



SIGNAL HILL LLC COMBINED DEVELOPMENT PERMIT ENVIRONMENTAL IMPACT REPORT

PREPARED FOR

Monterey County
Housing and Community Development
1441 Schilling Place
Salinas, California 93901

FINAL | OCTOBER 2022

VOLUME 1: FINAL EIR

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Signal Hill LLC

Combined Development Permit

Final
Environmental Impact Report
SCH No. 2015021054

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ACRONYMS AND ABBREVIATIONS

Acronym	Term
§	Section
°F	degrees Fahrenheit
A.S.B.S.	Area of Special Biological Significance
AAQS	Ambient Air Quality Standard
AB	Assembly Bill
ACHP	Advisory Council on Historic Preservation
AIA	American Institute of Architects
AMBAG	Association of Monterey Bay Area Governments
APN	Assessor's Parcel Number
Applicant	Signal Hill LLC
AQMP	Air Quality Management Plan
Basin Plan	Water Quality Control Plan for the Central Coast Region
Cal Am	California American Water Company
CAL FIRE	California Department of Forestry and Fire Protection
CalEPA	California Environmental Protection Agency
California CAA	California Clean Air Act
CalRecycle	California Department of Resources, Recycling, and Recovery
CARB	California Air Resources Board
CAWD	Carmel Area Wastewater District
CBC	California Building Code
CCAA	California Clean Air Act
CCC	California Coastal Commission
CCR	California Code of Regulations
CDFW	California Department of Fish and Wildlife
CDWR	California Department of Water Resources
CEC	California Energy Commission
CEQA	California Environmental Quality Act
CESA	California Endangered Species Act
CFR	Code of Federal Regulations
CGS	California Geological Survey
CH ₄	methane
CHBC	California State Historical Building Code

Acronym	Term
CHP	California Highway Patrol
CHRIS	California Historical Resources Information System
CIP	Coastal Implementation Plan
CLG	Certified Local Government
CNDDDB	California Natural Diversity Database
CNEL	community noise equivalent level
CNPS	California Native Plant Society
CO	carbon monoxide
CO ₂	carbon dioxide
CO ₂ e	carbon dioxide equivalent
County	County of Monterey Resource Management Agency – Planning Department
CPUC	California Public Utilities Commission
CRHP	California Register of Historical Places
CRHR	California Register of Historical Resources
CSD	Community Services District
CZ	Coastal Zone
D District	Design Control District
dB	Decibels
dBA	A-weighted decibels
DHS	California Department of Health Services
DPM	Diesel Particulate Matter
DTSC	Department of Toxic Substances Control
EIR	Environmental Impact Report
ESHA	Environmentally Sensitive Habitat Area
Federal CAA	Federal Clean Air Act
FEMA	Federal Emergency Management Agency
FESA	Federal Endangered Species Act
FHWA	Federal Highway Administration
FMMP	Farmland Mapping and Monitoring Program
GHG	greenhouse gas
HABS	Historic American Building Survey
HFCs	hydrofluorocarbons
HR District	Historic Resources District
IPaC	Information, Planning, and Conservation System

Acronym	Term
IPCC	Intergovernmental Panel on Climate Change
KVA	Key Viewing Area
lb/day	pounds per day
LCP	Local Coastal Program
L _{dn}	day-night sound level
LDR	Low Density Residential land use category
L _{max}	maximum sound level
LUFT	Leaking Underground Fuel Tank
LUP	Land Use Plan
MBTA	Migratory Bird Treaty Act of 1918
MBUAPCD	Monterey Bay Unified Air Pollution Control District
MCWRA	Monterey County Water Resources Agency
mgd	million gallons per day
MLD	Most Likely Descendant
mm	Mitigation Measure
mma	Mitigation Measure Action
MMRP	Mitigation Monitoring and Reporting Program
MMtCO _{2e}	million metric tons of CO ₂ equivalent
MOMA	Museum of Modern Art
MPWMD	Monterey Peninsula Water Management District
MRWMD	Monterey Regional Waste Management District
MRZ	mineral resource zone
msl	mean sea level
N ₂ O	nitrous oxide
NCCAB	North Central Coast Air Basin
NEPA	National Environmental Policy Act of 1969
NHPA	National Historic Preservation Act of 1966
NO ₂	nitrogen dioxide
NOAA	National Oceanic and Atmospheric Administration
NOAA Fisheries	NOAA National Marine Fisheries Service
NOP	Notice of Preparation
NO _x	nitrogen oxides
NPDES	National Pollutant Discharge Elimination System
NPS	National Park Service

Acronym	Term
NRCS	Natural Resources Conservation Service
NRHP	National Register of Historic Places
NWIC	Northwest Information Center
O ₃	ozone
OCEN	Ohlone/Costanoan-Esselen Nation
OES	Office of Emergency Services
OHP	Office of Historic Preservation
PBCSD	Pebble Beach Community Services District
PFCs	perfluorocarbons
PG&E	Pacific Gas and Electric Company
PIC	Pacific Improvement Company
PM _{2.5}	fine particulates
PM ₁₀	inhalable particulates
ppb	parts per billion
ppm	parts per million
PRC	Public Resources Code
project	Signal Hill LLC Combined Development Permit
ROG	reactive organic gas
RTP	Regional Transportation Plan
RWQCB	Regional Water Quality Control Board
SB	Senate Bill
SF ₆	sulfur hexafluoride
SHPO	State Historic Preservation Officer
SLOAPCD	San Luis Obispo County Air Pollution Control District
SMARA	Surface Mining and Reclamation Act
SO ₂	sulfur dioxide
SSC	Species of Special Concern
State Parks	State of California Department of Parks and Recreation
SWPPP	Stormwater Pollution Prevention Plan
SWRCB	State Water Resources Control Board
TAMC	Transportation Agency for Monterey County
TMDL	total maximum daily load
U.S.C.	United States Code
UBC	Uniform Building Code

Acronym	Term
USACE	U.S. Army Corps of Engineers
USDA	U.S. Department of Agriculture
USEPA	U.S. Environmental Protection Agency
USFWS	U.S. Fish and Wildlife Service
USGS	U.S. Geological Survey
VOC	volatile organic compounds
WDR	Waste Discharge Report

ERRATA EDITS TO THE EIR

Any edits made to the EIR are shown as strike-through and underline in the FEIR. The following edits are in addition to those edits called out specifically in the Responses to Comments:

Correcting land use and zoning designation references.

- Reference to General Plan designation was more specifically clarified, at section 2.1.2 at the 3rd paragraph, to be the Del Monte Forest Area Land Use Plan designation of Low Density Residential (LDR) and zoning maps from the local coastal implementation Plan.
- Revision and reference to the Del Monte Forest Land Use Plan, the 1982 County of Monterey General Plan, and Title 20 of the Monterey County Code, were added to the Preliminary Screening Analysis for clarity and specificity in Table 5-1, section 5.5, for Alternative 2.

1. Correcting entitlement processing.

Corrections occur in Chapter 2, section 2.4 *Requested Action and Required Permits*. Several bullets were combined and corrected to clarify the subsequent permitting that would be required for the completion of the proposed project.

2. Correcting various minor typographic errors.

Various minor typographic errors were corrected to improve clarity and grammar. For example, in Chapter 2, section 2.3.1.6, “a” and “al” to “though” were corrected, in Chapter 4, section 4.1.1.1, spelling out “Mean Sea Level” instead of using the abbreviation of MSL and in Chapter 4 section 4.1.3.1, adding “il” to “lumination” to correct grammar.

GLOBAL ERRATA IMPLIED BY STATEMENT

Resource Management Agency (RMA) split into Housing and Community Development (HCD) and Public Works, Facilities and Parks Departments in November 2020. The Signal Hill LLC Draft EIR was circulated prior to the reorganization. This global edit was *not* made in the Draft EIR to correct “Resource Management Agency” or “RMA” to “Housing and Community Development” or “HCD”. However, the correct and current name is used in the Responses to Comments. As Mitigation Measures are added to Accela Civic Platform database as Conditions of Approval, RMA will be corrected to HCD.

No significant changes are involved in these clarifications in the Draft EIR that would result in a new or substantially increased environmental impact as a result of the responses to comments, and no significant new information has been added that would require recirculation of the document under State CEQA Guidelines Section 15088.5.

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EXECUTIVE SUMMARY

A. PURPOSE OF THE EIR

The County of Monterey Resource Management Agency – Planning Department (County), serving as the lead agency under the California Environmental Quality Act of 1970 (CEQA), has prepared this Environmental Impact Report (EIR) to assess the impacts that may result from approval of a Combined Development Permit (PLN100338) to allow for the following, which combined comprises the proposed project: (1) demolition of the existing 4,124-square-foot, two-story, single-family residence and removal of the approximately 2,825 square feet of asphalt driveway and concrete patios; (2) construction of a new 11,933-square-foot, two-story (over basement), single-family residence and construction of approximately 1,950 square feet of paved areas; and (3) restoration of approximately 1.67 acres to native dune habitat.

The EIR will be used by the general public and governmental agencies to review and evaluate the environmental effects associated with the project and the potential mitigation measures recommended to address or minimize those effects.

B. PROJECT LOCATION

The project site is located at 1170 Signal Hill Road (Assessor's Parcel Number [APN] 008-261-007-000), within the Spyglass Cypress Planning Area of the Del Monte Forest Area Land Use Plan (LUP), in the unincorporated community of Pebble Beach, Monterey County, California. The 2.2-acre lot is identified as Lot 35 in the El Pescadero RHO subdivision. The project site is located approximately 750 feet southeast of the intersection of 17-Mile Drive and Signal Hill Road (refer to Figures 2-1 and 2-2, Project Vicinity Map and Project Location Map) and is accessed from 17-Mile Drive via Signal Hill Road.

C. PROJECT BACKGROUND

On November 8, 2010, Signal Hill LLC (Applicant) submitted an application to the County for a Combined Development Permit (PLN100338) for the proposed project described above. The Applicant's application was deemed complete by the County on August 13, 2013.

The site is currently developed with a single-family residence designed by eminent southern California architect Richard Neutra, referred to as the Connell House. The residence was built in 1957–1958 and embodies the characteristics of post-war American International Style architecture for which Neutra is noted. The residence was found eligible for listing on the National Register of Historic Places (NRHP) by the California State Historic Preservation Officer (SHPO) on June 13, 2014, and is listed in the California Register of Historic Places (CRHP). Please refer to Section 4.3, Historical Resources, of this EIR for additional information and background regarding the existing residence and its historical significance as determined by SHPO.

In compliance with the State CEQA Guidelines, the County determined that due to potential significant impacts associated with the project, an EIR would be necessary. In accordance with Section (§)15082 of the State CEQA Guidelines, the County prepared and circulated a Notice of Preparation (NOP) of an EIR on February 17, 2015. The NOP was distributed to various federal, state, regional, and local governmental agencies and other interested parties to solicit comments and inform the public of the proposed project. A 30-day NOP public review period ended on March 20, 2015.

D. PROJECT OBJECTIVES

The project objectives of Signal Hill LLC, the Applicant, are as follows:

1. Remove the existing residence and construct a new single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area.
2. Construct a new, high-quality residence that is exemplary of the architectural design skill of recognized Mexican architect Ricardo Legorreta.
3. Restore areas of the project site outside of the construction area to their natural condition and allow for local native animal, insect, and plant life to flourish once again.
4. The overall improvement of the property for the betterment of the Pebble Beach community.

The project objectives of the County, as CEQA lead agency, are as follows:

1. To comply with CEQA by: (1) informing governmental decision makers and the public about the potentially significant environmental impacts of the project; (2) identifying the ways that environmental damage can be avoided or significantly reduced; (3) preventing significant, avoidable damage to the environment by requiring changes in projects through the use of alternatives or mitigation measures when the governmental agency finds the changes to be feasible; and (4) disclosing to the public the reasons why a governmental agency approved the project in the manner the agency chose if significant environmental effects are involved (State CEQA Guidelines §15002).
2. Ensure a planned and balanced approach to development that protects the natural, cultural, historic, and visual resources of the Del Monte Forest.
3. Ensure that the project meets the goals of the County's General Plan and Local Coastal Program (LCP), and is consistent with applicable policies of the Del Monte Forest Area LUP, effective June 22, 2012.

Figure ES-1. Project Vicinity Map



Figure ES-2. Project Location Map



E. PROJECT DESCRIPTION

The Applicant proposes to demolish the existing single-family residence and construct a new single-family residence within the upper, previously disturbed portion of the project site. The Applicant proposes dune habitat restoration throughout the remainder of the site, comprising approximately 1.67 acres. The specific development activities proposed within the 0.55-acre construction area, and the restoration activities proposed within the 1.67-acre dune restoration area, are discussed in further detail below.

1. Demolition

The project includes demolition of the Connell House, an existing 4,125-square-foot residence that includes the original 3,299-square-foot, two-story, single-family residence designed by Neutra, and a small studio addition at the southwest corner of the upper level (added in 1993). The total area of existing impervious surfaces (approximately 7,113 square feet) would be removed. The footprint of the existing structure is shown in Figure 2-3 (refer to Chapter 2, Project Description). Demolition is proposed to occur over approximately 3 to 4 weeks, including removal of all existing structures, foundation, and debris, and rough grading of the building pad. Approximately 2,825 square feet of asphalt driveway and concrete patios would be removed, in addition to the existing landscape irrigation system. All removed materials would be hauled offsite for recycling or disposal at the Monterey Regional Waste Management District facility.

2. New Residence

The project proposes to grade for and construct an 11,933-square-foot residence that would include the following components:

- 5,229-square-foot ground floor/basement level
- 5,426-square-foot first floor
- 1,278-square-foot second floor
- 986-square-foot entry court
- 106-square-foot uncovered terraces
- 858-square-foot driveway

The footprint of the proposed structure is shown in Figure 2-3 and the proposed site plan is shown in Figure 2-4. The proposed residence would be 79 feet wide (east-west orientation) and 142 feet across (north-south orientation). The maximum height of the structure would be 30 feet above average natural grade (130 feet above mean sea level [msl]).

A flat roof is proposed over a majority of the structure; a sloped roof is proposed over the southwest corner of the structure (refer to Figure 2-8, Roof Plan). A paved driveway would provide access from Signal Hill Road. The Applicant does not propose any exposed retaining walls (all retaining walls would be subsurface, associated with the construction of the ground floor/basement, and part of the structure). An enclosed, attached, three-car garage on the first floor would provide onsite parking. No fences or gates are proposed.

F. SIGNIFICANT ENVIRONMENTAL IMPACTS IDENTIFIED

Impacts of the proposed project and alternatives have been classified using the categories described below:

- **Significant, unavoidable, adverse impacts (Class I):** Significant impacts that cannot be fully and effectively mitigated. No measures could be taken to avoid or reduce these adverse effects to insignificant or negligible levels.
- **Significant, but mitigable impacts (Class II):** These impacts are potentially similar in significance to those of Class I, but can be reduced or avoided by the implementation of mitigation measures.
- **Less than significant impacts (Class III):** Mitigation measures may still be required for these impacts as long as there is rough proportionality between the environmental impacts caused by the project and the mitigation measures imposed on the project.

The term “significance” is used throughout the EIR to characterize the magnitude of the projected impact. For the purpose of this EIR, a significant impact is a substantial or potentially substantial change to resources in the local proposed project area or the area adjacent to the proposed project. In the discussions of each issue area, thresholds are identified that are used to distinguish between significant and insignificant impacts. To the extent feasible, distinctions are also made between local and regional significance and short-term versus long-term duration. Where possible, measures have been identified to reduce project impacts to less than significant levels. CEQA requires that public agencies should not approve projects as proposed if there are feasible mitigation measures available which would substantially lessen the environmental effects of such projects (CEQA Statute §21002). Included with each mitigation measure are the plan requirements needed to ensure that the mitigation is included in the plans and construction of the project and the required timing of the action (e.g., prior to development of final construction plans, prior to commencement of construction, prior to operation, etc.).

The impacts and associated mitigation measures are shown in the Summary of Impacts and Mitigation Measures (refer to Table ES-1). The table includes significant impacts, which are identified with an impact number (e.g., AES Impact 1). The table also includes less than significant impacts, which are not identified with an impact number, but are included and summarized in the table for reference.

Each issue area section of the impact summary table describes and classifies each impact, lists recommended mitigation when applicable, and states the level of residual impact (i.e., impact after implementation of mitigation). A brief summary of the key significant impacts and mitigation measures for each issue area is presented below.

1. **Aesthetics.** The proposed residential structure would be seen extending above the primary ridgeline from locations on 17-Mile Drive and Fanshell Beach, which would be inconsistent with County of Monterey visual resources policy and result in a potentially significant impact to the scenic vista. Because of the overall increase in project noticeability caused by the new structures extending above the primary ridgeline combined with its distinctively large size, the project would result in a substantial alteration of visual character as seen from 17-Mile Drive and Fanshell Beach, resulting in a potentially significant impact to the site and surroundings. Visibility of light sources and glow from the proposed residence, and glare from window glass, would potentially

create a new source of light and glare, degrade nighttime dark skies, and adversely affect visual quality.

2. **Biological Resources.** Implementation of the proposed project would require the removal of two Monterey cypress trees and grading in the vicinity of nine additional Monterey cypress trees. The proposed project has potential to impact California legless lizards and coast horned lizards, which are California Species of Special Concern. The proposed project has potential to impact nesting birds that are protected under the Migratory Bird Treaty Act and California Fish and Game Code. The proposed project would result in the permanent loss of 0.39 acre and the temporary disturbance of 1.67 acres of Environmentally Sensitive Habitat Area. Implementation of the proposed project has the potential to impact a 0.13-acre coastal wetland.
3. **Historical Resources.** The project would demolish the Connell House, a significant historical resource. In addition, impacts to historical resources caused by destruction of the Connell House would be cumulatively considerable when considered in conjunction with other recent losses of Neutra commissions throughout the United States, resulting in a significant cumulative impact.
4. **Archaeological Resources.** Ground disturbance (e.g., grading, excavation, vegetation removal, dune rehabilitation activities) associated with the project could result in the disturbance and destruction of unknown archaeological resources. Ground disturbance (e.g., grading, excavation) associated with the project could result in the disturbance of unknown human remains. Impacts to archaeological resources caused by inadvertent damage or destruction of unknown resources would be cumulatively considerable when considered in conjunction with other potential disturbances in the project area.
5. **Geology and Soils.** Implementation of the proposed project could expose people or structures to substantial adverse effects involving seismic hazards. Construction activities and the increase in impervious surfaces as a result of the project would result in increased erosion, loss of topsoil, and the transportation of sediment and/or construction debris off-site during rain events. Implementation of the proposed project would result in on- or offsite landslide, lateral spreading, subsidence, liquefaction, or collapse due to development being sited on potentially unstable soils. The project would be located in an area with low to moderately expansive soils that could cause damage to structures and safety hazards as a result of soil instability.
6. **Hydrology and Water Quality.** During construction, the proposed project would require grading on slopes in excess of 30%, which may result in increased runoff, erosion, and sedimentation associated with soil disturbance, potentially violating water quality standards during construction. After construction, the proposed project would increase impervious surfaces at the project site, potentially increasing the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern. The project would alter the existing drainage pattern both during and following construction, which could contribute to increased erosion and sedimentation on- and off-site. The project would increase impervious surfaces at the site, which would increase stormwater runoff volume and rate compared to existing conditions potentially causing erosion, increased peak flows, and other impacts to the existing drainage pattern.

G. PROJECT ALTERNATIVES

Criteria used to develop a reasonable range of alternatives included the potential to avoid significant impacts and whether or not the considered alternative could generally meet the project objectives. Table ES-1 shows each potential impact and all mitigation measures recommended to avoid or reduce identified impacts of the proposed project. Identified alternatives are summarized below.

1. Alternative 1: Preservation

This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure for single-family occupancy in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The remainder of the parcel would be restored to native dune habitat.

2. Alternative 2: Preservation/Adaptive Reuse

This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure for an adaptive reuse allowed under the Monterey County Zoning Code in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Adaptive reuse refers to the process of reusing a structure for a purpose other than that for which it was built or designed (i.e., for historic documentation and public educational uses [a museum]). The remainder of the parcel would be restored to native dune habitat.

3. Alternative 3: Preservation and Separate Onsite Development

This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Under this alternative, a second single-family residence would be developed at a different location on the project site. The remainder of the parcel would be restored to native dune habitat.

4. Alternative 4: Project Integration

This alternative would include integration of the Connell House into the proposed project. The structure (or portions of the structure) would be retained and integrated into the design of the new construction in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. This alternative would necessitate the following:

- the documentation of primary and secondary character-defining elevations, spaces, and features in order to identify opportunities and constraints for additions and expanded living space; and
- the participation at conceptual, schematic, and design development phases of a qualified architectural historian and/or historic architect.

This alternative could include full or partial project integration. Full integration could include, for example, adding on to the existing structure, adding additional full or partial floors or levels, supplementing additional living space by enclosing the courtyard or outside patio areas, or developing a separate addition to the structure connected by a breezeway or stairs.

Partial integration could include, for example, preserving/reconstructing components in the western, most visible elevation, including the prominent bands of fenestration on the first and second stories, the ground-level terrace, the second-level balcony, the characteristic roofline, and the juxtaposition of transparent and opaque surfaces while all or a portion of the remaining components would be demolished to facilitate construction of the new residence. Other character-defining features of the residence could be preserved, such as the north entry or the exterior façade, while interior portions of the structure would be renovated and remodeled. The remainder of the parcel would be restored to native dune habitat.

5. Alternative 5: Relocation and Preservation

This alternative would include relocating the Connell House to a new location and preserving, repairing, and replacing portions of the structure in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Relocation could occur at an appropriate site in the Del Monte Forest Area, on the Monterey Peninsula, or beyond the Monterey Peninsula. Under this alternative, the proposed single-family residence would be developed as currently designed on the project site but would not require demolition of the Connell House.

6. Alternative 6: Reduced Project

This alternative would include completely demolishing the Connell House, but would reduce the size of the proposed single-family residence. Reductions could include, for example, a reduced footprint to fit within the existing developed footprint at the site and elimination of the upper level from the proposed design. The remainder of the parcel would be restored to native dune habitat.

7. Alternative 7: Neutra-Inspired Redesign

This alternative would include completely demolishing the Connell House, but would redesign the proposed single-family residence to echo Richard Neutra's design for the new development. The remainder of the parcel would be restored to native dune habitat.

8. Alternative 8: Salvaged Reuse Integration

This alternative would include completely demolishing the Connell House, but would reuse salvaged elements from the Connell House as fragments integrated into the design of the new single-family residence. The remainder of the parcel would be restored to native dune habitat.

9. Alternative 9: Reduced Height

This alternative would include completely demolishing the Connell House, and would reduce the maximum height of the proposed single-family residence structure by 5 feet, from 30 feet above average natural grade (130 feet above msl) to 25 feet above natural grade (125 feet above msl). The remainder of the parcel would be restored to native dune habitat.

The Reduced Height Alternative was proposed by the project applicant as an alternative project design to minimize visual impacts associated with the proposed project extending above the ridgeline. The Reduced Height Alternative project plans are included and discussed in detail in Section 5.6.3, Alternative 6: Reduced Project, of Chapter 5, Alternatives Analysis.

10. No Project Alternative

This alternative would maintain existing conditions at the project site. No demolition, preservation/reconstruction, or dune restoration activities would occur.

H. ENVIRONMENTALLY SUPERIOR ALTERNATIVE

CEQA requires the alternatives section of an EIR to describe a reasonable range of alternatives to the project that avoid or substantially lessen any of the significant effects identified in the EIR analysis while still attaining most of the basic project objectives. The alternative that most effectively reduces impacts while meeting project objectives should be considered the “environmentally superior alternative.” In the event that the No Project Alternative is considered the environmentally superior alternative, the EIR should identify an environmentally superior alternative among the other alternatives.

Based on the alternatives analysis and comparison of impacts in Chapter 5, Alternatives Analysis, the Preservation Alternative is the Environmentally Superior Alternative. The Preservation Alternative would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources. The Preservation Alternative would meet most of the Applicant’s identified project objectives, including providing a single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area; restoration of areas to their natural condition; and overall improvement of the property for the betterment of the Pebble Beach community.

The decision-making body will consider the whole of the record when considering the proposed project including, but not limited to, public comment and testimony related to the size and design of the residence. The decision-making body may select the project as proposed, an Alternative, or a specified combination of particular elements identified in the Alternatives, as the approved project. In all scenarios, the Mitigation Monitoring and Reporting Program (MMRP) would be applied to the approved project.

Table ES-1. Summary of Impacts and Mitigation Measures

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
<i>Aesthetic Resources</i>		
<p>AES Impact 1 The proposed residential structure would be seen extending above the primary ridgeline from locations on 17-Mile Drive and Fanshell Beach, which would be inconsistent with County of Monterey visual resources policy and result in a potentially significant impact to the scenic vista.</p>	<p>AES/mm-1.1 The maximum height of the residential structure shall be reduced to not exceed 20 feet above the average natural grade as defined in the project plan elevations dated October 21, 2011. Revised plans reflecting compliance with this measure shall be submitted to the County of Monterey Resource Management Agency – Planning Department for review and approval prior to issuance of demolition, grading, or construction permits.</p> <p>AES/mma-1.1.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department revised plans reflecting compliance with this measure.</i></p>	<p>Less than significant with mitigation (Class II)</p>
<p>AES Impact 2 Because of the overall increase in project noticeability caused by the new structures extending above the primary ridgeline combined with its distinctively large size, the project would result in a substantial alteration of visual character as seen from 17-Mile Drive and Fanshell Beach, resulting in a potentially significant impact to the site and surroundings.</p>	<p>Implement AES/mm-1.1, AES/mma-1.1.1, BIO/mm-3.1, BIO/mma3.1.1, BIO/mm-3.2, BIO/mma-3.2.1, BIO/mm-3.3, and BIO/mma 3.3.1.</p>	<p>Less than significant with mitigation (Class II)</p>
<p>AES Impact 3 Visibility of light sources and glow from the proposed residence, and glare from window glass, would potentially create a new source of light and glare, degrade nighttime dark skies, and adversely affect visual quality resulting in a significant impact to the surroundings.</p>	<p>AES/mm-3.1 The applicant shall submit an exterior lighting plan to the County of Monterey Resource Management Agency – Planning Department for review and approval. The lighting plan shall be prepared using guidance and best practices endorsed by the International Dark Sky Association and shall comply with Title 24 lighting requirements. The lighting plan shall include the following:</p> <ul style="list-style-type: none"> a. All exterior point-source lighting shall be directed downward and fully shielded from off-site views. b. Exterior lighting shall be designed so that it does not focus illumination onto exterior walls or the hillside on or adjacent to the proposed development. c. Any security lighting installed on the property shall be equipped with motion detectors to prevent the illumination from remaining on. 	<p>Less than significant with mitigation (Class II)</p>

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
<ul style="list-style-type: none"> d. No reflective coatings shall be used on exterior south, west, and southwest facing windows. e. All windows visible from 17-Mile Drive, Signal Hill Road, or other surrounding public areas shall be constructed of electrochromic glass to minimize visibility at night. The electrochromic glass will be visually transparent during the daytime and will become darker and translucent at night to avoid a “lighthouse effect.” 	<p>AES/mma-3.1.1 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department an exterior lighting plan reflecting compliance with this measure.</p>	
Biological Resources		
BIO Impact 1	<p>BIO/mm-1.1 The applicant shall submit a Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency for review and approval by the Director of Planning. The plan shall be prepared by a licensed arborist and provide for the installation, maintenance, and monitoring of four 36-inch box Monterey cypress trees to ensure all removed Monterey cypress trees are replaced on site at a 2:1 ratio.</p> <p>The Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan shall include provisions for the installation and maintenance of the replacement trees to be monitored by a qualified arborist. The arborist shall monitor the health and vigor of the replacement trees for a minimum of 3 years following installation. If at any time, the arborist determines that the replacement trees are in poor vigor, the arborist will recommend management actions to remedy the concerns. The applicant or applicant’s representative shall implement the arborist recommendation(s) within 1 month of receiving the recommendation. If any replacement tree(s) die, the applicant shall replace the tree(s) at a 1:1 ratio per the arborist’s recommendation. Each replacement tree shall be monitored by the arborist for a minimum of 3 years following the tree installation date.</p> <p>The plan shall identify the Critical Root Zone for all Monterey cypress trees at the project site that will remain in place. In addition, the plan shall provide for the installation of tree protection measures around the trees to remain. Tree protection measures may include installation of temporary fencing and/or straw bale barricades in the trees’ Critical Root Zone, as identified by</p>	<p>Less than significant with mitigation (Class II)</p>
<p>Implementation of the proposed project would require the removal of two Monterey cypress trees and grading in the vicinity of nine additional Monterey cypress trees, resulting in a potentially significant impact.</p>		

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>the arborist. All replacement trees and tree protection measures must be clearly shown on the project construction and landscape plans.</p> <p>If root pruning within a tree's Critical Root Zone is necessary, root pruning shall be performed by the monitoring arborist or skilled labor at the direction of the monitoring arborist per the approved Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p> <p>BIO/mma-1.1.1 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency – Planning Department for review and approval.</p> <p>BIO/mma-1.1.2 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit photographic evidence and a letter from a qualified arborist verifying that tree protection measures have been installed as recommended in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency.</p> <p>BIO/mma-1.1.3 During construction, a County of Monterey-approved arborist shall be on-site to monitor any grading activities that occur within the Critical Root Zone of trees to remain in place per the approved Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p> <p>BIO/mma-1.1.4 Prior to final inspection, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department photographic evidence and a letter from a qualified arborist verifying that replacement trees have been planted as specified in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p> <p>BIO/mma-1.1.5 After replacement planting has been completed, the applicant shall submit to the Monterey County Resource Management Agency – Planning Department reports from the arborist detailing the results of the monitoring efforts and the status of the trees. Reports shall be submitted on a yearly basis or as specified in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p>	
<p>BIO Impact 2</p> <p>The proposed project has potential to impact California legless lizards and coast horned lizards that are considered to be California Species of Special Concern. The proposed project has</p>	<p>BIO/mm-2.1 Prior to issuance of demolition, grading, or construction permits, the applicant shall enter into a funding agreement with County of Monterey Resource Management Agency – Planning Department to fund, and the County of Monterey shall retain, an environmental monitor for all</p>	<p>Less than significant with mitigation (Class II)</p>

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
<p>potential to impact nesting birds that are protected under the Migratory Bird Treaty Act and California Fish and Game Code. These impacts are potentially significant.</p>	<p>measures requiring environmental mitigation to ensure compliance with the Environmental Impact Report mitigation measures. The monitor shall be granted unlimited access to the project site in accordance with timelines specified in Environmental Impact Report mitigation measures and shall be responsible for:</p> <ul style="list-style-type: none"> a. ensuring that procedures for verifying compliance with environmental mitigations are implemented; b. establishing lines of communication and reporting methods; c. conducting weekly compliance visits and reporting; d. conducting construction crew training regarding environmentally sensitive habitat areas and special-status species; and, e. outlining actions to be taken in the event of non-compliance. <p>Unless otherwise specified in applicable mitigation measures, monitoring shall be conducted weekly during residential demolition and construction and monthly following completion of the residential development and into the first year of the habitat restoration program. Additional monitoring visits may occur based on findings from these monitoring actions.</p> <p>BIO/mma-2.1.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall enter into an agreement with the County of Monterey to finance the County’s contract with an environmental monitor.</i></p> <p>BIO/mm-2.2 Prior to commencement of demolition, site grading, or vegetation removal, the environmental monitor shall conduct an environmental awareness training for all construction and habitat restoration personnel. The environmental awareness training shall include discussions of the California legless lizards, coast horned lizards, and nesting birds that may occur in the project area. The training shall include: a description of the species and their habitats; general provisions and protections afforded by the California Environmental Quality Act and Migratory Bird Treaty Act; measures implemented to protect the species; review of the project boundaries and special conditions; the monitor’s role in project activities; lines of communication; and procedures to be implemented in the event a special-status species is observed in the work area. The environmental training shall include distribution of an environmental training brochure, and collection of signatures from all attendees acknowledging their participation in the training. Subsequent trainings shall be provided by the environmental monitor as needed for additional construction or restoration operations workers throughout the duration of project construction and restoration.</p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>BIO/mma-2.2.1 <i>Prior to commencement of demolition, site grading, or vegetation removal, the environmental monitor shall submit to the County a collection of signatures from all construction and habitat restoration personnel acknowledging their participation in the environmental awareness training.</i></p> <p>BIO/mm-2.3 Within 30 days prior to any structure demolition and site grading within the construction footprint, the environmental monitor shall conduct surveys for California legless lizards and other reptiles. The surveyor shall utilize hand search methods in areas of planned disturbance where legless lizards and other reptiles are expected to be found (e.g., under shrubs and ice plant, against the residence foundation, or under debris). If a California legless lizard, coast horned lizard, or other native reptiles are observed, the surveyor shall capture the individual(s) from the disturbance area and relocate the individual(s) into suitable habitat in the dune scrub restoration area. Care shall be taken to identify habitat in the restoration area that is dominated by native plant species.</p> <p>The environmental monitor shall be present during site grading activities to walk behind the grading equipment and capture native reptiles that were overlooked during the pre-disturbance survey and are unearthed by the equipment. The surveyor shall capture and relocate any legless lizards, coast horned lizards, or other native reptiles observed. The captured individuals shall be removed from the disturbance area and placed in suitable habitat within native plant species on the parcel but outside of the development area.</p> <p>BIO/mma-2.3.1 <i>Within 30 days prior to any structure demolition and site grading within the construction footprint, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a letter from the environmental monitor detailing the results of the surveys.</i></p> <p>BIO/mm-2.4 It is anticipated that legless lizards and other reptiles will be encountered during the invasive species removal efforts that will be conducted under the Dune Restoration Plan. The proposed Dune Restoration Plan provides best management practices designed to minimize impacts to legless lizards during implementation of the plan. The proposed best management practices shall be implemented. In addition, at least one member of the habitat restoration crew shall be qualified to recognize, capture, and relocate any California legless lizards, coast horned lizards, and other reptiles that may be encountered during invasive species removal efforts in the dune scrub restoration area. The qualified individual shall be on-site during all invasive species removal efforts. If a native reptile is</p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>observed during the vegetation removal, the individual shall be captured and relocated to suitable habitat away from the vegetation removal. Care shall be taken to place the lizard(s) among native plant species.</p> <p>The proposed Dune Restoration Plan includes a monitoring and reporting schedule. The species and amounts of reptiles captured and relocated shall be documented in the monitoring reports that will be submitted to the County of Monterey. In the event that a special-status species is observed, the monitoring biologist shall submit a California Natural Diversity Database report of the sighting to the California Department of Fish and Wildlife.</p> <p>BIO/mma-2.4.1 <i>Prior to invasive species removal efforts, the applicant shall provide the County of Monterey Resource Management Agency – Planning Department notification identifying the qualified specialist designated to identify, capture, and relocate legless lizard or other reptiles encountered during implementation of the Dune Restoration Plan.</i></p> <p>BIO/mm-2.5 Demolition, construction, and grading activities shall be timed to avoid the nesting season to the extent feasible. If any demolition, construction or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall conduct a nesting bird survey and verify that migratory birds are not occupying the disturbance area. If nesting activity is detected, the following measures should be implemented:</p> <ul style="list-style-type: none"> a. The monitor shall determine whether it is appropriate to establish a 500-foot no work buffer around any raptor or special-status species nest and shall establish a 100-foot no work buffer around any common passerine species nest. If appropriate, the monitor has the discretion to require that no work may occur in the buffer zone while the nest is active. b. If adhering to the established buffer zone is not feasible or other unique circumstances exist, the monitor may contact the California Department of Fish and Wildlife to establish a reduced buffer area and monitoring protocol for work to continue in the buffer zone. The monitor shall document all active nests and submit a letter report to the County of Monterey and California Department of Fish and Wildlife, documenting project compliance with the Migratory Bird Treaty Act and applicable project mitigation measures. <p>BIO/mma-2.5.1 <i>If any demolition, construction or grading activities occur during the typical nesting bird season (March 1 through September 30), the</i></p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
BIO Impact 3	<p><i>environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department detailing the project’s compliance with this measure. If no demolition, construction or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department confirming implementation of this measure is not necessary.</i></p> <p>BIO/mm-2.6 Vegetation removal activities associated with the Dune Restoration Plan have the potential to disturb nesting passerines. If an active bird nest is encountered during invasive plant species removal efforts, the monitoring biologist shall establish a 100-foot radius buffer around the nest site. No vegetation removal activities (including herbicide applications) shall occur within the 100-foot buffer. Invasive species removal efforts may continue after the monitoring biologist confirms that the nest is no longer active.</p> <p>BIO/mma-2.6.1 <i>If an active bird nest is encountered during invasive plant species removal efforts, the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department detailing the project’s compliance with this measure. If no active bird nest is encountered during invasive plant species removal efforts, the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department confirming implementation of this measure is not necessary.</i></p>	Less than significant with mitigation (Class II)
The proposed project would result in the permanent loss of 0.39 acre and the temporary disturbance of 1.67 acres of Environmentally Sensitive Habitat Area, resulting in a potentially significant impact.	<p>BIO/mm-3.1 Prior to issuance of demolition, grading, or construction permits, and consistent with Del Monte Forest Land Use Plan Environmentally Sensitive Habitat Area Policies 13 and 17, the applicant shall permanently protect all Environmentally Sensitive Habitat Areas located outside the construction area by establishing deed restrictions or a permanent open space conservation and scenic easement to be granted to the Del Monte Forest Foundation. The deed restrictions/easement shall encompass the approximately 1.67 acres proposed for dune scrub restoration shown in Figures 2-3 and 4.2-2. The restrictions shall designate the easement area as a native dune scrub restoration area and Environmentally Sensitive Habitat Area, where only habitat restoration and other resource dependent uses are permitted. The only deviations from such restrictions may be to repair existing sewer cleanouts and associated sewer pipes that are located in the area. The deed restrictions shall require any future work on the sewer cleanouts and associated piping to be monitored</p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>by a qualified biologist and all disturbance areas to be restored to central dune scrub habitat per the specifications put forth in the applicant's Dune Restoration Plan.</p> <p>BIO/mma-3.1.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a recorded easement reflecting compliance with this measure.</i></p> <p>BIO/mm-3.2 The Applicant shall submit a bond to the County of Monterey Resource Management Agency – Planning Department for an amount determined by the County of Monterey to be sufficient to cover the estimated cost of planting and establishing the proposed 1.67-acre habitat restoration area. The bond shall be held for a minimum of 5 years and shall be extended if necessary and shall not be terminated until the Dune Restoration Plan has been deemed successfully completed to ensure the successful establishment and maintenance of the habitat restoration.</p> <p>BIO/mma-3.2.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department appropriate documentation reflecting compliance with this measure.</i></p> <p>BIO/mm-3.3 The Applicant shall enter into a contract with a qualified professional for the purpose of monitoring the success of the habitat restoration area. At a minimum, the monitoring contract shall include a requirement that the monitor conduct an annual site visit and assessment of the restoration success for 5 years. At the end of the 5-year monitoring period, the monitor shall prepare a monitoring report, which shall be submitted to the Monterey County Resource Management Agency – Planning Department for approval and shall be used as a determining factor in assessing the successful establishment of the restoration as it relates to the bond posted by the applicant.</p> <p>BIO/mma-3.3.1 <i>Prior to finalization of building permits and occupancy, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a contract with a qualified professional reflecting compliance with this measure.</i></p> <p>BIO/mm-3.4 Prior to issuance of demolition, grading, or construction permits, all demolition, grading, and construction plans shall clearly show the location of project delineation fencing that excludes adjacent Environmentally Sensitive Habitat Area from disturbance. Immediately prior to construction, the project site shall be clearly fenced so that the contractor</p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>is aware of the limits of allowable site access and disturbance. The fencing shall consist of highly visible construction fence supported by steel T stakes that are driven into the soil. The environmental monitor shall field-fit the placement of the project delineation fencing to minimize impacts to adjacent Environmentally Sensitive Habitat Area and other sensitive resources. The project delineation fencing shall remain in place and functional throughout the duration of the project construction and landscaping activities. All disturbances except habitat restoration activities shall be prohibited outside of the delineated construction area.</p> <p>BIO/mma-3.4.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department showing compliance with this measure.</i></p> <p>BIO/mma-3.4.2 <i>Throughout the duration of construction activities, the environmental monitor shall provide monthly monitoring reports to the County of Monterey Resource Management Agency – Planning Department reflecting compliance with this measure.</i></p> <p>BIO/mm-3.5 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit demolition, grading, and construction plans that identify all stockpile and construction staging areas, which shall be located within the construction area and outside the adjacent dune restoration area. Stockpiles and staging areas shall not be placed in areas that have potential to experience significant runoff during the rainy season. All project-related spills of hazardous materials within or adjacent to the project site shall be cleaned up immediately. Spill prevention and cleanup materials shall be onsite at all times during project construction. Cleaning and refueling of equipment and vehicles shall occur only within designated staging areas. The staging areas shall conform to current Best Management Practices applicable to attaining zero discharge of stormwater runoff. No maintenance, cleaning, or refueling shall occur within 50 feet of the dune restoration area. At a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and to avoid potential leaks and spills. The grading plan shall be subject to review and approval by the County of Monterey Resource Management Agency.</p> <p>BIO/mma-3.5.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department for review and approval.</i></p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>BIO/mma-3.5.2 Throughout the duration of construction activities, the environmental monitor shall provide monthly monitoring reports to the County of Monterey Resource Management Agency – Planning Department reflecting compliance with this measure.</p>	
	<p>BIO/mm-3.6 Prior to issuance of demolition, grading, or construction permits, project plans shall be submitted that do not include any rain gutter outfall or other stormwater or wastewater outfall that directs concentrated flows capable of eroding the sand dune substrates in the adjacent Environmentally Sensitive Habitat Area, consistent with Del Monte Forest Area Land Use Plan Environmentally Sensitive Habitat Area Policy 8.</p>	
	<p>BIO/mma-3.6.1 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department for review and approval, reflecting compliance with current Post-construction Stormwater Management requirements and demonstrating that stormwater and wastewater outfalls will not concentrate flows to sand dune substrates adjacent to Environmentally Sensitive Habitat Areas.</p>	
	<p>BIO/mm-3.7 Prior to issuance of demolition, grading, or construction permits, project landscape plans shall be revised and resubmitted to the County of Monterey Resource Management Agency for review and approval that clearly list all plant species to be planted and/or seeded in the landscape areas. The listed plant species shall be drought tolerant, and the landscape materials shall not include any plant species that is identified on the most recent version of the California Invasive Plant Council Invasive Plant Inventory. All listed plant species shall be appropriate for the dune habitat in the Del Monte Forest area. Examples of appropriate species include but are not limited to the following: All species included on the applicant submitted Dune Restoration Plans (Ballerini 2015, page 2; Zander 2012, Page 5), dune lupine (<i>Lupinus chamissonis</i>), Monterey cypress (<i>Hesperocyparis macrocarpa</i>), Monterey pine (<i>Pinus radiata</i>), California saltbush (<i>Atriplex californica</i>), dune sedge (<i>Carex pansa</i>), Pt. Reyes Ceanothus (<i>Ceanothus gloriosus gloriosus</i>), San Luis Obispo ceanothus (<i>Ceanothus maritimus</i>), California croton (<i>Croton californicus</i>), California brittlebush (<i>Encelia californica</i>), leafy daisy (<i>Erigeron foliosus</i>), coastal buckwheat (<i>Eriogonum cinereum</i>), island wallflower (<i>Erysimum insulare</i>), California poppy (<i>Eschscholzia californica maritima</i>), gumweed (<i>Grindelia stricta</i>), wedge leaf horkelia (<i>Horkelia cuneata</i>), cardinal monkeyflower (<i>Mimulus cardinalis</i>), crisp monardella (<i>Monardella undulata</i> ssp. <i>crispa</i>), and black sage (<i>Salvia mellifera</i>). Other dune appropriate species shall</p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>include those listed in the San Francisco Bay Conservation and Development Commission's publication "Shoreline Plants: A Landscape Guide for the San Francisco Bay Area" (pages 18 through 33).</p> <p>BIO/mma-3.7.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project landscape plans to the County of Monterey Resource Management Agency – Planning Department for review and approval that clearly list all plant species to be planted and/or seeded in the landscape areas.</i></p> <p>BIO/mm-3.8 Prior to issuance of demolition, grading, or construction permits, the landscape plans shall specify that the use of imported soils for amendment in the landscape areas is prohibited. The native sand dune substrates shall be retained in the landscape area and dune appropriate species shall be utilized in the landscaping.</p> <p>BIO/mma-3.8.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised landscape plans that reflect compliance with this measure.</i></p> <p>BIO/mm-3.9 <u>Prior to the issuance of a building or grading permit, the applicant/owner shall submit to HCD-Planning for review and approval an offsite dune habitat restoration plan that provides for restoration of dune habitat within the Asilomar Dunes system at a ratio of 1:1 for any new dune habitat coverage over existing conditions (i.e., for any new areas of the site that are being converted from dune habitat to residential uses). The plan shall clearly identify each type of new dune habitat coverage (structural and non-structural) in site plan view with accompanying square footage calculations.</u></p> <p><u>In lieu of providing for off-site dune habitat restoration, the applicant/owner may provide prior to permit issuance a dune restoration payment of \$2.40 per square foot, or the rate reflected in the current Fee Schedule for the Environmental Enhancement Fund, for the calculated square footage of new dune habitat coverage beyond existing conditions to be used for the sole purpose of financing dune habitat restoration and maintenance within the Asilomar Dunes system. The applicant/owner shall submit evidence of the calculation of square footage based on the construction permit design (anticipated to be equivalent to 7,840 square feet) and a receipt that indicates the total amount has been deposited into an interest-bearing account to be established and managed by one of the following entities as approved by the HCD-Planning Department: the City of Pacific Grove, Monterey County, or the California Department of Parks and Recreation.</u></p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
BIO Impact 4	<p><u>All of the funds and any accrued interest shall be used for the above-stated purpose.</u></p> <p><u>BIO/mma-3.9.1 If the applicant/owner opts to directly provide off-site dune habitat restoration, prior to issuance of construction permits, the applicant/owner shall provide to HCD-Planning for review and approval the proposed restoration plan and the location and permissions required for it to be implemented. Prior to building final inspection, applicant/owner shall provide evidence to HCD-Planning for review and approval that the approved off-site restoration has been implemented by a County-approved biologist. If applicant/owner opts to pay in-lieu fees, prior to issuance of construction permits, the applicant/owner shall submit receipt(s) that reflect compliance with this measure.</u></p>	Less than significant with mitigation (Class II)
Implementation of the proposed project has the potential to impact a 0.13-acre coastal wetland, resulting in a potentially significant impact.	<p>BIO/mm-4.1 Project plans shall be revised to clearly show a minimum 100-foot setback and buffer zone between the project construction area (including all areas proposed for demolition, construction, staging, or landscaping) and the edge of the <i>Juncus articus</i> (var. <i>balticus</i>, <i>mexicanus</i>) Herbaceous Alliance vegetation, as shown in Figure 4.2-1 of the EIR.</p> <p>BIO/mma-4.1.1 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department demonstrating compliance with this measure.</p> <p>BIO/mm-4.2 Prior to initiating the proposed dune scrub restoration activities, the environmental monitor shall flag the perimeter of the coastal wetland. Application of herbicides shall be prohibited within 25 feet of the coastal wetland. No removal of Mexican rush shall be permitted, and any vegetation removal efforts within 25 feet of the coastal wetland shall be implemented by hand.</p> <p>BIO/mma-4.2.1 Prior to initiating the proposed dune scrub restoration activities, the environmental monitor contracted by the County shall submit a letter report detailing the project’s compliance with this measure.</p> <p>BIO/mma-4.2.2 Throughout the duration of construction activities, the environmental monitor shall submit regular (weekly) monitoring reports demonstrating compliance with this measure.</p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
Historical Resources		
HR Impact 1 The project would demolish the Connell House, a significant historical resource, resulting in a significant impact.	HR/mm-1.1 Prior to issuance of the demolition, grading, or construction permits and subsequent to repair and restoration of ongoing vandalism and degradation, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department for review and approval a recordation of the Connell House per the most recent guidelines of the Historic American Buildings Survey (HABS). Where baseline conditions are no longer in existence and have not been repaired, original features and materials shall be restored, with the use of documentary evidence, in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. The documentation package shall include measured drawings; written and oral histories, including historic context and statement of significance; written architectural description; bibliographic materials; large-format, black-and-white photographs; and relevant related information. The original documentation shall be submitted to the HABS office in Washington, D.C., for deposit in the Library of Congress. Copies of the documentation package shall be offered to the Pebble Beach Company Lagorio Archives; Monterey Public Library (California Room); Monterey County Historical Society; Richard Neutra archives at the UCLA Charles E. Young Research Library, Syracuse University Library, and Columbia University Avery Architectural and Fine Arts Library; and Northwest Information Center at Sonoma State University, Rohnert Park. An individual or team meeting the Secretary of the Interior’s Professional Qualifications Standards (36 CFR Part 61) shall be retained to oversee the return of the property to baseline conditions in accordance with the Secretary of the Interior’s Standards and to prepare the HABS materials. In the event that restoration is not possible, recordation shall still be required in accordance with the Secretary of the Interior’s Standards to the greatest extent feasible. HR/mma-1.1.1 <i>Prior to issuance of the demolition, grading, or construction permits, the applicant shall submit a recordation of the Connell House per the most recent guidelines of the Historic American Buildings Survey (HABS) to the County of Monterey Resource Management Agency – Planning Department to demonstrate compliance with this measure.</i> HR/mm-1.2 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit for review and approval to the County of Monterey Resource Management Agency – Planning Department, and a	Significant and unavoidable (Class I)

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
HR Impact 2	<p>designated host organization (e.g., Monterey County Historical Society or Pebble Beach Company), electronic information in a web-based format for use in creating a web page documenting the Connell House. Prior to starting the gathering of this information, the applicant shall work with a qualified professional to create a scope of work for the educational materials to be developed, and the scope of work shall be provided to the Monterey County Historic Resources Review Board for review and approval. The web page shall document the house, its history, and features, at baseline conditions. The web page shall include, but not be limited to, a video tour of the Connell House to be completed prior to any demolition; photographs; architectural drawings; current and historic photographs; and background material such as oral histories with individuals with knowledge of the Connell House.</p> <p>An individual or team meeting the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61) shall be retained to prepare the web page content. The web page shall be operational no later than 1 year following issuance of project permits.</p> <p>HR/mma-1.2.1 <i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit educational information documenting the Connell House to the County of Monterey Resource Management Agency – Planning Department for incorporation into a web page documenting the Connell House.</i></p>	Significant and unavoidable (Class I)
<p>Impacts to historical resources caused by destruction of the Connell House would be cumulatively considerable when considered in conjunction with other recent losses of Neutra commissions throughout the United States, resulting in a significant cumulative impact.</p>	Implement HR/mm-1.1, HR/mma-1.1.1, HR/mm-1.2, and HR/mma-1.2.1.	
Archaeological Resources		
AR Impact 1	<p>AR/mm-1.1 Prior to commencement of any demolition, site grading, or vegetation removal activities, the applicant shall verify that all contractors/employees involved in ground disturbing and vegetation removal activities have received training from a qualified archaeologist. The training shall address the following issues:</p> <ol style="list-style-type: none"> a. Review the types of archaeological artifacts and resources that may be uncovered; 	Less than significant with mitigation (Class II)
<p>Ground disturbance (e.g., grading, excavation, vegetation removal, dune rehabilitation activities) associated with the project could result in the disturbance and destruction of unknown archeological resources, resulting in a significant impact.</p>		

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<ul style="list-style-type: none">b. Provide examples of common archaeological artifacts and resources to examine;c. Review what makes an archaeological resource significant to archaeologists, and local Native Americans;d. Describe procedures for notifying involved or interested parties in case of a new discovery;e. Describe reporting requirements and responsibilities of construction personnel;f. Review procedures that shall be used to record, evaluate, and mitigate new discoveries; and,g. Describe procedures that would be followed in the case of discovery of disturbed as well as intact human burials and burial-associated artifacts.	
	<p>AR/mma-1.1.1 <i>Prior to commencement of any demolition, site grading, or vegetation removal activities, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a signed letter by a qualified archaeologist reporting the date of training and a list of names and signatures of those in attendance.</i></p>	
	<p>AR/mm-1.2 Prior to issuance of grading and construction permits, the applicant shall submit an Archaeological Monitoring Plan to the County of Monterey Resource Management Agency – Planning Department for review and approval. The Plan shall be prepared by a qualified archaeologist and reviewed and updated as needed in the event of project alterations or amendments. The plan shall include, at minimum:</p> <ul style="list-style-type: none">a. List of personnel involved in the monitoring activities;b. Description of the types of project activities requiring monitoring;c. Description of how the monitoring shall occur;d. Description of monitoring frequency;e. Description of resources expected to be encountered;f. Description of circumstances that would result in a diversion or stopping of work activities in the case of discovery at the project site;	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
<ul style="list-style-type: none"> g. Description of procedures for diverting or stopping work on the site and notification procedures, including contacting the Ohlone/Costanoan-Esselen Nation (OCEN) Tribal Council; h. Procedures for developing a strategy in consultation with the OCEN Tribal Council if resources are discovered for either return to the Tribe or reburial; and, i. Description of monitoring reporting procedures, as applicable to each identified project component. 	<p>AR/mma-1.2.1 <i>Prior to issuance of grading and construction permits, the applicant shall submit an Archaeological Plan prepared by a qualified archaeologist to the County of Monterey Resource Management Agency – Planning Department for review and approval.</i></p> <p>AR/mm-1.3 At a minimum, a County of Monterey Resource Management Agency – Planning Department-approved archaeological monitor shall be present during initial ground disturbing construction and vegetation removal activities, and as further described in the approved Archaeological Monitoring Plan, until it is deemed the potential for encountering unknown archaeological resources is negligible.</p> <p>AR/mma-1.3.1 <i>Upon completion of all monitoring and mitigation activities required by AR/mm-1.1 through AR/mm-1.3, and prior to final inspection or occupancy, whichever occurs first, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department, a report summarizing all monitoring and mitigation activities and confirming that all recommended mitigation measures have been met.</i></p>	<p>Less than significant with mitigation (Class II)</p>
<p>AR Impact 2</p> <p>Ground disturbance (e.g., grading, excavation) associated with the project could result in the disturbance of unknown human remains, resulting in a significant impact.</p>	<p>AR/mm-2.1 The following measure shall be incorporated into the Archaeological Monitoring Plan, and noted on all grading and construction plans:</p> <ul style="list-style-type: none"> a. If human remains are exposed during construction, the applicant shall notify the Monterey County Resource Management Agency – Planning Department immediately and comply with State Health and Safety Code Section 7050.5, which requires that no further disturbance shall occur until the County Coroner has been notified and can make the necessary findings as to origin and disposition of the remains pursuant to Public Resources Code Section 5097.98. Construction shall halt in the area of the discovery of human 	<p>Less than significant with mitigation (Class II)</p>

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	remains, the area shall be protected, and consultation and treatment shall occur as prescribed by law.	
	AR/mma-2.1.1 Prior to issuance of grading and construction permits, the applicant shall submit the Archaeological Plan prepared by a qualified archaeologist to the County of Monterey Resource Management Agency – Planning Department to establish compliance with this measure.	
AR Impact 3	Implement AR/mm-1.1, AR/mma-1.1.1, AR/mm-1.2, AR/mma-1.2.1, AR/mm-1.3, and AR/mma-1.3.1.	Less than significant with mitigation (Class II)
Ground disturbance (e.g., grading, excavation) associated with the project could result in the disturbance of unknown tribal cultural resources, resulting in a significant impact.		
AR Impact 4	Implement AR/mm-1.1, AR/mma-1.1.1, AR/mm-1.2, AR/mma-1.2.1, AR/mm-1.3, AR/mm-2.1, and AR/mma-2.1.1.	Less than significant with mitigation (Class II)
Impacts to archaeological resources caused by inadvertent damage or destruction of unknown resources would be cumulatively considerable when considered in conjunction with other potential disturbances in the project area, resulting in a significant cumulative impact.		
Geology and Soils		
GEO Impact 1	GEO/mm-1.1 The project shall be designed to meet or exceed all applicable requirements of the California Building Standards Code. The Applicant shall ensure that all design and construction recommendations provided by Cleary Consultants, Inc. (2010) in the geotechnical study are included on construction specifications and implemented during construction of the proposed project. Prior to issuance of the Combined Development Permit, the Applicant shall submit to the County of Monterey Resource Management Agency – Planning Department, for review and approval, grading and engineering plans that are consistent with this measure. GEO/mma-1.1.1 The Applicant shall submit grading and engineering plans consistent with this measure to the County of Monterey Resource Management Agency – Planning Department for review and approval to establish compliance with this measure.	Less than significant with mitigation (Class II)
Implementation of the proposed project could expose people or structures to substantial adverse effects involving seismic hazards, resulting in a potentially significant impact.		

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
<p>GEO Impact 2</p> <p>Construction activities and the increase in impervious surfaces as a result of the project would result in increased erosion, loss of topsoil, and the transportation of sediment and/or construction debris off-site during rain events, resulting in a potentially significant impact.</p>	<p>Implement GEO/mm-1.1, GEO/mma-1.1.1, HYD/mm-1.1, HYD/mma-1.1.1, HYD/mm-2.1, and HYD/mma-2.1.1.</p>	<p>Less than significant with mitigation (Class II)</p>
<p>GEO Impact 3</p> <p>Implementation of the proposed project would result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse due to development being sited on potentially unstable soils.</p>	<p>Implement GEO/mm-1.1 and GEO/mma-1.1.1.</p>	<p>Less than significant with mitigation (Class II)</p>
<p>GEO Impact 4</p> <p>The project would be located in an area with low to moderately expansive soils that could cause damage to structures and safety hazards as a result of soil instability, resulting in a potentially significant impact.</p>	<p>Implement GEO/mm-1.1 and GEO/mma-1.1.1.</p>	<p>Less than significant with mitigation (Class II)</p>
<p>Hydrology and Water Quality</p>		
<p>HYD Impact 1</p> <p>During construction, the proposed project would require grading on slopes in excess of 30%, which may result in increased runoff, erosion, and sedimentation associated with soil disturbance, potentially violating water quality standards during construction, resulting in a potentially significant impact.</p>	<p>HYD/mm-1.1 Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit an erosion control plan to the County of Monterey Resource Management Agency for review and approval.</p> <p>All identified erosion control measures shall be in place prior to the start of construction. The County of Monterey Resource Management Agency shall periodically conduct subsequent inspections of the site throughout the duration of construction, including prior to the start of construction and prior to and after any significant storm events, to ensure the following:</p> <ol style="list-style-type: none"> a. To ensure all identified erosion control measures are in place prior to the start of construction; b. To identify locations and features of the site that contribute to stormwater discharge; c. To assess the adequacy of the best management practices and controls in place to reduce pollutant loadings and ensure they were properly installed and are functioning appropriately; 	<p>Less than significant with mitigation (Class II)</p>

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<ul style="list-style-type: none">d. To determine whether implementation of additional best management practices or corrective measures are needed; and,e. To direct and oversee the implementation of any identified additional best management practices or corrective measures. <p>In the event of a prolonged storm event, the County of Monterey Resource Management Agency – Planning Department shall conduct inspections every 24 hours through the duration of the storm event.</p> <p>Requirements of the approved erosion control plan and drainage plan shall be included on all construction specifications.</p> <p><i>HYD/mma-1.1.1 Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit an erosion control plan to the County of Monterey Resource Management Agency – Environmental Services for review and approval to establish compliance with this measure.</i></p>	
<p>HYD Impact 2</p> <p>After construction, the proposed project would increase impervious surfaces at the project site, potentially increasing the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern, resulting in a potentially significant impact.</p>	<p>HYD/mm-2.1 Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit a drainage plan to the County of Monterey Resource Management Agency – Planning Department for review and approval by the Director of Building Inspection.</p> <p>Upon completion of construction, and periodically thereafter as necessary, the County of Monterey Resource Management Agency – Planning Department shall inspect the site to ensure the following:</p> <ul style="list-style-type: none">a. All best management practices and drainage facilities installed to reduce increased runoff were properly installed and are functioning properly;b. The best management practices and drainage facilities are adequate to control erosion and stormwater runoff; andc. Post-development stormwater runoff does not exceed pre-development stormwater runoff. <p>In the event drainage facilities are found to be inadequate to ensure post-development stormwater runoff does not exceed pre-development stormwater runoff, the County of Monterey Resource Management Agency – Planning Department shall identify additional corrective measures to be implemented and direct the implementation of additional measures, as needed, to prevent any increase in post-development stormwater runoff.</p>	<p>Less than significant with mitigation (Class II)</p>

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
HYD Impact 3	<p>Requirements of the approved drainage plan shall be included on all construction specifications.</p> <p>HYD/mma-2.1.1 Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit a drainage plan in compliance with this measure to the County of Monterey Resource Management Agency to establish consistency with this measure.</p>	Less than significant with mitigation (Class II)
<p>The project would alter the existing drainage pattern both during and following construction, which could contribute to increased erosion and sedimentation on- and off-site, resulting in a potentially significant impact.</p>	<p>Implement HYD/mm-1.1, HYD/mma-1.1.1, HYD/mm-2.1, and HYD/mma-2.1.1.</p>	Less than significant with mitigation (Class II)
HYD Impact 4	<p>Implement HYD/mm-1.1, HYD/mma-1.1.1, HYD/mm-2.1, and HYD/mma-2.1.1.</p>	Less than significant with mitigation (Class II)
<p>The project would increase impervious surfaces at the site, which would increase stormwater runoff volume and rate compared to existing conditions potentially causing erosion, increased peak flows, and other impacts to the existing drainage pattern, resulting in a potentially significant impact.</p>	Air Quality and Greenhouse Gases	
AQ/GHG Impact 1	<p>AQ/GHG/mm-1.1 Prior to issuance of demolition, grading, or construction permits, the following Best Management Practices and standard mitigation measures for reducing fugitive dust emissions shall be noted on project grading plans. All measures shall be adhered to during all project construction activities.</p> <ul style="list-style-type: none"> a. Reduce the amount of disturbed area where possible. b. Water all sand/dirt stockpiles at least twice daily. Frequency should be based on the type of operation, soil, and wind exposure. c. Prohibit grading activities to the extent feasible when wind speeds exceed 15 miles per hour. d. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site. 	Less than significant (Class III)
<p>Implementation of the proposed project could result in the generation of emissions as a result of construction activities in an area in non-attainment for ozone (8-hour standard) and PM₁₀, resulting in a potentially significant impact.</p>		

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<ul style="list-style-type: none"> e. All trucks hauling dirt, sand, soil, or other loose materials shall be covered and shall maintain at least 2 feet of freeboard (minimum vertical distance between top of load and top of trailer). f. Plant appropriate vegetative ground cover in disturbed areas that are planned for habitat restoration as soon as possible. g. Cover inactive storage piles. h. Install wheel washers at the entrance to the construction site for all exiting trucks. i. Sweep streets if visible soil material is carried out from the construction site. j. Post a publicly visible sign which specifies the telephone number and person to contact regarding dust complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance). k. Limit the area under construction at any one time. 	
	<p>AQ/GHG/mma-1.1.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised grading plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i></p>	
	<p>AQ/GHG/mm-1.2 <i>Prior to issuance of the Combined Development Permit, the following Best Management Practices and standard mitigation measures for reducing nitrogen oxides (NOx), reactive organic gases (ROG) and diesel particulate matter (DPM) emissions from construction equipment shall be noted on project grading plans. All measures shall be adhered to during all project construction and decommissioning activities.</i></p> <ul style="list-style-type: none"> a. Maintain all construction equipment in proper tune according to manufacturer’s specifications. b. Diesel-powered equipment shall be replaced by electric equipment whenever feasible to reduce NOx emissions. c. Diesel-powered equipment shall be replaced by gasoline-powered equipment whenever feasible. 	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<ul style="list-style-type: none"> d. Diesel construction equipment meeting the California Air Resources Board Tier 1 emission standards for off-road heavy-duty diesel engines shall be used. Equipment meeting California Air Resources Board Tier 2 or higher emission standards shall be used to the maximum extent feasible. e. Catalytic converters shall be installed on gasoline-powered equipment, if feasible. f. All on- and off-road diesel equipment shall not idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and or job site to remind drivers and operators of the 5-minute idling limit. g. The engine size of construction equipment shall be the minimum practical size. h. The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time. 	
	<p>AQ/GHG/mma-1.2.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised grading plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i></p>	

Hazards and Hazardous Materials

<p>HAZ Impact 1</p>	<p>HAZ/mm-1.1 Prior to issuance of demolition, grading, or construction permits, the Applicant shall prepare a Hazardous Material Spill Prevention, Control, and Countermeasure Plan to minimize the potential for, and effects of, spills of hazardous or toxic substances during construction of the project. The plan shall be submitted for review and approval by the Monterey County Resource Management Agency – Planning Department, and shall include, at minimum, the following:</p> <ul style="list-style-type: none"> a. A description of storage procedures and construction site maintenance and upkeep practices; b. Identification of a person or persons responsible for monitoring implementation of the plan and spill response; 	<p>Less than significant (Class III)</p>
<p>Implementation of the proposed project has the potential to result in the inadvertent upset or release of hazardous materials used to fuel and maintain construction equipment and vehicles during construction of the proposed project, resulting in a potentially significant impact.</p>		

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<ul style="list-style-type: none">c. Identification of Best Management Practices to be implemented to ensure minimal impacts to the environment occur, including but not limited to the use of containment devices for hazardous materials, training of construction staff regarding safety practices to reduce the chance for spills or accidents, and use of non-toxic substances where feasible;d. A description of proper procedures for containing, diverting, isolating, and cleaning up spills, hazardous substances, and/or soils, in a manner that minimizes impacts on surface and groundwater quality and sensitive biological resources;e. A description of the actions required if a spill occurs, including which authorities to contact and proper clean-up procedures; and,f. A requirement that all construction personnel participate in an awareness training program conducted by qualified personnel approved by the Monterey County Resource Management Agency – Planning Department. The training must include a description of the Hazardous Materials Spill Prevention, Control, and Countermeasure Plan, the plan’s requirements for spill prevention, information regarding the importance of preventing spills, the appropriate measures to take should a spill occur, and identification of the location of all clean-up materials and equipment.	
	<p>HAZ/mma-1.1.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit a Hazardous Material Spill Prevention, Control, and Countermeasure Plan to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i></p>	
	<p>HAZ/mm-1.2 During construction activities, the cleaning and refueling of equipment and vehicles shall occur only within a designated staging area. This staging area shall conform to Best Management Practices applicable to attaining zero discharge of stormwater runoff. At a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and avoid potential leaks or spills.</p>	
	<p>HAZ/mma-1.2.1 <i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department identifying designated staging areas in compliance with this measure.</i></p>	

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
	<p>HAZ/mm-1.3 All project-related spills of hazardous materials within or adjacent to the project area shall be cleaned-up immediately. Spill prevention and clean-up materials shall be on-site at all times during construction.</p> <p>HAZ/mma-1.3.1 <i>Throughout project construction, the environmental monitor shall submit regular monitoring reports to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i></p>	
Noise		
<p>NOI Impact 1</p> <p>Implementation of the proposed project would require use of construction equipment and vehicles that could exceed noise thresholds for sensitive receptors during the construction phase of the proposed project, resulting in a significant effect.</p>	<p>NOI/mm-1.1 The following noise attenuation measures shall be implemented during construction activities to reduce construction-related noise effects on adjacent sensitive receptors. The following measures shall be noted on construction plans prior to issuance of demolition, grading, or construction permits and shall be implemented throughout the duration of construction activities:</p> <ul style="list-style-type: none"> a. Construction activities shall be limited to daytime hours between 7:00 a.m. and 7:00 p.m. Monday through Saturday. No construction shall be allowed on Sundays or national holidays. b. Neighborhood notice. Residents and other sensitive receptors within 300 feet of the project site shall be notified of the construction activities, including the nature of construction activities and schedule, in writing, at least 48 hours prior to the initiation of construction activities. The notice shall include contact information for questions and complaints, including name, phone number, address, and e-mail address. c. Construction equipment with internal combustion engines shall have sound control devices at least as effective as those provided by the original equipment manufacturer. d. No equipment shall be permitted to have an unmuffled exhaust. e. Impact tools, such as jack hammers, pavement breakers, and rock drills, used for project demolition or construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. Where use of pneumatic tools is unavoidable, an 	<p>Less than significant (Class III)</p>

Impacts	Mitigation Measures (mm) and Monitoring Actions (mma)	Residual Impacts
NOI Impact 2	<p>exhaust muffler shall be placed on the compressed air exhaust. External jackets shall be used on impact tools, where feasible.</p> <p>f. Stationary noise sources shall be located as far away from nearby receptors as possible, and shall muffle, incorporate noise barriers, or implement other noise control measures to the extent feasible.</p> <p>g. Trucks and construction equipment shall be prohibited from idling at the construction site or along streets serving the construction site.</p> <p><i>NOI/mma-1.1.1 Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised construction plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i></p> <p><i>NOI/mma-1.1.2 Throughout construction activities, the environmental monitor shall submit regular monitoring reports to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i></p>	Less than significant (Class III)
Implementation of the proposed project would generate a substantial temporary increase in ambient noise levels during construction of the project, resulting in a significant effect.	Implement NOI/mm-1.1, NOI/mma-1.1.1, and NOI/mma-1.1.2.	

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CHAPTER 1

INTRODUCTION

The County of Monterey Resource Management Agency – Planning Department (County or County of Monterey), serving as the lead agency under the California Environmental Quality Act (CEQA), has prepared this Environmental Impact Report (EIR) to assess the impacts that may result from approval of the Signal Hill LLC Combined Development Permit (project). The project includes demolition of an existing 4,125-square-foot residence, construction of a new 11,933-square-foot residence, and dune restoration activities. The project site is located on Signal Hill Road, approximately 350 feet east of 17-Mile Drive, in the unincorporated community of Pebble Beach.

1.1 PROJECT SETTING AND BACKGROUND

Signal Hill LLC, the project applicant, has submitted an application to the County for entitlements (Combined Development Permit) to demolish an existing residence, construct a new residence, and make associated site improvements, including site restoration. The project site has been the subject of several Monterey County code enforcement actions since the time of application submittal. A code enforcement case for unpermitted tree removal has recently been closed and replanting and restoration has been completed. A separate enforcement action for a substandard dwelling improperly maintained is in “compliance ordered” status. Entitlements include actions that would clear this case.

1.2 PURPOSE OF THE EIR

The purpose of this EIR is to identify the proposed project’s significant impacts on the environment, identify ways in which such significant impacts would be mitigated or avoided, and develop alternatives to the proposed project that would avoid or reduce these impacts while still meeting major project objectives. This EIR is intended to serve as an informational document for use by the general public, the County, and other responsible agencies in their consideration and evaluation of the project. Public agencies are charged with a duty to consider and minimize environmental impacts to proposed developments where feasible, and have an obligation to balance a variety of public objectives, including environmental, economic, and social factors.

This EIR has been written to comply with the requirements of CEQA. Under the CEQA process, the EIR is provided to the public and agency decision-makers for their review and comment to enable agency decision-makers to fully evaluate and consider the potential environmental consequences of their decision on a proposed project.

1.3 SCOPING AND NOTICE OF PREPARATION PROCESS

In compliance with the State CEQA Guidelines, the County determined that due to potential significant impacts associated with the project, an EIR would be necessary. In accordance with Section (§)15082 of the State CEQA Guidelines, the County prepared and circulated a Notice of Preparation (NOP) of an EIR on February 17, 2015. The NOP was distributed to various federal, state, regional, and local governmental agencies and other interested parties to solicit comments and inform the public of the proposed project. A 30-day NOP public review period ended on March 20, 2015.

Nineteen comment letters were received in response to the NOP. In addition, a public scoping meeting was held on February 23, 2015, at the Pebble Beach Community Services District Office,

located at 3101 Forest Lake Road in Pebble Beach, Monterey County, California. Concerns raised in response to the NOP and scoping meeting were considered in preparation of the EIR, including destruction of a historic residence designed by eminent southern California-based architect Richard Neutra, impacts to public views along 17-Mile Drive, and impacts related to construction activities in areas of native dune habitat. The NOP and comment letters received in response to the notice and public scoping meeting are included as Appendix A.

1.4 EIR CONTENTS

The scope of the EIR includes issues identified by the lead agency during the preparation of the NOP for the proposed project, as well as environmental issues raised by agencies and the general public in response to the NOP and at the public scoping meeting. The EIR is divided into the following major sections:

Executive Summary. Provides a brief summary of the project background, description, impacts and mitigation measures, and alternatives.

Introduction. Describes the project background, the purpose of an EIR, the EIR process, and the scope, content, and intended use of the document.

Project Description. Describes the project location, identifies project objectives, includes a detailed description of the project characteristics, and provides a listing of necessary permits and government approvals.

Environmental Setting. Describes the regional and local physical project setting and surrounding land uses, and identifies relevant planning documents applicable to the proposed project.

Environmental Impact Analysis. Discusses the environmental setting as it relates to the various environmental issue areas, regulatory settings, thresholds of significance, impact determinations and methodology, project-specific impacts and mitigation measures, cumulative impacts, and secondary impacts. The EIR analyzes the potentially significant impacts to the following resource areas, as identified during the preparation of the NOP:

- Aesthetic Resources
- Biological Resources
- Cultural Resources
- Geology and Soils
- Hydrology and Water Quality

In addition, the EIR includes a section titled “Issue Areas with Less than Significant Impacts,” which evaluates the impacts to the following resource areas:

- Agricultural Resources
- Air Quality and Greenhouse Gases
- Hazards and Hazardous Materials
- Land Use and Planning
- Mineral Resources
- Noise
- Population and Housing
- Public Services and Utilities
- Recreation
- Transportation and Traffic

Alternatives Analysis. Identifies various project alternatives that would lessen or avoid identified significant environmental impacts. Summarizes the environmental advantages and disadvantages associated with the proposed project and alternatives. As required, the “No Project” alternative is included among the alternatives considered. An “Environmentally Superior Alternative” is identified.

Other CEQA Considerations. Identifies growth-inducing impacts and includes a discussion of long-term/short-term productivity and irreversible environmental changes.

Mitigation Monitoring and Reporting Plan. This section contains a matrix of all mitigation measures contained in the EIR, the requirements of the mitigation measures, timing for implementation of these measures, the party responsible for verification, the method of verification, and verification timing.

1.5 PROJECT SPONSORS

Lead Agency:	County of Monterey Resource Management Agency 1441 Schilling Place, 2 nd Floor Salinas, CA 93901 Carl P. Holm, AICP, RMA Director
Project Applicant:	Signal Hill LLC 111 Independence Drive Menlo Park, CA 94025 Massy Mehdipour, Project Applicant
Environmental Consultant:	SWCA Environmental Consultants 1422 Monterey Street, Suite C200 San Luis Obispo, CA 93401 Emily Creel, Project Manager

1.6 REVIEW OF THE DRAFT EIR

This Draft EIR was distributed to responsible and trustee agencies, other affected agencies, interested parties, and all parties requesting a copy of the Draft EIR in accordance with Public Resources Code 21092(b)(3). A Notice of Completion and Notice of Availability of the Draft EIR were also distributed as required by State CEQA Guidelines §§15085 and 15087.

The public review period is 45 days. Written responses to all environmental issues raised during public circulation will be prepared and included as part of the Final EIR and the environmental record for consideration by decision-makers for the project. During this 45-day review period, the Draft EIR and all technical appendices will be available for review at the following locations:

County of Monterey Resource Management Agency 1441 Schilling Place, 2 nd Floor Salinas, CA 93901	Pebble Beach Community Services District 3101 Forest Lake Road Pebble Beach, CA 93953
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Harrison Memorial Library
Ocean Avenue and Lincoln Street
Carmel-by-the-Sea, CA 93921

Monterey Public Library
625 Pacific Street
Monterey, CA 93940

On behalf of the lead agency, comments on the Draft EIR shall be addressed to:

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

Via email: ecreel@swca.com

CHAPTER 2

PROJECT DESCRIPTION

On November 8, 2010, Signal Hill LLC (Applicant) submitted to the County an application for a Combined Development Permit (PLN100338) to allow for the following, which combined comprises the proposed project: (1) demolition of the existing 4,125-square-foot, two-story, single-family residence, and removal of the approximately 2,825 square feet of asphalt driveway and concrete patios; (2) construction of a new 11,933-square-foot, two-story (over basement), single-family residence and construction of approximately 1,950 square feet of paved areas; and (3) restoration of approximately 1.67 acres to native dune habitat. The Applicant's application was deemed complete by the County on August 13, 2013.

The Combined Development Permit would include the following: (1) Coastal Administrative Permit and Design Approval for the demolition of the existing residence, construction of the new residence, and associated site improvements; (2) Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (3) Coastal Development Permit for development on slopes exceeding 30%; (4) Coastal Development Permit for development within 750 feet of a known archaeological resource; and (5) Coastal Development Permit for ridgeline development.

2.1 GENERAL BACKGROUND

2.1.1 Project Location

The project site is located at 1170 Signal Hill Road (Assessor's Parcel Number [APN] 008-261-007-000), within the Spyglass Cypress Planning Area of the Del Monte Forest Area Land Use Plan (LUP), in the unincorporated community of Pebble Beach, Monterey County, California. The 2.2-acre lot is identified as Lot 35 in the El Pescadero RHO subdivision. The project site is located approximately 750 feet southeast of the intersection of 17-Mile Drive and Signal Hill Road (refer to Figures 2-1 and 2-2, Project Vicinity Map and Project Location Map) and is accessed from 17-Mile Drive via Signal Hill Road.

2.1.2 Project Site and Vicinity

The project site is located within an existing residential neighborhood above 17-Mile Drive, overlooking the Pacific Ocean, in the vicinity of Cypress Point and overlooking Fanshell Beach. The site is currently developed with a single-family residence designed by eminent southern California architect Richard Neutra. The residence was built in 1957–1958 and embodies the characteristics of post-war American International Style architecture for which Neutra is noted. The residence was found eligible for listing on the National Register of Historic Places (NRHP) by the California State Historic Preservation Officer (SHPO) on June 13, 2014, and is listed in the California Register of Historic Places (CRHP). Please refer to Section 4.3, Historical Resources, of this EIR for additional information and background regarding the existing residence and its historical significance as determined by SHPO.

The existing 4,125-square-foot residence includes the original 3,299-square-foot, two-story, wood-frame residence, integral three-car garage, and small studio addition at the southwest corner of the upper level (added in 1993). Existing development on the site also includes approximately 2,825 square feet of asphalt driveway and concrete patios adjacent to Signal Hill Road in the back of the residence.

Figure 2-1. Project Vicinity Map

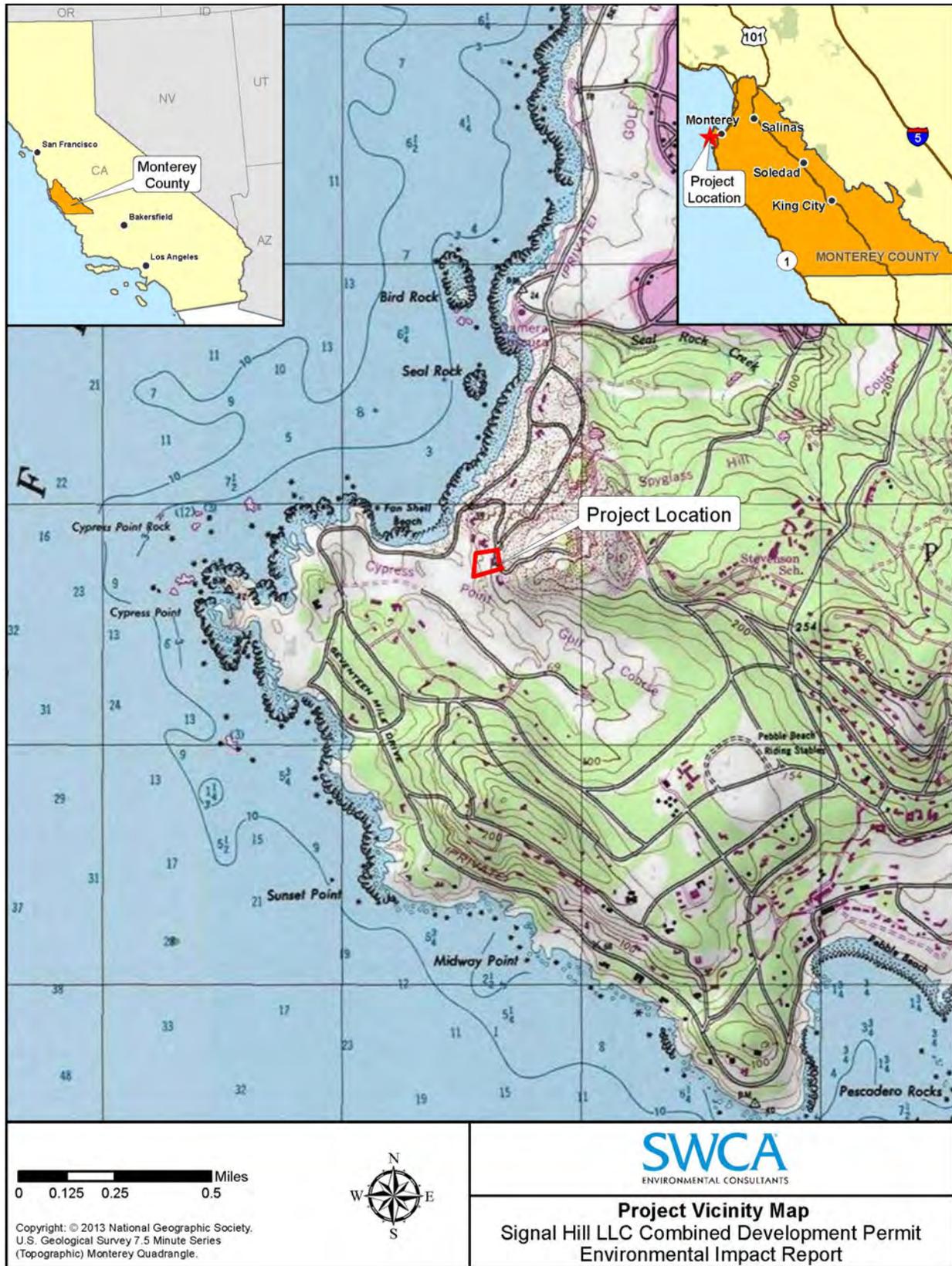


Figure 2-2. Project Location Map



The Project site is zoned “LDR/1.5-D (CZ)” (Low Density Residential/1.5 Acre Minimum with a Design Control District [Coastal Zone]) pursuant to the zoning maps in part 6 of Local Coastal Implementation Plan. The Del Monte Forest Area Land Use Plan ~~General Plan~~ land use designation is Low Density Residential (LDR) with a range from one unit per acre to one unit per two acres. The project site slopes downward from east to west, with the existing residence located at the upper end of the parcel near Signal Hill Road. The existing grade underlying the area proposed for development has been previously altered and ranges from 105 to 95 feet above mean sea level (msl), resulting in an average grade of 100 feet above msl within the proposed development area. The project site is located in an area of the Del Monte Forest containing remnant native sand dune, which is classified as an environmentally sensitive habitat area and is subject to the respective protection policies of the Del Monte Forest Area LUP. Existing vegetation includes native dune habitat, Monterey cypress trees, and Monterey pine trees, and non-native eucalyptus species, iceplant, and European beachgrass.

2.1.2.1 Surrounding Land Uses

The project site is located within a developed neighborhood. It is surrounded by a single-family residence to the south, the Cypress Point Golf Course to the south and southwest, and 17-Mile Drive and the Pacific Ocean to the west. Undeveloped dune habitat is located across Signal Hill Road to the east and single-family residences are located to the north, off Signal Hill Road and 17-Mile Drive. These surrounding uses are shown above on Figure 2-2.

2.2 PROJECT OBJECTIVES

State CEQA Guidelines §15124(b) specifies that an EIR should include:

“A statement of the objectives sought by the proposed project. A clearly written statement of objectives will help the lead agency develop a reasonable range of alternatives to evaluate in the EIR and will aid the decision makers in preparing findings or a statement of overriding considerations, if necessary. The statement of objectives should include the underlying purpose of the project.”

A lead agency must not give a project’s purpose an artificially narrow definition; however, a lead agency may structure an EIR analysis around a reasonable definition of a project’s underlying purpose (see *In re Bay-Delta Programmatic Environmental Impact Report Coordinated Proceedings*, 43 Cal.4th 1143 [2008]). The objectives (underlying purpose) identified for the project include those put forth by the Applicant as well the County.

The project objectives of the Applicant are as follows:

1. Remove the existing residence and construct a new single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area.
2. Construct a new, high-quality residence that is exemplary of the architectural design skill of recognized Mexican architect Ricardo Legorreta.
3. Restore areas of the project site outside of the construction area to their natural condition and allow for local native animal, insect, and plant life to flourish once again.
4. The overall improvement of the property for the betterment of the Pebble Beach community.

The project objectives of the County, as CEQA lead agency, are as follows:

1. To comply with CEQA by (1) informing governmental decision makers and the public about the potentially significant environmental impacts of the project; (2) identifying the ways that environmental damage can be avoided or significantly reduced; (3) preventing significant, avoidable damage to the environment by requiring changes in projects through the use of alternatives or mitigation measures when the governmental agency finds the changes to be feasible; and (4) disclosing to the public the reasons why a governmental agency approved the project in the manner the agency chose if significant environmental effects are involved (State CEQA Guidelines §15002).
2. Ensure a planned and balanced approach to development that protects the natural, cultural, historic, and visual resources of the Del Monte Forest.
3. Ensure that the project meets the goals of the County's General Plan and Local Coastal Program (LCP), and is consistent with applicable policies of the Del Monte Forest Area LUP, effective June 22, 2012.

2.3 PROPOSED PROJECT

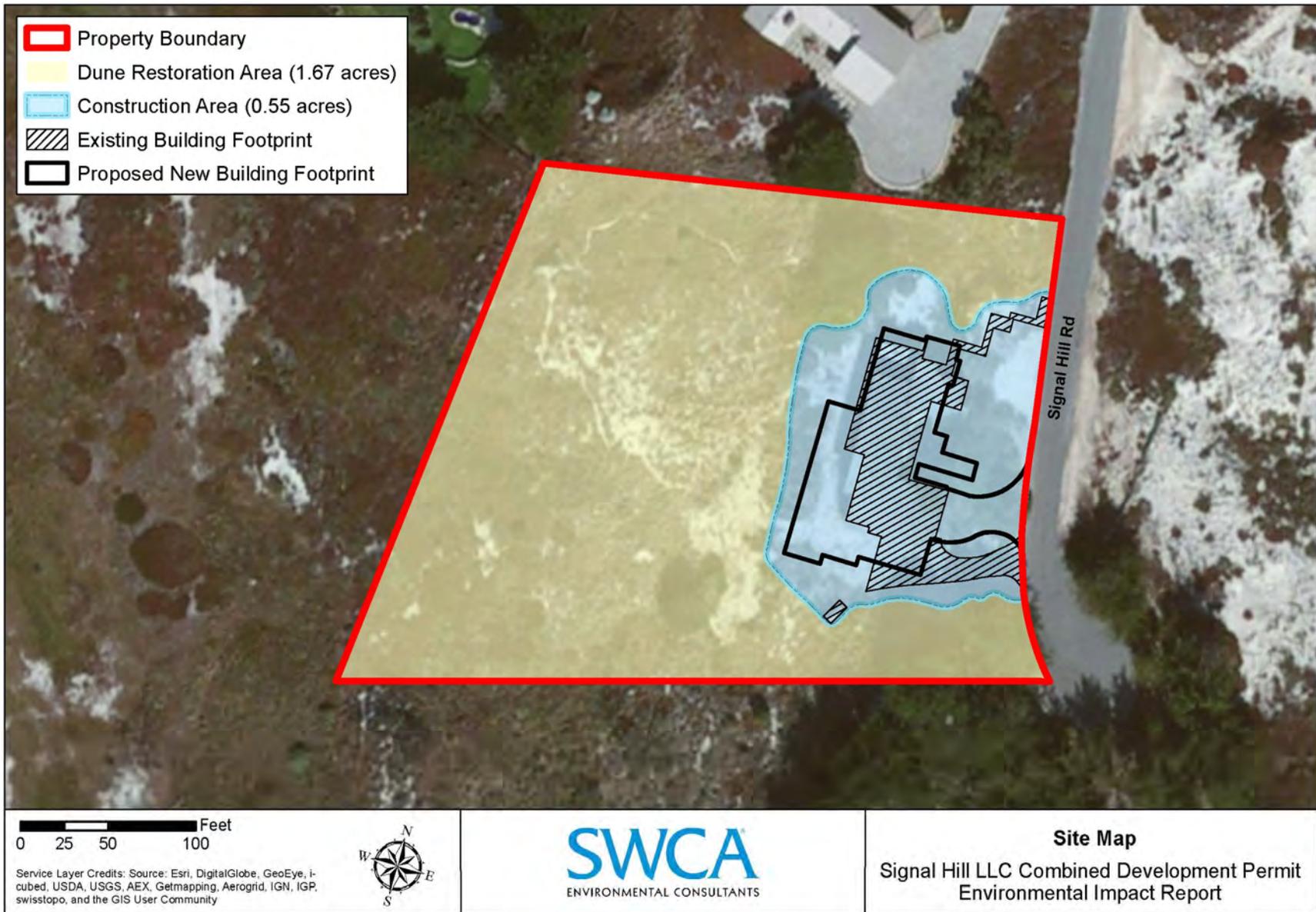
The Applicant proposes to demolish the existing single-family residence, and construct a new single-family residence within the upper, previously disturbed portion of the project site. The Applicant proposes dune habitat restoration throughout the remainder of the site, comprising approximately 1.67 acres. Figure 2-3 shows the proposed construction area (0.55 acre, in which all demolition, grading, paving, residential development, drainage modifications, and landscaping would occur) and the dune restoration area (1.67 acres, in which project activities would be limited to native dune habitat restoration). The specific development activities proposed within the 0.55-acre construction area, and the restoration activities proposed within the 1.67-acre dune restoration area, are discussed in further detail below.

2.3.1 Construction Activities

2.3.1.1 Demolition

The project includes demolition of the Connel House, an existing 4,125-square-foot, two-story, single-family residence designed by Neutra. The total area of existing impervious surfaces (approximately 7,113 square feet) would be removed. The footprint of the existing structure is shown in Figure 2-3. Demolition is proposed to occur over approximately 3 to 4 weeks, including removal of all existing structures, foundation, and debris, and rough grading of the building pad. Approximately 2,825 square feet of asphalt driveway and concrete patios would be removed, in addition to the existing landscape irrigation system. All removed materials would be hauled offsite for recycling or disposal at the Monterey Regional Waste Management District facility.

Figure 2-3. Project Areas



2.3.1.2 New Residence

The project proposes to grade for and construct an 11,933-square-foot residence that would include the following components:

- 5,229-square-foot ground floor/basement level
- 5,426-square-foot first floor
- 1,278-square-foot second floor
- 986-square-foot entry court
- 106-square-foot uncovered terraces
- 858-square-foot driveway

The footprint of the proposed structure is shown in Figure 2-3 and the proposed site plan is shown in Figure 2-4. The proposed residence would be 79 feet wide (east-west orientation), and 142 feet across (north-south orientation). The maximum height of the structure would be 30 feet above average natural grade (130 feet above msl).

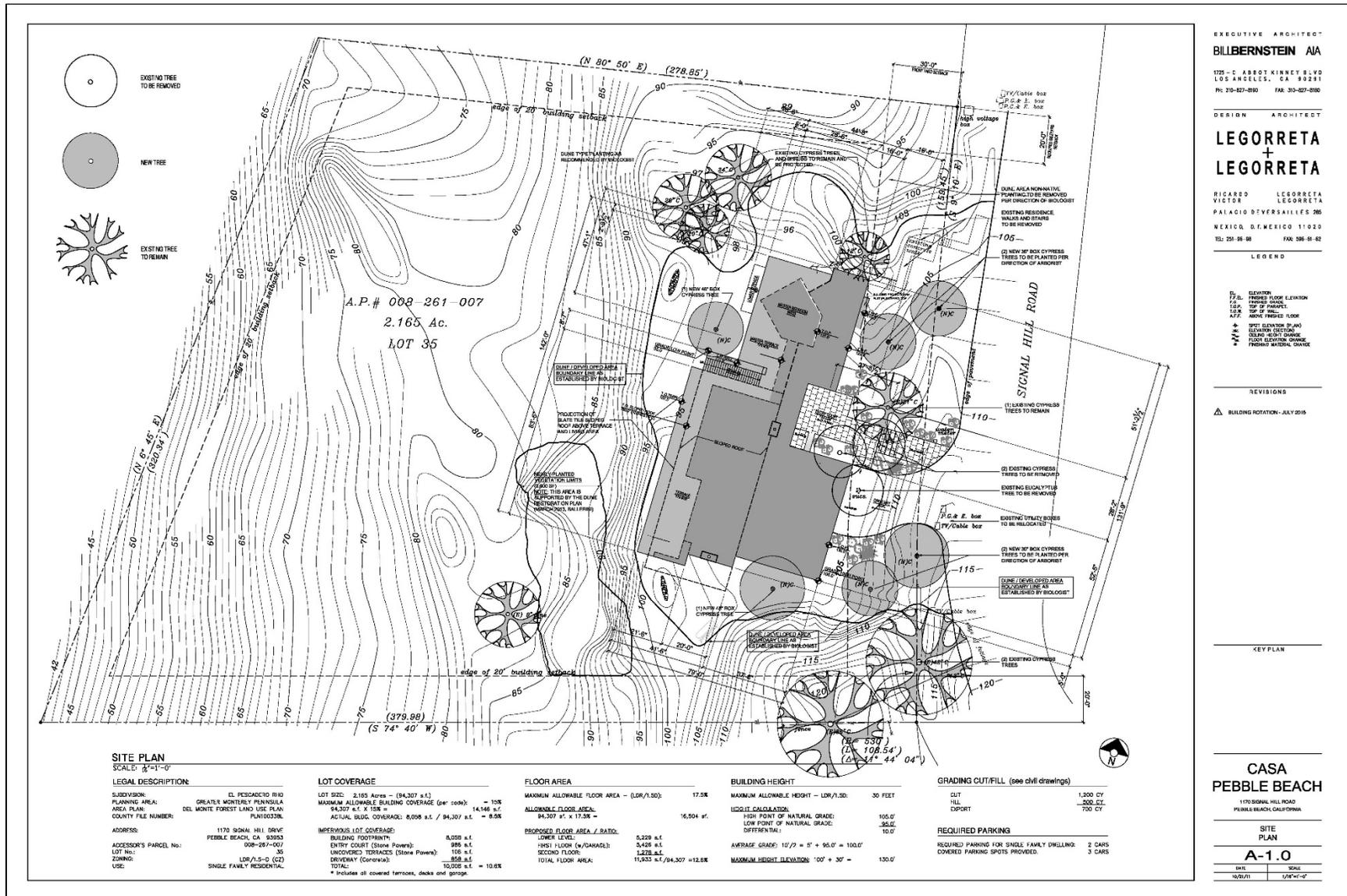
The proposed project design includes three floors, as follows:

1. A 5,229-square-foot ground floor/basement that would include: four bedrooms, four bathrooms, four closets, a playroom, a wine cellar, storage, laundry and linen space, two bedroom terraces and one lower level terrace, crawl space, and hallways and stairs (refer to Figure 2-5, Ground Floor/Basement Plan);
2. A 5,426-square-foot first floor that would include: an entry court, planter, interior entry and fountain, mudroom, master bedroom, master bath, master closet, exercise area, office, kitchen, pantry, staff bath, staff room, great room, four fireplaces, dining room, living room, bar, toilet and closet off of the great room, three-car garage, master terrace and first floor terrace with two fire pits, and hallways and stairs (refer to Figure 2-6, First Floor Plan); and
3. A 1,278-square-foot second floor that would include: two guest bedrooms, two guest bathrooms, vestibule, covered guest terrace, and interior fountain (refer to Figure 2-7, Second Floor Plan).

A flat roof is proposed over a majority of the structure; a sloped roof is proposed over the southwest corner of the structure (refer to Figure 2-8, Roof Plan). A paved driveway would provide access from Signal Hill Road. The Applicant does not propose any exposed retaining walls (all retaining walls would be sub-surface, associated with the construction of the ground floor/basement, and would be part of the structure). An enclosed, attached, three-car garage on the first floor would provide on-site parking. No fences or gates are proposed. The massing of the house is composed to mask the lowest floor by avoiding vertical stacking. Figures 2-9 and 2-10, Project Elevations illustrate the impression of a two-story structure.

The total area of impervious surfaces would be 10,008 square feet, including: the building structure (8,058 square feet), stone pavers installed in the entry court (986 square feet), stone pavers installed in the outdoor uncovered terraces (106 square feet), and concrete driveway (858 square feet).

Figure 2-4. Site Plan



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LEGEND
E: ELEVATION
F.F.L.: FINISHED FLOOR ELEVATION
T.O.P.: TOP OF FINISHL
T.O.P. OF FINISHL
T.S.F.: TOP OF FINISHL
AFF.: ABOVE FINISHED FLOOR
B.F.L.: BELOW FINISHED FLOOR
ELEVATION CHANGE
FINISHED ACTUAL CHANGE

REVISIONS
▲ BUILDING ROTATION - JULY 2018

KEY PLAN

CASA PEBBLE BEACH
1170 SIGNAL HILL ROAD
PEBBLE BEACH, CALIFORNIA
SITE PLAN
A-1.0
DATE: 10/2/11 SCALE: 1/8"=1'-0"

Figure 2-5. Ground Floor/Basement Plan

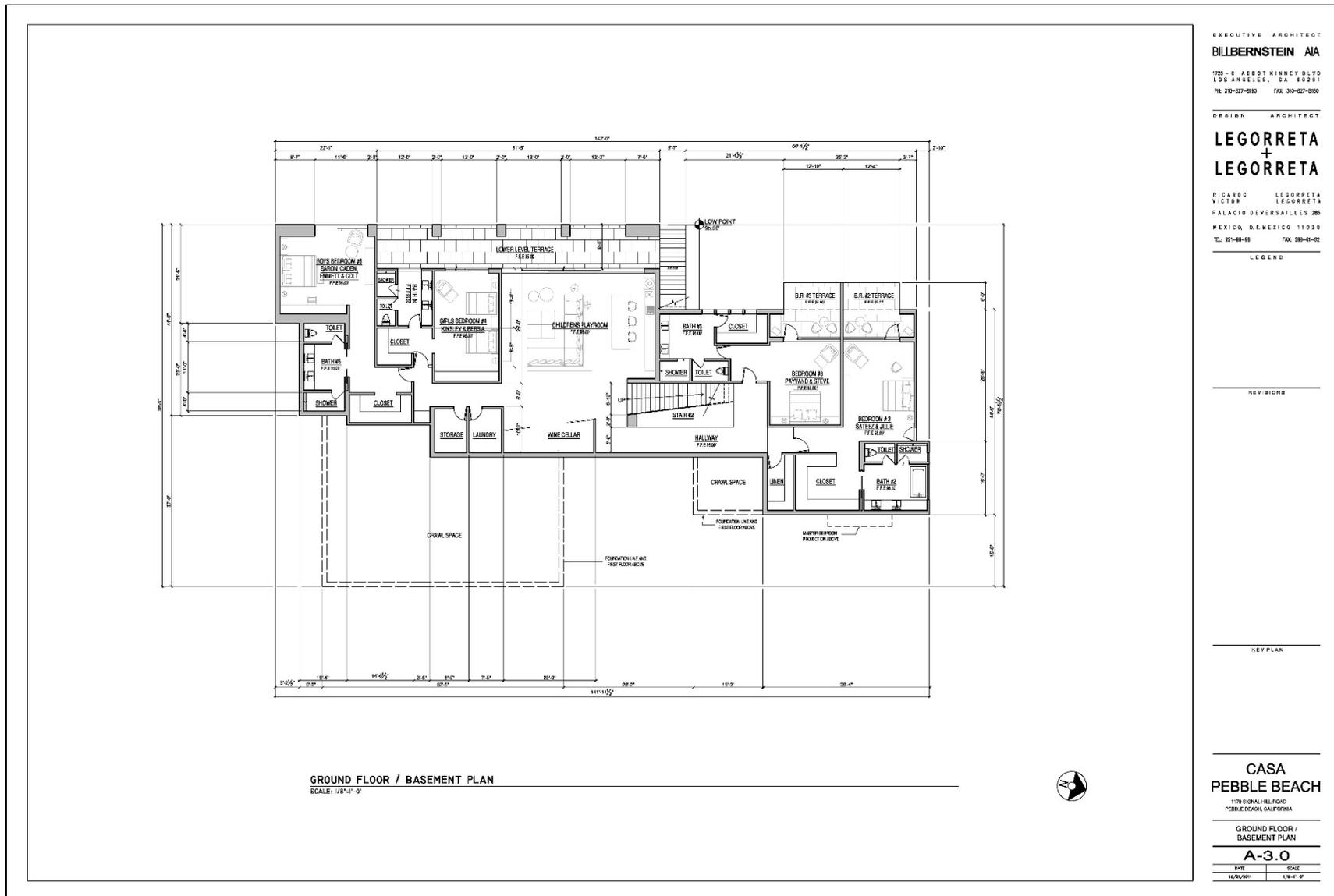


Figure 2-6. First Floor Plan

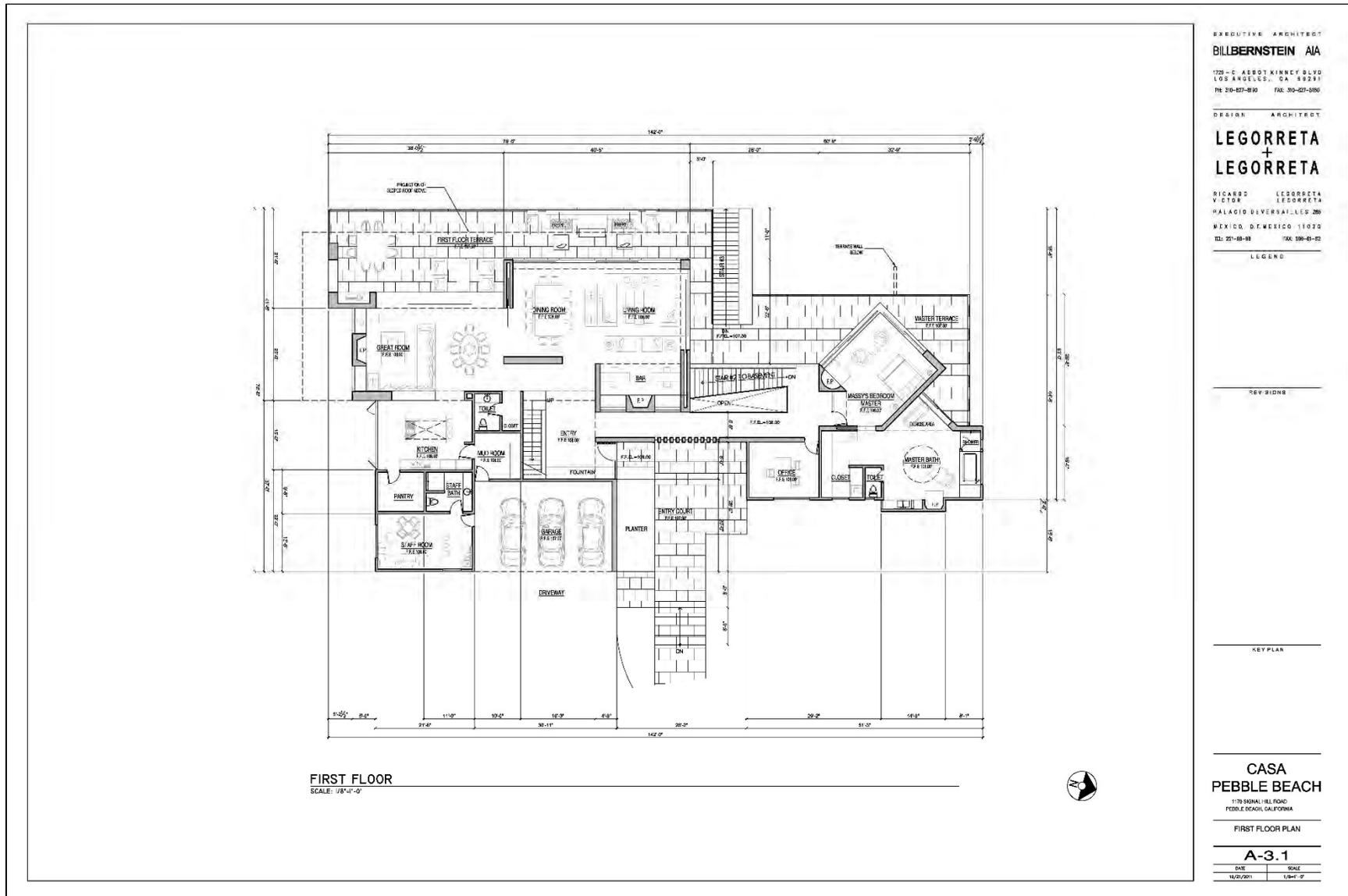


Figure 2-7. Second Floor Plan

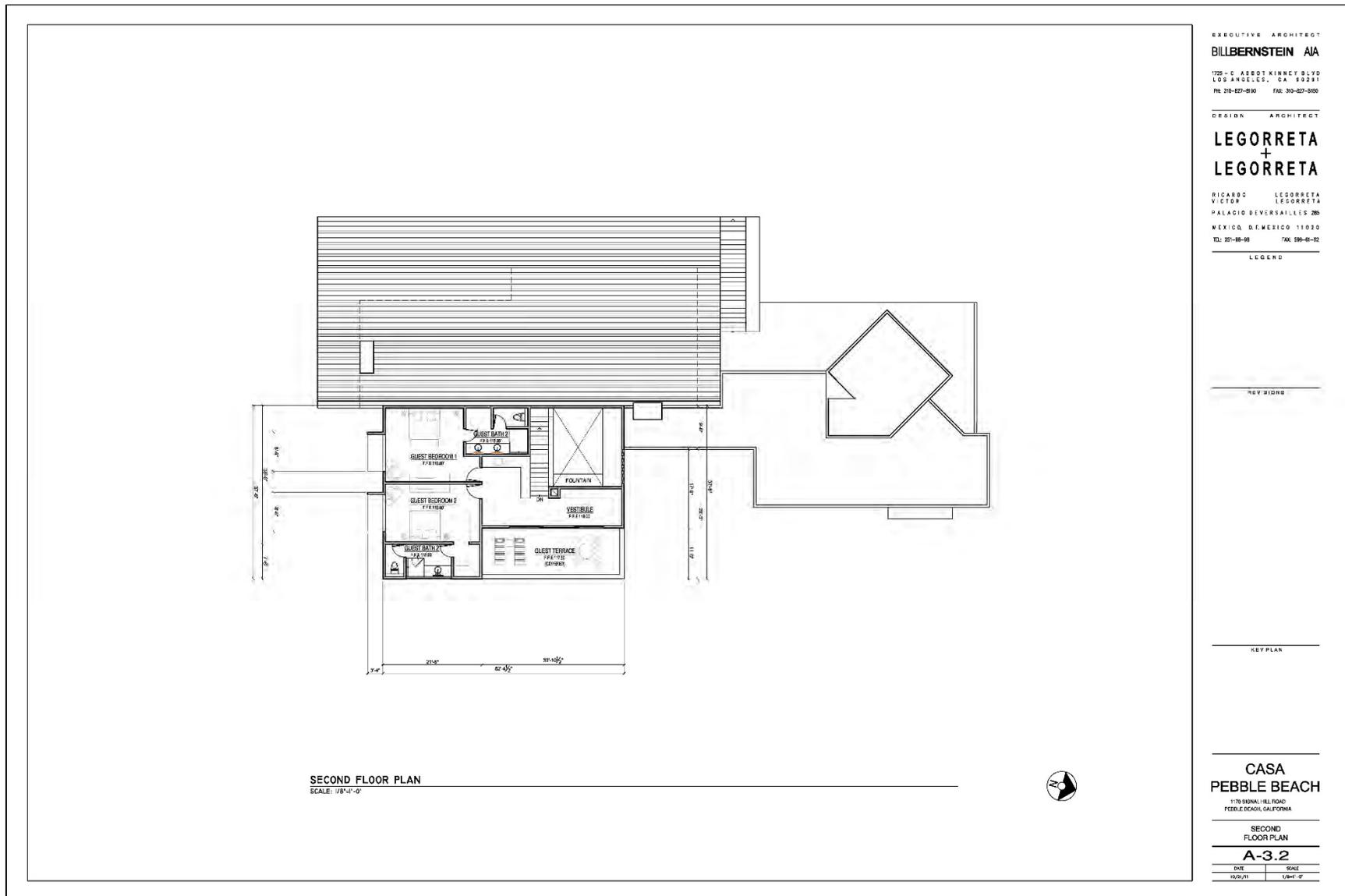
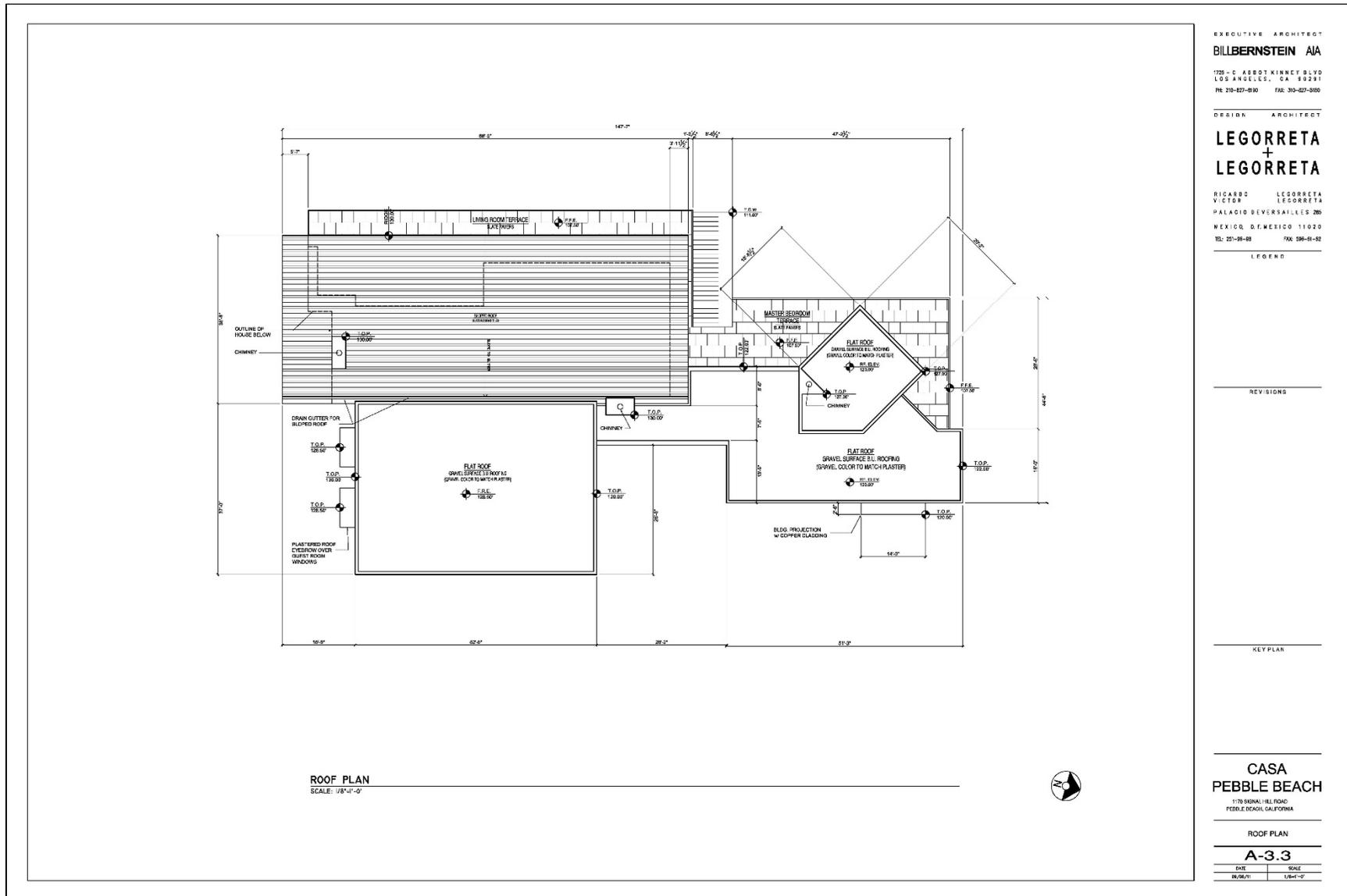


Figure 2-8. Roof Plan



Architectural Design

The proposed residence was designed by Legorreta + Legorreta (Richard and Victor Legorreta), of Mexico City, Mexico. The architectural style of Richard Legorreta (May 7, 1931–December 30, 2011) is described as modern, with components of traditional Mexican architecture, including cubic structures with stucco walls, and use of reds, coppers, oranges, yellows, purples, and pink colors. The executive architect listed on project plans is Bill Bernstein.

Project architectural design features are identified in Figures 2-9 and 2-10, Project Elevations, and include: ochre (a natural earth pigment ranging in color from yellow to deep orange or brown) stucco textured plaster walls, chimneys, window projections, a parapet wall, natural stacked stone exterior walls, copper wall cladding/finish along the first floor master bedroom building projection, clear glass guardrails along the outdoor terraces, slot and setback glass windows along all building sides, slate tile on the sloped roof, raised planters, glass doors, and stained wood along the underside of the roof and living room ceiling. The flat roof would consist of a gravel-colored surface to match the plaster. Outdoor terraces would be constructed using slate pavers.

2.3.1.3 Grading and Construction

Within the identified construction area, the Applicant proposes approximately 0.55 acre of site preparation, ground disturbance, and/or grading, including 1,200 cubic yards of cut and 500 cubic yards of fill. Approximately 700 cubic yards of excess material would be exported offsite (refer to Figure 2-11, Grading and Drainage Plan). Construction and grading activities are expected to last approximately 18 to 24 months. Construction staging areas are also proposed within the identified construction area, within the 30-foot front yard setback along Signal Hill Road. No staging, grading, or heavy equipment use is proposed within the 1.67-acre Dune Restoration Area or any adjacent property.

Initial rough grading and preparation of the building pad would occur over approximately 2 to 3 weeks. Grading would then be halted during construction of the foundation, including construction of internal retaining basement walls. Following completion of the foundation, backfilling and additional rough grading would continue over approximately 2 weeks. Overall, grading would occur over an approximately 6-week period.

Proposed erosion control measures to be implemented during construction would include installation of silt fencing and sediment rolls, hydroseeding and application of straw following seeding to stabilize soils, storm drain inlet protection including filter fabric or silt sacks installed around the inlet and on top of the storm drain grate and catch basin, and construction and use of a stabilized construction entrance (refer to Figure 2-12, Erosion Control Plan). Runoff from the site would be retained or filtered by berms, vegetated filter strips, and/or catch basins to prevent the escape of sediment from the site.

2.3.1.4 Drainage Plan

The proposed drainage plan includes construction of a series of downspout outlets, 12 × 12-inch drainage inlets surrounding the proposed residence, 4- to 6-inch diameter storm drains, a 6-inch trench drain across the proposed driveway, and erosion control measures at the storm drain outlets. All drain system components would be located within the 0.55-acre construction area (refer to Figure 2-11, Grading and Drainage Plan).

Figure 2-9. North and East Exterior Elevations

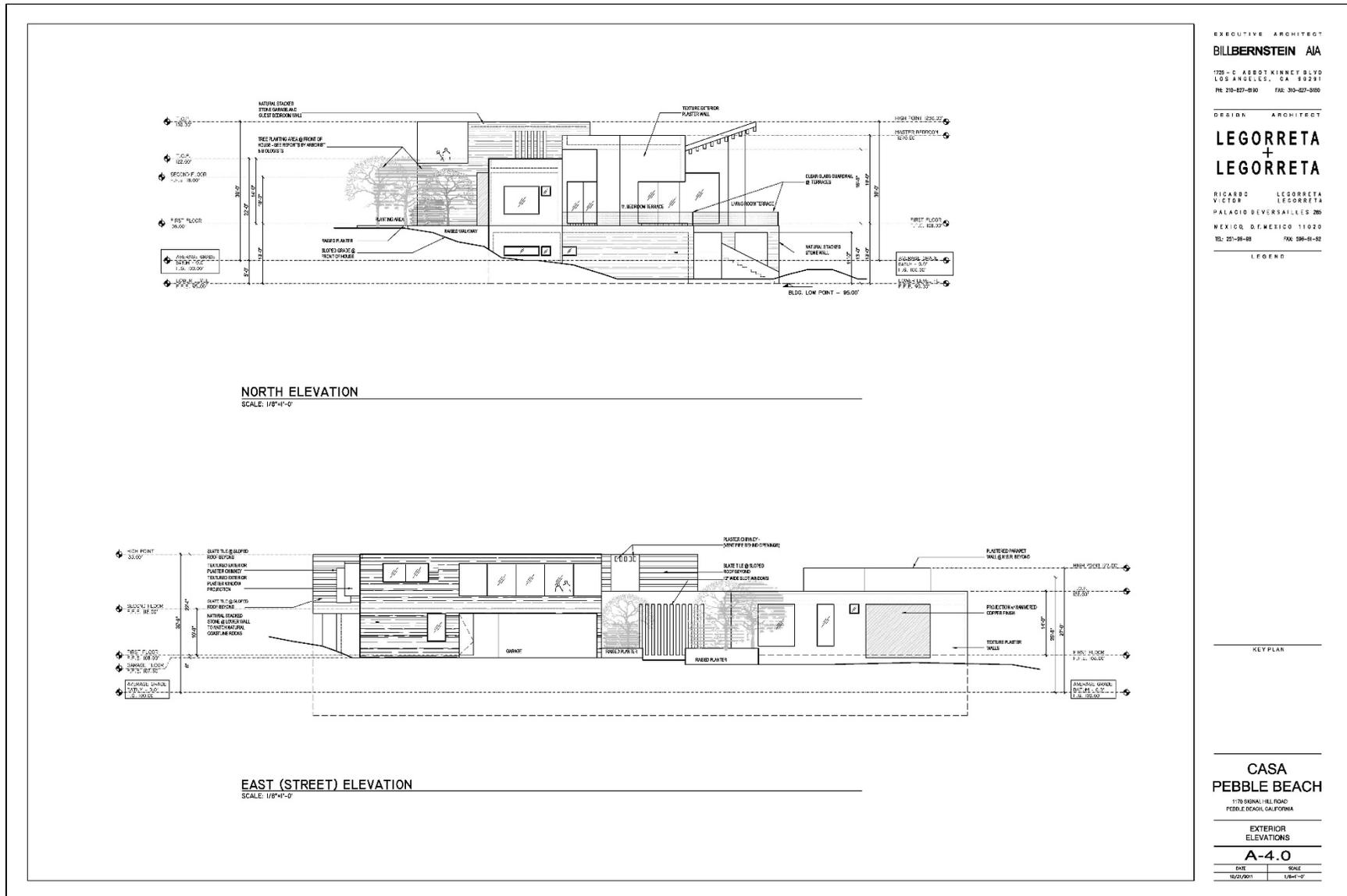


Figure 2-10. South and West Exterior Elevations

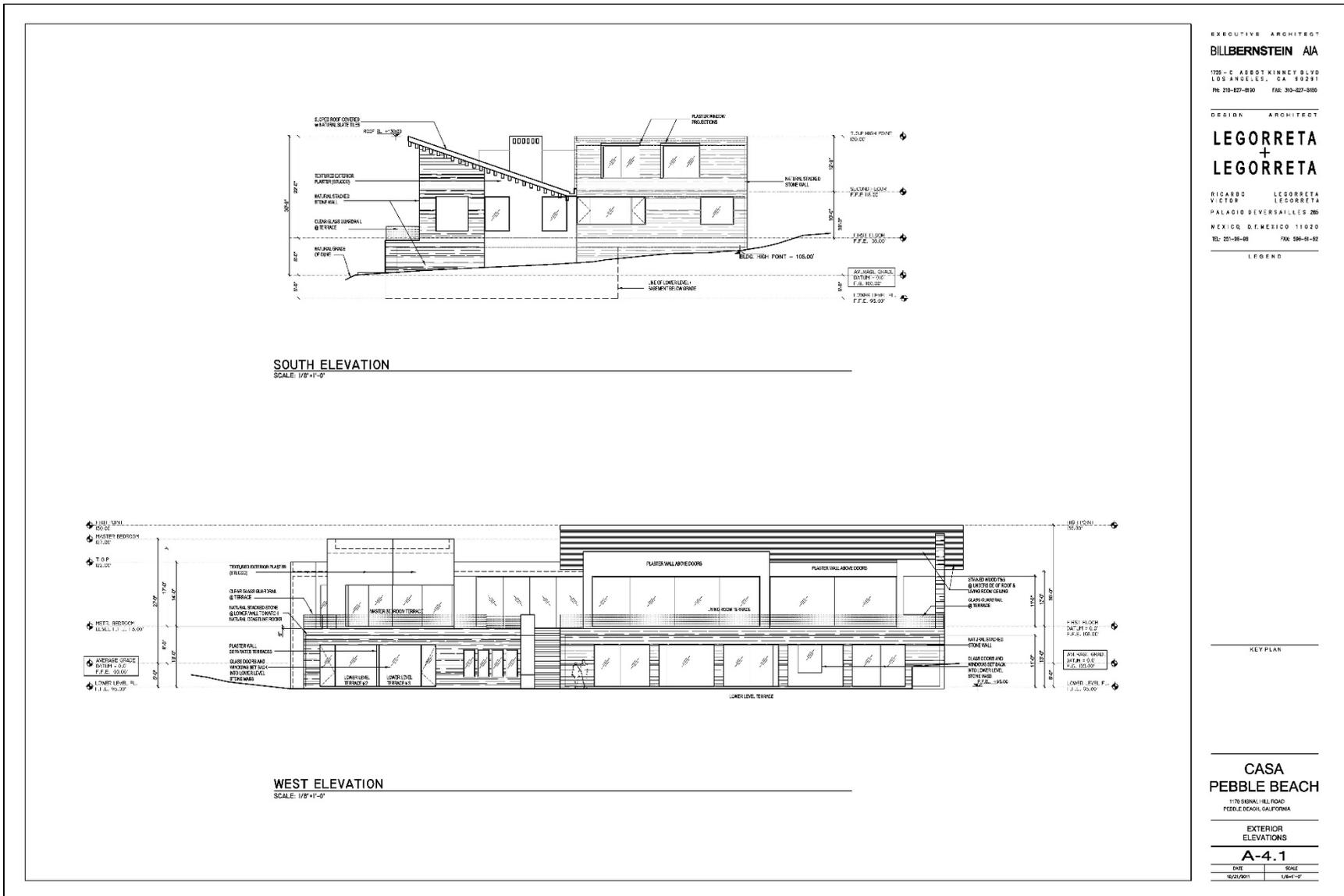


Figure 2-11. Grading and Drainage Plan



2.3.1.5 Landscape Plan

The Landscape Plan includes all areas within the 0.55-acre construction area that would not be improved with impervious surfaces (approximately 12,132 square feet [0.28 acre]). This area would be temporarily disturbed by grading and construction activities and then re-landscaped following completion of construction. No irrigation is proposed for project landscaping.

The Landscape Plan recommends native plantings within this area and indicates that non-invasive planting would occur as identified in the Dune Restoration Plan (Zander Associates [Zander] 2012; Fred Ballerini Horticultural Services [Ballerini] 2015); however, no planting specifications or plant species have been identified for the Landscape Plan area (refer to Figure 2-13, Landscape Plan).

Tree Removal

The Landscape Plan includes removal of an existing 22-inch Monterey cypress tree, a 16-inch Monterey cypress tree, and a eucalyptus tree in the area of the proposed driveway and entry court (refer to Figure 2-13, Landscape Plan). Four 36-inch box Monterey cypress trees and one 48-inch box Monterey cypress tree would be planted between the proposed residence and Signal Hill Road. One 48-inch box Monterey cypress tree would be planted on the west side of the residence adjacent to the proposed lower terrace. Several existing cypress trees and shrubs would be protected on-site during construction and development of the proposed project and retained thereafter.

2.3.1.6 Services and Utilities

The Applicant provided an Authorization for Water Permit, signed by the Monterey Peninsula Water Management District (MPWMD) on July 26, 2011 for use of water provided by California American Water Company (Cal Am). The Applicant proposes removal of the existing irrigation system, which would not be replaced, although a temporary irrigation system may be installed to facilitate establishment of initial landscaping and native dune restoration areas. The Pebble Beach Community Services District (CSD), through its contract with the Carmel Area Wastewater District, would provide wastewater collection, treatment, and disposal. Police and fire response would be provided by the Monterey County Sheriff, Pebble Beach CSD, and the California Department of Forestry and Fire Protection (CAL FIRE). Solid waste, recyclables, and green waste collection and management would be provided by the Pebble Beach CSD through its contractual agreement with Waste Management Inc., dba Carmel Marina Corporation. Trash would be delivered to the Monterey Regional Waste Management District (MRWMD) landfill in the city of Marina. Energy would be provided by Pacific Gas & Electric Company (PG&E).

Project components proposed within the 0.55-acre construction area are shown in Figures 2-4 through 2-13. The figures reflect various project plans prepared by the Applicant and/or the Applicant's consultants. It should be noted that several of the plans reflect a "Dune/Developed Area Boundary Line" or "Limit of Developed or Disturbed Dune." This area is similar to, but not congruent with, the 0.55-acre construction area used throughout this EIR to identify the area of disturbance proposed by the project. The boundary line reflected in the Applicant's plans was modified slightly to encompass all areas of proposed disturbance, as reflected in the Applicant's plans.

Figure 2-12. Erosion Control Plan



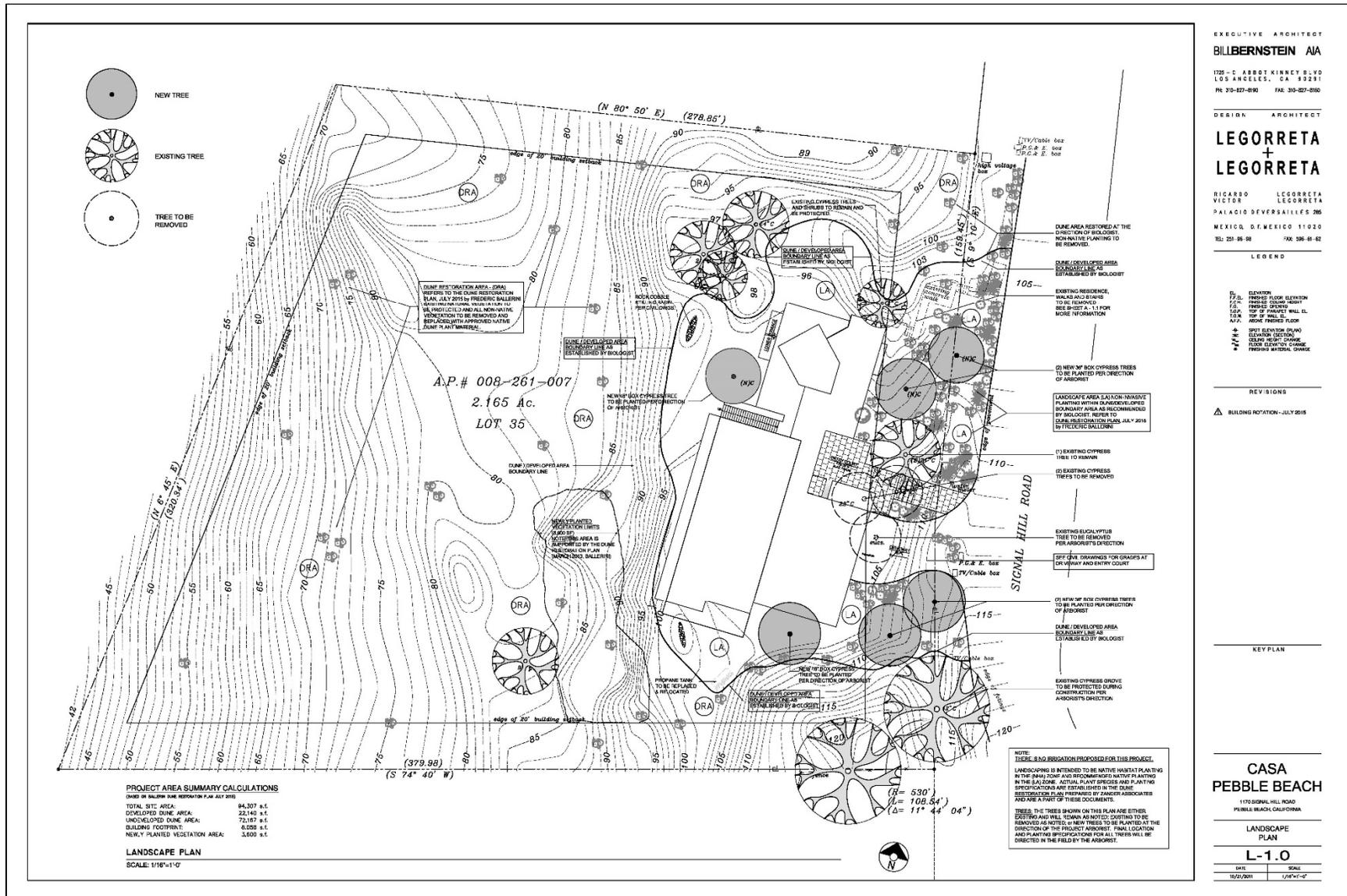
WHITSON ENGINEERS
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 831 649-5225 • Fax 831 372-6985
 CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

DATE: 06/15
 SCALE: AS NOTED
 DRAWN BY: MJ
 CHECKED BY: JMB
 DATE: 03/06

1170 SIGNAL HILL DRIVE
 MONTEREY COUNTY, CALIFORNIA
SIGGRADING AND DRAINAGE PLAN FOR A SINGLE FAMILY RESIDENCE AND DRIVEWAY
EROSION CONTROL PLAN

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
C2.2
 15410

Figure 2-13. Landscape Plan



2.3.2 Native Dune Habitat Restoration

Within the 1.67-acre dune restoration area, the project proposes restoration of native dune habitat pursuant to the Remnant Dune Restoration Plan (Zander 2012) and Dune Restoration Plan (Ballerini 2015) submitted by the Applicant (hereinafter jointly referred to as the “Dune Restoration Plan;” refer to Appendix B, Biological Resources Information, of this EIR). ~~An open code violation case is ongoing for violations related to unpermitted removal of cypress trees.~~ Restoration completed in 2014 that was required as part of ~~the~~ an unpermitted tree removal and disturbance of sand dune habitat ~~code violation~~ case is not included in the proposed dune restoration component of the project for purposes of the EIR.

The dune restoration area (refer to Figure 2-3) would be staked at the property boundary and fenced with 4-foot habitat protection fencing along the sinuous eastern boundary to clearly define the restoration area. The primary restoration goal within the area would be to eradicate non-native species and reestablish native dune vegetation. The primary targeted, non-native exotic species within the restoration area are ice plant and European beach grass. Ice plant would be removed through manual removal techniques and through application of a chemical herbicide solution in areas of complete cover. European beach grass would be removed through manual removal of the plant and root structure.

If determined necessary to prevent sand erosion, sand stabilization efforts would include installation of sterile rice straw bundles perpendicular to the sand surface, backfilled and tampered.

Restoration plantings, after initial removal of exotics, would mimic the existing areas of intertwined native populations on the site, with some sparsely populated plant areas, dune sedge stands, and coastal dune scrub vegetation. In order to maintain the genetic integrity of the local dune plants, only site-specific seed and cuttings from local (Asilomar Dune Complex) native dune species would be used to grow the restoration plantings. The specific dune species composition and quantities would be determined after exotic species control efforts have been initiated; however, preliminary recommended species include: pink sand verbena, California sagewort, coyote brush, beach aster, beach primrose, sand mat, dune sedge, Monterey Indian paintbrush, sea lettuce, and mock heather.

Dune restoration would be an ongoing process, but focused monitoring and reporting efforts over a minimum period of 3 years would be conducted to reduce the density of exotic species and allow for establishment of natives. Monitoring and reporting efforts would document species compositions, sand stabilization, erosion control, health and vigor of installed and naturally regenerating plants, presence of listed plant or animal species, and other factors that will contribute to a healthy and sustainable habitat. Reports would identify maintenance recommendations and corrective actions as necessary to meet restoration goals. Maintenance recommendations may include ongoing removal of exotic species, installation of sand stabilization or erosion control measures, supplemental irrigation of the dune restoration plantings, ~~installation of~~ increased or replacement dune restoration plantings, and installation of protection measures for dune restoration plantings.

Success criteria would be met when exotic species are eradicated to a goal of no more than 10% cover and native dune species have been restored at 40% coverage. Additional site criteria include a minimum of 12 native annual and/or perennial species present in the restoration area, good health of native plants, effective sand stabilization, and no evidence of significant erosion. If the success criteria are not met by the end of the 3-year monitoring period, additional measures

would be implemented and monitoring would continue until the success criteria are met. Fencing would be removed after construction and landscaping activities have concluded.

2.4 REQUESTED ACTION AND REQUIRED PERMITS

This EIR provides environmental information and analysis in compliance with CEQA, which is necessary for County decision makers to be able to adequately consider the effects of the proposed project. The County, as lead agency, has approval authority and responsibility for considering the environmental effects of the project as a whole. The EIR will be used for the following County approvals:

- Combined Development Permit (PLN100338) including:
 - Coastal Administrative Permit and Design Approval for the demolition of the existing residence, construction of the new residence, and associated site improvements;
 - Coastal Development Permit for development within 100 feet of environmentally sensitive habitat, and for the restoration of areas containing native sand dune habitat;
 - Coastal Development Permit for development within 750 feet of a known archaeological resource;
 - Coastal Development Permit for development on slopes exceeding 30%;
 - Coastal Development Permit for removal of protected cypress trees and vegetation removal in an environmentally sensitive habitat area; and
 - Coastal Development Permit for ridgeline development.
- Combined Construction Permit, including Building Permit, Grading Permit, Plumbing Permit, Electrical Permit, and Mechanical Permits
- ~~Grading Permits~~
- ~~Occupancy Permit~~
- National Pollutant Discharge Elimination System (NPDES) General Construction Permit
- Monterey Bay Air Resources District (MBARD) permits or registration with the California Air Resources Board (CARB) for portable construction equipment

2.5 REFERENCES

Fred Ballerini Horticultural Services. 2015. *Dune Restoration Plan (To Restore 68,567 SF Natural Habitat Area) Massy Mehdipour Property APN: 08-261-007 PLN100338*. Prepared for Massy Mehdipour. July 22, 2015.

Zander Associates. 2012. *Remnant Dune Restoration Plan, Mehdipour Property*. Prepared for Massy Mehdipour. August 2012.

CHAPTER 3

ENVIRONMENTAL SETTING

This chapter of the EIR generally addresses the project area's environmental setting and existing and designated land uses in the project area. This section also provides an overview of relevant land use plans and policies applicable to the project and describes the cumulative development scenario. Additional existing setting information specific to each environmental issue area is provided and a detailed analysis of the project's consistency with particular plans, policies, and implementation measures is included within each issue area discussion in Chapter 4 of this EIR.

3.1 PHYSICAL SETTING

3.1.1 Regional Setting

The project site is located in the unincorporated community of Pebble Beach, within Monterey County, California (refer to Figure 2-1). The site is within the Spyglass Cypress Planning Area of the Del Monte Forest coastal zone area. The Del Monte Forest coastal zone area is a large, almost exclusively privately held land area located along approximately 7 miles of central California shoreline that extends inland 3 to 4 miles in places. The 775-acre Spyglass Cypress planning area encompasses the shoreline south of Seal Rock Creek to and including Cypress Point, and is principally comprised of the Cypress Point and Spyglass Hill Golf Courses. This area also includes limited residential parcels, protected open space areas, and several coastal access points along 17-Mile Drive.

The Cypress Point shoreline is rugged and rocky with fairly shallow soil and rock outcrops supporting the endemic Monterey cypress. The northerly portion, generally inland of Fan Shell Beach and the Seal Rock area, is primarily made up of dune habitat (associated with the southernmost extent of the Asilomar Dunes dune system) with a native Monterey pine forest transition zone that extends inland.

3.1.2 Local Setting

The project site consists of a 2.165-acre parcel located approximately 750 feet southeast of the intersection of 17-Mile Drive and Signal Hill Road (refer to Figure 2-2). The site is within the LDR land use category and is zoned LDR/1.5-Design Control District, within the Coastal Zone. The site is currently developed with a single-family residence designed by architect Richard Neutra. The residence was found eligible for listing on the NRHP by the SHPO on June 13, 2014, and is listed in the CRHP.

The project site slopes downward from east to west, with the existing residence located at the upper end of the parcel near Signal Hill Road. The existing natural grade of the upper end of the parcel (underlying the area proposed for development) ranges from 105 to 95 feet above msl, resulting in an average grade of 100 feet above msl. Elevations at the lower end of the parcel (proposed for dune restoration) range from approximately 95 to 50 feet above msl. The project site is located on a remnant native sand dune, which is classified as an environmentally sensitive habitat area and is subject to the policies of the Del Monte Forest Area LUP. Existing vegetation includes native dune habitat, Monterey cypress trees, eucalyptus and Monterey pine trees, iceplant, and European beach grass.

Properties north and south of the project site along Signal Hill Road are also within the LDR category and are developed with large, single-family residences. Lands west of the project site

are within the LDR and Recreation categories and support undeveloped dune habitat within a vacant residential parcel and the Cypress Point Golf Course. The area east of the project site on the opposite side of Signal Hill Road is within the Shoreline designation and consists of undeveloped dune habitat. This area is designated as a Preservation Area by the Del Monte Forest LUP.

Land use and zoning designations are shown in Figures 3-1 and 3-2, below.

3.2 REGULATORY SETTING

State CEQA Guidelines §15125(d) states, “the EIR shall discuss any inconsistencies between the proposed project and applicable general plans and regional plans.” While CEQA requires a discussion of consistency with public plans, inconsistency does not necessarily lead to a significant impact. Inconsistency with public plans creates significant impacts under CEQA only when an adverse physical effect on the environment would result from the inconsistency. This section generally describes the plans and policies applicable to the proposed project. A detailed consistency analysis is included within each environmental issue area discussion in Chapter 4 of this EIR. Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

3.2.1 Applicable Plans and Policies

The following plans and policies are applicable to the proposed project and are described in the following sections:

- California Coastal Act
- Del Monte Forest Area Land Use Plan, dated May 2012
- Monterey County Coastal Implementation Plan
- Monterey County Zoning Coastal Implementation Plan, Title 20 (CIP Section 1)
- Del Monte Forest Coastal Implementation Plan, Part 5, dated May 2012
- Local Coastal Program, certified 1987
- 1982 Monterey County General Plan
- 2014-2019 Housing Element
- Water Quality Control Plan for the Central Coast Basin
- 2008 Air Quality Management Plan
- 2014 Regional Transportation Plan

3.2.1.1 State Plans and Policies

California Coastal Act

The California Coastal Act (Public Resources Code [PRC] §30000 et. seq.) is intended to “protect, maintain, and, where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources.” The coastal zone is established by the California Coastal Commission (CCC), which has authority to permit, restrict, or prohibit certain development within the zone. The Coastal Act mandates protection of public access, recreational opportunities, and marine and land resources.

Figure 3-1. Land Use Designations

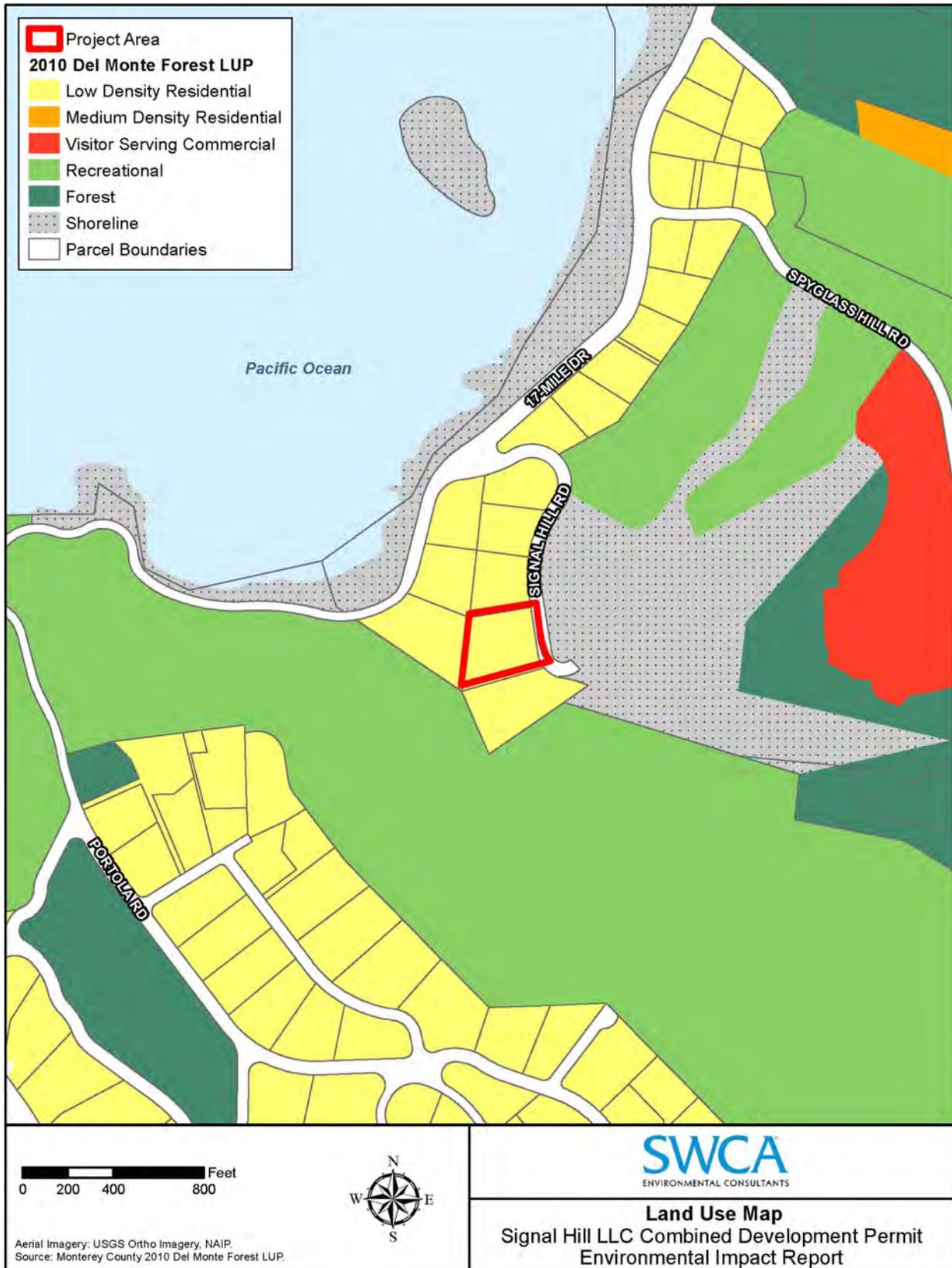
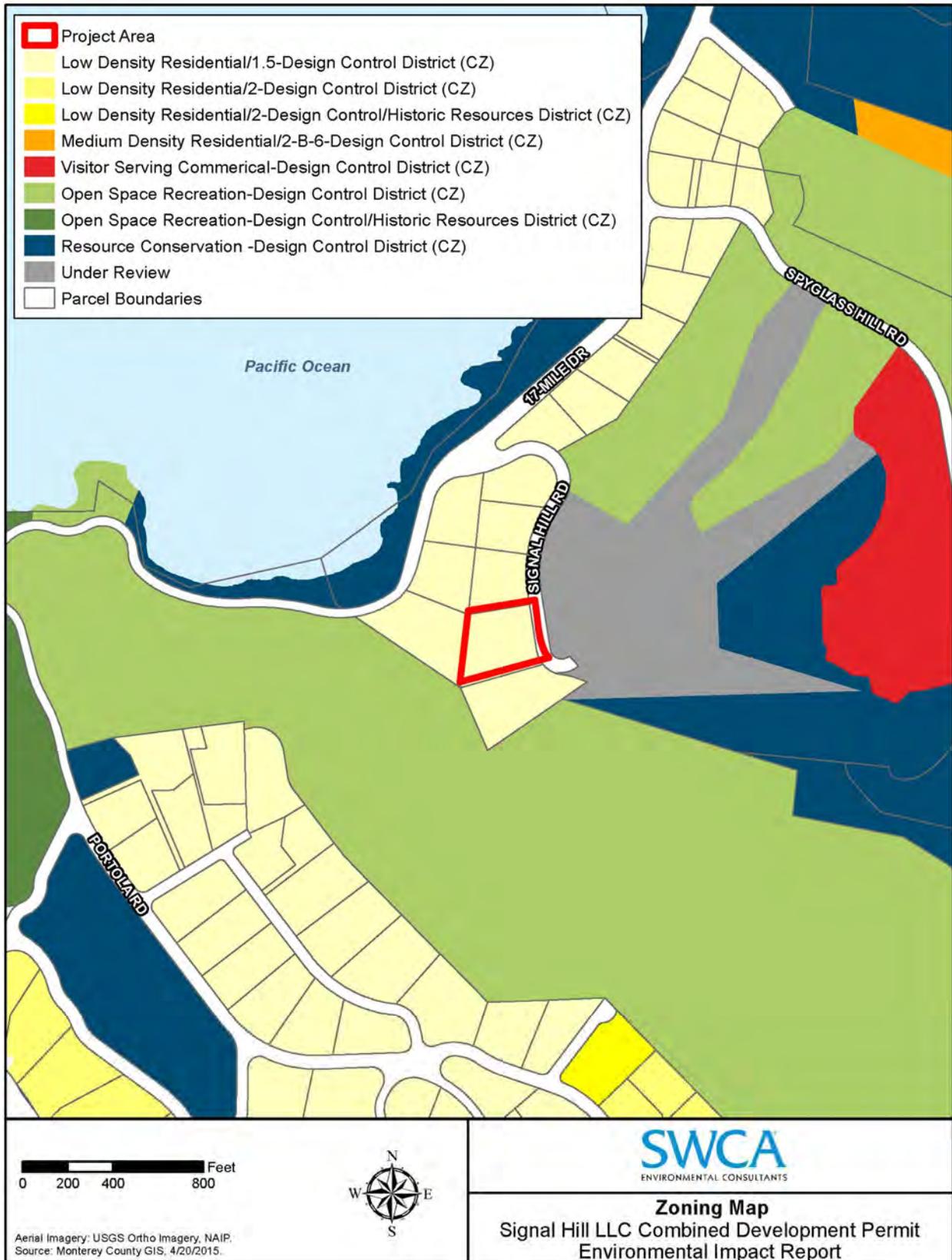


Figure 3-2. Zoning Map



This umbrella legislation requires local governments to prepare a land use plan and schedule of implementing actions to carry out the policies of the Coastal Act within local jurisdictions. Each local government within the state coastal zone must prepare a LCP for the portion of the coastal zone within its jurisdiction. The LCP must be certified by the CCC. The LCP includes a land use plan and implementing ordinances and actions. The land use plan that is part of the LCP indicates the kind, location, and intensity of land uses and applicable resource protection and development policies in the coastal zone.

3.2.1.2 County of Monterey Plans and Policies

Del Monte Forest Area Land Use Plan

The project site is located within the County of Monterey Del Monte Forest Area LUP. The Del Monte Forest Area LUP was first certified in 1984, and was last amended and adopted on May 22, 2012. The LUP is a component of the Monterey County LCP. The Del Monte Forest runs along 7 miles of almost all privately owned land and continues inland for 3 to 4 miles. Key LUP policies include: preservation of the freshwater and marine resources, protection of environmentally sensitive habitat areas, long-term preservation of forest areas, hazard avoidance, protection of scenic and visual resources, preservation of cultural resources, land use and development consistent with the LCP, adequate circulation and access, adequate water and wastewater services, provisions for housing opportunities, and maximization of public access to and along the shoreline.

The LUP is organized into six chapters:

- *Chapter 1, Introduction*, provides background context and information related to the Coastal Act, the County of Monterey LCP, and the Del Monte Forest LUP, including presenting the LUP's overall key policies.
- *Chapter 2, Resource Management Element*, identifies the main natural resource policies and provisions of this LUP, including identifying the Del Monte Forest natural resource setting, and the ways in which such resources are to be protected and managed over time.
- *Chapter 3, Land Use and Development Element*, identifies the main land use and development policies of the LUP, including parameters related to the balance between coastal zone resource conservation and development, as well as land use designations for Del Monte Forest property. The LUP is organized around eight planning areas and includes land use and development consideration for each of the planning areas. This chapter also includes a description of the Pebble Beach Company 2011 Concept Plan.
- *Chapter 4, Land Use Support Element*, presents the land use support policies of the LUP. It describes existing support systems in the forest, as well as the system improvements necessary to support forest development and land uses, including requirements related to provision of sometimes limited services. The chapter addresses circulation, water and wastewater services, and housing.
- *Chapter 5, Public Access Element*, presents additional public access policies, including identifying specific physical and visual access facilities and requirements along the Del Monte Forest shoreline and within the area as a whole. This chapter provides direction on how best to maximize public access and recreational opportunities in light of the unique ownership and private use patterns within the Del Monte Forest Area.

- *Chapter 6, Implementation*, describes the LUP's implementing mechanisms, and provides for its administration through the county's delegated coastal permitting authority.

Monterey County Coastal Implementation Plan

The Monterey County Coastal Implementation Plan was adopted by the Monterey County Board of Supervisors and certified by the CCC in May 2012. The Coastal Implementation Plan is published in six parts, including: Title 20 – The Coastal Zoning Ordinance (Part 1); Regulations for Development (Parts 2 through 5, applicable to specific planning areas); and Appendices and Applicable County Ordinances (Part 6). Parts applicable to the proposed project are described below.

Title 20 – The Coastal Zoning Ordinance of the County of Monterey

The Coastal Zoning Ordinance implements the Monterey County LCP. It establishes districts, regulations, and permit processes for unincorporated areas of the County within the Coastal Zone. The ordinance identifies land uses which are allowed within each coastal zoning district (or allowed subject to a discretionary permit process), and uses which are prohibited. The ordinance also regulates structural height, bulk, and setbacks, and prescribes other site development amenities and requirements such as parking, landscaping, and lighting control, within each district.

The Coastal Zoning Ordinance's identified purposes are:

- a. To assist in providing a definite plan of development for the County, and to guide, control, and regulate the future growth of the County, in accordance with the zoning plan;
- b. To protect the character and the social and economic stability of agricultural areas, residential areas, commercial areas, industrial areas, and other areas within the County and to assure the orderly and beneficial development of such areas;
- c. To protect the public safety from the location of structures and other uses of land which may cause interference with existing or prospective traffic movement on highways;
- d. To implement the Monterey County LCP, specific plans, and the policies and standards adopted by the Monterey County Board of Supervisors;
- e. To provide regulations of sufficient clarity and detail for the location and nature of Zoning Districts to provide the appropriate authorities and the public with clear standards and direction in the land use decision making process;
- f. To provide a sufficient level of review and public hearing processes for adequate and necessary public participation in the review of development projects; and
- g. To provide standards and procedures for preservation and exercise of property development rights.

Specific regulations in Title 20 applicable to the project are briefly described below.

Low Density Residential District

This district identifies areas to accommodate low density and intensity uses in the rural and suburban areas of the County. Allowable uses include the first single-family residence per legal

lot of record. The Coastal Zoning Ordinance establishes site development standards for the LDR District related to minimum building site area, maximum development density, structure height and setbacks, minimum distance between structures, maximum building site coverage, floor area ratio, parking, landscaping, lighting, and signs. The project site is within the LDR District.

Design Control District

The Design Control District (“D” District) provides regulation of the location, size, configuration, materials, and colors of structures and fences in areas of the County where design review of structures is considered appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. Proposed development within the “D” district is subject to submittal and approval of a Design Approval Application. The “D” district applies to all areas within the Del Monte Forest Land Use Plan.

Historic Resources District

The Historic Resources District (“HR” District) provides incentives and regulation for the protection, preservation, enhancement, and perpetuation of structures and areas of historic, architectural, and engineering significance that contribute to the historic heritage of Monterey County, and to encourage conservation of the County’s important representative and unique archaeological sites and features. The regulations in this chapter require any application for development or alteration of existing structures within the “HR” District to be reviewed by the Historic Resources Review Board. Feasible mitigation measures recommended by the Historic Resources Review Board must be made conditions of approval of any application. It also requires rezoning to add an “HR” District as a condition of approval of an application for demolition or alteration of an identified historic resource.

Development on Slopes in Excess of 30%

This section establishes regulations, procedures, and standards to consider development on slopes in excess of 30%. Development in these areas requires a Coastal Development Permit except in specifically identified situations.

Historic Resources

This section provides regulations for historic resources and is intended to provide flexibility of zoning standards to encourage and accommodate the renovation and rehabilitation of historic resources and structures within historic districts. The section provides that the Director of Planning and Building Inspection may grant an exception to zoning district regulations when necessary to permit the preservation or restoration of or improvements to a structure designated as historically significant, including regulations related to parking, yards, height, and site coverage. Allowable exceptions do not include approval of uses not otherwise allowed by applicable zoning district regulations.

Ridgeline Development

This section provides regulations for proposed ridgeline development, including requirements for a Coastal Development Permit based on findings that the ridgeline development will not create a substantially adverse visual impact when viewed from a common public viewing area and no alternative location exists on the site which would allow a reasonable development without the potential for ridgeline development.

*Part 5 – Regulations for Development in the Del Monte Forest Land Use Plan Area
(Chapter 20.147)*

Part 5 of the Coastal Implementation Plan establishes regulations, standards, and procedures to implement the policies of the Del Monte Forest LUP, including those related to freshwater and marine resources, environmentally sensitive habitat areas, forest resources, hazards, scenic and visual resources, cultural resources, land use and development, circulation, water and wastewater, housing, and public access. These regulations were adopted by the County on May 22, 2012.

Other Applicable County Ordinances

Other applicable County Ordinances include Titles 15, 16, and 18. Relevant sections that apply within the Coastal Zone and are applicable to the project are briefly described below.

Title 15 – Public Services

Title 15, Chapter 15.04 Small Water Systems

This chapter is intended to ensure that the water delivered by domestic public water systems of Monterey County shall be pure, wholesome, and potable at all times. The chapter establishes regulations for the construction or operation of domestic water systems, including operational requirements, water quality standards, design and construction standards, and monitoring and reporting requirements.

Title 15, Chapter 15.20 Sewage Disposal

This chapter regulates the disposal of wastewater associated with human habitation. It prohibits the use or maintenance of any building, structure, or place where people reside, congregate, or are employed unless all wastewater discharge lines are connected either to a permitted septic tank system or to an approved sanitary sewer system.

Title 16 – Environment

Title 16, Chapter 16.08 Grading

The purpose of this chapter is to safeguard health, safety, and the public welfare, to minimize erosion, protect fish and wildlife, and to otherwise protect the natural environment of Monterey County. This chapter establishes rules and regulations to control all grading activities (including excavations, earthwork, road construction, fills, and embankments), establishes the administration procedure for issuance of permits, and provides for approval of plans and inspections of grading construction.

Title 16, Chapter 16.12 Erosion Control

The purpose of this chapter is to eliminate and prevent conditions of accelerated erosion that have led to, or could lead to, degradation of water quality, loss of fish habitat, damage to property, loss of topsoil or vegetation cover, disruption of water supply, or increased danger from flooding. This chapter requires control of all existing and potential conditions of accelerated (human-induced) erosion. It sets forth required provisions for project planning, preparation of erosion control plans, runoff control, land clearing, and winter operations, and establishes procedures for administering those provisions.

Title 18 – Buildings and Construction

This title establishes the building standards of Monterey County, permit requirements, and authority of the Building Official. It prohibits the use of any building or structures which are not allowed under this title and it formally adopts the 2013 California Building Code (California Code of Regulations [CCR] Title 24, Part 2, Volumes 1 and 2), which is based on the 2012 International Building Code with applicable amendments from the State of California, and the local amendments identified within Title 18, as the Building Code for the County of Monterey.

1982 Monterey County General Plan

California state law requires each city and county to adopt “a comprehensive, long-term general plan for the physical development of the county or city, and any land outside its boundaries which bears relation to its planning.” The General Plan has been called the local land use “constitution” or “blueprint” for the community’s long-term vision of future growth. A general plan must address nine specific subject areas: land use, circulation, housing, conservation, open space, seismic safety, noise, scenic highways, and safety.

The policies of the General Plan underlie most land use decisions. The County’s zoning ordinance and any specific plans are required to be consistent with the General Plan. In addition, subdivisions, development projects, capital improvements, development agreements, and many other land use actions must conform to the adopted General Plan. These and other requirements for the General Plan are set out in state planning law (California Government Code §65300 et seq.).

The 1982 Monterey County General Plan is applicable to all areas of the county within the Coastal Zone. The General Plan is organized into four components: natural resources, environmental constraints, human resources, and county development. Each of these components addresses subject matter required for one or more mandatory general plan elements. Some components also address subject matter which the County is permitted, but not required, to address.

The General Plan includes policy guidance at two levels of detail: countywide and for each of the County’s geographic sub-areas, known as planning areas. The General Plan includes both the General Plan document, which contains countywide goals, objectives, and policies, and the countywide LUP. Applicable goals, objectives, and policies of the 1982 General plan have been included in this EIR analysis, as appropriate.

Water Quality Control Plan for the Central Coast Basin

The Water Quality Control Plan for the Central Coast Region (Basin Plan) is the Central Coast Regional Water Quality Control Board’s (RWQCB) master water quality control planning document. It designates beneficial uses and water quality objectives for waters of the State, including ocean water, surface waters, and groundwater. It also includes programs of implementation to achieve water quality objectives. Periodically, Central Coast RWQCB considers amendments to the Basin Plan. Each amendment is subject to an extensive public review process. At a public hearing, Central Coast RWQCB may act to adopt the amendment. Adopted amendments are subject to approval by the State Water Resources Control Board (SWRCB), the Office of Administrative Law, and, in most cases, the U.S. Environmental Protection Agency (USEPA).

2008 Air Quality Management Plan

The Monterey Bay Air Resources District (MBARD)~~Monterey Bay Unified Air Pollution Control District (MBUAPCD)~~ is one of 35 air districts established to protect air quality in California. Its jurisdiction is the North Central Coast Air Basin (NCCAB), comprised of Monterey, Santa Cruz, and San Benito Counties. In 1988, the State Legislature adopted the California Clean Air Act (CCAA), which required each nonattainment district in the state to adopt a plan showing how the State Ambient Air Quality Standard (AAQS) for ozone would be met in their area of jurisdiction.

The CCAA (Health & Safety Code §§40910 et seq.) required initial preparation of an Air Quality Management Plan (AQMP) in 1991, with subsequent updates every 3 years. This is ~~MBUAPCD's~~ MBARD's fifth update to the 1991 AQMP. There have been many changes both in terms of air quality and the regulatory setting since the initial AQMP in 1991. In particular, in 2006, the California Air Resources Board (CARB) revised the State AAQS and made it considerably more stringent by adding an 8-hour average to the standard, which previously only included a 1-hour average. Both components of the standard must now be met before CARB can designate that an area has attained the standard. Therefore, the 2008 AQMP is a transitional plan shifting the focus of planning efforts from achieving the 1-hour component of the State AAQS to achieving the new 8-hour requirement.

The plan includes an updated air quality trends analysis, an updated emission inventory, control measures to meet AAQS for ozone, and an updated description of the area's Transportation Control Measures.

2014 Regional Transportation Plan

The Transportation Agency for Monterey County (TAMC) is designated by the State of California to serve as the Regional Transportation Planning Agency for the County. The mission of TAMC is to proactively plan and fund a transportation system that enhances mobility, safety, access, environmental quality, and economic activities by investing in regional transportation projects serving the needs of Monterey County residents, businesses, and visitors.

The 2014 Regional Transportation Plan (RTP) is a road map to meeting transportation challenges and achieving TAMC's goals. TAMC prepares the RTP every 4 years, which provides a basis for actions to allocate state and federal funding to transportation projects. The main components of the 2014 RTP include: a policy element, a financial element and fund estimate, transportation investments included in the plan, and environmental documentation.

TAMC prepares its plan in coordination with the Association of Monterey Bay Area Governments (AMBAG), which prepares a Metropolitan Transportation Plan for the three-county Monterey Bay Area in its role as the federal Metropolitan Planning Organization for this region. These plans outline TAMC's priorities for meeting future transportation and mobility needs, consistent with adopted policy goals and objectives, as well as within the constraints of transportation revenues forecast over a 20-year planning horizon.

3.3 CUMULATIVE DEVELOPMENT SCENARIO

3.3.1 CEQA Requirements

State CEQA Guidelines §15355 defines a "cumulative impact" as two or more individual effects that, when considered together, are considerable or which compound or increase other environmental impacts. Cumulative impacts are changes in the environment that result from the

incremental impact of development of the proposed project and all other nearby “related” projects. For example, the traffic impacts of two projects in close proximity may be insignificant when analyzed separately, but could have a significant impact when the projects are analyzed together.

The State CEQA Guidelines require that cumulative impacts be discussed when a project’s incremental effect is cumulatively considerable. The discussion of cumulative impacts must reflect the severity of the impacts and their likelihood of occurrence, but the discussion need not provide as much detail as is provided for the effects attributable to the project alone. The discussion should be guided by the standards of practicality and reasonableness. State CEQA Guidelines §15130 states that the following elements are necessary to support an adequate discussion of cumulative impacts:

Either:

- 1. A list of past, present, and probable future projects producing related or cumulative impacts, including, if necessary, those projects outside the control of the agency, or*
- 2. A summary of projections contained in an adopted local, regional or statewide plan, or related planning document, that describes or evaluates conditions contributing to the cumulative effect.*

3.3.2 Cumulative Development Scenario

For the purpose of this EIR, a list of past, present, and reasonably anticipated future projects will be used for the cumulative analysis (State CEQA Guidelines §15130).

The County Planning Department has provided a list of past and present projects occurring in the Del Monte Forest Area (refer to Appendix B). Since 2008, approximately 270 permit applications within the Del Monte Forest Area have been approved by the County, including requests for administrative permits, coastal administrative permits, coastal development permits, and combined development permits. Of them, approximately 80% were for single-family residential developments. The remainder included commercial redevelopment (approximately 5%), tree removals and other minor driveway and landscaping improvements and/or revegetation (approximately 6%), infrastructure improvements (approximately 2%), demolition of existing structures (approximately 2%), parcel/land use modifications (approximately 3%), and miscellaneous (e.g., Pebble Beach Company Concept Plan, revisions to conservation easements, minor amendments and extensions to existing permits [approximately 3%]).

In 2012, the County approved the Pebble Beach Company Concept Plan (PLN100138) to allow phased development and preservation of the remaining Pebble Beach Company properties located within the Del Monte Forest Area. The Concept Plan consists of 12 vesting tentative maps for the subdivision of approximately 899.6 acres, resulting in the creation of 90 to 100 single-family residential lots, the renovation and expansion of visitor-serving uses, and the preservation of 635 acres as forested open space. Entitlements included multiple Coastal Development Permits, Coastal Administrative Permits, and Design Approvals to allow the following: new structural development at four primary sites (The Lodge at Pebble Beach, The Inn at Spanish Bay, Spyglass Hill, and the Pebble Beach Equestrian Center); new and amended General Development Plans at five locations; lot line adjustments; structural and hardscape development, including associated grading; development within 100 feet of environmentally sensitive habitat; development on slopes exceeding 30 percent; tree removal; and development within 750 feet of

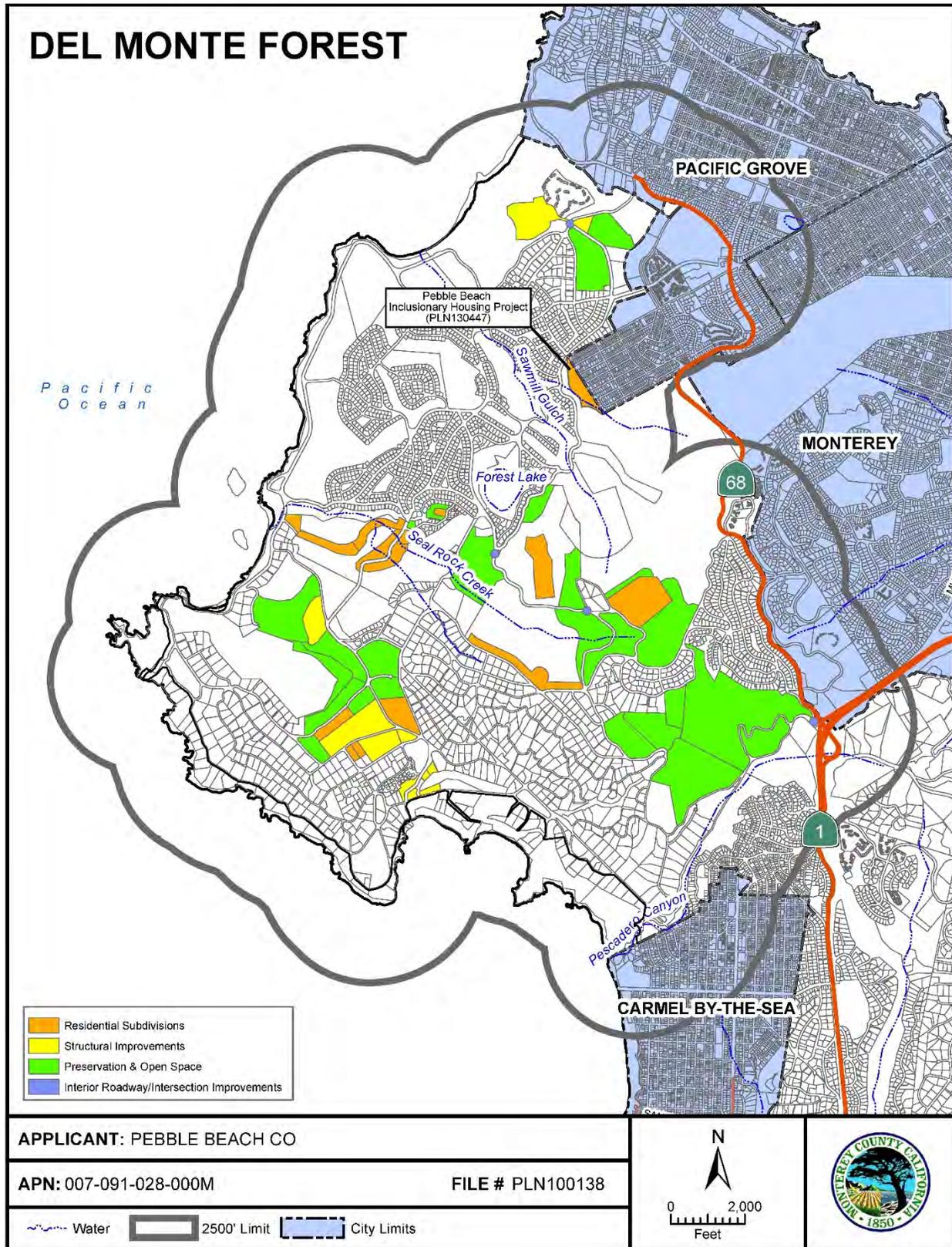
a known archaeological resource. The Concept Plan projects are located throughout Pebble Beach and are shown in Figure 3-3, below.

In 2016, the Pebble Beach Inclusionary Housing Project (PLN130447) was approved to satisfy an inclusionary housing Condition of Approval of the Pebble Beach Company Concept Plan. The project consists of 24 affordable housing units on a vacant site located easterly of SFB Morse Drive and south of Ortega Road, in an area also known as Area D. The approved development consists of 2.7 acres of development footprint and 13.2 acres set aside as permanent open space.

For purposes of this EIR, the cumulative development scenario focuses on the Del Monte Forest Area and development consistent with the growth pattern observed over the last 10 years and as envisioned in the approved 2012 Pebble Beach Company Concept Plan. The cumulative development scenario assumes a similar level and type of growth in the Del Monte Forest Area as has occurred since 2008. The list of past and present projects occurring in the Del Monte Forest Area since 2008 is provided in Appendix B. The location of entitlements approved under the 2012 Pebble Beach Company Concept Plan are shown in Figure 3-3.

Based on these assumptions, cumulative impacts are assessed in Chapter 4, Environmental Impact Analysis, under each resource issue.

Figure 3-3. Pebble Beach Company Concept Plan Approved Entitlements



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CHAPTER 4

ENVIRONMENTAL IMPACT ANALYSIS

This chapter of the EIR evaluates the potential of the proposed project to result in significant impacts to the environment as a result of construction, operation, and maintenance of the proposed project. This chapter provides a full scope of environmental analysis in conformance with the State CEQA Guidelines.

The following environmental resources are assessed in this chapter in accordance with Appendix G of the State CEQA Guidelines (refer to Table 4-1).

Table 4-1. Summary of Environmental Impacts Analysis

Environmental Resource	Less than Significant Impacts	Significant, but Mitigable Impacts	Significant, Unavoidable, Adverse Impacts
Aesthetic Resources		X	
Agricultural Resources	X		
Archaeological Resources		X	
Air Quality and Greenhouse Gases		X	
Biological Resources		X	
Geology and Soils		X	
Hazards and Hazardous Materials		X	
Historical Resources			X
Hydrology and Water Quality		X	
Land Use and Planning	X		
Mineral Resources	X		
Noise		X	
Paleontological Resources	X		
Population and Housing	X		
Public Services and Utilities	X		
Recreation	X		
Transportation and Circulation	X		

Each environmental issue area discussed in Chapter 4 of this EIR has been divided into subsections, as follows:

- **Existing Conditions:** The description of the physical environmental conditions in the vicinity of the project, as they exist at the time of the established baseline physical conditions.

- **Regulatory Setting:** The regulations in force at the time the NOP is published. These are the applicable regulations governing each environmental topic, such as the California Endangered Species Act and its requirements for protecting rare and endangered species. This is not an exhaustive analysis of the regulations, but rather information to assist the reader in understanding the potential impacts of the project from a regulatory perspective. This section also includes an analysis of the project's consistency with applicable goals, policies, and implementation measures specific to the particular environmental topic.
- **Thresholds of Significance:** The thresholds used to evaluate each environmental topic are usually based on Appendix G of the State CEQA Guidelines, or are standard procedures related to existing regulations or are standards in the industry.
- **Impact Assessment Methodology:** Methodology used to determine the impacts associated with the project, such as measurements or field investigative processes.
- **Impact Assessment and Mitigation Measures:** These include the significant environmental effects of the proposed project, as further defined below. The impacts are identified and then are followed by the mitigation measures that can minimize significant impacts; mitigation measures must be enforceable and feasible. Where more than one mitigation measure could be used to reduce a significant effect, each is discussed and rationale given for determining the preferable mitigation measure. In addition, there must be an essential nexus between the mitigation measure and a legitimate governmental interest, and the mitigation measure also must be "roughly proportional" to the impacts of the project.
- **Residual Impacts:** The statement of the level of impact, significant or insignificant, that would remain after the implementation of identified mitigation.
- **Cumulative Impacts:** The cumulative effects of the project when the project's incremental effect is cumulatively considerable.
- **Secondary Impacts:** If implementation of an identified mitigation measure would cause one or more significant effects in addition to those that would be caused by the project as proposed, the effects of the mitigation measure are discussed but in less detail than the significant effects of the project as proposed.

The term "significance" is used throughout the EIR to characterize the magnitude of the projected impact. For the purpose of this EIR, a significant impact is a substantial or potentially substantial change to resources in the proposed project area or the area adjacent to the proposed project. In the discussions of each issue area, thresholds are identified that are used to distinguish between significant and insignificant impacts. To the extent feasible, distinctions are also made between local and regional significance and short-term versus long-term duration. Where possible, measures have been identified to reduce project impacts to less than significant levels. CEQA states that public agencies should not approve projects as proposed if there are feasible mitigation measures available that would substantially lessen the environmental effects of such projects (PRC §21002). Included with each mitigation measure are the plan requirements needed to ensure that the mitigation is included in the plans and construction of the project and the required timing of the action (e.g., prior to development of final construction plans, prior to commencement of construction, prior to operation, etc.).

Environmental Baseline

An EIR must describe the physical environmental conditions in the vicinity of the project as they exist at the time the NOP is published (or if no NOP is published, at the time environmental analysis is commenced) from both a local and regional perspective (State CEQA Guidelines §15125(a)). The State CEQA Guidelines direct that “this environmental setting will normally constitute the baseline physical conditions by which a lead agency determines whether an impact is significant.”

The environmental setting at the time the NOP for the proposed project was published (February 17, 2015) constitutes the environmental baseline for the analyses in this EIR for all issue areas. Changes in conditions at the site and to the historic residence located at the project site have occurred since the NOP was published, including ~~unpermitted tree removals and~~ neglect, damage, dereliction, and destruction of the historic residence, resulting in various ongoing code enforcement actions being initiated by the County Code Enforcement Division. The historic residence is now in disrepair and a number of restoration activities have been recommended by the Historic Resources Review Board. ~~Most recently, the~~ The property owner has ~~replanted trees as part of a Restoration Plan required by the Board of Supervisors (File PLN100418) and~~ stabilized the historic structure pursuant to a “Mothball” Protective Plan required by the Historical Resources Review Board (Construction Permit No. 15CP011861 – 1170 Signal Hill Road). The analysis in Section 4.3, Historical Resources, does not account for these changes in the site setting and condition of the historic residence. The significance of potential impacts of the project have been measured by comparison to the baseline conditions that were existing at the time of NOP issuance.

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4.1 AESTHETIC RESOURCES

This section of the EIR identifies and evaluates potential aesthetic (visual resource) impacts resulting from implementation of the project. The analysis focuses on the potential for the project to result in impacts to visual resources as seen from public vantage points in the area.

4.1.1 Existing Conditions

4.1.1.1 Project Site

The 2.22-acre project site is located approximately 750 feet southeast of the intersection of 17-Mile Drive and Signal Hill Road, and is surrounded by a single-family residence to the south, the Cypress Point Golf Course to the south and southwest, and 17-Mile Drive and the Pacific Ocean to the west. Undeveloped dune habitat is located across Signal Hill Road to the east and single-family residences are located to the north, off 17-Mile Drive and Signal Hill Road (refer to Figures 2-1 and 2-2).

The project site is located within an existing residential neighborhood above 17-Mile Drive, overlooking the Pacific Ocean, in the vicinity of Cypress Point. The site is currently developed with a single-family residence designed by eminent southern California architect Richard Neutra. The residence was built in 1957–1958 and embodies the characteristics of post-war American International Style architecture. The residence was found eligible for listing on the NRHP by SHPO and is listed in the CRHP. Please refer to EIR Section 4.3, Historic Resources, for additional information and background regarding the existing residence and its historical significance as determined by SHPO.

The existing 4,125-square-foot residence includes the original 3,299-square-foot, two-story, wood-frame residence, integral three-car garage, and small studio addition at the southwest corner of the upper level (added in 1993). Existing development on the site also includes approximately 2,825 square feet of asphalt driveway and concrete patios adjacent to Signal Hill Road in the back of the residence. At the time of this report, the existing residence was surrounded by 6-foot-tall chain link fencing covered with opaque dark green shade cloth. The residential structure itself was in a visible state of disrepair and many of the windows were covered with plywood sheathing. Metal poles, flagging, and ropes left over from previous story-pole studies were strewn on and around the structure, adding to the visual clutter of the site.

The project site is zoned LDR. The project site slopes downward from east to west, with the existing residence located at the upper end of the parcel near Signal Hill Road. The existing natural grade underlying the area proposed for development ranges from 105 to 95 feet above msl, resulting in an average grade of 100 feet above mean sea level (msl). The project site is located on a remnant native sand dune, and existing vegetation on the project site includes native dune habitat, Monterey cypress trees, and Monterey pine trees, and non-native eucalyptus trees, ice plant, and European beachgrass.

Within the immediate area of the residence are nine Monterey cypress trees (two of which were recently planted as part of a Restoration Plan required by the Board of Supervisors [File PLN100418] to restore vegetation removed without permits), one eucalyptus species, and several shrubs of varying sizes. In addition, a grouping of mature Monterey cypress begins south of the driveway and continues south onto the adjacent residential lot.

Figure 4.1-1. The existing residence as seen from Signal Hill Road looking south.



Figure 4.1-2. The western portion of the project site.



4.1.1.2 Surrounding Area

The project is located within the 775-acre Spyglass Cypress Planning Area within the Del Monte Forest Area LUP, which encompasses the shoreline south of Seal Rock Creek to and including Cypress Point, including the Cypress Point and Spyglass Hill Golf Courses. This area also includes a combination of limited residential parcels, protected open space areas, and several coastal access points along 17-Mile Drive (refer to Figures 4.1-3 and 4.1-4). The Cypress Point shoreline is rocky with rock outcrops supporting Monterey cypress trees. The northerly portion of the planning area, generally inland of Fanshell Beach and the Seal Rock area, is primarily made up of dune habitat along with a native Monterey pine forest transition zone that extends inland.

Figure 4.1-3. The shoreline visual character typical of the area.



The Del Monte Forest area is recognized for its natural beauty and is well known for its mostly rocky shoreline that extends from the bluffs and dunes up through and into a sloped landform covered by native Monterey pine forest. The Del Monte Forest Area LUP (County of Monterey 2012a) describes the region as follows: “The spectacular meeting of forest, land, and sea in the Del Monte Forest area is not only an important scenic attraction of the Monterey Peninsula, for both residents and visitors, but vital habitat for a variety of vegetation and wildlife.” The Del Monte Forest shoreline includes the white sand dunes and beaches of Spanish Bay, Fanshell Beach, and Signal Hill, along with the craggy shoreline from Cypress Point south to Pescadero Point.

Figure 4.1-4. The overall visual context includes shoreline, ocean, vegetated hills, residences and golf course development.



The primary roadway through the Spyglass Cypress Planning Area is 17-Mile Drive, as it generally follows the coastline along the southwestern area of the peninsula. A renowned visitor destination, 17-Mile Drive provides direct visual access to both the immediate coastline as well as more inland forested areas. Several beach access areas and turnouts are found along the way. As a result, bicyclists and pedestrians are commonly seen along 17-Mile Drive and its adjacent shoulders. 17-Mile Drive passes to the west of the project site at a distance of approximately 500 feet.

The project site is located just north of the Cypress Point Golf Course, on a mostly exposed slope oriented to the southwest. Because of the sparsely vegetated slope and golf course fairways, the areas south and west of the project site have a mostly open visual character. South and east of the Cypress Point Golf Course, the forest becomes more visually dominant. In this area, residential structures are visible, but noticeability tend to be moderated by the surrounding vegetation. The mature forest expands to the northeast along the ridge east of the project site. From many viewpoints along 17-Mile Drive, the forested ridgeline creates the backdrop and horizon to the east.

Northwest of the project site along 17-Mile Drive, residences and development are more noticeable. These areas tend to be within upland dune landscapes that naturally support fewer large trees. As a result, development plays a larger role in defining the visual character.

Figure 4.1-5. The visual context in the vicinity of the project. The project site can be seen in the center of the photograph.



The residences which can be seen in the vicinity of the project and north along 17-Mile Drive represent a wide variety of architectural styles and forms. Although several residences are stylistic expressions, many are traditional ranch, bungalow, mission, and Mediterranean-influenced structures. The sizes and visual massing of the residences also varies. It appears that the smaller structures tend to be of an older vintage, while the newer (or more recently remodeled) residences seem to be larger in both square footage and visual mass. The topographic rise inland from 17-Mile Drive increases the visual presence of many residences, particularly those closer to the roadway. The majority of residences visible from 17-Mile Drive sit below the ridgeline and do not interfere with the horizon (refer to Figure 4.1-6). Several residences can be seen extending above the ridgeline (refer to Figures 4.1-7 and 4.1-8). In a number of cases the proximity to 17-Mile Drive appears to make ridgeline silhouetting unavoidable; however, in general, the residences along 17-Mile Drive have roof lines and shapes which are sympathetic (congruous) to the surrounding terrain and help the structures visually blend with their setting. There are a few notable exceptions where the roof profiles extend into the skyline with geometric forms that contrast with the natural forms of the hills and background (refer to Figures 4.1-6 through 4.1-8).

Most of the residences in this area are moderately landscaped, and, in many instances, vegetation plays an important part in reducing noticeability of the structures. Often the residences are “back-dropped” by a substantial amount of mature trees, which disguises the building’s silhouette and somewhat subordinates the development to the larger landscape view. Rarely is substantial landscaping seen along the western sides of the residences, most likely due to vegetation’s potential effect on quality views to the Pacific Ocean and coastline as seen from those locations. One notable exception is the existing residence immediately south of the project on Signal Hill Road. This structure is almost entirely screened from view along 17-Mile Drive by Monterey cypress trees and other vegetation (refer to Figure 4.1-9).

Figure 4.1-6. Many of the existing residences along 17-Mile Drive are visually subordinate to the natural setting.



Figure 4.1-7. Several existing residences along 17-Mile Drive are seen extending above the ridgeline.



Figure 4.1-8. Existing residences along 17-Mile Drive.



Figure 4.1-9. The existing residence adjacent to the project site at the end of Signal Hill Road is barely noticeable on the hillside.



4.1.2 Regulatory Setting

The project site is located within the Spyglass Cypress Planning Area of the Del Monte Forest Area LUP, a component of the Monterey County LCP. The project site is identified on the Del Monte Forest Visual Resources Map (Figure 3 of the Del Monte Forest Area LUP; County of Monterey 2012b) as being within the boundary of the Visual Resources Viewshed of 17-Mile Drive and Vista Points. Applicable visual regulations, policies, and goals are listed below.

4.1.2.1 State Regulations

The California Environmental Quality Act

CEQA establishes that it is the policy of the state to take all action necessary to provide the people of the state “with...enjoyment of aesthetic, natural, scenic and historic environmental qualities” (PRC §21001(b)). The purpose of this EIR is to analyze and disclose potential project-related environmental effects consistent with CEQA definitions and guidelines.

The California Coastal Act, Section 30251

The coastal policies adopted in the California Coastal Act of 1976 establish the standard of review regarding protection of visual resources in the coastal zone. The intent of the Coastal Act visual policy and the basis for establishment of significance thresholds is defined in §30251, which states:

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas.

4.1.2.2 Local Regulations and Policies

Del Monte Forest Area Land Use Plan

The Del Monte Forest Area LUP (County of Monterey 2012a) is a component of the Monterey County LCP. Chapter 2 of the LUP contains the Resource Management Element, which identifies the main natural resource policies and provisions of this LUP, including identifying the Del Monte Forest natural resource setting and the ways in which such resources are to be protected and managed over time. Chapter 2 includes a section for the protection of Scenic and Visual Resources, which describes the visual character of the Del Monte Forest Area:

“The remarkable mingling of ocean, land, and forest found in the Del Monte Forest Area provides scenic resources for the entire Monterey Peninsula. Ridgeline vistas, coastline panoramas, tree-lined corridors, and unique tree and rock formations are all appreciated by the region’s many residents and visitors alike. Placement and design of new development must not injure the visual integrity of the area. The Coastal Act calls for protection of views to and along the ocean, preservation of natural landforms, protection of special communities, and visually compatible development which is sensitive to the character and scenic assets of the area. Considering the high visibility of the Del Monte Forest, including the coastline and wooded ridges as seen from more distant vista points, LUP scenic and visual policies must take into account not only views from within the Forest but also significant views of the Forest area from outside its boundaries. Preservation

and enhancement of scenic resources within the Del Monte Forest Area is thus a significant component of maintaining scenic and visual character of the greater Monterey Peninsula and the Monterey County coastline as a whole. Protection of significant public views is most critical in this context[...] Extended use of scenic easements, public open space, design control, site control, and responsive planning and zoning are methods that will be useful in attaining Coastal Act objectives.”

Title 20 – Coastal Zoning Ordinance for the County of Monterey

The Coastal Zoning Ordinance implements the Monterey County LCP. It establishes districts, regulations, and permit processes for unincorporated areas of the County within the Coastal Zone. The ordinance includes regulations for proposed ridgeline development, including requirements for a Coastal Development Permit based on findings that the ridgeline development will not create a substantially adverse visual impact when viewed from a common public viewing area and no alternative location exists on the site which would allow a reasonable development without the potential for ridgeline development.

4.1.2.3 Applicable State, Regional, and Local Land Use Plans and Policies Relevant to Aesthetics (Visual Resources)

Table 4.1-1 lists applicable state, regional, and local land use policies and regulations pertaining to visual resources that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented above in Section 4.1.2, Regulatory Setting, and Chapter 3, Environmental Setting. Also included in Table 4.1-1 is an analysis of project consistency with identified policies and regulations. Where the analysis concludes the proposed project would potentially conflict with the applicable policy or regulation, the reader is referred to Section 4.1.5, Impact Assessment and Mitigation Measures, for additional discussion.

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest Land Use Plan Key Policies		
<p>Scenic and Visual Resources: The Del Monte Forest and 17-Mile Drive are significant and important visitor destinations. It is the objective of this LUP to protect the area’s magnificent scenic and visual resources, to avoid incompatible development, and to encourage improvements and facilities that complement the Forest’s natural scenic assets and enhance the public’s enjoyment of them. To protect the scenic and visual resources of the Del Monte Forest area, only development that does not block significant public views and does not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points, shall be allowed.</p>	<p>The intent of this policy is to protect the substantial scenic resources of the Del Monte Forest and 17-Mile Drive.</p>	<p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline, blocking views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance screening</u>. The project would block public views of the Pacific Ocean from Signal Hill Road, but the number of viewers from this location is expected to be limited. <u>With implementation of the identified measures</u>, the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
FOREST RESOURCES		
<p>Policy 32. In reviewing requests for tree removal, land clearing, and other development, preservation of scenic resources shall be a primary objective. Because of the regional significance of the forest resources, special consideration shall be given to the ridgeline silhouette, as well as views from significant public viewing areas, such as the corridors</p>	<p>The intent of this policy is to protect trees and forest resources in order to preserve the scenic quality of the Del Monte Forest Area.</p>	<p><u>Potentially Consistent</u>. The project proposes tree removal and would extend above the primary ridgeline in the background as seen from 17-Mile Drive. <u>Mitigation measures are identified</u> that</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>along Highway 68 and 17-Mile Drive, and the view from distant publicly accessible shoreline areas such as found at Point Lobos State Natural Reserve.</p>		<p>would prevent ridgeline silhouetting and reduce visibility of the project in the long term, including through additional tree plantings and vegetative <u>restoration and maintenance</u>screening, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>SCENIC AND VISUAL RESOURCES</p>		
<p>Policy 47. Views from designated public access areas and vista points, from Highway 68 and 17-Mile Drive corridors, and of ridgelines as seen from the public viewing areas identified on the Del Monte Forest Visual Resources Map (Figure 3, of the Del Monte Forest Area LUP), shall be protected as resources of public importance, and development that could adversely impact such views shall only be allowed where it protects, preserves, and if feasible enhances, such scenic resources. Conservation and scenic easements shall be required as one means of protecting such views in perpetuity.</p>	<p>The intent of this policy is to protect scenic views and ridgelines from public viewing areas in the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of the 17-Mile Drive viewshed identified in the Del Monte Forest Area LUP Figure 3 and verified by the site-specific visual study conducted as part of this EIR. As proposed, the project would extend above the ridgeline, block views from Signal Hill Road and remove existing mature trees that provide visual screening of development on the site. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance</u>screening. The project would block public views of the Pacific Ocean from Signal Hill Road, but the number of viewers from this location is expected to be limited. <u>With implementation of the identified measures</u>, the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 48. Development within visually prominent settings, including those identified on the Del Monte Forest Visual Resources Map (Figure 3 of the Del Monte Forest Area LUP), shall be sited and designed to avoid blocking or having a significant adverse impact on significant public views, including by situating lots, access roads, and/or buildings to maximize the effectiveness of screening vegetation and related viewshed mitigation. Lots, access roads, and/or buildings should also be sited to minimize tree removal and visually obtrusive grading.</p>	<p>The intent of this policy is to protect significant public views through site design, screening, and viewshed mitigation.</p>	<p>policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p> <p><u>Potentially Consistent.</u> The project has the potential to adversely affect the scenic quality and visual character of the 17-Mile Drive viewshed in the vicinity of the project, including extending above the ridgeline, blocking public views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative restoration and maintenance screening. The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive and reducing project noticeability. <u>With implementation of the identified measures</u>, the project would not adversely affect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 49. During the development review process, open space conservation and scenic easements shall be required to the fullest extent possible for visually prominent areas. These shall be granted to the Del Monte Forest Foundation. Except in the case of voluntary easements or properties not subject to the permit process, these instruments shall be subject to approval by the County and the Coastal</p>	<p>The intent of this policy is to protect visual and scenic resources in the Del Monte Forest through open space and scenic easements.</p>	<p><u>Potentially Consistent.</u> <u>Mitigation measures identified in this section and in Section 4.2 of the EIR</u>, Biological Resources, include a requirement for the permanent protection of all areas located outside of the construction area by</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Commission as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and shall name the County as beneficiary in event the Foundation is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection.</p>		<p>establishing deed restrictions or a permanent open space conservation and scenic easement to be granted to the Del Monte Forest Foundation (refer to mitigation measure BIO/mm-3.1), consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 50. Utility lines shall be placed underground, typically within road access footprints, except where 1) such undergrounding would result in removal of native trees and 2) it can be shown that the lines can be hidden from public view using different siting and design approaches (e.g., placing lines behind existing vegetation or structures, etc.).</p>	<p>The intent of this policy is to protect scenic resources within the Del Monte Forest through undergrounding of utility lines.</p>	<p><u>Potentially Consistent.</u> Utility lines along Signal Hill Road are currently underground and would remain underground after project implementation, consistent with this policy.</p>
<p>Policy 51. Live tree removal shall be prohibited in undeveloped areas unless it is consistent with all other LUP policies and any Forest Management Plan applicable to the area in question.</p>	<p>The intent of this policy is to protect trees within the Del Monte Forest as visual resources.</p>	<p><u>Potentially Consistent.</u> The project would require removal of several mature trees. <u>Mitigation measures have been identified</u> to reduce long-term visual impacts associated with tree removal, including <u>habitat restoration and permanent maintenance requirements</u>dense screen plantings, monitoring of screening vegetation, and preparation and implementation of a Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan (see mitigation measure BIO/mm-1.1), consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 52. Development within the viewshed of visually prominent settings, including those identified on the Del Monte Forest Visual Resources Map (Figure 3 of the Del Monte Forest Area LUP), shall include adequate structural setbacks (generally a minimum of 50 feet)</p>	<p>The intent of this policy is to protect scenic views through siting and design measures.</p>	<p><u>Potentially Consistent.</u> The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project,</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>from such settings and shall require siting and design of structures to minimize the need for tree removal and alterations to natural landforms. New structures shall be sited and designed to harmonize with the natural setting and not be visually intrusive.</p>		<p>including extending above the ridgeline; blocking views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site. The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from the 17-Mile Drive viewshed and reducing project noticeability. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative restoration and maintenance screening. <u>With implementation of the identified measures,</u> the project would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation,</u> the proposed project would be consistent with this policy.</p>
<p>Policy 53. Design and siting of structures in public views of scenic areas should not detract from scenic values of the forest, stream courses, ridgelines, or shoreline. Structures, including fences, shall be subordinate to and blended into the environment, including by using appropriate materials that will achieve that effect. Where necessary, modifications shall be required for siting, structural design, shape, lighting, color, texture, building materials, access, and screening to protect such public views.</p>	<p>The intent of this policy is to protect scenic views through use of appropriate materials and screening.</p>	<p><u>Potentially Consistent.</u> The project has the potential to detract from the scenic values of the 17-Mile Drive viewshed by extending above the ridgeline. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative restoration and maintenance screening. The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive and reducing project noticeability. The proposed stone</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 54. Structures in public view in scenic areas shall utilize non-invasive native vegetation and topography to help provide visual compatibility and, when such structures cannot be sited outside of public view, to provide screening from public viewing areas. In such instances, the least visible portion of the property should be considered the most desirable building site location, subject to consistency with other siting criteria (e.g., proximity to environmentally sensitive habitat areas and safe access).</p>	<p>The intent of this policy is to protect public views through use of visually compatible vegetation and topography.</p>	<p>facades and exterior colors would be compatible with the natural setting. <u>With implementation of the identified measures</u>, the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p> <p>Potentially Consistent. Proposed development would occur within the eastern-most portion of the project site, within and proximate to an area that was previously disturbed during construction of the existing residence. Areas outside of the existing building footprint are considered environmentally sensitive habitat areas (refer to Section 4.2, Biological Resources, for additional discussion and analysis). The project includes dune restoration on 1.67 acres of the site. <u>Mitigation measures have been identified</u> to ensure landscaping in areas near the residence and vegetative <u>restoration and maintenance screening</u> would be visually and biologically compatible (see mitigation measure BIO/mm-3.5), consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Land Use and Development Element		
LAND USE AND DEVELOPMENT POLICIES		
<p>Policy 84. New development fronting 17-Mile Drive shall maintain an adequate natural buffer to protect public views of, from, and along the 17-Mile Drive corridor. A minimum setback of 100 feet from the centerline of the road shall be maintained to screen new development from such public views (for motorists, bicyclists, pedestrians, etc.), unless otherwise screened by vegetation and/or terrain in which case the setback may be reduced if the screening terrain/vegetation is required to be maintained and/or enhanced in perpetuity for screening and public viewshed enhancement purposes. Direct driveway access to 17-Mile Drive should be avoided where possible.</p>	<p>The intent of this policy is to protect public views from 17-Mile Drive through appropriate screening and siting of development.</p>	<p><u>Potentially Consistent.</u> The proposed project site does not directly front 17-Mile Drive and proposes development in the eastern portion of the site, providing the greatest separation from 17-Mile Drive (approximately 500 feet). In addition, <u>mitigation measures have been identified to ensure effective vegetative restoration and maintenance screening</u>, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
Land Use Support Element		
CIRCULATION POLICIES		
<p>Policy 99. The recreational and scenic value of the 17-Mile Drive corridor shall be maintained by appropriate siting and design of new development to minimize public view impacts associated with the corridor as much as possible, including through the use of appropriate building setbacks along sections of the Drive where such new development will occur.</p>	<p>The intent of this policy is to protect the scenic value of 17-Mile Drive.</p>	<p><u>Potentially Consistent.</u> The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline and removing existing trees that provide visual screening of development on the site. <u>Mitigation has been proposed to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative restoration and maintenance screening.</u> The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive (approximately 500 feet) and reducing</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Public Access Element		project noticeability. <u>With implementation of the identified measures</u> , the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation</u> , the proposed project would be consistent with this policy.
<i>PUBLIC ACCESS POLICIES</i>		
Policy 123. Public viewsheds are an important component of shoreline access and public recreational use. Development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points.	The intent of this policy is to protect public viewsheds within the Del Monte Forest.	<u>Potentially Consistent</u> . The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline as seen from 17-Mile Drive and Fanshell Beach, blocking public views from Signal Hill Road , and removing existing trees that provide visual screening of development on the site. The project would block public views of the Pacific Ocean and shoreline from Signal Hill Road, but the number of viewers from this location is expected to be limited. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance</u> screening . The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive and reducing project noticeability. <u>With implementation of the identified</u>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 137. Future development shall be compatible with the goal of retaining and enhancing public visual access. Development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points, and shall be sited and designed to be compatible with the existing scenic character of the area.</p>	<p>The intent of this policy is to protect public visual access.</p>	<p><u>measures</u>, the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p> <p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline, blocking views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site. The project would block public views of the Pacific Ocean from Signal Hill Road, but the number of viewers from this location is expected to be limited. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance</u> screening. The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive and reducing project noticeability. <u>With implementation of the identified measures</u>, the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified</u></p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p><u>mitigation</u>, the proposed project would be consistent with this policy.</p>		
<p><i>Monterey County Coastal Implementation Plan, Part 1 Title 20 Zoning Ordinance</i></p>		
<p>20.44 – D District</p>		
<p>20.44.030 Application for Design Approval A. A Design Approval Application shall be submitted and approved prior to the issuance of building permits for the construction of any structures in the "D" District. B. The Design Approval Application shall include: 1. Drawings showing front, side and rear elevations, existing and proposed grades of proposed structures. 2. Color samples indicating the proposed color scheme for the structures. 3. Plot plans or drawings showing, at scale and in reasonable detail, proposed structure location, topography, existing vegetation, proposed parking layout, proposed landscaping and north arrow. 4. Preaddressed stamped envelopes for all persons to receive public notice pursuant to Section 20.44.050(A).</p>	<p>The intent of this section is to protect public views through design approval for proposed development within visually sensitive areas.</p>	<p><u>Potentially Consistent</u>. The project is located within the "D" District and a Design Approval is required. As identified in Section 2.4 of the EIR, a Design Approval is included as part of the Project Description, consistent with this policy.</p>
<p>20.66 – Development Standards</p>		
<p>20.66.010 Standards for Ridgeline Development A. Purpose: The purpose of this section is to provide standards for those projects which constitute ridgeline development. B. Applicability: The provisions of this section are applicable to all proposed ridgeline development in the County of Monterey. C. Ridgeline development shall require a Coastal Development Permit in each case. D. A Coastal Development Permit for ridgeline development may be approved only if the following findings, based on substantial evidence, may be made:</p>	<p>The intent of this section is to provide standards for ridgeline development.</p>	<p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline. The proposed development is subject to a Coastal Development Permit as identified in Section 2.4 of the EIR,</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<ol style="list-style-type: none"> 1. The ridgeline development, as conditioned by permit, will not create a substantially adverse visual impact when viewed from a common public viewing area. 2. No alternative location exists on the subject site which would allow a reasonable development without the potential for ridgeline development. 		<p>consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>20.147.070 Scenic and Visual Resources</p> <p>A. Public Viewshed Determination</p> <ol style="list-style-type: none"> 1. The project planner shall make an on-site investigation in order to determine whether the project is within the public viewshed or affects visual access from public viewing areas. Proposed buildings and other above-ground development (i.e., fences, walls, sheds, decks, etc.) shall be accurately indicated as to dimensions, height and rooflines by poles with flags, except as outlined below. The location of proposed access roads shall be accurately indicated by stakes with flags. Both poles and stakes shall remain in place for the duration of the project review and approval process. The project planner, at his/her discretion in the process of the on-site review, may record the proposed development photographically, and may require that the applicant superimpose on the photographs a representation of the proposed project. During the on-site investigation, the planner shall also review the project for conformance with the LCP and shall determine development alternatives which would bring the project into full conformance with the LCP. 2. The standard for review is the objective determination of whether any portion of the proposed development is visible from any public viewing area or affects visual access from public viewing areas. Visibility will be considered in terms of normal, unaided vision in any direction for any amount of time at any season. 3. An exemption to the requirement of staking the proposed buildings, other aboveground development, and roads may be granted for proposed development that can conclusively be shown, through photos or the planner's on-site 	<p>The intent of this section is to prevent development incompatible with the Del Monte Forest's and 17-Mile Drive's significant scenic and visual resources.</p>	<p><u>Potentially Consistent</u>. The project would be located within the public viewshed of 17-Mile Drive and several proximate public vistas, outlooks, and beaches. Proposed project components have been accurately depicted in various photo simulations presented in this section and through staking and placement of story poles, consistent with this policy.</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>investigation, to not be visible from 17-Mile Drive and public viewing areas, including those shown on the Del Monte Forest Land Use Plan Visual Resources Map (LUP Figure 3).</p>		
<p>20.147.070 Scenic and Visual Resources</p> <p>B. Development Standards</p> <ol style="list-style-type: none"> Views from designated public accessways and vista points, from Highway 68 and 17-Mile Drive corridors, and of ridgelines as seen from the public viewing areas identified on LUP Figure 3, shall be protected as resources of public importance, and development that could adversely impact such views shall only be allowed where it protects, preserves, and if feasible enhances, such scenic resources. Conservation and scenic easements shall be required as one means of protecting such views in perpetuity. Development, along with related access roads, within visually prominent settings, including those identified on LUP Figure 3, shall be sited and designed to avoid blocking or having a significant adverse impact on significant public views, including by situating lots, access roads, and/or buildings to maximize the effectiveness of screening vegetation and related viewshed mitigation. Development shall be screened from view using native vegetation and topography. Lots, access roads, and/or buildings should also be sited to minimize tree removal and visually obtrusive grading. Development within the viewshed of visually prominent settings, including those identified on LUP Figure 3, shall include adequate structural setbacks (generally a minimum of 50 feet) from such settings and shall require siting and design of structures to minimize the need for tree removal and alterations to natural landforms. New structures shall be sited and designed to harmonize with the natural setting and not be visually intrusive. Design and siting of structures in public views of scenic areas should not detract from scenic values of the forest, stream courses, ridgelines, or shoreline. All structures, including fences, shall be subordinate to and blended into the environment, including by using appropriate construction and materials to achieve that effect. Where 	<p>The intent of this section is to establish standards for the protection of scenic and visual resources within the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline, blocking views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance screening</u>. <u>Mitigation measures have been identified</u> to reduce visual impacts associated with tree removal, including <u>habitat restoration and permanent maintenance requirements</u>, dense screen plantings and monitoring of screening vegetation and preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan (see mitigation measure BIO/mm-1.1). <u>Measures are included</u> to ensure compatible plantings and landscaping in the areas surrounding the residence. Visual resources would further be protected through permanent protection of all areas located outside of the construction area by establishing deed restrictions or a permanent open space conservation and scenic easement to be granted to the Del Monte</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>necessary to meet LCP requirements, modifications shall be required for siting, structural design, shape, lighting, color, texture, building materials, access, and screening to protect such public views.</p> <ol style="list-style-type: none"> 4. Live tree removal shall be prohibited in undeveloped areas unless it is consistent with all other LUP policies and any Forest Management Plan applicable to the area in question. 5. Structures in public view in scenic areas shall utilize non-invasive native vegetation and topography to help provide visual compatibility and, when such structures cannot be sited outside of public view, to provide partial to full screening from public viewing areas. In such instances, the least visible portion of the property should be considered the most desirable building site location, subject to consistency with other siting criteria (e.g., proximity to environmentally sensitive habitat areas and safe access). 6. Ridgeline development is prohibited. In the instance that a parcel is unable to be developed except as a ridgeline development project, the applicant may apply for a coastal development permit to allow ridgeline development. "Ridgeline Development" is development on the crest or side of a hill or other location which creates a silhouette against the sky when viewed from a public viewing area. A coastal development permit for such development may only be granted if the decision making body is able to make findings that: 1) there are no alternatives to development so as to avoid ridgeline development; 2) the proposed development will not have a significant adverse visual impact due to required landscaping, required modifications to the proposal, or other conditions; or, 3) development on the ridge will minimize grading, tree removal or otherwise better meet resource protection policies or development standards of this LCP. The proposed development shall be modified for height, bulk, design, size, location and siting and/or shall incorporate landscaping or other techniques so as to avoid or minimize the visual impacts of ridgeline development as viewed from a public viewing area. 		<p>Forest Foundation (refer to mitigation measure BIO/mm-3.1). The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive (approximately 500 feet) and reducing project noticeability. Utility lines would remain underground. The project would block public views of the Pacific Ocean from Signal Hill Road, but the number of viewers from this location is expected to be limited. <u>With implementation of the identified measures</u>, the project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>7. New subdivisions and lot line adjustments shall not configure a lot so as to create a building site that will result in ridgeline development. Where initial application review indicates that ridgeline development may result on a proposed lot, the applicant shall demonstrate that there is a building site and building height(s) available which will not create ridgeline development. As such, possible building site dimensions and roof heights shall be delineated by poles with flags, subject to an on-site investigation by the planner prior to the application being considered complete. A condition of project approval shall be the establishment of a building site and building height envelope that provides specifications for non-ridgeline development on the lot(s) in question.</p> <p>8. Open space conservation and scenic easements shall be required, to the fullest extent possible, for visually prominent areas. These easements shall be required as a condition of project approval, in conformance with Section 20.64.280, and shall extend over that portion of the property located within the public viewshed. The easement may provide exceptions for development approved by coastal development permit. These easements shall be granted to the Del Monte Forest Foundation. Except in the case of voluntary easements or properties not subject to the permit process, these instruments shall be subject to approval by the County and the Coastal Commission as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, shall be accompanied by adequate funding to allow the management and protection objectives and requirements of the easement to be fully realized and shall name the County as beneficiary in event the Foundation is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection.</p> <p>9. Utility lines shall be placed underground, typically within road access footprints, except where 1) such undergrounding would result in removal of native trees and 2) it can be shown that the lines can be hidden from public view using different siting and design approaches (e.g., placing lines behind</p>		

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>existing vegetation or structures, etc.). In cases where above-ground utilities are proposed, applicants shall be required to conclusively demonstrate the manner in which such development meets these criteria.</p> <p>10. A minimum setback of 50 feet as measured from the setting shall be maintained for all structures located in all visually prominent settings, including those identified on the Del Monte Forest Land Use Plan Figure 3. Siting and design of structures shall be such that tree removal and alteration to natural landforms is minimized. New structures shall be designed to harmonize with the natural setting and not be visually intrusive.</p> <p>11. Parking on the seaward side of 17-Mile Drive should be designed to minimize the visual impact of the parked vehicles and disturbance to the existing natural habitat.</p> <p>12. New development, including ancillary structures such as fences, constructed between 17-Mile Drive and the sea (Pacific Grove Gate to Carmel Gate portion) shall be designed and sited to minimize obstructions of and degradation to views from the road toward the sea. The impact of development upon visual access shall be determined on a case-by-case basis on a site visit by the project planner. Examples of methods to reduce obstruction which may be imposed on the proposed project include, but are not limited to the following:</p> <ul style="list-style-type: none"> (a) re-siting and/or re-design to avoid obstruction and view impacts; (b) height limits, (c) use of see-through materials for fences and gates; (d) limitations on types and amounts of landscape materials which would block views, including requirements for height limits at maturity and required pruning to maintain views; and (e) location of proposed developments. <p>13. New development fronting 17-Mile Drive shall maintain a minimum setback of 100 feet from the centerline of 17-Mile</p>		

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Drive. An exception may be allowed by the decision-making body upon a finding that the new development may be screened from view of travelers on 17-Mile Drive by existing vegetation or terrain so long as the screening vegetation or terrain is required to be maintained and/or enhanced in perpetuity. As a condition of approval, the required setback shall be placed in scenic easement in accordance with Section 20.64.280.</p> <p>14. Subdivisions, as a condition of project approval, shall be required to place a minimum setback of 50 feet from the front lot line within scenic easement. The easement shall be required in accordance with Section 20.64.280.</p>		
County of Monterey General Plan (1982)		
Goals, Objectives, and Policies for Natural Resources		
VEGETATION AND WILDLIFE HABITATS		
<p>Policy 7.2.1 Landowners and developers shall be encouraged to preserve the integrity of existing terrain and natural vegetation in visually sensitive areas such as hillsides and ridges.</p>	<p>The intent of this policy is to preserve existing terrain and natural vegetation in visually sensitive areas.</p>	<p><u>Potentially Consistent</u>. The proposed development would be generally situated in the previously disturbed eastern portion of the lot, providing the greatest separation from 17-Mile Drive and reducing project noticeability. Proposed restoration would restore and preserve 1.67 acres of native dune habitat on-site, consistent with this policy.</p>
SCENIC HIGHWAYS		
<p>Goal 40: To maintain and enhance a system of scenic roads and highways through areas of scenic beauty; this without imposing undue restrictions on private property or constricting the normal flow of traffic.</p>	<p>The intent of this goal is to maintain and enhance scenic roads and highways.</p>	<p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline and removing existing trees that provide visual screening of development on the site. <u>Mitigation has been proposed to</u></p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 40.2.1 Additional sensitive treatment provisions shall be employed within the scenic corridor, including placement of utilities underground, where feasible; architectural and landscape controls; outdoor advertising restrictions; encouragement of area native plants, especially on public lands and dedicated open spaces; and cooperative landscape programs with adjoining public and private open space lands.</p>	<p>The intent of this policy is to protect visual resources by employing additional sensitive treatment provisions within scenic corridors.</p>	<p>reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance</u>screening. <u>Mitigation measures have been identified</u> to ensure landscaping in areas near the residence would be visually and biologically compatible (see <u>mitigation</u> measure BIO/mm-3.5), consistent with this policy. Utility lines along Signal Hill Road are currently underground and would remain underground after project implementation, consistent with this policy. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
		<p><u>Potentially Consistent</u>. The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline and removing existing trees that provide visual screening of development on the site. <u>Mitigation has been proposed</u> to reduce the visibility of the project, including reducing the total height so that the structure does not silhouette above the ridgeline and requirements for additional vegetative <u>restoration and maintenance</u>screening. <u>Mitigation measures have been identified</u> to ensure landscaping in areas near the residence would be visually and biologically compatible (see <u>mitigation</u> measure BIO/mm-3.5), consistent with this policy.</p>

Table 4.1-1. Applicable Local Plans and Policies Relevant to Aesthetics (Visual Resources)

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 40.2.2 Land use controls shall be applied or retained to protect the scenic corridor and to encourage sensitive selection of sites and open space preservation. Where land is designated for development at a density which, should maximum permissible development occur, would diminish scenic quality, the landowner shall be encouraged to voluntarily dedicate a scenic easement to protect the scenic corridor.</p>	<p>The intent of this policy is to implement appropriate land use techniques and controls for maintaining the visual resources of scenic corridors.</p>	<p>Utility lines along Signal Hill Road are currently underground and would remain underground after project implementation, consistent with this policy. The project is subject to design approval and <u>mitigation has been identified</u> to ensure landscaping is compatible with adjacent areas. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p> <p><u>Potentially Consistent</u>. The proposed project would not increase density at the project site; the residence proposed to be demolished would be replaced by a new residence. The proposed development would be situated at the eastern portion of the lot, providing the greatest separation from 17-Mile Drive, utilizing areas of existing development, and reducing project noticeability. Approximately 1.67 acres of the site would be restored with native dune habitat, and would generally maintain the appearance of open space lands. The project would protect public views and would be generally compatible with the residential nature of adjacent areas, consistent with this policy. Consistent with this policy, a scenic and conservation easement will be required over the 1.67-acre area of the proposed habitat restoration (BIO/mm-3.1).</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.1.3 Thresholds of Significance

The determinations of significance of project impacts are based on applicable policies, regulations, goals, and guidelines defined by CEQA and the County. In addition to comparing the project to relevant policies and standards, the aesthetic resources assessment identifies which specific criteria contribute most to the existing quality of each view, and if a change would occur to that criteria as a result of the project. If a change in visual condition is identified, this change is analyzed for its potential effect on the existing scenic character. This analysis is combined with the potential number of viewers, their sensitivities and viewing duration in order to determine the overall level of impact. Specifically, the project would be considered to have a significant effect on the environment if the effects exceed the significance criteria described below.

4.1.3.1 Appendix G of the State CEQA Guidelines

The significance of potential visual impacts are based on thresholds identified within Appendix G of the State CEQA Guidelines, which provide the following thresholds for determining impact significance with respect to aesthetic resources. Visual impacts would be considered significant if the proposed project would:

- a) Have a substantial adverse effect on a scenic vista?

A substantial adverse impact to a scenic vista would occur if the project would significantly degrade the scenic landscape as viewed from public roads or from other public areas. The degree of potential impact on scenic vistas varies with factors such as viewing distance, duration, viewer sensitivity, and the visual context of the surrounding area.

The aesthetics section analyzes the extent that the project would alter the visual quality of the project site and its surroundings. The specific characteristics that define important vistas are identified, and the project's effect on those characteristics is assessed. If the fundamental quality of the vistas are substantially reduced, significant impacts would result.

- b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

This CEQA threshold does not apply because the project is not within the view corridor of any officially designated state scenic highway.

- c) Substantially degrade the existing visual character or quality of the site and its surroundings?

Project related actions would be considered to have a significant impact on the visual character of the site if they altered the area in a way that substantially changed, detracted from, or degraded the visual quality of the site or was inconsistent with community policies regarding visual character. The degree to which that change reflects documented community values and meets viewers' aesthetic expectations is the basis for determining levels of significance. Visual contrast and compatibility may be used as a measure of the potential impact that the project may have on the visual quality of the site. If a strong contrast occurred where project features or activities attract attention and dominate the landscape setting, this would be considered a potentially significant impact on visual character or quality of the site.

Project components that are not subordinate to the landscape setting could result in a significant change in the composition of the landscape. Consideration of potential significance includes

analysis of visual character elements such as land use and intensity, visual integrity of the landscape type, and other factors.

- d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

The project would result in a significant impact if it subjected viewers from public roads or residences to a substantial amount of point-source lighting visibility at night, or if the collective illumination of the project resulted in a noticeable spill-over effect into the nighttime sky, increasing the ambient light over the region. The placement of lighting, source of illumination, and fixture types combined with viewer locations, adjacent reflective elements, and atmospheric conditions can affect the degree of change to nighttime views. The degree of impact caused by night lighting would consider the type of lighting proposed by the project along with the lighting reasonably expected to be generated by future project build-out.

4.1.3.2 Consistency with County of Monterey Plans and Policies

County planning documents do not contain specific criteria for determining thresholds of significance regarding aesthetic resources. However, in comparing the project to the above State CEQA Guidelines thresholds, substantial consideration was given to the project's consistency with County policies, ordinances, plans, goals and regulations concerning scenic vistas, scenic roadways, visual character, and night lighting. The local goals, policies, and guidelines provide a basis for determining levels of potential impact as well as an indication of aesthetic values and sensitivity to visual change.

4.1.4 Impact Assessment Methodology

The analysis and impact determinations in this section are based on multiple field visits conducted over several weeks during preparation of this EIR, including review of the entire site as well as the surrounding area. Field visits were conducted on April 20 and June 19–21, 2015. Resource inventories were conducted both on foot and from moving vehicles. Existing visual resources and site conditions were photographed and recorded on aerial maps and field notes. Assessment of project elements and programs was based on plans and descriptions provided by the Applicant. County planning documents and previous studies relevant to the project and surrounding area were referred to for gaining an understanding of community aesthetic values.

Locations of critical structure elements were identified based on site plan information, architectural elevations, and computer modeling provided by the Applicant. These critical project features were measured and staked in the field, and corresponding horizontal and vertical location data was developed. The architectural appearance of the buildings for inclusion in photo-simulations was provided by the project architect. Reference flags were positioned at each critical point. These flags were used as a visual scale reference for confirming structure height and massing, ensuring accuracy of photo-simulations, and for determining overall project visibility.

The reference flags were then viewed from all potential public viewer group locations on 17-Mile Drive, Signal Hill Road, and other local roads and neighborhoods, and from public recreational areas such as Fanshell Beach, and Bird Rock and Seal Rock Vista Points. From this initial review, representative viewpoints were determined for further analysis, based on dominance of the site within the view, duration of views, and expected sensitivity of the viewer group. Of those representative viewpoints, Key Viewing Areas (KVAs) were selected which would best illustrate the visual changes proposed by the project (refer to Figure 4.1-10).

4.1.4.1 Photo-Simulations

Photographs were taken from the KVAs and photo-simulations were prepared illustrating the appearance of the project as proposed by the applicant. Visibility of the reference flags was used to ensure accuracy of the photo simulations. The completed simulations were used to quantify potential project visibility and to assess related impacts. The project site was then field-reviewed to assist in determining possible mitigation measures. Images of the existing views, along with photo-simulations of the proposed project can be seen in Figures 4.1-11 through 4.1-20.

Photographs of the project site and surroundings were taken with a 50-millimeter lens to replicate the general perception of the un-aided human eye, then digitally “stitched” together to create panoramas, which are most similar static view to the actual viewing experience of the casual observer.

Photographic images and simulations are a valuable tool for understanding and disclosing the estimated visual effect of the proposed project. It is important to note, however, that photographs do not represent the same level of visual acuity and sensitivity to detail as the human eye. As a result, photo-simulations tend to understate the anticipated perception of impacts.

Applicant-proposed planting and revegetation shown in the photo-simulations is depicted at a time period approximately 5 to 7 years after planting.

4.1.4.2 Key Viewing Areas

The five KVAs listed in Table 4.1-2 were selected to represent the extent and quality of views to the project from the surrounding area. A corresponding map of the KVA locations is shown in Figure 4.1-10.

Table 4.1-2. Key Viewing Areas

KVA	Location	Figure Nos.
KVA-1	From 17-Mile Drive near the first fairway of the Cypress Point Golf Course looking northeast.	4.1-11 & 4.1-12
KVA-2	From 17-Mile Drive near the Fanshell Beach Lookout looking east.	4.1-13 & 4.1-14
KVA-3	From 17-Mile Drive near Fanshell Beach looking east.	4.1-15 & 4.1-16
KVA-4	From Fanshell Beach looking east.	4.1-17 & 4.1-18
KVA-5	From 17-Mile Drive near the Seal Rock Vista Point looking south.	4.1-19 & 4.1-20

Figure 4.1-10. Key Viewing Area Location Map



4.1.4.3 Viewer Sensitivity

Viewer response assumptions include consideration of viewing proximity, duration of views, activity, and overall viewing context. Local values based on visual preferences, historical associations, and community aspirations and goals are also important indices of predicting viewer sensitivity and response to change.

Based on the project's proximity to unique, high-quality visual resources, as well the importance of the visual environment and community aesthetics as identified in County and California Coastal Act planning documents, this analysis assumes an overall high level of viewer sensitivity for the project site and the surrounding area. An international sightseeing destination, 17-Mile Drive provides direct visual access to this coastal area for a high number of motor vehicles per year. The route is also highly used by bicyclists and pedestrians. This high number of viewers amplifies the degree of visual sensitivity assumed for the project site.

Viewer sensitivity regarding potential changes to the property is also heightened by the fact that the existing house was found eligible for listing on the NRHP by the California SHPO and is listed in the CRHP. As a result, the property generates a substantial amount of public interest and preservation advocacy.

4.1.5 Impact Assessment and Mitigation Measures

4.1.5.1 Project Visibility

From 17-Mile Drive

17-Mile Drive affords the greatest viewing opportunities of the project site. Heading in the northbound direction, the project would first come into view at a gap in vegetation near the first fairway of the Cypress Point Golf Course (refer to Figure 4.1-11). From this viewing location the project would be seen to the northeast at a viewing distance of approximately 0.4 mile. This viewing opportunity would occur along an approximately 200-foot section of 17-Mile Drive. Views from this area would be generally perpendicular to the direction of travel. The project would be seen in the context of the golf course fairway in the foreground, the upland dunes in the mid-ground, and the forested ridge as a backdrop. The other residences in the vicinity of the project are also visible; however, some are partially blocked by intervening topography and vegetation. From this section of 17-Mile Drive, the project would sit well below the primary ridgeline and its silhouette would not extend above the horizon (refer to Figure 4.1-12).

Continuing northbound, the project site becomes visible again where the roadway turns east near the Fanshell Beach Overlook, at a viewing distance of approximately 0.4 mile (refer to Figure 4.1-13). The project remains visible along this section of 17-Mile Drive for about 0.3 mile, until the roadway turns north and intervening landform blocks the view. From this viewing area the project would be seen in the visual context of the rocky shoreline, beach and golf course in the foreground, and the beach, dune-slopes, project site, and other residences in the mid-ground. The vegetated ridgeline would provide the visual backdrop. Along this section of northbound 17-Mile Drive, the project site is visible directly ahead of the direction of travel. At the closest point, the project site can be seen at a distance of approximately 500 feet. From this viewpoint the project would be seen extending above the primary ridgeline (refer to Figure 4.1-16). This silhouetting condition would occur along an approximately 300-foot section of 17-Mile Drive.

Heading southbound the project would first potentially be seen in the vicinity of the Bird Rock Vista Point at a distance of approximately 0.7 mile. From this section of 17-Mile Drive the project would be difficult to discern among the other residences in the mid- and background. Viewing distance, topographic variation, and intervening vegetation would substantially reduce project noticeability for the casual observer.

Continuing southbound along 17-Mile Drive, the project would remain partially visible until a point just north of the intersection with Spyglass Hill Road (refer to Figure 4.1-19). Along this approximately 0.4 mile section of 17-Mile Drive the project would become progressively more visible. However viewing distance, surrounding development, topography, and vegetation would continue to substantially reduce noticeability. Travelling southbound from this location, visibility of the project would be blocked by landform, roadway orientation, existing residences and vegetation.

From Signal Hill Road

Signal Hill Road would provide the closest viewing proximity to the project (refer to Figure 4.1-1). Being a cul-de-sac, however, relatively few potential viewers are expected to experience the project from this public road. Nevertheless, vehicles have been observed parked along the shoulders of Signal Hill Road, apparently to gain access to nearby hiking opportunities. From viewpoints along the roadway, the project would result in a greater visual presence than the existing residence, reducing views of the Pacific Ocean and coastline more than current conditions, due to the larger size of the project compared to the existing structure.

From Vista Points and Public Beaches

Several public recreational areas are within the vicinity of project, including formal and informal vistas points and beaches. Of these, Fanshell Beach and the Fanshell Beach Overlook offer the closest and most direct views of the project site (refer to Figure 4.1-17 for the view from Fanshell Beach). The Fanshell Overlook would be at a distance of 0.4 mile from the project, and the northernmost section of Fanshell Beach would be a viewing distance of 600 feet. From both of these locations the project would be easily seen to the east. The proposed dune restoration area would be seen in the fore and mid-ground, the residence would be seen in the mid-ground, and a portion of the eastern forested ridge would be seen in the background. From the eastern portion of Fanshell Beach, the proposed residential structure would be visible extending above the ridgeline. As seen from this vantage point, the trees on the ridge directly behind the project are somewhat sparse, allowing the profile of the structure to silhouette against the open sky (e.g., refer to Figure 4.1-16).

North of the project, the Bird Rock Vista Point (refer to Figure 2-1, Project Vicinity) and beach are popular recreation areas. From these locations, the project would be partially visible to the south at a distance of approximately 0.7 mile. As seen from these viewing areas the project would occupy a very small portion of the viewshed and would not be easy to differentiate from the surrounding residences. Viewing distance, intervening landform and vegetation would further reduce noticeability of the project.

The Seal Rock Vista Point and beach would provide views of the project at a distance of approximately 0.5 mile. From these locations, however, viewing distance, surrounding development, topography, and vegetation would substantially reduce noticeability of the project. The view from Seal Rock Vista Point would be somewhat similar to the view shown in Figure 4.1-20, from southbound 17-Mile Drive.

From Other Public Roadways

Direct views to the project from other public roads in the area would be limited. Roadways south of the project such as Porque Lane and Portola Road would have glimpses of the project through the trees and other roadside development. North of the project, Spyglass Hill Road and The Dunes Road are the closest public roadways, and views to the project from those locations are generally blocked by topography and distance.

From Other Areas

The project would also be seen from several private residences and golf course areas, as well as from potential locations on the Pacific Ocean. Project context, visibility, and noticeability as seen from these potential viewpoints would vary greatly, as would viewers' expectations.

4.1.5.2 Effect on Scenic Vistas

Scenic vistas are generally defined as high-quality views displaying good aesthetic and compositional value that can be seen from public viewpoints. In the project vicinity, 17-Mile Drive, vista points, and beaches all provide quality public views of the Pacific Ocean, the rocky shoreline, sandy beaches, dune areas, stands of native vegetation, and forested hillsides and ridgelines. From certain vantage points the green swaths of golf course fairways also contribute to the quality of the scenic vista.

Because of its proximity to the shoreline, the most memorable scenic vistas as seen from 17-Mile Drive include the ocean, beaches, rocky shore, and associated native vegetation. The inland hillsides, vegetated sand dunes, forests, and ridgelines serve to frame the vistas and provide visual context for the viewshed.

Existing development's effect on the scenic vista varies greatly and is largely dependent on the degree to which it complements or contrasts with the natural setting. Visual scale, form, colors and materials, in combination with viewing proximity and orientation, are primary factors in determining the noticeability of the existing development and whether it detracts from or complements the scenic vista.

Field review shows that approximately 90 residential structures front 17-Mile Drive between the intersection with Portola Road to the south near KVA-1 and Point Joe to the north. Of these approximately 90 residences, 17 extend above the primary ridgeline to some degree (approximately 19%). Of the 17 that silhouette, 11 (approximately 65%) are within 200 feet of 17-Mile Drive, which in some cases makes ridgeline silhouetting unavoidable due to proximity and viewing angle. Of all of the 17 existing structures that extend above the horizon, 10 (approximately 59%) have rooflines that are generally sympathetic (congruous) to the natural surroundings, and seven (41%) have roof forms with highly angular characteristics causing them to visually jut above the organic form of the forested horizon.

The existing residence at the project site does not extend above the primary ridgeline as seen from anywhere on 17-Mile Drive or public beaches. The overall scale of the structure and the surrounding vegetation somewhat help reduce its noticeability on the hillside.

Figure 4.1-11. Existing Visual Conditions – Key Viewing Area 1



Figure 4.1-12. Photo-simulation of Proposed Project – Key Viewing Area 1



Figure 4.1-13. Existing Visual Conditions – Key Viewing Area 2



Figure 4.1-14. Photo-simulation of Proposed Project – Key Viewing Area 2



Figure 4.1-15. Existing Visual Conditions – Key Viewing Area 3



Figure 4.1-16. Photo-simulation of Proposed Project – Key Viewing Area 3



Figure 4.1-17. Existing Visual Conditions – Key Viewing Area 4



Figure 4.1-18. Photo-simulation of Proposed Project – Key Viewing Area 4



Figure 4.1-19. Existing Visual Conditions – Key Viewing Area 5



Figure 4.1-20. Photo-simulation of Proposed Project – Key Viewing Area 5



Within the immediate area of the existing building are nine Monterey cypress trees (two of which were recently planted as part of a Restoration Plan required under a County Code Enforcement Action), one eucalyptus species, and several shrubs of varying sizes. In addition, a grouping of mature Monterey cypress begins south of the driveway and continues south onto the adjacent residential lot. Because of the more modest size of the existing residence, these trees are able to somewhat blend portions of the structure with the surrounding landscape.

The factors that detract most from the scenic vista along 17-Mile Drive are the several existing residences that noticeably contrast with the natural setting, and the number of vehicles seen along the route. Because of the proposed residence's silhouetting above the horizon, construction of the project would further detract from the scenic vista of the hillside backdrop, and would degrade the visual quality of the area.

The project as proposed would silhouette approximately 10 feet above the ridgeline, as seen from an approximately 300-foot section of 17-Mile Drive (refer to Figure 4.1-16) and from the eastern end of Fanshell Beach (refer to Figure 4.1-18). Although the section along 17-Mile Drive from where the project silhouettes would be relatively short, viewer sensitivity is considered very high in this area, and viewing durations could be extended due to the recreational sight-seeing nature of the viewer-group and the number of pedestrians and bicyclists. Viewers from Fanshell Beach where the proposed structure silhouettes could include stationary beach goers with day-long visual access to the project site.

The project proposes to retain several of the existing trees on site, as well as planting and maintaining six new trees and other landscaping in the immediate vicinity of the new structure. Most of the new trees would be located along the eastern side of the building with the intent of creating a vegetated backdrop for the project; however, based on field review of existing conditions, placed reference pylons, and confirmation in the photo simulations, the proposed trees are expected to provide little to no benefit in terms of a vegetated backdrop or disguising the geometric form of the structure against the skyline. Due to the upward viewing angle from 17-Mile Drive, trees located east of the new residence would need to grow to approximately 35 to 40 feet tall before they would even be seen behind the building. Given the growth rate of Monterey cypress and the wind-pruning conditions of the site, the proposed trees may provide no visual value in terms of reducing the project's silhouette for 20 years or so after planting. In addition, the biological dynamics of vegetation and potential mortality reduces its reliance as a guaranteed solution for mitigating the potential visual effects of a project. Property rights issues and the desires of current and subsequent property owners can also effect the health and visual effectiveness of plantings.

The proposed residential structure would be clearly seen extending above the primary ridgeline, which would have an adverse effect on the scenic vista as seen from 17-Mile Drive and Fanshell Beach, within the area shown on the Del Monte Forest Visual Resources Map (County of Monterey 2012b). As a result, the project would be potentially inconsistent with County policies for the protection of scenic and visual resources, as further detailed in Table 4.1-1, above.

AES Impact 1	
The proposed residential structure would be seen extending above the primary ridgeline from locations on 17-Mile Drive and Fanshell Beach, which would be inconsistent with County of Monterey visual resources policy and result in a potentially significant impact to the scenic vista.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
AES/mm-1.1	<i>The maximum height of the residential structure shall be reduced to not exceed 20 feet above the average natural grade as defined in the project plan elevations dated October 21, 2011. Revised plans reflecting compliance with this measure shall be submitted to the County of Monterey Resource Management Agency – Planning Department for review and approval prior to issuance of demolition, grading, or construction permits.</i>
AES/mma-1.1.1	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department revised plans reflecting compliance with this measure.</i>
Residual Impacts	
Lowering the structure height would prevent the project from extending above the primary ridgeline as seen from 17-Mile Drive and Fanshell Beach. As a result, with implementation of this measure, residual impacts would be <i>less than significant</i> .	

4.1.5.3 Effect on Existing Visual Character and Quality of the Site and its Surroundings

The overall visual context of the project site is defined mostly by the Pacific Ocean and shoreline. Development such as residences, golf courses, and 17-Mile Drive also contribute to the visual experience of the area. Although the visual character of the area is dominated by the ocean, the baseline visual condition is also perceived as an area of residential and recreational development.

The existing residences visible along 17-Mile Drive between the Cypress Point Golf Course and Point Joe represent a variety of architectural styles and sizes. These residences are both single- and multi-story structures, ranging in size from less than 2,500 to over 7,000 square feet, based on a review of online housing data (PropertyShark 2015; Redfin 2015).

