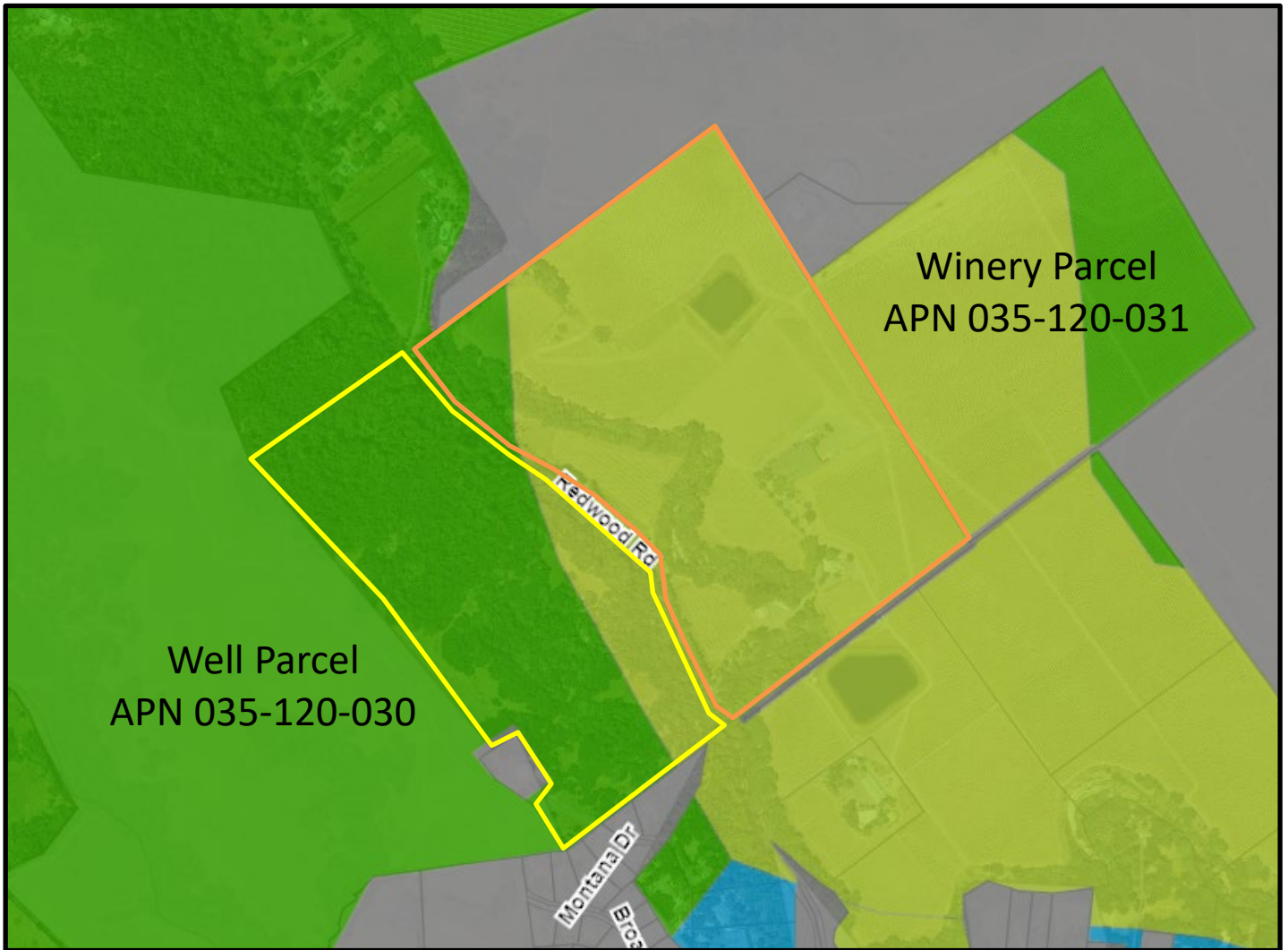


NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

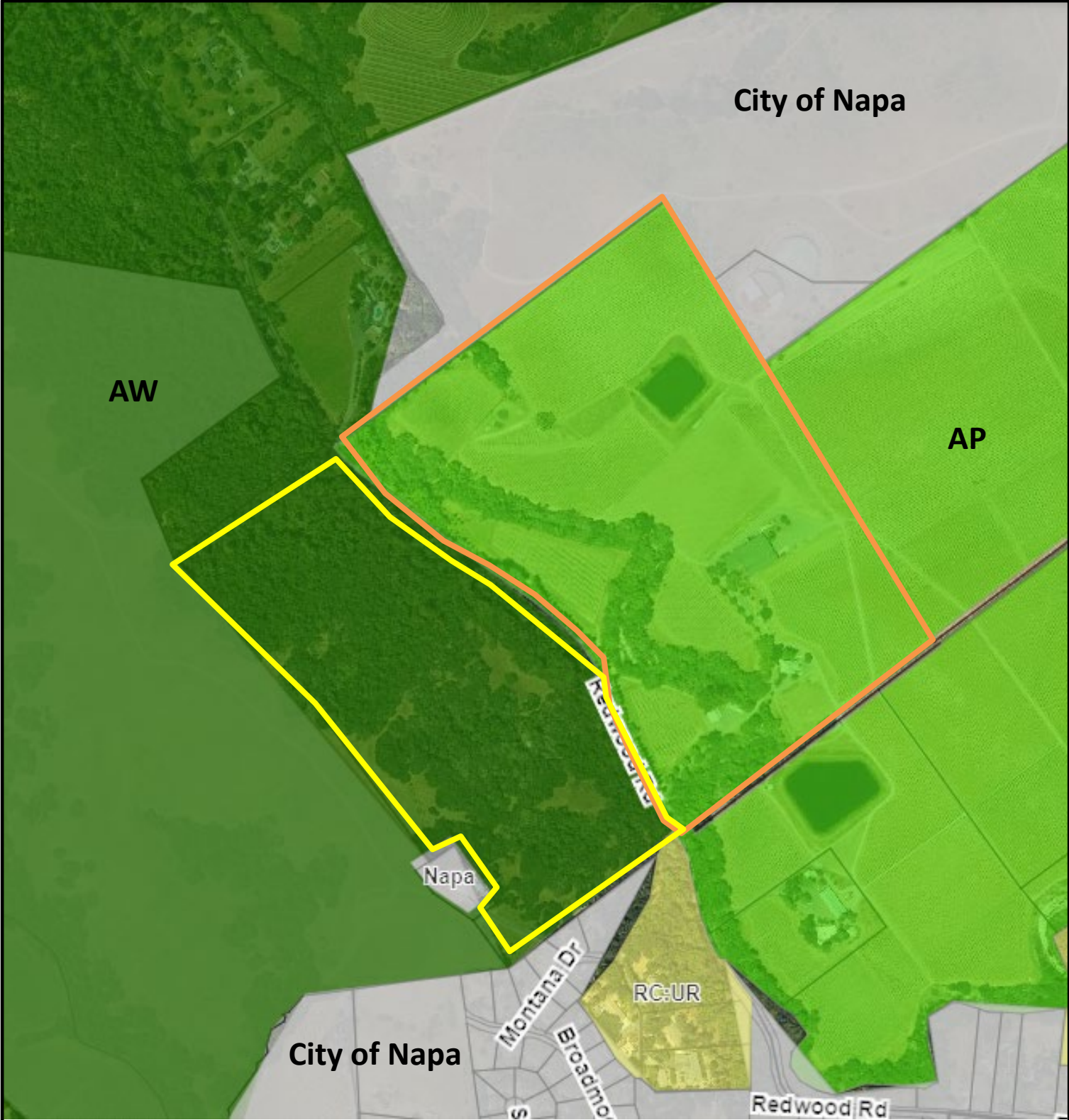
OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

