

**INITIAL STUDY/MITIGATED NEGATIVE DECLARATION FOR A
41,472 SQAURE FOOT COMMERCIAL CANNABIS CULTIVATION
FACILITY, LOCATED NORTH OF LINDBERGH BOULEVARD
ALONG CURTISS PLACE, CALIFORNIA CITY, CALIFORNIA
(APN: 216-18-018)**

I. Purpose and Authority

Project Description:

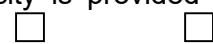
This Initial Study has been prepared to construct a commercial cannabis cultivation and manufacturing facility in accordance with adopted City Ordinances pertaining to the location and regulation of cannabis cultivation. The City of California City zones the subject property as Light Industrial (M-1), which authorizes a commercial cannabis cultivation facility, pursuant to the codified California City Municipal Code as Title 9, Chapter 2, Articles 21 and 29, and Title 5, Chapter 6, of the same. The Project is only subject to a site plan review and building permit, as applicable; however, the use requires the preparation of an Initial Study to review, analyze and evaluate the possible effects resulting upon the surrounding environment. The types of uses, authorized in the M-1 zone include commercial cannabis cultivation, distribution, manufacturing, testing, and ancillary uses necessary thereto. These facilities are subject to all State Law and regulations including the California Code of Regulations, Title 4, Division 19, Department of Cannabis Control.

The City of California City allows commercial cannabis cultivation, manufacturing, distribution, and testing facilities, as a permitted use on property zoned M-1 – Light Industrial. Commercial cannabis cultivation shall be permitted, in accordance with the criteria and procedures set forth Title 5, Chapter 6 of the California City Municipal Code and upon application and approval of a regulatory permit pertaining to operation of the facility including the duty to obtain any, and all, required state licenses. The proposed project is in M-1 – Light Industrial, which currently authorizes commercial cannabis cultivation with the approval of a Site Plan Review (SPR). All cannabis related activities are only permitted in the interior of enclosed structures, facilities, and buildings.

The project proposes to develop a 41,472 square foot (“SF”) cannabis facility (“Project”) on an approximately 1.76-acre of vacant land, or about 76,665 SF, within the City of California City. The subject parcel is located westerly of Mitchell Boulevard and north of Lindbergh Boulevard, approximately 1.58 miles north of California City Boulevard, which is generally considered the north-westerly portion of California City. More specifically, the project site is located where Olson Street meets Curtiss Place and is identified by Assessor’s Parcel Number (APN) 216-180-018.

The Project proposes to construct up to 12 agricultural buildings, or greenhouses, with a maximum floor space of 41,472 SF for the cultivation of commercial cannabis consistent with state and local regulations. The greenhouses consist of interlocking bays that are approximately 24 feet wide, 144 feet long, and 21 feet high. The greenhouses are “pre-engineered” and will be assembled on-site and on permanent foundations. The project will include access improvements that include an all-weather driving surface, a fire department turnaround, security gate and sally port, and 20 parking spaces. The Project also includes eight-foot perimeter fencing and on-site landscaping and irrigation.

The Project site is surrounded by industrial and manufacturing development (M-1 zoning) to the north, south, east, and west, including the California City Municipal Airport to the north. The project site is not located within 200-feet of a residential area. The project site is served by sewer, water, and power. Water and sewer are provided by the City of California City. Electricity is provided by Southern California Edison.



A. Type of Project: Site Specific ; Citywide ; Community ; Policy .

B. Total Project Area: 1.76 acres (76,665 SF)

Residential Acres: 0	Lots: 0	Units: 0	Projected No. of Residents: 0
Commercial Acres: 0	Lots: 0	Sq. Ft. of Bldg. Area: 0	Est. No. of Employees: 0
Industrial Acres: 1.76	Lots: 1	Sq. Ft. of Bldg. Area: 41,472 SF,	Est. No. of Employees (Reg): 4
Other: N/A			Est. No. of Employees (Harvest): 6

C. Assessor's Parcel No(s): 218-180-018

D. Street References: Westerly of Mitchell Blvd Ave., northerly of Lindbergh Blvd., where Curtiss Pl. meets Olson St.

Brief description of the existing environmental setting of the Project site and its surroundings:

The project site is approximately 1.76 gross acres, is located within an existing and planned industrial and manufacturing area of the City, and is adjacent to other developed parcels with commercial and industrial buildings. The physical development of the project site, and the adjacent public Rights-of-Way (R/W), will be improved in an effort to eliminate geometric, sharp or dangerous turning movement and roadway safety issues of concern; which include, but are not limited to unsafe or dangerous road conditions, sub-standard circulation patterns and traffic geometrics, frequent dust pollution; and other similar considerations through the implementation standard development-related Conditions of Approval (COAs) and compliance with the California City Municipal Code (CCMC). Based upon the infill nature of the property, combined with a relatively low development footprint, the Project does not have the potential to create an adverse environmental impact related to City code permitted noise levels, the existing air quality levels, and/or the quality of the City's water and sewer system.

The following reports and/or studies are applicable to development of the project site and hereby incorporated by reference:

- *City of California City Final General Plan 2009-2028, City of California City, originally approved October 6, 2009 (City of California City 2009)*
- *City of California City Draft Environmental Impact Report on the Redevelopment Plan for the California City Redevelopment Plan (1998)*
- *City of California City Final General Plan 2009-2028 Initial Study and Mitigated Negative Declaration (SCH#1992062069)*
- *City of California City Final Environmental Impact Report on the Redevelopment Plan from the California City Redevelopment Plan (SCH#8715918)*
- *City of California City Local Agency Management Plan. Onsite Wastewater Treatment System, California City, California. Regional Water Quality Control Board Lahontan Region 6. January 2018.*
- *CalEEMod Version: CalEEMod.2020.4.0. <https://www.caleemod.com/>*
- *Kern County Airport Land Use Compatibility Plan. November 13, 2012.*
- *Project Materials. Friedman Architects and Decloet. 2021.*
- *RCA Associates, Inc. General Biological Resources Assessment. March 29, 2022. California City, Kern County, California, APN 216-180-018*

This document has been prepared in accordance with the California Environmental Quality Act (CEQA), Public Resources Code Section 23000 et. seq. The City of California City will serve as the lead agency pursuant to CEQA.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** M-1 (Light Industrial Zoning District)
2. **Circulation:** Curtiss Place will provide the primary point of ingress and egress. Curtiss Place and Olson Street are the adjacent roadways that provide publicly dedicated services to the project. In order to facilitate circulation, throughout the project site, and accommodate secondary access, required per the City's codified fire code, the City will require the dedication and improvement of a commercial driveway approach which will extend from Curtiss Place from the west. This driveway will be a 32-foot private access easement that traverses from west to east along the southern boundary of the project site.
3. **Multipurpose Open Space:** The project is located within an existing and planned industrial area of California City. The project will not create a need for additional open space and/or active park recreational facilities. Furthermore, the Project does not preclude or remove any active parkland and/or passive open space, trails, bike paths, or other similar facilities.
4. **Safety:** The project is not located upon, or within, an area of hazardous materials as detailed within the applicable state and federal resource maps. The Project is located within the Sphere of Influence (SOI) or Airport Influence Area (AIA) of the California City Municipal Airport. However, the Project is consistent with the requirements and policies of the Kern County Airport Land Use Compatibility Plan (ALUCP) and will not impact airport operations in any manner. The Project will not create any dangerous or hazardous circulation geometrics which would cause a concern for the motoring public.
5. **Noise:** The Project is located within a planned industrial area of the City where the majority of ambient noise generation is caused by the Average Daily Trips (ADT) associated with vehicle traffic trips occurring along Lindbergh, and noise associated with the activities occurring at the California City Municipal Airport.
6. **Housing:** The Project is located on vacant land, within the M-1 (Light Industrial Zoning District), and does not propose to remove or displace any housing, of any type on, or adjacent to the Project boundaries, as no dwelling units exist either on the Project site or adjacent to the Project site. The Project site is surrounded by industrial areas (M-1 zoning district). To the north and east is a warehouse and the airport, respectively; to the west are warehouses; and to the south is vacant land. The Project is subject to City ordinance which requires all cultivation buildings shall be located at least 200-feet from existing residential property; however, no residential zoning currently exists, and no residential zoning is proposed on the surrounding parcels. The nearest residential zoning (R-1) is located approximately 1,700 linear feet to the southeast of the Project site. The Project will comply with the City's distance requirements.
7. **Air Quality:** The Project will not substantially increase the baseline air quality emissions resulting from either the construction or operations of the cannabis cultivation and manufacturing facility. The Project is not anticipated to produce pollutants of concern in excess of SCAQMD thresholds for elements such as NO_x; SO_x; or O₃. The Project may require the use of generators (powered by either gas or diesel fuel) during construction and/or initial operations. Generators shall be certified by the California Air Resources Board (CARB) and obtain a permit from the East Kern Air Pollution Control District (EKAPCD), as

applicable. Southern California Edison currently provides the project site with permanent power service.

8. Healthy Communities: The Project does not contribute and will not impede or impact aspects of the City's Healthy Community strategies. The City's Health Communities goals include, but are not limited to, decreasing the total Vehicle Miles Traveled (VMT); which in turn reduces emissions (having a positive benefit upon public health); increases in transit ridership; and expansion of healthy grocery items, including Certified Farmer's Markets and other similar opportunities.

B. General Plan Area Plan(s): M-1 (Light Industrial Zoning District)

C. Land Use Designation(s): Land Use Policy 1.2

D. Overlay(s), if any: N/A

E. Policy Area(s), if any: N/A

F. Adjacent and Surrounding:

1. **Land Use Designation(s):** Land Use Policy 1.2

2. **Overlay(s), if any:** N/A

3. **Policy Area(s), if any:** N/A

G. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

H. Existing Zoning: M-1 (Light Industrial Zoning District)

I. Proposed Zoning, if any: N/A

J. Adjacent and Surrounding Zoning: M-1 (Light Industrial Zoning District) located to the north, south, east, and west.



Figure 1. Vicinity map – approximate location of the project site as depicted on excerpt from USGS Quadrangle, Mojave NE, California – Kern Co., 7.5 Minute Series, 1994.



Figure 2. Aerial view of the project site and surrounding area,

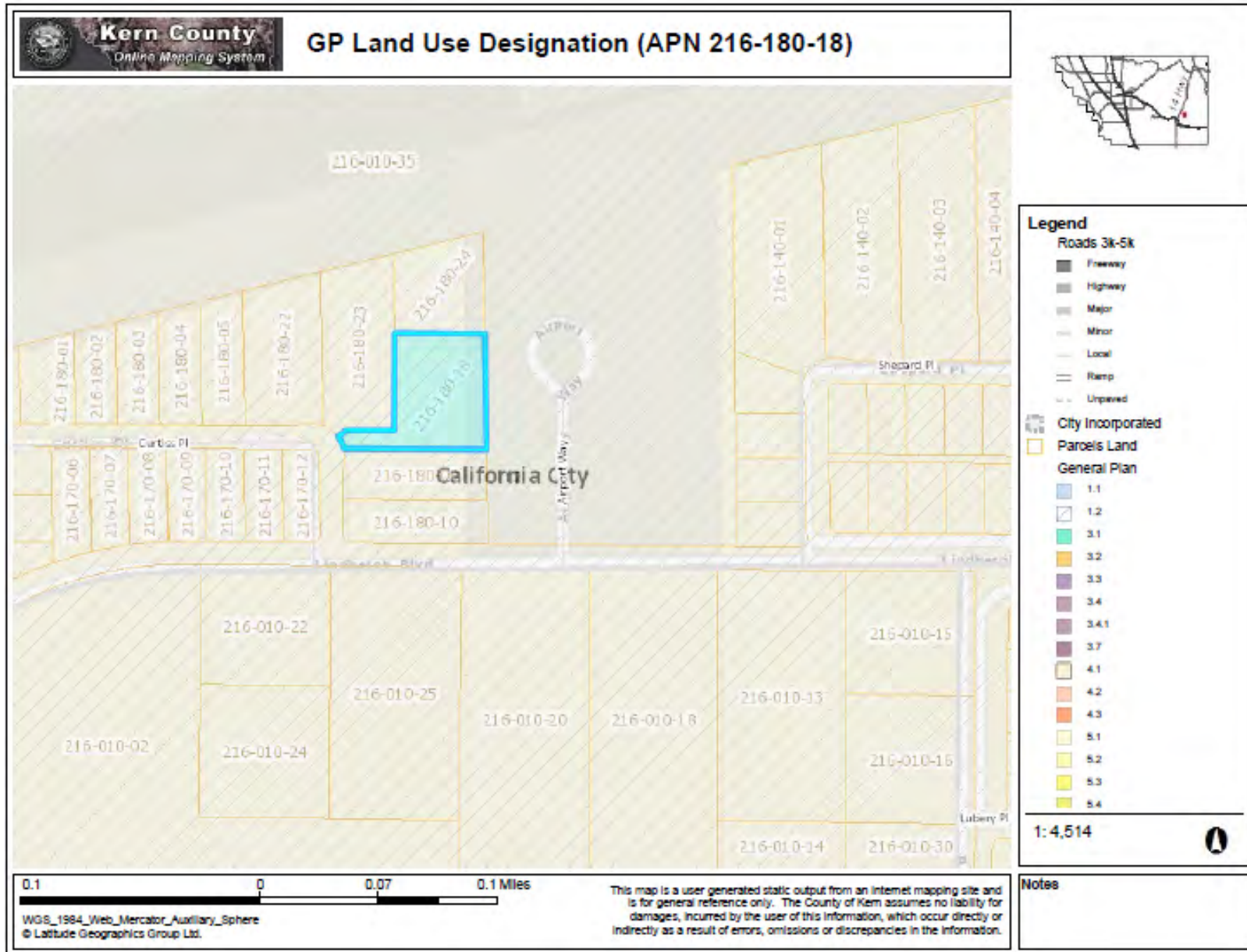


Figure 3. Kern County General Plan Land Use Policy Designation – the project site is in an incorporated area (California City), which is subject to Land Use Policy 1.2.

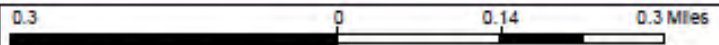
ZONING MAP - M1 LIGHT INDUSTRIAL



Legend

- Townships
- Sections
- Roads 5k-10k**
- Freeway
- Highway
- Major
- Minor
- Local
- Ramp
- Unpaved
- City Incorporated
- Parcels Land
- Zoning CalCity**
- C1
- C2
- C3
- C4
- C5
- CMC
- G
- M1
- M2
- ORA
- R1
- R2
- R3

1: 9,028



WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for general reference only. The County of Kern assumes no liability for damages, incurred by the user of this information, which occur directly or indirectly as a result of errors, omissions or discrepancies in the information.

Notes

Figure 4. California City Zoning Map – the project site is zoned M-1 Light Industrial

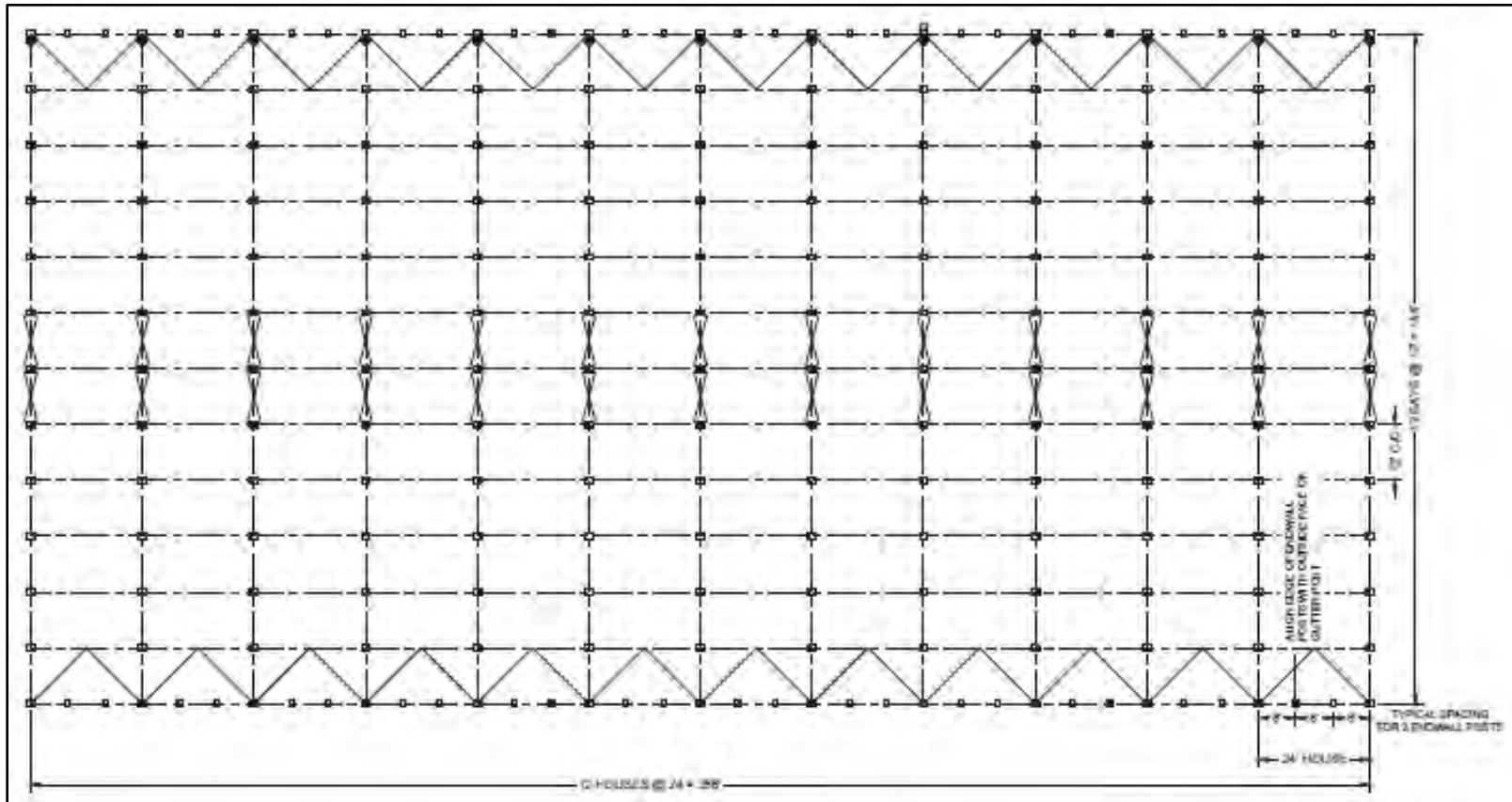


Figure 6. Floor plan layout of the proposed greenhouses.

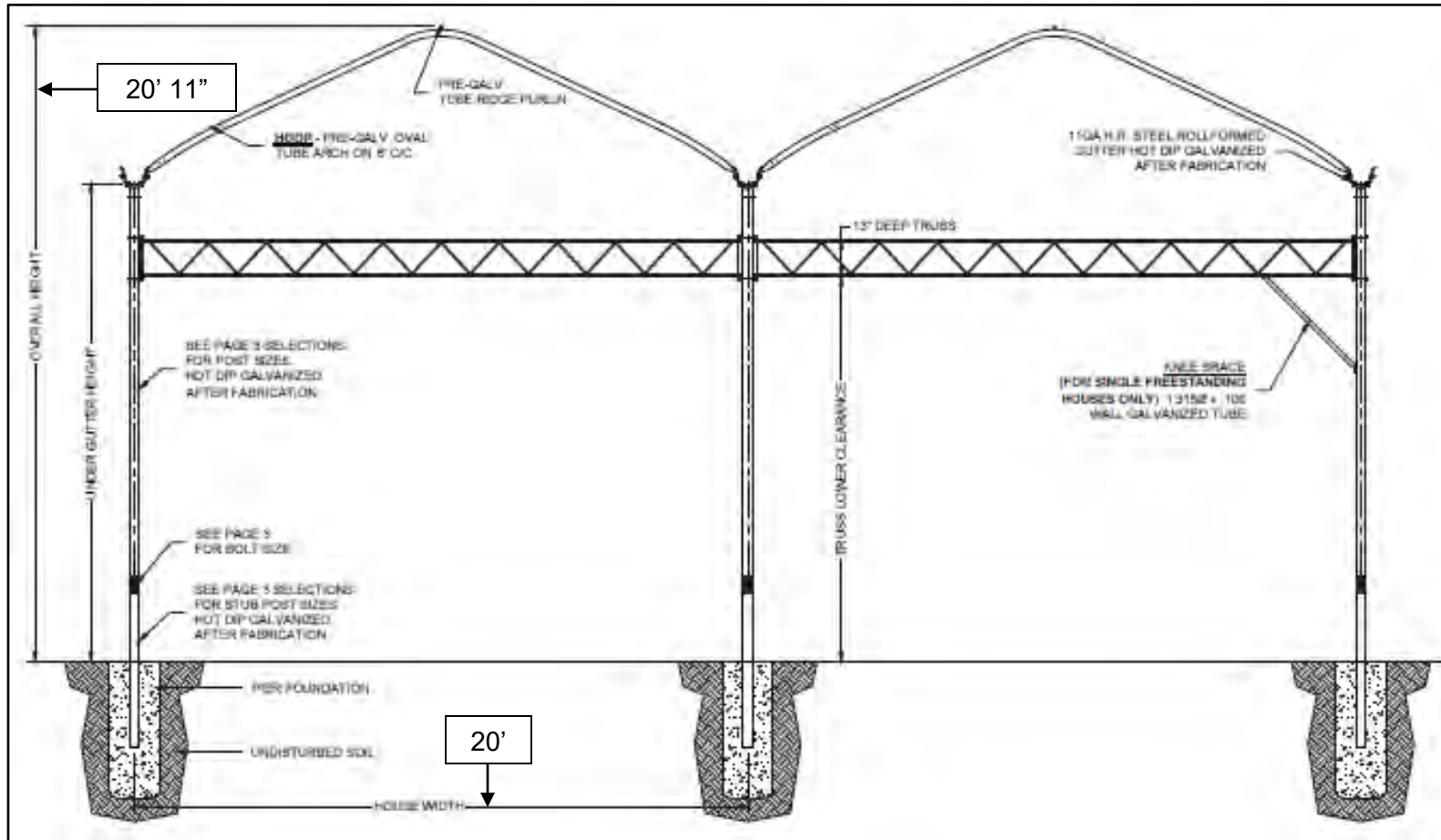


Figure 7. Proposed greenhouse elevation.



Figure 8. Site photograph looking north from center of the site.



Figure 9. Site photograph looking east from center of the site.



Figure 10. Site photograph looking south from center of the site.



Figure 11. Site photograph looking west from center of the site.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this Project, involving at least one impact that is a “Potentially Significant Impact” or “Less than Significant with Mitigation Incorporated” as indicated by the checklist on the following pages.

- | | | |
|--|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed Project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/> I find that although the proposed Project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the Project, described in this document, have been made or agreed to by the Project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed Project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/> I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15212 exist. An ADDENDUM to a previously certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

<input type="checkbox"/> I find that at least one of the conditions described in California Code of Regulations, Section 15212 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the Project in the changed situation; therefore, a SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT is required that need only contain the information necessary to make the previous EIR adequate for the Project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15212, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the Project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the Project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The Project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the Project, but the Project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the Project on the environment, but the Project proponents decline to adopt the mitigation measures or alternatives.



April 19, 2022

Signature

Date

Eric Hughes

On behalf of the City of California City

Printed Name

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 250-21178.1), this Initial Study has been prepared to analyze the proposed Project to determine any potential significant impacts upon the environment that would result from construction and implementation of the Project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, City of California, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed Project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed Project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the Project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials.

Findings of Fact: According to the California City General Plan, the City is located within the Mojave Desert, which is characterized by gentle rolling ground surfaces, with low to moderate topographical relief across the desert floor. The immediate vicinity surrounding the Project consists of moderately sloping alluvial plains with a series of steep rock buttes and several arroyos, including Cache Creek, which lies approximately 3.7-miles south of the Project site; The City is encompassed by the San Gabriel Mountains to the south, Tehachapi Mountains to the west, and the Rand Mountains to the north which create various scenic vistas throughout California City (California City General Plan, 2009).

The adjacent parcels north, east, and west of the Project site are developed with warehouses and airport uses. The parcel to the south is currently vacant and undisturbed with scattered vegetation. From the Project site, views of the Tehachapi Mountains to the west are the most prominent but will not be obscured by the proposed height or massing of the proposed buildings.

The Project proposes to develop a 41,472 SF cannabis cultivation facility. The building construction type, architectural style, and massing, as well as the proposed building elevations, materials, roof pitch will conform and be consistent with the theme and style of surrounding parcels and the general environment of the surrounding area.

According to the California Scenic Highway Mapping System, the two closest State highways, being Kern County Highways 14 and 58, are not designated as State Scenic Highways. However, these same highways are listed as Eligible State Scenic Highways, yet not official designated as such and are

located several miles from the Project site to be substantially impacted in any manner.

The Project shall comply with the standards outlined within the California City General Plan and Municipal Code Zoning Classification of M-1 (Light Industrial Zoning District), respectfully, as well as the regulations set forth in the City ordinance for a cannabis cultivation facility. The Project is required to go through a Site Plan Review process, which is administered by the City, as part of the development process, in which the proposed site design will be reviewed by the Community Development Department. The Site Plan Review process includes the installation of landscaping within the Project site which provides enhancement to the surrounding character of the Project site. The Project already proposes landscaping as can be seen in Figure 5 and the site plans attached to this document. The Project's compliance with these standards ensures that impacts effecting the existing visual character or quality of the site and its surroundings are less than significant.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

2. Nighttime Lighting Interference	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Interfere with the nighttime observance of stellar activities, as protected through City Ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials.

Findings of Fact: The project is proposed within the M-1 (Light Industrial Zoning District) where the current sources of light are attributed to the existing industrial facilities and airport to the north and east. These current sources of light include illumination from vehicular traffic in the area, existing lighting fixtures above building entrances, in parking lots, around existing signage, and for airport safety. The public street, adjacent to the Project site, does not contain any existing traffic signals or streetlamps. No additional sources of lighting exist that could impact the project. All lighting fixtures associated with the Project will be stationary, directed downward, and shielded to prevent light spillage on adjacent properties. Therefore, the project will have a less than significant impact.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

3. Other Lighting Issues	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials.

Findings of Fact: The California City Municipal Code requires that signage shall not be directly illuminated, internally or externally, except the name and address of the business may be illuminated at night (Municipal Code Section 5-6.1301). These standards will ensure the amount of lighting that is created from the project site does not substantially affect the surrounding area. Additionally, the General Plan requires that all lighting be fully shielded and pointed downward, and that security lighting be on a timer and/or motion activated.

The Project is located adjacent to existing industrial uses and the airport. As such, many of the buildings have rooftops with a metal or white color. Additionally, these uses have existing lighting fixtures above building entrances, in parking lots, around existing signage, and for airport safety. The Project is not located adjacent to, or within the vicinity of, a residential property or use.

Pertaining to daytime glare, the Project will construct prefabricated greenhouses that have clear, yet opaque, roofs and walls. The opaque properties of the greenhouses minimize glint-and-glare, and the Project does not involve building materials with highly reflective properties that would disrupt daytime views. Therefore, the Project and proposed use will not substantially increase glint, glare, or daytime light pollution given the type of structure, small size of the property, the relatively small footprint or the use, and the minimum amount of lighting required in the day.

As for nighttime views and glare, the Project does not propose illuminated signage. The Project will need lighting for the purposes of security, and security lighting will be motion activated, put on a timer, and shall otherwise comply with City standards regarding lighting and glare in industrial facilities and M-1 zones (i.e., shielded, and downcast). The Project will also use supplemental lighting inside the greenhouses for cultivation activities. However, the lights will be downcast and shielded, and blackout curtains will be installed to prevent light from escaping outside the facility during the hours of sunrise to sunset. With the implementation of City standards for lighting and glare, and the implementation of blackout tarps within the greenhouses, the Project will have a less than significant impact.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

AGRICULTURE & FOREST RESOURCES Would the Project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a County or City designated Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Kern County GIS Resources: (SoilWeb An Online Soil Survey Browser California Soil Resource Lab, Williamson Act Ag Preserve Parcels, & DLRP Important Farmland Finder); Project Materials.

Findings of Fact: The proposed Project is located on and surrounded by land zoned M-1 Light Industrial Zoning District. The Project will not disturb or convert any designated farmland or other form of agricultural resource. According to the 2021 California Farmland Mapping and Monitoring Program, the property is designated as "other lands". The subject site and surrounding land to the north, east, and south are not categorized as Prime Farmland, Unique Farmland, or Farmland of local statewide importance, and are categorized and "vacant or disturbed." According to the California Department of Conservation – Important Farmland Finder, parcels located within the existing open space zoning and to generally to the west of the Project site are designated as "non-agricultural or natural vegetation," and no farmland currently exists or has been present for some time. In addition, these parcels are not located within property that is designated as a Williamson Act property, as such no impacts are expected. The Project site is not located in an existing zone for agricultural use or classified as farmland. According to the Williamson Act records, no portion of land within a one-mile radius is recognized as being under a Williamson Act Contract. The proposed Project will not impact or remove land from the City or County's agricultural zoning or agricultural reserve. No impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 5154(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials.

Findings of Fact: The Project is located within an existing urbanizing desert environment that is currently zoned for industrial uses. The Project site, and the surrounding vicinity, does not contain any forest land, timberland or Timberland Production Zones (TPZ) that have occurred or will occur on the Project site or in the surrounding area because forest vegetation is not characteristic of the Eastern Kern County desert environment. No impacts are anticipated. No impacts are anticipated.

As previously described, the Project site and vicinity are designated by the California City General Plan and Zoning map as M-1 Light Industrial and Research. The proposed cultivation facility will not result in conversion of any farmland or forest land because no farmland or forest land is situated within or adjacent to the Project. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

AIR QUALITY Would the Project				
6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or Projected air quality violation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the Project site to Project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials; Eastern Kern County Air Pollution Control District (EKAPCD).

Findings of Fact: California City is located within the Mojave Desert Air Basin and is under the jurisdiction of the EKAPCD. There are over 3,700-square miles in the eastern portion that EKAPCD controls, located on the western edge of the Mojave Desert. The high summer temperatures and radiation from the sun can encourage photochemical ozone formation when local sources or transported volatile organic compounds (VOC's) and oxides of Nitrogen (NOx) precursors are present. Kern County is within the jurisdiction of both the San Joaquin Valley Air Pollution Control District (SJVAPCD) in the San Joaquin Valley Air Basin (SJVAB) and EKAPCD in the Mojave Desert Air Basin (MOAB).

Projects are evaluated for consistency with the local air quality management plans, which link local planning and individual projects to the regional plans developed to meet the ambient air quality standards. The assessment takes into consideration whether the Project forms part of the expected conditions identified in local plans (General Plan Land Use and Zoning) and whether the Project adheres to the City's air quality goals, policies, and local development assumptions factored into the regional California Air Resources Board (CARB). As previously discussed, the undeveloped Project property has a M-1 Light Industrial Zoning District classification, which has been established to permit the development of a wide spectrum of industrial and manufacturing uses. In its current condition, the undeveloped Project site is surrounded by the airport and other light industrial uses, and is not located within proximity of existing residential uses or other densely populated areas of the City or County. The Project will not require a General Plan Amendment or other revision that would provide directly or indirectly for increased population growth above the level projected in the adopted General Plan. The Project will not interfere with the ability of the region to comply with federal and state ambient air quality standards. Projects that are consistent with local General Plans are considered consistent with the air quality related regional plans including the current CARB, the PM-10 and other applicable regional plans. The proposed Project is a permitted use in the existing zone and shall comply with the corresponding development standards. Development is consistent with the growth projections in the City of California City General Plan and is to be consistent with CARB.

The Project would not result in or cause violations to the National Ambient Air Quality Standards or California Ambient Air Quality Standards. The Project's proposed land use designation for the subject site does not materially affect the uses allowed or their development intensities as reflected in the adopted City General Plan. Per EKAPCD Rule 402, Section IV.A.3, the project is exempt from fugitive dust requirements because total disturbance is less than two acres; however, the project will implement dust control measures to ensure consistency with the AQMP, and impacts related to air quality plans are expected to be less than significant following implementation of standard conditions, also outlined in AQ1, within the plan and including but not limited to:

- Development of the proposed Project will comply with the provisions of EKAPCD.
- A Fugitive Dust Control Plan will be prepared for the Project outlining required control measures throughout all stages of construction. Additionally, the name and number of a 24/7 contact for concerns relating to construction noise or dust will be posted at the site.

