

Appendix C

Cultural Resources Appendix

Appendix C.1

Historical Resources Report

1718 N. Vine Street
Los Angeles, California

Historical Resource Report



Prepared by:



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TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
1. INTRODUCTION.....	2
1.1 Purpose and Qualifications.....	2
1.2 Methodology	3
2. REGULATORY FRAMEWORK	5
2.1 National Register of Historic Places.....	5
2.2 California Register of Historical Resources.....	6
2.3 City of Los Angeles Cultural Heritage Ordinance	8
3. ENVIRONMENTAL SETTING	9
3.1 Description of the Project Site	9
3.2 Historical Resources in the Project Study Area	10
4. PROJECT IMPACTS.....	15
4.1 Determining the Significance of Impacts on Historical Resources	15
4.2 Secretary of the Interior's Standards.....	16
4.3 Project Description	18
4.4 Analysis of Project Impacts	19
5. MITIGATION MEASURES AND RECOMMENDATIONS	27
5.1 Mitigation Measures.....	27
6. CONCLUSION.....	28
7. SOURCES	29

Appendix A: Résumés

Appendix B: Project Plans



EXECUTIVE SUMMARY

The purpose of this report was to determine if a project in the Hollywood area of the City of Los Angeles would directly or indirectly impact any historical resources subject to the California Environmental Quality Act (CEQA). The proposed project involves the property located at 1718 N. Vine Street in the Hollywood area of the City of Los Angeles. It is situated between Hollywood Boulevard and Yucca Street, on the east side of Vine Street. GPA Consulting (GPA) was retained to identify historical resources on and in the vicinity of the project site, to analyze impacts to identified historical resources, and to recommend mitigation measures, as appropriate. The following historical resources were identified:

- The project site is located next to the Hollywood Boulevard Commercial and Entertainment District (Historic District), which was listed in the National Register of Historic Places in 1985. The extant building on the project site is not within the boundaries of the Historic District. Therefore, it is neither contributing nor non-contributing to the Historic District.
- The Equitable Building at 6253 Hollywood Boulevard is adjacent to the project site on the south. It is a contributor to the Historic District. It is not currently individually listed as a landmark at the national, state, or local levels; however, a Los Angeles Historic-Cultural Monument application for the building is currently pending. As a result, it is treated as both an individual historical resource and a contributor to the Historic District in this report.
- The Capitol Records Building at 1750 N. Vine Street is located north of the project site, across a surface parking lot. The building is not located within the Historic District boundary; however, both the building and its rooftop sign are designated as Los Angeles Historic-Cultural Monument #857.
- The Pantages Theatre at 6233 Hollywood Boulevard is adjacent to the project site on the east. It is a contributor to the Historic District and it is designated as Los Angeles Historic-Cultural Monument #193.
- The Hollywood Walk of Fame extends along the front of the project site on Vine Street. It is designated as Los Angeles Historic-Cultural Monument #194.

The project would involve the removal and replacement of the existing building on the project site with a 13-story hotel atop four levels of underground parking. Based upon the research and field inspection conducted for this report, GPA concluded the existing building on the project site is not individually eligible as a historical resource at the national, state, or local levels due to lack of integrity. This conclusion is consistent with the fact that the building has never been identified in any previous surveys of the area, including the survey of the Hollywood Redevelopment Project Area in 2010. As a result, the project will not have a direct impact on historical resources because none of the buildings on the project site slated for removal are historical resources.

GPA also analyzed the project's potential direct and indirect impacts on the Historic District, Equitable Building, Capitol Records Building, Pantages Theatre, and Hollywood Walk of Fame and concluded that the proposed project would have a less than significant direct impact on the identified historical resources after the implementation of the mitigation measures outlined in Section 5.1. The proposed project would have a less than significant indirect impact on the identified historical resources without requiring any mitigation measures.

1. INTRODUCTION

1.1 Purpose and Qualifications

The purpose of this report is to determine and set forth whether or not a proposed development project would impact historical resources. The proposed project involves the property located at 1718 N. Vine Street in the Hollywood area of the City of Los Angeles. It is situated between Hollywood Boulevard and Yucca Street, on the east side of Vine Street (see Figure 1 below). The Assessor's Parcel Number for the property is 5546-030-027. The property is occupied by a two-story commercial building that currently houses a restaurant and nightclub. The proposed project includes demolishing the existing building and constructing a 13-story hotel over four levels of subterranean parking.

GPA Consulting (GPA) was retained to identify historical resources on and in the vicinity of the project site, to assess any potential impacts the project may have on the identified historical resources, and to recommend mitigation measures, as appropriate, for compliance with the California Environmental Quality Act (CEQA). Teresa Grimes and Laura O'Neill were responsible for the preparation of this report. They each fulfill the qualifications for historic preservation professionals outlined in Title 36 of the Code of Federal Regulations, Part 61. Their résumés are attached in Appendix A.

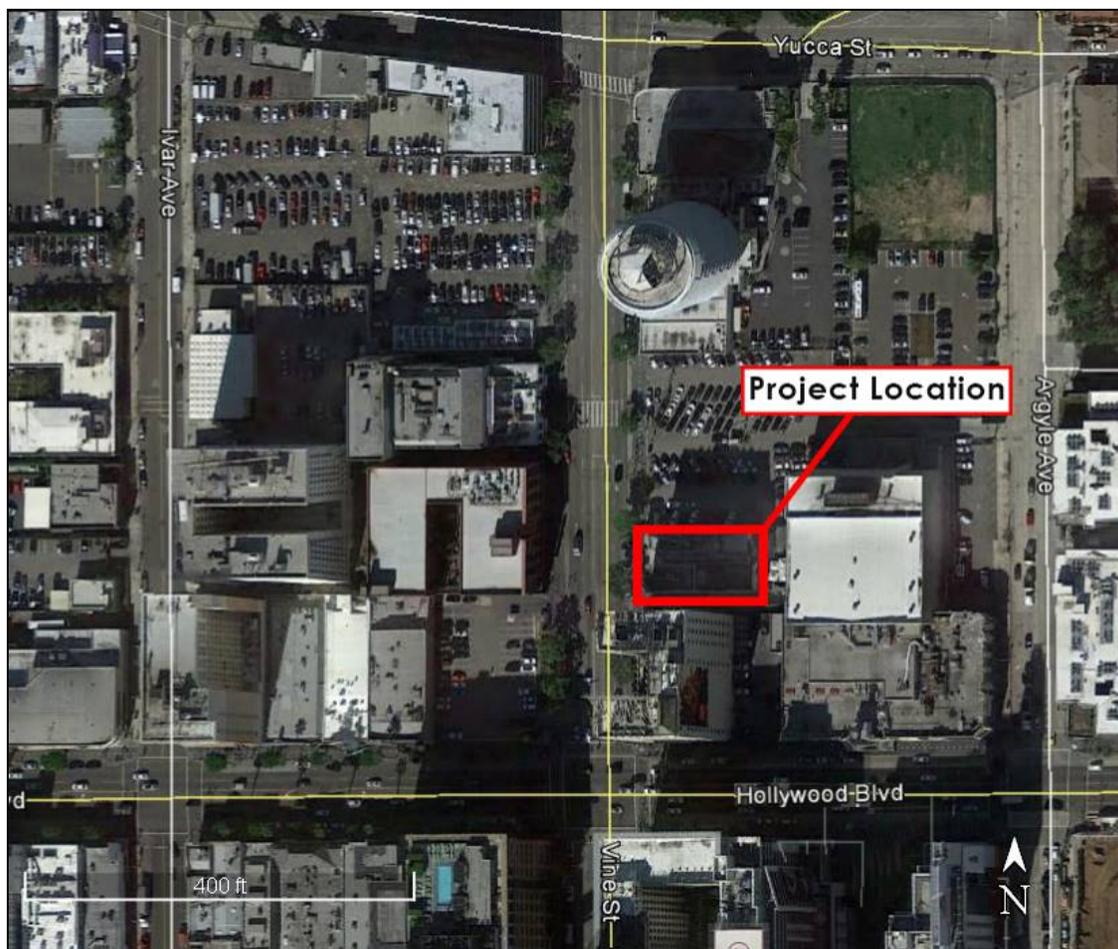


Figure 1: Project location.

1.2 Methodology

In preparing this report, the following tasks were performed:

1. Conducted a field inspection of the project site and surrounding area to determine the scope of the study. The study area was identified as the single block bounded by Vine Street on the west, Yucca Street on the north, Argyle Avenue on the east, and Hollywood Boulevard on the south (see Figure 2 below). The study area includes the buildings and vacant lots that share the block with the proposed project.

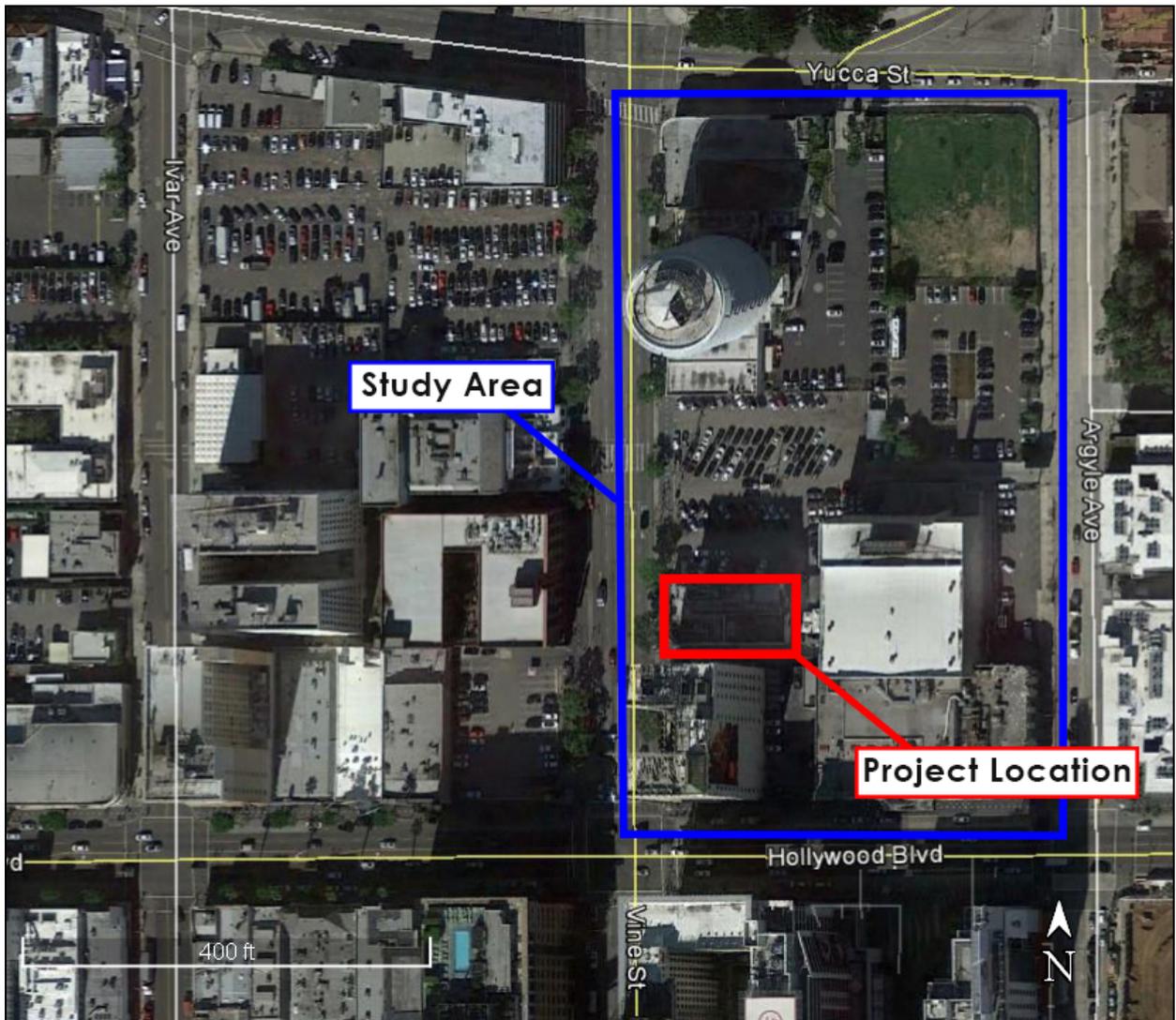


Figure 2: Study Area.

2. Requested and reviewed a records search from the South Central Coastal Information Center at California State University, Fullerton to determine whether or not any of the buildings in the study area are currently listed as landmarks at the national, state, or local levels and whether or not they had been previously evaluated as historical



resources. The records search concluded the following (see Figure 4 in Section 3.2 for a map of all historical resources in the study area):

- a. The project site is NOT located within the boundaries of the Hollywood Boulevard Commercial and Entertainment District, which was listed in the National Register of Historic Places in 1985. The boundary of the Historic District extends along the southern perimeter of the project site.
 - b. The building on the project site has never been evaluated as eligible for designation under the local, state, or federal designation programs.
 - c. The Equitable Building at 6253 Hollywood Boulevard is adjacent to the project site on the south. It is a contributor to the Historic District. It is not currently listed as an individual landmark at the national or state levels; however, it has been designated as Los Angeles Historic-Cultural Monument (HCM) #1088. As a result, it is treated as both an individual historical resource and a contributor to the National Register Historic District in this report.
 - d. The Capitol Records Building at 1750 N. Vine Street is located north of the project site, across a surface parking lot. The building is not located within the Historic District boundary; however, both the building and its rooftop sign are designated as HCM #857.
 - e. The Pantages Theatre at 6233 Hollywood Boulevard is located east of the project site. It is listed in the National Register as a contributor to the Historic District and is designated individually as HCM #193.
 - f. The Hollywood Walk of Fame extends along the front of the project site on Vine Street. It is designated HCM #194 and has been formally determined eligible for listing in the National Register. Resources that have been formally determined eligible for listing in the National Register are automatically included in the California Register of Historical Resources.
3. Researched the building on the project site to determine if it had been identified in previous historic resources surveys and if it had the potential to be considered a historical resource. Sources consulted included historic resources surveys conducted by the City and the former Community Redevelopment Agency of Los Angeles, City of Los Angeles building permit records, Sanborn Fire Insurance Maps, and historic photograph collections. As a result of the preliminary research, the project team determined that the building does not appear to be a historical resource for the following reasons, and focused this report on analyzing project impacts on the known historical resources in the vicinity:
- a. It is not a contributor to the Hollywood Boulevard Commercial and Entertainment District, as it is located outside of this district.
 - b. A review of the data on the HistoricPlacesLA website and the City of Los Angeles Office of Historic Resources website confirmed that the property was not identified as a historical resource in previous surveys of Hollywood, the most recent being 2010, which concluded that the existing building was ineligible for national, state, or local listing as a historic resource due to a lack of integrity.



- c. Consistent with the 2010 historic resource survey findings, the building was constructed in 1915, but has been altered numerous times since according to building permit records. Changes to the building over time have included window and door replacements, infill of storefronts, changes to the roofline, additions and subsequent removals of additions, installation of new awnings and lighting, and numerous interior remodels. Building permit records also revealed that the building has changed hands and uses many times, and the building was remodeled constantly to suit the needs of new tenants. See Figure 3 for an image of the building in its current state.
 - d. Due to the extent of alterations, including many in the 1980s, 1990s, and 2000s, the building lacks integrity and has no ability to convey any potential historic significance. Furthermore, the preliminary research revealed no reason to suspect that the building has any potential significance to convey.
4. Communicated with the design and development team to discuss the proposed project.
 5. Reviewed and analyzed the plans and related documents to determine if the project would have a negative impact, either directly or indirectly, on historical resources as defined by CEQA. See Appendix B for a copy of the plan set.

2. REGULATORY FRAMEWORK

Generally, a lead agency must consider a property a historical resource under CEQA if it is eligible for listing in the California Register of Historical Resources (California Register). The California Register is modeled after the National Register of Historic Places (National Register). Furthermore, a property is presumed to be historically significant if it is listed in a local register of historic resources or has been identified as historically significant in a historic resources survey (provided certain criteria and requirements are satisfied) unless a preponderance of evidence demonstrates that the property is not historically or culturally significant.¹ The National Register, California Register, and local designation programs are discussed below.

2.1 National Register of Historic Places

The National Register is "an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment."²

Criteria

To be eligible for listing in the National Register, a property must be at least 50 years of age (unless the property is of "exceptional importance") and possess significance in American history and culture, architecture, or archaeology. A property of potential significance must meet one or more of the following four established criteria:³

¹ Public Resources Code Section 5024.1 and 14 California Code of Regulations Sections 4850 & 15064.5(a)(2).

² Title 36 Code of Federal Regulations Part 60.2.

³ Title 36 Code of Federal Regulations Part 60.4.



- A. Associated with events that have made a significant contribution to the broad patterns of our history; or
- B. Associated with the lives of persons significant in our past; or
- C. Embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. Yield, or may be likely to yield, information important in prehistory or history.

Physical Integrity

According to *National Register Bulletin #15*, "to be eligible for listing in the National Register, a property must not only be shown to be significant under National Register criteria, but it also must have integrity." Integrity is defined in *National Register Bulletin #15* as "the ability of a property to convey its significance."⁴ Within the concept of integrity, the National Register recognizes the following seven aspects or qualities that in various combinations define integrity: feeling, association, workmanship, location, design, setting, and materials.

Context

To be eligible for listing in the National Register, a property must also be significant within a historic context. *National Register Bulletin #15* states that the significance of a historic property can be judged only when it is evaluated within its historic context. Historic contexts are "those patterns, themes, or trends in history by which a specific...property or site is understood and its meaning...is made clear."⁵ A property must represent an important aspect of the area's history or prehistory and possess the requisite integrity to qualify for the National Register.

2.2 California Register of Historical Resources

In 1992, Governor Wilson signed Assembly Bill 2881 into law establishing the California Register. The California Register is an authoritative guide used by state and local agencies, private groups, and citizens to identify historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse impacts.⁶

Criteria and Integrity

The California Register consists of properties that are listed automatically as well as those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed in the National Register and those formally Determined Eligible for the National Register;

⁴ *National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation*, (Washington D.C.: National Park Service, 2002), 44-45.

⁵ *National Register Bulletin #15*, 7.

⁶ Public Resources Code Section 5024.1 (a).



- State Historical Landmarks from No. 0770 onward; and
- Those California Points of Historical Interest that have been evaluated by the State Office of Historic Preservation (SOHP) and have been recommended to the State Historical Resources Commission for inclusion on the California Register.⁷

For properties not automatically listed, the criteria for eligibility of listing in the California Register are based upon National Register criteria, but are identified as 1-4 instead of A-D. To be eligible for listing in the California Register, a property generally must be at least 50 years of age and must possess significance at the local, state, or national level, under one or more of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or
2. It is associated with the lives of persons important to local, California, or national history; or
3. It embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values; or
4. It has yielded, or has the potential to yield, information important in the prehistory or history of the local area, California, or the nation.

Historical resources eligible for listing in the California Register may include buildings, sites, structures, objects, and historic districts. Resources less than 50 years of age may be eligible if it can be demonstrated that sufficient time has passed to understand its historical importance. While the enabling legislation for the California Register is less rigorous with regard to the issue of integrity, there is the expectation that properties reflect their appearance during their period of significance.⁸

The California Register may also include properties identified during historical resource surveys. However, the survey must meet all of the following criteria:⁹

1. The survey has been or will be included in the State Historic Resources Inventory;
2. The survey and the survey documentation were prepared in accordance with office [SOHP] procedures and requirements;
3. The resource is evaluated and determined by the office [SOHP] to have a significance rating of Category 1 to 5 on a DPR Form 523; and
4. If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation

⁷ Public Resources Code Section 5024.1 (d).

⁸ Public Resources Code Section 4852.

⁹ Public Resources Code Section 5024.1.



and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

SOHP Survey Methodology

The evaluation instructions and classification system prescribed by the SOHP in its *Instructions for Recording Historical Resources* provide a Status Code for use in classifying potential historical resources. In 2003, the Status Codes were revised to address the California Register. These Status Codes are used statewide in the preparation of historical resource surveys and evaluation reports. The first code is a number that indicates the general category of evaluation. The second code is a letter that indicates whether the property is separately eligible (S), eligible as part of a district (D), or both (B). There is sometimes a third code that describes some of the circumstances or conditions of the evaluation. The general evaluation categories are as follows:

1. Listed in the National Register or the California Register.
2. Determined eligible for listing in the National Register or the California Register.
3. Appears eligible for listing in the National Register or the California Register through survey evaluation.
4. Appears eligible for listing in the National Register or the California Register through other evaluation.
5. Recognized as historically significant by local government.
6. Not eligible for listing or designation as specified.
7. Not evaluated or needs re-evaluation.

