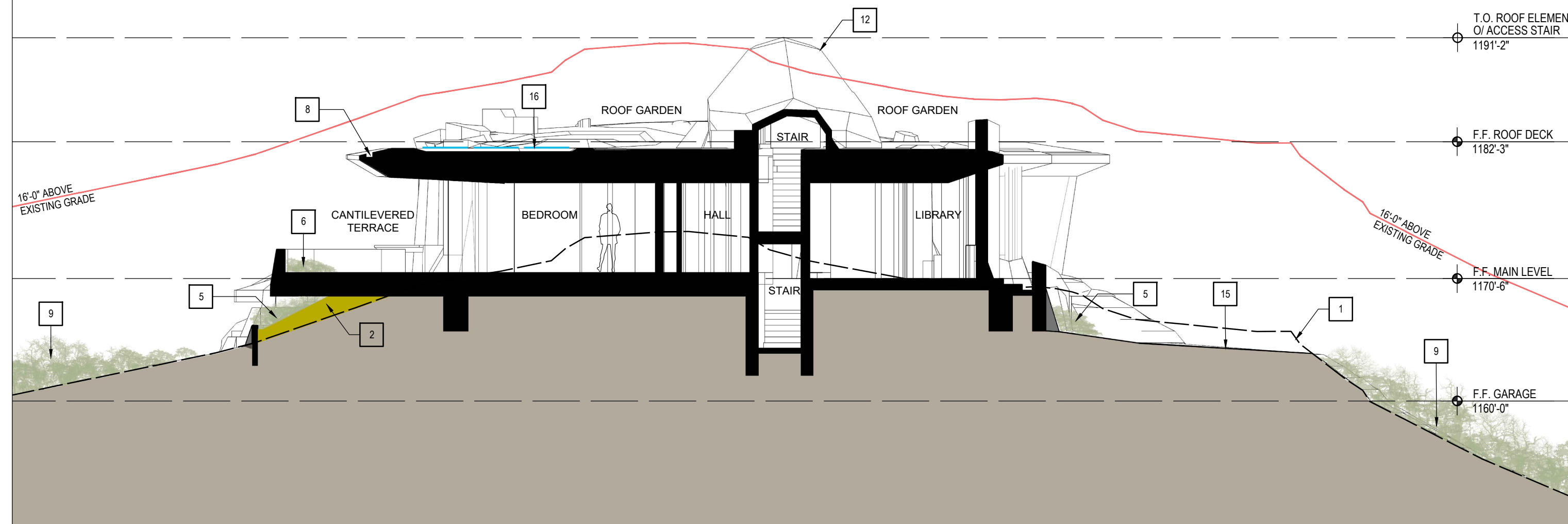
F.F. GUEST HOUSE
1161'-0"



