# GOERNER RESIDENCE

(n) single family residence



# **ZONING ANALYSIS**

SITE APN: SITE ADDRESS: 011-010-008 AND 011-01-015 1017 HOT SPRINGS ROAD SITE ZONING: SITE SIZE:

ALLOWABLE USES PER TABLE 2-4 BELOW

MAX SIZE OF TOTAL DEVELOPMENT = 7,000 NET SF PER 'MONTECITO ARCHITECTURAL GUIDELINES AND DEVELOPMENT

# (1) GUEST HOUSE,

(1) ONE FAMILY DWELLING.

- GUEST HOUSES GOVERNED BY 35.422.120 PER SUBSECTION E. 800 NET S.F. SIZE MAX.
- H. 16' MAX HEIGHT/ (1) STORY MAX G. NO KITCHEN FACILITIES I. WET BARS ARE ALLOWED UP TO COUNTER AREAS OF 7', PLUS A BAR SINK, AND UNDER-COUNTER FRIDGE.

## (1) HOME OCCUPATION.

KEY STATISTICS:

HOME OCCUPATIONS GOVERNED BY 35.422.130. NO HOME OCCUPATION IS REQUESTED AT THIS TIME.

PER 33.422.030 E ACCESSORY STRUCTURES AND USES ARE LIMITED TO SWIMMING POOLS AND WATER STORAGE TANKS AND SOLAR SYSTEM.

HEIGHT LIMIT SIZE OF OF (N) STRUCTURES SIZE OF LOT 40 ACRES \* REDUCED TO 16' BY 35.452.040 B, SUBSECTION C.1.

PRIMARY ORDINANCE. MLUDC 35.422-RESOURCE PROTECTION ZONE: SEE TABLE 2-4

2. OVERLAY ZONE: 35.428.070-MONTECITO HILLSIDE (H-MON) OVERLAY ZONE-INLAND AREA

PER SUBSECTION B OF APPLICABLE SB COUNTY ZONING MAPS.

MEANING: REQUIRED TO COMPLY W/ SECTION IV.C (HILLSIDE DEVELOPMENT STANDARDS)

3. C. HILLSIDE DEVELOPMENT STANDARDS/ MONTECITO ARCHITECTURAL GUIDELINES AND DEVELOPMENT

THE FOLLOWING HILLSIDE DEVELOPMENT STANDARDS APPLY TO ALL PROPERTIES WITHIN THE MONTECITO HILLSIDE DISTRICT. THE BOARD OF ARCHITECTURAL REVIEW SHALL INTERPRET AND

1. THE VISUAL BULK OF RESIDENTIAL STRUCTURES SHALL BE MINIMIZED AS VIEWED FROM SCENIC VIEW CORRIDORS AS SHOWN ON FIGURE 37, VISUAL RESOURCES MAP IN THE MONTECITO COMMUNITY PLAN EIR (92-EIR-03).

2. THE AVERAGE HEIGHT OF THE PRIMARY RESIDENCE SHOULD NOT EXCEED 16 FEET. 3. NO ELEVATION, INCLUDING RETAINING WALLS ADJACENT TO THE STRUCTURE, SHALL EXCEED AN AVERAGE HEIGHT OF TWENTY (20) FEET AS MEASURED AT FIVE FOOT INTERVALS FROM

AVERAGE FINISHED GRADE TO THE AVERAGE HEIGHT OF THE HIGHEST GABLE ROOF OR TO THE TOP OF THE PARAPET OF A FLAT ROOF AT NO POINT SHALL THE STRUCTURE EXCEED THIRTY TWO (32) FEET IN HEIGHT FROM ANY FINISHED GRADE TO THE HIGHEST GABLE, EXCEPT FOR ARCHITECTURAL FEATURES. 4.ACCESSORY STRUCTURES EXCEPT BARNS AND STABLES SHALL NOT EXCEED SIXTEEN (16) FEET IN HEIGHT.

5.ACCESSORY STRUCTURES, EXCLUDING BARNS AND STABLES, CONTAINING ONE OR MORE ACCESSORY USE SHALL NOT EXCEED A BUILDING FOOTPRINT AREA OF 800 SQUARE FEET. ATTACHED TO AN ACCESSORY STRUCTURE PROVIDED THE BUILDING FOOTPRINT OF THE COMBINED STRUCTURE DOES NOT EXCEED 800 SQUARE FEET.

7.PROJECT GRADING SHALL NOT EXCEED 1500 CUBIC YARDS OF CUT OR FILL, UNLESS ADDITIONAL GRADING IS NECESSARY TO ALLOW REASONABLE DEVELOPMENT OF THE PROPERTY OR TO ACHIEVE REASONABLE VEHICULAR ACCESS. EXCEPTION: EXCAVATION NOT APPARENT FROM THE EXTERIOR SUCH AS FOR BASEMENTS ENTIRELY

BELOW GRADE, CRAWL SPACES, SWIMMING POOLS, UNDERGROUND WATER STORAGE TANKS, ETC., SHALL NOT BE INCLUDED IN THE GRADING CALCULATIONS UNDER THIS PROVISION GRADING MAY EXCEED 1500 CUBIC YARDS IF BAR CAN MAKE ALL OF THE FOLLOWING FINDINGS:

A. THE PROPOSED GRADING RESPECTS THE SIGNIFICANT NATURAL LAND FORMS OF THE SITE AND BLENDS WITH ADJACENT PROPERTIES. B. THE GRADED SLOPES RELATE TO THE NATURAL CONTOURS OF THE SITE.

C. THE LENGTH AND HEIGHT OF RETAINING WALLS HAVE BEEN MINIMIZED TO THE MAXIMUM EXTENT FEASIBLE D. THERE ARE NO OTHER SUITABLE ALTERNATIVE BUILDING SITES AVAILABLE ON THE PROPERTY THAT COULD BE UTILIZED WITH SIGNIFICANTLY LESS REQUIRED GRADING FOR THE PRIMARY RESIDENCE AND!OR ACCESS ROAD.

8. FILL FOR RESIDENTIAL STRUCTURES ON DOWNSLOPE AREAS SHALL NOT BE OVER 10 FEET IN HEIGHT AT THE HIGHEST POINT (TOP OF SLOPE).

9. CUT OVER THIRTY (30) FEET IN TOTAL HEIGHT SHALL BE AVOIDED TO THE EXTENT FEASIBLE.

10. FREESTANDING VERTICAL RETAINING WALLS OVER EIGHT (8) FEET IN HEIGHT SHOULD BE AVOIDED TO THE EXTENT FEASIBLE.

11. BUILDING MATERIALS AND COLOR SCHEMES OF STRUCTURES, WALLS AND ROOFS SHALL BLEND WITH PREDOMINANT COLORS AND VALUES OF THE SURROUNDING

12.THE DESIGN OF NEW DEVELOPMENT SHALL PROTECT, TO THE EXTENT FEASIBLE, UNIQUE OR SPECIAL FEATURES OF THE SITE, SUCH AS LANDFORMS, ROCK OUTCROPPINGS, MATURE TREES, UNIQUE VEGETATIVE GROUPINGS, DRAINAGE COURSES, HILLTOPS AND RIDGELINES.

13.LANDSCAPE PLANS SHALL INCLUDE APPROPRIATE PLANTING TO REDUCE FIRE HAZARD, STABILIZE CUT/FILL SLOPES, REDUCE EROSION, RETAIN MOISTURE, REPAIR AREAS OF REQUIRED FIRE DEPARTMENT BRUSH REMOVAL, AND INTEGRATE ARCHITECTURAL COMPONENTS.

14. CALCULATION OF RUNOFF FROM IMPERVIOUS SURFACES SHALL BE MADE BY A LICENSED CIVIL ENGINEER PRIOR TO ISSUANCE OF ANY PERMITS FOR NEW

RESIDENCES OR ADDITIONS WHICH EXCEED FIFTY (50) PERCENT OF EXISTING FLOOR AREA OF THE PRINCIPAL STRUCTURE PROJECT REVIEW WILL INCLUDE CONSIDERATION OF ANY INCREASED RUNOFF AND ITS IMPACT ON OFFSITE DRAINAGE COURSES. THESE CALCULATIONS WILL BE RETAINED IN COUNTY RECORDS FOR

# 4. MONTECITO RIDGELINE AND HILLSIDE DEVELOPMENT

PER SUBSECTION C 1

(1)THE HEIGHT OF ANY STRUCTURE SHOULD NOT EXCEED 16 FEET WHEREVER THERE IS A 16 FOOT DROP IN ELEVATION WITHIN 100 FEET OF THE PROPOSED STRUCTURE'S LOCATION.

(2)BUILDING RAKE AND RIDGE LINE SHOULD CONFORM TO OR REFLECT THE SURROUNDING TERRAIN.

(3)MATERIALS AND COLORS SHOULD BE COMPATIBLE WITH THE CHARACTER OF THE TERRAIN AND NATURAL SURROUNDINGS OF THE SITE.

(4)LARGE, VISUALLY UNBROKEN AND/OR EXPOSED RETAINING WALLS SHOULD BE MINIMIZED.

(5)LANDSCAPING SHOULD BE USED TO INTEGRATE THE STRUCTURE INTO THE HILLSIDE, AND SHALL BE COMPATIBLE WITH THE ADJACENT VEGETATION. (6) GRADING SHALL BE MINIMIZED, IN COMPLIANCE WITH THE COMPREHENSIVE PLAN.

E Allowed use, no permit required (Exempt)

(7) DEVELOPMENT ON RIDGELINES SHALL BE DISCOURAGED IF SUITABLE ALTERNATIVE LOCATIONS ARE AVAILABLE ON THE LOT.