With the implementation of dust control mitigation outlined in AQ1, the Project will have a less than significant impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Electrical and gas service are provided to the Project site by Southern California Edison (SCE). The Project will utilize an existing 400-amp electrical connection on the adjacent parcel to the west. Additionally, the Project proposes an additional electrical upgrade to the existing meter. In the event that SCE cannot immediately supply service concurrently with the City’s issuance of occupancy permits and business licenses, the Project may utilize on-site generators to achieve operational capacity prior to upgrades by SCE. In this circumstance, the project anticipates the utilization of up to six 50 kWh generators (or the equivalent of) that use natural gas to provide power. The use of natural gas is possible as the project can connect to existing gas service on the adjacent parcel. The proposed generators will operate up to 24-hours per day for at-least one year (365 days), with approximately 8,400 operational hours per year. In addition, an air quality (CalEEMod) analysis was completed, and the results are described below in Table 1-1. The proposed Project and inclusion of the six proposed generators do not exceed the daily thresholds for criteria pollutants as set forth by the Kern County/Mohave Air District.

TABLE 1-1: PROJECT CONSTRUCTION EMISSIONS (Unmitigated)			
Pollutant	Daily Maximum Emissions (lbs./day)	EKAPCD Maximum Daily Threshold* (lbs./day)	Exceeds EKAPCD Threshold?
Reactive Organic Gas (ROG)	98.77	137	NO
Oxides of Nitrogen (NO_x)	17.00	137	NO
Carbon Monoxide (CO)	14.36	548	NO
PM_{2.25}	4.12	82	NO
SO₂	0.03	148	NO

*Source: •CalEEMod Version: CalEEMod.2020.4.0. <https://www.caleemod.com/>

TABLE 1-2: PROJECT OPERATION EMISSIONS (Unmitigated)			
Pollutant	Daily Maximum Emissions (lbs./day)	EKAPCD Maximum Daily Threshold* (lbs./day)	Exceeds EKAPCD Threshold?
Reactive Organic Gas (ROG)	1.95	137	YES
Oxides of Nitrogen (NO_x)	1.50	137	NO
Carbon Monoxide (CO)	6.61	548	NO
PM_{2.25}	0.37	82	NO
SO_x	0.16	148	NO

*Source: CalEEMod Version: CalEEMod.2020.4.0. <https://www.caleemod.com/>

As a result, the Project would not substantially contribute to a significant individual or cumulative impact on existing or projected exceedances of the state or federal ambient air quality standards or result in a cumulatively considerable net increase in the emissions of any criteria pollutant for which the Project

region is designated nonattainment. Less than significant impacts are anticipated.

The Project is not located adjacent or near any residential areas or sensitive receptors. The nearest residential area is over 1,700 feet to the southeast. The Project will also not violate National Ambient Air Quality Standards or California Ambient Air Quality Standards and, therefore, will not expose sensitive receptors to point source emissions. Also, the Project does not involve the construction of a sensitive receptor.

Cannabis cultivation, specifically the last 3-4 weeks of the flowering phase of cannabis cultivation, has the potential to produce objectionable odors. However, the Project site is not located near densely populated areas; therefore, the Project will not affect a substantial number of people. Nevertheless, and as required by City Code, the Project will implement odor control technologies (e.g., carbon scrubbers/filters) to mitigate potential odors. With the implementation of mitigation measure AQ2, the Project will have a less than significant impact.

Mitigation:

AQ1: Development of the proposed Project will comply with the dust control requirements of the EKAPCD. These requirements shall be outlined in a Fugitive Dust Control Plan that will be prepared for the Project and shall include the required control measures throughout all stages of construction.

Additionally, during construction activities, the Project applicant shall install a sign, no less than four feet by eight feet in area, and no more than six feet in height, that provides the name and number of a 24/7 contact for concerns relating to construction noise or dust.

AQ2: Article 11, Section 5-6.1301 of the City Municipal Code requires the reduction and elimination of odors resulting from the processing, cultivation, and the commercial sale of cannabis and cannabis related products. The Project is required to implement, and maintain in good repair, odor control technology, and shall comply with City monitoring and enforcement, as necessary. Furthermore, compliance with City Code is required of all projects and is not considered unique mitigation.

Monitoring: The City Code Enforcement Department will monitor and enforce dust, odor, noise, and other similar complaints.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the Project				
7. Wildlife & Vegetation				
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Biological Resources Assessment (RCA, dated March 29, 2022); Project Materials.

Findings of Fact: The property is approximately 1.76-acre in size and is located roughly 100-yards north-east of the intersection of Curtis Place and Lindbergh Boulevard in the City of California City, California (Township 32 South, Range 37 East, Section 16, USGS Mojave NE, California Quadrangle, 1956) (Figures 1, 2, and 3). The site is approximately 740 meters above sea level, relatively flat, and has no slope. The property is bordered on the north and west by commercial businesses and buildings, to the east is the California City Airport, and vacant land borders the property to the south.

A site visit and biological survey was conducted on November 16, 2021 (RCA 2022). The Project site supports a highly disturbed desert scrub habitat common in the region, and the site has been previously cleared of all vegetation minus a few ruderal plant species that have managed to colonize along the boundaries of the site. Vegetation observed on site was limited to native species such as creosote bush (*Larrea tridentata*) and non-native species such as Asian mustard (*Brassica tournefortii*) and western tansymustard (*Descurainia pinnata*).

The site supports minimal wildlife species, with many of them being birds. No mammals were observed during the field investigations on November 16, 2021. Some mammals that are expected to occur on site given their

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

common occurrence in the region includes desert cottontails (*Sylvilagus audubonii*), antelope ground squirrel (*Ammospermophilus leucurus*), California ground squirrel (*Otospermophilus beecheyi*), black-tailed jackrabbit (*Lepus californicus*), and coyote (*Canis latrans*). Birds observed included ravens (*Corvus corax*), say's phoebe (*Sayornis saya*), and house finch (*Haemorhous mexicanus*).

No reptiles were observed during the field survey, although some species that may occur on site included the common side-blotched lizard (*Uta stansburiana*), desert spiny lizard (*Sceloporus magister*), the western whiptail lizard (*Cnemidophorus tigris*), and the long nose leopard lizard (*Gambelia wislizenii*).

In addition, no sensitive habitats (e.g., sensitive species critical habitats, etc.) have been documented in the immediate area according to the California Natural Diversity Database (CNDDDB) (2021) and none were observed during the field investigations. Additionally, no riparian vegetation (e.g., cottonwoods, willows, etc.) exist on the site or in the adjacent habitats, and no protected plants were observed on site or in any of the surrounding areas.

(a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

The California Department of Fish & Wildlife (CDFW) began planning for the establishment of, and acquisition of, private lands for the conservation of the Mohave Ground Squirrel (MGS), which CDFW determined is an essential component of any conservation strategy for the state-listed MGS. The service has identified four “core areas” that have historically supported relatively abundant and widespread MGS populations. There is evidence that these populations will continue to persist given adequate conservation efforts and mitigation strategies. As a Land Mitigation Bank does not currently exist, mitigation credits are reserved for future conservation efforts. The four core areas currently recognized are detailed as follows:

- (i) Coso Range NW to Olancho. Most of the area is within the China Lake NAWS military reservation, with a mixture of Bureau of Land Management (BLM), Los Angeles Department of Water and Power (LADWP), and private lands to the west (Inyo County).
- (ii) Little Dixie Wash (from Inyokern SW to Red Rock Canyon State Park). Most of the area is publicly managed by BLM, with some private and state ownerships as well (Kern County).
- (iii) Edwards Air Force Base, east of Rogers Dry Lake. This core area is entirely on the United States Air Force (USAF) military reservation; the surrounding lands are in private and BLM ownership (Kern and San Bernardino County).
- (iv) Coolgardie Mesa to Superior Valley. Land ownership was primarily BLM and in private ownership; however, much of the northern portion of this core area is not included within the Fort Irwin Western Expansion Area (WEA) (San Bernardino County).

CDFW remains concerned that the urbanizing effects of the surrounding area will contribute to the diminishment; albeit incremental, upon the MGS habitat. CDFW provides additional analysis to support this potential incremental impact upon MGS habitat through their Mohave Ground Squirrel Technical Advisory Group (MSG TAG); which is a long-standing committee of MGS technical experts, land management, and regulatory agencies.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The TAG published a list of conservation priorities in December of 2010 and sets forth five primary conservation priorities intended to support the ongoing conservation of the MGS. These priorities are detailed as follows¹:

- 1) Maintain Functional Habitat Connections between Known Populations
- 2) Protect Known Core Areas
- 3) Identify Development Zones with Minimal Impact on MGS Habitat
- 4) Conduct Research to Clarify the Distribution and Status of the MGS
- 5) Conduct Research to Improve Mohave Ground Squirrel Detection Capabilities

The Project is located approximate 40-miles south from the Little Dixie Wash conservation area, which is a sufficient distance removed from the conservation area. Additionally, the project is located next to the California City Municipal Airport and other industrial and commercial land uses, which are not designated as core areas and do not provide functional habitat or connections for the MGS. Therefore, impacts are less than significant.

b) – g) A General Biological Resources Assessment (BRA) was prepared for the Project (RCA 2022) and is herein incorporated by reference. As part of the environmental process, CDFW and U.S. Fish and Wildlife Service (USFWS) data sources were reviewed. Following the data review, surveys were performed on the site on November 16, 2021, during which the biological resources on the site and in the surrounding areas were documented by biologists from RCA Associates, Inc. As part of the surveys, meandering transects were walked on the site and in surrounding areas (i.e., the zone of influence) where accessible at a pace that allowed for careful documentation of the plant and animal species present on the site. The property and adjoining areas were evaluated for the presence of native habitats which may support populations of sensitive wildlife species, and data was collected on the plant and animal species present on the site. All plants observed were identified in the field, and wildlife was identified through visual observations and/or by vocalizations. The property was also evaluated for the presence of sensitive habitats including wetlands, vernal pools, riparian habitats, jurisdictional areas, and habitat assessments were also conducted for the desert tortoise (*Gopherus agassizii*), Mohave ground squirrel (*Xerospermophilus mohavensis*), and burrowing owl (*Athene cunicularia*).

As stated previously, the Project site supports a highly disturbed desert scrub habitat common in the region, and the site has been previously cleared of all vegetation minus a few ruderal plant species that have managed to colonize along the boundaries of the site. Vegetation observed on site was limited to Species present on the site included kelch grass (*Schismus barbatus*), creosote bush (*Larrea tridentata*), rubber rabbitbrush (*Ericameria nauseosa*), Asian mustard (*Brassica tournefortii*), western tansy mustard (*Descurainia pinnata*), and Russian thistle (*Kali tragus*). However, because the survey was not conducted during the blooming period, an appropriately times survey should be conducted to ensure avoidance of any special status plant species.

Birds observed included ravens (*Corvus corax*), Say’s phoebe (*Sayornis saya*), house finch (*Haemorhous mexicanus*), red-tailed hawk (*Buteo jamaicensis*), mourning dove (*Zenaida macroura*), and horned lark (*Eremophila alpestris*). No reptiles were observed during the field survey, although some species that may occur on site included the common side-blotched lizard (*Uta stansburiana*), desert spiny lizard (*Sceloporus magister*), the western whiptail lizard (*Cnemidophorus tigris*), and the long nose leopard lizard (*Gambelia wislizenii*).

¹ <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=83973&inline>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

No mammals were observed during the field investigations performed on November 16, 2021. Mammal sign such as scat was observed belonging to desert cottontails (*Sylvilagus audubonii*) or black-tailed jackrabbit (*Lepus californicus*). Some other mammals that are expected to occur on site given their common occurrence in the region include antelope ground squirrel (*Ammospermophilus leucurus*) and California ground squirrel (*Otospermophilus beecheyi*). Merriam's kangaroo rats (*Dipodomys merriami*) may also occur on the site given their wide-spread distribution in the region.

No distinct wildlife corridors were identified on the site or in the immediate area. No sensitive habitats (e.g., wetlands, vernal pools, critical habitats for sensitive species, etc.) were observed on the site during the field investigations. No special-status plant species were observed during the field survey.

The Project site was assessed for desert tortoise (*Gopherus agassizii*), Mohave ground squirrel (*Xerospermophilus mohavensis*), burrowing owl (*Athene cunicularia*), Le Conte's thrasher (*Toxostoma lecontei*), loggerhead shrike (*Lanius ludovicianus*), American badger (*Taxidea taxus*), and Charlotte's phacelia (*nashiana*). However, due to the disturbed nature of the project site, lack of suitable habitat, and lack of any observation of these species in the surrounding area, the species are not likely to inhabit the Project site or area.

Future development of the site will have minimal impact on the general biological resources present on the site, and most, if not all, of the vegetation left will likely be removed during future construction activities. Wildlife will also be potentially impacted by development activities and those species with limited mobility (i.e., small mammals and reptiles) will experience increases in mortality during the construction phase. However, more mobile species (i.e., birds, large mammals) will be displaced into adjacent areas and will likely experience minimal impacts. Therefore, loss of about 1.76-acres of desert vegetation is not expected to have a significant cumulative impact on the overall biological resources in the region given the presence of similar habitat throughout the surrounding desert region. No sensitive habitats (e.g., wetlands, vernal pools, critical habitats for sensitive species, etc.) were observed on the site during the field investigations.

The Project is located in an area designated in the City's General Plan as M-1 zoning, and implementation of the Project is consistent with the City's planned development that was assessed for this area. The Project is also adjacent to existing commercial/industrial development and the California City Municipal Airport, and implementation of the Project will not have an impact on wildlife corridors directly or cumulatively.

While no anticipated due to lack of habitat, there is still the potential for nesting birds and burrowing owl to occur on site. Nesting birds are protected under the Migratory Bird Treaty Act. If project-related activities are to be initiated during the nesting season (January 1st to August 31st), a pre-construction nesting bird clearance survey should be conducted by a qualified biologist no more than three (3) days prior to the start of any vegetation removal or ground disturbing activities. The qualified biologist shall survey all suitable nesting habitat within the project impact area, and areas within a biologically defensible buffer zone surrounding the project impact area. If no active nests are detected during the clearance survey, project activities may begin, and no additional avoidance and minimization measures would be required. If an active nest is found, the bird species shall be identified, and a "non-disturbance" buffer should be established around the active nest. The size of the "non-disturbance" buffer should be increased or decreased based on the judgement of the qualified biologist and level of activity and sensitivity of the species. It is further recommended that the qualified biologist periodically monitor any active nests to determine if project-related activities occurring outside the "no-disturbance" buffer disturb the birds and if the buffer should be increased.

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Once the young have fledged and left the nest, or the nest otherwise becomes inactive under natural conditions, project activities within the “no-disturbance” buffer may occur. Due to the proximity of the project site to existing occurrence records for burrowing owl, pre- construction burrowing owl clearance surveys should be conducted by a qualified biologist to ensure that burrowing owls remain absent from the project site and impacts to burrowing owls do not occur. In accordance with the Staff Report on Burrowing Owl Mitigation (CDFW, 2012), two (2) pre-construction clearance surveys should be conducted 14-30 days and 24 hours prior to any vegetation removal or ground disturbing activities. If no burrowing owls or occupied burrows are detected, project activities may begin.

If an occupied burrow is found within the development footprint during pre-construction clearance surveys, a burrowing owl exclusion and mitigation plan will need to be prepared and submitted to CDFW for approval prior to initiating project activities. Although Burrowing Owl was not observed during the field survey, the project site is located within an area where they have a chance to occur.

With the implementation of mitigation measures BIO-1 and BIO-2, the Project is found to have a less than significant impact on plants an animal species.

Mitigation:

BIO 1: The Project proponent shall conduct two (2) pre-construction clearance surveys for burrowing owl prior to the start of construction. The surveys shall be conducted 14-30 days and 24 hours prior to any vegetation removal or ground disturbing activities. Documentation of surveys and findings shall be submitted to the City of California City for review and file. If no burrowing owls or occupied burrows are detected, project activities may begin. If an occupied burrow is found within the development footprint during pre-construction clearance surveys, a burrowing owl exclusion and mitigation plan will need to be prepared and submitted to CDFW for approval prior to initiating project activities.

BIO 2: The Project proponent shall conduct a pre-construction survey for desert tortoise and nesting birds prior to the commencement of Project-related ground disturbance. The pre-construction surveys shall be conducted 14-30 days prior to any vegetation removal or ground disturbing activities, and shall encompass all areas within the potential footprint of disturbance for the project, as well as a reasonable buffer around these areas. In the event that listed species, such as the desert tortoise, are encountered, authorization from the USFWS and CDFW must be obtained. If nesting birds are detected, avoidance measures shall be implemented to ensure that nests are not disturbed until after young have

BIO 3: The Project proponent shall conduct a pre-construction survey for sensitive plant species during the blooming season (April - June) to ensure no special status plant species occur on site. If special status plant species are found on site, the plants will be avoided, and an appropriate no-disturbance buffer will be maintained around the plants. Additionally, the Project proponent will prepare a replanting mitigation plan and submit it to the appropriate resource agencies for review and approval prior to any disturbance in these areas.

Monitoring: Prior to site disturbance activities, the Project proponent will submit the results of the pre-construction survey to the City. The survey must demonstrate that sensitive animal species do not occur on site. Additionally, the Project proponent will demonstrate that the appropriately timed blooming surveys have been completed and any sensitive plants have been avoided, and if avoidance is not feasible, a mitigation plan has been reviewed and approved by the appropriate resource agencies.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
CULTURAL RESOURCES Would the Project				
8. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials.

Findings of Fact: The Project is located on approximately 1.76-acres of undeveloped land within the M-1 Light Industrial Zoning District of California City. The M-1 land use designation provides a broad spectrum of industrial and manufacturing uses that do not have the potential for detrimental impacts on surrounding properties. Existing industrial and manufacturing uses in the vicinity are located north, east, and west of the Project site, including the California City Municipal Airport. According to the California City General Plan, *historic resources are items that are at least 45 years of age or older that also represents a significant time, place, origin, event, or work of a master.* Historic resources may be identified as structures and as archaeological sites. Five historic archaeological sites are recorded within California City. Recorded historic sites included trash scatter, glass, ceramics, and potential WWII desert training or military disposal items. As referenced within the Historic and Cultural resources of the General Plan, none of these findings were eligible for inclusion under the California State Office of Historic Preservation (SOHP). The site is vacant, and no historic structures or features have been identified on or adjacent to the project site. In addition, there are no recognizable potential historic resources, as defined in Section 15064.5 of the CEQA Guidelines that would be adversely affected by the proposed project. This includes any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant. Therefore, no impacts are to cultural resources are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code 2574?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; Project Materials.

Findings of Fact: The approximately 1.76-acre Project site is characterized by relatively flat, undisturbed desert land, with scattered vegetation. The Project is zoned M-1 (Light Industrial Zoning District) within the City of California City. The Project site is not recognized as having unique archeological features; a site where former human remains, including those interred outside of formal cemeteries, have been identified or located; or a site that contains any existing religious or sacred uses. However, per the California City General Plan, if a unique archeological resource or site or human remains are found during excavation, all work will be suspended until the area has been thoroughly examined.

Pursuant to the California Health and Safety Code Section 7050.5, and the CEQA Guidelines Section 15064.5, in the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site, or any nearby area reasonably suspected to overlay adjacent remains, until the County Coroner has examined the remains. If the coroner determines the remains to be Native American, or has reason to believe that they are Native American, the coroner shall contact the Native American Heritage Commission within 24-hours by telephone. Pursuant to the mentioned California Health and Safety Code, proper actions shall take place in the event of a discovery or recognition of any human remains during project construction activities. Less than significant impacts are expected following the standard conditions which do not address any unique circumstances regarding the proposed site.

As previously discussed in the Cultural Resources section, there are five recorded historic archaeological sites within the City, according to the California City General Plan. These archaeological sites are not found within the project area. The historical, cultural, and archaeological resources surveys outlined within the California City General Plan indicate that the Project site is not listed or eligible for listing in the California Register of Historical Resources or in any local register. The California City General Plan states that the City had no Native American sacred sites within the City's boundary. Therefore, implementation of the project is expected to have no impact on archaeological or tribal cultural resources.

Mitigation: No Mitigation Required Therefore, no impacts are anticipated with project implementation.

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

10. Energy Conservation

a) Would the Project conflict with any adopted energy conservation plans?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Open Space Element.

Findings of Fact: The project is in an M-1 zoned area, and the development of the proposed Project will not significantly increase energy use beyond what was anticipated in the General Plan. The Project site has an existing electrical connection provided by Southern California Edison. The Project will reduce its energy use and greenhouse gas (GHG) emissions to the maximum extent feasible through energy conservation measures, energy efficient equipment, and implementation of the current California Green Building Standards Code (i.e., Title 24). The Project will also be required to comply with the Department of Cannabis Control’s renewable energy requirements in the Year 2023. Additionally, the Project will use natural light for most of the grow cycle, and drip irrigation for cultivation activities and landscaping. No impact is anticipated to adopted Energy Conservation plans.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

GEOLOGY AND SOILS Would the Project

11. Alquist-Priolo Earthquake Fault Zone or City/County Fault Hazard Zones

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: According to the Safety Element in the California City General Plan, a fault is defined as a fracture in the earth's crust forming a boundary between rock masses that have shifted. Fault rupture is a break in the ground's surface and associated deformation resulting from the movement of a fault. Rupture would be a potential problem within California City if a strong earthquake occurs along a known or unknown fault within or near the City. According to the California City General Plan, the City is not located in an Alquist- Priolo Earthquake Fault Zone. The closest Alquist-Priolo Earthquake Fault Zone lies approximately 6 miles northwest of the project site, at the Garlock Fault.

According to the Safety Element of the City’s General Plan, the Project site shows no mapped faults on-site per maps prepared by the California Geologic Survey and published by the International Conference of Building Officials (ICBO). The project area is not located within an earthquake fault

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

zone, and no evidence of surface faulting was observed on the property during the site reconnaissance. Per the findings within the California City General Plan and the project-specific Geotechnical Investigation, surface fault rupture is considered unlikely at the project site. No impacts are expected.

California City and the Project site are in the Mojave Block, also referred to as the Eastern California Shear Zone (ECSZ). The ECSZ is an area of increased seismic activity which stretches from the San Andreas Fault in the Coachella Valley, north-northeast across the Mojave Desert, and northward to the Owens Valley. The numerous faults in the region may accommodate as much as 5 to 20 percent of the relative motion between the North American and Pacific Plates, and according to the California City General Plan, the closest fault to the City is the Garlock Fault, which lies approximately 10 miles northwest of the City's core, and 6-miles northwest of the Project site. The nearest significant active fault is the San Andreas Fault Zone, which is located approximately 54 miles southwest from the Project site. As a result, California City has the potential to experience seismic shaking and seismic-related hazards. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

11. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: The Safety Element in the California City General Plan states that liquefaction is the phenomenon in which loose, saturated, granular soils temporarily behave similarly to a fluid when subjected to high intensity ground shaking. Liquefaction occurs when three general conditions are present: shallow groundwater, low-density, silty or fine sandy soils, and high intensity ground motion. Areas of shallow groundwater have a higher susceptibility to liquefaction; however, the groundwater in the City ranges from approximately 330 to 390 feet below ground level according to the 2018 California City Local Agency Management Program for Onsite Wastewater Treatment Systems (OWTS), which results in a negligible impact from the effects of liquefaction.

Per the findings within the California City General Plan, the potential for liquefaction occurring at the Project site is considered low. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

12. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: As the Project is in Southern California, it is likely that the project site will experience at least one moderate to severe earthquake and associated seismic shaking during the Project's useable life, as well as periodic slight to moderate earthquakes. In order to ensure the safety of the project site, the proposed cultivation facility shall be constructed in a manner that reduces the risk of seismic hazards

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

(Title 24, California Code of Regulations). Standard Conditions of Approval require compliance with the most current seismic design coefficients and ground motion parameters and all applicable provisions of the 2019 California Building Code (CBC). No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

13. Landslide Risk

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: The California City Slope of Terrain Map in the General Plan (Figure 6-4) classifies the project site's location as having a 0 to 15 percent slope. The City lists two notable slopes within the City being Galilee Hill and Twin Buttes, approximately 15-miles northeast and 6-miles southeast of the project site, respectively. Moreover, there are no significant slopes proposed as part of the proposed development; either on-site or being affected through any off-site grading activities. Based upon the Project's associated earthmoving activities, it is concluded that risks associated with slope instability at the Project property are considered low to negligible. Therefore, potential hazards associated with landslide risks are unlikely, and no impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

14. Ground Subsidence

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: The Safety Element in the California City General Plan states that ground subsidence is the gradual, local settling or sinking of the earth's surface with little or no horizontal motion. Although a seismic event can trigger subsidence, it can also occur because of gas, oil, or water extraction, hydrocompaction, or peat oxidation. The southern portion of the Planning Area has been undergoing gradual land subsidence, with up to four feet of subsidence over a 40-year period. Although subsidence is not a significant hazard, damage to wells, foundations, and underground utilities may occur. The Project site is in the northwestern portion of the City and is not as greatly affected by ground subsidence as those properties located in the southern portions of the City. Per the findings within the California City General Plan, the potential for ground subsidence occurring at the project site is considered low. Additionally, the project will be required to comply with the California Building Code and the recommendations of any required soil engineering report. Less than significant impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

15. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: The property is not subject to any additional geological hazard such as seiche, mudflow, or volcanic hazard. The property is not located near, or within the general vicinity of a lake or partially enclosed body of water which would be affected by oscillation in the water level (e.g., seiche). The project is not subject to landslide risks and is not near any water course for which mudflow would be a concern. Lastly, the Project is not located near or within a volcano. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

16. Slopes

a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

b) Create cut or fill slopes greater than 2:1 or higher than 5 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: As stated previously, the California City Slope of Terrain Map in the General Plan (Figure 6-4) classifies the Project site's location as having a 0 to 15 percent slope, and the Project site is nearly level. The Project does not propose to alter or modify the topography or ground surface feature in a way that will substantially alter the topography or ground surface relief features; including changes that will possibly impact the operation of subsurface sewage disposal systems. The Project also does not propose to create cut or fill slopes greater than 2:1 or higher than 5 feet; therefore, risks associated with irregular or excessive slopes are considered negligible, and no impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

17. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

c) Have soils incapable of adequately supporting use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: As expansive soils dry, the soil shrinks; when moisture is reintroduced into the soil, the soil swells. To reduce post-construction soil movement and provide uniform support for the buildings to be constructed at the subject site, over excavation and re-compaction within the proposed building footprint areas should be performed to a minimum depth of five (5) feet below existing grades or three (3) feet below bottom of the proposed footing, whichever is deeper. Any undocumented fill encountered during grading should be removed and replaced with engineered fill.

In compliance with the City’s General Plan Safety Element, construction of underground utilities will be required to interconnect, and provide, water and sanitary sewer to the project site. According to the Existing Sewer System Map (Figure 6) in the 2018 California City Local Agency Management Program for Onsite Wastewater Treatment Systems (OWTS), there is an existing 8-inch municipal sewer line located near or adjacent to the property. There is also an existing sewer connection and water meter on the adjacent parcel to the west. Therefore, the Project will connect to the existing utilities, as required.

The construction site plan will utilize a portable toilet service in compliance with industry regulations until the construction of the permanent facilities and connection to the existing infrastructure. Design for all disposal systems shall comply with industry regulations, as well as the standards outlined in Title 7, Chapter 2 within California City Municipal Code. No septic systems are proposed. Less than significant impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

18. Erosion	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: The project is located within the MOAB, under the jurisdiction of the EKAPCD. Air quality within this region is influenced by the regional climate as well as the temperature, wind, humidity, precipitation, and amount of sunshine. California City is in the high desert with an elevation range of 2,500 to 4,000 feet above sea level. Its climate is semi-arid and rainfall for the area is less than 6 inches annually, which provides for warm, dry weather in the summer and mild cooler weather in the winter.

The California City Erosion Hazards Map (Figure 6-3) within the General Plan displays most of the City, including the Project site, as being in an area with none to slight erosion hazards. As previously stated, the Project site resides within the EKAPCD, therefore must comply with the District’s Regulation IV, Rule 402. The purpose of this Rule is to prevent, reduce and mitigate

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

ambient concentrations of anthropogenic fugitive dust emissions to an amount sufficient to attain and maintain the National Ambient Air Quality Standards (NAAQS) and California Ambient Air Quality Standards (CAAQS). According to Regulation IV, Rule 402, Section IV.A.3 (Exemptions), the project is exempt from the provisions of Rule 402 because the project is less than two acres in size. However, to minimize the potential for emissions as discussed under the Air Quality Section of this document, the Project shall implement a Dust Control Plan (Mitigation Measure AQ2) that includes fugitive dust emission control strategies, to limit visible dust emissions (VDE) to no more than 20- percent opacity or meet the conditions for a stabilized surface. Some control strategies include applying dust suppressants, controlling vehicular speed, using water trucks, and implementing track-out avoidance measures. The implementation of the fugitive dust emission control strategies will ensure the reduction of ambient concentrations of fine particulate matter (PM-10) by reducing or mitigating anthropogenic fugitive dust emissions.

In addition to the Dust Control Plan, the project site is also required to implement a Stormwater Pollution Prevention Plan (SWPPP) during the construction of the Project, to comply with Environmental Protection Agency (EPA) and the National Pollutant Discharge Elimination System (NPDES). The purpose of the SWPPP is to develop a strategy for construction projects to minimize sediment and other pollutants that may be expected to affect the quality of storm water discharges associated with project development. The development and implementation of the SWPPP during Project construction will ensure that potential sources of pollution are identified and mitigated through the application of best management practices (BMPs), such as concrete washouts or secondary containment areas, further discussed in the Hydrology Section of this document.

Impacts of windborne and waterborne soil erosion at the project site will be controlled during Project operation after adequate paving, landscaping, stormwater control, and other means of stabilization are incorporated. The proposed plan indicates that on-site runoff site is collected and conveyed through to a swale that leads to a retention basin at the southern portion of the site, to avoid onsite flooding. The drainage condition of the project site is subject to the completion of percolation/infiltration studies conducted during the grading process. If infiltration is infeasible, the Regional Water Quality Control Board Guidebook requires compliance with secondary or tertiary treatment measures. Upon completion of the project, the site intends to have both hardscape and softscape surfaces, including the greenhouses and landscaping, surrounding the buildings and project perimeter. Following the implementation of the fugitive dust emission control strategies and the SWPPP, as well as the compliance with the adopted procedures for grading, erosion at the project site is anticipated to be less than significant.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

19. Wind Erosion and Blows and from Project either on or off site.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Department of Conservation; Project Materials.

Findings of Fact: Impacts of windborne and waterborne soil erosion at the project site will be controlled during project operation after adequate paving, landscaping, and other means of stabilization are incorporated. Upon completion of the project, the site intends to have both hardscape and softscape surfaces, including the greenhouses and landscaping, surrounding the buildings and project perimeter. Following the implementation of the fugitive dust emission control strategies and the SWPPP, as well as the compliance with the adopted procedures for grading, erosion at the project site is anticipated to be less than significant.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

20. Paleontological Resources

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Project Materials.

Findings of Fact: The approximately 1.76-acre project site is characterized by relatively flat, undisturbed desert land, with scattered vegetation. The project is in the M-1 (Light Industrial Zoning District) within the City of California City. The site is not recognized as a unique paleontological or a unique geologic feature. However, per the California City General Plan, if a unique paleontological resource or site or unique geologic feature are found during excavation, all work will be suspended until the area has been thoroughly examined. Less than significant impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

GREENHOUSE GAS EMISSIONS Would the Project

21. Greenhouse Gas Emissions

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Project Materials.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact: Greenhouse Gas (GHG) is a gaseous compound in the earth's atmosphere that is capable of absorbing infrared radiation, thereby trapping and holding heat in the atmosphere. Common greenhouse gases in the earth's atmosphere include water vapor, carbon dioxide (CO₂), methane (CH₄), nitrous oxide (NO_x), ozone, and to a lesser extent chlorofluorocarbons. Carbon dioxide is the main GHG thought to contribute to climate change. In response to growing concern for long-term adverse impacts associated with global climate change, California's Global Warming Solutions Act of 2006 (AB 32) requires California Air Resource Board (CARB) to reduce statewide emissions of greenhouse gases to 1990 levels by 2020. In 2021, Governor Jerry Brown signed Senate Bill 32 (SB32) that requires California to reduce GHG emissions to 40 percent below 1990 levels by 2030. In general, the Project will generate GHG emissions through Project-related area sources, energy usage, mobile sources, solid waste disposal, water usage, and wastewater treatment.