The proposed residence would be 11,933 square feet in size, almost three times larger than the existing 4,125-square-foot residence, which includes an addition~~over 3.5 times bigger than the existing 3,299-square-foot residence.~~ From its most visible locations on 17-Mile Drive and Fanshell Beach, the exposed face of the new building would appear approximately four times larger than that of the current structure. The angular, geometric form of the proposed structure would silhouette approximately 10 feet above the horizon and would contrast with the natural form of the forested ridgeline. This visual contrast would draw attention to the large size of the structure and would increase noticeability of the project.

The vegetation throughout the western portion of the parcel is currently a sparse mix of native dune scrub and non-native species such as ice plant. The landcover on the parcel is generally consistent with that of the adjacent parcels, and, although not native, does not appear unkempt or otherwise detract from the visual character of the surroundings.

Although the proposed dune restoration activities may provide biological benefit, most casual observers aren't able to differentiate between native and non-native landscapes, and likely don't

know that the existing condition is not natural. However, strictly from an aesthetic standpoint, the proposed restoration would cause that area of the site to appear somewhat more unified, and would provide visual interest due to the added diversity of plant types.

In terms of exterior materials and colors, the proposed stone facades, stucco colors, and trim would be an appropriate complement to the natural setting. The proposed dune revegetation would also create a more natural fore- and mid-ground visual setting for the project. However, the new residence would detract from the visual quality of the site and surroundings by visually breaking the ridgeline, which would also increase its visual dominance and draw attention to its distinctively large visual mass. The new structure would be substantially more noticeable than the existing residence, and visibility of these built characteristics would be amplified by the project's location on a prominent hillside as seen directly ahead of viewers on northbound 17-Mile Drive and from Fanshell Beach.

AES Impact 2
Because of the overall increase in project noticeability caused by the new structures extending above the primary ridgeline combined with its distinctively large size, the project would result in a substantial alteration of visual character as seen from 17-Mile Drive and Fanshell Beach, resulting in a potentially significant impact to the site and surroundings.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement AES/mm-1.1, AES/mma-1.1.1, BIO/mm-3.1, BIO/mma3.1.1, BIO/mm-3.2, BIO/mma-3.2.1, BIO/mm-3.3, and BIO/mma 3.3.1.</i>
<i>Residual Impacts</i>
The existing house is currently visible from 17-Mile Drive, as are other surrounding homes. Lowering the structure height to prevent the project from extending above the primary ridgeline, as seen from 17-Mile Drive and Fanshell Beach, and ensuring the success of native vegetation plantings and habitat restoration would not avoid visibility of the proposed structure, but implementation of these measures would reduce substantial adverse changes in the scenic character and quality of the project. Therefore, with implementation of these measures, in combination with mitigation measure AES/mm-1.1 listed above, residual impacts would be <i>less than significant</i> .

4.1.5.4 Light or Glare Affecting Day or Nighttime Views in the Area

At the time of EIR preparation, no specific information was available regarding outdoor lighting proposed for the project, although it is assumed that exterior lighting would be included as part of the residential project for security and/or ornamental purposes.

Because of the project's elevated location, the potential exists for night lighting to be easily seen from sections of 17-Mile Drive, Fanshell Beach, and other public outlooks and viewpoints. The proposed structure would be larger and taller than the existing building and would potentially emit substantially more light. The majority of the exposed western façade would include large amounts of glass allowing for increased visibility of interior illumination. At night, these increased sources of light would be evidence of new, larger development on the hillside. Under certain seasonal daytime conditions, reflection of the sun on the southwest facing window glass would be a new noticeable source of glare. As such, the potential combination of bright interior and exterior lights, windows, unshielded light sources, or bright-lights reflected on exterior walls may result in impacts as seen from public roadways, beaches, and viewing areas.

The 1982 Monterey County General Plan Policy 26.1.20 requires all exterior lighting to be unobtrusive and constructed or located so that only the intended area is illuminated, long-range visibility is reduced, and off-site glare is fully controlled. Due to the highly visible location of the project from public locations, AES/mm-3.1 further specifies lighting requirements to reduce the impact of light sources from the proposed residence.

AES Impact 3	
<p>Visibility of light sources and glow from the proposed residence, and glare from window glass, would potentially create a new source of light and glare, degrade nighttime dark skies, and adversely affect visual quality resulting in a significant impact to the surroundings.</p>	
<p>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</p>	
<p>AES/mm-3.1</p>	<p><i>The applicant shall submit an exterior lighting plan to the County of Monterey Resource Management Agency – Planning Department for review and approval. The lighting plan shall be prepared using guidance and best practices endorsed by the International Dark Sky Association and shall comply with Title 24 lighting requirements. The lighting plan shall include the following:</i></p> <ol style="list-style-type: none"> a. <i>All exterior point-source lighting shall be directed downward and fully shielded from off-site views.</i> b. <i>Exterior lighting shall be designed so that it does not focus illumination onto exterior walls or the hillside on or adjacent to the proposed development.</i> c. <i>Any security lighting installed on the property shall be equipped with motion detectors to prevent the illumination from remaining on.</i> d. <i>No reflective coatings shall be used on exterior south, west, and southwest facing windows.</i> e. <i>All windows visible from 17-Mile Drive, Signal Hill Road, or other surrounding public areas shall be constructed of electrochromic glass to minimize visibility at night. The electrochromic glass will be visually transparent during the daytime and will become darker and translucent at night to avoid a “lighthouse effect.”</i>
<p>AES/mma-3.1.1</p>	<p><i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department an exterior lighting plan reflecting compliance with this measure.</i></p>
<p>Residual Impacts</p>	
<p>The project would create additional sources of light and glare, which would be visible from public roads and areas; however, with implementation of this measure, residual impacts would be <i>less than significant</i>.</p>	

4.1.6 Cumulative Impacts

The cumulative section addresses how this project may contribute to a change in visual quality when viewed along with other existing and reasonable future development in the area (per State CEQA Guidelines §15130).

The Del Monte Forest Area has undergone modest visual changes within the last several years due in part to remodeling and redevelopment of existing residential properties. Since 2008, approximately 23 Combined Development Permits for single-family residential development projects have been submitted to the County for the Del Monte Forest Area. These changes have resulted in a somewhat increased built-character through the area. If this project is highly noticeable on the hillside and ridgeline, it may contribute to an emerging perception that the area is undergoing a visual change to a more developed character. As seen from highly sensitive public viewpoints, silhouetting, building scale, and lighting would be visible and would increase

noticeability of the project, which would be potentially inconsistent with the numerous visual resource protection goals and policies identified in the County's General Plan, the Del Monte Forest Area LUP, and the County's LCP. Implementation of mitigation measures AES/mm-1.1 through AES/mm-3.1 would reduce the proposed project's contribution to the cumulative changes in visual character. Implementation of the recommended mitigation measures, would result in the project being less noticeable and visually obtrusive as seen from viewpoints along 17-Mile Drive, Fanshell Beach, and the surrounding areas, and more consistent with County coastal visual policies. Implementation of the identified mitigation measures would reduce cumulative impacts to *less than significant*.

4.1.7 References

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- . 2012a. *Del Monte Forest Area Land Use Plan*. June 22, 2012. Available at: http://www.co.monterey.ca.us/planning/docs/plans/Del_Monte_Forest_LUP_and_CIP_A_mendment_Adopted_052212/DMF_LUP_Amended_052212_Complete_Version.pdf. Accessed October 2015.
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- International Dark-Sky Association. 2015. International Dark-Sky Association, webpage. Available at: <http://www.darksky.org/>. Accessed September 2015.
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- PropertyShark. 2015. PropertyShark Property Search, webpage. Available at: <http://www.propertyshark.com/mason/UI/results.html?rid=133712803&app=homepage>. Accessed September 2015.
- Redfin. 2015. Redfin Home Search, webpage. Available at: https://www.redfin.com/county/329/CA/Monterey-County/filter#!lat=36.596717533297834&long=-121.96542139109887&zoomLevel=13®ion_id=329®ion_type=5&market=sanfrancisco. Accessed October 16, 2015.

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4.2 BIOLOGICAL RESOURCES

This section evaluates the proposed project to determine what impacts to biological resources would occur as a result of the project. The information presented below incorporates a compilation of botanical and wildlife data provided by the applicant's consultants Zander Associates (Zander) and Fred Ballerini Horticultural Services (Ballerini), and field verification of this data conducted by SWCA during preparation of this EIR. The information within this section also incorporates a review of information from federal, state, and local resource agencies, including comments from the CCC related to Environmentally Sensitive Habitat Areas (ESHA) received in response to the NOP on March 19, 2015. Previous biological documents reviewed in preparation of this section include:

- *Biological Resources Assessment for 1170 Signal Hill Road* (Zander 2010)
- *Supplemental Biological Resources Assessment for 1170 Signal Hill Road* (Zander 2011b)
- *Dune Restoration Plan for 1170 Signal Hill Road* (Zander 2011a)
- *Remnant Dune Restoration Plan Mehdipour Property* (Zander 2012)
- *Dune Restoration Plan Massy Mehdipour Property* (Ballerini 2013)
- *Dune Restoration Plan Massy Mehdipour Property* (Ballerini 2015)
- *Tree Resource Evaluation Construction Impact Analysis 1170 Signal Hill Road* (Hamb 2011)

These documents and additional cited references are available for review at the County offices at 168 West Alisal Street, 2nd Floor, Salinas, Monterey County, California.

4.2.1 Existing Conditions

4.2.1.1 Regional Setting

The Del Monte Forest planning area includes approximately 7 miles of coastline and extends inland approximately 3 to 4 miles. This area supports a variety of natural resources including coastal bluffs, beaches, stabilized sand dunes, forested areas, and waterways. The proposed project site is located at the base of Signal Hill Dune and situated between Spyglass Hill and Cypress Point Golf Courses. The area is part of a historic dune system that has been fragmented by development.

4.2.1.2 Project Site Setting

The project area includes an approximately 2.22-acre residential parcel developed with an existing residence that overlooks 17-Mile Drive and the coastline at Cypress Point Rock. The parcel's topography slopes southwest towards the coastline; the residence is located in the eastern portion, at the highest portion of the parcel. The graded/developed portion of the parcel includes the residential structure and foundation, a driveway, landscaped areas, and a concrete pathway. The landscaped areas include several Monterey cypress (*Hesperocyparis macrocarpa*) trees.

In general, habitat on the undeveloped parts of the parcel can be described as disturbed central dune scrub, a community that is restricted to the California Central Coast on stabilized dunes (Holland 1986). This community is comprised of scattered to dense shrubs, sub-shrubs, and herbaceous plants. Shrubs on the parcel include mock heather (*Ericameria ericoides*), dune lupine (*Lupinus chamissonis*), and beach sagewort (*Artemisia pycnocephala*). Herbs in the

community include dune sedge (*Carex pansa*), sand verbena (*Abronia* sp.), and beach evening primrose (*Camissonia cheiranthifolia*). The central dune scrub habitat on the parcel is invaded by ice plant (*Carpobrotus chilensis*) and European beachgrass (*Ammophila arenaria*).

When mapped using the community membership rules defined by *A Manual of California Vegetation* (Sawyer, Keeler-Wolf, and Evans 2009), the central dune scrub vegetation on the parcel is comprised of five vegetative stands and alliances, which are intermixed with each other. Descriptions are provided below.

- *Carpobrotus edulis* or Other Ice Plants Semi-Natural Herbaceous Stands: This non-native vegetation is dominated by ice plant and occurs on bluffs, sand dunes, disturbed areas, and coastal terraces.
- *Ammophila arenaria* Semi-Natural Herbaceous Stands: This non-native vegetation is dominated by European beachgrass and occurs on sand dunes. Remnant native dune species including dune lupine, beach sagewort, coyote brush (*Baccharis pilularis*), and poison oak (*Toxicodendron diversilobum*) provide low cover in the shrub layer.
- *Carex pansa* Provisional Herbaceous Alliance: This herbaceous community is dominated by dune sedge and occurs in swales and other areas experiencing seasonal flooding on coastal sand dunes. The dune sedge forms a continuous to intermittent sod in select areas of the parcel and has sporadic shrubs emerging from the sod.
- *Juncus articus* (var. *balticus*, *mexicanus*) Herbaceous Alliance: On the project site, this community is dominated by Mexican rush (*Juncus mexicanus*), a Facultative wetland species. Facultative wetland species commonly occur as either a hydrophyte (a plant that only grows in or on water) or nonhydrophyte. The Mexican rush on the site is intermixed with low growing poison oak and low cover of various native shrubs. In the coastal zone, dominance of a wetland indicator plant species is sufficient to define an area as a wetland.
- *Lupinus chamissonis*-*Ericameria ericoides* Shrubland Alliance: This shrubland community includes mock heather and dune lupine as co-dominants with coyote brush and beach sandwort intermixed. Mock heather provides greater cover on the parcel than dune lupine, but both species are present.

These vegetative stands and alliances occur on the parcel in a mosaic of blended polygons (refer to Figure 4.2-1). They are intermixed to create a central dune scrub community that is invaded by European beachgrass and ice plant. Patches of bare sand break up the vegetative cover. In some areas, the bare sand is a result of recent invasive species removal efforts and mechanical disturbances. In other areas, the patches of bare sand appear to be a natural feature of the habitat composition.

Figure 4.2-1. Habitat Map



4.2.1.3 Environmentally Sensitive Habitat Area

The Del Monte Forest area supports a variety of habitats that can be considered ESHA. ESHAs are typically native habitat types that are locally or regionally rare, support special-status plant or wildlife species, contain wetland resources, or otherwise support particular biological, scientific, or educational values. Due to these attributes, ESHAs are given special consideration in state and local planning documents. Section 4.2.2.3 below provides additional information on the definition of ESHA and applicable LCP ESHA policies.

The project site is located at the base of Signal Hill Dune, which is a remnant of a historically extensive Asilomar Dune complex. The U.S. Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey identifies soils within the project area and surrounding areas as “Dune land.” Dune land is comprised of fine sand derived from quartz and feldspar eolian sands (NRCS 2015).

The definition of ESHA provided in the Del Monte Forest LUP includes “coastal sand dunes” (refer to Section 4.2.2.3). As such, all areas of the parcel that are not currently developed with the existing residence, driveway, walkways, or concrete patio are considered ESHA subject to protections provided in the LUP. The delineation of ESHA in this EIR is based on the presence of natural dune sand as observed on the ground surface in 2015. Because the LUP definition of ESHA (coastal sand dunes) does not include any vegetation requirements, the lack or type of vegetation observed on the sand at the project site was not a determining factor in delineating the ESHA boundaries. Any previous ground disturbance that occurred during construction of the existing residence was also not considered a factor in delineating the ESHA boundaries.

Other factors that contribute to the parcel’s designation as ESHA include the following:

- The parcel supports *Carex pansa* Provisional Herbaceous Alliance and *Lupinus chamissonis-Ericameria ericoides* Shrubland Alliance. The California Department of Fish and Wildlife (CDFW) considers these communities to be Sensitive Natural Communities in California. CDFW maintains a list of Sensitive Natural Communities (CDFW 2018) that are evaluated using the NatureServe Heritage Methodology to assign Global and State rankings to the communities (NatureServe 2017). These habitat types have a State Rank of S3, which indicates that these communities are “vulnerable” in their range (CDFW 2018).
- The LUP definition of ESHA includes “wetlands” as an example ESHA. In the coastal zone, areas supporting greater than 50% cover of hydrophytic vegetation, or hydric soil indicators, or wetland hydrology indicators are considered wetlands. The central dune scrub habitat within the project site includes a small but definable coastal wetland that is dominated by Mexican rush, a Facultative wetland plant species (refer to Figure 4.2-1, *Juncus arcticus* [var. *balticus mexicanus*] Herbaceous Alliance).
- The LUP states that “habitat areas that support species designated as Fully Protected or Species of Special Concern under State law or regulations” are examples of habitats that meet the definition of ESHA. California legless lizard (*Anniella pulchra* and *Anniella pulchra nigra*) are considered Species of Special Concern (SSC) in California. The sand dune and central dune scrub habitat on the parcel provide ideal habitat for these species.

Figure 4.2-2, in Section 4.2.5, provides a map of the identified ESHA on the parcel.

4.2.1.4 Native and Important Vegetation

As discussed above, the central dune scrub vegetation on the parcel is considered to be threatened in its range; therefore, it is considered native and important vegetation. In addition, the parcel supports two Monterey pine (*Pinus radiata*) and 11 Monterey cypress trees. The Monterey cypress trees are located adjacent to the existing residence and two of them were recently planted as replacement trees to mitigate the prior removal of other mature Monterey cypress trees. The two Monterey pines are located downslope of the residence in the proposed dune restoration area.

Monterey pine and Monterey cypress trees are native to the Del Monte Forest and are included on the California Native Plant Society (CNPS) List 1B, which includes species considered rare, threatened, or endangered in California and elsewhere. The cypress appear to have been planted as landscape elements and the pines are likely seedlings of trees in the landscape of adjacent residences (Zander 2011b). Nonetheless, because these trees are in their native range, they are afforded special consideration and their removal would be subject to review by the Pebble Beach Company Forester and/or Monterey County (Monterey County Coastal Implementation Plan, Part 5, §20.147.050; County of Monterey 2012b).

4.2.1.5 Special-Status Species

Special-Status Plants

For the purposes of this section, special-status plant species are defined as the following:

- Plants listed or proposed for listing as threatened or endangered under the Federal Endangered Species Act of 1973 (FESA) (50 Code of Federal Regulations [CFR] 17.12 for listed plants and various notices in the *Federal Register* for proposed species).
- Plants that are candidates for possible future listing as threatened or endangered under the FESA (*Federal Register* 79(234):72452–72455 [U.S. Fish and Wildlife Service (USFWS) 2014]).
- Plants that meet the definitions of endangered, rare, or threatened species under CEQA (State CEQA Guidelines §15380).
- Plants considered by the CNPS to be "rare, threatened, or endangered" in California (Rank 1B and 2 in CNPS 2015).
- Plants listed by CNPS as plants about which we need more information and plants of limited distribution (Lists 3 and 4 in CNPS 2015).
- Plants listed or proposed for listing by the State of California as threatened or endangered under the California Endangered Species Act (CESA) (14 CCR 670.5).
- Plants listed under the California Native Plant Protection Act (California Fish and Game Code §1900 et seq.).
- Plants considered sensitive by other federal agencies (i.e., US. Forest Service, Bureau of Land Management), state and local agencies, or jurisdictions.

Based on the literature review, a records search of the CDFW California Natural Diversity Database (CNDDDB) and USFWS Information, Planning, and Conservation System (IPaC), and SWCA's knowledge of the area, 49 special-status plant species were evaluated for potential occurrence at the project site. The existing conditions at the site were found to provide suitable conditions for 25 of the evaluated plant species; of these, two were observed at the project site during 2015 field surveys (Monterey cypress and Monterey pine). Table 4.2-1 provides the rationale for determining whether or not the project site provides suitable conditions for a particular species. Monterey pine and Monterey cypress are the only special-status plant species known to occur at the site. Figure 4.2-1 shows the locations of the trees at the site.

Special-status Animal Species

For the purposes of this section, special-status animal species are defined as the following:

- Animals listed or proposed for listing as threatened or endangered under the FESA (50 CFR 17.11 for listed animals and various notices in the *Federal Register* for proposed species).
- Animals that are candidates for possible future listing as threatened or endangered under the FESA (*Federal Register* 79(234):72452–72455 [USFWS 2014]).
- Animals that meet the definitions of endangered, rare or threatened species under CEQA (State CEQA Guidelines §15380).
- Animals listed or proposed for listing by the State of California as threatened and endangered under the CESA (14 CCR 670.5).
- Animal species of special concern to the CDFW (CDFW 2015).
- Animal species that are fully protected in California (California Fish and Game Code §3511 [birds], §4700 [mammals], and §5050 [reptiles and amphibians]).

A literature review identified 24 special-status wildlife species that have known occurrences in the project vicinity. The existing conditions at the project site provide suitable conditions for the following species:

- **Smith's blue butterfly (*Euphilotes enoptes smithi*):** The project site and greater Del Monte Forest coastal area support *Eriogonum latifolium* and *Eriogonum parvifolium*, which are host plants to Smith's blue butterfly. Dr. Richard Arnold, a local entomologist, has conducted numerous Smith's blue butterfly surveys for projects in the area over several decades. Despite the survey efforts in the area, Mr. Arnold has not detected any individuals in the vicinity of the proposed project site (Entomological Consulting Services, Ltd. 2008). Considering the available survey data, it is assumed that Smith's blue butterfly does not occur on the parcel.
- **California legless lizard (*Anniella pulchra*, inclusive of *Anniella pulchra nigra*):** California legless lizards thrive in stabilized dune habitat where they are capable of moving through the sand while finding shelter and foraging opportunities under shrubs and debris. Although the species has not been observed on the project site, it is assumed to occupy the site based on the presence of suitable habitat and its known potential to occur in the project vicinity.

- **Coast horned lizard (*Phrynosoma coronatum*):** Coast horned lizards occupy sandy washes and stabilized dune habitats with sparse vegetation. The stabilized dune habitat located at the project site provides marginal conditions for coast horned lizard due to the presence of relatively dense vegetation. Coast horned lizard has not been observed on the parcel. The presence of this species on the parcel is unlikely but possible based on the marginal habitat conditions.
- **California brown pelican (*Pelecanus occidentalis californicus*):** The project site does not support suitable nesting habitat for California brown pelican; however, the nearby coastline provides ample foraging and resting habitat. Any occurrence of California brown pelican at the project site would be associated with a “fly by” and would not adversely impact the individual(s).
- **Nesting and Migratory Birds (Class Aves):** The central dune scrub habitat and existing structure on the parcel provide ample nesting opportunities for a variety of passerines that are protected under the Migratory Bird Treaty Act of 1918 (MBTA).

Table 4.2-1 provides additional analysis of the potential for these special-status species to occur at the project site.

The IPaC data also identified 18 marine aquatic animals, critical habitats, and Essential Fish Habitats as occurring in the project vicinity. The proposed project area does not include marine or freshwater aquatic resources or habitats; therefore, further evaluation of the following aquatic resources is not included in this document: green sturgeon (*Acipenser medirostris*), green sturgeon critical habitat, black abalone (*Haliotis cracherodii*), black abalone critical habitat, east pacific green sea turtle (*Chelonia mydas*), olive ridley sea turtle (*Lepidochelys olivacea*), leatherback sea turtle (*Dermochelys coriacea*), north Pacific loggerhead sea turtle (*Caretta caretta*), blue whale (*Balaenoptera musculus*), fin whale (*Balaenoptera physalus*), humpback whale (*Megaptera novaeangliae*), southern resident killer whale (*Orcinus orca*; J Clan, Pods J, K, and L), north Pacific right whale (*Eubalaena japonica*), sei whale (*Balaenoptera borealis*), sperm whale (*Physeter macrocephalus*), Guadalupe fur seal (*Arctocephalus townsendi*), Groundfish Essential Fish Habitat, and Coastal Pelagics Essential Fish Habitat.

4.2.1.6 Common Wildlife, Wildlife Corridors, and Migration

Undeveloped land, open space, recreation areas, and forests in the Del Monte Forest contribute to the area’s ability to support common wildlife species. The large residential lots coupled with the open space areas allow wildlife such as black-tailed deer (*Odocoileus hemionus columbianus*) to move through the area with ease. During the 2015 field survey, the SWCA biologist observed a bachelor herd of three black-tailed deer moving through and browsing in the subject parcel and neighboring parcel.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Vernal pool bent grass <i>Agrostis lacuna-vernalis</i>	Annual herb that occurs in vernal pools. Only known from two occurrences on Fort Ord National Monument. 115–145 meters.	April–May	--	--	1B.1	Suitable Habitat Absent; Species Absent: The site does not support any vernal pools. This species was not observed by Zander or SWCA on the site.
Hickman's onion <i>Allium hickmanii</i>	Usually occurs on sandy loam in grasslands. Also found in closed cone coniferous forest, chaparral and coastal scrub. 5–200 meters.	March–May	--	--	1B.2	Marginal Habitat Present; Species Absent: CNDDB documents occurrences within 1 mile of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
little sur manzanita <i>Arctostaphylos edmundsii</i>	Evergreen shrub that occurs on sandy soils in coastal bluff scrub and chaparral. 30–105 meters.	November–April	--	--	1B.2	Suitable Habitat Present; Species Absent: No <i>Arctostaphylos</i> species were observed by Zander or SWCA on the site.
Hooker's manzanita <i>Arctostaphylos hookeri</i> ssp. <i>hookeri</i>	Evergreen shrub that occurs on sandy soils, shaly soils, and sandstone outcrops. Associated with closed cone coniferous forest, chaparral, and coastal scrub. 85–536 meters.	January–June	--	--	1B.2	Marginal Habitat Present; Species Absent: the site is at a lower elevation than the documented range for this species. CNDDB documents occurrences 0.5 mile south of the site. No <i>Arctostaphylos</i> species were observed by Zander or SWCA on the site.
toro manzanita <i>Arctostaphylos montereyensis</i>	Evergreen shrub occurs in cismontane woodland, chaparral, and coastal scrub on sandy soils. 30–730 meters.	February–March	--	--	1B.2	Suitable Habitat Present; Species Absent: No <i>Arctostaphylos</i> species were observed by Zander or SWCA on the site.
Pajaro manzanita <i>Arctostaphylos pajaroensis</i>	Evergreen shrub occurs in chaparral on sandy soils. 30–760 meters.	December–March	--	--	1B.1	Suitable Habitat Present; Species Absent: No <i>Arctostaphylos</i> species were observed by Zander or SWCA on the site.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
sandmat manzanita <i>Arctostaphylos pumila</i>	Low growing evergreen shrub occurs in maritime chaparral and openings within Monterey pine forest. 3–205 meters.	February– March	--	--	1B.2	Suitable Habitat Present; Species Absent: CNDDDB documents occurrences 0.5 mile south of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
marsh sandwort <i>Arenaria paludicola</i>	Perennial herb that occurs in marshes and swamps. Grows through dense mats of <i>Typha</i> , <i>Juncus</i> , <i>Scirpus</i> , etc. in freshwater marsh. 10–170 meters.	May– August	FE	SE	1B.1	Suitable Habitat Absent; Species Absent: The site does not support marsh habitat with dense emergent vegetation. Species not observed during surveys conducted in the appropriate season.
ocean bluff milk-vetch <i>Astragalus nuttallii</i> var. <i>nuttallii</i>	Perennial herb that occurs on coastal bluffs and dunes. 3–20 meters.	January– November	--	--	4.2	Suitable Habitat Present; Species Absent: CNDDDB does not document occurrences in the reviewed quadrangle map areas. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
coastal dunes milk-vetch <i>Astragalus tener</i> var. <i>titi</i>	Annual herb occurs in coastal bluff scrub, coastal dunes, and coastal prairie. Often in vernal mesic (wet) areas. 1–50 meters.	March– May	FE	SE	1B.1	Suitable Habitat Present; Species Absent: CNDDDB documents occurrences within 0.75 mile north of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
twisted horsehair lichen <i>Bryoria spiralifera</i>	An epiphytic lichen that is typically associated with conifers. Largest known population is on Samoa Peninsula in Humboldt County. 0–30 meters.	N/A	--	--	1B.2	Suitable Habitat Absent; Species Absent: The site does not support coniferous forest. Species not observed on site.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
pink Johnny-nip <i>Castilleja ambigua</i> var. <i>insalutata</i>	Annual herb that occurs in coastal bluff scrub and coastal prairie. 0–100 meters.	May–August	--	--	1B.1	Suitable Conditions Absent; Species Absent. Sandy dune soils are not conducive to this species. CNDDDB documents occurrences of pink Johnny-nip approximately 0.75 mile northwest of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Monterey coast paintbrush <i>Castilleja latifolia</i> ssp. <i>latifolia</i>	Hemi-parasitic herb that occurs in sandy areas supporting closed-cone coniferous forest, cismontane woodland, coastal dunes, and coastal scrub. 0–185 meters.	February–September	--	--	4.3	Suitable Habitat Present; Species Absent: CNDDDB documents occurrences 0.5 mile north of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Point Reyes ceanothus <i>Ceanothus gloriosus</i> var. <i>gloriosus</i>	Perennial shrub that occurs in coastal bluff scrub, closed-cone coniferous forest, dunes, and scrub. 5–520 meters.	March–May	--	--	4.3	Marginal Habitat Present; Species Absent: CNPS documents this species in the Seaside quadrangle area. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Monterey ceanothus <i>Ceanothus rigidus</i>	Evergreen shrub that occurs in closed-cone, coniferous forest, chaparral, and coastal scrub with sandy soil. 3–550 meters.	February–April	--	--	4.2	Suitable Habitat Present; Species Absent: CNDDDB documents many occurrences in the Monterey Peninsula area. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Congdon's tarplant <i>Centromadia parryi</i> ssp. <i>congdonii</i>	Annual herb that occurs in depressional areas within valley and foothill grassland. 1–230 meters.	June–November	--	--	1B.1	Suitable Conditions Absent; Species Absent. Sandy dune soil is not conducive to this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Douglas' spineflower <i>Chorizanthe douglasii</i>	Annual herb that occurs in openings among maritime chaparral, cismontane woodland, lower montane coniferous forest, valley and foothill grassland, and coastal scrub on sandy or gravelly soils. 55–1600 meters.	April–July	--	--	4.3	Marginal Habitat Present; Species Absent: CNPS documents this 1.4 mile south of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Fort Ord spineflower <i>Chorizanthe minutiflora</i>	Annual herb that occurs in openings among maritime chaparral and coastal scrub on sandy soils. 55–150 meters.	April–July	--	--	1B.2	Marginal Habitat Present; Species Absent: Only documented to occur on Fort Ord. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Monterey spineflower <i>Chorizanthe pungens</i> var. <i>pungens</i>	Annual herb occurs in chaparral cismontane woodland, coastal dunes, coastal scrub, and valley and foothill grassland on sandy soils. 3–450 meters.	April–June	FT	--	1B.2	Suitable Habitat Present; Species Absent: CNDDDB documents occurrences 0.5 mile south of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
robust spineflower <i>Chorizanthe robusta</i> var. <i>robusta</i>	Annual herb occurs in chaparral, cismontane woodland, coastal dunes, and coastal scrub with sandy or gravelly soils. 3–300 meters.	April–September	FE	--	1B.1	Suitable Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Jolon clarkia <i>Clarkia jolonensis</i>	Annual herb occurs in chaparral, cismontane woodland, coastal scrub, and riparian woodland. 20–660 meters.	April–June	--	--	1B.2	Suitable Habitat Absent; Species Absent: Sandy dune soil is not conducive to this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Lewis' Clarkia <i>Clarkia lewisii</i>	Annual herb that occurs in broadleafed upland forest, closed-cone coniferous forest, chaparral, cismontane woodland, and coastal scrub. 30–610 meters.	May–July	--	--	4.3	Marginal Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
San Francisco collinsia <i>Collinsia multicolor</i>	Annual herb occurs in closed-cone coniferous forest and coastal scrub. Occasional found in serpentinite. 30–250 meters.	March–May	--	--	1B.2	Suitable Habitat Absent; Species Absent: Sandy dune soil and dune scrub are not conducive to this species. Species not observed by Zander during surveys conducted in the appropriate season.
seaside bird's-beak <i>Cordylanthus rigidus ssp. littoralis</i>	Annual herb occurs in closed-cone coniferous forest, chaparral, cismontane woodland, coastal dunes, and coastal scrub with sandy soils. Often found in disturbed sites. 0–425 meters.	April–October	--	SE	1B.1	Suitable Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Branching beach aster <i>Corethrogyne leucophylla</i>	Perennial herb that occurs in closed-cone coniferous forest and coastal dune habitats. 3–60 meters.	May–December	--	--	3.2	Marginal Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Rattan's cryptantha <i>Cryptantha rattanii</i>	Annual herb that occurs in cismontane woodland, riparian woodland, and valley and foothill grassland. 245–915 meters.	April–July	--	--	4.3	Suitable Habitat Absent; Species Absent: This species occurs at higher elevations than the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Hospital Canyon larkspur <i>Delphinium californicum ssp. interius</i>	Perennial herb that occurs in wet meadows and canyon bottoms among cismontane woodland and coastal scrub communities. 195–1095 meters.	April–June	--	--	1B.2	Suitable Conditions Absent; Species Absent: The site does not support suitable habitat and is located at a lower elevation than this species' documented range. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Hutchinson's larkspur <i>Delphinium hutchinsoniae</i>	Perennial herb occurs in broad-leaved upland forest, chaparral, coastal prairie, and coastal scrub. 0–427 meters.	March–June	--	--	1B.2	Suitable Conditions Absent; Species Absent: The site does not support suitable habitat. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
umbrella larkspur <i>Delphinium umbracolorum</i>	Perennial herb that occurs in cismontane woodland. 400–1,600 meters.	April–June	--	--	1B.3	Suitable Habitat Absent; Species Absent: This species occurs at higher elevations than the site. The site does not support the appropriate vegetation type. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Eastwood's goldenbush <i>Ericameria fasciculata</i>	Perennial shrub occurs in closed-cone coniferous forest, chaparral, coastal dunes, and coastal scrub. Within openings on sandy soil. 30–275 meters.	July–October	--	--	1B.1	Suitable Habitat Present; Species Absent: Species not observed by Zander during surveys conducted in the appropriate season.
Pinnacles buckwheat <i>Eriogonum nortonii</i>	An annual herb that occurs on sandy soils among chaparral and valley and foothill grassland. 300–975 meters.	April–September	--	--	1B.3	Suitable Conditions Absent; Species Absent: The site does not support suitable habitat and is located at a lower elevation than this species documented range. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
sand-loving wallflower <i>Erysimum ammophilum</i>	Perennial herb occurs in chaparral, coastal dunes, and coastal scrub with sandy soils and openings. 0–60 meters	February–June	--	--	1B.2	Suitable Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Menzies wallflower <i>Erysimum menziesii</i> ssp. <i>menziesii</i>	Perennial herb occurs in coastal dunes. 0–35 meters.	March–June	FE	SE	1B.1	Suitable Habitat Present, Species Absent: CNDDDB documents occurrences on Signal Hill directly uphill from the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
fragrant fritillary <i>Fritillaria liliacea</i>	Bulbiferous herb occurs in cismontane woodland, coastal prairies, coastal scrub, and valley and foothill grassland; often associated with serpentinite. 3–410 meters.	February–April	--	--	1B.2	Suitable Conditions Absent; Species Absent: The site does not support appropriate soil type. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Santa Lucia bedstraw <i>Galium clementis</i>	Perennial herb that occurs in lower and upper montane coniferous forests. Associated with granitic and serpentine rocky soils. 1,130–1,780 meters.	April–July	--	--	1B.3	Suitable Conditions Absent; Species Absent: The site does not support appropriate soil type and is located at a lower elevation than this species range. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Monterey (sand) gilia <i>Gilia tenuiflora ssp. arenaria</i>	Annual herb occurs in chaparral, cismontane woodland, coastal dunes, and coastal scrub in sandy soil with openings. 0–45 meters.	April–June	FE	ST	1B.2	Suitable Habitat Present, Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
San Francisco gumplant <i>Grindelia hirsutula var. maritima</i>	Perennial herb that occurs in coastal bluff scrub, coastal scrub, and valley and foothill grassland. Often associated with sandy or serpentine-derived soils. 15–400 meters.	June–September	--	--	3.2	Suitable Habitat Present, Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Gowen cypress <i>Hesperocyparis goveniana</i>	Evergreen tree occurs in closed-cone coniferous forest and maritime chaparral. Typically associated with sandy soil. Known from only three native occurrences in the Monterey area including the Del Monte Forest/ Huckleberry Hill, Point Lobos, and Pacific Grove. 30–300 meters.	N/A	FT	--	1B.2	Suitable Habitat Present, Species Absent: Species not observed by Zander or SWCA during surveys conducted on the site.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Monterey cypress <i>Hesperocyparis macrocarpa</i>	Evergreen tree occurs in closed-cone coniferous forest. Known from only two native occurrences in the Monterey area. 10–30 meters.	N/A	--	--	1B.2	Suitable Habitat Present, Species Present: Eleven individuals located on the property. Three of these trees are remnants of the native cypress forest in the area (Hamb 2011).
Kellogg's horkelia <i>Horkelia cuneata ssp. sericea</i>	Perennial herb occurs in closed-cone coniferous forest, maritime chaparral, and coastal scrub with sandy or gravelly openings. 10–200 meters.	April–September	--	--	1B.1	Suitable Habitat Present, Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Point Reyes horkelia <i>Horkelia marinensis</i>	Perennial herb from the Rosaceae family. Occurs in coastal dunes, prairie, and scrub habitats. 5–755 meters.	May–September	--	--	1B.2	Suitable Habitat Present, Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
coast iris <i>Iris longipetala</i>	Perennial and rhizomatous herb that occurs in coastal prairie and lower montane coniferous forest among meadows and seeps. 0–600 meters.	March–May	--	--	4.2	Marginal Habitat Present; Species Absent: The slope wetland within the proposed restoration area provides marginal habitat for this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Contra Costa goldfields <i>Lasthenia conjugens</i>	Annual herb occurs in mesic (wet) sites with cismontane woodland, playas, valley and foothill grassland, or vernal pools. 0–470 meters.	March–June	FE	--	1B.1	Marginal Habitat Present; Species Absent: The slope wetland within the proposed restoration area provides marginal habitat for this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
beach layia <i>Layia carnosa</i>	Annual herb occurs in coastal dunes and coastal scrub on sandy soils. 0–60 meters.	March–July	FE	SE	1B.1	Suitable Habitat Present, Species Absent: CNDDDB documents occurrences on Signal Hill directly uphill from the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
large-flowered leptosiphon <i>Leptosiphon grandifloras</i>	Annual herb that occurs in coastal bluff scrub, closed-cone coniferous forest, cismontane woodland, coastal dunes, coastal prairie, coastal scrub, and valley and foothill grassland with sandy soil. 5–1,220 meters.	March–May	--	--	4.2	Suitable Habitat Present, Species Absent: CNPS documents occurrences in the Soberanes Point quadrangle map. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
small-leaved lomatium <i>Lomatium parvifolium</i>	Perennial herb that occurs in closed-cone coniferous forest, chaparral, coastal scrub, and riparian woodland; often associated with serpentinite. 20–700 meters.	January–June	--	--	4.2	Marginal Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Tidestrom’s lupine <i>Lupinus tidestromii</i>	Rhizomatous herb occurs on coastal dunes. 0–100 meters.	April–June	FE	SE	1B.1	Suitable Habitat Present, Species Absent: CNDDDB documents occurrences on Signal Hill directly uphill from the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Carmel Valley bush-mallow <i>Malacothamnus palmeri</i> var. <i>involucratus</i>	Perennial shrub that occurs in chaparral, cismontane woodland, and coastal scrub. 30–1100 meters.	May–August	--	--	1B.2	Suitable Conditions Absent; Species Absent: Sandy soil on the site is not conducive to this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Santa Lucia bush-mallow <i>Malacothamnus palmeri</i> var. <i>palmeri</i>	Deciduous shrub occurs in chaparral with rocky substrates. 60–360 meters.	May–July	--	--	1B.2	Suitable Conditions Absent; Species Absent: Sandy soil on the site is not conducive to this species. The site is at a lower elevation than the species' range. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Carmel valley malacothrix <i>Malacothrix saxatilis</i> var. <i>arachnoidea</i>	Rhizomatous herb occurs in chaparral and coastal scrub with rocky substrates. 25–1036 meters.	June–December	--	--	1B.2	Suitable Conditions Absent; Species Absent: Sandy soil on the site is not conducive to this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Mt. Diablo cottonweed <i>Micropus amphibolus</i>	Occurs on rocky substrates in broadleaf upland forest, chaparral, cismontane woodland, and valley and foothill grassland. 45–825 meters.	March–May	--	--	3.2	Suitable Conditions Absent; Species Absent: Sandy soil on the site is not conducive to this species. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
marsh microseris <i>Microseris paludosa</i>	Perennial herb occurs in closed-cone coniferous forest, cismontane woodland, coastal scrub, and valley and foothill grassland. 5–300 meters.	April–June	--	--	1B.2	Suitable Habitat Present; Species Absent: CNDDDB documents occurrences 0.5 mile south of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
San Antonio Hills monardella <i>Monardella antonina</i>	Rhizomatous herb that occurs in chaparral and cismontane woodland. 320–1,000 meters.	June–August	--	--	3.0	Suitable Conditions Absent; Species Absent: Sandy soil on the site is not conducive to this species. The site is at a lower elevation than the species' range. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
northern curly-leaved monardella <i>Monardella sinuata</i> ssp. <i>nigrescens</i>	Annual herb that occurs in sandy soil among chaparral, lower montane coniferous forest, coastal dunes, and coastal scrub with openings. 0–300 meters.	April–September	--	--	1B.2	Suitable Habitat Present; Species Absent: CNDDB documents occurrences along Highway 68 and south of Monterey Airport. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
woodland woollythreads <i>Monolopia gracilens</i>	An annual herb associated with serpentine soil. Often found in openings within broadleaved upland forest, chaparral, cismontane woodland, north coast coniferous forest, and valley and foothill grassland. 100–1200 meters.	February–July	--	--	1B.2	Suitable Conditions Absent; Species Absent: Sandy soil on the site is not conducive to this species. The site is at a lower elevation than the species' range. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
California adder's tongue <i>Ophioglossum californicum</i>	Perennial and rhizomaous herb that occurs in pond and vernal pool margins in chaparral and valley and foothill grassland. 60–525 meters.	December–June	--	--	4.2	Suitable Conditions Absent; Species Absent: The site does not support any aquatic habitats. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Gairdner's yampah <i>Perideridia gairdneri</i>	Perennial herb that occurs in vernally mesic sites among broadleaved upland forest, chaparral, coastal prairie, valley and foothill grassland, and vernal pools. 0–610 meters.	June–October	--	--	4.2	Suitable Conditions Absent; Species Absent: The site does not support any vernal pool habitats. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
South Coast branching phacelia <i>Phacelia ramosissima</i> var. <i>australitoralis</i>	Perennial herb from the Boraginaceae family. Occurs in chaparral, coastal dunes, coastal scrub, and coastal salt marsh. 5–300 meters.	March–August	--	--	3.2	Marginal Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Monterey pine <i>Pinus radiata</i>	Evergreen tree; only native stands restricted to Año Nuevo, Cambria, and the Monterey Peninsula. Occurs in closed-cone coniferous forest and cismontane woodland. 25–185 meters.	N/A	--	--	1B.1	Suitable Habitat Present; Species Present: Two young Monterey pines occur on the property downslope from the existing residence.
Michael's orchid <i>Piperia michaelii</i>	Perennial herb that occurs in coastal bluff scrub, closed-cone coniferous forest, chaparral, cismontane woodland, and lower montane coniferous forest. 3–915 meters.	April–August	--	--	4.2	Marginal Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Yadon's rein orchid <i>Piperia yadonii</i>	Perennial herb occurs in coastal bluff scrub, closed-cone coniferous forest, and maritime chaparral with sandy soil. 10–510 meters.	May–August	FE	--	1B.1	Suitable Habitat Present; Species Absent: CNDDB documents occurrences within 0.5 mile north of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Hickman's popcornflower <i>Plagiobothrys chorisianus</i> var. <i>hickmanii</i>	Annual herb that occurs in vernal pools and other wet areas among chaparral, closed-cone coniferous forest, and coastal scrub habitats. 15–185 meters.	April–June	--	--	4.2	Marginal Habitat Present; Species Absent: Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
hooked popcornflower <i>Plagiobothrys uncinatus</i>	Annual herb occurs in chaparral, cismontane woodland, and valley and foothill grassland with sandy soils. 300–760 meters.	April–May	--	--	1B.2	Suitable Conditions Absent; Species Absent: The site is at a lower elevation than the species' range. Species not observed by Zander during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Hickman's cinquefoil <i>Potentilla hickmanii</i>	Perennial herb occurs in wet areas associated with coastal bluff scrub, closed-cone coniferous forest, meadows and seeps, and freshwater marshes. 10–149 meters.	April–August	FE	SE	1B.1	Marginal Habitat Present; Species Absent: The slope wetland within the proposed restoration area provides marginal habitat for this species, but is likely not wet enough to support the species. CNDDDB documents occurrences within 1 mile of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
angel's hair lichen <i>Ramalina thrausta</i>	An epiphytic lichen that grows on dead twigs and other lichens in north coast coniferous forests. 75–430 meters.	N/A	--	--	2B.1	Suitable Habitat Absent; Species Absent: The site does not support coniferous forest. Species not observed on site.
Lobb's aquatic buttercup <i>Ranunculus lobbii</i>	Aquatic annual herb that occurs in vernal pools among cismontane woodland, North Coast coniferous forest, and valley and foothill grassland. 15–470 meters.	February–May	--	--	4.2	Suitable Conditions Absent; Species Absent: The site does not support any aquatic habitats. Species not observed by Zander during surveys conducted in the appropriate season.
pine rose <i>Rosa pinetorum</i>	Perennial shrub occurs in closed-cone coniferous forest. 2–300 meters	May–July	--	--	1B.2	Suitable Habitat Absent; Species Absent: The site does not support coniferous forest. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
maple-leaved checkerbloom <i>Sidalcea malachroides</i>	Perennial herb occurs in broad-leaved upland forest, coastal prairies, coastal scrub, north coast coniferous forest, and riparian woodland. Often found in disturbed areas. 2–730 meters	April–August	--	--	4.2	Suitable Habitat Absent; Species Absent: The site does not support appropriate habitats. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Santa Cruz microseris <i>Stebbinsoseris decipiens</i>	Annual herb occurs in broadleaf upland forest, closed-cone coniferous forest, chaparral, coastal prairie, coastal scrub, and alley and foothill grassland. Associated with open areas; occasionally occurring in serpentinite. 10–500 meters	April–May	--	--	1B.2	Suitable Habitat Absent; Species Absent: The site does not support appropriate habitats. Species not observed by Zander during surveys conducted in the appropriate season.
California screw moss <i>Tortula californica</i>	Moss that occurs in chenopod scrub and valley and foothill grassland associated with sandy soil. 10–1460 meters	N/A	--	--	1B.2	Suitable Habitat Absent; Species Absent: The site does not support appropriate habitats. Species not observed by Zander or SWCA on site.
Santa Cruz clover <i>Trifolium buckwestiorum</i>	Annual herb that occurs in broadleaf upland forest, cismontane woodland and coastal prairies with gravelly margins. 105–610 meters	April–October	--	--	1B.1	Suitable Conditions Absent; Species Absent: The site is at a lower elevation than the species' range, does not support gravelly areas, and does not support appropriate habitat. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
saline clover <i>Trifolium hydrophilum</i>	Annual herb that occurs in marshes and swamps, valley and foothill grassland (mesic, alkaline), and vernal pools. 0–300 meters.	April–June	--	--	1B.2	Suitable Habitat Absent; Species Absent: The site does not support appropriate habitats. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
Pacific Grove clover <i>Trifolium polyodon</i>	Annual herb usually associated with mesic (wet) sites in closed-cone coniferous forest, coastal prairies, meadows and seeps, and valley and foothill grassland. 5–120 meters	April–June	--	SR	1B.1	Suitable Habitat Absent; Species Absent: The slope wetland within the proposed restoration area provides marginal habitat; however, the sandy soil is not likely to support this species. CNDDDB documents occurrences within 1 mile of the site. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Monterey clover <i>Trifolium trichocalyx</i>	Annual herb occurs in closed-cone coniferous forest with sandy openings or burned areas. 30–240 meters	April–June	FE	SE	1B.1	Suitable Habitat Absent; Species Absent: The site does not support appropriate habitats. Species not observed by Zander or SWCA during surveys conducted in the appropriate season.
<i>Sensitive Natural Communities</i>						
Central Dune Scrub	A back dune plant community characterized by low growing, drought tolerant shrubs that develop considerable cover. Diagnostic species include <i>Ericameria ericoides</i> and <i>Lupinus chamissonis</i> .					Central dune scrub is present on the undeveloped portions of the property.
Central Maritime Chaparral	A variable scrub community of moderate to high cover dominated by various <i>Arctostaphylos</i> sp. Found on well drained sandy soils in areas subject to summer fog.					The site does not support central maritime chaparral.
Monterey Cypress Forest	A moderately dense forest dominated by <i>Callitropsis macrocarpa</i> ; understory usually consist of scattered shrubs and perennial herbs. This community is confined to rocky granitic soils of coastal bluffs.					Although Monterey cypress trees are present, the site does not support Monterey cypress forest.
Monterey Pine Forest	Open to dense forest dominated by <i>Pinus radiata</i> with a significant presence of coast live oak. The understory is variable in density and composition. Monterey pine forests are limited to areas with well-drained sandy soils and marine fog.					Although a Monterey pine tree is present, the site does not support Monterey pine forest.
Monterey Pygmy Cypress Forest	A lower growing scattered forest occurring on marine terraces with sterile, acidic, and poorly drained soils. Often intergrades with Monterey pine forest. Typical understory species include <i>Arctostaphylos hookeri</i> and <i>Vaccinium ovatum</i> .					The site does not support Monterey pygmy cypress forest.
Northern Bishop Pine Forest	Open to dense serotinous forest dominated by <i>Pinus muricata</i> . This community often intergrades with northern coastal scrub on rocky soils, upland redwood forest on protected sites, or pygmy cypress forest on coastal terraces with podzol soils. .					The site does not support northern bishop pine forest.

Table 4.2-1. Special-Status Plant Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Flower Season	Legal Status			Rationale for Expecting Presence or Absence
			Federal	State	CNPS	
Northern Coastal Salt Marsh	Marsh habitat supporting herbaceous, suffrutescent, salt tolerant hydrophytes often active in summer and dormant in winter. Characteristic species include <i>Jaumea carnosa</i> , <i>Limonium californicum</i> , and <i>Frankenia salina</i> . Developed around Humboldt Bay, Tomales Bay, San Francisco Bay, Elkhorn Slough, and Morro Bay.					The site does not support northern coastal saltmarsh.
Valley Needlegrass Grassland	Grassland reaching up to 2 feet tall and dominated by <i>Nassella</i> sp, which is a native tussock forming grass. Annual grasses occur between the perennials, often exceeding the bunch grasses in cover. Usually occurs on fine-textured soils that are wet in the winter and very dry in the summer.					The site does not support valley needlegrass grassland.

General references: Unless otherwise noted all habitat and distribution data provided by California Native Plant Society Rare Plant Inventory.

Status Codes

--= No status

Federal:

FE = Federally Endangered

FT = Federally Threatened

California Native Plant Society:

Rank 1B = rare, threatened, or endangered in California and elsewhere.

Rank 2 = rare, threatened, or endangered in California, but more common elsewhere.

State:

SE = State Endangered

ST = State Threatened

SR = State Rare

Threat Code:

.1 = Seriously endangered in California (over 80% of occurrences threatened / high degree and immediacy of threat)

.2 = Fairly endangered in California (20–80% occurrences threatened)

.3 = Not very endangered in California (<20% of occurrences threatened or no current threats known)

Table 4.2-2. Special-Status Wildlife Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Legal Status			Rationale for Expecting Presence or Absence
		Federal	State	CDFW	
Insects					
monarch butterfly <i>Danaus plexippus</i>	Occurs along the coast from northern Mendocino to Baja California, Mexico. Winter roosts in wind protected tree groves (eucalyptus, Monterey pine and cypress), with nectar and water sources nearby.	--	SA	--	Suitable Habitat Absent: CNDDDB documents occurrences on Signal Hill directly uphill and downhill from the site. However, the project area does not support suitable roost trees.
Smith's blue butterfly <i>Euphilotes enoptes smithi</i>	Occurs in coastal dunes and coastal sage scrub plant communities in Monterey and Santa Cruz counties. Utilizes <i>Eriogonum latifolium</i> and <i>Eriogonum parvifolium</i> as a host plant for larval and food	FE	--	--	Suitable Habitat Present, Species not expected to occur. Despite repeated survey efforts in the area conducted by Dr. Richard Arnold, Smith's blue butterfly has not been documented in the vicinity of Pebble Beach and 17-mile drive (Entomological Consulting Services, Ltd. 2008).
Branchiopods					
vernal pool fairy shrimp <i>Branchinecta lynchi</i>	Occur in vernal pool habitats including depressions in sandstone, to small swale, earth slump, or basalt-flow depressions with a grassy or, occasionally, muddy bottom in grassland.	FT	--	--	Suitable Habitat Absent: The site does not contain sandstone depressions or vernal pools.
California linderiella <i>Linderiella occidentalis</i>	Occurs in seasonal ponds in grasslands, sandstone depressions, and alluvial flats with hardpan beneath.	--	--	--	Suitable Habitat Absent: The site does not contain sandstone depressions or vernal pools.
Fish					
tidewater goby <i>Eucyclogobius newberryi</i>	Occurs in brackish shallow lagoons and lower stream reaches where water is fairly still, but not stagnant.	FE	--	SSC	Suitable Habitat Absent: The site does not support any aquatic habitats.

Table 4.2-2. Special-Status Wildlife Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Legal Status			Rationale for Expecting Presence or Absence
		Federal	State	CDFW	
South-Central California Coast steelhead ESU <i>Oncorhynchus mykiss irideus</i>	Occurs in clear, cool water with abundant in-stream cover, well-vegetated stream margins, relatively stable water flow, and a 1:1 pool-to-riffle ratio.	FT, PCH	--	SSC	Suitable Habitat Absent: The site does not support any aquatic habitats.
Amphibians					
California tiger salamander <i>Ambystoma californiense</i>	Occurs in grasslands or oak woodlands that support natural ephemeral pools or ponds that mimic them. This species requires seasonal water for breeding and small mammal burrows, crevices in logs, piles of lumber, and shrink-swell cracks in the ground for refuges.	FT	--	SSC	Suitable Conditions Absent: Site does not support any ephemeral pools or seasonal water suitable for breeding. Small mammal burrows for aestivation were not observed.
California red-legged frog <i>Rana draytonii</i>	Occurs in aquatic habitats with little or no flow and surface water depths to at least 2.3 feet. Presence of fairly sturdy underwater supports such as cattails.	FT	--	SSC	Suitable Habitat Absent: The site does not support any aquatic habitats for breeding. CNDDDB documents occurrences within 0.5 mile north of the site.
Coast Range newt <i>Taricha torosa torosa</i>	Breed in ponds, reservoirs, and slow-moving streams. Frequents terrestrial habitats such as oak woodlands.	--	--	SSC	Suitable Habitat Absent: The site does not support any aquatic habitats for breeding. Species not observed.
Reptiles					
California legless lizard <i>Anniella pulchra</i> (inclusive of <i>A. p. pulchra</i> and <i>A. p. nigra</i>)	Occurs in sandy or loose loamy soils with high moisture content under sparse vegetation. Herpetologists debate the validity of these two subspecies. Regardless of the specific epithet, <i>A. p. pulchra</i> and <i>A. p. nigra</i> have the same conservation status and utilize similar habitats; therefore, they are treated together in this evaluation.	--	--	SSC	Suitable Habitat Present: CNDDDB documents occurrences on Signal Hill directly uphill and downhill from the site. Species is likely present on the site.

Table 4.2-2. Special-Status Wildlife Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Legal Status			Rationale for Expecting Presence or Absence
		Federal	State	CDFW	
western pond turtle <i>Emys marmorata</i>	Occurs in quiet waters of ponds, lakes, streams, and marshes. Typically in the deepest parts with an abundance of basking sites.	--	--	SSC	Suitable Conditions Absent: Site does not support freshwater habitat with basking structures.
coast horned lizard <i>Phrynosoma coronatum (blainvillii</i> population)	Frequents a wide variety of habitats, commonly occurring in lowlands along sandy washes, coastal sage scrub and chaparral in arid and semi-arid climate conditions. Species prefers friable, rocky, or shallow sandy soils.	--	--	SSC	Suitable Conditions Present: CNDDDB does not document occurrences in the immediate area; however, the site supports suitable habitat for this species. Species not observed during surveys.
Birds					
tricolored blackbird <i>Agelaius tricolor</i>	(Nesting colony); requires open water, protected nesting substrate such as cattails or tall rushes, and foraging area with insect prey.	MBTA	--	SSC	Suitable Conditions Absent: The site does not support any aquatic sites with emergent vegetation.
burrowing owl <i>Athene cunicularia</i>	Occurs in open, dry grasslands, deserts, and scrublands. Subterranean nester, dependent upon burrowing mammals.	MBTA	--	SSC	Suitable Conditions Absent: The friable soil is suitable for wintering burrowing owl. However, the sloped topography and lack of small mammal burrows are not conducive to this species. Burrowing owls are not expected to occur on the site.
marbled murrelet <i>Brachyramphus marmoratus</i> <i>marmoratus</i>	Spends most of the non-breeding season in off shore or near shore environments near coniferous forests. The only California alcid species to nests inland. Typically nests in the upper branches of redwoods or doug-fir forests. Builds its nests with lichens and mosses.	FT	--	--	Suitable Conditions Absent: The site does not support coniferous forest suitable for nesting.
ferruginous hawk <i>Buteo regalis</i>	A winter migrant in coastal California that utilizes open grasslands, sagebrush flats, desert scrub, low foothills, and fringes of pinyon-juniper habitats. Preys on lagomorphs, ground squirrels, and mice.	MBTA	--	--	Suitable Conditions Absent: Although the ferruginous hawks may pass through the area in the winter. Nesting is not expected to occur in the project areas.

Table 4.2-2. Special-Status Wildlife Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Legal Status			Rationale for Expecting Presence or Absence
		Federal	State	CDFW	
western snowy plover <i>Charadrius alexandrinus nivosus</i>	Occurs on sandy beaches, salt pond levees, and shores of large alkali lakes. Needs sandy, gravelly or friable soils for nesting.	MBTA, FT	--	SSC	Suitable Conditions Absent: The site does not support the appropriate habitat for nesting.
black swift <i>Cypseloides niger</i>	Occurs along the coastal belt of Santa Cruz and Monterey counties, central and southern Sierra Nevada, and in the San Bernardino and San Jacinto Mountains. Breeds in small colonies on cliffs, near waterfalls and on sea bluffs above the ocean.	--	--	SSC	Suitable Conditions Absent: The site does not contain cliffs, waterfalls or sea bluffs. Impacts to this species are not expected.
yellow rail <i>Coturnicops noveboracensis</i>	Occurs in freshwater marshlands. Known as a summer resident in the eastern Sierra Nevada mountain range, Mono County.	MBTA	--	SSC	Suitable Conditions Absent: The site does not support freshwater marshlands suitable for this species. Species not observed.
southwestern willow flycatcher <i>Empidonax traillii extimus</i>	Occurs in riparian woodlands of southern California.	FE	SE	--	Suitable Conditions Absent: The site does not support riparian woodlands suitable for this species. Species not observed.
California horned lark <i>Eremophila alpestris actia</i>	Occurs in short grass prairies, coastal plains, fallow grain fields and alkali flats. Found in coastal regions from Sonoma to San Diego county, and west to the San Joaquin Valley.	MBTA	--	--	Suitable Conditions Absent: The sloped topography and dense shrubs are not conducive to this species. California horned lark is not expected to occur on the site. Species not observed during the surveys.
California condor <i>Gymnogyps californianus</i>	Occurs in open savannahs, grasslands, and foothill chaparral, in mountain ranges with moderate altitudes. Nest in deep canyons on rock walls with clefts.	MBTA, FE	SE		Suitable Conditions Absent: The site does not support any cliffs or rock faces for nesting. Any occurrence in the area would be an incidental flyby to access coastal feeding grounds on the nearby beaches.

Table 4.2-2. Special-Status Wildlife Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Legal Status			Rationale for Expecting Presence or Absence
		Federal	State	CDFW	
California black rail <i>Laterallus jamaicensis coturniculus</i>	Shore birds known to frequent tidal salt marshes. Utilize densely vegetated mud flats and high tide line in salt water marsh systems.	MBTA	ST	--	Suitable Conditions Absent: the site does not support tidal salt marshes or mudflats. Species not observed.
ashy storm-petrel <i>Oceanodroma homochroa</i>	An open ocean bird that feeds in pelagic waters. Target feeding grounds include the edge of the continental shelf and other deep water habitats such as the Monterey submarine canyon. Often seen near shore in Monterey Bay. Nests on rocky islands with abundant crevices.	--	--	SSC	Suitable Conditions Absent: The site is too far removed from the coastline to support this species. The site does not have rocky outcrops with numerous crevices for nesting opportunities.
California brown pelican <i>Pelecanus occidentalis californicus</i>	Nests on coastal islands in colonies; forages throughout coastal California ocean waters.	FE	SE	--	Suitable Conditions Present: Site does not support any nesting habitat. However, near-shore open water habitat located just west of the project area supports resting and foraging habitat. Any occurrence during project activities would be a "fly by".
bank swallow <i>Riparia riparia</i>	Nests in colonies in vertical sand banks. Forages over meadows and water.	--	ST	--	Suitable Conditions Absent: The site does not have any vertical banks for nesting opportunities.
California least tern <i>Sternula antillarum browni</i>	Largely a coastal species that feed on fish and nest on sandy dunes or beaches. Once a common species in California; currently nesting colonies are isolated to Southern California and scattered Bay Area beaches.	FE	SE	--	Suitable Conditions Absent: The site does not include sandy dunes or beaches suitable for nesting.
Least Bell's vireo <i>Vireo bellii pusillus</i>	Summer resident of southern California. Occurs in low riparian areas in the vicinity of water or in dry river bottoms below 2000 feet. Nests along the margins of bushes or twigs of willow, Baccharis, or mesquite.	FE	SE	--	Suitable Conditions Absent: the site does not support low riparian areas or dry river bottom conditions.

Table 4.2-2. Special-Status Wildlife Species Evaluated for Potential Occurrence

Species Name	Habitat and Distribution	Legal Status			Rationale for Expecting Presence or Absence
		Federal	State	CDFW	
Class Aves Other migratory bird species (nesting)	Annual grasslands, coastal scrub, chaparral, and oak woodlands may provide nesting habitat.	MBTA	--	--	Suitable Conditions Present: Potential nesting habitat occurs throughout the site.
Mammals					
Townsend's big-eared bat <i>Corynorhinus townsendii</i>	Occurs in a wide variety of habitats; most common in mesic (wet) sites. May use trees for day and night roosts; however, requires caves, mines, rock faces, bridges or buildings for maternity roosts. Maternity roosts are in relatively warm sites.	--	--	SSC	Suitable Conditions Absent: The site does not support suitable roosting substrates.
Southern sea otter <i>Enhydra lutris nereis</i>	Sea otters are found in nearshore marine environments of California from Año Nuevo, San Mateo County, to Point Sal, Santa Barbara County.	FT	--	FP	Suitable Conditions Absent: The site does not include nearshore marine habitats.
Hoary bat <i>Lasiurus cinereus</i>	Occurs in open habitats and habitat mosaics with access to trees for cover. Roosts in dense foliage of medium to large trees.	--	SA	--	Suitable Conditions Absent: The site does not support appropriate habitats or trees suitable for roosting.
American badger <i>Taxidea taxus</i>	Occurs in open stages of shrub, forest, and herbaceous habitats; needs uncultivated ground with friable soils.	--	--	SSC	Suitable Conditions Absent: The sloped topography and dense shrubs are not conducive to this species.

General references: Unless otherwise noted all habitat and distribution data provided by CNDDDB.

Status Codes

--= No status

Federal:

FE = Federal Endangered

FT = Federal Threatened

FC = Federal Candidate

CH = Federal Critical Habitat

PCH = Proposed Federal Critical Habitat

MBTA = Protected by Federal Migratory Bird Treaty Act

State:

SE = State Endangered

ST = State Threatened

California Department of Fish and Wildlife:

SSC = California Special Concern Species

FP = Fully Protected Species

SA = Not formally listed but included in CDFW "Special Animal" List.

4.2.2 Regulatory Setting

4.2.2.1 Federal Regulations

Federal Endangered Species Act of 1973

The FESA provides legislation to protect federally listed plant and animal species. Impacts to listed species resulting from the implementation of a project would require the responsible agency or individual to formally consult with USFWS or the National Oceanic and Atmospheric Administration (NOAA) National Marine Fisheries Service (NOAA Fisheries) to determine the extent of impact to a particular species. If USFWS or NOAA Fisheries determine that impacts to a species would likely occur, alternatives and measures to avoid or reduce impacts must be identified. USFWS and NOAA Fisheries also regulate activities conducted in federal critical habitat, which are geographic units designated as areas that support primary habitat constituent elements for listed species.

Migratory Bird Treaty Act of 1918

The MBTA protects all migratory birds, including their eggs, nests, and feathers. The MBTA was originally drafted to put an end to the commercial trade in bird feathers, popular in the latter part of the 1800s. The MBTA is enforced by USFWS, and potential impacts to species protected under the MBTA are evaluated by USFWS in consultation with other federal agencies.

4.2.2.2 State Regulations

California Endangered Species Act

The CESA ensures legal protection for plants listed as rare or endangered, and wildlife species formally listed as endangered or threatened. The state law also lists SSC species based on limited distribution, declining populations, diminishing habitat, or unusual scientific, recreational, or educational value. Under state law, CDFW is empowered to review projects for their potential to impact state listed species and SSC species, and their habitats.

California Fish and Game Code

“Fully Protected” species may not be taken (hunt, pursue, catch, capture, or kill, or attempt to hunt, pursue, catch, capture, or kill) or possessed without a permit from the California Fish and Game Commission and/or CDFW. Information on these species can be found within §3511 (birds), §4700 (mammals), §5050 (reptiles and amphibians), and §5515 (fish) of the California Fish and Game Code. Sections 3503 and 3503.5 of the California Fish and Game Code state that it is unlawful to take, possess, or destroy the nest or eggs of any bird, with occasional exceptions. In addition, §3513 states that it is unlawful to take or possess any migratory bird as designated in the MBTA or any part of such migratory birds except as provided by rules and regulations under provisions of the MBTA.

CDFW also manages the California Native Plant Protection Act of 1977 (California Fish and Game Code §1900, et seq.), which was enacted to identify, designate, and protect rare plants. In accordance with CDFW guidelines, plant species included on CNPS lists 1A, 1B, and 2 are considered “rare” under the Native Plant Protection Act, and are evaluated in CEQA documents. Impacts to plants on these lists must be fully evaluated under CEQA. Little information is known about plant species included on CNPS list 3; plants included on CNPS list 4 have limited distributions. It is strongly recommended that impacts to plants on CNPS lists 3 and 4 be evaluated in CEQA documents.

California Coastal Act

The California Coastal Act was enacted in 1976 to provide long-term protection of California's coastal resources. The Coastal Act's coastal resources management policies are based on recommendations contained in the California Coastal Plan. One such policy includes:

“Protection, enhancement and restoration of environmentally sensitive habitats, including intertidal and nearshore waters, wetlands, bays and estuaries, riparian habitat, certain wood and grasslands, streams, lakes, and habitat for rare or endangered plants or animals.”

Most development within the coastal zone is required to obtain a coastal development permit. The CCC, or other local agency with delegated authority through an approved LCP, must evaluate proposed impacts to coastal resources, wetlands, and other environmentally sensitive habitats. Any proposed impacts to these resources must conform to Coastal Act/LCP policies.

The Coastal Act definition of a wetland is broader than that of the U.S. Army Corps of Engineers (USACE). For wetland delineations in the Coastal Zone, the CCC utilizes a single-parameter definition, where any one of three common wetland indicators (hydrophytic vegetation, hydric soil, or wetland hydrology) will qualify an area as a wetland (as opposed to the USACE three-parameter methodology, which requires all three wetland characteristics to be present for an area to be considered a wetland). Delineations performed using the CCC definition generally results in the identification of more and larger wetland areas than a corresponding USACE delineation of the same site due to the difference in identifying criteria between methods.

4.2.2.3 Local Regulations and Policies

Del Monte Forest Area Land Use Plan and Coastal Implementation Plan

The Del Monte Forest Area LUP (County of Monterey 2012a) is a component of the LCP and is supported by Part 5 of the Coastal Implementation Plan, *Regulations for Development in the Del Monte Forest Land Use Plan Area (Title 20, Coastal Zoning Ordinance, Chapter 20.147)* (Monterey County 2012b). Together, these documents include policies requiring the protection of ESHA and the preservation of freshwater areas, marine areas, and forest areas.

Environmentally Sensitive Habitat Areas

The Del Monte Forest Area LUP defines ESHA as:

“any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and development. In the Del Monte Forest, examples of habitat areas which have historically been determined to meet the definition of ESHA include: the rare Monterey cypress and Gowen cypress forest communities, portions of the native Monterey pine forest, the endemic Monterey pine/Bishop pine association, central maritime chaparral, coastal sand dunes, streams and riparian corridors, wetlands, and sites in which sensitive plants and animals associated with these and other habitats are located.”

Del Monte Forest Area LUP policies provide strong protection for ESHAs, and allowable development within ESHA is limited to resource-dependent uses (e.g., nature education and research) that do not result in any significant disruption of habitat values. The LUP also requires

that any development adjacent to ESHA be properly sited and designed to avoid impacts that would significantly degrade the adjacent habitat areas.

Freshwater and Marine Resources

Freshwater and marine resources include Del Monte Forest's coastal streams, wetlands, open coastal waters, and Carmel Bay. As discussed in Section 4.2.2.2, the definition of wetlands in the coastal zone requires that a wetland area support at least one of the following indicators:

- dominance of hydrophytic vegetation;
- hydric soil indicators; or,
- wetland hydrology indicators.

The key policies in the LUP require that freshwater and marine resources be protected and maintained through application of adequate buffers and setbacks, maintaining hydrologic inputs, protecting riparian and wetland vegetation, carefully controlling grading to minimize erosion and sedimentation, and effective collection, filtration, and treatment of runoff.

Forest Resources

The Del Monte Forest area includes premier examples of Monterey pine forest, Monterey cypress forest, Gowen cypress (*Hesperocyparis goveniana*) forest, and Bishop pine (*Pinus muricata*) forest. The forests are a defining element of the Del Monte Forest area and are provided special protections in the LUP.

The protection of identified forest resources is a paramount concern of the LUP. The LUP recognizes that some of the Del Monte area forests are ESHA, while other forests are not. Some level of protection is provided for all types of forest resources, but disturbance of non-ESHA forests and non-forest trees as part of normal and typical development is allowed as long as the development is otherwise consistent with the LCP. Development within ESHA forests is strictly limited.

4.2.2.4 Applicable State, Regional, and Local Land Use Plans and Policies Relevant to Biological Resources

Table 4.2-3 lists applicable state, regional, and local land use policies and regulations pertaining to biological resources that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented in Section 4.2.2, Regulatory Setting, above, and Chapter 3, Environmental Setting. Also included in Table 4.2-3 is an analysis of project consistency with identified policies and regulations. Where the analysis concludes the proposed project would potentially conflict with the applicable policy or regulation, the reader is referred to Section 4.2.5, Impact Assessment and Mitigation Measures, for additional discussion.

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
County of Monterey Del Monte Forest Area Land Use Plan		
Del Monte Forest Land Use Plan Key Policies		
<p>Freshwater and Marine Resources: The water quality and biological value of the Del Monte Forest’s coastal streams, wetlands, open coastal waters, and the Carmel Bay shall be protected and maintained, including through application of adequate buffers and setbacks, maintaining hydrologic inputs, protecting riparian and wetland vegetation, carefully controlling grading to minimize erosion and sedimentation, and effective collection, filtration, and treatment of runoff.</p>	<p>The intent of this policy is to ensure that proposed projects do not result in adverse impacts to marine and freshwater resources.</p>	<p><u>Potentially Consistent.</u> The proposed project is located on a stabilized sand dune and would not directly or indirectly affect marine or freshwater resources. The identified wetland vegetation is located within an area proposed for restoration and is located approximately 130 feet downslope from the proposed residence. <u>Mitigation has been identified</u> to ensure adequate erosion control is implemented during construction (HYD/mm-1.1) and wetland species are protected during dune restoration (BIO/mm-4.1 and BIO/mm-4.2). <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Environmentally Sensitive Habitat Areas: The environmentally sensitive habitat areas of the Del Monte Forest are unique, limited, and fragile resources that are sensitive and important biologically, as well as resources that enrich Del Monte Forest enjoyment for residents and visitors alike. Accordingly, these areas shall be protected, maintained, and, where possible, enhanced and restored in accordance with the policies of this LUP. Except where specifically and explicitly authorized by the LUP, all categories of land use and development, both public and private, shall be subordinate to the protection of these areas.</p>	<p>The intent of this policy is to ensure that development projects do not adversely affect ESHA.</p>	<p><u>Potentially Inconsistent.</u> As proposed, the project would encroach onto and permanently convert ESHA into the building footprint and other proposed paved areas. Mitigation is proposed to reduce the impacts on ESHA to less than significant, including use of native species within proposed landscaped areas and long-term maintenance to ensure the success of restored areas. The project would also restore and conserve 1.67 acres of ESHA in perpetuity, and the loss of 0.39 acre of ESHA would not disrupt or significantly degrade the habitat values of the remaining ESHA at the project site.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Forest Resources: The natural beauty of the Del Monte Forest is one of its chief assets, and forest resources, in addition to their fundamental role in supporting the area’s natural environment, are a principal constituent of the scenic attractiveness of the area that must be preserved for the benefit of both residents and visitors alike. These forest resources are best understood as complex and dynamic habitats comprising forest trees, understory vegetation, wildlife, soils, and climate, and the interaction of all these elements. These forests are complex, interdependent webs of living organisms and physical habitat, and are much more than simply an aggregate of trees. They are also home to the area’s wildlife and serve to moderate climatic extremes. Long-term preservation of forest resources is a paramount concern and objective of the LUP.</p>	<p>The intent of this policy is to ensure that development projects do not adversely affect forest resources in the Del Monte Forest area.</p>	<p>However, approval of the project as mitigated would make the protection of ESHA subordinate to the project, which would be potentially inconsistent with this policy.</p>
<p>Resource Management Element</p>		
<p>ENVIRONMENTALLY SENSITIVE HABITAT AREAS</p>		
<p>Policy 8. Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values. Within environmentally sensitive habitat areas, new land uses shall be limited to those that are dependent on the resources therein. Land uses and development adjacent to environmentally sensitive habitat areas shall be compatible with long-term maintenance of the habitat area, and such land use and development shall be sited and designed to prevent impacts that would significantly degrade the habitat areas.</p>	<p>The intent of this policy is to avoid long-term adverse effects on Environmentally Sensitive Habitat Areas.</p>	<p><u>Potentially Inconsistent.</u> Construction of the proposed residence and adjacent landscaping would result in the permanent loss of 0.39 acre of disturbed sand dune habitat, which is considered ESHA. Expanded residential use of ESHA is not a resource dependent use and would be potentially inconsistent with this policy. However, the project</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 11. Contiguous areas of land in open space uses shall be maintained wherever possible to protect environmentally sensitive habitat areas and associated wildlife values. To this end, development of parcels immediately adjacent to environmentally sensitive habitat areas shall be planned to keep development intensity immediately adjacent to the sensitive habitats as low as possible, consistent with other planning criteria (e.g., drainage design, roadway design, and public safety).</p>	<p>The intent of this policy is to protect ESHA and wildlife habitat in contiguous areas of open space.</p>	<p>would also conserve 1.67 acres of ESHA in perpetuity and the loss of 0.39 acre of ESHA would not disrupt or significantly degrade the habitat values of the remaining ESHA at the project site.</p> <p><u>Potentially Consistent.</u> Although the proposed residence would be larger than the existing residence, the project does not propose a substantial increase in density or intensity of uses at the project site. The increased area of residential development would not substantially affect wildlife values in the surrounding area, consistent with this policy.</p>
<p>Policy 12. Where development of any type, including subdivision of land for development purposes, is proposed in or near documented or expected locations of environmentally sensitive habitat areas, biological reports, including field surveys and impact analysis, by qualified individuals shall be required to precisely determine such habitat area locations and to recommend siting, design, and related mitigating measures to ensure protection of any sensitive species or habitat areas present.</p>	<p>The intent of this policy is to ensure that development projects are adequately studied to identify whether or not the project would adversely affect ESHA.</p>	<p><u>Potentially Consistent.</u> The Monterey County Resource Management Agency – Planning Department has established guidelines for biological studies to evaluate project impacts on biological resources. The applicant retained Zander, a Monterey County approved biological consultant, to prepare several studies on the site. In addition, SWCA conducted a biological study for the preparation of this EIR, consistent with this policy</p>
<p>Policy 13. Environmentally sensitive habitat areas shall be protected through deed restrictions or permanent open space conservation and scenic easements granted to the Del Monte Forest Foundation. Where developments are proposed within or near areas containing environmentally sensitive habitat, such restrictions or easements shall be established through the development review process. Where development has already occurred within or near areas containing environmentally sensitive habitat, property owners are encouraged to voluntarily grant conservation and scenic easements to the Del Monte Forest Foundation. Except in the case of voluntary easements, each</p>	<p>The intent of this policy is to avoid long-term adverse effects on Environmentally Sensitive Habitat Areas.</p>	<p><u>Potentially Consistent.</u> The project would result in the permanent loss of 0.39 acre of ESHA, as a result of the expanded building footprint and adjacent landscaping. However, the project also includes the restoration of 1.67 acres of ESHA on the site. <u>Mitigation has been identified</u> that requires protection of the 1.67 acres of restored ESHA in perpetuity through a deed restriction or</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>instrument for effecting such restriction or easement shall be subject to approval by the County and the Coastal Commission as to form and content; shall provide for enforcement, if need be, by the County or other appropriate enforcement agency; and shall name the County as beneficiary in the event the Foundation ceases or is unable to adequately manage these easements for the intended purpose of natural habitat preservation. Permanent open space conservation and scenic easements shall be dedicated to the Del Monte Forest Foundation for all areas of the Forest designated Open Space Forest and Open Space Shoreline.</p>		<p>permanent open space and conservation easement (see measure BIO/mm-3.1), consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 14. Near environmentally sensitive habitat areas, native vegetation removal and land disturbance (grading, excavation, paving, etc.) shall be restricted to the minimum amount necessary to accommodate reasonable development. Development shall be sited and designed to prevent impacts that would significantly degrade those nearby areas, and shall be compatible with the continuance of those habitat areas.</p>	<p>The intent of this policy is to avoid long-term adverse effects on Environmentally Sensitive Habitat Areas.</p>	<p><u>Potentially Consistent.</u> The proposed project has been sited and designed to maximize the use of the currently developed/disturbed portions of the parcel and to minimize disturbance of native dune habitat and the loss of ESHA. The proposed residence would result in the loss of 0.39 acre of disturbed sand dune habitat that is considered ESHA per applicable plans and policies. However, this area of ESHA is moderately to heavily disturbed and development of the project would not significantly degrade or interfere with the continuance of restored ESHA in nearby areas, consistent with this policy.</p>
<p>Policy 15. The use of non-invasive Del Monte Forest-appropriate native plant species shall be required in landscape materials used in projects and invasive plant species shall be prohibited, especially in developments adjoining environmentally sensitive habitat areas. Non-native and/or invasive plant species should be removed, and such removal is encouraged.</p>	<p>The intent of this policy is to prevent adverse effects on Environmentally Sensitive Habitat Areas as a result of invasive species.</p>	<p><u>Potentially Consistent.</u> The project does not include the installation of any invasive species, and proposes the removal of invasive species within the 1.67-acre dune restoration area. <u>Mitigation measures have been identified</u> that prohibit the use of invasive species in project landscaping areas, consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 16. Prior to approval of development on existing legal lots of record, a biological report shall be prepared by a qualified biologist for the purpose of determining the presence of rare, endangered, and/or sensitive native plant and animal species and habitats and developing appropriate siting and design standards.</p>	<p>The intent of this policy is to ensure that development projects are adequately studied to identify whether or not the project would adversely affect special-status natural resources.</p>	<p><u>Potentially Consistent.</u> The applicant retained Zander, a Monterey County approved biological consultant, to conduct several studies on the site that included an analysis of the potential for presence of rare, endangered, and/or sensitive native species at the site. In addition, SWCA conducted a biological study for the preparation of this EIR, consistent with this policy.</p>
<p>Policy 17. The remnant native sand dune habitat along the shore in the Spanish Bay planning area, on Signal Hill near the former Spyglass Quarry, and adjacent to 17-Mile Drive in the Spyglass Cypress planning area, shall be preserved through open space conservation and scenic easements conveyed to the Del Monte Forest Foundation, as provided by Policy 13 above, as part of the approval of any development in adjacent areas.</p>	<p>The intent of this policy is to protect the remnant native sand dune habitat in the Spanish Bay and Signal Hill areas.</p>	<p><u>Potentially Consistent.</u> The project would result in the loss of 0.39 acre of ESHA, as a result of the expanded building footprint and adjacent landscaping. <u>Mitigation has been identified</u> that requires protection of the 1.67 acres of remaining ESHA in perpetuity through deed restriction or conservation easements (refer to measure BIO/mm-3.1), consistent with this policy. <u>With implementation of identified mitigation,</u> the project would be consistent with this policy.</p>
<p>Policy 18. Uses of remnant native sand dune habitat shall be limited to low-intensity scientific, educational, and/or recreational activities dependent on the resource. Particular attention shall be given to protection of rare and endangered plants from trampling. Such uses must be consistent with restoration and enhancement of the habitat.</p>	<p>The intent of this policy is to protect remnant native sand dune habitat and sensitive species.</p>	<p><u>Potentially Inconsistent.</u> The proposed project includes expansion of residential development into areas of disturbed native sand dune. Although no rare and endangered plant species were identified at the site, residential development is not a resource-dependent use and the project would be potentially inconsistent with this policy.</p>
<p>Policy 20. Indigenous Monterey cypress habitat is an environmentally sensitive habitat area within the Del Monte Forest, and is presumed present within the area mapped in Figure 2a. All proposed development in this area shall be accompanied by the biological</p>	<p>The intent of this policy is to preserve and protect designated Monterey cypress habitat.</p>	<p><u>Potentially Consistent.</u> The project site is not located in identified Monterey cypress habitat. Two Monterey cypress trees are proposed for removal;</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>reports described in Policies 12 and 16. All use and development in or adjacent to indigenous Monterey cypress habitat areas shall be compatible with the objective of protecting this environmentally sensitive coastal resource. All improvements (such as structures and driveways, etc.) shall be carefully sited and designed to avoid potential damage or degradation of Monterey cypress habitat, including the microhabitat of individual cypress trees, and must be located within existing hardscaped areas and outside of the dripline of individual cypress trees. Within the perimeter of the identified habitat area for a site, including at a minimum as defined by the driplines of the outermost indigenous Monterey cypress trees on the site, removal of native trees or other indigenous vegetation, grading, paving, building construction activity, landscape alterations and summer watering shall be prohibited. On the inland side of 17-Mile Drive, driveways shall be allowed in this area where the driveway does not come within the dripline of individual Cypress trees. Underground residential utilities and fences shall be allowed in this area on the inland side of 17-Mile Drive. Open space conservation and scenic easements are required for all undeveloped areas of a parcel within the Monterey cypress habitat area, and such easements shall be secured consistent with Policy 13.</p>		<p><u>mitigation identified in the EIR</u> would require replacement of these trees onsite. Individual Monterey cypress trees to remain on the site, and new trees to be planted, would be protected through <u>identified mitigation</u>, including a requirement for preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance and Monitoring Plan, consistent with this policy. <u>Mitigation has been identified</u> that requires protection of the 1.67 acres of remaining ESHA in perpetuity through deed restriction or conservation easements (refer to measure BIO/mm-3.1), consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 23. In addition to environmentally sensitive habitat area policies that may also apply, riparian plant communities shall be protected by establishing a setback/buffer of at least 100 feet as measured from the outer edge of riparian vegetation. The setback/buffer requirement may be reduced only if it is clearly demonstrated that a narrower setback/buffer is sufficient to protect riparian vegetation and associated wildlife values and other ecological functions, and that riparian enhancement is included in a project. No significant disruption of riparian habitat will be permitted, and all allowable use/development dependent on the riparian resource, including bridges, shall result in long-term habitat enhancement (i.e., new habitat value greater (qualitatively and quantitatively) than existing habitat value). Examples of such cases include restoration of previously damaged riparian environments and replacement of fill and culverts by bridges.</p>	<p>The intent of this policy is to protect riparian vegetation and associated aquatic habitat from adverse impacts.</p>	<p><u>Potentially Consistent</u>. The project site is not located adjacent to any riparian vegetation.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 25. In addition to environmentally sensitive habitat area policies that may also apply, a setback/buffer of at least 100 feet as measured from the edge of wetlands and from the mean high water line of the ocean shall be provided. No landscape alterations will be allowed in this setback/buffer area unless accomplished in conjunction with restoration and enhancement, and unless it is demonstrated that no significant disruption of environmentally sensitive habitat areas will result.</p>	<p>The intent of this policy is to protect coastal wetlands from adverse impacts.</p>	<p><u>Potentially Consistent.</u> The project's proposed construction footprint is approximately 130 feet from the identified <i>Juncus mexicanus</i> dominated coastal wetland. <u>Mitigation measures have been identified</u> to ensure dune restoration activities would not significantly disrupt wetland areas, including requirements that the perimeter of the wetland be flagged, that any vegetation removal within 25 feet of the coastal wetland be implemented by hand, and that no herbicides shall be used within 25 feet of the wetland. <u>With implementation of identified mitigation,</u> the project would be consistent with this policy.</p>
<p>FOREST RESOURCES</p>		
<p>Policy 30. The natural forested character of Del Monte Forest shall to the maximum feasible degree be retained consistent with the uses allowed by this LUP. Accordingly, all tree removal, land clearing for development, and forest management activities within native forest areas covered by this LUP shall conform to LUP policies regarding water and marine resources, environmentally sensitive habitat areas, and scenic visual resources.</p>	<p>The intent of this policy is to ensure that development projects do not result in adverse effects on forest resources in the area.</p>	<p><u>Potentially Consistent.</u> The project site is not located in identified forested areas. Two Monterey cypress trees are proposed for removal. Individual Monterey cypress trees to remain on the site, and trees to be planted as mitigation for the loss of existing trees, would be protected through <u>identified mitigation,</u> including a requirement for preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance and Monitoring Plan, consistent with this policy. <u>With implementation of identified mitigation,</u> the project would be consistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 31. Where LUP objectives conflict, preference should be given to long-term protection of the forest resource. All development that could affect trees and/or forest resources shall be accompanied by a forest management plan that clearly identifies all aspects of the tree/forest resources in question, including in relation to whether the trees are part of a forest, and whether the forest or portions of it are considered ESHA (to which the requirements of the preceding applicable LUP ESHA policies shall apply). When reviewing requests for tree removal, environmental considerations shall include review of forest plant associations, native soil cover, fuel management, aesthetic values, tree health, and applicable forest management plans. Within a forest ESHA, or for any individual tree considered ESHA, tree removal shall be prohibited unless it is part of restoration and enhancement efforts.</p>	<p>The intent of this policy is to ensure that development projects do not result in adverse effects on forest resources in the area.</p>	<p><u>Potentially Inconsistent.</u> The project site is not located in identified forested areas. However, individual Monterey cypress trees in areas identified as ESHA would be removed. The tree removal is not part of restoration or enhancement; therefore, the project is potentially inconsistent with this policy.</p>
<p>Policy 33. In considering potential development projects, siting and design shall be required to minimize to the extent feasible the removal of trees and understory vegetation and damage to soil resources. Siting, design, and land use concepts that minimize removal and damage should be applied and are preferred. Retained trees that are located close to construction areas shall be protected from inadvertent damage by construction equipment through wrapping of trunks with protective materials, bridging or tunneling under major roots where exposed in foundation or utility trenches, and other measures appropriate and necessary to protect the well-being of the retained trees.</p>	<p>The intent of this policy is to reduce the number of trees to be removed during development and minimize impacts to trees that are located adjacent to but will remain after development.</p>	<p><u>Potentially Consistent.</u> The project would require tree removal; however, <u>mitigation has been identified</u> to protect trees and minimize impacts to trees that are located adjacent to the proposed development but will remain after development, including preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance and Monitoring Plan and construction monitoring by an arborist, consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 34. The natural forest soil cover shall be retained in place to the maximum extent possible.</p>	<p>The intent of this policy is to minimize the loss of forest soils.</p>	<p><u>Potentially Consistent.</u> The project site does not contain any natural forest soil cover.</p>
<p>Policy 35. Development, including driveways and parking areas, shall be sited and designed to minimize removal of trees, especially trees that significantly contribute to the visual character of public view corridors (e.g., along 17-Mile Drive) and that screen the development from public view and neighboring properties. The clustering of single</p>	<p>The intent of this policy is to minimize the loss of trees resulting from development projects.</p>	<p><u>Potentially Consistent.</u> The project would result in the removal of two Monterey cypress trees and include grading adjacent to additional trees to remain after construction. Project construction</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>family homes in order to maintain the forested character of the Del Monte Forest shall be encouraged, and shall be required in subdivisions where topographic and habitat constraints allow. Native trees that are removed shall be replaced on the site in accordance with the recommendations of an approved Forest Management Plan with trees of the same variety, except where it is demonstrated that replacement of trees would result in an overcrowded, unhealthy environment. Replacement trees shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree(s), may be performed, including to reduce safety and fire hazards.</p>		<p>has been sited within previously disturbed areas to the extent feasible. <u>Mitigation measures have been identified</u> to protect onsite trees, including preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance and Monitoring Plan and construction monitoring by an arborist, consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>SCENIC AND VISUAL RESOURCES</p>		
<p>Policy 51. Live tree removal shall be prohibited in undeveloped areas unless it is consistent with all other LUP policies and any Forest Management Plan applicable to the area in question.</p>	<p>The intent of this policy is to prohibit the removal of trees in undeveloped areas</p>	<p><u>Potentially Consistent.</u> The project would result in the removal of two Monterey cypress trees and include grading adjacent to additional trees to remain after construction. <u>Mitigation measures have been identified</u> to protect onsite trees, including preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance and Monitoring Plan and construction monitoring by an arborist, consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Land Use and Development Element</p>		
<p>LAND USE AND DEVELOPMENT POLICIES</p>		
<p>Policy 67. Environmentally sensitive habitat areas shall be protected from both direct and indirect adverse impacts of development.</p>	<p>This policy is intended to avoid adverse effects on Environmentally Sensitive Habitat Areas.</p>	<p><u>Potentially Consistent.</u> The project would result in the permanent loss of 0.39 acre of ESHA, as a result of the expanded building footprint and adjacent landscaping. However, the project also proposes restoration of 1.67 acres of on-</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 71. Environmentally sensitive habitat areas shall remain undeveloped except for resource-dependent development that will not significantly disrupt habitat values.</p>	<p>This policy is intended to avoid adverse effects on Environmentally Sensitive Habitat Areas.</p>	<p>site ESHA and <u>mitigation has been identified</u> that requires use of native or native-compatible species in project landscaping and protection of the restored ESHA in perpetuity through deed restriction or conservation easements (refer to measure BIO/mm-3.1), consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 72. Within their indigenous range (see Figure 2a), Monterey cypress trees shall be protected to the maximum extent possible. All development that would impact Monterey cypress trees and/or Monterey cypress habitat in this area shall be sited and designed to avoid adverse impacts to individual cypress trees and cypress habitat.</p>	<p>The intent of this policy is to preserve and protect designated Monterey cypress habitat.</p>	<p><u>Potentially Inconsistent.</u> The proposed project includes expansion of residential development into degraded dune habitat that qualifies as ESHA. Although the project would not substantially disrupt habitat values, residential development is not a resource-dependent use and the project would be potentially inconsistent with this policy.</p>
<p>Monterey County Coastal Implementation Plan</p>		
<p>Part 5 Regulations for Development in the Del Monte Forest Plan Area (Chapter 20.147)</p>		
<p>20.147.040 Environmentally Sensitive Habitat Areas A. Environmentally Sensitive Habitat Area (ESHA) Determination The presence/absence of ESHA shall be determined prior to initiating the application review process with the intent to design sites in a manner avoiding ESHA to the greatest extent feasible. ESHAs are those habitat areas in which plant or animal life or their</p>	<p>It is the intent of this section is to ensure that proposed projects are reviewed in sufficient detail to determine whether or not ESHA will be affected by the project.</p>	<p><u>Potentially Consistent.</u> This EIR and previous studies evaluated the site to determine the presence of ESHA in the project area, consistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments. Historically, the following types of habitats have generally been found to meet the definition of ESHA:</p> <ul style="list-style-type: none"> ▪ Habitat areas that are rare or especially valuable from a local, regional, or statewide basis. ▪ Habitat areas that support plant or animal species designated or candidates for listing as rare, threatened, or endangered under State or Federal law. ▪ Habitat areas that support species designated as Fully Protected or Species of Special Concern under State law or regulations. ▪ Habitat areas that support plant species for which there is compelling evidence of rarity (e.g., those designated 1b (rare or endangered in California and elsewhere) or 2 (rare, threatened, or endangered in California but more common elsewhere) by the California Native Plant Society). ▪ Areas of particular biological, scientific, or educational interest, including large continuous expanses of native trees and vegetation. <p>Determinations of whether ESHA is actually present in the Del Monte Forest in any particular situation must be based on an evaluation of both the resources on the ground and knowledge about the sensitivity of the habitat at the time of development consideration. In the Del Monte Forest, examples of habitat areas that have historically been determined to meet the definition of ESHA include: the rare Monterey cypress and Gowen cypress forest communities, portions of the native Monterey pine forest, the endemic Monterey pine/Bishop pine association, central maritime chaparral, coastal sand dunes, streams and riparian corridors, wetlands, rocky intertidal areas, near-shore reefs, offshore rocks and inlets, the Carmel Bay ASBS, kelp beds, rookeries and haul-out sites, important roosting sites, and sites in which sensitive plants and animals associated with these and other habitats are located.</p>		

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>In terms of native Monterey pine forest and ESHA determinations, unless there is compelling site specific evidence to the contrary, significant stands (i.e., 20 acres in size or larger) of native Monterey pine forest that are relatively undisturbed are considered ESHA. Stands of native Monterey pine forest less than 20 acres that provide specific documented ecosystem functions, such as the provision of habitat for rare species (e.g., Yadon's piperia or Hooker's Manzanita) or rare communities (e.g., central maritime chaparral), or that are very close to or connected to large areas of forest may also be considered ESHA because of their especially valuable ecosystem functions. Other factors that might be considered in native Monterey pine forest ESHA determinations include the relative degradation or health of the understory, association with wetland or riparian resources, or the relative uniqueness of the stand itself.</p>	<p>The intent of this section is to protect the significant ESHA resources of the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. The applicant retained Zander, a Monterey County approved biological consultant, to prepare several studies on the site. In addition, SWCA conducted a biological study for the preparation of this EIR that identified ESHA on the project site, consistent with this policy.</p>
<p>20.147.040 Environmentally Sensitive Habitat Areas</p> <p>B. Biological Report Requirements</p> <ol style="list-style-type: none"> 1. Applications for development of any type, including subdivision of land for development purposes, shall include field surveys and impact analysis, by qualified individuals, to precisely determine habitat area, including ESHA, and to recommend siting, design, and related mitigating measures to ensure protection of any sensitive species or habitat areas present. All required setbacks, development footprint, fuel management, and landscape areas shall be illustrated on a map that depicts habitat areas. 2. All reports shall be prepared by a qualified biologist, and all field surveys for such biological reports shall be undertaken during times when documented or expected habitat evidence is most likely to be detected (e.g., flowering season, breeding season, etc.). 3. At a minimum, a report shall be required for all proposed development that can be described using one or more of the following criteria: <ol style="list-style-type: none"> (a) The development is or may potentially be located within an environmentally sensitive habitat area, based on 		

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>current available resource information or through on-site investigation;</p> <p>(b) The development is or may potentially be located within 100 feet of an environmentally sensitive habitat area and/or has the potential to significantly degrade such area; or</p> <p>(c) There is disagreement between staff and the applicant as to whether the proposed development meets one of the above criteria.</p> <p>4. The report shall be required, submitted and accepted by the Planning Department prior to the application being determined complete. The manner (electronic versus hard copy, number of copies, etc.) in which said report is to be submitted shall be determined by the Planning Department.</p> <p>5. Report preparation shall be solely at applicant expense.</p>	<p>The intent of this section is to establish standards for the protection of the significant ESHA resources of the Del Monte Forest.</p>	<p><u>Potentially Inconsistent.</u> The project would result in the loss of 0.39 acre of ESHA, as a result of an expanded building footprint and adjacent landscaping. Residential development is not a resource-dependent use of ESHA; therefore, the project is potentially inconsistent with this policy.</p> <p>The proposed project would be sited immediately adjacent to the ESHA that would remain after construction is complete. The residential uses that would occur within 100 feet of the remaining ESHA would not be resource dependent, potentially inconsistent with this policy.</p> <p>The project has been designed to utilize previously disturbed and developed areas and to avoid effects on existing trees to the extent feasible. However, the proposed development would encroach</p>
<p>20.147.040 Environmentally Sensitive Habitat Areas</p> <p>C. Development Standards</p> <p>1. Environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values. Within environmentally sensitive habitat areas, land uses shall be limited to those that are dependent on the resources therein.</p> <p>2. Land uses and development adjacent to environmentally sensitive habitat areas shall be compatible with long-term maintenance of the habitat area, and such land use and development shall be sited and designed to prevent impacts that would significantly degrade habitat areas. All land use and development shall be set back a minimum of 100 feet from environmentally sensitive habitat areas. Within this setback area, only uses and development that are consistent with the above long-term habitat area maintenance and impact prevention criteria are allowed (e.g., habitat maintenance activities, limited passive recreational access, etc.).</p> <p>Uses permitted in the setback area shall be required to:</p> <p>a) minimize removal of vegetation; b) conform to natural topography; c) minimize erosion potential; d) make provisions</p>		

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>to keep run-off and sedimentation from exceeding pre-development levels; e) remove invasive and non-native plant species and replant with native and non-invasive species; f) prevent discharge of toxic substances, such as fertilizers and pesticides; and, g) include other requirements specific to habitat area needs (e.g., limit noise and activity adjacent to sensitive receptors).</p> <p>3. Where sensitive species and/or other environmentally sensitive habitat areas are encountered during project review, the following mitigation measures must be undertaken:</p> <p>(a) Performance standards covering building locations, lot setbacks, roadway and driveway width, grading, and landscaping shall be established as a means of carrying out the recommendations of the biological report and as necessary to meet the requirements of the LCP. These standards are intended to isolate use and development from identified locations of sensitive species or other environmentally sensitive habitat areas.</p> <p>(b) Open space conservation and scenic easements covering the environmentally sensitive habitat area and required setback areas shall be dedicated to the Del Monte Forest Foundation along with funding adequate to ensure their management and protection over time.</p> <p>4. Any impacts to environmentally sensitive habitat areas shall be appropriately mitigated.</p> <p>8. The protection of environmentally sensitive habitat areas shall be provided through deed restrictions or permanent open space conservation and scenic easements granted to the Del Monte Forest Foundation. Parcels proposed for development containing areas of environmentally sensitive habitat shall require, as a condition of approval, that the sensitive habitat area (including a 100 foot buffer around the habitat area) be placed in an open space conservation and scenic easement. Where development has already occurred within or near areas containing environmentally sensitive habitat, property owners are encouraged to voluntarily grant conservation and scenic</p>		<p>on and permanently convert adjacent ESHA, potentially inconsistent with this policy.</p> <p>The project includes the restoration of 1.67 acres of ESHA on the site and permanent protection of restored ESHA through deed restrictions or open space and scenic easements (see measure BIO/mm-3.1), consistent with this policy.</p> <p>The proposed project was sighted and designed to reduce the conversion of ESHA to residential uses.</p> <p>The conversion of ESHA and subsequent residential uses would not significantly degrade the remaining adjacent ESHA. As proposed the project would allow the continuance of the ESHA adjacent to the construction area, consistent with this policy.</p> <p><u>Mitigation has been identified</u> that prohibits the use of invasive species in landscaped areas adjacent to ESHA (see measures BIO/mm-3.4 through 3.6), consistent with this policy. Approval of the project, as mitigated, would remain potentially inconsistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>easements to the Del Monte Forest Foundation. Except in the case of voluntary easements, each instrument for effecting such restriction or easement shall be subject to approval by the County and Coastal Commission as to form and content; shall provide for enforcement, if need be, by the County or other appropriate enforcement agency; shall be accompanied by adequate funding to allow the management and protection objectives and requirements of the easement to be fully realized; and shall name the County as beneficiary in event the Del Monte Forest Foundation ceases or is unable to adequately manage these easements for the intended purpose of natural habitat preservation.</p> <p>9. Near environmentally sensitive habitat areas, native vegetation removal and land disturbance (grading, excavation, paving, etc.) shall be restricted to the minimum amount necessary to accommodate reasonable development. Development shall be sited and designed to prevent impacts that would significantly degrade those nearby areas, and shall be compatible with the continuance of those habitat areas.</p> <p>10. The use of plant species native to the Del Monte Forest shall be required in landscape materials used in projects. A limited amount of landscape located immediately around developed areas may include non-native, non-invasive plant species, subject to review and approval of a Landscape Plan by the Planning Department. Said Landscape Plan shall be considered as part of the development application. Invasive plant species shall be prohibited. Removal of non-native and/or invasive plant species is encouraged, and may be exempt from coastal development permit requirements pursuant to Section 20.70.120.</p>		
<p>20.147.040 Environmentally Sensitive Habitat Areas</p> <p>D. Additional Development Standards By Habitat Type</p> <p>1. Dune Habitat</p> <p>(a) The remnant native sand dune habitat along the shore in the Spanish Bay planning area, on Signal Hill near the former Spyglass Quarry, and adjacent to 17-Mile</p>	<p>The intent of this section is to protect particular types of ESHA, including remnant dune habitat.</p>	<p><u>Potentially Inconsistent.</u> Mitigation has been identified that would require the permanent protection of 1.67 acres of restored dune habitat through deed restriction or open space and scenic conservation easement. However, increased residential development in</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Drive in the Spyglass Cypress planning area, shall be preserved through open space conservation and scenic easements conveyed to the Del Monte Forest Foundation, as part of the approval of any development in adjacent areas.</p> <p>(b) Uses of remnant native sand dune habitat shall be limited to low-intensity scientific, educational, and/or recreational activities dependent on the resource. Particular attention shall be given to protection of sensitive plant species from trampling. Such uses must be consistent with restoration and enhancement of the habitat.</p> <p>(c) To prevent further degradation and to allow for restoration of degraded dune and bluff habitats, parking along 17-Mile Drive shall be restricted to designated turnouts through the use of barriers (structural and vegetational) and enforcement signs that are sited and designed to avoid impacting scenic views.</p>		<p>areas of disturbed dune habitat surrounding the existing residence are not resource-dependent uses, and would be potentially inconsistent with this policy. No parking along 17-Mile Drive is expected to result from the project. Approval of the project, as mitigated, would remain potentially inconsistent with this policy.</p>
<p>20.147.040 Environmentally Sensitive Habitat Areas</p> <p>D. Additional Development Standards By Habitat Type</p> <p>2. Monterey Cypress Habitat</p> <p>(a) Indigenous Monterey cypress habitat is an environmentally sensitive habitat area within the Del Monte Forest, and is presumed present within the area mapped in LUP Figure 2a. All proposed development in this area shall be accompanied by a biological report pursuant to Section 20.147.040.A.</p> <p>(b) Within their indigenous range (see LUP Figure 2a), Monterey cypress trees shall be protected to the maximum extent possible. All development that would impact Monterey cypress trees and/or Monterey cypress habitat in this area shall be sited and designed to avoid adverse impacts to individual cypress and cypress habitat.</p> <p>(c) All use and development in or adjacent to indigenous Monterey cypress habitat area shall be compatible with</p>	<p>The intent of this section is to protect sensitive Monterey cypress habitat within the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. Although the project site supports 11 individual Monterey cypress trees, the project is not located within identified Monterey cypress habitat and would not affect adjacent areas of Monterey cypress habitat.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>the objective of protecting this environmentally sensitive coastal resource.</p> <p>(d) All improvements (such as structures and driveways, etc.) shall be carefully sited and designed to avoid potential damage or degradation of Monterey cypress habitat, including the micro-habitat of individual trees, and must be located within existing hardscaped areas and outside of the dripline of individual cypress trees.</p> <p>(e) Removal of native trees or other indigenous vegetation, grading, paving, building construction activity, landscape alterations and summer watering are all prohibited within the perimeter of the identified cypress habitat area for a site, including at a minimum as defined by the driplines of the outermost indigenous Monterey cypress trees on a site.</p> <p>(f) On the inland side of 17-Mile Drive within the indigenous Monterey cypress habitat area, driveways are allowed only where the driveway does not come within the dripline of individual cypress trees.</p> <p>(g) Within the indigenous Monterey cypress habitat area:</p> <ol style="list-style-type: none"> (1) Underground residential utilities are allowed on the inland side of 17-Mile Drive. (2) Fences shall be designed with see-through materials or spaced in a manner to protect views of the natural habitat from 17-Mile Drive (e.g., wrought iron with openings). <p>(h) Open space conservation and scenic easements are required for all undeveloped areas of a parcel within the Monterey cypress habitat area.</p> <p>(i) The Del Monte Forest Foundation shall be encouraged to maintain an interpretive and educational program at Crocker Grove. Said program shall be under careful supervision and designed for the protection of the indigenous Monterey cypress habitat. The type and intensity of access to Crocker Grove shall be carefully regulated.</p>		

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>20.147.040 Environmentally Sensitive Habitat Areas</p> <p>D. Additional Development Standards By Habitat Type</p> <p>5. Wetland, Shoreline, and Marine Habitats</p> <p>(a) A setback of at least 100 feet as measured from the edge of wetlands and from the mean high water line of the ocean shall be provided within which development, other than landscaping and public access areas and facilities, shall be prohibited. No landscape alteration is allowed in this setback area unless accomplished in conjunction with restoration and enhancement, and unless it is demonstrated that no significant disruption of environmentally sensitive habitat areas will result.</p>	<p>The intent of this policy is to protect significant wetland, shoreline, and marine habitat areas within the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. The proposed construction and landscape area is located approximately 130 feet from the identified <i>Juncus mexicanus</i> dominated coastal wetland, consistent with this policy.</p>
<p>20.147.050 Forest Resources</p> <p>A. Coastal Development Permit Requirements</p> <p>1. Trees and other vegetation may be removed without a coastal development permit unless the trees/vegetation to be removed are:</p> <p>(a) sensitive tree or vegetation species;</p> <p>(b) landmark trees;</p> <p>(c) located in an environmentally sensitive habitat area;</p> <p>(d) located within 100 feet of an environmentally sensitive habitat area where removal would significantly degrade such habitat area or be incompatible with the continuance of such habitat area;</p> <p>(e) located in or within a public viewshed where removal would lead to degradation of the public view; or</p> <p>(f) not allowed to be removed pursuant to a coastal development permit, forest management plan, or similar instrument (e.g., recorded easements, restrictions, etc.).</p> <p>2. Applicants shall notify the Planning Department prior to any removal of trees or vegetation for a determination of whether such removal meets the criteria for removal without a coastal development permit. Applicants shall provide all information</p>	<p>The intent of this policy is to protect individual forest trees and resources within the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. The project proposes removal of protected Monterey cypress trees in or adjacent to areas identified as ESHA and a coastal development permit is required as identified in Section 2.4 of the EIR, consistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>necessary for the Planning Department to make the permit determination.</p> <p>3. Hazardous trees, as determined by the County, may be removed without a coastal development permit provided they do not meet any of the criteria listed under Section 20.147.050.A.1. Such cases may include removal of hazardous trees that pose an immediate danger to life, health, property or essential public services, or removal of diseased trees if it is determined by a qualified professional forester that such trees present a severe and serious infection hazard to the rest of the forest. A biological report may be required to determine what/how materials are to remain as an ecological resource in environmentally sensitive habitat areas. If removal of hazardous trees meets the criteria for a coastal development permit, the emergency coastal development permit provisions of Chapter 20.79 may apply.</p>	<p>The intent of this policy is to protect forest resources and trees in the Del Monte Forest.</p>	<p><u>Potentially Inconsistent</u>. The habitat onsite is not considered "forest ESHA"; however, the undeveloped area of the site are comprised of dune sands and therefore considered ESHA. The proposed project would require removal of two Monterey cypress trees and grading adjacent to trees to remain after construction. The trees to be removed are 22-inch Monterey cypress and tree removal would adversely impact existing views as described in Section 4.1, Aesthetic Resources, potentially inconsistent with this policy.</p>
<p>20.147.050 Forest Resources</p> <p>C. Development Standards</p> <ol style="list-style-type: none"> 1. All tree removal, land clearing for development and forest management activities within native forest areas shall conform to all development standards regarding freshwater and marine resources, environmentally sensitive habitat areas, and scenic visual resources. If standards conflict, the standards that provide the greatest long-term protection to the forest resource shall apply. 2. In reviewing requests for tree removal, land clearing, and other development, preservation of scenic resources shall be a primary objective. Because of the regional significance of the forest resources, special consideration shall be given to the ridgeline silhouette, as well as views from significant public viewing areas, such as the corridors along Highway 68 and 17-Mile Drive, and the view from distant publicly accessible shoreline areas such as Point Lobos State Natural Reserve. 3. When reviewing requests for tree removal, environmental considerations shall include review of forest plant associations, native soil cover, fuel management aesthetic 	<p>The intent of this policy is to protect forest resources and trees in the Del Monte Forest.</p>	<p><u>Potentially Inconsistent</u>. The habitat onsite is not considered "forest ESHA"; however, the undeveloped area of the site are comprised of dune sands and therefore considered ESHA. The proposed project would require removal of two Monterey cypress trees and grading adjacent to trees to remain after construction. The trees to be removed are 22-inch Monterey cypress and tree removal would adversely impact existing views as described in Section 4.1, Aesthetic Resources, potentially inconsistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>values, tree health and applicable forest management plans as well as maintenance of the overall health of the stand. Forest-wide specific criteria for removal of Del Monte Forest's native tree species are as follows:</p> <ul style="list-style-type: none"> (a) Within a forest ESHA, or for any individual tree considered ESHA, tree removal shall be prohibited unless it is part of restoration and enhancement efforts. (b) Removal of trees generally recognized and accepted as visually, historically, or botanically significant individual specimens, such as the Monterey cypress in the Pescadero Point/Cypress Point area and Coast live oaks over 24 inches in diameter shall be prohibited. (c) Native trees that are not ESHA and/or are not part of a forest area considered ESHA may be removed consistent with site and building plans that otherwise comply with LCP requirements if it is not feasible to retain them and removal is consistent with an approved Forest Management Plan. (d) Any native tree that has been determined by a certified Forester/Arborist to be a hazard because it exhibits extreme failure potential that could lead to loss or damage of life or property, and that hazard cannot be abated by methods other than removal of the tree, may be removed subject to the coastal development permit criteria of Section 20.147.050.A (and may qualify for an emergency coastal development permit under Chapter 20.79). <p>4. In considering proposed development projects, siting and design is required to minimize to the extent feasible the removal of trees and understory vegetation and damage to soil resources. Siting, design, and land use concepts that minimize removal and damage should be applied and are preferred. Retained trees located close to construction areas shall be protected from damage by construction equipment through fencing off sensitive root zones to prevent disturbance in that area (e.g. equipment, staging, storage), bridging or tunneling under major roots where exposed in foundation or</p>		

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>utility trenches, and other measures appropriate and necessary to protect the well-being of the retained trees, including as determined by Planning staff or the Forest Management Plan developed for the site. The requirements for fencing root zones, bridging or tunneling under major roots and other mitigations as proposed in the Forest Management Plan shall be imposed upon the development as specific conditions of approval.</p> <p>5. Development, including driveways and parking areas, shall be sited and designed to minimize removal of trees, especially trees that significantly contribute to the visual character of the public viewshed (e.g., along 17-Mile Drive) and that screen development from public view and neighboring properties. Clustered developments within proposed subdivisions are required as topographic and habitat constraints allow.</p> <p>6. Where removal of native trees is allowed for development, such removal shall be mitigated through replanting or forest preservation either on- or off-site, whichever is better overall for forest resources. Mitigation may include but is not limited to: replacement on-site equating to an equal number of trees of the same variety, provided such replacement will not result in an overcrowded, unhealthy forest environment; tree planting of an equal number of trees of the same variety and/or preservation of an equal area of forest off-site in the Del Monte Forest; payment of a fee to the Del Monte Forest Foundation for tree planting and/or forest preservation in the Del Monte Forest, commensurate with the number and type of trees and/or area of forest to be removed; other similar tree replacement or forest preservation strategy within the Del Monte Forest; or a combination of any of the above strategies. Replacement trees shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree(s), may be performed consistent with terms and conditions of the approved coastal development permit and the Forest Management Plan.</p> <p>7. The natural forest soil cover shall be retained in place to the maximum extent possible.</p>		

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>8. Commercial harvesting for timber or firewood is prohibited.</p> <p>9. Development associated with The Inn at Spanish Bay shall be designed to maximize the retention of the Monterey pine forest as much as possible seaward of 17-Mile Drive.</p> <p>10. Development that includes preparation of a Forest Management Plan shall require recording a notice that all tree removal on the parcel must be in accordance with said Plan and consistent with the terms and conditions of this coastal development permit. Said notice shall be recorded prior to issuance of building or grading permits.</p>		
County of Monterey General Plan (1982)		
Goals, objectives, and Policies for Natural Resources		
VEGETATION AND WILDLIFE HABITATS		
<p>Goal 7: To preserve the diversity and conserve the extent of the county's native vegetation</p>	<p>The intent of this goal is to preserve the diversity and extent of the county's native vegetation.</p>	<p><u>Potentially Consistent.</u> The proposed project includes restoration of 1.67 acres of native dune habitat on-site, consistent with this goal.</p>
<p>Policy 7.1.1 Development shall be carefully planned in, or adjacent to, areas containing limited or threatened plant communities, and shall provide for the conservation and maintenance of the plant communities.</p>	<p>The intent of this policy is to protect limited and threatened plant communities by regulating development located in or adjacent to these sensitive communities.</p>	<p><u>Potentially Consistent.</u> The proposed project would be located within and adjacent to areas of disturbed dune habitat and central dune scrub that are threatened in their range and suitable to support sensitive wildlife species. The proposed project includes restoration of the central dune scrub habitat. In addition, this EIR identifies mitigation designed to permanently preserve the habitat and ensure adjacent landscaping is compatible with the restored habitat. <u>With implementation of the identified mitigation,</u> the proposed project would be consistent with this policy.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 7.1.2 The County shall encourage the protection of limited or threatened plant communities through dedications of permanent conservation easements and other appropriate means.</p>	<p>The intent of this policy is to protect limited and threatened plant communities through dedications of permanent conservation easements and other means.</p>	<p><u>Potentially Consistent</u>. The project includes the restoration of 1.67 acres of ESHA on the site. Mitigation has been identified that requires protection of the 1.67 acres of restored ESHA in perpetuity through a deed restriction or permanent open space and conservation easement (see measure BIO/mm-3.1). <u>With implementation of the identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 7.2.2 Native and native compatible species, especially drought resistant species, shall be utilized to the extent possible in fulfilling landscaping requirements imposed as conditions of discretionary permits.</p>	<p>The intent of this policy is to encourage the use of compatible drought-resistant plants for landscaping.</p>	<p><u>Potentially Consistent</u>. Mitigation measures have been identified to ensure landscaping in areas near the proposed residence would utilize native, or native compatible, drought resistant species (see mitigation measure BIO/mm-3.5). <u>With implementation of the identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Goal 9: To conserve the abundance and diversity of the county's wildlife.</p>	<p>The intent of this goal is to conserve the abundance and diversity of wildlife.</p>	<p><u>Potentially Consistent</u>. The project would replace an existing single family residence with a new single family residence and would not significantly affect wildlife. The project includes dune restoration on 1.67 acres of the site, which would improve habitat for special-status species at the project site. Mitigation has also been identified to protect special-status species during project construction and disturbance activities. <u>With implementation of the identified mitigation</u>, the proposed project would be consistent with this goal.</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 9.1.1 Development shall be carefully planned in areas known to have particular value for wildlife and, where allowed, shall be located so that the reasonable value of the habitat for wildlife is maintained.</p>	<p>The intent of this policy is to protect valuable wildlife habitat by regulating development located in or adjacent to these areas.</p>	<p><u>Potentially Consistent</u>. The project site contains central dune scrub habitat that is suitable to support sensitive wildlife species. Project development would occur generally within the area occupied by the existing residence, and the remainder of the property (extending towards 17-Mile Drive) would be restored to central dune scrub habitat. Mitigation has been identified in this EIR to permanently conserve the habitat and avoid or minimize impacts to wildlife. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 9.1.2 Development shall be carefully planned in areas having high value for fish and wildlife production.</p>	<p>The intent of this policy is to protect areas with high value for fish and wildlife production.</p>	<p><u>Potentially Consistent</u>. The project site does not support habitat suitable for fish production. The project site contains central dune scrub habitat that is suitable to support sensitive terrestrial wildlife species. Project development would occur generally within the area occupied by the existing residence, and the remainder of the property (extending towards 17-Mile Drive) would be restored to central dune scrub habitat. Mitigation has been identified in this EIR to permanently conserve the habitat and avoid or minimize impacts to wildlife. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 9.2.1 Land use practices which could result in siltation and pollution of inland and marine waters shall be carefully managed in order to assure a clean and productive habitat.</p>	<p>The intent of this policy is to assure quality freshwater and marine habitats through the management of land use</p>	<p><u>Potentially Consistent</u>. The proposed project does not include any direct or indirect discharges into aquatic environments. The project includes implementation of erosion and pollution</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
	practices which would result in adverse effects to water resources.	control measures during construction, to prevent down-gradient sedimentation, consistent with this policy.
ENVIRONMENTALLY SENSITIVE AREAS		
Goal 11: To conserve natural habitats for native plant and animal species and to promote preservation of rare and endangered plant and animal species	The intent of this goal is to promote preservation of rare and endangered plant and animal species through the conservation of natural habitats.	<u>Potentially Consistent</u> . The project site contains central dune scrub habitat that is suitable to support sensitive wildlife species. Project development would occur generally within the area occupied by the existing residence, and the remainder of the property (extending towards 17-Mile Drive) would be restored to central dune scrub habitat. Mitigation has been identified in this EIR to permanently conserve the habitat and avoid or minimize impacts to wildlife. <u>With implementation of identified mitigation</u> , the proposed project would be consistent with this policy.
Policy 11.1.1 The California Native Plant Society shall be consulted and appropriate measures shall be taken to protect rare and endangered plant species and their habitats.	The intent of this policy is to establish protective measures to protect rare and endangered plant species and their habitats.	<u>Potentially Consistent</u> . Preparation of the EIR included review of current data and plant lists obtained from CNPS, consistent with this policy. Eleven individual Monterey cypress and two young Monterey pines were documented onsite (both are CNPS List 1B species). The project site supports central dune scrub, a Natural Community of Concern. No state or federally listed plant species were documented onsite. The EIR includes mitigation measures to address the proposed removal of two Monterey cypress trees and grading activities proximate to additional Monterey cypress trees (refer to BIO Impact 1 and BIO/mm-1.1 and BIO/mm-1.2). In addition to the

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 11.1.2 The California Department of Fish and [Wildlife] shall be consulted and appropriate measures shall be taken to protect Areas of Special Biological Importance.</p>	<p>The intent of this policy is to establish protective measures to protect Areas of Special Biological Importance.</p>	<p>applicant’s proposed Dune Restoration Plan, the EIR identifies mitigation specific to restoration of environmentally sensitive habitat (central dune scrub) (refer to BIO Impact 3 and mitigation measures BIO/mm-3.1 through BIO/mm-3.5). <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>
<p>Policy 11.1.5 The County shall support efforts to obtain and preserve natural areas of particular biologic, scientific, or educational interest and restrict incompatible uses from encroaching upon them.</p>	<p>The intent of this policy is to protect natural areas of particular biologic, scientific, or educational interest.</p>	<p><u>Potentially Consistent</u>. Construction of the proposed residence and adjacent landscaping would result in the direct loss of 0.39 acre of disturbed sand dune habitat, which is considered ESHA. However, the project would also restore 1.67 acres of ESHA on the remainder of the parcel and mitigation has been identified to ensure permanent conservation of the restored area. The loss of 0.39 acre of environmentally</p>

Table 4.2-3. Applicable Local Plans and Policies Relevant to Biological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Greater Monterey Peninsula Area Plan (1984)		sensitive habitat would not disrupt or significantly degrade the habitat values of the remaining habitat at the project site and measures have been identified to ensure proposed landscaping is compatible with surrounding ESHA. <u>With implementation of identified mitigation</u> , the proposed project would be consistent with this policy.
Supplemental Policies		
NATURAL RESOURCES		
Vegetation and Wildlife Habitats		
Policy 7.1.5. In recognition of their function as important habitat for many wildlife species and their substantial contribution to scenic resources within the Planning Area, coastal and interior wetlands should be retained as open space through conservation easements or, where necessary, fee acquisition.	The intent of this policy is to protect coastal and interior wetlands.	<u>Potentially Consistent</u> . The project's proposed construction footprint is greater than 100 feet from the identified <i>Juncus mexicanus</i> dominated coastal wetland. Dune restoration activities, would not significantly disrupt wetland areas, consistent with this policy.
Policy 7.1.6. A setback of 100 feet from all wetlands shown on Figure 3 (Environmentally Sensitive Areas Map) shall be provided and maintained in open space use. No new development shall be allowed in this setback area. No landscape alterations will be allowed in this setback area unless accomplished in conjunction with a restoration and enhancement plan approved by the California Department of Fish and Game.	The intent of this policy is to protect coastal and interior wetlands.	<u>Potentially Consistent</u> . The project's proposed construction footprint is greater than 100 feet from the identified <i>Juncus mexicanus</i> dominated coastal wetland. Mitigation has been identified to ensure dune restoration activities would not significantly disrupt wetland areas. <u>With implementation of identified mitigation</u> , the proposed project would be consistent with this policy.

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.2.3 Thresholds of Significance

The significance of potential biological impacts are based on thresholds identified within Appendix G of the State CEQA Guidelines and the County's Initial Study Checklist, which provide the following thresholds for determining impact significance with respect to biological resources. Biological impacts would be considered significant if the proposed project would:

- a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service;
- b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service;
- c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means;
- d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, impede the use of native wildlife nursery sites;
- e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan.

4.2.4 Impact Assessment Methodology

This section was developed based on a review of existing literature and documentation and a field survey conducted by SWCA on June 19, 2015. Prior to conducting a site visit, SWCA biologists reviewed existing data to gain familiarity with the project area. The review consisted of a search of the CNDDDB that focused on the following U.S. Geological Survey (USGS) topographic maps: Seaside, Monterey, Soberanes Point, Mt. Carmel, and Marina. SWCA also queried the USFWS IPaC to obtain a Trusted Resources List of federally protected species that may occur on the property. To augment the CNDDDB and IPaC data, SWCA referred to the CNPS Electronic Inventory of Rare and Endangered Plants of California (CNPS 2015) to provide additional information on rare plants that are known to occur in the area. The official species lists are included in Appendix C, Biological Resources Background Information.

Utilizing the CNDDDB and USFWS lists as a guide, the SWCA biologist evaluated the species on the lists for potential to occur on the property. Tables 4.2-1 and 4.2-2, above, provide SWCA's evaluation of the species that were included on the lists.

Impact assessment focused on identifying potential project-related impacts associated with implementation of the project, and was based on details presented within the project description. Identified impacts represent a reasonable worst-case scenario based on the provided project plans. Potential impacts were expected to occur where proposed construction or development activities would result in temporary or permanent modification of sensitive communities or habitats

occupied by special-status species. Impacts to biological resources within the study area were evaluated by determining the sensitivity, significance, or rarity of each resource that would be adversely affected by the proposed project, and thresholds of significance were applied to determine if the impact constituted a significant impact. The significance threshold may be different for each habitat or species and is based on the resource's rarity or sensitivity and the level of impact that would result from the proposed project. Where potential project-related impacts to sensitive resources were identified, measures for avoiding or minimizing adverse effects to these resources were recommended.

4.2.5 Impact Assessment and Mitigation Measures

4.2.5.1 Special-Status Species

Special-status Plants

The parcel supports 11 Monterey cypress trees; three of the trees are remnants of the native cypress forest habitat (Hamb 2011). Two of the trees were planted for prior mitigation efforts. The remaining trees are landscape elements that contribute to the parcel's tree inventory. Due to the project site location in the native range of Monterey cypress and the confirmed presence of at least three individuals from the native forest genetic stock, this evaluation treats all Monterey cypress trees on the parcel equally. The Monterey cypress trees located on the property are within the species' native range; therefore, the 11 Monterey cypress trees are classified as a CNPS Rank 1B.2 species, indicating that the species is rare, threatened, or endangered in California. In addition, Monterey County Code Section 20.147.050 and the Del Monte Forest Area LUP restrict and discourage the removal of native trees in the area.

Implementation of the proposed project would require the removal of two 22-inch Monterey cypress trees to accommodate development of the larger residence and grading in the vicinity of nine additional Monterey cypress trees. Grading around existing trees has the potential to disrupt the health and vigor of the affected trees by disturbing the root zone and altering drainage patterns around the trees. Grading will occur within approximately 5 feet of at least two trees considered to be remnants of the native stand. Mitigation has been identified to avoid or reduce potentially significant impacts on Monterey cypress trees.

There are two Monterey pine trees located within the lower dune restoration area of the project site. Monterey pine trees are classified as a CNPS Rank 1B.2 species, indicating that the species is rare, threatened, or endangered in California. Proposed project activities in the vicinity of the Monterey pine trees would be limited to dune restoration activities (invasive species vegetation removal and native plantings). No grading or use of heavy equipment is proposed within this area. Therefore, potential impacts on the Monterey pine trees at the site would be *less than significant*.

BIO Impact 1	
Implementation of the proposed project would require the removal of two Monterey cypress trees and grading in the vicinity of nine additional Monterey cypress trees, resulting in a potentially significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
<i>BIO/mm-1.1</i>	<p><i>The applicant shall submit a Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency for review and approval by the Director of Planning. The plan shall be prepared by a licensed arborist and provide for the installation, maintenance, and monitoring of four 36-inch box Monterey cypress trees to ensure all removed Monterey cypress trees are replaced on site at a 2:1 ratio.</i></p> <p><i>The Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan shall include provisions for the installation and maintenance of the replacement trees to be monitored by a qualified arborist. The arborist shall monitor the health and vigor of the replacement trees for a minimum of 3 years following installation. If at any time, the arborist determines that the replacement trees are in poor vigor, the arborist will recommend management actions to remedy the concerns. The applicant or applicant's representative shall implement the arborist recommendation(s) within 1 month of receiving the recommendation. If any replacement tree(s) die, the applicant shall replace the tree(s) at a 1:1 ratio per the arborist's recommendation. Each replacement tree shall be monitored by the arborist for a minimum of 3 years following the tree installation date.</i></p> <p><i>The plan shall identify the Critical Root Zone for all Monterey cypress trees at the project site that will remain in place. In addition, the plan shall provide for the installation of tree protection measures around the trees to remain. Tree protection measures may include installation of temporary fencing and/or straw bale barricades in the trees' Critical Root Zone, as identified by the arborist. All replacement trees and tree protection measures must be clearly shown on the project construction and landscape plans.</i></p> <p><i>If root pruning within a tree's Critical Root Zone is necessary, root pruning shall be performed by the monitoring arborist or skilled labor at the direction of the monitoring arborist per the approved Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</i></p>
<i>BIO/mma-1.1.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency – Planning Department for review and approval.</i>
<i>BIO/mma-1.1.2</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit photographic evidence and a letter from a qualified arborist verifying that tree protection measures have been installed as recommended in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency.</i>
<i>BIO/mma-1.1.3</i>	<i>During construction, a County of Monterey-approved arborist shall be on-site to monitor any grading activities that occur within the Critical Root Zone of trees to remain in place per the approved Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</i>
<i>BIO/mma-1.1.4</i>	<i>Prior to final inspection, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department photographic evidence and a letter from a qualified arborist verifying that replacement trees have been planted as specified in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</i>
<i>BIO/mma-1.1.5</i>	<i>After replacement planting has been completed, the applicant shall submit to the Monterey County Resource Management Agency – Planning Department reports from the arborist detailing the results of the monitoring efforts and the status of the trees. Reports shall be submitted on a</i>

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<i>yearly basis or as specified in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</i>
<i>Residual Impacts</i>
Implementation of the project would result in the loss of two Monterey cypress trees. These effects would be mitigated by the replacement and maintenance of four 36-inch box Monterey cypress. Therefore, with implementation of the above mitigation measures, residual impacts to special-status plants would be <i>less than significant</i> .

Special-Status Wildlife

Demolition of the existing structure, site clearing, and dune scrub restoration activities have the potential to adversely affect California legless lizards and/or coast horned lizards. Legless lizards commonly seek shelter and forage in sandy substrates that abut debris, vegetation, or structures that provide shade. Coast horned lizards forage in open habitats such as the dune scrub areas on the parcel. Demolition of the existing structure would require the use of mechanical equipment that could crush or unearth legless and/or coast horned lizards. Dune restoration activities include the removal of iceplant and European beachgrass. Legless lizards are known to seek shelter under these species and removal of the plants can unearth legless lizard(s) and result in adverse impacts to the individual(s). Adverse impacts to legless lizards and coast horned lizards may include being struck by equipment, entrapped in stockpiled materials or trenches, unearthed during vegetation removal, trampled or collected by construction personnel, or preyed upon by opportunistic predators. Mitigation has been identified to avoid or reduce potentially significant impacts on California legless lizards and/or coast horned lizards.

Common passerines (i.e., California towhee [*Pipilo crissalis*], white-crowned sparrow [*Zonotrichia leucophrys*], and other species in the order Passeriformes) may use the dune scrub habitat for nesting and/or foraging. The available nesting habitat would be permanently impacted by the proposed removal of Monterey cypress trees. Construction activities, vegetation removal, and other disturbances would further temporarily impact nesting and foraging habitat. Construction and restoration activities that are conducted during the common nesting season (between March and September) could directly or indirectly impact nesting birds. Potential direct impacts include loss of active nests during vegetation removal. Potential indirect impacts include disturbance near an active nest that may cause an individual to abandon the nest.

Operational impacts associated with adverse effects due to lighting and increased human presence would not differ substantially from existing conditions; therefore, operational impacts would be *less than significant* and no additional mitigation is necessary.

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<p>The proposed project has potential to impact California legless lizards and coast horned lizards that are considered to be California Species of Special Concern. The proposed project has potential to impact nesting birds that are protected under the Migratory Bird Treaty Act and California Fish and Game Code. These impacts are potentially significant.</p>	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
<i>BIO/mm-2.1</i>	<p><i>Prior to issuance of demolition, grading, or construction permits, the applicant shall enter into a funding agreement with County of Monterey Resource Management Agency – Planning Department to fund, and the County of Monterey shall retain, an environmental monitor for all measures requiring environmental mitigation to ensure compliance with the Environmental Impact Report mitigation measures. The monitor shall be granted unlimited access to the project site in accordance with timelines specified in Environmental Impact Report mitigation measures and shall be responsible for:</i></p> <ol style="list-style-type: none"> <i>a. ensuring that procedures for verifying compliance with environmental mitigations are implemented;</i> <i>b. establishing lines of communication and reporting methods;</i> <i>c. conducting weekly compliance visits and reporting;</i> <i>d. conducting construction crew training regarding environmentally sensitive habitat areas and special-status species; and,</i> <i>e. outlining actions to be taken in the event of non-compliance.</i> <p><i>Unless otherwise specified in applicable mitigation measures, monitoring shall be conducted weekly during residential demolition and construction and monthly following completion of the residential development and into the first year of the habitat restoration program. Additional monitoring visits may occur based on findings from these monitoring actions.</i></p>
<i>BIO/mma-2.1.1</i>	<p><i>Prior to issuance of demolition, grading, or construction permits, the applicant shall enter into an agreement with the County of Monterey to finance the County's contract with an environmental monitor.</i></p>
<i>BIO/mm-2.2</i>	<p><i>Prior to commencement of demolition, site grading, or vegetation removal, the environmental monitor shall conduct an environmental awareness training for all construction and habitat restoration personnel. The environmental awareness training shall include discussions of the California legless lizards, coast horned lizards, and nesting birds that may occur in the project area. The training shall include: a description of the species and their habitats; general provisions and protections afforded by the California Environmental Quality Act and Migratory Bird Treaty Act; measures implemented to protect the species; review of the project boundaries and special conditions; the monitor's role in project activities; lines of communication; and procedures to be implemented in the event a special-status species is observed in the work area. The environmental training shall include distribution of an environmental training brochure, and collection of signatures from all attendees acknowledging their participation in the training. Subsequent trainings shall be provided by the environmental monitor as needed for additional construction or restoration operations workers throughout the duration of project construction and restoration.</i></p>
<i>BIO/mma-2.2.1</i>	<p><i>Prior to commencement of demolition, site grading, or vegetation removal, the environmental monitor shall submit to the County a collection of signatures from all construction and habitat restoration personnel acknowledging their participation in the environmental awareness training.</i></p>
<i>BIO/mm-2.3</i>	<p><i>Within 30 days prior to any structure demolition and site grading within the construction footprint, the environmental monitor shall conduct surveys for California legless lizards and other reptiles. The surveyor shall utilize hand search methods in areas of planned disturbance where legless lizards and other reptiles are expected to be found (e.g., under shrubs and ice plant, against the residence foundation, or under debris). If a California legless lizard, coast horned lizard, or other native reptiles are observed, the surveyor shall capture the individual(s) from the disturbance</i></p>

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	<p>area and relocate the individual(s) into suitable habitat in the dune scrub restoration area. Care shall be taken to identify habitat in the restoration area that is dominated by native plant species.</p> <p>The environmental monitor shall be present during site grading activities to walk behind the grading equipment and capture native reptiles that were overlooked during the pre-disturbance survey and are unearthed by the equipment. The surveyor shall capture and relocate any legless lizards, coast horned lizards, or other native reptiles observed. The captured individuals shall be removed from the disturbance area and placed in suitable habitat within native plant species on the parcel but outside of the development area.</p>
BIO/mma-2.3.1	<p>Within 30 days prior to any structure demolition and site grading within the construction footprint, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a letter from the environmental monitor detailing the results of the surveys.</p>
BIO/mm-2.4	<p>It is anticipated that legless lizards and other reptiles will be encountered during the invasive species removal efforts that will be conducted under the Dune Restoration Plan. The proposed Dune Restoration Plan provides best management practices designed to minimize impacts to legless lizards during implementation of the plan. The proposed best management practices shall be implemented. In addition, at least one member of the habitat restoration crew shall be qualified to recognize, capture, and relocate any California legless lizards, coast horned lizards, and other reptiles that may be encountered during invasive species removal efforts in the dune scrub restoration area. The qualified individual shall be on-site during all invasive species removal efforts. If a native reptile is observed during the vegetation removal, the individual shall be captured and relocated to suitable habitat away from the vegetation removal. Care shall be taken to place the lizard(s) among native plant species.</p> <p>The proposed Dune Restoration Plan includes a monitoring and reporting schedule. The species and amounts of reptiles captured and relocated shall be documented in the monitoring reports that will be submitted to the County of Monterey. In the event that a special-status species is observed, the monitoring biologist shall submit a California Natural Diversity Database report of the sighting to the California Department of Fish and Wildlife.</p>
BIO/mma-2.4.1	<p>Prior to invasive species removal efforts, the applicant shall provide the County of Monterey Resource Management Agency – Planning Department notification identifying the qualified specialist designated to identify, capture, and relocate legless lizard or other reptiles encountered during implementation of the Dune Restoration Plan.</p>
BIO/mm-2.5	<p>Demolition, construction, and grading activities shall be timed to avoid the nesting season to the extent feasible. If any demolition, construction, or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall conduct a nesting bird survey and verify that migratory birds are not occupying the disturbance area. If nesting activity is detected, the following measures should be implemented:</p> <ol style="list-style-type: none"> a. The monitor shall determine whether it is appropriate to establish a 500-foot no work buffer around any raptor or special-status species nest and shall establish a 100-foot no work buffer around any common passerine species nest. If appropriate, the monitor has the discretion to require that no work may occur in the buffer zone while the nest is active. b. If adhering to the established buffer zone is not feasible or other unique circumstances exist, the monitor may contact the California Department of Fish and Wildlife to establish a reduced buffer area and monitoring protocol for work to continue in the buffer zone. The monitor shall document all active nests and submit a letter report to the County of Monterey and California Department of Fish and Wildlife, documenting project compliance with the Migratory Bird Treaty Act and applicable project mitigation measures.

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<i>BIO/mma-2.5.1</i>	<i>If any demolition, construction, or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department detailing the project's compliance with this measure. If no demolition, construction or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department confirming implementation of this measure is not necessary.</i>
<i>BIO/mm-2.6</i>	<i>Vegetation removal activities associated with the Dune Restoration Plan have the potential to disturb nesting passerines. If an active bird nest is encountered during invasive plant species removal efforts, the monitoring biologist shall establish a 100-foot radius buffer around the nest site. No vegetation removal activities (including herbicide applications) shall occur within the 100-foot buffer. Invasive species removal efforts may continue after the monitoring biologist confirms that the nest is no longer active.</i>
<i>BIO/mma-2.6.1</i>	<i>If an active bird nest is encountered during invasive plant species removal efforts, the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department detailing the project's compliance with this measure. If no active bird nest is encountered during invasive plant species removal efforts, the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department confirming implementation of this measure is not necessary.</i>
Residual Impacts	
There is a potential for special-status wildlife to be impacted by the construction of the proposed project. With implementation of the above mitigation measures, including the presence of a biological monitor to ensure compliance with identified measures, residual impacts to special-status wildlife would be considered <i>less than significant</i> .	

4.2.5.2 Environmentally Sensitive Habitat Area

The project site is located on a stabilized sand dune that is part of a larger fragmented dune system. The areas within the parcel that contain native sand dune substrate are considered ESHA per the Del Monte Forest Area LUP (refer to Sections 4.2.1.3 and 4.2.2.3, above). Based on field surveys conducted in 2015 and a review of applicable policies and information, all areas containing native sand dune substrates on the ground surface of the site are considered ESHA. Approximately 2.05 acres of ESHA are present on the parcel (refer to Figure 4.2-2).

As proposed, construction of the new residence and installation of the associated landscaping would occur within a 0.55-acre construction footprint (refer to Figure 4.2-2). Areas that would be directly converted into the expanded footprint of the proposed residence would be permanently impacted (approximately 0.11 acre of direct conversion into building footprint). Existing paving in other areas would be demolished and removed and those areas would be landscaped (approximately 0.05 acre; refer to Figure 4.2-3). It is unclear at this time how other areas within the construction footprint would be landscaped or what species or planting specifications are proposed within the landscape area (aside from several tree removals and plantings identified in the Landscape Plan [refer to Figure 2-13]). These areas would also be subject to ongoing disturbance associated with the adjacent residential uses, including trampling, runoff, erosion, landscaping and maintenance activities, or other disturbances. Because it is unclear how the landscaped area would be treated or whether dune habitat would be protected or restored in this area, and because this area will be subject to increased disturbance associated with the adjacent

residential use, impacts to ESHA within the proposed landscape area are also considered permanent (refer to Figure 4.2-2 and 4.2-3).

Dune restoration is proposed for the remainder of the parcel located downslope of the proposed construction footprint (refer to Figures 2-3 and 4.2-2). The dune restoration area contains native sand dune substrate and is therefore considered ESHA per the LUP. This area also supports central dune scrub habitat, which is considered a sensitive community by the CDFW. In addition, the central dune scrub habitat supports a small coastal wetland dominated by Mexican rush, a Facultative wetland plant species (refer to Figure 4.2-2). Due to the presence of native sand dune substrates and sensitive habitats, the entire 1.67-acre dune restoration area is considered ESHA as defined under the LUP.

As proposed, the applicant would restore central dune scrub habitat within a 1.67-acre dune restoration area. The habitat restoration plan would include removal of invasive European beachgrass and ice plant from the central dune scrub habitat and replacing the invasive species with native dune scrub plant species. Per the applicant’s Dune Restoration Plan (Ballerini 2015) restoration activities may also include sand stabilization and erosion control measures. Removal of the invasive species and expansion of the native dune scrub habitat would ultimately result in beneficial effects to ESHA in the restoration area and neighboring areas. However, restoration activities would require vegetation removal, plantings, monitoring and maintenance activities, and associated disturbances within this area. Accidental egress of construction equipment and/or materials from the project development area into the downslope ESHA could also result in unnecessary impacts to the ESHA. Therefore, the project would result in temporary impacts to 1.67 acre of ESHA.

Areas within the project site identified as ESHA and impacts to ESHA are identified in Table 4.2-4, below, and shown on Figures 4.2-2 and 4.2-3.

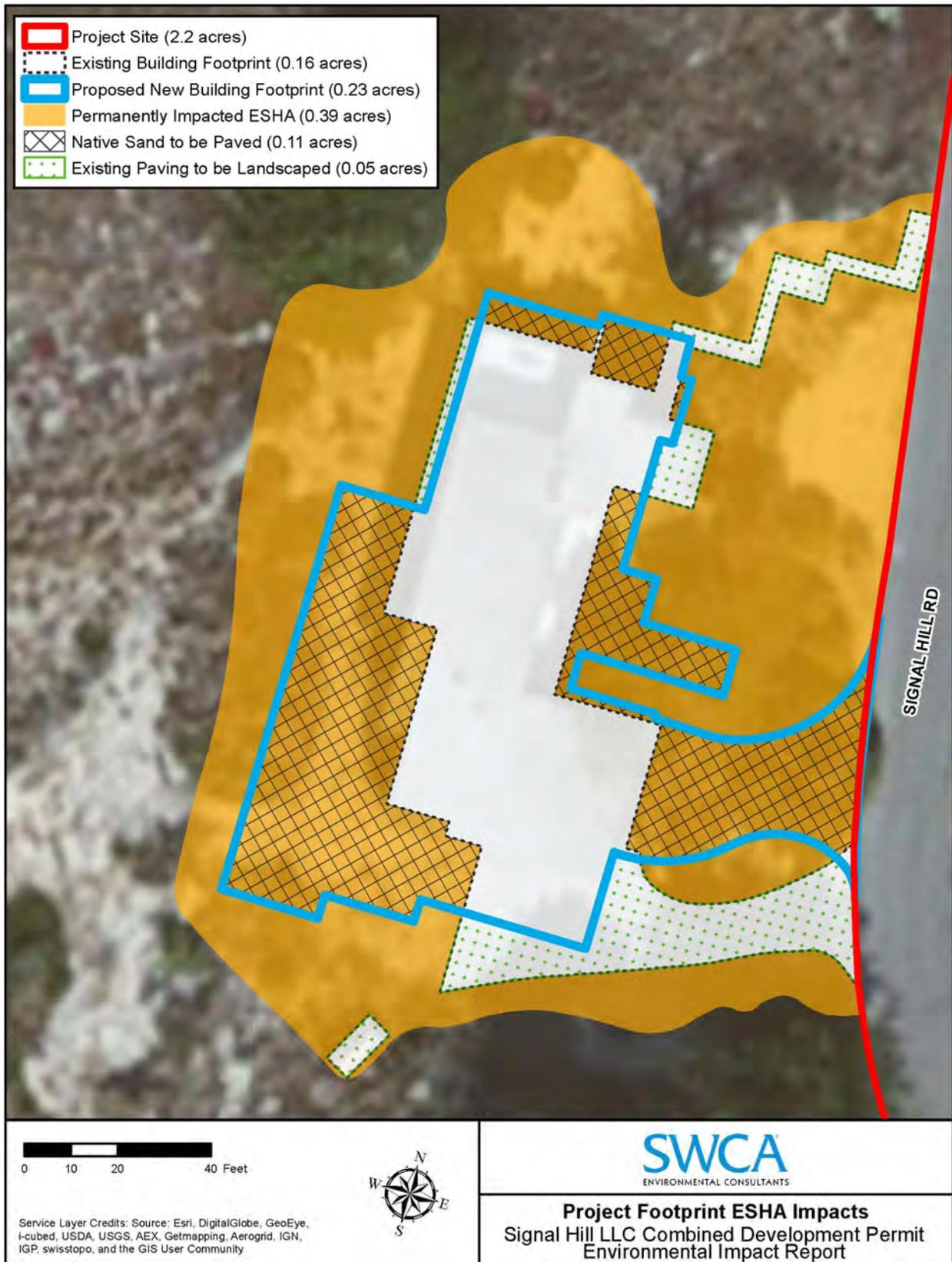
Table 4.2.52-4. Project Area Impacts

Project Area	Amount Impacted
<i>Existing Conditions</i>	
Project Site	2.2 acres
Existing building (paved) footprint	0.16 acre
Existing ESHA	2.05 acres
Existing coastal wetland	0.13 acre
<i>Proposed Conditions</i>	
Proposed Dune Restoration Area (temporary impacts to ESHA)	1.67 acres
Proposed Construction Area	0.55 acre
Proposed building (paved) footprint	0.23 acre
Permanently impacted ESHA (including direct conversion into the proposed building footprint and adjacent landscaped areas)	0.39 acre
Existing native sand to be paved	0.11 acre
Existing paving to be removed/landscaped	0.05 acre

Figure 4.2-2. Project Site ESHA Map



Figure 4.2-3. Project Footprint ESHA Map



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The proposed project would result in the permanent loss of 0.39 acre and the temporary disturbance of 1.67 acres of Environmentally Sensitive Habitat Area, resulting in a potentially significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
<i>BIO/mm-3.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, and consistent with Del Monte Forest Land Use Plan Environmentally Sensitive Habitat Area Policies 13 and 17, the applicant shall permanently protect all Environmentally Sensitive Habitat Areas located outside the construction area by establishing deed restrictions or a permanent open space conservation and scenic easement to be granted to the Del Monte Forest Foundation. The deed restrictions/easement shall encompass the approximately 1.67 acres proposed for dune scrub restoration shown in Figures 2-3 and 4.2-2. The restrictions shall designate the easement area as a native dune scrub restoration area and Environmentally Sensitive Habitat Area, where only habitat restoration and other resource dependent uses are permitted. The only deviations from such restrictions may be to repair existing sewer cleanouts and associated sewer pipes that are located in the area. The deed restrictions shall require any future work on the sewer cleanouts and associated piping to be monitored by a qualified biologist and all disturbance areas to be restored to central dune scrub habitat per the specifications put forth in the applicant's Dune Restoration Plan.</i>
<i>BIO/mma-3.1.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a recorded easement reflecting compliance with this measure.</i>
<i>BIO/mm-3.2</i>	<i>The Applicant shall submit a bond to the County of Monterey Resource Management Agency – Planning Department for an amount determined by the County of Monterey to be sufficient to cover the estimated cost of planting and establishing the proposed 1.67-acre habitat restoration area. The bond shall be held for a minimum of 5 years and shall be extended if necessary and shall not be terminated until the Dune Restoration Plan has been deemed successfully completed to ensure the successful establishment and maintenance of the habitat restoration.</i>
<i>BIO/mma-3.2.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department appropriate documentation reflecting compliance with this measure.</i>
<i>BIO/mm-3.3</i>	<i>The Applicant shall enter into a contract with a qualified professional for the purpose of monitoring the success of the habitat restoration area. At a minimum, the monitoring contract shall include a requirement that the monitor conduct an annual site visit and assessment of the restoration success for 5 years. At the end of the 5-year monitoring period, the monitor shall prepare a monitoring report, which shall be submitted to the Monterey County Resource Management Agency – Planning Department for approval and shall be used as a determining factor in assessing the successful establishment of the restoration as it relates to the bond posted by the applicant.</i>
<i>BIO/mma-3.3.1</i>	<i>Prior to finalization of building permits and occupancy, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a contract with a qualified professional reflecting compliance with this measure.</i>
<i>BIO/mm-3.4</i>	<i>Prior to issuance of demolition, grading, or construction permits, all demolition, grading, and construction plans shall clearly show the location of project delineation fencing that excludes adjacent Environmentally Sensitive Habitat Area from disturbance. Immediately prior to construction, the project site shall be clearly fenced so that the contractor is aware of the limits of allowable site access and disturbance. The fencing shall consist of highly visible construction fence supported by steel T-stakes that are driven into the soil. The environmental monitor shall field-fit the placement of the project delineation fencing to minimize impacts to adjacent Environmentally Sensitive Habitat Area and other sensitive resources. The project delineation fencing shall remain in place and functional throughout the duration of the project construction</i>

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	<i>and landscaping activities. All disturbances except habitat restoration activities shall be prohibited outside of the delineated construction area. <u>No wood chipping shall be allowed onsite.</u></i>
<i>BIO/mma-3.4.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department showing compliance with this measure.</i>
<i>BIO/mma-3.4.2</i>	<i>Throughout the duration of construction activities, the environmental monitor shall provide monthly monitoring reports to the County of Monterey Resource Management Agency – Planning Department reflecting compliance with this measure.</i>
<i>BIO/mm-3.5</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit demolition, grading, and construction plans that identify all stockpile and construction staging areas, which shall be located within the construction area and outside the adjacent dune restoration area. Stockpiles and staging areas shall not be placed in areas that have potential to experience significant runoff during the rainy season. All project-related spills of hazardous materials within or adjacent to the project site shall be cleaned up immediately. Spill prevention and cleanup materials shall be onsite at all times during project construction. Cleaning and refueling of equipment and vehicles shall occur only within designated staging areas. The staging areas shall conform to current Best Management Practices applicable to attaining zero discharge of stormwater runoff. No maintenance, cleaning, or refueling shall occur within 50 feet of the dune restoration area. At a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and to avoid potential leaks and spills. The grading plan shall be subject to review and approval by the County of Monterey Resource Management Agency.</i>
<i>BIO/mma-3.5.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department for review and approval.</i>
<i>BIO/mma-3.5.2</i>	<i>Throughout the duration of construction activities, the environmental monitor shall provide monthly monitoring reports to the County of Monterey Resource Management Agency – Planning Department reflecting compliance with this measure.</i>
<i>BIO/mm-3.6</i>	<i>Prior to issuance of demolition, grading, or construction permits, project plans shall be submitted that do <u>not</u> include any rain gutter outfall or other stormwater or wastewater outfall that directs concentrated flows capable of eroding the sand dune substrates in the adjacent Environmentally Sensitive Habitat Area, consistent with Del Monte Forest Area Land Use Plan Environmentally Sensitive Habitat Area Policy 8.</i>
<i>BIO/mma-3.6.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department for review and approval, reflecting compliance with current Post-construction Stormwater Management requirements and demonstrating that stormwater and wastewater outfalls will not concentrate flows to sand dune substrates adjacent to Environmentally Sensitive Habitat Areas.</i>
<i>BIO/mm-3.7</i>	<i>Prior to issuance of demolition, grading, or construction permits, project landscape plans shall be revised and resubmitted to the County of Monterey Resource Management Agency for review and approval that clearly list all plant species to be planted and/or seeded in the landscape areas. The listed plant species shall be drought tolerant, and the landscape materials shall not include any plant species that is identified on the most recent version of the California Invasive Plant Council Invasive Plant Inventory. All listed plant species shall be appropriate for the dune habitat in the Del Monte Forest area. Examples of appropriate species include but are not limited to the following: All species included on the applicant submitted Dune Restoration Plans (Ballerini 2015, page 2; Zander 2012, Page 5), dune lupine (<i>Lupinus chamissonis</i>), Monterey cypress (<i>Hesperocyparis macrocarpa</i>), Monterey pine (<i>Pinus radiata</i>), California saltbush (<i>Atriplex californica</i>), dune sedge (<i>Carex pansa</i>), Pt. Reyes Ceanothus (<i>Ceanothus gloriosus gloriosus</i>), San Luis Obispo Ceanothus (<i>Ceanothus maritimus</i>), California croton (<i>Croton californicus</i>), California brittlebush (<i>Encelia californica</i>), leafy daisy (<i>Erigeron foliosus</i>), coastal buckwheat</i>

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	(Eriogonum cinereum), island wallflower (Erysimum insulare), California poppy (Eschscholzia californica maritima), gumweed (Grindelia stricta), wedge leaf horkelia (Horkelia cuneata), cardinal monkeyflower (Mimulus cardinalis), crisp monardella (Monardella undulata ssp. crispa), and black sage (Salvia mellifera). Other dune appropriate species shall include those listed in the San Francisco Bay Conservation and Development Commission's publication "Shoreline Plants: A Landscape Guide for the San Francisco Bay Area" (pages 18 through 33).
BIO/mma-3.7.1	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project landscape plans to the County of Monterey Resource Management Agency – Planning Department for review and approval that clearly list all plant species to be planted and/or seeded in the landscape areas.
BIO/mm-3.8	Prior to issuance of demolition, grading, or construction permits, the landscape plans shall specify that the use of imported soils for amendment in the landscape areas is prohibited. The native sand dune substrates shall be retained in the landscape area and dune appropriate species shall be utilized in the landscaping.
BIO/mma-3.8.1	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised landscape plans that reflect compliance with this measure.
<u>BIO/mm-3.9</u>	<p><u>Prior to the issuance of a building or grading permit, the applicant/owner shall submit to HCD-Planning for review and approval an offsite dune habitat restoration plan that provides for restoration of dune habitat within the Asilomar Dunes system at a ratio of 1:1 for any new dune habitat coverage over existing conditions (i.e., for any new areas of the site that are being converted from dune habitat to residential uses). The plan shall clearly identify each type of new dune habitat coverage (structural and non-structural) in site plan view with accompanying square footage calculations.</u></p> <p><u>In lieu of providing for off-site dune habitat restoration, the applicant/owner may provide prior to permit issuance a dune restoration payment of \$2.40 per square foot, or the rate reflected in the current Fee Schedule for the Environmental Enhancement Fund, for the calculated square footage of new dune habitat coverage beyond existing conditions to be used for the sole purpose of financing dune habitat restoration and maintenance within the Asilomar Dunes system. The applicant/owner shall submit evidence of the calculation of square footage based on the construction permit design (anticipated to be equivalent to 7,840 square feet) and a receipt that indicates the total amount has been deposited into an interest-bearing account to be established and managed by one of the following entities as approved by the HCD-Planning Department: the City of Pacific Grove, Monterey County, or the California Department of Parks and Recreation. All of the funds and any accrued interest shall be used for the above-stated purpose.</u></p>
BIO/mma-3.9.1	<u>If the applicant/owner opts to directly provide off-site dune habitat restoration, prior to issuance of construction permits, the applicant/owner shall provide to HCD-Planning for review and approval the proposed restoration plan and the location and permissions required for it to be implemented. Prior to building final inspection, applicant/owner shall provide evidence to HCD-Planning for review and approval that the approved off-site restoration has been implemented by a County-approved biologist. If applicant/owner opts to pay in-lieu fees, prior to issuance of construction permits, the applicant/owner shall submit receipt(s) that reflect compliance with this measure.</u>
Residual Impacts	
With implementation of the above mitigation measures, residual impacts related to the loss of ESHA would be less than significant. Although the project would result in the permanent conversion of 0.39 acre of ESHA, only 0.07 acre would be converted directly into the developed footprint, whereas 0.32 acre would be landscaped with plant species appropriate for the dune habitat in the Del Monte Forest area. Because it is unclear at this time what landscaping specifications would be implemented, this conversion is considered a permanent impact to ESHA; however, native sand substrates and compatible plant species would be required within this area, minimizing the adverse impacts within the proposed landscape area.	

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<p>Although the proposed residence is larger than the existing structure and would enlarge the developed footprint resulting in a direct and permanent conversion of ESHA, the proposed single-family residential use is largely consistent with the existing single-family residential use and the proposed development would not substantially change or increase the type or intensity of use at the site. Measures have been included requiring permanent conservation of the remainder of the parcel comprised of 1.67 acres of restored dune habitat for permanent open space conservation and scenic values, creating permanent beneficial impacts and preservation of 1.67 acres of ESHA. Successful implementation of the Dune Restoration Plan would result in the removal of invasive plants that directly contribute to the degradation of the dune system and installation of native plants that may enhance the habitat value of the dune system. <u>An offsite dune restoration (or in-lieu fee) in 1:1 ratio to the square feet of impervious surface added by the project further mitigates for impacts to ESHA.</u> Therefore, identified mitigation measures are considered adequate to reduce impacts associated with the permanent loss of ESHA to <i>less than significant</i>.</p>

4.2.5.3 Wetlands

As discussed in Section 4.2.1.2, a small (approximately 0.13 acre), one-parameter, coastal wetland is located in the Dune Restoration Area. The wetland is dominated by Mexican rush, which is a Facultative wetland species. The dominance of a Facultative wetland species triggers the coastal wetland classification. Demolition of the existing residence and construction of the new residence and landscaping would occur approximately 130 feet away from the coastal wetland and would not impact the coastal wetland. Likewise, with implementation of the landscape mitigation measures discussed above, installation and maintenance of the landscaping would not impact the coastal wetland.

If not properly implemented, implementation of the Dune Restoration Plan has the potential to impact the coastal wetland, including herbicide drift or misidentification and accidental removal of the Mexican rush.

Existing wastewater infrastructure exists near the area of the identified coastal wetland, which may require future maintenance, repairs or removal, which would disturb the coastal wetland and adjacent ESHA. The proposed project does not propose any repair, maintenance, removal, or disturbance of this infrastructure; therefore, it is not discussed further in this EIR. Any future disturbances associated with the wastewater infrastructure would require separate and subsequent permits and/or approvals.

BIO Impact 4	
Implementation of the proposed project has the potential to impact a 0.13-acre coastal wetland, resulting in a potentially significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
<i>BIO/mm-4.1</i>	<i>Project plans shall be revised to clearly show a minimum 100-foot setback and buffer zone between the project construction area (including all areas proposed for demolition, construction, staging, or landscaping) and the edge of the Juncus articus (var. balticus, mexicanus) Herbaceous Alliance vegetation, as shown in Figure 4.2-1 of the EIR.</i>
<i>BIO/mma-4.1.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department demonstrating compliance with this measure.</i>

BIO Impact 4	
<i>BIO/mm-4.2</i>	<i>Prior to initiating the proposed dune scrub restoration activities, the environmental monitor shall flag the perimeter of the coastal wetland. Application of herbicides shall be prohibited within 25 feet of the coastal wetland. No removal of Mexican rush shall be permitted, and any vegetation removal efforts within 25 feet of the coastal wetland shall be implemented by hand.</i>
<i>BIO/mma-4.2.1</i>	<i>Prior to initiating the proposed dune scrub restoration activities, the environmental monitor contracted by the County shall submit a letter report detailing the project's compliance with this measure.</i>
<i>BIO/mma-4.2.2</i>	<i>Throughout the duration of construction activities, the environmental monitor shall submit regular (weekly) monitoring reports demonstrating compliance with this measure.</i>
Residual Impacts	
Implementation of the project would not result in any direct adverse effects to a coastal wetland identified on the project site. Activities within 100 feet of the coastal wetland are limited to restoration actions. With implementation of the above mitigation measures, residual impacts to the coastal wetland would be <i>less than significant</i> .	

4.2.5.4 Wildlife Corridors and Movement

The large residential lots along Signal Hill Road coupled with the open space areas, recreation areas, and forested areas in the Del Monte Forest contribute to the area's ability to support common wildlife species and wildlife movement through the area. Proposed improvements would replace the existing single-family residence with a generally similar single-family residential use in the same portion of the parcel. Proposed development would not restrict wildlife access to previously accessible areas or redirect the movement of wildlife species across the site. The project would not result in any development in the large lower portion of the parcel, which would continue to support wildlife movement. The project would not disturb drainages or streams suitable for fish migration. Therefore, potential impacts would be *less than significant*.

4.2.5.5 Consistency with Local Plans and Policies

State CEQA Guidelines §15125(d) requires an EIR to discuss any inconsistencies between the proposed project and applicable general plans, specific plans and regional plans. While CEQA requires a discussion of consistency with public plans, inconsistency does not necessarily lead to a significant impact. Inconsistency with public plans creates significant impacts under CEQA only when an adverse physical effect on the environment would result from the inconsistency. The plans and policies applicable to the proposed project are described in Table 4.2-3, above. It is the responsibility of the County, the lead CEQA decision maker, to make the final determination regarding consistency issues as it relates to applicable County policies.

Each incidence in which it was determined that the project may be potentially inconsistent with a policy relevant to biological resources is discussed below to determine whether the potential inconsistency may result in significant adverse physical effects on the environment.

Policies for the Protection of Environmentally Sensitive Habitat Areas

The Del Monte Forest Area LUP and Monterey County Coastal Implementation Plan for the Del Monte Forest Area include various policies for the protection of ESHA. The Del Monte Forest Area LUP's key policy for ESHA states:

The environmentally sensitive habitat areas of the Del Monte Forest are unique, limited, and fragile resources that are sensitive and important biologically, as well as resources that enrich Del Monte Forest enjoyment for residents and visitors alike. Accordingly, these areas shall be protected, maintained, and, where possible, enhanced and restored in accordance with the policies of this LUP. Except where specifically and explicitly authorized by the LUP, all categories of land use and development, both public and private, shall be subordinate to the protection of these areas.

Several additional policies in the LUP and Coastal Implementation Plan limit new land uses within or adjacent to ESHA to those uses that are dependent on ESHA resources and/or protective of the long-term maintenance of the habitat area (Policy 8, Policy 18, Policy 71, §20.147.040[C], §20.147.040[D]). Implementation of the proposed project would expand the footprint of existing development and associated landscaping into areas of degraded dune habitat (ESHA), resulting in the direct permanent conversion of 0.39 acre of ESHA. The project does not propose a resource-dependent use and approving the project would make the protection of ESHA subordinate to the project, potentially inconsistent with these policies and standards (refer to Table 4.2-3 for additional detail).

The project's inconsistency with these policies and standards (specifically, conversion of 0.39 acre of ESHA to a non-resource-dependent use) would constitute an adverse physical effect on the environment and a potentially significant impact. However, the area of ESHA that would be converted is in a degraded condition and other proposed project components include restoration and permanent preservation of 1.67 acres of adjacent central dune habitat as ESHA (an ESHA preservation ratio of greater than 4:1 when compared to the area to be converted). The expanded residential use would not significantly degrade additional areas of surrounding ESHA, would not result in significant adverse effects to rare and endangered species (assuming implementation of identified mitigation measures), and would not adversely affect the scientific, educational, scenic and/or recreational resources associated with the surrounding ESHA.

The 1.67-acre area on the parcel proposed for restoration is located in the middle of a substantial stretch of remnant dune habitat extending from the ocean along a portion of Cypress Point Golf Course to Signal Hill (refer to Figure 2-2). This area of remnant dune habitat is afforded special protection in the Del Monte Forest Area LUP, Monterey County Coastal Implementation Plan, and Monterey County Coastal Zoning Ordinance. Restoration and permanent protection of ESHA as proposed by the project would provide a substantial benefit in meeting the County's goal of protecting contiguous areas of ESHA in the area of Signal Hill. This area would be placed in a scenic and conservation easement or deed restriction consistent with the provisions of the LUP (refer to BIO/mm-3.1).

Communications with the California Coastal Commission during the Public Draft review period and after indicated the need to add restoration of coastal dune habitat in proportion to the area of increased impervious surface associated with the project. Restoration is to be pursued in 1:1 ratio of square feet offsite within the Asilomar Dunes complex, or an in-lieu fee will be paid for a 1:1 ratio of square feet, to complete such restoration (refer to BIO/mm-3.9).

Since the ultimate physical effect on the environment resulting from the project's treatment of ESHA within the project site would be beneficial, primarily through the restoration and permanent conservation of 1.67 acres of ESHA habitat in an area adjacent to similarly undeveloped dune habitat (ESHA), and also through offsite dune restoration (or in-lieu fee) in 1:1 ratio to the square feet of increased impervious surface added by the project, the potential policy inconsistencies are

considered a less than significant impact under CEQA. Adverse physical effects on the environment resulting from the policy inconsistencies would further be reduced through implementation of identified mitigation measures (refer to measures BIO/mm-3.1 through BIO/mm-3.6, and BIO/mm-3.9, above).

Policies for the Protection of Forest Resources and Trees

Policy 31 of the LUP provides for the long-term protection of forest resources, including a prohibition on removal of any individual tree considered ESHA unless it is part of restoration and enhancement efforts. Although no forest ESHA is located on the project site, the site supports 11 Monterey cypress trees and two Monterey pines in areas of undeveloped dune habitat that qualifies as ESHA. Project construction would require removal of two Monterey cypress trees and grading in the vicinity of nine additional Monterey cypress trees that would remain after construction. The proposed tree removal is not a part of any restoration or enhancement effort, and is therefore considered potentially inconsistent with this policy.

Removed Monterey cypress trees would be protected through identified mitigation, including preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan and construction monitoring by an arborist (refer to measures BIO/mm-1.1 and BIO/mm-1.2). Implementation of these measures would protect and/or replace these forest resources and would not adversely affect forest ESHA or other forest resources. Therefore, this potential inconsistency would not result in an adverse physical effect on the environment, and impacts related to the inconsistency would be *less than significant*.

4.2.5.6 Consistency with Adopted Habitat Conservation Plans

The project is not within an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other habitat conservation plan. Therefore, *no impacts* would occur.

4.2.6 Cumulative Impacts

The proposed project is situated among a dune system that has been fragmented by residential, recreation, and other developments. The now fragmented dune system supports a mosaic of vegetative communities that are remnant of the historic system, some of which are considered rare or to be ESHA. Due to the size and complexity of the historic dunes in the area, the cumulative development scenario for the proposed project includes the entire Del Monte Forest Area.

Fragmentation of the dune system within the Del Monte Forest Area roughly began in the early 1900s when the Del Monte Properties Company (predecessor to the Pebble Beach Company) acquired the Del Monte Forest Area. Over time, the Del Monte Forest Company and Pebble Beach Company developed properties and sold properties to individual private holdings. As a result, much of the dune complex became fragmented with golf courses, resorts, privately held residences, roadways, and other amenities.

As part of the development review processes for projects in the area, remnants of the dune system have been preserved through conservation easements and State of California Department of Parks and Recreation (State Parks) holdings, whereas, other parts of the dune system have been identified for development. Even though remnants of the historic dune system have been preserved, development of the area has resulted in overall fragmentation of the dune system, a cumulatively significant effect. As proposed, the project aims to expand a residential structure into a small portion of the remnant dune system, which exacerbates the incremental fragmentation and overall degradation of the dunes; however, considered in context, the dune habitat on the

project site is already disturbed with existing residential development and uses. The additional development from this project is not a considerable contribution to the overall fragmentation of dune habitat within the context of the Del Monte Forest. The proposed project also includes the implementation of a Dune Restoration Plan to be conducted over 1.67 acres, approximately 71% of the parcel. Successful implementation of the Dune Restoration Plan would result in the removal of invasive plants that directly contribute to the degradation of the dune system and installation of native plants that may enhance the habitat value of the dune system, resulting in a potentially beneficial impact. As such, the project's contribution to dune fragmentation would be offset by restoring and preserving dune habitat on the parcel. The project's incremental effect on dune system habitat is not cumulatively considerable, and with implementation of the Dune Restoration Plan and BIO/mm-3.1, the project's cumulative contribution to dune fragmentation would be mitigated to *less than significant*.

4.2.7 References

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4.3 HISTORICAL RESOURCES

This section summarizes the results of the historic resources studies conducted for the project, including information and documents peer reviewed during preparation of the EIR. The information in this section is largely based on the following technical reports and documents, and also relies on comments from the California SHPO received on March 18, 2015, in response to the NOP:

- *Pebble Beach Historic Context Statement* (Page & Turnbull, Inc. 2013)
- *Connell House National Register of Historic Places Registration Form* (Kirk and Lamprecht 2014)

Additional references are provided in Chapter 8 of the EIR.

4.3.1 Existing Conditions

The project is located in the unincorporated community of Pebble Beach in Monterey County. Pebble Beach occupies a unique location on the Monterey Peninsula, with a crescent-shaped coastline, low dunes, and coastal habitat giving way towards the northeast to the Del Monte Forest.

4.3.1.1 Regional Setting

The historic period on the Monterey Peninsula began with the arrival of the first non-natives, the expedition of Sebastián Vizcaíno in 1602, which anchored in Monterey Bay. The next milestones were over a century later, when the Gaspar de Portolá expedition established a presidio at Monterey in the name of the Spanish king and Father Junípero Serra oversaw the founding of the Carmel mission, Mission San Carlos Borromeo, in 1770 and 1771. Monterey became the Spanish capital of Alta California in 1775.

In 1821, Mexico succeeded in its effort to become independent of Spain and assumed rule of Alta California. The missions were secularized a decade later, freeing vast tracts of mission lands that were sold or granted to early settlers. The Pebble Beach area was part of two such land grants, the Rancho El Pescadero, a 4,426-acre parcel granted to Fabian Baretto in 1836 and the Rancho Punta de los Pinos, a 2,667-acre parcel granted to José María Armenta in 1833. The lands were used primarily for sheep and cattle grazing.

California became a territory of the United States in 1848 under the Treaty of Guadalupe Hidalgo, which ended the 2-year Mexican American War. Statehood was achieved in 1850, with the capital eventually being established in Sacramento. Over time, the original rancho grantees and their heirs lost ownership of their lands, so that, by the mid-1860s, the entire Pebble Beach/Pacific Grove area was part of the estimated 100,000 acres of the Monterey Peninsula that came to be controlled by one man, David Jacks, a real estate entrepreneur originally from Scotland. Under Jacks' stewardship, the community of Pacific Grove was founded, Monterey was connected to the railroad network, and a Japanese fishing village was set up in Stillwater Cove.

The Pacific Improvement Company (PIC) formed in 1878 as a subsidiary of the Southern Pacific Railroad, which had a vested interest in the development of Monterey Bay. Over the next few years, PIC acquired nearly all of Jacks' lands. The first resort hotel, the Hotel Del Monte, and a new railroad connection soon followed, as well as development of a scenic coastal drive, the predecessor of the 17-Mile Drive. Under the auspices of PIC, the first subdivision of Pebble

Beach was surveyed and recorded in 1907—1909. From the outset, real estate in the Pebble Beach area was marketed with the well-to-do in mind, with advertisements for “villa” lots and talk of the establishment of an associated golf course, a sport linked to the wealthy, leisure class. The Del Monte Lodge, forerunner of today’s The Lodge at Pebble Beach, was constructed in 1909 in a rustic style, the 17-Mile Drive was enhanced, and gates to the Del Monte Forest that collected a fee from non-hotel guests were instituted in 1913.

Lot sales were lackadaisical until Samuel Finley Brown Morse became manager of PIC in 1915. Under his leadership, Pebble Beach would assume the identity that characterizes it today as a gated enclave of limited, high-end residential development with the majority of the land devoted to open space, much of it in the form of golf courses and forest. Pebble Beach was resurveyed, with the result that streets were laid out and lots divided sympathetically to the topography, resulting in winding roadways, unevenly shaped and sized lots that were a minimum of 1.5 acres in size, and coastal vistas and open space that were preserved. The latter was partially achieved by the installation of the first of what would eventually be several golf courses in Pebble Beach on land adjacent to the coastline. The Pebble Beach Golf Links opened in 1918–1919. Following a fire, the Lodge was rebuilt in 1919. By that time, 17 homes had also been constructed in Pebble Beach.

Also in 1919, Morse purchased PIC’s interest in the area and founded the Del Monte Properties Company, with support from San Francisco banker Herbert Fleishhacker. Morse, who served as president of the Del Monte Properties Company, oversaw and contributed to the development of Pebble Beach and the Del Monte Forest until his death in 1969. The character and intact natural reserve areas throughout Pebble Beach and the Del Monte Forest are due to the control exerted over new development by Morse and the Del Monte Properties Company, which oversaw “both the location and character of new development” as well as the selection of areas to be preserved (Page & Turnbull 2013).

During the 1920s, additional golf courses were laid out with associated subdivisions, golf clubhouses were built, and recreational facilities in the form of the Equestrian Center and Beach Club were installed. Other than the pro shops, the only commercial facilities within the community were located at the Del Monte Lodge.

Development in Pebble Beach slowed but did not end during the Great Depression. World War II saw the leasing of the old Hotel Del Monte to the Navy. In the years following the war, Pebble Beach, like much of California, saw a marked upswing in the construction of single-family residences. A handful of new subdivisions were opened and for the first time, speculators also began building homes. The years between the end of the war and 1969 were the “greatest period of sustained growth in the history of the Pebble Beach / Del Monte Forest area” (Page & Turnbull 2013). Also during this period, the lodge area was redeveloped, a commercial annex was built, and more golf courses were installed.

In the 1920s, “the Del Monte Properties Company instituted architectural controls that mandated Mediterranean style architecture for all new buildings” (Page & Turnbull 2013). In this early period, “some of California’s most capable architects were designing houses for Pebble Beach residents,” including Pierpont and Walter Davis, George Washington Smith, Julia Morgan, Reginald Johnson, and Bernard Maybeck, as well as architects from outside California, including Florida’s Addison Mizner. The resulting collection of buildings created a “California Riviera,’ a largely harmonious collection of buildings drawing on Spanish Colonial and Mediterranean precedents” (Page & Turnbull 2013).

By the postwar period, changing tastes as well as relaxed architectural controls introduced the Mid-Century Modern idiom to Pebble Beach. The most common architectural expression of this era is seen in a number of homes in the Ranch Style, a postwar architectural vocabulary popular throughout the United States for (primarily) residential design. Although many variations exist, the Ranch Style generally features a low-slung, rambling plan and incorporation of rustic materials and design features, with an emphasis on the horizontal and plentiful indoor-outdoor integration. A handful of buildings stood out from the norm: “Some residences, however, were bold modernist designs by prominent architects” (Page & Turnbull 2013). Of particular note were the Buckner House, designed by local architect Jon Konigshofer (1948; conflicting information as to existence), the Sclater-Booth House (1952; demolished), and the Connell House, designed by Richard Neutra (1958; extant) (Page & Turnbull 2013).

Richard J. Neutra

This section is primarily developed from the National Register of Historic Places Registration Form for the Arthur and Kathleen Connell House prepared by Anthony Kirk, Ph.D. and Barbara Lamprecht, M. Arch. (Kirk and Lamprecht 2014).

Richard Neutra was one of the most celebrated and influential architects of 20th century America. Born in 1892 in Vienna, Neutra completed his architectural education in that city in 1912. Early and important influences on his architectural philosophy were Frank Lloyd Wright, whose *Wasmuth Portfolios* illustrating a groundbreaking emphasis on horizontality and open floor plans had electrified the European architectural community, and fellow Austrian Adolph Loos, known for his advocacy of the elimination of historicism and superfluous ornament in architecture. Following service in World War I, Neutra worked in landscaping, setting the stage for a lifelong belief in the importance of the integration of building with site, which was later reinforced by a 1930 visit to Japan. He emigrated to the United States in 1923, settling first in Chicago where he worked on early skyscraper design for the prominent firm of Holabird and Roche and then at Taliesin, the workshop of Frank Lloyd Wright.

In 1925, Neutra moved to Los Angeles, to work on one of Wright’s commissions there. He joined his countryman, architect Rudolf Schindler, and the two briefly went into practice together. Neutra earned international acclaim for one of his first independent commissions in Los Angeles, the “Health House” for Phillip Lovell (1929). In the words of architectural historians Barbara Lamprecht and Anthony Kirk: “Set high in the Hollywood Hills, the house was a superb expression of the International Style and the first entirely steel-frame residence constructed in the United States” which showcased Neutra’s “command of proportion and his skillful synthesis of overlapping lines and planes of stucco, steel, and glass that extend into the surrounding landscape” (Kirk and Lamprecht 2014). The design earned Neutra a place in the seminal exhibition of the International Style of architecture mounted at New York’s Modern Museum of Art in 1932 and recognition as “the leading modern architect of the West Coast” (Kirk and Lamprecht 2014). This quote is originally from Alfred H. Barr, Foreword to *Modern Architecture* (Museum of Modern Art [MOMA] 1932) and quoted in Thomas S. Hines, *Richard Neutra and the Search for Modern Architecture* (Hines 1982).

Neutra’s architectural practice took off in the 1930s. Based in the Silver Lake district of Los Angeles, Neutra primarily designed single-family residences during this decade. Although most of his projects were in southern California, he worked on the occasional northern California commission. The first was the Koblick House in Atherton (1933; altered), which was followed by 13 more single-family homes and duplexes by 1940 in San Francisco, the Peninsula, and the East Bay, as well as the Davey House in Monterey (1939). In the post-World War II years,

Neutra's volume of work soared and encompassed a variety of building types in locations both national and international. He contributed to the Case Study House program, the highly admired and influential series of model homes sponsored by *Arts and Architecture* magazine that called on the major architectural talents of the post-war years. In 1942, Neutra was among a handful of pioneering modernist architects featured in a San Francisco Museum of Art exhibition presenting "Western Living: Five Houses under \$7,500" (Brown 2010). Five more Neutra-designed homes were built in northern California in the post-war years, including the Connell House in Pebble Beach. By the time of his death in 1970, Neutra's career had encompassed approximately 400 projects (built and unbuilt) in total (Brown 2010).

The winner of numerous awards and accolades during his lifetime, Neutra was accorded the American Institute of Architects (AIA) Gold Medal posthumously in 1977 for "most distinguished service to the profession of architecture" (Dreyfuss 1977). The *Los Angeles Times* marked the occasion by labeling Neutra, just 7 years following his death, as "one of the world's great architects" (Dreyfuss 1977). The AIA Gold Medal is only infrequently conferred. At the time of Neutra's posthumous award, only two Californian architects, William Wurster and Bernard Maybeck, had received the gold medal; other recipients by that time included Frank Lloyd Wright, Buckminster Fuller, Walter Gropius, Le Corbusier, and Ludwig Mies van der Rohe. In 1949, *Time* magazine featured Neutra on its cover and ranked him second only to Frank Lloyd Wright in American architecture. A prolific author himself, Neutra's architectural work has been the subject of numerous books and articles by others. In 1982, the MOMA held a retrospective on Neutra, describing Neutra's legacy in the following way:

"For many, the private homes designed by Richard Neutra (1892-1970) and built in California between 1927 and 1959 represent the first truly regional, modern domestic architecture in the United States. This is particularly curious in that Neutra was, by birth, Austrian and emigrated to this country in 1923 at the age of thirty-one. Six years after his arrival he had become "another distinctly American voice, to be heard with respect in the growing international community of architects"... Neutra was to become one of the most important architects of the modern movement, instrumental in the development of an indigenous California tradition."

Esteemed *Washington Post* architecture critic Wolf Von Eckardt noted (Smith 1970) that:

"The most outstanding buildings of his career...are superbly elegant houses, most of them in California... They are gently placed in the landscape and, through lavish use of glass, extend the building into nature and bring nature inside the building. ...This closeness to nature, accomplished by his sophisticated and artful use of building technology, seems to be the essence of Neutra's philosophy."

A few weeks following his death, in an obituary for Neutra, *The Architects' Journal* described the architect's international reputation, saying that "Neutra's buildings stand out among those that are internationally famous by the apparent ease with which they fit into their setting and by their natural elegance and feeling for material and shape, all typically Viennese virtues" (Segal 1970). The writer goes on to say that Neutra was "the acknowledged master of superlatively sensitive detail, and quality is so strongly imprinted on his work as to make it unmistakable. His name will continue to live in buildings which belong to the best of our time in a field contested by many" (Segal 1970).

4.3.1.2 Site-Specific Setting

History of The Connell House

In 1957, Neutra began working on a design for Arthur and Kathleen Connell, who had purchased a coveted, Pacific view lot in the exclusive community of Pebble Beach. The design process apparently involved numerous meetings with Neutra at his home and studio in Silver Lake and the completion of a 30-page response to a questionnaire by the Connells that enabled Neutra to gauge his clients' needs and hopes for their new residence. Arthur Connell later recalled that "the original concept seemed so absolutely right that it was never altered in any important aspect, although Richard himself had not as yet seen the site" (Hines 1982).

The house was constructed by Monterey-based builder Harold C. Geyer and completed in August 1958. Landscape was provided by Solomon and Hoy and reflected Neutra's and the clients' love of Japanese-inspired gardens, particularly evident in the courtyard. The house was published in *World and Dwelling*, a book of Neutra's houses, in 1962.

~~Although~~ The house was plagued from the outset by climate issues—a not infrequent occurrence in architect-designed homes, according to anecdotal evidence—and was described by Arthur Connell as follows:

"the house turned out to be not ideally suited for the environment, although it certainly capitalized on the outstanding view. The main problem was that Cypress Point is exposed to northwest and southerly winds which exceed 30 knots with gusts to 50 and 60 on occasion, and these persist for long periods. I feel certain that the air flow through the house could be as much as 1 or 2 knots, despite all the windows and doors being closed, and the heat just never went off... the house leaked somewhere in every rain storm."

Despite these issues, the Connells were pleased with the house and lived there until their children grew up and moved away and they began spending large periods of time in Fiji. In April 1973, William and Audrey Mennan purchased the house. After a short residence, the Mennans sold the house to Clifford and Patricia Mettler, who occupied the house in 1975. The Mettlers were responsible for the changes made to the house in 1978 and 1992-1993, as described further below.

The Connell House

The proposed project site is located on Signal Hill Road, adjacent to one of the best-known features of Pebble Beach—17-Mile Drive—a two-lane road that provides multiple scenic vistas and access from the Del Monte Forest to the coastline. Located approximately 100 feet above sea level, the site lies between the Cypress Point and Spyglass Hill Golf Courses and affords an unimpeded view of the coastline and the Pacific Ocean. The 2.22-acre property contains one building, the Connell House, an approximately 3,299-square-foot single-family residence, one and two stories in height, and roughly U-shaped in plan (later additions increased the size of the house to 4,125 square feet). The house sits high up on a sloping coastal dune, set back and descending below grade from Signal Hill Road. The site and its topography are generally characterized by sandy dunes, low shrubs, ice plants, and a number of mature trees, some of which were planted by the original owners. The Connell House is an intact and representative example of the Modernist architectural idiom known broadly as the "International Style," designed by internationally renowned Modernist architect Richard Neutra.

Strong horizontal lines juxtaposed against projecting and receding planes and volumes keynote the design of the house. The flat roof, with extended, cantilevered eaves and beams and a broad wooden fascia, establishes the horizontal emphasis. Bands of windows on both levels of the western, sea-facing elevation and a partial width second floor deck on the west elevation reinforce the theme. Rectangular in plan, the building incorporates a lower story that is set below street level to accommodate the sloped site and a U-shaped upper story that embraces a courtyard that opens east towards the street. The mahogany-veneered main entrance is located on the north elevation and the integrated, three-bay garage is located on the south elevation. Above a concrete foundation, the primary exterior material, other than aluminum-framed glass, is unornamented stucco. Accenting the stucco are narrow tongue-and-groove siding, which appears on the south elevation, and panels of Masonite, which wrap the exterior below the windows on the west and north and also face the courtyard.

West Elevation

The most visible elevation is the west, which faces the ocean, 17-Mile Drive, and the Cypress Point Golf Course, and is visually accessible from those places (refer to Figures 4.3-1 and 4.3-2). This elevation showcases Neutra's masterful integration of the building into the site. In terms of the design composition, aesthetic effect is achieved through the asymmetrical but balanced arrangement of volumes, horizontal and vertical planes, and massing. This is seen, for example, in the use of a bold, geometric, stucco-clad volume on the south balanced to the north by a wall of windows and sliding glass doors, with thin steel frames adding to a feeling of lightness and transparency.

Figure 4.3-1. West elevation, looking east from 17-Mile Drive.



Photo taken November 2012. Source: Page & Turnbull, Inc., *Pebble Beach Historic Context Statement*, p. 127.

Figure 4.3-2. West elevation, looking east from 17-Mile Drive.

Photo taken January 5, 2012. Source: County of Monterey, Photos_PLN010338_010512.ppx (Slide 1).

A broad, cantilevered roof eave, its soffit unadorned and sheathed in smooth stucco, unifies the components of this elevation (refer to Figures 4.3-3 and 4.3-4). As on other elevations of the property, the roof eaves terminate in a broad wood fascia trimmed with metal. Under baseline conditions, the extant roof eaves, fascia, and stucco cladding beneath the eaves are in good condition. As viewed from the interior, the west elevation's ribbon windows allow for panoramic views of the coastal habitat below, in a sight line that extends in places from the home's central courtyard, through the interior of the house, and out to the Pacific Ocean. The west elevation is spanned primarily by continuous large-pane and sliding ribbon windows in a variety of configurations, as well as a band of non-original windows along the southern portion of the west elevation. On the second story, an open-air balcony framed by a low railing and sheltered beneath cantilevered roof eaves spans half of the west elevation and wraps around on the north. The second-story balcony is enclosed by thin, simple pipe supports.

Figure 4.3-3. West elevation, looking north.



Photo taken on July 28, 2010. Source: County of Monterey, Photos_PPa_PLN1—338_Site Visit 07282010 (Slide 7).

Figure 4.3-4. West and south elevations, looking northwest.



Photo taken October 5, 2010. Source: 20101015_Kirk DPR 523 Forms.pdf (Kirk, Anthony, PhD. State of California Department of Parks and Recreation Forms, Connell House, 10/15/10).

At the ground level, the second-story balcony acts as a canopy, which shelters an expansive patio area for the bedrooms facing it on the interior (refer to Figure 4.3-5). The landscaped patio exhibits a modular design composition and serves to integrate interior bedrooms with the outdoors. Hardscaping incorporates cobble-aggregate-sheathed tiles, alternating with squares open to the ground cover for plantings. Facing the patio, a series of large-pane windows and sliding glass doors, exhibiting an asymmetrical but balanced modular design, spans the length of the elevation and wraps around on the north. Beneath the south portion of the balcony on the first floor, a simple, unadorned wing-wall extends to provide privacy for the patio area. Smooth, unadorned stucco, with recessed circular lighting, characterizes the soffits beneath the balcony on the patio level.

Access is provided on the west elevation via an attenuated wood door located on the second floor balcony and an accompanying door on the first story. Exterior walls are sheathed with smooth stucco cladding; the stucco is in good condition. On the north, a simple wood beam extends beyond the wall plane.

Figure 4.3-5. North and west elevations, looking southeast.



Photo taken October 5, 2010. Source: 20101015_Kirk DPR 523 Forms.pdf; Kirk, Anthony, PhD. State of California Department of Parks and Recreation Forms, Connell House, 10/15/10).

North Elevation

As the location of the main entry, the north elevation is the second most publicly accessible elevation (refer to Figure 4.3-6). The entrance is accessed from Signal Hill Road via a concrete walkway leading down a short flight of steps. An elevated wood-plank porch, framed by a simple low railing, marks the entry. The entrance is framed by a band of thin rectangular transom windows that wraps onto the west elevation and is sheltered beneath a broad, cantilevered extension of the roof slab. The entry consists of a tall double-door sheathed in mahogany

vener. Extending from the entrance from the ground story is a broad, rectangular wing wall, which provides privacy and a strong geometric design element balancing the design composition on the north elevation. The wing wall is clad in smooth stucco and is in good condition. At the ground floor, the north elevation is characterized by a large-pane fixed window, set flush to the wall plane, and smooth, stucco-clad wall expands mirroring the design throughout the house. The north elevation window on the ground story is in good condition.

Figure 4.3-6. North elevation, looking southwest.



Photo taken October 5, 2010. Source: 20101015_Kirk DPR 523 Forms.pdf (Kirk, Anthony, PhD. State of California Department of Parks and Recreation Forms, Connell House, 10/15/10).

East Elevation

Although it faces the street, the east elevation is largely obscured from view by a vertical plank privacy fence that encloses the upper (street) level courtyard (refer to Figure 4.3-7). The branches of a mature tree rise above the fence. A brick chimney is also visible on the roof near the northwest corner of the courtyard. The primary elements of the east elevation are this fence, trimmed with a single, unadorned wood beam, and the unornamented expanse of the stucco-clad east wall of the garage, which extends slightly above the roof line. The garage wall forms the northern border of the house's central courtyard. At the north end of the east elevation, an extension of the roof slab tops a gate leading from the north into the courtyard and shelters a large window that wraps the corner. Landscaping consists of a number of mature trees as well as other shrubs and ice plant.

Figure 4.3-7. East elevation, looking west.

Photo taken July 28, 2010. Source: County of Monterey, PPA1_PLN100228_Site Visit 07282010.pptx (Slide 12).

South Elevation

From Signal Hill Road on the south side of the property, the driveway leads to the south elevation (refer to Figure 4.3-8). The driveway consists of large-aggregate cement trimmed by sandy dunes and landscaping. The principal features of the south elevation are a three-door garage and secondary entrance and small sunroom addition at the southwest corner of the building. The garage consists of three swing-up doors faced with attenuated wood tongue-and-groove planks. The garage doors and wood sheathing are in good repair. The garage doors are recessed beneath wide overhanging cantilevered roof eaves, trimmed with broad fascia boards.

At the west end of this elevation are a secondary entrance, facing east, and a small sunroom. Originally an open patio, the south-elevation entrance was enclosed in 1992 by Carmel architect Edward H. Hicks and converted to a 220-square-foot addition. Clad in the same smooth stucco sheathing the house, the addition displays steel-framed windows on the south elevation and a simple one-panel door facing east. The enclosure of the service yard had apparently been anticipated by Neutra, who had labeled the space a future maid's room on some early plans (Kirk and Lamprecht 2014).

Figure 4.3-8. South elevation, looking northwest.



Photo taken February 7, 2014. Source: County of Monterey, Photos_PLN100338_020714.pptx (Slide 6).

Courtyard

Walls of glass, incorporating both fixed and jalousie (comprised of parallel glass slats) windows and sliding glass doors, face the courtyard on its west and north sides, integrating interior and exterior spaces (refer to Figure 4.3-9). Roof overhangs shade each exposure. A large, brick grill for cooking is integrated into the brick chimney, which is attached to the west courtyard wall. The north wall of the garage and the wood fence form the remaining two walls of the enclosure. Spanned by a terrace on the west elevated one step above ground level and paved in glazed tile, the courtyard is characterized by an ornamental garden accented by driftwood, boulders, stones, and shrubbery.

Figure 4.3-9. Looking northwest at east and north sides.

20101015_Kirk DPR 523 Forms.pdf (Kirk, Anthony, PhD. State of California Department of Parks and Recreation Forms, Connell House, 10/15/10).

Interior Floor Plan

The house is entered via a landing midway between the upper and lower levels. The upper story includes the living room, dining room, and kitchen (all of which open to or overlook both the courtyard and decks on the west and north), a den in the northeast corner, service spaces, and two darkrooms. The more private lower level consists of the master bedroom and bath on the northwest and two additional bedrooms that share a bath and sitting area. All of the bedrooms are characterized by window walls that both take advantage of the view and allow access to the western terrace.

Alterations and Integrity

Alterations to the Connell House since it was completed in 1958 are limited. The most obvious change was the 1992–1993 enclosure of the yard on the southwest, a change that was in keeping with Neutra’s original vision. Designed by Carmel architect Edward M. Hicks, the new studio space added 220 square feet (approximately 8%) to the total floor area. In 1978, the kitchen was remodeled. Some of the original fenestration was replaced, mostly within the original openings, probably in association with the 1978 and 1992–1993 modifications. A large window has also been substituted for two Masonite panels on the north end of the west elevation.

The alterations have not compromised the overall integrity of the house. It retains integrity of location, having been designed for and built at its current site. The setting—characterized by sandy coastal dunes, overlooking the golf courses and coastline, and shielded from neighboring properties by topography and vegetation—is substantially the same. Many of the trees and

shrubs surrounding the house appear to date from the Connell's occupancy. The changes to the design and materials, as detailed above, have been minimal and have left character-defining features intact. Therefore, the Connell House's ability to convey Neutra's design intentions and aesthetic has not been impeded. The workmanship of the original house is still apparent in the materials and finishes. Integrity of feeling and association are the result of the retention of the other five aspects of integrity (location, design, setting, materials, and workmanship).

Arthur Lowe Connell and Kathleen Connell

Arthur Lowe and Kathleen Connell commissioned the house on Signal Hill Road in 1957. The data presented in this section draws upon a 2014 study completed by San Buenaventura Research Associates, as well as additional research.

A native of Shamokin, Pennsylvania, Arthur Lowe Connell was born in 1913 to Edward W. and Margaret Lowe Connell. After attending the Connecticut-based preparatory academy Hotchkiss School, Arthur Connell attended Princeton University. Upon his graduation from Princeton in 1936, Connell married Kathleen Carpender in 1937. The couple settled in South Abington, Pennsylvania, and Arthur Connell worked at a bank. In 1944, Connell enlisted in the U.S. Navy, where he appears to have served as a photographer aboard U.S. Navy ships, including the USS Lake Champlain.

Following the war, the Connells moved to southern California, where they settled in San Marino, a community adjacent to the city of Pasadena and in close proximity, to the northeast, of the city of Los Angeles. In southern California, Connell continued to pursue his interest in photography. In 1948, he is said to have purchased the San Marino Camera Shop (his employer at the time). Connell had established another camera shop by the early 1950s in Pasadena, Connell's Camera Shop. According to available city directories, newspaper articles from the time, and Los Angeles County Voter Registration Roles, the Connells remained in San Marino until the late 1950s, when they commissioned their Signal Hill Road home from Richard Neutra.

While the details of Connell's work are not known, his primary professional pursuit and interest throughout his life appears to have been photography. As noted in San Buenaventura Research Associates (2014), Connell was "closely associated with a circle of important California photographers centered on Monterey Bay, including Ansel Adams, Morley Baer, Beaumont Newhall, Nancy Newhall, and Brett Weston, and through this association became a founding member of the nonprofit organization Friends of Photography in Carmel in 1967" (San_Buenaventura Research Associates 2014:7).

Established "with the mission to promote education and exhibition in the photographic arts," Friends of Photography remained active in Carmel until the 1984 death of member Ansel Adams (San Buenaventura Research Associates 2014:7). Connell's life-long interest and work in photography is reflected in the purpose-built darkrooms, designed by Neutra adjacent to the garage, in the Signal Hill Road home.

4.3.2 Regulatory Setting

This regulatory framework section identifies the federal, state, and local laws, statutes, guidelines, and regulations that govern the identification and treatment of historical resources as well as the analysis of potential impacts to historical resources.

4.3.2.1 Federal Regulations

Section 106 of the National Historic Preservation Act

The National Historic Preservation Act of 1966 (NHPA) set forth national policy for recognizing and protecting historic properties. It established the NRHP, SHPOs and programs, and the Advisory Council on Historic Preservation (ACHP). Under Section 106 of the NHPA, federal agencies are required to take into account the effects of their undertakings on historic properties and provide the ACHP an opportunity to comment on those undertakings. Historic properties are defined in federal law as those properties that are listed in, or meet the criteria for listing in, the NRHP.

Cultural resources are considered during federal undertakings chiefly under §106 of the NHPA through one of its implementing regulations, 36 CFR 800 (Protection of Historic Properties), as well as the National Environmental Policy Act (NEPA) of 1969. Properties of traditional religious and cultural importance to Native Americans are considered under NHPA §101(d)(6)(A). Other relevant federal laws include the Archaeological Data Preservation Act of 1974, American Indian Religious Freedom Act of 1978, Archaeological Resources Protection Act of 1979, and Native American Graves Protection and Repatriation Act of 1989, among others.

The National Register of Historic Places

The NRHP, administered by the National Park Service (NPS), under the Department of the Interior, is the nation's official list of historically significant cultural resources. It is part of a national program to coordinate and support public and private efforts to identify, evaluate, and protect historic and archaeological resources. Properties listed in the NRHP include districts, sites, buildings, structures, and objects that are significant in American history, architecture, archaeology, engineering, and culture, and that retain integrity.

National Register Criteria for Evaluation

The quality of significance in American history, architecture, archeology, engineering, and culture is identified in districts, sites, buildings, structures, and objects that possess integrity and:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or,
- B. That are associated with the lives of significant persons in our past; or,
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or,
- D. That have yielded or may be likely to yield, information important in history or prehistory.

In addition to meeting these criteria, a property must retain historic integrity, which is defined in National Register Bulletin 15 as the “ability of a property to convey its significance” (NPS 1990). In order to assess integrity, the NPS recognizes seven aspects or qualities that, considered together, define historic integrity. To retain integrity, a property must possess several, if not all, of these seven qualities, which are defined in the following manner in National Register Bulletin_15:

1. *Location*: the place where the historic property was constructed or the place where the historic event occurred;
2. *Design*: the combination of elements that create the form, plan, space, structure, and style of a property;
3. *Setting*: the physical environment of a historic property;
4. *Materials*: the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
5. *Workmanship*: the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
6. *Feeling*: a property's expression of the aesthetic or historic sense of a particular period of time; and,
7. *Association*: the direct link between an important historic event or person and a historic property.

“Integrity” is not synonymous with condition. A property may be in deteriorated condition but still retain sufficient integrity to convey the reasons for its significance.

Ordinarily cemeteries, birthplaces, or graves of historic figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, and properties that are primarily commemorative in nature, are not considered eligible for the NRHP, unless they satisfy certain conditions. In general, a resource must be 50 years of age to be considered for the NRHP, unless it satisfies a standard of exceptional importance.

4.3.2.2 State Regulations

Office of Historic Preservation

The California Office of Historic Preservation (OHP) is the governmental agency primarily responsible for the statewide administration of the historic preservation program in California. The mission of the OHP and the State Historical Resources Commission, in partnership with the people of California and governmental agencies, is to “preserve and enhance California’s irreplaceable historic heritage as a matter of public interest so that its vital legacy of cultural, educational, recreational, aesthetic, economic, social, and environmental benefits will be maintained and enriched for present and future generations.” The OHP’s responsibilities include:

- Identifying, evaluating, and registering historic properties;
- Ensuring compliance with federal and state regulatory obligations;
- Cooperating with traditional preservation partners while building new alliances with other community organizations and public agencies;
- Encouraging the adoption of economic incentives programs designed to benefit property owners; and,

- Encouraging economic revitalization by promoting a historic preservation ethic through preservation education and public awareness and, most significantly, by demonstrating leadership and stewardship for historic preservation in California.

The Northwest Information Center (NWIC) at Sonoma State University, Rohnert Park, is under contract to the OHP and helps implement the California Historical Resources Information System (CHRIS). It integrates information on new resources and known resources into the CHRIS, supplies information on resources and surveys to the government, and supplies lists of consultants qualified to do historic preservation fieldwork within the area. The California Archeological Site Inventory is the collection of Site Records that has been acquired and managed by the regional Information Centers and the OHP since 1975.

California Environmental Quality Act

CEQA requires a lead agency to analyze whether historic and/or archaeological resources may be adversely impacted by a proposed project. Under CEQA, a “project that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment” (PRC §21084.1). Under CEQA, a determination must first be made as to whether the proposed project has the potential to affect cultural resources. If cultural resources are present, then the proposed project must be analyzed for its potential to cause “substantial adverse change in the significance” of the resource.

According to CEQA Guidelines §15064.5, for the purposes of CEQA, historic resources are:

- A resource listed in, or formally determined eligible for listing in, the CRHR (PRC §5024.1, 14 CCR, §4850 et seq);
- A resource included in a local register of historical resources, as defined in §5020.1(k) of the PRC or identified as significance in a historic resources survey meeting the requirements of §5024.1(g) of the PRC;
- Any building, structure, object, site, or district that the lead agency determines eligible for national, state, or local landmark listing; generally, a resource shall be considered by the lead agency to be historically significant (and therefore a historic resource under CEQA) if the resource meets the criteria for listing on the CRHR (as defined in PRC §5024.1, 14 CCR, §4852).

Resources nominated to the CRHR must retain enough of their historic character or appearance to convey the reasons for their significance. Resources whose historic integrity (as defined in the previous section) does not meet NRHP criteria may still be eligible for listing in the CRHR.

According to CEQA, the fact that a resource is not listed in or determined eligible for listing in the CRHR or is not included in a local register or survey shall not preclude the lead agency from determining that the resource may be a historical resource (PRC §5024.1). Pursuant to CEQA, a project with an effect that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (State CEQA Guidelines §15064.5(b)).

CEQA requires a lead agency to determine whether a project may have a significant effect on archaeological resources. If it can be demonstrated that a project will cause damage to a unique archaeological resource, the lead agency may require reasonable efforts to be made to permit any or all of these resources to be preserved in place or left in an undisturbed state. To the

extent that they cannot be left undisturbed, mitigation measures are required (§21083.2[a], [b], and [c]). Section 21083.2(g) describes a unique archaeological resource as an archaeological artifact, object, or site about which it can be clearly demonstrated that without merely adding to the current body of knowledge, there is a high probability that it meets any of the following criteria:

- Contains information needed to answer important scientific research questions and that there is a demonstrable public interest in that information.
- Has a special and particular quality such as being the oldest of its type or the best available example of its type.
- Is directly associated with a scientifically recognized important prehistoric or historic event or person.

The State CEQA Guidelines specify, “substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired” (State CEQA Guidelines §15064.5). Material impairment occurs when a project alters in an adverse manner or demolishes “those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion or eligibility for inclusion” in the NRHP, CRHR, or local register.

Secretary of the Interior’s Standards for the Treatment of Historic Properties

CEQA provides that a project that has been determined to conform with the Secretary of the Interior’s Standards for the Treatment of Historic Properties can generally be considered to be a project that will not cause a significant adverse impact (State CEQA Guidelines §15126.4(b)(1)).

The goal of the Secretary of the Interior’s Standards is to outline treatment approaches that allow for the retention of and/or sensitive changes to the distinctive materials and features that lend a historical resource its significance. When changes are carried out according to the Secretary of the Interior’s Standards, the historical resource retains its historic integrity and thereby continues to convey the reasons for its significance. The Secretary of the Interior’s Standards and associated Guidelines (36 CFR 67) are “neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect” cultural resources (Weeks and Grimmer 2001). The Secretary of the Interior’s Standards and Guidelines offer general recommendations for preserving, maintaining, repairing, and replacing historical materials and features, as well as designing new additions or making alterations. The Secretary of the Interior’s Standards also provide guidance on new construction adjacent to historic districts and properties, in order to ensure that there are no adverse impacts to integrity as a result of a change in setting.

As part of the Secretary’s Standards for the Treatment of Historic Properties, the National Park Service defines four treatment approaches for historic properties. The basic definitions of the four treatment approaches are defined below.

- Preservation: Preservation focuses on the maintenance and repair of existing historic materials and retention of a property’s form as it has evolved over time.
- Rehabilitation: Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property’s historic character.

- **Restoration:** Restoration depicts a property at a particular period of time in its history, while removing evidence of other periods.
- **Reconstruction:** Reconstruction re-creates vanished or non-surviving portions of a property for interpretive purposes.

Choosing the appropriate treatment approach depends on a number of factors, such as the level of and reasons for a property's historic significance, physical condition, and proposed use. While a single approach is generally selected for projects involving historic properties, some projects benefit from the inclusion of two or more approaches, depending on the situation and condition of the property. For example, a property that retains most of its original features and materials, but is missing some character-defining materials and features, might require a rehabilitation treatment approach, with limited, focused reconstruction.

California Register of Historical Resources

California PRC §5024.1 establishes the CRHR and charges the State Historical Resources Commission with overseeing its implementation. Created in 1992 and implemented in 1998, the CRHR is “an authoritative guide in California to be used by state and local agencies, private groups, and citizens to identify the state's historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change” (PRC §21083.2 and §21084.1). Certain properties, including those listed in or formally determined eligible for listing in the NRHP and California Historical Landmarks numbered 770 and higher, are automatically included in the CRHR. Other properties recognized under the California Points of Historical Interest program, identified as significant in historical resources surveys or designated by local landmarks programs, may be nominated for inclusion in the CRHR.

According to PRC §5024.1(c), a resource, either an individual property or a contributor to a historic district, may be listed in the CRHR if the State Historical Resources Commission determines that it meets one or more of the following criteria, which are modeled on NRHP criteria:

- Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- Criterion 2: It is associated with the lives of persons important in our past.
- Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- Criterion 4: It has yielded, or may be likely to yield, information important in history or prehistory.

Resources nominated to the CRHR must retain enough of their historic character or appearance to convey the reasons for their significance. Resources whose historic integrity does not meet NRHP criteria may still be eligible for listing in the CRHR.

State Historic Building Code

The 2013 California State Historical Building Code (CHBC), which is defined in §§18950–18961 of Division 13, Part 2.7 of Health and Safety Code, is intended to save California’s architectural heritage by recognizing the unique construction issues inherent in maintaining and adaptively reusing historic buildings. The CHBC provides alternative building regulations for permitting repairs, alterations and additions necessary for the preservation, rehabilitation, relocation, related construction, change of use, or continued use of a “qualified historical building or structure.” CHBC §18955 defines a “qualified historical building or structure” as “any structure or property, collection of structures, and their associated sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.”

California Statewide Historic Preservation Plan

As required by the NPS, each State Historic Preservation Office in the United States must prepare/update a State Preservation Plan each 5 years. As stated by the State Office of Historic Preservation, the State Preservation Plan is intended to:

- Identify current and emerging historic preservation issues throughout the state;
- Establish the vision, mission, and priorities for the Office of Historic Preservation;
- Identify preservation goals and objectives for integrating historic preservation into the broader planning and decision-making at local, regional, and state levels; and,
- Identify preservation partners and their contributions needed to accomplish the State Plan’s goals and objectives.

In the 2006–2010 California Statewide Historic Preservation Plan, preservation of modern resources of the recent past was identified as one of the top 10 goals for the state’s preservation program: “In California the demolition in recent years of buildings by master architects Edward Durrell Stone, Richard Neutra, and Rudolf Schindler, to name a few, has heightened the sense of urgency for the need to study and better understand the cultural resources of the Modern Age” (State Parks 2006).

Certified Local Government Program

Monterey County is a Certified Local Government (CLG) in accordance with the provisions of the 1980 amendments to the NHPA. The California CLG program is administered by OHP. In accordance with federal requirements, each CLG must comply with the following requirements:

- Enforce state and local laws and regulations for the designation and protection of historic properties;
- Establish a historic preservation review commission by local ordinance;

- Maintain a system for the survey and inventory of historic properties;
- Provide for public participation in the local preservation program; and,
- Perform the responsibilities delegated to the local entity by the state.

4.3.2.3 Local Regulations and Policies

County of Monterey Historic Preservation Ordinance

Chapter 18 of the Monterey County Code of Ordinances describes the provisions and procedures related to historic preservation throughout the county. According to §18.25.070 of the Monterey County Code of Ordinances, an improvement, natural feature, or site may be designated a historical resource and any area within the County may be designated a historic district if such improvement, natural feature, site, or area meets the criteria for listing on the NRHP, the CRHR, or one or more of the following conditions are found to exist:

A. Historical and Cultural Significance

1. The resource or district proposed for designation is particularly representative of a distinct historical period, type, style, region, or way of life.
2. The resource or district proposed for designation is, or contains, a type of building or buildings which was once common but is now rare.
3. The resource or district proposed for designation was connected with someone renowned.
4. The resource or district proposed for designation is connected with a business or use which was once common but is now rare.
5. The resource or district proposed for designation represents the work of a master builder, engineer, designer, artist, or architect whose talent influenced a particular architectural style or way of life.
6. The resource or district proposed for designation is the site of an important historic event or is associated with events that have made a meaningful contribution to the nation, State, or community.
7. The resource or district proposed for designation has a high potential of yielding information of archaeological interest.

B. Historic, Architectural, and Engineering Significance

1. The resource or district proposed for designation exemplifies a particular architectural style or way of life important to the County.
2. The resource or district proposed for designation exemplifies the best remaining architectural type of a community.
3. The construction materials or engineering methods used in the resource or district proposed for designation embody elements of outstanding attention to architectural or engineering design, detail, material or craftsmanship.

C. Community and Geographic Setting

1. The proposed resource materially benefits the historic character of the community.
2. The unique location or singular physical characteristic of the resource or district proposed for designation represents an established and familiar visual feature of the community, area, or county.
3. The district is a geographically definable area, urban or rural possessing a significant concentration or continuity of site, buildings, structures, or objects unified by past events, or aesthetically by plan or physical development.
4. The preservation of a resource or resources is essential to the integrity of the district.

County of Monterey Mills Act Program

Adopted in May 2012, Chapter 18.28 of the Monterey County Code of Ordinances describes the provisions and procedures for the County's Mills Act program, which offers substantial property tax reductions for qualifying historic properties. In order to incentivize the rehabilitation and re-use of historically significant properties in the County, the Mills Act allows property owners to apply for and receive tax reductions for rehabilitation/maintenance/preservation projects that comply with the Secretary's Standards. Where rehabilitation/preservation of historically significant properties is prohibitive, the Mills Act property tax program helps offset costs of preservation, making the retention of historically significant properties economically feasible.

Pebble Beach Historic Context Statement

Prepared in conjunction with the Monterey County Parks Department and adopted by the Monterey County Board of Supervisors in September 2013, the Pebble Beach Historic Context Statement establishes themes of significance, associated property types, eligibility requirements, and integrity thresholds for built environment properties and resources in Pebble Beach. The document was prepared in accordance with accepted professional standards, overseen by OHP, and partially funded by a grant under the State's CLG program. Seven primary themes were documented:

- Residential Development
- Commercial Development
- Landscape Development & Preservation
- Recreation, Leisure & Tourism
- Transportation & Infrastructure
- Resource Extraction
- Social and Economic Trends

These themes were related to six periods of development, from the Native American occupation of the Monterey Peninsula and ending in 1969.

4.3.2.4 Applicable State, Regional, and Local Plans and Policies Relevant to Historical Resources

Table 4.3-1 lists applicable state, regional, and local land use policies and regulations pertaining to historical resources that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented above in Section 4.3.2, Regulatory Setting, and in Chapter 3, Environmental Setting. Also included in Table 4.3-1 is an analysis of project consistency with identified policies and regulations. Where the analysis concludes the proposed project would potentially conflict with the applicable policy or regulation, the reader is referred to Section 4.3.5, Impact Assessment and Mitigation Measures, for additional discussion.

Table 4.3-1. Applicable Local Plans and Policies Relevant to Historic Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Resource Management Element		
<i>CULTURAL RESOURCES</i>		
<p>Policy 57. The timely identification and evaluation of archaeological, historical, and paleontological resources, and coordination with applicable Native American representatives, is encouraged, so that these resources are given full consideration during the conceptual design phase of land use planning for project development.</p>	<p>This policy is intended to protect cultural resources and encourage coordination with Native American representatives to ensure proper consideration of these resources.</p>	<p><u>Potentially Consistent</u>. Archaeological surveys at the project site did not identify any archaeological resources. The surveys found no additional factors that would indicate elevated sensitivity at the project site. A Notice of Preparation of an EIR (NOP) was issued prior to July 2015; therefore, Assembly Bill 52 (AB 52) does not apply to the project; however, in April 2018, the County notified and received a comment letter from the Ohlone/Costanoan-Esselen Nation, requesting a tribal monitor during new soil disturbance. Historical resources at the site have been identified and have played a central role in the planning process.</p>
<i>Monterey County Coastal Implementation Plan</i>		
Part 1 Title 20 Zoning Ordinance		
<i>20.54 – HR DISTRICT</i>		
<p>20.54.040 Referral to the Historic Resources Review Board.</p> <p>A. Upon receipt of any application, except those involving archaeological resources, pursuant to Section 20.54.080, a copy of all application materials shall be transmitted to the Secretary of Historic Resources Review Board requesting the review and recommendation of the Historic Resources Review Board.</p> <p>B. The Appropriate Authority shall provide sufficient time, but not less than 30 days from the date of transmittal, to the Historic Resources</p>	<p>This section is intended to protect and preserve historical resources within the Del Monte Forest by requiring project review by the Historic Resources Review Board of a project’s potential impacts on historical resources in the coastal development permit process.</p>	<p><u>Potentially Consistent</u>. The Historic Resources Review Board has been consulted on Code Enforcement cases related to this property, including development of a “mothball plan” to stabilize the structure. The HRRB will be asked for recommendation on this project prior to hearing.</p>

Table 4.3-1. Applicable Local Plans and Policies Relevant to Historic Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Review Board for the review of and recommendation on such applications.</p>		
<p>20.54.080 Regulations.</p> <p>A. Except as otherwise provided, no alteration may be allowed on any area in an "HR" district without the approval of a Coastal Development Permit pursuant to the provisions of Chapter 20.70 of this Title.</p> <p>B. Minor alterations and minor modifications to previously approved projects that do not harm the archaeological or historical resource may be approved without a Coastal Development Permit pursuant to Section 20.54.050B, if a Coastal Development Permit or amendment is not otherwise required pursuant to Chapters 20.70 or 20.76.</p> <p>C. Existing designated structures shall not be subject to the height and setback provisions of the district with which the "HR" district is combined.</p> <p>D. New construction on designated sites shall be subject to the height and setback provisions of the district with which the "HR" district is combined.</p> <p>E. Development proposed on parcels with an identified historic resource shall be designed and located so as to avoid significant adverse impacts on the historic resource.</p> <p>F. Feasible mitigation measures recommended by the Historic Resources Review Board or contained in any required historic or archaeological survey report prepared for the project shall be made conditions of approval.</p> <p>G. As a condition of approval of an application for demolition or alteration of an identified historic resource, rezoning to add an "HR" combining district or to modify an existing "HR" zoning district, shall be required to place only the designated site within the "HR" District.</p> <p>H. Notwithstanding the provisions of the California Government Code, Section 65091 (A)(3), no property shall be placed in the "HR" District without notice to the property owner in accordance with Section 20.84.040 (A)(1) of this Title.</p>	<p>This section is intended to protect and preserve historical resources within the Del Monte Forest by establishing provisions for project review of alterations to historical resources and new construction adjacent to historical resources or within historic districts.</p>	<p><u>Potentially Inconsistent</u>. The proposed project would result in the demolition of a historical resource and replacement with a new single-family residence. The project is not within the officially designated "HR" district, but would be required to obtain a coastal development permit, consistent with this section. The identified historic resource would be demolished and no historic easement adequate to protect the resource would be created, inconsistent with this section.</p>

Table 4.3-1. Applicable Local Plans and Policies Relevant to Historic Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>I. As a condition of approval of an application for demolition or alteration of an identified historic resource, the historic resource shall be placed in an historic easement. The easement shall be adequate to protect the resource.</p>		
<p>20.64.300 – HISTORIC RESOURCES</p>		
<p>20.64.300 Regulations for Historic Resources.</p> <p>A. Purpose: To provide reasonable flexibility of zoning standards to encourage and accommodate the renovation and rehabilitation of historic resources and structures within historic districts.</p> <p>B. Following the provision of notice pursuant to Chapter 20.76 of this Code, the Director of Planning and Building Inspection may grant an exception to the zoning district regulations when such exception is necessary to permit the preservation or restoration of or improvements to a structure designated as historically significant pursuant to the provisions of Chapter 18.85 of this Code. Such exceptions may include, but not limited to, parking, yards, height, and coverage regulations. Such exceptions shall not include approval of uses not otherwise allowed by the zoning district regulations.</p>	<p>This section is intended to protect and retain historical resources through the use of flexible zoning standards for projects involving the retention and rehabilitation of historical resources and contributors within historic districts.</p>	<p><u>Potentially Inconsistent.</u> Proposed project does not include renovating and rehabilitating a historical resource or contributor within a historic district, but would demolish and remove a historical resource, inconsistent with this section’s intended purpose of renovating or rehabilitating historic resources.</p>
<p>County of Monterey General Plan (1982)</p>		
<p>Goals, Objectives, and Policies for Public Services and Facilities</p>		
<p>HISTORIC PRESERVATION</p>		
<p>Goal 52: To designate, protect, preserve, enhance, and perpetuate those structures and areas of historical, architectural, and engineering significance which contribute to the historical heritage of Monterey County and to enhance Monterey County’s historical heritage and diverse cultural background by encouraging the systematic collection and preservation of historic records and artifacts and the promotion of related cultural events.</p>	<p>The intent of this goal is to protect structures and areas of historical, architectural, and engineering significance which contribute to the historical heritage of Monterey County.</p>	<p><u>Potentially Inconsistent.</u> The project would result in the permanent demolition of a historic resource. Although all available mitigation has been identified, identified mitigation would not be sufficient to protect, preserve, or enhance the historic structure.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.3.3 Thresholds of Significance

CEQA directs lead agencies to protect and preserve resources with cultural, historic, scientific, or educational value. The significance of historical resources is based on thresholds identified in accordance with §15064.5 (Determining the Significance of Impacts to Archaeological and Historic Resources) and Appendix G of the State CEQA Guidelines, which provide the following thresholds for determining impact significance with respect to historical resources. A significant impact to historical resources would occur if the project would:

- a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?

The State CEQA Guidelines §15064.5 provides additional guidance regarding the determination of significance of impacts on historical resources. Section 15064.5 provides:

Section 15064.5. Determining the Significance of Impacts to Archaeological and Historical Resources

(a) For purposes of this section, the term “historical resources” shall include the following:

- (1) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code § 5024.1, Title 14 CCR, Section 4850 et seq.).*
- (2) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*
- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency’s determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be “historically significant” if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code § 5024.1, Title 14 CCR, Section 4852) including the following:*
 - (A) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;*

(C) *Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.*

- (3) *Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.*
- (4) *A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.*
- (5) *When a project will affect state-owned historical resources, as described in Public Resources Code Section 5024, and the lead agency is a state agency, the lead agency shall consult with the State Historic Preservation Officer as provided in Public Resources Code Section 5024.5. Consultation should be coordinated in a timely fashion with the preparation of environmental documents.*

4.3.4 Impact Assessment Methodology

The assessment of impacts to historic resources included site inspection and documentation, document review, supplemental research, utilization of the findings of SHPO, and application of the appropriate sections of the State CEQA Guidelines. Site visits to the property were performed on February 24 and April 20, 2015 (exterior and portions of the interior), and August 17, 2015 (from the public right-of-way). The project applicant, Massy Mehdipour, was present during the February 24 and April 20, 2015 visits. Document review encompassed the technical reports and documents cited above (page 4.3-1) as well as numerous studies and correspondence prepared for or submitted to the County and the project Applicant (itemized in Chapter 8 of the EIR, References). Supplemental research focused on the career of Richard Neutra and utilized Internet resources as well as recognized scholarly treatises, including:

- *Richard Neutra and the Search for Modern Architecture* (Hines 1982)
- *Neutra: The Complete Works* (Lamprecht et al. 2010)
- *Richard Neutra* (McCoy 1960)

Identification of historic resources was based on SHPO findings, which were obtained from the OHP Historic Property Directory and SHPO correspondence with the County (February 12 and July 11, 2014), as well as the County-adopted Pebble Beach Historic Context Statement. The application of CEQA to historical resources employed §15064.5 (Determining the

Significance of Impacts to Archeological and Historical Resources) and §15126.4(b) (Mitigation Measures Related Impacts on Historical Resources) of the State CEQA Guidelines.

4.3.4.1 Baseline Conditions

June 13, 2014 is the date the Connell House was determined eligible for listing on the NRHP by the SHPO. Subsequent to that date and prior to release of the NOP, the structure was allowed to deteriorate, and surficial damage was incurred as further described below. After release of the NOP for this project, the existing residence was vandalized and allowed to further deteriorate. This analysis evaluates the level of impact that would result from implementation of the proposed project on historical resources at the time of issuance of the NOP (baseline conditions). It should be noted that, although the historic structure had been allowed to deteriorate since the June 13, 2014, eligibility determination (refer to Appendix C), the level of deterioration would not change the significance or eligibility of the historic resource; therefore, the baseline condition would not be substantially different from the residence's documented condition in June 2014.

Various conditions have changed at the site since the June 2014 eligibility determination (refer to Appendix C), including neglect, vandalism, damage, dereliction, and/or destruction of several components of the Connell House, resulting in various ongoing code enforcement actions that have been initiated by the County Code Enforcement Division. The historic residence is now in disrepair; however, a number of maintenance activities developed in accordance with the standards contained in Preservation Brief No. 31 of the National Park Service have been implemented in accordance with a Stipulated Agreement dated November 16, 2015.~~have been recommended by the Monterey County Historic Resources Review Board (Resolution No. 15CP01861). Specifically, the HRRB approved a measures of the "Mothball Plan" consistent with the standards contained in Preservation Brief No. 31 of the National Park Service. The measures of the "Mothball Plan" are intended to prevent additional structural deterioration, protect the building from sudden loss, weatherize and maintain the building to stop moisture penetration and control humidity levels inside the building. The measures in the "Mothball Plan" have been installed and are being monitored by the Monterey County Building Official. The environmental baseline captures the integrity of the residence as it existed at the time of NOP issuance irrespective of how the recent and ongoing dereliction and restoration recommendations are ultimately implemented and resolved.~~

The County recognizes that additional changes and degradation to the property have occurred since the site's NRHP eligibility listing and the filing of the NOP. However, to ensure the level of environmental impact is not understated as a result of intentional neglect of the historical resources, the established baseline at the time of the NOP will be used to support the analysis of historical resources in the EIR regardless of how ongoing code enforcement actions and restoration recommendations related to the Connell House are ultimately resolved. The residence's existing state of disrepair has been considered in assessing the feasibility of identified mitigation measures, as any mitigation measures would ultimately be implemented in the context of existing conditions.

Figures 4.3-10 through 4.3-13 show the baseline condition of the house. These photographs were taken by SWCA Environmental Consultants staff during field work conducted at the site on February 24, 2015. Additional photographs from February 24, 2015 and reflecting baseline conditions are included in Appendix D.

Figure 4.3-10. West elevation, looking north.



Photo taken February 24, 2015. Source: SWCA.

Figure 4.3-11. South elevation, looking northwest.



Photo taken February 24, 2015. Source: SWCA.

Figure 4.3-12. North elevation, looking southwest.



Photo taken February 24, 2015. Source: SWCA.

Figure 4.3-13. Interior view facing northwest.



Photo taken February 24, 2015. Source: SWCA.

4.3.4.2 Mitigation Measures Related to Impacts on Historical Resources

The feasibility and effectiveness of identified mitigation measures was based on guidance set forth in the State CEQA Guidelines Section 15126.4(b), which provides:

(b) Mitigation Measures Related to Impacts on Historical Resources.

(1) Where maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of the historical resource will be conducted in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer, the project's impact on the historical resource shall generally be considered mitigated below a level of significance and thus is not significant.

(2) In some circumstances, documentation of an historical resource, by way of historic narrative, photographs or architectural drawings, as mitigation for the effects of demolition of the resource will not mitigate the effects to a point where clearly no significant effect on the environment would occur.

(3) Public agencies should, whenever feasible, seek to avoid damaging effects on any historical resource of an archaeological nature. The following factors shall be considered and discussed in an EIR for a project involving such an archaeological site:

(A) Preservation in place is the preferred manner of mitigating impacts to archaeological sites. Preservation in place maintains the relationship between artifacts and the archaeological context. Preservation may also avoid conflict with religious or cultural values of groups associated with the site.

(B) Preservation in place may be accomplished by, but is not limited to, the following:

- 1. Planning construction to avoid archaeological sites;*
- 2. Incorporation of sites within parks, greenspace, or other open space;*
- 3. Covering the archaeological sites with a layer of chemically stable soil before building tennis courts, parking lots, or similar facilities on the site.*
- 4. Deeding the site into a permanent conservation easement.*

(C) When data recovery through excavation is the only feasible mitigation, a data recovery plan, which makes provisions for adequately recovering the scientifically consequential information from and about the historical resource, shall be prepared and adopted prior to any excavation being undertaken. Such studies

shall be deposited with the California Historical Resources Regional Information Center. Archeological sites known to contain human remains shall be treated in accordance with the provisions of Section 7050.5 Health and Safety Code. If an artifact must be removed during project excavation or testing, curation may be an appropriate mitigation.

(D) Data recovery shall not be required for an historical resource if the lead agency determines that testing or studies already completed have adequately recovered the scientifically consequential information from and about the archaeological or historical resource, provided that the determination is documented in the EIR and that the studies are deposited with the California Historical Resources Regional Information Center.

4.3.5 Impact Assessment and Mitigation Measures

There is one identified historical resource located on the project site (the Connell House) and one identified historical resource located in close proximity to the project site (17-Mile Drive). Potential direct and indirect impacts on these resources as a result of the project are discussed below.

4.3.5.1 The Connell House

The Connell House has been the subject of various historical evaluations over the last decade and historians have disagreed about the historical significance of the structure. However, the Connell House was determined eligible for listing in the NRHP on June 13, 2014, and is listed in the CRHR, pursuant to its formal determination of eligibility for the NRHP (CCR §4851(a)(12)) (Roland-Nawi 2014a). Therefore, the Connell House is considered a historical resource per State CEQA Guidelines §15064.5.

The property was determined to be significant for its architecture under Criterion C/1 as “an excellent example of the International Style within the Modern Movement in Pebble Beach, and representative of master architect Richard Neutra’s mid-century residential work” (Kirk and Lamprecht 2014). The Connell House also appears eligible for designation as a historic resource under the Monterey County Historic Preservation Ordinance, Significance Criterion 1.a.iii. According to the Pebble Beach Historic Context Statement adopted by the County Board of Supervisors, the house is “an extremely rare example of an International Style residence in Pebble Beach” (Page & Turnbull 2013), which exhibits nearly all the character-defining features of the International Style, including:

- horizontal emphasis with large sections of unornamented wall surface;
- cantilevered sections of house, roof, and balconies;
- ribbon windows or large expanses of window walls; and,
- stucco cladding.

Designed during Neutra’s most prolific decade, the Connell House clearly articulates Neutra’s mature residential architectural style. Features of Neutra’s style evident in the Connell House, which had earlier helped to define the International Style, and his approach to design include:

- An asymmetrical but balanced design composition and massing;

- Rational design based on modular approach to building elements and spaces;
- Juxtaposition of opaque and transparent planes;
- An emphasis on the horizontal, with strong, geometric volumes, cantilevered roof eaves; and balcony, and use of continuous bands of windows and fenestration;
- The careful integration of the building within the site’s features and topography;
- Orientation of the houses living spaces to the remarkable view;
- The incorporation of generous expanses of windows, and butted window joints at corners, to integrate exterior and interior;
- The provision of associated exterior spaces, accessible through the window walls, to further integrate exterior and interior;
- Expansive, unadorned wall surfaces, with smooth stucco cladding;
- Lack of historicizing ornament or decoration; and,
- Sensitivity to the client’s program and lifestyle.

The proposed project would demolish the Connell House, a historical resource listed in the CRHR, including all the physical characteristics that convey its historical significance and that justify its inclusion in the CRHR. According to §15064.5(b) of the State CEQA Guidelines, the project would “materially impair” the significance of the Connell House, resulting in a substantial adverse change in the significance of a historical resource, which is a significant environmental effect. CEQA requires that even where a significant and unavoidable adverse impact would occur, all feasible mitigation measures shall be required to lessen the severity of the significant impact. The following mitigation measures are designed to accomplish a lessening of severity of the significant impact identified above.

HR Impact 1	
The project would demolish the Connell House, a significant historical resource, resulting in a significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
HR/mm-1.1	<i>Prior to issuance of the demolition, grading, or construction permits and subsequent to repair and restoration of ongoing vandalism and degradation, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department for review and approval a recordation of the Connell House per the most recent guidelines of the Historic American Buildings Survey (HABS). Where baseline conditions are no longer in existence and have not been repaired, original features and materials shall be restored, with the use of documentary evidence, in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. The documentation package shall include measured drawings; written and oral histories, including historic context and statement of significance; written architectural description; bibliographic materials; large-format, black-and-white photographs; and relevant related information. The original documentation shall be submitted to the HABS office in Washington, D.C., for deposit in the Library of Congress. Copies of the documentation package shall be offered to the Pebble Beach Company Lagorio Archives; Monterey Public Library (California Room); Monterey County Historical Society; Richard Neutra archives at the UCLA Charles E. Young Research Library, Syracuse University Library, and Columbia University</i>

HR Impact 1	
<i>Avery Architectural and Fine Arts Library; and NWIC at Sonoma State University, Rohnert Park.</i>	
<i>An individual or team meeting the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61) shall be retained to oversee the return of the property to baseline conditions in accordance with the Secretary of the Interior's Standards and to prepare the HABS materials. In the event that restoration is not possible, recordation shall still be required in accordance with the Secretary of the Interior's Standards to the greatest extent feasible.</i>	
<i>HR/mma-1.1.1</i>	<i>Prior to issuance of the demolition, grading, or construction permits, the applicant shall submit a recordation of the Connell House per the most recent guidelines of the HABS to the County of Monterey Resource Management Agency – Planning Department to demonstrate compliance with this measure.</i>
<i>HR/mm-1.2</i>	<p><i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit for review and approval to the County of Monterey Resource Management Agency – Planning Department, and a designated host organization (e.g., Monterey County Historical Society or Pebble Beach Company), electronic information in a web-based format for use in creating a web page documenting the Connell House. Prior to starting the gathering of this information, the applicant shall work with a qualified professional to create a scope of work for the educational materials to be developed, and the scope of work shall be provided to the Monterey County Historic Resources Review Board for review and approval. The web page shall document the house, its history, and features, at baseline conditions. The web page shall include, but not be limited to, a video tour of the Connell House to be completed prior to any demolition; photographs; architectural drawings; current and historic photographs; and background material such as oral histories with individuals with knowledge of the Connell House.</i></p> <p><i>An individual or team meeting the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61) shall be retained to prepare the web page content. The web page shall be operational no later than 1 year following issuance of project permits.</i></p>
<i>HR/mma-1.2.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit educational information documenting the Connell House to the County of Monterey Resource Management Agency – Planning Department for incorporation into a web page documenting the Connell House.</i>
Residual Impacts	
<p>Demolition of an historical resource is irreversible and historical resources are irreplaceable. Demolition of the Connell House would permanently remove from the community of Pebble Beach a rare and well-articulated example of the residential use of the American International Style and the community's only example of the work of master architect Richard Neutra. CEQA provides that, "in some circumstances, documentation of an historical resource...as mitigation for the effects of demolition of the resource will not mitigate the effects to a point where clearly no significant effect on the environment would occur" (State CEQA Guidelines §15126.4(b)(2)). Implementation of mitigation measures HR/mm-1.1 and HR/mm-1.2 would reduce but not eliminate the adverse impacts of the proposed project. Therefore, residual impacts would be <i>significant and unavoidable</i>.</p>	

Infeasible Mitigation

In documentation submitted by the Applicant as part of the EIR administrative record, the Applicant asserts that in order to fully evaluate all mitigation scenarios and options applicable to the proposed project and demolition of the Connell House, the EIR must consider the "mitigation" option of replacing the Connell House with a residence designed by another architect of some measure of acclaim. The Applicant believes that replacement of the historic residence with another notable architect's work would compensate of the loss of the historic

structure. The following discussion explains why replacement of the Connell House by a residence designed by another notable architect (Ricardo Legorreta) does not constitute mitigation that can be considered in this EIR to reduce significant and unavoidable impacts to the Connell House.

