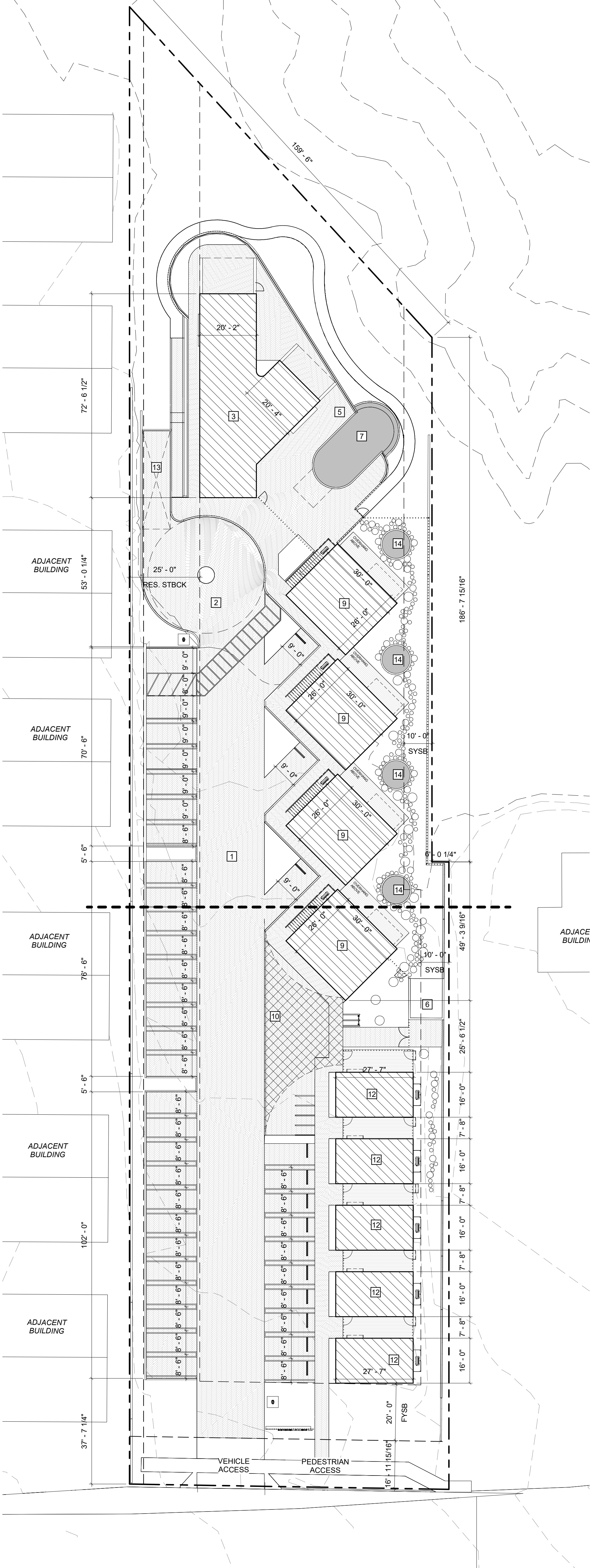


1 SITE PLAN
1" = 20'-0"



LA COSTA AVE.

PROJECT DATA

PROJECT NAME
516 LA COSTA

PROJECT ADDRESS
516 LA COSTA AVE.
ENCINITAS, CA 92024

APN #
216-030-48-00

LEGAL DESCRIPTION
A PORTION OF THE SOUTH EAST QUARTER OF SECTION 9 TOWNSHIP 13 SOUTH RANGE 4 WEST SAN BERNARDINO MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

LOT AREA
GROSS: 51,731 SF (1.19 ac)
DEDICATION: 1,933 SF
NET: 49,798 SF (1.14 ac)

LOT COVERAGE
ALLOWABLE: 18,105.91 SF (35%)
PROPOSED: 6,969 SF (13.5%)

F.A.R.
ALLOWED: 51,731.19 SF = 1.0
PROPOSED: 12,434 SF = 0.24

SETBACKS

	CODE	ACTUAL
FRONT YARD:	20'-0"	20'-0"
SIDE YARD:	10'-0"	10'-0"
SIDE YARD:	25'-0"	25'-0"
ADJ. RESIDENTIAL		
REAR YARD:	0'-0"	0'-0"
ROW EASEMENT:	25'-0"	25'-0"

LANDSCAPING
REQUIRED = 7,760 SF (15%)
PROPOSED: 16,962 SF (33%)

BUILDING CODE DATA

CONSTRUCTION TYPE
TYPE V-A

OCCUPANCY CLASS
R-1, B, S-2

FIRE SPRINKLERS
YES

WATER DISTRICT
SAN DIEGUITO WATER DISTRICT

SANITARY DISTRICT
LEUCADIA WASTEWATER

NUMBER OF STORIES
PROPOSED 2

MAX BUILDING HEIGHT
30'

GOVERNING CODES
2016 CA. BLDG. CODE
2016 UNIFORM PLUMBING CODE
2016 ELECTRICAL CODE
2016 UNIFORM MECHANICAL CODE

ZONING : VSC
GENERAL PLAN DESIGNATION: VISITOR SERVING COMMERCIAL
COASTAL: COASTAL APPEAL ZONE
CULTURAL RESOURCES OVERLAY ZONE

PERMIT NUMBER:
MULTI-002750-2018; DR-002670-2018; USE-002671-2018;
CDPNF-002672-2020; CPP-003887-2020

SCOPE OF WORK

CONSTRUCTION OF A NEW 17 ROOM BOUTIQUE HOTEL, WITH POOL AND SPA DECK AMENITY, PUBLIC RESTAURANT WITH OUTDOOR DINING AREA, ALCOHOL SERVICE LICENCES AND MONUMENT SIGN. NO ON-SITE CONSTRUCTION TRAILER PROPOSED

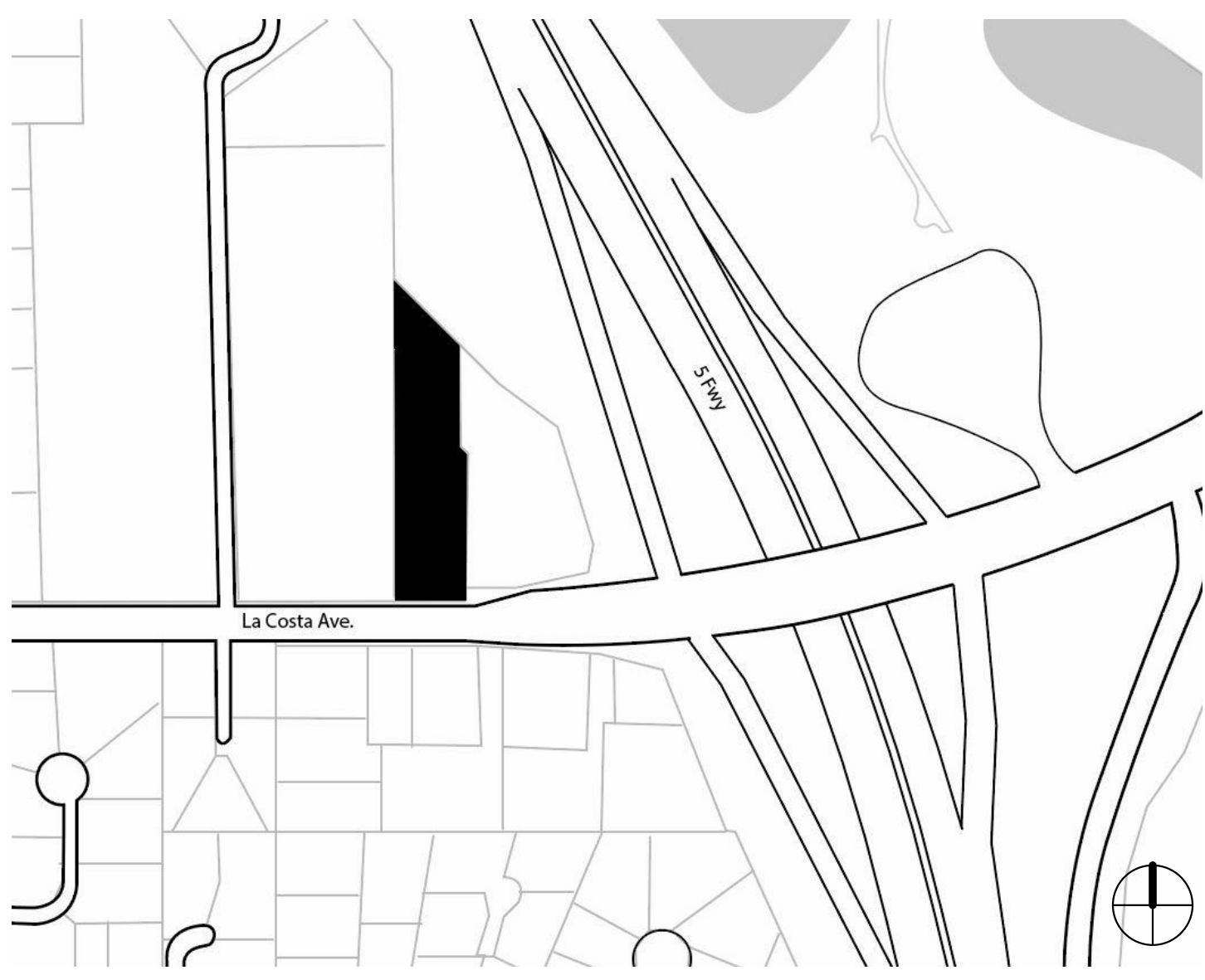
ABC LICENCES:
47-ON SALE GENERAL EARING PLACE
66-CONTROLLED ACCESS PERMIT
58-CATERERS
68-PORTABLE LICENSE

PERMITS REQUIRED:
MINOR USE PERMIT, DESIGN REVIEW, COASTAL DEVELOPMENT PERMIT

KEYNOTES

- 1 DRIVEWAY
- 2 MOTOR COURT
- 3 RESTAURANT
- 4 UNDERGROUND SPA QUIPMENT AREA
- 5 TRASH
- 6 MAIN SPA
- 7 QUONSET HUT UNITS
- 8 FIRE TURNAROUND
- 9 BUNGALOW UNITS
- 10 LOADING SPACE
- 11 HOTEL PRIVATE SPAS

VICINITY MAP



SHEET INDEX

- A0.00 CDP TITLE SHEET
- A0.01 NOTES
- A0.02 EXISTING SITE CONDITION
- C1 PRELIMINARY GRADING PLAN
- C2 PRELIMINARY GRADING & DRAINAGE PLAN
- C3 PRELIMINARY GRADING & DRAINAGE PLAN
- C4 STRIPING & IMPROVEMENTS EXHIBIT
- C5 OFFSITE DRAINAGE EXHIBIT
- C6 SLOPE ANALYSIS
- A0.03a PROPOSED SITE PLAN
- A0.03b PROPOSED SITE PLAN
- A0.04 TRASH ENCLOSURE DETAILS
- A1.01a FLOOR PLAN - LEVEL 1
- A1.01b FLOOR PLAN - LEVEL 1
- A1.02a FLOOR PLAN - LEVEL 2
- A1.02b FLOOR PLAN - LEVEL 2
- A1.03a ROOF PLAN
- A1.03b ROOF PLAN
- A1.04 ENLARGED RESTAURANT/ COMMUNAL AREAS
- A1.05 ENLARGED RESTAURANT/ COMMUNAL AREAS
- A1.06 ENLARGED PLAN BUILDING TYPE A
- A1.07 ENLARGED PLAN BUILDING TYPE B
- A2.01 GENERAL ELEVATIONS
- A2.02 ELEVATIONS RESTAURANT
- A2.03 ELEVATIONS
- A2.04 ELEVATIONS
- A7.04 WALL DETAILS
- A7.05 DETAILS
- A10.1 AREA PLAN (PROPOSED)
- A10.2 PARKING DIAGRAM
- A10.3 ALCOHOL DIAGRAM
- A10.4 SEATING DIAGRAM
- A10.5 SIGNAGE
- A10.6 OUTDOOR SPEAKERS
- E1.0 EXTERIOR LIGHTING PLAN
- L1.0 PROPOSED LANDSCAPE PLAN
- L1.1 IRRIGATION PLAN
- MB-1 MATERIAL BOARD
- MB-2 MATERIAL BOARD
- MB-3 MATERIAL BOARD

FLOOR AREA ANALYSIS

ALLOWABLE AREA:

GROSS AREA:	51,731 SF
EASEMENT:	1,933 SF
NET LOT AREA:	49,798 SF

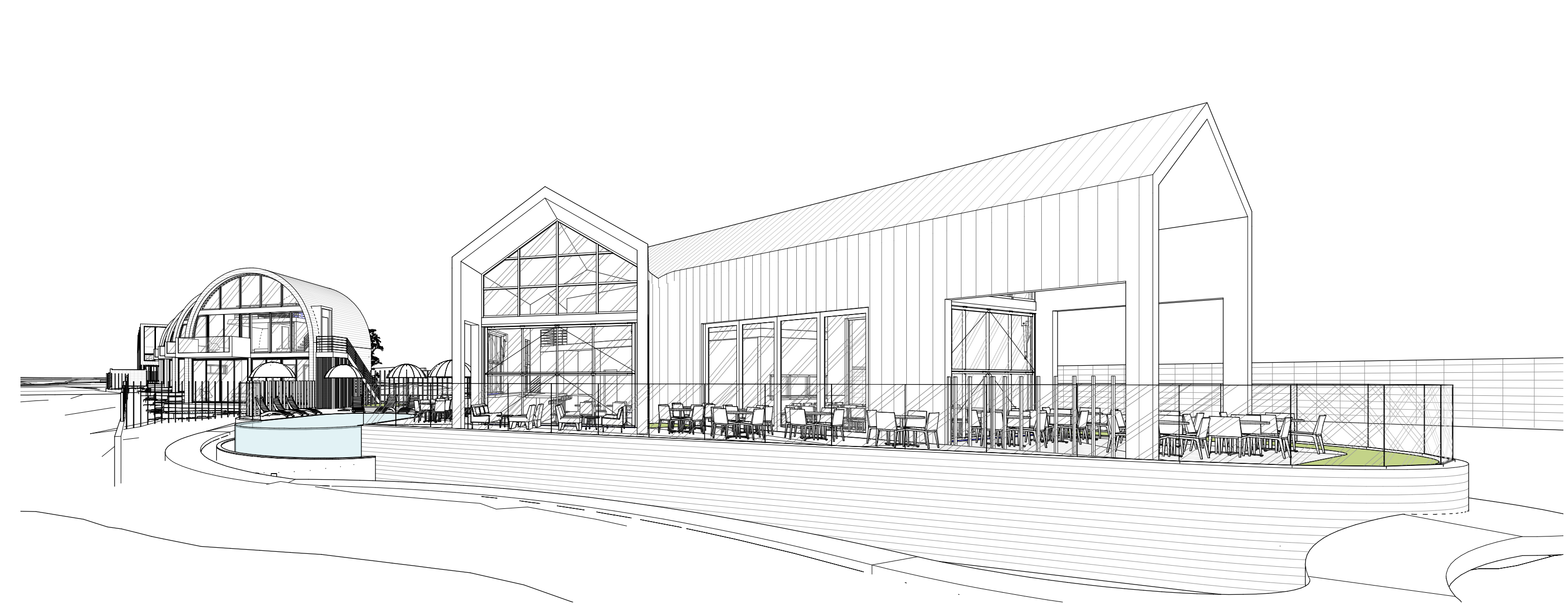
PROPOSED AREA BREAKDOWN:

NAME	AREA
CIRCULATION-EXTERIOR	5,302 SF
LANDSCAPE	16,968 SF
PARKING	17,329 SF
TRASH	185 SF
BAR	191 SF
CIRCULATION-INTERIOR	100 SF
HOTEL OFFICE	269 SF
HOTEL OFFICE MEZZANINE	179 SF
HOTEL SERVICE	159 SF
KITCHEN B.O.H	451 SF
DECK - UNITS	2,161 SF
SPA	933 SF
SPA LOUNGE	1,845 SF
LOBBY	184 SF
RESTAURANT	890 SF
RESTROOM-MEN	50 SF
RESTROOM-WOMENS	43 SF
OUTDOOR DINING	345 SF

BUNGALOW	3,210 SF
QUONSET HUT	6,708 SF
TOTAL GROSS	12,434 SF

*NO OUTDOOR AREAS INCLUDED

PERSPECTIVE VIEW



GENERAL NOTES

- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE FOR THE BUILDING OWNER.
- ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE ENCINITAS FIRE DEPARTMENT

DEFERRED SUBMITTAL

-FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, POOL

FIRE ALARM SYSTEM

EXISTING AUTOMATIC FIRE ALARM SYSTEM SHALL REMAIN AND BE VERIFIED FOR COMPLIANCE FIRE CODE AND WITH SECTION 901 OF CBC. AS PER N.F.P.A. 72, THE MOST CURRENT EDITION SHALL BE USED & THE ENCINITAS FIRE DEPT. POLICIES. FIRE. ANY NEW FIRE ALARM INSTALLATION MUST BE BY A C10 LICENSED ALARM CONTRACTOR. CALIFORNIA FIRE CODE AND ENCINITAS FIRE DEPARTMENT REQUIREMENTS

AUTOMATIC FIRE SPRINKLER SYSTEM

EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE VERIFIED FOR THE COMPLIANCE WITH SECTION 901 OF THE CBC. AS PER N.F.P.A. 13R, THE MOST CURRENT EDITION SHALL BE USED & THE ENCINITAS FIRE DEPT. POLICIES. SPRINKLER PLANS SHALL BE SUBMITTED TO THE PREVENTION BUREAU & APPROVED FOR COMPLIANCE IF MORE THAN 10 SPRINKLER HEADS ARE MOVED. ANY NEW SPRINKLER HEADS INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR. STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. A CLASS I OR CLASS II COMBINED WET STANDPIPE SYSTEM IS REQUIRED. STANDPIPE SYSTEM SHALL BE DESIGNED AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. EXISTING STANDPIPE SHALL BE VERIFIED TO MEET STANDARDS.

PROJECT TEAM

- OWNER**
DM LA COSTA, LLC
P.O. BOX 232370
ENCINITAS, CA. 92023
858.228.7116
chris@dasmod.com
- DESIGNER/ ARCHITECT**
THE BROWN STUDIO, INC.
1144 N. COAST HWY. 101
ENCINITAS, CA. 92024
619.577.4610
lindsay@thebrownstudio.com
- CIVIL ENGINEER**
PASCO LEURED SUITER & ASSOCIATES
BRIAN ARDOLINO, PE, QSD
535 N HIGHWAY 101 STE A
SOLANA BEACH, CA 92075
858.259.8212 EXT 111
bardolino@plsaeengineering.com
- LANDSCAPE ARCHITECT**
DESIGN WORKSHOP
XIAOJIAN FAN
527 W. 7TH STREET, SUITE 508
LOS ANGELES, CA 90014
213.426.1763
xfan@designworkshop.com
- TRAFFIC ENGINEER**
MIZUTA TRAFFIC CONSULTING, INC.
MARK MIZUTA
5694 MISSION CENTER ROAD, #602-121
SAN DIEGO, CA 92108
858.752.8212
mizutatrafficconsulting@gmail.com
- ENVIRONMENTAL CONSULTANT**
LEIGHTON GROUP
BRYAN E. VOSS PG
3934 MURPHY CANYON ROAD, SUITE B205
SAN DIEGO, CA 92123
858.300.8497
bvoss@leightongroup.com
- GREENHOUSE GAS CONSULTANT**
EILAR ASSOCIATES, INC.
MELISSA COUNTS
210 SOUTH JUNIPER STREET, SUITE 100
ESCONDIDO, CA 92025
760.738.5570
mcounts@eilarassociates.com
- ACOUSTICAL CONSULTANT**
EILAR ASSOCIATES, INC.
JONATHAN BROTHERS
210 SOUTH JUNIPER STREET, SUITE 100
ESCONDIDO, CA 92025
760.738.5570 EXT 101
jbrothers@eilarassociates.com
- ARCHIOLOGICAL CONSULTANT**
ECORP CONSULTING, INC.
Lisa Westwood, RPA
2525 WARREN DRIVE
ROCKLIN, CA 95677
916.782.9100
lwestwood@ecorpconsulting.com

PROJECT NO. -

DRAWN BY: TBS

CHECKED BY: COE

DATE: 02/16/2021

REVISIONS:

1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

THE BROWN STUDIO INC.
1144 N. COAST HWY 101
ENCINITAS, CA 92024
619.577.4610
lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

PROJECT NO.
DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
CDP TITLE SHEET

SHEET NUMBER

A0.00

THESE DRAWINGS, ASSOCIATED SPECIFICATIONS, RELATED PROJECT DOCUMENTS, AND OTHER INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE DESIGNER AND CONSULTANTS-OF-RECORD. THEY SHALL NEITHER BE EXECUTED NOR USED FOR ANY OTHER WORK EXCEPT BY SPECIFIC AGREEMENT WITH THE DESIGNER. (C) 2019 THE BROWN STUDIO INC.

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ARCHITECTURAL ABBREVIATIONS

A.B.	Anchor Bolt	K.D.	Knock Down
ACT	Acoustical Ceiling Tile	KIT	Kitchen
ADJ	Adjustable	K.P.	Kick Plate
ADJT	Adjacent		
A.F.F.	Above Finish Floor	LAM	Laminate
AGGR	Aggregate	LAV	Lavatory
ALUM	Aluminum	LB(S)	Pound(s)
ALT	Alternate	LF	Linear Feet
APPROX	Approximate	LH	Left Hand
ARCH	Architectural	LL	Landlord
ASPH	Asphalt	LT	Light (ing)
BD	Board	MACH	Machine
BITUM	Bituminous	MAS	Masonry
BLDG	Building	MAT	Material
BLKG	Blocking	MAX	Maximum
BM	Beam	MECH	Mechanical
B.O.	Bottom Of	MEZZ	Mezzanine
BSMT	Basement	MFR	Manufacturer
B.S.	Both Sides	MIN	Minimum
		MISC	Miscellaneous
CAB	Cabinet	M.O.	Masonry Opening
CEM	Cement	MTD	Mounted
CER	Ceramic	MTL	Metal
C.H.	Ceiling Height	MUL	Mullion
C.J.	Control Joint		
CLG	Ceiling	N.I.C.	Not In Contact
CLR	Clear/Clearance	NO or #	Number
CMU	Concrete Masonry Unit	NOM	Nominal
CONN	Connection	NTS	Not To Scale
COL	Column		
CONC	Concrete	O.A.	Overall
CONSTR	Construction	OBS	Obscure
CONT	Continuous	OFF	Office
COORD	Coordinate	OPP	Opposite
C.T.	Ceramic Tile	O.S.A.	Outside Air
CTR	Center		
		PART	Partition
DBL	Double	PCF	LBS per Cubic Feet
DEPT	Department	PLUMB	Plumbing
DET	Detail	PLAM	Plastic Laminate
DIA	Diameter	PLAS	Plaster
DIM	Dimension	PR	Pair
D.O.	Door Opening	PREFAB	Prefabricated
DWG	Drawing	PT	Paint/Painted
		PLYWD	Plywood
(E)	Existing		
EA	Each	Q.T.	Quarry Tile
E.J.	Expansion Joint		
ELEV	Elevation	R	Riser
EQ	Equal	RAD	Radius
EQUIP	Equipment	REC	Recessed
EST	Estimate	REF	Reference
EXH	Exhaust	REFRIG	Refrigerator
EXP	Expansion	REG	Register
EXIST	Existing	REINF	Reinforcing
EXT	Exterior	REQ	Required
		REV	Revision
F.A.	Fire Alarm	RH	Right Hand
FAB	Fabrication	RM	Room
F.D.	Floor Drain	R.O.	Rough Opening
FDN	Foundation	R.W.L.	Rain Water Leader
F.E.	Fire Extinguisher		
F.E.C.	Fire Extinguisher Cabinet	S.C.	Solid Core
F.F.E.	Finish Floor Elevation	SCHEDE	Scheduled
FIN	Finish	SECT	Section
FIXT	Fixture	SF	Square Foot/Feet
FLUOR	Fluorescent	SHT	Sheet
F.O.S.	Face of Stud	SIM	Similar
FP	Fireproofing	SPEC	Specification
FRP	Fiberglass Reinf. Panel	SQ	Square
FRT	Fire Treated	S.S.	Stainless Steel
FT	Foot/Feet	STD	Standard
FURR	Furring	STL	Steel
		STOR	Storage
GA	Gauge	STRUC.	Structural
GALV	Galvanized	SUSP	Suspended
G.B.	Grab Bar	SYS	System
G.C.	General Contractor		
GL	Glass	T	Tread
GND	Ground	T.C.	Top of Curb
GR	Grade	TEL	Telephone
GWB	Gypsum Wall Board	T&G	Tongue and Groove
GYP	Gypsum	THR	Threshold
		T.O.	Top Of
H.C.	Hollow Core	TRANS	Transformer
H.C.W.	Hollow Core Wood	TYP	Typical
HDWD	Hardwood		
HDWE	Hardware	U.O.	Underside Of
H.M.	Hollow Metal	U.N.O.	Unless Noted
HOR	Horizontal		Otherwise
HT	Height		
HVAC	Heating Ventilating & Air Conditioning	VCT	Vinyl Composition Tile
H.W.	Hot Water	VERT	Vertical
H.W.H.	Hot Water Heater	V.I.F.	Verify In Field
I.D.	Inside Diameter (DIM)	W.C.	Water Closet
IN	Inch	WD	Wood
INFO	Information	W/	With
INSUL	Insulation	W/O	Without
INT	Interior	WSCT	Wainscott
INCL	Includes	WT	Weight
JT	JOINT		

PLAN SYMBOL LEGEND

	Key Note
	Door Mark
	Window
	Finish Note
	Wall Type
	Room
	Equipment
	Fixtures
	Elevation
	Interior Elevation
	Elevation Datum
	Building Section
	Detail Marker
	Detail & Bubble
	Detail Section Marker

GENERAL NOTES

-SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER THE CA FIRE CODE AND ENCINITAS FIRE DEPARTMENT.
 -ALL GATES OR OTHER STRUCTURES OR DEVICES WHICH WOULD OBSTRUCT FIRE ACCESS ROADWAYS OR OTHERWISE HINDER EMERGENCY OPERATIONS, ARE PROHIBITED UNLESS THEY MEET STANDARDS APPROVED BY THE FIRE DEPARTMENT. AN APPROVED EMERGENCY KEY-OPERATED SWITCH.
 -PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING CONSTRUCTION MATERIALS TO THE PROJECT SITE ALL OF THE FOLLOWING CONDITIONS SHALL BE COMPLETED TO THE SATISFACTION OF THE FIRE DEPARTMENT: 1. ALL WET AND DRY UTILITIES SHALL BE INSTALLED AND APPROVED BY THE APPROPRIATE INSPECTING DEPARTMENT OR AGENCY; 2. AS A MINIMUM THE FIRST LIFT OF ASPHALT PAVING SHALL BE IN PLACE TO PROVIDE A PERMANENT ALL-WEATHER SURFACE FOR EMERGENCY VEHICLES, AND 3. WATER SUPPLY FOR FIRE PROTECTION (FIRE HYDRANTS AND STANDPIPES) SHALL BE INSTALLED, IN SERVICE AND ACCEPTED BY THE FIRE DEPARTMENT AND APPLICABLE WATER DISTRICT.

PROJECT NO.	-	
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

THE BROWN STUDIO INC.
 1144 N. C O O R S E H W Y 101
 E N C I N I T A S C A 9 2 0 2 4
 619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

PROJECT NO.	-
DRAWINGS PREPARED BY:	LINDSAY BROWN

SHEET TITLE
NOTES

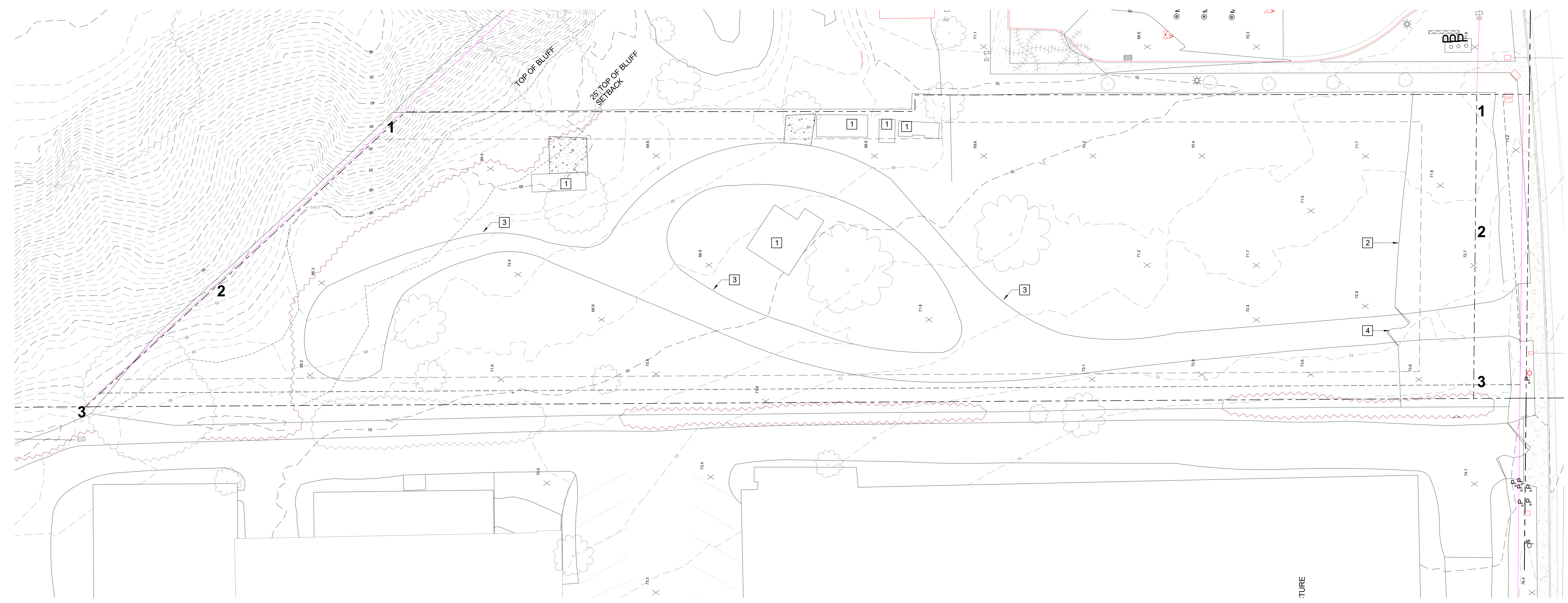
SHEET NUMBER

A0.01

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PROJECT NO. -
DRAWN BY: Designer
CHECKED BY: Checker
DATE: 08/03/2021
REVISIONS:
1 03/16/2020 CDP-SUB 2
2 02/16/2020 CDP-SUB 3

THE BROWN STUDIO INC.
144 N. COGSHAW ST.
ENCINITAS, CA 92024
619.577.4610 lindsay@thebrownstudio.com



1 EXISTING SITE PLAN
1/16" = 1'-0"

KEYNOTES

1	CANOPY
2	FENCE
3	DIRT ROAD
4	GATE

NOTES

516 LA COSTA
Case No. 18-188 DR/MUP/CDP

PROJECT NO. -
DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
EXISTING SITE CONDITION

SHEET NUMBER

A0.02

PRELIMINARY GRADING PLAN

18-188 MIN/DR/CDP

MULTI-002750-2018; DR-002670-2018; USE-002671-2018; CDFNF-002672-2020; CPP-003887-2020

516 LA COSTA AVENUE


APN: 216-030-48

NOTES:

1. ANY PORTION OF THE EXISTING SIDEWALK OR ANY OTHER PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE NEXT JOINT TO THE SATISFACTION OF THE CITY ENGINEER.
2. EXISTING SURVEY MONUMENTS SHALL BE PROTECTED IN-PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND SHALL FILE A CORNER RECORD WITH THE COUNTY OR BE INCLUDED WITH THE FINAL PARCEL MAP.
3. TRASH ENCLOSURE SHALL BE FITTED TO COMPLY WITH STORM WATER BEST MANAGEMENT PRACTICE REQUIREMENTS. THE TRASH ENCLOSURE SHALL HAVE AN IMPERVIOUS NON-COMBUSTIBLE ROOF THAT WILL NOT ALLOW RAIN WATER TO ENTER THE ENCLOSURE. THE ENCLOSURE SHALL BE LOCKABLE AND LOCKED WHEN NOT IN USE. A WIDE FLAT BERM SHALL BE INSTALLED AT ALL OPENINGS TO HOLD IN ANY LIQUIDS THAT ESCAPE FROM THE DUMPSTER AND TO PREVENT ANY FLOW OF STORM WATER THROUGH THE TRASH ENCLOSURE AREA.
4. ALL NEW UTILITY SERVICES TO BE INSTALLED UNDERGROUND.
5. BMPs ARE TO BE PRIVATELY MAINTAINED AND THE FACILITIES NOT MODIFIED OR REMOVED WITHOUT A PERMIT FROM THE CITY.
6. ALL STREET SIGNS, LIGHTS, LAMPS, UTILITIES, ETC., LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED IN-PLACE DURING CONSTRUCTION OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
7. FIRE ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF NOT LESS THAN 75,000 POUNDS AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. AMENDMENT 503.2.3

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM THE RECORD OWNER OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROAD RIGHTS-OF-WAY.

OWNER: 
 LINDSAY BROWN
 DM LA COSTA AVENUE, LLC
 1650 N. COAST HIGHWAY 101
 ENCINITAS, CA 92024

DEVELOPER: DM LA COSTA AVENUE, LLC
 1650 N. COAST HIGHWAY 101
 ENCINITAS, CA 92024

SITE ADDRESS: 520 LA COSTA AVENUE
 ENCINITAS, CA, 92024
 ABBRV. LEGAL DESCRIPTION: ALL THAT PORTION OF LOT 1, AVOCADO ACRES NO. 3 IN THE CITY OF ENCINITAS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2063 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 3, 1927, PER DESCRIPTION PER DOC. 2018-0006371, RECORDED 1-5-18.

ASSESSOR'S PARCEL NUMBER: 216-030-48
 CALIFORNIA COORDINATES: 334-1677
 TOTAL ACREAGE: 51,731 SF (1.19 AC)
 TOTAL GROSS ACREAGE: 51,731 SF (1.19 AC)
 TOTAL NET ACREAGE: 49,798 SF (1.14 AC)
 AREA DEVOTED TO: PUBLIC STREETS = 1,933 SF
 PRIVATE ROADS = 0 SF

TOTAL LOTS: 1 VISITOR SERVING COMMERCIAL LOT
 GENERAL PLAN DESIGNATION: VISITOR SERVING COMMERCIAL
 PRESENT ZONING REGULATIONS: VSC
 FLOOR AREA RATIO: 1.0
 HEIGHT: PER EMC SECTION 30.20.010
 PARCEL COVERAGE: 35% MAX
 LANDSCAPING: 15%
 MINIMUM NET LOT SIZE: 10,000 SF

SETBACKS:
 FRONT YARD: 20' FROM ULTIMATE R.O.W.
 INTERIOR SIDE YARD: 10' FROM P/L
 REAR YARD: 0' FROM P/L
 STREET SIDE YARD: 20' FROM P/L
 PRESENT USE: VACANT
 PROPOSED USE: HOTEL
 ACCESS: LA COSTA AVENUE

UTILITIES:
 WATER: SAN DIEGUITO WATER DISTRICT
 FIRE: ENCINITAS FIRE PROTECTION DISTRICT
 SEWER: LEUCADIA WASTEWATER DISTRICT
 ELEMENTARY SCHOOL: ENCINITAS UNION SCHOOL DISTRICT
 HIGH SCHOOL: SAN DIEGUITO UNION HIGH SCHOOL DISTRICT

TOPOGRAPHY: TOPOGRAPHY IS DRAWN FROM A AERIAL SURVEY PERFORMED BY AEROTECH MAPPING DATED FEBRUARY 10, 2015

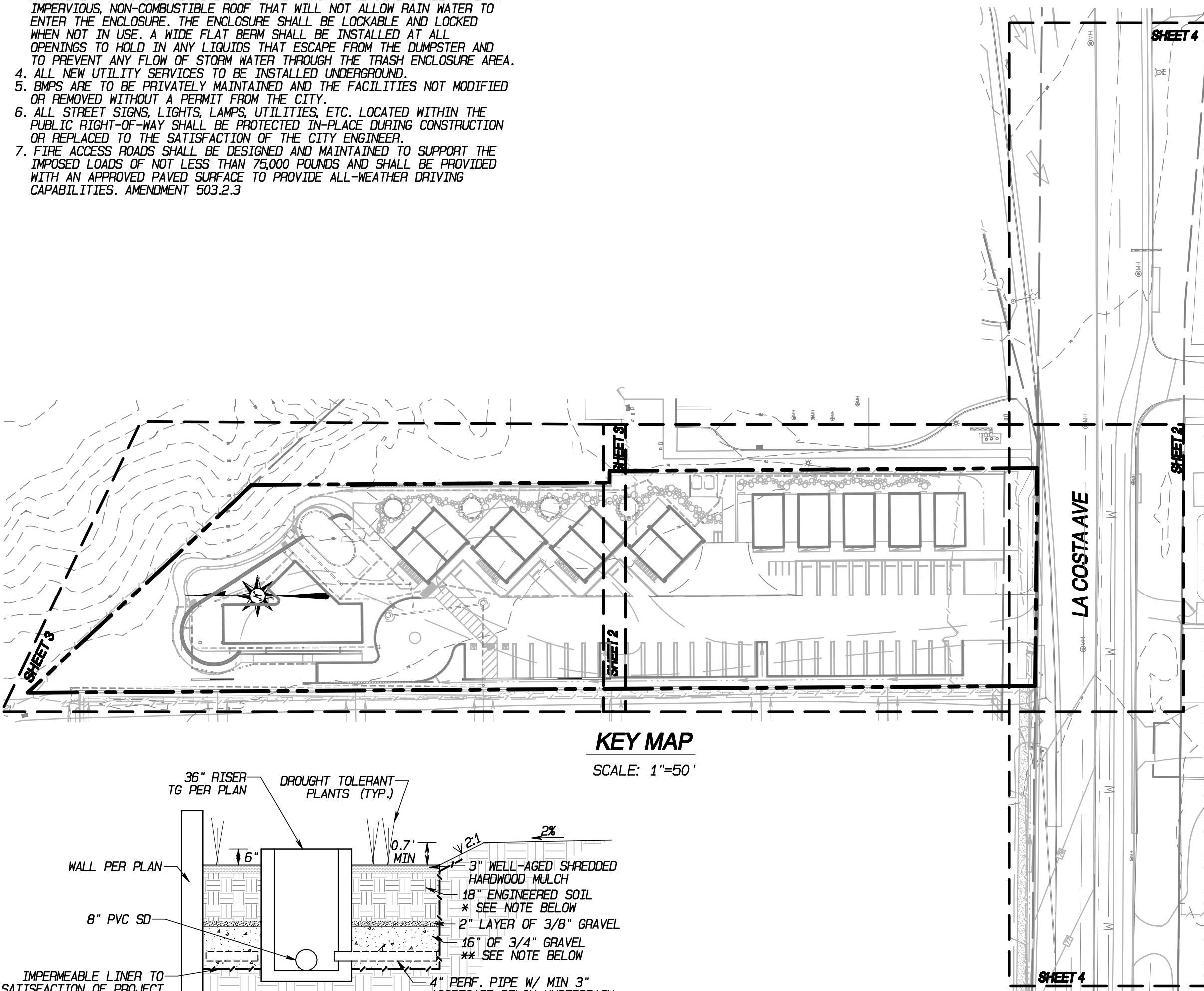
PREPARED BY: PASCO LARET SUITER & ASSOCIATES
 535 N. HIGHWAY 101, SUITE A
 SOLANA BEACH, CA 92075
 (858) 259-8212



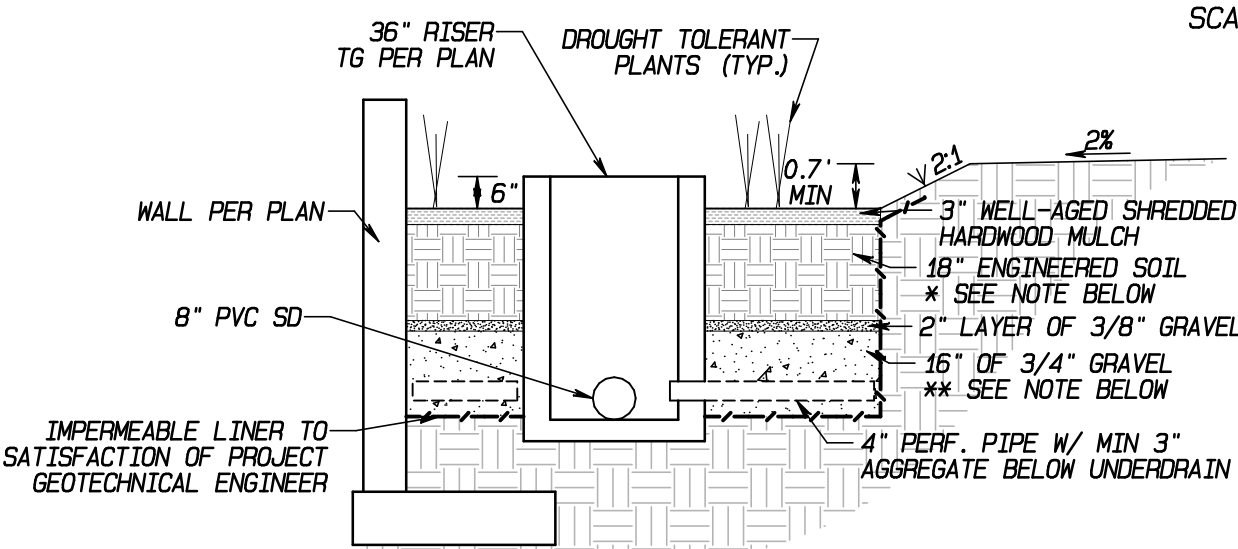
DATE PREPARED: 8/27/2018
 REVISED: 3/29/2019
 12/18/2019
 8/11/2022

EARTHWORK DATA: MAXIMUM VERTICAL DEPTH OF CUT = 4.2'
 MAXIMUM VERTICAL HEIGHT OF FILL = 3.2'
 CUT = 2,060 C.Y. FILL = 900 C.Y.
 EXPORT = 1,160 C.Y.
 REMEDIAL = 1,720 C.Y.
 (3.5' REMOVAL AND RECOMPACTION UNDER BUILDINGS)

GRADING NOTE:
 GRADING SHOWN HEREON IS CONCEPTUAL ONLY. FINAL GRADING PLANS WILL BE SUBMITTED AND APPROVED PRIOR TO FINAL MAP APPROVAL.
 IMPERVIOUS SURFACE QUANTITIES:
 PRE-DEVELOPED CONDITION: 180 SF ON-SITE
 POST-DEVELOPED CONDITION: 7,266 SF ON-SITE



KEY MAP
 SCALE: 1"=50'



* BIORETENTION ENGINEERED SOIL LAYER SHALL BE MINIMUM 18" DEEP SANDY LOAM SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 65% SAND, 15% COMPOST OR HARDWOOD MULCH, AND 20% TOPSOIL, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS, AND ALSO FREE OF NOXIOUS WEEDS.

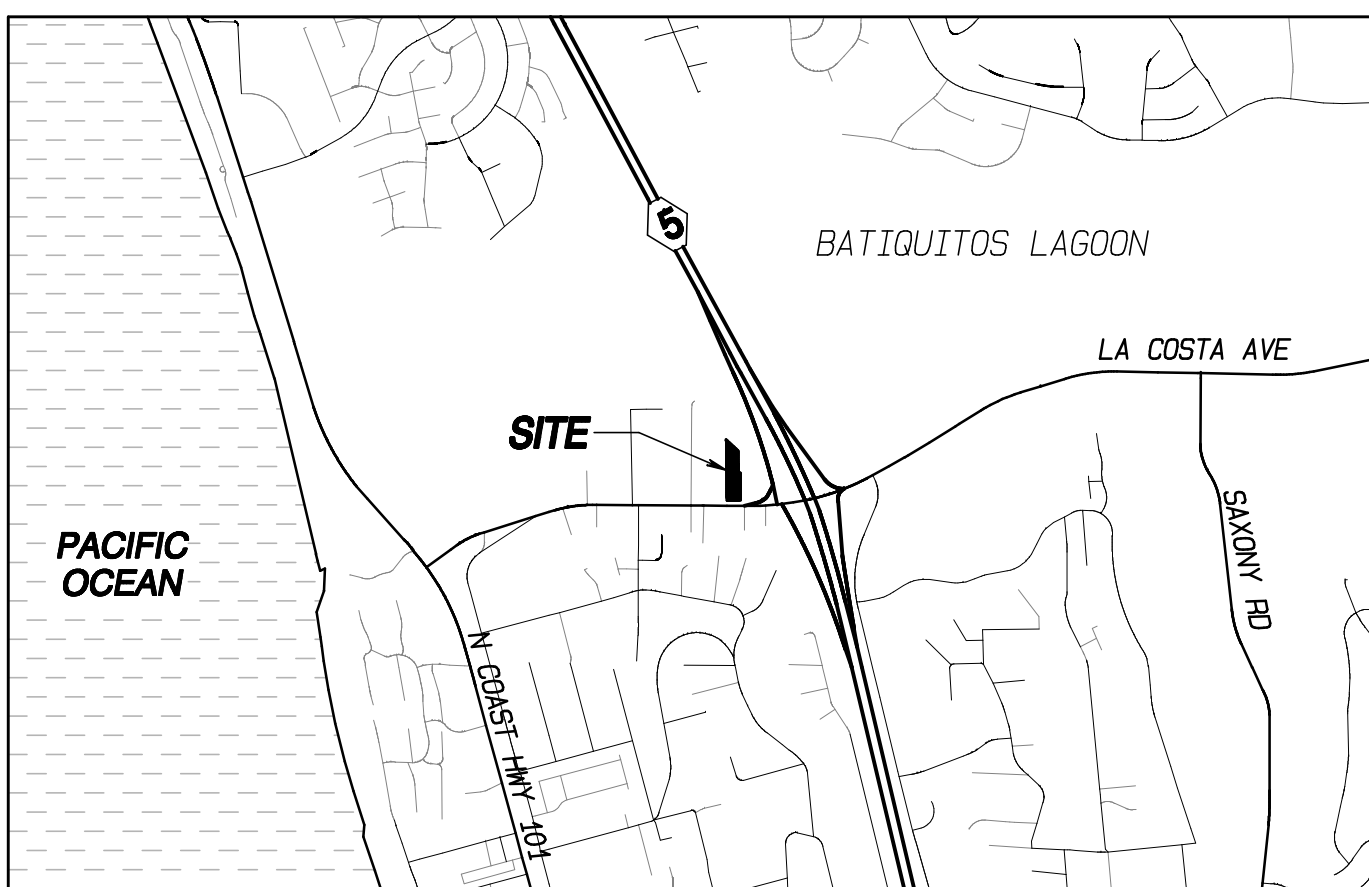
** 3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 16" BUT MAY BE DEEPENED TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE DETAIL.

THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CALCULATION.

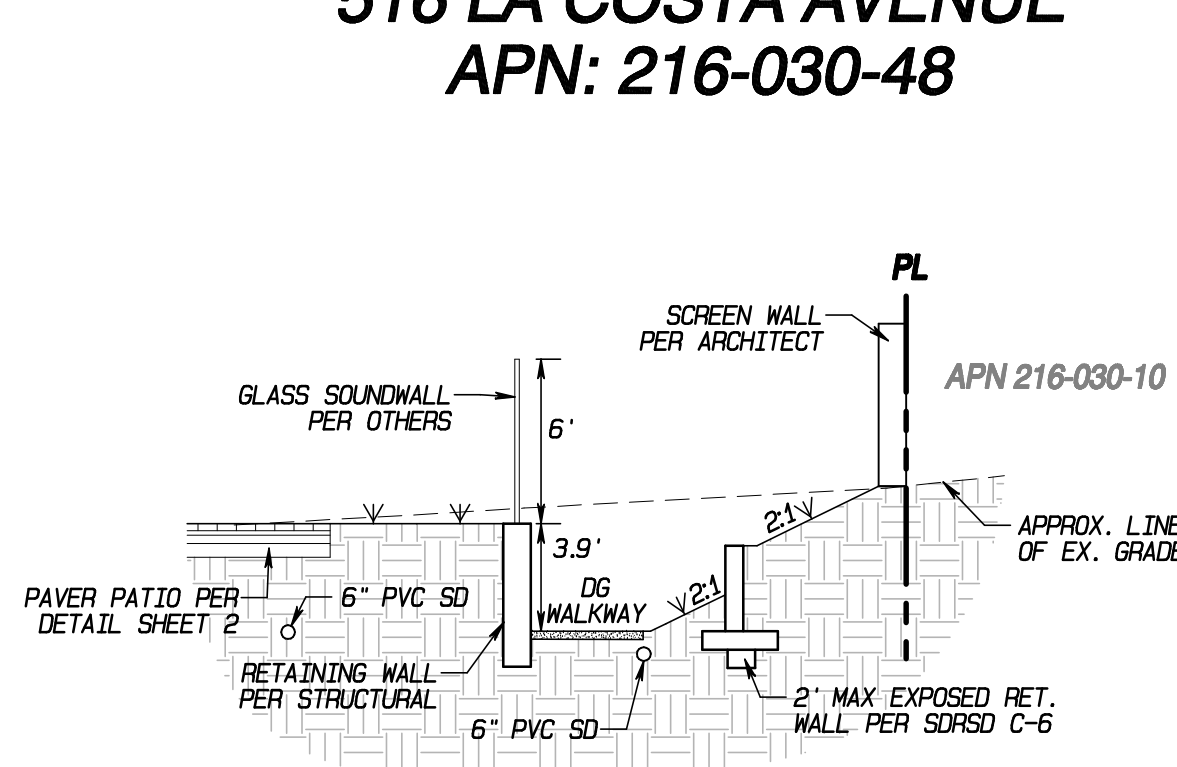
ALL BIORETENTION PLANTERS TO BE DEPRESSED AT LEAST 12" BELOW ADJACENT FINISHED SURFACE.

NOT TO BE MODIFIED WITH A PERMIT FROM THE CITY OF ENCINITAS.

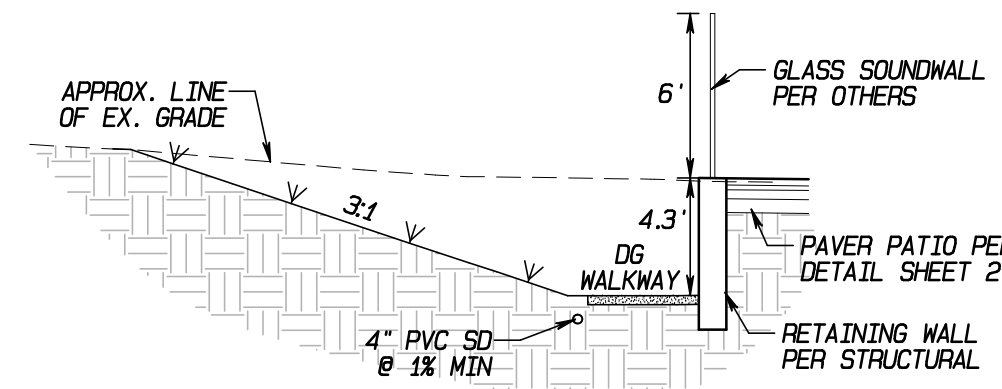
BIORETENTION BASIN DETAIL
 NTS



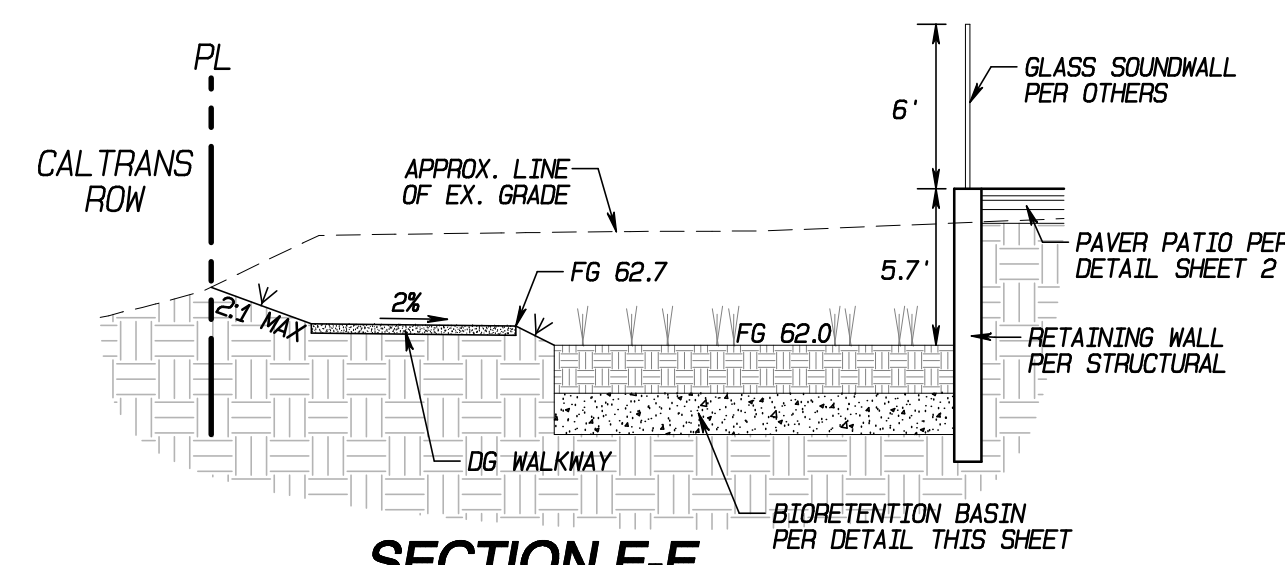
VICINITY MAP
 NTS



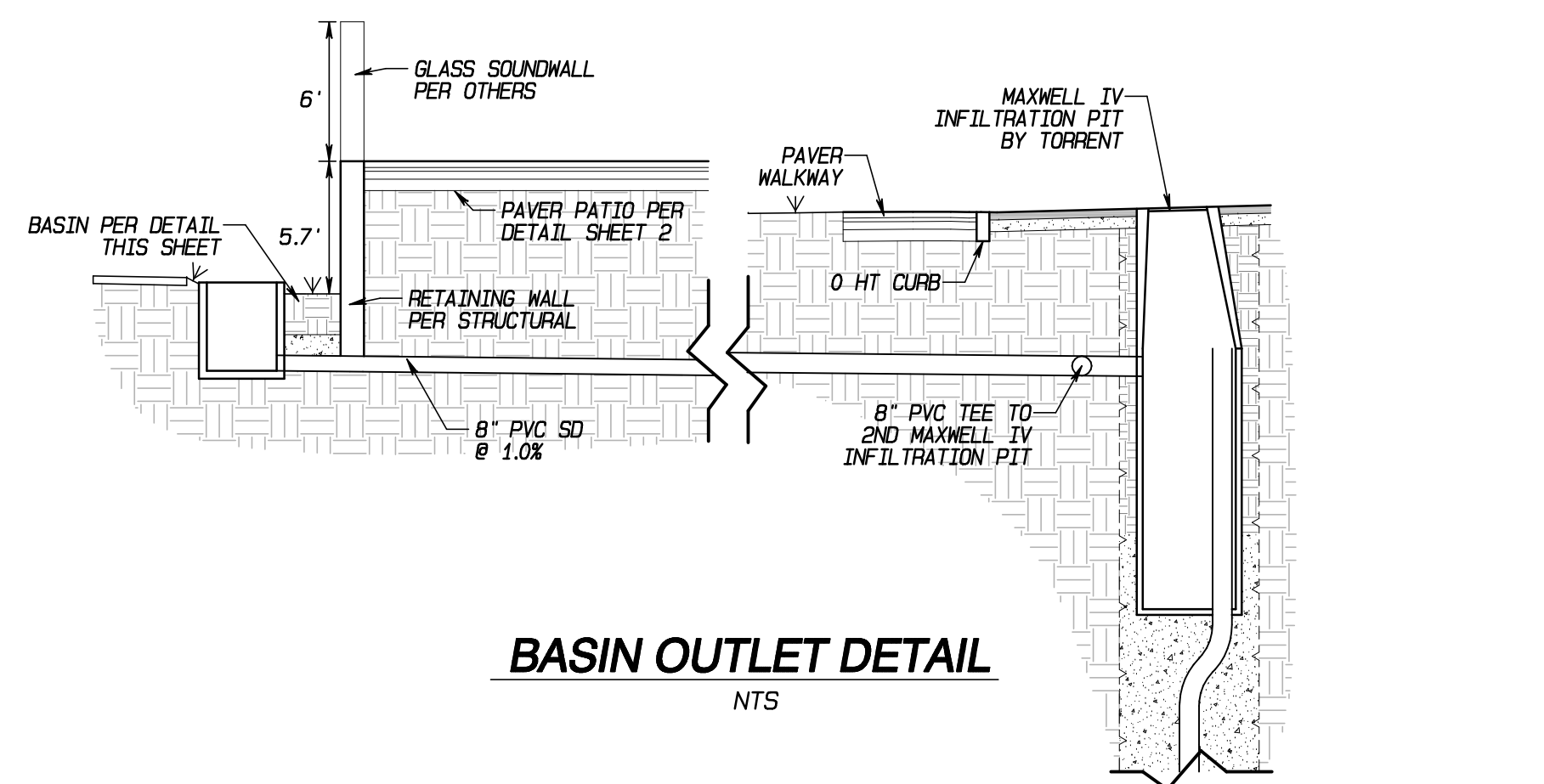
SECTION C-C
 NTS



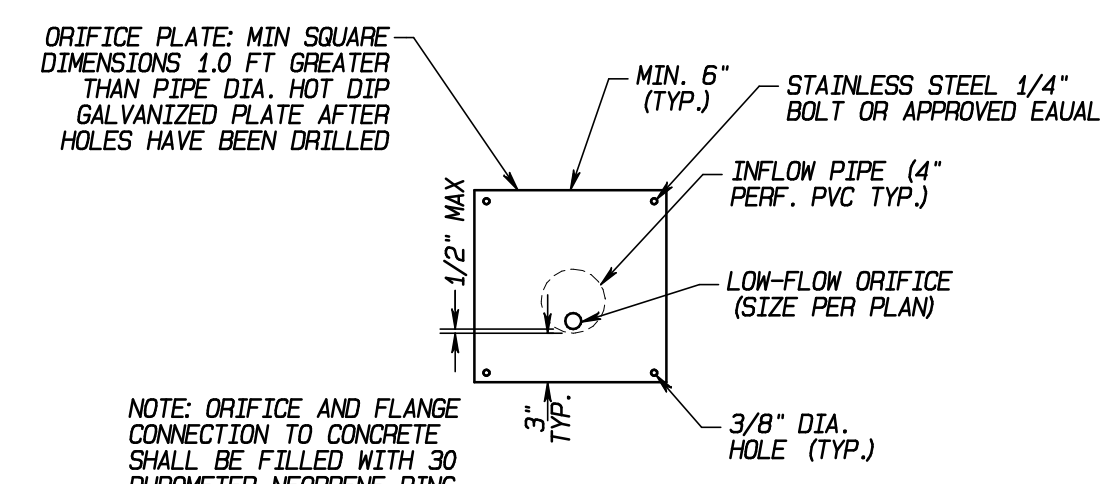
SECTION D-D
 NTS



SECTION E-E
 NTS



BASIN OUTLET DETAIL
 NTS



FLOW CONTROL ORIFICE PLATE DETAIL
 NTS

LEGEND

- S.D.R.S.D. = SAN DIEGO REGIONAL STANDARD DRAWINGS
- PROPERTY BOUNDARY: - - - - -
 - PROPOSED CONTOURS: - - - - - 255
 - EXISTING CONTOURS: - - - - - 255
 - CENTERLINE: - - - - -
 - EXISTING WATER MAIN: - W - W -
 - EXISTING SEWER MAIN: - S - S -
 - EXISTING GAS MAIN: - G - G -
 - EXISTING MANHOLE: ○
 - DRAINAGE DIRECTION: →
 - PROPOSED PCC PAVING: [Pattern]
 - PROPOSED BUILDING FOOTPRINT: [Pattern]
 - PROPOSED STORMDRAIN PIPE PER PLAN: = = = = =
 - PROPOSED AREA DRAIN: □
 - PROPOSED 36"X36" INLET: [Symbol]
 - PROPOSED WATER SERVICE: W (W)
 - PROPOSED SEWER LATERAL: S (S)
 - PROPOSED IRRIGATION SERVICE: W (I)
 - PROPOSED FIRE BACKFLOW: W (FS) (FP)
 - PROPOSED PUBLIC WATER MAIN: W - W -
 - PROPOSED PUBLIC 6" SEWER: S - S -
 - PROPOSED PRIVATE SEWER MAIN: S - S -
 - PROPOSED PRIVATE SEWER FORCE MAIN: FM
 - PROPOSED PUBLIC SEWER MH: [Symbol]
 - BMP AREA: [Pattern]
 - PROPOSED CURB: [Pattern]
 - PROPOSED ARCHITECTURAL WALL: [Pattern]
 - PERMEABLE PAVERS: [Pattern]
 - PROPOSED CONCRETE: [Pattern]
 - PROPOSED AC PAVEMENT: [Pattern]
 - PROPOSED RETAINING WALL PER SDRSD: [Pattern]
 - ADA PATH: [Pattern]
 - PROPOSED DG PATH: [Pattern]