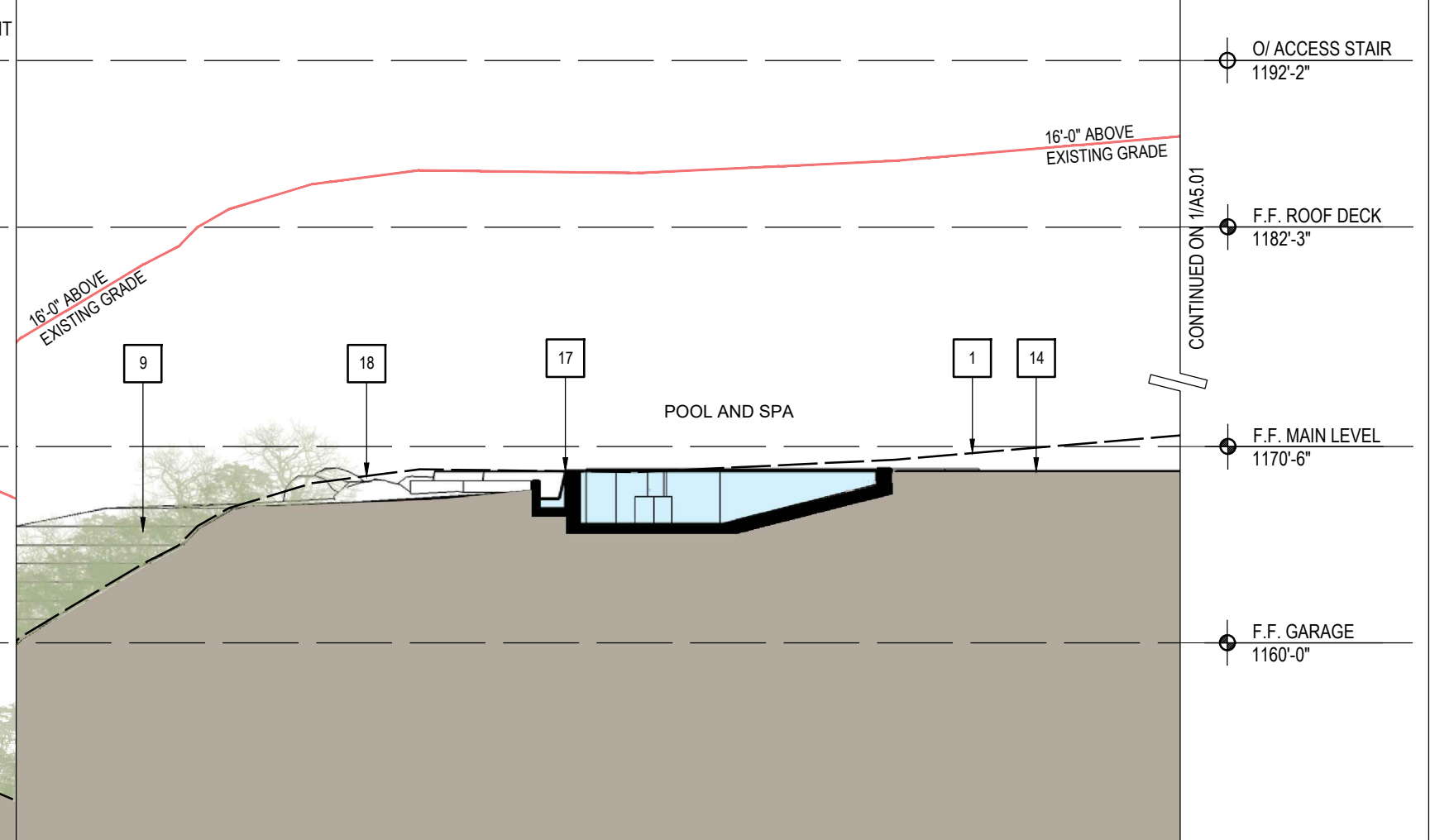
SECTION LEGEND SCALE: 1/32"=1'-0" 5



SECTION (POOL) SCALE: 1/8"=1'-0" 4

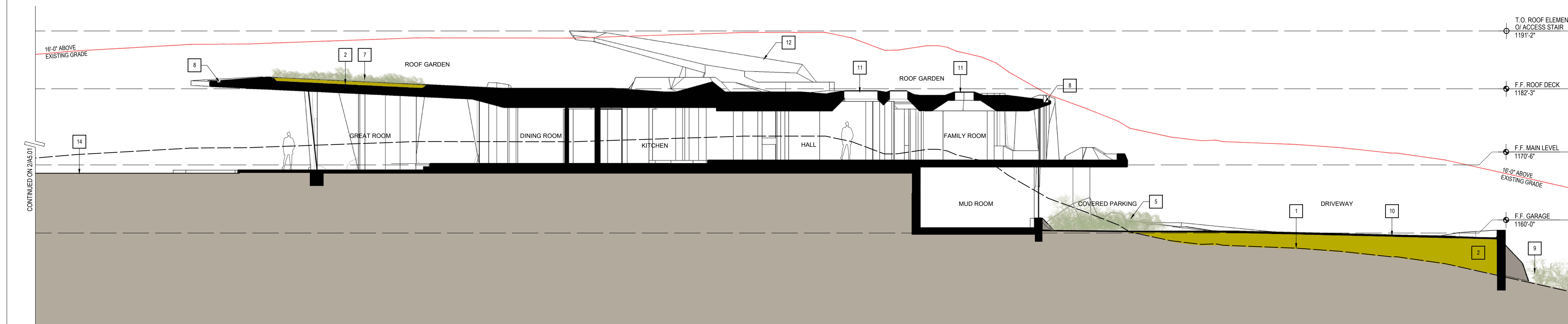


SECTION (MAIN HOUSE) SCALE: 1/8"=1'-0" 3



SECTION (MAIN HOUSE) SCALE: 1/8"=1'-0" 2

- keynotes**
- 1 (E) GRADE
 - 2 FILL
 - 3 WATER TANK
 - 4 FIRE ACCESS STAIR
 - 5 REPLANTING OF LOCAL SHRUBS AND CHAPARRAL
 - 6 VEGETABLE GARDEN
 - 7 SUCCULENT GARDEN
 - 8 RECESSED GUTTERS
 - 9 (E) CHAPARRAL AND SHRUBS TO REMAIN
 - 10 PERMEABLE PAVEMENT DRIVEWAY
 - 11 SKYLIGHTS
 - 12 ARCHITECTURAL ROOF ELEMENT OVER ACCESS STAIR
 - 13 BRIDGE OVER FIRE ACCESS STAIR
 - 14 LANDSCAPED REGION BETWEEN MAIN HOUSE AND POOL AREA. SEE LANDSCAPE DRAWINGS
 - 15 UNPAVED WELL ACCESS ROAD
 - 16 SOLAR AND SOLAR WATER PANELS RECESSED INTO ROOF
 - 17 INFINITY EDGE OF POOL
 - 18 BUILT UP PLANTINGS AND LARGE ROCKS FROM CONSTRUCTION EXCAVATION TO REDUCE VISUAL IMPACT.