The proposed project would replace the Connell House, designed by Richard Neutra in 1957–1958, by a new home designed by Legorreta + Legorreta in 2011. It has been stated by the project Applicant that the construction of a new single-family dwelling designed by renowned Mexican architect Ricardo Legorreta would compensate for the loss of the Neutra-designed home to the extent that effects on historic resources would be mitigated and reduced to a level of insignificance. The following discussion identifies the reasons the “Legorreta design mitigation” proposed by the Applicant is considered infeasible and cannot be implemented to minimize impacts to a less than significant level.

Historical resources under CEQA are defined by inclusion in the CRHR, a local register, or eligibility for the same. According to OHP, the significance of a potential historical resource cannot be evaluated until sufficient time has elapsed for a scholarly understanding of its historic context (e.g., as has been the case for the Connell House). The proposed project has not yet been constructed nor its design realized; therefore, its historic context and associated period of significance is not yet defined. It is impossible to analyze the potential historical significance of the Legorreta design in the absence of any defined historic context.

If, as hypothesized by the Applicant, the proposed project is significant for its design by Ricardo Legorreta, or the firm Legorreta + Legorreta (whose name is listed on the plans), or Bill Bernstein, AIA, of Bernstein Zubieta Architects (who now appears to have taken responsibility for handling architectural planning for the proposed residence and whose name is also listed on project plans), a finding of significance under Criterion C (a resource that “embodies the distinctive characteristics of a type, period or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction”), would require the consideration of several issues on which there is currently inadequate information to analyze, as further described below.

It is unclear what significance this design has in the career of Ricardo Legorreta or the Legorreta + Legorreta firm (with assistance from Bernstein Zubieta), which is still in practice. The NPS, in *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation*, states that “A property is not eligible as the work of a master [architect], however, simply because it was designed by a prominent architect.” The Bulletin explains that “The property must express a particular phase in the development of the master’s career, an aspect of his or her work, or a particular idea or theme in his or her craft.”

It is unknown how the proposed (unbuilt) project may express the career of Ricardo Legorreta or the firm of Legorreta + Legorreta. Additionally, it is unknown how much of the design can actually be attributed to Ricardo Legorreta, who passed away December 30, 2011. The extent to which the built project, which may have undergone design revision(s) since 2011 and may also be revised as a result of the entitlement process or during construction, reflects Legorreta’s design and philosophy is also unknown.

Richard Neutra’s status as a master architect and his contributions to 20th century architecture are undisputed. Legorreta’s legacy is not defined and his ultimate place in architecture is yet to be determined. Ricardo Legorreta’s reputation and fame were established well before his son

Victor Legorreta joined the firm. The significance of the Legorreta + Legorreta firm is currently unknown.

From a regulatory standpoint under CEQA, the only provision specifically addressing mitigation of adverse impacts to historical (non-archaeological) resources to a less than significant level is the use of the Secretary of the Interior's Standards for the Treatment of Historic Properties. The Applicant-proposed mitigation scenario outlined above does not meet this standard and was further rejected as infeasible because there is no known precedent under CEQA for mitigation of significant impacts resulting from demolition of a historical resource by the construction of another resource of undetermined historical value and a different, as yet undefined, historic context and period of significance. Therefore, the above Applicant-proposed mitigation scenario was thoroughly considered but deemed infeasible/inadequate in minimizing impacts.

4.3.5.2 17-Mile Drive

The proposed project is adjacent to, and would be seen from, 17-Mile Drive, an eligible historical resource. The following section addresses potential indirect impacts to the character-defining features and historic integrity and significance of 17-Mile Drive.

Pebble Beach Historic Context Statement identified 17-Mile Drive as a cultural landscape:

“As a deliberately designed scenic drive, 17-Mile Drive clearly meets the definition of a historic designed landscape [a type of cultural landscape]. It is also one of the oldest and [most] readily-identifiable features of the Pebble Beach area. Preliminary research conducted for this report appears to indicate that some segments of the Drive—notably the scenic coastal section north of Cypress Point—retain historic integrity and may be good candidates for historic registration.” (Kirk and Lamprecht 2014)

A historic designed landscape is defined as “a landscape that has significance as a design or a work of art; was consciously designed and laid out by a master gardener, landscape architect, architect, or horticulturalist to a design principle, or an owner or other amateur using a recognized style or tradition in response or reaction to a recognized style or tradition; has a significant historical association with a significant person, trend, event, etc. in landscape gardening or landscape architecture; or a significant relationship to the theory or practice of landscape architecture” (NPS N.d.:2). Many historic landscapes are also significant for their association with important historic events, trends, or people.

The NRHP recognizes several types of historic designed landscapes, including “parkways, drives, and trails” (NPS N.d.:2–3). Character-defining features of a historic designed landscape may include existing topography and grading; natural features and land uses; circulation system of roads, paths, trails, etc.; spatial relationships and orientations such as symmetry, asymmetry, and axial alignment; views and vistas into and out of the landscape; vegetation; landscape dividers such as walls, fences, and hedges; drainage and engineering structures; site furnishings and small scale elements such as benches, planters, and urns; bodies of water such as pools, fountains, lakes, streams, and cascades; lighting; signs delineating entrances, street names, and other features; buildings such as houses, barns, dormitories, or hospitals that may be contained within the landscape; structures such as bridges, roads, and dams; and sculpture and other works of art (NPS N.d.:3–4).

As described in the Pebble Beach Historic Context Statement (Page & Turnbull 2013), 17-Mile Drive was consciously and deliberately designed and laid out by PIC and its successor, the Del Monte Properties Company, with the assistance of noted landscape architects such as Mark Daniels, using naturalistic principles of landscape design. While a complete survey of 17-Mile Drive to determine if it would be an eligible historical resource in its entirety or only in portions has not yet been undertaken, the primary character-defining features of 17-Mile Drive can be identified:

- its meandering route, that takes into account topography and the coastline;
- vistas and overlooks accessed from the street;
- native and designed vegetation;
- notable and natural landmarks and features, such as the Lone Cypress and the rocky shoreline; and,
- associated open space, much of it in the form of golf courses.

The proposed project site is located above and set back from 17-Mile Drive. Although clearly visible from 17-Mile Drive, especially from Fanshell Beach and the Fanshell Overlook, the proposed project would be sufficiently removed from 17-Mile Drive to avoid any potential significant indirect adverse impacts on the character-defining features of the resource. Because of its location, the project would not physically affect any aspect of 17-Mile Drive. However, the proposed project would have a larger footprint and taller profile than the existing Connell House. The surrounding dunes and vegetation that provide the backdrop for the project site as seen from 17-Mile Drive would still be visible; however, the scale and massing of the new residence and its height above the existing Connell House would alter views from nearby vantage points on 17-Mile Drive.

Under CEQA, an adverse impact occurs when the significance of a historical resource is significantly impaired through demolition or alteration of the features that convey the resource's historic character and importance. The proposed project would affect limited views from a small segment of 17-Mile Drive, and would be largely consistent with adjacent large-scale single-family residential development along 17-Mile Drive. The vast majority of 17-Mile Drive's character-defining features would remain intact and the historical significance of 17-Mile Drive would not be indirectly impaired. Therefore, implementation of the proposed project would have a *less than significant* impact on this historical resource and no mitigation is necessary.

4.3.6 Cumulative Impacts

Pursuant to State CEQA Guidelines §15130(a), the EIR “shall discuss cumulative impacts of a project when the project's incremental effect is cumulatively considerable, as defined in Section 15065(a)(3).” The analysis of cumulative impacts relates to whether impacts of the proposed project and future related projects, considered together, might substantially impact/diminish the number of similar historic resources, in terms of context or property type.

The Connell House is significant for its embodiment of the American International Style and for its association with master architect Richard Neutra. No other houses in Pebble Beach are significant for this combination of reasons. Neutra's practice, while international in scope, was primarily centered in southern California, where he maintained his office for the majority of his productive life. It is estimated, that of the approximately 289 built commissions of his career, less than 20 were located in northern California. These estimates are based on counts of

buildings itemized in the monograph by Thomas S. Hines, *Richard Neutra and the Search for Modern Architecture* (Hines 1982). Seventeen northern California houses and duplexes, located in San Francisco, Berkeley, Los Altos, Hillsborough, Atherton, El Cerrito, Orinda, Pebble Beach, and Monterey, were discussed or listed in “The Buildings.” It is unknown how many of these houses still exist or retain their architectural integrity. It is also unknown if any of the northern California Neutra buildings are being considered for demolition or alteration by currently proposed projects. Clearly, demolition or alteration such that their significance is impaired of any one of the surviving northern California Neutra homes would contribute to cumulative impacts on historical resources.

Within the broader context of Neutra’s overall career, there have been several notable demolitions, including the Joseph von Sternberg House (1935, Northridge, California), demolished in 1971, and more recently, the Maslon House (1963, Rancho Mirage, California), demolished in 2002. When the Gettysburg Cyclorama Building (1959–1962), a non-residential structure designed by Neutra in partnership with Robert Alexander, was slated for demolition, notice was taken in the national press (Owens 2012). Demolition of the Maslon House generated an international outcry, as did recent threats to Neutra’s Kronish House in Beverly Hills (recently rehabilitated). Given the significance and rarity of the resource (as one of very few remaining commissions of a master architect in Monterey County and northern California), as well as the recent losses of Neutra commissions throughout the United States, the loss of the Connell House would result in a *significant* contribution to a cumulative impact on historical resources within Neutra’s architectural oeuvre.

Although the 2013 Page & Turnbull Pebble Beach Historic Context Statement identifies six historic periods, including “Pebble Beach Post-War: 1946–1969” (a time period which clearly encompasses the 1958 construction of the Neutra-designed Connell House), the Historic Context Statement assigns a distinct and separate significance to the historic period “Samuel Morse and the Del Monte Properties Company (1919–1945).” This 25-year period is marked by the direct, personal leadership of Samuel F. B. Morse, as both founder and policymaker for the Del Monte Properties Company. In that respect, the Historic Context Statement is proscriptive about built environment resources constructed in the Pebble Beach area, both before and after the 1919–1945 bracket, which must be regarded as the intended period of significance for Pebble Beach as a Del Monte Properties entity. Outside of that bracket of time, significant resources may still be found eligible, but on different merits—perhaps as aboveground historical archaeological resources, as engineering structures linked to the development of the Monterey Peninsula as a whole, or as individual examples of the work of significant architects, landscape architects, or planners.

The Connell House, then, is an example of an architectural resource that lies outside the Pebble Beach period of significance, yet expresses another kind of significance (and another period of significance) for its connection to master architect Richard Neutra, for its place in his oeuvre, and for its place in the International Style movement in the West. This isolation of Neutra’s work from the Morse-era Pebble Beach context does not, therefore, represent a diminution of the Connell House, but, rather, clarifies its importance by placing it in its own appropriate historical context.

As a result, there is no potential for the project to result in a cumulative impact to Pebble Beach architectural resources constructed in the 1919–1945 period of significance.

HR Impact 2
Impacts to historical resources caused by destruction of the Connell House would be cumulatively considerable when considered in conjunction with other recent losses of Neutra commissions throughout the United States, resulting in a significant cumulative impact.
<i>Mitigation Measures</i>
<i>Implement HR/mm-1.1, HR/mma-1.1.1, HR/mm-1.2, and HR/mma-1.2.1.</i>
<i>Residual Impacts</i>
Implementation of the recommended mitigation measures would reduce the level of cumulative impact, but not to a level of insignificance. Residual cumulative impacts would be <i>significant and unavoidable</i> .

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4.4 ARCHAEOLOGICAL RESOURCES

This section summarizes the results of the archaeological resources studies conducted for the project. The information in this section is largely based on the following technical reports and documents:

- *Preliminary Archaeological Reconnaissance of Assessor's Parcel 008-261-007, Pebble Beach, Monterey County, California* (Archaeological Consulting 2010)
- *Updated Preliminary Cultural Resources Reconnaissance of Assessor's Parcel 008-261-007, in the Del Monte Forest, Monterey County, PLN100338* (Morley 2015)

Additional references are provided in Chapter 8 of the EIR.

4.4.1 Existing Conditions

4.4.1.1 Regional Setting

The project area lies within the currently recognized ethnographic territory of the Costanoan (often called Ohlone) linguistic group. The Rumsen group of the Ohlone are believed to have inhabited the Del Monte Forest area since 500 A.D. or earlier. The Rumsen were hunter-gathers who relied heavily on the native flora and fauna for survival. The group followed a general hunting and gathering subsistence pattern with partial dependence on the natural acorn crop. Some forms of resource management akin to agriculture were used by the Ohlone, including pruning and re-seeding plants. Controlled burns were also carried out to promote seed growth and to increase grazing area for deer, elk, and antelope.

The Del Monte Forest area shoreline contains numerous archaeological sites, which, along with several known upland sites, represent several periods of occupation. The Costanoan had both permanent village locations and seasonal camps to take advantage of the diverse terrain along the central coast. Costanoan habitation is considered to have been semi-sedentary and occupation sites are most often located at the confluence of streams, other areas of similar topography along streams, or in the vicinity of springs. These original sources of water may no longer be present. Resource gathering and processing areas and associated temporary campsites are also frequently found near the coast and in other locations containing resources utilized by the group. Factors that may influence the locations of these sites include the presence of suitable exposures of rock for bedrock mortars or other milling activities, the presence of specific resources (oak groves, marshes, quarries, game trails, trade routes, etc.), proximity to water, and the availability of shelter. Temporary camps or other activity areas can also be found along ridges or other travel corridors (Archaeological Consulting 2010).

4.4.1.2 Site-Specific Setting

The project site is identified as an area of high archaeological sensitivity in the Monterey County General Plan (County of Monterey 2010). Two separate cultural resources studies have been conducted at the project site to address the site's potential to contain archaeological resources. Neither study identified the presence of prehistoric or historic-era archaeological resources within or adjacent to the project site (Archaeological Consulting 2010; Morley 2015). However, archival research conducted at the NWIC of the CHRIS, located at Sonoma State University, Rohnert Park, identified the presence of one previously identified prehistoric archaeological site (CA-MNT-157) within close proximity (approximately 250 feet) of the project site (Archaeological Consulting 2010; Morley 2015).

CA-MNT-157 was first documented in the 1950s as a lithic and faunal scatter containing abundant stone tools and human remains (Archaeological Consulting 2010; Morley 2015). Based on the Updated Preliminary Cultural Resources Reconnaissance of the project site (Morley 2015), CA-MNT-157 is situated at an elevation of 25 feet above msl, while the project site is at an elevation of approximately 70–110 feet above msl on a different landform. Although in close proximity, there is no evidence that CA-MNT-157 extends into proposed project area (Morley 2015). Neither study revealed additional factors (aside from the presence of CA-MNT-157 in close proximity) to suggest that the project site has an elevated sensitivity for the presence of buried archaeological resources.

4.4.2 Regulatory Setting

This regulatory framework section identifies the federal, state, and local laws, statutes, guidelines, and regulations that govern the identification and treatment of cultural resources as well as the analysis of potential impacts to cultural (archaeological) resources.

4.4.2.1 Federal Regulations

National Historic Preservation Act of 1966

Significant archaeological and built environment resources are protected by the NHPA. NHPA §106 states that if a federal agency is involved in a proposed project through initiation, funding, and/or issuance of permits, the agency is required to consult with SHPO.

When a cultural resource is reported to SHPO, further study and/or preparation of a mitigation and monitoring plan may be required and the resource may be listed in the NRHP. The NRHP is an inventory of the historic resources of the United States and is maintained by NPS. The inventory includes buildings, structures, objects, sites, districts, and archeological resources.

NHPA §106 (16 United States Code [U.S.C.] 470f) requires federal agencies to take into account the effects of their undertakings on any site, structure or object that is included in or eligible for inclusion in the NRHP and to afford ACHP a reasonable opportunity to comment on such undertakings (36 CFR 800.1). Under §106, the significance of any adversely affected cultural resource is assessed and mitigation measures are proposed to reduce any impacts to an acceptable level.

Cultural resources are considered during federal undertakings chiefly under §106 of the NHPA through one of its implementing regulations, 36 CFR 800 (Protection of Historic Properties), as well as the NEPA of 1969. Properties of traditional religious and cultural importance to Native Americans are considered under §101(d)(6)(A) of NHPA. Other relevant federal laws include the Archaeological Data Preservation Act of 1974, American Indian Religious Freedom Act of 1978, Archaeological Resources Protection Act of 1979, and Native American Graves Protection and Repatriation Act of 1989, among others.

4.4.2.2 State Regulations

The State of California has formulated laws for the protection and preservation of historic and archaeological resources. Generally, a cultural resource shall be considered to be "historically significant" if the resource meets the criteria for listing on the CRHR (PRC §5024.1, 14 CCR §4852) including the following:

- Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;

- Is associated with the lives of persons important in our past;
- Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or,
- Has yielded, or may be likely to yield, information important in prehistory or history.

The fact that a resource is not listed in, or determined to be eligible for listing in the CRHR, not included in a local register of historical resources (pursuant to PRC §5020.1(k)), or identified in an historical resources survey (meeting the criteria in PRC §5024.1(g)) does not preclude a lead agency from determining that the resource may be an historical resource as defined in PRC §§5020.1(j) or 5024.1.

If the project may cause damage to a significant archaeological resource, the project may have a significant effect on the environment. CEQA §15064.5 pertains to the determination of the significance of impacts to archaeological and historic resources, and provides guidelines for administering to archaeological resources that may be adversely affected by project development in §151226.4. Achieving CEQA compliance with regard to treatment of impacts to significant cultural resources requires that a mitigation plan be developed for the resource(s). Preservation in place is the preferred manner of mitigating impacts to archaeological resources.

4.4.2.3 Applicable State, Regional, and Local Plans and Policies Relevant to Archaeological Resources

Table 4.4-1 lists applicable state, regional, and local land use policies and regulations pertaining to archaeological resources that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented above in Section 4.4.2, Regulatory Setting, above, and in Chapter 3, Environmental Setting. Also included in Table 4.4-1 is an analysis of project consistency with identified policies and regulations. Where the analysis concludes the proposed project would potentially conflict with the applicable policy or regulation, the reader is referred to Section 4.4.5, Impact Assessment and Mitigation Measures, for additional discussion.

Table 4.4-1. Applicable Local Plans and Policies Relevant to Archaeological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest Land Use Plan Key Policies		
<p>Cultural Resources: The Del Monte Forest's cultural resources shall be maintained, preserved, and protected for their scientific and cultural heritage values. New land uses and development shall be considered compatible with this objective only when they incorporate site planning and design features necessary to avoid impacts to cultural resources, and where impacts are unavoidable they shall be minimized and reasonably mitigated.</p>	<p>The purpose of this policy is to protect cultural resources within the Del Monte Forest through site planning and design measures to avoid or minimize impacts.</p>	<p><u>Potentially Consistent.</u> Surveys at the project site did not identify any cultural resources. <u>Mitigation has been identified</u>, including archaeological monitoring during ground disturbing activities, to reduce the potential for adverse impacts on unknown archaeological resources, consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
Resource Management Element		
<i>CULTURAL RESOURCES</i>		
<p>Policy 57. The timely identification and evaluation of archaeological, historical, and paleontological resources, and coordination with applicable Native American representatives, is encouraged, so that these resources are given full consideration during the conceptual design phase of land use planning for project development.</p>	<p>This policy is intended to protect cultural resources and encourage coordination with Native American representatives to ensure proper consideration of these resources.</p>	<p><u>Potentially Consistent.</u> Archaeological surveys at the project site did not identify any archaeological resources. The surveys found no additional factors that would indicate elevated sensitivity at the project site. The NOP for the project was issued prior to implementation of AB 52; however, the County notified affiliated tribes and in April 2018 the County received a comment letter from the Ohlone/Costanoan-Esselen Nation, consistent with this policy.</p>
<p>Policy 58. Whenever development is proposed, it shall be determined whether the affected property has received an archaeological survey. If not, such a survey shall be conducted to determine if archaeological resources exist. The survey should describe the sensitivity of the site and make appropriate recommendations concerning needed protection</p>	<p>This policy is intended to identify and protect archaeological resources at the time development activity is proposed.</p>	<p><u>Potentially Consistent.</u> Archaeological surveys at the project site did not identify any archaeological resources. The surveys found no additional factors that would indicate elevated sensitivity at</p>

Table 4.4-1. Applicable Local Plans and Policies Relevant to Archaeological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>of the resource. If the development activity is subject to environmental review, this policy may be satisfied in conjunction with environmental review.</p>		<p>the project site.</p>
<p>Policy 59. Where significant archaeological resources are identified, all available measures including dedication of open space conservation or scenic easements and purchase of development rights shall be considered to avoid development on significant archaeological sites.</p>	<p>This policy is intended to protect significant known archaeological resources through all available measures.</p>	<p><u>Potentially Consistent.</u> Archaeological surveys at the project site did not identify any archaeological resources. The surveys found no additional factors that would indicate elevated sensitivity at the project site. <u>Mitigation has been identified</u> (AR/mm-1.3), including archaeological monitoring during ground disturbing activities, to reduce the potential for adverse impacts on unknown archaeological resources, consistent with this policy. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p><i>Monterey County Coastal Implementation Plan</i></p>		
<p>Part 5 Regulations for Development in the Del Monte Forest Plan Area (Chapter 20.147)</p>		
<p>20.147.080 Cultural Resources A. Coastal Development Permit Requirements 1. Notwithstanding any coastal development permit exemptions that may otherwise apply, development proposed within 750 feet of a known archaeological resource, as identified through the survey report or as shown on current County resource maps or other available information, shall be required to obtain a Coastal Development Permit.</p>	<p>This section is intended to protect and preserve cultural resources within the Del Monte Forest by requiring consideration of a project’s potential impacts on cultural resources in the coastal development permit process.</p>	<p><u>Potentially Consistent.</u> The project application includes a Coastal Development permit, consistent with this section.</p>
<p>20.147.080 Cultural Resources B. Archaeological Report Requirements 1. The timely identification and evaluation of archaeological, historical, and paleontological resources, and coordination</p>	<p>This section is intended to protect cultural resources through the identification of standards for the preparation of archaeological reports.</p>	<p><u>Potentially Consistent.</u> Archaeological surveys at the project site did not identify any archaeological resources. The surveys found no additional factors that would indicate elevated sensitivity at</p>

Table 4.4-1. Applicable Local Plans and Policies Relevant to Archaeological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>with applicable Native American representatives, is encouraged, so that these resources are given full consideration during the conceptual design phase of land use planning for project development. An archaeological survey report shall be required for all development within a known or potential archaeological resource area.</p> <ol style="list-style-type: none"> 2. The archaeological report shall be required by, submitted to and approved by the County prior to the application being considered complete. The manner (electronic versus hard copy, number of copies, etc.) said Plan is to be submitted shall be determined by the Planning Department. 3. The archaeological report shall be prepared, at the applicants' expense, by a qualified archaeologist, as included on the County's list of archaeological consultants. 4. The archaeological report shall be prepared according to the report standards of the Register of Professional Archaeologists and must include, at a minimum, a field survey by the archaeologists, survey of available State resource information at the Northwest Regional Information Center of the California Archaeological Inventory, description of the site's sensitivity and any identified archaeological resources, site planning and design features necessary to avoid impacts to cultural resources and to minimize unavoidable impacts, appropriate levels of development for the site, results of coordination with applicable Native American representatives, appropriate recommendations concerning needed protection of the resource, and recommended mitigation measures for unavoidable impacts. The report may be required to include additional information according to the circumstances of the particular site. 5. The archaeological report requirement may be waived under the following circumstances: <ol style="list-style-type: none"> (a) a previous report was prepared for the site by a qualified archaeologist, as included on the County's list of archaeological consultants; 		<p>the project site. The NOP for the project was issued prior to AB 52; however, the County notified affiliated Native American groups and in April 2018 the County received a comment letter from the Ohlone/Costanoan-Esselen Nation and consulted with the tribe consistent with this policy.</p>

Table 4.4-1. Applicable Local Plans and Policies Relevant to Archaeological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>(b) the previous report meets all of the above identified archaeological report criteria; and</p> <p>(c) the previous report clearly and adequately included the currently proposed development site within the scope of the survey.</p>		
<p>20.147.080 Cultural Resources</p> <p>C. Development Standards</p> <ol style="list-style-type: none"> 1. When developments are permitted on parcels where archaeological or other cultural resource sites are located, project design shall be required which avoids or mitigates impacts to such sites. Where the site has religious significance, emphasis shall be placed on preserving the entire site. Where the site is of known regional significance, consideration shall be given to nominating the site to the National Register, and preserving it. 2. Where significant archaeological resources are identified, all available measures including dedication of open space conservation or scenic easements and purchase of development rights shall be considered to avoid development on significant archaeological sites. 3. Development on parcels with an archaeological site and/or archaeological resources, including as identified through an archaeological report prepared for the site, shall be subject to the following conditions of approval to be completed prior to issuance of building or grading permits: <ol style="list-style-type: none"> (a) The recommended mitigation measures contained in the archaeological survey report prepared for the site shall be made conditions of approval. (b) The applicant shall request a rezoning of the parcel to add an "HR" (Historical or Archaeological Resources) zoning district to the existing zoning of the parcel. The rezoning shall not necessitate an amendment to the Land Use Plan or this ordinance. (c) The archaeological site and/or area of archaeological resources shall be placed in conservation easement. 	<p>This section is intended to protect cultural resources through implementation of mitigating project design and development standards.</p>	<p><u>Potentially Consistent</u>. The proposed residence would be predominantly located within areas of previous disturbance, with reduced potential for archaeological resources. Archaeological surveys at the project site did not identify any archaeological resources. <u>Mitigation has been identified</u>, including archaeological monitoring during ground disturbing activities, to reduce the potential for adverse impacts on unknown archaeological resources, consistent with this section. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>

Table 4.4-1. Applicable Local Plans and Policies Relevant to Archaeological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>The easement shall be required pursuant to Section 20.64.280. Prior to being accepted by the County, the proposed easement area shall be reviewed and verified as adequate to protect the resource by an archaeologist who has been selected from the County's list of archaeological consultants.</p> <p>4. When sufficient planning flexibility does not permit avoiding construction on archaeological or other types of cultural sites, adequate preservation measures shall be required. Preservation and mitigation measures shall be designed by a qualified archaeologist in accordance with current accepted guidelines, including those of the Register of Professional Archaeologists.</p> <p>5. Unauthorized collecting of archaeological, historical, and paleontological artifacts is prohibited.</p> <p>6. Public access to, or over, known archaeological or paleontological sites shall be sited and designed to appropriately protect such resources.</p> <p>7. Prior to approval of any proposed development seaward of 17 Mile Drive at Pescadero Point (Assessor's Parcel Numbers 008-451-009-000 and 008-451-010-000, as of August, 2011), further archaeological review shall be required and mitigation measures adequate to protect the site's archaeological resource shall be developed and implemented.</p>		
County of Monterey General Plan (1982)		
Goals, Objectives, and Policies for Natural Resources		
ARCHAEOLOGICAL RESOURCES		
<p>Goal 12: To encourage the conservation and identification of the county's archaeological resources</p>	<p>The intent of this goal is to protect the county's archaeological resources.</p>	<p><u>Potentially Consistent</u>. Archaeological surveys at the project site did not identify any archaeological resources. <u>Mitigation has been identified</u>, including archaeological monitoring during ground disturbing activities, to reduce the</p>

Table 4.4-1. Applicable Local Plans and Policies Relevant to Archaeological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 12.1.2 The Archaeological Sensitivity Zones map shall be used, along with whatever other data is appropriate, to evaluate whether archaeological resources are threatened by proposed development projects. The map shall be updated continuously as new data becomes available and shall have an appropriate review in five years.</p>	<p>The intent of this policy is to protect archaeological resources from impacts associated with development in archaeological sensitivity zones.</p>	<p>potential for adverse impacts on unknown archaeological resources. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 12.1.3 All proposed development, including land divisions, within high sensitivity zones shall require an archaeological field inspection prior to project approval.</p>	<p>The intent of this policy is to protect archaeological resources from impacts associated with development in archaeological sensitivity zones.</p>	<p><u>Potentially Consistent</u>. The project site is located within a “High” Archaeological Sensitivity Zone. Archaeological surveys at the project site did not identify any archaeological resources and found no additional factors that would indicate elevated sensitivity at the project site.</p>
<p>Policy 12.1.6 When development could adversely affect archaeological resources, reasonable mitigation procedures shall be required prior to project approval.</p>	<p>The intent of this policy is to protect archaeological resources for impacts associated with development.</p>	<p><u>Potentially Consistent</u>. Archaeological surveys at the project site did not identify any archaeological resources. <u>Mitigation has been identified</u>, including archaeological monitoring during ground disturbing activities, to reduce the potential for adverse impacts on unknown archaeological resources. <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this policy.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.4.3 Thresholds of Significance

CEQA directs lead agencies to protect and preserve resources with cultural, historic, scientific, or educational value. The significance of cultural resources are based on thresholds identified in accordance with Section 15064.5 (Determining the Significance of Impacts to Archaeological and Historic Resources) and Appendix G of the State CEQA Guidelines, which provide the following thresholds for determining impact significance with respect to archaeological resources. A significant impact to archaeological resources would occur if the project would:

- b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?

- d) Disturb any human remains, including those interred outside of formal cemeteries?

A substantial adverse change in the significance of a historical resource would occur if the project results in the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of the historical resources would be materially impaired.

4.4.4 Impact Assessment Methodology

The assessment of impacts to archaeological resources was based on the results of the previously prepared cultural resources studies, including the studies' conclusions and recommendations (prepared by a qualified cultural resources consultant), and independent research and analysis.

In addition to a search of the NWIC's archives, the following sources of information, along with official maps and records were consulted:

- National Register of Historic Places – Listed Properties (2015)
- California Register of Historical Resources (2015)
- California Inventory of Historical Resources (1976)
- California State Historical Landmarks (1996 and updates)
- California Points of Historical Interest (1992 and updates)
- OHP Historic Property Directory and Determinations of Eligibility (2011)
- Native American Heritage Commission Sacred Lands File

4.4.5 Impact Assessment and Mitigation Measures

4.4.5.1 Archaeological Resources

Inadvertent Discovery of Unknown Archaeological Resources

No known archaeological resources are present within the project site; however, there is always a potential for disturbance of unknown resources. The site is located in close proximity to a known prehistoric archaeological site and in an area identified as having a high potential for archaeological resources in the 2010 Monterey County General Plan. The project would include earth disturbance, construction activities, and or vegetation removal and dune restoration over the entire 2.22-acre project area. Potential project specific impacts include direct and indirect impacts to unknown archaeological resources.

Direct impacts would include damage or destruction of archaeological resources as a result of earth disturbance and land modification directly caused by the construction of the new residence. Indirect impacts include disturbance of an archaeological resource due to erosion, vibration, unauthorized artifact collecting, and vandalism during project construction.

Although no known archaeological resources are present within the project site, proposed mitigation measures have been identified to minimize the potential for impacts related to the inadvertent discovery of archaeological resources during project related ground disturbance and vegetation removal activities due to the sensitive archaeological project setting.

AR Impact 1	
Ground disturbance (e.g., grading, excavation, vegetation removal, dune rehabilitation activities) associated with the project could result in the disturbance and destruction of unknown archeological resources, resulting in a significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
AR/mm-1.1	<p><i>Prior to commencement of any demolition, site grading, or vegetation removal activities, the applicant shall verify that all contractors/employees involved in ground disturbing and vegetation removal activities have received training from a qualified archaeologist. The training shall address the following issues:</i></p> <ul style="list-style-type: none"> a. <i>Review the types of archaeological artifacts and resources that may be uncovered;</i> b. <i>Provide examples of common archaeological artifacts and resources to examine;</i> c. <i>Review what makes an archaeological resource significant to archaeologists, and local Native Americans;</i> d. <i>Describe procedures for notifying involved or interested parties in case of a new discovery;</i> e. <i>Describe reporting requirements and responsibilities of construction personnel;</i> f. <i>Review procedures that shall be used to record, evaluate, and mitigate new discoveries; and,</i> g. <i>Describe procedures that would be followed in the case of discovery of disturbed as well as intact human burials and burial-associated artifacts.</i>
AR/mma-1.1.1	<p><i>Prior to commencement of any demolition, site grading, or vegetation removal activities, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a signed letter by a qualified archaeologist reporting the date of training and a list of names and signatures of those in attendance.</i></p>
AR/mm-1.2	<p><i>Prior to issuance of grading and construction permits, the applicant shall submit an Archaeological Monitoring Plan to the County of Monterey Resource Management Agency – Planning Department for review and approval. The Plan shall be prepared by a qualified archaeologist and reviewed and updated as needed in the event of project alterations or amendments. The plan shall include, at minimum:</i></p> <ul style="list-style-type: none"> a. <i>List of personnel involved in the monitoring activities;</i> b. <i>Description of the types of project activities requiring monitoring;</i> c. <i>Description of how the monitoring shall occur;</i> d. <i>Description of monitoring frequency;</i> e. <i>Description of resources expected to be encountered;</i> f. <i>Description of circumstances that would result in a diversion or stopping of work activities in the case of discovery at the project site;</i> g. <i>Description of procedures for diverting or stopping work on the site and notification procedures, including contacting the Ohlone/Costanoan-Esselen Nation (OCEN) Tribal Council;</i>

AR Impact 1	
	<p><i>h. Procedures for developing a strategy in consultation with the OCEN Tribal Council if resources are discovered for either return to the Tribe or reburial; and,</i></p> <p><i>i. Description of monitoring reporting procedures, as applicable to each identified project component.</i></p>
<i>AR/mma-1.2.1</i>	<i>Prior to issuance of grading and construction permits, the applicant shall submit an Archaeological Plan prepared by a qualified archaeologist to the County of Monterey Resource Management Agency – Planning Department for review and approval.</i>
<i>AR/mm-1.3</i>	<i>At a minimum, a County of Monterey Resource Management Agency – Planning Department-approved archaeological monitor shall be present during initial ground disturbing construction and vegetation removal activities, and as further described in the approved Archaeological Monitoring Plan, until it is deemed the potential for encountering unknown archaeological resources is negligible.</i>
<i>AR/mma-1.3.1</i>	<i>Upon completion of all monitoring and mitigation activities required by AR/mm-1.1 through AR/mm-1.3, and prior to final inspection or occupancy, whichever occurs first, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department, a report summarizing all monitoring and mitigation activities and confirming that all recommended mitigation measures have been met.</i>
Residual Impacts	
Implementation of the project would not directly impact a known archaeological resource. Archaeological monitoring and reporting is recommended to reduce the potential for impacts associated with direct or indirect impacts to an unknown archaeological resource. With implementation of the recommended mitigation measures, residual impacts would be <i>less than significant</i> .	

4.4.5.2 Disturb Human Remains

Inadvertent Discovery of Human Remains

The discovery of human remains is always a possibility during construction activities. California Health and Safety Code §7050.5 addresses this issue and states that, in the event of inadvertent discovery of human remains, no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to PRC §5097.98. The County Coroner shall be notified of the find immediately. If the human remains are determined to be prehistoric, the coroner will notify the Native American Heritage Commission, which will determine and notify a Most Likely Descendant (MLD). The MLD shall complete the inspection of the site within 48 hours of notification and may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials. The inadvertent disturbance of human remains during earth-disturbing or grading activities would be a *potentially significant* impact.

AR Impact 2	
Ground disturbance (e.g., grading, excavation) associated with the project could result in the disturbance of unknown human remains, resulting in a significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
AR/mm-2.1	<i>The following measure shall be incorporated into the Archaeological Monitoring Plan, and noted on all grading and construction plans:</i> <ol style="list-style-type: none"> a. <i>If human remains are exposed during construction, the applicant shall notify the Monterey County Resource Management Agency – Planning Department immediately and comply with State Health and Safety Code Section 7050.5, which requires that no further disturbance shall occur until the County Coroner has been notified and can make the necessary findings as to origin and disposition of the remains pursuant to Public Resources Code Section 5097.98. Construction shall halt in the area of the discovery of human remains, the area shall be protected, and consultation and treatment shall occur as prescribed by law.</i>
AR/mma-2.1.1	<i>Prior to issuance of grading and construction permits, the applicant shall submit the Archaeological Plan prepared by a qualified archaeologist to the County of Monterey Resource Management Agency – Planning Department to establish compliance with this measure.</i>
Residual Impacts	
With implementation of the recommended mitigation measures, residual impacts would be <i>less than significant</i> .	

4.4.5.3 Tribal Cultural Resources

On July 1, 2015, AB 52 came into effect requiring all lead agencies to provide Native American tribes the opportunity to participate in consultations to protect tribal cultural resources prior to submission of CEQA documentation, including an EIR. The NOP for the project was filed on February 17, 2015, prior to the requirements of AB 52, and therefore is not subject to AB 52 consultation requirements. On April 12, 2018, the Ohlone/Costanoan-Esselen Nation (OCEN) submitted a letter to the County identifying a known cemetery within 250 feet of the project. As previously discussed under 4.4.1.2, Site Setting, the prehistoric archaeological site known as CA-MNT-157 has been previously identified and documented in the project vicinity. The OCEN has requested that a tribal monitor be present during any activities that involve new soil disturbance. While there are no known archaeological resources present within the project site the, close proximity to a known prehistoric archaeological site coupled with the potential for disturbance of unknown resources, potential project-specific impacts could include direct and indirect impacts to unknown tribal cultural resources. With the implementation of recommended mitigation measures for potential impacts to archaeological resources, a qualified archaeologist would be present during new ground disturbance and any unknown discovered tribal cultural resources or human remains would require a cessation of construction activities in the vicinity of the discovery and treatment in accordance with federal, state, and county laws. The Archaeological Monitoring Plan must specify procedures for notification of OCEN Tribal Council and development of a strategy for returning resources to the Tribe or reburial in the event that resources are discovered. With implementation of identified mitigation measures, potential impacts to tribal cultural resources would be less than significant with mitigation.

AR Impact 3
Ground disturbance (e.g., grading, excavation) associated with the project could result in the disturbance of unknown tribal cultural resources, resulting in a significant impact.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement AR/mm-1.1, AR/mma-1.1.1, AR/mm-1.2, AR/mma-1.2.1, AR/mm-1.3, and AR/mma-1.3.1.</i>
<i>Residual Impacts</i>
With implementation of the recommended mitigation measures, residual impacts would be <i>less than significant</i> .

4.4.6 Cumulative Impacts

Pursuant to State CEQA Guidelines §15130(a), the EIR “shall discuss cumulative impacts of a project when the project’s incremental effect is cumulatively considerable, as defined in Section 15065(a)(3).” The analysis of cumulative impacts relates to whether impacts of the proposed project and future related projects, considered together, might substantially impact/diminish the number of archaeological resources, in terms of context or property type.

The project has the potential to result in the inadvertent disturbance of archaeological resources. Similar projects in the Del Monte Forest area and other areas in the vicinity of the project would have a similar potential to inadvertently impact archaeological resources, resulting in a potentially significant cumulative effect on the environment. Based on the project’s avoidance of known significant sites, and mitigation measures identified to avoid impacts to unknown subsurface resources, potential cumulatively considerable significant impacts to archaeological resources would be *less than significant*.

AR Impact 4
Impacts to archaeological resources caused by inadvertent damage or destruction of unknown resources would be cumulatively considerable when considered in conjunction with other potential disturbances in the project area, resulting in a significant cumulative impact.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement AR/mm-1.1, AR/mma-1.1.1, AR/mm-1.2, AR/mma-1.2.1, AR/mm-1.3, AR/mm-2.1, and AR/mma-2.1.1.</i>
<i>Residual Impacts</i>
Implementation of the recommended mitigation measures would reduce the project’s potential contribution to cumulative impacts on archaeological resources. Residual impacts would be <i>less than significant</i> .

4.4.7 References

- Archaeological Consulting. 2010. *Preliminary Archaeological Reconnaissance of Assessor's Parcel 008-261-007, Pebble Beach, Monterey County, California*. Prepared for Massy Mehdipour by Mary Doane, B.A., and Gary S. Breschini, Ph.D., RPA, Archaeological Consulting. February 2, 2010.
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- . 2012b. *Monterey County Coastal Implementation Plan, Part 1, Title 20: Zoning Ordinance for the County of Monterey*.
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- . 2015. *Updated Preliminary Cultural Resources Reconnaissance of Assessor's Parcel 008-261-007, in the Del Monte Forest, Monterey County, California*. Prepared for Massy Mehdipour by Susan Morley, M.A., RPA. July 2015.

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4.5 GEOLOGY AND SOILS

This section evaluates the potential for construction and operation of the proposed project to result in adverse impacts associated with geologic hazards, soil hazards, and seismic hazards. The analysis is based on review of available geologic and geotechnical maps and reports of the project area and vicinity, including reports and information published by USGS and the California Geological Survey (CGS), the Monterey County General Plan, and a project-specific geotechnical study prepared by Cleary Consultants, Inc. for the project (Cleary 2010).

Additional references are provided in Chapter 8 of the EIR, and the geotechnical study is included in Appendix D, Geology and Soils Background Information.

4.5.1 Existing Conditions

4.5.1.1 Geology

The project area is located within the coastal zone of Monterey County in the Coast Ranges Geomorphic Province. The Coast Ranges are generally northwest-trending mountain ranges that range in elevation from 2,000 to 6,000 feet above msl (CGS 2002). The ranges and valleys within this province are composed of thick Mesozoic and Cenozoic sedimentary strata. The Pacific coastline is uplifted (lifted by tectonic forces), wave cut, and characterized by raised terraces or platforms formed by wave erosion and shoreline retreat.

The project site is located in the Cypress Point area of Pebble Beach, approximately 600 feet (0.12 mile) east of Fanshell Beach and the Pacific Ocean. This area is characterized by shoreline bluffs and low cliffs, which are generally capped by recent (Holocene age) dune sand deposits, underlain by eroded granodiorite bedrock (Cleary 2010). The dune sand deposits are up to 82 feet thick, unconsolidated, and consist of well-drained medium to coarse-grained loose sand with poorly developed or absent underlying organic soil layers. Dune sands are subject to accelerated erosion in areas where vegetation is disturbed or removed (Cleary 2010). The underlying bedrock type in the Cypress Point area is porphyritic granodiorite, which forms resistant coastal bluffs and rocky outcrops. Granodiorite is typically light gray to moderately pink and medium grained. It is variably weathered, ranging from highly decomposed to fresh to slightly weathered crystalline rock.

The project site slopes downward from east to west, with the existing natural grade across the parcel ranging from approximately 105 to 50 feet above msl. The upper portion of the project site, where the existing residence is located and where the proposed residence would be located, is currently graded and terraced, with an overall change/fall of approximately 20 feet from east to west. The portion of the site that currently supports the existing two-story residence has been cut into the slope and the backyard has been terraced with a 50- to 75-foot-wide gently sloping to flat area at an elevation of approximately 80 to 85 feet above msl. In the western portion of the site, dune sand terrain extends toward 17-Mile Drive and the ocean at an overall gradient of approximately 25%. Several hard granodiorite bedrock outcrops are present on the project site, striking moderately to the northwest and dipping strongly southward (Cleary 2010).

During the geotechnical study conducted by Cleary Consultants, groundwater was detected at depths ranging from 9.5 to 16 feet below ground surface within the project site. Localized perched groundwater is expected to be present within the project site due to variable factors such as rainfall, temperature, runoff, irrigation, etc.

4.5.1.2 Seismic Conditions

Faults and Risk of Surface Fault Rupture and Ground Shaking

Monterey County is located in a region characterized by high seismic activity in the form of frequent small/moderate earthquakes and less frequent major earthquakes (County of Monterey 2010). Primary seismic hazards that can occur as a result of earthquakes include ground failure, liquefaction, seismic-induced water waves such as tsunamis and seiches, and dam failure. The greatest seismic threat in Monterey County is the segment of the San Andreas Fault, which runs through the southeastern portion of the county for approximately 30 miles. This segment of the San Andreas Fault is approximately 45 miles east of the project site.

There are several faults located near the project site (refer to Figure 4.5-1) including two unnamed faults located approximately 550 feet southwest of the project site and 750 feet east of the project site. Both unnamed faults were identified in *Geologic Resources and Constraints Monterey County, California, A Technical Report for the Monterey County 21st Century General Plan Update Program* (Rosenberg 2001). The unnamed faults were described as faults without recognized Quaternary displacement (within the last 1.6 million years) or showing evidence of no displacement during Quaternary time, not necessarily inactive. The Cypress Point Fault is a potentially active fault located approximately 1,250 feet southwest of the project site. The fault setback requirements, outlined in Monterey County Code Chapter 20.147.060, are not applicable.

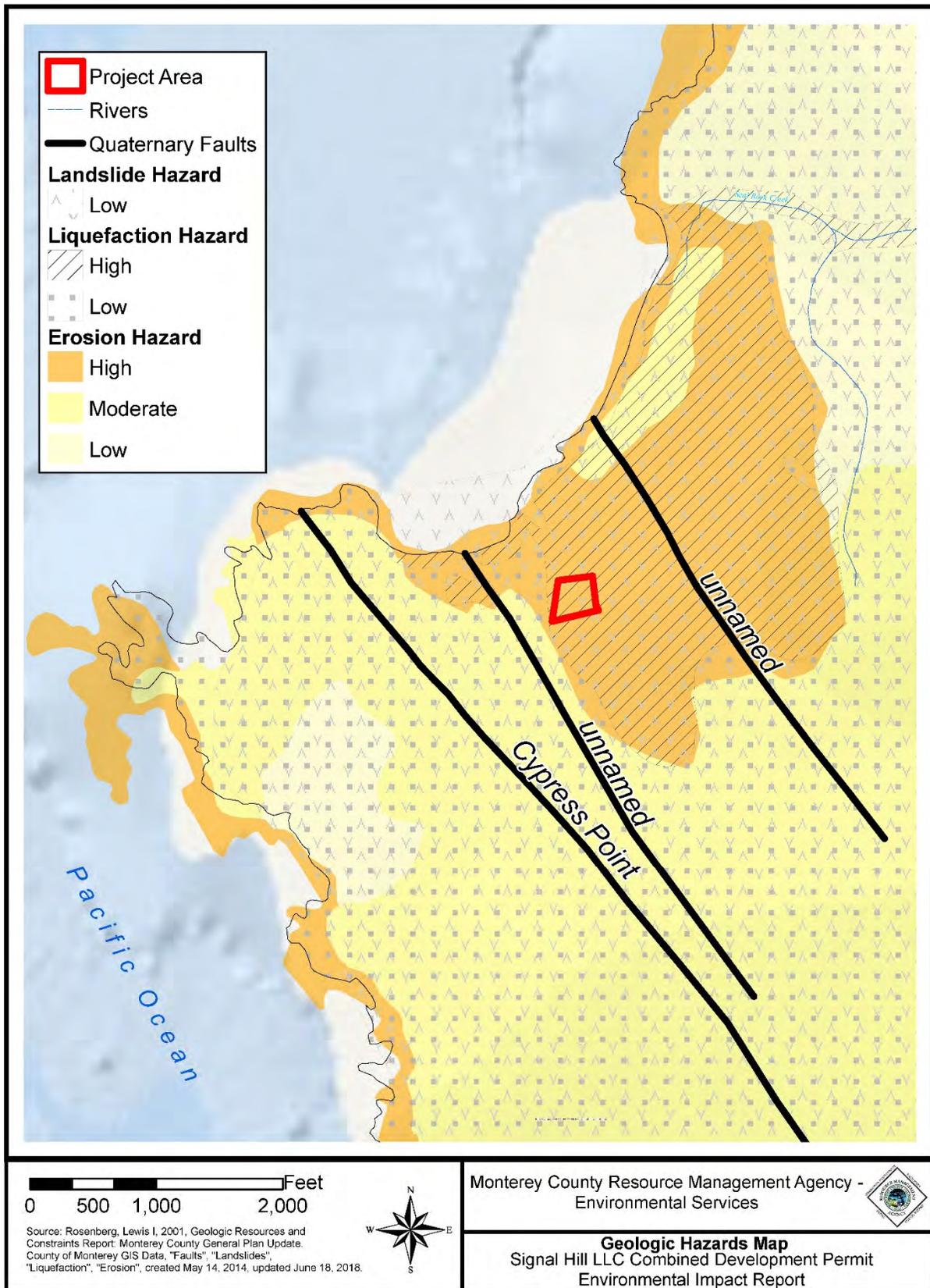
There are no known active or potentially active faults crossing the project site. Based on the Earthquake Shaking Potential for California Map prepared by CGS, the project site is located in a region identified as being relatively distant from known, active faults and expected to experience lower levels of shaking less frequently (CGS 2008). Additionally, the project site is not located within an Earthquake Fault Zone as defined by the State of California Alquist-Priolo Earthquake Fault Zoning Act; therefore, the hazard resulting from surface fault rupture or fault offset at the site is considered very low (California Department of Conservation 2015). During most earthquakes in this region, only weaker, masonry buildings would be damaged, although very infrequent earthquakes could still result in strong shaking in these areas (CGS 2008). Therefore, the project site is not expected to be at significant risk for surface fault rupture or ground shaking.

Liquefaction and Related Ground Failures

Liquefaction is a phenomenon where earthquake-induced ground motion causes relatively cohesionless (saturated or partially saturated) soils to lose strength and stiffness, causing it to act like a liquid. One of the primary factors controlling the potential for liquefaction is depth to groundwater. Soils that are generally most susceptible to liquefaction are clean, loose, saturated, uniformly graded, fine-grained sands and silts that lie within roughly 50 feet of the ground surface.

The project site is located within a high liquefaction risk area, as shown on Figure 4.5-1 (County of Monterey 2010). However, based on the results of the geotechnical study (Cleary 2010), the project site is underlain by predominantly non-saturated loose to medium dense clean sand and silty sand underlain by granodiorite bedrock. Based on these conditions, the likelihood of soil liquefaction during strong ground shaking at the site is considered low (Cleary 2010). Because the sandy soils overlying the granodiorite at the site are unsaturated, with the exception of local perched water, other ground failures such as soil lurching, lateral spreading, and ground cracking are also considered unlikely to occur (Cleary 2010).

Figure 4.5-1. Geologic Hazards



4.5.1.3 Slope Stability and Landslides

The project site slopes downward from east to west, with the existing residence located at the upper end of the parcel near Signal Hill Road. The existing natural grade underlying the area proposed for development ranges from 105 to 95 feet above msl, resulting in an average grade of 100 feet above msl. As shown in Figure 4.5-1, the existing (natural and manufactured) slopes within the project site are located in an area identified as having a low susceptibility for landslides by the Monterey County Floodplain Management Plan (County of Monterey 2003). Therefore, the project site is not expected to be at risk for landslides. On the western (downward) portion of the site, dune sloughing is expected to occur on steep dune slopes.

4.5.1.4 Soils

The project site is entirely composed of dune land (map unit Df) soils (NRCS 2015). This soil type is derived from quartz and feldspar eolian sands and is found on dunes. The typical profile for this soil consists of 0–60 inches of fine sand. Dune land is considered excessively drained with a very low susceptibility for runoff. Dune land is considered very limited for being capable of supporting dwellings, primarily due to slope (NRCS 2015).

The exploratory borings, performed by Cleary Consultants, Inc. for the geotechnical study, encountered approximately 8 to 14 feet of predominantly loose, medium to fine grained, slightly moist to dry cohesionless clean sand overlying 1–5 feet of loose to medium dense silty to clayey sand, in turn overlying very dense weathered granodiorite bedrock to a depth of 31 feet, the maximum depth explored (Cleary 2010). The upper clean sand is non-plastic and non-expansive while the underlying silty to clayey sand has a low to moderate expansion potential.

4.5.2 Regulatory Setting

4.5.2.1 State Regulations

Alquist-Priolo Earthquake Fault Zoning Act

The Alquist-Priolo Earthquake Fault Zoning Act of 1972 regulates development and construction of buildings intended for human occupancy to avoid the hazard of surface fault rupture. In accordance with this law, CGS maps active faults and designates Earthquake Fault Zones along mapped faults. This Act groups faults into categories of active, potentially active, and inactive. Historic and Holocene age faults are considered active, Late Quaternary and Quaternary age faults are considered potentially active, and pre-Quaternary age faults are considered inactive. These classifications are qualified by the conditions that a fault must be shown to be “sufficiently active” and “well defined” by detailed site-specific geologic explorations in order to determine whether building setbacks should be established.

Any project that involves the construction of buildings or structures for human occupancy, such as an operation and maintenance building, is subject to review under the Alquist-Priolo Earthquake Fault Zoning Act, and any structures for human occupancy must be located at least 50 feet from any active fault.

Seismic Hazards Mapping Act of 1990

In accordance with PRC Chapter 7.8, Division 2, the California Department of Conservation, Division of Mines and Geology (now CGS) is directed to delineate Seismic Hazard Zones through the Seismic Hazards Zonation Program. The purpose of the act is to reduce the threat to public health and safety and to minimize the loss of life and property by identifying and

mitigating seismic hazards, such as those associated with strong ground shaking, liquefaction, landslides, other ground failures, or other hazards caused by earthquakes.

Cities, counties, and state agencies are directed to use seismic hazard zone maps developed by CGS in their land use planning and permitting processes. In accordance with the Seismic Hazards Mapping Act, site-specific geotechnical investigations must be performed prior to permitting most urban development projects within seismic hazard zones.

California Building Standards Code

The State of California provides minimum standards for building design through the California Building Code (CBC; California Building Standards Commission 2013). The CBC is based on the Uniform Building Code (UBC), which is used widely throughout the United States (generally adopted on a state-by-state or district-by-district basis), and has been modified for conditions within California. In 2013, a revised version of the CBC took effect. Chapter 16 of the CBC contains definitions of seismic sources and the procedure used to calculate seismic forces on structures.

4.5.2.2 Local Regulations

Monterey County Grading and Erosion Control Regulations

Monterey County Grading and Erosion Control Ordinances (Chapters 16.08 and 16.12 of the County Code) are enforced by the County Resource Management Agency, Environmental Services. The grading ordinance was adopted to safeguard the health, safety, and welfare of the public, and to minimize erosion, protect fish and wildlife, and otherwise protect the natural environment. The erosion control ordinance was adopted to eliminate and prevent conditions of accelerated erosion that have led to, or could lead to, degradation of water quality, loss of fish habitat, damage to property, loss of topsoil or vegetation cover, disruption of water supply, and increased danger from flooding. Grading permits, with supporting grading and erosion control plans, are required for all projects that move 100 cubic yards or more of soil. No grading permit can be issued if a determination is made that grading will result in hazards by reason of flood, geological hazard, seismic hazard or unstable soils, or is liable to endanger any other property or result in the deposition of debris on any public way or property or drainage course, or otherwise create a nuisance.

4.5.2.3 Applicable State, Regional, and Local Plans and Policies Relevant to Geologic, Soils, and Seismic Hazards

Table 4.5-1 lists applicable state, regional, and local land use policies and regulations pertaining to geology and soils that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented above in Section 4.5.2, Regulatory Setting, and Chapter 3, Environmental Setting. Also included in Table 4.5-1 is an analysis of project consistency with identified policies and regulations. Where the analysis concludes the proposed project would potentially conflict with the applicable policy or regulation, the reader is referred to Section 4.5.5, Impact Assessment and Mitigation Measures, for additional discussion.

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
County of Monterey Del Monte Forest Area Land Use Plan		
Del Monte Forest Land Use Plan Key Policies		
<p>Hazards: Land uses and development in areas of geologic, flood, fire, and other coastal hazards shall be carefully regulated through the best available planning practices and sited and designed in order to minimize risks to life and property, and damage to the natural environment.</p>	<p>The intent of this policy is to regulate development in areas of designated hazard risk to minimize risks to life, property, and the natural environment.</p>	<p><u>Potentially Consistent.</u> The project site is not located in an area identified as being at risk for flooding. The site is located in an area designated as having a high potential for erosion and the project includes the implementation of an erosion control plan and a drainage plan to mitigate associated impacts. <u>Mitigation has been identified</u> requiring implementation of all of the recommendations of the site-specific geotechnical study (Cleary 2010) to reduce the potential for property damage and/or hazards as a result of soil conditions and seismic events. The project site is located in an area identified as a high fire severity zone by CAL FIRE (CAL FIRE 2007). However, the project would involve replacing an existing single-family residence with a new single-family residence. Therefore, the project would not result in a change in land use or increase in susceptibility to fire risk. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
Resource Management Element		
HAZARDS		
<p>Policy 38. New development shall be sited and designed to minimize risk from geologic, flood, or fire hazards; to assure stability and structural integrity; and to not threaten the stability of a site, contribute</p>	<p>The intent of this policy is to minimize risk associated with geologic, flood, and fire hazards; to assure stability and</p>	<p><u>Potentially Consistent.</u> The project site is not located in an area identified as being at risk for flooding. The site is located in</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>significantly to erosion, geologic instability, or destruction of the site or surrounding areas. Areas that are subject to the highest category of fire hazard in CAL FIRE Fire Hazard Rating System shall be considered unsuitable for development, unless it can be clearly demonstrated that design measures can adequately mitigate the fire hazard. Mitigation of hazards shall be demonstrated by detailed technical reports specific to the hazard type in question (e.g., soils, geologic, geotechnical, erosion control, fire hazard, etc.) that are prepared by persons who are appropriately qualified in the hazard field in question (e.g., civil engineers and engineering geologists familiar with coastal processes, geotechnical engineers, etc.) and that are submitted as part of any permit application. All technical reports shall be prepared consistent with County criteria for such reports (e.g., criteria for detail on seismic hazards are contained in the General Plan Safety Element; criteria for detail on fire hazards are based on the fire hazard rating system of CAL FIRE; criteria for detail on shoreline hazards are based on Coastal Commission guidelines). All technical reports and analyses shall accompany development applications and/or be part of any required environmental documentation (e.g., that associated with CEQA).</p>	<p>structural integrity; and to not threaten the stability of a site, contribute significantly to erosion, geologic instability, or destruction of the site or surrounding areas.</p>	<p>an area designated as having a high potential for erosion and the project includes the implementation of an erosion control plan and a drainage plan <u>to mitigate associated impacts</u>. The project site is located in an area identified as a high fire severity zone by CAL FIRE, but not the highest category of fire hazard (i.e., very high) (CAL FIRE 2007).The project would involve replacing an existing single-family residence with a new single-family residence. Therefore, the project would not result in a change in land use or increase in susceptibility to fire risk. A site-specific geotechnical study has also been prepared for the project (Cleary 2010), consistent with this section. <u>Mitigation has been identified</u> requiring implementation of all of the recommendations of the geotechnical study to reduce the potential for property damage and/or hazards as a result of soil instability and seismic events. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 40. Development shall be sited and designed to conform to site topography and to minimize grading and other site preparation activities. Natural features, such as tree cover, should be preserved. Applications shall be reviewed for potential onsite and offsite impacts arising from grading, as well as related geologic and seismic hazards, and mitigation measures may be required to offset such impacts. All areas disturbed by grading shall be revegetated with non-invasive native plant species appropriate to the site in order to recreate as much as possible native plant and animal habitat.</p>	<p>The intent of this policy is to minimize impacts resulting from grading and other site preparation activities.</p>	<p><u>Potentially Consistent</u>. The majority of the proposed grading and residential development would be located on previously disturbed and graded areas, consistent with this policy. The project includes implementation of an erosion control plan and a drainage plan <u>to mitigate the effects</u> of grading and demolition activities. Additionally the project includes restoration of</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 41. Structures to be occupied shall be set back a minimum of 50 feet from an active or potentially active fault as determined by geologic investigation.</p>	<p>The intent of this policy is to establish a set-back distance from potentially active faults for development of new structures to prevent damage resulting from surface ruptures.</p>	<p>approximately 1.67 acres of native dune habitat pursuant to the Dune Restoration Plan. Tree removal is proposed to accommodate development of the larger residential structure; however, <u>mitigation has been identified</u> that requires replacement (at a 2:1 ratio) and maintenance of removed trees to restore on-site vegetation. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 46. Geologic and geotechnical reports shall be required for unstable areas and for all proposed blufftop development.</p>	<p>The intent of this goal is to require technical reports for unstable areas and all blufftop development</p>	<p><u>Potentially Consistent.</u> Per the geotechnical study prepared for the project (Cleary 2010), the project site is not located within 50 feet of a potentially active fault.</p> <p><u>Potentially Consistent.</u> A geotechnical study was prepared for the proposed project to ensure project design is appropriate for the project location and on-site conditions (Cleary 2010).</p>
<p><i>Monterey County Coastal Implementation Plan</i></p>		
<p>Part 5 Regulations for Development in the Del Monte Forest Plan Area (Chapter 20.147)</p>		
<p>20.147.060 Hazards A. Report Requirements Mitigation of hazards shall be demonstrated by detailed technical reports specific to the hazard type in question (e.g., soils, geologic, geotechnical, erosion control, fire hazard, etc.) that are prepared by persons who are appropriately qualified in the hazard field in question (e.g., civil engineers and engineering geologists familiar with coastal processes, geotechnical engineers, etc.) and that are submitted as part of any permit application. All technical reports and analyses shall accompany development applications and/or be part</p>	<p>The intent of this section is to carefully regulate land uses and development in areas of geologic, flood, fire, and other coastal hazard through the best available planning practices, including appropriate siting and design for long-term stability, in order to minimize risks to life and property and damage to the natural environment.</p>	<p><u>Potentially Consistent.</u> The project site is located in an area designated as having a high potential for erosion and the project includes the implementation of an erosion control plan and a drainage plan to mitigate associated impacts. <u>Mitigation has been included</u> to ensure the design and construction recommendations provided in the geotechnical study prepared by Cleary Consultants, Inc. are implemented prior to and during</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>of any required environmental documentation. As technical reports supporting development proposals are completed and received by the County, the information contained therein shall become part of the public record. Where appropriate, the results of such technical reports shall augment and may supersede, if appropriate, more general information found in other County sources. Development that includes preparation of any technical report shall require recording a notice that development on the parcel must be in accordance with said report, and consistent with the terms and conditions of this coastal development permit. Said notice shall be recorded prior to issuance of building or grading permits.</p> <ol style="list-style-type: none"> 1. Geologic Report Requirements <ol style="list-style-type: none"> (a) Regardless of a parcel's seismic hazard zone, a geologic report shall be required for, but not limited to, the following types of projects: <ol style="list-style-type: none"> (1) standard subdivisions; (2) schools, civic buildings, and other public facilities; (3) emergency communication facilities; (4) flood control projects; and, (5) diking dredging, filling, and construction of new structures within shoreline, estuarine and wetland areas. (b) Regardless of a parcel's seismic hazard zone, a geologic report shall be required for any development project located in the following areas: <ol style="list-style-type: none"> (1) landslide areas, or areas showing evidence of ground movement within recorded history; (2) within 50 feet of the face of a cliff or bluff or within the area of a 20 degree angle above horizontal from the face of a cliff, whichever is greater; (3) within 1/8 mile of an active or potentially active fault; (4) on slopes of greater than 30%; (5) within sand dune habitats; and, 		<p>construction to mitigate potential impacts. The project site is located in an area identified as a high fire severity zone by the California Department of Forestry and Fire Protection (CAL FIRE 2007). However, the project would not result in a substantial change in land use or increase in susceptibility to fire risk. CAL FIRE would continue to provide fire prevention and response services to the project site. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>(6) in any area of known or suspected geologic hazards.</p> <p>(c) If a parcel is located in Seismic Hazard Zone IV, V, or VI, or in Recent Alluvium or Unstable Uplands areas (as shown on County Seismic Hazard Maps), a geologic report shall be required for, but not limited to, the following projects:</p> <ul style="list-style-type: none"> (1) churches; (2) theaters; (3) hotels, motels; (4) utility centers; (5) large commercial or industrial buildings or centers; (6) minor subdivisions; and, (7) apartment buildings. <p>(d) If a parcel is located in Seismic Hazard Zone VI, an Unstable Uplands or Recent Alluvium area, or in an area of a known hazard, a geologic report shall be required for, but not limited to, the following projects:</p> <ul style="list-style-type: none"> (1) single family dwellings; (2) small commercial or industrial buildings; and, (3) grading, when a coastal development permit is required. <p>(e) Projects which do not require a geologic report, unless a hazard is otherwise known, include but are not limited to:</p> <ul style="list-style-type: none"> (1) uninhabited structures; (2) pole barns; (3) storage sheds; (4) greenhouses; (5) uses in existing structures; (6) structural additions; (7) additions to water systems 		

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>(f) Geologic reports shall be prepared, at the applicant's expense, by a registered geologist or registered engineering geologist, as deemed appropriate by the County given the project type and probable hazards.</p> <p>(g) Geologic reports shall be required, submitted, and deemed adequate by the County prior to the application being considered complete. The manner (electronic versus hard copy, number of copies, etc.) said Plan is to be submitted shall be determined by the Planning Department.</p> <p>(h) Where there is a dispute over the adequacy of the geologic report, a third party review by a registered geologist or registered engineering geologist shall be required. The review shall be at the applicant's expense. Third party review and any necessary report revisions shall be completed prior to receiving approval pursuant to Section 20.70.130.</p> <p>(i) Geologic reports shall be consistent with "Guidelines for Geologic/Seismic Reports" of the California Division of Mines and Geology and shall include, at a minimum, the following elements, as applicable to the site:</p> <ul style="list-style-type: none"> (1) Regional geologic setting; (2) Historic, current and foreseeable erosion, including investigation of recorded land surveys and tax assessment records in addition to the use of historic maps and photographs where available, and possible changes in shore configuration and transport, including in relation to generally accepted estimates of accelerated future sea level rise over the development's lifetime; (3) Bluff geometry and site topography, extending the surveying work beyond the site as needed to depict unusual geomorphic conditions that might affect the site and the proposed development. The extent of the bluff top considered should at a minimum include the area between the face of 		

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>the bluff and a line described on the bluff top by the intersection of a plane inclined at a 20 degree angle from the horizontal passing through the toe of the bluff or cliff, or 50 feet inland from the edge of the cliff or bluff, whichever is greater;</p> <p>(4) Geologic conditions, including soil, sediment, and rock types and characteristics in addition to structural features such as bedding, joints and faults;</p> <p>(5) Evidence of past or potential landslide conditions, the implications of such conditions for the proposed development, and the potential effects of the development on landslide activity both on-site and off-site;</p> <p>(6) Wave and tidal action, including effects of erosion on bluffs, and identification of extreme scour platform elevation seaward of the site as well as expected maximum wave up rush elevation for the site, all in relation to generally accepted estimates of accelerated future sea level rise over the development's lifetime;</p> <p>(7) Ground and surface water conditions and variations, including hydrologic changes caused by the development (e.g., introduction of sewage effluent and irrigation water to the groundwater system, and alterations in surface drainage);</p> <p>(8) Potential effects of seismic forces resulting from a maximum credible earthquake;</p> <p>(9) Effect of the proposed development including siting and design of structures, septic system, landscaping, drainage, and grading, and impacts of construction activity on the stability of the site and the adjacent area;</p> <p>(10) A quantitative slope stability analysis, including identification of factors of safety for the</p>		

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>site and structures and any other factors that may affect slope stability;</p> <p>(11) Potential erodibility of site and mitigating measures to be used to ensure minimized erosion problems during and after construction without reliance on shoreline armoring and/or other such shoreline altering development (i.e., landscaping and drainage design), including analysis of the ability of the development to withstand storms comparable to the winter storms of 1982-83 on the California Coastline;</p> <p>(12) Any other recommended mitigation measures; and,</p> <p>(13) When development of shoreline protection structures is proposed, in addition to the above items, the following topics shall also be addressed:</p> <ul style="list-style-type: none"> i. Design wave height; ii. Maximum expected wave height; iii. Frequency of overtopping; iv. Normal and maximum tidal ranges; v. Erosion rate with/without protection device; vi. Effect of structure on adjoining property; vii. Potential/effect of scouring at base; viii. Sand supply impacts (beach encroachment, passive erosion, and retention of beach material); ix. Design life of structure/maintenance provisions; x. Alternatives to the chosen design method including "no project"; and, xi. Maintenance provisions including methods and materials. 		

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>20.147.060 Hazards</p> <p>B. Development Standards</p> <ol style="list-style-type: none"> 1. Development shall be sited and designed to conform to site topography and to minimize grading and other site preparation activities. Natural features, such as tree cover, should be preserved. Applications shall be reviewed for potential onsite and offsite impacts arising from grading, as well as related geologic and seismic hazards, and mitigation measures may be required to offset such impacts. All areas disturbed by grading shall be revegetated with non-invasive native plant species appropriate to the site in order to recreate as much as possible native plant and animal habitat. 2. Subdivisions may be approved only where it can be clearly demonstrated that development of each proposed parcel and construction of any necessary access roads will not significantly contribute to erosion, geologic instability, flooding, or fire hazard, all of which shall be demonstrated in the required technical reports (e.g., soils, geologic, geotechnical, erosion control, flood, and fire reports). 3. Areas that are subject to the highest category of fire hazard as indicated by the California Department of Forestry and Fire Protection Fire Hazard Rating System shall be considered unsuitable for development, unless it can be conclusively demonstrated that design measures adequately mitigate the fire hazard. This shall be demonstrated by a suitably detailed fire hazard report prepared by a qualified person to accompany the permit application. Determination of the fire hazard ratings for specific parcels shall be made using the current fire hazard rating system of the California Department of Forestry and Fire Protection. 4. The fire hazard policies contained in the Safety Element of the Monterey County General Plan and the clearance requirements of the State Forest and Fire Law (Section 4291 of the Public Resources Code) shall be regularly and consistently applied provided they are consistent with all other policies of this LCP. For example, exceptions to the State Forest and Fire Law may be necessary where ESHA is 	<p>The intent of this policy is to minimize impacts resulting from grading and other site preparation activities.</p>	<p><u>Potentially Consistent</u>. The project includes demolition and grading activities for the removal of the existing residence and development of the new single-family residence on an existing developed and disturbed lot. The project includes implementation of an erosion control plan and a drainage plan to mitigate the effects of grading and demolition activities. Additionally the project includes restoration of approximately 1.67 acres of native dune habitat pursuant to proposed Dune Restoration Plan.</p> <p>All removed materials would be hauled offsite for recycling or disposal at the Monterey Regional Waste Management District facility. The project would not include dumping spoils into riparian areas. The majority of the project components would be located on previously disturbed and graded areas.</p> <p>The project site is not located in an area subject to flooding, wave runup, tsunami, landslide, ground-shaking, rupture, or other seismic events (refer to Figure 4.4-1). Additionally, the project site is not located on or near an active fault or within an Alquist-Priolo Fault Zone.</p> <p>The project site is located in an area identified as a high fire severity zone by the CAL FIRE (CAL FIRE 2007). However, the project would involve be developed in accordance with the CBC</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>present and/or where prior restrictions (including in Forest Management Plans) dictate otherwise. The County’s fire hazard map should be updated regularly, including in accordance with the most current California Department of Forestry and Fire Protection hazard rating criteria, as new and more specific information becomes available.</p> <ol style="list-style-type: none"> 5. Structures to be occupied shall be set back a minimum of 50 feet from an active or potentially active fault. 6. No habitable structures shall be permitted along the shoreline in areas subject to storm wave run-up. New development shall be sited and designed in such a manner as to avoid the need for shoreline armoring and/or other such shoreline altering development over the development’s lifetime, and shall include enforceable provisions for addressing any future bluff retreat/erosion danger to the development without shoreline armoring (e.g., moving the development, removing the development, etc.). In addition, bluff and cliff top development shall be permitted only if design and setback provisions are adequate to assure stability and structural integrity for the development’s lifetime and if the development (including associated storm runoff, foot traffic, grading, and irrigation) will neither create nor contribute significantly to erosion problems or geologic instability of the site or surrounding area. Development on bluff faces shall be prohibited except for public access pathways, including stairways. 7. Revetments, seawalls, retaining walls, groins, and other such construction that alters natural shoreline processes shall be permitted when required to serve coastal-dependent uses or to protect existing structures or public beaches in danger from erosion, and when designed to eliminate or mitigate adverse impacts on local shoreline sand supply. For the purposes of application of this policy, existing structures shall mean existing substantial structures (such as a primary residence, a major road, or a significant facility or accessway used by the public). Shoreline armoring and/or other such shoreline altering development shall be allowed to protect existing structures if they are in danger from erosion, and if: 		<p>and would not result in a substantial change in land use or increase in susceptibility to fire risk. CAL FIRE would continue to provide fire prevention and response services to the project site.</p> <p>This project includes development on slopes exceeding 30 percent and ridgeline development and a Coastal Development Permit is required. The only portion of the proposed project that would be developed on slopes exceeding 30% would be the driveway. There is no feasible alternative to the proposed project that would allow development of the proposed driveway to occur on slopes less than 30% on the property while maintaining a simple, direct alignment to the residence from Signal Hill Road. Therefore, strategic planning, adequate erosion control and construction techniques, including the implementation of the erosion control plan and drainage plan, would ensure compliance with this policy.</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>(a) less-environmentally damaging alternatives to such armoring/development are not feasible (including relocation of endangered structures); and</p> <p>(b) the armoring/development has been sited, designed, and accompanied by measures to proportionately mitigate any unavoidable negative coastal resource impacts (on views, sand supply, public access, etc.). New development, including land divisions, that would require shoreline armoring and/or other such shoreline alteration over the lifetime of the development shall be prohibited.</p> <p>8. The submittal of a site stability evaluation report is required for all bluff and cliff top development. This report is to be prepared by a qualified soils engineer or a state certified engineering geologist, as appropriate, acting within their areas of expertise.</p> <p>(a) Development on slopes of 30% or more is prohibited unless such siting better addresses LUP objectives as a whole when compared to other possible siting alternatives on slopes of less than 30% associated with projects and/or sites.</p> <p>9. Criteria for wet-season grading shall include extra erosion control measures as necessary to protect against erosion and sedimentation (including such options as installation of jute netting, construction of sediment catch basins and cessation of operations when soils are saturated).</p> <p>10. Grading and site preparation activities for new development shall incorporate design features to prevent soil erosion, repair existing erosion damage within the development area, and prevent siltation and pollution of coastal waters.</p> <p>11. Natural soil cover shall be retained in place and only the amount of disturbance necessary for construction and consistent with the provisions of this LCP shall be allowed.</p> <p>12. Erosion control measures for construction which are satisfactory to the Director of Building Services (e.g., native vegetation cover, temporary vegetation, seeding, mulching, or</p>		

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>other suitable stabilization methods) shall be used to protect soils that have been disturbed during grading or development</p> <p>13. All development shall employ adequate erosion/sediment control and water quality construction best management practices (BMPs) during construction, and all such BMPs shall be in place prior to the commencement of construction and shall be maintained in good operating condition through the construction period.</p> <p>14. Manufactured slopes shall be stabilized during construction and after completion of soil disturbance with native annual grasses and shrubs, appropriate native compatible plants, and with approved landscaping.</p> <p>15. Provisions shall be made to collect and conduct runoff to drainage areas/devices capable of polluted runoff filtration/treatment (e.g., vegetated filtration strips, detention/retention basins, storm drains, etc.) to ensure maximum on-site filtration/treatment. Permanent onsite drainage areas/devices shall be designed to accommodate increased runoff resulting from site modification. Where necessitated by good drainage design considerations, on-site retention of storm water may be considered to reduce the size requirements for drainage structures, consistent with resource protection policies.</p> <p>16. Dumping of spoils (e.g., dirt, garbage, refuse, etc.) into riparian habitat and drainage courses shall be prohibited</p> <p>17. Development shall be sited and designed to conform to site topography and to minimize grading and other site preparation activities. Natural features, such as tree cover, should be preserved. Applications shall be reviewed for potential onsite and offsite impacts arising from grading, as well as related geologic and seismic hazards, and mitigation measures may be required to offset such impacts. All areas disturbed by grading shall be revegetated with non-invasive native plant species appropriate to the site in order to recreate as much as possible native plant and animal habitat.</p>		

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
County of Monterey General Plan (1982)		
Goals, Objectives, and Policies for Natural Resources		
GEOLOGY, MINERALS, AND SOILS		
Goal 3: To promote the conservation of soils as a valuable natural resource	The intent of this goal is to promote soil conservation.	<u>Potentially Consistent.</u> Development of the new single-family residence would primarily occur within the developed footprint of the existing residence. The project includes implementation of an erosion control plan and drainage plan to reduce the potential for loss of topsoil resulting from erosion and stormwater runoff.
Policy 3.1.1 Erosion control procedures shall be established and enforced for all private and public construction and grading projects.	The intent of this policy is to establish procedures for the prevention of soil erosion.	<u>Potentially Consistent.</u> The project site is located in an area identified as having a high potential for erosion; however, implementation of the proposed erosion control plan described in the project description would ensure impacts associated with erosion are mitigated to an acceptable level.
Policy 3.2.2 Lands having a prevailing slope above 30% shall require adequate special erosion control and construction techniques.	The intent of this policy is to consider the prevailing slope of the land as an additional criterion in evaluating erosion control requirements.	<u>Potentially Consistent.</u> The project requires a coastal development permit for development on slopes exceeding 30%. Strategic planning and adequate erosion control and construction techniques, including the implementation of the proposed erosion control plan and drainage plan, would ensure consistency with this policy.

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Goals, Objectives, and Policies for Seismic and Other Geologic Hazards		
<p>Goal 15. To minimize loss of life, injury, damage to property, and economic and social dislocation resulting from seismic and other geologic hazards</p>	<p>The intent of this policy is to reduce the risks to life and property associated with seismic and other geologic hazards.</p>	<p><u>Potentially Consistent</u>. The project site is not located in an area subject to above-average seismic hazards; however, the project site is located in an area considered to have a high risk of erosion and liquefaction (refer to Figure 4.5-1). The proposed project would be constructed in compliance with the CBC and includes the implementation of an erosion control plan and a drainage plan to minimize the potential for erosion associated with construction activities. Although the project site is located in an area identified as having a high risk of liquefaction, based on the results of the geotechnical study submitted by the applicant, the project site is underlain by predominantly non-saturated loose to medium dense clean sand and silty sand underlain by granodiorite bedrock. Based on these conditions, the likelihood of soil liquefaction during strong ground shaking at the site is considered low (Cleary 2010). <u>Mitigation has been identified</u> requiring implementation of all of the recommendations of the geotechnical study to reduce the potential for property damage and/or hazards as a result of soil instability and seismic events. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 15.1.4 All new development and land divisions in designated high hazard zones shall provide a preliminary seismic and geologic hazard report which addresses the potential for surface ruptures,</p>	<p>The intent of this policy is to reduce the risks resulting from seismic and geologic hazards within designated high hazard</p>	<p><u>Potentially Consistent</u>. The project site is located in an area identified as being at high risk of erosion and liquefaction.</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>ground shaking, liquefaction, and landsliding before the application is considered complete. This report shall be completed by a registered geologist and conform to the standards of a preliminary report adopted by the County.</p>	<p>zones.</p>	<p>A geotechnical study was prepared for the proposed project, which evaluated geologic and seismic hazard conditions at the project site and provided recommendations for the proposed project to reduce the potential for impacts associated with seismic and geologic hazards (Cleary 2010), consistent with this policy.</p>
<p>Policy 15.1.6 Prior to the issuance of a building or grading permit, the County shall require liquefaction investigations for proposed critical use structures and multi-family dwellings over four units when located in areas of moderate or high hazard for liquefaction or subject to the following conditions:</p> <ul style="list-style-type: none"> ▪ Location in primary floodways; and ▪ Groundwater levels less than 20 feet, as measured in spring and fall. 	<p>The intent of this policy is to reduce the potential for risks to proposed dwellings and structures associated with liquefaction.</p>	<p><u>Potentially Consistent</u>. The project site is located within a high liquefaction risk area; however, based on the results of the geotechnical study submitted by the applicant, the likelihood of soil liquefaction during strong ground shaking at the site is considered low (Cleary 2010). Because the sandy soils overlying the granodiorite at the site are unsaturated, with the exception of local perched water, other ground failures such as soil lurching, lateral spreading, and ground cracking are also considered unlikely to occur (Cleary 2010). The project does not propose a critical use structure or multi-family development.</p>
<p>Policy 15.1.8 The County should require a soils report on all building permits and grading permits within areas of known slope instability or where significant potential hazard has been identified.</p>	<p>The intent of this policy is to reduce the risks resulting from development in areas subject to slope instability.</p>	<p><u>Potentially Consistent</u>. The project site is located in an area identified as having a high risk of erosion. As discussed previously, the proposed project includes the implementation of an erosion control plan and a drainage plan which would minimize the potential for erosion associated with construction activities. Additionally, the proposed project would be subject to the requirements of a coastal development permit for</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 15.1.10 All structures and private utility lines shall be designed and constructed to conform to the standards of the latest adopted Uniform Building Code.</p>	<p>The intent of this policy is to reduce the risks to structures and utilities associated with geologic and seismic hazards.</p>	<p>construction on slopes exceeding 30% and would be constructed in compliance with the CBC. A geotechnical study was prepared for the project which identified potential hazards such as slope and stability issues, as well as appropriate design techniques and mitigation measures for the proposed project (Cleary 2010). Therefore, the proposed project would be consistent with this policy.</p>
<p>Policy 15.1.12 The County shall require grading permits to have an approved site plan which minimizes grading and conforms to the recommendations of a detailed soils or geology investigation where required.</p>	<p>The intent of this policy is to minimize grading and impacts to soils.</p>	<p><u>Potentially Consistent</u>. The proposed project would be constructed in compliance with the CBC and would tie-in to existing utilities. The project would not require the construction or expansion of utility infrastructure. Therefore, the proposed project would be consistent with this policy.</p>
<p>Greater Monterey Peninsula Area Plan (1984)</p>		
<p>Supplemental Policies</p>		
<p>NATURAL RESOURCES</p>		
<p>Geology, Minerals and Soils</p>		
<p>Policy 3.1.1.1. Erosion control procedures shall be established and enforced for all private and public land clearing projects.</p>	<p>The intent of this policy is to reduce the impacts associated with erosion.</p>	<p><u>Potentially Consistent</u>. The project site is located in an area identified as having a</p>

Table 4.5-1. Applicable Local Plans and Policies Relevant to Geology and Soils

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
ENVIRONMENTAL CONSTRAINTS		high risk of erosion. The proposed project includes the implementation of an erosion control plan and a drainage plan which would minimize the potential for erosion associated with construction activities, consistent with this policy.
Seismic and Other Geologic Hazards		
Policy 15.1.11.1. For high hazard areas, the County shall require, as a condition of development approval, a detailed geological investigation and soils report and shall further require, as a condition of approval, that the recommendations of that report be followed.	The intent of this policy is to reduce risk associated with seismic and geologic hazards through geological investigation.	<u>Potentially Consistent.</u> The project site is located in an area identified as being at high risk of erosion. A geotechnical study was prepared for the project, which evaluated geologic and seismic hazard conditions at the project site and provided recommendations for the proposed project to reduce the potential for impacts associated with seismic and geologic hazards (Cleary 2010). <u>Implementation of identified mitigation</u> would ensure all recommendations of the geotechnical study would be implemented and that the proposed project would be consistent with this policy. Therefore, <u>with implementation of identified mitigation</u> , the project would be consistent with this policy.

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.5.3 Thresholds of Significance

The significance of potential impacts associated with soil stability and seismic hazards are based on thresholds identified within Appendix G of the State CEQA Guidelines, which provide the following thresholds for determining impact significance with respect to geology and soils. Impacts would be considered significant if the proposed project would:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.
 - ii) Strong seismic ground shaking?
 - iii) Seismic-related ground failure, including liquefaction?
 - iv) Landslides?
- b) Result in substantial soil erosion or the loss of topsoil?
- c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?
- d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?
- e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

4.5.4 Impact Assessment Methodology

Geologic and seismic information for the project area was derived from various sources and compiled in this chapter to develop a comprehensive understanding of the potential constraints and hazards associated with project construction and operation. Sources of pertinent information include regional geologic maps prepared by the CGS and USGS, the probabilistic seismic hazard assessment of California (California Department of Conservation 1996), and *Geologic Resources and Constraints Monterey County, California, A Technical Report for the Monterey County 21st Century General Plan Update Program* (Rosenberg 2001), all of which reflect the most up-to-date understanding of the regional geology and seismicity.

In addition, geologic and seismic analysis relied on a project-specific geotechnical study prepared by Cleary Consultants, Inc. (2010). The analysis also considers the various existing state and local regulations that apply to geotechnical design and construction, which include the CBC and the Monterey County ordinances for building and grading. Through compliance with the existing ordinances, the applicant would be required to demonstrate that the proposed site uses are compatible with the subsurface geology and local seismic conditions prior to issuance of building permits.

4.5.5 Impact Assessment and Mitigation Measures

4.5.5.1 Expose People or Structures to Seismic Hazards

All of Monterey County is located within a seismically active area; however, there are no known active faults within the immediate proximity of the project site and the site is not located in an area identified as being at high risk of fault rupture, seismic ground shaking, or seismic-related ground failure such as landslides (refer to Figure 4.5-1). The project site is not located in an Alquist-Priolo Earthquake Fault Zone. Although there are several faults in the vicinity of the project site, they are not considered active because they do not exhibit surface displacement that is younger than 11,000 years old and are not considered sufficiently active or well-defined.

Although the project site is located in an area identified as having a high risk of liquefaction, the site-specific geotechnical study determined that the project site is underlain by predominantly non-saturated loose to medium dense clean sand and silty sand underlain by granodiorite bedrock. Based on these conditions, the likelihood of soil liquefaction during strong ground shaking at the site is considered low (Cleary 2010). Design of the structure in accordance with the CBC and recommendations made in the site-specific geotechnical study would ensure the proposed structure could withstand the expected level of ground shaking associated with active faults in the region. Therefore, impacts would be *less than significant with mitigation*.

GEO Impact 1	
Implementation of the proposed project could expose people or structures to substantial adverse effects involving seismic hazards, resulting in a potentially significant impact.	
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>	
GEO/mm-1.1	<i>The project shall be designed to meet or exceed all applicable requirements of the California Building Standards Code. The Applicant shall ensure that all design and construction recommendations provided by Cleary Consultants, Inc. (2010) in the geotechnical study are included on construction specifications and implemented during construction of the proposed project. Prior to issuance of the Combined Development Permit, the Applicant shall submit to the County of Monterey Resource Management Agency – Planning Department, for review and approval, grading and engineering plans that are consistent with this measure.</i>
GEO/mma-1.1.1	<i>The Applicant shall submit grading and engineering plans consistent with this measure to the County of Monterey Resource Management Agency – Planning Department for review and approval to establish compliance with this measure.</i>
<i>Residual Impacts</i>	
With implementation of the above mitigation measure, residual impacts associated with exposure of people and/or structures to potential adverse effects associated with seismic hazards would be <i>less than significant</i> .	

4.5.5.2 Result in Substantial Soil Erosion or the Loss of Topsoil

The project site is located in an area identified as having a high erosion potential (refer to Figure 4.5-1). The proposed project includes construction activities, which would require demolition of the existing single-family residence, and removal of all existing structures and paved areas, foundation, debris, and the landscape irrigation system. Construction would include site clearing, rough grading, and cut and fill activities for the building pad for the proposed new single-family residence and associated built components. Approximately 0.55 acre of the

property is proposed for site preparation, ground disturbance, and/or grading, including 1,200 cubic yards of cut and 500 cubic yards of fill. Approximately 700 cubic yards of excess material would be exported offsite (refer to Figure 2-11, Grading and Drainage Plan). All removed materials would be hauled offsite for recycling or disposal at the MRWMD facility.

Construction and grading activities are expected to last approximately 18 to 24 months. Construction staging areas are also proposed within the construction footprint, within the 30-foot front yard setback along Signal Hill Road. No staging or grading is proposed within the Dune Restoration Area or any adjacent property. The combination of all ground-disturbing construction activities, if not properly managed, could result in increased erosion, loss of topsoil, and the transportation of sediment and/or construction debris off-site during rain events.

The completed project would create a 2,990-square-foot increase in impervious surfaces at the site. An increase in impervious surfaces would prevent surface water infiltration into the ground surface on a portion of the site and would increase the stormwater runoff volume and rate compared to existing conditions, which could also cause erosion and loss of topsoil at the site.

As detailed in the project description, the proposed project includes the implementation of an erosion control plan and a drainage plan. Proposed erosion control measures to be implemented during construction would include installation of silt fencing and sediment rolls; hydroseeding and application of straw following seeding to stabilize soils; storm drain inlet protection, including filter fabric or silt sacks installed around the inlet and on top of the storm drain grate and catch basin; and construction and use of a stabilized construction entrance (refer to Figure 2-12, Erosion Control Plan). Runoff from the site would be retained or filtered by berms, vegetated filter strips, and/or catch basins to prevent the escape of sediment from the site. The proposed drainage plan includes construction of a series of downspout outlets, 12-inch-diameter drainage inlets surrounding the proposed residence, 4- to 6-inch-diameter storm drains, a 6-inch trench drain across the proposed driveway, and two medium rock cobble stilling basins at the storm drain outlets. Stormwater would be directed into the proposed storm drain system, which would flow into the rock cobble stilling basins. All drain system components would be located within the proposed construction footprint (refer to Figure 2-11, Grading and Drainage Plan).

Implementation of the proposed erosion control plan, drainage plan, and compliance with applicable local planning documents would ensure that the proposed project minimizes erosion and sedimentation associated with disturbed soils and creation of new impervious surfaces. Therefore, impacts associated with erosion and loss of topsoil would be *less than significant with mitigation*.

GEO Impact 2
Construction activities and the increase in impervious surfaces as a result of the project would result in increased erosion, loss of topsoil, and the transportation of sediment and/or construction debris off-site during rain events, resulting in a potentially significant impact.
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)
Implement GEO/mm-1.1, GEO/mma-1.1.1, HYD/mm-1.1, HYD/mma-1.1.1, HYD/mm-2.1, and HYD/mma-2.1.1.

GEO Impact 2
<i>Residual Impacts</i>
With implementation of the above mitigation measures, residual impacts associated with soil erosion would be <i>less than significant</i> .

4.5.5.3 Result in On or Off-Site Soil Instability

As discussed previously, the project site is not located in an area identified as being prone to landslide, lateral spreading, subsidence, or collapse. The project site is located within a high liquefaction risk area, as shown on Figure 4.5-1; however, based on site conditions observed during the site-specific geotechnical study, the likelihood of soil liquefaction during strong ground shaking at the site is considered low (Cleary 2010).

The project site is located in an area designated as having a high erosion potential (refer to Figure 4.5-1). Based on NRCS soil mapping resources, the project site is located on dune land soils that are known to have a typical soil profile that consists of 0–60 inches of fine sand (NRCS 2015). Dune land is excessively drained with a very low susceptibility for runoff and is considered very limited for being capable of supporting dwellings, primarily due to slope (NRCS 2015). However, the proposed project would be designed and constructed in accordance with the CBC, which would ensure they are structurally sound and not at risk for landslide, lateral spreading, subsidence, liquefaction, or collapse.

To further ensure that impacts associated with construction and development on potentially unstable soils do not occur, the project shall be designed and constructed in compliance with the recommendations provided in the geotechnical study prepared for the proposed project (Cleary 2010). Therefore, impacts would be *less than significant with mitigation*.

GEO Impact 3
Implementation of the proposed project would result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse due to development being sited on potentially unstable soils.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement GEO/mm-1.1 and GEO/mma-1.1.1.</i>
<i>Residual Impacts</i>
With implementation of the above mitigation measure, residual impacts associated with construction and development on unstable soil would be <i>less than significant</i> .

4.5.5.4 Result in Impacts Associated with Expansive Soil

As discussed previously, the site-specific geotechnical study determined that the project site is underlain by approximately 8 to 14 feet of predominantly loose, medium to fine grained, slightly moist to dry cohesionless clean sand overlying 1 to 5 feet of loose to medium dense silty to clayey sand overlying very dense weathered granodiorite bedrock to 31 feet. The upper clean sand was determined to be non-plastic and non-expansive (plasticity index and free swells =

0%) while the underlying silty to clayey sand has a low to moderate expansion potential (plasticity index = 17% and free swells of 0–50%) based on the test data (Cleary 2010).

The proposed project would include replacing an existing single-family residence with a new single-family residence that would be constructed in accordance with the CBC. Compliance with the CBC, in addition to mitigation measure GEO/mm-1.1 above, would minimize impacts associated with construction and development on expansive soils. Therefore, impacts would be *less than significant with mitigation*.

GEO Impact 4
The project would be located in an area with low to moderately expansive soils that could cause damage to structures and safety hazards as a result of soil instability, resulting in a potentially significant impact.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement mitigation measure GEO/mm-1.1 and GEO/mma-1.1.1.</i>
<i>Residual Impacts</i>
With implementation of the above mitigation measure, residual impacts associated with soil erosion would be <i>less than significant</i> .

4.5.5.5 Have soils incapable of supporting wastewater disposal systems.

The proposed project does not include the installation or use of septic tanks. The project would utilize the existing wastewater collection infrastructure and disposal systems associated with the existing single-family residence. The Pebble Beach CSD, through its contract with the Carmel Area Wastewater District, would provide wastewater collection, treatment, and disposal. Therefore, *no impact* would occur and mitigation is not necessary.

4.5.6 Cumulative Impacts

Implementation of the proposed project and other present and potential future projects have the potential to contribute to the cumulative ground disturbance and development of the Del Monte Forest area, thus increasing exposure of persons and structures to potential seismic and soil instability hazards. Impacts associated with seismic hazards and soil instability are generally considered site-specific and are, therefore, mitigated on a site-specific, individual basis to reduce impacts on each particular structure.

As discussed previously in this section, there are several state and local regulations in place to ensure geologic and seismic hazards are reduced to acceptable levels. Implementation of the mitigation measures provided above would minimize impacts associated with geologic and seismic hazards during construction and operation of the proposed project to a less than significant level. Therefore, implementation of the proposed project would not contribute to a significant cumulative impact related to geologic and seismic hazards. Impacts would be *less than significant* and no additional mitigation is necessary.

4.5.7 References

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4.6 HYDROLOGY AND WATER QUALITY

This section identifies potential impacts to drainage and watershed resources that would result from the proposed project. A watershed is a region, usually defined by ridgelines and topography, which drains into a specified body of water. Watershed-related impacts are those associated with grading and drainage, erosion, stormwater runoff, and water quality that may arise as a result of earth disturbing activities and land development.

4.6.1 Existing Conditions

4.6.1.1 Climate and Topography

The project area is located on the Pacific coast in unincorporated Monterey County. Climate in the area is typically moderate throughout the year with warm, dry summers and cool, moist winters. The average annual temperature in the project area ranges from a low of 48 degrees Fahrenheit (°F), with the lowest average temperature recorded at 43.4°F during the month of January, to a high of 65°F, with the highest average temperature recorded at 71.5°F during the month of September (Western Regional Climate Center 2014). Rainfall primarily occurs between November and April, with the average annual rainfall recorded at 17.73 inches (Western Regional Climate Center 2014). Currently, California is experiencing an unprecedented drought which has led Governor Brown to declare a statewide drought emergency. Year 2013 was recorded as the driest year in history for many areas throughout California, and current conditions suggest the drought is likely to persist (County of Monterey 2015). The USDA has designated all areas of Monterey County as D2 (Severe Drought), D3 (Extreme Drought), or D4 (Exceptional Drought) (USDA 2015).

The project area is located in the Coast Ranges Geomorphic Province. The Coast Ranges are generally northwest-trending mountain ranges that range in elevation from 2,000 to 6,000 feet above msl (CGS 2002). The ranges and valleys within this province are composed of thick Mesozoic and Cenozoic sedimentary strata. The Pacific coastline is uplifted (lifted by tectonic forces), terraced (characterized by raised terraces or platforms formed by wave erosion and shoreline retreat), and wave cut. The project site slopes downward from east to west, with the existing natural grade across the parcel ranging from approximately 50 to 105 feet above msl. The existing residence is located approximately 800 feet east of the Pacific Ocean (0.15 mile), though lower (western) portions of the project parcel extend within less than 500 feet (0.1 mile) of the shoreline.

4.6.1.2 Regional Hydrology

Surface Water

The project site is located within a small unnamed watershed approximately 700 feet from the Pacific Ocean, and is surrounded by the Sawmill Gulch and Seal Rock watersheds to the north that are drained by the Sawmill Gulch and Seal Rock Creeks, respectively (County of Monterey 2012a). The project site is bordered to the south by the Pescadero Watershed that drains to the Carmel Bay Area of Special Biological Significance. The watersheds are shown in Figure 4.6-1.

Figure 4.6-1. Watershed Map



Groundwater

The project site is not located within an identified groundwater basin. The closest groundwater basin is the Seaside Area Subbasin of the Salinas Valley Groundwater Basin, located approximately 3.5 miles east of the project site.

The geotechnical study prepared for the project included seven exploratory borings, and the reported depth to bedrock ranged from 8 to 14 feet below the ground surface. Free water was encountered in two of the seven borings at depths ranging from 10.5 to 16 feet below ground surface. According to the log for boring no. 2, the depth to bedrock was 12 feet and the depth to groundwater was 16 feet. The borings were only open for a period of a few hours; therefore, it is possible that these measurements do not reflect the stabilized water table conditions and actual groundwater depths may vary. Additionally, fluctuations of localized perched groundwater may occur due to variations in rainfall, temperature, runoff, irrigation, and other factors (Cleary 2010).

Stormwater Drainage

The project site is located within an existing residential neighborhood above 17-Mile Drive and is currently developed with an existing 4,125-square-foot single-family residence and approximately 2,825 square feet of asphalt driveway and concrete patios. The remainder of the 2.22-acre lot is composed of undeveloped, pervious, remnant sand dune.

The project site slopes downward from east to west, with the existing residence located at the upper end of the parcel near Signal Hill Road. The existing natural grade underlying the area proposed for development ranges from 105 to 95 feet above msl, resulting in an average grade of 100 feet above msl. Stormwater runoff at the project site generally flows west off the property via sheet flow over a vegetated slope, where it eventually collects in a drainage channel located on the Cypress Point Golf Course before being conveyed through three 36-inch culverts beneath 17-Mile Drive and into the Pacific Ocean.

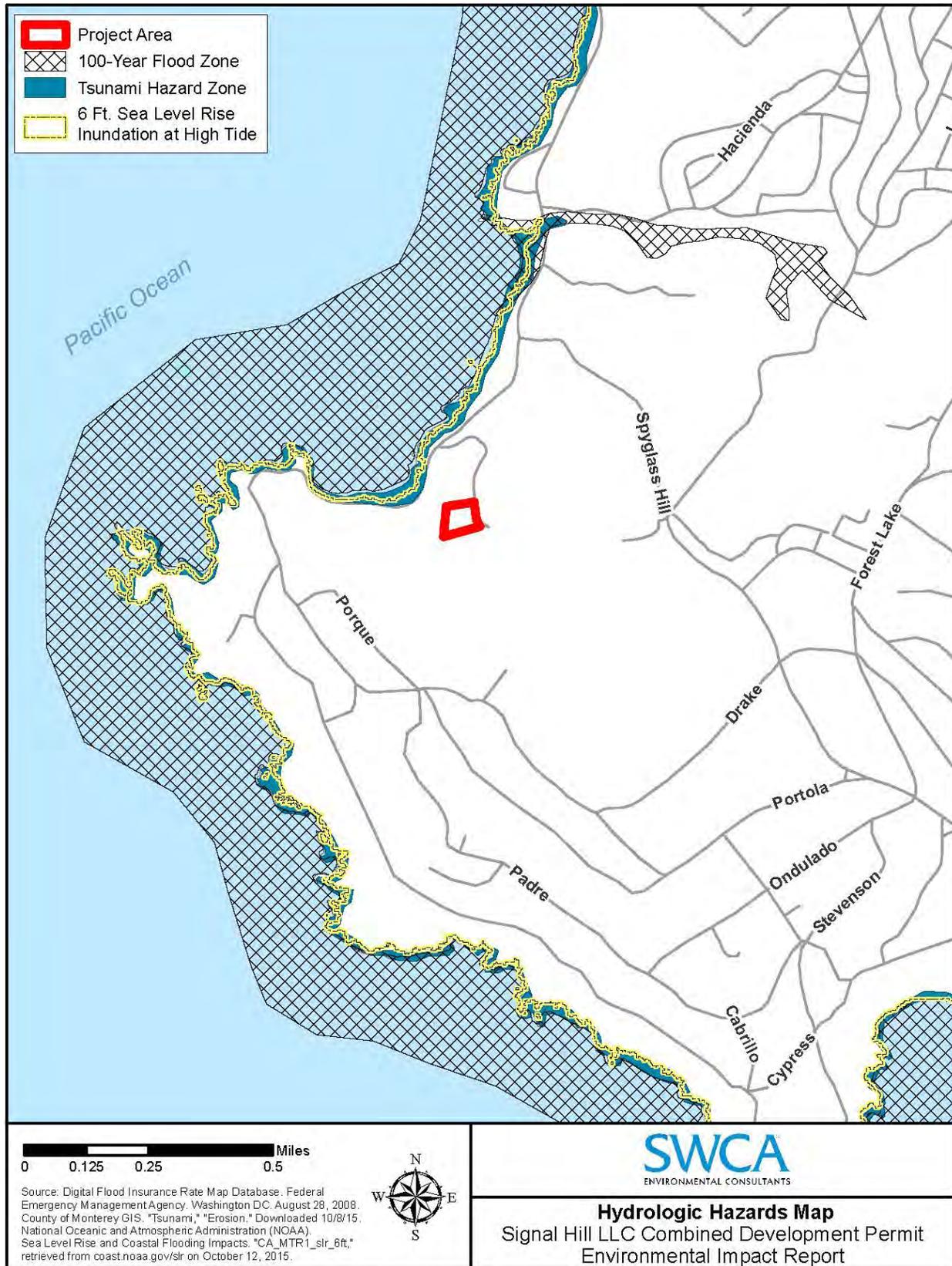
Flooding

The project site is not within a 100-year floodplain designated by the Federal Emergency Management Agency (Map Number 06053C0305G; Federal Emergency Management Agency [FEMA] 2009). Additionally, the site is not located within an area identified by FEMA as being subject to coastal flooding or from sea level rise (FEMA 2015; NOAA 2015), tsunami inundation (CGS 2009), or mudflow (County of Monterey 2010). Figure 4.6-2 shows mapped flood areas and hydrogeologic hazards in the project vicinity.

4.6.1.3 Surface Water Quality

California Clean Water Act §303(d), Threatened and Impaired Waters List, identifies waterbodies that are impaired or are threatened to be impaired by pollutants, and lists 29 water resources on the central coast for various impairments as of Reporting Year 2012 (USEPA 2012). Surface water resources located in the vicinity of the project site, including Seal Rock Creek and the adjacent segment of the Pacific Ocean coastline, are not included on the §303(d) Threatened and Impaired Waters List.

Figure 4.6-2. Hydrologic Hazards Map



The 2012 California Clean Water Act §305(b) National Water Quality Inventory Report, which discloses conditions of all water bodies in the State, including causes of impairment from types of pollution and likely sources of pollution, lists 10 water bodies on the central coast as “impaired” (USEPA 2012). Surface water resources located in the vicinity of the project site, including Seal Rock Creek and the adjacent segment of the Pacific Ocean, are not included on the 2012 California Clean Water Act §305(b) National Water Quality Inventory Report.

The Central Coast RWQCB’s Water Quality Control Plan for the Central Coastal Basin does not identify beneficial uses for the inland surface water resources located in the vicinity of the project site, including Seal Rock Creek. Existing beneficial uses for the segment of coastline parallel to the project site include recreation, navigation, marine habitat, commercial, rare species habitat, and wildlife habitat (RWQCB 2011).

The closest impaired water body in Monterey County is the coastal shoreline along Pacific Grove, Monterey, and Sand City, approximately 4.5 miles northeast of the project site (County of Monterey 2010).

4.6.1.4 Coastal Flooding and Sea Level Change

Coastal flooding can occur following a short- or long-term increase in sea level resulting from a period of abnormally high precipitation and runoff. Wave runup, the maximum vertical extent of wave uprush on a beach or structure above the still water level, can occur in Monterey County as a result of stormy weather combined with strong winds and high tides, particularly during the wet months of November through April. Significant wave runup can contribute to coastal erosion and flooding during these abnormally high precipitation and runoff events. In addition to offshore storm-generated waves, seismically-induced waves (i.e., tsunamis) can occur at any time of year and can also contribute to wave runup and coastal flooding.

Sea level rise, at a global scale, is caused by an increase in the volume of the global ocean, resulting from thermal expansion (i.e., ocean warming), loss of ice by glaciers and ice sheets, and reduction of liquid storage on land (Intergovernmental Panel on Climate Change [IPCC] 2014). Based on the IPCC’s 2014 Assessment Report, global mean sea level rose by 7.48 inches between the years 1901 and 2010. IPCC estimates that a global mean sea level rise of 17.72 to 32.28 inches is likely to occur by 2081–2100, with sea level continuing to rise beyond year 2100 (IPCC 2014). The National Research Council predicts that sea level off the coast of California is expected to rise approximately 39.37 inches over the next century, with sea levels off the coast south of Cape Mendocino (approximately 285 miles north of the project site) rising between 1.57 and 11.81 inches by year 2030, 4.72 to 24.02 inches by 2050, and 16.54 to 65.75 inches by year 2100 (National Research Council 2012; CCC 2015).

The project site is located within the Coastal Zone of Monterey County; however, it is not located in an area designated as being subject to flooding as a result of wave runup, tsunami inundation, or sea level rise (refer to Figure 4.6-2).

4.6.2 Regulatory Setting

4.6.2.1 Federal Regulations

Clean Water Act

The Federal Water Pollution Control Act of 1972 and its 1977 amendments, collectively known as the Clean Water Act (33 U.S.C. §1251 et. seq.), aims to restore and preserve the chemical, physical, and biological integrity of the nation’s waterways by preventing pollution and giving

assistance to publicly owned treatment works for the improvement of wastewater treatment, and to protect the integrity of wetlands. The Clean Water Act regulates the water quality of all discharges into waters of the United States including wetlands and perennial and intermittent stream channels.

Section 303(d), Impaired Water Bodies and Total Maximum Daily Loads

Clean Water Act §303(d) established the total maximum daily load (TMDL) process to guide the application of state water quality standards. To identify candidate water bodies for TMDL analysis, a list of “water quality limited” streams is generated. These streams are impaired by the presence of pollutants, including sediments, and have no additional assimilative capacity for these pollutants.

The project site does not include and is not upstream of any creeks or tributaries that are listed as impaired in SWRCB’s §303(d) list.

Section 402, National Pollutant Discharge Elimination System

The 1972 amendments to the Clean Water Act established the NPDES permit program to control discharges of pollutants from point sources (§402). The 1987 amendments to the Clean Water Act created a new section of the act devoted to stormwater permitting (§402[p]). The USEPA granted the state primary authority in administering and enforcing the provisions of the Clean Water Act and the NPDES permit program. The NPDES permit program is the primary federal program that regulates point-source and non-point-source discharges to waters of the United States. SWRCB issues both general and individual permits for certain activities. Relevant general and individual NPDES permits are discussed under relevant state regulations, below.

4.6.2.2 State Regulations

California Department of Water Resources

The California Department of Water Resources (CDWR) major responsibilities include preparing and updating the California Water Plan to guide development and management of the state's water resources; planning, designing, constructing, operating, and maintaining the State Water Resources Development System; regulating dams; providing flood protection; assisting in emergency management to safeguard life and property; educating the public; and serving local water needs by providing technical assistance. In addition, CDWR cooperates with local agencies on water resources investigations; supports watershed and river restoration programs; encourages water conservation; explores conjunctive use of ground and surface water; facilitates voluntary water transfers; and, when needed, operates a state drought water bank.

State Water Resources Control Board

SWRCB and its nine RWQCBs are the principal state agencies with primary responsibility for the coordination and control of water quality. SWRCB enforces the water quality standards set forth in the Clean Water Act for the State of California on behalf of the USEPA. Most SWRCB objectives are based on the CCR Title 22, State Drinking Water Standards.

NPDES General Construction Permit

Projects disturbing more than 1 acre of land during construction are required to file a Notice of Intent with SWRCB to be covered under the State NPDES General Construction Permit for discharges of stormwater associated with construction activity. The project proponent must implement control measures that are consistent with the State General Permit. A Storm Water

Pollution Prevention Plan must be developed and implemented for each site covered by the General Permit.

The area that would be disturbed under the proposed project is approximately 0.55 acre; therefore, the project would not be required to comply with the General Construction Permit.

Porter-Cologne Water Quality Control Act

The Porter-Cologne Water Quality Control Act requires SWRCB and RWQCBs to adopt water quality criteria to protect state waters. These criteria include the identification of beneficial uses, narrative and numerical water quality standards, and implementation procedures. The Porter-Cologne Water Quality Control Act also requires SWRCB and RWQCBs to ensure the protection of water quality through the regulation of waste discharges.

Under the Porter-Cologne Act, California Water Code §13260 requires that any person discharging waste, or proposing to discharge waste, within any region that could affect the quality of the waters of the State, other than into a community sewer system, must submit a report of waste discharge to the applicable RWQCB. “Waste” is defined in the Water Quality Control Plan for the Central Coast Region (Basin Plan) to include any waste or deleterious material including, but not limited to, waste earthen materials (such as soil, silt, clay, rock, or other organic or mineral material) and any other waste as defined in the California Water Code, §13050(d). Any actions related to the project that would be applicable to California Water Code §13260 would be reported to Central Coast RWQCB.

4.6.2.3 Local Regulations and Policies

County of Monterey

Chapter 16.08 – Grading Ordinance

The County of Monterey Grading Ordinance was adopted to safeguard health, safety, and public welfare; minimize erosion; protect fish and wildlife; and otherwise protect the natural environment of Monterey County. The Grading Ordinance sets forth rules and regulations to control all grading, including excavations, earthwork, road construction, fills, and embankments, and establishes the administration procedure for issuance of permits. The Grading Ordinance also guides approval of plans and inspections of grading construction.

Chapter 16.12 – Erosion Control Ordinance

The County of Monterey Erosion Control Ordinance was adopted to eliminate and prevent conditions of accelerated erosion that have led to, or could lead to, degradation of water quality, loss of fish habitat, damage to property, loss of topsoil or vegetation cover, disruption of water supply, or increased danger from flooding. The Erosion Control Ordinance requires control of all existing and potential conditions of accelerated (human-induced) erosion; sets forth required provisions for project planning, preparation of erosion control plans, runoff control, land clearing, and winter operations; and establishes procedures for administering those provisions.

Chapter 20.147 – Regulations for Development in the Del Monte Forest Land Use Plan Area

The purpose of this chapter is to establish regulations, standards, and procedures to implement the policies of the Del Monte Forest Land Use Plan. These regulations, standards, and procedures apply only to property located within the Del Monte Forest planning area and the Coastal Zone that is subject to the Del Monte Forest Land Use Plan.

The intent of §20.147.030 is to ensure that the water quality and biological value of the Del Monte Forest's coastal streams, wetlands, open coastal waters, and the Carmel Bay are protected and maintained, including through application of adequate buffers and setbacks, maintaining hydrologic inputs, protecting riparian and wetland vegetation, carefully controlling grading to minimize erosion and sedimentation, and effectively collecting, filtering, and treating runoff.

Monterey County Water Resources Agency

The Monterey County Water Resources Agency (MCWRA) is the local administrator of the National Flood Insurance Program. Development is not proposed in a FEMA-designated Special Flood Hazard Area, within 200 feet of a river, or within 50 feet of a watercourse; therefore, Monterey County Code Chapter 16.16 does not apply.

Central Coast Regional Water Quality Control Board

Resolution R3-2013-0032c, Central Coast Post-Construction Stormwater Requirements

The project site is located outside the Phase II Municipal General Permit area of applicability; therefore, the Post-Construction Stormwater Management Requirements for Development Projects in the Central Coast Region (Resolution No. R3-2013-0032, July 12, 2013) do not apply.

4.6.2.4 Applicable State, Regional and Local Land Use Plans and Policies Relevant to Hydrology and Water Quality

Table 4.6-1 lists applicable state, regional, and local land use policies and regulations pertaining to hydrology and water quality that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented in Section 4.6.2, Regulatory Setting, and Chapter 3, Environmental Setting. Also included in Table 4.6-1 is an analysis of project consistency with identified policies and regulations. Where the analysis concludes the proposed project would potentially conflict with the applicable policy or regulation, the reader is referred to Section 4.6.5, Impact Assessment and Mitigation Measures, for additional discussion.

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest Land Use Plan Key Policies		
<p>Freshwater and Marine Resources: The water quality and biological value of the Del Monte Forest’s coastal streams, wetlands, open coastal waters, and the Carmel Bay shall be protected and maintained, including through application of adequate buffers and setbacks, maintaining hydrologic inputs, protecting riparian and wetland vegetation, carefully controlling grading to minimize erosion and sedimentation, and effective collection, filtration, and treatment of runoff.</p>	<p>The intent of this policy is to ensure that proposed projects do not result in adverse impacts to coastal streams, wetlands, and coastal waters.</p>	<p><u>Potentially Consistent</u>. The proposed project is located on a stabilized sand dune and would not affect open coastal or freshwater resources. However, the site contains a small, one-parameter, coastal wetland dominated by Mexican rush in the area of proposed dune restoration activities. Mitigation has been identified to ensure dune restoration activities do not adversely affect the wetland (refer to BIO/mm-4.1 and BIO/mm-4.2). <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
Resource Management Element		
<i>FRESHWATER AND MARINE RESOURCE POLICIES</i>		
<p>Policy 1. New development shall be sited and designed to minimize runoff, site disturbance, erosion, and sedimentation. All new development shall be designed to conform to site topography as much as possible. New residential driveways and other vehicular surfaces shall be kept to the minimum length and width to provide simple, direct access, and surfaces shall be designed to minimize runoff (including through use permeable materials, filtration strips, and use of engineered collection/treatment units). Other impervious vehicular surfaces shall be limited to the minimum required to meet daily (not occasional) parking needs. This policy shall not be read to preclude safe bicycle lanes or adequate parking for commercial visitor-serving development and access points.</p>	<p>The intent of this policy is to minimize runoff, site disturbance, erosion, and sedimentation.</p>	<p><u>Potentially Consistent</u>. The project design includes an increase in existing impervious surfaces; however, the new concrete driveway includes a 6-inch trench drain to minimize runoff. The proposed 858-square-foot driveway barely extends beyond the required lot setback and is, therefore, the minimum length necessary to serve the proposed development and would provide simple, direct access to the residence from Signal Hill Road (refer to Figure 2-4), consistent with this policy. The project includes proposed erosion control and drainage plans that would reduce erosion</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 3. Grading and site preparation activities shall incorporate design features to prevent soil erosion, repair existing erosion damage within the development footprint and prevent pollution of coastal waters.</p>	<p>The intent of this policy is to prevent soil erosion and prevent pollution of coastal waters.</p>	<p>potential and direct stormwater into the proposed on-site storm drain system. Implementation of the proposed erosion control plan and drainage plan would ensure that stormwater runoff would be dispersed at multiple points with erosion control measures at the outlets, consistent with this policy.</p>
<p>Policy 4. All development shall employ adequate erosion/sediment control and water quality construction best management practices (BMPs) during construction, and all such BMPs shall be in place prior to the commencement of construction and shall be maintained in good operating condition through the construction period.</p>	<p>The intent of this policy is to ensure that all new development employ adequate erosion/sediment control and water quality BMPs.</p>	<p><u>Potentially Consistent.</u> The proposed project includes an erosion control plan which requires implementation of erosion control measures such as the installation of silt fencing and sediment rolls, hydroseeding and application of straw following seeding to stabilize soils, storm drain inlet protection including filter fabric or silt sacks installed around the inlet and on top of the storm drain grate and catch basin, and construction and use of a stabilized construction entrance (refer to Figure 2-12, Erosion Control Plan). Runoff from the site would be retained or filtered by berms, vegetated filter strips, and/or catch basins to prevent the escape of sediment from the site, consistent with this policy.</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 5. Erosion control measures (e.g., native vegetation cover, temporary vegetation, seeding, mulching, or other suitable stabilization methods) shall be used to protect soils that have been disturbed during grading or development. Manufactured slopes shall be stabilized as soon as possible with planting of native annual grasses and shrubs, appropriate native compatible plants, and with approved landscaping.</p>	<p>The intent of this policy is to ensure erosion control measures are implemented to protect soils disturbed during grading or development.</p>	<p>basin, and construction and use of a stabilized construction entrance (refer to Figure 2-12, Erosion Control Plan). Mitigation has been identified that requires installation of these controls prior to the commencement of construction and regular inspection and maintenance throughout the duration of construction. <u>With implementation of identified mitigation, the project would be consistent with this policy.</u></p>
<p>Policy 6. Provisions shall be made to collect and conduct runoff to drainage areas/devices capable of polluted runoff filtration/treatment (e.g., vegetated filtration strips, detention/retention basins, storm drains, etc.) to ensure maximum on-site filtration/treatment. Permanent onsite drainage areas/devices shall be designed to accommodate increased runoff resulting from site modification. Where necessitated by good drainage design considerations, on-site retention of storm water may be considered to reduce the size requirements for drainage structures, consistent with resource protection policies.</p>	<p>The intent of this policy is to ensure maximum on-site filtration/treatment of runoff.</p>	<p><u>Potentially Consistent.</u> The proposed project includes implementation of a drainage plan, which would direct stormwater into the proposed on-site storm drain system. All drain system components would be located within the proposed construction footprint (refer to Figure 2-11, Grading and Drainage Plan) and all runoff would be dispersed at multiple points with erosion control measures at the outlets.</p>
<p>Policy 7. Dumping of spoil (dirt, garbage, refuse, etc.) into riparian habitat and drainage courses shall be prohibited.</p>	<p>The intent of this policy is to prevent dumping of spoil into riparian habitat and drainages.</p>	<p><u>Potentially Consistent.</u> The proposed project would not include dumping of spoil into riparian habitat or drainage courses. All removed materials associated with demolition and construction would be hauled offsite for</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
recycling or disposal at the MRWMD facility.		
HAZARDS		
<p>Policy 43. No habitable structures shall be permitted along the shoreline in areas subject to storm wave run-up. New development shall be sited and designed in such a manner as to avoid the need for shoreline armoring and/or other such shoreline altering development over the development’s lifetime, and shall include enforceable provisions for addressing any future bluff retreat/erosion danger to the development without shoreline armoring (e.g., moving the development, removing the development, etc.). In addition, bluff and cliff top development shall be permitted only if design and setback provisions are adequate to assure stability and structural integrity for the development’s lifetime and if the development (including associated storm runoff, foot traffic, grading, and irrigation) will neither create nor contribute significantly to erosion problems or geologic instability of the site or surrounding area. Development on bluff faces shall be prohibited except for public access pathways, including stairways.</p>	<p>The intent of this policy is to restrict development of habitable structures in areas subject to storm wave run-up.</p>	<p><u>Potentially Consistent</u>. The project site is not located on a bluff face or top, cliff, or within a FEMA-designated storm wave run-up zone, and the site would not be adversely affected by flooding as a result of sea level rise in the future (refer to Figure 4.6-2).</p>
Land Use and Development Element		
LAND USE AND DEVELOPMENT POLICIES		
<p>Policy 78. Development on slopes of 30% or more is prohibited unless such siting better addresses LUP objectives as a whole when compared to other possible siting alternatives on slopes of less than 30% associated with projects and/or sites.</p>	<p>The intent of this policy is to restrict development on slopes of 30% or more.</p>	<p><u>Potentially Consistent</u>. The project would be located within and proximate to the previously disturbed and graded portions of the site. Alternative site locations would require construction in areas containing relatively undisturbed dune habitat at natural grades, which would be inconsistent with LUP policies. The proposed development on 30% slopes would be limited to the proposed driveway, which would be constructed across a steep decline from Signal Hill Road to the proposed residence. There</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Monterey County Coastal Implementation Plan		
Part 1 Title 20 Zoning Ordinance		
20.64.230 – DEVELOPMENT ON SLOPES IN EXCESS OF 30%		
<p>20.64.230 Regulations for Development on Slopes in Excess of 30%</p> <p>A. Purpose: The purpose of this Section is to establish regulations, procedures and standards to consider development on slopes in excess of 30% (25% in North County). In areas within the North County Land Use Plan boundaries 25% shall replace 30% throughout this Section.</p> <p>B. Applicability: The provisions of this Section are applicable in all zoning districts for all proposed development on slopes in excess of 30%.</p> <p>C. Regulations.</p> <ol style="list-style-type: none"> 1. All development on slopes of 30% or more requires a Coastal Development Permit, except as provided in Section 20.64.230 (C) (2) and (3). 2. The following development may be allowed on slopes exceeding 30% provided a Coastal Administrative Permit is first obtained: <ol style="list-style-type: none"> a. soils tests, percolation tests, geologic tests and similar exploratory tests; b. excavations on man-made slopes provided: <ol style="list-style-type: none"> i.) the excavation does not exceed 100 hundred cubic yards; and ii.) the excavation does not exceed 2 feet in depth; and 	<p>The intent of this policy is to regulate development on slopes greater than 30%.</p>	<p>are no feasible alternatives that would avoid development on slopes without creating other LUP inconsistencies; therefore, the proposed project is potentially consistent with this policy.</p> <p><u>Potentially Consistent.</u> The proposed driveway would be constructed across the steep downward slope from Signal Hill Road to the proposed residence (30% slopes or more); therefore, a Coastal Development Permit is required, consistent with this policy. The project does not appear to fall within any of the stated exceptions to the Coastal Development Permit requirement (i.e., it does not include soil testing, excavation or fill on man-made slopes, or an addition to an existing structure, and the project would require a total of approximately 1,200 cubic yards of cut and 500 cubic yards of fill, amounts exceeding the exception thresholds).</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<ul style="list-style-type: none"> iii.) the excavated slopes is not steeper than the 1-1/2 horizontal to 1 vertical; c. fills on man-made slopes provided: <ul style="list-style-type: none"> i.) the fill contains earth material only; and ii.) the fill does not exceed 100 cubic yards; and iii.) the fill does not exceed 2 feet in depth; and iv.) the fill is not placed on a man-made slope in excess of 1-1/2 horizontal to 1 vertical. d. additions to existing structures on natural or man-made slopes provided the addition does not exceed 120 square feet on the slope area. 3. Internal remodeling and second story additions of portions of structures existing on slopes of 30% or more are exempt from Coastal Development Permit and Coastal Administrative Permits provided such remodeling or additions causes no site disturbance on slopes of 30% or more. 	<p>The intent of this objective is to ensure compliance with the provisions of SWRCB's "Water Quality Control Plan for Ocean Waters of California" (Ocean Plan), "Water Quality Control Plan for Control of Temperature in the Coastal and Interstate Waters and Enclosed Bays and Estuaries of California" (Thermal Plan), and any revisions thereto for affected waters for the basin, Monterey Bay, and Carmel Bay.</p>	<p><u>Potentially Consistent</u>. The proposed project would include the implementation of an erosion control plan and a drainage plan that would ensure that stormwater runoff and pollutants are controlled on-site, erosion is minimized, and impacts to surrounding water resources do not occur as a result of the proposed project.</p>
<p><i>Water Quality Control Plan for the Central Coastal Basin. Regional Water Quality Control Board, Central Coast Region (Region 3)</i></p>		
<p>Chapter 3. Water Quality Objectives</p>		
<p>II.A.1. Objectives for Ocean Water</p>		
<p>The provisions of the State Board's "Water Quality Control Plan for Ocean Waters of California" (Ocean Plan), "Water Quality Control Plan for Control of Temperature in the Coastal and Interstate Waters and Enclosed Bays and Estuaries of California" (Thermal Plan), and any revisions thereto shall apply in their entirety to affected waters of the basin. The Ocean and Thermal Plans shall also apply in their entirety to Monterey Bay and Carmel Bay.</p>	<p>The intent of this objective is to ensure compliance with the provisions of SWRCB's "Water Quality Control Plan for Ocean Waters of California" (Ocean Plan), "Water Quality Control Plan for Control of Temperature in the Coastal and Interstate Waters and Enclosed Bays and Estuaries of California" (Thermal Plan), and any revisions thereto for affected waters for the basin, Monterey Bay, and Carmel Bay.</p>	<p><u>Potentially Consistent</u>. The proposed project would include the implementation of an erosion control plan and a drainage plan that would ensure that stormwater runoff and pollutants are controlled on-site, erosion is minimized, and impacts to surrounding water resources do not occur as a result of the proposed project.</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>II.A.4. Objectives for Ground Water II.A.4.a. General Objectives The following objectives apply to all ground waters of the basin.</p> <p><i>Tastes and Odors</i> Ground waters shall not contain taste or odor producing substances in concentrations that adversely affect beneficial uses.</p> <p><i>Radioactivity</i> Radionuclides shall not be present in concentrations that are deleterious to human, plant, animal, or aquatic life; or result in the accumulation of radionuclides in the food web to an extent which presents a hazard to human, plant, animal, or aquatic life.</p>	<p>The intent of this objective is to protect the quality of groundwater within the basin.</p>	<p>Potentially Consistent. The project site is not located within a groundwater basin and there are no beneficial uses identified for groundwater beneath the project site. Implementation of the erosion control plan and drainage plan would ensure that impacts to groundwater do not occur as a result of the proposed project.</p>
Chapter 4. Implementation Plan		
<p>I. Regional Water Quality Control Board Goals To ensure that the water resources of the Central Coastal Basin are preserved for future generations of Californians, the California Regional Water Quality Control Board, Central Coast Region, determined it was desirable to establish certain planning goals. These goals pertain to utilization of the basin's water resources and guidelines for control of waste discharges, as follows:</p> <ol style="list-style-type: none"> 1. Protect and enhance all basin waters, surface and underground, fresh and saline, for present and anticipated beneficial uses, including aquatic environmental values. 2. The quality of all surface waters shall allow unrestricted recreational use. 3. Manage municipal and industrial wastewater disposal as part of an integrated system of fresh water supplies to achieve maximum benefit of fresh water resources for present and future beneficial uses and to achieve harmony with the natural environment. 4. Achieve maximum effective use of fresh waters through reclamation and recycling. 5. Continually improve waste treatment systems and processes to assure consistent high quality effluent based on best economically achievable technology. 	<p>The intent of these goals is to ensure that the water resources of the Central Coastal Basin are preserved for future generations of Californians.</p>	<p>Potentially Consistent. The proposed project would include the implementation of an erosion control plan and a drainage plan that would facilitate infiltration of stormwater runoff into the groundwater table and would ensure that stormwater runoff, sediment, and pollutants are controlled on-site, that erosion is minimized, and that adverse impacts to surrounding water resources do not occur as a result of the proposed project.</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>6. Reduce and prevent accelerated (man-caused) erosion to the level necessary to restore and protect beneficial uses of receiving waters now significantly impaired or threatened with impairment by sediment.</p>		
County of Monterey General Plan (1982)		
Goals, Objectives, and Policies for Natural Resources		
WATER RESOURCES		
<p>Goal 5: To conserve and enhance the water supplies in the county and adequately plan for the development and protection of these resources and their related resources for future generations</p>	<p>The intent of this goal is to conserve and enhance the county’s water supplies and resources.</p>	<p><u>Potentially Consistent.</u> The proposed project is not located within a critical watershed or within a groundwater basin or important recharge area. The project includes the implementation of an erosion control plan and drainage plan to minimize the potential for impacts to water resources associated with construction and development of the project.</p>
<p>Policy 5.1.1 Vegetation and soil shall be managed to protect critical watershed areas.</p>	<p>The intent of this policy is to protect and preserve critical watershed areas.</p>	<p><u>Potentially Consistent.</u> The project is not located within a critical watershed; however, the project plans and mitigation identified in the EIR include erosion control measures and native plant restoration to minimize potential impacts to the local watershed.</p>

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Policy 5.1.2 Land use and development shall be accomplished in a manner to minimize runoff and maintain groundwater recharge in vital water resource areas.	The intent of this policy is to protect and preserve watersheds and recharge areas, particularly those critical for the replenishment of reservoirs and aquifers.	<u>Potentially Consistent.</u> Although the project site is not located within a groundwater basin or important recharge area, the proposed project includes the implementation of a drainage plan, which would direct stormwater into the proposed on-site storm drain system and prevent off-site runoff. Implementation of the drainage plan would ensure that stormwater runoff is controlled, consistent with this policy.
Policy 6.1.1 Increased uses of groundwater shall be carefully managed, especially in areas known to have ground water overdrafting.	The intent of this policy is to eliminate overdrafting of groundwater resources.	<u>Potentially Consistent.</u> The proposed project would not substantially change water demands at the site from those associated with the existing single family residential use. The proposed project has an Authorization for Water Permit, signed by the MPWMD on July 26, 2011 for use of water provided by Cal Am. The proposed project would tie-in to existing water supply infrastructure. The MPWMA is responsible for managing its water supply.
Policy 6.1.2 Water conservation measures for all types of land uses shall be encouraged.	The intent of this policy is to encourage water conservation.	<u>Potentially Consistent.</u> The proposed project would include the construction of a new single-family residence in compliance with the California Building Standards Code, which requires the use of water conserving plumbing fixtures. Additionally, the project includes implementation of a landscape plan which would not require irrigation, consistent with this policy.

Table 4.6-1. Applicable Local Plans and Policies Relevant to Hydrology and Water Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Goals, Objectives, and Policies for Air and Water Resources		
<p>Goal 21: To ensure that the County’s water quality is protected and enhanced to meet all beneficial uses, including domestic, agricultural, industrial, recreational, and ecological.</p>	<p>The intent of this goal is to protect the County’s water quality.</p>	<p><u>Potentially Consistent</u>. The proposed project is not located within a critical watershed or within a groundwater basin or important recharge area. The project includes the implementation of an erosion control plan and a drainage plan to minimize the potential for impacts to water resources associated with construction and development of the project.</p>
<p>Policy 21.2.1 The County shall require all new and existing development to meet federal, state, and County water quality regulations.</p>	<p>The intent of this policy is to ensure all development meets applicable water quality standards.</p>	<p><u>Potentially Consistent</u>. The proposed project incorporates Best Management Practices for erosion and stormwater through implementation of the erosion control plan and drainage plan, consistent with this policy.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.6.3 Thresholds of Significance

The significance of potential hydrology or water quality impacts are based on thresholds identified within Appendix G of the State CEQA Guidelines and the County's Initial Study Checklist, which provide the following thresholds for determining impact significance with respect to hydrology and water quality resources. Impacts would be considered significant if the proposed project would:

- a) Violate any water quality standards or waste discharge requirements?
- b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?
- c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site?
- d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-or off-site?
- e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?
- f) Otherwise substantially degrade water quality?
- g) Place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?
- i) Expose people or structures to a significant risk of loss, injury, or death involving flooding, including flooding as a result of the failure of a levee or dam?
- j) Be subject to inundation by seiche, tsunami, or mudflow?

4.6.4 Impact Assessment Methodology

An impact to water quality would occur if the proposed project results in the discharge of pollutants into ground or surface waters. Impacts to the movement of water may occur if the project would affect stormwater runoff, including existing drainage infrastructure, resulting in flooding, erosion, and sedimentation. Potential impacts are assessed based on site topography, the proposed layout and elevations of potential project components, the erodibility of soils, existing drainage patterns, and the regulatory framework applicable to the project. The proposed project design and preliminary grading and drainage plans incorporate applicable hydrological standards, and consider other site conditions and geologic hazards.

4.6.5 Impact Assessment and Mitigation Measures

4.6.5.1 Violate Any Water Quality Standards

Construction-Related Impacts

The proposed project includes construction activities that would require demolition of the existing single-family residence, removal of all existing structures and paved areas, foundation, debris, and landscape irrigation system. Construction would include site clearing, rough grading, and cut and fill activities for the building pad for the proposed new single-family residence and associated built components. Activities within an approximately 0.55-acre construction area would include site preparation, ground disturbance, and/or grading, including 1,200 cubic yards of cut and 500 cubic yards of fill for the demolition of the existing residence and construction of the new residence and ancillary components. Approximately 700 cubic yards of excess material would be exported offsite (refer to Figure 2-11, Grading and Drainage Plan). The project also includes restoration of approximately 1.67 acres of degraded dune habitat. Proposed dune restoration would include eradication of exotic species using broadcast spraying and hand removal techniques, and replanting and maintenance of native species. If sand stabilization is determined necessary, bundles of sterile rice straw may be inserted into the sand to stabilize the area. Some ground disturbance would occur within the Dune Restoration Area during exotic species eradication and native species planting and sand stabilization activities, if necessary; however, no staging, grading, or heavy equipment use is proposed.

All removed materials would be hauled offsite for recycling or disposal at the MRWMD facility. Construction and grading activities are expected to last approximately 18 to 24 months. Construction staging areas are also proposed within the construction footprint, within the 30-foot front yard setback along Signal Hill Road.

Total project grading would occur over an approximately 6-week period. The combination of all ground-disturbing construction activities, if not properly managed, could result in increased erosion and the transportation of sediment and/or construction debris off-site during rain events and result in the increased sedimentation or contamination of adjacent drainages that deposit directly into the Pacific Ocean.

As detailed in Chapter 2, Project Description, the proposed project includes erosion control measures to be implemented during construction, including installation of silt fencing and sediment rolls, hydroseeding and application of straw following seeding to stabilize soils, storm drain inlet protection, including filter fabric or silt sacks installed around the inlet and on top of the storm drain grate and catch basin, and construction and use of a stabilized construction entrance (refer to Figure 2-12, Erosion Control Plan). Runoff from the site would be dispersed at multiple points with erosion control at the outlets.

Proper implementation and maintenance of the proposed erosion control plan would ensure that the proposed project minimizes erosion and sedimentation associated with disturbed soils, and prevents the inadvertent transport and/or release of contaminants that could impact surrounding water resources. Therefore, impacts would be *less than significant with mitigation*.

HYD Impact 1	
<p>During construction, the proposed project would require grading on slopes in excess of 30%, which may result in increased runoff, erosion, and sedimentation associated with soil disturbance, potentially violating water quality standards during construction, resulting in a potentially significant impact.</p>	
<p>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</p>	
<p>HYD/mm-1.1</p>	<p><i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit an erosion control plan to the County of Monterey Resource Management Agency for review and approval.</i></p> <p><i>All identified erosion control measures shall be in place prior to the start of construction. The County of Monterey Resource Management Agency shall periodically conduct subsequent inspections of the site throughout the duration of construction, including prior to the start of construction and prior to permit final, to:</i></p> <ol style="list-style-type: none"> <i>a. Ensure all identified erosion control measures are in place prior to the start of construction;</i> <i>b. Assess the adequacy of the best management practices and controls in place to reduce pollutant loadings and ensure they were properly installed and are functioning appropriately;</i> <i>c. Determine whether implementation of additional best management practices or corrective measures are needed; and</i> <i>d. Ensure all disturbed areas have been stabilized and all erosion control measures that are no longer needed have been removed.</i> <p><i>Requirements of the approved erosion control plan and drainage plan shall be included on all construction specifications.</i></p>
<p>HYD/mma-1.1.1</p>	<p><i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit an erosion control plan to the County of Monterey Resource Management Agency – Environmental Services for review and approval to establish compliance with this measure.</i></p>
<p>Residual Impacts</p>	
<p>With implementation of the above mitigation measure, residual construction-related impacts to hydrology and water quality would be <i>less than significant</i>.</p>	

Operational Impacts

The project would result in a 2,990-square-foot increase in impervious surfaces at the site. An increase in impervious surfaces would prevent surface water infiltration into the ground surface on a portion of the site and would increase the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern at the site.

As detailed in the project description, the proposed project includes a drainage plan that includes construction of a series of downspout outlets, 12 x 12-inch drainage inlets surrounding the proposed residence, 4- to 6-inch diameter storm drains, a 6-inch trench drain across the proposed driveway, and erosion control measures at the storm drain outlets. All drain system components would be located within the proposed construction footprint (refer to Figure 2-11, Grading and Drainage Plan).

Proper implementation and maintenance of the proposed drainage plan would ensure that the proposed project mitigates potential impacts from increased stormwater runoff. Therefore, impacts would be *less than significant with mitigation*.

HYD Impact 2	
After construction, the proposed project would increase impervious surfaces at the project site, potentially increasing the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern, resulting in a potentially significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
HYD/mm-2.1	<p><i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit a drainage plan to the County of Monterey Resource Management Agency – Environmental Services for review and approval.</i></p> <p><i>Upon completion of construction, and periodically thereafter as necessary, the County of Monterey Resource Management Agency – Environmental Services shall inspect the site to ensure the following:</i></p> <ul style="list-style-type: none"> <i>a. All best management practices and drainage facilities are properly installed and functioning properly; and</i> <i>b. The best management practices and drainage facilities are adequate to control erosion and stormwater runoff.</i>
HYD/mma-2.1.1	<i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit a drainage plan in compliance with this measure to the County of Monterey Resource Management Agency to establish consistency with this measure.</i>
Residual Impacts	
With implementation of the above mitigation measure, residual operational impacts to hydrology and water quality would be <i>less than significant</i> .	

4.6.5.2 Substantially Deplete Groundwater Supplies

The project site is located approximately 800 feet east of the Pacific Ocean and is not located within a designated groundwater basin. The closest groundwater basin is the Seaside Area Subbasin of the Salinas Valley Groundwater Basin, located approximately 3.5 miles east of the project site.

Based on the results of a geotechnical study prepared for the project area, the depth to bedrock ranged from 8 to 14 feet below the ground surface in seven exploratory borings. Free water was encountered in two of seven borings. According to the log for boring no. 2, the depth to bedrock was 12 feet and the depth to groundwater was 16 feet. In boring no. 7, the depth to bedrock was 14 feet and the depth to groundwater was 10.5 feet (Cleary 2010).

The proposed project includes the demolition of the existing single-family residence and the development of a new single-family residence and associated built components. Although groundwater levels have the potential to be shallow within the project site, and ground disturbance, such as grading and cut and fill activities is proposed, any potential impacts or dewatering activities would be temporary and minor. Groundwater resources beneath the project site do not have a designated beneficial use.

Operation of the proposed project would include water use by the new single-family residence. The proposed use would not result in a significant increase in water demand over existing uses, as discussed in Section 4.7.9, Public Services and Utilities. Therefore, implementation of the proposed project would not substantially deplete groundwater supplies or interfere with groundwater recharge. Impacts would be *less than significant* and mitigation is not necessary.

4.6.5.3 Result in Substantial Erosion or Siltation On- or Off-Site

The proposed project includes construction activities that would require demolition of the existing single-family residence and removal of all existing structures, paved areas, foundation, debris, and the landscape irrigation system. Construction would include site clearing, rough grading, and cut and fill activities for the building pad for the proposed new single-family residence and associated built components. Implementation of the aforementioned construction activities would result in the alteration of existing drainage patterns on-site, which could contribute to increased erosion and sedimentation on- and off-site.

Additionally, the completed project would create a 2,990-square-foot increase in impervious surfaces at the site, which would prevent surface water infiltration into the ground surface within the developed footprint and would increase the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern at the site.

As discussed previously, the proposed project includes the implementation of erosion control measures during construction such as the installation of silt fencing and sediment rolls, hydroseeding and application of straw following seeding to stabilize soils, storm drain inlet protection including filter fabric or silt sacks installed around the inlet and on top of the storm drain grate and catch basin, and construction and use of a stabilized construction entrance (refer to Figure 2-12, Erosion Control Plan).

The proposed project also includes a drainage plan, which includes construction of a series of downspout outlets, 12 × 12-inch drainage inlets surrounding the proposed residence, 4- to 6-inch diameter storm drains, a 6-inch trench drain across the proposed driveway, and erosion control measures at the storm drain outlets. All drain system components would be located within the proposed construction footprint (refer to Figure 2-11, Grading and Drainage Plan).

The proposed project would alter the existing drainage pattern located on the project site; however, this would not involve the alteration of an existing surface water resource such as a stream or river. Based on existing site conditions, including slope, sandy soils, and proximity to the ocean (800 feet west), it is expected that surface water runoff that does not percolate into the sand is likely conveyed to the ocean in the form of sheet flow. With adequate implementation and maintenance of the proposed erosion control plan and drainage plan, the proposed project would not substantially alter the drainage pattern beyond the construction footprint and would not alter off-site drainage patterns. Therefore, impacts would be *less than significant with mitigation*.

HYD Impact 3
The project would alter the existing drainage pattern both during and following construction, which could contribute to increased erosion and sedimentation on- and off-site, resulting in a potentially significant impact.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement HYD/mm-1.1, HYD/mma-1.1.1, HYD/mm-2.1, and HYD/mma-2.1.1.</i>
<i>Residual Impacts</i>
With implementation of the above mitigation measures, residual impacts related to increased erosion and siltation would be <i>less than significant</i> .

4.6.5.4 Substantially Increase Surface Runoff

As discussed previously, construction of the proposed project includes approximately 0.55 acres of site preparation, ground disturbance, and grading, including 1,200 yards of cut and fill. Construction activities would alter the existing drainage pattern on-site; however, they would not result in the alteration of a stream or river. Alteration of the existing drainage patterns could result in an increase in the existing peak flow levels on-site; however, due to the sloping topography of the area, and surrounding dune habitat, the increased peak flows are not expected to result in flooding on- or off-site.

Development of the proposed project would result in a 2,990-square-foot increase in impervious surfaces within the project site associated with the new building pad and paved areas. The increase in impervious surfaces would prevent surface water infiltration within the developed footprint and would increase the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern at the site.

As discussed previously, implementation of the proposed drainage plan would ensure that impervious surface stormwater runoff is dispersed at multiple points with erosion control measures at the outlets. Therefore, impacts would be *less than significant with mitigation*.

HYD Impact 4
The project would increase impervious surfaces at the site, which would increase stormwater runoff volume and rate compared to existing conditions potentially causing erosion, increased peak flows, and other impacts to the existing drainage pattern, resulting in a potentially significant impact.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement HYD/mm-1.1, HYD/mma-1.1.1, HYD/mm-2.1, and HYD/mma-2.1.1.</i>
<i>Residual Impacts</i>
Implementation of the above mitigation measure would ensure that the proposed project does not substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site, and residual impacts would be <i>less than significant</i> .

4.6.5.5 Create Substantial Additional Sources of Polluted Runoff

As discussed previously, development of the proposed project would result in a 2,990-square-foot increase in impervious surfaces on the site, which would contribute to an increase in stormwater runoff and could potentially create additional sources of polluted runoff. However, with the implementation of the proposed drainage plan, impervious surface stormwater runoff would be dispersed at multiple points onsite with erosion control measures at the outlets. Impacts would be *less than significant* and no additional mitigation is necessary.

4.6.5.6 Otherwise Substantially Degrade Water Quality

Impacts to water quality that could occur as a result of the proposed project are limited to erosion, sedimentation, and increased stormwater runoff associated with construction activities and development of increased impervious surfaces. Implementation of the erosion control plan and drainage plan are expected to minimize the potential for impacts to water quality associated with the proposed project. No additional impacts are anticipated. Therefore, impacts are expected to be *less than significant* and no additional mitigation is necessary.

4.6.5.7 Place Housing within a 100-Year Flood Hazard Area

As discussed in the Existing Setting section and shown in Figure 4.6-1, the project site is not located within a 100-year floodplain designated by FEMA (Map Number 06053C0305G; FEMA 2009) or other flood hazard delineation map. All built components of the proposed project would be located within the construction footprint, which is not located within a 100-year floodplain. The proposed project would not result in the development of housing within a 100-year flood hazard area. Therefore, *no impact* would occur and no mitigation is necessary.

4.6.5.8 Impede or Redirect Flood Flows

As discussed above, the project site is not located within a 100-year floodplain and no components of the proposed project would be located within a 100-year floodplain. The proposed project would not place structures within a 100-year flood hazard area which would impede or redirect flood flows. Therefore, *no impact* would occur and no mitigation is necessary.

4.6.5.9 Expose People or Structures to Flooding

The project site is not located within a designated dam inundation zone as identified by the County of Monterey General Plan (County of Monterey 2010) or FEMA 100-year flood zone. The proposed project is not expected to expose people or structures to a significant risk involving flooding. Therefore, impacts would be *less than significant* and additional mitigation is not required.

4.6.5.10 Inundation by Seiche, Tsunami, or Mudflow

The project site is not located within a designated tsunami inundation zone (CGS 2009) or an area identified by the County as being subject to seiche or mudflow hazards (County of Monterey 2010). In the event of a tsunami, the County's Tsunami Incident Response Plan would apply, and the occupants would evacuate pursuant to the applicable emergency response directives. Therefore, impacts associated with seiche, tsunami, and mudflow are expected to be *less than significant* and mitigation is not necessary.

4.6.6 Cumulative Impacts

The Del Monte Forest area is bordered by the Pacific Ocean to the west and supports several surface water resources including Sawmill Gulch and Seal Rock Creeks. None of the surface water resources within this area are listed as impaired; however, cumulative development in the Del Monte Forest could contribute to increased erosion, sedimentation, impervious surfaces, reduced groundwater recharge, stormwater runoff, increased peak flows, new sources of pollution, and other potential impacts to water resources. The project site is not located within a groundwater basin or an area that relies on the underlying groundwater basin, and there are no surface water resources that bisect the property; therefore, no direct impacts to water resources are expected to occur as a result of the proposed project. As discussed previously, the proposed project includes the implementation of an erosion control plan and a drainage plan to ensure construction and development of the project would not contribute to cumulative impacts to water resources and mitigation is identified to ensure these plans adequately reduce potential adverse impacts. Therefore, cumulative impacts related to hydrology and water quality would be *less than significant* and no mitigation is necessary.

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4.7 LESS THAN SIGNIFICANT ISSUE AREAS

The environmental review conducted through the EIR process evaluated the proposed project and determined that there were less than significant impacts to the following resources:

- Agricultural Resources
- Air Quality and Greenhouse Gases
- Hazards and Hazardous Materials
- Land Use and Planning
- Mineral Resources
- Noise
- Paleontological Resources
- Population and Housing
- Public Services and Utilities
- Recreation
- Transportation and Circulation

Most of these issue areas were determined to be less than significant and no mitigation was required; however, a few issue areas in this section include standard mitigation to ensure potentially significant impacts do not occur. Each of these issue areas are described in the following sections.

4.7.1 Agricultural Resources

4.7.1.1 Existing Conditions

Agriculture, predominantly crop farming and livestock grazing, is the largest industry in Monterey County and is vital to the local economy (Monterey County 2014). The County consists of approximately 2.4 million acres of land, of which, approximately 1.3 million acres (54%) are designated as agricultural land by the County. Out of the 1.3 million acres of agricultural land, approximately 1.1 million acres (approximately 82%) are dedicated to grazing land (California Department of Conservation 2012). The most productive farmlands in the County are located in the North County, Greater Salinas, and Central Salinas Valley Planning Areas and the highest earning crops are leaf lettuce, strawberries, head lettuce, broccoli, and nursery crops as of the 2014 crop year (Monterey County 2014). Agricultural land in southern Monterey County primarily consists of grazing activities.

The project site is located in an existing developed neighborhood and is composed of an existing residential lot developed with a single-family residence. The project site is within the LDR land use category and is zoned LDR/1.5-Design Control District, within the Coastal Zone. It is designated as Urban and Built-Up Land by the Department of Conservation's Farmland Mapping and Monitoring Program (FMMP) (California Department of Conservation 2015a). Urban and Built-Up Land is identified as being occupied by structures with a building density of at least one unit per 1.5 acres, or approximately six structures per 10-acre parcel; examples include residential, industrial, commercial, institutional facilities, cemeteries, airports, golf courses, sanitary landfills, sewage treatment, and water control structures.

There are no existing agricultural uses or lands under Williamson Act contract in the vicinity of the project site. The project site is surrounded by LDR, recreational, and shoreline designated areas that are also primarily designated as Urban and Built-Up Land and Other Land. There is no Prime Farmland, Farmland of Statewide Importance, Unique Farmland, or Grazing Land within or adjacent to the project site (California Department of Conservation 2015a). There are small areas of designated farmland adjacent to the Carmel River approximately 4.5 miles southeast of the project site; however, the vast majority of FMMP-designated farmland in the northern portion of the County is located approximately 15 miles inland within the Salinas Valley.

4.7.1.2 Regulatory Setting

Several state laws and regional plans have been enacted to support agricultural production and conservation of agricultural resources and lands, including the California Land Conservation Act (Williamson Act) and County Agriculture Element. These regulations are not directly applicable to the proposed project because no agricultural lands or Williamson Act lands are present onsite or in the project vicinity and because the project location is not well suited or situated to support future agricultural activities.

4.7.1.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact to agricultural resources would occur if the project would:

- a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in PRC §12220(g)), timberland (as defined by PRC §4526), or timberland zoned Timberland Production (as defined by California Government Code §51104(g))?
- d) Result in a loss of forest land or conversion of forest land to non-forest use?
- e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?

4.7.1.4 Impact Assessment Methodology

Impacts to agricultural resources were assessed by utilizing data and maps published by the U.S. Department of Agriculture, Natural Resources Conservation Service, California Department of Conservation, and County Agriculture Department, including soil information, farmland mapping, and historical and current agricultural uses at the project site. The project was analyzed for the potential conversion of farmland, loss of productive agricultural soils, incompatible land uses, and inconsistencies with regulations and policies intended to preserve agricultural resources.

4.7.1.5 Impact Assessment and Mitigation Measures

Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.

The project site is designated as Urban and Built-Up Land by the Department of Conservation's FMMP and is surrounded by land that is primarily designated as Urban and Built-Up Land and Other Land (California Department of Conservation 2015a). There is no land designated as Prime Farmland, Farmland of Statewide Importance, Unique Farmland, or Grazing Land by the California Department of Conservation's FMMP within or in the vicinity of the project site (California Department of Conservation 2015a). Implementation of the proposed project would not result in the conversion of land designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance. Therefore, *no impact* would occur and mitigation is not necessary.

Conflict with existing zoning for agricultural use, or a Williamson Act contract.

The project site is not under Williamson Act contract and does not support agricultural land uses. Additionally, the project site is not surrounded by land that supports agricultural land uses, land that is zoned for or designated for agricultural uses, or land that is under Williamson Act contract. Implementation of the proposed project would not conflict with existing zoning for agricultural use or a Williamson Act contract. Therefore, *no impact* would occur and mitigation is not necessary.

Conflict with existing zoning for forest or timberland.

The project site is zoned Low Density Residential/1.5-Design Control District (CZ) by Monterey County and has a Low Density Residential land use designation pursuant to the 2010 Del Monte Forest Land Use Plan. The project site is located within the Del Monte Forest area within Monterey County; however, the project site does not contain forested areas and is not zoned as forest land, timberland, or timberland zoned Timberland Production. The nearest forest area, as designated by the Del Monte Forest Area LUP, is located approximately 0.25 mile east of the project site. Implementation of the proposed project would not conflict with existing zoning or cause rezoning of forest land, timberland, or timberland zoned Timberland Production. Therefore, impacts would be *less than significant* and mitigation is not necessary.

Result in a loss of forest land or conversion of forest land.

The project site is located within the Del Monte Forest area, where forest land and forest resources are considered significant natural and visual resources. Forest land in the Del Monte Forest area is highly protected for the habitat and visual value that it provides; however, this forest land is not used for agricultural or timber harvest purposes. The project site does not support forest land or forest resources, but does support individual trees that would be removed during construction. Two Monterey cypress trees are proposed for removal. Individual Monterey cypress trees to remain on the site, and trees to be planted as mitigation for the loss of existing trees, would be protected through implementation of mitigation measures BIO/mm-1.1 and BIO/mm-1.2, which include the preparation of a Monterey Cypress Tree Protection, Replacement, Maintenance and Monitoring Plan.

The project site and surrounding areas do not support and are not zoned as forest land. Project development would result in the removal of individual trees; however, mitigation has been identified to reduce impacts to less than significant as discussed above. Implementation of the proposed project would not result in the loss of or conversion of forest land to non-forest use. Therefore, impacts would be *less than significant* and mitigation is not necessary.

Involve other changes that would result in the conversion of farmland or forest land.

The proposed project includes the demolition of an existing single-family residence and construction of a new single-family residence on a residential lot in an existing neighborhood. Impacts would be almost entirely limited to the specific project site and implementation of the proposed project would not cause changes that could result in the conversion of farmland to non-agricultural use or conversion of forest land to non-forest use. Therefore, *no impact* would occur and mitigation is not necessary.

4.7.1.6 Cumulative Impacts

Implementation of the proposed project would not contribute to the conversion or loss of designated agricultural land, forest land, or timberland. No Del Monte Forest area forests would be substantially impacted and the nearest agricultural lands are located almost 5 miles away from

the project site. No direct, indirect, or cumulative impacts to agricultural or forest resources would occur as a result of the proposed project.

4.7.2 Air Quality and Greenhouse Gases

4.7.2.1 Existing Conditions

Air Quality

Monterey County, along with the Counties of Santa Cruz and San Benito, lies within the NCCAB. Air quality within this basin is monitored by the Monterey Bay Air Resources District (MBARD)^{MBUAPCD}. The MBARD^{MBUAPCD} sets limits on the quantities of air pollution which may be emitted and has permit authority over new or major modifications to existing stationary sources of air pollution. Control of mobile sources for the Monterey Bay area is exercised at the state and federal levels through the CARB and USEPA.

The MBARD^{MBUAPCD} is responsible for measuring pollutant concentrations in the NCCAB. The significance of a given pollutant can be evaluated by comparing its atmospheric concentration to state and federal air quality standards, which are presented in Table 4.7.2-1, below.

Table 4.7.2-1. Ambient Air Quality Standards

Pollutant	Averaging Time	California Standards ¹		National Standards ²		
		Concentration ³	Method ⁴	Primary ^{3,5}	Secondary ^{3,6}	Method ⁷
Ozone (O ₃)	1 Hour	0.09 ppm (180 µg/m ³)	Ultraviolet Photometry	—	Same as Primary Standard	Ultraviolet Photometry
	8 Hour	0.070 ppm (137 µg/m ³)		0.075 ppm (147 µg/m ³)		
Respirable Particulate Matter (PM ₁₀) ⁸	24 Hour	50 µg/m ³	Gravimetric or Beta Attenuation	150 µg/m ³	Same as Primary Standard	Inertial Separation and Gravimetric Analysis
	Annual Arithmetic Mean	20 µg/m ³		—		
Fine Particulate Matter (PM _{2.5}) ⁸	24 Hour	—	—	35 µg/m ³	Same as Primary Standard	Inertial Separation and Gravimetric Analysis
Fine Particulate Matter (PM _{2.5}) ⁸ (cont'd)	Annual Arithmetic Mean	12 µg/m ³	Gravimetric or Beta Attenuation	12.0 µg/m ³	15 µg/m ³	Inertial Separation and Gravimetric Analysis
Carbon Monoxide (CO)	1 Hour	20 ppm (23 mg/m ³)	Non-Dispersive Infrared Photometry (NDIR)	35 ppm (40 mg/m ³)	—	Non-Dispersive Infrared Photometry (NDIR)
	8 Hour	9.0 ppm (10 mg/m ³)		9 ppm (10 mg/m ³)	—	
	8 Hour (Lake Tahoe)	6 ppm (7 mg/m ³)		—	—	

Table 4.7.2-1. Ambient Air Quality Standards

Pollutant	Averaging Time	California Standards ¹		National Standards ²		
		Concentration ³	Method ⁴	Primary ^{3,5}	Secondary ^{3,6}	Method ⁷
Nitrogen Dioxide (NO ₂) ⁹	1 Hour	0.18 ppm (339 µg/m ³)	Gas Phase Chemiluminescence	100 ppb (188 µg/m ³)	—	Gas Phase Chemiluminescence
	Annual Arithmetic Mean	0.030 ppm (57 µg/m ³)		0.053 ppm (100 µg/m ³)	Same as Primary Standard	
Sulfur Dioxide (SO ₂) ¹⁰	1 Hour	0.25 ppm (655 µg/m ³)	Ultraviolet Fluorescence	75 ppb (196 µg/m ³)	—	Ultraviolet Fluorescence; Spectrophotometry (Pararosaniline Method)
	3 Hour	—		—	0.5 ppm (1300 µg/m ³)	
	24 Hour	0.04 ppm (105 µg/m ³)		0.14 ppm (for certain areas) ¹⁰	—	
	Annual Arithmetic Mean	—		0.030 ppm (for certain areas) ¹⁰	—	
Lead ^{11,12}	30 Day Average	1.5 µg/m ³	Atomic Absorption	—	—	High Volume Sampler and Atomic Absorption
	Calendar Quarter	—		1.5 µg/m ³ (for certain areas) ¹²	Same as Primary Standard	
	Rolling 3-Month Average	—		0.15 µg/m ³		
Visibility Reducing Particles ¹³	8 Hour	See footnote 13	Beta Attenuation and Transmittance through Filter Tape	No National Standards		
Sulfates	24 Hour	25 µg/m ³	Ion Chromatography	No National Standards		
Hydrogen Sulfide	1 Hour	0.03 ppm (42 µg/m ³)	Ultraviolet Fluorescence	No National Standards		
Vinyl Chloride ¹¹	24 Hour	0.01 ppm (26 µg/m ³)	Gas Chromatography	No National Standards		

¹ California standards for ozone, carbon monoxide (except 8-hour Lake Tahoe), sulfur dioxide (1 and 24 hour), nitrogen dioxide, and particulate matter (PM₁₀, PM_{2.5}, and visibility reducing particles), are values that are not to be exceeded. All others are not to be equaled or exceeded. California ambient air quality standards are listed in the Table of Standards in 17 CCR §70200.

² National standards (other than ozone, particulate matter, and those based on annual arithmetic mean) are not to be exceeded more than once a year. The ozone standard is attained when the fourth highest 8-hour concentration measured at each site in a year, averaged over 3 years, is equal to or less than the standard. For PM₁₀, the 24-hour standard is attained when the expected number of days per calendar year with a 24-hour average concentration above 150 µg/m³ is equal to or less than

Table 4.7.2-1. Ambient Air Quality Standards

Pollutant	Averaging Time	California Standards ¹		National Standards ²		
		Concentration ³	Method ⁴	Primary ^{3,5}	Secondary ^{3,6}	Method ⁷

one. For PM_{2.5}, the 24-hour standard is attained when 98% of the daily concentrations, averaged over 3 years, are equal to or less than the standard. Contact the USEPA for further clarification and current national policies.

³ Concentration expressed first in units in which it was promulgated. Equivalent units given in parentheses are based upon a reference temperature of 25°C and a reference pressure of 760 torr. Most measurements of air quality are to be corrected to a reference temperature of 25°C and a reference pressure of 760 torr; ppm in this table refers to ppm by volume, or micromoles of pollutant per mole of gas.

⁴ Any equivalent measurement method which can be shown to the satisfaction of the ARB to give equivalent results at or near the level of the air quality standard may be used.

⁵ National Primary Standards: The levels of air quality necessary, with an adequate margin of safety to protect the public health.

⁶ National Secondary Standards: The levels of air quality necessary to protect the public welfare from any known or anticipated adverse effects of a pollutant.

⁷ Reference method as described by the USEPA. An "equivalent method" of measurement may be used but must have a "consistent relationship to the reference method" and must be approved by the USEPA.

⁸ On December 14, 2012, the national annual PM_{2.5} primary standard was lowered from 15 µg/m³ to 12.0 µg/m³. The existing national 24-hour PM_{2.5} standards (primary and secondary) were retained at 35 µg/m³, as was the annual secondary standard of 15 µg/m³. The existing 24-hour PM₁₀ standards (primary and secondary) of 150 µg/m³ also were retained. The form of the annual primary and secondary standards is the annual mean, averaged over 3 years.

⁹ To attain the 1-hour national standard, the 3-year average of the annual 98th percentile of the 1-hour daily maximum concentrations at each site must not exceed 100 parts per billion (ppb). Note that the national 1-hour standard is in units of parts per billion; California standards are in units of parts per million (ppm). To directly compare the national 1-hour standard to the California standards the units can be converted from ppb to ppm. In this case, the national standard of 100 ppb is identical to 0.100 ppm.

¹⁰ On June 2, 2010, a new 1-hour SO₂ standard was established and the existing 24-hour and annual primary standards were revoked. To attain the 1-hour national standard, the 3-year average of the annual 99th percentile of the 1-hour daily maximum concentrations at each site must not exceed 75 ppb. The 1971 SO₂ national standards (24-hour and annual) remain in effect until one year after an area is designated for the 2010 standard, except that in areas designated nonattainment for the 1971 standards, the 1971 standards remain in effect until implementation plans to attain or maintain the 2010 standards are approved. Note that the 1-hour national standard is in units of parts per billion; California standards are in units of parts per million. To directly compare the 1-hour national standard to the California standard the units can be converted to ppm. In this case, the national standard of 75 ppb is identical to 0.075 ppm.

¹¹ The CARB has identified lead and vinyl chloride as 'toxic air contaminants' with no threshold level of exposure for adverse health effects determined. These actions allow for the implementation of control measures at levels below the ambient concentrations specified for these pollutants.

¹² The national standard for lead was revised on October 15, 2008, to a rolling 3-month average. The 1978 lead standard (1.5 µg/m³ as a quarterly average) remains in effect until one year after an area is designated for the 2008 standard, except that in areas designated nonattainment for the 1978 standard, the 1978 standard remains in effect until implementation plans to attain or maintain the 2008 standard are approved.

¹³ In 1989, the CARB converted both the general statewide 10-mile visibility standard and the Lake Tahoe 30-mile visibility standard to instrumental equivalents, which are "extinction of 0.23 per kilometer" and "extinction of 0.07 per kilometer" for the statewide and Lake Tahoe Air Basin standards, respectively.

Source: CARB 2013.

The NCCAB is designated by the CARB as a nonattainment area for the state ozone standard and respirable particulates standard (PM₁₀). Ozone, the primary constituent of smog, is formed in the atmosphere through complex chemical reactions involving volatile organic compounds (VOC) and nitrogen oxides (NOx) in the presence of sunlight. The primary sources of VOC in the NCCAB are on- and off-road motor vehicles, cleaning and surface coatings, solvent evaporation, landfills, petroleum production and marketing, and prescribed burning. Primary sources of NOx include on- and off-road motor vehicles, stationary sources of fuel combustion, and various industrial processes. The basin also experiences air quality impacts associated with transported Bay Area NOx emissions (MBARDMBUAPCD 2013). PM₁₀ refers to respirable particulate matter less than

10 microns in size; because of their small size, they can be inhaled deep into the lungs and constitute a health concern (MBARD/MBUAPCD 2008a).

Monterey County is in attainment with the State carbon monoxide standard but Santa Cruz and San Benito Counties are unclassified. The NCCAB is in attainment with all federal standards as of January 2015, as shown in Table 4.7.2-2 below.

Table 4.7.2-2. Attainment Status for the North Central Coast Air Basin

Pollutant	State Standards ¹	National Standards
Ozone (O ₃)	Nonattainment ²	Attainment/Unclassified ³
Inhalable Particulates (PM ₁₀)	Nonattainment	Attainment
Fine Particulates (PM _{2.5})	Attainment	Attainment/Unclassified ⁴
Carbon Monoxide (CO)	Monterey Co. – Attainment San Benito Co. – Unclassified Santa Cruz Co. – Unclassified	Attainment/Unclassified
Nitrogen Dioxide (NO ₂)	Attainment	Attainment/Unclassified ⁵
Sulfur Dioxide (SO ₂)	Attainment	Attainment ⁶
Lead	Attainment	Attainment/Unclassified ⁷

Notes:

Nonattainment designations are highlighted in **Bold**.

¹ State designations based on 2010 to 2012 air monitoring data.

² Effective July 26, 2007, the CARB designated the NCCAB a nonattainment area for the state ozone standard, which was revised in 2006 to include an 8-hour standard of 0.070 parts per million (ppm).

³ On March 12, 2008, USEPA adopted a new 8-hour ozone standard of 0.075 ppm. In April 2012, USEPA designated the NCCAB attainment/unclassified based on 2009–2011 data.

⁴ This includes the 2006 24-hour standard of 35 µg/m³ and the 2012 annual standard of 12 µg/m³.

⁵ In 2012, the USEPA designated the entire state as attainment/unclassified for the 2010 NO₂ standard.

⁶ In June 2011, the CARB recommended to the USEPA that the entire state be designated as attainment for the 2010 primary SO₂ standard. Final designations to be addressed in future USEPA actions.

⁷ On October 15, 2008, USEPA substantially strengthened the national ambient air quality standard for lead by lowering the level of the primary standard from 1.5 µg/m³ to 0.15 µg/m³. Final designations were made by USEPA in November 2011.

Source: MBARD/MBUAPCD 2015.

The existing air quality conditions in the vicinity of a project site are typically characterized by the monitoring data collected in the region. MBARD/MBUAPCD maintains three air quality monitoring stations (Carmel Valley-Ford Road, King City-415 Pear Street, and Salinas #3) in Monterey County (CARB 2015a). The nearest monitoring station in Monterey County is the Carmel Valley-Ford Road Monitoring Station, located approximately 14 miles southeast of the project site. The monitoring data collected at this monitoring station is provided for the years 2012, 2013, and 2014 in Table 4.7.2-3, below.

Table 4.7.2-3. Ambient Air Quality Monitoring Data for Project Vicinity

Pollutant Standards¹	2012	2013	2014
<i>Ozone (ppm)²</i>			
Number of days standard exceeded (1-Hour)	0	0	0
Worst 1-Hour	0.072	0.072	0.078
Number of days standard exceeded (8-Hour)	0	0	0
Worst 8-Hour	0.060	0.068	0.070
<i>Inhalable Particulates (PM10) µg/m³ ²</i>			
Number of days standard exceeded	0	0	0
Worst 24-Hour	14.8	33.7	16.3
<i>Carbon Monoxide (ppm)²</i>			
Number of days standard exceeded	0	0	0
Worst 1-Hour	1.6	1.7	1.8
<i>Nitrogen Dioxide (ppm)²</i>			
Number of days standard exceeded	0	0	0
Worst 1-Hour	0.0420	0.0420	0.0380

Notes:¹ Monitoring data acquired from the CARB Carmel Valley-Ford Road Monitoring Site.² ppm = parts per million. µg/m³ = micrograms per cubic meter.

Source: CARB 2015a.

Greenhouse Gas Emissions and Climate Change

Climate change refers to any significant change in measures of climate such as temperature, precipitation, or wind, lasting for decades or longer (USEPA 2009). Climate change may result from:

- Natural factors, such as changes in the sun's intensity or slow changes in the Earth's orbit around the sun;
- Natural processes within the climate system (e.g., changes in ocean circulation); or,
- Human activities that change the atmosphere's composition (e.g., through burning fossil fuels) and the land surface (e.g., deforestation, reforestation, urbanization, desertification, etc.).

Human activities, such as fossil fuel combustion and land use changes release carbon dioxide (CO₂) and other compounds, cumulatively termed greenhouse gas (GHG) emissions. GHGs are effective in trapping infra-red radiation which otherwise would have escaped the atmosphere, thereby warming the atmosphere, the oceans, and earth's surface (USEPA 2009).

GHGs include any gas that absorbs infrared radiation in the atmosphere. GHGs, as defined in Assembly Bill 32 (AB 32), include the following gases: CO₂, methane (CH₄), nitrous oxide (N₂O), hydrofluorocarbons (HFCs), perfluorocarbons (PFCs), and sulfur hexafluoride (SF₆).

In California, the main sources of GHG emissions are from the transportation and energy sectors. According to the CARB's 2015 Edition of the California Greenhouse Gas Emission Inventory, California produced 459.3 million metric tons of CO₂ equivalent (MMtCO₂e) in 2013 (CARB 2015b). In California, the main sources of GHG emissions are from the transportation and industrial sectors. The transportation sector accounted for 37% of emissions and the industrial sector accounted for 23% of emissions.

The potential effects of future climate change on California resources include increased temperatures, sea level rise, reduced Sierra snowpack and water resources, changes in forests and ecosystems, and increased smog.

4.7.2.2 Regulatory Setting

Federal Policies and Regulations

Air quality protection at the national level is provided through the Federal Clean Air Act (Federal CAA) and subsequent Federal CAA Amendments. The current version was signed into law on November 15, 1990. These amendments represent the fifth major effort by the U.S. Congress to improve air quality. The 1990 Federal CAA standards are generally less stringent than the California Clean Air Act (California CAA). However, unlike the California law, the Federal CAA set statutory deadlines for attaining federal standards. The 1990 Federal CAA added several new sections to the law, including requirements for the control of toxic air contaminants, reductions in pollutants responsible for acid deposition, development of a national strategy for stratospheric ozone and global climate protection, and requirements for a national permitting system for major pollution sources.

In April 2010, the USEPA issued new standards for GHG emissions and fuel economy for light-duty vehicles in model years 2017–2025. In November 2010, the USEPA published the “Prevention of Significant Deterioration (PSD) and Title V Permitting Guidance for Greenhouse Gases,” which provides the basic information that permit writers and applicants need to address GHG emissions regulated under the Federal CAA.

State Policies and Regulations

The California CAA was signed into law in September of 1988. It requires all areas of the state to achieve and maintain the California ambient air quality standards by the earliest practicable date. These standards are generally more stringent than the Federal CAA standards; thus, emission controls to comply with the State law will generally be sufficient to comply with the Federal standards as well. The California CAA requires that all APCDs adopt and enforce regulations to achieve and maintain the state ambient air quality standards for the area under its jurisdiction. Pursuant to the requirements of the law, the MBARDMBUAPCD adopted the AQMP in 1991 (most recently revised in 2008) (MBARDMBUAPCD 2008a), which established control measures for achieving and maintaining attainment with the state ozone standard. The 2009–2011 Triennial Plan Revision of the AQMP documented that the air basin continued to attain the 1-hour ozone standard and recommended adoption of five control measures to make progress towards achieving the 8-hour standard.

The California Global Warming Solutions Act of 2006 (AB 32, Health and Safety Code §38500 et seq.) requires the CARB to design and implement emission limits, regulations, and other measures. These will reduce, by 2020, statewide GHG emissions in a technologically feasible and cost-effective manner to 1990 levels (representing a 25% reduction).

SB 1368 (California Public Utilities Code §8340 et seq.) is an AB 32 companion bill that was signed into law in 2006. It requires the California Public Utilities Commission (CPUC) to establish a GHG performance standard for base load generation from investor-owned utilities, and the California Energy Commission (CEC) to establish a similar standard for publicly-owned utilities. The bill also requires all imported electricity provided to California to be generated from plants meeting CPUC and CEC standards.

By enacting SB 97 in 2007, California's lawmakers expressly recognized the need to analyze GHG emissions as a part of the CEQA process. SB 97 required the California Office of Planning and Research to develop, and the Natural Resources Agency to adopt, amendments to the State CEQA Guidelines addressing the analysis and mitigation of GHG emissions. Those State CEQA Guidelines amendments clarified several points, including the following:

- Lead agencies must analyze the GHG emissions of proposed projects, and must reach a conclusion regarding the significance of those emissions. (See State CEQA Guidelines §15064.4.)
- When a project's GHG emissions may be significant, lead agencies must consider a range of potential mitigation measures to reduce those emissions. (See State CEQA Guidelines §15126.4(c).)
- Lead agencies must analyze potentially significant impacts associated with placing projects in hazardous locations, including locations potentially affected by climate change. (See State CEQA Guidelines §15126.2(a).)
- Lead agencies may significantly streamline the analysis of GHGs on a project level by using a programmatic GHG emissions reduction plan meeting certain criteria. (See State CEQA Guidelines §15183.5(b).)
- CEQA mandates analysis of a proposed project's potential energy use (including transportation-related energy), sources of energy supply, and ways to reduce energy demand, including through the use of efficient transportation alternatives. (See State CEQA Guidelines, Appendix F.)

The amendments to the State CEQA Guidelines implementing SB 97 became effective on March 18, 2010 (California Natural Resources Agency 2014).

Table 4.7.2-4 lists applicable state, regional, and local land use policies and regulations pertaining to air quality that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.2-4 is an analysis of project consistency with identified policies and regulations.

Table 4.7.2-4. Applicable Local Plans and Policies Relevant to Air Quality

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest Land Use Plan Key Policies		
Goal 2: To maintain and upgrade, where possible, air and water quality.	The intent of this goal is to maintain and improve air and water quality.	<u>Potentially Consistent</u> . The project includes replacing an existing single-family residence with a new single-family residence. Construction and operation of the project would not result in significant impacts to air quality. Impacts to water resources are discussed in detail in Section 4.5 of this EIR.

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.2.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact to air quality or GHGs/climate change would occur if the project would:

- a) Conflict with or obstruct implementation of the applicable air quality plan?
- b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?
- d) Expose sensitive receptors to substantial pollutant concentrations?
- e) Create objectionable odors affecting a substantial number of people?
- f) Generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment?
- g) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of GHGs?

4.7.2.4 Impact Assessment Methodology

Air Quality

CEQA allows for significance criteria established by the applicable air pollution control district to be used to assess the impact of a project on air quality, subject to the discretion of the lead agency. The MBARDMBUAPCD has determined that construction activities that generate direct emissions of 82 pounds per day or more of PM₁₀ could contribute substantially to an existing or projected exceedance of PM₁₀ air quality standard, and would have a significant impact on local air quality.

Given the low ambient levels of CO, SO₂, and lead in the NCCAB (see Table 4.7.2-3), short-term construction-related CO, SO₂, and lead emissions are not a concern associated with the proposed project.

Generation of GHG Emissions

CEQA allows for significance criteria established by the applicable air pollution control district to be used to assess the impact of a project related to GHG emissions, at the discretion of the CEQA Lead Agency. In February 2014, the MBARDMBUAPCD staff recommended that its Board of Directors approve an operational significance threshold of 10,000 metric tons CO₂ equivalent (CO₂e) per year for stationary source projects that rely on operational processes and equipment that are subject to MBARDMBUAPCD permitting requirements. For land use projects, the MBARDMBUAPCD staff recommended to its board in February 2014 that it adopt a “bright line” significance threshold of 2,000 metric tons CO₂e per year, require that all project GHG emissions be mitigated by 16% compared to unmitigated emissions for the impact to be considered less than significant, or demonstrate compliance with an applicable adopted GHG reduction plan/climate action plan for the impact to be considered less than significant. As of March 2015,

the MBARD/MBUAPCD Board of Directors has not adopted any of the thresholds recommended by its staff (MBARD/MBUAPCD 2015). This EIR uses the significance threshold of 2,000 metric tons CO₂e per year to evaluate whether the project's emissions could have a significant impact on the environment.

It should be noted that projects that generate less than the above mentioned thresholds will also participate in emission reductions because air emissions, including GHGs, are under the purview of the California Air Resources Board (or other regulatory agencies) and will be “regulated” either by CARB, the Federal Government, or other entities. For example, new vehicles will be subject to increased fuel economy standards and emission reductions, large and small appliances will be subject to more strict emissions standards, and energy delivered to consumers will increasingly come from renewable sources. Other programs that are intended to reduce the overall GHG emissions include Low Carbon Fuel Standards, Renewable Portfolio standards and the Clean Car standards. As a result, even the emissions that result from projects that produce fewer emissions than the threshold will be subject to emission reductions.

Under CEQA, an individual project's GHG emissions will generally not result in direct significant impacts. This is because the climate change issue is global in nature. However, an individual project could be found to contribute to a potentially significant cumulative impact. Projects that have GHG emissions above the noted thresholds may be considered cumulatively considerable and require mitigation.

4.7.2.5 Impact Assessment and Mitigation Measures

Conflict with or obstruct implementation of the applicable air quality plan.

The MBARD/MBUAPCD uses future population projections to generate emission forecasts upon which the AQMP and necessary control measures are based. As of 2014, the population in Monterey County was recorded as 431,344 compared to a total of 415,057 in 2010, resulting in a 3.9% increase in population within the County over four years (U.S. Census Bureau 2014). The AQMP projected a population of 445,309 in 2010 and 483,733 in 2020 in Monterey County (MBARD/MBUAPCD 2008b). Monterey County's current (2014) population of 431,344 is within the AQMP's projected 2010 population; therefore, because the project would not result in an increase in population or long-term emissions beyond what has been planned for in the AQMP, indirect emissions associated with the project are deemed to be consistent with the AQMP. The proposed project would not directly implicate or conflict with any control measures within the AQMP and would not conflict with or otherwise obstruct implementation of the AQMP. Therefore, impacts would be *less than significant* and no mitigation is necessary.

Violate any air quality standard.

The project would generate vehicle emissions from construction equipment and worker trips. Earthwork (i.e., demolition and grading) would generate fugitive dust during construction activities. Construction emissions are typically considered short-term, as they occur only during the construction of the project. The operational phase of the project would not substantially affect emissions above existing conditions at the single-family residence because the type and intensity of use would remain the same. The potential for significant air quality impacts is minimized by the limited nature and scale of the project.

The MBARD/MBUAPCD has developed criteria pollutant emission thresholds, which meet or exceed state and federal air quality thresholds, and established criteria in the MBARD/MBUAPCD's 2008 CEQA Air Quality Guidelines to identify the level of construction and

operational activity that could result in significant impacts if not mitigated (MBARD/MBUAPCD 2008b). Per the MBARD/MBUAPCD CEQA Air Quality Guidelines, construction-related impacts to air quality would be potentially significant if a project would generate PM₁₀ emissions of 82 pounds per day (lb/day) or more. It is presumed that the 82 lb/day threshold could be exceeded when earthmoving activities exceed 2.2 acres/day. Construction projects below the screening threshold of 2.2 acres/day are assumed to be below the 82 lb/day threshold of significance (MBARD/MBUAPCD 2008b).

The project's total estimated construction footprint is approximately 0.55 acre and grading and construction activities are expected to last approximately 18 to 24 months. This level of activity is substantially below the 2.2 acre/day threshold.

There are no extenuating circumstances that would indicate that PM₁₀ emissions may approach the 82 lb/day threshold despite the limited area of earthwork. On average, excavation and earthmoving activities generate approximately 38 lb/day/acre of PM₁₀ (MBARD/MBUAPCD 2008b). Based on this estimation, the project would generate a total of 20.9 lbs. of PM₁₀ during the entire project lifetime, in a worst-case cumulative scenario (38 lbs/acre × cumulative 0.55 acres/day = 20.9 lbs/day). Therefore, construction-related emissions would be well below applicable MBARD/MBUAPCD thresholds and impacts would be *less than significant*. No mitigation is necessary.

Result in a net increase of any criteria pollutant.

The project would not emit significant quantities of criteria pollutants during either short-term construction activities or long-term operations. As proposed, the project would result in the disturbance of approximately 0.55 acre, including demolition of the existing residence, grading, and construction of the new single-family residence and ancillary components such as the driveway. This would result in the creation of construction dust, as well as short-term vehicle emissions associated with construction activities; however, construction activities and associated emissions would be short-term and would not cause any growth-inducing effects or cause an exceedance of established population projections to occur, which may indirectly generate additional emission sources. The NCCAB is currently non-attainment for ozone (8-hour standard) and PM₁₀. Implementation of standard dust control measures, such as reducing the amount of disturbed area where possible and watering sand/dirt stockpiles, and standard diesel emission reduction measures, such as maintaining construction equipment in proper working condition and minimizing diesel equipment idling, would reduce the project's contribution to area PM₁₀ and ozone precursor emissions. Therefore, impacts would be *less than significant with mitigation*.

AQ/GHG Impact 1	
Implementation of the proposed project could result in the generation of emissions as a result of construction activities in an area in non-attainment for ozone (8-hour standard) and PM ₁₀ , resulting in a potentially significant impact.	
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>	
AQ/GHG/mm-1.1	<p><i>Prior to issuance of demolition, grading, or construction permits, the following Best Management Practices and standard mitigation measures for reducing fugitive dust emissions shall be noted on project grading plans. All measures shall be adhered to during all project construction activities.</i></p> <p style="margin-left: 40px;"><i>a. Reduce the amount of disturbed area where possible.</i></p>

AQ/GHG Impact 1	
	<ul style="list-style-type: none"> b. Water all sand/dirt stockpiles at least twice daily. Frequency should be based on the type of operation, soil, and wind exposure. c. Prohibit grading activities to the extent feasible when wind speeds exceed 15 miles per hour. d. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site. e. All trucks hauling dirt, sand, soil, or other loose materials shall be covered and shall maintain at least 2 feet of freeboard (minimum vertical distance between top of load and top of trailer). f. Plant appropriate vegetative ground cover in disturbed areas that are planned for habitat restoration as soon as possible. g. Cover inactive storage piles. h. Install wheel washers at the entrance to the construction site for all exiting trucks. i. Sweep streets if visible soil material is carried out from the construction site. j. Post a publicly visible sign which specifies the telephone number and person to contact regarding dust complaints. This person shall respond to complaints and take corrective action within 48 hours. <u>The contact information shall be provided to the Monterey Bay Air Resources District prior to issuance of demolition, grading, or construction permits.</u> The phone number of the Monterey Bay Unified Air Resources Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance). k. Limit the area under construction at any one time.
AQ/GHG/ma-1.1.1	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised grading plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.
AQ/GHG/mm-1.2	<p>Prior to issuance of the Combined Development Permit, the following Best Management Practices and standard mitigation measures for reducing nitrogen oxides (NO_x), reactive organic gases (ROG) and diesel particulate matter (DPM) emissions from construction equipment shall be noted on project grading plans. All measures shall be adhered to during all project construction and decommissioning activities.</p> <ul style="list-style-type: none"> a. Maintain all construction equipment in proper tune according to manufacturer's specifications. b. Diesel-powered equipment shall be replaced by electric equipment whenever feasible to reduce NO_x emissions. c. Diesel-powered equipment shall be replaced by gasoline-powered equipment whenever feasible. d. <u>Whenever feasible, construction equipment shall use alternate fuels such as compressed natural gas, propane, electricity, or biodiesel.</u> e.e. Diesel construction equipment meeting the California Air Resources Board Tier 4⁺ emission standards for off-road heavy-duty diesel engines shall be used. Equipment meeting California Air Resources Board Tier 2 or higher emission standards shall be used to the maximum extent feasible. e.f. Catalytic converters shall be installed on gasoline-powered equipment, if feasible. f.g. All on- and off-road diesel equipment shall not idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and or job site to remind drivers and operators of the 5-minute idling limit. g.h. The engine size of construction equipment shall be the minimum practical size. h.i. The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time.

AQ/GHG Impact 1	
AQ/GHG/mma-1.2.1	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised grading plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i>
Residual Impacts	
With implementation of the above mitigation measure, residual impacts associated with inadvertent emissions of criteria air pollutants in an area of nonattainment would be less than significant.	

Expose sensitive receptors to substantial pollutant concentrations.

Several sensitive receptors are located within a 0.25-mile radius of the project site. Sensitive receptors in the vicinity of the project site include four single-family residences north of the project site along Signal Hill Road and 17-Mile Drive, one single-family residence located south of the project site along Signal Hill Road, and portions of the Cypress Point Golf Course located west and south of the project site.

As described above, the project would not result in the emission of substantial pollutant concentrations and no sensitive receptors would be exposed to significant pollutant concentration as a result of construction or operation of the project. In addition, mitigation is identified to reduce the generation of fugitive dust and construction equipment emissions, which would further minimize effects on sensitive receptors. Therefore, impacts would be *less than significant with mitigation* described in AQ/GHG/mm-1.1 and AQ/GHG/mm-1.2.

Create objectionable odors affecting a substantial number of people.

Construction of the proposed project would generate odors associated with construction smoke/dust and equipment exhaust and fumes. Although surrounding sensitive residential and recreational sensitive receptors would be sensitive to any objectionable odors resulting from project construction activities, construction techniques would not be substantially different from any other type of construction project and the number of persons within these potentially affected groups would be minimal. Any effects would be short-term in nature and limited to the construction phase of the project. The project would not create objectionable odors affecting a substantial number of people. Therefore, impacts would be *less than significant* and no mitigation beyond previously described mitigation is necessary.

Generate GHG emissions.

GHG and climate change are national and even global issues that must be considered on a large scale. Most individual activities would not cause an individually significant GHG effect. Therefore, the potential significance of a project's impact on GHGs and climate change must be considered in the context of the project's contribution of GHG in combination with all other sources.

The ~~MBARD~~ ~~MBUAPCD~~ has not yet adopted plans for regulating GHGs or addressing climate change, although it maintains an inventory of GHG emissions both basin-wide and by county and has recently proposed a bright line threshold of 2,000 metric tons of CO₂e per year. The proposed project would replace an existing single family residence with a new single family residence, and development and operation of the proposed residence would fall substantially below this threshold.

Because MBARD~~MBUAPCD~~ has not adopted GHG regulations, a screening level analysis was also conducted using the thresholds adopted by the San Luis Obispo County Air Pollution Control District (SLOAPCD). Based on thresholds in the SLOAPCD's CEQA Air Quality Handbook (SLOAPCD 2012), a project could potentially result in a significant impact associated with GHG emissions if it exceeds the Bright-Line Threshold of 1,150 metric tons of CO₂e per year. This threshold is stricter than MBARD~~MBUAPCD~~'s recently proposed bright line threshold of 2,000 metric tons CO₂e per year. An exceedance of this threshold would require preparation of California Emissions Estimator Model (CalEEMod) modeling to quantify emissions and determine impacts.

According to the SLOAPCD CEQA Air Quality Handbook, the relevant 1,150 metric ton significance criterion is equivalent to development of 70 single family residential units in an urban area (or 49 single-family residential units in a rural area) (SLOAPCD 2012). The project proposes a 0.55-acre total construction footprint for the demolition of an existing single-family residence and construction of one new single-family residence. Based on this equivalency, the GHG emissions from this project would be substantially less than 1,150 metric tons per year.

The proposed project would not generate significant project-related traffic and would not result in a change in land use that would require a substantial change in demand for or use of electricity. The project's individual short-term contribution to overall GHG emissions would be negligible. Therefore, impacts associated with GHG emissions would be *less than significant* and no additional mitigation is necessary.

Conflict with an applicable plan, policy or regulation for greenhouse gases.

California has passed several pieces of legislation in the past few years aimed at dealing with GHG emissions and climate change. Executive Order S-3-05 set a goal to reduce California's GHG emissions to: (1) 2000 levels by 2010; (2) 1990 levels by 2020; and (3) 80% below 1990 levels by 2050. These goals were reinforced in 2006 with the passage of AB 32, which set forth the same emission reduction goals and further mandated that the CARB create a plan, including market mechanisms, and develop and implement rules to achieve "real, quantifiable, cost-effective reductions of greenhouse gases." Executive Order S-01-07 set forth California's low carbon fuel standard, which requires the carbon intensity of the state's transportation fuels to be reduced by 10% by 2020. And Senate Bill 97 (SB 97) required amendments to the CEQA Guidelines to address GHG emissions; the amendments were put into effect on March 18, 2010.

There are no MBARD~~MBUAPCD~~ policies or regulations specifically related to GHG emissions. However, as discussed above, the project would not exceed MBARD~~MBUAPCD~~'s proposed GHG thresholds or adopted GHG thresholds applied by adjacent jurisdictions. The project is not expected to generate significant GHG emissions due to the minimal traffic generated, limited energy use, and the limited nature of the proposed land use. The project would not conflict with the statewide regulations listed above. Therefore, impacts associated with GHG regulations would be *less than significant* and no additional mitigation is necessary.

4.7.2.6 Cumulative Impacts

The cumulative study area for air quality impacts is the NCCAB. The project would contribute criteria pollutants during project construction but would not substantially change emissions during long-term operation over existing conditions. The proposed project, combined with construction of other projects in the area, could cumulatively contribute air emissions due to use of construction equipment, increased traffic trips, and energy use.

Depending on construction schedules and actual implementation of projects in the air basin, generation of fugitive dust and pollutant emissions during construction could result in short-term increases in air pollutants. Analysis conducted specifically for this project concluded that implementation of the proposed project would not significantly contribute to short-term or cumulative long-term operational air quality impacts because it would not exceed thresholds established by the MBARD~~MBUAPCD~~'s AQMP as well as other adopted thresholds. GHG impacts, including those described above, all contribute cumulatively with those produced worldwide, to affect climate change. Compliance with identified air quality mitigation measures would reduce the project's contribution to cumulative GHG emissions, and subsequent climate change. Cumulative effects would be *less than significant* and no additional mitigation is required.

4.7.3 Hazards and Hazardous Materials

According to the State of California, Health and Safety Code, Chapter 6.95, §25501(o), the term "hazardous materials" refers to both hazardous substances and hazardous wastes. Under federal and state laws, certain materials, including wastes, may be considered hazardous if they are specifically listed by statute as such or if they are poisonous (toxicity); can be ignited by open flame (ignitability); corrode other materials (corrosivity); or react violently, explode, or generate vapors when mixed with water (reactivity). The term "hazardous material" is defined in law as "any material that, because of quantity, concentration, or physical or chemical characteristics, poses a significant present or potential hazard to human health and safety or to the environment."

4.7.3.1 Existing Conditions

Past and Present Land Uses in the Project Vicinity

The primary sources of hazardous materials in Monterey County typically consist of agricultural operations, hospitals, heavy industry, laboratories, and utilities (Monterey County 2010). Agricultural operations, in particular, are a significant source of hazardous materials such as pesticides and fertilizers for controlling weeds, fungi, rodents and insects. Production and storage of hazardous materials also poses a potential hazard in the event of a leak or spill which could result in air, water, or soil contamination (Monterey County 2010).

There are no agricultural operations in the vicinity of the project site; however, there are several golf courses which could utilize fertilizers or pesticides that could contribute to soil or water contamination.

Regulatory Database Searches

The California SWRCB GeoTracker database and the California Department of Toxic Substances Control (DTSC) EnviroStor database were reviewed to identify documented releases of hazardous materials in soil and groundwater within a 0.5-mile radius of the project site. A 0.5-mile search radius from the project site was utilized to consider the potential for migration of shallow groundwater contaminant plumes from typical leaking underground storage tank cases to adversely affect groundwater in the project area.

Based on a review of regulatory agencies' databases, there are no known hazardous waste and substances sites designated by the DTSC, leaking underground storage tank sites designated by the SWRCB, solid waste disposal sites identified by the SWRCB, or cease and desist orders or cleanup and abatement orders located within a 0.5-mile radius of the project site (California Environmental Protection Agency [CalEPA] 2015). Additionally, there are no known sources of hazardous materials storage or release in the vicinity of the project site.

Structural and Building Components

Hazardous materials, such as asbestos-containing materials, lead-based paint, and polychlorinated biphenyls, may occur in older building materials and be released during demolition or renovation of existing facilities. The existing single-family residence and ancillary components located on the project site were built in 1957–1958 and may contain hazardous building materials.

Wildfire Hazards

CAL FIRE maps identify fire hazard severity zones in state and local responsibility areas for fire protection. CAL FIRE has developed two fire hazard severity maps for Monterey County: a Fire Hazard Severity Zones in State Responsibility Areas Map (CAL FIRE 2007) and a Very High Fire Hazard Severity Zones in Local Responsibility Areas Map (CAL FIRE 2008). The project site is located in an area designated by CAL FIRE as a high fire hazard severity zone in a State Responsibility Area (CAL FIRE 2007). The project site is not located in a very high fire hazard severity zone and is not located in a local responsibility area (CAL FIRE 2008).

Nearby Schools

Schools are considered sensitive receptors for hazardous materials because children are more susceptible than adults to the effects of hazardous materials. There are no schools located within 0.5 mile of the project site. The nearest school is Stevenson High School, located approximately 0.8 mile east of the project site.

Nearby Airports

Airports are considered sources of potential additional hazards due to air traffic operations and the need to maintain safe approach and takeoff zones for aircraft. The project site is located approximately 6.3 miles west of the Monterey Regional Airport and approximately 13 miles southwest of the Watsonville Municipal Airport. The project site is not located within an airport land use plan and is not located within two miles of a public airport, public use airport, or a private airstrip.

4.7.3.2 Regulatory Setting

Hazards and hazardous material management is subject to multiple laws, policies, and regulations at all levels of government. The agencies responsible for enforcing applicable laws and regulations develop and enforce standards for the handling and clean-up of specific materials determined to pose a risk to human health or the environment. The enforcing agency at the local level for the proposed project area is the County Public Health Department, Division of Environmental Health. Enforcement agencies at the State level include two branches of CalEPA, DTSC, and the SWRCB (through its nine RWQCBs).

Federal Policies and Regulations

The USEPA is the Federal agency responsible for enforcement and implementation of Federal laws and regulations pertaining to hazardous materials. In addition, the USEPA provides oversight and supervision for some site investigation/remediation projects. For disposal of certain hazardous wastes, the USEPA has developed land disposal restrictions and treatment standards.

State Policies and Regulations

The project site is located within the jurisdiction of the Central Coast RWQCB. The RWQCB is authorized by the California Porter-Cologne Water Quality Act of 1969 (“the Porter-Cologne Act”),

to implement water quality protection laws. When the quality of the groundwater or the surface waters of the State is threatened, the RWQCB has the authority to require investigations and remedial actions. In addition, the Central Coast RWQCB is the State regulatory agency that oversees the local Leaking Underground Fuel Tank (LUFT) program, which was established to regulate underground fuel tanks. Under the LUFT program, local implementing agencies are required to permit, inspect, and oversee monitoring programs to detect leakage of hazardous materials. The RWQCB has been involved with the regulation of the Marine Terminal Remediation activities.

In California, the DTSC, a branch of CalEPA, works in conjunction with, or in lieu of, the USEPA to enforce and implement specific hazardous materials laws and regulations. California has enacted its own legislation pertaining to the management of hazardous materials. The Hazardous Waste Control Act created the state hazardous waste management program, which is similar to, but more stringent than, the federal Resource Conservation and Recovery Act program. The act is implemented by regulations contained in California Code of Regulations Title 26, which describes required aspects for the proper management of hazardous waste. California has also developed an emergency response plan to coordinate emergency services provided by federal, state, and local agencies under the Emergency Services Act. Rapid response to incidents involving hazardous materials or hazardous waste is an important part of the plan, which is administered by the California Office of Emergency Services. The office coordinates the responses of other agencies, including USEPA, the California Highway Patrol, RWQCBs, air quality management districts, and county disaster response offices.

Local Policies and Regulations

The Monterey County Office of Emergency Services (OES) is an emergency management agency with responsibilities that include coordination of emergency and disaster preparedness planning, response, and recovery with and between local, state, and federal agencies. The County OES is committed to serving the public before, during and after times of emergency and disaster by promoting effective coordination between agencies, and encouraging emergency preparedness of the public and organizations involved in emergency response. Pursuant to State law and local ordinance, the County's Environmental Health Services Division conducts inspections to ensure proper handling, storage, and disposal of hazardous materials and proper remediation of contaminated sites.

Table 4.7.3-1 lists applicable state, regional, and local land use policies and regulations pertaining to hazards and hazardous materials that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in 4.7.3-1 is an analysis of project consistency with identified policies and regulations. Note that policies related to geologic, soil stability, and seismic hazards are more specifically discussed in Section 4.5 of the EIR, Geology and Soils.

Table 4.7.3-1. Applicable Local Plans and Policies Relevant to Hazards and Hazardous Materials

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
County of Monterey Del Monte Forest Area Land Use Plan		
Del Monte Forest Land Use Plan Key Policies		
<p>Hazards: Land uses and development in areas of geologic, flood, fire, and other coastal hazards shall be carefully regulated through the best available planning practices and sited and designed in order to minimize risks to life and property, and damage to the natural environment.</p>	<p>The intent of this policy is to regulate development in areas of designated hazard risk to minimize risks to life, property, and the natural environment.</p>	<p><u>Potentially Consistent.</u> The project site is not located in an area identified as being at risk for flooding. The site is located in an area designated as having a high potential for erosion and the project includes the implementation of an erosion control plan and a drainage plan to mitigate associated impacts. <u>Mitigation has been identified</u> requiring implementation of all of the recommendations of the site-specific geotechnical study (Cleary 2010) to reduce the potential for property damage and/or hazards as a result of soil conditions and seismic events. The project site is located in an area identified as a high fire severity zone by CAL FIRE (CAL FIRE 2007). However, the project would involve replacing an existing single-family residence with a new single-family residence. Therefore, the project would not result in a change in land use or increase in susceptibility to fire risk. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
Resource Management Element		
HAZARDS		
<p>Policy 38. New development shall be sited and designed to minimize risk from geologic, flood, or fire hazards; to assure stability and structural integrity; and to not threaten the stability of a site, contribute</p>	<p>The intent of this policy is to minimize risk associated with geologic, flood, and fire hazards; to assure stability and</p>	<p><u>Potentially Consistent.</u> The project site is not located in an area identified as being at risk for flooding. The site is located in</p>

Table 4.7.3-1. Applicable Local Plans and Policies Relevant to Hazards and Hazardous Materials

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>significantly to erosion, geologic instability, or destruction of the site or surrounding areas. Areas that are subject to the highest category of fire hazard in the California Department of Forestry and Fire Protection Fire Hazard Rating System shall be considered unsuitable for development, unless it can be clearly demonstrated that design measures can adequately mitigate the fire hazard. Mitigation of hazards shall be demonstrated by detailed technical reports specific to the hazard type in question (e.g., soils, geologic, geotechnical, erosion control, fire hazard, etc.) that are prepared by persons who are appropriately qualified in the hazard field in question (e.g., civil engineers and engineering geologists familiar with coastal processes, geotechnical engineers, etc.) and that are submitted as part of any permit application. All technical reports shall be prepared consistent with County criteria for such reports (e.g., criteria for detail on seismic hazards are contained in the General Plan Safety Element; criteria for detail on fire hazards are based on the fire hazard rating system of the California Department of Forestry and Fire Protection; criteria for detail on shoreline hazards are based on Coastal Commission guidelines). All technical reports and analyses shall accompany development applications and/or be part of any required environmental documentation (e.g., that associated with CEQA).</p>	<p>structural integrity; and to not threaten the stability of a site, contribute significantly to erosion, geologic instability, or destruction of the site or surrounding areas.</p>	<p>an area designated as having a high potential for erosion and the project includes the implementation of an erosion control plan and a drainage plan <u>to mitigate associated impacts</u>. The project site is located in an area identified as a high fire severity zone by CAL FIRE, but not the highest category of fire hazard (i.e., very high) (CAL FIRE 2007). The project would involve replacing an existing single-family residence with a new single-family residence. Therefore, the project would not result in a change in land use or increase in susceptibility to fire risk. A site-specific geotechnical study has also been prepared for the project (Cleary 2010), consistent with this section. <u>Mitigation has been identified</u> requiring implementation of all of the recommendations of the geotechnical study to reduce the potential for property damage and/or hazards as a result of soil instability and seismic events. <u>With implementation of identified mitigation</u>, the project would be consistent with this policy.</p>
<p>Policy 45. The fire hazard policies contained in the Safety Element of the Monterey County General Plan and the clearance requirements of the State Forest and Fire Law (Section 4291 of the Public Resources Code) shall be regularly and consistently applied provided they are consistent with all other policies of this LUP. For example, exceptions to the State Forest and Fire Law may be necessary where ESHA is present and/or where prior restrictions (including in Forest Management Plans) dictate otherwise. The County's fire hazard map should be updated regularly, including in accordance with the most current California Department of Forestry and Fire Protection hazard</p>	<p>The intent of this policy is to ensure the implementation of the fire hazard policies contained in the Monterey County General Plan.</p>	<p><u>Potentially Consistent</u>. The project site is located in an area identified as a high fire severity zone by the California Department of Forestry and Fire Protection (CAL FIRE 2007). However, the project would be constructed in accordance with the CBC and the proposed land use would not differ substantially from the existing use. Fire response services would continue to be</p>

Table 4.7.3-1. Applicable Local Plans and Policies Relevant to Hazards and Hazardous Materials

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
rating criteria, as new and more specific information becomes available.		provided to the project site by CAL FIRE. Therefore, the project would not result in a change in land use or increase in susceptibility to fire risk.

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.3.3 Thresholds of Significance

- a) Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to hazards and hazardous materials would occur if the project would: Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to California Government Code §65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?
- g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

4.7.3.4 Impact Assessment Methodology

This impact analysis focuses on potential effects of hazards and hazardous materials associated with the proposed project. The evaluation considers current conditions in the project area, findings of regulatory agency database searches, applicable regulations and guidelines, and proposed project construction and operations.

4.7.3.5 Impact Assessment and Mitigation Measures

Create a significant hazard through the routine transport, use, or disposal of hazardous materials.

Construction of the proposed project would not include the routine transport, use, or disposal of hazardous materials. Construction activities would include the demolition of the existing single-family residence and ancillary components, which have the potential to contain hazardous building materials (such as asbestos-containing materials and lead-based paint). However, disposal of any potential hazardous materials would be at a properly permitted facility and would be conducted in accordance with applicable regulations. All removed materials would be hauled offsite for recycling or disposal at the Monterey Regional Waste Management District facility. The project would also be required to comply with Monterey Bay Air Resources District's Rules 424, National Emissions Standards for Hazardous Air Pollutants, and 439, Building Removals,

which contain the investigation and reporting requirements for the renovation or demolition of structures containing hazardous materials.

Operation of the proposed project consists of single family residential uses and would not include routine transport, use, or disposal of hazardous materials. Therefore, impacts would be *less than significant* and no mitigation is necessary.

Create a significant hazard involving the release of hazardous materials.

Hazardous materials in the form of petroleum products, such as gasoline, diesel fuel, lubricants, and cleaning solvents would likely be used to fuel construction equipment and vehicles during construction of the proposed project. Inadvertent spill or release of these materials could adversely affect workers on the site in addition to adjacent ESHA and soil and water resources. Standard mitigation would ensure potential spills are avoided to the extent feasible and impacts of any potential spill minimized to a less than significant level. Therefore, impacts associated with the upset or accidental release of hazardous materials would be *less than significant with mitigation*.

HAZ Impact 1	
Implementation of the proposed project has the potential to result in the inadvertent upset or release of hazardous materials used to fuel and maintain construction equipment and vehicles during construction of the proposed project, resulting in a potentially significant impact.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
HAZ/mm-1.1	<p><i>Prior to issuance of demolition, grading, or construction permits, the Applicant shall prepare a Hazardous Material Spill Prevention, Control, and Countermeasure Plan to minimize the potential for, and effects of, spills of hazardous or toxic substances during construction of the project. The plan shall be submitted for review and approval by the Monterey County Resource Management Agency – Planning Department, and shall include, at minimum, the following:</i></p> <ol style="list-style-type: none"> <i>a. A description of storage procedures and construction site maintenance and upkeep practices;</i> <i>b. Identification of a person or persons responsible for monitoring implementation of the plan and spill response;</i> <i>c. Identification of Best Management Practices to be implemented to ensure minimal impacts to the environment occur, including but not limited to the use of containment devices for hazardous materials, training of construction staff regarding safety practices to reduce the chance for spills or accidents, and use of non-toxic substances where feasible;</i> <i>d. A description of proper procedures for containing, diverting, isolating, and cleaning up spills, hazardous substances, and/or soils, in a manner that minimizes impacts on surface and groundwater quality and sensitive biological resources;</i> <i>e. A description of the actions required if a spill occurs, including which authorities to contact and proper clean-up procedures; and,</i> <i>f. A requirement that all construction personnel participate in an awareness training program conducted by qualified personnel approved by the Monterey County Resource Management Agency – Planning Department. The training must include a description of the Hazardous Materials Spill Prevention, Control, and Countermeasure Plan, the plan's requirements for spill prevention, information regarding the importance of preventing spills, the appropriate measures to take should a spill occur, and identification of the location of all clean-up materials and equipment.</i>
HAZ/mma-1.1.1	<p><i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit a Hazardous Material Spill Prevention, Control, and Countermeasure Plan to the County of</i></p>

HAZ Impact 1	
	<i>Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i>
<i>HAZ/mm-1.2</i>	<i>During construction activities, the cleaning and refueling of equipment and vehicles shall occur only within a designated staging area. This staging area shall conform to Best Management Practices applicable to attaining zero discharge of stormwater runoff. At a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and avoid potential leaks or spills.</i>
<i>HAZ/mma-1.2.1</i>	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department identifying designated staging areas in compliance with this measure.</i>
<i>HAZ/mm-1.3</i>	<i>All project-related spills of hazardous materials within or adjacent to the project area shall be cleaned-up immediately. Spill prevention and clean-up materials shall be on-site at all times during construction.</i>
<i>HAZ/mma-1.3.1</i>	<i>Throughout project construction, the environmental monitor shall submit regular monitoring reports to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i>
Residual Impacts	
With implementation of the above mitigation measure, residual impacts associated with inadvertent spill or release of hazardous materials would be less than significant.	

Emit hazardous emissions within one-quarter mile of an existing or proposed school.

The proposed project is not located within a 0.25-mile radius of a school. The nearest school is Stevenson High School, located approximately 0.8 mile east of the project site. There are no proposed schools located within 0.25 mile of the project site. Therefore, implementation of the proposed project would not emit hazardous emission or handle hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. No other project-related effects are expected to directly or indirectly impact existing or proposed schools. Impacts would be *less than significant* and no mitigation is necessary.

Be located on a site which is included on a list of hazardous materials sites.

Based on a review of regulatory agencies' databases, there are no known hazardous waste and substances sites designated by the DTSC, leaking underground storage tank sites designated by the SWRCB, solid waste disposal sites identified by the SWRCB, or cease and desist orders or cleanup and abatement orders located within a 0.5-mile radius of the project site (CalEPA 2015). Therefore, *no impact* would occur and no mitigation is necessary.

Result in a safety hazard in the vicinity of an airport.

The project is located approximately 6.3 miles west of the Monterey Regional Airport and approximately 13 miles southwest of the Watsonville Municipal Airport. The project site is not located within an airport land use plan and is not located within two miles of a public airport or public use airport. The proposed project would not result in a safety hazard for people residing or working in the project area due to project proximity to an existing airport. *No impact* would occur and no mitigation is necessary.

Result in a safety hazard in the vicinity of a private airstrip.

There are no private airstrips located within 6 miles of the project site. The proposed project would not result in a safety hazard for people residing or working in the project area due to the project proximity to an existing private airstrip. Therefore, *no impact* would occur and no mitigation is necessary.

Interfere with an adopted emergency response plan or emergency evacuation plan.

The proposed project includes the demolition of an existing single-family residence and construction of a new single-family residence on a residential lot on Signal Hill Road. The project would not require any street closures or detours and would not restrict access to Signal Hill Road. The proposed project would not impair the implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. Therefore, *no impact* would occur and no mitigation is necessary.

Expose people to wildland fires.

The project site is located in an area identified as a high fire severity zone by CAL FIRE (CAL FIRE 2007). However, the project would involve replacing an existing single-family residence with a new single-family residence and would not result in a substantial change in land use or increase in susceptibility to fire risk at the site. The site is located within an existing developed neighborhood and CAL FIRE would continue to provide fire prevention and response services to the project site. Therefore, impacts would be *less than significant* and no mitigation is necessary.

4.7.3.6 Cumulative Impacts

Implementation of the proposed project, combined with current and future development, could result in the exposure of people and property to hazardous materials. However, impacts associated with hazardous materials are generally site-specific and not affected by regional development. Additionally, hazardous materials impacts associated with the proposed project are limited to the inadvertent spill or release of hazardous materials used for fueling and maintaining construction equipment and vehicles used during the construction phase of the proposed project. Implementation of mitigation measures would ensure that the project does not result in significant impacts resulting from an inadvertent spill or release of hazardous materials. The proposed project is not expected to contribute to a cumulative impact associated with hazardous resources. Therefore, cumulative impacts would be *less than significant* and no additional mitigation is necessary.

4.7.4 Land Use and Planning

4.7.4.1 Existing Conditions

Land Uses at the Project Site

The project site is located at 1170 Signal Hill Road (APN 008-261-007-000), within the Spyglass Cypress Planning Area of the Del Monte Forest Area Land Use Plan, in the unincorporated community of Pebble Beach, Monterey County, California. The 2.22-acre lot was created by the El Pescadero RHO subdivision and is located within an existing residential neighborhood above 17-Mile Drive, overlooking the Pacific Ocean. The site currently supports degraded dune habitat and a single-family residence designed by eminent southern California architect Richard Neutra. Existing vegetation includes native dune habitat, Monterey cypress trees, eucalyptus and Monterey pine trees, iceplant, and European beach grass.

The project site is zoned LDR and is within the 1.5 D District, within the Coastal Zone.

Surrounding Land Uses

The project site is surrounded by the Cypress Point Golf Course to the south and southwest, and 17-Mile Drive and the Pacific Ocean to the west. Undeveloped dune habitat is located across Signal Hill Road to the east and single family residences are located to the north and south, off 17-Mile Drive and Signal Hill Road. These surrounding uses are shown on Figure 2-2.

4.7.4.2 Regulatory Setting

The Del Monte Forest LUP and County LCP govern land use and development in the project area.

Table 4.7.4-1 lists applicable state, regional, and local land use policies and regulations pertaining to land use and planning that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. A general overview of these policy documents is presented in Chapter 3, Environmental Setting. Also included in Table 4.7.4-1 is an analysis of project consistency with identified policies and regulations.

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
County of Monterey Del Monte Forest Area Land Use Plan		
Del Monte Forest Land Use Plan Key Policies		
<p>Land Use and Development: Land use designations are directive as to the type of use, but uses shall only be allowed provided such use and related development can be accomplished consistent with LUP policies, including resource protection requirements. Development shall be sited and designed in such a manner as to protect and enhance coastal resources, including public recreational access.</p>	<p>The intent of this policy is to ensure development is consistent with the Land Use Plan and that coastal resources and public recreational access are protected and enhanced.</p>	<p><u>Potentially Consistent.</u> The proposed project would not result in a change in land use and would be consistent with the LUP. The project would not significantly affect coastal resources or public access, consistent with this policy.</p>
<p>Public Access: Visual and physical public access to and along the shoreline and the enjoyment of public recreational values throughout the Del Monte Forest, consistent with the basic purpose of the California Coastal Act, shall be maximized. This LUP shall also seek to ensure that the beauty of the Del Monte Forest Area coast, its tranquility, and the health of its environment will not be marred by public overuse or neglect.</p>	<p>The intent of this policy is to ensure the protection of the Del Monte Forest coastline.</p>	<p><u>Potentially Consistent.</u> The proposed project would not substantially interfere with public views or access in the project vicinity. Public visual access from Signal Hill Road would be impacted and blocked by the larger proposed residential structure; however, views from this location would be limited. The project would not result in increased use, neglect or impacts to the coastline, consistent with this policy.</p>
Land Use and Development Element		
LAND USE AND DEVELOPMENT POLICIES		
<p>Policy 64. Development and use of the land, whether public or private, shall conform to the policies and shall meet resource protection requirements as set forth in this LUP. This includes development on legal lots of record as well as new subdivisions.</p>	<p>The intent of this policy is to ensure the protection of resources.</p>	<p><u>Potentially Inconsistent.</u> The proposed project would be potentially inconsistent with LUP policies related to the protection of ESHA and historical resources, as further described in Section 4.2 and 4.3 of the EIR (Biological Resources and Historical Resources). Because the project would be potentially inconsistent with several resource protection requirements of the LUP, it is also potentially inconsistent with this</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 65. Figure 5 reflects maximum allowable development densities, including for any proposed subdivision of legal lots of record. Proposed development, including subdivision, shall only be allowed up to the maximum density allowed if such development is (and will be, in the case of the commitment to future development in subdivisions) consistent with all policies of this LUP, including resource protection requirements.</p>	<p>The intent of this policy is to ensure consistency with allowable development densities.</p>	<p>policy. Refer to Section 4.2 and 4.3 for additional information related to the potential inconsistencies.</p>
<p>Policy 66. County design review shall be required for all development in Del Monte Forest.</p>	<p>The intent of this policy is to ensure that all development proposed within the Del Monte Forest is reviewed by the County.</p>	<p><u>Potentially Consistent.</u> The project is subject to design review by the County, consistent with this policy.</p>
<p>Policy 68. New development shall incorporate mitigation measures to avoid, and where unavoidable, to minimize and reasonably mitigate potential adverse environmental impacts.</p>	<p>The intent of this policy is to ensure the protection of resources.</p>	<p><u>Potentially Consistent.</u> The EIR identifies mitigation measures that would avoid and/or minimize potential significant environmental impacts, consistent with this policy.</p>
<p>Public Access Element</p>		
<p><i>PUBLIC ACCESS POLICIES</i></p>		
<p>Policy 125. New development shall be sited and designed to avoid adversely affecting public access areas, including trail access (see, for example, Figure 8). Trail dedications necessary to provide public access connections to existing public access areas consistent with LUP policies shall be required as a condition of development approval. If, due to habitat or safety constraints, development entirely outside existing trail routes is not feasible, the route shall be realigned if otherwise appropriate and LUP consistent. Approved realignments shall be generally equivalent in terms of connectivity, utility, and public use value to the original route.</p>	<p>The intent of this policy is to preserve public access areas.</p>	<p><u>Potentially Consistent.</u> Implementation of the proposed project includes replacing an existing single-family residence with a new single-family residence on an existing lot. The project would not restrict public access, consistent with this policy.</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 126. While encouraging maximum public access, this LUP also intends to ensure that the privacy, safety, health, and property of residents are protected through the implementation of the following standards for the siting and design of public access improvements in residential areas.</p> <ul style="list-style-type: none"> a. Provide adequate separation between shoreline access and residential uses to protect the privacy and security of homes. Specifically, keep the edge of lateral shoreline trails 25 feet, and vertical shoreline access trails 10 feet, from any occupied residential structure if feasible while still providing for adequate public access. b. Maximize the use of appropriate landscaping, fences and grade separation between access routes and residences to protect privacy so long as such measures do not adversely impact access connectivity, utility, and public use value. 	<p>The intent of this policy is to encourage public access while maintaining privacy, safety, health and property for residents.</p>	<p><u>Potentially Consistent.</u> The proposed project would replace an existing single-family residence with a new single-family residence and would not increase public access or uses within or immediately adjacent to the private lot, consistent with this policy.</p>
<p><i>Monterey County Coastal Implementation Plan</i></p>		
<p>Part 1 Title 20 Zoning Ordinance</p>		
<p>20.14 – LDR (CZ) DISTRICT</p>		
<p>20.14.060 Site Development Standards.</p> <ul style="list-style-type: none"> A. Minimum Building Site The minimum building site shall be 1 acre unless otherwise approved as part of a clustered residential development. B. Development Density, Maximum The maximum development density shall not exceed the acres/unit shown for the specific "LDR" district as shown on the zoning map (e.g. "LDR/2" means an "LDR" district with a maximum gross density of 2 acres/unit). C. Structure Height and Setback Regulations The following structure height and setback regulations apply unless superseded by a structure height limit noted on the zoning map (e.g. "LDR/2.5 (24)" would mean a structure height limit of 24 feet), setback requirements when combined with a "B" district, setbacks 	<p>The intent of this policy is to establish building standards for lots designated for low density residential use.</p>	<p><u>Potentially Consistent.</u> The project would involve replacing an existing single-family residence with a new single-family residence on a residential lot within the LDR/1.5-Design Control District, within the Coastal Zone. The lot is approximately 2.22 acres and within the 1.5 acres/unit maximum allowable density. The proposed development would be within minimum setbacks and would include a total construction footprint of 8,058 square feet, which constitutes approximately 8.3% of the project site, consistent with maximum allowable floor area ratios. The maximum</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>shown on a recorded final or parcel map, or setback lines on a Sectional District Map.</p> <p>In a subdivision where a lot or lots have a designated building envelope, the dwelling unit and accessory structures shall be located wholly within the building envelope.</p> <ol style="list-style-type: none"> 1. Main Structures <ol style="list-style-type: none"> a. Minimum Setbacks <ul style="list-style-type: none"> Front: 30 feet Side: 20 feet Rear: 20 feet b. Height: <ul style="list-style-type: none"> Maximum Height: 30 feet 2. Accessory Structures (Habitable) <ol style="list-style-type: none"> a. Minimum Setbacks <ul style="list-style-type: none"> Front: 50 feet Side: 6 feet Rear: 6 feet b. Height: <ul style="list-style-type: none"> Maximum Height: 15 feet 3. Accessory Structures (Non-habitable) <ol style="list-style-type: none"> a. Minimum Setbacks <ul style="list-style-type: none"> Front: 50 feet Side: 6 feet on front one-half of property; 1 foot on rear one-half of property. Rear: 1 foot b. Height <ul style="list-style-type: none"> Maximum Height: 15 feet c. Agricultural windmills are exempt from the height provisions of this Chapter. 4. Accessory structures used as barns, stables or farm out buildings shall not be less than 50 feet from the front of the property or 20 feet from the side or rear property line or 		<p>height of the structure would be 30 feet above average natural grade, equal to the established maximum height limits and consistent with this section.</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>20 feet from any residence on the property. The maximum height shall be 30 feet.</p> <p>D. Minimum Distance Between Structures Main Structures: 20 feet Accessory/Main Structures: 10 feet Accessory/Accessory Structures: 6 feet</p> <p>E. Building Site Coverage, Maximum: 15%</p> <p>F. Floor Area Ratio (Del Monte Forest Only) LDR/1 Zoning Districts: 20% LDR/1.5 Zoning Districts: 17.5% LDR/2 Zoning Districts: 17.5%</p> <p>G. Parking Regulations Parking for all development shall be established pursuant to Chapter 20.58.</p> <p>H. Landscaping Requirements None, except as may be required by condition of approval of a Coastal Administrative or Coastal Development Permit.</p> <p>I. Lighting Plan Requirements: None, except as may be required by condition of approval of a Coastal Administrative or Coastal Development Permit.</p> <p>J. Sign Regulations Signing for all development shall be established pursuant to Chapter 20.60.</p>		
<i>Monterey County Coastal Implementation Plan</i>		
Part 5 Regulations for Development in the Del Monte Forest Plan Area (Chapter 20.147)		
<p>20.147.090 Land Use and Development</p> <p>A. Development Standards</p> <p>1. All development and use of the land, whether public or private, shall conform to the policies and shall meet resource protection requirements as set forth in the LCP.</p>	<p>The intent of this section is to ensure that land use is consistent with identified land use designations, provided such uses and related development can be accomplished consistent with the LCP,</p>	<p><u>Potentially Inconsistent</u>. The proposed project would be potentially inconsistent with LUP policies related to the protection of ESHA and historical resources, as further described in Section 4.2 and 4.3 of the EIR (Biological</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<ol style="list-style-type: none"> 2. New residential driveways and other vehicular surfaces shall be sited and designed: to minimize surface length and width as much as possible and still provide simple and direct access; to minimize runoff (including through use of permeable materials, detention/retention areas, filtration strips, etc.); and to filter and treat runoff (including through vegetative controls as well as engineered collection/treatment units) from such surfaces prior to discharge offsite and/or to sensitive receptors. Circular driveways, parking spaces above the number needed for the specific application in question, and other types of extraneous impervious vehicular surfaces shall not be allowed. Other vehicular surfaces are limited to a minimum required to meet daily parking needs. Development shall be modified as necessary for location and siting where such modifications will result in reduction of driveway length, vehicular surfaces, and other impervious surfaces. This development standard shall not be read to preclude safe bicycle lanes or adequate parking for commercial visitor serving development and access points. 3. Proposed development, including subdivision, shall only be allowed up to the maximum density allowed if such development is (and will be, in the case of the commitment to future development in subdivisions) consistent with all policies of this LCP, including resource protection requirements. 4. County design review shall be required for all development in Del Monte Forest. 5. Environmentally sensitive habitat areas shall be protected from both direct and indirect adverse impacts of development. 6. New development shall incorporate mitigation measures to avoid, and where unavoidable, to minimize and reasonably mitigate potential adverse environmental impacts. 	<p>including its resource protection requirements.</p>	<p>Resources and Historical Resources). Because the project would be potentially inconsistent with several resource protection requirements of the LUP, it is also potentially inconsistent with this policy.</p> <p>The driveway would be extend just past the minimum site setback and would be sited and designed to minimize length and provide simple and direct access. It would also be designed to minimize runoff and collect and direct stormwater, consistent with this section.</p> <p>The project is within maximum allowable densities and requires County design review. The project would result in direct and indirect impacts on ESHA; however all feasible mitigation has been identified in the EIR and would be incorporated into the project to reduce impacts to less than significant levels.</p>
<p>20.147.130 Public Access B. Access Requirement <ol style="list-style-type: none"> 1. Public recreational access opportunities shall be maximally provided consistent with public safety needs and the need to </p>	<p>The intent of this section is to ensure that visual and physical public access to and along the shoreline and the enjoyment of public recreational values throughout the Del Monte Forest are maximized.</p>	<p><u>Potentially Consistent</u>. The project would not restrict or modify public recreational access opportunities. It would not provide additional or increased public access and would not result in overuse</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>protect public rights, rights of private property owners, and natural resource areas from overuse.</p> <p>2. Where development includes or is required to provide public access, any land area to which such public access applies shall be dedicated directly or offered in dedication as an easement or in fee to Monterey County as a condition of project approval required to be completed prior to issuance of building or grading permits. The dedication or offer of dedication shall be in accordance with the requirements of Section 20.64.280. The County may designate another public agency or non-profit acceptable to the Board of Supervisors to accept such access dedications if the recipient demonstrates the ability to manage them consistent with the specific objectives associated with the public access area in question and the public trust. The terms of all access dedications may be enforced by the County or their designee, and shall revert to the County if the recipient is unable or unwilling to appropriately manage the public access area in question consistent with its intended purpose in the future. All dedications shall be accompanied by adequate funding to allow the public access objectives and requirements to be fully realized. Direct dedications are the preferred method of implementing these easement and/or property transfer requirements, but offers to dedicate easements and/or property may also be used if a direct dedication is not possible. Dedicated access areas shall not be required to be opened to public use until a public agency or private association agrees to accept responsibility for maintenance and liability of the access area.</p> <p>3. New development shall include public access except where: (a) it is inconsistent with public safety, military security needs, or the protection of fragile coastal resources, or adequate public access exists nearby; or (b) the new development project does not impact public access. The amount and type of public access provided shall be directly related and proportional to the public access impact identified.</p>		<p>or neglect of public recreational areas, consistent with this section.</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>20.147.130 Public Access</p> <p>C. Development Standards</p> <ol style="list-style-type: none"> 4. For areas not appropriate for access, public access shall be discouraged. Where such areas are located on private land, the County shall cooperate with landowners to develop effective methods for directing access to appropriate locations. 5. Public viewsheds are an important component of shoreline access and public recreational use. Development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points. 6. Development on sites that could provide for enhanced public access (e.g., filling a gap in relation to adjacent access areas) should be required to provide such access, including through dedication of access easements and/or property. 7. New development shall be sited and designed to avoid adversely affecting public access areas, including trail access (see, for example, LUP Figure 8). Trail dedications necessary to provide public access connections to existing public access areas consistent with LCP policies shall be required as a condition of development approval. A trail may be realigned due to habitat or safety constraints if appropriate and consistent with the LCP. Approved realignments shall be generally equivalent in terms of connectivity, utility, and public use value to the original route. 8. While encouraging maximum public access, this LCP also intends to ensure that the privacy, safety, health, and property of residents are protected through the implementation of the following standards for the siting and design of public access improvements in residential areas: <ol style="list-style-type: none"> (a) To provide adequate separation between shoreline access and residential uses to protect the privacy and security of homes, the edge of lateral shoreline access trails must be located a minimum of 25 feet, and 	<p>The intent of this section is to ensure that visual and physical public access to and along the shoreline and the enjoyment of public recreational values throughout the Del Monte Forest are maximized.</p>	<p><u>Potentially Consistent</u>. The project would not restrict or modify public recreational access opportunities. The project would not encourage public access on private land and the project site is not needed to provide additional public access, which is available in numerous areas in the immediate project vicinity. The project would not change internal circulation patterns or accessways. The project would result in potentially significant impacts on public views from 17-Mile Drive and other public vantage point. <u>Mitigation has been identified</u> to reduce potential visual impacts to less than significant, including requirements to avoid ridgeline development and to provide additional vegetative screening (refer to Section 4.1, Aesthetic Resources). <u>With implementation of identified mitigation</u>, the proposed project would be consistent with this section.</p>

Table 4.7.4-1. Applicable Local Plans and Policies Relevant to Land Use and Planning

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>vertical shoreline access trails a minimum of 10 feet, from any occupied residential structure if feasible while still providing for adequate public access.</p> <p>(b) Maximize the use of appropriate landscaping, fences and grade separation between access routes and residences to protect privacy so long as such measures do not adversely impact access connectivity, utility, and public use value.</p> <p>19. Future development shall be compatible with the goal of retaining and enhancing public visual access. Development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points, and shall be sited and designed to be compatible with the existing scenic character of the area.</p> <p>24. Residential development and the internal circulation network of the Forest should be planned and developed in a manner that separates visitor and resident traffic as much as possible.</p>		

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.4.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to land use and planning would occur if the project would:

- a) Physically divide an established community?
- b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?
- c) Conflict with any applicable habitat conservation plan or natural community conservation plan?

4.7.4.4 Impact Assessment Methodology

The analysis considers the proposed project's potential to conflict with applicable plans, policies, and regulations governing land use decisions in the project area that were adopted for the purpose of avoiding or mitigating an environmental effect. This analysis addresses the potential for temporary, indirect impacts on land use during construction, as well as long-term impacts resulting from project siting and operation.

4.7.4.5 Impact Assessment and Mitigation Measures

Physically divide an established community.

The proposed project includes replacing an existing single-family residence with a new single family residence on an existing lot within a developed neighborhood. The proposed project would not physically divide an established community. Therefore, *no impact* would occur and mitigation is not necessary.

Conflict with any applicable land use plan, policy, or regulation.

Section 15125(d) of the CEQA Guidelines requires analysis of a project's potential to conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effects. There are numerous plans, policies, and regulations that either are implicated by relevant significance criteria or were adopted for environmental purposes and thus are evaluated under the appropriate topical sections of this EIR.

This impact analysis evaluates overall project consistency with applicable plans, policies, and regulations pertaining to land use and planning. As shown in Table 4.7.4-1, the proposed project would be potentially inconsistent with various policies related to the protection of ESHA and historical resources. Potential significant impacts associated with those potential inconsistencies are discussed in Section 4.2 and 4.3 of the EIR (Biological Resources and Historical Resources). Numerous other potential inconsistencies would be avoided with implementation of identified mitigation measures that would bring the proposed project into consistency with applicable plans and policies. No additional policy inconsistencies are expected to result from implementation of the project outside of those specifically addressed elsewhere in the EIR.

The proposed land use would not differ from existing uses at the project site and would be consistent with surrounding residential uses within the LDR category. Therefore, impacts relating to land use and planning would be *less than significant* and no mitigation is necessary.

Conflict with any applicable habitat conservation plan or natural community conservation plan.

The project site is not located within an adopted habitat conservation plan or natural community conservation plan area. Therefore, *no impact* would occur and no mitigation is necessary.

4.7.4.6 Cumulative Impacts

The geographic scope of this cumulative impacts analysis is the local project vicinity as well as the Spyglass Cypress Planning Area of the Del Monte Forest Area LUP. If approved as it has been proposed, the project would conflict with numerous adopted land use policies and regulations that are intended to avoid and/or mitigate an adverse environmental impacts. However, all feasible mitigation measures have been identified to ensure consistency and reduce potentially significant environmental impacts to less than significant levels. Remaining inconsistencies and potential environmental impacts resulting from these inconsistencies are discussed elsewhere in this EIR (refer to Sections 4.2 and 4.3 of the EIR, Biological Resources and Historical Resources). With implementation of identified mitigation measures, the project would generally be consistent with applicable plans and policies. The proposed use is also compatible with existing and surrounding land uses and would not result in an incompatible land use at the project site. Therefore, cumulative impacts related to land use and planning area expected to be *less than significant* and no mitigation is necessary.

4.7.5 Mineral Resources

4.7.5.1 Existing Conditions

In accordance with the State of California's Surface Mining and Reclamation Act of 1975 (SMARA) (discussed in Section 4.7.5.2, below), the state geologist, through CGS (formerly known as the California Division of Mines and Geology), is responsible for identifying and mapping the non-fuel mineral resources of the state. Economically significant mineral deposits are classified based on the known and inferred mineral resource potential of the land using the California Mineral Land Classification System, which includes the following four mineral resource zones (MRZs).

- MRZ-1: Areas where adequate information indicates that no significant mineral deposits are present, or where it is judged that little likelihood exists for their presence.
- MRZ-2: Areas where adequate information indicates that significant mineral deposits are present, or where it is judged that a high likelihood exists for their presence.
- MRZ-3: Areas containing mineral deposits, the significance of which cannot be evaluated.
- MRZ-4: Areas where available information is inadequate for assignment to any other zone.

The CGS's classification of lands in the Monterey Bay Production–Consumption Region, within which the proposed project is located, focuses on significant sand, gravel, or stone deposits that are suitable as sources of aggregate (California Department of Conservation 1987). At the end of 1980, the Monterey Bay Production-Consumption Region was estimated to have 3.1 billion tons of aggregate within its resource sector, consisting of more than 715 million tons of sand and gravel and more than 2,366 million tons of stone (California Department of Conservation 1987). Construction-grade aggregate is used in construction to provide bulk and strength to concrete,

plaster, and stucco, and is used in road construction and other building applications. The CGS estimates that the Monterey Bay Production–Consumption Region has 323 million tons of permitted aggregate reserves. The estimated 50-year demand for aggregate in the region is 346 million tons (CGS 2012).

The majority of the Del Monte Forest area, including the project site, is designated as MRZ 3, indicating areas containing mineral deposits, the significance of which cannot be evaluated from available data (California Department of Conservation 1999). There are no known significant mineral resources on the project site, though the project site contains dune sands that have historically been mined in Monterey County.