ABBREVIATIONS

- AC ASPHALT CONCRETE
- APPROX APPROXIMATE
- BMBFG BOTTOM OF WALL AT FINISH GRADE
- CL CENTER LINE
- CO CLEANOUT
- DG DECOMPOSED GRANITE
- EL ELEVATION
- EX EXISTING
- FF FINISH FLOOR
- FS FINISH SURFACE
- FG FINISH GROUND
- FL FLOWLINE
- FM FORCE MAIN
- FYSB FRONT YARD SETBACK
- HP HIGH POINT
- HT HEIGHT
- IE INVERT ELEVATION
- LF LINEAR FEET
- MAX MAXIMUM
- MIN MINIMUM
- PL PROPERTY LINE
- PP POWER POLE
- PROP PROPOSED
- PUB PUBLIC
- PVT PRIVATE
- RIM RIM ELEVATION
- RYSB REAR YARD SETBACK
- SD STORM DRAIN
- SDRSD SAN DIEGO REGIONAL STANDARD DRAWING
- SF SQUARE FEET
- SYSB SIDE YARD SETBACK
- TC TOP OF CURB
- TF TOP OF FENCE
- TG TOP OF GRATE
- TPFT TOP OF FOOTING
- TW TOP OF WALL
- TWBFG TOP OF WALL AT FINISH GRADE
- TYO TYPICAL
- WM WATER METER

PRELIMINARY GRADING & DRAINAGE PLAN

18-188 MIN/DR/CDP

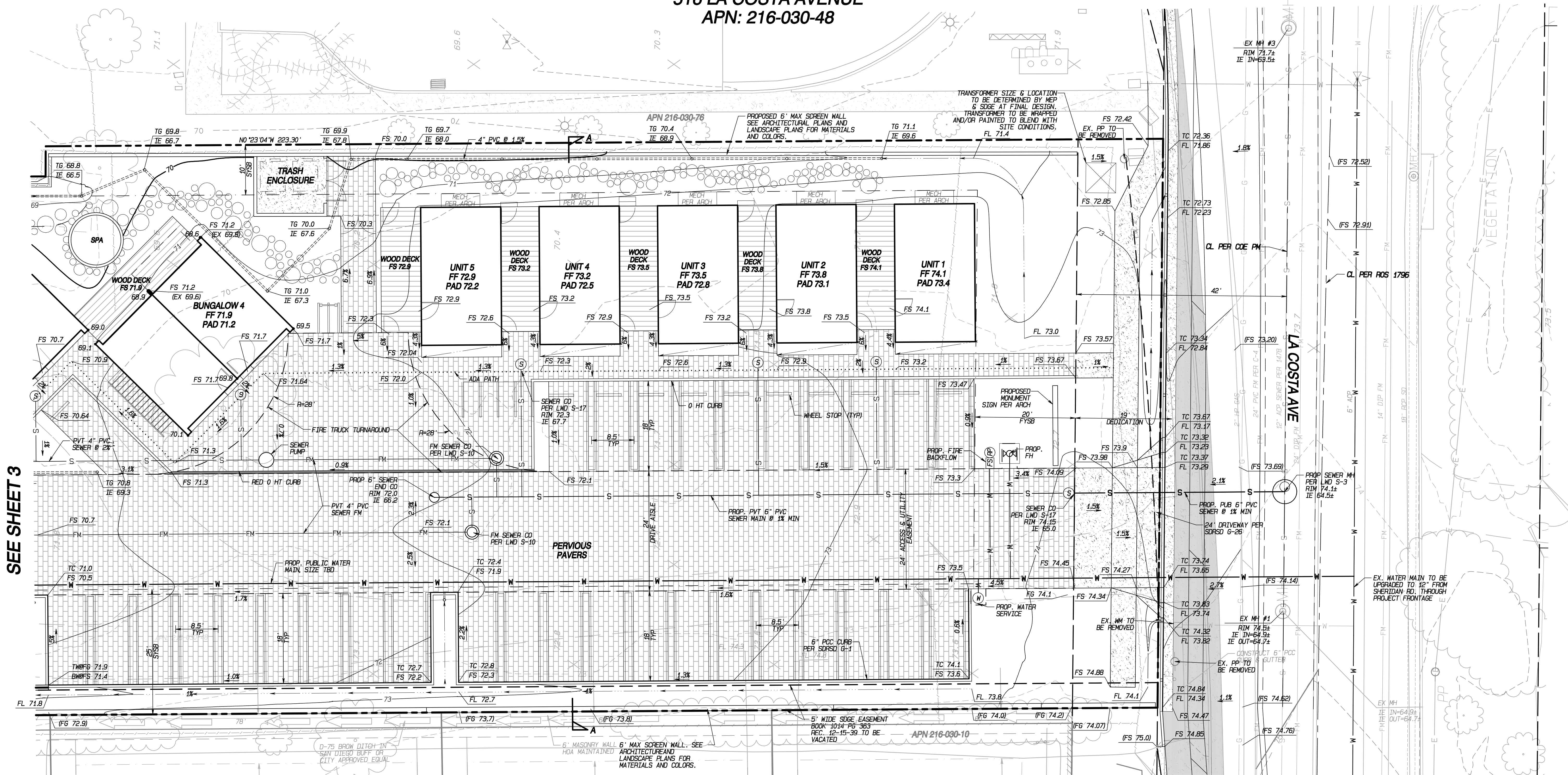
MULTI-002750-2018; DR-002670-2018; USE-002671-2018; CDFNF-002672-2020; CPP-003887-2020

516 LA COSTA AVENUE

APN: 216-030-48

SHEET 2 OF 6

SEE SHEET 4



SEE SHEET 3

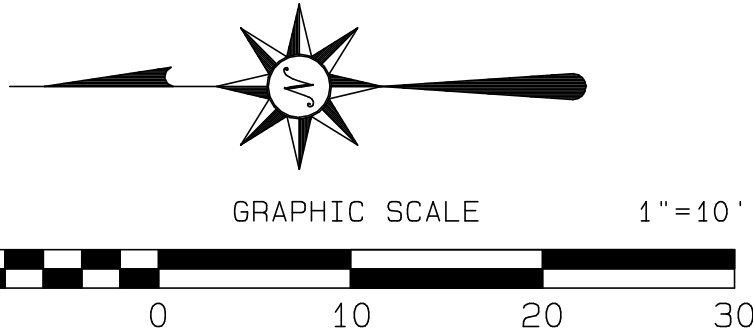
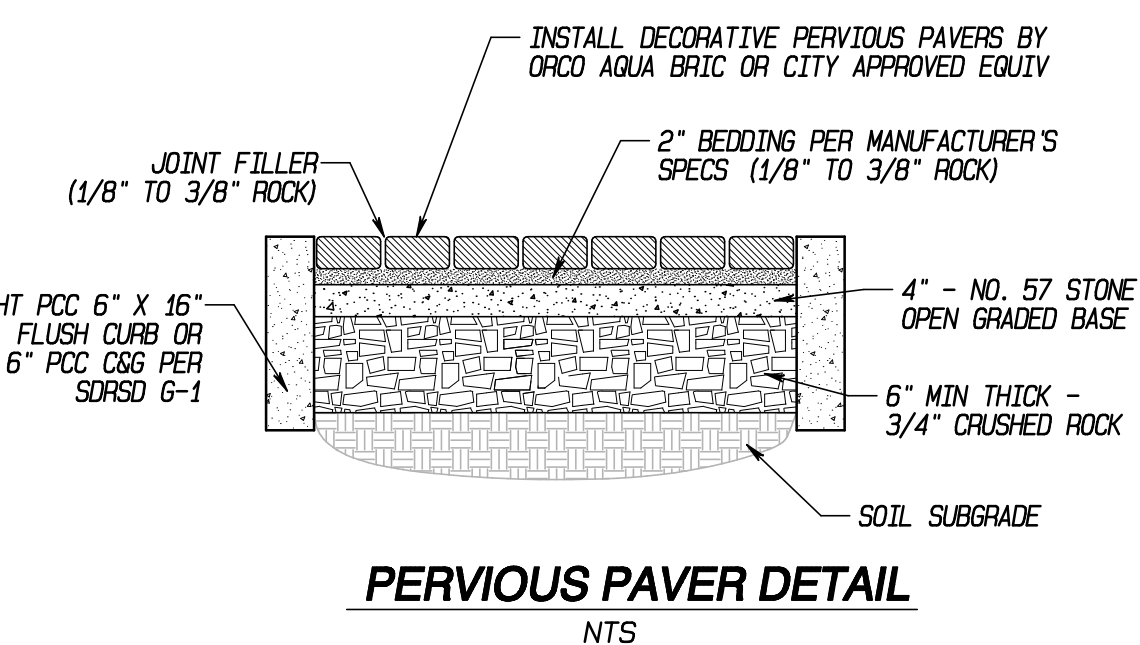
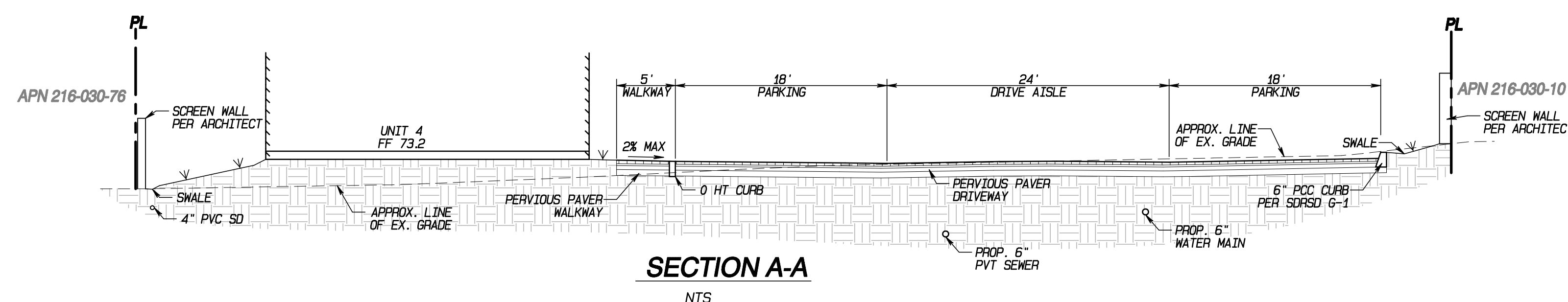
SEE SHEET 4

SEWER NOTES:

1. THE RESTAURANT AND BUNGALOWS 1-4 WILL REQUIRE SEWER PUMPS. PRELIMINARY DESIGN IS 1 PUMP FOR THE RESTAURANT AND 1 PUMP FOR THE BUNGALOWS. HOWEVER MEP WILL VERIFY DESIGN AND LOCATIONS AT FINAL DESIGN.
2. GREASE INTERCEPTOR TO BE SIZED AND LOCATED PER MEP AT FINAL DESIGN.

PRELIMINARY GRADING AND DRAINAGE PLAN

SCALE: 1"=10'



PASCO LARET SUITER & ASSOCIATES
25 38th Street, Suite 201
Pasadena, CA 91107
Tel: 626-799-1001
Fax: 626-799-1002

PRELIMINARY GRADING & DRAINAGE PLAN

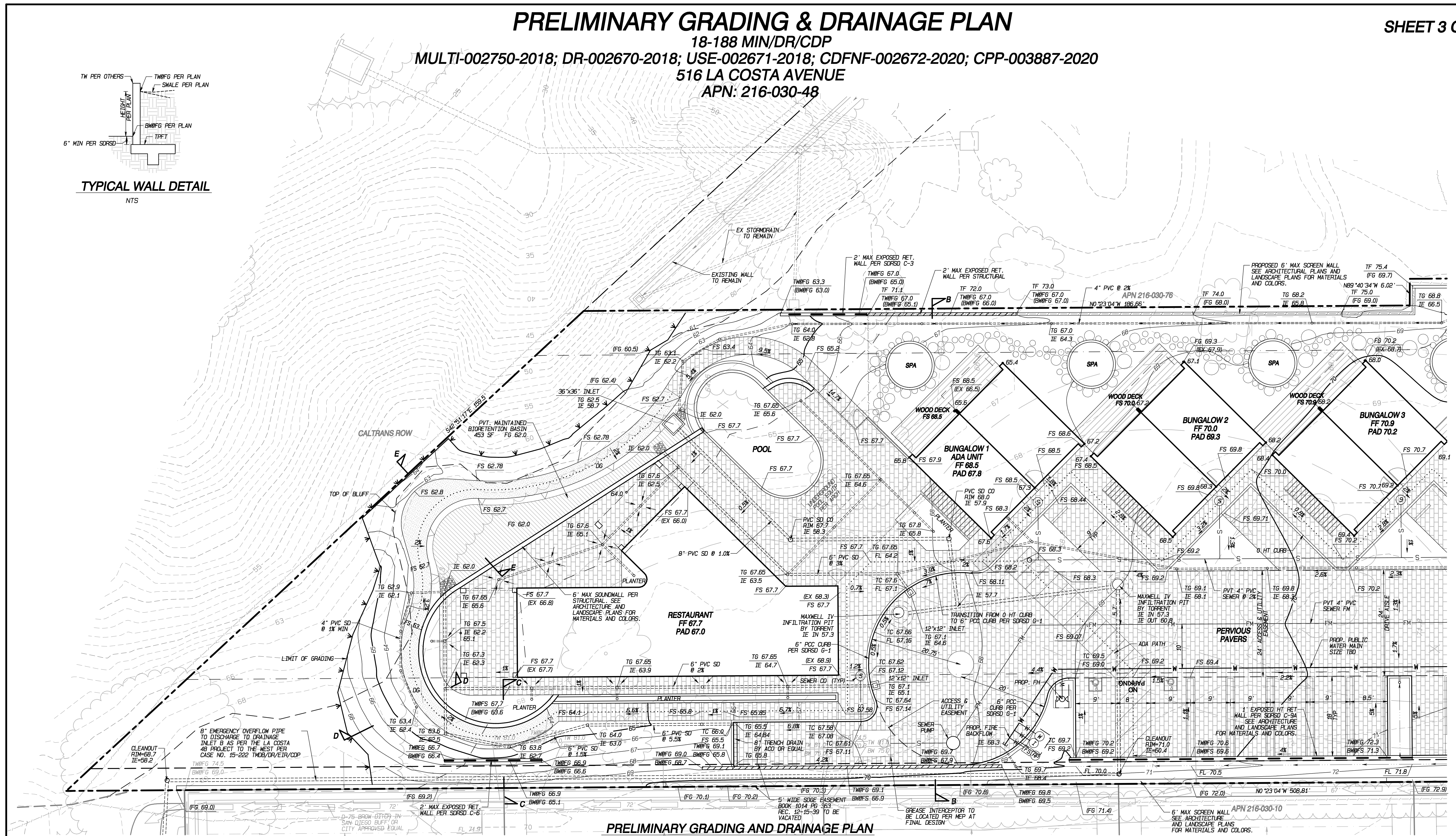
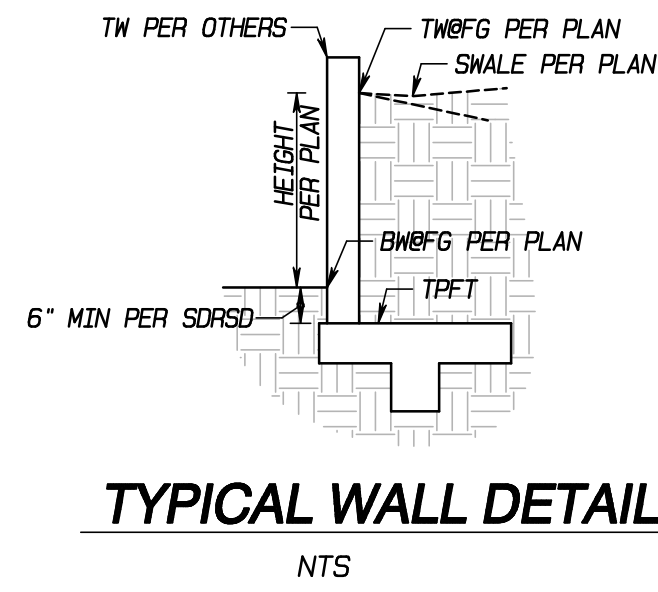
18-188 MIN/DR/CDP

MULTI-002750-2018; DR-002670-2018; USE-002671-2018; CDFNF-002672-2020; CPP-003887-2020

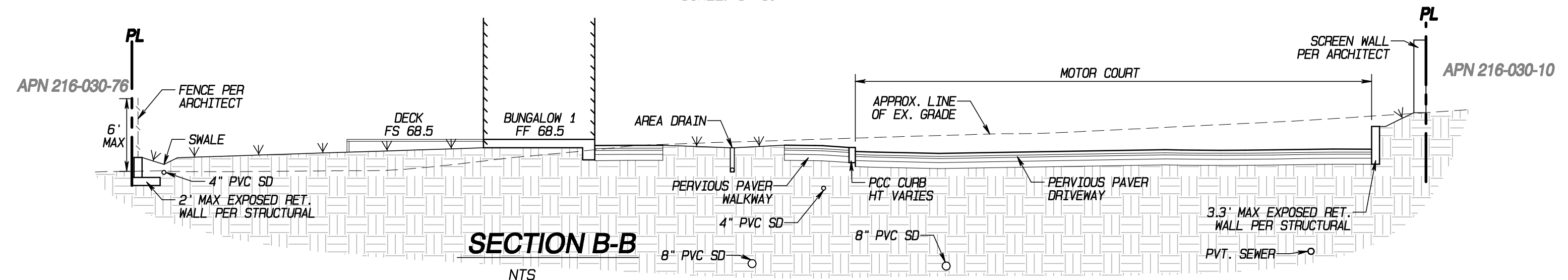
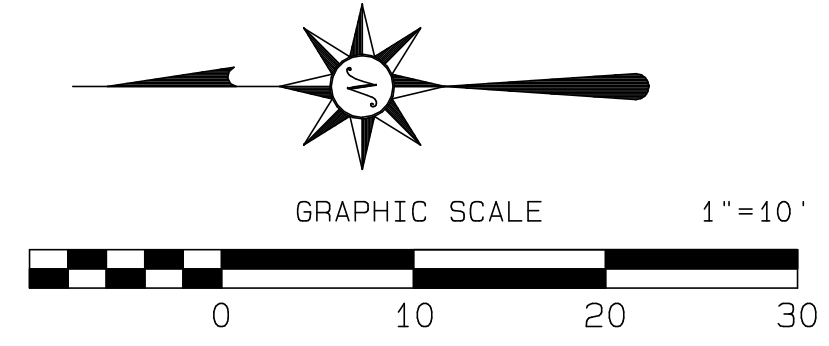
516 LA COSTA AVENUE

APN: 216-030-48

SHEET 3 OF 6



SCALE: 1"=10'



SEE SHEET 2

PASCO LARET SUITER & ASSOCIATES
20000 E. 15th St., Suite 100
San Diego, CA 92128
Tel: 619-594-1000
Fax: 619-594-1001
plsc@pascolaret.com

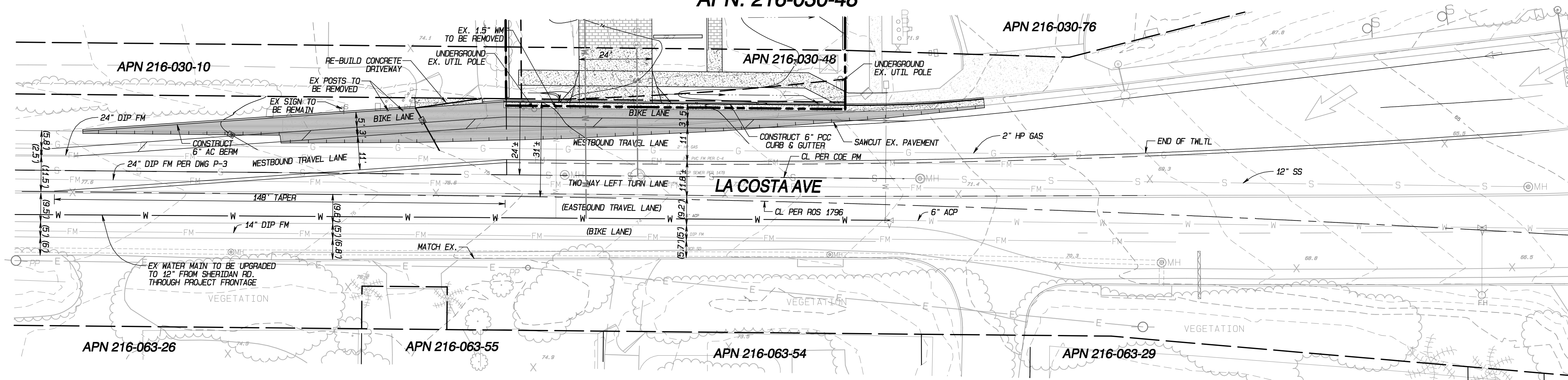
STRIPING & IMPROVEMENTS EXHIBIT

18-188 MIN/DR/CDP

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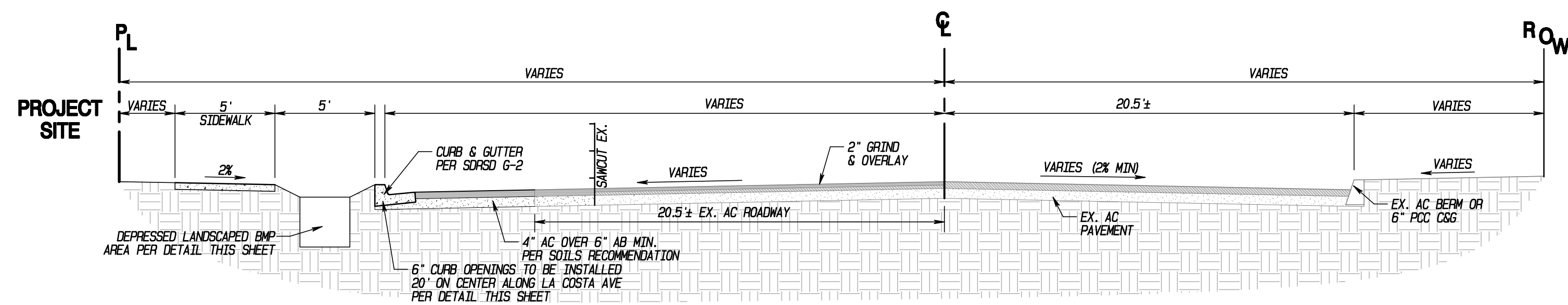
516 LA COSTA AVENUE

APN: 216-030-48



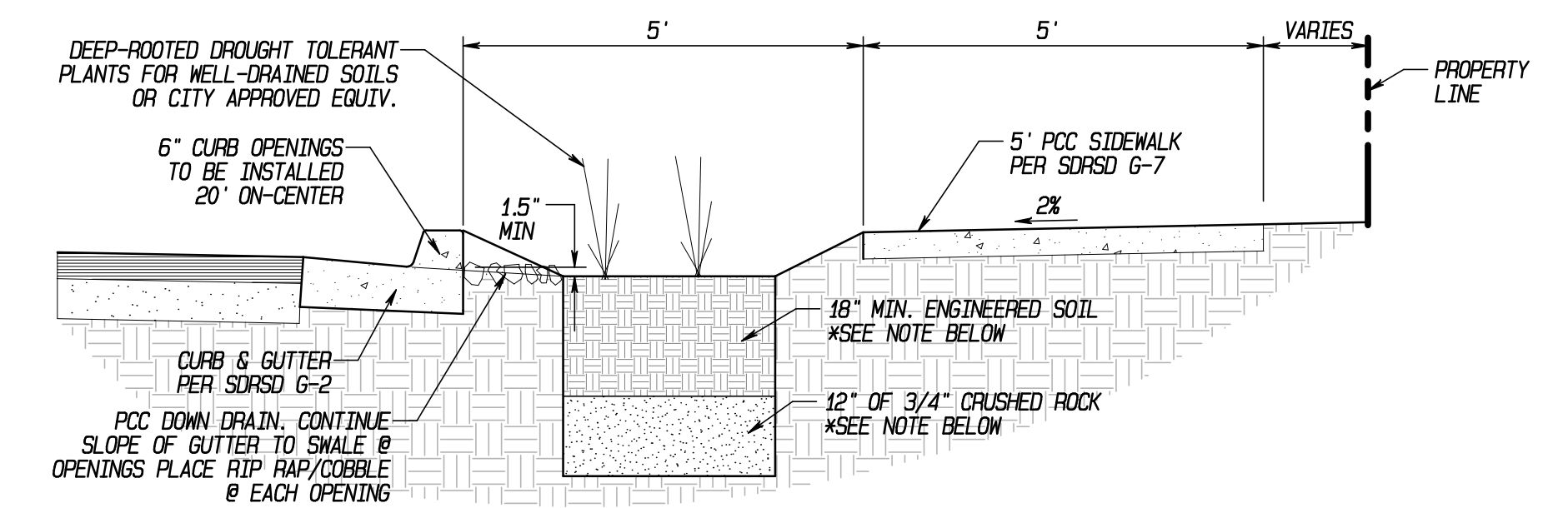
LA COSTA AVENUE STRIPING & IMPROVEMENTS

SCALE: 1"=20'



LA COSTA AVE TYPICAL SECTION

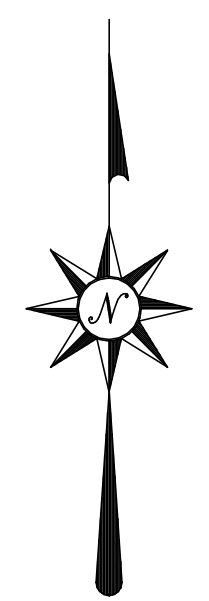
NTS



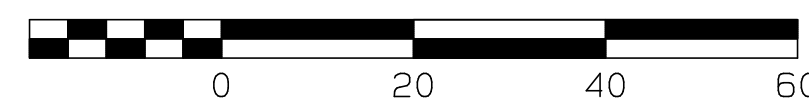
* BIORETENTION "ENGINEERED SOIL" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50-60% SAND, 20-30% COMPOST OR HARDWOOD MULCH, AND 20-30% TOPSOIL, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS, AND ALSO FREE OF NOXIOUS WEEDS.
 ** 3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 12" BUT MAY BE DEEPER TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE DETAIL.

LA COSTA AVE - TREATMENT SWALE DETAIL

NTS



GRAPHIC SCALE 1"=20'



OFFSITE DRAINAGE EXHIBIT

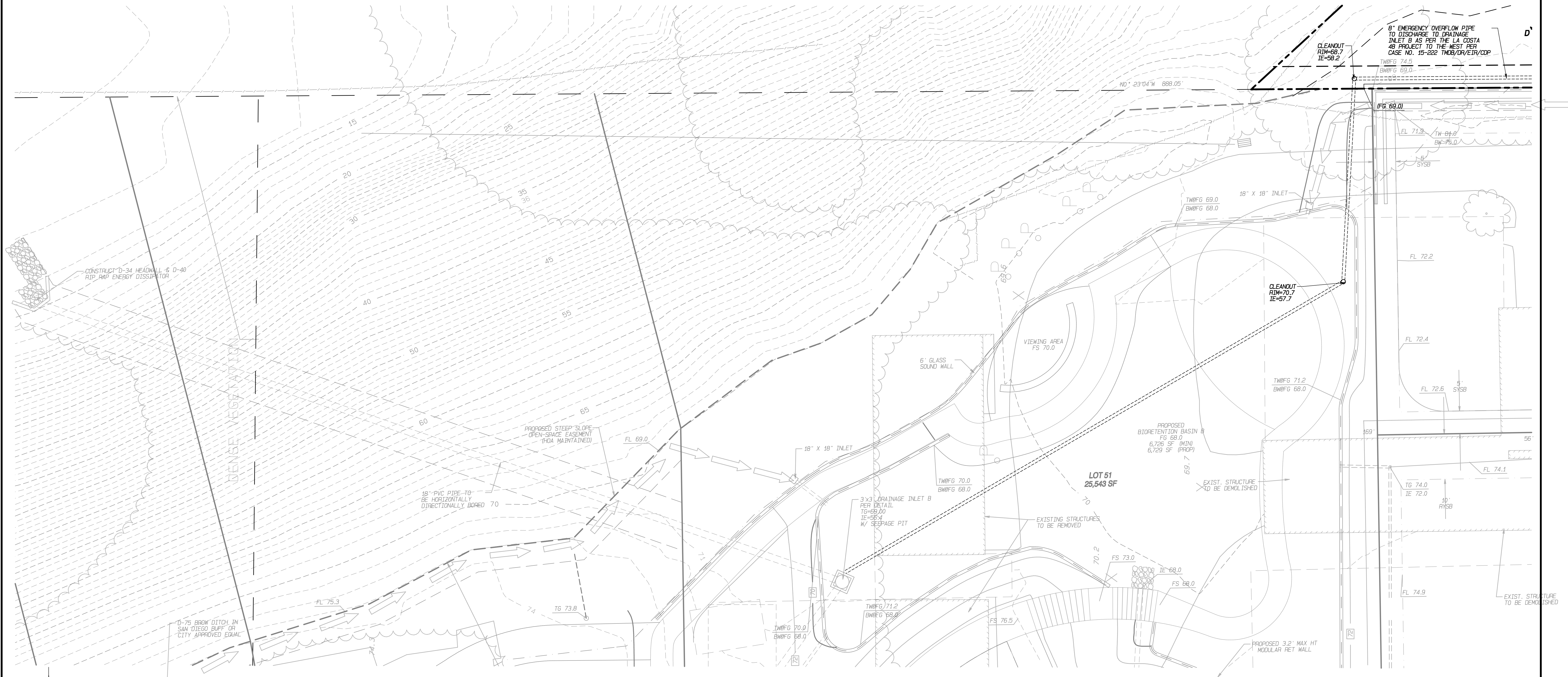
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MULTI-002750-2018; DR-002670-2018; USE-002671-2018; CDFNF-002672-2020; CPP-003887-2020

516 LA COSTA AVENUE

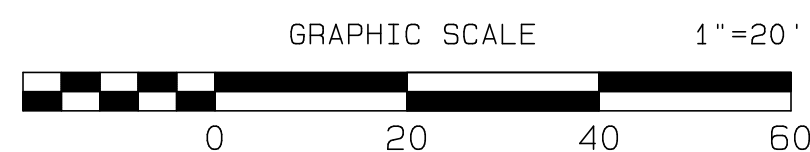
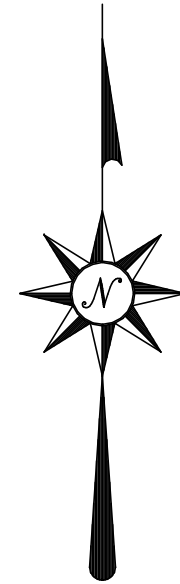
APN: 216-030-48

SHEET 5 OF 6



OFFSITE DRAINAGE IMPROVEMENTS

SCALE: 1"=10'



PASCO LARET SUITER & ASSOCIATES
25500 15th St., Suite 100
San Diego, CA 92121
Tel: 619.594.1000
Fax: 619.594.1001
plsc@pascolaret.com

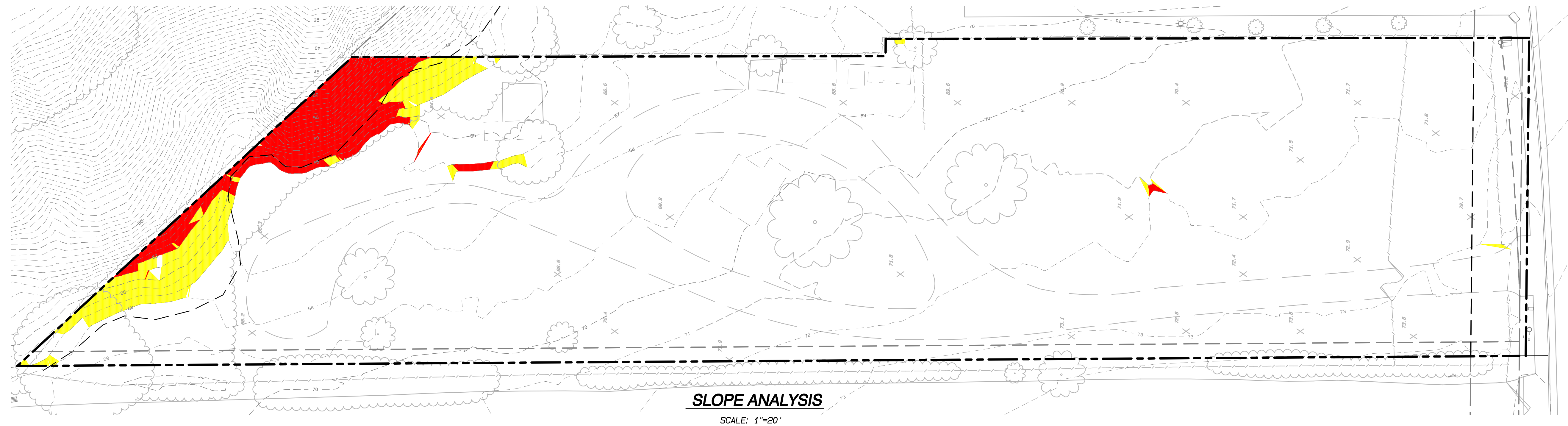
SLOPE ANALYSIS

18-188 MIN/DR/CDP

MULTI-002750-2018; DR-002670-2018; USE-002671-2018; CDFNF-002672-2020; CPP-003887-2020

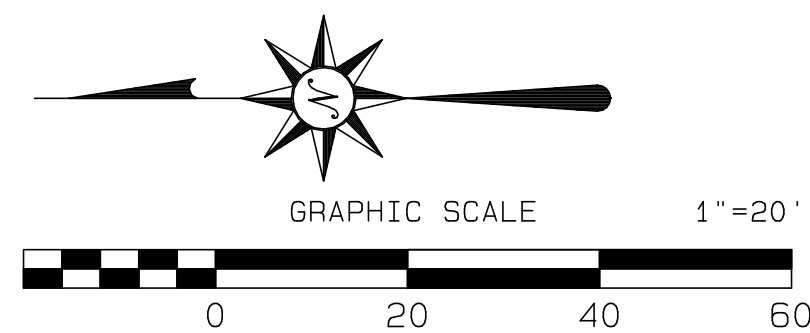
516 LA COSTA AVENUE

APN: 216-030-48



- INDICATES AREA WITH SLOPES LESS THAN 25% SLOPE = 48,466 SF (1.11 AC)
- INDICATES AREA WITH SLOPES GREATER THAN 25% AND LESS THAN 40% = 1,344 SF (0.03 AC)
- INDICATES AREA WITH SLOPES GREATER THAN 40% = 1,567 SF (0.04 AC)

TOTAL AREA OVER STEEPER THAN 25% EQUALS 2,911 SF (0.067 AC) OR 6% OF THE SITE AREA.

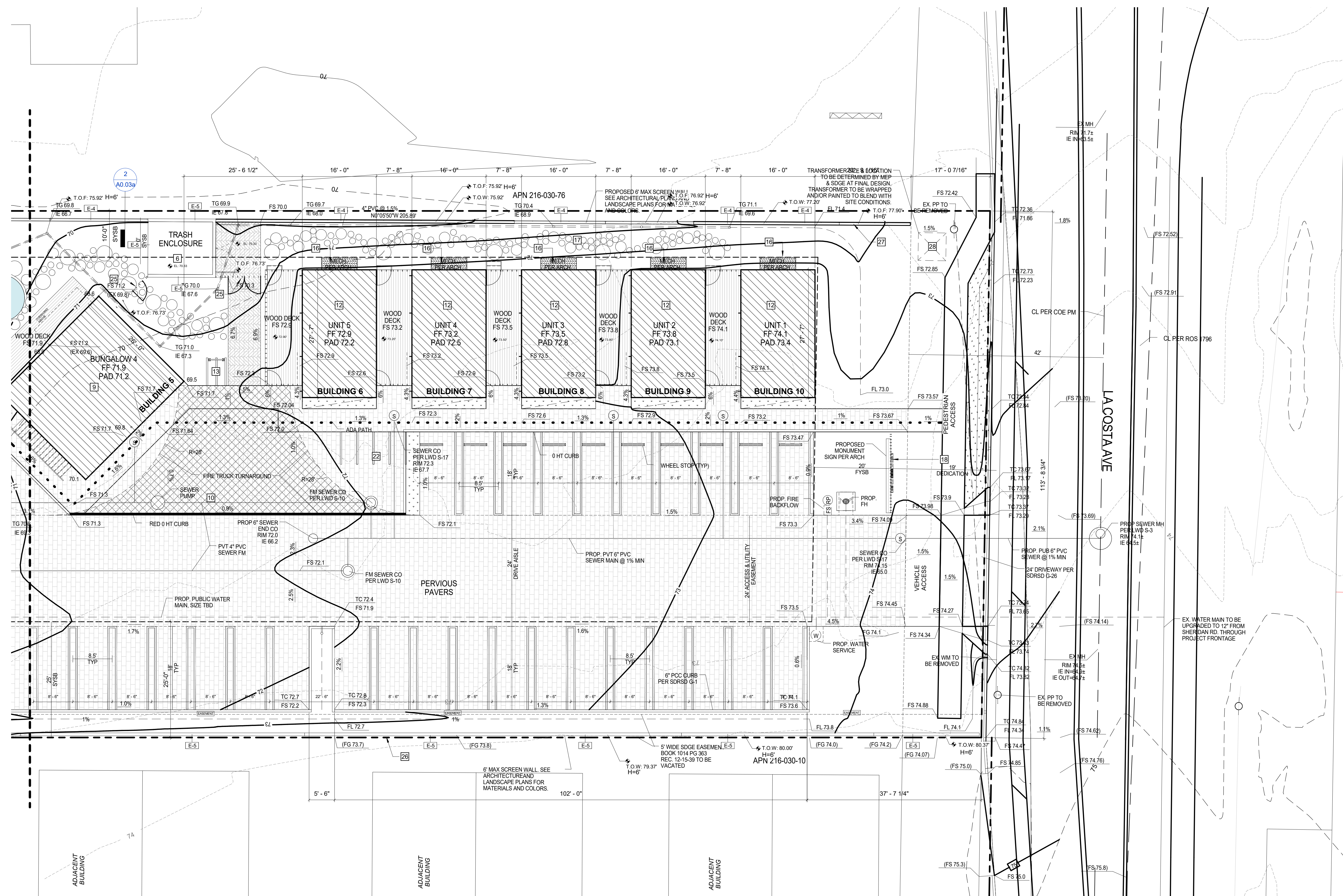


PROJECT NO.		
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

THE BROWN STUDIO INC.
 1144 N. COGUE HWY. #101
 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP



1 PROPOSED SITE PLAN
 1" = 10'-0"

KEYNOTES

- 1 BMP
- 2 SOUND WALL PER EMC 30.60.C.2
- 3 LOADING SPACE
- 4 OUTDOOR LOUNGE
- 5 WALKING PATH
- 6 TRASH ENCLOSURE
- 7 ADA RAMP
- 8 LOUNGE SEATING AREA
- 9 QUONSET HUT (3 UNITS)
- 10 FIRE TRUCK TURNAROUND
- 11 SPA
- 12 BUNGALOW UNITS
- 13 BICYCLE PARKING
- 14 HOTEL PLUNGE POOL
- 15 6" FENCE
- 16 SCREENED MECHANICAL EQUIPMENT
- 17 STEPSTONE WALKWAY
- 18 MONUMENT SIGN
- 19 MOTOR COURT
- 20 OUTDOOR DINING
- 21 UNDERGROUND SPA EQUIPMENT
- 22 MOTORCYCLE PARKING
- 23 SCREENED MECHANICAL EQUIPMENT UNDER STAIRS
- 24 RAISED PLANTER
- 25 GATE AT FENCE (KEY ACCESS)
- 26 CMU FENCE
- 27 WOOD FENCE 6"
- 28 TRANSFORMER TO BE WRAPPED OR PAINTED TO BLEND WITH SITE CONDITIONS

NOTES

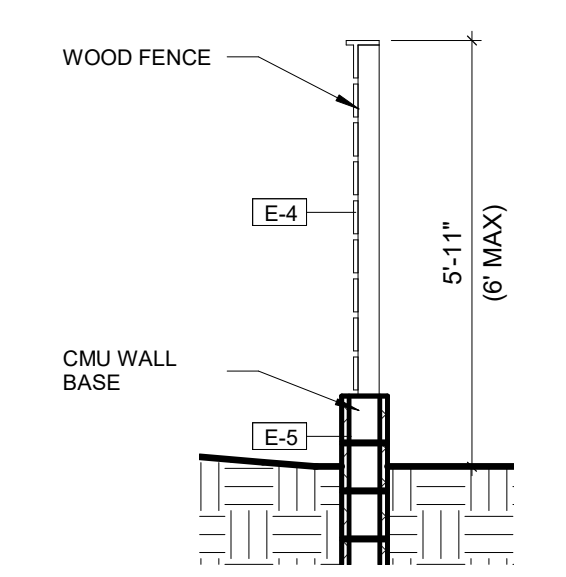
- MONUMENT SIGN.**
 PER EMC 30.60.C.2
- ALLOWANCE:** 1 SF/1F LOT FRONTAGE
LOT FRONTAGE = 113'-8 3/4" LF = 113.73' LF
MAX. ALLOWANCE: 113.73' / 1 = 113.73 SF = 114 SF
- PROPOSED: 111 SF SEE SHEET A10.4**
- MATERIAL LEGEND**
- E-1 EXTERIOR METAL WALL/ROOF CLADDING
 - E-2 CONCRETE CLADDING, COLOR: GREY
 - E-3 EXTERIOR METAL WALL PANEL/BREAK METAL, PAINTED BLACK
 - E-4 NATURAL WOOD ELEMENTS, STAINED: ANTIQUE OAK
 - E-5 EXPOSED CMU, BOND STACK, COLOR: NATURAL WITH PUMICE (WARM TONE)
 - E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
 - E-7 STEEL FACIA/STRINGER, PAINTED BLACK
 - E-8 STEEL FENCE, PAINTED BLACK
 - FL-1 CONCRETE PERVIOUS PAVERS
 - FL-3 EXTERIOR WOOD FLOORING

BUILDING AREAS

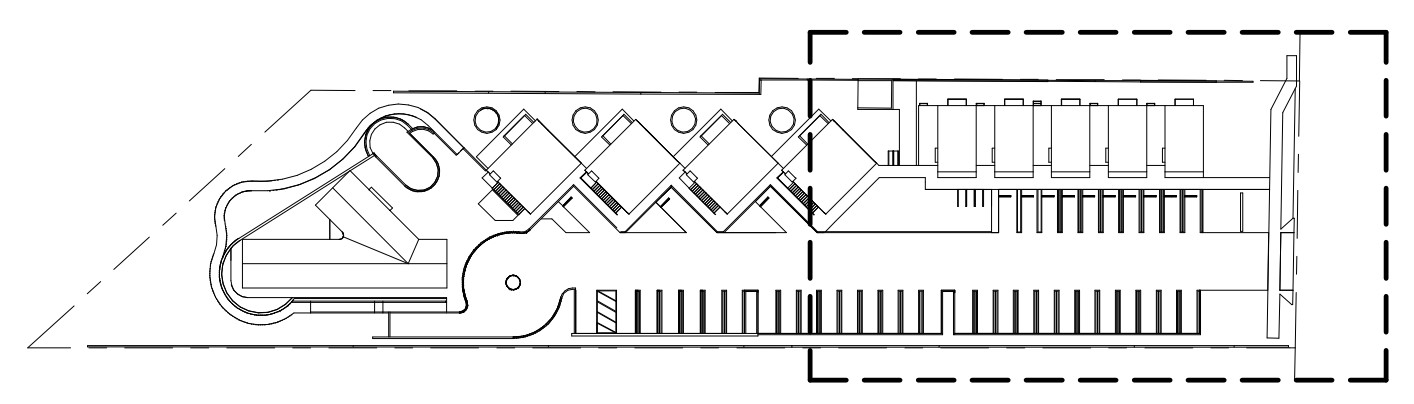
NAME	ID	AREA	LEVEL	LOT COVERAGE	FAR
BUILDING 1 - RESTAURANT					
LOBBY	2	184 SF	LEVEL 1	•	•
RESTAURANT	3	890 SF	LEVEL 1	•	•
BAR	4	191 SF	LEVEL 1	•	•
KITCHEN B.O.H	5	451 SF	LEVEL 1	•	•
RESTROOM-WOMENS	7	43 SF	LEVEL 1	•	•
RESTROOM-MEN	8	50 SF	LEVEL 1	•	•
HOTEL OFFICE	9	269 SF	LEVEL 2	•	•
HOTEL OFFICE MEZZANINE	10	179 SF	LEVEL 2	•	•
HOTEL SERVICE	11	159 SF	LEVEL 2	•	•
CIRCULATION-INTERIOR	15	100 SF	LEVEL 1	•	•
BUILDING 2					
UNIT A	UNIT 15	360 SF	LEVEL 1	•	•
UNIT A	UNIT 16	360 SF	LEVEL 1	•	•
UNIT B	UNIT 17	720 SF	LEVEL 2	•	•
UNIT B	UNIT 17	237 SF	MEZZANINE	•	•
BUILDING 3					
UNIT A	UNIT 12	360 SF	LEVEL 1	•	•
UNIT A	UNIT 13	360 SF	LEVEL 1	•	•
UNIT B	UNIT 14	720 SF	LEVEL 2	•	•
UNIT B	UNIT 14	237 SF	MEZZANINE	•	•
BUILDING 4					
UNIT A	UNIT 9	360 SF	LEVEL 1	•	•
UNIT A	UNIT 10	360 SF	LEVEL 1	•	•

BUILDING AREAS

NAME	ID	AREA	LEVEL	LOT COVERAGE	FAR
UNIT B	UNIT 11	720 SF	LEVEL 2	•	•
UNIT B	UNIT 11	237 SF	MEZZANINE	•	•
1,677 SF					
BUILDING 5					
UNIT A	UNIT 6	360 SF	LEVEL 1	•	•
UNIT A	UNIT 7	360 SF	LEVEL 1	•	•
UNIT B	UNIT 8	720 SF	LEVEL 2	•	•
UNIT B	UNIT 8	237 SF	MEZZANINE	•	•
1,677 SF					
BUILDING 6					
UNIT C	UNIT 5	436 SF	LEVEL 1	•	•
UNIT C	UNIT 5	206 SF	LEVEL 2	•	•
642 SF					
BUILDING 7					
UNIT C	UNIT 4	436 SF	LEVEL 1	•	•
UNIT C	UNIT 4	206 SF	LEVEL 2	•	•
642 SF					
BUILDING 8					
UNIT C	UNIT 3	436 SF	LEVEL 1	•	•
UNIT C	UNIT 3	206 SF	LEVEL 2	•	•
642 SF					
BUILDING 9					
UNIT C	UNIT 2	436 SF	LEVEL 1	•	•
UNIT C	UNIT 2	206 SF	LEVEL 2	•	•
642 SF					
BUILDING 10					
UNIT C	UNIT 1	436 SF	LEVEL 1	•	•
UNIT C	UNIT 1	206 SF	LEVEL 2	•	•
642 SF					
TOTALS		12,434 SF		6,969 SF	



2 WOOD FENCE
 3/8" = 1'-0"



KEY PLAN
 1" = 80'-0"

PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 PROPOSED SITE PLAN

SHEET NUMBER

A0.03a

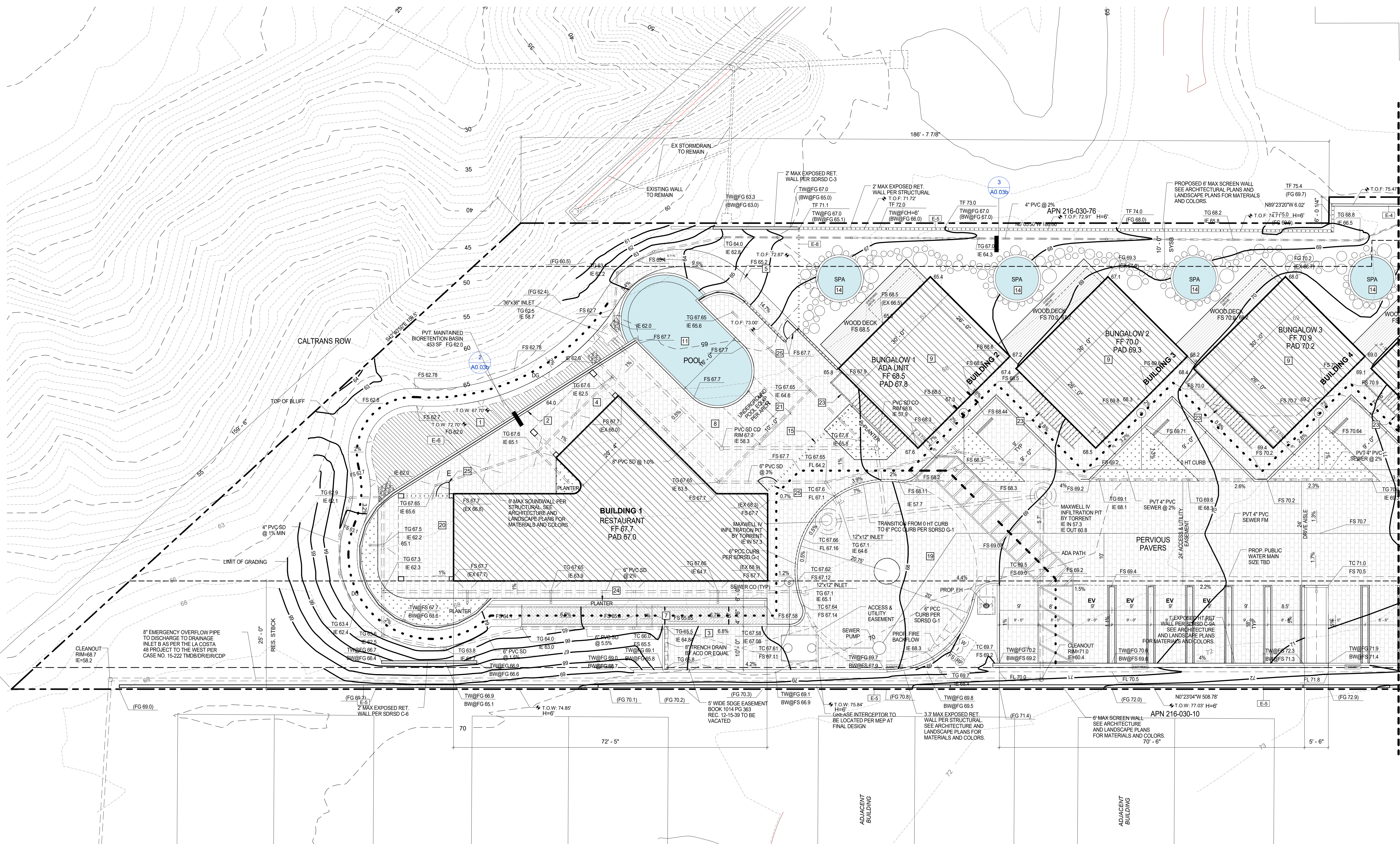
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PROJECT NO.		
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

THE BROWN STUDIO INC.
 1144 N. COAST HWY 101
 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP



1 PROPOSED SITE PLAN
 1" = 10'-0"

KEYNOTES

- 1 BMP
- 2 SOUND WALL
- 3 LOADING SPACE
- 4 OUTDOOR LOUNGE
- 5 WALKING PATH
- 6 TRASH ENCLOSURE
- 7 ADA RAMP
- 8 LOUNGE SEATING AREA
- 9 QUONSET HUT (3 UNITS)
- 10 FIRE TRUCK TURNAROUND
- 11 SPA
- 12 BUNGALOW UNITS
- 13 BICYCLE PARKING
- 14 HOTEL PLUNGE POOL
- 15 6" FENCE
- 16 SCREENED MECHANICAL EQUIPMENT
- 17 STEPSTONE WALKWAY
- 18 MONUMENT SIGN
- 19 MOTOR COURT
- 20 OUTDOOR DINING
- 21 UNDERGROUND SPA EQUIPMENT
- 22 MOTORCYCLE PARKING
- 23 SCREENED MECHANICAL EQUIPMENT UNDER STAIRS
- 24 RAISED PLANTER
- 25 GATE AT FENCE (KEY ACCESS)
- 26 CMU FENCE
- 27 WOOD FENCE 6"
- 28 TRANSFORMER TO BE WRAPPED OR PAINTED TO BLEND WITH SITE CONDITIONS

NOTES

MONUMENT SIGN.
 PER EMC 30.60.C.2

ALLOWANCE: 1 SF/LF LOT FRONTAGE
LOT FRONTAGE = 113'-8 3/4" LF = 113.73' LF
MAX. ALLOWANCE: 113.73' / 1 = 113.73 SF = 114 SF

PROPOSED: 111 SF SEE SHEET A10.4

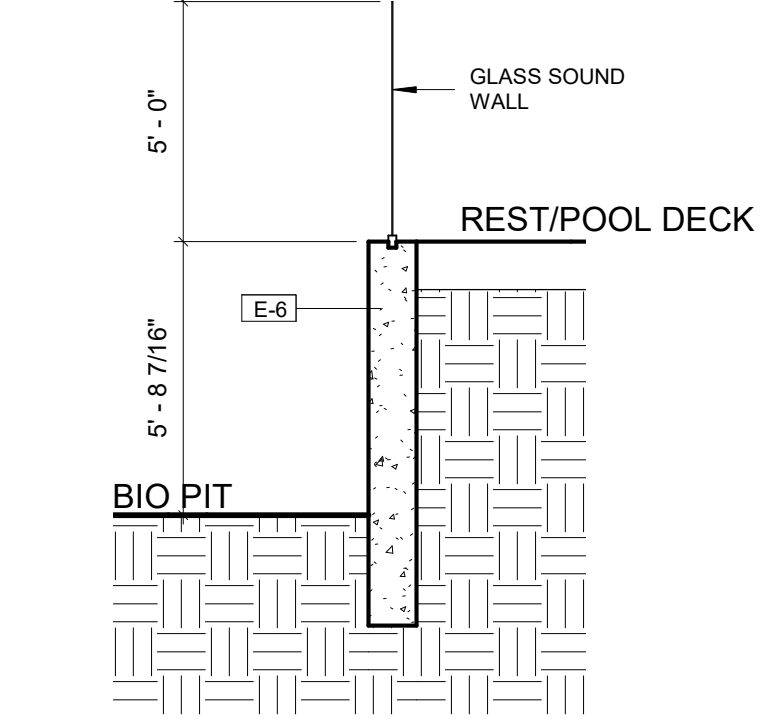
MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING, COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS, STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU, BOND STACK, COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER, PAINTED BLACK
- E-8 STEEL FENCE, PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

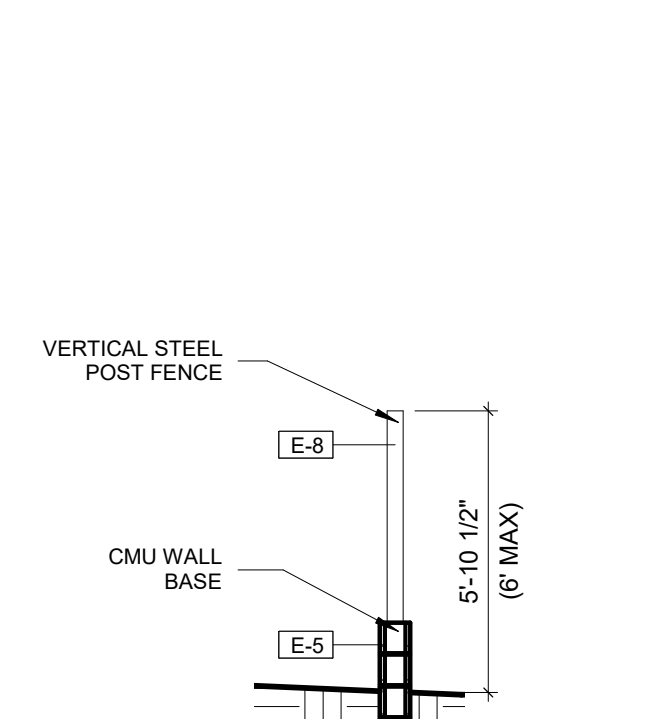
BUILDING AREAS

NAME	ID	AREA	LEVEL	LOT COVERAGE	FAR
BUILDING 1 - RESTAURANT					
LOBBY	2	184 SF	LEVEL 1	•	•
RESTAURANT	3	890 SF	LEVEL 1	•	•
BAR	4	191 SF	LEVEL 1	•	•
KITCHEN B.O.H	5	451 SF	LEVEL 1	•	•
RESTROOM-WOMENS	7	43 SF	LEVEL 1	•	•
RESTROOM-MEN	8	50 SF	LEVEL 1	•	•
HOTEL OFFICE	9	269 SF	LEVEL 2	•	•
HOTEL OFFICE MEZZANINE	10	179 SF	LEVEL 2	•	•
HOTEL SERVICE	11	159 SF	LEVEL 2	•	•
CIRCULATION-INTERIOR	15	100 SF	LEVEL 1	•	•
BUILDING 2					
UNIT A	UNIT 15	360 SF	LEVEL 1	•	•
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UNIT B	UNIT 17	720 SF	LEVEL 2	•	•
UNIT B	UNIT 17	237 SF	MEZZANINE	•	•
BUILDING 3					
UNIT A	UNIT 12	360 SF	LEVEL 1	•	•
UNIT A	UNIT 13	360 SF	LEVEL 1	•	•
UNIT B	UNIT 14	720 SF	LEVEL 2	•	•
UNIT B	UNIT 14	237 SF	MEZZANINE	•	•
BUILDING 4					
UNIT A	UNIT 9	360 SF	LEVEL 1	•	•
UNIT A	UNIT 10	360 SF	LEVEL 1	•	•

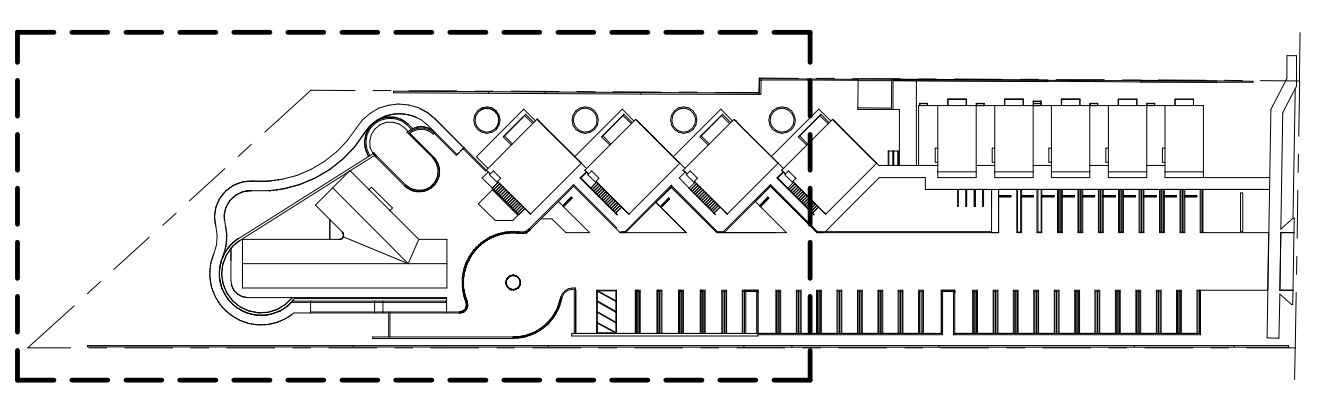
NAME	ID	AREA	LEVEL	LOT COVERAGE	FAR
BUILDING 5					
UNIT B	UNIT 11	720 SF	LEVEL 2	•	•
UNIT B	UNIT 11	237 SF	MEZZANINE	•	•
UNIT B	UNIT 11	1,677 SF			
BUILDING 6					
UNIT C	UNIT 5	436 SF	LEVEL 1	•	•
UNIT C	UNIT 5	206 SF	LEVEL 2	•	•
UNIT C	UNIT 5	642 SF			
BUILDING 7					
UNIT C	UNIT 4	436 SF	LEVEL 1	•	•
UNIT C	UNIT 4	206 SF	LEVEL 2	•	•
UNIT C	UNIT 4	642 SF			
BUILDING 8					
UNIT C	UNIT 3	436 SF	LEVEL 1	•	•
UNIT C	UNIT 3	206 SF	LEVEL 2	•	•
UNIT C	UNIT 3	642 SF			
BUILDING 9					
UNIT C	UNIT 2	436 SF	LEVEL 1	•	•
UNIT C	UNIT 2	206 SF	LEVEL 2	•	•
UNIT C	UNIT 2	642 SF			
BUILDING 10					
UNIT C	UNIT 1	436 SF	LEVEL 1	•	•
UNIT C	UNIT 1	206 SF	LEVEL 2	•	•
UNIT C	UNIT 1	642 SF			
TOTALS		12,434 SF			6,969 SF