The proposed cultivation facility will add a new land use, and as a result, an expected increase in operational greenhouse gas emissions is expected. The square-footage of the proposed cultivation use is anticipated to generate approximately 1190 MMTCO_{2e} annually, which is substantially less than the 3,000 MMTCO_{2e} identified in the CARB Scoping Plan. The Project will operate under the mandatory regulations found in the most recent Cal Green Building Standards Code for non-residential uses.

As stated previously, AB32 requires California to reduce its GHG emissions to 1990 levels by 2020. CARB has identified measures to achieve this goal as set forth in the CARB Scoping Plan. The EKAPCD adopted the interim GHG significance threshold for stationary/industrial sources on December 5, 2008, which applies to Projects where the EKAPCD is the lead agency. SB 32 adopted in 2021 requires the state to reduce statewide GHG emissions to 40% below 1990 levels by 2035, a reduction target that was first introduced in Executive Order B-30-15. The project will reduce its GHG emissions to the maximum extent feasible through energy conservation measures and implementation of the current California Green Building Standards Code in addition to the use of natural light for plant growth and water efficient irrigation for plans and landscape design. Furthermore, the Project is required to comply with the State's GHG reduction requirements and offsets for cannabis cultivators by 2023. The project will not interfere with the state's implementation of AB 32 or SB 32. As previously indicated, the project would not exceed the air basin threshold, therefore the project's GHG emissions would not conflict with plans and policies adopted for reducing GHGs emissions. Less than significant impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

HAZARDS AND HAZARDOUS MATERIALS Would the Project				
22. Hazards and Hazardous Materials				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.25 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Project Materials.

Findings of Fact: The project site is approximately 1.76- acres of vacant desert land and proposes to construct a 41,472 SF structure for cultivation uses. The project will not involve the use or storage of hazardous materials other than organic certified fertilizers and California approved natural pesticides and fungicides. These materials will be stored and applied according to manufacturer's instructions to mitigate the potential for incidental release of hazardous materials or explosive reactions.

The Code of Federal Regulations (CFR Title 40, Part 261) defines hazardous materials based on ignitability, reactivity, corrosivity, and/or toxicity properties. The State of California defines hazardous materials as substances that are toxic, ignitable, or flammable, reactive and/or corrosive, which have the capacity of causing harm or a health hazard during normal exposure or an accidental release. As a result, the use and management of hazardous or potentially hazardous substances is regulated under existing federal, state, and local laws. State law requires that cannabis, and cannabis-related waste products are properly disposed of through a qualified vendor. California City Municipal Code mirrors the same requirements, as such, operators of cannabis cultivation facilities will be required to contract with a qualified disposal service to effectuate the necessary disposal in compliance with state and local laws.

In addition, other hazardous waste materials, requiring special handling and disposal, must comply with applicable Cal-EPA, Cal-OSHA, and MSDS protocols² to reduce their potential to damage public health and the environment. Manufacturer's specifications also dictate the proper use, handling, and disposal methods for the specific substances. Construction of the project is expected to involve the temporary management and use of potentially hazardous substances and petroleum products. The nature and quantities of these products would be limited to what is necessary to carry out construction of the project. Some of these materials would be transported to the site periodically by vehicle and would be stored in designated controlled areas on a short-term basis. When handled properly by trained individuals, and consistent with the manufacturer's instructions and industry standards, the risk involved with handling these materials is considerably reduced.

To prevent a threat to the environment during construction, the management of potentially hazardous materials and other potential pollutant sources will be regulated through the implementation of control measures required in the SWPPP for the project and/or other Best Management Practices. The SWPPP requires a list of potential pollutant sources and the identification of construction areas where additional control measures are necessary to prevent pollutants from being discharged.

² California Environmental Protection Agency (Cal-EPA); California Occupational Safety and Health Agency (Cal-OSHA); Material Data Safety Sheet (MSDS)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

BMPs are necessary for *Material Delivery and Storage; Material Use; and Spill Prevention and Control*. These measures outline the required physical improvements and procedures to prevent impacts of pollutants and hazardous materials to workers and the environment during construction. For example, all construction materials, including paints, solvents, and petroleum products, must be stored in controlled areas and according to the manufacturer's specifications. In addition, perimeter controls (fencing with wind screen), linear sediment barriers (gravel bags, fiber rolls, or silt fencing), and access With such standard measures in place, less than significant impacts are anticipated during construction.

Implementation Measure S-7, within the California City's General Plan states that the City shall require commercial and industrial businesses to meet the procedures for the proper transport, use, storage, and disposal of hazardous waste as required by the Kern County Waste Management Department, the California City Fire Department, and Kern County Department of Environmental Health Services. Additionally, the California City Fire Department shall require a detailed chemical inventory, in accordance with the fire code, to determine the hazards and classifications of the materials used in the proposed cannabis cultivation facility. Less than significant impacts related to the routine transport, use, or disposal of hazardous materials are expected.

The project site is located within the M-1 (Light Industrial and Research) Zoning District of the City that is naturally segregated from residential neighborhoods or other densely populated land uses. As previously discussed, the project is not expected to handle any significant quantities of hazardous materials. Any other use of potentially hazardous substances, is expected to occur in small quantities and managed on-site with the proper containment and facilities, as required by the fire department and other applicable industry standards.

The Safety Element, within the California City General Plan, addresses safety within the City through goals, policies, and implementation measures that seek to reduce the potential for the loss of life, injuries, and property damage associated with natural and human-induced hazards.

California City is served by a single Fire Department and Police Department within their City boundaries. The California City Fire Department is located at 20890 Hacienda Boulevard, approximately four (4) driving miles southeast of the Project site. The California City Fire Station is staffed by three full-time fire fighters on a 24-hour basis, including a captain, engineer, and fire fighter; however, the Fire Department is designed to be staffed by nine fire fighters. The California City Fire Station has two part-time, seven reserves, and five Fire Department Volunteer positions that City Council has authorized. The fire department is equipped with one wildland patrol unit, one wildland/interface engine, one water tender, and two full-sized fire engines. In addition to fire suppression, additional services the department provides includes Paramedic Advanced Life Support, fire prevention, public education, fire hydrant maintenance, hazardous materials response, nuisance abatement, flood response and aircraft crash and arson investigation. According to the National Fire Protection Association (NFPA), the recommended dispatch-to-arrival time is five (5) minutes, on 90-percent (%) of calls. The California City Fire Department has mutual aid agreements with the Kern County Fire Department, Edwards Air Force Base Fire Department, the East Kern Airport District Fire Department, and the Bureau of Land Management.

Police protection services within the City are provided by the City's Police Department, located at 21130 Hacienda Boulevard, approximately 3.5 driving miles southeast of the Project site. The Kern County Coroner's services are provided through the County by the Sheriff's Department and the court system and jails are operated and maintained by Kern County.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The Project site's primary access is located on the southwestern corner of the property along Curtiss Place where it intersects with Olson Street, which is north of Lindbergh Avenue and follows a similar east-west circulation pattern. The site plan configuration of the proposed development includes fire truck accessible drive aisles and a two-way driveway to ensure adequate emergency response access on-site. The proposed design would be subject to a standard review process by the Fire Department to ensure that the site-specific emergency access, water pressure, and other pertinent criteria are met by the project. Less than significant impacts are expected.

Toxic cleaning compounds, sanitizing agents, solvents, and potentially flammable materials may also be involved within the proposed facilities. The use of these products would also be subject to the manufacturer's specifications, as well as local, state, and federal regulations that would help protect against accidental release, explosive reactions, injury, and contamination. The project operator would be required to provide the proper storage facilities and containers designed to protect and isolate these substances, therefore minimizing the threat to the public or the environment. Facility employees shall be trained on safety rules to prevent personal or public risk. Solid waste produced by the project will be stored in a designated staging area with enclosures and less than significant impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a Project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) For a Project within the vicinity of a private airstrip, or heliport, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Caltrans Aeronautics Handbook, Kern County Airport Land Use Compatibility Plan, Project Materials.

Findings of Fact: The California City Municipal Airport, located immediately north and west of the Project property, spans over 200-acres within the City. The Kern County Airport Land Use Compatibility Plan maps five zones related to noise and safety levels for each airport under their jurisdiction. According to this Plan, the project site is located within California City's Airport Influence Area (or Sphere of Influence). The Kern County Airport Land Use Commission shall restrict the height of buildings, structures, appurtenances, plants, and trees to not more than 35-feet above ground level (unless approved by the Federal Aviation Administration) to prevent a hazard to the safe landing or take-off of aircrafts. In addition, the Project is located outside of the 65 CNEL noise contour zone according to Figure 4-9 of the 2012 Airport Land Use Compatibility Plan.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

According to the 2012 Kern County Airport Land Use Compatibility Plan, the project is located outside of the Airport Influence Area (AIA) of the California Municipal Airport, therefore the project does not present an inconsistency with the prescribed land uses already determined to be compatible with the Airport's CLUP.

Additionally, the Federal Aviation Administration (FAA) may require review of structures in excess of 55-foot height, measured from the Mean Sea Level (MSL) of the Airport. However, the proposed use does not currently propose buildings or structures that will exceed this height restriction. Therefore, a less than significant impact will occur.

The project is not subject to the Airport AIA as it is not located within AIA. Less than significant impacts are anticipated. The project is not located in the vicinity of a private airstrip. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Chapter 8 – State Hazard Mitigation Plan (SHMP), Project Materials.

Findings of Fact: The California City General Plan indicates that major wildland fires are uncommon within the City area due to the vegetation type, the sparseness of the vegetation, and the lack of available ground fuel. According to Chapter 8, of the SHMP, the Project, and its surroundings, are located outside of the Very High and High Fire Hazard Severity Zone (FHSZ) for Local Responsibility Area and outside of the Very High/High/Moderate FHSZ for State and Federal Responsibility Areas.

As mentioned previously, the California City Fire Department is located at 20890 Hacienda Boulevard, approximately 4 driving miles southeast of the Project site. Additionally, the City has a mutual aid agreement with Kern County Fire Department, Edwards Air Force Base Fire Department, the East Kern Airport District Fire Department, and the Bureau of Land Management. No impacts related to wildland fire are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

HYDROLOGY AND WATER QUALITY Would the Project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------	--------------------------

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
or siltation on- or off-site?				
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g., water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g., increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Chapter 8 – State Hazard Mitigation Plan (SHMP), National Marines Wetland Inventory; Project Materials.

Findings of Fact: The proposed project is located within the Fremont Hydrologic Unit of the South Lahontan Basin in the Lahontan Region 6V (https://www.waterboards.ca.gov/waterboards_map.html). Within Region 6V, the approved Water Quality Control Plan, prepared by SWRCB, provides guidelines for protecting the beneficial uses of state waters within the Region by preserving and protecting their water quality. The Project site is located within the Fremont Hydrologic Unit. The receiving water is the Koehn Dry Lake. Beneficial uses of Koehn Lake includes municipal and domestic supply, agricultural supply, industrial process supply, industrial service supply, groundwater recharge, water contact recreation, non-contact water supply, warm freshwater habitat, Inland saline water habitat and wildlife habitat.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

According to the California City 2009 Final Environmental Impact Report (SCH # 1992062069), the only named blue line stream is identified as Cache Creek, which runs through California City from the west towards the northeast, and eventually terminates just south of the Koehn Lakebed outside of the City boundary. Cache Creek lies approximately 3.7-miles south of the project property, and Koehn Lakebed is approximately 12.5 miles northeast of the Project site. The nature and size of the proposed development prompts compliance requirements with the existing regulations pertaining to water quality standards and waste discharge requirements.

The proposed Project will result in temporary and permanent disturbance in an area that encompasses over one acre in gross area, and the developer will comply with the State's most current Construction General Permit (CGP). Compliance with the CGP involves the development and implementation of a project specific SWPPP designed to reduce potential adverse impacts to surface water quality during the period of construction. The required plan will identify the locations and types of construction activities requiring BMPs and other necessary compliance measures to prevent soil erosion and stormwater runoff pollution. The plan will also identify the limits of allowable construction-related disturbance to prevent any off-site exceedances or violations.

During construction, the project will also implement a Dust Control Plan (Mitigation Measure AQ2) that incorporates fugitive dust emission control strategies in compliance with the EKAPCD Rule 402. Implementation of the control strategies primarily pertains to air quality, but also supports water quality protection through the requirement of soil stabilization measures to prevent sediment erosion and track-out. The concurrent implementation of the required SWPPP and fugitive dust emission control strategies will prevent the potential construction-related impacts to water quality at the site and its surroundings, therefore resulting in less than significant impacts.

The project will be designed with on-site stormwater detention facilities that, during the life of the project, will comply with the City's drainage requirements by preventing site discharge and transport of untreated runoff. The project will be required to comply with the most current State standards, as well as the standards outlined in the City of California City Urban Water Management Plan and the Water Quality Control Plan for Lahontan Region (Region 6V). Current drainage requirements for this Project fall under the jurisdiction of the City of California City, which requires the entirety of the storm water from the 10-year, 5-day storm to be retained onsite. The site plan, grading design, storm drain design, and retention facilities of the project must be factored into the development and documentation of the project specific Water Quality Management Plan (WQMP). Runoff from throughout the impervious surfaces (buildings, hardscape, and pavement) of each drainage management area will be conveyed via surface and piped flows to either corresponding underground retention chambers or retention basins. Each of the retention basins and underground facilities will be sized to retain the incremental increase between the pre-development and post-development volume per City requirements.

As proposed, the stormwater retention and management strategy are expected to comply with local and regional requirements for protecting surface water quality and preventing waste discharge violations. Less than significant impacts are expected.

According to the California City Water Master Plan, California City obtains its water from five groundwater wells and an imported surface water supply from the Antelope Valley-East Kern Water District (AVEK). As previously mentioned, the Project is located within the Fremont Valley Groundwater Basin (FVGB). Historic water levels of groundwater wells between 1955 and 1958 indicates that the FVGB is a closed groundwater basin (without subsurface outflow).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Long term groundwater level data obtained from the USGS Ground Water Data water levels indicated the groundwater levels in the FVGB have declined significantly since 1955, probably due to the prolonged drought period from 1945 to 1964 and excessive groundwater extraction in the FVGB in the late 1950s, 1960s and 1970s. The most important storage system is the groundwater aquifer, which holds water at a depth of approximately 320 to 380 feet below ground surface and has slightly risen since 1983.

According to the California City General Plan, the City primarily relies on underground water supplies. Groundwater wells in California City produced over 93-percent (%) of the water supply in 2000 to 2001. Per the Urban Water Management Plan, water source well #14 is the closest facility within the vicinity of the project site and is located on Mendiburu Avenue where it intersects with Yerba Boulevard, north of California City Boulevard, which is less than one mile southeast of the Project site. According to the General Plan, future water demands will be met by the construction of five new water wells and through additional groundwater purchases within the AVEK District.

The California City Municipal Code also outlines the importance of water conservation (California City Municipal Code Title 7, Chapter 1, Article 4, Section 7-1.431). Within this code, the City states that water conservation is a goal of high importance to be consistent with State of California and City legal responsibilities to the utilization of water resources. All irrigation within the City complies with the State Model Water Efficiency Landscape Ordinance (MWELO) and City Municipal Code that implements water efficiency standards. Additional conservation efforts include the use of drought tolerant landscaping, and new, low- flowing plumbing fixtures. Water conserving fixture installations shall be subject to compliance inspection, prior to issuance of final occupancy permits, for the industrial facility. Given the use, and projected low water and wastewater demands, the Project not expected to interfere with groundwater recharge conditions. The project includes both underground retention facilities and retention basins, designed to collect and provide sufficient storage for the 10-year and 5-day storm event. This method of stormwater management will therefore facilitate groundwater recharge through infiltration. Infiltration opportunities are also provided in the form of BMPs and pervious cover areas in and landscaping design within sufficient densities that will mitigate excess evaporation and evapotranspiration. Less than significant impacts are expected.

The proposed Project is in the M-1 (Light Industrial Zoning District), which by designation under the California City Zoning Map is allocated to support general and specialty industrial and manufacturing use facilities, including cannabis cultivation and manufacturing facilities. The general vicinity surrounding the Project area also includes developed and undeveloped properties with relatively flat topography and scattered vegetation, like that found on the Project site. The local hydromorphology is influenced by the presence of intermittent surface drainages originating from the mountains to the west and carrying flows predominantly in a northeasterly direction toward the valley floor. In particular, the project setting, and most of the City's light industrial zone occur between the Cache Creek and Koehn Lakebed. Cache Creek is located approximately 3.7 miles south of the Project, and Koehn Lakebed is approximately 12.5 miles northeast of the Project site.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The Project has a Zone X Federal Emergency Management Agency (FEMA) designation, defined as areas determined to be outside the 0.2-percent (%) annual chance floodplain. The current Zone X designation encompasses most of the City's undeveloped and developed properties within the vicinity of the Municipal Airport. Project implementation would involve permanent site improvements, introducing impervious surfaces in the form of buildings, paving, and hardscape to the previously undeveloped (pervious) land. The Project will implement low impact development to the maximum extent, and to prevent changes to local drainage conditions (patterns, quantities, or velocities) and adverse erosion and sedimentation impacts, the Project will implement a storm drain design with flood control facilities sized to handle the Project-specific conditions.

The proposed grading and hydrology improvement plans will be subject to review and approval by the City and Kern County Floodplain Management Division to ensure that the proposed grading and drainage conditions are acceptable to the City's standards. As a result, following implementation of an approved grading plan, the Project is not anticipated to alter any local drainage course, stream, or wash in a manner that would result in erosion or siltation on- or off-site. Following the standard regulations and project design features, less than significant impacts are expected related to the existing drainage patterns and erosion or siltation conditions.

The National Wetlands Inventory, from the USFWS, indicates that there is evidence of an intermittent riverine feature that is located southeast of the project site, which is also south of Lindbergh Avenue but is well off-site of the proposed Project. A riverine, as defined by the National Wetlands Inventory, includes all wetlands and deepwater habitats contained within a channel, except for: wetlands dominated by trees and shrubs, and habitats with water containing ocean derived salts of 0.5 ppt or greater. However, the intermittent riverine is not considered waters of the United State because it does not connect to another source of water and, furthermore, is not connected with the Project site.

The proposed Project would introduce impervious surfaces (hardscape, asphalt, rooftops, etc.) to a presently undeveloped (pervious) ground condition. In particular, the Project anticipates developing over 50-percent (%) of the project site with impervious materials and coverage. This conversion would typically result in a site-specific increase in the rate and quantity of surface runoff. To manage this on-site condition, the Project includes a proposed storm drain design (subject to approval by the City Engineer) with surface and piped conveyances draining into retention basins and underground retention structures. The retention basins and facilities will be required to incorporate a capacity to accept and infiltrate the worst-case increase in runoff volume for the 10-year and 5- day storm event. Less than significant impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable U - Generally Unsuitable R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Safety Element; Chapter 8 – State Hazard Mitigation Plan (SHMP), Chapter 7 – Hydrologic Soil Groups: USDA, Natural Resources Conservation Service (NRCS); LAMP 2018; Project Materials.

Findings of Fact: The Project includes stormwater capture and retention that will prevent any substantial increase in the rate, velocity, or quantity of runoff generated from the Project as compared to the existing undeveloped, and pervious, site condition. Runoff from the Project that exceeds the 10-year, 5-day storm runoff volume for post-development conditions will discharge from the site in a way that perpetuates the existing drainage condition, which flows off-site to the northeast. The Project includes approximately 1.5 acres of proposed structures, driveways, parking, and hardscape (impervious areas) and approximately a quarter-acre of proposed landscape or open space (pervious areas). Runoff will be conveyed primarily via surface flows and directed to landscape areas and detention basin. The City will require that BMPs be incorporated into a Final WQMP, to be reviewed and approved by the City at the time of application for construction permits.

Through this required compliance, the project will prevent impacts to the local receiving waters and avoid violations to the established water quality standards and waste discharge requirements. Less than significant impacts relative to the substantial degradation of water quality are expected.

FEMA evaluates potential flood hazards for the City. The FEMA Flood Insurance Rate Maps (FIRMs) serve as the basis for identifying those potential hazards and determining the need for and availability of federal flood insurance. According to FIRM panel 06029M-1920E, effective September 26, 2008, the entire project and its immediate surroundings are located within Zone X, identified as areas determined to be outside the 0.2% annual chance floodplain. As such, less than significant impacts are expected.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The Project is not located near an existing levee or dam; therefore, no impacts are expected pertaining to this topic.

The Project is not located within a 5-year flood zone based on FEMA FIRM panel 06029M-1920E, effective September 26, 2008. Less than significant impacts are expected. The project site is not located near a body of water that would pose potential seiche or tsunami impacts. The project site is underlain by Hydrologic Soil Type "C", which is characterized for having a slow infiltration rate when thoroughly wet. Type "C" soils consist chiefly of moderately deep or deep, moderately well drained, or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission. With the relatively shallow gradients that characterize the vicinity, the erosive nature and mudflow potential is reduced. As stated previously, the proposed site plan includes retention facilities sized to contain the 10-year, 5-day storm runoff volume for post-development conditions. Only flows more than the project's retention requirements would be allowed to exit the Project area, therefore, less than significant impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

LAND USE/PLANNING Would the Project

27. Water Quality Impacts

a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028

Findings of Fact: The proposed Project site sits on 1.76 acres of vacant land located at the intersection of Curtiss Place and Olson Street, north of Lindbergh Avenue, and east of Mitchell Boulevard. The Project proposes to construct a 41,472 SF facility in the City's (M-1) Light Industrial Zoning District. The Project proposal is consistent and authorized by Title 5, Chapter 6; and Title 9, Chapter 2, Article 29 - M-1 (Light Industrial District). As such, the Project is consistent with the planned land use zoning and land use patterns of the property and its surrounding property conditions. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Planning				
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028

Findings of Fact: The Project proposes an allowed commercial use, which is consistent with the underlying M-1 (Light Industrial Zoning District). The surrounding zones are a combination of industrial, commercial, and manufacturing. The Project is designed to impacts upon adjacent sensitive receptors, to the extent they exist within the residentially zoned properties located to the southeast, by complying with the minimum 200-foot setback between cannabis cultivation buildings and existing residential zones. The Project is situated approximately 1,500 linear feet to the northwest of the nearest residential zoning classification, which in this case is RM1. As such, impacts to the surrounding zoning patterns are negligible. Furthermore, the Project is consistent with the existing and surrounding land uses as it implements the designated land use of commercial. The surrounding land use patterns are compatible with the proposed Project. There are no established community patterns in the project vicinity that would be divided by the proposed project. Therefore, no impacts relative to the division of an established community are expected.

As discussed previously, the M – 1 (Light Industrial Zoning District), in which the project resides, is designated for service industrial and manufacturing uses and neighborhood commercial facilities and land uses, which do not have potential for detrimental impacts on surrounding properties. The 1.76 - acre Project site and 41,472 SF commercial cannabis structure complies with the commercial, industrial, and manufacturing uses permitted within the M-1 (Light Industrial Zoning District) zone according to California City Municipal Code Title 5, Chapter 6; and Title 9, Chapter 2, Article 29; and is not located within a uniquely establishment community or area of interest. No impacts are anticipated to land use, planning, or zoning standards.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than significant impact	No Impact
MINERAL RESOURCES Would the Project				
29. Mineral Resources				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; General Plan Open Space and Conservation Element; Chapter 5; Figure 5-3: Mojave Desert Designated Areas Map; Project Materials.

Findings of Fact: According to Chapter 5, of the California City General Plan, the Kern County Mineral Resources GIS mapping resources, there are no mineral resources within the City's General Planning Area. In the eastern portion of the Mojave Specific Plan, it contains areas with mineral resources consisting of several gravel pits. In the western portion of the North Edwards Specific Plan is a mineral extraction owned by Rio Tinto (Borax) Mine that is the world's largest sodium borate deposit. This includes the world's largest open pit borax mining operation (more than 600 feet deep) near the community of Boron. According to the California Geological Study (CGS) Mineral Land Classifications, no areas or sites of mineral resource and/or SMARA study areas exist on, or within the vicinity, of the Project site. The property is not listed as an active or historical mineral resources mine. In addition, the Project site is not located within an active or potential area of aggregate extraction pursuant to Map Sheet 52, which was updated in 2018 providing guidance on aggregate sustainability areas within the state. The nature of the Project does not involve the extraction of mineral deposits. Construction of the proposed cultivation and processing facility would rely on existing local and regional aggregate resources from permitted facilities within the region. The Project is not expected to result in a considerable extraction and/or loss of known mineral resources that are considered important to the region or residents of California. Additionally, there are no known specific mineral resource deposits or facilities on or near the Project. No impacts are expected related to the loss of availability of known mineral resources. As previously discussed, there are no mineral resources within the City of California City. The closest mineral resource to California City is located in the City of Mojave, approximately 27 miles southwest of the Project site. As determined in the previous discussion, the Project site is located within an area that is not designated, has not been evaluated or studied, and is not historically known to contain mineral and/or aggregate deposits of value. This zone designation applies to areas of no known mineral occurrences where geologic information does not rule out either the presence or absence of significant mineral resources. Overall, the Project site is not recognized as a mineral resource recovery site delineated in the City of California City General Plan or the resource maps prepared pursuant to SMARA. No impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

NOISE Would the Project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable A - Generally Acceptable B - Conditionally Acceptable
 C - Generally Unacceptable D - Land Use Discouraged

30. Airport Noise

a) For a Project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the Project expose people residing or working in the Project area to excessive noise levels?

NA A B C D

b) For a Project within the vicinity of a private airstrip, would the Project expose people that reside or work in the Project area to excessive noise levels?

NA A B C D

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City Airport Master Plan and Airport Land Use Compatibility Plan.

Findings of Fact: The Project site shall comply with the property development standards outlined in the California City Municipal Code for facilities located within the M-1 (Light Industrial Zoning District) (Municipal Code Title 9, Chapter 2, Article 21), and a cannabis cultivation facility within the City (Municipal Code Title 9, Chapter 2, Article 29). The Project is located within the AIA of the California Municipal Airport; however, the Project is located outside the 65 and 60 Community Noise Equivalent Level (CNEL) contours. Based on Table 3A of the Airport Land Use Compatibility Plan, the potential noise levels from the California Municipal Airport are “clearly acceptable” for industrial and commercial uses where the Project site is located; therefore, less than significant impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

31. Railroad Noise

NA A B C D

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Noise Element.

Findings of Fact: The Project is not located near (or within the vicinity) of any railroad or rail spur. As such, no impact is anticipated to occur.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
32. Highway Noise				
NA <input type="checkbox"/> A <input checked="" type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Noise Element.

Findings of Fact: The property is not located near or within the vicinity of a major highway. The City's Planning Area is particularly bounded by State Highway 58 along its southern boundary and State Highway 14 along its western boundary. These highways are not located close enough to impact future patrons or employees of the Project. Therefore, no impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

33. Other Noise				
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Noise Element.

Findings of Fact: The property, is not located near (or within the vicinity) of another major source of noise. Therefore, no impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

34. Noise Effects on or by the Project				
a) A substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Noise Element

Findings of Fact: Noise is defined as unwanted sound that disrupts normal activities or that diminishes the quality of the environment. It is usually caused by human activity that adds to the existing acoustic setting of a locale. Noise is measured on a logarithmic scale of sound pressure level known as a decibel (dB). The human ear does not respond uniformly to sounds at all frequencies, being less sensitive to low and high frequencies than to medium frequencies that correspond with human speech. In response to this, the A-weighted noise level or scale has been developed to correspond better with peoples' subjective judgment of sound levels. This A-weighted sound level is called the "noise level" referenced in units of dB(A).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

In evaluating human response to noise, acoustical analysis compensates for the response of people to varying frequency or pitch components of sound.

Land uses determined to be "sensitive" to noise as defined by the Kern County General Plan (KCGP) include residential areas, schools, hospitals, parks, and recreational areas, senior centers, and churches. The KCGP Noise Element sets a sixty 60-decibel dB(A) limit on exterior noise levels from stationary sources (i.e., non- transportation sources) at sensitive receptors. With the exception of periodic noise release from the California City Airport, the ambient noise level can be anticipated to occur below the maximum threshold established by City Ordinance. The Noise Control Ordinance in the Kern County Code of Ordinances (Section 8.36.020 et seq.) prohibits a variety of nuisance noises between the hours of 9 PM and 6 AM on weekdays and 9 PM and 8 AM on weekends. The future marijuana-related facilities would adhere to the provisions of the Kern County Noise Ordinance. The noise exposure information developed during the preparation of the Noise Element does not include all conceivable sources of industrial, commercial, or agricultural noise within the City, but rather focuses on the existing sources of noise which have been identified by the City as being significant.

Section 19.04.252 in Kern County Zoning Ordinance defines exterior noise levels as "the noise level near the exterior of a structure usually within 50 feet of the structure. Kern County has implemented standards for sensitive areas for new projects, where in those sensitive areas outdoor noise levels are to be mitigated to below or 65 dB (Lin) and similarly 45 dB(A) or below in interior residential or inside other sensitive interior spaces.

The City of California City has the authority to establish land use noise standards and corresponding restrictions under the City's Noise Ordinance. A range of noise standards apply to different receiving land uses based on sensitivity and compatibility. In general, land uses with a higher sensitivity to noise (residential, schools, libraries, churches, hospitals, nursing homes and recreation) are assigned lower ambient noise thresholds than land uses deemed less sensitive (industrial and commercial). According to the Government Code, noise exposure contours should be developed in terms of the Day-Night Average Level (Ldn) or CNEL for transportation-related noise sources. These descriptors represent the weighted energy noise level for a 24-hour day after inclusion of a 10dB penalty for noise levels occurring at night between the hours of 10:00 p.m. and 7:00a.m. The CNEL descriptor includes a penalty of about 4.8 dB for noise levels occurring during the evening hours 7:00p.m. and 10:00 p.m. The CNEL explanation was developed for the quantification of aircraft noise, and its use is required when preparing noise exposure maps for airports within the State of California.

The Noise Element of the City's General Plan identifies vehicular traffic as the principal source of noise in the community. The General Plan Area is particularly bounded by the State Highway 58 along its southern boundary and State highway 14 along its western boundary. The front of the Project area is located adjacent to Curtiss Place on the west and immediately adjacent to the CaliforniaCity Municipal Airport on the east and north. The Project property is currently vacant and is located adjacent to the CaliforniaCity Municipal on the north and east, industrial and manufacturing uses to the west and northwest, and vacant commercial lands to the south. TheProject proposes to construct a 41,472 SF industrial cultivation facility. The anticipated noise impacts this use will not exceed the evaluated noise generation factors established within the commercial land use.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Section 19.80.010. S (1) within Kern County Zoning Ordinances restricts noise generated by commercial or industrial uses within 500-feet of a residential use or residential zone district. The Project will not generate noise that exceeds an average 65 dB/Ldn between the hours of 7 AM and 10 PM and shall not generate noise that exceeds 65 dB/Ldn, or which would result in an increase of 5 dB(A) or more from ambient sound levels, both are superior, between the hours of 10 PM and 7 AM. Commercial or industrial facilities that are located within the heavy industrial (M-3) zones are exempt from these noise generation limitations.

As discussed previously, the surrounding zoning consists of M-1 (Light Industrial Zone District), and the property forms part of an undeveloped portion of the industrial land use district in the City of California City. This section of the City has been designated in the City's General Plan to support industrial land uses. The nearest commercial (C2) and residential zoning (RM1) are over 1,500 feet away to the southeast of the Project site, and the nearest residence is over 1,800 feet southeast of the Project site. See Figure 10 below.