SECTION (MAIN HOUSE) SCALE: 1/8"=1'-0" 1



Project Team

[PROJECT DESIGNER / PROJECT MANAGER] MARK GOERNER
1900 GARDEN STREET
SANTA BARBARA, CA 93101
805.962.9966

[CIVIL ENGINEER] ASHLEY & VANCE ENGINEERING
924 CHAPALA STREET, SUITE D
SANTA BARBARA, CA 93101
805.962.9966

[PROJECT BIOLOGIST] LAWRENCE HUNT
372 VALDEZ AVE
GOLETA, CA 93117
805.967.8512

[GEOTECHNICAL ENGINEER] GEOSOLUTIONS INC.
2370 SKYWAY DR., SUITE 104
SANTA MARIA, CA 93455
805.614.6333

[STRUCTURAL ENGINEERING CONSULTANT] ASHLEY & VANCE ENGINEERING
805.962.9966

[LANDSCAPE ARCHITECTURE CONSULTANT] LGLA, INC.
805.962.9966

[ARBORIST] DUKE MCPHEARSON
PO BOX 5667
SANTA BARBARA, CA 93150
805.969.4676

[GEOLOGIST OF RECORD] ADAM SIMMONS

ABdesignstudio, inc.
12 July 2018
plot stamp
print / revision
[01-30-19]
PLANNING REVIEW- SUBMITTAL 5
[07-18-14]
MBAR REVIEW
[05-18-15]
PLANNING REVIEW
[11-10-17]
PLANNING SUBMITTAL
[07-30-18]