2 SITE WALL
 1/4" = 1'-0"



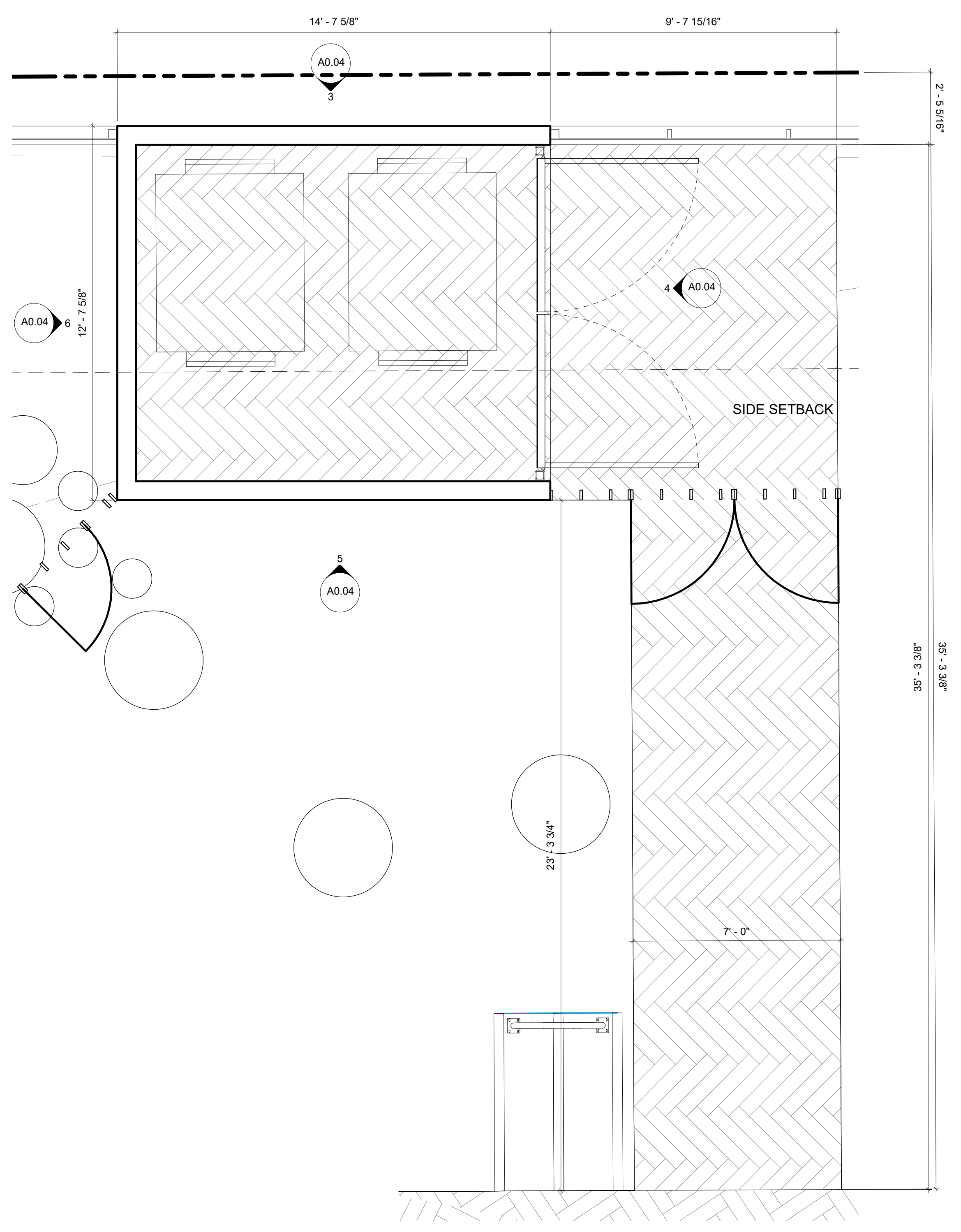
3 SITE FENCE 2
 1/4" = 1'-0"



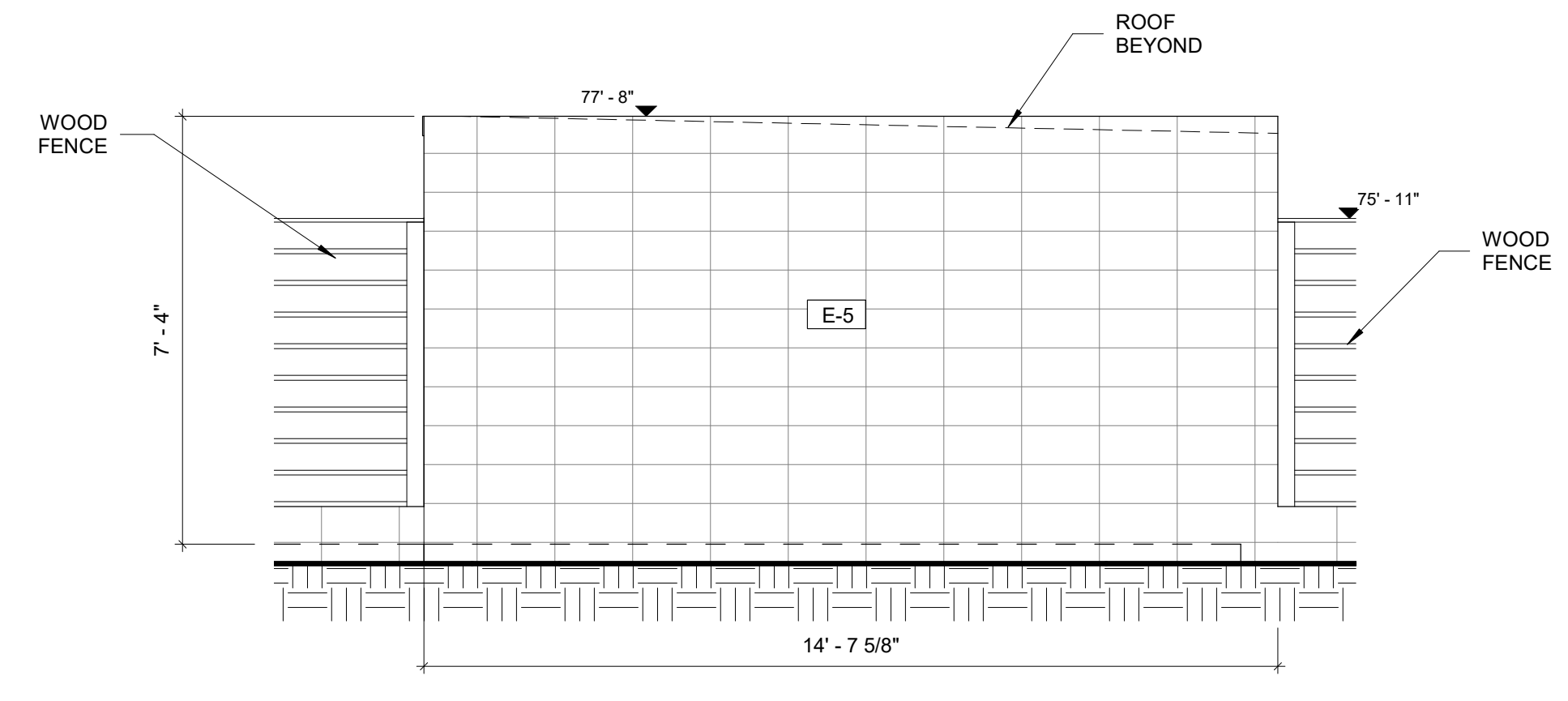
KEY PLAN
 1" = 80'-0"

PROJECT NO.	
DRAWINGS PREPARED BY:	LINDSAY BROWN
SHEET TITLE	PROPOSED SITE PLAN
SHEET NUMBER	A0.03b

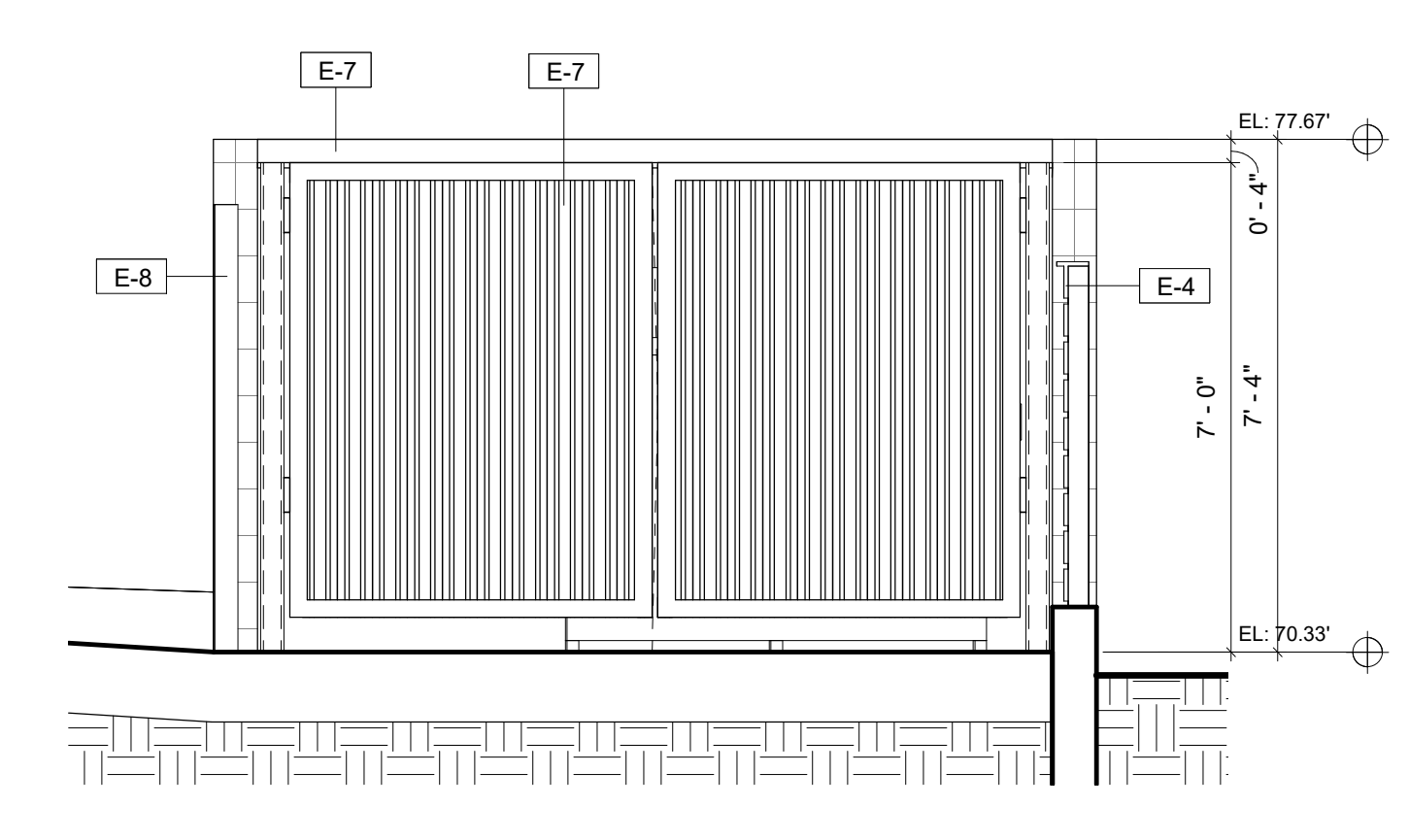
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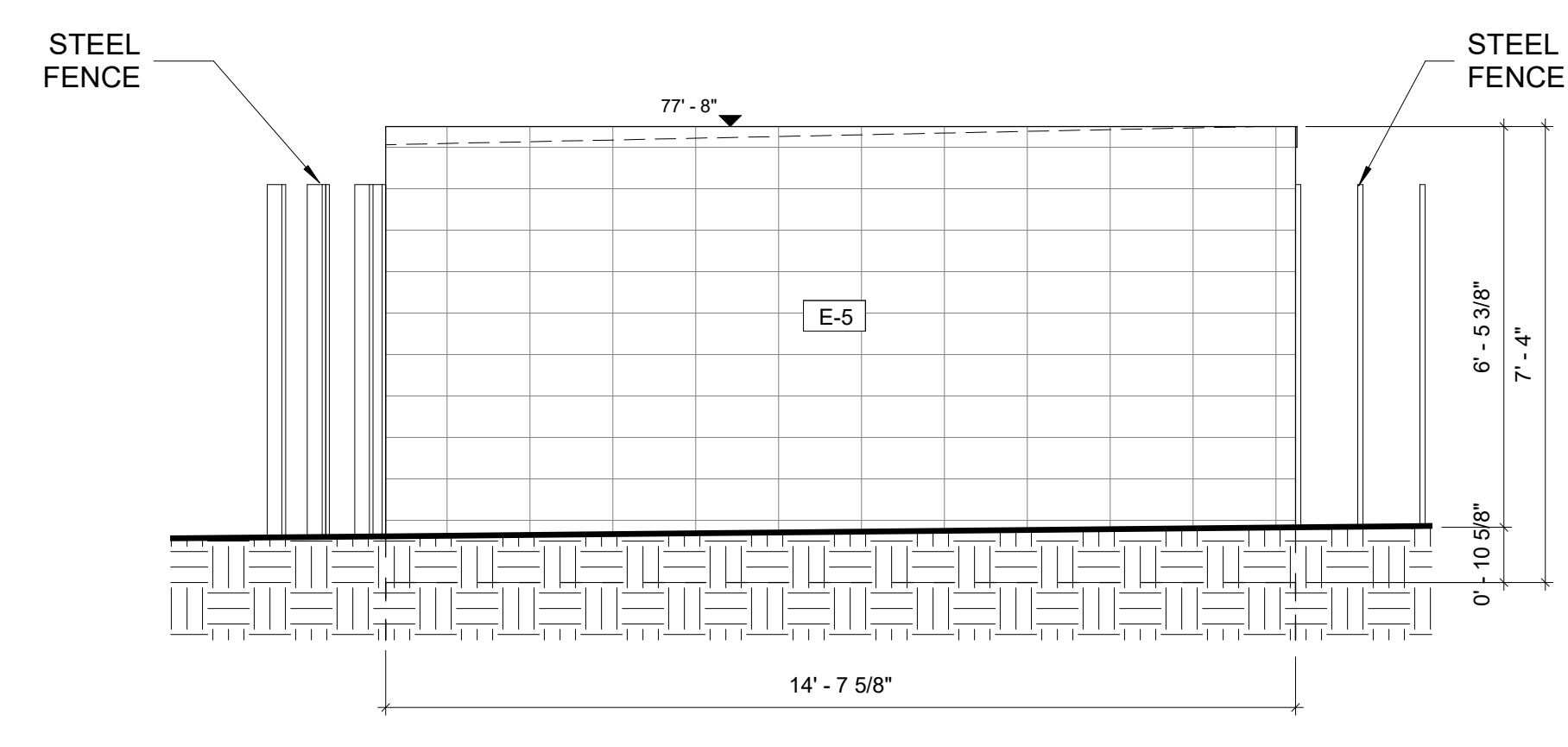
1 ENLARGED TRASH ENCLOSURE
3/8" = 1'-0"



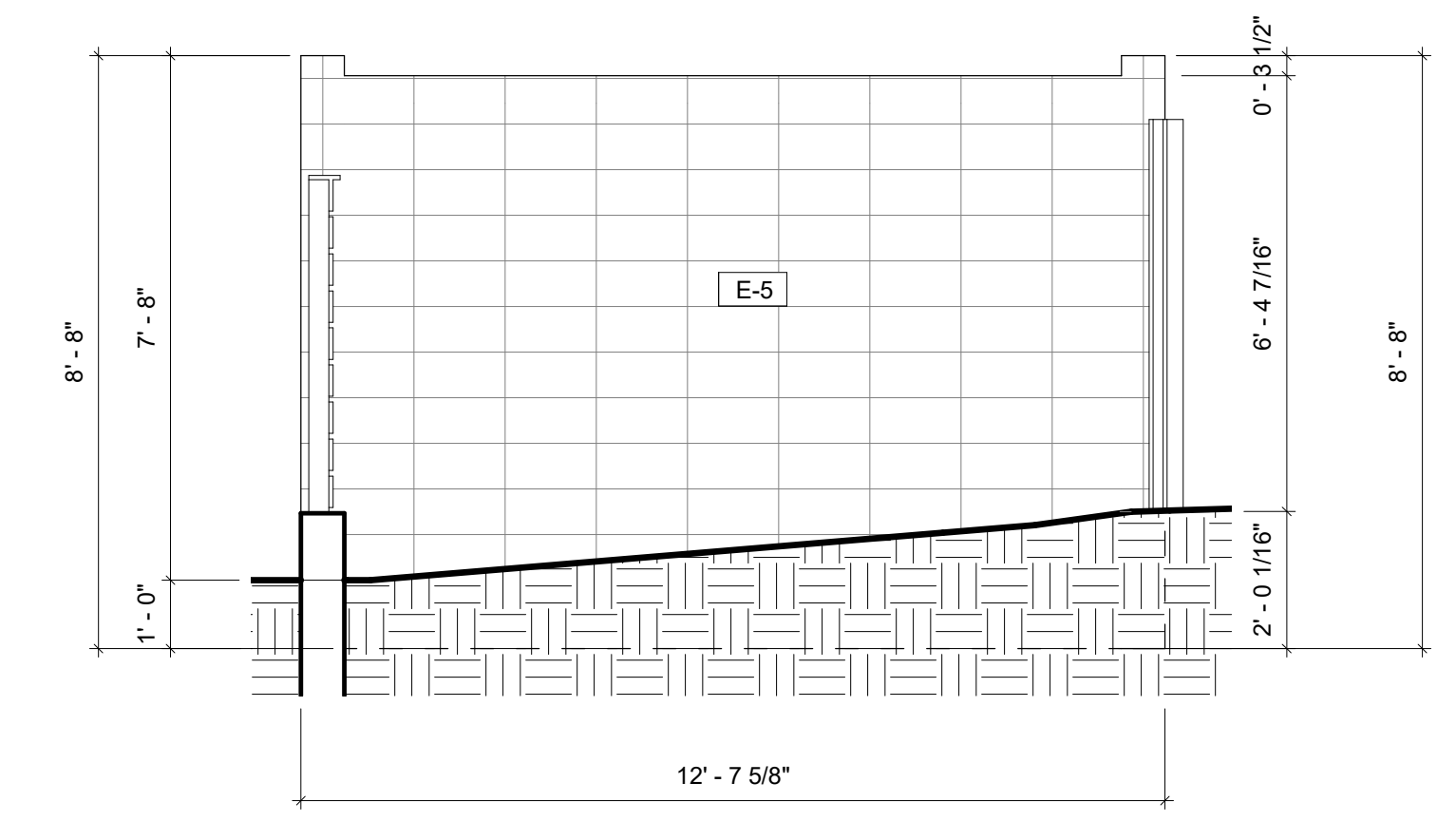
3 ELEVATION - EAST
3/8" = 1'-0"



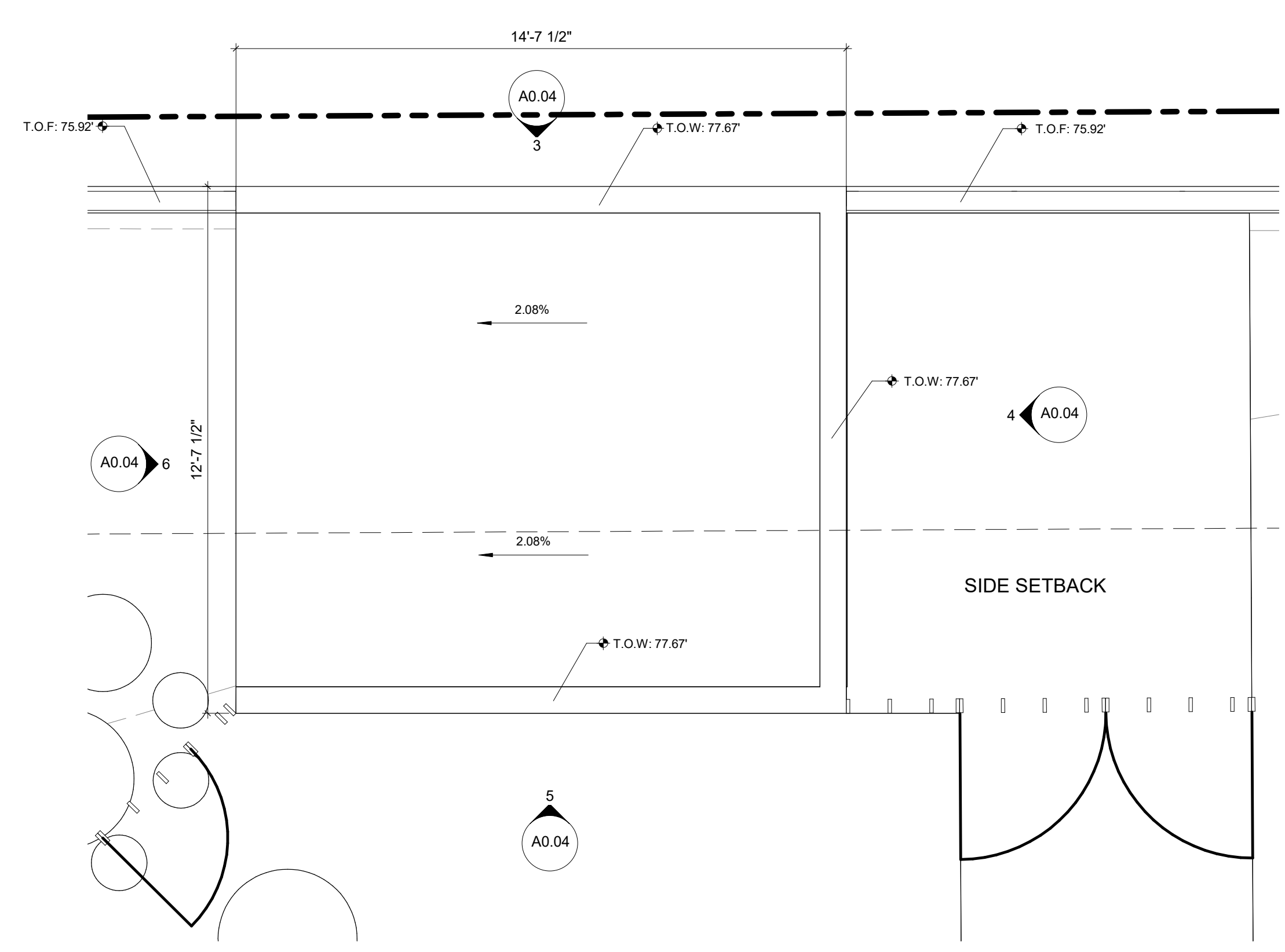
4 ELEVATION - SOUTH
3/8" = 1'-0"



5 ELEVATION - WEST
3/8" = 1'-0"



6 ELEVATION NORTH
3/8" = 1'-0"

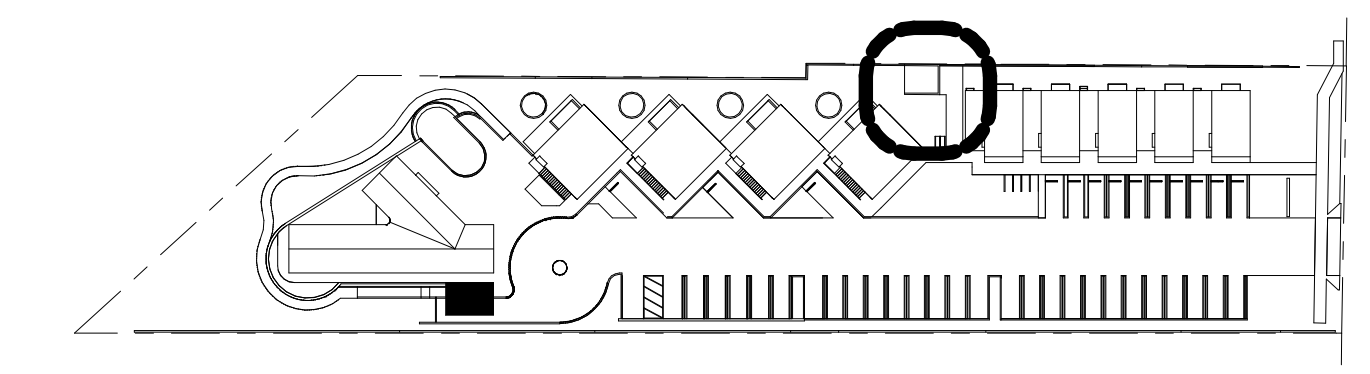


2 ENLARGED TRASH ENCLOSURE - ROOF PLAN
3/8" = 1'-0"

MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING, COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL, PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS, STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU, BOND STACK, COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER, PAINTED BLACK
- E-8 STEEL FENCE, PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

KEY PLAN



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1144 N. COGUE ST. HWY 101
ENCINITAS, CA 92024
619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

PROJECT NO. -
DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
TRASH ENCLOSURE DETAILS

SHEET NUMBER

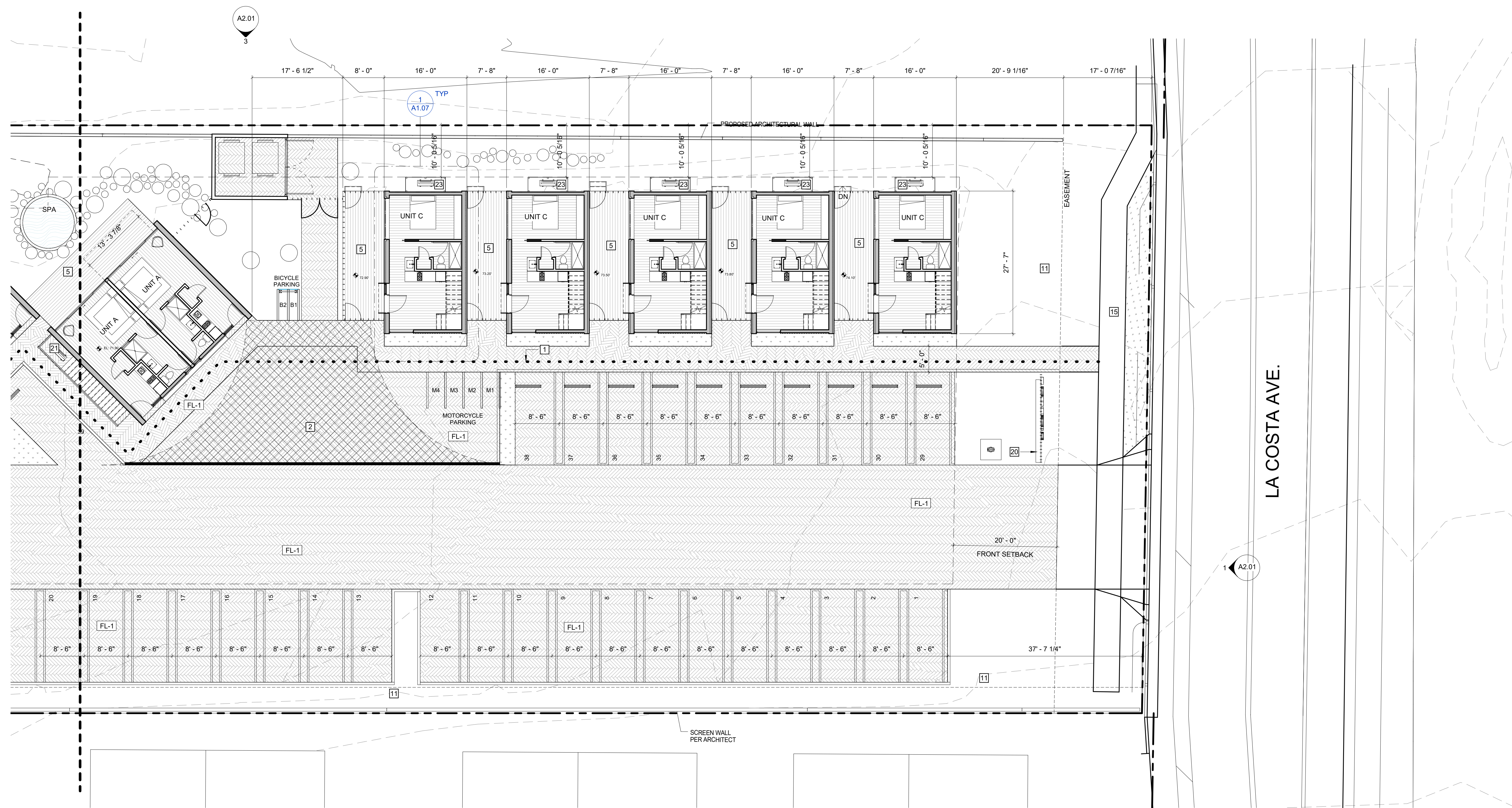
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 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com

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Case No. 18-188 DR/MUP/CDP



3 LEVEL 1 - FLOOR PLAN 
 1" = 10'-0"

KEYNOTES

- 1 ADA PATH OF TRAVEL
- 2 FIRE TRUCK TURNAROUND AREA
- 4 ADA RAMP
- 5 RAISED DECK
- 8 DRIVEWAY TURNAROUND
- 11 LANDSCAPE AREA
- 14 SPA DECK LOUNGE
- 15 STREET IMPROVEMENTS PER CITY OF ENCINITAS
- 16 PEDESTRIAN WALKWAY
- 17 COVERED OUTDOOR DINING AREA
- 20 MONUMENT SIGN
- 21 MECHANICAL EQUIPMENT UNDER STAIRS
- 23 MECHANICAL EQUIPMENT (SCREENED)

NOTES

PROJECT NO. -
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 FLOOR PLAN - LEVEL 1

SHEET NUMBER

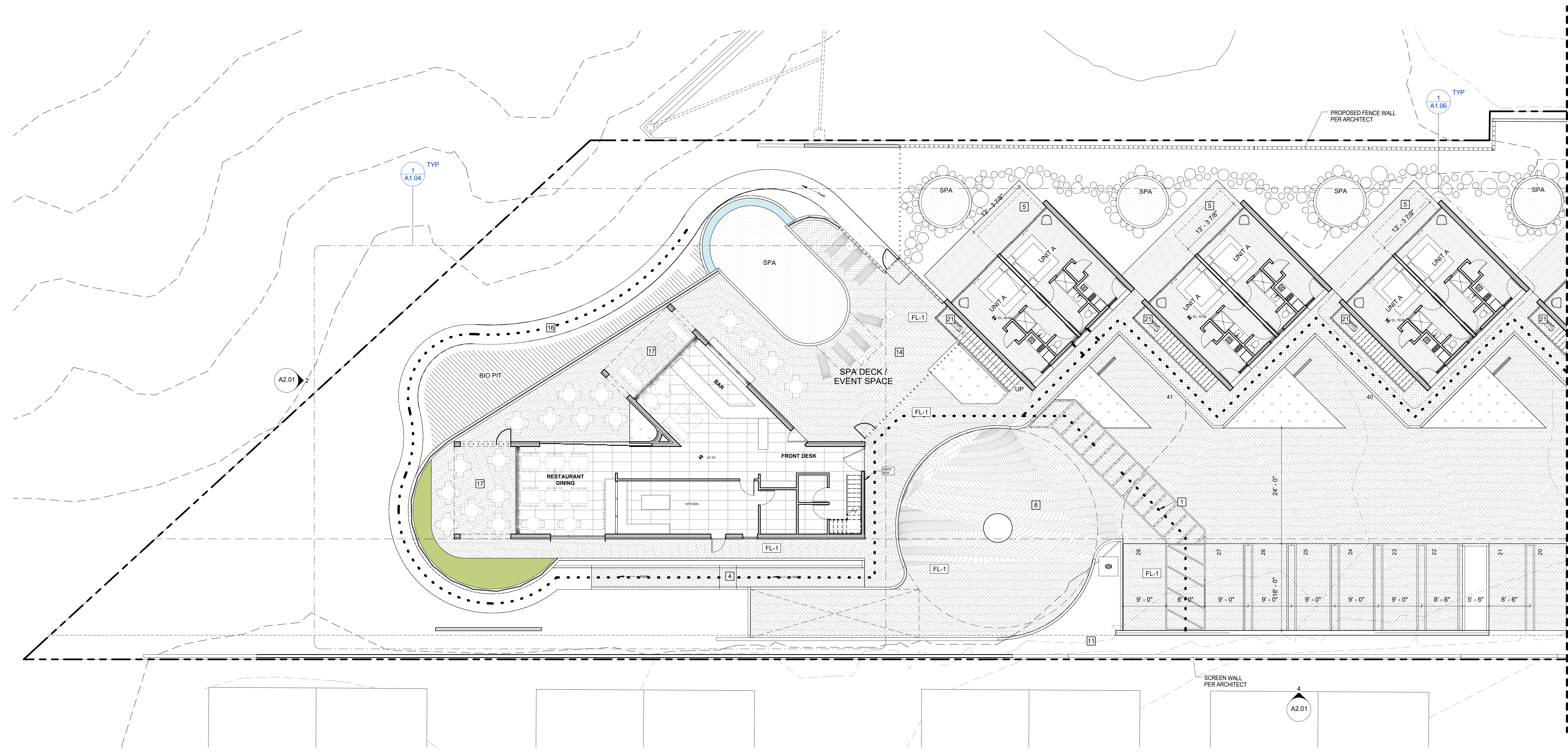
A1.01a

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 619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA
 Case No. 18-188 DR/MUP/CDP



1 LEVEL 1 - FLOOR PLAN 
 1" = 10'-0"

KEYNOTES

1	ADA PATH OF TRAVEL
2	FIRE TRUCK TURNAROUND AREA
4	ADA RAMP
5	RAISED DECK
8	DRIVEWAY TURNAROUND
11	LANDSCAPE AREA
14	SPA DECK LOUNGE
15	STREET IMPROVEMENTS PER CITY OF ENCINITAS
16	PEDESTRIAN WALKWAY
17	COVERED OUTDOOR DINING AREA
20	MONUMENT SIGN
21	MECHANICAL EQUIPMENT UNDER STAIRS
23	MECHANICAL EQUIPMENT (SCREENED)

NOTES

PROJECT NO. -
 DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
 FLOOR PLAN - LEVEL 1

SHEET NUMBER

A1.01b

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3	08/03/2021 CDP-SUB 4

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516 LA COSTA

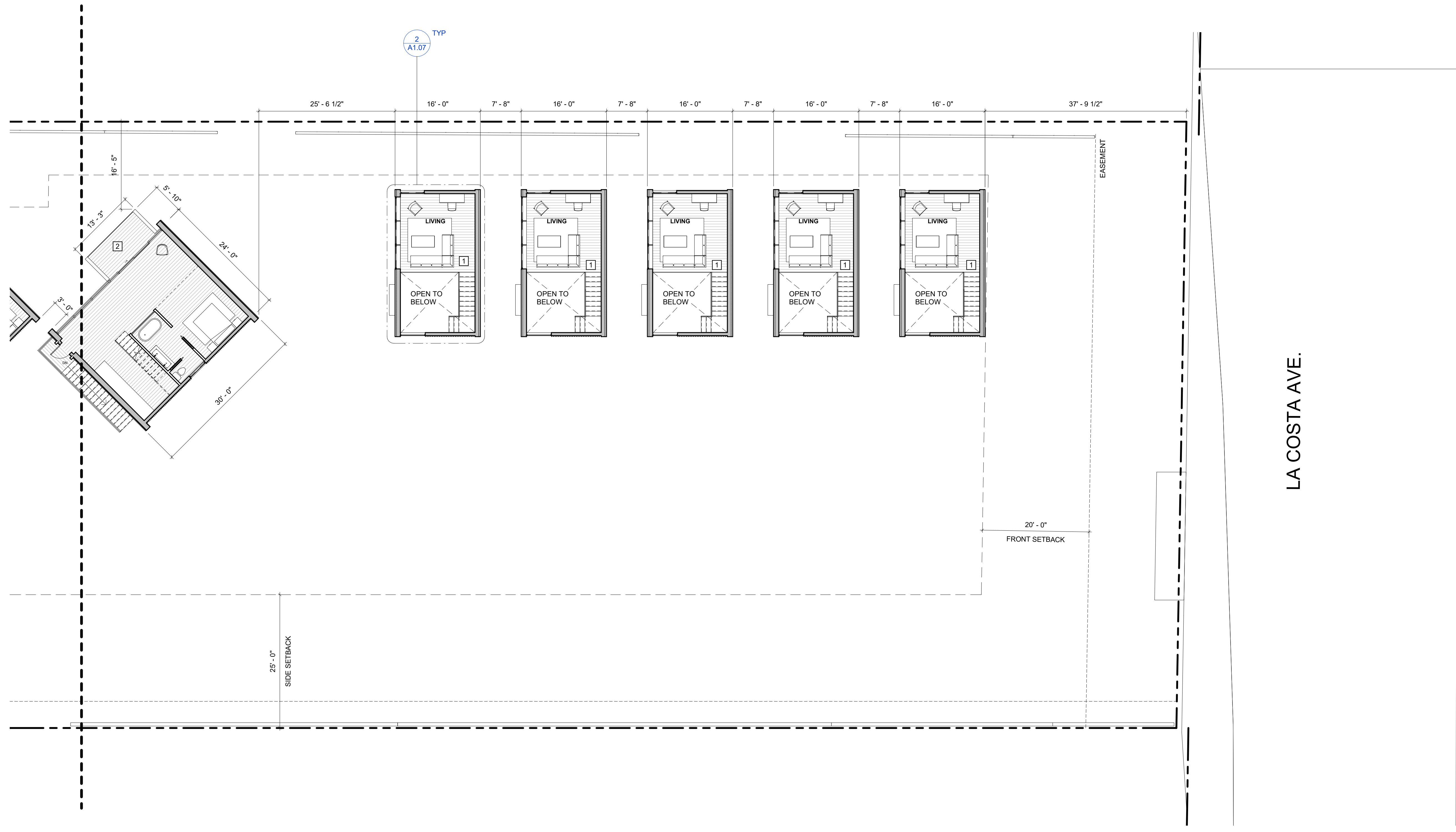
Case No. 18-188 DR/MUP/CDP

PROJECT NO. -
 DRAWINGS PREPARED BY:
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SHEET TITLE
 FLOOR PLAN - LEVEL 2

SHEET NUMBER

A1.02a



1 LEVEL 2 - FLOOR PLAN
 1" = 10'-0"

KEYNOTES

- 1 UNIT C LOFT
- 2 BALCONY

NOTES

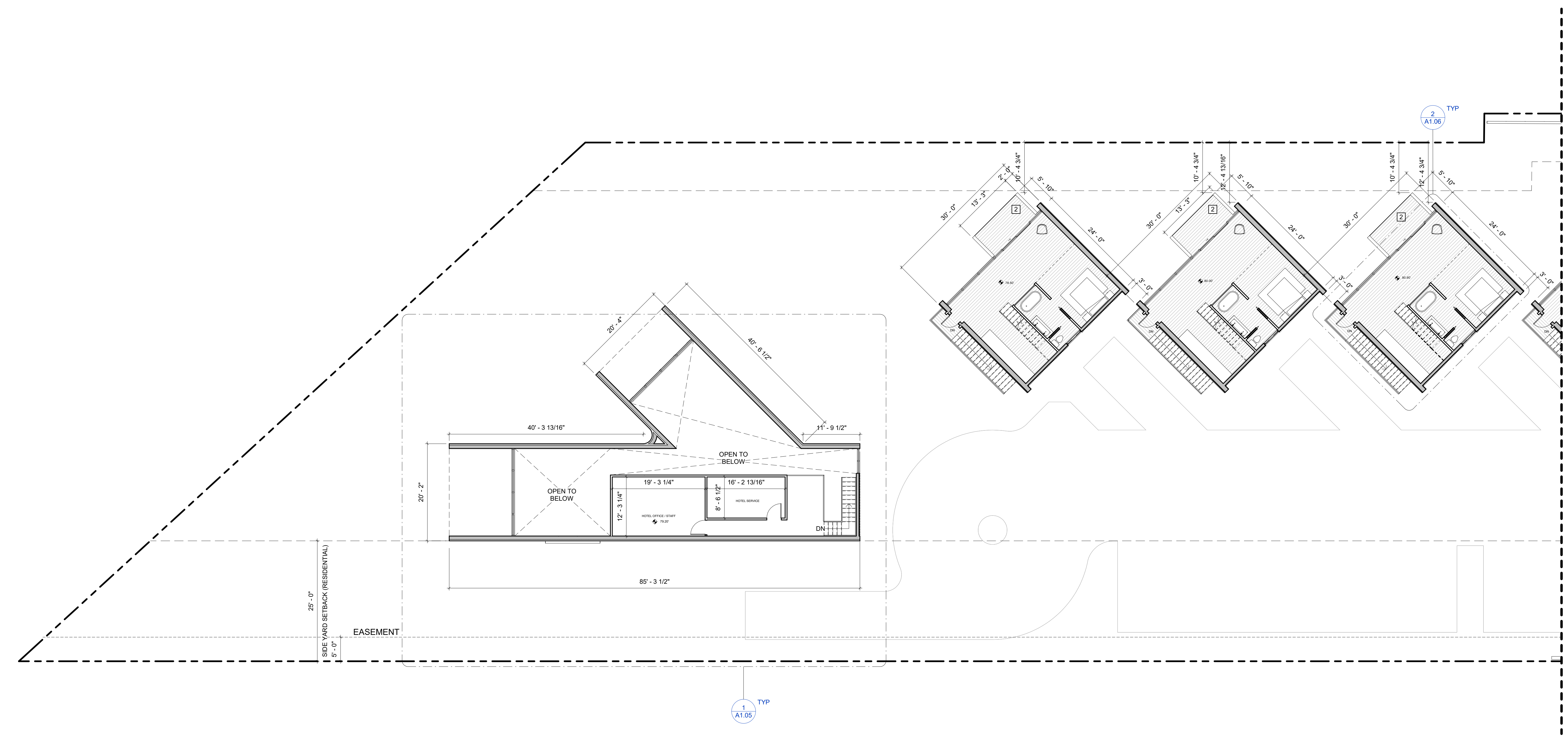
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516 LA COSTA

Case No. 18-188 DRMUP/CDP



1 LEVEL 2 - FLOOR PLAN
 1" = 10'-0"

KEYNOTES

1	UNIT C LOFT
2	BALCONY

NOTES

PROJECT NO.	-	
DRAWINGS PREPARED BY:	LINDSAY BROWN	

SHEET TITLE
 FLOOR PLAN - LEVEL 2

SHEET NUMBER

A1.02b

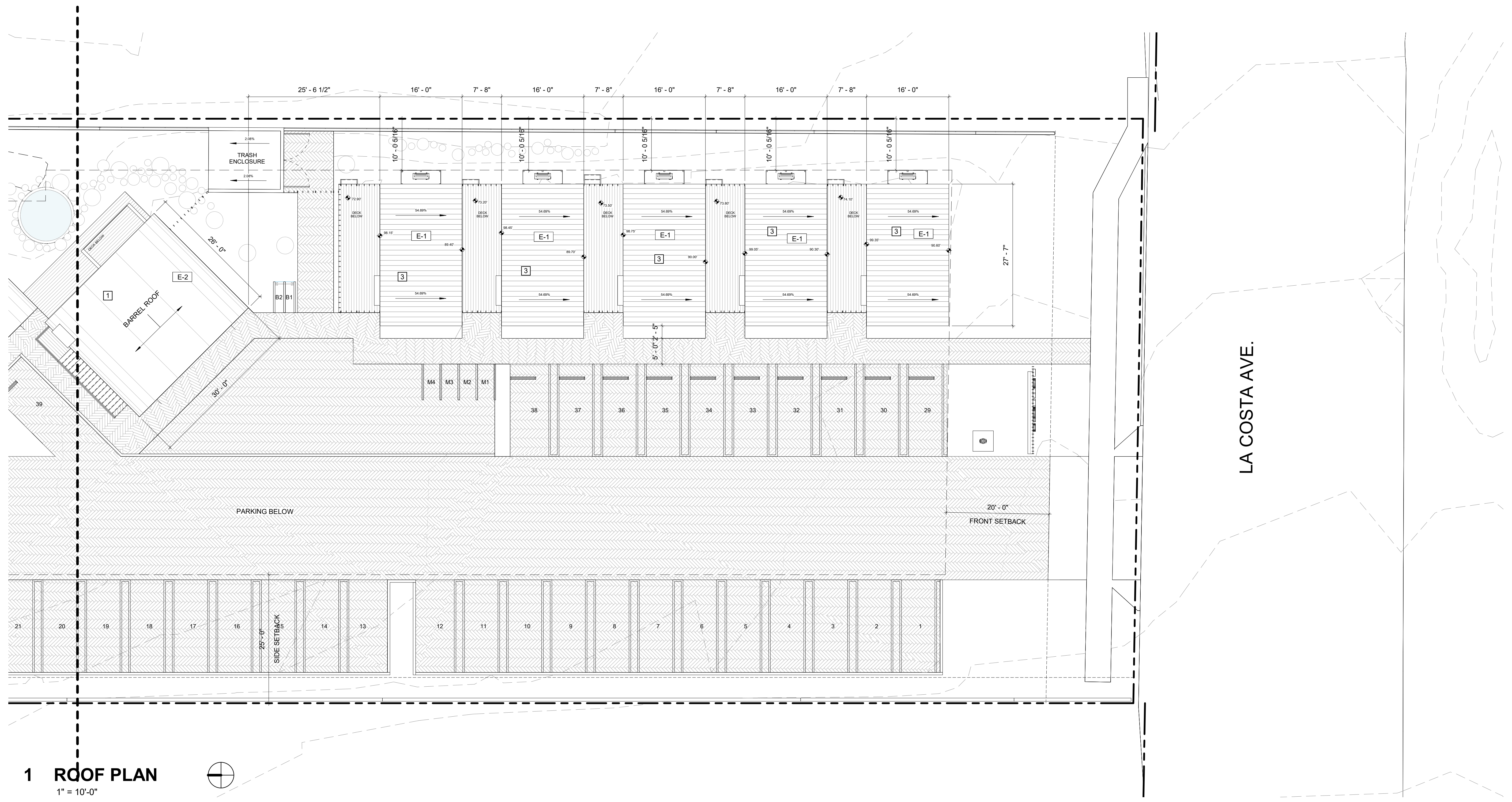
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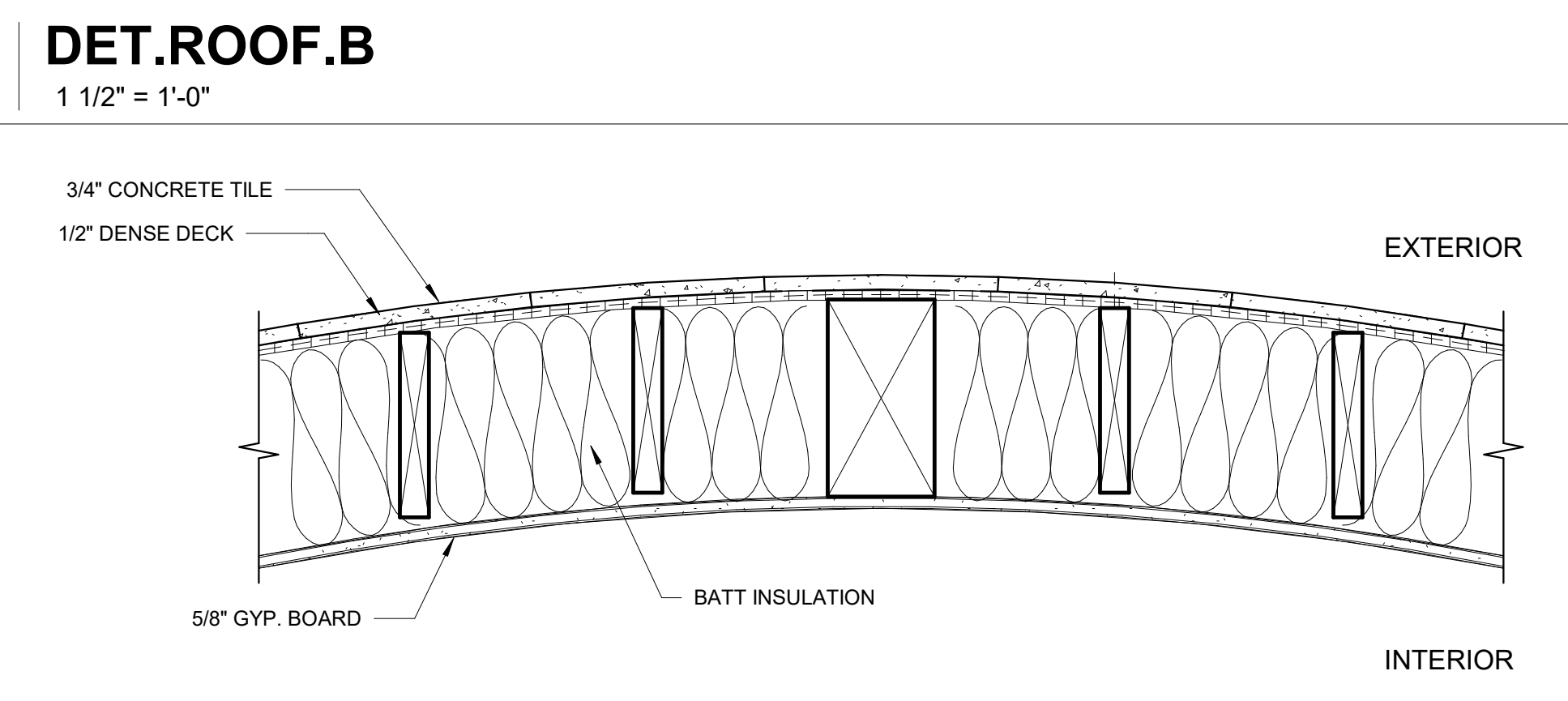
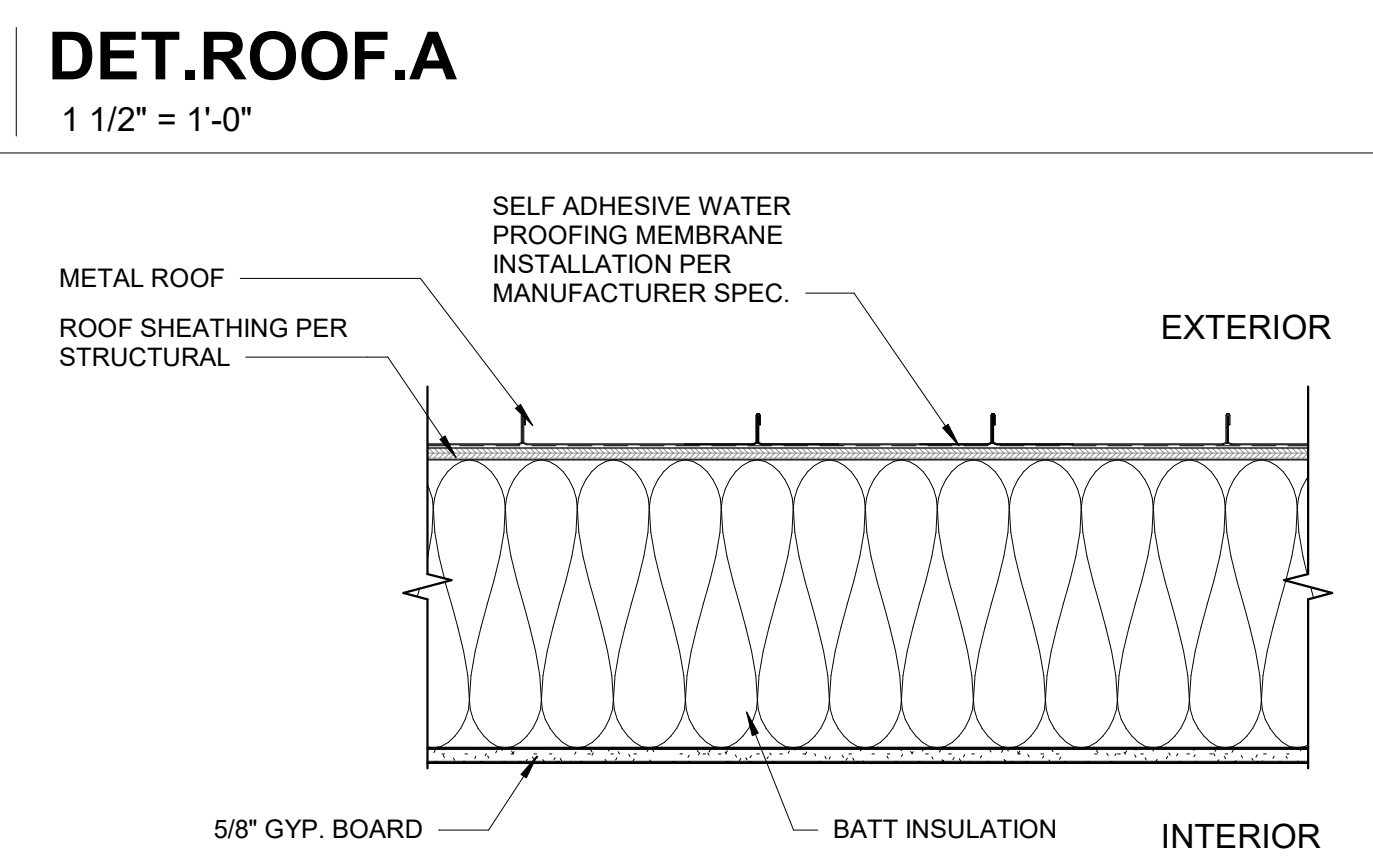
516 LA COSTA

Case No. 18-188 DR/MUP/CDP



1 ROOF PLAN
 1" = 10'-0"

- KEYNOTES**
- CONCRETE TILE BARREL ROOF
 - ROOF TYPE B: CONCRETE TILE BARREL ROOF
 - ROOF TYPE A: Fabral® Mighti-Rib® METAL ROOFING SYSTEM, (NON-REFLECTIVE) UL 790 CLASS A FIRE RESISTANCE RATING, UL 2218 CLASS 4 HAIL IMPACT RESISTANCE, UL 580 CLASS 90 UPLIFT TEST RATING, WITH GEORGIA-PACIFIC DENSGLASS FIREGUARD SHEATHING UNDERLAYMENT, ICC ESR-3087 OR SIMILAR; REFER TO STRUCTURAL FOR SHEATHING SIZE.
 - FUTURE AREA FOR SOLAR PANELS



STANDING SEAM METAL ROOF
 MANUFACTURER : CUSTOM-BILT METALS
 PANELS : CB-150 OR SL-1750
 ASTM A 792

DECK : MINIMUM 15/32" PLYWOOD
 UNDERLAYMENT : ONE LAYER OF TYPE II AND TWO LAYERS OF GAF VERSASHEILD
 FIRE RESISTANCE ROOF DECK PROTECTION
 FIRE RESISTANCE RATING : ASTM E108 (UL 790) CLASS A

NOTES

PROJECT NO. -
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ROOF PLAN

SHEET NUMBER
A1.03a

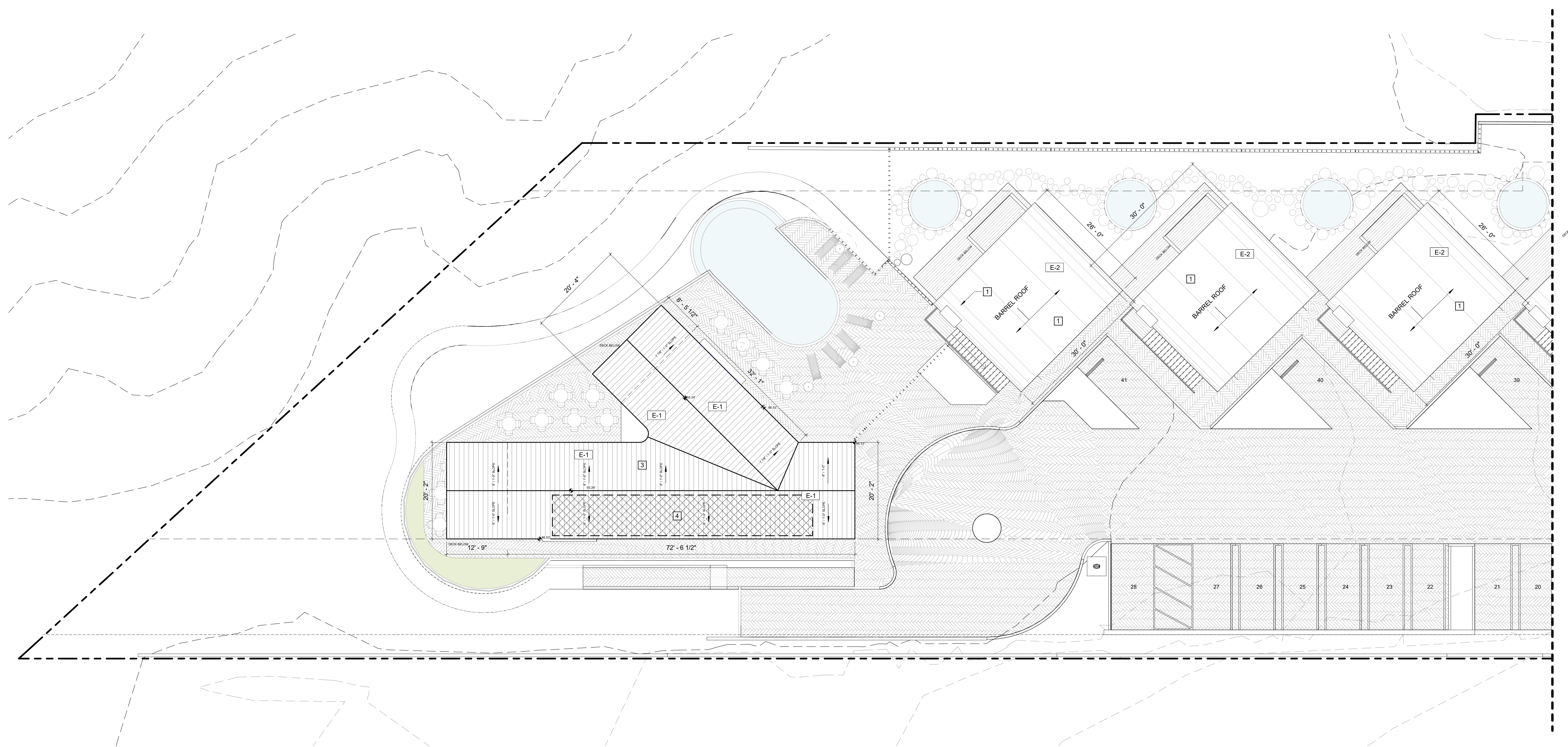
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 619.577.4610 lindsay@thebrownstudio.com