The Office of Mine Reclamation periodically publishes a list of mines regulated under SMARA that meet provisions set forth under PRC §2717(b). There are a total of 12 active mines in Monterey County; however, there are no mines located within 0.5 mile of the project site (California Department of Conservation 2015b). The Del Monte Quarry, a sand and gravel mine operated by Granite Construction, is the closest mining operation approximately 2 miles east of the project site. This mine is no longer active.

4.7.5.2 Regulatory Setting

State Policies and Regulations

California Department of Conservation

The California Department of Conservation is the primary agency charged with mineral resource protection in California. Several divisions within the California Department of Conservation (the CGS, the Office of Mine Reclamation, the Division of Land Resource Protection, and the Division of Oil, Gas, and Geothermal Resources) are responsible for managing the development, utilization, and conservation of mineral resources, and the reclamation of mined lands.

Surface Mining and Reclamation Act of 1975

The SMARA (PRC Chapter 9, Division 2, §2710 et seq.) requires the State Mining and Geology Board to adopt state policies for the reclamation of mined lands and the conservation of mineral resources. These policies are found in 24 CCR Division 2, Chapter 8, Subchapter 1. In accordance with SMARA, the State of California established the Mineral Land Classification System to help identify and protect mineral resources in areas that are subject to urban expansion or other irreversible land uses that would preclude mineral extraction. Protected mineral resources include construction materials, industrial and chemical mineral materials, metallic and rare minerals, and non-fluid mineral fuels.

Local Policies and Regulations

Table 4.7.5-1 lists applicable state, regional, and local land use policies and regulations pertaining to mineral resources that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.5-1 is an analysis of project consistency with identified policies and regulations.

Table 4.7.5-1. Applicable Local Plans and Policies Relevant to Mineral Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Code of Ordinances</i>		
Chapter 16.04 Surface Mining and Reclamation		
<i>SECTION 16.04.140 MINERAL RESOURCE PROTECTION</i>		
<p>This Section protects mineral resource areas that have been classified by the California Division of Mines and Geology or designated by the State Mining and Geology Board, as well as existing surface mining operations that remain in compliance with the provisions of Chapter 16.04, from intrusion by incompatible land uses that may impede or preclude mineral extraction or processing, to the extent possible while remaining consistent with the Monterey County General Plan.</p>	<p>The intent of this ordinance is to protect classified mineral resource areas.</p>	<p><u>Potentially Consistent</u>. Demolition, construction, and development of the proposed project would occur on previously disturbed and developed areas on a residential lot. The project site does not support known mineral resources and the potential for dune sands located at the site to be mined in the future is extremely low due to site constraints, such as existing land use designations and zoning regulations, surrounding land uses that would be incompatible with mining activities, and LCP requirements for the protection of on-site ESHA.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.5.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact to mineral resources would occur if the project would:

- a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

4.7.5.4 Impact Assessment Methodology

This impact analysis evaluates the potential for the proposed project to result in the loss or availability of locally or regionally important mineral resources classified by the CGS using the California Mineral Land Classification System, and mineral resource maps produced by Monterey County.

4.7.5.5 Impact Assessment and Mitigation Measures

Result in the loss of a known mineral resource.

As discussed previously, the project site is located in an area that is designated as MRZ 3, indicating it is an area containing mineral deposits, the significance of which cannot be evaluated from available data (California Department of Conservation 1999). Although the project site contains dune sands that have historically been mined in the County, all demolition, grading, construction, and development activities associated with the proposed project would occur within previously disturbed and developed areas within the residential lot. Mining potential at the site is severely restricted by applicable LUP and LCP policies and regulations. Therefore, impacts would be *less than significant* and no mitigation is necessary.

Result in the loss of a locally important mineral resource recovery site.

Based on a review of all applicable local plans, there are no known mineral resources or recovery sites located within the project site or the immediate vicinity; therefore, implementation of the proposed project is not expected to result in the loss of availability of a locally important mineral resource recovery site. Impacts would be *less than significant* and no mitigation is necessary.

4.7.5.6 Cumulative Impacts

Although the project site consists of dune sands that have historically been mined in the County, mining potential at the site is severely restricted by applicable LUP and LCP policies and regulations. There are no known mineral resource recovery sites located on the project site. The proposed project would not include any form of mineral extraction and is not expected to result in short-term, long-term or cumulative impacts to mineral resources. Therefore, cumulative impacts would be *less than significant* and no mitigation is necessary.

4.7.6 Noise

4.7.6.1 Existing Conditions

Existing Noise Environment

Noise, as used herein, is defined as unwanted sound. The effects of noise are generally considered in two ways: 1) how a proposed project may increase existing noise levels and

potentially affect surrounding land uses; and 2) how a proposed land use may be affected by noise from existing and surrounding land uses.

Sound is measured in decibels (dB), and A-weighted decibels (dBA) are an expression of the relative loudness of sounds in air as perceived by the human ear. Generally, a 1 dBA increase in the noise level is the minimum perceptible change the human ear can detect. A 3 dBA change is readily noticeable by most people, and a 10 dBA change would be perceived as twice as loud or approximately a doubling of the noise level.

The most significant and common source of noise in the vicinity of the project site is vehicles traveling on local roadways. Other typical noise sources in the project vicinity include distant traffic, wind and surf along the coastline, birds overhead, dogs barking, landscape and golf course maintenance activities, and occasional aircraft overflights.

Sensitive Receptors

Noise-sensitive land uses are generally defined as locations where people reside or where the presence of unwanted sound could adversely affect the use of the land. Noise-sensitive land uses typically include residences, hospitals, schools, guest lodgings, libraries, and certain types of passive recreational uses, such as parks to be used for reading, conversation, meditation, and similar uses.

Several sensitive receptors are located within a 0.25-mile radius of the project site. Sensitive receptors in the vicinity of the project site include single-family residences north and south of the project site along Signal Hill Road and 17-Mile Drive and portions of the Cypress Point Golf Course located south and southwest of the project site.

4.7.6.2 Regulatory Setting

Noise is regulated predominantly at the state and local levels through regulations, policies, and local ordinances. The Federal Noise Control Act of 1972 recognized that noise control protects the health and welfare of the population; however, it gave responsibility for controlling noise sources to state and local governments. The federal law does provide standards for interstate commerce projects (i.e., airports), and the federal government also provides uniform procedures to evaluate highway noise and implement abatement measures through the Federal Highway Administration (FHWA). These standards are commonly adapted for state and local use based on prevailing local conditions or special requirements.

The California Government Code, in its State General Plan Guidelines, requires that local governments identify major noise sources and areas containing noise sensitive land uses. Noise must be quantified by preparing generalized noise exposure contours for current and projected conditions. Noise contours for Monterey County are located in the Noise Element of the County General Plan (1982). Land use compatibility noise exposure levels established by the County are shown in Table 4.7.6-1 below.

Table 4.7.6-1. Land Use Compatibility for Exterior Community Noise

Land Use Category	Noise Ranges, Ldn or CNEL (dB) ^{1,2}			
	I	II	III	IV
Passively used open spaces	50	50-55	55-70	70+
Auditoriums, concert halls, amphitheaters	45-50	50-65	65-70	70+
Residential—low-density single-family, duplexes, mobile homes	50-55	50-70	70-75	75+
Residential—multifamily	50-60	60-70	70-75	75+
Transient lodging—motels, hotels	50-60	60-70	70-80	80+
Schools, libraries, churches, hospitals, nursing homes	50-60	60-70	70-80	80+
Actively used open spaces—playgrounds, neighborhood parks	50-67	-	67-73	73+
Golf courses, riding stables, water recreation, cemeteries	50-70	-	70-80	80+
Office buildings, business commercial and professional	50-67	67-75	75+	-
Industrial, manufacturing, utilities, agriculture	50-70	70-75	75+	-

Notes:

¹ Ldn = day-night level; CNEL = community noise equivalent level

² Noise Ranges I through IV are defined as follows:

Noise Range I—Normally Acceptable. Specified land use is satisfactory, based on the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements.

Noise Range II—Conditionally Acceptable. New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and needed noise insulation features are included in the design. Conventional construction, but with closed windows and fresh air supply systems or air conditioning will normally suffice.

Noise Range III—Normally Unacceptable. New construction or development should generally be discouraged. If new construction or development does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design. **Noise Range IV**—Clearly Unacceptable. New construction or development should generally not be undertaken.

Source: County of Monterey 1982

Additionally, the Monterey City Municipal code has several ordinances governing noise issues.

4.7.6.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to noise and vibration would occur if the project would result in:

- a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?
- c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

- d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?
- f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

4.7.6.4 Impact Assessment Methodology

A “substantial” noise increase is defined as one that would interfere with human activities during the day and/or night (as opposed to an absolute, numerical increase over ambient noise levels). Noise impacts are considered significant if they would conflict with the noise level standards established in the applicable local ordinances and general plan noise elements. Consistency with local noise standards are determined by comparing the applicable noise level standard to published equipment noise levels.

4.7.6.5 Impact Assessment and Mitigation Measures

Generate noise levels in excess of standards.

The County's General Plan establishes normally acceptable, conditionally acceptable, normally unacceptable, and clearly unacceptable community noise exposure levels. Conditionally acceptable noise levels are established to allow noise levels generated by new construction or development only after a detailed analysis of the noise reduction requirement is made and needed noise insulation features included in the design. For residential land uses consisting of low density, single-family residences, the County has established a normally acceptable community noise exposure level of 50-55 dB and a conditionally acceptable community noise exposure level of 50-70 dB. For golf course land uses, the County has established a normally acceptable community noise exposure level of 50-70 dB and has not established a conditionally acceptable community noise exposure level for this land use.

Implementation of the proposed project would require demolition and construction activities that are expected to temporarily increase ambient noise in the project area. Demolition activities associated with site preparation are proposed to occur over approximately 3 to 4 weeks, including removal of all existing structures, foundation, and debris, and rough grading of the building pad. Construction and grading activities are expected to last approximately 18 to 24 months and would temporarily increase the ambient noise level in the project vicinity during this time. The increase in noise levels during project construction would vary throughout the 18-24 month period, depending on the construction phase and the types of construction equipment being used. All construction-related noise would be temporary and short-term.

The operation of trucks, backhoes, bulldozers, front-end loaders, compactors, scrapers, and other heavy-duty construction equipment that may be used during the construction phase of the project are expected to generate high noise levels. Typical noise levels generated by construction equipment that may be utilized during construction activities are summarized in Table 4.7.6-2 below. These noise levels are typical values based on the construction equipment that is likely to be used for project construction; therefore, there could be fluctuations in actual noise levels, depending on site-specific conditions and the type and combination of equipment used at the construction site.

Table 4.7.6-2. Default Noise Emission Reference Levels

Equipment Description	Spec. 721.560 L_{max} at 50 feet (dBA, slow)
Backhoe	80
Chainsaw	85
Compactor (ground)	80
Concrete Batch Plant	83
Concrete Mixer Truck	85
Concrete Pump Truck	82
Concrete Saw	90
Dozer	85
Dump Truck	84
Flat Bed Truck	84
Front End Loader	80
Grader	85
Paver	85
Pickup Truck	55
Tractor	84
Vibratory Concrete Mixer	80

Source: FHWA 2015.

Noise produced by construction would attenuate over distance at a rate of approximately 6dB per doubling of distance over hard sites (e.g., pavement) and 7.5 dB per doubling of distance over soft sites (e.g., sand or grass). Construction equipment could result in noise up to 90 dB at 50 feet from the source. Based on the attenuation rates described above, maximum construction noise would be reduced to approximately 82.5 dB at 100 feet, 75 dB at 200 feet, and 67.5 dB at 400 feet from the source.

Given the distance between the project site and the golf course (over 250 feet), and intervening vegetation and topography, the increase in ambient noise levels generated by construction activities is not anticipated to exceed the conditionally acceptable community noise exposure level of 70–80 dB. However, the use of certain construction equipment may exceed the established conditionally acceptable community noise exposure level of 50–70 dB for surrounding sensitive receptor residences, which are located less than 150 feet north and south of the proposed construction area. Therefore, implementation of the proposed project may expose sensitive receptors to noise levels in excess of standards established in the County General Plan.

Construction-related noise impacts would be limited in duration to the proposed construction period. Construction would also not be any different or more intensive than any other residential

construction in the project area. Ambient (existing) noise levels in the project area are generally high, due to traffic on 17-Mile Drive and wind and surf along the coastline. The soft site conditions across the parcel (dune sand) and existing elevated noise levels would reduce the noticeability of construction-related noise. Therefore, impacts would be *less than significant with mitigation*.

NOI Impact 1	
Implementation of the proposed project would require use of construction equipment and vehicles that could exceed noise thresholds for sensitive receptors during the construction phase of the proposed project, resulting in a significant effect.	
Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)	
NOI/mm-1.1	<p><i>The following noise attenuation measures shall be implemented during construction activities to reduce construction-related noise effects on adjacent sensitive receptors. The following measures shall be noted on construction plans prior to issuance of demolition, grading, or construction permits and shall be implemented throughout the duration of construction activities:</i></p> <ol style="list-style-type: none"> <i>a. Construction activities shall be limited to daytime hours between 7:00 a.m. and 7:00 p.m. Monday through Saturday. No construction shall be allowed on Sundays or national holidays.</i> <i>b. Neighborhood notice. Residents and other sensitive receptors within 300 feet of the project site shall be notified of the construction activities, including the nature of construction activities and schedule, in writing, at least 48 hours prior to the initiation of construction activities. The notice shall include contact information for questions and complaints, including name, phone number, address, and e-mail address.</i> <i>c. Construction equipment with internal combustion engines shall have sound control devices at least as effective as those provided by the original equipment manufacturer.</i> <i>d. No equipment shall be permitted to have an unmuffled exhaust.</i> <i>e. Impact tools, such as jack hammers, pavement breakers, and rock drills, used for project demolition or construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. Where use of pneumatic tools is unavoidable, an exhaust muffler shall be placed on the compressed air exhaust. External jackets shall be used on impact tools, where feasible.</i> <i>f. Stationary noise sources shall be located as far away from nearby receptors as possible, and shall muffle, incorporate noise barriers, or implement other noise control measures to the extent feasible.</i> <i>g. Trucks and construction equipment shall be prohibited from idling at the construction site or along streets serving the construction site.</i>
NOI/mma-1.1.1	<i>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised construction plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i>
NOI/mma-1.1.2	<i>Throughout construction activities, the environmental monitor shall submit regular monitoring reports to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</i>
Residual Impacts	
With implementation of the above mitigation measure, residual impacts associated with noise exposure would be less than significant.	

Generate excessive groundborne vibration or groundborne noise levels.

The proposed project would require site preparation, demolition and construction activities that would generate construction-related noise and vibration associated with the demolition of the existing residence and development of a new single-family residence. However, the project does not propose any significant sources of man-made vibration (i.e., sonic booms, blasting, pile driving). Therefore, the proposed project is not expected to generate excessive groundborne vibration or groundborne noise levels. Impacts would be *less than significant* and no mitigation is necessary.

Generate a substantial permanent increase in ambient noise levels.

All significant sources of noise associated with the proposed project would be generated by construction-related activities and would therefore be temporary. Implementation of the proposed project would replace an existing single-family residence with a new single-family residence; therefore, long-term operation of the project is not expected to result in a substantial permanent increase in ambient noise levels in the project vicinity compared to existing levels. Impacts would be *less than significant* and no mitigation is necessary.

Generate a substantial temporary increase in ambient noise levels.

As discussed above, the construction-related activities required for the proposed project would generate a substantial temporary increase in ambient noise levels in the vicinity of the project. The large parcel provides a natural buffer area, within which construction-related noise can attenuate over the soft site conditions before reaching adjacent sensitive receptors. Construction noise is not expected to exceed conditionally acceptable community noise exposure levels for the golf course; however, it could exceed conditionally acceptable community noise exposure levels for surrounding low-density residential sensitive receptors. Therefore, impacts would be *less than significant with mitigation*.

NOI Impact 2
Implementation of the proposed project would generate a substantial temporary increase in ambient noise levels during construction of the project, resulting in a significant effect.
<i>Mitigation Measures (mm) and Mitigation Monitoring Actions (mma)</i>
<i>Implement NOI/mm-1.1, NOI/mma-1.1.1, and NOI/mma-1.1.2.</i>
<i>Residual Impacts</i>
With implementation of the above mitigation measure, residual impacts associated with noise exposure would be less than significant.

Expose people to excessive noise levels in the vicinity of an airport.

The proposed project is not located within any airport land use plan or within two miles of a public or private airstrip, and would not expose people to excessive noise levels. Therefore, *no impact* would occur and no mitigation is necessary.

Expose people to excessive noise levels in the vicinity of a private airstrip.

The proposed project is not located within the vicinity of a private airstrip and would not expose people to excessive noise levels. Therefore, *no impact* would occur and no mitigation is necessary.

4.7.6.6 Cumulative Impacts

Construction activities are not considered cumulatively significant due to their short-term nature, and development of one single-family residence within an existing developed neighborhood would not contribute significantly to existing noise levels. Therefore, cumulative impacts associated with noise would be *less than significant* and no mitigation is necessary.

4.7.7 Paleontological Resources

4.7.7.1 Existing Conditions

Most of the fossils found in Monterey County are of marine life forms and form a record of the region's geologic history of advancing and retreating sea levels. Because of the marine origin of these deposits, the area lacks the large, terrestrial fossils found in other regions such as the dinosaur fossils of the southwestern United States. Most of Monterey County's fossils are micro-organisms such as foraminifera or diatoms, or assemblages of mollusks and barnacles most commonly found in sedimentary rocks ranging from Cretaceous age (138 to 96 million years old) to Pleistocene age (1.6 million to 11 thousand years old).

Fossils are found throughout the County because of the widespread distribution of marine deposits. A review of nearly 700 known fossil localities was conducted by paleontologists in 2001, and 12 fossil sites in the County were identified as having outstanding scientific value (Monterey County 2010). None of these sites are located on the Monterey Peninsula and the closest one is located approximately 5 miles south of the project site.

4.7.7.2 Regulatory Setting

Local Policies and Regulations

Table 4.7.7-1 lists applicable state, regional, and local land use policies and regulations pertaining to paleontological resources that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.7-1 is an analysis of project consistency with identified policies and regulations. Additional analysis of project consistency with applicable archaeological and historical resources is provided in Sections 4.3 and 4.4 of the EIR, Historical Resources and Archaeological Resources.

Table 4.7.7-1. Applicable Local Plans and Policies Relevant to Paleontological Resources

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Resource Management Element		
<i>CULTURAL RESOURCES</i>		
<p>Policy 57. The timely identification and evaluation of archaeological, historical, and paleontological resources, and coordination with applicable Native American representatives, is encouraged, so that these resources are given full consideration during the conceptual design phase of land use planning for project development.</p>	<p>This policy is intended to protect paleontological and cultural resources and encourage coordination with Native American representatives to ensure proper consideration of these resources.</p>	<p><u>Potentially Consistent.</u> Archaeological surveys at the project site did not identify any archaeological resources and the site does not support known paleontological resources and is not identified in an area of paleontological sensitivity. The surveys found no additional factors that would indicate elevated sensitivity at the project site. The County has consulted with Native American tribes affiliated with the project area, consistent with this policy.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.7.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact on paleontological resources would occur if the project would:

- c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

4.7.7.4 Impact Assessment Methodology

This impact analysis evaluates the potential for the proposed project to result in the loss or destruction of unique paleontological resources. The analysis included a review of existing paleontological sensitivity maps and information to determine the site's sensitivity for paleontological resources.

4.7.7.5 Impact Assessment and Mitigation Measures

Destroy a Unique Paleontological Resource or Geologic Feature

There are no known paleontological resources or unique geologic formations or sites located within the project area and the site is not within any identified sensitive paleontological areas. It is possible that paleontological resources could be discovered in the underlying geologic formation during ground disturbing activities associated with project construction; however, excavation would be limited in scale and almost entirely limited to previously disturbed areas. In addition, the fossils that are most likely to be found at the project site would include micro-organisms such as foraminifera or diatoms, or assemblages of mollusks and barnacles, which are found throughout the County and are not likely to constitute a unique or significant paleontological resource. Therefore, impacts would be *less than significant* and no mitigation is required.

4.7.7.6 Cumulative Impacts

As discussed above, the proposed project would have a less than significant impact on paleontological resources. Ground disturbance associated with cumulative project development, particularly related past and foreseeable future project proposed in areas of paleontological sensitivity or within sensitive geologic formations, could result in a cumulatively significant impact due to damage or destruction of a unique paleontological resource. The proposed project is not expected to contribute considerably to such an effect because of the limited nature and extent of disturbance, the low paleontological sensitivity of the site, and the location of excavation activities within previously disturbed areas. Cumulative impacts would be *less than significant* and no mitigation is necessary.

4.7.8 Population and Housing

4.7.8.1 Existing Conditions

As of 2014, the population in Monterey County was recorded as 431,344 compared to a total of 415,057 in 2010, resulting in a 3.9% increase in population within the county over 4 years (U.S. Census Bureau 2014). As of 2014, Monterey County supported 140,144 housing units and 125,428 households with an average of 3.2 persons per household. The median household income between the years 2009–2013 within the county was recorded as \$59,168 (U.S. Census Bureau 2014).

4.7.8.2 Regulatory Setting

California's Housing Element Law (California Government Code §§65580–65589.8) recognizes that the availability of housing was of vital statewide importance, and that early attainment of decent housing and a suitable living environment for every Californian is a high state priority. The law was enacted to ensure that counties and cities recognize their responsibilities in contributing to the attainment of state housing goals, to establish the requirement that all counties and cities adopt housing elements to help meet state goals, to recognize that each locality is best capable of determining what efforts it is required to take to contribute to attainment of state housing needs, and to encourage and facilitate cooperation between local governments to address regional housing needs.

Local Policies and Regulations

Table 4.7.8-1 lists applicable state, regional, and local land use policies and regulations pertaining to population and housing that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.8-1 is an analysis of project consistency with identified policies and regulations.

Table 4.7.8-1. Applicable Local Plans and Policies Relevant to Population and Housing

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest LUP Key Policies		
Housing: Housing opportunities for persons and families of low to moderate income should be protected and provided, both within the Forest and in outlying areas, as a function of new development within the Forest.	The intent of this policy is to provide and protect housing for low-income populations.	<u>Potentially Consistent</u> . The proposed project would replace an existing single-family residence with a new single-family residence and would have no impact on low-income housing.

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.8.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to population and housing would occur if the project would:

- a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?
- c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

4.7.8.4 Impact Assessment Methodology

The project was analyzed for its potential to induce substantial population growth or housing development. The potential need for additional workforce to support project construction is considered in the analysis of the project's potential to "induce substantial population growth...directly," since the project's construction jobs would be the mechanism by which population might be directly attracted to the area.

4.7.8.5 Impact Assessment and Mitigation Measures

Induce substantial population growth.

The proposed project would include replacing an existing single-family residence with a new single-family residence, consistent with the existing use and LDR zoning. The new residence would tie-in to existing utility infrastructure used by the existing residence. The project would not result in a change in land use or extension of roads or other infrastructure that could open up additional areas for development. Construction-related activities would temporarily require additional workforce at the project site; however, it is expected that construction employees required for implementation of the proposed project would already live in the area and would not require relocation. The project would not induce substantial population growth in the project area. Therefore, impacts would be *less than significant* and no mitigation is necessary.

Displace substantial numbers of existing housing.

The project includes replacing an existing single-family residence with a new single-family residence at the same location. The project would not displace a substantial number of existing housing; *no impact* would occur and no mitigation is necessary.

Displace substantial numbers of people.

Implementation of the proposed project would not displace people and would not necessitate the construction of replacement housing elsewhere. Therefore, *no impact* would occur and no mitigation is necessary.

4.7.8.6 Cumulative Impacts

As discussed above, the proposed project would have no impact related to displacing housing units or people, necessitating construction of replacement housing elsewhere. Therefore, the proposed project would not contribute to any cumulative effect related to the construction of

replacement housing. The proposed project would result in the temporary demand for construction workers; however, it is expected that employees would already live locally and would not require relocation. Additionally, the project would not result in the construction or expansion of utilities, but would rely on existing systems that serve the existing single-family residence. Therefore, the proposed project would not contribute to cumulative population growth or housing development. Cumulative impacts would be *less than significant* and no mitigation is necessary.

4.7.9 Public Services and Utilities

4.7.9.1 Existing Conditions

The Pebble Beach Community Services District (PBCSD) is a multipurpose special district that provides the community of Pebble Beach with fire protection and emergency medical services, wastewater collection and treatment, recycled water distribution, and garbage collection, disposal, and recycling.

Police Protection

The Monterey County Sheriff's Office's Patrol Division has three stations: one in Salinas that patrols all of North County, one in Monterey that covers all unincorporated areas of the Monterey Peninsula, Carmel Valley and coastal areas to the San Luis Obispo County line, and one in King City that provides coverage for South County (Monterey County Sheriff's Office 2015). Monterey County Sheriff law enforcement efforts are augmented by the California Highway Patrol (CHP) and PBCSD. The Monterey County Sheriff's Office provides police protection and law enforcement services to the Pebble Beach area 24 hours per day, 7 days per week. Pebble Beach is located within the Sheriff's Office Beat 6A, which is assigned one patrol vehicle with one deputy at all times. Response times to the Pebble Beach area vary based on the location of the deputy relative to the response location as well as the priority of the call.

In cooperation with the Sheriff's Office and under contract with the PBCSD, the CHP provides additional service to the area for traffic enforcement (PBCSD 2015). Although the CHP primarily handles traffic accidents and traffic enforcement issues in the project vicinity, Sheriff's deputies can also issue citations when they see violations of the California Vehicle Code on both County roads and state highways. Deputies can also issue citations for parking violations of the California Vehicle Code. The County Communications Center is notified of traffic-related calls by the CHP dispatch center. Depending on their position, a deputy may be first to the scene of a traffic accident to handle any necessary traffic control.

Fire Protection and Emergency Services

The PBCSD provides fire protection and paramedic emergency medical services to the project area. Additionally, CAL FIRE provides staff and operational services to PBCSD. Two fire stations serve the community of Pebble Beach: the Pebble Beach Fire Station and the Carmel Hill Fire Station (PBCSD 2015). The Pebble Beach Fire Station is located approximately 1.25 miles northeast of the project site, at 3101 Forest Lake Road in Pebble Beach. District equipment at the Pebble Beach Fire Station includes two Emergency One Fire Engines, an American La France Truck, and a Ford 1-ton Wildland Quick-Attack Fire Apparatus (PBCSD 2015). Full-time personnel stationed at the Pebble Beach Fire Station covering three shifts, 24 hours per day, 7 days per week include five fire captains, six fire apparatus engineers, three firefighter/paramedics, six firefighters, and two fire prevention captains (PBCSD 2015).

Schools

The project site is located in the Carmel Unified School District (Monterey County Office of Education 2015). The Carmel Unified School District is served by two child development centers, three elementary schools, one middle school, two high schools, and one adult school (Carmel Unified School District 2015). As of 2010, the California Department of Finance reported a total population of 22,991 in a land area of 463 square miles within the Carmel Unified School District (California Department of Finance 2012).

The closest school to the project site is the Stevenson School, a private, coeducational pre-kindergarten through 12th grade school for boarding and day students (Stevenson School 2015). Stevenson School is located approximately 0.8 mile east of the project site at 3152 Forest Lake Road, Del Monte Forest.

Water

The MPWMD serves a population of approximately 104,129 across Monterey County including Carmel by the Sea, Del Rey Oaks, Monterey, Pacific Grove, Seaside, Sand City, Monterey Peninsula Airport District, and portions of unincorporated Monterey County including Pebble Beach and Carmel Valley (MPWMD 2015). An Authorization for Water Permit, was signed and dated by MPWMD on July 26, 2011, for use of water provided by Cal Am at the project site.

Wastewater

The PBCSD provides wastewater collection and treatment services for uses in the community of Pebble Beach. Wastewater is conveyed through a 27-inch pipeline to the Carmel Area Wastewater District (CAWD) secondary treatment plant for processing. The CAWD wastewater plant has a National Pollutant Discharge Elimination System permit to accept up to 3 million gallons per day (mgd) (RWQCB 2014). The current design capacity of the CAWD plant is 3 mgd, and PBCSD owns one-third, or 1 mgd, of that capacity.

Stormwater

The MCWRA operates and maintains drainage facilities throughout Monterey County. The stormwater drainage system is composed of approximately 57 miles of drainage ways, eight pump stations, 9 miles of river levees, two large earthen dams, and numerous culverts, tide gates, and concrete structures (MCWRA 2018).

Utilities (Gas, Electricity, and Telephone)

The project area is served by AT&T for telephone service and by PG&E for natural gas and electricity.

Solid Waste

The PBCSD provides weekly collection of solid waste (garbage), green waste, and mixed recyclables through a contract with Waste Management, Inc. (PBCSD 2015). Solid waste is taken to the 470-acre Monterey Peninsula Landfill and Recycling Facility, located in the city of Marina and managed by the MRWMD (PBCSD 2015; MRWMD 2015). The MRWMD site includes the 310-acre Monterey Peninsula Landfill, as well as a materials recovery facility. The MRWMD operates under a Solid Waste Facility Permit that limits the peak traffic volume for incoming waste materials to 2,000 trips per day, and the peak tonnage of incoming waste to 3,500 tons per day (MRWMD 2015). The landfill currently receives less than 1,000 tons per day of municipal solid

waste and has a remaining capacity of approximately 48 million tons (MRWMD 2015). The Monterey Peninsula Landfill is expected to remain open until 2161 (MRWMD 2015).

4.7.9.2 Regulatory Setting

State Policies and Regulations

The CDWR manages California's water resources. The regulations overseen by CDWR regarding water service availability include the Urban Water Management Planning Act and SB 221 and SB 610. The California Department of Health Services (DHS) is responsible for overseeing the quality of water once it is in storage and distribution systems. DHS oversees the self-monitoring and reporting program implemented by all water purveyors, performs inspections, and assists with financing water system improvements for the purpose of providing safer and more reliable service.

The Porter-Cologne Water Quality Control Act provides the authority and method for the State of California to implement its water management program. The act establishes waste discharge requirements for both point and non-point source discharges affecting surface water and groundwater.

Solid waste disposal in California is regulated at the state level by CCR Title 14, Division 7, Chapter 3 (Minimum Standards for Solid Waste Handling and Disposal) and in PRC §40000 et. seq. (the California Integrated Waste Management Act). The California Integrated Waste Management Act requires municipalities to divert (reduce, recycle, or compost) 25% of their solid waste from landfills to recycling facilities by 1995 and 50% of their solid waste by 2000. The California Integrated Waste Management Board (now the Department of Resources, Recycling, and Recovery [CalRecycle]) was created by Assembly Bill 939 and Senate Bill 1322 to oversee, manage, and track waste generated in California.

California Government Code §51178 specifies that the Director of the California Department of Forestry and Fire Protection shall identify areas in the state as very high fire hazard severity zones based on consistent statewide criteria and based on the severity of fire hazard that is expected to prevail in those areas. Emergency vehicle response is provided from the central fire station on Forest Lake Road and the fire station located inside the Highway 1 gate over a network of collector or primary roads.

The CPUC regulates investor-owned (private) water, energy, and telecommunications utilities to ensure that they deliver safe, clean, and/or reliable services to customers at reasonable rates. The CPUC does not regulate publicly-owned utilities.

Local Policies and Regulations

The MCWRA covers a large area and is responsible for managing groundwater resources. This agency oversees the development and implementation of water quality, water supply, and flood control projects in Monterey County. Primary responsibilities are management of water supply resources in the reservoir system, including San Antonio and Nacimiento Reservoirs, and permitting and development of the Salinas Valley Water Project.

The MPWMD was formed in 1978 to augment the water supply and manage water resources for communities on the Monterey Peninsula, including Carmel-by-the-Sea, Del Rey Oaks, Monterey, Pacific Grove, Seaside, Sand City, Monterey Peninsula Airport District and portions of unincorporated Monterey County, including Pebble Beach and Carmel Valley. The MPWMD

provides integrated management of the ground and surface water resources within the Monterey Peninsula area, encompassing the waters of the Carmel River and Seaside groundwater basins.

Wastewater treatment and disposal in the County are managed by various entities using a variety of treatment technologies. Much of the unincorporated rural areas utilize onsite wastewater disposal systems (septic systems), which is regulated by the Monterey County Health Department. The majority of development in the more densely populated areas of the County is served by regional or municipal treatment and collection systems. Traditionally, the County has been responsible for wastewater treatment and disposal through its County Sanitation Districts and County Service Areas. The County Sanitation Districts and County Service Areas have historically been difficult for the County to operate in an efficient and cost effective manner. The County recognizes that private operators would more successfully run its wastewater operations. Recently, the County has sold some of the County Sanitation Districts and County Service Areas to a private operator, Cal Am. The County will continue to pursue buyers for existing wastewater facilities under the jurisdiction of a County Sanitation District or County Service Area. Further, the construction, operation and maintenance of all new wastewater facilities will be the responsibility of private service providers.

Table 4.7.9-1 lists applicable state, regional, and local land use policies and regulations pertaining to public services and utilities that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.9-1 is an analysis of project consistency with identified policies and regulations.

Table 4.7.9-1. Applicable Local Plans and Policies Relevant to Public Services

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest Land Use Plan Key Policies		
<p>Water and Wastewater: Development shall be approved only if it can be served by adequate and long-term public water supplies and wastewater treatment capacities. Priority for use of scarce water and wastewater treatment capacity shall be for coastal priority land uses. Wastewater systems which minimize or eliminate ocean pollution, and which provide for reclamation of wastewater for reuse, shall be encouraged and supported.</p>	<p>The intent of this policy is to ensure adequate long-term water and wastewater services.</p>	<p><u>Potentially Consistent.</u> The project Applicant has an Authorization for Water Permit, signed and dated by MPWMD on July 26, 2011 for use of water provided by Cal Am. The proposed project would tie-in to existing water supply infrastructure.</p> <p>The PBCSD, through its contract with CAWD, would provide wastewater collection, treatment, and disposal. The project would not significantly change water and wastewater demands over existing conditions, and would not exceed available water supplies or wastewater capacity, consistent with this policy.</p>
Land Use and Development Element		
LAND USE AND DEVELOPMENT POLICIES		
<p>Policy 88. Where existing or planned water and wastewater facilities can accommodate only a limited amount of development, water and wastewater services shall be assured for coastal-priority visitor-serving and public recreational uses (e.g., The Inn at Spanish Bay and The Lodge at Pebble Beach resort and golf facilities, the Poppy Hills golf course facility, the Spyglass Hill golf course facility, shoreline access areas, etc.) before new residential uses are permitted.</p>	<p>The intent of this policy is to prioritize coastal-priority visitor serving and public recreational uses in areas of limited water and wastewater services.</p>	<p><u>Potentially Consistent.</u> The proposed project would replace an existing residence with a new residence at the same location. The project would tie into existing facilities and would not substantially change water or wastewater demands or services at the project site. The Applicant has an Authorization for Water Permit, signed and dated by MPWMD on July 26, 2011 for use of water provided by Cal Am and existing wastewater facilities are adequate to</p>

Table 4.7.9-1. Applicable Local Plans and Policies Relevant to Public Services

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
Land Use Support Element		accommodate the proposed development, consistent with this policy.
<i>WATER AND WASTEWATER POLICIES</i>		
Policy 111. Development shall only be approved if it is first clearly demonstrated that the development will be served by an adequate, long-term public water supply, and where such development clearly incorporates all necessary measures to assure no net increase in water demand from Cal-Am sources where extraction is leading to resource degradation, other than development that uses the remaining available Pebble Beach Company MPWMD Water Entitlement from the original 365 AFY granted to Pebble Beach Company (pursuant to its Fiscal Sponsorship Agreement with MPWMD, dated October 3, 1989, as amended), consistent with applicable law for such use.	The intent of this policy is to ensure new development will be served by adequate long-term water supply.	<u>Potentially Consistent.</u> The project Applicant has an Authorization for Water Permit, signed and dated by MPWMD on July 26, 2011 for use of water provided by Cal Am and the proposed project would tie-in to existing water supply infrastructure.
Policy 112. Recycled wastewater shall be used as much as possible to irrigate all golf courses and landscaping areas, to the extent recycled water is reasonably available for such purpose, in order to conserve and make available additional potable water for domestic use. Development associated with golf courses and/or non-residential landscaping shall incorporate measures designed to ensure that such golf courses and/or landscaped areas are irrigated using such recycled water as much as possible.	The intent of this policy is to conserve potable water supplies for domestic use by encouraging use of recycled water for landscaping and irrigation.	<u>Potentially Consistent.</u> The project does not propose any outdoor landscaping or irrigation and would limit potable water use to domestic purposes, consistent with this policy.
Policy 113. In reviewing development applications, the County shall consult with the MPWMD and Cal-Am to determine that an adequate, long-term public water supply is available to serve proposed development.	The intent of this policy is to ensure new development will be served by adequate long-term water supply.	<u>Potentially Consistent.</u> The project Applicant has an Authorization for Water Permit, signed and dated by MPWMD on July 26, 2011 for use of water provided by Cal Am and the proposed project would tie-in to existing water supply infrastructure, consistent with this policy.
Policy 115. Development shall only be approved if it is first clearly demonstrated that there is adequate, long-term public wastewater treatment capacity to serve such development.	The intent of this policy is to ensure adequate long-term wastewater treatment services.	<u>Potentially Consistent.</u> The PBCSD, through its contract with CAWD, would provide wastewater collection, treatment, and disposal services. The proposed

Table 4.7.9-1. Applicable Local Plans and Policies Relevant to Public Services

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 116. New development shall employ water conservation techniques to the greatest possible extent. This shall include, among other things, use of water-saving fixtures, retaining native plants, and installing drought-tolerant landscaping.</p>	<p>The intent of this policy is to encourage new development to employ water conservation techniques.</p>	<p>project would include replacing and existing single-family residence with a new single-family residence and would not substantially change wastewater service demands. The proposed project would tie into existing facilities and would not result in a change in land use or an increase in demand on public facilities; therefore, no expansion of existing facilities would be necessary.</p> <p><u>Potentially Consistent.</u> The proposed project would include the construction of a new single-family residence in compliance with the most recent version of the CBC, which requires the use of water conserving plumbing fixtures. Additionally, the project includes implementation of a landscape plan that includes native plantings and that would not require irrigation, consistent with this policy.</p>
<p><i>Monterey County Coastal Implementation Plan</i></p>		
<p>Part 5 Regulations for Development in the Del Monte Forest Plan Area (Chapter 20.147)</p>		
<p>20.147.110 Water and Wastewater A. Development Standards 1. Development shall only be approved if it is first clearly demonstrated that the development will be served by an adequate, long-term, public water supply, and where such development clearly incorporates all necessary measures to assure no net increase in water demand from Cal-Am sources where extraction is leading to resource degradation, other than development that uses the remaining available Pebble Beach Company MPWMD Water Entitlement from the original 365 acre-feet per year granted to Pebble Beach Company</p>	<p>The intent of this section is to ensure that development only be approved if it can be served by adequate and long-term public water supplies and wastewater treatment capacities, that priority for use of scarce water and wastewater treatment capacity be for coastal priority land uses, and that wastewater systems which minimize or eliminate ocean pollution, and which provide for</p>	<p><u>Potentially Consistent.</u> The proposed project would tie into existing facilities and would not result in a change in land use or an increase in demand on public facilities. Therefore, adequate public facilities and services and infrastructure are available for the proposed project.</p> <p>The project Applicant has an Authorization for Water Permit, signed and dated by MPWMD on July 26, 2011</p>

Table 4.7.9-1. Applicable Local Plans and Policies Relevant to Public Services

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>(pursuant to its Fiscal Sponsorship Agreement with MPWMD, dated October 3, 1989, as amended), consistent with applicable law for such use.</p> <ol style="list-style-type: none"> 2. New development shall employ water conservation techniques to the greatest possible extent. This shall include, among other things, use of water-saving fixtures, retaining native plants, and installing drought-tolerant landscaping. 3. In reviewing development applications, the County shall consult with the MPWMD and Cal-Am to determine that an adequate, long-term public water supply is available to serve proposed development. 4. The County shall reserve water from any MPWMD and/or Cal-Am allocation for coastal priority uses. 5. Development shall only be approved if it is first clearly demonstrated that there is adequate, long-term public wastewater treatment capacity to serve such development. 6. Wastewater disposal systems which minimize or eliminate Carmel Bay pollution, and which provide for reclamation of wastewater for reuse, shall be encouraged. 7. Recycled wastewater shall be used as much as possible to irrigate all golf courses and landscaping areas, to the extent recycled water is reasonably available for such purpose, in order to conserve and make available additional potable water for domestic use. Development associated with golf courses and/or non-residential landscaping shall incorporate measures designed to ensure that such golf courses and/or landscaped areas are irrigated using such recycled water as much as possible. 8. Septic systems, package treatment plants, and individual water wells shall not be permitted. Development shall utilize public water and sewer services. 9. Development shall only be approved if it is first clearly demonstrated that the additional wastewater discharge associated with such development will not significantly adversely impact coastal resources, including primarily in terms of Carmel Bay. 	<p>reclamation of wastewater for reuse, be encouraged and supported.</p>	<p>for use of water provided by Cal Am, which establishes adequate water supplies to serve the continued residential use of the site. The PBCSD, through its contract with CAWD, would provide wastewater collection, treatment, and disposal through its existing infrastructure.</p> <p>The project would retain and increase the use of native species and no landscaping irrigation would be necessary (except for potentially short-term irrigation to ensure the viability of new plantings). No septic system is proposed and the project would not discharge into or otherwise affect Carmel Bay, consistent with this measure.</p>

Table 4.7.9-1. Applicable Local Plans and Policies Relevant to Public Services

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>10. Where existing or planned water and wastewater facilities can accommodate only a limited amount of development, water and wastewater services shall be assured for coastal-priority visitor-serving and public recreational uses (e.g., The Inn at Spanish Bay and The Lodge at Pebble Beach resort and golf facilities, the Poppy Hills golf course facility, the Spyglass Hill golf course facility, shoreline accessways, etc.) before new residential uses are permitted.</p>		

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.9.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to public services and utilities would occur if the project would:

- a) Have an effect upon or result in the need for new or altered public services or utilities in any of the following areas:
- Fire protection
 - Police protection
 - Schools
 - Parks
 - Other public facilities
 - Water
 - Wastewater
 - Stormwater and drainage
 - Solid waste

4.7.9.4 Impact Assessment Methodology

The analysis of public services and utilities and the subsequent estimation of impacts at the project site were conducted through a review of existing resources and information. Significant impacts would result if the project would have a significant effect on or result in the need for new or altered police, fire, school, road, solid waste, park, water, stormwater, or wastewater facilities.

4.7.9.5 Impact Assessment and Mitigation Measures

Affect or result in the need for new/altered public services.

As discussed previously, the project site is currently developed with a single-family residence in the unincorporated community of Pebble Beach. The proposed project would include demolishing the existing single-family residence and developing a new single-family residence at the same location, consistent with the LDR designation. Although the proposed residence would be larger than the existing residence, the project would not substantially change the intensity or density of land uses at the site. Therefore, implementation of the proposed project would not result in a significant change in land use or a new demand on public services. Police, fire, and emergency response would continue to be provided by the Monterey County Sheriff, the PBCSD, and CAL FIRE. Implementation of the proposed project would not result in a significant impact to schools, parks, or other public facilities in the vicinity of the project site. Therefore, impacts to public services would be *less than significant* and no mitigation is required.

Affect or result in the need for new/altered public utilities.

The proposed project would utilize existing infrastructure and tie-in to existing utilities. The proposed project does not propose a substantial change in the intensity or density of development at the site; therefore, existing utilities and infrastructure would be adequate to continue to serve the single-family development on the site. The Applicant provided an Authorization for Water Permit, signed and dated by the MPWMD on July 26, 2011 for use of water provided by Cal Am, which establishes adequate water supplies to serve the project (which would not be substantially different from past water demands at the site). Stormwater facilities would be developed in accordance with the proposed drainage plan and would direct all stormwater flows to percolate into the on-site dunes and proposed stilling basins, as further discussed in Section 4.6 of the EIR, Hydrology and Water Quality. Therefore, no effect on existing stormwater or drainage facilities would occur. The PBCSD, through its contract with the Carmel Area Wastewater District, would provide wastewater collection, treatment, and disposal. Solid waste, recyclables, and green waste collection and management would be provided by the PBCSD through its contractual agreement with Waste Management Inc., dba Carmel Marina

Corporation. Trash would be delivered to the MRWMD landfill in the city of Marina. Energy would be provided by PG&E. Therefore, the proposed project does not substantially increase development at the site and would not result in the need for new, increased, or altered wastewater, solid waste, or energy facilities and utilities. Impacts would be *less than significant* and no mitigation is required.

4.7.9.6 Cumulative Impacts

As discussed above, implementation of the proposed project would largely continue the existing use of the project site (single-family residential use) and would not result in a change in land use or a new demand on public services or utilities. The project would continue to be served by existing public services and would utilize existing infrastructure and tie-in to existing utilities. The proposed project would not alter or create a new demand for public services or utilities and would not require development of new infrastructure. Therefore, the proposed project would not result in a considerable contribution to cumulative impacts associated with public services and utilities. Cumulative impacts would be *less than significant* and no mitigation is necessary.

4.7.10 Recreation

4.7.10.1 Existing Conditions

The Del Monte Forest, 17-Mile Drive, and community of Pebble Beach are world famous recreational resources that attract visitors from throughout California and around the world. 17-Mile Drive is widely recognized as one of the most scenic drives in the world and is popular with motorists, cyclists, and pedestrians. The entrance fee for the drive is \$10 for all non-residents in private vehicles. Pedestrians and cyclists are not charged an entrance fee. The drive includes bike lanes and public coastal access routes. 17-Mile Drive provides numerous recreational opportunities in the immediate vicinity of the project site, including public beaches, famous golf courses, and public outlooks and vistas that provide dramatic views of the Pacific coastline and the Del Monte Forest. Additionally, the Del Monte Forest has an extensive trail system.

Monterey County also supports three day use parks, including Jacks Peak County Park, Royal Oaks Park, and Toro Park, in addition to four campground parks, Laguna Seca Recreation Area, San Lorenzo Park, Lake San Antonio, and Lake Nacimiento (Monterey County Parks Department 2015). The nearest public park is Jacks Peak County Park, which offers approximately 8.5 miles of horseback riding and hiking trails through the forests and ridge top vistas of Jacks Peak, approximately 5.5 miles east of the project site.

4.7.10.2 Regulatory Setting

The Del Monte Forest LUP provides policies for the protection of recreational resources and identifies public access as being one of the key recreational considerations along 17 Mile Drive. “Visual and physical public access to and along the shoreline and the enjoyment of public recreational values throughout the Del Monte Forest, consistent with the basic purpose of the California Coastal Act, shall be maximized. This LUP shall also seek to ensure that the beauty of the Del Monte Forest Area coast, its tranquility, and the health of its environment will not be marred by public overuse or neglect (pg.6).”

Table 4.7.10-1 lists applicable regional, and local land use policies and regulations pertaining to recreation that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.10-1 is an analysis of project consistency with identified policies and regulations.

Table 4.7.10-1. Applicable Local Plans and Policies Relevant to Recreation

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Public Access Element		
<i>PUBLIC ACCESS POLICIES</i>		
<p>Policy 125. New development shall be sited and designed to avoid adversely affecting public access areas, including trail access (see, for example, Figure 8). Trail dedications necessary to provide public access connections to existing public access areas consistent with LUP policies shall be required as a condition of development approval. If, due to habitat or safety constraints, development entirely outside existing trail routes is not feasible, the route shall be realigned if otherwise appropriate and LUP consistent. Approved realignments shall be generally equivalent in terms of connectivity, utility, and public use value to the original route.</p>	<p>The intent of this policy is to preserve public access to recreational and visual resources in the Del Monte Forest area.</p>	<p><u>Potentially Consistent</u>. Implementation of the proposed project includes replacing an existing single-family residence with a new single-family residence on a private lot in an existing neighborhood. The project would not restrict or affect public access to recreational facilities in the project vicinity.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.10.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to recreation and recreational facilities would occur if the project would:

- a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

4.7.10.4 Impact Assessment Methodology

The analysis of recreational resources was conducted through a review of existing resources, including the County of Monterey Del Monte Forest Area LUP and a Monterey County Parks Department information. Significant impacts would result if the project would affect onsite or nearby recreational resources, or substantially increase the use or demand for parks and recreation opportunities.

4.7.10.5 Impact Assessment and Mitigation Measures

Increase the use of existing recreational facilities.

The proposed project would include replacing an existing single-family residence with a new single-family residence on a privately-owned lot in an existing neighborhood. There are no public recreational resources on the site and no impacts on off-site recreational resources would occur. The project would not result in any increase in local population; therefore, implementation of the proposed project would not result in an increased demand on existing neighborhood and/or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. Impacts would be *less than significant* and no mitigation is necessary. Visual resources are discussed in Section 4.1 of the EIR, Aesthetic Resources.

Result in the construction or expansion of recreational facilities.

The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities. Therefore, *no impact* would occur and no mitigation is necessary.

4.7.10.6 Cumulative Impacts

Implementation of the proposed project would not increase the demand on recreational facilities and would not require the construction, expansion, or other modification of recreational facilities. Therefore, the proposed project would not contribute to cumulative impacts on recreational resources in the project area. Cumulative impacts would be *less than significant* and no mitigation is necessary.

4.7.11 Transportation and Circulation

4.7.11.1 Existing Conditions

Regional transportation within Monterey County, and within the project area, is supported by a system of highways, including U.S. Route 101 and several state routes (State Routes 1, 68, 156, 183, and 218). These roadways provide regional access to the project area and throughout Monterey County.

The Del Monte Forest area has a private road network, including 17-Mile Drive, which is owned and serviced by the Pebble Beach Company. In addition to 17-Mile Drive, five gated entrances provide access into the Del Monte Forest. Residents pay a yearly fee for upkeep of the road system. Visitors in vehicles pay an entrance fee, but there is no fee for pedestrians, bicyclists, or equestrians.

The project site is located approximately 750 feet southeast of the intersection of 17-Mile Drive and Signal Hill Road (refer to Figures 2-1 and 2-2, Project Vicinity Map and Project Location Map). The project site is accessed via Signal Hill Road and 17-Mile Drive. 17-Mile Drive is a famous, scenic, two-lane road that runs through Pacific Grove to Pebble Beach along the Pacific coastline in the Del Monte Forest area. Signal Hill Road is a private, dead-end roadway that extends approximately 0.3 mile east from 17-Mile Drive and provides access to six developed LDR lots.

4.7.11.2 Regulatory Setting

Applicable County regulations and standards for future development are located in the Del Monte Forest Area LUP, and the County of Monterey General Plan. The Del Monte Forest LUP specifies that “the continued development of a multi-modal circulation system within the Del Monte Forest shall be encouraged to provide an adequate level of service with minimal intrusion to the Forest environment, ensure adequate and effective public recreational access, encourage separation of visitor and resident traffic, and provide for a proportionate share of the improvements necessary to impacted areas of Highway 68, which serves as an external access route to the Del Monte Forest (pg.6).”

Table 4.7.11-1 lists applicable state, regional, and local land use policies and regulations pertaining to transportation and traffic that were adopted for the purpose of avoiding or mitigating an environmental effect and that are relevant to the proposed project. Also included in Table 4.7.11-1 is an analysis of project consistency with identified policies and regulations.

Table 4.7.11-1. Applicable Local Plans and Policies Relevant to Transportation and Traffic

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<i>County of Monterey Del Monte Forest Area Land Use Plan</i>		
Del Monte Forest Land Use Plan Key Policies		
<p>Circulation: The continued development of a multi-modal circulation system within the Del Monte Forest shall be encouraged to provide an adequate level of service with minimal intrusion to the forest environment, ensure adequate and effective public recreational access, encourage separation of visitor and resident traffic, and provide for a proportionate share of the improvements necessary to impacted areas of Highway 68, which serves as an external access route to the Del Monte Forest.</p>	<p>The intent of this policy is to encourage continued development of a multi-modal circulation system within the Del Monte Forest.</p>	<p><u>Potentially Consistent</u>. Implementation of the proposed project would not interfere with the level of service on surrounding roadways, create an intrusion to the forest environment, or restrict public recreational access. Impacts to the local circulation system would be a limited to a temporary increase in vehicles and construction equipment travelling on local roadways during the construction phase of the proposed project. Operational traffic would not substantially change over existing conditions, as the project would not change the density or intensity of use at the site.</p>
Land Use Support Element		
<i>CIRCULATION POLICIES</i>		
<p>Policy 103. To preserve both visual and physical access to the coast, the impacts on the road system of the Forest and on Highways 68 and 1 resulting from incremental development in the Forest shall be mitigated in conjunction with, or as a function of, new development.</p>	<p>The intent of this policy is to preserve visual and physical access to the coast.</p>	<p><u>Potentially Consistent</u>. Implementation of the proposed project would not interfere with visual or physical access to the coast. Impacts to the local circulation system would be a limited to a temporary increase in vehicles and construction equipment travelling on local roadways during the construction phase of the proposed project. Operational traffic would not substantially change over existing conditions, as the project would not change the density or intensity of use at the site. Visual access is discussed</p>

Table 4.7.11-1. Applicable Local Plans and Policies Relevant to Transportation and Traffic

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Policy 108. Applications for development in the Forest shall include an analysis of the traffic generation of such development and an analysis of the probable routes of such traffic. If the decision making body determines that the additional traffic generated by such development will create the need for additional traffic facilities, including changes and/or enhancements, to account for traffic that will exceed Level of Service D, and without regard to any other traffic generated by other sources, the County shall require the applicant to contribute to the County, at the time of construction, the applicant's estimated proportionate share of the cost of those facilities made necessary to which the development contributes.</p>	<p>The intent of this policy is to include analysis of traffic generation for development in the Del Monte Forest.</p>	<p>separately in Section 4.1 of the EIR (Aesthetic Resources).</p> <p><u>Potentially Consistent.</u> Implementation of the proposed project would not result in a significant change in traffic generation compared to existing conditions as the land use would remain low-density single-family residential. Traffic generation associated with the proposed project would be limited to construction-related traffic and would be limited in nature and duration.</p>
<p>Policy 109. Non-automobile transportation modes (e.g., trails) shall be considered and, where feasible, included in new development proposals. Appropriate considerations for residential developments include non-vehicular connections to the trail system and to commercial or visitor-serving facilities, including where such connections will facilitate enhanced trail connectivity and/or close trail gaps.</p>	<p>The intent of this policy is to consider non-automobile transportation modes in new development proposals.</p>	<p><u>Potentially Consistent.</u> Implementation of the proposed project would not interfere or result in impacts to non-automobile modes of transportation, including trails. Adequate trails and non-automobile visitor-serving facilities exist in the project vicinity.</p>
<p>Monterey County Coastal Implementation Plan</p>		
<p>Part 5 Regulations for Development in the Del Monte Forest Plan Area (Chapter 20.147)</p>		
<p>20.147.100 Circulation A. Development Standards 1. 17-Mile Drive shall remain open to the public for recreational use and any entrance fee charged shall be limited to a vehicular access fee (i.e., pedestrian and bicycle access shall remain free) and shall remain reasonable. 2. The vehicular entrance fee as of January 1, 2011 was \$9.50, and it was last increased to that amount on April 1, 2010. The entrance fee may be increased over time, as long as it is not increased by more than the increase in the Consumer</p>	<p>The intent of this section is to encourage continued development of a multimodal circulation system within the Del Monte Forest that provides an adequate level of service with minimal intrusion to the Forest environment, to ensure adequate and effective public recreational access, to encourage separation of visitor and resident traffic, and to provide for a proportionate share of the improvements necessary to impacted areas of Highway</p>	<p><u>Potentially Consistent.</u> The proposed project would not restrict access or result in closures along 17-Mile Drive. Implementation of the proposed project would not restrict public coastal access or access or use of non -automobile transportation modes (e.g., trails, or bicycle trails. Implementation of the proposed project would not result in a significant change in traffic generation compared to existing conditions as the</p>

Table 4.7.11-1. Applicable Local Plans and Policies Relevant to Transportation and Traffic

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>Price Index (CPI) or more than 5% per year, whichever is less, on a cumulative basis as measured from the date of the last gate fee increase.</p> <p>3. The recreational and scenic value of the 17-Mile Drive corridor shall be maintained by appropriate siting and design of new development to minimize public view impacts associated with the corridor as much as possible, including through the use of appropriate building setbacks along sections of 17-Mile Drive where such new development will occur.</p> <p>4. To protect public access to the shoreline and reserve limited highway capacity for coastal priority uses, development in the Del Monte Forest shall be required to identify and appropriately offset all circulation impacts, with preference given to mitigation measures designed to improve public recreational access and visitor-serving circulation. All such development shall either bear the incremental costs of necessary improvements to Highway 68 and the Highway 1 gate required as a result of traffic generated by the development, or pay into a fund that will be administered by the County for the incremental costs of necessary improvements to Highway 68 and the Highway 1 gate required as a result of traffic generated by the development. Approval of any development proposed by the owner of the Del Monte Forest road system (Pebble Beach Company) that is described in the Pebble Beach Company Concept Plan (Section 20.147.095) shall incorporate and/or require as a condition of approval improvements to the Highway 68/1/17-Mile Drive intersection area, including redevelopment of the Highway 1 gate (see LUP Figure 7), and improvements to The Lodge area parking and circulation system (see LUP Figure 9q) that improve circulation consistent with all LCP policies. Such approvals granted to Pebble Beach Company must also incorporate and/or require as a condition of approval all other necessary measures and modifications that are identified during the development review process to adequately address traffic and circulation issues associated with the proposed development.</p>	<p>68, which serves as an external access route to the Del Monte Forest.</p>	<p>land use would remain low-density single-family residential. Traffic generation associated with the proposed project would be limited to construction-related traffic and would be limited in nature and duration. Visual access is discussed separately in Section 4.1 of the EIR (Aesthetic Resources).</p>

Table 4.7.11-1. Applicable Local Plans and Policies Relevant to Transportation and Traffic

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>6. Circulation changes and/or improvements in the Del Monte Forest shall utilize to the maximum extent feasible existing disturbed areas.</p> <p>10. Non-automobile transportation modes (e.g., trails) shall be considered and, where feasible, included in new development proposals. Appropriate considerations for residential developments include non-vehicular connections to the trail system and to commercial or visitor-serving facilities, including where such connections will facilitate enhanced trail connectivity and/or close trail gaps.</p> <p>11. Improved bicycle access and connectivity within the Del Monte Forest, including a safe and usable through route (off-road preferably) from Pacific Grove to Carmel where space and grades permit, as close as feasible to the sea, is encouraged. Development that affects existing bicycle access (e.g., road improvement projects) shall include enhanced bicycle access improvements if such improvements are feasible.</p> <p>12. To preserve both visual and physical access to the coast, the impacts on the road system of the Del Monte Forest and on Highway 68 and Highway 1 resulting from incremental development of the Forest shall be mitigated in conjunction with, or as a function of, new development.</p> <p>13. Circulation improvements shall include improved visual access to the sea where needed along Highway 68 and 17-Mile Drive.</p> <p>14. Applications for development in the Del Monte Forest shall include an analysis of the traffic generation of such development and an analysis of the probable routes of such traffic. If the decision making body determines that the additional traffic generated by such development will create the need for additional traffic facilities, including changes and/or enhancements, to account for traffic that will exceed Level of Service D and without regard to any other traffic generated by other sources, the decision making body shall require the applicant to contribute to the County, at the time of construction, the applicant's estimated proportionate share of</p>		

Table 4.7.11-1. Applicable Local Plans and Policies Relevant to Transportation and Traffic

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<p>the cost of those facilities made necessary to which the development contributes.</p>		
2014 Monterey County Regional Transportation Plan		
2. Policy Element: A Framework for Meeting Long-term Mobility Needs		
<p>Access and Mobility. Goals: Improve ability of Monterey County residents to meet most daily needs without having to drive. Improve the convenience and quality of trips, especially for walk, bike, transit, car/vanpool and freight trips. <i>Policy Objectives:</i></p> <ul style="list-style-type: none"> ▪ To improve safe, attractive and affordable access to work, school, goods and other key destinations by walking, bicycling and transit. ▪ Improve travel time and travel time reliability for pedestrian and bicycle trips between key origins and destinations. ▪ Improve travel time reliability and speed consistency for transit, car/vanpool and freight trips between key origins and destinations. ▪ Improve the quality of walk, bicycle, car/vanpool and transit trips. <p><i>Performance Measures:</i></p> <ul style="list-style-type: none"> ▪ Percentage of work trips that are 30 minutes or less by mode. ▪ Average work trip travel time. 	<p>The intent of this goal is to improve mobility in the County, particularly for walk, bike, transit, car/vanpool, and freight trips.</p>	<p><u>Potentially Consistent.</u> The proposed project would not restrict access along 17-Mile Drive or other proximate roadways. Implementation of the proposed project would not restrict public coastal access or access or use of non - automobile transportation modes (e.g., trails, or bicycle trails. Implementation of the proposed project would not result in a significant change in traffic generation compared to existing conditions as the land use would remain low-density single-family residential. Traffic generation associated with the proposed project would be limited to construction-related traffic and would be limited in nature and duration. The project would be located within an existing neighborhood and would not result in lengthy trips or development in areas with inadequate or difficult access to key destinations.</p>
<p>Environmental Stewardship. Goals: Protect and enhance the County's built and natural environment. Act to reduce the transportation system's emission of greenhouse gases. <i>Policy Objectives:</i></p> <ul style="list-style-type: none"> ▪ Reduce greenhouse gas emissions consistent with regional targets. 	<p>The intent of this goal is to protect and enhance the County's built and natural environment.</p>	<p><u>Potentially Consistent.</u> The proposed project would not substantially change traffic conditions and has been designed to protect the natural environment (i.e., through utilization of previously disturbed areas to the extent feasible and proposed dune restoration activities). Construction activities would</p>

Table 4.7.11-1. Applicable Local Plans and Policies Relevant to Transportation and Traffic

Goals, Policies, Plans, Programs and Standards	Intent of the Policy in Relation to Avoiding or Mitigating Significant Environmental Impacts	Preliminary Consistency Determination*
<ul style="list-style-type: none"> ▪ Avoid or minimize impacts to local, state and federally defined sensitive areas. ▪ Conserve farmland resources. <p><i>Performance Measures:</i></p> <ul style="list-style-type: none"> ▪ Projected greenhouse gas emissions in 2020 and 2035. ▪ Impacts to open space (acres). ▪ Impacts to farmland conservation (acres). 		<p>result in a temporary increase in GHG emissions; however, construction activities would be limited and significant quantities of GHGs would not be emitted. The project would not result in significant impacts to open space, sensitive habitat, or farmland, consistent with this policy.</p>

* Although a preliminary determination regarding project consistency is made, it is the responsibility of the County Planning Commission or Board of Supervisors, the lead CEQA decision makers, to make the final determination regarding consistency issues.

4.7.11.3 Thresholds of Significance

Pursuant to Appendix G of the State CEQA Guidelines, a substantial impact related to transportation and circulation would occur if the project would:

- a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?
- b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?
- c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?
- d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- e) Result in inadequate emergency access?
- f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

4.7.11.4 Impact Assessment Methodology

The analysis is based on general estimates of construction workers and vehicles associated with construction of the proposed project and review of available maps of transit routes, bike routes, and recreational paths. The analysis focuses primarily on construction-related impacts because most impacts on traffic and transportation would occur during project construction.

4.7.11.5 Impact Assessment and Mitigation Measures

Conflict with an applicable plan, ordinance or policy relating to the circulation system.

The proposed project includes the demolition and replacement of an existing single-family residence with a new single family residence. The project would not result in a change in land use or substantially affect existing traffic facilities or conditions. Access to the project site is provided by 17-Mile Drive, a scenic, coastal roadway, and Signal Hill Road, a 0.3-mile, dead-end private roadway. Increased traffic levels generated by the proposed project would be limited to construction activities. Construction would require increased trips on local roadways by construction vehicles and equipment; however, this increase would be limited in nature and duration. The project would not result in impacts to local roadways in the form of restricted access, detours, closures, physical modifications, or other impacts. Therefore, implementation of the proposed project is not expected to conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system. Impacts would be *less than significant* and mitigation is not necessary.

Conflict with an applicable congestion management program.

The local roadways surrounding the project site that would be used for site access are not included in a congestion management program. Implementation of the proposed project is not expected to result in a decrease in level of service or otherwise interfere with travel on surrounding roadways. Therefore, impacts are expected to be *less than significant* and no mitigation is necessary.

Result in a change in air traffic patterns.

The project site is not located within two miles of a public or private airport or airstrip, and is not located at an elevation that would affect air traffic patterns. Therefore, *no impact* to air traffic patterns would occur and mitigation is not necessary.

Substantially increase hazards due to a design feature.

The proposed project design does not include modifications to surrounding roadways and the project would not result in a change in land use. The project would include the replacement of an existing paved driveway with a new driveway that connects to Signal Hill Road. There are no design features associated with the proposed project that would increase hazards or incompatible uses. Therefore, impacts would be *less than significant* and no mitigation is necessary.

Result in inadequate emergency access.

The proposed project consists of replacing a single-family residence on an existing lot and would not change existing access. The site provides adequate access for emergency services via Signal Hill Road and 17-Mile Drive, and would not interfere with any emergency evacuation routes or plans. Potential impacts related to emergency access would be *less than significant* and no mitigation is necessary.

Conflict with adopted policies, plans, or programs regarding public transit.

Transportation and circulation policies relevant to the proposed project exist in regional and local planning documents. These documents generally encourage the development of alternative transportation (such as public transit, bicycle, and pedestrian facilities) as a means to reduce traffic congestion and increase safety. As discussed in detail in Table 4.7.11-1, the proposed project is consistent with these plans because it would not adversely affect existing transportation facilities and would not result in a significant change in traffic generation compared to existing conditions as the land use would remain low-density single-family residential. The project would not restrict access or result in any other impacts to public transit, bicycle, or pedestrian facilities. Therefore, impacts would be *less than significant* and no mitigation is necessary.

4.7.11.6 Cumulative Impacts

As discussed above, operation of the proposed project would not result in a change in land use or place an increased demand on the local circulation network. Outside of limited additional short-term construction-related traffic, the project would not result in significant impacts to traffic, roadways, public transit, bicycle or pedestrian facilities. The project would not change the existing land use or generate permanent additional traffic trips; therefore, implementation of the proposed project is not expected to significantly contribute to cumulative impacts to traffic and transportation. Potential cumulative impacts would be *less than significant* and mitigation is not necessary.

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CHAPTER 5

ALTERNATIVES ANALYSIS

5.1 INTRODUCTION

This chapter discusses a range of alternatives to the proposed project, including alternative locations, alternative designs, and the No Project Alternative. The State CEQA Guidelines provide the following guidance for the discussion of alternatives to the proposed project:

- “An EIR shall describe a range of reasonable alternatives to the project, or to the location of a project, which would feasibly attain most of the basic objectives of the project but would avoid or substantially lessen any of the significant effects of the project, and evaluate the comparative merits of the alternatives.” (§15126.6(a))
- “The EIR shall include sufficient information about each alternative to allow meaningful evaluation, analysis, and comparison with the proposed project. A matrix displaying the major characteristics and significant environmental effects of each alternative may be used to summarize the comparison” (§15126.6(d))
- “The specific alternative of ‘no project’ shall also be evaluated along with its impact. The purpose of describing and analyzing a no project alternative is to allow decision makers to compare the impacts of approving the proposed project with the impacts of not approving the proposed project.” (§15126.6(e))
- “If the environmentally superior alternative is the ‘no project’ alternative, the EIR shall also identify an environmentally superior alternative among the other alternatives.” (§15126.6(e)(2))
- “The alternatives shall be limited to ones that would avoid or substantially lessen any of the significant effects of the project. Of those alternatives, the EIR need examine in detail only the ones that the lead agency determines could feasibly attain most of the basic objectives of the project.” (§15126.6(f))
- “Alternative Locations. Only locations that would avoid or substantially lessen any of the significant effects of the project need be considered for inclusion in the EIR.” (§15126.6(f)(2)(A))

Given the CEQA mandates listed above, this section: (1) describes a range of reasonable alternatives to the project, including the No Project Alternative; (2) examines and evaluates resource issue areas where significant adverse environmental effects have been identified and compares the impacts of the alternatives to those of the proposed project; and (3) identifies the Environmentally Superior Alternative.

5.2 PROJECT OBJECTIVES AND SIGNIFICANT IMPACTS

In accordance with the CEQA Guidelines, appropriate alternatives for EIR analysis are those that meet most of the basic project objectives and avoid or substantially lessen any of the significant environmental effects of the proposed project. Consequently, this section reviews the objectives that were identified for the proposed project and any significant unavoidable environmental effects.

5.2.1 Project Objectives

As described in Chapter 2, Project Description, the objectives identified for the project include those put forth by the Applicant as well as the County. The Applicant's stated project objectives, and the County's objectives in reviewing the project, are provided below.

The project objectives of the Applicant are as follows:

1. Remove the existing residence and construct a new single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area.
2. Construct a new, high-quality residence that is exemplary of the architectural design skill of recognized Mexican architect Ricardo Legorreta.
3. Restore areas of the project site outside of the construction area to their natural condition and allow for local native animal, insect, and plant life to flourish once again.
4. The overall improvement of the property for the betterment of the Pebble Beach community.

The objectives of the County, as CEQA lead agency, are as follows:

5. To comply with CEQA by: (1) informing governmental decision makers and the public about the potential, significant environmental impacts of the project; (2) identifying the ways that environmental damage can be avoided or significantly reduced; (3) preventing significant, avoidable damage to the environment by requiring changes in projects through the use of alternatives or mitigation measures when the governmental agency finds the changes to be feasible; and (4) disclosing to the public the reasons why a governmental agency approved the project in the manner the agency chose if significant environmental effects are involved (State CEQA Guidelines §15002).
6. Ensure a planned and balanced approach to development that protects the natural, cultural, historic, and visual resources of the Del Monte Forest.
7. Ensure that the project meets the goals of the County's General Plan and LCP, and is consistent with applicable policies of the Del Monte Forest Area LUP, effective June 22, 2012.

A lead agency must not give a project's purpose an artificially narrow definition; however, a lead agency may structure an EIR analysis around a reasonable definition of a project's underlying purpose (see *In re Bay-Delta Programmatic Environmental Impact Report Coordinated Proceedings*, 43 Cal.4th 1143 [2008]). For purposes of this Alternatives Analysis, and consistent with guidance established in *In re Bay-Delta*, the County has identified the basic "underlying purpose" of the project to be development of a single-family residence in the Del Monte Forest area.

This basic underlying objective of the project was considered during the formulation of potential alternatives for consideration in this EIR.

5.2.2 Potentially Significant Environmental Impacts

Alternatives to be considered under CEQA are those that would avoid or substantially lessen one or more of the significant environmental effects identified during evaluation of the proposed project. Many of the adverse environmental impacts described in Chapter 4, Environmental Impact Analysis, were judged to be less than significant. Two impacts were found to be significant and unavoidable even with the implementation of mitigation measures:

- HR Impact 1: The project would demolish the Connell House, a significant historical resource, resulting in a significant impact.
- HR Impact 2: Impacts to historical resources caused by destruction of the Connell House would be cumulatively considerable when considered in conjunction with other recent losses of Neutra commissions throughout the United States, resulting in a significant cumulative impact.

Other adverse impacts were determined to be potentially significant but could be reduced to a less-than-significant level through the implementation of mitigation measures, listed below:

- AES Impact 1: The proposed residential structure would be seen extending above the primary ridgeline from locations on 17-Mile Drive and Fanshell Beach, which would be inconsistent with County of Monterey visual resources policy and result in a potentially significant impact to the scenic vista.
- AES Impact 2: Because of the overall increase in project noticeability caused by the new structures extending above the primary ridgeline combined with its distinctively large size, the project would result in a substantial alteration of visual character as seen from 17-Mile Drive and Fanshell Beach, resulting in a potentially significant impact to the site and surroundings.
- AES Impact 3: Visibility of light sources and glow from the proposed residence, and glare from window glass, would potentially create a new source of light and glare, degrade nighttime dark skies, and adversely affect visual quality resulting in a significant impact to the surroundings.
- BIO Impact 1: Implementation of the proposed project would require the removal of two Monterey cypress trees and grading in the vicinity of nine additional Monterey cypress trees, resulting in a potentially significant impact.
- BIO Impact 2: The proposed project has potential to impact California legless lizards and coast horned lizards that are considered to be California Species of Special Concern. The proposed project has potential to impact nesting birds that are protected under the Migratory Bird Treaty Act and California Fish and Game Code. These impacts are potentially significant.
- BIO Impact 3: The proposed project would result in the permanent loss of 0.39 acre and the temporary disturbance of 1.67 acres of Environmentally Sensitive Habitat Area, resulting in a potentially significant impact.
- BIO Impact 4: Implementation of the proposed project has the potential to impact a 0.13-acre coastal wetland, resulting in a potentially significant impact.

- AR Impact 1: Ground disturbance (e.g., grading, excavation, vegetation removal, dune rehabilitation activities) associated with the project could result in the disturbance and destruction of unknown archeological resources, resulting in a significant impact.
- AR Impact 2: Ground disturbance (e.g., grading, excavation) associated with the project could result in the disturbance of unknown human remains, resulting in a significant impact.
- AR Impact 3: Impacts to archaeological resources caused by inadvertent damage or destruction of unknown resources would be cumulatively considerable when considered in conjunction with other potential disturbances in the project area, resulting in a significant cumulative impact.
- GEO Impact 1: Implementation of the proposed project could expose people or structures to substantial adverse effects involving seismic hazards, resulting in a potentially significant impact.
- GEO Impact 2: Construction activities and the increase in impervious surfaces as a result of the project would result in increased erosion, loss of topsoil, and the transportation of sediment and/or construction debris off-site during rain events, resulting in a potentially significant impact.
- GEO Impact 3: Implementation of the proposed project would result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse due to development being sited on potentially unstable soils.
- GEO Impact 4: The project would be located in an area with low to moderately expansive soils that could cause damage to structures and safety hazards as a result of soil instability, resulting in a potentially significant impact.
- HYD Impact 1: During construction, the proposed project would require grading on slopes in excess of 30%, which may result in increased runoff, erosion, and sedimentation associated with soil disturbance, potentially violating water quality standards during construction, resulting in a potentially significant impact.
- HYD Impact 2: After construction, the proposed project would increase impervious surfaces at the project site, potentially increasing the stormwater runoff volume and rate compared to existing conditions, which could cause erosion, increased peak flows, and other impacts to the existing drainage pattern, resulting in a potentially significant impact.
- HYD Impact 3: The project would alter the existing drainage pattern both during and following construction, which could contribute to increased erosion and sedimentation on- and off-site, resulting in a potentially significant impact.
- HYD Impact 4: The project would increase impervious surfaces at the site, which would increase stormwater runoff volume and rate compared to existing conditions potentially causing erosion, increased peak flows, and other impacts to the existing drainage pattern, resulting in a potentially significant impact.
- AQ/GHG Impact 1: Implementation of the proposed project could result in the generation of emissions as a result of construction activities in an area in non-attainment for ozone (8-hour standard) and PM₁₀, resulting in a potentially significant impact.

- HAZ Impact 1: Implementation of the proposed project has the potential to result in the inadvertent upset or release of hazardous materials used to fuel and maintain construction equipment and vehicles during construction of the proposed project, resulting in a potentially significant impact.
- NOI Impact 1: Implementation of the proposed project would require use of construction equipment and vehicles that could exceed noise thresholds for sensitive receptors during the construction phase of the proposed project, resulting in a significant effect.
- NOI Impact 2: Implementation of the proposed project would generate a substantial temporary increase in ambient noise levels during construction of the project, resulting in a significant effect.

These potentially significant impacts were considered during the formulation of potential alternatives for consideration in this EIR.

5.3 ALTERNATIVES DEVELOPMENT AND ANALYSIS PROCESS

In defining the feasibility of alternatives, the State CEQA Guidelines state: “Among the factors that may be taken into account when addressing the feasibility of alternatives are site suitability, economic viability, availability of infrastructure, general plan consistency, other plans or regulatory limitations, jurisdictional boundaries (projects with a regionally significant impact should consider the regional context), and whether the proponent can reasonably acquire, control or otherwise have access to the alternative site.” If an alternative was found to be infeasible, as defined above, then it was dropped from further consideration in this analysis.

In addition, State CEQA Guidelines Section 15126.6 states that alternatives should “...attain most of the basic objectives of the project...”. As further explained by the California Supreme Court:

“[A]n EIR should not exclude an alternative from detailed consideration merely because it ‘would impede to some degree the attainment of the project objectives.’ But an EIR need not study in detail an alternative that is infeasible or that the lead agency has reasonably determined cannot achieve the project’s underlying fundamental purpose...

Although a lead agency may not give a project’s purpose an artificially narrow definition, a lead agency may structure its EIR alternative analysis around a reasonable definition of underlying purpose and need not study alternatives that cannot achieve that basic goal.” (In re Bay-Delta Programmatic Environmental Impact Report Coordinated Proceedings, 43 Cal.4th 1143, 1165-1166 [2008]).

The alternatives selected for further analysis have been evaluated against the proposed project to provide a comparison of environmental effects and to identify the environmentally superior alternative. Note that the significance of impacts associated with the proposed project, and the determination of impacts presented in this section for comparative purposes, are based on the respective identified changes in conditions relative to the environmental baseline (as described in Chapter 4, Environmental Impact Analysis). Impact determinations do not take into account the current, more severely degraded condition of the existing residence. The County has the discretion to select whatever alternative or combination of alternatives it deems most appropriate, provided that the environmental impacts of the proposed project can be mitigated,

or to the extent that they cannot, provided that the County adopts a Statement of Overriding Considerations, per Section 15093 of the State CEQA Guidelines.

The alternatives analysis includes a preliminary alternatives screening process and alternative project evaluation process, as described below.

5.3.1 Preliminary Alternatives Screening Process

The alternatives analysis begins with a screening and evaluation of a list of preliminary alternatives to determine which options will be selected for further analysis in the EIR. In order to maximize the range of alternatives considered and provide flexibility during project approval, the EIR evaluated a total of nine variations of the proposed project aimed at reducing the significant and unavoidable impact to historical resources associated with the demolition of the Connell House. The various alternatives considered include different levels and methods of preservation and rehabilitation/reuse/integration of the existing structure as well as a range of alternative options for siting and construction of the proposed single-family residence. The list of preliminary alternatives includes various alternatives recommended by SHPO in its response to the NOP circulated for the project, and although no significant unavoidable impacts were identified due to project inconsistencies with LCP requirements (particularly those related to ridgeline development and the protection of ESHA), this section also analyzes an alternative that would be entirely consistent with the standards set forth in the County's LCP, based on recommendations of the California Coastal Commission in response to the NOP circulated for the project (refer to Appendix A).

Each of the identified alternatives was preliminarily assessed to determine which of the alternatives met the requirements of a viable alternative under CEQA by considering whether the alternative: (1) would be feasible; (2) would avoid or substantially lessen any of the significant effects of the project; and (3) would meet the basic underlying objective of the project. Those alternatives that met these three criteria were carried forward for more detailed review in the EIR.

5.3.2 Alternative Project Evaluation Process

The environmental impacts of the alternatives carried forward for review in the EIR, including the No Project Alternative, were then compared against the impacts of the proposed project for each environmental issue area discussed in Chapter 4 of the EIR. A significance determination was made about each alternative for each issue area, and a basis for that determination has been provided. The determination of comparative impacts utilizes the following criteria:

- **No Impact:** The significance criteria do not apply or no impact would result.
- **Similar:** Impacts would be identical or would be of the same general extent and severity as the impacts associated with the proposed project; therefore, the significance determination would be the same.
- **Increased:** New potentially significant impacts or a substantial increase in the severity of the impacts associated with the proposed project would occur; therefore, the significance determination would be greater.
- **Decreased:** Potentially significant impacts would be avoided or a substantial reduction in the severity of the impacts associated with the proposed project would occur; therefore, the significance determination would be reduced.

As a result of this evaluation and comparison of potentially significant environmental impacts, an Environmentally Superior Alternative has been identified.

5.4 PRELIMINARY ALTERNATIVES

Criteria used to develop preliminary project alternatives included: (1) whether the alternative would avoid or substantially lessen significant impacts to historical resources; (2) whether the alternative would generally meet the project objectives and underlying fundamental purpose; and (3) whether implementation of the alternative would be feasible. It should also be noted that economic feasibility was not identified as a constraint to development of any of the identified alternatives, primarily based on a comparison of likely costs associated with construction and maintenance of the proposed 11,933-square-foot residence. Economic impacts and cost justifications are not considered environmental effects under CEQA, except as economic effects may be relevant to the physical changes caused by economic effects of a project. (CEQA Guidelines section 15131.) Specific consideration was given to potential alternatives that would avoid or minimize impacts and be consistent with the County LCP and Del Monte Forest Area LUP.

As part of the Secretary of the Interior's Standards, the National Park Service delineates four treatment approaches for historic properties: preservation, rehabilitation, reconstruction, and restoration. These four treatment approaches are briefly defined below:

- Preservation: Preservation focuses on the maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time.
- Rehabilitation: Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.
- Restoration: Restoration depicts a property at a particular period of time in its history, while removing evidence of other periods.
- Reconstruction: Reconstruction re-creates vanished or non-surviving portions of a property for interpretive purposes.

Choosing the appropriate treatment approach depends on a number of factors, such as the level of and reasons for a property's historic significance, physical condition, and proposed use. While a single approach is generally selected for projects involving historic properties, some projects benefit from the inclusion of two or more approaches, depending on the situation and condition of the property. For example, a property that retains most of its original features and materials, but is missing some character-defining materials and features, might require a rehabilitation treatment approach, with limited, focused reconstruction.

The term "preservation" in the sections below is intended to refer generally to the retention and repair/reconstruction of the property such that it ultimately retains its historic integrity. Where significant reconstruction would be required to achieve preservation, the general term is understood to include some reconstruction. The appropriate treatment approach or approaches would need to be determined in conjunction with a qualified preservation professional and through the commissioning of a Historic Structures Report.

5.4.1 Alternative 1: Preservation

This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure for single-family occupancy in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and dune restoration over the remainder of the parcel.

5.4.2 Alternative 2: Preservation/Adaptive Reuse

This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure for an adaptive reuse allowed under the Monterey County Zoning Code in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Adaptive reuse refers to the process of reusing a structure for a purpose other than that for which it was built or designed (i.e., for historic documentation and public educational uses [a museum]). The remainder of the parcel would be restored to native dune habitat.

5.4.3 Alternative 3: Preservation and Separate Onsite Development

This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Under this alternative, a second single-family residence would be developed at a different location on the project site. The remainder of the parcel would be restored to native dune habitat.

5.4.4 Alternative 4: Project Integration

This alternative would include integration of the Connell House into the proposed project. The structure (or portions of the structure) would be retained and integrated into the design of the new construction in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. This alternative would necessitate the following:

- the documentation of primary and secondary character-defining elevations, spaces, and features in order to identify opportunities and constraints for additions and expanded living space, and
- the participation at conceptual, schematic, and design development phases of a qualified architectural historian and/or historic architect.

This alternative could include full or partial project integration. Full integration could include, for example, adding on to the existing structure, adding additional full or partial floors or levels, supplementing additional living space by enclosing the courtyard or outside patio areas, or developing a separate addition to the structure connected by a breezeway or stairs.

Partial integration could include, for example, preserving/reconstructing components in the western, most visible elevation, including the prominent bands of fenestration on the first and second stories, the ground-level terrace, second-level balcony, characteristic roofline, and juxtaposition of transparent and opaque surfaces while all or a portion of the remaining components would be demolished to facilitate construction of the new residence. Other character-defining features of the residence could be preserved, such as the north entry or the exterior façade, while interior portions of the structure would be renovated and remodeled.

The remainder of the parcel would be restored to native dune habitat.

5.4.5 Alternative 5: Relocation and Preservation

This alternative would include relocating the Connell House to a new location and preserving, repairing, and replacing portions of the structure in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Relocation could occur at an appropriate site in the Del Monte Forest area, on the Monterey Peninsula, or beyond the Monterey Peninsula. Under this alternative, the proposed single-family residence would be developed as currently designed on the project site but would not require demolition of the Connell House.

5.4.6 Alternative 6: Reduced Project

This alternative would include completely demolishing the Connell House, but would reduce the size of the proposed single-family residence to stay within the existing developed footprint and to avoid building heights that extend above the ridgeline. The remainder of the parcel would be restored to native dune habitat.

5.4.7 Alternative 7: Neutra-Inspired Redesign

This alternative would include completely demolishing the Connell House, but would redesign the proposed single-family residence to echo Richard Neutra's design for the new development. The remainder of the parcel would be restored to native dune habitat.

5.4.8 Alternative 8: Salvaged Reuse Integration

This alternative would include completely demolishing the Connell House, but would reuse salvaged elements from the Connell House as fragments integrated into the design of the new single-family residence. The remainder of the parcel would be restored to native dune habitat.

5.4.9 Alternative 9: Reduced Height

This alternative would include completely demolishing the Connell House, and would reduce the maximum height of the proposed single-family residence structure by 5 feet, from 30 feet above average natural grade (130 feet above msl) to 25 feet above natural grade (125 feet above msl). The remainder of the parcel would be restored to native dune habitat.

The Reduced Height Alternative was proposed by the project applicant as an alternative project design to minimize visual impacts associated with the proposed project extending above the ridgeline. The Reduced Height Alternative project plans are included in Figures 5-1 through 5-7, below, and this alternative is discussed in detail in Section 5.6.3.

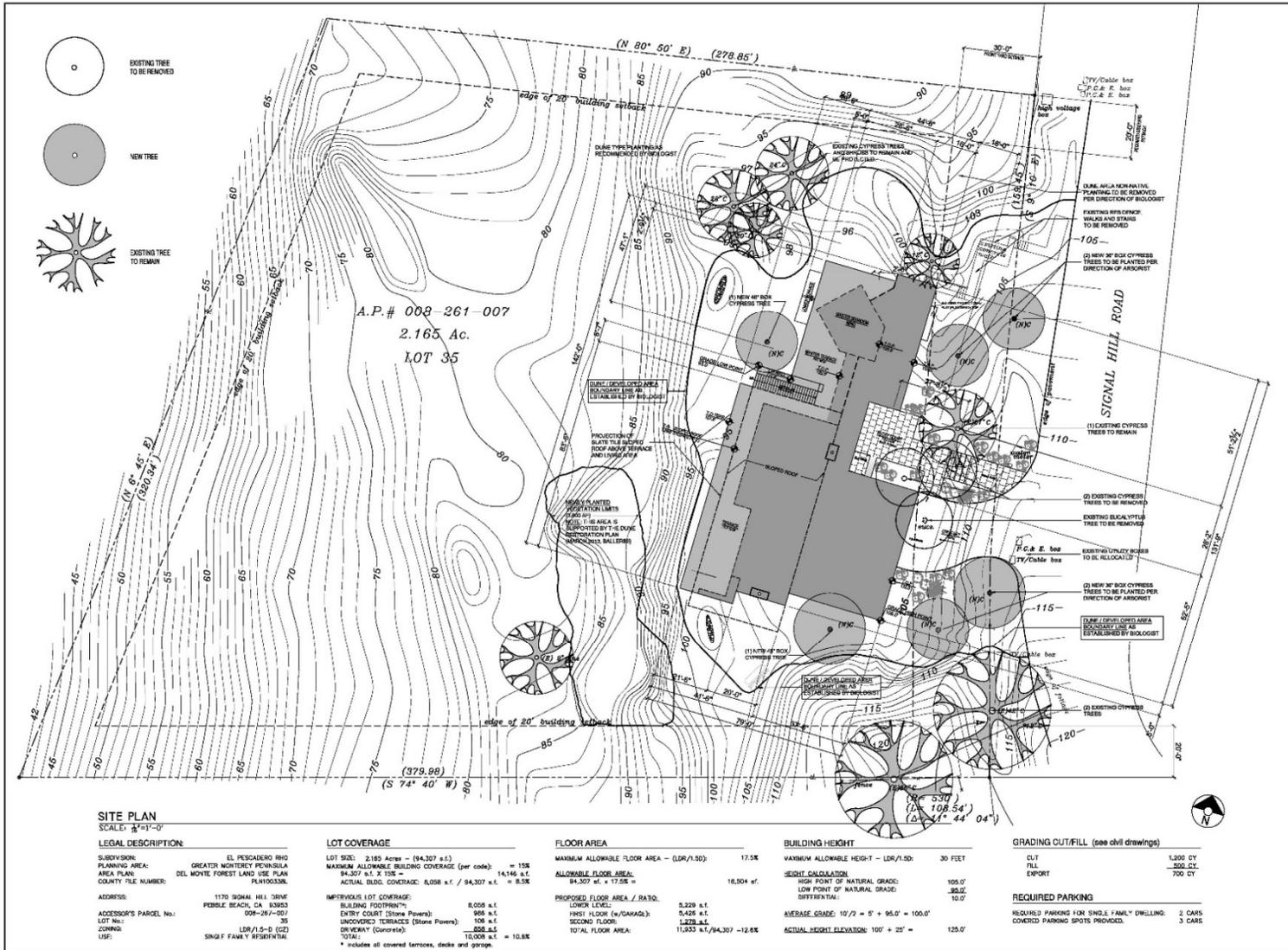
5.4.10 No Project Alternative

This alternative would maintain existing conditions at the project site. No demolition, preservation/reconstruction, or dune restoration activities would occur.

5.5 PRELIMINARY ALTERNATIVES SCREENING ANALYSIS

This section screens the preliminary alternatives and identifies those alternatives determined appropriate for further evaluation based on the determination that they: (1) would be feasible; (2) would avoid or substantially lessen any of the significant effects of the project; and (3) would meet the basic underlying objective of the project. The preliminary alternatives screening analysis is summarized in Table 5-1, below.

Figure 5-1. Reduced Height Alternative Site Plan



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LEGEND
Ø EXISTING TREE TO BE REMOVED
● NEW TREE
✳ EXISTING TREE TO REMAIN

REVISIONS
▲ BUILDING ROTATION - JULY 2016

KEY PLAN

CASA PEBBLE BEACH
1170 SIGNAL HILL ROAD
PEBBLE BEACH, CALIFORNIA

SITE PLAN
A-1.0
DATE: 8/24/2016
SCALE: 1/8"=1'-0"

Figure 5-2. Reduced Height Alternative Ground Floor/Basement Plan

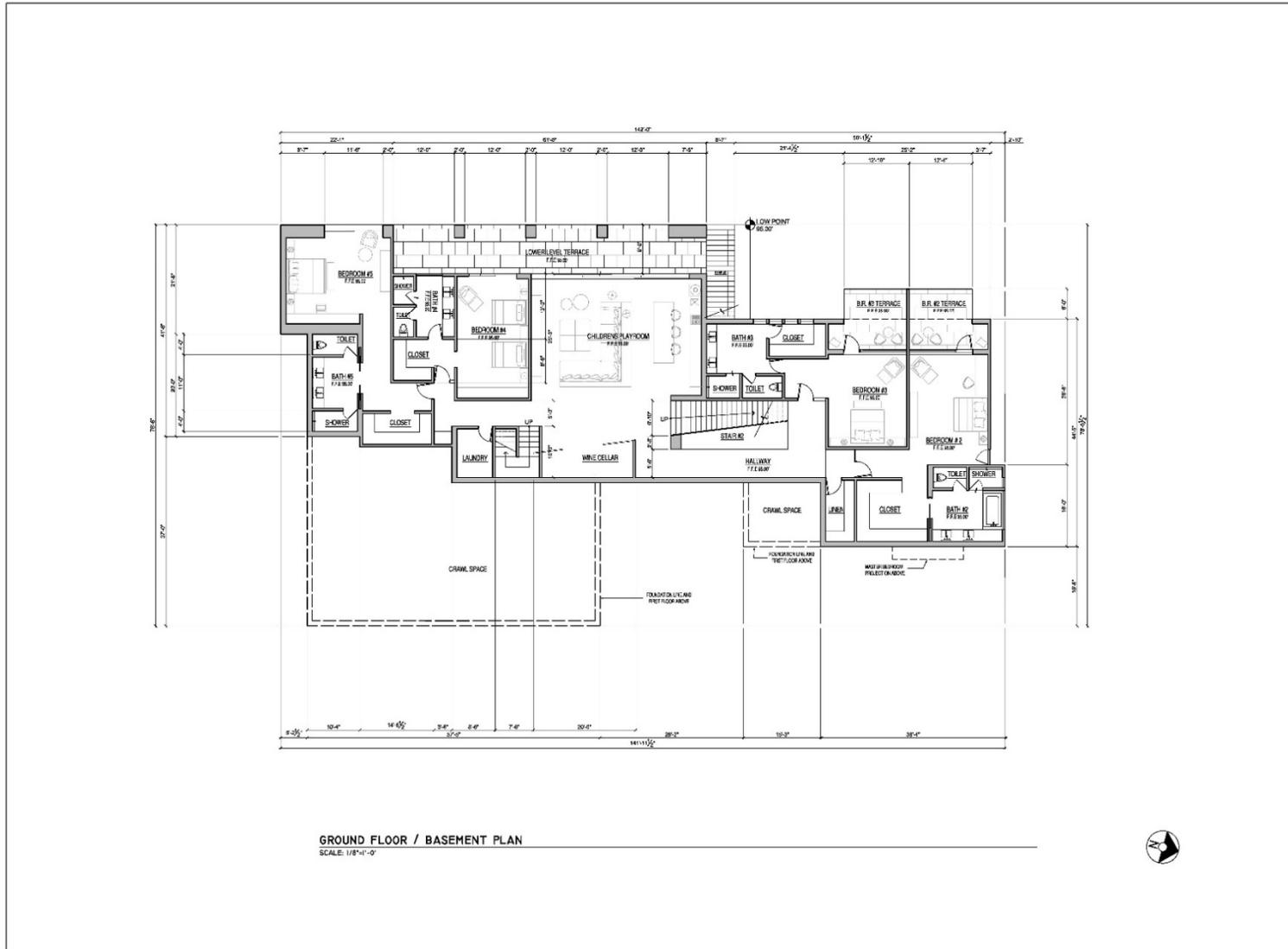


Figure 5-3. Reduced Height Alternative First Floor Plan

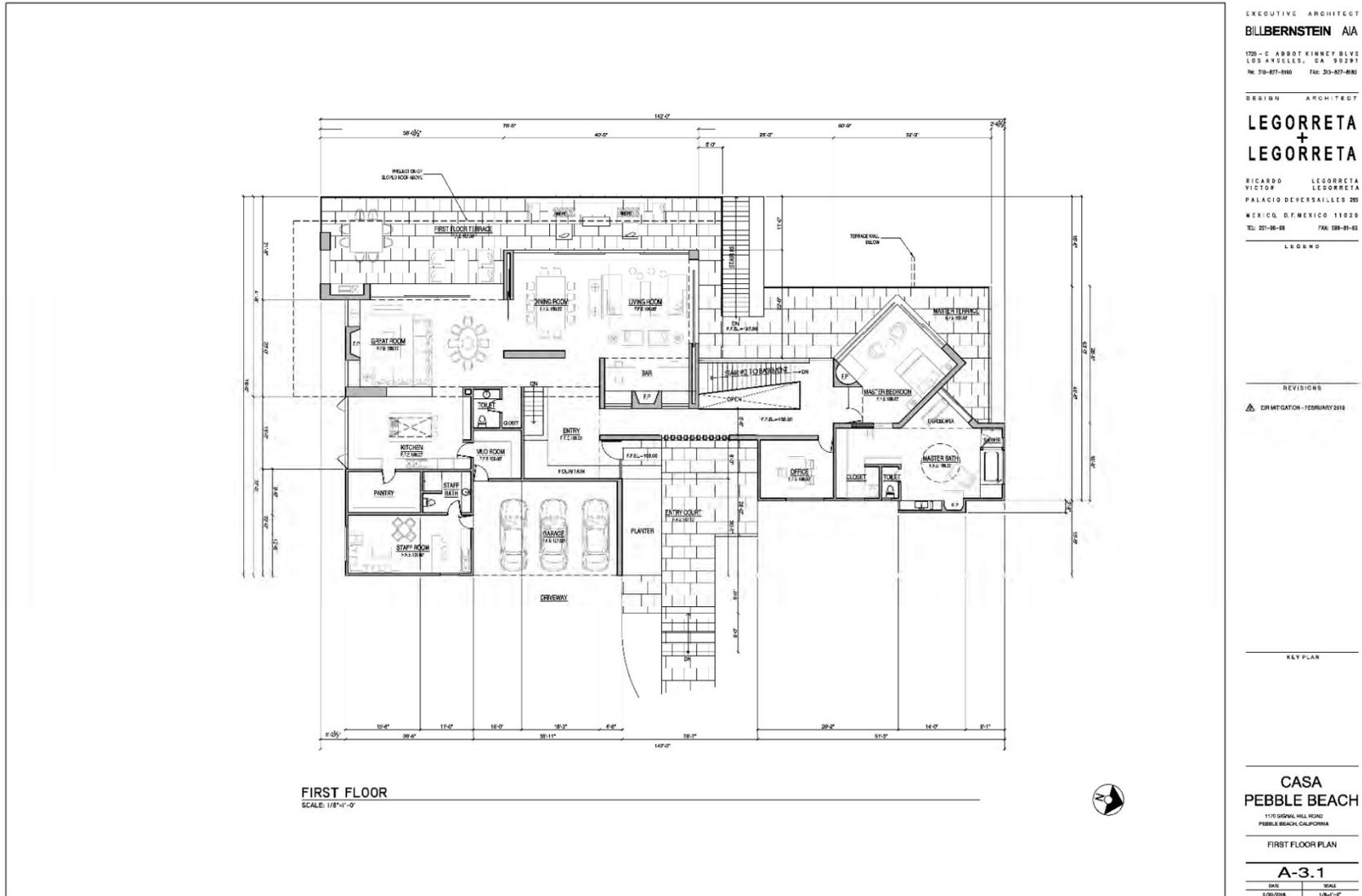
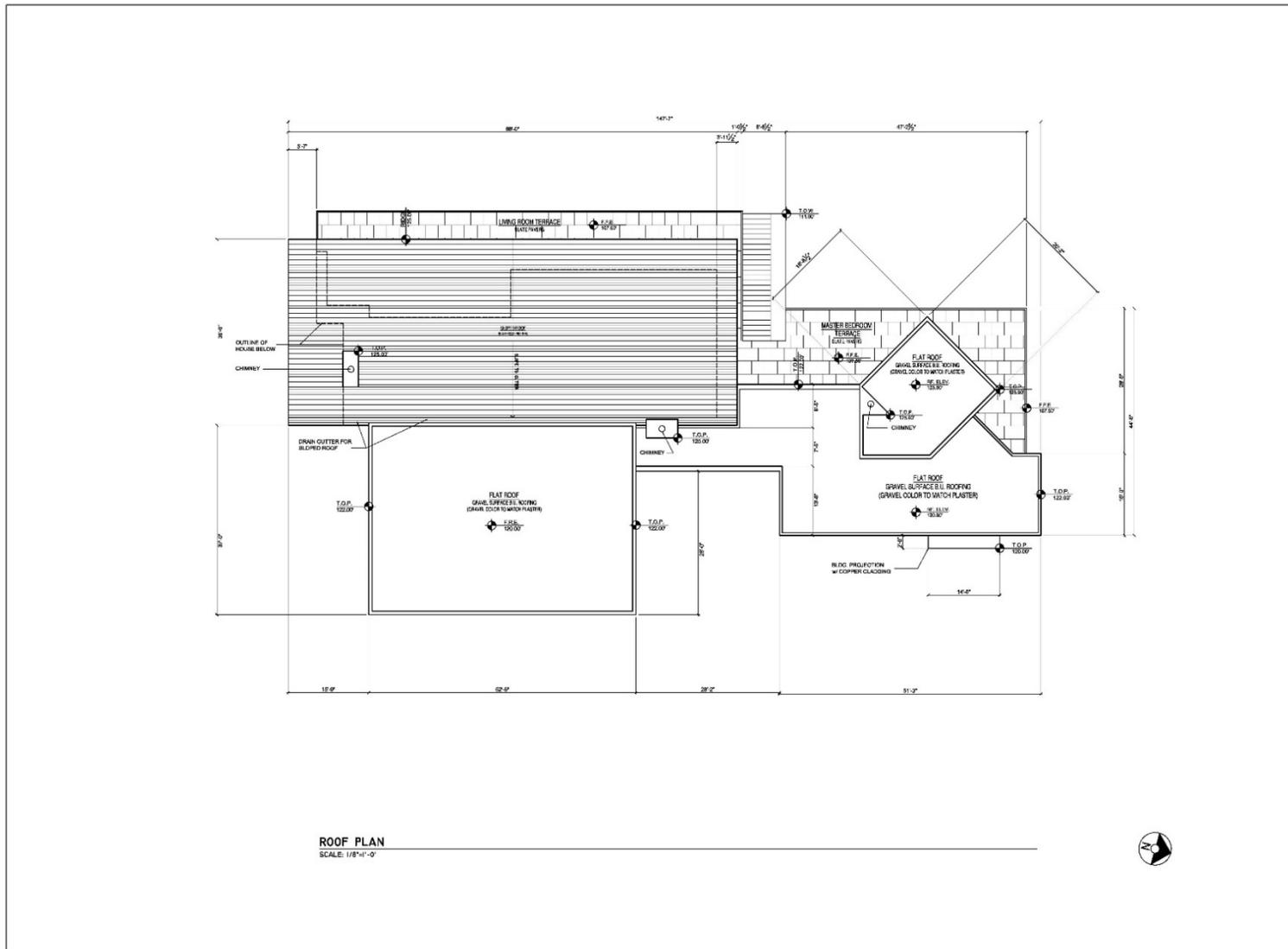


Figure 5-4. Reduced Height Alternative Roof Plan



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LEGEND

REVISIONS
 A MITIGATION - FEBRUARY 2018

KEY PLAN

**CASA
 PEBBLE BEACH**
 1170 SIGNAL HILL ROAD
 PEBBLE BEACH, CALIFORNIA

ROOF PLAN

A-3.2	
DATE	SCALE
2/20/2018	1/8"=1'-0"

Figure 5-5. Reduced Height Alternative North and East Exterior Elevations

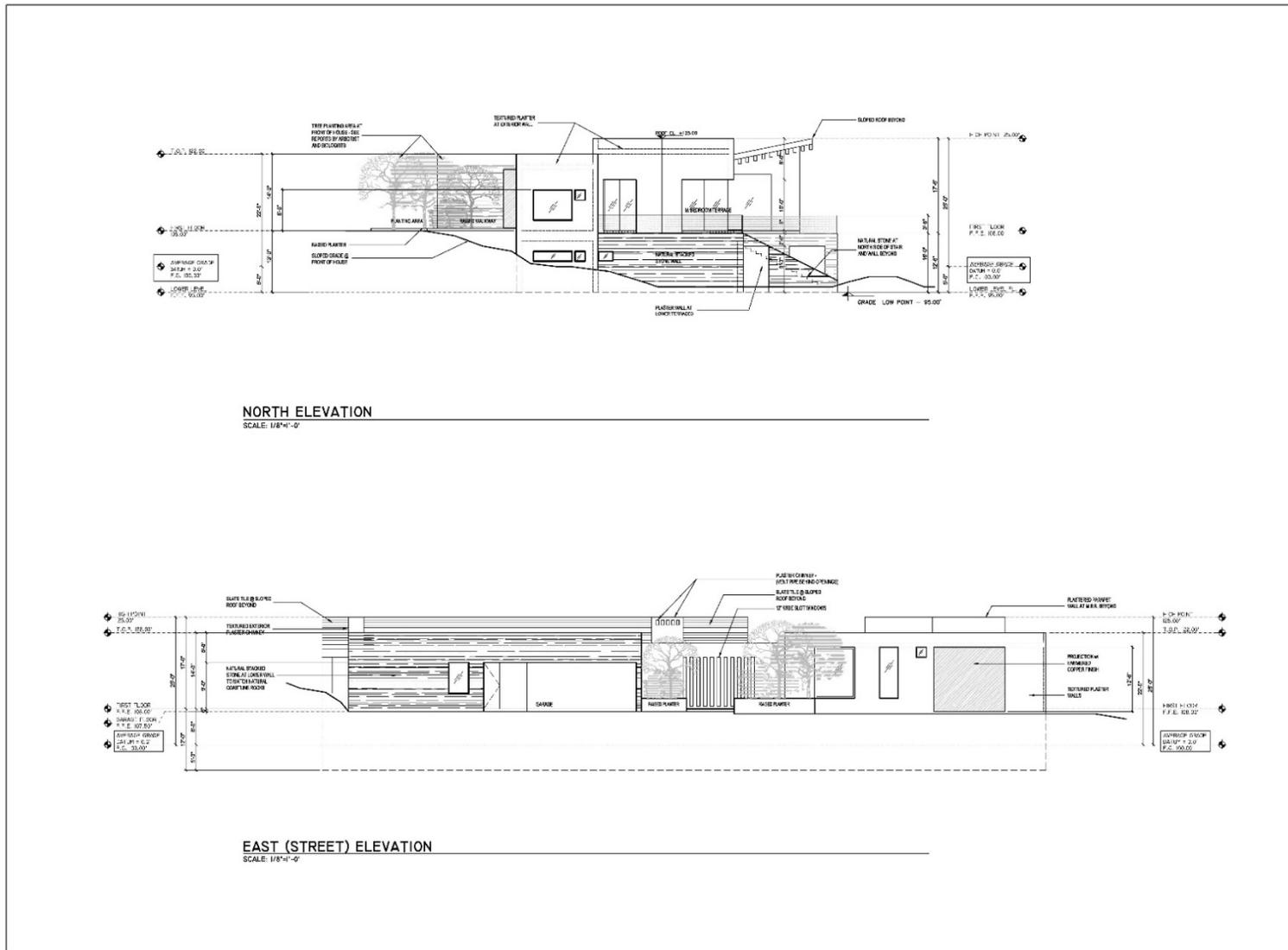
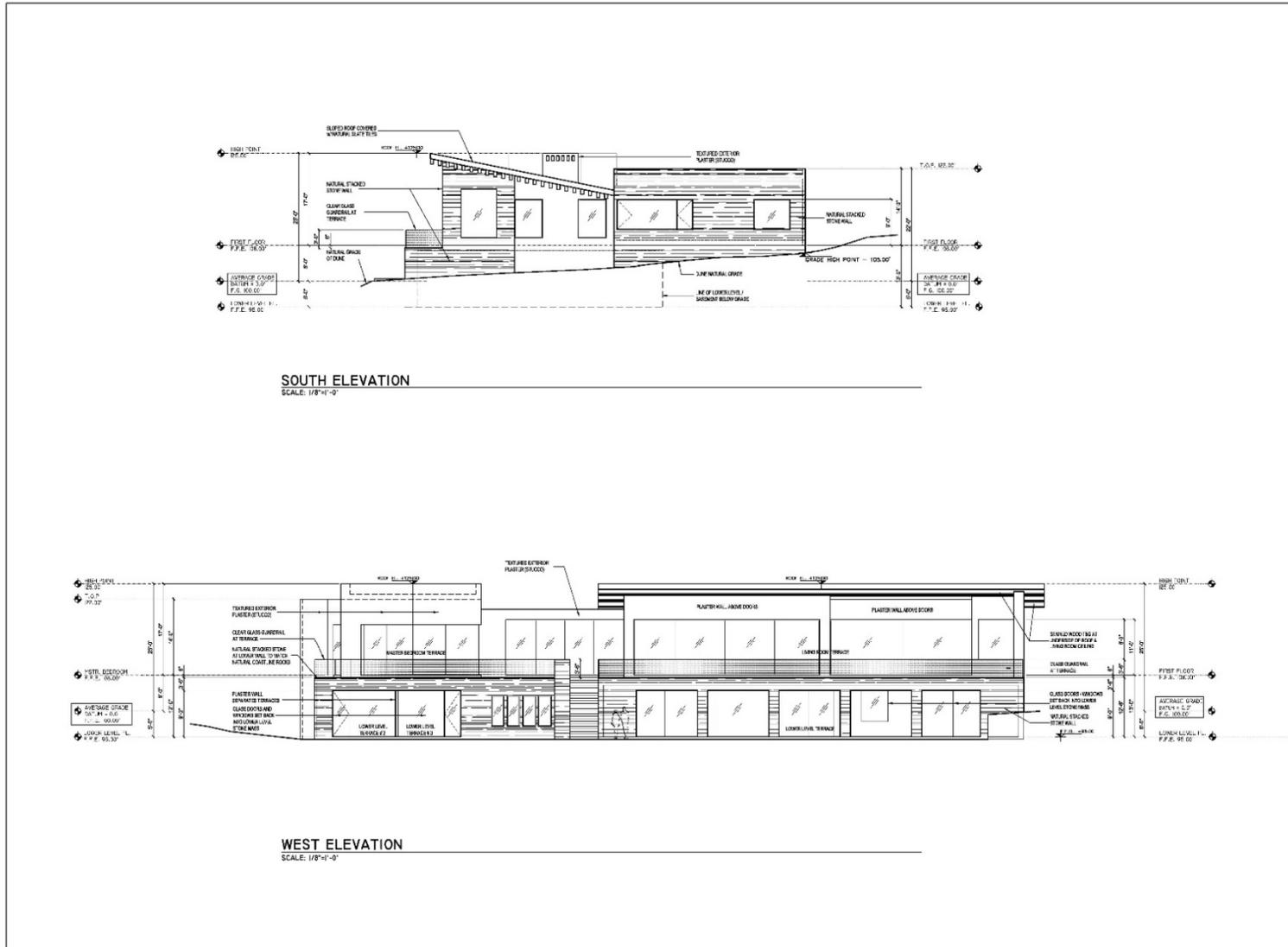


Figure 5-6. Reduced Height Alternative South and West Exterior Elevations



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REVISIONS
 ▲ CORRECTION - AUGUST 2017

CASA PEBBLE BEACH
 1170 SIGNAL HILL ROAD
 PEBBLE BEACH, CALIFORNIA

EXTERIOR ELEVATIONS
A-4.1

DATE	SCALE
3/29/2016	1/8"=1'-0"

Figure 5-7. Reduced Height Alternative Landscape Plan

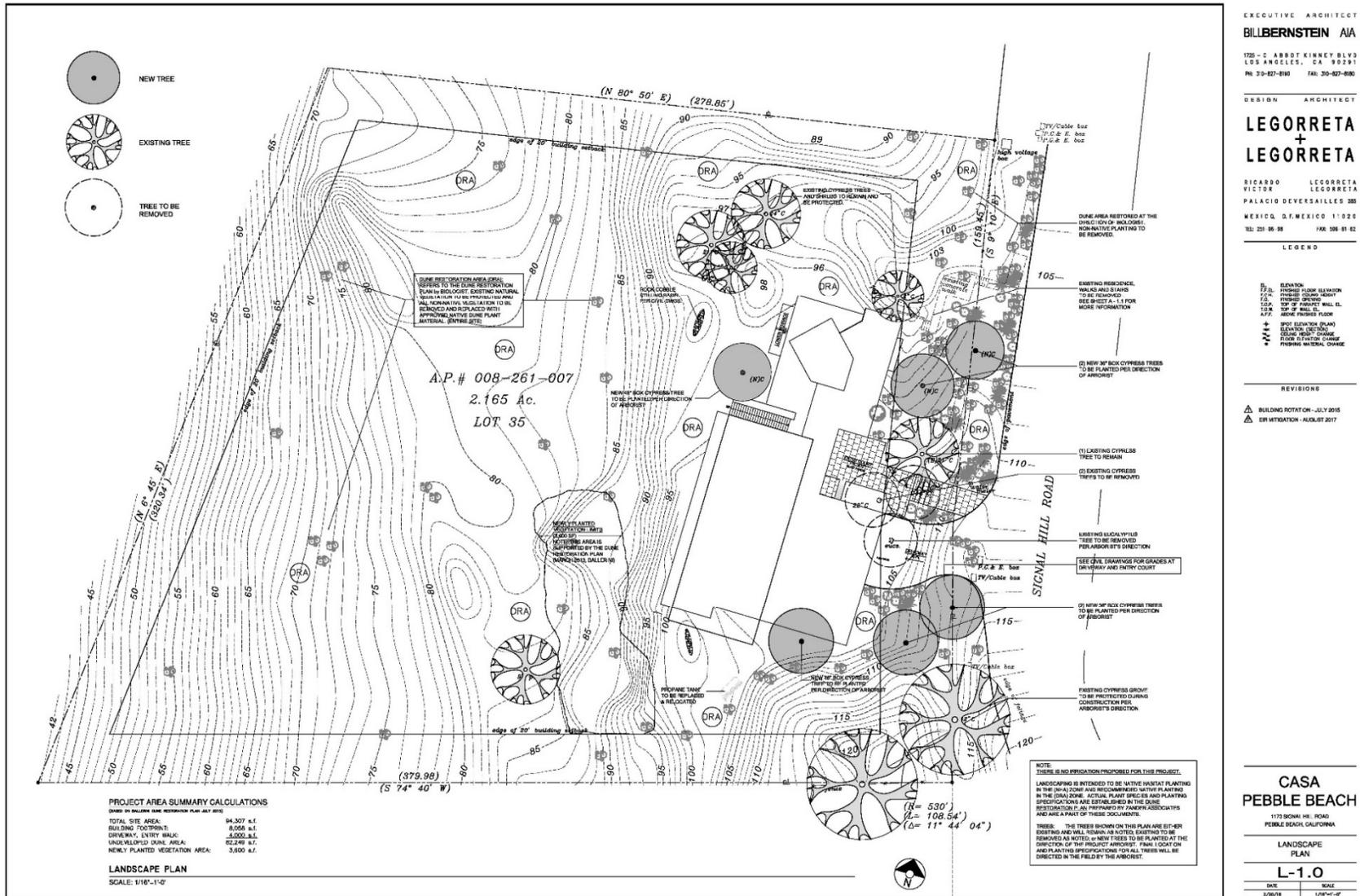


Table 5-1. Preliminary Alternatives Screening Analysis

Alternative	Description	Preliminary Screening Analysis	Carried Forward for Review?
1 Preservation	This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure for single-family occupancy in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.	Per the structural evaluation completed for this project, this alternative is technically feasible. Preserving, repairing, and replacing portions of the structure per the Secretary of the Interior's standards would avoid or substantially lessen the significant impact on historical resources. This alternative would not include the large, new residential construction as proposed by the Applicant; however, because it would provide single-family residential use at the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area, restore areas outside of the construction area to their natural condition, and provide an overall improvement of the property for the betterment of the Pebble Beach community, it would meet most of the Applicant's identified project objectives.	Yes
2 Preservation and Adaptive Reuse	This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure for an adaptive reuse allowed under the Monterey County Zoning Code in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Adaptive reuse refers to the process of reusing a structure for a purpose other than that for which it was built or designed (i.e., for historic documentation and public educational uses [a museum]).	This alternative would be feasible and would avoid the significant impact on historical resources. However, reuse for any purpose other than single-family residential use would not meet the project's basic underlying objective <u>and would be inconsistent with the Del Monte Forest Land Use Plan, 1982 Monterey County General Plan, and Title 20 of the Monterey County Code</u> . Alternative uses would not be consistent with surrounding residential uses and would <u>may</u> be inconsistent with Monterey County zoning regulations.	No
3 Preservation and Separate Onsite Development	This alternative would include retaining the Connell House and preserving, repairing, and replacing portions of the structure in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Under this alternative, a second single-family residence would be developed at a different location on the project site.	This alternative would preserve the Connell House and avoid or substantially lessen the significant impacts on historic resources. It would meet most of the Applicant's identified project objectives by providing single-family residential use at the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area, restoring areas outside of the construction area to their natural condition, and providing an overall improvement of the property for the betterment of the Pebble Beach community. However, a second residence would exceed maximum density	No

Table 5-1. Preliminary Alternatives Screening Analysis

Alternative	Description	Preliminary Screening Analysis	Carried Forward for Review?	
4	Project Integration	<p>This alternative would include integration of the Connell House into the proposed project. The structure (or portions of the structure) would be retained and integrated into the design of the new construction in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This alternative would necessitate the following:</p> <ul style="list-style-type: none"> ▪ the documentation of primary and secondary character-defining elevations, spaces, and features in order to identify opportunities and constraints for additions and expanded living space, and ▪ the participation at conceptual, schematic, and design development phases of a qualified architectural historian and/or historic architect. <p>This alternative could include full or partial project integration. Full integration could include, for example, adding on to the existing structure, adding additional full or partial floors or levels, supplementing additional living space by enclosing the courtyard or outside patio areas, or developing a separate addition to the structure connected by a breezeway or stairs.</p> <p>Partial integration could include, for example, preserving/reconstructing components in the western, most visible elevation, including the</p>	<p>limits in the LDR/1.5-Design Control District and would conflict with numerous applicable LCP and Del Monte Forest Area LUP policies, particularly those related to the protection of public views and ESHA. Therefore, this alternative is not feasible and would result in new and substantially increased significant impacts when compared to the proposed project.</p>	Yes

Table 5-1. Preliminary Alternatives Screening Analysis

Alternative	Description	Preliminary Screening Analysis	Carried Forward for Review?	
5	Relocation and Preservation	<p>prominent bands of fenestration on the first and second stories, the ground-level terrace, second-level balcony, characteristic roofline, and juxtaposition of transparent and opaque surfaces while all or a portion of the remaining components would be demolished to facilitate construction of the new residence. Other character-defining features of the residence could be preserved, such as the north entry or the exterior façade, while interior portions of the structure would be renovated and remodeled.</p> <p>This alternative would include relocating the Connell House to a new location and preserving, repairing, and replacing portions of the structure in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties. Relocation could occur at an appropriate site in the Del Monte Forest area, on the Monterey Peninsula, or beyond the Monterey Peninsula. Under this alternative, the proposed single-family residence would be developed as currently designed on the project site but would not require demolition of the Connell House.</p>	<p>This alternative would meet the project objectives by allowing development of the single-family residence as proposed after relocation and preservation of the existing structure. This alternative would require selection of an appropriate receiver site that is compatible in general setting and feeling to the existing location. Although the project’s integration into the natural setting is important in Neutra’s design, it is possible that an appropriate receiver site would be available to relocate the structure. However, based on a structural evaluation completed for the project, relocation of the structure is not feasible. The structure is partially constructed into the side of a bluff and does not have first story walls along the first story east face. The structure lacks a competent horizontal diaphragm or vertical load carrying system at the upper level, and in its current form, lacks structural integrity to permit relocation.</p>	No
6	Reduced Project	<p>This alternative would include completely demolishing the Connell House, but would reduce the size of the proposed single-family residence to fit within the existing developed footprint and would reduce building heights to avoid any extension above the ridgeline.</p>	<p>This alternative would be feasible and would meet most of the project objectives by providing single-family residential use at the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area, restoring areas outside of the construction area to their natural condition, and providing an overall improvement of the property for the betterment of the Pebble Beach community. The reduced footprint would stay within the existing footprint, and therefore would avoid the project’s permanent impacts on adjacent ESHA and impacts to visual</p>	Yes

Table 5-1. Preliminary Alternatives Screening Analysis

Alternative	Description	Preliminary Screening Analysis	Carried Forward for Review?	
7	Neutra-Inspired Redesign	This alternative would include completely demolishing the Connell House, but would redesign the proposed single-family residence to echo Richard Neutra's design for the new development.	resources associated with ridgeline development. However, mitigation identified in Chapter 4 requires redesign of the project to avoid significant impacts associated with ridgeline development. Therefore, the reduced project alternative would not avoid or substantially lessen potential impacts to visual resources when compared to the proposed project. This alternative would require demolition of the Connell House and would, therefore, not avoid or substantially lessen the significant unavoidable impact to the historic structure.	No
8	Salvaged Reuse Integration	This alternative would include completely demolishing the Connell House, but would reuse salvaged elements from the Connell House as fragments integrated into the design of the new single-family residence.	This alternative is feasible and would meet most of the project objectives by providing single-family residential use at the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area, restoring areas outside of the construction area to their natural condition, and providing an overall improvement of the property for the betterment of the Pebble Beach community. This alternative would require demolition of the Connell House and would, therefore, not avoid or substantially lessen the significant unavoidable impact to the historic structure. Redesign of the new structure with a Neutra-inspired design would not reduce or eliminate significant impacts to the historic resource for the reasons discussed in Section 4.3 of the EIR related to the proposed utilization of Ricardo Legorreta's design in the proposed structure, including the absence of any defined historic context and uncertainty of significance and design expression due to death of the architect.	No

Table 5-1. Preliminary Alternatives Screening Analysis

Alternative	Description	Preliminary Screening Analysis	Carried Forward for Review?
9	Reduced Height	This alternative was designed by the project applicant to minimize visual impacts and would reduce the maximum height of the proposed single-family residence from 30 to 25 feet above natural grade.	Yes
10	No Project Alternative	This alternative would maintain existing conditions at the project site. No demolition, construction, or dune restoration activities would occur.	Yes

5.6 ALTERNATIVES IMPACTS ANALYSIS

This section evaluates impacts of the alternatives (described in Section 5.5 above) that were carried forward from the preliminary screening process for a more detailed review. The following sections discuss the environmental impacts of each alternative and compare those impacts to the impacts identified in Chapter 4 of this EIR for the proposed project. Note that the significance of impacts associated with the proposed project, and the determination of impacts presented in this section for comparative purposes, are based on the respective identified changes in conditions relative to the established environmental baseline (as described in Chapter 4, Environmental Impact Analysis). Impact determinations do not take into account the current, more severely degraded condition of the existing residence.

Table 5-2 compares the impacts of each of the alternatives with those of the proposed project.

Table 5-2. Alternative Impact Analysis

Issue Area	Proposed Project Impacts	Alternative 1: Preservation	Alternative 4: Project Integration	Alternative 6: Reduced Project	Alternative 9: Reduced Height	No Project Alternative
Aesthetic Resources	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Less than significant (Decreased)	Less than significant (Decreased)	Significant but mitigable (Increased)
Biological Resources	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Decreased)	Significant but mitigable (Similar)	No impact (Decreased)
Historical Resources	Significant and unavoidable	Less than significant (Decreased)	Significant but mitigable (Decreased)	Significant and unavoidable (Similar)	Significant and unavoidable (Similar)	Significant and unavoidable (Similar)
Archaeological Resources	Significant but mitigable	Significant but mitigable (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	No impact (Decreased)
Geology and Soils	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	No impact (Decreased)
Hydrology and Water Quality	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	No impact (Decreased)
Air Quality/ Greenhouse Gas Emissions	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	No impact (Decreased)
Hazards/ Hazardous Materials	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	No impact (Similar)
Noise	Significant but mitigable	Less than significant (Decreased)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	Significant but mitigable (Similar)	No impact (Decreased)

5.6.1 Alternative 1: Preservation

5.6.1.1 Aesthetic Resources

This alternative would include restoring/retaining the Connell House and preserving the structure for single-family occupancy in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties and dune restoration within the remainder of the site. It would restore the residence to its previous condition and restore views of the project site from surrounding areas to baseline conditions that existed prior to dilapidation, vandalism, and fencing off of the residence.

This alternative would not extend over the primary ridgeline from locations on 17-Mile Drive and Fanshell Beach and would not alter existing visual character. Project lighting and glare would be consistent with baseline conditions and this alternative would be consistent with County of Monterey visual resources policies.

Potentially significant impacts to aesthetic resources would be *decreased* under this alternative, resulting in less than significant impacts with no mitigation required.

5.6.1.2 Biological Resources

This alternative would restore/retain the existing residence in its current configuration and footprint and restore dune habitat across the remainder of the parcel. The project would not require removal of or grading in proximity to existing Monterey cypress trees, avoiding potential impacts to the trees and nesting birds. This alternative would not expand the building footprint and the permanent loss of 0.39 acre of ESHA would be avoided. This alternative would be consistent with LCP policies.

This alternative would provide beneficial impacts to biological resources associated with the proposed restoration of dunes and central dune scrub habitat across the remainder of the parcel, including removal of invasive species that directly contribute to the degradation of the dune system and replacement of native plants that may enhance the habitat value of the dune system.

Potentially significant impacts to biological resources would be *decreased* under this alternative, resulting in less than significant impacts with no mitigation required.

5.6.1.3 Historical Resources

This alternative would correct existing damage to the Connell House by preserving, repairing, and replacing portions of the existing residence for single-family occupancy per the Secretary of the Interior's standards for the Treatment of Historic Properties. Per the structural evaluation completed for the project, restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction (Simpson Gumpertz & Heger 2016). It was determined that the following existing features of the original building could be incorporated into a reconstruction:

- Most portions of the foundation system
- The lower level floor slab
- Most of the exterior stucco walls at the lower level and some at the upper level
- Structural roof framing

- Remaining original window frames
- Masonry fireplace
- First floor framing in the north wing

Reconstruction would require either removal or shoring of the above elements in place. The following elements would need to be replaced with new materials, many of which could be similar to the original construction:

- Portions of the foundation where new embedded items are required, or where larger resistance is required to provide resistance to wind and/or seismic forces
- New structural sheathing, hold-downs and anchor bolts will be required on exterior walls to allow them to serve as shear walls. Sheathing can be placed on the interior face.
- The upper level floor system in the west wing, including the cantilevered deck and handrail, will need to be replaced in its entirety. Since stacked construction is used, with the upper story walls constructed atop the upper floor platform framing, reconstruction of this floor will require dismantling of the upper level walls in this area, and replacement or reconstruction.
- All partitions will require reconstruction
- New interior finishes including walls and ceilings
- New windows and frames, particularly at the lower level where the window system was integral with structural support for the upper level
- New plumbing, ductwork and electrical wiring
- New fixtures including sinks, toilets, and baths
- New cabinetry and millwork
- Reframing work may require reroofing the structure
- Grape stake fence at courtyard.

Demolition of the structure, as proposed, would entail the total loss of all aspects of integrity for the historical resource.

The Preservation Alternative would return the Connell House to its former structurally sound state and retain the historic resource's significance as a Neutra-designed single-family residence. By remaining on its original building site, the Connell House retains such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, has the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship. The Secretary of the Interior's Rehabilitation Standard 6 states:

"Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible,

materials. Replacement of missing features will be substantiated by documentary and physical evidence.”

Neutra’s original building plans for the Connell House are extant and would provide the documentary evidence necessary for undertaking historically appropriate repairs and replacement of damaged or missing architectural elements, such as the upper-level floor system, cantilevered deck, and partition walls. Neutra’s selection of building materials for the construction of the Connell House – wood, glass, and stucco, for example – are still common building materials readily available.

State CEQA Guidelines Section 15126.4 (b) states:

“Where maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of the historical resource will be conducted in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer, the project’s impact on the historical resource shall generally be considered mitigated below a level of significance and thus is not significant.”

Potentially significant impacts to historical resources would be *decreased* under this alternative, resulting in less than significant impacts with no mitigation required.

5.6.1.4 Other Issue Areas

Although reconstruction and/or rehabilitation of an existing structure can often take longer and be more difficult than constructing something from scratch, per the structural report prepared for the project, rReconstruction of the existing 4,125-square-foot residence would generally entail an effort comparable to original construction, and is therefore likely to require less construction over a shorter period of timeeffort in comparison to construction of the proposed 11,933-square-foot residence. Construction of this alternative would require fewer material/haul trips and less construction noise due to the reduced size of the project. This alternative would maintain the existing building footprint and would require less grading and ground disturbing activities than the proposed project, thereby also reducing construction-related air emissions and noise. Therefore, impacts associated with alteration to the existing drainage pattern, loss of topsoil, and increased erosion, sedimentation, and runoff would be decreased. Reduced ground disturbance would decrease the potential for inadvertent disturbance of unknown buried archaeological resources (including unknown human remains). Construction-related impacts related to air quality emissions, accidental spills of hazardous materials, and increased noise levels would be decreased under this alternative.

Potentially significant impacts to other environmental resources would be *decreased* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.2 Alternative 54: Project Integration

5.6.2.1 Aesthetic Resources

The Project Integration Alternative would involve redesign of the project to add additional square footage to the residence in a manner that is compatible with and integrates all or a portion of the existing structure (designing an addition to the existing residence). A large addition would have similar impacts as the proposed project: potential ridgeline development as seen from nearby

public areas, substantial alteration of visual character, and a potentially significant increase in lighting and glare. These impacts could be mitigated through implementation of measures similar to those identified in Chapter 4 for the proposed project.

Potentially significant impacts to aesthetic resources would be *similar* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.2.2 Biological Resources

A large addition that integrates all or a portion of the existing structure would require similar site disturbance, grading, tree removal, landscaping and restoration activities. Areas outside the development footprint would be disturbed by landscaping or restoration activities, similar to the proposed project. The extent of these activities would be similar to that of the proposed project and would similarly impact on-site resources. These impacts could be mitigated through implementation of measures similar to those identified in Chapter 4 for the proposed project.

Potentially significant impacts to biological resources would be *similar* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.2.3 Historical Resources

The Project Integration Alternative would correct existing damage to the Connell House by preserving, repairing, and replacing all, or portions of, the Neutra-designed residence per the Secretary of the Interior's standards for the Treatment of Historic Properties in preparation for integration of the historical resource with a newly constructed addition that would allow continued single-family occupancy.

Full integration would return the entire historical resource to its former structurally sound state as a recognizably distinct Neutra-designed architectural entity. The addition – designed to expand the combined living space – could take the form, for example, of a separate wing or suite of rooms, including full or partial floors or levels, that would be visually separate from, but physically linked to, the original Connell House. Full integration might also provide additional living space by enclosing the courtyard or outside patio areas.

Partial integration would return some portion of the historical resource to its former structurally sound state, but a portion of the original fabric would be demolished, and other portions would not be replaced, in order to facilitate construction of the new addition. As a result, the historical resource would be less recognizably distinct as a Neutra-designed architectural entity. This loss of integrity could be ameliorated by, for example, preserving/reconstructing components in the western, most visible elevation, including the prominent bands of fenestration on the first and second stories, the ground-level terrace, the second-level balcony, the characteristic roofline, and the juxtaposition of transparent and opaque surfaces. Other character-defining features of the residence could be preserved, such as the north entry or the exterior façade, while interior portions of the structure would be renovated and remodeled.

This alternative would necessitate the following:

- the documentation of primary and secondary character-defining elevations, spaces, and features in order to identify opportunities and constraints for additions and expanded living space, and

- the participation at conceptual, schematic, and design development phases of a qualified architectural historian and/or historic architect.

By remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, would have the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship. The Secretary of the Interior's Rehabilitation Standard 6 states:

“Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.”

Neutra's original building plans for the Connell House are extant and would provide the documentary evidence necessary for undertaking historically appropriate repairs and replacement of damaged or missing architectural elements.

Potentially significant impacts to historical resources would be *decreased* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.2.4 Other Issue Areas

The level and extent of site disturbance, grading, tree removal, landscaping and vegetation activities under this alternative would be similar to the proposed project. Areas outside the development footprint would be disturbed by landscaping or restoration activities. Therefore, impacts related to the potential for disturbance of unknown archaeological resources (including human remains) and to the increased risk of erosion, loss of topsoil, sedimentation, runoff, and drainage would be similar to the proposed project. Short-term construction-related impacts associated with air emissions, inadvertent upset or release of hazardous materials, and noise would be similar to that of the proposed project.

Potentially significant impacts to other environmental resources would be *similar* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.3 Alternative 6: Reduced Project

5.6.3.1 Aesthetic Resources

The Reduced Project Alternative would reduce the overall development footprint to stay within the existing developed building footprint and the height of the proposed single-family residence structure to avoid ridgeline. Under this alternative, project visibility and impacts associated with ridgeline development would be avoided by reducing building heights to avoid any potential extension above the ridgeline (i.e., by eliminating an upper level). Additionally, the reduced project would be constrained to the existing building footprint, which would be compatible in size with nearby residences and more consistent with the existing visual character and quality of the site and its surroundings.

Potentially significant impacts to aesthetic resources would be *decreased* under this alternative, resulting in less-than-significant impacts with mitigation incorporated.

5.6.3.2 Biological Resources

The Reduced Project Alternative requires less site disturbance, grading, tree removal, landscaping, and restoration activities than that of the proposed project. Areas outside the development footprint would have similar levels of disturbance as the proposed project as a result of proposed landscaping or restoration activities. The Reduced Project Alternative footprint would be limited to that of the existing developed footprint, lessening impacts to ESHA that would otherwise be disturbed. Impacts could be further mitigated through implementation of measures identified in Chapter 4 for the proposed project.

Potentially significant impacts to biological resources would be *decreased* under this alternative, resulting in less-than-significant impacts with mitigation incorporated.

5.6.3.3 Historical Resources

Similar to the proposed project, the Reduced Project Alternative would completely demolish the Connell House. As a result, the alternative would not avoid or substantially lessen the significant unavoidable impact to the historic structure.

Potentially significant impacts to historical resources would be *similar* under this alternative, resulting in significant and unavoidable impacts.

5.6.3.4 Other Issue Areas

The level and extent of site disturbance, grading, tree removal, landscaping and vegetation activities under this alternative would be slightly less than the proposed project. Areas outside the development footprint would be temporarily disturbed by landscaping or restoration activities. Therefore, impacts related to the potential for disturbance of unknown archaeological resources (including human remains) and to the increased risk of erosion, loss of topsoil, sedimentation, runoff, and drainage would be similar to the proposed project. Short-term construction-related impacts associated with air emissions, inadvertent upset or release of hazardous materials, and noise would be similar to that of the proposed project.

Potentially significant impacts to other environmental resources would be *similar* under this alternative, resulting in less-than-significant impacts with mitigation incorporated.

5.6.4 Alternative 9: Reduced Height

5.6.4.1 Aesthetic Resources

This alternative would reduce the maximum height of the proposed single-family residence structure by 5 feet. Because the project applicant designed the alternative to minimize visual impacts but did not reduce the proposed height of the structure to the extent recommended in mitigation identified in Section 4.1 of the EIR to reduce impacts to less than significant, this section provides a detailed aesthetic resources alternative impact analysis. The visual impacts of the Reduced Height Alternative were compared to the impacts of the proposed project discussed in Chapter 4. Figure 5-8 shows the location of five key viewing areas, and Figures 5-9 through 5-23 show existing views, photo-simulations of the proposed project, and photo-simulations of the Reduced Height Alternative from the key viewing areas. A significance determination was made for each of the aesthetics issue areas as identified in the CEQA Guidelines.

Effect on Scenic Vistas

The Reduced Height Alternative would silhouette approximately 5 feet above the ridgeline as seen from an approximately 300-foot section of 17-Mile Drive (refer to Figure 5-17, Photo-simulation of Reduced Height Alternative – Key Viewing Area 3). The Reduced Height Alternative would only reduce the overall height of the proposed residence by 5-feet, which does not meet the 10-foot height reduction required to comply with mitigation measure AES/mm-1.1. The proposed project would be 130 feet above natural grade; mitigation measure AES/mm-1.1 requires that the maximum height be no higher than 120 feet above natural grade in order to avoid silhouetting above the ridgeline, and the Reduced Height Alternative would be 125-feet above natural grade, exceeding the mitigation measure height by 5 feet.

Similar to the proposed project, the Reduced Height Alternative would retain several of the existing trees on site, and would plant and maintain six new trees and other landscaping in the immediate vicinity of the new structure. Most of the new trees would be located along the eastern side of the building with the intent of creating a vegetated backdrop for the Reduced Height Alternative; however, based on field review and confirmation in the photo-simulations, the trees are expected to provide little to no benefit in terms of a vegetated backdrop or disguising the geometric form of the structure against the skyline. Due to the upward viewing angle from 17-Mile Drive, trees located east of the Reduced Height Alternative would need to grow to approximately 30 to 35 feet tall before they would even be seen behind the building. Given the growth rate of Monterey cypress and the wind-pruning conditions of the site, the proposed trees may provide no visual value in terms of reducing the Reduced Height Alternative's silhouette for about 20 years after planting. In addition, the biological dynamics of vegetation and potential mortality reduces its reliance as a guaranteed solution for mitigating the potential visual effects of a project. Property rights issues and the desires of current and subsequent property owners can also effect the health and visual effectiveness of plantings.

Although less visibly intrusive than the proposed project, the Reduced Height Alternative would be seen extending above the primary ridgeline from limited areas of 17-Mile Drive, which would have an adverse effect on the scenic vista as seen from 17-Mile Drive and Fanshell Beach, within the area shown on the Del Monte Forest Visual Resources Map. As a result, the alternative would be potentially inconsistent with County policies for the protection of scenic and visual resources. Although the Reduced Height Alternative would extend slightly above the ridgeline in limited areas along 17-Mile Drive, potential impacts associated with ridgelineing would be less than significant, due to the minimal extent of development above the ridgeline, the very limited segment along 17-Mile Drive within which the ridgelineing would be visible, and the presence of several proximate residences that extend above the ridgeline. Therefore, potential impacts would be less than significant and no additional mitigation is necessary.

Effect on Existing Visual Character and Quality of the Site and its Surroundings

From its most visible locations on 17-Mile Drive and Fanshell Beach, the exposed face of the Reduced Height Alternative would appear approximately 3.5 times larger than that of the current structure (refer to Figures 5-18, 5-19, and 5-20). In contrast, the proposed project would appear approximately four times larger (refer to Figures 4.1-15 and 4.1-16). The angular, geometric form of the alternative structure would silhouette approximately five feet above the horizon and would contrast with the natural form of the forested ridgeline. This visual contrast would draw attention to the large size of the structure and would increase noticeability. The Reduced Height Alternative would not appreciably reduce the visual mass of the structure compared to the proposed project.

Similar to the proposed project, the Reduced Height Alternative would detract from the visual quality of the site and surroundings by visually breaking the ridgeline, which would also increase its visual dominance and draw attention to its distinctively large visual mass. Although less noticeable than the proposed residence, the Reduced Height Alternative would be substantially more noticeable than the existing residence, and visibility of these built characteristics would be amplified by the site's location on a prominent hillside as seen directly ahead of viewers on northbound 17-Mile Drive. The Reduced Height Alternative would extend minimally above the primary ridgeline and would also increase the mass and sizing of the structures onsite. The Reduced Height Alternative would result in a minimal alteration of visual character as seen from 17-Mile Drive and Fanshell Beach; however, potential impacts would be less than significant considering the minimal extent of the ridgeline and the limited extent of 17-Mile Drive within which ridgeline would occur. Mitigation measures AES/BIO/mm-1.1, AES/BIO/mma-1.1.1, BIO/mm-3.1, BIO/mma3.1.1., BIO/mm-3.2, BIO/mma-3.2.1, BIO/mm-3.3, and BIO/mma 3.3.1. would be implemented for the Reduced Height Alternative. Implementation of identified mitigation would reduce long-term noticeability of the proposed project. Therefore, with implementation of these measures, impacts from the Reduced Height Alternative would be less than significant with mitigation incorporated.

Light or Glare Affecting Day or Nighttime Views in the Area

Because of its elevated location, the potential exists for night lighting associated with the Reduced Height Alternative to be easily seen from sections of 17-Mile Drive, Fanshell Beach, and other public outlooks and viewpoints. The Reduced Height Alternative would be larger and taller than the existing building and would potentially emit substantially more light. The majority of the exposed western façade would include large amounts of glass allowing for increased visibility of interior illumination. At night, these increased sources of light would be evidence of new, larger development on the hillside. Under certain seasonal daytime conditions, reflection of the sun on the southwest facing window glass would be a noticeable new source of glare. The potential combination of bright interior and exterior lights, windows, unshielded light sources or bright-lights reflected on exterior walls may result in impacts as seen from public roadways, beaches, and viewing areas.

Similar to the proposed project, visibility of light sources and glow from the Reduced Height Alternative and glare from window glass would potentially create a new source of light and glare, degrade nighttime dark skies, and adversely affect visual quality resulting in a significant impact to the surroundings. Mitigation measure AES/mm-3.1 requires implementation of an exterior lighting plan. With implementation of this measure, impacts for the Reduced Height Alternative would be less than significant.

Figure 5-8. Key Viewing Area Location Map



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Figure 5-9. Existing Visual Conditions – Key Viewing Area 1



Figure 5-10. Photo-simulation of Proposed Project – Key Viewing Area 1



Figure 5-11. Photo-simulation of Reduced Height Alternative – Key Viewing Area 1



*Note smaller surface area between upper floor windows and roofline.

Figure 5-12. Existing Visual Conditions – Key Viewing Area 2



Figure 5-13. Photo-simulation of Proposed Project – Key Viewing Area 2



Figure 5-14. Photo-simulation of Reduced Height Alternative – Key Viewing Area 2



*Note smaller surface area between upper floor windows and roofline.

Figure 5-15. Existing Visual Conditions – Key Viewing Area 3



Figure 5-16. Photo-simulation of Proposed Project – Key Viewing Area 3



Figure 5-17. Photo-simulation of Reduced Height Alternative – Key Viewing Area 3



*Note smaller surface area between upper floor windows and roofline.

Figure 5-18. Existing Visual Conditions – Key Viewing Area 4



Figure 5-19. Photo-simulation of Proposed Project – Key Viewing Area 4



Figure 5-20. Photo-simulation of Reduced Height Alternative – Key Viewing Area 4



*Note smaller surface area between upper floor windows and roofline.

Figure 5-21. Existing Visual Conditions – Key Viewing Area 5



Figure 5-22. Photo-simulation of Proposed Project – Key Viewing Area 5



Figure 5-23. Photo-simulation of Reduced Height Alternative – Key Viewing Area 5



*Note smaller surface area between upper floor windows and roofline.

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5.6.4.2 Biological Resources

The Reduced Height Alternative requires similar site disturbance, grading, tree removal, landscaping, and restoration activities as the proposed project. Areas outside the development footprint would be disturbed by landscaping or restoration activities. The footprint of the Reduced Height Alternative is the same as the proposed project and the extent of these activities would similarly impact on-site resources. These impacts could be mitigated through implementation of measures identified in Chapter 4 for the proposed project.

Potentially significant impacts to biological resources would be *similar* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.4.3 Historical Resources

Similar to the proposed project, the Reduced Height Alternative would completely demolish the Connell House. As a result, the alternative would not avoid or substantially lessen the significant unavoidable impact to the historic structure.

Potentially significant impacts to historical resources would be *similar* under this alternative, resulting in significant and unavoidable impacts.

5.6.4.4 Other Issue Areas

The level and extent of site disturbance, grading, tree removal, landscaping and vegetation activities under this alternative would be similar to the proposed project. Areas outside the development footprint would be disturbed by landscaping or restoration activities. Therefore, impacts related to the potential for disturbance of unknown archaeological resources (including human remains) and to the increased risk of erosion, loss of topsoil, sedimentation, runoff, and drainage would be similar to the proposed project. Short-term construction-related impacts associated with air emissions, inadvertent upset or release of hazardous materials, and noise would be similar to that of the proposed project.

Potentially significant impacts to other environmental resources would be *similar* under this alternative, resulting in less than significant impacts with mitigation incorporated.

5.6.5 No Project Alternative

5.6.5.1 Aesthetic Resources

The No Project Alternative assumes no improvements would be made to the existing structure or at the project site. The baseline aesthetic condition of the existing residence is substantially degraded and surrounded by a 6-foot-tall chain link fencing covered with opaque dark green shade cloth. At baseline conditions, the residential structure itself was in a visible state of disrepair and many of the windows were covered with plywood sheathing. Metal poles, flagging, and ropes left over from previous story-pole studies were strewn on and around the structure, adding to the visual clutter of the site. Under this alternative, the structure would not be improved and would continue to degrade due to lack of upkeep and exposure.

The No Project Alternative would not result in ridgeline development or a substantial change in visual character, and no new or increased lighting or glare would occur. However, baseline visual quality of the site is currently very low, and visual character and quality would continue to worsen over time if the structure is not maintained, restored, or demolished, resulting in potentially significant impacts.

Potentially significant impacts to aesthetic resources would be *increased* under this alternative in comparison with the proposed project, which, with incorporation of identified mitigation, would improve the site with a new residence visually compatible with the surrounding areas that avoids extending above the ridgeline. Impacts associated with the No Project Alternative would be significant but mitigable.

5.6.5.2 Biological Resources

The No Project Alternative would not require any construction, demolition, or restoration activities and would avoid short-term construction-related impacts. However, this alternative would not include any dune restoration activities and would not provide the beneficial impacts associated with the proposed restoration of 1.67 acres of dunes and central dune scrub habitat, including removal of invasive species that directly contribute to the degradation of the dune system and replacement of native plants that may enhance the habitat value of the dune system.

Because no change to existing biological conditions at the site would occur, potential impacts would be less than significant and no additional mitigation is required.

5.6.5.3 Historical Resources

The No Project Alternative would maintain the existing structure in its baseline condition. The baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred, but nevertheless retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource. Demolition of the historic residence would be avoided under this alternative; however, no preservation, repair, or restoration work would occur, eventually resulting in the total loss of the historic structure.

The proposed project, as mitigated, would require the Applicant to restore the residence and record it pursuant to the most recent guidelines of the HABS. Where baseline conditions are no longer in existence and have not been repaired, original features and materials shall be restored, with the use of documentary evidence, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The documentation package shall include measured drawings; an architectural design presentation board comprising salvaged samples of original building materials; written and oral histories, a written historic context and statement of significance; written architectural description; bibliographic materials; large-format, black-and-white photographs; LIDAR documentation, and relevant related information. The original documentation will be submitted to the HABS office in Washington, D.C., for deposit in the Library of Congress and copies of the documentation package will be made available locally.

The Applicant will also be required to make the information available in electronic information in a web-based format for use in creating a web page documenting the Connell House. The web page will document the house, its history, construction materials, and features, at baseline conditions, including a video tour of the Connell House to be completed prior to any demolition; architectural drawings; current and historic photographs; and background material such as oral histories with individuals with knowledge of the Connell House.

Although residual impacts of the proposed project, as mitigated, would still be considered significant and unavoidable due to the demolition of a historical resource, the No Project Alternative would not provide the documentary and educational benefits through recordation of

the structure, as described above. The degraded structure would offer little historical benefit to the community under the No Project Alternative.

Potentially significant impacts to historical resources would be *similar* under this alternative, resulting in significant and unavoidable impacts.

5.6.5.4 Other Issue Areas

The No Project Alternative would not require any site disturbance, grading, or vegetation removal activities; therefore, impacts associated with the unanticipated disturbance of archaeological resources, geologic stability, or changes in onsite drainage, erosion, sedimentation, and runoff would be avoided. The No Project Alternative would not require any construction-related activities and would avoid any short-term impacts related to air emissions, unexpected upset or spill of hazardous materials, and noise. Potentially significant impacts to other environmental resources would be *decreased* under this alternative.

Based on the structural evaluation completed for the project, the existing structure, though presently stable in the absence of severe winter storms or earthquakes, is unsafe for occupancy. Further, the structure's condition will continue to deteriorate under the influence of the wind and rain. Abatement of the structure was recommended, either through demolition, repair, or more thorough and permanent stabilization, as a public nuisance (Simpson Gumpertz & Heger 2016). Therefore, the No Project Alternative would constitute a public nuisance and hazard if not properly abated. Impacts associated with hazards would be *increased* under this alternative, resulting in significant but mitigable impacts.

5.7 ENVIRONMENTALLY SUPERIOR ALTERNATIVE

CEQA requires the alternatives section of an EIR to describe a reasonable range of alternatives to the project that avoid or substantially lessen any of the significant effects identified in the EIR analysis while still attaining most of the basic project objectives. The alternative that most effectively reduces impacts while meeting project objectives should be considered the "environmentally superior alternative." In the event that the No Project Alternative is considered the environmentally superior alternative, the EIR should identify an environmentally superior alternative among the other alternatives.

Based on the alternatives analysis and comparison of impacts in Table 5-2, Alternative 1, Preservation, is the Environmentally Superior Alternative. The Preservation Alternative would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources. The Preservation Alternative would meet most of the Applicant's identified project objectives, including providing a single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area; restoration of areas to their natural condition; and overall improvement of the property for the betterment of the Pebble Beach community.

The Project Integration Alternative provides some variation in size and project design in response to the Applicant's desire to increase the size of the residence. The Project Integration Alternative would also reduce impacts on historical resources by integrating the existing residence into the new design pursuant to the Secretary of the Interior's standards. However, this alternative would not reduce or avoid construction-related impacts or potentially significant impacts on visual resources and biological resources.

Based strictly on an analysis of the relative environmental impacts, the Preservation Alternative is considered the Environmentally Superior Alternative. The decision-making body will consider the whole of the record when considering the proposed project including, but not limited to, public comment and testimony related to the size and design of the residence. The decision-making body may select the project as proposed, an Alternative, or a specified combination of particular elements identified in the Alternatives, as the approved project. In all scenarios, the Mitigation Monitoring and Reporting Program (MMRP) would be applied to the approved project.

5.8 REFERENCES

Simpson Gumpertz & Heger. September 19, 2016. *Structural Evaluation of the Arthur and Kathleen Connell House, 1170 Signal Hill Road, Pebble Beach, CA*. September 19, 2016.

CHAPTER 6

OTHER CEQA CONSIDERATIONS

6.1 GROWTH INDUCING IMPACTS

State CEQA Guidelines §15126.2(d) requires that EIRs provide a discussion of the growth-inducing impacts of the proposed project. Growth-inducing impacts could be caused by projects that foster economic or population growth, or the construction of additional housing, either directly or indirectly, in the surrounding environment. Growth-inducing impacts can also be caused by removing obstacles to population growth such as an expansion of a wastewater treatment plant. Growth-inducing impacts can result from population increases that require the construction of new community services facilities.

Based on the State CEQA Guidelines criteria outlined above, the proposed project was evaluated in order to determine if any part of the project demonstrates the potential to result in growth inducing impacts.

The project proposes one single-family residence on a residential lot currently developed with an existing single-family residence in an existing developed neighborhood. The proposed use is consistent with the general level of development currently existing along Signal Hill Road and anticipated under the low-density residential land use designation. Other than temporary employment associated with construction of the residence, the project would not create new jobs or facilitate employment growth. Given its small scale and limited function, the project would not induce population or economic growth in the area. Impacts would be *less than significant*.

6.2 SIGNIFICANT IRREVERSIBLE ENVIRONMENTAL CHANGES

State CEQA Guidelines §15126.2(c) requires an EIR to consider significant, irreversible environmental changes, such as use of nonrenewable resources and irretrievable commitment of resources. Section 15126.2(c) states that use of nonrenewable resources during the initial and continued phases of a proposed project may be irreversible if a large commitment of these resources makes their removal, indirect removal, or use thereafter unlikely. This section of the EIR evaluates whether the project would result in the irretrievable commitment of resources, or would cause irreversible changes in the environment.

6.2.1 Energy Conservation

In order to assure that energy implications are considered in project decisions, CEQA requires that EIRs include a discussion of the potential energy impacts of proposed projects, with particular emphasis on avoiding or reducing inefficient, wasteful and unnecessary consumption of energy (see PRC §21100(b)(3)). According to Appendix F of the State CEQA Guidelines, the goal of conserving energy implies the wise and efficient use of energy including: (1) decreasing overall per capita energy consumption; (2) decreasing reliance on natural gas and oil; and (3) increasing reliance on renewable energy sources.

In California, energy consumption in buildings is regulated by Title 24 of the California Code of Regulations. Title 24 includes standards that regulate energy consumption for the heating, cooling, ventilation, and lighting of residential and nonresidential buildings. The 2016 California Building Energy Efficiency Standards (effective date January 1, 2017) includes energy efficiency

provisions for single-family residential buildings in accordance with Title 24 Part 6 and administrative regulations in Part 1.

Nonrenewable energy consumption would occur during the proposed project's construction and operational phases. Construction energy consumption would be primarily in the form of indirect energy inherent in the production of materials used for construction (e.g., the energy necessary to manufacture a steel beam from raw materials) and the fuel used by construction equipment. Construction-related energy consumption is roughly proportional to the size of the new building. Operational-related energy consumption would include electricity and natural gas, as well as fuel used by residents and visitors as expressed through vehicle miles traveled. Electricity and natural gas would be used for building space heating and lighting (uses that are covered by Title 24, discussed above).

The proposed project would replace an existing single-family residence with a new single-family residence and restore and permanently preserve adjacent native dune habitat. Energy conservation design features to meet state and local goals for energy efficiency have been incorporated into the project design to reduce wasteful, inefficient, and unnecessary consumption of energy during construction and operation. The proposed project would be required to comply with the standards of Title 24, thus minimizing the amount of fuel, water, or energy used. Operation of the proposed project would not have a measurable effect on regional energy supplies or on peak energy demand resulting in a need for additional capacity. The project would not generate significant additional vehicle trips or miles traveled and would not substantially increase the density or intensity of use at the project site. The permanent preservation of adjacent dune habitat would prevent future development in that area that could create additional energy demands or uses. The new development would tie-in to existing utilities; therefore, the demand on utilities and energy use are expected to be similar to existing conditions. Furthermore, construction energy consumption would be a temporary energy expenditure and would not occur in an inefficient or wasteful manner. Due to the limited scale of the project and lack of change in land use, impacts would be *less than significant*.

6.2.2 Irreversible Commitment of Non-Renewable Resources

State CEQA Guidelines §15126.2(c) states that use of nonrenewable resources during the initial and continued phases of a proposed project may constitute an irreversible environmental change if a large commitment of such resources makes their removal or re-use thereafter unlikely. Nonrenewable resources such as natural gas, petroleum products, asphalt, steel, copper and other metals, and sand and gravel are considered to be commodities which are available in a finite supply. Increases in population will directly result in the demand for additional nonrenewable resources; therefore, the demand for all such resources is expected to increase regardless of whether or not the project is developed.

The proposed project is of limited scale and its contribution to this loss is limited; therefore, impacts would be *less than significant*.

CHAPTER 7

MITIGATION MONITORING AND REPORTING PROGRAM

7.1 STATUTORY REQUIREMENT

When a Lead Agency makes findings on significant environmental effects identified in an Environmental Impact Report (EIR), the agency must also adopt a “reporting or monitoring program for the changes to the project which it has adopted or made a condition of approval in order to mitigate or avoid significant effects on the environment” (Public Resources Code §21081.6(a) and California Environmental Quality Act (CEQA) Guidelines §15091(d) and §15097). The Mitigation Monitoring and Reporting Program (MMRP) is implemented to ensure that the mitigation measures and project revisions identified in the EIR are implemented. Therefore, the MMRP must include all changes in the proposed project either adopted by the project proponent or made conditions of approval by the Lead or Responsible Agency.

7.2 ADMINISTRATION OF THE MITIGATION MONITORING AND REPORTING PROGRAM

The County is the Lead Agency responsible for the adoption of the MMRP. As the project applicant, the County is also responsible for implementation of the MMRP, in coordination with other government agencies. According to CEQA Guidelines §15097(a), a public agency may delegate reporting or monitoring responsibilities to another public agency or to a private entity that accepts the delegation. However, until mitigation measures have been completed, the Lead Agency remains responsible for ensuring that the implementation of the measure occurs in accordance with the program.

7.3 MITIGATION MEASURES AND MONITORING PROGRAM

Table 7-1 is structured to enable quick reference to mitigation measures and the associated monitoring program based on the environmental resource. The numbering of mitigation measures correlates with numbering of measures found in the Environmental Impact Analysis chapter of this EIR (refer to Chapter 4).

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
<i>Aesthetic Resources</i>				
AES/mm-1.1	The maximum height of the residential structure shall be reduced to not exceed 20 feet above the average natural grade as defined in the project plan elevations dated October 21, 2011. Revised plans reflecting compliance with this measure shall be submitted to the County of Monterey Resource Management Agency – Planning Department for review and approval prior to issuance of demolition, grading, or construction permits.	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department revised plans reflecting compliance with this measure.	Applicant	Prior to issuance of demolition, grading, or construction permits
AES/mm-3.1	<p>The applicant shall submit an exterior lighting plan to the County of Monterey Resource Management Agency – Planning Department for review and approval. The lighting plan shall be prepared using guidance and best practices endorsed by the International Dark Sky Association and shall comply with Title 24 lighting requirements. The lighting plan shall include the following:</p> <ol style="list-style-type: none"> a. All exterior point-source lighting shall be directed downward and fully shielded from off-site views. b. Exterior lighting shall be designed so that it does not focus illumination onto exterior walls or the hillside on or adjacent to the proposed development. c. Any security lighting installed on the property shall be equipped with motion detectors to prevent the illumination from remaining on. d. No reflective coatings shall be used on exterior south, west, and southwest facing windows. e. All windows visible from 17-Mile Drive, Signal Hill Road, or other surrounding public areas shall be constructed of electrochromic glass to minimize visibility at night. The electrochromic glass will be visually transparent during the daytime and will become darker and translucent at night to avoid a “lighthouse effect.” 	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department an exterior lighting plan reflecting compliance with this measure.	Applicant	Prior to issuance of demolition, grading, or construction permits

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
Biological Resources				
BIO/mm-1.1	<p>The applicant shall submit a Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency for review and approval by the Director of Planning. The plan shall be prepared by a licensed arborist and provide for the installation, maintenance, and monitoring of four 36-inch box Monterey cypress trees to ensure all removed Monterey cypress trees are replaced on site at a 2:1 ratio.</p> <p>The Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan shall include provisions for the installation and maintenance of the replacement trees to be monitored by a qualified arborist. The arborist shall monitor the health and vigor of the replacement trees for a minimum of 3 years following installation. If at any time, the arborist determines that the replacement trees are in poor vigor, the arborist will recommend management actions to remedy the concerns. The applicant or applicant's representative shall implement the arborist recommendation(s) within 1 month of receiving the recommendation. If any replacement tree(s) die, the applicant shall replace the tree(s) at a 1:1 ratio per the arborist's recommendation. Each replacement tree shall be monitored by the arborist for a minimum of 3 years following the tree installation date.</p> <p>The plan shall identify the Critical Root Zone for all Monterey cypress trees at the project site that will remain in place. In addition, the plan shall provide for the installation of tree protection measures around the trees to remain. Tree protection measures may include installation of temporary fencing and/or straw bale barricades in the trees' Critical Root Zone, as identified by the arborist. All replacement trees and tree protection measures must be clearly shown on the project construction and landscape plans.</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency – Planning Department for review and approval.</p> <p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit photographic evidence and a letter from a qualified arborist verifying that tree protection measures have been installed as recommended in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan to the County of Monterey Resource Management Agency.</p> <p>During construction, a County of Monterey-approved arborist shall be on-site to monitor any grading activities that occur within the Critical Root Zone of trees to remain in place per the approved Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p>	Applicant	Prior to issuance of demolition, grading, or construction permits

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
BIO/mm-2.1	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall enter into a funding agreement with County of Monterey Resource Management Agency – Planning Department to fund, and the County of Monterey shall retain, an environmental monitor for all measures requiring environmental mitigation to ensure compliance with the Environmental Impact Report mitigation measures. The monitor shall be granted unlimited access to the project site in accordance with timelines specified in Environmental</p>	<p>Prior to final inspection, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department photographic evidence and a letter from a qualified arborist verifying that replacement trees have been planted as specified in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p> <p>After replacement planting has been completed, the applicant shall submit to the Monterey County Resource Management Agency – Planning Department reports from the arborist detailing the results of the monitoring efforts and the status of the trees. Reports shall be submitted on a yearly basis or as specified in the Monterey Cypress Tree Protection, Replacement, Maintenance, and Monitoring Plan.</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>Impact Report mitigation measures and shall be responsible for:</p> <ol style="list-style-type: none"> ensuring that procedures for verifying compliance with environmental mitigations are implemented; establishing lines of communication and reporting methods; conducting weekly compliance visits and reporting; conducting construction crew training regarding environmentally sensitive habitat areas and special-status species; and, outlining actions to be taken in the event of non-compliance. <p>Unless otherwise specified in applicable mitigation measures, monitoring shall be conducted weekly during residential demolition and construction and monthly following completion of the residential development and into the first year of the habitat restoration program. Additional monitoring visits may occur based on findings from these monitoring actions.</p>			
BIO/mm-2.2	<p>Prior to commencement of demolition, site grading, or vegetation removal, the environmental monitor shall conduct an environmental awareness training for all construction and habitat restoration personnel. The environmental awareness training shall include discussions of the California legless lizards, coast horned lizards, and nesting birds that may occur in the project area. The training shall include: a description of the species and their habitats; general provisions and protections afforded by the California Environmental Quality Act and Migratory Bird Treaty Act; measures implemented to protect the species; review of the project boundaries and special conditions; the monitor's role in project activities; lines of communication; and procedures to be implemented in the event a special-status species is observed in the work area. The environmental training shall include distribution of an environmental training brochure, and collection of signatures from all attendees acknowledging their participation in the training. Subsequent trainings shall be provided by the environmental monitor as needed for</p>	<p>Prior to commencement of demolition, site grading, or vegetation removal, the environmental monitor shall submit to the County a collection of signatures from all construction and habitat restoration personnel acknowledging their participation in the environmental awareness training.</p>	Applicant	<p>Prior to commencement of demolition, site grading, or vegetation removal</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
BIO/mm-2.3	<p>additional construction or restoration operations workers throughout the duration of project construction and restoration.</p> <p>Within 30 days prior to any structure demolition and site grading within the construction footprint, the environmental monitor shall conduct surveys for California legless lizards and other reptiles. The surveyor shall utilize hand search methods in areas of planned disturbance where legless lizards and other reptiles are expected to be found (e.g., under shrubs and ice plant, against the residence foundation, or under debris). If a California legless lizard, coast horned lizard, or other native reptiles are observed, the surveyor shall capture the individual(s) from the disturbance area and relocate the individual(s) into suitable habitat in the dune scrub restoration area. Care shall be taken to identify habitat in the restoration area that is dominated by native plant species.</p> <p>The environmental monitor shall be present during site grading activities to walk behind the grading equipment and capture native reptiles that were overlooked during the pre-disturbance survey and are unearthed by the equipment. The surveyor shall capture and relocate any legless lizards, coast horned lizards, or other native reptiles observed. The captured individuals shall be removed from the disturbance area and placed in suitable habitat within native plant species on the parcel but outside of the development area.</p>	<p>Within 30 days prior to any structure demolition and site grading within the construction footprint, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a letter from the environmental monitor detailing the results of the surveys.</p>	Applicant	<p>Within 30 days prior to any structure demolition and site grading within the construction footprint, and during all site grading and vegetation removal activities</p>
BIO/mm-2.4	<p>It is anticipated that legless lizards and other reptiles will be encountered during the invasive species removal efforts that will be conducted under the Dune Restoration Plan. The proposed Dune Restoration Plan provides best management practices designed to minimize impacts to legless lizards during implementation of the plan. The proposed best management practices shall be implemented. In addition, at least one member of the habitat restoration crew shall be qualified to recognize, capture, and relocate any California legless lizards, coast horned lizards, and other reptiles that</p>	<p>Prior to invasive species removal efforts, the applicant shall provide the County of Monterey Resource Management Agency – Planning Department notification identifying the qualified specialist designated to identify, capture, and relocate legless lizard or other reptiles encountered during implementation of the Dune</p>	Applicant	<p>Prior to and during demolition, construction, and invasive species removal efforts</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>may be encountered during invasive species removal efforts in the dune scrub restoration area. The qualified individual shall be on-site during all invasive species removal efforts. If a native reptile is observed during the vegetation removal, the individual shall be captured and relocated to suitable habitat away from the vegetation removal. Care shall be taken to place the lizard(s) among native plant species.</p> <p>The proposed Dune Restoration Plan includes a monitoring and reporting schedule. The species and amounts of reptiles captured and relocated shall be documented in the monitoring reports that will be submitted to the County of Monterey. In the event that a special-status species is observed, the monitoring biologist shall submit a California Natural Diversity Database report of the sighting to the California Department of Fish and Wildlife.</p>	Restoration Plan.		
BIO/mm-2.5	<p>Demolition, construction, and grading activities shall be timed to avoid the nesting season to the extent feasible. If any demolition, construction or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall conduct a nesting bird survey and verify that migratory birds are not occupying the disturbance area. If nesting activity is detected, the following measures should be implemented:</p> <ol style="list-style-type: none"> a. The monitor shall determine whether it is appropriate to establish a 500-foot no work buffer around any raptor or special-status species nest and shall establish a 100-foot no work buffer around any common passerine species nest. If appropriate, the monitor has the discretion to require that no work may occur in the buffer zone while the nest is active. b. If adhering to the established buffer zone is not feasible or other unique circumstances exist, the monitor may contact the California Department of Fish and Wildlife to establish a reduced buffer area and monitoring protocol for work to continue in the buffer zone. The monitor shall document all active 	<p>If any demolition, construction or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department detailing the project's compliance with this measure. If no demolition, construction, or grading activities occur during the typical nesting bird season (March 1 through September 30), the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department confirming implementation of this measure is not necessary.</p>	Applicant	Prior to, during, and after demolition, construction, and grading activities

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>nesting activities and submit a letter report to the County of Monterey and California Department of Fish and Wildlife, documenting project compliance with the Migratory Bird Treaty Act and applicable project mitigation measures.</p>			
BIO/mm-2.6	<p>Vegetation removal activities associated with the Dune Restoration Plan have the potential to disturb nesting passerines. If an active bird nest is encountered during invasive plant species removal efforts, the monitoring biologist shall establish a 100-foot radius buffer around the nest site. No vegetation removal activities (including herbicide applications) shall occur within the 100-foot buffer. Invasive species removal efforts may continue after the monitoring biologist confirms that the nest is no longer active.</p>	<p>If an active bird nest is encountered during invasive plant species removal efforts, the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department detailing the project’s compliance with this measure.</p> <p>If no active bird nest is encountered during invasive plant species removal efforts, the environmental monitor shall submit a letter report to the County of Monterey Resource Management Agency – Planning Department confirming implementation of this measure is not necessary.</p>	Applicant	<p>Prior to, during, and after demolition, construction, and grading activities</p>
BIO/mm-3.1	<p>Prior to issuance of demolition, grading, or construction permits, and consistent with Del Monte Forest Land Use Plan Environmentally Sensitive Habitat Area Policies 13 and 17, the applicant shall permanently protect all Environmentally Sensitive Habitat Areas located outside the construction area by establishing deed restrictions or a permanent open space conservation and scenic easement to be granted to the Del Monte Forest Foundation. The deed restrictions/easement shall encompass the approximately 1.67 acres proposed for dune scrub restoration shown in Figures 2-3 and 4.2-2. The restrictions shall designate the easement area as a native dune scrub restoration area and Environmentally Sensitive Habitat Area, where only habitat restoration and</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a recorded easement reflecting compliance with this measure.</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	other resource dependent uses are permitted. The only deviations from such restrictions may be to repair existing sewer cleanouts and associated sewer pipes that are located in the area. The deed restrictions shall require any future work on the sewer cleanouts and associated piping to be monitored by a qualified biologist and all disturbance areas to be restored to central dune scrub habitat per the specifications put forth in the applicant's Dune Restoration Plan.			
BIO/mm-3.2	The Applicant shall submit a bond to the County of Monterey Resource Management Agency – Planning Department for an amount determined by the County of Monterey to be sufficient to cover the estimated cost of planting and establishing the proposed 1.67-acre habitat restoration area. The bond shall be held for a minimum of 5 years and shall be extended if necessary and shall not be terminated until the Dune Restoration Plan has been deemed successfully completed to ensure the successful establishment and maintenance of the habitat restoration.	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department appropriate documentation reflecting compliance with this measure.	Applicant	Prior to issuance of demolition, grading, or construction permits
BIO/mm-3.3	The Applicant shall enter into a contract with a qualified professional for the purpose of monitoring the success of the habitat restoration area. At a minimum, the monitoring contract shall include a requirement that the monitor conduct an annual site visit and assessment of the restoration success for 5 years. At the end of the 5-year monitoring period, the monitor shall prepare a monitoring report, which shall be submitted to the Monterey County Resource Management Agency – Planning Department for approval and shall be used as a determining factor in assessing the successful establishment of the restoration as it relates to the bond posted by the applicant.	Prior to finalization of building permits and occupancy, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a contract with a qualified professional reflecting compliance with this measure.	Applicant	Prior to issuance of demolition, grading, or construction permits
BIO/mm-3.4	Prior to issuance of demolition, grading, or construction permits, all demolition, grading, and construction plans shall clearly show the location of project delineation fencing that excludes adjacent Environmentally Sensitive Habitat Area from disturbance. Immediately prior to construction, the	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management	Applicant	Prior to issuance of demolition, grading, or construction permits

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>project site shall be clearly fenced so that the contractor is aware of the limits of allowable site access and disturbance. The fencing shall consist of highly visible construction fence supported by steel T-stakes that are driven into the soil. The environmental monitor shall field-fit the placement of the project delineation fencing to minimize impacts to adjacent Environmentally Sensitive Habitat Area and other sensitive resources. The project delineation fencing shall remain in place and functional throughout the duration of the project construction and landscaping activities. All disturbances except habitat restoration activities shall be prohibited outside of the delineated construction area.</p>	<p>Agency – Planning Department showing compliance with this measure.</p>		
BIO/mm-3.5	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit demolition, grading, and construction plans that identify all stockpile and construction staging areas, which shall be located within the construction area and outside the adjacent dune restoration area. Stockpiles and staging areas shall not be placed in areas that have potential to experience significant runoff during the rainy season. All project-related spills of hazardous materials within or adjacent to the project site shall be cleaned up immediately. Spill prevention and cleanup materials shall be onsite at all times during project construction. Cleaning and refueling of equipment and vehicles shall occur only within designated staging areas. The staging areas shall conform to current Best Management Practices applicable to attaining zero discharge of stormwater runoff. No maintenance, cleaning, or refueling shall occur within 50 feet of the dune restoration area. At a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and to avoid potential leaks and spills. The grading plan shall be subject to review and approval by the County of Monterey Resource Management Agency.</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department for review and approval.</p> <p>Throughout the duration of construction activities, the environmental monitor shall provide monthly monitoring reports to the County of Monterey Resource Management Agency – Planning Department reflecting compliance with this measure.</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>
BIO/mm-3.6	<p>Prior to issuance of demolition, grading, or construction permits, project plans shall be submitted that do <u>not</u> include any rain gutter outfall or other stormwater or wastewater outfall that directs concentrated flows capable of eroding the</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	sand dune substrates in the adjacent Environmentally Sensitive Habitat Area, consistent with Del Monte Forest Area Land Use Plan Environmentally Sensitive Habitat Area Policy 8.	Monterey Resource Management Agency – Planning Department for review and approval, reflecting compliance with current Post-construction Stormwater Management requirements and demonstrating that stormwater and wastewater outfalls will not concentrate flows to sand dune substrates adjacent to Environmentally Sensitive Habitat Areas.		
BIO/mm-3.7	Prior to issuance of demolition, grading, or construction permits, project landscape plans shall be revised and resubmitted to the County of Monterey Resource Management Agency for review and approval that clearly list all plant species to be planted and/or seeded in the landscape areas. The listed plant species shall be drought tolerant, and the landscape materials shall not include any plant species that is identified on the most recent version of the California Invasive Plant Council Invasive Plant Inventory. All listed plant species shall be appropriate for the dune habitat in the Del Monte Forest area. Examples of appropriate species include but are not limited to the following: All species included on the applicant submitted Dune Restoration Plans (Ballerini 2015, page 2; Zander 2012, Page 5), dune lupine (<i>Lupinus chamissonis</i>), Monterey cypress (<i>Hesperocyparis macrocarpa</i>), Monterey pine (<i>Pinus radiata</i>), California saltbush (<i>Atriplex californica</i>), dune sedge (<i>Carex pansa</i>), Pt. Reyes Ceanothus (<i>Ceanothus gloriosus gloriosus</i>), San Luis Obispo Ceanothus (<i>Ceanothus maritimus</i>), California croton (<i>Croton californicus</i>), California brittlebush (<i>Encelia californica</i>), leafy daisy (<i>Erigeron foliosus</i>), coastal buckwheat (<i>Eriogonum cinereum</i>), island wallflower (<i>Erysimum insulare</i>), California poppy (<i>Eschscholzia californica maritima</i>), gumweed (<i>Grindelia stricta</i>), wedge leaf horkelia (<i>Horkelia cuneata</i>), cardinal monkeyflower (<i>Mimulus cardinalis</i>), crisp monardella (<i>Monardella undulata</i> ssp. <i>crispa</i>), and black sage	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project landscape plans to the County of Monterey Resource Management Agency – Planning Department for review and approval that clearly list all plant species to be planted and/or seeded in the landscape areas.	Applicant	Prior to issuance of demolition, grading, or construction permits

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Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
BIO/mm-3.8	<p>(<i>Salvia mellifera</i>). Other dune appropriate species shall include those listed in the San Francisco Bay Conservation and Development Commission's publication "Shoreline Plants: A Landscape Guide for the San Francisco Bay Area" (pages 18 through 33).</p> <p>Prior to issuance of demolition, grading, or construction permits, the landscape plans shall specify that the use of imported soils for amendment in the landscape areas is prohibited. The native sand dune substrates shall be retained in the landscape area and dune appropriate species shall be utilized in the landscaping.</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised landscape plans that reflect compliance with this measure.</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>
BIO/mm-3.9	<p><u>Prior to the issuance of a building or grading permit, the applicant/owner shall submit to HCD-Planning for review and approval an offsite dune habitat restoration plan that provides for restoration of dune habitat within the Asilomar Dunes system at a ratio of 1:1 for any new dune habitat coverage over existing conditions (i.e. for any new areas of the site that are being converted from dune habitat to residential uses). The plan shall clearly identify each type of new dune habitat coverage (structural and non-structural) in site plan view with accompanying square footage calculations.</u></p> <p><u>In lieu of providing for off-site dune habitat restoration, the applicant/owner may provide prior to permit issuance a dune restoration payment of \$2.40 per square foot, or the rate reflected in the current Fee Schedule for the Environmental Enhancement Fund, for the calculated square footage of new dune habitat coverage beyond existing conditions to be used for the sole purpose of financing dune habitat restoration and maintenance within the Asilomar Dunes system.</u></p> <p><u>The applicant/owner shall submit evidence of the calculation of square footage based on the construction permit design (anticipated to be equivalent to 7,840 square feet) and a receipt that indicates the total amount has been deposited into an interest-bearing account to be established and managed by one of the following entities as approved by the HCD-Planning Department: the City of Pacific Grove, Monterey County, or the California Department of Parks and</u></p>	<p><u>If the applicant/owner opts to directly provide off-site dune habitat restoration, prior to issuance of construction permits, the applicant/owner shall provide to HCD-Planning for review and approval the proposed restoration plan and the location and permissions required for it to be implemented. Prior to building final inspection, applicant/owner shall provide evidence to HCD-Planning for review and approval that the approved off-site restoration has been implemented by a County-approved biologist. If applicant/owner opts to pay in-lieu fees, prior to issuance of construction permits, the applicant/owner shall submit receipt(s) that reflect compliance with this measure.</u></p>	Applicant	<p><u>Prior to issuance of construction permits, if in-lieu option is taken, prior to final inspection if in-situ restoration option is taken</u></p>

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Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<u>Recreation. All of the funds and any accrued interest shall be used for the above-stated purpose.</u>			
BIO/mm-4.1	Project plans shall be revised to clearly show a minimum 100-foot setback and buffer zone between the project construction area (including all areas proposed for demolition, construction, staging, or landscaping) and the edge of the <i>Juncus articus</i> (var. <i>balticus</i> , <i>mexicanus</i>) Herbaceous Alliance vegetation, as shown in Figure 4.2-1 of the EIR.	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department demonstrating compliance with this measure.	<u>Applicant</u>	Prior to issuance of demolition, grading, or construction permits
BIO/mm-4.2	Prior to initiating the proposed dune scrub restoration activities, the environmental monitor shall flag the perimeter of the coastal wetland. Application of herbicides shall be prohibited within 25 feet of the coastal wetland. No removal of Mexican rush shall be permitted, and any vegetation removal efforts within 25 feet of the coastal wetland shall be implemented by hand.	<p>Prior to initiating the proposed dune scrub restoration activities, the environmental monitor contracted by the County shall submit a letter report detailing the project's compliance with this measure.</p> <p>Throughout the duration of construction activities, the environmental monitor shall submit regular (weekly) monitoring reports demonstrating compliance with this measure.</p>	<u>Environmental Monitor</u>	Prior to initiating the proposed dune scrub restoration activities
<i>Historical Resources</i>				
HR/mm-1.1	Prior to issuance of the demolition, grading, or construction permits and subsequent to repair and restoration of ongoing vandalism and degradation, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department for review and approval a recordation of the Connell House per the most recent guidelines of the Historic American Buildings Survey (HABS). Where baseline conditions are no longer in existence and have not been repaired, original features and materials shall be restored, with the use of documentary evidence, in accordance with the	Prior to issuance of the demolition, grading, or construction permits, the applicant shall submit a recordation of the Connell House per the most recent guidelines of the Historic American Buildings Survey (HABS) to the County of Monterey Resource Management Agency – Planning Department to	Applicant	Prior to issuance of the demolition, grading, or construction permits and subsequent to repair and restoration of ongoing vandalism and degradation

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Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
HR/mm-1.2	<p>Secretary of the Interior's Standards for the Treatment of Historic Properties. The documentation package shall include measured drawings; written and oral histories, including historic context and statement of significance; written architectural description; bibliographic materials; large-format, black-and-white photographs; and relevant related information. The original documentation shall be submitted to the HABS office in Washington, D.C., for deposit in the Library of Congress. Copies of the documentation package shall be offered to the Pebble Beach Company Lagorio Archives; Monterey Public Library (California Room); Monterey County Historical Society; Richard Neutra archives at the UCLA Charles E. Young Research Library, Syracuse University Library, and Columbia University Avery Architectural and Fine Arts Library; and Northwest Information Center at Sonoma State University, Rohnert Park.</p> <p>An individual or team meeting the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61) shall be retained to oversee the return of the property to baseline conditions in accordance with the Secretary of the Interior's Standards and to prepare the HABS materials. In the event that restoration is not possible, recordation shall still be required in accordance with the Secretary of the Interior's Standards to the greatest extent feasible.</p> <p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit for review and approval to the County of Monterey Resource Management Agency – Planning Department, and a designated host organization (e.g., Monterey County Historical Society or Pebble Beach Company), electronic information in a web-based format for use in creating a web page documenting the Connell House. Prior to starting the gathering of this information, the applicant shall work with a qualified professional to create a scope of work for the educational materials to be developed, and the scope of work shall be provided to the Monterey County Historic Resources Review Board for review and approval.</p>	<p>demonstrate compliance with this measure.</p> <p>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit educational information documenting the Connell House to the County of Monterey Resource Management Agency – Planning Department for incorporation into a web page documenting the Connell House.</p>	Applicant	Prior to issuance of the demolition, grading, or construction permits

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>The web page shall document the house, its history, and features, at baseline conditions. The web page shall include, but not be limited to, a video tour of the Connell House to be completed prior to any demolition; photographs; architectural drawings; current and historic photographs; and background material such as oral histories with individuals with knowledge of the Connell House.</p> <p>An individual or team meeting the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61) shall be retained to prepare the web page content. The web page shall be operational no later than 1 year following issuance of project permits.</p>			
Archaeological Resources				
AR/mm-1.1	<p>Prior to commencement of any demolition, site grading, or vegetation removal activities, the applicant shall verify that all contractors/employees involved in ground disturbing and vegetation removal activities have received training from a qualified archaeologist. The training shall address the following issues:</p> <ol style="list-style-type: none"> a. Review the types of archaeological artifacts and resources that may be uncovered; b. Provide examples of common archaeological artifacts and resources to examine; c. Review what makes an archaeological resource significant to archaeologists, and local Native Americans; d. Describe procedures for notifying involved or interested parties in case of a new discovery; e. Describe reporting requirements and responsibilities of construction personnel; f. Review procedures that shall be used to record, evaluate, and mitigate new discoveries; and, g. Describe procedures that would be followed in the case of discovery of disturbed as well as intact human burials and burial-associated artifacts. 	<p>Prior to commencement of any demolition, site grading, or vegetation removal activities, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department a signed letter by a qualified archaeologist reporting the date of training and a list of names and signatures of those in attendance.</p>	Applicant	<p>Prior to commencement of any demolition, site grading, or vegetation removal activities</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
AR/mm-1.2	<p>Prior to issuance of grading and construction permits, the applicant shall submit an Archaeological Monitoring Plan to the County of Monterey Resource Management Agency – Planning Department for review and approval. The Plan shall be prepared by a qualified archaeologist and reviewed and updated as needed in the event of project alterations or amendments. The plan shall include, at minimum:</p> <ul style="list-style-type: none"> a. List of personnel involved in the monitoring activities; b. Description of the types of project activities requiring monitoring; c. Description of how the monitoring shall occur; d. Description of monitoring frequency; e. Description of resources expected to be encountered; f. Description of circumstances that would result in a diversion or stopping of work activities in the case of discovery at the project site; g. Description of procedures for diverting or stopping work on the site and notification procedures, including contacting the Ohlone/Costanoan-Esselen Nation (OCEN) Tribal Council; h. Procedures for developing a strategy in consultation with the OCEN Tribal Council if resources are discovered for either return to the Tribe or reburial; and, i. Description of monitoring reporting procedures, as applicable to each identified project component. 	<p>Prior to issuance of grading and construction permits, the applicant shall submit an Archaeological Plan prepared by a qualified archaeologist to the County of Monterey Resource Management Agency – Planning Department for review and approval.</p>	Applicant	<p>Prior to issuance of grading and construction permits</p>
AR/mm-1.3	<p>At a minimum, a County of Monterey Resource Management Agency – Planning Department-approved archaeological monitor shall be present during initial ground disturbing construction and vegetation removal activities, and as further described in the approved Archaeological Monitoring Plan, until it is deemed the potential for encountering unknown archaeological resources is negligible.</p>	<p>Upon completion of all monitoring and mitigation activities required by AR/mm-1.1 through AR/mm-1.3, and prior to final inspection or occupancy, whichever occurs first, the applicant shall submit to the County of Monterey Resource Management Agency – Planning Department, a report</p>	Applicant	<p>During ground disturbance and vegetation removal activities</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
		summarizing all monitoring and mitigation activities and confirming that all recommended mitigation measures have been met.		
AR/mm-2.1	<p>The following measure shall be incorporated into the Archaeological Monitoring Plan, and noted on all grading and construction plans:</p> <p>a. If human remains are exposed during construction, the applicant shall notify the Monterey County Resource Management Agency – Planning Department immediately and comply with State Health and Safety Code Section 7050.5, which requires that no further disturbance shall occur until the County Coroner has been notified and can make the necessary findings as to origin and disposition of the remains pursuant to Public Resources Code Section 5097.98. Construction shall halt in the area of the discovery of human remains, the area shall be protected, and consultation and treatment shall occur as prescribed by law.</p>	<p>Prior to issuance of grading and construction permits, the applicant shall submit the Archaeological Plan prepared by a qualified archaeologist to the County of Monterey Resource Management Agency – Planning Department to establish compliance with this measure.</p>	Applicant	Prior to and during all ground disturbance and construction activities
Geology and Soils				
GEO/mm-1.1	<p>The project shall be designed to meet or exceed all applicable requirements of the California Building Standards Code. The Applicant shall ensure that all design and construction recommendations provided by Cleary Consultants, Inc. (2010) in the geotechnical study are included on construction specifications and implemented during construction of the proposed project. Prior to issuance of the Combined Development Permit, the Applicant shall submit to the County of Monterey Resource Management Agency – Planning Department, for review and approval, grading and engineering plans that are consistent with this measure.</p>	<p>The Applicant shall submit grading and engineering plans consistent with this measure to the County of Monterey Resource Management Agency – Planning Department for review and approval to establish compliance with this measure.</p>	Applicant	Prior to issuance of grading and construction permits

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
<i>Hydrology and Water Quality</i>				
HYD/mm-1.1	<p>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit an erosion control plan to the County of Monterey Resource Management Agency for review and approval.</p> <p>All identified erosion control measures shall be in place prior to the start of construction. The County of Monterey Resource Management Agency shall periodically conduct subsequent inspections of the site throughout the duration of construction, including prior to the start of construction and prior to and after any significant storm events, to ensure the following:</p> <ol style="list-style-type: none"> a. To ensure all identified erosion control measures are in place prior to the start of construction; b. To identify locations and features of the site that contribute to stormwater discharge; c. To assess the adequacy of the best management practices and controls in place to reduce pollutant loadings and ensure they were properly installed and are functioning appropriately; d. To determine whether implementation of additional best management practices or corrective measures are needed; and, e. To direct and oversee the implementation of any identified additional best management practices or corrective measures. <p>In the event of a prolonged storm event, the County of Monterey Resource Management Agency – Planning Department shall conduct inspections every 24 hours through the duration of the storm event.</p> <p>Requirements of the approved erosion control plan and drainage plan shall be included on all construction specifications.</p>	<p>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit an erosion control plan to the County of Monterey Resource Management Agency – Environmental Services for review and approval to establish compliance with this measure.</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
HYD/mm-2.1	<p>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit a drainage plan to the County of Monterey Resource Management Agency – Planning Department for review and approval by the Director of Building Inspection.</p> <p>Upon completion of construction, and periodically thereafter as necessary, the County of Monterey Resource Management Agency – Planning Department shall inspect the site to ensure the following:</p> <ol style="list-style-type: none"> a. All best management practices and drainage facilities installed to reduce increased runoff were properly installed and are functioning properly; b. The best management practices and drainage facilities are adequate to control erosion and stormwater runoff; and c. Post-development stormwater runoff does not exceed pre-development stormwater runoff. <p>In the event drainage facilities are found to be inadequate to ensure post-development stormwater runoff does not exceed pre-development stormwater runoff, the County of Monterey Resource Management Agency – Planning Department shall identify additional corrective measures to be implemented and direct the implementation of additional measures, as needed, to prevent any increase in post-development stormwater runoff.</p> <p>Requirements of the approved drainage plan shall be included on all construction specifications.</p>	<p>Prior to issuance of demolition, grading, or construction permits, the Applicant shall submit a drainage plan in compliance with this measure to the County of Monterey Resource Management Agency to establish consistency with this measure.</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>
Air Quality and Greenhouse Gases				
AQ/GHG/mm-1.1	<p>Prior to issuance of demolition, grading, or construction permits, the following Best Management Practices and standard mitigation measures for reducing fugitive dust emissions shall be noted on project grading plans. All</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised grading plans to the County of</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>measures shall be adhered to during all project construction activities.</p> <ol style="list-style-type: none"> a. Reduce the amount of disturbed area where possible. b. Water all sand/dirt stockpiles at least twice daily. Frequency should be based on the type of operation, soil, and wind exposure. c. Prohibit grading activities to the extent feasible when wind speeds exceed 15 miles per hour. d. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site. e. All trucks hauling dirt, sand, soil, or other loose materials shall be covered and shall maintain at least 2 feet of freeboard (minimum vertical distance between top of load and top of trailer). f. Plant appropriate vegetative ground cover in disturbed areas that are planned for habitat restoration as soon as possible. g. Cover inactive storage piles. h. Install wheel washers at the entrance to the construction site for all exiting trucks. i. Sweep streets if visible soil material is carried out from the construction site. j. Post a publicly visible sign which specifies the telephone number and person to contact regarding dust complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance). k. Limit the area under construction at any one time. 	<p>Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</p>		
AQ/GHG/mm-1.2	<p>Prior to issuance of the Combined Development Permit, the following Best Management Practices and standard mitigation measures for reducing nitrogen oxides (NO_x), reactive organic gases (ROG) and diesel particulate matter (DPM)</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised grading plans to the County of</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>emissions from construction equipment shall be noted on project grading plans. All measures shall be adhered to during all project construction and decommissioning activities.</p> <ol style="list-style-type: none"> a. Maintain all construction equipment in proper tune according to manufacturer's specifications. b. Diesel-powered equipment shall be replaced by electric equipment whenever feasible to reduce NO_x emissions. c. Diesel-powered equipment shall be replaced by gasoline-powered equipment whenever feasible. d. Diesel construction equipment meeting the California Air Resources Board Tier 1 emission standards for off-road heavy-duty diesel engines shall be used. Equipment meeting California Air Resources Board Tier 2 or higher emission standards shall be used to the maximum extent feasible. e. Catalytic converters shall be installed on gasoline-powered equipment, if feasible. f. All on- and off-road diesel equipment shall not idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and or job site to remind drivers and operators of the 5-minute idling limit. g. The engine size of construction equipment shall be the minimum practical size. h. The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time. 	<p>Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</p>		
<i>Hazards and Hazardous Materials</i>				
HAZ/mm-1.1	<p>Prior to issuance of demolition, grading, or construction permits, the Applicant shall prepare a Hazardous Material Spill Prevention, Control, and Countermeasure Plan to minimize the potential for, and effects of, spills of hazardous or toxic substances during construction of the project. The</p>	<p>Prior to issuance of demolition, grading, or construction permits, the applicant shall submit a Hazardous Material Spill Prevention, Control, and</p>	Applicant	<p>Prior to issuance of demolition, grading, or construction permits</p>

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>plan shall be submitted for review and approval by the Monterey County Resource Management Agency – Planning Department, and shall include, at minimum, the following:</p> <ul style="list-style-type: none"> a. A description of storage procedures and construction site maintenance and upkeep practices; b. Identification of a person or persons responsible for monitoring implementation of the plan and spill response; c. Identification of Best Management Practices to be implemented to ensure minimal impacts to the environment occur, including but not limited to the use of containment devices for hazardous materials, training of construction staff regarding safety practices to reduce the chance for spills or accidents, and use of non-toxic substances where feasible; d. A description of proper procedures for containing, diverting, isolating, and cleaning up spills, hazardous substances, and/or soils, in a manner that minimizes impacts on surface and groundwater quality and sensitive biological resources; e. A description of the actions required if a spill occurs, including which authorities to contact and proper clean-up procedures; and, f. A requirement that all construction personnel participate in an awareness training program conducted by qualified personnel approved by the Monterey County Resource Management Agency – Planning Department. The training must include a description of the Hazardous Materials Spill Prevention, Control, and Countermeasure Plan, the plan’s requirements for spill prevention, information regarding the importance of preventing spills, the appropriate measures to take should a spill occur, and identification of the location of all clean-up materials and equipment. 	<p>Countermeasure Plan to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</p>		

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
HAZ/mm-1.2	During construction activities, the cleaning and refueling of equipment and vehicles shall occur only within a designated staging area. This staging area shall conform to Best Management Practices applicable to attaining zero discharge of stormwater runoff. At a minimum, all equipment and vehicles shall be checked and maintained on a daily basis to ensure proper operation and avoid potential leaks or spills.	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised project plans to the County of Monterey Resource Management Agency – Planning Department identifying designated staging areas in compliance with this measure.	Applicant	Prior to issuance of demolition, grading, or construction permits
HAZ/mm-1.3	All project-related spills of hazardous materials within or adjacent to the project area shall be cleaned-up immediately. Spill prevention and clean-up materials shall be on-site at all times during construction.	Throughout project construction, the environmental monitor shall submit regular monitoring reports to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.	Environmental Monitor, County	Throughout project construction
Noise				
NOI/mm-1.1	The following noise attenuation measures shall be implemented during construction activities to reduce construction-related noise effects on adjacent sensitive receptors. The following measures shall be noted on construction plans prior to issuance of demolition, grading, or construction permits and shall be implemented throughout the duration of construction activities: <ul style="list-style-type: none"> a. Construction activities shall be limited to daytime hours between 7:00 a.m. and 7:00 p.m. Monday through Saturday. No construction shall be allowed on Sundays or national holidays. b. Neighborhood notice. Residents and other sensitive receptors within 300 feet of the project site shall be notified of the construction activities, including the nature of construction activities and schedule, in writing, at least 48 hours prior to the initiation of construction activities. The notice shall include contact information for questions and complaints, 	Prior to issuance of demolition, grading, or construction permits, the applicant shall submit revised construction plans to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure. <p>Throughout construction activities, the environmental monitor shall submit regular monitoring reports to the County of Monterey Resource Management Agency – Planning Department establishing compliance with this measure.</p>	Applicant, Environmental Monitor, County	Prior to issuance of demolition, grading, or construction permits and throughout construction activities

Table 7-1. Condition Compliance and Mitigation Monitoring Reporting Program

Mitigation Measure	Conditions of Approval and/or Mitigation Measures	Compliance Method or Monitoring Actions	Responsible Party	Timing
	<p>including name, phone number, address, and e-mail address.</p> <ul style="list-style-type: none"> c. Construction equipment with internal combustion engines shall have sound control devices at least as effective as those provided by the original equipment manufacturer. d. No equipment shall be permitted to have an unmuffled exhaust. e. Impact tools, such as jack hammers, pavement breakers, and rock drills, used for project demolition or construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. Where use of pneumatic tools is unavoidable, an exhaust muffler shall be placed on the compressed air exhaust. External jackets shall be used on impact tools, where feasible. f. Stationary noise sources shall be located as far away from nearby receptors as possible, and shall muffle, incorporate noise barriers, or implement other noise control measures to the extent feasible. g. Trucks and construction equipment shall be prohibited from idling at the construction site or along streets serving the construction site. 			

CHAPTER 8

REFERENCES AND REPORT PREPARATION

8.1 REFERENCES

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8.2 REPORT PREPARATION

This EIR has been prepared by SWCA Environmental Consultants, in association with the County of Monterey Resource Management Agency – Planning Department, CEQA Lead Agency, and Robert G. Carr, ASLA, visual resource specialist.

8.2.1 CEQA Lead Agency

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8.3 EIR PREPARERS

The following is a list of individuals responsible for preparation of the EIR.

Responsibilities	EIR Preparer
Project Director	Bill Henry, AICP, Director, SWCA
Project Management Executive Summary Introduction Project Description Environmental Setting Environmental Impact Analysis Historical Resources Alternatives Mitigation Monitoring and Reporting Plan References and Report Preparation	Emily Creel, Project Manager/Planning Team Leader, SWCA
QA/QC Review Project Description	Shawna Scott, Planning Team Leader, SWCA
Biological Resources	Travis Belt, Senior Biologist/Project Manager, SWCA
Historical Resources Alternatives	Paula Carr, Senior Architectural Historian, SWCA
Historical Resources Alternatives	Debi Howell-Ardila, Architectural Historian, SWCA
Archaeological Resources	Leroy Laurie, Cultural Team Leader, SWCA
Geology and Soils Hydrology and Water Quality Less than Significant Issue Areas Other CEQA Considerations	Jacqueline McCrory, Environmental Planner, SWCA
Aesthetic Resources	Bob Carr, ASLA, Visual Resources Specialist
Graphics and Mapping	Adriana Neal, GIS/CADD Specialist, SWCA
Mitigation Monitoring and Reporting Plan References and Report Preparation Technical Editing and Document Production	Jaimie Jones, Technical Editor, SWCA

CHAPTER 9

RESPONSE TO COMMENTS ON THE PUBLIC REVIEW DRAFT EIR

The Response to Comments chapter of the EIR includes responses to significant environmental issues raised in comment letters for the Signal Hill LLC Combined Development Permit Public Review Draft EIR. These comment letters were received from federal and state agencies, non-agency organizations, and the general public. In accordance with CEQA Guidelines Sections 15132(d) and 15088, this Final EIR presents the County's response to significant environmental points raised in comments submitted during the Draft EIR review and consultation process.

The comment letters are in chronological order with the responses following the individual letters. Comment letters are reproduced in total, and numerical annotation has been added as appropriate to delineate and reference the responses to those comments. A set of Master Responses has been developed to address certain topical issues raised multiple times by different commenters. These Master Responses are provided in Section 9.1 and referenced throughout the chapter.

Information received in this Response to Comments chapter clarifies, amplifies, or makes minor modifications to the Draft EIR. No significant changes have been made to the information contained in the Draft EIR that would result in a new or substantially increased environmental impact as a result of the responses to comments, and no significant new information has been added that would require recirculation of the document under State CEQA Guidelines Section 15088.5.

9.1 MASTER RESPONSES

Many comments submitted by members of the public related to substantially similar issues. The following responses are master responses intended to address all of the comments submitted in relation to these issue areas. All individual responses set out in the following sections related to comments regarding one of these issue areas are referred back to the appropriate master response to avoid unnecessary length and duplication in this document.

Response No.	Master Response
<i>MR-1</i>	<i>Project Preference</i> Several comments expressed a general preference or an opinion regarding the preferred project. Comments generally supported one of two alternatives: the proposed project or Alternative 1, Preservation, which was identified as the environmentally superior alternative. Comments that express a preference or an opinion for the preferred project alternative and do not directly relate to significant environmental issues or the adequacy of the analysis contained in the EIR do not require a response pursuant to Section 15088 of the State CEQA Guidelines. Specifically, CEQA requires a lead agency to review and provide responses to comments on environmental issues, particularly when the lead agency's position on major environmental issues is at variance with recommendations and objections raised in public comment. CEQA is inherently a public disclosure process, and the EIR prepared for the project is intended to allow the general public and governmental agencies to review and evaluate the potential environmental effects of a proposed project. Ultimately, it is the responsibility of the decision-making body to consider the whole of the record and approve or deny the proposed project, or select an identified, feasible project alternative.

Response No.	Master Response
	<p>Under CEQA and as discussed in the EIR, the Connell House is considered a historical resource, and its demolition and removal would result in potentially significant impacts. Such impacts are considered significant and unavoidable because they cannot be fully and effectively mitigated. CEQA requires that even where a significant and unavoidable adverse impact would occur, all feasible mitigation measures shall be required to lessen the severity of the significant impact. EIR Section 4.3, Historical Resources, discusses mitigation measures that would reduce but not eliminate the adverse impacts of the proposed project. Additional impacts to aesthetic resources, archaeological resources, biological resources, geology and soils, hydrology and water quality, air quality and greenhouse gases, hazards and hazardous materials, and noise were also identified but could all be reduced to levels that would be less than significant with implementation of identified mitigation.</p> <p>In addition to evaluating environmental impacts resulting from the proposed project, the EIR evaluated a range of project alternatives that could potentially avoid significant impacts while generally meeting the project objectives. The alternative that would most effectively reduce impacts while meeting project objectives is considered the "environmentally superior alternative." Alternative 1, Preservation, was determined to be the environmentally superior alternative because it would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources. However, the EIR also recognizes that preservation of the Connell House would be similar in architectural elements and features to original construction but not identical due to the deteriorated condition of the structure. Mitigation required for the Preservation and Original Construction alternatives is similar, given the condition of the structure. While the Preservation alternative is considered the environmentally superior alternative, it is the responsibility of the decision-making body to determine if a project alternative is feasible based on economic, legal, social, technological and other considerations. (CEQA Guidelines section 15093(a)(3).) Per Section 15093 of the State CEQA Guidelines, the decision-making body may elect to adopt a Statement of Overriding Considerations to approve the project as proposed, or may select an alternative, or a specified combination of particular elements identified in Chapter 5, Alternatives Analysis, as the approved project.</p> <p>CEQA requires that an EIR focus on determining the potentially significant adverse physical impacts to the environment that would occur as the result of implementing a project. Comments that merely express a project preference or opinion and do not relate to a potential physical impact to the environment or state a specific concern or question regarding the adequacy of the EIR in identifying and analyzing the environmental impacts of the proposed project do not require further response pursuant to State CEQA Guidelines Section 15204(a). However, all comments included in Chapter 9 of the EIR will be made part of the administrative record and provided to local decision makers for their consideration.</p>
MR-2	<p><i>Historical Resource</i></p> <p>EIR Section 4.3, Historical Resources, discusses the historical significance of the existing residence and documents that under State CEQA Guidelines Section 15064.5, the Connell House is considered a historical resource and is eligible for listing in the National Register of Historic Places (NRHP) and is listed in the California Register of Historical Resources (CRHR). The project proposes to demolish the Connell House, which would result in a substantial adverse change in the significance of a historical resource and cause a significant unavoidable environmental effect under CEQA.</p> <p>In January 2014, architectural historians Anthony Kirk and Barbara Lamprecht submitted a registration form to the U.S. Department of the Interior National Park Service (NPS) nominating the Connell House as eligible for listing in the NRHP. The authors proposed that the residence was eligible, at the local level of significance, under two requirements specified by NRHP Criterion C: as embodying the distinctive characteristics of a type, period, or method of construction—the</p>

**Response
No.****Master Response**

International Style, within the context of the development of Modern Architecture in Pebble Beach—and as the accomplished work of an acknowledged master, Richard Neutra.

The State Historic Resources Commission (SHRC) considered the nomination on April 22, 2014. The staff report notes that a letter of objection was on file from owner of the real property, Massy Mehdipour, Signal Hill LLC, stating that she objected to and did not consent to the listing. The SHRC recommended the State Historic Preservation Officer forward the nomination to the Keeper of the National Register of Historic Places for listing. The Keeper of the National Register of Historic Places granted the “Connell Arthur and Kathleen House” a Determination of Eligibility June 13, 2014. Although there are no specific guidelines for naming of historic residences, it is conventional in assigning historic designations to name a historic residence after the owner(s) who commissioned the house; a prominent owner associated with the residence’s period of significance; the historic or most familiar name of the residence (for example, the name used most frequently in local communities, local histories, or architectural journals), or the architect’s name. As a result of the NRHP eligibility determination, the property, under this name, was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1). (The Office later clarified that the letter contained a typographical error in referencing subdivision (a)(2) of section 4851, correcting it to subsection (a)(1).) A letter sent by the California State Historic Preservation Officer to the County of Monterey on July 11, 2014 noted that “a project that may cause substantial adverse changes in the significance of a registered property may require compliance with local ordinances or the California Environmental Quality Act.” The proposed demolition of the Connell House constitutes such a project under CEQA, and this EIR meets the requirements for CEQA.

Section 18.25.060.A of the Monterey County Code allows the Monterey County Historic Resources Review Board to initiate the designation of historical resources and the Board of Supervisors to designate an historic resource for inclusion in the Local Official Register of Historic Resources. However, section 18.25.060.A also states, “No property shall be designated pursuant to this Chapter without the consent of the property owner.” In this case, the property owner objects to the listing. To date, the County has not designated the Connell House as a historic resource for inclusion in the Local Register.

Whether the buyer was aware of Neutra’s association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document. The adequacy of the disclosure by seller to buyer is a matter between the parties to that transaction. This EIR discloses all pertinent information for the decision-makers to make a fully informed decision.

The house was issued a formal Determination of Eligibility by the Keeper of the National Register of Historic Places, and as a result of the NRHP eligibility determination, was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1). Therefore, whether the house was eligible for listing based on age is not at issue. The determination has already been made.

The mitigation measures proposed in the Draft EIR are based on the baseline condition, which represents conditions before the structure was modified due to vandalism and later stabilized via the Mothball Order. The current condition of the property was also considered in the EIR’s analysis of impacts and project alternatives. (See MR-4 regarding baseline and current condition terminology.)

The Secretary of the Interior’s Standards for the Treatment of Historic Properties, as amended and annotated, are bedrock guiding principles of historic preservation and include both prescriptive and proscriptive elements. A project that has been determined to conform with the Secretary of the Interior’s Standards for the Treatment of Historic Properties can generally be considered to be a project that will not cause a significant impact (14 CCR 15126.4(b)(1)). The Secretary of the Interior’s Standards for the Treatment of Historic Properties include preservation, rehabilitation,

**Response
No.**
Master Response

restoration, and reconstruction. These four treatment plans are not mutually exclusive; elements may be combined in a given project to address, for example, the preservation and restoration of existing architectural features and the reconstruction of missing features. Reconstructed features must be substantiated by documentary and physical evidence, not based on conjecture. In the case of the Connell House, there is sufficient primary-source documentation in the form of photographs, original architectural plans, architect-client correspondence, and other pertinent records to guide mitigation efforts.

Treatment Standards for Historic Buildings

Comments state that the preservation alternative is not possible or practical in reality, and that the house must be demolished due to its deteriorated state. Some comments state that any reconstruction would essentially be a replica; however, Section 5.4 of the EIR analysis specifically states that the term “preservation” is intended to refer generally to the retention and repair/reconstruction of the property such that it ultimately retains its historic integrity. As stated above, the four treatment plans (preservation, rehabilitation, restoration, and reconstruction), are not mutually exclusive. The Preservation alternative would correct existing damage to the Connell House by preserving, repairing, and replacing portions of the existing residence per Secretary of the Interior’s Standards for the Treatment of Historic Properties. Thus, preservation/rehabilitation/restoration/ reconstruction is possible and can be accomplished in a way that reduces historical impacts to less than significant even though many of the original elements will require replacement.

Standards for each of the four treatments are listed below. Treatment for the Connell House would involve a combination of these four standards, with restoration being the most closely followed. Restoration would involve retaining extant design elements; accommodating reconstruction of important missing elements; bringing the building up to code; and allowing it, when restored, to convey—in the most conservative, least destructive way possible—its significance as a Neutra-designed residence. The Secretary of the Interior’s Standards state that when the property’s design, architectural, or historical significance during a particular period of time outweighs the potential loss of extant materials, features, spaces, and finishes that characterize other historical periods, when there is substantial physical and documentary evidence for the work; and when contemporary alterations and additions are not planned, restoration may be considered as treatment.

Standards for Restoration

Restoration is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. The Restoration Standards allow for the depiction of a building at a particular time in its history by preserving materials, features, finishes, and spaces from its period of significance and removing those from other periods. These Standards are as follows:

1. A property will be used as it was historically or be given a new use that interprets the property and its restoration period.
 2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken.
 3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
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Response No.	Master Response
4.	Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.
5.	Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6.	Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.
7.	Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8.	Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9.	Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10.	Designs that were never executed historically will not be constructed.

Although the approach taken to implement the Preservation alternative may combine elements of any of the four sets of standards, restoration is considered the standard that would be most applicable due to the state of the property. This is true in both the baseline condition and the condition at the time of the DEIR.

Standards for Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. These Standards are as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Response No.	Master Response
10.	New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
	<p>Standards for Preservation</p> <p>Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. These Standards are as follows:</p>
	<ol style="list-style-type: none"> 1. A property will be used as it was historically or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken. 2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. 3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research. 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved. 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved. 6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture. 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used. 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
	<p>Standards for Reconstruction</p> <p>Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. (https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf). These Standards are as follows:</p>
	<ol style="list-style-type: none"> 1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property. 2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archaeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.

**Response
No.****Master Response**

3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

Reconstruction is different from the other treatments in that it is undertaken when there are often no visible historic materials extant or only a foundation remains. In the case of the Connell house, there are enough original materials remaining that the treatment under the Preservation alternative would more closely align with Restoration, which combines elements of Reconstruction and Rehabilitation.

NRHP Criteria Consideration for Reconstructed Properties

A reconstructed property—even when most or all of the fabric is not original—can nonetheless be eligible when it is accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan and when no other building or structure with the same associations has survived. All three of these requirements must be met.

1. "Reconstruction" is defined as the reproduction of the exact form and detail of a vanished building, structure, object, or a part thereof, as it appeared at a specific period of time. Reconstructed buildings fall into two categories: buildings wholly constructed of new materials and buildings reassembled from some historic and some new materials. Both categories of properties present problems in meeting the integrity requirements of the NRHP criteria.
2. The phrase "accurately executed" means that the reconstruction must be based upon sound archaeological, architectural, and historic data concerning the historic construction and appearance of the resource. That documentation should include both analysis of any above or below ground material and research in written and other records.
3. This consideration also stipulates that a reconstruction can qualify if, in addition to the other requirements, no other building, object, or structure with the same association has survived. A reconstruction that is part of a restoration master plan is appropriate only if:
 - 1) the property is the only one in the district with which a particular important activity or event has been historically associated; or
 - 2) no other property with the same associative values has survived.
 (https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_7.htm#critcone).

Per the structural evaluation completed for the project, restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction, but this work can be performed consistent with the Secretary of the Interior's standards in order to reduce the historic impacts to a less than significant level. The Preservation Alternative proposes retaining some original elements and replacing others in accordance with the Secretary of the Interior's standards. Specifically, some of the original materials can be incorporated into the reconstruction, including most portions of the foundation system, the lower level floor slab, most of the exterior stucco walls at the lower level and some at the upper level, structural roof framing, remaining original window frames, remaining original window frames, masonry fireplace, and first floor framing in the north wing. Reconstruction would require either removal or shoring of those elements in place, and other identified elements would be replaced with new materials.

The Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the

Response No.	Master Response
MR-3	<i>Property Rights</i>
	<p>severity of deterioration requires replacement rather than repair. The EIR states that “Neutra’s original building plans for the Connell House are extant and would provide the documentary evidence necessary for undertaking historically appropriate repairs and replacement of damaged or missing architectural elements, such as the upper-level floor system, cantilevered deck, and partition walls. Neutra’s selection of building materials for the construction of the Connell House – wood, glass, and stucco, for example – are still common building materials readily available.” Additionally, as discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, has the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship.</p> <p>Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource.</p> <p>As stated in the Draft EIR, the “substitution” of the proposed Legorreta residential design for Neutra’s Connell House is not an acceptable form of mitigation, inasmuch as the future historical significance of the new Legorreta design would be speculative.</p>
	<p>Several commenters have addressed the proposed project’s potential impact on the applicant’s property rights. Comments related to property rights are generally concerned with the taking of private property for public use without compensation, which is prohibited under the Fifth Amendment of the United States Constitution and Article 1, section 19 of the California Constitution.</p> <p>In addition, Monterey County Code section 20.02.040, applicable here because the property is in the coastal zone, provides that Title 20 (implementing a part of the County’s certified Local Coastal Program) “is not intended and shall not be construed as authorizing the County of Monterey, through the Board of Supervisors, Planning Commission, Zoning Administrator, Minor Subdivision Committee, Subdivision Committee or Director of Planning and Building Inspection, acting pursuant to this Title, to exercise its power to grant or deny a permit in a manner which will take or damage private property for public use without the payment of just compensation therefore.” (Title 20, section 20.02.040)</p> <p>The EIR is intended to evaluate the proposed project’s potential environmental impacts, not to assess its potential impact on property rights. Nevertheless, in deciding whether to approve the proposed project, local decision makers may consider not only the proposed project’s potential environmental impacts, but also the effect of the decision on property rights, and other issues outside the scope of the EIR. Consequently, comments related to property rights are included in the administrative record and provided to local decision makers for their consideration.</p>
MR-4	<i>Baseline</i>
	<p>Chapter 3 of the EIR describes the project area’s environmental setting and existing designated land use. State CEQA Guidelines section 15125 requires that the EIR describe from both a local and regional perspective the physical environmental conditions in the vicinity of the project as they exist at the time the notice of preparation (NOP) is published. The State CEQA Guidelines direct that the environmental setting normally constitutes the baseline physical conditions by which a lead agency determines whether an impact is significant.</p> <p>The established “baseline condition” of the Connell House incorporated in this EIR is not the original 1958 as-built condition of the residence. The environmental setting at the time the NOP for</p>

**Response
No.**

Master Response

the proposed project was published (February 17, 2015) is considered the environmental baseline for the analyses in the EIR for all issue areas. This is the standard CEQA procedure for the consideration of the potential environmental effects of a project on the existing environmental setting in an EIR.

Changes in conditions at the site and to the historic residence located at the project site occurred after the NOP was published, including dereliction, alleged vandalism, and partial destruction of the historic residence, resulting in various ongoing code enforcement actions by the County Code. Structure stabilization has since occurred as part of a "Mothball" Protective Plan required by the County.

These changing conditions do not typically require reevaluation of the potential physical adverse effects of a project on the environment, and the environmental baseline was not revised to account for the damage to and deterioration of the historic resource. However, the EIR notes the condition of the residence is very poor, and EIR Section 5.6.1.3 specifically identifies the number and type of elements that would need to be replaced with new materials under the Preservation alternative, many of which would be similar to original construction of the residence. Therefore, the EIR identified an environmental baseline based on conditions that existed at the time the NOP was issued.

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9.2 AGENCY COMMENT LETTERS AND RESPONSES

The following agencies have submitted comments on the Draft EIR.

Code	Respondent	Contact Information	Page
A1	State of California Governor's Office of Planning and Research, State Clearinghouse and Planning Unit Dated: October 15, 2018	1400 10th Street P.O. Box 3044 Sacramento, California 95812 <i>Scott Morgan, Director, State Clearinghouse</i>	9.2-2
A2	California Coastal Commission Central Coast District Office Dated: October 12, 2018	725 Front Street, Suite 300 Santa Cruz, CA 95060 <i>Brian O'Neill, Coastal Planner</i>	9.2-5
A3	Monterey Bay Air Resources District Dated: October 12, 2018	24580 Silver Cloud Court Monterey, CA 93940 <i>David Frisbey, Planning and Air Monitoring Manager</i>	9.2-11



EDMUND G. BROWN JR.
GOVERNOR

STATE OF CALIFORNIA
GOVERNOR'S OFFICE of PLANNING AND RESEARCH



KEN ALEX
DIRECTOR

October 15, 2018



Cheryl Ku
Monterey County
1441 Schilling Place - South, 2nd floor
Salinas, CA 93901

Subject: Signal Hill LLC (Mehdipour) PLN100338
SCH#: 2015021054

Dear Cheryl Ku:

The State Clearinghouse submitted the above named Draft EIR to selected state agencies for review. The review period closed on October 12, 2018, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Scott Morgan
Director, State Clearinghouse

A1.1

1400 10th Street P.O. Box 3044 Sacramento, California 95812-3044
1-916-322-2318 FAX 1-916-558-3184 www.opr.ca.gov

**Document Details Report
State Clearinghouse Data Base**

SCH# 2015021054
Project Title Signal Hill LLC (Mehdipour) PLN100338
Lead Agency Monterey County

Type EIR Draft EIR
Description Note: Review Per Lead

Combined development permit consisting of: 1) coastal administrative permit and design approval for the demolition of an existing 4,124 sf single family residence and the construction of a new three level 11,933 sf single family residence including an attached three-car garage, a 986 sf entry court, 106 sf of uncovered terraces, approx 2,600 sf of covered terraces, new driveway, and approx 2,040 cy of grading (1,210 cy cut/830 cy fill); 2) coastal development permit for development within 100 ft of environmentally sensitive habitat; development includes restoration of native dune habitat in dunes outside the building area; 3) coastal development permit for development on slopes exceeding 30%; and 4) coastal development permit for ridgeline development.

Lead Agency Contact

Name Cheryl Ku
Agency Monterey County
Phone 831-796-6049 **Fax**
email
Address 1441 Schilling Place - South, 2nd floor
City Salinas **State** CA **Zip** 93901

Project Location

County Monterey
City Pacific Grove
Region
Lat / Long 36° 34' 53" N / 122° 57' 56" W
Cross Streets Signal Hill Road / 17-Mile Drive (1170 Signal Hill Rd, Pebble Beach)
Parcel No. 008-261-007-000
Township **Range** **Section** **Base**

Proximity to:

Highways 1
Airports
Railways
Waterways Pacific Ocean
Schools Robert L. Stevenson
Land Use Low Density Residential, 1 Acre Minimum / LDR/1-D (CZ)

Project Issues Archaeologic-Historic; Biological Resources; Coastal Zone; Vegetation; Aesthetic/Visual; Air Quality; Drainage/Absorption; Geologic/Seismic; Noise; Soil Erosion/Compaction/Grading; Toxic/Hazardous

Reviewing Agencies Resources Agency; California Coastal Commission; Department of Fish and Wildlife, Region 4; Department of Parks and Recreation; California Highway Patrol; Caltrans, District 5; Resources, Recycling and Recovery; Regional Water Quality Control Board, Region 3; Native American Heritage Commission

Date Received 08/23/2018 **Start of Review** 08/23/2018 **End of Review** 10/12/2018

Note: Blanks in data fields result from insufficient information provided by lead agency.

**A1.1
(cont'd)**

9.2.1 Response to State of California Governor’s Office of Planning and Research, State Clearinghouse and Planning Unit

Comment No.	Response
A1.1	The County notes the State Clearinghouse (SCH) and Planning Unit’s receipt of the EIR. The letter confirms that no comments were received by the SCH from reviewing state agencies.

COMMENT LETTER #A2

STATE OF CALIFORNIA - NATURAL RESOURCES AGENCY

EDMUND G. BROWN, JR., GOVERNOR

CALIFORNIA COASTAL COMMISSION

CENTRAL COAST DISTRICT OFFICE
725 FRONT STREET, SUITE 300
SANTA CRUZ, CA 95060
PHONE: (831) 427-4863
FAX: (831) 427-4877
WWW.COASTAL.CA.GOV



October 12, 2018

Cheryl Ku
Monterey County Resources Management Agency
1441 Shilling Place
Salinas, CA 93933

Subject: Draft Environmental Impact Report (DEIR) for Signal Hill, LLC, SCH #2015021054

Dear Ms. Ku:

Thank you for forwarding the DEIR for Signal Hill, LLC to our office for review. The proposed project as we understand it would include demolition of an existing 4,125 square-foot residence and 2,825 of pavement; construction of a new 11,933 square-foot residence and 1,950 square-feet of pavement; and restoration of dune habitat at 1170 Signal Hill Road in Pebble Beach. The project would increase overall impervious residential development by approximately 2,895 square-feet. We are unable to determine whether other residential development; such as non-dune landscaping, impervious surfaces, or other areas where residential activities will be allowed; extend beyond the 10,008 square-feet of impervious surfaces identified in the project plans. The project site is within the County's CDP jurisdiction and within the Coastal Commission's CDP appeal jurisdiction (because the site is located between the first public road (Highway 1) and the sea). We have the following comments about the project with regard to impacts on Environmentally Sensitive Habitat Areas (ESHA) and visual resources, as discussed in more detail below.

A2.1

The subject property is located within the Del Monte Forest Land Use Plan (LUP) segment, which includes an extensive policy framework meant to protect the area's rich coastal resources, including through policies that protect ESHA, including categorically identifying coastal dunes as ESHA and specifically protecting the remnant dunes within Signal Hill. The LUP includes provisions that prohibit all land uses in ESHA that are not resource dependent (LUP Policy 8); prevent development that would significantly degrade habitat (LUP Policy 8); require minimization of habitat disturbance to that which is necessary to accommodate reasonable development (LUP Policy 14); require preservation of all remnant sand dunes in Signal Hill (LUP Policy 17); and require permanent protection of all ESHA on a project site (LUP Policy 13).

A2.2

The DEIR correctly recognizes that the entire parcel constitutes dune and wetland ESHA and further identifies the LUP Policies quoted above as applicable to the proposed project. Section 4.2.5.5 of the DEIR provides an analysis of the project's consistency with these policies, which appears to suggest that the project can be found consistent with the LUP for two reasons. First, the DEIR states that expansion of residential development will occur in dune areas that are more disturbed than the rest of the parcel, which will lessen the impact to ESHA. Second, the DEIR

A2.3

Cheryl Ku
 DEIR Signal Hill, LLC
 October 12, 2018
 Page 2

states the project includes restoration of remaining dune, which will mitigate for the expanded residential use. We disagree that these two factors make the project consistent with the LUP.

A2.3
 (cont'd)

The LUP does not provide for lesser degree of protection for dune ESHA based upon the condition of the dunes. The relative level of disturbance of the dunes has no bearing as to whether the LUP ESHA policies are only applicable to portions of a project site. If an area is identified as ESHA, and the DEIR correctly identifies that this project site is entirely dune ESHA, all LUP ESHA policies are applicable in the same manner to all areas of a project site. The proposed project will allow a new non-resource dependent use and lead to the permanent destruction of at least 2,895 square-feet of dune ESHA, which is firmly prohibited by LUP Policy 8. The project will also significantly extend the life of the existing 7,113 square-foot residential envelope that currently exists on the site and lead to increased residential impacts due to the larger overall size of the proposed residence.

A2.4

The DEIR suggests that this permanent loss of dune ESHA can be mitigated through restoration of the remainder of the parcel. Again, the LUP plainly prohibits the uses and disturbance proposed by the project. The LUP does not provide an exception to allow for expanded residential uses and the permanent loss of dune ESHA for projects that include mitigation. Moreover, LUP Policy 17 and Policy 13 already require permanent dune protection and preservation to offset the associated impacts of any development in or near ESHA. Such protections must be provided to allow for any project on the property and cannot be utilized to justify an expansion of a prohibited residential use.

A2.5

Additionally, the DEIR suggests that the project is consistent with LUP Policy 14, which requires development to be minimized as much as possible as necessary to accommodate reasonable development. We disagree that the 11,933 square-foot house and 10,008 square-foot residential envelope has been sufficiently minimized as necessary to accommodate reasonable development. In fact, the DEIR explores a number of various feasible alternatives that would result in a much smaller footprint that would be more consistent with this policy. In this particular case, there is already an existing house that provides the applicant with a reasonable economic use of the property. There is an argument that any increase in disturbance to dune ESHA could be found inconsistent with this policy.

A2.6

With respect to visual resources, the site is highly visible from 17 Mile Drive and public vantage points along the shoreline in the vicinity of Fan Shell Beach, and is located in an identified view area from 17 Mile Drive on the LUP Visual Resources map. Among other things, the LUP requires that "viewing areas identified on Figure 3 shall be protected as resources of public importance, and development that could adversely impact such views shall only be allowed where it protects, preserves, and if feasible enhances, such scenic resources." Section 4.1.5.1 of the DEIR states that the project as proposed will be noticeable from public viewing areas, draw visual attention due to its large size and angular shape, and will extend well above the ridgeline from various public viewing areas. Table 4.1-1 suggests that the project can be found consistent with LUP visual policies if the project is reduced in height, but does not provide necessary

A2.7

Cheryl Ku
DEIR Signal Hill, LLC
October 12, 2018
Page 3

evidence, such as revised visual simulations and construction of new story poles, to confirm that a revised project is consistent with these policies. We continue to have concerns regarding the impact of the height, mass, and bulk of the proposed project on visual resources.

A2.7
(cont'd)

In sum, we believe that the DEIR does not accurately analyze the LUP ESHA policies and we do not agree that the project as proposed can be found consistent with the LUP. We strongly suggest that the County and the applicant discuss this project with our office before finalizing the DEIR or approving the project. Thank you for considering our comments. If you have any questions or would like to discuss this issue further, please contact me at (831) 427-4863 or Brian.O'Neill@coastal.ca.gov.

A2.8

Sincerely,



Brian O'Neill
Coastal Planner

9.2.2 Response to California Coastal Commission, Central Coast District Office

Comment No.	Response
A2.1	The comment presented by the California Coastal Commission asks to clarify if other residential development would be allowed beyond the 10,008 square feet of impervious surface identified in the project plans. The total area of impervious surfaces would be 10,008 square feet, including the building structure (8,058 square feet), stone pavers installed in the entry court (986 square feet), stone pavers installed in the outdoor uncovered terraces (106 square feet), and concrete driveway (858 square feet). Non-dune landscaping was proposed as part of the project; however, mitigation measure BIO/mm-3.7 requires project landscape plans to be revised and resubmitted showing that all listed plant species are appropriate for the dune habitat in the Del Monte Forest area.
A2.2	This comment summarizes the policy framework for the Del Monte Forest Land Use Plan (LUP), including policies for protection of Environmentally Sensitive Habitat Areas (ESHAs). These policies are described in Table 4.2-3 of EIR Section 4.2, Biological Resources.
A2.3	This comment states that the California Coastal Commission disagrees with the Draft EIR's analysis regarding project consistency with the LUP and the project's impacts to ESHA. The EIR discloses in Section 4.2.5.5, Consistency with Local Plans and Policies, of EIR Section 4.2, Biological Resources, that the project is potentially inconsistent with policies for protecting ESHA and would potentially constitute an adverse physical effect on the environment resulting in a potentially significant impact. The EIR recognizes that the area being impacted is in a degraded condition and proposed project components include restoration and preservation of a much larger area of ESHA than the area that would be permanently disturbed. County staff took the California Coastal Commission staff's offer to meet and discuss. Because the developed area on the subject parcel is proposed to increase over existing conditions, the subsequent communications with California Coastal Commission led to an additional mitigation, BIO/mm-3.9 and BIO/mma-3.9.1, which further mitigates for permanent loss. The potentially significant impacts associated with potential policy inconsistencies are less than significant with the inclusion of mitigation measures BIO/mm-3.1 through BIO/mm-3.6, and BIO/mm-3.9, which would include (among other requirements) the permanent protection of 1.67 acres of restored dune habitat and offsite dune restoration (or in-lieu fee) within the Asilomar Dunes system.

Responsive edits to the EIR include the addition of BIO/mm-3.9 and BIO/mma-3.9.1 to the Executive Summary and Chapters 4 and 7:

"BIO/mm-3.9 Prior to the issuance of a building or grading permit, the applicant/owner shall submit to HCD-Planning for review and approval an offsite dune habitat restoration plan that provides for restoration of dune habitat within the Asilomar Dunes system at a ratio of 1:1 for any new dune habitat coverage over existing conditions (i.e. for any new areas of the site that are being converted from dune habitat to residential uses). The plan shall clearly identify each type of new dune habitat coverage (structural and non-structural) in site plan view with accompanying square footage calculations.

In lieu of providing for off-site dune habitat restoration, the applicant/owner may provide prior to permit issuance a dune restoration payment of \$2.40 per square foot, or the rate reflected in the current Fee Schedule for the Environmental Enhancement Fund, for the calculated square footage of new dune habitat coverage beyond existing conditions to be used for the sole purpose of financing dune habitat restoration and maintenance within the Asilomar Dunes system. The applicant/owner shall submit evidence of the calculation of square footage based on the construction permit design (anticipated to be equivalent to 7,840 square feet) and a receipt that indicates the total amount has been deposited into an interest-bearing account to be established and managed by one of the following entities as approved by the HCD-Planning Department: the City of Pacific Grove, Monterey County, or the California Department of Parks and Recreation. All of the funds and any accrued interest shall be used for the above-stated purpose.

BIO/mma-3.9.1 *If the applicant/owner opts to directly provide off-site dune habitat restoration, prior to issuance of construction permits, the applicant/owner shall provide to HCD-Planning for*

Comment No.	Response
A2.4	<p><i>review and approval the proposed restoration plan and the location and permissions required for it to be implemented. Prior to building final inspection, applicant/owner shall provide evidence to HCD-Planning for review and approval that the approved off-site restoration has been implemented by a County-approved biologist. If applicant/owner opts to pay in-lieu fees, prior to issuance of construction permits, the applicant/owner shall submit receipt(s) that reflect compliance with this measure.</i></p> <p>An additional responsive edit to the EIR was made in the BIO Impact 3 statement: <i>An offsite dune restoration (or in-lieu fee) in 1:1 ratio to the square feet of impervious surface added by the project further mitigates for impacts to ESHA.”</i></p> <p>This comment states that the proposed project would allow for the development of a non-resources-dependent use that would lead to the permanent destruction of ESHA, which is prohibited by LUP Policy 8. The EIR disclosed that the construction of the proposed residence and adjacent landscaping would result in the permanent loss of 0.39 acre of disturbed sand dune habitat, which is considered ESHA, potentially inconsistent with LUP Policy 8. However, the project would also restore and permanently conserve 1.67 acres of ESHA and mitigation has been identified to ensure the loss of 0.39 acre of ESHA would not disrupt or significantly degrade the habitat values of the remaining ESHA at the project site. Because of the currently degraded quality of the ESHA to be disturbed, and the benefit of permanent dune restoration activities that would occur on the remainder of the project parcel, which would benefit the quality of ESHA at the site in the short and long term, the EIR determined that the overall impact on ESHA would be less than significant with mitigation.</p> <p>Responsive edits to the EIR include the addition of BIO/mm-3.9 to the Executive Summary and Chapter 4. <u>Added to Section 4.2:</u> “Communications with the California Coastal Commission during the Public Draft review period and after indicated the need to add restoration of coastal dune habitat in proportion to the area of increased impervious surface associated with the project. Restoration is to be pursued in 1:1 ratio of square feet offsite within the Asilomar Dunes complex, or an in-lieu fee will be paid for a 1:1 ratio of square feet, to complete such restoration (refer to BIO/mm-3.9).”</p> <p>And, in the following paragraph:</p> <p>“and also through offsite dune restoration (or in-lieu fee) in 1:1 ratio to the square feet of increased impervious surface added by the project,” and “and BIO/mm-3.9,”</p>
A2.5	<p>This comment states that Policies 17 and 13 already require permanent dune protection and preservation to offset associated developments and require that these protections be provided but cannot justify an expansion of a prohibited residential use. The EIR discloses that project would result in the permanent loss of 0.39 acre of ESHA as a result of the expanded building footprint and adjacent landscaping. Mitigation measure BIO/mm-3.1 would require the protection of the 1.67 acres of restored ESHA in perpetuity through a deed restriction or permanent open space and conservation easement, consistent with LUP Policies 17 and 13. The EIR determined that the overall impact on ESHA, including impacts associated with the potential inconsistency with LUP Policy 17 and 13, would be less than significant with mitigation. See also A2.3.</p>
A2.6	<p>This comment states that the project would be inconsistent with LUP Policy 14, which requires native vegetation removal and land disturbance in proximity to ESHA to be minimized as much as possible to accommodate reasonable development. The proposed project has been sited and designed to maximize the use of the currently developed/disturbed portions of the parcel and to minimize disturbance of native dune habitat and the loss of ESHA. The proposed residence would result in the loss of 0.39 acre of disturbed sand dune habitat that is considered ESHA per applicable plans and policies. However, this area of ESHA is moderately to heavily disturbed and development of the project would not significantly degrade or interfere with the continuance of</p>

Comment No.	Response
A2.7	<p>restored ESHA in nearby and offsite areas, consistent with LUP Policy 14. Whether the project as proposed or an alternative is “reasonable development” within the meaning of policy is a determination for the decision maker, not an EIR determination.</p>
A2.7	<p>This comment raises concerns about the impact of the proposed project’s height, mass, and bulk on visual resources, noting that simulations showing the mitigated project were not provided in the EIR. Impacts to visual resources were evaluated in EIR Section 4.1, Aesthetic Resources, which determined the project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive. However, mitigation measures were identified to reduce potential impacts to scenic resources to less than significant, including the reduction in total height of the structure so it would not silhouette above the ridgeline. The required reduction in building height identified in Mitigation Measure AES/mm-1.1 is based on the average natural grade as defined in the project plan elevations dated October 21, 2011. Field measurements have identified the elevation above grade, at which the proposed structure would extend above the primary ridgeline, and Mitigation Measure AES/mm-1.1 would ensure the structure elevation stays below this threshold.</p> <p>The visual impacts of the Reduced Height Alternative were compared to the impacts of the proposed project in Chapter 5, Alternatives Analysis, of the EIR and included photo simulations of the Reduced Height Alternative. Although the Reduced Height Alternative does not reduce the total height of the structure to the extent required by Mitigation Measure AES/mm-1.1, the simulations indicate that potential impacts of the Reduced Height Alternative would be less than significant considering the minimal extent of the ridgeline and the limited extent of 17-Mile Drive within which ridgeline would occur. The proposed project would have a similarly less-than-significant impact on the surrounding ridgelines. Figures 5-9 through 5-23 show existing views, photo-simulations of the proposed project, and photo-simulations of the Reduced Height Alternative from the key viewing areas. Mitigation identified in EIR Section 4.1, Aesthetic Resources, is more stringent than the changes proposed in the Reduced Height Alternative and would further reduce potentially significant impacts.</p> <p>Because the proposed project includes construction of a 11,933 square foot residence, it can be misunderstood as fully visible mass and bulk from public viewpoints. Therefore, an edit has been made clarifying massing of the structure. The edit is in Chapter 2, sec. 2.3.1.2 to include the following sentence:</p> <p>“The massing of the house is composed to mask the lowest floor by avoiding vertical stacking. Figures 2-9 and 2-10, Project Elevations illustrate the impression of a two-story structure.”</p>
A2.8	<p>This comment summarizes the California Coastal Commission’s concerns regarding the project’s EIR analysis of LUP ESHA Policies and requests that the County and the applicant discuss the project with the Coastal Commission prior to finalizing. As recommended by this comment, Coastal Commission staff, the applicant, and County staff discussed the Coastal Commission’s concerns on a call on December 13, 2020. Subsequent to that call, the Coastal Commission staff agreed that a maximum 15% total coverage to 85% restoration with conservation easement and offsite restoration (or in-lieu fee) would be sufficient mitigation to align potentially significant impacts for reasonable consistency with LUP Policies for ESHA parcels zoned residential. Mitigation measure BIO/mm-3.9 was added to the EIR as a result of the discussion.</p>

COMMENT LETTER #A3

From: [David Frisbey](#)
To: [Ku, Cheryl x6049](#)
Cc: [Christine Duvmich](#); [Mike Sheehan](#); [Shawn Boyle](#); [Richard Stedman](#)
Subject: Comments on Signal Hill LLC, 1170 Signal Hill Road, Pebble Beach, CA 93953, Draft EIR
Date: Friday, October 12, 2018 3:01:49 PM
Attachments: [image003.png](#)
[MBARD_comments_Signal Hill LLC Combined Development Permit_Draft_EIR.PDF](#)

Dear Ms. Ku,

Please see the attached comment letter on Draft EIR for Signal Hill LLC. Thank you for the opportunity to comment on this project.