2.3 City of Los Angeles Cultural Heritage Ordinance

The Los Angeles City Council adopted the Cultural Heritage Ordinance in 1962 and amended it in 2007 (Sections 22.171 et seq. of the Administrative Code). The Ordinance created a Cultural Heritage Commission and criteria for designating Historic-Cultural Monuments (HCM). The Commission is comprised of five citizens, appointed by the Mayor, who have exhibited knowledge of Los Angeles history, culture and architecture. The three criteria for HCM designation are stated below:

- The proposed HCM reflects the broad cultural, economic, or social history of the nation, state or community; or
- The proposed HCM is identified with historic personages or with important events in the main currents of national, state or local history; or
- The proposed HCM embodies the characteristics of an architectural type specimen inherently valuable for a study of a period, style or method of construction; or the proposed HCM is the notable work of a master builder, designer, or architect whose individual genius influenced his or her age.¹⁰

¹⁰ Los Angeles Administrative Code Section 22.171.7.

Unlike the National and California Registers, the Ordinance makes no mention of concepts such as physical integrity or period of significance. Moreover, properties do not have to reach a minimum age requirement, such as 50 years, to be designated as HCMs.

3. ENVIRONMENTAL SETTING

3.1 Description of the Project Site



Figure 3: Commercial building at 1718 N. Vine Street.

The proposed project site consists of a rectangular parcel occupied by a two-story commercial building. The building was constructed in 1915, but has been altered numerous times since its original construction. The building takes up the majority of the parcel, save for an easement area to the south and a small parking area to the east. South of the easement area is the 12-story Equitable Building; east of the parking area is the side of the Pantages Theatre. Immediately north of the building is a surface parking lot on a separate parcel.

The building has a rectangular plan with a clipped southwest corner. While it appears to be a tall single story building, it has two interior floors and an outdoor patio on the second floor at the southeast corner. The building has been completely altered and does not appear to have any intact, original features. As a result, it is not considered a historical resource in this report, as explained in detail in the Methodology section.

3.2 Historical Resources in the Project Study Area

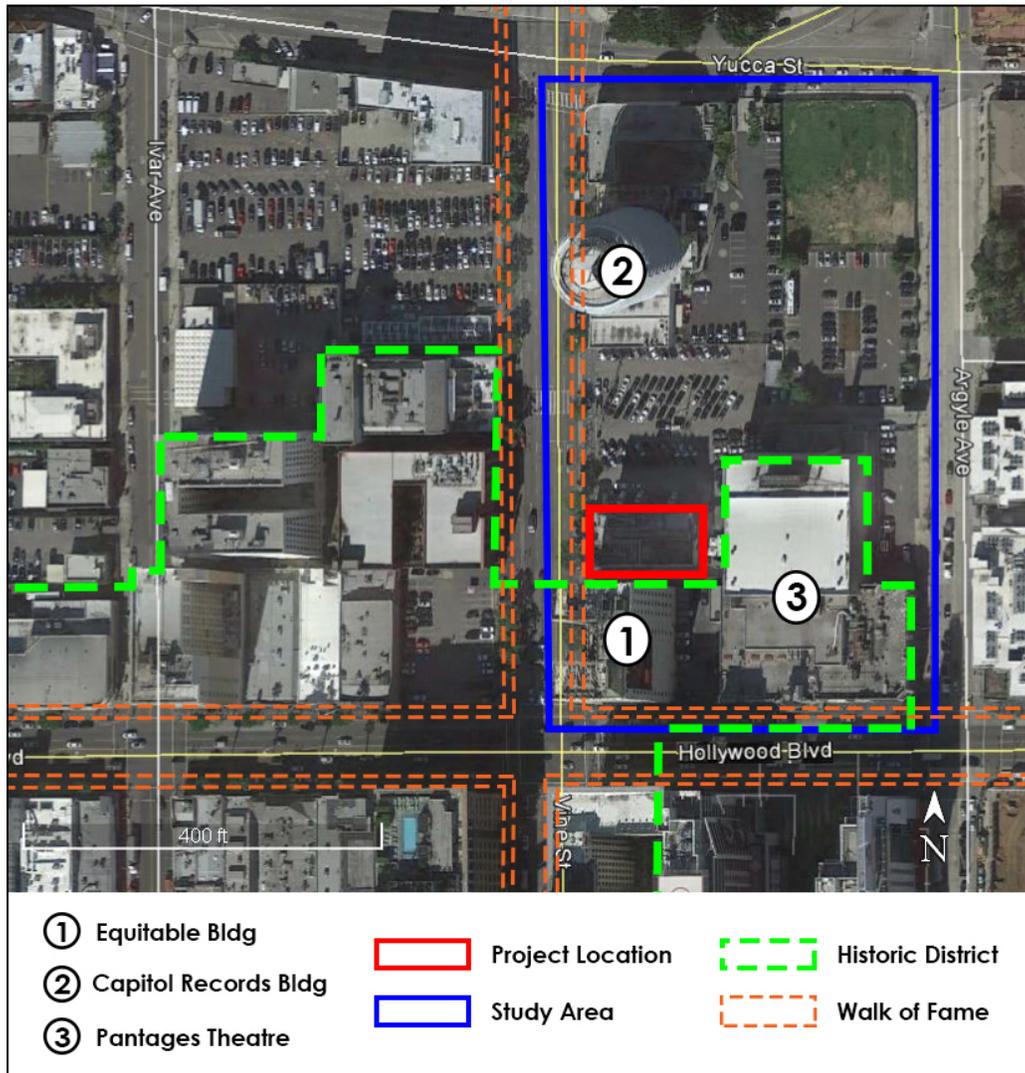


Figure 4. Map of Known Historical Resources in the Study Area.

The project site is located just outside of the boundaries of the Hollywood Boulevard Commercial and Entertainment District. The nearest stretch of Hollywood Boulevard included in the project study area consists of the 12-story Equitable Building and the two-story Pantages Theatre. The Equitable Building is a contributor to the Historic District and is an individual historical resource as designated HCM #1088. The Pantages Theatre is also a contributor to the Historic District, and it is an individual historical resource as designated HCM #193.

The block of Vine Street within the project study area consists of surface parking lots, the two-story commercial building on the project site, and the 13-story Capitol Records Building. The Capitol Records Building is considered a historical resource as it is a designated HCM.

Lastly, the Hollywood Walk of Fame extends along both sides of Vine Street, as well as along both sides of Hollywood Boulevard. It is a designated HCM, has been formally determined eligible for the National Register, and is listed in the California Register. Figure 4, above, depicts

the location of each of the five historical resources in the project study area in relation to the proposed project site and study area. It is followed by brief descriptions of each historical resource.

Hollywood Boulevard Commercial and Entertainment District



Figure 5: Google Streetview of Hollywood Boulevard Commercial and Entertainment District, looking east, just west of the Hollywood and Vine intersection. Proposed project site located at far left.

The Hollywood Boulevard Commercial and Entertainment District comprises a 12-block area located in the commercial core of Hollywood. The Historic District generally extends along Hollywood Boulevard from El Cerrito to Argyle, and also includes adjacent blocks on the north-south streets of Ivar, Highland, and Vine. The Historic District, when listed in 1985, included 102 buildings. Of those, 59 were identified as contributing to the significance of the Historic District. There are two contributing buildings in the study area for the proposed project: the Equitable Building and the Pantages Theatre. Both are considered individual historical resources, as well, and described separately below.

The vast majority of the contributing buildings were constructed between 1915 and 1939, when Hollywood Boulevard was transformed from a residential street of stately homes to a bustling commercial center of the film industry. While the Historic District is representative of Hollywood's heyday during the 1920s and 1930s, it is characterized by a wide variety of building types and architectural styles. In many cases, the design of the building was based on the imagery the owner wished to convey. Beaux Arts and Classical Revival styles were used for financial buildings, Art Deco and Streamline Moderne styles were used for professional buildings and retail stores, Period Revival styles such as Spanish Colonial Revival were used for restaurants and hotels, and Exotic Revival styles were used for theaters. Building heights range from one to twelve stories. The taller buildings, typically located at important intersections, are reinforced concrete and steel frame construction. Exterior cladding generally consists of stone, or a less substantial material meant to simulate stone such as terra cotta or scored plaster. The smaller buildings are typically of masonry construction and sheathed in stucco.

Equitable Building



Figure 6: Equitable Building, viewed from the southwest corner of the Hollywood and Vine. West and south elevations depicted.

Constructed between 1929 and 1930, the Equitable Building is located at the northeast corner of the Hollywood Boulevard and Vine Street intersection. It is a 12-story reinforced concrete building designed by Aleck Curlett in a blend of the Neo-Gothic and Art Deco styles. The building has a two-story rectangular base topped by a U-shaped, ten-story office tower. It displays a strong vertical emphasis through continuous pilasters stretching between window bays. Cast concrete ornament and balconies create variation along the street-facing facades. The building is generally intact, but has sustained alterations to its storefronts. The storefront alterations are minor in comparison with common alterations to similar buildings from the time period.

Pantages Theatre

Constructed in 1930, the Pantages Theatre is located at the northwest corner of the Hollywood Boulevard and Argyle Avenue intersection, east of the Equitable Building. It is composed of a two-story lobby volume along Hollywood Boulevard with a larger theater volume to the north, at the rear. The concrete building was designed by B. Marcus Priteca in the Art Deco style. A large blade sign reading "PANTAGES" in vertical lettering is located above a broad theater marquee

near the center of the south elevation. The building features ornate detailing in the form of stone reliefs, Egyptian lotus motifs, metal zigzag patterns, and sculptures of goddesses on the south elevation. The east and west elevations of the theater volume feature thin, cast concrete ornament applied to solid concrete walls. The cast concrete is especially ornate on the east elevation, facing Argyle Avenue, and has very limited ornamentation on the west elevation, facing the project site. The building is generally intact, with the exception of some storefront alterations. The storefront alterations are minor in comparison with common alterations to similar buildings from the time period.



Figure 7: Pantages Theatre, viewed from the southwest corner of the Hollywood and Vine. South elevation depicted.

Capitol Records Building

The 13-story Capital Records Building is located on the east side of Vine Street, north of the proposed project site, across a surface parking lot. It was designed by Welton Becket and completed in 1956. The reinforced concrete building is an excellent example of both the International Style, with its simple geometry, podium and tower parti, continuous bands of windows, and lightweight aesthetic, and Programmatic architecture, as it resembles a stack of records on a turntable. At the top of the records stack of floor plates is a rooftop sign spelling out "CAPITOL RECORDS" in illuminated lettering. The tall spire that forms the needle of the turntable features a flashing light at the top that spells out "HOLLYWOOD" in Morse Code. The building remains substantially intact, especially at its most visible upper stories.



Figure 8: Capital Records Building at center. Portion of the Equitable Building at right. Proposed project site in between.

Hollywood Walk of Fame

The Hollywood Walk of Fame is 2.3 miles long and encompasses five acres within the center of Hollywood's business district. It lines the north and south sides of Hollywood Boulevard between Gower and Sycamore and the east and west sides of Vine Street from Yucca Avenue to Sunset Boulevard. The stars consist of charcoal colored terrazzo squares, embedded with coral terrazzo stars outlined in bronze. The stars are dedicated to individuals in the film, radio, television, theater, and recording industries. The Walk of Fame along the front (west) of the project site includes stars for Mickey Rooney, Al Jolson, and Bebe Daniels, to name a few.



Figure 9: Example of the star in front of the project site on the Walk of Fame.

4. PROJECT IMPACTS

4.1 Determining the Significance of Impacts on Historical Resources

The State CEQA Guidelines (Title 14 California Code of Regulations Sections 15000 *et seq.*) Section 15064.5(b) set the standard for determining the significance of impacts to historical resources, and states:

A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment.

State CEQA Guidelines Section 15064.5(b)(1) further clarifies “substantial adverse change” as follows:

Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.

State CEQA Guidelines Section 15064.5(b)(2) in turn explains that a historical resource is “materially impaired” when a project:



Demolishes or materially alters in an adverse manner those physical characteristics that convey its significance and that justify its inclusion in or eligibility for inclusion in the California Register, local register, or its identification in a historic resources survey.

The following factors are set forth in the City of Los Angeles' "L.A. CEQA Thresholds Guide," which states that a project would normally have a significant impact on a historical resource if it would result in a substantial adverse change in the significance of the historical resource. A substantial adverse change in significance occurs if the project involves:

- Demolition of a significant resource;
- Relocation that does not maintain the integrity and (historical/architectural) significance of a significant resource;
- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings; or
- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.

As such, the test for determining whether or not a proposed project will have a significant impact on an identified historical resource is whether or not the project will alter in an adverse manner the physical integrity of the historical resource such that it would no longer be eligible for listing in the National or California Registers or other landmark programs such as the list of Los Angeles Historic-Cultural Monuments.

4.2 Secretary of the Interior's Standards

Projects that may affect historical resources are considered mitigated to a level of less than significant if they are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards).¹¹ Projects with no other potential impacts qualify for a Class 31 exemption under CEQA if they meet the Standards.¹² The Standards were issued by the National Park Service. The Standards are accompanied by Guidelines for four types of treatments for historical resources: Preservation, Rehabilitation, Restoration, and Reconstruction. Though none of the four treatments as a whole applies specifically to new construction in the vicinity of historical resources, Standard #9 of the Standards for Rehabilitation provides relevant guidance for such projects.

The Standards for Rehabilitation are as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

¹¹ State CEQA Guidelines Section 15126.4(b).

¹² State CEQA Guidelines Section 15331.



3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

It is important to note that the Standards are not intended to be prescriptive, but instead provide general guidance. They are intended to be flexible and adaptable to specific project conditions to balance continuity and change, while retaining materials and features to the maximum extent feasible. Their interpretation requires exercising professional judgment and balancing the various opportunities and constraints of any given project. Not every Standard necessarily applies to every aspect of a project, nor is it necessary to comply with every Standard to achieve compliance.

4.3 Project Description



Figure 10. Rendering of the proposed project excerpted from the project plans in Appendix B.

The proposed project, known as the citizenM Hollywood and Vine Hotel, would consist of demolishing the extant building on the parcel and constructing a 13-story hotel over four levels of subterranean parking. The 73,440-square-foot hotel would provide a lobby, private guestrooms, a gym for hotel guests, and a 13th story “living room”, bar, and terraces accessible to hotel guests and members of the public. It would have a U-shaped plan with a light court at the center.

The primary façade would face west onto Vine Street. The first story would feature a recessed, glass-walled entrance and a driveway leading to the parking. Stories two through 12 would feature large, floor-to-ceiling windows, except at the south end of stories four through eight, which would feature an original art mural. The 13th story would consist of an open terrace/bar/“living room” in front of a recessed, glass-walled façade. The mechanical level elevator lobby and equipment would be situated on the northeast section of the roof. The rooftop mechanical equipment would be hidden behind a perforated metal panel system approximately 20’ tall.

The north elevation, facing the Capitol Records Building, would be solid, with no openings, other than at the corners of the recessed terrace and main entrance. It would feature an original art mural at stories four through eight along most of the elevation.

The south elevation, facing the Equitable Building, would mostly consist of solid walls on the upper stories, except along the walls of the light court, which would feature floor-to-ceiling windows. The first story would feature the open driveway leading to the roll up garage door. On



the 13th story there would be terraces on the east and west end with recessed, glass-walled spaces beyond. The art mural from the south end of the west elevation would wrap the corner onto the west end of the south elevation.

The east elevation, facing the side of the Pantages Theatre, would consist of a solid first story, floor-to-ceiling windows from the second through 11th stories, a solid 12th story with one louver, an aluminum and glass curtain wall at the 13th story, and the continuation of the perforated metal panel system on the roof.

Overall, the visually dominant aspects of the proposed project include the fully glazed west elevation, five-story tall art piece wrapping the building's southwest corner, open terraces at the 13th story, and the metal mechanical enclosure at the roof level.

See Appendix B for project plans, sections, elevations, and additional renderings.

4.4 Analysis of Project Impacts

The proposed project does not involve the demolition of any historical resources. The existing building on the parcel proposed for demolition is not a historical resource subject to CEQA. However, the project site is located in close proximity and with direct visual connection to the following historical resources, so the project has the potential to affect them: Hollywood Boulevard Commercial and Entertainment District (Historic District), the Equitable Building, the Capitol Records Building, the Pantages Theatre, and the Hollywood Walk of Fame. Thus, the potential impacts of the proposed project on each of the identified historical resources in the vicinity are analyzed below.

Hollywood Boulevard Commercial and Entertainment District

In analyzing the impacts of the proposed project on the Historic District, the central question is whether the project would affect the physical integrity of the Historic District to the degree that it would no longer be eligible for listing in the National Register. Such an effect would only occur if the Historic District no longer retained sufficient integrity to convey its significance as the main street of the Hollywood community during the 1920s and 1930s after the completion of the proposed project. According to *National Register Bulletin #15*, there are seven aspects of integrity: feeling, association, workmanship, location, design, setting, and materials. The only relevant aspects with respect to the impact of a new building on an established historic district are setting and feeling. While *National Register Bulletin #15* does not directly address the impact of new construction on the setting or feeling of a historic district, it provides direction in assessing the impact of non-contributing buildings on the physical integrity of a listed historic district, as follows:

When evaluating the impact of intrusions upon the district's integrity, take into consideration the relative number, size, scale, design, and location of the components that do not contribute to the significance. A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of historic environment.

As a result, this analysis of impacts on the Historic District considers how the proposed project might affect the Historic District's integrity of feeling and setting in terms of its relative number, size, scale, design, and location of visual intrusions.



Relative Number

When the Historic District was listed in the National Register in 1985, it included 102 buildings, 59 of which were considered contributing. The Historic District has changed since it was listed, and it will continue to change in the future as new buildings are constructed on vacant lots, as non-contributing properties are redeveloped, and as contributing buildings are rehabilitated and restored. Two contributing buildings have been lost since 1985: the Hollywood Brown Derby at 1628 Vine Street and the Garden Court Apartments at 7021 Hollywood Boulevard. Thus, there are now 57 contributing buildings in the Historic District.

In this case, the proposed project would not affect the number of buildings in the Historic District or the ratio of contributing to non-contributing buildings because the project site is not located within the boundaries of the Historic District; it is located just outside, as illustrated on Figure 4 in Section 3.2 above. It would have no impact on the relative number of intrusions.

Size, Scale, and Design

Size, scale, and design are often important factors in historic districts. For example, the vast majority of the buildings in the Spring Street Financial District in Downtown Los Angeles are Beaux-Arts in style and 12 stories in height. Another example is the Carroll Avenue Historic District in Angelino Heights where most of the buildings are two-story, late Victorian era houses. In contrast, the Hollywood Boulevard Commercial and Entertainment District is not a collection of buildings unified by size, scale, or design. The National Register Nomination Form for the Historic District emphasized the following:

1. The development pattern that led to three commercial nodes along Hollywood Boulevard at Vine, Cahuenga, and Highland;
2. The range in height from one to twelve stories;
3. The pedestrian oriented environment;
4. The wide variety of uses, including but not limited to department stores, hotels, theaters, apartment buildings, banks and other financial institutions, social clubs, restaurants, and retail businesses; and
5. The eclectic assortment of architectural styles, which extends from the vernacular to the highly ornamental.¹³

The project site is located near a section of the Historic District with a true mix of high-rise and low-rise commercial buildings, ranging from two to 12 stories in height, as well as surface parking lots. The only contributing building that shares street frontage with the project site is the Equitable Building, which is 12 stories tall. The project involves the construction of a 13-story building. While it is taller than the Equitable Building, it is compatible in both size and scale. It is also compatible in both size and scale with the other contributors further south on Vine Street, as the Taft Building and the Dyas Building are 12 and nine stories, respectively. These are some of the tallest buildings in the Historic District, so constructing a new building of similar height in this location is both

¹³ National Register of Historic Places, Inventory-Nomination Form, Hollywood Boulevard Commercial and Entertainment District, Hollywood Heritage, 1985.



appropriate and compatible with this portion of the Historic District. The relatively small footprint of the new building and the narrow width of the frontage on Vine Street prevent it from overwhelming these nearby contributors.

The only other contributor immediately adjacent to the project site is the Pantages Theatre. The theater is around the corner from the project site, so it would not share street frontage, but the back of the proposed building would face the side of the theater. Although much taller than the two- to four-story theater, the project would be compatible with the scale of the larger district in this location where a wide range of heights is already present among both contributing and non-contributing buildings, as explained in the previous paragraph.

Regarding design, while the style of the proposed new building is contemporary, it is simple and clean and has an overall lightness due to the extensive use of glass on the Vine Street facade. The proposed project as currently designed would not have such a significant visual impact that it would impair the integrity of the Historic District as a whole to the degree that it is no longer eligible for the listing in the National Register. The proposed project would be sufficiently compatible with the Historic District in terms of size, scale, and design.

Location

The project site is next to the east end of the Historic District, which is 12 blocks long. This is an ideal location for new construction as it is outside the boundary of the district and located at an end where it has little potential to obstruct views of contributors or interfere with historic development patterns. The proposed project would not affect the integrity of the Historic District because of an inappropriate location.

Summary

The proposed project would not diminish the Historic District's integrity. It would have no impact on the relative number of contributors and non-contributors. It would be compatible in terms of size, scale, and design. Lastly, the project site is located at the east end of the Historic District where it has no potential to intrude on important view corridors or interfere with historic patterns of development. The proposed project would have a less than significant impact on the Hollywood Boulevard Commercial and Entertainment District. No mitigation measures are required.