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Case No. 18-188 DR/MUP/CDP

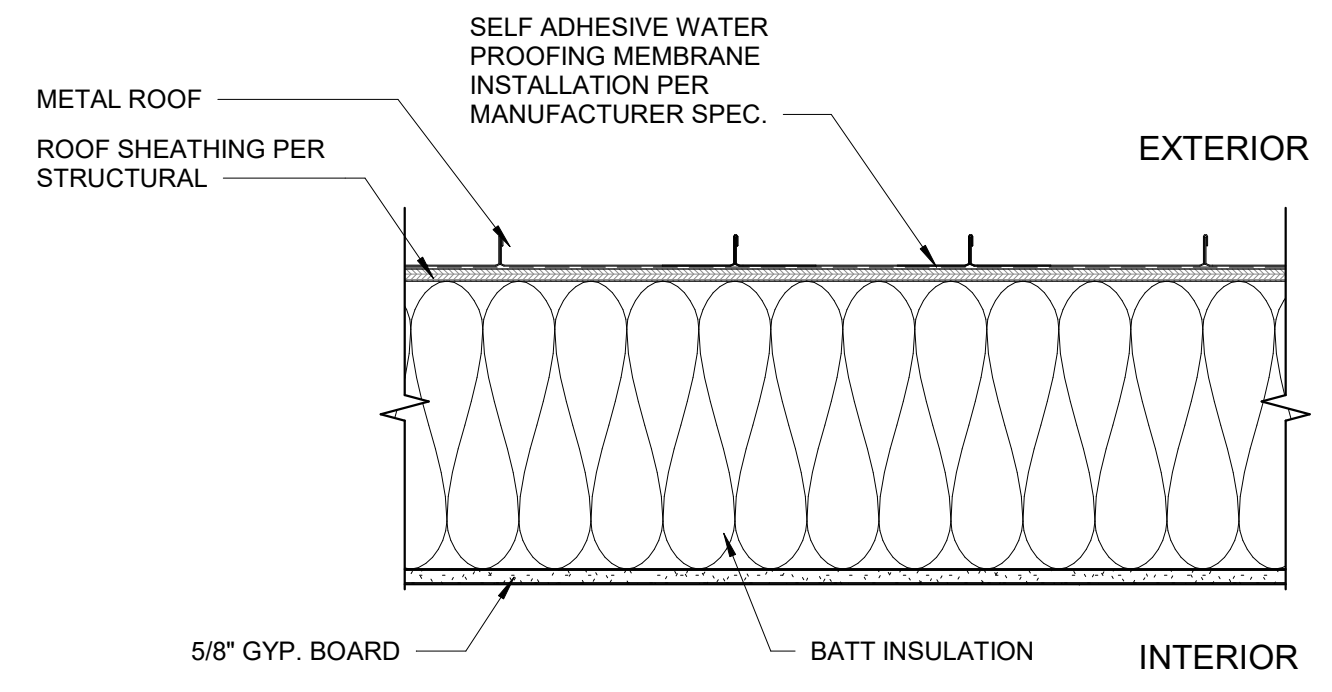


1 ROOF PLAN
 1" = 10'-0"

KEYNOTES

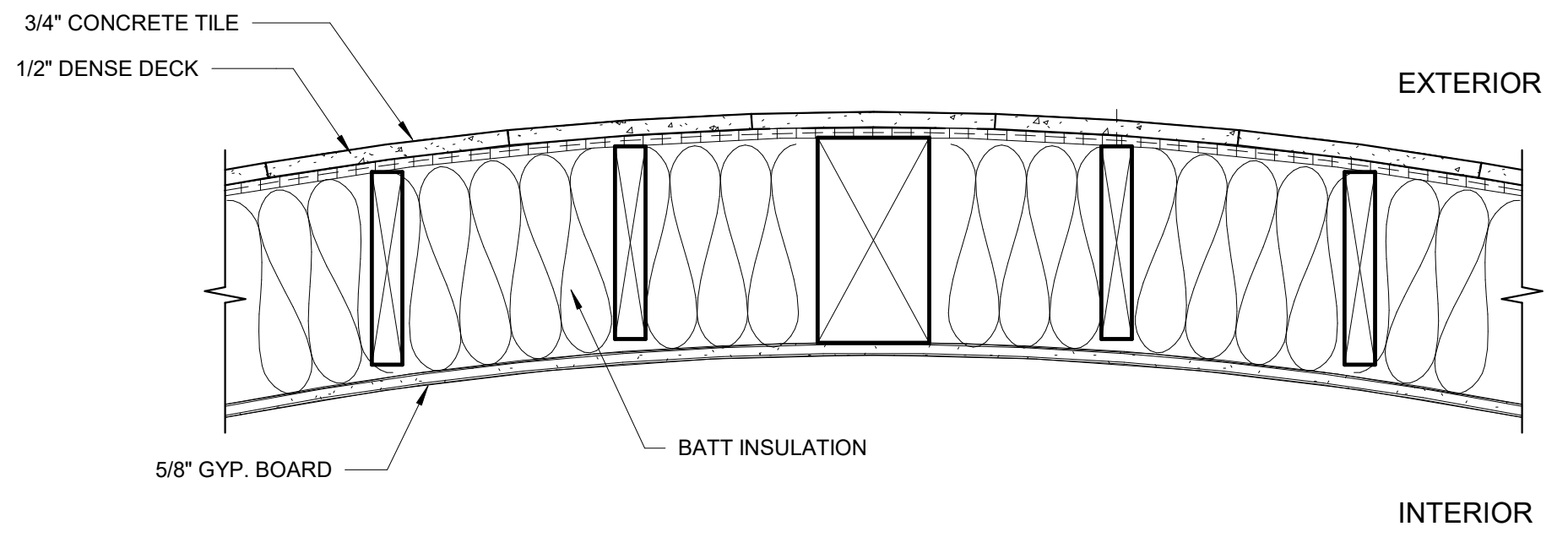
- 1 CONCRETE TILE BARREL ROOF
- 1 ROOF TYPE B: CONCRETE TILE BARREL ROOF
- 3 ROOF TYPE A: Fabral® Mighti-Rib® METAL ROOFING SYSTEM, (NON-REFLECTIVE) UL 790 CLASS A FIRE RESISTANCE RATING, UL 2218 CLASS 4 HAIL IMPACT RESISTANCE, UL 580 CLASS 90 UPLIFT TEST RATING, WITH GEORGIA-PACIFIC DENSGLASS FIREGUARD SHEATHING UNDERLAYMENT, ICC ESR-3087 OR SIMILAR; REFER TO STRUCTURAL FOR SHEATHING SIZE.
- 4 FUTURE AREA FOR SOLAR PANELS

DET. ROOF.A
 1 1/2" = 1'-0"



STANDING SEAM METAL ROOF
 MANUFACTURER : CUSTOM-BILT METALS
 PANELS : CB-150 OR SL-1750
 ASTM A 792
 DECK : MINIMUM 15/32" PLYWOOD
 UNDERLAYMENT : ONE LAYER OF TYPE II AND TWO LAYERS OF GAF VERSASHEILD
 FIRE RESISTANCE ROOF DECK PROTECTION
 FIRE RESISTANCE RATING : ASTM E108 (UL 790) CLASS A

DET. ROOF.B
 1 1/2" = 1'-0"



NOTES

PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ROOF PLAN

SHEET NUMBER

A1.03b

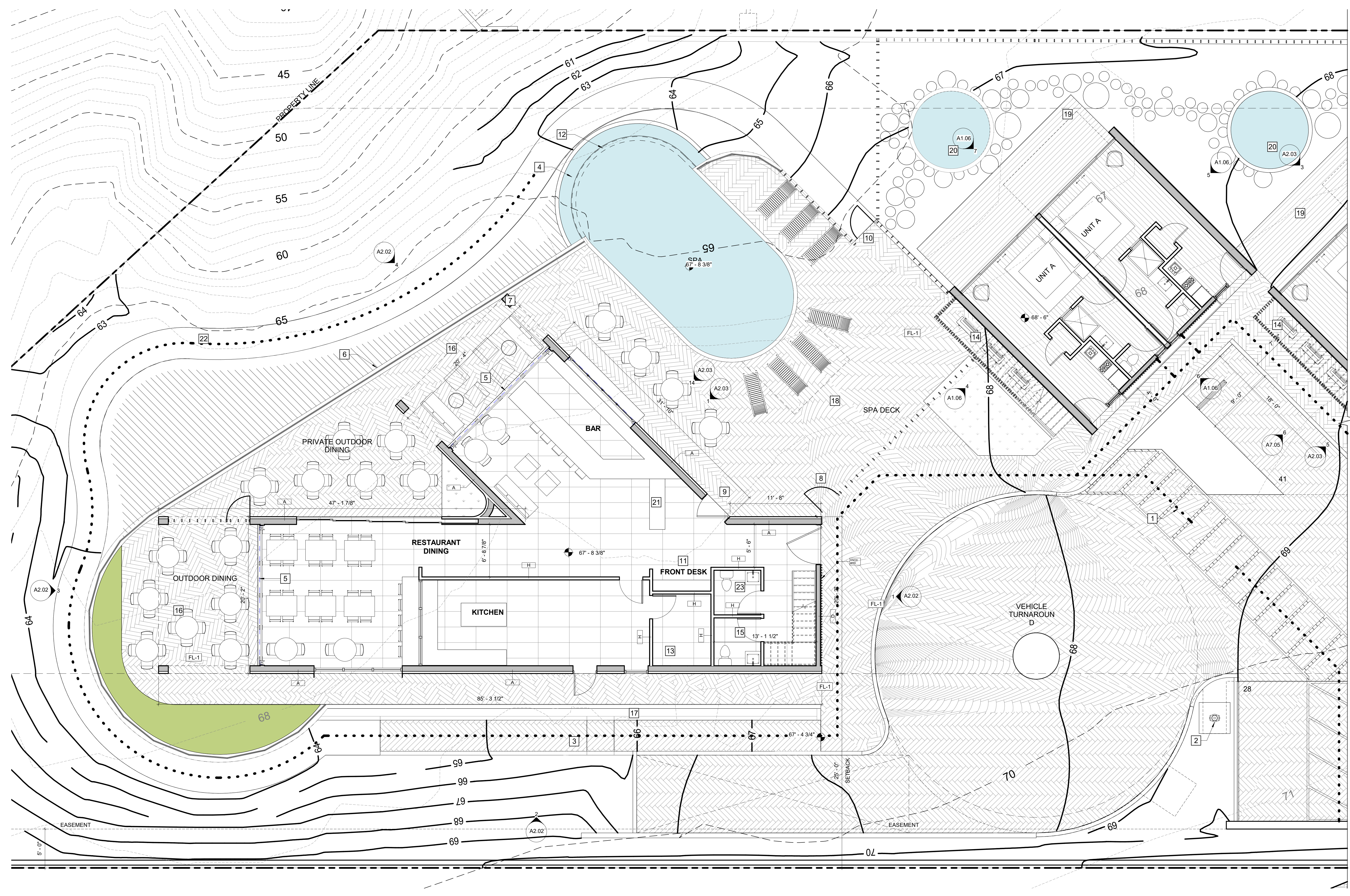
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Case No. 18-188 DR/MUP/CDP



1 ENLARGED FLOOR PLAN - RESTAURANT LEVEL 1 
 3/16" = 1'-0"

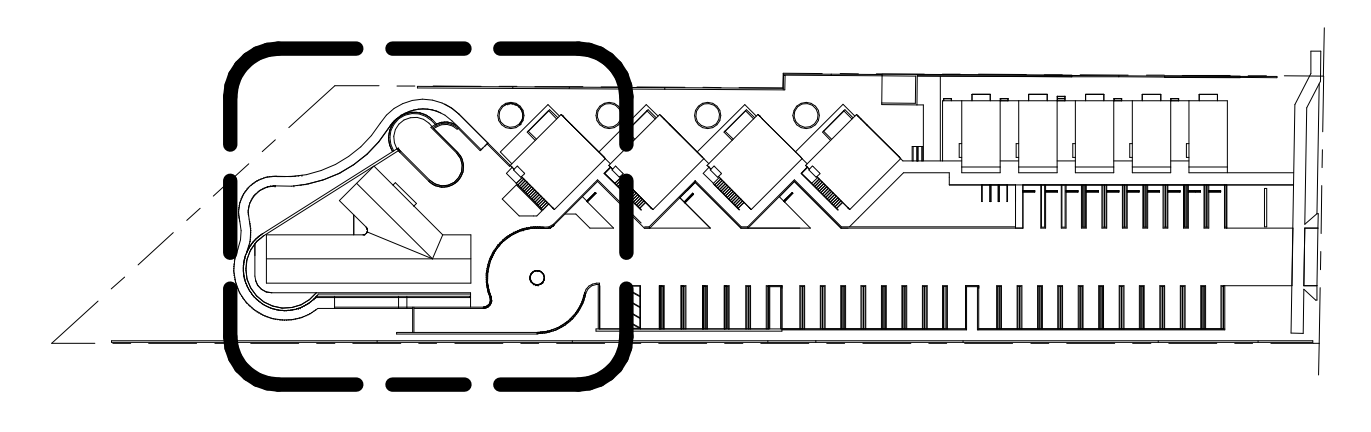
KEYNOTES

1	ADA PATH OF TRAVEL	19	PRIVATE OUTDOOR DECK
2	FIRE HYDRANT	20	PRIVATE SPA
3	ADA RAMP TO WALKWAY	21	RESTAURANT RECEPTION AREA
4	CATCH BASIN	22	WALKWAY
5	FLIP UP WINDOW SYSTEM	23	WOMENS RESTROOM
6	GLASS SOUND WALL		
7	HOTEL GUEST OUTDOOR DINING ACCESS (KEYCARD)		
8	HOTEL GUEST PATIO ACCESS (KEYCARD)		
9	HOTEL GUEST RESTAURANT ACCESS (KEYCARD)		
10	HOTEL GUEST WALKWAY ACCESS (KEYCARD)		
11	HOTEL SELF CHECK IN DESK		
12	INFINITY EDGE SPA		
13	KITCHEN STORAGE		
14	MECHANICAL EQUIPMENT UNDER STAIR (SCREENED)		
15	MENS RESTROOM		
16	COVERED OUTDOOR DINING AREA		
17	PLANTER		
18	PRIVATE OUTDOOR AREA		

WALL LEGEND

EXTERIOR	
TYPE A -	WOOD STUD / METAL WALL CLADDING
TYPE B -	WOOD STUD / CONCRETE WALL CLADDING
TYPE C -	WOOD STUD / CONCRETE WALL CLADDING
TYPE D -	WOOD STUD / WOOD WALL CLADDING
TYPE E -	WOOD STUD / WOOD WALL CLADDING LATTICE
TYPE F -	WOOD STUD / METAL WALL CLADDING LATTICE
INTERIOR	
TYPE G -	WOOD STUD / DEMISING WALL DOUBLE GYP BOARD
TYPE H -	WOOD STUD / GYP BOARD

KEY PLAN



PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ENLARGED RESTAURANT/
 COMMUNAL AREAS
SHEET NUMBER

A1.04

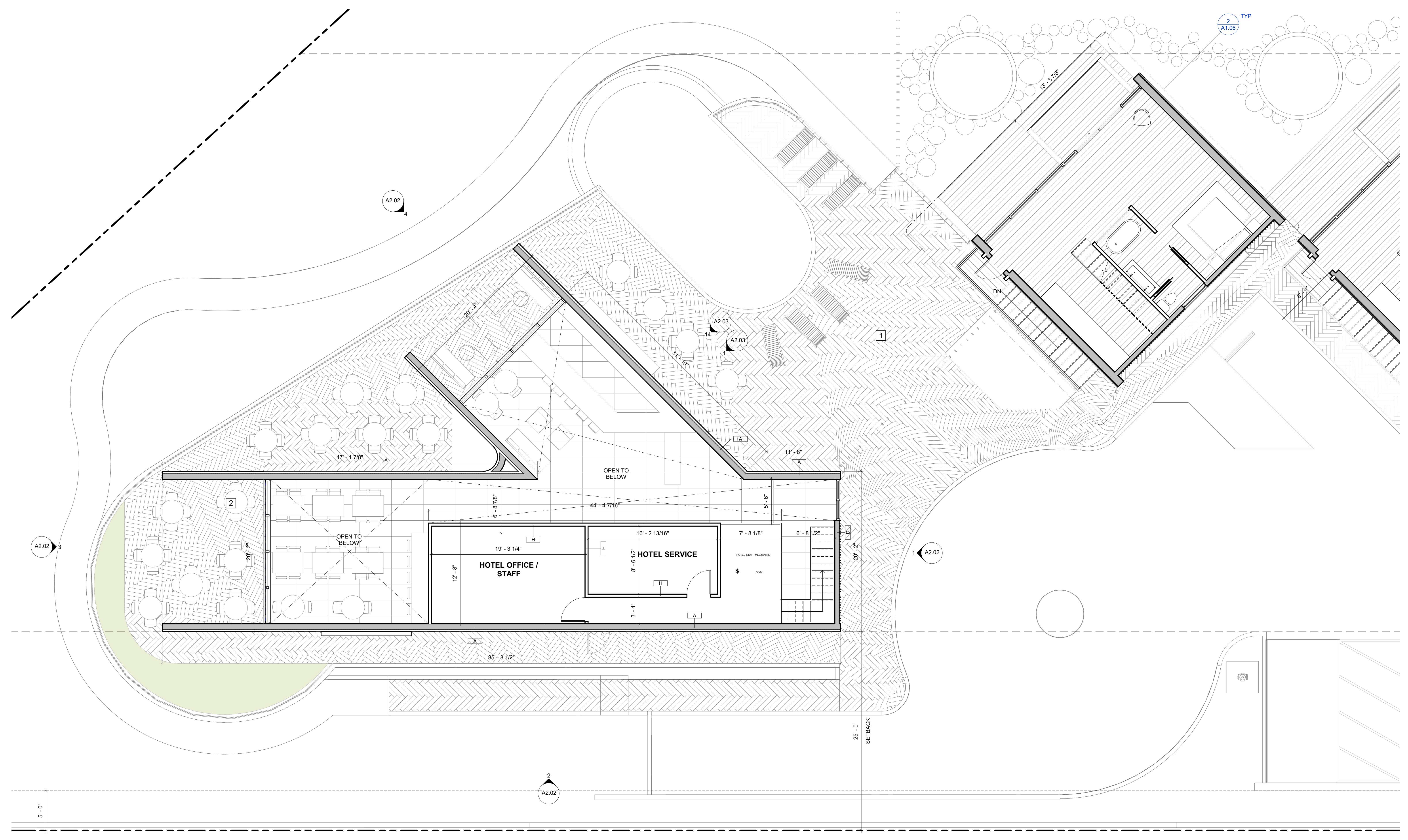
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 619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP



1 ENLARGED FLOOR PLAN - RESTAURANT LEVEL 2 (MEZZANINE)
 3/16" = 1'-0"

KEYNOTES

1	OUTDOOR SPA AREA BELOW
2	OUTDOOR DINING AREA BELOW

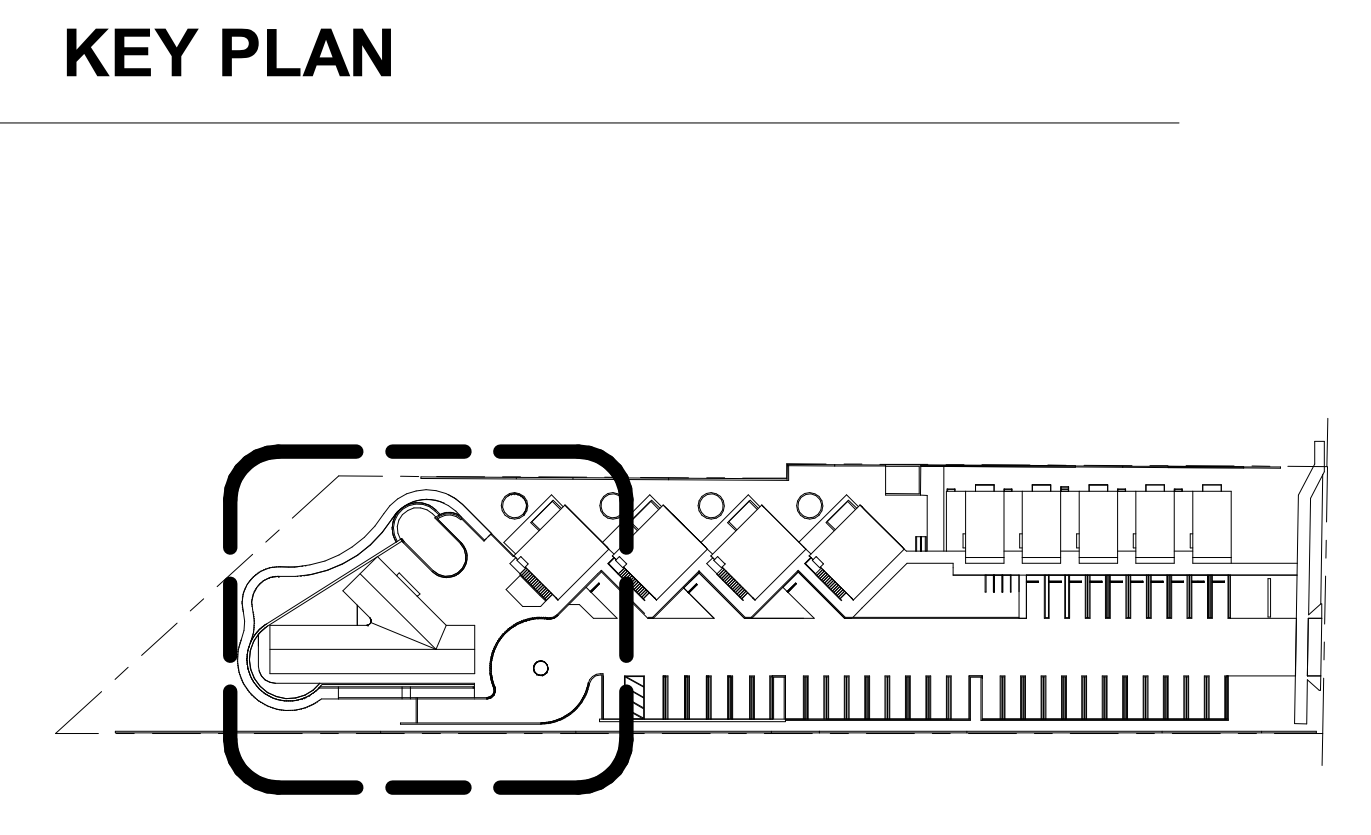
WALL LEGEND

EXTERIOR

- TYPE A - WOOD STUD / METAL WALL CLADDING
- TYPE B - WOOD STUD / CONCRETE WALL CLADDING
- TYPE C - WOOD STUD / CONCRETE WALL CLADDING
- TYPE D - WOOD STUD / WOOD WALL CLADDING
- TYPE E - WOOD STUD / WOOD WALL CLADDING LATTICE
- TYPE F - WOOD STUD / METAL WALL CLADDING LATTICE

INTERIOR

- TYPE G - WOOD STUD / DEMISING WALL DOUBLE GYP BOARD
- TYPE H - WOOD STUD / GYP BOARD



PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ENLARGED RESTAURANT/
 COMMUNAL AREAS

SHEET NUMBER

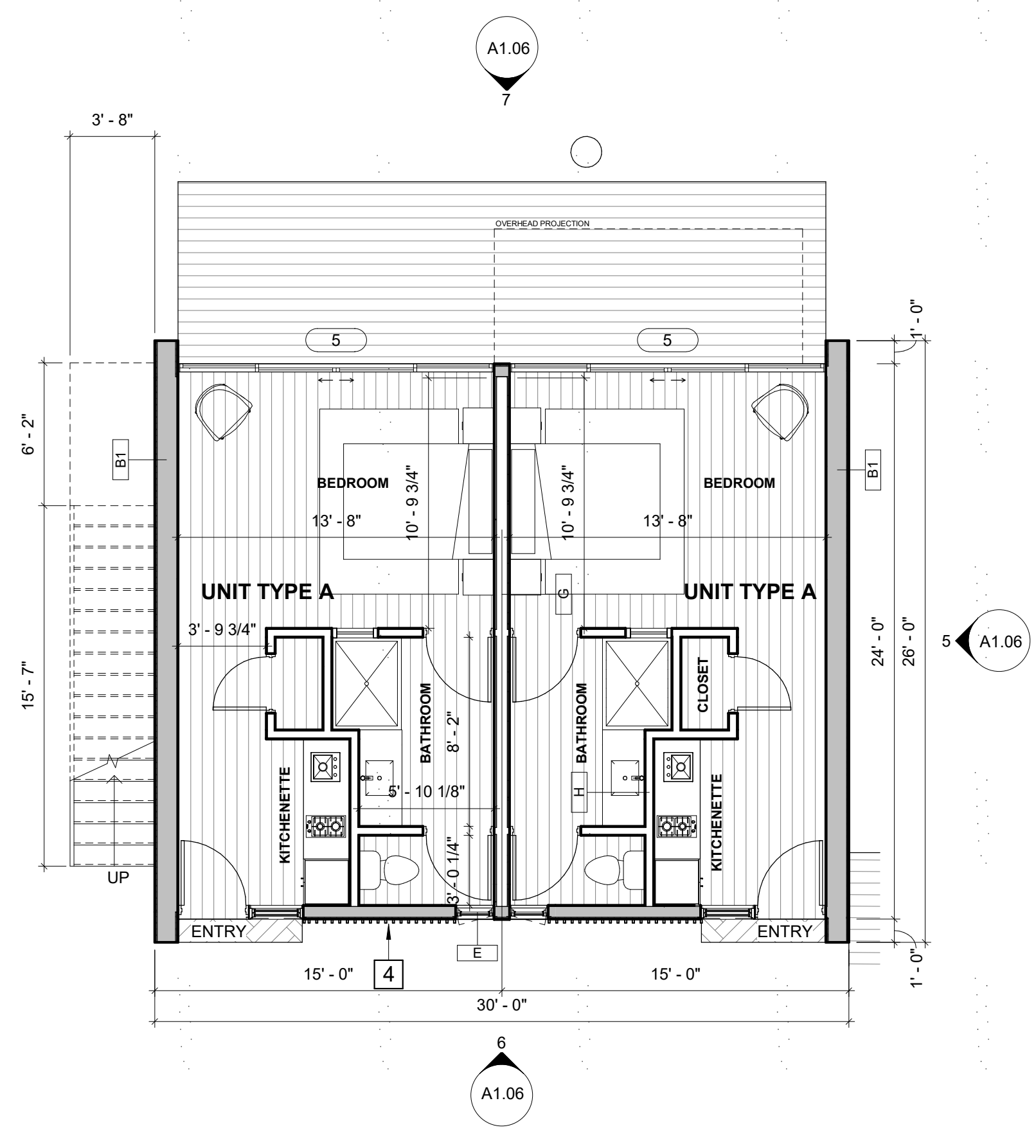
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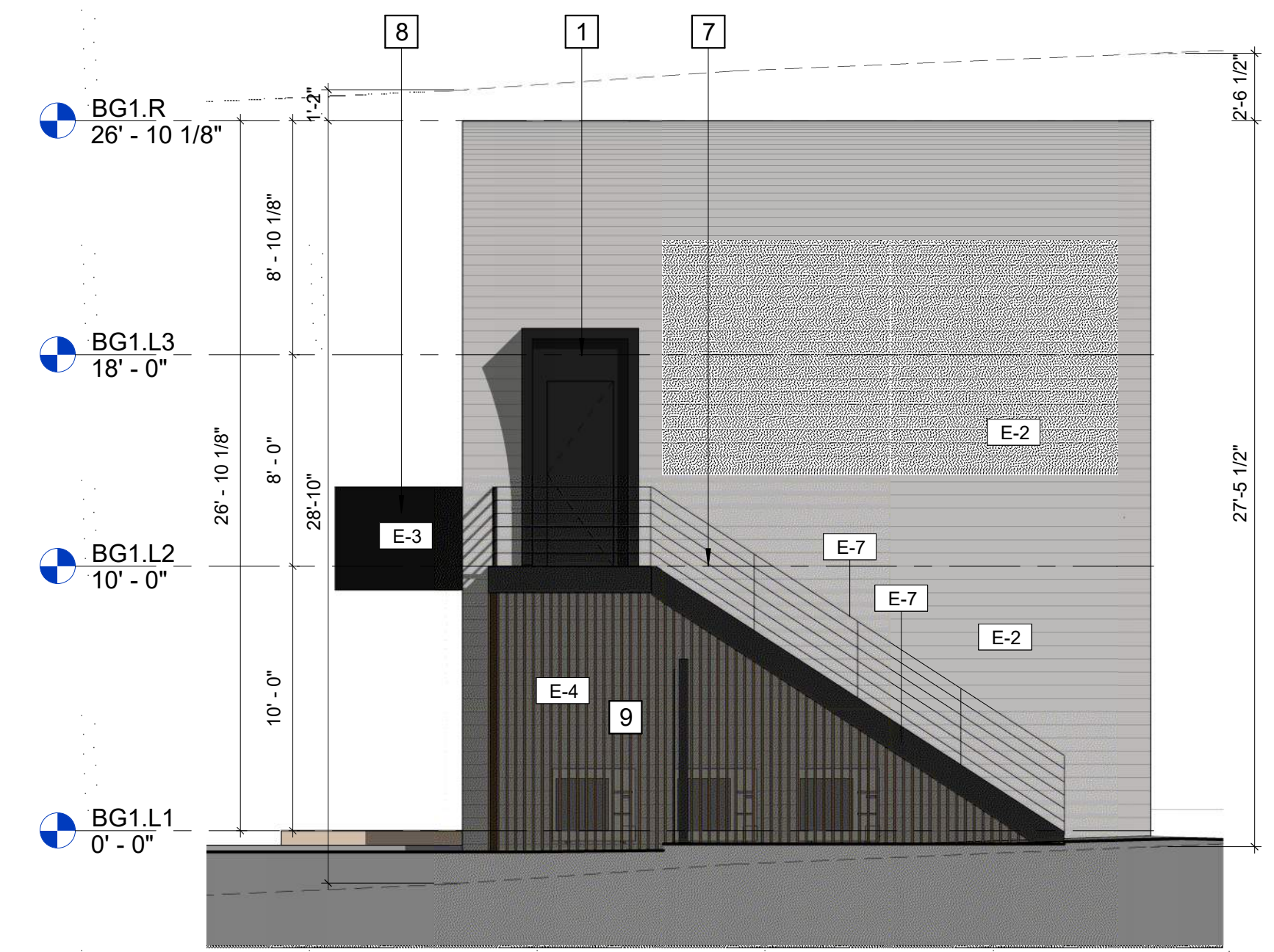
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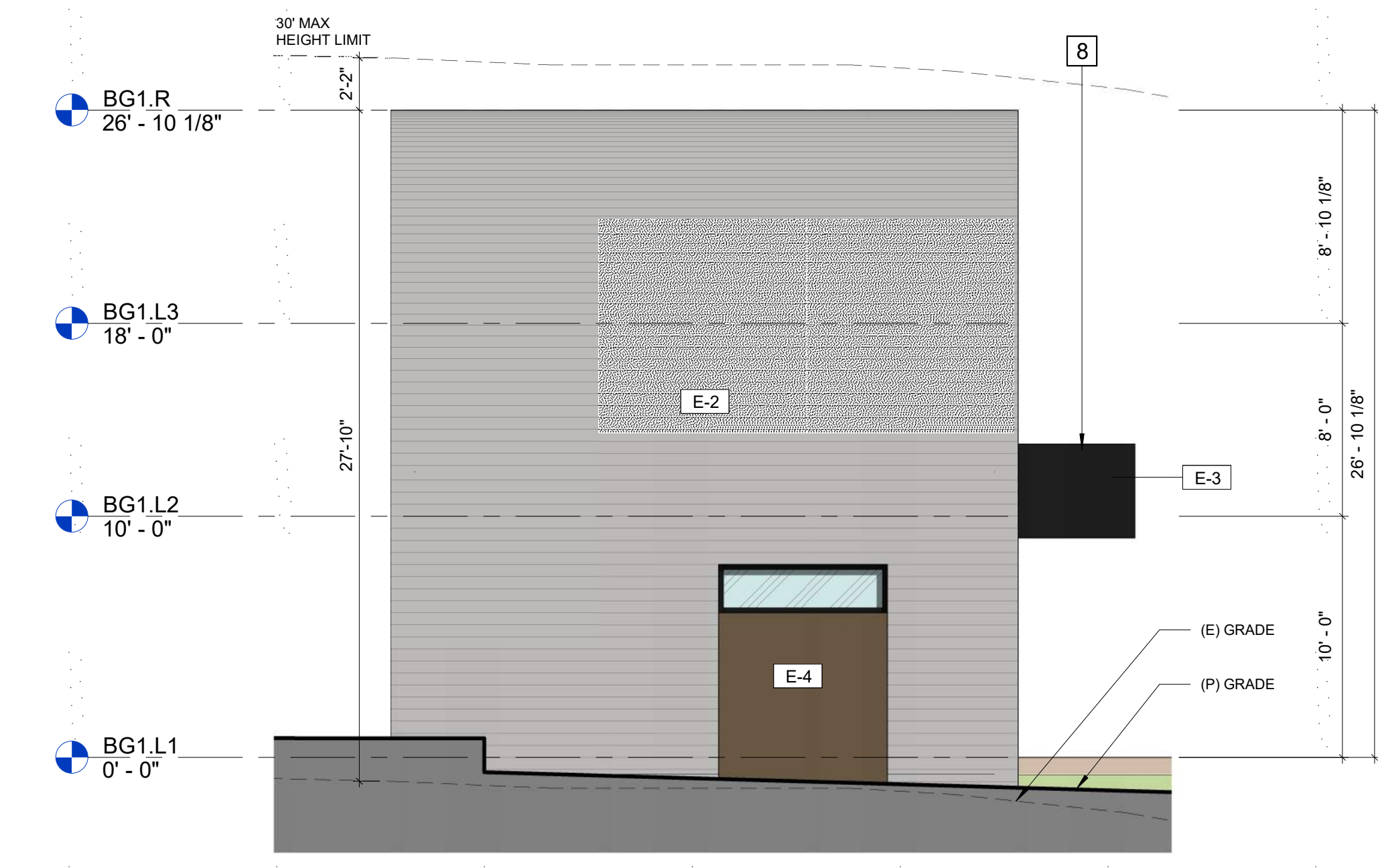
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 Case No. 18-188 DR/MUP/CDP



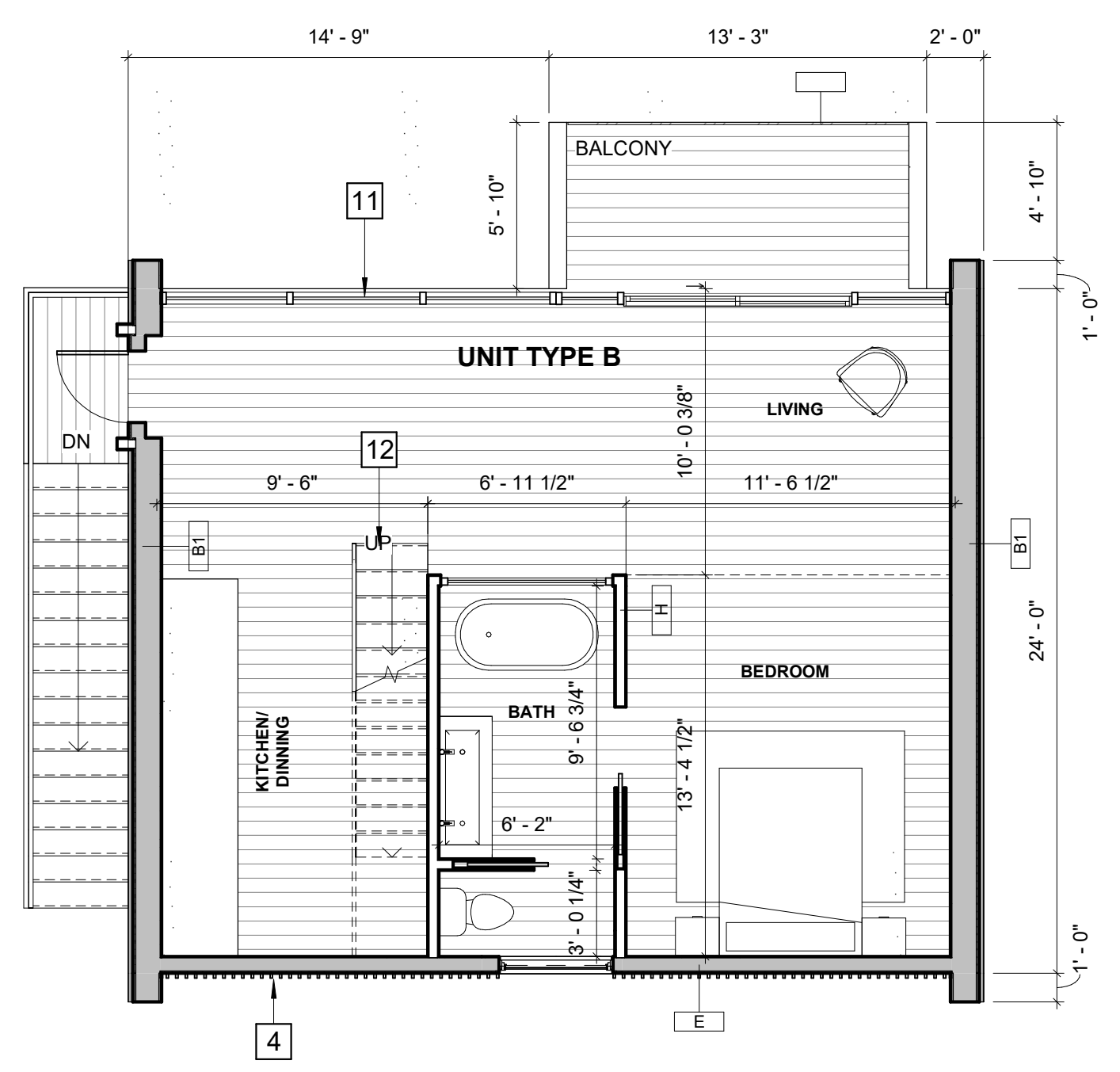
1 ENLARGED BUNGALOW A - LEVEL 1 - TYP.
 3/16" = 1'-0"



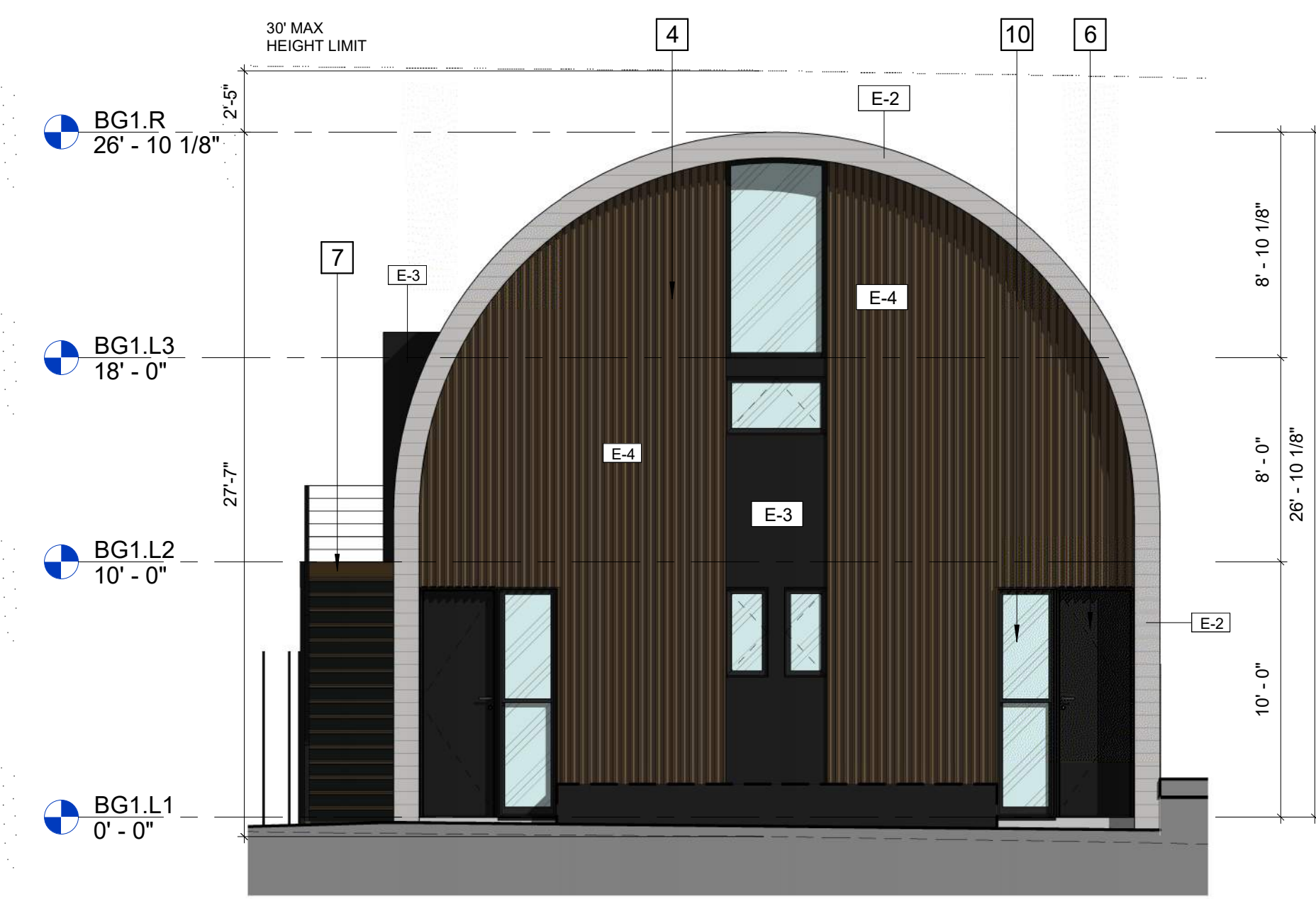
4 BUILDING 2 - WEST ELEVATION
 3/16" = 1'-0"



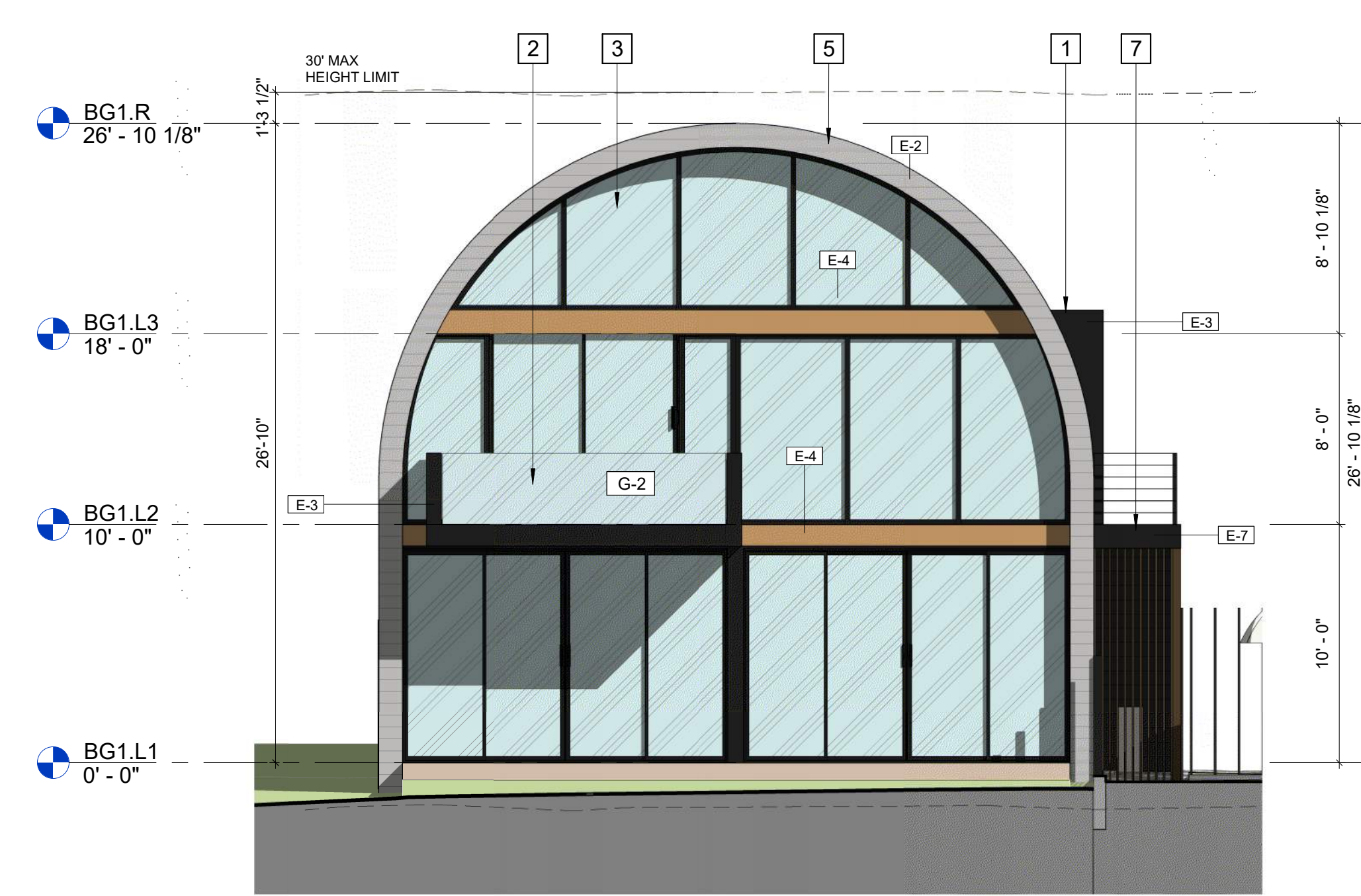
5 BUILDING 2 - EAST ELEVATION
 3/16" = 1'-0"



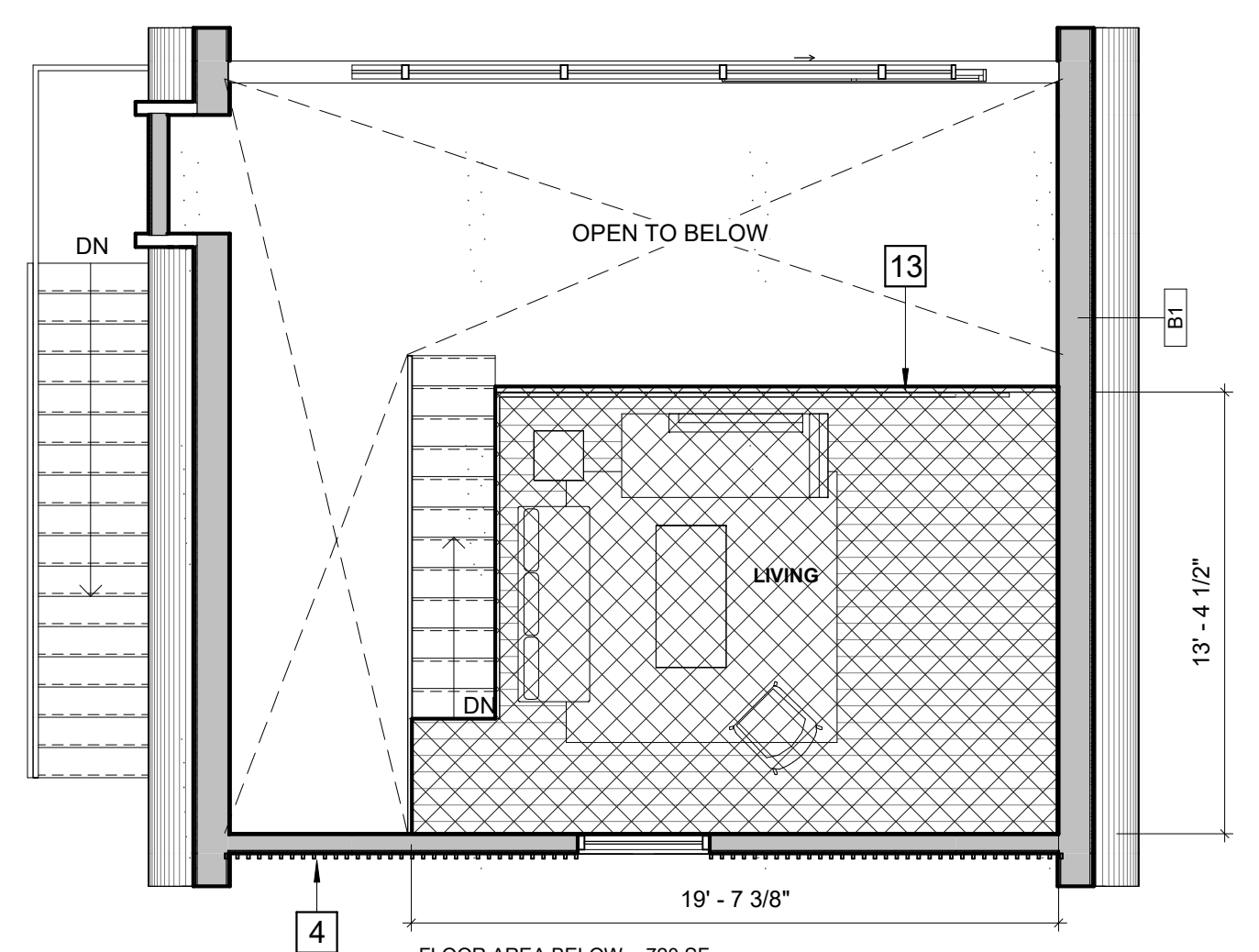
2 ENLARGED BUNGALOW A - LEVEL 2 - TYP.
 3/16" = 1'-0"



6 BUILDING 2 - SOUTH ELEVATION
 3/16" = 1'-0"



7 BUILDING 2 - NORTH ELEVATION
 3/16" = 1'-0"



3 ENLARGED BUNGALOW A - LOFT LEVEL 2 - TYP.
 3/16" = 1'-0"

KEYNOTES

- 1 DORMER/ENTRY
- 2 GLASS GUARD RAIL
- 3 CUSTOM GLAZING
- 4 WOOD LATTICE WALL CLADDING
- 5 BARREL ROOF
- 6 UNIT ENTRY DOOR
- 7 STAIR ACCESS TO UPPER LEVEL UNIT
- 8 BALCONY
- 9 WOOD SCREEN. MECHANICAL EQUIPMENT BEYOND
- 10 WINDOW
- 11 CUSTOM GLAZING
- 12 STAIR TO LOFT AREA
- 13 MEZZANINE GUARDRAIL

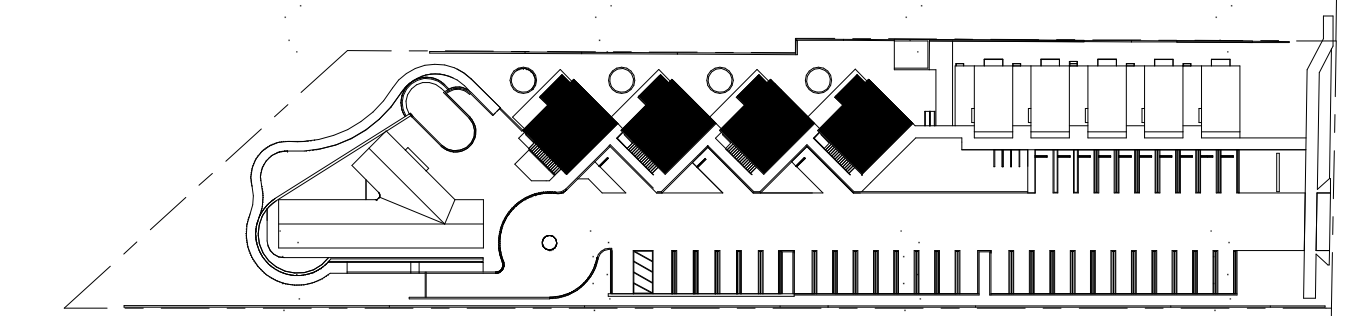
WALL LEGEND

- EXTERIOR**
- TYPE A - WOOD STUD / METAL WALL CLADDING
 - TYPE B - WOOD STUD / CONCRETE WALL CLADDING
 - TYPE C - WOOD STUD / CONCRETE WALL CLADDING
 - TYPE D - WOOD STUD / WOOD WALL CLADDING
 - TYPE E - WOOD STUD / WOOD WALL CLADDING LATTICE
 - TYPE F - WOOD STUD / METAL WALL CLADDING LATTICE
- INTERIOR**
- TYPE G - WOOD STUD / DEMISING WALL DOUBLE GYP BOARD
 - TYPE H - WOOD STUD / GYP BOARD

MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING. COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER. PAINTED BLACK
- E-8 STEEL FENCE. PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

KEY PLAN



PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ENLARGED PLAN BUILDING TYPE A

SHEET NUMBER

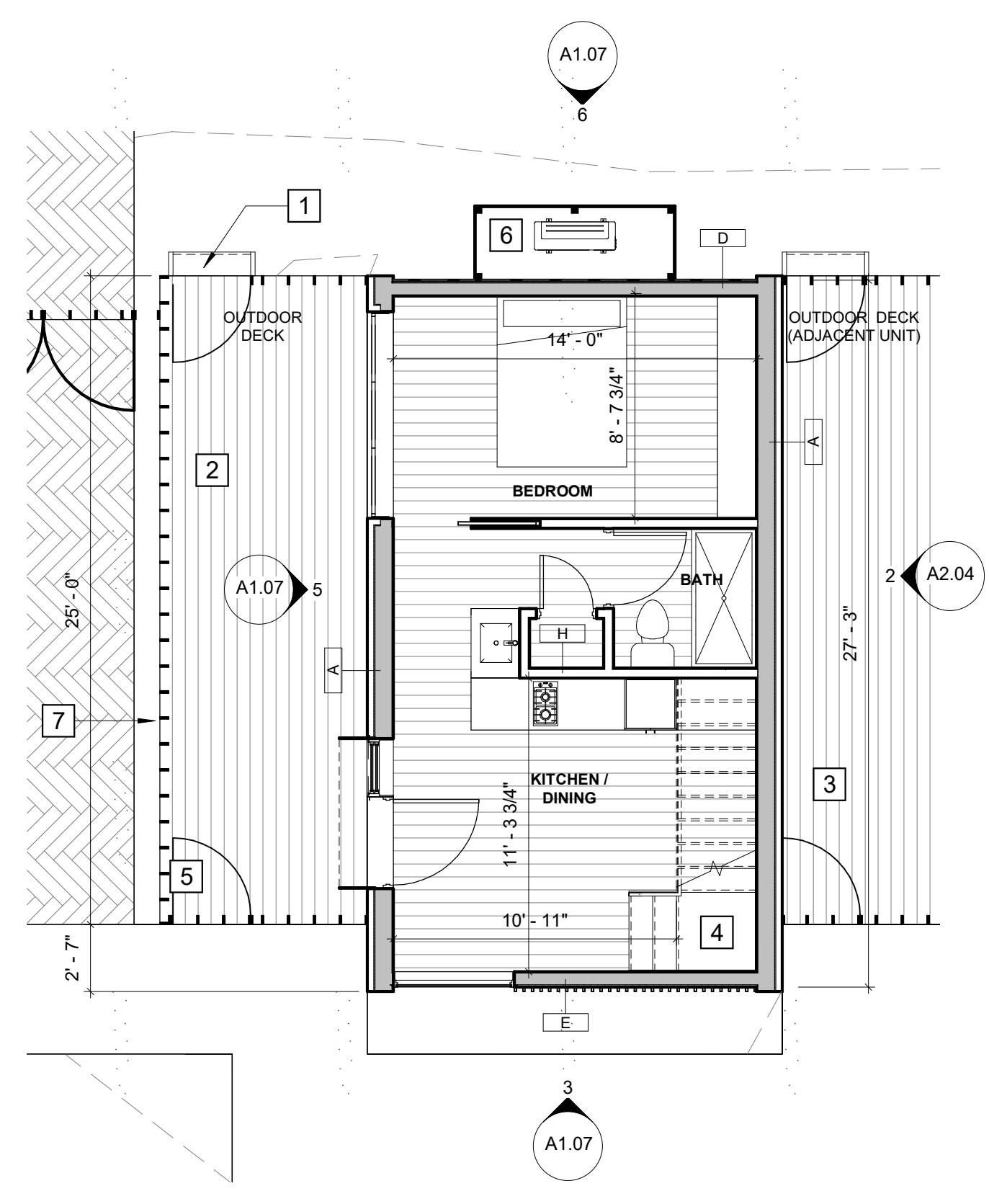
A1.06

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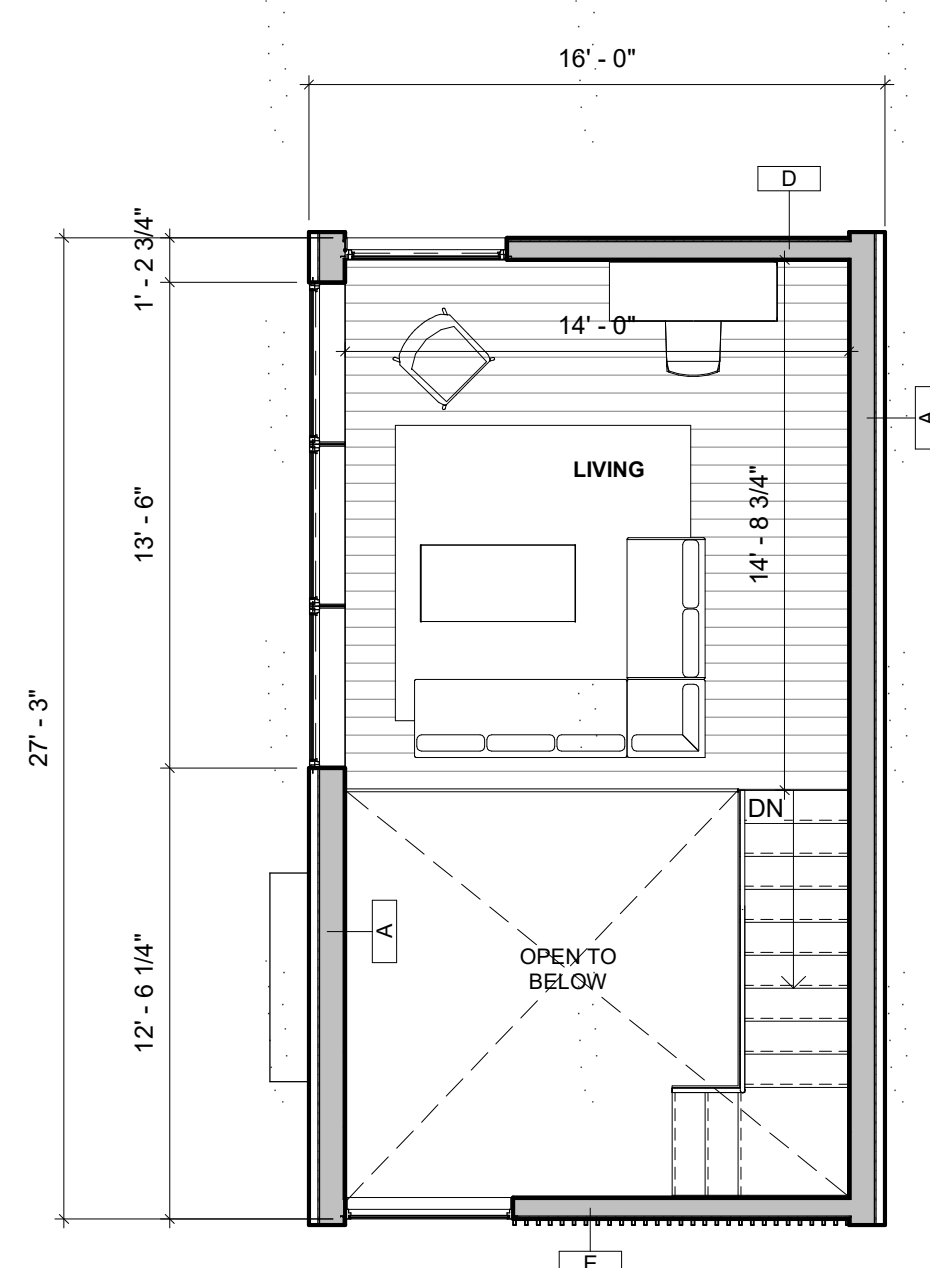
PROJECT NO.	-	
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
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3	08/03/2021	CDP-SUB 4

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 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com