Best Regards,

David Frisbey, Planning and Air Monitoring Manager



Monterey Bay Air Resources District
24580 Silver Cloud Ct.
Monterey, CA 93940
Office: 831-647-9411; Direct: 831-718-8016
www.mbard.org



24580 Silver Cloud Court
Monterey, CA 93940
PHONE: (831) 647-9411 • FAX: (831) 647-8501

October 12, 2018

Cheryl Ku
Senior Planner
Monterey County Resource Management Agency - Planning
Salinas, CA 93901
Email: kuc@co.monterey.ca.us

Re: Signal Hill LLC, 1170 Signal Hill Road, Pebble Beach, CA 93953, Draft EIR

Dear Ms. Ku:

Thank you for providing the Monterey Bay Air Resources District (Air District) with the opportunity to comment on the above-referenced project. The Air District has reviewed the document and has the following comments:

Air Quality:

- **Fugitive Dust** (Pg. ES-30) - The Air District appreciates the inclusion of Best Management Practices and standard mitigation measures to reduce fugitive dust.
- **Public Nuisance** (Pg. ES-30) - In order to minimize potential public nuisance from fugitive dust and to maintain compliance with Air District Rule 402 (Nuisance), please provide the Air District with contact information for the responsible project staff that can immediately address any citizen complaints.
- **General** (Pg. ES-30, 3-10, 4.7-4, etc.) - Please correct the Air District agency name to consistently read *Monterey Bay Air Resources District (MBARD)* throughout the document.

A3.1

A3.2

Greenhouse Gases:

- **Construction Equipment** (Pg. ES-31) - The Air District was pleased at the proposed utilization of Best Management Practices and standard mitigation measures for reducing nitrogen oxides (NOx), reactive gases (ROG) and diesel particulate matter (DPM) emissions from construction equipment. In AQ/GHG/mm-1.2 section d. it states that "Diesel construction equipment meeting the California Air Resources Board Tier 1 emission standards shall be used. Equipment meeting California Air Resources Board Tier 2 or higher emission standards shall be used to the greatest extent feasible." Given the nearby proximity of residential and public land uses, the Air District recommends using cleaner than required construction equipment for the project. This includes equipment that conforms to ARB's Tier 4 emission standards. We further recommend that whenever feasible, construction equipment use alternative fuels such as compressed natural gas, propane, electricity or biodiesel. This would have the added benefit of reducing diesel exhaust emissions.

A3.3

Richard A. Stedman, Air Pollution Control Officer

- **Portable Construction Equipment** –Air District permits or registration with the California Air Resources Board (CARB) may be required for, portable construction equipment with engines 50 Hp or greater. Please contact the Air District’s Engineering Division at (831) 647-9411 if you have questions about permitting.
- **Tree Removal (Pg. 2-17)** - In the event the planned trees removed are disposed via wood chipping, please make sure to contact the Air District’s Engineering Division at (831) 647-9411 to discuss if a Portable Equipment Registration is necessary for the wood chipper being utilized for this project.

A3.4

A3.5

Hazards & Hazardous Materials:

- **Building Demolition / Renovation** (Pg. 2-5) – This project involves the demolition of an existing 1957 4,125 sq. ft. house or renovation of the 1957 4,125 sq. ft. house. Should any part of the house be demolished as part of this project, Air District rules may apply. These include Rule 424, National Emissions Standards for Hazardous Air Pollutants and Rule 439, Building Removals. Rule 424 contains the investigation and reporting requirements for asbestos which includes surveys and advanced notification on structures being renovated or demolished. Air District notification is required at least ten days prior to renovation or demolition activities.

A3.6

Trenching Activities - If old underground piping or other asbestos containing construction materials are encountered during trenching activities, Rule 424 could also apply. District Rule 439 prohibits the release of any visible emissions from building removals. Rules 424 and 439 can be found online at <https://www.arb.ca.gov/drdb/mbu/cur.htm>. Please contact Mike Sheehan or Shawn Boyle, at (831) 647-9411 for more information regarding these rules.

Best Regards,



Chris Duymich
Air Quality Planner

cc:
David Frisbey,
Michael Sheehan,
Shawn Boyle

Richard A. Stedman, Air Pollution Control Officer

9.2.3 Response to Monterey Bay Air Resources District

Comment No.	Response
A3.1	This comment recognizes the inclusion of Best Management Practices to reduce fugitive dust and requests the contact information for the responsible project staff that would be contacted to address any citizen complaints. This information required by Mitigation Measure AQ/GHG/mm-1.1 has been revised to include a requirement that the name of the contact person to be posted at the project site, also be provided to the Monterey Bay Air Resources District (MBARD) prior to issuance of demolition, grading, or construction permits.
A3.2	References to the Monterey Bay Unified Air Pollution Control District (MBUAPCD) have been changed to Monterey Bay Air Resources District (MBARD) throughout the EIR.
A3.3	AQ/GHG/mm-1.2 has been revised to require cleaner than required construction equipment for the project (construction equipment that conforms to CARB's Tier 4 emission standards) and, whenever feasible, use of alternative fuels.
A3.4	This comment references the CARB permitting requirements for portable construction equipment with engines 50 horsepower or greater. The potential need for MBARD permits for construction equipment is identified in EIR Section 2.4, Requested Action and Required Permits, of Chapter 2, Project Description. MBARD's Engineering Division will be notified by the applicant and/or the project contractor if construction equipment with engines 50 horsepower or greater are proposed for project construction.
A3.5	This comment is a request to contact MBARD's Engineering Division to discuss Portable Equipment Registration in the event a chipper is used for tree removal. No wood chipping is proposed, and a prohibition of wood chipping on-site in ESHA or proximate to ESHA has been added to Mitigation Measure BIO/mm-3.4. MBARD's Engineering Division will be notified by the applicant and/or the project contractor if an off-site chipper is proposed for tree disposal. Edit made in Chapter 4-2, Biological Impact 3 table: BIO/mm-3.4. Added the sentence, "No wood chipping shall be allowed onsite."
A3.6	This comment identified the potential for asbestos to be encountered during demolition and outlines applicable MBARD rules and notification requirements to MBARD prior to demolition. The potential for asbestos-containing material is discussed in EIR Section 4.7.3, Hazards and Hazardous Materials, which identified the potential for existing structures to contain asbestos-containing materials and/or hazardous building materials. Based on compliance with existing regulations, potential impacts would be less than significant. A specific reference to Rules 424 and 439 has been added to EIR Section 4.7.3.5, Impact Assessment and Mitigation Measures.

9.3 ORGANIZATION COMMENT LETTERS AND RESPONSES

The following non-agency organizations have submitted comments on the Draft EIR.

Code	Respondent	Contact Information	Page
O1	Fondation Strutt Foundation Dated: September 10, 2018	1 Henfield Avenue Ottawa ON Canada K2J 1T7 <i>Contact: Titania Truesdale, Managing Director</i>	9.3-2
O2	Iconic Houses Foundation Dated: September 21, 2018	<i>Ertskade 105 1019 BB Amsterdam The Netherlands Contact: Natascha Drabbe, Founding Director</i>	9.3-5
O3	Pasadena Heritage Dated: September 20, 2018	651 S. St. John Avenue Pasadena, CA 91105 <i>Contact: Susan N. Mossman, Executive Director Adam F. Rajper, Preservation Director</i>	9.3-8
O4	Monterey Bay Modernism Dated: October 11, 2018	mbaymod@gmail.com Contact: Karen E. Lesney, AIA assoc-e	9.3-11
O5	Alliance of Monterey Area Preservationists Dated: October 8, 2018	P.O. Box 2752 Monterey, CA 93942 <i>Contact: Nancy Runyon, President</i>	9.3-14
O6	Monterey Bay Modernism Dated: October 11, 2018	mbaymod@gmail.com <i>Contact: Karen E. Lesney, AIA assoc-e</i>	9.3-17
O7	Pacific Legal Foundation Dated: October 11, 2018	930 G Street Sacramento, CA 95814 <i>Contact: Timothy R. Snowball, Attorney</i>	9.3-20
O8	California Preservation Foundation Dated: October 12, 2018	5 3rd Street, Suite 424 San Francisco, CA 94103 <i>Contact: Jonathan Haerber, Field Services Director</i>	9.3-29

COMMENT LETTER #01

Emily Creel

From: Titania J Truesdale <titania@struttfoundation.ca>
Sent: Monday, September 10, 2018 7:44 PM
To: Emily Creel
Subject: Draft Environmental Impact Report: Connell House
Attachments: LetterRefConnellHouse.pdf

Ms Creel,

Please find attached a letter from the Strutt Foundation supporting the Planning Office's decision to preserve the 1957-58 Neutra designed Connell House.
The preservation of this home will contribute to the enrichment of the architectural and cultural heritage of the area.

Very Best Regards,
Titania

Titania Truesdale
Managing Director
613-612-1140
1 Henfield Ave.,
Ottawa ON K2J 1T7

www.struttfoundation.ca



September 10 2018

County of Monterey
 Resource Management Agency – Planning Department
 c/o Emily Creel, SWCA Environmental Consultants
 1422 Monterey Street, C200
 San Luis Obispo, CA 93401

Ref: Connell House, by Richard Neutra: 1170 Signal Hill Road, Pebble Beach, CA

Planning Officers of Monterey County,

The decision of the Historic Resources Review Board to affirm the heritage significance of the Connell House is applauded. On behalf of our Board of Directors at the Fondation Strutt Foundation, I am happy to take some time to congratulate you on taking the appropriate position, and understanding the extent of Neutra's influence on the Modernist Architecture of California, throughout the United States, North America, and beyond.

The description of the development of his body of work is perhaps best left to those scholars who have researched it extensively, but as a practicing Architectural Conservationist of Modernism, and with the clear acknowledgement that not all works are worth saving, the thought that someone would not recognize the importance of this Neutra work, and contemplate its destruction is saddening. Neutra was one of a select group of internationally critically acclaimed architects of the era who not only adopted the transition to International style modernism, but over the years adapted it to place. Neutra embraced the process of architectural design as a way to best address a specific program to site and climate, as well as striving to improve the inhabitants' physical and psychological wellbeing through the designed connection to nature (Neutra's "Nature Near" concept being a lesson still taught at schools of architecture today).

Additional to the Draft report finding that:

"Based on the alternatives analysis and comparison of impacts in Chapter 5, the Preservation Alternative is the Environmentally Superior Alternative. The Preservation Alternative would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources."

The Connell house is a wonderful physical artifact that embodies culturally intangible concepts, and should be maintained and preserved for the benefit of current and future generations.

Your decisions, and the recommendations, are applauded as a strong move towards securing an important legacy of architectural and cultural heritage.

Sincerely,

Titania Truesdale
 Managing Director
 Fondation Strutt Foundation

Fondation STRUTT Foundation
 1 Henfield Avenue, Ottawa ON Canada K2J 1T7
 www.struttfoundation.ca

O1.1

9.3.1 Response to Fondation Strutt Foundation

Comment No.	Response
O1.1	This comment supports the decision of the Historic Resources Review Board as well as the environmental superior alternative selected in the EIR. Please see MR-1 regarding project preferences and MR-2 regarding historical resources in Section 9.1, above. This comment does not identify additional environmental issues directly related to the adequacy of the EIR. The comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #02

Emily Creel

From: ICONIC HOUSES NETWORK <info@iconichouses.org>
Sent: Friday, September 21, 2018 5:27 AM
To: Emily Creel
Cc: "Černá, Iveta"; Janice Lyle; Waggoner, Lynda
Subject: Support letter to save the Connell House from demolition

Dear Ms Creel,

Please find attached our letter of support to save Richard Neutra's Connell House from demolition.

Sincerely,

Natascha Drabbe

Founding director [Iconic Houses Network](#)

O +31 (0)20 419 58 25 | M +31 (0)622 69 07 11

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Coming up next: [Eileen Gray's Villa E-1027: Restoring the House and Clarifying the Controversies](#)

Iconic Houses European Lecture Tour by Tim Benton in [Oslo](#), [Rotterdam](#), [Cologne](#), [Prague](#) and [Brno](#) 9-16 October 2018

ICONIC HOUSES is the international network connecting architecturally significant houses and artists' homes and studios from the 20th century that are open to the public as house museum. The platform also focuses on conservation, management, policy and cooperation.

ICONICHOUSES.ORG

County of Monterey: Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

Amsterdam, September 21, 2018

Re: Connell House

Dear Ms. Creel and members of the Committee for Historic Preservation,

ICONIC HOUSES is the international network connecting architecturally significant houses from the 20th century that are open to the public as house museums. The platform also focuses on conservation, management, policy, professional cooperation and supports icons that are at risk.

We are writing to you today to express our concern about the potential loss of the Connell House, 1170 Signal Hill Road, Pebble Beach.

From the early twentieth century, progressive and avant-garde architects sought radical solutions to the problem of how to live well in the modern age. Their experiments with space, light, color, materials, construction techniques, and emerging technologies were highly influential, shifting perceptions of what the modern house or home might be. Since the late 1980s, organizations such as Docomomo and more recent initiatives such as the Conserving Modern Architecture Initiative (Getty Conservation Institute), Keeping it Modern (Getty Foundation), and Modernism at Risk (World Monuments Fund) have sought to support the conservation of modern buildings, including modern houses.

02.1

Richard Neutra's legacy is without doubt of the same historic importance as that of other Modern masters, such as innovators like Frank Lloyd Wright, Rudolph Schindler, John Lautner and the like. Our foundation's board agrees with the Environmental Impact Report by the Planning Office of Monterey County's conclusion that the Richard Neutra designed 1958 Connell House should be preserved. It should not be torn down in order to build a much larger residence in nearby Pebble Beach. We support the EIR's conclusion that: "Based on the alternatives analysis and comparison of impacts in Chapter 5, the Preservation Alternative is the Environmentally Superior Alternative."

02.2

The Connell House was deemed eligible for the National Register of Historic Places and is on California's historic register. It is one of the few Neutra designs in Northern California and the only one in Monterey County.

02.3

For the sake of preserving your region's finite architectural heritage for the next generation, we respectfully urge the committee to use the full extent of its authority to prevent unnecessary loss of this house.

02.4

Sincerely, on behalf of the Board, Iveta Černá, Director Villa Tugendhat, Janice Lyle, Director Sunnylands Center & Gardens, Lynda Waggoner, Director Emerita of Fallingwater,

Natascha Drabbe M.A.
Founding Director Iconic Houses Foundation

ICONICHOUSES.ORG Erskade 105 1019 BB Amsterdam The Netherlands +31 6 22 69 07 11 info@iconichouses.org

9.3.2 Response to Iconic Houses Foundation

Comment No.	Response
O2.1	This comment is an opening remark by the Iconic Houses expressing concern over the loss of an architecturally significant home. Please refer to MR-2 regarding historical resources.
O2.2	This comment expresses support for the Preservation alternative. Please refer to MR-1 regarding project preferences.
O2.3	This comment is in reference to the house's eligibility for listing under the National Register of Historic Places. Please refer to MR-2 regarding historical resources.
O2.4	This comment summarizes the Iconic House's concern over the loss of an architecturally significant home. The comments do not require changes to the environmental documents; however, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #03

From: Adam Rajper
To: [Ku, Cheryl.v6049](mailto:Ku.Cheryl.v6049)
Cc: cegarcomments; Sufe Mossman
Subject: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Monday, September 24, 2018 1:54:36 PM
Attachments: [PH - Connell House.pdf](#)

Dear Cheryl:

I am attaching a letter from Pasadena Heritage regarding the Connell House.

Sincerely yours,

Adam Rajper
Preservation Director



651 S. St. John Avenue | Pasadena, CA 91105
T. 626-441-6333 ext 19 | arajper@pasadenaheritage.org
[website](#) | [email](#) | [facebook](#) | [twitter](#) | [flickr](#) | [join now](#)



651 SOUTH ST. JOHN AVENUE
PASADENA, CALIFORNIA 91105-2913

P 626.441.6333 F 626.441.2917
WWW.PASADENAHERITAGE.ORG

September 20, 2018

Cheryl Ku, Senior Planner
Monterey County, Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, California 93901

RE: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054

Dear Ms. Ku:

Pasadena Heritage appreciates the opportunity to submit this letter regarding the Richard Neutra-designed Connell House in Pebble Beach. As one of the oldest 501(c)(3) non-profit historic preservation organizations in Southern California and the second largest in the state, we are deeply concerned about the neglect and proposed demolition of this highly significant and irreplaceable part of California history.

Pebble Beach is fortunate to be the location of this home. Modern architecture in the Bay Area owes much to Neutra, and it would be most tragic to lose the Connell House, the only remaining example of this master's work in Monterey County.

Pasadena Heritage urges you to do everything in your power to prevent further neglect and demolition of the 1958 Connell House, which is listed in the California Register of Historical Resources and considered an historical resource pursuant to CEQA. We also request to be notified of all public hearings on this property. Notifications can be sent to arajper@pasadenaheritage.org.

Thank you for considering our concerns.

Sincerely yours,

Susan N. Mossman
Executive Director

Adam F. Rajper
Preservation Director

O3.1

PRESERVATION | ADVOCACY | EDUCATION

9.3.3 Response to Pasadena Heritage

Comment No.	Response
O3.1	This comment by Pasadena Heritage expresses concerns over the proposed demolition of the subject property and summarizes their support for the Preservation alternative. Please refer to MR-1 regarding project preferences and MR-2 regarding historical resources. The comments do not require changes to the environmental documents; however, the comments will be made part of the administrative record and provided to local decision makers for their consideration. The comment also requests notifications for future hearings. Pasadena Heritage has been added to the County's contact list for the proposed project.

COMMENT LETTER #04

Emily Creel

From: karen Lesney <mbaymod@gmail.com>
Sent: Thursday, October 04, 2018 4:11 PM
To: Carl Holm
Cc: ceqacomment@co.monterey.ca.us; Ku, Cheryl x6049; Emily Creel
Subject: DRAFT EIR comments page omission

Dear County of Monterey
Re: APN 008-261-007-000

I am sure this is just an oversight and in the interest of fairness regarding public background information related to this parcel, please add the following link on the original architect for this parcel:

Article on Richard Neutra
<https://www.architecturaldigest.com/gallery/richard-neutra-slideshow/all>

to your page on the Signal Hill LLC/Mehdipour
<http://www.co.monterey.ca.us/government/departments-i-z/resource-management-agency-rma-/planning/current-major-projects/signal-hill-llc-mehdipour>

Thank you
karen

karen e LESNEY : assoc AIA-E
mbm : monterey bay modernism
Think before you print.

O4.1

9.3.4 Response to Monterey Bay Modernism

Comment No.	Response
O4.1	This comment requests that the County add the following link to the County's project website: https://www.architecturaldigest.com/gallery/richard-neutra-slideshow/all . County staff reviewed the article and decided to add the slideshow of the article to the project webpage. No environmental issues related to the adequacy of the EIR were identified, and no other changes are necessary.

COMMENT LETTER #05

From: [Nancy Runyon](#)
To: [ceqacomments](#); [Ku, Cheryl x6049](#)
Cc: [ecreeel@swca.com](#); [James Perry](#); [JamesCameron Perry](#); ["Jeffrey Becom"](#); [Jim McCord](#); ["Johnoneil"](#); ["Judy MacClelland"](#); [Luana Conley](#); [Mimi Sheridan](#); [Raymond Neutra](#); ["Robin Aeschliman"](#); ["Salvador Munoz"](#)
Subject: CEQA Comments on Draft EIR for PLN 100338; SCH #2015021054; The Connell House
Date: Tuesday, October 9, 2018 5:57:28 PM
Attachments: [AMAP comment DEIR Connell 10.8.18.pdf](#)

Dear Ms. Ku,
Please find attached the DEIR comments on PLN 100338, The Connell House, from the Alliance of Monterey Area Preservationists.
I have sent an original copy to you by regular mail.
Thank you,

Nancy Runyon, President
Alliance of Monterey Area Preservationists
website: www.amap1.org
P.O. Box 2752, Monterey, CA 93942
phone: 831-649-8132
email: nancy@nancyrunyon.com



Alliance of Monterey Area Preservationists

Board of Directors

- Nancy Runyon, President
- James McCord, Vice President
- Judy MacClelland, Secretary
- James Perry, Treasurer
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- Jeffrey Becom
- Luana Conley
- Salvadore Munoz
- Raymond Neutra
- John O'Neil
- Mimi Sheridan

October 8, 2018

Cheryl Ku, Senior Planner
 Monterey County, RMA---Planning
 1441 Schilling Place, 2nd Floor
 Salinas, CA 93901

Re: CEQA Comments on Draft EIR for:
 Signal Hill, LLC (Mehdipour) PLN 100338; SCH #2015021054 "The Connell House"

Dear Senior Planner Ku,

The Alliance of Monterey Area Preservationists (AMAP) has reviewed the Draft Environmental Impact Report on 1170 Signal Hill, Pebble Beach, known as the "Arthur and Kathleen Connell House", and strongly supports **Alternative 1. Preservation**. Preservation was also determined by the DEIR to be the Environmentally Superior Alternative. No other alternative analyzed is appropriate for this property.

O5.1

The Connell House is listed on the California Register of Historic Resources, was found eligible for the National Register of Historic Places under Criterion C--- **Architecture**, and is the pictured example of "International Style" in the Pebble Beach Historic Context Statement (page 127). It was designed by world renowned architect, Richard Neutra, FAIA, specifically for its site, to blend into the dunes visually subordinate to the great natural resources of its location. The Connell House is one of the few Richard Neutra residences that still remain. The loss of this important historic resource would be felt world-wide; therefore its demolition could not be mitigated.

O5.2

This property was purchased by the applicant Ms. Mehdi-pour in 2004. She has stated that it was in bad shape at that time but rented it out for 3 years before moving family members into it. The most severe damage to the historic structure seems to have occurred after she applied to demolish it to build a new home in 2010. Ms. Mehdi-pour has received County violations and citations for her lack of proper care and protection of the house and the environmentally sensitive dunes habitat. The California Environmental Quality Act states in Chapter 1: Policy § 21000. LEGISLATIVE INTENT, (e) "**Every citizen has a responsibility to contribute to the preservation and enhancement of the environment.**" The owner should restore and repair the Connell House using the Secretary of Interior Standards as it is a designated California Historic Resource.

O5.3

The California Environmental Quality Act (CEQA) states in Chapter 1: Policy § 21000. LEGISLATIVE INTENT, “ (g) It is the intent of the Legislature that all agencies of the state government which regulate activities of private individuals, corporations, and public agencies which are found to affect the quality of the environment, shall regulate such activities so that major consideration is given to preventing environmental damage... And § 21001. ADDITIONAL LEGISLATIVE INTENT states: “The Legislature further finds and declares that it is the policy of the state to:

- a) Develop and maintain a high-quality environment now and in the future, and **take all action necessary to protect, rehabilitate, and enhance the environmental quality of the state.**”
- b) Take all action necessary to provide the people of this state with clean air and water, enjoyment of **aesthetic, natural, scenic, and historic environmental qualities**, and freedom from excessive noise

O5.4

Any demolition of the Connell House will violate the intent of CEQA and cause irreparable damage to citizens of California, the nation, and the world. Monterey County must not permit it.

The proposed replacement house, according to the DEIR (5.6.4.1 Aesthetic Resources), appears four times larger than the existing home. The Connell House has increased in value since the owner’s purchase in 2004 and the much larger home proposed clearly demonstrates that no financial hardships need be considered. If the current owner of the Connell House prefers to build a different house---they could choose a different site.

O5.5

The Alliance of Monterey Area Preservationists concludes that the Draft EIR thoroughly examined the alternatives, potential environmental impacts and possible mitigations. AMAP agrees with its conclusion that Alternative 1: Preservation is the Environmentally Superior Alternative and anything less than Preservation would be in violation of California Environmental Quality Act.

O5.6

Sincerely,

Nancy Runyon

Nancy Runyon, President
Alliance of Monterey Area Preservationists

AMAP, a 501(c)3 corporation dedicated to the appreciation and preservation of the Monterey Area’s historic assets for public benefit, supports activities that interpret and share our rich cultural heritage with residents and visitors and encourages them to be advocates for ideas that contribute to the understanding of our cultural, ethnic, artistic, & architectural legacy.

Post Office Box 2752, Monterey CA 93942 831-649-8132 info@amap1.org

9.3.5 Response to Alliance of Monterey Area Preservationists

Comment No.	Response
O5.1	The comment provided by the Alliance of Monterey Area Preservationists expresses support for the Preservation alternative. Please refer to MR-1 regarding project preferences.
O5.2	This comment is in reference to the house's eligibility for listing under the National Register of Historic Places. Please refer to MR-2 regarding historical resources. The comment also asserts that loss through demolition of the house could not be mitigated. The EIR determined that demolition of the residence would result in significant and unavoidable impacts, consistent with this comment, in Section 4.3.5.1, The Connell House, of EIR Section 4.3, Historical Resources. No changes to the EIR are necessary.
O5.3	This comment raises concerns about the deteriorating condition of the project at the time of purchase by the applicant and thereafter, and references code enforcement actions against the project applicant related to the condition of the residence and activities conducted on-site. Please refer to MR-4 regarding baseline conditions. The comment accurately quotes language from CEQA and states a preference for restoration and repair of the residence. Please refer to MR-1 regarding project preferences.
O5.4	This comment quotes the legislative intent for CEQA as stated in Section 21000 of the California Public Resource Code and asserts that demolition of the Connell House would violate the intent of CEQA, and cause irreparable damage to the public. While the quotation is correct, CEQA does not prohibit the approval of a project that has significant unavoidable impacts if specific economic, social or other considerations make infeasible mitigation measures or project alternatives and the decision maker finds that the benefits of the project outweigh its unavoidable adverse environmental effects. (Public Resources Code section 21002; CEQA Guidelines sections 15091 and 15093.) Also, the comment does not address the adequacy of the EIR. The EIR concluded that demotion of the Connell House would be a significant unavoidable impact under CEQA that cannot be fully mitigated. The decision whether to approve the project (or a project alternative) considering both this fact and potential overriding considerations is left to local decision makers. Please refer to MR-1 regarding project preference.
O5.5	This comment asserts that the value of the Connell House has increased since the owner's purchase in 2004 and that any financial hardships to the applicant should not be considered in selecting an alternative. Under CEQA, a project's economic effects are not treated as effects on the environment unless they are "related to a physical change" in the environment. (Cal. Code Regs., tit. 14, §§ 15358(b), 15131(a).) Hence, the comment neither addresses the EIR's adequacy nor requires that it be changed. The decision whether to approve the project (or a project alternative) considering potential environmental impacts, as well as economic and social considerations, is left to local decision makers. The comment also asserts that if the applicant wants to build a different house, they should choose a different site. There are no similar lots under the applicant's ownership and control that could have been analyzed as viable project alternatives in the EIR.
O5.6	This comment summarizes the Alliance of Monterey Area Preservationists support for the Preservation alternative and asserts that any other decision would be in violation of CEQA. Please refer to MR-1 regarding project preferences. The comment does not require changes to the environmental documents; however, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #06

From: [karen_lesney](#)
To: [Ku, Cheryl x6049](#)
Subject: DRAFT EIR Response Letter : 1170 Signal Hill Road Pebble Beach : PLN 100338
Date: Thursday, October 11, 2018 9:08:07 PM
Attachments: 2018_ kelesney_ DRAFT EIR Response Letter to MoCo_ Signal Hill Connell House_ Cheryl Ku.pdf

Please find the attached letter from mbm.
Thank you.

karen e LESNEY : assoc AIA-E
mbm : monterey bay modernism
Think before you print.



October 11, 2018

Cheryl Ku, Senior Planner
Monterey County, Resource Management Agency: Planning Department
1441 Schilling Place, 2nd Floor Salinas, CA 93901

Re: **Signal Hill EIR Draft Report**
1170 Signal Hill Road Pebble Beach : PLN 100338

Dear Cheryl Ku,

This letter is written on behalf of Monterey Bay Modernism in SUPPORT of the executive summary conclusion to the recent Draft EIR - Environmental Impact Report by the Planning Office of Monterey County for the existing Signal Hill residence and its environs along with implementation of CEQA Mitigation Monitoring and Reporting Program.

The report rejects the request to demolish the existing historic landmark residence known as the Connell House (1959) by Richard Neutra:

"Based on the alternatives analysis and comparison of impacts in Chapter 5, the **Preservation Alternative is the Environmentally Superior Alternative**. The Preservation Alternative would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources."

In addition, the referenced Pebble Beach Historic Context Statement (2013) on p 11 quotes the Monterey County Historic Preservation Ordinance (Chapter 18.25) with "11. The promotion of public awareness of the benefits of preservation and the encouragement of public participation in identifying and preserving historical and architectural resources thereby increasing community pride in the County's cultural heritage."

This architectural relevance of the residence is further supported in the report on p 115 by:

"Other notable modernist works in Pebble Beach include the Arthur Connell house at 1170 Signal Hill Road, built in 1958. Designed by master architect Richard Neutra, it appears to be an extremely rare example of an International style residence in Pebble Beach."

Of equal merit to this discussion is that the house was deemed eligible in 2014 for the National Register of Historic Places and is on California's Historic Register. This midcentury residence is the only one by master architect Richard Neutra in Monterey County and remains an important contribution to our local architectural legacy. To quote the late midcentury master Jerrold E Lomax FAIA, "Neutra had such an influence on California architecture. It should be preserved."

Granting approval for demolish it would set an uneasy precedent that the Monterey County Historic Preservation Ordinance can be ignored without recourse. Accountability resides with ownership and that is where the executive summary conclusion finds itself standing beside truth.

MBM requests to be notified of all future public hearings on this property.

Sincerely,
Karen E. Lesney, AIA assoc-e
Monterey Bay Modernism
mbaymod@gmail.com
<http://montereybaymodernism.blogspot.com>

O6.1

O6.2

O6.3

O6.4

9.3.6 Response to Monterey Bay Modernism

Comment No.	Response
O6.1	The comment provided by Monterey Bay Modernism expresses support for the Preservation alternative and implementation of the MMRP, and rejection of the proposed demolition of the Connell House. Please refer to MR-1 regarding project preferences.
O6.2	This comment provides a reference to the Pebble Beach Historic Context Statement and Monterey County Historic Preservation Ordinance regarding the subject property's architectural relevance. Please refer to MR-2 regarding historical resources.
O6.3	This comment references the house's listing on the CRHR and eligibility for listing under the National Register of Historic Places and states a preference for preservation. Please refer to MR-1 regarding project preferences and MR-2 regarding historical resources. The comment further asserts that demolition of the residence would set a precedent in conflict with the Monterey County Historic Preservation Ordinance. The comments do not require changes to the environmental documents; however, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
O6.4	Monterey Bay Modernism requests to be notified of all future public hearings regarding the project. Monterey Bay Modernism has been added to the County's contact list for the proposed project.

COMMENT LETTER #07

From: [Timothy R. Snowball](mailto:Timothy.R.Snowball)
To: VandeverEK@co.monterey.ca.us; ceacocomments
Cc: [Getzelman, Paul C.](mailto:Getzelman_Paul_C_@ambrizana1@gmail.com); ambrizana1@gmail.com; mydiehl@mindspring.com; mduflock@gmail.com; enonzalezr56@gmail.com; [Mendoza, Francisco Javier; PadillaCI@co.monterey.ca.us](mailto:Mendoza_Francisco_Javier_PadillaCI@co.monterey.ca.us); andyroberts@vmail.com; [Wizard, Jonathan; Ku, Cheryl x6049; acreef@swca.com](mailto:Wizard_Jonathan_Ku_Cheryl_x6049@acreef@swca.com)
Subject: Comments regarding EIR for 1170 Signal Hill Road
Date: Thursday, October 11, 2018 2:25:02 PM
Attachments: [PLF Signal Hill Cmmt Ltr..pdf](#)

Hello,

Please find **Pacific Legal Foundation**'s comments regarding the Environmental Impact Report for **1170 Signal Hill Road**, Pebble Beach, CA 93953.

Regards,

Timothy R. Snowball | Attorney
Pacific Legal Foundation
930 G Street | Sacramento, CA 95814
916.419.7111





October 11, 2018

Chairman Keith Vandevere
Monterey County Planning Commission
1441 Schilling Place
Salinas, CA 93901

Via email: Chairman Keith Vandevere
(VandevereK@co.monterey.ca.us)
CEQA Comments
(ceqacomment@co.monterey.ca.us)

Re: EIR for 1170 Signal Hill Road

COMMENTS

Dear Chairman Vandevere:

Pacific Legal Foundation (PLF) is the oldest public interest law firm dedicated to defending individual rights in private property in the United States. Widely recognized as the top property rights watchdog, PLF is active in litigation at all levels of state and federal judiciaries. We are writing to provide our analysis of the Environmental Impact Report (EIR) for 1170 Signal Hill Road, Pebble Beach, California 93953.

07.1

Specifically, troubling constitutional issues associated with the “environmentally superior alternative” of restoring the current dilapidated structure. In our view, this alternative involves possible violations of the First and Fifth Amendments to the United States Constitution.¹

Property Rights

One of the bedrock principles upon which this country was founded was respect for and protection of private property rights.² Private property serves two related functions in our society. First, as “powerful inducement[s] for the creation of wealth and prosperity,” and second for the preservation of individual liberty.³ As such, the Framers of the U.S. Constitution included several provisions aimed squarely at protecting individual property rights. These include the Contracts Clause,⁴ Due Process Clause,⁵ and the

07.2

¹ These comments are submitted on behalf of Pacific Legal Foundation only. We are not representing the affected property owners.

² Stuart Bruchey, *The Impact of Concern for the Security of Property Rights on the Legal System of the Early American Republic*, 1980 Wisc. L. Rev. 1135, 1136 (“Perhaps the most important value of the Founding Fathers of the American constitutional period was their belief in the necessity of securing property rights.”).

³ James W. Ely Jr., *Property Rights in American History*, 2008 Vanderbilt University, 1.

⁴ See U.S. Const. art. I, § 10, cl. 1.

⁵ See U.S. Const. amend. V.

Chairman Keith Vandever
 October 11, 2018
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Takings Clause.⁶ Relatedly, the Framers' conception of "property" extended beyond real property or physical assets. According to James Madison, "As a man is said to have a right to his property, he may be equally said to have a property in his rights."⁷ For this reason, the Framers also included other specific protections, including the right to free expression.⁸

Historical Designations

The widespread push for and acceptance of historical designations on the barest grounds is a relatively recent phenomenon. The earliest efforts at private historical preservation in the United States occurred in the obviously justifiable cases of preserving Independence Hall,⁹ President Washington's estate at Mount Vernon,¹⁰ and various Civil War battlefields.¹¹ The government-fueled historical preservation movement did get into full swing until the mid-twentieth century.¹² Soon, federal, state, and local governments were utilizing their "police powers" to amend zoning laws to designate specific buildings.¹³ Before long these designations swept entire neighborhoods and districts into their fold.¹⁴ The United States Supreme Court's decisions in *Village of Euclid v. Ambler Realty Co.*¹⁵ and *Berman v. Parker*¹⁶ opened the historic designation floodgates.¹⁷ In 1965, New York became the first city to pass a full-blown "comprehensive landmark and

O7.2
 (cont'd)

⁶ *Id.*

⁷ James Madison, *Property*, 29 Mar. 1792 Papers 14:266–68, available at <http://press-pubs.uchicago.edu/founders/documents/v1ch16s23.html>.

⁸ See U.S. Const. amend. I.

⁹ Nathan Weinberg, *Preservation in American Towns and Cities*, 20 (1979).

¹⁰ J. Morrison, *Historic Preservation Law* 2–3 (1965).

¹¹ Christopher J. Duerksen & David Bonderman, *Preservation Law: Where It's Been, Where It's Going*, in *A Handbook on Historic Preservation Law* 1, 2 (C. Duerksen ed., 1983).

¹² David B. Fein, Note, *Historic Districts: Preserving City Neighborhoods for the Privileged*, 60 N.Y.U. L. Rev. 64, 72–73 (1985).

¹³ *Id.*

¹⁴ *Id.* at 74.

¹⁵ 272 U.S. 365 (1928).

¹⁶ 348 U.S. 26 (1954).

¹⁷ Duerksen & Bonderman, *supra* n.11, at 7.

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historic district plan,¹⁸ with the federal government quickly following suit.¹⁹ Currently, all 50 states have some form of historic designation legislation affecting the private property rights of Americans.²⁰

The Fifth Amendment

The Fifth Amendment to the United States Constitution²¹ prohibits private property from being taken by government for public use without the owner being paid just compensation.²² In *Penn Central Transportation Co. v. City of New York*,²³ the United States Supreme Court established the legal test for determining when a regulation affecting real property is a taking of private property requiring compensation to the owner. In *Penn Central*, the Court held a regulatory taking is determined by considering (1) the economic impact of the regulation on the landowner, (2) the interference with the landowner's investment-backed expectations, and (3) the character of the governmental action.²⁴ These factors are "designed to allow careful examination and weighing of all the relevant circumstances." *Tahoe-Sierra Pres. Council v. Tahoe Reg'l Planning Agency*, 535 U.S. 302, 322 (2002) (internal quotation marks and citations omitted). The historical designation, and possible requirement that the current dilapidated structure at 1170 Signal Hill Road be restored, would open the door for a textbook regulatory taking claim on behalf of Ms. Mehdipour.

First, the economic impact of restoring the current dilapidated structure on Ms. Mehdipour would be extensive. The costs of the full restoration/rebuild contained in the top recommendation in the EIR would be an estimated \$7,000,000. This amount does not include the cost of satisfying the building codes applicable to this near total rebuild. This amount is a full \$1,000,000 over the estimated final value of the total property (land and home) after a full restoration.

07.2
(cont'd)

07.3

07.4

¹⁸ Fein, *supra* n.12, at 74.

¹⁹ See National Historic Preservation Act of 1966, 16 U.S.C. § 470, *et seq.*

²⁰ Albert H. Manwaring, Note, *American Heritage at Stake: The Government's Vital Interest in Interior Landmark Designations*, 25 New Eng. L. Rev. 291, 299 (1990).

²¹ Which is incorporated against the states through the operation of the Fourteenth Amendment. See *Chicago, Burlington & Quincy Railroad Co. v. City of Chicago*, 166 U.S. 226 (1897).

²² See U.S. Const. amend. V.

²³ 438 U.S. 104 (1978).

²⁴ *Id.* at 124.

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Next, a requirement to restore the current dilapidated structure would interfere with Ms. Mehdipour's investment-backed expectations. Ms. Mehdipour purchased this property for \$3,400,000 in 2004 with the specific intention of tearing down the nondescript current structure, which at that time was already a state of disrepair and neglect, and replacing it with a new home that would not only be more aesthetically pleasing, but would more naturally blend with the surroundings and would restore the local native dune habitat. She notified the former owners of this intention. Ms. Mehdipour commissioned Ricardo Legorreta, a world-renowned architect from Mexico City and winner of the AIA Gold Medal, the UIA Gold Medal, and the Praemium Imperiale. Once complete, Ms. Mehdipour expects the property and home to be worth an estimated \$15,000,000. This represents a difference of \$9,000,000 worth of interference with Ms. Mehdipour's investment backed expectations, based on the estimated value of the total property (land and home) after a full restoration.

07.5

Finally, the character of the possible governmental action in this situation would be highly suspect. Up until 2010, this particularly neglected structure did not hold a place of special historical significance in the eyes of the County. Not only was the building purportedly ill-designed from its inception, but even lacks any significant hallmarks or distinct features tied to its architect. It was only due to the age of the building being over 50 years old that prompted the initial inquiry. Had Ms. Mehdipour immediately requested a permit to tear down and replace the structure when originally purchased in 2004, when the building was 44 years old, its purported historical significance would likely never have been at issue.

07.6

As it currently stands (or sits partially collapsed), the current structure at 1170 Signal Hill Road is a health and safety hazard to the local community, without even factoring in the property rights of Ms. Mehdipour. Surely there is also a community interest in seeing the parcel developed by a world famous architect. The alternative, demanding that the current dilapidated structure be restored, would be to unconstitutionally take Ms. Mehdipour's property requiring just compensation be paid to her by the County. This does not include the costs to the County in attendant litigation fees, and the negative public relations implications of such a course.

07.7

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The First Amendment

The County's actions also raise potential First Amendment concerns. Architecture represents three important forms of constitutionally protected expression—art, self-expression, and symbolic expression.²⁵ Indeed, architecture is uniquely important because of its “central role in our daily lives,” where it serves as a “public art form and is enjoyed as such.”²⁶

The structure at 1170 Signal Hill Road cannot simply persist in its current, dilapidated state. The current draft EIR suggests that government can require a landowner to invest the resources necessary to restore a property—to the tune of nearly \$7,000,000. But requiring a landowner to repair property due to the wishes of the government to preserve supposedly artistically significant architecture is tantamount to compelling her to subsidize speech desired by the government. Forcing individuals to use their private property as a “billboard for the State’s ideological message” is impermissible compelled expression.²⁷

Similarly, the requirement that Ms. Mehdipour retain the existing structure necessarily infringes her ability to construct a structure that represents her desired artistic architectural expression. As noted above, Ms. Mehdipour sought the services of a world-renowned architect and commissioned work designed to this particular piece of property. As the final work of Mr. Legorreta, the work represents an artistic piece of architecture of substantial significance. Ms. Mehdipour has invested resources and is committed to completing an artistically significant piece of architecture. The draft EIR will prevent Ms. Mehdipour in engaging in her preferred type of symbolic expression on her private property. The courts have recognized the “special respect for individual liberty in the home” that makes restrictions on the ability to speak there especially suspect.²⁸

07.8

07.9

²⁵ See Note, *Architecture, Aesthetic Zoning, and the First Amendment*, 28 Stan. L. Rev. 179, 181 (1975); see also Annette B. Kolis, *Architectural Expression: Police Power and the First Amendment*, 16 Urban L. Annual 273, 277 (1979) (hypothesizing that there may be a First Amendment right to freedom of architectural expression).

²⁶ *Leicester v. Warner Bros.*, 232 F.3d 1212, 1217 (9th Cir. 2000) (quoting H.R. Rep. 101-735 (Sept. 21, 1990)).

²⁷ See *Wooley v. Maynard*, 430 U.S. 705 (1977) (striking down requirement that all noncommercial vehicles bear license plates with the motto “Live Free or Die”).

²⁸ *City of Ladue v. Gilleo*, 512 U.S. 43, 58 (1994).

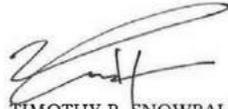
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Conclusion

To reiterate, the historical designation at issue in this case, and related possible recommendation that the current dilapidated structure be fully restored, would likely result in violations of both the First and Fifth Amendments to the United States Constitution. Thank you for taking the time to consider our views as you consider this EIR. If you have any questions regarding this analysis, please feel free to contact Timothy R. Snowball at Pacific Legal Foundation by telephone at (916) 503-9034 or by email at TSnowball@pacificlegal.org.

07.10

Sincerely,



TIMOTHY R. SNOWBALL
Attorney



JEREMY TALCOTT
Attorney

cc: Paul C. Getzelman, Vice-Chair (GetzelmanPC@co.monterey.ca.us)
Ana Ambriz, Member (ambrizanal@gmail.com)
Martha Diehl, Member (mvdiehl@mindspring.com)
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Cosme Padilla, Member (PadillaC1@co.monterey.ca.us)
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Jon Wizard, Member (wizardj@co.monterey.ca.us)
Cheryl Ku, Senior Planner (kuc@co.monterey.ca.us)
Emily Creel, Consultant, SWCA Environmental Consultants (ecreel@swca.com)

9.3.7 Response to Pacific Legal Foundation

Comment No.	Response
O7.1	This comment summarizes the Pacific Legal Foundation’s background in protecting individual rights in private property and contends that the Preservation alternative “involves potential First and Fifth Amendment violations.” The EIR’s selection and description of an alternative is distinct from the decision of the County whether to approve a project or an alternative to the project. The EIR is an informational document, not a decision affecting property rights. Please refer to MR-3 regarding property rights. The comment does not relate to the EIR’s analysis of environmental impacts; therefore, no changes to the environmental document are necessary.
O7.2	This comment provides commenter’s summary and view of legislation and judicial opinions relating to property rights, historical designations, and taking of private property in the United States. The comment does not relate to environmental issues or analyses in the EIR; therefore, no changes to the environmental document are necessary.
O7.3	This comment suggests that the historic designation and possible restoration requirements of the currently dilapidated subject property would “open the door to” a regulatory taking. Please refer to MR-3 regarding property rights. Additionally, the historic designation of the subject property was the result of a separate process conducted by the NPS completely outside of the control of Monterey County. Resources found to be eligible for listing on the National Register of Historic Places (National Register) are automatically eligible for listing in the California Register of Historical Resources (CRHR) and are considered “historical resources” for the purposes of CEQA. Refer to MR-2 regarding historical resources. The identification of feasible alternatives is required by CEQA and the EIR, in compliance with CEQA, disclosed feasible mitigation measures and alternatives to the proposed project that would reduce or avoid potentially significant impacts to the historic resource. The EIR’s determination of feasibility of an EIR alternative does not preordain the decision on the project, as the County’s determination as to feasibility of project alternatives may include broader considerations, including economic, legal, social, technological or other considerations (CEQA Guidelines section 15093(a)(3)). Additionally, although the residence is currently dilapidated, the environmental baseline for purposes of EIR analysis was the condition of the residence at the time of issuance of the NOP. Please refer to MR-4 regarding the environmental baseline. No changes to the EIR are necessary, but two edits were made to Chapter 05, Alternatives Analysis, to clarify that economic feasibility was not identified as a constraint. The following sentence was added to section 5.4, Preliminary Analysis: <p>“It should also be noted that economic feasibility was not identified as a constraint to development of any of the identified alternatives, primarily based on a comparison of likely costs associated with construction and maintenance of the proposed 11,933-square-foot residence. Economic impacts and cost justifications are not considered environmental effects under CEQA, except as economic effects may be relevant to the physical changes caused by economic effects of a project. (CEQA Guidelines section 15131.)”</p>
O7.4	This comment provides a purported cost estimate for restoration of the subject property. Under CEQA, a project’s economic effects are not treated as effects on the environment unless they are “related to a physical change” in the environment. (Cal. Code Regs., tit. 14, §§ 15358(b), 15131(a).) Hence, the comment neither addresses the EIR’s adequacy nor requires that it be changed. The decision whether to approve the project (or a project alternative) considering potential environmental impacts, as well as economic and social considerations, is left to local decision makers. The comment will be made part of the administrative record and provided to local decision makers for their consideration. See also the responsive edit described above in O7.3.
O7.5	This comment states that the requirement to restore the subject property would further interfere with the applicant’s investment-backed expectations. Please refer to MR-3 regarding property rights. This comment does not address the adequacy of the EIR. The decision whether to approve the project (or a project alternative) considering its potential significant impacts, overriding considerations, social and economic impacts, and any possible legal exposure, is left to local decision makers. Consequently, it does not require changes to the environmental document.

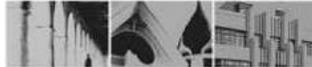
Comment No.	Response
	Nevertheless, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
O7.6	This comment raises concerns over the project's designation as a historical resource. Please see MR-2 regarding historical resources.
O7.7	This comment asserts that preservation would be an unconstitutional taking of the applicant's property, requiring just compensation from the County. Please see MR-3 regarding property rights.
O7.8	This comment relates to the First Amendment and the applicant's right to expression in the form of architecture and asserts that the Preservation alternative would equate to impermissible compelled expression. This comment does not address the adequacy of the EIR. Consequently, it does not require changes to the environmental document. The decision whether to approve the project (or a project alternative) considering its potential significant impacts, overriding considerations, social and economic impacts, and any possible legal exposure, is left to local decision makers. The comment will be made part of the administrative record and provided to local decision makers for their consideration.
O7.9	This comment asserts that denying the applicant the ability to construct the Legorreta design infringes on her ability to construct a structure that represents her artistic architectural expression. This comment does not address the adequacy of the EIR. Consequently, it does not require changes to the environmental document. The decision whether to approve the project (or a project alternative) considering its potential significant impacts, overriding considerations, social and economic impacts, and any possible legal exposure, is left to local decision makers. The comment will be made part of the administrative record and provided to local decision makers for their consideration.
O7.10	This comment provides a conclusion about the potential violation of the applicant's First and Fifth Amendments rights to the U.S. Constitution. Please see MR-3 regarding property rights. This comment does not address the adequacy of the EIR. Consequently, it does not require changes to the environmental document. The decision whether to approve the project (or a project alternative) considering its potential significant impacts, overriding considerations, social and economic impacts, and any possible legal exposure, is left to local decision makers. The comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #08

From: Jonathan Haeber
To: ceqacomments; Ku, Cheryl x6049
Cc: Nancy Runyon; Raymond Neutra; ecreel@swca.com; Cindy Heitzman; Andrew Shaffer
Subject: Comments for DRAFT EIR FOR SIGNAL HILL LLC (MEDHIPOUR) PLN100338, SCH # 2015021054
Date: Friday, October 12, 2018 2:55:01 PM
Attachments: image002.png
image003.png
image004.png
image005.png
image006.png
image007.png
image008.png
2018-10-12_ConnellHouse-Neutra.pdf

Dear Ms. Ku,
Please find attached a comment letter from the California Preservation Foundation RE: the Connell House (PLN100338).

Regards,
Jon Haeber
Field Services Director



**CALIFORNIA
PRESERVATION
FOUNDATION**
5 Third Street, Suite 424 | San Francisco, CA 94103
415.495.0349 x201 p | 510.387.8273 m | 415.495.0265 f



*"In the end, our society will be defined not only by what we create,
but by what we refuse to destroy." – John Sawhill*



October 12, 2018

Cheryl Ku, Senior Planner
Monterey County, Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

539th STREET, SUITE 424
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94103-3205

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CPF@CALIFORNIAPRESERVATION.ORG
WWW.CALIFORNIAPRESERVATION.ORG

RE: DRAFT EIR FOR SIGNAL HILL LLC (MEDHIPOUR) PLN100338, SCH # 2015021054

Dear Ms. Ku,

I am writing on behalf of more than 15,000 members and supporters of the California Preservation Foundation to concur with the findings of the Draft EIR prepared by SWCA for the Connell House (1958), a Master work of architecture, designed by Richard J. Neutra.

The California Preservation Foundation (CPF) is a membership-based organization whose mission is to "provide statewide leadership, advocacy and education to ensure the protection of California's diverse cultural heritage and historic places." Since 1977, the CPF has assisted thousands of individuals and organizations in their efforts to protect historic and cultural resources throughout California.

Qualified architectural historians from SWCA have identified Alternative 1 (Preservation) as the Environmentally Superior Alternative. We agree with these experts' conclusions, and we encourage the County and applicant to consider the rarity and value of retaining the only Neutra-designed building in Monterey County, as well as the only Neutra design sited adjacent to the Pacific Coast.

The Connell House's significance, both locally and nationally, has already been established when it was determined eligible for listing in the National Register and was listed as a historic resource on the California Register of Historic Resources. The loss of this unique resource would follow a number of other recent losses of Neutra-designed architecture, including the Maslon House and the Cyclorama Building. As Richard Neutra's architect son, Dion stated, "It would be a great tragedy to lose the only authentic Richard Neutra design in all of Monterey County. The Connell House is irreplaceable."

In reviewing the case and the Draft EIR, the California Preservation Foundation wants to make a few points abundantly clear:

Poor Condition Does Not Equate to Poor Integrity

Historic Integrity is defined by the National Park Service as the ability of a structure or site to convey its significance through seven aspects (Materials, Feeling, Association, Design, Workmanship, Location, and Setting). By all accounts, and as reiterated in the Draft EIR, the Connell House retains exceptional Historic Integrity to continue to be eligible for listing in the National Register, despite its deteriorating condition.

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O8.1

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Andrew Mariani, Sanoma

Greg Mix, Danville

Deborah Rosenthal, Esq., Costa Mesa

Bill Schaeffer, Napa

EXECUTIVE DIRECTOR

Cindy L. Heltzman

O8.2

O8.3

Infeasible Mitigation: Replacing a historic residence with a residence designed by a notable architect

We agree with the conclusion of the DEIR that the replacement of the Connell House by a residence designed by another notable architect "does not constitute mitigation that can be considered in the EIR to reduce significant and unavoidable impacts to the Connell House." For over 40 years, the California Preservation Foundation has been actively involved in the protection of historic and cultural resources in California. We are not aware of any precedence for acceptance of this argument to mitigate impacts from demolition to a level of less than significant. Though there are many examples of sensitive additions to historic buildings, the argument that the demolition of one work of great architecture in place of another cannot be supported.

O8.4

The DEIR consultant has presented a cogent explanation of the reasons why this is an infeasible mitigation. Simply put: you cannot determine the *historic context and significance* of a structure that has not been built. What remains clear and undisputed is Richard Neutra's status as a master architect, his contributions to 20th century architecture and the historic significance of the Connell House by virtue of its inclusion on the California Register of Historic Resources and its eligibility for inclusion on the National Register of Historic Places.

O8.5

Cumulative Effects

Section 15355 of the CEQA Guidelines state that cumulative effects include "two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts." The guidelines further state that, "Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time."

O8.6

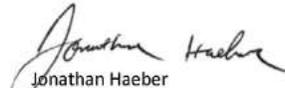
When applied to Neutra's architecture in California, the cumulative effect of losing the few remaining examples of his work (namely the Largent House of San Francisco, Maslon House of Rancho Mirage, and structures on the Orange Coast College campus of Costa Mesa) amount to a significant effect vis-à-vis the Connell House.

Neutra called himself a "biorealist," a philosophy which extended to the built environment when he conceived structures that integrated the human relationship with natural surroundings. As Neutra scholar, Barbara Lamprecht has noted, "Neutra truly did walk sites at night, dragging his clients through brush... because 'architecture wasn't supposed to be just for the everyday moments in life, but the honeymoon moments as well.'"

O8.7

Recognizing the Connell House for its rare qualities, and given its rapidly deteriorating condition, we hope the County and applicant will recognize the urgency of protecting this unique treasure of Monterey County, California, and the country. It is a building that any owner should be proud to carry forward as a legacy to future generations.

Sincerely,



Jonathan Haeber
Field Services Director

Cc: Emily Creel, SWCA Environmental Consultants
Association of Monterey Area Preservationists

9.3.8 Response to California Preservation Foundation

Comment No.	Response
O8.1	The comment provides background on the California Preservation Foundation and expresses support for the identification and selection of the Preservation alternative as the environmentally superior alternative. Please refer to MR-1 regarding project preferences.
O8.2	The comment references the residence's eligibility for listing under the National Register of Historic Places and irreplaceable nature of the Connell House. Please refer to MR-2 regarding historical resources.
O8.3	This comment references the historical integrity of the subject property and asserts that poor condition does not equate to poor integrity. The comment provides the NPS's definition of historic integrity, consistent with the definition used in the EIR. Please refer to MR-2 regarding historical resources.
O8.4	This comment references infeasible mitigation discussed in Section 4.3.5, Impact Assessment and Mitigation Measures, of EIR Section 4.3, Historical Resources, namely replacement of the Connell House by a residence designed by another notable architect. The comment concurs with the analysis in the EIR; therefore, no changes to the environmental document are necessary. Please refer to MR-2 regarding historical resources.
O8.5	This comment references the historical significance of the subject property. Please refer to MR-2 regarding historical resources.
O8.6	This comment discusses the potential for cumulative impacts to occur as a result of the proposed project and asserts the cumulative loss of Neutra's work would be significant. Section 4.3.6, Cumulative Impacts, of EIR Section 4.3, Historical Resources, identified a significant and unavoidable cumulative impact to historical resources would result from the proposed project, consistent with this comment; no changes to the EIR are necessary.
O8.7	This comment summarizes the California Preservation Foundation's support for the Preservation alternative and notes the urgency of protecting the historic resource. The comment does not require changes to the environmental document; however, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

9.4 GENERAL PUBLIC COMMENT LETTERS AND RESPONSES

The following members of the general public have submitted comments on the Draft EIR.

Code	Respondent	Contact Information	Page
P1	Anne Fougeron, FAIA Dated: September 10, 2018	Fougeron Architecture 521 Francisco Street San Francisco, CA 94133 anne@fougeron.com	9.4-9
P2	Jonathan Pearlman Dated: September 10, 2018	ELEVATIONarchitects 1159 Green Street, Suite 4 San Francisco, CA 94109 jonathan@elevationarchitects.com	9.4-11
P3	Russell Quacchia Dated: September 10, 2018	moiraq@aol.com	9.4-15
P4	Louis O. Roberts, Architect Dated: September 11, 2018	louisroberts@pacbell.net	9.4-17
P5	Paul M. Wolff, Professor Emeritus Dated: September 11, 2018	School of Architecture & Environmental Design Cal Poly State University, San Luis Obispo pwolff@calpoly.edu	9.4-19
P6	John Bertram Dated: September 14, 2018	Bertram Architects 673 N Berendo Street Los Angeles CA 90004 john@bertramarchitects.com	9.4-21
P7	Gabriele Mary Ann Schicketanz, AIA MB Board Member, LEED Dated: September 14, 2018	Studio Schicketanz P.O. Box 2704 Carmel, CA 93921 maryann@studioschicketanz.com	9.4-23
P8	Elizabeth A. Powell Dated: September 15, 2018	molaboop@gmail.com	9.4-25
P9	Sharon M. Russell, PhD Dated: September 16, 2018	s.m.russ930@gmail.com	9.4-27
P10	Barton Myers, FAIA Dated: September 18, 2018	b_myerssb@bartonmyers.com	9.4-29
P11	Ted Wells Dated: September 18, 2018	Ted Wells Living : Simple LLC ted@tedwells.com	9.4-31
P12	Sally Aberg Dated: September 19, 2018	forthecolors@comcast.net	9.4-35
P13	Catherine Rose Ettinger Mc Enulty, Full Profesor, Faculty of Architecture Dated: September 19, 2018	Universidad Michoacana de San Nicolás de Hidalgo Ciudad Universitaria Morelia, Michoacán, México creetingerm@gmail.com	9.4-40
P14	John W Linnert, AIA Dated: September 19, 2018	jwlaia@gmail.com	9.4-43

Code	Respondent	Contact Information	Page
P15	Dion Neutra, Architect, AIA, FISD Dated: September 19, 2018	Dion Neutra, Inc. aka Richard and Dion Neutra, Architects and Associates 2440 Neutra Place Los Angeles, CA 90039 dion@neutra.org	9.4-45
P16	Susan G. Rosen Dated: September 19, 2018	susangrosen@sbcglobal.net	9.4-47
P17	Mark Rozzo Dated: September 19, 2018	markrozzo@me.com	9.4-49
P18	Howard Barnett Dated: September 20, 2018	howardrbarnett@yahoo.com	9.4-51
P19	Mark Beall, Landscape Architect Dated: September 20, 2018	Mark Beall + Associates 7033 W Sunset Blvd, Suite 216 Los Angeles, CA 90028 info@mbeall.com	9.4-53
P20	Michael Blatt Dated: September 20, 2018	FUNG+BLATT ARCHITECTS Inc. 3927 N. Figueroa Street Los Angeles CA 90065 michael@fungandblatt.com	9.4-55
P21	José Vela Castillo, PhD Architect Dated: September 20, 2018	IE School of Architecture and Design Campus de Santa Cruz la Real Cardenal Zúñiga 12 40003 Segovia, Spain jvela@faculty.ie.edu	9.4-57
P22	Ellen P. Clarkson Dated: September 20, 2018	Pacific Grove, CA 93950	9.4-59
P23	Chris Drayer ASLA, Landscape Architect Dated: September 20, 2018	3104 Redwood Street San Diego CA 92104 chrisdrayer@cox.net	9.4-61
P24	Brian Glagola Dated: September 20, 2018	Monterey County, CA brianglagola@outlook.com	9.4-63
P25	Dennis Hill Dated: September 20, 2018	Dennis Hill Content Creation creator@dennishill.com	9.4-66
P26	Morgan Sykes Jaybush, LEED AP, Director of Hospitality Projects Dated: September 20, 2018	Omgivning 724 S. Spring St., Suite 501 Los Angeles, CA 90014 morgan@omgivning.com	9.4-68
P27	Linda V. Kade, AIA, Senior Associate Dated: September 20, 2018	Marx Okubo Associates, Inc. 444 Spear Street, Suite 205 San Francisco, CA 94105 linda_kade@marxokubo.com	9.4-70
P28	Carol Soucek King, MFA, PhD Dated: September 20, 2018	60 El Circulo Drive Pasadena, CA 91105 kingcarol@aol.com	9.4-72
P29	Austin McCormack Dated: September 20, 2018	austinmccormack@aol.com	9.4-74

Code	Respondent	Contact Information	Page
P30	Stephen A. Montgomery Dated: September 20, 2018	2115 1st Street Bakersfield CA 93304 samonty@pacbell.net	9.4-76
P31	Ron Nestor, AIA, LEED AP, NCARB, Senior Principal Dated: September 20, 2018	WHA Inc. 2850 Red Hill Ave. Suite 200 Santa Ana, CA 92705 ronn@whainc.com	9.4-78
P32	Nancy Oliver Dated: September 20, 2018	147 Belvedere Ave. San Carlos, CA 94070 nlo147@earthlink.net	9.4-80
P33	Linda Provance Dated: September 20, 2018	Monterey County, CA linda9019@comcast.net	9.4-82
P34	Elizabeth Smalley, MD Dated: September 20, 2018	e-smalley@sbcglobal.net	9.4-85
P35	Bill Wolpert, Architect Dated: September 20, 2018	7 Fourth Street, Studio 61 Petaluma, CA 94952 wolpert@sonic.net	9.4-87
P36	Arturo Fribourg, Architect, Artist Dated: September 21, 2018	fribourgarch@gmail.com	9.4-89
P37	Catherine Mahon Dated: September 21, 2018	Palm Springs, CA camahon@aol.com	9.4-91
P38	Bridget McCormick Dated: September 21, 2018	philosophia1021@gmail.com	9.4-93
P39	Kent L. Seavey Dated: September 23, 2018	310 Lighthouse Avenue Pacific Grove, CA 93950 klseavey@sbcglobal.net	9.4-95
P40	Oliver Dawson Dated: September 23, 2018	odawson@sympatico.ca	9.4-98
P41	James and Nadene Ivens September 23, 2018	651 Sinex Ave Pacific Grove, CA 93950	9.4-100
P42	Melissa Michelson Dated: September 23, 2018	821 Winthrop Drive Alhambra, CA 91803	9.4-102
P43	Dion Neutra Dated: September 23, 2018	dion@neutra.org	9.4-105
P44	Daniela de Sola Dated: September 24, 2018	desola.barnes architects P.O. Box 223386 Carmel, CA 93922 dani@desolabarnes.com	9.4-107
P45	Stephen & Thalia Lubin, Architects Dated: September 24, 2018	11 Palm Circle Woodside, CA 94062 thalia@stlubin.net	9.4-109
P46	Raymond Neutra Dated: September 24, 2018	raymondneutra@gmail.com	9.4-111

Code	Respondent	Contact Information	Page
P47	Samantha Rose, Designer Dated: September 24, 2018	TEF Design 1420 Sutter Street San Francisco, CA 94109 samantha@TEFarch.com	9.4-118
P48	Daryl Hawkins, AIA Dated: September 25, 2018	JHW Architects, Inc 2400 Garden Road, Suite C Monterey, CA 93940 drayl@jhwarch.com	9.4-120
P49	Anita Madison Dated: September 25, 2018	Seaside, Monterey County, CA ajmadison@sbcglobal.net	9.4-123
P50	Raymond Richard Neutra MD Dr.PH Dated: September 25, 2018	aymondneutra@gmail.com	9.4-126
P51	Robyn G. Peterson Dated: September 25, 2018	16750 Lake Knoll Parkway Riverside, CA 92503	9.4-131
P52	Tony Agosta Dated: September 26, 2018	Pacifica, CA tony@agostainsurance.com	9.4-133
P53	Alan Hess, Architect Dated: September 26, 2018	4991 Corkwood Lane Irvine, CA 92612 alanhes@gmail.com	9.4-135
P54	Mark McLarry, CEO Dated: September 26, 2018	mark@myyardlive.com	9.4-137
P55	Frederick Noyes FAIA, LEED AP Dated: September 26, 2018	Frederick Noyes • Architects 41 Powell Street Brookline, MA 02446 fnoyes@aol.com	9.4-139
P56	Thomas Williams Dated: September 26, 2018	San Carlos, CA tcwilliams@gmail.com	9.4-143
P57	William West Clark, Jr. Dated: September 27, 2018	williamwestclarkjr@gmail.com	9.4-145
P58	Fidel Fernandez Dated: September 27, 2018	fidelfernandez495@hotmail.com	9.4-150
P59	Richard N Janick Dated: September 27, 2018	rjanick@mpc.edu	9.4-153
P60	Tom Kundig, FAIA, RIBA, Principal/Owner Dated: September 27, 2018	OLSON KUNDIG 159 South Jackson Street, Suite 600 Seattle, WA 98104 laureng@olsonkundig.com	9.4-155
P61	Ken Curtis Dated: September 28, 2018	651 Sinex Avenue Pacific Grove, CA 93950	9.4-158
P62	Pete D'Errico Dated: September 28, 2018	Redwood City, CA pt49rl@gmail.com	9.4-162
P63	Bill Brosseau Dated: September 29, 2018	2814 Raccoon Trail Pebble Beach, CA 93953 bill@brosseauwines.com	9.4-164

Code	Respondent	Contact Information	Page
P64	Margaret Jimenez Dated: September 29, 2018	2992 Cormorant Road Pebble Beach, CA mkjimenez@aol.com	9.4-166
P65	Dennis Chambers Dated: October 1, 2018	Dennis Chambers Inc. 225 Crossroads Blvd. Suite 378 Carmel, CA 93923 dennis-chambers@outlook.com	9.4-168
P66	Heather Roberts Dated: October 1, 2018	225 Crossroads Blvd., Suite #378 Carmel, CA 93923 heather@herinc.co	9.4-171
P67	Ben Rogan Dated: October 1, 2018	Boston, MA ben@highlanddevelopment.net	9.4-174
P68	Bill Bernstein, Architect Dated: October 2, 2018	1725-C Abbot Kinney Blvd. Venice, CA 90291 bbaia@ca.rr.com	9.4-177
P69	Lawrence Samuels Dated: October 2, 2018	26765 Paseo Robles Carmel, CA 93923 lawsamz@gmail.com	9.4-181
P70	Lyn Nelson Dated: October 3, 2018	Half Moon Bay, CA lyngolfs@gmail.com	9.4-183
P71	Lynn Pigott Dated: October 3, 2018	1017 Broncho Road Pebble Beach, CA 93953 lpgolfer@aol.com	9.4-187
P72	Joy Robinson Dated: October 3, 2018	Pebble Beach, CA joyx007@yahoo.com	9.4-189
P73	Gary W. Sackett Dated: October 3, 2018	Sackett Corporation 105 Mirasol Court Monterey, CA 93940 sackettcorp@sackettcorp.com	9.4-191
P74	Thomas Saxby, Architect Dated: October 3, 2018	910 Santa Clara Avenue Alameda, CA 94501 tsaxby@tsaxbyarchitect.com	9.4-194
P75	Sarah Brady Dated: October 4, 2018	Los Angeles, CA ssbradydesigns@me.com	9.4-196
P76	Emily Burt Dated: October 4, 2018	San Carlos, California ekburt@gmail.com	9.4-199
P77	Michael Clair Dated: October 4, 2018	Pebble Beach, CA 93953 mike.clair@comcast.net	9.4-201
P78	Audrey MacLean Dated: October 4, 2018	3326 17 Mile Drive Pebble Beach, CA audreymaclean@comcast.net	9.4-204
P79	Steven J. Martello Dated: October 4, 2018	Carmelo 4 SW of 4th Avenue Carmel, CA, 93921 stevemartello@gmail.com	9.4-206

Code	Respondent	Contact Information	Page
P80	Karen M. Riley Dated: October 4, 2018	The Chardonnay House Carmelo 4SW of 4th Carmel, CA 93921 karenmriley@aol.com	9.4-209
P81	Archie S. Robinson Dated: October 4, 2018	2845 Congress Road Pebble Beach, CA 93953 asr1golf@gmail.com	9.4-211
P82	Meredith Stricker and Thomas Cowen, Principals in Visual Poetry Studio Dated: October 4, 2018	38330 Whitman Carmel CA 93923 visualpoetrystudios@gmail.com	9.4-214
P83	Liza Temple Dated: October 4, 2018	Los Angeles, CA lizaeyre@sbcglobal.net	9.4-216
P84	Cynthia Zurolo Dated: October 4, 2018	Redwood City, CA cynthiazzz@yahoo.com	9.4-219
P85	Raymond Richard Neutra MD Dated: October 5, 2018	raymondneutra@gmail.com	9.4-221
P86	Wendy Roberts Dated: October 5, 2018	Monterey, CA wendyruthroberts@gmail.com	9.4-231
P87	Bill Shellooe Dated: October 5, 2018	P.O. Box 773 Carmel, CA 93921	9.4-233
P88	Janey Bennett Dated: October 6, 2018	fantasticseashell@gmail.com	9.4-236
P89	Cheri Knobbe Dated: October 6, 2018	Arvada, Colorado cheriknobbe@gmail.com	9.4-238
P90	Elizabeth Canning Dated: October 7, 2018	Pebble Beach, CA ecanning@comcast.net	9.4-240
P91	James M Dobbins Dated: October 7, 2018	3145 17 Mile Drive Pebble Beach, CA jimdob@inreach.com	9.4-243
P92	Kia Mirkia Dated: October 7, 2018	Redwood City, California maukia@yahoo.com	9.4-245
P93	Connie Skidmore Dated: October 7, 2018	975 Customs Road Pebble Beach, CA cskidmore@ymail.com	9.4-247
P94	LeBon G. Abercrombie Dated: October 8, 2018	1158 Signal Hill Rd. Pebble Beach, CA 93953 lebon@lgabercrombie.net	9.4-249
P95	Fred Ballerini Dated: October 8, 2018	P.O. Box 1023 Pacific Grove, CA 93950 fred@fredballerini.com	9.4-252
P96	Daniel R. Skidmore Dated: October 8, 2018	975 Customs Rd. Pebble Beach s2162@aol.com	9.4-255

Code	Respondent	Contact Information	Page
P97	Sally Aberg Dated: October 9, 2018	217 Hacienda Carmel Carmel, CA 93923 forthecolors@comcast.net	9.4-257
P98	Steve Gruin Dated: October 9, 2018	sgruin@yahoo.com	9.4-261
P99	Payvand Kadivar Dated: October 9, 2018	Palo Alto, CA pavvy@yahoo.com	9.4-263
P100	Mary Liskin Dated: October 9, 2018	P.O. Box 1646 Carmel, CA 93921 mary@lmadigital.com	9.4-266
P101	Steven V Moore, MD Dated: October 9, 2018	19 Upper Radsdale, Ste. 150 Monterey, CA 93940 drmoorebilling@gmail.com	9.4-268
P102	Mark Edwin Norris Dated: October 9, 2018	Norris Designs, Etc. norrisdesignsetc@aol.com	9.4-271
P103	Sharon Saunders Dated: October 9, 2018	1548 Deer Path Pebble Beach, CA 93953 teeitupsharon@gmail.com	9.4-273
P104	Katherine Spitz, ASLA Dated: October 9, 2018	4175 Sunset Lane Pebble Beach, CA 93953 k.spitz@me.com	9.4-276
P105	Guofeng Wang, President Dated: October 9, 2018	W & Smith CA Inc. 1164 Signal Hill Road Pebble Beach, CA bss@wnsmith.com	9.4-278
P106	Richard Weber Dated: October 9, 2018	Monterey, California	9.4-280
P107	Russell Abraham Dated: October 10, 2018	Abraham & Paulin Photography ra@russellabraham.com	9.4-284
P108	Luana Conley Dated: October 10, 2018	Alliance for Monterey Area Preservationists luanaconley@gmail.com	9.4-286
P109	June C. Duran Dated: October 10, 2018	3141 17 Mile Drive Pebble Beach, CA morjun@redshift.com	9.4-288
P110	Marvin Guillermo, AIA, Architect Dated: October 10, 2018	omrei4@comcast.net	9.4-290
P111	Mary Liskin Dated: October 10, 2018	mary@lmadigital.com	9.4-292
P112	Katherine Marren Dated: October 10, 2018	Pacific Grove, California katherinemarren@comcast.net	9.4-294
P113	Sheila McElroy Dated: October 10, 2018	1167 Bush Street #707 San Francisco CA 94109 sheila.e.mcelroy@gmail.com	9.4-296

Code	Respondent	Contact Information	Page
P114	Christine Shimp Dated: October 10, 2018	christine.shimp@biogen.com	9.4-298
P115	Danielle Bianchi Golod Dated: October 11, 2018	Austin, Texas danielle@daniellebianchi.com	9.4-301
P116	Joan B. Hoover Dated: October 11, 2018	3078 Bird Rock Road Pebble Beach, CA 93953 joanbhoover@icloud.com	9.4-303
P117	Alexis Knepp Dated: October 11, 2018	pazknepp@gmail.com	9.4-305
P118	Craig Knobbe, Esq. Dated: October 11, 2018	craigknobbe@gmail.com	9.4-307
P119	David Edward Lane, Managing Director Dated: October 11, 2018	Atara Press silas10961@aol.com	9.4-310
P120	Patrick Lovejoy Dated: October 11, 2018	1064 Mission Rd Pebble Beach, Cal 93953 patlo@cruzio.com	9.4-312
P121	Lisa Ciani Dated: October 12, 2018	220 Walnut Street Pacific Grove, CA 93950 lisa.ciani@gmail.com	9.4-314
P122	Dale Ellis Dated: October 12, 2018	Anthony Lombardo & Associates 144 W. Gabilan St. Salinas, CA 93901 angela@alombardolaw.com	9.4-316
P123	Sateez Kadivar Dated: October 12, 2018	sateez@jotter.com	9.4-321
P124	Eddie Kinman Dated: October 12, 2018	eddiekinman123@gmail.com	9.4-323
P125	Massy Mehdipour Dated: October 12, 2018	Signal Hill LLC 1170 Signal Hill Road Pebble Beach, CA 93953 massy@jotter.com	9.4-327
P126	Joel Panzer Dated: October 12, 2018	701 Pajaro Street Salinas, CA 93901	9.4-375
P127	Lois Panziera Dated: October 12, 2018	33821 Paraiso Springs Rd. Soledad, CA 93960 lpanziera@hotmail.com	9.4-388
P128	Mihoko Fukushige Dated: October 19, 2018	mihoko4ever@gmail.com	9.4-390
P129	Josh Temple [undated]	Los Angeles	9.4-392

COMMENT LETTER #P1

From: [Anne Fougeron](#)
To: [reacommments](#)
Subject: Connell House
Date: Monday, September 10, 2018 8:26:31 PM

Hello Cheryl,

The Connell house is a very important building by one of the great masters of modern architecture that must be saved. In no case should it be destroyed to be replaced by the generic and uninspired Legorreta building designed by his successor firm as Ricardo Legorreta died in 2011.
Thank you,

P1.1

Anne Fougeron FAIA
Fougeron Architecture
521 Francisco Street
San Francisco, CA 94133
415 641 5744
www.fougeron.com

9.4.1 Response to Letter from Anne Fougeron, FAIA

Comment No.	Response
P1.1	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P2

Emily Creel

From: Jonathan Pearlman <jonathan@elevationarchitects.com>
Sent: Monday, September 10, 2018 10:10 AM
To: Emily Creel
Subject: Signal Hill Development DEIR
Attachments: Signal Hill DEIR Response Letter 9.10.18.pdf

Dear Ms. Creel,

I have attached a response letter to the DEIR for the Signal Hill Development DEIR prepared by your office. I have a lifetime of affection for the work of Richard Neutra and I am alarmed at the thought of losing such a significant example of his work. I learned about this project last February when I was in Pacific Grove to present a paper to the Alliance of Monterey Area Preservationists. Please include my letter in your final EIR.

P2.1

Thanks,
Jonathan

Jonathan Pearlman
ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109

v: 415.537.1125 x101
c: 415.225.3973

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September 10, 2018

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

Dear Ms. Creel,

I am writing this letter at the request of Raymond Neutra to express my concurrence with the conclusions of the Draft EIR for the Signal Hill LLC Combined Development Permit. For your reference as to my background on the subject, I am currently a member of San Francisco's Historic Preservation Commission (HPC) and have a broad background in American architectural history. As such, I have the experience and qualifications to meet the Secretary of the Interior's Professional Qualification Standards in Architectural History and Historic Architecture. With many of the projects that we review at the HPC, I am quite familiar with the format and structure of an EIR and the methodology with which they are produced.

P2.2

In addition to my professional work, I have specific experience with the work of Richard Neutra, the architect of the Connell House. Beginning in 2008, in a volunteer capacity, I was a member of the Executive Committee (a working group) of the Los Altos Neutra House. That project was the adaptive reuse of one of the "Three Houses in an Orchard" that Neutra designed in 1935 and was completed in 1939. Through this project, I have had the opportunity for deepening my already somewhat, in depth knowledge of the work of Richard Neutra. During that time and through this work, I have developed a relationship with Raymond and Dion Neutra and made the acquaintance of Thomas Hines and Barbara Lamprecht, both leading scholars on the oeuvre of Richard Neutra.

I have had the opportunity to review the DEIR for this project. I focused primarily on the alternatives outlined in sections 5.3 through 5.7 to determine the Environmentally Superior Alternative. I am impressed with the broad scope of alternatives that were prepared for the study and concur with the ones chosen to review in more detail. (Please note that in Table 5-2 on pg. 5-22, this preservation alternative is mis-numbered as 5, rather than 4 as noted in the text.) I am in complete agreement with the DEIR author about the notion that a new project by a noted architect could not be considered as a mitigation for the demolition of an existing building by an acknowledged master. While intriguing to ponder the idea of squelching the creation of a future historic resource, the analysis in the text was well founded.

P2.3

Having read the supporting arguments presented, I am in concurrence with the selection of the Preservation Alternative as the one that is environmentally superior to the others. This is a

P2.4

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Signal Hill LLC Combined Development Permit DEIR
Response Letter
September 10, 2018

2

significant work by an acknowledged master architect and it is clear that there are no mitigations that would compensate for the loss of this building.

P2.4
(cont'd)

Please accept this letter as a comment to be included in the Final EIR for this project.

Sincerely,



Jonathan Pearlman
Principal

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9.4.2 Response to Letter from Jonathan Pearlman

Comment No.	Response
P2.1	This comment is an introductory comment referencing the attached letter. No further response is required.
P2.2	This comment describes the commenter's background and knowledge of Richard Neutra's work. No changes to the EIR are necessary and no further response is required. Please also refer to MR-2 regarding Historical Resources.
P2.3	This comment expresses concurrence with the Alternatives analysis and the EIR's conclusion that replacement of the residence with a Legorreta design would be insufficient mitigation to reduce potentially significant impacts to the historic resource. Please refer to MR-2 regarding Historical Resources. The reference to Alternative 5: Project Integration, on page 5-22 in Table 5-2 has been corrected to accurately state Alternative 4: Project Integration.
P2.4	The comment expresses support for the EIR's determination of the environmentally preferred alternative. No changes to the EIR are necessary and no further response is required. The comment will be made part of the administrative record and provided to local decision makers for their consideration. Please also refer to MR-1 regarding Project Preferences.

COMMENT LETTER #P3

Emily Creel

From: Moiraq <moiraq@aol.com>
Sent: Monday, September 10, 2018 9:01 AM
To: Emily Creel
Subject: EIR Report regarding Richard J. Neutra's Connell House

Dear Planning Office Staff:

I write in support of the conclusion of the EIR Report by the Planning Office of Monterey County that Richard J. Neutra's 1958 Connell house be preserved and not demolished.

P3.1

Richard Neutra's legacy is on a co-equal par with that of the great Frank Lloyd Wright in their respective original and unique contributions to American architecture. It is a matter of record that they both knew each other and respected each others architectural work. Wright's 1953 Walker house is the only example of his work located in Monterey County. Neutra's 1958 Connell house is also the only example of his work located in Monterey County. No one should be even thinking of eliminating either of these two works from the County's architectural heritage by means of demolition.

P3.2

Russell Quacchia
Carmel-by-the-Sea, CA

9.4.3 Response to Letter from Russell Quacchia

Comment No.	Response
P3.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences.
P3.2	Please refer to MR-2 regarding Historical Resources. The comments do not require changes to the environmental documents. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P4

Emily Creel

From: Louis O. Roberts <louisoroberts@pacbell.net>
Sent: Tuesday, September 11, 2018 10:35 PM
To: Emily Creel
Subject: In Support of Connell House

September 10, 2018

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

Dear Persons on the Planning Board of Monterey County:

I am writing this letter in support of preserving the "Connell House" in Pebble Beach, CA. built in 1958. The house was designed by Richard Neutra, one of the most important architects of the Modern Movement in the United States and particularly in California. His simple clean lines and open floor plan spaces go back to the twenties in southern California. He is revered around the world for his pioneering work in modern architecture.

P4.1

The Connell House should not be judged in its present condition as to whether it should be preserved or not. The house has been purposely trashed and compromised to make it appear to be unworthy of restoration, yet one only has to look back to earlier photos and drawings to see its architectural significance. In addition, the house is one of the few Neutra designs in Northern California and the only one in Monterey County.

P4.2

I am in full agreement with the EIR's conclusion that the Connell house should be preserved and not be torn down as per their report:

"Based on the alternatives analysis and comparison of impacts in Chapter 5, the Preservation Alternative is the Environmentally Superior Alternative. The Preservation Alternative would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources."

P4.3

The Connell house has also been deemed eligible for the National Register of Historic Places and is on California's historic register.

Sincerely yours,

Louis O. Roberts – Architect

Carmel, California

9.4.4 Response to Letter from Louis O. Roberts, Architect

Comment No.	Response
P4.1	The comment expresses support for the Preservation alternative and the importance of Richard Neutra's work in modern architecture. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources.
P4.2	The comment relates to the existing condition of the house and the rarity of Neutra designs in Northern California. Please refer to MR-4 regarding Baseline Conditions and MR-2 regarding Historical Resources.
P4.3	The comment expresses concurrence with the EIR's conclusion that the Preservation alternative is the environmentally superior alternative. Please refer to MR-2 regarding Historical Resources. The comments do not require changes to the environmental documents. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P5

Emily Creel

From: Paul M. Wolff <pwolff@calpoly.edu>
Sent: Tuesday, September 11, 2018 3:43 PM
To: Emily Creel
Subject: Connell House by Richard Neutra, 1958

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

To whom it may concern,

I write this letter in support of preserving a significant contribution to the rich history of California architecture ! The 1958 Connell House is far more than Richard Neutra’s (1892-1970) only surviving residence in Monterey County. It is a unique example of the integration of exterior and interior living spaces within a specific (unusually beautiful) site.

The 4,124 square feet residence also illustrates Neutra’s pioneering work, in creating a habitat to enhance the owners’ functional, psychological, and aesthetic well being, their life style, as expounded in his seminal 1969 book, “Survival through Design”.

Today’s emphasis on “bigger is better” often causes the destruction of irreplaceable links to our past. Richard Neutra, coming from Vienna, recognized early in his career that his desire to enrich life by bringing nature into the living environment, could best be realized in the mild climate of California. As a prime example of this, the Connell House clearly qualifies as “historically significant” (Monterey County Historical Resources Review Board, 2011) architecture of the Monterey County coastline. This home must be preserved and maintained !

Sincerely,

Paul M. Wolff, Professor Emeritus
School of Architecture & Environmental Design
Cal Poly State University, San Luis Obispo, Ca.

P5.1

9.4.5 Response to Letter from Paul M. Wolff, Professor Emeritus

Comment No.	Response
P5.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P6

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401
ecreel@swca.com

Emily Creel:

I am writing in support of the preservation of Richard Neutra’s 1958 Connell House.

In addition to owning and residing in Neutra’s Mrs. And Mrs. Harry G. McIntosh House (1939), I am a licensed architect (CA 29063) practicing in Los Angeles. Over the past twenty years I have been intimately involved with the restoration, remodeling (including the design of sensitive and compatible additions) to a number of Neutra-designed houses that are roughly contemporary with the Connell House, including the following:

Benedict and Nancy Freedman House (1949), Pacific Palisades (Los Angeles)
Wilkins House (1949), South Pasadena
Mr. & Mrs. Richard Hammerman House (1954), Bel Air (Los Angeles)
Sidney and Sonja Brown House (1955), Bel Air (Los Angeles)

In my professional capacity and through my research, I am considered an authority on Neutra’s work and I have been consulted by the owners of many Neutra houses, including those as far afield as the Walter and Inger Rice House (1965) in Richmond, VA.

I recently collaborated with the art historian and Wien Museum (Vienna) curator Dr. Andreas Nierhaus and the architectural photographer David Schreyer on a research project entitled *Neutra Revisited* which is supported by the Austrian Federal Chancellery. One of the questions that this project seeks to answer is, “*What can we learn from Neutra today?*”

Richard Neutra is an acknowledged master of modern architecture. The continued importance of his work and his enduring legacy is beyond dispute. In spite of this, his work remains at risk, through age, neglect, and ignorance. Because of the combination of the relatively modest size of his single-family residences and the astronomical value of the land on which many of them sit, Neutra houses today are more vulnerable than ever. Given these conditions, all Neutra works should receive protection but, as one of the handful of Neutra houses in Northern California, the Connell House deserves special consideration, the most robust protections possible, and should be preserved at all costs.

Thank you for your time.

John Bertram
Bertram Architects
673 N Berendo Street
Los Angeles CA 90004
323.644.1174
john@bertramarchitects.com
BERTRAMARCHITECTS.COM

P6.1

9.4.6 Response to Letter from John Bertram

Comment No.	Response
P6.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P7

From: Maryann.Schicketanz
To: ecreel@swca.com; Ku.Cheryl_x6049
Cc: Maryann.Schicketanz
Subject: Connell House - PLN 100338
Date: Friday, September 14, 2018 10:33:09 AM

To Whom it may Concern:

I am writing to you in regard to the demolition of the Cornell House by Richard Neutra located at 1170 Signal Hill Road, Assessor's Parcel Number [APN] 008-261- 007-000.

Richard Neutra's work is the touch stone of Modernism in California and I therefore agree with the EIR's assessment that

"Based on the alternatives analysis and comparison of impacts in Chapter 5, the Preservation Alternative is the Environmentally Superior Alternative. The Preservation Alternative would avoid significant and unavoidable impacts on historical resources and would reduce construction-related impacts and potentially significant impacts on visual resources and biological resources."

I sincerely hope that this residence will be restored to the condition prior to the purchase by the current owner.

Best regards,
Mary Ann Schicketanz

Gabriele Mary Ann Schicketanz,
AIA MB Board Member, LEED

STUDIO SCHICKETANZ



AIA
Monterey Bay

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Carmel, CA 93921
Mobile: 831.915.5963
Email: maryann@studioschicketanz.com
Website: www.studioschicketanz.com

P7.1

9.4.7 Response to Letter from Gabriele Mary Ann Schicketanz, AIA MB Board Member, LEED

Comment No.	Response
P7.1	The comment expresses support for the Preservation alternative as the environmentally superior alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P8

Emily Creel

From: Betty Powell <molaboop@gmail.com>
Sent: Saturday, September 15, 2018 1:54 PM
To: Emily Creel
Subject: EIR 1958 Connell House

Re: EIR 1958 Connell House

Please note that my husband (David Powell) and I agree with the EIR conclusion that the Connell House should be preserved and not torn down. This house is one of the few Neutra designs in Northern California and should be preserved.
Sincerely,

Elizabeth A. Powell
Molaboop@gmail.com

P8.1

9.4.8 Response to Letter from Elizabeth A. Powell

Comment No.	Response
P8.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P9

Emily Creel

From: Sharon Russell <s.m.russ930@gmail.com>
Sent: Sunday, September 16, 2018 3:02 PM
To: Emily Creel
Subject: EIR Report re Richard Neutra designed Connell House in Pebble Beach, Calif.

Dear County of Monterey, Resource Management Agency - Planning Department, c/o Emily Creel, SWCA Environmental Consultants,

I am writing to you in support of your conclusion to deny the request to tear down the historic Richard Neutra designed Connell house in Pebble Beach in order to build a larger residence on the property. This house is on California's Register of Historic Places and is eligible for the National Register. It is one of the few Neutra designs in California and the only one in Monterey County. It is important to preserve the Neutra legacy as it is for every other historic designer's house or building in our state and county. Please enforce your conclusion to preserve this historic house.

Thank you - Sharon M. Russell, PhD (A 30 year resident of Pacific Grove, Monterey County, CA)

s.m.russ930@gmail.com

P9.1

9.4.9 Response to Letter from Sharon M. Russell, PhD

Comment No.	Response
P9.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P10

Emily Creel

From: Barton Myers(SB) <b_myerssb@bartonmyers.com>
Sent: Tuesday, September 18, 2018 1:18 PM
To: Emily Creel
Subject: Connell House, Richard Neutra 1958

County of Monterey
Resource Management Agency - Planning Department

Dear Ms Creel

I write to strongly request that you reject any request to demolish what is considered a masterwork of architecture, one of a very few in Northern California by the late internationally recognized master architect, Richard Neutra. Instead encourage the loving restoration of this important mid-century masterpiece.

I also understand that you have an EIR by the Planning Office of Monterey County arguing convincingly for the protection of this house, and, given that the house is also on the California Historic Registry and deemed eligible for the National Register of Historic Places, supporting denial of demolition.

As an architect who owes so much to Richard Neutra and his works, as do so many architects and homeowners, I encourage you to protect and preserve the Connell House.

I appreciate your consideration of the preservation of this important landmark, and if I can be of further help please call me at 310 208-2227.

Sincerely,

Barton Myers, FAIA

P10.1

9.4.10 Response to Letter from Barton Myers, FAIA

Comment No.	Response
P10.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P11

Emily Creel

From: Ted Wells <ted@tedwells.com>
Sent: Tuesday, September 18, 2018 10:19 AM
To: Emily Creel
Subject: Richard Neutra Connell House Pebble Beach EIR historic importance
Attachments: Connell House EIR TWells_c_9-2018.pdf; ATT00001.htm; TWLS-LOGO_E.jpg; ATT00002.htm; Instagram_TWLS-4.jpg; ATT00003.htm

Dear Emily,

Attached is my letter of support the conclusion of the recent Draft EIR by the planning office of Monterey County.

Any questions you have, or additional information you need, please let me know.

Thank you

Ted Wells
--

PS I have known Raymond and Dion Neutra for many years. I also did an interview podcast with Raymond Neutra; some links:

<https://itunes.apple.com/us/podcast/ted-wells-living-simple/id85496087>

<https://player.fm/series/ted-wells-living-simple/cheap-and-thin-richard-neutra-and-frank-lloyd-wright>

<https://radiopublic.com/ted-wells-living-simple-WROqbO/ep/s1laf932>

Ted Wells living : simple

9 September 2018

- to County of Monterey, Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, California 93401
- re **Arthur and Kathleen Connell House (1957-58). Architect, Richard Neutra
1170 Signal Hill Road, Pebble Beach**

The defining characteristics of every community relate to its history, its people, its natural setting, and its built environment. The contextual tradition of a community is most clearly expressed in its activities and history.

In the case of the issue at hand, the Connell House, and the cultural and architectural history inherent in this site, is a significant part of Pebble Beach and Monterey County, and should be preserved.

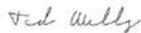
This masterpiece of domestic modern architecture, in the "International Style" by architect Richard Josef Neutra, is a rare and architecturally significant modernist house in Pebble Beach, Monterey County. Neutra's work is an important part of architectural history and design.

The Connell House not only links to the tradition of architectural and landscape design in the neighborhood but also links to the historic modern architecture and landscape design that created much of the work throughout the 20th century within Monterey County. Much of that significant design within this area is by nationally-known architects, including Richard Neutra, Frank Lloyd Wright, Gregory Ain, Marcel Sedletzky, Mark Mills, Robert Stanton, William Wurster, Mickey Muennig, David Allen Smith, Erik Nielsen, John Howard Gamble, Frank Wynkoop, and many others who are part of this community's great history.

As the director of three properties listed on the National Register of Historic Places, which also include state and local designations, I fully understand the challenges we face as property owners in choosing to own, maintain, and restore significant properties. I also encourage and ask of fellow property owners that they understand and accept the level of stewardship and commitment to the historic legacy of the properties that we choose to acquire. The legacy of any real property will outlast all of us, continuing beyond our lifetimes and enriching the community we have chosen to be a part of.

I recommend, and fully-support, the draft EIR's recommendation for the historically-based restoration and preservation of Richard Neutra's Connell House, an important structure within the contextual history of Pebble Beach, Monterey County.

Sincerely,



Ted Wells
Ted Wells Living : Simple LLC

P11.1

Ted Wolk:

- | | |
|---------|--|
| Member | Society of Architectural Historians, Southern California Chapter, Advisory Board, Past President
California Preservation Foundation, Annual Conference Planning Committee
Laguna Niguel Historical Society, Life Member, Past Board Member
Orange County Historical Society, Life Member
Old Riverside Foundation, Life Member
Preserve Orange County, Advisor
The Museum of Architecture, Past Chairman, Board of Trustees
South County Outreach, Executive Board Member |
| Author | <i>Bohemian Crossroads, Highways, Bridges</i> : Three-volume series, Arts, culture, and architecture, Monterey and California Coast
<i>Horizon Homes: Living the Concrete Dream</i> : Historic concrete homes throughout the United State, 1960-1964
<i>Images of America: Laguna Niguel</i>
<i>Romantic Modern: Harwell Hamilton Harris</i>
<i>Casting Shadows, Auguste Rodin</i> |
| Trustee | Reeve-Townsend House (1903/1925), Greene & Greene Architects, Long Beach, California
Charles Sumner Greene Studio (1916/1922), Carmel-by-the-Sea, California
Mosher & Drew Architects House, former El Niguel Country Club building (1960), Laguna Niguel, California |

9.4.11 Response to Letter from Ted Wells

Comment No.	Response
P11.1	The comment expresses support for the Preservation alternative and provides information on the Connell House's context in the history of Pebble Beach. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P12

From: [Nevo, Mike x5176](#)
To: [Ku, Cheryl x6049](#)
Cc: [Onciano, Jacqueline x5193](#); [Swanson, Brandon xx5334](#)
Subject: Fw: URGENT --- SAVE RICHARD NEUTRA'S "CONNELL HOUSE" FROM DEMOLITION!
Date: Thursday, September 20, 2018 4:38:00 PM

Hi Cheryl--I'm not sure who received this email, so forwarding to you as a public comment.

Thanks,
Mike

From: Sally Aberg <forthecolors@comcast.net>
Sent: Wednesday, September 19, 2018 3:07 PM
To: Sally Aberg
Subject: URGENT --- SAVE RICHARD NEUTRA'S "CONNELL HOUSE" FROM DEMOLITION!



P12.1



2013

2015

Dear "Save the Connell House" Team:

Can you believe it?

The long journey we undertook to save this signature Richard Neutra-designed home (1957-1958) began back in **2013**.

Over these past five years, we've *worked together* to get the Connell House (located at 1170 Signal Hill Road in Pebble Beach) to be listed on the **California State Register of Historic Resources**.

We've *helped ensure* its eligibility for listing on the **National Register of Historic Places**, too.

We've *made the Monterey Peninsula aware* that the Connell House is **THE** specific example of "International Style" in the Pebble Beach Historic Context Statement.

We've *remained alert and vigilant* about reporting the home owner's relentless acts of "demolition by neglect," over and over again.

We've *participated in* the long **Draft Environmental Impact Report** review process by providing the writers with our issues of concern.

We can be very proud of our achievements. But now we've *reached a critical moment*: **The release of the DRAFT EIR** earlier this month.

Most of us don't have time to read the entire DRAFT EIR for the CONNELL HOUSE.

P12.1
(cont'd)

But *almost all of us* have time to write a brief email or letter in support of the conclusions of this DRAFT EIR.

The Connell House DRAFT EIR itself states on page 26 that “Preservation is the environmentally superior alternative.”

The Connell House is compatible with its neighboring houses. The proposed replacement house—*three times larger*—is **not compatible**.

An EIR was required for this proposed new residence because the demolition of this historic asset will have negative impacts on the environment—built, natural, and cultural!

Please, I’m asking each of you to find 10 minutes between *right now* and **Friday, October 12, by 5 pm**, to submit your CEQA (California Environmental Quality Act) comments.

Here are the contact names and addresses to use:

Email:

ceqacomment@co.monterey.ca.us

with a **copy to Cheryl Ku**, Senior Planner for Monterey County: kuc@co.monterey.ca.us and another “cc” to **Emily Creel**, SWCA Environmental Consultants: ecreel@swca.com

Or mail a letter:

Cheryl Ku, Senior Planner, Monterey County
Resource Management Agency — Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

with a “cc” to **Emily Creel**, SWCA Environmental Consultants, 1422 Monterey Street, C-200, San Luis Obispo, CA 93401

The Board of the Alliance of Monterey Area Preservationists have come forward in support of the **DRAFT EIR Alternative 1: Preservation**, or an alternative allowing some modification or additions in accordance with the Secretary of Interior’s Standards for the Treatment of Historic Properties, which unfortunately is an option that is not analyzed in this DEIR.

October 12th is the *last day that comments can be submitted*, expressing your concern over the demolition of world-renowned architect Richard Neutra’s design and urging Monterey County Planning to take the conclusions of the Draft EIR seriously.

Request that they support Alternative 1: Preservation, not demolition!

The more voices of interest and concern that are expressed, the louder our “collective hope” will be heard by the Powers That Be.

Spread the word by forwarding this email or talking with friends and associates about the value of saving this mid-century landmark...and the tragedy to the Monterey Peninsula’s cultural fabric, forest, and scope of its built environment if this house is lost.

Urge preservation, not demolition of the Connell House.

P12.1
(cont’d)

Thank you so much.
Sally Aberg

For more reading and details:

(1) Link to the Connell House DRAFT EIR and Proposed Project Description:

<http://www.co.monterey.ca.us/government/departments-i-z/resource-management-agency-rma-planning/current-major-projects/signal-hill-llc-mehdipour>

Project Description: The project consists of the demolition of an existing 4,124 square foot single family residence and the construction of a new three level 11,933 square foot single family residence and associated site improvements including approximately 2,040 cubic yards of grading (1,210 cubic yards cut/830cubic yards fill) and restoration of all remaining undeveloped areas to native dune habitat.

(2) Link to the Alliance of Monterey Area Preservationists' website:

www.amap1.org and <http://www.amap1.org/ConnellHouse.html>

(3) Contact information for AMAP President Nancy Runyon:
Tel. 831-649-8132, or nancy@nancyrunyon.com

P12.1
(cont'd)

9.4.12 Response to Letter from Sally Aberg

Comment No.	Response
P12.1	The comment expresses support for the Preservation alternative and encourages others to comment on the EIR in support of preservation of the Connell House. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment refers to the Board of the Alliance of Monterey Area Preservationists' support for the Preservation alternative, or an alternative that allows some modification or addition to the residence in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The comment inaccurately states that the EIR did not analyze alternatives that would allow modification or addition to the residence in accordance with the SOI standards. Chapter 5 of the EIR, Alternatives Analysis, considered a variety of alternatives that would include modifying the house consistent with SOI standards, including Preservation and Separate Onsite Development, Project Integration, and Relocation alternatives. These alternatives were evaluated in the EIR; however, it was determined that they would not avoid or substantially reduce potentially significant environmental impacts. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P13

Emily Creel

From: Catherine Ettinger <crettingerm@gmail.com>
Sent: Wednesday, September 19, 2018 12:56 PM
To: Emily Creel
Subject: Connell House
Attachments: Connell House.pdf

Hello,
I am attaching a letter of support for the preservation of the
Connell House. Please confirm receipt.

Thank you,
Catherine R. Ettinger
Facultad de Arquitectura / School of Architecture
Universidad Michoacana de San Nicolás de Hidalgo

<https://umich-mx.academia.edu/CatherineEttinger>
Ciudad Universitaria
Morelia, Michoacán, México
443 322 3500 ext. 4400 o ext. 2082



"2017, Año del Centenario de la Constitución y de la Universidad Michoacana de San Nicolás de Hidalgo"

September 19, 2018

County of Monterey
Resource Management Agency-Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

To Whom It May Concern:

As an architectural historian who has done research on Richard Neutra –particularly in relation to Latin America-- I am writing with concern for the Connell House, a building designed by Richard Neutra in 1958. This building is of significance due not only to the fame of its author, but also for the way it embodies the principals of modern design, with spectacular horizontal lines and transparency. It is an example of the mature work of Neutra in with the articulation of the roof plane almost floats over the box and intersecting planes divide the volumes.

Also to be noted is that it is one of the few works Neutra built in Northern California and the only one in Monterey County. Due to its value as an outstanding example of modern architecture in California and of the work of its famed author, the house was deemed eligible for the National Register of Historic Place and is on California’s Historic Register.

For the above reasons, I strongly urge you to deny permission to demolish the Connell House.

Best regards,

Catherine Rose Ettinger Mc Enulty
Full profesor
Faculty of Architecture
Universidad Michoacana de San Nicolás de Hidalgo



Edificio de la Facultad de Arquitectura - Torre de Posgrado - Av. Francisco J. Múgica S/N - Ciudad Universitaria
Col. Felicitas del Río - CP 58060 - Tel [443] 3223500 ext: 2086 - Morelia, Michoacán, México

UNIVERSIDAD MICHOACANA DE SAN NICOLÁS DE HIDALGO

P13.1

**9.4.13 Response to Letter from Catherine Rose Ettinger Mc Enulty,
Full Profesor, Faculty of Architecture**

Comment No.	Response
P13.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P14

From: John Linnert
To: ceaacomments; Ku, Cheryl x6049; acreel@swca.com
Subject: SAVE RICHARD NEUTRA'S CONNELL HOUSE
Date: Wednesday, September 19, 2018 11:57:41 PM

Cheryl Ku, Senior Planner for Monterey County
Emily Creel, SWCA Environmental Consultants

Dear Ms Ku and Ms Creel

I am expressing deep concern over the prospective demolition of the Connell House designed by world-renowned Master Architect Richard Neutra and am urging Monterey County Planning to take the conclusions of the Draft EIR and its recommendation of **DRAFT EIR Alternative 1: Preservation** seriously. To preserve this culturally significant structure is the only viable solution. Please, do not allow it to be demolished. Please support preservation. Monterey County, the State of California, our great Nation and the World will be a better place if it is preserved for future generations to appreciate and learn from.

Sincerely,
John W Linnert, aia

P14.1



9.4.14 Response to Letter from John W Linnert, AIA

Comment No.	Response
P14.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P15

Emily Creel

From: Dion <dion@neutra.org>
Sent: Wednesday, September 19, 2018 4:06 PM
To: ceqacomment@co.monterey.ca.us
Cc: Ku, Cheryl x6049; Emily Creel
Subject: 09-19-2018 Neutra at Pebble Beach PRESERVE! Cheryl Ku; Monterey Planning

09-19-2018

Dear MS. Ku.

Please preserve the only example of Neutra Design in the region; the Richard Neutra Connell House in Pebble Beach.

Choose the **DRAFT EIR Alternative 1: Preservation**,
(as opposed to the other alternative, destruction).

Aside from the inappropriate scale of the proposed alternative massive intrusion, this destruction of a historic resource of your area would attract world wide attention and negativity about the local authority's failure to protect a registered property in its midst.

As architect of record on this project, I stand ready to assist in the restoration and refurbishment of what's left of our baby, should you decide to save it.

Sincerely,

Dion Neutra

Dion Neutra, architect AIA, FISS,
Dion Neutra, Inc. aka Richard and Dion Neutra, Architects and Associates
2440 Neutra Place
Los Angeles, CA. 90039
Phone/Fax: 323 666 1806
Website: www.neutra.org E-mail: dion@neutra.org

Please copy this email when replying to me to facilitate communication.

P15.1

P15.2

P15.3

9.4.15 Response to Letter from Dion Neutra, Architect, AIA, FISD

Comment No.	Response
P15.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P15.2	The comment relates to the scale and massing of the proposed project and expresses support for the Preservation alternative. Potential impacts related to size and massing are analyzed in Section 4.1, Aesthetic Resources, of the EIR. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources.
P15.3	The commenter offers assistance in the restoration and refurbishment of the Connell House. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P16

From: susan.rosen
To: [reacommments](#)
Cc: [Ku, Cheryl x60419; ccrnel@swca.com](#)
Subject: Connell House
Date: Wednesday, September 19, 2018 7:49:25 PM

To All It May Concern,

It should concern everyone who has an appreciation of quality architecture and historical preservation that the Connell House, designed by Richard Neutra, not to allow this exquisite example of such be obliterated. It deserves preservation, both from the perspective of history and impeccable design. Having lived for some years in a much simpler house designed by Mr. Neutra, I can attest to the life-enhancing properties of living in a space of great design. Please don't allow it to be replaced with something larger, probably flashier but doubtfully up to the design standard of what it would replace.

Please preserve!

Susan G Rosen

P16.1

9.4.16 Response to Letter from Susan G. Rosen

Comment No.	Response
P16.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P17

From: [Mark Rozzo](#)
To: [ceqacomments; Ku, Cheryl x6049](#)
Cc: [ccreel@swca.com](#)
Subject: Connell House
Date: Wednesday, September 19, 2018 5:49:38 PM

Dear Ms. Ku — I'm writing to join the many voices urging to preserve the Connell House, designed by Richard Neutra, one of the great American architects of the 20th century. As you know, Neutra works are revered around the world as examples of modernist design, studied in every architecture school, used as film sets, and coveted on the real-estate market, where their asking prices are at a premium due to their historical and architectural significance. They also have enduring appeal, if you care to browse through the pages of any shelter or lifestyle magazine or scroll through any design blog. In other words, they belong as much to the now as to the past.

There have been hideous examples of Neutra structures falling to the wrecking ball, with national headlines and global outcry. I'm hoping you will see to it that Pebble Beach will choose to preserve the Connell House, a worthy example of 20th century architecture that has earned its place on the California State Register of Historic Resources. It is, truly, an irreplaceable piece of history and cultural heritage — for Pebble Beach, for California, and for the United States — that deserves to be experienced by future generations.

Please choose the **DRAFT EIR Alternative 1: Preservation** to save this irreplaceable asset.

Thank you for your attention and efforts.

Sincerely,

Mark Rozzo

P17.1

9.4.17 Response to Letter from Mark Rozzo

Comment No.	Response
P17.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P18

From: [Howard Barnett](#)
To: [reacommments; Ku, Cheryl x6049](#)
Cc: [ecreel@swca.com](#)
Subject: Richard Neutra's landmark Connell House
Date: Thursday, September 20, 2018 11:36:39 AM

Dear Ms. Ku, sorry to bother you on an issue which may or may not be of grave concern compared to what you have on your plate already, but I think i can give some brief insight w.r.t. the issue of the Connell House in Pebble Beach.

I should note that I'm late to the party so to speak, I'm a designer from Los Angeles who has moved here several years ago and wasn't even aware of this house or its apparent demise until an email I just received.

Richard Neutra is among a group of historically important architects from a period of the 50's that not only changed and influenced thinking in architecture but caused a movement forward from what is generally thought of as "cold 50's modernism" in architecture. I would say his buildings represent a transition to that extent, but a very important one. Now, I'm neither a historian or architectural critic, but I'll note that the work of this architect and his contemporaries is part of typical college curriculum in art history, and, also has been on the architectural licensing exam in the history portion.

Please consider doing whatever you can to bring this important landmark into being as one officially designated if that is within your purview.

Here's a couple of paragraphs about this architect and his influences from Study.com:

<https://study.com/academy/lesson/richard-neutra-house-architecture-interiors.html>

I'm sure you'll find the introduction informative; I'd forgotten that he'd worked under Frank Lloyd Wright as their styles clearly diverge, but as noted, the underlying philosophies are consistent: commitment to the client's program, the site and to dealing with those things that nature presents there.

Respectfully,

Howard Barnett
310-951-0307

Email:

Cheryl Ku, Senior Planner for Monterey County: kuc@co.monterey.ca.us
cc to **Emily Creel**, SWCA Environmental Consultants: ecreel@swca.com

Howard Barnett
howdrbarnett@yahoo.com

P18.1

9.4.18 Response to Letter from Howard Barnett

Comment No.	Response
P18.1	The comment describes the role Neutra's design in current college curriculum and supports official designation of the residence. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P19

From: [Mark Beall](#)
To: [Ku, Cheryl x6049](#)
Subject: Connell House
Date: Thursday, September 20, 2018 3:53:54 PM

Please do not allow the Connell House to be demolished, it is an architectural treasure of the highest order!!

P19.1

Mark Beall

MARK BEALL + ASSOCIATES

LANDSCAPE ARCHITECT

7033 W Sunset Blvd, Suite 216
Los Angeles, CA 90028-7525

Cell: 323.683.1450
Phone: 323.465.1450
Fax: 323.465.1458
E-mail: info@mbeall.com
www.mbeall.com

9.4.19 Response to Letter from Mark Beall, Landscape Architect

Comment No.	Response
P19.1	The comment opposes demolition of the Connell House. Please refer to MR-1 regarding Project Preferences. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P20

From: Michael Blatt
To: [reacommments](#)
Subject: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Thursday, September 20, 2018 3:27:20 PM

To whom it may concern:

I am writing to support the preservation of the Connell House in Pebble Beach by Richard Neutra. This house is an exemplary piece of architecture and important piece of California architectural history. Richard Neutra is one of the most important and influential architects to have worked in California and this is one of the finer existing examples of his work. Please do not let this piece of our cultural heritage be destroyed.

P20.1

Thank you

Michael Blatt

FUNG+BLATT ARCHITECTS Inc
3927 N. Figueroa Street
Los Angeles CA 90065
323.225.5865
www.fungandblatt.com

9.4.20 Response to Letter from Michael Blatt

Comment No.	Response
P20.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P21

From: JOSE Vela Castillo
To: ceqacomments
Cc: Ku, Cheryl x6049; ecrvel@swca.com
Subject: CONNELL HOUSE PRESERVATION
Date: Thursday, September 20, 2018 1:07:32 AM
Attachments: jose_vela.png

Dear Ms. Ku,

I'm writing to support the preservation of Connell House, Pebble Beach, designed by Richard Neutra in the 1950s. It is an outstanding example of Neutras at their best, a house carefully integrated in their magnificent environment, featuring an almost perfect modernist design that demands full preservation. Its disappearance will result in an enormous loss not only for the local community and the State of California, but for the United States and the world at large. When I was writing my PhD dissertation on the architecture of Richard Neutra (published as book: Richard Neutra, *Un lugar para el orden* in 2004, <https://www.amazon.com/Richard-Neutra-Estudio-Arquitectura-Coleccion/dp/8447207366>)

I had the opportunity to visit the house site, and I can confirm firsthand the almost perfect adaptation of the house to its place, showing that International Style architecture could be, at the same time, perfectly local. The floating horizontality of the house, with its hovering terraces, adapted perfectly to the sandy environment and at the same time contrasted in its delicate finishing with the greenery. In a word: a masterpiece.

I am assistant professor of design and architecture history at IE School of Architecture and Design (Madrid, Spain), and this is one of the examples I show my students year after year as a model of modern architecture. I hope I can keep doing this for many years to come without needing to add that, sadly, it has been demolished.

So please, choose the **DRAFT EIR Alternative 1: Preservation** to save this irreplaceable asset.

Thank you for your attention and efforts.

Yours sincerely,
José Vela Castillo, PhD Architect

José Vela Castillo
Assistant Professor
Bachelor in Architecture
IE School of Architecture and Design
Campus de Santa Cruz la Real
Cardenal Zúñiga 12
40003 Segovia, Spain

j.vela@faculty.ie.edu
Direct tel.: +34 921 412 186
Main tel.: +34 921 412 410
Fax: +34 921 44 55 93
www.ie.edu



P21.1

9.4.21 Response to Letter from José Vela Castillo, PhD Architect

Comment No.	Response
P21.1	The comment expresses support for the Preservation alternative and describes architectural details of the residence. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P22

9/20/18

RECEIVED OCT 08 2018

County of Monterey
Resource Mgmt Agency-Planning Dept.
Attn:Emily Creel, SWCA Environmental Consultants
1422 Monterey St,C200
San Luis Obispo,Ca 93401

Re: Connell House, Carmel, Ca.

Dear Ms. Creel,

I am writing in support of the decision made in the Draft Environmental Report(EIR)by the Planning Office of Monterey Co. I believe the house which is on California's Historic Register and is a tribute to the legacy of the famous architect, Richard Neutra, is the only of his design in Monterey Co. and should not be torn down.

I am a 58 year resident of Monterey Co. and have been following with great interest in the local newspapers the evolution of the dispute about this historic residence and wish to let you know of my sincere wishes.

Sincerely,



Ellen P. Clarkson
Pacific Grove , CA. 93950

P22.1

9.4.22 Response to Letter from Ellen P. Clarkson

Comment No.	Response
P22.1	The comment opposes demolition of the Connell House. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P23

From: Chris Drayer
To: [reacommments](#)
Subject: Preserve Richard Neutra Connell House
Date: Thursday, September 20, 2018 9:49:30 PM

Dear Planners-

It would be tragic and inexcusable to allow the destruction of this important architectural landmark, the only Richard Neutra house in Monterey county. Please do not allow it's destruction until all avenues for it's preservation can be explored.

Respectfully,
Chris Drayer

P23.1

Chris Drayer ASLA
Landscape Architect
3104 Redwood St.
San Diego CA 92104
Ph. (619)284-0590
C. (619)742-1571

9.4.23 Response to Letter from Chris Drayer ASLA, Landscape Architect

Comment No.	Response
P23.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P24

From: [Brian Glagola](#)
To: [Ku, Cheryl x6049](#)
Cc: [ccqacommments](#)
Subject: EIR Public Comment - Massy Mehdipour House at 1170 Signal Hill Rd, Pebble Beach
Date: Thursday, September 20, 2018 9:31:30 AM

Cheryl Ku, Senior Planner
 Monterey County
 Resource Management Agency - Planning
 1441 Schilling Place, 2nd Floor
 Salinas, CA 93901

Cheryl,

I am writing in strong support of Massy Mehdipour’s proposal to demolition the dilapidated structure that currently exists at 1170 Signal Hill Road and replace it with her newly designed home. The current house should have been demolished a long time ago and it is outrageous how long this has taken. The following is an excerpt from the structural engineer’s evaluation that is referenced in the EIR and this should be included in the main EIR because it shows just how poorly the house was originally designed and built:

“For the purpose of this evaluation we assumed that the building had been restored to its original condition, with the 1993 addition, but without any of the damage or deterioration reported above, or any structural upgrades or enhancements. We determined that the building has the following deficiencies:

1. The walls do not provide adequate strength to resist the specified seismic forces.
2. Several of the upper level walls are discontinuous, i.e., they land on floor joists and are not supported on walls below.
3. The primary lateral resistance for the building is provided by cement plaster (stucco) on the exterior walls finish plaster on interior walls. This is not permitted for buildings exceeding one story in height.
4. Wood framing along the building’s north side does not appear to be anchored to the building foundations.
5. Some framing members supported on posts and walls do not have positive connections to the post or walls.
6. Framing members at the edges of diaphragms are not provided with continuity hardware to resist chord and drag forces.
7. Three walls of the 1993 addition are supported on raised piers rather than a continuous strip footing. There is no detailing indicating positive attachment to the adjacent original structure.”

P24.1

It is important to note that all of the above flaws are based upon the original design and construction. Again, the EIR should include all of the above highly pertinent information in the body of the EIR document. There could not be a clearer case of needing to demolish a house, as the structural report also goes on to say that a reconstruction is needed even under the “Environmentally Superior Alternative.” It is quite disingenuous to call that alternative “preservation” instead of what it really would be, which is reconstruction.

Since the house needs to be demolished and rebuilt no matter what, the only logical conclusion is that the new house be built according to what the current property owners desires, within the zoning and building codes that applies to everyone else. In short, she should then be allowed

P24.2

to exercise her property rights just like all of her neighbors and other property owners in Monterey County.

P24.2
(cont'd)

Please confirm receipt of this email.

Brian Glagola
Monterey County, CA

9.4.24 Response to Letter from Brian Glagola

Comment No.	Response
P24.1	The comment provided is a request to include additional text in the EIR from the Structural Evaluation of the Arthur and Kathleen Connell House, 1170 Signal Hill Road, Pebble Beach, CA prepared on September 19, 2016 by Simpson Gumpertz and Heger. This document was originally incorporated into the EIR by reference and was used to evaluate if the existing features of the original building could be used in a reconstruction. The structural engineering report has been added as Appendix F of the EIR. The information provided in the report provides additional background on the integrity of the house. It will be made part of the administrative record and provided to local decision makers for their consideration. Please also refer to MR-2 for discussion of the use of the Secretary of the Interior's standards for Preservation, Rehabilitation, Restoration, and Reconstruction. See also P33.2 responsive edit to the EIR.
P24.2	Please refer to MR-3 regarding Property Rights.

COMMENT LETTER #P25

From: photos@dennishill.com
To: [reacommments](#)
Cc: [Ku, Charvi x6049](#)
Subject: Neutra House
Date: Thursday, September 20, 2018 3:18:01 PM

Very hard to believe that this house would actually even be considered for demolition.
A thorough HABS documentation is in order regardless of the outcome.

P25.1

Dennis Hill Content Creation
626 345 0670
creator@dennishill.com
www.dennishill.com
<https://dennishill.exposure.co/>



9.4.25 Response to Letter from Dennis Hill

Comment No.	Response
P25.1	The EIR includes requirements in Mitigation Measure HR/mm-1.1 for recordation of the Connell House per the most recent HABS guidelines, consistent with the recommendation in this comment. Identified mitigation measures would apply regardless of the alternative selected, unless noted otherwise in the EIR. Please also refer to MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P26

From: [Morgan Jaybush](#)
To: [regcomments; Ku, Cheryl x6049](#)
Cc: [California Preservation Foundation](#)
Subject: Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Thursday, September 20, 2018 4:04:18 PM

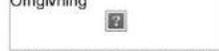
I am writing to you to request that you please do not approve the demolition permit application for the Richard Neutra designed Connell House in Pebble Beach, listed on the California Register of Historic Resources and found eligible for the National Register of Historic Places

The Connell House is a pure example of the modernist design aesthetic. The current Connell House owner's intention is to demolish the house to make way for a new home in its place. As Richard Neutra's architect son Dion Neutra states, "It would be a great tragedy to lose the only authentic Richard Neutra design in all of Monterey County. The Connell House is irreplaceable."

I would also like to request that you please also keep me informed of all future public hearings on this property.

Thanks,

Morgan Sykes Jaybush, LEED AP
Director of Hospitality Projects
Omgivning



724 S. Spring St., Suite 501
Los Angeles, CA 90014
Office: 213.596.5602
Cell: 323.687.8065
<http://omgivning.com>



P26.1

P26.2

**9.4.26 Response to Letter from Morgan Sykes Jaybush, LEED AP,
Director of Hospitality Projects**

Comment No.	Response
P26.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P26.2	The comment requests notification of future hearings regarding the project. The commenter has been placed on a list for future notifications regarding public hearing for this project.

COMMENT LETTER #P27

From: Linda Kade
To: [reqcomments; Ku, Cheryl x6049](#)
Subject: Richard Neutra Connell House
Date: Thursday, September 20, 2018 3:21:31 PM
Attachments: image002.png
image003.png
image004.png
image005.png

Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054

Please, please support the preservation of the Richard Neutra Connell House. It is a classic of modern architecture and deserves recognition and treatment as such.

| P27.1

Thank you,

Linda V. Kade, AIA
Senior Associate
Marx|Okubo Associates, Inc.
444 Spear Street, Suite 205 | San Francisco, California 94105
P: 415.957.9240 | D: 415.696.5950 | C: 415.419.1145
linda_kade@marxokubo.com



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9.4.27 Response to Letter from Linda V. Kade, AIA, Senior Associate

Comment No.	Response
P27.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P28

From: kingcarol@aol.com
To: Ku_Cheryl_x6049
Cc: ecreel@swca.com
Subject: SAVE THE NEUTRA CONNELL HOUSE !
Date: Thursday, September 20, 2018 6:03:54 PM

Dear Ms. Ku —

This letter joins the throngs of those devastated to imagine anything other than preserving the Connell House, designed by Richard Neutra, one of the great American architects of the 20th century.

As you know, Neutra works are revered examples of modernist design, treasured throughout the world for their historical and architectural significance. Yet the unfortunate decisions that have led to the demolition of Neutra structures continue and it is alarming.

Pebble Beach must do everything possible to preserve the Connell House, a worthy example of 20th century architecture that has earned its place on the California State Register of Historic Resources. It is an irreplaceable inspirational example of our cultural and our heritage — for Pebble Beach, for California, and for the United States. Connell House deserves to be experienced by future generations.

Please choose the **DRAFT EIR Alternative 1: Preservation** to save this irreplaceable asset.

Thank you for your attention to this most important matter regarding an irreplaceable historic home in your midst !

-- Carol Soucek King, MFA, PhD
60 El Circulo Drive
Pasadena, California 91105
kingcarol@aol.com

P28.1

9.4.28 Response to Letter from Carol Soucek King, MFA, PhD

Comment No.	Response
P28.1	The comment expresses support for the Preservation alternative and refers to the cumulative loss of Neutra-designed structures. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The cumulative loss of Neutra-designed structures is addressed in Section 4.3.6 of the EIR, Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P29

From: Austin McCormack
To: [reacommments](#)
Subject: Neutra designed house
Date: Thursday, September 20, 2018 5:34:37 PM

I support keeping the Neutra house.
At a minimum, the developer should pay to have it moved to an appropriate location and restored to it's original condition.
I'd consider buying the restored home.

P29.1

Sent from my iPhone

9.4.29 Response to Letter from Austin McCormack

Comment No.	Response
P29.1	The comment expresses support for the Preservation alternative, or an alternative that allows the structure to be relocated and restored in a different location. Relocation of the structure was evaluated as an alternative to the proposed project in Section 5.4.5 and Table 5-1 of the EIR; however, because the residence is partially built into the side of a bluff, a structural evaluation determined that this alternative would not be feasible. Please also refer to MR-1 regarding Project Preferences. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P30

From: [Stephen Montgomery](#)
To: [reacommments](#)
Cc: [Beth Edwards Harris Ph.D.](#); [Susan Stussy](#); [Scott Fieber](#); [Ellie Hight](#)
Subject: Richard Neutra designed Connell House in Pebble Beach
Date: Thursday, September 20, 2018 8:55:34 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas CA 93901

Re: Richard Neutra designed Connell House in Pebble Beach

Dear Ms. Ku:

It's disappointing and frustrating that anyone finds it prudent, desirable or necessary to buy a National Register qualified building of any sort with the intent of demolishing it. Many other options are available for these people of means who want to build new.

The owners should be reminded that, if they have the resources to buy this property, they have the resources to buy a different property that doesn't have a significant work of serious cultural provenance on it with the intent of demolishing it. Property rights notwithstanding the interests of cultural preservation should supersede their interest in demolishing this house and this cultural asset should be protected.

They should and could have made a different decision and not target irreplaceable cultural assets for transient and superficial reasons so the message to the owners should be to get a realtor, put it back on the market, and buy elsewhere. The application to demolish this building should be declined.

Sincerely,

Stephen A. Montgomery
2115 1st Street
Bakersfield CA 93304-2707
661-496-6585

P30.1

9.4.30 Response to Letter from Stephen A. Montgomery

Comment No.	Response
P30.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. The comment further expresses a belief that the current owner bought the Connell House with knowledge of its historical listing. Contrary to this belief, the current owner and project proponent bought the property several years before the <i>Connell House National Register of Historic Places Registration Form</i> was submitted by Kirk and Lamprecht in 2014 for listing. The comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P31

From: Ron Nestor, AIA, LEED AP, NCARB
To: [reacommments; Ku, Cheryl v6049](#)
Subject: Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Thursday, September 20, 2018 4:09:22 PM
Attachments: image48e5ab.PNG
image91bf70.PNG

To Whom it may Concern:

I have just learned of the impending plan to demolish the Richard Neutra-designed Connell House in Pebble Beach. As the only example of one of the greatest American architects within Monterey County, it would be a tragedy to lose this asset. Two weeks ago, at the AIA-Orange County, we were blessed to have a presentation on the restoration of the Neutra-designed Kaufmann House in Palm Springs. The restored house is nothing short of glorious - a testament to the richness of the design genius. The Connell House's design is unique to the region, the only regional example of the architect, and is a prime example of embracing indoor/outdoor living. The house is irreplaceable and I urge those empowered to work to preserve this important resource.

P31.1

Respectfully,

Ronald J. Nestor, AIA

Ron Nestor, AIA, LEED AP, NCARB
Senior Principal

WHA is currently updating our contacts list, kindly assist by sending your vCard to info@whainc.com.



Start with an idea. Think without constraints. Develop and refine it. Add layers of talent and experience, collaborate. Realize the potential and actualize the purpose. Push the boundaries. Join us on our journey as we transform lives and design a better world. All Corners Met.

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**9.4.31 Response to Letter from Ron Nestor, AIA, LEED AP, NCARB,
Senior Principal**

Comment No.	Response
P31.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P32

From: [NLO147](#)
To: [reacommments](#)
Cc: [Ku, Cheryl x6049](#)
Subject: The Neutra-designed house in Pebble Beach
Date: Thursday, September 20, 2018 7:10:09 PM

Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054

I have just learned of the proposed demolition of the Connell House in Pebble Beach that was designed by Richard Neutra. How shocking! It is the only authentic house in Monterey County that was designed by such a prominent mid-century modern architect.

When I attended a California Preservation Conference in Monterey, I was fortunate enough to be on a tour that featured that house. It is amazing. No wonder it is listed on the California Register of Historic Places and is also eligible for listing on the National Register!

I would strongly urge you to deny any request to have this house demolished. It would be a great loss to Monterey County and also California.

Sincerely,
Nancy Oliver
147 Belvedere Ave.
San Carlos, CA 94070

P32.1

9.4.32 Response to Letter from Nancy Oliver

Comment No.	Response
P32.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P33

From: [Linda Provance](#)
To: [Ku, Cheryl x6049](#)
Cc: [ceqacomments](#)
Subject: Massy Mehdipour Project at 1170 Signal Hill Road in Pebble Beach
Date: Thursday, September 20, 2018 11:06:19 AM

Monterey County
Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901
Attn: Cheryl Ku, Senior Planner

Cheryl,

I am writing to express my support for the approval of the proposed Massy Mehdipour project at 1170 Signal Hill Road in Pebble Beach.

After reading the EIR it is clear that the house must be demolished immediately and replaced with the proposed project. The reasons are quite clear:

1) The historical significance of this house, even if it was in mint condition, is tenuous at best. The historians cannot even agree according to the many reports from different historians referenced in the EIR. At best, its significance is very limited.

P33.1

2) Given the condition of the house as detailed in the EIR's structural report, it needs to effectively be demolished no matter what. It is not preservation, but reconstruction that is needed now. To call it anything else is quite misleading and inaccurate.

P33.2

3) Once the house is demolished, it loses all historical integrity (which it does not even have in its current condition), but all you could then do is build a replica.

P33.3

4) There is no justifiable reason to deny Mehdipour's property rights in favor of demanding that she build a replica of the former house.

P33.4

5) The proposed house complies with the zoning ordinances and goes beyond by restoring a lot of dune habitat.

P33.5

For the public benefit and the sanity of property owners throughout

P33.6

Monterey County, please exercise common sense and fairness and allow the development of a harmonious home in the place of the current dilapidated building.

P33.6
(cont'd)

Please confirm receipt of this email.

Sincerely,

Linda Provance
Monterey County, CA

9.4.33 Response to Letter from Linda Provance

Comment No.	Response
P33.1	The comment questions the historical significance of the residence, given the disagreement among historians who have evaluated the structure. Please refer to MR-2 regarding Historical Resources. The house has been determined eligible for the state and federal registers and is, therefore, a historical resource for purposes of CEQA.
P33.2	The comment relates to the condition of the house and the extent of reconstruction that would be required. Please refer to MR-2 regarding Historical Resources and MR-4 regarding Baseline Conditions. The condition of the residence and the extent of reconstruction that would be required under the Preservation alternative is described in Section 5.6.1.3 of the EIR. No changes to the EIR are necessary.
P33.3	The comment asserts that demolition of the house would eliminate its integrity and require the construction of a replica. The Preservation alternative does not propose construction of a replica; however, the EIR notes that reconstruction would be similar to that of original construction. The existing features and components that could be maintained in a reconstructed residence are identified in Section 5.6.1.3. Please refer to MR-2 regarding Historical Resources and MR-4 regarding Baseline Conditions. The condition of the residence and the extent of reconstruction that would be required under the Preservation alternative is described in Section 5.6.1.3 of the EIR. No changes to the EIR are necessary.
P33.4	The comment suggests building a replica of the house would infringe on the applicant's property rights. Please refer to Response to P33.3, above, and MR-3 regarding Property Rights.
P33.5	This comment states that the proposed project is compliant with the current zoning ordinance and the proposed restoration efforts are adequate. The proposed project's consistency with applicable plans and policies is discussed throughout Chapter 4 of the EIR and was found to be consistent with most policies. However, several potential inconsistencies were identified, including policies in the Del Monte Forest Area Land Use Plan and the Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance) prohibiting structures that extend above the primary ridgeline and policies for the protection of Environmentally Sensitive Habitat Areas (ESHA). The EIR determined that potential impacts to ESHA would be less than significant with implementation of identified mitigation measures based on the disturbed nature of areas to be converted and the beneficial impact of proposed onsite dune restoration. Offsite coastal due restoration (or in-lieu fees) are another mitigation that will minimize potential impacts to ESHA (BIO/mm-3.9) and was added to the FEIR in response to concern from the California Coastal Commission (Comment Letter #A2). In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. (No changes to the EIR are necessary. All comments will be made part of the administrative record and provided to local decision makers for their consideration.
P33.6	The comment suggests a preference for the proposed project. Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights. No changes to the EIR are necessary. All comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P34

From: [Esmalley](#)
To: [reacommments; Ku, Cheryl x6049](#)
Subject: Preservation
Date: Thursday, September 20, 2018 3:59:40 PM

Regarding signal hill LLC (mehdipour) PLN 100338. SCH #2105021054

To whom it may concern: I strongly urge the community to prevent the tear down of this iconic and historic structure. While owners should generally have the right to do what they want on their property, preserving a unique example by a famous mid century modern architect should take precedence. Knowing what this home is, I can't understand why the owner would buy this property in the first place if his intent was to tear it down. As a supporter of mid century modern architecture and its preservation in Palm Springs CA, I request you block this demolition. As we all learn to our regret later, once a treasure like this is gone, there is no second chance!

Sincerely, Elizabeth Smalley MD

P34.1

Sent from my iPhone

9.4.34 Response to Letter from Elizabeth Smalley, MD

Comment No.	Response
P34.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P35

From: [Bill Wolpert](#)
To: [reacommments; Ku, Cheryl v6049](#)
Subject: Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Thursday, September 20, 2018 4:59:01 PM
Attachments: [image001.png](#)

I have family in Carmel and have enjoyed riding up to Neutra's Connell House while taking in the 17 Mile Drive on my bike. It is such a classic. Yes, it is suffering from some neglect, but the home is irreplaceable. Certainly the owner knew that it was historically significant when they bought it. It should not be allowed to be demolished by neglect or by intent. Please save this landmark. Neutra is one of California's great architects. Don't let Carmel become all McMansions.

I am a Planning Commissioner here in Petaluma. I have a sense of the issues surrounding historic preservation. Time and time again, we find that good architecture is worth saving. Historic buildings draw people in and they enrich our lives.

And remember, "The 'greenest' building is the one you don't have to build."

Thank you for your consideration.

-Bill Wolpert


GREEN BUILDING ARCHITECTS
William B. Wolpert, Architect
7 Fourth Street, Studio 61
Petaluma, CA 94952
707.789.0822
GreenBuildingArchitects.com
Check out our new website!

P35.1

9.4.35 Response to Letter from Bill Wolpert, Architect

Comment No.	Response
P35.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The question of whether the project applicant knew of the residence's historic value when she purchased the property is not a CEQA issue. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P36

From: [Arturo Fribourg](#)
To: [ceacommments](#)
Cc: [Ku_Chervi_x6049](#)
Subject: Signal Hill LLC (Mehdipour) PLN (00338); SCH#2015021054
Date: Friday, September 21, 2018 6:34:43 AM

Ladies and/or gentlemen:

It would be tragic to loose any Richard Neutra structure let alone this only example in Pebble Beach. His designs have left a landmark impression in California and should not be touched other than to respect them by restoring them. When I was studying architecture at The University of Southern California, in the late 1950's and early 1960's Mr. Neutra had, by far, the most influence on my design education. His design philosophy guided me through a successful private architectural career that lasted over 30 years. I have retired from active practice but am still amazed by the beauty and simplicity of the Neutra design vocabulary. It is dateless and always current,

Please do not allow this exquisite example to be removed. Save the Connell House!

Arturo Fribourg
Architect, Artist

P36.1

9.4.36 Response to Letter from Arturo Fribourg, Architect, Artist

Comment No.	Response
P36.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P37

From: Catherine Mahon
To: [reacommments](#)
Cc: [Ku_Cheryl_x6049](#)
Subject: Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Friday, September 21, 2018 8:57:47 AM

Dear Madam/Sir:

The fate of the Richard Neutra designed Connell House is soon to be determined by you. Already listed on the California Register of Historic Resources and found to be eligible for the National Register of Historic Places, this house has clearly met the standards for preservation.

Our cultural history in California must include the arc of development of architecture including the examples of the International Style as reflected in the work of Richard Neutra.

Already the following houses have fallen under demolition :

Largent House, San Francisco, 2017

Maslon House, Rancho Mirage, 2002

VonSternberg House, Northridge, 1972

A better resolution is reflected in the Kronish House, Beverly Hills

“Richard Neutra’s Kronish House continues to seem like the subject of a preservationist’s fairytale. Saved from the brink of destruction in 2011, the Beverly Hills home has been painstakingly restored and rehabilitated over the last few years, and now the property has received a prestigious honor award from the American Society of Landscape Architects.” Los Angeles Curbed 10/6/2016

Please grant a similar fate for the Connell House and follow the example of preservation not demolition.

Thank you,
Catherine Mahon
Palm Springs, CA

Sent from my iPhone

P37.1

9.4.37 Response to Letter from Catherine Mahon

Comment No.	Response
P37.1	The comment expresses support for the Preservation alternative and provides examples of the previous cumulative loss of Neutra resources in the state. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. Cumulative impacts on historical resources are discussed in Section 4.3.6 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P38

From: PS 1021
To: [reacommments: Ku, Cheryl v6049](#)
Subject: Richard Neutra designed Connell House in Pebble Beach
Date: Friday, September 21, 2018 9:40:07 AM

Knock it down it's an eye-sore.
It's HORRIBLE.
Bridget McCormick

| P38.1

Benedicite Deo Omnipotenti, Patri et Filio et Spiritui Sancto, descendentem super nos et universam creaturam.
Amen

9.4.38 Response to Letter from Bridget McCormick

Comment No.	Response
P38.1	The comment states a preference for demolition. Please refer to MR-1 regarding Project Preferences. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P39

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

September 21, 2018

Supervisor Mary Adams
Monterey County District 5
1200 Aguajito Road
Monterey, CA 93940



Dear Supervisor Adams:

This letter is in support of the retention and restoration of the Richard Neutra designed Connell House in Pebble Beach. After review of the the latest DIER, Project Title: Signal Hill LLC (Medhipour) PLN100338, SCH # 2015021054, I would respectfully request your full support of requiring retention and and restoration of this significant residential design by world famous architect Richard Neutra.

More particularly I support the conclusion of the DEIR that recommends the the Neutra designed home and its surrounding grounds be approved, as it is more closely associated with the CEQA mandate that both historic properties and their immediate environments establish the historic context of historic resources. The Connell House, in its returned natural dune environment will also retain and enhance the physical character of the world famous 17 mile drive, off which it is physically visually located.

The DEIR correctly notes that replacing an identified historic resource with a new design is no equivalent to the original, nor does it conform to accepted historic preservation policy or practice, as codified in CEQA.

At the original meeting of the HRRB, when Dr. Kirk presented his findings that the Connell House was historically significant, it was recommended to the owners that retention and rehabilitation, as a guest unit, was a viable alternative to demolition. At that time, as I remember, the house was still occupied, or at least habitable. Once the historic determination was made for historic designation the condition of the historic property began to decline. The worst offence was the deliberate vandalism of the house itself "by persons unknown", but, based on the nature of the damage done, those unknown persons clearly understood enough engineering to induce serious damage to the building. Efforts on the part of the County to stabilize that damage, were subsequently subverted by the owners after adequate shoring was introduced to protect the building, and later removed and replaced by much less substantial support material.

To curtail any further damage to this significant historic property the owners persistent lack of cooperation and pattern of evidence of intended deterioration needs to be documented, and curtailed by more adequate security, both physical and with electronic (camera) monitoring.

P39.1

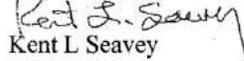
HISTORIC PRESERVATION MUSEUM INTERPRETATION

As attorney Anthony Lombardo stated in public testimony, expressing his concern that the Connell House “was in danger of loss due to intentional neglect”, he recommended to the HRRB that the current owner be put on notice that the neglect could not continue. However, it appears that it has.

The Connell House has been determined eligible for both state and national historic registers. Because of this determination, the owner must treat the property as if it were listed on these registers. The HRRB members understand, based on their review of both Dr. Kirk’s and leading Neutra historian Barbara Lamprecht’s documentation, that loosing the Connell House to needless demolition would be a loss for the entire County of Monterey. Perhaps, of even more importance, it would be a loss for the rule of law, by allowing wealth and power to override established legal precedents and due process.

P39.1
(cont'd)

Respectfully Submitted,


Kent L Seavey

9.4.39 Response to Letter from Kent L. Seavey

Comment No.	Response
P39.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The EIR determined that the Preservation alternative would restore the visual character of the surrounding areas, including 17-Mile Drive, in Section 5.6.1.1. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P40

From: [Oliver](#)
To: [reacommments](#)
Cc: [Ku, Cheryl x6049; ecree1@swca.com](#)
Subject: Connell House
Date: Sunday, September 23, 2018 4:07:05 AM

Dear Ms. Ku,

I am writing to to join the chorus of concerned citizens urging the preservation of the Connell House, one of the few remaining Neutra designed masterpieces not to fall before the wrecking ball.

Richard Neutra is an icon of 20th century architecture and design in the same way that Richard Diebenkorn or Joan Mitchell is to modern art. Imagine the outcry if an art collector decided to alter or even destroy one of *their* great works that they happened to own, just because they could! People from around the world would do anything to help prevent such a crime from taking place. The Connell House is in the same way a masterpiece and **MUST** be preserved!

Please choose DRAFT EIR Alternative 1: Preservation, to save this irreplaceable cultural and historic asset.

Thank you for your consideration.

Best regards,

Oliver Dawson

P40.1

9.4.40 Response to Letter from Oliver Dawson

Comment No.	Response
P40.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P41

RECEIVED OCT 01 2018

County of Monterey Resource Management Agency
Planning Department c/o Emily Creel SWCA Environmental Consultants
1422 Monterey Street C200 San Luis Obispo Ca 93401

September 23, 20018

We are writing in support of the conclusion of a recent Draft Environmental Impact Report (EIR) regarding the Richard Neutra Designed Connell House submitted by the Planning Office of Monterey County that found the preservation alternative to be the superior one.

Before moving to Monterey County about a year ago we lived in Southern California where we have a friend who purchased a Neutra house and were pleased to be able to make it their home.

Since the Connell house is the only one in Monterey County it would be unfortunate to see it torn down, and furthermore, preserving the house will have less environmental impacts. We would be disappointed to watch Monterey County lose its unique historical character and the open spaces which make it such a great place to live as well as visit.

We are interested in preserving Monterey's historic sites and believe Neutra's Legacy is an importance part of that. We are very much in support of the EIR that supports the Connell house being preserved rather than being torn down.

James and Nadene Ivens
651 Sinex Ave
Pacific Grove, CA 93950

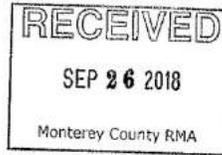
P41.1

9.4.41 Response to Letter from James and Nadene Ivens

Comment No.	Response
P41.1	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The commenter notes that preservation would have less environmental impact. Environmental impacts resulting from the proposed project and project alternatives were analyzed and discussed in the EIR. The comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P42

M. Michelson
821 Winthrop Drive
Alhambra, CA 91803



September 23, 2018

Cheryl Ku, Senior Planner, Monterey County
Resource Management Agency -- Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Re: **Signal Hill LLC (Medhipour) PLN100338, SCH # 2015021054 (Neutra Connell House)**

I was shocked to hear that the owner of *Neutra Connell House* in Pebble Beach wants to demolish the house. I am writing to respectfully request the local elected officials consider the heritage not just of Pebble Beach, but of California to protect the house and not let the owner demolish or alter the house.

P42.1

When one is so fortunate to buy a home built by an illustrious and well-known architect, I would assume the owner appreciates the significance of that structure and would maintain it not demolish it. If the owner out-grows the house, aren't there plenty of other homes to move to and/or lots to build on? Why not keep the home if possible as such, and purchase something else, if financially possible.

P42.2

Nevertheless, it is also the responsibility of elected leaders to maintain artistic heritage in the region.

His style is distinctive and consistent. That alterations to the Connell House since it was completed in 1958 are limited makes this an exceptional candidate for keeping, and that Neutra was a pioneering modernist architect featured in numerous museum exhibitions, too.

P42.3

According to the D-EIR, "The Connell House is an intact and representative example of the Modernist architectural idiom known broadly as the "International Style," designed by internationally renowned Modernist architect Richard Neutra."

I didn't know there WAS a Neutra house in Pebble Beach. I attended a primary school designed by Richard Neutra (Kester Avenue School, Sherman Oaks, LA County) and to this day I remember my 3rd grade classroom and the style of entire campus. It was 30 years later I discovered it was a Neutra structure and I'm so glad it's still there. Now, having heard there is a Neutra house in Pebble Beach, that sticks out as one reason for me to come visit and drive by to see the house in its surrounding environment and how it is designed with the terrain, as Neutra designed it.

P42.4

We in Alhambra (San Gabriel Valley of Los Angeles area) suffer from having city councilmembers that don't even make developers get an EIR. Our historic structures are being torn down left and right to make way for Home-Depot-McMansions and business enterprises. We don't have a preservation ordinance or even an up to date survey of what is still existing. It is my hope that the legislators up north have more common sense and understand their responsibility to the past, present and future heritage of Californians.

P42.4
(cont'd)

Please protect the Neutra house for us, thank you.

Sincerely,



Melissa Michelson

Board member of Alhambra Preservation Group

Proud California native



CC:

ceqacomment@co.monterey.ca.us

kuc@co.monterey.ca.us

District5@co.monterey.ca.us

9.4.42 Response to Letter from Melissa Michelson

Comment No.	Response
P42.1	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P42.2	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P42.3	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P42.4	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P43

From: [Oliver Dawson](#)
To: [Oliver Dawson](#)
Cc: [ccqacommments; Ku, Cheryl x6049; ecreel@swrca.com](#)
Subject: 09-23;; Connell House Ku d
Date: Sunday, September 23, 2018 10:32:32 AM

Dear Ms. Ku. In case it's not obvious, Oliver is speaking for the people of CANADA; Toronto, that is!

P43.1

On Sep 23, 2018, at 4:07 AM, Oliver <odawson@sympatico.ca> wrote:

Dear Ms. Ku,

I am writing to to join the chorus of concerned citizens urging the preservation of the Connell House, one of the few remaining Neutra designed masterpieces not to fall before the wrecking ball.

Richard Neutra is an icon of 20th century architecture and design in the same way that Richard Diebenkorn or Joan Mitchell is to modern art. Imagine the outcry if an an art collector decided to alter or even destroy one of *their* great works that they happened to own, just because they could! People from around the world would do anything to help prevent such a crime from taking place. The Connell House is in the same way a masterpiece and **MUST** be preserved!

Please choose DRAFT EIR Alternative 1: Preservation, to save this irreplaceable cultural and historic asset.

Thank you for your consideration.

Best regards,

Oliver Dawson

9.4.43 Response to Letter from Dion Neutra

Comment No.	Response
P43.1	The comment clarifies that commenters in favor of preservation of the Connell House have been made from Toronto, Canada. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P44

From: Daniela de Sola
To: [ceaacomments](#)
Cc: [Ku, Cheryl x6049; ccruel@swca.com](#)
Subject: Connell House comments
Date: Monday, September 24, 2018 2:28:18 PM

Dear Monterey County Planning,

As a citizen and as an architect, I am concerned over the proposed demolition of the Connell House.

Carmel should be proud of having the work of world-renowned architect Richard Neutra in their territory.

I am a proponent of not preserving everything just because it is over 50 years old, but we should be able to recognize when we come upon a work of architecture that is truly significant and timeless and merits preservation. The Connell House is such a structure.

I urge Monterey County Planning to take the conclusions of the Draft EIR seriously.

Please consider supporting Alternative 1: Preservation, not demolition!

Sincerely,

Daniela de Sola

desola.barnes
architects

P.O. Box 223386
Carmel, CA 93922
Office: 831.624.2165
Mobile: 831.238.2310
Email: dani@desolabarnes.com
www.desolabarnes.com

P44.1

9.4.44 Response to Letter from Daniela de Sola

Comment No.	Response
P44.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P45

From: [Thalia Lubin](#)
To: [recomments; Ku, Cheryl v6049](#)
Subject: Connell House
Date: Monday, September 24, 2018 1:52:08 PM

The Connell House is a pure example of the modernist design aesthetic. As Richard Neutra's architect son Dion Neutra states, "It would be a great tragedy to lose the only authentic Richard Neutra design in all of Monterey County. The Connell House is irreplaceable."

As an architect, I am urging you to please reconsider the application to demolish this important and unique structure and find a way to save this house. It is part of the cultural and historic fabric of Monterey County and deserves preserving for future generations.

Thank you for your consideration.

Thalia Lubin

Stephen & Thalia Lubin, Architects
11 Palm Circle
Woodside, CA 94062
650/851-4234
www.stlubin.net

P45.1

9.4.45 Response to Letter from Stephen & Thalia Lubin, Architects

Comment No.	Response
P45.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P46

Emily Creel

From: Raymond Neutra (via Google Drive) <raymondneutra@gmail.com>
Sent: Monday, September 24, 2018 6:06 PM
To: Emily Creel
Cc: myazdani@cannondesign.com; jeffrebecom@comcast.net; forthecolors@comcast.net; klseavey@sbcglobal.net
Subject: IMG_7508.jpg, IMG_7520.jpg + 6 more items

Raymond Neutra has shared the following images:

-  IMG_7508.jpg
-  IMG_7520.jpg
-  IMG_7521.jpg
-  IMG_7514.jpg
-  IMG_7507.jpg
-  IMG_7515.jpg
-  IMG_7517.jpg
-  IMG_7513.jpg



Today at the UCLA Neutra Archive, I discovered these photos of the endangered Connell house, many of them taken by Arthur Connell, the client. He was a photographer and friend of Bret Weston. Many of these have never been published. A set of legends in German suggest that my father wanted to publish them but didn't get around to it, or we don't have the magazine.

P46.1

Google Drive: Have all your files within reach from any device.
Google LLC, 1600 Amphitheatre Parkway, Mountain View, CA 94043, USA













9.4.46 Response to Letter from Raymond Neutra

Comment No.	Response
P46.1	The comment provides historical photos that will be made part of the administrative record and provided to local decision makers for their consideration. No changes to the EIR are necessary.

COMMENT LETTER #P47

From: [Samantha Rose](#)
To: [Ku, Cheryl x6049; ceagacommments](#)
Subject: Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Monday, September 24, 2018 9:32:29 AM

Dear Ms. Ku,

I am writing in support of preserving Neutra's Connell House in Pebble Beach. I fell in love with Neutra's designs while living in LA and it would be terrible to lose one of the few examples of his work in Northern California.

Please help save this beautiful example of Modernism from demolition.

Thank you.

Best,

Samantha Rose

--

Samantha Rose
Designer

T 415.391.7918 x118
D 415.901.4918
samantha@TEFarch.com

TEF Design
1420 Sutter St, San Francisco, CA 94109
TEFarch.com



P47.1

9.4.47 Response to Letter from Samantha Rose, Designer

Comment No.	Response
P47.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P48

From: [Daryl Hawkins](#)
To: [Ku, Cheryl x6049](#)
Cc: ecreel@swca.com
Subject: Connell House by Richard Neutra
Date: Tuesday, September 25, 2018 9:57:16 AM
Attachments: [20180925095109627.pdf](#)

My thoughts on the Connell House in Pebble Beach, by Richard Neutra, architect

Daryl Hawkins, AIA
JHW Architects, Inc
2400 Garden Road, Suite C
Monterey, CA 93940
drayl@jhwarch.com

JHW ARCHITECTS, INC. ■
 DARYL L. HAWKINS, AIA ARCHITECT C-8269 DOUGLAS ROBERTS, AIA ARCHITECT C-18606
 2400 GARDEN ROAD SUITE C MONTEREY, CA 93940 (831) 649-1701 FAX 649-3072 WEB SITE: jhwarch.com

September 25, 2018

Cheryl Ku
 Senior Planner, Monterey County
 Resource Management Agency – Planning
 1441 Schilling Place, Second Floor
 Salinas, CA 93901



RE: Richard Neutra and his Connell House in Pebble Beach, 1170 Signal Hill Rd

Dear Ms. Ku,

I wish to write and support the historic importance of this residence in our local area in Pebble Beach. I am a local person growing up in Monterey and was a graduate at Monterey High School with a desire to follow a career in Architecture. While I was at MHS and the drafting classes there, I was able to Intern with Joseph Whyte, a local architect and firm following the influence of Frank Lloyd Wright. I pursued this profession as an architectural student at Cal Poly, San Luis Obispo, and was able to return here to Monterey to a job with a beginning firm that became Davis Jacobowsky Hawkins Architects. I have now been with this firm in Monterey as a partner for 48 years, first as a partner and then sole owner for the last 20 years as the other partners retired. I became President of the Monterey Bay AIA Chapter in 1982 after serving on the Board for 7 years.

While I was at Cal Poly in 1965 to 1970 we were very much in appreciation of this West Coast leader of the international style in the California area. We were blessed to have Richard Neutra come to Cal Poly and speak to us several times while I was there. On one of our student field trips to the Los Angeles area we were provided a tour of his own residence and office in the Silver Lake area of LA.

In 1953 Frank Lloyd Wright came and spoke at our inaugural meeting to form the Monterey Bay Chapter of the American Institute of Architects. Frank Lloyd Wright was in the area as his Walker House on Carmel Beach was under construction. The Connell House was finished in 1958, just before the death of Frank Lloyd Wright in 1959. It was Richard Neutra who took over the leadership and example to lead us in the understandings and beginnings on the West Coast of the emerging "International Style" at that point. In 1977 he was awarded the highest honor for an architect, the AIA Gold Metal award.

As the only example of his work in our Central Coast area, it would be a shame to lose this fine example of Richard Neutra's work. I would urge that this important piece of history be saved.

Sincerely,

 Daryl Hawkins, AIAe

P48.1

9.4.48 Response to Letter from Daryl Hawkins, AIA

Comment No.	Response
P48.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P49

From: [Anita Madison](#)
To: [Ku, Cheryl x6049](#)
Subject: Fw: Fwd: Anita Email
Date: Tuesday, September 25, 2018 5:30:20 AM

Cheryl Ku
Senior Planner
Monterey County
Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Dear Ms. Ku,

I am writing in support of the approval of Massy Mehdipour's proposed project at 1170 Signal Hill Road in Pebble Beach.

P49.1

The EIR makes it very clear that the only fair and reasonable thing to do is allow her to demo the existing structure and build her new house.

Any claim that this house has much historical significance is dubious at best. It should be highlighted in the body of the EIR what shows up in the reports referenced in the EIR: that many historians have widely differing opinions on the historical significance of this house. The only logical conclusion is that its historical significance is very limited and debatable.

P49.2

What is not debatable is the current condition of the house, and how poorly it was designed and built from the beginning especially considering its location. The detailed structural report makes it clear that it must be demolished and reconstructed. Even the "Environmentally Superior Alternative" entails reconstruction, not preservation.

P49.3

Since it needs to be demolished, it would then lose whatever trace of historical integrity it had, and a new house needs to be built.

Once we're left with building a new house, the wishes of the property owner should supersede the building of a replica, provided the new house complies with the building code of course.

P49.4

The neighborhood will benefit far more if you exercise good judgement and basic decency and allow the development of a

new harmonious house that replaces the current condemned building.

P49.4
(cont'd)

Sincerely,

Anita Madison
Seaside
Monterey County, CA

9.4.49 Response to Letter from Anita Madison

Comment No.	Response
P49.1	The comment expresses support for the proposed project. Please refer to MR-1 regarding Project Preferences. The comment suggests that the EIR established the proposed project as the only fair and reasonable choice. The EIR evaluated several different project alternatives, including the Preservation alternative, which would reduce significant impacts to historic resources, visual resources, and ESHA. It is the responsibility of the decision-making body to determine if a project alternative is feasible based on economic, legal, social, technological and other considerations. (CEQA Guidelines section 15091(a)(3).) Per Section 15093 of the State CEQA Guidelines, the decision-making body may elect to adopt a Statement of Overriding Considerations to approve the project as proposed, select an alternative, or select a specified combination of particular elements identified in Chapter 5, Alternatives Analysis, as the approved project. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P49.2	Please refer to MR-2 regarding Historical Resources and MR-4 regarding Baseline Conditions. The comment accurately states that historians have disagreed about the significance of the Connell House; however, under CEQA, "historical resource" is defined to include a resource listed in or determined to be eligible for listing in the California Register of Historical Resources (CRHR) (CEQA Guidelines section 15064.5(a)(1).) The Connell House is listed on the CRHR and has been determined eligible for the National Register of Historic Places. Its eligibility is supported by, among other things, information contained in the <i>Connell House National Register of Historic Places Registration Form</i> (Kirk and Lamprecht 2014) and its formal determination of eligibility for the NRHP (Roland-Nawi 2014a). The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P49.3	Please refer to MR-4 regarding Baseline Conditions. The current condition of the house is not the CEQA baseline but is discussed in Section 5.6.1.3 of the EIR (and elsewhere) to describe the extent of construction that would be required under the Preservation alternative. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P49.4	The structural report determined that the Connell House, thought presently stable in the absence of severe storms or earthquakes, is unsafe for occupancy. However, the condition of the structure will continue to deteriorate. Therefore, the structural report recommended abatement of the structure, either through demolition, repair, or more thorough and permanent stabilization. The Preservation alternative would constitute permanent stabilization. The extent of repairs that would be necessary is described in Section 5.6.1.3 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P50

Emily Creel

From: Raymond Neutra <raymondneutra@gmail.com>
Sent: Tuesday, September 25, 2018 6:27 AM
To: Emily Creel
Subject: Draft EIR for Mehdipour-Connell House
Attachments: MyEIR9-25-18.doc

Dear Ms. Creel, I attach a letter in support of the conclusions of the Draft EIR on the Mehdipour-Connell house designed by my father. Richard Neutra
Raymond Richard Neutra MD Dr.PH

RAYMOND RICHARD NEUTRA M.D. Dr. PH
651 Sinex Avenue, K115
Pacific Grove, CA 93950
raymondneutra@gmail.com
September 25, 2018

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401
Via email: ecreel@swca.com

Dear Ms. Creel,

I agree with the conclusion of the Draft EIR that the best solution for the neighborhood, for the local ecology and for Monterey’s historical legacy is the preservation of the home and landscape that my father designed for Arthur and Kathleen Connell half a century ago. As you point out it is eligible for the National Register and is on the California Register of Historic Places.

P50.1

A few days ago, in the UCLA Neutra Archive, I reviewed the correspondence between the Connells and my father and was struck by the respectful way that he paid attention to the needs, desired color palette and budget of his clients, the privacy of the neighbors, the appropriate local vegetation for the landscaping and the legal and esthetic requirements of Pebble Beach and Monterey County. The plans were approved by the county for structural matters and for esthetics by San Francisco architect Gardner Dailey on behalf of Pebble Beach.

P50.2

The county needs to set a clear precedent in this case to deter disrespectful outsiders who wish to ignore historical stewardship and environmental and neighborhood context.

P50.3

Arthur Connell was a skilled photographer and companion to Brett Weston, whose career my father had helped launch in the 1930’s. To my surprise I discovered a number of beautiful photographs of the house and its surroundings taken by Arthur Connell that had never been published. I attach two of them.

P50.4

Sincerely yours.

Raymond Richard Neutra MD Dr.PH



P50.4
(cont'd)



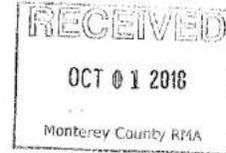
9.4.50 Response to Letter from Raymond Richard Neutra MD Dr.PH

Comment No.	Response
P50.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P50.2	The comment provides historical information regarding Neutra's approach to the design of the Connell House as documented in the UCLA Neutra Archive. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P50.3	The comment requests that the County set a clear precedent for historical stewardship and environmental and neighborhood context. Please refer to MR-1 regarding Project Preferences. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P50.4	The comment provides photographs of the Connell House which commenter states were taken by Arthur Connell. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P51

25 September 2018

Cheryl Ku, Senior Planner
Monterey County, Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



Re: Richard Neutra Connell House

Ms. Ku:

As a lifelong architectural history enthusiast, museum curator and administrator, and appreciator of the cultural heritage of California, I write as a voice of **support for the preservation of Richard Neutra's Connell House** in Pebble Beach. Americans across the country have lost urban, rural, and architectural icons in great quantity—a veritable tsunami of loss—and too often this has occurred through deliberate action. I can recall almost no circumstances in which the new construction has been an improvement over the historic building that was razed. It is heartbreaking enough when losses occur through disaster or accident; opposition must be fierce in the face of short-sighted cultural destruction that is avoidable.

I and three friends had the privilege only last week of meeting Dion Neutra and seeing the houses in the extraordinary Silver Lakes neighborhood in Los Angeles. I should mention that I did not learn of the threat to Connell House until today, *after* our meeting with Mr. Neutra. During our visit, workmen were busy with restoration efforts on one of the houses we saw. The elegance of the design certainly warranted the attention, ensuring that Neutra's exceptional mid-century Modern achievement remains accessible.

Please add my sincere advocacy for preservation of Connell House to that of many others—whether they know of this particular threat to our collective cultural heritage or not. Please bring to bear any tool available to save icons such as this, which individuate our environment and reflect our best creative achievements.

Cordially,

A handwritten signature in black ink, appearing to read "Robyn G. Peterson".

Robyn G. Peterson
16750 Lake Knoll Parkway
Riverside, CA 92503

P51.1

9.4.51 Response to Letter from Robyn G. Peterson

Comment No.	Response
P51.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P52

From: [Tony Agosta](#)
To: [Ku, Cheryl x6049; acreel@swca.com; ceqacommments](#)
Subject: 1170 Signal Hill Road Home...
Date: Wednesday, September 26, 2018 6:05:16 PM

To Whom It May Concern

I am writing to cast my vote for approval of the Massy Mehdipour house at 1170 Signal Hill Road in Pebble Beach.

Based upon the details presented in the EIR, the house lacks historical integrity given all the damage done including decades of oceanfront weather and the partial demolition ordered by the County in the preservation permit. Even if the house was in great shape, the historical significance of the house is minor.

P52.1

Given the aforementioned, and some simple mitigation measures available, the County should make the overriding consideration that the house needs to be razed and replaced with the new house which is definitely in harmony with the setting and actually on par with many other large houses in the area.

P52.2

Preservation of what remains of the house would mean reconstruction. Trying to require the owner to build a replica would be totally unwarranted and a blatant violation of her property rights.

P52.3

The Draft EIR spells out an easy solution, which is to create a "web page will document the house, its history, construction materials, and features, at baseline conditions, including a video tour of the Connell House to be completed prior to any demolition; architectural drawings; current and historic photographs; and background material such as oral histories with individuals with knowledge of the Connell House."

P52.4

I sincerely hope you take all of the above into consideration.

Thank you,

Tony Agosta
Pacifica, CA

9.4.52 Response to Letter from Tony Agosta

Comment No.	Response
P52.1	The comment contends the historical significance of the Connell House is minor. Please refer to MR-2 regarding Historical Resources and MR-4 regarding Baseline Conditions. The historic significance of the house is recognized. The Connell House is listed on the CRHR and has been determined eligible for the National Register of Historic Places. As such, it also meets the definition of “historical resource” under CEQA. The current condition of the house is not the CEQA baseline but is discussed in Section 5.6.1.3 of the EIR (and elsewhere) to describe the extent of construction that would be required under the Preservation alternative. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P52.2	The comment supports County adoption of a statement of overriding considerations to allow demolition of the Connell House and development of the proposed project. Please refer to MR-1 regarding Project Preferences. Per section 15093 of the State CEQA Guidelines, the County may elect to adopt a Statement of Overriding Considerations if the County finds that specific economic, legal, social, technological or other benefits of the project outweigh the identified significant and unavoidable impacts of the project. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P52.3	The comment suggests being forced to build a replica of the structure would be a violation of property rights. Please refer to MR-3 regarding Property Rights. As described in Section 5.6.1.3, the Preservation alternative would require construction activities similar to that of original construction. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P52.4	The comment references feasible mitigation identified in the EIR and indicates a preference for the proposed project. Please refer to MR-1 regarding Project Preferences. The comments do not require changes to the environmental document. However, all comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P53

ALAN HESS
architect
4991 CORKWOOD LANE
IRVINE, CA 92612
949 551 5343
alanhes@gmail.com

Sept. 26, 2018

To: Cheryl Ku
Senior Planner, Monterey County

Re: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054

Dear Ms. Ku:

I strongly urge the County of Monterey to assure the preservation of the Connell house by Richard Neutra. This is unquestionably an excellent piece of architecture by an architect who is well-regarded internationally. It represents the high quality of design and the regard for nature for which Monterey County is known.

P53.1

This house's significance has been confirmed by its formal review and listing on the California Register of Historic Resources, and by being found eligible for the National Register of Historic Places.

P53.2

Looking around the country, it is clear that the most successful, livable, and attractive places are those that mix a variety of old and new architecture. Monterey County and Pebble Beach boast a highly distinguished mix of good architects, and of buildings representing each decade through the last hundred-plus years. Buildings such as the Connell house are tangible assets that must not be thrown away.

P53.3

I write as an architect, historian, and author of twenty books on Modern architectural history. I have focused on the tremendous contributions of California architects in the mid-twentieth century (including Neutra), and have successfully qualified other mid-century buildings for the National Register of Historic Places. In my professional judgment, the Connell house is an important piece of architecture worthy of preservation.

P53.4

Sincerely,



Alan Hess

9.4.53 Response to Letter from Alan Hess, Architect

Comment No.	Response
P53.1	The comment expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P53.2	The comment references the Connell House's historical significance, consistent with the findings of the EIR. Please refer to MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P53.3	The comment suggests that the most attractive places include a mix and variety of old and new architecture. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P53.4	The comment provides background of the commenter and expresses support for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P54

From: [Mark McLarry](#)
To: [Ku, Cheryl x6049; acreel@swca.com; ceqacommments](#)
Subject: Mehdipour EIR, Pebble Beach
Date: Wednesday, September 26, 2018 11:29:43 AM

Cheryl, this email is to express my support for Massy Mehdipour’s right to build her new house at 1170 Signal Hill Rd in Pebble Beach. In an effort to make the EIR more factually correct and balanced, I suggest the following modifications:

· Section 4.1.5.3 states, “The proposed residence would be 11,933 square feet in size, over 3.5 times bigger than the existing 3,299-square-foot residence.” The existing residence is 4,125 square feet per numerous references in the EIR. The accompanying math therefore is also incorrect.

P54.1

· Since the EIR includes the personal backgrounds of the Connells who owned the house for 15 years after it was built in 1958 to 1973, please let the public know that when Massy Mehdipour bought the house in 2004 there was no indication it was designed by Neutra’s office or that it might be eligible as a historic resource and that this all came about because of a neighbor’s campaign.

P54.2

· While the EIR goes into great detail about Neutra, it would seem appropriate to, at a minimum, inform the public in the primary EIR document, and not just via a separate link on the website, that Ricardo Legorreta was awarded the UIA Gold Medal in 1999, the AIA Gold Medal in 2000, and the Praemium Imperiale in 2011. As the EIR itself states in reference to Neutra winning the same award, “The AIA Gold Medal is only infrequently conferred.”

P54.3

· The EIR states “it is unknown how much of the design can actually be attributed to Ricardo Legorreta, who passed away December 30, 2011.” This statement is either the result of lack of research or pursuing an agenda to unnecessarily discredit an AIA Gold Medal winner’s work. Ricardo Legorreta visited the site three times from Mexico as part of his design process.

P54.4

Please allow the project to go forward and put an end to this 8 year ordeal.

Best Regards,

Mark McLarry
CEO

www.myyardlive.com
619-339-1686

9.4.54 Response to Letter from Mark McLarry, CEO

Comment No.	Response
P54.1	<p>The comment expresses support for the proposed project. Please refer to MR-1 regarding Project Preferences. The comment also requests clarification in the stated size of the residence in Section 4.1.5.3 of the EIR.</p> <p>The existing 4,125-square-foot residence includes the original 3,299-square-foot, two-story, wood-frame residence, integral three-car garage, and small studio addition at the southwest corner of the upper level. Section 4.1.5.3 has been revised to reflect that the proposed residence would be almost 3 times larger than the existing residence.</p>
P54.2	<p>The comment requests additional explanation in the EIR that Ms. Mehdipour had no former knowledge that the house had any historical significance at the time of purchase. The EIR describes Connells' association with the residence to help explain how it came about that a Neutra-designed residence was constructed in Pebble Beach. The issue of whether or not a future buyer was aware of Neutra's association with the Connell House prior to purchase is not a CEQA issue and not relevant to the environmental analysis. Although this comment does not require changes to the environmental document, it will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P54.3	<p>The commenter requests that the EIR acknowledge that Ricardo Legorreta was awarded the UIA Gold Medal in 1999, the AIA Gold Medal in 2000, and the Praemium Imperiale in 2011. This comment is noted. Also, this information is accessible through references and links provided in the EIR. As explained in Section 4.3.5.1 of the Draft EIR, replacing the Connell House with a Legorreta-designed residence would not mitigate the impact of demolition of a historic resource under CEQA, regardless of Legorreta's distinction as an architect. Although these comments do not require changes to the environmental document, they will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P54.4	<p>The comment contests the Draft EIR statement that questions how much of the design of the proposed project can be attributed to Ricardo Legorreta. The commenter notes that Legorreta visited the site three times in his design process. This comment is noted. Design of the proposed residence is attributed to Ricardo Legorreta throughout the EIR, but as a factual matter, the design was not completed until after Mr. Legorreta's death. This information does not require changes to the environmental document; the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P55

Emily Creel

From: fnoyes@aol.com
Sent: Wednesday, September 26, 2018 6:52 AM
To: Emily Creel
Subject: Neutra Connell Hse
Attachments: Let Neutra Connell Hse 180926.doc

County of Monterey
Resource Management Agency- Planning Department
c/o Emily Creel SWCA Environmental Consultants
1422 Monterey Street C200
San Luis Obispo, CA 93401
Via email ecreel@swca.com

Dear Gentlepersons-

Please see the attached letter in support of the Neutra Connell Hse.

Thank you,

Frederick Noyes

Frederick Noyes FAIA, LEED AP

Frederick Noyes • Architects
41 Powell Street
Brookline, MA 02446
617 879-1692 (O)
617 501-5155 (C)

Frederick Noyes • Architects

41 Powell Street
Brookline, Massachusetts 02446
617-879-1692
FNoyes@aol.com

September 26, 2018

County of Monterey
Resource Management Agency- Planning Department
c/o Emily Creel SWCA Environmental Consultants
1422 Monterey Street C200
San Luis Obispo, CA 93401
Via email ecreel@swca.com

Re: Connell House

Dear Gentilepersons,

I write you as both a practicing architect and the son of a famous East Coast architect, Eliot Noyes, who was a contemporary of Richard Neutra.

In this letter I wish to express my appreciation for the Environmental Impact Report's conclusion that Richard Neutra's Connell House should not be demolished. From a master architect of the last century, the house is a prime example of architecture that both respects its surroundings and merges with the land. That sensitivity would be hard to match with a new building. My appreciation comes from watching my father develop his own thinking about melding buildings the landscape, the house in which I grew up in New Canaan, CT the prime example.

As my father developed his own career, Neutra's works were constantly in the background providing inspiration and fresh approaches to similar problems. Neutra's works were, thus, lessons to his contemporaries, my father being just one. His works substantially advanced architecture in the last century. And individually and collectively, his houses continue to provide lessons for emerging architects.

The Connell house is only one of Richard Neutra's significant houses. However, environmental concerns were major themes that run through much of his work. Working on both coasts, his houses show inventions appropriate to the different environments—all within a distinct Neutra style. A study of those different approaches is a lesson unto itself.

The Connell house is, of course, a West Coast house. Some of the prime environmental attributes are:

Frederick Noyes FAIA

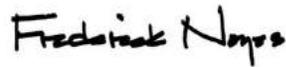
P55.1

P55.2

- The house's volume tucked into the slope rather than sitting high upon it-- This decreases the house's apparent mass.
- A wandering path from the street-- The path downplays frontal exposure, giving the house an informal, natural sense.
- Long overhangs providing natural sun control, diminishing heat buildup and reducing cooling requirements-- The same overhangs provide rain protection in inclement weather allowing the large windows to remain open to fresh air at all times.
- A play of solid, windowless forms and larger, transparent forms-- The solid forms are constructed of stucco while the transparent forms are of full height glass walls. The solids tie the house to the ground while the glass volumes let it float, thus decreasing the sense of mass and the apparent size of the house.
- An interplay of outside and inside-- With floor to ceiling glass walls, the outside seamlessly merges with the outside. This gives an impression of larger interior spaces than are actually built—or, to stated it in another way, the house could be smaller than in a conventional arrangement. The court at the rear, for example, becomes an extension of the living room. However, as that extra space is exterior, it uses no energy for heating or cooling. The rear court further provides a useable space that is protected from the wind by the adjacent interior spaces.
- A variety of shapes and forms with multiple planes and roof sizes-- This, a signature Neutra invention, breaks the house into smaller related pieces that further diminishes its apparent landscape footprint.

Again, my appreciation for your recognition of these and other attributes of this important house.

Sincerely,



Frederick Noyes, FAIA, LEED AP

P55.2
(cont'd)

Frederick Noyes FAIA

9.4.55 Response to Letter from Frederick Noyes FAIA, LEED AP

Comment No.	Response
P55.1	The comment expresses support for the Preservation alternative and background information regarding the commenter's knowledge and connection to Richard Neutra. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources.
P55.2	This comment describes several of the Connell House's primary architectural attributes but does not relate to any environmental issue evaluated in the EIR other than the impact to the historic resource. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P56

From: TC Williams
To: [Ku_Cheryl_x6049; creel@swca.com; ceqacomment](mailto:Ku_Cheryl_x6049@creel@swca.com)
Subject: Support of 1170 Signal Hill Rebuild
Date: Wednesday, September 26, 2018 12:00:51 PM

Dear Cheryl,

I support Monterey County's approval of Massy Mehdipour's proposed project at 1170 Signal Hill Road in Pebble Beach.

P56.1

Based upon the information presented in the EIR, and additional information which needs to be presented, the house should be replaced with the proposed new design.

The house was obviously not well built for the location based upon the structural report and what the original owners have said.

P56.2

Then 50+ years of weather took its toll, then the house was vandalized, and then Monterey County ordered that the house to be partially demolished. After the above, the structural report the County ordered as part of the EIR summarized its current state and makes it clear in needs to come down.

All of this for a simple house whose historical significance is very limited, and where the owner, and probably few others outside the architect's family, had any knowledge of who the architect was.

P56.3

The public benefit of allowing the owner to build her home, within the confines of the zoning laws that apply to everybody, far outweighs illegally trying to order her to tear it down and build a replica.

P56.4

Please approve the project. Thank you for taking my comments into consideration.

Sincerely,

Thomas Williams
San Carlos, CA

9.4.56 Response to Letter from Thomas Williams

Comment No.	Response
P56.1	The comment expresses support for the proposed project. Please refer to MR-1 regarding Project Preferences.
P56.2	Please refer to MR-4 regarding Baseline Conditions. The structural report prepared for the project determined that the Connell House, thought presently stable in the absence of severe storms or earthquakes, is unsafe for occupancy. However, the condition of the structure will continue to deteriorate. Therefore, the structural report recommended abatement of the structure, either through demolition, repair, or more thorough and permanent stabilization. The Preservation alternative would constitute permanent stabilization. The extent of repairs that would be necessary is described in Section 5.6.1.3 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P56.3	The comment relates to the historic significance of the Connell House. The historic significance of the house is recognized. The Connell House is listed on the CRHR and has been determined eligible for the National Register of Historic Places. As such, it also meets the definition of "historical resource" under CEQA. Please refer to MR-2 regarding Historical Resources.
P56.4	Per section 15093 of the State CEQA Guidelines, the County may elect to adopt a Statement of Overriding Considerations if the County finds that specific economic, legal, social, technological or other benefits of the project outweigh the identified significant and unavoidable impacts of the project. The project's consistency with applicable plans and policies (including zoning laws) is addressed in the EIR; however, the project is also subject to the requirements of CEQA, which requires an evaluation of the project's potential impacts on historic resources and identification of feasible alternatives to avoid or reduce those impacts. The EIR recognizes that the Preservation alternative would be similar to original construction, though there are a number of existing components that could be incorporated into a restored structure. Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights.
	The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P57

From: [William Clark](#)
To: ceciacommments@co.monterey.ca.us; [Ku_Cheryl_x6049](mailto:Ku_Cheryl_x6049@co.monterey.ca.us)
Cc: massy@iotter.com; sateez@iotter.com
Subject: Public Comment Letter re 1170 Signal Hill Road Project
Date: Thursday, September 27, 2018 8:52:53 AM
Attachments: [1170 Signal Hill Road Project letter.pdf](#)

Attached is my public comment letter regarding the 1170 Signal Hill Road project.

-----William West Clark, Jr.

Cheryl Ku
Senior Planner
Monterey County
Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901



September 27, 2018

Sent to: cecjacomment@co.monterey.ca.us, kuc@co.monterey.ca.us

Dear Ms. Ku:

I am writing to provide a public comment letter to the EIR for Massy Mehdipour's house at 1170 Signal Hill Road in Pebble Beach.

In reviewing the very comprehensive EIR, it is clear that when considering the lack integrity of the house, the limited significance of the house, and the various mitigation measures available, that the County is in a clear position to make an overriding consideration determination that the house should be demolished and replaced with the proposed house which is harmonious with the setting and neighborhood.

There is no question as to the importance of Richard Neutra as an architect. The issue here is the integrity of the building given the extensive repairs, material replacements and alterations continually performed since 1958 including the demolition of most of the rotten material recently ordered by the County under the preservation permit. These alterations and material replacements and settlement have resulted in a significant cumulative impact.

The EIR states the following: "the baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred."

The structural report articulates and confirms these dire existing conditions of the building. It is clear that the building is neither capable of relocation nor preservation in a way that would keep enough original, historic material to retain historic integrity.

Preservation in this case would be reconstruction, and the building of a new replica is not warranted given the limited significance of the house. I'm sure Mehdipour would let anyone take parts of the house if someone were so inclined to preserve them in some fashion.

Better yet, the EIR identifies the following mitigation measure of documenting the house: "the web page will document the house, its history, construction materials, and features, at baseline conditions, including a video tour of the Connell House to be completed prior to any demolition; architectural drawings; current and historic photographs; and background material such as oral histories with individuals with knowledge of the Connell House."

P57.1

P57.2

The new house is also quite harmonious and appropriate for the size, location and setting of the site. Only about 50% of the allowable building footprint is being used. Approximately half of the square footage of the house is essentially buried into the hillside and not even viewable from Signal Hill.

P57.3

The mitigation measures of documenting the house with photographs and a webpage, combined with the applicant's generous offer to restore 1.65 acres to native dune habitat, is more than ample justification for an overriding consideration.

P57.4

Sincerely,


West Clark
Pebble Beach, CA

9.4.57 Response to Letter from William West Clark, Jr.

Comment No.	Response
P57.1	<p>The comment references the Connell House’s lack of integrity and limited significance, and options for mitigation that could support overriding considerations for demolition of the residence. These issues may ultimately be considered by County decision makers to determine whether to approve the proposed project and to adopt a statement of overriding considerations finding that the benefits of the project outweigh its significant unavoidable impact to the historic resource. The comment describes the existing deteriorated condition of the building as a factor limiting the structure’s integrity; however, the existing baseline for CEQA purposes is the time of issuance of the NOP. Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources, MR-3 regarding Property Rights, and MR-4 regarding Baseline Conditions.</p> <p>The complete statement referenced in the EIR reflects the deteriorated condition of the house in stating that, “The baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred, <u>but nevertheless retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource</u>” (emphasis added), and therefore, recognizes the value of the resource after restoration.</p> <p>The comment suggests that preservation that would keep enough original, historic material to retain historic integrity is not feasible. As discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Preservation Alternative would retain such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, has the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship. The Secretary of the Interior’s Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior’s Standards.</p> <p>The comment does not suggest the EIR should have evaluated a different existing baseline or require any other changes in the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P57.2	<p>Please refer to the response to P57.1, above. The comment suggests limited significance of the Connell House; however, the house is listed on the CRHR and eligible for listing on the National Register of Historic Places and must be evaluated as a historical resource under CEQA. Whether preservation of the resource is warranted given its condition is up to the decision makers to determine. The donation of pieces of the house to interested parties by the property owner would not reduce the project’s impact on the historical resource. The comment indicates support for the implementation of Mitigation Measure HR/mm-1.1 and does not require changes to environmental document. The comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P57.3	<p>The comment indicates the proposed residence would be appropriate for the size, location and setting of the site. The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the proposed residence would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence’s adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. In addition, under the County’s coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several</p>

Comment No.	Response
	discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.
P57.4	The comment suggests implementation of Mitigation Measure HR/mm-1.1 and the proposed restoration of native dune habitat are sufficient justification for adopting a statement of overriding considerations. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P58

From: Fidel Fernandez
To: [Ku, Cheryl_x6049; acreel@swca.com; ceqacomment](mailto:Ku_Cheryl_x6049@creel@swca.com)
Subject: Mehdipour EIR - Letter of Support
Date: Thursday, September 27, 2018 10:30:01 AM

Dear Monterey County Planning Staff:

I am writing in strong support of Monterey County to approve the Massy Mehdipour project.

I live in Southern California and am familiar with Richard Neutra's architecture. There is no dispute from me that he was an important Southern California architect. However, I find it appalling when preservationists try to hinder an innocent person's property rights to preserve dubious structures with limited historical significance. By going to such extremes with these types of actions and campaigns, these often well-intentioned people can give preservationists a bad name.

P58.1

It is important to remember the following when analyzing historical significance: "a property is not eligible as the work of a master, however, simply because it was designed by a prominent architect. For example, not every building designed by Frank Lloyd Wright is eligible." (Reference: *U.S. Department of the Interior, National Park Service*)

A reasonable historical architect should not consider this house as a historical resource worth preserving against the will of the property owner. See the following detailed analysis included in the EIR: <http://www.co.monterey.ca.us/home/showdocument?id=52456>
 Any rationale, balanced view of this house is that it has very limited historical significance, even if it were structurally sound.

P58.2

Those that know Neutra's full career will tell you that during the period that this house was designed, many designs came out of his office. According to Appendix B of the Hines book referenced in the EIR, there were 15 houses alone in 1958, the year Mehdipour's house was built. Not surprisingly, Richard Neutra never even made the trip from Southern California to visit the Signal Hill house during its design.

Given his limited experience with the area, it is also not surprising that the house was not well designed for the oceanside environment with pounding winds. The original owners attested to this fact as described in the EIR, and the house's current condition is further proof.

I would like to present you the following quote from Bill Bernstein in a letter he sent to the Carmel Pine Cone, which I suggest be included in the EIR:

"When Ricardo Legorreta began the design of a new home for Ms. Mehdipour in 2007, no one involved in the project had any idea that this house could possibly be historic in nature, let alone designed by Richard Neutra. I practice architecture in Los Angeles and am quite familiar with Neutra's work. I am a fan and admirer of his architecture and have toured several of his homes, including the refurbished Kaufman house in Palm Springs. I was astonished when told that this house in Pebble Beach was in fact designed by Neutra, because it lacked much of the grandeur of his other works. Frankly, if not for a ribbon of glass and a corroding metal balcony railing, there was little of the architect's signature designs. The house was in very poor condition, with leaks evident everywhere and structural failures in the basement and balcony. It was poorly designed and built from a technical standpoint. None of us, including

P58.3

Mr. Legorreta, ever questioned the need to demolish this structure.”

P58.3
(cont'd)

The fact that this house made its way onto the State of California’s list of historical resources should be viewed with great skepticism. The California Office of Historic Resources is the organization that manages the State of California’s list of historical resources. In evaluating the merits of the designation of this house, this group’s only concern was that the forms were filled out in detail and that a known architect designed the house. They are biased towards including as much as they can on their list, it’s what they do. They refused to even visit the house or consider then-current pictures of the house. Again, a property is not eligible to be considered a historic resource simply because it was designed by a prominent architect. And just because a house is on the register does not mean it cannot be demolished.

P58.4

Lastly, the term “preservation” is being used very loosely in the EIR. Based upon the facts here, it is not preservation but reconstruction that would have to occur under the “Environmentally Superior Alternative.” Building a replica of the old house is completely unjustifiable given the very limited historical significance of what remains of the house.

P58.5

Please approve the project, and save historical designations for truly historic resources.

Sincerely,

Fidel Fernandez

9.4.58 Response to Letter from Fidel Fernandez

Comment No.	Response
P58.1	Section 15064.5 of the State CEQA Guidelines provides that, for purposes of CEQA, historical resources <i>shall</i> include a resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources (CRHR). The Connell House is listed in the CRHR and is, therefore, a historical resource under CEQA. Per section 15126.6(e)(2), the EIR is required to identify the Environmentally Superior Alternative, which is the alternative that would most successfully avoid or reduce significant adverse environmental effects. Beyond identifying the Environmentally Superior Alternative, the EIR does not advocate or campaign for the selection of any particular alternative; that choice is left to the local decision makers, who may select an alternative other than the Environmentally Superior Alternative, including an alternative that would result in significant and unavoidable adverse environmental effects, by identifying their reasons for doing so in a statement of overriding considerations. Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historic Resources, and MR-3 regarding Property Rights.
P58.2	Please refer to MR-2 regarding Historical Resources for comments related to the historical significance of the structure. Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights..
P58.3	This comment provides an excerpt from a letter to the Carmel Pine Cone discussing the condition of the house. The comment does not require changes to the environmental document. However, the comment (including the excerpted text) has been included in Chapter 9 of the Final EIR and will be made part of the administrative record and provided to local decision makers for their consideration.
P58.4	Please refer to MR-2 regarding Historical Resources for comments related to the historical registration process and eligibility criteria. The Connell Residence was not determined eligible simply because it was designed by Richard Neutra but was determined eligible within the context of the development of Modern Architecture in Pebble Beach. The EIR does not assert that the structure cannot be demolished; local decision makers can approve the project or select any alternative that would require demolition of the residence if they find other alternatives are not feasible and find, through adoption of a statement of overriding considerations, that the benefits of the project being approved outweigh the unavoidable adverse impact to the historic resource.
P58.5	Section 5.4 of the EIR specifically states that the term “preservation” is intended to refer generally to the retention and repair/reconstruction of the property such that it ultimately retains its historic integrity. The Preservation Alternative identifies preserving, repairing, and replacing portions of the structure as necessary treatment options. Please refer to MR-2 regarding Historical Resources. See also P33.2 responsive edit to the EIR.

COMMENT LETTER #P59

From: [Rick Janick](#)
To: [Ku, Cheryl x6049](#)
Subject: Connell House
Date: Thursday, September 27, 2018 9:54:47 AM

Please follow the EIR and demand the Rebuilding & Preservation of the Connell House by Richard Neutra. Do not allow the demolition of the existing structure after the so-called "vandalism" of the Connell house and its replacement by the design by Riccardo Legoretto that he renounced after hearing of the need to demolish the Connell House out of respect to Neutra and preserving Modern architecture. Richard N Janick

P59.1

9.4.59 Response to Letter from Richard N Janick

Comment No.	Response
P59.1	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P60

Emily Creel

From: Lauren Gallow <laureng@olsonkundig.com>
Sent: Thursday, September 27, 2018 12:35 PM
To: Emily Creel
Cc: Tom Kundig; MacKenzie Cotters
Subject: Letter in support of the Connell House
Attachments: 2019 Letter of Support for Neutra Connell House.pdf

Dear Ms. Creel,

Attached is a letter from architect Tom Kundig, FAIA, RIBA, in support of the recent Draft Environmental Impact Report by the Planning Office of Monterey County, which concluded that the Connell House by Richard Neutra should be preserved. We request this letter be included in the final EIR.

Please let us know if you need any further information.

Best,
Lauren Gallow

Lauren Gallow
Marketing Coordinator

OLSON KUNDIG
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olsonkundig.com
Twitter / Instagram @olsonkundig

If you have received this confidential message in error, please immediately notify the sender by reply email and delete all copies from your system.

Olson Kundig

September 30, 2018

County of Monterey
Resource Management Agency – Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401
ecreel@swca.com

Re: Connell House by Richard Neutra

To Whom It May Concern,

I am writing in support of the recent decision by the Planning Department of Monterey County to reject a request to tear down the Richard Neutra designed 1958 Connell House in Pebble Beach, California. This letter represents my formal support of the Planning Department's recent Draft Environmental Impact Report, which concluded that the Connell House should be preserved.

P60.1

The influence of architect Richard Neutra on American modern architecture cannot be understated. He is an important legacy of the California built environment, and it is our duty as stewards of the environment to protect historically significant buildings such as the Connell House. Connell House is one of the few Neutra designs in Northern California, and the only one in Monterey County, making it even more important that we preserve it for future generations.

P60.2

Connell House is already on California's historic register, and it was deemed eligible for the National Register of Historic Places. I implore you reject any future requests to tear down the Connell House and continue to protect this important example of California modern architecture.

Sincerely,



Tom Kundig, FAIA, RIBA
Principal/Owner, Olson Kundig

159 South Jackson Street, Suite 600, Seattle WA 98104, USA
T +1 206 624 5670, F +1 206 624 3730, www.olsonkundig.com

**9.4.60 Response to Letter from Tom Kundig, FAIA, RIBA,
Principal/Owner**

Comment No.	Response
P60.1	The comment letter expresses support for the EIR analysis and preservation of the Connell House. Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. It is important to note that certification of the EIR and the decision whether to approve the proposed project or select an alternative is ultimately up to the local decision makers. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P60.2	Please refer to MR-1 regarding Project Preferences for comments related to support for preservation and MR-2 regarding Historical Resources for comments related to the significance of the structure.

COMMENT LETTER #P61

Kenneth Curtis
651 Sinex Avenue
Pacific Grove, CA 93950

28 September 2018

VIA E-MAIL at ecreel@swca.com

County of Monterey Planning Department
c/o Emily Creel, SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

RE: COMMENTS ON DEIR FOR CONNELL HOUSE PROJECT IN PEBBLE BEACH

Dear Ms. Creel:

Thank you for the opportunity to comment on the subject DEIR. I have some expertise in the subject of the EIR in that I have a professional degree in Architecture and a Masters Degree in Urban Planning. I worked as a director of local planning agencies in California for more than 20 years. Following retirement, I served a total of about 8 years as a member of the Historical Landmarks Commission in Santa Barbara or the Architectural Review Commission in San Luis Obispo, appointed by the respective City Councils of those cities.

My Comments are as follows:

1. I agree with the conclusion of the DEIR that the proposed demolition of the Connell House, designed by the notable architect Richard Neutra, is a significant (Class I) adverse environmental impact. The Connell House is an example of the "California Modern" architectural style, a style for which Neutra was one of the founders in the early and mid 20th century. The style influenced the more vernacular "mid-century modern" style which remains popular today. The many Eichler Homes constructed in several Bay Area cities are an example of the influence and popularity of this style. The Connell House is one of a very small number of residential designs by Neutra in Northern California, his work being primarily associated with Southern California.
2. The design of the proposed replacement dwelling is incompatible with the scale and character of existing houses in the immediate neighborhood in that it is considerably larger, higher, and with a greater bulk and mass.
3. I agree with the DEIR's conclusion that there is a **feasible mitigation measure** that would avoid the Class I impacts, namely the project alternative that would retain and restore the Connell House in a manner consistent with the original architectural intent. The mere fact that an applicant does not desire to comply with a mitigation does not render it infeasible.
4. I see no factual basis in the record that could support findings for a Statement of Overriding Considerations.

P61.1

P61.2

P61.3

P61.4

P61.5

I believe that it is the responsibility of the County of Monterey to certify the final EIR as proposed in the DEIR and to encourage the applicant to implement the environmentally superior project alternative. I hope the applicant will come to appreciate the uniqueness and quality of the original design. A full restoration with high quality materials and finishes could make it a jewel-like structure which could meet the needs of most contemporary families. If more space is absolutely needed, perhaps a detached "guest house" designed consistent with the Secretary of Interior's standards could be considered at a substantial remove from the existing house.

P61.6

Thank you for consideration of my comments.

Regards,

Ken Curtis

9.4.61 Response to Letter from Ken Curtis

Comment No.	Response
P61.1	The comment describes the relevant background and experience of the commenter and does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P61.2	The comment expresses agreement with the identified significant and unavoidable impact that would occur as a result of demolition of the Connell House. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P61.3	The potential for the proposed replacement residence to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the proposed residence would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size, consistent with the views of this commenter. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P61.4	The comment agrees with the EIR that feasible mitigation has been identified that would avoid significant impacts to the structure (namely, restoration of the Connell House consistent with the original architectural intent). The comment also asserts that mitigation that is not desirable to the project applicant does not make it unfeasible. It is up to the local decision maker to decide whether project alternatives are feasible, taking into account broader considerations than the EIR feasibility determination. (CEQA Guidelines section 15091(a)(3).) The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P61.5	The comment states that there is no factual basis in the record that would support a Statement of Overriding Considerations. Section 15093 of the State CEQA Guidelines requires lead agencies to "balance, as applicable, the economic, legal, social, technological, or other benefits, including region-wide or statewide environmental benefits, of a proposed project against its unavoidable environmental risks when determining whether to approve the project." An EIR does not make this determination. Instead, the decision makers decide whether overriding considerations justify approving a particular project or project alternative. Consequently, these comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P61.6	Please refer to MR-1 regarding Project Preferences for comments related to the selection of the Environmentally Superior Alternative. The comment also identifies a possible alternative that would consist of preserving the Connell House and providing more residential space through development of a "guest house" on the parcel, situated away from the main residence. This alternative (Alternative 3: Preservation and Separate Onsite Development, a substantially similar alternative) was evaluated in Section 5.4.3 and Table 5-1 of the EIR. However, it was determined that a separate residence would exceed maximum density limits in the LDR/1.5-Design Control District

**Comment
No.**

Response

and would conflict with numerous applicable LCP and Del Monte Forest Area LUP policies, particularly those related to the protection of public views and ESHA. A smaller “guest house” would result in similar impacts and conflicts with applicable policies, particularly those relating to ESHA. Therefore, this alternative was screened out from further analysis.

COMMENT LETTER #P62

From: [Pete Pete](#)
To: [Ku, Cheryl y6049; cenacommments; acreel@swca.com](#)
Subject: 1170 Signal Hill Road Project
Date: Friday, September 28, 2018 11:18:20 AM

To Whom It May Concern,

I am in support of the new Massy Mehdipour house.

It would be very helpful to understand why she was required to do a long and expensive EIR for a house. EIR's are typically reserved for large commercial projects.

P62.1

It would also be very helpful to understand how this all works with Monterey County Code 18.25.060.

Section 18.25.060 of the Monterey County Code which is entitled "Designation of historic resources and districts" says that: "No property shall be designated pursuant to this Chapter without the consent of the property owner." And local jurisdictions are not required to follow the state's register list.

P62.2

Mehdipour obviously did not consent to her property being designated, so what is the County's basis for its actions. The local code also highlights the value the local community places on an individual's property rights.

The new house suits the site very well, and is similar to many houses up and down the neighboring streets in terms of its size.

P62.3

Please approve the project.

Thanks,

Pete D'Errico
Redwood City, CA

9.4.62 Response to Letter from Pete D'Errico

Comment No.	Response
P62.1	Please refer to MR-1 regarding Project Preferences for comments in support of the Medhipour house. CEQA applies to a project when a discretionary action is taken by a public agency (Section 15002 of the CEQA Guidelines). The applicant applied for a Combined Development Permit from the County of Monterey, which per the Monterey County Zoning Code (Monterey County Code, Title 20, section 20.82) and under CEQA (section 15357 of the CEQA Guidelines) is a discretionary action. Issuance of the Combined Development Permit could potentially result in significant impacts; therefore, an EIR was required to assess the impacts from the project and to identify potential mitigation measures to minimize those effects. CEQA requires preparation of an EIR for projects which may have a significant environmental impact based on substantial evidence, not just large commercial projects.
P62.2	Please refer to MR-2 regarding Historical Resources for comments regarding the historic registration process and the property owner's consent to designation. Section 18.25.060.A of the Monterey County Code allows the Monterey County Historic Resources Review Board to initiate the designation of historical resources but also states that "No property shall be designated pursuant to this Chapter without the consent of the property owner." The County did not designate the house an historic resource on the local register. Rather, the house was issued a formal Determination of Eligibility by the Keeper of the National Register of Historic Places, and as a result of the NRHP eligibility determination, was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1). Due to this eligibility, the Connell House is considered an "historical resource" for the purposes of CEQA; therefore, the Connell House was analyzed in the EIR as a historical resource. Please also refer to MR-3 regarding Property Rights.
P62.3	The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the new house component of the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. Please also refer to MR-1 regarding Project Preferences. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P63

From: [Bill Brosseau](#)
To: [Ku, Cheryl v6049; acreel@swca.com](#)
Subject: Please Approve Mehdipour Project
Date: Saturday, September 29, 2018 6:05:37 PM

Dear Emily & Cheryl,

This letter is in support of the County of Monterey approving Massy Mehdipour's proposed new home at 1170 Signal Hill Road.

The EIR and quotes from the original owners demonstrate that the house has had major fundamental issues since it was built in 1958 due to structural flaws. As those of us familiar with the Monterey Peninsula know, the ocean weather can be quite unforgiving.

P63.1

It is undisputed that nothing was ever disclosed to the property owner about who the architect was or that it could be considered "historic" just a few years after she purchased the home with the sole purpose of replacing it.

P63.2

The new house blends very well with the site and the surrounding environment. It would also be a wonderful net new positive for over an acre and half of the lot to be restored to native dune habitat instead of the non-native ice plants that cover so much of the property currently.

The size of the new house is also similar to many of the other homes in Pebble Beach and 17 Mile Drive. As long as the house complies with the square footage rules that apply to everyone else, the County should not be getting in the way of Mehdipour's property rights, and such actions would unnecessarily open up the County to legal challenges.

P63.3

The mitigation measure to create a win-win is document the house through photos and a website as described in the EIR for preservationist to be able to reference later.

P63.4

Thank you for your consideration on this important matter.

Best regards,

Bill Brosseau
2814 Raccoon Trail
Pebble Beach, CA 93953

9.4.63 Response to Letter from Bill Brosseau

Comment No.	Response
P63.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project, and MR-4 regarding Baseline Conditions for comments related to the condition of the house.
P63.2	Please refer to MR-2 regarding Historical Resources for comments related to disclosure of the potential historic significance of the structure at the time of purchase. Whether the buyer was aware of Neutra's association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P63.3	<p>This comment states that the proposed project is compliant with the current zoning ordinance, is similar to other homes in Pebble Beach, and would blend well with the site with the proposed restoration efforts that the commenter considers adequate. The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the proposed residence would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of onsite and offsite restoration of Environmentally Sensitive Habitat Areas (ESHA), and measures to reduce the height of the new house component of the project, it was determined that potential impacts would be less than significant. In addition, the project requires a variety of additional discretionary approvals pursuant to Monterey County Code, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.</p>
	Please also refer to MR-3 regarding Property Rights. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P63.4	The comment expresses support for documentation and recordation of the Connell House consistent with Mitigation Measure HR/mm-1.1. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P64

From: [Margaret Jimenez](#)
To: [Ku, Cheryl x6049](#)
Cc: [cc@acommments](#)
Subject: Massy Mehdipour Draft EIR, 1170 Signal Hill Road
Date: Saturday, September 29, 2018 8:40:01 PM

Cheryl Ku, Senior Planner
Monterey County Resource Management
1441 Schilling Place, 2nd Floor
Salinas, Ca 93901

Cheryl,

I am writing in strong support of Massy Mehdipour's desire to demolish the building that is nothing more than an eyesore at 1170 Signal Hill Road, Pebble Beach, Ca. The current structure is beyond repair. Your agency needs to apply unbiased judgement and common sense in determining whether this eyesore is worth preserving at a private citizen's exorbitant expense and against her wishes. All that is there is a decrepit and decaying house that was poorly designed for the environment that it is in. This house was condemned as unlivable in March 2015. That was three ago and Ms. Mehdipour is still waiting for approval. This process has taken a huge toll on the Mehdipour family. Denying her the right to use her property for these many years has been wasteful and punitive. Please, put an end to this nonsense and let Ms. Mehdipour build a structurally sound, environmentally friendly and beautifully designed home. Monterey County Planning personnel have a moral responsibility to do this.

P64.1

P64.2

P64.3

Please confirm receipt of my email.

Sincerely,

Margaret Jimenez
2992 Cormorant Road
Pebble Beach, Ca.

9.4.64 Response to Letter from Margaret Jimenez

Comment No.	Response
P64.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. These comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P64.2	The comment suggests the existing structure is beyond repair. The extent of repairs that would be required to restore the Connell House was evaluated by a structural engineer and is described in Section 5.6.1.3 of the EIR, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction. Please refer to MR-1 regarding Project Preferences for comments related to the need for an unbiased judgement and common sense in deciding on the project alternative. These comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P64.3	Please refer to MR-3 regarding Property Rights. Depending on myriad project-specific factors, the EIR Process can sometimes be protracted. Here, the process was prolonged for several reasons. For example, the applicant's desire to address and resolve identified project impacts in the Administrative Draft EIR resulted in project changes. Those project changes required the EIR to be substantially revised and rewritten prior to public circulation. Moreover, the neglect and vandalism that occurred at the property required the County to take additional time to address through multiple code enforcement actions and an evaluation by a structural engineer. These comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P65

From: Dennis Chambers
To: ecreel@swca.com; ceacommments: Ku, Cheryl x6049
Subject: 1170 Signal Hill Rd, Pebble Beach
Date: Monday, October 1, 2018 2:16:23 PM

Dear Ms. Ku, et al

It's with great concern and bewilderment that this issue with the home site at 1170 Signal Hill Rd is still on going. With all due respect, the land use rights of the owner are being trampled by a mean spirited neighbor with substantial clout within the planning commission. When all the facts are reviewed, this is nothing more than that neighbor running amok while picking and choosing delaying tactics from a basket of laws governing home construction in Pebble Beach.

P65.1

The facts are:

- The home was not one of Mr. Neutra's best pieces of work. There is evidence to believe he never visited the site nor was involved in the design but just signed off on the project that his company designed.
- It never was a well-built home. All previous owners have compiled multiple deficiencies. And it was not well designed for the ocean/wind environment as the facts have shown.
- The County should be asking the question of why this group of connected individuals are being so malicious towards this particular land owner vs all the other land use requests that never go to this level of scrutiny. What is the real reason for this expensive move to destroy a person's right to build their home of choice. If you visit the site, you'll know it's not the architectural beauty of this badly worn home. And after reading all the pros and cons, you know it has questionable historical roots.
- The home, in its current condition, needs to be demolished. Nothing from the foundation up is salvageable. Even the EIR and the engineering reports concur.
- The owner's proposed new project fits well within the margins of all existing building design and codes.
- This property owner has the right to enjoy "the privileges enjoyed by other properties in the vicinity". (A statement from the neighbor's own attorney referencing another land owner in the neighborhood).
- The historical registration process is largely a rubber stamp by a totally biased group looking to preserve as much as possible without any regard for property rights.
- Home owners Property Rights are the back bone of this country, it's time to enforce them.

P65.2

P65.3

P65.4

Please allow the current owner to proceed with her proposed plans for a new home.

Sincerely, Dennis

Dennis Chambers Inc.
License # 475577
Mobile: 408-605-6760
225 Crossroads Blvd. Suite 378

Carmel, CA 93923
dennis-chambers@outlook.com

9.4.65 Response to Letter from Dennis Chambers

Comment No.	Response
P65.1	Please refer to MR-3 regarding Property Rights.. The intent of the neighbor is not a CEQA issue and is outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P65.2	Please refer to MR-2 regarding Historical Resources for comments related to historical significance, and MR-4 regarding Baseline Conditions for comments related to the condition of the structure. The intent of the neighbor is not a CEQA issue and is outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P65.3	The project's consistency with applicable plans and policies is evaluated throughout Chapter 4 of the EIR. The project was found to be potentially inconsistent with numerous policies, particularly those for the protection of visual and biological resources, and mitigation measures were identified to ensure the project, as modified, would be consistent with applicable policies. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P65.4	Please refer to MR-3 regarding Property Rights, and MR-2 regarding Historical Resources for comments related to the historic registration process.

COMMENT LETTER #P66

From: Heather Roberts
To: ecreel@swca.com; [Ku Cheryl x6049](#); [ceqacomment](#)
Subject: 1170 SIGNAL HILL, PEBBLE BEACH
Date: Monday, October 1, 2018 11:59:05 AM
Attachments: MASSY MEHDIPOUR - EIR SUPPORT LETTER.docx

To all addressed above, kindly submit the attached letter for the record.
Sincerely
Heather Roberts

CHERYL KU, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

SENT VIA EMAIL TO: ecreel@swca.com, kuc@co.monterey.ca.us,
ceqacomment@co.monterey.ca.us

Re: 1170 SIGNAL HILL - MEHDIPOUR

I am writing this letter as a concerned citizen on behalf of Massy Mehdipour and her right to build a home on property that she owns.

In 2004, Ms. Mehdipour purchased a 46 year old home at 1170 Signal Hill with the intent to demolish and build a new home for her family. At the time of her purchase, the house was unremarkable and in serious disrepair, due to the fact that it was poorly designed to withstand the weather elements endured at that location and, as a result, an impossible task to maintain. It was never disclosed to Ms. Mehdipour that Neutra originally designed the home and that it could become eligible for historic designation once the home turned 50 years old.

In 2007, Ms. Mehdipour sought out and hired a world renowned architect, Ricardo Legorreta, to design a new home that would accentuate the beauty of the surroundings, while minimizing the impact of the structure. Mr. Legorreta made three trips to the site, from Mexico City, to assess how his design could blend in with the sand dunes, trees and ocean views. He took photos of the local flora and fauna to ensure that his design would be in absolute harmony with the area.

When neighbors discovered that Ms. Mehdipour was planning to build a new house, the 'possibility' surfaced that the dilapidated existing home was designed by Neutra. A campaign was then funded to explore the historical aspect of the home, which was subsequently submitted, without Ms. Mehdipour's consent, for Historical Registration.

It is deeply disturbing that a property owner's rights can be taken away by a group of misguided (dare I say malicious?) individuals. On behalf of reasonable property owners everywhere, please allow Ms. Mehdipour to proceed with building her home. This nonsense has gone on for far too long!

Heather Roberts
225 Crossroads Blvd.
Suite #378
Carmel, CA 93923

P66.1

9.4.66 Response to Letter from Heather Roberts

Comment No.	Response
P66.1	<p>Please refer to MR-1 regarding Project Preferences for comments related to the project applicant's right to build a home on property she owns, MR-2 regarding Historical Resources for comments related to the project applicant's knowledge of the potential historic significance of the house, and MR-4 regarding Baseline Conditions for comments related to the condition of the house. The evaluation of the house as a potential historical resource is a requirement of CEQA, regardless of whether the project applicant consents to such evaluation. No discretionary approval by the County can be made on the applicant's permit application for construction of the new house without such an evaluation of the proposed project's potential effect on historical resources. Often, the potential historical significance of a structure is not known until CEQA requires an evaluation like that conducted of the Connell House in the EIR.</p> <p>The intent of the neighbors or any other participants in the process is not a CEQA issue and is outside the purview of this document. Please refer to MR-2 regarding Historical Resources for comments related to historical designation without the property owner's consent. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P67

From: Ben Rogan
To: Ku_Cheryl_x6049
Cc: ecreel@swca.com; ceqcomments
Subject: Mehdipour EIR, Pebble Beach
Date: Monday, October 1, 2018 12:58:20 PM

Good afternoon Cheryl,

This email is to offer my full support for the County of Monterey to approve the Massy Mehdipour project.

Historical designations are not supposed to be used for personal vendettas or for neighbors to obstruct another neighbor's property rights. That is exactly what is happening here.

Preservationists like to use a term they have coined, "demolition by neglect," which has no legal meaning, to describe old houses that have become deteriorated. In responding to preservationists providing public comments that are using this term, please make sure to advise the public that the term has no legal meaning.

The California Office of Historic Preservation informed Mehdipour when they listed her house without her consent that the designation did not confer upon her any special obligation to maintain the house. They make this statement as a defensive mechanism against property rights litigation because they likely understand that if they were to do anything different, they would be very vulnerable in the courts.

To be more accurate in this case, the term "demolition by poor design and construction" would be more appropriate. In the structural report commissioned by the County as part of the EIR (<http://www.co.monterey.ca.us/home/showdocument?id=69128>), the following deficiencies were identified in the analysis which assumed that the building had been restored to its original condition:

1. The walls do not provide adequate strength to resist the specified seismic forces.
2. Several of the upper level walls are discontinuous, i.e., they land on floor joists and are not supported on walls below.
3. The primary lateral resistance for the building is provided by cement plaster (stucco) on the exterior walls finish plaster on interior walls. This is not

P67.1

P67.2

P67.3

- permitted for buildings exceeding one story in height.
4. Wood framing along the building's north side does not appear to be anchored to the building foundations.
 5. Some framing members supported on posts and walls do not have positive connections to the post or walls.
 6. Framing members at the edges of diaphragms are not provided with continuity hardware to resist chord and drag forces.
 7. Three walls of the 1993 addition are supported on raised piers rather than a continuous strip footing. There is no detailing indicating positive attachment to the adjacent original structure."

P67.3
(cont'd)

Again, the deficiencies the structural engineer identified were based upon the original design and construction.

P67.4

It is time to allow Mehdipour to exercise her fundamental property rights and build her new house.

Thank you for your consideration.

Ben Rogan
(617) 877-1085
Boston, MA

9.4.67 Response to Letter from Ben Rogan

Comment No.	Response
P67.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project, MR-2 regarding Historical Resources for comments related to the historic registration process, and MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P67.2	Please refer to MR-2 regarding Historical Resources for comments related to the historic registration process for the Connell House, and MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P67.3	This comment summarizes structural deficiencies as noted in the structural engineering report: Structural Evaluation of the Arthur and Kathleen Connell House, 1170 Signal Hill Road, Pebble Beach, CA, prepared on September 19, 2016 by Simpson Gumpertz and Heger, which has been included as Appendix F. The report was originally incorporated into the EIR by reference and was used to evaluate if the existing features of the original building could be used in a reconstruction. It is important to note that the structural evaluation was conducted on the structure as it existed at the time of the evaluation (September 2016) and did not assume any restoration would have occurred to the structure. The information provided in the report provides additional background on the integrity of the house and the extent of repairs that would be required to implement the Preservation Alternative. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P67.4	Please refer to MR-3 regarding Property Rights.

COMMENT LETTER #P68

From: [Bill Bernstein](#)
To: [Ku, Cheryl x6049](#)
Cc: ecree1@swca.com; [ceqacomment](#)
Subject: 1170 Signal Hill Road
Date: Tuesday, October 2, 2018 12:42:21 PM
Attachments: [Bill Bernstein Letter for EIR Public Comment.pdf](#)

Dear Ms. Ku,

I've attached a letter with my comments regarding the Signal Hill LLC (Mehdipour) project; **PLN 100338; SCH# 2015021054**). You are most likely aware that I am the Architect of Record for the project.

P68.1

As requested, I copied the above recipients as well.

My contact information is below and my e-mail address per this correspondence.

Thank you,

Bill Bernstein

BILL BERNSTEIN ARCHITECT
1725-C ABBOT KINNEY BLVD.
VENICE, CA 90291
P.310.827.8190 F.310.827.8180

WWW.BZ-A.COM

BILLBERNSTEIN

1725-C ABBOT KINNEY BLVD
VENICE, CA 90291
T 310 827-8190 F 310 827-8180
BBIA@CA.RR.COM

October 10, 2018

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Ms. Ku,

My name is Bill Bernstein and I am the technical architect of record for the proposed Mehdi-pour House on 1170 Signal Hill Road in Pebble Beach.

When Ricardo Legorreta began the design of a new home for Ms. Mehdi-pour in 2007, no one involved in the project had any idea that this house could possibly be historic in nature, let alone designed by Richard Neutra. I practice architecture in Los Angeles and am quite familiar with Neutra's work. I am a fan and admirer of his architecture and have toured several of his homes, including the refurbished Kaufman house in Palm Springs.

I was astonished when told that this house in Pebble Beach was in fact designed by Neutra, because it lacked much of the grandeur of his other works. Frankly, if not for a ribbon of glass and a corroding metal balcony railing, there was little of the architect's signature designs. The house was in very poor condition, with leaks evident everywhere and structural failures in the basement and balcony.

None of us, including Mr. Legorreta, ever questioned the need to demolish this structure. Further, it was never disclosed to Ms. Mehdi-pour that the house on the property had any historic value when she purchased it for the sole intent of building a new home. I doubt there are many people in the community who even knew who Richard Neutra was before this controversy. Had she demolished the house right after she purchased it, none of this would even be on the table for discussion, as the house would not have been 50 years old and subject to historic review.

Since I began working on the project in 2008, we have made numerous revisions and refinements to satisfy the county, at great cost to my client. We have had to make three separate submittals over a six-year span and have hired four separate historians who have varying opinions on the historic nature of the house.

CEQA specifically states that the work of a "master architect" is not reason enough to register it as historic. Mr. Legorreta once told me, "We are not always as great as we think we are and our work is not always as perfect." I had worked with him for 37 years before he passed away in 2011, just months after we submitted the last design to the County. He was my mentor and

P68.2

P68.3

the most influential and genuine man in my life, and it saddens me that he will never see this beautiful home come to fruition.

Mr. Legorreta was the recipient of the Pritzker Prize, the AIA Gold Medal and the Japanese Imperial Medal of Honor, to name a few, and he has designed masterful architecture all over the world. I think Pebble Beach deserves to have one of his last creations as much as the lesser work of Mr. Neutra which will be almost impossible to restore. His office, now known just as Leggoreta, is headed by his son Victor who will oversee this project should it be approved for development.

P68.3
(cont'd)

At this point the cost of repair to the Neutra house would be enormous, and little of the original house could be maintained. It is not in disrepair, but, rather, falling apart and an eyesore on the famed Seventeen Mile Drive. More importantly, the end result would not be a restoration but merely a replica of what once was. Ms. Mehdipour has agreed to restore 1.6 acres of her property to dune habitat, ridding it of numerous nonnative plants and returning it to its natural condition.

P68.4

Perhaps the community should embrace the opportunity of what could be instead of what was, namely to have the very last work of another internationally acclaimed master architect along this scenic drive on land that is returned to its natural glory for all to enjoy in one of the most magnificent and scenic places on earth.

Respectfully,

Bill Bernstein, Architect
Venice, CA

9.4.68 Response to Letter from Bill Bernstein, Architect

Comment No.	Response
P68.1	The comment introduces the commenter as the Architect of Record for the proposed project. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P68.2	Please refer to MR-2 regarding Historical Resources for comments related to design of the house by Richard Neutra, the project applicant's lack of awareness that the structure may be historically significant at the time of purchase, the age of the house making it subject to historic review (50 years), and the varying opinions of historians who have evaluated the historic significance of the house. The number and cost of revisions to the proposed project submittals is not a CEQA issue and is outside of the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P68.3	The Connell Residence was not determined eligible simply because it was designed by Richard Neutra but was determined eligible within the context of the development of Modern Architecture in Pebble Beach. The designation of the Connell House was conducted in conformance with National Register criteria. Resources found to be eligible for listing in the NRHP are automatically eligible for listing in the CRHR and are considered "historical resources" for the purposes of CEQA; therefore, the Connell House was analyzed in the EIR as a historical resource. The comment provides additional background on Ricardo Legorreta, which will be made part of the administrative record and provided to local decision makers for their consideration. Please refer to MR-1 regarding Project Preferences for comments related to whether Pebble Beach deserves a Legorreta designed residence as much as the existing Neutra residence. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P68.4	The cost to restore the Neutra house does not make the Preservation Alternative infeasible as an EIR alternative. The local decision maker weighs a broader set of considerations when determining whether an alternative is feasible. (CEQA Guidelines section 15091(a)(3).) Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The extent of repair/replacement that would be required to restore the residence is described in Section 5.6.1.3 of the EIR and the EIR analysis in Section 4.2.5.2 also identifies the beneficial impact that would result from the proposed dune restoration activities. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P69

From: [Lawrence Samuels](#)
To: [Ku, Cheryl x6049](#)
Subject: Letter in support of Massy Mehdipour
Date: Tuesday, October 2, 2018 4:05:39 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency – Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Oct. 2, 2018

I am writing this letter to express my strong support for Massy Mehdipour and her project and to ask you to please end this madness. The County of Monterey and a few neighbors have imposed an unbelievable burden on someone who simply wants to build a house that by the looks of it will be a huge improvement to the setting. The public will benefit far more from a beautiful new home and the peace of mind of knowing that a neighbor and the government cannot conspire against one's property rights. The new house does not even block any views of the neighbors, a reason one would think would typically raise a neighbor's concerns.

P69.1

Please confirm receipt of this email.

Lawrence Samuels
26765 Paseo Robles
Carmel, CA 93923
831-238-5058

9.4.69 Response to Letter from Lawrence Samuels

Comment No.	Response
P69.1	Please refer to MR-1 regarding Project Preferences for comments related to support for the proposed project, and MR-3 regarding Project Rights. The compatibility of the house with the setting and the potential for the proposed structure to block public views or conflict with applicable policies that are intended to protect public views are evaluated in Section 4.1 of the EIR. With implementation of identified mitigation measures, these potential impacts were determined to be less than significant, consistent with the views of this commenter. Therefore, the comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P70

From: lyngolfs
To: ceacommments@swca.com
Subject: Fwd: Support for Mehdipour Project DEIR (PLN 100338)
Date: Wednesday, October 3, 2018 10:48:47 AM

To Whom It May Concern:

I am writing to encourage Monterey County to approve the Massy Mehdipour project. I know Massy personally and she is a wonderful person that deserves far better treatment.

I am familiar with the property and the neighborhood in which it is located. I am also familiar with the historic resource debate that has been incited by a neighbor opposed to the project and his lawyer, and I have read the various historic consultant reports written about the house.

I have personally been to the house and can testify that it is in such incredibly poor condition that any attempt to salvage it would be a wasted effort.

The historical value of the house, if any ever existed, must be deemed extremely limited. Its notoriety stems primarily from it being a less than stellar example of Mr. Neutra's work and from the fact that it was very poorly constructed and as a consequence has suffered significant damage from the elements over the years.

Because of the hysteria generated by the neighbor, the County required Mehdipour to expend a lot of money to prop up the failed structure while the EIR was being written. This was a monumental waste of the County's resources and of Mehdipour's money.

To exacerbate such waste further by trying to replicate the building would be foolish. I use the word "replicate" intentionally because that is all that can be done at this point. The sticks and mortar left standing on the property today cannot feasibly be restored in a way that would leave any of the original building integrity intact. The only option is to remove the house entirely and then rebuild it to "look" like something historic. It would, of course, be a brand-new structure, so all vestige of legitimate history would be lost, indeed, it is already gone. There is simply no historic integrity remaining in the building today and it is simply not worth saving, whether historic or not. It is a public hazard and eyesore and should be removed (as several experts have already opined).

P70.1

P70.2

P70.3

To the extent there ever was anything important about the house (again, a premise that, according to the experts is highly debatable), the only feasible mitigation is to document what it once might have been before mother nature took her toll. And if a new structure must be built (which it must), why not allow the vision of Mehdipour's world-renowned architect, Mr. Legorreta, to be utilized? New is new, and there seems no legitimate basis to disallow Mehdipour's reasonable use of her property.

P70.3
(cont'd)

It is not within the County's prerogative to dictate which architect an applicant employs or what design they may want for their personal residence. The County's job is only to ensure that the project complies with the zoning parameters which the Legorreta project does. In fact, the vast majority of people in the neighborhood would prefer the new house over the dilapidated and dangerous former house that is presently being propped up.

P70.4

In addition, the project would result in significant other benefits to the environment and neighborhood. The Coastal Plan seeks dune restoration in this part of Del Monte Forest and the project would result in over an acre and a half of fully restored and permanently protected habitat. The public viewshed from 17 Mile Drive would also be substantially enhanced by the project whose design blends in well with the dune foreground and forest backdrop.

P70.5

For the public benefit, I implore you to exercise reason and fairness and allow the development of a beautiful home in place of the remnant dregs of a failed building.

P70.6

Very truly yours,

Lyn Nelson
Half Moon Bay, CA

--
Lyn Nelson

9.4.70 Response to Letter from Lyn Nelson

Comment No.	Response
P70.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project, MR-4 regarding Baseline Conditions for comments related to the condition of the house. The personality traits of the applicant and the intent of the neighbors and/or their attorneys in wanting to see the structure evaluated as a historical resource are not CEQA issues and are outside of the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P70.2	Please refer to MR-2 regarding Historical Resources for comments related to the historical significance of the structure and MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P70.3	Bracing and shoring up of the existing structure were required by the County through a County code enforcement action due to violations of County Code that had occurred at the site. Section 5.6.1.3 of the EIR explains the extent of repair/replacement that would be required under the Preservation Alternative. As discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, has the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship. The Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior's Standards. Please also refer to MR-2 regarding Historical Resources for comments related to historical significance and integrity, MR-1 regarding Project Preferences for comments related to support for Mr. Legorreta's vision for the project, and MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P70.4	The statement that the County has no prerogative to dictate which architect an applicant uses for their personal residence is not a CEQA issue and is outside of the purview of this document. Pursuant to CEQA, the County is required to prepare an EIR when a project may result in a potentially significant adverse environmental effect. The County's job, as CEQA lead agency, is not only to ensure the project complies with local zoning requirements but to also ensure the project is properly evaluated under CEQA. Please refer to MR-1 regarding Project Preferences for comments related to the preferences of the commenter and any neighbors regarding the design of the selected alternative. Section 4.2.5.2 of the EIR identifies the beneficial impacts that would result from proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the restoration activities proposed.
P70.5	The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the new house component of the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for

Comment No.	Response
P70.6	development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P70.6	Please refer to MR-1 regarding Project Preferences.

COMMENT LETTER #P71

From: [Lynn Pigott](#)
To: [Ku, Cheryl x6049](#)
Subject: For Your Consideration
Date: Wednesday, October 3, 2018 9:02:27 PM

Cheryl Ku

*Senior Planner
Monterey County RMA-Planning
1441 Schilling Place ~ Second Floor
Salinas, CA 93901*

Dear Cheryl,

This is in support of Massy Mehdipour and her plans to build a new home on Signal Hill Rd in Pebble Beach. While my primary concern is the trampling of her rights as a property owner to create a home of her choice, I feel there has been another issue, overlooked, deserving of attention.

Ms. Mehdipour has been referred to in the press as a "Silicon Valley mogul," the implication being she is rich and heartless. Yes, she is a huge success by any standard. But her personal story is also fascinating, one that may inspire local neighbors and governmental officials to look into the personal aspects of this drama.

Ms. Mehdipour was born in the Middle East, the country of Iran. While her parents were lovingly devoted, she and her sisters were expected to follow the path of her mother who was illiterate. They were to be denied education, marry young and raise children. Massy wanted to go to school. She had to leave her hometown at age 12 to do so. She eventually attended McGill University earning an electrical engineering degree in 1972. Her first job was with Bechtel Corp where she climbed the ladder eventually supervising hundreds of engineers on major construction projects. She is an entrepreneur founding several successful companies. Additionally, she married, had children and, now, grandchildren. Her proposed home on Signal Hill is to be a spacious home for her large family which includes seven grandchildren.

Massy is most unusual compared to her contemporaries, but she is passionate, brilliant and kind. She promotes her fellow female colleagues whenever she has the chance. She is making the world a better place. She envisions her new home to be harmonious with its environment, and to be a local landmark even lending it to the public for benefits and community causes.

I would hope you would re-examine Ms. Mehdipour's project with an open mind and generous spirit.

Sincerely,

Lynn Pigott
1017 Broncho Road
Pebble Beach, CA 93953

P71.1

9.4.71 Response to Letter from Lynn Pigott

Comment No.	Response
P71.1	Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights. This comment is a personal endorsement of the project applicant and does not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P72

From: [Joy Robinson](#)
To: [Ku, Cheryl x6049; cenacommments](#)
Subject: Support for Mehdipour Project
Date: Wednesday, October 3, 2018 7:00:32 AM

I am writing in support of Massy Mehdipour's project at 1170 Signal Hill Road in Pebble Beach. What the County and her neighbor have dragged her through is shameful and must come to a stop.

P72.1

Trying to claim that dump of a house is historic as a way to delay her quiet enjoyment of her property is a blatant violation of property rights. As long as the new house complies with the current building code, let's end this ruse and put something beautiful there instead. According to the EIR, the house has many structural issues and other problems dating back to its original design and construction.

P72.2

Please confirm receipt of this email.

Joy Robinson
Pebble Beach, CA
[Show original message](#)

9.4.72 Response to Letter from Joy Robinson

Comment No.	Response
P72.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P72.2	Please refer to MR-2 regarding Historic Resources and MR-4 regarding Baseline Conditions for comments related to the historical significance and condition of the house. Please refer to MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P73

From: [Jean Pritchett](#)
To: [Ku, Cheryl y6049](#)
Subject: Support for Massy Mehdipour House
Date: Wednesday, October 3, 2018 11:20:06 AM
Attachments: 20181003081655015.pdf

Jean Pritchett
Administrative Assistant
Sackett Corporation | 1900 Point West Way, #273 | Sacramento, CA 95815
(916) 927-6800 Ext 210 | (916) 927-1493 Fax

-----Original Message-----

From: Jean Pritchett
Sent: Wednesday, October 03, 2018 8:18 AM
To: 'massy@jotter.com' <massy@jotter.com>
Subject: Support Massy Mehdipour

I missed the September 20th date but please find attached the proposed letter that I will submit October 9th for your review.

Gary Sackett

Jean Pritchett
Administrative Assistant
Sackett Corporation | 1900 Point West Way, #273 | Sacramento, CA 95815
(916) 927-6800 Ext 210 | (916) 927-1493 Fax

-----Original Message-----

From: Sackett Corp
Sent: Wednesday, October 03, 2018 8:13 AM
To: Jean Pritchett <jpritchett@sackettcorp.com>
Subject: Message from "RNP002673ECC0F6"

This E-mail was sent from "RNP002673ECC0F6" (MP 402SPF).

Scan Date: 10.03.2018 08:16:54 (-0700)
Queries to: sackettcorp@sackettcorp.com

October 3, 2018

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency – Planning
1441 Shilling Place, 2nd Floor
Salinas, CA 93901

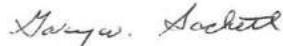
Dear Cheryl Ku:

I was a previous home owner that owned a home on Bird Rock Road for over nine years.

I am writing in support of Massy Mehdipour's project at 1170 Signal Hill Road in Pebble Beach. What the county and her neighbor have dragged her through is shameful. Trying to claim that a house is historic as a way to delay her quiet enjoyment of her property is a blatant violation of property rights. As long as the new house complies with the current building code, let's end this ruse and put something beautiful there instead. According to the EIR, the house has many structural issues and other problems dating back to its original design and construction.

Please confirm receipt of my letter.

Sincerely,



Gary W. Sackett
105 Mirasol Court
Monterey, CA 93940

P73.1

9.4.73 Response to Letter from Gary W. Sackett

Comment No.	Response
P73.1	Please refer to MR-1 regarding Project Preference for comments in support of the proposed project, MR-2 regarding Historical Resources for comments related to historic significance, and MR-3 regarding Property Rights. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P74

From: [Thomas Saxby](#)
To: [ceacommments](#)
Subject: Signal Hill LLC (Mehdipour) PLN100338; SCH#2015021054
Date: Wednesday, October 3, 2018 8:21:04 AM

The Connell House is an important early example of modern architecture in Pebble Beach by a leading American architect Richard Neutra. The house exhibits Neutra's signature stylistic design elements and is absolutely worth preserving. A community such as Monterey County should be proud to have this house and must work to protect it from short-sighted interests. Once a significant historic resource such as the Connell House is gone, it's gone forever. Please keep the Connell House from being demolished. With the right owner, one who will work to renovate, preserve, and maintain the house, it will become a cherished architectural jewel of the central coast.

P74.1

Kind Regards,
Thomas

Thomas Saxby Architect

910 Santa Clara Avenue
Alameda, CA 94501
(510) 337-1720
www.tsaxbyarchitect.com



Virus-free. www.avast.com

9.4.74 Response to Letter from Thomas Saxby, Architect

Comment No.	Response
P74.1	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P75

From: Sarah Brady
To: Ku, Cheryl x6049; cenacommments
Subject: Mehdipour House - Please Approve
Date: Thursday, October 4, 2018 10:24:47 PM

Cheryl Ku, Senior Planner
Monterey County RMA, Planning
1441 Schilling Place
Salinas, CA 93901

Cheryl,

I write to express my support for approval of the Mehdipour House project and offer my suggestions for modifications to the EIR.

Provide Full Picture at Time of Purchase

I was surprised that the EIR did not provide more background information on the circumstances around the purchase of the property which is relevant to understanding the big picture. The architect of the property was not disclosed to Mehdipour at the time of purchase nor was the fact it could possibly be considered historic a few years later because of who the architect was. This information deserves to be included in the Project Background section of the Executive Summary of the EIR and Section 4.3.1.2 of the EIR.

P75.1

Call it the "Mehdipour House"

The house should be called the "Mehdipour House" and not the "Connell House" as it currently is throughout the EIR. A full page in the EIR (page 4.3-14) is devoted to the background of the Connells, and yet no information is provided about the circumstances of the purchase. Mehdipour is the current owner and has owned it for the last 14 plus years. The Connells have not owned the house since 1973. Just because a group of preservationists created a campaign in 2010 with that name does not mean the EIR should also.

P75.2

Provide Full Picture at Time House was Built

Section 4.3.1.2 of the EIR provides a partial quote from the Connells which leads the reader to believe that all was well with the house when it was built in 1958. The longer version of the quote from Arthur Connell is as follows and should be included in the EIR:

"the house turned out to be not ideally suited for the environment, although it certainly capitalized on the outstanding view. The main problem was that Cypress Point is exposed to northwest and southerly winds which exceed 30 knots with gusts to 50 and 60 on occasion, and these persist for long periods. I feel certain that the air flow through the house could be as much as 1 or 2 knots, despite all windows and doors being closed, and the heat just never went off...the house leaked somewhere in every rain storm." For reference, the aforementioned

P75.3

quote is from Pages 268 – 269 from the Thomas S Hines book published in 1982 and referenced in the Draft EIR.