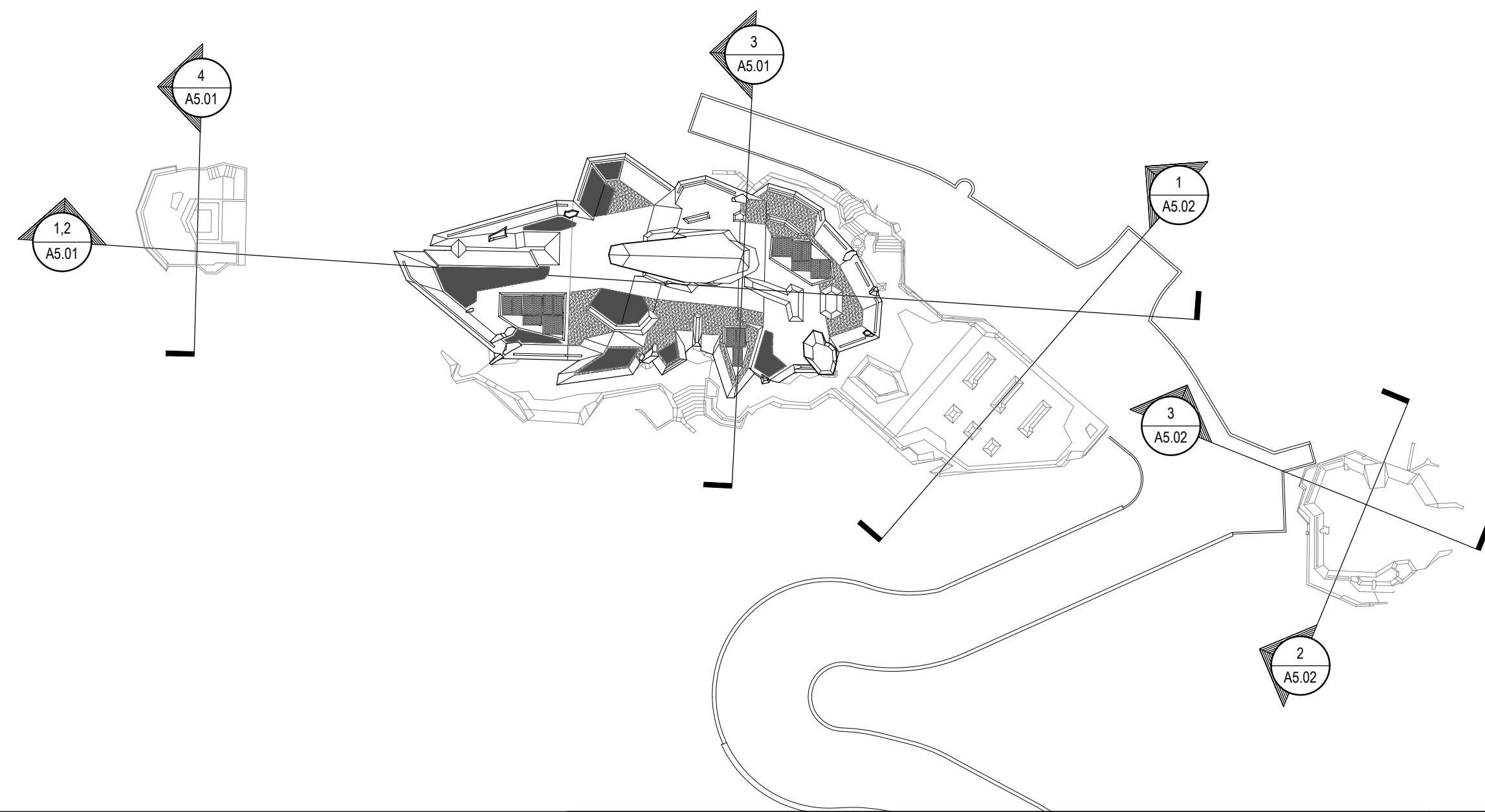
Project Info

PROJECT - 1301
GOERNER RESIDENCE

[PROJECT ADDRESS] 1017 HOT SPRINGS ROAD
SANTA BARBARA, CA

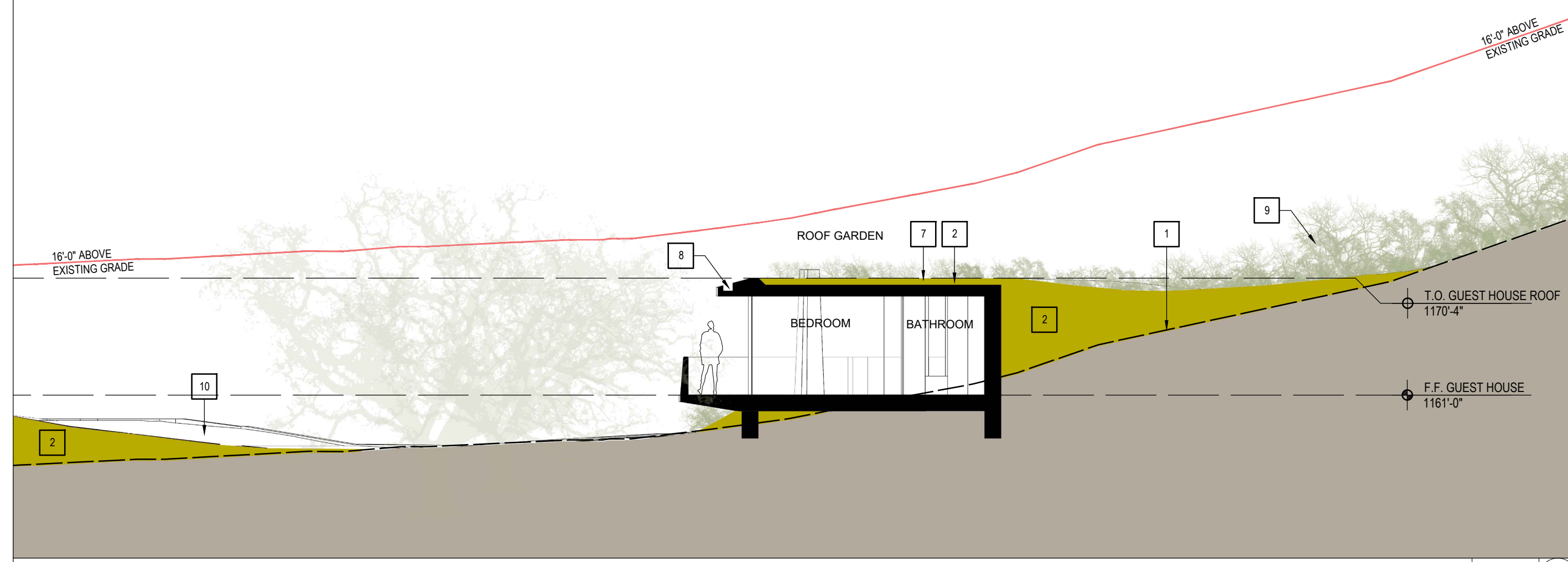
[OWNER CONTACT] MARCIA & D. JOHN GOERNER
815 | 455 1900