- Zoning
- Parcels



ZONING MAP

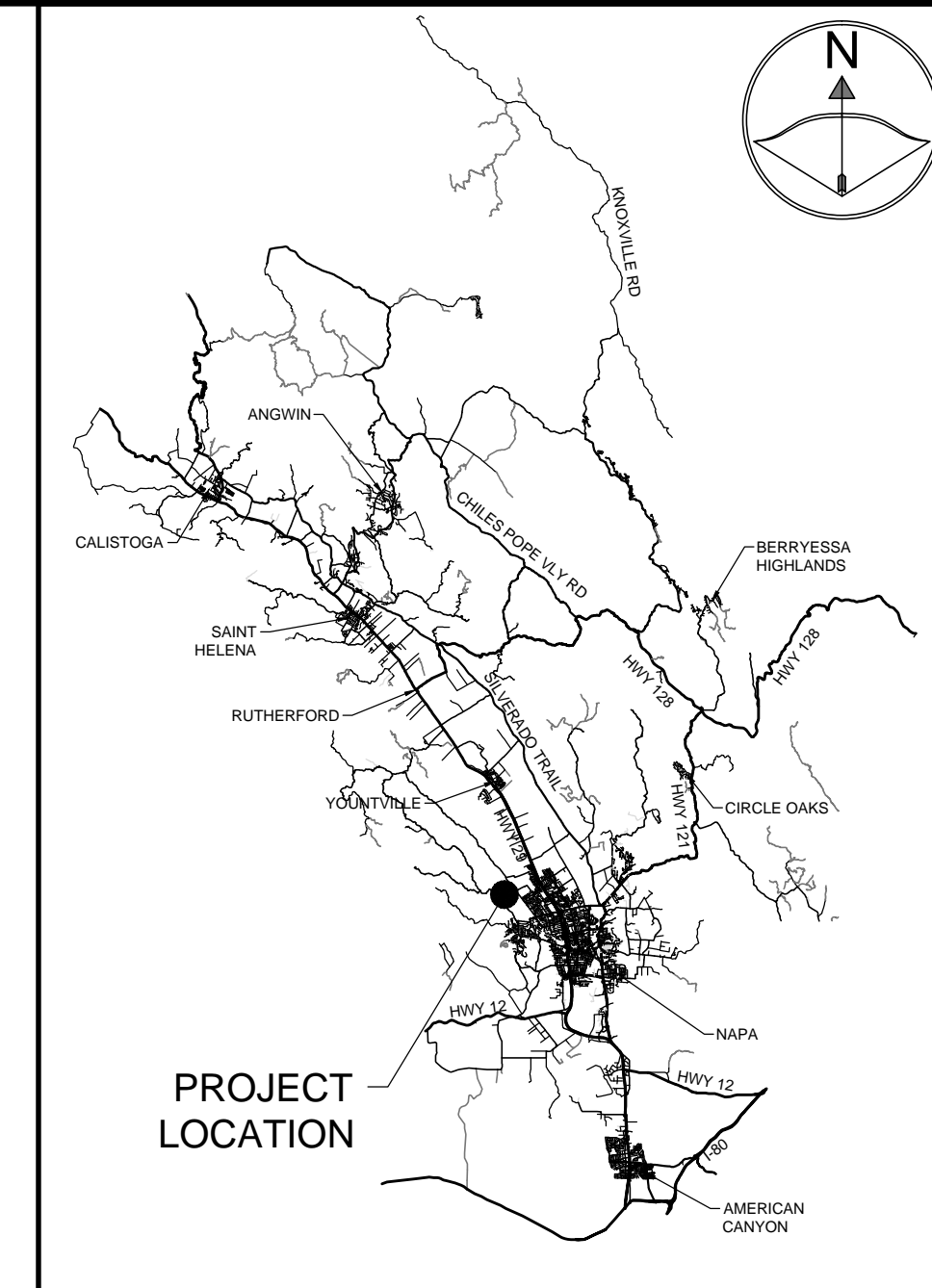


Existing Conditions

USE PERMIT MODIFICATION PLAN

FOR THE HENDRY WINERY

LOCATED AT
3104 REDWOOD ROAD
NAPA, CA 94558
APN: 035-120-031



VICINITY MAP