P75.3
(cont'd)

Be Balanced

The EIR should include the word “alleged” or “allegedly” in any and all references to the house being a “significant historical resource” as in “the house is an allegedly significant historical resource.” Just because the California Office of Historic Preservation puts a house on its register does make it a significant historical resource. Not all preservationists believe that the house is a significant historical resource as the report from Circa included in the EIR shows

P75.4

(<http://www.co.monterey.ca.us/home/showdocument?id=52456>).

The EIR must be more balanced in its assessment.

Provide Structural Report Details

Much more of the contents of the structural engineer’s report should be included in the primary EIR including, at a minimum, the following:

“Foundations consist of concrete strip footings beneath the walls and small, shallow piers beneath posts. Each strip footing has a pair of longitudinal reinforcing bars at mid-depth, but no transverse bars. Concrete walls that extend from the shallow footings, to just above grade are unreinforced. Piers beneath posts are unreinforced. The drawing shows that anchor bolts are provided between the sill plates at the base of the wood walls, however, neither the size nor spacing is called out. Structural sheathing is not called out for the wood walls.”

P75.5

Based upon all of the above reasons, and to demonstrate an appreciation for the importance of property rights, please approve the new Mehdi pour House project as proposed.

Regards,

Sarah Brady
Los Angeles, CA

9.4.75 Response to Letter from Sarah Brady

Comment No.	Response
P75.1	Please refer to MR-2 regarding Historical Resources for comments related to the circumstances around purchase of the property. The issue of whether or not the buyer was aware of Neutra's association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document. The comments do not require changes to the environmental document. However, this comment will be included in the Final EIR and will be made part of the administrative record and provided to local decision makers for their consideration.
P75.2	Please refer to MR-2 regarding Historical Resources for comments related to the naming convention of the Connell House. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P75.3	The quote from Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR. The Connell quote does not change the environmental analysis or conclusions. No changes to the environmental document are necessary.
P75.4	Please refer to MR-2 regarding Historical Resources. Although a disagreement among experts as to the significance of the resource is present, the National Register eligibility designation is the basis for the EIR's determination of the significance of the Connell House as a historical resource.
P75.5	The structural engineering report is referenced in the EIR and) has also been added as Appendix F of the EIR. The information provided in the report provides additional background on the integrity of the house and will be added to Chapter 9 of the EIR, made part of the administrative record, and provided to local decision makers for their consideration.

COMMENT LETTER #P76

From: [Emily Burt](#)
To: [Ku, Cheryl x6049; cenacomments](#)
Subject: Support for Massy Mehdipour
Date: Thursday, October 4, 2018 9:24:07 AM

Dear Cheryl,

This letter is one of support for Massy Mehdipour as a person and for her project in Pebble Beach. I have known Massy as family friends for over 30 years, and know her to be incredibly unique, inspiring and generous.

I hope to encourage Monterey County to respect and cooperate with Massy, a remarkable person. The New York Times printed her biography. She rose from the most modest of beginnings to an entrepreneur that is an amazing example of the American Dream. Her mother was illiterate and she was born in a country where girls were not encouraged to go to school. Her dream was to come to this country for an education. She became an electrical engineer and founded two successful companies, and is a great inspiration for young girls and women. Such an exceptional person should be welcomed in the Pebble Beach community.

Preservationists have contested Massy's plans using the ploy of declaring the house historic. I first visited the house shortly after it was purchased and it was clear then that it was a tear down. The dampness and odor were palatable. Much of the interior was in shambles.

I am truly shocked at the charade of insisting the house should be preserved. The preservationist tactics have been an expensive violation of Massy's property rights. That a property owner would be forced to accommodate such injustice is unconscionable, and unconstitutional.

It is my hope that you will recognize the miscarriage of justice that has gone on for many years in this case, and voice your defense of a property owner's right to build her home for herself and her family by approving the project.

Sincerely,

Emily Burt
San Carlos, California

P76.1

P76.2

P76.3

P76.4

9.4.76 Response to Letter from Emily Burt

Comment No.	Response
P76.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. This comment is a personal endorsement of the project applicant and does not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P76.2	Please refer to MR-2 regarding Historical Resources for comment related to historical significance and MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P76.3	Please refer to MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P76.4	Please refer to MR-3 regarding Property Rights, and MR-1 regarding Project Preferences for comments related to support for the proposed project. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P77

From: [Mike Clair](#)
To: [Ku, Cheryl x6049](#)
Cc: [cc@comments](#)
Subject: In Support of Massy Mehdipour's project
Date: Thursday, October 4, 2018 2:45:34 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Cheryl,

I have known Massy Mehdipour for more than 15 years. She is a brilliant, hard-working, successful, charitable woman, well respected in the community. I have owned a home in Pebble Beach for about 20 years. I have watch what the crazy neighbors and confused local government has done to this woman for the last 10 years. It is not only dispassionate; it is likely criminal. I have seen her other homes, which are "world-class"; she only hires the most esteemed and prolific and creative architects who have worldwide reputations.

My letter is in full support of Massy Mehdipour and her right to exercise her property rights against the tyranny of her neighbors and the government. As described in an article in the July 13, 2018 edition of the Carmel Pine Cone (<http://pineconearchive.fileburstedn.com/180713PCA.pdf>), a Pebble Beach property owner recently got approval to build a 4,294-square-foot home on a quarter-acre lot adjacent to the Pebble Beach Golf Course that required variances because it exceeded the allowable floor area ratio (FAR).

They had purchased the property in 2015 and the Monterey County Board of Supervisors upheld the decision to approve the project a few months ago.

The property owner was represented by Tony Lombardo, who represents the neighbor who has been campaigning against Mehdipour. The point Lombardo emphasized several times in his defense of his client needing variances to build a 4,294-square-foot home on a quarter-acre lot was that they deserved the "privileges enjoyed by other properties in the vicinity." Does Mehdipour not deserve the same?

Compare that project to Mehdipour's project. Approximately 11,933 square foot house, with half of it buried in the hillside, on a 2.2-acre lot. It is almost half of the allowable lot coverage, and about a quarter of the FAR of the other one. She is also offering to convert 1.65 acres of the 2.2-acre property into dune landscape, removing and replacing much of the current property which is overrun with non-native ice plants. And of course, no variances are needed.

Please follow basic principles of property rights, precedent, common sense, and fairness and allow Mehdipour to build her code compliant home and provide her "the privileges enjoyed by other properties in the vicinity."

Please confirm receipt.

P77.1

Respectfully,

Michael Clair
Pebble Beach, CA 93953

9.4.77 Response to Letter from Michael Clair

Comment No.	Response
P77.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project and MR-3 regarding Property Rights. The description of the County's processing of a proposed 4,294 square-foot residence in proximity to the proposed project (which did not involve demolition of a historic resource) does not require change to the EIR analysis of the proposed project and is outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P78

From: [Audrey MacLean](#)
To: [Ku, Cheryl x6049](#)
Cc: [ceqacomments](#)
Subject: Support for Massy Mehdipour
Date: Thursday, October 4, 2018 2:07:46 PM

Cheryl Ku
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

TO: ku@co.monterey.ca.us
CC: ceqacomments@co.monterey.ca.us

Dear Ms. Ku,

I am in favor of immediate demolition of the existing house at 1170 Signal Hill Road, and support the building of Massy Mehdipour's new home. Having known Massy for almost 14 years, I can attest that she is a wonderful person – smart, successful, and extremely family oriented.

P78.1

In my opinion, the house she purchased was far from an historical landmark – it was an eyesore! Historical registration should be used for truly historic places, and those that the public benefits from visiting. I saw the house when she initially purchased it, and there was nothing special about it; it was NOT historical, by any means. The house has not been “neglected”, rather her efforts to develop it have been totally obstructed by people who have tried tirelessly to stop her, for no good reason!

P78.2

I believe her future home plans would enhance the scenery of the majestic Pebble Beach coastline.

Regards,

Audrey MacLean
3326 17 Mile Drive
Pebble Beach, CA

9.4.78 Response to Letter from Audrey MacLean

Comment No.	Response
P78.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P78.2	Please refer to MR-2 regarding Historical Resources for comments related to historical significance and the historical registration process. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P79

From: [Steve Martello](#)
To: [Ku, Cheryl x6049; ceqacomment](#)
Subject: Support for 1170 Signal Hill Road property action
Date: Thursday, October 4, 2018 5:23:40 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901
kuc@co.monterey.ca.us
ceqacomment@co.monterey.ca.us

I am writing with respect to Massy Mehdipour's desire to replace the existing house at 1170 Signal Hill Road with a newly designed house. I strongly support Massy in this action.

I am an investor colleague of Massy. Her business qualifications are exemplary, and her thought processes are driven by facts. My wife and I have owned a second home in Carmel for 17 years at 4 SW of 4th on Carmelo. Our home during the week is in Hillsborough, CA. We have witnessed a number of protracted Monterey Peninsula property litigations over the years. I wish to bring several facts to your attention.

P79.1

Fact: The Structural Report commissioned by the County (ref: Simpson Gumpertz & Heger, 2016) enumerates many critical structural deficiencies.

P79.2

Fact: At the time of purchase or thereafter until the neighbor took up their campaign, no one involved disclosed to Massy the house was designed by Neutra or was possibly eligible for historic designation (ref: Bill Bernstein).

P79.3

Fact: Many historical architects do not consider this house to be a historical resource (ref: <http://www.co.monterey.ca.us/home/showdocument?id=52456>).

P79.4

Fact: The new house proposed complies with all code, rules, and regulations, going above and beyond to ensure it is harmonious with the setting.

P79.5

Fact: There is no public benefit in trampling on an individual's property rights. Property rights are one of each individual's American rights.

P79.6

Fact: The house has been in a steady decline for many years and is now structurally failed. Historically, some on the Monterey Peninsula want to debate indefinitely the importance of selected structures. It is time to move on.

P79.7

Please confirm receipt of this e-mail.

Sincerely,

Steven J. Martello

Carmelo 4 SW of 4th Avenue
Carmel, CA, 93921
Lot 19 Block HH CBTS addition 3
Assessor Parcel # 010253003
stevemartello@gmail.com

9.4.79 Response to Letter from Steven J. Martello

Comment No.	Response
P79.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. The background information of the commenter and comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P79.2	The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR, consistent with this comment. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P79.3	Please refer to MR-2 regarding Historical Resources for comments related to whether the applicant was aware of the potential historical significance of the house at the time of purchase. The issue of whether or not the buyer was aware of Neutra's association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P79.4	Please refer to MR-2 regarding Historical Resources for comments related to the historical registration process. Although a disagreement among experts as to the significance of the resource is present, the National Register eligibility renders the Connell House a historical resource under CEQA.
P79.5	The project's consistency with applicable plans and policies is evaluated throughout Chapter 4 of the EIR. The project was found to be potentially inconsistent with numerous policies, particularly those for the protection of visual and biological resources, and mitigation measures were identified to ensure the project, as modified, would be consistent with applicable policies. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P79.6	Please refer to MR-3 regarding Property Rights. The comments above do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P79.7	Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the structure. The observation about historical debate over the importance of selected structures is commenter's observation and not a comment on the EIR analysis. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P80

From: karenmriley
To: Ku, Cheryl x6049; ceqacomment
Cc: KarenMRiley@aol.com
Subject: Support for 1170 Signal Hill, Pebble Beach
Date: Thursday, October 4, 2018 5:15:02 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901
kuc@co.monterey.ca.us
ceqacomment@co.monterey.ca.us

Dear Planning Commission staff member,

I am writing to express my strong support for Massy Mehdipour and her project to replace the currently uninhabitable, condemned house at 1170 Signal Hill Road, Pebble Beach with a beautiful new home that complies with all current code requirements.

I know Massy as a fellow investor. She is a successful serial entrepreneur and executive who is extremely smart, thoughtful, principled and fair in her business dealings. It is amazing to me that the County has negated her proposed plans for so long while she is spending her own money and forced to maintain a structurally failed, vandalized property.

The "historical" designation given after she bought the property with the intent to tear it down is dubious. Other historical architects don't even consider it a historic resource. See <http://www.co.monterey.ca.us/home/showdocument?id=52456>

The new home would be such an improvement to the beautiful 17 Mile Drive. It meets all current codes, rules and regulations, and is in harmony with its setting. In addition, Massy is proposing to convert 1.65 acres of the 2.2 acre property into dune landscape - an environmental upgrade at her expense.

It is unbelievable that this has been going on over ten years now - almost as long as I've owned and lived in our Carmel home. It's time to allow Massy to exercise her property ownership rights and build her beautiful dream house in Pebble Beach.

Please approve her proposal, and please confirm receipt of this email.

Best,
Karen M. Riley
The Chardonnay House
Carmelo 4SW of 4th
Carmel, CA 93921
Asmt parcel# 010253003
karenmriley@aol.com

P80.1

P80.2

P80.3

P80.4

9.4.80 Response to Letter from Karen M. Riley

Comment No.	Response
P80.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. This comment is a personal endorsement of the project applicant and does not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P80.2	Please refer to MR-2 regarding Historical Resources for comments related to the commenter's statements about applicant's lack of awareness that the property may be historically significant and the disagreement among experts on the historical significance of the structure. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P80.3	<p>The project's consistency with applicable plans and policies is evaluated throughout Chapter 4 of the EIR. The project was found to be potentially inconsistent with numerous policies, particularly those for the protection of visual and biological resources, and mitigation measures were identified to ensure the project, as modified, would be consistent with applicable policies. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.</p> <p>The potential for the new house component of the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. Section 4.2.5.2 of the EIR identifies the beneficial impact proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the onsite restoration activities proposed. Note that restoration activities are a requirement of the County's Resource Management Element (Policy 13, Policy 17) and the Monterey County Coastal Implementation Plan (Section 20.147.040(C) and (D), Environmentally Sensitive Habitat Areas). Offsite coastal dune restoration (or in-lieu fees) are another mitigation that will minimize potential impacts to ESHA (BIO/mm-3.9) and was added to the FEIR in response to concern from the California Coastal Commission (Comment Letter #A2).</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P80.4	Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P81

From: [Archie Robinson](#)
To: [Ku Cheryl x6049](#)
Cc: [Massy Mehdiipour](#); [Sateez Kadivar](#)
Subject: Massy Mehdiipour property @ 1170 Signal Hill Road, Pebble Beach, CA
Date: Thursday, October 4, 2018 4:51:17 PM
Attachments: [mehdiipour letter.docx](#)

Attached please find letter in support of the above project. Thank you for your consideration.

2845 Congress Road
Pebble Beach, CA 93953
October 9, 2018



Cheryl Ku, Senior Planner
Resource Management Agency -- Planning
Monterey County
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Re: Massy Mehdipour Residence
1170 Signal Hill Road, Pebble Beach, CA

Dear Ms. Ku:

I write to request approval of Massy Mehdipour's project to replace a dilapidated, non-Code structure with a beautifully designed, low-profile, fully Code-compliant home that is in harmony with its surroundings.

P81.1

The existing structure, referred to in the EIR as the "Connell House," was built in 1958. Unfortunately, it was so poorly designed that wind whistled throughout the house even when all windows and doors were closed, and leaks occurred after every rain storm. [See the Hines book (1982), referred to in the Environmental Report on file herein.] A structural analysis of the house, ordered by the County, revealed several significant design deficiencies, including inadequate strength in the walls to resist seismic forces. [See the Simpson, Gumpertz & Heger 2016 Structural Evaluation and Report in the ER documentation.]

Mehdipour bought the house from an elderly couple in their 90's who had not been able to maintain the structure because of its flawed design and construction. The identity of the architect was unknown to both buyer and seller and was not even discussed during the purchase. When purchased by Mehdipour in 2004, the house was 46 years old, and, therefore, not eligible for designation as a historic structure. And because the house was in such poor condition, a suggestion that it had potential to be designated "historic" would have been laughable. Mehdipour made it clear to the sellers that her interest in the property was solely because of the lot, and that it was her intent to raze the original structure and to replace it with another.

P81.2

A world class architect, Ricardo Legorreta, was retained by Mehdipour in 2007 to design a house that blended with its setting. To that end, Legorreta made three trips from Mexico City to take samples of dirt and dunes material from the site in order to develop the appropriate color palette. Several local architects were interviewed for the position of "technical architect" to work with Legorreta. Mr. Bill Bernstein was retained for that role and continued to work with Legorreta until the latter's passing in 2011.

9.4.81 Response to Letter from Archie S. Robinson

Comment No.	Response
P81.1	<p>Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. The project's consistency with applicable plans and policies is evaluated throughout Chapter 4 of the EIR. The project was found to be potentially inconsistent with numerous policies, particularly those for the protection of visual and biological resources, and mitigation measures were identified to ensure the project, as modified, would be consistent with applicable policies.</p> <p>The potential for the new house component of the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant.</p> <p>In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P81.2	<p>Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house, and MR-2 regarding Historical Resources for comments related to the lack of awareness of the potential historical significance of the structure by the project applicant and the 50-year threshold for historic evaluation. The applicant's intent to demolish the structure as stated at the time of purchase is not relevant to the CEQA analysis. The comments accurately cite the EIR and provide a timeline of relevant events, but do not relate to a specific environmental issue or analysis relevant to either the EIR or CEQA compliance. Please also refer to MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P81.3	<p>Please refer to MR-3 regarding Property Rights. The above comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P82

From: [Meredith Stricker](#)
To: [ceqacomments](#)
Cc: [mcreel@swca.com](#)
Subject: Preserve The Connell house in Pebble Beach -- CEQA comments
Date: Thursday, October 4, 2018 2:59:28 PM

As an architectural and design studio that has practiced in Monterey County for the past twenty years, we strongly urge you to preserve the historically significant Connell Residence in Pebble Beach. Years ago, I met with Dione Neutra on editing letters from her husband, Richard Neutra. Since that time, the work of Richard Neutra has greatly grown in significance.

The draft EIR already states that “Preservation is the environmentally superior alternative” (p 26) and we urge you to do all you can to **preserve instead of demolish this important architectural legacy.**

Sincerely,

Meredith Stricker Thomas Cowen
principals in visual poetry studio, Carmel CA

38330 Whitman, Carmel CA 93923
831 624.4581

P82.1

9.4.82 Response to Letter from Meredith Stricker and Thomas Cowen, Principals in Visual Poetry Studio

Comment No.	Response
P82.1	Please refer to MR-1 regarding Project Preferences. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P83

From: [Liza Temple](#)
To: [ceqacomments; Ku, Cheryl x6049; acreel@svca.com](#)
Subject: Massy Mehdipour
Date: Thursday, October 4, 2018 4:24:54 PM
Attachments: Temple Massy EIR Letter.docx

Please see attached letter.
Thank you, Liza Temple

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Dear Ms. Ku,

I am writing to express my strong support for the Massy Mehdipour project at 1170 Signal Hill Road in Pebble Beach, California.

I live in the Silver Lake area of Los Angeles home to Richard Neutra's studio and office and several historical homes. As Silver Lake residents we treasure these structures and work hard to preserve them and other historical buildings. As a member of the Urban Design and Preservation committee for several years, I have seen the complex nature of the need and desire for owners and developers to build new construction conflict with the desire to preserve what makes the neighborhood unique and special. It is our committee's role to help resolve these conflicts and hear the voices of the residents.

Although the Attachment letters to the EIR make a compelling argument for the preservation of the Connell House, it is also clear that its historical significance is not substantiated. The fact that it was not disclosed as such upon sale, that no one involved in the proposed project, including the new project's world-renowned architect, Ricardo Legorreta, had "any idea that this house could possibly be historic in nature, let alone designed by Richard Neutra,"* point specifically to its lack of significance.

My concern in this case in particular is that a campaign in the name of preservation has been waged after-the-fact and the historic designation is being misused as a tool to obstruct this owner specifically. Reconstructing, or essentially building a replica of, a house that is structurally unsound, incompatible with the environment and with dubious historical significance is not preservation in this case. And using the historical designation process as a personal vendetta tool will erode the entire process if supported.

Please approve this project and let's get it historically designated the correct way once it is completed and it becomes clear this is one of Ricardo Legorreta's significant works.

Liza Temple
Los Angeles, CA

**Bill Bernstein letter to Editor sent to the Carmel Pine Cone*

P83.1

9.4.83 Response to Letter from Liza Temple

Comment No.	Response
P83.1	<p>Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources, including a discussion of the Secretary of the Interior’s Standards for reconstruction of a historic property. The particular issue of whether or not the buyer was aware of Neutra’s association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document; it is also irrelevant to the questions of whether or not the structure is historically significant. Section 15064.5 of the State CEQA Guidelines provides that, for purposes of CEQA, historical resources <i>shall</i> include a resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources (CRHR). The Connell House is listed in the CRHR and is, therefore, treated as a historical resource in the EIR. CEQA requires the evaluation of the potential impacts on the historical resource. The EIR does not dictate the selection of any particular alternative; that decision is up to local decision makers, who can choose to select the project if the County makes the appropriate findings and adopts a a Statement of Overriding Considerations (CEQA Guidelines sections 15091 and 15093.).</p>
	<p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P84

From: [Cynthia Zurolo](#)
To: [Ku, Cheryl x6049; cenacomments](#)
Subject: Massy Mehdipour EIR
Date: Thursday, October 4, 2018 10:16:09 PM

To Whom It May Concern:

Please allow Massy Mehdipour to build her house once and for all. Property rights are a fundamental American value which should be protected. Mehdipour's rights have been violated for many years and she should never have been asked to go through an EIR. What has transpired amounts to a governmental taking without just compensation.

P84.1

Now that she has endured an EIR, the conclusion is as obvious as it was before the EIR: the house is not salvageable and she should be permitted to build a new house just as anyone else would be.

Not much of the house remains, through a combination of it being improperly designed and constructed initially, years of oceanfront weather, vandalism, and the County's own order to partially demolish the house.

P84.2

The structural engineer goes into great detail about how the only way to preserve the house is to reconstruct it.

Mehdipour's property rights are an overriding consideration over the wishes of those people who think that her private property should be preserved in perpetuity.

P84.3

Thank you for your consideration.

Cynthia Zurolo
Redwood City, CA

9.4.84 Response to Letter from Cynthia Zurolo

Comment No.	Response
P84.1	<p>Please refer to MR-3 regarding Property Rights. An EIR is required any time a project is proposed that would potentially result in a significant adverse environmental impact, such as demolition of a historical resource.</p> <p>The feasibility of the Preservation Alternative and extent of existing materials and features that could be incorporated into a reconstruction is described in Section 5.6.1.3, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction.</p>
P84.2	<p>Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comment suggests the existing structure is beyond repair. The extent of repairs that would be required to restore the Connell House was evaluated by a structural engineer and is described in Section 5.6.1.3 of the EIR, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction. Please refer to MR-2 regarding Historical Resources for comments related to the Secretary of the Interior's Standards for reconstruction of a historic property. The Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior's Standards. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource.</p> <p>These comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P84.3	<p>Please refer to MR-1 regarding Property Rights. Ultimately it is the responsibility of the decision-making body to consider the whole of the record and approve or deny the proposed project, or to select an identified feasible project alternative. Per section 15093 of the State CEQA Guidelines, the decision-making body may choose to approve the project as proposed, if it makes the appropriate findings and adopts a Statement of Overriding Considerations.. .</p>

COMMENT LETTER #P85

Emily Creel

From: Raymond Neutra <raymondneutra@gmail.com>
Sent: Friday, October 05, 2018 7:04 AM
To: Emily Creel
Subject: Connell Mehdipour House
Attachments: The Long History of Richard Neutra on the Monterey Peninsula.pdf

Dear Ms Creel,

I would like the attached document about my father's connection to the Monterey Peninsula, the reason for the Connell House color palette and this email, to be added to the comments about the Draft EIR.

Thank you

Raymond Richard Neutra MD

P85.1

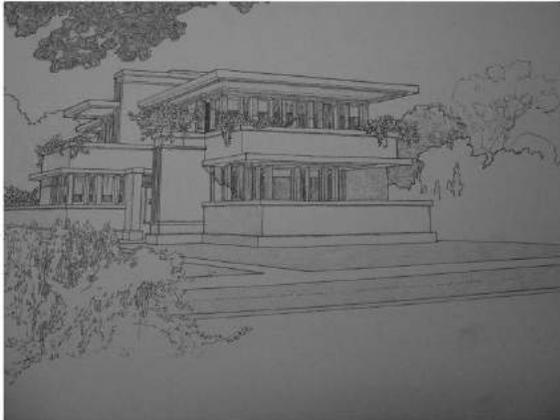
The Long History of Richard Neutra on the Monterey Peninsula

Raymond Richard Neutra

Introduction

By the time that Richard Neutra received the commission to design Arthur Connell's house in the late 1950's he had three decades of connections with the intellectual life of the Monterey Peninsula. The connection started with a lecture in the fall of 1928. It continued with his early support of the careers of Edward and Brett Weston and with architectural assignments in the Monterey area in the late thirties and early forties that finished with the Connell commission.

It is a mistake to characterize the Connell house in Pebble Beach as a foreign "international style" created by an outsider. It is true that the Connell House's flat roof, unornamented white surfaces and extensive use of glass would match the criteria laid down by Hitchcock and Johnson to qualify as "International Style," (Hitchcock HR and Johnson P, *The International Style*, WW Norton, New York 1932) However, the separation of vertical and horizontal planes, "exploding the box," descends from Neutra's idol, Frank Lloyd Wright's 1909 Gale House.



P85.1



The enormous sliding doors opening to the functional spaces of the balconies and the wind-protected patio descend from his school friend Rudolph Schindler's 1922 Kings Road House and 1923 Pueblo Ribera Apartments in La Jolla.

The severe white and olive colors of the Connell House were not imposed on the client as part of an uncompromising stylistic commitment to an imagined style. The Connells would have been given a choice of materials. By the late 1950's, clients would be shown slides of completed Neutra projects so that they could indicate what kinds of material they would prefer, and they were encouraged to look at the books about Neutra's work that showed the range of treatments from which they could select. (Personal communication, Feb 17, 2018 with Connell House project architect for Neutra Office, 90 year old John Blanton). Starting with the 1939 and 1940 commissions in the Monterey area and a 1942 commission in Los Angeles for Carmel resident John Nesbitt, Neutra had begun widening his palette of materials to include redwood, exposed beams and pitched shingle or tile roofs and had adopted a much more radical functional connection between indoor and outdoor areas. (Hines, T Richard Neutra and

Commented [AK1]: d

P85.1
(cont'd)

the Search for Modern Architecture, Rizzoli New York 2005) During an interview with the Connell's daughter Alexandra (93-17-18) she told me that her parents decided to avoid wood finishes for financial reasons. Thus the Connells themselves, decided to employ the white plaster and olive colored trim, perhaps to blend the color of the rectilinear horizontal and vertical planes of the building with the color of the softly undulating dunes and the hovering cypresses of their site.

Commented [AK2]: italics for titles

Early Connections to Monterey and Carmel Artistic Communities

In 1928, the year that Herbert Hoover was elected president, Amelia Earhart was the first woman to fly over the Atlantic and that Kurt Weill wrote the Three Penny Opera, Neutra and his wife were invited by Pauline Schindler to lecture and give a concert in Carmel. In the November 28, 1928 issue of the Carmelite (<https://socialarchhistory.blogspot.com/2010/07/pauline-gibling-schindler-vagabond.html>) Pauline Schindler wrote:

Commented [AK3]: I don't think it's wise to introduce a season when you're talking about an entire year.

Richard Neutra who lectures in Carmel at the studio of Denny and Watrous next Sunday evening, is what we might call a direct architectural descendent of Louis Sullivan. Every profession in every art which has great teachers has its lineages. The greatest of those who called Sullivan "Master," was Frank Lloyd Wright. Louis Sullivan became a great influence upon American architecture because he could not only understand consciously what he was driving at; illustrated the principle that form follows function; but he could make his meaning clear to the rest of the world. Richard Neutra is one of the two or three true descendants of the lineage of Sullivan and Wright, to whom architecture is not merely an expression of a civilization But conditioning agent of future cultures. (Schindler, P the Carmelite November 28, 1928 p 11)

**P85.1
(cont'd)**

In her book of letters (Neutra D, Promise and Fulfillment, Southern Illinois University Press Carbondale 1986 p173) Dione described this visit:

The receipts of the lecture we're supposed to pay for our trip. Well, fortunately about 20 people showed up in the studio of Dene Denny and Hazel Watrous. The first one a modern pianist, the second a painter and applied artist. The room was very uncluttered quite perfect for giving a lecture on modern architecture..... Unfortunately, it rained again on the evening of my recital. Again about 20 people braved the rain. The recital was again in a private home which was most appropriate. I sang a few Swiss folk songs accompanying myself on the cello. These, everybody seemed to enjoy very much. I also sang an alto aria from the St. Matthews passion for this I accompanied myself on the piano.

In Los Angeles the Neutras had become friends with Edward Weston and his teenage son Brett. Historian John Crosse has documented the role of Neutra in promoting their work in Europe (<https://socialarchhistory.blogspot.com/2014/01/brett-westons-smokestacks-1927.html>)

Commented [AK4]: teenage

Through Edwards contacts with Schindler partner and Kings Road tenant Richard Neutra a version of Brett's "stacks" was definitely included along with 18 of Brett's photos and 20 of Edward's in the seminal "Film und Foto" exhibition in Stuttgart in May through July 1929. "Film und Foto" was comprised of approximately 1000 works from Europe the Soviet Union and the United States. The traveling exhibition was a seminal avant-garde event in the history of modern photography which Neutra, through his European publishing and Deutsche Werkbund connections was given responsibility for America's West Coast contributions. Neutra made a friend for life by delegating this task to Weston and providing him, Brett and mutual friends Imogen Cunningham and Rogers Sturtevant their first significant European exposure. The exhibition catalog included an introductory essay to the American section by Edward along with a few of his images and the listing of his and Brett's contributions.

Commented [AK5]: ,

Before leaving on his career-making world tour in May 1930, Neutra also selected Brett's photograph "Stacks" and other images by Brett and Edward from their "Film und Foto" portfolios to illustrate his second book, "Amerika Die Stilbildung des Neuen Bauens in den Verienigten Staten" published in 1930. Charged with designing the cover, noted Russian graphic designer El Lissitzki was so taken by "Stacks" when he viewed it in "Film und Foto" that he selected it along with another image from Neutra's book, a photo by Herbert of New York's Chanin building, to create the striking cover montage of Neutra's second book.

The Neutra's friendship with the Westons continued through the rest of their lives, Brett's daughter Erica was a classmate of Neutra's son Raymond at a private school in Ojai in the 1950's and they continued to be in contact.

Commented [AK6]: A comma before and after Erica; she was his only daughter

P85.1 (cont'd)

Early Commissions

In 1939 Neutra was commissioned by the writer William Davey and his artist wife Alice Davey to design a house for them on Jack's Peak. (Hines p 161)(Neutra RJ, Life and Human Habitat, Alexander Koch Verlag Stuttgart, 1956 p 154-155). Davey was the son of famed Santa Fe artist Randall Davey. Although William Wurster had designed simplified pitch roofed buildings in the area, starting in the early 1930's, and Harwell Hamilton Harris who had studied and worked with Neutra had designed a pitched roof open plan residence in 1937, the Davey residence was probably the first Monterey area flat roofed, building that separated vertical and horizontal planes and used bands of casement windows. But here Neutra was experimenting with an exterior of natural redwood rather than the metal or white stucco of his earlier buildings. (Kent Seavey Personal Communication Feb 17, 2018, Architecture of the Monterey Peninsula, Monterey Peninsula Museum of Art April 9-May 56, 1976 Brochure) This building has been altered beyond recognition.

Commented [AK7]: This sounds rather clumsy

Commented [AK8]: e



A year later Neutra and a local architect, Robert Jones, were commissioned to design a Community Center in New Monterey at the corner of Archer and McClellan. The drawings of this project can be found in the UCLA archives of the Richard and Dion Neutra papers (Box 594). It is a pitched roof structure, echoing but not imitating the roof lines of traditional Monterey buildings. It seems that the project was brought to a halt by the onset of WWII since a structure by another architect was constructed on the same site in 1947.

Commented [AK9]: A comma before and after

Commented [AK10]: A comma here

P85.1
(cont'd)



The *Monterey Herald* of October 21, 1940 had this article about that project and Neutra and his attitude toward Monterey architecture:

Preserve Old Buildings but Don't Imitate Them: Neutra

Modern style buildings, Neutra said, can be made to fit harmoniously in the vicinity of old landmarks and to back up his position he cited examples of such development in other places... Neutra revealed a rare understanding of and admiration for Monterey. "I have visited many older places where restored ruins are preserved he said but none are as important and significant as Monterey... Monterey's charm" he emphasized "is a result of the culture of its early residents and the old buildings here are simply an expression of that culture. There is no original for Monterey type buildings in Europe or anywhere else," Neutra said. "Monterey's pioneers did not limit themselves to the materials of Indian Adobe construction but supplemented Adobe in a non-Mexican way by relating it more liberally to the outdoors than is the case in Mexican or Indian buildings." The simple rooflines of Monterey buildings drew enthusiastic praise from the speaker who said "how sane and sound and progressive is the Monterey building."...." The hope of a place like Monterey" he said "is in preserving what is old

Commented [AK11]: italicize

P85.1
(cont'd)

and making sure that the new and the old are in relation to each other. The old is not more important than the new, for no community is a moment of history but a picture developing over the years, combining the feeling an expression of many generations."

The broadening of Neutra's use of materials, that the Connells did not choose to adopt was stimulated by a Carmel resident. The radio producer and narrator of "the Passing Parade," John Nesbitt, who had lived in Frank Lloyd Wright's Ennis House, commissioned Neutra to design a small house for him in Brentwood in West Los Angeles. Completed in early 1942, war time restrictions and the client's tastes pushed Neutra toward the use of redwood, rustic brick and polished brick floors. Enormous wooden sliding glass doors opened the living room to the garden on two sides, and a lily pond extend from outside to the inside under a floor to ceiling glass wall. The house won an American Institute of Architects first prize. (Hines p219).



P85.1
(cont'd)

At the same time as Nesbitt commissioned Neutra in Los Angeles, he had Frank Lloyd Wright design a much larger project for an ocean side plot near the Cypress Golf Club in Pebble Beach, but this was never constructed. The Nesbitts and the Neutra's continued their friendship during their lifetimes. The Neutra's visited them in Carmel or at their ranch near Salt Creek in Big Sur. Nesbitt gave a spoken introduction on a gramophone recording of Mrs. Neutra's cello and piano songs before he died in 1960.

So when the Arthur Connells came to Neutra to design their house on the ocean side dunes of Pebble Beach he sited it with a long term familiarity with the natural and cultural history of the place. (Hines p 299) (Neutra RJ, world and Dwelling, Universe Books New York 1962 p 104), (Lamprecht, BM, Neutra, Complete Works, Taschen, Cologne, 2000 p 333)

Commented [AK12]: comma

P85.1
(cont'd)

9.4.85 Response to Letter from Raymond Richard Neutra MD

Comment No.	Response
P85.1	The commenter provides additional background information regarding Richard Neutra's connection with the Monterey Peninsula and the construction of the Connell House. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P86

From: [Wendy Roberts](#)
To: [Ku, Cheryl x6049; cecacomments; ccreel@swca.com](#)
Subject: Massy Mehdipour - 1170 Signal Hill, Pebble Beach
Date: Friday, October 5, 2018 4:20:36 PM

Cheryl Ku
Monterey County Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

I am writing in support of Massy Mehdipour's project at 1170 Signal Hill Road in Pebble Beach.

I lived in this neighborhood on Bird Rock Road for 10 years until June 2017. I have been inside the Signal Hill Road home when it was barely livable, and also had to view this dilapidated structure on my frequent walks throughout the area. What the County and her neighbor have dragged her through is shameful and must come to a stop.

Has any consideration been given to the balance of the neighborhood that has been subjected to constantly, and for too many years, having to look at this dump of a house? It has been a source for vandalism and other problems for too long now. Don't the other property owners have rights? Should they not have expectations as to how the neighborhood homes appear and that they be presentable? Clearly, there is no view that would be obstructed by a new home being built in this location, and it would certainly improve the current view looking up the hill from 17 Mile Drive, Cypress Cove and many other homeowners' properties.

Regardless of this structure being thought of as historic, which is somewhat of a joke, this should not delay her quiet enjoyment of her property, and frankly, is a blatant violation of her property rights.

As long as the new house complies with the current building code, let's end this ruse and put something beautiful there instead. According to the EIR, the house has many structural issues and other problems dating back to its original design and construction.

Please do the right thing and allow Massy Mehdipour to build her home and enjoy the property she paid so dearly for many years ago.

Please confirm receipt of this email.

Wendy Roberts
Monterey, CA

P86.1

9.4.86 Response to Letter from Wendy Roberts

Comment No.	Response
P86.1	<p data-bbox="360 365 1414 499">Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources, and MR-3 regarding Property Rights. The impacts of the current dilapidated structure's impacts on the neighborhood are evaluated as a part of the No Project Alternative, which assumes no changes to the structure would be made. Beyond this discussion, the existence of the dilapidated structure while the CEQA and planning process is completed is not a CEQA issue.</p> <p data-bbox="360 541 1414 810">The potential for the new house component of the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. Please refer to MR-4 regarding Baseline Conditions. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant.</p> <p data-bbox="360 852 1414 928">The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P87

Cheryl Ku
Monterey County Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

October 5, 2018

Dear Ms. Ku,

I am writing with regards to the EIR for the Massy Mehdipour house at 1170 Signal Hill Road in Pebble Beach. I went through an EIR process myself in Monterey County a few years ago. Based upon the findings in the EIR, the County should fully support the demolition of the existing structure, and its replacement with the proposed project.

P87.1

With all of the analysis and the years it took to complete, it is clear that the permit should be granted because the house has limited significance and has lost all integrity over the last 50 plus years. In addition, there are some basic mitigation measures available to document the house, and the new house is quite harmonious with the site.

P87.2

Common sense tells me that the house has very limited significance. There are several detailed reports from historians contained in the voluminous EIR that state the house is not significant and not worthy of registration. The fact that it made it on to the CA Register just highlights that the California Office of Historical Registration rubber stamps anything it plausibly can. It would also be helpful if the EIR states that just because something is on the California Register of of Historical Resources does not mean it cannot be demolished, and that these people never even visited the site.

P87.3

The integrity of the house has been severally undermined over the years via the remodeling of the house in 1993, all of the many fixes and replacements needed to keep the house upright over the decades, and the removal of so much of the house as part of the preservation permit to remove everything that contained mold. I would also suggest that you include much more of the details contained in the structural report in the actual body of the EIR.

P87.4

When considering the lack integrity of the house, the limited significance of the house, and the basic mitigation measures available, the County must make an overriding consideration determination that the house should be demolished and replaced with the proposed house which is harmonious with the neighborhood.

P87.5

We must also recognize the amount of effort that went into making the new house blend into the hillside site and be harmonious with the setting, including Mehdipour planning to restore 1.6 acres to native dune habitat. This restoration will be an excellent enhancement to the area.

P87.6

Please approve the project.

Sincerely,


Bill Shelton
P.O. Box 773
Carmel, CA 93921

9.4.87 Response to Letter from Bill Shellooe

Comment No.	Response
P87.1	Please refer to MR-1 regarding Project Preferences for comments related to support for the proposed project.
P87.2	<p>Please refer to MR-2 regarding Historical Resources for comments related to historical significance and integrity. As discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, has the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship. The Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior's Standards.</p> <p>The comment correctly references the availability of mitigation measures to document the house, as reflected in Mitigation Measure HR/mm-1.1 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P87.3	<p>Please refer to MR-2 regarding Historical Resources for comments related to historical significance and the historic registration process. The EIR does not dictate the selection of any particular alternative; that decision is up to local decision makers, who can select any evaluated alternative, including one that would result in demolition of the Connell House, if it documents its reasons for doing so in a Statement of Overriding Considerations. The comments do not require changes to the environmental document. However, the comments will be included in Chapter 9 of the Final EIR, made part of the administrative record, and provided to local decision makers for their consideration.</p>
P87.4	<p>Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house and MR-2 regarding Historical Resources for comments related to historic integrity. The structural evaluation prepared for the project was originally incorporated into the EIR by reference and has been added as Appendix F of the EIR.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P87.5	<p>Please refer to MR-2 regarding Historical Resources for comments related to historical significance and integrity, and MR-1 regarding Project Preferences for comments related to the County's determination. Ultimately, it is the responsibility of the decision-making body to consider the whole of the record and approve or deny the proposed project, or to select an identified feasible project alternative. Per section 15093 of the State CEQA Guidelines, the decision-making body may elect to adopt a Statement of Overriding Considerations to approve the project as proposed, or may select an alternative, or a specified combination of particular elements identified in Chapter 5, Alternatives Analysis, as the approved project. The comments do not require changes to the environmental document. However, the comments will be included in Chapter 9 of the Final EIR, made part of the administrative record, and provided to local decision makers for their consideration.</p>
P87.6	<p>Section 4.2.5.2 of the EIR identifies the beneficial impact of the proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the onsite restoration activities proposed. Note that restoration activities are a requirement of the County's Resource Management Element (Policy 13, Policy 17) and the Monterey County Coastal Implementation Plan (section 20.147.040(C) and (D), Environmentally Sensitive Habitat Areas). The effort involved with design of the proposed project is not a CEQA issue and is outside of the purview of this document.</p>

**Comment
No.**

Response

The comments do not require changes to the environmental document. However, the comments will be included in Chapter 9 of the Final EIR, made part of the administrative record, and provided to local decision makers for their consideration.

COMMENT LETTER #P88

From: [Janey Bennett](#)
To: [ceacommments](#)
Subject: Connell house by Richard Neutra
Date: Saturday, October 6, 2018 9:27:24 AM

I am an award-winning architectural writer. I want to add my voice to the campaign to save the Connell house on Signal Hill Road in Pebble Beach, designed by Richard Neutra.

The Connell house was built in 1958, a time of creative brilliance in architecture in the Monterey Peninsula area. Neutra's Modernism was admired then and is still admired now, all over the architectural world.

I understand someone wants to use the land under that house to build another house-- and land is in short supply-- and money talks. I ask you: when do we stand up and preserve what is left of our heritage? Monterey county is an area of great scenic beauty, enhanced by the sensitive and appropriate architecture built there throughout its history. At a time when architecture, especially the historic work of fine architects, is drawing interested visitors to places all over the world, I suggest there is greater benefit to this community in protecting original architectural jewels than in allowing another oversized house to block the surrounding views and demonstrate again the power of money over art.

Please deny this demolition request.

Sincerely,

Janey Bennett

P88.1

9.4.88 Response to Letter from Janey Bennett

Comment No.	Response
P88.1	Please refer to MR-1 regarding Project Preferences for comments related to the support for preservation of the structure. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P89

From: [Cheri Knobbe](#)
To: [Ku, Cheryl y6049](#)
Subject: Massy Mehdipour Signal Hill
Date: Saturday, October 6, 2018 12:25:56 PM

Sent from my iPad

Cheryl Ku
Monterey County
Resource Management Agency

Hi Cheryl,

I support Monterey County approving Massy Mehdipour's project.

I visited the Signal Hill house over a decade ago, and laughed when I heard preservationists were trying to force her to preserve the house. I was not allowed on the deck because it was dangerous. I would not go downstairs for more than a few minutes because of the mold. There were countless leaks and cracks everywhere. Massy made many repairs, all to no avail.

I highly recommend that whoever the decision makers are in this process that they be required to conduct a site visit. The EIR consultant who wrote the EIR did not even want to go downstairs when she visited. While I don't blame her, that tells a lot about the condition of the house and this information is not adequately represented in the EIR. This fact needs to be revealed in the EIR.

The EIR should also be much more accurate in terms of showing the current condition of the house. Please include proper pictures, as otherwise, you are really misleading people.

The first project objective described in Section 2.2 of the EIR is also misleading. Even if you want to paint the objective as broader than Massy's intentions, at a minimum the objective should state that she wants to construct a new single-family residence that is of a size commensurate with what is permitted according to the zoning laws and for such house to be compliant with current building codes.

I implore you to please put an end to this gross injustice, and demonstrate respect for Massy and her property rights, and approve the project.

Best regards,

Cheri Knobbe
Arvada, Colorado

P89.1

P89.2

9.4.89 Response to Letter from Cheri Knobbe

Comment No.	Response
P89.1	Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources, and MR-4 regarding Baseline Conditions.
P89.2	Project objectives are discussed in Section 2.2 of the EIR which states that the applicant's first objective is to remove the existing residence and construct a new single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area. Please also refer to MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P90

From: Elizabeth Canning
To: [Ku, Cheryl x6049](#)
Subject: Massy Mehdipour House
Date: Sunday, October 7, 2018 4:52:59 PM
Attachments: Massy Letter.docx

Please see attached letter concerning the Mehdipour House.

Sent from [Mail](#) for Windows 10

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901
kuc@co.monterey.ca.us
ceqacomments@co.inonterev.ca.us

Dear Ms. Ku:

I'm writing as a concerned citizen and current Pebble Beach resident on behalf of Massy Mehdipour to defend her right to build a new house at 1170 Signal Hill Road, Pebble Beach, CA and also vocalize how sickened I am at her mistreatment.

In 2004 she found this property and knew this was the location she wanted to build a house for her family. She made a conscientious effort to find an architect and a design that would accentuate the beauty of the surrounding nature while minimizing the impact of the structure. It was only once the neighbor found out that she was building a house that there was a "possibility" that it was a Neutra house. And only after the discovery was made, a paid third party was commissioned by the neighbor to pursue the historical aspect. Anyone who has seen or been inside the house, which apparently did not even include Neutra, could tell this was NOT a historic structure.

This house was condemned as unlivable in March 2015, over three years ago! This process has surely placed a very heavy emotional burden on Massy and her family and denied her the right to use her property for many years. This nonsense has gone on far too long. Everyone involved who has not approved this yet should be ashamed of themselves. Far too much time and money has been wasted. Please put an end this to and let her build a dream house that her family and others will enjoy for years to come. One that is structurally sound, environmentally friendly, beautifully designed, and a treasure that will be enjoyed for generations to come.

The staff of Monterey County has been involved and working on this case for over eight years. That is an unbelievable waste of time, money and resources. They could have been working on far more productive issues. This house is NOT historic and cannot be restored.

Please confirm receipt of this email.

Elizabeth Canning
Pebble Beach, CA
ecanning@comcast.net

P90.1

9.4.90 Response to Letter from Elizabeth Canning

Comment No.	Response
P90.1	Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources (including a discussion of the Secretary of the Interior's Standards for reconstruction of a historic property), and MR-3 regarding Property Rights. These comments do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P91

From: jamesdobbinsjr
To: [Ku, Cheryl_x6049](mailto:Ku_Cheryl_x6049)
Cc: ecreel@swca.com; ceqacomment
Subject: Mehdi pour EIR
Date: Sunday, October 7, 2018 5:04:09 PM

Dear Ms Ku

I am writing in support of Ms Mehdi pour's plans to demolish the existing eyesore and construct a new residence on her property on Signal Hill Road in Pebble Beach. As a neighbor who owns the property at 3145 17 Mile Drive, I am very much in favor of modernizing any of the existing properties in the Signal Hill area, inasmuch as most have not been touched for 60-70 years. I believe that Ms. Mehdi pour's project would be a step in the right direction of beautifying the area.

A problem inherent in the area is that the existing homes are old and tired, yet still valuable as they all view the Pacific Ocean. Just as with the view lots surrounding MPCC, a buyer is almost forced to demolish the existing residence and dig a basement to create enough square feet to justify the price of the "lot". So whereas Ms Mehdi pour is requesting approval to build three stories, it is my understanding that she desires a large basement in addition to two new floors which replace the two that are already there. This seems like a very reasonable request, in my view.

I believe it is a matter of fairness to allow Ms Mehdi pour to proceed with her project. Over the years, it is my understanding that she has offended or otherwise alienated some of her neighbors, and that they have in turn vigorously opposed her project. Personalities aside, she has spent a great deal of time, effort, and money to get her project to this point. She owns the property, there was no historical significance to it when she bought it, and it is only fair to allow her to build her dream residence on her property at this juncture. I urge the planners to approve her project.

James M Dobbins, Owner
3145 17 Mile Drive
Pebble Beach, CA

P91.1

P91.2

9.4.91 Response to Letter from James M Dobbins

Comment No.	Response
P91.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project, and modernization and beautification of the Signal Hill area. The “reasonableness” of the applicant’s proposed project and cost justification of the lot purchase are not CEQA issues and are outside of the purview of this document. These comments do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P91.2	Please refer to MR-1 regarding Project Preferences for comments related to support for the proposed project, and MR-2 regarding Historical Resources for comments related to historical significance, and MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments are part of the administrative record and will be provided to local decision makers for their consideration.

COMMENT LETTER #P92

From: [kia_m](#)
To: [Ku, Cheryl y6049; acreel@swca.com; ceqacommments](#)
Subject: Yes to Mehdipour Project
Date: Sunday, October 7, 2018 12:03:06 PM

Cheryl Ku
Monterey County
Resource Management Agency

Cheryl and Emily,

I vote for the immediate approval of Massy Mehdipour's new house project in Pebble Beach.

P92.1

Please include all of the pertinent facts below in the EIR. Given the information provided in the Draft EIR about the background of the original owners, who last owned the property in 1973, which has no relevance to the EIR, this must be done.

- Mehdipour had no knowledge of who the architect was when she purchased the house.
- Nothing was disclosed to Mehdipour by the seller or the real estate agent, and no one in the area knew until years later, only after she submitted her application for a new house.
- The historical designation application was funded by a neighbor.
- The California Office of Historical Preservation (OHP) is inclined to put as many buildings as possible on the California Register, as they are comprised 100% of preservationists.
- OHP did not conduct a site visit to the house before making its listing.
- OHP did not consider then-current pictures of the house before making its listing.
- Mehdipour did not consent to, and in fact objected to, her house being listed by OHP.
- Monterey County has laws on its books that a house cannot be designated as historical unless the owner consents.
- OHP informed Mehdipour that she had no special obligations to maintain the house based upon its listing.

P92.2

P92.3

P92.4

Monterey County would be foolish to do anything but approve Mehdipour's project. She would win a legal battle easily. Please use common sense, and avoid wasting Monterey County resources and taxpayer money, and approve the project as soon as possible.

P92.5

Sincerely,

Kia Mirkia
Redwood City, California

9.4.92 Response to Letter from Kia Mirkia

Comment No.	Response
P92.1	Please refer to MR-1 regarding Project Preferences.
P92.2	<p>Please refer to MR-2 regarding Historical Resources for comments related to historical significance and the designation of the Connell House. Information regarding the original owners of the Connell House is relevant to the historical context of the residence, and are therefore discussed in the Historical Resources section of the EIR. The issue of whether or not the buyer was aware of Neutra's association with the Connell House prior to purchase and the funding of the historical registration process are not CEQA issues and are outside the purview of this environmental document. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the structure.</p> <p>The comments do not require changes to the environmental document. However, the comments will be included in Chapter 9 of the EIR, made part of the administrative record, and provided to local decision makers for their consideration.</p>
P92.3	<p>Section 18.25.060.A of the Monterey County Code allows the Monterey County Historic Resources Review Board to initiate the designation of historical resources but also states, "No property shall be designated pursuant to this Chapter without the consent of the property owner." The designation of the Connell House, however, was not done by the County. The house was issued a formal Determination of Eligibility by the Keeper of the National Register of Historic Places, and as a result of the NRHP eligibility determination, was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1).</p> <p>. Resources found to be eligible for listing in the NRHP are automatically eligible for listing in the CRHR and are considered "historical resources" for the purposes of CEQA; therefore, the Connell House was analyzed in the EIR as a historical resource. Although local ordinances may establish more stringent requirements than the state, they do not trump federal or state eligibility determinations. OHP's assertion that the project applicant has no special obligation to maintain the house based upon its listing does not preclude the applicant from compliance with CEQA.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P92.4	<p>OHP's assertion that the project applicant has no special obligations to maintain the house based upon its listing does not waive County's compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P92.5	Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights.

COMMENT LETTER #P93

From: [Connie Skidmore](#)
To: [Ku, Cheryl x6049; cequacomments@co.monterey.ca.us; ecreel@swca.com](#)
Subject: Mehdiipour/Signal Hill property support and approval
Date: Sunday, October 7, 2018 10:32:41 AM

Ms. Cheryl Ku,

I am writing to give you my complete support of the proposed project by Massy Mehdiipour at 1170 Signal Hill Road.

Having read and heard about the lengthy debate and processes to thwart the development of this beautiful lot, I sincerely hope that she will be able to move forward with the completion of the home and landscaping as soon as possible.

I was particularly surprised that there was an effort to name the property a "historical landmark." Since I have lived in Monterey County since the late '80's, I cannot imagine this property comes close to the provisions of "historical." Additionally, the design and orientation of the home is such that surrounding neighbors and visiting tourists' views will not be inhibited but will be greatly enhanced.

I am available should you have any questions.

Please confirm that you have received this message.

Kind Regards,
Connie Skidmore
975 Customs Road,
Pebble Beach, CA

P93.1

P93.2

P93.3

9.4.93 Response to Letter from Connie Skidmore

Comment No.	Response
P93.1	Please refer to MR-1 regarding Project Preferences for comments related to support for the project. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
93.2	Please refer to MR-2 regarding Historical Resources for comments related to historical significance. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
93.3	The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P94

From: LeBon Abercrombie
To: [ceacommments; Ku, Cheryl v6049; creel@svica.com](mailto:ceacommments@ku_cheryl_v6049@creel@svica.com)
Subject: Comment letter re: Signal Hill LLC/Mehdipour PLN100338
Date: Monday, October 8, 2018 9:13:29 AM
Attachments: Abercrombie Letter re PLN100338.pdf

Attached is my letter regarding the subject project. Please confirm receipt by reply email.

Thank you,

LeBon G. Abercrombie
1158 Signal Hill Rd.
Pebble Beach, CA 93953

LEBON G. ABERCROMBIE
P O BOX 1477
PEBBLE BEACH, CA 93953

October 9, 2019

Cheryl Ku, Senior Planner
Resource Management Agency -- Planning
Monterey County
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Re: Signal Hill LLC/Mehdipour (PLN 100338)

Dear Ms. Ku:

As a neighbor of the subject property, I have lived at 1158 Signal Hill Road, Pebble Beach, since 2010 except during the rebuilding of my home during 2013-2015. During that time, the structure at 1170 Signal Hill Road has progressively deteriorated.

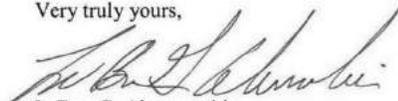
Review of the EIR and Structural Engineer's Report indicates that while preservation may be the "environmentally superior alternative," it is clear from the structural report that the structure, and possibly even the foundations, would need to be completely reconstructed to make the structure compatible with the local weather and seismic conditions, safe, and compliant with current building codes.

While I understand the concerns about the historic nature of the house, I believe that, in reality, it is not feasible to preserve this structure. If this project is not allowed to go forward, it is clear to me that the site will continue to be an eyesore in our neighborhood for many years to come, and I do not believe that outcome serves the public interest.

I urge you to resolve this long-running dispute by granting the owner's permit application.

Thank you for your consideration in this matter,

Very truly yours,


LeBon G. Abercrombie

P94.1

9.4.94 Response to Letter from LeBon G. Abercrombie

Comment No.	Response
P94.1	<p>Please refer to MR-4 regarding Baseline Conditions for comments related to the deteriorated condition of the house. The extent of repairs that would be required to restore the Connell House was evaluated by a structural engineer and is described in Section 5.6.1.3 of the EIR, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure’s original construction. Please refer to MR-2 regarding Historical Resources for comments related to the Secretary of the Interior’s Standards for reconstruction of a historic property. The Secretary of the Interior’s Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior’s Standards. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource. Therefore, efforts at reconstruction would provide an environmental benefit under CEQA.</p> <p>The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P95

From: [F.Ballerini](#)
To: [Ku, Cheryl x6049; cenacomments](#)
Cc: [F.Ballerini](#)
Subject: APN 008-261-007-000: Mehdi pour Residence
Date: Monday, October 8, 2018 7:39:18 PM
Attachments: [Mehdi pour.pdf](#)

Hello Ms. Ku,

Please find the attached pdf letter in support of the Mehdi pour development project. Please confirm receipt of this public comment email.

Thank you,

Fred Ballerini

Cheryl Ku, Senior Planner
Monterey County Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

RE: APN 008-261-007-000

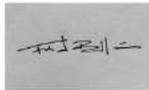
To Whom It May Concern,

This letter is written in support of Massy Mehdipour's proposed residential development project at 1170 Signal Hill Road in Pebble Beach, CA. As a consulting biologist associated with the project over the course of a 5-year period, I have found Ms. Mehdipour to be very engaged in the dune habitat restoration of her property while embracing the concept to fully restore the sensitive dune environment to natural conditions. Please consider approval of her project as the natural dune resources of the Signal Hill Road area are being significantly degraded by an influx of invasive species, particularly on neighboring residential parcels and within Pebble Beach owned property. This project provides a great opportunity to expand the dune complex and protect the sensitive resource. Ms. Mehdipour has willingly and enthusiastically supported the transition of 1.65-acres of dune habitat restoration and such measures are currently incorporated into the proposed development project.

P95.1

Please confirm receipt of this public comment email of support.

Thank you,



Fred Ballerini

Fred Ballerini
PO Box 1023
Pacific Grove, CA 93950

9.4.95 Response to Letter from Fred Ballerini

Comment No.	Response
P95.1	<p>Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project. Section 4.2.5.2 of the EIR identifies the beneficial impact proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the onsite restoration activities proposed. Restoration activities are a requirement of the County's Resource Management Element (Policy 13, Policy 17) and the Monterey County Coastal Implementation Plan (section 20.147.040(C) and (D), Environmentally Sensitive Habitat Areas). The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P96

From: Daniel R. Skidmore
To: [ceaacommments; Ku, Cheryl x6049; acreel@svca.com](#)
Cc: [cskidmore@gmail.com](#)
Subject: Mehdipour development support
Date: Monday, October 8, 2018 5:24:58 PM

Dear Ms. Ku

I would like to express my full support for the development of Ms. Mehdipour's project at 1170 Signal Hill Road in Pebble Beach. I am very familiar with this property and have lived in Pebble Beach since 1989. Never did I consider this property "historic" and strongly believe that her development will greatly enhance the area.

As I understand it, she intends to install dunes landscaping which again will enhance the overall appeal of her property and the surrounding area. Additionally, her design for the home is certainly appropriate given the varied designs around the premier areas of Pebble Beach.

Should you have any questions, please feel free to contact me. Kindly acknowledge receipt of this letter.

Regards,
Daniel R. Skidmore
975 Customs RD, Pebble Beach

P96.1

9.4.96 Response to Letter from Daniel R. Skidmore

Comment No.	Response
P96.1	<p data-bbox="360 365 1414 583">Please refer to MR-1 regarding Project Preferences for comment in support of the proposed project, and to MR-2 regarding Historical Resources for comments related to historical significance. Section 4.2.5.2 of the EIR identifies the beneficial impact proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the onsite restoration activities proposed. Restoration activities are a requirement of the County’s Resource Management Element (Policy 13, Policy 17) and the Monterey County Coastal Implementation Plan (section 20.147.040(C) and (D), Environmentally Sensitive Habitat Areas).</p> <p data-bbox="360 625 1414 730">The appropriateness of the proposed design is analyzed in Section 4.1 of the EIR. It was determined that the new house component of the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size.</p> <p data-bbox="360 772 1414 848">The comment does not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P97

From: Sally Aberg
To: [reacommments](#)
Cc: [Ku, Cheryl x6049](#); [Emily Creel](#)
Subject: Response to Draft EIR regarding Richard Neutra's CONNELL HOUSE
Date: Tuesday, October 9, 2018 5:49:15 PM

TO: Monterey County Planning and All Bodies Weighing In On This Critical Decision

FROM: Sally Jean Aberg, Carmel Valley Resident and Gallery Manager, Carmel Art Association

I have diligently followed the issue of the future of the Connell House since 2013 when I first became aware of this local landmark's vulnerability.

I have read coverage of this iconic, mid-century modern residence in local newspapers. I have read "Letters to the Editor" from both the homeowner's and the preservationists' points of view. I have read everything I can about the home's architect, Richard Neutra. I have read the Draft Environmental Impact Report.

P97.1

Based upon all of this input, I sincerely believe that demolishing this historic asset will negatively impact the natural environment (the Del Monte Forest), the built environment (the *scope* of our County's architectural heritage), and our cultural fabric too.

I want to remind Monterey County Planners that if the Connell House's fate is to be torn down, we will lose the only Richard Neutra designed building we have. What a badge of shame this would attach to our County's legacy.

On the other hand, saving the Connell House will represent principled decision-making on the part of the County Powers That Be. After all, the Connell House is listed on the California State Register of Historic Resources, and it is eligible for listing on the National Register of Historic Places as well. Only the current owner is preventing this designation from moving forward.

P97.2

The Connell House is compatible with its neighboring homes. The proposed replacement house at three times larger is *not* compatible!

P97.3

I urge the County to recognize its responsibility to follow the DEIR's own **Alternative 1**—the "environmentally superior alternative" that calls for saving and restoring the Connell House, which now languishes from "demolition by neglect."

This signature Neutra house can be restored. It is a unique and valuable resource. It deserves to live on, even if added on to according to special standards.

P97.4

Please insist on preservation, not demolition! Please **choose Alternative 1**.

Thank you very much.
Sally Aberg
217 Hacienda Carmel
Carmel, Ca 93923
Tel. 831-224-4416

Novo, Mike x5176

From: Sally Aberg <forthecolors@comcast.net>
Sent: Tuesday, October 9, 2018 5:28 PM
To: Sally Aberg
Subject: Last URGENT Call for "SAVE THE CONNELL HOUSE" Letters!

The DRAFT EIR for the Connell House requires your comments no later than 5 pm this Friday, October 12th.

This is a **critical point** in the extensive effort to save this local landmark home designed by Richard Neutra in 1957-1958 on Signal Hill in Pebble Beach.

It's easy. It will take less than 10 minutes of your time to make a **huge difference** on the outcome of this important crusade.

Step 1: Open your email to a new blank message page.

Step 2: On the "TO" line type: ceqacomments@co.monterey.ca.us

Step 3: On the "CC" line type: Cheryl Ku, kuc@co.monterey.ca.us **and** Emily Creel, ecreel@swca.com

Step 4: Write a brief note—even just a few sentences. Speak your mind.

I myself am going to stress in my email that demolishing this historic asset will negatively impact the natural environment (the Del Monte Forest), the built environment (the *scope* of our County's architectural heritage), and the cultural fabric of our unique County too.

I am going to remind the Monterey County Planners that they would lose the only Richard Neutra designed building it has—what a badge of shame would attach to our County's legacy.

I am going to state that saving the Connell House would represent principled decision-making on the part of County Powers That Be. After all, the Connell House is listed on the California State Register of Historic Resources, and it eligible for listing on the National Register of Historic Places as well. Only the current owner is preventing this designation from moving forward.

I am going to point out that the Connell House is compatible with its neighboring homes. The proposed replacement house at three times larger is *not* compatible!

I will close by urging that the County recognize its responsibility to follow **Alternative 1** in the DEIR—the "environmentally superior alternative" that calls for saving and restoring the Connell House, which now languishes from "demolition by neglect." I will end by stating: **Choose preservation, not demolition!**

Won't you join the members and friends of Monterey Bay Modernism, the Alliance of Monterey Area Preservationists, Richard Neutra's sons Dion and Raymond Neutra, a host of Monterey Peninsula architects, designers, writers and artists, as well as impassioned voices from across the United States and around the globe in writing your own individual plea that this signature mid-century modern home deserves to be saved?

P97.5

October 12th is the *last day* that comments can be submitted.

Please WRITE, and please encourage others to WRITE, RIGHT NOW!
Your email will make a difference!

Thanks to those of you who have shared your letters to the County with me, written "Letters to the Editor" of our local newspapers, posted to Facebook, addressed this in your blogs, and reached out from as far away as Palm Springs, North Carolina, Spain, Japan, South America, and Holland to join the chorus of "preservation, not demolition."

P97.5
(cont'd)

9.4.97 Response to Letter from Sally Aberg

Comment No.	Response
P97.1	Please refer to MR-1 regarding Project Preferences. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P97.2	Please refer to MR-2 regarding Historical Resources. These comments do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P97.3	Compatibility of the proposed project is analyzed in Section 4.1 of the EIR. It was determined that the new house component of the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.
P97.4	Please refer to MR-1 regarding Project Preferences. The EIR recognizes the feasibility of a Preservation Alternative, consistent with this comment. The EIR also evaluated an alternative that would preserve the Connell House while also allowing for the development of an addition as suggested by the comment (refer to Section 5.4.3, Preservation and Separate Onsite Development, and Section 5.4.4, Project Integration, and Table 5-1, Preliminary Alternatives Screening Analysis, of the EIR). The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P97.5	This portion of the comment letter contains the contents of a form letter written by another commenter requesting participation in the public review and comment on the EIR and do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P98

From: Stephen Gruin
To: cecjacomment@co.monterey.ca.us; Ku, Cheryl x6049; acreel@swca.com
Subject: Support for Massy Mehdipour
Date: Tuesday, October 9, 2018 8:43:25 AM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901 kuc@co.monterey.ca.us
cecjacomment@co.inonterey.ca.us

My letter is in full support of Massy Mehdipour and her right to exercise her property rights against the tyranny of her neighbors and the government. As described in an article in the July 13, 2018 edition of the Carmel Pine Cone (<http://pineconearchive.fileburstcdn.com/180713PCA.pdf>), a Pebble Beach property owner recently got approval to build a 4,294-square-foot home on a quarter-acre lot adjacent to the Pebble Beach Golf Course that required variances because it exceeded the allowable floor area ratio (FAR).

P98.1

They had purchased the property in 2015 and the Monterey County Board of Supervisors upheld the decision to approve the project a few months ago.

The property owner was represented by Tony Lombardo, who represents the neighbor who has been campaigning against Ms. Mehdipour. The point Lombardo emphasized several times in his defense of his client needing variances to build a 4,294-square-foot home on a quarter-acre lot was that they

P98.2

deserved the "privileges enjoyed by other properties in the vicinity." Does Ms. Mehdipour not deserve the same?

Compare that project to Ms. Mehdipour's project. Approximately 11,933 square foot house, with half of it buried in the hillside, on a 2.2-acre lot. It is almost half of the allowable lot coverage, and about a quarter of the FAR of the other one. She is also offering to convert 1.65 acres of the 2.2-acre property into dune landscape, removing and replacing much of the current property which is overrun with non-native ice plants. And of course, no variances are needed.

P98.3

Please follow basic principles of property rights, precedent, common sense, and fairness and allow Ms. Mehdipour to build her code compliant home and provide her "the privileges enjoyed by other properties in the vicinity."

P98.4

Please confirm receipt of this email.

Steve Gruin

9.4.98 Response to Letter from Steve Gruin

Comment No.	Response
P98.1	Please refer to MR-1 regarding Project Preferences for comments supporting the proposed project and to MR-3 regarding Property Rights. The description of the County's processing of a proposed 4,294-square-foot residence in proximity to the proposed project (which did not involve demolition of a historic resource) is not relevant to the EIR analysis and is outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P98.2	The description of the County's processing of a proposed 4,294-square-foot residence in proximity to the proposed project (which did not involve demolition of a historic resource) is not relevant to the EIR analysis and is outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P98.3	<p>The comment accurately describes the proposed project but does not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. Section 4.2.5.2 of the EIR identifies the beneficial impact proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the onsite restoration activities proposed. Note that restoration activities are a requirement of the County's Resource Management Element (Policy 13, Policy 17) and the Monterey County Coastal Implementation Plan (section 20.147.040(C) and (D), Environmentally Sensitive Habitat Areas).</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P98.4	Please refer to MR-1 regarding Project Preferences and MR-3 regarding Property Rights.

COMMENT LETTER #P99

From: pavyv
To: recomments; Ku, Cheryl v6049
Subject: Let Massy Mehdipour build her house!
Date: Tuesday, October 9, 2018 11:55:21 PM

To Whom It May Concern:

I'm writing as a concerned citizen on behalf of Massy Mehdipour to **defend her right to build her home** and also to vocalize how saddened I am at her mistreatment.

In 2004 she found this property and knew this was the location she wanted to build a house for her family. She made a conscientious effort to find an architect who would design a masterpiece that would accentuate the beauty of the surrounding nature while minimizing the impact of the structure. The plans are all well within code and most of the size is actually in the basement level which would be built into the hillside, making the house almost disappear. She bought the house with the intent to tear it down and build a dream home, just like many other Pebble Beach residents have done in the past, are currently doing and will be planning to do in the future.

Not a single person ever mentioned that the house could be historic. It was only once her neighbor found out that she had plans to build a house that the "possibility" it could be a historical house came about. Right after, a paid 3rd party was brought in to pursue this historical aspect. Someone with deep pockets chose to fund a hefty campaign to prevent her from building a house that she has every right to build, just like many of her neighbors have done and will keep doing. Why can't she? It's disheartening to think that this could be a personal vendetta against a female immigrant in this country. **We all should have the same property rights!!!**

Anyone who has seen or been inside the house, which apparently not even Neutra did, could tell it was NOT a structure worthy of being historical. That's why no one ever paid attention to it before. The house was condemned unlivable in March 2015, OVER 3 YEARS AGO! What are we waiting for?! This process has put an emotional, physical and financial strain on Massy and her family. I doubt any other of the people who are arguing against her have EVER experienced this kind of abuse when they were building their own dream homes, either "legally" or "illegally".

Everyone involved who has not yet approved this project should be ashamed of themselves! The staff of Monterey County have been involved and working on this case for 7 years! That is an unbelievable waste of time, money and resources. They could have been working on more productive issues.

This nonsense has gone on far too long. **Stop wasting everyone's time and money!**

Please just put an end this to and let her build a dream house that her family and citizens of Pebble Beach will enjoy for years to come. One that is structurally sound, environmentally friendly, beautifully designed and a treasure that will be enjoyed for

P99.1

generations to come.

Payvand Kadivar
Palo Alto, CA

P99.1
(cont'd)

9.4.99 Response to Letter from Payvand Kadivar

Comment No.	Response
P99.1	Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources, MR-3 regarding Property Rights, and the responses to comments provided above. These comments do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P100

From: Mary Liskin
To: Ku, Cheryl x6049; acreel@swca.com; ceqacommments
Subject: 1170 Signal Hill Pebble Beach, CA
Date: Tuesday, October 9, 2018 9:39:41 PM

To whom it may concern and thank you for all productive work moving this project forward,

I'm writing on behalf of Property Owners in general and in this instance, Ms. Mehdipour.

- 1) Whereas I strongly defend a house like a Frank Lloyd Wright and it's historic designation, I have a REAL issue with a house purchased BEFORE a house could be even considered historic with the new owners intent to build a new home.
- 2) The permit application went in **BEFORE** the house was old enough to be considered historic.
- 3) A neighbor hired an attorney to not only "look into it" but then keep the attorney on to do everything in his power to prevent her building a Legoretta house she really wanted for her family, or to allow the existing house to be demolished, or to "disrupt" him in ANY way. (I truly doubt he had an affection for a Neutra house as the rotten, moldy walls and dilapidating structure sat vacant next to him for years.
- 4) Lastly, how ANYONE, government agency or architecture group could FORCE someone to REBUILD something falling down and unable to repair is beyond me especially if it wasn't designated historic when it was initially purchased and the new owner KNEW that!!! As far as I humbly see it, the Neutra Plans are the only value "left". Similar to the Marilyn Monroe/Frank Lloyd Wright Plans built on Maui (Marilyn Monroe - Frank Lloyd Wright - Maui), please consider taking the Neutra plans and build it somewhere else, perhaps in Southern, CA where more of his work is and by someone who appreciates it.

P100.1

P100.2

P100.3

****PLEASE QUIT WASTING OUR TAXPAYERS \$\$ ON THIS AND LET THIS WOMAN LIVE HER WELL EARNED LIFE!!!

Sincerely and with frustrating shock over "the process" or lack thereof,
Mary Liskin
P.O. Box 1646
Carmel, CA 93921-1646

On Oct 1, 2018, at 12:31 PM, Massy Mehdipour <massy@jotter.com> wrote:

Mary,

9.4.100 Response to Letter from Mary Liskin

Comment No.	Response
P100.1	Please refer to MR-1 regarding Project Preferences for comments related to property owners and support for the project applicant, and MR-2 regarding Historical Resources for comments related to purchase of the residence before the 50 years guidance threshold for historic eligibility. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P100.2	The neighbor's hiring of an attorney or reasons for doing so are not CEQA issues and are outside the purview of the EIR. Refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P100.3	<p>The comment suggests the existing structure is beyond repair. The extent of repairs that would be required to restore the Connell House was evaluated by a structural engineer and is described in Section 5.6.1.3 of the EIR, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction. Please also refer to MR-2 for a discussion of the Secretary of the Interior's Standards for reconstruction of a historic property. CEQA requires a lead agency to identify potentially significant adverse effects on historical resources, and to mitigate them to the greatest extent feasible. Therefore, repair, restoration, and protection of historic structures is not an uncommon result of the CEQA process. Although Preservation of the Connell House would be similar to original construction, the Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior's Standards. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource.</p> <p>The comment suggests an alternative that would include rebuilding a replica of the house at a different location, perhaps Southern California, based on the original building plans. This alternative would result in a loss of various aspects of historical integrity, including location, setting, feeling, and association. A similar alternative, The Relocation Alternative, was evaluated in Section 5.4.5 and Table 5-1 of the EIR, and it was determined to be infeasible due to the structure's partial construction into the side of a bluff and lack of structural integrity.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P101

From: KRISSEY
To: [ceaacommments; Ku, Cheryl v6049; acreel@svca.com](#)
Date: Tuesday, October 9, 2018 9:46:27 AM

Please send confirmation of receipt. Thank you.

Steven V Moore, MD
Pebble Beach, Ca

STEVEN V. MOORE, M.D.



HAND & UPPER EXTREMITY SURGERY

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901
Phone: (831)796-6049
kuc@co.monterey.ca.us
cecjacommments@co.inonterev.ca.us

I support Massy Mehdipour and her right to build a house on her property according to the plans she has submitted.

The EIR includes the following statement in Section 4.3.1.2: "Arthur Connell later recalled that 'the original concept seemed so absolutely right that it was never altered in any important aspect, although Richard himself had not as yet seen the site' (Hines 1982)." However, there is more information that needs to be shared. I suggest you include the full quote to adequately inform the public.

P101.1

The following is a longer excerpt from a book referred to in the EIR (Hines 1982): "...the Connell house at Pebble Beach, near Carmel, California (1958), had serious problems of climate control. Arthur Connell recalled that 'the original concept seemed so absolutely right that it was never altered in any important aspect, although Richard himself had not as yet seen the site.' Yet 'the house turned out to be not ideally suited for the environment, although it certainly capitalized on the outstanding view. The main problem was that Cypress Point is exposed to northwest and southerly winds which exceed 30 knots with gusts to 50 and 60 on occasion, and these persist for long periods. I feel certain that the air flow through the house could be as much as 1 or 2 knots, despite all windows and doors being closed, and the heat just never went off.' In addition to the high fuel costs, 'the house leaked somewhere in every rain storm.'"

P101.2

The above information helps to explain the condition of the house all these years later. The EIR should also include more current pictures that are more representative of the house. I support its demolition and the construction of the new proposed house.

Please confirm receipt of my letter.

Steven V Moore, MD
Pebble Beach, CA

19 Upper Radsdale, Ste. 150
Monterey, CA 93940

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Fax 831 655 4266

9.4.101 Response to Letter from Steven V Moore, MD

Comment No.	Response
P101.1	The quote from Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR. The Connell quote does not change the environmental analysis. No changes to the environmental document are necessary.
P101.2	Please refer to MR-4 regarding Baseline Conditions for comments related to current pictures that are more representative of the house, and MR-1 regarding Project Preferences for comments in support of the proposed project. The comments do not require changes to the environmental document. However, the above comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P102

From: [Mark Edwin Norris](#)
To: [ceaacomments](#)
Cc: [Ku, Cheryl x6049; ccrvel@swca.com](#)
Subject: Connell House/Mediphour project. Save it. Don't approve the demolition
Date: Tuesday, October 9, 2018 5:58:48 PM

Hello.

I'm writing in response to the DEIR for the proposed demolition of the Neutra designed house in Pebble Beach. It's the only Neutra house in Monterey County that has the historical integrity to qualify for the National Register of Historic Resources as shown by it's already being on the California State Register of Historic Resources. Let that *mean* something and help keep our cultural resources.

It would be a shame to reward the current owners for their abuse of this historic resource and their exercise of demolition by neglect (and probably active sabotage).

In addition, this house can be expanded or a compatible house built nearby that would together provide habitable area commensurate with the scale of homes in the neighborhood, instead of placing a "McMansion" in that area of small houses.

Please follow **Alternative 1** in the DEIR – the “environmentally superior alternative.”

Sincerely,
Mark Edwin Norris
Norris Designs, Etc.
Building Design, Construction Documents, Permit Expedition
(831) 424-2114

<http://norrisdesignsetc.com/>
<http://www.facebook.com/pages/Norris-Designs-Etc/334065919973307>

Please confirm receipt of this email and attachments if any are listed.
[This office does not necessarily endorse whatever may appear below this line](#)

P102.1

9.4.102 Response to Letter from Mark Edwin Norris

Comment No.	Response
P102.1	<p data-bbox="360 365 1416 470">Please refer to MR-1 regarding Project Preferences for comments expressing support of the Preservation Alternative, and to MR-2 regarding Historic Resources for comments related to historical significance and the historic designation process. Any alleged abuse, neglect, or sabotage by the project applicant is not a CEQA issues and is outside the purview of this document.</p> <p data-bbox="360 512 1416 810">The comment suggests a project alternative that would include an expansion or construction of a separate residence at an adjacent location. These alternatives were evaluated in Section 5.4.3 and 5.4.4, and Table 5-1. The EIR determined that Preservation and a Separate Onsite Development Alternative would exceed maximum density limits in the LDR/1.5-Design Control District and would conflict with numerous LCP and Del Monte Forest Area LUP policies, particularly those related to the protection of public views and ESHA; therefore, this alternative was dismissed from further evaluation. Expansion of the structure through Integration of the existing structure into the proposed structure was identified as feasible and evaluated in Section 5.6.2. The EIR analysis determined that this alternative was feasible and would decrease impacts to historical resources. This alternative would necessitate the participation of a qualified architectural historian to ensure integration could be accomplished consistent with the Secretary of the Interior’s Standards.</p> <p data-bbox="360 852 1416 928">The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P103

From: [Sharon Saunders](#)
To: [cejacommments; Ku, Cheryl x6049; acreel@svca.com](#)
Subject: 1170 Signal Hill Road
Date: Tuesday, October 9, 2018 11:10:39 AM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901
kuc@co.monterey.ca.us
cejacommments@co.inonterev.ca.us

Regarding Property Owner Massy Mehdipour and her property at 1170 Signal Hill Road

Dear Ms. Ku,

I am writing in strong support of Massy Mehdipour's application to build a new home on her property.

The EIR states that, "a property is not eligible as the work of a master [architect], however, simply because it was designed by a prominent architect."

There could not be a more apt description of this house and situation. The house was nothing special to begin with and was obviously not well designed or built and has been nothing but a blight at a beautiful location over the last 10 years. According to the EIR, the house has many structural issues and other problems dating back to its original design and construction.

I would like to remind the County that the house was condemned as unlivable in March 2015, more than three years ago.

I would also like to remind the County that Massy purchased the property in 2004, almost 14 years ago.

This process has surely placed a heavy emotional burden on Massy and her family, and denied her the right to use her property as she would wish for too many years.

Massy has made a conscientious effort to find an architect and a design that would accentuate the beauty of the surrounding nature while minimizing the impact of the structure. It was only once a neighbor found out that she was building a house that there was a "possibility" that it was a Neutra house. And only after that tenuous connection was made, a paid third party was commissioned by the neighbor to pursue that historical aspect. Anyone who has seen or been inside the house, which apparently not even Neutra did, could tell this is NOT a historic structure.

This nonsense has gone on far too long.

P103.1

P103.2

Please put an end to this and allow Massy to exercise her rights as a property owner to build a dream house that her family and others will enjoy for years to come. One that is structurally sound, environmentally friendly, beautifully designed, and a treasure that will be enjoyed for generations to come.

P103.2
(cont'd)

Please acknowledge receipt by return.

Yours sincerely,

Sharon Saunders
1548 Deer Path, Pebble Beach, CA 93953

9.4.103 Response to Letter from Sharon Saunders

Comment No.	Response
P103.1	Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project, and MR-2 regarding Historical Resources for comments related to historical significance and eligibility. The Connell Residence was not determined eligible simply because it was designed by Richard Neutra but was determined eligible within the context of the development of Modern Architecture in Pebble Beach. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house and blight. The structural issues of the house are described in Section 5.6.1.3 of the EIR. Additional information about the house's suitability for the Cypress Point climate has been added to Section 4.3.1.2 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P103.2	Please refer to MR-2 regarding Historical Resources for comments related to historical significance and the designation of the Connell House. The issue of the funding of the historical registration process is not a CEQA issue and is outside the purview of this environmental document. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the structure, and MR-3 regarding Property Rights. These comments do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P104

From: [Katherine spitz](mailto:katherine.spitz)
To: ceqacomments
Cc: [Ku, Cheryl x6049; acreel@swca.com](mailto:Ku_Cheryl_x6049@swca.com)
Subject: Connell home
Date: Tuesday, October 9, 2018 8:21:56 PM

Dear Cheryl-

I ask that the County recognize its responsibility to follow Alternative 1 in the DEIR—the “environmentally superior alternative” that calls for saving and restoring the Connell House, which now languishes from demolition by deliberate and malicious neglect.

Choose preservation, not demolition.

KATHERINE SPITZ, ASLA

4175 Sunset Lane, Pebble Beach, California, 93953.
310-251-7476
K.spitz@me.com

P104.1

9.4.104 Response to Letter from Katherine Spitz, ASLA

Comment No.	Response
P104.1	Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative. The EIR recognizes the feasibility of a Preservation Alternative, consistent with this comment. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P105

From: Rustigan, Jacci
To: Ku, Cheryl x6049; acreel@swca.com; ceqacomment
Subject: MEHDIPOUR EIR
Date: Tuesday, October 9, 2018 2:22:17 PM

October 9, 2018

Dear Ms. Ku:

We own 1164 Signal Hill Road, adjacent to Massy Mehdipour's property located at 1170 Signal Hill Road. We support her decision to rebuild/remodel her property.

1170 Signal Hill Road, Pebble Beach, CA was very poorly designed, both according to the original owners (Arthur Connell) and the County's recent structural report which evaluated both current conditions and the original design (conducted by Simpson Gumpertz & Heger in 2016 as part of the EIR).

This home is in terrible condition and truly needs to be improved to maintain not only her residence, but the atmosphere that is expected in Pebble Beach. She has a property with amazing views and should be allowed to create something that compliments her property.

Should you need any further approvals by us, our contact information is below for your convenience.

Thank you,

Guofeng Wang, President
W & Smith CA Inc

Property Manager:
Jacci Rusitgan
Wayne Estates
(831) 521-1111

P105.1

P105.2

9.4.105 Response to Letter from Guofeng Wang, President

Comment No.	Response
P105.1	The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR, consistent with this comment. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the structure. The quote from Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR. The Connell quote does not change the environmental analysis or conclusions and the comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P105.2	Please refer to MR-4 regarding Baseline Conditions and the Response to P105.1 above, for comments related to the condition of the house. The “atmosphere” that is expected in Pebble Beach and the asserted right to create something that compliments the property and its views are not strictly CEQA issues. However, visual character and quality of the proposed project were evaluated in Section 4.1 of the EIR, which determined that residual impacts of the proposed project would be less than significant with implementation of identified mitigation, including reducing the height of the residence to avoid extending above the primary ridgeline and the permanent restoration and maintenance of dune habitat, both onsite and offsite. Please refer to MR-1 regarding Project Preferences for comments in support of the proposed project and MR-3 regarding Property Rights. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P106

October 9, 2018

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

kuc@co.monterey.ca.us
ceciacomment@co.inonterev.ca.us

Ms. Ku,

I am writing this letter in response to the Signal Hill LLC, draft environmental impact report regarding the redevelopment of the residence located at 1170 Signal Hill Road. I am troubled by the findings contained in the EIR and have shared them below. In my opinion, the blighted site should have been razed a long time ago and it is disconcerting that a self-serving neighbor is able to delay the project and caused the applicant significant delay and expense. The new house does not block any views of the neighbors or detrimentally affect them, reasons which would typically legitimize a neighbor's concerns.

P106.1

According to the EIR, the house is considered historic and has many structural problems. In March 2015, the house was condemned as unlivable; over 3 years ago! Why the owner has not been allowed to remove and rebuild is surprising, not to mention that they are bearing the added expense and delay caused by the CEQA process.

P106.2

Because a house is on the California Register of Historical Resources does not mean it cannot be demolished. The historical registration process is to be used for the preservation of truly historic places or those that benefits the public. This house does neither. The EIR states that, "a property is not eligible as the work of a master [architect], however, simply because it was designed by a prominent architect." There could not be a more fitting description of this house and situation. If the house was so significant, one would expect to find many references to the Connell House in architectural texts and references. However, little is available. There is only the occasional reference cataloging Neutra's complete works or Neutra's work files and of course the select few who have banded to save the structure. If the house was such an important example, more would be written about it.

P106.3

In reviewing the structural engineer's evaluation referenced in the EIR, it states: "For the purpose of this evaluation we assumed that the building had been restored to its original condition, with the 1993 addition, but without any of the damage or deterioration reported above, or any structural upgrades or enhancements. We determined that the building has the following deficiencies: 1) The walls do not provide adequate strength to resist the specified seismic forces; 2) Several of the upper level walls are discontinuous, i.e., they land on floor joists and are not supported on walls below; 3) The primary lateral resistance for the building is provided by cement plaster (stucco) on the exterior walls finish plaster on interior walls. This is not permitted for buildings exceeding one story in height;

P106.4

4) Wood framing along the building's north side does not appear to be anchored to the building foundations; 5) Some framing members supported on posts and walls do not have positive connections to the post or walls; 6) Framing members at the edges of diaphragms are not provided with continuity hardware to resist chord and drag forces; 7) Three walls of the 1993 addition are supported on raised piers rather than a continuous strip footing. There is no detailing indicating positive attachment to the adjacent original structure."

P106.4
(cont'd)

The structural report concluded that the existing structure were degraded to an extent that would prevent the ability to integrate them into a reconstructed structure. With this information provided by the structure engineer, it would seem obvious that the demolition of the house would be a preferred option from a building life-safety perspective; not to mention a visual improvement to the landscape.

It is troubling that a property owner would seemingly have to forfeit their rights of developing their property, even though their proposal is in full compliance with County zoning requirements. The project is approximately half of the allowable lot coverage and will also convert 75% of the property into restored native dune habitat. This is a very reasonable proposal. As the project complies with the current building code, zoning ordinances and it does not determinately affect the environment, the property owner should be allowed to develop and enjoy the use of their property.

P106.5

Please follow basic principles of property rights, precedent, reasonableness, and fairness and allow the project to move forward; remove the blight and allow for the redevelopment of this property. I support its demolition, the construction of the proposed house and the restoration of dune habitat. The County needs to exercise reasonableness in assessing whether the preservation of an unsafe decrepit house for a select few outweigh the rights of the actual property owner.

P106.6

Richard Weber
Property Owner
Monterey, California

9.4.106 Response to Letter from Richard Weber

Comment No.	Response
P106.1	<p>Please refer to MR-1 regarding Project Preferences. The intent of the neighbor is not a CEQA issue and is outside the purview of this document. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house and blight. The fact that the residence has been listed in the CRHR and determined eligible for listing in the NRHP resulted in the need for preparation of an EIR under CEQA. Monterey County, the CEQA lead agency, cannot make a determination on the project until the CEQA process has been completed. Depending on myriad project-specific factors, the EIR Process can sometimes be protracted. Here, the process was prolonged for several reasons. For example, the applicant's desire to address and resolve identified project impacts in the Administrative Draft EIR resulted in project changes. Those project changes required the EIR to be substantially revised and rewritten prior to public circulation. Moreover, the neglect and vandalism that occurred at the property required the County to take additional time to address through multiple code enforcement actions and an evaluation by a structural engineer.</p>
P106.2	<p>Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The structural condition of project and extent of reconstruction that would be required under the Preservation Alternative is described in Section 5.6.1.3 of the EIR, consistent with this comment. Please refer to MR-2 regarding Historical Resources for comments related to historical significance and the historical registration process. Cost justifications of the proposed project are not a CEQA issue and are outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P106.3	<p>Please refer to MR-2 regarding Historical Resources for comments related to historical significance. The EIR does not assert that the structure cannot be demolished; local decision makers can select any alternative that would require demolition of the residence by identifying the reasons for approving the significant and unavoidable impact to the historic resource through a statement of overriding considerations.</p>
P106.4	<p>This comment references the structural engineering report (Structural Evaluation of the Arthur and Kathleen Connell House, 1170 Signal Hill Road, Pebble Beach, CA, September 19, 2016, prepared by Simpson, Gumpertz and Heger) and suggests that the building should be removed for health and safety concerns. The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR, consistent with this comment. The EIR notes that reconstruction would be similar to that of original construction. The existing features and components that could be maintained in a reconstructed residence are identified in Section 5.6.1.3. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the structure. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p> <p>Please also refer to MR-1 regarding Project Preferences. The EIR does not dictate the selection of either the proposed project or of any particular alternative; that decision is up to local decision makers..</p>
P106.5	<p>Please refer to MR-3 regarding Property Rights. The proposed project's consistency with applicable plans and policies is discussed throughout Chapter 4 of the EIR and was found to be consistent with most policies. However, several potential inconsistencies were identified, including policies in the County's LCP prohibiting structures that extend above the primary ridgeline and policies for the protection of Environmentally Sensitive Habitat Areas (ESHA). The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of onsite restoration of ESHA, and measures to reduce the height and visual impact of the new house component of the project, it was determined that potential impacts would be less than significant. Offsite coastal due restoration (or</p>

Comment No.	Response
	<p>in-lieu fees) are another mitigation that will minimize potential impacts to ESHA (BIO/mm-3.9) and was added to the FEIR in response to concern from the California Coastal Commission (Comment Letter #A2).</p> <p>In addition, the project requires a variety of additional discretionary approvals and variances to standard requirements of Monterey County Code, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.</p> <p>The statement that the proposed project would not detrimentally [sic] affect the environment is not accurate; Section F of the Executive Summary identifies the significant impacts the proposed project would have on the environment. The above comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P106.6	<p>Please refer to MR-1 regarding Project Preferences for comments in support of demolition. Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house and blight. Please also refer to MR-3 regarding Property Rights. The “reasonableness” of the applicant’s proposed project is not a CEQA issue and is outside the purview of this document. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P107

From: [Russell Abraham](#)
To: [ceqa/comments](#)
Cc: [Ku, Cheryl x6049](#); [ecreel@swca.com](#)
Subject: Preserving the Connell House
Date: Wednesday, October 10, 2018 2:33:30 PM

Hi Ceqa, Cheryl and Emily,

Richard Neutra is one of America's greatest mid-century modernist architects. Monterey County is fortunate to have one of his houses within its boundaries. His work is significant and has been an inspiration for generations of architects. Houses like the Connell house can be restored, remodeled and added on to to accommodate contemporary lifestyles in a sympathetic way. Last year we photographed a very similar home in the Berkeley hills that was a classic and historic house that the owners had beautifully remodeled. I do not worship old things. I love things well made whether old or modern. To permit the Connell House to be demolished would be a tragedy. We would be throwing away a piece of our history. Not a good plan.

P107.1

Cheers,

Russell Abraham

Writer and Photographer on architecture and design.



Abraham & Paulin Photography

510.444.5204 studio
510.333.6633 mobile
russellabraham.com

9.4.107 Response to Letter from Russell Abraham

Comment No.	Response
P107.1	<p>Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative, and MR-2 regarding Historical Resources for comments related to impacts on historic structures. The comment suggests a project alternative that would include restoration and expansion of the residence to accommodate contemporary lifestyles. This alternative was evaluated in Section 5.4.4 and Table 5-1 of the EIR. Expansion of the structure through Integration of the existing structure into the proposed structure was identified as feasible and evaluated in Section 5.6.2. The EIR analysis determined that this alternative was feasible and would decrease impacts to historical resources. This alternative would necessitate the participation of a qualified architectural historian to ensure integration could be accomplished consistent with the Secretary of the Interior's Standards. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P108

From: Luana Conley
To: ceacommments
Cc: [Ku_Cheryl_x6049; ecreeel@swca.com](mailto:Ku_Cheryl_x6049@ecreeel@swca.com)
Subject: PRESERVE--DO NOT DEMOLISH THE CONNELL HOUSE
Date: Wednesday, October 10, 2018 7:24:48 PM

I am opposed to any action that further violates the integrity of the Connell house. I urge you to follow **Alternative 1** in the DEIR—the “**environmentally superior alternative**” that calls for saving and restoring the Connell House, which is now suffering from “demolition by neglect.”

I stand with members and friends of Monterey Bay Modernism, the Alliance of Monterey Area Preservationists, Richard Neutra’s sons Dion and Raymond Neutra, a host of Monterey Peninsula architects, designers, writers and artists, as well as impassioned voices from across the United States and around the globe.

PRESERVATION NOT DEMOLITION



Luana Conley
Alliance for Monterey Area Preservationists
Visit AMAP1.org
Like us on Facebook!
[831-659-4958](tel:831-659-4958)

P108.1

9.4.108 Response to Letter from Luana Conley

Comment No.	Response
P108.1	“Demolition by neglect” is not a term or process used to substantiate any analysis or conclusion of the EIR. Any alleged abuse or neglect of the Connell House by the project applicant is not a CEQA issue and is outside the purview of this document. Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P109

From: June Stock
To: ceacommments; Ku, Cheryl_x6049; acreel@swca.com
Subject: Mehdipour property: 1170 Signal Hill Rd., Pebble Beach CA; Parcel No. 008-261-007- 0000
Date: Wednesday, October 10, 2018 2:36:19 PM

Re: Public Comment on Draft EIR:

My property at 3141 17 Mile Drive, Pebble Beach, CA is very close to that of Ms. Mehdipour and we share almost the same gorgeous ocean views, the dunes, natural vegetation, and scenery.

Back about 5 years or so the Monterey County Land Use Committee discussed the possible approval of the replacement of the Historic Connell House (1170 Signal Hill Road) by new plans submitted for the site. This in effect would increase the square footage of the new home from the existing 4,124 square feet to the proposed 11,933 square feet plus necessary improvements such as over 2,000 cubic yards of grading. The balance of the land would be undeveloped.

Thank you or the chance to express my view.

June C. Duran

This, of course, if built, would seriously affect the public view, particularly driving north on the 17 Mile Drive.

At the time, I felt the new proposed dwelling was far too big for the size of the lot and still feel that way. However, to be fair about it, the dwelling between the Mehdipour property and mine is in an over two year process of being remodeled and has certainly changed how that property is viewed, here again particularly driving north. I don't know how it got approved unless remodel vs. rebuild was the key but ,anyway, there it is, and the change does affect how things look.

I am all for preservation and appreciation but although required preliminary steps are being taken to restore the Connell House it hardly seems fair to load all those costs on to Ms. Mehdipour, but, of course that is really none of my business.

P109.1

P109.2

P109.3

9.4.109 Response to Letter from June C. Duran

Comment No.	Response
P109.1	The comment provides a brief history of the project, particularly in relation to the size of the proposed project. Potential impacts related to size and massing are analyzed in Section 4.1, Aesthetic Resources, of the EIR.
P109.2	The comment relates to impacts on public views from 17 Mile Drive related to the size of the proposed project. Potential impacts related to size and massing are analyzed in Section 4.1, Aesthetic Resources, of the EIR. The appropriateness of the proposed design is analyzed in Section 4.1 of the EIR. It was determined that the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant. In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P109.3	Please refer to MR-1 regarding Project Preferences. Cost justifications of the proposed project are not a CEQA issue and are outside the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P110

From: [MARVIN GUILLERMO](#)
To: [ceaacommments](#)
Cc: [Ku, Cheryl x6049; ccrnel@swca.com](#)
Subject: Cheryl Ku, kuc@co.monterey.ca.us
Date: Wednesday, October 10, 2018 8:01:20 PM

Dear Sirs,

I am respectfully writing to you with regard to the Oconnel House on Signal Hill, Pebble Beach, now in danger of demolition. It was designed by the Architect Richard Neutra, one of the best recognized Architects in America and Europe. He enjoys international recognition as one of the leaders of the the Architectural Modernist Movement in the early part of the last century. We are honored to have that house built in our midst; but it is unfortunate that some people, unaware of its historical significance and value would want to destroy it.

The house has been neglected, but once restored to its original it could become a prized historical landmark, sought after by people from around the world, as is already the case; to the people of Monterey County it would be a valuable source of pride.

Please! Don't let such treasure go to waste.

Respectfully,

Marvin Guillermo AIA Architect

P110.1

9.4.110 Response to Letter from Marvin Guillermo, AIA, Architect

Comment No.	Response
P110.1	The comment expresses support for the Preservation alternative and the importance of Richard Neutra's work in modern architecture. Please refer to MR-1 regarding Project Preferences and to MR-4 regarding Baseline Conditions for comments related to neglect and condition of the house. The EIR determined a Preservation Alternative would be feasible in Section 5.6.1 and would reduce potential impacts on the historic resource, consistent with this comment. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P111

From: [Mary Liskin](#)
To: [Ku, Cheryl y6049](#); ecreel@swca.com; [ceqacomment](#)
Subject: 1170 Signal Hill
Date: Wednesday, October 10, 2018 2:31:29 PM

P.S. My name is Mary Liskin and I sent a letter on behalf of the Mehdipour property yesterday. If it matters, I neglected to add my address on the Monterey Peninsula. I live in Carmel and very appreciative of all the historic properties near me from the Frank Lloyd Wright House to the first Jane Powers cottage and the "Hill House" next door. As a citizen, I certainly won't miss seeing that rubbish on Signal Hill nor will I miss that design. Thank you for ending this expensive nonsense.
Mary Liskin

Sent from my iPhone

P111.1

9.4.111 Response to Letter from Mary Liskin

Comment No.	Response
P111.1	This comment clarifies the location of residence of the commenter in relation to a previous comment letter (Comment P100). Please refer to MR-1 regarding Project Preferences for comments expressing a preference for the proposed project, and MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P112

From: Katherine Marren
To: ceacommments@swca.com; Ku, Cheryl x6049
Subject: 1170 Signal Hill
Date: Wednesday, October 10, 2018 10:07:57 PM

Cheryl Ku, Senior Planner, Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93930

Whom It May Concern:

I am writing in support of Massy Mehdipour's project at 1170 Signal Hill Road in Pebble Beach. I've known Massy personally and professionally for over 15 years and I know she would make a wonderful resident to our local community.

I had visited the Signal Hill house back in the 2008-2009 timeframe. Although the home had a magnificent location with beautiful views, I would describe the house at the time I visited as being surprisingly outdated, run down, and in need of much work. I observed water leaks in a number of rooms including the kitchen, foyer, guest bath, and garage. The living room windows had leaks and let in quite a bit of cold air. It was also my personal observation when I visited the house during that timeframe that it had no architectural significance, charm or appeal whatsoever and therefore I was shocked later to read in the paper that Massy's project was being challenged due to a historical or architectural value that the home allegedly held. This seemed like an obvious ploy to stop her project.

Since then the home has become an eyesore on one of the most beautiful landscapes in Pebble Beach. It makes me sad to see the home in such disrepair when I drive by and to know the pain it must represent to not just the owner but the surrounding neighbors. I hope to see something beautiful replace it soon.

Massy Mehdipour has been through a very tough battle to just build a home she can be proud of and enjoy with her family. She has also completed a lengthy and costly EIR for the property and has agreed to reconstruct the dune area around her home. It is now time for this taxpayer to build her home and enjoy her property as long as it complies with the current building codes.

Katherine Marren
Pacific Grove, California

P112.1

9.4.112 Response to Letter from Katherine Marren

Comment No.	Response
P112.1	<p>Please refer to MR-1 regarding Project Preferences for comments expressing support for the project, and MR-2 regarding Historical Resources for comments related to historical significance and the historic registration process. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house and blight. The visual impacts of the proposed project as compared to the environmental baseline were evaluated in Section 4.1 of the EIR. Refer also to MR-3 regarding Property Rights.</p> <p>The fact that the residence has been listed in the CRHR and determined eligible for listing in the NRHP resulted in the need for preparation of an EIR under CEQA. Monterey County, the CEQA lead agency, cannot make a determination on the project until the CEQA process has been completed. Depending on myriad project-specific factors, the EIR Process can sometimes be protracted. Here, the process was prolonged for several reasons. For example, the applicant's desire to address and resolve project impacts identified in the Administrative Draft EIR resulted in project changes. Those project changes required the EIR to be substantially revised and rewritten prior to public circulation. Moreover, the neglect and vandalism that occurred at the property required the County to take additional time to address through multiple code enforcement actions and an evaluation by a structural engineer. Cost justifications of the proposed project are not a CEQA issue and are outside the purview of this document.</p> <p>The proposed project's consistency with applicable plans and policies is discussed throughout Chapter 4 of the EIR and was found to be consistent with most policies. However, several potential inconsistencies were identified, including policies in the County's LCP prohibiting structures that extend above the primary ridgeline and policies for the protection of Environmentally Sensitive Habitat Areas (ESHA). The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of onsite restoration of ESHA, and measures to reduce the height and visual impact of the new house component of the project, it was determined that potential impacts would be less than significant. Offsite coastal due restoration (or in-lieu fees) are another mitigation that will minimize potential impacts to ESHA (BIO/mm-3.9) and was added to the FEIR in response to concern from the California Coastal Commission (Comment Letter #A2). In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P113

From: [Sheila McElroy](#)
To: [Ku, Cheryl x6049; cenacommments](#)
Subject: Mehdipour property 1170 Signal Road Pebble Beach CA
Date: Wednesday, October 10, 2018 5:01:27 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Dear Ms Ku,

I am writing to express my support for Massy Mehdipour's project at 1170 Signal Road.

As someone with over 15 years of historic preservation consulting experience for the County of Monterey, as well as numerous cities, counties and private property owners throughout the state of California, I find it disheartening that this argument regarding the integrity of the subject building is still going on.

I conducted my historic assessment of the residence in 2011, under my firm name Circa: Historic Property Development. There was never any question as to the importance of architect Richard Neutra or his work. There was disagreement as to the integrity of the building given the extensive repairs, material replacement and alterations (with and without permits) continually performed since 1958. These alterations and material replacements were due to water infiltration and settlement, and resulted in a significant cumulative impact.

The building has never held up to the weather conditions of Pebble Beach, as quoted by Connell (the original owner), and has continued to suffer through brutal storms and vandalism for over 60 years.

The 2016 Simpson Gumpertz & Heger structural report that is part of the EIR articulates and confirms these dire existing conditions of the building. It is clear that the building is neither capable of relocation nor rehabilitation in a way that would keep enough original, historic material to retain historic integrity.

I sincerely hope that common sense will prevail and that Massy can move on with her project.

Sincerely,

Sheila McElroy

1167 Bush Street #707
San Francisco CA 94109
415 279 2640 c. / sheila.e.mcelroy@gmail.com

P113.1

9.4.113 Response to Letter from Sheila McElroy

Comment No.	Response
P113.1	<p data-bbox="360 365 1349 552">Please refer to MR-1 regarding Project Preferences for comments expressing support for the proposed project, and MR-2 regarding Historic Resources for comments related to historical significance, including disagreements among experts and a discussion of the Secretary of the Interior’s Standards for reconstruction of a historic property. Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The quote by Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR.</p> <p data-bbox="360 596 1406 701">The feasibility of the Preservation Alternative and extent of existing materials and features that could be incorporated into a reconstruction is described in Section 5.6.1.3, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure’s original construction.</p> <p data-bbox="360 743 1411 905">The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR, consistent with this comment. The structural engineering report has been added as Appendix F of the EIR. The information provided in the report provides additional background on the integrity of the house, as referenced in this comment. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P114

From: [Christine Shimp](#)
To: [Ku, Cheryl x6049](#)
Subject: Massy Mehdipour project
Date: Wednesday, October 10, 2018 1:56:12 PM

Cheryl:

I encourage Monterey County to approve the Massy Mehdipour project, and to do so expeditiously.

Now that Mehdipour has conducted an unbelievably detailed Draft Environmental Impact Report just to build a house, Monterey County should be obliged to expedite her permit. The findings of the EIR lead to the following resolution:

P114.1

1) Allow the demolition of the totally failed structure and nuisance, and its replacement with the property owner's zoning law compliant new home.

2) Suggest that the history of the house be documented to provide a historical reference for preservationists and others who may be interested.

P114.2

The house is standing right now only because it has temporary shoring throughout, which means it is structurally failed. It is inhabitable, a blight, and a public nuisance. The EIR must include current pictures and also pictures from immediately before the shoring was installed.

P114.3

The findings of the structural engineer demonstrate in no uncertain terms that the house had flaws from when it was built. This information is also corroborated by the initial owners. Then the house was hit with decades of Pebble Beach rain and winds, was vandalized, and was ordered by the County to be gutted. Please make these facts better known in the EIR.

In terms of fairness, I have read where preservationists say things such as, "she should not have bought a historic house." It was only 46 years old when Mehdipour bought the house; please also make this point clear in the EIR.

P114.4

Thank you for taking my points into consideration, and please approve the project.

With best regards,

Christine Shimp
New York, NY

Christine Shimp | Cell: 646.683.5718 | christine.shimp@biogen.com



9.4.114 Response to Letter from Christine Shimp

Comment No.	Response
P114.1	<p>Please refer to MR-1 regarding Project Preferences for comments expressing support for demolition and construction of the proposed project. The fact that the residence has been listed in the CRHR and determined eligible for listing in the NRHP resulted in the need for preparation of an EIR under CEQA. Monterey County, the CEQA lead agency, cannot make a determination on the project until the CEQA process has been completed. Depending on myriad project-specific factors, the EIR Process can sometimes be protracted. Here, the process was prolonged for several reasons. For example, the applicant's desire to address and resolve identified project impacts resulted in project changes. Those project changes required the EIR to be substantially revised and rewritten prior to public circulation. Moreover, the neglect and vandalism that occurred at the property required the County to take additional time to address through multiple code enforcement actions and an evaluation by a structural engineer. Cost justifications of the proposed project are not a CEQA issue and are outside the purview of this document.</p> <p>The proposed project's consistency with applicable plans and policies is discussed throughout Chapter 4 of the EIR and was found to be consistent with most policies. However, several potential inconsistencies were identified, including policies in the County's LCP prohibiting structures that extend above the primary ridgeline and policies for the protection of Environmentally Sensitive Habitat Areas (ESHA). The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of onsite restoration of ESHA, and measures to reduce the height and visual impact of the new house component of the project, it was determined that potential impacts would be less than significant. Offsite coastal due restoration (or in-lieu fees) are another mitigation that will minimize potential impacts to ESHA (BIO/mm-3.9) and was added to the FEIR in response to concern from the California Coastal Commission (Comment Letter #A2). In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.</p> <p>The EIR does not assert that the structure cannot be demolished; local decision makers can select any alternative that would require demolition of the residence by identifying the reasons for approving the significant and unavoidable impact to the historic resource through a statement of overriding considerations. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P114.2	<p>Section 4.3 Historical Resources discusses mitigation measures to reduce impacts to historical resources including Mitigation Measure HR/mm-1.1 and HR/mm-1.2 which would require recordation and documentation of the Connell House prior to the issuance of any demolition, grading, or construction permits.</p>
P114.3	<p>Bracing and shoring up of the existing structure was required by the County through a County code enforcement action due to violations of County Code that had occurred at the site. Please refer to MR-4 regarding Baseline Conditions for comments relating to the changing condition of the house through the EIR process. The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR, consistent with this comment. The EIR notes that reconstruction would be similar to that of original construction. The existing features and components that could be maintained in a reconstructed residence are identified in Section 5.6.1.3. The comments do not require changes to</p>

Comment No.	Response
P114.4	<p>the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p> <p>Please refer to MR-2 regarding Historical Resources for comments related to the “age” of historical significance and the lack of awareness of the potential historical significance of the structure by the project applicant. The 50-year threshold is guidance and does not mean that resources younger than 50 years cannot be found eligible for listing on the National Register of Historic Places or the California Register of Historical Resources.</p> <p>Comments made by preservationists outside of the EIR are not CEQA issues and are outside of the purview of this document. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P115

From: [Danielle Bianchi](#)
To: [reacommments; Ku, Cheryl x6049](#)
Cc: [Danielle Bianchi](#)
Subject: Mehdipour Project EIR
Date: Thursday, October 11, 2018 9:07:28 PM

Cheryl Ku
Senior Planner
Monterey County

Dear Cheryl,

Please approve the Massy Mehdipour project and do not put Monterey County in danger of violating a citizen's property rights and the Constitution.

In the United States property rights are a core value protected by the Constitution. If Monterey County does not approve the project soon, it will effectively be engaging in an unconstitutional taking, if it has not already. And this case certainly does not warrant an eminent domain proceeding.

P115.1

In common law jurisdictions, state governments traditionally enjoy police power, under which a government may regulate a variety of aspects of the lives of its subjects. Under American law, however, this power does not extend to the outright divestiture of title to private property, nor to the de facto equivalent of it, which is what has effectively happened to Mehdipour.

P115.2

What has transpired against Mehdipour's right to the use and quiet enjoyment of her property should be concerning to all.

P115.3

Thank you.

Danielle Bianchi Golod
Austin, Texas

9.4.115 Response to Letter from Danielle Bianchi Golod

Comment No.	Response
P115.1	Please refer to MR-1 regarding Project Preferences and to MR-3 regarding Property Rights. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P116

From: Joan Hoover
To: ceacommments
Cc: Ku, Cheryl x6049; ecreeel@swca.com
Subject: Neutra House
Date: Thursday, October 11, 2018 3:52:18 PM

As the owner of a historic 1925 Spanish Colonial Revival home in Pebble Beach, I feel strongly that those who choose to buy a home with important and historic architecture knowingly accept a responsibility to preserve, restore and maintain these treasures of the past.

Regardless of your opinion of the attractiveness of the Neutra house, it is a rare example of mid-century modernism in our county that should be protected and preserved for future generations to appreciate.

Respectfully,

Joan B. Hoover
3078 Bird Rock Road
Pebble Beach, CA. 93953

P116.1

9.4.116 Response to Letter from Joan B. Hoover

Comment No.	Response
P116.1	Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative and to MR-2 regarding Historical Resources for comments related to the buyer's awareness of the potential historical significance of a resource upon purchase. The issue of whether or not the buyer was aware of Neutra's association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document; therefore, no changes in the environmental document are necessary. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P117

From: [Alexis Knepp](#)
To: [ceaacommments](#)
Cc: [Ku, Cheryl x6049; ccrnel@swca.com](#)
Subject: DEIR Connell House
Date: Thursday, October 11, 2018 12:01:54 PM

Re: PLN100338, SCH # 2015021054

The following are my comments about the Draft EIR for the Connell House in Pebble Beach.

This is the one and only Richard Neutra building in the County of Monterey, and is of very important architectural historical significance, and is even on the CA State Register of Historic Resources.

Restoring this house is the only proper option to provide the best benefit to the environment and the local community.

Thank you,
Alexis Knepp

P117.1

9.4.117 Response to Letter from Alexis Knepp

Comment No.	Response
P117.1	Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative, and MR-2 regarding Historical Resources for comments related to the significance of the Connell House. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P118

From: Craig Knobbe
To: Ku, Cheryl y6049; acreel@swca.com; ceqacomment
Subject: 1170 Signal Hill Road in Pebble Beach
Date: Thursday, October 11, 2018 5:46:20 PM

Cheryl Ku
Senior Planner
Monterey County Resource Management Agency

Dear Cheryl,

I am writing in strong support of Monterey County approving Massy Mehdipour’s project to build a new home at 1170 Signal Hill Road in Pebble Beach.

P118.1

The EIR states in the context of historical designation that, “a property is not eligible as the work of a master [architect], however, simply because it was designed by a prominent architect.” This guidance applies to this house 100%.

Section 18.25.060 (*Designation of historic resources and districts*) of the Monterey County Code states the following: “No property shall be designated pursuant to this Chapter without the consent of the property owner.” Massy Mehdipour did not consent to her property being designated; therefore, the property should not be recognized as such by Monterey County.

P118.2

This local code also shows the intent of the local community to reserve historical designation for those structures that are truly historic; and not ones that are highly debatable such as this house, where historians disagree, the average citizen finds it laughable, nothing was disclosed to the owner, and a neighbor funded its registration over her objection.

The house being listed on the California Register should be viewed with great skepticism since it is self-serving for OHP to put a building on its list. OHP did not even conduct a site visit or consider pictures from the house at the time of registration.

The “environmentally superior alternative” from the EIR in reality requires that the structure be demolished and rebuilt, so the label of “preservation” is just plain wrong, because the details of the condition of the house reveal the reality of reconstruction. Reconstruction is not warranted in any way, shape or form for something of debatable, limited historical significance, especially when it is against the wishes of the property owner.

P118.3

Lastly, Monterey County would open itself up to substantial legal consequences should it not approve the proposed project.

P118.4

With best regards,

Craig Knobbe, Esq.

9.4.118 Response to Letter from Craig Knobbe, Esq.

Comment No.	Response
P118.1	Please refer to MR-1 regarding Project Preferences and to MR-2 regarding Historical Resources. The Connell Residence was not determined eligible simply because it was designed by Richard Neutra but was determined eligible within the context of the development of Modern Architecture in Pebble Beach.
P118.2	Please refer to MR-1 regarding Project Preferences and MR-2 regarding Historical Resources. The evaluation of the house as a potential historical resource is a requirement of CEQA, regardless of whether the project applicant consents to such evaluation. No discretionary approval by the County can be made on the applicant's permit application for construction of the new house without such an evaluation of the proposed project's potential effect on historical resources. Often, the potential historical significance of a structure is not known until CEQA requires an evaluation like that conducted of the Connell House in the EIR. The intent of the neighbors or any other participants in the process is not a CEQA issue and is outside the purview of this document. Please refer to MR-2 regarding Historical Resources for comments regarding the historic registration process and the property owner's consent to designation. Section 18.25.060.A of the Monterey County Code allows the Monterey County Historic Resources Review Board to initiate the designation of historical resources but also states that "No property shall be designated pursuant to this Chapter without the consent of the property owner." The designation of the Connell House, however, was not done by the County. The house was issued a formal Determination of Eligibility by the Keeper of the National Register of Historic Places, and as a result of the NRHP eligibility determination, was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1). As such it is considered an "historical resource" under CEQA; therefore, the Connell House was analyzed in the EIR as a historical resource. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P118.3	Please refer to MR-2 regarding Historical Resources, including the Secretary of the Interior's Standards for the reconstruction of a historic property. The Preservation alternative does not propose construction of a replica; however, the EIR notes that reconstruction would be similar to that of original construction. Section 5.4 of the EIR analysis specifically states that the term "preservation" is intended to refer generally to the retention and repair/reconstruction of the property such that it ultimately retains its historic integrity. The EIR concludes that the Preservation Alternative would correct existing damage to the Connell House by preserving, repairing, and replacing portions of the existing residence per Secretary of the Interior's Standards for the Treatment of Historic Properties, and the existing features and components that could be maintained in a reconstructed residence are identified in Section 5.6.1.3. The comment suggests that Preservation that would retain historic integrity is not feasible. As discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association. Repair of deteriorated or vandalized features, along with the judicious replacement of features that are missing or not salvageable, has the potential to substantially mitigate the partial loss of integrity of design, materials, and workmanship. Although Preservation of the Connell House would be similar to original construction, the Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior's Standards. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource. Therefore, efforts at reconstruction would provide an environmental benefit under CEQA and are required to be analyzed in the EIR.

Comment No.	Response
	The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P118.4	Please refer to MR-3 regarding Property Rights.

COMMENT LETTER #P119

From: [David Lane](#)
To: [Ku, Cheryl x6049](#)
Subject: Project Title: Signal Hill LLC (Mehdipour) PLN100338, SCH # 2015021054 (Neutra Connell House)
Date: Thursday, October 11, 2018 2:02:41 PM

Dear Ms. Ku,

I'm writing to join the many others who have already voiced their support for preserving the Connell House, designed by one of the most revered architects of the past century, Richard Neutra. As a key example of California's significant modernist architectural heritage, the Connell House is rightfully placed on the California State Register of Historic Resources. Neutra designed homes are studied and referenced worldwide in architecture schools and in design publications today, holding an enduring, timeless appeal. The Connell House remains the only such example of a Neutra in Pebble Beach, and is a part of a legacy that is valuable to the city, the state, and the country.

I urge you to choose the **Draft EIR Alternative 1: Preservation** and avoid the loss of this irreplaceable asset, which mustn't suffer a demise under a single generation and/or current owner, but be preserved for future generations.

Thank you for your attention and efforts,

David Edward Lane

David Edward Lane
Managing Director
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P119.1

9.4.119 Response to Letter from David Edward Lane, Managing Director

Comment No.	Response
P119.1	The comment expresses support for the Preservation alternative and describes the significance of Neutra design and the role in current school curriculum and design publications. Please refer to MR-1 regarding Project Preferences and to MR-2 regarding Historical Resources. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P120

From: patlo@cruzio.com
To: [ceqacomments](#)
Cc: [Ku, Cheryl x6049; ecreeel@swca.com](#)
Subject: Connell house
Date: Thursday, October 11, 2018 12:19:36 PM

I am writing to offer my support for the preservation and restoration of the Richard Neutra designed, Connell House in Pebble Beach. It is the only Neutra designed house on the Pacific Coast, and deserves to be restored. Restoration would not be so costly had the present owners not intentionally allowed the building to fall into disrepair. It would be a travesty if such negligence were to be rewarded by allowing its demolition.

P120.1

thank you,
Patrick Lovejoy
1064 Mission Rd
Pebble Beach, Cal 93953

9.4.120 Response to Letter from Patrick Lovejoy

Comment No.	Response
P120.1	The comment states a preference for the Preservation alternative. Please refer to MR-1 regarding Project Preferences and to MR-2 regarding Historical Resources. Cost justifications of the proposed project are not a CEQA issue and are outside the purview of this document. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P121

From: [Lisa Ciani](#)
To: [ceaacommments](#)
Cc: [Ku, Cheryl x6049; ccrnel@swca.com](#)
Subject: Signal Hill LLC (Medhipour) PLN100338, SCH # 2015021054 (Neutra Connell House)
Date: Friday, October 12, 2018 12:26:33 AM

Dear Cheryl Ku:

The environmental impacts of destruction of the historic property that would be caused by the new project cannot be mitigated. Demolition by neglect must not be accepted in any case, and most certainly must not be accepted for a California Register of Historic Places architectural masterpiece, eligible for the National Register of Historic Places, designed by master architect Richard Neutra, and an excellent example of the American International Style of Modernist architecture, as recognized in Pebble Beach's Historic Context Statement.

I urge you to adopt Alternative #1, the preservation alternative, as the necessary, responsible alternative to demolition by neglect of an irreplaceable historic and architectural landmark, a cultural and visual resource, and the only example of a Neutra building in Monterey County.

Thank you for considering my comments,
Lisa Ciani

220 Walnut Street
Pacific Grove, CA 93950

P121.1

9.4.121 Response to Letter from Lisa Ciani

Comment No.	Response
P121.1	The comment states a preference for the Preservation alternative and expresses concurrence with the Alternatives analysis and the EIR's conclusion that demolition of the residence would result in significant and unavoidable impacts to the historic resource. Please refer to MR-1 regarding Project Preferences and to MR-2 regarding Historical Resources. Please also refer to MR-4 regarding Baseline Conditions for comments related to "demolition by neglect" and the condition of the house for purposes of the CEQA analysis. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P122

From: [Angela Love](#)
To: [Ku, Cheryl x6049](#)
Cc: [Dale Ellis](#)
Subject: Signal Hill LLC/Mehdipour DEIR
Date: Friday, October 12, 2018 1:23:30 PM
Attachments: [DEIR Comment letter,10.12.18.pdf](#)

Ms. Ku,

Attached please find correspondence from Mr. Ellis dated today (October 12) regarding the above matter. The original letter will follow by U.S. Mail.

Thank you.

Angela M. Love
Legal Assistant to Anthony L. Lombardo
ANTHONY LOMBARDO & ASSOCIATES
A Professional Corporation
144 W. Gabilan St.
Salinas, CA 93901
Phone (831) 751-2330
Fax (831) 751-2331
Email: angela@alombardolaw.com

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FAX (831) 751-2331

October 12, 2018

1599.001

Ms. Cheryl Ku, Senior Planner
Resource Management Agency/Planning
1441 Schilling Place
Salinas, CA 93901

RE: Signal Hill LLC/Mehdipour DEIR Comments

Dear Ms. Ku:

We have reviewed the Draft Environmental Impact Report (DEIR) prepared by SWA Environmental Consultants. We find the DEIR to be complete, thorough and well-reasoned in its analysis and recommendations. We do have a few comments:

Baseline, Page 4.3: The application was filed in November 2010. The property was photographed by the County in July and November 2010. The County notified the applicant that an EIR was being recommended by the Parks Department in December 2010. Subsequent letters in August 2011 and June 2013 also stated the need for an EIR. The application was deemed complete in August 2013. It was not until January 2015, due primarily to the owners trying to avoid preparing the EIR, that the County approved the contract with SWA for preparation of the EIR. The Notice of Preparation (NOP) was prepared in February 2015. The DEIR was not completed for more than three and a half years after that.

P122.1

The physical condition at the time of preparation of the NOP would normally be the correct baseline. However, the circumstances of this application are far from normal. There have been numerous code violations on the property for the failure to maintain the property. The house was neglected to the point of near collapse. The applicant should receive no benefit from a later baseline when much of the reason for the deterioration from 2010 to 2015 was from the failure of the owner to properly maintain the property. The appropriate baseline in this case would be at the earliest time the County documented its condition. That would be July 2010.

Project Mitigations: Throughout the DEIR there are numerous project mitigations. Many of those mitigations would require a substantial change in the project, including height, design and reduced area. There are two questions which are critical:

P122.2

Ms. Cheryl Ku, Senior Planner
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- Which of those recommended mitigations are required to reduce the impact of the project to an insignificant level?
- Has the applicant agreed to implement those mitigations?

P122.2
(cont'd)
P122.3

Table 5.1 (2), Page 5-17: The preliminary screening analysis should be amended to read any use other than a single-family residence would be inconsistent with the Del Monte Forest Land Coastal Program, 1982 Monterey County General Plan and Title 20.

P122.4

Table 5.1 (4), Page 5-18: Project integration is a highly questionable alternative due to the dune environment surrounding the legally established building area. Any expansion of that area would be inconsistent with the dune habitat protection policies of the Del Monte Forest LCP.

P122.5

Table 5.1 (6), Page 5-19: Since "This alternative would require demolition of the Connell House and would, therefore, not avoid or substantially lessen the significant unavoidable impact to the historic structure" it should not have been taken forward for further consideration.

P122.6

Table 5.1 (9), Page 5-21: Similar to alternative 6, this alternative "would require demolition of the Connell House and would, therefore, not avoid or substantially lessen the significant unavoidable impact to the historic structure" and should not have been taken forward for further consideration.

P122.7

Section 5.7, Page 5-41: We agree. Preservation is the environmentally superior alternative. It is also the only alternative that can reduce the project impacts to a less than significant level.

We appreciate the level of detail and thought SWA and the County put into the DEIR. We fully agree with the DEIR's conclusion of the environmentally superior alternative. We urge the County to move forward to the Planning Commission with a recommendation to approve Preservation, the environmentally superior alternative.

P122.8

Sincerely,



Dale Ellis
DE/al

9.4.122 Response to Letter from Dale Ellis

Comment No.	Response
P122.1	<p>The comment states that the applicant should receive no benefit from a later baseline when later deterioration of the building was the result of the property owner's failure to maintain the property, and that the baseline conditions should be at the earliest time the County documented its condition (when the applicant submitted the application for the proposed project in 2010). The comment correctly notes that the existing baseline for CEQA purposes is normally the time of issuance of the NOP. The baseline normally reflects the environmental conditions as they exist at the time environmental analysis is commended, in this case, at the time of NOP issuance in February 2015. California courts have upheld this principal even when a project applicant's past conduct may have violated the law or been used to improperly circumvent the environmental review process. (See <i>Bottini v. City of San Diego</i> (2018) 27 Cal.App.5th, 281, 303; <i>CREED-21 v. City of San Diego</i> (2015) 234 Cal.App.4th 488; <i>Riverwatch v. County of San Diego</i> (1999) 76 Cal.App.4th 1428, 1452; <i>Citizens for East Shore Parks v. State Lands Commission</i> (2011) 202 Cal.App.4th 549, 561; <i>Fat v. County of Sacramento</i> (2002) 97 Cal.App.4th 1270, 1279-1280; <i>Bloom v. McGurk</i> (1994) 26 Cal.App.4th 1307, 1314-1316.)</p> <p>The complete statement referenced in the EIR reflects the deteriorated condition of the house in stating that, "The baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred, <u>but nevertheless retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource</u>" (emphasis added), and therefore, recognizes the value of the resource after restoration. Please refer to MR-4 regarding Baseline Conditions. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P122.2	<p>Table ES-1. Summary of Impacts and Mitigation Measures on ES-11 provides a summary of all identified potentially significant impacts, associated mitigation measures, and residual impact level. Under the proposed project, all impacts except Impact HR-1 and HR-2 can be mitigated to less than significant levels with implementation of identified mitigation measures. Each of the mitigation measures identified in Table ES-1 and throughout the EIR are required to reduce the potentially significant impacts of the proposed project to an insignificant level.</p>
P122.3	<p>Through coordination with the project applicant regarding the initial determination of significant impacts in the EIR analysis, the project applicant prepared a Reduced Height design alternative that would reduce the maximum height of the proposed residence by 5 feet in an attempt to avoid any potential impacts associated with silhouetting above the natural ridgeline as required by Mitigation Measure AES/mm-1.1. This design alternative and its potential environmental effects were evaluated in Section 5.6.4 of the EIR, and reflect the applicant's apparent willingness to redesign the house as required by AES/mm-1.1, though the Reduced Height Alternative did not reduce the proposed height of the structure to the extent recommended in mitigation identified in Section 4.1 of the EIR to reduce impacts to less than significant.</p> <p>In the process of responding to this comment, it was discovered that some confusion may arise from the erroneous inclusion of AES/mm-1.1 and AES/ma-1.1.1 in the set of measures that would be applied in the Reduced Height Alternative. This is not the case since the Reduced Height Alternative would further reduce visibility of the project such that mitigation measures to reduce the height are not warranted. Therefore, a responsive edit to section 5.6.4.1. was made to clarify that a height reduction was not warranted if the Reduced Height Alternative were approved. BIO/mm-1.1 and BIO/ma-1.1.1, tree replacement and protection, should be included in this list of mitigation measures rather than AES/mm-1.1 and AES/ma-1.1.1.</p> <p>The final Mitigation Monitoring and Reporting Program would be adopted by the decision maker at the time of approval of the project or one of the alternatives. Mitigation measures would be enforced through mitigation monitoring actions identified in the mitigation measures which are incorporated into the conditions of project approval.</p>

Comment No.	Response
P122.4	Table 5-1 has been revised to clarify that the Preservation and Adaptive Reuse alternative would be inconsistent with the Del Monte Forest Land Coastal Program, 1982 Monterey County General Plan, and Title 20 of the Monterey County Code. Consistent with this comment, the EIR currently states: "This alternative would be feasible and would avoid the significant impact on historical resources. However, reuse for any purpose other than single-family residential use would not meet the project's basic underlying objective. Alternative uses other than a single-family residence would not be consistent with surrounding residential uses and may be inconsistent with Monterey County zoning regulations."
P122.5	The comment questions the feasibility and impacts of Alternative 4 based on the potential inconsistency with dune habitat protection policies of the Del Monte Forest Local Coastal Program. The EIR determined that the Project Integration alternative would result in significant but mitigatable impacts to dune habitat similar to those identified for the proposed project. Impacts to Biological Resources including dune habitat protection are discussed in detail in Section 4.2 Biological Resources. Similar to the proposed project, any expansion into dune habitat would be potentially inconsistent with the dune habitat protection policies of the Del Monte Forest LCP. The potentially significant impacts associated with potential policy inconsistencies would be less than significant with the inclusion of Mitigation Measures BIO/mm-3.1 through BIO/mm-3.6 and BIO/mm-3.9.
P122.6	CEQA requires that a reasonable range of project alternatives be included that could potentially avoid significant impacts while generally meeting the project objectives. Alternative 6: Reduced Project was identified as an alternative that would be feasible and would meet most of the project objectives while avoiding permanent impacts on adjacent ESHA and impacts to resources associated with ridgeline development. Although the project would not avoid or reduce all identified significant impacts, it would substantially reduce impacts on ESHA, visual resources, and those associated with potential policy inconsistencies and is, therefore, appropriately carried forward for further evaluation in the EIR. Evaluation of this alternative was also requested by the California Coastal Commission in its comments on the NOP. The EIR is required to include a range of reasonable alternatives. It is the decision maker's responsibility to determine if an alternative is feasible. (CEQA Guidelines section 15091(a)(3).)
P122.7	CEQA requires that a reasonable range of project alternatives be included that could potentially avoid significant impacts while generally meeting the project objectives. Alternative 9: Reduced Height was identified as an alternative that would be feasible and would meet most of the project objectives while reducing impacts to resources associated with ridgeline development. Although the project would not avoid or reduce all identified significant impacts, it would reduce impacts on visual resources, including those associated with potential policy inconsistencies. The Reduced Height Alternative was specifically designed by the project applicant in an attempt to address identified impacts associated with ridgeline development, and was therefore appropriate to carry forward for further evaluation in the EIR to determine whether the reduced height design would, in fact, avoid or reduce impacts to visual resources and to foster better informed decision making and public participation. The EIR is required to include a range of reasonable alternatives. It is the decision maker's responsibility to determine if an alternative is feasible. (CEQA Guidelines section 15091(a)(3).)
P122.8	Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative as the environmentally superior alternative. The above comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P123

From: [Sateez Kadivar](#)
To: [Ku, Cheryl v6049](#)
Cc: [Emily Creel](#)
Subject: Mehdipour DEIR Comments - Preservation Alternative is NOT Economically Feasible
Date: Friday, October 12, 2018 4:42:16 PM

Hi Cheryl,

The Preservation Alternative, which is named as the "Environmentally Superior Alternative," as well as most of the other alternatives, is not economically feasible. The DEIR does not include any information about the economic feasibility of the Preservation Alternative, or any other alternative for that matter.

Not only is the Preservation Alternative not economically feasible, but it is not possible or practical in reality. The house must be demolished, and a new one must be built. This is reconstruction.

The Project Objectives are inaccurate. The underlying purpose of the project is to replace the existing structure with a new modernized house that is commensurate with allowable square footage and reflects a design of the owner's liking.

Monterey County must approve the proposed project, and put an end to this ongoing and blatant injustice and violation of property and constitutional rights.

Thanks,

Sateez Kadivar

P123.1

9.4.123 Response to Letter from Sateez Kadivar

Comment No.	Response
P123.1	<p>Please refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources, and to MR-3 regarding Property Rights. Economic impacts and cost justifications are not considered environmental effects under CEQA, except as economic effects may be relevant to the physical changes caused by economic effects of a project. (CEQA Guidelines section 15131.) However, when the County decision maker determines whether project alternatives are feasible, the decision maker may consider whether “specific economic, legal, social, technological or other considerations” make an alternative infeasible.” (CEQA Guidelines section 15091(a)(3).)</p> <p>MR-2 discusses the Preservation/Reconstruction Alternative and Secretary of the Interior’s Standards for reconstruction of a historic property.</p> <p>Project objectives are discussed in Section 2.2 Project Objectives of the EIR, which states that the applicant’s first objective is to remove the existing residence and construct a new single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area, substantially similar to the objectives stated in this comment. The comment suggests that a primary objective should be construction of a structure that “reflects a design of the owner’s liking”. The development of project objectives is ultimately a determination made by the CEQA lead agency, not the project applicant. A lead agency must not give a project’s purpose an artificially narrow definition; however, a lead agency may structure an EIR analysis around a reasonable definition of a project’s underlying purpose (see <i>In re Bay-Delta Programmatic Environmental Impact Report Coordinated Proceedings</i>, 43 Cal.4th 1143 [2008]). The project objectives must not be so narrowly defined so as to prevent the development of a reasonable range of alternatives to evaluate in the EIR.</p> <p>The comments do not require changes to the environmental document but a clarifying statement was added to section 5.4, Preliminary Alternatives:</p> <p>“Where significant reconstruction would be required to achieve preservation, the general term is understood to include some reconstruction.”</p>

COMMENT LETTER #P124

From: [Eddie K](#)
To: [Ku, Cheryl x6049](#)
Subject: Proposed project 1170 Signal Hill Road
Date: Friday, October 12, 2018 7:29:53 PM

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency - Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Cheryl,

I am in support of the County of Monterey approving Massy Mehdipour's proposed project at 1170 Signal Hill Road. Please consider the following as reasons to approve the project:

- The house was very poorly designed from the outset, both according to the original owners, and the County's recent structural report which evaluated both current conditions and the original design (conducted by Simpson Gumpertz & Heger in 2016 as part of the EIR).
- No one involved had a clue the house was designed by Neutra or was possibly eligible for historic designation at the time of purchase or thereafter until the neighbor took up the campaign.
- To call this house a historical resource is dubious at best. Historical registration was largely a rubber stamp process without a site visit, and this house is a poor reflection of Neutra's work.
- The new house complies with the zoning and building codes, is in harmony with the setting, and would enhance the neighborhood through dune restoration.
- The historic resource designation is being used as a pretext by the neighbor.
- There is no meaningful public benefit at the expense of trampling on someone's property rights.
- The house has been in a state of deterioration for many years, essentially since it was built, and is now structurally failed.
- A simple mitigation measure is to document the house through photos and a website as described in the EIR.

P124.1

P124.2

P124.3

P124.4

P124.5

P124.6

P124.7

Please confirm receipt.

Eddie

9.4.124 Response to Letter from Eddie Kinman

Comment No.	Response
P124.1	Please refer to MR-1 regarding Project Preferences for comments expressing support for the proposed project. The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR. Please also refer to MR-4 regarding Baseline Conditions for comments related to the condition of the structure.
P124.2	Please refer to MR-2 regarding Historical Resources for comments related to historical significance and the historical registration process. The issue of whether or not the buyer was aware of Neutra's association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document. Therefore, the comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P124.3	<p>This comment states that the proposed project is compliant with the current zoning ordinance, is in harmony with the setting, and would enhance the neighborhood by completing the proposed restoration efforts. The proposed project's consistency with applicable plans and policies is discussed throughout Chapter 4 of the EIR and was found to be consistent with most policies. However, several potential inconsistencies were identified, including policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with these conflicts and the proposed residence's adverse impact on public views. With implementation of onsite restoration of ESHA, and measures to reduce the height and visual impact of the new house component of the project, it was determined that potential impacts would be less than significant. Offsite coastal due restoration (or in-lieu fees) are another mitigation that will minimize potential impacts to ESHA (BIO/mm-3.9) and was added to the FEIR in response to concern from the California Coastal Commission (Comment Letter #A2). In addition, under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.</p> <p>The comment accurately reflects the project's proposed dune restoration activities. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P124.4	The evaluation of the house as a potential historical resource is a requirement of CEQA, regardless of whether the project applicant consents to such evaluation. No discretionary approval by the County can be made on the applicant's permit application for construction of the new house without such an evaluation of the proposed project's potential effect on historical resources. The intent of the neighbors or any other participants in the process is not a CEQA issue and is outside the purview of this document. Please refer to MR-2 regarding Historical Resources for comments regarding the historic registration process and the property owner's consent to designation. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P124.5	Please refer to MR-3 regarding Property Rights.
P124.6	Please refer to MR-4 regarding Baseline Conditions. The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR.
P124.7	Section 4.3 Historical Resources discusses mitigation measures to reduce impacts to historical resources including mitigation measure HR/mm-1.1 and HR/mm-1.2 which require recordation and documentation of the historical property, consistent with recommendations in this comment. The

Comment No.	Response
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comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P125

From: [Massy Mehdiopour](#)
To: [Ku, Cheryl x6049; Ecreeel@swca.com; cagacomments](#)
Cc: [Swanson, Brandon xx5334; Holm, Carl P. x5103; VandewereK@co.monterey.ca.us; Getzelman, Paul C.; egonzalezr56@gmail.com; ambrizana1@gmail.com; Mendoza, Francisco Javier; richcoffelt@msn.com; mdufflock@gmail.com; amydroberts@gmail.com; Wizard, Jonathan; mvdiehl@mindspring.com; 100-District 1 \(831\) 647-7991; 100-District 2 \(831\) 755-5022; 100-District 3 \(831\) 385-8333; 100-District 4 \(831\) 883-7570; 100-District 5 \(831\) 647-7755; Sabeez Kadivar](#)
Subject: Mehdiopour Signal Hill LLC DEIR Comments (SCH No. 2015021054)
Date: Friday, October 12, 2018 2:45:32 PM
Attachments: [Mehdiopour Signal Hill EIR Comment Letter_10.12.2018.pdf](#)

Dear Cheryl & Emily,

Please see attached my comments to the Draft EIR for my new home at 1170 Signal Hill Road in Pebble Beach. Please confirm receipt.

Sincerely,

Massy Mehdiopour
Signal Hill LLC
1170 Signal Hill Road
Pebble Beach, CA 93953
(650) 380-3187

OCTOBER 12, 2018

**SIGNAL HILL LLC COMMENTS
SIGNAL HILL LLC
COMBINED DEVELOPMENT PERMIT
DRAFT ENVIRONMENTAL REPORT
SCH No. 2015021054**

TO: Cheryl Ku, Senior Planner KuC@co.monterey.ca.us
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FROM: Massy Mehdipour, Signal Hill LLC
1170 Signal Hill Road
Pebble Beach, CA 93953

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Introduction

This document serves as my comments to the Draft Environmental Impact Report (SCH No. 2015021054) for my property at 1170 Signal Hill Road in Pebble Beach. Based upon the specific circumstances of the property, the findings in the EIR, the ten long and torturous years I have been forced to endure, and general principles of fairness, justice, property rights and constitutional law, I respectfully request that Monterey County finally approve my project as proposed.

P125.1

As a property owner and responsible citizen, I ask that the County allow me to build a home that I went to great lengths to make certain is code compliant and well within allowable square footage and other parameters, and equally important, is fully harmonious with the Pebble Beach neighborhood.

P125.2

The EIR must be corrected in many respects to provide a more accurate accounting of the facts and to remove all preservationist bias as further elaborated herein. The "EIR is intended to serve as an information document for use by the general public and the county in their consideration and evaluation of the project," which means the EIR must be a neutral representation of facts, not a biased document in furtherance of a preservationist agenda.

P125.3

When I purchased the house in 2004, I had no idea that my family and I would be subjected to ten torturous years or that the 46-year-old tear down house could ever be considered historic.

What the County has put me through over the last ten years is a severe injustice that must come to an end. Over the last several years, the County has further violated my property rights and engaged in an unconstitutional taking without just compensation. I have not enjoyed the privilege of the quiet use and enjoyment of my property as all of my neighbors have, while still being required to pay property taxes.

P125.4

The vast majority of my neighbors on Signal Hill Road support my project. Many more people from within Pebble Beach and Monterey County, the preservationist special interest group excluded, likewise fully support my project.

P125.5

It is time for you to do the same.

Sincerely,

Massy Mehdipour
Signal Hill LLC
1170 Signal Hill Road
Pebble Beach, CA 93953

1. Project Objective

The EIR is at best extremely disingenuous, and at worst malicious, in how it constructs the project objectives to directly serve the purpose of concluding that its chosen "Environmentally Superior Alternative" would meet most of the Applicant's identified project objectives. This approach makes clear the severe underlying bias towards a preservationist agenda contained in the EIR. Here are the issues that I object to and must be corrected:

1. The statement of objectives does not properly convey the underlying purpose of the project as CEQA Guideline §15124(b) specifies. By strategically parsing out different aspects of the underlying purpose of the project across multiple objectives and through misleading terminology, the underlying purpose of the project is completely distorted. The underlying purpose of the project is to replace the existing structure with a new house that is commensurate with what is allowed on a parcel of this size in Pebble Beach and complies with current building codes. The aforementioned reflects a very reasonable expectation for anyone purchasing a single-family residential private property in Pebble Beach.

P125.6

2. Applicant Project Objective # 1 is far too broad by using a compound sentence with multiple differing subjects and predicates as follows:

- i. Remove the existing residence and
- ii. Construct a new single-family residence on the project site
 - a. of a size compatible with the surrounding community and
 - b. which allows for enjoyment of the natural beauty of the surrounding area.

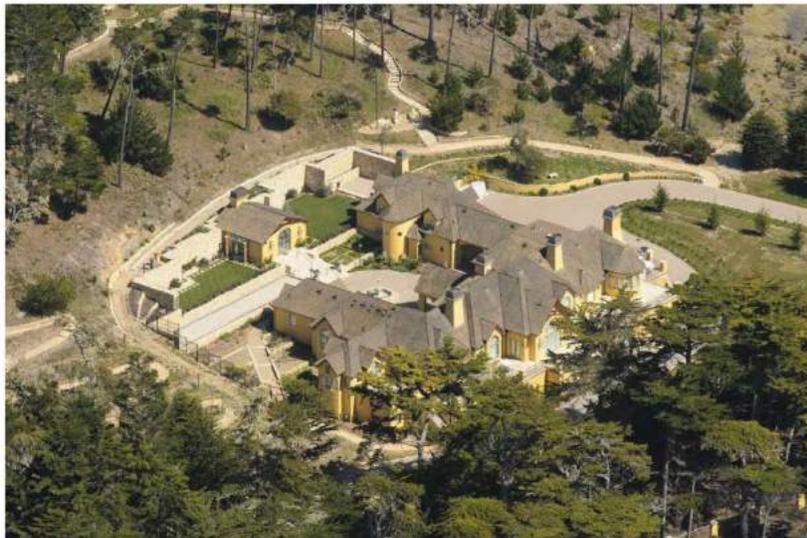
P125.7

By intentionally combining two major subjects (removing existing residence and constructing new residence) into the same objective, the EIR then later makes the preservationist-biased argument that this objective is met in the Environmentally Superior Alternative despite one of the two objectives (removing existing residence) not being met.

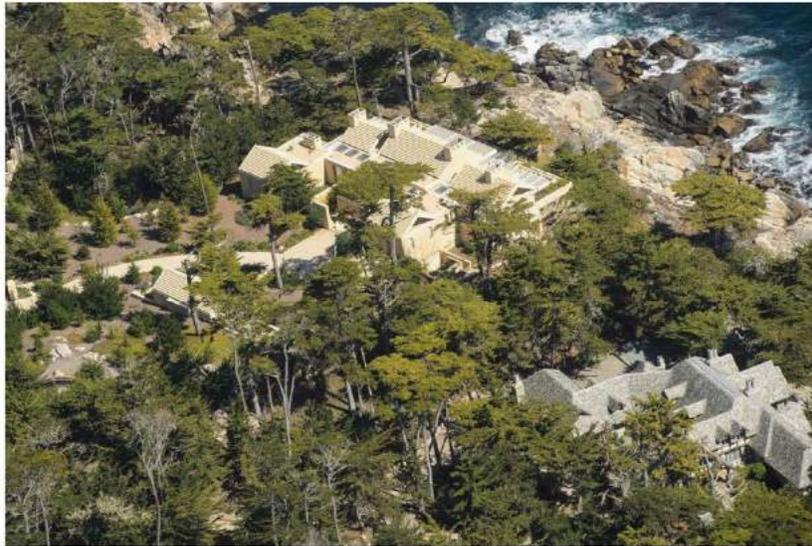
P125.8

3. Applicant Project Objective # 1 also reflects a severe preservationist bias by using the overly broad terminology of "a size compatible with the surrounding community" as opposed to terminology such as "a size commensurate with the allowable square footage for the lot and compatible with the surrounding Pebble Beach community," which is a much more accurate representation of the Applicant's objectives while not being an artificially narrow definition. Again, the aforementioned reflects a very reasonable expectation for anyone purchasing a single-family residential private property in Pebble Beach. For easy reference, below are examples of homes from Pebble Beach (LIB130426 - Applicant Presentation at Meeting With County Staff on May 25, 2012):

P125.9



P125.9
(cont'd)



P125.9
(cont'd)



P125.9
(cont'd)

4. The Applicant Project Objective should include that the new house be modernized to meet current building codes and current best practices as they relate to life safety, fire, waterproofing, wind resistance, structural loads, and seismic considerations. It is also important to understand and note in the EIR that houses built per today's building codes have thicker walls, thicker cavities, larger utility room requirements, higher floor to ceiling amounts, etc., all of which increase the square footage of code compliant homes.
5. The following sentence in Section 5.7 on page 5-41 of the DEIR includes a material inaccuracy related to Applicant Project Objective # 3: "The Preservation Alternative would meet most of the Applicant's identified project objectives, including providing a single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area; **restoration of areas to their natural condition**; and overall improvement of the property for the betterment of the Pebble Beach community."

P125.10

P125.11

The material inaccuracy in the above justification for the Preservation Alternative is that the "restoration of areas to their natural condition" would only be provided as part of the proposed project as the restoration of 1.65 acres of dune habitat was a generous offer I made as a condition of the proposed project approval.

2. 2004 House Purchase

The EIR must include much more recent information about the background of the house, including its purchase in 2004. To do otherwise, is misleading and biased and does not serve the EIR's intended purpose to serve as an information document for use by the general public and the County in their consideration and evaluation of the project. Please include all of the information in the remainder of this section in the EIR.

P125.12

When I bought the house in 2004, the house was only 46 years old, and therefore not even up for consideration as being historic. In addition, there were no disclosures made to me whatsoever about who the architect was or that it could possibly have been designed by a noted architect. To be clear, no one involved in the transaction, including the sellers, real estate broker, or anyone else, uttered a single word about the topic of who the architect was or that the house could possibly be considered historic in the future. I was very upfront that the house was being purchased as a "tear down" to the sellers and the broker. The sellers were an elderly couple who had not been able to maintain the home, which was a difficult, if not impossible, task given its poor design and construction for the oceanside environment with many flaws as further described herein in the next section.

P125.13

Subsequent to my purchase, I interviewed and showed the house to many architects, contractors and consultants as I was developing my plans for the new house. Again, no one uttered a word that the house appeared designed by any notable architect. One of the people intimately involved was Bill Bernstein, an architect from Southern California who was well versed in Richard Neutra's work. The following is a quote from Bill Bernstein (*source: Pine Cone October 2, 2015*):

"When Ricardo Legorreta began the design of a new home for Ms. Mehdipour in 2007, no one involved in the project had any idea that this house could possibly be historic in nature, let alone designed by Richard Neutra. I practice architecture in Los Angeles and am quite familiar with Neutra's work. I am a fan and admirer of his architecture and have toured several of his homes, including the refurbished Kaufman house in Palm Springs. I was astonished when told that this house in Pebble Beach was in fact designed by Neutra, because it lacked much of the grandeur of his other works. Frankly, if not for a ribbon of glass and a corroding metal balcony railing, there was little of the architect's signature designs. The house was in very poor condition, with leaks evident everywhere and structural failures in the basement and balcony. It was poorly designed or built from a technical standpoint.

P125.14

None of us, including Mr. Legorreta, ever questioned the need to demolish this structure. Further, it was never disclosed to Ms. Mehdipour that the house on the property had any historic value when she purchased it for the sole intent of building a new home. I doubt there are many people in the community who even knew who Richard Neutra was before

this controversy. Had she demolished the house right after she purchased it, none of this would even be on the table for discussion, as the house would not have been 50 years old and subject to historic review.”

Even Barbara Lamprecht, an architectural historian who wrote a book about Neutra did not mention this house in the original version of her book about him; of course, she revised the book subsequently after receiving a call from Anthony Kirk, who was hired by my neighbor who initiated the historical registration process.

P125.14
(cont'd)

If I had applied to demolition the house within the first several years after I purchased it, the topic of historic would have been moot, because it was not even 50 years old, which is the threshold. The fact I did not take such action is further evidence that nothing was disclosed to me, because of course no one knew anything about this house prior to my neighbor waging a campaign.

The fact that I had no knowledge of the house’s original architect or that it could possibly be considered a historic resource is very important to disseminate in the EIR in order to properly inform the public, as the preservationists have waged a smear campaign against me with these facts completely distorted.

P125.15

3. Fatal Flaws in Original Design and Construction

The EIR must include much more information about the many design and construction flaws and issues of the original house. Please include all of the information in the remainder of this section in the EIR.

P125.16

The house was very poorly designed for the specific oceanfront setting of its location. The vast majority of Neutra’s experience was designing homes in Southern California and he did not even visit the Signal Hill location during the design process. Given his limited experience with this area, it is no surprise that the house was not well designed for the notorious Pebble Beach oceanfront weather. The original owners validated this information, and the house’s current condition is further evidence.

P125.17

According to Appendix B of the Thomas S Hines book published in 1982 and referenced in the Draft EIR, Neutra produced 15 houses alone in 1958, the year the Mehdipour house was built. Not surprisingly, Richard Neutra never even made the trip from Southern California to visit the Mehdipour house during its design. As one simple example of the poor design for the environment, the stucco of the house extended directly all the way to the ground and the foundation had no waterproofing. The Covell structural observation survey conducted in 2012 confirmed this issue as follows: “Several areas of stucco cracks were seen throughout

P125.18

the building as well as soil (sand) piled up against the stucco. Current building codes require six inches clearance from top of soil to the building's siding.”

In Section 4.3.1.2 of the Draft EIR, there is a carefully selected partial quote from the Connells which is quite deceptive in its biased effort to try lead people to believe that the house was in great shape when it was built in 1958.

For easy reference, the following was included in the Draft EIR: “Arthur Connell later recalled that ‘the original concept seemed so absolutely right that it was never altered in any important aspect, although Richard himself had not as yet seen the site’ (Hines 1982).” Note that nothing in the quote addressed any design or construction issues with the house such as leaks or wind blowing through the house, and let’s recall this is at the time the house was initially built in 1958.

Now, to be more accurate and less biased, the following includes additional parts of the quote from Arthur Connell and must be included in the EIR:

“the house turned out to be not ideally suited for the environment, although it certainly capitalized on the outstanding view. The main problem was that Cypress Point is exposed to northwest and southerly winds which exceed 30 knots with gusts to 50 and 60 on occasion, and these persist for long periods. I feel certain that the air flow through the house could be as much as 1 or 2 knots, despite all windows and doors being closed, and the heat just never went off...the house leaked somewhere in every rain storm.”

- *Reference: Pages 268 – 269 from the Thomas S Hines book published in 1982; the same book referenced in the Draft EIR.*

Omitting the above quote demonstrates a preservationist bias and must be corrected. The aforementioned issues were identified over 60 years ago, and provide great insight into the underlying cause of the deterioration of the house since that time.

Next, let’s turn to the issues identified in the more recent structural report referred to in the Draft EIR and the omissions from that report in the DEIR. While the DEIR refers to the Simpson Gumpertz & Heger structural report, it does not include the following parts of said report which highlights the many flaws of the house’s original design and construction and all of the following should be more explicitly included in the body of the EIR:

“For the purpose of this evaluation **we assumed that the building had been restored to its original condition**, with the 1993 addition, but without any of the damage or deterioration reported above, or any structural upgrades or enhancements. We determined that the building has the following deficiencies:

1. The walls do not provide adequate strength to resist the specified seismic forces.

P125.18
(cont'd)

P125.19

P125.20

2. Several of the upper level walls are discontinuous, i.e., they land on floor joists and are not supported on walls below.
3. The primary lateral resistance for the building is provided by cement plaster (stucco) on the exterior walls finish plaster on interior walls. This is not permitted for buildings exceeding one story in height.
4. Wood framing along the building's north side does not appear to be anchored to the building foundations.
5. Some framing members supported on posts and walls do not have positive connections to the post or walls.
6. Framing members at the edges of diaphragms are not provided with continuity hardware to resist chord and drag forces.
7. Three walls of the 1993 addition are supported on raised piers rather than a continuous strip footing. There is no detailing indicating positive attachment to the adjacent original structure." (*Emphasis added*)

P125.20

Again, it is important to emphasize that all of the above flaws are based upon the original design and construction in 1958.

It is also worth noting that Simpson Gumpertz & Heger was hired by the County and is an engineering firm inclined towards preservation as its corporate description states: "Simpson Gumpertz & Heger Inc. (SGH) is a national engineering firm that designs, investigates, and **rehabilitates** structures, building enclosures, and materials." (*Emphasis added*)

P125.21

4. Deterioration of the House Over 60 Years & Current Condition

After 60 years of relentless Pebble Beach weather, multiple additions and alterations (most, if not all, of them unpermitted), years of fruitless repairs, multiple vandalisms, and the County's "Mothball" order to demolish most of the house, the house has completely lost its structural integrity and is a pile of rubble.

All the structural columns are gone and the house is currently supported only by temporary shoring. Most of the load bearing beams have been removed or are nonexistent. The foundation is a very thin slab on grade with no waterproofing. There are no mechanical, electrical or plumbing systems existing in the house. There is no sheetrock, millwork/cabinetry or interior finishes. There are no window systems. All openings are boarded up with plywood. There are but a few floor joists left. All of the aforementioned information needs to be included in the EIR.

P125.22

A cursory structural survey performed in 2012 identified many issues with the house including cracks throughout, moisture infiltration and damage, and mold. This was from a simple visual

observation as “no walls, floors, or ceilings were opened up for inspection so any dry rot, termite, plumbing, or electrical damage could be seen within the framing cavities of the home. There was termite damage noticed at windowsills at several interior locations.”

P125.22
(cont'd)

Thereafter, a mold inspection was conducted in 2013 indicating the presence of unhealthy mold. My family and I rarely went to the house after receiving the 2013 mold report.

The EIR needs to include pictures that show the deteriorated state of the house, as well as the temporary shoring, as included in the Simpson Gumpertz & Heger structural report. Countless pictures from 1958 are included in the body of the EIR, but none of the pictures showing more recent pictures are included which is very deceptive.

P125.23

The following excerpt from the Simpson Gumpertz & Heger structural report summarizes the current condition of the house and should be included in the body of the EIR:

“As evident from the photographs attached hereto, and our on-site observations, the original building is presently in very poor condition and is no longer capable of self-support. Essentially all interior finishes, including ceiling and wall finishes have been removed as has much of the plumbing, electrical and heating utilities. Interior partitions have been removed at both levels. Glazing, and in some cases, window framing is missing from many exterior openings. A large portion of the exterior plaster has been broken and/or removed from the north buttress wall. Much of the structural sheathing has been stripped from the upper level floor and many of the wood joists have been cut along both lines of support. Some of the first level framing has experienced fungal rot associated with long term exposure to water. Some exterior framing is weathered, split and deteriorated beyond further use. Original steel handrails along the edge of the exterior deck have corroded and replacement wood railings are not well attached and are in danger of failing.

P125.24

The building is presently erect only because of the presence of temporary wood shoring installed beneath the exterior deck along the building’s west side, and also adjacent to the inside faces of the first story exterior walls. All exterior windows facing the ocean on the north and west sides of the building’s lower story and some window openings on the north and east sides of the upper story are closed with OSB sheathing supported by occasional 2x4 posts. Building paper has been placed on the exterior surface of the window closures. This building paper is torn in some locations and has come loose in others. Portions of the exterior stucco walls that have damage have been temporarily ‘weatherproofed’ with the installation of plastic sheeting, adhered with tape.

The shoring and protection that has been put in place is at best a short term solution. Closures in the large ocean-fronting windows do not have adequate structural framing support and are not adequately attached to the building frame. A severe winter storm

could fail these closures allowing wind and wind-borne water and sand to enter the building. In fact, one post, located at the north face of the upper level has previously failed and been replaced with a post having only half the strength of the original.

Global stability of the structure is a greater concern. With much of the floor sheathing removed from the upper level, there effectively is no diaphragm at this level at this time. As a result there is no load path available for wind or seismic loads in the east-west direction. This could lead to collapse. Beyond the lack of a second level diaphragm, the shoring installed beneath the upper floor level, to hold the structure in place now that the joists have been cut, has not been designed for lateral force resistance. While cross bracing is present, the attachment of the braces to the framing consists of a few nails at each joint. Neither braces nor columns are positively attached to the ground. Strong winds or earthquakes could cause failure of these braces.

Present weather protection is likely to deteriorate rapidly with time. The building paper used to provide water protection for sheathing on window openings is subject to mechanical damage from wind or vandals and will require periodic maintenance. Even if maintained this protection does not fully seal the building against moisture intrusion and some damage due to such intrusion is already present. Uncoated, exposed wood shoring on the building's west face will deteriorate with exposure to the weather."

P125.24

5. Historical Registration Process

The EIR must include more information about the background and process of the house being registering with the California Office of Historical Preservation (OHP) in 2014, ten years after I purchased the house. Please include all of the information in the remainder of this section in the EIR. It is important that this information be included in the EIR because members of the public, including reasonable preservationists, are offended when a neighbor uses historical designation as a tool in pursuing personal vendettas as such a tactic undermines the legitimacy of bona vide historical designations.

P125.25

The 2014 OHP application was based entirely on information gathered in 2012 by Anthony Kirk, which was funded by my neighbor (Reference: LIB120125 - "Historic Resources Assessment" by Anthony Kirk, March 12, 2012.)

It is likewise important to highlight in the EIR that the historical registration application and listing was all done without my consent and against by express objection. The OHP's response to my objection was that I should not be concerned about anything because the listing did not confer upon me any special obligations to maintain the property.

P125.26

The EIR should also include as background and contextual information that the Monterey County's Code (Section 18.25.060) requires that a property owner consent for a property to be deemed historic, which reflects the will of the people of the local jurisdiction.

P125.27

In addition, the condition of the house at the time of registration (June 2014) was far worse than depicted in the registration documents prepared by Anthony Kirk and Barbara Lamprect because Kirk and Lamprect only provided pictures taken in 2010. The pictures that Kirk provided to OHP were outdated. The people who prepared the report (Kirk and Lamprecht) never visited the house in 2014. The report was prepared based on a very brief visit by Kirk in October 5, 2010. By Kirk's own admission, he did not spend enough time at the house to fully evaluate its integrity.

P125.28

The OHP did not conduct a site visit, despite my invitation and my imploring them to come inspect the house. The OHP would not even accept then-current pictures from me. The EIR must disclose that the OHP did not conduct a site visit or consider then-current pictures as part of its listing process.

P125.29

Therefore, the listing of the house by OHP should not be given undue weight as that was a rubber stamp process by a predisposed group that did not even visit the house or consider then-current pictures. Lastly, the EIR should inform the public that just because something is on the OHP list does not mean it cannot be demolished.

P125.30

6. Extremely Limited Historical Significance

"A property is not eligible as the work of a master, however, simply because it was designed by a prominent architect. For example, not every building designed by Frank Lloyd Wright is eligible." (Reference: U.S. Department of the Interior, National Park Service).

The historical value of the house, if any ever existed, must be deemed extremely limited and insignificant. A small special interest group has tried to manufacture a hysteria over the house after-the-fact. Even architectural historians, who are people predisposed to see buildings on the fringe as historical, have different opinions on the historical significance of the building.

P125.31

Before architectural historian Barbara Lamprect was paid by my neighbor to register the house, she stated that she had only a "superficial knowledge" of the property. This statement is supported by the fact that my property was not even included in her most recent book on Neutra at that time.

In April 2011, Circa Historic Property Development stated that, "the residence at 1170 Signal Hill Road is a Richard Neutra design of marginal significance." While there is a reference to

this report in the EIR, this information is included in a report referenced on the EIR, it is important that these conclusions be highlighted more clearly in the EIR Section 4.3.

P125.31
(cont'd)

A subsequent report from Circa Historic Property Development provided in December 2011 includes the following statement:

"there is no evidence that Neutra himself designed the residence or even approved the set. What appears to be the original project plans (on file) are not signed by Neutra, or anyone from the firm, therefore the plans cannot be presumed to be approved (or not approved) by Neutra. The residence is not identified as one of the firm's exemplary or even particularly distinctive residential designs. Indeed, the residence is noted for its incompatibility with the environment (water leaks, wind gusts throughout, heating problems, etc.) and has suffered from undocumented changes and alterations to the original design including replacement of Neutra's signature ribbon windows."

P125.32

Yet another subsequent report from Circa Historic Property Development provided in December 2013 Development concludes with the following:

"Considering the current state of the residence there is no physical integrity to justify listing as a historic resource. The survey materials reviewed with the staff in 2012 substantiate the thorough documentation supporting our conclusion that the residence at 1170 Signal Hill Road does not meet the Monterey County Criteria for Evaluation of Historic Resources. There has been no substantiated documentation to refute these findings therefore **the property is not a historic resource at the national, state or local level.**" *(Emphasis added)*

P125.33

Please included all of the above Circa quotes in Section 4.3 of the EIR.

P125.34

It is also important to include in the EIR that all of the above assessments of the very marginal and limited historical significance of the house were many years before the house was struck be several heavy storms and vandalisms, and the County's Mothball order to demolish most of the house. Considering that now all the structural columns are gone and it is currently supported only by temporary shoring; most of the load bearing beams have been removed or are nonexistent; there are no mechanical, electrical or plumbing systems left in the house; there is no sheetrock, millwork/cabinetry or interior finishes; there are no window systems; and all openings are boarded up with plywood; and there are but a few floor joists left; the historical integrity of the house is long gone.

P125.35

7. Baseline Condition is Actual Condition at NOP (02/17/15)

As described in the DEIR, the County prepared and circulated a Notice of Preparation (NOP) of the EIR on February 17, 2015, which is the date of Baseline Conditions.

However, I object to following statement in Section 4.3.4.1 and which should be removed in its entirety as it is inaccurate and unsubstantiated: "It should be noted that, although the historic structure had been allowed to deteriorate since the June 13, 2014, eligibility determination (refer to Appendix C), the level of deterioration would not change the significance or eligibility of the historic resource; therefore, the baseline condition would not be substantially different from the residence's documented condition in June 2014."

P125.36

As described in the Historical Registration section of my comments above, the "residence's documented condition in June 2014" was all done inaccurately by Kirk who provided photographs and information from 2010.

P125.37

Many of the pictures in the EIR which show the alleged Neutra portions of the house are from 2010. This must be corrected in the EIR to show photographs from around the time of the NOP publication date. Misleadingly, the only 2014 picture taken (Figure 4.3-8.) is one that is mostly of the garage and the 1993 remodeled room, and this was also the only 2014 picture that the OHP considered. The EIR should replace the photographs in Section 4.3.1.2 with photographs included herein.

P125.38

Moreover, the house continued to experience significant deterioration between June 2014 and February 2015.

P125.39

In the Environmental Baseline Conditions Section of the EIR on page 4-3, please make the following changes:

- Immediately after the sentence ending in "...environmental setting at the time the NOP for the proposed project was published (February 17, 2015) constitutes the environmental baseline for the analyses in this EIR for all issue areas." Please insert the following sentence: "The EIR consultant did not take pictures or go downstairs to inspect the damage during her site visit on February 24, 2015 due to unhealthy and unsafe conditions."

P125.40

- Revise the language in the following sentence as follows:

"Changes in conditions at the site and to the historic residence located at the project site have occurred since the NOP was published, including **the demolition of much of the house per the County's "Mothball" order.** ~~unpermitted tree removals and neglect, damage, dereliction, and destruction of the historic residence, resulting in various ongoing code enforcement actions being initiated by the County Code Enforcement Division.~~"

P125.41

8. Condition of the House at NOP / Baseline Condition

Figure 4.1-1 on page 4.1-2 entitled "The existing residence as seen from Signal Hill Road looking south" shows the collapsed the deck at the time of NOP. See red circled part below.



P125.42

Below is a picture showing the other side of the house at the same time. Pictures of all sides of the house provide a more accurate representation and should be included in the EIR.



See below additional photographs that should be included in the EIR.



Temporary shoring installed. Note sagging deck and handrail along upper level west face.



Framing deterioration is evident at the northwest corner of the deck.

P125.42
(cont'd)



Deterioration and splitting at deck edge.



Interior of upper level has been gutted.

P125.42
(cont'd)



Water staining and damage to wood framing at lower stair.



Lower level has been gutted of all finishes and the upper level floor is supported on two rows of wood (temporary shoring).

P125.42
(cont'd)



Rusted ventilation system ducts. Note that floor slab is not present in mechanical areas.



Hole at base of cantilever pipe fence support and spalling of concrete curb.

P125.42
(cont'd)

9. "Preservation" is Reconstruction & Not a Feasible Option

Based upon the condition of the house described in detail above, "preservation" is not feasible, practical, economically feasible, and does not meet my project objectives.

P125.43

The EIR is incorrectly describing Alternative 1 as "Preservation." The house needs to be demolished and built anew. It is quite disingenuous to call that alternative "preservation" instead of what it really would be, which is reconstruction.

The stucco of the existing house extends to the ground and the foundation has no water proofing. As a result, water and moisture penetrates easily and causes mold. The house has been moldy since I purchased the house and likely for many years prior. I made several attempts to rectify it in order to maintain it the best I could while going through the planning process, but all failed. Because of the original design and construction methods utilized, the entire foundation slab on grade needs to be completely removed.

The slab on grade needs to be removed because it does not meet current code requirements and moisture penetration requirements. When the temporary shoring is removed, the few remaining structural beams have to be removed due to rotting. The stucco which goes all the way to the ground without any weather protection is damaged and irreparable and has to be removed. By the time all of the above is done it is equal to a demolition since all the other major parts of the house are already gone due to the "Mothball order," including mechanical, electrical, plumbing, sheetrock, millwork/cabinetry, interior finishes, windows, etc.

P125.44

On Page 5-21, the DEIR confirms dire existing conditions as follows: **"The structural report prepared for the project also concluded that the materials and elements of the existing structure were degraded to an extent that would prevent the ability to integrate them into a reconstructed structure."**

Once a house is demolished, whatever alleged historical significance there was, is gone.

I have already been required to waste an inordinate amount of money to "preserve" a totally failed and gutted building. To exacerbate such waste further by trying to replicate the building would be beyond foolish, not to mention requiring such would be unconstitutional. I use the word "replicate" intentionally because that is all that could be done now. The shell of a building that stands there today cannot feasibly be restored in a way that would leave any of the original building integrity intact. The only option is to remove the house entirely and then rebuild it to "look" like something historic, i.e., a replica. It would, of course, be a brand-new structure, so all vestige of legitimate history would be lost, indeed, it is already gone. There is simply no historic integrity remaining in the building today and it is simply not worth saving, whether historic or not. It is a public hazard and eyesore and should be razed immediately.

P125.45

Since a new structure must be built, which it must, then I should be allowed the same privileges other property owners enjoy. New is new, and there is no legitimate basis for you to disallow my reasonable use and enjoyment of my property.

P125.46

It is also not within the County's prerogative to dictate which architect or design I use for my personal residence. The County's role is only to ensure that the project complies with the zoning parameters which my proposed project does. In fact, the vast majority of people in the neighborhood would prefer the new house over the dilapidated and dangerous former house that is presently being propped up.

P125.47

In addition, the project would result in significant other benefits to the environment and neighborhood. The Coastal Plan seeks dune restoration in this part of Del Monte Forest and the project would result in over an acre and a half of fully restored and permanently protected habitat. The public viewshed from 17 Mile Drive would also be substantially enhanced by the project whose design blends in well with the dune foreground and forest backdrop.

P125.48

10. Preservation Alternative Violates the United States Constitution

The Preservation Alternative, which was deemed the "Environmentally Superior Alternative" in the DEIR, as well as other alternatives, violates the Constitution of the United States of America, particularly the 5th Amendment, and also the 1st Amendment.

The 5th Amendment of the United States Constitution prohibits the government from taking private property for public use with just compensation provided to the private property owner.

"No person shall be...deprived of life, liberty, or property, without due process of law; nor shall private property be taken for public use, without just compensation."

P125.49

In fact, many of the prior actions taken against me by Monterey County have already violated my Constitutional rights as a de facto equivalent of a governmental taking has already occurred.

Please also refer to the public comment letter written by Pacific Legal Foundation on October 11, 2018 and ensure its inclusion with the EIR.

11. Visual Impact & Ridgelines Inaccuracies

The DEIR has several material inaccuracies that relate to visual impact / ridgelines. The photo simulation sections of the EIR contain errors as the scaling of the rendering and the scaling of the land do not appear to be the same. What should be considered instead are the all of the photos taken when actual in-field staking was in place: "LIB130395 – 'Visual Resources Report Regarding Ridgeline Development' by Bill Bernstein, November 28, 2011" contained in the links to the EIR on the County website. See two examples of these pictures below (Images 5 and 6 of the aforementioned document).



(Image 5) From 17 Mile Drive: Directly below the house from roadside pullout.

P125.50



(Image 6) Mile Drive: Directly below the house and dune at the northern turn of 17 MD. The house is still covered by trees and hillside. Existing trees on property can be seen behind ridgeline as well.

P125.50
(cont'd)

The Pebble Beach Context Statement prepared by the County also has pictures of the actual infield staking story pole that do not show any part of the new house crossing the ridgeline (See Figures 4.3-1 and 4.3-2 on pages 4-3.6 and 4-3.6 of the DEIR).



Figure 4.3-1 of DEIR

P125.51



Figure 4.3-2 of DEIR

P125.51
(cont'd)

As an illustration of the photo-simulation errors, compare Figure 4.1-16 on Page 4.1-39 of the EIR with Figure 4.3-1 on Page 4.3-6 of the EIR entitled “West elevation, looking east from 17-Mile Drive.” They are taken from similar locations (KVA-3) with the actual physical staking / story pole picture actually being closer to the house, which would exaggerate the ridgeline issue. Even given this factor, the actual picture with the staking does not show the new house crossing the ridgeline at all, whereas in the photo-simulator is much closer. This discrepancy demonstrates that the photo simulations are inaccurate. The physical story poles and netting that were installed show a different story.

The Key Viewing Area 3 (also referred to as KVA-3) picture and photo-simulation on Page 4.1-39 are not on public land and therefore are completely invalid because they are not taken from a public viewing area. KVA-3 view is not from 17-Mile Drive or a public viewing area shown on the Del Monte Forest Land Use Plan Visual Resources Map (LUP Figure 3). The KVA-3 Photo-Simulation of Proposed Project and the KVA-3 Existing Visual Conditions picture (Figures 4.1.-16 and 4.1-15) should be deleted from the EIR.

The Key Viewing Area 1 (also referred to as KVA-1) picture and photo-simulation on Page 4.1-35 and 4.1-35 respectively are not on public land (they are from a private golf course) and therefore are completely invalid because they are not from a public viewing area. KVA-3 is

P125.52

not from 17-Mile Drive or a public viewing area shown on the Del Monte Forest Land Use Plan Visual Resources Map (LUP Figure 3). The KVA-1 Photo-Simulation of Proposed Project and the KVA-1 Existing Visual Conditions picture (Figures 4.1.-13 and 4.1-12) should be deleted from the EIR. **P125.52 (cont'd)**

Even if the photo simulation scales were considered valid, only KVA-4 shows a very small amount extending above the ridge line for barley 2 seconds when driving on 17 Mile Drive and certainly does not substantially alter the visual character and will not impact the site or surroundings. **P125.53**

The EIR incorrectly indicates that the structure would be seen above the ridgeline from Fanshell Beach. **P125.54**

Also, Signal Hill Road itself is not a common public viewing area. Any references or illusions to the contrary should be removed from the EIR. **P125.55**

In summary, the proposed project will not create a substantially adverse visual impact when viewed from a common public viewing area **P125.56**

12. New Project Vision

The following are key facts and figures about the proposed project and should be included in the EIR: **P125.57**

- Based upon the size of the lot, the maximum allowable floor area is 16,504 square feet and maximum lot coverage is 14,146 square feet. The proposed project is less than three-quarters of that on both fronts. **P125.57**
- The proposed project is 11,933 square feet and comparable with homes in the Pebble Beach community and meets the needs of my family which includes two adult children, their two spouses, and seven grandchildren. And even 11,933 square foot calculation is overstated because much of it is in the basement in part in order to blend into the hillside. **P125.58**
- The proposed project lot coverage is 10,008 square feet, while the existing house's lot coverage is 7,113 sq ft, so we are only increasing the lot coverage by 2,895 square feet, and this on a 2.2 acre lot. **P125.59**

All of the above figures demonstrate a reasonable approach to modernizing the property and should be included in the EIR.

The following details about the vision and design motif of the proposed project and should be included in the EIR:

As with the best known and best loved of California Modern typologies, the linear proposed house that sits on a bench carved into a west facing hillside with an ocean view is an ideal modern California house designed for the area. The massing of the house is carefully composed to ensure that, while there are technically three levels including the basement, they are never stacked directly, so viewed from the road, and more crucially when seen from the beach, it is actually only two stories. To reiterate, the proposed house is not three stories.

P125.60

The house is an expression of an architecture for and about this unique environment. The new house needs to be modernized to meet all of the energy, waterproofing, wind resistance, seismic, fire safety requirements and more, that both current building codes and current best practices necessitate. All of the materials to be utilized must be carefully selected to ensure they are fully compatible with the harsh oceanfront environment. Lastly, the design of the house was carefully composed to enhance the scenic quality and visual character of the area.

P125.61

This west facing elevation is divided in half at the mid-line between the first level, clad in natural stone, and the plaster-clad second floor, which is set back beyond the terraces, so the compositional emphasis is horizontal. The living spaces are crowned with a heavy timber roof, a Legorreta signature, but here rendered with a difference.

And consistent with the horizontal compositional emphasis the rafters are oriented lengthwise along the primary axis, paralleling the terraces and softening the gesture of the overhang.

P125.62

The house accommodates its context in more detailed ways as well. As one would expect in a contemporary California house, the west-facing elevation is largely glazed. The base is clad with locally-quarried stone, tying the building to its site. The plaster here has been made a light brown Paul Adamson April 21, 2012 color to harmonize with the native dunes.

13. House Name

Please change all references to "Connell House" to "Signal Hill House" or "Mehdipour House." I am the rightful owner, having owned it since 2004, and as such it is inaccurate and totally biased to name it after the original owners who last owned the house in 1973. The original house was also remodeled several times, and at least one of which was quite substantial by adding 25% more square footage which was done well after the original owners.

P125.63

14. Other Corrections

Please make the following additional corrections, addition and/or clarifications to the EIR.

- | | |
|--|-----------------------|
| <p>1. In the DEIR Executive Summary, it is not accurate to refer to the current 4,125-square-foot residence as being designed by Neutra when there was a remodel done in 1993 that increased the original house size by over 25%.</p> | <p>P125.64</p> |
| <p>2. In the Project Description section, it should be highlighted that the property is currently overrun with non-native ice plants.</p> | <p>P125.65</p> |
| <p>3. In Environmental Baseline Section (Page 4-3 of DEIR), make the following corrections:
 "...since the NOP was published, including unpermitted tree removals and neglect,
 damage, derelection, and destruction of the historic residence, resulting in various ongoing
 code enforcement actions being initiated by the County Code Enforcement Division.</p> <ul style="list-style-type: none"> • <u>Please note that the tree removals were many years prior.</u> | <p>P125.66</p> |
| <p>4. The following statement in Section 5.6.1.4 is completely inaccurate and totally unsubstantiated and must be removed from the EIR: "Reconstruction of the existing 4,125-square-foot residence would generally entail less construction over a shorter period of time in comparison to construction of the proposed 11,933-square-foot residence." The construction of a replica will take much longer in comparison to the construction of the proposed project.</p> | <p>P125.67</p> |
| <p>5. Section 4.1.5.3 of the DEIR contains the following incorrect statement: "The proposed residence would be 11,933 square feet in size, over 3.5 times bigger than the existing 3,299-square-foot residence." Please correct the square footage of the existing house (4,125-square-foot) and the corresponding math.</p> | <p>P125.68</p> |
| <p>6. Section 4.3.1.2 refers to "3,299-square-foot" as if it is the current size of the house. Please revise to "4,125-square-foot."</p> | <p>P125.69</p> |
| <p>7. With regards to Section 4.3.4 of the EIR, please note the following corrections, clarifications and additional pertinent information:</p> <p>Site visits to the property were performed on February 24 and April 20, 2015 (exterior and portions of the interior), and August 17, 2015 (from the public right-of-way). I was present on both the days of February 24 and April 20, 2015.</p> <p>No one visited the interior of the house. The EIR Historical Resource consultant Debi Howell Ardila went inside and immediately came out citing the unsafe and unhealthy</p> | <p>P125.70</p> |

conditions of the house. She did not take pictures of the house. The way the baseline condition is described and illustrated in the EIR is totally wrong because they never inspected or took pictures. The house structure was substantially damaged by the NOP date. All the pictures that the EIR shows are either coming from Anthony Kirk or OHP which copied photos taken by Anthony Kirk on October 5th 2010. Subsequent to that time, there were two major storms that hit the house severely (November/December of 2014 and January 2015). Vandalisms also occurred in late 2012 and in 2013.

P125.70
(cont'd)

9.4.125 Response to Letter from Massy Mehdipour

Comment No.	Response
P125.1	This comment summarizes the project applicant's cover letter to the County and requests approval of the proposed project. Please refer to MR-1 regarding Project Preferences and to MR-3 regarding Property Rights.
P125.2	<p>The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the proposed house component of the project, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its distinctively large size. These project components were found to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts associated with ridgeline development and the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant.</p> <p>The project's consistency with applicable plans and policies is evaluated throughout Chapter 4 of the EIR. The project was found to be potentially inconsistent with biological resources policies, and mitigation measures were identified to ensure the project, as modified, would be consistent with applicable policies.</p> <p>Because the proposed project is not compliant with several policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (Part 1 Title 20 Zoning Ordinance), under the County's coastal zoning ordinance (Title 20 of the Monterey County Code), the project is allowable only if the County grants several discretionary approvals, including (1) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of areas containing native sand dune habitat; (2) a Coastal Development Permit for development on slopes exceeding 30%; (3) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and (4) a Coastal Development Permit for ridgeline development. These necessary approvals are noted in Chapter 2 of the EIR.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.3	This comment states the EIR must be corrected to provide an accurate accounting of facts and to not further preservationist goals. This comment does not identify any sections of the EIR as being incorrect or inaccurate. As proposed, the project entails the demolition of the existing structure, which has been determined to be a National Register-eligible historic property and a historical resource for the purposes of CEQA. CEQA requires a lead agency to identify potentially significant adverse effects on historical resources, and to mitigate them to the greatest extent feasible, including through an evaluation of potential avoidance or mitigation of significant impacts through preservation. With no further details about the purported inaccuracies in the EIR, no changes in the environmental document are necessary. However, the responses to comments in this Final EIR address all of the significant environmental issues raised in a neutral and objective manner, and revisions to the Draft EIR have been made where warranted as a result of the comments received, as noted throughout this Final EIR.
P125.4	The fact that the residence has been listed in the CRHR and determined eligible for listing in the NRHP resulted in the need for preparation of an EIR under CEQA. The County, the CEQA lead agency, cannot approve the project or an alternative until the CEQA process has been completed. Depending on myriad project-specific factors, the EIR Process can sometimes be protracted. Here, the process was prolonged for several reasons. For example, the applicant's desire to address and resolve project impacts identified in the Administrative Draft EIR resulted in project changes. Those project changes required the EIR to be substantially revised and rewritten prior to public circulation.

Comment No.	Response
	<p>Moreover, the neglect and vandalism that occurred at the property required the County to take additional time to address it through multiple code enforcement actions and an evaluation by a structural engineer. Please refer to MR-2 regarding Historical Resources for comments related to the project applicant's lack of awareness that the structure may be historically significant at the time of purchase. Please also refer to MR-3 regarding Property Rights.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.5	<p>This comment states support of the proposed project by neighbors and people from within Pebble Beach and Monterey County. These comments do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.6	<p>Project objectives are discussed in Section 2.2 Project Objectives of the EIR, which states that the applicant's first objective is to remove the existing residence and construct a new single-family residence on the project site of a size compatible with the surrounding community and which allows for enjoyment of the natural beauty of the surrounding area, substantially similar to the objectives stated in this comment. The project objectives were developed in concert with the applicant. County records show that the applicant suggested edits to the project objectives in 2015, and reviewed objective 1, which included both removal of the existing residence and construction of a new single family residence. In 2015, the County reviewed the applicant's proposed changes to the project objectives, and decided to include two sets of objectives in the EIR to acknowledge the applicant's desires while also meeting CEQA requirements. The development of project objectives is ultimately a determination made by the CEQA lead agency, not the project applicant. (<i>California Oak Foundation v. Regents of University of California</i> (2010) 188 Cal.App.4th 227, 276-277.) A lead agency must not give a project's purpose an artificially narrow definition; however, a lead agency may structure an EIR analysis around a reasonable definition of a project's underlying purpose. (<i>In re Bay-Delta Programmatic Environmental Impact Report Coordinated Proceedings</i> (2008) 43 Cal.4th 1143, 1166). The project objectives must not be so narrowly defined so as to prevent the development of a reasonable range of alternatives to evaluate in the EIR. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.7	<p>See response to Comment P125.6, above. This comment disagrees with the structure and grammar of Project Objective #1 and appears to suggest the project objectives should have separately identified (1) removal of the existing structure, and (2) construction of a new single-family residence on the project site. Project Objective #1 includes both removal of the existing residence and construction of a new residence, which is consistent with the applicant's project application. Logically, removal of the existing residence is not a full representation of the proposal for the site, as the project description includes construction of a new residence, and the property is a residentially zoned parcel. The property would not be used for its intended purpose without a residence on site, so removal of the existing residence on its own does not reflect an accurate project objective for purposes of evaluating the project's potential impacts. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.8	<p>See response to Comments P125.6 and P125.7, above. The development of project objectives is ultimately a determination made by the CEQA lead agency, not the project applicant. A lead agency must not give a project's purpose an artificially narrow definition; however, a lead agency may structure an EIR analysis around a reasonable definition of a project's underlying purpose (see <i>In re Bay-Delta Programmatic Environmental Impact Report Coordinated Proceedings</i>, 43 Cal.4th 1143 [2008]). The project objectives must not be so narrowly defined so as to prevent the development of a reasonable range of alternatives to evaluate in the EIR. Section 15126.6 of the State CEQA Guidelines requires an EIR to evaluate a reasonable range of alternatives that would feasibly attain</p>

Comment No.	Response
	<p><u>most</u> of the basic objectives of the project. Parceling out Project Objective #1 into several narrow statements of objective would not accurately reflect the proposed project, which includes construction of a single family dwelling. In addition, CEQA only requires an alternative to meet most of the basic objectives of a project; therefore, an alternative's failure to meet one of these narrowly defined objectives would not justify elimination of the alternative as feasible and appropriate for evaluation.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.9	<p>See response to Comments P125.6 through P125.8, above. The wording of the objectives would not substantially alter the environmental analysis in the EIR. The potential for the project to result in adverse effects on the scenic quality and visual character of the project vicinity was evaluated in Section 4.1 of the EIR. It was determined that the project, as proposed, would result in a substantial alteration of visual character because of the overall increase in project noticeability caused by the new structure extending above the primary ridgeline in combination with its large size. The analysis also found the proposed project to be inconsistent with policies in the Del Monte Forest Area Land Use Plan and Monterey County Coastal Implementation Plan (CIP, Part 1 Title 20 Zoning Ordinance). Mitigation was identified to minimize potential impacts to coastal dune habitat. Mitigation was also identified to minimize the proposed residence's adverse impact on public views. With implementation of these measures, it was determined that potential impacts would be less than significant.</p> <p>The examples of homes presented with this comment illustrate development in the forested area of Pebble Beach as opposed to the immediate neighborhood of the proposed project. the Del Monte Forest LUP calls for the use of Design Control districts to protect views and the property is subject to a Design Control overlay, the purpose of which Title 20 identifies as "to provide a district for the regulation of the location, size, configuration, materials, and colors of structures and fences in those areas of the County of Monterey where the design review of structures is appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property." Title 20 requires that projects with a Design Control overlay be evaluated for consistency with neighborhood character, as opposed to that of the surrounding community. Additionally, a project objective that refers to a size compatible with the surrounding Pebble Beach community may not take into account the constraints particular to the project area. The proposed project is in endangered coastal dune habitat, which requires very high protection.</p> <p>CEQA requires an evaluation of the effects of a project in comparison to the existing environmental baseline (the appearance of the structure at the time of issuance of the NOP). CEQA thresholds also require an evaluation of the proposed project's effect on the visual character or quality of the site and its surroundings; therefore, the character of the surrounding community is relevant to the CEQA evaluation. The fact that there are much larger residences within Pebble Beach is not disputed; the examples provided in this comment will be included in the Final EIR and provided to local decision makers for their consideration. However, construction of a residence of a very specific size is too narrow as a project objective. As stated above, the project objectives must not be so narrowly defined so as to prevent the development of a reasonable range of alternatives to evaluate in the EIR. To dismiss an alternative that would result in a smaller residence as inconsistent with the objective of constructing a residence of the size reflected in the photos included in this comment would not constitute the evaluation of a reasonable range of alternatives that meet most of the project objectives, as required by CEQA.</p> <p>The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

Comment No.	Response
P125.10	<p>The comment recommends that the Project Objectives include language regarding modern building codes. Modern building codes would need to be adhered to by matter of state law and are not a project objective but rather a requirement. No changes to the EIR are necessary; however, the comments about current building codes will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration. It is also important to note that historic resources are subject to the California State Historical Building Code (CHBC). The CHBC provides alternative building regulations for permitting repairs, alterations, and additions necessary for the preservation, rehabilitation, relocation, related construction, change of use, or continued use of a qualified historical building or structure.</p>
P125.11	<p>This comment asserts a “material inaccuracy” relating to the Preservation Alternative meeting project objectives for the restoration of areas to their natural condition. The applicant states that “restoration of areas to their natural condition” would only apply under the proposed project and not under the preservation alternative, as it was a generous offer made as a condition of the proposed project approval. Section 4.2.5.2 of the EIR identifies the beneficial impact proposed dune restoration activities, consistent with this comment, and the EIR ultimately determined the net impact on biological resources would be less than significant with mitigation, in part, because of the restoration activities proposed.</p> <p>Restoration activities are a requirement of the County’s Resource Management Element of the Del Monte Forest Land Use Plan (Policy 13, Policy 17) and the Monterey County Coastal Implementation Plan (Section 20.147.040(C) and (D), Environmentally Sensitive Habitat Areas). Permanent protection of restored habitat areas is required any time development is proposed within or near areas containing ESHA. Reconstruction is proposed as part of the Preservation Alternative. Pursuant to Title 20, Section 20.06.310(7) reconstruction is development. Therefore, dune habitat restoration and permanent protection through a deed restriction or permanent open space conservation and scenic easement would be required for any project alternative that includes development at this location consistent with Del Monte Forest Land Use Plan Environmentally Sensitive Habitat Area Policies 13 and 17.</p>
P125.12	<p>The comment prefaces that comments P125.13 through P125.15 relate to the purchase of the house by the project applicant in 2004 and should be provided in the EIR to inform the public. The background of the applicant’s purchase of the residence is not relevant to the CEQA analysis of the proposed project’s potential effects on the existing environmental baseline. Therefore, no changes to the EIR have been made. However, these comments will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration.</p>
P125.13	<p>Please refer to MR-2 regarding Historical Resources. The issue of whether the buyer was aware of Neutra’s association with the Connell House prior to purchase is not a CEQA issue and is outside the purview of this environmental document. The house has been determined eligible for listing by the formal Determination of Eligibility by the Keeper of the National Register of Historic Places, and as a result of the NRHP eligibility determination, was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1). The 50-year threshold is a guideline; resources younger than 50 years cannot be found eligible for listing on the National Register of Historic Places or the California Register of Historical Resources. The 50-year threshold originally comes from 36 Code of Federal Regulations 60.4, which requires a resource less than 50 years old to be “exceptionally important” to be considered eligible for listing. On the other hand, the California Register criteria (CCR § 4852) states that, for a resource to achieve significance within the past 50 years, sufficient time must have passed to obtain a scholarly perspective on the events or individuals. The body of scholarly research on Neutra was sufficient in 2004 (when the current owner acquired the property) to warrant an architectural evaluation despite the fact that the residence was only 46 years old at that time.</p> <p>Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The sellers’ reasons for selling the residence are not CEQA issues and are outside of the purview of this document. Therefore, no changes to the EIR are necessary.</p>

Comment No.	Response
P125.14	<p>See response to Comment P125.13, above. Please refer to MR-2 regarding Historical Resources for comments related to the historical registration process and eligibility criteria. The statement from Bill Bernstein is noted and will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration. However, resources found to be eligible for listing in the NRHP are automatically eligible for listing in the CRHR and are considered “historical resources” for the purposes of CEQA; therefore, analysis of the Connell House as a historical resource in the EIR is required by CEQA. The Connell Residence was not determined eligible simply because it was designed by Richard Neutra but was determined eligible within the context of the development of Modern Architecture in Pebble Beach. The lack of mention of the Connell House in Barbara Lamprecht’s book about Neutra does not change the status of the house as a historical resource as defined by CEQA. The evaluation of the house as a potential historical resource is a requirement of CEQA. No discretionary approval by the County can be made on the applicant’s permit application for construction of the new house without such an evaluation of the proposed project’s potential effect on historical resources.</p> <p>The applicant’s awareness of the residence’s potential historical significance at the time of purchase, and the intent of the neighbors or any other participants in the process, are not CEQA issues and are outside the purview of this document. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.15	See response to Comments P125.13 and P125.14, above. This comment will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration.
P125.16	The comment prefaces that comments P125.17 through P125.21 relate to fatal flaws in the original design and construction of the house and should be provided in the EIR. Please refer to MR-4 regarding Baseline Conditions. These comments will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration.
P125.17	Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The quote from Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR. The comment does not require further changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.18	Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The quote from Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR, consistent with this and other comments received on the DEIR. This comment provide background information on Neutra-designed houses, questions the integrity of the existing structure, and supplies a quotation from a book referenced in the EIR. The structural evaluation conducted for the project is described in Section 5.6.1.3 of the EIR, consistent with this comment. The structural engineering report is referenced in the EIR. Please refer to response to Comment P125.16, above, and MR-2 regarding Historical Resources.
P125.19	See response to Comments P125.17 and P125.18, above. The quote from Arthur Connell regarding the suitability of the house to the Cypress Point climate has been added to Section 4.3.1.2 of the EIR, as stated above in response to Comment P125.18. The Connell quote does not change the environmental analysis and the comments do not require further changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P125.20	This comment accurately quotes the structural evaluation conducted for the project but does not relate to a specific environmental issue or analysis relevant to either the EIR or CEQA compliance. The statement that “for the purpose of this evaluation we assumed that the building had been restored to its original condition, with the 1993 addition, but without any of the damage or deterioration reported above, or any structural upgrades or enhancements” is meant to clarify that,

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	for purposes of the preliminary seismic evaluation conducted for the project, the evaluation focused on the structural deficiencies of the building <i>not including</i> temporary support structures, bracing, and vandalism that included cutting load bearing posts. Even if damaged supporting materials are replaced and bracing removed, the evaluation determined the structure would still have several identified deficiencies. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration. The report has also been added to Appendix F of the EIR.
P125.21	The comment does not relate to a specific environmental issue or analysis relevant to either the EIR or CEQA compliance. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.22	The comment discusses structural integrity and deterioration of the existing house. Please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.23	Please refer to MR-4 regarding Baseline Conditions for comments related to the deteriorated condition of the house. The existing baseline for CEQA purposes is the time of issuance of the NOP; therefore, the addition of more recent pictures of the house in the EIR does not change the baseline. However, the photos show the condition of the property at the time the photos were taken (subsequent to the timeframe of the baseline.) The EIR reflects the deteriorated condition of the house in stating that, "The baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred, <u>but nevertheless retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource</u> " (emphasis added), and therefore, recognizes the value of the resource after restoration. Therefore, no changes to the environmental document are necessary. The comment will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration..
P125.24	See response to Comments P125.22 and P125.23, above.
P125.25	The comment prefaces that comments P125.6 through P125.30 refer to the historical registration process and should be provided in the EIR. Please refer to MR-2 regarding Historical Resources for comments related to historical significance and eligibility and the historical registration process. These comments will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration.
P125.26	Please refer to MR-2 regarding Historical Resources for comments related to the historic registration process. Consent of a property owner is not required for a resource to be determined eligible for listing in the National Register of Historic Places or California Register of Historical Resources, as occurred in this case Resources determined eligible for listing are considered "historical resources" for the purposes of CEQA. The funding of the historical registration process is not a CEQA issue and is outside the purview of this environmental document. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.27	Please refer to MR-2 regarding Historical Resources for comments regarding the historic registration process and the property owner's objection to designation. Section 18.25.060.A of the Monterey County Code allows the Monterey County Historic Resources Review Board to initiate the designation of historical resources but also states that "No property shall be designated pursuant to this Chapter without the consent of the property owner." The County did not designate the Connell House on the local registrar; rather, the Keeper of the National Register of Historic Places gave the house a Determination of Eligibility, and as a result was automatically listed in the CRHR, pursuant to California Code of Regulations (CCR), Title 14, Section 4851(a)(1). As such, the house is considered an "historical resource" for the purposes of CEQA; therefore, the Connell House was analyzed in the EIR as a historical resource. The comment does not require changes to the

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	environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.28	Please refer to MR-2 regarding Historical Resources for comments related to the historic registration process. The validity of the U.S. Department of the Interior National Park Service (NPS) determination that the Connell House was eligible for listing in the NRHP, and the resulting automatic listing in the CRHR (pursuant to California Code of Regulations Section 4851(a)(2)), are outside of the purview of this environmental document. Eligible resources are considered "historical resources" for the purposes of CEQA; therefore, the Connell House was analyzed in the EIR as a historical resource. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.29	Actions taken by the California State Office of Historic Preservation are outside the purview of this EIR. As described above, the Connell House was automatically listed in the CRHR pursuant to 14 California Code of Regulations section 4851(a)(2) as a result of the NPS eligibility determination. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.30	See response to Comments P125.26 through P125.29, above. The EIR does not assert that the structure cannot be demolished; local decision makers can select an alternative that would require demolition of the residence if they adopt a Statement of Overriding Considerations.
P125.31	The Connell Residence was not determined eligible simply because it was designed by Richard Neutra but was determined eligible within the context of the development of Modern Architecture in Pebble Beach. The lack of mention of the Connell House in Barbara Lamprecht's book about Neutra does not change the status of the house as a historical resource as defined by CEQA. The comment accurately states that historians have disagreed about the significance of the Connell House; however, the Connell House is listed on the CRHR and has been determined eligible for the NRHP. Its eligibility is supported by, among other things, information contained in the <i>Connell House National Register of Historic Places Registration Form</i> (Kirk and Lamprecht 2014) and its formal determination of eligibility for the NRHP (Roland-Nawi 2014a).
	Please refer to response to Comments P125.14, P125.17, P125.25, P125.26, MR-2 regarding Historical Resources, and MR-4 regarding Baseline Conditions.
P125.32	The comment accurately states that historians have disagreed about the significance of the Connell House and includes quotes from a 2011 report that disagrees with the historical significance of the structure. See response to Comment P125.31, above. The 2011 report preceded the determination that the house is eligible for listing in the National Register. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.33	The comment accurately states that historians have disagreed about the significance of the Connell House and includes quotes from a 2011 report that disagrees with the historical significance of the structure. See response to Comment P125.31, above. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.
P125.34	This comment references the quotes discussed in Comments P125.32 and P125.33, above, and requests that they be added to the Historical Resources section of the EIR. As discussed above, historical resources under CEQA are defined by inclusion in the CRHR, a local register, or eligibility for the same. The Connell House is listed on the CRHR and has been determined eligible for the NRHP. Its eligibility is supported by, among other things, information contained in the <i>Connell House National Register of Historic Places Registration Form</i> (Kirk and Lamprecht 2014) and its formal determination of eligibility for the NRHP (Roland-Nawi 2014a). A sentence stating that

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	<p>historians have disagreed over the historical significance of the Connell House has been added to Section 4.3.5.1 of the EIR. No further changes to the environmental document are necessary. However, the full text of the comments will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration. Also, see responses to Comments P125.31, P125.32, and P125.33, above, and MR-2 regarding Historical Resources.</p>
P125.35	<p>See response to Comment P125.23 and please refer to MR-4 regarding Baseline Conditions for comments related to the condition of the house. Section 4.3.4.1 of the EIR describes the extent of deterioration and vandalism that has been allowed to occur at the site since issuance of the NOP, including acts taken in response to the Mothball Plan. As further described in P125.41 below, the Mothball plan was required to secure the building from further deterioration. As explained in Section 4.3.4.1, "The County recognizes that additional changes and degradation to the property have occurred since the site's NRHP eligibility listing and the filing of the NOP. However, to ensure the level of environmental impact is not understated as a result of intentional neglect of the historical resources, the established baseline at the time of the NOP will be used to support the analysis of historical resources in the EIR regardless of how ongoing code enforcement actions and restoration recommendations related to the Connell House are ultimately resolved. The residence's existing state of disrepair has been considered in assessing the feasibility of identified mitigation measures, as any mitigation measures would ultimately be implemented in the context of existing conditions." Therefore, the existing condition of the house has been taken into consideration in regard to the feasibility of implementing identified mitigation measures and/or project alternatives. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.36	<p>The existing baseline for CEQA purposes is the time of issuance of the NOP. The referenced statement clarifies that the condition of the house had deteriorated between the time of its eligibility determination (June 2014) and the time of the environmental baseline (issuance of the NOP in February 2015). However, the EIR further clarified that the house, even in its then-current condition, would not change the historical significance or eligibility of the resource based on CEQA guidelines, the then-current condition of the residence, and because of its ability to be restored per Secretary of the Interior's Standards. The EIR states that, "The baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred, <u>but nevertheless retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource</u>" (emphasis added), and therefore, also recognizes the value of the resource after restoration. This statement is substantiated by the analysis in Section 5.6.1.3 of the EIR, which concluded that preservation of the Connell House, even in its current condition, could feasibly be completed consistent with the Secretary of the Interior's Standards, which would reduce potential impacts to the resource to less than significant under CEQA (refer to Section 15064.5(b)(3) of the State CEQA Guidelines). Refer also to response to Comment P123.1, MR-2 regarding Historical Resources, and MR-4 regarding Baseline Conditions.</p>
P125.37	<p>The eligibility determination of the Connell House in 2014 and validity of any documentation done in support of that determination is outside of the analytical scope of the EIR. The photographs contained in Section 4.3 of the EIR are not intended to reflect baseline conditions; rather, they are intended to describe/document the historical significance of the residence at the time of its determination of eligibility for listing in the NRHP. This is documented in the source and date cited for each photograph.</p> <p>The condition of the house at the time of issuance of the NOP would not affect the historical significance or eligibility of the resource for the reasons discussed in response to Comment P125.36 above. However, to clarify baseline conditions, additional photographs of the residence, taken during field visits conducted by SWCA at the project site on February 24, 2015, have been added to Section 4.3.4.1 of the EIR. Additional baseline photos have also been added to Appendix D of the EIR. No further changes to the environmental document are necessary. It is unclear when the photographs in the comment letter were taken; however, they do not reflect baseline conditions. The comments and the photographs included in the project applicant's comment letter (P125)</p>

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	documenting the post-baseline and current conditions of the residence will be included in Chapter 9 of the Final EIR, made part of the administrative record, and provided to local decision makers for their consideration.
P125.38	Photographs from around the time of the NOP publication date (taken during fieldwork conducted by SWCA on February 24, 2015) have been added to Section 4.3.4.1 of the EIR. Additional baseline photos have also been added to Appendix D of the EIR. Other photographs referenced in this comment are undated and/or reflect later conditions of the residence and are therefore not representative of the baseline condition. These photographs have not been added to Section 4.3 of the EIR but have been reproduced in total in Chapter 9 of the EIR, made part of the administrative record, and provided to local decision makers for their consideration.
P125.39	See responses to Comment P125.36 through P125.38, above. The deterioration that occurred between June 2014 (eligibility determination) and February 2015 (issuance of NOP) is reflected in the added Figures 4.3-10 through 4.3-13 and Appendix D. As discussed above, the February 2015 baseline condition of the structure retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource. Therefore, no revisions to the analysis in the EIR are necessary. The comments will be made part of the administrative record and provided to local decision makers for their consideration.
P125.40	This comment requests the addition of information in the EIR stating that the EIR consultant did not enter the residence or take pictures due to unsafe conditions. SWCA's architectural historian conducted a site visit on February 24, 2015, inspecting all exterior and portions of the interior of the house. Photographs documenting this work have been added to Section 4.3.4.1 and Appendix D of the EIR. Subsequent to this site visit, the house was vandalized, according to the applicant; load bearing posts were sawed through, and the house suffered significant structural damage. In later site visits conducted by SWCA, staff refused to enter the house due to unsafe conditions. These conditions do not reflect baseline conditions but are documented in part in the photographs included in this comment letter. No further changes to the EIR are necessary.
P125.41	<p>This comment requests a revision to language in Section 4.0 of the EIR to state that much of the house was ordered to be demolished by the County's mothball order and to remove information related to various code enforcement actions initiated by the County on the property. The mothball plan was required by the County as a result of Code Enforcement Case 13CE00338 for violations of Monterey County Code Title 18 sections which prohibit property owners to allow continued unsafe conditions of structures. The Stipulated Agreement, dated November 16, 2015, did not require demolition of the structure, but rather measures to secure the property from vandalism and prevent further deterioration. Specific actions included stucco repair to prevent moisture penetration, removal of mildew or mold laden soft materials, security measures including a chain link fence and plywood installation on windows and doors, sheathing to prevent moisture intrusion from broken windows or doors, roof repairs for waterproofing, pest control measures, installation of cross ventilation, and monthly reports on the condition of the weatherization. An addendum dated June 28, 2017 required security fencing to be installed along with a camera security system or an onsite caretaker to ensure that the property and residence is maintained in a safe and secure condition. Monterey County Code enforcement continues to conduct periodic checks for compliance with the required maintenance.</p> <p>The information contained in the EIR is accurate and appropriate to include to explain how baseline conditions of the residence have changed over time and how and why the environmental baseline was chosen. The post-baseline condition of the house after implementation of the mothball order is outside of the scope of the EIR, which requires a lead agency to evaluate the potential impacts of the project compared to the environmental baseline. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.42	The photographs referenced in this comment are undated and/or reflect post-baseline conditions of the residence and are therefore not representative of the baseline condition. These photographs

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P125.43	<p>have not been added to Section 4.3 of the EIR but have been reproduced in total in Chapter 9 of the Final EIR and will be made part of the administrative record and provided to local decision makers for their consideration.</p> <p>The comment prefaces that comments P125.43 through P125.48 refer to the feasibility of the preservation alternative and the extent of reconstruction it would require. The extent of repairs that would be required to restore the Connell House was evaluated by a structural engineer and is described in Section 5.6.1.3 of the EIR, which concluded that restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction. Please refer to MR-2 regarding Historical Resources, including the Secretary of the Interior's Standards for reconstruction of a historic property. The Secretary of the Interior's Rehabilitation Standard 6 provides for replacement of missing features that match the old in design, color, texture, and where possible, materials when the severity of deterioration requires replacement rather than repair. Therefore, replacement of features can be conducted consistent with the Secretary of the Interior's Standards. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource. Therefore, the EIR concluded that efforts at reconstruction would mitigate the impact.</p> <p>Further, Section 5.4 of the EIR explains: "As part of the Secretary of the Interior's Standards, the National Park Service delineates four treatment approaches for historic properties: preservation, rehabilitation, reconstruction, and restoration. These four treatment approaches are briefly defined below:</p> <ul style="list-style-type: none"> • <u>Preservation</u>: Preservation focuses on the maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time. • <u>Rehabilitation</u>: Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character. • <u>Restoration</u>: Restoration depicts a property at a particular period of time in its history, while removing evidence of other periods. • <u>Reconstruction</u>: Reconstruction re-creates vanished or non-surviving portions of a property for interpretive purposes. <p>Choosing the appropriate treatment approach depends on a number of factors, such as the level of and reasons for a property's historic significance, physical condition, and proposed use. While a single approach is generally selected for projects involving historic properties, some projects benefit from the inclusion of two or more approaches, depending on the situation and condition of the property. For example, a property that retains most of its original features and materials, but is missing some character-defining materials and features, might require a rehabilitation treatment approach, with limited, focused reconstruction." In this case, restoration, which combines aspects of both rehabilitation and reconstruction, is likely the most appropriate treatment standard; however, any of the four treatment standards, or a combination thereof would result in less than significant impacts to historic resources. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource. Thus, while demolition would result in the complete loss of the historic resource, reconstruction would reduce the impact to less than significant.</p> <p>The EIR acknowledges that the Preservation Alternative would include reconstruction. A clarifying statement was added to section 5.4, Preliminary Alternatives:</p> <p>"Where significant reconstruction would be required to achieve preservation, the general term is understood to include some reconstruction."</p>

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P125.44	<p>The structural evaluation prepared for the project determined that the following existing features of the original building could be incorporated into a reconstruction:</p> <ul style="list-style-type: none"> • Most portions of the foundation system • The lower level floor slab • Most of the exterior stucco walls at the lower level and some at the upper levels • Structural roof framing • Original window frames that remain in place • Masonry fireplace; and • First floor framing in the north wing. <p>The comment identifies a variety of components that would need to be repaired to meet code requirements and moisture penetration requirements. The comment asserts that the extent of repairs/replacements would be equal to demolition, since other mechanical, electrical, plumbing, sheetrock, millwork/cabinetry, interior finishes, windows, etc. have been removed in response to the County's mothball order. See P125.41 regarding the mothball order's requirements to prevent further damage. Preservation of the structure would be conducted in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties and the California State Historical Building Code (CHBC), which provides alternative building regulations for permitting repairs, alterations, and additions necessary for the preservation, rehabilitation, relocation, related construction, change of use, or continued use of a qualified historical building or structure.</p> <p>The statement referenced in Table 5-1, Alternative 8, Preliminary Screening Analysis of the EIR has been clarified to state that "<u>many</u> of the materials and elements of the existing structure were degraded to an extent that would prevent the ability to integrate them into a reconstructed structure." This is consistent with the analysis in the EIR and the structural report prepared for the project. It is agreed that once a historic resource is demolished, its historical significance is gone. However, the Preservation alternative would not demolish the structure; rather, the EIR and structural evaluation determined that the structure can be restored in accordance the Secretary of the Interior's Standards, see MR2. Treatment for historic properties can combine elements from all four treatment standards. Restoration, which combines elements of rehabilitation and reconstruction is likely the most appropriate treatment standard. Restoration in accordance with the Secretary of the Interior's standards would retain some elements of the structure as noted above, and would replace missing features that match the old in design, color, texture, and where possible, materials. The EIR states that "Neutra's original building plans for the Connell House are extant and would provide the documentary evidence necessary for undertaking historically appropriate repairs and replacement of damaged or missing architectural elements, such as the upper-level floor system, cantilevered deck, and partition walls. Neutra's selection of building materials for the construction of the Connell House – wood, glass, and stucco, for example – are still common building materials readily available." Additionally, as discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association.</p> <p>Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource. Thus, while demolition would result in the complete loss of the historic resource, reconstruction would reduce the impact to less than significant. No further changes to the environmental document are necessary. The comment will be included in Chapter 9 of the Final EIR and provided to local decision makers for their consideration.</p>
P125.45	<p>See MR-2. The Preservation alternative does not propose construction of a replica; however, the EIR notes that reconstruction would be similar to that of original construction. This was stated in the structural evaluation, which lists the specific elements of the structure that can be retained and the elements that must be replaced and refers to the amount of construction work involved to implement the alternative. Section 5.4 of the EIR analysis states that the term "preservation" is</p>

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	<p>intended to refer generally to the retention and repair/reconstruction of the property such that it ultimately retains its historic integrity. The EIR also concluded that the Preservation Alternative would correct existing damage to the Connell House by preserving, repairing, and replacing portions of the existing residence per Secretary of the Interior’s Standards for the Treatment of Historic Properties, and the existing features and components that could be maintained in a reconstructed residence are identified in Section 5.6.1.3. The comment suggests that Preservation that would retain historic integrity is not feasible. As discussed in Section 5.6.1.3 of the EIR, by remaining on its original building site, the Connell House would retain such aspects of integrity as location, setting, feeling, and association. Per section 15064.5 of the State CEQA Guidelines, a project that follows the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, shall be considered as mitigated to a less than significant impact on the historical resource. Please also refer to MR-1 regarding Project Preferences, MR-2 regarding Historical Resources, and MR-3 regarding Property Rights.</p>
P125.46	<p>Please refer to MR-3 regarding Property Rights.</p>
P125.47	<p>Please refer to MR-3 regarding Property Rights. Because it is subject to CEQA, the County is required to evaluate whether the proposed project would result in significant impacts to environmental resources and to identify feasible alternatives and mitigation measures that would avoid or minimize those impacts. The EIR determined that the proposed project as designed would result in significant adverse environmental effects to historical resources, visual resources, and biological resources (ESHA), among others. Therefore, the County is required to evaluate changes to the project and/or its design that would avoid or reduce these impacts. The evaluation of these alternatives and identification of the Environmentally Preferred Alternative does not mean the County cannot choose to approve the proposed project as originally designed. However, because the proposed project would result in unmitigable adverse impacts to historical resources, the decision makers would have to adopt a Statement of Overriding Considerations finding that the benefits of the project outweigh its unavoidable adverse environmental effects. (CEQA Guidelines section 15093.)</p> <p>The expression that most people in the neighborhood would prefer the new house is not a CEQA issue and does not require changes in the environmental document. However, these comments will be included in Chapter 9 of the Final EIR, made part of the administrative record, and provided to local decision makers for their consideration.</p>
P125.48	<p>The EIR recognized the beneficial effect of proposed dune restoration activities in Section 4.2.5.5 of the EIR, stating, “Restoration and permanent protection of ESHA as proposed by the project would provide a substantial benefit in meeting the County’s goal of protecting contiguous areas of ESHA in the area of Signal Hill.”</p> <p>Impacts to visual resources were evaluated in EIR Section 4.1, Aesthetic Resources, which determined the project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive. The results of the analysis did not conclude that the proposed project blends in well with the dunes or the forest ridgeline. The EIR determined that the proposed project would be potentially inconsistent with policies in the County’s LCP for the protection of visual resources. Mitigation measures were identified to reduce potential impacts to scenic resources to less than significant, including the reduction in total height of the structure so it would not silhouette above the ridgeline. The required reduction in building height identified in Mitigation Measure AES/mm-1.1. The applicant submitted revised plans dated February 20, 2018, showing a reduced height from average natural grade, from 30 feet to 25 feet. Although this is less of a reduction in height than the maximum 20 feet required by Mitigation Measure 1.1, the County evaluated the proposed design, including visual simulations prepared by the environmental consultant, and determined that the proposed design, with the implementation of mitigation measures, would result in less than significant visual impacts. This design is evaluated in detail in Alternative 9 Reduced Height.</p>

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P125.49	No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P125.50	<p>This comment prefaces that comments P125.50 through P125.56 relate to visual impacts and asserts that the EIR contains inaccuracies related to ridgeline development. Section 4.1.4 of the EIR describes the methodology used to prepare the photo-simulations used in the visual analysis. Based on multiple field visits conducted over several weeks during preparation of the EIR, representative viewpoints were determined for further analysis, based on dominance of the site within the view, duration of views, and expected sensitivity of the viewer group. Of those representative viewpoints, Key Viewing Areas (KVAs) were selected which would best illustrate the visual changes proposed by the project. The comment includes photos taken from different locations near the project site and do not represent comparable viewpoints. The referenced staking was not in place during preparation of the EIR and was not reviewed for accuracy. However, assuming the stakes were accurately placed, these photos do not establish that there are inaccuracies in the photo-simulations included in the EIR. The views of the house and the extent to which it extends above the ridgeline (if at all from a certain location) varies significantly as views move along 17 Mile Drive. The ridgeline and backdrop to the residence also changes significantly as views move along 17 Mile Drive. This is reflected in the substantial change in simulated views from KVA-2, KVA-3, and KVA-4, which are all located within 0.25 mile of each other.</p> <p>The analysis reflects that the proposed residence would extend well above the ridgeline from KVA-3 but extend just a small amount above the ridgeline from KVA-4, which is less than 200 feet away. Image 5 appears to have been taken over 300 feet west of KVA-3 and Image 6 appears to have been taken approximately 250 feet west of KVA-3.</p> <p>The EIR reflects that the proposed residence would not extend above the ridgeline from several vantage points along 17 Mile Drive (refer to KVA-1 and KVA-2), consistent with the views and viewing locations reflected in this comment. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.51	<p>Refer to response to Comment P125.50. Figures 4.3-1 and 4.1-16 in the EIR are not taken from the same viewing location. It appears that Figure 4.3-1 was taken from a location further away and then “zoomed” in closer to the residence. This would explain the degraded quality of the photograph as well as the feel that the viewer is “floating” above the ground. This photo was not taken by SWCA and, therefore, the extent to which it may have been altered; however, the accuracy of Figure 4.1-15 and 4.1-16 have been confirmed by the EIR preparers. The difference in viewing location is made apparent in the location of the large boulder in front of the residence, which in Figure 4.3-1 extends just to the bottom of the glass windows on the lower level, while extending almost to the roofline and blocking the majority of the residence from the vantage point reflected in Figure 4.1-15 and 4.1-16. The physical netting and story poles that were installed (but not verified by SWCA) only show a different story from different viewing locations.</p> <p>KVA-3 and the photograph in Figure 4.1-15 (which was used to develop the simulation in Figure 4.1-16) was taken from the road shoulder pull-out area adjacent to 17 Mile Drive directly below the residence, well within the public right-of-way. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.52	<p>KVA-1 is from the road shoulder area of 17 Mile Drive as it crosses the Cypress Point Golf Course near that location. Refer also to the response to Comment P125.51, above. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>

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P125.53	<p>The comment correctly states that the proposed project would only extend a small amount above the ridgeline from KVA-4, the eastern end of Fanshell Beach. However, it would extend substantially above the ridgeline from views along a portion of 17 Mile Drive (refer to KVA-3). This is reflected in Figure 4.1-18 of the EIR and also discussed in Section 4.1.5.2 of the EIR, which states, “The project as proposed would silhouette approximately 10 feet above the ridgeline, as seen from an approximately 300-foot section of 17-Mile Drive (refer to Figure 4.1-16) and from the eastern end of Fanshell Beach (refer to Figure 4.1-18). Although the section along 17-Mile Drive from where the project silhouettes would be relatively short, viewer sensitivity is considered very high in this area, and viewing durations could be extended due to the recreational sight-seeing nature of the viewer-group and the number of pedestrians and bicyclists.” Extension above the ridgeline, as reflected in Figures 4.1-11 through 4.1-20 and discussed in Section 4.1.5.2 of the EIR, would also be inconsistent with policies for the protection of visual resources in the County LCP, thus requiring mitigation to avoid significant impacts. Therefore, no changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.54	<p>KVA-4 is from the east side of Fanshell Beach and Figure 4.1-18 shows that the proposed project would extend a small amount above the ridgeline from this location. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.55	<p>Section 4.1.5.1 of the EIR states that, “Signal Hill Road would provide the closest viewing proximity to the project (refer to Figure 4.1 1). Being a cul-de-sac, however, relatively few potential viewers are expected to experience the project from this public road.” However, the importance of that view may be over-emphasized by its listing in Table 4.1-1 of Aesthetic Resources, so it is struck from the first sentence of two Preliminary Consistency Determination statements:</p> <p>“The project has the potential to adversely affect the scenic quality and visual character of 17-Mile Drive in the vicinity of the project, including extending above the ridgeline, blocking views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site.”</p>
P125.56	<p>Refer to responses to Comments P125.50 through P125.55, above.</p>
P125.57	<p>The comment asserts that the project is less than the maximum allowable floor area and minimum lot coverage area for this parcel. The proposed project’s consistency with applicable plans and policies is discussed throughout Chapter 4 of the EIR and was found to be consistent with most policies, or potentially consistent with the implementation of mitigation measures.</p> <p>Therefore, no changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.58	<p>The EIR describes existing residences visible along 17 Mile Drive between the Cypress Point Golf Course and Point Joe as representing a variety of architectural styles and sizes. As described in Section 4.1.5.3, “these residences are both single- and multi-story structures, ranging in size from less than 2,500 to over 7,000 square feet, based on a review of online housing data (PropertyShark 2015; Redfin 2015).” Regardless, it is likely that other residences within the Pebble Beach community are of an equal size to the proposed residence. Whether the house is of an adequate size to meet the needs of a family of the size described in this comment is outside of the scope of the environmental document.</p> <p>The EIR recognizes that a portion of the house is proposed in a 5,229-square-foot ground floor/basement that would include four bedrooms, four bathrooms, four closets, a playroom, a wine cellar, storage, laundry and linen space, two bedroom terraces and one lower level terrace, crawl space, and hallways and stairs. Therefore, no changes in the environmental document are</p>

Comment No.	Response
	<p>necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.59	<p>The EIR describes the proposed 10,008 square foot footprint in Section 2.3.1.2, including the building structure (8,058 square feet), stone pavers installed in the entry court (986 square feet), stone pavers installed in the outdoor uncovered terraces (106 square feet), and concrete driveway (858 square feet). The EIR also describes the approximately 7,113 square foot existing building footprint in Section 2.3.1.1 of the EIR, as well as the 2.2-acre lot size in Section 2.1.1.</p> <p>Therefore, no changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.60	<p>This comment details the vision and design motif of the proposed project. The comment states that the proposed house is not three stories. The project information provided by the applicant identifies a ground floor/basement, a first floor, and a second floor, all of which are set forth in the Project Description (Chapter 2 of the EIR). To more clearly convey the composition of the proposed project when viewed from the road, responsive edits have been made in Section 2.3.2.1, New Residence, as follows:</p> <p>“The massing of the house is composed to mask the lowest floor by avoiding vertical stacking. Figures 2-9 and 2-10, Project Elevations illustrate the impression of a two-story structure.” No further changes to the environmental document are needed.</p>
P125.61	<p>This comment expresses an appreciation for the design, aesthetics, and quality of construction materials of the proposed project. The comments related to architectural expression do not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. This comment also states that the proposed residence will meet current building codes. Monterey County will expect current building codes to be met by new construction, or a preserved/reconstructed historic resource to meet the requirements of the California State Historical Building Code (CHBC). The design of the house and an analysis of its potential effect on the visual character and quality of the project site and its surroundings is provided in Section 4.1.5.3 of the EIR, which determined that, “In terms of exterior materials and colors, the proposed stone facades, stucco colors, and trim would be an appropriate complement to the natural setting. The proposed dune revegetation would also create a more natural fore- and mid-ground visual setting for the project. However, the section continues, “the new structure would be substantially more noticeable than the existing residence, and visibility of these built characteristics would be amplified by the project’s location on a prominent hillside as seen directly ahead of viewers on northbound 17 Mile Drive and from Fanshell Beach.” Mitigation measures were identified to reduce any potentially significant impacts.</p> <p>No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.62	<p>This comment details the vision and design motif of the proposed project. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P125.63	<p>This comment refers to the name of the existing structure and requests all references to “Connell House” be changed to the “Mehdipour House” or “Signal Hill House”. In January 2014 architectural historians Anthony Kirk and Barbara Lamprecht submitted a registration form to the United States Department of the Interior, National Park Service, nominating the property as eligible for listing in the National Register of Historic Places. The “Connell Arthur and Kathleen House” was determined eligible for the National Register on June 13, 2014. Although there are no specific guidelines, it is conventional in assigning historic designations to name a historic residence after the owner(s) who commissioned the house; a prominent owner associated with the residence’s period of significance; the historic or most familiar name of the residence (for example, the name used most frequently in local communities, local histories, or architectural journals); or the architect’s name. As a result of the National Register eligibility determination, the property under this name was automatically listed</p>

Comment No.	Response
	in the California Register of Historical Resources under Title 14, section 4851(a)(2) of the California Code of Regulations. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P125.64	This comment requests a clarification of the square footage of the Neutra house design. Section 1 of the Executive Summary has been clarified to reflect that the 4,125-square-foot existing residence includes the original 3,299-square-foot residence designed by Richard Neutra and a later studio addition added in 1993. No further changes to the environmental document are needed.
P125.65	This comment requests that the non-native ice plant that is growing on the property be highlighted in the Project Description. Section 2.3.2 of the Project Description clarifies that “the primary targeted, non-native exotic species within the restoration area are ice plant and European beach grass.” Section 4.2.1.2 of the EIR further describes the project site setting and describes the central dune scrub habitat on the parcel as being invaded by ice plant. No changes to the environmental document are necessary.
P125.66	This comment requests that a sentence in the Environmental Baseline section of the EIR be corrected. Chapter 4 of the EIR has been revised by removing an erroneous statement that unpermitted tree removals occurred after the environmental baseline. The unpermitted tree removals occurred prior to the February 17, 2015 NOP. Additionally, the referenced code violation case was clarified in Chapter 2, section 2.3.2 <i>Native Dune Habitat Restoration</i> , to accurately reference the matter. No further changes in the environmental document are necessary.
P125.67	<p>The comment correctly indicates that in many situations, reconstruction or rehabilitation of an existing structure can take longer and be more difficult than building something from scratch. The comment also labels preservation of the Connell House “the construction of a replica.” As described in Section 5.6.1.3 of the EIR and the structural report prepared for the project, restoration of the structure would “entail an effort comparable to the structure’s original construction”. Therefore, the time of construction is expected to also be comparable to original construction. When comparing the likely construction timeframes for a “mostly” original 4,125-square-foot residence to that of a 11,933-square-foot residence, it can logically be concluded that construction of the much smaller residence would take less effort. Although the incorporation of existing elements that can be retained and used in a reconstructed residence would likely extend the construction timeframe for the Preservation alternative, there is no evidence to support the statement that the “construction of a replica will take much longer in comparison to the construction of the proposed project”. The Preservation alternative does not entail construction of a replica (refer to response to Comments P125.44, P125.45, and MR-2).</p> <p>Section 5.6.1.4 of the EIR has been revised to clarify this information. No further changes are necessary.</p>
P125.68	This comment requests an edit to Section 4.1.5.3. This section has been revised to reflect that the proposed residence would be almost three times larger than the existing 4,125-square-foot residence. No further changes to the environmental document are necessary.
P125.69	This comment requests an edit to Section 4.3.1.2. The section has been revised to clarify that the original 3,299-square-foot residence was later increased to 4,125 square feet through an addition. No further changes to the environmental document are needed.
P125.70	This comment requests edits to Section 4.3.4 pertaining to how site visits by the consultant were conducted. Site visits conducted by SWCA on February 24 and April 20, 2015 included inspections of all exterior and portions of the interior of the residence. This is stated in Section 4.3.4 of the EIR. Photographs documenting the February 24, 2015 site visit have been added to Section 4.3.4.1 and Appendix D of the EIR, as these photographs depict baseline conditions (including interior conditions). The April 20, 2015 site visit also included inspections of portions of the interior of the residence, as is documented in photographs on file at SWCA, including bedroom, bathroom, living

**Comment
No.**

Response

area, and kitchen photographs. Vandalism of the residence had occurred between the February and April site visits, and further vandalism occurred later in the year, which made the residence unsafe to enter at later field visits. A representative comparison of photographs from each site visit is included below. Refer also to responses to P125.36 through P125.42. Minor clarifications to this section have been made in response to this comment. No further changes to the environmental document are necessary.



Photo taken February 24, 2015. Source: SWCA.



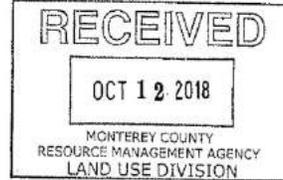
Photo taken April 20, 2015. Source: SWCA.

COMMENT LETTER #P126

Joel Panzer
701 Pajaro Street
Salinas, CA 93901

October 12, 2018

Cheryl Ku, Senior Planner
Monterey County RMA-Planning
1441 Schilling Place
Salinas, CA 93901



RE: Signal Hill LLC CDP EIR Comment Letter (PLN100338)

Dear Ms. Ku:

Thank you for the opportunity to comment on the Draft EIR for the above-referenced project. I would like to offer comments on both the Draft EIR and the county review process.

DEIR Comments

1. Aesthetics. Signal Hill Road is a dead end road and not a state designated scenic highway. With few homes there, identifying impacts relating to "blocking public views" from this location and protecting public views of the Pacific Ocean are simply not valid. The public view the ocean from 17 Mile Drive and there are more than ample opportunities for uninterrupted views in the immediate area (Pirates Path and Silver Trail) for the public to enjoy. Finally, I believe the majority of the public will be looking out at the ocean from 17 Mile Drive and not focusing their attention looking to the east side of 17 Mile Drive in this area. I don't believe Policies 47, 48 and 52 are accurately applied, except under the extreme interpretations offered by the EIR consultants.
2. Key Viewing Areas. Figure 4.1-10 illustrates Key Viewing Areas. I am curious as to why KVA #1 (Figure 4.1-11), which appears to be from a private golf course, affects public views? KVA #2 (Figure 4.1.14) appears to be from a Kayakers vantage point and KVA#3 (Figure 4.1.16) suggests that someone at this remarkable location would gaze look to the east rather than out at the beach, waves and ocean in this location. It would seem to me that reflective treatments/coatings for glass, landscape treatments and erection of a color board for thoughtful materials implementation would serve to integrate the residence into the site. In looking at the DEIR photos of the neighborhood, a number of structures would have been prevented from being built by the EIR consultants

P126.1

P126.2

P126.3

PLN100338

- using their analysis, yet the neighborhood as it currently exists is visually interesting.
3. Dune versus Ridge. Page 4.3-5 describes: "...(*t*) house sits high up on a sloping coastal dune...", yet elsewhere the EIR authors describe ridgeline development (development on the crest of a hill per the definitions in Title 20.06.950). The analysis (here and elsewhere in the DEIR – e.g. "Alternatives Analysis") should clarify the difference between dune and ridge assessment.
4. Legorreta Design Analysis. In reading DEIR Pages 4.3-5 through 4.3-12, I wonder if the DEIR misses the opportunity to present a fair and balanced comparison of the Neutra design intent vs. the Legorreta design intent. A "side by side assessment would only be fair to providing a non-biased assessment of the proposed project.
5. Alternatives Analysis. DEIR Page 5-2 (item 5) includes this statement: "...when the governmental agency finds the changes to be feasible...". An estimate of the costs of carrying out proposed alternatives, ten in all, would have a direct bearing on whether or not they are feasible. After all, someone has to pay for the proposed alternatives and if the costs associated with some alternatives cannot be funded or are unreasonable, then an alternative is rendered infeasible. Section 5.4 on Page 5-7 also discusses feasibility of alternatives.
- Two examples of what I am referring to come to mind:
- Spreckles Sugar Mill. This building was proposed for demolition which met resistance from the historic preservation community. As I recall it, there was some agreement with preservationist that if they could raise funds within time certain (two years?) then they would take on the necessary activities to preserve the building. Funds were not raised and the County allowed the building to be demolished.
- Old Monterey County Jail. For a long period of time, Monterey County leadership has proposed to demolish this County-owned building. The Old Jail is listed in the National Register of Historic Places due to its association with Cesar Chavez and the farm labor movement. While alternatives continue to be evaluated, I understand there was a meeting this week and some discussion involved demolishing the jail to increase parking for the Government Center. The County has expressed long-standing concerns about the costs of preservation and do not want to spend the money for adaptive re-use/preservation.
6. Section 5.2.2. If Richard Neutra work is held in such high esteem, one must wonder why his houses are being torn down (*HR Impact 2*)? Perhaps there is a relatively small fan base, whereas other areas of the Country/State have simply lost interest in Mr. Neutra over time. It is also possible that the costs of preservation of his buildings, given their age, outweigh building retention.
7. Historic American Building Survey. The Draft EIR should discuss allowing the applicant's preferred project to proceed with preparation of a Historic American

P126.3
(cont'd)

P126.4

P126.5

P126.6

P126.7

P126.8

P126.9

P126.10

Building Survey (HABS) documentation prior to demolition. HABS are recognized as acceptable mitigation (see Exhibit A).

P126.10
(cont'd)

County Historic Review Process

I wanted to take this opportunity to raise basic concerns regarding the general inconsistencies in the way the County manages project applications involving historic resources. There is a stark and uneven timelines with the hope that the County will improve its timeliness in processing development applications.

P126.11

Richard Neutra Design

It has taken eight years to actually have an EIR out for review, which comes three and a half years after the Notice of Preparation was circulated in February 2015. This is an excessive timeline by any means for processing a single family development and is really unfair to any applicant/owner. Individuals loyal to Mr. Neutra's design legacy have successfully advocated for a thorough review, which is appropriate under CEQA.

P126.12

Harry Bent Simms

Similar to Mr. Neutra, noted architect/landscape architect Harry Bent Simms had a single northern California residential design in Pebble Beach. Harry Bent Simms was nationally known for architectural design work and landscape design in Hawaii and California in Pasadena and Los Angeles County (e.g. La Brea Tar Pits Observation pit, LA County Arboretum & Botanic Garden). Yet, the County process to demolish this 8,421 square foot historic structure took less than a year and a half from application submittal to approval (March 2016 to August 2017). The demolition permit was issued in January 2018. The two paragraph CEQA analysis is laughable (Exhibit B).