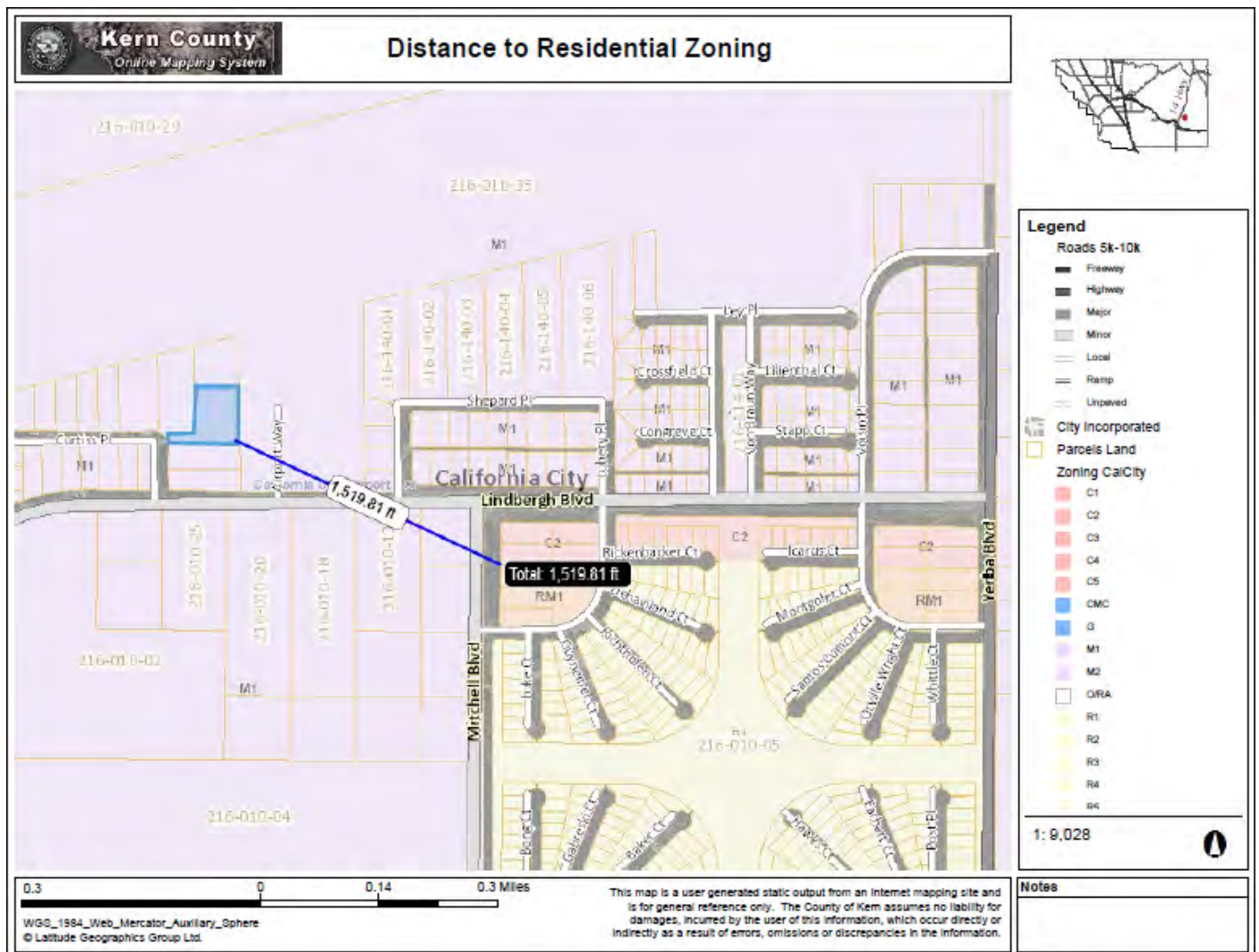


Figure 12. Nearest sensitive noise receptor to the Project site based on zoning. The nearest residential zoning is over 1,500 feet away to the southeast.

The construction activities of the Project are expected to generate short-term noise increases compared to the existing levels. A temporary incremental increase in noise levels along local roadways is expected to occur during the transport of workers and equipment to and from the site. Noise increases will also be generated by the actual on-site construction activities, which based on location and context, will not take place within proximity to any sensitive receptor

Any new construction required for a future cannabis facility would generally occur during daytime hours, typically from 6 AM to 6 PM; however, the Kern County Noise Control Ordinance (Title 8 of the Kern County Code of Ordinances) limits all construction activities to take place between 6 AM and 9 PM, Monday through Friday, and between 8 AM and 9 PM on Saturdays and Sundays. If construction work is performed between dusk and 9 PM or dawn and sunrise (approximately 6 AM), construction crews would use minimal illumination to perform the work safely. California City Noise Ordinance Section 5-1.406 interior noise standards for Residential zones states that between the times of 10:00 p.m. to 7:00 a.m., the allowable interior noise level at 45 dB(A) and 55 dB(A) between 7:00a.m. and 10:00 p.m.

During construction, the Project is also expected to follow common industry standards that will help limit noise level increases. For example, all construction equipment, fixed or mobile, should be equipped with properly operating and maintained mufflers and the engines should be equipped with shrouds. Approved haul routes shall be used to minimize exposure of sensitive receptors to potential adverse levels from hauling operations. Truck haul routes are anticipated to include service from California City Boulevard traveling in an easterly direction, then traveling north along Mitchell Boulevard to Lindbergh Boulevard, and then west on Lindbergh Boulevard to Olson Street where the site can be accessed. All construction equipment shall be in proper working order and maintained to reduce backfires.

During the life of the Project, all operations will be conducted in the interior of enclosed structures, facilities, and buildings, as mandated by the local zoning ordinance. All cultivation and processing operations, including materials management, will occur indoors and within the fenced limits. Outdoor activities will be limited. These include vehicular access and circulation in the Project's parking lot and drive aisles; access to the trash enclosures for waste management (disposal and pick-up); access to the outdoor utilities for maintenance purposes (e.g., chillers, septic or sewer systems, storm drain system components); and access for materials delivery. While the Project would result in an increase in noise levels compared to the existing undeveloped condition, the nature and intensity of operations that would occur in the proposed structures are not expected to result in the generation of noise levels that would exceed the community noise and land use compatibility standards because the Project will use equipment and conduct activities that are consistent with the M-1 (Light Industrial District) zoning analyzed in the City's General Plan. The Project is expected to result in an incremental increase in traffic-related noise levels on the local roadways and less than significant impacts are expected.

Vibration is defined as the mechanical motion of earth or ground, building, or other type of structure, induced by the operation of any mechanical device or equipment located upon or attached to. Vibration generally results in an oscillatory motion in terms of the displacement, velocity, or acceleration of the ground-or structure(s) that causes a normal person to be aware of the vibration by means such as, but not limited to, sensation by touch or visual observation moving objects.

ground- or structure(s) that causes a normal person to be aware of the vibration by means such as, but not limited to, sensation by touch or visual observation of moving objects.

Ground-borne vibration, also referred to as earth-borne vibration, can be described as perceptible rumbling, movement, shaking or rattling of structures and items within a structure. Ground-borne vibration can generate a heightened disturbance in residential areas. These vibrations can disturb residential structures and household items while creating difficulty for residential activities such as reading or other tasks. Although, ground-borne vibration is sometimes perceptible in an outdoor environment, it is not a problem as it is when this form of disturbance is experienced inside a building.

Ground-borne vibration can be measured in terms of amplitude and frequency or vibration decibels (VdB). Trains, buses, large trucks, and construction activities that include pile driving, blasting, earth moving, and heavy vehicle operation commonly cause these vibrations. Other factors that influence the disturbance of ground-borne vibration include distance to source, foundation materials, soil and surface types.

The Project is surrounded by existing industrial uses, the California City Airport, and vacant land, and the nearest existing residential use is just over 1,700-feet to the southeast when measured from property line to property line. The existing source of ground-borne vibration is attributed to the circulation of large vehicles and trucks along California City Boulevard, Mitchell Boulevard, and Lindbergh Boulevard. Construction of the Project is expected to involve the temporary use of vehicles and equipment that would result in short-term ground-borne vibration increases along these routes within the permitted construction hours established by the City. However, the current residential development along these routes is almost nonexistent, and the use of heavy vehicles for construction will be temporary. During the life of the Project, all routine operations will occur within the proposed structure and during the permitted hours of operation, as mandated by the County and City ordinance and conditioned by the City. The routine operation of vehicles accessing the Project would cause an incremental increase in ground-borne vibration, but not in levels that would be deemed inconsistent with the existing industrial setting or excessive in nature, such that would impact residential uses. The primary permanent noise sources will be vehicles traveling to and from the site and grounds maintenance equipment. The vehicle mix will be comparable with existing vehicles on surrounding roads. Additionally, the Project proposes vehicle trips during typical business operating. The proposed Project is not expected to result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project. Noise generated by vendors, visitors, and employees is expected to be consistent with noise levels at any light industrial development, as analyzed and approved in the City's General Plan, and will not exceed County or City standards. Less than significant impacts related to excessive ground-borne vibration and ground-borne noise levels are expected.

The Project site is adjacent to existing industrial, commercial, and manufacturing uses on the north, east, and west property lines, but most noticeably is the California City Airport to the north and east. Therefore, there are already existing sources of ambient noise consistent with the type of uses found in an industrial zoned area, and the airport is an existing primary noise generator. Noise resulting from the Project operations will be mostly contained within the proposed structures, and the Project does not propose equipment or operations that are inconsistent with the surrounding uses and M-1 zoning analyzed in the City's General Plan. The Project site is not located adjacent to or within proximity to any residential land uses or other sensitive receptors. Operational vehicle trips to and from the Project site will be comparable with the existing vehicles on surrounding roads, and noise resulting from Project traffic is not expected to substantially increase the current ambient levels in a way that would impact sensitive receptors. Less than significant impacts related to permanent increase in ambient noise levels are expected.

Most of development in the City has occurred within the central core. An area comprising approximately twelve sections of land (7,680 acres) in the southwest portion of the land area within the City's corporate limits. The remaining development in the City has occurred in the northeastern portion; an area located about twelve miles northeast of the central core along Twenty Mule Team Parkway and Randsburg-Mojave Road. The project is located approximately 20-miles west of Twenty Mule Team Parkway and approximately 14-miles from Randsburg-Mojave Road. The City's General Plan Land Use Element includes a summary of the standards of population density and building intensity recommended for the various districts and other territory covered by the plan.

The proposed cultivation and processing site will produce a temporary and intermittent increase in ambient noise levels during construction. During Project site preparation, grading and construction, the

contractors will be expected to utilize properly maintained construction equipment consistent with the manufacturer's standards. Construction activities are required to take place within the designated hours established by standards of California City. Less than significant impacts related to temporary or periodic ambient noise levels are expected.

The proposed cultivation and processing site will produce a temporary and intermittent increase in ambient noise levels during construction, but will occur indoors within insulated buildings and is not anticipated to exceed the limits set forth by the General Plan which is no greater than 70 dBA over a 10-minute Leq. During Project site preparation, grading and construction, the contractors will be expected to utilize properly maintained construction equipment consistent with the manufacturer's standards. Construction activities are required to take place within the designated hours established by standards of California City. Less than significant impacts related to temporary or periodic ambient noise levels are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the Project				
35. Housing				
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a City Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population Projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Housing Element.

Findings of Fact: The California City planning area is comprised of 10,200 acres (203.44 square miles). This represents an increase of 11,200 acres resulting from the 1991 Municipal Reorganization #91-1 that comprised a 21,000-acre annexation and 4,800-acre detachment. The total 203.44 square miles planning area also represents the official City limits of California City. California City completed the 2002 Annexation, Detachment, Sphere of Influence Amendment (the City has Jurisdictional Boundaries and Coterminous Sphere of Influence), Redevelopment Area Expansion General Plan Update (Including the Housing Element), and Automotive Test Course Project. This action did not impact the availability of parcels for housing. It detached some environmentally sensitive areas and annexed some land suitable for economic development.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Based upon the 2009-2028 General Plan, the total of all single and multiple-family residential land designations represents 25 percent (33,500 acres) of the California City planning area. The residential land use designations of the General Plan and related zoning classifications show approximately 21,474 available (vacant) residential lots in the Central Core. The current population of California City is 14,973 as of April 1, 2020, according to the United States Census Bureau.

The proposed facility consists of 41,472 SF of commercial cannabis cultivation and ancillary processing. The Project is compatible with operations and uses permitted in the M-1 (Light Industrial Zoning District) with approval of a Site Plan Review. The facility is estimated to staff up to approximately 10 employees at any given time, and employees may work in multiple shifts depending on the activities. The proposed Project may encourage relocation for employment. However, the number of employees is expected to come from existing residents primarily.

The Project does not have a residential component. Improvements associated with the Project would not induce substantial growth to the area. Less than significant impacts are expected.

The Project site is currently vacant land and is surrounded by other parcels designated as M-1 (Light Industrial Zoning District) by the City General Plan. Zoning for commercial and industrial activity would not displace any existing housing or require replacement housing. No impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

PUBLIC SERVICES Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Findings of Fact:

Fire services are provided to the Project area by the California City Fire Department (CCFD). The CCFD operates out of a single location, located at 20890 Hacienda Blvd, California City, CA 93505, approximately 4-miles from the Project site. The station has four paid fire fighters on duty per day. The CCFD maintains a fleet of two structure engines (one front-line and one reserve), one brush engine, one brush patrol, one squad/off- road rescue, and two staff SUV’s. The CCFD maintains mutual aid and automatic aid agreement with Kern County Fire and Edwards Air Force Base Fire Department, resulting in the ability of three engines being dispatched; a standard duty response that ensures a minimum number of firefighters arrive at scene per National standards. Mutual aid is an agreement among emergency responders to lend assistance across jurisdictions provided the resources are available and it is not to the detriment of their own service area. The Project proposes the development of the 1.76-acre site. The facility will contain space for cultivation areas. At buildout, the facility will have an approximate building ground floor area of approximately a 41,472 SF facility; under a Class “U” Occupancy; which does not create a substantial increase in the need for additional fire suppression and planning services.

Development of the Project incrementally increases demand on fire services; however, based on the site proximity to the City’s existing fire station, the proposed Project could be adequately served without the expansion of a new fire facility and adequate response times would be met. Additionally, the Project would be required to implement all applicable and current California Fire Code Standards, and there is an existing fire hydrant adjacent to the property entrance. Furthermore, the Project will be reviewed by City and Fire officials to ensure adequate fire service and safety because of project implementation. The Project will also be required to comply with the City’s Development Impact Fees (DIF) to assist with the funding of public facilities and services, including fire, therefore, less than significant impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

37. Police Services

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Police services are provided to the project area by the California City Police Department (CCPD). The police department operates out of a single location and is located at 21130 Hacienda Blvd, approximately 3.5-miles southeast from the Project site. Per the Police Department website, the CCPD has 13 sworn officers and 6 support staff, totaling 19 positions. Based on the 2021 Census, California City has a population of 14,973 persons, resulting in an officer to resident ratio of 1.1 per 1,000 population. At buildout, the facility will have an approximate building ground floor area of approximately 41,472 SF under a Class “U” Occupancy.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

A suite of safety and security measures will be incorporated into the Project. A more detailed, comprehensive security plan is required by the City during the regulatory permit phase. This will include specific locations and areas of coverage by security cameras; location of audible interior and exterior alarms; location of exterior lighting; name and contact information of the security company monitoring the site, and any additional information required by the City.

Although the Project may require additional demand for police services, the demand is not expected to hinder the City's ability to provide police protection services and adequate response times would be met. Furthermore, the Project will be reviewed by City and Police officials to ensure adequate fire service and safety because of Project implementation. The Project will also be required to comply with the City's DIF to assist with the funding of public facilities and services, including police, therefore, less than significant impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

38. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Findings of Fact: The proposed Project falls under the Mojave Unified School District (MUSD). Development of the Project would not create a direct demand for school service. At buildout, the facility will have an approximate building ground floor area of 41,472 SF under a Class "U" Occupancy. Employment generated by the Project would not be expected to draw a substantial number of new residents that would generate school age children requiring public education, or substantially alter school facilities, or the demand for public education, and no new facilities would need to be constructed. Additionally, any future development will be required to pay City DIF to the Mojave Unified School District, developer impact fees to assist in offsetting impacts to school facilities. At the time of writing, current development fees are \$3.79 a square foot for residential and \$0.61 per square foot for commercial/industrial projects (Level I Developer Fee Study for Mojave Unified School District, 2018). Less than significant impacts to school services are expected. As discussed below in Section XV(a) and XV(b), the proposed project would not create substantial additional demand for public park facilities, nor result in the need to modify existing or construct new park facilities. No impacts are expected to City parks.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Findings of Fact: Library services are provided by the Kern County Library system with the nearest branch located in the City at 9507 California City Boulevard. The Kern County Library provides a full range of services and resources to over 850,000 people in every city and unincorporated area of Kern County through a network operated at Kern County Library Headquarters. The Kern County Library system includes 24 branches and 2 book mobiles available to serve the County population. Development of the project would not create a direct demand for school service. At buildout, the facility will have an approximate building ground floor area of approximately 41,472 SF under a Class “U” Occupancy. Employment generated by the project would not be expected to draw a substantial number of new residents that would generate school age children requiring library services, or substantially alter existing library branch facilities, or the demand for new facilities that would need to be constructed. No impacts are expected to City or County libraries.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

40. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Findings of Fact: According to the City Fire Chief, there are multiple choices for hospital care to serve City residents. These choices depend upon the severity and type of medical treatment required. In addition, hospital related care also depends on bed availability and the patients’ preference, if not emergent. Since California City spans approximately 201 square miles, there are a number of hospitals that a patient could be transferred to for minor issues such as less critical conditions, stabilizing patients, and minor surgeries. These minor incidences are typically served by Adventist Health-Tehachapi Valley in Tehachapi, which is located approximately 20-miles from the City’s western edge. Furthermore, Ridgecrest Regional Hospital is located approximately 9-miles from the east edge of the City. Barstow Community Hospital, which is located approximately 50-miles from the southwest edge of town, also provides non-trauma related care. If trauma level care is necessary, patients are transported to the Antelope Valley Hospital in Lancaster, which is located approximately 8-miles from the south edge of the City. While the City does not have any mutual aid agreements in terms of hospitals in the area, City fire does have mutual aid for fire with Kern County and Edwards Air Force Base as requested by the California City Fire Chief. Therefore, the Project is not expected to impact health care services.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

RECREATION

41. Parks and Recreation

a) Would the Project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the Project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Is the Project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Open Space Element.

Findings of Fact: As discussed herein, the proposed Project is commercial in nature, located in an existing area of the City planned for industrial uses, will not increase population and, therefore, would not create substantial additional demand for public park facilities, nor result in the need to modify existing or construct new park facilities. No impacts are expected to community parks. As previously discussed, the Project proposes to construct a 41,472 SF commercial cannabis cultivation facility. Properties immediately to the north, east, and west of the Project are developed with commercial and industrial warehouse uses, including the California City Municipal Airport to the north and west. There are no existing residential dwelling units located near the Project site; the nearest residential zoning is over 1,500 feet away to the southeast. The Project will employ approximately 10 people, the addition of which is not anticipated to cause a substantial increase to the current existing neighborhood community, regional, or pocket parks. Therefore, no impacts are expected relative to use or deterioration of existing parks. The construction of the proposed cultivation and processing facility within a light industrial zoned area will not substantially degrade any existing or planned recreational facility.

No construction or expansion of other recreational facilities is required for Project implementation and no impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Open Space Element.

Findings of Fact: The City's Municipal Code has adopted the Farm Animal Overlay and the Equestrian Overlay Zones (EOZ). California City Municipal Code Section 9-2.2408 Equestrian Overlay Zone permits the riding of equines along equestrian trails and roadways, if they do not cause any traffic

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

impediment. Development of the project will not create a need or impede an existing or planned trail system. The Project will not negatively affect the General Plan goals of providing safe and convenient access to equestrian trails and roadway use. Therefore, no impacts are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Required

TRANSPORTATION/TRAFFIC Would the Project	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
43. Circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Open Space Element.

Transportation and Traffic Discussion:

a) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?

Each county in California is required to develop a Congestion Management Program (CMP) that analyzes at the links between land use, transportation, and air quality. The Kern County Council of Governments (Kern COG) is the County’s Congestion Management Agency. The Kern COG prepares and periodically updates the County’s CMP to meet federal Congestion Management System guidelines and state CMP legislation. The most recent CMP is included within Kern COG’s Long Range Transportation Plan (LRTP), which was completed in April 2012. According to Appendix A of the LRTP, in the 2011 Kern County Congestion Management Program, Highway 14 and Highway 58 are the only roads in proximity to the Project site listed as part of the CMP System of Highways and Roadways. These roads are not directly adjacent to the Project site. Thus, the Project will not conflict with a CMP due to the distance between the Project site and these covered roadways and the trips have been accounted for in the GP. The GP identifies that sidewalks, bike lanes, off-street trails and golf cart routes are especially important along major roadways in the community. Within Kern County, existing public transportation services include public transit, Amtrak, and other private carriers such as Greyhound. Local and regional public transit is available within and between sixteen Kern County communities. In 2009–2010, public transit services carried over 7.84 million passengers in Kern County. Transit services include intercity, demand-responsive, and fixed-route operations.; the Project will not produce a need for increases in transit services or require the substantial alteration of existing facilities and/or services. The Project will not conflict with any program, plan, ordinance, or policy addressing the circulation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

system, including transit, roadway, bicycle and pedestrian facilities. Therefore, the Project has no impact.

b) Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

Senate Bill 743 (SB 743) was passed by the California State Legislature and signed into law by Governor Brown in 2013. SB 743 required the Office of Planning and Research and the California Natural Resources Agency to develop alternative methods of measuring transportation impacts under the California Environmental Quality Act (CEQA). In December 2018, the California Natural Resources Agency finalized updates to the CEQA Guidelines, which included SB 743. Section 15064.3 of the 2019 State CEQA Guidelines provide that transportation impacts of projects are, in general, best measured by evaluating the project's vehicle miles traveled (VMT). Automobile delay (often called Level of Service) will no longer be an environmental impact under CEQA. Automobile delay can, however, still be used by agencies to determine local operational impacts. The provisions of this section are not mandatory until July 1, 2020; however, local agencies may choose to opt in before that date. At the time of preparation of this report, the City has not updated their procedures to analyze VMT; thus, this Project is not currently subject to section 15064.3 of the 2019 CEQA Guidelines. The Project has no impact.

c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

The proposed Project does not propose any design features that would increase traffic hazards, as the Project is consistent with the City's General Plan Circulation Element. Additional surrounding land uses include commercial/industrial buildings to the north and west, including the California City Municipal Airport to the north and east as well. Thus, the Project is not introducing a substantially different land use to the area and will be compatible with adjacent uses. In addition, the Project does not include road improvements, features that interfere with site distance, or changes to the circulation or traffic patterns. As such, the Project will not increase hazards due to a design feature or incompatible use. Therefore, the Project has no impact.

d) Alter waterborne, rail or air traffic?

The proposed Project is not located in close proximity to any water body or railway; therefore, the project will not impact traffic concerning these resources. The proposed Project is adjacent to the California City Municipal Airport and is within their SOI and AIA; however, the project will not impact the airport facilities or cause traffic that will impact ingress and egress to the airport. Additionally, the Project is consistent with the requirements and policies of the Kern County Airport Land Use Compatibility Plan (ALUCP) and will not impact airport operations in any manner. Less than significant impacts are anticipated.

e) Result in inadequate emergency access?

The proposed Project will provide adequate access to emergency response vehicles, as required by the City of California City and in accordance with the Fire and Police Department review and requirements. Site plan review would include in-depth analysis of emergency access to the site to ensure proper access to facilities. As mentioned previously, the proposed site plan provides vehicular access on Curtiss Place. The design details of vehicular driveways will be reviewed and approved by the Fire Department and the City. The Project is anticipated to provide proper premises identification with legible site name, address numbers, and clear signage indicating the site access points. Measures that protect life and safety include operational fire hydrants and extinguishers to be placed in conspicuous areas consistent with the NPFA. Potential impacts are less than significant.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

44. Tribal Cultural Resources

a) Would the Project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 2574 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k); or,

b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c). of Public Resources Code Section 5024.1 for the purpose of this paragraph, the lead agency shall consider the significance to a California Native tribe.

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Open Space Element.

Findings of Fact: As previously discussed in the Cultural Resources discussion of this document, there are five recorded historic archaeological sites within the City according to the California City General Plan. The archaeological sites are not found within the Project area. Additionally, a cultural resource survey was completed by the California Archaeological Inventory Southern San Joaquin Valley Information Center for California City's General Plan. The cultural resource survey concluded that no cultural resources were found on the Project site or with proximity to the site (discussed in Cultural Resources: Sections 8-9). The historical, cultural, and archaeological resources surveys outlined within the California City General Plan indicate that the Project site is not listed or eligible for listing in the California Register of Historical Resources or in a local register. Therefore, no impacts are anticipated with project implementation.

As previously discussed, the land surveys prepared for the California City General Plan did not indicate the presence of historic resources, cultural resources, and archaeological resources on or near the project site. Additionally, the California City General Plan states that the City had no Native American Sacred Sites within the City's boundary. Therefore, project implementation is not expected to have a substantial adverse change in a significant Tribal cultural resource. Less than significant impacts are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

45. Bike Trails

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Open Space Element. Kern COG 2018 Regional Transportation Plan (RTP)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact: The property, in addition to the surrounding property, were previously analyzed in both the City's General Plan EIR and as part of the Kern COG 2018 RTP, and the Project will not increase the need for bike trails and other ancillary recreational facilities and services. The Project will be required to pay fees which will address the incremental need that results from this Project upon recreational trails, bikeways, or service paths.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

UTILITY AND SERVICE SYSTEMS Would the Project

46. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the Project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City Stormwater Masterplan, dated 2002.

Findings of Fact: The City's wastewater system consists of numerous gravity lines and lift stations. The Wastewater Operations Division provides maintenance of all wastewater collection and transportation and oversees the treatment for the City in addition to monitoring and implementation of wastewater regulations. Sanitary sewers are cleaned regularly, and their condition is monitored on a regular basis. According to the California City Urban Water Management Plan Update 2017, California City owns and operates 1.5 million gallons per day (MGD) extended aeration activated sludge tertiary treatment facility (WWTP) and all domestic sewer collection systems within the City limits. The existing California City Wastewater Treatment Facility, located at 10835 Nelson Drive, is designed to treat an average flow of 1.5 MGD and peak flow of 3.0 MGD, where in 2015, the influent flow was 0.8 MGD. A City-maintained sewer line currently lies within Olson Street and Curtiss Place, and the Project proposes to connect to the existing infrastructure which will provide service to the Project site.

The project is proposing 41,472 SF cannabis cultivation facility. Wastewater is expected to be minimal as the project would only require up to 10 employees on site. Additionally, irrigation runoff will be collected for further re-use, or it will be stored until hauled offsite and disposed of in accordance with local and state regulations. The project is not expected to exceed wastewater treatment requirements of the State Regional Water Quality Control Board (SRWQCB) (Fremont Valley Sub-basin). In addition, City and other local and governmental agency review will ensure compliance with all current and applicable wastewater treatment requirements. Less than significant impacts are expected.

California City Water Department provides domestic water service to the adjacent property located at 6298 Curtiss Place, which is where the Project will tie into the existing connection and meter. The City provides approximately 4,410 active service water connections to its incorporated area (203 square miles). The City maintains approximately 313 miles of water main lines ranging in size from 4 to 21 inches in diameter, and a 20-inch transmission line connects the City wells to the reservoirs located in the foothills. As stated in the prior discussion, the California City Wastewater Treatment Facility, which is designed to treat an average flow of 1.5 million gallons per day, and peak flow of 3.0 MD.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The approximately 1.76-acre project site is currently vacant and undeveloped, with scattered vegetation. Existing facilities such as water and electricity currently run along Willow Ave. The proposed Project will connect to an existing 6-inch water main line, which is currently available in Willow Ave and served by the City. The wastewater from the proposed project is expected to be minimal and accommodated given the size and nature of the project.

Groundwater is the primary source of domestic water supply in California City. According to the Urban Water Management Plan, California City currently uses six groundwater wells and surface water purchased from the AVEK for its groundwater supply. The project property lies within the Fremont Valley Groundwater Sub-basin, within the Lahontan Region (Region 6). The project site is managed by the Fremont Valley Groundwater Basin Integrated Regional Water Management Group (IRWVG), which consists of California City, Mojave Public Utility District (MPUD), and the AVEK.

As stated previously, groundwater wells in California City produced over 93-percent (%) of the water supply in 2000 to 2001. Per the Urban Water Management Plan, water source well #14 is the closest facility within the vicinity of the project site and is located on Mendiburu Avenue where it intersects with Yerba Boulevard, north of California City Boulevard, which is less than one mile southeast of the Project site. According to the 2015 Urban Water Management Plan (UWMP) updated in 2017, the addition of two new wells will assist in the City's goal in meeting future water demands from 2020 through 2040. These wells include Well No. 10 in 2018 and Well No. 11 in 2019. As stated in the UWMP, it is projected that in 2040 the City will be using 82.3 percent of the current water production capacity. It is noted that 82.3 percent capacity utilization in 2040 is conservative and that for the foreseeable future, the City has excess production capacity that will handle system demands year-round and during worst case summer demand months. As required by the policies of the General Plan, the City will continue to cooperate with IRWVG and other agencies/jurisdictions in implementing a groundwater replenishment and ensuring the viability of the Fremont Valley Sub-basin. The proposed development will be expected to follow water conservation guidelines to mitigate impacts to public water supplies. Examples of these water conservation methods include water conserving plumbing fixtures, drought tolerant landscaping, and drip irrigation systems. The project proposes to connect to the existing water meter located on the adjacent parcel. Additional domestic water improvements necessary to serve this development will be identified by IRWVG and approved by the City of California City. Less than significant impacts to water supply are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
47. Sewer				
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the Project that it has adequate capacity to serve the Project's Projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Land Use Element, Final-15415-LAMP (2018)

Findings of Fact: The City of California City operates one wastewater treatment plant located at 5835 Nelson Drive, approximately 4.5-miles east of the project site. All City sewage is collected into sewage mains and delivered to the 1 MGD sanitary facility. The existing wastewater treatment facility collected domestic wastewater to approximately 5 percent of the City's sewer system, while the remaining 70-percent (%) is served by onsite septic systems. The existing California City Wastewater Treatment Facility is designed to treat an average flow of 1.5 MGD and peak flow of 3.0 MGD. Currently, the average influent flow is 0.8 MGD. The Project is located in Sewer Density Zone #73. As of 2018, this zone was at 1.9% total use, according to Table 2 (page 88) of the FINAL LAMP referenced above. Since little development has occurred in the last 4-years, and due to the size and nature of the project, the wastewater treatment provider is anticipated to have adequate capacity for Project implementation. Additionally, the operation and construction of the Project will comply with the requirements of the City, and the State Regional Water Quality Control Board. Less than significant impacts to wastewater treatment are expected.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

48. Solid Waste				
a) Is the Project served by a landfill with sufficient permitted capacity to accommodate the Project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the Project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (City Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Findings of Fact: Solid waste disposal and recycling services for the City of California City, including the Project, are provided by Waste Management. Solid waste generated by the project would consist of standard household/office waste. Commercial waste and recycling collected from the proposed Project will be hauled to the California City Recycling and Transfer Station (15-AA-0401). Waste from this transfer station is then sent to a permitted landfill or recycling facility within Kern County. These include Bena, Boron, Mojave-Rosamond, Ridgecrest, Shafter-Wasco, Taft, and Tehachapi Landfills.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Cal Recycle data indicates that these landfills have 3 to 90-percent (%) of their remaining estimated capacity, with the Mojave-Rosamond Sanitary Landfill having the lowest remaining capacity, 3-percent (%), and the Boron Sanitary Landfill with approximately 90-percent (%) remaining capacity. Therefore, there is adequate capacity to serve the proposed Project, and less than significant impacts are expected.

Cannabis waste generated by the facility will be minimized to the maximum extent feasible. Currently, Waste Management does not provide removal of cannabis waste. As such, the City is currently undergoing a procurement for a solid waste contract to specifically manage solid waste generated from the cannabis cultivation process. However, the Project can also self-haul cannabis waste or dispose of cannabis green waste at a license disposal facility, or have a license cannabis waste hauler come remove cannabis waste, in accordance with State regulations.