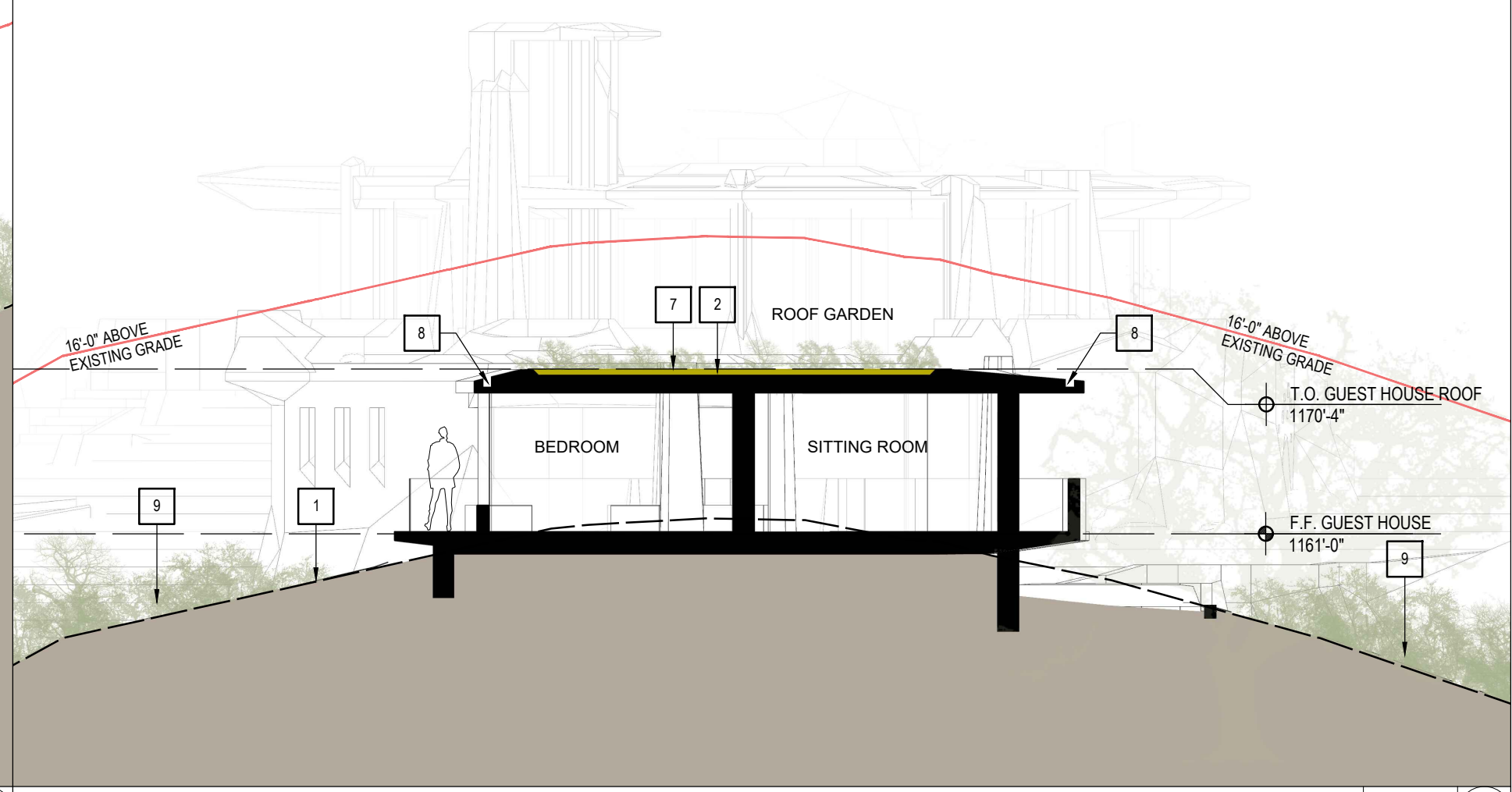


- keynotes**
- 1 (E) GRADE
 - 2 FILL
 - 3 WATER TANK
 - 4 FIRE ACCESS STAIR
 - 5 REPLANTING OF LOCAL SHRUBS AND CHAPARRAL
 - 6 VEGETABLE GARDEN
 - 7 SUCCULENT GARDEN
 - 8 RECESSED GUTTERS
 - 9 (E) CHAPARRAL AND SHRUBS TO REMAIN
 - 10 PERMEABLE PAVEMENT DRIVEWAY
 - 11 SKYLIGHTS
 - 12 ARCHITECTURAL ROOF ELEMENT OVER ACCESS STAIR
 - 13 BRIDGE OVER FIRE ACCESS STAIR
 - 14 LANDSCAPED REGION BETWEEN MAIN HOUSE AND POOL AREA. SEE LANDSCAPE DRAWINGS
 - 15 UNPAVED WELL ACCESS ROAD