Equitable Building

The analysis for determining impacts of adjacent new construction on individual historical resources, such as the Equitable Building, is similar to that described above. A primary issue is whether the integrity of setting and feeling would be so diminished by the new construction that the building would no longer qualify as a historical resource. Standard #9 is also relevant to the analysis of potential impacts for the individual resource. Standard #9 states: "New additions, exterior alterations, or related new construction will not destroy historic materials, features, or spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, massing, size, scale and proportion, and architectural features to protect the historic integrity of the property and its environment." Because the proposed project is in close proximity to, and highly visible from the Equitable Building, it can be considered "related new construction."



The proposed project is compatible with the Equitable Building in terms of size and proportion. Though it would be taller than the Equitable Building, the difference in height would not be substantial. The relatively small footprint of the new building and the narrow width of the frontage on Vine Street prevent it from overwhelming the Equitable Building. It is mostly compatible in terms of massing and scale. The U-shaped plan of the upper stories mimics that of the historic building, as does the tall height of the first story base. The proposed project as currently designed would not have such a significant visual impact that it would impair the integrity of the historical resource as a whole to the degree that it is no longer eligible for the listing as both a contributor to the Historic District and as an individual building.

The proposed new building's materials and features would be differentiated from the historic building, as they would be wholly modern. They would mostly be compatible as the primary façade is defined by a base that differs from the upper stories, like the Equitable Building. The façade would also be articulated primarily by bays of windows, like its neighbor. The proposed project as currently designed would not have such a significant visual impact that it would impair the integrity of the historical resource as a whole.

The Equitable Building is located in very close proximity to the proposed project site. As a result, in addition to potential impacts on the resource's setting and feeling addressed above, the project has the potential to impact the resource through the excavation and vibration associated with new construction. Each of these activities could cause damage to the historic building if adequate protections are not provided. However, the potential direct impact of each activity can be mitigated to a less than significant level through incorporation of appropriate mitigation measures. See Section 5.1 of this report for mitigation related to excavation. The potential impacts of vibration were analyzed in detail in the Noise chapter of the draft EIR. Thus, for mitigation measures related to potential vibration impacts see Mitigation Measure G-2 in Section IV.G, Noise, of the Draft EIR.

In short, the proposed project substantially complies with Standard #9 and would not impact the Equitable Building's integrity of setting and feeling to the degree that it would no longer be eligible as both a contributor to the Historic District and as an individual designated HCM. Furthermore, potential impacts related to excavation and vibration can be mitigated to a less than significant level through appropriate measures to minimize the risk of incidental damage. Thus, with the incorporation of the mitigation measures in Section 5.1 of this report and Mitigation Measure G-2 in Section IV.G, Noise, of the Draft EIR, the project would have a less than significant impact on the Equitable Building.

Capitol Records Building

Unlike the Equitable Building, the Capitol Records Building is separated from the proposed project site by what is currently a relatively large surface parking lot. Due to this physical separation, the proposed project would not constitute "related new construction," so Standard #9 would not apply; however, the project does have the potential to impact the historical resource's integrity of setting by introducing a new visual feature in its vicinity. Thus, the proposed project was analyzed to determine if it would impact the Capitol Records Building's integrity of setting to the degree that it would no longer qualify as a historical resource.

The key part of the Capitol Records Building's setting which the proposed project has the potential to affect is its visibility from Hollywood Boulevard. The proposed project would partially obscure the historical resource's visibility from the corner of Hollywood and Vine from a limited number of viewpoints, but not significantly. From most vantages, it would remain fully visible, and

even when partially obscured, the majority of the building would remain highly visible beyond the new building, as demonstrated in Figure 11 below. Furthermore, the new building would remain lower than the Capitol Records spire and flashing red light, and the Capitol Records Building would continue to dominate the block when viewed from the Vine/Yucca intersection. As a result, the proposed project would not impact the Capitol Records Building's integrity to the degree that it would no longer be eligible for listing. The building would remain highly visible and continue to be a prominent feature of the block. The project would have a less than significant impact on the Capitol Records Building. No mitigation measures are required.



Figure 11. The image represents one of the only vantages from which the Capitol Records Building would be partially obscured from Hollywood Boulevard.

Pantages Theatre

The primary visual interaction between the proposed project and the Pantages Theatre would occur at the back wall (east elevation) of the proposed project and side wall (west elevation) of the theater. The visibility of the proposed project from the theater's primary elevations along Hollywood Boulevard and Argyle Avenue would be in direct as the new building would become part of the background. Thus, the visual relationship between the proposed project and the Pantages is similar to the relationship between the proposed project and the Capitol Records Building in that the proposed project would not constitute "related new construction." Standard #9 does not apply; however, the project does have the potential to impact the historical resource's integrity of setting by introducing a new visual feature in its vicinity. The proposed project was analyzed to determine if it would impact the Pantages Theatre's integrity of setting to the degree that it would no longer qualify as a historical resource.



While the proposed project would obstruct views of the theater's west elevation more substantially than the extant two-story building on the site, the west elevation of the Pantages is relatively blank with no openings and very spare ornamentation in the form of the thin expression of engaged pilasters and fluting along the roofline. The view of the west elevation is not considered a key view of the historical resource or its larger setting as a result, and partially obstructing it would not impact the historical resource's integrity of setting.

The most important view of the Pantages' setting is the view of the south elevation from Hollywood Boulevard. The proposed project would have no street frontage on Hollywood Boulevard, but from certain viewpoints, especially from the east, it would be visible behind the theater due to its height, much like the Equitable Building and the Capitol Records Building are visible behind it currently. The addition of a third visible building to the background would not impact the Pantages' setting to a significant degree. The Pantages' low, two-story height is unique along this stretch of Hollywood Boulevard, where most of the other buildings are at least nine stories. Thus, the proposed project would fit well into the scale of the larger setting, as discussed above. Furthermore, the proposed new building does not include any signage, bright, or bold features on its east elevation, which is the only elevation that would be visible behind the theater, so it would not distract from the Pantages or become a dominant visual element of Hollywood Boulevard. See Figures 12 through 15 below. As a result, the proposed project would not impact the Pantages Theatre's integrity to the degree that it would no longer be eligible for listing. The theater would remain highly visible and continue to be a prominent feature of Hollywood Boulevard.

Like the Equitable Building, the Pantages is located in very close proximity to the proposed project site. As a result, in addition to potential impacts on the resource's setting addressed above, the project has the potential to impact the resource through the excavation and vibration associated with new construction. Each of these activities could cause damage to the historic building if adequate protections are not provided. However, the potential impact of each activity can be mitigated to a less than significant level through incorporation of appropriate mitigation measures. See Section 5.1 of this report for mitigation related to excavation. The potential impacts of vibration were analyzed in detail in the Noise chapter of the draft EIR. Thus, for mitigation measures related to potential vibration impacts see Mitigation Measure G-2 in Section IV.G, Noise, of the Draft EIR.

In short, the proposed project would not impact the Pantages Theatre building's integrity of setting to the degree that it would no longer be eligible as both a contributor to the Historic District and as an individual landmark building. Furthermore, potential impacts related to excavation and vibration can be mitigated to a less than significant level through appropriate measures to minimize the risk of incidental damage. Thus, with the incorporation of the mitigation measures in Section 5.1 of this report and Mitigation Measure G-2 in Section IV.G, Noise, of the Draft EIR, the project would have a less than significant impact on the Pantages Theatre.



Figure 12. Current Google Street View of the Pantages' east and south elevations.

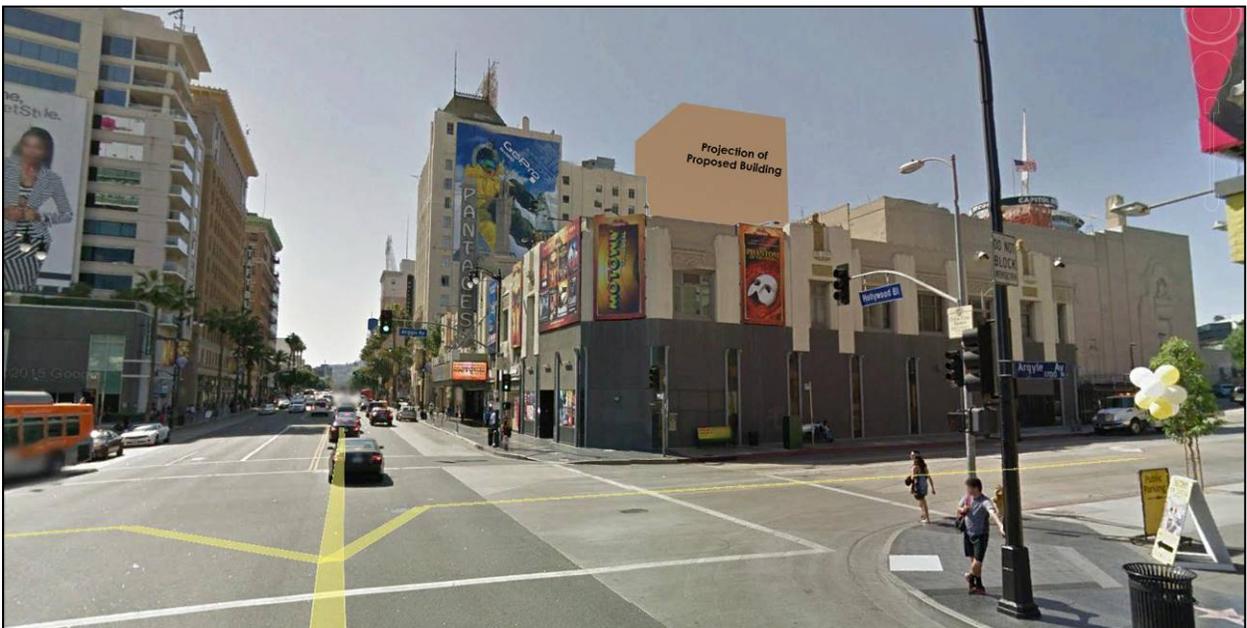


Figure 13. Current Google Street View of the Pantages' east and south elevations with projection of the proposed project in the background.



Figure 14. Current Google Street View of the Pantages' south elevation, looking northwest.

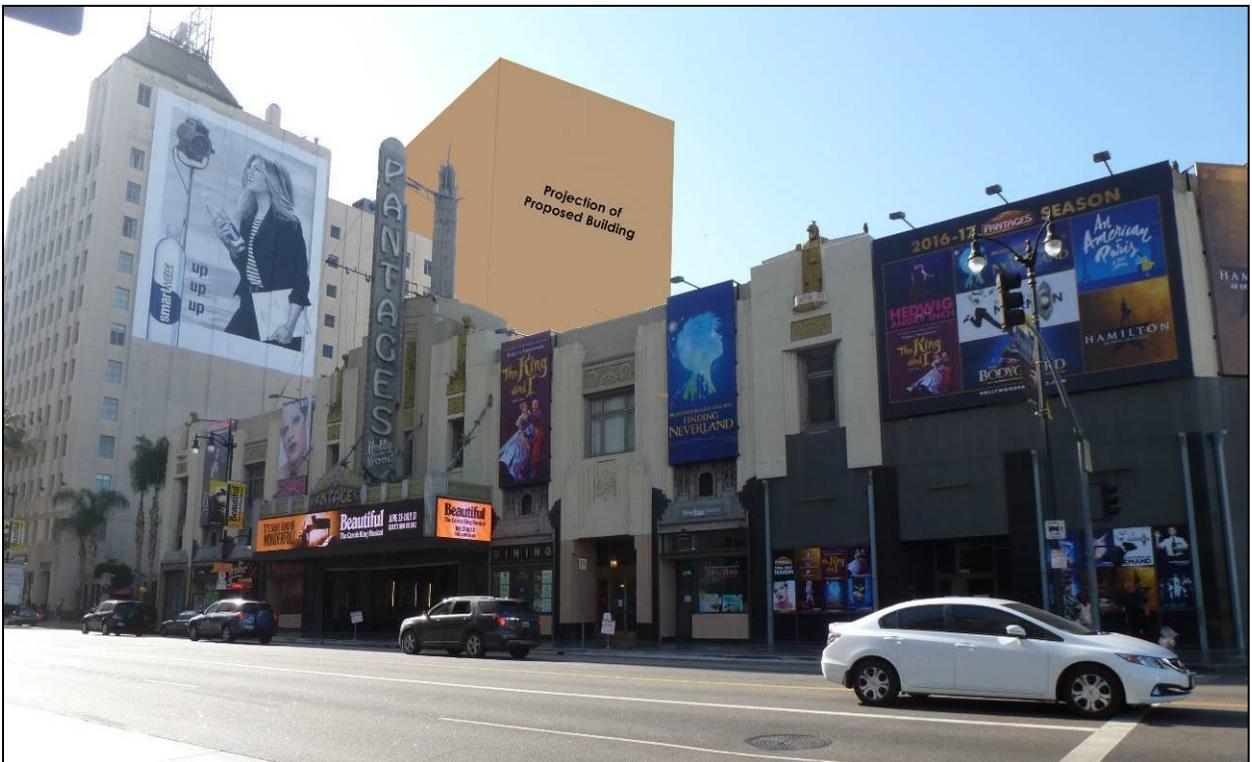


Figure 15. Current view of the Pantages' south elevation, looking northwest, with projection of the proposed project in the background.



Hollywood Walk of Fame

The proposed project will involve construction of a new 30-foot wide driveway and curb cut along Vine Street, which will require the temporary removal of a portion of the Hollywood Walk of Fame (consisting of terrazzo pavement and approximately five stars) within the new driveway area. During construction of the driveway, the stars and associated materials (lettering, plaques, etc.) would be stored in a secured off-site location. Following completion of the new driveway and curb cut, the terrazzo pavement and stars would be reinstalled. All of these construction activities, including the removal, storage, and replacement of the terrazzo pavement, stars, and associated materials located within the Hollywood Walk of Fame, would be conducted in full compliance with the City's adopted "Hollywood Walk of Fame Specifications and Details" (February 24, 2011), which require applicants to obtain approval of a Preservation Plan encompassing all construction, repair, and relocation work from the City's Bureau of Engineering, Office of Historic Resources, and Cultural Heritage Commission, as well as the Hollywood Historic Trust and the Hollywood Chamber of Commerce. Through compliance with these City specifications, and pursuant to the required oversight and approval of multiple City agencies and private organizations, any impacts the project could have on the Walk of Fame would be mitigated to a less than significant level. See Section 5.1, Mitigation Measures, below.

5. MITIGATION MEASURES AND RECOMMENDATIONS

As the proposed project would have a less than significant impact on the Historic District and Capitol Records Building, no mitigation measures are required for these resources. However, mitigation measures for the Hollywood Walk of Fame are required because the project's new proposed driveway and curb cut, as well as other on-site construction activities, create a potential for impacts to the Walk of Fame during the construction of the project. Mitigation measures are also required for the Pantages Theatre and Equitable Building. Due to the new construction's close proximity to these historical resources, the excavation and vibration associated with the proposed project would have the potential to yield an impact.

5.1 Mitigation Measures

Hollywood Walk of Fame

MM1. A Preservation Plan will be prepared consistent with the Hollywood Walk of Fame Specifications and Details dated February 14, 2011. The Preservation Plan shall be submitted to the Los Angeles City Planning Department, Office of Historic Resources, and shall be approved by the Office of Historic Resources, the Hollywood Historic Trust, the Hollywood Chamber of Commerce, the City's Bureau of Engineering, and the Cultural Heritage Commission. No changes to the Walk of Fame, including the construction of the proposed driveway for the project, shall be made prior to the approval of the Preservation Plan.

Equitable Building and Pantages Theatre

The following measure is to minimize impacts related to excavation. The potential impacts of vibration were analyzed in detail in the Noise chapter of the draft EIR. Thus, for mitigation measures related to potential vibration impacts see Mitigation Measure G-2 in Section IV.G, Noise, of the Draft EIR.



MM2. Prior to commencement of new construction, a qualified structural engineer shall survey the existing foundations and other structural aspects of the Pantages Theatre and the Equitable Building to establish baseline conditions and provide a shoring design to protect each building from potential damage (See also Mitigation Measure G-2 in Section IV.G, Noise of the Draft EIR). Pot holing or other destructive testing of the below grade conditions on the project site and immediately adjacent to the Pantages Theatre and Equitable Building may be necessary to establish baseline conditions and prepare the shoring design.

The qualified structural engineer shall hold a valid license to practice structural engineering in the State of California and have demonstrated experience specific to rehabilitating historic buildings and applying the Secretary's Standards to such projects. The lead agency shall determine qualification prior to any work being performed. The qualified structural engineer shall submit to the lead agency a pre-construction survey that establishes baseline conditions to be monitored during construction, prior to issuance of any building permit for the project.

6. CONCLUSION

The proposed project site does not include any historical resources; however, there are a total of five historical resources in the vicinity: the Hollywood Boulevard Commercial and Entertainment District, the Equitable Building, the Capitol Records Building, Pantages Theatre, and the Hollywood Walk of Fame. The proposed project would have a less than significant impact on the identified historical resources after the implementation of the mitigation measures outlined in Section 5.1 above.



7. SOURCES

Ancestry.com, various names and dates.

California Code of *Regulations*, California Office of Administrative Law, State of California Government.

City of Los Angeles Department of Building and Safety Permit Records, various dates.

Code of Federal Regulations, Title 36: Parks, Forests, and Public Property. Office of the Federal Register, National Archives and Records Administration, United States Government.

HistoricAerials. Accessed June 27, 2016. <http://historicaerials.com/>.

HistoricPlacesLA. Accessed June 27, 2016. <http://www.historicplacesla.org/>.

Hollywood Heritage. *National Register of Historic Places, Inventory-Nomination Form for the Hollywood Boulevard Commercial and Entertainment District*. 1985.

National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation. Washington D.C.: National Park Service, 2002.

National Register Bulletin #16: How to Complete the National Register Registration Form. Washington D.C.: National Park Service, 1997.



Appendix A – Résumés



TERESA GRIMES is a Principal Architectural Historian at GPA. She has over 25 years of experience in the field of historic preservation in the private, public, and non-profit sectors. Teresa is widely recognized as an expert in the identification and evaluation of historical resources having successfully prepared dozens of landmark and historic district applications for a wide variety of property types. Her many projects have included historic context statements for Riverside, Calabasas, Glendale, and Carmel-by-the-Sea, and historic resource surveys in Riverside, Whittier, Calabasas, Pasadena, Whittier, and Los Angeles. Teresa has also completed numerous environmental compliance documents involving major

landmarks; examples include the United Artist Theater, Cinerama Dome, Dodger Stadium, Los Angeles Sports Arena, Beverly Hills Post Office, and Baldwin Hills Shopping Center.

Educational Background:

- M.A., Architecture, University of California, Los Angeles, 1992
- B.A., Political Science, University of California, Los Angeles, 1986

Professional Experience:

- GPA Consulting, Principal Architectural Historian, 2009-Present
- Christopher A. Joseph & Associates, Senior Architectural Historian, 2006-2009
- Teresa Grimes/Historic Preservation, Principal, 1999-2005, 1993-1994, 1991-1992
- Historic Resources Group, Project Manager/Architectural Historian, 1994-1998
- Getty Conservation Institute, Research Associate, 1992-1993
- Los Angeles Conservancy, Preservation Officer, 1988-1991

Qualifications:

- Meets the Secretary of the Interior's Professional Qualifications Standards for history and architectural history pursuant to the Code of Federal Regulations, 36 CFR Part 61, Appendix A.

Professional Activities:

- Pasadena Heritage Board Member, 2008-2012
- Highland Park Heritage Trust, Board Member, 1996-1998
- West Hollywood Cultural Heritage Advisory Board, 1990-1994

Selected Projects:

- Los Angeles County Museum of Art Master Plan, Los Angeles County, CEQA Historical Resource Report, 2017
- Vine/Afton/DeLongpre, Los Angeles CEQA Historical Resource Report, 2017
- Times Mirror Square, Los Angeles, CEQA Historical Resource Report, 2017
- 913 S. Figueroa, Los Angeles, CEQA Historical Resource Report, 2017
- Figueroa & Flower, Los Angeles, CEQA Historical Resource Report, 2017
- 1129 E. 5th Street, Los Angeles, CEQA Historical Resource Report, 2017
- Olympic & Hill, Los Angeles, CEQA Historical Resource Report, 2017
- City of Hope Master Plan, Duarte, CEQA Historical Resource Report, 2015-2016
- Farmers Insurance Building, Los Angeles, CEQA Historical Resource Report, 2015-2016
- John Anson Ford Theatres, Los Angeles County, CEQA Historical Resource Report, 2011-2015
- LA Biomed Master Plan, Torrance, CEQA Historical Resource Report, 2013-2014
- May Company, Laurel Plaza, Los Angeles, CEQA Historical Resource Report, 2014
- United Artist Theater, Los Angeles, CEQA Historical Resource Report, 2011-2013
- Claremont Graduate University Master Plan, CEQA Historical Resource Report, 2013
- Hillcrest Motors Building, Hollywood, CEQA Historical Resource Report, 2013
- Max Factor Building, Hollywood, CEQA Historical Resource Report, 2012
- Claremont McKenna College Master Plan, CEQA Historical Resource Report, 2008



LAURA O'NEILL is a Senior Architectural Historian and Designer at GPA. She has been professionally involved in the field of historic preservation since 2006. Laura's experience with GPA has included the preparation of CEQA and Section 106 reports for numerous projects throughout the state. These have ranged from co-authoring the CEQA report for the Nelles Correctional Facility Specific Plan to managing the Section 106 documents for the SR91 West Bound Widening Project. Laura has managed and contributed to a variety of historic context statements and MPD forms including the Latinos in Twentieth Century California MPD, San Diego LGBTQ Historic Context Statement, Late Nineteenth and

Early Twentieth Century Development and Architecture in Pasadena MPD, and Postwar Development and Architecture in Fremont Historic Context Statement. Laura uses her educational background in architecture to assist clients in rehabilitating historic buildings in compliance with the Standards. Her recent projects have included assisting the City of Los Angeles with the Mills Act inspection program, completing the Federal Rehabilitation Tax Credit application for the Hotel Rosslyn Annex, preparing a Historic Structure Report for the John Anson Ford Theatres, and consulting on the adaptive reuse of the Spruce Goose Hangar.