NTS

SHEET INDEX

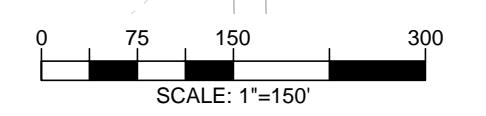
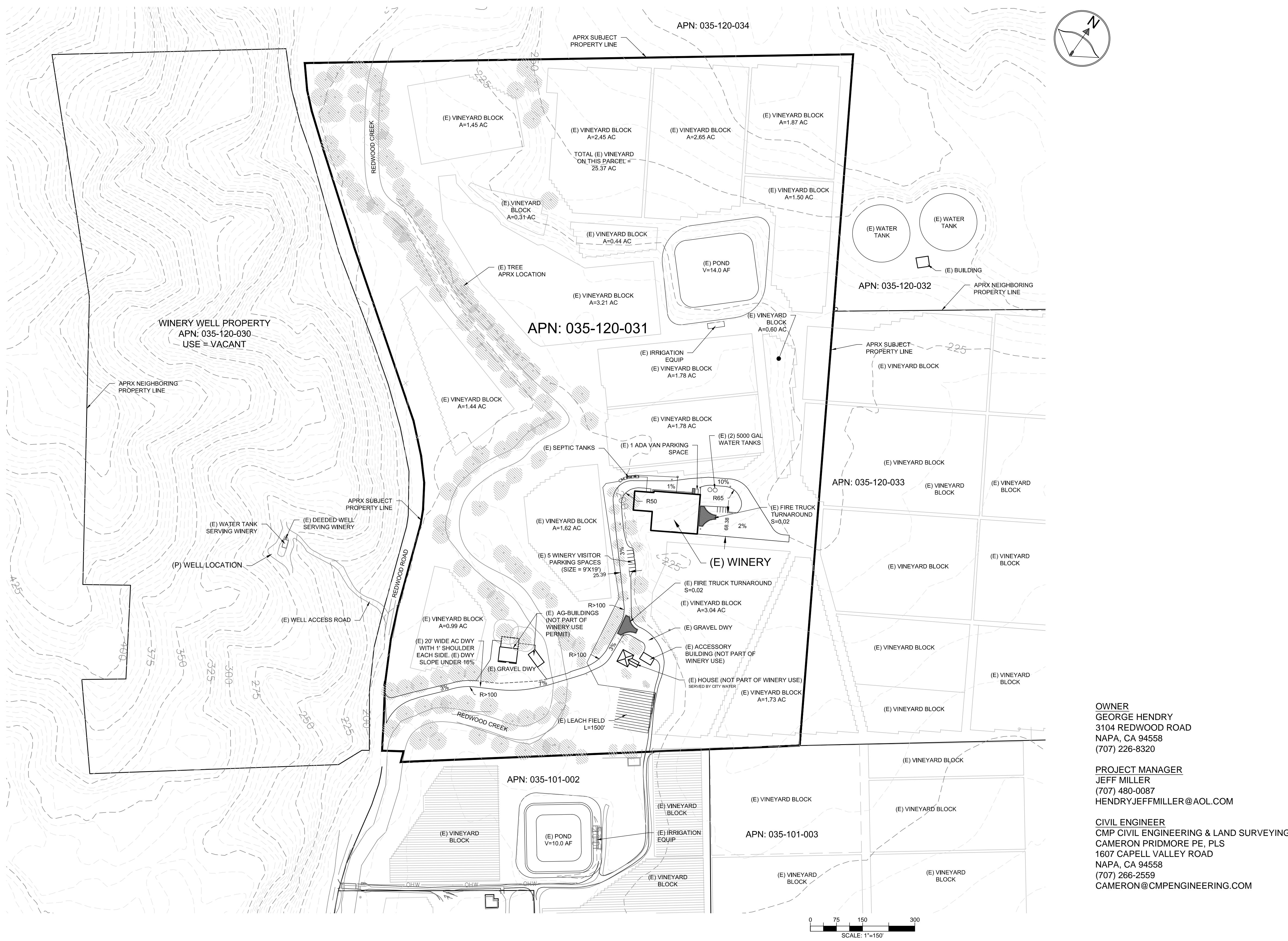
SHT. #	DESCRIPTION
UP-1	EXISTING SITE PLAN
UP-2	PROPOSED SITE PLAN
UP-3	EXISTING WINERY FLOOR PLANS
UP-4	EXISTING WINERY ELEVATIONS