The Project will comply with all applicable solid waste statutes and guidelines. No impacts are expected relative to solid waste statues and regulations.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

49. Utilities

Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) <u>Other governmental services?</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element.

Findings of Fact: The Project will not produce an impact upon existing or planned City or district utility services. The addition of a 41,472 SF commercial cultivation facility will not increase the need for utility services or create the need to substantial retrofit existing utility infrastructure. No impact is anticipated from the proposed Project.

- a) Electricity: The property will be served by Southern California Edison which has an obligation to serve and provides electrical service to several properties along Curtiss Place. The Project will not require additional electricity beyond that of similar commercial/industrial operations. As such, no impact is anticipated.
- b) Natural Gas: The property has gas service at the property line and on the adjacent parcel.. The property will use natural gas service for the generators, but s will not require additional electricity beyond that of similar commercial/industrial operations. As such, no impact is anticipated.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- c) Communications: The Project will not require telecommunications service beyond that of a typical business operation. As such, no impact is anticipated.
- d) Storm water drainage: The Project is served by the City public works department. No expansion of service is anticipated. Additionally, the Project includes a drainage plan and storm water will be managed onsite. As such, no impact is anticipated.
- e) Street Lighting: The Project is served by the City public works department. No expansion of streetlights is required. As such, no impact is anticipated.
- f) Maintenance of public facilities; including roads: The Project will not cause the creation of new public roads or facilities. As such, no impact is anticipated.
- g) Other government services: The operations of the future Project will comply with the City's Cannabis Program and all provisions of the City Municipal Code. No impacts to services are anticipated.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Necessary

50. WILDFIRE. If located in or near state responsibility areas classified as very high hazard severity zone, would the project:

a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate pollutant concentrations from a wildfire or uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan Safety Element. California Department of Forestry and Fire Protection: State Responsibility Areas for Fire Protection.

Findings of Fact:

- a) The Project will not result in an impact to an adopted emergency response plan or emergency evacuation plan due to the infill nature of the Project. The anticipated structures will comply with county and local fire codes, including the development of an evacuation plan which is required by City Ordinance.
- b) The Project is not located on a parcel of land that is constrained by slopes or subject to other factors that will exacerbate wildfire risks. The property is sparsely vegetated with low-lying scrub brush and mostly decomposed granite, having been compacted for decade through wind and water erosion.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- c) The Project is located on an in-fill parcel, with existing paved access and is not within an area designated as high fire. The construction of infrastructure improvements will have no impact upon wildfire risks.
- d) The Project will not expose people or structures to the risks of downslope or downstream flooding or landslides from post-fire instability. As previously mentioned, the parcel in which the Project is proposed is not located within or near a state responsibility area or an area classified as high fire. As such, no impacts can or will occur.

MANDATORY FINDINGS OF SIGNIFICANCE

51. Does the Project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: City of California City Municipal Code; City of California City Final General Plan 2009-2028; California City General Plan.

Findings of Fact: As concluded in the Biological and Cultural Resources sections of this document, the proposed Project would result in no impacts or less than significant impacts with mitigation for these resources. The Project is considered infill development within an area considered in the City’s General Plan, and it is compatible with the City’s General Plan land use designation for M-1 (Light Industrial Zoning District) and its surroundings. The project will not significantly degrade the overall quality of the region’s environment, or substantially reduce the habitat of a wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number, or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. Less than significant Impacts with mitigation is expected.

52. Does the Project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a Project are considerable when viewed in connection with the effects of past Projects, other current Projects and probable future Projects)?

Source: Staff review, Project Application Materials

Findings of Fact The Project is located in a developed setting designated for Community Commercial uses. Cultivation of commercial cannabis is allowed within the M-1 (Light Industrial Zoning District) with cannabis cultivation and manufacturing permit from the City of California City, and must follow all applicable state and local laws and regulations pertaining to the industrial and commercial cannabis cultivation permit business and activities, including the duty of obtaining any required state licenses.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The facility would be compatible with the existing and future land uses within the M-1 zone. Based upon the information and mitigation measures provided-within this Initial Study, implementation of the proposed cultivation-and processing facility is not expected to result in impacts that, when considered in relation to other past, current, or probable future projects, would be cumulatively considerable. Less than significant impacts are expected.

53. Does the Project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, Project application

Findings of Fact: As discussed in the various sections throughout this Initial Study, the proposed Project would not include a land use that could result in substantial adverse effects on human beings. The City of California City has established regulations pertaining to commercial cannabis facilities to ensure these businesses do not conflict with the City's General Plan, its surrounding uses, or become detrimental to the public's health, safety, and welfare. The City's review process of cannabis facilities and facility operations will ensure that the regulations are fully implemented. Based upon the findings provided in this document, and mitigation measures and standard conditions incorporated into the project, less than significant impacts are expected.

V. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

- City of California City General Plan Environmental Impact Report (<http://www.californiacity-ca.gov/CC/index.php/planning/planning-publications>)
- Kern COG 2018 Regional Transportation Plan (<https://www.kerncog.org/category/docs/rtp/>)

Location Where Earlier Analyses, if used, are available for review:

Location:
 City of California City
 250 Hacienda Boulevard
 California City, CA 93505-2293
 (760) 373-8661

VI. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 2583 and 2583.05; References: California Government Code Section 65088.4; Public Resources Code Sections 2580(c), 2580.1, 2580.3, 2582.1, 2583, 2583.05, 2583.3, 2593, 2594, 2595 and 21151; Sundstrom v. County of Mendocino (1988) 202 Cal.App.3d 296; Leonoff v. Monterey Board of Supervisors (1990) 222 Cal.App.3d 1337; Eureka Citizens for Responsible Govt. v. City of Eureka (2007) 147 Cal.App.4th 357; Protect the Historic Amador Waterways v. Amador Water Agency (2004) 121 Cal.App.4th at 159; San Franciscans Upholding the Downtown Plan v. City and County of San Francisco (2002) 52 Cal.App.4th 656.

GENERAL BIOLOGICAL RESOURCES ASSESSMENT

**CALIFORNIA CITY, KERN COUNTY, CALIFORNIA
APN: 216-180-018**

Prepared for:

**Friedman Architects & Contractors
2059 E. Foothill Blvd.
Pasadena, CA 91107**

Prepared by:

**RCA Associates, Inc.
15555 Main Street, #D4-235
Hesperia, California 92345
(760) 596-0017**

**Principal Investigators:
Ryan Hunter, Senior Environmental Scientist/Biologist
Jessica Hensley, Biologist**



Project: #2021-229 BA

Updated March 29, 2022

TITLE PAGE

Date Report Updated: March 29, 2022

Date Field Work Completed: November 16, 2021

Report Title: General Biological Resources Assessment

Project Location: California City, California
APN: 216-180-018

Prepared for: Friedman Architects & Contractors
2059 E. Foothill Blvd.
Pasadena, CA 91107

Principal Investigators: Ryan Hunter, Environmental Scientist/Biologist
Jessica Hensley, Biologist

Contact Information: Randall C. Arnold, Jr.
RCA Associates, Inc.
15555 Main Street, #D4-235
Hesperia, California 92345
(760) 596-0017
rarnold@rcaassociatesllc.com
www.rcaassociatesllc.com

Table of Contents

1.0	INTRODUCTION AND SUMMARY	1
2.0	EXISTING CONDITIONS.....	2
3.0	METHODOLOGIES	4
4.0	LITERATURE SEARCH	5
5.0	RESULTS	7
5.1	General Biological Resources	7
5.2	Federal and State Listed Species	8
5.3	Wildlife Species of Special Concern.....	8
5.5	Protected Plants	9
6.0	IMPACTS AND MITIGATION MEASURES	10
6.1	General Biological Resources	10
6.2	Federal and State Listed and Species of Special Concern	10
7.0	CONCLUSIONS AND RECOMMENDATIONS	11
8.0	BIBLIOGRAPHY	11
	CERTIFICATION	14

Appendix A – Tables and Figures
Regulatory Context

1.0 INTRODUCTION AND SUMMARY

Biological surveys were conducted on a 1.76-acre parcel (approximately) located roughly 100-yards north-east of the intersection of Curtis Place and Lindbergh Boulevard in the City of California City, California (Township 32 South, Range 37 East, Section 16, USGS Mojave NE, California Quadrangle, 1956) (Figures 1, 2, and 3).

As part of the environmental process, California Department of Fish and Wildlife (CDFW) and U.S. Fish and Wildlife Service (USFWS) data sources were reviewed. Following the data review, surveys were performed on the site on November 16, 2021, during which the biological resources on the site and in the surrounding areas were documented by biologists from RCA Associates, Inc. As part of the surveys, the property and adjoining areas were evaluated for the presence of native habitats which may support populations of sensitive wildlife species. The property was also evaluated for the presence of sensitive habitats including wetlands, vernal pools, riparian habitats, and jurisdictional areas.

Habitat assessments were also conducted for the desert tortoise, burrowing owl, and Mohave ground squirrel. Based on data from USFWS, CDFW, and a search of the California Natural Diversity Database (CNDDDB, 2021). Scientific nomenclature for this report is based on the following references: Hickman (1993), Munz (1974), Stebbins (2003), Sibley (2000) and Whitaker (1980).

2.0 EXISTING CONDITIONS

The property is approximately 1.76-acre in size and is located roughly 100-yards north-east of the intersection of Curtis Place and Lindbergh Boulevard in the City of California City, California (Township 32 South, Range 37 East, Section 16, USGS Mojave NE, California Quadrangle, 1956) (Figures 1, 2, and 3). The property is bordered on the north and west by commercial businesses and buildings, to the east is the California City Airport, and vacant land borders the property to the south.

The site is approximately 740 meters above sea level, relatively flat, and has no slope. The project site supports a highly disturbed desert scrub habitat common in the region that has been previously graded and cleared of all vegetation minus a few ruderal plant species that have managed to colonize along the boundaries of the site. Vegetation observed on site was limited to native species such as creosote bush (*Larrea tridentata*) and non-native species such as Asian mustard (*Brassica tournefortii*) and western tansymustard (*Descurainia pinnata*). Section 5.0 provides a more detailed discussion of the various plant species observed during the surveys.

The site supports minimal wildlife species, with many of them being birds. No mammals were observed during the field investigations on November 16, 2021. Some mammals that are expected to occur on site given their common occurrence in the region include desert cottontails (*Sylvilagus audubonii*), antelope ground squirrel (*Ammospermophilus leucurus*), California ground squirrel (*Otospermophilus beecheyi*), black-tailed jackrabbit (*Lepus californicus*), and coyote (*Canis latrans*).

Birds observed included ravens (*Corvus corax*), say's phoebe (*Sayornis saya*), and house finch (*Haemorhous mexicanus*). Section 5.0 provides a more detailed discussion of the various species observed during the surveys.

No reptiles were observed during the field survey, although some species that may occur on site included the common side-blotched lizard (*Uta stansburiana*), desert spiny lizard (*Sceloporus magister*), the western whiptail lizard (*Cnemidophorus tigris*), and the long nose leopard lizard (*Gambelia wislizenii*). Table 2 provides a compendium of wildlife species.

In addition, no sensitive habitats (e.g., sensitive species critical habitats, etc.) have been documented in the immediate area according to the CNDDDB (2021) and none were observed during the field investigations.

3.0 METHODOLOGIES

General biological surveys were conducted on November 16, 2021, during which biologists from RCA Associates, Inc. initially walked meandering transects throughout the property. During the surveys, data was collected on the plant and animal species present on the site. All plants and animals detected during the surveys were recorded and are provided in Tables 1 & 2 (Appendix A). The property was also evaluated for the presence of habitats which might support sensitive species. Scientific nomenclature for this report is based on the following references: Hickman (1993), Munz (1974), Stebbins (2003), Sibley (2000) and Whitaker (1980). Following completion of the initial reconnaissance survey, habitat assessments were conducted for the desert tortoise and burrowing owl, and Mohave ground squirrel. Weather conditions consisted of wind speeds of 0 to 5 mph, temperatures in the mid 60's to low 70's (°F) (AM) with 50% cloud cover. The applicable methodologies are summarized below.

General Plant and Animal Surveys: Meandering transects were walked on the site and in surrounding areas (i.e., the zone of influence) where accessible at a pace that allowed for careful documentation of the plant and animal species present on the site. All plants observed were identified in the field and wildlife was identified through visual observations and/or by vocalizations. Habitat assessments were conducted for the desert tortoise, burrowing owl, and Mohave ground squirrel. Tables 1 and 2 (Appendix A) provides a comprehensive compendium of the various plant and animal; species observed during the field investigations.

4.0 LITERATURE SEARCH

As part of the environmental process, a search of the California Natural Diversity Database (CNDDDB) search was performed. Based on this review, it was determined that seven special status species have been documented within the Mojave NE quad of the property. The following tables provide data on each special status species which has been documented in the area.

Table 4-1: Federal and State Listed Species and State Species of Special Concern.

E = Endangered; T = Threatened; SSC = Species of special concern; CNPS = California Native Plant Society; CNDDDB = California Natural Diversity Data Base

NAME	STATUS	HABITAT REQUIREMENTS	PRESENCE/ ABSENCE ON PROPERTY
Wildlife Species			
Within Mojave NE Quadrangle			
Desert tortoise (<i>Gopherus agassizii</i>)	Federal: Threatened State: Threatened	Desert scrub	The site is located within the known distribution of the species. An evaluation of the area and property was conducted and no tortoises or suitable habitat was observed.
Burrowing owl (<i>Athene cucularia</i>)	Federal: None State: None CDFW: SSC	Grasslands and desert habitats	The site does not support suitable habitat for the species; and no owls or owl sign were observed during field surveys.
Mohave ground squirrel (<i>Xerospermophilus mohavensis</i>)	Federal: None State: Threatened	Desert scrub	The site does not support suitable habitat for the species. Species have not been identified in the area recently; therefore, species are not likely to inhabit the site.
Loggerhead shrike (<i>Lanius ludovicianus</i>)	Federal: None State: None CDFW: SSC	Open grasslands, pastures, and prairies.	Site does not support suitable habitat for the species; and no Loggerhead shrikes were observed during the field survey.
Le Conte's thrasher (<i>Toxostoma lecontei</i>)	Federal: None State: None CDFW: SSC	Desert scrub	Site does not support suitable habitat for the species; and no thrashers were observed during the field survey.
American badger (<i>Taxidea taxus</i>)	Federal: None State: None CDFW: SSC	Open plains and prairies, farmland, and sometimes edges of woodlands.	Site does not support suitable habitat for the species; and no thrashers were observed during the field survey.

Charlotte's phacelia (<i>Phacelia nashiana</i>)	Federal: None State: None	Scrub woodland and granite mountain slopes	Site does not support suitable habitat for the species; and no thrashers were observed during the field survey.
---	------------------------------	--	---

5.0 RESULTS

5.1 General Biological Resources

The site supports a highly disturbed desert scrub community which has been previously graded and cleared of all vegetation (Figure 3). Species present on the site included kelch grass (*Schismus barbatus*), creosote bush (*Larrea tridentata*), rubber rabbitbrush (*Ericameria nauseosa*), Asian mustard (*Brassica tournefortii*), western tansy mustard (*Descurainia pinnata*), and Russian thistle (*Kali tragus*). Table 1 provides a compendium of all plants occurring on the site and/or in the immediate surrounding area.

Birds observed included ravens (*Corvus corax*), Say's phoebe (*Sayornis saya*), house finch (*Haemorhous mexicanus*), red-tailed hawk (*Buteo jamaicensis*), mourning dove (*Zenaidura macroura*), and horned lark (*Eremophila alpestris*). No reptiles were observed during the field survey, although some species that may occur on site included the common side-blotched lizard (*Uta stansburiana*), desert spiny lizard (*Sceloporus magister*), the western whiptail lizard (*Cnemidophorus tigris*), and the long nose leopard lizard (*Gambelia wislizenii*). No mammals were observed during the field investigations performed on November 16, 2021. Mammal sign such as scat was observed belonging to desert cottontails (*Sylvilagus audubonii*) or black-tailed jackrabbit (*Lepus californicus*). Some other mammals that are expected to occur on site given their common occurrence in the region include antelope ground squirrel (*Ammospermophilus leucurus*) and California ground squirrel (*Otospermophilus beecheyi*). Merriam's kangaroo rats (*Dipodomys merriami*) may also occur on the site given their wide-spread distribution in the region. Tables 1 and 2 (Appendix A) provides a compendium of the various plant and animal species identified during the field investigations and those common to the area. No distinct wildlife corridors were identified on the site or in the immediate area.

No sensitive habitats (e.g., wetlands, vernal pools, critical habitats for sensitive species, etc.) were observed on the site during the field investigations.

The following are the listed and special status species that have the ability to occur on the project site. It is not a comprehensive list of all the species in the quad. This information has been taken from the California Natural Diversity Database and is using the most current version.

5.2 Federal and State Listed Species

Desert Tortoise: The site is located within the documented tortoise, a state and federal threatened species, habitat according to CNDDDB (2021). The property supports very marginal habitat for the desert tortoise based on the location of the site in a semi-developed area of California City. No tortoises were observed anywhere within the property boundaries during the November 16, 2021 surveys. The species is not expected to move onto the site in the near future based on the absence of any sign, absence of any recent observations in the immediate area, and the presence of busy roadways and developments in the immediate area which may act as barriers to migration of tortoises. The protocol survey results are valid for one year as per CDFW and USFWS requirements.

Mohave Ground Squirrel: The Mohave ground squirrel is a California state threatened species that have a short, flat, furred, white, underside tail, uniformly brown (with no spots or stripes). They inhabit open desert scrub, alkali desert scrub, and annual grasslands on sandy to gravelly surfaces in the Mojave Desert. No occupiable burrows were found on the site, and no Mohave ground squirrels were detected. It is the opinion of RCA Associates, Inc. that the habitat is not prime Mohave ground squirrel habitat and is very unlikely to support populations of the species based on the following criteria, that there have been two recent sightings, within recent years, of the species in the Mojave NE quadrangle.

5.3 Wildlife Species of Special Concern

Burrowing Owl: The site is located within documented burrowing owl habitat according to CNDDDB (2021). No owls were seen on the property during the survey, and no suitable habitat was observed. Burrowing owls are not expected to occur on the site due to lack of suitable vegetation and burrows.

Le Conte's thrasher: Le Conte's thrashers have not been recently observed in the area according to CNDDDB (2021). Thrashers are not expected to occur on the site due to lack of critical vegetation used by the species, such as saltbush and catclaw acacia. Thrashers may be very infrequent in the area given the low population levels in the region as well as the lack of any recent sightings according to the CNDDDB.

Loggerhead shrike: Loggerhead shrikes have not been recently observed in the area according to CNDDDB (2021). Shrikes are not expected to occur on the site due to lack of critical habitat used by the species, such as open country with scattered vegetation. Shrikes may be very infrequent in the area given the declining population levels in the region as well as the lack of any recent sightings according to the CNDDDB.

American Badger: American badgers are not expected to occur on site given the site's current condition. The site has been previously cleared of all vegetation and there are no suitable or potential burrows for the American badger within the site boundaries or immediate surrounding areas. Due to the lack of reported sightings of the species in the area, it is the opinion of RCA Associates, Inc. that the species will not occur on site.

Charlotte's phacelia: Charlotte's phacelia was not detected during the field surveys on site or in the surrounding area. The site lacks critical habitat for the species and it is not likely to occur on site in the future. This opinion was based on the site's current conditions of being graded and cleared of all vegetation and the specific habitat requirements of the species that are not present on or near the site.

5.4 Jurisdictional Waters and Riparian Habitat

No riparian vegetation (e.g., cottonwoods, willows, etc.) exist on the site or in the adjacent habitats.

5.5 Protected Plants

No protected plants were observed on site or in any of the surrounding areas.

6.0 IMPACTS AND MITIGATION MEASURES

6.1 General Biological Resources

Future development of the site will have minimal impact on the general biological resources present on the site, and most, if not all, of the vegetation left will likely be removed during future construction activities. Wildlife will also be impacted by development activities and those species with limited mobility (i.e., small mammals and reptiles) will experience increases in mortality during the construction phase. However, more mobile species (i.e., birds, large mammals) will be displaced into adjacent areas and will likely experience minimal impacts. Therefore, loss of about 1.76-acres of desert vegetation is not expected to have a significant cumulative impact on the overall biological resources in the region given the presence of similar habitat throughout the surrounding desert region. No sensitive habitats (e.g., wetlands, vernal pools, critical habitats for sensitive species, etc.) were observed on the site during the field investigations.

6.2 Federal and State Listed and Species of Special Concern

No federal or State-listed wildlife species were observed on the site during the field investigations including the Mohave ground squirrel and desert tortoise. In addition, there are no documented observations of these species either on the site or in the immediate area. The site is not expected to support populations of the desert tortoise based on the absence of suitable habitat.

As per CDFW protocol, the burrowing owl survey results are valid for only 30 days; therefore, CDFW may require a 30-day pre-construction survey be performed prior to any clearing/grading activities to determine if owls have moved on to the site since the November 16, 2021, surveys.

7.0 CONCLUSIONS AND CONSIDERATIONS

Future development activities include the grading and removal of all vegetation from the 1.76-acre parcel; however, cumulative impacts to the general biological resources (plants and animals) in the surrounding area are expected to be negligible. This assumption is based on the habitat containing scarce vegetation of non-native species. As discussed above, the site does not support any desert tortoises or burrowing owls due to the lack of suitable habitat and potential burrows. Some mitigation measures that may be considered are:

1. Pre-construction surveys for burrowing owls, desert tortoise, and nesting birds protected under the Migratory Bird Treaty Act and Section 3503 of the California Fish and Wildlife Code shall be conducted prior to the commencement of Project-related ground disturbance.
 - a. Appropriate survey methods and timeframes shall be established, to ensure that chances of detecting the target species are maximized. In the event that listed species, such as the desert tortoise, are encountered, authorization from the USFWS and CDFW must be obtained. If nesting birds are detected, avoidance measures shall be implemented to ensure that nests are not disturbed until after young have fledged.
 - b. Pre-construction surveys shall encompass all areas within the potential footprint of disturbance for the project, as well as a reasonable buffer around these areas.
2. Focused plant survey for all special status plant species that have the potential to occur on the site to be performed during the blooming season (April - June) to determine the potential environmental effects of the proposed projects on special status plants and sensitive natural communities following recommended protocols by the Department of Fish and Wildlife

If any sensitive species are observed on the property during future activities, CDFW and USFWS (as applicable) should be contacted to discuss specific mitigation measures which may be required for the individual species. CDFW and USFWS are the only agencies which can grant authorization for the “take” of any sensitive species and can approve the implementation of any applicable mitigation measures.

8.0 BIBLIOGRAPHY

- Baldwin, Bruce G, et. al.
2002. The Jepson Desert Manual. Vascular Plants of Southeastern California. University of California Press, Berkeley, CA.
- Bureau of Land Management
January 2005. Final Environmental Impact Report and Statement for the West Mojave Plan. Vol. 1A.
- California Burrowing Owl Consortium
1993. Burrowing Owl Survey Protocol and Mitigation Guidelines.
- California Department of Fish and Game
1990. California Wildlife: Volume 1 (Amphibians and Reptiles), Volume II (Birds), and Volume III (Mammals).
- California Department of Fish and Game
2003. Mohave Ground Squirrel Survey Guidelines.
- California Department of Fish and Game
2014. Rarefind 3 Natural Diversity Database. Habitat and Data Analysis Branch. Sacramento, CA.
- California Department of Fish and Game
March 7, 2013. Staff Report on Burrowing Owl Mitigation. 34 pp.
- California Native Plant Society
2001. Inventory of Rare and Endangered Plants of California (sixth edition). Rare Plant Scientific Advisory Committee, David P. Tibor, Convening Editor. California Native Plant Society. Sacramento, CA x + 388 pp.
- Ehrlich, P., Dobkin., Wheye, D.
Birder's Handbook. A Field Guide to the Natural History of North American Birds. Simon & Schuster Building Rockefeller Center 1230 Avenue of the Americas. New York, New York 10020.
- Hickman, James C.
The Jepson Manual Higher Plants of California. University of California Press. Berkeley, CA. 3rd Edition. 1996.
- Jaeger, Edmund C.
1969. Desert Wild Flowers. Stanford University Press, Stanford, California. 321 pp.
- Kays, R. W. & Wilson, D. E.
Mammals of North America. Princeton University Press, Princeton, New Jersey. 2002.

- Munz, Philip A.
1974. A Flora of Southern California. University of California Press, Berkeley, California. 1086 pp.
- Sibley, David Allen.
National Audubon Society. The Sibley guide to Birds. Alfred A Knopf, Inc. 2000.
- Stebbins, Robert C.
A Field Guide to Western Reptiles and Amphibians. Houghton Mifflin Company. 2003.
- U.S. Fish and Wildlife Service
2010 Desert Tortoise Survey Protocol.
- Whitaker, John O.
The Audubon Society Field Guide to North American Mammals. Alfred A Knopf, Inc. 1980.

CERTIFICATION

I hereby certify that the statements furnished above and in the attached exhibits, presents the data and information required for this biological evaluation, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief. Fieldwork conducted for this assessment was performed by Ryan Hunter and Jessica Hensley. I certify that I have not signed a non-disclosure or consultant confidentiality agreement with the project applicant or applicant's representative and that I have no financial interest in the project.

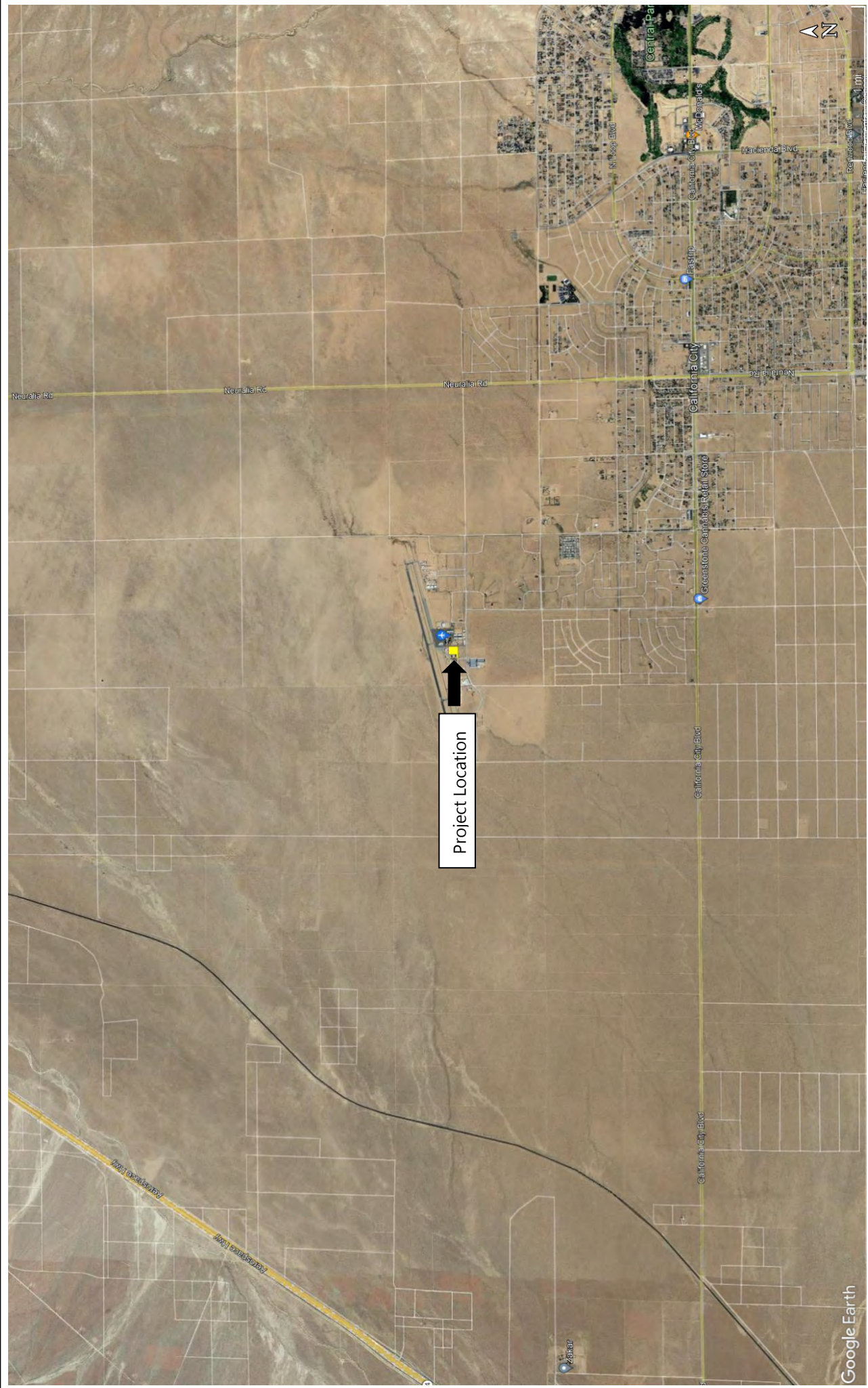
Date: 3/29/2022 Signed: *Ryan Hunter*

Jessica Hensley

Field Work Performed By: Ryan Hunter
Environmental Scientist/Biologist

Field Work Performed By: Jessica Hensley
Biologist

Appendix A
Tables and Figures



Project Location

Figure 1: Regional Exhibit



RCA Associates, Inc.
Source: Google Earth



Figure 2: Vicinity Exhibit

RCA Associates, Inc.
Source: Google Earth



CENTER OF SITE LOOKING NORTH



CENTER OF SITE LOOKING EAST



FIGURE 3: PHOTOGRAPHS OF SITE

CENTER OF SITE LOOKING SOUTH



CENTER OF SITE LOOKING WEST



FIGURE 3, cont: PHOTOGRAPHS OF SITE

PROJECT NAME
CURTISS GREENHOUSE

APN: 216-18-018

OWNER
 MOHAMMAD REZA
 SAADTMANDI
 13489 GLADSTONE AVE.
 SYLMAR CA 91342
 818-424-7835

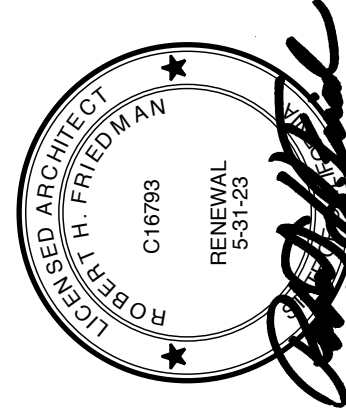
SHEET INDEX

REVISIONS

No.	Issue	Date

SHEET INFORMATION

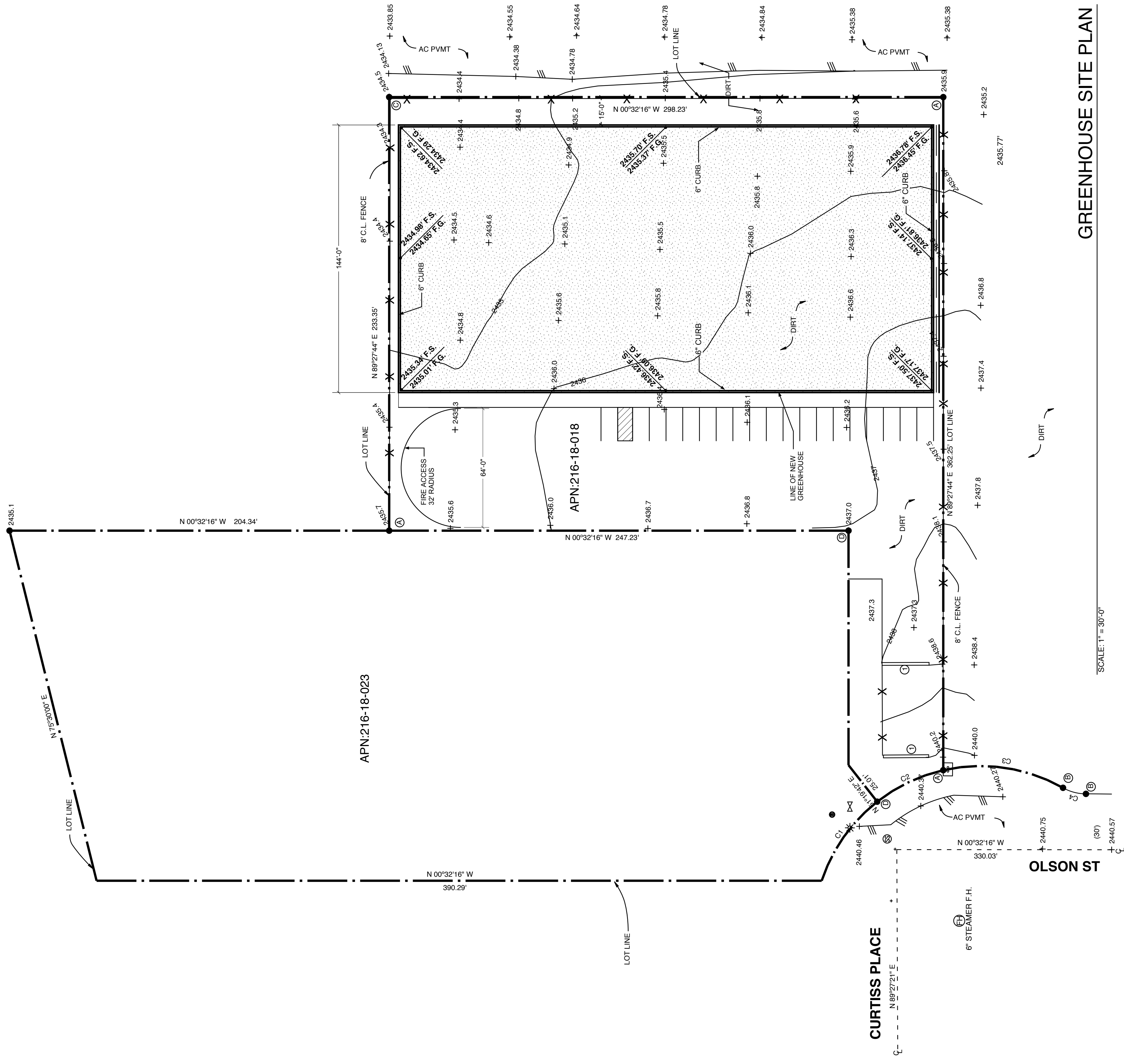
Job No.: _____
Drawn By: _____
Date: **September 14, 2021**
ROBERT H. FRIEDMAN C16783



SHEET TITLE
GREENHOUSE
SITE PLAN

SHEET NUMBER

A.1



GREENHOUSE SITE PLAN

FIGURE 4: SITE PLAN

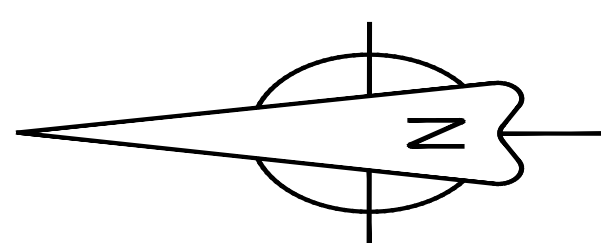
- LEGEND**
- ⊗ INDICATES WATER METER
 - ⊠ INDICATES PULL BOX (CABLE)
 - ⊛ INDICATES LIGHT STANDARD
 - ⊙ INDICATES SEWER CLEANOUT
 - ⊕ INDICATES SEWER MANHOLE

APN: 216-18-018

BENCH MARK:
 B.M. L71B (DF-4120), CA KERN
 USGS QUAD, MOJAVE NE (1994)
 N.A.V.D. 88' (2414.3)
 BRASS DISK MKR (L71B 2003)
 SET IN CONC. LOCATED AT THE EASTERN PART OF THE CA. CITY
 MUNICIPAL AIRPORT, S/O RUNWAY 6-24 & N/O PERIMETER FENCE.