Allowed Land Uses and Permit Requirements for Resource Protection Zone	P Permitted use, Land Use or Coastal Permit required CUP Conditional Use Permit required S Permit determined by Specific Use Regulations Use Not Allowed			
	PERMIT REQUIRED BY ZONE	Specific Use		
LAND USE (1)	RMZ	Regulations		
AGRICULTURAL, MINING & ENERGY FACILITIES		•		
Animal keeping	S	35.442.040		
Aquaculture	CUP			
Cultivated agriculture, orchard, vineyard, new	CUP			
Cultivated agriculture, orchard, vineyard, historic legal use	CUP			
Grazing	E			
Mining	CUP	35.472.140		
RECREATION, EDUCATION & PUBLIC ASSEMBLY	CIUD			
Education or research facility, limited	CUP			
Meeting facility, religious Rural recreation	CUP			
School School	CUP			
Spa	COF	35.442.170		
RESIDENTIAL	<u> </u>			
Guesthouse	P	35.442.120		

Spa	COI	33.442.170	
RESIDENTIAL			
Guesthouse	P	35.442.120	
Home occupation	P	35.442.130	
Dwelling, one-family	P		
Residential accessory uses and structures	P	35.422.030.E	
Special care home, 7 or more clients	CUP	35.442.070	
CEDUICEC			

LAND USE (1)		PM7	Specific Use Regulations	
		RMIT REQUIRED BY ZONE	Specific Use	
		Use Not Allowed		
101 Resource 1 Iolection Zone	S	Permit determined by Specific Use Regulations		
Allowed Land Uses and Permit Requirements for Resource Protection Zone	CUP	Conditional Use Permit required		
All and I and I and I are a second as a se	P	Permitted use, Land Use or Coastal Permit required (		
Table 2-4 - Continued	Е	Allowed use, no permit required (Ex	tempt)	
Child care center, Residential		CUP	35.442.070	
Child care center, Non-residential		CUP 35.442.070		
Small family day care home		E 35.442.070		
Large family day care home		P	35.442.070	

	RMZ	Kegulations
TRANSPORTATION, COMMUNICATIONS & INFRASTRUCTU	RE	_
Electrical substation - Minor (3)	CUP	
Electrical substation - Major (3)	CUP	
Electrical transmission line (4)	CUP	
Private services and utilities	CUP	
Public works and utilities	CUP	
Telecommunications facility	S	35.444
WATER SUPPLY & WASTEWATER FACILITIES		
Reservoir, less than 20,000 sf of total development	CUP	
Reservoir, 20,000 sf or more of total development	CUP	
Wastewater treatment system and yadval alternative	CUD	
Wastewater treatment system, individual	E	

Wastewater treatment facility, less than 200 connections

Water or sewer system pump or lift station

Water system with 1 connection

# Floor Area Calculator and Project Statistics Worksheet (Print on Cover Sheet of Project Plans)

Floor Area Net Square Feet1

	, ,
PROJECT INFORMATION	
Owner:	John D & Mark Goerner
Agent:	Vanguard Planning Inc.
Site Address:	1017 Hot Springs
Assessor's Parcel Number(s):	011-010-008
Case Number(s):	08DVP-00000-00022

PROJECT STATISTICS

		Existing	Existing to be Removed	New or Addition	Finished Project	Area Used in Floor Area Calculation
	2nd Floor					
	1st Floor	0	0	4,083	4,083	4,083
	Attached Garage(s) <sup>2</sup>	0	0	1,612	1,612	812
Delman	Partly Underground Basement <sup>3</sup>					
Primary Residential	Wholly Underground Basement					0
Building	Attached Residential Second Unit					0
	Enter type of attached accessory structure					
	Enter type of attached accessory structure					
	Enter type of attached accessory structure					
	Subtotals HOUSE NET FLOOR AREA	·	0	5,695	5,695	4,895

Detached	Guest House			607	607
	Enter type of detached accessory structure				
Accessory	Enter type of detached accessory structure				
otructures	Enter type of detached accessory structure				
	Enter type of detached accessory structure				
	Subtotals	0	0	607	607
	GRAND TOTALS	0	0	6,302	6,302

FLOOR AREA CALCULATIONS						
		Size of Lot (Gross Acres)	40.00			
		Montecito Hillside (H-MON)	<b>V</b>			
		Overlay Zone (Y/N) <sup>5</sup>	Y			
ŀ	Calculations	Recommended Maximum House	7,000			
ľ	Calculations	Net Floor Area <sup>6</sup>	7,000			
		House Net Floor Area <sup>4</sup>	4,895			
		Percent of Recommended	700/			
		Maximum House Net Floor Area <sup>7</sup>	70%			

Applicants enter project information and statistics (net square feet) into shaded cells. The calculator automatically enters statistics into clear (unshaded) cells.

Rev. 02/10/2017

# sheet index

#### **ARCHITECTURAL DRAWINGS**

GENERAL INFORMATION, PROJECT DATA OFFSET AND VISUAL SCALE STUDY PROPOSED GARAGE LEVEL FLOOR PLAN PROPOSED MAIN LEVEL FLOOR PLAN AA2.03 PROPOSED ROOF PLAN PROPOSED GUEST HOUSE & POOL PLANS EXTERIOR ELEVATIONS MAIN HOUSE EXTERIOR ELEVATIONS GUEST HOUSE EXTERIOR SECTIONS EXTERIOR SECTIONS

#### LANDSCAPE DRAWINGS

FUEL MANAGEMENT PLAN PLANTING PLAN LIGHTING PLAN IRRIGATION PLAN ROAD PLANT RESTORATION

#### PRELIMINARY GRADING AND DRAINAGE PLANS-**ACCESS ROAD**

TITLE SHEET & NOTES OVERALL SITE PLAN

STA. 10+00 TO 14+00 PRELIMINARY IMPROVEMENT PLAN' STA, 14+00 TO 18+00 PRELIMINARY IMPROVEMENT PLAN STA. 18+00 TO 22+00 PRELIMINARY IMPROVEMENT PLAN STA. 22+00 TO 26+00 PRELIMINARY IMPROVEMENT PLAN

STA. 26+00 TO 30+50 PRELIMINARY IMPROVEMENT PLAN STA. 30+50 TO 35+00 PRELIMINARY IMPROVEMENT PLAN

STA. 35+00 TO 37+31 PRELIMINARY IMPROVEMENT PLAN SITE SECTIONS HOUSE SITE PRELIMINARY GRADING

EROSION CONTROL PLAN EROSION DETAILS

# project data

CASE # 08DVP-00000-00022 AND 09CUP-00000-00007 MARCIA & D. JOHN GOERNER

1017 HOT SPRINGS ROAD Project Address

SANTA BARBARA, CA

011-010-008 AND 011-010-015

## Applicable Codes:

This project shall comply with the 2016 CBC, 2016 CEC, 2016 CMC, 2016 CPC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA UNIFORM ADMINISTRATIVE CODE, TITLE 24, SB Municipal Code #5446 and State Codes.

# PROJECT DESCRIPTION

Proposed (N) Single Family Residence. Structures to include Main House/Garage, Guest House, and Pool.

## FLOOR AREA

GROSS 4,083 SF 4,267 SF MAIN RESIDENCE GARAGE/STORAGE 1,612 SF 1,842 SF 607 SF 655 SF PROPOSED TOTAL 6.302 SF 6.764 SF PREVIOUS TOTAL 6,783 SF 7,081 SF

TOTAL AREA REDUCTION = %7.09 = %4.48

#### \*NOTE: NET SF TAKEN TO INSIDE OF EXTERIOR WALLS. GROSS SF TAKEN TO OUTSIDE OF EXTERIOR

# LOT COVERAGE

See table on sheet PS.1.

# vicinity map



DESIGN STUDIO P H 8 0 5 . 9 6 3 . 2 1 0 0 F X | 8 0 5 . 9 6 3 . 2 3 0 0 27 EAST COTA STREET, SUITE 503 SANTA BARBARA CALIFORNIA 93101 www.abdesignstudioinc.com architecture interior design urban planning

project team | PROJECT DESIGNER / PROJECT MANAGER |

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ASHLEY & VANCE ENGINEERING 924 CHAPALA STREET, SUITE D SANTA BARBARA, CA 805.962.9966 JASON GOTSIS

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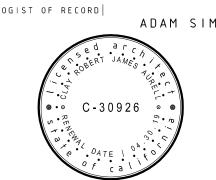
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GEOLOGIST OF RECORD ADAM SIMMONS



| AB designstudio, inc 14 September 2018

print/revision 01.30.13

|plotstamp

PLANNING REVIEW- SUBMITTAL 5 07.18.14 MBAR REVIEW

05.18.15 PLANNING REVIEW

11.10.17 PLANNING SUBMITTAL

07.30.18

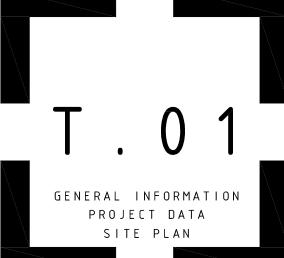
PLANNING SUBMITTAL

project info

## GOERNER RESIDENCE

| PROJECT ADDRESS | 1017 HOT SPRINGS ROAD SANTA BARBARA, CA

OWNER CONTACT MARCIA & D. JOHN GOERNER 815 | 455 1900



# description of changes from last submittal

- REDUCED SIZE OF ROOF DECK OVER COVERED PARKING SPACE. REDUCED FOUR (4) CAR GARAGE TO THREE (3) CAR GARAGE.
- REDUCED SIZE OF DRIVEWAY TO BETTER
  ACCOMMODATE CHANGES IN NATURAL GRADE AND (E)
  MULTI-TRUNK OAK.
- 3 SCREENED POOL WITH LARGE STONES EXCAVATED DURING CONSTRUCTION.
- COVERED FIRE ACCESS STAIR WITH VEGETATED, LANDSCAPED TUNNEL LID.
- DROPPED GUEST HOUSE BY 5' TO REDUCE VISUAL IMPACT AND PUSHED STRUCTURE BACK INTO HILLSIDE.
- 6 REDUCED VERTICAL HEIGHT OF STRUCTURE AND SUNK INTO GRADE.
- 7 PULLED MAIN RESIDENCE STRUCTURE BACK FROM KNOLL.
- 8 PULLED POOL BACK FROM KNOLL EDGE
- 9 REDUCED VISUAL LENGTH AND WIDTH OF MAIN RESIDENCE.
- REDUCED LENGTH AND WIDTH OF GUEST HOUSE STRUCTURE.
- REDUCED AREA OF ENCROACHING ARCHITECTURAL ELEMENTS INTO 16'-0" OFFSET.
- INCREASED LANDSCAPING AROUND BUILDING TO BETTER SCREEN STRUCTURE AND HELP STRUCTURE BLEND INTO HILLSIDE.