ABBREVIATIONS			
AB	AGGREGATE BASE	EQ	EQUAL
AC	ASPHALT CONCRETE	ESMT	EASEMENT
ACR	ACRES	ETW	EDGE OF TRAVELED WAY
AD	AREA DRAIN	EVC	END VERTICAL CURVE
AP	APX POINT	FC	FACE OF CURB
APR	APPROVED	FF	FINISHED FLOOR
APRX	APPROXIMATE	FG	FINISHED GRADE
ARV	AIR RELIEF VALVE	FR	FIRE HYDRANT
BC	BEGIN CURVE	FI	FIELD INLET
BCR	BEGIN CURB RETURN	FL	FLOW LINE
BM	BENCHMARK	GB	GRADE BREAK
BO	BLOW OFF VALVE	GR	GRATE ELEVATION
BP	BEGINNING POINT	HP	HIGH POINT
BVC	BEGIN VERTICAL CURVE	INV	INVERT ELEVATION
BM	BOTTOM OF WALL	IRR	IRRIGATION
BOW	BACK OF WALK	JP	UTILITY JUNCTION POLE
CL	CENTER LINE	JT	JOINT TRENCH
CLR	CLEAR	LAT	LATERAL
CB	CATCH BASIN	LFT	LINGAL FEET
CMP	CORRUGATED METAL PIPE	LGP	LIP OF GUTTER
CO	CLEAN OUT	LP	LOW POINT
CP	CONCRETE	LT	LEFT
CP	CONTROL POINT	MAX	MAXIMUM
CR	CURB RETURN	MH	MANHOLE
DI	DRAIN INLET	MIN	MINIMUM
DIP	DUCTILE IRON PIPE	ORN	ORNAMENTAL TREE
DWY	DRIVEWAY	OHW	OVERHEAD UTILITY WIRE
(E)	EXISTING	(P)	PROPOSED
EA	EACH	PI	POINT OF INTERSECTION
EC	END CURVE	PIC	PROPERTY LINE
EGR	END CURB RETURN	PSDE	PRIVATE STORM DRAIN ESMT
EGR	EDGE OF GRAVEL	PUE	PUBLIC UTILITY EASEMENT
EL	ELEVATION	PVC	POLY(VINYL CHLORIDE)
EP	EDGE OF PAVEMENT	PM	VERTICAL CURVE INTERSECTION
PAV	PAVEMENT	R	RADIUS
R	RADIUS	RCP	REINFORCED CONCRETE PIPE
RCP	REINFORCED CONCRETE PIPE	REQ	REQUIRED
REQ	REQUIRED	RM	RLM ELEVATION
RM	RLM ELEVATION	RT	RIGHT
RT	RIGHT	ROW	RIGHT OF WAY
ROW	RIGHT OF WAY	S	SLOPE
S	SLOPE	SD	STORM DRAIN
SD	STORM DRAIN	SDE	STORM DRAIN EASEMENT
SDE	STORM DRAIN EASEMENT	SDMH	STORM DRAIN MANHOLE
SDMH	STORM DRAIN MANHOLE	SE	SIDEWALK EASEMENT
SE	SIDEWALK EASEMENT	SF	SQUARE FEET
SF	SQUARE FEET	SPEC	SPECIFICATIONS
SPEC	SPECIFICATIONS	SS	SANITARY SEWER
SS	SANITARY SEWER	SSE	SANITARY SEWER EASEMENT
SSE	SANITARY SEWER EASEMENT	SSLAT	SANITARY SEWER LATERAL
SSLAT	SANITARY SEWER LATERAL	SSMH	SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE	STA	STATION
STA	STATION	STD	STANDARD
STD	STANDARD	STLT	STREET LIGHT
STLT	STREET LIGHT	T	TANGENT
T	TANGENT	T	TOTAL
T	TOTAL	TB	TREE BOX
TB	TREE BOX	TC	TOP OF CURB
TC	TOP OF CURB	TG	TOP OF GRATE
TG	TOP OF GRATE	TW	TOP OF WALL
TW	TOP OF WALL	TYP	TYPICAL
TYP	TYPICAL	UE	UNDER GROUND ELECTRICAL
UE	UNDER GROUND ELECTRICAL	VC	VERTICAL CURVE
VC	VERTICAL CURVE	W	WATER
W	WATER	WLAT	WATER SERVICE LATERAL
WLAT	WATER SERVICE LATERAL	WM	WATER METER
WM	WATER METER		

LINE LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	CENTERLINE
SANITARY SEWER PIPE	STORM DRAIN PIPE
WATER PIPE	BURIED ELECTRIC
OVERHEAD ELECTRIC	GAS LINE
CONTOURS	LIMITS OF GRADING
TREE DRIP LINE	FENCE LINE

SYMBOL LEGEND	
EXISTING TREE	TREE TO BE REMOVED
TREE TO BE SAVED WITH TREE WELL	

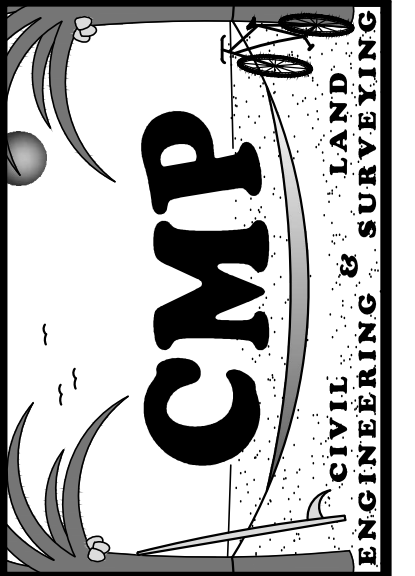
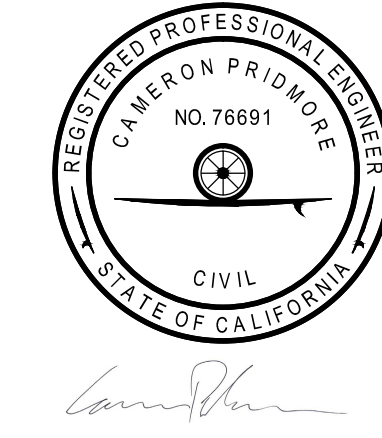
UNAUTHORIZED CHANGES & USES:
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PROPERTY LINES:
THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.
HORIZONTAL & VERTICAL DATUM:
THIS MAP IS BASED ON PRELIMINARY INFORMATION FROM NAPA COUNTY GIS INFORMATION AND IMAGES AND DATA PROVIDED BY OWNER. SURVEY CONTOURS ARE SHOWN AS FOLLOWS: MAJOR = 2', MINOR = 5'.
EXISTING FEATURES:
THE EXISTING FEATURES DEPICTED ON THESE PLANS ARE BASED ON MAPS AND DATA SUPPLIED BY THE OWNER OF THE SUBJECT PROPERTY. THE ENGINEER PREPARING THESE PLANS MAKES NO GUARANTEE TO THE ACCURACY OF THE EXISTING FEATURES CALLED OUT ON THESE PLANS.