NOTE: TBM PT 2 (MAG NAIL) ARE TO BE USED FOR ELEVATIONS ON PROJECT.

BASIS OF BEARINGS: 321.6" W FOR THE CENTERLINE OF CURTISS PLACE AS SHOWN ON TRACT 2528 WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP



SCALE 1" = 30 FEET

Table 1 - Plants observed on the site and known to occur in the immediate surrounding area.

Common Name	Scientific Name	Location
Asian mustard	<i>Brassica tournefortii</i>	On Site
Creosote bush	<i>Larrea tridentata</i>	“
Rubber rabbitbrush	<i>Ericameria nauseosa</i>	“
Kelch Grass	<i>Schismus barbatus</i>	“
Russian thistle	<i>Kali tragus</i>	“
Western tansy mustard	<i>Descurainia pinnata</i>	“
Shortpod mustard	<i>Hirschfeldia incana</i>	“

Note: The above list is not intended to be a comprehensive list of every plant which may occur on the site or in the zone of influence.

Table 2 - Wildlife observed on the site during the field investigations.

Common Name	Scientific Name	Location
Common raven	<i>Corvus corax</i>	On-site and in the surrounding area.
Say's phoebe	<i>Sayornis saya</i>	“
Mourning dove	<i>Zenaida macroura</i>	“
Horned lark	<i>Eremophila alpestris</i>	“
House finch	<i>Haemorhous mexicanus</i>	“
Red-tailed hawk	<i>Buteo jamaicensis</i>	“
Black-tailed jackrabbit	<i>Lepus californicus</i>	“
Coyote	<i>Canis latrans</i>	“
Antelope ground squirrel	<i>Ammospermophilus leucurus</i>	“

Note: The above Table is not a comprehensive list of every animal species which may occur in the area, but is a list of those common species which were identified on the site or which have been observed in the region by biologists from RCA Associates, Inc.

REGULATORY CONTEXT

The following provides a summary of federal and state regulatory jurisdiction over biological and wetland resources. Although most of these regulations do not directly apply to the site, given the general lack of sensitive resources, they provide important background information.

Federal Endangered Species Act

The USFWS has jurisdiction over federally listed threatened and endangered plant and animal species. The federal Endangered Species Act (ESA) and its implementing regulations prohibit the take of any fish or wildlife species that is federally listed as threatened or endangered without prior approval pursuant to either Section 7 or Section 10 of the ESA. ESA defines “take” as “harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct.” Federal regulation 50CFR17.3 defines the term “harass” as an intentional or negligent act that creates the likelihood of injuring wildlife by annoying it to such an extent as to significantly disrupt normal behavior patterns such as breeding, feeding, or sheltering (50CFR17.3). Furthermore, federal regulation 50CFR17.3 defines “harm” as an act that either kills or injures a listed species. By definition, “harm” includes habitat modification or degradation that actually kills or injures a listed species by significantly impairing essential behavior patterns such as breeding, spawning, rearing, migrating, feeding, or sheltering (50CFR217.12).

Section 10(a) of the ESA establishes a process for obtaining an incidental take permit that authorizes nonfederal entities to incidentally take federally listed wildlife or fish. Incidental take is defined by ESA as take that is “incidental to, and not the purpose of, the carrying out of another wise lawful activity.” Preparation of a habitat conservation plan, generally referred to as an HCP, is required for all Section 10(a) permit applications. The USFWS and National Oceanic and Atmospheric Administration’s National Marine Fisheries Service (NOAA Fisheries Service) have joint authority under the ESA for administering the incidental take program. NOAA Fisheries Service has jurisdiction over anadromous fish species and USFWS has jurisdiction over all other fish and wildlife species.

Section 7 of the ESA requires all federal agencies to ensure that any action they authorize, fund, or carry out is not likely to jeopardize the continued existence of any species listed under the ESA, or result in the destruction or adverse modification of its habitat. Federal agencies are also required

to minimize impacts to all listed species resulting from their actions, including issuance or permits or funding. Section 7 requires consideration of the indirect effects of a project, effects on federally listed plants, and effects on critical habitat (ESA requires that the USFWS identify critical habitat to the maximum extent that it is prudent and determinable when a species is listed as threatened or endangered). This consultation results in a Biological Opinion prepared by the USFWS stating whether implementation of the HCP will result in jeopardy to any HCP Covered Species or will adversely modify critical habitat and the measures necessary to avoid or minimize effects to listed species.

Although federally listed animals are legally protected from harm no matter where they occur, Section 9 of the ESA provides protection for endangered plants by prohibiting the malicious destruction on federal land and other “take” that violates State law. Protection for plants not living on federal lands is provided by the California Endangered Species Act.

California Endangered Species Act

CDFW has jurisdiction over species listed as threatened or endangered under Section 2080 of the California Fish and Wildlife Code. Section 2080 prohibits the take of a species listed by CDFW as threatened or endangered. The state definition of take is similar to the federal definition, except that Section 2080 does not prohibit indirect harm to listed species by way of habitat modification. To qualify as take under the state ESA, an action must have direct, demonstrable detrimental effect on individuals of the species. Impacts on habitat that may ultimately result in effects on individuals are not considered take under the state ESA but can be considered take under the federal ESA.

Proponents of a project affecting a state-listed species must consult with CDFW and enter into a management agreement and take permit under Section 2081. The state ESA consultation process is similar to the federal process. California ESA does not require preparation of a state biological assessment; the federal biological assessment and the CEQA analysis or any other relevant information can provide the basis for consultation. California ESA requires that CDFW coordinate consultation for joint federally listed and state-listed species to the extent possible; generally, the state opinion for the listed species is brief and references provisions under the federal opinion.

Clean Water Act, Section 404

The COE and the U.S. Environmental Protection Agency regulate the placement of dredged or fill material into “Waters of the United States” under Section 404 of the Clean Water Act. Waters of the United States include lakes, rivers, streams, and their tributaries, and wetlands. Wetlands are defined for regulatory purposes as “areas inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions” (33 Code of Federal Regulations [CFR] 328.3, 40 CFR 230.3).

The COE may issue either individual permits on a case-by-case basis or general permits on a program level. General permits are pre-authorized and are issued to cover similar activities that are expected to cause only minimal adverse environmental effects. Nationwide permits (NWP’s) are general permits issued to cover particular fill activities. All NWP’s have general conditions that must be met for the permits to apply to a particular project, as well as specific conditions that apply to each NWP.

Clean Water Act, Section 401

Section 401 of the Clean Water Act requires water quality certification and authorization of placement of dredged or fill material in wetlands and Other Waters of the United States. In accordance with Section 401 of the Clean Water Act, criteria for allowable discharges into surface waters have been developed by the State Water Resources Control Board, Division of Water Quality. As such, proponents of any new project which may impair water quality as a result of the project are required to create a post construction stormwater management plan to ensure offsite water quality is not degraded. The resulting requirements are used as criteria in granting National Pollution Discharge Elimination System (NPDES) permits or waivers, which are obtained through the Central Valley Regional Water Quality Control Board (RWQCB). Any activity or facility that will discharge waste (such as soils from construction) into surface waters, or from which waste may be discharged, must obtain an NPDES permit or waiver from the RWQCB. The RWQCB evaluates an NPDES permit application to determine whether the proposed discharge is consistent with the adopted water quality objectives of the basin plan.

California Fish and Wildlife Code, Sections 1600-1616

Under the California Fish and Wildlife Code, Sections 1600-1616 CDFW regulates projects that divert, obstruct, or change the natural flow or bed, channel, or bank of any river, stream, or lake. Proponents of such projects must notify CDFW and enter into a streambed alteration agreement with them.

Section 1602 of the California Fish and Wildlife Code requires a state or local government agency, public utility, or private entity to notify CDFW before it begins a construction project that will: (1) divert, obstruct, or change the natural flow or the bed, bank, channel, or bank of any river, stream, or lake; (2) use materials from a streambed; or (3) result in the disposal or deposition of debris, waste, or other material containing crumbled, flaked, or ground pavement where it can pass into any river, stream, or lake. Once the notification is filed and determined to be complete, CDFW issues a streambed alteration agreement that contains conditions for construction and operations of the proposed project.

California Fish and Wildlife Code, Section 3503.5

Under the California Fish and Wildlife Code, Section 3503.5, it is unlawful to take, possess, or destroy any birds in the order Falconiformes (hawks, eagles, and falcons) or Strigiformes (owls). Take would include the disturbance of an active nest resulting in the abandonment or loss of young.

Migratory Bird Treaty Act

The federal Migratory Bird Treaty Act (MBTA) prohibits the taking, hunting, killing, selling, purchasing, etc. of migratory birds, parts of migratory birds, or their eggs and nests. As used in the MBTA, the term “take” is defined as “to pursue, hunt, shoot, capture, collect, kill, or attempt to pursue, hunt, shoot, capture, collect, or kill, unless the context otherwise requires.” Most bird species native to North America are covered by this act.

Sensitive Natural Communities

The California Office of Planning and Research and the Office of Permit Assistance (1986) define project effects that substantially diminish habitat for fish, wildlife, or plants, or that disrupt or divide the physical arrangement of an established community as significant impacts under CEQA.

This definition applies to certain natural communities because of their scarcity and ecological values and because the remaining occurrences are vulnerable to elimination. For this study, the term “sensitive natural community” includes those communities that, if eliminated or substantially degraded, would sustain a significant adverse impact as defined under CEQA. Sensitive natural communities are important ecologically because their degradation and destruction could threaten populations of dependent plant and wildlife species and significantly reduce the regional distribution and viability of the community. If the number and extent of sensitive natural communities continue to diminish, the status of rare, threatened, or endangered species could become more precarious, and populations of common species (i.e., not special status species) could become less viable. Loss of sensitive natural communities also can eliminate or reduce important ecosystem functions, such as water filtration by wetlands and bank stabilization by riparian woodlands for example.

Protected Plants

The California Desert Native Plant Act was passed in 1981 to protect non-listed California desert native plants from unlawful harvesting on both public and privately-owned lands. Harvest, transport, sale, or possession of specific native desert plants is prohibited unless a person has a valid permit. The following plants are under the protection of the California Desert Native Plants Act:

- Dalea spinosa (smoketree)
- All species of the genus Prosopis (mesquites)
- All species of the family Agavaceae (century plants, nolinias, yuccas)
- All species of Cactus
- Creosote Rings, ten feet in diameter or greater
- All Joshua Trees

The project would be required to comply with the County and State Desert Native Plant Protection Ordinance. The removal of any trees listed under this section would be required to comply with applicable regulations, which require the project applicant to apply for a Tree or Plant Removal Permit prior to removal from the project site.

SFV Caregiver - Kern-Mojave Desert County, Summary Report

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

SFV Caregiver

Kern-Mojave Desert, Summary Report

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Light Industry	41.47	1000sqft	0.95	41,472.00	0
Other Asphalt Surfaces	35.19	1000sqft	0.81	35,193.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.7	Precipitation Freq (Days)	32
Climate Zone	7			Operational Year	2023
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	390.98	CH4 Intensity (lb/MWhr)	0.033	N2O Intensity (lb/MWhr)	0.004

1.3 User Entered Comments

Only CalEEMod defaults were used.

Project Characteristics -

Land Use -

Construction Phase -

Demolition -

Trips and VMT -

Stationary Sources - Emergency Generators and Fire Pumps -

Stationary Sources - User Defined -

SFV Caregiver - Kern-Mojave Desert County, Summary Report

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Not Applied

Peak Daily Operational Emissions

Peak Daily Operational Emissions

		Unmitigated						Mitigated					
		ROG	NOX	CO	SO2	PM10	PM2.5	ROG	NOX	CO	SO2	PM10	PM2.5
Operational Activity		lb/day											
On-Site	Stationary	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S	0.0000 S
On-Site	Area	1.1707 S	7.0000e-005 S	7.8300e-003 S	0.0000 S	3.0000e-005 S	3.0000e-005 S	1.1707 S	7.0000e-005 S	7.8300e-003 S	0.0000 S	3.0000e-005 S	3.0000e-005 S
On-Site	Energy	0.0204 S	0.1853 S	0.1556 S	1.1100e-003 S	0.0141 S	0.0141 S	0.0204 S	0.1853 S	0.1556 S	1.1100e-003 S	0.0141 S	0.0141 S
Off-Site	Mobile	0.7600 S	1.3130 W	6.4495 S	0.0152 S	1.2998 W	0.3569 W	0.7600 S	1.3130 W	6.4495 S	0.0152 S	1.2998 W	0.3569 W
	Peak Daily Total	1.9511 S	1.4983 W	6.6130 S	0.0163 S	1.3139 W	0.3710 W	1.9511 S	1.4983 W	6.6130 S	0.0163 S	1.3139 W	0.3710 W
	Air District Threshold												
	Exceed Significance?												

3.0 Annual GHG Emissions

Annual GHG

Annual GHG

PROJECT NAME

CURTISS GREENHOUSE

APN: 216-18-018

OWNER

MOHAMMAD REZA
SAADTMANDI
 13489 GLADSTONE AVE.
 SYLMAR CA 91342
 818-424-7835

SHEET INDEX

REVISIONS

No.	Issue	Date

SHEET INFORMATION

Job No:

Drawn By:

Date: **September 14, 2021**

ROBERT H. FRIEDMAN C16793



SHEET TITLE

GREENHOUSE
SITE PLAN

SHEET NUMBER

A•1

- LEGEND
- ⊗ INDICATES WATER METER
 - ⊠ INDICATES PULL BOX (CABLE)
 - ✱ INDICATES LIGHT STANDARD
 - INDICATES SEWER CLEANOUT
 - ⊙ INDICATES SEWER MANHOLE

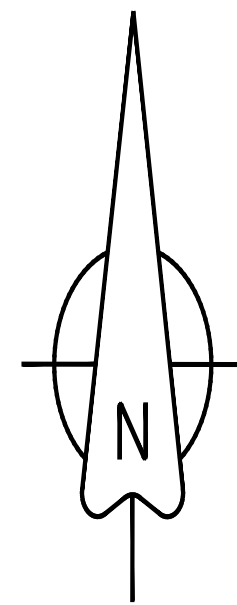
APN:216-18-018

BENCH MARK:

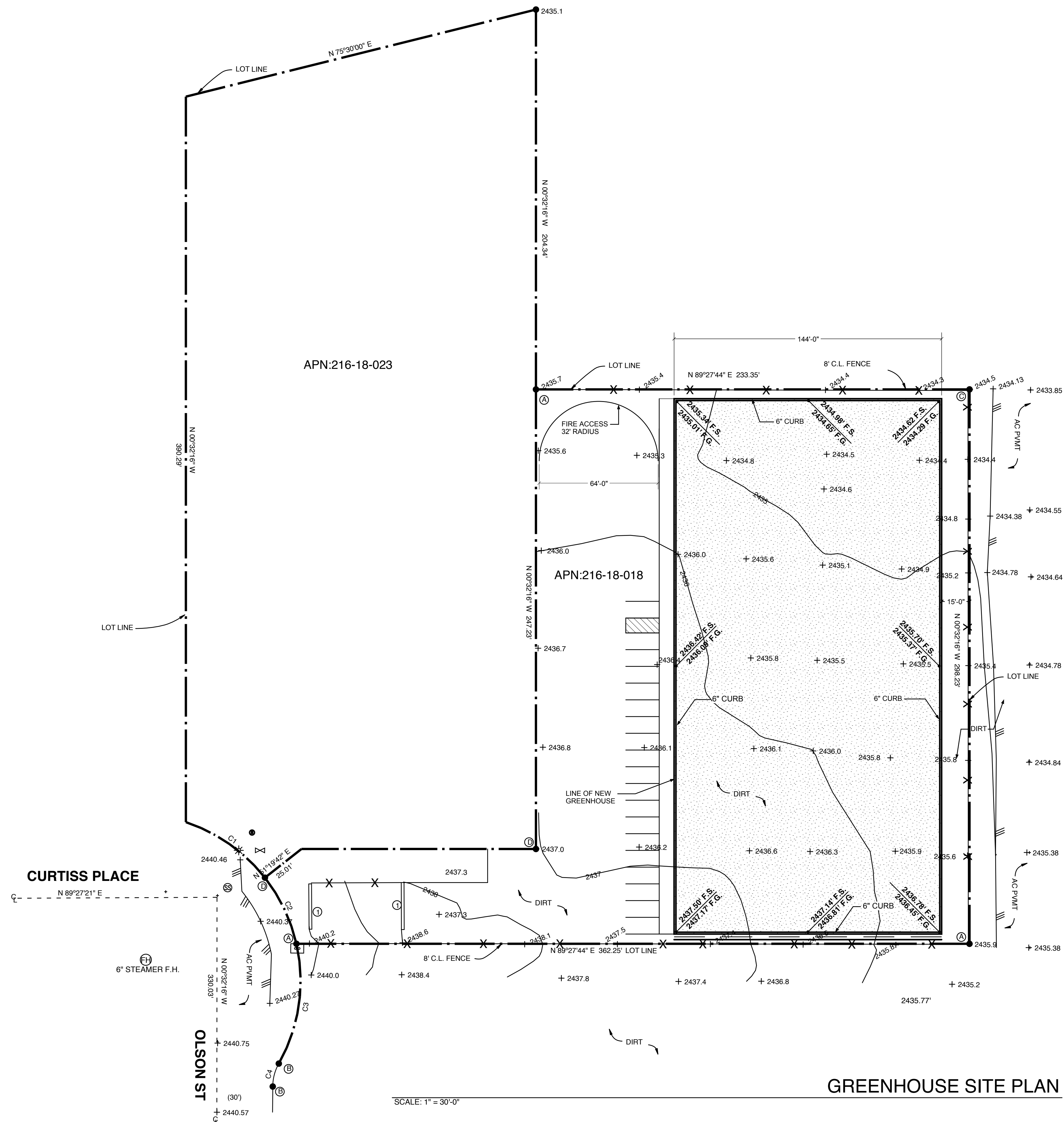
B.M. L71B (DF4120), CA KERN
 USGS QUAD, MOJAVE NE (1994)
 N.A.V.D. 88' (2414.3)
 BRASS DISK MRK (L71B 2003)
 SET IN CONC. LOCATED AT THE EASTERN PART OF THE CA. CITY
 MUNICIPAL AIRPORT, S/O RUNWAY 6-24 & N/O PERIMETER FENCE.

NOTE: TBM PT 2 (MAG NAIL) ARE TO BE USED FOR ELEVATIONS ON
 PROJECT.

BASIS OF BEARINGS:
 THE BEARING OF N 0°32'16" W FOR THE CENTERLINE OF
 CURTISS PLACE AS SHOWN ON TRACT 2528 WAS USED AS
 THE BASIS OF BEARINGS FOR THIS MAP



SCALE 1" = 30 FEET



GREENHOUSE SITE PLAN

SCALE: 1" = 30'-0"

PROJECT NAME

CURTISS GREENHOUSE

APN: 216-180-018

OWNER

MOHAMMAD REZA
SAADTMANDI
13489 GLADSTONE AVE.
SYLMAR CA 91342
818-424-7835

SHEET INDEX

REVISIONS

No.	Issue	Date

SHEET INFORMATION

Job No:

Drawn By:

Date: **October 4, 2021**

ROBERT H. FRIEDMAN C16793



SHEET TITLE

**GREENHOUSE
SITE PLAN**

SHEET NUMBER

A•1

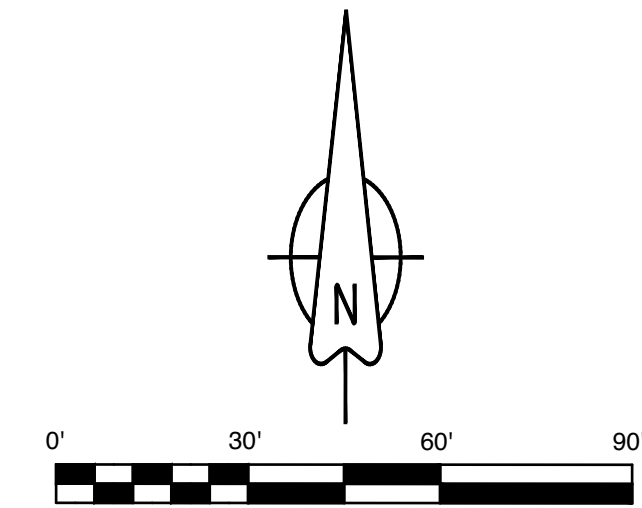
- LEGEND
- ⊗ INDICATES WATER METER
 - ⊠ INDICATES PULL BOX (CABLE)
 - ⊛ INDICATES LIGHT STANDARD
 - ⊙ INDICATES SEWER CLEANOUT
 - ⊕ INDICATES SEWER MANHOLE
 - X—X—X— INDICATES 8' HIGH CHAIN LINK FENCE

APN:216-18-018

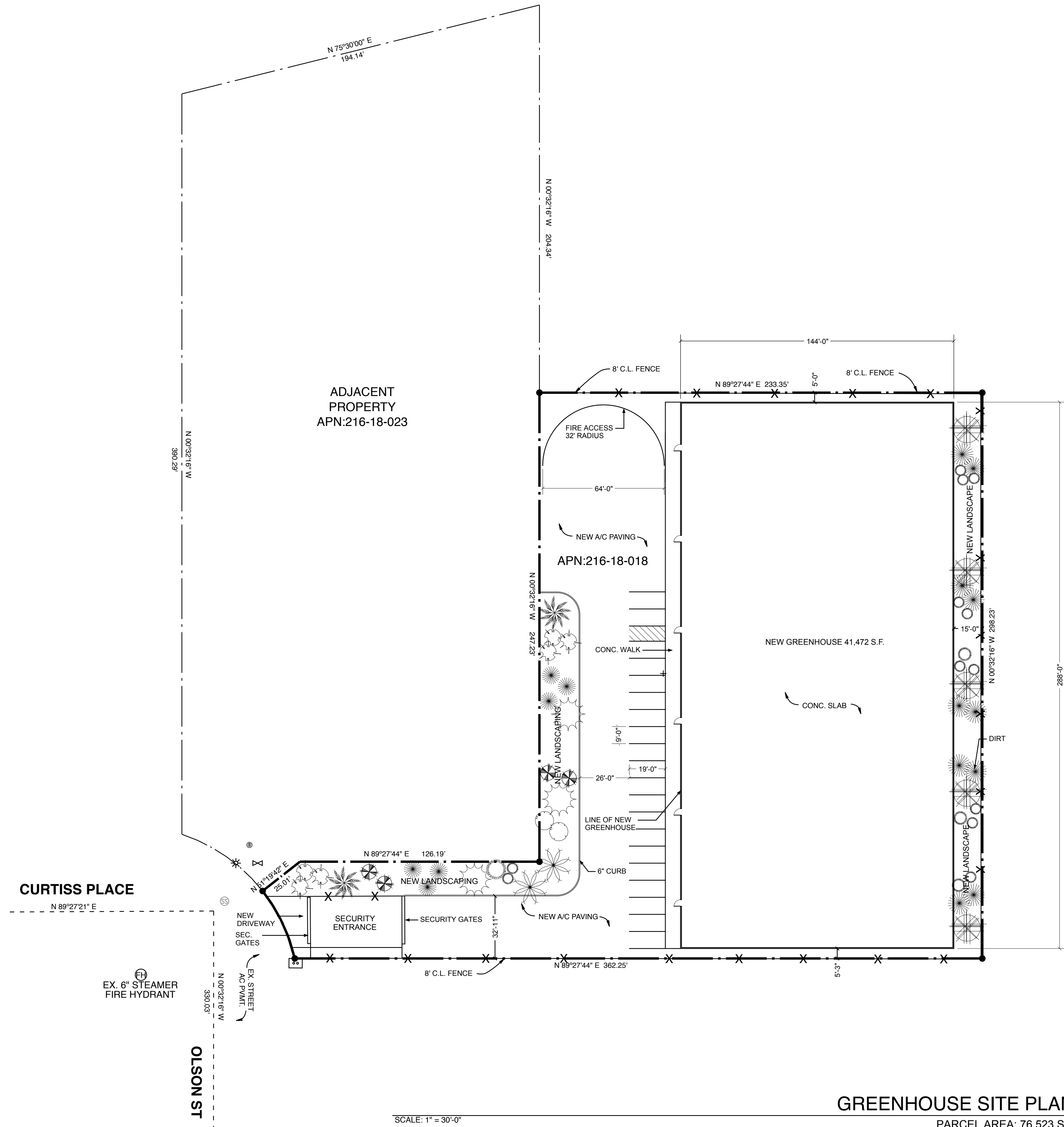
BENCH MARK:
B.M. L71B (DF4120), CA KERN
USGS QUAD, MOJAVE NE (1994)
N.A.V.D. 88' (2414.3)
BRASS DISK MRK (L71B 2003)
SET IN CONC. LOCATED AT THE EASTERN PART OF THE CA. CITY
MUNICIPAL AIRPORT, S/O RUNWAY 6-24 & N/O PERIMETER FENCE.

NOTE: TBM PT 2 (MAG NAIL) ARE TO BE USED FOR ELEVATIONS ON PROJECT.

BASIS OF BEARINGS:
THE BEARING OF N 0°32'16" W FOR THE CENTERLINE OF
CURTISS PLACE AS SHOWN ON TRACT 2528 WAS USED AS
THE BASIS OF BEARINGS FOR THIS MAP



LANDSCAPE PLANT MATERIAL	
SYMBOL	COMMON AND SCIENTIFIC NAMES
	DESERT WILLOW CHILOPSIS LINEARIS
	PALO VERDE PARKINSONIA ACULEATA
	MEXICAN FAN PALM WASHINGTON ROBUSTA
	MESQUITE TREE PROSOPIS VELUTINA
	ENGLISH LAVENDER LAVANDULA ANGUSTIFOLIA
	APACHE PLUMES FALLUGIA
	RABBIT BRUSH CHRYSOTHAMNUS
	BIGLEAF LANTANA, YELLOW SAGE LANTANA CAMARA
	DESERT SPOON DASYLIRION WHEELERI



SCALE: 1" = 30'-0"

GREENHOUSE SITE PLAN

PARCEL AREA: 76,523 S.F.
1.76 ACRES

PROJECT NAME

INDUSTRIAL BUILDING

6298 Curtiss Place
California City

OWNER

SHEET INDEX

REVISIONS

No.	Issue	Date

SHEET INFORMATION

Job No:

Drawn By:

Date: **August 24, 2021**

ROBERT H. FRIEDMAN C16793



SHEET TITLE

**GREENHOUSE
GRADING PLAN**

SHEET NUMBER

A.1

- LEGEND
- INDICATES WATER METER
 - INDICATES PULL BOX (CABLE)
 - INDICATES LIGHT STANDARD
 - INDICATES SEWER CLEANOUT
 - INDICATES SEWER MANHOLE
 - INDICATES FD REBAR AND CAP LS 4426
 - INDICATES FD REBAR AND CAP LS 7813
 - INDICATES FD NAIL & TAG LS 4426 IN FOOTER
 - INDICATES FD 60D NAIL, DN 1"
 - INDICATES CONC STRIP (GATE RUNNER)

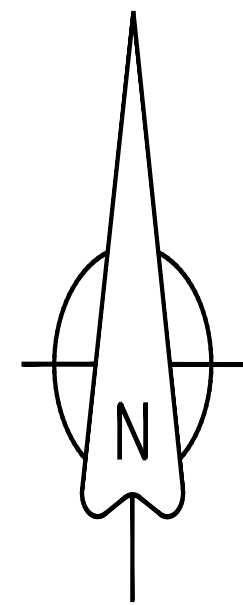
FF= FINISHED FLOOR
CP= CONC PAVEMENT
TC= TOP OF CURB
TW= TOP OF WALL
TR= TREE

APN:216-18-018

BENCH MARK:
B.M. L71B (DF4120), CA KERN
USGS QUAD, MOJAVE NE (1994)
N.A.V.D. 88' (2414.3)
BRASS DISK MRK (L71B 2003)
SET IN CONC. LOCATED AT THE EASTERN PART OF THE CA. CITY
MUNICIPAL AIRPORT, S/O RUNWAY 6-24 & N/O PERIMETER FENCE.

NOTE: TBM PT 2 (MAG NAIL) ARE TO BE USED FOR ELEVATIONS ON
PROJECT.