P126.13

The juxtaposition of removal of works by two noted architects in Pebble Beach by two completely different processes and timeframes is astounding, to say the least. It points to the unfairness of a system that gets one owner there preferred design while depriving another owner of the ability to do the same.

P126.14

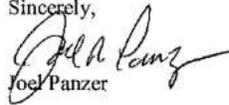
Summary and Conclusion

Given the eyesore that is now the subject of this 510 page environmental document, I would support removal of residence and its replacement with the the proposed residence as designed by internationally renowned architectural firm of Richard and Victor Legorreta. In this case, the site will be reimagined, and I see nothing wrong with that. The current structure should be documented by a HABS, as discussed in Exhibit A.

P126.15

Thank you for the opportunity to offer my views on this project.

Sincerely,



Joel Panzer

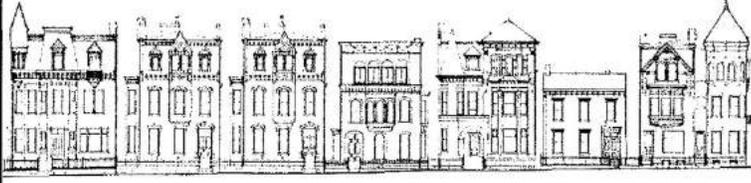
JP/Attachments: Exhibit A – Department of the Interior Memorandum
 Exhibit B – CEQA MND re: Harry Bent Simms House

10/12/2018

Mitigation | HABS/HAER/HALS

Exhibit A

Heritage Documentation Programs
HABS/HAER/HALS



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Mitigation

Under the provisions of Sections 106 and 110b of the amended National Historic Preservation Act of 1966, federal agencies must produce documentation to Heritage Documentation Programs (HDP) standards for buildings that are listed, or are eligible for listing, in the National Register of Historic Places, to mitigate the adverse effects of federal actions such as demolition or substantial alteration.

In September 2018, the National Park Service's Associate Director for Cultural Resources, Partnerships, and Science signed a memorandum about HABS/HAER/HALS mitigation documentation. This memorandum clarifies that documentation of sites at *all* levels of significance are welcome in the HABS/HAER/HALS collection.

Summary: The NPS, through the Heritage Documentation Programs (HABS/HAER/HALS), will accept all documentation of National Register and National Register-eligible properties of national, state, regional or local significance that meet the *Secretary of the Interior's Standards for Architectural and Engineering Documentation* for inclusion in the HABS/HAER/HALS collection at the Library of Congress.

[Full text of the 2018 mitigation memorandum \(pdf\)](#)

The National Park Service's regional offices oversee this aspect of HDP documentation, which is submitted to the Washington, DC, office for final review and inclusion in the collection.

Quicklinks

HABS celebrated 75 years in 2009 with a symposium. More information, including podcasts of the speakers, is available [here](#).

HABS/HAER/HALS Webinar: In Pursuit of the Complete Resume of the Builder's Art. Listen to the recording of our June 13, 2012 webinar.



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Last Updated: 5/15/2017

EXPERIENCE YOUR AMERICA

P126.16

<https://www.nps.gov/hdp/mitigation.htm>

1/1

Exhibit A



United States Department of the Interior

NATIONAL PARK SERVICE
1849 C Street, N.W.
Washington, DC 20240

H1817(2270)

ELECTRONIC COPY ONLY - NO HARD COPY TO FOLLOW

Memorandum

To: Regional Directors
Attention: Chiefs, Cultural Resources

From: Associate Director, Cultural Resources, Partnerships, and Science *Stephano Bojorquez*

Subject: FYI: Transmitting Library of Congress Mitigation Documentation to HABS/HAER/HALS

Statement of the Issue

The National Park Service (NPS) program known as Historic American Buildings Survey/Historic American Engineering Record/Historic American Landscapes Survey (HABS/HAER/HALS) traces its origins to the act of Congress commonly known as the Historic Sites Act of 1935, now codified at 54 U.S.C. §§ 320101-320106, which, among things, directs the Secretary of the Interior to "secure, collate, and preserve drawings, plans, photographs, and other data of historic and archeologic sites, buildings, and objects." 54 U.S.C. § 320102(b). Congress subsequently granted the Secretary additional authorities and responsibilities with respect to documenting historic properties, notably in the National Historic Preservation Act (NHPA), originally enacted in 1966 and amended numerous times since then, including comprehensive amendments in 1980. (The NHPA, as amended, is now codified in various sections of subtitle III of Title 54 U.S.C.) More particularly, the NHPA directs the Secretary to promulgate regulations "establishing a uniform process and standards for documenting historic properties by public agencies and private parties for purposes of incorporation into, or complementing, the national historical architectural and engineering records within the Library of Congress." 54 U.S.C. § 302107. The NHPA defines "historic property" broadly to mean "any prehistoric or historic district, site, building, structure, or object included on, or eligible for inclusion on, the National Register [of Historic Places]." 54 U.S.C. § 300308. The collection of national historical architectural and engineering records in the Library of Congress (LOC) is now known informally as the HABS/HAER/HALS collection.

The NHPA also imposes various historic preservation responsibilities on other Federal agencies, including a requirement to "initiate measures to assure that where, as a result of Federal action or assistance carried out by such agency, a historic property is to be substantially altered or demolished—(1) timely steps are taken to make or have made appropriate records; and (2) the

P126.16
(cont'd)

records are deposited, in accordance with section 302107 of this title, in the Library of Congress or with such other appropriate agency as may be designated by the Secretary, for future use and reference.” 54 U.S.C. § 306103. In 1983, acting under the authority of the NHPA, the Secretary of the Interior published in the Federal Register the Secretary of the Interior’s Standards and Guidelines for Archeology and Historic Preservation (Secretary’s Standards), including the Standards for Architectural and Engineering Documentation. 48 Fed. Reg. 44,716 (1983). The Secretary’s Standards are now widely cited and used by federal and state agencies and others in the historic-preservation community.

Background

Until 1997 the NPS accepted and transmitted to the LOC mitigation documentation for *all* historic properties to be substantially altered or demolished as a result of a federal agency’s action or assistance. In accordance with longstanding policy and practice, documentation submitted to the NPS for transmittal to the LOC was required to meet either HABS/HAER standards or, after 1983, the Secretary’s Standards. On October, 1, 1997, the NPS, with the concurrence of the Advisory Council on Historic Preservation, issued a policy memorandum announcing that documentation to HABS/HAER standards “will continue to be carried out” only for “National Historic Landmarks, properties eligible for the National Register at the national level of significance, and some specifically identified, individually eligible properties significant at the State and local levels.” The 1997 policy memorandum expressly exempted from HABS/HAER documentation standards various categories of properties “significant [only] at the State or local level.

For the reasons discussed below, the NPS will reinstate its original policy of accepting and transmitting to the LOC mitigation documentation to HABS/HAER/HALS standards for *all* historic properties to be substantially altered or demolished by a federal agency’s action or assistance, without restrictions as to type of resource or level of significance. First, it is clear that the 1997 policy memorandum has had the unfortunate consequence of dramatically reducing both the quality and quantity of documentation of historic properties. Second, over the past twenty years the LOC’s capabilities both to curate collection materials and to disseminate them to the public have increased exponentially as digital technology has evolved. The HABS/HAER/HALS collection is no longer simply a resource-based archive, but one of the most popular areas in the LOC’s heavily used Prints and Photographs Division. The collection receives nearly 50,000 visitors/month viewing approximately a million pages, looking at almost 400,000 pages five or more times, and ultimately downloading nearly 47,000 pages.

Rationale

The LOC stores and manages the collection to the highest standards, devoting significant financial and professional resources to its curation and presentation to the public, and offering the best option for the long-term preservation, availability, and usability of mitigation documentation. Hard copies are curated in state-of-the-art archival facilities, and publishable-quality digital versions are made available to the public via a sophisticated, easily searched website. The database and online presentation are in their second comprehensive update since 1997. Ongoing indexing steadily improves the collection’s searchability and utility. The LOC represents the gold standard in caring for, and providing access to, our important documents, fulfilling the intent of the Historic Sites Act of 1935 and the NHPA. This is why Congress

P126.16
(cont’d)

stipulated the "Architecture and Engineering Collection at the Library of Congress" as the final repository for mitigation documentation.

Since the collection was designed to be "a complete résumé of the builders' art," as expressed by NPS landscape architect Charles Peterson in 1933, it is the appropriate repository for mitigation documentation of National Register listed or eligible sites of state and local, as well as national, significance. The collection comprises documentation submitted from the Depression-era public works program, student summer teams, Peterson Prize and other competitions, other donations, and mitigation documentation. Now totaling approximately 43,000 sites and structures compiled over eighty years, it is richly illustrative of our diverse architectural, engineering, and landscape heritage. The only requirement is that documentation conforms to the Secretary's Standards, a minimal but important set of requirements that ensure its precision, value, longevity, and concision.

Founders established the HABS/HAER/HALS collection at the LOC as a mitigation documentation archive; we are asking of it nothing more than was originally intended. Presaging by decades the mandate of the NHPA, Peterson argued in 1933 that "(i)t is the responsibility of the American people that if the great number of antique buildings must disappear through economic causes, they should not pass into unrecorded oblivion." The Smithsonian's former curator of Mechanical and Civil Engineering, Robert Vogel, made a similar case for engineering and industrial documentation: "the actual preservation for posterity of the physical evidences of our early technology, industry and engineering is so rare, we are obliged to resort to a poor second course . . . substitute for the structures themselves . . . deliberately produced graphic and verbal records." The only change since Peterson's and Vogel's observations is recognition by Congress that when federal action or assistance will result in the substantial alteration or demolition of a historic property, documentation must be created and deposited in the LOC.

Summary

In summary, this letter reestablishes NPS practice with respect to mitigation documentation as envisioned in the NHPA. The NPS, through the Heritage Documentation Programs (HABS/HAER/HALS), will accept all documentation of National Register and National Register-eligible properties of national, state, regional or local significance that meet the *Secretary of the Interior's Standards for Architectural and Engineering Documentation* for inclusion in the HABS/HAER/HALS collection at the Library of Congress.

cc: State Historic Preservation Officers
 Tribal Historic Preservation Officers
 Federal Preservation Officers
 Executive Director for the Advisory Council for Historic Preservation (ACHP)
 Director of Office for Federal Agency Programs for the Advisory Council for Historic Preservation (ACHP)

P126.16
 (cont'd)

Exhibit B

5. CULTURAL RESOURCES				
Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in 15064.5? (Source: 8a, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5? (Source: 8b)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? (Source: 8b, 8f, 12, 13)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries? (Source: 8b)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion/Conclusion/Mitigation:

A Phase I Historic Review was prepared for this project by Kent Seavey. The report indicates that the main house on the property was designed by Harry Sims Bent and constructed in 1951-52 as a rambling, one-story wood-framed modern residence reflective of the post-WWII Western Ranch Style of architecture with Asian inspired decorative detailing. The detached wood-framed accessory dwelling unit, created out of two earlier garage structures, lacks any historic integrity and was not part of the analysis. The report notes that significant changes to the design occurred to the main house, both inside and out, in the 1960s and 1980s.

The 2013 Pebble Beach Historic Context Statement notes that qualification for architectural / design significance for Ranch style residences “is best reserved for buildings that demonstrate particularly strong artistic merit, or clearly demonstrate the influence of a particular architect or builder. Resources qualified under this criterion must be excellent examples of types and/or styles and retain most of their original features. In order to qualify for national, state, or local listing under this criterion, a mid-century residence must be an outstanding example of a Modern architectural style, and should ideally represent the work of a master architect.” Harry Sims Bent is not included on the list of significant architects and designers within the Context Statement.

In 1988, a preliminary cultural resources reconnaissance was conducted on the project site. This survey of the project parcel revealed midden constituents between the shore and the asphalt driveway that runs between the cliffs and the residence. All evidence points to the fact that any site in that area has been totally destroyed. This portion of the project parcel west of the driveway most likely contained a Late Period abalone haul out site; although this is not absolutely clear, as that portion of the property has been thoroughly disturbed as a result of side-casting of debris originating from the depression created for the existing home site. Auger testing conducted on August 8, 2015 in the soils along the cliff west of the driveway contained marine shell, faunal materials, ground stone, and chipped stone. However, the auger testing proved these soils to be highly disturbed.

P126.17

9.4.126 Response to Letter from Joel Panzer

Comment No.	Response
P126.1	<p>Section 4.1.5.1 of the EIR states that, “Signal Hill Road would provide the closest viewing proximity to the project (refer to Figure 4.1 1). Being a cul-de-sac, however, relatively few potential viewers are expected to experience the project from this public road.” The EIR does not identify it as a state scenic highway. Section 4.1.3.1 states that the threshold related to state scenic highways “does not apply because the project is not within the view corridor of any officially designated state scenic highway”. The EIR recognizes that the proposed residence would block public views from Signal Hill Road, but that “the number of viewers from this location is expected to be limited”. Therefore, views from 17 Mile Drive were the key consideration in this section.</p> <p>Although many (or even most) viewers from 17 Mile Drive may be looking towards the Pacific Ocean, CEQA requires the lead agency to identify adverse visual effects of the proposed project from public viewing locations, including, the most visible locations of the project such as from 17 Mile Drive. In addition, given the renowned nature of 17 Mile Drive as a major tourist destination and high number of visitors year-round, there will also undoubtedly be many views inland toward the golf courses, dunes, hillsides, and residences, including the proposed project. CEQA requires the lead agency to evaluate the proposed project’s consistency with applicable local plans and policies, such as the County’s Del Monte Forest Land Use Plan and Coastal Implementation Plan (Zoning Ordinance). Given the high scenic nature of the project vicinity and the multiple policies in County plans for the protection of scenic resources, views in all directions of 17 Mile Drive must be considered when evaluating the impacts of the project under CEQA.</p> <p>Policy 47 states that views from the 17 Mile Drive corridor and of ridgelines seen from the public viewing areas identified in Figure 3 of the Del Monte Forest Area Land Use Map (which includes a large portion of the project parcel) “shall be protected as resources of public importance” and that development that could adversely affect such views “shall only be allowed where it protects, preserves, and if feasible enhances, such scenic resources”. County of Monterey agrees that views from Signal Hill Road toward the ocean are not public viewing areas as defined by Policy 47. Similarly, Policy 52 discusses adequate structural setbacks and design to minimize the need for alterations to landforms as well as siting and design for harmony with the natural setting. The importance of that view may be over-emphasized by its listing in Table 4.1-1 of Aesthetic Resources, so it is struck from the first sentence of two Preliminary Consistency Determination statements:</p> <p>“The project has the potential to adversely affect the scenic quality and visual character of 17 Mile Drive in the vicinity of the project, including extending above the ridgeline, blocking views from Signal Hill Road, and removing existing trees that provide visual screening of development on the site.”</p> <p>Policy 48 provides similarly high standards for protection of public views in the project area and standards for development within these visually sensitive areas to ensure they do not significantly affect public views. However, the policy is more inclusive of views from any publicly accessible area. Therefore, no changes are made to the Policy 48 Preliminary Consistency Determination in Table 4.1-1.</p>
P126.2	<p>KVA-1 is from the public road shoulder area of 17 Mile Drive as it crosses the Cypress Point Golf Course near the location identified in Figure 4.1-10. KVA-2 is from 17 Mile Drive at a location that looks across a portion of coastline towards the project site. As discussed in response to Comment P126.1, although many (or even most) viewers from the location of KVA-3 may be looking towards the Pacific Ocean, CEQA requires the lead agency to identify adverse visual effects of the proposed project from public viewing locations, including, the most visible locations of the project such as from KVA-3. Given the renowned nature of 17 Mile Drive as a major tourist destination and high number of visitors year-round, there will also undoubtedly be many views inland toward the golf courses, dunes, hillsides, and residences, including the proposed project. Given the high scenic nature of the project vicinity and the multiple policies in County plans for the protection of scenic</p>

Comment No.	Response
	<p>resources in this area, public views in all directions from 17 Mile Drive must be considered when evaluating the impacts of the project under CEQA.</p> <p>Mitigation Measure AES/mm-3.1 requires that reflective coatings shall not be used on exterior south, west, and southwest facing windows and that windows be constructed of electrochromic glass to minimize visibility at night, consistent with recommendations in this comment. Landscape treatments and permanent protection and maintenance of habitat are also required by Mitigation Measures BIO/mm-3.1, BIO/mm-3.2, and BIO/mm-3.3. It was not determined that erection of a color board or further evaluation of material implementation was necessary to integrate the residence into the site.</p> <p>Section 20.147.070 of the Monterey County Coastal Implementation Plan (Part 5 – Regulations for Development in the Del Monte Forest Land Use Plan Area) require that a coastal development permit for development that would extend above the primary ridgeline may only be granted if “the decision making body is able to make findings that: 1) there are no alternatives to development so as to avoid ridgeline development; 2) the proposed development will not have a significant adverse visual impact due to required landscaping, required modifications to the proposal, or other conditions; or, 3) development on the ridge will minimize grading, tree removal or otherwise better meet resource protection policies or development standards of this LCP. <u>The proposed development shall be modified for height, bulk, design, size, location and siting and/or shall incorporate landscaping or other techniques so as to avoid or minimize the visual impacts of ridgeline development as viewed from a public viewing area.</u>” (emphasis added). The requirement to reduce the height of the structure so that it does not silhouette above the ridgeline as stated in Mitigation Measure AES/mm-1.1 is necessary to be able to make the findings required by this section for issuance of a coastal development permit for the project.</p> <p>Therefore, no revisions to the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P126.3	<p>The approval and construction of any previous structures near the project site, whether or not they would be approved, and whether or not they are consistent with the policies the proposed project is being evaluated against, is outside of the purview of this environmental document. Section 4.1.1.2 describes the visual characteristics of the area surrounding the project site, including identifying and providing photographs of several existing residences that extend above the ridgeline. This section describes the area as being represented by a wide variety of architectural styles and forms, including traditional ranch, bungalow, mission, and Mediterranean-influenced structures, as well as some stylistic expressions. No changes to the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.</p>
P126.4	<p>Ridgeline development is defined in Section 20.147.070 (Scenic and Visual Resources) of the Monterey County Coastal Implementation Plan (Part 5 – Regulations for Development in the Del Monte Forest Land Use Plan Area) as “development on the crest or side of a hill or other location which creates a silhouette against the sky when viewed from a public viewing location”. Section 4.2.1.3 of the EIR explains that the project site is located at the base of Signal Hill Dune, a remnant of a historically extensive Asilomar Dune complex. Therefore, in this case, the proposed project is the “development” and the project site on Signal Hill Dune is the “crest or side of a hill or other location” which when combined create a silhouette against the sky visible from a public viewing location (17 Mile Drive), thus, meeting the definition of ridgeline development stated above. At this location, the dune itself is the hill (or other location) that creates the ridgeline that this section and other County policies are intended to protect. No changes to the environmental document are necessary.</p>
P126.5	<p>A side-by-side comparison of the architectural merits or design intent of the National Register-eligible Connell House and the proposed Legorreta design is not within the purview of this EIR.</p>

Comment No.	Response
	CEQA does not require a lead agency to consider or compare the “design intent” of a proposed project compared to an existing structure to be demolished. Project design and character are evaluated per the visual thresholds stated in Section 4.1.3 of the EIR. In addition, an evaluation of the potential future historical significance of the Legorreta design would be entirely speculative at this time. Please also refer to MR-2 regarding Historical Resources for comments related to the historical registration process and eligibility criteria. No changes to the environmental document are necessary.
P126.6	The comment raises a concern regarding feasible mitigation and cites two examples. Economic impacts and cost justifications are not considered environmental effects under CEQA, except as economic effects may be relevant to the physical changes caused by economic effects of a project. (CEQA Guidelines section 15131.) However, when the County decision maker determines whether project alternatives are feasible, the decision maker may consider whether “specific economic, legal, social, technological or other considerations” make an alternative infeasible.” (CEQA Guidelines section 15091(a)(3).)
P126.7	This comment discusses the Spreckels Sugar Mill and fiscal concerns of preservation and the ultimate demolition. Each project is evaluated on its own merits based on its particular facts and circumstances. Therefore, analysis of and decisions made about a different project are not relevant to the analysis of the project that is the subject of this EIR.
P126.8	This comment discusses the Old Monterey County Jail and fiscal concerns of preservation. Each project is evaluated on its own merits based on its particular facts and circumstances. Therefore, analysis of and decisions made about a different project are not relevant to the analysis of the project that is the subject of this EIR
P126.9	The relevance of the public’s interest in Richard Neutra’s work and the relevance of his works today is outside of the scope of this EIR. The Connell House is listed on the California Register of Historical Resources (CRHR) and eligible for listing on the National Register of Historic Places and must be evaluated as a historical resource under CEQA. Refer to responses to Comments P126.6 through P126.8 for comments related to the cost of preservation. Please also refer to MR-2 regarding Historical Resources.
P126.10	<p>The EIR includes requirements in Mitigation Measure HR/mm-1.1 for recordation of the Connell House per the most recent HABS guidelines, consistent with the recommendation in this comment. Identified mitigation measures would apply regardless of the alternative selected, unless noted otherwise in the EIR. As discussed in Section 4.3.5.1 of the EIR: “Demolition of an historical resource is irreversible and historical resources are irreplaceable. Demolition of the Connell House would permanently remove from the community of Pebble Beach a rare and well-articulated example of the residential use of the American International Style and the community’s only example of the work of master architect Richard Neutra. CEQA provides that, ‘in some circumstances, documentation of an historical resource...as mitigation for the effects of demolition of the resource will not mitigate the effects to a point where clearly no significant effect on the environment would occur’ (State CEQA Guidelines §15126.4(b)(2)). Implementation of mitigation measures HR/mm-1.1 and HR/mm-1.2 would reduce but not eliminate the adverse impacts of the proposed project. Therefore, residual impacts would be significant and unavoidable.”</p> <p>Therefore, no changes to the environmental document are necessary. However, the recommendation to allow the applicant’s proposed project to proceed with implementation of this mitigation will be made part of the administrative record and provided to local decision makers for their consideration. The identification of a significant and unavoidable impact associated with the proposed project and selection of a different alternative as the Environmentally Preferred Alternative does not mean the County cannot choose to approve the proposed project as originally designed. However, they must justify the approval of a project that would result in significant impacts through preparation of a Statement of Overriding Considerations.</p>

Comment No.	Response
	The comment relates to perceived inconsistencies in the way the County manages project applications involving historic resources. This issue is outside of the scope of the EIR. No changes in the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P126.12	This comment raises a concern regarding the timeline of environmental review. Depending on myriad project-specific factors, the EIR Process can sometimes be protracted. Here, the process was prolonged for several reasons. For example, the applicant's desire to address and resolve project impacts identified in the Administrative Draft EIR resulted in project changes. Those project changes required the EIR to be substantially revised and rewritten prior to public circulation. Moreover, the neglect and vandalism that occurred at the property required the County to take additional time to address through multiple code enforcement actions and an evaluation by a structural engineer. Please refer also to the response to Comment P126.11, above.
P126.13	The comment references another residence designed by a noted architect that was approved for demolition by the County in January 2018. The application related to the Harry Bent Simms residence is outside the scope of this EIR. The adequacy of the CEQA analysis prepared for that project (Exhibit B) is also outside of the scope of this EIR. Refer also to the responses to Comments P126.11 and P126.12. No changes to the environmental document are necessary. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P126.14	The comment asserts inconsistencies in the application of CEQA and application review process between the proposed project and the previously approved proposal for demolition of the Harry Bent Simms residence. Each project is evaluated on its own merits based on its particular facts and circumstances. Therefore, analysis of and decisions made about a different project are not relevant to the analysis of the project that is the subject of this EIR. The fact that the Connell House is listed on the CRHR and eligible for listing on the NRHP makes it an historical resource for CEQA purposes. Therefore, an EIR was necessary to comply with CEQA and evaluate the significant adverse effects that would result from the proposed demolition of the residence.
P126.15	This comment summarizes the commenter's support of the proposed project. Please refer to MR-1, regarding Project Preferences.
P126.16	The commenter provided information on HABS documentation in Exhibit A for reference. The memo clarifies that the Library of Congress now has the technological capabilities to process HABS documentation for historic properties that are determined to be significant only at the state and local levels. Formerly, the process was laborious for the Library of Congress and was therefore reserved for properties significant at the national level. No changes to the environmental document are necessary.
P126.17	The commenter provided what appears to be an excerpt of the environmental analysis (assumed to be a Mitigated Negative Declaration [MND]) from the cited Harry Bent Simms project referenced in Comments P126.13 and P126.14 (Exhibit B) for reference. It is unclear if this is an excerpt of the entire analysis of cultural resources from that MND. The materials do not require changes in the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P127

From: Lois Panziera
To: [ceacommments](#)
Cc: [Ku, Cheryl x6049; ecreeel@swca.com](#)
Subject: Connell House
Date: Friday, October 12, 2018 4:49:53 PM

Hi Mike Novo,
I am writing this letter in support of Alternative 1 to save the historic Connell House and restore it. We have lost many historic structures in our county such as those at Paraiso Hot Springs which should be saved so that our county's history is told accurately and remain as part of our county's historic resources.

P127.1

Thank you for considering my request,
Lois Panziera
33821 Paraiso Springs Rd.
Soledad, CA 93960
(831) 678-2815
Sent from [Mail](#) for Windows 10

9.4.127 Response to Letter from Lois Panziera

Comment No.	Response
P127.1	<p>Please refer to MR-1 regarding Project Preferences for comments expressing support for the Preservation Alternative. Cumulative impacts associated with the loss of historic structures are discussed in Section 4.3.6 of the EIR, which determined demolition of the Connell House would significantly contribute to a cumulative impact on historical resources within Neutra’s architectural oeuvre, though it would not significantly contribute to a cumulative loss of historic resources in the more general historic context of Pebble Beach.</p> <p>The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.</p>

COMMENT LETTER #P128

Emily Creel

From: m f <mihoko4ever@gmail.com>
Sent: Friday, October 19, 2018 9:30 PM
To: Ku, Cheryl x6049; Emily Creel; ceqacomments@co.monterey.ca.us

To Whom It May Concern:

Please add my name to the list of people in full support of the Massy Mehdipour project. The EIR is quite misleading by erroneously describing a house that is no longer there. What is there today is a shell of its former self that is temporarily held up with 2 by 4's and other shoring.

P128.1

Also, please stop being sexist in the EIR and call it the Mehdipour House, as opposed to the Connell house. Arthur Connell last owned the house in 1973.

P128.2

Please approve the project and put an end to this injustice.

Thank you.

Mihoko Fukushima

9.4.128 Response to Letter from Mihoko Fukushige

Comment No.	Response
P128.1	Please refer to MR-1 regarding Project Preferences for comments expressing support for the proposed project and to MR-4 regarding Baseline Conditions for comments related to the condition of the house. The existing baseline for CEQA purposes is the time of issuance of the NOP. The EIR reflects the deteriorated condition of the house in stating that, "The baseline condition of the structure provides little value as a historical resource, due to the substantial degradation and damage that has occurred, <u>but nevertheless retains its potential for preservation, repair, and restoration of damaged portions, with a concomitant restoration of value as a historical resource</u> " (emphasis added), and therefore, recognizes the value of the resource after restoration. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P128.2	Please refer to MR-2 regarding Historical Resources for a discussion of the naming convention for the Connell House. Connells' association with the residence helps provide context to why a Neutra-designed residence was constructed in Pebble Beach. The comment does not require changes to the environmental document. However, the comment will be made part of the administrative record and provided to local decision makers for their consideration.

COMMENT LETTER #P129

Cheryl Ku, Senior Planner
Monterey County
Resource Management Agency – Planning
1441 Schilling Place, 2nd Floor
Salinas, CA 93901

Dear Ms. Ku,

I have had the privilege of friendship with Ms. Mehdipour for almost 20 years. And I have been to see the Mehdipour House on Signal Hill Road. As a licensed contractor, I can't possibly see a valid argument for trying to save this house. The time, cost and effort needed to resuscitate it to it's former state would be ridiculous. I support the removal of the existing house and completely endorse the new proposed house.

P129.1

And I would like to add that if you knew Ms. Mehdipour, or were familiar with her story, you would be certain that she never takes short cuts. Nor does she disregard or take for granted things of value.

P129.2

I have also had the pleasure of playing golf with her. Since this is considered the "Mecca" of American golf, I would like to add that her game, her respect, and her reverence for the game of golf would rival many of those that are so frustrated with her presence.

Josh Temple
Los Angeles

9.4.129 Response to Letter from Josh Temple

Comment No.	Response
P129.1	Please refer to MR-1 regarding Project Preferences for comments expressing support of the proposed project, and MR-4 regarding Baseline Conditions for comments related to the condition of the house. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.
P129.2	This comment is a personal endorsement of the project applicant and does not relate to a specific environmental issue or analysis relevant to the EIR and compliance with CEQA. The comments do not require changes to the environmental document. However, the comments will be made part of the administrative record and provided to local decision makers for their consideration.

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SIGNAL HILL LLC COMBINED DEVELOPMENT PERMIT ENVIRONMENTAL IMPACT REPORT

PREPARED FOR

Monterey County
Housing and Community Development
1441 Schilling Place
Salinas, California 93901

FINAL | OCTOBER 2022

VOLUME 2: FINAL EIR APPENDICES

PREPARED BY

SWCA Environmental Consultants
3426 Empresa Drive, Suite 100
San Luis Obispo, California 93401

APPENDIX A

**Notice of Preparation for the Draft Environmental Impact Report and
Comment Letters**

Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Signal Hill LLC Residence

Lead Agency: Monterey County Resource Management Agency - Planning

Contact Person: Luis Osorio

Mailing Address: 168 West Alisal St., 2nd Floor

Phone: 831 755-5177

City: Salinas

Zip: 93902

County: Monterey

Project Location: County: Monterey City/Nearest Community: Pabble Beach/Pacific Grove

Cross Streets: Signal Hill Road / 17-Mile Drive Zip Code: 93953

Longitude/Latitude (degrees, minutes and seconds): _____ ° _____ ' _____ " N / _____ ° _____ ' _____ " W Total Acres: 2

Assessor's Parcel No.: 008-261-007-000 Section: _____ Twp.: _____ Range: _____ Base: _____

Within 2 Miles: State Hwy #: 68 Waterways: Pacific Ocean

Airports: None Railways: None Schools: Robert L. Stevenson

Document Type:

- | | | | |
|---|--|------------------------------------|--|
| CEQA: <input checked="" type="checkbox"/> NOP | <input type="checkbox"/> Draft EIR | NEPA: <input type="checkbox"/> NOI | Other: <input type="checkbox"/> Joint Document |
| <input type="checkbox"/> Early Cons | <input type="checkbox"/> Supplement/Subsequent EIR | <input type="checkbox"/> EA | <input type="checkbox"/> Final Document |
| <input type="checkbox"/> Neg Dec | (Prior SCH No.) _____ | <input type="checkbox"/> Draft EIS | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Mit Neg Dec | Other: _____ | <input type="checkbox"/> FONSI | |

Local Action Type:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> General Plan Update | <input type="checkbox"/> Specific Plan | <input type="checkbox"/> Rezone | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Master Plan | <input type="checkbox"/> Prezone | <input type="checkbox"/> Redevelopment |
| <input type="checkbox"/> General Plan Element | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Use Permit | <input checked="" type="checkbox"/> Coastal Permit |
| <input type="checkbox"/> Community Plan | <input type="checkbox"/> Site Plan | <input type="checkbox"/> Land Division (Subdivision, etc.) | <input type="checkbox"/> Other: _____ |

Development Type:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Residential: Units <u>1</u> Acres <u>2</u> | <input type="checkbox"/> Transportation: Type _____ |
| <input type="checkbox"/> Office: Sq.ft. _____ Acres _____ Employees _____ | <input type="checkbox"/> Mining: Mineral _____ |
| <input type="checkbox"/> Commercial: Sq.ft. _____ Acres _____ Employees _____ | <input type="checkbox"/> Power: Type _____ MW _____ |
| <input type="checkbox"/> Industrial: Sq.ft. _____ Acres _____ Employees _____ | <input type="checkbox"/> Waste Treatment: Type _____ MGD _____ |
| <input type="checkbox"/> Educational: _____ | <input type="checkbox"/> Hazardous Waste: Type _____ |
| <input type="checkbox"/> Recreational: _____ | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Water Facilities: Type _____ MGD _____ | |

Project Issues Discussed in Document:

- | | | | |
|--|---|--|---|
| <input checked="" type="checkbox"/> Aesthetic/Visual | <input type="checkbox"/> Fiscal | <input type="checkbox"/> Recreation/Parks | <input checked="" type="checkbox"/> Vegetation |
| <input type="checkbox"/> Agricultural Land | <input type="checkbox"/> Flood Plain/Flooding | <input type="checkbox"/> Schools/Universities | <input type="checkbox"/> Water Quality |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Forest Land/Fire Hazard | <input type="checkbox"/> Septic Systems | <input type="checkbox"/> Water Supply/Groundwater |
| <input checked="" type="checkbox"/> Archeological/Historical | <input type="checkbox"/> Geologic/Seismic | <input type="checkbox"/> Sewer Capacity | <input type="checkbox"/> Wetland/Riparian |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Minerals | <input type="checkbox"/> Soil Erosion/Compaction/Grading | <input type="checkbox"/> Growth Inducement |
| <input checked="" type="checkbox"/> Coastal Zone | <input type="checkbox"/> Noise | <input type="checkbox"/> Solid Waste | <input type="checkbox"/> Land Use |
| <input type="checkbox"/> Drainage/Absorption | <input type="checkbox"/> Population/Housing Balance | <input type="checkbox"/> Toxic/Hazardous | <input type="checkbox"/> Cumulative Effects |
| <input type="checkbox"/> Economic/Jobs | <input type="checkbox"/> Public Services/Facilities | <input type="checkbox"/> Traffic/Circulation | <input type="checkbox"/> Other: _____ |

Present Land Use/Zoning/General Plan Designation:

Low Density Residential, 1 Acre Minimum / LDR/1-D (CZ)

Project Description: (please use a separate page if necessary)

- Demolition of the existing 4,125-square foot two-story single-family residence designed by architect Richard Neutra and removal of the approximately 2,825 square feet of asphalt driveway and concrete patios.
- Up to approximately 2.165 acres of site preparation, ground disturbance, and grading.
- Construction of new 11,933-square foot, two-story (over basement), single-family residence designed by Mexican architect Ricardo Legorreta and construction of approximately 1,950 square feet of paved areas.
- Restoration of the portion of the property that will remain undeveloped (approximately 1.8 acres) to native dune habitat.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with an "X".
If you have already sent your document to the agency please denote that with an "S".

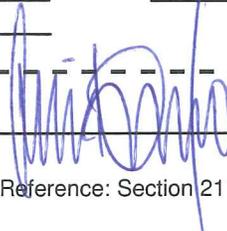
<input type="checkbox"/> Air Resources Board	<input checked="" type="checkbox"/> Office of Historic Preservation
<input type="checkbox"/> Boating & Waterways, Department of	<input type="checkbox"/> Office of Public School Construction
<input type="checkbox"/> California Emergency Management Agency	<input type="checkbox"/> Parks & Recreation, Department of
<input type="checkbox"/> California Highway Patrol	<input type="checkbox"/> Pesticide Regulation, Department of
<input type="checkbox"/> Caltrans District # _____	<input type="checkbox"/> Public Utilities Commission
<input type="checkbox"/> Caltrans Division of Aeronautics	<input type="checkbox"/> Regional WQCB # _____
<input type="checkbox"/> Caltrans Planning	<input type="checkbox"/> Resources Agency
<input type="checkbox"/> Central Valley Flood Protection Board	<input type="checkbox"/> Resources Recycling and Recovery, Department of
<input type="checkbox"/> Coachella Valley Mtns. Conservancy	<input type="checkbox"/> S.F. Bay Conservation & Development Comm.
<input checked="" type="checkbox"/> Coastal Commission	<input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy
<input type="checkbox"/> Colorado River Board	<input type="checkbox"/> San Joaquin River Conservancy
<input type="checkbox"/> Conservation, Department of	<input type="checkbox"/> Santa Monica Mtns. Conservancy
<input type="checkbox"/> Corrections, Department of	<input type="checkbox"/> State Lands Commission
<input type="checkbox"/> Delta Protection Commission	<input type="checkbox"/> SWRCB: Clean Water Grants
<input type="checkbox"/> Education, Department of	<input type="checkbox"/> SWRCB: Water Quality
<input type="checkbox"/> Energy Commission	<input type="checkbox"/> SWRCB: Water Rights
<input checked="" type="checkbox"/> Fish & Game Region # _____	<input type="checkbox"/> Tahoe Regional Planning Agency
<input type="checkbox"/> Food & Agriculture, Department of	<input type="checkbox"/> Toxic Substances Control, Department of
<input type="checkbox"/> Forestry and Fire Protection, Department of	<input type="checkbox"/> Water Resources, Department of
<input type="checkbox"/> General Services, Department of	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Health Services, Department of	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Housing & Community Development	
<input type="checkbox"/> Native American Heritage Commission	

Local Public Review Period (to be filled in by lead agency)

Starting Date February 18, 2015 Ending Date March 20, 2015

Lead Agency (Complete if applicable):

Consulting Firm: _____	Applicant: <u>Massy Mehdipour</u>
Address: _____	Address: <u>111 Independence Drive</u>
City/State/Zip: _____	City/State/Zip: <u>Menlo Park, CA 94025</u>
Contact: _____	Phone: <u>(650) 380-3187</u>
Phone: _____	

Signature of Lead Agency Representative:  Date: 02/13/2015

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.

MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY



Planning Department
Mike Novo, AICP, Director of Planning

168 West Alisal Street, 2nd Floor
Salinas, CA 93901
(831) 755-5025
Fax: (831) 757-9516
www.co.monterey.ca.us/rma

FEB 17 2015

NOTICE OF PREPARATION

STEPHEN L. VAGNINI
MONTEREY COUNTY CLERK
DEPUTY

TO: Responsible Agencies/Interested Parties

SUBJECT: Notice of Preparation of an Environmental Impact Report for the Signal Hill LLC Single-Family Residence.
Planning File Number: PLN100338

The County of Monterey (County) will be the Lead Agency and will prepare an Environmental Impact Report (EIR) for the Combined Development Permit application for development of the Signal Hill LLC Residence located at 1170 Signal Hill Road, Pebble Beach (Planning File Number: PLN100338). The Project is proposed by Signal Hill LLC and includes the demolition of an existing single-family residence designed by architect Richard Neutra and listed in the California Register of Historical Resources; the construction of a new single-family residence designed by Mexican architect Ricardo Legorreta; and associated site improvements. We need to know the views of your agency as to the scope and content of the environmental information which is germane to your agency's statutory responsibilities in connection with the proposed Project. Your agency will need to use the EIR prepared by our agency when considering your permit or other approval for the Project.

The Project description, location, and the potential environmental effects are contained in the attached materials. Per California Environmental Quality Act (CEQA) Guidelines Section 15060(d), an Initial Study was not prepared prior to the decision to prepare an EIR. Due to time limits mandated by state law, your response must be sent at the earliest possible date but not later than 30 days after receipt of this notice between February 18, 2015 and March 20, 2015.

The County will also hold a public scoping meeting to receive input for the EIR. Your agency is welcome to send a representative to the scoping meeting. The scoping meeting will be held on Monday, February 23, 2015, at 6:00 PM at the Pebble Beach Community Services District Office, located at 3101 Forest Lake Road, Pebble Beach, California, 93953.

Please submit your response to the address shown above. We will need the name for a contact person in your agency.

Sincerely,

Luis A. Osorio, Senior Planner
(831) 755-5177; osoriol@co.monterey.ca.us

Attachments: Project Location and Description; Potential Environmental Effects
Vicinity Map

Cc: State Clearinghouse, Office of Planning and Research
1400 Tenth Street, Room 212
PO Box 3044
Sacramento, CA 95812-3044

PROJECT LOCATION:

The Project site is located at 1170 Signal Hill Road (Assessor's Parcel Number [APN] 008-261-007-000), within the Spyglass Cypress Planning Area of the Del Monte Forest Land Use Plan, in the unincorporated community of Pebble Beach, Monterey County, California. The 2.165-acre site is located approximately 350 feet southeast of the intersection of 17-Mile Drive and Signal Hill Road.

PROJECT DESCRIPTION

The 2.165-acre site is located within an existing residential neighborhood. The site is located above 17-Mile Drive, in the vicinity of the Cypress Point Golf Course, overlooking the Pacific Ocean. The site contains a single-family residence designed by eminent southern California architect Richard Neutra for Arthur L. Connell and built in 1957-1958. The residence embodies the characteristics of postwar American International Style architecture. The residence was found eligible for listing on the National Register of Historic Places (NRHP) by the California State Historic Preservation Officer on June 13, 2014 and has been listed in the California Register of Historic Places.

The Project site slopes downward from east to west, with the existing residence located at the upper end of the parcel near Signal Hill Road. The Project site is located on a remnant native sand dune on Signal Hill in Pebble Beach. The sand dune is classified as an environmentally sensitive habitat area and is protected by the policies of the Del Monte Forest Area Land Use Plan. The Cypress Point Golf Course is located to the south and southwest, and 17-Mile Drive and the Pacific Ocean are located to the west and southwest. Undeveloped dune habitat is located to the east and across Signal Hill Road.

The area of the Richard Neutra house includes the original 3,299-square foot, two-story, wood-frame residence, integral three-car garage, and small studio addition at the southwest corner of the upper level (added in 1993). The total area of the house is 4,125 square feet. The development on the site also includes approximately 2,825 square feet of asphalt driveway and concrete patios. The Project would include the following components:

1. Demolition of the existing 4,125-square foot two-story single-family residence designed by architect Richard Neutra and removal of the approximately 2,825 square feet of asphalt driveway and concrete patios.
2. Up to approximately 2.165 acres of site preparation, ground disturbance, and grading.
3. Construction of new 11,933-square foot, two-story (over basement), single-family residence designed by Mexican architect Ricardo Legorreta and construction of approximately 1,950 square feet of paved areas.
4. Restoration of the portion of the property that will remain undeveloped (approximately 1.8 acres) to native dune habitat.

The project requires approval of a Combined Development Permit consisting of:

- 1) Coastal Administrative Permit and Design Approval for the demolition of an existing single-family residence listed in the California Register of Historical resources and the construction of a new single-family residence designed by Mexican architect Ricardo Legorreta; and associated site improvements;

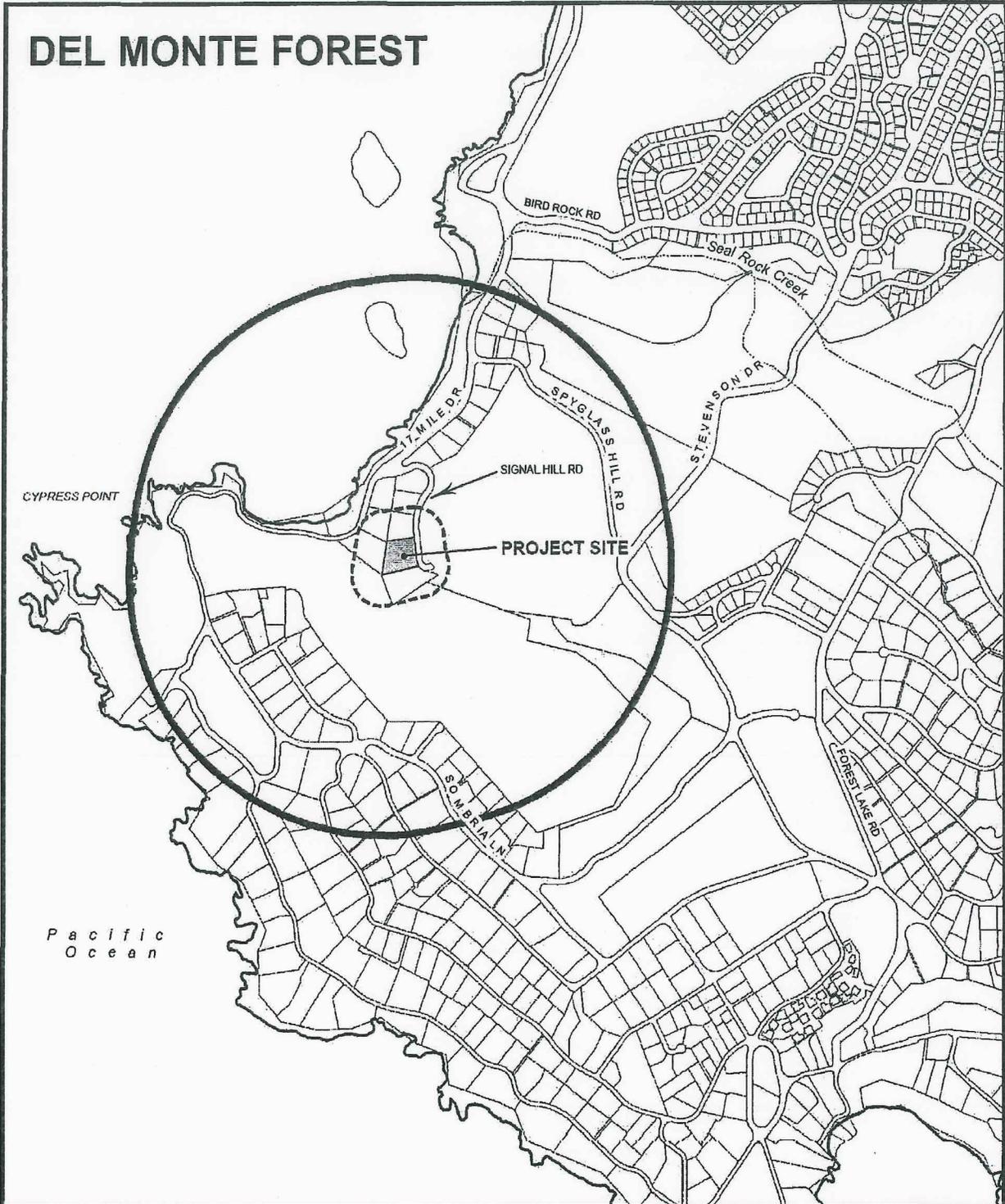
- 2) Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and for the restoration of the areas on the site containing native sand dune habitat;
- 3) Coastal Development Permit for development on slopes exceeding 30%; and
- 4) Coastal Development Permit for ridgeline development.

POTENTIAL ENVIRONMENTAL EFFECTS:

The Environmental Impact Report will address potential environmental effects as required by the California Environmental Quality Act (CEQA). The environmental analysis will address short-term (construction) and long-term (operation) impacts, identify feasible mitigation measures, and assess potential alternatives to the Project. The following potential impacts have been initially identified as being potentially significant:

- 1) Impacts from the demolition of a building listed in the California Register of Historical Resources and eligible for listing under the National Register of Historic Places;
- 2) Impacts from development on the native sand dune environmentally sensitive habitat;
- 3) Impacts on views from "public viewing areas" including along 17-Mile Drive;

DEL MONTE FOREST

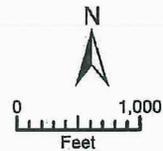


APPLICANT: SIGNAL HILL LLC

APN: 008-261-007-000

FILE # PLN100338

Water 2500' Limit 300' Limit City Limits

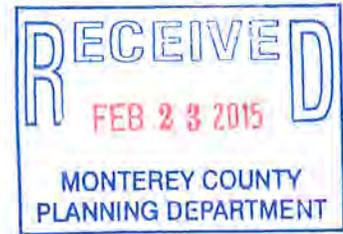


Vicinity Map

PLN100338 (Signal Hill [Mehdipour])
CEQA Comments regarding Notice of Preparation
Review period of February 18, 2015 through March 20, 2015

1. February 23, 2015 – unidentified
2. February 23, 2015 – Jeff Becon (can't read handwriting)
3. February 21, 2015 – June Duran Stock
4. February 25, 2015 – George Smart
5. February 25, 2015 – Dion Neutra
6. March 16, 2015 – Christine Kantner
7. March 16, 2015 – Ilse Riebe Colby
8. March 17, 2015 – Michael Locke
9. March 17, 2015 – Patricia Leddy
10. March 18, 2015 – Barbara Lamprecht
11. March 18, 2015 – Raymond Richard Neutra
12. March 18, 2015 – Dana Balkin
13. March 18, 2015 – Sean de Courcy & Carol Roland-Nawi, California Office of Historic Preservation
14. March 19, 2015 – Katie Butler, California Coastal Commission
15. March 19, 2015 – Nancy Runyon
16. March 19, 2015 – Frances & Albert Paley
17. March 19, 2015 – Karen Lesney
18. March 19, 2015 – Mark Edwin Norris
19. March 20, 2015 – Anthony Lombardo

Comments



Impact to Historic Resources

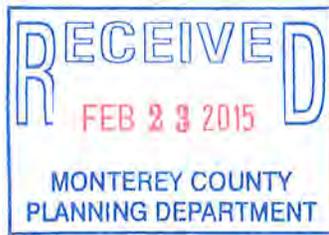
- Connell House itself
- Historic Landscape of 17 Mile Drive
- "Del Monte Forest's cultural resources shall be maintained, preserved and protected for their scientific and cultural heritage values." Del Monte Forest Land Use Plan (June 22, 2012)
- "...where the site is of known regional significance, consideration shall be given to nominating the site to the National Register and preserving it." Ibid.

Impact on Views from 17 Mile Drive

"In reviewing requests for tree removal, land clearing and other development, preservation of scenic resources shall be a primary objective. Because of the regional significance of the forest resources, special consideration shall be given to the ridgeline silhouette, as well as views along Highway 68 and 17-mile Drive, and the view from distant publicly accessible shoreline areas such as found at Point Lobos State Natural Reserve." Ibid.

Impact of development on slopes of 30% or more

"Development on Slopes of 30% or more is prohibited unless such siting better addresses LUP objectives as a whole when compared to other possible siting alternatives on slopes of less than 30% associated with project or sites." Ibid.



JEFF BEGON

831-204-6110

P.O. Box 534

PACIFIC GROVE, CA

93960

Hi Mike,

Here are my ideas -

Reasonable alternatives to demolition:

1) No Project: The current owner could sell the property to a new owner who could renovate the property in keeping with its historic character.

2) Additions: The property could be renovated with additions in order to both retain the original residence and add substantial square footage. There are many, many architects working today who have been highly influenced by Richard Neutra's work. Many would be delighted to sign on to a project that would save an important Neutra home from demolition, provide a design that would meet the desires of the owner and still meet the Secretary of Interiors Standards for Historic Preservation.

A) Among Neutra's important legacies to architecture and planning was his careful integration of the native landscape into his site and plan development. This is now more difficult to discern because of the current owner's actions to prepare the site for her planned development.

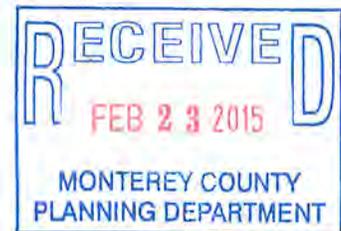
Without permits the current owner damaged the historic site by leveling the environmentally sensitive dunes and by cutting down several large cypress trees that were a landmark along Seventeen Mile Drive. Therefore we request that the EIR plan include replacement of large cypress trees in the original locations as well as full restoration of the native dune habitat and topography. Only with this restoration will the full impact of Neutra's original design be realized.

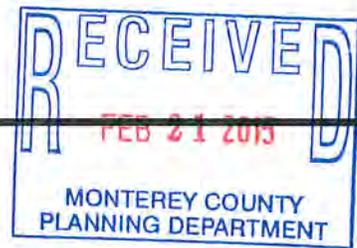
B) I hope that the EIR and all involved agencies will require

that the current owner repair and maintain the Connell house in an acceptable condition. The current owner has allowed and encouraged the deterioration of the home in an effort to achieve "Demolition Through Neglect". This must stop.

C) The current owner makes the claim that a new house by the late architect Ricardo Legoretta would be preferable to the historic Neutra home. Before his death, even Legoretta said that he regretted his involvement with this project.

As the only existing example of a Neutra home on the Central Coast, it deserves more protection than one of the more common Legoretta homes in this area.





Osorio, Luis x5177

From: June Duran Stock [morjun@redshift.com]
Sent: Saturday, February 21, 2015 1:38 PM
To: Osorio, Luis x5177
Subject: EIR for Signal Hill residence:PLN100338

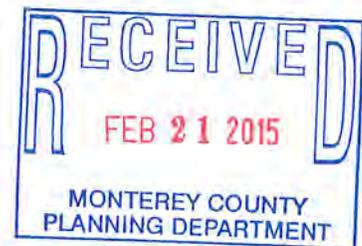
I am a resident at 3141 17 Mile Drive (at the corner of Signal Hill Road) and have lived here since 1969. I probably should mention that I am a member of the Pebble Beach Land Use Committee.

My viewpoint is that although the plans for the house are attractive, the house itself will be too large for its site, particularly as it will be viewed directly from the 17 Mile Drive and in conflict with the beautiful coastal scenery. As you probably know, serious efforts have been made to keep or return the lands of adjacent properties to present as near a natural setting as possible. In addition, closely adjacent to this property is the Del Monte Forest Conservancy property which was purchased by them fairly recently in order to keep that area in its natural condition.

Because of the environmental sensitivity of this property I am happy to see you are planning to conduct an EIR.

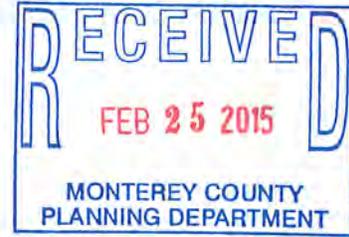
I'm very sorry that I can't attend your February 23 meeting.

June Duran Stock



Osorio, Luis x5177

From: George Smart [george@ncmodernist.org]
Sent: Wednesday, February 25, 2015 11:45 AM
To: Osorio, Luis x5177
Subject: Connell House



February 25, 2015

Mr. Osorio,

I represent the country's largest online archive for Richard Neutra houses.
www.ncmodernist.org/neutra.htm.

We support the movement to preserve the Connell House in Pebble Beach. Based on observation of the case and the parties, we believe the owner's negligence to maintain and secure the property is strategic and intentional; if she can eventually show the structure is in no condition to be saved; she wins by default.

That would be a great loss for California. Any architect would be honored to take the Connell footprint and renovate it faithfully to its original brilliance. Neutra houses are easily added onto, so the owner could have the larger house she wants, and the Monterey Peninsula could retain one of its crown jewels of residential architecture. That would be a win for all concerned.

Unfortunately, the owner has the upper hand. She can wait this out and the house will pretty much destroy itself. I do not know what you can do to change the balance of power, but I encourage you and the writers of the EIR to do so.

Sincerely,

George

George Smart, Executive Director
North Carolina Modernist Houses, the website for Triangle Modernist Archive, Inc.
A North Carolina 501C3 Nonprofit Educational Archive Documenting, Preserving, and Promoting
Modernist Residential Architecture

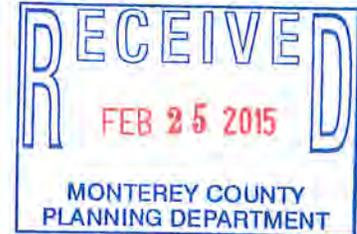
5409 Pelham Road / Durham NC / 27713 / USA
919.740.8407 phone / 919.400.4255 fax
www.ncmodernist.org / george@ncmodernist.org
[@NCMHTweets](https://twitter.com/NCMHTweets)

Osorio, Luis x5177

From: Dion Neutra [Dion@neutra.org]
Sent: Wednesday, February 25, 2015 8:14 PM
To: Osorio, Luis x5177
Subject: 02-25-2015 The Neutra Connell House; a Plea! Luis Osorio d

02-25-2015

Luis A. Osorio, Senior Planner
Monterey County Resource Management Agency
Planning Department, Salinas



Dear Luis:

The plight of the only relatively intact local Neutra design for hundreds of miles, give me pause.

The total loss of an architectural treasure through demolition? The scarring of an environmentally sensitive dunes landscape? The premature and illegal cutting of huge cypress trees to make way for the proposed McMansion? The impact on historic views to and from the 17 Mile Drive?

These are only a few of the issues that come to mind in this situation.

And by the look of it, the wealthy owner intends to 'wait out' the arduous EIR process, until all the hoops have been jumped through and everyone's coffers have been emptied. Think what this amount of money could do to restore this icon?

While all this is on-going, somehow the system seems to allow 'a death of a thousand cuts'; the degradation of this lovely house, which was in pretty good condition when I put together the spreads on it, in my book "The Neutras, Then & Later" starting on P. 73. You should really see this!

[Http://www.amazon.com/gp/offer-listing/8493848271/ref=dp_olp_new?ie=UTF8&condition=new](http://www.amazon.com/gp/offer-listing/8493848271/ref=dp_olp_new?ie=UTF8&condition=new)

In this volume I also address the State of Preservation in the US (P. 149-50), where we see how toothless our system is to actually *PRESERVE* these priceless and irreplaceable examples.

Here is a case in point; we place these treasures on 'lists' at great expense. Everyone nashes their teeth, we go thru CEQA and EIR processes that cost upwards of 200K and takes a year. Should it be that difficult to actually *SAVE* this icon?

For what it's worth, *this is the original architects practice*, which stands ready to assist in the restoration of this belabored piece should there be a way to arrest the degradation that appears to be on-going in plain sight of authorities. Who better than us to undertake this work, with access to the original plans?

We celebrate our 89th year in practice this year. Of the possibilities, really the only one is for this owner to give up, sell out, and go elsewhere with her McMansion. There must be some wealthy patron out there, who could step up; buy her out and restore this to its original glory without undue augmentations or distortions. It's like preserving a Picasso; you wouldn't suggest destroying it, changing the color scheme, or making undue alternation or additions!

Hopefully, at some point, these thoughts might be helpful in the final fate of this, our baby!

Sincerely,

Dion Neutra

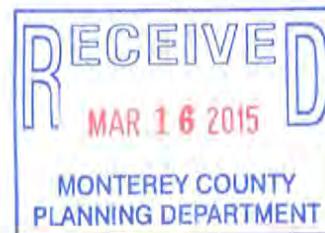
Dion Neutra, architect AIA, FISS,
Dion Neutra, Inc. aka Richard and Dion Neutra, Architects and Associates
2440 Neutra Place
Los Angeles, CA. 90039
Phone/Fax: 323 666.1806
Website: www.neutra.org E-mail: dion@neutra.org

Please copy this email when replying to me to facilitate communication.

CHRISTINE KANTNER

3-16-15

Mr. Luis A. Osorio
Senior Planner
Monterey County Resource Management Agency
Planning Department, Salinas



Dear Mr. Osorio,

I have been following the plight of the Connell House designed by master architect Richard Neutra and I am appalled that such a thing is happening in Monterey County. Here in Los Angeles, it has always been common practice to "bulldoze the past to make room for the new," but in an environment such as Pebble Beach I am shocked and outraged by what is happening.

First of all, the spectacle of 'death by a thousand cuts' that this owner is visiting upon this icon, in plain view of your jurisdiction! Surely there is something you can do before it is entirely too late?

Please deny the demolition permit. I promise you that once the property goes back on the market, a conservator will come along to lovingly restore the Connell House to its former glory. As you know, Dion Neutra, son and partner, who currently presides over the Neutra practice has stated his willingness to assist.

Many in the architectural preservation field nation-wide are following this case closely. Please do not sacrifice the beauty and integrity of your community by allowing this treasure to be demolished.

The building of anything like the proposed "McMansion" at the site will quite certainly be an eyesore for all and a terrible marker for where once stood an architectural gem. This is indeed a CEQA issue and I am sure you are already getting an earful from many others so I will keep this short.

I urge you to put the house on "watch" as from the current actions of the homeowner, the next thing could actually be an illegal demolition in the near future.

Many thanks for your time,

Christine Kantner
Silver Lake Neighborhood Council Representative
Member, Los Angeles Conservancy

3924 W. Sunset Blvd. • Los Angeles, CA 90029 • 323.804.6885 • christinekanter@mac.com

Osorio, Luis x5177

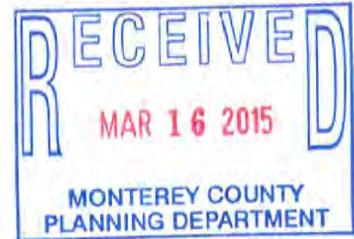
From: Ilse R. Colby [ilseriebe@gmail.com]
Sent: Monday, March 16, 2015 10:33 PM
To: Osorio, Luis x5177
Subject: In favor of the preservation of Richard Neutra's CONNELL HOUSE!!

Dear Luis A. Osorio,

I am writing in support of Neutra's significant and meaningful construction of the Connell House on the Monterey Peninsula. As a long time local who grew up on the Peninsula, I have long admired and appreciated the Connell House and the significance it holds both in Monterey and California as a whole. I believe strongly in the preservation of historically meaningful institutions, and I feel equally strongly that Neutra's work is one of them.

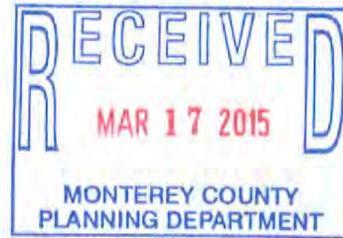
Thank you sincerely for your time and I very much hope that the right decision will be made for the Connell House.

Best,
Ilse Riebe Colby



Osorio, Luis x5177

From: Michael J Locke [mjlocke@pacbell.net]
Sent: Tuesday, March 17, 2015 7:34 AM
To: Osorio, Luis x5177
Subject: Save the Connell House!



Luis A. Osorio, Senior Planner
Monterey County Resource Management Agency
Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901

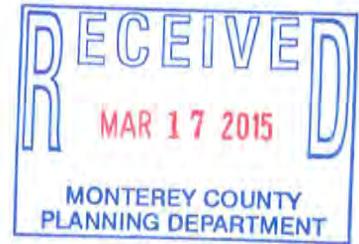
As Senior Planner for the Monterey County Resource Management Agency, I urge you to do everything within your power to stop the demolition of the Richard Neutra-designed Connell House. To allow the destruction of this architectural treasure in your midst would be deemed by preservationists as an act of outright civic irresponsibility.

I urge you to do the right thing.
Sincerely yours,

Michael Locke
Editor, *The Silver Lake News*
Author, *Silver Lake Chronicles, Exploring an Urban Oasis in Los Angeles*
Member, Los Angeles Conservancy

Osorio, Luis x5177

From: Patricia Leddy [patricia.leddy@sbcglobal.net]
Sent: Tuesday, March 17, 2015 8:43 AM
To: Osorio, Luis x5177
Subject: Neutra's 1958 Connell House



Dear Luis A. Osorio, Senior Planner:

It has been brought to my attention
the destruction of the Connell House.

I live in a Neutra House, built
the same period of time. Just this past week over 50
young architects visited my place, along with David Coffey's
Neutra home built during the 30's.

So, perhaps the Connell House needs repair like most houses.

I'm constantly repairing something, old rusty pipes, termite eaten wood. landscaping, old trees tend to need pruning...like us
humans...we need repair now and then. Soooo, save the Connell House.

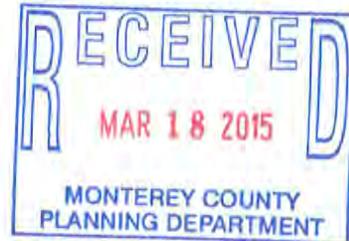
Thank you, Patricia Stockton Leddy.

Osorio, Luis x5177

From: lamprecht barbara [bmlamprecht@gmail.com]
Sent: Wednesday, March 18, 2015 9:45 AM
To: Osorio, Luis x5177
Subject: Connell House

18 March 2015

Luis A. Osorio, Senior Planner
Monterey County Resource Management Agency
Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901



Dear Mr. Osorio,

Since I co-wrote the nomination for the Connell House, I shall not repeat myself but wish to make one important point.

For those of us who are actively involved in the rehabilitation of historic properties, especially in Neutra houses as I and others are, the condition of the Connell House is in no way so deteriorated as to prevent its full rehabilitation. In fact, compared to many other houses designed by Richard Neutra; R.M. Schindler; and a host of the twentieth century's other major architects, the Connell House appears to have far fewer challenges than others which have looked far worse and which posed significant structural problems but that yet met with successful outcomes.

Many would relish such an opportunity because overall the house appears to be structurally sound, although investigation of course would need to be performed for accurate evaluations. Finishes and their substrates can be repaired or replaced.

What may appear to be dismaying and overwhelming to the uninitiated in rehabilitation is standard issue and even less so to those with experience and with eyes that see the surface and beyond. Many, as well, would welcoming the creative challenge of methodically and wisely applying the Secretary of the Interior's Standards for Rehabilitation to this superbly sited and handsome house.

Best regards,

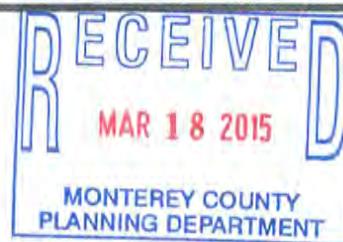
Barbara Lamprecht, M.Arch.

barbara lamprecht, m. arch.
550 e. jackson st.
pasadena ca 91104-3621

Lamprecht ArchiTEXTural
website: barbaralamprecht.com
e-mail: bmlamprecht@gmail.com
skype: b.lamprecht
mobile 626 264 7600

Osorio, Luis x5177

From: Raymond Neutra [raymondneutra@gmail.com]
Sent: Wednesday, March 18, 2015 10:55 AM
To: Osorio, Luis x5177; Sally Aberg
Subject: Connell House



Dear Mr. Osorio,

I am writing you about the EIR process regarding the Connell house in Pebble Beach. I write both as the son of its architect, Richard Neutra who remembers seeing the house under construction and as a former state official in charge of a large Environmental Health division of the California Department of Public Health.

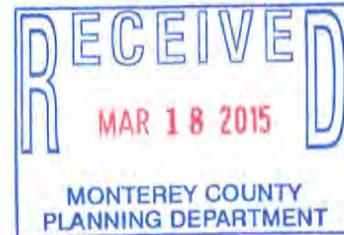
I am troubled that County of Monterey elected officials as well as responsible civil servants have allowed the current owner to flout her duties to safeguard this historically significant building and its surrounding vegetation in hopes that its deterioration will strengthen her case that it should be razed. Those of us who have made a career of public service have a duty to scrupulously see that the rules are followed. If we don't we can expect a public outcry. I urge Monterey to be exemplary in this contentious matter.

Sincerely yours

Raymond Richard Neutra MD Dr.PH

Osorio, Luis x5177

From: dana balkin [dana@resourcela.com]
Sent: Wednesday, March 18, 2015 3:34 PM
To: Osorio, Luis x5177
Subject: The Connell House



Dear Mr. Osorio,

I wanted to take a moment to voice my opinion in regards to the discussion of the Connell House designed by master architect Richard Neutra. I am outraged that such a thing is happening in Monterey County. The Connell House is a rare opportunity of this type of architecture and it should be preserved. It fits flawlessly into the landscape and should remain a part of Pebble Beach. Please deny the demolition permit.

Thank you,

Dana Balkin

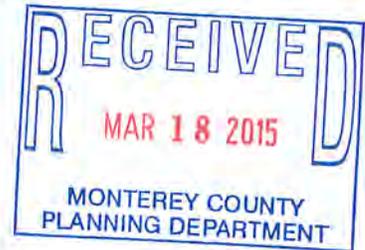
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Dana Balkin
Resource
t: 323 663 0500 m: 323 627 6077
e: dana@resourcela.com | w: resourcela.com

PAY ATTENTION
PAY ATTENTION
PAY ATTENTION
PAY ATTENTION
PAY ATTENTION
PAY ATTENTION
PAY ATTENTION

Osorio, Luis x5177

From: deCourcy, Sean@Parks [Sean.deCourcy@parks.ca.gov]
Sent: Wednesday, March 18, 2015 1:11 PM
To: Osorio, Luis x5177
Cc: Clovis, Meg x4913; Woodward, Lucinda@Parks
Subject: NOP Signal Hill LLC Single-Family Residence
Attachments: Signal Hill Demolition Project - OHP Comments.pdf



Mr. Osorio,

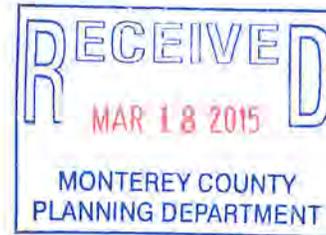
Thank you for including the California Office of Historic Preservation (OHP) in the environmental review process for the proposed Signal Hill LLC Single-Family Residence (proposed project). Please see the attached comment letter in response to the Notice of Preparation of and Environmental Impact Report. We have also sent a hard copy via U.S. mail.

If you have any questions, please feel free to contact me directly.

Sean de Courcy
State Historian II
Local Government & Environmental Compliance Unit
California Office of Historic Preservation
(916) 445-7042
(916) 445-7053 fax
Sean.deCourcy@parks.ca.gov

**OFFICE OF HISTORIC PRESERVATION
DEPARTMENT OF PARKS AND RECREATION**

1725 23rd Street, Suite 100
SACRAMENTO, CA 95816-7100
(916) 445-7000 Fax: (916) 445-7053
calshpo@parks.ca.gov
www.ohp.parks.ca.gov



March 18, 2015

Luis A. Osorio
Senior Planner
Monterey County Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901

Dear Mr. Osorio,

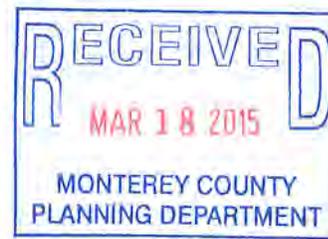
**RE: NOTICE OF PREPARATION OF AN ENVIRONMENTAL IMPACT REPORT FOR
THE SIGNAL HILL LLC SINGLE-FAMILY RESIDENCE**

Thank you for including the California Office of Historic Preservation (OHP) in the environmental review process for the proposed Signal Hill LLC Single-Family Residence Project (proposed project). Pursuant to the National Historic Preservation Act and the California Public Resources Code, the State Historic Preservation Officer (SHPO) and the OHP have a broad responsibility for the implementation of federal and state historic preservation programs in California. We have a long history working with the County of Monterey (Lead Agency) through our Certified Local Government Program. Our comments are offered with the intent of protecting historic and cultural resources, while allowing the County of Monterey to meet its program needs. The following comments are based on the information included in the Notice of Preparation of an Environmental Impact Report for the proposed project.

The proposed project site is a 2.1-acre residential parcel located above 17-Mile Drive, near the Cypress Point Golf Course. The proposed project will demolish the existing 3,299-square foot residential building, garage, and driveway that currently occupy the site, and construct a new 11,933-square foot single-family residential building and install 1,950-square feet of new hardscape. The existing building was originally designed by the eminent southern California architect Richard Neutra for the Connell family, and the residence was listed on the California Register of Historical Resources and formally determined eligible for listing on the National Register of Historic Places in 2014.

The National Register Nomination prepared for the 1170 Signal Hill Road (Connell House) in 2014 included this description of the residence:

[T]he Connell House is unequivocally an important example of the International Style, perfectly illustrating this design aesthetic within the context of the development of Modern architecture in Pebble Beach. Despite a small addition and various minor reversible alterations to some of the fenestration, it retains a high degree of historic integrity.



A historic resource for the purposes of CEQA is defined as “[a] resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources.” 1170 Signal Hill Road was listed in the California Register and formally determined eligible for listing in the National Register in 2014; therefore, the historic significance of the building is not in question.

A project will have a significant environmental impact if it causes a substantial adverse change to a historical resource (see CEQA Guidelines § 15064.5 (b)). A substantial adverse change includes demolishing or materially altering in an adverse manner those physical characteristics of a historical resource, that justify its eligibility for listing in the California Register. Demolition of 1170 Signal Hill Road is a significant impact to a historical resource that cannot be mitigated to a less than significant level.

Pursuant to CEQA Guidelines § 15126.6 the EIR should focus on a range of project alternatives that have the potential to lessen the significant environmental impacts of the proposed project. The alternatives discussed in the EIR should be capable of avoiding or substantially lessening the impact of demolition, even if the alternative would impede the project objectives or be more expensive than the proposed project (CEQA Guidelines § 15126.6(b)). Some alternatives to consider that have the potential to significantly reduce the impacts of demolition are 1) the no project alternative, 2) alternative site alternative, 3) adaptive reuse alternative, and 3) the rehabilitation and new construction on-site alternative. These should all receive adequate evaluation in the DEIR and include enough information for the Lead Agency to consider adopting the environmentally superior alternative.

Mitigation measures may help reduce the project’s impacts on historical resources, but the impact of demolition will still be significant. Only by exploring alternatives to demolition can the Lead Agency reduce the impact of the proposed project to a level that is less than significant.

We highly recommend the Lead Agency consider a project alternative that retains the historic property, and rehabilitates the building following *The Secretary of the Interior’s Standards for the Treatment of Historic Properties* (Kay D. Weeks and Anne E. Grimmer, U. S. Dept. of the Interior, 1995). This would be in keeping with the spirit and intent of the County’s General Plan which encourages historic preservation (Historic Resources Element), and the County’s historic preservation program, which has been reviewed and certified by the National Parks Service as a Certified Local Government historic preservation program.

The project will require grading and other ground disturbances as the result of construction activities; impacts to potential prehistoric and historic archeological resources should be anticipated and identified. We recommend that a research design and study, which may include some testing, be prepared as part of the DEIR so that if potential sites are identified they can be addressed before construction occurs. In addition, we recommend that the Lead Agency contact the Native American Heritage Commission, and any tribes with known ties to the project area, to determine if any

Luis A. Osorio
March 18, 2015
Page 3 of 3



known sacred sites are located in or near the project area, and also to identify most likely descendants in the event that cultural materials are encountered.

If the historic resource (existing residence) is demolished, the Lead Agency will be required to adopt a statement of overriding consideration. However, this statement does not alleviate the Lead Agency from the responsibility to adopt formidable mitigation measures that will lessen the environmental impact of demolition. Pursuant to CEQA Guidelines § 15126.4 (b)(1-2) in some circumstances recording a resource may reduce the impact of demolition to a less than significant level. For instance, recordation may suffice if the proposed project requires partial demolition of a secondary facade; however, when the proposed project calls for complete demolition, recordation will not reduce the impact to a less than significant level.

We recommend the Lead Agency consider adopting mitigation measures that have a public benefit component. Some mitigation measures to consider may include sponsoring surveys of similar resource types in other areas of the County, or repairs to similar resource types that are in-need of stabilization or restoration. As a condition to the proposed project, any mitigation measures should be fully funded and enforceable through a mitigation monitoring and reporting plan prior to the issuance of a demolition permit.

If you have questions, please contact Sean de Courcy of the Local Government and Environmental Compliance Unit, at (916) 445-7042 or at Sean.deCourcy@parks.ca.gov.

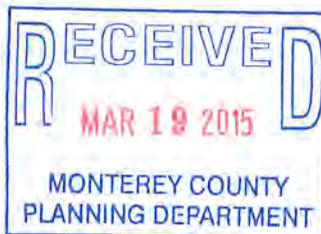
Sincerely,

A handwritten signature in black ink that reads "Carol Roland-Nawi, Ph.D." in a cursive style.

Carol Roland-Nawi, Ph.D.
State Historic Preservation Officer

CALIFORNIA COASTAL COMMISSION

CENTRAL COAST DISTRICT OFFICE
725 FRONT STREET, SUITE 300
SANTA CRUZ, CA 95060
PHONE: (831) 427-4863
FAX: (831) 427-4877
WEB: WWW.COASTAL.CA.GOV



March 19, 2015

Luis Osorio
Senior Planner
Monterey County Resource Management Agency – Planning Department
168 W. Alisal Street, 2nd Floor
Salinas, CA 93901

Subject: *Notice of Preparation for the Signal Hill LLC Single Family Residence (PLN100338) Draft Environmental Impact Report (SCH # 2015021054)*

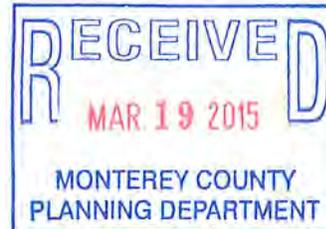
Dear Mr. Osorio:

Thank you for sending the Notice of Preparation (NOP) of a draft Environmental Impact Report (EIR) for the Signal Hill LLC residence (PLN100338) for our review. The proposed project involves demolition of a historic 4,125-square foot two-story single family residence and construction of a new 11,933-square foot two-story single family residence on a 2.165-acre site in the Signal Hill dunes area of the Del Monte Forest. Coastal Commission staff has provided comments to the County in the past on the coastal development permit (CDP) application for the project. The project site is within the County's CDP jurisdiction and within the Coastal Commission's CDP appeal jurisdiction (because the site is located between the first public road (Highway 1) and the sea). We would like to provide the following comments for consideration in the EIR analysis.

The NOP identifies impacts from development on the native dune habitat (considered to be environmentally sensitive habitat area, or ESHA) as potentially significant. The EIR should clearly identify and evaluate which portions of the site are ESHA. In general, the project is located within the southern extent of the Asilomar Dunes complex, and all undeveloped areas of the site are considered dune habitat, particularly if dune sand and native dune plants are present. The EIR should identify coverage amounts for existing paving and structural coverage and new paving and structural coverage, and identify how much new coverage (paving and structural) is proposed in undeveloped dune areas of the site.

The guiding land use policies and standards for development of the site are located in the Monterey County LCP (Del Monte Forest Land Use Plan (LUP), Del Monte Forest Implementation Plan, and Title 20). The thresholds of significance should include consistency with applicable policies and regulations, including the LCP. Applicable policies include LUP Policy 8, which states that "new land uses within ESHA shall be limited to those which are dependent on the resources therein" and "development should be sited and designed to prevent impacts that would significantly degrade the protected habitat." Policies specific to dune ESHA include LUP Policy 17, which states that "remnant native sand dune habitat...on Signal Hill...shall be preserved through scenic and conservation easement...", and LUP Policy 18,

Luis Osorio
Monterey County RMA – Planning Department
March 19, 2015
Page 2



which states that "uses of the remnant native sand dune habitat shall be limited to low-intensity scientific, educational, or recreational activities dependent on the resource..." In general, the Coastal Commission views new non-resource dependent development in ESHA to be inconsistent with these policies. The EIR should evaluate the project's footprint against these policies to determine significance.

The NOP also identifies impacts from the proposed development on views as potentially significant. Like with ESHA, the EIR should treat consistency with applicable land use policies and regulations as a significance threshold for visual resources. The site is highly visible from 17 Mile Drive and public vantage points along the shoreline in the vicinity of Fan Shell Beach, and is located in an identified view area from 17 Mile Drive on the LUP Visual Resources map (Figure 3). The scenic and visual resources policy guidance statement of the LUP states that it is the objective of the plan to "protect the area's magnificent scenic and visual resources, to avoid incompatible development, and to encourage improvements and facilities which complement the natural scenic assets..." Among other things, LCP policies require that "Views from... 17 Mile Drive corridor, and of ridgelines as seen from the public viewing areas identified on Figure 3 shall be protected as resources of public importance, and development that could adversely impact such views shall only be allowed where it protects, preserves, and if feasible enhances, such scenic resources" (LUP Policy 47). The EIR should evaluate the proposed project design, siting, size, bulk and massing against these policies to determine significance.

Finally, the Alternatives analysis in the EIR should include an alternative that results in full consistency with all LCP requirements, particularly for ESHA and visual resources.

Thank you for the opportunity to provide comments on the NOP for this EIR. If you have any questions or would like to discuss the project or these comments, please feel free to contact me at (831) 427-4863 or katie.butler@coastal.ca.gov.

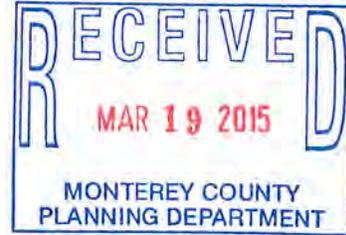
Regards,

Katie Butler
Coastal Planner
Central Coast District Office

cc: State Clearinghouse

Osorio, Luis x5177

From: Nancy Runyon [nrunyon@sbcglobal.net]
Sent: Thursday, March 19, 2015 10:02 AM
To: Osorio, Luis x5177
Subject: Save the Connell House
Attachments: ltr Osorio 3.19.15.docx



Luis A. Osorio, Senior Planner
Monterey County Resource Management Agency
Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901

Dear Mr. Osorio,

It is distressing to hear that our historic and architectural gems, such as the Connell House in Pebble Beach are not respected and appreciated. It is so unfortunate when they are purchased by someone who disregards their significance.

Please do not allow someone, just because they are wealthy, to disregard the laws that protect all the citizens of California. We see this insensitivity and greed way too often. Allowing the owner of the Connell House to demolish or create "demolition by neglect" of an important resource will be a crime against the people of California and set a very bad precedent for continuing these crimes in the future.

Please do whatever possible to uphold the laws of CEQA and NEPA and preserve this asset.

Thank you,

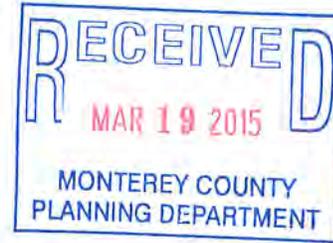
Nancy Runyon

Nancy Runyon
nancy@nancyrunyon.com
www.nancyrunyon.com
1195 Hoffman Avenue
Monterey, CA 93940 USA
(831) 649-8132 home/office
(831) 915-4546 mobile

Nancy Runyon
1195 Hoffman Avenue
Monterey, CA 93940

March 19, 2015

Luis A. Osorio, Senior Planner
Monterey County Resource Management Agency
Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901



Dear Mr. Osorio,

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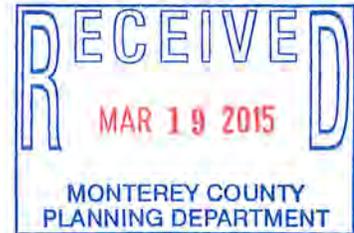
Thank you,

Nancy Runyon

Nancy Runyon

Osorio, Luis x5177

From: Frances Paley [francespaley@yahoo.com]
Sent: Thursday, March 19, 2015 6:39 PM
To: Osorio, Luis x5177
Subject: Neutra House



FRANCES & ALBERT PALEY

11 Prince Street
Rochester, New York 14607

26180 Valley View Avenue
Carmel, CA 93923

585-490-3676
585-750-7898
831-624-1586

March 19, 2015

Dear Mr. Osorio:

My husband and I are writing with reference to the EIR process regarding the Connell house in Pebble Beach.

We are writing as residents of Carmel and Rochester, New York, where for 40 years we have had the privilege of devoting time to preservation and community matters.

In Rochester, New York we engaged in a 10 year rehabilitation of one of the most historic properties in the city. It is a 3 story, 9,000 sq.ft. carriage house built by a founder of Western Union on his family estate. This property was derelict and in disrepair and is now a showpiece for the future. It is on many historical and cultural tours for visitors to the City and Rochesterians as well.

We are not wealthy, we did this while working full time and committing to the project to its completion.

In addition, in Rochester, I have been working with Preservation and Landmark Associations as well as various neighborhood groups for 35 years to try to insure the safety and future of other properties, many of which would have been torn down in those years. I can say I am proud that many homes are still standing and in good repair due to these efforts. They are seen as the "gems" that were handed down from the turn of the 20th Century.

In Carmel, we purchased a property that, although not Landmark status, has a history of an important owner who was aware of our historical preservation efforts in Rochester. Due to this fact, we were able to purchase it at an affordable price on the promise that we would not tear it down. In fact, even though we found it was unstable due to termite issues over the years, we rebuilt it exactly as it was as we had promised them. It was an expensive promise to keep, as naturally, it would have been simpler to tear it down and do something else or sell the property and just move on.

If one is privileged to own and live in an historic property, there is an unwritten contract that calls for respect and care for preservation. It is not simply some house that can be treated casually. To do so is arrogant and reflects a complete lack of respect.

The owner of the Connell home must be stopped from razing a Neutra house. Neutra is one of the most esteemed architects who designed historically important buildings. Any community should count itself lucky to have one of his homes.

Please, consider the importance of this house and do what is right to protect it. Sadly, it is only after losing something of this quality that regret sets in and then it is too late. Although not a large home by Pebble Beach standards, it is an important home and cultural landmark and icon. Without it Pebble Beach would be gravely diminished.

Very truly yours,

Frances Paley

Past Faculty Member and Administrator
College of Imaging Arts and Sciences
Rochester Institute of Technology
Rochester, New York

Owner Paley Studios
Rochester, New York

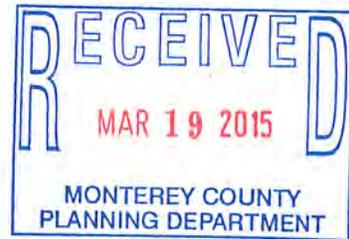
Albert Paley

Endowed Chair, College of Imaging Arts and Sciences
Rochester Institute of Technology
Rochester, New York

Owner Paley Studios
Rochester New York

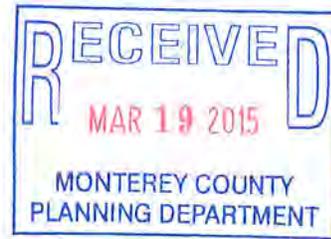
Osorio, Luis x5177

From: karen lesney [kelesney@sbcglobal.net]
Sent: Thursday, March 19, 2015 11:14 PM
To: Osorio, Luis x5177
Subject: connel house support
Attachments: 2015 mbm_Neutra ltr EIR_kelesney.pdf



mr osorio
please find attached letter of support for saving the connell house.
thank you
karen

karen e LESNEY : assoc aia : 831.424.2551
mbm : monterey bay modernism
Think before you print.



March 19, 2015

Luis A. Osorio, Senior Planner
Monterey County Resource Management Agency
Planning Department

168 West Alisal Street, 2nd Floor
Salinas, CA 93901

Re: **Connell House**
1170 Signal Hill Road, Pebble Beach
PLN100338

Dear Mr. Osorio,

Having been at the forefront of the community of local architectural curators of Monterey modernism who lead a global petition to 'Save The Connell House' by 20th Century Modern Master Architect Richard Neutra, I find it now troubling to discover that disregard of a now historically significant residence happening on many levels.

It is not too late to reverse what has seemingly become the blind allowance of property mismanagement via disregard of the home's historic building envelope and environmental scarring.

A perceived neglect by the Owner and lack of oversight/manpower by the County should not give cause to permit its demolition. These areas of the home were well within rehabilitation and/or restoration at the beginning of our concerns – and remains as such. It should also be noted that it still possesses the rightful protection of its CEQA statutes.

Let not the dialogue that has pushed back our efforts be the power that pushes the pen to deem this property beyond repair. It still remains a significant historic mid-century building.

The county, community and country deserve to have this architectural landmark home as part of its continuing heritage. Thus, the preservation of this home is vital in providing both a litmus by which our local residents can look to the county as an ally in protecting our natural and manmade resources.

Sincerely,

karen e Lesney : asso aia : 831.4242551
mbm: monterey bay modernism
founder

on behalf of:
local curators of mbm : monterey bay modernism

www.montereybaymodernism.blogspot.com

Osorio, Luis x5177

From: Norrisdesignsetc@aol.com
Sent: Thursday, March 19, 2015 2:14 PM
To: Osorio, Luis x5177
Cc: norrisdesignsetc@aol.com
Subject: Connell House by Neurtra, one more in support of it's preservation

Luis,

Please add my name to the list of those supporting strong County enforcement of CEQA and the County's requirement for owners' maintenance of registered historic properties in County jurisdiction, in particular the Connell House by Neurtra in Pebble Beach.

Such structures enrich our culture and their preservation shows great respect for their artistry and our posterity.

With the Mills Act available, she could have a fine and relatively inexpensive property. It could be a gem.

But that notwithstanding, I hope the current owner can recoup her costs, but I think she needs to sell. Given the poor stewardship she's shown and the unpermitted tree removal and grading, she obviously doesn't respect the property, County regulations, or the community.

Sincerely,

Mark Edwin Norris, Designer
and Permit Expediter
(831) 424-2114

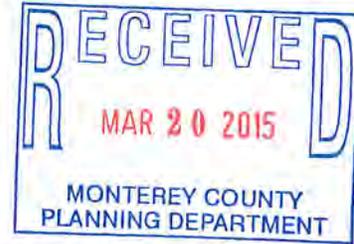
www.NorrisDesignsEtc@aol.com
<http://www.facebook.com/pages/Norris-Designs-Etc/334065919973307>
<http://www.linkedin.com/pub/mark-edwin-norris/33/4a8/5b2>

please consider the environment before printing this email
this office does not necessarily endorse whatever appears below this line.



Osorio, Luis x5177

From: Gina Pompey [gina@alombardolaw.com]
Sent: Friday, March 20, 2015 12:13 PM
To: Novo, Mike x5192
Cc: Osorio, Luis x5177; sam@ptllc.com
Subject: Mehdipour/Signal Hill LLC (PLN100338)
Attachments: L-Novo 3.20.15.pdf



Mr. Novo:

Attached please find a letter from Mr. Lombardo regarding the above-referenced matter.

Thank you.

Gina Pompey
Assistant to Anthony L. Lombardo
ANTHONY LOMBARDO & ASSOCIATES
A Professional Corporation
450 Lincoln Avenue, Suite 101
Salinas, CA 93901
Phone (831) 751-2330
Fax (831) 751-2331
Email gina@alombardolaw.com

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ANTHONY LOMBARDO & ASSOCIATES
A PROFESSIONAL CORPORATION

ANTHONY L. LOMBARDO
KELLY MCCARTHY SUTHERLAND
DEBRA GEMGNANI TIPTON

450 LINCOLN AVENUE, SUITE 101
SALINAS, CA 93901
(831) 751-2330
FAX (831) 751-2331

March 20, 2015

1599.001

Mr. Mike Novo, Planning Director
Monterey County RMA
168 West Alisal, 2nd Floor
Salinas, CA 93901

RE: Comments on NOP for Mehdipour/Signal Hill LLC (PLN100338)

Dear Mike:

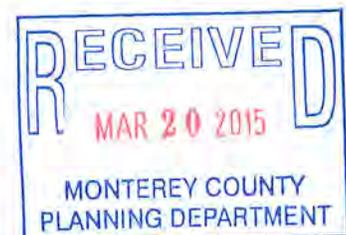
I represent Mr. and Mrs. Sam Reeves the immediate neighbor to the south of the Mehdipour property. As you know, they have raised their concerns with this project on many occasions and now concerned about the NOP's failure adequately describe the project and disclose its potential impacts. Without that disclosure it is impossible for agencies or the public to fully understand the project or to provide meaningful comments on the NOP.

Specifically:

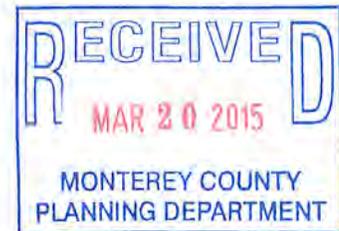
Baseline: The baseline conditions from which the project's significant impacts will be assessed must be clearly described. Under normal circumstances that baseline date would be when the application was determined to be complete (August 13, 2013). However, based on the clear and substantial record of Ms. Mehdipour's violations, starting with tree removal, continuing on the multiple violations of the building codes and obvious efforts to demolish the Connell House by neglect it is our opinion that the baseline date should be November 8, 2010, the date the application was filed. The Connell House, as documented in the County's files, was very livable. Ms. Mehdipour's own statements have been that she and her family used the house. The house was rented to others. There is a March 2012 report from Covell Construction in the County's file identifying what amount to maintenance deficiencies, but the report does not in any way indicate the house was not in a livable condition or had any significant structural defects.

The EIR should disclose that there had been illegal tree removal and disruption of the dune habitat prior to November 2010 and discuss the significance of the disruption of the habitat and loss of mature trees to the Connell House setting. Based on GoogleEarth aerials, timeframe of those violations is April-June, 2009.

The current condition of the house, which is clearly a result of Ms. Mehdipour's failure to maintain the house and property, even after being cited by the County, should not be used as the baseline for the EIR.



Mr. Mike Novo
March 20, 2015
Page 2



Historic Significance: The EIR does not need to assess the historical significance of the Connell House. That question has been decided. The Connell House has been determined by the Secretary of the Interior to be eligible for listing on the National Register of Historic Places. The Connell House is listed on the State Register of Historic Places. The EIR does not need to further review or discuss that question.

The EIR should discuss in detail the significant adverse effect of the loss of the Connell House and how, realistically, that impact of that loss cannot be mitigated to an insignificant level. And based on that, the EIR should then focus on what factors, if any, could lead to a finding of overriding considerations.

The EIR should identify alternatives for the Connell House including renovation, rehabilitation and additions which could be accomplished consistent with the Secretary of the Interior's Guideline.

Consistency with the Del Monte Forest Land Use Plan: The California Coastal Commission staff weighed in heavily on this project and its inconsistency with the DMFLUP. While the DMFLUP has been amended since, the Plan did not change in a way as to change or reduce those consistency issues. The EIR's consistency analysis should be significantly guided by the Coastal Commission comments in light of the current DMFLUP.

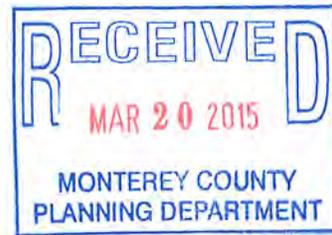
ESHA: The property is a dune habitat and therefore ESHA pursuant the terms of the past and current DMFLUP. The EIR should recognize that the only available area for development without disruption of ESHA is the area currently covered by buildings, asphalt or concrete. Any expansion of the building area will result in the loss of the ESHA and that impact should be fully analyzed and assessed. That assessment should be done based on the property condition prior to the illegal tree removal and destruction of dune habitat.

The EIR should also discuss the Board of Supervisors' decision to approve a permit for "restoration" and then independently determine if the restoration has been carried out pursuant to the Board's decision. Most importantly the EIR should assess if the work that was done has or can meet the performance criteria of providing a tree canopy to approximate the 2007 tree canopy and provide 50% dune coverage with native species (Board of Supervisors Resolution 13-021).

Neither the NOP nor the project description indicates there will be tree removal. It is therefore assumed there will be no tree removal for this project. The EIR should address if the house as designed can be built without the removal or ultimate loss of the replacement trees or any other trees on the property.

Public Viewshed and Neighborhood Character: The building site is located on a dune in clear view of Seventeen Mile Drive and riding and hiking trails to the east. Residences along Signal Hill are predominantly low, single level designs in the 3-4,000 SF range. The impact of a new

Mr. Mike Novo
March 20, 2015
Page 3



three level, 12,000 SF house, which has been identified as being ridgeline development, on the public viewshed from Seventeen Mile Drive, the public trails and on the neighborhood should be fully assessed.

Sincerely,

A handwritten signature in black ink, appearing to read "Anthony L. Lombardo".

Anthony L. Lombardo
ALL/gp

cc: Mr. Sam Reeves
Luis Osorio, Senior Planner

APPENDIX B

Del Monte Forest Area Past and Present Projects

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN040156 PLN010379	HAKIM-BABA YAGHOOB TR HAKIM TRUST	3/15/2004 8/17/2001	Permit Amendment Combined Development Permit	008-181-008-000 008-181-008-000	MINOR AND TRIVIAL AMENDMENT TO EXISTING PERMIT (PLN010379) CONTINUED FROM 7/25/02. COMBINED DEVELOPMENT PERMIT CONSISTING OF A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY DWELLING WITH AN ATTACHED TWO-CAR GARAGE (4,251 SQUARE FEET), A COASTAL DEVELOPMENT PERMIT FOR THE REMOVAL OF 30 MONTEREY PINE TREES AND A DESIGN APPROVAL. THE PROPERTY IS LOCATED AT MORA LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-181-008-000), ON THE NORTHEAST CORNER OF MORA LANE AND ATAJO WAY, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080010	SEATON JACQUELINE SUCCS-TR &	1/11/2008	WAV	008-101-022-000	WAIVER OF COASTAL DEVELOPMENT PERMIT TO ALLOW FOR THE REMOVAL OF 2 PROTECTED MONTEREY PINES PINUS RADIATA MEASURING 17 AND 31-INCHES IN DIAMETER THAT ARE STRUCTURALLY UNSTABLE AND REPRESENT IMMEDIATE HAZARDS. THE PROPERTY IS LOCATED AT 4043 COSTADO ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-101-022-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080007 PLN080009	SHULMAN JAY S & LOUISE SHULMAN T EUBANKS GORDON & RONDA	1/11/2008 1/11/2008	WAV WAV	008-293-028-000 008-293-004-000	WAIVER OF COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF A PROTECTED TREE WAIVER OF A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 1 MONTEREY PINE TREE
PLN070428	LEVETT DENNY & KAREN	8/13/2007	Combined Development Permit	008-201-002-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A 1,586 SQUARE FOOT SINGLE-FAMILY HOUSE AND AN ATTACHED 2,220 SQUARE FOOT 10-CAR GARAGE WITH A GRAVEL DRIVEWAY AND 355 SQUARE FOOT PATIO 2) COASTAL DEVELOPMENT PERMIT TO CONVERT AN EXISTING HISTORIC 2-STORY HOUSE TO A CARETAKER'S UNIT WITH EXCEPTIONS FOR HEIGHT (25 FEET) AND FLOOR AREA (1,242 SQUARE FEET); 3) COASTAL DEVELOPMENT PERMIT TO ALLOW AN EXISTING HISTORIC GUESTHOUSE ABOVE A GARAGE WITH AN EXCEPTION TO FLOOR AREA (502 SQUARE FEET); AND 4) DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1600 VISCAINO ROAD, PEBBLE BEACH (APN 008-201-002-000), CARMEL LAND USE PLAN.
PLN080055	COOPER WILLIAM R & SUSAN S TR	1/31/2008	Coastal Development Permit	008-222-019-000	COASTAL DEVELOPMENT PERMIT (PER 20.64.020.C.11) AND DESIGN APPROVAL FOR THE CONSTRUCTION OF A 399 SQUARE FOOT GUESTHOUSE OVER AN EXISTING ATTACHED GARAGE, INCLUDING PARTIAL DEMOLITION OF THE EXISTING GARAGE. THE PROPERTY IS LOCATED AT 1499 BONIFACIO ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-222-019-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080079	CHARLES GLEN & MARY ANN TRS	2/15/2008	Administrative Permit	008-401-015-000	COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL TO ALLOW A 451 SQUARE FOOT FIRST-FLOOR KITCHEN ADDITION TO AN EXISTING SINGLE FAMILY DWELLING. COLORS AND MATERIALS TO MATCH EXISTING. THE PROPERTY IS LOCATED AT 3222 WHITMAN PLACE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-401-015-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080227	IGLEHEART ROBERT V & DONNA S TRS	5/12/2008	Combined Development Permit	008-233-001-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) COASTAL ADMINISTRATIVE PERMIT FOR THE CONSTRUCTION OF A 342 SQUARE FOOT UPPER LEVEL ADDITION AND A 342 SQUARE FOOT LOWER LEVEL ADDITION TO AN EXISTING 2,272 SQUARE FOOT SINGLE FAMILY DWELLING WITH AN EXISTING 474 SQUARE FOOT ATTACHED GARAGE, INCLUDING 25 CUBIC YARDS OF CUT AND ZERO CUBIC YARDS OF FILL; 2) COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE; AND 3) DESIGN APPROVAL (DA070267). THE PROPERTY IS LOCATED AT 3884 RONDA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-233-001-000), DEL MONTE FOREST AREA, COASTAL ZONE.

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PLN080340	MORGAN MICHAEL C & CHRISTINE R T	7/11/2008	Permit Amendment	008-371-016-000	MINOR AND TRIVIAL AMENDMENT OF A PREVIOUSLY APPROVED PERMIT PLN060295, AS AMENDED IN PLN070198, TO ALLOW CHANGES TO THE IMPERVIOUS SURFACE AREAS WITHIN THE PESCADERO WATERSHED INCLUDING USING PERVIOUS MATERIALS FOR DRIVEWAY CONSTRUCTION (4,984 SQUARE FEET) AND CONSTRUCTION OF NEW LANDSCAPE WALLS (1,081 SQUARE FEET) NEW PATIOS, AND WALKWAYS (2,810 SQUARE FEET) AND APPROXIMATELY 600 CUBIC YARDS OF GRADING, RESULTING IN A NET REDUCTION OF 845 SQUARE FEET OF IMPERVIOUS AREA. THE PROPERTY IS LOCATED 1667 CRESPI LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-371-016-000), DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.
PLN010326	THE VILLA DEL MAR SUB TRUST	7/19/2001	Combined Development Permit	008-491-010-000	Combined Development Permit consisting of a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (indigenous Monterey cypress habitat); and a Coastal Administrative Permit to allow 2,422 sq. ft. of additions to the basement, main floor, and second floor of an existing 7,581 sq. ft. two-story single family dwelling; and Design Approval. The property is located at 3196 Seventeen Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-010-000), Del Monte Forest area, Coastal Zone.
PLN080221	HARLAN ALAN J & MICHAEL D GINSBERG TRS	5/2/2008	Permit Amendment	008-491-010-000	MINOR AND TRIVIAL AMENDMENT TO A PREVIOUSLY APPROVED COMBINED DEVELOPMENT PERMIT (PLN010326) TO AMEND FLOOR PLAN CONFIGURATION ON EACH OF THREE (3) FLOORS. THIS REVISION WILL AFFECT THE FLOOR PLAN ON THE THREE LEVELS. THE BASEMENT FLOOR PLAN WILL BE SQUARED OFF INSTEAD OF HAVING A HALF CIRCLE EXTENSION WALL, WHICH WILL DECREASE THE COVERAGE BY 91 SQ. FT. THE FIRST FLOOR, THE LIVING ROOM WILL NOT HAVE A TERRACE BUT INSTEAD ENCLOSE THE ADDITIONAL SQ. FT. CREATED BY THE BASEMENT. THIS WILL INCREASE THE SIZE OF THE LIVING ROOM BY 146 SQ. THE SECOND FLOOR MASTER BEDROOM WILL REMAIN THE SAME SIZE AS PERMITTED, BUT A CLOSET WILL BE ADDED. THE PROPERTY IS LOCATED AT 3196 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-491-010-000), DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.
PLN060238	DEL MONTE FOREST FOUNDATION INC	4/7/2006	Coastal Development Permit	008-021-008-000	COMBINED DEVELOPMENT PERMIT CONSITING OF: 1) COASTAL DEVELOPMENT PERMIT AND DESIGN APPROVAL TO ALLOW A 105 SQUARE FOOT ADDITION TO AN EXISTING LEGAL NON-CONFORMING RESIDENCE AND AN INTERIOR REMODEL (STAIRWAY, BATHROOM, POWDER ROOM, LIVING ROOM AND KITCHEN); AND 2) COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 100 FEET OF AN ENVIRONMENTALLY SENSITIVE HABITAT. THE PROPERTY IS LOCATED ON SPYGLASS HILL ROAD, PEBBLE BEACH (AKA 1153 THE DUNES, (ASSESSOR'S PARCEL NUMBER 008-021-008-000) , COASTAL ZONE.
PLN080410	ROBERT LOUIS STEVENSON SCHOOL	9/4/2008	Administrative Permit	008-022-023-000	COASTAL ADMINISTRATIVE PERMIT FOR THE CONSTRUCTION OF A 281 SQUARE FOOT BATHROOM FACILITY AND A 1,745 SQUARE FOOT DECK WITH A RENOVATION TO AN EXISTING PARKING AREA FOR COMPLIANCE WITH HANDICAP PARKING REQUIREMENTS; 2) A WAIVER TO ALLOW THE REMOVAL OF 7 HAZARDOUS AND DISEASED MONTEREY PINES RANGING IN SIZE BETWEEN 7, 8, 12, 21, 25, AND 35 INCHES IN DIAMETER MEASURED AT BREAST HEIGHT (DBH) AND ONE 6 & 11 INCH DOUBLE STEMMED COAST LIVE OAK AT DBH; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 3152 D FOREST LAKE ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-022-023-000), DEL MONTE FOREST LANDS USE PLAN.

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PLN080369	CLAREMONT PROFITS LIMITED	7/31/2008	Administrative Permit	008-302-014-000	COASTAL ADMINISTRATIVE PERMIT FOR THE CONVERSION OF 500 SQUARE FOOT EXISTING GARAGE TO MEDIA ROOM REMOVAL OF A 128 SQUARE FOOT STORAGE SHED, AND THE CONSTRUCTION OF A NEW 851 SQUARE FOOT ATTACHED THREE-CAR GARAGE AND A 775 SQUARE FOOT ADDITION TO THE UPPER FLOOR FOR A BEDROOM SUITE WITH SITTING AREA AND BATHROOM TO AN EXISTING TWO-STORY SINGLE FAMILY DWELLING; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1277 PADRE LANE, PEBBLE BEACH. (ASSESSOR'S PARCEL NUMBER 008-302-014-000), DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.
PLN090028	SAWYER JOSEPH D & JEAN A SAWYER	1/22/2009	Minor and Trivial Amendment	008-171-042-000	MINOR AND TRIVIAL AMENDMENT TO ALLOW CONVERSION OF EXISTING BUILDING SPACE FROM UNIMPROVED CRAWL SPACE TO LIVING AREA IN THE LOWER LEVEL OF AN APPROVED SINGLE FAMILY RESIDENCE RESULTING IN OF AN INCREASE IN THE FLOOR AREA RATIO FROM 16 PERCENT TO 20 PERCENT AND APPROVAL TO ADD A FIREPLACE AND WINDOW IN THE SOUTH ELEVATION. PROJECT IS LOCATED AT 3106 FLAVIN LANE, PEBBLE BEACH. (APN 008-171-042-000) DEL MONTE FOREST, COASTAL ZONE
PLN080372	MORGAN LESLIE C & BETTY F MORGAN	8/1/2008	Combined Development Permit	008-351-033-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF 1) A COASTAL ADMINISTRATIVE PERMIT FOR THE CONSTRUCTION OF A 820 SQUARE FOOT SECOND STORY ADDITION TO AN EXISTING 5,000 SQUARE FOOT RESIDENCE WITH AN ATTACHED GARAGE; 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE; AND 3) DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1516 RIATA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-351-033-000), DEL MONTE FOREST, COASTAL ZONE.
PLN080514	BROWN LENORE A & CHARLES W TRS	11/12/2008	Variance	008-521-003-000	A VARIANCE TO ALLOW A 108 SQUARE FOOT ADDITION TO AN EXISTING 3,267 SQUARE FOOT SINGLE FAMILY RESIDENCE RESULTING IN AN INCREASE IN ALLOWABLE FLOOR AREA RATIO FROM 88.6% TO 91.6% IN THE MDR ZONING DISTRICT; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 3307 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-521-003-000), DEL MONTE FOREST, COASTAL ZONE.
PLN080515	MONTGOMERY WILLIAM ET AL	11/13/2008	Variance	008-551-009-000	VARIANCE TO ALLOW A REMODEL AND ADDITION (178 SQ FT) TO AN EXISTING SINGLE FAMILY DWELLING RESULTING IN AN INCREASE IN ALLOWABLE FLOOR AREA RATIO FROM 62.1 % TO 64.9% IN THE MDR ZONING DISTRICT; AND A DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 3301 17 MILE DRIVE #18, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-551-009-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080522	LOEST GARY E & LAURA A	11/18/2008	Combined Development Permit	008-341-014-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF 1) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING 1,110 SQUARE FOOT SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW 4,917 SQUARE FOOT, 2-STORY SINGLE FAMILY DWELLING INCLUDING A 476 SQUARE FOOT GARAGE ATTACHED BY A 255 SQUARE FOOT PORTE COCHERE AND APPROXIMATELY 750 CUBIC YARDS OF GRADING (500 CUBIC YARDS CUT/250 CUBIC YARDS FILL); 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT ON SLOPES GREATER THAN 30%; AND 3) A DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1508 BONIFACIO ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER: 008-341-014-000) DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080493	PEBBLE BEACH COMPANY	10/29/2008	Coastal Development Permit	008-312-002-000	A COMBINED DEVELOPMENT PERMIT CONSISTING OF A COASTAL DEVELOPMENT PERMIT TO ALLOW THE EXPANSION OF AN EXISTING DRIVING RANGE AND A COASTAL DEVELOPMENT PERMIT TO ALLOW REMOVAL OF 33 MONTEREY PINE TREES AND GRADING CONSISTING OF 1146 CUBIC YARDS OF CUT AND 20 CUBIC YARDS OF FILL. THE PROPERTY IS LOCATED AT 3250 STEVENSON DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-312-002-000) DEL MONTE FOREST AREA, COASTAL ZONE.

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PLN080375	ROBERT LOUIS STEVENSON SCHOOL	8/4/2008	General Development Plan	008-022-020-000	COMBINED DEVELOPMENT PERMIT CONSISTS OF: 1) A COASTAL DEVELOPMENT PERMIT, GENERAL DEVELOPMENT PLAN, AND DESIGN APPROVAL TO ALLOW THE ADDITION OF 4,343 SQUARE FEET TO THE EXISTING DOUGLAS HALL ADMINISTRATION BUILDING WITH DETACHED GARAGE; ADD 7,948 SQUARE FEET TO THE EXISTING CASCO DORMITORY; RELOCATE THE SCHOOLS MAIN ENTRY OFF OF FOREST LAKE ROAD AND RELOCATING PARKING AREAS FOR DOUGLAS HALL AND CASCO DORMITORY; INSTALL UP TO 4 TEMPORARY MODULAR UNITS TO BE UTILIZED AS OFFICES AND DORMITORY ROOMS INCLUDING 42 TEMPORARY PARKING SPACES FOR ADMINISTRATION STAFF, RESIDENTS AND STUDENTS DURING CONSTRUCTION; ALLOW THE PROPOSED ADDITIONS TO AN EXISTING HISTORIC STRUCTURE (DOUGLAS HALL); 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 23 MONTEREY PINES RANGING IN SIZE FROM 6 TO 29 INCHES IN DIAMETER; GRADING OF 2,200 CUBIC YARDS (1,900 CUBIC YARDS OF CUT AND 300 CUBIC YARDS OF FILL); 3) A COASTAL DEVELOPMENT PERMIT FOR DEMOLITION OF AN EXISTING 2,973 SQUARE FOOT DILAPIDATED STRUCTURE ON THE OPPOSITE SIDE OF FOREST LAKE ROAD FROM THE MAIN CAMPUS. THE STEVENSON SCHOOL IS LOCATED AT 3152 FOREST LAKE ROAD PEBBLE BEACH, (ASSESSOR'S PARCEL NUMBERS 008-022-003-000, 008-022-020-000, 008-022-023-000, AND 008-031-002-000) CENTRALLY LOCATED WITHIN THE PEBBLE BEACH AREA WITHIN THE DEL MONTE FOREST LAND USE PLAN AREA, COASTAL ZONE
PLN090184	PEBBLE BEACH COMPANY	5/21/2009	Combined Development Permit	008-401-010-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT FOR THE DEMOLITION OF A 2,700 SQUARE FOOT ACCESSORY STRUCTURE (MAINTENANCE BUILDING), AND 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE. THE PROJECT IS LOCATED AT 3213 WHITMAN LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-401-010-000), DEL MONTE FOREST, COASTAL ZONE.
PLN090160	SCHWAB CHARLES R & HELEN O SCHWA	5/5/2009	Minor and Trivial Amendment	008-403-002-000	MINOR AND TRIVIAL AMENDMENT TO A PREVIOUSLY APPROVED COMBINED DEVELOPMENT PERMIT (PLN980540) TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE AND A DESIGN APPROVAL TO ALLOW THE CONSTRUCTION OF A 540 SQUARE FOOT ATTACHED TRELIS WITH STONE COLUMNS AT THE SOUTHWEST CORNER OF AN EXISTING TWO STORY SINGLE FAMILY DWELLING. MATERIALS AND COLORS TO MATCH THE EXISTING RESIDENCE. THE PROPERTY IS LOCATED AT 3221 LIVE OAK MEADOW ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-403-002-000), DEL MONTE FOREST, COASTAL ZONE.

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PLN090130	BLACKSTOCK III	4/13/2009	Permit Amendment	008-481-010-000	AMENDMENT TO A PREVIOUSLY APPROVED COMBINED DEVELOPMENT PERMIT (PLN060328) AND APPLICATION (PLN070289). THIS AMENDMENT WILL RECOMBINE THE PROJECT COMPONENTS, SEPARATED BY THE ZONING ADMINISTRATOR ON MAY 31, 2007, AND WILL REDUCE THE OVERALL SIZE OF THE PROJECT. COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE REMODEL OF AN EXISTING 4,818 SQUARE FOOT TWO-STORY SINGLE FAMILY DWELLING WITH AN ATTACHED 676 SQUARE FOOT GARAGE, INCLUDING THE CONSTRUCTION OF 1,149 SQUARE FEET OF FIRST FLOOR ADDITIONS AND 2,764 SQUARE FEET OF SECOND FLOOR ADDITIONS, AND INCLUDING MODIFICATION OF THE EXISTING DRIVEWAY AND PATIO AREAS, AND THE CONSTRUCTION OF AN ATTACHED SEVEN (7) FOOT GARDEN WALL (140 LINEAR FEET); 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW THE CONSTRUCTION OF AN 850 SQUARE FOOT CARETAKER UNIT WITH AN 800 SQUARE FOOT ATTACHED GARAGE; 3) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A 425 SQUARE FOOT GUEST HOUSE, INCLUDING GRADING CONSISTING OF 290 CUBIC YARDS OF CUT AND 55 CUBIC YARDS OF FILL; 4) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT; 5) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE; AND 6) DESIGN APPROVAL. THE PROJECT IS LOCATED AT 1134 MADRE LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-481-010-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN090061	RACHLEFF ANDREW S & DEBRA S RACH	2/19/2009	Combined Development Permit	008-442-011-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT FOR THE CONSTRUCTION OF A 301 SQUARE FOOT SECOND STORY ADDITION TO AN EXISTING 5,323 SQUARE FOOT SINGLE FAMILY DWELLING, THE CONSTRUCTION OF A 518 SQUARE FOOT ACCESSORY STRUCTURE, AND THE DEMOLITION AND REMOVAL OF 1,363 SQUARE FEET OF IMPERVIOUS SURFACE COVERAGE; 2) A VARIANCE FROM THE PESCADERO WATERSHED STRUCTURAL AND IMPERVIOUS SURFACE COVERAGE LIMITATIONS TO ALLOW THE CONVERSION OF 1,363.2 SQUARE FEET OF IMPERVIOUS SURFACE COVERAGE TO 517.8 SQUARE FEET OF STRUCTURAL COVERAGE (NET REDUCTION OF 845.4 SQUARE FEET OF COVERAGE); AND 3) DESIGN APPROVAL. THE PROJECT IS LOCATED AT 3290 STEVENSON DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-442-011-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN080531	EDWARDS WILLIAM CLEVELAND TR	11/21/2008	Coastal Development Permit	008-471-013-000	COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE, AND A DESIGN APPROVAL FOR CONSTRUCTION OF TWO SIX-FOOT HIGH PILASTERS AT AN EXISTING DRIVEWAY ENTRANCE WITH LIGHT FIXTURES. MATERIALS CONSIST OF STONE VENEER UNITS AND DARK BRONZE LIGHT FIXTURES. THE PROPERTY IS LOCATED AT 3233 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-471-013-000), DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.
PLN090368	PARKMAN ROBERTSON TR ET AL	10/30/2009		008-231-013-000	Permit to allow the removal of 4 Monterey Pine trees damaged by a storm. The trees have been determined to be hazardous by Frank Ono and have received ratings ranging from 10 for one (1) tree to 11 for three (3) trees. Replacement of downed trees recommended by arborist is 1:1 ratio. The property is located at 1407 Lisbon Lane, Pebble Beach (Assessor's Parcel Number 008-231-013-000), Del Monte Forest Land Use Plan.
PLN060606	PARKMAN ROBERTSON TR ET AL	9/20/2006	Permit Amendment	008-231-013-000	Minor & Trivial Amendment to a Combined Development Permit (PLN050405) consisting of 1) Coastal Development Permit to construct a new 810 square foot caretaker's unit; 2) Coastal Development Permit to remove (4) four Monterey pine trees (two living, two dead). Minimal cut and fill is required (15 cu. yds. cut/ 15 cu. yds. fill); and 3) Design Approval. The property is located at 1407 Lisbon Lane, Pebble Beach (Assessor's Parcel Number: 008-231-013-000), Del Monte Forest Area, Coastal Zone.

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PLN090241	MAGOWAN MERRILL L TR ET AL	7/8/2009	Administrative Permit	008-351-022-000	COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL TO ALLOW THE CONSTRUCTION OF A 1,735 SQUARE FOOT ADDITION TO AN EXISTING 3,202 SQUARE FOOT SINGLE FAMILY DWELLING. THE ADDITION CONSISTS OF: 408 SQUARE FEET TO THE MAIN LEVEL (THE CONVERSION OF PORTIONS OF THE 481 SQUARE FOOT GARAGE TO A VESTIBULE, HALL, LAUNDRY ROOM, AND STORAGE), A NEW 773 SQUARE FOOT GARAGE, A NEW 965 SQUARE FOOT SECOND STORY (MASTER BEDROOM AND BATHROOM) WITH A NEW 70 SQUARE FOOT BALCONY, AND 538 SQUARE FEET OF IMPERVIOUS SURFACE. MATERIALS AND COLORS ARE TO MATCH EXISTING. THE PROPERTY IS LOCATED AT 1572 RIATA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-351-022-000), COASTAL ZONE.
PLN050149	GOODMAN (MRT INVESTMENT LTD)	3/9/2005	Combined Development Permit	008-361-008-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: A COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY DWELLING AND THE CONSTRUCTION OF A THREE-STORY 7,056 SQ. FT. SINGLE FAMILY DWELLING WITH AN ATTACHED 984 SQ. FT. GARAGE, 175 SQ. FT. WORKSHOP, PORCH, DECK, RETAINING WALLS, AND GRADING (APPROXIMATELY 758 CUBIC YARDS CUT/320 CUBIC YARDS FILL); A COASTAL DEVELOPMENT PERMIT FOR NATIVE TREE REMOVAL (6 COAST LIVE OAKS BETWEEN 12" AND 24" IN DIAMETER, 2 LANDMARK COAST LIVE OAKS, AND 1 LANDMARK MONTEREY PINE); AND A COASTAL DEVELOPMENT PERMIT FOR DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE. THE PROPERTY IS LOCATED AT 3191 PALMERO WAY, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-361-008-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN090197	YANSOUNI CYRIL J & JEANNE P YANS	5/28/2009	Combined Development Permit	008-162-003-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL FOR THE CONSTRUCTION OF A 66 SQUARE FOOT FIRST STORY ADDITION (ENCLOSED STAIRCASE) AND A 712 SQUARE FOOT SECOND-STORY ADDITION (BEDROOM, BATH, & CLOSETS) TO AN EXISTING TWO-STORY SINGLE FAMILY DWELLING; 2) A VARIANCE TO INCREASE THE PESCADERO WATERSHED BUILDING COVERAGE FROM 4,996 SQUARE FEET TO 5,062 SQUARE FEET AND TO REDUCE IMPERVIOUS SURFACE COVERAGE FROM 4,000 SQUARE FEET TO 3,934 SQUARE FEET (NO NET INCREASE); AND 3) A COASTAL DEVELOPMENT PERMIT FOR DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE. THE PROPERTY IS LOCATED AT 3220 MACOMBER DRIVE (ASSESSOR'S PARCEL NUMBER 008-162-003-000), IN THE PESCADERO WATERSHED AREA OF PEBBLE BEACH, DEL MONTE FOREST LAND USE PLAN.
PLN020401	HUNTER ANDREW M III	9/4/2002	Combined Development Permit	008-471-019-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL DEVELOPMENT PERMIT FOR THE CONSTRUCTION OF AN 850 SQ. FT. DETACHED CARETAKER'S UNIT; 2) A VARIANCE TO REDUCE THE REQUIRED REAR SETBACK FROM 50 FEET TO 20 FEET 6 INCHES; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1238 PADRE LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-471-019-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN090134	RAINS NEIL G & SHARON M BERG (JT	4/16/2009	Coastal Development Permit	008-071-018-000	COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF THREE (3) TREES: ONE PLANTED MONTEREY CYPRESS (26 INCHES DBH) AND TWO PLANTED MONTEREY PINE (28 AND 32 INCHES DBH). THE PROPERTY IS LOCATED AT 4133 SUNRIDGE ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-071-018-000), DEL MONTE FOREST AREA, COASTAL ZONE.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN090273	POPE MICHAEL C &	7/31/2009	Combined Development Permit	008-562-015-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT FOR A 488 SQUARE FOOT ADDITION, WHICH IS GREATER THAN 10% OF THE FLOOR AREA OF AN EXISTING 3,011 SQUARE FOOT SINGLE FAMILY DWELLING; 2) A COASTAL DEVELOPMENT PERMIT FOR DEVELOPMENT WITHIN 100 FEET OF AN ENVIRONMENTALLY SENSITIVE HABITAT; AND 3) DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1110 SPYGLASS WOODS DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-562-015-000), SOUTH OF WILDCAT CANYON ROAD, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN090334	ROBERT LOUIS STEVENSON SCHOOL	10/7/2009	Minor and Trivial Amendment	008-532-009-000	Minor & Trivial Amendment to amend a previously approved Combined Development Permit (PLN020257). The amendment would adopt a supplemental report to the Forest Management Plan to allow the removal of four additional Monterey Pine trees as prescribed by the forester. Trees numbered (10, 37, 98 and 99) range between 14 to 25 inches dbh and were determined to be dead or diseased and therefore a hazard to the adjacent residential structure. The property is located at 1225 Silver Court, Pebble Beach (Assessor's Parcel Numbers 008-532-009-000 and 008-532-008-000), at the intersection of Bristol Lane and Silver Court, Del Monte Forest area, Coastal Zone.
PLN070317	PACIFIC PENINSULA GROUP	6/15/2007	Combined Development Permit	008-401-002-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING 4,757 SQ. FT. SINGLE FAMILY DWELLING, PATIOS, DETACHED GARAGE, AND SHED; AND THE CONSTRUCTION OF A NEW THREE LEVEL 9,081 SQ. FT. SINGLE FAMILY DWELLING (2,612 SQ. FT. SUB-LEVEL) WITH ATTACHED GARAGE, AND 1,866 SQ. FT. OF PATIO, DRIVEWAY, AND RETAINING WALLS; 2) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A 657 SQ. FT. CARETAKER'S UNIT; 3) A DESIGN APPROVAL; 4) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT; AND 5) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN AN ARCHAEOLOGICAL BUFFER ZONE. GRADING WILL CONSIST OF APPROX. 1,490 CUBIC YARDS OF CUT AND 400 CUBIC YARDS OF FILL. THE PROPERTY IS LOCATED AT 1548 CYPRESS DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-401-002-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN040705	GREENAN ALICIA	11/15/2004	Administrative Permit	008-222-016-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF A COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL TO REPLACE AN EXISTING 1,403 SQUARE FOOT CARETAKER'S UNIT WITH AN 850 SQ. FT. SENIOR CITIZEN UNIT INCLUDING A 668 SQ. FT. TERRACE, EXERCISE SPA, AND 384 SQ. FT. ATTACHED GARAGE; VARIANCE TO EXCEED THE ALLOWABLE IMPERVIOUS SURFACE AND STRUCTURAL COVERAGE REQUIREMENTS IN THE PESCADERO WATERSHED. THE PROPERTY IS LOCATED AT 1515 BONIFACIO ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-222-016-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN050538	SHANKER ROY J & LINDA GIBSON	9/20/2005	Combined Development Permit	008-302-036-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF A COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL TO ALLOW CONSTRUCTION OF A 7,734 SQUARE FOOT TWO-STORY SINGLE FAMILY DWELLING WITH 445 SQUARE FOOT COVERED ENTRY, 1,547 SQUARE FOOT PORTE COCHERE WITH 936 SQUARE FOOT ATTACHED GARAGE; A COASTAL ADMINISTRATIVE PERMIT FOR AN 850 SQUARE FOOT DETACHED SENIOR CITIZEN UNIT; A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 45 MONTEREY PINE TREES (38 ARE 12 TO 24 INCHES IN DIAMETER AND 9 ARE OVER 24" IN DIAMETER); AND GRADING (650 CUBIC YARDS CUT/325 CUBIC YARDS FILL). THE PROJECT IS LOCATED AT 1306 PORTOLA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-302-036-000), DEL MONTE FOREST AREA, COASTAL ZONE.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN040574	BLUE GOOSE DEVELOPMENT LLC	9/3/2004	Administrative Permit	008-281-028-000	COASTAL ADMINISTRATIVE PERMIT TO DEMOLISH EXISTING SINGLE FAMILY DWELLING AND BUILD A NEW 10,085 SQUARE FOOT ONE STORY SINGLE FAMILY DWELLING WITH A 440 SQ. FT. SECOND STORY LIBRARY TOWER, AND ATTACHED FOUR CAR GARAGE; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1123 PORQUE LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-281-028-000), DEL MONTE FOREST, COASTAL ZONE.
PLN040374	ROMANS THOMAS E & JUDITH M ROM	6/15/2004	Combined Development Permit	008-101-001-000	COASTAL ADMINISTRATIVE PERMIT TO ALLOW A 424 SQ. FT. FIRST AND SECOND STORY ADDITION AND REMODEL TO AN EXISTING TWO-STORY SINGLE FAMILY DWELLING; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 4001 COSTADO ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-101-001-000), FRONTING ON AND WESTERLY OF COSTADO ROAD, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN060268	HEVRDEJS FRANK J	4/24/2006	Combined Development Permit	008-222-001-000	CONSIDER A COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL TO ALLOW THE CONSTRUCTION OF AN 849 SQUARE FOOT SENIOR CITIZEN UNIT WITH A 324 SQUARE FOOT PERMEABLE TERRACE; A REMODEL OF THE EXISTING SINGLE FAMILY DWELLING TO INCLUDE A 94 SQUARE FOOT ADDITION TO EXISTING TERRACE; THE ADDITION OF A 5 FOOT 6 INCH STONE AND WOOD FENCE LOCATED ON THE NORTHWEST SIDE OF THE PROPERTY; AND A VARIANCE TO EXCEED THE 4,000 SQUARE FOOT ALLOWABLE IMPERVIOUS SURFACE (4,715 SQUARE FEET PROPOSED) AND 5,000 SQUARE FOOT STRUCTURAL COVERAGE (7,235 SQUARE FEET PROPOSED) REQUIREMENTS IN THE PESCADERO WATERSHED. TOTAL COMBINED COVERAGE WAS REDUCED FROM 14,145 SQUARE FEET TO 11,950 SQUARE FEET. THE PROJECT IS LOCATED AT 3930 RONDA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-222-001-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN060487	WHITMAN PLACE LLC	7/27/2006	Combined Development Permit	008-401-007-000	CONTINUED FROM 5/31/07. COASTAL ADMINISTRATIVE PERMIT AND DESIGN APPROVAL FOR AN ADDITION IN EXCESS OF 10% OF THE FLOOR AREA (868 SQ. FT.) TO AN EXISTING 8,605 SQUARE FOOT SINGLE FAMILY RESIDENCE; AND A VARIANCE TO EXCEED STRUCTURAL COVERAGE LIMITS IN THE PESCADERO WATERSHED BY 4,473 SQUARE FEET. IMPERVIOUS SURFACE COVERAGE HAS BEEN REDUCED BY 11,234 SQUARE FEET FOR A TOTAL OF 3,191 SQUARE FEET. NO GRADING OR TREE REMOVAL IS PROPOSED. THE PROPERTY IS LOCATED AT 3221 WHITMAN PLACE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-401-007-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN070481	FRANKEL RUSSELL M & JULIA A	9/10/2007	Administrative Permit	008-461-013-000	COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A 1,504 SQUARE FOOT ADDITION TO AN EXISTING TWO-STORY SINGLE FAMILY DWELLING INCLUDING A 966 SQUARE FOOT SECOND STORY BEDROOM, SITTING ROOM AND TWO BATHROOM ADDITIONS, 513 SQUARE FEET OF PORCHES AND PATIOS ON PORTIONS OF 30% SLOPE OVER A NEW 538 SQUARE FOOT ATTACHED GARAGE, AND A SECOND DRIVEWAY WITH TWO-FOOT TALL RETAINING WALLS; AND GRADING (272 CU. YDS) AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 3249 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-461-013-000), DEL MONTE FOREST AREA.
PLN080037	PREVETT ROBERT J JR	1/28/2008	Combined Development Permit	008-191-025-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) COASTAL ADMINISTRATIVE PERMIT FOR ADDITIONS TOTALLING 883 SQUARE FEET TO AN EXISTING 3432 SQUARE FOOT SINGLE FAMILY DWELLING AND DESIGN APPROVAL, AND 2) COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF ONE MONTEREY PINE TREE (18 INCHES IN DIAMETER). THE PROJECT IS LOCATED WITHIN THE PESCADERO WATERSHED AND MEETS THE DEVELOPMENTS STANDARDS REQUIRED FOR THAT AREA. THE PROJECT IS LOCATED AT 4034 MORA LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-191-025-000) , DEL MONTE FOREST AREA.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN070137	JOHNSON CRAIG LEE & CHRISTINE	3/16/2007	Coastal Development Permit	008-453-021-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF FOUR OAK TREES (15 INCHES, TWO 14 INCHES AND 8 INCHES IN DIAMETER), AND A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING CARPORT AND GARAGE AND TO CONSTRUCT A 647 SQUARE FOOT GARAGE LOCATED NEAR AN EXISTING DRIVEWAY. THE EXISTING ASPHALT DRIVEWAY TO BE REPLACED WITH DECOMPOSED GRANITE PAVING. THE PROPERTY IS LOCATED AT 1470 PADRE LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-453-021-000), DEL MONTE FOREST AREA.
PLN070561	SIMPSON STANLEY S & WENDY S TR	10/29/2007	Administrative Permit	008-112-025-000	COASTAL ADMINISTRATIVE PERMIT TO ALLOW DRIVEWAY IMPROVEMENTS TO INCLUDE THE CONSTRUCTION OF RETAINING WALLS ON SLOPES IN EXCESS OF 30%; AND GRADING (99 CUBIC YARDS OF CUT). THE PROPERTY IS LOCATED AT 4041 LOS ALTOS DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-112-025-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN070613	LUCAS DONALD L & SALLY S LUCAS T	11/30/2007	EMRG	008-403-001-000	EMERGENCY PERMIT TO ALLOW THE INSTALLATION OF A CURTAIN DRAIN AND PIPE IN AN ARCHEOLOGICAL EASEMENT. THE PROJECT IS LOCATED AT 3217 LIVEOAK MEADOWS PEBBLE BEACH (008-403-001-000), DEL MONTE FOREST LAND USE PLAN AREA, COASTAL ZONE.
PLN090231	PB CYPRESS LLC	6/24/2009	Permit Amendment	008-455-007-000	THE MINOR & TRIVIAL AMENDMENT TO A COMBINED DEVELOPMENT PERMIT (PLN070607) CONSISTING OF: 1) COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE PARTIAL DEMOLITION AND MAJOR REMODEL OF AN EXISTING 4,481 SQUARE FOOT ONE-STORY SINGLE FAMILY DWELLING THAT INCLUDES A 489 SQUARE FOOT ADDITION RESULTING IN A 4,970 SQUARE FOOT ONE-STORY SINGLE FAMILY DWELLING AND ASSOCIATED GRADING (LESS THAN 100 CUBIC YARDS); 2) COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF ONE 48-INCH OAK TREE; 3) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE; 4) A VARIANCE TO EXCEED THE 4,000 SQUARE FOOT IMPERVIOUS COVERAGE LIMITATION IN THE PESCADERO WATERSHED AREA BY 3,234 SQUARE FEET, FOR A TOTAL IMPERVIOUS SURFACE AREA OF 7,234 SQUARE FEET (A REDUCTION OF 2,971 SQUARE FEET OF IMPERVIOUS SURFACE AREA FROM THE EXISTING IMPERVIOUS SURFACE AREA OF 10,205 SQUARE FEET); AND 5) DESIGN APPROVAL. THIS AMENDMENT IS TO ELIMINATE THE DEMOLITION OF THE EXISTING HOUSE AND CONSTRUCTION OF A NEW HOUSE AND TO ADD 489 SQUARE FEET TO THE EXISTING RESIDENCE. THE PROPERTY IS LOCATED AT 1476 CYPRESS DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-455-007-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN070607	PB CYPRESS LLC	11/28/2007	Combined Development Permit	008-455-007-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING 4,481 SQUARE FOOT SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW 5,936 SQUARE FOOT SINGLE FAMILY DWELLING INCLUDING AN ATTACHED GARAGE, A 936 SQUARE FOOT BASEMENT, AND ASSOCIATED GRADING (APPROXIMATELY 550 CUBIC YARDS CUT/ 420 CUBIC YARDS FILL) ; 2) COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF ONE 48 INCH OAK TREE; 3) COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN A CULTURAL RESOURCES BUFFER ZONE; 4) VARIANCE TO EXCEED THE 4,000 SQUARE FOOT IMPERVIOUS COVERAGE LIMITATION IN THE PESCADERO WATERSHED AREA BY 4,424 SQUARE FEET, FOR A TOTAL IMPERVIOUS SURFACE AREA OF 8,424 SQUARE FEET (REDUCED 1,781 SQUARE FEET FROM EXISTING IMPERVIOUS AREA OF 10,205 SQUARE FEET); AND 5) DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1476 CYPRESS DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-455-007-000), DEL MONTE FOREST AREA, COASTAL ZONE.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN090272	FELICITY LLC	7/30/2009	Permit Amendment	008-462-006-000	MINOR AND TRIVIAL AMENDMENT TO A PREVIOUSLY APPROVED COMBINED DEVELOPMENT PERMIT (PLN050706) CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT FOR THE DEMOLITION OF 2,577 SQUARE FEET OF AN EXISTING SINGLE FAMILY DWELLING AND DEMOLITION OF AN EXISTING 480 SQUARE FOOT DETACHED GUESTHOUSE, AND THE ADDITION OF 7,089 SQUARE FEET TO THE SINGLE FAMILY DWELLING, AND GRADING OF APPROXIMATELY 890 CUBIC YARDS OF CUT AND FILL; 2) A COASTAL DEVELOPMENT PERMIT FOR THE CONSTRUCTION OF AN 850 SQUARE FOOT DETACHED CARETAKER UNIT; 3) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 50 FEET OF A COASTAL BLUFF; 4) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE; 5) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT; 6) DESIGN APPROVAL; AND RESTORATION OF APPROXIMATELY 7,822 SQUARE FEET OF MONTEREY CYPRESS HABITAT AREA. THE PROPERTY IS LOCATED AT 3252 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-462-006-000), DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.
PLN090386	MC DOWELL THOMAS JOHN TR ET AL	11/18/2009	Minor and Trival Amendment	008-453-018-000	MINOR AND TRIVIAL AMENDMENT TO A PREVIOUSLY APPROVED COMBINED DEVELOPMENT PERMIT (PLN060729) TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL RESOURCE FOR THE DEMOLITION, REBUILD, AND RELOCATION OF A 632 SQUARE FOOT GARAGE IN ORDER TO MEET THE TEN FOOT REQUIRED SETBACK FROM THE SINGLE FAMILY DWELLING. WITH MATERIALS AND COLORS TO MATCH EXISTING. THE PROPERTY IS LOCATED AT 1463 CYPRESS DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-453-018-000) DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.
PLN100054	DURAO MELVIN JOSEPH JR	2/4/2010	Combined Development Permit	008-202-004-000	Coastal Administrative Permit for a 1,020 square foot single story living room addition to an existing 8,016 square foot single family residence with a 452 square foot attached garage; Variance to exceed maximum allowed Pescadero Watershed coverage; and Design Approval. The property is located at 1568 Sonado Road, Pebble Beach (Assessor's Parcel Number 008-202-004-000), Del Monte Forest area, Coastal zone.
PLN070590	MCCALLISTER CRAIG A & DIANA H TR	11/13/2007	Combined Development Permit	008-392-005-000	Coastal Development Permit to allow structural alterations to a 544 square foot legal non-conforming guesthouse within the Pescadero Watershed of Del Monte Forest. Structural alterations include an interior remodel, new doors and windows, expansion of existing patio and a Design Approval (colors and materials to match the existing single family residence). The project will include reducing impervious surfaces from 9,240 square feet to 3,567 square feet, bringing the property into conformance with the Pescadero Watershed impervious surface coverage limits. The property is located at 3399 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-392-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN090359	PEBBLE BEACH COMPANY	10/26/2009	Combined Development Permit	008-163-003-000	Combined Development Permit consisting of: 1) Coastal Development Permit to re-align the entrance to an existing dirt fire road (Fire Road #20) including approximately 120 cubic yards of grading (cut and fill) to improve access for large fire vehicles; 2) Coastal Development Permit for development on slopes exceeding 30%; 3) Coastal Development Permit to allow the removal of six Monterey Pine trees; and 4) Coastal Development Permit for development within 100 feet of environmentally sensitive habitat. The property is located at the intersection of Spruance Road, Midwood Lane and Sonado Road, Pebble Beach (Assessor's Parcel Number 008-163-003-000), Del Monte Forest Land Use Plan, Coastal zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN100579	BYRNE MARK J TR ET AL	10/26/2010	Combined Development Permit	008-491-015-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit to allow for the demolition of an existing 3,914 square foot single family dwelling and the construction of a 14,123 square foot three-level single family dwelling with a 1,046 square foot three-car attached garage, removal of 13,661 square feet of existing hardscape (patios, pathways, terraces, parking areas, driveway) and construction of 7,666 new hardscape, new fence and gate at front property line and approximately 3,150 cubic yards of grading (2,650 cut/500 fill); 2) Coastal Development Permit for development within 750 feet of known archaeological resources; 3) Coastal Development Permit for development within 100 feet of environmentally sensitive habitat; 4) Coastal Development Permit for development on slope greater than 30%; 5) Coastal Development Permit to allow the removal of one 15-inch Monterey Pine tree; 6) Coastal Development Permit to allow the construction of a 544 square foot attached Caretaker's Unit; and 7) Design Approval. The property is located at 3184 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN090085	ELVES LLOYD & KIRSTEN	3/9/2009	Administrative Permit	008-071-006-000	Coastal Administrative Permit and Design Approval to add 635 square feet to an existing single story single family dwelling and new 460 square foot two-car garage The property is located at 4150 El Bosque Drive, Pebble Beach (Assessor's Parcel Number 008-071-006-000), Del Monte Forest area, Coastal Zone.
PLN990331	CHARLES CHI & RENEE	7/15/1999	Combined Development Permit	008-291-024-000	Combined Development Permit consisting of a Coastal Development Permit to allow development to be located within 750 feet of archaeological resources and a Coastal Administrative Permit and Design Approval for a new 425 square foot guesthouse. The property is fronting on and easterly of Sombria Court at 1207 Sombria Court (Assessor's Parcel Number 008-291-024-000) Del Monte Forest area, Coastal Zone.
PLN110174	HOFFMAN PAUL J & MARIANNE S TRS	4/7/2011	Variance	008-341-039-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a 1,109 square foot addition to an existing 6,393 square foot three level single family dwelling; 2) a Variance to exceed the maximum Pescadero Watershed coverage limitation to allow an increase in structural coverage from 5,168 square feet to 5,982 square feet, and a decrease in impervious coverage from 11,801 square feet to 7,521 square feet resulting in a total coverage of 13,503 square feet for a total combined reduction of 3,466 square feet; and 3) Design Approval. The property is located at 1565 Riata Road, Pebble Beach (Assessor's Parcel Number 008-341-039-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN110226	VILLA BILANCIA LLC	4/29/2011	Coastal Administrative Permit	008-453-009-000	Coastal Administrative Permit to allow the demolition of an existing 6,188 square foot existing single family dwelling and a 1,385 square foot basement to construct a 6,998 square foot two-story single family dwelling, a 564 square foot first floor attached two-car garage, a 2,760 square foot basement (garage, mechanical room, and storage space), approximate 2,500 square feet of terraces and paths, a 4,000 square foot driveway, a 350 square foot fountain with 4 garden walls and 10 retaining walls and grading consisting of 1,500 cubic yards of cut and 800 cubic yards of fill and Design Approval. The property is located at 1468 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-453-009-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN110242	W&SMITH CA INC	5/5/2011	Coastal Administrative Permit	008-012-007-000	Coastal Administrative Permit to allow 1,663.6 square feet of additions and an interior remodel of an existing 4,856 square foot two-story single family dwelling with a 851 square foot attached three-car garage consisting of: additions of 663 square feet at main level and 1,006 square feet at second level and removal of 5.4 square feet on the second level; and interior remodel of 613 square feet on the main level and 507 square feet on the second level; and a Design Approval with colors and materials to match the existing structure. The property is located at 3105 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-012-007-000), Del Monte Forest area, Coastal Zone.

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PLN100608	PEBBLE BEACH COMPANY	11/8/2010	Combined Development Permit	008-111-014-000	Combined Development Permit consisting of: 1) a Coastal Development Permit and Design Approval for the construction of a 800,000 gallon potable water storage tank for fire suppression adjacent to an existing 800,000 gallon tank; grading of approximately 2,100 cubic yards of cut and 1,400 cubic yards of fill; 2) a Coastal Development Permit to allow the removal of 74 Monterey pine trees; and 3) a Coastal Development Permit to allow a Lot Line Adjustment between two legal lots of 0.34 acres (Assessor's Parcel Number 008-111-014-000), and 0.39 acres (Assessor's Parcel Number 008-111-015-000) to merge the two parcels into one parcel of approximately 0.73 acres. The property is located at 4049 Sunset Lane, Pebble Beach (Assessor's Parcel Numbers 008-111-015-000 and 008-111-014-000), Del Monte Forest Area, Coastal Zone.
PLN100558	CUSACK REALTY INC	10/13/2010	Combined Development Permit	008-112-015-000	Combined Development Permit consisting of 1) a Coastal Administrative Permit to allow the construction of a 2,754 square foot single family dwelling, a 494 square foot attached garage, a 94 square foot covered entry porch, and 405 square feet of open deck more than 24" above the grade; 2) a Coastal Development Permit to allow the removal of 33 protected Monterey Pine trees (7"-12" in diameter) and two Acacia trees; grading (70 cubic yards); and Design Approval. The property is located at 4060 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-112-015-000), Del Monte Forest Land Use Plan, Coastal zone.
PLN110580	CONNOLLY PATRICK J & GINGER F TRS	11/1/2011	Rezoning	008-291-024-000	Zoning Reclassification to rezone an approximately 2 acre parcel from the "LDR/2-D (CZ)" [Low Density Residential, 2 acres per unit, Design Control Overlay District, Coastal Zone] zoning classification to the "LDR/2-D-HR (CZ)" [Low Density Residential, 2 acres per unit, Design Control and Historic Resources Overlay Zoning Districts, Coastal Zone] zoning classification. The property is located at 1207 Sombria Ct., Pebble Beach (Assessor's Parcel Number 008-291-024-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN110404	CASA ROBRO LLC	7/25/2011	Permit Amendment	008-423-039-000	Minor and Trivial Amendment to a previously approved Combined Development Permit (PC94092) and all previous permit amendments through and including Minor and Trivial Amendment PLN060648, which together allow: (1) a Coastal Development Permit for development within 750 feet of a known archaeological site; (2) a Variance to the 100 foot setback from 17 Mile Drive; (3) a Variance for exceeding the Pescadero Watershed Development Standards; and (4) a Coastal Administrative Permit and Design Approval to allow the construction of a 7,430 square foot two-story single family dwelling with an attached 584 square feet two-car garage; 1,259 square feet of balconies; a 1,133 square foot gatehouse residence to become a caretaker unit and a 244 square foot guesthouse and adjoining patio to remain, because the gatehouse and guesthouse structures and patio comprise a locally-designated historic resource; remodel of an existing entry gate; landscape elements including a fire pit; and grading of approximately 243 cubic yards cut/240 cubic yards fill. The property is located at 3350 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-423-039-000), Del Monte Forest Land Use Plan Area, Coastal Zone.
PLN100230	EAKIN DAVID CLARKSON TR	5/4/2010	Coastal Administrative Permit	008-592-014-000	Coastal Administrative Permit to allow the construction of a 698 square foot second unit to be located below the existing 1,990 square foot single family dwelling and a Coastal Administrative Permit to all one (1) parking space within the front setback. The property is located at 4108 Pine Meadows Way, Pebble Beach (Assessor's Parcel Number 008-592-014-000), Del Monte Forest Area Land Use Plan, Coastal Zone.
PLN110273	ROBERT LOUIS STEVENSON SCHOOL	5/18/2011	Coastal Administrative Permit	008-022-038-000	Five Coastal Administrative Permits for the demolition of 4 existing faculty residences and carpools comprising a total of 9,542 square feet of structure and 30,050 of impervious coverage and to allow the construction of 5 new faculty duplexes consisting of 10 residential units; each 2,392 square foot two-story residence contains 3 bedrooms with a 448 square foot detached two-car garage for a total 28,400 square feet of structures; grading consisting of 500 cubic yards of cut and fill; and 3) Design Approval. The properties are located 1235, 1239, 1241 and 1243 Faculty Road, Pebble Beach (Assessor's Parcel Numbers 008-022-036-000, 008-022-037-000, and 008-022-038-000), north of the intersection of Bristol Curve and Forest Lake Road, Del Monte Forest Land Use Plan, Coastal Zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN110247	MARTINEZ MARIANO JR TR	5/6/2011	Combined Development Permit	008-201-013-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a 441.6 square foot first story addition, a 254.2 square foot garage addition, and a 422.6 second story addition to an existing 4,453 square foot two-story single family dwelling with an attached 745.3 three-car garage; the reconfiguration of an existing driveway and courtyard area reducing the non-conforming impervious coverage from 6,448.6 square feet to 1,389.1 square feet (create a new 5,059.5 square foot pervious driveway and a new 1,812.4 square foot pervious courtyard); a new 9 foot tall, 79.5 feet long courtyard wall; 77 linear feet of new garden walls 4 feet tall; 28 square feet of new courtyard steps with a new fountain and fire pit 2) a Coastal Development Permit to convert an existing 567 square foot guesthouse into a attached Caretaker's unit; 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; and a Design Approval to allow color and material changes to the exterior of the existing residence (new white plaster siding dark brown, stained wood trim doors and windows, steel guard rails and Carmel stone veneer); grading is estimated to be less than 100 cubic yards of cut and fill. The property is located at 1631 Sonado Road, Pebble Beach (Assessor's Parcel Number 008-201-013-000), west of the intersection of Sonado and Midwood Lane, Del Monte Forest Land Use Plan, Coastal Zone.
PLN110274	PEBBLE BEACH HOMES LLC	5/19/2011	Coastal Development Permit	008-381-017-000	Coastal Development Permit to allow a Lot Line Adjustment between two legal lots of record of approximately 1.35 acres (Assessor's Parcel Number 008-381-017-000) and .99 acres (Assessor's Parcel Number 008-381-018-000). The adjustment would result in two lots of approximately: 1.24 acres (Lot 1) and 1.1 acres (Lot 2), respectively. The properties are located at 3414 17 Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone.
PLN110671	DALE DENVER DUDLEY STANTON &	12/14/2011	Permit Extension	008-301-006-000	Minor and Trivial Amendment consisting of the removal of two additional Oaks 16 and 10 inches in diameter each. The previously approved project includes a Combined Development Permit (PLN070208) consisting of: 1) a Coastal Administrative Permit to allow the construction of a 6,292 square foot two-story single family dwelling including an attached garage (1,369 square feet), a detached pool house and wine cellar (501 total square feet), swimming pool and grading of 2,170 cubic yards (1,300 cut and 870 fill); (2) a Coastal Development Permit to allow the construction of a 822 square foot Caretaker's Unit with a 333 square foot attached garage and a 126 square foot covered porch; 3) a Coastal Development Permit to allow the removal of 31 Pines and 12 Oak trees. The property is located at 1264 Sombria Lane, Pebble Beach (Assessor's Parcel Number 008-301-006-000), Del Monte Forest Area, Coastal Zone.
PLN070024	CHAPPELLET CYRIL DONN TR ET AL	1/16/2007	Combined Development Permit	008-455-015-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING 4,584 SQUARE FOOT SINGLE FAMILY DWELLING; A COASTAL DEVELOPMENT PERMIT TO ALLOW AN EXISTING 1,323 SQUARE FEET, LEGAL NON-CONFORMING GUESTHOUSE TO REMAIN, AND A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 750 FEET OF A KNOWN ARCHAEOLOGICAL SITE. THE PROPERTY IS LOCATED AT 3296 SEVENTEEN MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-455-015-000), EAST OF THE INTERSECTION OF STEVENSON DRIVE AND CYPRESS DRIVE, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN100009	KLAUS L GEORGE TR	1/8/2010	Coastal Administrative Permit	008-341-016-000	Coastal Administrative Permit and Design Approval to allow the demolition of an existing 4,068 square foot single family dwelling and the construction of a new 7,848 square foot two-story single family dwelling with attached 1,460 square foot three-car garage, 320 square foot portico and balconies. The existing 1,114 square foot basement will remain and be remodeled. The property is located at 3164 Palmero Way, Pebble Beach (Assessor's Parcel Number 008-341-016-000), Del Monte Forest Land Use Plan, Coastal Zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN100138	PEBBLE BEACH COMPANY	3/17/2010	Coastal Plan Amendment	008-431-009-000	Summary: Local Coastal Program (LCP) Amendments to the text and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan, including land use re-designations and zoning re-classifications at multiple locations. The project consists of the build-out development and preservation of the remaining undeveloped Pebble Beach Company properties located within the Del Monte Forest. The project would allow the renovation and expansion of visitor serving uses, creation of 90 to 100 single-family residential lots, and preservation of 635 acres as primarily forested open space. The proposed development would result in new construction at four primary sites - The Lodge at Pebble Beach, The Inn at Spanish Bay, Spyglass Hill, and the Pebble Beach Equestrian Center; consisting of the following: The Lodge at Pebble Beach - Renovation and expansion of visitor-serving and recreational facilities to include the addition of hospitality and meeting space; relocation of the Pebble Beach Golf Links Driving Range; and construction of 60 visitor-serving guestrooms; The Inn at Spanish Bay - Renovation and expansion of visitor-serving and recreational facilities, to include the addition of hospitality and meeting space; construction of 40 visitor-serving guestrooms; and construction of a surface parking lot that would provide approximately 285 parking spaces; Spyglass Hill - Construction of a 100-room resort and spa to include the addition of hospitality and meeting space, a restaurant, a 17,000 square foot spa with underground parking for approximately 40 vehicles; construction of a parking facility with one level at grade and two levels below grade to accommodate 301 vehicles, and other ancillary facilities. An alternative option would result in the subdivision of this area into 10 single-family residential lots; Pebble Beach Equestrian Center - Site redevelopment consisting of demolition of the existing equestrian facilities and construction of new equestrian facilities to include a covered arena, employee housing, barns and stalls, vehicle storage, interior roadway, parking, and accessory structures. Additionally, the proposed development would result in the relocation of existing trails and construction of new trails segments; construction/installation of internal roadway, circulation, and drainage improvements at four intersections (Congress Road and 17-Mile Drive; Congress Road and Lopez Road; and Sunridge Road and Lopez Road; and Portola Road and Stevenson Drive); and the reconfiguration/reconstruction of the main entrance/gate to the Pebble Beach/Del Monte Forest area at the Highway 1/Highway 68/17-Mile Drive intersection. The applicant proposes to pay an in-lieu fee for the required inclusionary housing units.
PLN130447	Pebble Beach Company	6/13/2013	Combined Development Permit	008-041-009-000	Combined Development Permit consisting of: 1) a Use Permit and Design Approval to allow the construction of 24 affordable housing units and a 498 square foot manager's office building; 2) a Use Permit to allow the removal of approximately 725 trees; and associated grading. The project site is located along SFB Morse Drive, just south of the intersection with Ortega Road and adjacent to the City of Pacific Grove, Pebble Beach (a portion of Assessor's Parcel Number 008-041-009-000 also known as Area D), Del Monte Forest, Greater Monterey Peninsula Area Plan.
PLN110380	CYPRESS POINT CLUB	7/12/2011	Coastal Development Permit	008-271-006-000	Combined Development Permit consisting of 1) a Coastal Development Permit to allow the structural additions and alterations to the existing clubhouse and pro-shop within the Cypress Point Club golf links. The additions and alterations proposed to the clubhouse include a 712 square foot attached garage, enclosure of a 46 square foot porch/entry, new 712 square foot open patio expansion, remodel of existing office area into a library, remodel of the terrace dining room area by removing the existing sliding doors and replacing the doors with full height glass, and remodel existing caretaker's quarter, wine room, and garages into a larger wine and liquor room, storage room, and garages. The additions and alterations proposed to the pro-shop include a 110 square foot expansion of the existing caddy lounge which is to be remodeled into offices/lounge area, a 500 square foot sub-level addition for the new caddy lounge with associated grading (90 cubic yards cut, 0 cubic yards fill), and remodel of the existing men's locker room, pro-shop and stock room; 2) Coastal Development Permit to allow development within 750 feet of a known archaeological site; 3) Coastal Waiver to allow the removal of two hazardous landmark Cypress trees; and 4) Design Approval. The property is located at 3150 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-006-000), Del Monte Forest Land Use Plan.
PLN120173	STONE THOMAS ROBERT & DIANE LEE TRS	3/8/2012	Coastal Administrative Permit	008-182-011-000	Coastal Administrative Permit and Design Approval to allow the construction of a 1,296 square foot, two-story addition to a single family dwelling. Materials and colors to consist of white clapboard siding (to match existing residence). The property is located at 4062 Mora Lane, Pebble Beach (Assessor's Parcel Number 008-182-011-000), Del Monte Forest Land Use Plan, Coastal Zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN120166	LUCAS DONALD L & SALLY S LUCAS TRS AND PEBBLE BEACH CO	3/6/2012	Coastal Development Permit	008-403-001-000	Coastal Development Permit to allow development with a positive archaeological report for a follow up to an Emergency Permit (PLN070613) to allow the construction of a curtain drain system to implement drainage improvements adjacent to the top of the drainage gully which was impacted by erosion and slump sliding. The current proposal is an addition of two wood retaining walls (approximately 120 linear feet and 70 linear feet) to prevent further erosion on the bank of a drainage culvert crossing two parcels as the best long term solution to the Emergency Permit. The property is located at 3217 Live Oak Meadow Road and Pebble Beach Golf Links, Pebble Beach (Assessor's Parcel Numbers 008-403-001-000 and 008-401-022-000), Del Monte Forest Land Use Plan.
PLN100612	ABERCROMBIE LEBON G & ABERCROMBIE MARY J	11/10/2010	Combined Development Permit	008-261-005-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow additions to and remodel of a 2,325.8 square foot one-story single family dwelling with a 449.8 square foot detached garage to include: a 1,513.4 square foot addition (master bedroom suite, media room, laundry room, office and storage), a 284.7 square foot covered front entry, a 208.9 square foot covered patio, a new roof, the installation of a roof-mounted photovoltaic system, remove asphalt driveway and replace with permeable pavers, remove concrete patio and replace with tile patio and the addition of a fire pit; 2) Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; and 3) Coastal Development Permit to allow Ridgeline Development. The property is located at 1158 Signal Hill Road, Pebble Beach (Assessor's Parcel Number 008-261-005-000), Del Monte Forest area, Coastal zone.
PLN110034	HARKER DENNIS	1/14/2011	Combined Development Permit	008-392-005-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing an existing 953 square foot attached deck, and the addition of new 960 square foot second story with 383 square feet of rear decks; Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence); and 2) a Coastal Development Permit for the removal of two Coast Live Oak trees (21" and 20" inches in diameter). The property is located at 3399 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-392-005-000), Del Monte Forest Land Use Plan area, Coastal zone.
PLN120374	HARKER DENNIS & SANDRA ELIZABETH	5/30/2012	Minor and Trivial Amendment	008-392-005-000	Minor and Trivial Amendment to previously approved Coastal Development Permits (PLN070590 & PLN110034) allowing for the conversion of an existing 293 square foot storage below the existing deck of the guesthouse into a wine cellar, an outdoor fireplace, barbeque, pergola and spa at the main house, two 8,400 gallon holding tanks for a cistern; a well path, fountain, retaining wall, court entry gates with walls on the front of the property. The previous permits consist as follows: Combined Development Permit consisting of: 1) A Coastal Development Permit (PLN070590) to allow structural alterations to a 544 square foot legal non-conforming guesthouse within the Pescadero Watershed of the Del Monte Forest. Structural alterations include an interior remodel, new doors and windows, expansion of existing patio; 2) A Coastal Administrative Permit (PLN110034) to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing an existing 953 square foot attached deck, the addition of a new 960 square foot second story with 383 square feet of rear decks, and 3) A Coastal Administrative Permit for the removal of two coast live oak trees (21 and 20 inches in diameter); and Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials). Total impervious surfaces will increase from 2,434 square feet to 3,521 square feet; and structural coverage will increase from 4,739 square feet to 4,963 square feet; which is within the requirements of the Pescadero Watershed. The property is located at 3399 17 Mile Drive, Pebble Beach (Assessor's Parcel Number: 008-392-005-000), Del Monte Forest Land Use Plan, Coastal Zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN070511	SPINDLETOP EXPLORATION CO INC	9/20/2007	Administrative Permit	008-331-014-000	COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING 5,544 SQ. FT. SINGLE FAMILY DWELLING, A DETACHED GARAGE, AND GUESTHOUSE; AND THE CONSTRUCTION OF A 7,216 SQ. FT. SINGLE FAMILY DWELLING WITH ATTACHED 484 SQ. FT. GARAGE; AND DESIGN APPROVAL; AND COASTAL WAIVER TO ALLOW THE REMOVAL OF FIVE TREES, INCLUDING THREE DEAD MONTEREY PINES AND TWO PLANTED OAKS. GRADING WILL CONSIST OF 900 CU. YDS. OF CUT AND 900 CU. YDS. OF FILL. THE PROPERTY IS LOCATED AT 1480 OLEADA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-331-014-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN110597	SPINDLETOP EXPLORATION (HUGHES)	11/8/2011	Minor and Trivial Amendment	008-331-014-000	Minor and Trivial Amendment to a previously approved Coastal Administrative Permit (PLN070511) consisting of a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 5,544 square foot two-story single family dwelling, detached garage, and guesthouse, and the construction of an approximately 8,635 square foot three-story single family dwelling including a 594 square foot attached garage, 2,500 square feet of pervious motor court and driveway area, and 600 square feet of deck area, and grading (approximately 345 cubic yards of cut, 550 cubic yards of fill, net import of approximately 205 cubic yards of fill). The previous project description for PLN070511 included the demolition of an existing 5,544 square foot two-story single family residence, detached garage, and guesthouse, and the construction of a 7,216 square foot two-story single family residence with an attached 484 square foot garage; Design Approval; and a Waiver for a Coastal Development Permit to allow the removal of five trees. The property is located at 1480 Oleada Road, Pebble Beach (Assessor's Parcel Number 008-331-014-000), Del Monte Forest Land Use Plan, Coastal Zone. Related to PLN070511.
PLN120547	YOUNG JOHN WILSON & DIANE MARY TRS	8/27/2012	Variance	008-551-007-000	Variance to exceed floor area ratio from 50% to 53% and Design Approval to allow an enclosure of a 150 square foot first floor patio, replace an existing second story deck, two new 22 inch by 36 inch skylights and an attached 8 foot plaster screen wall along the south side of the dwelling (materials and colors to match the existing). The property is located at 3301 17 Mile Drive #16, Pebble Beach (Assessor's Parcel Number 008-551-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN080008	HUTCHINSON NANCY G TR	1/11/2008	WAV	008-471-028-000	COASTAL DEVELOPMENT PERMIT WAIVER TO ALLOW FOR THE REMOVAL OF 2 PROTECTED MONTEREY PINES PINUS RADIATA MEASURING 18 AND 24-INCHES IN DIAMETER THAT ARE DEAD AND REPRESENT IMMEDIATE HAZARDS. THE PROPERTY IS LOCATED AT 3209 BALLENTRAE LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-471-028-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN120143	MONTEREY PENINSULA COUNTRY CLUB	2/27/2012	Coastal Administrative Permit	007-371-013-000	Coastal Administrative Permit for an addition over 10% of the floor area at the Monterey Peninsula Country Club restaurant allowing demolition of 167 square feet and an addition of 463 square feet to an existing 1,467 square foot kitchen for a total of 1,763 square feet; two new firepits, new handicap ramp, 35 square foot trellis addition, and a six foot high glass enclosure at the existing patio area. Colors and materials to match existing wood siding, brown. The property is located at 2940 Seventeen Mile Drive, Pebble Beach (Assessor's Parcel Number 007-371-013-000), Del Monte Forest area, Coastal Zone.
PLN110622	BLOSSOM COVE LLC	11/17/2011	Coastal Administrative Permit	008-455-014-000	Coastal Administrative Permit to allow a 408 square foot addition to an existing 792 square foot Caretaker's Unit and conversion of the unit into a 1,200 square foot second unit, 2) a Coastal Development Permit for development within 750 of a known archaeological resource; and Design Approval. The property is located at 3294 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-455-014-000), Del Monte Forest Land Use Plan, Coastal Zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN050419	PROBASCO WILLIAM & JOAN	7/13/2005	Combined Development Permit	008-121-012-000	1. DENY AN APPEAL BY WILLIAM PROBASCO FROM THE PLANNING COMMISSION'S APPROVAL OF COMBINED DEVELOPMENT PERMIT (PROBASCO/PLN050419) THAT WAS CONDITIONED ON ELIMINATION OF A GUESTHOUSE FROM PROJECT PLANS; 2.) ADOPT A MITIGATED NEGATIVE DECLARATION AND ASSOCIATED MITIGATION MONITORING AND REPORTING PLAN; AND 3.) APPROVE A COMBINED DEVELOPMENT PERMIT (PROBASCO/PLN050419) CONSISTING OF: COASTAL ADMINISTRATIVE PERMIT FOR THE CONSTRUCTION OF A 4,485 SQUARE FOOT SINGLE FAMILY RESIDENCE WITH AN ATTACHED TWO CAR GARAGE; COASTAL DEVELOPMENT PERMIT TO REMOVE 32 MONTEREY PINE TREES INCLUDING ONE LANDMARK TREE; COASTAL ADMINISTRATIVE PERMIT TO ALLOW EXCEPTION FOR THE DEVELOPMENT ON A MAN-MADE 30% SLOPE ALONG LOS ALTOS DRIVE; AND DESIGN APPROVAL.
PLN120105	3294 STEVENSON LLC	2/14/2012	Minor and Trivial Amendment	008-442-012-000	Minor and Trivial Amendment to a Combined Development Permit (PLN020373) consisting of a Coastal Development Permit and Design Approval to allow the demolition of an existing 3,257 square foot one-story single family residence and construction of new 7,945 square foot two-story single family dwelling with a basement, attached garage, new driveway, fence, retaining walls and grading (approximately 4,624 cubic yards cut/41 cubic yards fill); Coastal Administrative Permit for a 420 square foot detached guesthouse; Coastal Development Permit for tree removal (7 oak saplings less than 6" in diameter); and a Variance to exceed the 5,000 square foot structural coverage limit for the Pescadero Watershed. Total structural and impervious surface coverage will be reduced from 13,718 square feet to 8,995 square feet. The Minor and Trivial Amendment consists of the removal of 497 square feet of impervious surface; and the construction of a 495 square foot first floor addition to an existing two-story single family dwelling, resulting in a total of 8,993 square feet of structural coverage and impervious surface. A net coverage change of minus 2 square feet. Materials and colors to match the existing. The property is located at 3294 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-442-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN080523	PICCININI ROBERT M & VALENTIA	11/19/2008	Variance	008-361-033-000	VARIANCE AND DESIGN APPROVAL TO ALLOW CONSTRUCTION OF A 523 SQUARE FOOT THERAPY/EXERCISE ROOM AND TO INCREASE THE PESCADERO WATERSHED BUILDING COVERAGE FROM 5,000 SQUARE FEET TO 8,014 SQUARE FEET AND TO INCREASE THE IMPERVIOUS SURFACE COVERAGE FROM 4,000 SQUARE FEET TO 11,771 SQUARE FEET. THE PROJECT IS LOCATED AT 3187 PALMERO WAY, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-361-033-000), DEL MONTE FOREST LAND USE PLAN, COASTAL ZONE.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN120714	SALADINO CRAIG A TR	10/30/2012	Minor and Trivial Amendment	008-233-007-000	<p>Minor and Trivial Amendment (PLN120714) to a previously approved Combined Development Permit (PLN070577) which consists of: 1) a Coastal Administrative Permit to allow the demolition of a one-story single family dwelling with an attached one-car garage; 2) Coastal Administrative Permit to allow the construction of a 7,011 square foot three-story single family residence with a 753 square foot below grade attached three-car garage; 3) Coastal Development Permit to allow the construction of a 573 square foot Caretaker's Unit and grading (approx. 350 cubic yards of cut and 350 cubic yards of fill); and 4) Variance to exceed allowable coverage limits in the Pescadero watershed by increasing structural coverage from 2,607 to 5,515 square feet and reducing impervious surface coverage from 3,672 square feet to 2,569 square feet (8,200 square feet total); and Design Approval.</p> <p>This Minor and Trivial Amendment (PLN120714) allows modifications that result in structural coverage of 5,487 square feet and impervious surface coverage of 2,538 for a combined total of 8,025 square feet. The modifications include: 1) a new 450 square foot gravel (permeable) turn-around at the caretaker unit; 2) increase size of caretaker unit from 573 square feet to 653 square feet; 3) reduce size of main residence from 7,011 square feet to 5,591 square feet; 4) reduce size of terraces and stairs from 992 square feet to 958 square feet; and 5) the replacement of all existing exterior materials as reflected in revised Design Approval; colors and materials to consist of: brown blended clay tile roof; light tan (Aspen) color (Mission Finish) plaster exterior walls; oiled mahogany color exterior wood framed doors and windows; weathered limestone accents; aged red cedar corbels; weathered copper flashing gutters and downspouts. The property is located at 3908 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-233-007-000), Del Monte Forest Land Use Plan, Coastal Zone.</p>
PLN120681	DOBBINS JAMES M JR & NANCI ANNE TRS	10/17/2012	Combined Development Permit	008-371-009-000	<p>Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval for the demolition of a 7,734 square foot single family dwelling and construction of a 10,019 square foot single family dwelling consisting of a 4,792 square foot new lower level, 5,227 square foot new main level; demolition of a 903 square foot detached garage and carport and a 282 square foot shed and the construction of a 1,045.5 square foot attached three-car garage; construction of 827 square feet of storage rooms and a 348 square foot mechanical room; construction of 2,935 square feet of promenade and terraces; removal of 20,213 square feet of hardscape (driveways, walkways, and patios) and replacing with permeable pavers; change the exterior finishes of the guest house and attached garage to match main residence; grading to consist of approximately 1,550 cubic yards of cut and 70 cubic yards of fill; 2) Coastal Development Permit for development with 750 feet of a known archaeological resource; and 3) Variance to exceed Pescadero Watershed coverage limitations of 9,000 square feet and allow impervious surface coverage of 11,354 square feet (Overall impervious coverage is to be decreased from 27,408 square feet). The property is located at 3167 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-371-009-000), Del Monte Forest Land Use Plan, Coastal Zone.</p>
PLN120704	MAYES JONATHAN O & VARETTA P	10/26/2012	Coastal Administrative Permit	008-062-004-000	<p>Coastal Administrative Permit and Design Approval to allow the removal of a roof top HVAC heating system and the surrounding lattice fence; and the construction of a 605 square foot sunroom, master bedroom and bathroom addition with one skylight, a 15 linear foot, two feet high retaining wall, a 33 linear foot, two feet high retaining wall, a new garden wall and planter, and a flagstone patio to an existing 1,100 square foot one-story single family dwelling with a 288 square foot attached carport, and 374 square feet of covered porches; and approximately 30 cubic yards of grading. Materials and colors to match the existing. The property is located at 4114 Crest Road, Pebble Beach (Assessor's Parcel Number 008-062-004-000), Del Monte Forest Land Use Plan, Coastal Zone.</p>

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN100425	SHUTE MICHAEL R & CRISTIN A SHUTE TRS	8/11/2010	Combined Development Permit	008-302-020-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit for the demolition of a 4,712 square foot single family dwelling with attached garage, and construction of a 7,095 square foot two-story single family dwelling with 1,336 square feet in porches and 1,271 square foot attached three-car garage; 2) a Coastal Administrative Permit for the construction of a 407 square foot detached guesthouse with 51 square foot porch; 3) a Coastal Development Permit for the construction of a 849 square foot detached Caretaker's Unit with 175 square foot porch and attached 249 square foot garage; 4) a Coastal Development Permit to allow the removal of two Monterey Pine trees (21 inches and 24 inches in diameter); and grading of less than 100 cubic yards of cut/fill. The property is located at 1258 Portola Road, Pebble Beach (Assessor's Parcel Number 008-302-020-000), Del Monte Forest Land Use Plan, Coastal zone.
PLN110114	LUNDQUIST RICHARD C & MELANIE F TRS	3/10/2011	Combined Development Permit	008-472-006-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage with planted roof (green roof), a new permeable cobblestone driveway, the replacement of an existing wood fence with a new stone wall with six 12-foot sections and one 15.5-foot section of antique bronze open-design fencing and antique bronze fencing with stone pillars at the new driveway entrance, restoration of existing paths and driveway to native Monterey Cypress habitat, grading of approximately 550 cubic yards of cut and 200 cubic yards of fill; 2) a Coastal Development Permit for the removal of one dead 7" Monterey Cypress; 3) a Coastal Development Permit for development within 100 feet of Environmentally Sensitive Habitat Area; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and 5) a Coastal Development Permit for development on slopes greater than 30%. The property is located at 3224 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), Del Monte Forest Area Land Use Plan, Coastal Zone.
PLN120534	PAUL ANDREW	8/22/2012	Coastal Development Permit	008-422-005-000	Combined Development Permit consisting of: 1) a Coastal Development Permit to allow the conversion of an existing three-car detached garage to a 711 square foot Accessory Dwelling Unit and a 14 square foot addition to the existing attached garage, a new entry portico, new interior bunk bed walls, a new terrace including fire pit and spa, and new barbecue area in an existing courtyard, and converting approximately 7,891 square feet of the existing driveway from asphalt to permeable pavers; and 2) a Variance to exceed 9,000 square feet of impervious coverage limitation within the Pescadero Watershed to allow 15,579 square feet of Impervious surface; and Design Approval. The property is located at 3317 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-422-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN120401	YOHANNAN JUDITH BELL & FRANK	6/13/2012	Coastal Administrative Permit	008-301-001-000	Coastal Administrative Permit to allow the remodel and additions to an existing 4,371 square foot two-story single family dwelling consisting of a 30.8 square foot addition to the lower floor, a 1,373.9 square foot to the main floor (master bedroom, loft, storage and new entry), a 234 square foot loft above the master bedroom on the main floor, the demolition of an existing 697 square foot two-car garage and the construction of a new 783 square foot attached three-car garage; a Coastal Administrative Permit for the construction of an 850 square foot second unit with an attached 709 square foot two-car garage/storage, approximately 651 linear feet of new retaining walls, new rotunda, courtyard and new six foot high redwood fence with stone columns fronting Sombria Lane; and Design Approval. Grading is approximately 750 cubic yards (400 cubic yards of cut and 350 cubic yards of fill). The property is located at 1256 Sombria Lane, Pebble Beach (Assessor's Parcel Number 008-301-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN040070	FUNCH ALLEN L JR & KAROL KEITH	2/10/2004	Administrative Permit	008-521-005-000	COASTAL ADMINISTRATIVE PERMIT FOR THE CONSTRUCTION OF ADDITIONS TO AN EXISTING 3,810 SQ. FT. ONE-STORY SINGLE FAMILY DWELLING INCLUDING A 209 SQ. FT. FIRST STORY ADDITION, A 974 SQ. FT. SECOND STORY ADDITION AND A 30 FT. SECOND STORY DECK. VARIANCE TO ALLOW AN INCREASE IN BUILDING SITE COVERAGE FROM 63.5% TO 65.9%, AND FLOOR AREA RATIO FROM 49.2% TO 68.92%; AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 3301 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-521-005-000), WEST OF 17 MILE DRIVE, DEL MONTE FOREST AREA, COASTAL ZONE.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN040361	STRAFACE FRANK J TR ET AL	6/9/2004	Variance	008-361-004-000	VARIANCE TO INCREASE THE ALLOWABLE FLOOR AREA RATIO FROM (4,698 TO 5,122) SQUARE FEET AN INCREASE OF 424 SQUARE FEET. THE PROPERTY IS LOCATED AT 3361 17 MILE DRIVE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-361-004-000), SOUTH OF PALMERO WAY, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN120568	DEYERLE DANIEL S & JULIANNE WILKINSON	9/4/2012	Coastal Development Permit	008-083-005-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the construction of a new 1,578 square foot single family dwelling with an attached 780 square foot garage with art studio, 893 square feet of decks, and a 40 square foot covered porch (grading amount: 70 cubic yards cut; 300 cubic yards fill); 2) a Coastal Development Permit to allow the removal of seven (7) Monterey Pine trees (four of the trees are landmark); and 3) a Design Approval. The property is located at 4126 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-083-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130002	BRANSFORD KENT JACKSON TR ET AL	1/3/2013	Design Approval	008-592-018-000	A Reasonable Accommodation and Design Approval to allow the construction of a 599 square foot single story addition to an existing one-story single family dwelling which will result in the structure exceeding the 25% site coverage and floor area ratio limits and result in a 30% site coverage and floor area ratio; reconfigure existing decks for new handicap ramp for the residence and new handicap ramp to complete handicap access from the road to the residence, and grading (approximately 50 cubic yards or less of cut and fill) to accommodate support pylons and new access ramp. The property is located at 4088 Pine Meadows Way, Pebble Beach (Assessor's Parcel Number 008-592-018-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130299	O DONNELL WILLIAM S SR TR ET AL	12/12/2012	Coastal Administrative Permit	008-351-034-000	Coastal Administrative Permit and Design Approval to allow a 501 square foot addition and a 2,000 square foot remodel of an existing 3,685 square foot single family dwelling. The property is located in the Pescadero Watershed and the project would meet the 9,000 square foot limitation for structure coverage. The colors and materials to match the existing. The property is located at 1564 Riata Road, Pebble Beach (Assessor's Parcel Number 008-351-034-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN060769	BRIGGS RONALD F & SUSAN S TRS	12/28/2006	Administrative Permit	008-302-013-000	COASTAL ADMINISTRATIVE PERMIT TO ALLOW A PARTIAL DEMOLITION AND REMODEL OF AN EXISTING ONE STORY 1,863 SQUARE FEET SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW 2312 SQUARE FEET SINGLE FAMILY DWELLING. THE COLORS AND MATERIALS TO CONSIST OF NEW ANODIZED WINDOWS AND SKYLIGHTS, TWO NEW STUCCO CHIMNEYS AND STANDING SEAM METAL ROOF, COLORS WILL MATCH THE EXISTING DWELLING. THE PROPERTY IS LOCATED AT 1281 PADRE LANE, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-302-013-000), FRONTING PADRE LANE, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN090157	ROLLINS LARRY TR	5/1/2009	Combined Development Permit	008-341-019-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a 9,027 square foot two-story single family dwelling, an attached 4-car 1,399 square foot garage, 560 square feet of retaining walls, and 947 square feet of terraces, balconies, and patios; 2) a Coastal Development Permit and Design Approval to allow the construction of an 850 square foot caretaker unit; 3) a Coastal Development Permit to allow the removal of 27 Coast live oak and 27 Monterey pine trees; 4) a Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat; and 4) a Variance to exceed the Pescadero Watershed structural limitation of 5,000 by 1,477.2 square feet. The project includes pervious surfaces for the new driveway, motor courts and guest parking area for a total of 10,955 square feet and associated grading of approximately 900 cubic yards of cut and 300 cubic yards of fill. The property is located at 1573 Riata Road, Pebble Beach (Assessor's Parcel Number 008-341-019-000), Del Monte Forest, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN110502	UIBLE JOHN D & MARYJANE	9/16/2011	Combined Development Permit	008-381-007-000	<p>Amendment to a previously approved Combined Development Permit (PC94177) to include a Coastal Development Permit for the demolition of an existing 2,370 square foot single family dwelling; construction of a new 7,984 square foot single family dwelling, grading and tree removal; Design Approval; front setback Variance for the existing garage; and a Variance for lot coverage. The previously approved Combined Development Permit consisting of the Variance for lot coverage approved a net result of an increase in structural coverage from 3,690 square feet to 5,616 square feet, and a decrease in impervious surface coverage from 7,252 square feet to 2,316 square feet. The project as constructed resulted in a structural coverage of 5,616 square feet, and an impervious surface coverage of 11,188 square feet.</p> <p>The amended Combined Development Permit consists of 1) a Coastal Administrative Permit for the demolition of a 2,486 square foot upper terrace, the removal of a 455 square foot impervious garden walk, a 7,387 square foot impervious paver driveway, and the removal of 210 square feet of lower patio; and the construction of a 2,423 square foot upper stone terrace with a 28 square foot outdoor kitchen/BBQ and firepit, a 455 square foot gravel garden walkway and a 7,387 square foot pervious driveway; 2) a Variance to exceed the 5,000 square foot Pescadero Watershed structural coverage from 5,616 square feet to 5,644 square feet and the reduction of 11,188 square feet of impervious surface to 3,073 square feet; 3) a Coastal Development Permit for development with a positive archaeological report; and a Design Approval. Materials and colors to match the existing, driveway (Eco-Venetian Permeable Pavers/Manzanita Blend). The property is located at 3426 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-381-007-000), Del Monte Forest Land Use Plan, Coastal Zone.</p>
PLN130109	FLUOR PETER J & FLUOR ANN K	2/15/2013	Combined Development Permit	008-391-002-000	<p>Combined Development Permit consisting of: 1) A Coastal Administrative Permit and Design Approval to allow the construction of accessory structures to an existing 7,770 square foot three-story single family dwelling including removal of existing 483 square foot deck/terrace with spa to be replaced at the same location with a 1,148 square foot deck/terrace including a 36 square foot fire pit, infinity-edge-type spa, outdoor barbecue, pizza oven and counter areas. Project to also include a new guest parking area adjacent to the existing circular driveway turnaround, and interior and exterior remodel. Exterior changes to the single family dwelling to include new aluminum framed exterior doors and windows, new stucco finished chimney with copper cap; stucco and paint to match existing. Project also includes the removal of 3,213 square feet of impervious driveway and walkway area, to be replaced with permeable pavers, and the addition of 1,820 square feet of impervious materials. Combined impervious surface and structural coverage (within the Pescadero Watershed) of 10,092 square feet to be reduced to 8,699 square feet; and 2) a Coastal Development Permit for development within 750 feet of a known archaeological resource. The property is located at 3371 Del Ciervo Rd, Pebble Beach (Assessor's Parcel Number 008-391-002-000), at the convergence of 17 Mile Drive and Del Ciervo Road, Del Monte Forest Land Use Plan, Coastal Zone.</p>
CMB040017	DEL CIERVO PARTNERS LP	7/15/2004	Administrative Permit	008-162-016-000	<p>COASTAL ADMINISTRATIVE PERMIT TO ALLOW FOR THE CONSTRUCTION OF A 7,515 SQUARE FOOT TWO STORY SINGLE FAMILY DWELLING WITH AN ATTACHED 836 SQUARE FOOT GARAGE, 836 SQUARE FEET OF TERRACES, A 1,264 SQUARE FOOT STORAGE BUILDING, GRADING (APPROXIMATELY 959 CUT/ 412 FILL) AND TREE REMOVAL; AND DESIGN APPROVAL. THE SITE IS LOCATED AT 3310 KINGSLEY CT, PEBBLE BEACH, (ASSESSOR'S PARCEL NUMBER 008-162-016-000), EASTERLY OF KINGSLEY CT, DEL MONTE FOREST AREA, COASTAL ZONE</p>
PLN120701	DAVIS BRIAN C & DORRILL A DAVIS TRS	10/26/2012	Combined Development Permit	008-112-029-000	<p>Combined Development Permit consisting of: 1) a Coastal Development Permit for a Lot Line Adjustment to merge two existing lots of record (Assessor's Parcel Number 008-112-029-000 and Assessor's Parcel Number 008-112-030-000) into a .54 acre parcel; 2) a Coastal Administrative Permit for the construction of a 3,636 square foot bi-level single family dwelling (1,127 square feet is a lower basement) with 288 square feet of verandas, and a 104 square foot breezeway attaching a 720 square foot two-car garage; 3) a Coastal Development Permit to allow the removal of 51 Monterey Pine trees (46 of the trees are less than 12 inches in diameter and 3 are 12 inches and above in diameter) and 2 Monterey Cypress trees; 4) a Coastal Development Permit to allow development within 100 feet of ESHA; and 5) Design Approval. The property is located at 4026 Sunset Lane, Pebble Beach (Assessor's Parcel Numbers 008-112-029-000 and 008-112-030-000), Del Monte Forest Land Use Plan, Coastal Zone.</p>

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN130248	CYPRESS POINT CLUB	4/4/2013	Rezoning	008-271-006-000	Adopt an ordinance to amend Section 20.08.060 of Title 20 (Coastal Zoning Ordinance) of the Monterey County Code to rezone a 35.3 acre parcel from the "OR-D (CZ)" [Open Space Recreation with a Design Control Overlay within the Coastal Zone] zoning classification to the "OR-D-HR (CZ)" [Open Space Recreation with a Design Control and Historic Resources Overlay within the Coastal Zone] zoning classification, upon finding that the ordinance is categorically exempt under the California Environmental Quality Act. The property is located at 3150 Seventeen Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN100550	OLD FOREST INVESTMENTS LLC A DELAWARE LLC	10/7/2010	Coastal Development Permit	008-392-007-000	Combined Development Permit consisting of a: 1) a Coastal Development Permit for development within 750 feet of a known archeological resource; demolition of an existing 400 square foot greenhouse, demolition of 261 square feet of the residence and a 348 square foot porch roof; and construction of a 1,457 square foot first floor gallery and 536 square foot bedroom on the second floor, and 2) a Variance for coverage within the Pescadero Watershed; and Design Approval. The property is located at 1658 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-392-007-000), Del Monte Forest Land Use Plan.
PLN120163	CYPRESS POINT CLUB	3/6/2012	Permit Amendment	008-271-006-000	<p>Amendment to a previously approved Combined Development Permit (PLN970480) consisting of: 1) a Coastal Development Permit for coastal bluff restoration along the 15th and 16th greens of Cypress Point Golf Course; 2) a Coastal Development Permit for development on slopes in excess of 30 percent; and a Design Approval. The property is located westerly of 17 Mile Drive, Pebble Beach (Assessor's Parcel Numbers 008-271-006-000 and 008-272-012-000), Del Monte Forest Land Use Plan, Coastal Zone.</p> <p>This Amendment (PLN120163) consists of: 1) a Coastal Development Permit and Design Approval for the construction of an approximately 70 linear foot seawall along the 15th green; 2) a Coastal Development Permit to allow development on slope exceeding 30%; 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; 4) a Coastal Development Permit to allow development within 50 feet of a coastal bluff; 5) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and grading (approximately 50 cubic yards of cut). The property is located at 3150 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-006-000), Del Monte Forest Land Use Plan, Coastal Zone.</p>
PLN080038	WHEATLEY JACK R & MARY LOIS WHEA	1/28/2008	Minor Subdivision	008-383-003-000	Combined Development Permit consisting of 1) A Coastal Development Permit to allow a Minor Subdivision, Tentative Map, to subdivide a 3.38 acre parcel into two parcels of 1.86 acres (Parcel A) and 1.52 Acres (Parcel B) Respectively; and 2) A Coastal Administrative Permit to convert an existing 1,002 square foot single family dwelling on resulting (Parcel A) to a second unit consistent with State Law (California Government Code Section 65852.2 Et Seq.).
PLN120627	BEROLZHEIMER MICHAEL GEORGE TR	9/25/2012	Combined Development Permit	008-012-006-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow construction of a 425 square foot guesthouse that will be attached to an existing single family residence by a wall approximately 10 feet long and 7 feet-3 inches tall, extension of an existing fence to attach to guesthouse and restoration of approximately 702 square feet of paved areas to native dune habitat; 2) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; and 3) a Coastal Development Permit to allow development within 750 feet of known archaeological resources. The property is located at 1149 Spyglass Hill Road, Pebble Beach (Assessor's Parcel Number 008-012-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130458	OLD FOREST INVESTMENTS LLC	6/17/2013	Permit Amendment	008-392-007-000	Amendment (PLN130458) to delete a condition of approval (Condition #6) requiring a Conservation & Scenic Easement deed from previously approved Combined Development Permit PLN100550 which consists of: 1) a Coastal Development Permit for development within 750 feet of a known archeological resource; demolition of an existing 400 square foot greenhouse, demolition of 261 square feet of the residence and a 348 square foot porch roof; and construction of a 1,457 square foot first floor gallery and 536 square foot bedroom on the second floor, and 2) a Variance for coverage within the Pescadero Watershed; and Design Approval. The property is located at 1658 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-392-007-000), Del Monte Forest Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN140097	CHAPPELLET CYRIL DONN TR ET AL	2/12/2014	Parcel Legality Determination	008-455-015-000	Legal Lot Determination for Assessor's Parcel Number 008-455-015-000
PLN130835	BROWN EDWARD Y & JUDITH D TRS	11/22/2013	Coastal Administrative Permit	008-592-012-000	Coastal Administrative Permit and Design Approval to allow a remodel and a 685 square foot addition to an existing 1,759 square foot bi-level single family dwelling to include a 165 square foot deck extension and a new 89 square foot deck on the main level. The parcel is located within a Planned Unit Development. The property is located at 4112 Pine Meadows Way, Pebble Beach (Assessor's Parcel Number 008-592-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130747	ESSICK JAMES H JR & VIRGINIA R TRS	10/18/2013	Coastal Development Permit	008-302-027-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit to allow the construction of a 5,132 square foot single family dwelling with a 1,126 square foot attached garage, 136 square foot mudroom, 519 square foot storage loft above the garage, 107 square foot entry portico, and 48 square foot breakfast porch. The project includes a 243 square foot conservatory, 192 square foot shop, 5 foot high garden wall, 6 foot high wood fence and entry gate, emergency generator, enclosed trash area and 1,040 cubic yards of associated grading (40 cubic yards cut, 1,000 cubic yards fill); 2) Coastal Development Permit to allow the removal of 28 dead trees (27 Monterey Pine/1 Oak); and 3) a Design Approval. The property is located at 3336 Ondulado Road, Pebble Beach (Assessor's Parcel Number 008-302-027-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130766	LEE LISA SUE TR	10/25/2013	Coastal Administrative Permit	008-213-007-000	Coastal Administrative Permit and Design Approval to allow a 1,350 square foot, interior second story addition to a 4,623 square foot, single family dwelling. The project also includes the demolition of an existing porch and deck, the reconstruction of a 700 square foot deck and 127 square foot porch, interior remodel, replacement of all windows and exterior doors, and relocation of an entry gate. The property is located at 1560 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-213-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN070333	ENEAL ROBERT S ET AL	6/20/2007	Combined Development Permit	008-331-007-000	COMBINED DEVELOPMENT CONSISTING OF THE FOLLOWING: 1) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A NEW 4,713 SQUARE FOOT THREE-LEVEL SINGLE FAMILY DWELLING, WITH AN ATTACHED 619 SQUARE FOOT GARAGE AND APPROXIMATELY 466 CUBIC YARDS OF GRADING; 2) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW CONSTRUCTION OF A 849 SQUARE FOOT DETACHED SENIOR UNIT; 3) A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 33 MONTEREY PINE TREES; 4) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT (YADON'S PIPERIA); AND 5) A DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1440 OLEADA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-331-007-000), SOUTHEAST OF THE INTERSECTION OF FOREST LAKE AND OLEADA ROAD, DEL MONTE FOREST AREA, COASTAL ZONE.
PLN130702	KEVER K P TR & BARNES MARY M TR	10/3/2013	Coastal Administrative Permit	008-213-009-000	Coastal Administrative Permit and Design Approval to allow the demolition of the existing single family dwelling, detached garage, greenhouse, gazebo, and studio, and the construction of a 6,528 square foot, two-story, single family dwelling with an attached guesthouse (1,936 square feet of the dwelling will be maintained completely below grade). The project also includes 107 square foot entry porch, 97 square foot balcony, 318 square foot carport, the remodel of an existing caretakers unit into a 649 square foot accessory dwelling unit, 414 linear feet of retaining wall, new entry gate and column, and associated grading (485 cubic yards cut). The property proposes a total of 7,167 square feet of impervious coverage. The property is located at 1563 Sonado Road, Pebble Beach (Assessor's Parcel Number: 008-213-009-000), Del Monte Forest Land Use Plan.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN110441	PRAISNER MICHAEL J & JANIS A TRS	8/11/2011	Coastal Administrative Permit	008-461-006-000	Coastal Administrative Permit and Design Approval to allow the construction of a 454 square foot addition to the first floor of an existing 4,226.1 square foot two-story single family dwelling, a 101 square foot rear deck addition and demolition of two existing tower elements to re-establish the old roof line, raising the ridge and plate of the main body to establish a new main ridge line and new exterior colors and finishes. The materials to consist of; cement plaster siding, standing seam metal roof, clad windows/doors, thin stove veneer; and colors to consist of beige colors walls, weathered copper roof, milk chocolate windows/doors, buff stone veneer. The property is located at 1456 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-461-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN100670	READ JAMES PETER	12/21/2010	Combined Development Permit	008-491-013-000	Combined Development Permit as an after-the-fact permit consisting of: 1) Coastal Development Permit allowing bluff stabilization/erosion control to prevent structural damage from tidal erosion of terrace deposits and overlying soils. The artificial rock fascia is designed to match the existing shoreline contour, texture and color; 2) A Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; 3) a Coastal Development Permit to allow development on slopes of 30% or greater; and 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource. The property is located at 3158 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-013-000), fronting 17-Mile Drive, Del Monte Forest Land Use Plan, Coastal Zone.
PLN110648	MURPHY MICHAEL W & SYDNEY W	12/2/2011	Coastal Administrative Permit	008-351-017-000	Coastal Administrative Permit to allow for the demolition of more than 50% of the walls of an existing 4,584 square foot single family dwelling and the reconstruction/remodel of the single family dwelling to include a 442 square foot lower floor addition, a 1,038 square foot main floor addition, a 892.5 square foot upper floor addition, a 41 square foot garage addition, removal of an existing 539 square foot deck and replace with a new 1,220 square foot deck, 44 linear feet of retaining wall for guest parking area, and 100 cubic yards of grading for foundation; variance to allow an increase in the maximum impervious amount of 9,000 square feet by 473 square feet; and Design Approval. The property is located 3204 Palmero Way, Pebble Beach (Assessor's Parcel Number 008-351-017-000), Del Monte Forest area, Coastal Zone.
PLN130693	ACKLEY STEPHEN M & MARYAN M	9/30/2013	Coastal Administrative Permit	008-431-005-000	Combined Development Permit consisting of a Coastal Development Permit for development within 750 feet of a know archaeological resource; Coastal Administrative Permit to allow the demolition of an one-story single family residence and the construction of a multi-level single family residence with an attached garage, basement, and courtyards;a Design Approval for development within a Design Control District; and 1,080 cubic yards of cut and 275 cubic yards of fill. The property is located at 3379 Alva Lane, Pebble Beach (Assessor's Parcel Number 008-431-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN100095	PADRE LANE PROJECT LLC	2/23/2010	Coastal Administrative Permit	008-293-014-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 2,595 square foot residence and 506 square foot garage and construction of a new 8,818 square foot, two-story residence with a 980 square foot attached garage; 2) a Coastal Development Permit and Design Approval to allow the construction of a 834 square foot single story caretaker unit with a 304 square foot detached garage; and 3) a Coastal Development Permit to allow the removal of four protected trees (two 22-inch Monterey Pines and one 10-inch and one 12-inch double stump Coast live oak). The project includes site grading of approximately 1,000 cubic yards of cut and 4,600 cubic yards of fill. The property is located at 1231 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-293-014-000), Del Monte Forest Land Use Plan area, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN130838	BLACKSTOCK PETER E & BARBARA A BLACKSTOCK TRS	11/25/2013	Minor and Trivial Amendment	008-481-010-000	Minor & Trivial Amendment to a previously approved Combined Development Permit (PLN090130) consisting of: 1) A Coastal Administrative Permit to allow the remodel of an existing 4,818 square foot two-story single family dwelling with an attached 676 square foot garage, including the construction of 1,149 square feet of first floor additions and 2,764 square feet of second floor additions; 2) a Coastal Development Permit to allow the construction of an 850 square foot Caretaker's Unit with an 800 square foot attached garage; 3) a Coastal Development Permit to allow the construction of a 425 guesthouse; 4) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; 5) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and 6) design approval. The current minor and trivial amendment would allow an addition of 1,493 square feet to the first floor and removal of the previously approved second story additions, resulting in an overall net reduction of floor area ratio. The total square footage of the single family dwelling will be reduced from 9,407 square feet to 6,942 square feet. The property is located at 1134 Madre Lane, Pebble Beach (Assessor's Parcel Number 008-481-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140155	PEBBLE BEACH COMPANY	3/5/2014	Minor and Trivial Amendment	007-091-028-000	Minor and Trivial Amendment to previously approved Combined Development Permits (PLN100138) to allow the modification of Condition of Approval No. 18 relating to Inclusionary Housing. The Combined Development Permits (PLN100138), which allow the development and preservation of Pebble Beach Company (PBC) properties throughout the Del Monte Forest, included a condition of approval requiring PBC to comply with the County's Inclusionary Housing Ordinance by, among other things, depositing an in-lieu fee in the amount of \$5 million to be utilized for costs associated with the development of an affordable project of at least 18 units in the Greater Monterey Peninsula Planning Area. This minor amendment (PLN140155) would modify the language of the condition of approval, consistent with the Board of Supervisors' intent in adopting the condition, to indicate that the \$5 million deposit by PBC shall be held by the County as security for PBC's identification, acquisition, entitlement, and construction of an affordable housing project or projects of at least 18 units in the Greater Monterey Peninsula Planning Area (including the incorporated cities located therein) within five (5) years of the recordation of the first residential subdivision Final Map. The properties are located throughout Pebble Beach (Assessor's Parcel Numbers 007-091-028-000, 007-091-033-000, 007-101-041-000, 007-991-001-000, 008-021-009-000, 008-022-024-000, 008-022-031-000, 008-022-032-000, 008-022-035-000, 008-031-014-000, 008-031-015-000, 008-031-019-000, 008-032-004-000, 008-032-005-000, 008-032-006-000, 008-034-001-000, 008-041-009-000, 008-163-001-000, 008-163-003-000, 008-163-005-000, 008-164-001-000, 008-165-001-000, 008-171-009-000, 008-171-022-000, 008-241-008-000, 008-242-007-000, 008-272-010-000, 008-272-011-000, 008-311-011-000, 008-312-002-000, 008-313-002-000, 008-313-003-000, 008-321-006-000, 008-321-007-000, 008-321-008-000, 008-321-009-000, 008-423-002-000, 008-423-019-000, 008-423-029-000, 008-423-030-000, 008-431-009-000, 008-561-020-000, and 008-991-001-000), Greater Monterey Peninsula Area Plan (Inland) and the Del Monte Forest Land Use Plan (Coastal Zone).
PLN120357	DE WITT CHARLES B TR	5/24/2012	Coastal Administrative Permit	008-392-004-000	Coastal Administrative Permit for the partial demolition of a 3,124 square foot two-story single family dwelling to construct a 7,260 square foot single family dwelling which will include a 2,760 square foot lower level, a 3,335 square foot main level including a 525 square foot attached two-car garage, a 705 square foot upper level and a 1,168 square foot basement entirely below ground, 288 square feet of garden walls, a 75 square foot fountain, a 72 square foot terrace at upper level leading to 205 square foot exterior staircase with a new 1,116 square foot permeable driveway and 120 square feet of pervious brick and stone pavers; 2) a Variance to exceed the floor area ratio from 17.5% to 22.9%; and 3) a Design Approval. Grading of approximately 500 cubic yards of cut and 300 cubic yards of fill. The property is located at 1688 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-392-004-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN120683	THULL ROBERT W & ANNE L TRS	10/18/2012	Combined Development Permit	008-481-015-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval (materials and colors to match existing) to allow the construction of approximately 1,563 square feet of additions (1,180 square feet to the main floor, and 383 square feet to the upper floor) to an existing 6,263 square foot single family dwelling with a 960 square foot attached garage, a 100 square foot greenhouse, a 325 square foot spa, and a 144 square foot gazebo; 2) a Coastal Administrative Permit and Design Approval (materials and colors to match existing single family dwelling) to allow the construction of an 845 square foot accessory dwelling unit with a 936 square foot attached garage; 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat (Monterey Cypress habitat); 4) a Coastal Development Permit to allow development within an area of positive archaeological reports; and grading (approximately 200 cubic yards of cut and 30 cubic yards of fill). The property is located at 3187 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-481-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140264	THULL ROBERT W & ANNE L TRS	4/21/2014	Minor and Trivial Amendment	008-481-015-000	Minor and Trivial Amendment to previously approved Combined Development Permit PLN120683 to abandon detached 845 square foot accessory dwelling unit with attached 936 square foot garage, and construct an attached 651 square foot accessory dwelling unit; a 396 square foot upper level studio; a 144 square foot swim spa, 144 square foot gazebo, 83 square foot greenhouse and 48 square foot electrical enclosure panel. The property is located at 3187 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-481-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN070577	PEPE RICHARD & SANDRA TRS	11/5/2007	Combined Development Permit	008-233-007-000	COMBINED DEVELOPMENT PERMIT CONSISTING OF: 1) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF A ONE-STORY SINGLE FAMILY DWELLING WITH AN ATTACHED ONE-CAR GARAGE; AND 2) COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE CONSTRUCTION OF A 7,011 SQUARE FOOT THREE-STORY SINGLE FAMILY RESIDENCE WITH A 753 SQUARE FOOT BELOW GRADE ATTACHED THREE-CAR GARAGE; AND 3) COASTAL DEVELOPMENT PERMIT TO ALLOW THE CONSTRUCTION OF A 573 SQUARE FOOT CARETAKER'S UNIT AND GRADING (APPROX. 350 CUBIC YARDS OF CUT AND 350 CUBIC YARDS OF FILL); 4) VARIANCE TO EXCEED ALLOWABLE COVERAGE LIMITS IN THE PESCADERO WATERSHED BY INCREASING STRUCTURAL COVERAGE FROM 2,607 TO 5,515 SQUARE FEET AND REDUCING IMPERVIOUS SURFACE COVERAGE FROM 3,372 SQUARE FEET TO 2,569 SQUARE FEET (8,200 SQUARE FEET TOTAL) AND DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 3908 RONDA ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER 008-233-007-000), DEL MONTE FOREST AREA, COASTAL ZONE.
PLN100551	BLOSSOM COVE LLC	10/7/2010	Coastal Administrative Permit	008-455-014-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit for the demolition of an existing one-story single dwelling, three-car garage and guesthouse; carport attached to an existing Caretaker's Unit (Caretaker's Unit is to remain); 2) a Coastal Administrative Permit to allow the construction of a 7,059 square foot two-story single family dwelling with a 3,508 square foot below grade basement, an attached 652 square foot three-car garage with a 425 square foot second story guest studio above garage, and the renovation of a the existing 792 square foot Caretaker's Unit and replacement and relocation of driveway; entry gate including changes to existing landscape; and Design Approval. Variance to allow the reduction of impervious surface area from 10,341 square feet to 8,800 square feet and a reduction of structural coverage from 6,243 square feet to 4,998 square feet. The property is located at 3294 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-455-014-000), fronting on 17 Mile Drive, Del Monte Forest Land Use Plan, Coastal zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN090364	PELIO W LESLIE & IDAMARIE TRS	10/29/2009	Combined Development Permit	008-423-037-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the construction of a new 1,875 square foot second story with a 564.5 square foot sun deck and a 143 square foot breezeway to an existing single story residence, the remodel of an existing storage area for a new elevator and stairs, the remodel of the formal entry, and the reconstruction of a 1,449 square foot detached accessory building for garages and storage; 2) a Coastal Development to allow the construction of a 846 square foot caretaker unit; 3) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; 4) a Variance to exceed the Pescadero Watershed coverage limitations of 5,000 square feet structural and 4,000 square feet impervious surface coverage to allow 8,447.3 square feet of structural coverage (7,237.8 square feet existing) and 9,943.5 impervious surface coverage (12,583.8 square feet existing) resulting in an overall decrease of 1,430.8 square feet of coverage; and 5) a Design Approval for the proposed project and replacement of an existing 6-foot perimeter and retaining wall with materials and colors consisting of off-white stucco, flat clay tile roofing materials, and wood trim. The project includes associated grading of approximately 150 cubic yards of cut and 400 cubic yards of fill, 11,273.5 square feet of permeable driveway, 2,191 square feet of permeable walkways, and an underground cistern and French drain as part of the storm drain system. The property is located at 3346 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-423-037-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN100640	CONNOLLY PATRICK J & GINGER F TRS	12/3/2010	Combined Development Permit	008-291-024-000	Combined Development Permit to allow 1) a Coastal Administrative Permit and Design Approval for a remodel an existing 4,125 square foot one-story single family residence and conversion of an existing 1,223 square foot attached garage to habitable space; additions include a 1,524 square foot first floor habitable addition, a 863 square foot second floor habitable addition and a new 1,130 square foot attached garage; 2) a Coastal Administrative Permit to allow a 379 square foot addition to a 435 square foot guesthouse for the conversion to an 814 square foot senior citizen unit; 3) a Coastal Development to allow the removal of one Monterey Pine tree (22" in diameter); 4) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and grading (25 cubic yards cut/15 cubic yards fill). The property is located at 1207 Sombria Court, Pebble Beach (Assessor's Parcel Number 008-291-024-000), Del Monte Forest Land Use Plan, Coastal zone.
PLN120246	D A D PEBBLE BEACH LLC	4/9/2012	Combined Development Permit	008-361-002-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow additions to and remodel of an existing 5,360.8 square foot single-family dwelling with 1,096 square foot basement and 759 square foot attached garage to include: a) demolish an existing 425 square foot attached guesthouse on first floor; b) remove existing 6,553 square foot impermeable surface driveway and replace with 6,862 square foot permeable paving system; c) 553.2 square foot exercise room addition at lower floor; d) 440.6 square foot basement addition; e) 1,840.6 square foot first floor addition; f) remove 180 linear feet of retaining walls and construct 212 linear feet of new retaining walls; g) add 850 square foot bocci ball court; h) remodel existing balcony; and i) approximately 650 cubic yards of grading (fill); and 2) Coastal Development Permit to allow development on slopes greater than 30 percent. The property is located at 3353 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-361-002-000), Del Monte Forest Area Land Use Plan, Coastal Zone.
PLN140373	PADRE LANE PROJECT LLC	5/20/2014	Coastal Administrative Permit	008-293-014-000	Coastal Administrative Permit and Design Approval to allow the construction of a new 422 square foot guesthouse to replace a 304 square foot detached garage approved as part of PLN100095. Materials and colors to remain as previously approved. The property is located at 1231 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-293-014-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN140194	HUANG STEVEN & BING HU TRS	3/27/2014	Coastal Administrative Permit	008-112-010-000	Coastal Administrative Permit and Design Approval to allow the construction of a 4,099 square foot two-story single family dwelling with a 697 square foot attached garage. The property is located at 4044 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-112-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130736	CRITCHFIELD WILLIAM MICHAEL TR	10/15/2013	Combined Development Permit	008-301-006-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit for the construction of a 5,745 square foot two-story single family dwelling with an attached 855 square foot garage, a 111 square foot entry kiosk, a 101 square foot covered mechanical/trash enclosure, a total of 1,814 square feet of covered patios, and an enclosed courtyard containing a swimming pool, spa, BBQ and fire pit; and grading (1,221 cubic yards of cut/823 cubic yards of fill); 2) a Coastal Administrative Permit for the construction of an 1,172 square foot second dwelling unit with an 86 square foot covered patio; 3) a Coastal Development Permit for the removal of 88 trees [9 dead trees, 21 protected Oak trees and 58 Pine trees (43 of which are less than 12" in diameter)]; and 4) Design Approval. The property is located at 1264 Sombria Lane, Pebble Beach (Assessor's Parcel Number 008-301-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140299	PENUEL INVESTMENTS PTE LTD	4/29/2014	Combined Development Permit	008-293-025-000	A Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of an existing single family dwelling and construction of a new 5,975 square foot, two-story, single family dwelling with a 1,652 square foot attached garage and 635 square foot guest covered parking; grading (175 cut/fill) to be balanced onsite; 2) a Coastal Development Permit to allow the removal of 10 trees (three Oaks, five Cypress and two Monterey Pines 1-18" and 1-28" in diameter); and 3) Design Approval of the proposed site improvements. The property is located at 1211 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-293-025-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN120663	BARDIS CHRISTO & SARA	10/11/2012	Combined Development Permit	008-341-026-000	Combined Development Permit including: 1) a Coastal Administrative Permit to allow a 344 square foot main floor addition (new entry), a 329 square foot garage expansion, a 17 square foot bedroom addition at lower level, and a 466 square foot extension to the main level terrace to an existing 5,749 square foot two-story single family dwelling with a 8,614 square foot driveway; 2) a Variance to exceed the 9,000 square foot Pescadero Watershed limitation to reduce coverage from 17,185 impervious coverage to 14,994 square feet of impervious coverage which includes the removal of 553 square feet of terrace, 898 square feet of driveway, and the conversion of 838 square feet of motor court to eco-pavers and; 3) Design Approval. Materials and colors to match the existing. Grading of approximately 50 cubic yards of cut. The property is located at 1525 Riata Road, Pebble Beach (Assessor's Parcel Number 008-341-026-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140156	MORGAN MICHAEL C & CHRISTINE R TRS	3/6/2014	Coastal Development Permit	008-371-016-000	Combined Development Permit consisting of 1) a Coastal Administrative Permit to allow an 804 square foot residential addition, consisting of a 469 square foot second story terrace and conversion of the 335 loggia to a game room; 2) a Coastal Development Permit for development within 750 feet of a known archaeological resource; 3) a Coastal Administrative Permit to allow a reduction of existing coverage from 18,847 square feet to 15,070 square feet of coverage; and 4) a Design Approval; colors and materials to match the existing residence.
PLN140334	LEE MARK B & DANA A LEE TRS	5/9/2014	Coastal Administrative Permit	008-073-004-000	Coastal Administrative Permit and Design Approval to allow the construction of a 2,642 square foot, two-story, single family dwelling with a 444 square foot attached garage and 437 square foot covered porch. The proposed project would substitute for the project approved under PLN030405. The property is located at 4144 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-073-004-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN110244	LEVETT DENNIS A	5/5/2011	Coastal Administrative Permit	008-521-009-000	Coastal Administrative Permit to allow an addition of 889 square feet to an existing 4,313 square foot 2 story single family dwelling which will include an approximate 760 square foot enclosed atrium, a 88 square foot entry (portion of southwest patio), a 40.8 square foot bedroom enclosure (portion of northwest patio) and interior remodel; 2) Variance to increase building site coverage from 71% to 77% and floor area ratio from 58% to 70%; and 3) Design Approval. The property is located at 3307 17 Mile Drive #9, Pebble Beach (Assessor's Parcel Number 008-521-009-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN100525	FELICITY LLC	9/24/2010	Permit Amendment	008-462-006-000	Amendment to a previously approved Combined Development Permit (PLN090272) which consists of: 1) Coastal Administrative Permit for the demolition of 2,577 square feet of an existing single family dwelling, demolition of an existing 480 square foot detached guesthouse, the addition of 7,089 square feet to the single family dwelling, grading of approximately 890 cubic yards of cut and fill and restoration of approximately 7,822 square feet of Monterey Cypress habitat area; 2) Coastal Development Permit for the construction of an 850 square foot detached Caretaker's Unit; 3) Coastal Development Permit to allow development within 50 feet of a coastal bluff; 4) Coastal Development Permit to allow development within 750 feet of a known archaeological resource; 5) Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; and 6) Design Approval. This amendment includes: 7,497 square foot addition to the lower level, new 390 square foot covered loggia on existing stone terrace at lower level, enclose existing 470 square foot covered loggia on main level, 390 square foot addition to existing main level courtyard terrace, reduce size of west wing addition by 60 square feet, approximately 900 additional cubic yards of grading (cut), reconfigure balconies, terraces and loggias on west wing addition, relocate doors and windows on west wing addition. All new development will be located within the existing/approved footprint of the structure. Colors and materials to match existing. The property is located at 3252 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-462-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140432	MONTEREY PENINSULA COUNTRY CLUB	6/10/2014	Combined Development Permit	007-361-001-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval for the renovation of the portions of the existing Dunes Golf Course located in the Coastal Zone (Hole Numbers 9, 10, 11, 12 & 14) including replacement of the irrigation system; sand capping of the golf course; grading to adjust course contouring (approximately 34,183 cubic yards of cut and 43,398 cubic yards of fill); replacement of existing concrete cart paths with permeable surface paths; removal of cart and pedestrian crossings and construction of replacement crossings; landscaping renovation; and restoration of portions of the Sawmill Gulch adjacent to Hole Number 9; 2) Coastal Development Permit for restoration of an environmentally sensitive habitat (Sawmill Gulch); and 3) Coastal Development Permit for development within 750 feet from a known archaeological resource. The area of the development is the portion of the Monterey Peninsula Country Club Dunes Golf Course located in the designated Coastal Zone of the Del Monte Forest Land Use Plan (Assessor's Parcel Numbers 007-361-001-000 and 007-371-013-000).
PLN140715	BARDIS CHRISTO & SARA	9/12/2014	Minor and Trivial Amendment	008-341-026-000	Minor and Trivial Amendment to a previously approved Combined Development Permit (PLN120663) to allow a 201 square foot storage/laundry room addition, an 873 square foot observation deck on the roof and reduction of impervious surface coverage from 13,606 square feet to 12,768 square feet. The property is located at 1525 Riata Road, Pebble Beach (Assessor's Parcel Number 008-341-026-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140554	FLORES ANDRES J & FLORES LESLIE P	7/18/2014	Combined Development Permit	008-072-001-000	Combined Development Permit to allow: 1) a Coastal Administrative Permit to construct a 4,061 square foot two-story single family residence; 2) Coastal Development Permit to consider the removal of 36 Monterey Pine trees; and 3) Design Approval. The project includes approximately 560 cubic yards of cut and fill. The property is located at 4134 Sunridge Road, Pebble Beach (Assessor's Parcel Number 008-072-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140818	PEBBLE BEACH COMPANY	10/20/2014	Coastal Administrative Permit	008-401-018-000	Coastal Administrative Permit and Design Approval to allow the installation and use of an approximately 12,320 square foot tent structure as a temporary conference facility, and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources. The property is located at 1541 Cypress Drive, Pebble Beach (Assessor's Parcel Number 008-401-018-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN140616	RAVANO INVESTMENT REALTY INC	8/5/2014	Coastal Administrative Permit	008-233-005-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of a 590 square foot garage and partial demolition of the existing single family dwelling and subsequent addition to a single family dwelling. The construction includes: a 1,315 square foot main level addition to the single family dwelling, which includes a 425 square foot guest suite resulting in a proposed 4,176 square foot residence; a 627 square foot carport, and associated grading (178 cubic yards); 2) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and 3) a Design Approval. The property is located at 3900 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-233-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140914	RONDA ROAD LLC	11/18/2014	Coastal Administrative Permit	008-234-041-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow the construction of a 848 square foot Secondary Dwelling Unit; 2) Coastal Development Permit for development within 750 feet of a known archeological resource; and 3) Coastal Development Permit to modify the nonconforming impervious coverage in the Pescadero Watershed. The property is located at 3903 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-234-041-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140834	DMN MACOMBER LLC	10/24/2014	Combined Development Permit	008-162-013-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow the construction of a 2,824 square foot two-story garage addition attached to an existing 5,641 square foot single family dwelling; 2) Coastal Development Permit to allow the removal of three (3) Monterey Pine trees (trunk diameters of 14", 20" & 28") and the relocation of one (1) 14" Oak tree; and 3) Coastal Administrative Permit for development within 750 feet of a known archaeological resource; and 4) Coastal Development Permit to modify the nonconforming impervious coverage in the Pescadero Watershed. The property is located at 3235 Macomber Drive, Pebble Beach (Assessor's Parcel Number 008-162-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140444	BLOCK STEVEN J & BLOCK MELANIE A	6/16/2014	Coastal Administrative Permit	008-213-016-000	Coastal Administrative Permit and Design Approval to allow 1,157 square foot additions to the lower, first and second floors of an existing 4,557 square foot single family dwelling with 1,038 square foot attached garage resulting in a 6,752 square foot single family residence and garage. The property is located at 1552 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-213-016-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140910	STRAINE KERRY KEVIN & MCLEON OLIVIA DEE TRS	11/14/2014	Minor and Trivial Amendment	008-012-005-000	Amendment to a previously approved Coastal Administrative Permit and Design Approval (PLN130187) to allow the demolition of a 3,464 square foot single family dwelling and associated accessory structures, and the construction of a 5,973 square foot single family dwelling which includes a sub-level second floor with a three-car garage, and associated grading (638 cubic yards cut and fill). The property is located at 1145 Spyglass Hill Road, Pebble Beach (Assessor's Parcel Number 008-012-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130187	STRAINE KERRY K & MCLEOD OLIVIA DEE	3/13/2013	Coastal Administrative Permit	008-012-005-000	Coastal Administrative Permit and Design Approval to allow the demolition of a 3,464 square foot, single family dwelling and associated accessory structures, and the construction of a 6,964 square foot, two-story, single family dwelling with a 760 square attached garage. The property is located at 1145 Spyglass Hill Road, Pebble Beach (Assessor's Parcel Number 008-012-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140731	PLAIN HENRY ALBERT JR & LISA MARIE TRS	9/18/2014	Combined Development Permit	008-393-003-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a 441 square foot second floor addition to existing 7,207 square foot two-story single family residence; 2) a Coastal Administrative Permit for a new 498 square foot detached garage with a 498 square foot accessory dwelling unit over the garage; 3) a Coastal Development Permit to modify the nonconforming impervious coverage in the Pescadero Watershed; and 4) Design Approval. The property is located at 3272 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-393-003-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN140888	LARSON ROY S & LARSON JOAN TRS	11/10/2014	Coastal Development Permit	008-091-004-000	Combined Development Permit consisting of a: (1) Coastal Administrative Permit to allow the construction of a 2,803 square foot single family dwelling with a 708 square foot garage; (2) Coastal Administrative Permit to allow an attached 506 square foot accessory dwelling unit; (3) Coastal Development Permit to allow the removal of 21 Pine trees and 2 Oak trees, ranging in diameter from 6"- 22"; and (3) Design Approval. The property is located 4051 Costado Road, Pebble Beach (Assessor's Parcel Number 008-091-004-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN120825	3294 STEVENSON LLC	12/11/2012	Coastal Development Permit	008-442-012-000	Coastal Development Permit to allow the removal of 1 Oak tree (split-trunk 15" and 12" dbh) and one Monterey Pine tree (32" dbh) and Design Approval for removal of existing concrete paver driveway, stone paver walkways, planter box, retaining wall (partial) and entry gate and construction of new decomposed gravel driveway and auto court, planter boxes, retaining wall and relocated entry gate with 6'-height masonry wall at property boundary. All materials and colors to match existing. Grading to consist of approximately 20 cubic yards of cut and 10 cubic yards of fill. Total impervious surface coverage to be reduced from 8,993 to 8,712 square feet. The property is located at 3294 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-442-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150061	PEBBLE BEACH COMPANY	1/26/2015	Lot Line Adjustment	008-423-040-000	Coastal Development Permit to allow a Lot Line Adjustment between two (2) contiguous legal lots of record Parcel A, 2.23 acres (Assessor's Parcel Number 008-423-044-000), and Parcel B, 13.89 acres (Assessor's Parcel Number 008-423-040-000) resulting in two legal lots of 2.68 acres (Parcel 1) and 13.44 acres (Parcel 2), respectively. The property is located at 3302 17 Mile Drive, Pebble Beach (Assessor's Parcel Numbers 008-423-044-000 and 008-423-040-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140689	W&SMITH CA INC	9/5/2014	Permit Amendment	008-012-007-000	An Amendment to a Coastal Administrative Permit to allow 1,664 square feet of additions and an interior remodel of an existing 4,856 square foot two-story single family dwelling with a 851 square foot attached three-car garage consisting of: additions of 1,026 square feet at main level (increased from 663 square feet) and 643 square feet at second level (reduced from 1,006 square feet) and removal of 5 square feet on the second level; and a Design Approval with colors and materials to match the existing structure. The property is located at 3105 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-012-007-000), Del Monte Forest area, Coastal Zone.
PLN150222	TORTIA INVESTMENTS LLC	3/17/2015	Combined Development Permit	008-234-027-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit for development within 750 feet of a known archaeological resource; and 2) Coastal Development Permit for the removal of four Monterey Pine trees; and 3) Coastal Administrative Permit and Design Approval to demolish the existing 2,824 square foot single family dwelling and construct a 6,795 square foot two-story family dwelling with a 1,184 attached garage. The property is located at 3881 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-234-027-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140229	TOBIN THOMAS P & KAREN RILEY TOBIN	4/9/2014	Combined Development Permit	008-071-026-000	Combined Development Permit to allow: 1) a Coastal Administrative Permit and Design Approval for the construction of a 3,208 square foot two-story single family dwelling, 738 square foot first floor deck, 321 square foot second story deck, a 674 square foot attached garage and 240 cubic yards of grading; and 2) a Coastal Development Permit for the removal of 24 trees (22 Monterey Pine trees and 2 Oak trees). The property is located at 4137 Sunridge Road, Pebble Beach (Assessor's Parcel Number 008-071-026-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN150011	SCOTT ROBERT C & KAREN R A TRS ET AL	1/8/2015	Coastal Development Permit	008-181-012-000	Combined Development Permit consisting of: 1) Coastal Development Permit to allow the removal of eight (8) Monterey Pine trees and three (3) Monterey Cypress trees; and, 2) Coastal Administrative Permit to allow additions/remodels to an existing 2,052 square foot single family dwelling and 720 square foot detached garage to result in a one-story 3,984 square foot single family dwelling with 602 square foot attached garage; and 3) Design Approval. The property is located at 4064 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-181-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140952	BRUNO JOSEPH TR ET AL	12/1/2014	Coastal Administrative Permit	008-091-038-000	Coastal Administrative Permit and Design Approval to allow the construction of a 2,715 square foot two-story single family dwelling with 150 square foot deck, 400 square foot attached garage, 440 square feet of unconditioned basement and 825 square feet of conditioned basement. Project to also include a 580 square foot entry bridge and 80 linear feet of 4' height retaining walls. The property is located at 4091 Crest Road, Pebble Beach (Assessor's Parcel Number 008-091-038-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150008	SOUTHBROOM LLC	1/7/2015	Combined Development Permit	008-302-039-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit for the construction of a 4,450 square foot single family dwelling with an 866 square foot attached garage and 250 linear feet of retaining walls; 2) Coastal Development Permit for the removal of 38 Coast live oak trees and 24 Monterey Pine trees; and 3) a Design Approval. The property is located at 1289 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-302-039-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140392	ALLEN TIMOTHY K & LYNN M TR	5/28/2014	Coastal Administrative Permit	008-441-009-000	Coastal Administrative Permit and Design Approval for the construction of a 4,743 square foot, two-story single family dwelling with a 908 square foot underground basement and a 638 square foot attached garage. The property is located at 1487 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-441-009-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140875	UVONGO LLC	11/5/2014	Combined Development Permit	008-302-012-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the construction of a 4,039 square foot, two-story single family dwelling with two garages (856 square feet), 445 square feet of covered patio/loggia, 227 square foot deck, and 232 linear feet of retaining wall; 2) a Coastal Development Permit to allow the removal of 29 Monterey Pine trees and 17 Coast Live Oak trees; and 3) a Design Approval. The property is located at 1285 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-302-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150205	MID-COAST REALTY ADVISORS LLC	3/9/2015	Restoration	008-371-021-000	Restoration Plan to replace trees and vegetation impacted by construction activities (PLN120274). The property is located at 3171 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number: 008-371-021-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150538	EASTERN DEVELOPMENT CORPORATION	7/14/2015	Permit Extension	008-341-019-000	Second Two-year Extension of a previous Extension (PLN130370) to an approved Combined Development Permit (PLN090157) consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a 7,628 square foot two-story single family dwelling, an attached 1,399 square foot four-car garage, 366 square feet of retaining walls, and 947 square feet of terraces, balconies, and patios. The project includes a driveway, motor courts and guest parking area for a total of 9,098 square feet, 674 square feet of stone walkway, and associated grading of approximately 900 cubic yards of cut and 300 cubic yards of fill; 2) a Coastal Administrative Permit to allow the construction of an 850 square foot accessory dwelling for caretaker use; 3) a Coastal Development Permit to allow the removal of 14 Coast Live Oak and 17 Monterey Pine trees; and 4) a Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area. The property is located at 1573 Riata Road, Pebble Beach (Assessor's Parcel Number 008-341-019-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN130370	EASTERN DEVELOPMENT CORPORATION	5/14/2013	Permit Extension	008-341-019-000	Two-year Extension of a previously approved Combined Development Permit (PLN090157) consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a 7,628 square foot two-story single family dwelling, an attached 1,399 square foot 4-car garage, 366 square feet of retaining walls, and 947 square feet of terraces, balconies, and patios. The project includes a driveway, motor courts and guest parking area for a total of 9,098 square feet, 674 square feet of stone walkway, and associated grading of approximately 900 cubic yards of cut and 300 cubic yards of fill; 2) a Coastal Administrative Permit to allow the construction of an 850 square foot accessory dwelling for caretaker use; 3) a Coastal Development permit to allow the removal of 14 Coast live oak and 17 Monterey pine trees; and 4) a Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area. The property is located at 1573 Riata Road, Pebble Beach (Assessor's Parcel Number 008-341-019-000), Del Monte Forest, Coastal Zone.
PLN150353	POT D OR LLC & JEV THOUSAND OAKS LLC AND MID-COAST REALTY ADVISORS LLC	5/4/2015	Combined Development Permit	008-371-020-000	Combined Development Permit consisting of a: 1) Coastal Development Permit to allow a Lot Line Adjustment of 0.12 acres between two parcels: Parcel A (Assessor's Parcel Number 008-371-020-000 - 1.56 acres) and Parcel B (Assessor's Parcel Number 008-371-021-000 - 1.79 acres) resulting in an equal exchange; and 2) Coastal Administrative Permit and Design Approval to allow the demolition of the existing single family dwelling and the construction of a 3,737 square foot single family dwelling, a 483 square foot detached garage, a 403 square foot detached guesthouse, and 789 square feet of deck area. The properties are located at 3171 & 3173 Del Ciervo Road, Pebble Beach (Assessor's Parcel Numbers 008-371-020-000 & 008-371-021-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN100178	COLSON ERIC RICHARD TR ET AL	4/7/2010	Coastal Administrative Permit	008-212-019-000	Combined Development Permit consisting of 1) a Coastal Administrative Permit and Design Approval to allow a 660 square foot addition to an existing 3,844 square foot single family dwelling, the demolition of a 720 square foot three-car carport, the construction of a new 480 square foot two-car garage, 2,146 square feet of new uncovered patios with an outdoor BBQ area, 167 linear feet of retaining walls, and a fountain; and 2) a Coastal Development Permit to allow the removal of one 17-inch diameter Monterey cypress. Grading consists of approximately 120 cubic yards of cut and fill. The property is located at 1507 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-212-019-000), Del Monte Forest Land Use Plan area, Coastal zone.
AP94039	LARKEY RICHARD	5/10/1994	Administrative Permit	008-472-006-000	TREE REMOVAL (1)
PLN150542	JOHNSON MARK H TR (KING KELLY)	7/15/2015	Coastal Administrative Permit	008-171-017-000	Coastal Administrative Permit to allow the demolition of a 3,149 square foot one-story single family dwelling and attached garage. The property is located at 4048 Sunridge Road, Pebble Beach (Assessor's Parcel Number (008-171-017-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150466	FINLEY ALFRED LEE & SUSAN NEWTON	6/19/2015	Coastal Administrative Permit	008-191-030-000	Coastal Administrative Permit to allow the demolition of a 2,360 square foot single family dwelling with an attached garage, and the construction of a 4,374 square foot single family dwelling with a 598 square foot garage, a 97 square foot covered entry porch, a 535 square foot covered patio; a Coastal Administrative Permit to allow a 410 square foot guesthouse; and a Design Approval. The property is located at 4031 Sunridge Road, Pebble Beach (Assessor's Parcel Number 008-191-030-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130215	3196 LLC	3/22/2013	Permit Amendment	008-491-010-000	Amendment to the Conservation and Scenic Easement for a previously approved permit (PC06613). The property is located at 3196 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-010-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN150503	WAS & HCS PB LLC	7/1/2015	Coastal Administrative Permit	008-393-008-000	Coastal Administrative Permit and Design Approval to allow the remodel and expansion of a single family residence consisting of a 67 square foot main floor addition, 871 square foot basement addition, and a 450 square foot addition to the 748 square foot caretakers unit, creating an accessory dwelling unit of 1,198 square feet. The property is located at 3392 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-393-008-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150700	FRENCH BARBARA CHERNUS	9/30/2015	Coastal Administrative Permit	008-032-020-000	Coastal Administrative Permit and Design Approval to allow the construction of a 5,250 square foot single family dwelling with attached 780 square foot garage. The property is located at 27 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-020-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN060040	BERNSTEIN HOWARD M	1/18/2006	WAV	008-361-017-000	WAIVER OF COASTAL DEVELOPMENT PERMIT TO REMOVE 3 HAZARDOUS MONTEREY PINE TREES MEASURING 37", 22" AND 19" IN DIAMETER RESPECTIVELY. MONTEREY PINES WILL BE REPLACED WITH THE SAME ON A 1 TO 1 RATIO.
PLN110605	ALDRICH RICHARD D & JOAN B TRS	11/15/2011	Combined Development Permit	008-231-012-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Administrative Permit to allow for a 783 square foot caretaker unit as a second floor addition to the garage (grading to consist of 10 cubic yards of fill); and 3) a Variance to allow increase structural coverage from 5,257 square feet to 7,590 square feet and reduce impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet. The property is located at 1415 Lisbon Lane, Pebble Beach (Assessor's Parcel Number 008-231-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN120518	4157 SUNRIDGE LLC	8/16/2012	Coastal Administrative Permit	008-071-013-000	Coastal Administrative Permit and Design Approval to allow a 380 square foot first floor addition and 1,080 square foot second floor addition to an existing dwelling (total of 1,460 square feet). The addition includes a new 79 square foot covered porch, new second floor fireplace, 228 square foot upper terrace, and a 195.5 covered loggia. The property is located at 4157 Sunridge Road, Pebble Beach (Assessor's Parcel Number 008-071-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150836	THULL ROBERT W & ANNE L TRS	12/7/2015	Minor and Trivial Amendment	008-481-015-000	Minor and Trivial Amendment of a previously approved Combined Development Permit PLN140264 to remove condition 6 requiring expansion of the existing conservation scenic easement and modify condition 7 to delete the reference to the amendment area;thereby allowing the amendment area to be excluded from the conservation and scenic easement . The property is located at 3187 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-481-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150336	PACIFIC LANAI PROPERTIES LLC	4/28/2015	Combined Development Permit	008-032-014-000	Coastal Administrative Permit to allow the construction of a 4,714 square foot one-story single family dwelling with an 1,170 square foot garage; and Coastal Administrative Permit to allow the construction of a 425 square foot detached guest house; and Design Approval. The property is located 32 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-014-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140112	FELICITY LLC	2/20/2014	Permit Extension	008-462-006-000	Extension to a previously approved permit (PLN100525). The property is located at 3252 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-462-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160088	HALL RUPERT C & YVONNE D TRS	2/10/2016	Coastal Administrative Permit	008-532-006-000	Coastal Administrative Permit to allow a 794 square foot second story with a 92 square foot balcony to an existing 3,381 square foot single family dwelling. The property is located at 1219 Bristol Lane, Pebble Beach (Assessor's Parcel Number 008-532-006-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN150778	DOBBINS JAMES M & NANCI ANNE TRS	11/3/2015	Coastal Development Permit	008-261-002-000	Coastal Development Permit for development within 100 feet of environmentally sensitive habitat and a Design Approval for minor reductions and additions to an existing dwelling. The property is located at 3145 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-261-002-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150544	CORTEZ PACIFIC LLC	7/15/2015	Coastal Administrative Permit	008-341-046-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a single-family dwelling; 2) a Coastal Administrative Permit to allow a guesthouse; 3) a Coastal Development Permit to allow removal of 8 trees; and 4) a Design Approval. The property is located at 3187 Cortez Road, Pebble Beach (Assessor's Parcel Number 008-341-046-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150578	PEBBLE BEACH COMPANY	8/4/2015	Coastal Administrative Permit	008-032-010-000	Coastal Administrative Permit and Design Approval to allow the construction of a 4,970 square foot two-story single family dwelling with an attached garage, removal of 41 Monterey Pine trees, and 100 cubic yards of grading. The property is located at 24 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150569	BCW PEBBLE LLC	7/29/2015	Coastal Administrative Permit	008-032-009-000	Coastal Administrative Permit and Design Approval to allow the construction of a 5,534 square foot two-story single family dwelling with attached garage, approximately 7,476 square feet of impervious surface coverage, and approximately 100 cubic yards of related grading. The project includes the removal of 34 Monterey Pine trees. The property is located at 22 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-009-000), Poppy Hills Subdivision Area F-2, Del Monte Forest Land Use Plan, Coastal Zone.
PLN150830	LTKKR HOLDINGS II LLC	12/1/2015	Combined Development Permit	008-371-005-000	Combined Development Permit consisting of a Coastal Administrative Permit to allow the construction of a single-family residence, related grading, and retaining walls; a Coastal Development Permit to allow the removal of eight (8) oak and six (6) Monterey pine trees; a Coastal Development Permit for development within 750 feet of an archaeological resource; and a Design Approval. The property is located 3183 Del Cervo Road, Pebble Beach (Assessor's Parcel Number 008-371-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150792	LE VETT DENNIS A & LE VETT JEANNE COX & PEBBLE BEACH COMPANY	11/12/2015	Lot Line Adjustment	008-521-009-000	Coastal Development Permit for a Lot Line Adjustment between two parcels: Unit #9 (0.17 acres) and Pebble Beach Company Townhouse Common Area (2.45 acres). The properties are located at 3307 17 Mile Drive, Unit # 9, Pebble Beach (Assessor's Parcel Numbers 008-521-009-000 and 008-521-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160178	MURRAY JAMES G III TR (HEVRDEJS FRANK J & MICHELLE H)	3/14/2016	Coastal Administrative Permit	008-371-013-000	Coastal Development Permit for development within the 750 feet of an archaeological buffer zone; and a Coastal Administrative Permit for the demolition of a 6,510 square foot single family dwelling and carport. The property is located at 1691 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-371-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160242	HARLAN ALAN J & MICHAEL D GINSBERG TRS	4/1/2016	Minor and Trivial Amendment	008-162-021-000	Minor and Trivial Amendment to a Combined Development Permit (PLN000358) and Coastal Administrative Permit (PLN020211) to allow conversion of an existing detached guesthouse into an accessory dwelling unit. The property is located at 3360 Kingsley Court, Pebble Beach (Assessor's Parcel Number 008-162-021-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160378	JOHNSON RUPERT H JR & MARYELLIE K TRS	6/3/2016	Design Approval	008-281-024-000	Design Approval to allow the demolition of a 614 square foot deck, planter boxes and stairs, and the construction of a 1,236 square foot deck, a 60 square foot outdoor kitchen and barbecue with a 60 square foot steel trellis, a new metal entry gate with columns at the driveway, a 16 square foot bronze and glass entry awning, new wood garage door, built in exterior spa, new planters, garden shed lattice changed from diagonal to vertical and new generator on 12' x 12' concrete pad with surrounding fencing to match existing. Materials and colors to match existing. The property is located at 1159 Sombria Lane, Pebble Beach (Assessor's Parcel Number 008-281-024-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN980263	RANSOM NANCY BUCK TR	5/13/1998	Administrative Permit	008-234-010-000	Coastal Administrative Permit to remove (2) monterey pines. The property is fronting on and westerly of Cantera Court at 1264 Cantera Court (Assessor's Parcel Number 008-234-010-000), Del Monte Forest Area, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN160194	BERTE LARRY E & SOBKOWICZ DIANE	3/17/2016	Combined Development Permit	008-341-015-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval for a 185 square foot first floor addition and 850 square foot second floor addition to an existing 3,284 square foot single family dwelling, and a 710 square foot addition to an existing 410 square foot attached accessory dwelling unit; 2) Coastal Development Permit for the removal of three Monterey Pine trees; and, 3) Coastal Administrative Permit for development on 30% slopes. The property is located at 1512 Bonifacio Road, Pebble Beach (Assessor's Parcel Number 008-341-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160368	WIGGANS THOMAS & WIGGANS KATHRYN TRS	5/31/2016	Combined Development Permit	008-453-003-000	Coastal Administrative Permit to allow demolition of an existing residence and a Coastal Administrative Permit to allow demolition within 750 feet of a known archaeological resource. The property is located at 3330 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-453-003-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150477	HUANG STEVEN & HU BING TRS	6/23/2015	Combined Development Permit	008-234-001-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit for the construction of a 7,760 square foot two-story single family dwelling with a 478 square foot garage, a 360 square foot attached garage, 466 square feet of first floor porches, and 340 square feet of second story balconies; and 2) Coastal Administrative Permit for the construction of an attached 956 square foot guest house; 3) Coastal Development Permit for the removal of 28 Monterey Pine trees; and 4) Design Approval. The property is located at 1264 Lisbon Lane, Pebble Beach (Assessor's Parcel Number 008-234-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150809	GEREMIA FRANK	11/18/2015	Combined Development Permit	008-112-036-000	Combined Development Permit including a: 1) Coastal Development Permit for a Minor Subdivision of an approximately 0.54 acre parcel into two lots of approximately 0.25 acres (Lot 41) and 0.29 acres (Lot 42), respectively, and 2) a Coastal Administrative Permit to allow the construction of a 2,860 square foot two story single family residence with 532 square foot attached garage and 765 square foot veranda on the newly created Lot 42. The property is located at 4026 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-112-036-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160190	BALLANTRAE GROUP LLC	3/16/2016	Combined Development Permit	008-471-028-000	Coastal Administrative Permit to allow a 2,781 square foot addition to an existing single family dwelling; Coastal Administrative Permit to allow the construction of an accessory dwelling unit; Coastal Administrative Permit to allow development within 750 feet of an archaeological resources; Waiver of Coastal Development Permit to allow the removal of 2 dead Monterey Pines; and Design Approval. The property is located at 3209 Ballantrae Lane, Pebble Beach (Assessor's Parcel Number 008-471-028-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160414	VAN VALKENBURGH JOHN E TR	6/21/2016	Permit Amendment	008-371-025-000	Minor and Trivial Amendment for modifications to an existing Scenic Easement to include landscaping improvements that were permitted outside of the scenic easement. The property is located at 3177 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-371-025-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150500	PANATTONI CARL D & MARY JANE TRS	6/30/2015	Combined Development Permit	008-455-008-000	Combined Development Permit to allow: 1) a Coastal Development Permit for a Lot Line Adjustment to merge three legal parcels resulting into two parcels; 2) a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 5,370 square foot single family dwelling; and allow the construction of a 12,064 square foot two-story single family dwelling with attached 591 square foot garage on the lower parcel, 3) a Coastal Administrative Permit for the construction of a 2,204 square foot single family dwelling with a 781 square foot attached garage on the upper parcel, and 4) Design Approval. The properties are located at 1476 and 1482 Cypress Drive, Pebble Beach (Assessor's Parcel Numbers 008-455-007-000, 008-455-008-000 and 008-411-017-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN160070	MILLER CHARLES C III & ALLEN PINNEY L	2/4/2016	Coastal Administrative Permit	008-471-003-000	Coastal Administrative Permit and Design Approval to allow demolition of an existing single-family dwelling and the construction of a 7,025 square foot single-family dwelling with a detached 618 square foot garage; and a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource. The property is located at 1264 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-471-003-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150579	PEBBLE BEACH COMPANY (BCW PEBBLE LOT 6 LLC)	8/4/2015	Coastal Administrative Permit	008-032-013-000	Coastal Administrative Permits and Design Approval to allow the construction of a 6,697 square foot two-story single family dwelling with attached garage and the construction of a detached 650 square foot accessory dwelling unit. The project also involves the removal of 98 Monterey pine trees between 6 to 24 inches in diameter, 200 cubic yards of grading (200 cubic yards of cut and 150 cubic yards of fill). The property is located at 30 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150566	ALLEN TIMOTHY K & ALLEN LYNN M TRS	7/28/2015	Coastal Administrative Permit	008-032-012-000	Coastal Administrative Permits and Design Approval to allow the construction of a 7,689 square foot, two-story single family dwelling with an attached garage and the construction of a detached 600 square foot accessory dwelling unit. The project includes the removal of 87 Monterey pine trees between 8 inches to 20 inches in diameter and 250 cubic yards of grading (250 cubic yards of cut/150 cubic yards of fill) and associated retaining walls. The property is located at 28 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150548	3196 LLC	7/17/2015	Combined Development Permit	008-491-010-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow demolition of a 10,891 square foot single family dwelling with a 718 square foot attached garage, and construction of a 10,773 square foot two-story single-family dwelling with basement and a 500 square foot detached garage; 2) a Coastal Administrative Permit to allow construction of a 390 square foot accessory dwelling unit above the detached garage; 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; 4) a Coastal Development Permit to allow development within an area of positive archaeological reports; 5) Amendment to an existing Conservation and Scenic Easement to adjust and add additional easement area; and 6) Design Approval. The property is located at 3196 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160076	HEISER ERIC & REBECCA	2/5/2016	Coastal Administrative Permit	008-293-024-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the construction of a 9,086 square foot single family dwelling with a 850 square foot garage, a 503 square foot loggia, a 126 square foot covered terrace, a 64 square foot spa, and associated retaining walls; 2) a Coastal Development Permit for the removal of six protected trees; and 3) a Design Approval. The property is located at 1246 Portola Road, Pebble Beach (Assessor's Parcel Number 008-293-024-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160642	HEVRDEJS FRANK	9/30/2016	Coastal Administrative Permit	008-031-024-000	Coastal Administrative Permit and Design Approval to allow the construction of a 5,089 square foot two-story single family dwelling with a 992 square foot attached three-car garage and mechanical room, approximately 4.5 cubic yards of grading, and a six foot high wood fence. The property is located at 1425 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-031-024-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160822	CHERNUS MICHAEL J & ADRIENNE CHERNUS TRS	12/14/2016	Coastal Administrative Permit	008-032-021-000	Coastal Administrative Permit and Design Approval to allow the construction of a 3,079 square foot single family dwelling with a 870 square foot garage, 375 square foot rear deck, 120 square foot side deck, and 107 square foot porch. The project also includes the removal of 21 Monterey Pine trees in the building footprint and 34 hazardous Monterey Pine trees. The property is located 25 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-021-000) Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN120274	MID-COAST REALITY ADVISORS LLC	4/20/2012	Combined Development Permit	008-371-021-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of an existing 5,471 square foot single family dwelling and construction of a new 9,214 square foot single family dwelling which includes an attached caretaker unit (685 square feet), attached three-car garage (987 square feet), terrace (2,234 square feet) patios and decks (597 square feet), and associated grading (700 cubic yard cut, 700 cubic yards fill). The existing driveway will be reshaped and replaced with permeable interlocking concrete pavers; 2) a Coastal Administrative Permit for development within 750 feet of a known archaeological source; 3) a Coastal Development Permit to allow the removal of two Monterey Pine tree (16 and 32 inches in diameter); and 4) a Design Approval. The property is located at 3171 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-371-021-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160179	CASANOVA 5 SW LLC	3/14/2016	Combined Development Permit	008-491-012-000	Coastal Administrative Permit and Design Approval to allow the demolition of an existing 5,392 square foot one-story single family dwelling and construction of a 8,303 square foot two-story single family dwelling; Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and Coastal Administrative Permit to allow development within environmentally sensitive habitat (Monterey Cypress habitat). The property is located at 3188 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-012-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160591	BENSON STEPHEN G & CHRISTINE M TRS	9/13/2016	Coastal Administrative Permit	008-332-007-000	Coastal Administrative Permit and Design Approval to allow the demolition of a single family dwelling and the construction of a two-story 3,818 square foot single family dwelling and 294 square foot of decking. Materials and colors to consist of sandstone stucco body with stone accent and dark satin bronze and black window trim. The property is located at 1432 Riata Road, Pebble Beach (Assessor's Parcel Number 008-332-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN120103	CHAPPELLET CYRIL DONN TR ET AL	2/14/2012	Permit Extension	008-455-015-000	Extension of a previously approved Combined Development Permit (PLN070024) consisting of a Coastal Administrative Permit to allow the demolition of an existing 4,584 square foot single family dwelling; a Coastal Development Permit to allow an existing 1,323 square feet, legal non-conforming guesthouse to remain, and a Coastal Development Permit to allow development within 750 feet of a known archaeological site. The property is located at 3296 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-455-015-000), east of the intersection of Stevenson Drive and Cypress Drive, Del Monte Forest Land Use Plan, Coastal Zone.
PLN160029	FELICITY LLC	1/19/2016	Permit Extension	008-462-006-000	Five-year extension of PLN140112. The property is located at 3252 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-462-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160710	KA RESIDENTIAL LLC	10/28/2016	Coastal Administrative Permit	008-502-002-000	Coastal Administrative Permit and Design Approval for a remodel and addition to an existing one-story single family dwelling consisting of: 1) a 98 square foot entry addition, the conversion of the existing two-car garage to a bedroom, bathroom and game room; and construction of an attached 768 square foot three-car garage; new doors, windows and skylights; and 2) materials and colors to match the existing residence. The property is located at 1564 Deer Path, Pebble Beach (Assessor's Parcel Number 008-502-002-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170143	FJUGSTAD GEIR	2/21/2017	Coastal Administrative Permit	008-213-001-000	Coastal Administrative Permit and Design Approval for the remodel and 1,057 square foot addition to an existing 2,727 square foot dwelling. The property is located at 1536 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-213-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170148	DI GRAZI DEREK TR ET AL	2/22/2017	Coastal Administrative Permit	008-411-006-000	Coastal Administration Permit for the demolition of an existing 5,156 square foot single family dwelling, 704 square foot garage and accessory structures. The property is located at 1552 Cypress Drive, Pebble Beach (Assessor's Parcel Number 008-411-006-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN150716	LUNDGREN JOHN F & TAMARA L	10/7/2015	Combined Development Permit	008-371-009-000	Amendment to an approved Combined Development Permit (PLN120681) to allow the reduction and redesign of an approved single family dwelling; Coastal Administrative Permit and Design Approval to convert a legal non-conforming guesthouse into an Accessory Dwelling Unit; and rescind the approval of a Variance to exceed the Pescadero Watershed impervious surface limitation. The property is located at 3167 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-371-009-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170097	CYPRESS MANOR LLC	2/2/2017	Minor and Trivial Amendment	008-491-015-000	Minor and Trivial Amendment to a previously approved Combined Development Permit (PLN100579) to revise landscaping plans with minor re-shaping of exterior stairs and patios. The property is located at 3184 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160779	YOST CHARLES DANIEL & KATHRYN MALEA TRS	11/22/2016	Coastal Administrative Permit	008-391-001-000	Coastal Administrative Permit and Design Approval to allow an addition of more than 10% of floor area to an existing single family dwelling. The addition consists of 150 square feet to the first floor and 1,249 square feet to the second floor. Materials and colors to match the existing single family dwelling. The property is located at 3365 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-391-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170015	AT&T SERVICES INC	1/9/2017	Use Permit	008-401-001-000	Coastal Development Permit to allow assemblages of people (maximum of 175 guests per day) for no more than 10 days per calendar year to only occur during the annual AT&T Pebble Beach Pro-Am Golf Event and Periodic US Open Championship. The project involves no construction or changes to the existing structures. The property is located at 1557 Cypress Drive, Pebble Beach (Assessor's Parcel Number 008-401-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170153	PEBBLE BEACH COMPANY	2/23/2017	Minor and Trivial Amendment	008-431-009-000	Minor and Trivial Amendment to a previously approved permit (PLN100138) which included a Coastal Development Permit and Design Approval to allow construction of accessibility, circulation, and parking improvements at The Lodge at Pebble Beach. This minor amendment would allow the demolition of a gas station and conversion of the area to a surface parking lot. The property is located at 3305 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-431-009-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170324	PEBBLE BEACH COMPANY	3/31/2017	Minor and Trivial Amendment	008-401-018-000	Minor and Trivial Amendment to a previously approved Coastal Administrative Permit (PLN140818) to allow the installation and use of an approximately 12,320 square foot tent structure as a temporary conference facility. This minor amendment would increase the square footage by 2,146 square feet to 14,466 square feet and revise the timeframe of use from February 18, 2015 - February 18, 2018, to July 1, 2017 - August 1, 2019. The property is located at 1541 Cypress Drive, Pebble Beach (Assessor's Parcel Number 008-401-018-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150312	BONE UTA M TR	4/20/2015	Coastal Administrative Permit	008-282-005-000	Coastal Administrative Permit and Design Approval to allow a 1,808 square foot addition to an existing 2,853 square foot single family dwelling and attached garage resulting in a 4,242 square foot single family dwelling with 985 square foot attached garage. The property is located at 1139 Portola Road, Pebble Beach (Assessor's Parcel Number 008-282-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160609	OCONNOR PATRICK C & BONNIE J	9/16/2016	Combined Development Permit	008-371-026-000	Coastal Administrative Permit and Design Approval to allow construction of a 1,125 square foot two-story addition to a single-family dwelling, and a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource. The property is located at 3195 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-371-026-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160786	PACANSKY THOMAS J & BEVERLY J	11/29/2016	Coastal Administrative Permit	008-191-015-000	Coastal Administrative Permit and Design Approval to allow a 536 square foot addition to an existing single family dwelling. The property is located at 4028 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-191-015-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN160117	EL WHY SQUARE LLC	2/22/2016	Combined Development Permit	008-491-021-000	Combined Development Permit consisting of: a Coastal Administrative Permit a d Design Approval to allow the demolition of an existing 6,871 square foot single family dwelling with a 1,550 square foot attached garage and construction of a 13,130 square foot single family dwelling with a 754 square foot attached garage; 2) Coastal Development Permit to allow development within an environmentally sensitive habitat area; and 3) Coastal Development Permit to allow development within 750 feet of a known archaeological resource. The property is located at 3168 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-021-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130005	CONCORD TRUST COMPANY LLC TR & KIM HEESUN	1/4/2013	Combined Development Permit	008-162-007-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the construction of a 12,082 square foot, three-story single family dwelling; 2) a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource; 3) a Coastal Development Permit to allow the removal of three Oak trees and seven Monterey pine trees; and 4) a Design Approval. The property is located at 3260 Macomber Drive, Pebble Beach (Assessor's Parcel Number 008-162-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150669	NASE WERNER JR TRUST	9/15/2015	Combined Development Permit	008-232-003-000	Combined Development Permit consisting of: 1) a Coastal Administrative and Design Approval for the construction of a 5,385 square foot one-story single family dwelling with an attached garage, and covered porch; 2) a Coastal Development Permit for the removal of 44 Monterey pine trees; and 3) a Coastal Development Permit for development within 100 feet of Environmental Sensitive Habitat (ESHA - Yadon's Piperia and Monterey Pine forest). The property is located at 1412 Lisbon Lane, Pebble Beach (Assessor's Parcel Number 008-232-003-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN060404	MACKENZIE GRAEME F TR (BALL SARAH E & DAVID M)	6/19/2006	Combined Development Permit	008-533-007-000	Combined Development Permit consisting of: 1) Coastal Development Permit for the removal of four Monterey Pine trees of 15, 8 and two at 6 inches in diameter; 2) Coastal Administrative Permit and Design Approval to allow the construction of a 959.5 square foot three bedroom, one bathroom addition to a one-story single family dwelling. The materials and colors are to match the existing residence. The property is located at 1230 Silver Court, Pebble Beach (Assessor's Parcel Number 008-533-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160821	SKINNER ROBERT J JR & STEFANIE A	12/14/2016	Coastal Administrative Permit	008-281-020-000	Coastal Administrative Permit and Design Approval to allow a remodel and addition to an existing single family dwelling including demolition of more than 50% of the exterior walls resulting in a new 15,319 square foot single family dwelling; A Coastal Administrative Permit to allow the demolition of an existing 880 square foot accessory dwelling unit and construction of a 1,200 square foot accessory dwelling unit in the same place; and Coastal Administrative Permit to allow development within 750 feet of known Archaeological Resources. The property is located at 1151 Sombria Lane, Pebble Beach (Assessor's Parcel Number 008-281-020-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN120132	SOKOLOV IGOR TR	2/23/2012	Restoration	008-351-028-000	Restoration plan to partially clear Code Enforcement CE090213 that requires re-establishment of Oak trees along the front of the property line and a portion on-site. The Pebble Beach Company shall be on-site to monitor any and all replanting and shall confirm the eight trees on the property remain in their original boxes. The property is located at 3349 17 Mile Drive, Pebble Beach (Assessor's 008-351-028-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160746	LEWIS WILLIAM R MD & DUNCAN B LEWIS TRS	11/9/2016	Coastal Development Permit	008-393-006-000	Coastal Development Permit to allow other residential uses of a similar character, density and intensity to a Bed and Breakfast (short term rental) as determined by the Planning Commission to be consistent and compatible with the intent of the Low Density Residential Zoning District and the Del Monte Forest Land use Plan. The property is located at 3384 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-393-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150108	WHEATLEY WINDSWEPT LLC	2/6/2015	Combined Development Permit	008-383-006-000	Combined Development Permit consisting of 1) a Coastal Administrative Permit and Design Approval for the construction of a 4,414 square foot two-story single family dwelling with an attached 586 square foot garage; and 2) a Coastal Development Permit for the removal of ten oak tree ranging in diameter from 6"-18"; and approximately 800 cubic yards of grading (400 cut/ 400 fill). The property is located at 3433 Carmel Way, Pebble Beach (Assessor's Parcel Number 008-383-006-000), Del Monte Forest Land Use Plan, Coastal Zone.