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GEORGE HENDRY
3104 REDWOOD ROAD
NAPA, CA 94558
(707) 226-8320

PROJECT MANAGER
JEFF MILLER
(707) 480-0087
HENDRYJEFFMILLER@AOL.COM

CIVIL ENGINEER
CMP CIVIL ENGINEERING & LAND SURVEYING
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1607 CAPELL VALLEY ROAD
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CAMERON@CMPENGINEERING.COM

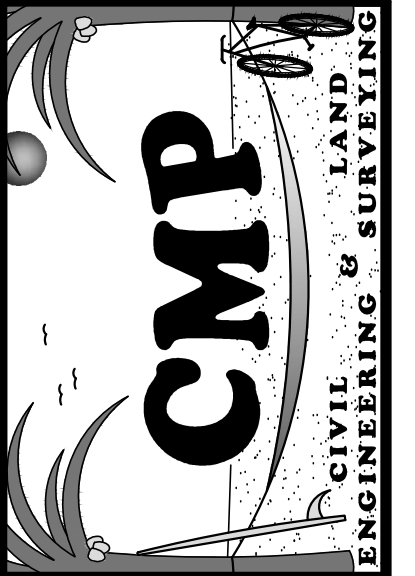
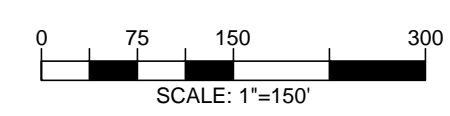
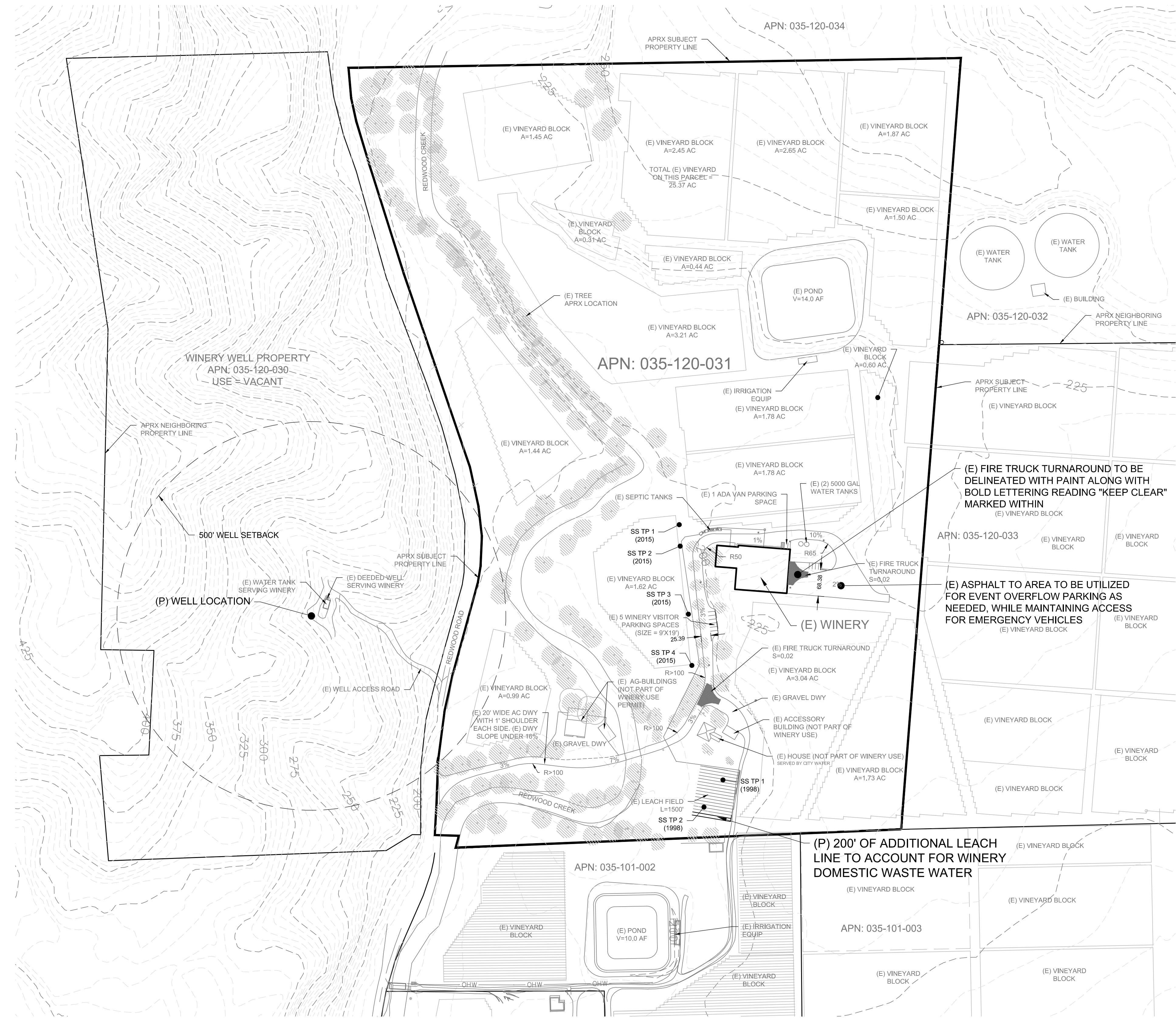
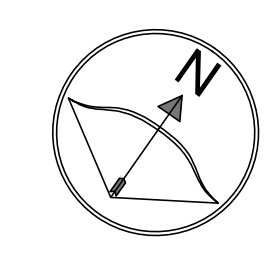