BASIS OF BEARINGS:
THE BEARING OF N 0°32'16" W FOR THE CENTERLINE OF
CURTISS PLACE AS SHOWN ON TRACT 2528 WAS USED AS
THE BASIS OF BEARINGS FOR THIS MAP



SCALE 1" = 30 FEET

PLANS PREPARED IN THE OFFICE OF:
JAMES S. McDONOUGH
52 CALLE FRESNO
SAN CLEMENTE, CA. 92672
626-664-4494
McDONOUGH.JAMES@ROCKETMAIL.COM
UNDER THE SUPERVISION OF:



JAMES S. McDONOUGH PLS 6823

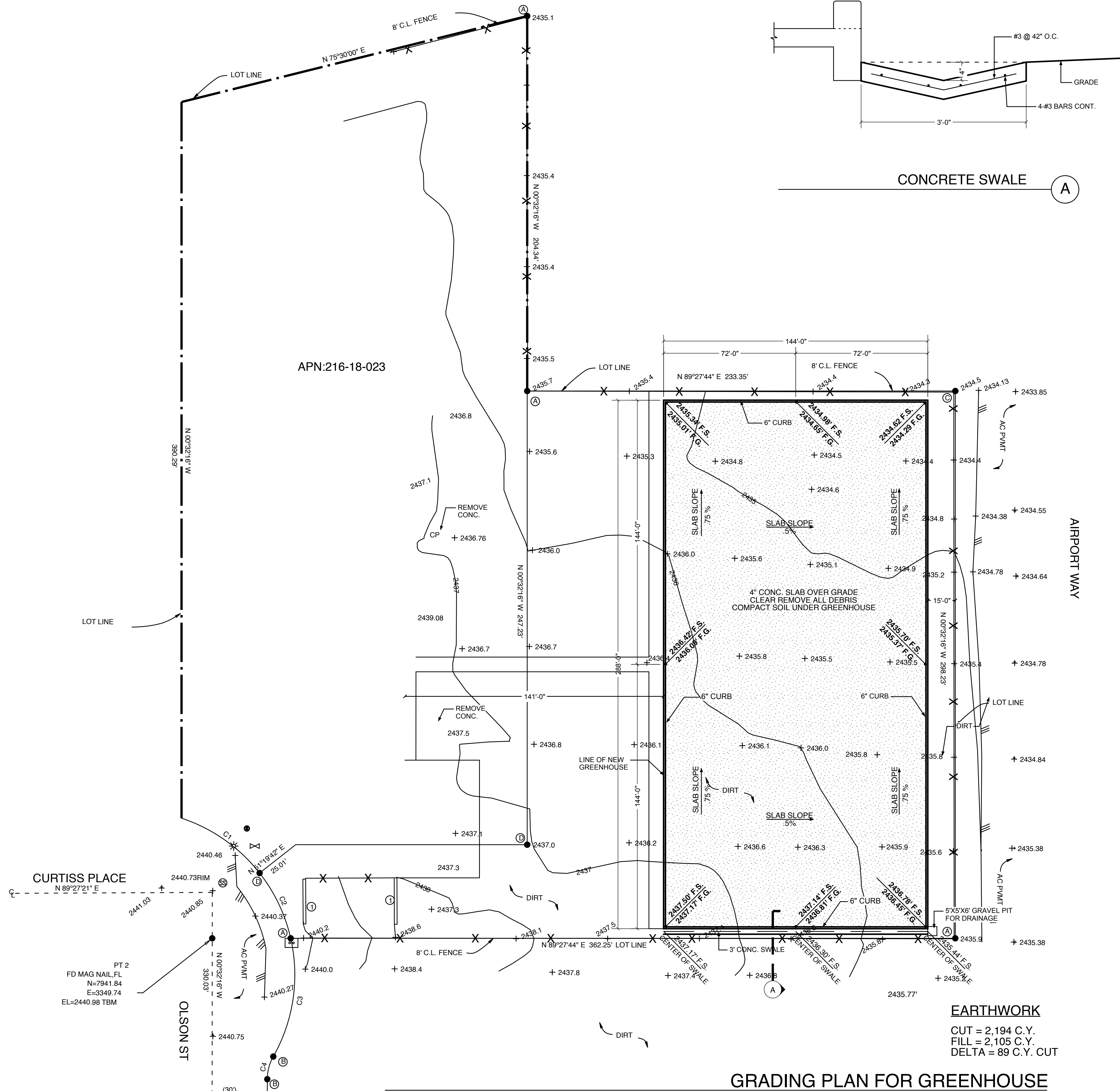
SCALE 1" = 30 FEET

CONTOUR INTERVAL=1.00'

6298 CURTISS PLACE, CALIFORNIA CITY
PORTION OF LOT S12, TRACT 2528
PREPARED FOR: ROBERT FRIEDMAN
JULY 24, 2021

SHEET 1 OF 1

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD LENGTH
C1	90.00'	33°34'40"	52.74'	51.99'
C2	90.00'	25°17'13"	39.72'	39.40'
C3	90.00'	42°26'08"	66.66'	65.14'
C4	25.00'	29°35'31"	12.91'	12.77'



EARTHWORK

CUT = 2,194 C.Y.
FILL = 2,105 C.Y.
DELTA = 89 C.Y. CUT

GRADING PLAN FOR GREENHOUSE

SCALE: 1" = 30'-0"

MIDORI CAPITAL LLC

6298 CURTISS PLACE
CALIFORNIA CITY, CA
USA - 93505



Greg Riley

LEGAL NOTES:

USING THESE PLAN, DRAWINGS AND SPECIFICATIONS TO CONSTRUCT THE STRUCTURES OF FOUNDATIONS CONSTITUTE AGREEMENT BY THE CLIENT TO THE FOLLOWING:

1. INDEMNIFICATION
 - 1.1. THE CLIENT SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGNER AND OFF OF ITS PERSONNEL & SUB CONTRACTORS FROM AND AGAINST ANY AND ALL CLAIMS, DAMAGES, LOSSES & EXPENSES (INCLUDING REASONABLE ATTORNEY'S FEES) ARISING OUT OF EXPENSE IS CAUSED IN WHOLE OR IN PART BY THE NEGLIGENT ACT OR OMISSION AND/OR STRICT LIABILITY OF THE CLIENT. ANYONE DIRECTLY OF INDIRECTLY EMPLOYED BY THE CLIENT OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE. THIS INDEMNIFICATION SHALL INCLUDE ANY CLAIM, DAMAGE OF LOSSES DUE TO THE PRESENCE OF HAZARDOUS MATERIALS.
2. RISK ALLOCATION
 - 2.1. IN RECOGNITION OF THE RELATIVE RISKS, REWARDS & BENEFITS OF THE PROJECT TO BOTH THE CLIENT & THE DESIGNER THE RISKS HAVE BEEN ALLOCATED SO THAT THE CLIENT AGREES THAT TO THE FULLEST EXTENT PERMITTED BY LAW. THE DESIGNER'S TOTAL LIABILITY TO THE CLIENT, FOR ANY & ALL INJURIES, CLAIMS, LOSSES, EXPENSES, DAMAGES OR CLAIM EXPENSES ARISING OUT OF THE AGREEMENT, FROM ANY CAUSE OF CAUSES, SHALL NOT EXCEED THE TOTAL AMOUNT OF 50,000.00, THE AMOUNT OF THE DESIGNER'S FREE (WHICHEVER LESS) OR OTHER AMOUNT AGREED UPON WHEN ADDED UNDER SPECIAL CONDITIONS. SUCH CAUSES INCLUDE, BUT ARE NOT LIMITED TO, THE DESIGNER'S NEGLIGENCE, ERRORS, OMISSIONS, STRICT LIABILITY, BREACH OF CONTRACT OR BREACH OF WARRANTY.
3. OWNER'S DOCUMENTS
 - 3.1. ALL DOCUMENTS PRODUCED BY THE DESIGNER UNDER THIS AGREEMENT REMAIN THE PROPERTY OF THE DESIGNER & MAY NOT BE USED BY THE CLIENT FOR ANY OTHER ENDEAVOR WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
4. DISPUTE RESOLUTION
 - 4.1. ANY CLAIM OR DISPUTE BETWEEN THE CLIENT AND THE DESIGNER SHALL BE SUBMITTED BY NON-BINDING MEDIATION SUBJECT TO THE PARTIES AGREEING TO A MEDIATOR(S). THIS AGREEMENT SHALL BE GOVERNED BY THE LAWS OF THE PRINCIPAL PLACE OF BUSINESS OF THE DESIGNER.

TABLE OF CONTENTS:

1. TITLE SHEET
2. POST LAYOUT
3. POST DETAIL
4. INTERIOR ELEVATION
5. GABLE ELEVATION
6. SIDEWALL ELEVATION
7. CONNECTIONS

GENERAL SPECIFICATIONS:

THIS BUILDING IS DESIGNED AS A GROUP U, AGRICULTURAL BUILDING AS PER THE CALIFORNIA BUILDING CODE 2019

DESIGN LOADS:

ROOF DEAD LOAD: 1.0 psf
 ROOF LIVE LOAD: 16 psf reducible from 20 psf
 ROOF SNOW LOAD: 0 psf based upon a ground snow load of 5 psf. Kern county to verify
 1. THE ROOF IS PROVED TO BE A SLIPPERY SURFACE AND MAINTAINED AS SUCH
 2. THE BUILDING WILL BE MAINTAINED ABOVE 50° FAHRENHEIT TEMPERATURE ALL THE TIME
 3. OWNER TO HAVE A DESIGNATED MAINTENACE PERSON
 ULTIMATE WIND LOAD:
 110 mph, EXP. C BUILDING RISK CATEGORY: U, AGRI USE IMPORTANCE FACTOR:1
 SEISMIC DESIGN CAT.: D (Sds = 77%, Sd1 = 47%)

CODES AND STANDARDS

UNLESS OTHERWISE SPECIFIED OR SHOWN, THE FOLLOWING CODES AND STANDARDS SHALL APPLY:
 CBC 2019 - CALIFORNIA BUILDING CODE 2019
 IBC 2018 - INTERNATIONAL BUILDING CODE 2018
 ASCE7-16 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES

FOUNDATION DESIGN

THE FOLLOWING CALCULATIONS WILL BE USED FOR FOUNDATION DESIGN
 REFERENCES:
 BUILDING CODE AND COMMENTARY ACI 318-14
 MANUAL OF STEEL CONSTRUCTION, AISC, 14TH ADDITION
 CRSI STANDARD DESIGN HANDBOOK

USE 3,500psi CONCRETE, 60ksi REINFORCING STEEL
 CONCRETE WEIGHT = 150 PCF
 SOIL DESIGN VALUES (ASSUMED)
 MIN. SOIL BEARING PRESSURE = 1500 PSF AT SURFACE
 MIN. LATERAL BEARING PRESSURE = 350 PSF
 MIN LATERAL SLIDING PRESSURE = 200 PSF

CONCRETE COVER - MIN 3"

MATERIALS

STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF ASTM STANDARD A500 GRADE C
 BOLTS AND BOLT ASSEMBLIES SHALL MEET THE REQUIREMENTS OF ASTM STANDARD A 307

GENERAL NOTES

1. NO BUILDING SHALL BE BUILT ADJACENT or IN PROXIMITY TO THE STRUCTURE STRUCTURE SO AS TO ADVERSELY ALTER WIND OR SNOW LOADING CONDITIONS.
2. SOIL CONDITIONS SHALL BE FREE-DRAINING and BE ABLE TO PROVIDE THE ABOVE SPECIFIED BEARING CAPACITY OVER THE ENTIRE AREA OF THE BUILDING.
3. STRUCTURAL COMPONENTS THAT ARE DAMAGED EITHER DURING BUILDING ERECTION or THE LIFE OF THE BUILDING MUST BE REPORTED IMMEDIATELY TO THE BUILDING SUPPLIER
4. BUILDING ORIENTATION SHOULD BE, WHERE POSSIBLE, IN A DIRECTION THAT DISCOURAGES THE BUILD-UP OF SNOW LOADING.
5. SNOW ACCUMULATION AROUND THE GREENHOUSE PERIMETER MUST NOT BE ALLOWED TO EXCEED 24 INCHES.
6. POLY MUST REMAIN INFLATED AT ALL TIMES.

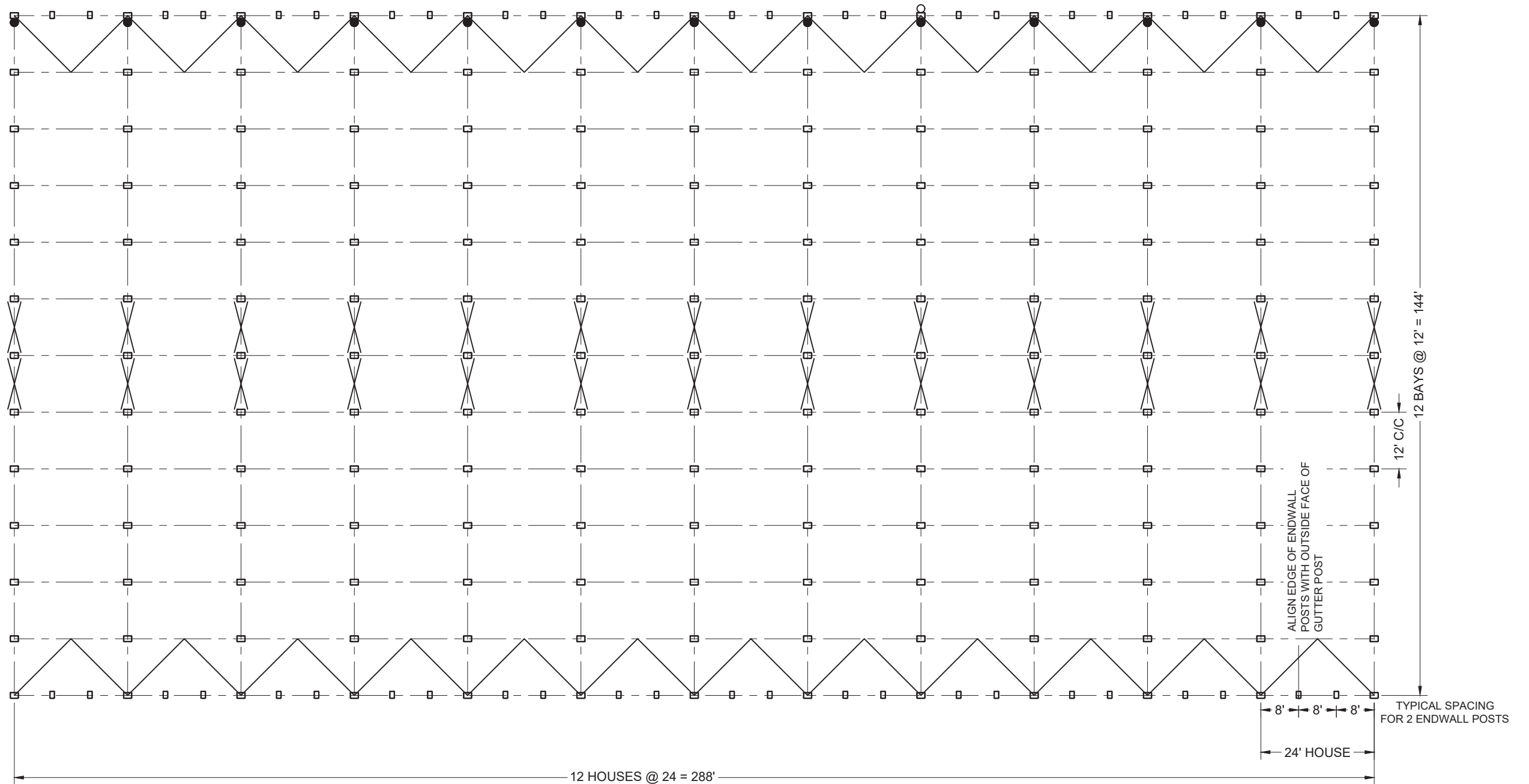
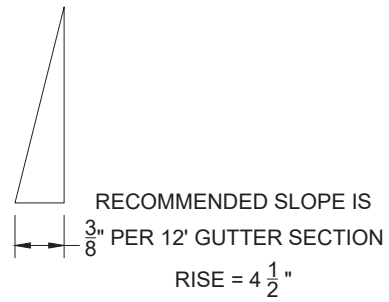
FOR PERMIT ISSUE ONLY

MIDORI CAPITAL LLC

STAMPED



<p>TITLE SHEET 24' GUTTER CONNECT 6' C/C - 14' U/G HEIGHT</p>		DRAWN BY :	DATE :	REV NO :
		RACHEL	13-May-02	
<p>DWG NO. PL21 107 - ST DWG PATH PL21 107 - MIDORI CAPITAL LLC (BSI)</p>		SHEET :	REV DATE :	
		1 of 7		
		SCALE :		N.T.S.



LEGEND

- POST BRACING
- ROOF BRACING
- DOWNSPOUTS
- GUTTER DIRECTION



Greg Riley

MIDORI CAPITAL LLC

STAMPED

DECLOET

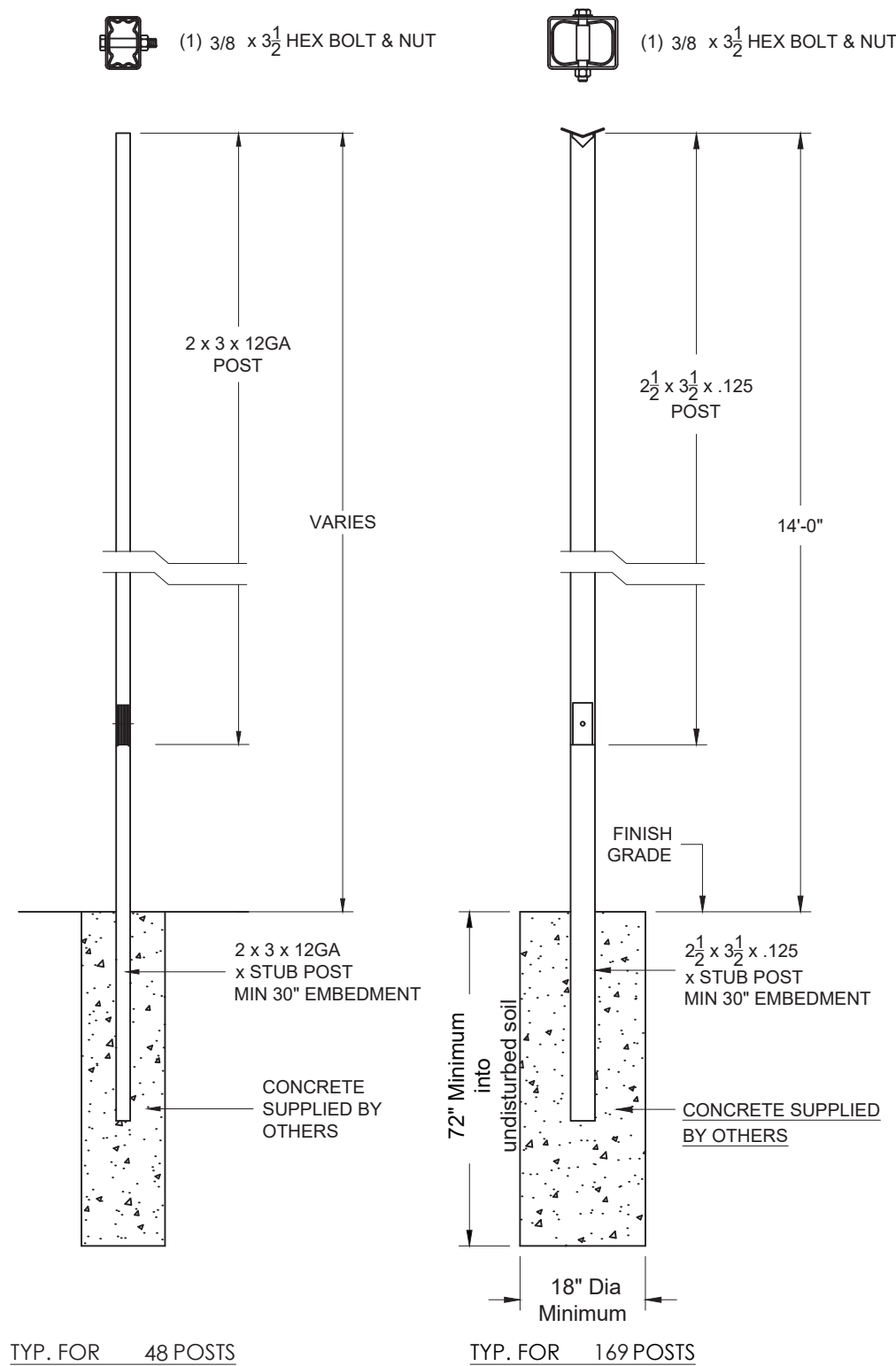
Greenhouse Manufacturing Ltd.
 RR#1 Simcoe, Ontario N3Y 4J9

POST LAYOUT
 12 - 24' x 144' GUTTER CONNECT
 6' HOOP C/C, 14' U/G

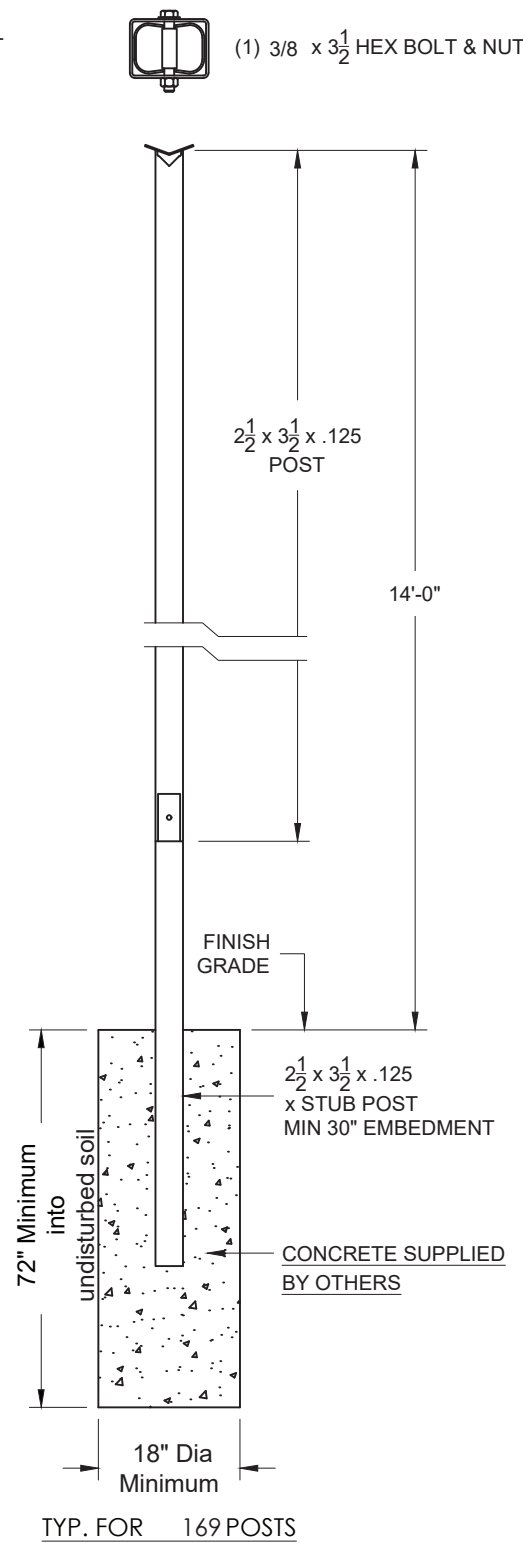
DWG NO. PL21 107 - ST DWG PATH PL21 107 - MIDORI CAPITAL LLC (BSI)

FOR PERMIT ISSUE ONLY

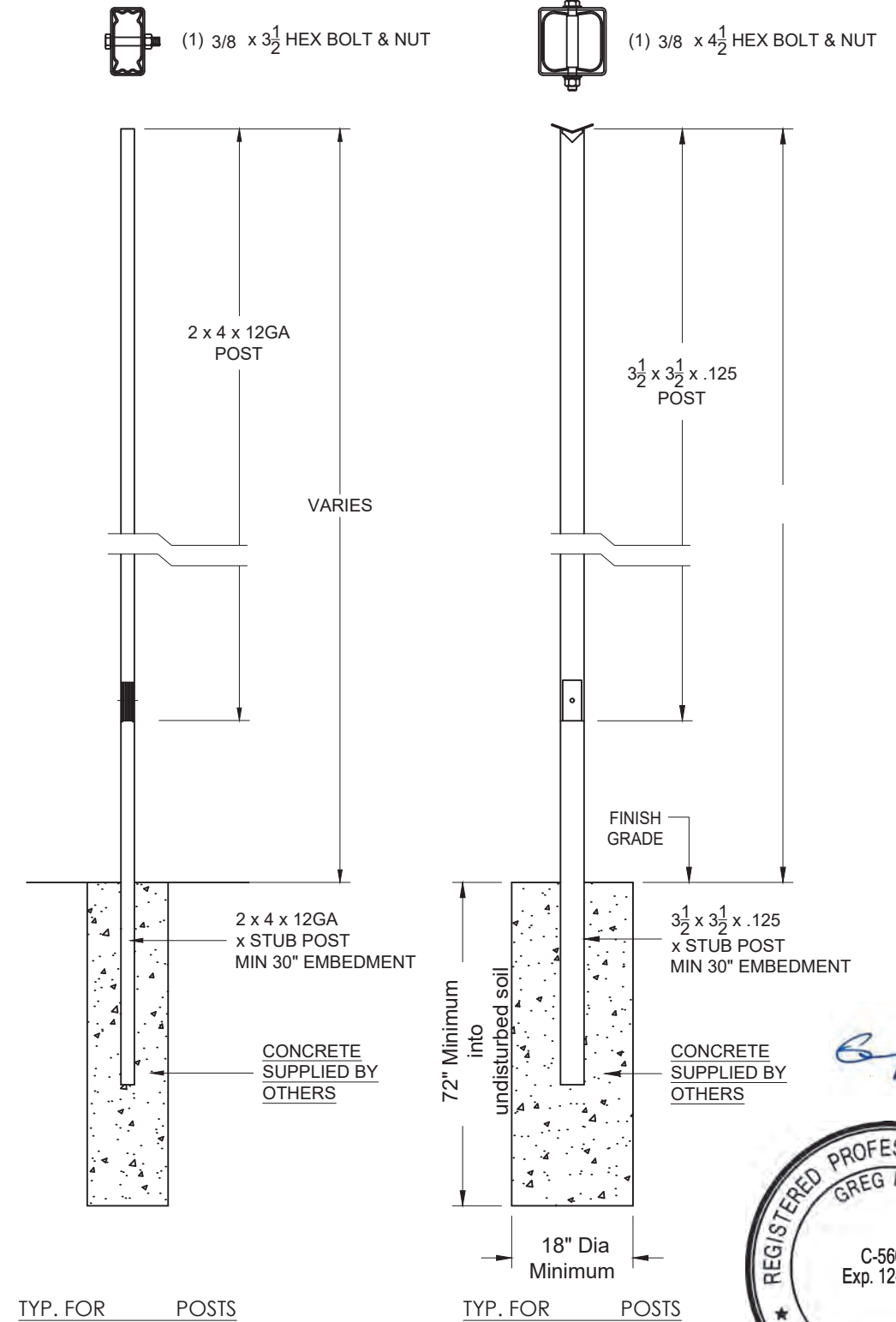
DRAWN BY: RACHEL	DATE: 13-MAY-21	REV NO: 0
SHEET: 2 of 7		REV DATE: -
		SCALE: N.T.S.



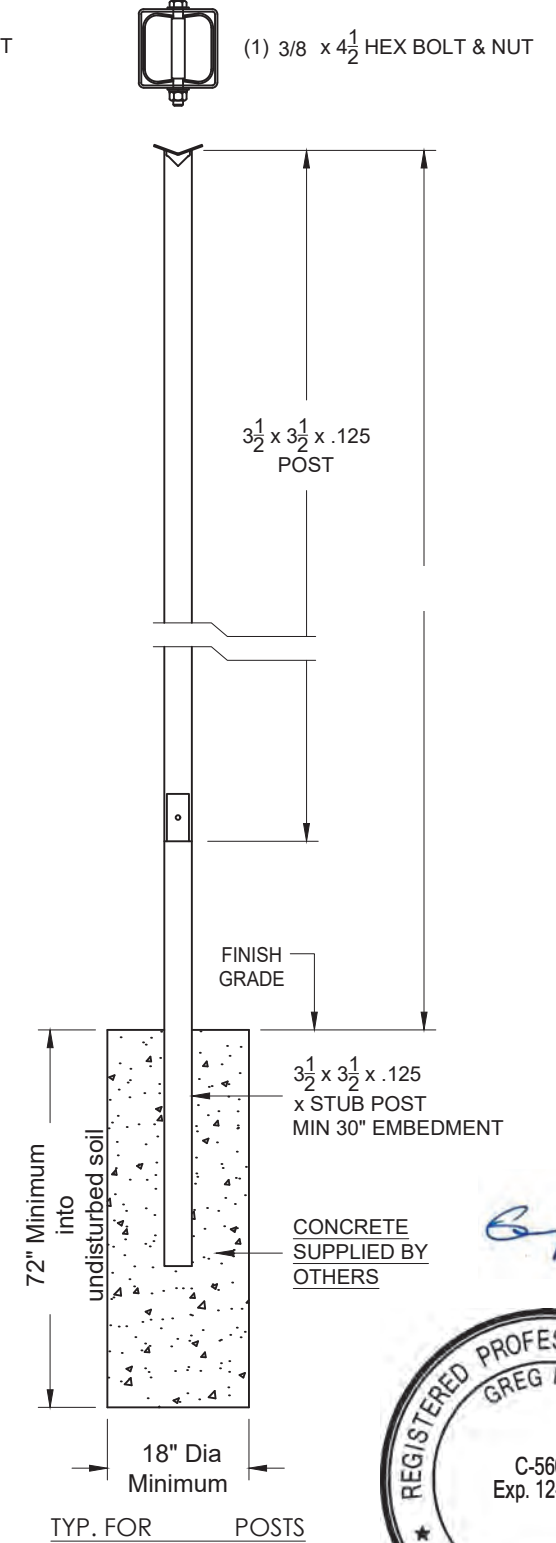
TYP. FOR 48 POSTS



TYP. FOR 169 POSTS



TYP. FOR POSTS



TYP. FOR POSTS

16' U/G HEIGHT AND BELOW

18' U/G HEIGHT AND ABOVE



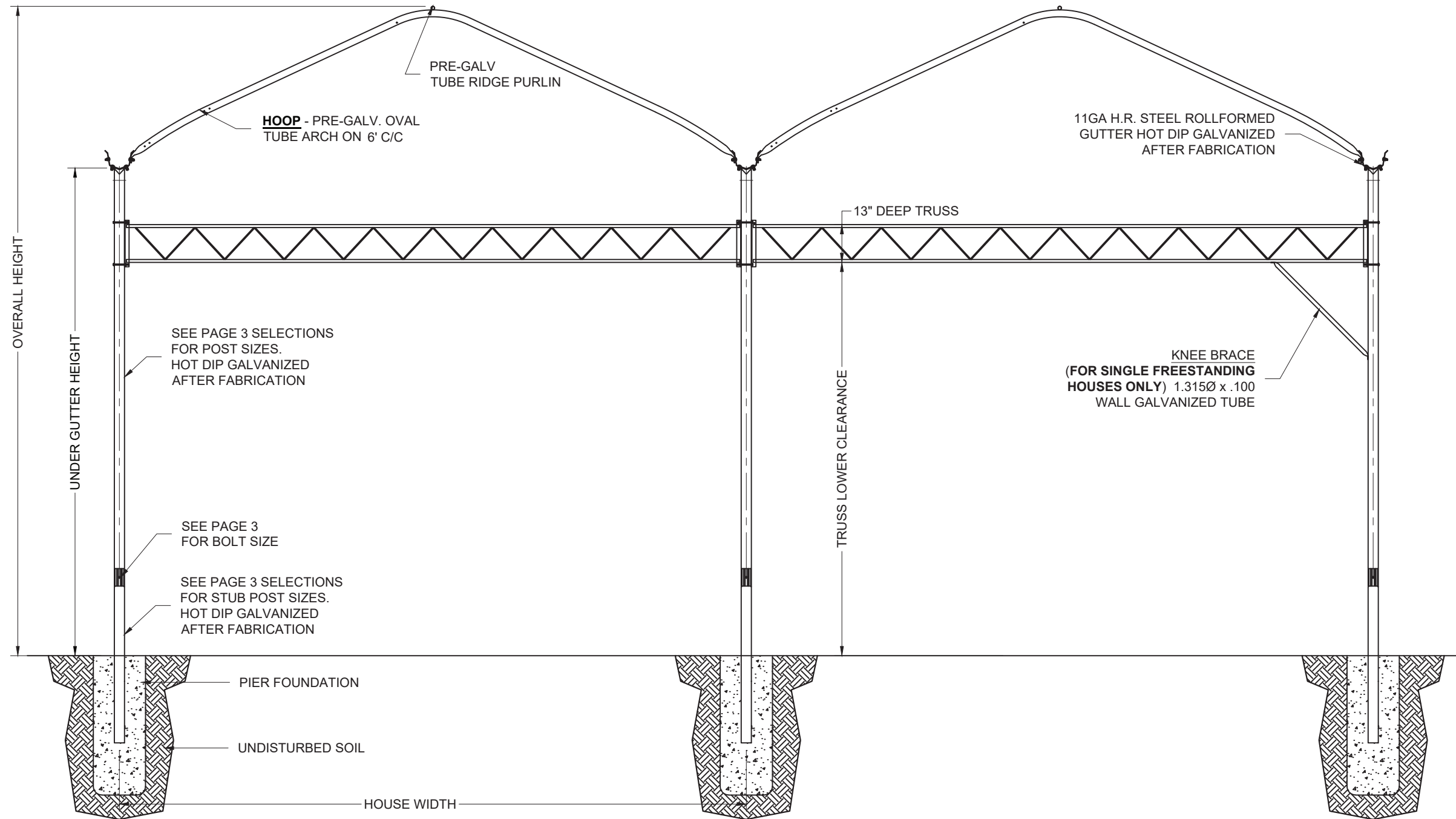
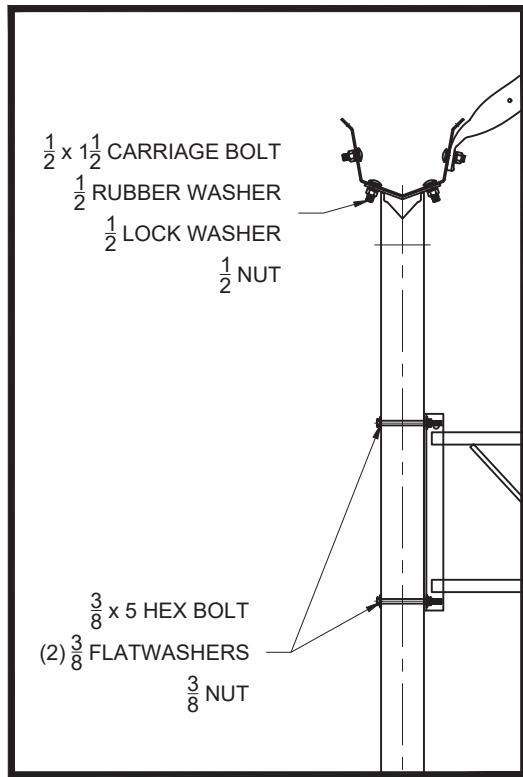
FOR PERMIT ISSUE ONLY

MIDORI CAPITAL LLC

STAMPED

DECLOET
Greenhouse Manufacturing Ltd.
RR#1 Simcoe, Ontario N3Y 4J9

POST DETAIL 24' GUTTER CONNECT 6' C/C - 14' U/G HEIGHT		DRAWN BY:	DATE:	REV NO:
		RACHEL	13-May-02	
DWG NO. PL21 107 - ST		SHEET: 3 of 7		REV DATE:
		DWG PATH PL21 107 - MIDORI CAPITAL LLC (BSI)		SCALE: N.T.S.