 - 16 SOLAR AND SOLAR WATER PANELS RECESSED INTO ROOF
 - 17 INFINITY EDGE OF POOL
 - 18 BUILT UP PLANTINGS AND LARGE ROCKS FROM CONSTRUCTION EXCAVATION TO REDUCE VISUAL IMPACT.

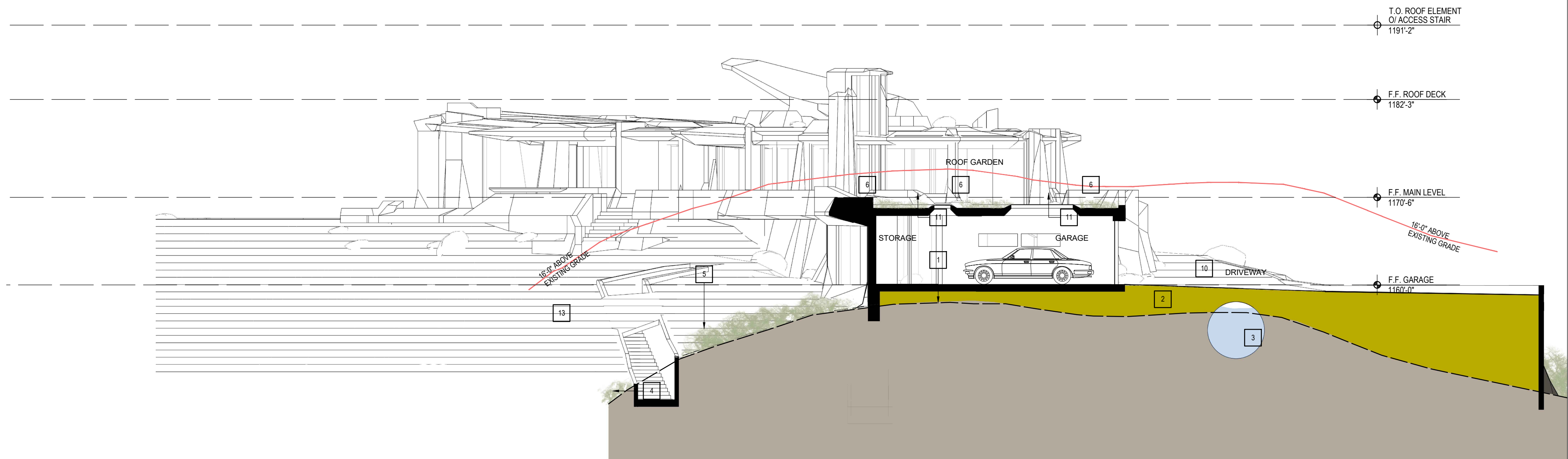
SECTION LEGEND SCALE: 1/32"=1'-0" 4



SECTION (GUEST HOUSE) SCALE: 1/8"=1'-0" 3



SECTION (GUEST HOUSE) SCALE: 1/8"=1'-0" 2



SECTION (GARAGE) SCALE: 1/8"=1'-0" 1



PH | 805.963.2100
 FX | 805.963.2300
 27 EAST COTA STREET, SUITE 503
 SANTA BARBARA, CALIFORNIA 93101
 www.abdesignstudio.com
 architectural interior design urban planning