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CMPENGINEERING.COM
PROJECT # 00667
DATE: 4/21/15

DATE	DESCRIPTION
6/19/17	COUNTY COMMENTS
11/10/17	COUNTY COMMENTS
2/20/18	COUNTY COMMENTS
9/19/19	COUNTY & CLIENT COMMENTS
9/20/22	TITLE BLOCK REVISION
10/12/23	REVISED (P) WELL LOCATION

PROJECT INFO:
HENDRY WINERY
3104 REDWOOD ROAD
NAPA, CA 94558
APN: 035-120-031

SHEET NAME:
SHEET:
UP-1



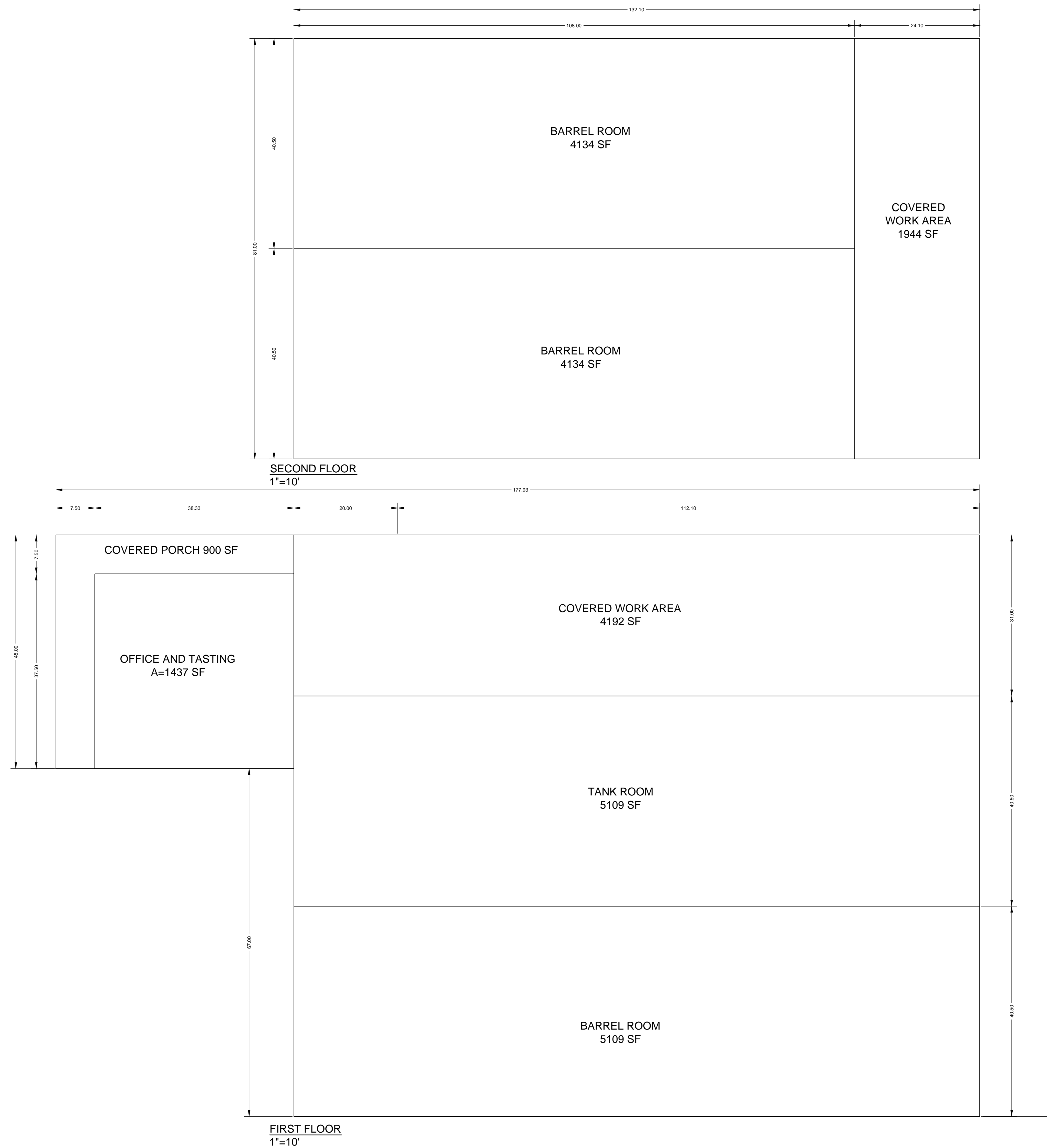
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DATE: 4/21/15