Educational Background:

- M.Arch. I, California State Polytechnic University, Pomona, 2009
- B.A., Political Science, Lehigh University, 2002

Professional Experience:

- GPA Consulting, Senior Architectural Historian and Designer, 2008-Present
- Philadelphia Historical Commission, Graduate Intern, 2008
- California State Polytechnic University, Graduate Assistant, 2007-2008

Qualifications:

- Meets the Secretary of the Interior's Professional Qualifications Standards for history, architectural history, and historic architecture pursuant to the Code of Federal Regulations, 36 CFR Part 61, Appendix A.

Professional Activities:

- Santa Monica Landmarks Commissioner, 2014-Present

Selected Projects:

- Los Angeles County Museum of Art Master Plan, Los Angeles County, CEQA Historical Resource Report, 2017
- 1718 N. Vine Street, Los Angeles, CEQA Historical Resource Report, 2017
- Villa Carlotta, Los Angeles, CEQA Historical Resource Report, 2016
- Mira Loma Detention Center Women's Facility, Los Angeles County, CEQA Historical Resource Report, 2016
- Nelles Correctional Facility Specific Plan, Whittier, CEQA Historical Resource Report, 2015
- Evanston Inn, Pasadena, CEQA Historical Resource Report, 2013
- 500 Broadway, Santa Monica, Historical Resource Evaluation Report, 2013
- 21200 Victory Boulevard, Los Angeles, Historical Resource Evaluation Report, 2013
- 1318 2nd Street, Santa Monica, CEQA Historical Resource Report, 2012
- 213 Pomona Avenue, Fullerton, CEQA Historical Resource Report, 2012
- House of Hope, Duarte, CEQA Historical Resource Report, 2010
- Moore House, Palos Verdes Estates, CEQA Historical Resource Report, 2010
- Hollywood Center Studios, Los Angeles, Historical Resources Evaluation Report, 2010
- Wilshire Grand Hotel, Los Angeles, Historical Resource Evaluation Report, 2009

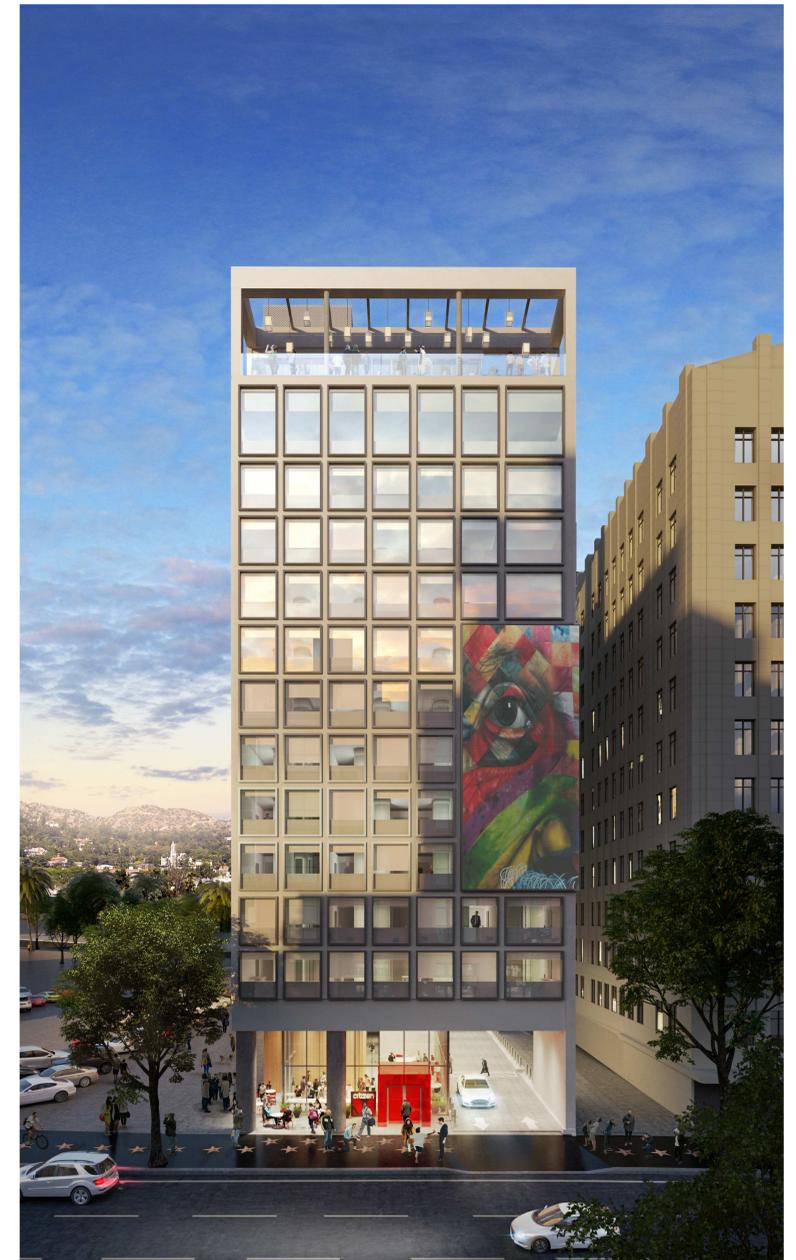


Appendix B – Project Plans

citizenM Hollywood & Vine

ENTITLEMENT DRAWING SET - DRAFT
MARCH 13, 2018

1718 N VINE ST.
LOS ANGELES, CA 90028



DRAWING INDEX

Sheet Number	Sheet Name
GENERAL	
G0.000	COVER SHEET
G0.001	DRAWING LIST
G0.002	PROJECT INFORMATION
ARCHITECTURE	
A1.000	SITE SURVEY
A1.001	DEMOLITION PLAN
A1.002	FLOOR AREA PLANS LEVELS 01-12
A1.003	FLOOR AREA PLANS LEVELS 12-ROOF
A1.010	PLOT PLAN
A1.101	FLOOR PLAN LEVEL 01 - 01M MECHANICAL MEZZANINE
A1.102	FLOOR PLAN TYPICAL GUESTROOM LEVELS 02 - 11 & LEVEL 12
A1.103	FLOOR PLAN LEVEL 13 & ROOF
A1.104	FLOOR PLAN LEVEL B1 & B2
A1.105	FLOOR PLAN LEVEL B3-B5
A2.001	BUILDING ELEVATION - NORTH
A2.002	BUILDING ELEVATION - SOUTH
A2.003	BUILDING ELEVATION - EAST
A2.004	BUILDING ELEVATION - WEST
A2.101	BUILDING SECTION - NORTH-SOUTH
A2.102	BUILDING SECTION - EAST-WEST
A2.201	EXTERIOR RENDERING
A2.202	EXTERIOR RENDERING
A2.203	EXTERIOR RENDERING
A2.204	EXTERIOR RENDERING
A2.205	EXTERIOR RENDERING
A2.206	EXTERIOR RENDERING
A2.207	EXTERIOR RENDERING
LANDSCAPE	
L1.01	LANDSCAPE PLAN

SHEET NOTES

citizenM Hotels

1718 N Vine St.
Los Angeles, CA 90028

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States

Tel 213.327.3600
Fax 213.327.3601

GENERAL NOTES

Date	Description
------	-------------

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

citizenM Hollywood & Vine

Project Number

05.9924.000

Description

DRAWING LIST

Scale

G0.001

© 2015

SITE SUMMARY

PROJECT ADDRESS

1718 N VINE ST.
LOS ANGELES, CA 90028

LEGAL DESCRIPTION

Tract Central Hollywood Tract No. 2
Lot FR 5
Block None
Arb None

SITE INFORMATION

Building Type Type I Construction
Occupancy Type R2, A2, S2, S1, B
Fire Protection Fully Sprinklered
Height 185'-0"

Total Site Area = 12,240 SF
Total Allowable Floor Area = 73,440 SF

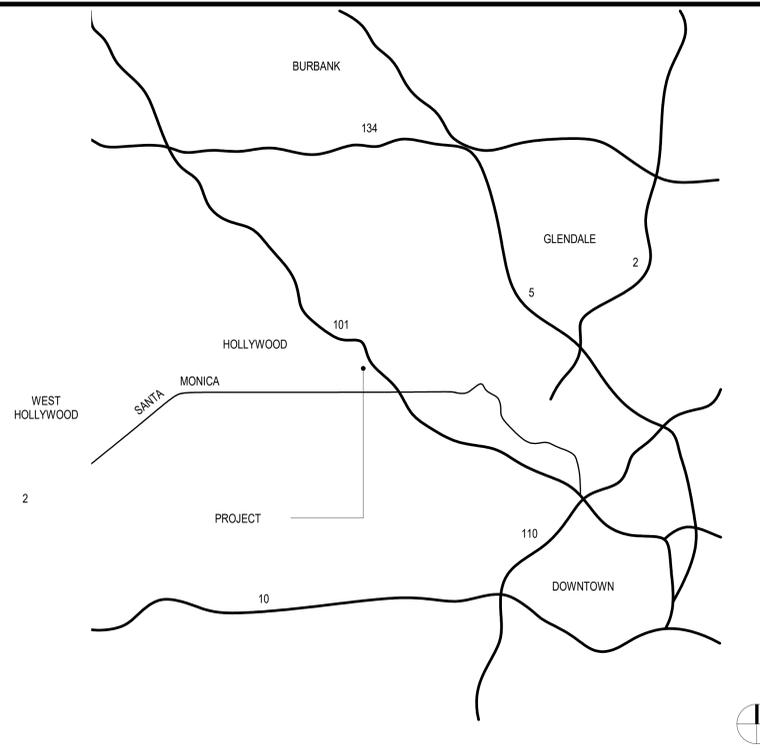
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PROGRAMMING SUMMARY

TYPE	FLOOR AREA (SF)
PUBLIC AREAS	
COFFEE M OUTDOOR SEATING (LEVEL 01)	563
LOBBY (LEVEL 01)	1,248
COFFEE M (LEVEL 01)	280
RESTROOMS (LEVEL 12)	677
LIVING ROOM & COVERED TERRACE (LEVEL 13)	4,530
ELEVATOR LOBBY & CIRCULATION (LEVEL 01)	450
ELEVATOR LOBBY & CIRCULATION (LEVEL 01M)	687
ELEVATOR LOBBY & CIRCULATION (LEVEL 12)	1,142
ELEVATOR LOBBY & CIRCULATION (LEVEL 13)	736
TOTAL	10,313
GUEST ROOMS	
GUESTROOMS (LEVELS 02-11)	39,340
GUESTROOM CORRIDORS (LEVELS 02-11)	20,340
TOTAL	59,680
GUEST AMENITY SPACES	
HOTEL GUEST ONLY GYM (LEVEL 12)	817
TOTAL	817
BOH	
LUGGAGE ROOM/BOH/FCC/STORAGE (LEVEL 01)	603
BOH & STORAGE (LEVEL 12)	1,314
BOH (LEVEL 13)	497
ELEVATOR LOBBY & BOH (ROOF)	216
TOTAL	2,630
TOTAL	73,440

*Excluded from floor area calculations per LAMC Section 12.03: exterior walls, stairways, shafts, rooms housing building-operating equipment or machinery, parking areas with associated driveways and ramps, and basement storage areas.

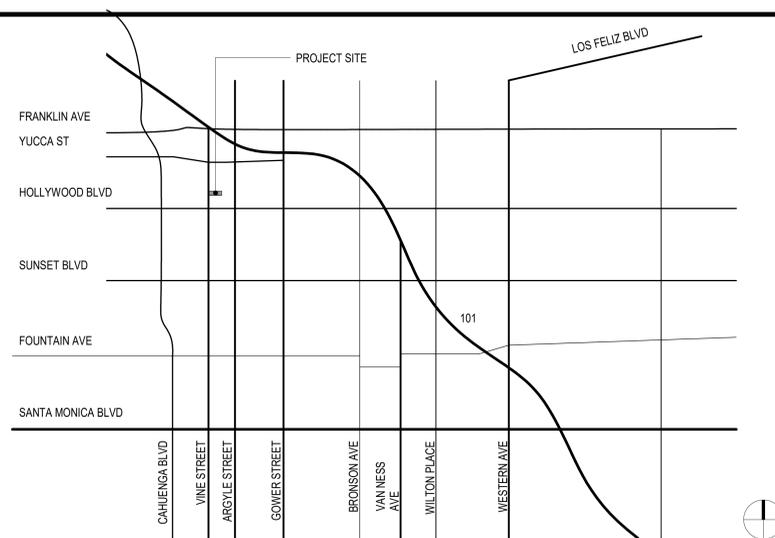
VICINITY MAP



AREA SUMMARY

LEVEL	GROSS FLOOR AREA (SF)	FLOOR AREA (SF)	DESCRIPTION	KEYS
1	6,630	3,144	ENTRANCE/LOBBY/COFFEE M/BOH	
1M	6,558	687	MECHANICAL MEZZANINE LOBBY & BOH	
2	7,600	5,968	GUESTROOMS	24
3	7,600	5,968	GUESTROOMS	24
4	7,600	5,968	GUESTROOMS	24
5	7,600	5,968	GUESTROOMS	24
6	7,600	5,968	GUESTROOMS	24
7	7,600	5,968	GUESTROOMS	24
8	7,600	5,968	GUESTROOMS	24
9	7,600	5,968	GUESTROOMS	24
10	7,600	5,968	GUESTROOMS	24
11	7,600	5,968	GUESTROOMS	24
12	3,916	3,950	HOTEL GUEST ONLY GYM/RESTROOMS/BOH/MECHANICAL	
13	7,458	5,763	LIVING ROOM & TERRACE	
ROOF	2,159	216	MECHANICAL LEVEL ELEVATOR LOBBY & BOH	
B1	11,666	0	MECHANICAL LEVEL	
B2	11,666	0	PARKING	
B3	11,666	0	PARKING	
B4	11,666	0	PARKING	
B5	11,666	0	PARKING	
TOTAL	161,051	73,440		240

LOCATION MAP



PARKING CALCULATIONS

Automobile Parking Required LAMC 12.21 A.4(b)

- 30 1 space for first 30 hotel guestrooms (30)
- 15 1/2 space for next 30 hotel guestrooms (30)
- 60 1/3 space for the remaining hotel guestrooms (180)
- 15 15% Bicycle Parking Reduction
- 90 Hotel Parking Required**

- 11 1 per 500 SF of restaurant and bar (**5,369 SF) (LAMC 12.21.A.4(x)(3))
- 3 30% Bicycle Parking Reduction
- 8 Restaurant and Bar Parking Required**

98 Total Parking Required

Automobile Parking Provided

- 39 40% Allowable Compact
- 59 Standard Spaces
- 98 Total**

Bicycle Parking Required LAMC 12.21.A.16 (per pending amendments under CPC-2016-4216-CA)

- 24 1 short-term space per each 10 hotel guestrooms (240)
- 24 1 long-term space per each 10 hotel guestrooms (240)
- 3 1 short-term space per 2,000 SF of restaurant & bar (**5,369 SF)
- 3 1 long-term space per 2,000 SF of restaurant & bar (**5,369 SF)
- 12 Additional Bicycle Parking to achieve 15% Hotel reduction
- 6 Additional Bicycle Parking to achieve 30% Restaurant and Bar reduction
- 72 Total**

Bicycle Parking Provided (in below-grade mezzanine, per variance)

- 27 Short-Term Spaces
- 45 Long-Term Spaces
- 72 Total**

*New automobile parking spaces required by Code for all uses may be replaced by bicycle parking at a ratio of one automobile parking space for every four bicycle parking spaces provided.

**Calculation of restaurant and bar SF:

Level 01 - CoffeeM Outdoor Seating Area	563 SF
Level 01 - CoffeeM	280 SF
Level 13 - Terrace (Covered)	784 SF
Level 13 - Living Room	3,742 SF
Total	5,369 SF

SHEET NOTES

citizenM Hotels

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Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel 213.327.3600
Fax 213.327.3601

GENERAL NOTES

△ Date Descriptio

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
PROJECT INFORMATION

KEY PLAN

Scale

As indicated



G0.002

GENERAL NOTES

Date	Description

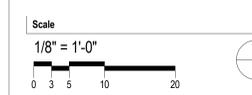
Seal / Signature

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Project Name
citizenM Hollywood & Vine

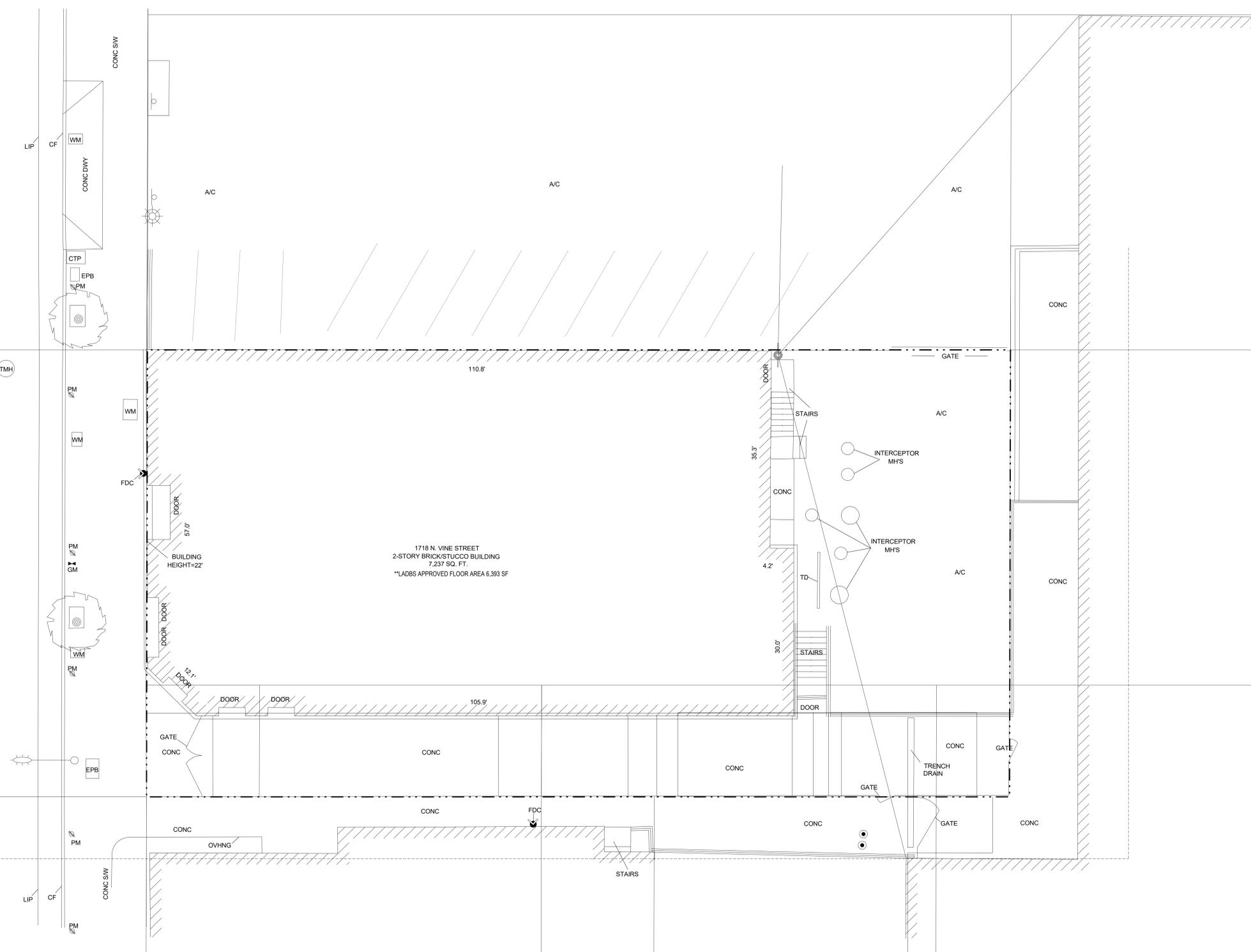
Project Number
05.9924.000

Description
SITE SURVEY



A1.000

VINE STREET



KEY PLAN

GENERAL NOTES

△ Date Description

Seal / Signature

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CONSTRUCTION**

Project Name

citizenM Hollywood & Vine

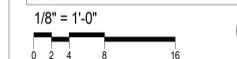
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Description