	POOL AND SPA	PREV.	PROPOSED	PERCENTAGE CHANGE
	DISTANCE FROM KNOLL:	9'-0"	22'-6"	%150 INCREASE (13.50')
	VISUAL SIZE OF STRUCTURE:	31'-6"	29'-0"	%7.94 REDUCTION
	MAIN HOUSE AND GARAGE	PREV.	PROPOSED	PERCENTAGE CHANGE
	DISTANCE FROM KNOLL:	64'-6"	92'-0"	%43.75 INCREASE (27.50')
_	VISUAL LENGTH OF MAIN HOUSE:	157'-6"	134'-0"	%14.92 REDUCTION
11)	AREA ABOVE 16'-0" OFFSET:	708 SF	127 SF	%82.06 REDUCTION
	VISUAL SIZE OF GARAGE:	64'-6"	62'-0"	%3.88 REDUCTION
	VISUAL WIDTH OF MAIN HOUSE & GARAGE	82'-6"	75'-0"	%9.10 REDUCTION
	GUEST HOUSE	PREV.	PROPOSED	PERCENTAGE CHANGE
	VISUAL SIZE OF STRUCTURE	60'-0"	42'-6"	%29 17 REDUCTION

11'-0"

43'-0"

%31.25 REDUCTION

%15.86 REDUCTION

16'-0"

51"-0"

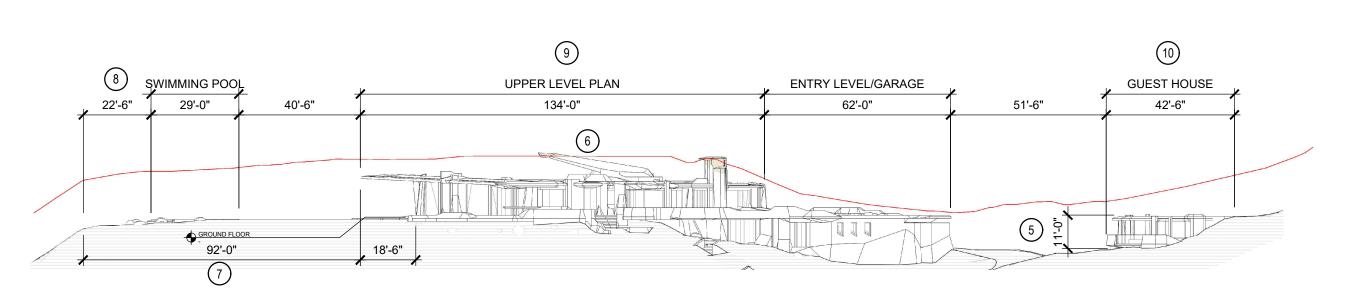
visual size calculations

VISUAL HEIGHT OF STRUCTURE:

VISUAL WIDTH OF STRUCTURE:



# PROPOSED EAST ELEVATION SCALE: 1"=30'-0" 5

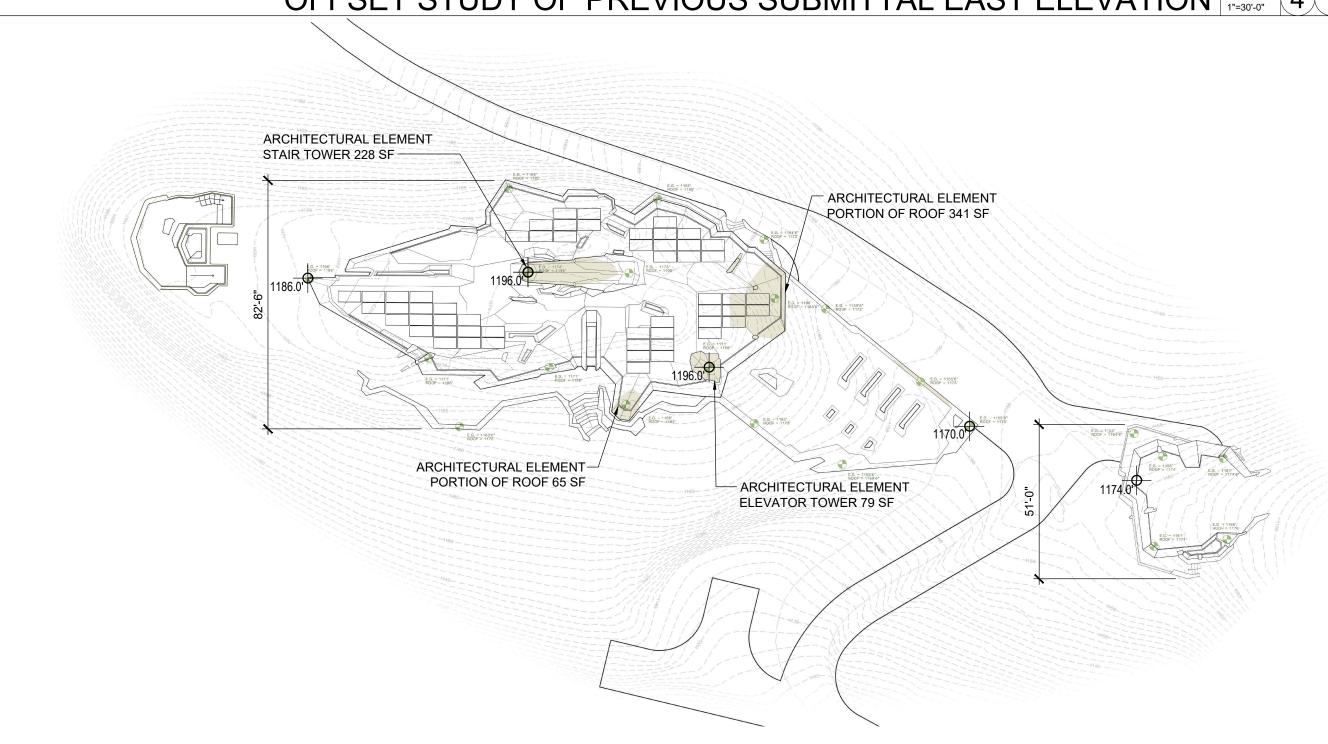


# OFFSET STUDY OF PREVIOUS SUBMITTAL EAST ELEVATION SCALE: 4

PREVIOUS SUBMITTAL EAST ELEVATION SCALE: 1"=30'-0" 6

**GUEST HOUSE** 

ENTRY LEVEL/GARAGE



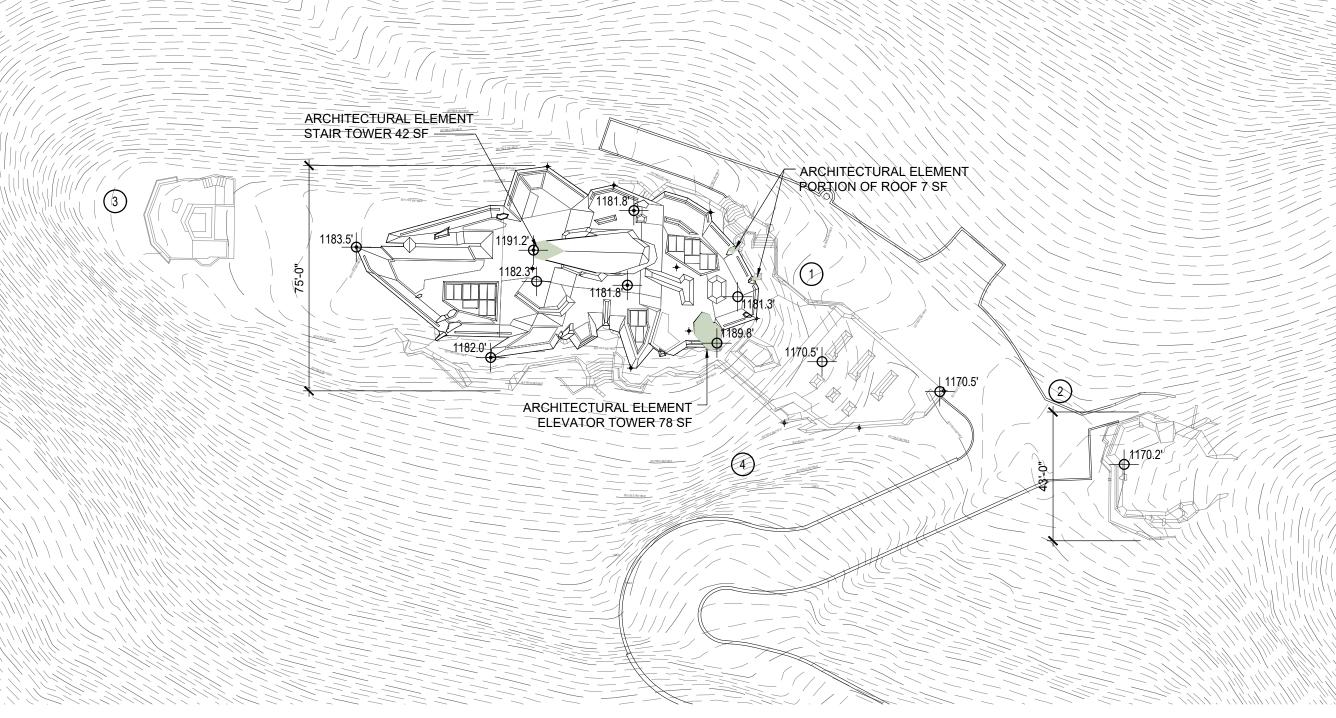
UPPER LEVEL PLAN

157'-6"

15'-6"

OFFSET STUDY OF PREVIOUS SUBMITTAL SITE PLAN SCALE: 1"=30'-0" 2

# OFFSET STUDY OF PROPOSED EAST ELEVATION SCALE: 1"=30'-0" 3



OFFSET STUDY OF PROPOSED SITE PLAN SCALE: 1"=30'-0" 1

# AB AB DESIGN STUDIO

P H | 8 0 5 . 9 6 3 . 2 1 0 0 F X | 8 0 5 . 9 6 3 . 2 3 0 0 2 7 EAST COTA STREET, SUITE 503 SANTA BARBARA | CALIFORNIA 93101 w w w . abdesignstudioinc. c o m a r c h i t e c t u r e i n t e r i o r d e s i g n

urban planning

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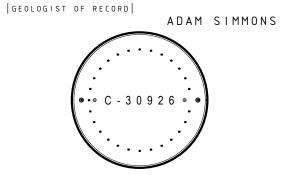
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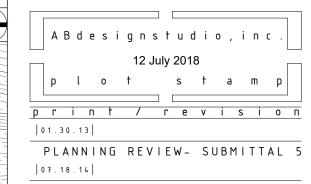
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MBAR REVIEW