Project Team

[PROJECT DESIGNER / PROJECT MANAGER]
 MARK GOERNER
 1900 GARDEN STREET
 SANTA BARBARA, CA
 626.215.1793

[CIVIL ENGINEER]
 ASHLEY & VANCE ENGINEERING
 924 CHAPALA STREET, SUITE D
 SANTA BARBARA, CA
 805.962.9966
 JASON GOTSIS

[PROJECT BIOLOGIST]
 LAWRENCE HUNT
 372 VALDEZ AVE
 GOLETA, CA 93117
 805.967.8512

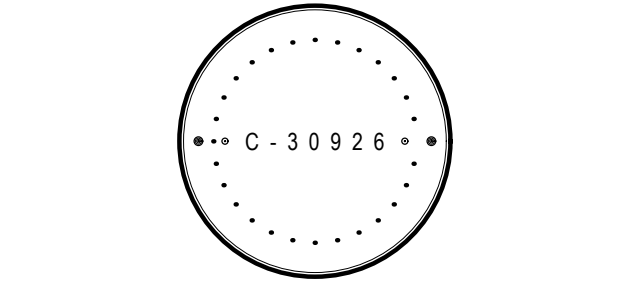
[GEOTECHNICAL ENGINEER]
 GEOSOLUTIONS INC.
 2370 SKYWAY DR., SUITE 104
 SANTA MARIA, CA 93455
 805.614.6333
 BRAD BUCHER

[STRUCTURAL ENGINEERING CONSULTANT]
 ASHLEY & VANCE ENGINEERING
 805.962.9966
 PAUL BELMONT

[LANDSCAPE ARCHITECTURE CONSULTANT]
 LGLA, INC.
 805.962.9966
 LANE GOODKIND

[ARBORIST]
 DUKE MCPHEARSON
 PO BOX 5667
 SANTA BARBARA, CA 93150
 805.969.4676

[GEOLOGIST OF RECORD]
 ADAM SIMMONS



ABdesignstudio, inc.
 12 July 2018
 plot stamp

print / revision

[01.30.13]	PLANNING REVIEW- SUBMITTAL 5
[07.18.14]	PLANNING REVIEW- SUBMITTAL 5
[05.18.15]	MBAR REVIEW
[11.10.17]	PLANNING REVIEW
[07.30.18]	PLANNING SUBMITTAL
[07.30.18]	PLANNING SUBMITTAL

Project Info

[PROJECT - 1301]
GOERNER RESIDENCE

[PROJECT ADDRESS]
 1017 HOT SPRINGS ROAD
 SANTA BARBARA, CA

[OWNER CONTACT]
 MARCIA & D. JOHN GOERNER
 815 | 455 1900



Notes For County Conditions

1. Permit condition: To minimize fire hazards, A Fuel Management Plan Shall be implemented in accordance with Santa Barbara County Fire Protection District standards. The Fuel Management Plan shall not require removal of any individuals of Quercus agrifolia.
2. Plan Requirements and Timing: A Fuel Management Plan shall be submitted to Planning and Development and the Santa Barbara County Fire District for review and approval prior to approval and land use permit.
3. Monitoring: A site inspection shall be conducted by the Santa Barbara County Fire District and permit compliance prior to occupancy clearance. Enforcement of the offsite fuel clearance is the responsibility of the Santa Barbara County Fire District.

Restoration Conditions For Sensitive Plants

1. Implementation Of Fire Clearance Vegetation Management Shall Avoid Lonicera Subspicata Subspicata (Santa Barbara Honeysuckle) And Quercus Dumosa (Scrub Oak) Plants Occurring On-Site As Shown On The Approved Landscape / Fuel Management Plan. If Removal Of Any Of These Species Is Unavoidable, Five (5) Plants Shall Be Established For Each One Removed.
2. If Removal Of Any Of These Species Is Unavoidable, Five (5) Plants Shall Be Established For Each One Removed. Plants Shall Be Established In Similar Habitat, Irrigated With A Single One-Gallon Drip Emittter Per Plant And Monitored For Three Years.
3. Planting Shall Be Protected From Predation By Wild And Domestic Animals And From Human Interference By The Use Of Exclusion Fencing And Gopher / Browse Protection.