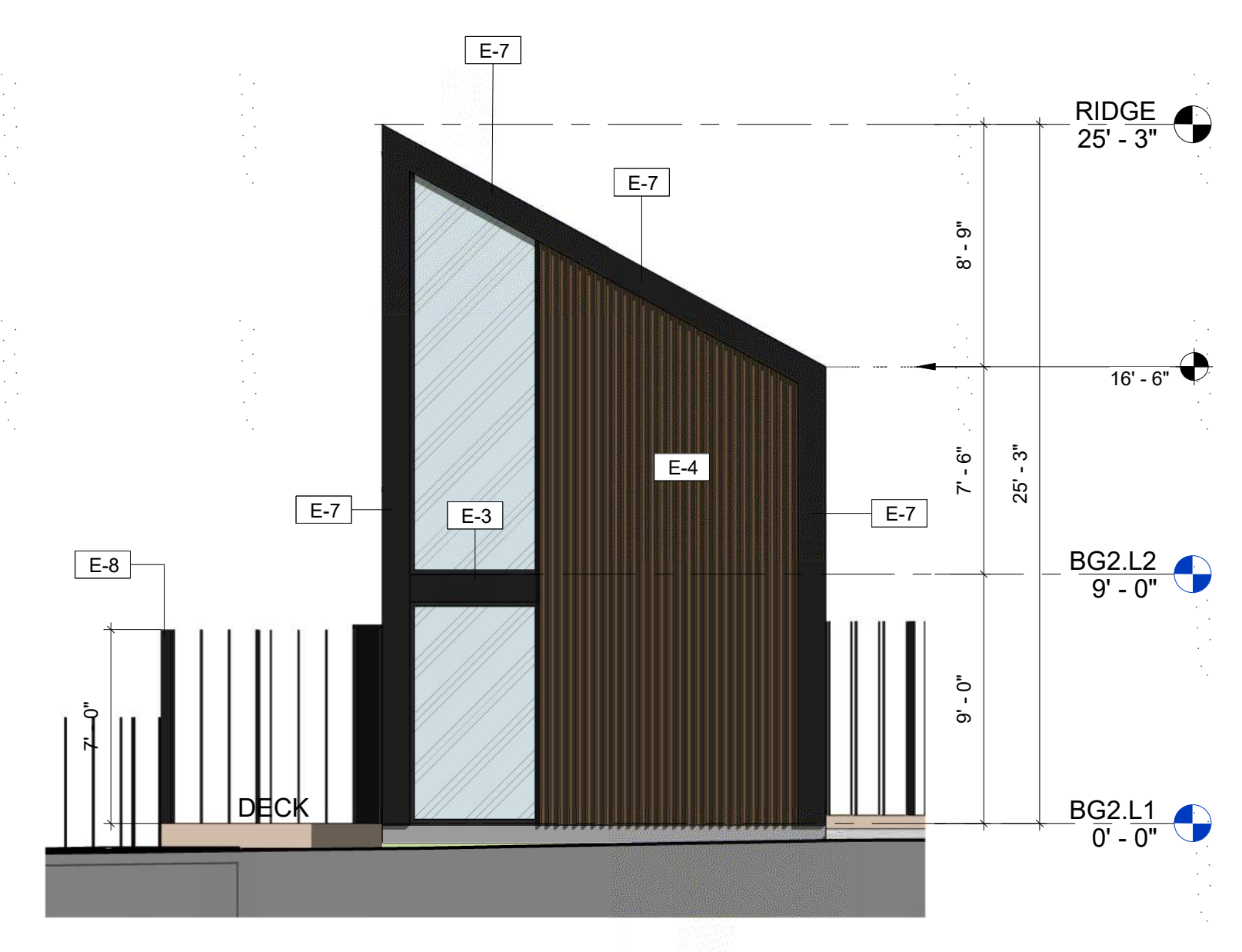
516 LA COSTA
 Case No. 18-188 DR/MUP/CDP



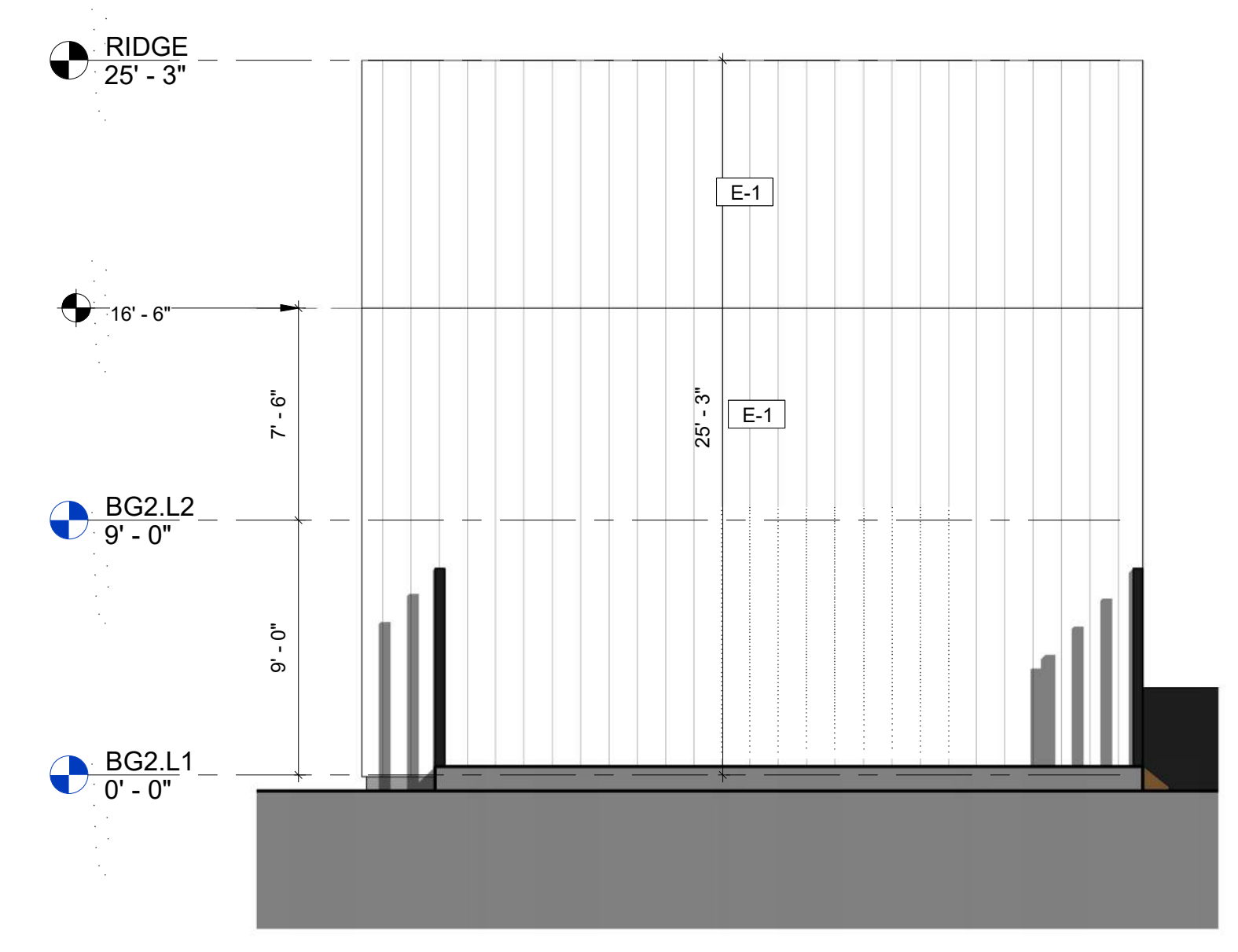
1 BUNGALOW B - ENLARGED FLOOR PLAN LEVEL 1
 3/16" = 1'-0"



2 BUNGALOW B - ENLARGED FLOOR PLAN LOFT
 3/16" = 1'-0"



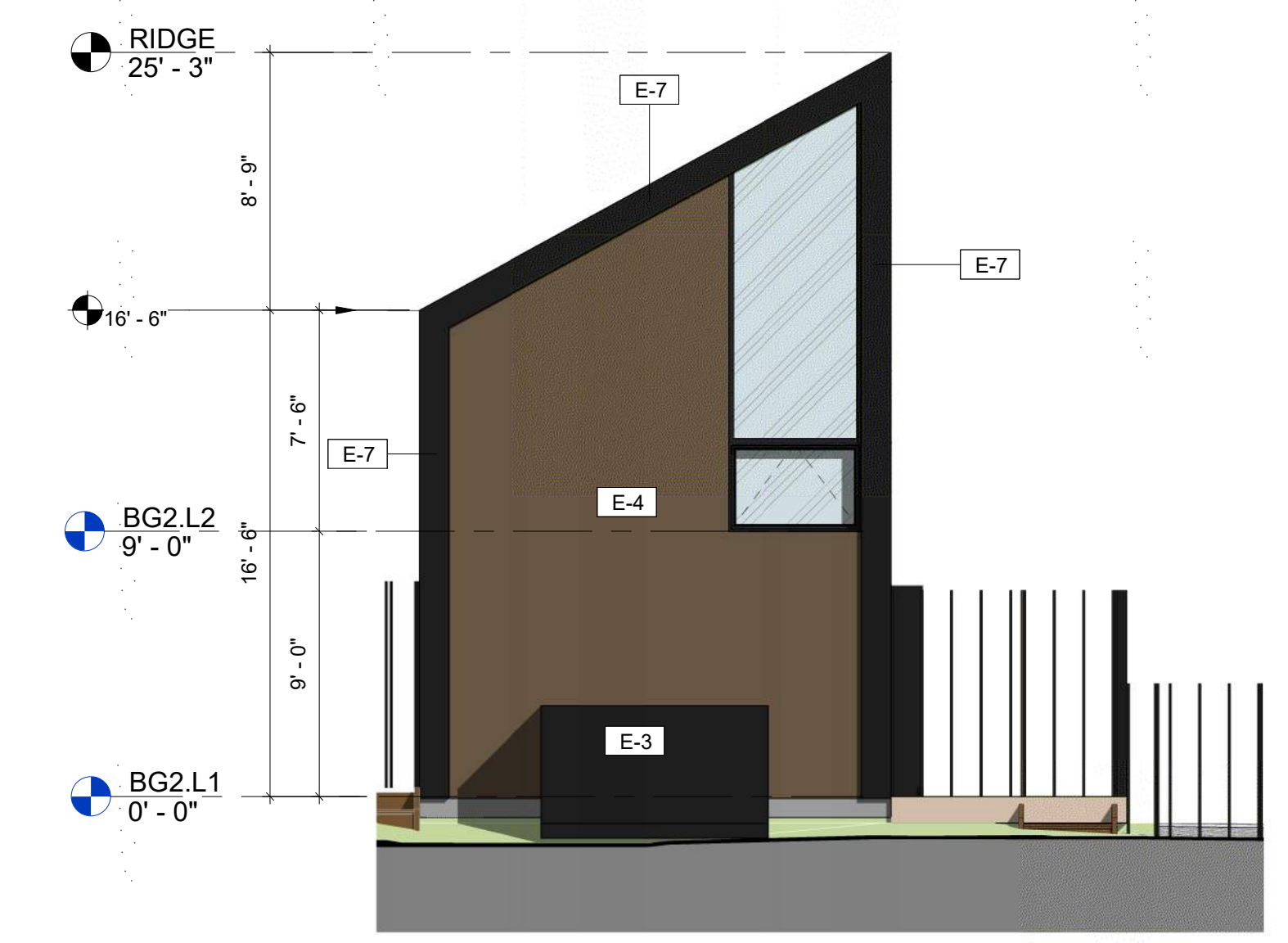
3 UNIT C - ELEVATION - WEST - TYP.
 3/16" = 1'-0"



4 UNIT C - ELEVATION - SOUTH - TYP.
 3/16" = 1'-0"



5 UNIT C - ELEVATION - NORTH - TYP.
 3/16" = 1'-0"



6 UNIT C - ELEVATION - EAST - TYP.
 3/16" = 1'-0"

KEYNOTES

- 1 ACCESS TO PRIVATE SIDE YARD
- 2 PRIVATE OUTDOOR DECK
- 3 PRIVATE OUTDOOR DECK
- 4 STAIR TO LOFT AREA
- 5 UNIT GATE ACCESS
- 6 MECHANICAL EQUIPMENT (SCREENED)
- 7 VERTICAL STEEL FENCE

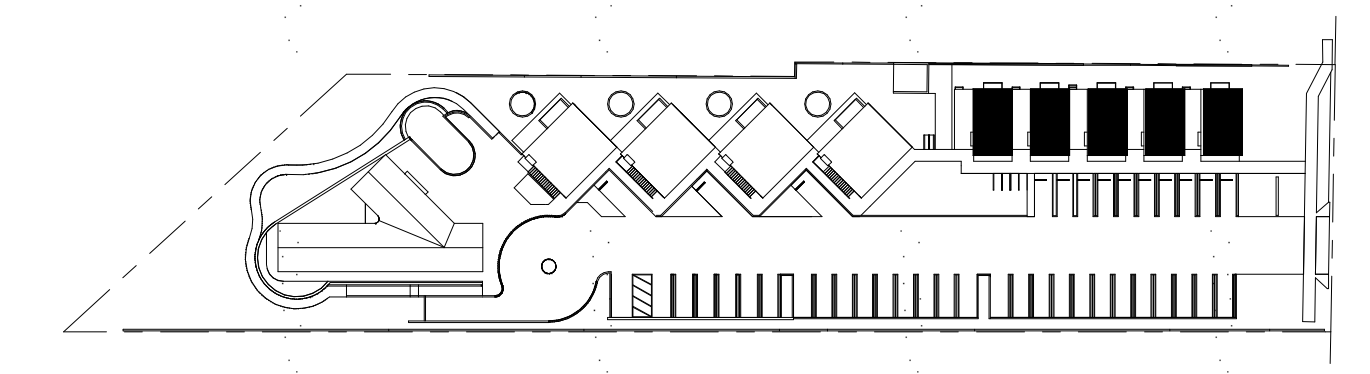
WALL LEGEND

- EXTERIOR**
- TYPE A - WOOD STUD / METAL WALL CLADDING
 - TYPE B - WOOD STUD / CONCRETE WALL CLADDING
 - TYPE C - WOOD STUD / CONCRETE WALL CLADDING
 - TYPE D - WOOD STUD / WOOD WALL CLADDING
 - TYPE E - WOOD STUD / WOOD WALL CLADDING LATTICE
 - TYPE F - WOOD STUD / METAL WALL CLADDING LATTICE
- INTERIOR**
- TYPE G - WOOD STUD / DEMISING WALL DOUBLE GYP BOARD
 - TYPE H - WOOD STUD / GYP BOARD

MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING, COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL, PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS, STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU, BOND STACK, COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER, PAINTED BLACK
- E-8 STEEL FENCE, PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

KEY PLAN



PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

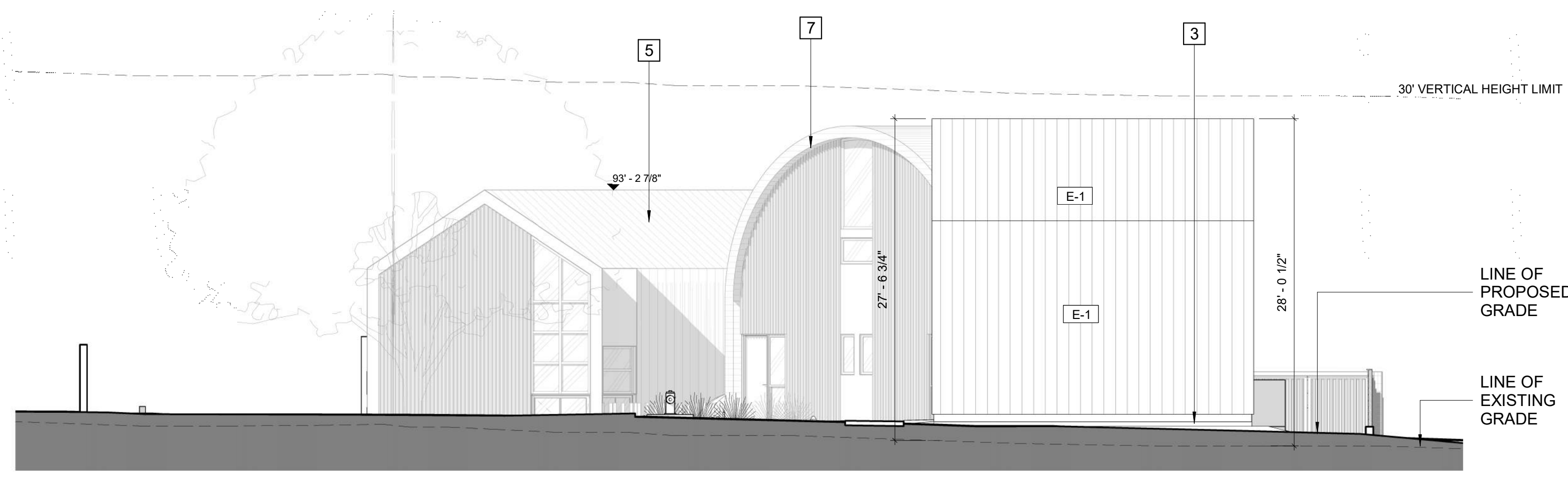
SHEET TITLE
 ENLARGED PLAN BUILDING TYPE B

SHEET NUMBER

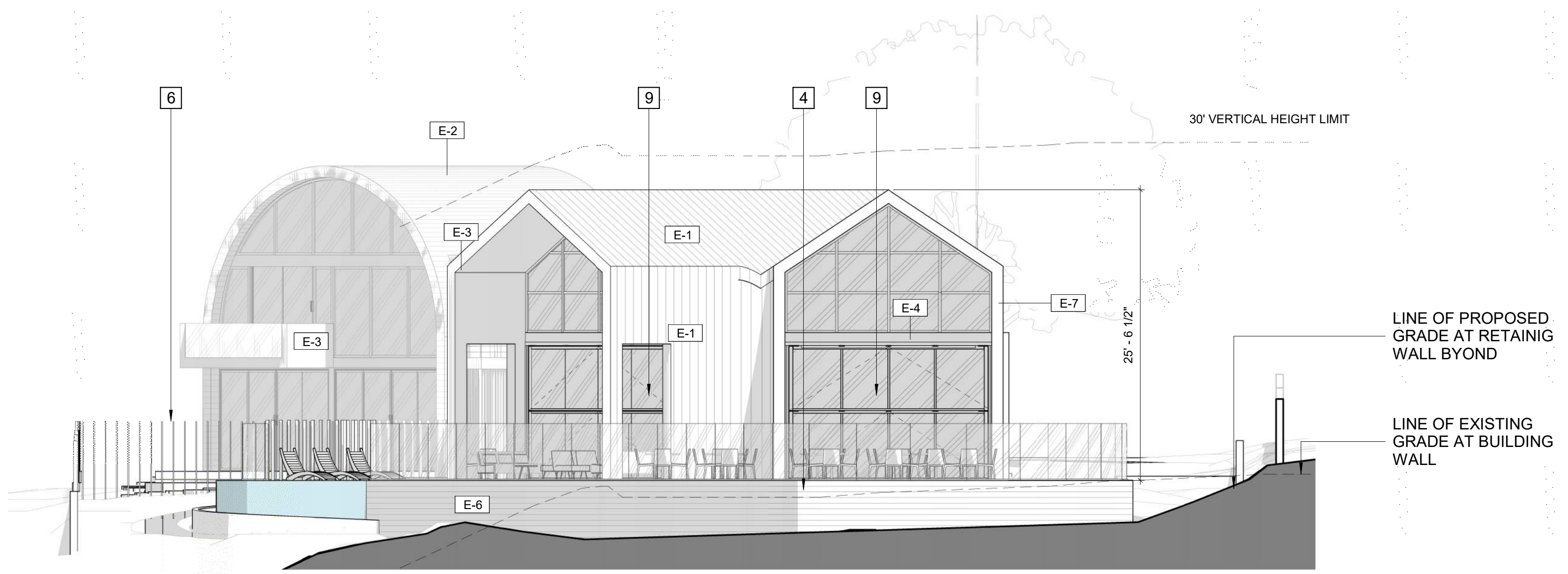
A1.07

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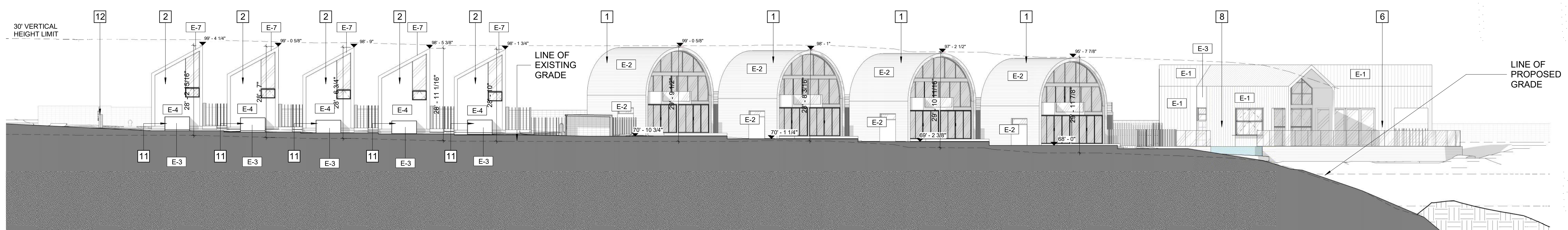
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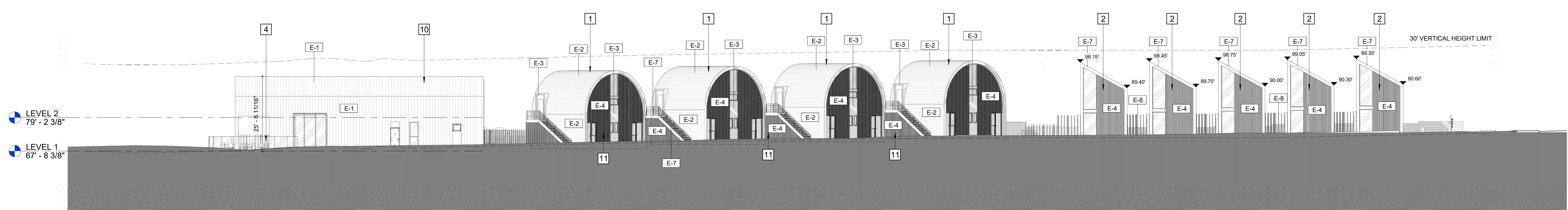
1 ELEVATION - SOUTH (LA COSTA AVE.)
1/8" = 1'-0"



2 ELEVATION - NORTH
1/8" = 1'-0"



3 ELEVATION - EAST
1/16" = 1'-0"



4 ELEVATION - WEST
1/16" = 1'-0"

KEYNOTES

1	BUNGALOW "A"
2	BUNGALOW "B"
3	FRONT LANDSCAPE AREA
4	OUTDOOR DINING AREA
5	RESTAURANT BUILDING BEYOND
6	GLASS SOUND WALL
7	BUNGALOW "A" BEYOND
8	PATIO DECK AREA
9	FLIP UP WINDOW SYSTEM
10	RESTURANT BUILDING
11	HVAC EQUIPMENT SCREEN
12	PROPOSED MONUMENT SIGN

MATERIAL LEGEND

E-1	EXTERIOR METAL WALL/ROOF CLADDING
E-2	CONCRETE CLADDING. COLOR: GREY
E-3	EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
E-4	NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
E-5	EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
E-6	CONCRETE RETAINING WALL. WARM COLOR FINISH
E-7	STEEL FACIA/STRINGER. PAINTED BLACK
E-8	STEEL FENCE. PAINTED BLACK
FL-1	CONCRETE PERVIOUS PAVERS
FL-3	EXTERIOR WOOD FLOORING

NOTES

BUILDING HEIGHT MEASUREMENT IS TAKEN AT FACE OF EXTERIOR BUILDING WALL. TO THE LOWEST OF EXISTING OR PROPOSED GRADE, WHICH EVER IS LESS. PER EMC.

PROJECT NO.	-	
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

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1144 N. COGOSH HWY 101
ENCINITAS, CA 92024
619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

PROJECT NO.
DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
GENERAL ELEVATIONS

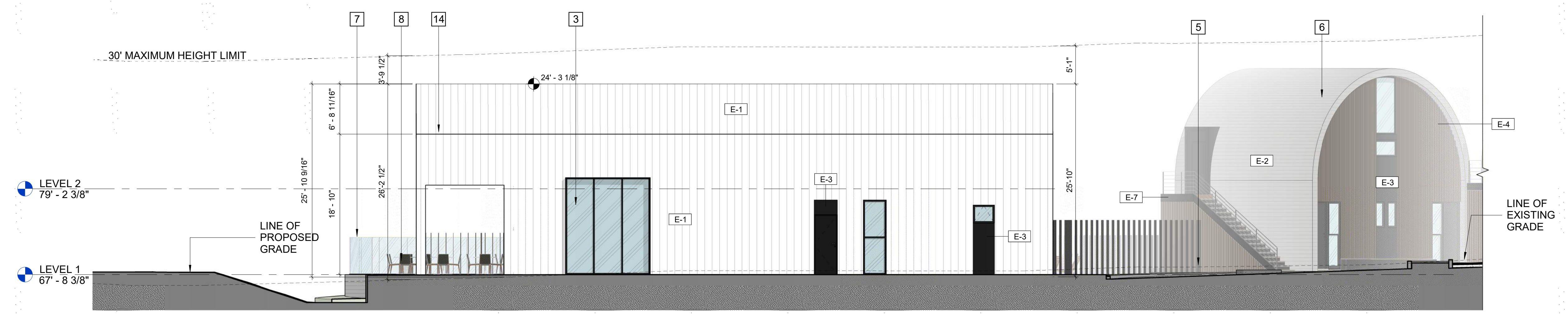
SHEET NUMBER

A2.01

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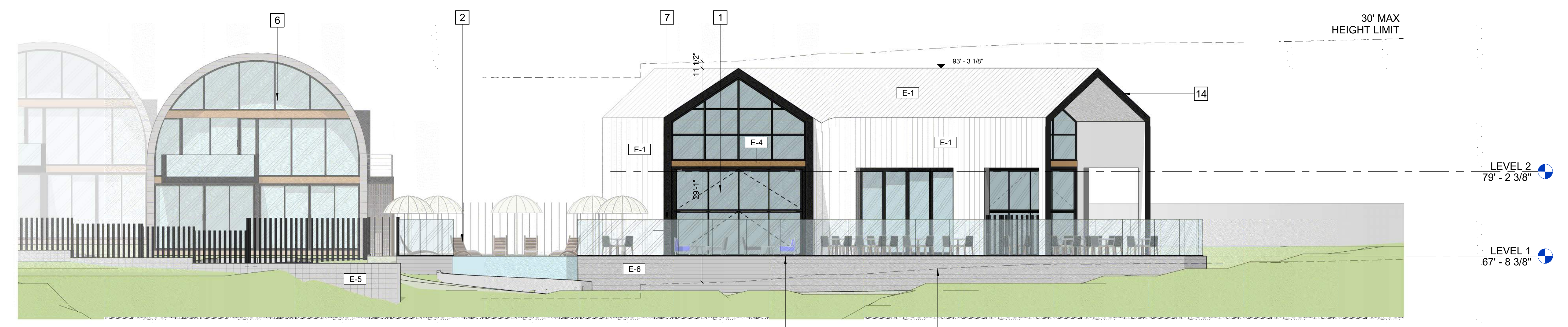
1 ELEVATION RESTAURANT - SOUTH
1/8" = 1'-0"



2 ELEVATION RESTAURANT - WEST
1/8" = 1'-0"



3 ELEVATION RESTAURANT - NORTH
1/8" = 1'-0"



4 ELEVATION RESTAURANT - NORTH-EAST
1/8" = 1'-0"

KEYNOTES

- 1 FLIP UP WINDOW SYSTEM
- 2 PATIO DECK AREA
- 3 STOREFRONT SYSTEM
- 4 BIOPIT AREA
- 5 SPA INFINITI EDGE
- 6 VEHICLE TURNAROUND AREA
- 7 BUNGALOW "A" BEYOND
- 8 SOUND WALL
- 9 OUTDOOR DINING AREA
- 10 TRASH ENCLOSURE
- 11 SPA
- 12 WALKING TRAIL
- 13 LOBBY ENTRY
- 14 FENCE
- EXTENDED ROOF COVER

MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING. COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER. PAINTED BLACK
- E-8 STEEL FENCE. PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

NOTES

BUILDING HEIGHT MEASUREMENT IS TAKEN AT FACE OF EXTERIOR BUILDING WALL. TO THE LOWEST OF EXISTING OR PROPOSED GRADE, WHICH EVER IS LESS, PER EMC.

PROJECT NO.		
DRAWN BY:	Designer	
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1144 N. COGGS HWY 101
ENCINITAS, CA 92024
619.577.4610 lindsay@thebrownstudio.com

516 LA COSTA
Case No. 18-188 DR/MUP/CDP

PROJECT NO.
DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
ELEVATIONS RESTAURANT

SHEET NUMBER

A2.02

KEYNOTES

PROJECT NO.	-	
DRAWN BY:	Designer	
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DATE:	02/16/2021	
REVISIONS:		
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3	08/03/2021	CDP-SUB 4

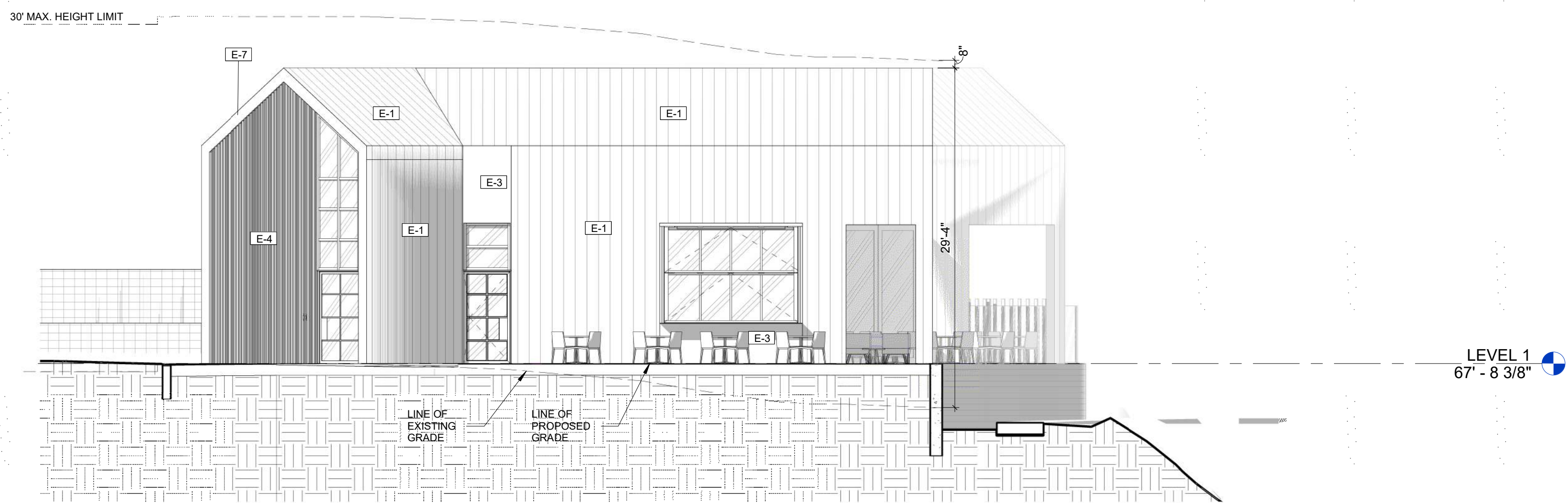
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 1144 N. COGOSH HWY 101
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 619.577.4610 lindsay@thebrownstudio.com

MATERIAL LEGEND

E-1	EXTERIOR METAL WALL/ROOF CLADDING
E-2	CONCRETE CLADDING. COLOR: GREY
E-3	EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
E-4	NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
E-5	EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
E-6	CONCRETE RETAINING WALL WARM COLOR FINISH
E-7	STEEL FACIA/STRINGER. PAINTED BLACK
E-8	STEEL FENCE. PAINTED BLACK
FL-1	CONCRETE PERVIOUS PAVERS
FL-3	EXTERIOR WOOD FLOORING

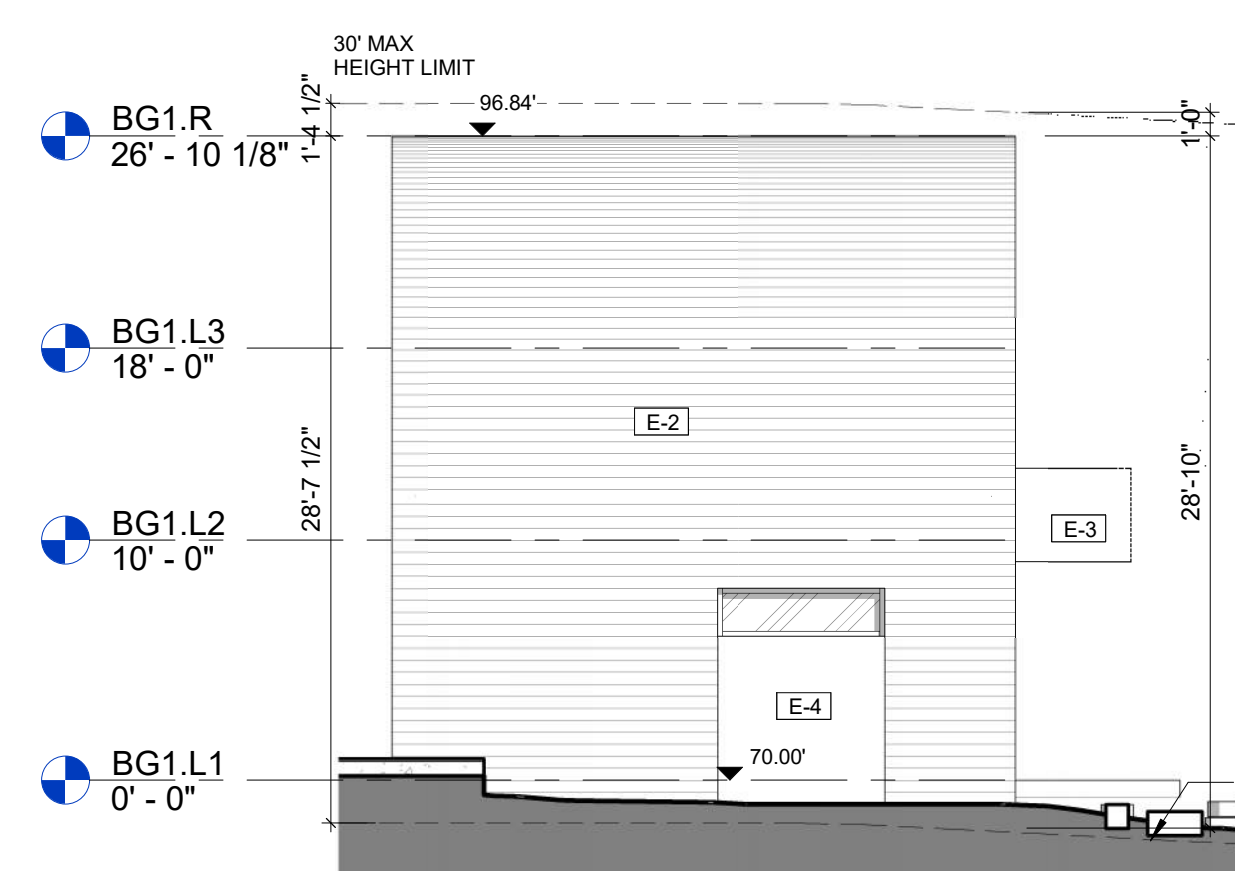
NOTES

BUILDING HEIGHT MEASUREMENT IS TAKEN AT FACE OF EXTERIOR BUILDING WALL. TO THE LOWEST OF EXISTING OR PROPOSED GRADE, WHICH EVER IS LESS. PER EMC.



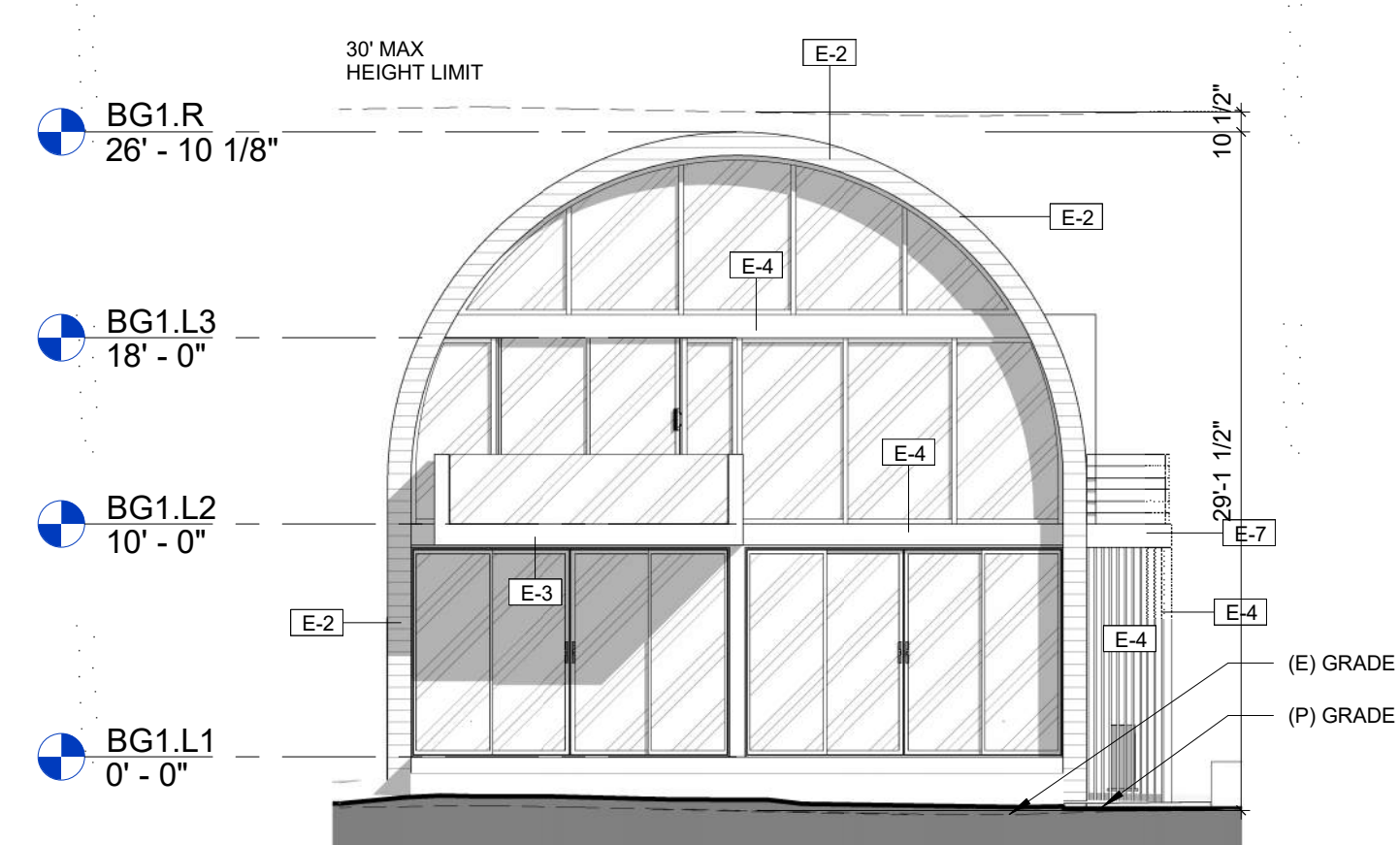
1 RESTAURANT ELEVATION - EAST

1/8" = 1'-0"



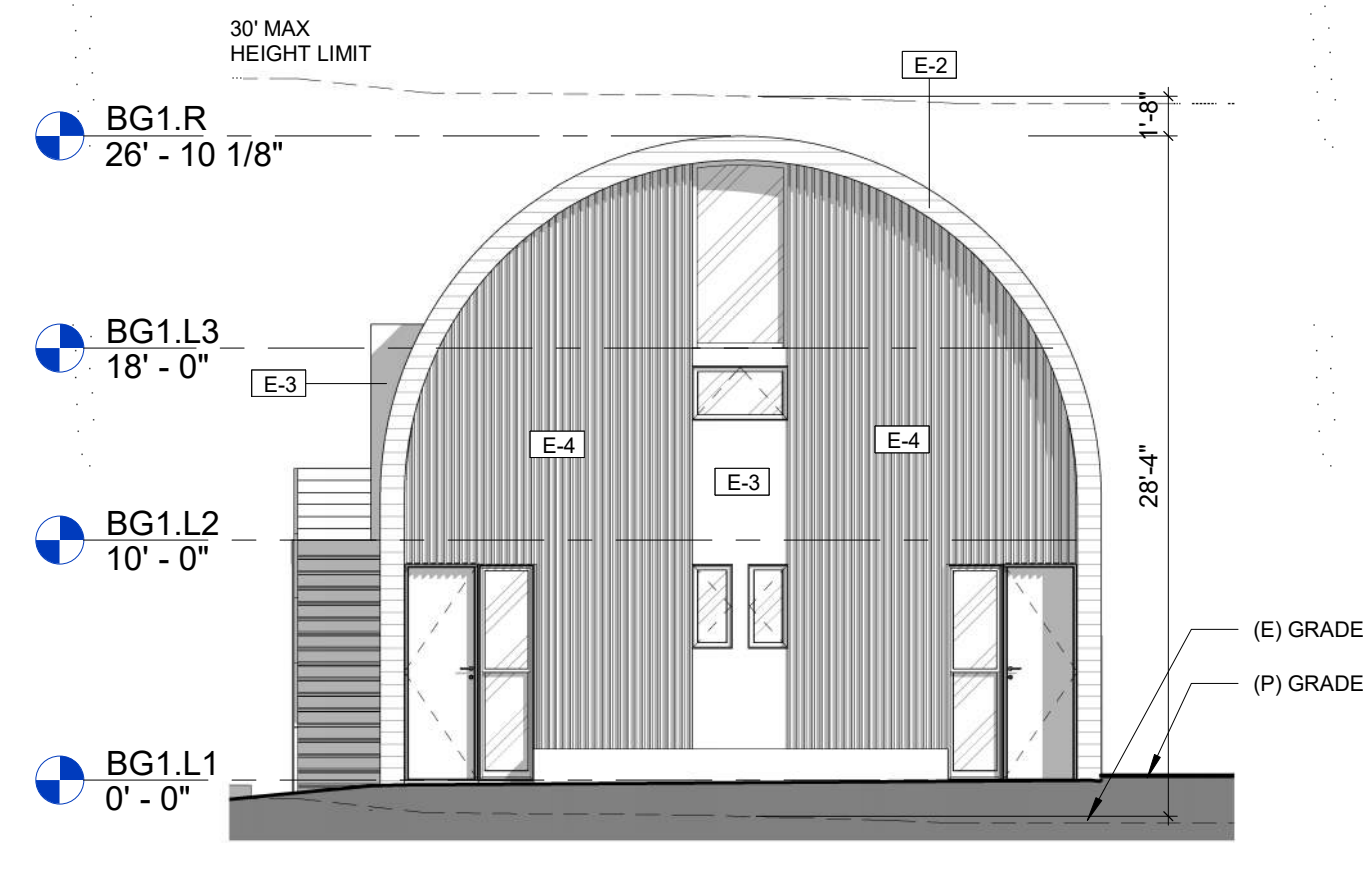
BUILDING 3 - EAST

1/8" = 1'-0"



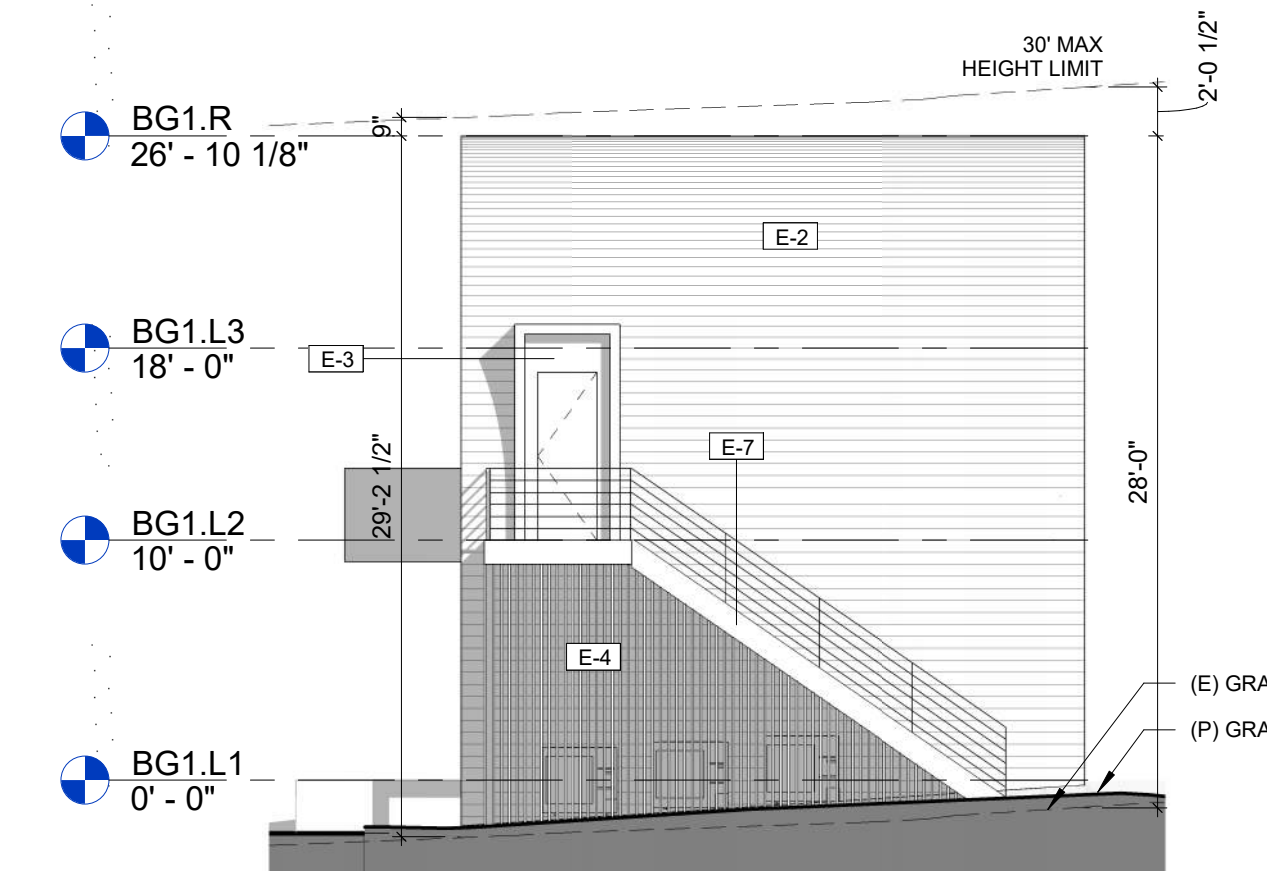
BUILDING 3 - NORTH

1/8" = 1'-0"



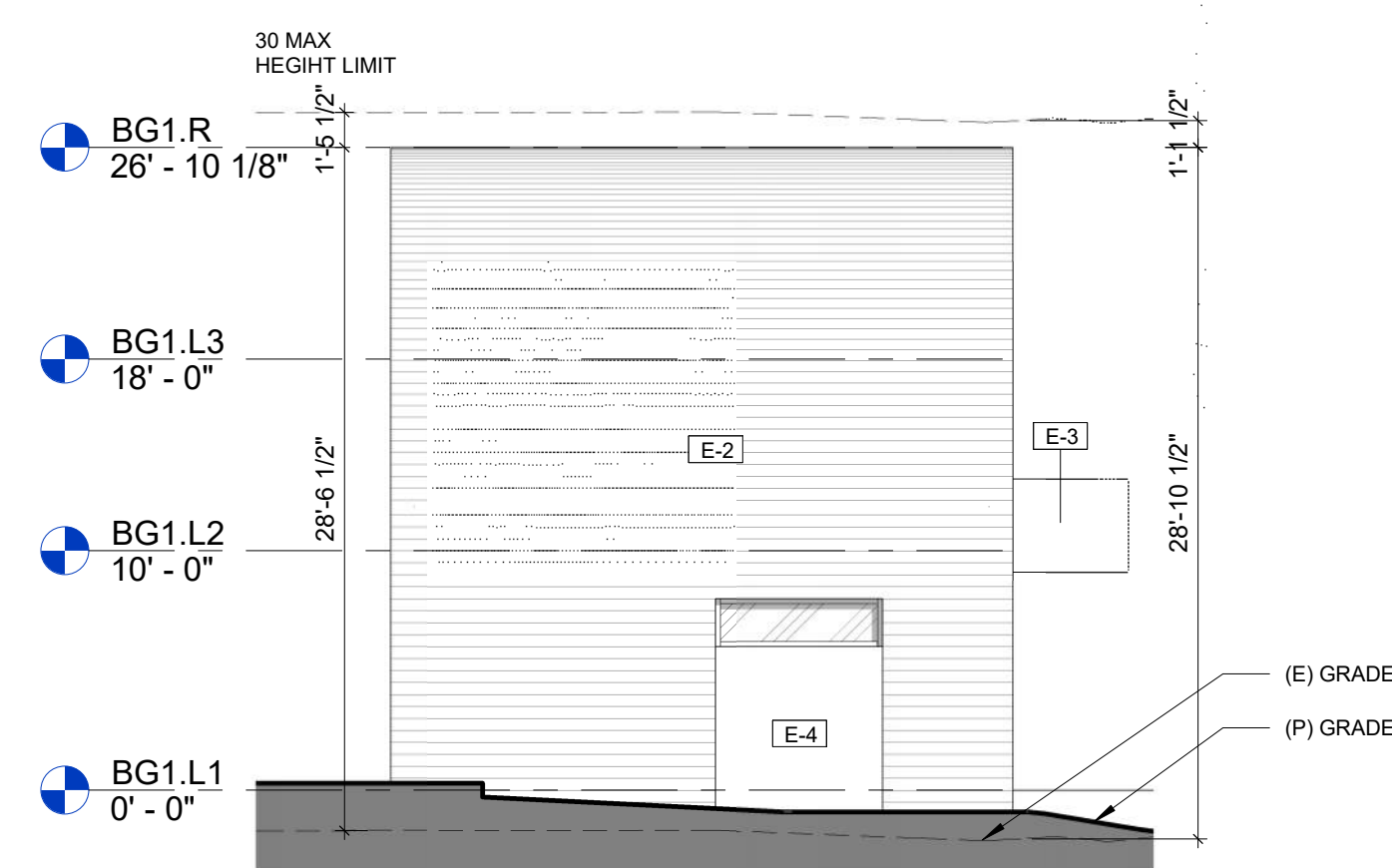
BUILDING 3 - SOUTH

1/8" = 1'-0"



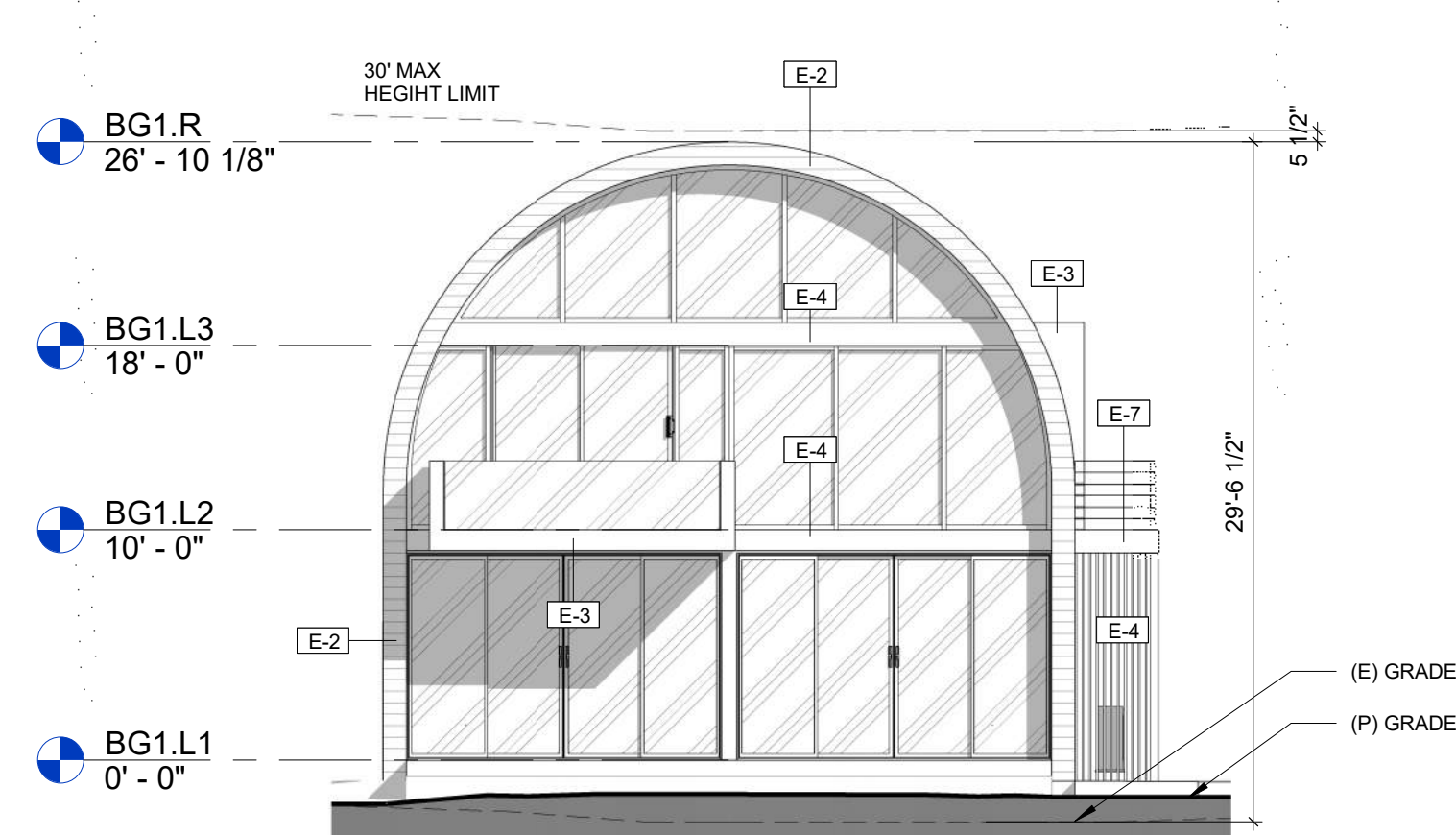
BUILDING 3 - WEST

1/8" = 1'-0"



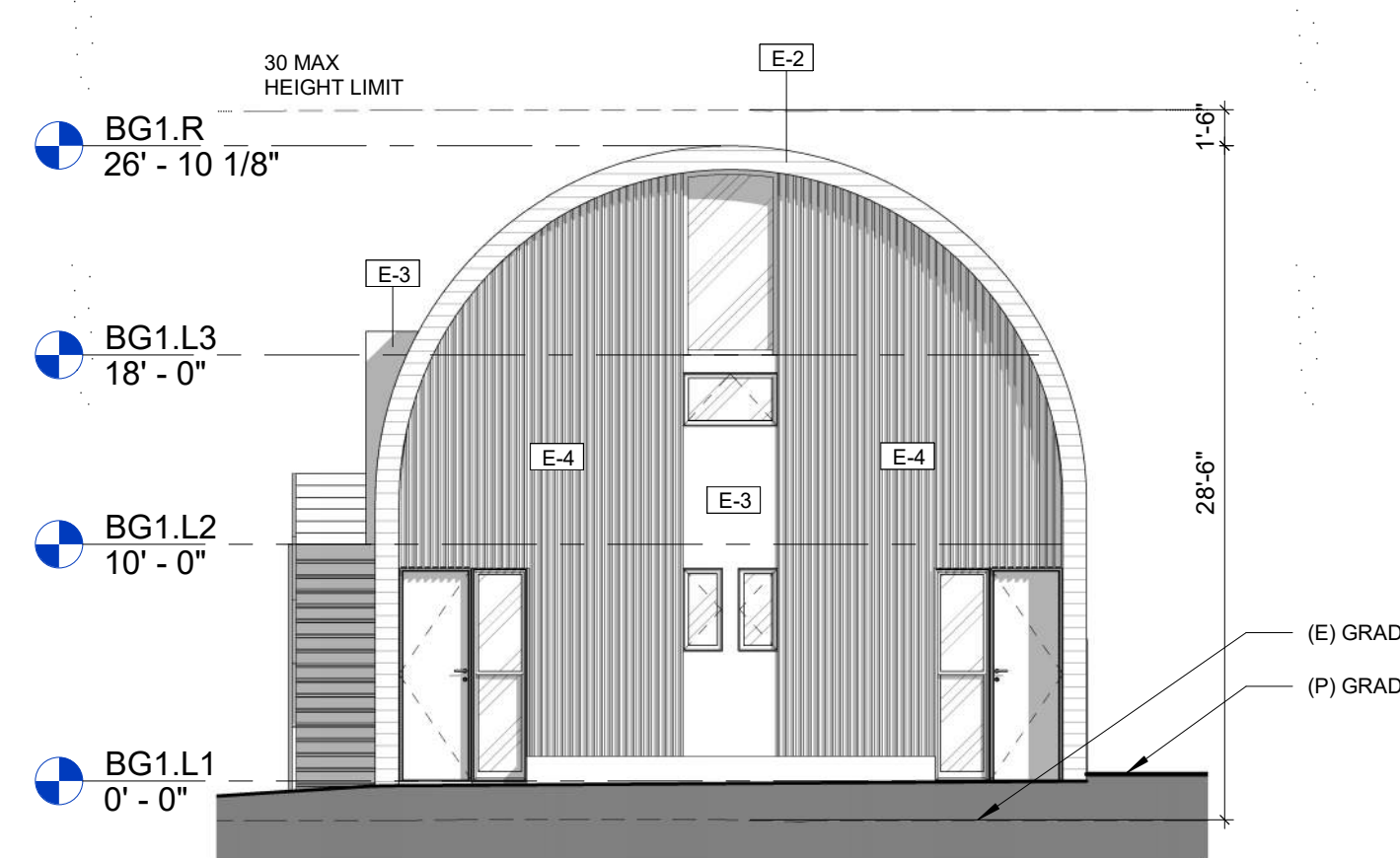
BUILDING 4 - EAST

1/8" = 1'-0"



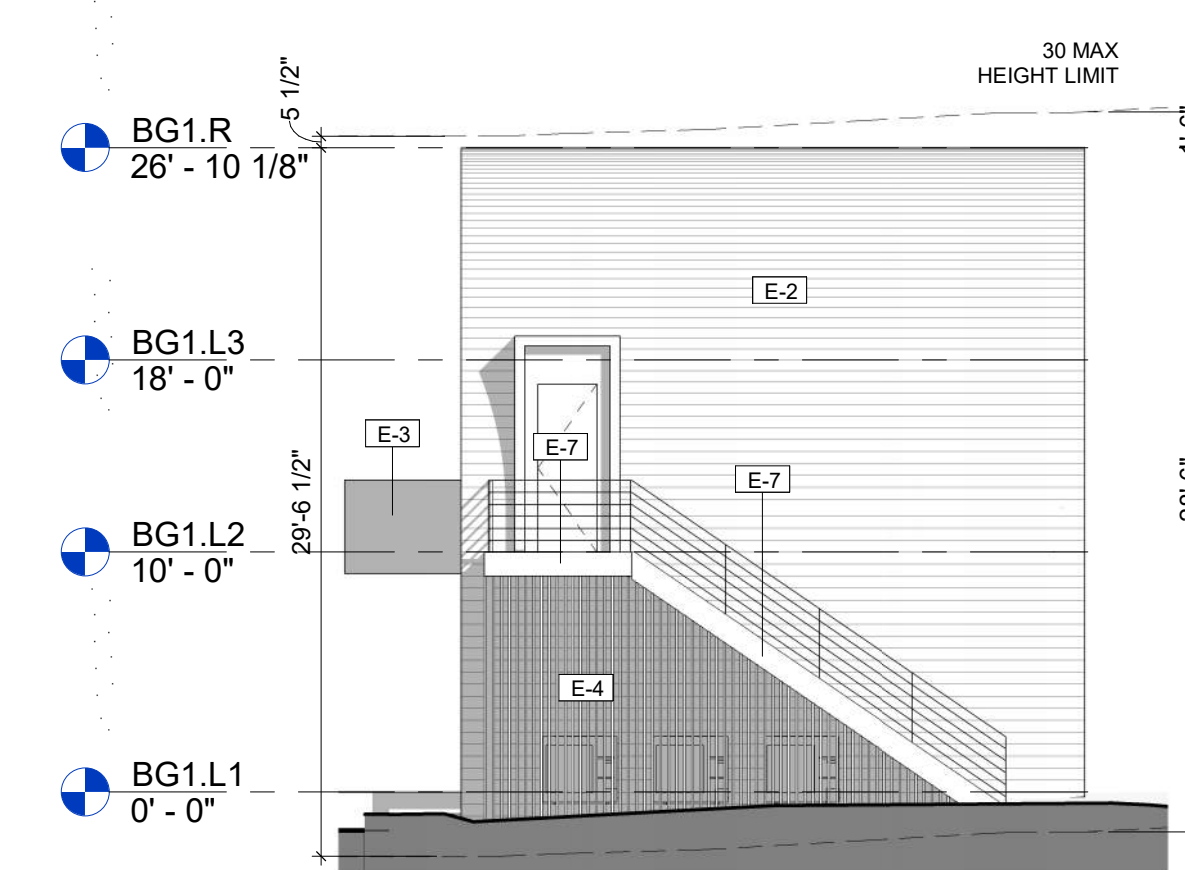
BUILDING 4 - NORTH

1/8" = 1'-0"