| 05.18.15 |

PLANNING REVIEW

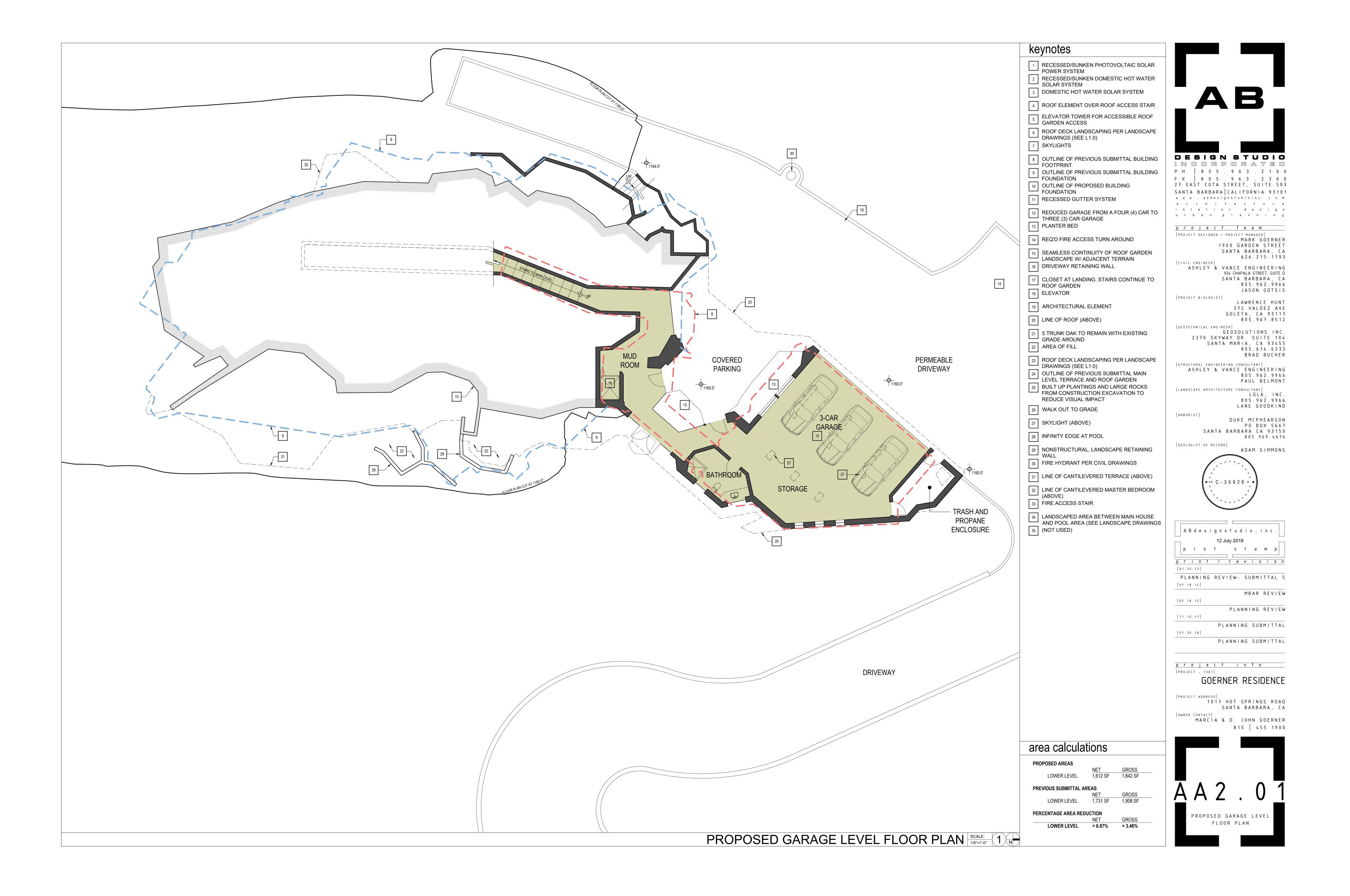
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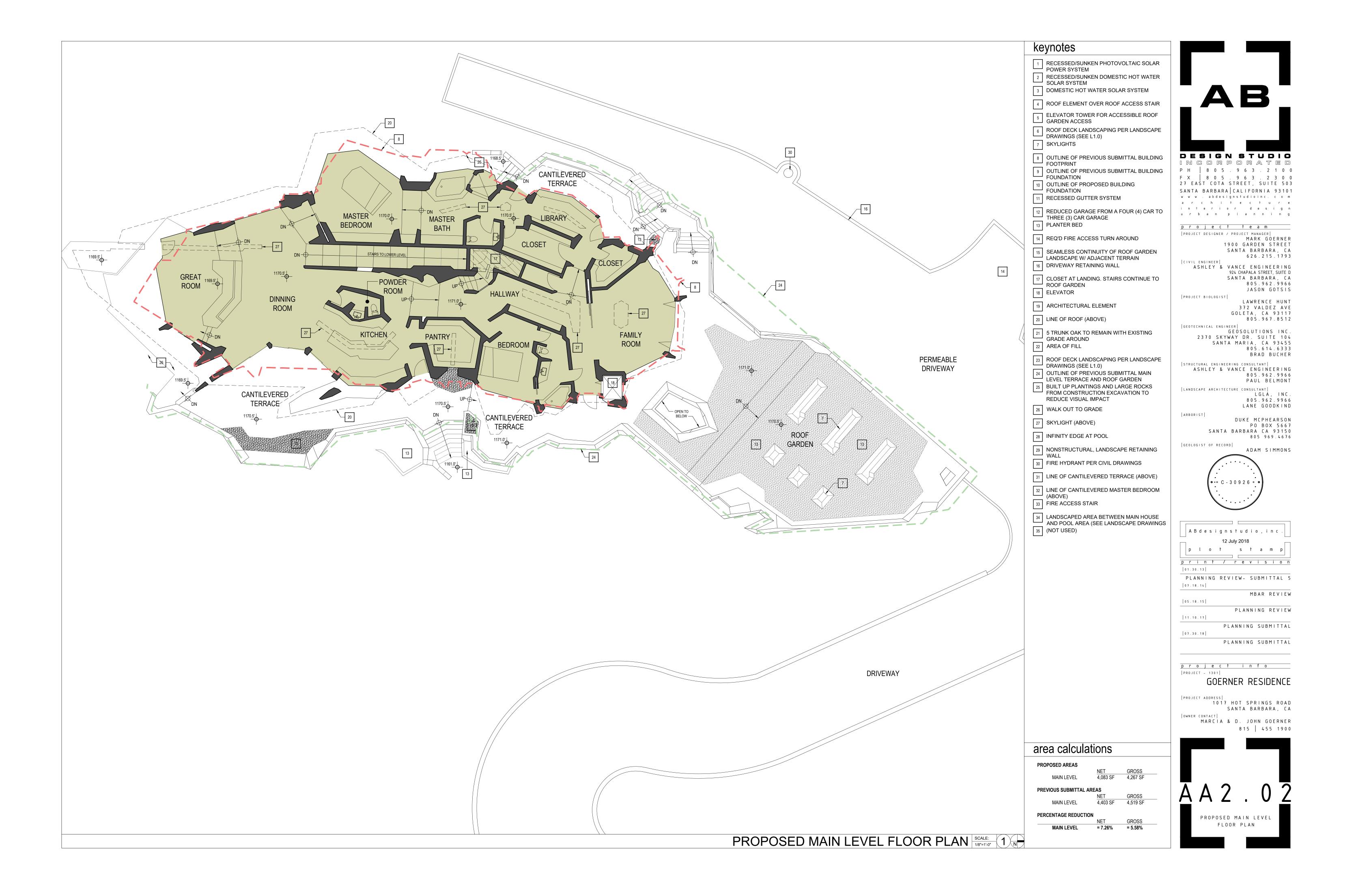
# GOERNER RESIDENCE