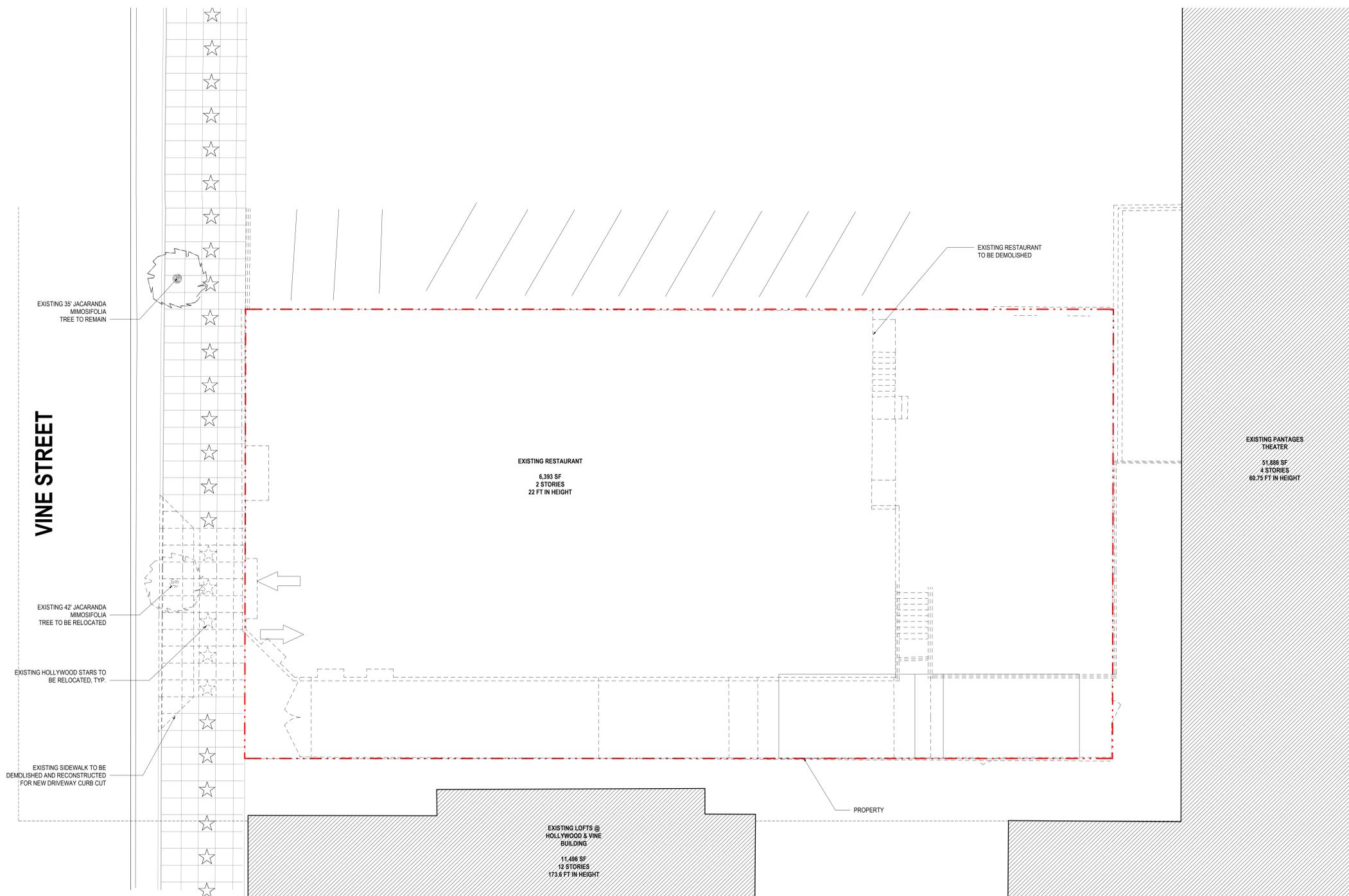
DEMOLITION PLAN

Scale



A1.001

KEY PLAN



SHEET NOTES

GENERAL NOTES

FLOOR AREA AS SET FORTH WITHIN SECTION OF 12.03 OF LAMC FLOOR AREA IS THAT AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF THE BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREA WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

Level	Area
LEVEL 01	3,144 SF
LEVEL 01M	687 SF
LEVEL 02	5,968 SF
LEVEL 03	5,968 SF
LEVEL 04	5,968 SF
LEVEL 05	5,968 SF
LEVEL 06	5,968 SF
LEVEL 07	5,968 SF
LEVEL 08	5,968 SF
LEVEL 09	5,968 SF
LEVEL 10	5,968 SF
LEVEL 11	5,968 SF
LEVEL 12	3,950 SF
LEVEL 13	5,763 SF
ROOF	216 SF
GRAND TOTAL:	73,440 SF

FLOOR AREA CALCULATION

■ Floor Area per LAMC

Date	Descriptio
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Seal / Signature

NOT FOR CONSTRUCTION

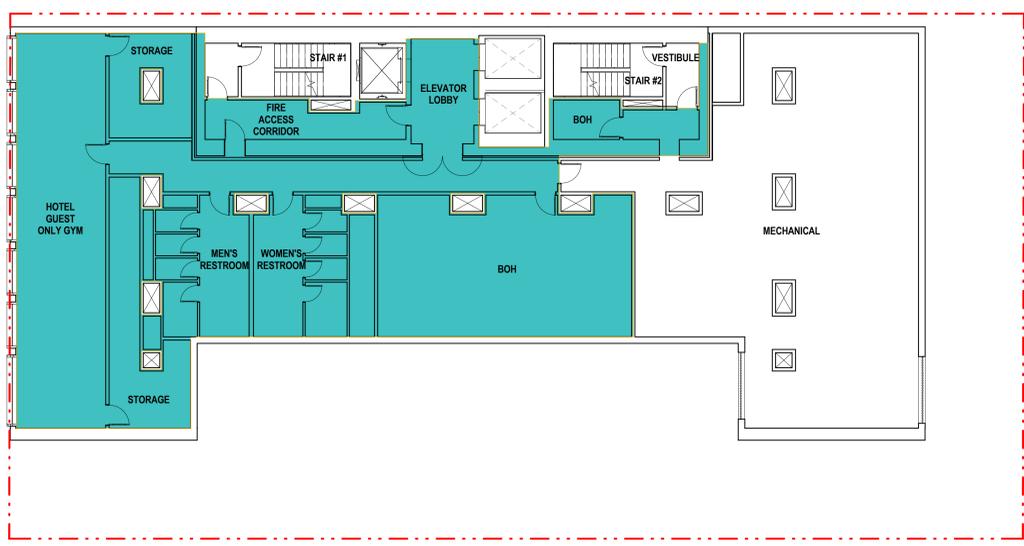
Project Name
 citizenM Hollywood & Vine

Project Number
 05.9924.000

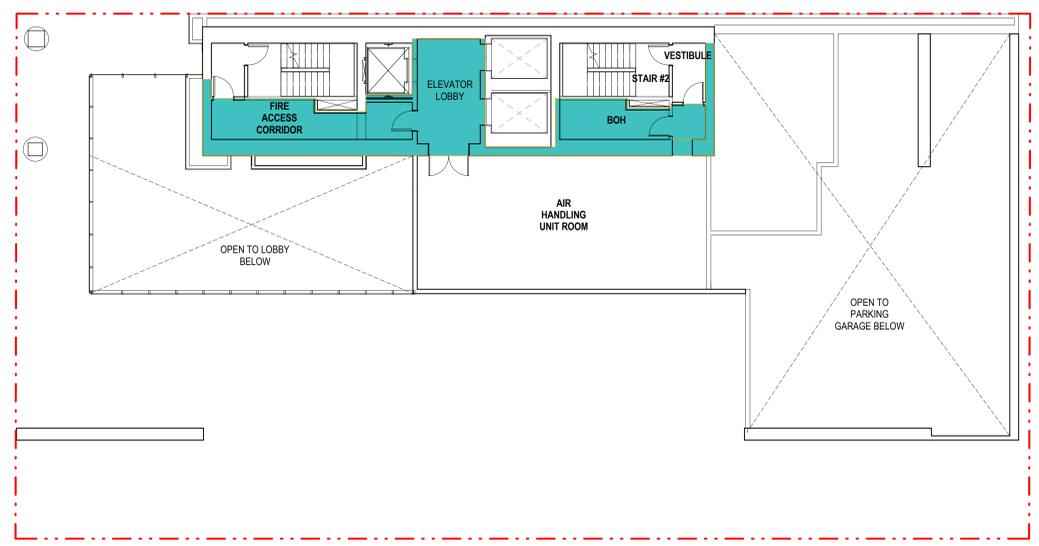
Description
 FLOOR AREA PLANS LEVELS 01-12

Scale
 3/32" = 1'-0"

A1.002



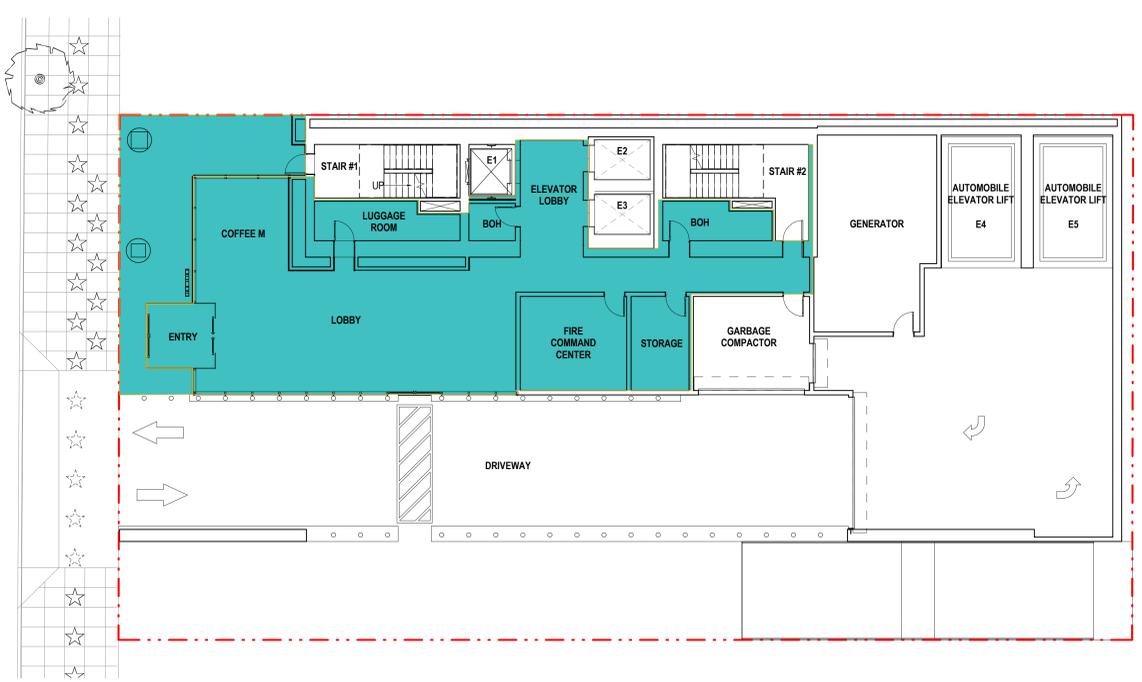
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 SCALE 3/32" = 1'-0"



2 LEVEL 01M
 SCALE 3/32" = 1'-0"



3 TYPICAL GUESTROOM LEVELS 02-11
 SCALE 3/32" = 1'-0"



1 LEVEL 01
 SCALE 3/32" = 1'-0"

KEY PLAN

2/21/2016 12:10:19 PM I:\gensler\all\projects\citizenM\hollywood\05.9924.000_citizenM_Hollywood_2.0_salls_chs@gensler.com.rvt

SHEET NOTES

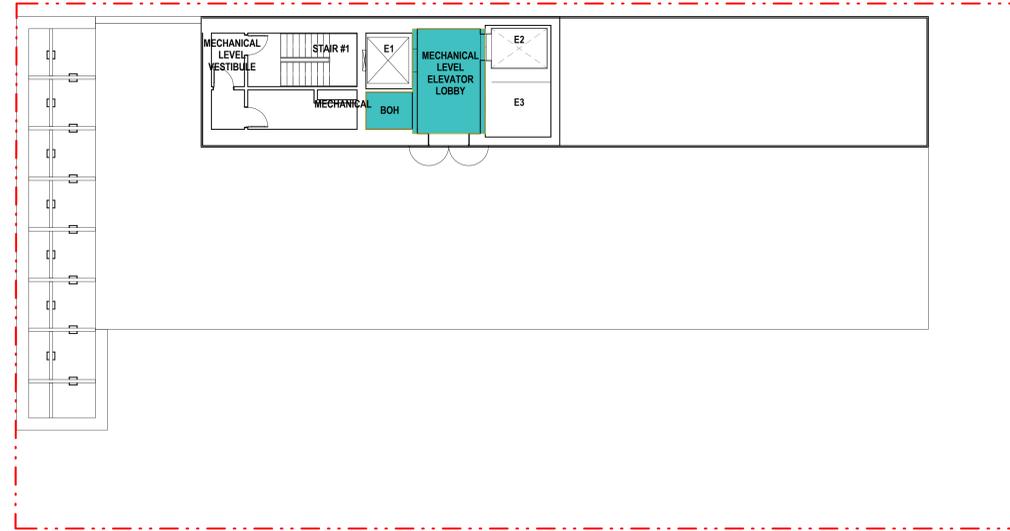
citizenM Hotels

1718 N Vine St.
Los Angeles, CA 90028

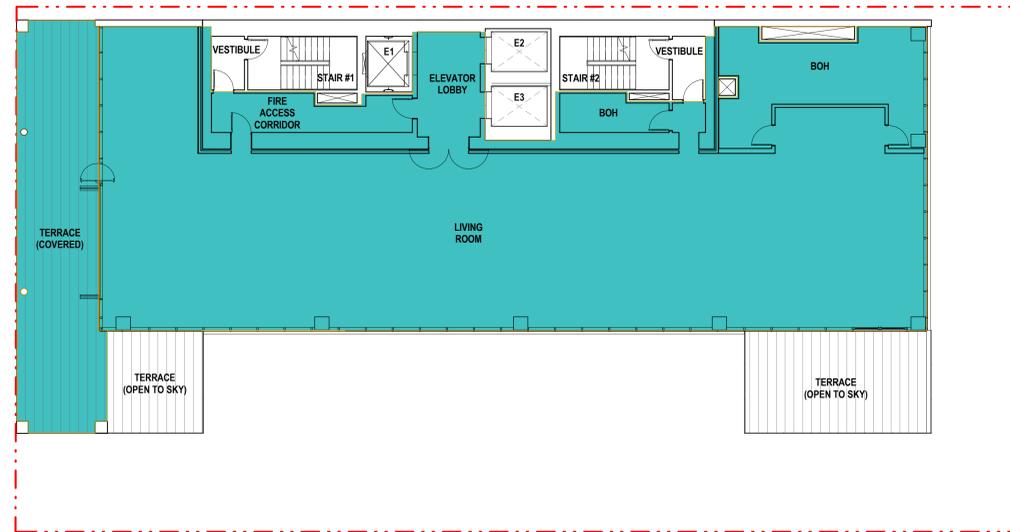
Gensler

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Los Angeles, California 90071
United States

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2 ROOF
SCALE: 3/32" = 1'-0"



1 LEVEL 13
SCALE: 3/32" = 1'-0"

GENERAL NOTES

FLOOR AREA AS SET FORTH WITHIN SECTION OF 12.03 OF LAMC FLOOR AREA IS THAT AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF THE BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREA WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

Date	Description
------	-------------

Level	Area
LEVEL 01	3,144 SF
LEVEL 01M	687 SF
LEVEL 02	5,968 SF
LEVEL 03	5,968 SF
LEVEL 04	5,968 SF
LEVEL 05	5,968 SF
LEVEL 06	5,968 SF
LEVEL 07	5,968 SF
LEVEL 08	5,968 SF
LEVEL 09	5,968 SF
LEVEL 10	5,968 SF
LEVEL 11	5,968 SF
LEVEL 12	3,950 SF
LEVEL 13	5,763 SF
ROOF	216 SF
GRAND TOTAL:	73,440 SF

FLOOR AREA CALCULATION

Floor Area per LAMC

Seal / Signature

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Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
FLOOR AREA PLANS LEVELS 12-ROOF

Scale
3/32" = 1'-0"
0 2 4 8 16

A1.003

GENERAL NOTES

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

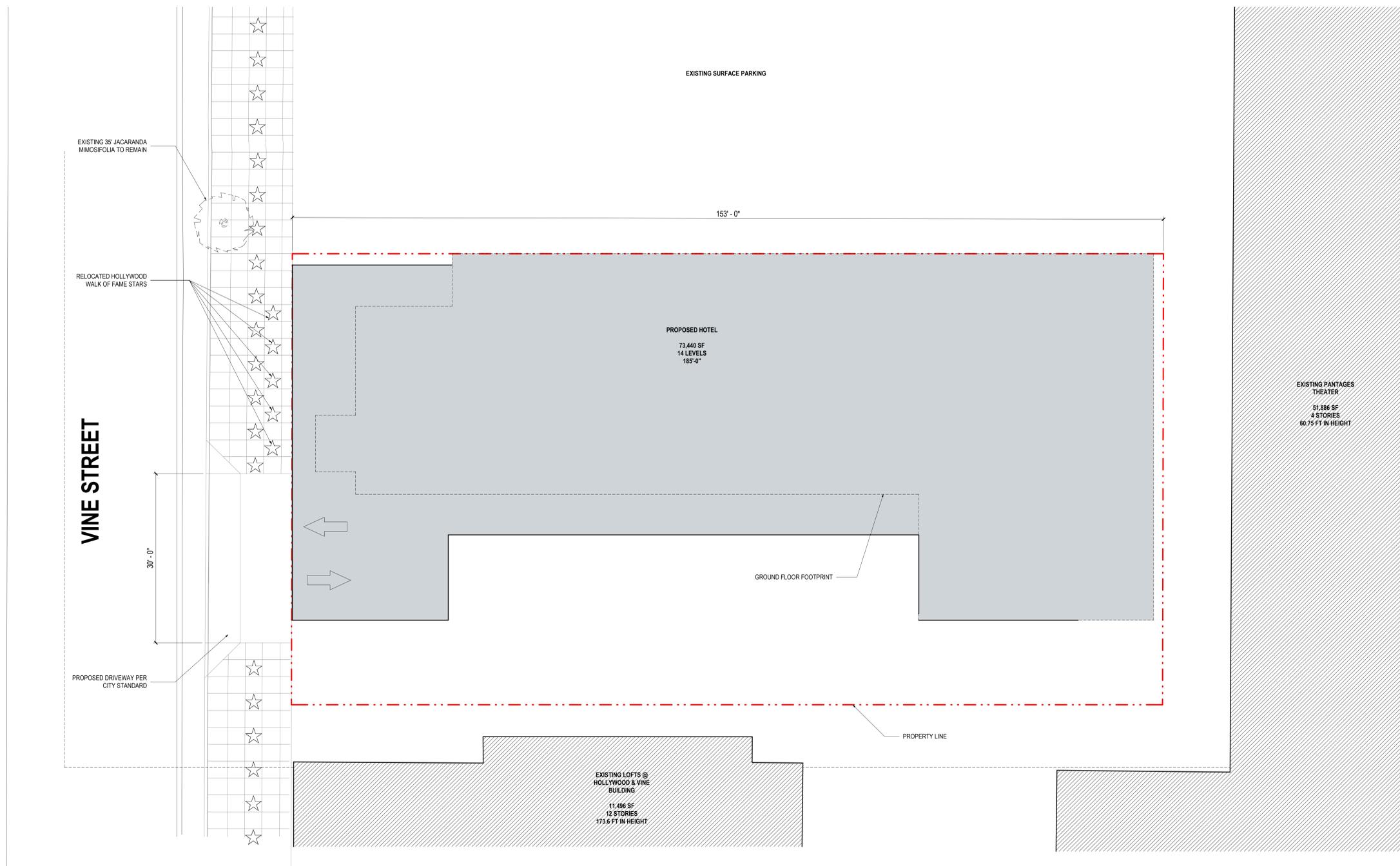
Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
PLOT PLAN

Scale
1/8" = 1'-0"