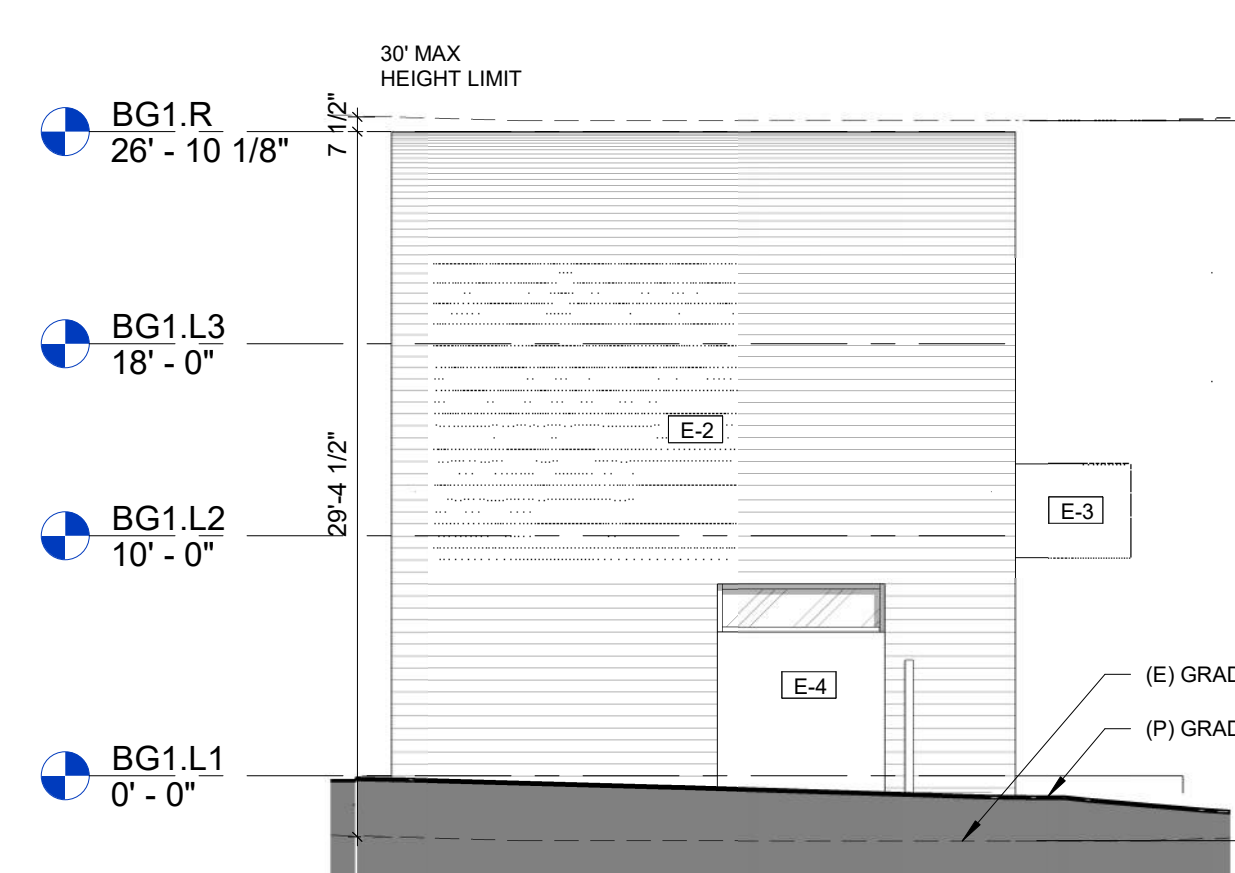
BUILDING 4 - SOUTH

1/8" = 1'-0"



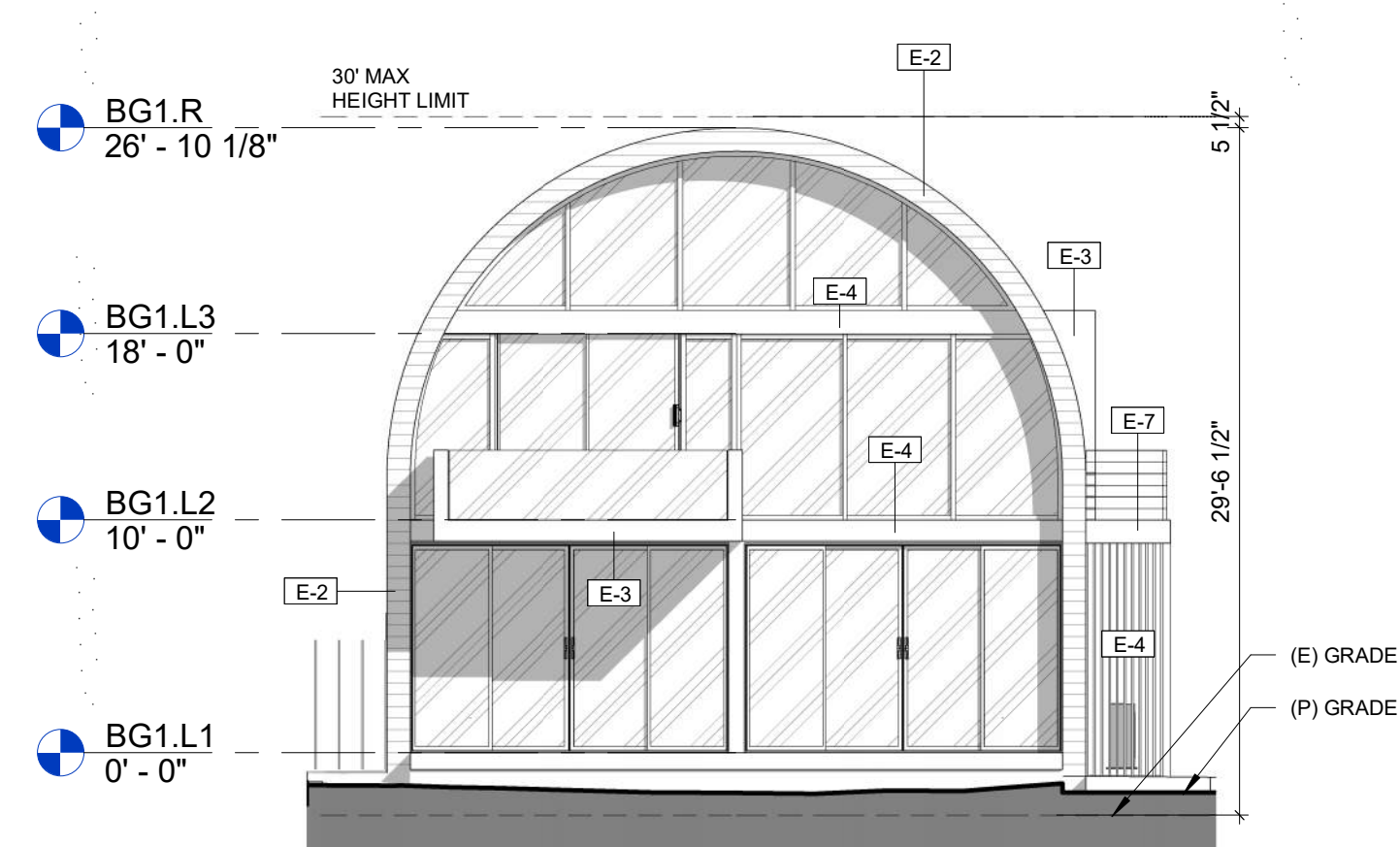
BUILDING 4 - WEST

1/8" = 1'-0"



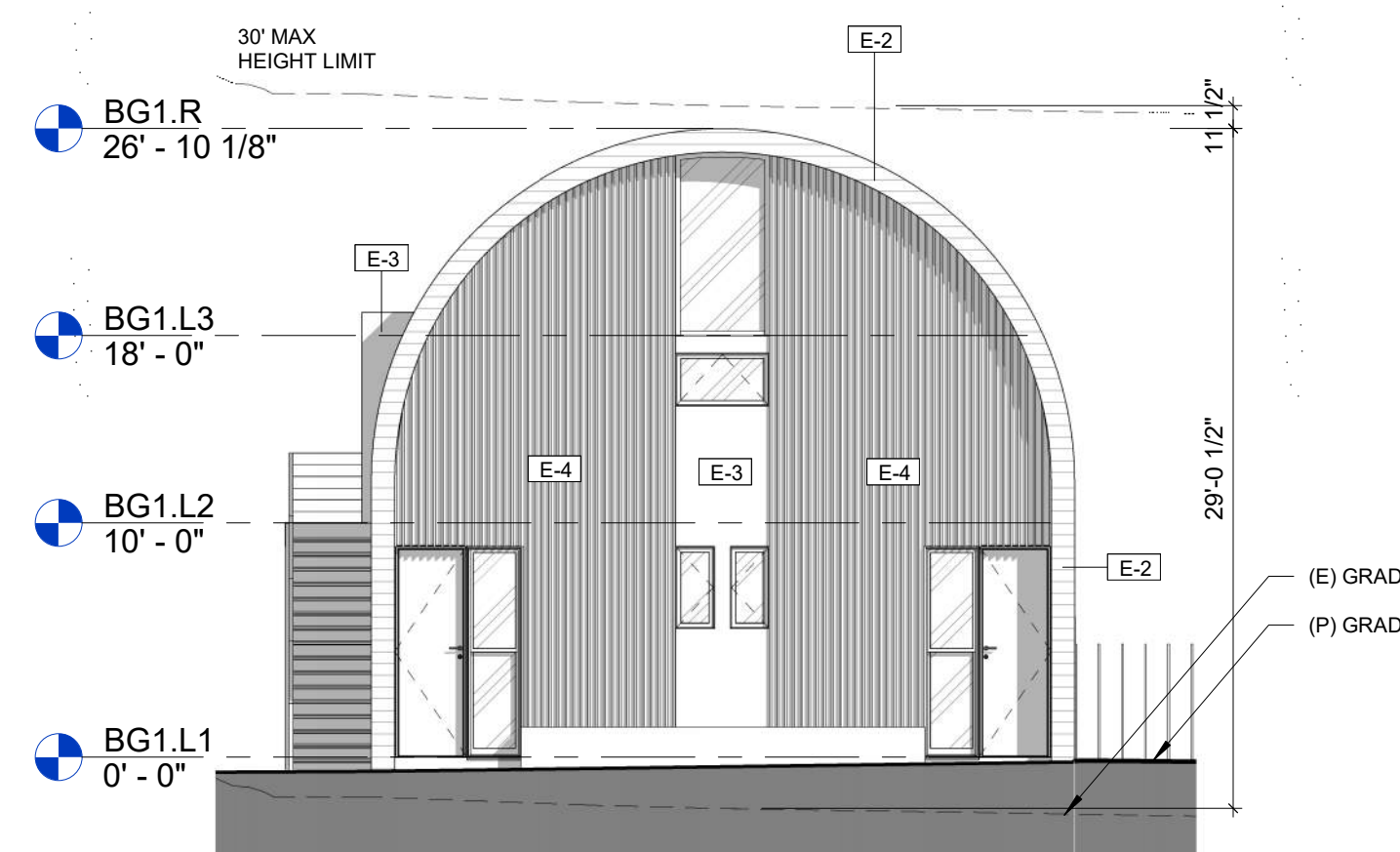
BUILDING 5 - EAST

1/8" = 1'-0"



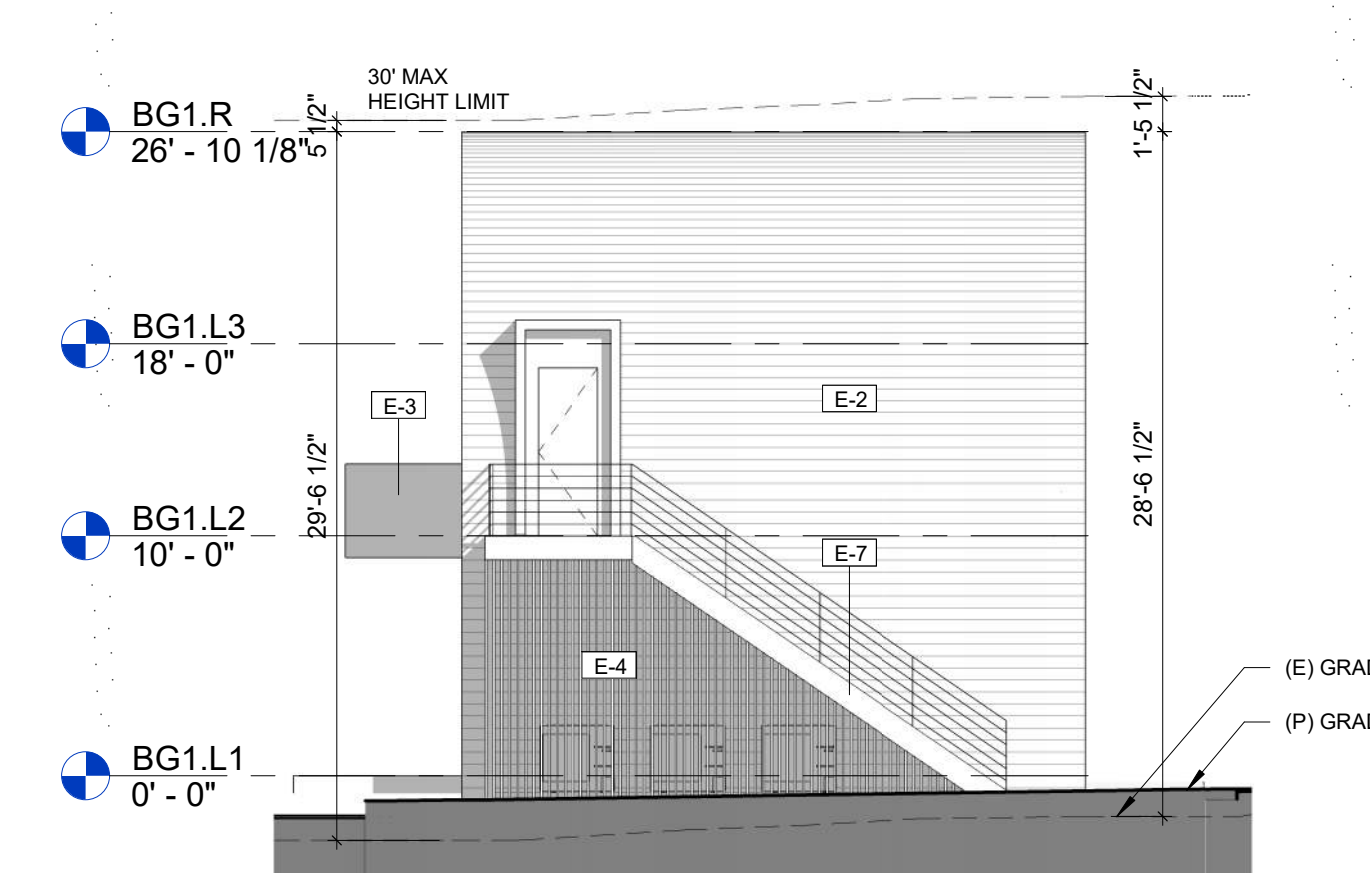
BUILDING 5 - NORTH

1/8" = 1'-0"



BUILDING 5 - SOUTH

1/8" = 1'-0"



BUILDING 5 - WEST

1/8" = 1'-0"

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ELEVATIONS

SHEET NUMBER

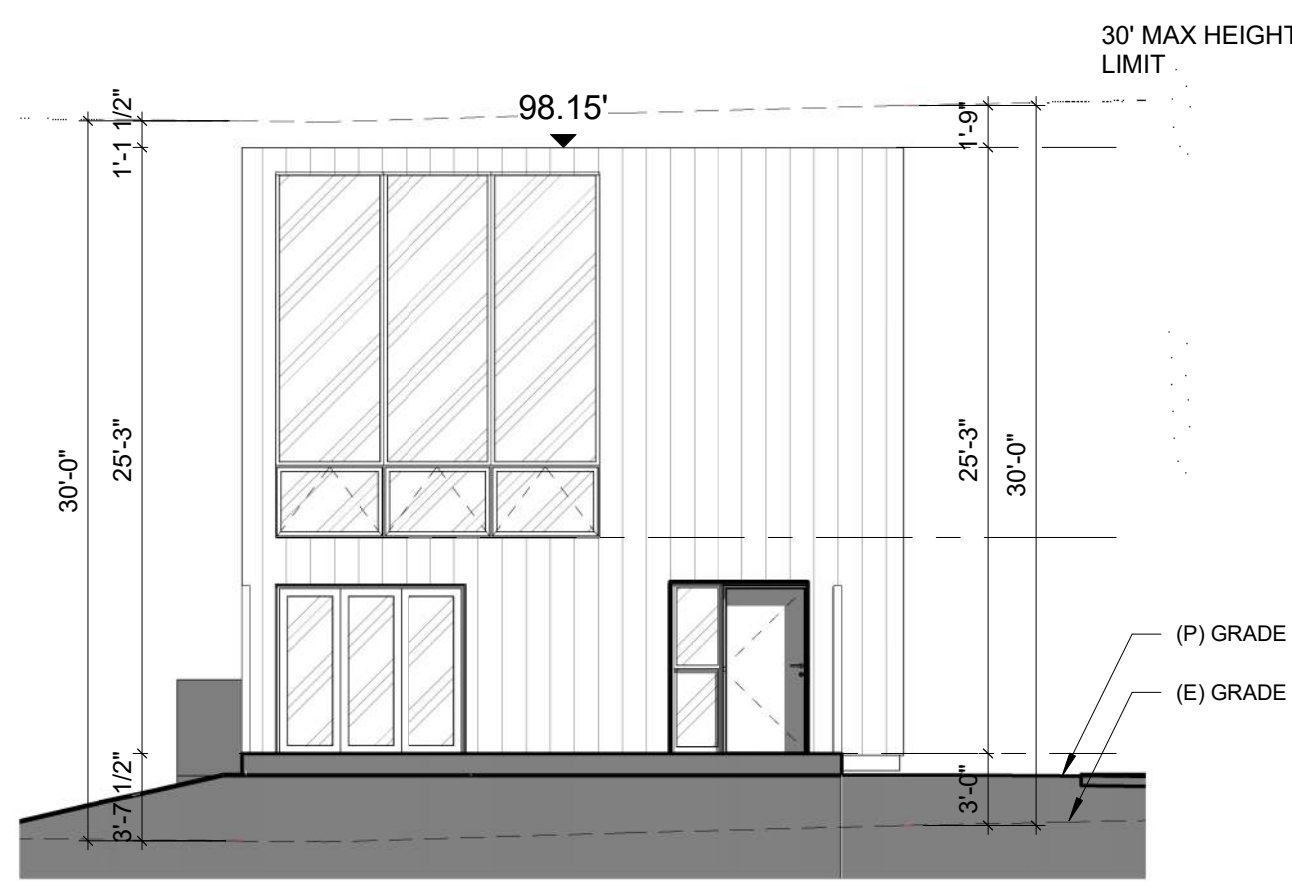
A2.03

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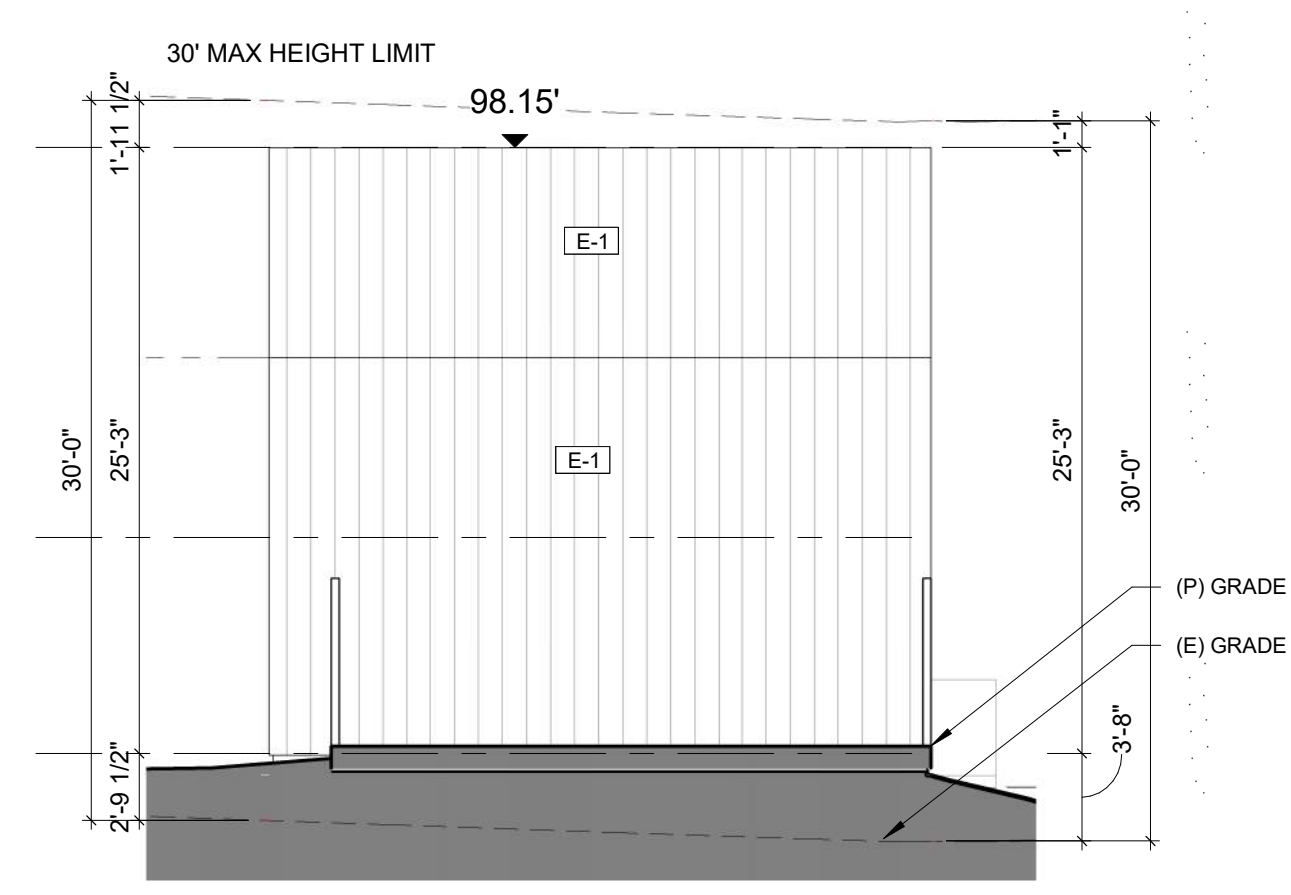
PROJECT NO.		
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
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2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

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 1144 N. COGUE HWY. #101
 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com

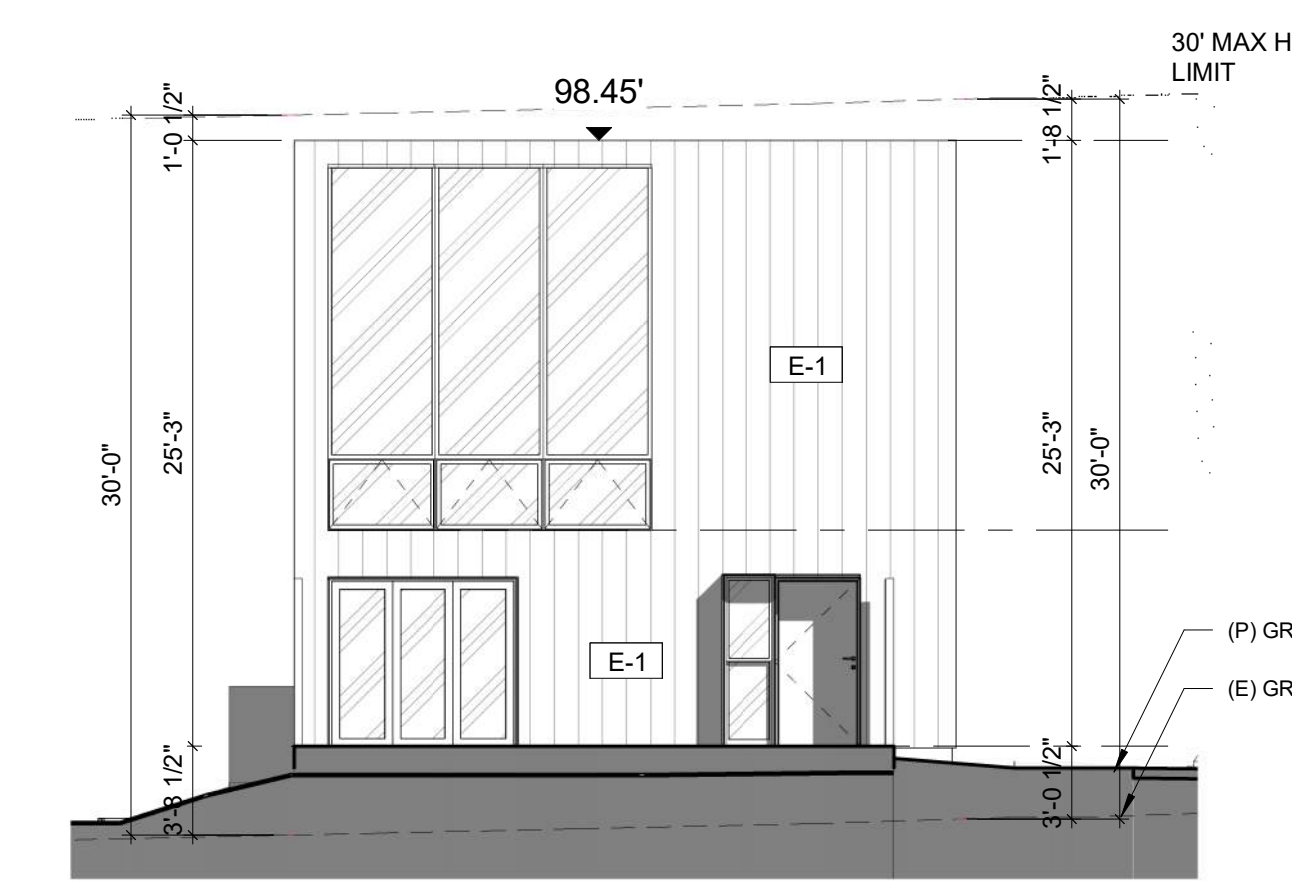
516 LA COSTA
 Case No. 18-188 DR/MUP/CDP



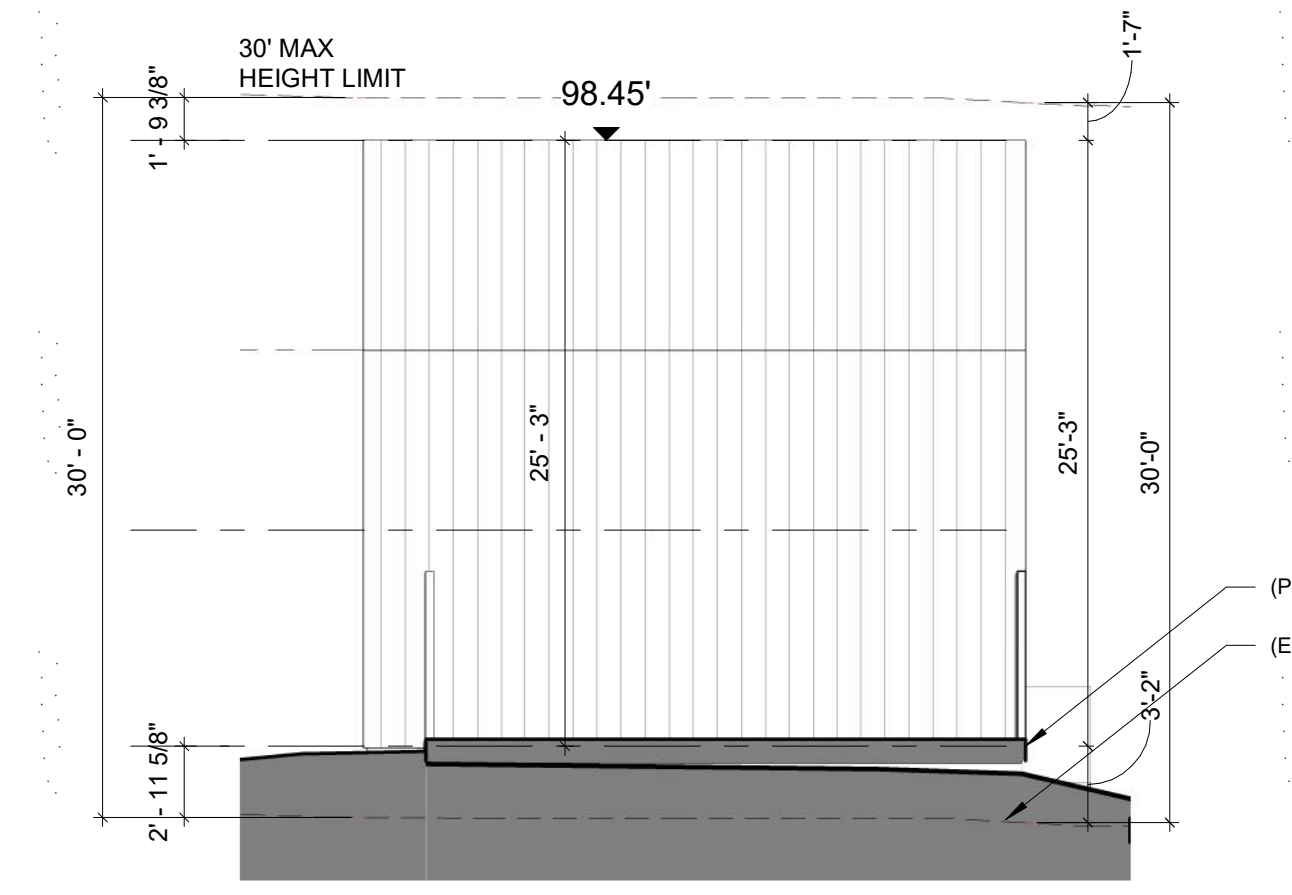
1 BUILDING 6 - ELEVATION - NORTH
 1/8" = 1'-0"



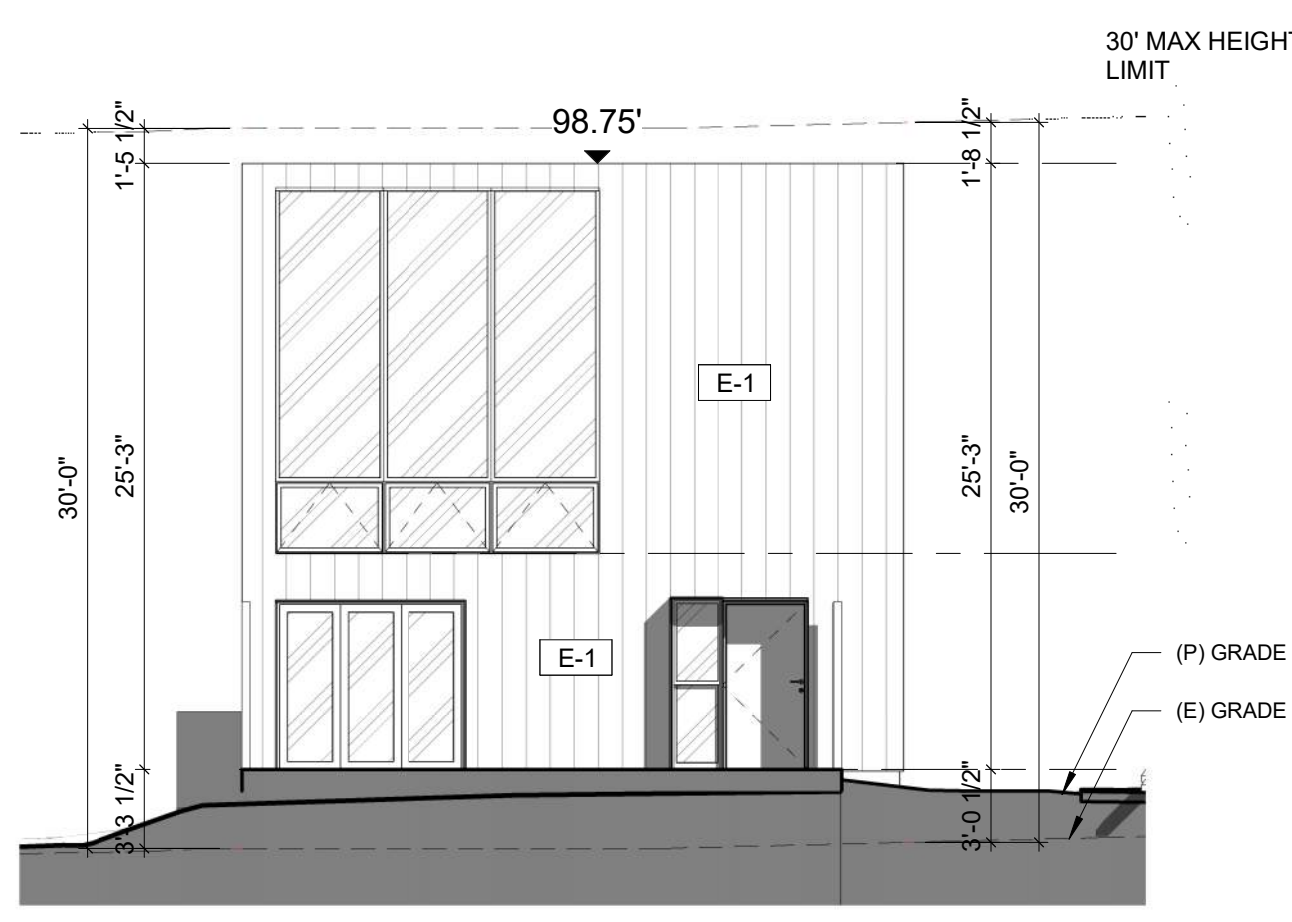
2 BUILDING 6 - ELEVATION - SOUTH
 1/8" = 1'-0"



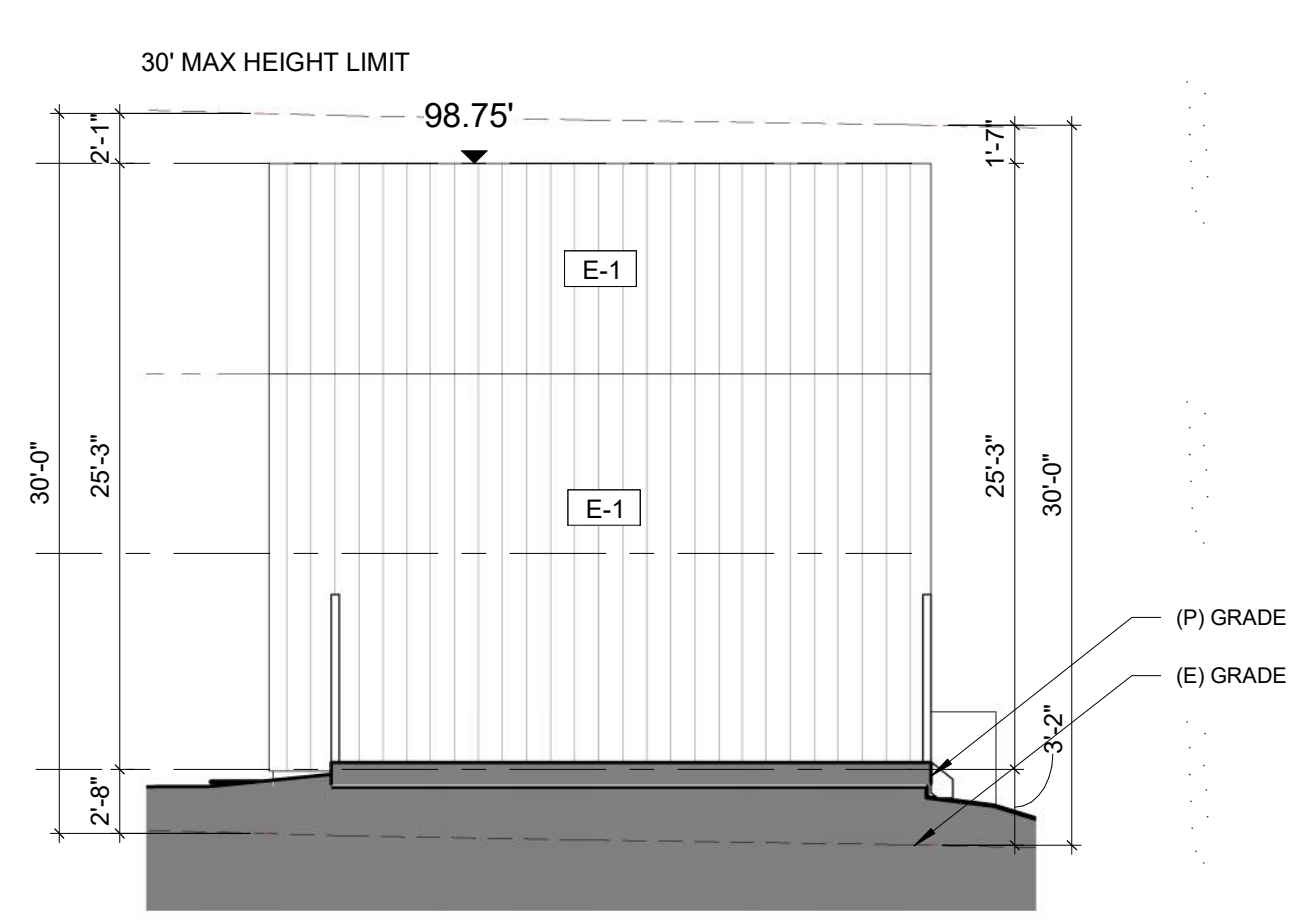
3 BUILDING 7 ELEVATION - NORTH
 1/8" = 1'-0"



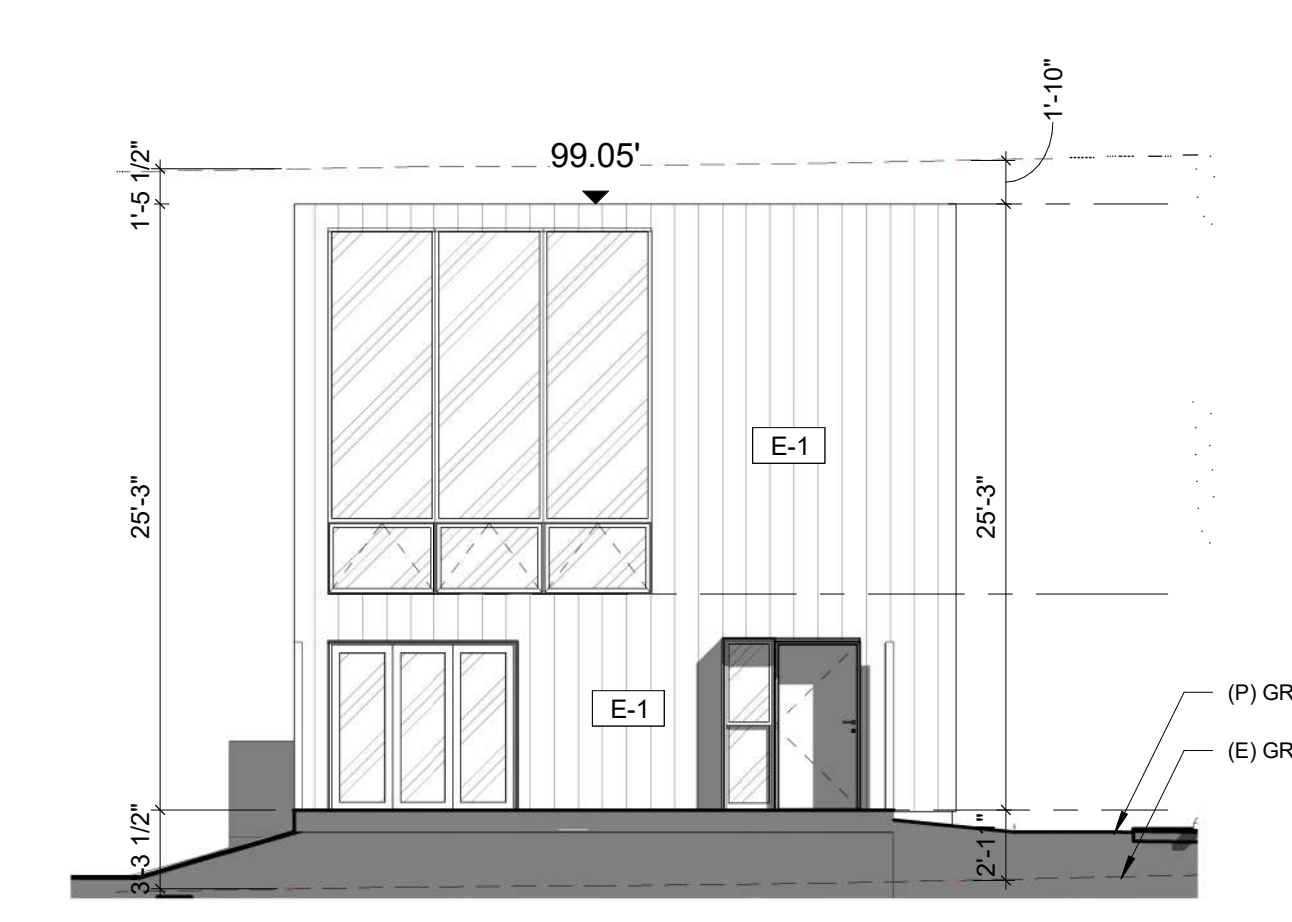
4 BUILDING 7 ELEVATION - SOUTH
 1/8" = 1'-0"



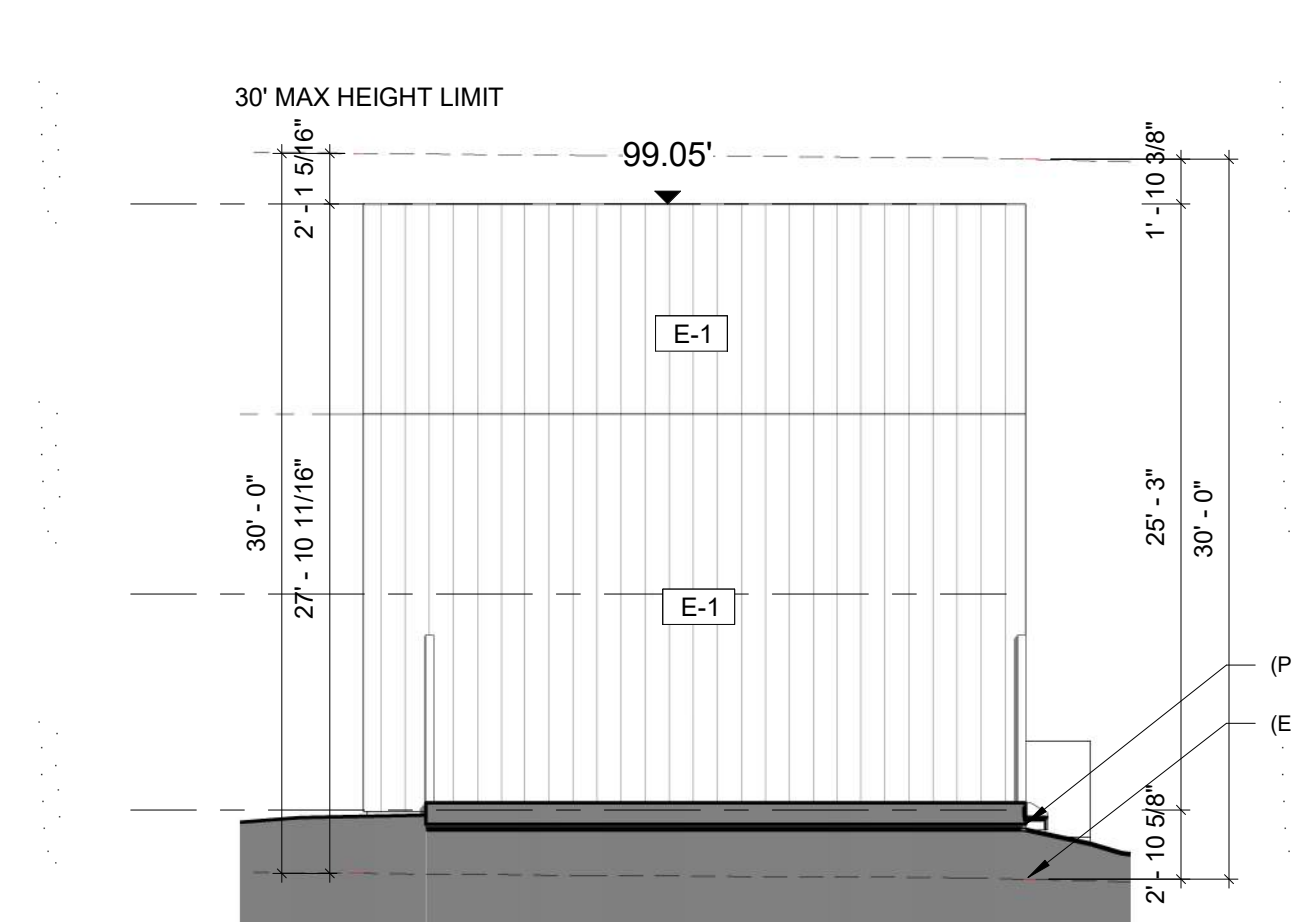
5 BUILDING 8 - ELEVATION - NORTH
 1/8" = 1'-0"



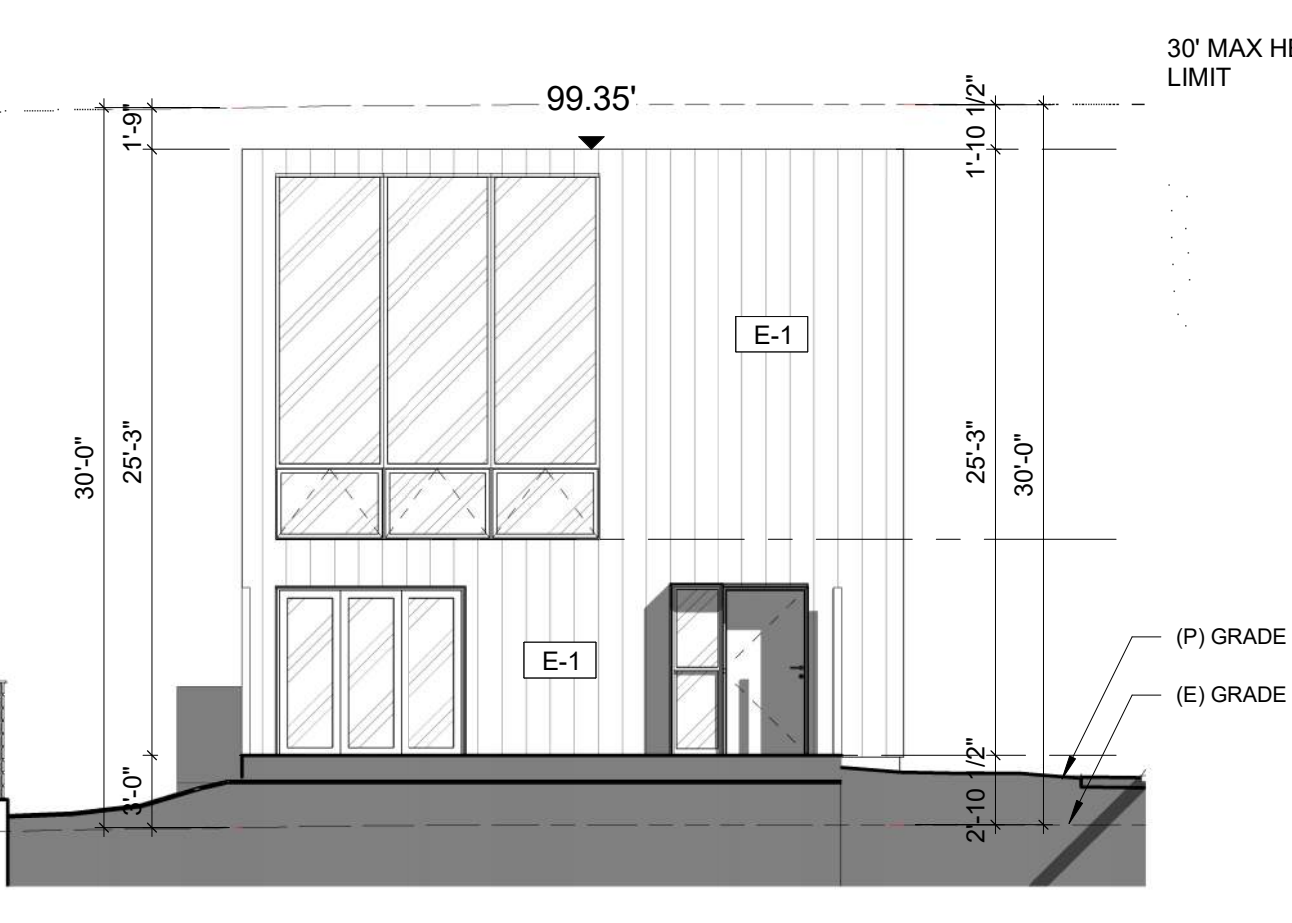
6 BUILDING 8 - ELEVATION - SOUTH
 1/8" = 1'-0"



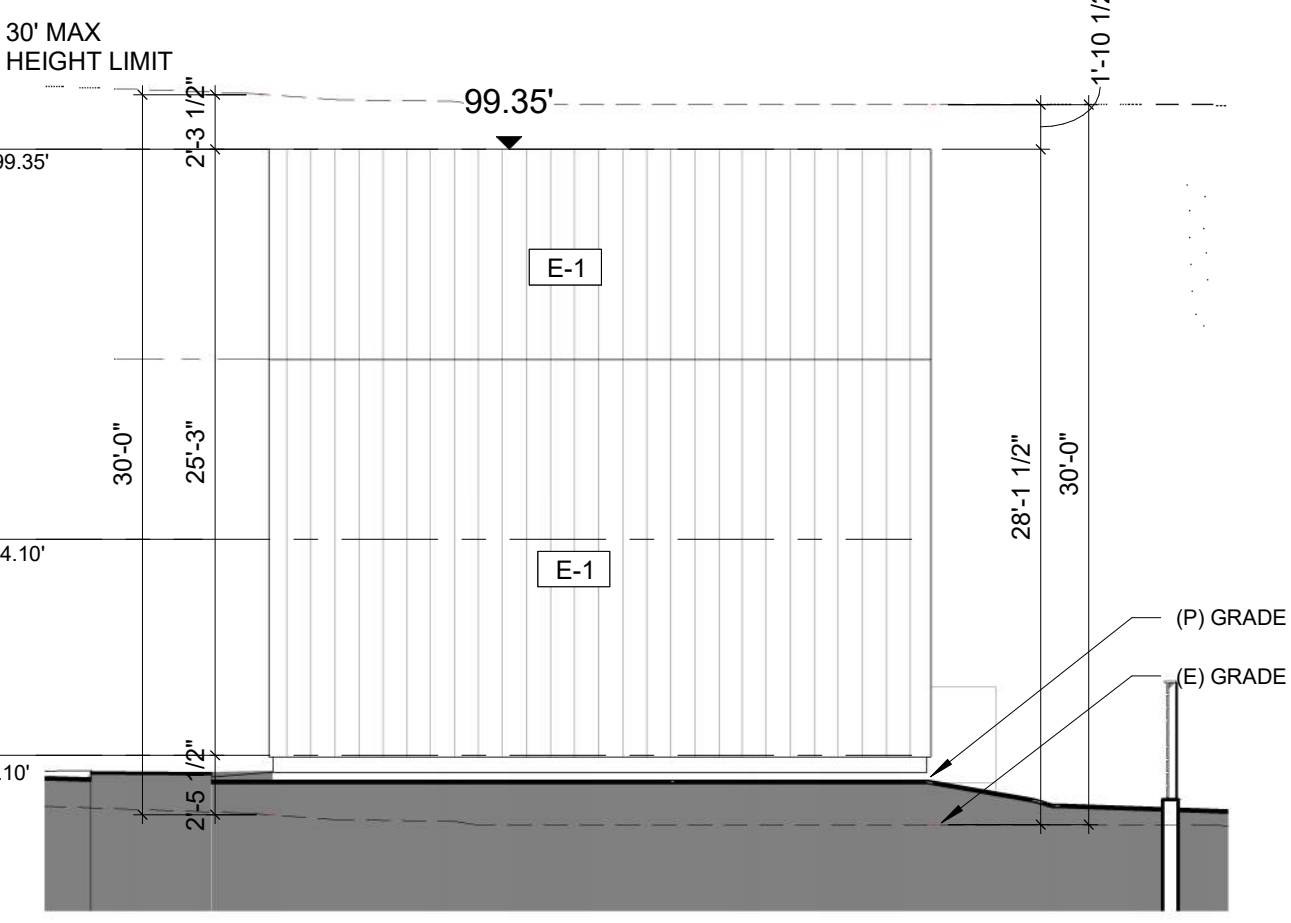
7 BUILDING 9 - ELEVATION - NORTH
 1/8" = 1'-0"



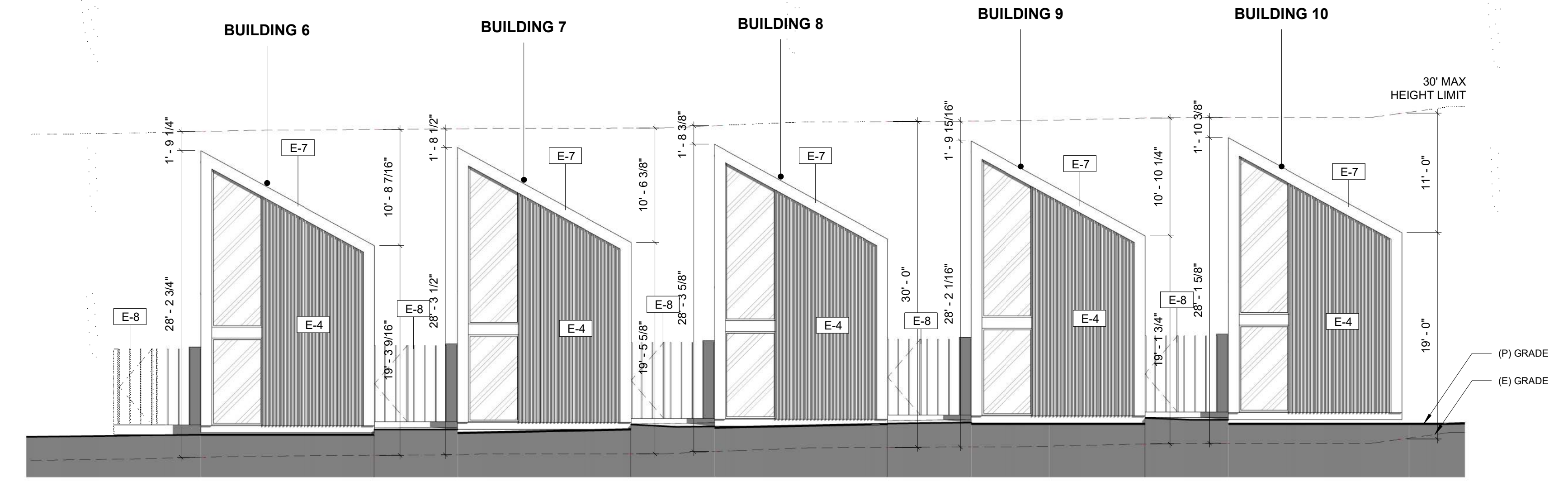
8 BUILDING 9 - ELEVATION - SOUTH
 1/8" = 1'-0"



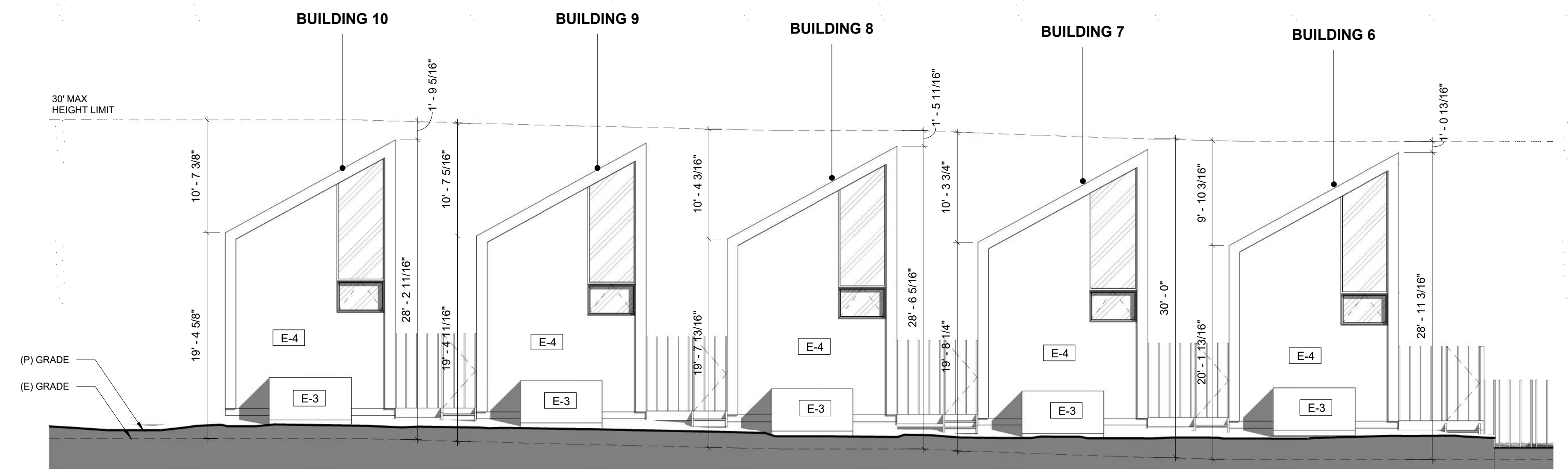
9 BUILDING 10 - ELEVATION - NORTH
 1/8" = 1'-0"



10 BUILDING 10 - ELEVATION - SOUTH
 1/8" = 1'-0"



11 BUILDING TYPE B - ELEVATION - WEST
 1/8" = 1'-0"



12 BUILDING TYPE B - ELEVATION - EAST
 1/8" = 1'-0"

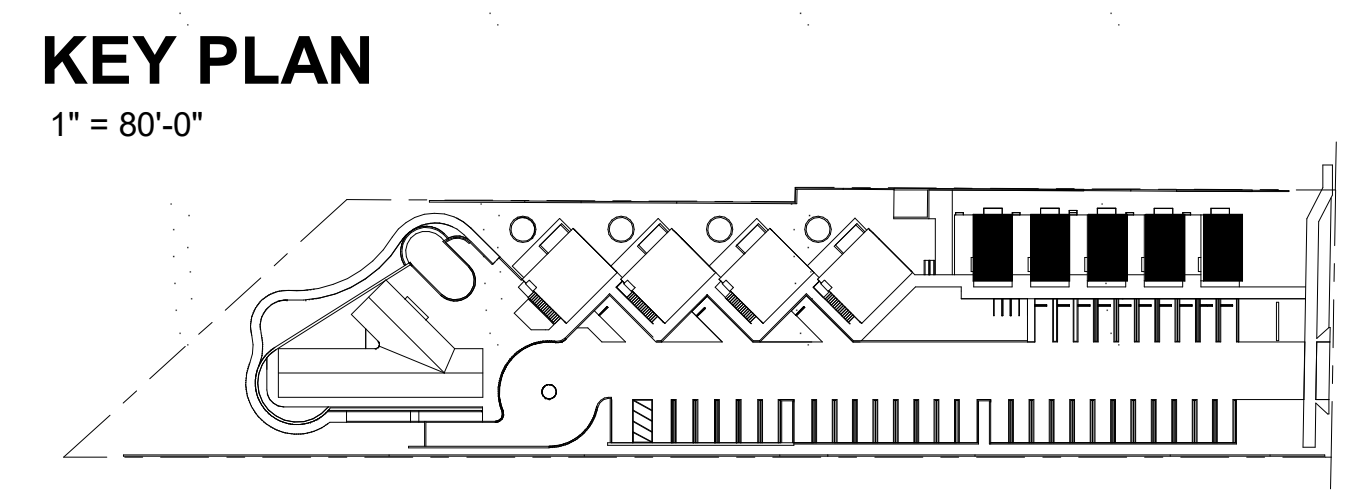
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MATERIAL LEGEND

E-1	EXTERIOR METAL WALL/ROOF CLADDING
E-2	CONCRETE CLADDING. COLOR: GREY
E-3	EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
E-4	NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
E-5	EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
E-6	CONCRETE RETAINING WALL WARM COLOR FINISH
E-7	STEEL FACIA/STRINGER. PAINTED BLACK
E-8	STEEL FENCE. PAINTED BLACK
FL-1	CONCRETE PERVIOUS PAVERS
FL-3	EXTERIOR WOOD FLOORING

NOTES

BUILDING HEIGHT MEASUREMENT IS TAKEN AT FACE OF EXTERIOR BUILDING WALL, TO THE LOWEST OF EXISTING OR PROPOSED GRADE, WHICH EVER IS LESS, PER EMC.