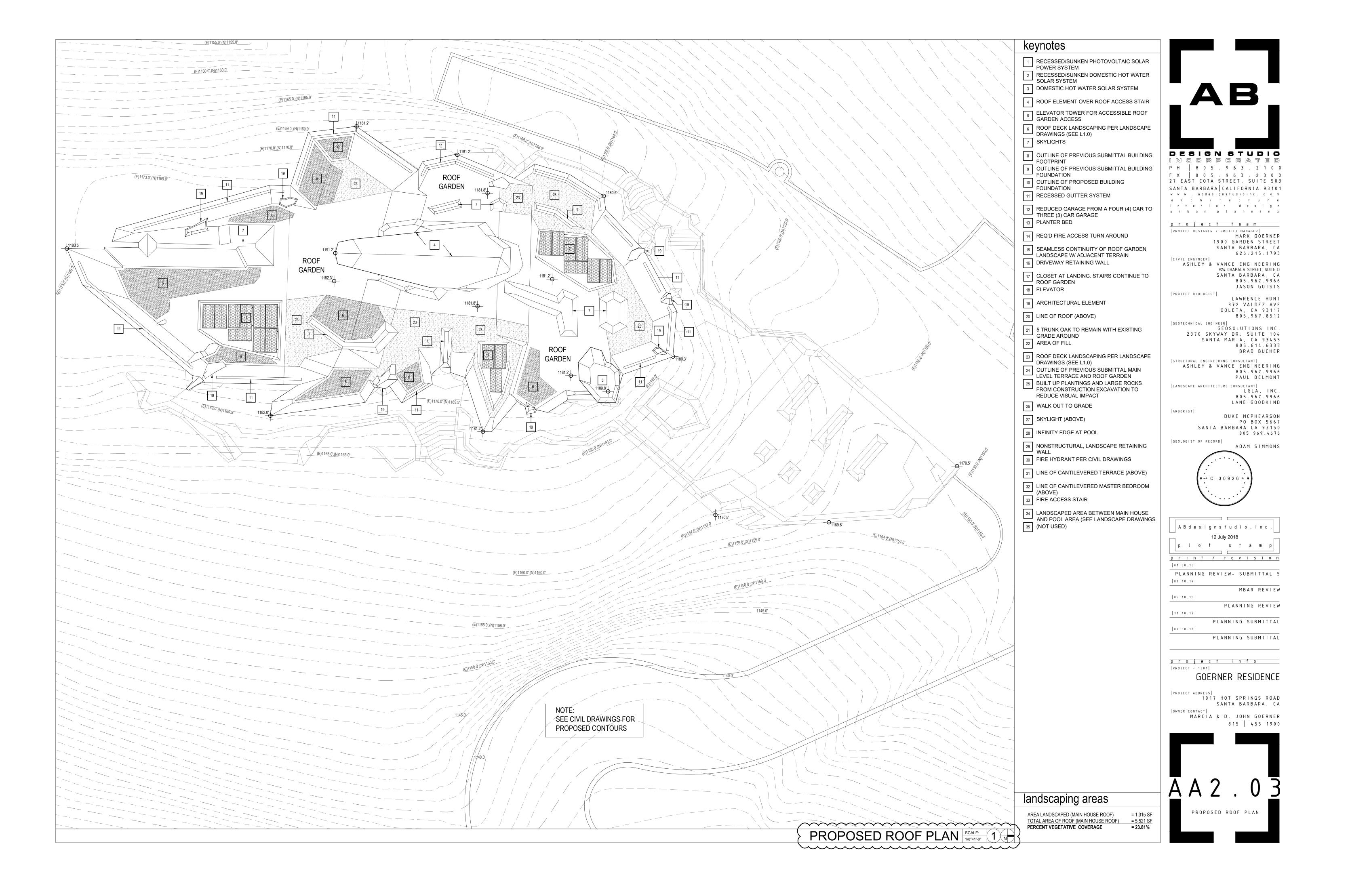
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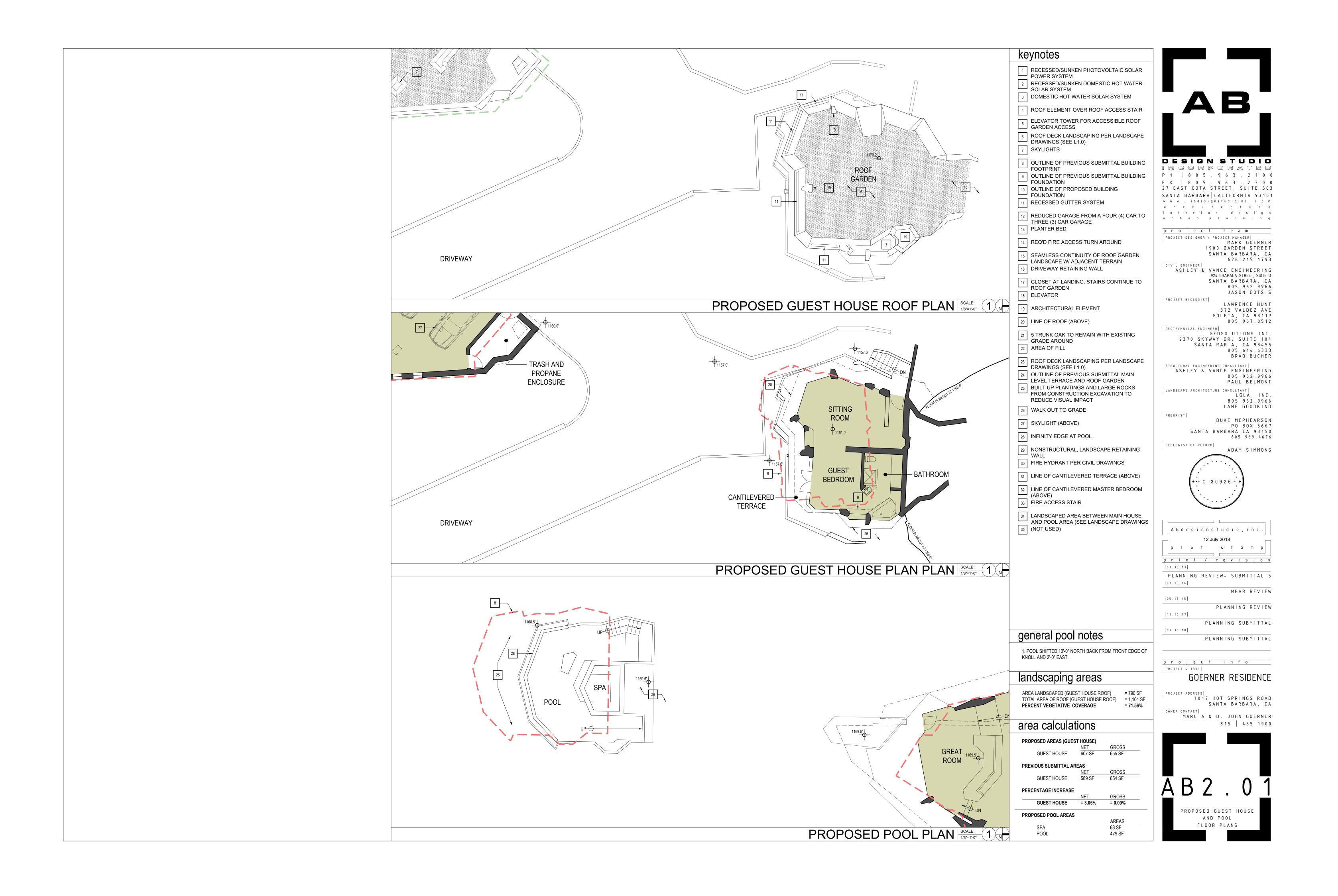
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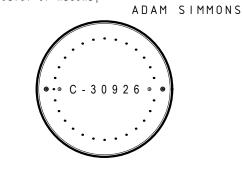
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PLANNING REVIEW 11.10.17 PLANNING SUBMITTAL

07.30.18 PLANNING SUBMITTAL

# GOERNER RESIDENCE

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EXTERIOR ELEVATIONS GUEST HOUSE

T.O. GUEST HOUSE ROOF 1170'-4"

# SOUTH ELEVATION-GUEST HOUSE | SCALE: | 1/8"=1'-0" | 3



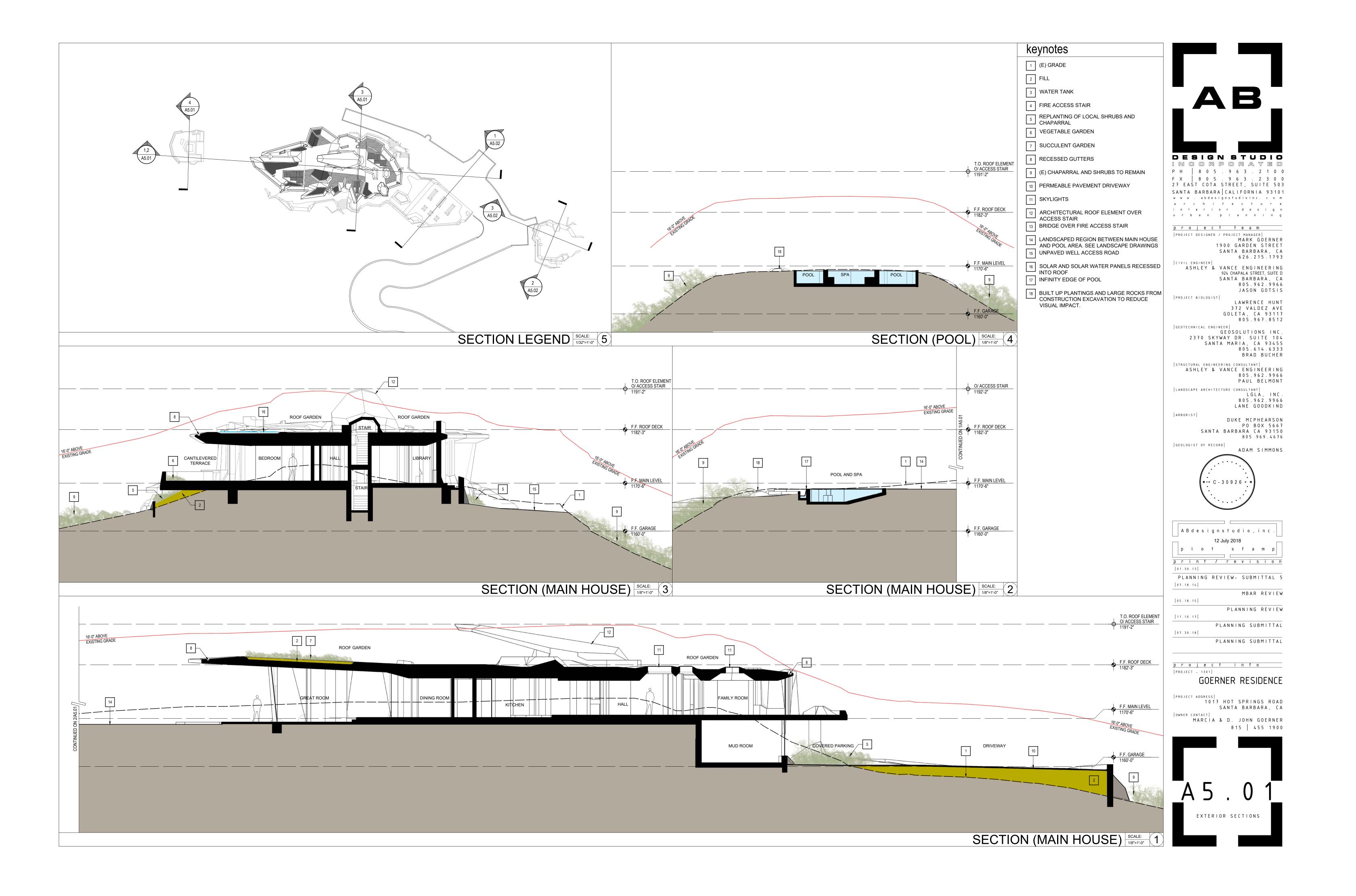
# WEST ELEVATION-GUEST HOUSE SCALE: 1/8"=1'-0" 2

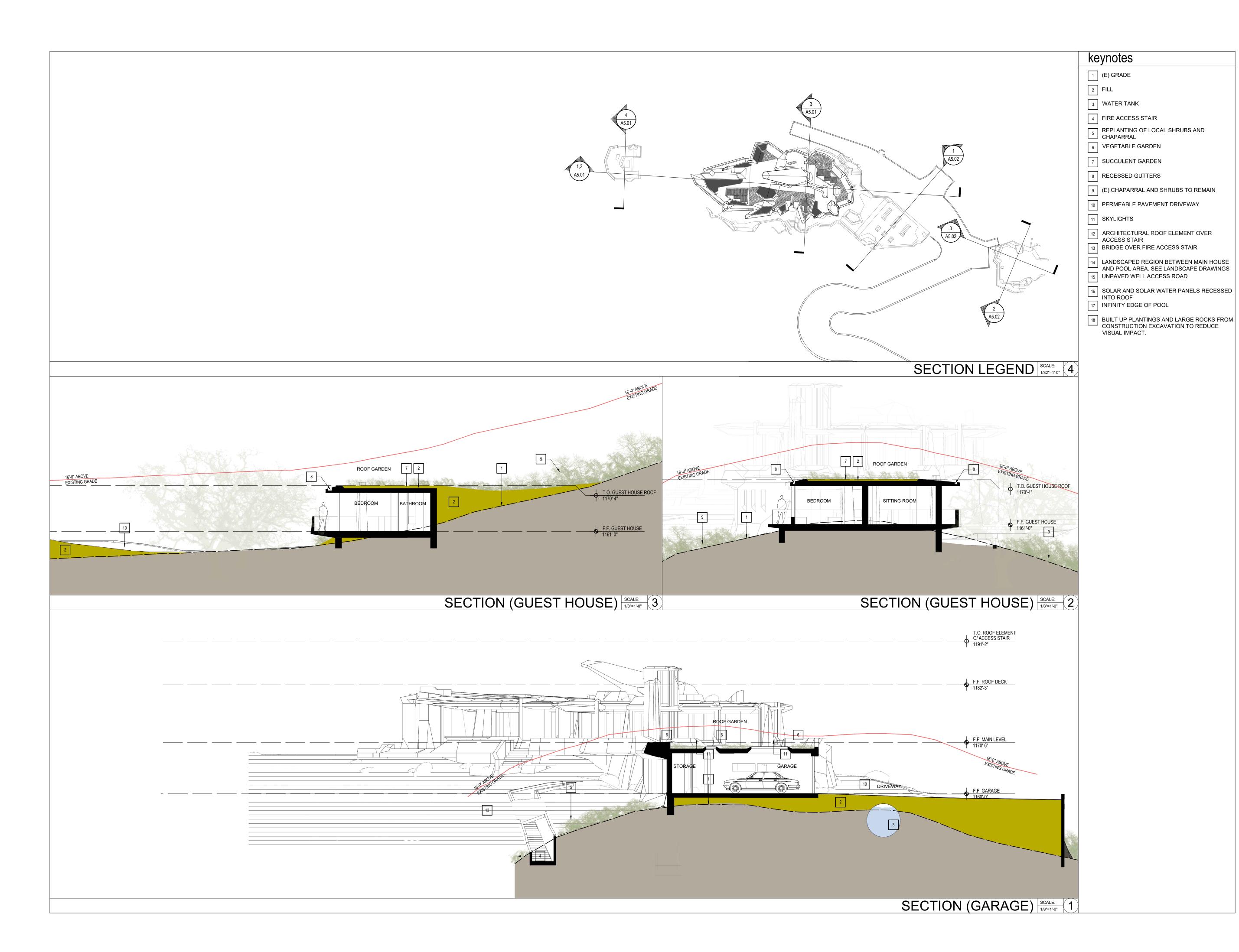
EAST ELEVATION-GUEST HOUSE SCALE: 1/8"=1'-0" 1