A1.010



KEY PLAN

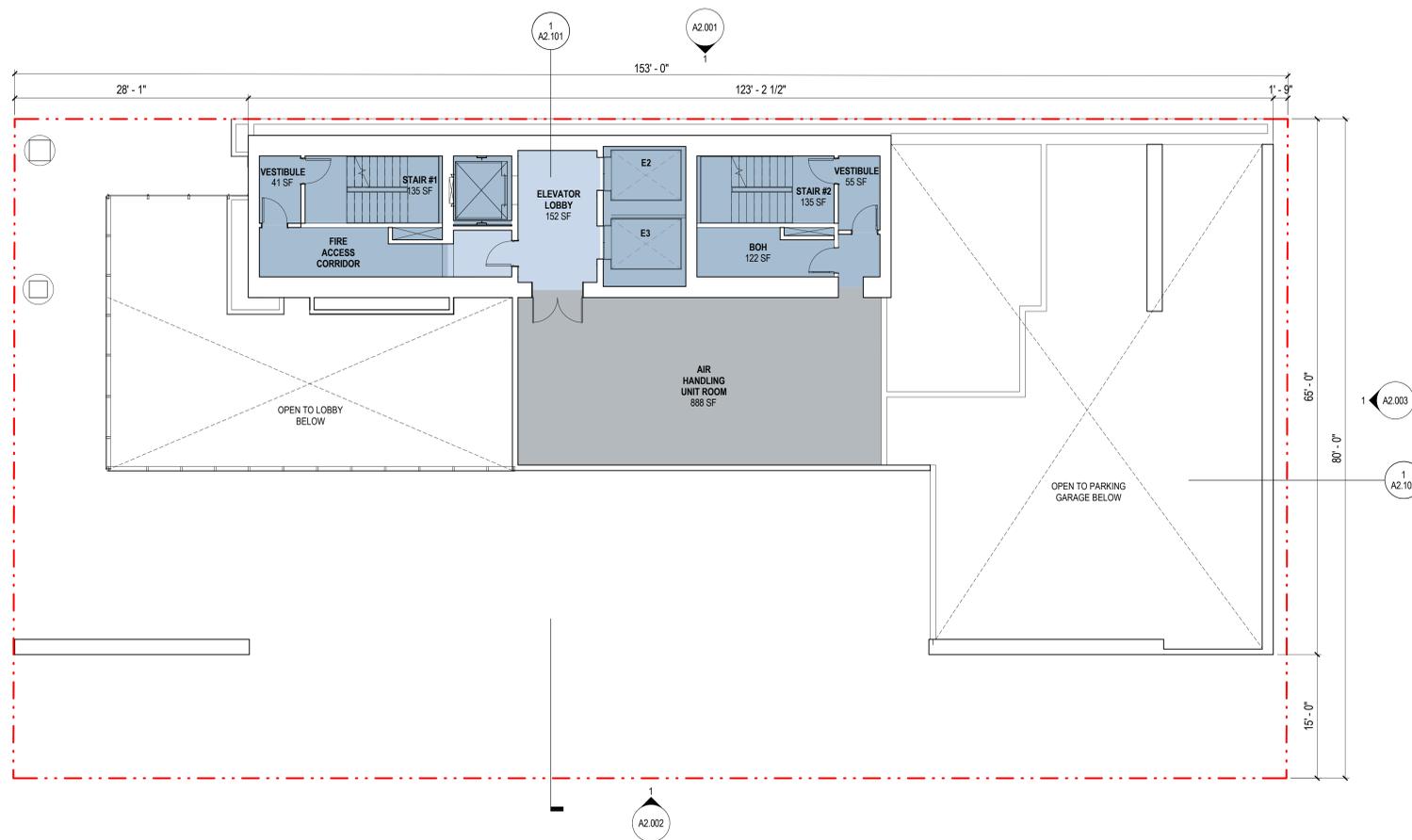
SHEET NOTES

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2 LEVEL 01M - MECHANICAL MEZZANINE

SCALE 1/8" = 1'-0"

GENERAL NOTES

△ Date Descriptio

LEGEND

- STAIRWAYS, ELEVATOR SHAFTS, MECHANICAL SHAFTS, ELECTRICAL ROOMS, LUGGAGE ROOM, FIRE CONTROL ROOM, BOH, FIRE ACCESS CORRIDOR
- ENTRY, LOBBY, ELEVATOR LOBBY, COFFEE M & CIRCULATION
- GENERATOR, GARBAGE COMPACTOR, AIR HANDLING UNIT ROOM

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
FLOOR PLAN LEVEL 01 - 01M MECHANICAL MEZZANINE

KEY PLAN

Scale

As indicated



A1.101

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1 LEVEL 01

SCALE 1/8" = 1'-0"

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GENERAL NOTES

Date	Description

Seal / Signature

LEGEND

- GUESTROOMS, STAIRWAYS, ELEVATOR SHAFTS, MECHANICAL SHAFTS, ELECTRICAL ROOMS, BOH, STORAGE, FIRE ACCESS CORRIDOR
- ELEVATOR LOBBY, IRON ROOM, CORRIDOR, BAR, RESTROOMS, HOTEL GUEST ONLY GYM
- MECHANICAL

NOT FOR CONSTRUCTION

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
FLOOR PLAN TYPICAL GUESTROOM LEVELS 02 - 11 & LEVEL 12

KEY PLAN

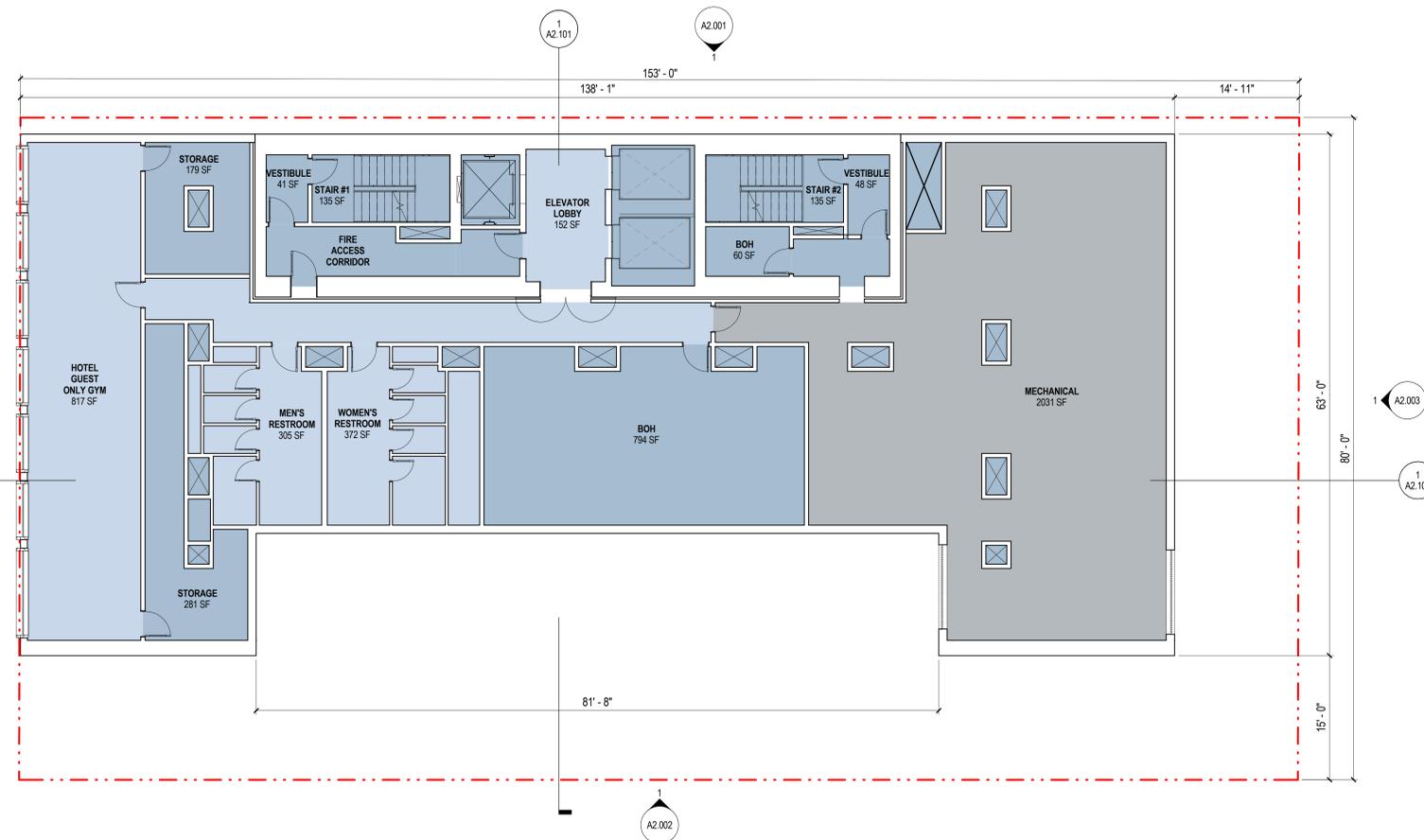
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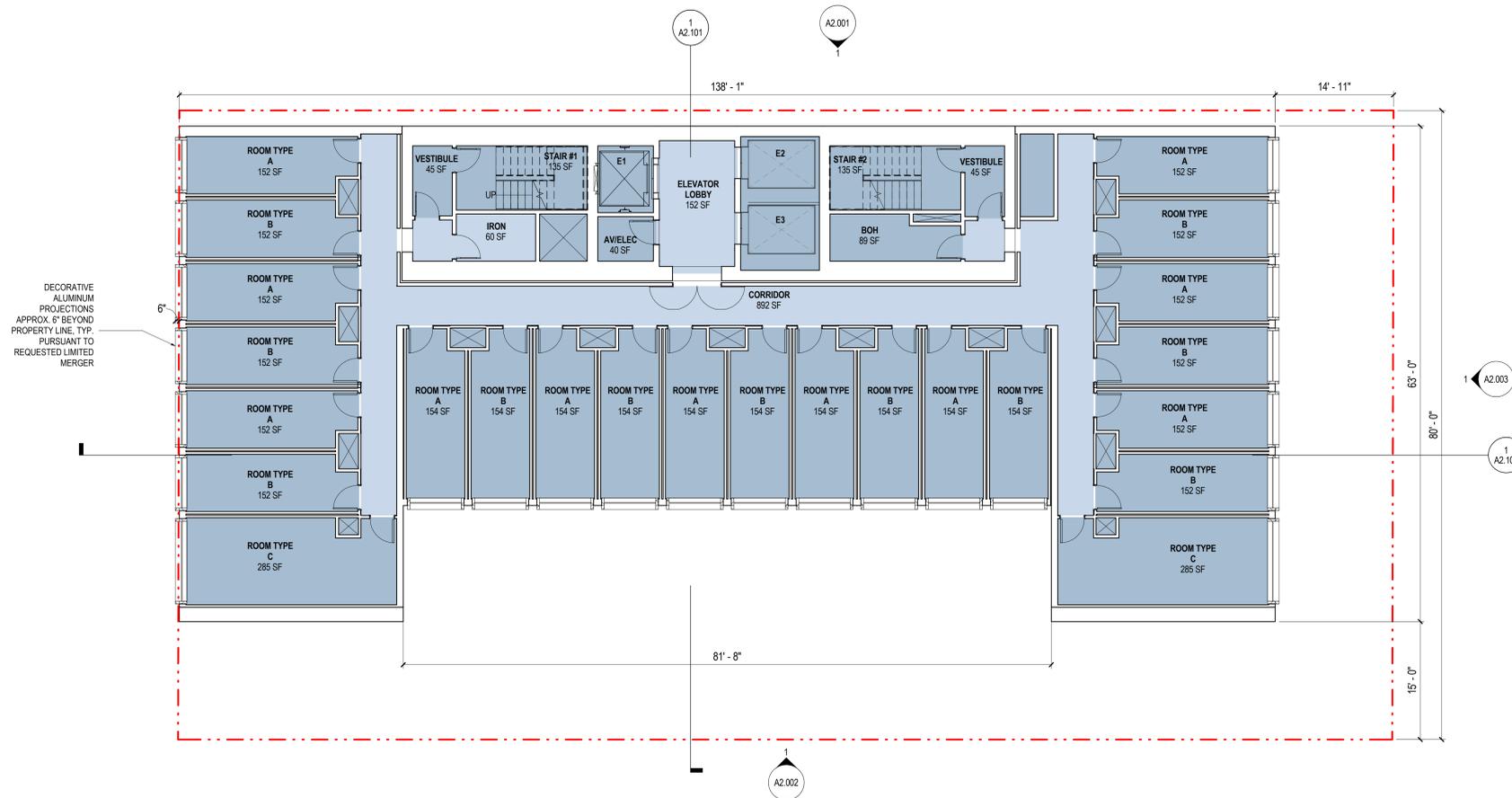


A1.102

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2 LEVEL 12
SCALE 1/8" = 1'-0"



1 LEVEL 02 - LEVEL 11
SCALE 1/8" = 1'-0"

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SHEET NOTES

GENERAL NOTES

Date	Description

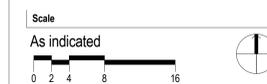
Seal / Signature

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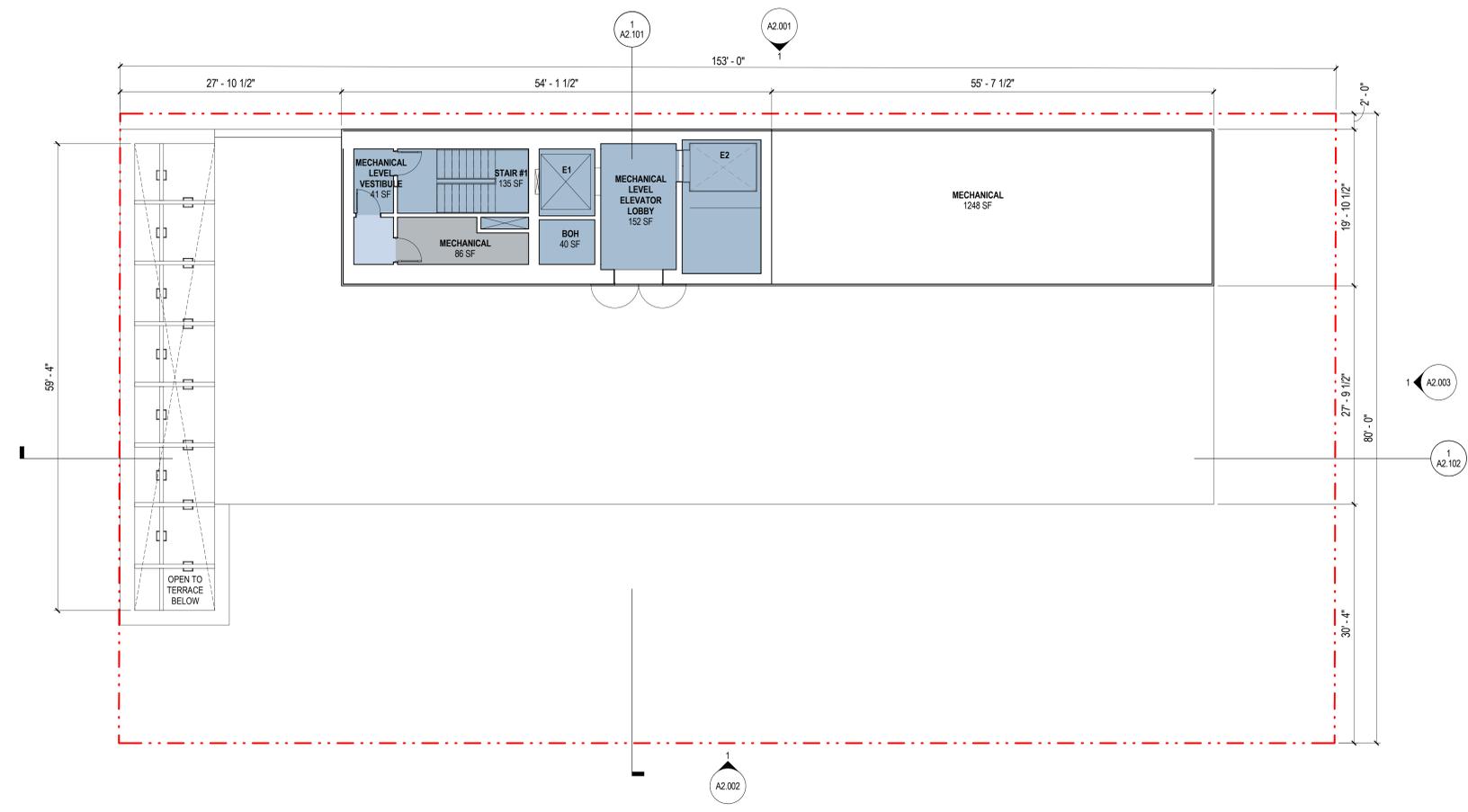
Project Name
 citizenM Hollywood & Vine

Project Number
 05.9924.000

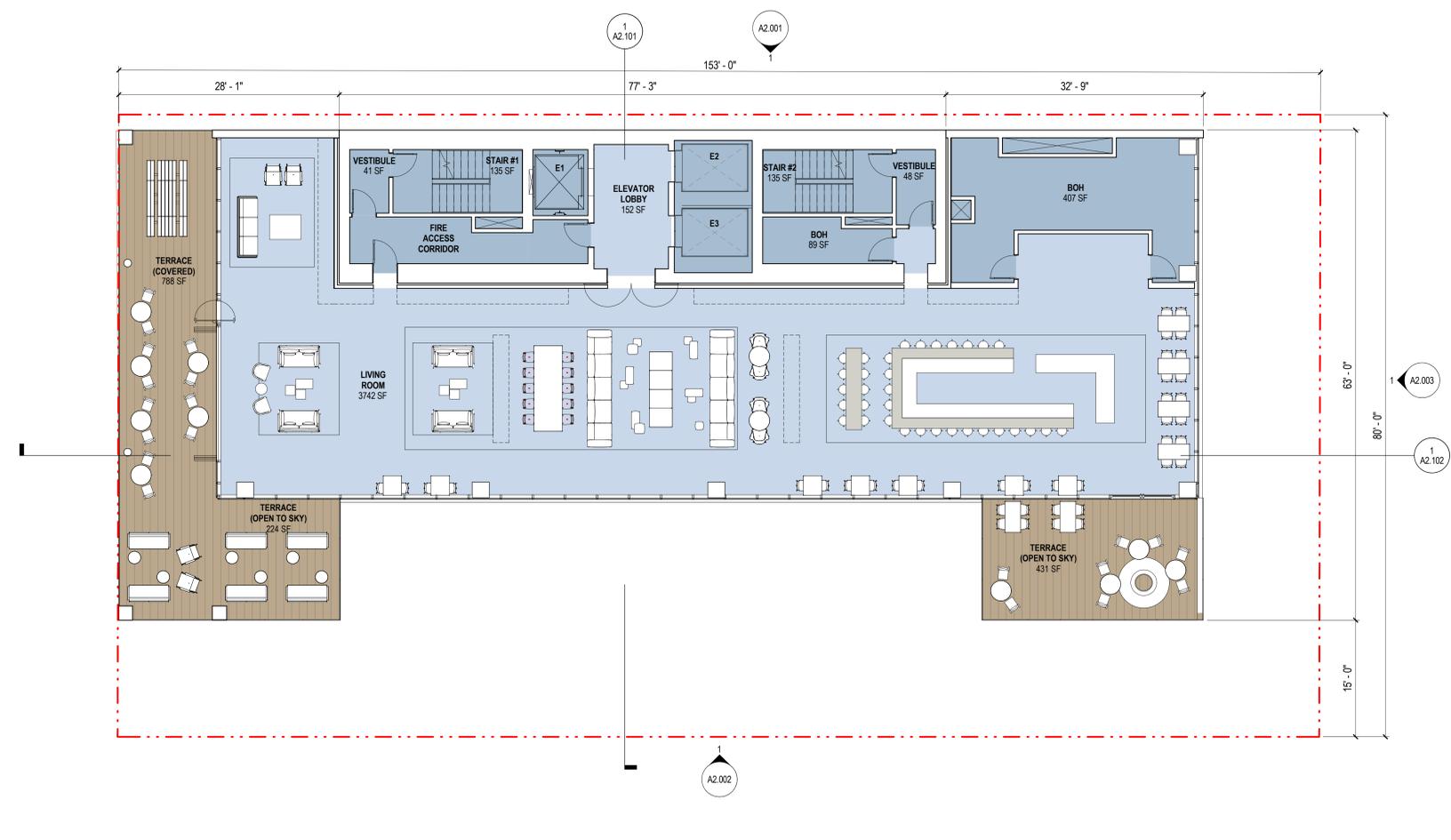
Description
 FLOOR PLAN LEVEL 13 & ROOF



A1.103



2 ROOF
 SCALE: 1/8" = 1'-0"



1 LEVEL 13
 SCALE: 1/8" = 1'-0"

2/21/2016 12:11:12 PM \\gensler-ar\project\Render\level\13\05.9924.000_citizenM_Hollywood_2.0_salls_cha@gensler.com.rvt