Keynotes

1. Existing Oak Tree To Remain, Protect In Place. See Tree Protection Notes
2. 2' High Max Retaining Wall, Integral Color Plaster To Match Local Sandstone/Residence Guest House
3. Green-Roof Planting Over Guest House
4. Integral Colored Concrete Driveway On Slopes Over 12%
5. Crushed Stone / Chip-Seal Driveway At Slopes < 5%

Zone 1: 0-30' From Structures

1. Maintain All Trees, Shrubs And Other Plants That Are Adjacent To Of Overhanging The Building In Good Condition Free Of Diseased, Dead Or Dying Wood.
2. Maintain Roofs Of All Buildings And Structures Free Of Leaves.
3. Remove All Chamise (Adenostoma Sp.) Shrubs.
4. Thin Mountain Mahogany (Cercocarpus Sp.) Chaparral To Increase Space Between Mature Shrubs To Five (5) Feet. Approximately 40% Reduction In Cover Will Likely Be Required To Obtain This Goal.
5. Thin Or Remove All Eucalyptus Trees.
6. Use A Landscape Palette That Consists Of Low-Flammability Species. Obtain Approval From Santa Barbara County Fire Department (Sbctfd) For The Proposed Palette.

Zone 2: 30-100' From Structures

1. Thin Mountain Mahogany (Cercocarpus Sp.) Chaparral To Increase Space Between Mature Shrubs To Five (5) Feet. Approximately 40% Reduction In Cover Will Likely Be Required To Obtain This Goal.
2. Prune All Eucalyptus Trees To Remove Dead, Damaged, And Diseased Wood To Reduce Flammability. Additional Pruning May Be Required Up To 50% Of Tree Canopy For Trees Immediately Adjacent To Structures. Alternatively, Remove Eucalyptus From The 100-Foot Zone.
3. Prune Understory Vegetation Where Woody Shrubs Are Present. Prune Lower Branches Of Trees To Minimum Height Of Six(6) Feet Above Ground Level.
4. Single Specimens Of Trees Or Other Vegetation May Be Kept If They Are Well Spaced (A Minimum Of 30 Feet Between Trees), Well Pruned, And Create An Overall Condition That Avoids The Spread Of Fire To Other Vegetation Or To Buildings Or Structures.
5. Thin Chaparral Shrubs To Create A Minimum 5ft Clear Zone Between Individual Shrubs. To Do So, Use Selective Clearing To Preferentially Preserve Native Scrub Oaks (Quercus Berberidifolia) And Santa Barbara Honeysuckle (Lonicera Subspicata Var Subspicata) While Removing The More Common Shrubs To Meet Clearance Goals. Selectively Prune Odier Woody Material Out Of Existing Santa Barbara Honesuckle.
6. Reduce The Number And Density Of Individuals Of Big-Pod Ceanothus (Ceanothus Megacarpus) And Mountain Mahogany (Cercocarpus Betuloides). Remove Chamise (Adenostoma Fasciculatum).
7. Maintain Herbaceous Species And Grasse Understory At Height Of No More Than Four (4) Inches. This May Require Mowing More Than Once Per Year. Monitor The Site Quarterly For Herbaceous Growth Between Shrubs And Maintain At Heights No Greater Than Four Inches During The Fire Season.

Zone 3: 100-200' From Structures

1. Constrained Site Zone: An Actively Managed Buffer Extending 100 Feet Beyond Zone 2, For Slopes Greater Than 25% Or Fuel Loads In Excess Of 100 Tons Per Acre.
2. Prune Trees And Shrubs To Remove Dead, Damaged And Diseased Wood To Reduce Flammability.
3. Remove All Eucalyptus.
4. Prune Understory Vegetation Where Woody Shrubs Are Present. Prune Lower Branches Of Trees To Maintain A Height Of Six(6) Above Ground Level.
5. Thin Chaparral Shrubs To Create A Minimum 5-Foot Clear Zone Between Individual Shrubs. To Do So Use Selective



GOERNER RESIDENCE

1017 Hot Springs Rd.
Santa Barbara, CA



LANE GOODKIND
LANDSCAPE ARCHITECT

P: 805-845-5707
C: 805-637-7905
info@lanegoodkind.com
www.lanegoodkind.com

All design, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Landscape Architect and shall neither be used on any other work nor be disclosed to any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the Landscape Architect prior to the commencement of work.

Title
FUEL MOD

ISSUE#	DATE	ISSUED FOR
1	11/8/17	Planning Submtl
REV#	DATE	ISSUED FOR
△		
△		
△		
△		
△		
△		
△		
△		
△		
rev	date	issued for

PROJECT NUMBER
13-06
SCALE DRAWN BY

SHEET NUMBER

L1.0

NOT FOR CONSTRUCTION