NORTH ELEVATION-GUEST HOUSE SCALE: 1/8"=1'-0" 4







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27 EAST COTA STREET, SUITE 503

SANTA BARBARA | CALIFORNIA 93101

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a r c h i t e c t u r e
i n t e r i o r d e s i g n
u r b a n p l a n n i n g

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JASON GOTSIS

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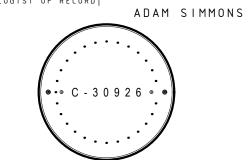
| GEOTECHNICAL ENGINEER |
GEOSOLUTIONS INC.
2370 SKYWAY DR. SUITE 104
SANTA MARIA, CA 93455
805.614.6333
BRAD BUCHER

STRUCTURAL ENGINEERING CONSULTANT ASHLEY & VANCE ENGINEERING 805.962.9966
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| LANDSCAPE ARCHITECTURE CONSULTANT | LGLA, INC. 805.962.9966 LANE GOODKIND

DUKE MCPHEARSON PO BOX 5667 SANTA BARBARA CA 93150

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ABdesignstudio, inc.

12 July 2018

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| 15.18.15 |

PLANNING REVIEW

PLANNING SUBMITTAL
PLANNING SUBMITTAL

GOERNER RESIDENCE

|PROJECT ADDRESS| 1017 HOT SPRINGS ROAD SANTA BARBARA, CA

OWNER CONTACT |
MARCIA & D. JOHN GOERNER
815 | 455 1900

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EXTERIOR SECTIONS

#### **Notes For County Conditions**

- 1. Permit condition: To minimize fire hazards, A Fuel Management Plan Shall be implemented in accordance with Santa Barbara County Fire Protection District standards. The Fuel Management Plan shall not require removal of any individuals of Quercus
- 2. Plan Requirements and Timing: A Fuel Management Plan shall be submitted to Planning and Developmet and the Santa Barbara County Fire District for review and approval prior to approval and land use permit.
- 3. Monitoring: A site inspection shall be conducted by the Santa Barbara County Fire District and permit compliance prior to occupancy clearance. Enforcement of the offsite fuel clearance is the responsibility of the Santa Barbara County Fire District.

#### **Restoration Conditions For Sensitive Plants**

- 1. Implementation Of Fire Clearnace Vegetation Management Shall Avoid Lonicera Subspicata Subspicata (Santa Barbara Honeysuckle) And Quercus Dumosa (Scrub Oak) Plants Occurring On-Site As Shown On The Approved Landscape / Fuel Management Plan. If Removal Of Any Of These Species Is Unavoidable, Five (5) Plants Shall Be Established For Each One Removed.
- 2. If Removal Of Any Of These Species Is Unavoidable, Five (5) Plants Shall Be Established For Each One Removed. Plants Shall Be Established In Similar Habitat, Irrigated With A Single One-Gallon Drip Emitter Per Plant And Monitored For Three Years.
- 3. Planting Shall Be Protected From Predation By Wild And Domestic Animals And From Human Interference By The Use Of Exclusion Fencing And Gopher / Browse Protection.

- 1. Existing Oak Tree To Remain, Protect In Place. See Tree Protection Notes
- 2. 2' High Max Retaining Wall, Integral Color Plaster To Match Local Sandstone/Residence
- 3. Green-Roof Planting Over Guest House
- 4. Integral Colored Concrete Driveway On Slopes Over
- 5. Crushed Stone / Chip-Seal Driveway At Slopes < 5%

## Keynotes

- 1. Maintain All Trees, Shrubs And Other Plants That Are Adjacent To Of Overhanging The Building In Good Condition Free Of Diseased, Dead Or Dying Wood.
- 2. Maintain Roofs Of All Buildings And Structures Free Of Leaves.

Zone 1: 0-30' From Structures

- 3. Remove All Chamise (Adenostoma Sp.)
- 4. Thin Mountain Mahogany (Cercocarpus Sp.) Chaparral To Increase Space Between Mature Shrubs To Five (5) Feet. Approximately 40% Reduction In Cover Will Likely Be Required To Obtain This Goal.
- 5. Thin Or Remove All Eucalyptus Trees. 6. Use A Landscape Palette That Consists Of Low-Flammability Species. Obtain Approval From Santa Barbara County Fire Department (Sbcfd) For The Proposed Palette.

#### Zone 2: 30-100' From Structures

- 1. Thin Mountain Mahogany (Cercocarpus Sp.) Chaparral To Increase Space Between Mature Shrubs To Five (5) Feet. Approximately 40% Reduction In Cover Will Likely Be Required To Obtain This Goal.
- 2. Prune All Eucalyptus Trees To Remove Dead, Damaged, And Diseased Wood To Reduce Flammability. Additional Pruning May Be Required Up To 50% Of Tree Canopy For Trees Immediately Adjacent To Structures. Alternatively, Remove Eucalyptus From The 100-Foot
- 3. Prune Understory Vegetation Where Woody Shrubs Are Present. Prune Lower Branches Of Trees To Minimum Height Of Six(6) Feet Above Ground
- 4. Single Specimens Of Trees Or Other Vegetation May Be Kept If They Are Well Spaced (A Minimum Of 30 Feet Between Trees), Well Pruned, And Create An Overall Condition That Avoids The Spread Of Fire To Other Vegetation Or To Buildings Or Structures.
- 5. Thin Chaparral Shrubs To Create A Minimum 5ft Clear Zone Between Individual Shrubs. To Do So, Use Selective Clearing To Preferentially Preserve Native Scrub Oaks (Queruc Berberidifolia) And Santa Barbara Honeysuckle (Lonicera Subspicata Var Subspicata) While Removing The More Common Shrubs To Meet Clearance Goals. Selectively Prune Odler Woody Material Out Of Existing Santa Barbara Honesuckle.
- 6. Reduce The Number And Density Of Individuals Of Big-Pod Ceanothus (Ceanothus Megacarpus) And Mountain Mahogany (Cercocarpus Betuloides). Remove Chamise (Adenostoma
- Fasciculatum).
  7. Maintain Herbaceous Species And Grasse Understory At Height Of No More That Four (4) Inches. This May Require Mowing More Than Once Per Year. Monitor The Site Quarterly For Herbaceous Growth Between Shrubs And Maintain At Heights No Greater That Four Inches During The Fire

## Zone 3: 100-200' From Structures

- 1. Constrianed Site Zone: An Actively Managed Buffer Extending 100 Feet Beyond Zone 2, For Slopes Greater Than 25% Or Fuel Loads In Excess Of 100 Tons Per Acre.
- 2. Prune Trees And Shrubs To Remove Dead, Damaged And Diseased Wood To Reduce Flammability.
- 3. Remove All Eucalyptus. 4. Prune Understory Vegetation Where Woody Shrubs Are Present. Prune

Selective

Lower Branches Of Trees To Maintain A Height Of Six(6) Above Ground Level. 5. Thin Chaparral Shrubs To Create A Minimum 5-Foot Clear Zone Between Individual Shrubs. To Do So Use

SCALE

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# **FUEL MOD**

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Qty H2O

24 low

62

11

1 gal 16 low

671

67

20

36

3

19

20

93

14

9

5 gal 8 low

1 gal 292

3 gal 268

1 gal 61

1 gal 24

146

1 gal

1 gal

1 gal

1 gal

1 gal

1 gal

5 gal

5 gal

2 gal

5 gal

5 gal

1 gal

1 gal

**Common Name** 

Purple Nightshade

Purple Three Awn

Purple Needle Grass

Deer Grass

Alkali Sacaton

Century Plant

Century Plant

Reiner's Agave

Silver Desert Spoon

Spider Aloe

Red Yucca

Mojave Yuuca

Kleinia

bou gra Bouteloua gracilis Blonde Ambition Blonde Ambition Blue Gramr 1 gal

Ley con Leymus condensatus 'Gaviota Grey' Canyon Prince Wildrye

Mountain Blue Curls

Cedros Island Verbena

California Meadow Sedge

Dwarf California Fucshia

**Botanical Name** 

**Perennials** 

epi bow Epilobium 'Bowmans'

Ari pur Aristida purpurea

Car pra Carex praegracilis

Nas pul Nasella pulchra

Aga am Agave americana

aga bgl Agave Blue Glow

alo spi Aloe spinossisma

das whl Dasylirion wheeleri

hes par Heperaloe parviflora

Sen cyl Senecio cylindricus

yuc sch Yucca schidigera

sen man Senecio mandraliscae

sop ver Scopelogena verruculata

Muh rig Muhlenbergia rigens

spo air Sporobolus airoides

Succulents

aga tnc Agave parryi truncata

aga ren Agave weberi 'Reiner's Selection'

Solanum xantii

Trichostema parishii

Verbena lilacina 'Paseo Rancho'