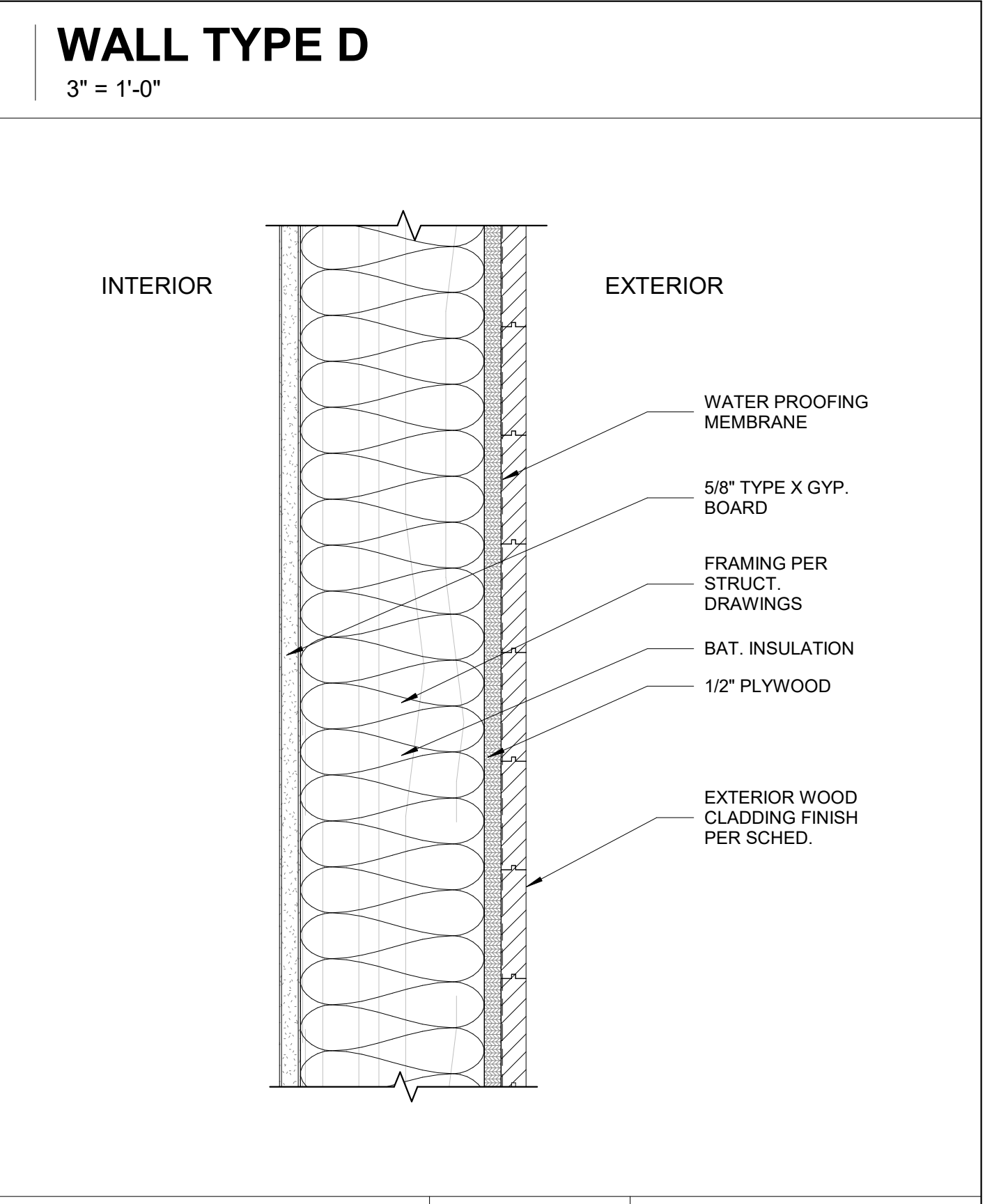
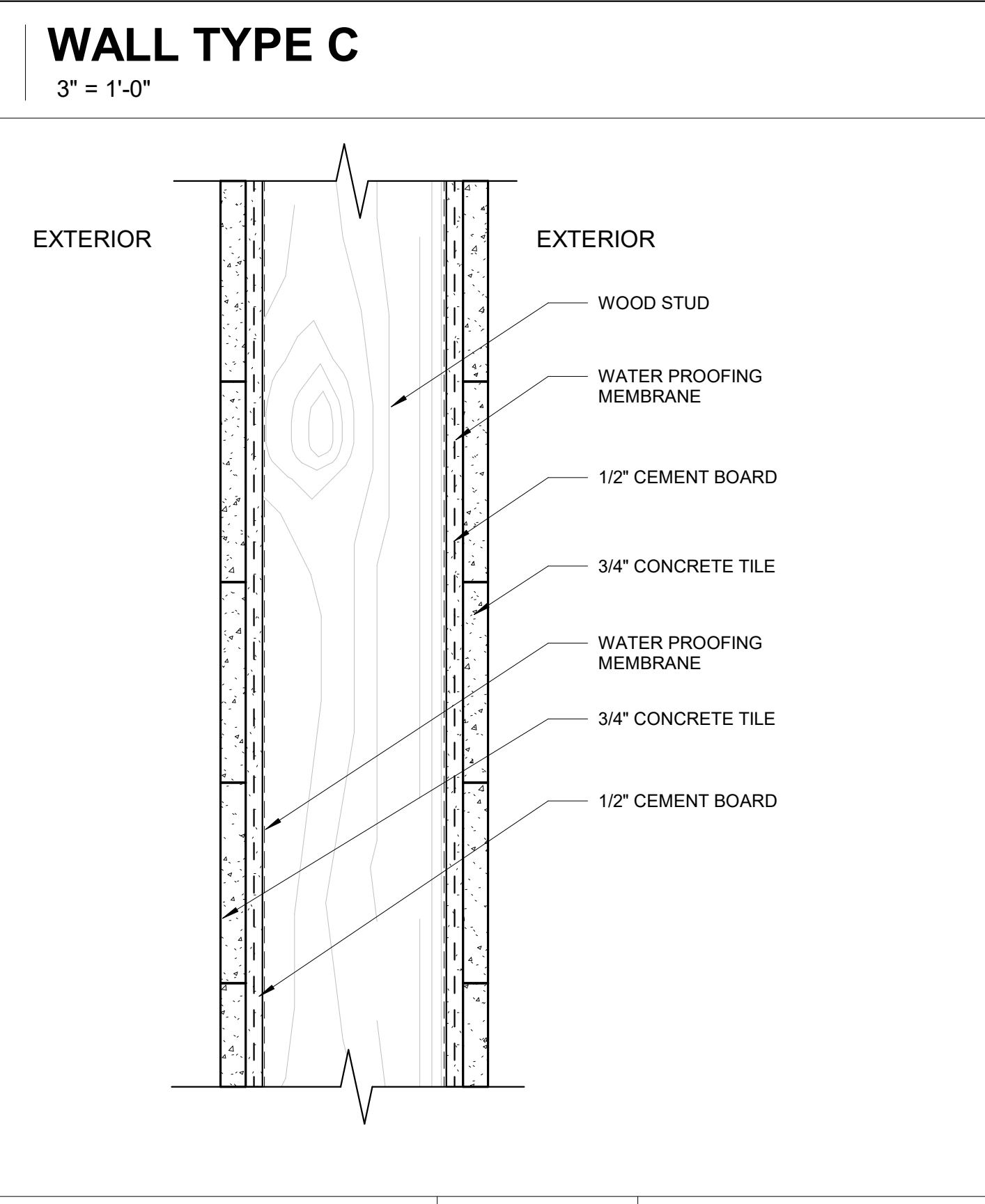
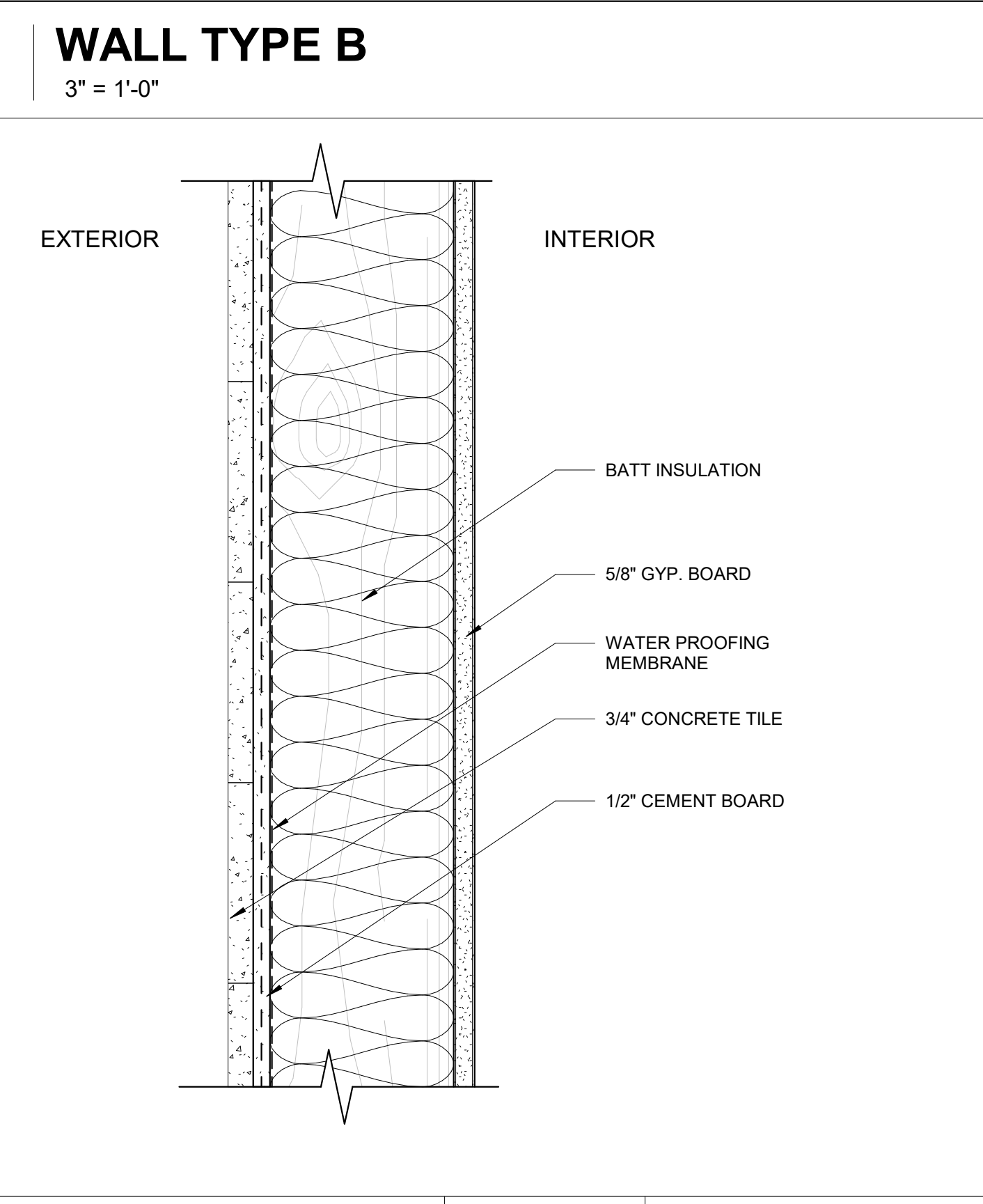
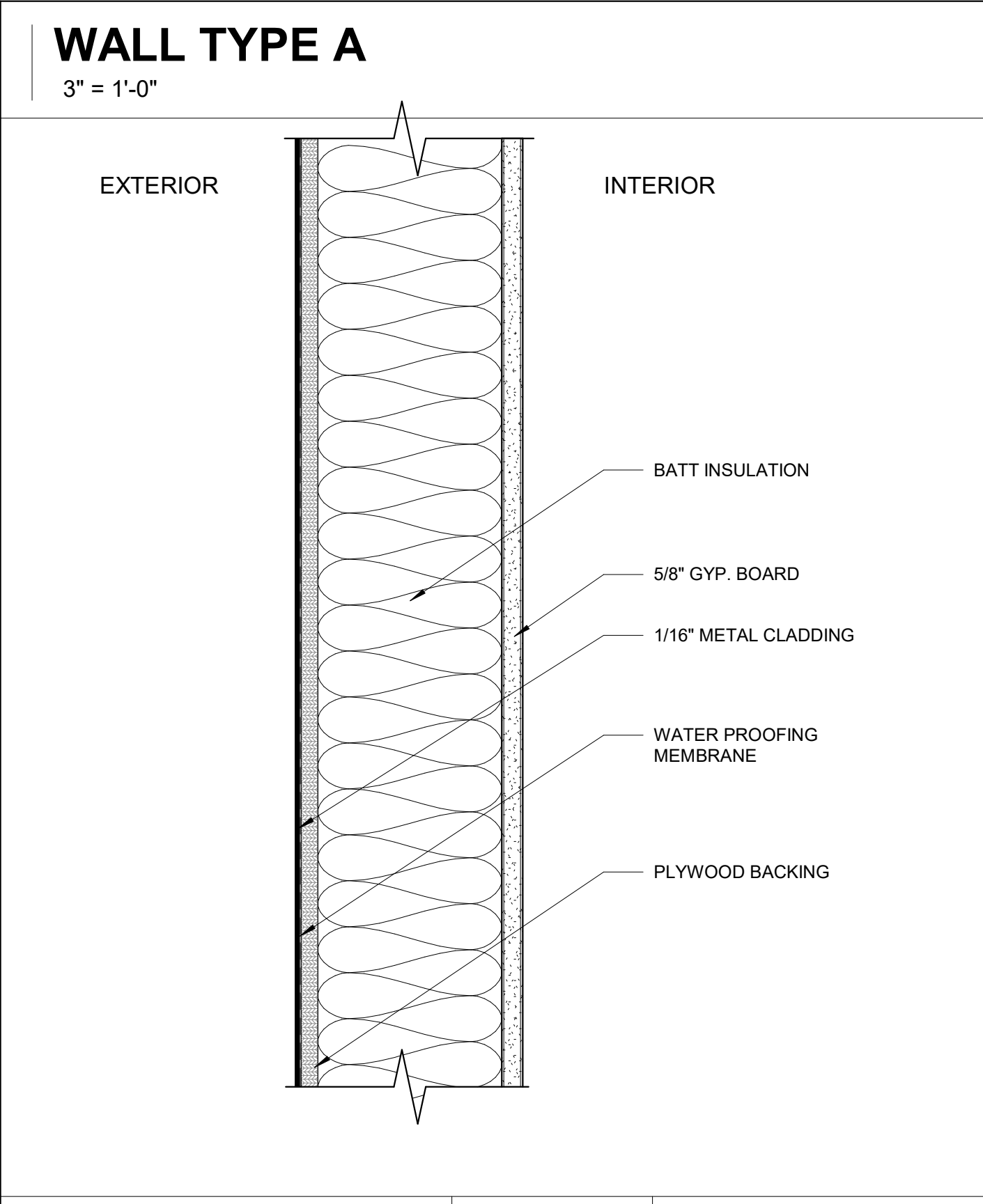
PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 ELEVATIONS

SHEET NUMBER

A2.04

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DESCRIPTION	WIDTH	STUD
TYPE A	12"	DBL 5 1/2"

DESCRIPTION	WIDTH	STUD
TYPE B1	12"	11"
TYPE B2	12"	5 1/2"

DESCRIPTION	WIDTH	STUD
TYPE C	12"	11"

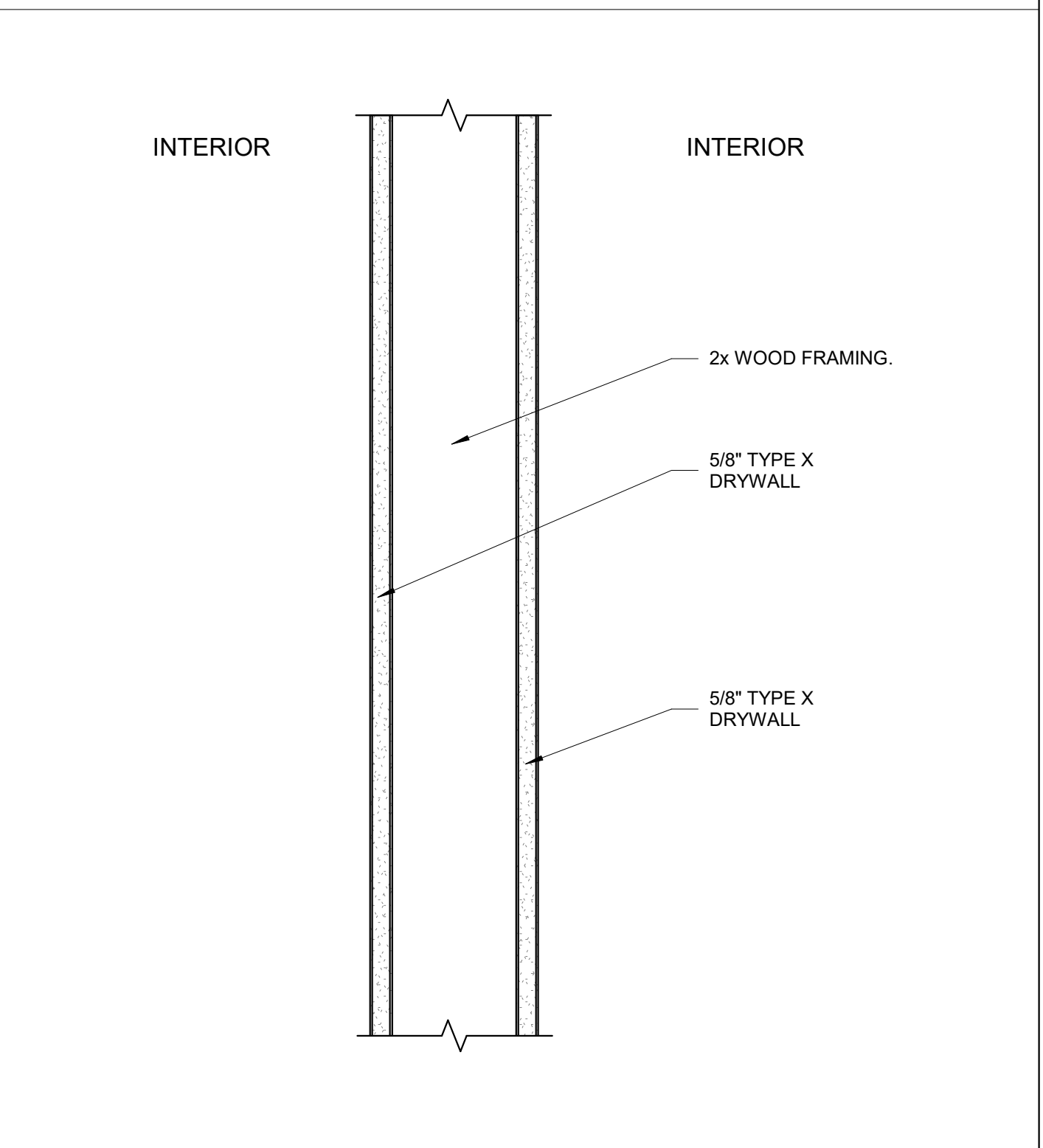
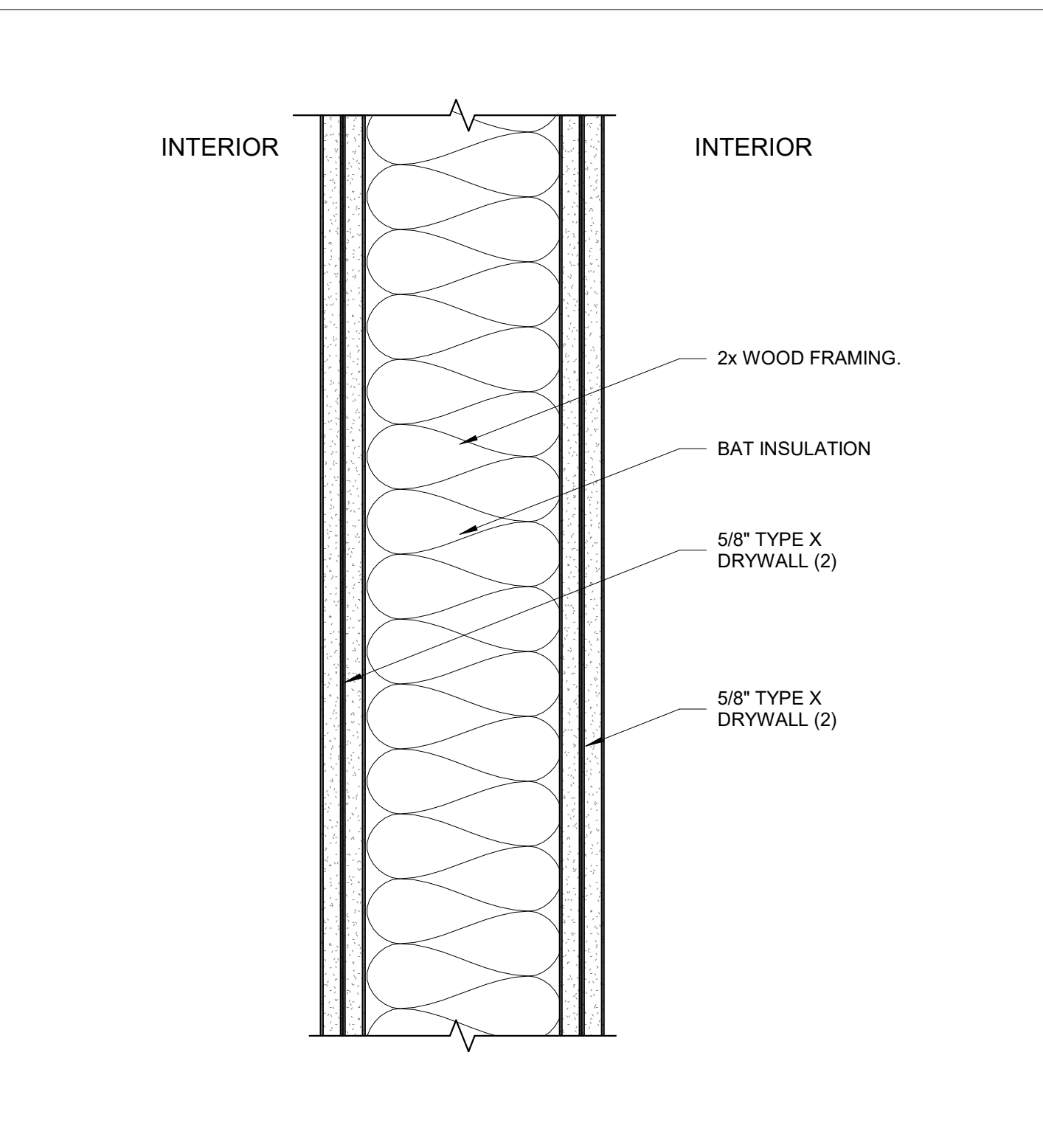
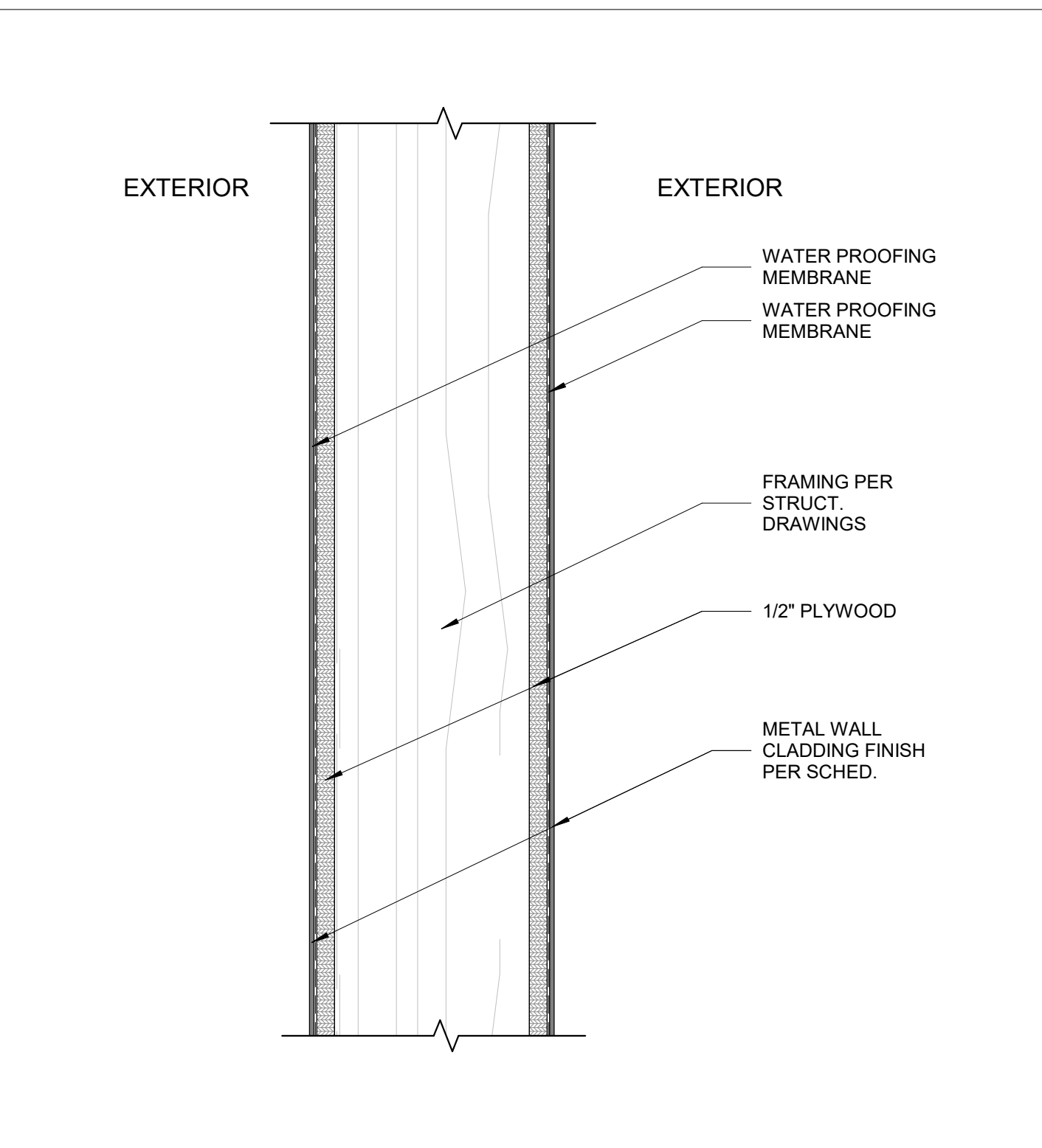
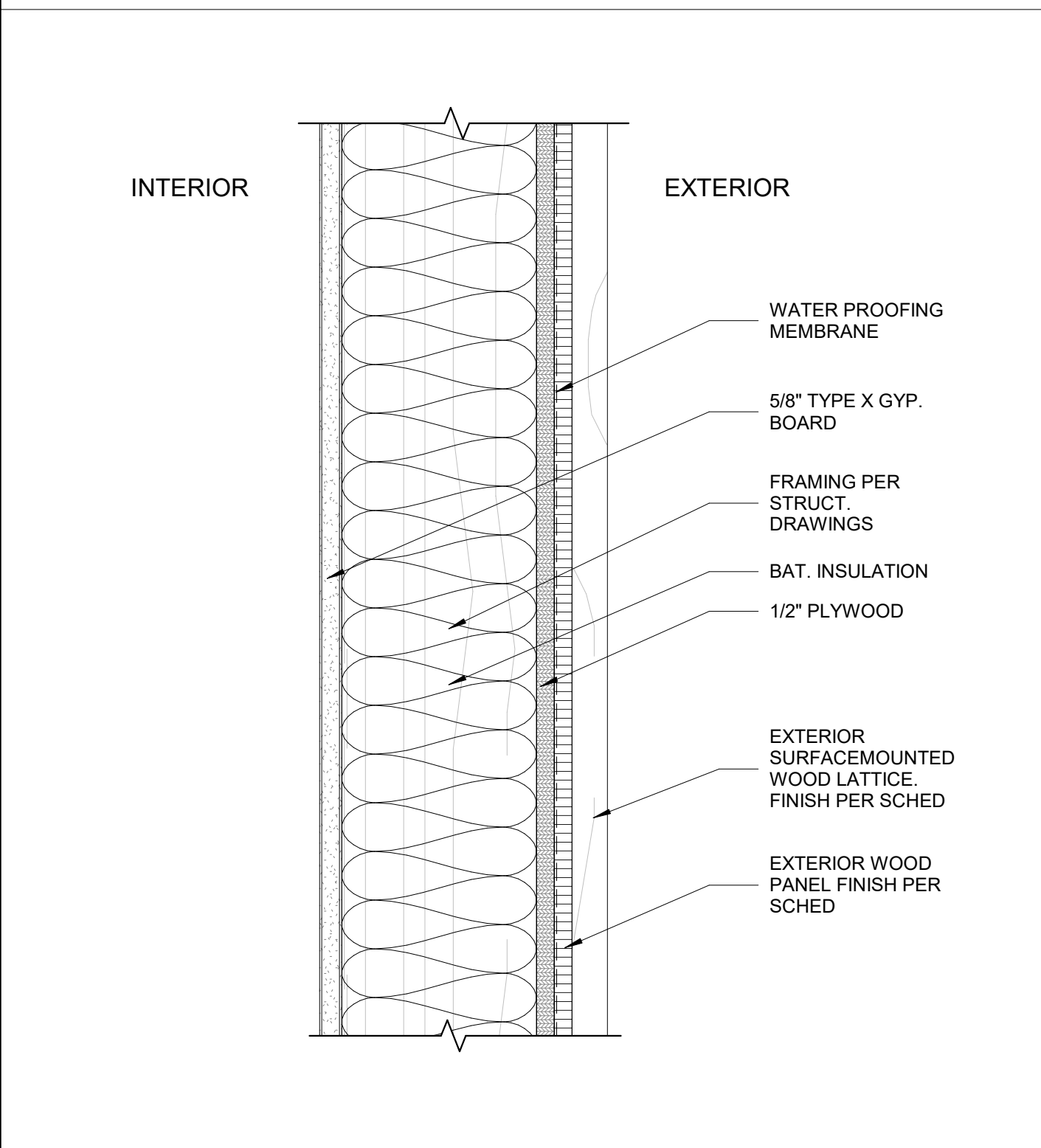
DESCRIPTION	WIDTH	STUD
TYPE D	7 3/8"	5 1/2"

WALL TYPE E
3" = 1'-0"

WALL TYPE F
3" = 1'-0"

WALL TYPE G
3" = 1'-0"

WALL TYPE H
3" = 1'-0"



DESCRIPTION	WIDTH	STUD
TYPE E	7 1/8"	5 1/2"

DESCRIPTION	WIDTH	STUD
TYPE F	8"	5 1/2"

DESCRIPTION	WIDTH	STUD
TYPE G	8"	5 1/2"

DESCRIPTION	WIDTH	STUD
TYPE H	4 3/4"	3 1/2"

NOTE

THE EXTERNAL WALL MUST HAVE A MINIMUM STC RATING OF 47

PROJECT NO.	-
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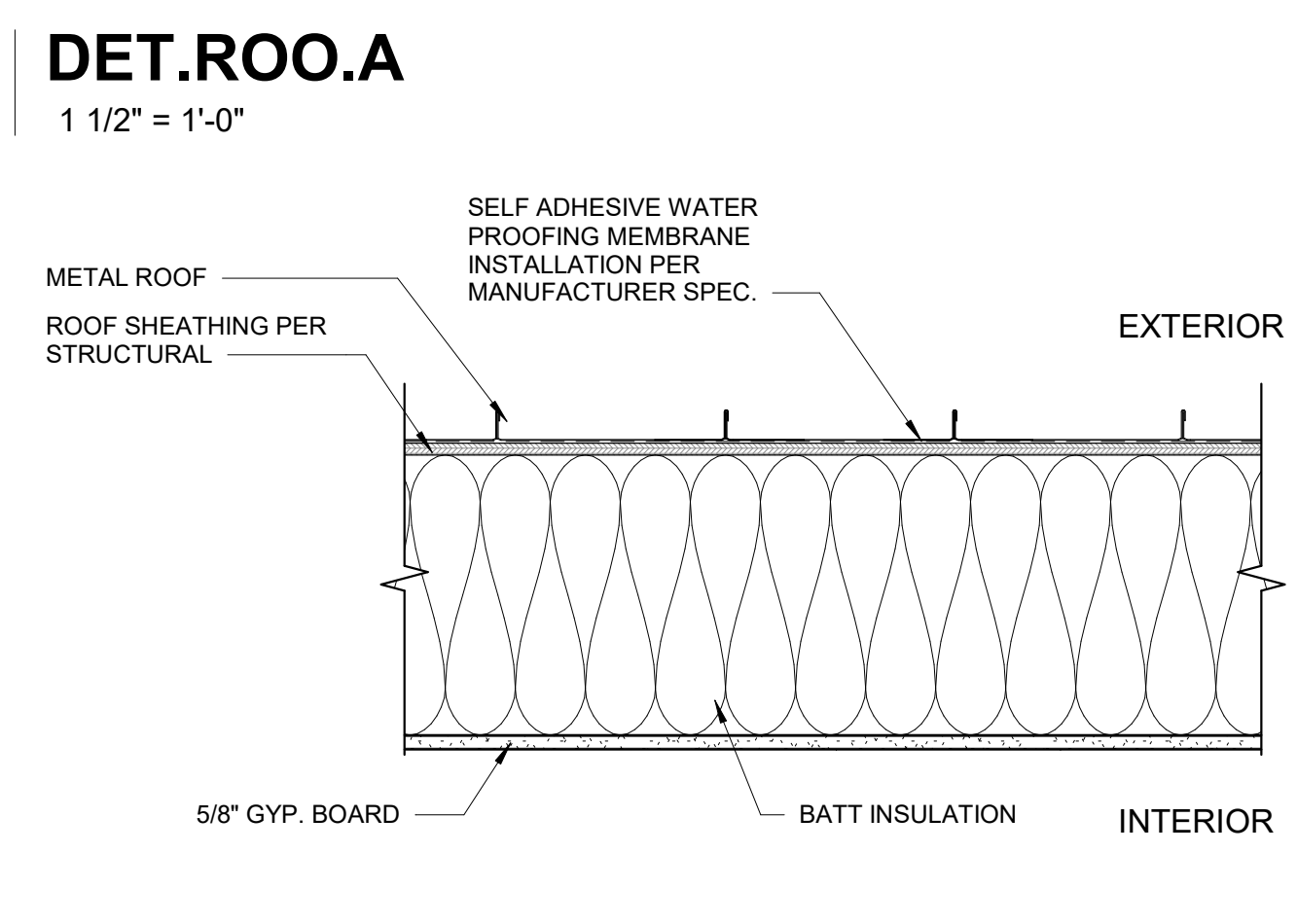
516 LA COSTA
Case No. 18-188 DR/MUP/CDP

PROJECT NO.	-
DRAWINGS PREPARED BY:	LINDSAY BROWN

SHEET TITLE
WALL DETAILS

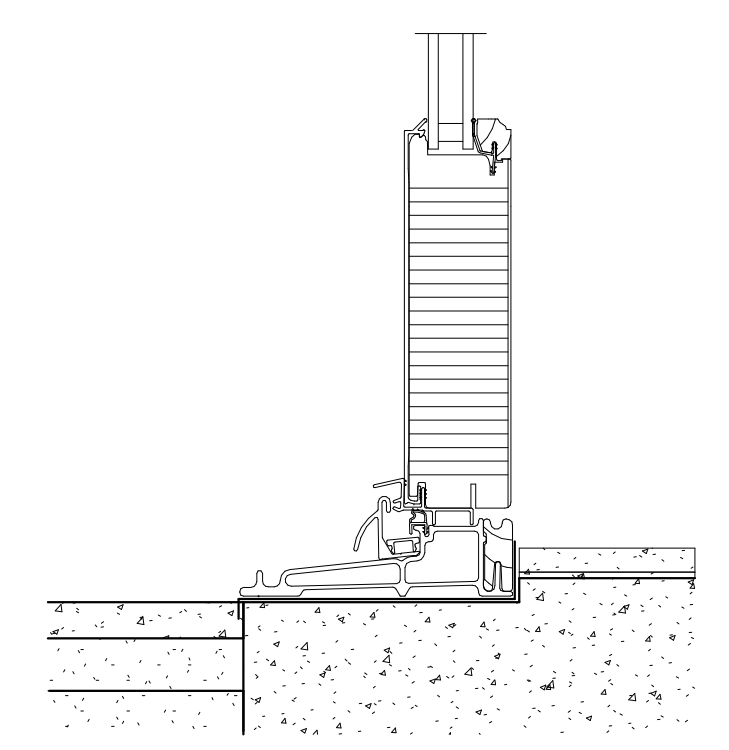
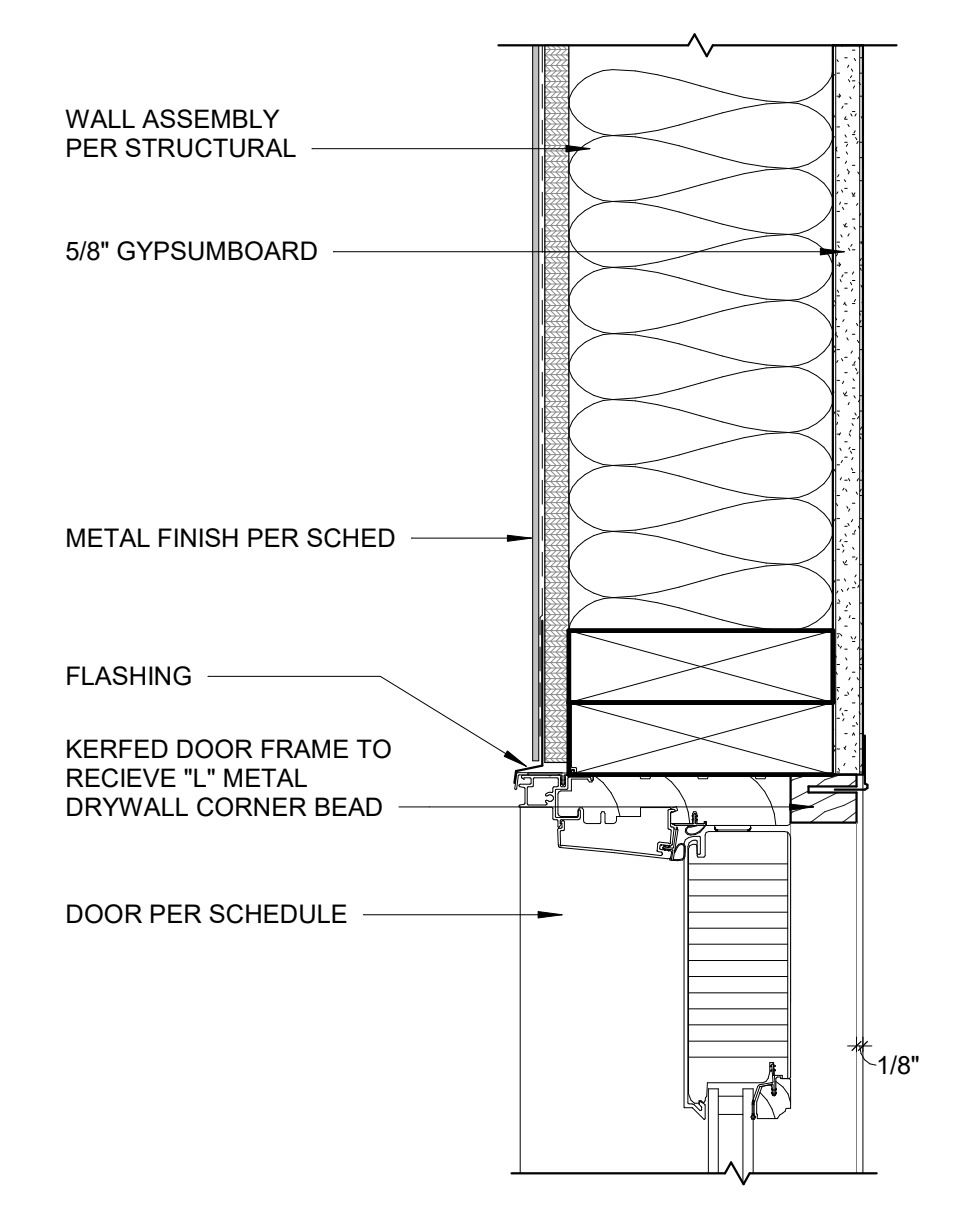
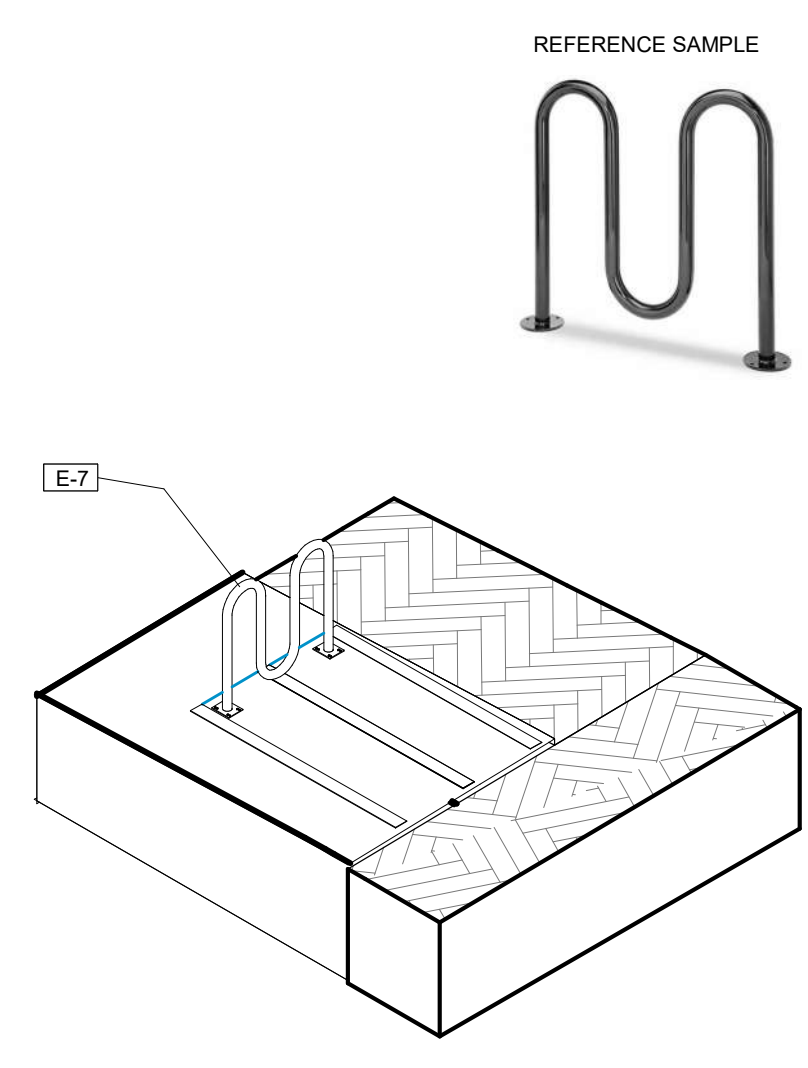
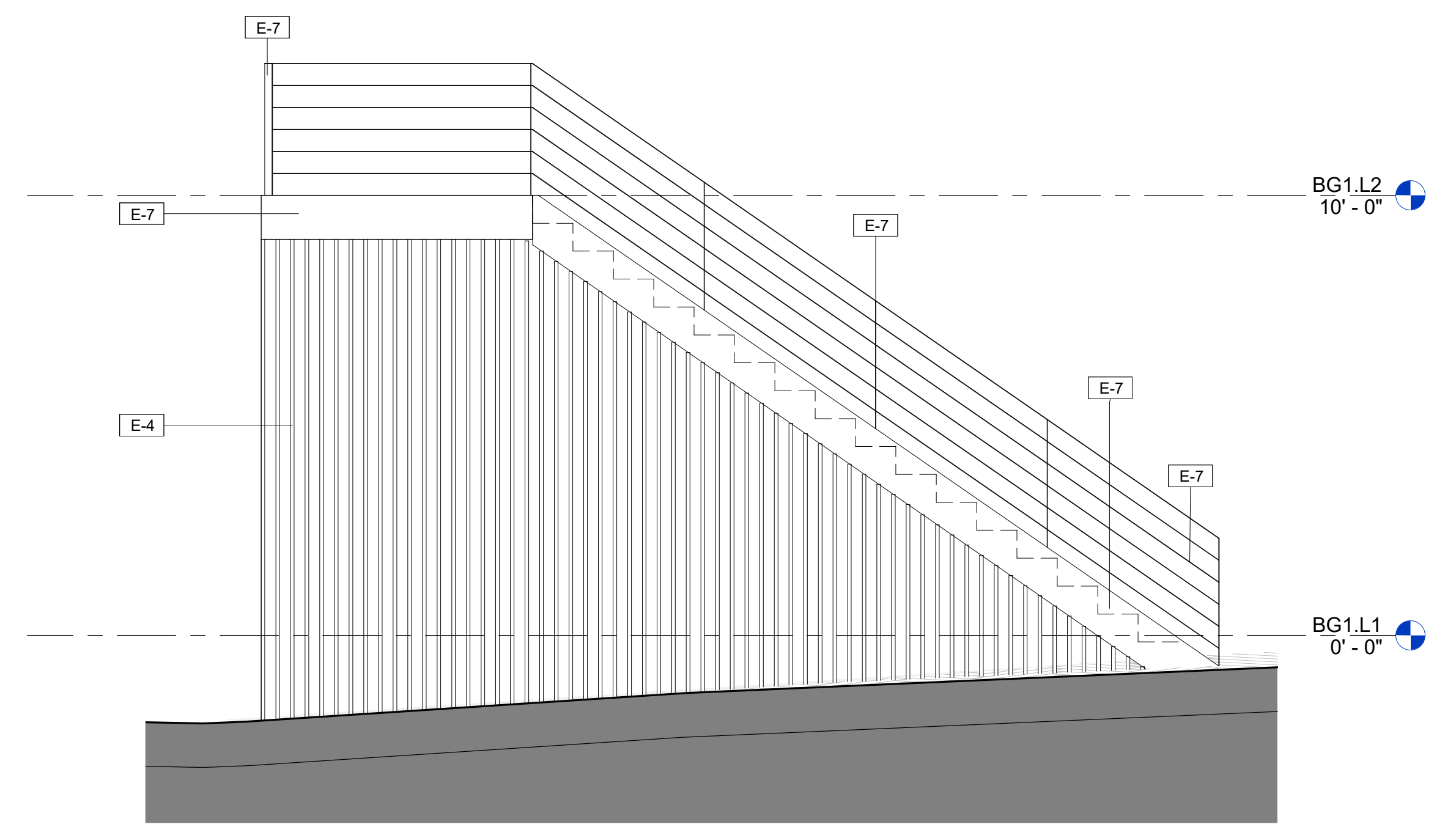
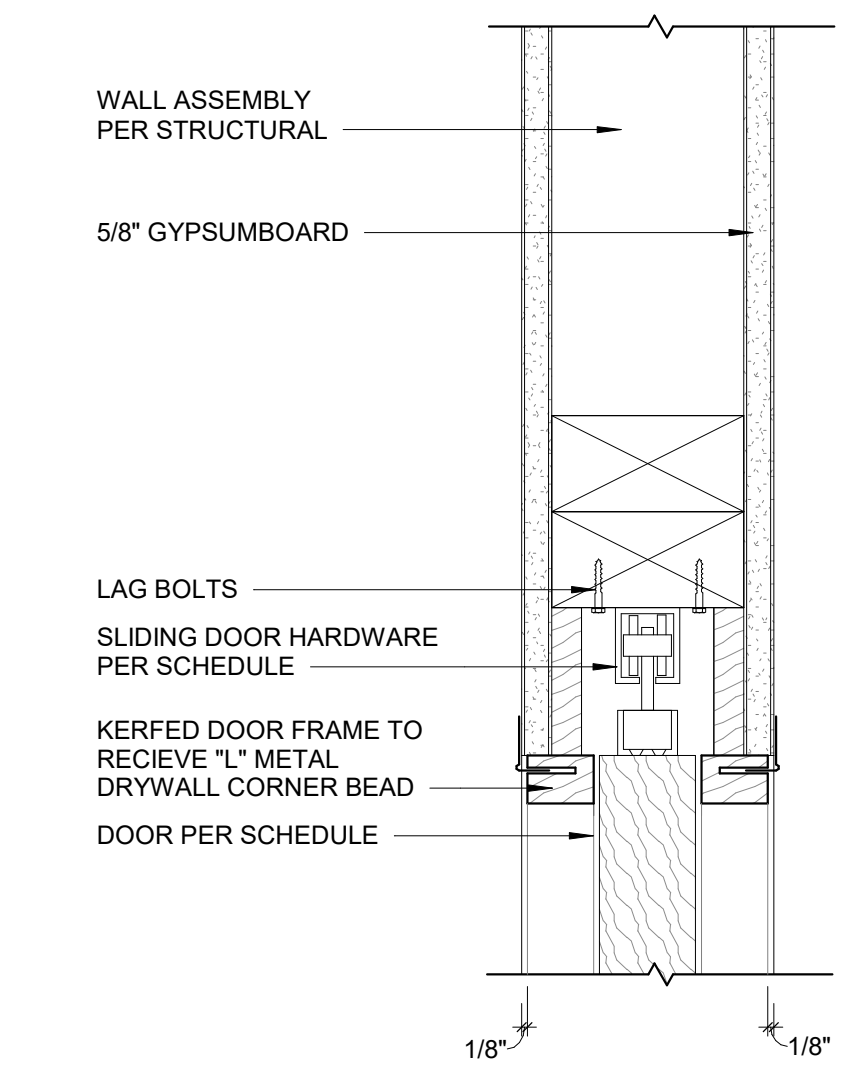
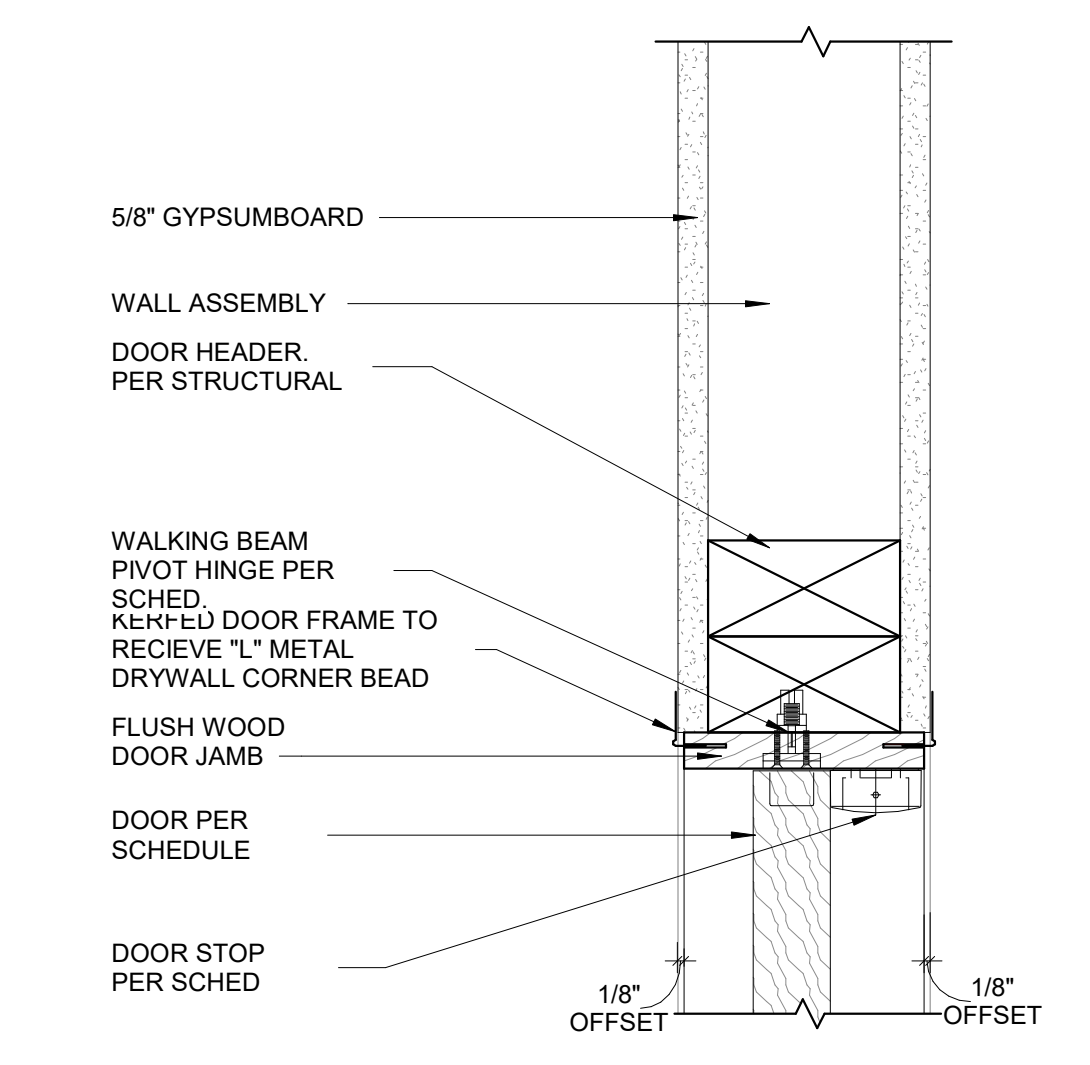
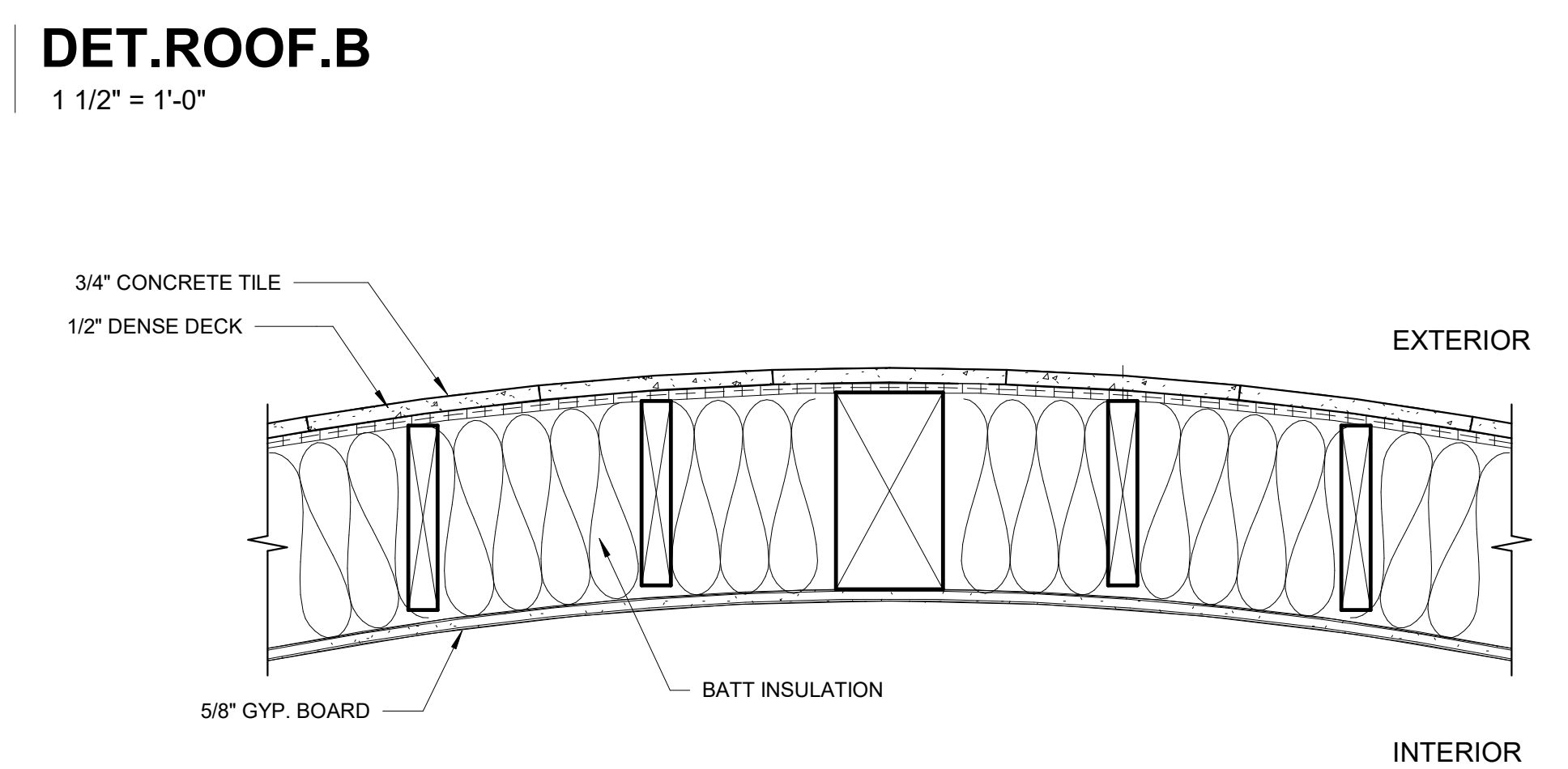
SHEET NUMBER

A7.04



STANDING SEAM METAL ROOF
 MANUFACTURER: CUSTOM-BILT METALS
 PANELS: CB-150 OR SL-1750
 ASTM A 792

DECK: MINIMUM 15/32" PLYWOOD
 UNDERLAYMENT: ONE LAYER OF TYPE II AND TWO LAYERS OF GAF VERSASHEILD
 FIRE RESISTANCE ROOF DECK PROTECTION
 FIRE RESISTANCE RATING: ASTM E108 (UL 790) CLASS A



516 LA COSTA
 Case No. 18-188 DR/MUP/CDP

MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING. COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER. PAINTED BLACK
- E-8 STEEL FENCE. PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

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DATE:	02/16/2021	
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LA COSTA AVE.