REV. #	DESCRIPTION	DATE
1	COUNTY COMMENTS	6/19/17
2	COUNTY COMMENTS	11/19/17
3	COUNTY COMMENTS 12/20/18	2/20/18
4	COUNTY & CLIENT COMMENTS	9/19/19
5	TITLE BLOCK REVISION	9/20/22
6	REVISED (P) WELL LOCATION	10/12/23

PROJECT INFO:
HENDRY WINERY
3104 REDWOOD ROAD
NAPA, CA 94558
APN: 035-120-031

SHEET NAME:
SITE PLAN

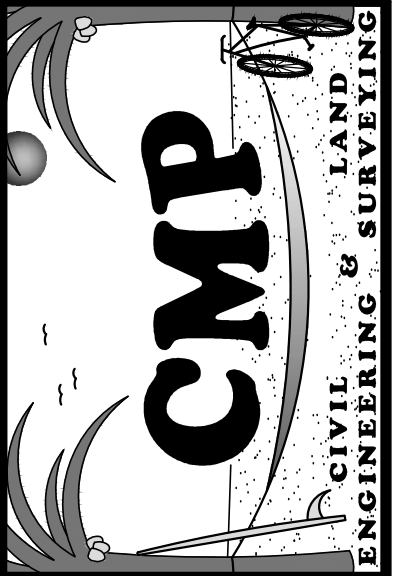
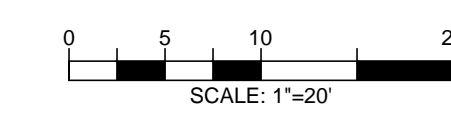
SHEET:
UP-2
OF 4



WINERY BUILDING AREAS

- 13377 SF = TOTAL BARREL STORAGE AREA
- 6136 SF = TOTAL COVERED WORK AREA
- 5109 SF = TOTAL TANK STORAGE AREA
- 1437 SF = TOTAL OFFICE AND TASTING AREA
- 900 SF = TOTAL PORCH AREA
- 26959 SF = TOTAL AREA

- 2337 SF = ACCESSORY AREA (OFFICE & TASTING + PORCH)
- 8.7% = % ACCESSORY (2337 SF / 26956 SF x 100)



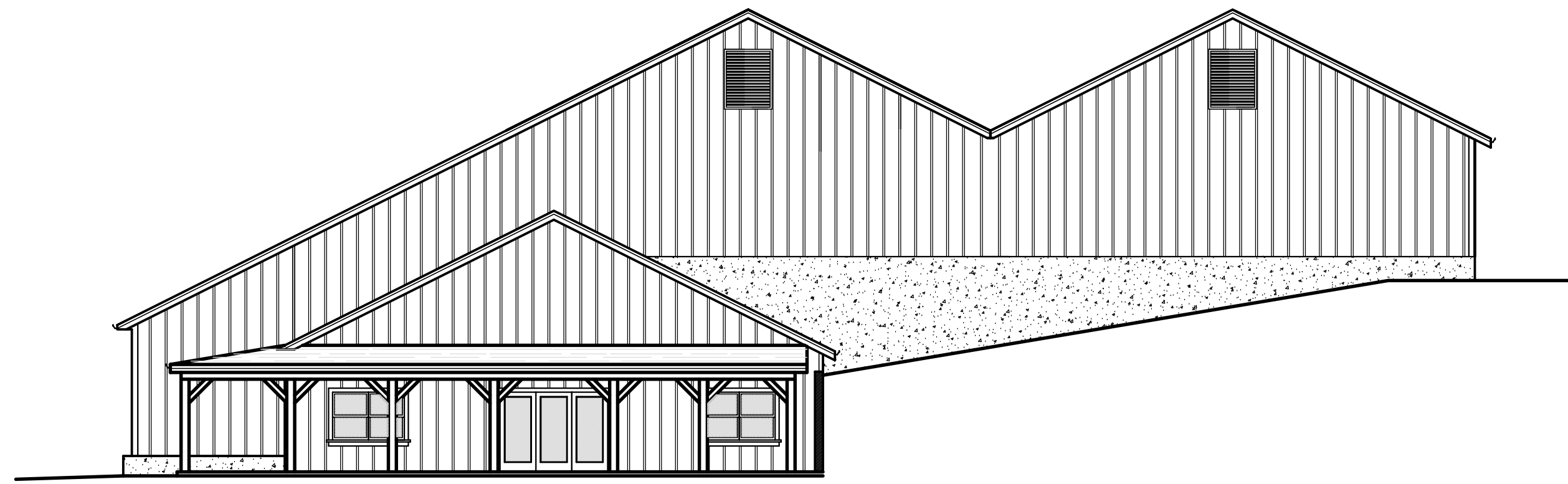
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REV. #	DESCRIPTION	DATE
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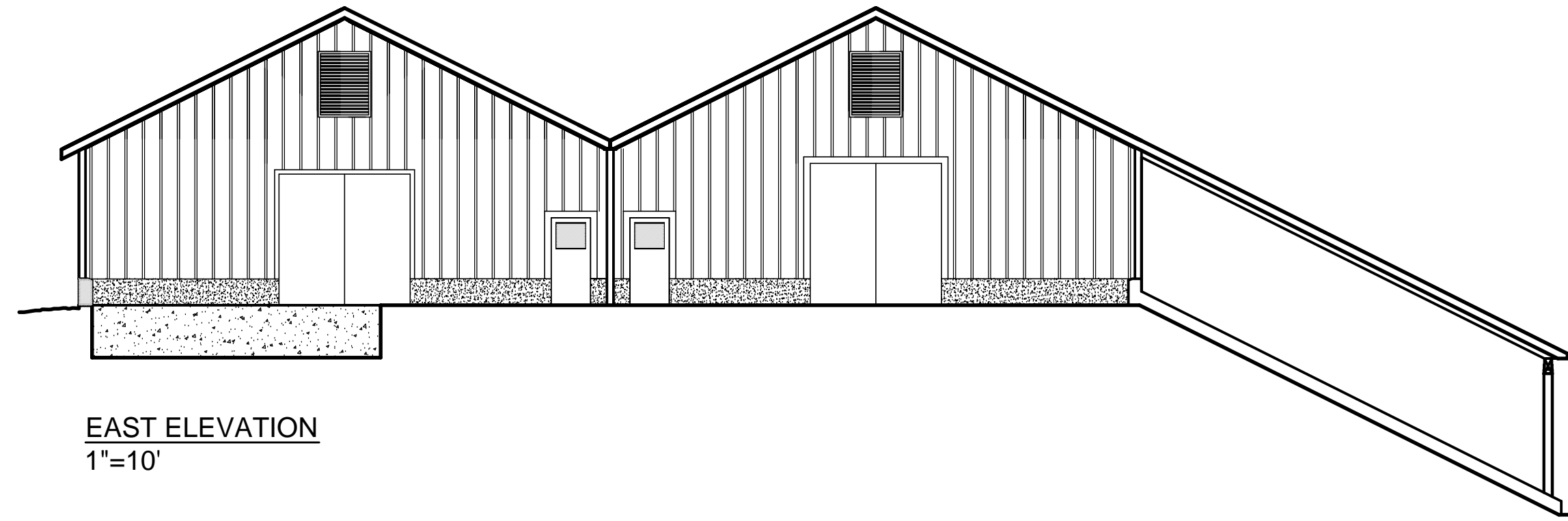
PROJECT INFO:
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3104 REDWOOD ROAD
NAPA, CA 94558
APN: 035-120-031