Signature



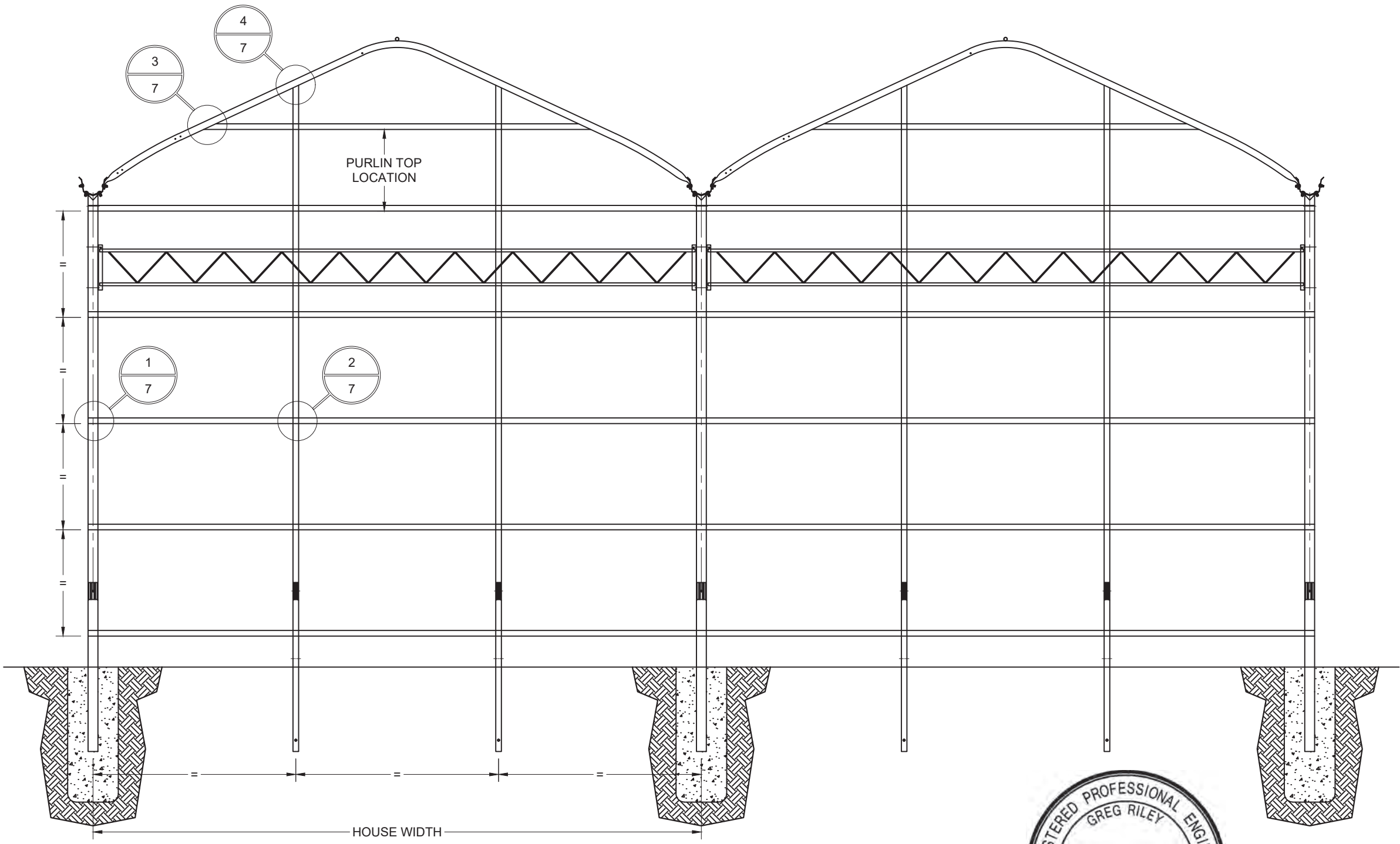
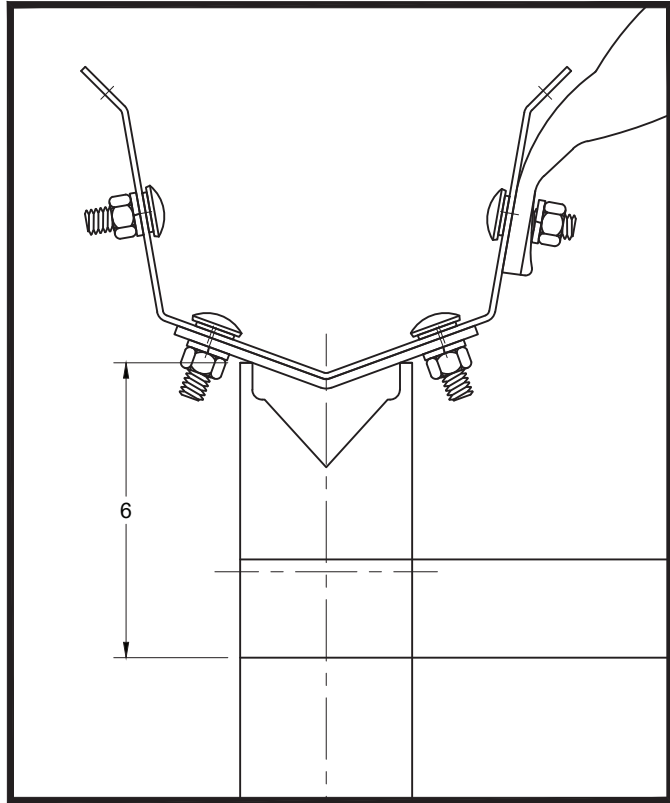
MIDORI CAPITAL LLC

STAMPED

OVERALL GREENHOUSE DIMENSIONS						
HOUSE WIDTH	U/G HEIGHT	RIDGE PURLIN	HOOP MATERIAL	OVERALL HEIGHT	TRUSS UPPER CLEARANCE	TRUSS UPPER CLEARANCE
24'-0"	14'-0"	Ø1 1/2 x 16GA	1 5/8 x 2 3/4 x 14GA	20'-11"	12'-6"	11'-3 1/2"

FOR PERMIT ISSUE ONLY

 DECLOET Greenhouse Manufacturing Ltd. RR#1 Simcoe, Ontario N3Y 4J9	INTERIOR ELEVATION 24' GUTTER CONNECT 6' C/C - 14' U/G HEIGHT	DRAWN BY: RACHEL	DATE: 13-May-02	REV NO.:
	DWG NO. PL21 107 - ST	DWG PATH PL21 107 - MIDORI CAPITAL LLC (BSI)	SHEET: 4 of 7	REV DATE:



OVERALL GREENHOUSE DIMENSIONS	
HOUSE WIDTH	TOP PURLIN LOCATION
24'-0"	42"



FOR PERMIT ISSUE ONLY

MIDORI CAPITAL LLC

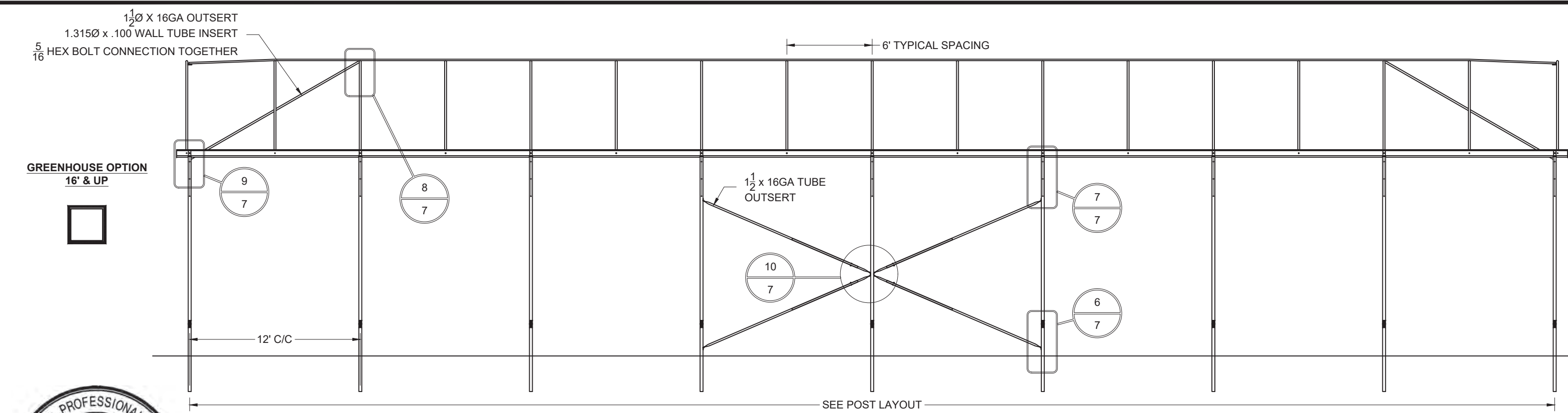
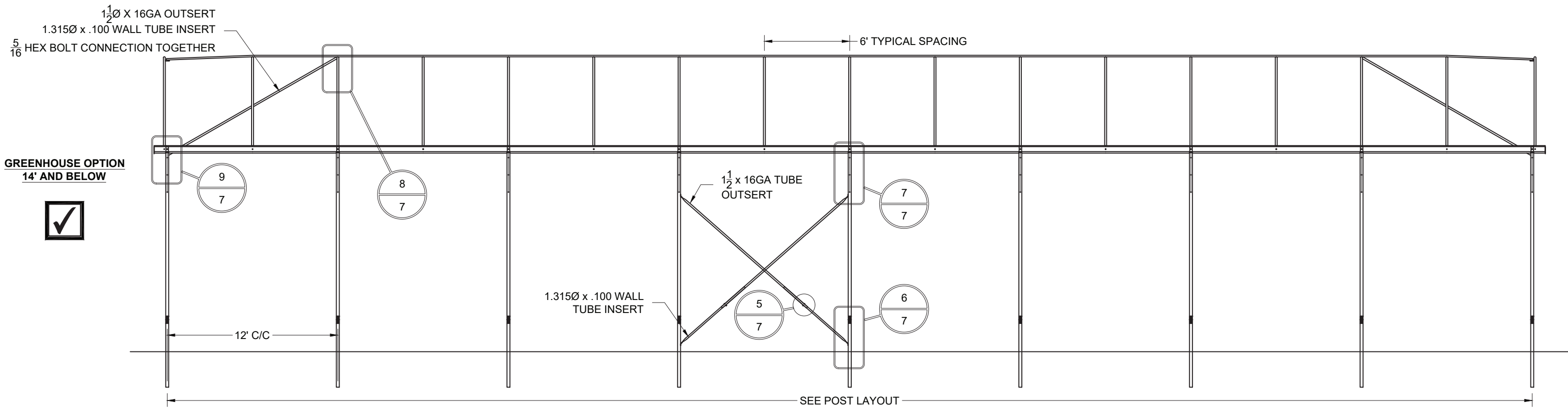
STAMPED

DECLOET
 Greenhouse Manufacturing Ltd.
 RR#1 Simcoe, Ontario N3Y 4J9

GABLE ELEVATION
 24' GUTTER CONNECT
 6' C/C - 14' U/G HEIGHT

DWG NO. PL21 107 - ST DWG PATH PL21 107 - MIDORI CAPITAL LLC (BSI)

DRAWN BY: RACHEL	DATE: 13-May-02	REV NO:
SHEET: 5 of 7		REV DATE:
SCALE: N.T.S.		



MIDORI CAPITAL LLC

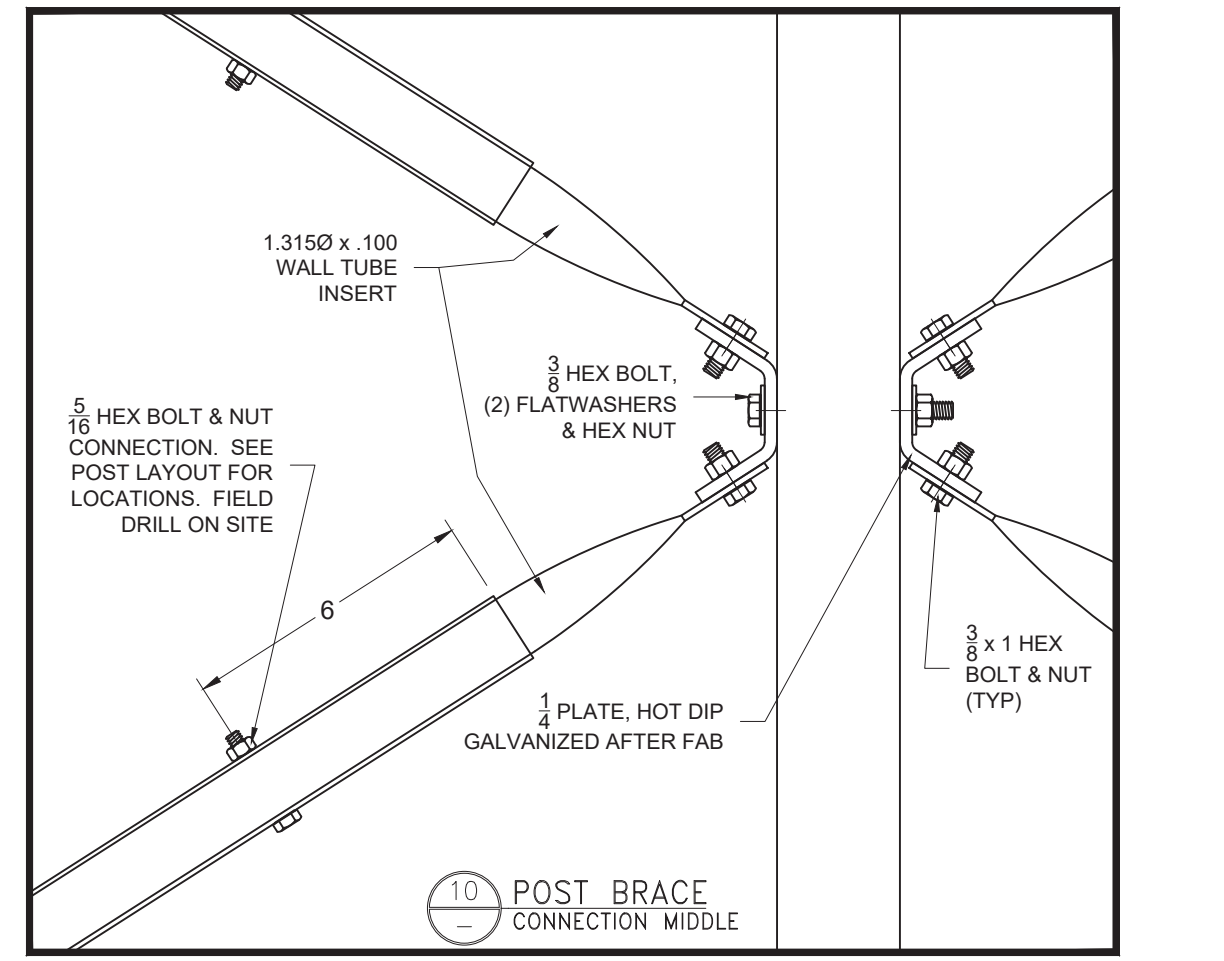
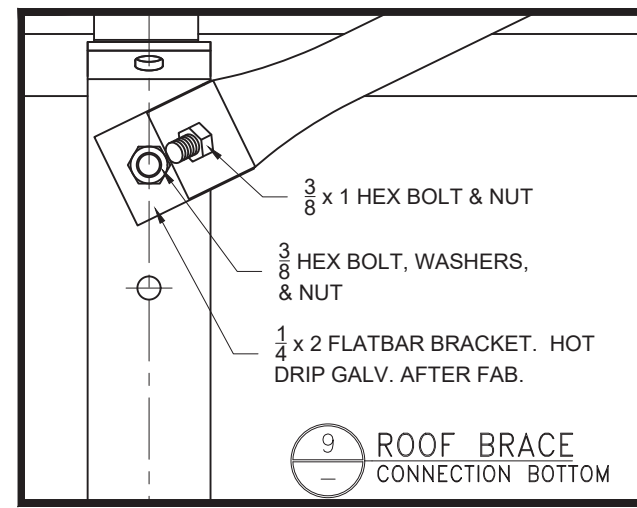
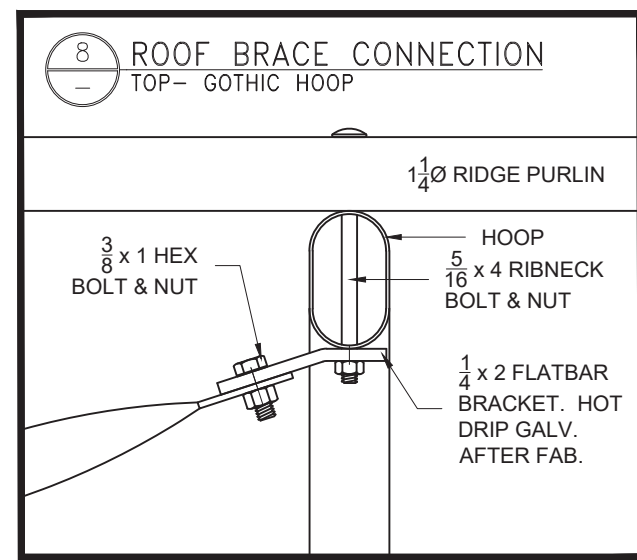
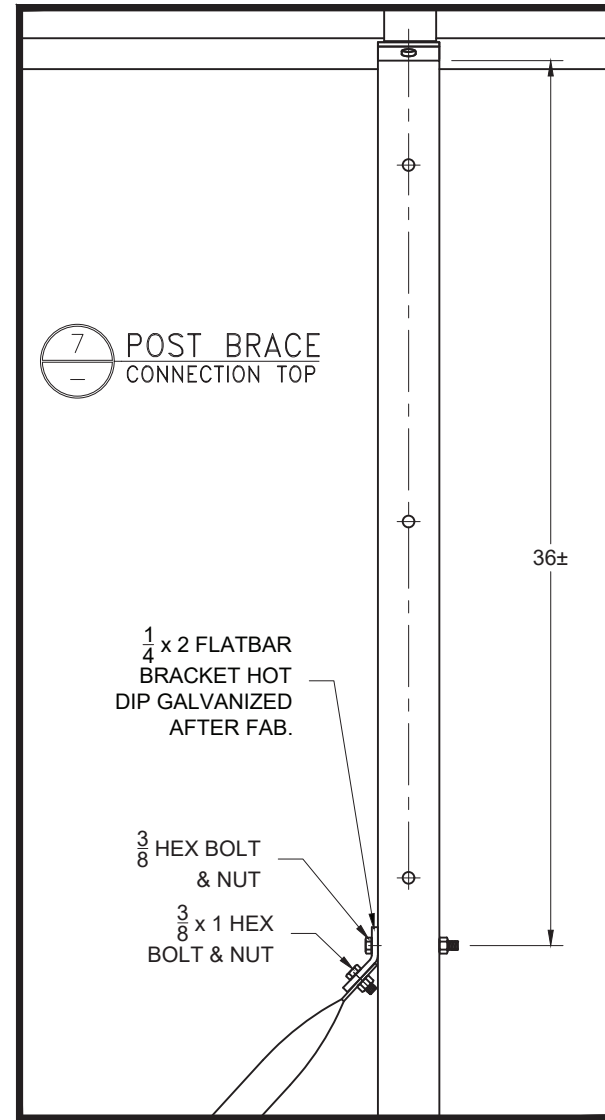
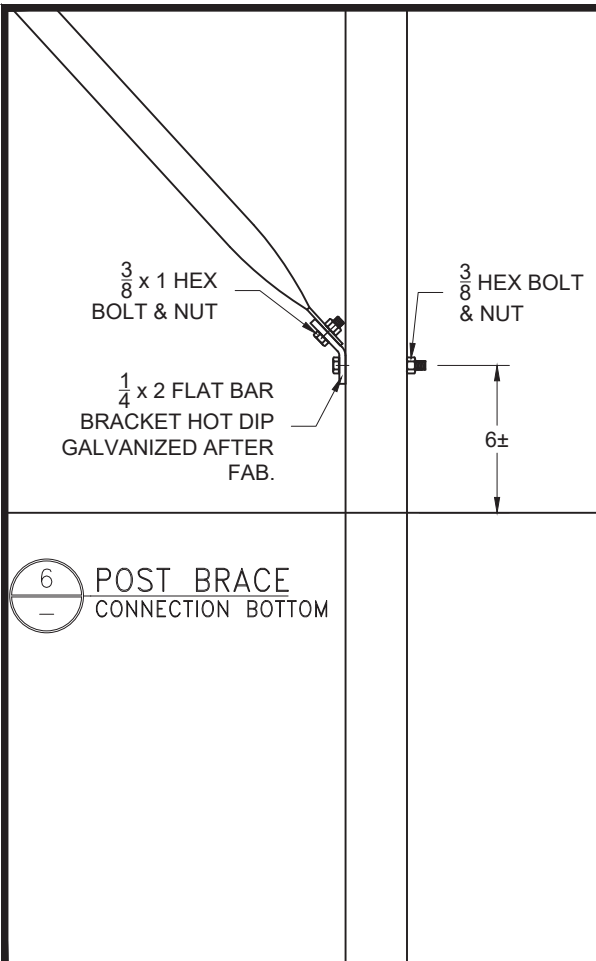
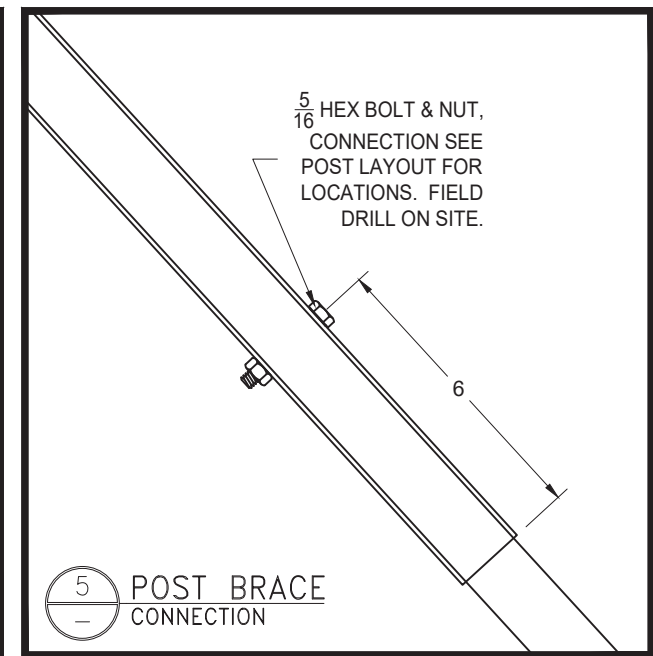
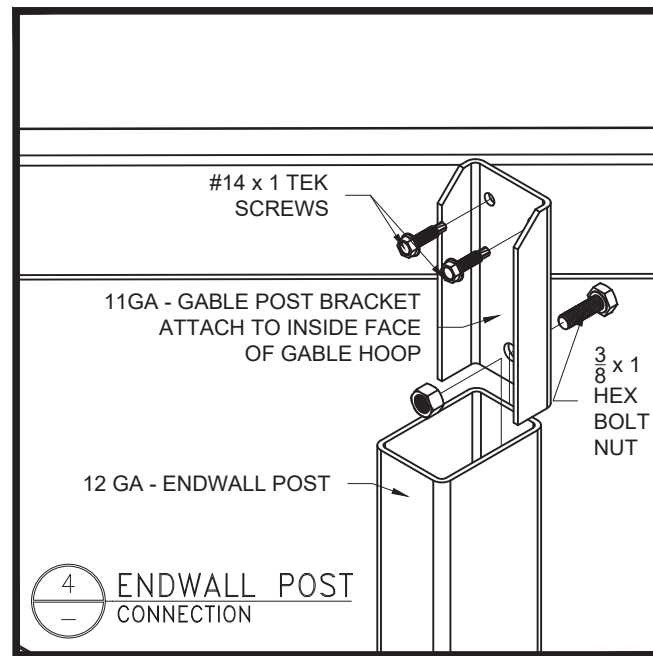
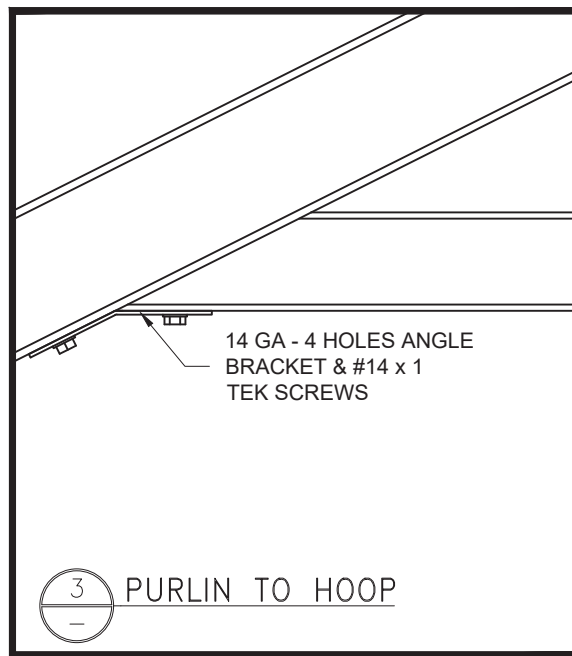
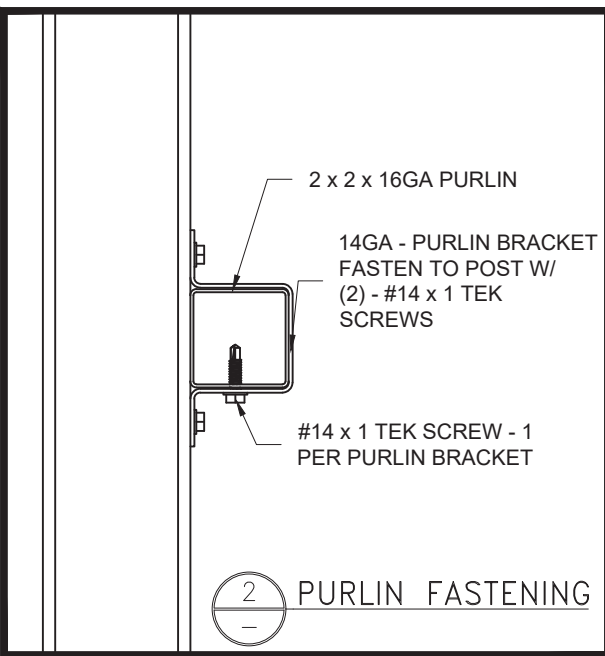
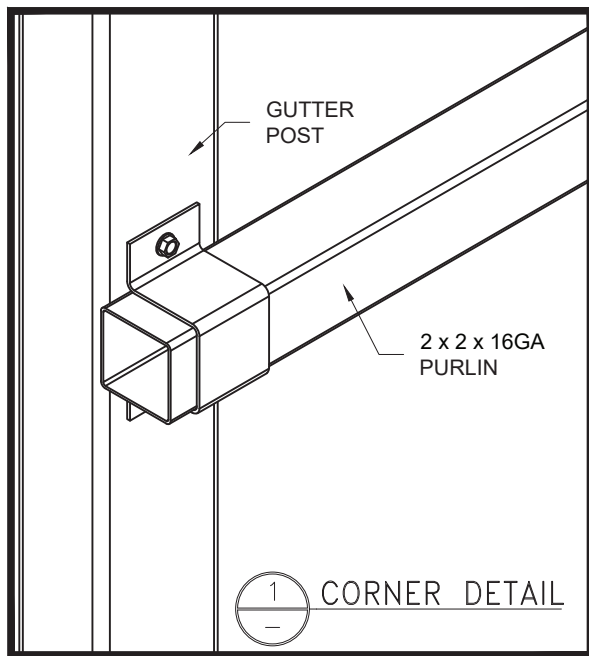
STAMPED



SIDEWALL ELEVATION 24' GUTTER CONNECT 6' C/C - 14' U/G HEIGHT	
DWG NO. PL21 107 - ST	DWG PATH PL21 107 - MIDORI CAPITAL LLC (BSI)

FOR PERMIT ISSUE ONLY

DRAWN BY: RACHEL	DATE: 13-May-02	REV NO:
SHEET: 6 of 7		REV DATE:
SCALE: N.T.S.		



Greg Riley

MIDORI CAPITAL LLC

STAMPED

DECLOET
Greenhouse Manufacturing Ltd.
RR#1 Simcoe, Ontario N3Y 4J9

CONNECTIONS		DRAWN BY:	DATE:	REV NO:
24' GUTTER CONNECT		RACHEL	13-May-02	
6' C/C - 14' U/G HEIGHT		SHEET:	REV DATE:	
		7 of 7		
DWG NO.	DWG PATH			SCALE:
PL21 107 - ST	PL21 107 - MIDORI CAPITAL LLC (BSI)			N.T.S.

FOR PERMIT ISSUE ONLY