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Gensler

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Los Angeles, California 90071
United States
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Fax: 213.327.3601

GENERAL NOTES

△ Date Description

LEGEND

- STAIRWAYS, ELEVATOR SHAFTS, MECHANICAL SHAFTS, ATTENDED BICYCLE PARKING SERVICE, BOH, STORAGE & FIRE ACCESS CORRIDOR
- CIRCULATION
- PARKING
- MECHANICAL ROOMS

Seal / Signature

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Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
FLOOR PLAN LEVEL B1 & B2

KEY PLAN

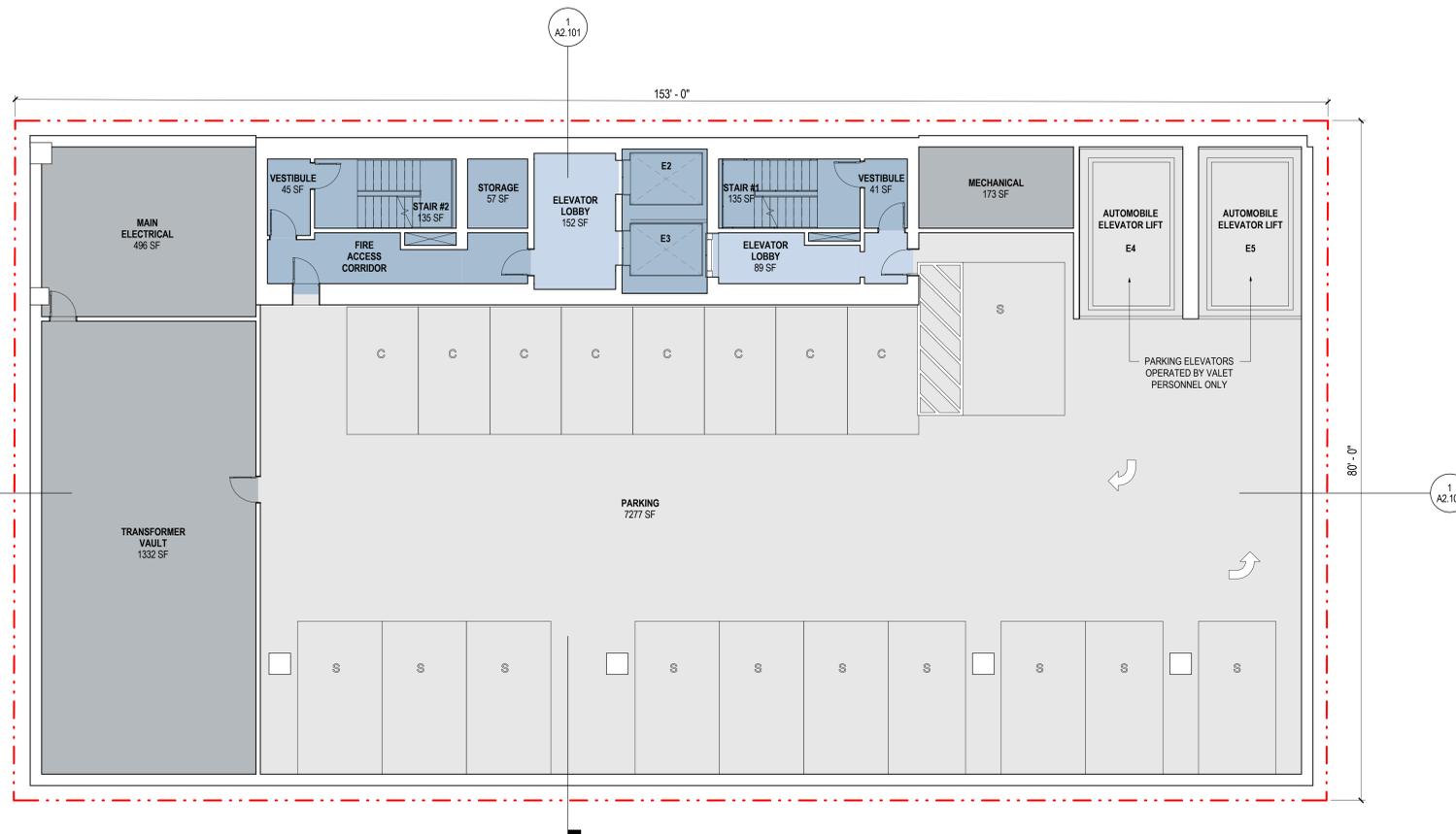
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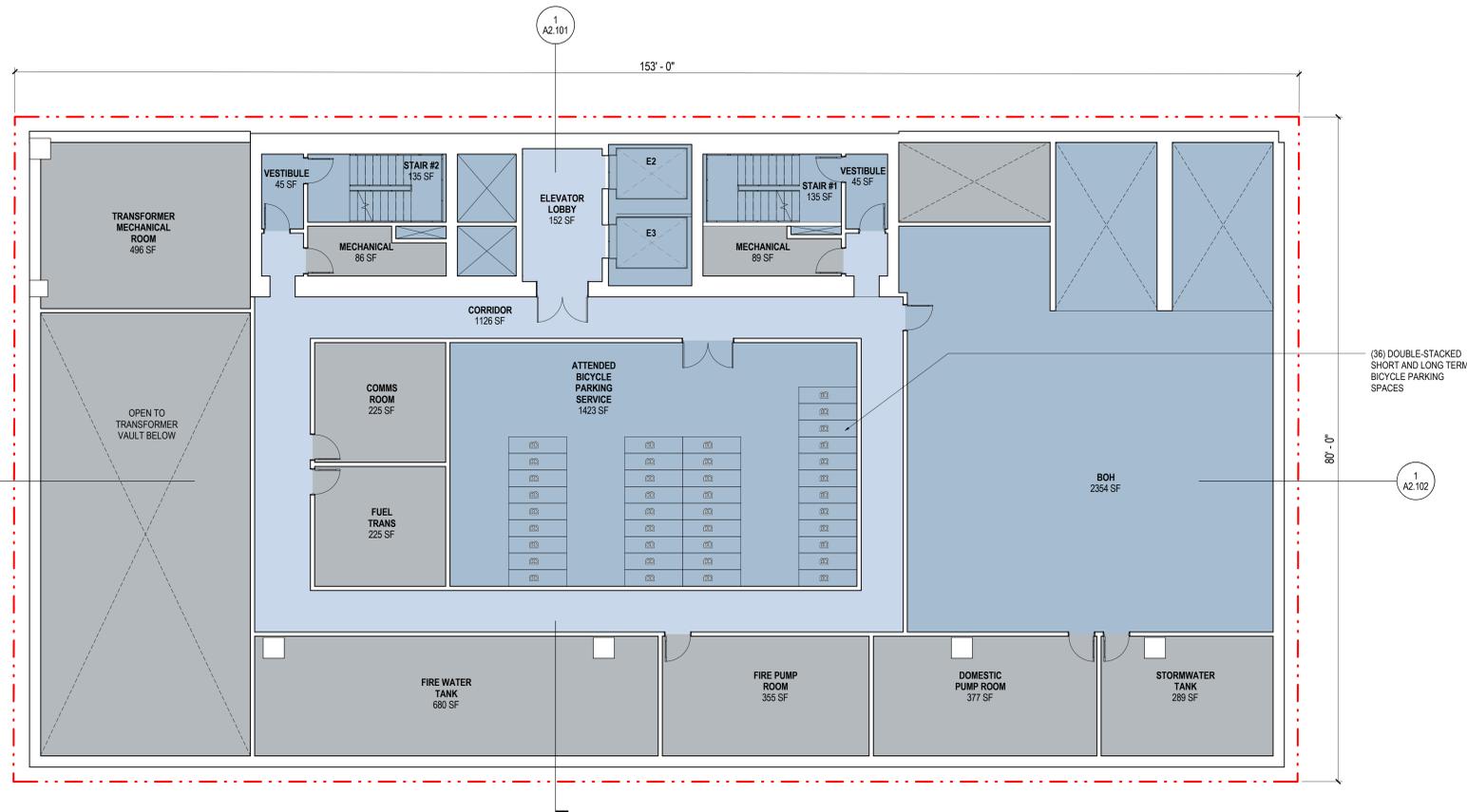


A1.104

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2 LEVEL B2 - PARKING
SCALE: 1/8" = 1'-0"



1 LEVEL B1 - MECHANICAL
SCALE: 1/8" = 1'-0"

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Fax: 213.327.3601

GENERAL NOTES

Date	Description

LEGEND

- STAIRWAYS, ELEVATOR SHAFTS, MECHANICAL SHAFTS, FIRE ACCESS CORRIDOR
- CIRCULATION
- PARKING
- MECHANICAL ROOMS

Seal / Signature

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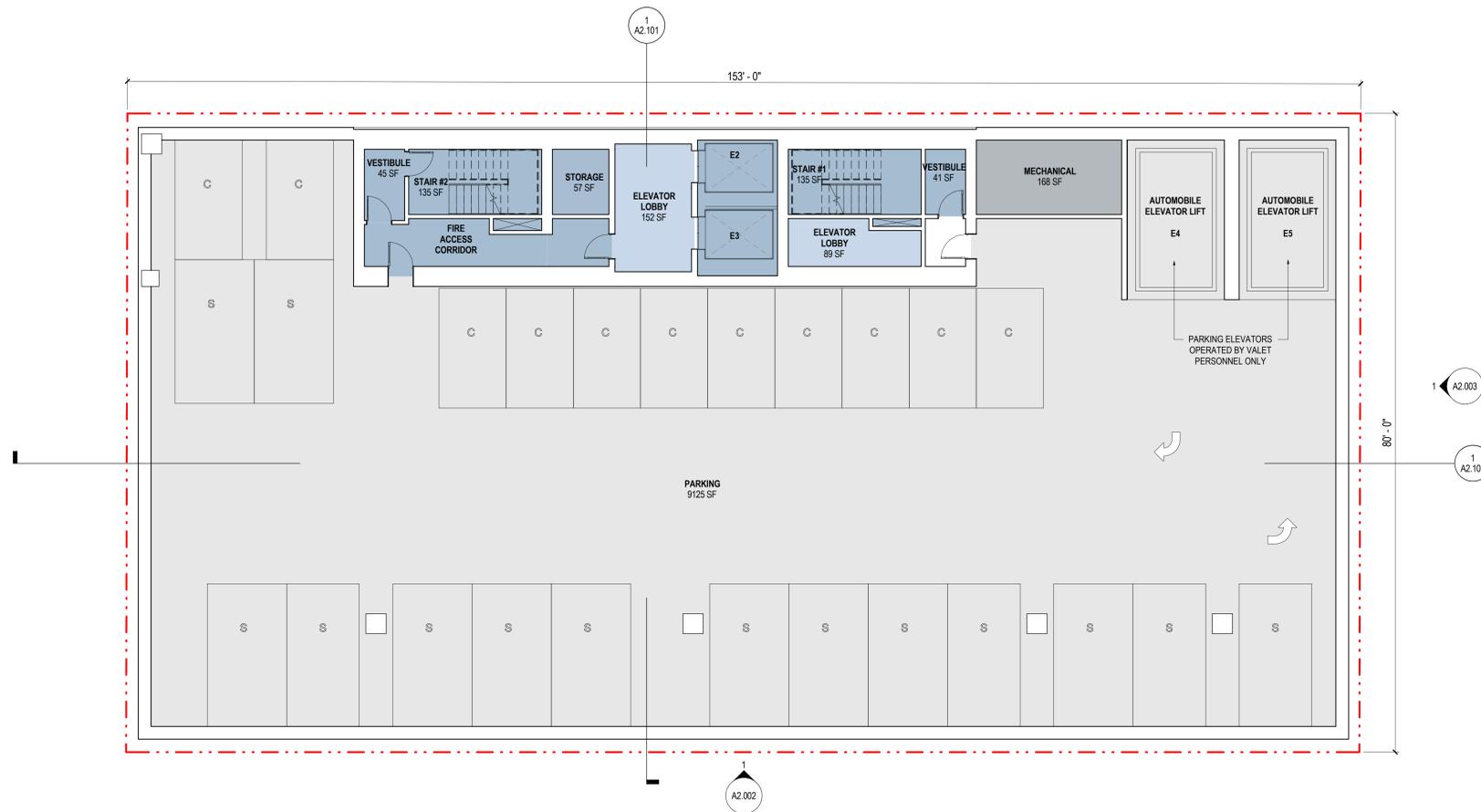
Description
FLOOR PLAN LEVEL B3-B5

KEY PLAN

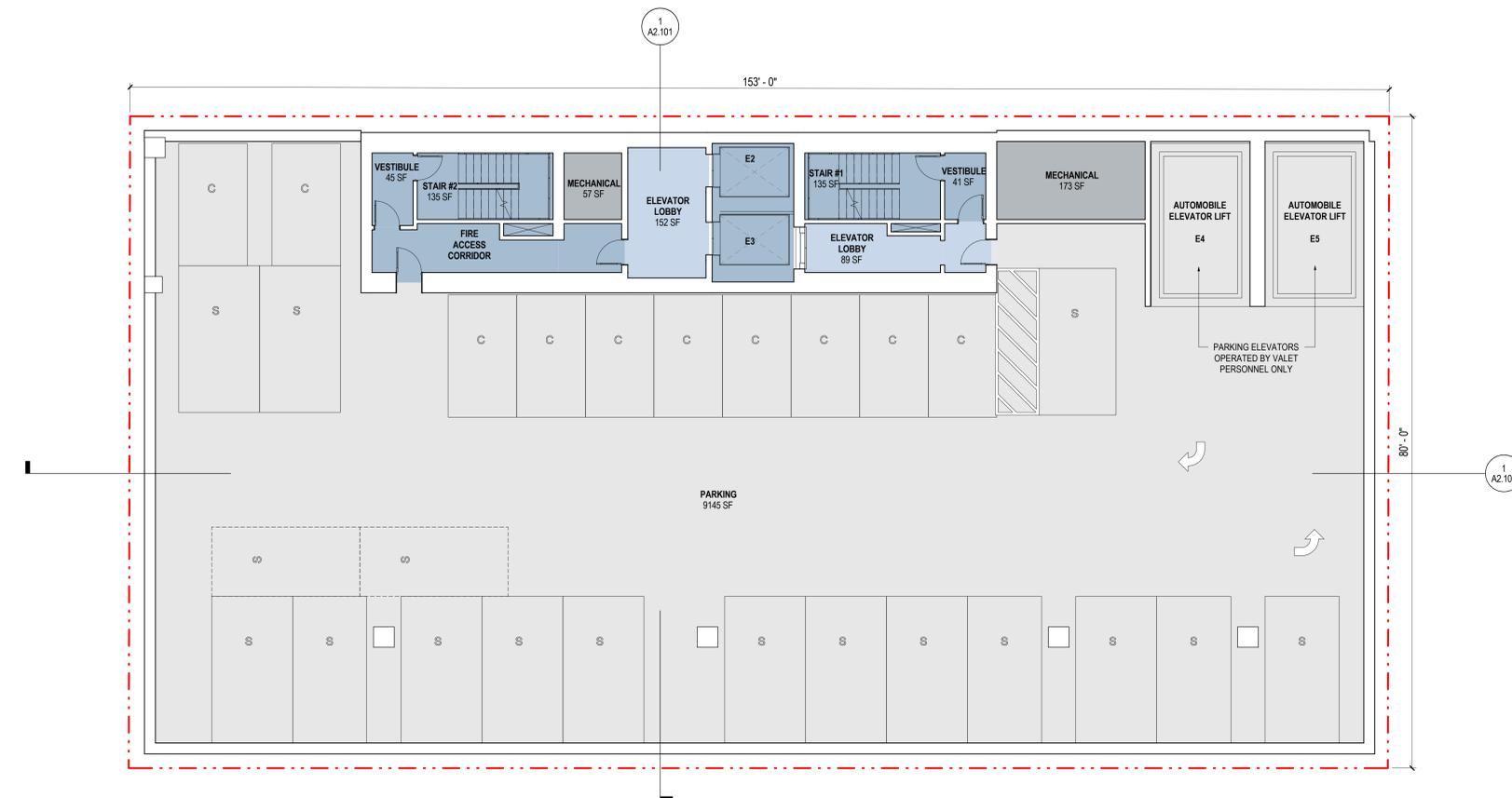
Scale
As indicated
0 2 4 8 16

A1.105

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2 LEVEL B5 - PARKING
SCALE: 1/8" = 1'-0"



1 LEVEL B3 & B4 - PARKING
SCALE: 1/8" = 1'-0"

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GENERAL NOTES

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

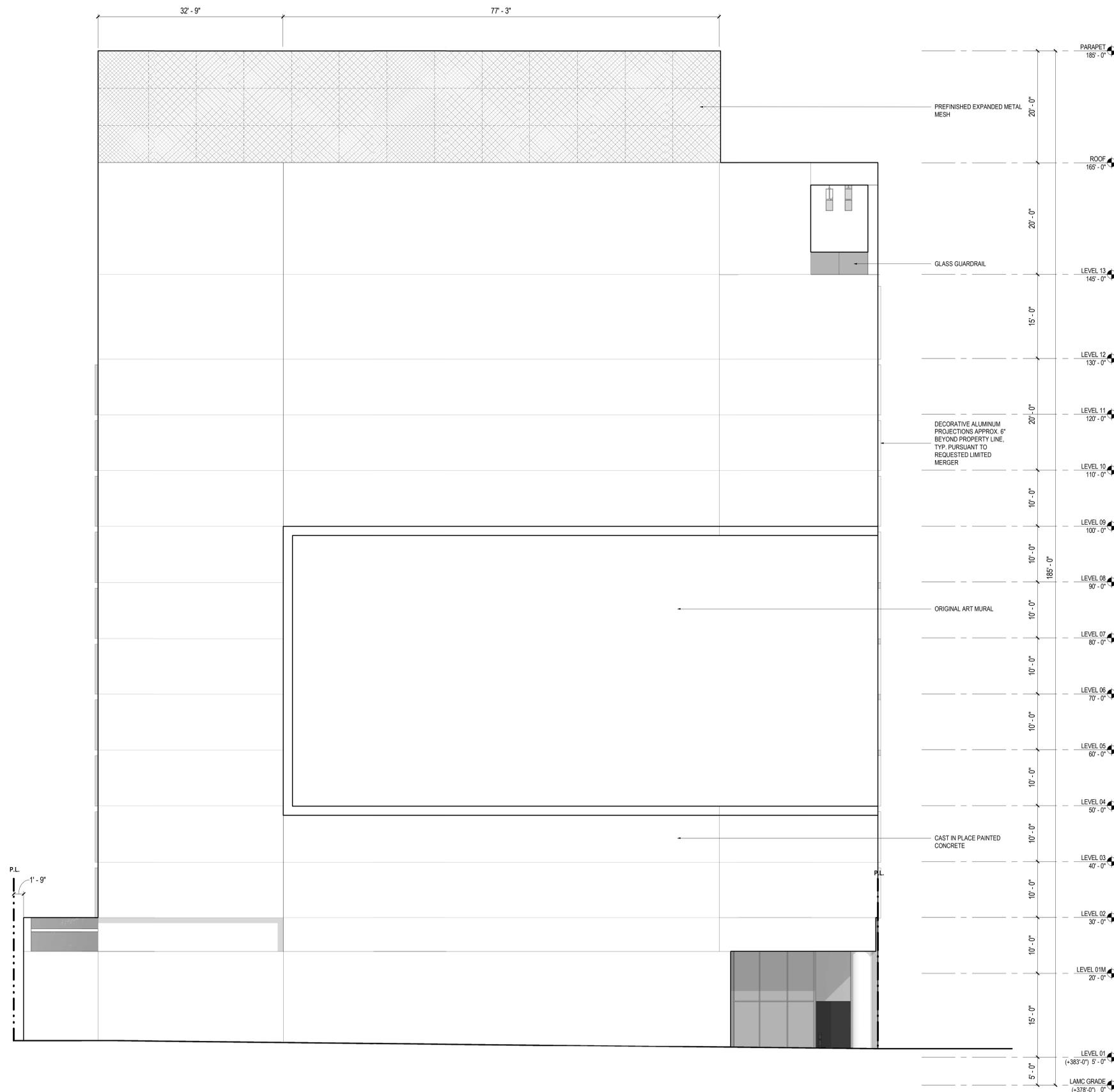
Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
BUILDING ELEVATION - NORTH