# Water Efficient Landscape Worksheet

Project Location

Reference Evaotraspiration (ETo)

Total Landscape Area (LA)

Santa Barbara

40.6

19,409sf

Special Landscape Area (pool)				1	550	550	13,845
Roofs	0.2	Spray	0.75	0.267	2,874	766	19,292
Native California plant mix	0.2	Spray	0.75	0.267	15,985	4,263	107,300
Regular Landscape Areas							
HYDROZONE	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	AREA	ETAF x area	ETWU

		ETWU TOTAL	140,436gal
	MAXIMUM ALLOWED W	VATER ALLOWANCE (MAWA)	267,325gal
MAXIMUM APPLIED WATER ALLOWANCE			
HYDROZONE	1		
TOTAL PLANTING AREA	18,859		
ETAF (ET adjustment factor)	0.55		
Conversion factor (to gallons / sf)	0.62		
ETo (Reference Evapotranspiration)	40.6		
PF (Plant Factor)	0.2		
LA (Landscape Area)	18,859.0		
SLA (Special Landscape Area)	550 (Pool)		
IE (Irrigation Efficiency)	0.81		
MAWA = (ETo)(0.62)[(0.55 X LA) + ((1-0.55) X SLA)]	267,325		

MAWA = (ETo)(0.62)[(0.55 X LA) + ((1-0.55) X SLA)]

MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

ETAF MUST BE .55 OR BELOW FOR RESIDENTIAL AREAS, .45 OR BELOW FOR NON-RESIDENTIAL AREAS

Note: Non-irrigated hydroseed mix area not included as part of MAWA or ETWU calculations

## GENERAL PLANTING NOTES

- 1. ALL PLANT MATERIALS SHALL BE SET OUT AS SHOWN ON PLAN. FINAL LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. THE LANDSCAPE ARCHITECT SHALL BE GIVEN 48 HOURS NOTICE BEFORE HAVING TO APPROVE PLANT LOCATIONS.
- 2. ALL PLANTS ARE IDENTIFIED BY TYPICAL SYMBOLS. PLANT QUANTITIES INDICATED ON THIS SHEET ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM ALL PLANT QUANTITIES PRIOR TO BIDDING. IN THE EVENT OF DISCREPANCIES IN PLANT COUNT, QUANTITIES INDICATED BY PLANT SYMBOLS SHALL PREVAIL.
- 3. CONTRACTOR SHALL CLEAR AND GRUB ALL PLANTING AREAS, REMOVING ALL INVASIVE WEED SPECIES PRIOR TO INSTALLATION OF PLANT MATERIALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL LANDSCAPE MULCH OVER ALL AREAS INDICATED ON THE PLAN, AND BELOW SHRUBS AND VINES. MULCH SHALL BE SCREENED RECYCLED WOOD CHIP WHENEVER AVAILABLE. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES OF MULCH FOR APPROVAL PRIOR TO INSTALLATION.
   TURF SHALL NOT BE INSTALLED ON AREAS GREATER THAN 20% SLOPE.
- 6. WHERE HATCHESE OR FILL PATTERNS INDICATE PLANTING OF GROUNDCOVER OR OTHER PLANT MATERIAL CONTRACTOR SHALL PROVIDE SUFFICIENT PLANT QUANTITIES TO FILL ENTIRE AREA AT THE RECOMMENDED PLANT SPACING ON THE PLANTING LIST.
- 7. All planting holes shall be backfilled with: (per cubic yard of mix)
  (1) 3 parts by volume on-site soil.
  (2) 2 parts by volume mature compost, Shall be All Around Compost (available from All Around Irrigation, 4760 Carpinteria Avenue, Carpinteria CA (805) 684.3115) or
- approved equal

  8. "Gro-power" planting tablets, or approved equal, shall be applied at the following rates:
- rates:
  Box size trees: 4 tablets per each 1/2"caliper
- 1 gallon plants: 3 tablets 5 gallon plants: 8 tablets
- 15 gallon plants: 13 tablets

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Title

# PLANTING PLAN

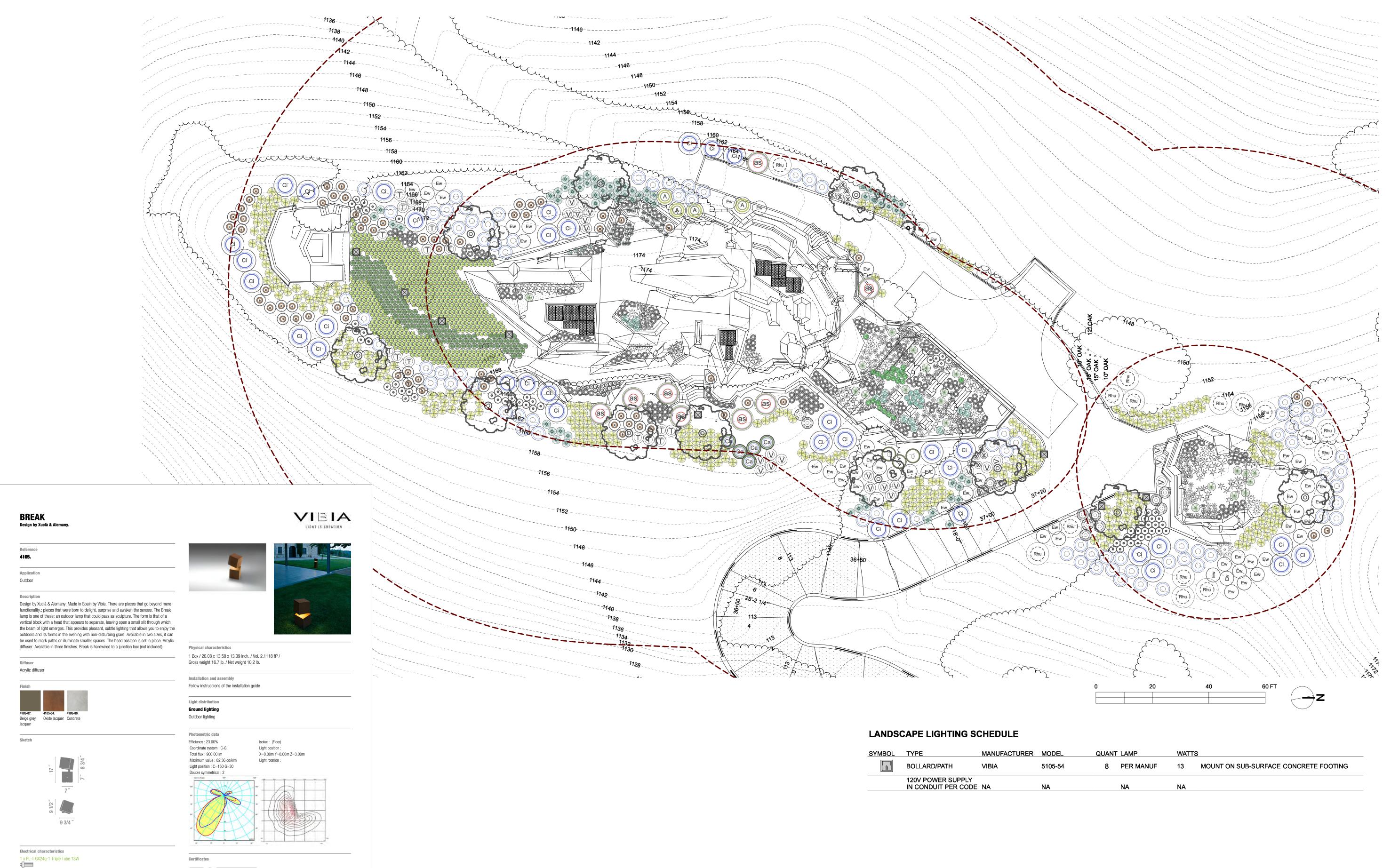
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	DATE

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Certificates

VIBIA, INC.272 Fernwood Ave. Edison, NJ 08837 USA. Phone 732 417 1700 Fax 732 417 1701.

sales@vibialight.com www.vibia.com

Total 13.0 W IP68 (WET LOCATION)

RESIDENCE



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# LIGHTING PLAN

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PROJE	CT NUMBER	

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# PULL BOXES ONLY. ✓ IRRIGATION PLAN NOTES

IRRIGATION	ON EQUIPMENT	SCHEDULE				
SYMBOL	TYPE	MANUF	QTY	MODEL	NOTES	DETAIL
H	BALL VALVE	SUPERIOR	1	Vxx101N	TRUE UNION PVC BALL VALVE, 2" AND SMALLER USE EPDM SEALED NON-THREADED SOCKET ENDS. SET IN RECT, VALVE BOX WITH T-COVER, HEAT BRAND "BV."	#2-L2.2
С	CONTROLLER	WEATHERMATIC	1	SMARTLINE SL4800	WITH E-CONNECTIVITY. CONTROLLER SHALL HAVE A DESIGNATED RECTANGULAR PULL-BOX INSTALLED AT PEDESTAL OR WALL-MOUNT BASE	
ℴ	DRIP: VALVE	HUNTER	1	-	AIR/VACUUM RELIEF VALVE INSTALLED WITH A COMBINATION TEE AND 3/4" X 1/2" REDUCER BUSHING, INSTALL AIR RELIEF ASSEMBLY INSIDE 6" ROUND VALVE BOX	#2-L2.2
⟨ <b>F</b> ⟩	DRIP:FLUSH CAP	HUNTER	1	-	FLUSH CAP AT END OF DRIP DISCHARGE HEADER USING MDCF FITTING, ONE AT EACH END OF TUBING RUNS IN EACH DIRECTION	#2-L2.2
•	HOSE BIB	NA	1	NA	INSTALL WITH 1" K-COPPER RISER MOUNTED ON 4X4 RDWD POST BURIED 24" MIN. 24" ABOVE GRADE. INSTALL NOT MORE THAN 2' FROM PAVING, AND FACE TOWARD PAVING. LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT	#2-L2.2
*	P.O.C.	NA	1	NA	IRRIGATION POINT OF CONNECTION TO EXISTING IRRIGATION MAINLINE, CONTRACTOR TO VERIFY OPERATION AND CONNECTION TO EXISTING BACKFLOW DEVICE PRIOR TO OPERATION OR TESTING OF ANY NEW SYSTEM	#2-L2.2
	PIPE:DRIPLINE	DIG OR EQ	1	ML-106 1/4"	1/4" INLINE LASER DRIP TUBING, 6" DRIPPER SPACING, ROWS 12" O.C.	#2-L2.2
	PIPE:LATERAL	CHARTER PLASTICS	1	80PSI SIDR-19 HDPE	LATERAL PIPE: 1" P.R. 80# SIDR-19 HIGH DENSITY 3408/3608 POLY PIPE, DEPTH AS PER DETAIL. INSTALL WITH LASCO INSERT FITTINGS AND STAINLESS STEEL OETIKER #167 CRIMP CLAMPS. DOUBLE CLAMP ALL FITTINGS 1-1/4" AND LARGER. FOR 1" LATERAL LINES, KING #22310 O	#2-L2.2
	PIPE:MAINLINE	NA	1	SCH 40	MAIN LINES: PVC, DEPTH AS PER DETAIL, 2" AND SMALLER SHALL BE SOLVENT WELD CLASS 200 WITH SCH 40 SOLVENT WELD FITTINGS	#2-L2.2
R	RAIN SENSOR	HUNTER	1	RAIN-CLICK	MOUNT TO ENCLOSURE OR NEARBY ROOF FREE FROM TREE DRIP LINES AND WIRE TO CONTROLLER.	#2-L2.2