SHEET NAME:
EXISTING WINERY FLOOR PLAN

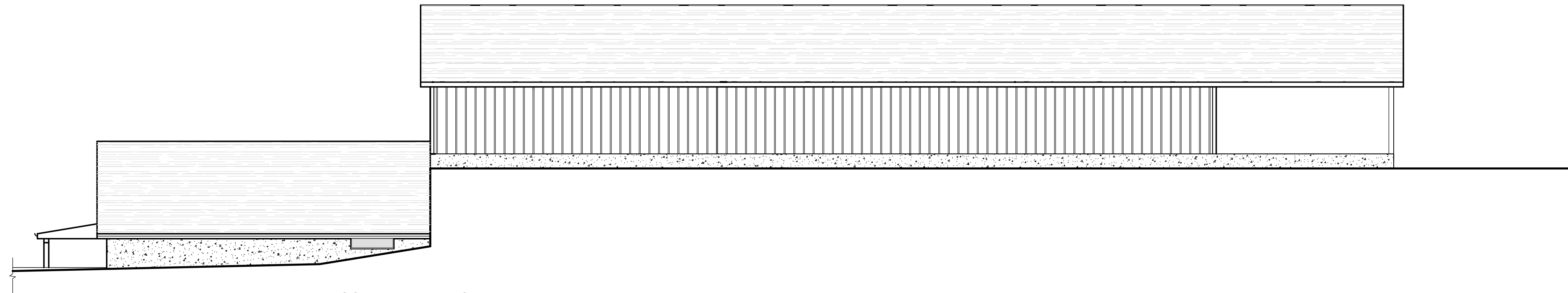
SHEET:
UP-3



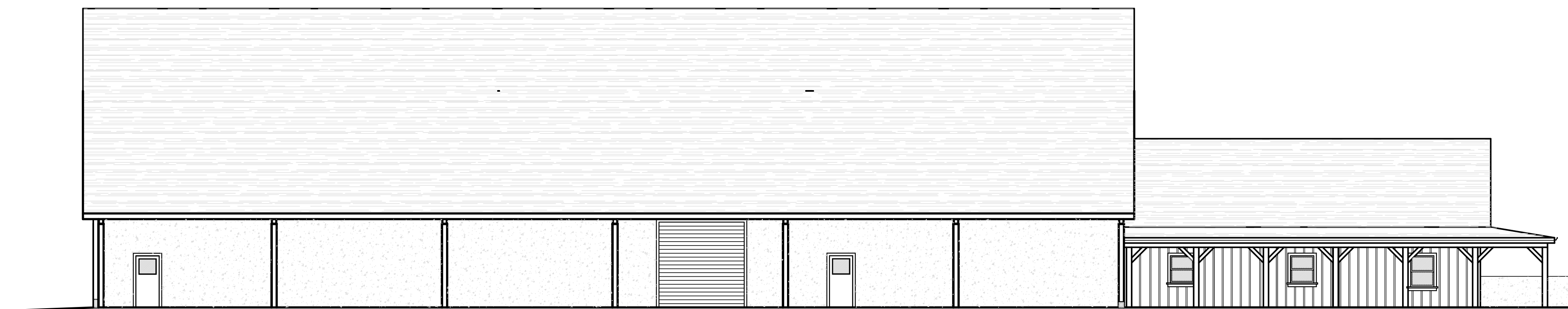
WEST ELEVATION
1"=10'



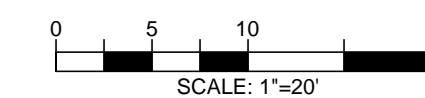
EAST ELEVATION
1"=10'



SOUTH ELEVATION
1"=10'



NORTH ELEVATION
1"=10'



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SHEET NAME:

**EXISTING WINERY
 ELEVATIONS**

SHEET:

UP-4