Scale
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0 2 4 8 16
A2.001

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KEY PLAN

SHEET NOTES

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Fax 213.327.3601

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Seal / Signature

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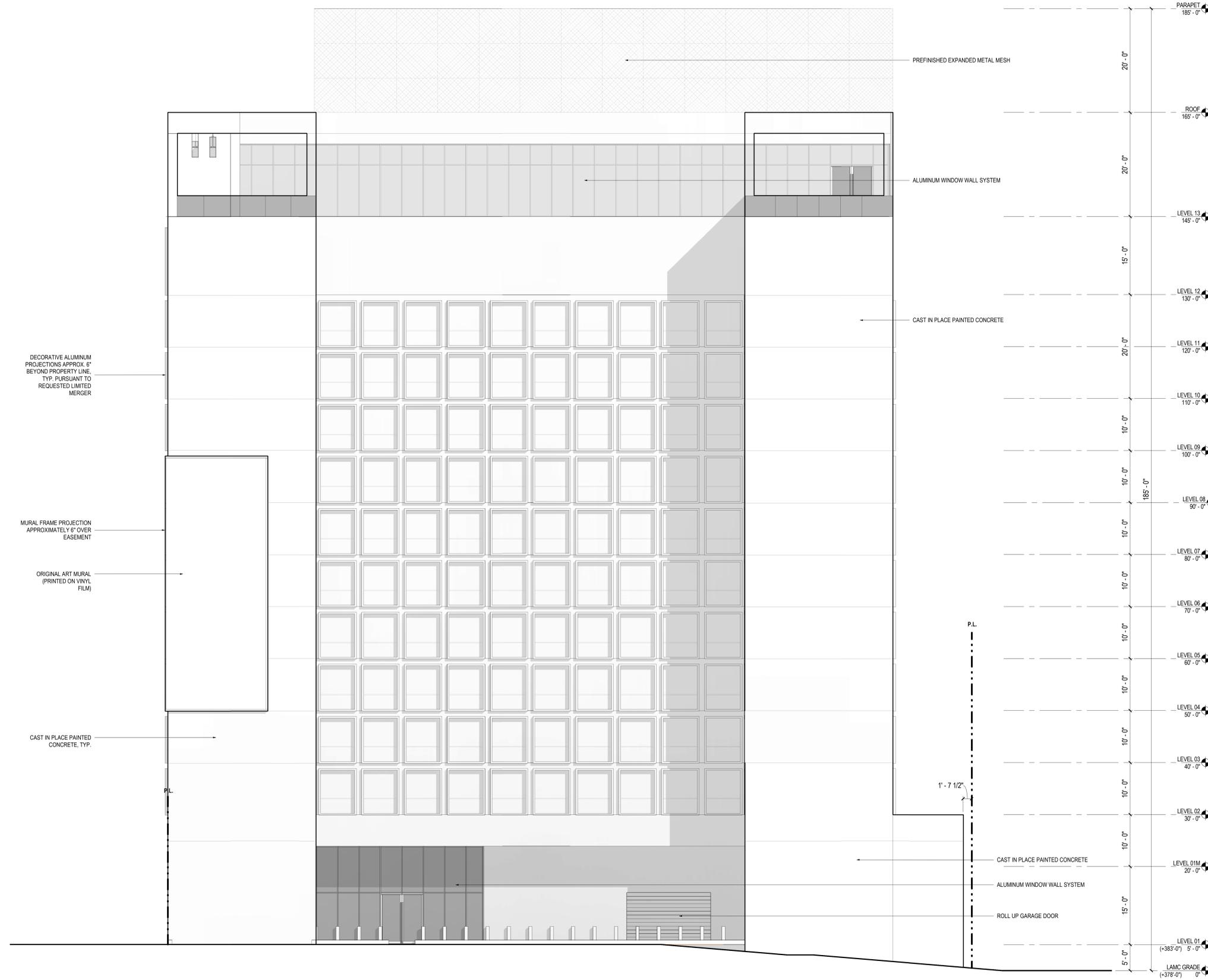
Project Name
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Project Number
05.9924.000

Description
BUILDING ELEVATION - SOUTH

Scale
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0 2 4 8 16
A2.002

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1 SOUTH ELEVATION
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Fax: 213.327.3601

GENERAL NOTES

Date	Description
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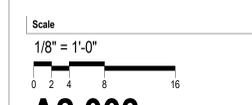
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Project Name
citizenM Hollywood & Vine

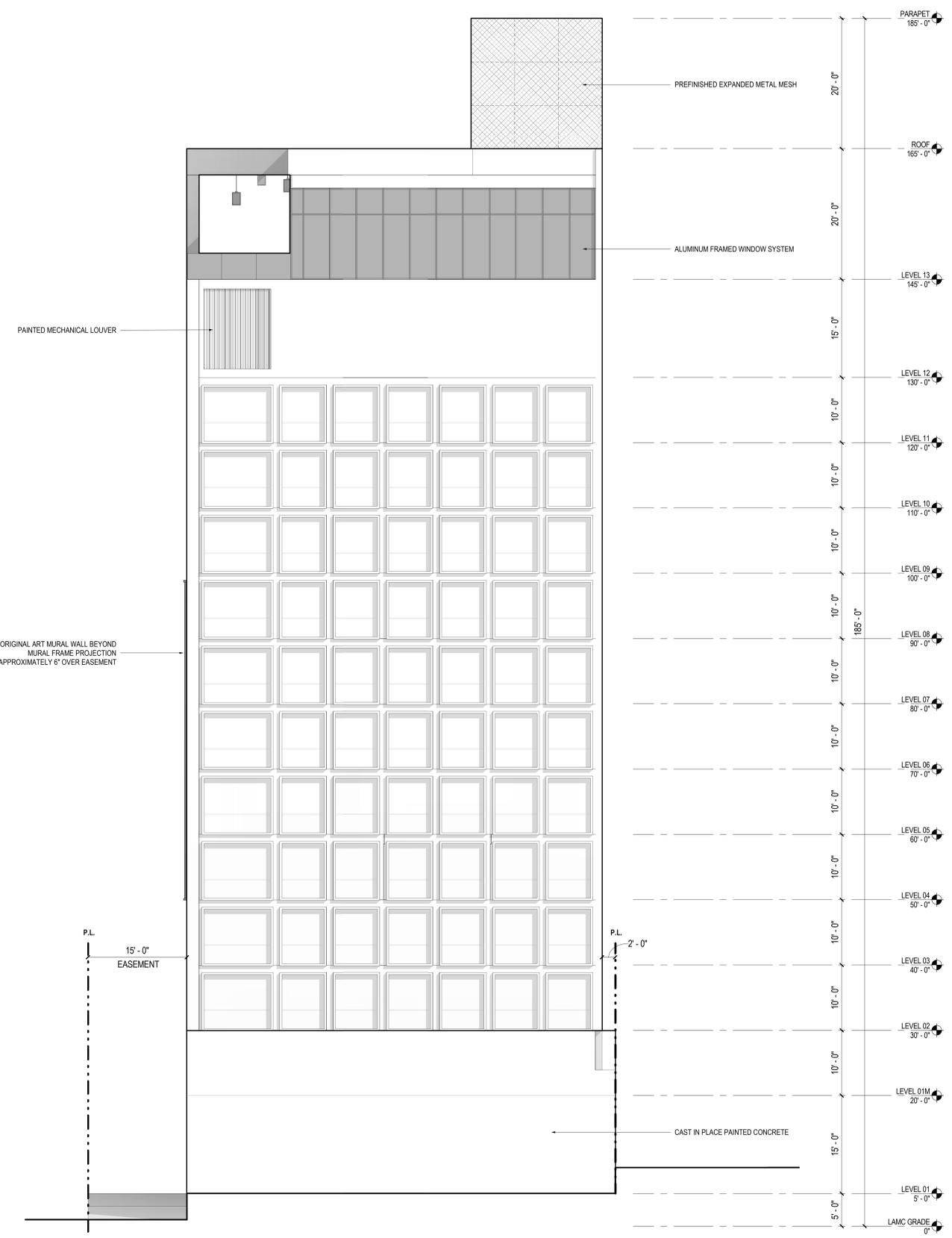
Project Number
05.9924.000

Description
BUILDING ELEVATION - EAST



A2.003

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1 EAST ELEVATION
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Fax: 213.327.3601

GENERAL NOTES

Date	Description
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Project Name

citizenM Hollywood & Vine

Project Number

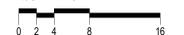
05.9924.000

Description

BUILDING ELEVATION - WEST

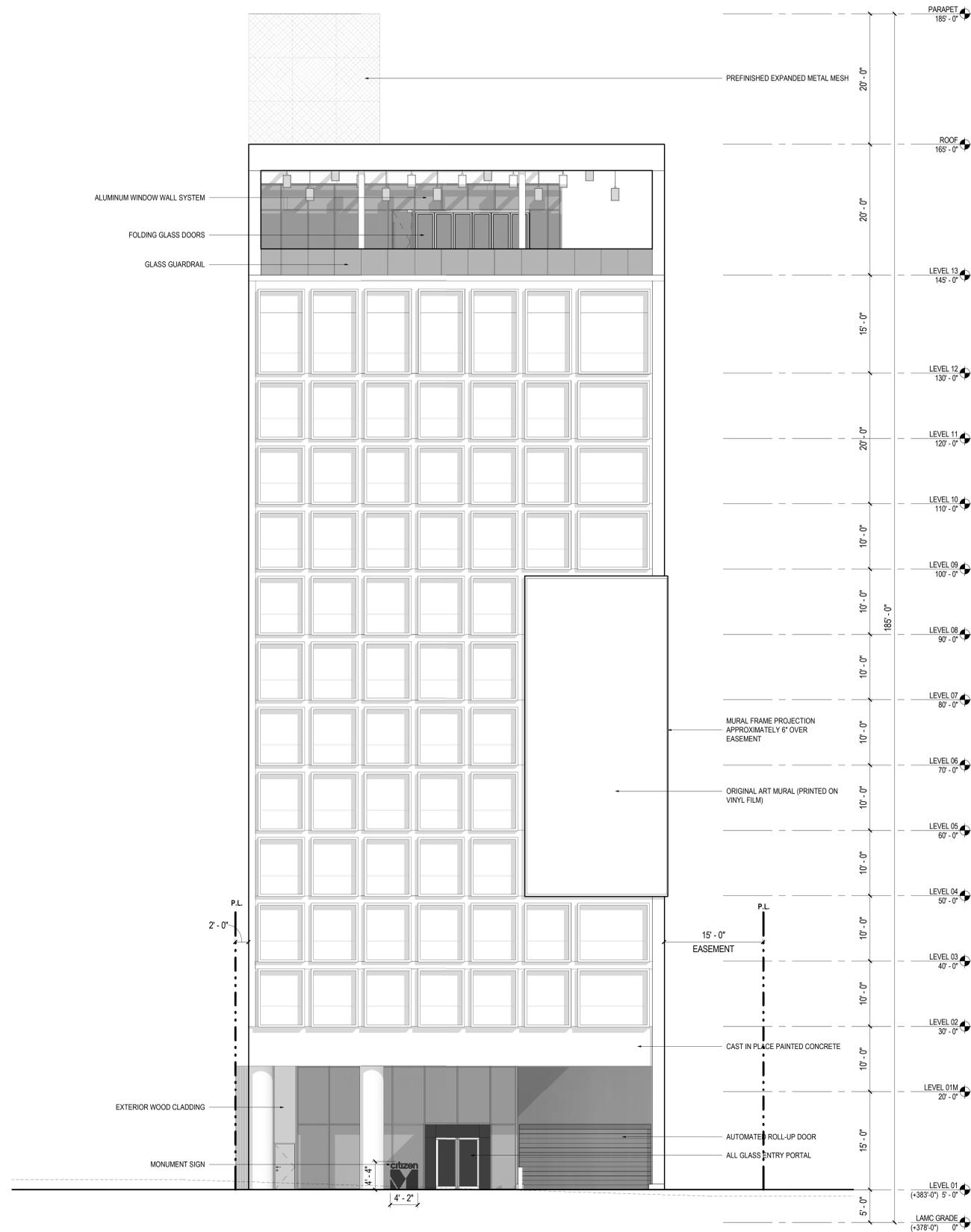
Scale

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A2.004

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1 WEST ELEVATION

SCALE 1/8" = 1'-0"

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Gensler
 500 South Figueroa Street
 Los Angeles, California 90071
 United States
 Tel: 213.327.3600
 Fax: 213.327.3601

GENERAL NOTES

Date	Description

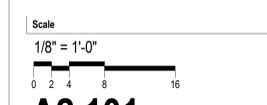
Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 citizenM Hollywood & Vine

Project Number
 05.9924.000

Description
 BUILDING SECTION - NORTH-SOUTH



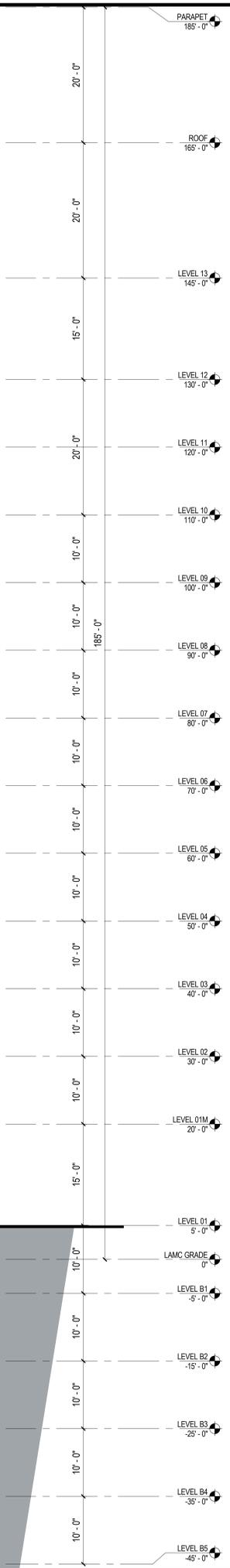
A2.101



DECORATIVE ALUMINUM PROJECTIONS APPROX. 6" BEYOND PROPERTY LINE, TYP. PURSUANT TO REQUESTED LIMITED MERGER

VINE STREET

P.L.



SHEET NOTES

citizenM Hotels
1718 N Vine St.
Los Angeles, CA 90028

Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

GENERAL NOTES

Date	Description

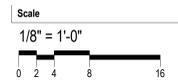
Seal / Signature

NOT FOR CONSTRUCTION

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
BUILDING SECTION - EAST-WEST



A2.102



SHEET NOTES

citizenM Hotels

1718 N Vine St.
Los Angeles, CA 90028

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500 South Figueroa Street
Los Angeles, California 90071
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Tel: 213.327.3600
Fax: 213.327.3601

GENERAL NOTES

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

citizenM Hollywood & Vine

Project Number

05.9924.000

Description

EXTERIOR RENDERING

Scale

NTS



A2.201

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Fax: 213.327.3601

GENERAL NOTES

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

citizenM Hollywood & Vine

Project Number

05.9924.000

Description

EXTERIOR RENDERING

Scale



A2.202

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KEY PLAN

SHEET NOTES

citizenM Hotels

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Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601



GENERAL NOTES

△ Date Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
EXTERIOR RENDERING

Scale

NTS



A2.203

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United States
Tel: 213.327.3600
Fax: 213.327.3601



GENERAL NOTES

△ Date Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
EXTERIOR RENDERING

KEY PLAN

Scale

NTS



A2.204

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Los Angeles, CA 90028

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601



GENERAL NOTES

Date	Description

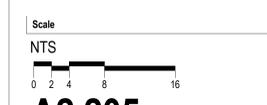
Seal / Signature

NOT FOR CONSTRUCTION

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
EXTERIOR RENDERING



A2.205

KEY PLAN

3/13/2016 10:27:24 AM I:\gensek\ar\Project\Render\code\1942505.994.000_citizenM_Hollywood_2.0_salls_cha@gensler.com.rvt



1 VIEW FROM HOLLYWOOD & VINE
SCALE 1/2" = 1'-0"

SHEET NOTES

citizenM Hotels

1718 N Vine St.
Los Angeles, CA 90028

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

GENERAL NOTES

△ Date Description

Seal / Signature

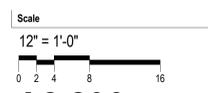
**NOT FOR
CONSTRUCTION**

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
EXTERIOR RENDERING

KEY PLAN



A2.206

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citizenM Hotels

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GENERAL NOTES

△ Date Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
citizenM Hollywood & Vine

Project Number
05.9924.000

Description
EXTERIOR RENDERING

KEY PLAN

Scale
NOT TO SCALE
0 2 4 8 16
A2.207



3/2/2016 10:27:24 AM I:\gensler\all\Projects\Render\kennel\0519\051905.9924.000_citizenM_Hollywood_2.0_salls_chs@gensler.com.rvt

SHEET NOTES

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GENERAL NOTES

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

citizenM Hollywood & Vine

Project Number

05.9924.000

Description

LANDSCAPE PLAN

KEY PLAN

Scale

12" = 1'-0"



L1.01

© 2015



PLANT SPECIES



A JACARANDA MIMOSIFOLIA (BLUE JACARANDA)



B FIGUS BINNENDIJKII ALII (FIGUS ALLI)



C PHOENIX ROEBELENI (PYGMY DATE PALM)

Appendix C.2

Archaeological Memo

South Central Coastal Information Center

California State University, Fullerton
Department of Anthropology MH-426
800 North State College Boulevard
Fullerton, CA 92834-6846
657.278.5395

California Historical Resources Information System

Los Angeles, Orange, Ventura and San Bernardino Counties

sccic@fullerton.edu

7/15/2016

SCCIC File #: 16514.2707

Stephanie Eyestone-Jones
Eyestone Environmental
6701 Center Drive West, Ste. 900
Los Angeles CA 90045

Re: Cultural/Archaeological Resources Records Search for the CitizenM Hollywood & Vine Project, City of Los Angeles, California

The South Central Coastal Information Center received your records search request for the project area referenced above, located on the Hollywood, CA USGS 7.5' quadrangle. The following summary reflects the results of the records search for the project area and a ½-mile radius. The search includes a review of all recorded archaeological and built-environment resources as well as a review of cultural resource reports on file. In addition, the California Points of Historical Interest (SPHI), the California Historical Landmarks (SHL), the California Register of Historical Resources (CAL REG), the National Register of Historic Places (NRHP), the California State Historic Properties Directory (HPD), and the City of Los Angeles Historic-Cultural Monuments (LAHCM) listings were reviewed for the above referenced project site. Due to the sensitive nature of cultural resources, archaeological site locations are not released.

RECORDS SEARCH RESULTS SUMMARY

Archaeological Resources	Within project area: 0 Within project radius: 1
Built-Environment Resources	Within project area: 1 Within project radius: 58
Reports and Studies	Within project area: 5 Within project radius: 21
OHP Historic Properties Directory (HPD)	Within project area: 1 Within project radius: 67
California Points of Historical Interest (SPHI)	Within project area: 0 Within project radius: 0
California Historical Landmarks (SHL)	Within project area: 0 Within project radius: 0
California Register of Historical Resources (CAL REG)	Within project area: 1 Within project radius: 34

National Register of Historic Places (NRHP)	Within project area: 1 Within project radius: 19
Archaeological Determinations of Eligibility (ADOE):	Within project area: 0 Within project radius: 0
City of Los Angeles Historic-Cultural Monuments (LAHCM)	Within project area: 0

HISTORIC MAP REVIEW – Santa Monica, CA (1902, 1921) USGS 15’: indicated that in 1902, there was little to visible development within the project site; however, there were several roads and buildings within the vicinity of the project area. The Hollywood and Cahuenga Railroad ran to the south of the project site. There were two intermittent streams within the vicinity of the project area. The project site was located at the base of the Cahuenga Pass and the Santa Monica Mountains. Historic place names nearby included Hollywood and Colegrove. In 1921, there was still little to no visible development within the project site; however, there were numerous roads and buildings present within the vicinity of the project area with the project site being located within a dense urban environment. The intermittent streams and railroad were no longer visible. Historic place names nearby included Hollywood and Los Angeles.

RECOMMENDATIONS

The project area is potentially sensitive for archaeological resources. Because most of the project area is obscured by urban development, an archaeological survey is not likely to result in the observation of surface artifacts. Therefore, it is recommended that a qualified archaeologist be retained to monitor all ground-disturbing activities. In the event that cultural resources are observed, all work within the vicinity of the find should be diverted until the archaeologist can assess and record the find and make recommendations. Additionally, there are numerous properties in the area that are on or eligible for local, state or federal registers, therefore, it is also recommended that the effect of the project on those properties be further studied by a qualified architectural historian. Additionally, any buildings, structures or objects (45 years and older and in the area of potential effect) should be identified, recorded, and evaluated for local, state, or national significance prior to the approval of project plans. Finally, the Native American Heritage Commission should be consulted to identify if any additional traditional cultural properties or other sacred sites are known to be in the area.

For your convenience, you may find a professional consultant* at www.chrisinfo.org. Any resulting reports by the qualified consultant should be submitted to the South Central Coastal Information Center as soon as possible.

*The SCCIC does not endorse any particular consultant and makes no claims about the qualifications of any person listed. Each consultant on this list self-reports that they meet current professional standards.

If you have any questions regarding the results presented herein, please contact the office at 657.278.5395 Monday through Thursday 9:00 am to 3:30 pm.

Should you require any additional information for the above referenced project, reference the SCCIC number listed above when making inquiries. Requests made after initial invoicing will result in the preparation of a separate invoice.

Thank you for using the California Historical Resources Information System,

Stacy St. James

2016.07.14 17:32:37 -07'00'

Lindsey Noyes
Lead Staff Researcher

Enclosures:

(X) Invoice #16514.2707

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.