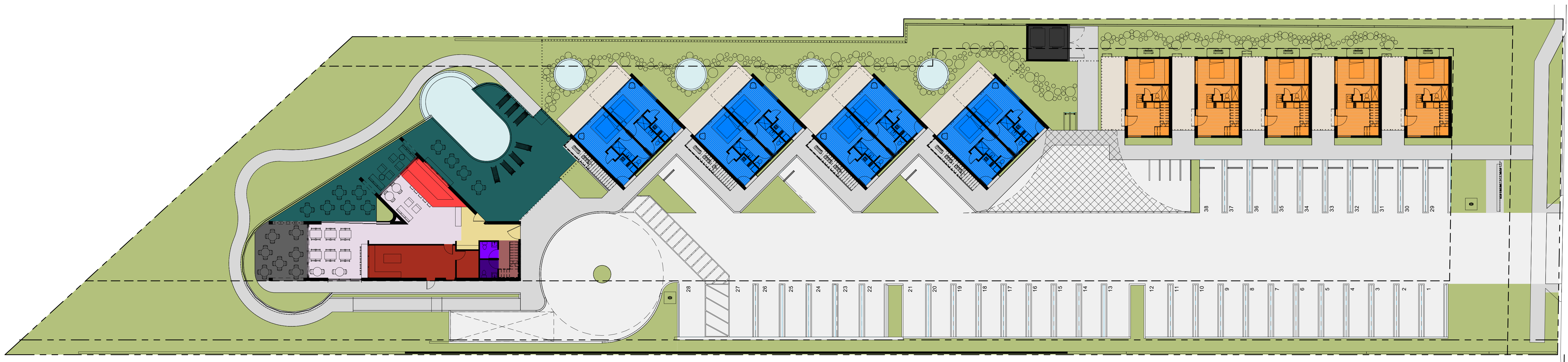
516 LA COSTA
 Case No. 18-188 DR/MUP/CDP

PROJECT NO.
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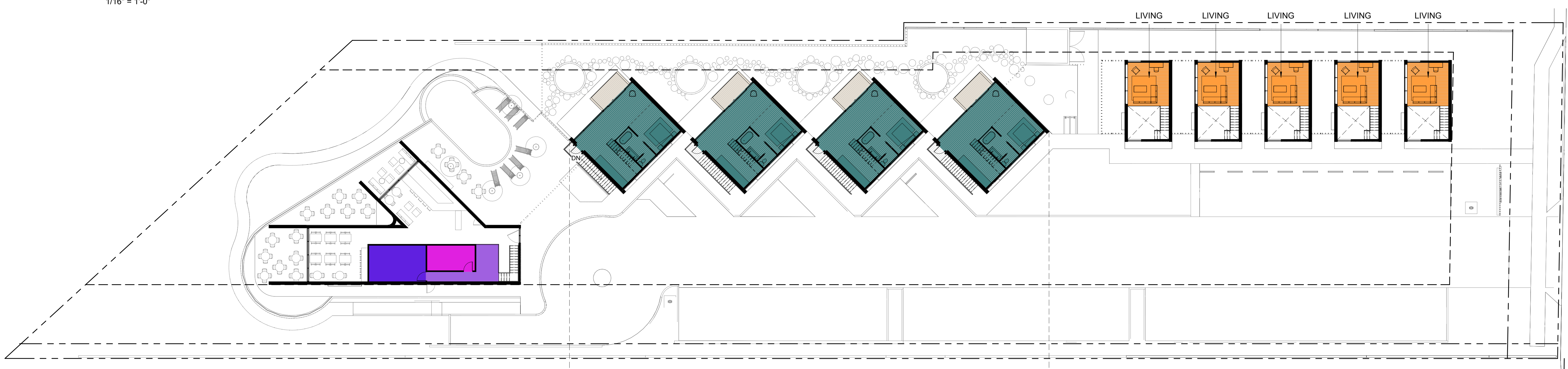
SHEET TITLE
 AREA PLAN (PROPOSED)

SHEET NUMBER

A10.1



1 AREA DIAGRAM - LEVEL 1
 1/16" = 1'-0"

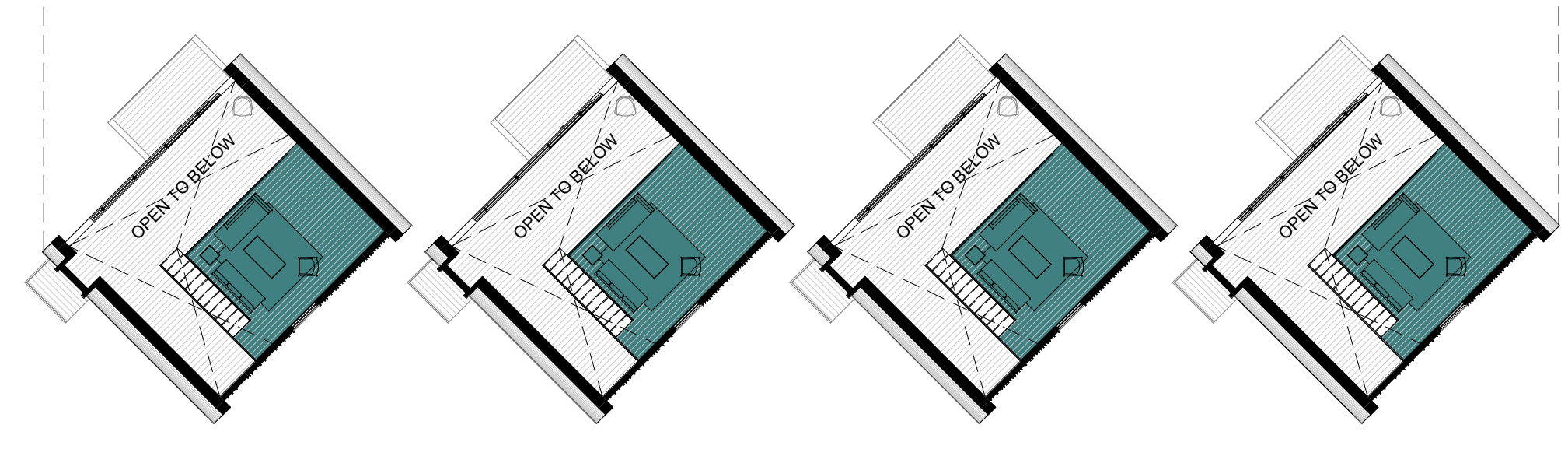


2 AREA DIAGRAM - LEVEL 2
 1/16" = 1'-0"

AREA CALCULATIONS

GENERAL	
NAME	SF
DECK - UNITS	2,160 SF
LOBBY	184 SF
RESTAURANT	890 SF
BAR	191 SF
KITCHEN B.O.H	451 SF
OUTDOOR DINING	345 SF
RESTROOM-WOMENS	43 SF
RESTROOM-MEN	50 SF
HOTEL OFFICE	269 SF
HOTEL OFFICE MEZZANINE	179 SF
HOTEL SERVICE	159 SF
SPA LOUNGE	1,846 SF
SPA	934 SF
CIRCULATION-INTERIOR	100 SF
CIRCULATION-EXTERIOR	5,302 SF
TRASH	185 SF
PARKING	17,329 SF
LANDSCAPE	16,968 SF
TOTAL PROJECT GROSS	12,434 SF
*NO OUTDOOR AREAS INCLUDED	

ROOMS		
No.	NAME	AREA
UNIT 6	UNIT A	360 SF
UNIT 7	UNIT A	360 SF
UNIT 9	UNIT A	360 SF
UNIT 10	UNIT A	360 SF
UNIT 12	UNIT A	360 SF
UNIT 13	UNIT A	360 SF
UNIT 15	UNIT A	360 SF
UNIT 16	UNIT A	360 SF
		2,880 SF
UNIT 8	UNIT B	957 SF
UNIT 11	UNIT B	957 SF
UNIT 14	UNIT B	957 SF
UNIT 17	UNIT B	957 SF
		3,828 SF
UNIT 1	UNIT C	642 SF
UNIT 2	UNIT C	642 SF
UNIT 3	UNIT C	642 SF
UNIT 4	UNIT C	642 SF
UNIT 5	UNIT C	642 SF
		3,210 SF
TOTAL UNIT GROSS		9,918 SF



3 LOFT LEVEL
 1/16" = 1'-0"

LANDSCAPE AREAS

LANDSCAPE	16,968 SF (33%)
-----------	-----------------

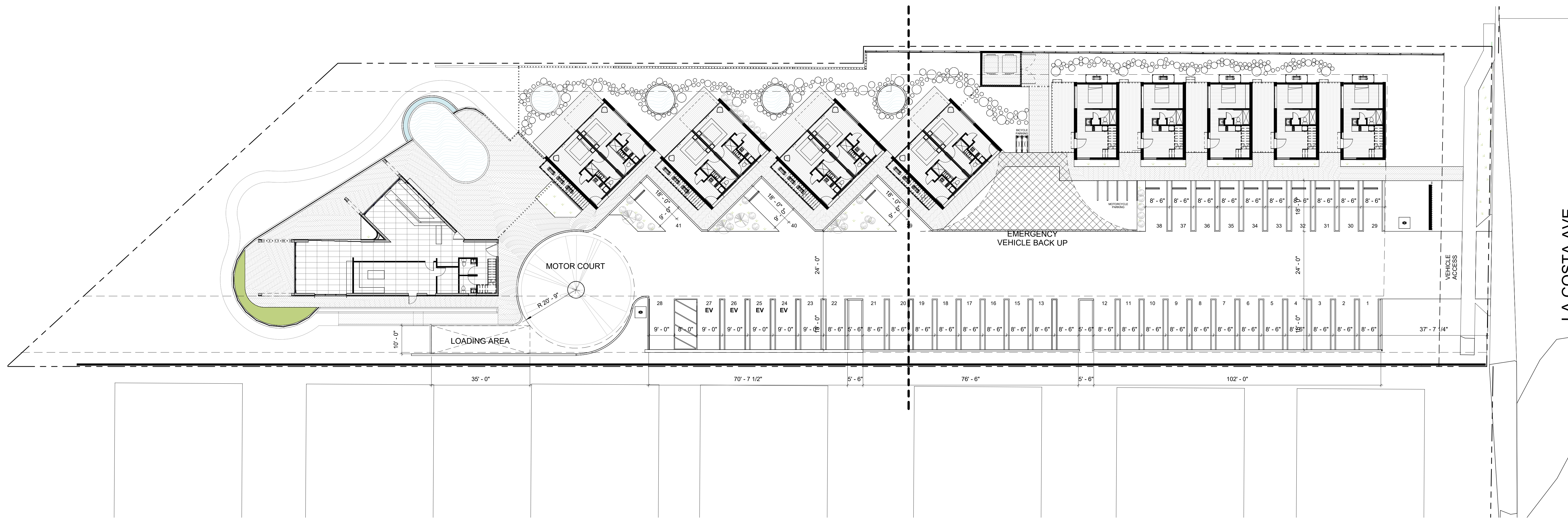
AREA LEGEND

BAR	RESTAURANT
CIRCULATION-EXTERIOR	RESTROOM-MEN
CIRCULATION-INTERIOR	RESTROOM-WOMENS
DECK - UNITS	SPA
HOTEL OFFICE	SPA LOUNGE
HOTEL OFFICE MEZZANINE	TRASH
HOTEL SERVICE	UNIT A
KITCHEN B.O.H	UNIT B
LANDSCAPE	UNIT C
LOBBY	
OUTDOOR DINING	
PARKING	

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1 PARKING DIAGRAM - LEVEL 1

1/16" = 1'-0"

PARKING CALCULATIONS

PARKING REQUIREMENTS PER DESIGNATION:

PER Table 30.54.030 OF THE Encinitas Municipal Code. Areas used for calculation are net SF areas for each category.

RESTAURANT = 1 SPACE / 100 SF * **OFFICE** = 1 SPACE / 250 SF
LODGING UNIT = 1.25 SPACE / ROOM

* RESTAURANTS IN CONJUNCTION WITH HOTELS/MOTELS MAY PROVIDE PARKING AT THE RATIO OF 1 SPACE PER 100 SQUARE FEET OF THE AREA OF THE RESTAURANT

A) ROOM PARKING REQUIREMENTS

NEW ROOM COUNT (PROPOSED):
17 UNITS = 17 ROOMS @ 1.25 SPACES / ROOM = 21.25 PARKING SPACES

B) ADDITIONAL PARKING REQUIREMENTS

*ADDITIONAL PARKING CALCULATIONS ARE ONLY FOR PUBLIC ACCESSIBLE AREAS. ALL OTHER AREAS ARE KEY ACCESS ONLY.

RESTAURANT INTERIOR = 1626 SF @ 1 SPACE / 100 SF=	16.26
RESTAURANT (OUTDOOR DINING) = 345 SF @ 1 SPACE / 100 SF	3.45
TOTAL ADDITIONAL PARKING STALLS REQUIRED	19.71

PARKING CALCULATION TOTALS

A) TOTAL ROOM PARKING REQUIRED =	21.25	STALLS
B) TOTAL PUBLIC AREA PARKING REQUIRED =	19.71	STALLS

TOTAL PARKING REQUIRED = 40.96 = 41 STALLS

TOTAL PARKING PROVIDED = 41 STALLS

LOADING SPACE

LOADING SPACE REQUIREMENTS.
ONE LOADING SPACE SHALL BE PROVIDED FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA OR FRACTION THEREOF.

TOTAL GROSS FLOOR AREA (COMMERCIAL):
2,986 SF < 10,000 SF = 1 LOADING SPACE

LOADING SPACES PROVIDED = 1 LOADING SPACE

BICYCLE PARKING

RESTAURANTS
LESS THAN 6,000 SQ. FT. OF FLOOR AREA = 2 SPACES
TOTAL GROSS FLOOR AREA (RESTAURANT):
2,986 SF < 6,000 SF = 2 BICYCLE SPACES

BICYCLE SPACES PROVIDED = 2

MOTORCYCLE PARKING

REQUIRED
NUMBER OF AUTOMOBILE PARKING SPACES = 25 TO 100 = 4 MOTORCYCLE SPACES
TOTAL AUTOMOBILE PARKING PROVIDED 40 = 4 MOTORCYCLE SPACES

MOTORCYCLE SPACES PROVIDED = 4

ELECTRICAL VEHICLE (EV) CHARGING

PER CHAPTER 23.12, UNIFORM CODES FOR CONSTRUCTION, SECTION A4.106.8.3.1, AT LEAST EIGHT PERCENT (8%) OF THE TOTAL NUMBER OF PARKING SPACES SHALL BE ELECTRICAL VEHICLE CHARGING SPACES (EV SPACES), WITH FULLY OPERATIONAL ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

TOTAL AUTOMOBILE PARKING PROVIDED 41 = 8% = 3.28 = 4 EV SPACES REQUIRED (MIN)
EV SPACES PROVIDED = 4

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

PROJECT NO.
DRAWINGS PREPARED BY:
LINDSAY BROWN

SHEET TITLE
PARKING DIAGRAM

SHEET NUMBER

A10.2

PROJECT NO. -
 DRAWN BY: Designer
 CHECKED BY: Checker
 DATE: 02/16/2021
 REVISIONS:
 1 03/16/2020 CDP-SUB 2
 2 02/16/2020 CDP-SUB 3
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516 LA COSTA
 Case No. 18-188 DR/MUP/CDP

PROJECT NO. -
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

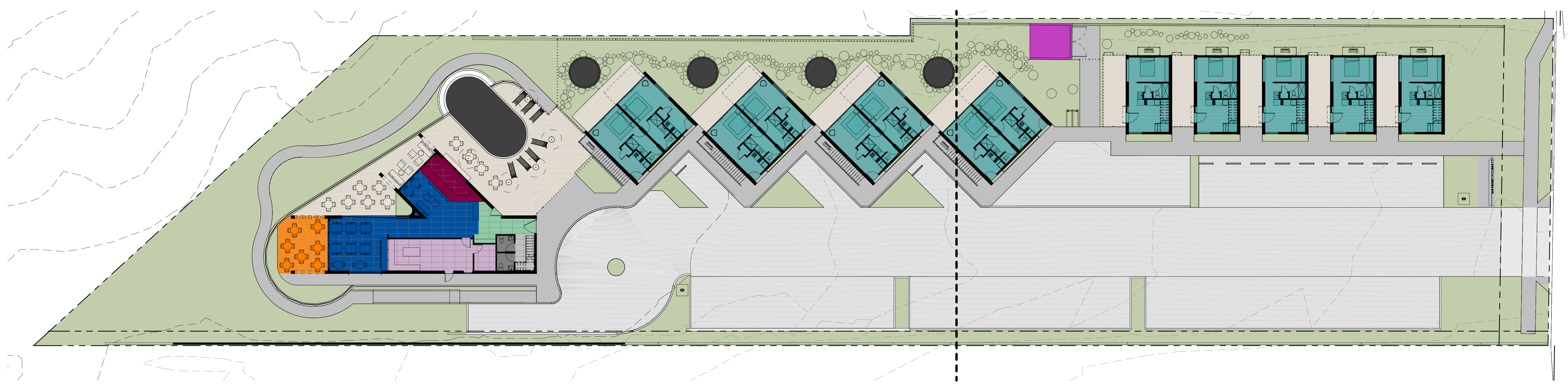
SHEET TITLE
 ALCOHOL DIAGRAM

SHEET NUMBER

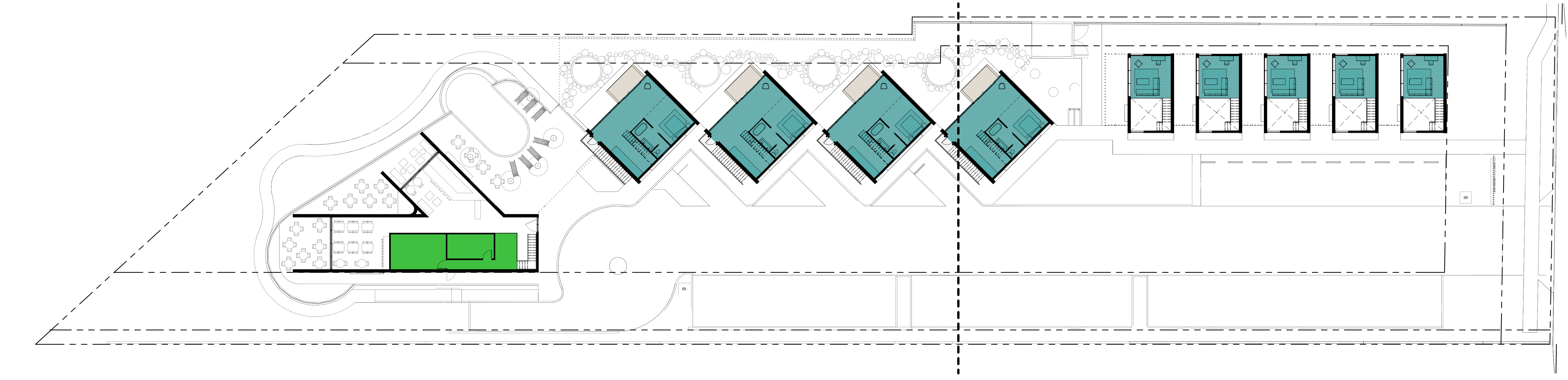
A10.3

8/12/2022 2:13:39 PM

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1 LEVEL 1 - ALCOHOL DIAGRAM
 1/16" = 1'-0"



2 LEVEL 2 - ALCOHOL DIAGRAM
 1/16" = 1'-0"

ALCOHOL DESIGNATED AREAS

CATEGORY	AREA	SF	PUBLIC ACCESS	ALCOHOL DESIGNATED	TABLES	SEATS	STOOLS	STANDING	(P) OCC. LOAD	ALLOWED OCC. LOAD
1	LOBBY	184 SF	Yes	Yes	0	0	0	0	0	0
2	ROOMS	9,918 SF	No	Yes	0	0	0	0	34	34
3	PRIVATE OUTDOOR	2,160 SF	No	Yes	0	0	0	0	0	0
4	SPA	853 SF	No	Yes	0	0	0	0	0	0
5	PRIVATE OUTDOOR	1,270 SF	No	Yes	0	0	0	0	0	0
7	PRIVATE INDOOR	179 SF	No	No	0	0	0	0	0	0
8	PRIVATE INDOOR	159 SF	No	No	0	0	0	0	0	0
9	PRIVATE INDOOR	269 SF	No	No	0	0	0	0	16	16
10	PUBLIC INDOOR SEATING	890 SF	Yes	Yes	11	37	10	0	47	55
11	KITCHEN B.O.H.	451 SF	No	No	0	0	0	0	2	2
12	BAR B.O.H.	191 SF	No	Yes	0	0	0	0	0	0
13	PRIVATE OUTDOOR	576 SF	No	Yes	2	10	0	0	16	16
14	PUBLIC OUTDOOR SEATING	345 SF	Yes	Yes	7	28	0	0	28	28
14	RESTROOMS	93 SF	Yes	Yes	0	0	0	0	0	0
15	CIRCULATION	100 SF	No	No	0	0	0	0	0	0
16	CIRCULATION	5,302 SF	Yes	No	0	0	0	0	0	0
17	LANDSCAPE	16,968 SF	No	No	0	0	0	0	0	0
18	PARKING	17,329 SF	Yes	No	0	0	0	0	0	0
19	TRASH ENCLOSURE	185 SF	No	No	0	0	0	0	0	0
TOTALS		57,422 SF			20	75	10	0	143	151

TOTALS	
TOTAL NON-ALCOHOL DESIGNATED	40,942 SF
TOTAL ALCOHOL DESIGNATED	16,480 SF

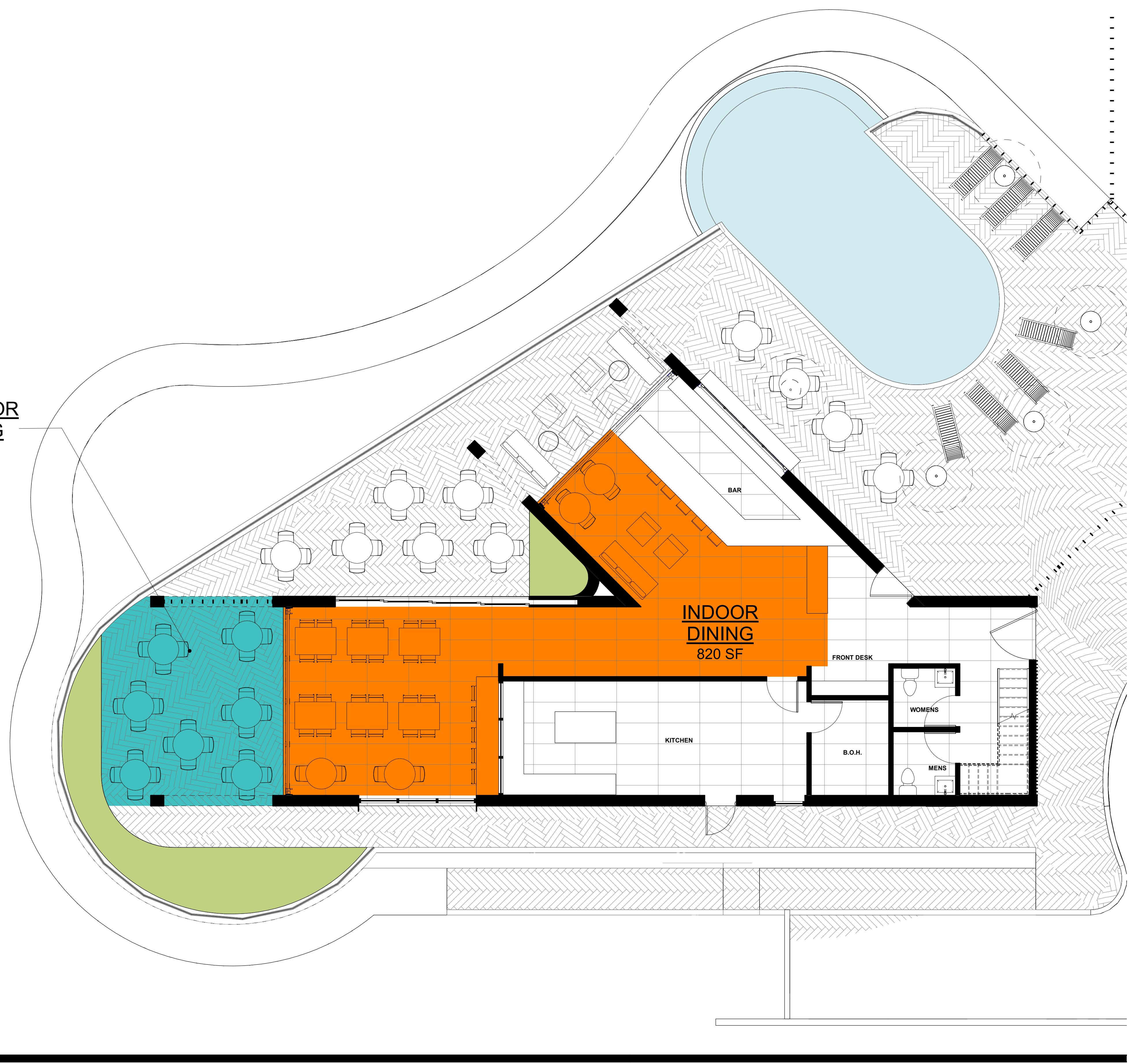
AREA LEGEND

- BAR B.O.H.
- CIRCULATION
- KITCHEN B.O.H.
- LANDSCAPE
- LOBBY
- PARKING
- POOL
- PRIVATE INDOOR
- PRIVATE OUTDOOR
- PUBLIC INDOOR SEATING
- PUBLIC OUTDOOR SEATING
- RESTROOMS
- ROOMS
- SPA
- TRASH ENCLOSURE

*PRIVATE INDOOR SEATING = NO PUBLIC ACCESS
 **PRIVATE OUTDOOR SEATING = NO PUBLIC ACCESS
 REFER TO SHEET A10.4 FOR PUBLIC/PRIVATE AREA DIAGRAM

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OUTDOOR DINING
345 SF



INDOOR DINING
820 SF

RESTAURANT OCCUPANCY CALCULATION DIAGRAM

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OCCUPANCY LOADS PER CODE

- SEATING AREA**
1 OCCUPANT / 15 SF
- STANDING AREA**
1 OCCUPANT / 5 SF
- STOOL/STANDING AREA**
1 OCCUPANT / 5 SF

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SEATING OPTION	1	2	3	4	5
INDOOR SEATING PUBLIC 820 SF GENERAL AREA (766 SF) STOOL AREA (54 SF)	 51 SEATING 11 STOOL/ STANDING	 51 SEATING 11 STOOL/ STANDING	 55 SEATING	 164 STANDING	 164 STANDING
OUTDOOR SEATING PUBLIC 345 SF	 23 SEATING	 69 LOUNGE	 23 SEATING	 23 SEATING	 69 STANDING
TOTAL OCC.	85	131	78	187	233
	PROPOSED BASELINE	PROPOSED ALTERNATIVES		ALLOWED MAX	

1 SEATING DIAGRAM
3/16" = 1'-0"

516 LA COSTA

Case No. 18-188 DR/MUP/CDP

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DRAWINGS PREPARED BY:
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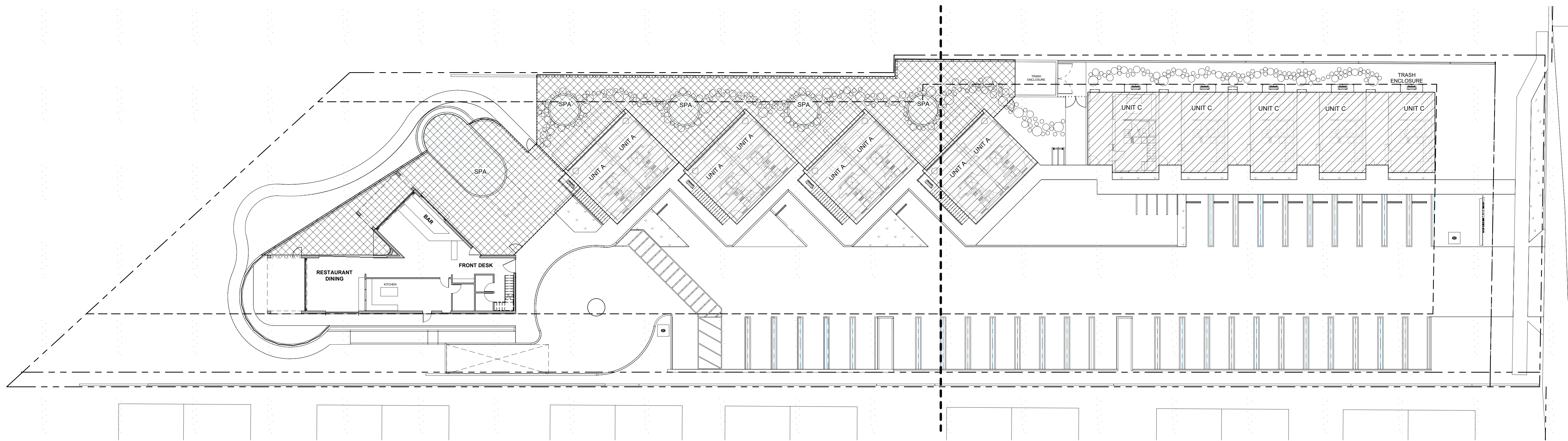
SHEET TITLE
SEATING DIAGRAM

SHEET NUMBER

A10.4

PROJECT NO.		
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DATE:	02/16/2021	
REVISIONS:		
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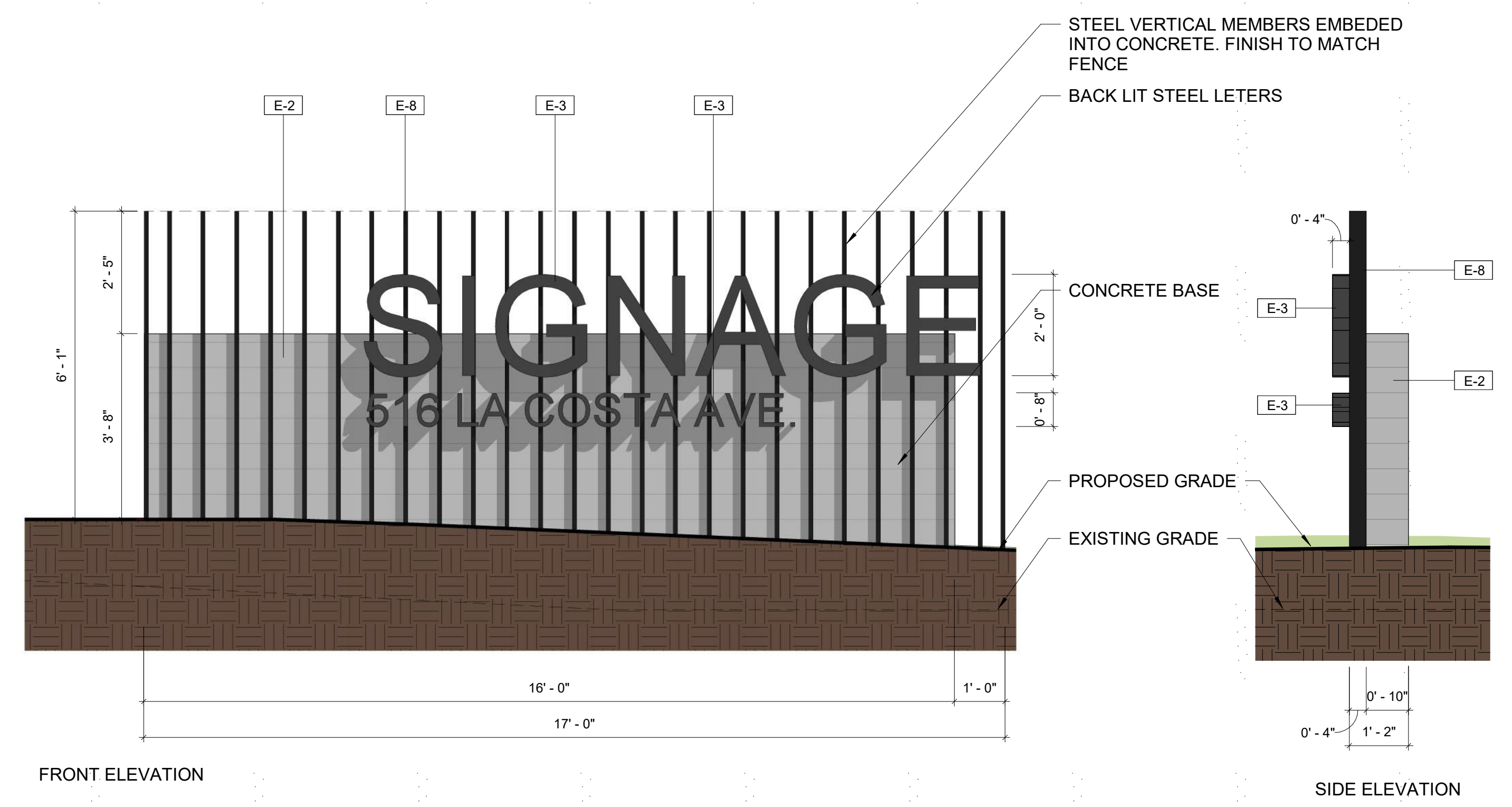


LA COSTA AVE.

LEGEND

- HOTEL KEY ACCESS ONLY
- HOTEL AMENITY KEY ACCESS ONLY

1 KEY ACCESS AREAS
 1/16" = 1'-0"



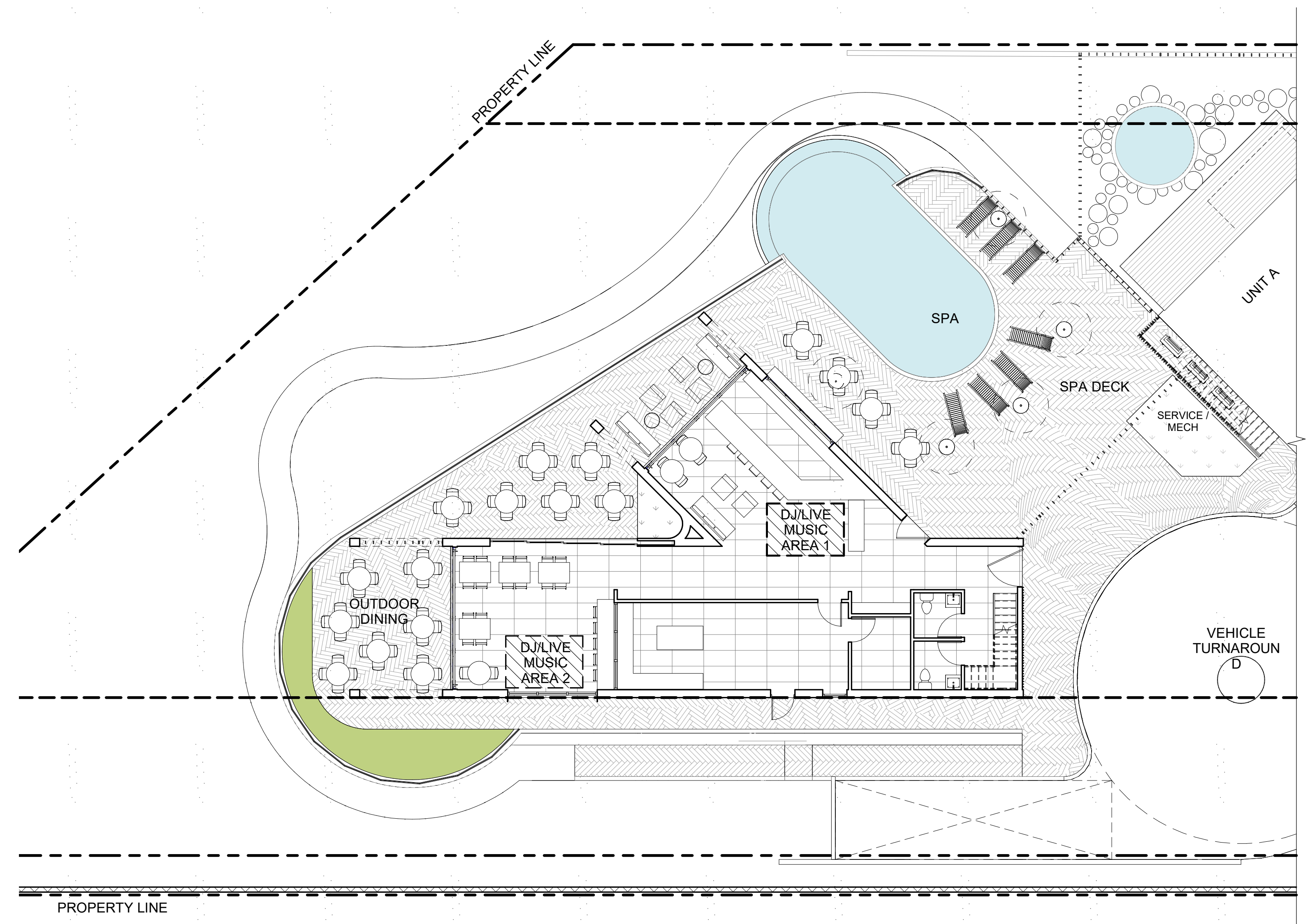
2 MONUMENT SIGNAGE
 1/2" = 1'-0"

MATERIAL LEGEND

- E-1 EXTERIOR METAL WALL/ROOF CLADDING
- E-2 CONCRETE CLADDING. COLOR: GREY
- E-3 EXTERIOR METAL WALL PANEL/BREAK METAL. PAINTED BLACK
- E-4 NATURAL WOOD ELEMENTS. STAINED: ANTIQUE OAK
- E-5 EXPOSED CMU. BOND STACK. COLOR: NATURAL WITH PUMICE (WARM TONE)
- E-6 CONCRETE RETAINING WALL WARM COLOR FINISH
- E-7 STEEL FACIA/STRINGER. PAINTED BLACK
- E-8 STEEL FENCE. PAINTED BLACK
- FL-1 CONCRETE PERVIOUS PAVERS
- FL-3 EXTERIOR WOOD FLOORING

SIGNAGE AREA CALCULATION

LOT STREET FRONTAGE = 114 LF
 ALLOWABLE SIGNAGE AREA = 114 SF
 PROPOSED SIGNAGE AREA = 111 SF



NOTE: ONLY ONE MUSIC AREA IS TO BE USED AT A TIME

3 RESTAURANT LIVE MUSIC DIAGRAM
 1" = 10'-0"

PROJECT NO.
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

SHEET TITLE
 SIGNAGE

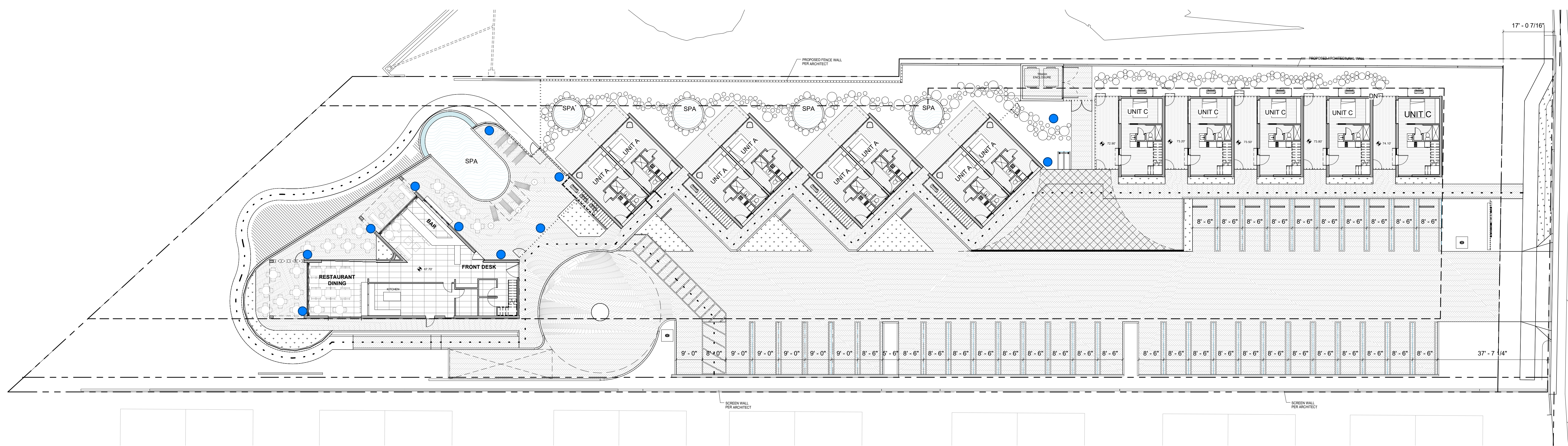
SHEET NUMBER

A10.5

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PROJECT NO.	-	
DRAWN BY:	TBS	
CHECKED BY:	COE	
DATE:	02/16/2021	
REVISIONS:		
1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

THE BROWN STUDIO INC.
 1144 N. COGUE HWY. #101
 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com




LA COSTA AVE.

1 LEVEL 1 - FLOOR PLAN - OUTDOOR SPEAKERS
 1/16" = 1'-0"

516 LA COSTA
 Case No. 18-188 DR/MUP/CDP

LEGEND

 OUTDOOR SPEAKER LOCATIONS

NOTES

PROJECT NO. -
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

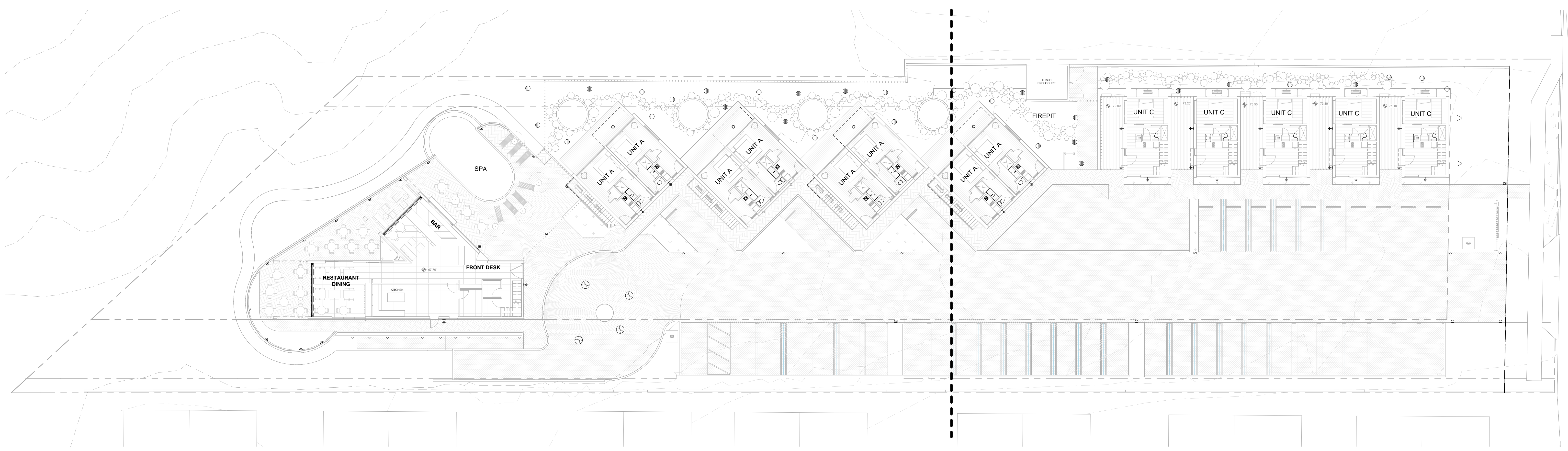
SHEET TITLE
 OUTDOOR SPEAKERS

SHEET NUMBER
 A10.6

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PROJECT NO.	-	
DRAWN BY:	Designer	
CHECKED BY:	Checker	
DATE:	02/16/2021	
REVISIONS:		
1	03/16/2020	CDP-SUB 2
2	02/16/2020	CDP-SUB 3
3	08/03/2021	CDP-SUB 4

THE BROWN STUDIO INC.
 1144 N. COGGS HWY. #101
 ENCINITAS, CA 92024
 619.577.4610 lindsay@thebrownstudio.com



LA COSTA AVE.

1 LEVEL 1 - EXTERIOR LIGHTING PLAN
 1/16" = 1'-0"

516 LA COSTA
 Case No. 18-188 DR/MUP/CDP

LIGHTING LEGEND

- LANDSCAPE LIGHTS
- BOLLARD
- FLOOR LIGHTS
- STEP LIGHTS
- WALL SCONCE
- EXTERIOR RECESSED CAN LIGHT
- LANDSCAPE FLOOD LIGHT
- HANGING TREE LIGHT

SAMPLE LIGHT IMAGES

PROJECT NO. -
 DRAWINGS PREPARED BY:
 LINDSAY BROWN

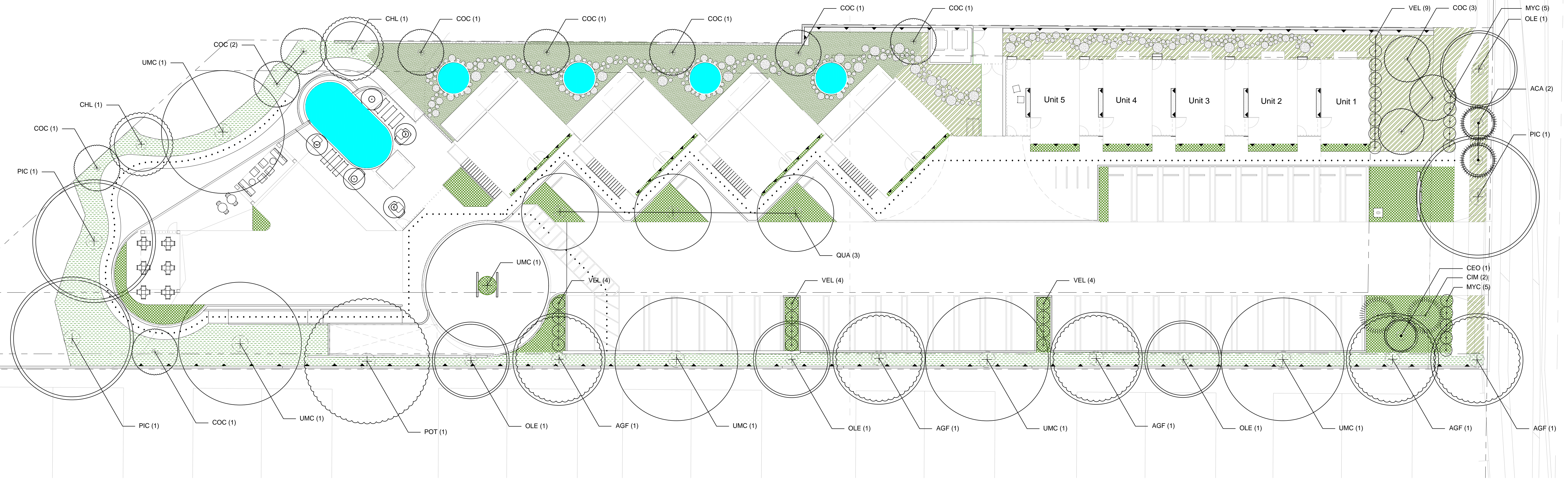
SHEET TITLE
 EXTERIOR LIGHTING PLAN

SHEET NUMBER

E1.0

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PLANT LIST

DECIDUOUS / ORNAMENTAL TREES										
ABB.	BOTANIC	COMMON	SPACING	TYPE	SPREAD / CANOPY	WUCOLS RATING	QTY	NOTES		
COC	<i>Cercis occidentalis</i>	Western Redbud	as shown	15 Gal.	15'-20'	Low	12	Native		
CIM	<i>Citrus x meyeri</i>	Meyer Lemon	as shown	15 Gal.	10'-12'	Medium	2	Ornamental Lemon Tree for Visual Interest & Agricultural Flair		
CEO	<i>Citrus x latifolia</i>	Bearsse Lime	as shown	15 Gal.	10'-20'	Medium	1	Ornamental Lime Tree for Visual Interest & Agricultural Flair		
POT	<i>Populus trichocarpa</i>	Black Cottonwood	as shown	25 Gal.	40'-75'	Low	1	Native		
CHL	<i>Chilopsis linearis</i>	Desert Willow	as shown	25 Gal.	15'-20'	Low	2	Native		

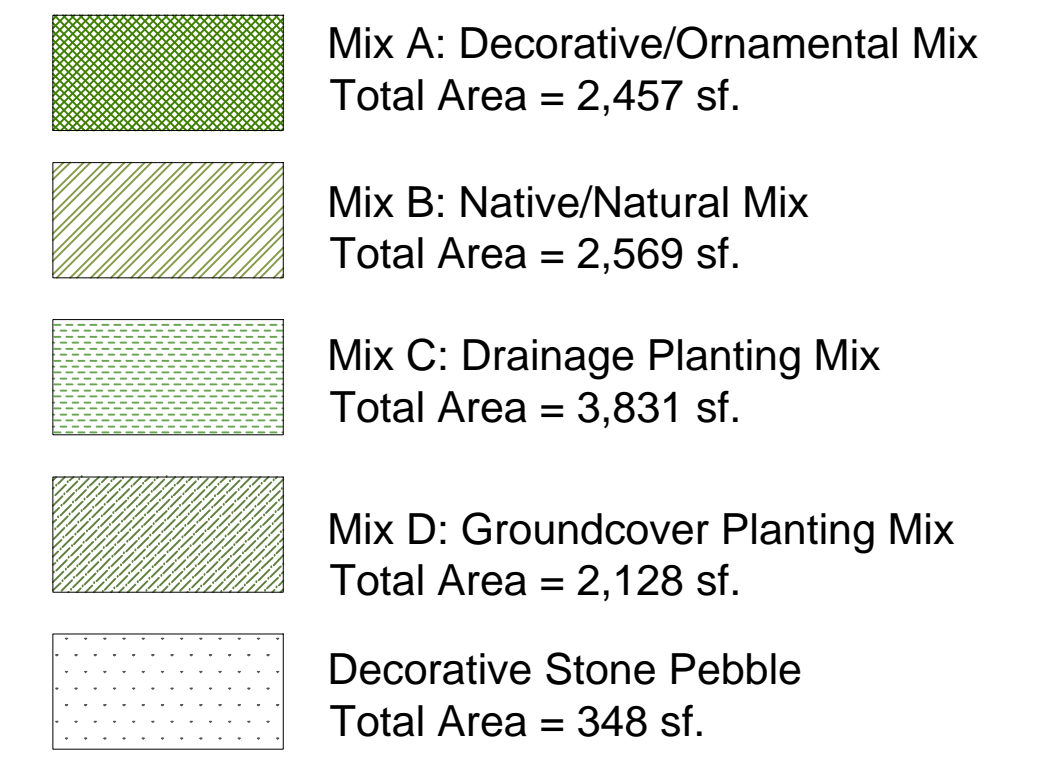
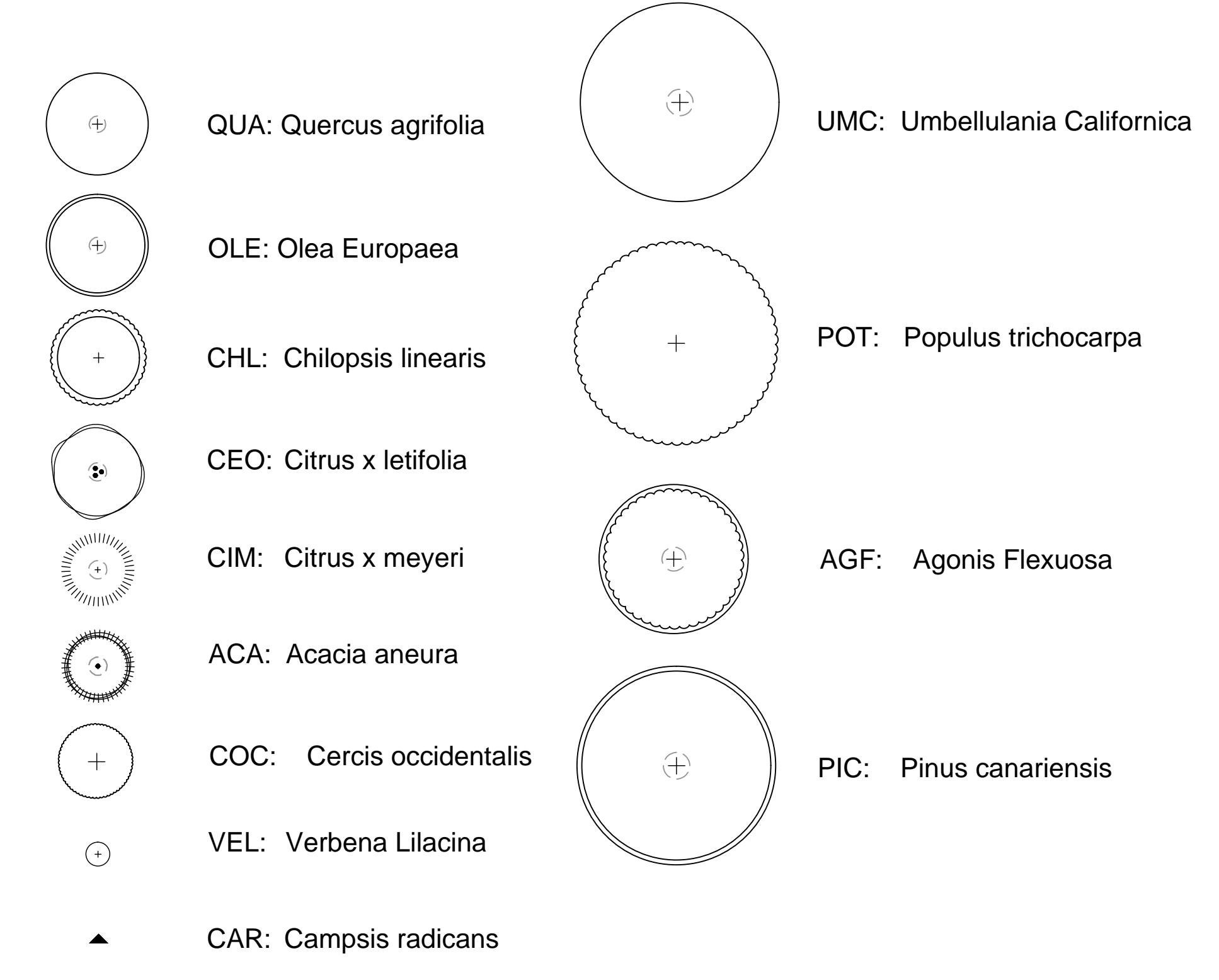
EVERGREEN TREES										
ABB.	BOTANIC	COMMON	SPACING	TYPE	SPREAD / CANOPY	WUCOLS RATING	QTY	NOTES		
ACA	<i>Acacia aneura</i>	Mulga Tree	as shown	15 Gal.	12'-16'	Low	2	Native/Natural Evergreen Shade Tree		
OLE	<i>Olea europaea</i>	European Olive Tree	as shown	24" Box	20'-30'	Low	4	Chose Specimens with Higher Canopy		
UMC	<i>Umbellularia californica</i>	California Laurel Tree	as shown	24" Box	35'-45'	Low	6	Native		
AGF	<i>Agonis flexuosa</i>	Peppermint Tree	as shown	25 Gal.	15'-20'	Low	5	Native		
QUA	<i>Quercus agrifolia</i>	Coast Live Oak	as shown	25 Gal.	20'-30'	Very Low	3	Native		
PIC	<i>Pinus canariensis</i>	Canary Island Pine	as shown	25 Gal.	25'-35'	Low	3	Native		

SHRUBS										
ABB.	BOTANIC	COMMON	SPACING	TYPE	SPREAD / CANOPY	WUCOLS RATING	QTY	NOTES		
MYC	<i>Myrica californica</i>	California Wax Myrtle	as shown	7 Gal.	4'-5'	Low	10	Native.		
VEL	<i>Verbena lilacina</i>	Lilac Verbena	as shown	7 Gal.	3'-4'	Low	21	Used as Hedge Plant. Produces Fragrant Flowers. Native.		

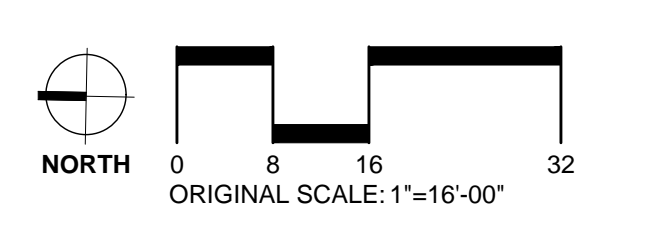
VINE										
ABB.	BOTANIC	COMMON	SPACING	TYPE	SPREAD / CANOPY	WUCOLS RATING	QTY	NOTES		
CAR	<i>Campsis radicans</i>	Trumpet Vine	as shown	3 Gal.	10'-20'	Low	85	Full Vine with Trumpet Shaped Flowers		

PERENNIAL/GRASS MIXES										
ABB.	BOTANIC	COMMON	SPACING	TYPE	SPREAD / CANOPY	WULCLS RATING	QTY	% OF MIX	TOTAL AREA	NOTES
MIX A	Decorative/Ornamental Mix									
	<i>Epilobium californicum</i>	California Fuchsia	48" o.c.	1 Gal.	3'-4'	Very Low	184	30%	2457	Native
	<i>Festuca glauca</i>	Blue Fescue	24" o.c.	1 Gal.	1'-2'	Low	307	25%	2457	
	<i>Euphorbia tirucalli</i>	Firestick Cactus	60" o.c.	1 Gal.	4'-6'	Very Low	49	10%	2457	
	<i>Tulbaghia violacea</i>	Society Garlic	30" o.c.	1 Gal.	2'	Low	344	35%	2457	
MIX B	Native/Natural Mix									
	<i>Mimulus aurantiacus var. puniceus</i>	Red Monkey Flower	24" o.c.	1 Gal.	1'-4'	Very Low	128	10%	2569	Native
	<i>Stipa pulchra</i>	Purple Needlegrass	18" o.c.	1 Gal.	1'	Low	257	15%	2569	Native
	<i>Eriophyllum confertiflorum</i>	Golden Yarrow	18" o.c.	1 Gal.	1'-2'	Very Low	428	25%	2569	Native
	<i>Arctostaphylos Edmondsii 'carmel sur'</i>	Manzanita	6" o.c.	4" Pot	6"	Low	514	10%	2569	Native
	<i>Aster chilensis</i>	California Aster	18" o.c.	1 Gal.	1'	Low	685	40%	2569	Native
MIX C	Drainage Planting Mix									
	<i>Carex tumulicola</i>	Berkeley Sedge	24" o.c.	1 Gal.	1'-2'	Low	766	40%	3831	Native
	<i>Festuca rubra 'Molate'</i>	Molate Red Fescue	12" o.c.	1 Gal.	8"-12"	Low	383	20%	3831	Native
	<i>Iris douglasiana</i>	Douglas Iris	24" o.c.	1 Gal.	1'-2'	Low	766	40%	3831	
MIX D	Groundcover Planting Mix									
	<i>Salvia sonomensis</i>	Sonoma Sage	60" o.c.	1 Gal.	5'-15'	Low	213	30%	2128	Native
	<i>Sedum rupestre 'Angelina'</i>	Angelina Stone Crop	24" o.c.	1 Gal.	2'-3'	Low	426	40%	2128	Native
	<i>Symphoricarpos mollis</i>	Creeping Snowberry	36" o.c.	1 Gal.	3'-4'	Low	213	30%	2128	Native

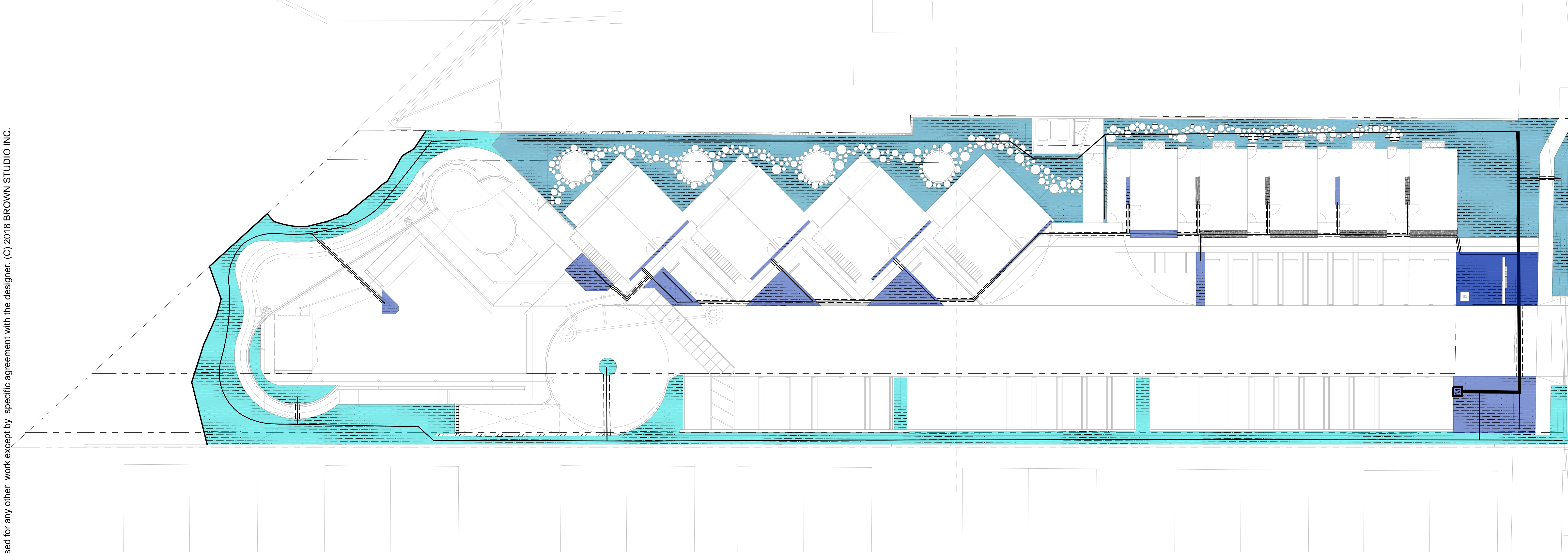
PLANT SYMBOL LEGEND



TOTAL LANDSCAPE AREA = 10,952 sf.
 LANDSCAPE AREA AS PERCENTAGE OF SITE = 21%
 TOTAL NATIVE LANDSCAPE AREA = 6,995 sf.
 NATIVE LANDSCAPE AREA AS PERCENTAGE OF TOTAL LANDSCAPE AREA= 64%



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IRRIGATION LEGEND

- M Point of Connection
- Irrigation Mainline
- Irrigation Lateral Line
- - - Irrigation Sleeve
- Drip Irrigation

HYDROZONES

- HYDROZONE 1

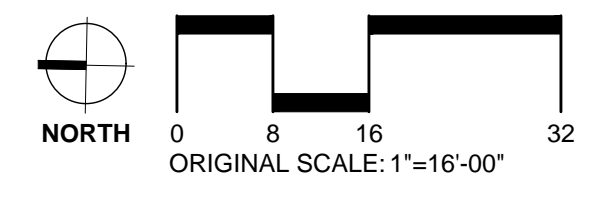
1 Total Area = 4,428 sf.

- HYDROZONE 2

2 Total Area = 4,891 sf.

- HYDROZONE 3

3 Total Area = 2,015 sf.



PROJECT NO.	Project Number
DRAWN BY:	Designer
CHECKED BY:	Checker
DATE:	06/15/2021

REVISIONS:

THE BROWN STUDIO INC.
 1650 B N C O A V E N U E
 E R C I N I T A S C A 9 2 2 4
 819.577.4610 lindsay@thebrownstudio.com

516 LA COSTA
 PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO.	Project Number
DRAWINGS PREPARED BY:	
BEN ROUSH XIAOJIAN FAN ISABELLA WELCH	

SHEET TITLE
 PROPOSED IRRIGATION PLAN

SHEET NUMBER
L2