#### GENERAL IRRIGATION EQUIPMENT NOTES

- 1. MANUFACTURED SWING JOINTS. FOR 1/2" SPRAY HEADS USE HUNTER SJ-512, FOR 3/4" TURF ROTORS USE HUNTER SJ-712, FOR 3/4" QUICK COUPLER VALVES USE LASCO G132T-212 WITH MALE BRASS STABILIZER ELBOW. FOR 1" LATERAL LINES, KING #22310 OR #22330 'SNAPTAP'
- 2. DBY-6 OR DBR-6 PRE-FILLED WIRE CONNECTORS, USE ON ALL WIRE CONNECTIONS IN VALVE OR
- 3. HCV SERIES ADJUSTABLE CHECK VALVE, USED ON ALL SPRINKLERS WITH LOW HEAD DRAINAGE UNCONTROLLABLE BY FACTORY INTEGRAL SPRINKLER HEAD CHECK VALVE.
- -4. IRRIGATION CONTROL WIRE SHALL BE #14UF AWG DIRECT BURIAL (U.L. APPROVED), COLOR CODE WIRE PER CONTROLLER, A MINIMUM OF THREE (3) SEPARATE SPARE PILOT WIRES TO THE END OF EACH MAINLINE. ROUTE SPARE WIRES INTO EACH VALVE MANIFOLD LOCATION, BUNDLE AND TAPE.

- 1. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. ALL ADJUSTMENTS SHALL ASSURE HEAD TO HEAD COVERAGE AND DISTRIBUTION EFFICIENCY WHILE KEEPING WATER WITHIN THE LANDSCAPED AREAS.
- 2. CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL **OBSTRUCTIONS THAT MAY OCCUR, INCLUDING** BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, FENCES, ETC. VERIFY ALL HEAD LAYOUT WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- 3. CONTRACTOR SHALL PROVIDE SLEEVING FOR ALL PAVED AREAS INCLUDING FUTURE DRIVEWAYS, ROADWAYS, AS WELL AS ALL CURRENT PAVED AREAS, PATHS, ETC. VERIFY ALL SLEEVE LOCATIONS IN FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- IRRIGATION EQUIPMENT SHOWN OUTSIDE IF MAINTENANCE RESPONSIBILITY AREAS IS SHOWN FOR CLARITY ONLY. ALL MAINTAINED AREA EQUIPMENT SHALL BE INSTALLED WITHIN THE LIMIT OF WORK LINES. VERIFY ALL LAYOUT IN FIELD WITH OWNER'S REPRESENTATIVE.
- IRRIGATION MAINLINE AND APPURTENANCES LOCATION IS DIAGRAMMATIC. ALL IRRIGATION **EQUIPMENT SHALL BE INSTALLED WITHIN THE** LIMIT OF WORK AND/OR PROPERTY LINE, 18" OFF ANY HARDSCAPE AND WITHIN PLANTING AREAS. ANY PARKWAY IMPROVEMENTS IN PUBLIC RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE AGENCY HAVING JURISDICTION OVER
- 6. THE CONTRACTOR SHALL VERIFY LOCATION AND WATER PRESSURE BY DIRECT MEASUREMENT IN THE FIELD. IF EXISTING PRESSURE IS NOT AS STATED ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE PURCHASE OF EQUIPMENT AND BEGINNING INSTALLATION, PURCHASE OF EQUIPMENT AND ANY INSTALLATIONS WHEN EXISTING STATIC PRESSURE IS BELOW THAT STATED ABOVE SHALL THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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CAPE ARC' LANE GOODKIND

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LANE GOODKIND

CALIFORNIA

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# **IRRIGATION PLAN**

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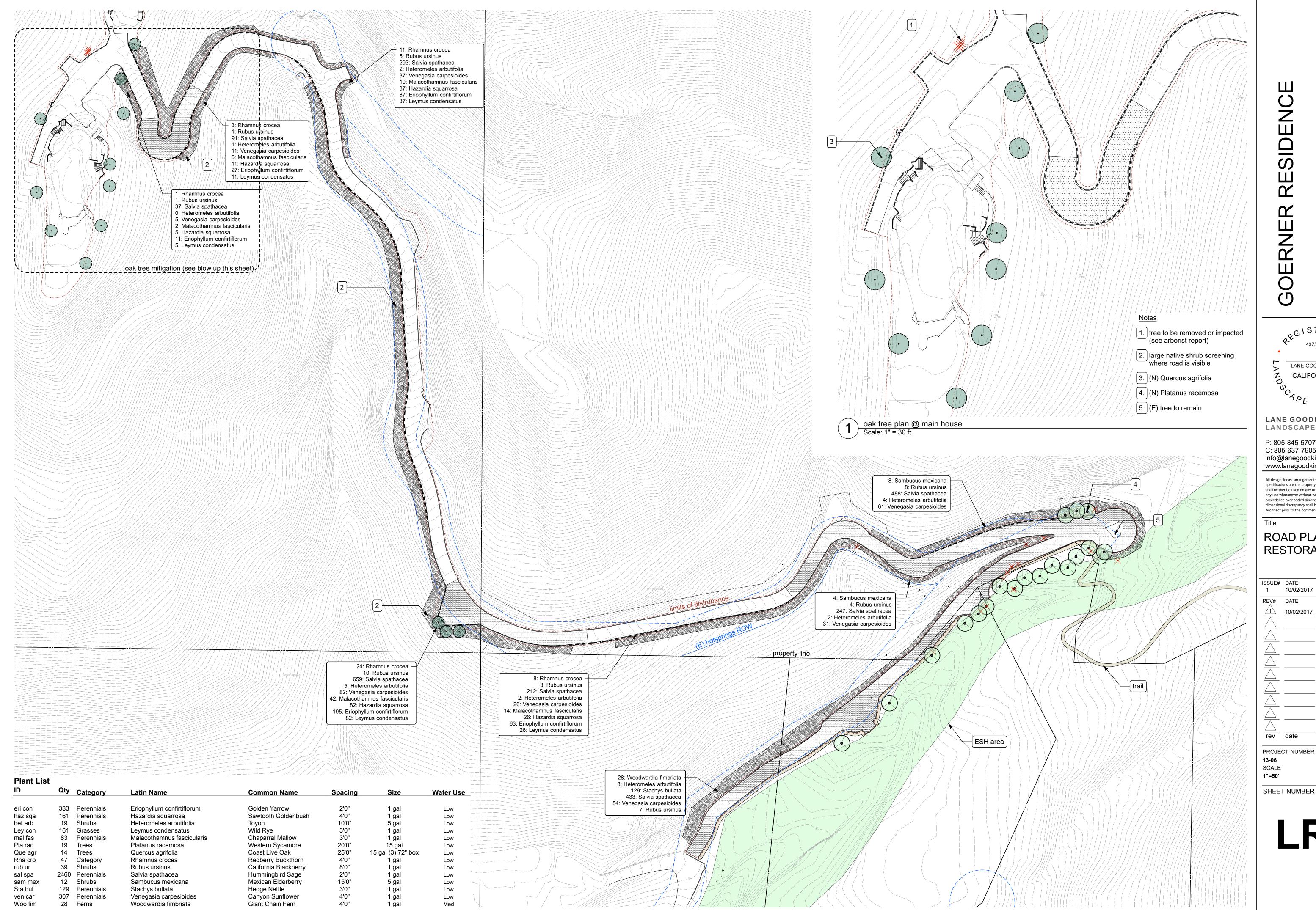
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IRRIGAT	ION VALVE	SCHEDULE				IRRIGATION	ON HEAD	SCHEDULE	
SYMBOL	MANUF	MODEL	QTY	NOTES	DETAIL	SYMBOL	MANUF	MODEL	
	Hunter	PGV	1	PGV SERIES PLASTIC PRESSURE REGULATING CONTROL VALVE, SIZE AS SHOWN, INSTALL ONE	#1-L2.1		HUNTER	PRO-12-PRS40	
				VALVE PER STD. RECT. VALVE BOX WITH LOCKING COVER AND 'RCV' HEAT BRANDED ON COVER. VALVES SHALL BE INSTALLED. IN MANIFOLDS			HUNTER	PRO-12-PRS40	
							HUNTER	PRO-12-PRS40	
TOTAL F STATION	TOTAL GPM						HUNTER	PRO-12-PRS40	

20.62 4.49 5.82 1.82 4.68 7.18 14.49 20.66 18.04

7.23 14.09 8.07

SYMBOL	MANUF	MODEL	NOZZLE	ARC	GMP	PRECIP	PSI	RADIUS	QUANT	DETAIL
	HUNTER	PRO-12-PRS40	MP2000-180	180	0.63	0.42	40	21	103	
	HUNTER	PRO-12-PRS40	MP2000-90	90	0.31	0.41	40	21	23	
	HUNTER	PRO-12-PRS40	MP1000	90	0.19	0.45	40	15	2	
	HUNTER	PRO-12-PRS40	MPSS530	STRIP	0.38	0.49	40	30	1	
	HUNTER	PRO-12-PRS-40	MPLCS515	STRIP	0.19	0.49	40	15	5	
	HUNTER	PRO-12-PRS40	MP1000-210	180	0.37	0.45	40	15	1	
	HUNTER	PRO-12-PRS40	MP2000-360	360	1.26	0.42	40	21	7	
	HUNTER	PRO-12-PRS40	MP1000-360	360	0.74	0.45	40	15	16	
	RAINBIRD	XP-600	MP-8-180	180	.52	1.58	30	8	14	
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# **ROAD PLANT RESTORATION**

ISSUE# 1	DATE 10/02/2017	ISSUED FOR Design Review
REV#	DATE	ISSUED FOR
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