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RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN160144	VIRNIG SHARENE HAMROCK TR & VIRNIG KENNETH JOHN II	3/3/2016	Combined Development Permit	008-012-013-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow the partial demolition and remodel of an existing 5,700 square foot two story single family residence, associated grading of approximately 800 cubic yards, and dune restoration of approximately 4,380 square feet; 2) Coastal Development Permit to allow development within environmentally sensitive habitat (dune); and 3) Coastal Development Permit to allow development within 750 feet of a known archaeological resource. The property is located at 1154 The Dunes, Pebble Beach (Assessor's Parcel Number 008-012-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160815	DAVI ANTHONY G JR (FREMONT BANK)	12/9/2016	Coastal Administrative Permit	008-112-035-000	Coastal Administrative Permit and Design Approval to allow the construction of a 3,770 square foot three level single family dwelling with a 1,550 square foot roof deck; 596 square foot car porch and entry porch; 1,264 square feet of patios and steps; and 215 square feet of retaining walls. The property is located at 4033 Los Altos Drive, Pebble Beach (Assessor's Parcel Number 008-112-035-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130148	LOGAN MARK B & ANNE J & PEBBLE BEACH COMPANY	3/5/2013	Combined Development Permit	008-521-006-000	Combined Development Permit consisting of: 1) a Coastal Development Permit for a Lot Line Adjustment to exchange 540 square feet between a townhome parcel and an open space parcel of the Pebble Beach Town Homes, and to allow 2) a Coastal Administrative Permit and Design Approval for a 637 square foot addition to an existing 3,561 square foot townhouse and an existing 660 square foot deck. The property is located at 3307 17 Mile Drive, Unit 6, Pebble Beach (Assessor's Parcel Number 008-521-006-000), Del Monte Land Use Plan.
PLN130745	BAUER EMILY YANG	10/17/2013	Minor and Trivial Amendment	008-331-007-000	Minor and Trivial Amendment and Extension to a previously approved Combined Development Permit (PLN070333); as amended the Combined Development Permit consists of: 1) A Coastal Administrative Permit to allow the construction of a new 4,713 square foot, three-level single family dwelling with an attached 619 square foot garage, two 3,000 gallon water tanks to collect storm water, a 400 linear foot retaining wall and approximately 3,287 cubic yards of grading (1,400 cubic yards cut and 1,887 cubic yards fill); 2) A Coastal Administrative Permit to allow the construction of an 849 square foot detached senior unit; 3) A Coastal Development Permit to allow the removal of 33 Monterey Pine trees; 4) A Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat (Yadon's Piperia); and 5) A Design Approval. The extension will be for six months from February 12, 2014 and will expire on August 12, 2014. The property is located at 1440 Oleada Road, Pebble Beach (Assessor's Parcel Number 008-331-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160742	SWC PARTNERS LLC	11/8/2016	Minor and Trivial Amendment	008-455-015-000	Amendment to previously approved Combined Development Permits (PLN070024 & PLN120103) to: A) delete demolition of the existing single family dwelling; B) incorporate a previously approved Design Approval (PLN150291) which allowed a remodel to the existing single family dwelling including a 144 square foot addition to the existing basement level; and C) allow an after-the-fact 566 square foot expansion of the basement over and above what was previously approved within 750 feet of a known archaeological resource. The property is located at 3296 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-455-015-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN140521	BAUER BRAD B & EMILY YANG BAUER TRS	7/10/2014	Permit Extension	008-331-007-000	Two-year Extension to previously approved Minor and Trivial Amendment and Extension (PLN130745) to Combined Development Permit (PLN070333). The new expiration date will be August 12, 2016. Entitlements to be extended are: 1) a Coastal Administrative Permit to allow the construction of a new 4,713 square foot, three-level single family dwelling with an attached 619 square foot garage, two 3,000 gallon water tanks, retaining wall and 3,287 cubic yards of grading (1,400 cubic yards cut and 1,887 cubic yards fill); 2) a Coastal Administrative Permit to allow the construction of an 849 square foot detached senior unit; 3) A Coastal Development Permit to allow the removal of 33 Monterey Pine trees; 4) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; and 5) a Design Approval. The property is located at 1440 Oleada Road, Pebble Beach (Assessor's Parcel Number 008-331-007-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN170349	TUCHEN MICHAEL H & SARASINA O	4/11/2017	Coastal Administrative Permit	008-162-026-000	Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and a Coastal Administrative Permit and Design Approval to allow construction of 748 square feet of additions to an existing 6,719 square foot single family dwelling, 126 square foot covered entry, 2,499 square foot terrace with fire pit, barbeque area, exterior stairs and expansion of the existing driveway and parking area. The property is located at 3255 Macomber Drive, Pebble Beach (Assessor's Parcel Number 008-162-026-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170535	HEVRDEJS FRANK J & MICHELLE H	6/19/2017	Combined Development Permit	008-371-013-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow construction of a 10,417 square foot single family dwelling, with a 799 square foot attached garage and a 548 square foot detached garage; 2) Coastal Administrative Permit and Design Approval to allow construction of a 810 square foot accessory dwelling unit; 3) Variance to allow a 8,463 square foot net reduction of impervious surface coverage (from 27,829 square feet to 19,366 square feet); 4) Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and 5) Coastal Administrative Permit to allow development on slope exceeding 30 percent. The property is located at 1691 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-371-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170546	SEDAN CHRIS R TR	6/22/2017	Design Approval	008-351-040-000	After-the-fact Design Approval to clear Code Violation (15CE00038) to allow construction of 2 gas fire pits, hot tub with decking, post and beam patio trellis, and new fencing to match existing. The colors and materials are proposed to match existing single family dwelling. The property is located at 1545 Venadero Road, Pebble Beach (Assessor's Parcel Number 008-351-040-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170891	CLARK J TR	10/24/2017	Design Approval	008-454-002-000	Design Approval to allow the interior remodel of an existing single family home, including window replacement; colors and materials to match the existing structure. The property is located at 3319 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-454-002-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170167	HUBBELL FREDERICK N JR & LINDA G	3/1/2017	Coastal Administrative Permit	008-213-002-000	Coastal Administrative Permit and Design Approval to allow construction of a 1,502 square foot first floor addition, a 902 square foot second floor addition, a 306 square foot garage addition, 137 square feet of covered terrace, a 443 square foot trellis, an 81 square foot covered porch, and a 297 square foot second-story deck addition to an existing 2,395 square foot single-family dwelling with a 782 square foot attached garage. The property is located at 1540 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-213-002-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170198	1536 VENADERO LLC (PENN)	3/8/2017	Combined Development Permit	008-422-012-000	Combined Development Permit consisting of: 1) a Coastal Development Permit to allow landscaping improvements including replacement and reconfiguration of driveway, patios, walkways, fountains, and plants within a positive archaeological site; and 2) a Variance to exceed the 9,000 square feet impervious surface limit in the Pescadero Watershed by 553 square feet for Assessor's Parcel Number 008-422-012-000. The property is located at 1536 Venadero Road, Pebble Beach (Assessor's Parcel Numbers 008-422-012-000 & 008-422-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN130456	RADKOWSKI LYNN ANNE (GOESE MYRNA TR)	6/17/2013	Combined Development Permit	008-171-039-000	Combined Development Permit to allow: 1) a Coastal Administrative Permit for a 2,195.5 square foot two-story addition, 569.5 square foot deck, 1,104 square foot courtyard/terrace and retaining walls (192 linear feet) to an existing 4,160.5 two-story single family dwelling; 2) a Coastal Development Permit to allow the removal of six Monterey Pine trees (13", 2-9", 6" and 2-5" in diameter) and two Oak trees (6" & 5" in diameter); 3) Design Approval and 4) grading (555 cubic yards of cut). The property is located at 1584 Griffin Road, Pebble Beach (Assessor's Parcel Number 008-171-039-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN170753	GIESEN RICHARD A JR TR	9/6/2017	Coastal Administrative Permit	008-202-006-000	Coastal Administrative Permit and Design Approval for the demolition, remodel and additions to a single family dwelling consisting of: demolition of a 477 square foot attached carport, an 874 square foot deck, a 542 square foot covered entry, 588 square feet of patio and exterior stairs; 1,130 square foot first floor addition, a 890 square foot second floor addition, a 593 square foot basement addition, a 133 square foot covered entry, a new 867 square foot garage with a 560 square foot second story office and balcony, a 400 square foot covered loggia, covered terrace, two new fire pits, water feature, wood fence with stucco columns and gate at the driveway, retaining wall, enclosed utility area; and interior remodel. The project also includes 5,047 square feet of asphalt driveway to be replaced with permeable pavers. The property is located at 3175 Palmero Way, Pebble Beach (Assessor's Parcel Number 008-202-006-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170076	HIRSCHFIELD SCOTT E & MOLLY	1/26/2017	Combined Development Permit	008-234-011-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for partial demolition and rebuilding of an existing 3,126 square foot single family dwelling, including the demolition of 339 square feet, and the addition of 3,291 square feet, for a finished total of 6,078 square feet; and 2) a Coastal Development Permit for the removal of two Monterey Pine trees. The property is located at 1268 Cantera Court, Pebble Beach (Assessor's Parcel Number 008-234-011-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN100072	ANDERSON JAMES R & FARMER GAIL LEE TR	2/11/2010	Combined Development Permit	008-121-005-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a single story 2,653 square foot single family dwelling with an attached 640 square foot garage and grading (less than 100 cubic yards of cut and less than 100 cubic yards of fill); and 2) a Coastal Development Permit to allow the removal of 18 Monterey Pine trees consisting of: one 7-inch, two 8-inch, one 9-inch, one 10-inch, four 12-inch, four 18-inch, one 24-inch landmark, two 30-inch landmark, and two 36-inch landmark. Materials and colors to consist of light green stucco, white trim, color-blended slate roofing, color-blended stone veneer, and copper gutters and downspouts. The property is located at 4088 Sunset Lane, Pebble Beach (Assessors' Parcel Number 008-121-005-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160608	BAILEY CAROLINE COLEMAN TR	9/16/2016	Combined Development Permit	008-461-010-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval for 2,717 square feet of single story additions with an attached three-car garage; and 2) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (Monterey Cypress habitat). The property is located at 3257 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-461-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150150	LUNDQUIST RICHARD C & MELANIE F TRS	2/19/2015	Permit Amendment	008-472-006-000	Amendment to a previously approved Combined Development Permit (PLN110114) consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the construction of a detached 1,070 square foot four-car garage, driveway, replacement of an existing wood fence with a new stone wall and a new driveway entrance, restoration of existing paths and driveway to native Monterey Cypress habitat, and associated grading; 2) a Coastal Development Permit for the removal of one dead 7" Monterey Cypress tree; 3) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat; 4) a Coastal Development Permit for development within 750 feet of a known archaeological resource; and 5) a Coastal Development Permit for development on slopes exceeding than 30 percent. This Amendment would revise the Coastal Administrative Permit and Design Approval to allow the demolition of the 2,083 square foot single family dwelling with 740 square feet of deck area and a 249 square foot attached carport, and construction of a 8,886 square foot single family dwelling with 1,296 square feet of balcony area and a 1,106 square foot detached garage. The property is located at 3224 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-472-006-000), Del Monte Forest Area Land Use Plan, Coastal Zone. Related to PLN110114.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN130227	SCAFANI ROBERT & ROSEMARIE	3/27/2013	Combined Development Permit	008-234-037-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit to allow construction of a 4,295 square foot single family dwelling, 1,482 square foot attached 3-car garage, shop/storage area and Design Approval; 2) Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and 3) Waiver of Coastal Development Permit to allow the removal of 3 diseased/dead Monterey Pine trees. The property is located at 3183 Forest Lake Road, Pebble Beach (Assessor's Parcel Number: 008-234-037-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170718	AT&T SERVICES INC	8/24/2017	Combined Development Permit	008-401-001-000	Combined Development Permit consisting of a: 1) Coastal Administrative Permit and Design Approval to allow an after-the-fact 725 square foot Accessory Dwelling Unit; 2) Coastal Development Permit to allow after-the-fact development within 750 feet of a known archaeological resource; and 3) Variance for exceeding 15-foot maximum height by 2 feet. The property is located at 1557 Cypress Road, Pebble Beach (Assessor's Parcel Number 008-401-001-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170237	RHODES DANIEL J CO-TR ET AL	3/20/2017	Combined Development Permit	008-072-013-000	Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the remodel of a one-story 1,433 square foot single family residence, a 1,082 square foot addition on the main level, a 264 square foot addition on the upper level, and a 989 square foot attached garage on the basement level, for a total of 3,768 square feet; and 2) a Coastal Development Permit for the removal of 4 Monterey Pine trees. The property is located at 4175 Sunset Lane, Pebble Beach (Assessor's Parcel Number 008-072-013-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170570	TIRADO DON LOUIS & COLLINS JULIE DAWN	7/6/2017	Coastal Administrative Permit	008-031-027-000	Coastal Administrative Permit and Design Approval to allow the construction of a 4,210 square foot single family dwelling with a 875 square foot garage and the removal of 26 Monterey Pine trees (tree removal was analyzed under the previous EIR for the Del Monte Forest LCP Amendment). The property is located at 1443 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-031-027-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170571	2020 INVESTMENT GROUP (TIRADO)	7/6/2017	Coastal Administrative Permit	008-031-026-000	Coastal Administrative Permit and Design Approval to allow the construction of a 5,228 square foot single family dwelling with a 946 square foot garage, and the removal of 24 Monterey Pine trees (tree removal was analyzed under the previous EIR for the Del Monte Forest LCP Amendment). The property is located at 1437 Viscano Road, Pebble Beach (Assessor's Parcel Number 008-031-026-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170845	BALL DAVID M & SARAH E	10/6/2017	Coastal Administrative Permit	008-533-007-000	Coastal Administrative Permit and Design Approval to allow an 868 square foot addition to an existing 4,576 square foot single family dwelling. The property is located at 1230 Silver Court, Pebble Beach (Assessor's Parcel Number 008-533-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170667	KILIC KEMAL SUHA	8/3/2017	Coastal Administrative Permit	008-061-007-000	Coastal Administrative Permit and Design Approval to allow construction of 709 square foot addition to an existing 1294 square foot single-family dwelling and addition of a 506 square foot attached garage. The property is located at 4119 Crest Road, Pebble Beach (Assessor's Parcel Number 008-061-007-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170803	BARRETT FAMILY HOLDINGS LLC	9/21/2017	Coastal Development Permit	008-271-004-000	Combined Development Permit consisting of: 1) Coastal Development Permit and Design Approval to allow the construction of a 550 square foot laundry room (expanding existing utility room) within 750 feet of a known archaeological resource; and 2) Coastal Development Permit for development within 100 feet of environmentally sensitive habitat. The property is located at 3154 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-004-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150755	RAVEN SCOTT & RAVEN CHARLYSE	10/23/2015	Combined Development Permit	008-401-010-000	Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a 3,996 square foot single family dwelling; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%) and FAR by 5.3% (totaling 22.8%). The property is located at 3213 Whitman Lane, Pebble Beach (Assessor's Parcel Number 008-401-010-000), Del Monte Forest Land Use Plan, Coastal Zone.

Del Monte Forest Area Past and Present Projects

RECORD ID	RECORD NAME	DATE OPENED	Entitlement	APN	DESCRIPTION
PLN150615	DEL MONTE FOUNDATION INC (DEL MONTE FOREST CONSERVANCY)	8/20/2015	Coastal Administrative Permit	008-161-009-000	Coastal Administrative Permit and Design Approval to allow the construction of a series of check dams for restoration and drainage control on a man-made erosional gully. The property is located adjacent to 17 Mile Drive, between Del Ciervo Road and Carmel Way, Pebble Beach (Assessor's Parcel Number 008-161-009-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170538	PEBBLE BEACH COMPANY	6/20/2017	Combined Development Permit	008-431-010-000	Combined Development Permit consisting of: 1) a Coastal Development Permit and Design Approval to allow the construction of 18-space surface parking lot, 150 linear feet of retaining wall and 94 linear feet of 3 foot high wooden fence; and 2) a Coastal Development Permit for removal of 10 trees (7 Coast Live Oak, 2 Monterey Pine & 1 Monterey Cypress). Grading of 695 cubic yards and fill of 8 cubic yards. The property is located at 1491 Cypress Drive, Pebble Beach (Assessor's Parcel Number 008-431-010-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170213	BALISTIDAE CAPITAL LLC	3/10/2017	Coastal Administrative Permit	008-032-019-000	Coastal Administrative Permit and Design Approval to allow the construction of a 5,064 square foot two-story single family dwelling with an attached 1,013 square foot three-car garage and associated grading. The property is located at 29 Poppy Lane, Pebble Beach (Assessor's Parcel Number 008-032-019-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN180118	WOO WARREN C & SUDA CAROLYN M TRS	2/16/2018	Design Approval	008-261-004-000	Design Approval to allow construction of an 198 square foot addition and a 145 square foot balcony. Colors and materials to include natural wood siding (cedar) and stone veneer, bronze aluminum window frames, and glass railing. The property is located at 1152 Signal Hill Road, Pebble Beach (Assessor's Parcel Number 008-261-004-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN170574	WIGGANS THOMAS & WIGGANS KATHRYN TRS	7/7/2017	Coastal Administrative Permit	008-453-003-000	Coastal Administrative Permit and Design Approval to allow the construction of a 5,593 square foot two-story single family dwelling, swimming pool, xx linear feet of wood fencing, and associated grading; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources. The property is located at 3330 Stevenson Drive, Pebble Beach (Assessor's Parcel Number 008-453-003-000), Del Monte Forest Land Use Plan, Coastal Zone. Related to PLN160368.
PLN140353	MAESTRI LUCA & KATRINA TRS	5/15/2014	Combined Development Permit	008-491-024-000	Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval for the construction of a 10,776 square foot tri-level single family residence with a 802 square foot attached garage, 2) Coastal Administrative Permit and Design Approval to allow the construction of a 999 square foot attached Accessory Dwelling Unit, 3) Coastal Development Permit to allow the removal of two Monterey pine trees (one 8-inch and one 12-inch) and a clump of declining Monterey cypress trees (a 21-inch and 24-inch multi-trunk and a 17-inch, 17-inch, 24-inch, and 24-inch multi-trunk); 4) Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat, and 5) Coastal Development Permit to allow development within 750 feet of a positive archaeological site. The property is located at 3180 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-491-024-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN160289	HANSEN JULIE K	4/20/2016	Mills Act Contract	008-371-002-000	Mills Act Historic Property Contract request for the Hansen/Alma Urmston House . The property is located at 3191 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-371-002-000), Del Monte Forest Land Use Plan, Coastal Zone.
PLN150239	1659 CRESPI LANE LLC	3/23/2015	Coastal Administrative Permit	008-371-017-000	Coastal Administrative Permit to allow the demolition of a 2,894 square foot residence and the construction of a new 4,355 square foot two-story residence with an attached 924 square foot three-car garage, 228 square foot entry porch, 168 square foot loggia, 728 square feet of terraces, and associated site improvements including a 2,148 cubic yards of grading (1,059 cut/1,089 fill); Tree Removal permit to allow the removal of one 27 inch Monterey Pine tree; and Design Approval. The property is located at 1659 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-371-017-000), Del Monte Forest Land Use Plan, Coastal Zone.

APPENDIX C

Biological Resources Background Information

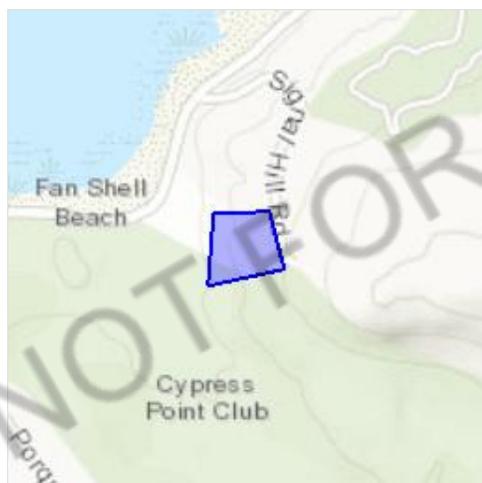
IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location

Monterey County, California



Local office

Ventura Fish And Wildlife Office

☎ (805) 644-1766

📠 (805) 644-3958

2493 Portola Road, Suite B
Ventura, CA 93003-7726

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population, even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information.
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Mammals

NAME

STATUS

Southern Sea Otter *Enhydra lutris nereis*
 No critical habitat has been designated for this species.
<https://ecos.fws.gov/ecp/species/8560>

Threatened
 Marine mammal

Birds

NAME	STATUS
California Condor <i>Gymnogyps californianus</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/8193	Endangered
California Least Tern <i>Sterna antillarum browni</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/8104	Endangered
Least Bell's Vireo <i>Vireo bellii pusillus</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/5945	Endangered
Marbled Murrelet <i>Brachyramphus marmoratus</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/4467	Threatened
Southwestern Willow Flycatcher <i>Empidonax traillii extimus</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/6749	Endangered
Western Snowy Plover <i>Charadrius alexandrinus nivosus</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/8035	Threatened

Amphibians

NAME	STATUS
California Red-legged Frog <i>Rana draytonii</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/2891	Threatened

California Tiger Salamander <i>Ambystoma californiense</i>	Threatened
There is final critical habitat for this species. Your location is outside the critical habitat.	
https://ecos.fws.gov/ecp/species/2076	

Fishes

NAME	STATUS
Tidewater Goby <i>Eucyclogobius newberryi</i>	Endangered
There is final critical habitat for this species. Your location is outside the critical habitat.	
https://ecos.fws.gov/ecp/species/57	

Insects

NAME	STATUS
Smith's Blue Butterfly <i>Euphilotes enoptes smithi</i>	Endangered
There is proposed critical habitat for this species. The location of the critical habitat is not available.	
https://ecos.fws.gov/ecp/species/4418	

Crustaceans

NAME	STATUS
Vernal Pool Fairy Shrimp <i>Branchinecta lynchi</i>	Threatened
There is final critical habitat for this species. Your location is outside the critical habitat.	
https://ecos.fws.gov/ecp/species/498	

Flowering Plants

NAME	STATUS
Beach Layia <i>Layia carnosa</i>	Endangered
No critical habitat has been designated for this species.	
https://ecos.fws.gov/ecp/species/6728	
Clover Lupine <i>Lupinus tidestromii</i>	Endangered
No critical habitat has been designated for this species.	
https://ecos.fws.gov/ecp/species/4459	
Coastal Dunes Milk-vetch <i>Astragalus tener</i> var. <i>titi</i>	Endangered
No critical habitat has been designated for this species.	
https://ecos.fws.gov/ecp/species/7675	

Hickman's Potentilla <i>Potentilla hickmanii</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/6343	Endangered
Marsh Sandwort <i>Arenaria paludicola</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/2229	Endangered
Menzies' Wallflower <i>Erysimum menziesii</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/2935	Endangered
Monterey Clover <i>Trifolium trichocalyx</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/4282	Endangered
Monterey Gilia <i>Gilia tenuiflora</i> ssp. <i>arenaria</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/856	Endangered
Monterey Spineflower <i>Chorizanthe pungens</i> var. <i>pungens</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/396	Threatened
Yadon's Piperia <i>Piperia yadonii</i> There is final critical habitat for this species. Your location is outside the critical habitat. https://ecos.fws.gov/ecp/species/4205	Endangered

Conifers and Cycads

NAME	STATUS
Gowen Cypress <i>Cupressus goveniana</i> ssp. <i>goveniana</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/8548	Threatened

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

THERE ARE NO CRITICAL HABITATS AT THIS LOCATION.

Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Measures for avoiding and minimizing impacts to birds <http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Nationwide conservation measures for birds <http://www.fws.gov/migratorybirds/pdf/management/nationwidestandardconservationmeasures.pdf>

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME

BREEDING SEASON (IF A BREEDING SEASON IS INDICATED FOR A BIRD ON YOUR LIST, THE BIRD MAY BREED IN YOUR PROJECT AREA SOMETIME WITHIN THE TIMEFRAME SPECIFIED, WHICH IS A VERY LIBERAL ESTIMATE OF THE DATES INSIDE WHICH THE BIRD BREEDS ACROSS ITS ENTIRE RANGE.

"BREEDS ELSEWHERE" INDICATES
 THAT THE BIRD DOES NOT LIKELY
 BREED IN YOUR PROJECT AREA.)

<p>Allen's Hummingbird <i>Selasphorus sasin</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9637</p>	Breeds Feb 1 to Jul 15
<p>Ashy Storm-petrel <i>Oceanodroma homochroa</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/7237</p>	Breeds May 1 to Jan 15
<p>Bald Eagle <i>Haliaeetus leucocephalus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/1626</p>	Breeds Jan 1 to Aug 31
<p>Black Oystercatcher <i>Haematopus bachmani</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9591</p>	Breeds Apr 15 to Oct 31
<p>Black Skimmer <i>Rynchops niger</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/5234</p>	Breeds May 20 to Sep 15
<p>Black Swift <i>Cypseloides niger</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/8878</p>	Breeds Jun 15 to Sep 10
<p>Black Turnstone <i>Arenaria melanocephala</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds elsewhere
<p>Burrowing Owl <i>Athene cunicularia</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/9737</p>	Breeds Mar 15 to Aug 31
<p>California Thrasher <i>Toxostoma redivivum</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Jan 1 to Jul 31

<p>Clark's Grebe <i>Aechmophorus clarkii</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Jan 1 to Dec 31
<p>Common Yellowthroat <i>Geothlypis trichas sinuosa</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/2084</p>	Breeds May 20 to Jul 31
<p>Golden Eagle <i>Aquila chrysaetos</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/1680</p>	Breeds Jan 1 to Aug 31
<p>Lawrence's Goldfinch <i>Carduelis lawrencei</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9464</p>	Breeds Mar 20 to Sep 20
<p>Lewis's Woodpecker <i>Melanerpes lewis</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9408</p>	Breeds Apr 20 to Sep 30
<p>Long-billed Curlew <i>Numenius americanus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/5511</p>	Breeds elsewhere
<p>Marbled Godwit <i>Limosa fedoa</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9481</p>	Breeds elsewhere
<p>Nuttall's Woodpecker <i>Picoides nuttallii</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/9410</p>	Breeds Apr 1 to Jul 20
<p>Oak Titmouse <i>Baeolophus inornatus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9656</p>	Breeds Mar 15 to Jul 15

<p>Rufous Hummingbird <i>selasphorus rufus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/8002</p>	Breeds elsewhere
<p>Short-billed Dowitcher <i>Limnodromus griseus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9480</p>	Breeds elsewhere
<p>Song Sparrow <i>Melospiza melodia</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds Feb 20 to Sep 5
<p>Spotted Towhee <i>Pipilo maculatus clementae</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/4243</p>	Breeds Apr 15 to Jul 20
<p>Tricolored Blackbird <i>Agelaius tricolor</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/3910</p>	Breeds Mar 15 to Aug 10
<p>Whimbrel <i>Numenius phaeopus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9483</p>	Breeds elsewhere
<p>Willet <i>Tringa semipalmata</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds elsewhere
<p>Wrentit <i>Chamaea fasciata</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Mar 15 to Aug 10

Probability of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

To see a bar's probability of presence score, simply hover your mouse cursor over the bar.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (|)

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

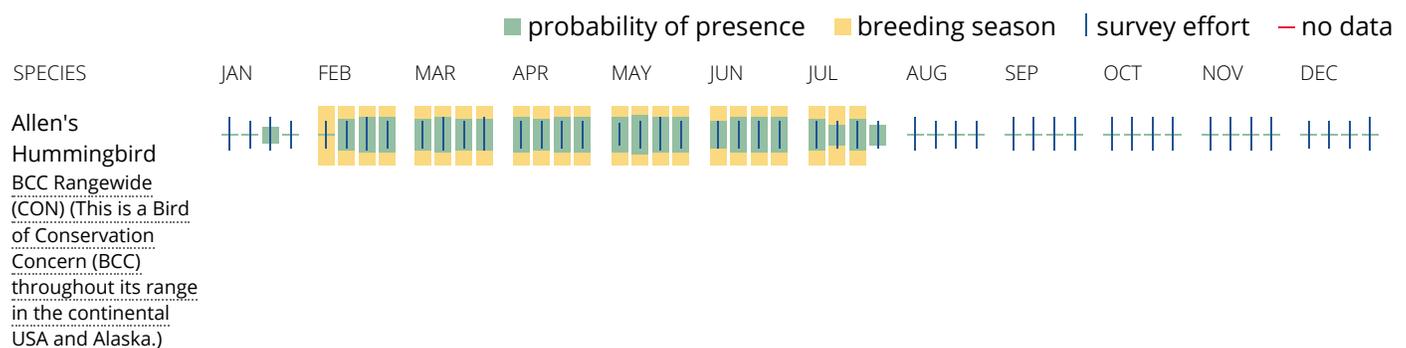
To see a bar's survey effort range, simply hover your mouse cursor over the bar.

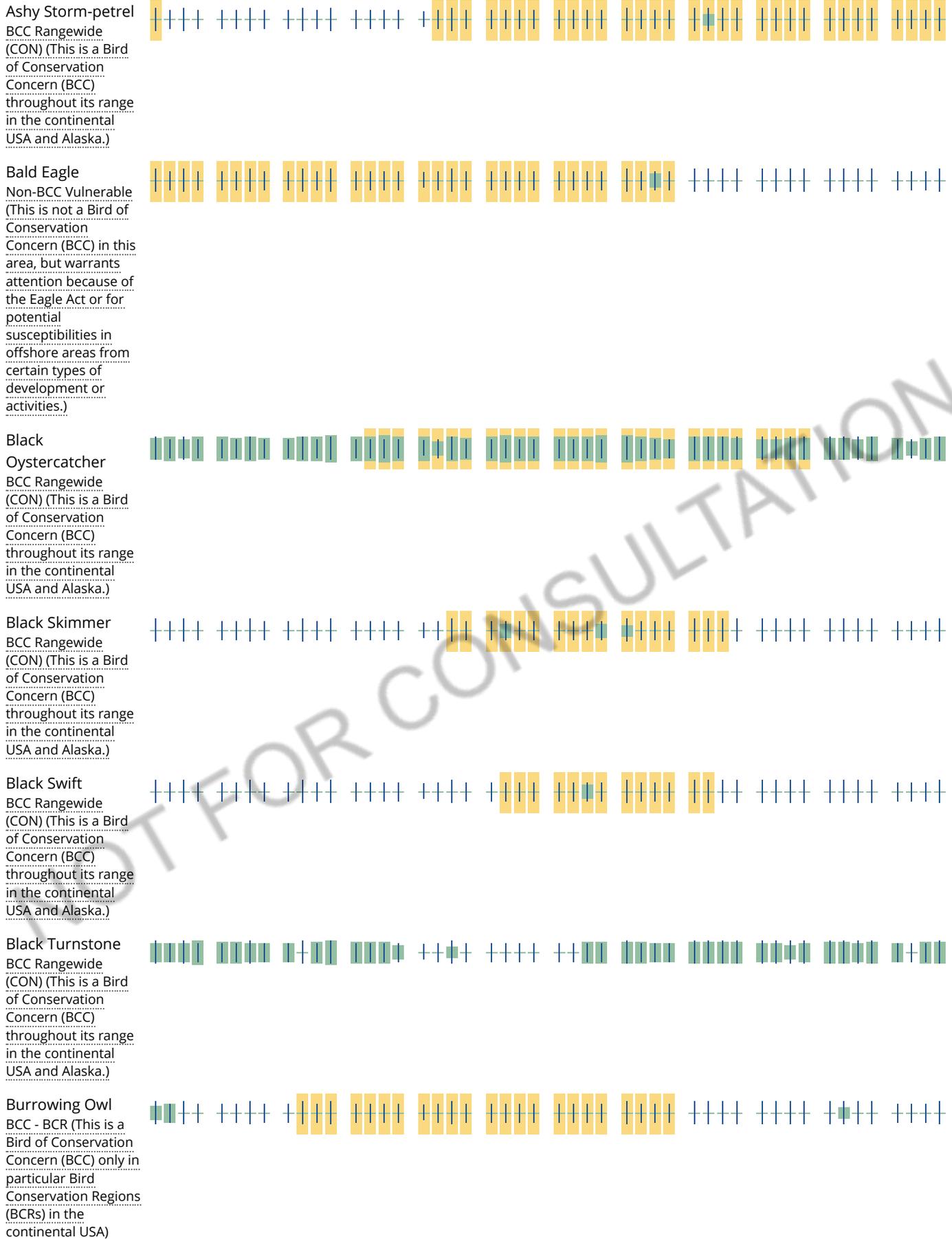
No Data (—)

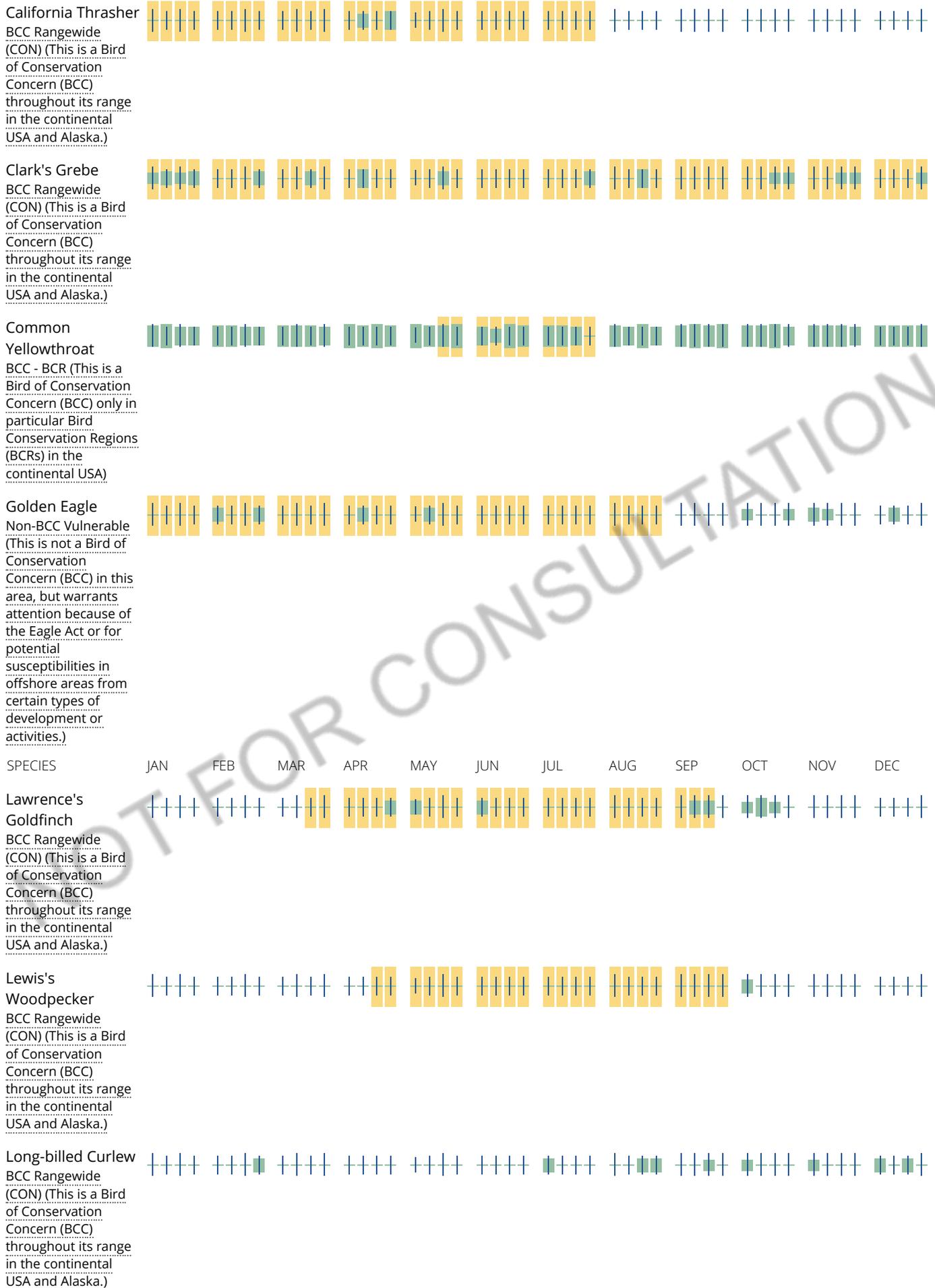
A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.



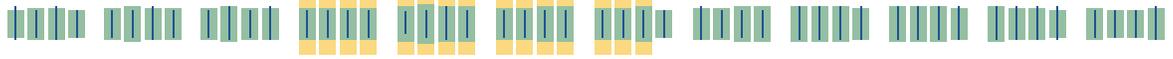




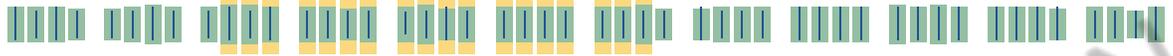
Marbled Godwit
 BCC Rangewide
 (CON) (This is a Bird
 of Conservation
 Concern (BCC)
 throughout its range
 in the continental
 USA and Alaska.)



Nuttall's
 Woodpecker
 BCC - BCR (This is a
 Bird of Conservation
 Concern (BCC) only in
 particular Bird
 Conservation Regions
 (BCRs) in the
 continental USA)



Oak Titmouse
 BCC Rangewide
 (CON) (This is a Bird
 of Conservation
 Concern (BCC)
 throughout its range
 in the continental
 USA and Alaska.)



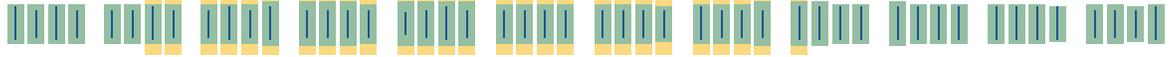
Rufous
 Hummingbird
 BCC Rangewide
 (CON) (This is a Bird
 of Conservation
 Concern (BCC)
 throughout its range
 in the continental
 USA and Alaska.)



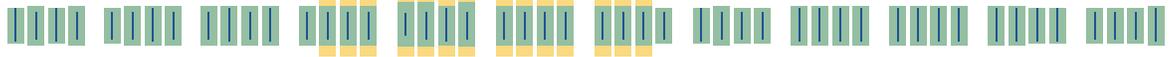
Short-billed
 Dowitcher
 BCC Rangewide
 (CON) (This is a Bird
 of Conservation
 Concern (BCC)
 throughout its range
 in the continental
 USA and Alaska.)

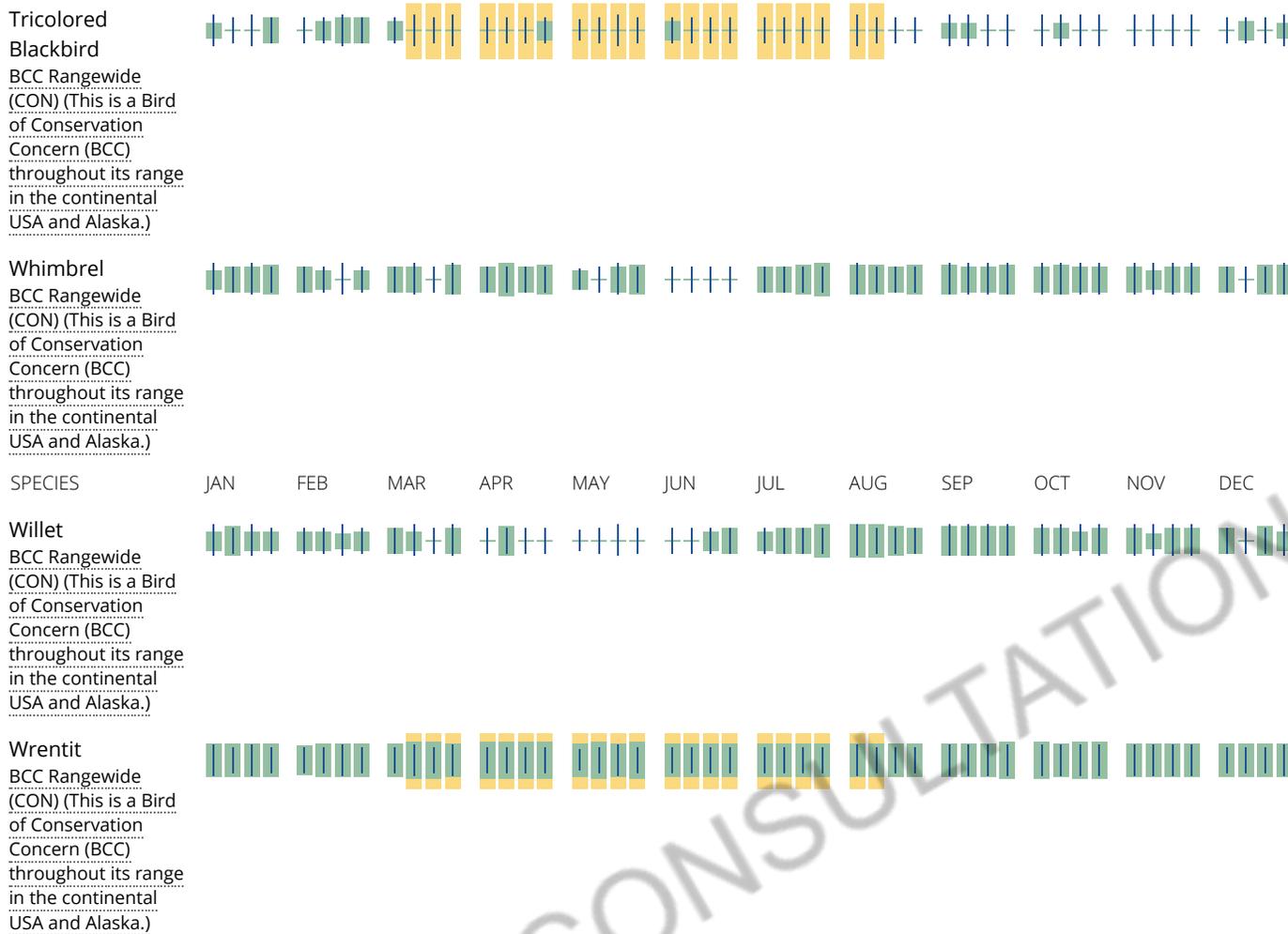


Song Sparrow
 BCC - BCR (This is a
 Bird of Conservation
 Concern (BCC) only in
 particular Bird
 Conservation Regions
 (BCRs) in the
 continental USA)



Spotted Towhee
 BCC - BCR (This is a
 Bird of Conservation
 Concern (BCC) only in
 particular Bird
 Conservation Regions
 (BCRs) in the
 continental USA)





Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) and/or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [E-bird Explore Data Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

NOT FOR CONSULTATION

Marine mammals

Marine mammals are protected under the [Marine Mammal Protection Act](#). Some are also protected under the Endangered Species Act¹ and the Convention on International Trade in Endangered Species of Wild Fauna and Flora².

The responsibilities for the protection, conservation, and management of marine mammals are shared by the U.S. Fish and Wildlife Service [responsible for otters, walruses, polar bears, manatees, and dugongs] and NOAA Fisheries³ [responsible for seals, sea lions, whales, dolphins, and porpoises]. Marine mammals under the responsibility of NOAA Fisheries are **not** shown on this list; for additional information on those species please visit the [Marine Mammals](#) page of the NOAA Fisheries website.

The Marine Mammal Protection Act prohibits the take (to harass, hunt, capture, kill, or attempt to harass, hunt, capture or kill) of marine mammals and further coordination may be necessary for project evaluation. Please contact the U.S. Fish and Wildlife Service Field Office shown.

1. The [Endangered Species Act](#) (ESA) of 1973.
2. The [Convention on International Trade in Endangered Species of Wild Fauna and Flora](#) (CITES) is a treaty to ensure that international trade in plants and animals does not threaten their survival in the wild.
3. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following marine mammals under the responsibility of the U.S. Fish and Wildlife Service are potentially affected by activities in this location:

NAME

Southern Sea Otter *Enhydra lutris nereis*
<https://ecos.fws.gov/ecp/species/8560>

Facilities

Wildlife refuges and fish hatcheries

REFUGE AND FISH HATCHERY INFORMATION IS NOT AVAILABLE AT THIS TIME

Wetlands in the National Wetlands Inventory

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

THERE ARE NO KNOWN WETLANDS AT THIS LOCATION.

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.



Signal Hill NOAA Species List

Quad Name **Monterey**

Quad Number **36121-E8**

ESA Anadromous Fish

SONCC Coho ESU (T) -

CCC Coho ESU (E) -

CC Chinook Salmon ESU (T) -

CVSR Chinook Salmon ESU (T) -

SRWR Chinook Salmon ESU (E) -

NC Steelhead DPS (T) -

CCC Steelhead DPS (T) -

SCCC Steelhead DPS (T) - **X**

SC Steelhead DPS (E) -

CCV Steelhead DPS (T) -

Eulachon (T) -

sDPS Green Sturgeon (T) - **X**

ESA Anadromous Fish Critical Habitat

SONCC Coho Critical Habitat -

CCC Coho Critical Habitat -

CC Chinook Salmon Critical Habitat -

CVSR Chinook Salmon Critical Habitat -

SRWR Chinook Salmon Critical Habitat -

NC Steelhead Critical Habitat -

CCC Steelhead Critical Habitat -

SCCC Steelhead Critical Habitat - **X**

SC Steelhead Critical Habitat -

CCV Steelhead Critical Habitat -

Eulachon Critical Habitat -

sDPS Green Sturgeon Critical Habitat - **X**

ESA Marine Invertebrates

Range Black Abalone (E) - **X**

Range White Abalone (E) -

ESA Marine Invertebrates Critical Habitat

Black Abalone Critical Habitat - **X**

ESA Sea Turtles

East Pacific Green Sea Turtle (T) - **X**

Olive Ridley Sea Turtle (T/E) - **X**

Leatherback Sea Turtle (E) - **X**

North Pacific Loggerhead Sea Turtle (E) - **X**

ESA Whales

Blue Whale (E) - **X**

Fin Whale (E) - **X**

Humpback Whale (E) - **X**

Southern Resident Killer Whale (E) - **X**

North Pacific Right Whale (E) - **X**

Sei Whale (E) - **X**

Sperm Whale (E) - **X**

ESA Pinnipeds

Guadalupe Fur Seal (T) - **X**

Steller Sea Lion Critical Habitat -

Essential Fish Habitat

Coho EFH -

Chinook Salmon EFH -

Groundfish EFH - **X**

Coastal Pelagics EFH - **X**

Highly Migratory Species EFH - **X**

MMPA Species (See list at left)

ESA and MMPA Cetaceans/Pinnipeds

**See list at left and consult the NMFS Long Beach office
562-980-4000**

MMPA Cetaceans - **X**

MMPA Pinnipeds - **X**

Quad Name **Monterey OE N**

Quad Number **36121-F8**

ESA Anadromous Fish

SONCC Coho ESU (T) -

CCC Coho ESU (E) -

CC Chinook Salmon ESU (T) -

CVSR Chinook Salmon ESU (T) -

SRWR Chinook Salmon ESU (E) -

NC Steelhead DPS (T) -

CCC Steelhead DPS (T) -

SCCC Steelhead DPS (T) - **X**

SC Steelhead DPS (E) -

CCV Steelhead DPS (T) -

Eulachon (T) -

sDPS Green Sturgeon (T) - **X**

ESA Anadromous Fish Critical Habitat

SONCC Coho Critical Habitat -

CCC Coho Critical Habitat -

CC Chinook Salmon Critical Habitat -

CVSR Chinook Salmon Critical Habitat -

SRWR Chinook Salmon Critical Habitat -

NC Steelhead Critical Habitat -

CCC Steelhead Critical Habitat -

SCCC Steelhead Critical Habitat -

SC Steelhead Critical Habitat -

CCV Steelhead Critical Habitat -
Eulachon Critical Habitat -
sDPS Green Sturgeon Critical Habitat - **X**

ESA Marine Invertebrates

Range Black Abalone (E) - **X**
Range White Abalone (E) -

ESA Marine Invertebrates Critical Habitat

Black Abalone Critical Habitat - **X**

ESA Sea Turtles

East Pacific Green Sea Turtle (T) - **X**
Olive Ridley Sea Turtle (T/E) - **X**
Leatherback Sea Turtle (E) - **X**
North Pacific Loggerhead Sea Turtle (E) - **X**

ESA Whales

Blue Whale (E) - **X**
Fin Whale (E) - **X**
Humpback Whale (E) - **X**
Southern Resident Killer Whale (E) - **X**
North Pacific Right Whale (E) - **X**
Sei Whale (E) - **X**
Sperm Whale (E) - **X**

ESA Pinnipeds

Guadalupe Fur Seal (T) - **X**
Steller Sea Lion Critical Habitat -

Essential Fish Habitat

Coho EFH -
Chinook Salmon EFH -

Groundfish EFH - **X**

Coastal Pelagics EFH - **X**

Highly Migratory Species EFH - **X**

MMPA Species (See list at left)

ESA and MMPA Cetaceans/Pinnipeds

**See list at left and consult the NMFS Long Beach office
562-980-4000**

MMPA Cetaceans - **X**

MMPA Pinnipeds - **X**

Quad Name **Marina**

Quad Number **36121-F7**

ESA Anadromous Fish

SONCC Coho ESU (T) -

CCC Coho ESU (E) -

CC Chinook Salmon ESU (T) -

CVSR Chinook Salmon ESU (T) -

SRWR Chinook Salmon ESU (E) -

NC Steelhead DPS (T) -

CCC Steelhead DPS (T) -

SCCC Steelhead DPS (T) - **X**

SC Steelhead DPS (E) -

CCV Steelhead DPS (T) -

Eulachon (T) -

sDPS Green Sturgeon (T) - **X**

ESA Anadromous Fish Critical Habitat

SONCC Coho Critical Habitat -

CCC Coho Critical Habitat -

CC Chinook Salmon Critical Habitat -

CVSR Chinook Salmon Critical Habitat -

SRWR Chinook Salmon Critical Habitat -
NC Steelhead Critical Habitat -
CCC Steelhead Critical Habitat -
SCCC Steelhead Critical Habitat - X
SC Steelhead Critical Habitat -
CCV Steelhead Critical Habitat -
Eulachon Critical Habitat -
sDPS Green Sturgeon Critical Habitat - X

ESA Marine Invertebrates

Range Black Abalone (E) - X
Range White Abalone (E) -

ESA Marine Invertebrates Critical Habitat

Black Abalone Critical Habitat -

ESA Sea Turtles

East Pacific Green Sea Turtle (T) - X
Olive Ridley Sea Turtle (T/E) - X
Leatherback Sea Turtle (E) - X
North Pacific Loggerhead Sea Turtle (E) - X

ESA Whales

Blue Whale (E) - X
Fin Whale (E) - X
Humpback Whale (E) - X
Southern Resident Killer Whale (E) - X
North Pacific Right Whale (E) - X
Sei Whale (E) - X
Sperm Whale (E) - X

ESA Pinnipeds

Guadalupe Fur Seal (T) - X
Steller Sea Lion Critical Habitat -

Essential Fish Habitat

Coho EFH -

Chinook Salmon EFH -

Groundfish EFH - **X**

Coastal Pelagics EFH - **X**

Highly Migratory Species EFH - **X**

MMPA Species (See list at left)

ESA and MMPA Cetaceans/Pinnipeds

**See list at left and consult the NMFS Long Beach office
562-980-4000**

MMPA Cetaceans - **X**

MMPA Pinnipeds - **X**

Quad Name **Seaside**

Quad Number **36121-E7**

ESA Anadromous Fish

SONCC Coho ESU (T) -

CCC Coho ESU (E) -

CC Chinook Salmon ESU (T) -

CVSR Chinook Salmon ESU (T) -

SRWR Chinook Salmon ESU (E) -

NC Steelhead DPS (T) -

CCC Steelhead DPS (T) -

SCCC Steelhead DPS (T) - **X**

SC Steelhead DPS (E) -

CCV Steelhead DPS (T) -

Eulachon (T) -

sDPS Green Sturgeon (T) - **X**

ESA Anadromous Fish Critical Habitat

SONCC Coho Critical Habitat -

- CCC Coho Critical Habitat -
- CC Chinook Salmon Critical Habitat -
- CVSR Chinook Salmon Critical Habitat -
- SRWR Chinook Salmon Critical Habitat -
- NC Steelhead Critical Habitat -
- CCC Steelhead Critical Habitat -
- SCCC Steelhead Critical Habitat - **X**
- SC Steelhead Critical Habitat -
- CCV Steelhead Critical Habitat -
- Eulachon Critical Habitat -
- sDPS Green Sturgeon Critical Habitat - **X**

ESA Marine Invertebrates

- Range Black Abalone (E) - **X**
- Range White Abalone (E) -

ESA Marine Invertebrates Critical Habitat

- Black Abalone Critical Habitat -

ESA Sea Turtles

- East Pacific Green Sea Turtle (T) - **X**
- Olive Ridley Sea Turtle (T/E) - **X**
- Leatherback Sea Turtle (E) - **X**
- North Pacific Loggerhead Sea Turtle (E) - **X**

ESA Whales

- Blue Whale (E) - **X**
- Fin Whale (E) - **X**
- Humpback Whale (E) - **X**
- Southern Resident Killer Whale (E) - **X**
- North Pacific Right Whale (E) - **X**
- Sei Whale (E) - **X**
- Sperm Whale (E) - **X**

ESA Pinnipeds

Guadalupe Fur Seal (T) - **X**

Steller Sea Lion Critical Habitat -

Essential Fish Habitat

Coho EFH -

Chinook Salmon EFH -

Groundfish EFH - **X**

Coastal Pelagics EFH - **X**

Highly Migratory Species EFH - **X**

MMPA Species (See list at left)

ESA and MMPA Cetaceans/Pinnipeds

**See list at left and consult the NMFS Long Beach office
562-980-4000**

MMPA Cetaceans - **X**

MMPA Pinnipeds - **X**

Quad Name **Mount Carmel**

Quad Number **36121-D7**

ESA Anadromous Fish

SONCC Coho ESU (T) -

CCC Coho ESU (E) -

CC Chinook Salmon ESU (T) -

CVSR Chinook Salmon ESU (T) -

SRWR Chinook Salmon ESU (E) -

NC Steelhead DPS (T) -

CCC Steelhead DPS (T) -

SCCC Steelhead DPS (T) - **X**

SC Steelhead DPS (E) -

CCV Steelhead DPS (T) -

Eulachon (T) -

sDPS Green Sturgeon (T) -

ESA Anadromous Fish Critical Habitat

SONCC Coho Critical Habitat -
CCC Coho Critical Habitat -
CC Chinook Salmon Critical Habitat -
CVSR Chinook Salmon Critical Habitat -
SRWR Chinook Salmon Critical Habitat -
NC Steelhead Critical Habitat -
CCC Steelhead Critical Habitat -
SCCC Steelhead Critical Habitat - **X**
SC Steelhead Critical Habitat -
CCV Steelhead Critical Habitat -
Eulachon Critical Habitat -
sDPS Green Sturgeon Critical Habitat -

ESA Marine Invertebrates

Range Black Abalone (E) -
Range White Abalone (E) -

ESA Marine Invertebrates Critical Habitat

Black Abalone Critical Habitat -

ESA Sea Turtles

East Pacific Green Sea Turtle (T) -
Olive Ridley Sea Turtle (T/E) -
Leatherback Sea Turtle (E) -
North Pacific Loggerhead Sea Turtle (E) -

ESA Whales

Blue Whale (E) -
Fin Whale (E) -
Humpback Whale (E) -
Southern Resident Killer Whale (E) -
North Pacific Right Whale (E) -
Sei Whale (E) -
Sperm Whale (E) -

ESA Pinnipeds

Guadalupe Fur Seal (T) -
Steller Sea Lion Critical Habitat -

Essential Fish Habitat

Coho EFH -
Chinook Salmon EFH -
Groundfish EFH -
Coastal Pelagics EFH -
Highly Migratory Species EFH -

MMPA Species (See list at left)

ESA and MMPA Cetaceans/Pinnipeds

**See list at left and consult the NMFS Long Beach office
562-980-4000**

MMPA Cetaceans -
MMPA Pinnipeds -

Quad Name **Soberanes Point**

Quad Number **36121-D8**

ESA Anadromous Fish

SONCC Coho ESU (T) -
CCC Coho ESU (E) -
CC Chinook Salmon ESU (T) -
CVSR Chinook Salmon ESU (T) -
SRWR Chinook Salmon ESU (E) -
NC Steelhead DPS (T) -
CCC Steelhead DPS (T) -
SCCC Steelhead DPS (T) - **X**
SC Steelhead DPS (E) -
CCV Steelhead DPS (T) -
Eulachon (T) -

sDPS Green Sturgeon (T) - **X**

ESA Anadromous Fish Critical Habitat

SONCC Coho Critical Habitat -
CCC Coho Critical Habitat -
CC Chinook Salmon Critical Habitat -
CVSR Chinook Salmon Critical Habitat -
SRWR Chinook Salmon Critical Habitat -
NC Steelhead Critical Habitat -
CCC Steelhead Critical Habitat -
SCCC Steelhead Critical Habitat - **X**
SC Steelhead Critical Habitat -
CCV Steelhead Critical Habitat -
Eulachon Critical Habitat -
sDPS Green Sturgeon Critical Habitat -

ESA Marine Invertebrates

Range Black Abalone (E) - **X**
Range White Abalone (E) -

ESA Marine Invertebrates Critical Habitat

Black Abalone Critical Habitat - **X**

ESA Sea Turtles

East Pacific Green Sea Turtle (T) - **X**
Olive Ridley Sea Turtle (T/E) - **X**
Leatherback Sea Turtle (E) - **X**
North Pacific Loggerhead Sea Turtle (E) - **X**

ESA Whales

Blue Whale (E) - **X**
Fin Whale (E) - **X**
Humpback Whale (E) - **X**
Southern Resident Killer Whale (E) - **X**

North Pacific Right Whale (E) - **X**

Sei Whale (E) - **X**

Sperm Whale (E) - **X**

ESA Pinnipeds

Guadalupe Fur Seal (T) - **X**

Steller Sea Lion Critical Habitat -

Essential Fish Habitat

Coho EFH -

Chinook Salmon EFH -

Groundfish EFH - **X**

Coastal Pelagics EFH - **X**

Highly Migratory Species EFH - **X**

MMPA Species (See list at left)

ESA and MMPA Cetaceans/Pinnipeds

**See list at left and consult the NMFS Long Beach office
562-980-4000**

MMPA Cetaceans - **X**

MMPA Pinnipeds - **X**



Selected Elements by Scientific Name

California Department of Fish and Wildlife

California Natural Diversity Database



Query Criteria: Quad (Monterey (3612158) OR Marina (3612167) OR Seaside (3612157) OR Mt. Carmel (3612147) OR Soberanes Point (3612148))

Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
<i>Agelaius tricolor</i> tricolored blackbird	ABPBXB0020	None	Candidate Endangered	G2G3	S1S2	SSC
<i>Allium hickmanii</i> Hickman's onion	PMLIL02140	None	None	G2	S2	1B.2
<i>Ambystoma californiense</i> California tiger salamander	AAAAA01180	Threatened	Threatened	G2G3	S2S3	WL
<i>Anniella pulchra</i> northern California legless lizard	ARACC01020	None	None	G3	S3	SSC
<i>Arctostaphylos edmundsii</i> Little Sur manzanita	PDERI04260	None	None	G2	S2	1B.2
<i>Arctostaphylos hookeri ssp. hookeri</i> Hooker's manzanita	PDERI040J1	None	None	G3T2	S2	1B.2
<i>Arctostaphylos montereyensis</i> Toro manzanita	PDERI040R0	None	None	G2?	S2?	1B.2
<i>Arctostaphylos pajaroensis</i> Pajaro manzanita	PDERI04100	None	None	G1	S1	1B.1
<i>Arctostaphylos pumila</i> sandmat manzanita	PDERI04180	None	None	G1	S1	1B.2
<i>Astragalus tener var. titi</i> coastal dunes milk-vetch	PDFAB0F8R2	Endangered	Endangered	G2T1	S1	1B.1
<i>Athene cunicularia</i> burrowing owl	ABNSB10010	None	None	G4	S3	SSC
<i>Bombus caliginosus</i> obscure bumble bee	IIHYM24380	None	None	G4?	S1S2	
<i>Bombus occidentalis</i> western bumble bee	IIHYM24250	None	None	G2G3	S1	
<i>Bryoria spiralifera</i> twisted horsehair lichen	NLTEST5460	None	None	G3	S1S2	1B.1
<i>Buteo regalis</i> ferruginous hawk	ABNKC19120	None	None	G4	S3S4	WL
<i>Castilleja ambigua var. insalutata</i> pink Johnny-nip	PDSCR0D403	None	None	G4T2	S2	1B.1
<i>Central Dune Scrub</i> Central Dune Scrub	CTT21320CA	None	None	G2	S2.2	
<i>Central Maritime Chaparral</i> Central Maritime Chaparral	CTT37C20CA	None	None	G2	S2.2	
<i>Centromadia parryi ssp. congdonii</i> Congdon's tarplant	PDAST4R0P1	None	None	G3T2	S2	1B.1



Selected Elements by Scientific Name
California Department of Fish and Wildlife
California Natural Diversity Database



Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
<i>Charadrius alexandrinus nivosus</i> western snowy plover	ABNNB03031	Threatened	None	G3T3	S2S3	SSC
<i>Chorizanthe minutiflora</i> Fort Ord spineflower	PDPGN04100	None	None	G1	S1	1B.2
<i>Chorizanthe pungens var. pungens</i> Monterey spineflower	PDPGN040M2	Threatened	None	G2T2	S2	1B.2
<i>Clarkia jolonensis</i> Jolon clarkia	PDONA050L0	None	None	G2	S2	1B.2
<i>Coelus globosus</i> globose dune beetle	IICOL4A010	None	None	G1G2	S1S2	
<i>Collinsia multicolor</i> San Francisco collinsia	PDSCR0H0B0	None	None	G2	S2	1B.2
<i>Cordylanthus rigidus ssp. littoralis</i> seaside bird's-beak	PDSCR0J0P2	None	Endangered	G5T2	S2	1B.1
<i>Corynorhinus townsendii</i> Townsend's big-eared bat	AMACC08010	None	None	G3G4	S2	SSC
<i>Coturnicops noveboracensis</i> yellow rail	ABNME01010	None	None	G4	S1S2	SSC
<i>Cypseloides niger</i> black swift	ABNUA01010	None	None	G4	S2	SSC
<i>Danaus plexippus pop. 1</i> monarch - California overwintering population	IILEPP2012	None	None	G4T2T3	S2S3	
<i>Delphinium californicum ssp. interius</i> Hospital Canyon larkspur	PDRAN0B0A2	None	None	G3T3	S3	1B.2
<i>Delphinium hutchinsoniae</i> Hutchinson's larkspur	PDRAN0B0V0	None	None	G2	S2	1B.2
<i>Emys marmorata</i> western pond turtle	ARAAD02030	None	None	G3G4	S3	SSC
<i>Eremophila alpestris actia</i> California horned lark	ABPAT02011	None	None	G5T4Q	S4	WL
<i>Ericameria fasciculata</i> Eastwood's goldenbush	PDAST3L080	None	None	G2	S2	1B.1
<i>Eriogonum nortonii</i> Pinnacles buckwheat	PDPGN08470	None	None	G2	S2	1B.3
<i>Erysimum ammophilum</i> sand-loving wallflower	PDBRA16010	None	None	G2	S2	1B.2
<i>Erysimum menziesii</i> Menzies' wallflower	PDBRA160R0	Endangered	Endangered	G1	S1	1B.1
<i>Eucyclogobius newberryi</i> tidewater goby	AFCQN04010	Endangered	None	G3	S3	SSC
<i>Euphilotes enoptes smithi</i> Smith's blue butterfly	IILEPG2026	Endangered	None	G5T1T2	S1S2	



Selected Elements by Scientific Name
California Department of Fish and Wildlife
California Natural Diversity Database



Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
<i>Fritillaria liliacea</i> fragrant fritillary	PMLIL0V0C0	None	None	G2	S2	1B.2
<i>Gilia tenuiflora ssp. arenaria</i> Monterey gilia	PDPLM041P2	Endangered	Threatened	G3G4T2	S2	1B.2
<i>Hesperocyparis goveniana</i> Gowen cypress	PGCUP04031	Threatened	None	G1	S1	1B.2
<i>Hesperocyparis macrocarpa</i> Monterey cypress	PGCUP04060	None	None	G1	S1	1B.2
<i>Horkelia cuneata var. sericea</i> Kellogg's horkelia	PDROS0W043	None	None	G4T1?	S1?	1B.1
<i>Horkelia marinensis</i> Point Reyes horkelia	PDROS0W0B0	None	None	G2	S2	1B.2
<i>Lasiurus cinereus</i> hoary bat	AMACC05030	None	None	G5	S4	
<i>Lasthenia conjugens</i> Contra Costa goldfields	PDAST5L040	Endangered	None	G1	S1	1B.1
<i>Laterallus jamaicensis coturniculus</i> California black rail	ABNME03041	None	Threatened	G3G4T1	S1	FP
<i>Layia carnosa</i> beach layia	PDAST5N010	Endangered	Endangered	G2	S2	1B.1
<i>Lindleriella occidentalis</i> California lindleriella	ICBRA06010	None	None	G2G3	S2S3	
<i>Lupinus tidestromii</i> Tidestrom's lupine	PDFAB2B3Y0	Endangered	Endangered	G1	S1	1B.1
<i>Malacothamnus palmeri var. involucratus</i> Carmel Valley bush-mallow	PDMAL0Q0B1	None	None	G3T2Q	S2	1B.2
<i>Malacothrix saxatilis var. arachnoidea</i> Carmel Valley malacothrix	PDAST660C2	None	None	G5T2	S2	1B.2
<i>Microseris paludosa</i> marsh microseris	PDAST6E0D0	None	None	G2	S2	1B.2
<i>Monardella sinuata ssp. nigrescens</i> northern curly-leaved monardella	PDLAM18162	None	None	G3T2	S2	1B.2
<i>Monolopia gracilens</i> woodland woollythreads	PDAST6G010	None	None	G3	S3	1B.2
Monterey Cypress Forest Monterey Cypress Forest	CTT83150CA	None	None	G1	S1.2	
Monterey Pine Forest Monterey Pine Forest	CTT83130CA	None	None	G1	S1.1	
Monterey Pygmy Cypress Forest Monterey Pygmy Cypress Forest	CTT83162CA	None	None	G1	S1.1	
Northern Bishop Pine Forest Northern Bishop Pine Forest	CTT83121CA	None	None	G2	S2.2	



Selected Elements by Scientific Name
California Department of Fish and Wildlife
California Natural Diversity Database



Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
Northern Coastal Salt Marsh Northern Coastal Salt Marsh	CTT52110CA	None	None	G3	S3.2	
Oceanodroma homochroa ashy storm-petrel	ABNDC04030	None	None	G2	S2	SSC
Oncorhynchus mykiss irideus pop. 9 steelhead - south-central California coast DPS	AFCHA0209H	Threatened	None	G5T2Q	S2	
Pelecanus occidentalis californicus California brown pelican	ABNFC01021	Delisted	Delisted	G4T3T4	S3	FP
Phrynosoma blainvillii coast horned lizard	ARACF12100	None	None	G3G4	S3S4	SSC
Pinus radiata Monterey pine	PGPIN040V0	None	None	G1	S1	1B.1
Piperia yadonii Yadon's rein orchid	PMORC1X070	Endangered	None	G1	S1	1B.1
Plagiobothrys uncinatus hooked popcornflower	PDBOR0V170	None	None	G2	S2	1B.2
Potentilla hickmanii Hickman's cinquefoil	PDR0S1B0U0	Endangered	Endangered	G1	S1	1B.1
Ramalina thrausta angel's hair lichen	NLLEC3S340	None	None	G5	S2?	2B.1
Rana draytonii California red-legged frog	AAABH01022	Threatened	None	G2G3	S2S3	SSC
Reithrodontomys megalotis distichlis Salinas harvest mouse	AMAFF02032	None	None	G5T1	S1	
Riparia riparia bank swallow	ABPAU08010	None	Threatened	G5	S2	
Rosa pinetorum pine rose	PDR0S1J0W0	None	None	G2	S2	1B.2
Sidalcea malachroides maple-leaved checkerbloom	PDMAL110E0	None	None	G3	S3	4.2
Stebbinsoseris decipiens Santa Cruz microseris	PDAST6E050	None	None	G2	S2	1B.2
Taricha torosa Coast Range newt	AAAAF02032	None	None	G4	S4	SSC
Taxidea taxus American badger	AMAJF04010	None	None	G5	S3	SSC
Tortula californica California screw moss	NBMUS7L090	None	None	G2G3	S2S3	1B.2
Trifolium buckwestiorum Santa Cruz clover	PDFAB402W0	None	None	G2	S2	1B.1
Trifolium hydrophilum saline clover	PDFAB400R5	None	None	G2	S2	1B.2



Selected Elements by Scientific Name
California Department of Fish and Wildlife
California Natural Diversity Database



Species	Element Code	Federal Status	State Status	Global Rank	State Rank	Rare Plant Rank/CDFW SSC or FP
<i>Trifolium polyodon</i> Pacific Grove clover	PDFAB402H0	None	Rare	G1	S1	1B.1
<i>Trifolium trichocalyx</i> Monterey clover	PDFAB402J0	Endangered	Endangered	G1	S1	1B.1
Valley Needlegrass Grassland Valley Needlegrass Grassland	CTT42110CA	None	None	G3	S3.1	

Record Count: 85

Plant List

Inventory of Rare and Endangered Plants

73 matches found. *Click on scientific name for details*

Search Criteria

Found in Quads 3612167, 3612158, 3612157 3612148 and 3612147;

[Modify Search Criteria](#)
[Export to Excel](#)
[Modify Columns](#)
[Modify Sort](#)
[Display Photos](#)

Scientific Name	Common Name	Family	Lifeform	Blooming Period	CA Rare Plant Rank	State Rank	Global Rank
Agrostis lacuna- vernalis	vernal pool bent grass	Poaceae	annual herb	Apr-May	1B.1	S1	G1
Allium hickmanii	Hickman's onion	Alliaceae	perennial bulbiferous herb	Mar-May	1B.2	S2	G2
Arctostaphylos edmundsii	Little Sur manzanita	Ericaceae	perennial evergreen shrub	Nov-Apr(May)	1B.2	S2	G2
Arctostaphylos hookeri ssp. hookeri	Hooker's manzanita	Ericaceae	perennial evergreen shrub	Jan-Jun	1B.2	S2	G3T2
Arctostaphylos montereyensis	Toro manzanita	Ericaceae	perennial evergreen shrub	Feb-Mar	1B.2	S2?	G2?
Arctostaphylos pajaroensis	Pajaro manzanita	Ericaceae	perennial evergreen shrub	Dec-Mar	1B.1	S1	G1
Arctostaphylos pumila	sandmat manzanita	Ericaceae	perennial evergreen shrub	Feb-May	1B.2	S1	G1
Astragalus nuttallii var. nuttallii	ocean bluff milk- vetch	Fabaceae	perennial herb	Jan-Nov	4.2	S4	G4T4
Astragalus tener var. titi	coastal dunes milk-vetch	Fabaceae	annual herb	Mar-May	1B.1	S1	G2T1
Bryoria spiralifera	twisted horsehair lichen	Parmeliaceae	fruticose lichen (epiphytic)		1B.1	S1S2	G3
Castilleja ambigua var. insalutata	pink Johnny-nip	Orobanchaceae	annual herb (hemiparasitic)	May-Aug	1B.1	S2	G4T2
Castilleja latifolia	Monterey Coast paintbrush	Orobanchaceae	perennial herb (hemiparasitic)	Feb-Sep	4.3	S4	G4
Ceanothus gloriosus var. gloriosus	Point Reyes ceanothus	Rhamnaceae	perennial evergreen shrub	Mar-May	4.3	S4	G4T4
Ceanothus rigidus	Monterey ceanothus	Rhamnaceae	perennial evergreen shrub	Feb-Apr(Jun)	4.2	S4	G4
Centromadia parryi ssp. congdonii	Congdon's tarplant	Asteraceae	annual herb	May-Oct(Nov)	1B.1	S2	G3T2
Chorizanthe douglasii	Douglas' spineflower	Polygonaceae	annual herb	Apr-Jul	4.3	S4	G4
Chorizanthe pungens var. pungens	Monterey spineflower	Polygonaceae	annual herb	Apr-Jun(Jul-Aug)	1B.2	S2	G2T2

<u>Chorizanthe robusta var. robusta</u>	robust spineflower	Polygonaceae	annual herb	Apr-Sep	1B.1	S1	G2T1
<u>Clarkia jolonensis</u>	Jolon clarkia	Onagraceae	annual herb	Apr-Jun	1B.2	S2	G2
<u>Clarkia lewisii</u>	Lewis' clarkia	Onagraceae	annual herb	May-Jul	4.3	S4	G4
<u>Collinsia multicolor</u>	San Francisco collinsia	Plantaginaceae	annual herb	(Feb)Mar-May	1B.2	S2	G2
<u>Cordylanthus rigidus ssp. littoralis</u>	seaside bird's-beak	Orobanchaceae	annual herb (hemiparasitic)	Apr-Oct	1B.1	S2	G5T2
<u>Corethrogyne leucophylla</u>	branching beach aster	Asteraceae	perennial herb	May,Jul,Aug,Sep,Oct,Dec	3.2	S3	G3Q
<u>Cryptantha rattanii</u>	Rattan's cryptantha	Boraginaceae	annual herb	Apr-Jul	4.3	S4	G4
<u>Delphinium californicum ssp. interius</u>	Hospital Canyon larkspur	Ranunculaceae	perennial herb	Apr-Jun	1B.2	S3	G3T3
<u>Delphinium hutchinsoniae</u>	Hutchinson's larkspur	Ranunculaceae	perennial herb	Mar-Jun	1B.2	S2	G2
<u>Delphinium umbraculorum</u>	umbrella larkspur	Ranunculaceae	perennial herb	Apr-Jun	1B.3	S3	G3
<u>Ericameria fasciculata</u>	Eastwood's goldenbush	Asteraceae	perennial evergreen shrub	Jul-Oct	1B.1	S2	G2
<u>Eriogonum elegans</u>	elegant wild buckwheat	Polygonaceae	annual herb	May-Nov	4.3	S3S4	G3G4
<u>Eriogonum nortonii</u>	Pinnacles buckwheat	Polygonaceae	annual herb	(Apr)May-Aug(Sep)	1B.3	S2	G2
<u>Erysimum ammophilum</u>	sand-loving wallflower	Brassicaceae	perennial herb	Feb-Jun	1B.2	S2	G2
<u>Erysimum menziesii</u>	Menzies' wallflower	Brassicaceae	perennial herb	Mar-Sep	1B.1	S1	G1
<u>Fritillaria liliacea</u>	fragrant fritillary	Liliaceae	perennial bulbiferous herb	Feb-Apr	1B.2	S2	G2
<u>Galium clementis</u>	Santa Lucia bedstraw	Rubiaceae	perennial herb	(Apr)May-Jul	1B.3	S3	G3
<u>Gilia tenuiflora ssp. arenaria</u>	Monterey gilia	Polemoniaceae	annual herb	Apr-Jun	1B.2	S2	G3G4T2
<u>Grindelia hirsutula var. maritima</u>	San Francisco gumplant	Asteraceae	perennial herb	Jun-Sep	3.2	S1	G5T1Q
<u>Hesperocyparis goveniana</u>	Gowen cypress	Cupressaceae	perennial evergreen tree		1B.2	S1	G1
<u>Hesperocyparis macrocarpa</u>	Monterey cypress	Cupressaceae	perennial evergreen tree		1B.2	S1	G1
<u>Horkelia cuneata var. sericea</u>	Kellogg's horkelia	Rosaceae	perennial herb	Apr-Sep	1B.1	S1?	G4T1?
<u>Horkelia marinensis</u>	Point Reyes horkelia	Rosaceae	perennial herb	May-Sep	1B.2	S2	G2
<u>Iris longipetala</u>	coast iris	Iridaceae	perennial rhizomatous herb	Mar-May	4.2	S3	G3
<u>Lasthenia conjugens</u>	Contra Costa goldfields	Asteraceae	annual herb	Mar-Jun	1B.1	S1	G1
<u>Layia carnosa</u>	beach layia	Asteraceae	annual herb	Mar-Jul	1B.1	S2	G2

<u>Leptosiphon grandiflorus</u>	large-flowered leptosiphon	Polemoniaceae	annual herb	Apr-Aug	4.2	S3S4	G3G4
<u>Lomatium parvifolium</u>	small-leaved lomatium	Apiaceae	perennial herb	Jan-Jun	4.2	S4	G4
<u>Lupinus tidestromii</u>	Tidestrom's lupine	Fabaceae	perennial rhizomatous herb	Apr-Jun	1B.1	S1	G1
<u>Malacothamnus palmeri var. involucreatus</u>	Carmel Valley bush-mallow	Malvaceae	perennial deciduous shrub	Apr-Oct	1B.2	S2	G3T2Q
<u>Malacothamnus palmeri var. palmeri</u>	Santa Lucia bush-mallow	Malvaceae	perennial deciduous shrub	May-Jul	1B.2	S2	G3T2Q
<u>Malacothrix saxatilis var. arachnoidea</u>	Carmel Valley malacothrix	Asteraceae	perennial rhizomatous herb	(Mar)Jun-Dec	1B.2	S2	G5T2
<u>Micropus amphibolus</u>	Mt. Diablo cottonweed	Asteraceae	annual herb	Mar-May	3.2	S3S4	G3G4
<u>Microseris paludosa</u>	marsh microseris	Asteraceae	perennial herb	Apr-Jun(Jul)	1B.2	S2	G2
<u>Monardella antonina ssp. antonina</u>	San Antonio Hills monardella	Lamiaceae	perennial rhizomatous herb	Jun-Aug	3	S1S3	G4T1T3Q
<u>Monardella sinuata ssp. nigrescens</u>	northern curly-leaved monardella	Lamiaceae	annual herb	(Apr)May-Jul(Aug-Sep)	1B.2	S2	G3T2
<u>Monolopia gracilens</u>	woodland woolythreads	Asteraceae	annual herb	(Feb)Mar-Jul	1B.2	S3	G3
<u>Ophioglossum californicum</u>	California adder's-tongue	Ophioglossaceae	perennial rhizomatous herb	(Dec)Jan-Jun	4.2	S4	G4
<u>Perideridia gairdneri ssp. gairdneri</u>	Gairdner's yampah	Apiaceae	perennial herb	Jun-Oct	4.2	S3S4	G5T3T4
<u>Phacelia ramosissima var. austrolitoralis</u>	south coast branching phacelia	Hydrophyllaceae	perennial herb	Mar-Aug	3.2	S3	G5?T3
<u>Pinus radiata</u>	Monterey pine	Pinaceae	perennial evergreen tree		1B.1	S1	G1
<u>Piperia michaelii</u>	Michael's rein orchid	Orchidaceae	perennial herb	Apr-Aug	4.2	S3	G3
<u>Piperia yadonii</u>	Yadon's rein orchid	Orchidaceae	perennial herb	(Feb)May-Aug	1B.1	S1	G1
<u>Plagiobothrys chorisianus var. hickmanii</u>	Hickman's popcornflower	Boraginaceae	annual herb	Apr-Jun	4.2	S3	G3T3Q
<u>Plagiobothrys uncinatus</u>	hooked popcornflower	Boraginaceae	annual herb	Apr-May	1B.2	S2	G2
<u>Potentilla hickmanii</u>	Hickman's cinquefoil	Rosaceae	perennial herb	Apr-Aug	1B.1	S1	G1
<u>Ramalina thrausta</u>	angel's hair lichen	Ramalinaceae	fruticose lichen (epiphytic)		2B.1	S2?	G5
<u>Ranunculus lobbii</u>	Lobb's aquatic buttercup	Ranunculaceae	annual herb (aquatic)	Feb-May	4.2	S3	G4
<u>Rosa pinetorum</u>	pine rose	Rosaceae	perennial shrub	May,Jul	1B.2	S2	G2
<u>Sidalcea malachroides</u>	maple-leaved checkerbloom	Malvaceae	perennial herb	(Mar)Apr-Aug	4.2	S3	G3

Stebbinsoseris decipiens	Santa Cruz microseris	Asteraceae	annual herb	Apr-May	1B.2	S2	G2
Tortula californica	California screw-moss	Pottiaceae	moss		1B.2	S2S3	G2G3
Trifolium buckwestiorum	Santa Cruz clover	Fabaceae	annual herb	Apr-Oct	1B.1	S2	G2
Trifolium hydrophilum	saline clover	Fabaceae	annual herb	Apr-Jun	1B.2	S2	G2
Trifolium polyodon	Pacific Grove clover	Fabaceae	annual herb	Apr-Jun(Jul)	1B.1	S1	G1
Trifolium trichocalyx	Monterey clover	Fabaceae	annual herb	Apr-Jun	1B.1	S1	G1

Suggested Citation

California Native Plant Society, Rare Plant Program. 2018. Inventory of Rare and Endangered Plants of California (online edition, v8-03 0.39). Website <http://www.rareplants.cnps.org> [accessed 21 June 2018].

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Questions and Comments

rareplants@cnps.org

APPENDIX D

Historical Resources Background Information

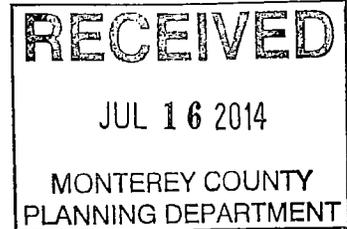
**OFFICE OF HISTORIC PRESERVATION
DEPARTMENT OF PARKS AND RECREATION**

P.O. BOX 942896
SACRAMENTO, CA 94296-0001
(916) 445-7000 Fax: (916) 445-7053
calshpo@parks.ca.gov



July 11, 2014

Craig Spencer, Associate Planner
County of Monterey
168 West Alisal Street
Salinas, California 93901



**RE: Connell Arthur and Kathleen House, Determination of Eligibility
National Register of Historic Places**

Dear Ms. Spencer:

I am writing to inform you that on June 13, 2014, Connell Arthur and Kathleen House was determined eligible for the National Register of Historic Places (National Register). As a result of being determined eligible for the National Register, this property has been listed in the California Register of Historical Resources, pursuant to Section 4851(a)(2) of the California Code of Regulations.

There are no restrictions placed upon a private property owner with regard to normal use, maintenance, or sale of a property determined eligible for the National Register. However, a project that may cause substantial adverse changes in the significance of a registered property may require compliance with local ordinances or the California Environmental Quality Act. In addition, registered properties damaged due to a natural disaster may be subject to the provisions of Section 5028 of the Public Resources Code regarding demolition or significant alterations, if imminent threat to life safety does not exist.

If you have any questions or require further information, please contact Jay Correia of the Registration Unit at (916) 445-7008.

Sincerely,

A handwritten signature in black ink that reads "Carol Roland-Nawi, Ph.D.".

Carol Roland-Nawi
State Historic Preservation Officer

Enclosure

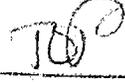
**OFFICE OF HISTORIC PRESERVATION
DEPARTMENT OF PARKS AND RECREATION**

1725 23rd Street, Suite 100
SACRAMENTO, CA 95816
(916) 445-7000 Fax: (916) 445-7053
calshpo@parks.ca.gov

RECEIVED
MONTEREY COUNTY

2014 FEB 14 PM 12:09

CLERK OF THE BOARD


DEPUTY

February 12, 2014

Gail T. Borkowski
Clerk of the Board
Monterey County Board of Supervisors
PO Box 1728
Salinas, California 93902

**RE: National Register of Historic Places for
Arthur and Kathleen Connell House**

Dear Ms. Borkowski:

Pursuant to the Certified Local Government Agreement between the Office of Historic Preservation (OHP) and your governmental entity, we are providing you as the chief elected local official with a sixty (60) day review and comment period before the State Historical Resources Commission (SHRC) takes action on the above stated National Register of Historic Places (National Register) nomination at its next meeting. Details on the meeting are enclosed.

Please review the enclosed nomination and send your comments to OHP. Pursuant to the National Historic Preservation Act of 1966, as amended, we have also provided a copy of the nomination to your local preservation commission. Your local preservation commission may comment on whether or not the nominated property, in its opinion, meets the criteria for the National Register and forward their comments to you. Please transmit your local preservation commission's comments with your comments to California State Parks, Attn: Office of Historic Preservation, Carol Roland-Nawi, Ph.D., State Historic Preservation Officer, 1725 23rd Street, Suite 100, Sacramento, California 95816. So that the SHRC may have adequate time to consider them, it is requested, but not required, that you provide written comments fifteen (15) days before the SHRC meeting. If you have questions or require further information, please contact the Registration Unit at (916) 445-7000.

As of January 1, 1993, all National Register properties are automatically included in the California Register of Historical Resources and afforded consideration in accordance with state and local environmental review procedures.

Supplemental information on the National Register is available on our website at the following address: www.ohp.parks.ca.gov.

Thank you for your assistance in this program.

Sincerely,



Carol Roland-Nawi, Ph.D.,
State Historic Preservation Officer

**OFFICE OF HISTORIC PRESERVATION
DEPARTMENT OF PARKS AND RECREATION**



725 23rd Street, Suite 100
SACRAMENTO, CA 95816
(916) 445-7000 Fax: (916) 445-7053
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www.ohp.parks.ca.gov

MEETING NOTICE

FOR: State Historical Resources Commission Quarterly Meeting

DATE: Tuesday, April 22, 2014

TIME: 9:00 A.M.

PLACE: Kiln Room
Asilomar Conference Center
800 Asilomar Avenue
Pacific Grove, California 93950

This room is accessible to people with disabilities. Questions regarding the meeting should be directed to the Registration Unit (916) 445-7008

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name: Connell, Arthur and Kathleen, House

Other names/site number: _____

Name of related multiple property listing:

N/A

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: 1170 Signal Hill Road

City or town: Pebble Beach / Del Monte Forest State: California County: Monterey

Not For Publication: Vicinity:

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this ___ nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property ___ meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

___ national ___ statewide ___ local

Applicable National Register Criteria:

___ A ___ B ___ C ___ D

_____ Signature of certifying official/Title:	_____ Date
_____ State or Federal agency/bureau or Tribal Government	

In my opinion, the property ___ meets ___ does not meet the National Register criteria.	
_____ Signature of commenting official:	_____ Date
_____ Title :	
_____ State or Federal agency/bureau or Tribal Government	

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4. National Park Service Certification

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:)

Signature of the Keeper

Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

Category of Property

(Check only one box.)

- Building(s)
- District
- Site
- Structure
- Object

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Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>1</u>	<u> </u>	buildings
<u> </u>	<u> </u>	sites
<u> </u>	<u> </u>	structures
<u> </u>	<u> </u>	objects
<u>1</u>	<u> </u>	Total

Number of contributing resources previously listed in the National Register

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC/single dwelling

Current Functions

(Enter categories from instructions.)

VACANT/NOT IN USE

Arthur and Kathleen Connell House
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7. Description

Architectural Classification

(Enter categories from instructions.)

MODERN MOVEMENT/ International Style

Materials: (enter categories from instructions.)

Principal exterior materials of the property: Foundation: reinforced concrete
Walls: stucco-clad wood frame, tongue-and-groove siding, Masonite
Roof: tar, gravel
Windows: aluminum, wood, steel, glass
Doors: wood
Other: brick

Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary Paragraph

The Arthur and Kathleen Connell House is a 3,299-square-foot wood-frame International Style residence with an integral three-car garage. It is situated on a two-acre lot located high above the Pacific Ocean in the resort community of Pebble Beach on the Monterey Peninsula. Designed by Southern California architect Richard J. Neutra in 1957 and completed the following year, the house comprises two levels. A large upper floor with a U-shaped plan extends around three sides of a courtyard that faces east toward Signal Hill Road. A smaller lower floor with a rectangular plan sits below the base of the U. Built of stucco, wood, Masonite, and glass, with dramatic projections of the flat slab roof on all sides, it is situated below street grade and is entered by a staircase that leads to a tall double door on the north side. An intermediate half-floor entry landing provides access to the lower level, where the three bedrooms offer views to the west, and to the upper floor, where a glass wall provides the living and dining rooms with an uninterrupted panorama of the coastal landscape and Pacific Ocean. A cantilevered balcony runs along part of the west elevation and wraps the north corner to form a large private deck. The sandy parcel on which the house stands is sparsely landscaped with cypress trees, bushes, and patches of ice plant. A few changes have been made to fenestration over the years, and a small service yard at the southwest corner was enclosed in 1993 to form a studio, bringing to completion a plan anticipated by the architect nearly forty years earlier. The house is currently vacant, with plywood boards nailed to the front door and some windows. It retains integrity and appears to be in fair to good condition.

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Narrative Description

The single-family residence at 1170 Signal Hill Road was completed in 1958 and later enlarged by construction of a small addition at the southwest corner of the upper level. It is set into a slope on the west side of Signal Hill Road, a short, winding, street that extends steeply uphill from 17 Mile Drive. The house is set high above the Pacific Ocean, between Cypress Point Golf Course and Spyglass Hill Golf Course, in Pebble Beach. This unincorporated area of the Monterey Peninsula is also known as Del Monte Forest. The 2.13-acre parcel on which it is located is graded for a short distance to the west, then sweeps downhill. It is landscaped with a scattering of cypress trees to the north and east, some of which were planted by the original owners, Arthur and Kathleen Connell, for greater privacy. The sandy grounds also support a small eucalyptus tree and several bushes, as well as patches of ice plant.

The house was designed for the Connell family by master architect Richard J. Neutra, who conceived of it as a long, low arrangement of orthogonal volumes and planes with dramatic views of land and sea. The upper level is U-shaped in plan, organized around a central courtyard that is enclosed on the east side by a tall grape-stake fence. The smaller lower level, beneath the base of the U, is rectangular in plan. The house rests partly on a concrete perimeter foundation and partly on a concrete slab foundation. The unornamented stucco-clad walls are painted a range of soft tones of grey, olive, green, and white. Other contrasting materials add texture and visual interest. These materials include narrow tongue-and-groove siding, painted a flat gray, which forms the cladding on most of the south side, including three swing-up overhead garage doors. Masonite panels, also painted a flat gray, are set below two banks of windows. One bank extends along west side of the lower level and wraps the corner to the north side. The other runs along part of the east side of the upper floor, facing the courtyard. The flat slab roof is characterized by wide eave overhangs and broad fascia and is finished with tar-and-gravel. At the northwest corner of both levels, outrigger beams extend several feet beyond the building envelope.

The primary entrance to the house is on the north elevation, at the end of a concrete walk reached by stairs descending from Signal Hill Road. A tall double wood door is flanked on the west by a panel that, like the door, is faced with plywood mahogany veneer. It opens to a half-floor landing illuminated by a band of clerestory windows that wraps around to the west elevation, where angled wooden louvers shield the landing from the afternoon sun. The entry porch is enclosed by a railing and sheltered by a dramatic projection of the roof slab. Plywood sheets, added relatively recently by the property owner, cover the door, clerestory windows, and wooden louvers, making it impossible to know if these features have suffered damage or not. A secondary entrance, with an exposed-aggregate concrete floor and a flush door, is located at the southwestern corner of the house, facing east, at the end of an asphalt driveway, where the western part of the building envelope projects some five feet past the garage doors.

Fenestration consists chiefly of long bands of windows, comprising both floor-to-ceiling glass walls and various combinations of large wood-frame single-light fixed windows and small aluminum-sash casement and double-hung windows. On the upper floor, a window wall runs along part of the west elevation and wraps around to the north side, flooding the living and dining rooms with light and providing wonderful views of the coastline and the Pacific Ocean. The window wall is composed of six sections on the west side, each featuring a large sheet of plate glass set in aluminum channels and separated by a wood glazing bar from a long horizontal fixed-light window and a small jalousie window below. A shorter glass wall, with large fixed sheets separated by louvered windows, runs along the north side of the courtyard and wraps around the east end of the wing. Two fixed windows on the north side of the lower floor provide natural illumination to the master bedroom. On the west, sliding glass doors open from two of the three

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bedrooms to a concrete patio. The windows on the north side and several double-hung and casement windows on the west side are obscured by plywood sheets.

Above the ground floor, a cantilevered balcony with a metal railing is shaded by the deep roof overhang and wraps around the corner to become a large private deck on the north side. The deck is accessed by a massive sliding glass door that is integral with the second-story window wall. As is the case with other windows, the sliding glass door is obscured with plywood sheeting, as are a picture window and casement combination window on the west side of the floor. On the south side of the north wing, at the top of the broad staircase leading from the half-floor entry hall, a sliding glass door opens to a glazed-tile terrace extending along the west side of the courtyard, which faces an ornamental garden enclosed by a grape-stake fence. In December 2013 this sliding glass door was covered by a plywood sheet, as were several of the windows running along the west side of the courtyard. The roof slab reaches several feet over the courtyard on the west and north sides and projects more than six feet on the east end of the north wing, resting on a wooden brace set against the fence. A second sliding glass door opens to the terrace from the west side of the courtyard. At the northwest corner of the courtyard, a large brick grill for cooking is integral with the interior fireplace in the living room.

Alterations and Integrity

As originally constructed, the house was a low one- and two-story residence. The lines and massing remain essentially unchanged from construction. In 1978 the kitchen, situated next to the dining room on the upper floor, was remodeled for property owners Clifford and Patricia Mettler. The Mettlers had acquired the property in September 1975 from William and Audrey Mennan, who purchased it from the Connells in April 1973. During the course of the work, the four casement-combination windows on the west side of the kitchen and adjoining utility rooms were possibly replaced. The original plans from Neutra's office show four windows, each a single-light casement to the south of a single fixed-light window. A hand-written note on the back of a snapshot of construction progress, dated July 7, 1958, in the Connell House file at the University of California, Los Angeles (UCLA), observes that the "complete window frames" had been approved by Arthur Connell, even though "casement windows on wrong side of posts."¹ It may well be, as such, that though the handles to the casements appear to have been replaced, the windows are original. The work does not compromise the integrity of the house.

The residence originally featured a service yard at the southwest corner of the upper level, enclosed on the east and north by the house itself, and on the west by a nineteen-foot long wing wall that extended south from the west side of the building envelope. An early floor-plan sketch from Neutra's office shows the service yard marked as such and annotated, in parentheses, as "Future Maid's Room."² In 1992 the Carmel architect Edward M. Hicks designed a plan to enclose the yard and create 220-square-foot "studio addition" for William and Audrey Mettler. The addition, constructed the following year, extended the house approximately five feet beyond the garage wall and slightly more than a foot beyond end of the wing wall and retained all existing walls, as well as the old doorway at the east end of the north side of the former service yard, which provided passage between the studio and the rest of the house. An entry door was set in the wall perpendicular to the garage, while nearly the entire southern exposure of the studio was filled by a large single-light fixed window and a small adjoining single-light casement. From the early stages of planning, Neutra had anticipated the construction of a room where the service yard stood. The studio is tucked into the corner of a secondary elevation and the effect on the integrity of the house is minor.

¹ Notation by John Blanton on the back of snapshot of construction progress, Box 1660, UCLA.

² Connell House floor plan, Box 1660, UCLA.

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Quite likely at the same time as the addition was built, alterations were made to the band of windows on the lower level of the west elevation and to the large fixed lights on the upper level of the same side. As built, the house contained seven sets of louvered windows on the lower floor, each located to the south of a sliding door or fixed light. A 1958 photograph (Figure B) shows a long ribbon of glass composed of two sliding doors, six fixed windows—four of them above Masonite panels and three of them floor to ceiling—and seven jalousies. Presumably in 1993, when the addition was built, all of the louvered windows were removed. Three of the jalousies—one above a Masonite panel and two floor to ceiling—were replaced with narrow double-hung and casement windows, the work retaining the vertical window bar between fixed and operable lights. Four of the louvers were replaced by large fixed windows that took the place of a smaller fixed light and an adjoining jalousie, interrupting the pleasing rhythm of the windows. It was not unlikely at this time that two of the four Masonite panels, at the northern end of the west elevation, were also replaced and the large fixed-glass windows on the upper floor set into aluminum channels. Although the latter work had no meaningful effect on integrity, the replacement of the Masonite panels and jalousie windows compromised Richard Neutra's original concept of the house. These alterations are visible to a viewer only from the private area below, for a short distance to the west of the bedrooms, but the project reduced the integrity of the building. In 2008, as many as three or four cypress trees planted by the Connells were removed without a permit.

The current owner of the property will not permit access to the property and is opposed to the listing of the house in the National Register of Historic Places. As a consequence, the four photographs taken in December 2013 were done so from the property boundary lines. The nomination also includes five photographs taken in October 2010 when the property was surveyed at the request of the owner. The front door and numerous windows on several sides of the house have been covered with plywood. Because the property was inaccessible at the time of nomination it is not possible to describe the physical condition with authority. The house appears to be in fair condition, despite a lack of maintenance and damage to the fascia of the roof slab projecting over the front door.

The Connell house is in its original location, and available evidence suggests that the setting is much the same as it was in the late 1950s, when the building site and surrounding land were largely characterized by sand and scrubby ground cover. The addition—tucked away on a secondary elevation, next to the garage and not readily seen by the public—changed the design of the house, but only minimally, eliminating a small semi-enclosed yard while increasing the size of the upper floor by slightly more than eight percent. The work left all of the original exterior walls intact, as well as the doorway leading into the house. The addition, anticipated by Neutra when the house was in the planning phase, was artfully designed not to obscure any character-defining features, and to be both compatible with the original building and—by virtue of the distinct fenestration and the darker tonality of the stucco—clearly differentiated. While the addition is consistent with the Secretary of the Interior's Standards for Rehabilitation, the alterations to the original window system on the west side of the lower floor of the house were less successful. This work retained the size, shape and pattern of some of the windows, but the elimination of the jalousies led to the introduction of casements and double-hung windows and increased the size of four of the fixed windows. Nonetheless, the design of the Connell house remains intact in its overall conception and in all but a relatively few details. With the exception of some of the windows, the original materials are present, and the original workmanship is evident. Whether viewed from Signal Hill Road or from the slope below, the house projects the same striking feeling of modernity as when the Connell family took possession of it.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

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Areas of Significance
(Enter categories from instructions.)

Architecture

Period of Significance
1958

Significant Dates
1958

Significant Person
(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder
Neutra, Richard Joseph (architect)
Geyer, Harold C. (contractor)

Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Completed in 1958, its period of significance, the Arthur and Kathleen Connell House is eligible for listing in the National Register of Historic Places at the local level of significance under Criterion C in the area of Architecture. It is an excellent example of the International Style within the Modern Movement in Pebble Beach, and representative of master architect Richard Neutra's mid-century residential work. The house exemplifies the rational design approach associated with Modern architecture, with thoughtful delineations between public and private areas that do not compromise its open, flowing spatial quality. As an intact and outstanding expression of the International Style of Modern architecture by a master

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architect, the Connell House is a superb contributor to the architectural heritage of Pebble Beach, Monterey County, and northern California.

Narrative Statement of Significance (Provide at least one paragraph for each area of significance.)

With its complex but controlled massing, the Connell House embodies Neutra's grand dual concern to design the house to meet the family's needs and also to exploit the meeting of land and water below. In this regard he succeeded admirably, with every room save the private den commanding a stunning view of land and sea from Cypress Point northward. The 2013 *Pebble Beach Historic Context Statement* concurs with this assessment, noting that the house "appears to be an extremely rare example of an International style residence in Pebble Beach."³

The property is one of thirteen of Neutra's twenty extant northern California projects retaining integrity.⁴ Within that small number, a fraction of Neutra's canon, the property stands out for its stunning response to program and site. Lying long and low, hugging the earth, open to light and nature, the Connell house exhibits those signature elements associated with Neutra's residential architecture of the 1950s, including cantilevered roof slabs, crisp geometries, projecting beams, ribbon windows, and glass walls, culminating in what his biographer Thomas Hines identifies as the most essential character of his work, "the interpenetration of inner and outer space."⁵

Construction History

Based on life style and programming needs defined by the Connells, described in more detail in Significance, Neutra began designing the house in late April 1957, with a final print set dated July 1957. Scores of pencil drawings in Neutra's hand, as well as continuous commentary and correspondence, testify to Neutra's complete command throughout the project.⁶ Lead project architect John Blanton and others in the busy office drew the design development and construction document drawings and served as liaison as required. Neutra also advised the Connells on general landscaping. He was concerned, for example, about the Connells' privacy from Signal Hill Road, especially the view of the "private patio and east windows... Mr. Neutra is very interested in contacting a very good nurseryman in this area to see what can be planted that will grow tall enough to alleviate this condition."⁷ Landscape contractors Solomon and Hoy got the job, with principal George Hoy praising Neutra's "very distinguished work."⁸ The Connells' own sensitivity to the unique setting led to planting native and compatible plants, shrubs, and trees, intended to harmonize with existing landscape. According to Neutra office site visit notes, the

³ Page and Turnbull, *Pebble Beach Historic Context Statement*, (San Francisco: Page and Turnbull, August 29, 2013), 115. Prepared for Monterey County Parks Department, the *Context Statement* includes a photograph of the house on page 114 and alludes to the house on page 1 of the Executive Summary. Additionally, interpretations of the International Style vary. White typical primary character-defining features include horizontally disposed unornamented white volumes and ribbon windows, later (postwar) iterations of the style feature a great range of materials and methods, and may be interpreted as regional expressions of the International Style, or termed the American International Style, or the rarely used Contemporary Style.

⁴ Survey of northern Californian properties by Miltiades Mandros, 2003. Barbara Lamprecht Collection.

⁵ Thomas S. Hines, *Richard Neutra and the Search for Modern Architecture*, 4th ed. (New York: Rizzoli International Publications, 2005), 14.

⁶ These preliminary sketches include approximately twelve perspective drawings, ten sketches of stepped approaches and topographical studies, and eight floor plans. Connell House File, Box 1716, Roll 725, Richard and Dion Neutra Papers, Collection 1179, Charles E. Young Research Library, Special Collections, University of California, Los Angeles (hereafter Box 1716, Roll 725, UCLA).

⁷ Richard Neutra via George Blanton to Arthur and Kathleen Connell, June 3, 1957, Box 1716, UCLA.

⁸ George Hoy to Richard Neutra, Connell House File, Box 1660, Richard and Dion Neutra Papers, Collection 1179, Charles E. Young Research Library, Special Collections, University of California, Los Angeles (hereafter Box 1660, UCLA).

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Connells intended to "plant some cypress trees near the entry."⁹ Connell planted several cypress trees from seed.¹⁰

The building was constructed by the Monterey-based general contractor Harold C. Geyer, with the Neutra office providing commentary, site visits, and suggestions on a frequent and regular basis. The Connells selected subdued tones of grey-greens, sand, and off-white for the house to further nestle the house into the landscape. As was typical with many Neutra houses, especially those away from Southern California, some minor alterations to the plans occurred during construction. These include flipping the casement windows from one side of the regularly spaced posts on the west elevation to the other side of the post (although the rhythm alternating casement and fixed windows was retained) and the elimination of the exterior light strip on the west elevation in favor of spot lights.¹¹ The Connells also decided against Neutra's specification for a steel "Slidemaster" door in favor of an aluminum Arcadia door because of their concern for corrosion in this oceanside climate, although their framing, spacing, and openings remained as Neutra designed them. Near the end of August 1958, the Connells took possession of the house, stating enthusiastically that they "would not change one stick."¹² According to daughter Alexandra Connell, the family changed nothing.

Connell House

Based on archival letters and correspondence, the Connells first became aware of Richard Neutra while living in San Marino, a small Southern California city south of Pasadena, where Arthur Connell, a professional photographer, owned a camera store. While there is no known correspondence in the Connell House file at UCLA prior to April 25, 1957, his daughter Alexandra Connell recounts her father's strong sense of aesthetics based on his many activities in photography, the arts, and architecture, leading to his strong admiration for Neutra's work. Though by the 1950s Neutra was internationally famous, the Connells decided to approach him, initially visiting his Silverlake home and practice.

Neutra was immersed in one of the most productive periods of his career, designing twenty-seven built projects between 1957, when the Connells contacted him, and 1958, when the family moved in. The single-family suburban dwellings designed during this period became known as Neutra's "Golden Era" of house design. Often naturally finished wood post-and-beam, these houses are more relaxed than his earlier work, characterized as a series of planes set into their surroundings in contrast to his earlier white interlocking volumes of the 1930s.

The Connells purchased the Pebble Beach lot for \$13,000. Their primary goal was to create a home that was so fitted to its sloping site that it almost disappeared into the land. In part, this objective also reflected a desire to have a minimum impact on the site, as Alexandra Connell noted.¹³ During this time Arthur Connell co-founded *Friends of Photography* with photographers Brett Weston (Edward Weston's son), Imogen Cunningham, and Ansel Adams, with whom Connell had taken master classes. Connell and Weston were close friends, often photographing and camping together, deepening the Connell family's

⁹ "Record of Supervision Visits," Visit No. 5, Sept. 1, 1958, Box 1660, UCLA.

¹⁰ Connell House File, Box 1716, Roll 725, UCLA.

¹¹ For budget reasons the Connells also elected to forego exterior light strips at the edge of overhangs, another typical Neutra feature intended to evenly light exterior balconies. Richard Neutra to Arthur and Kathleen Connell, October 29, 1957, and March 12, 1958; Arthur Connell to John Blanton, March 14, 1958, Box 1660, UCLA. Several other Neutra clients made the same decision, such as Herbert Kronish for his lavishly appointed home in Beverly Hills, constructed 1955.

¹² Ibid.

¹³ Alexandra Connell, daughter of Arthur and Kathleen Connell, telephone interview by Barbara Lamprecht, January 3, 2014.

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deep affection for the rugged topography and seascape of Carmel and Monterey. Alexandra Connell recalls family conversations referring to Neutra's initial visit and his pleasure in the site.¹⁴

Overlooking the Pacific Ocean and surrounded by two signature golf courses, the Connell House occupies a commanding site in Pebble Beach, Monterey County, lying near the historic 17 Mile Drive and facing the rugged Cypress Point and the ocean.¹⁵ Within the canon of Neutra's deluxe upscale dwellings, only a handful have enjoyed such sites so privileged in striking natural terrain.¹⁶ Here, the dwelling's Pebble Beach setting, with its dunes and wind-pruned trees, was a perfect fit for Neutra, whose background in landscape architecture sharpened his appreciation for special sites. The pivotal location is even more distinguished in that the nearby golf courses and 17 Mile Drive have been identified as potential cultural landscapes in the *Pebble Beach Historic Context Statement*.¹⁷ The Monterey Peninsula Country Club, just three miles to the east, has also been identified as eligible for listing in the California Register of Historical Resources, further heightening the importance of the property's unique setting.

One of the chief tenets of Modernism is the Wrightian "breaking" of the boundary between indoors and out, making the *setting*, the physical environment of a historic property that illustrates the character of the place, important in considering a Modern property. In all of Neutra's work the role of the site and the setting is paramount. In his *Mystery and Realities of the Site*, Neutra invariably intended to enhance qualities of human well-being by designing houses that melded with nature and the landscape. In many of his single-family free-standing houses, including the Connell House, he incorporated the experience of nature at a variety of scales—nature near, nature at mid-range, and nature distant—to animate interaction with the outdoors. Here, the 3,299-square-foot house itself is an important part, and only one part, of a larger composition.

Neutra's first gesture was to orient the house to face the spectacular view to the west. A garden courtyard, forming the hollow of the U-shaped upper level, is still bordered by the grape-stake fence. This courtyard acts as the most intimate part of the setting. Conceived in the manner of a Japanese rock garden, a Connell wish that included sand hand-raked by Arthur Connell, the garden also implemented the "nature near" quality Neutra desired.¹⁸ While original plan called for a solid wall on the east, enclosing the garden, budgetary constraints forced the Connells to erect wood fencing, necessary to keep the deer out, they wrote Neutra.¹⁹ Mature juniper bushes and large boulders, characteristic of Neutra's settings, are also present. He consistently employed boulders as devices to contrast the smooth machined finishes of the industrialized world with the rough textures found in nature. Boulders are features of residences such as the Tremaine and Kaufmann villas and small speculative dwellings such as the Hailey House, Los Angeles, 1959 as well as present in public buildings such as the former Garden Grove Community Church, Garden Grove, 1962 (now the Arboretum), and the Orange County Courthouse, Santa Ana, 1968.

¹⁴ Alexandra Connell was away at school at the time and could not confirm that the visit occurred.

¹⁵ The 17 Mile Drive opened in 1881.

¹⁶ These are Kaufmann Desert House, Palm Springs, 1947; Tremaine House, Santa Barbara, 1948; Maslon House, Rancho Mirage, 1963; Rentsch Villa, Wengen, Switzerland, 1964; Rice House, Richmond, Virginia, 1965, designed for Ambassador Walter Rice and his wife Inge; and Bucorius Villa, Lake Maggiore, Switzerland, 1966, designed for German politician and journalist Gerd Bucorius, a founding publisher of *Die Zeit*, Germany's leading newspaper. While four of these properties have been meticulously maintained or restored, the luxuriously appointed Maslon House, exquisitely sited the 17th hole between two fairways on the fabled Tamarisk Country Club golf course, was torn down one week after a permit was issued for its demolition. Neutra's genius in selecting or addressing sites sometimes proved fatal to his buildings.

¹⁷ Page and Turnbull, *Pebble Beach*, 15, 50, 52.

¹⁸ Neutra office notes, September 1, 1958, Box 1660, UCLA.

¹⁹ The original grape-stake fencing was photographed by Arthur Connell; see also Connell's letter to Neutra office, October 31, 1957, Box 1660, UCLA.

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The extant staggered zig-zag entrance is a Neutra feature intended to decelerate a visitor's approach to the house, here exaggerated to six quarter-turns.²⁰

Neutra addressed the larger aspects of intermediate and distant nature tectonically, employing intermediate balconies and terraces, seen on the primary façade and the northwest corner of uninterrupted glass. These expansive gestures to the dunes, natural scrub, and coastline balanced the more diminutive, domestic gesture of the paved terrace on the east elevation that opens to the garden courtyard.²¹ All of these transitional spaces were sheltered by broad overhangs and separated by conditioned space only by sliding glass walls alternating with low or full-height jalousie windows and fixed windows. Combined with planes of stucco that overlap and slide past one another, the effect is that of a floating pavilion nestled into the dunes.

One special feature, possibly unique in the Neutra canon, is the extant fireplace/barbeque. This custom brick element also helps to challenge conventional assumptions about indoors-outdoors. It straddles the division between the living room and garden courtyard. While such "Janus-faced" structures are quite common, here the construction added more elements to extinguish conventional boundaries. For example, while its west portion acts as a formal fireplace on the interior, the east portion is an outdoor barbeque and kitchen, including base cabinets and a countertop, originally Formica, topped by a glass wall.²² The effect extends kitchen functions into the outdoors.

The use of a soft, canvas-like material on the floor of the north deck was employed to make the outdoor "walking deck" on the north more inviting, yet another demonstration of Neutra's concern for physiology and the sense of touch. Another feature, the section of angled wood louvers on the east side of the roof deck, recalls similar devices elsewhere, including the Kaufmann Desert House and the Los Angeles Hall of Records.

In Neutra's view, houses were intended to be not inorganic machines but almost living beings alert to a client's life. The orientation of the house, spatial adjacencies, and day and artificial lighting all worked in concert to create an environment variously kinetic and serene. Thus, the property also exemplifies the architect's typical deep attention to the client's program, documented in an extensive archival record.²³ This began with a regular Neutra request he called a "client interrogation" that was fashioned as though he were a physician requiring a medical of a new patient. The Connells' 30-page response, including family hobbies and proposed room contents, furnishings, appliances, and storage systems, is the longest and most energetic response thus discovered in the UCLA archives. The correspondence ushered in an intense collaboration throughout design and construction.²⁴

The Connells emerge as eminently pragmatic, always aware of the efficacy of a particular finish in this demanding seaside climate. Concerns such as tracking in sand, the efficiencies of paths of travel, the interests of the children, how many inches of storage space were allotted for Kathleen Connell's vase collection, the acoustics of Arthur Connell's den, and her concern for maintaining an economical path of travel even when ironing clothes, were then integrated into Neutra's design.²⁵ Such close attention to

²⁰ This is a strategy Neutra gleaned from his visit to Japan in 1930, earlier established with his apprenticeship in 1921 with Gustav Amman, as noted earlier in the text.

²¹ The original broom-finished concrete terrace has been replaced, although the footprint of the original appears to have been retained.

²² While the retention of the Formica countertop cannot be confirmed, the fireplace/barbeque is intact.

²³ Connell House File, Box 1716, Roll 725, UCLA.

²⁴ Ibid.

²⁵ Ibid.

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function was not only one of Neutra's *métiers* but it was also typical of Modernist architects intent on improving a home's functional qualities in postwar settings. Neutra's response is manifest in the executed construction.²⁶

The restricted palette and materials present throughout the property are characteristic of Neutra's work, intended to demonstrate how inexpensive, standard, robust materials such as white-painted common brick, exterior-grade Masonite, and metal windows could be crafted to elegant, economical, and durable effect. Neutra selected the *jalousie* windows, heavily advertised and popular with many mid-century architects, because he trusted their efficacy in winds up to hurricane force. Because they didn't work as promised, in part, perhaps, because the specified product was apparently substituted by another, to the disappointment of both architect and client, he later abandoned their use, just as many of his peers did.²⁷ The presence of the full-height *jalousies* at the Connell House is unusual because Neutra rarely employed such tall units.

Neutra's typical dualistic approach to axial orientation to enhance views is also evident. Here, the broad orthogonal north-south axis runs almost the entire length of the upper floor, accomplished by pulling walls and furnishings well away from the full-height windows on the west to achieve a sense of open, flowing space. Because the northwest corner is glass on both sides, Neutra was able to create a diagonal axis visible from many points in the house in order to open up the view dynamically. The airy quality of this upper floor contrasts with a private den for Mr. Connell at the east end of the north wing; a kitchen wing that can be closed off on the south; and a bedroom wing located on the lower floor. These contrasts in openness and enclosed shelter not only reflect the Connells' wishes but also demonstrate Neutra's desire to address primal physiological and psychological needs known today as "prospect and refuge" in environmental psychology.

The Connell House was featured in a four-page spread in *World and Dwelling*, a book of selected Neutra houses published in Germany in 1962.²⁸ Alexandra Connell states that the family loved living in the house, the "uninterrupted views, and the [visual] exposure to the weather." The Connells finally sold their home when their daughters grew up and moved away, and they were spending time in Fiji, where for decades they nurtured a school they had established.

Richard J. Neutra

Born in Vienna, Austria, Richard Joseph Neutra (1892–1970) graduated *summa cum laude* from the Technical Institute (University), Vienna. He also attended the informal school founded in 1912 by the radical writer and architect Adolf Loos before serving with the Austro-Hungarian Empire forces in World War I. Like his early friend and colleague Rudolf M. Schindler, Neutra was deeply influenced by the 1910-1911 European publication of Wright's *Wasmuth Portfolios*, a watershed manifesto in twentieth-century architectural history. The publication illuminated Wright's radical conception of the "breaking of the [conventional] box" through more open plans and an emphasis on the extended low horizontal line. Both younger architects absorbed and reinterpreted Wright's strategies, whose uninterrupted diagonal sightlines into nature were afforded by long banks of windows and corner windows. Such configurations became common in the work of many of the European Modernists and later in the architecture of the "Second Generation" Modernist architects of Southern California. They were a standard strategy in many Neutra designs, and present at one of the property's most important features, the southwest corner of full-height glass.

²⁶ The earliest correspondence present in the Archives is dated April 25, 1967, Box 1660, UCLA.

²⁷ John Blanton, telephone interview by Barbara Lamprecht, December 26, 2013.

²⁸ Richard Neutra, *World and Dwelling* (Stuttgart: Verlagsanstalt Alexander Koch, GmbH, 1962), 104-107.

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Loos, another primary influence, advocated a return to the qualities of humility, anonymity, and what he termed "lastingness," or durability, in building. Rejecting historicism, Loos argued for a sober, forthright architecture that rejected stylish innovations. These views anchored Neutra's belief that great architecture did not have to be a series of novel designs but could evolve detail by detail. In addition, because he established predictable methods, construction costs decreased and allowed the architect to focus on site and user needs as he did at the Connell House.

Despite his broad education, because of the economy and lack of opportunities at the end of World War I, Neutra's first job was assisting the Swiss landscape architect, botanist, and gardener Gustav Ammann. Ammann, now considered an important figure in modern European landscape theory, promoted the role of nature and landscape as a necessary component in any architectural setting. Neutra's early income in Germany relied on small garden and landscape work. In these early designs, he specified plant types, budgets, and maintenance schedules. Beginning in the 1930s, Neutra typically used more general instructions on the height of plant or tree, scale of foliage, and plant placement. Later in his career, Neutra worked with important landscape architects such as Garrétt Eckbo and Roberto Burle Marx, in which their designs, incorporating curves and other geometries, offset Neutra's orthogonal forms.

Neutra immigrated to America in 1923. He was hired as a draftsman by the large Chicago firm, Holabird and Roche, where he mastered steel skyscraper framing and later met another hero, architect, and critic Louis Sullivan. Beginning in the fall of 1924, Neutra worked for Wright in his atelier Taliesin in Spring Green, Wisconsin, before moving in early 1925 to Los Angeles, where his fellow Austrian, Schindler, was based. The city became Neutra's permanent home. He worked for Wright before teaming up with Schindler, who, with Neutra, was responsible for introducing European Modernism to the West Coast.

Apart from his European and American influences, Neutra's round-the-world tour in 1930 included Japan. The visit was partially facilitated by the Japanese architects he met at Taliesin. Neutra's stay there was a turning point, as he later wrote in the foreword to a book on Japanese gardens. The well-proportioned use of asymmetry and the consistent use of a standard palette of materials for a wide range of users that he witnessed there confirmed his belief in his own approach. Additionally, the fundamental integration of gardens, texture, landscape, views, and architecture that he admired in Japan strengthened his conviction that nature or nature's qualities were indispensable in architecture.²⁹ These qualities are abundantly demonstrated at the Connell House.

Neutra's renown in residential architecture rests on his command of proportion and his skillful synthesis of overlapping lines and planes of stucco, steel, and glass that extend into the surrounding landscape. The Lovell Health House, Los Angeles, 1929, established his international fame. Set high in the Hollywood Hills, the house was a superb expression of the International Style and the first entirely steel-frame residence constructed in the United States. When he could find no general contractor willing to take on such a radical project, harnessing his early experience in Chicago, Neutra himself took on the challenging project, proving his expertise in innovative methods in construction. Seven years later in the catalogue to the landmark 1932 "Modern Architecture" exhibition at the Museum of Modern Art in New York City, Neutra was hailed as "the leading modern architect of the West Coast."³⁰ Although chiefly associated

²⁹ See Barbara Lamprecht, "Neutra in Japan, 1930, to his European Audiences and Southern California Work," *Southern California Quarterly* 92 (Fall 2010): 215-42; and Richard Neutra, Foreword, *Japanese Gardens for Today*, by David H. Engel, and (Rutland, Vermont: Charles E. Tuttle, 1959), xii, xiii.

³⁰ Alfred H. Barr, Foreword to *Modern Architecture* (New York: Museum of Modern Art, 1932), quoted in Hines, *Richard Neutra*, 125.

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with Southern California, he began working in the San Francisco Bay Area as early as 1935, building a clapboard house on Twin Peaks. Two years later he designed the boxy redwood-clad Darling house on Woodland Avenue in San Francisco, which adapted the minimalist architectural aesthetic of 1920s and 1930s Europe to regional conditions, placing it within the woody anti-urban Bay Area Tradition.

Neutra went on to design approximately 400 projects, including tract developments, national park visitor centers, churches, colleges, schools, public buildings, defense housing, and villas in Germany, Italy, and Switzerland. Although some have been demolished, especially those on exceptional sites, a number of properties are now designated historic resources in the United States as well as protected internationally, including the early 1960s Bewobau Housing Development in Germany, and the former U.S. Embassy, Karachi, Pakistan, 1960, designed with his partner in large civic ventures, Robert E. Alexander, and just declared a historic monument last year. Although primarily known for his houses, Neutra's achievements range from innovative construction techniques to his radical reconceptualization of American schools with strategies that became permanent hallmarks in educational settings here and abroad. Winner of numerous honorary doctorates and prizes, he earned the American Institute of Architects' Gold Medal posthumously in 1977.

While Neutra's architecture has always been acclaimed for its sleek forms, in the last few years his work and writings have become the focus for renewed interest, demonstrated in international exhibitions, popular articles, and new scholarly research. Much of this new interest is based on his prescient study of the role of human physiology and psychology in architecture, knowledge he incorporated into residential designs. Neutra grounded his architecture on his immersion in readings in emerging nineteenth- and twentieth-century disciplines, including evolutionary biology, medicine, Gestalt aesthetics, and other sciences. Collectively, his readings and personal acquaintance with many of the authors of the works he read convinced Neutra that an alert contact with nature, or the qualities of nature, were critical to any successful human setting. His knowledge of the body's physical, sensory, and cognitive systems underscored his emphasis on creating environments—the building and its immediate and larger setting—that engaged the senses. Neutra set forth his theory in his 1954 book, *Survival Through Design*.

Additionally, Neutra used his knowledge of Gestalt aesthetics, refined during his winter teaching tenure at the Bauhaus in 1930, to “stretch space.” Devices such as extended balconies, mirrors, and transparent glass, present in the Connell House, facilitated such “stretching,” altering the perception of space to create a feeling of expansiveness. Neutra put these tools to use in the designs of small houses and multi-family designs. Apart from the new scholarly interest noted above, contemporary interest in environmentally responsible building, have generated interest for architects and planners in the sustainability and “green building” aspects of Neutra's designs.

The Connell House embodies these ideas and ideals. It physically testifies to a family's commitment to living modestly and gracefully on the land and in hiring an architect eminently suited to accomplish that task. Today, the house is still a prescient work of architecture that demonstrates Neutra's convictions and establishes a template for contemporary and future architects in how to design with the land.

Modern Architecture in Pebble Beach

Although the history of modern architecture in Pebble Beach and adjoining communities on and about the Monterey Peninsula has yet to be written, a broad outline can be traced with some confidence. In 1933 the distinguished Modern architect William Wurster, dean of the University of California, Berkeley, from 1950 to 1963 and one of the principal figures associated with the Bay Area Tradition, designed a Carmel house for E. C. Converse. The abstract design reinterpreted features of the then popular Colonial Revival

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style, for which Wurster received an Honor Award from the northern California Chapter of the American Institute of Architects. Far removed from the hard-edge International Style associated with Neutra and its reinterpretation by his countryman Rudolph Schindler, the Converse house nonetheless embodied a new architectural sensibility associated with the Bay Area, a "gentle modernism," to use the evocative phrase of the architectural historian David Gebhard.³¹

Other expressions of this design outlook arose in Carmel prior to World War II, including the Sand and Sea complex, comprising five houses and a garage with a studio above, at the corner of San Antonio Avenue and 4th Street. This development was the work of Jon Konigshofer, a prominent Carmel designer and builder who played a large role in bringing West Coast regionalism and the Bay Area Tradition to his adopted hometown and the surrounding area. His design was a handsome example of "everyday modernism," interpreted as that mediation between the stark rationalism of the International Style and the regional climate, conditions, and concerns that animated the architecture of other figures associated with the Bay Area Tradition who worked in and about the Monterey Peninsula, including Gardner Dailey, Henry Hill, and Clarence Tantau. Within this context, it should be noted that in 1939 Neutra himself produced a handsome redwood-clad house for William and Alice Davey (now significantly altered) on Jacks Peak, outside Monterey, that was thoughtfully integrated into the surrounding landscape of grassland and Monterey pines.

In contrast to Carmel and Monterey, Pebble Beach did not see the introduction of Modernism until some years after World War II, though the lack of a comprehensive local architectural history, together with the difficulty of viewing many of the community's residences from public thoroughfares, makes a definitive assertion on this point impossible.³² In 1940 Frank Lloyd Wright designed a spacious house for John Nesbitt on 17 Mile Drive, but it was never constructed. Seven or eight years later Jon Konigsberger designed a notable Modern residence for the Robert Buckner family in Pebble Beach, which was one of fifty-three houses featured in the 1949 San Francisco Museum of Art exhibition, "Domestic Architecture of the San Francisco Bay Region." In 1952 he designed a Modern house for Macdonald and Margaret Booze on Signal Hill Road, just down the street from where Neutra would build. Throughout the mid-century a significant number of other architects associated with Mid-Century Modernism produced handsome homes in Pebble Beach. Within this context, the Connell House is clearly significant as an extremely important example of residential design, exemplifying both the rational approach associated with Modern architecture generally and the character-defining features associated with the International Style specifically.

Richard Neutra's hundreds of award-winning properties are primarily found in Southern California. As an accomplished and rare example of the work of this master architect in northern California, with a superb

³¹ David Gebhard, "William Wurster and His California Contemporaries: The Idea of Regionalism and Soft Modernism," in Marc Treib, ed., *An Everyday Modernism: The Houses of William Wurster* (San Francisco: San Francisco Museum of Modern Art; and Berkeley: University of California Press, 1995), 169.

³² The relatively late appearance of Modernist architecture in Pebble Beach can be traced to the building restrictions Del Monte Properties Company introduced into its real estate deeds in the 1920s. The restrictions, as the company took pains to explain to prospective purchasers, were intended to create communities "harmonious within themselves" and to "prevent the erection of undesirable and unharmonious buildings that would depreciate those of their neighbors." The type of residential design Del Monte Properties believed "best suited" to the area was "founded on the traditions" brought to California "by the first Spanish settlers. It has the general characteristics of the architecture of those countries along the north shores of the Mediterranean from Gibraltar [sic] to the Dardanelles, where the climate and topography are so similar to ours." Although the restrictions were relaxed as the Depression wore on, as late as 1940 *Fortune* magazine, reported that when submitting architectural plans for approval, "it will be better, no matter what the size of your purse, if you plan a Spanish-Colonial (Monterey) type of house." Del Monte Properties Company, *Bulletin*, December 1, 1927, Pebble Beach Company Archives, Pebble Beach; "Del Monte," *Fortune* 21 (January 1940): 106.

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setting in which Neutra could fully realize his beliefs about human well-being, the Connell House is unequivocally an important example of the International Style, perfectly illustrating this design aesthetic within the context of the development of Modern architecture in Pebble Beach. Despite a small addition and various minor reversible alterations to some of the fenestration, it retains a high degree of historic integrity. The Connell house is eligible for listing in the National Register of Historic Places at the local level under two requirements of Criterion C: it embodies the distinctive characteristics of a type, period, or method of construction; and is the accomplished work of an acknowledged master.

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Residential Building Record: 1170 Signal Hill Road. Office of the Monterey County Assessor, Salinas.

U.S. Department of the Interior, National Park Service. *How to Apply the National Register Criteria for Evaluation*. Bulletin 15. Washington, D.C.: U.S. Government Printing Office, 1991.

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University of California, Los Angeles. Charles E. Young Research Library, Department of Special Collections, Richard and Dion Papers, Collection 1179.

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Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____
- recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository: University of California, Los Angeles, Charles E. Young Research Library, Special Collections, Richard and Dion Neutra Papers, Collection 1179.

Historic Resources Survey Number (if assigned): _____

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10. Geographical Data

Acree of Property 2.13

Use either the UTM system or latitude/longitude coordinates

Latitude/Longitude Coordinates

Datum if other than WGS84: _____
(enter coordinates to 6 decimal places)

1. Latitude: 36.582708 Longitude: -121.965484

Verbal Boundary Description (Describe the boundaries of the property.)
The property boundaries are those of the 2.125-acre parcel on which the Arthur and Kathleen Connell House stands, Monterey County Assessor's Parcel Number 008-262-007.

Boundary Justification (Explain why the boundaries were selected.)
The boundaries are those of the 2.125-acre parcel acquired by Arthur and Kathleen Connell in Pebble Beach in 1956.

11. Form Prepared By

name/title: Anthony Kirk, Ph.D.
organization: _____
street & number: 134 McCornick Street
city or town: Santa Cruz state: California zip code: 95062
e-mail: Historydoc@aol.com
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organization: _____
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e-mail: bmlamprecht@gmail.com
telephone: 626-264-7600

date: January 15, 2014

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Additional Documentation

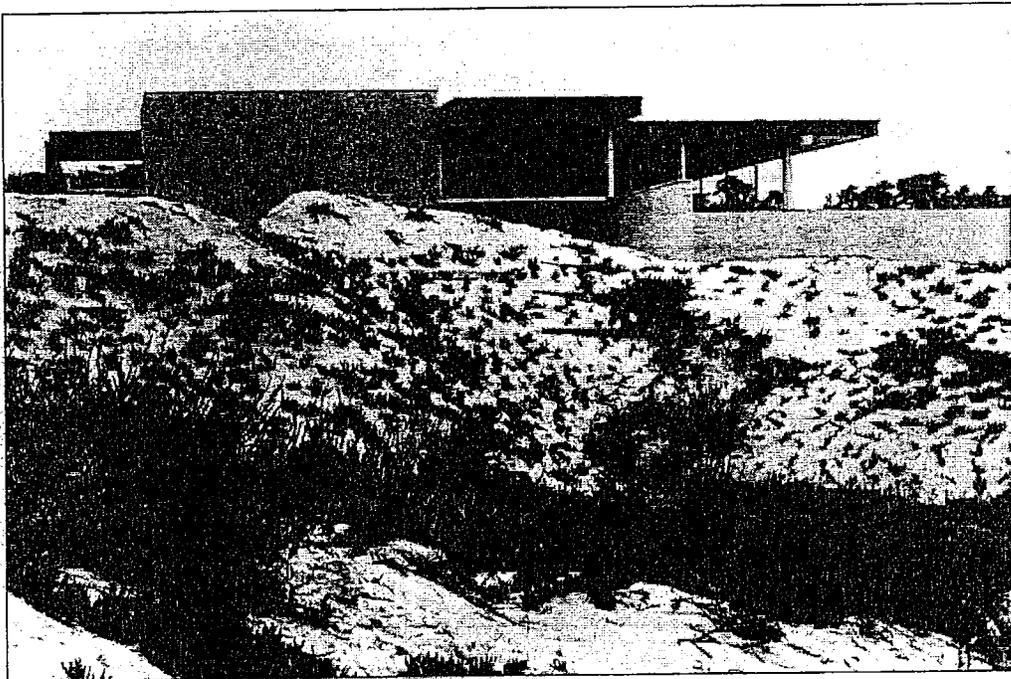
Submit the following items with the completed form:

- **Maps:** A USGS map or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

Historic photographs taken by Arthur Connell, 1958.

Courtesy Dion Neutra and the University of California, Los Angeles. (Connell House File, Box 1660, Richard and Dion Neutra Papers, Collection 1179, Charles E. Young Research Library, Special Collections, University of California, Los Angeles.)

Figure A. Looking south at north elevation.



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Figure B. Looking east at west elevation.

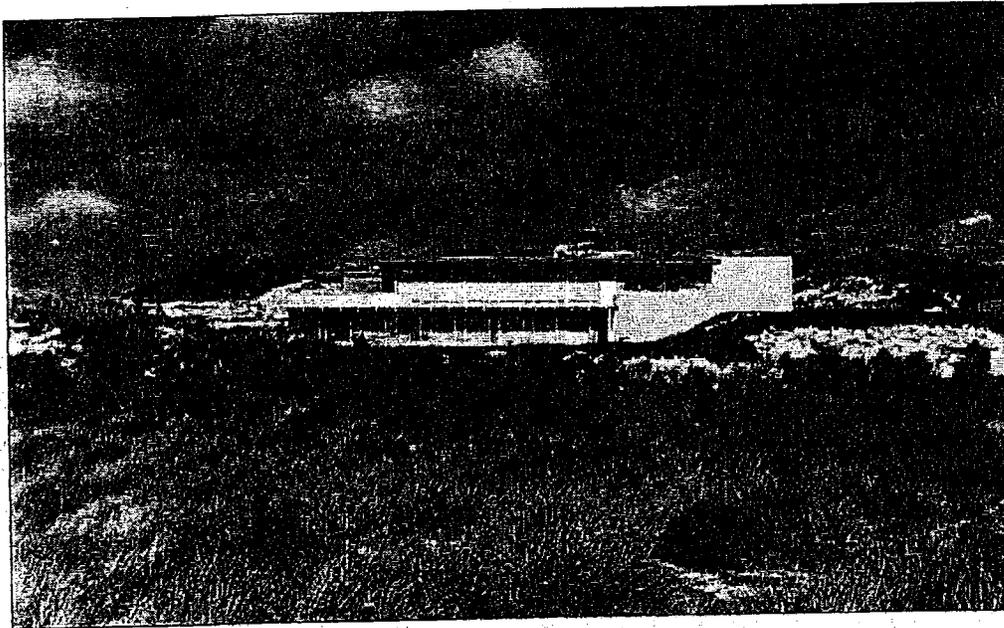


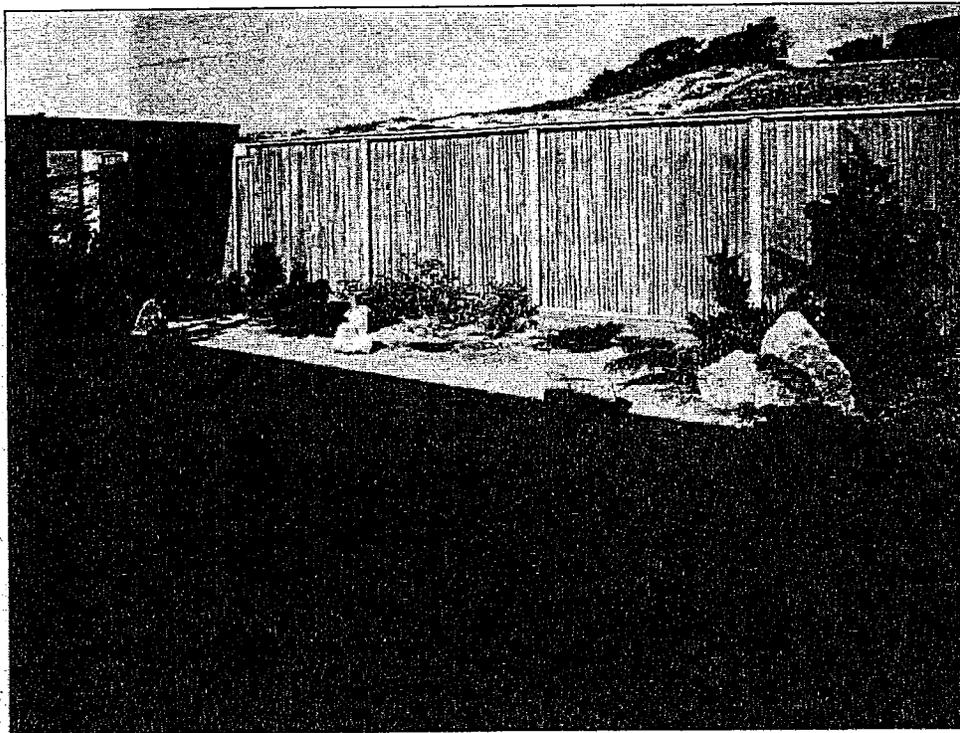
Figure C. Looking west from Signal Hill Road across northern section of house towards Cypress Point.



Arthur and Kathleen Connell House
Name of Property

Monterey, California
County and State

Figure D. Looking northeast across terrace and courtyard sand garden.



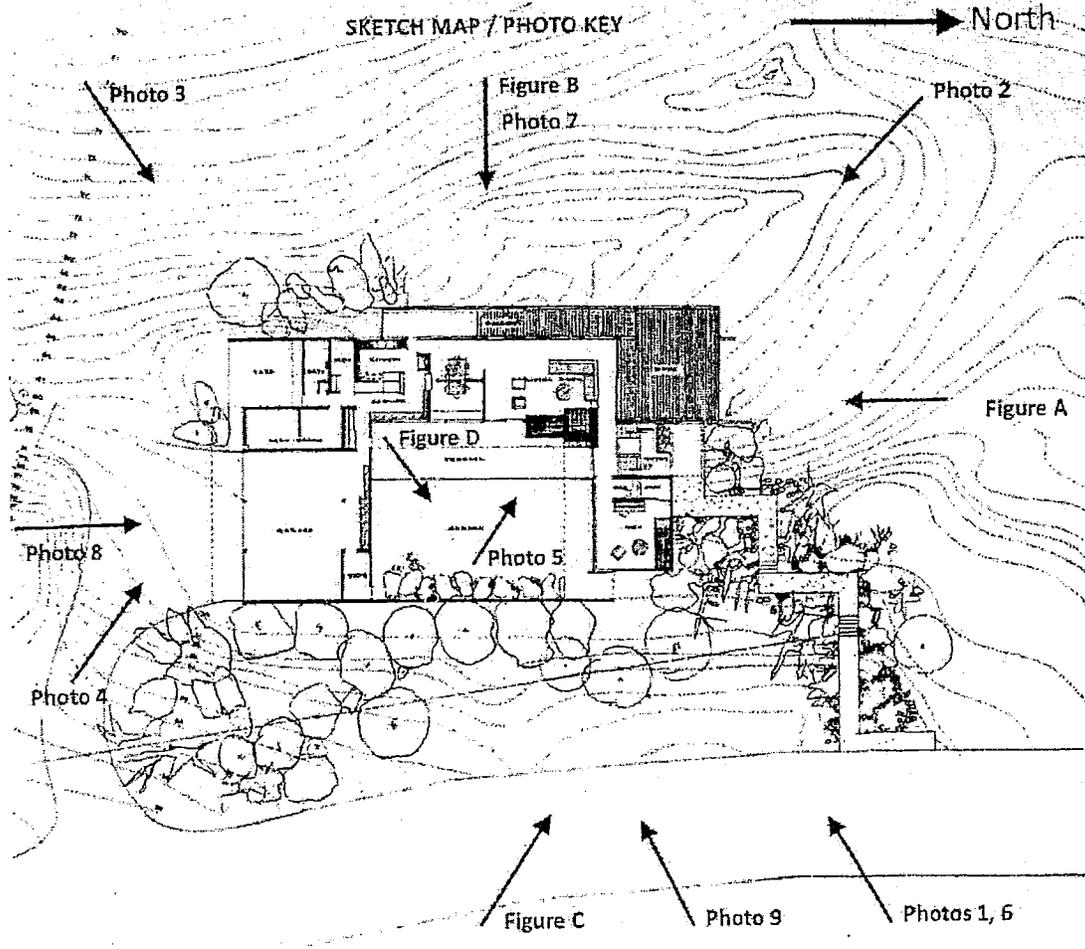
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Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Arthur and Kathleen Connell House
Name of Property

Monterey, California
County and State

Sketch Map/Photo Key



Figures A-D, 1958

Photos 1-5, 2010

Photos 6-9, 2013

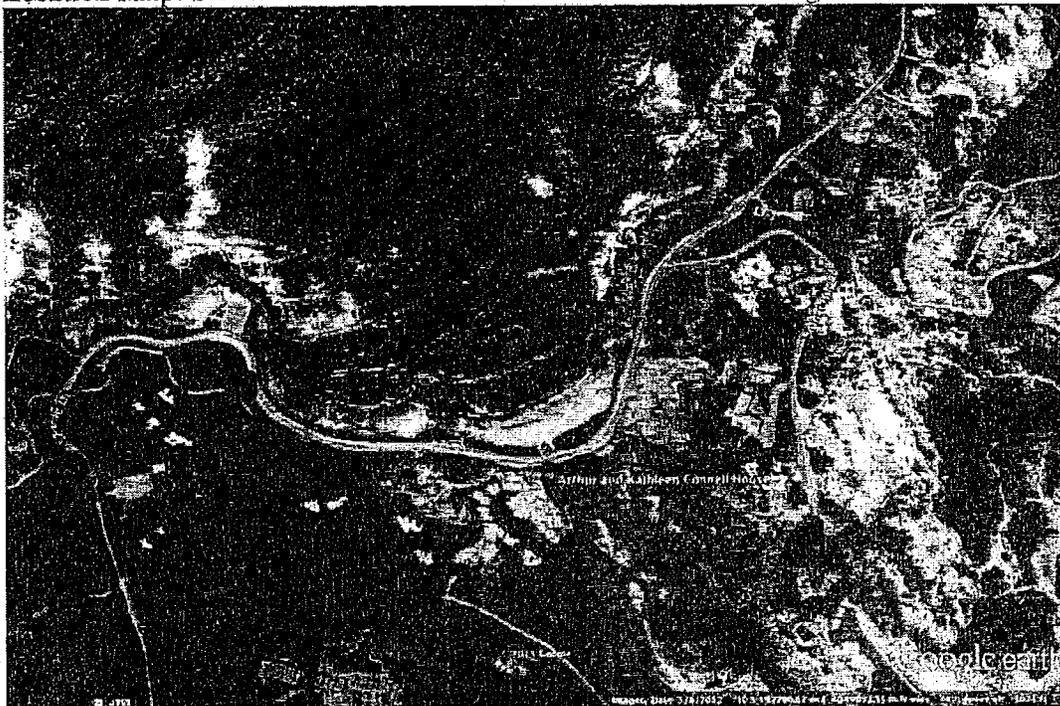
Arthur and Kathleen Connell House
Name of Property

Monterey, California
County and State

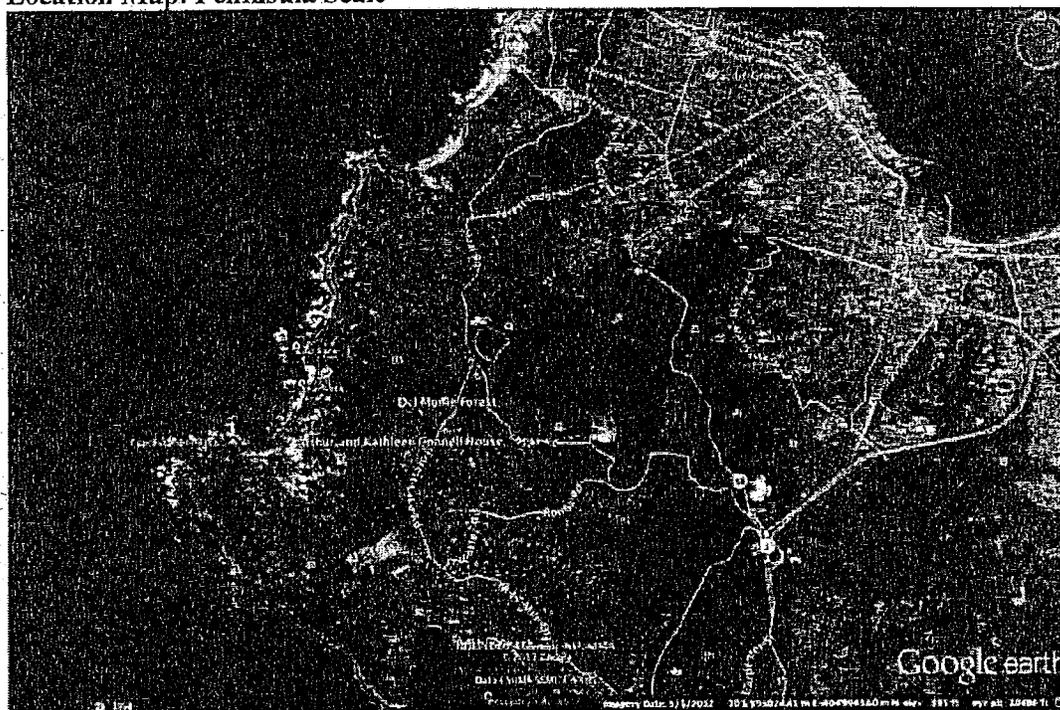
Location Map: Street Scale

Latitude: 36.582708

Longitude: -121.965484



Location Map: Peninsula Scale



Arthur and Kathleen Connell House
Name of Property

Monterey, California
County and State

Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property: Arthur and Kathleen Connell House
City or Vicinity: Pebble Beach (Del Monte Forest)
County: Monterey County
State: California

Photographer and Date Photographed as indicated

Description of Photograph(s) and number, include description of view indicating direction of camera

Anthony Kirk, Ph.D., October 5, 2010

1 of 9. Looking southwest at north elevation.

2 of 9. Looking southeast at north and west elevations.

3 of 9. Looking northeast at west and south elevations. The 1993 addition extends slightly more than a foot beyond the wing wall, *right of center*, and the studio is illuminated by a large single-light fixed window and a much smaller casement window.

4 of 9. Looking northwest at south elevation. Anthony Kirk, Ph.D.

5 of 9. Looking northwest at south and east elevations of courtyard.

Michael Dawson, December 12, 2013

6 of 9. Looking southwest at east and north elevations.

7 of 9. Looking east at west elevation.

8 of 9. Looking north at south elevation.

9 of 9. Looking southwest at east-facing courtyard.

APPENDIX E

Geology and Soils Background Information

**GEOTECHNICAL INVESTIGATION
NEW RESIDENCE
1170 SIGNAL HILL ROAD
PEBBLE BEACH, CALIFORNIA**

for

**Ms. Massy Mehdipour
1425 Dana Avenue
Palo Alto, CA 94301**

by

**Cleary Consultants, Inc.
900 N. San Antonio Road
Los Altos, California 94022**

March 2010

March 31, 2010
Project No. 1301.1
Ser. 2880

Ms. Massy Mehdipour
1425 Dana Avenue
Palo Alto, CA 94301

**RE: GEOTECHNICAL INVESTIGATION
NEW RESIDENCE
1170 SIGNAL HILL ROAD
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA**

Dear Ms. Mehdipour:

As authorized, we have performed a geotechnical investigation for your planned new home on the property at 1170 Signal Hill Road in Pebble Beach, Monterey County, California. The accompanying report presents the results of our field investigation, laboratory testing, and engineering analyses. The site and subsurface conditions are discussed and recommendations for the geotechnical engineering aspects of the project design are presented. The recommendations presented in this report are contingent upon our review of the grading and foundation plans and observation/testing of the earthwork and foundation installation phases of the construction.

Please refer to the text of the report for detailed recommendations. If you have any questions concerning our findings, please call.

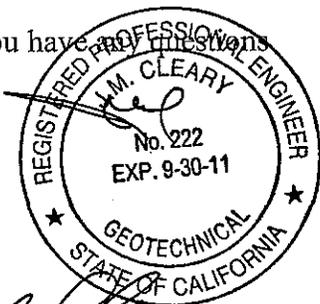
Very truly yours,

CLEARY CONSULTANTS, INC.


Grant Foster
Geotechnical Engineer 2662




J. Michael Cleary
Engineering Geologist 352
Geotechnical Engineer 222



GF/JMC:cm

Copies: Addressee (2)
Bill Bernstein AIA (4) Attn: William Bernstein
Whitson Engineers (1) Attn: Ken Whitson

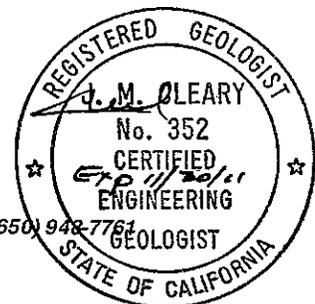


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APPENDIX A – New Residence, 1170 Signal Hill Road, Liquefaction and Dry Settlement Calculations, EB-5 and EB-7, Drilled February 19, 2010

INTRODUCTION

This report presents the results of our geotechnical investigation for the planned new residence on the property at 1170 Signal Hill Road in the Pebble Beach area of Monterey County, California. The general location of the site is shown on the Site Vicinity Map, Drawing 1. The purpose of this investigation was to explore the soil conditions in the planned new home area and develop recommendations for the geotechnical engineering aspects of the project design.

As indicated on the preliminary architectural plans prepared by Bill Bernstein AIA, November 2009, a new two level home with a basement will be constructed in the area primarily downslope of the existing home, which will be demolished. We understand that the new home will encompass approximately 14,000 square feet and will have a lower floor (basement) Elevation of 87.0 feet on the south portion and a lower floor Elevation of 98.5 feet on the north portion. A garage is planned at Elevation 107.0 feet on the front, or east side, of the residence. Building loads are expected to be typical of two story wood-frame residential construction.

Basement cuts will range up to about 17 feet in height, and new fills of up to about six feet in height are planned.

New driveway and exterior walkways/patios are anticipated for the property, as well as low landscaping walls.

SCOPE

As presented in our proposal agreement dated February 3, 2010, the scope of our services for this investigation has included:

1. A site reconnaissance by our engineer and review of published and unpublished geological information for this area.
2. Subsurface investigation consisting of seven (7) exploratory borings.
3. Laboratory testing of samples obtained from the borings.
4. Engineering analysis of the field and laboratory data.
5. Preparation of this geotechnical investigation report for use in the project design and construction. The report includes findings and recommendations for the following:
 - a) Site soil conditions, geologic and seismic setting, and 2007 CBC criteria for seismic design, including liquefaction and dry settlement analysis, and mitigation measures, as required.
 - b) Groundwater table, as encountered in the borings.
 - c) Site preparation and grading.
 - d) New residence foundation type(s), minimum foundation dimensions, and allowable soil engineering design criteria.
 - e) Estimated foundation settlements.

- f) Lateral earth pressures and equivalent fluid pressures for basement walls, landscape walls and recommendations for retaining wall backdrainage.
- g) Driveway pavement section.
- h) Support of concrete slabs-on-grade.
- i) Surface drainage.
- j) Any other unusual design or construction conditions encountered in the investigation.

This report has been prepared for the specific use of Ms. Massy Mehdipour and her consultants in accordance with generally accepted soil and foundation engineering principles and practices. No other warranty, either expressed or implied, is made. In the event that any substantial changes in the nature, design or location of the new residence are planned, the conclusions and recommendations of this report shall not be considered valid unless such changes are reviewed and the conclusions of this report modified or verified in writing. Any use or reliance of this report or the information herein by a third party shall be at such party's sole risk.

It should also be recognized that the passage of time may result in significant changes in technology, building code requirements, state of the practice, economic conditions, or site variations which would render the report inaccurate. Accordingly, neither the owners, nor any other party, should rely on the information or conclusions contained in this report after three years from its date of issuance without the express written consent of Cleary Consultants, Inc.

METHOD OF INVESTIGATION

A site reconnaissance and the subsurface exploration were performed on February 19, 2010, under the guidance of our engineer. Seven borings were drilled to a maximum depth of 31.0 feet at the locations shown on Drawing 3, Site Plan, using a track mounted hollow-stem auger drill rig. A key describing the soil classification system and soil consistency terms used in this report is presented on Drawing 6 and the soil sampling procedures are described in Drawing 7. Logs of the borings are presented on Drawings 10 through 18.

The borings were located in the field by pacing and interpolation of the features shown on the Site Plan provided us. These locations should be considered accurate only to the degree implied by the methods used. The elevations shown on the boring logs were taken from the topographic plan provided us.

Samples of the soil materials from the borings were returned to our laboratory for classification and testing. The results of moisture content, dry density, percent finer than No. 200 sieve, gradation, free swell, corrosion and plasticity index determinations are shown on the boring logs. Additional information on the plasticity index, corrosion, gradation testing is presented on Drawings 19 through 21.

A list of references consulted during this investigation is included at the end of the text.

GEOLOGY AND SEISMICITY

The subject property is located in the Cypress Point area of Pebble Beach, approximately 600 feet inland of Fan Shell Beach and the Pacific Ocean (See Drawing 1). This area is characterized by shoreline bluffs and low cliffs which are generally capped by recent (Holocene age) dune sand deposits, underlain by eroded granodiorite bedrock. The site is about 100 feet above sea level.

Drawing 2, Local Geologic Map, shows the site vicinity, extending for a distance of about 2000 feet inland, to be underlain by dune sand deposits (Qd). These deposits (Dupre, 1990) are up to 25 meters thick, unconsolidated, and consist of well drained medium to coarse grained loose sand with a poorly developed or absent organic soil horizon. The dune sand is subject to “accelerated erosion ... in areas where vegetation (is) disturbed or removed”.

Porphyritic granodiorite (Kgdp) is the underlying bedrock type in the Cypress Point area, forming resistant coastal bluffs and rocky outcrops. The granodiorite (Clark et al, 1997) is “light gray to moderately pink and medium grained with orthoclase phenocrysts ranging from three to ten centimeter long.” The granodiorite is variably weathered, ranging from highly decomposed (d.g. materials) to fresh to slightly weathered crystalline rock.

The major controlling active faults in this region are the San Andreas fault located 29.5 miles northeast of the site, the San Gregorio-Palo Colorado fault which lies 3.5 miles offshore to the southwest and the Monterey Bay-Tularcitos fault which lies approximately 5.0 miles northeast of the site (Blake, 2000). In addition to the above active faults, the Cypress Point fault, considered potentially active, is mapped (Clark et al, 1997) about 1000 feet southwest of the site as a concealed trace beneath coastal terrace deposits (Qct). Therefore, as with the rest of the Monterey Bay area, the property is in a region of high seismic activity.

SITE CONDITIONS

A. Surface

As indicated on the Site Plan, Drawing 3, the new home will be built on an irregular previously graded and terraced site, which has an overall fall of about 20 feet from east to west across the new building footprint. The upper portion of the site includes a two level residence which

appears to have been cut into the slope, with the lower level at Elevation 95 and the upper portion approximately ten feet higher, (roughly at street grade). The backyard has been terraced with a 50 to 75 foot wide gently sloping to flat area at Elevation 80 to 85, marking the outer/downhill limits of the planned new home. Further west, the dune sand terrain falls away at an overall gradient of approximately 25 percent toward 17 Mile Drive and the ocean.

Grasses, small shrubs and scattered trees were present on the property at the time of our investigation, however the backyard and terraced areas below the existing structure were largely un-vegetated dune sand. Several hard granodiorite bedrock outcrops are present on the parcel, including one at the bedroom wing of the proposed home (see Drawing 3 for general location). As measured in the field, the bedrock jointing strikes moderately to the northwest and dips strongly southward.

B. Subsurface

The exploratory borings encountered approximately eight to 14 feet of predominantly loose, medium to fine grained, slightly moist to dry cohesionless clean sand overlying one to five feet of loose to medium dense silty to clayey sand, in turn overlying very dense weathered granodiorite bedrock to 31.0 feet, the maximum depth explored. Refusal of the CME 55 auger drill rig was encountered at depths of 13.0, 31.0, 13.5 and 18.5 feet in EB-1, EB-3, EB-4 and EB-6.

The upper clean sand is non-plastic and non-expansive (plasticity index and free swells = zero) while the underlying silty to clayey sand has a low to moderate expansion potential (plasticity index = 17 percent and free swells of zero to 50 percent) based on the test data.

The attached boring logs and related information depict subsurface conditions only at the specific locations shown on Drawing 3 and on the particular date designated on the logs. Soil conditions

at other locations may differ from conditions occurring at these locations. Also, the passage of time may result in a change of conditions at the boring locations due to environmental changes.

Subsurface profiles A-A', B-B', and C-C' depicting interpreted subsurface conditions through the building site are presented on Drawings 4 and 5.

C. Groundwater

Free water was encountered at depths of 9.5, 16 and 10.5 feet in EB-1, EB-2 and EB-7 during drilling; free water was not encountered in the remaining exploratory borings during the investigation. The borings were only open for a period of a few hours, however, and this may not have been a sufficiently long enough period to establish the stabilized water table conditions. It should also be noted that fluctuations of localized perched groundwater can be expected to occur due to such factors as variations in rainfall, temperature, runoff, irrigation, and other factors not evident at the time our measurements were made and reported herein.

GEOLOGIC AND SEISMIC HAZARDS EVALUATION

A. Fault Offset Hazard

Based on the findings of this investigation, we conclude that there are no known active or potentially active faults crossing the proposed building site. The site is also not within an Earthquake Fault Zone as defined by the State of California Alquist-Priolo Earthquake Fault Zoning Act. Therefore, the hazard resulting from surface fault rupture or fault offset at the site is considered very low.

B. Ground Shaking Hazards

1. Strong Ground Shaking

Strong ground shaking is likely to occur during the lifetime of the planned new home as a result of movement along one or more of the regional active faults discussed above. The new home and other improvements will need to be designed and constructed in accordance with current standards of earthquake-resistant construction.

Ground shaking during an earthquake could cause furnishings which are not rigidly attached to undergo movement with respect to the building. Design measures that minimize such potential movement and also minimize the adverse effects of such movement where they cannot be prevented should be utilized.

2. Soil Liquefaction

Liquefaction is a phenomenon in which saturated, essentially cohesionless soils lose strength during strong seismic shaking and may experience horizontal and vertical movements. Soils that are generally most susceptible to liquefaction are clean, loose, saturated, uniformly graded, fine-grained sands and silts that lie within roughly 50 feet of the ground surface.

The site is shown to lie within a moderate to low susceptibility for liquefaction zone as shown on the liquefaction susceptibility map for Monterey County (Dupre, 1990).

Our investigation found that the homesite is underlain by predominantly non-saturated loose to medium dense clean sand and silty sand underlain by granodiorite bedrock. Based on these conditions, we conclude that the likelihood of soil liquefaction during strong ground shaking at the site is low; however, the silty sand layer encountered below

the observed groundwater table of 10.5 feet in EB-7 was conservatively analyzed for liquefaction-induced settlement using the LiquefyPro computer program (Version 5.0).

LiquefyPro evaluates liquefaction potential and calculates the settlement of saturated and unsaturated deposits due to seismic loads using SPT blowcount, total unit weight, fines content, peak horizontal acceleration and earthquake moment magnitude data. The program is based on the most recent publications of the NCEER Workshop and SP117 Implementation.

Based on the results of our analysis, the theoretical liquefaction-induced settlement is approximately one-half inch at the site using the calculated peak ground acceleration ($S_{DS}/2.5$) for the site as specified in Item Number 23 of CGS Note 48 and the Tokimatsu and Seed calculation method with magnitude scaling correction. The results and supporting data for the liquefaction analysis are included in Appendix A of this report.

3. Soil Densification

The recognized procedures for evaluation of seismically-induced settlement in dry sandy soils (Tokimatsu and Seed, 1987; Pradel, 1998) are considered most applicable to non-cohesive loose clean sands with less than 5 percent fines (Day, 2002). The loose to medium dense clean sand, silty sand and clayey sand layers encountered in EB-5 and EB-7 were analyzed for seismically-induced settlement using the LiquefyPro computer program.

The maximum calculated earthquake induced dry soil settlement for these layers is approximately three and one-half inches using the calculated peak ground acceleration ($S_{DS}/2.5$) for the site as specified in Item Number 23 of CGS Note 48. As subsequently recommended, the home will be supported on a structural slab with drilled caissons extending into granodiorite bedrock. Based on the above, the likelihood that the new

home will experience distress as a result of earthquake-induced soil densification is very low.

The results and supporting data for the dry settlement analysis are included in Appendix A of this report.

4. **Other Seismic Hazards**

We have also considered the possibility of other seismically induced hazards at the site. Because the sandy soils overlying the granodiorite are unsaturated, with the exception of local perched water, soil lurching and lateral spreading are considered unlikely.

Ground cracking may be caused by any of the phenomena discussed above. Since there is a low potential for liquefaction-induced settlement and lateral spreading of the soils underlying the site, it is also considered unlikely that significant ground cracking will occur at the site.

Based on the findings of our investigation and review of published geologic maps, the site is not underlain by any known landslides.

C. **Flooding**

The site is outside of the runup zone resulting from a seismically generated tsunami as shown on the Tsunami Inundation Map for Emergency Planning, State of California, County of Monterey, July 1, 2009. This map shows the tsunami inundation limits to be roughly the route of 17 Mile Drive in the vicinity of Signal Hill Road, approximately 400 feet west of the planned homesite.

CONCLUSIONS AND RECOMMENDATIONS

From a geotechnical engineering standpoint, we conclude that the property can be developed as proposed provided the recommendations contained in this report are incorporated into the design and construction of the project. The new home will be built in an area that is underlain by loose dune sand of variable thickness and low bearing capacity, and these materials could experience differential settlement beneath building foundations and slabs. Accordingly, we recommend that a structural slab that is supported on drilled pier foundations obtaining skin friction support in the granodiorite bedrock be used for the new home. In our opinion, the above foundation system will provide a high degree of structural rigidity under the anticipated building and retaining wall loads with minimal risk of settlement.

Heavy duty drilling equipment in good condition will be required to achieve the required penetration into granodiorite bedrock, as discussed further in the report. Portions of the dune sand may require the use of casing prior to installing steel reinforcement and placing concrete. Any seepage encountered in the pier holes should be pumped out prior to concrete placement.

The southeast corner of the home, in the area of the two bedroom wings, is an area of resistant granodiorite bedrock outcropping, and difficult excavation requiring the use of jackhammers or a hoe ram may be required to achieve basement grade in this area. Consideration should be given to relocating the basement slightly to the west to avoid the outcrop. Difficult excavation may also be encountered in other portions of the basement (See Subsurface Profiles A-A' and B-B') in resistant granodiorite rock.

Although only intermittent water was encountered in the exploratory borings, indicating perched water conditions, some surface water infiltration from the surrounding soils at basement level is likely, particularly during peak winter storms. A drainage blanket should be installed beneath the basement structural slab to collect and remove water which may seep into this area. The

retaining wall back drainage and basement foundation drain blanket should be drained to a sump and removed with a sump pump system, or to gravity drainage if feasible.

Basement excavations for retaining walls along the uphill side of the home are anticipated to range up to 17 feet in height. It is anticipated that temporary excavations can be made at a 2:1 gradient provided they are protected (winterized) prior to the wet season; however the final design, stability and safety of temporary excavations should be the responsibility of the contractor.

Site retaining walls i.e. those required for driveway and patio areas, that are three feet or less in height can be supported on spread footing foundations after reworking of the underlying loose soil.

Final cut and fill slopes should be no steeper than 3:1 (horizontal to vertical) in dune sand materials. Areas disturbed by grading should be planted prior to the initial winter to minimize erosion and downcutting in the sand.

Detailed recommendations for use in design and construction of the project are presented in the remainder of this report. These recommendations are contingent on our review of the earthwork and foundation plans for the project and our observation of the earthwork and foundation installation phases of construction.

A. Earthwork

1. Clearing and Site Preparation

Areas to be graded should be cleared of existing foundations, slabs, AC pavement, grass, shrubs, trees not designated to remain, and other vegetation as well as any other

obstructions including root bulbs, stumps and debris. Holes resulting from the removal of underground obstructions, including tree root bulbs that extend below the planned finished grade, should be cleared of loose soil and backfilled with suitable material compacted to the requirements given below for engineered fill.

After clearing, areas to receive fill should be stripped to a sufficient depth to remove the surface vegetation, wood chips and organic laden topsoil. A stripping depth of two to four inches is anticipated. Strippings should be removed from the property, or stockpiled for later use in landscaped areas, if desired.

2. Recompaction of Surface Soils

After the areas to be graded have been cleared and required excavations have been made, the surface soils within areas to be filled should be recompacted. This work should consist of ripping the upper 12 inches, moisture conditioning the soils to optimum, and compacting them to at least 95 percent relative compaction as determined by ASTM Test Designation D1557. Compaction should be performed using heavy compaction equipment such as a self propelled vibratory smooth-drum roller. Significant addition of water will be required in the in the clean sands, which were dry to slightly moist at the time of our investigation, to achieve the required compaction.

3. Slope Gradients

Permanent cut and fill slopes should be no steeper than 3:1 (horizontal to vertical). Cut and fill slopes should be planted to minimize erosion and surface runoff should be diverted away from the top of slopes and carried to a suitable drainage collection system.

Temporary slopes are anticipated to be reasonably stable at an inclination of 2:1 (horizontal to vertical) provided they are winterized prior to the wet season. However,

the contractor should be solely responsible for designing and constructing stable temporary excavations and should shore, slope or bench the excavations as required to maintain their stability and comply with all applicable safety standards, including CAL-OSHA requirements.

4. Fill Placement and Compaction

On-site soils having an organic content of less than three percent by volume can be used as fill. Any imported fill required at the site should be predominantly granular with a plasticity index of 6 or less and should not contain rocks or lumps greater than six inches in greatest dimension with not more than 15 percent larger than 2.5 inches.

Engineered fill should be compacted to at least 95 percent relative compaction, as determined by ASTM Test Designation D1557, including the upper 12 inches of subgrade under new AC pavements. Fill material should be spread and compacted in lifts not exceeding eight inches in uncompacted thickness. The moisture content of on-site soils utilized as fill should be adjusted to their optimum moisture content. Compaction should be performed using heavy compaction equipment such as a self-propelled smooth drum vibratory roller.

In order to achieve satisfactory compaction in the subgrade and fill soils, it may be necessary to adjust the soil moisture content at the time of construction. This may require that water be added and thoroughly mixed into any soils which are too dry or that scarification and aeration be performed in any soils which are too wet.

5. Trench Backfill

Utility trenches should be backfilled with engineered fill placed in lifts not exceeding eight inches in uncompacted thickness, except thicker lifts may be used with the approval

of our representative provided satisfactory compaction is achieved. If on-site clean sand soil is used, the material should be compacted to at least 90 percent relative compaction by mechanical means only. Imported sand can also be used for backfilling trenches provided it is also compacted to at least 90 percent relative compaction. In slab and pavement areas, the upper three feet of trench backfill should be compacted to at least 95 percent relative compaction for on-site soils and imported sand.

Water jetting to achieve the required level of compaction should not be permitted.

6. Surface Drainage

Positive surface gradients should be provided away from the top of cutslopes and fillslopes, or surface swales should be installed to divert water from the face of the slope. Ponding of surface water should not be permitted on or adjacent to the building pad, flatwork or new driveway areas.

Positive surface gradients of at least two percent on porous surfaces and one percent on paved surfaces should be maintained away from the new home so that water does not collect in the vicinity of the building foundations. Area drains should be used to promote positive drainage in landscaped and paved areas around the new residence.

Water from roof downspouts should be collected in closed pipes and carried to suitable discharge.

7. Construction Observation

The grading and foundation installation phases of the project should be observed and tested by our representative for conformance with the project plans/specifications and our recommendations. This work includes site preparation and grading, selection of

satisfactory fill materials, and placement and compaction of the subgrade, fill and baserock materials. Sufficient notification prior to commencement of earthwork operations is essential to make certain that the work will be properly observed and tested.

B. Structural Slab and Drilled Pier Foundation System

To provide uniform support and settlement performance, we recommend that the new home and garage be supported on a structural slab underlain by drilled piers obtaining skin friction support in the granodiorite bedrock.

The drilled pier foundations should consist of cast-in-place, straight shaft friction piers. The drilled piers should extend through any fill material and the existing native loose sandy soils, and at least six feet into the underlying granodiorite bedrock encountered in the borings at depths of eight to 14 feet. Piers should be spaced no closer than about three diameters center to center with maximum spacing to be determined by the structural engineer. The drilled piers should have a minimum diameter of 24 inches.

The portion of the drilled piers in granodiorite bedrock materials can be designed on the basis of 750 psf skin friction with a 50 percent increase for wind and seismic conditions. Point bearing resistance should generally be neglected, however any piers meeting refusal short of their design depth should be evaluated by our representative for end bearing support (suitability for end bearing will require satisfactory clean out of the pier bottom). For resistance to lateral loads, a uniform passive equivalent fluid pressure of 250 pcf in sand and 500 pcf in granodiorite, up to 4000 psf maximum, can be assumed to act over 1.5 times the projected area of the individual pier shaft. The passive pressure can be assumed to start one foot below the bottom of the structural slab.

Groundwater was encountered in several of the borings during our investigation, and any accumulated water in the pier holes should be removed prior to concrete placement. It is recommended that reinforcing steel and concrete be placed as soon as practical after drilling to minimize drying of the sidewalls and caving. The contractor should be prepared to install steel casing if caving of the pier holes is encountered.

The bottom of the pier excavations should be dry and relatively free of loose soil or fall-in prior to installing reinforcing steel and placing concrete. Since the actual lengths of the piers will depend on the subsurface conditions encountered in the field, the excavation of piers should be performed under the observation of our representative. Heavy duty drilling equipment in good working condition should be used to drill the pier holes. Difficult drilling is anticipated in the less weathered granodiorite portion of the drilled pier excavations.

Drilled piers can be eliminated under the structural slab where competent granodiorite bedrock is encountered at final basement subgrade. It is recommended that additional exploratory borings be performed during the foundation design phase to more precisely determine areas where this is feasible. A vertical modulus of subgrade reaction of 275 pci, or alternatively 2000 psf allowable bearing pressure, can be used for slab design in competent granodiorite.

Reinforcement of the drilled piers should be provided for their full length. Minimum pier reinforcement should consist of four No. 5 bars tied in a cage. Additional reinforcement may be required as determined by the structural engineer.

The structural slab should have a minimum thickness of 12 inches with 18 inches deep by 12 inches wide downturned edges, as a minimum.

Post-construction settlements under the anticipated building loads are expected to be within tolerable limits for the proposed construction.

Moisture vapor transmission can occur upward through the soil resulting in the collection of moisture under slabs and pavements. In any areas where moisture transmission may be detrimental, current industry practice for concrete slabs is to place a vapor retarder, such as a minimum 15 mil thick membrane or an integrally bonded vapor barrier such as Florpruf, or equivalent, on six inches of clean rock, such as ¾ inch crushed drain rock. While vapor barrier systems are the standard of practice for the industry, Cleary Consultants, Inc. does not practice in the field of moisture vapor transmission evaluation or mitigation, and we recommend that a qualified consultant in this field be retained to evaluate any specific moisture vapor transmission issues associated with the project.

To facilitate removal of transient infiltration beneath the basement slab, we recommend that the basement excavation beneath the six inch drain rock section be sloped at least 0.5 percent to a low point and drained either by gravity flow, if feasible, or by a sump pump, into a suitable discharge facility. The sump pump, if required, should be installed on the outside of the home to eliminate concern about the noise from the pump operation.

C. Seismic Design Parameters

Seismic design values for the project were determined using the USGS Earthquake Ground Motion Parameter Java Application, and subsurface information obtained from the exploratory borings was used for determining the site classification. Using the site Latitude (36.5817°N) and Longitude (121.9657°W) and Site Classification C as input, the computer application provides Seismic Hazard Curve information, Site Coefficients and Uniform Hazard Response Spectra for both "short" (0.2 seconds) and "long period" (1-second) durations as detailed in the 2007 CBC.

Based on the results of our investigation, the tables provided in Section 1613 of the 2007 CBC, and our analysis using the USGS Earthquake Ground Motion Parameter Java Application, the following seismic design parameters can be used in lateral force analyses at this site:

Site Class C – Very Dense Soil and Soft Rock with Standard Penetration Test Values >50 blows/foot

Site Coefficient $F_a = 1.0$

Site Coefficient $F_v = 1.3$

Maximum Considered Earthquake Spectral Response (Short Period);

$$S_{MS} = (F_a)(S_S) = 1.658$$

Maximum Considered Earthquake Spectral Response (1-Second Period);

$$S_{M1} = (F_v)(S_1) = 0.939$$

Design Spectral Response Acceleration (Short Period);

$$S_{DS} = 2/3 S_{MS} = 1.105$$

Design Spectral Response Acceleration (1-Second Period);

$$S_{D1} = 2/3 S_{M1} = 0.626$$

Seismic Design Category – D

D. Slabs-on-Grade

Concrete slabs-on-grade are anticipated for new patio and walkway areas. We recommend that following subgrade preparation as previously discussed, exterior concrete flatwork be supported on at least six inches of Class 2 aggregate base. The aggregate base should be compacted to at least 90 percent relative compaction.

E. Retaining Walls

All retaining walls required for the project must be designed to resist lateral earth pressures and any additional lateral loads caused by surcharge loading. Attached retaining walls for the new

residence should be supported on the mat slab and drilled pier foundation system designed in accordance with the recommendations provided in Section B. Foundations.

Detached walls three feet or less in height can be supported on spread footings bearing on at least 24 inches of recompacted soil. Spread footings should be a minimum of 1.5 feet wide and bear at a minimum depth of 1.5 feet below the ground surface. Detached retaining wall spread footings bearing on reworked sand can be designed using an allowable bearing pressure of 1500 psf. Lateral loads can be resisted by friction between the foundation bottoms and the supporting subgrade. A friction coefficient of 0.30 is considered applicable. As an alternative, a passive pressure equal to an equivalent fluid pressure of 250 pcf can be taken against the sides of footings poured neat.

Unrestrained walls with either level or sloping backfills no steeper than 3:1 (horizontal to vertical) can be designed to resist an equivalent fluid pressure of 35 pcf and restrained walls can be designed to resist an equivalent fluid pressure of 35 pcf plus an additional uniform lateral pressure of six H psf where H = height of backfill above wall foundation in feet. Where backfill slope gradients exceed 3:1, an additional one and one-half pcf per degree of slope gradient exceeding 18° should be added to the above active pressure distribution. Wherever walls will be subjected to surcharge loads, they should be designed for an additional lateral pressure equal to one-third or one-half the anticipated surcharge load depending on whether the wall is unrestrained or restrained, respectively.

The preceding pressures assume that sufficient drainage is provided behind the walls to prevent the build-up of hydrostatic pressures from surface or subsurface water infiltration. Adequate drainage may be provided by means of a one foot wide vertical drain blanket placed behind the wall. The drain should consist of 3/4-inch clean crushed gravel enclosed in a filter fabric, such as Mirafi 140, and a four-inch diameter perforated Schedule 40 or SDR 35 pipe placed at the base of the wall. The gravel should be capped with at least 18 inches of compacted native soil. The perforated pipe should be tied into a closed pipe that discharges to a suitable discharge facility.

Backfill placed behind retaining walls should be non-expansive and compacted to at least 90 percent relative compaction using light weight compaction equipment. If heavy compaction equipment is used, the walls must be appropriately braced to avoid overstressing or failure of the wall.

F. Driveway Pavement Section

The minimum flexible pavement section for new driveways should consist of two and one-half inches asphaltic concrete over six inches Class II aggregate base. The upper 12 inches of soil subgrade and the Class II aggregate base should be compacted to at least 95 percent relative compaction. Class II aggregate base should have an R-Value of at least 78 and conform to the requirements of Section 26, State of California "CALTRANS" Standard Specifications, latest edition.

The asphaltic concrete should conform to and be placed in accordance with the requirements of Section 39 in the State of California "CALTRANS" Standard Specifications.

G. Soil Corrosivity

Laboratory resistivity, pH, chloride and sulfate testing was performed on a soil sample obtained from the upper five feet of the borings during our geotechnical investigation for this project. The testing was performed by Cooper Testing Laboratory for the purpose of evaluating the soils' corrosion potential for use in the design of underground utilities and embedded concrete on this project.

In summary, the test results indicated a minimum resistivity of 16,497 Ohm-Cm, a PH of 6.7, a chloride content of 4 ppm, and water soluble sulfate content of <5 ppm. Soils with chloride

contents of less than 500 ppm and sulfate contents of less than <5 ppm are considered to be of "low" corrosivity. Additionally, based on the resistivity testing, the soils are considered to be "progressively less corrosive."

Table 1 below shows the general correlation between resistivity and corrosion potential.

**Table 1 - Correlation Between Resistivity
and Corrosion Potential (c)**

Soil Resistivity (Ohm-Cm)	Soil Classification
Below 500	Very Corrosive
500 to 1,000	Corrosive
1,000 to 2,000	Moderately Corrosive
2,000 to 10,000	Mildly Corrosive
Above 10,000	Progressively Less Corrosive

(c) National Association of Corrosion Engineers.

This condition combined with the slightly acidic condition of the soils encountered at the site could result in a reduced life span of buried steel piping for this project. Thicker gauge pipelines would have greater life spans. For example, the life spans for 18, 16 and 14 gauge steel culverts with a soil resistivity of 16,500 Ohm-Cm and a pH of 6.7 are estimated to be roughly 31, 40 and 50 years, respectively (California Division of Highways, 1993).

For the purposes of design of concrete in contact with the soil, there are no restrictions on types of cementitious materials to be used based on the resistivity and sulfate testing.

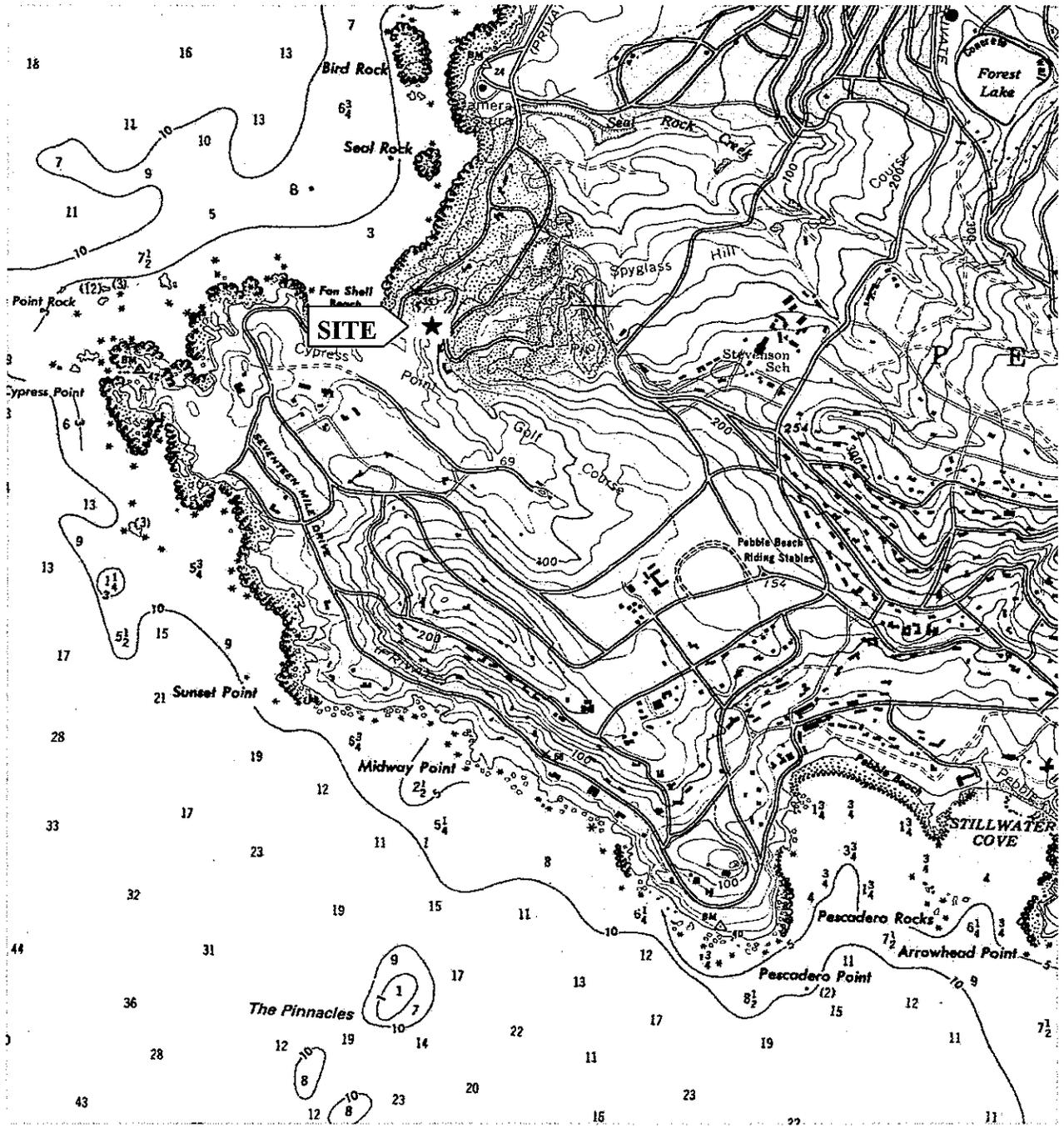
PLAN REVIEW AND CONSTRUCTION OBSERVATION

We should be provided the opportunity to review the foundation and grading plans and the specifications for the project when they are available. We should also be retained to provide soil engineering observation and testing services during the grading and foundation installation

phases of the project. This will provide the opportunity for correlation of the soil conditions found in our investigation with those actually encountered in the field, and thus permit any necessary modifications in our recommendations resulting from changes in anticipated conditions.

LIST OF REFERENCES

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- Clark, J. C., Dupre, W.R., and Rosenberg, L.I., 1997, Geologic Map of the Monterey and Seaside 7.5 Minute Quadrangles, Monterey County. USGS OFR 97-30.
- Dearman, W.F., et al, 1978, Engineering Grading of Weathered Granite, Engineering Geology Volume 12 (1978) page 345-374, Elsevier Scientific Publishing Co., Amsterdam.
- Dupre, William R., 1990, Maps Showing Geology and Liquefaction Susceptibility of Quaternary Deposits in the Monterey, Seaside, Spreckels, and Carmel Valley Quadrangles, Monterey County, California, USGS MF 2096.
- Jennings, C.W., 1994, Fault Activity Map of California and Adjacent Areas with Locations and Ages of Recent Volcanic Eruptions, California Division of Mines and Geology, Geologic Data Map No. 6.
- State of California, July 1, 2009, Tsunami Inundation Map for Emergency Planning, County of Monterey, Monterey Quadrangle.
- U. S. Geological Survey, Monterey 7 1/2' Quadrangle Map, Monterey County, California.



BASE: U.S. Geological Survey, Monterey 7.5' Quadrangle, Pebble Beach, California

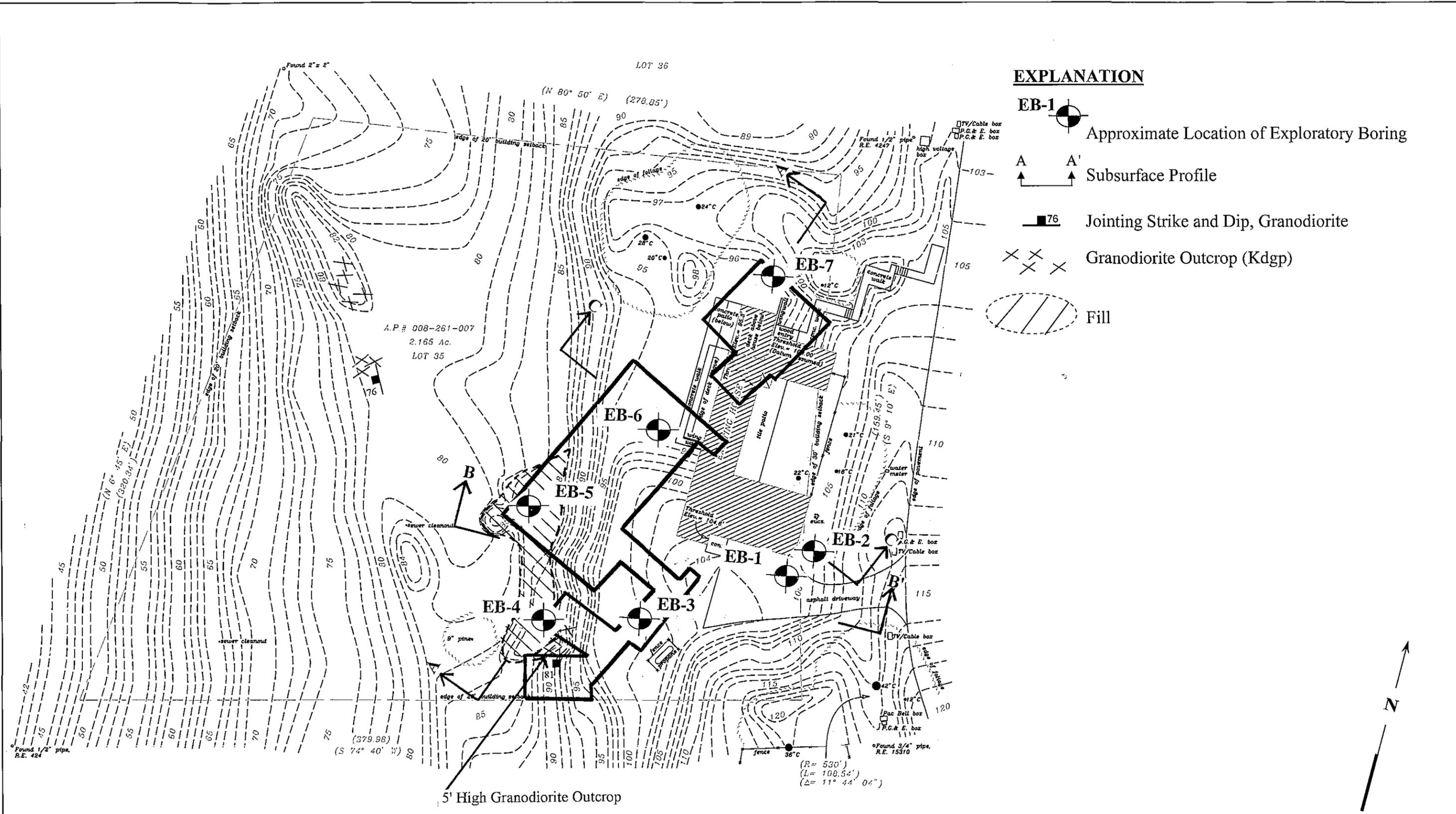
SITE VICINITY MAP



CLEARY CONSULTANTS, INC.
Geotechnical Engineers and Geologists

NEW RESIDENCE
 1170 Signal Hill Road
 Pebble Beach, California

APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.
JMC	1" = 2000'	1301.1	March 2010	1



EXPLANATION

- EB-1  Approximate Location of Exploratory Boring
- A  A' Subsurface Profile
-  76 Jointing Strike and Dip, Granodiorite
-  Granodiorite Outcrop (Kdgp)
-  Fill

5' High Granodiorite Outcrop

NOTE: Heavy lines show general limits of basement for new home. (Bernstein Architects, Basement Floor Plan, November 2009)

BASE: Topographic Survey (September 2009) provided by Bernstein Architects

SITE PLAN				
 CLEARY CONSULTANTS, INC. Geotechnical Engineers and Geologists		NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
		APPROVED BY	SCALE	PROJECT NO.
JMC	1" = 40' ±	1301.1	March 2010	DRAWING NO. 3

PRIMARY DIVISIONS			GROUP SYMBOL	SECONDARY DIVISION
COARSE GRAINED SOILS MORE THAN HALF OF MATERIAL IS LARGER THAN NO. 200 SIEVE SIZE	GRAVELS MORE THAN HALF OF COARSE FRACTION IS LARGER THAN NO. 4 SIEVE	CLEAN GRAVELS (LESS THAN 5% FINES)	GW	Well graded gravels, gravel-sand mixtures, little or no fines
			GP	Poorly graded gravels or gravel-sand mixtures, little or no fines
		GRAVEL WITH FINES	GM	Silty gravels, gravel-sand-silt mixtures, non-plastic fines
			GC	Clayey gravels, gravel-sand-clay mixtures, plastic fines
	SANDS MORE THAN HALF OF COARSE FRACTION IS SMALLER THAN NO. 4 SIEVE	CLEAN SANDS (LESS THAN 5% FINES)	SW	Well graded sands, gravelly sands, little or no fines
			SP	Poorly graded sands or gravelly sands, little or no fines
		SANDS WITH FINES	SM	Silty sands, sand-silt mixtures, non-plastic fines
			SC	Clayey sands, sand-clay mixtures, plastic fines
FINE GRAINED SOILS MORE THAN HALF OF MATERIAL IS SMALLER THAN NO. 200 SIEVE SIZE	SILTS AND CLAYS LIQUID LIMIT IS LESS THAN 50%		ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays
			OL	Organic silts and organic silty clays of low plasticity
	SILTS AND CLAYS LIQUID LIMIT IS GREATER THAN 50%		MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
			CH	Inorganic clays of high plasticity, fat clays
			OH	Organic clays of medium to high plasticity, organic silts
HIGHLY ORGANIC SOILS			Pt	Peat and other highly organic soils

UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D-2487)

U.S. STANDARD SERIES SIEVE

CLEAR SQUARE SIEVE OPENINGS

200

40

10

4

3/4"

3"

12"

SILTS AND CLAYS	SAND			GRAVEL		COBBLES	BOULDERS
	FINE	MEDIUM	COARSE	FINE	COARSE		

GRAIN SIZES

SANDS AND GRAVELS	BLOWS/FOOT †
VERY LOOSE	0 - 4
LOOSE	4 - 10
MEDIUM DENSE	10 - 30
DENSE	30 - 50
VERY DENSE	OVER 50

SILTS AND CLAYS	STRENGTH ☆	BLOWS/FOOT †
VERY SOFT	0 - 1/4	0 - 2
SOFT	1/4 - 1/2	2 - 4
FIRM	1/2 - 1	4 - 8
STIFF	1 - 2	8 - 16
VERY STIFF	2 - 4	16 - 32
HARD	OVER 4	OVER 32

RELATIVE DENSITY

CONSISTENCY

† Number of blows of 140 pound hammer falling 30 inches to drive a 2 inch O.D. (1-3/8 inch I.D.) split barrel (ASTM D-1586).

☆ Unconfined compressive strength in tons/sq.ft. as determined by laboratory testing or approximated by the standard penetration test (ASTM D-1586), pocket penetrometer, torvane, or visual observation.

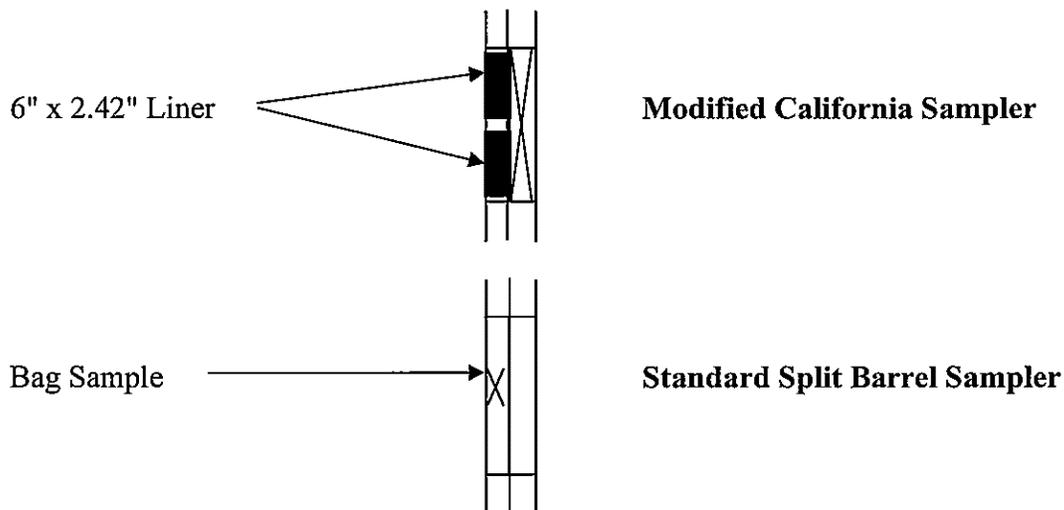
 CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>	KEY TO EXPLORATORY BORING LOGS		
	NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
	PROJECT NO.	DATE	DRAWING NO.
	1301.1	March 2010	6

FIELD SAMPLING PROCEDURES

The soils encountered in the borings were continuously logged in the field by our representative and described in accordance with the Unified Soil Classification System (ASTM D-2487).

Representative soil samples were obtained from the borings at selected depths appropriate to the soil investigation. All samples were returned to our laboratory for classification and testing.

In accordance with the ASTM D1586 procedure, the standard penetration resistance was obtained by dropping a 140 pound hammer through a 30-inch free fall. The 2-inch O.D. Standard split barrel sampler was driven 18 inches or to practical refusal and the number of blows were recorded for each 6-inch penetration interval. The blows per foot recorded on the boring logs represent the accumulated number of blows, or N-value, required to drive the penetration sampler the final 12 inches. In addition, 3.0 inch O.D. x 2.42 inch I.D. drive samples were obtained using a Modified California Sampler and 140 pound hammer. Blow counts for the Modified California Sampler were converted to standard penetration resistance by multiplying by 0.6. The sample type is shown on the boring logs in accordance with the designation below.



Where obtained, the shear strength of the soil samples using either Torvane (TV) or Pocket Penetrometer (PP) devices is shown on the boring logs in the far right hand column.

 <p>CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i></p>	SUMMARY OF FIELD SAMPLING PROCEDURES		
	NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
	PROJECT NO.	DATE	DRAWING NO.
	1301.1	March 2010	7

LABORATORY TESTING PROCEDURES

The laboratory testing program was directed toward a quantitative and qualitative evaluation of the physical and mechanical properties of the soils underlying the site.

The natural water content was determined on 79 samples of the materials recovered from the borings in accordance with the ASTM D2216 Test Procedure. These water contents are recorded on the boring logs at the appropriate sample depths.

Dry density determinations were performed on 20 samples to measure the unit weight of the subsurface soils in accordance with the ASTM D2937 Test Procedure. The results of these tests are shown on the boring logs at the appropriate sample depths.

Two Atterberg Limits determinations were performed on representative samples of the subsurface soils in accordance with the ASTM D4318 Test Procedure to determine the range of water contents over which the materials exhibited plasticity. The Atterberg Limits are used to classify the soils in accordance with the Unified Soil Classification System and to evaluate the soil's expansion potential. The results of these tests are presented on the boring logs.

The percent soil fraction passing the #4 and #200 sieves were determined on 13 and 22 samples of the subsurface soils in accordance with the ASTM D1140 Test Procedure to aid in the classification of the soils. The results of these tests are shown on the boring logs at the appropriate sample depths.

Free swell tests were performed on six samples of the soil materials to evaluate the swelling potential of the soil. The free swell tests were performed by slowly pouring 10 ml of air dried soil passing the No. 40 sieve into a 100 ml graduated cylinder filled with approximately 90 ml of distilled water. The suspension was stirred repeatedly to ensure thorough wetting of the soil specimen. The graduated cylinder was then filled with distilled water to the 100 ml mark and allowed to settle until equilibrium was reached (approximately 24 hours). The free swell volume of the soil was then noted. The percent free swell was calculated by subtracting the initial soil volume from the free swell volume, dividing the difference by the initial volume, and multiplying the result by 100 percent. The results of these tests are presented on the boring logs.

Two unconfined compression tests were performed in accordance with the ASTM D2166 Test Procedure on undisturbed samples of the subsurface soils to evaluate the undrained shear strength of the materials. The unconfined tests were performed on samples having a diameter of 2.43 inches and a height-to-diameter ratio of at least two. Failure was taken at the peak normal stress or at five percent strain, whichever occurred first. The results of these tests are presented on the boring logs at the appropriate sample depths.

DRAWING NO. 8

LABORATORY TESTING PROCEDURES CONTINUED

Corrosion testing was performed by Cooper Laboratory on a sample of the soil materials from EB-6 at a depth of one to five feet. Testing included resistivity, pH, chloride and sulfate testing performed in accordance with ASTM G57, ASTM G51, Caltrans 422(modified) and Caltrans 417(modified), respectively. The results of these tests are presented on Drawing 20 and are discussed in Section G. Soil Corrosivity.

Grain size distribution tests were performed on two samples of the sand materials in accordance with the ASTM D 422 Test Procedure to aid in the classification. The results of these tests are presented on Drawing 21.

DRAWING NO. 9

EQUIPMENT		8" Diameter Hollow Stem Auger*		ELEVATION		105' ±		LOGGED BY		TD			
DEPTH TO GROUNDWATER		Not Det.		DEPTH TO BEDROCK		9.5' ±		DATE DRILLED		2/19/2010			
DESCRIPTION AND CLASSIFICATION													
DESCRIPTION AND REMARKS				COLOR	CONSIST.	SOIL TYPE	DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SILICAR STRENGTH (KSF)	
Driveway: 2.5" AC Over 6" AB SAND, dry, fine angular to subrounded sand, cohesionless @2.5': Finer than #4 = 100% Finer than #200 = 1% @5.0': dark gray, fine to coarse sand laminations, moist, upper five feet caved as augers were removed from hole Finer than #4 = 100% Finer than #200 = 2% @7.0': slightly moist, limited cohesion				Whitish Tan	Loose	SP	1						
							2						
							3		8	0	97		
							4		5	1			
							5			2	90		
							6		9	1	80		
							7		16	1			
							8			12			
SILTY SAND, wet, fine to medium grained sand, roots up to 3/4" diameter @8.5': Finer than #4 = 100% Finer than #200 = 3% @9.5': wet Finer than #4 = 97% Finer than #200 = 28% Free Swell = 20%				Brown	Loose	SM-SP	9		8	21	102	PP=1.0	
							10		50/5"	17	116		
							11			13			
DECOMPOSED GRANODIORITE, slightly moist, highly weathered @11.0': driller reported hard drilling @13.0': fresh, no weathering, drilling refusal				Tan to Whitish Gray			12						
							13		50/2"	1			
							14						
Bottom of Boring = 13.0'							15						
							16						
							17						
							18						
							19						
							20						

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL

 CLEARY CONSULTANTS, INC. Geotechnical Engineers and Geologists		LOG OF EXPLORATORY BORING NO. 1			
		NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California			
APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.	
JMC	---	1301.1	March 2010	10	

EQUIPMENT	8" Diameter Hollow Stem Auger*	ELEVATION	106'±	LOGGED BY	TD
DEPTH TO GROUNDWATER	16.0'±	DEPTH TO BEDROCK	12.0'±	DATE DRILLED	2/19/2010

DESCRIPTION AND CLASSIFICATION				DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)
DESCRIPTION AND REMARKS	COLOR	CONSIST.	SOIL TYPE						
Landscape Area SAND, dry, fine to medium grained, angular to subrounded	Whitish Tan	Very Loose	SP	1					
				2					
				3					
				4					
				5					
				6					
				7					
				8					
				9					
				10					
				11					
				DECOMPOSED GRANODIORITE, moist to wet	Orange-Gray		SM-SC	12	
13									
14									
15									
16	Gray-White	(Very Dense)						X	55
@16.0': trace clay Finer than #200 = 16%									
Bottom of Boring = 16.5'				17					
				18					
				19					
				20					
* Drilled with a CME-55 Track Mounted Rig ▼ Water level as measured 0.25 hours after drilling									

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL

 CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>	LOG OF EXPLORATORY BORING NO. 2			
	NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California			
APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.
JMC	---	1301.1	March 2010	11

EQUIPMENT	8" Diameter Hollow Stem Auger*	ELEVATION	101'±	LOGGED BY	TD
DEPTH TO GROUNDWATER	Not Enc.	DEPTH TO BEDROCK	10.5'±	DATE DRILLED	2/19/2010

DESCRIPTION AND CLASSIFICATION				DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)
DESCRIPTION AND REMARKS	COLOR	CONSIST.	SOIL TYPE						
Landscape Area SAND, slightly moist to moist, fine to medium angular to subrounded sand, occasional 1/4" diameter rootlets, cohesionless @4.0': slight cohesion	Whitish Tan	Very Loose	SP	1		2	1	95	
				2					
				3					
				4					
				5					
				6					
				7					
				8					
				9					
SAND, moist, fine to medium grained @9.5': Finer than #4 = 100% Finer than #200 = 1% Free Swell = 0%	Dark Gray	Loose	SP	9		10	5	99	PP=0.25
				10					
CLAYEY SAND, very moist, fine to medium grained sand, completely weathered granodiorite	Dark Brown	Very Dense	SC (SM)	11		50/4"	16		
				12					
GRANODIORITE, slightly moist, highly weathered and decomposed @15.0': little or no weathering, fresh rock * Drilled with a CME-55 Track Mounted Rig PP = Pocket Penetrometer	Tan to Whitish Gray	(Very Dense)		13		50/3"	3		
				14					
				15					
				16					
				17					
				18					
				19					
				20					

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL

CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>		LOG OF EXPLORATORY BORING NO. 3		
		NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.
JMC	----	1301.1	March 2010	12

EQUIPMENT	8" Diameter Hollow Stem Auger*	ELEVATION	101'±	LOGGED BY	TD
DEPTH TO GROUNDWATER	Not Enc.	DEPTH TO BEDROCK	10.5'±	DATE DRILLED	2/19/2010

DESCRIPTION AND CLASSIFICATION				DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)	
DESCRIPTION AND REMARKS	COLOR	CONSIST.	SOIL TYPE							
GRANODIORITE, slightly moist, continued @20.5': highly weathered, iron staining, moist to wet Finer than #200 = 19% @25.0': decomposed, friable granodiorite @30.0': fresh granodiorite zones @31.0': hard, slightly weathered granodiorite, drilling refusal Bottom of Boring = 31.0' * Drilled with a CME-55 Track Mounted Rig	Tan to Whitish Gray	(Very Dense)	(SM)	21	X	41	17			
	-----	Yellow Red		22	X		11			
				23						
				24						
			(Very Dense)	25	X	50/5"	14			
				26						
				27						
				28						
				29						
				30		50/3"				
		Gray-White		31		50/1"	18			
			32							
			33							
			34							
			35							
			36							
			37							
			38							
			39							
			40							

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL

 CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>		LOG OF EXPLORATORY BORING NO. 3		
		NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.
JMC	---	1301.1	March 2010	13

EQUIPMENT	8" Diameter Hollow Stem Auger*	ELEVATION	84' ±	LOGGED BY	TD
DEPTH TO GROUNDWATER	Not Det.	DEPTH TO BEDROCK	10.0' ±	DATE DRILLED	2/19/2010

DESCRIPTION AND CLASSIFICATION						DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)
DESCRIPTION AND REMARKS	COLOR	CONSIST.	SOIL TYPE								
Landscape Fill SAND, slightly moist, fine to medium angular to subrounded sand @1.5': Finer than #200 = 0% @3.0': no recovery	Whitish Tan	Very Loose	SP	1							
				2		1	6				
				3		2	4				
				4		1	5				
				5	Loose	8	3				
				6							
				7							
CLAYEY SAND, wet, fine to coarse angular to subrounded sand @9.5': free water Liquid Limit = 31% Plasticity Index = 17% Finer than #4 = 100% Finer than #200 = 26% Free Swell = 50%	Dark Gray	Loose	SC	8							
				9		8	123				
GRANODIORITE, slightly moist to moist, weathered and decomposed, iron staining	Yellowish to Whitish Gray	(Very Dense)	(SM)	10	X	50/2"	6				
				11							
				12							
				13							
				14	X	50/5"	3				
				15							
				16							
				17							
				18							
				19							
20											

Bottom of Boring = 18.5'
 * E-55 Track Mounted Rig
 ** Unconfined Compressive Strength
 PP = Pocket Penetrometer

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL

 CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>	LOG OF EXPLORATORY BORING NO. 5 NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
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APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.
JMC	---	1301.1	March 2010	15

PP=3.25
 **1.2ksf@
 3.7% strain

EQUIPMENT		8" Diameter Hollow Stem Auger*		ELEVATION		96'±		LOGGED BY		TD				
DEPTH TO GROUNDWATER		Not Det.		DEPTH TO BEDROCK		10.0'±		DATE DRILLED		2/19/2010				
DESCRIPTION AND CLASSIFICATION														
DESCRIPTION AND REMARKS				COLOR	CONSIST.	SOIL TYPE	DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)		
Landscape Area SAND, slightly moist, fine to medium angular to subrounded sand, roots up to 2.5" diameter @1.5': Finer than #200 = 1% @4.5': Finer than #200 = 10%				Whitish Tan	Loose	SP	1		8	6	88			
							2						3	92
							3						10	3
							4						8	6
							5						5	96
							6						9	4
							7							
SAND, very moist, fine to medium angular to subrounded @9.0': Liquid Limit = Non-Plastic Plasticity Index = Non-Plastic Finer than #4 = 100% Finer than #200 = 3% Free Swell = 0%				Dark Brownish Gray	Medium Dense	SP	8	35/9"	6	17	84			
							9					7		
GRANODIORITE, slightly moist, fresh to slightly weathered @18.5': drilling refusal				Tan to Whitish Gray	(Very Dense)	(SM)	10		50/0"	9 (Shoe)				
							11							
							12							
							13							
							14							
							15							
							16							
							17							
							18						50/0"	5 (Shoe)
							19							
Bottom of Boring = 18.5' * Drilled with a CME-55 Track Mounted Rig							20							
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL														
CLEARY CONSULTANTS, INC. Geotechnical Engineers and Geologists						LOG OF EXPLORATORY BORING NO. 6 NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California								
						APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.				
JMC	---	1301.1	March 2010	16										

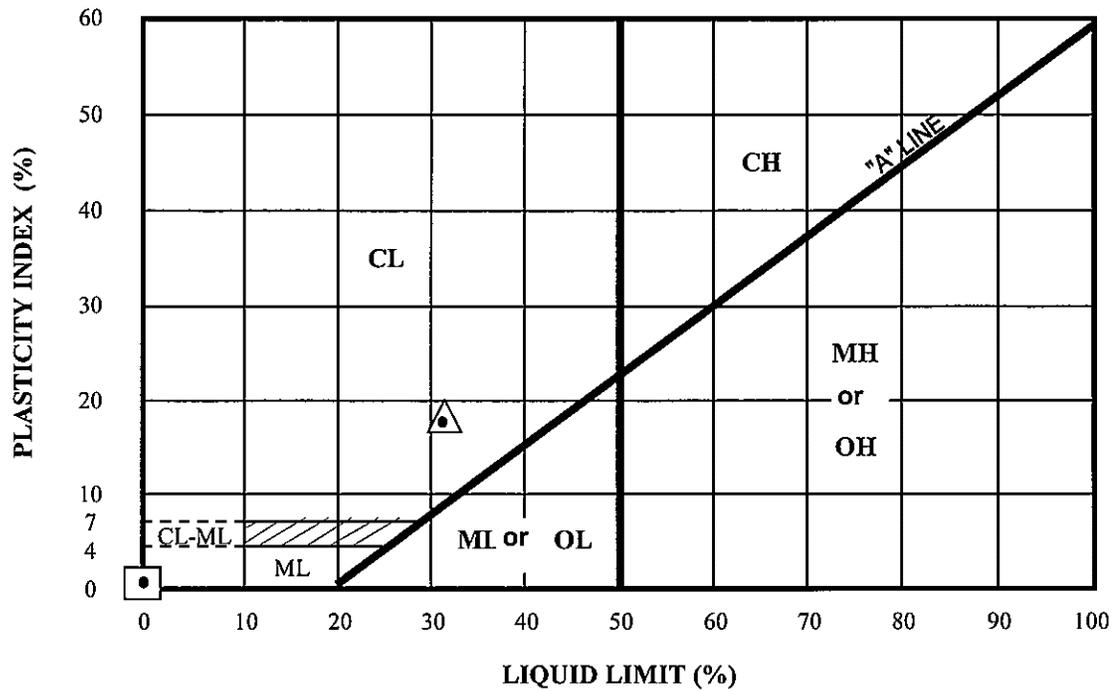
EQUIPMENT	8" Diameter Hollow Stem Auger*	ELEVATION	95'±	LOGGED BY	TD
DEPTH TO GROUNDWATER	10.5'±	DEPTH TO BEDROCK	14.0'±	DATE DRILLED	2/19/2010

DESCRIPTION AND CLASSIFICATION				DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)		
DESCRIPTION AND REMARKS	COLOR	CONSIST.	SOIL TYPE								
Landscape Area SAND, slightly moist to moist, fine to medium angular to subrounded sand, rootlets up to 0.25" diameter @1.5': Finer than #200 = 0% @4.5': Finer than #200 = 0%	Whitish Tan	Loose	SP	1		5	3	87			
				2						3	
				3						10	5
				4						9	5
				5						4	101
				6						12	4
				7							
				8							
				9							
SILTY SAND, wet to saturated, fine to medium grained sand @9.5': Finer than #200 = 2% @10.5': free water @11.0': Finer than #4 = 100% Finer than #200 = 26%	Dark Gray	Medium Dense	SM	10		13	19	92			
				11						14	12
				12							
				13							
				14						30/5"	14
GRANODIORITE, slightly moist, highly weathered, iron stained @19.0': fresh, little to no weathering Finer than #4 = 95% Finer than #200 = 14% * Drilled with a CME-55 Track Mounted Rig ∇ Water level as encountered during drilling	Gray	Very Dense	(SM)	15		30/5"	11				
				16							
				17							
				18							
				19						50/5"	6
				20							

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL

CLEARY CONSULTANTS, INC. Geotechnical Engineers and Geologists		LOG OF EXPLORATORY BORING NO. 7		
		NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California		
APPROVED BY	SCALE	PROJECT NO.	DATE	DRAWING NO.
JMC	---	1301.1	March 2010	17

EQUIPMENT		8" Diameter Hollow Stem Auger*		ELEVATION		95'±		LOGGED BY		TD	
DEPTH TO GROUNDWATER		10.5'±		DEPTH TO BEDROCK		14.0'±		DATE DRILLED		2/19/2010	
DESCRIPTION AND CLASSIFICATION						DEPTH (feet)	SAMPLER	PENETRATION RESISTANCE (BLOWS/FT)	WATER CONTENT (%)	DRY DENSITY (PCF)	SHEAR STRENGTH (KSF)
DESCRIPTION AND REMARKS	COLOR	CONSIST.	SOIL TYPE								
GRANODIORITE, slightly moist, continued	Gray	Very Dense	(SM)	21							
				22							
				23							
				24							
@25.0': weathered decomposed granodiorite, clayey zones				25	X	50/4"	11				
Bottom of Boring = 25.5'				26							
				27							
				28							
				29							
				30							
				31							
				32							
				33							
				34							
				35							
				36							
				37							
				38							
				39							
* Drilled with a CME-55 Track Mounted Rig				40							
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL											
 CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>						LOG OF EXPLORATORY BORING NO. 7					
						NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California					
APPROVED BY		SCALE		PROJECT NO.		DATE		DRAWING NO.			
JMC		----		1301.1		March 2010		18			



KEY SYMBOL	BORING NO.	SAMPLE DEPTH (feet)	NATURAL WATER CONTENT %	LIQUID LIMIT %	PLASTICITY INDEX %	PASSING NO. 200 SIEVE %	LIQUIDITY INDEX	UNIFIED SOIL CLASSIFICATION SYMBOL
△	5	9.5	10	31	17	26	-0.2	SC*
□	6	9.0	6	---	---	3	---	SP*

*Classified as coarse-grained soil since less than 50% passes #200 sieve

PLASTICITY CHART

NEW RESIDENCE
 1170 Signal Hill Road
 Pebble Beach, California

PROJECT NO.

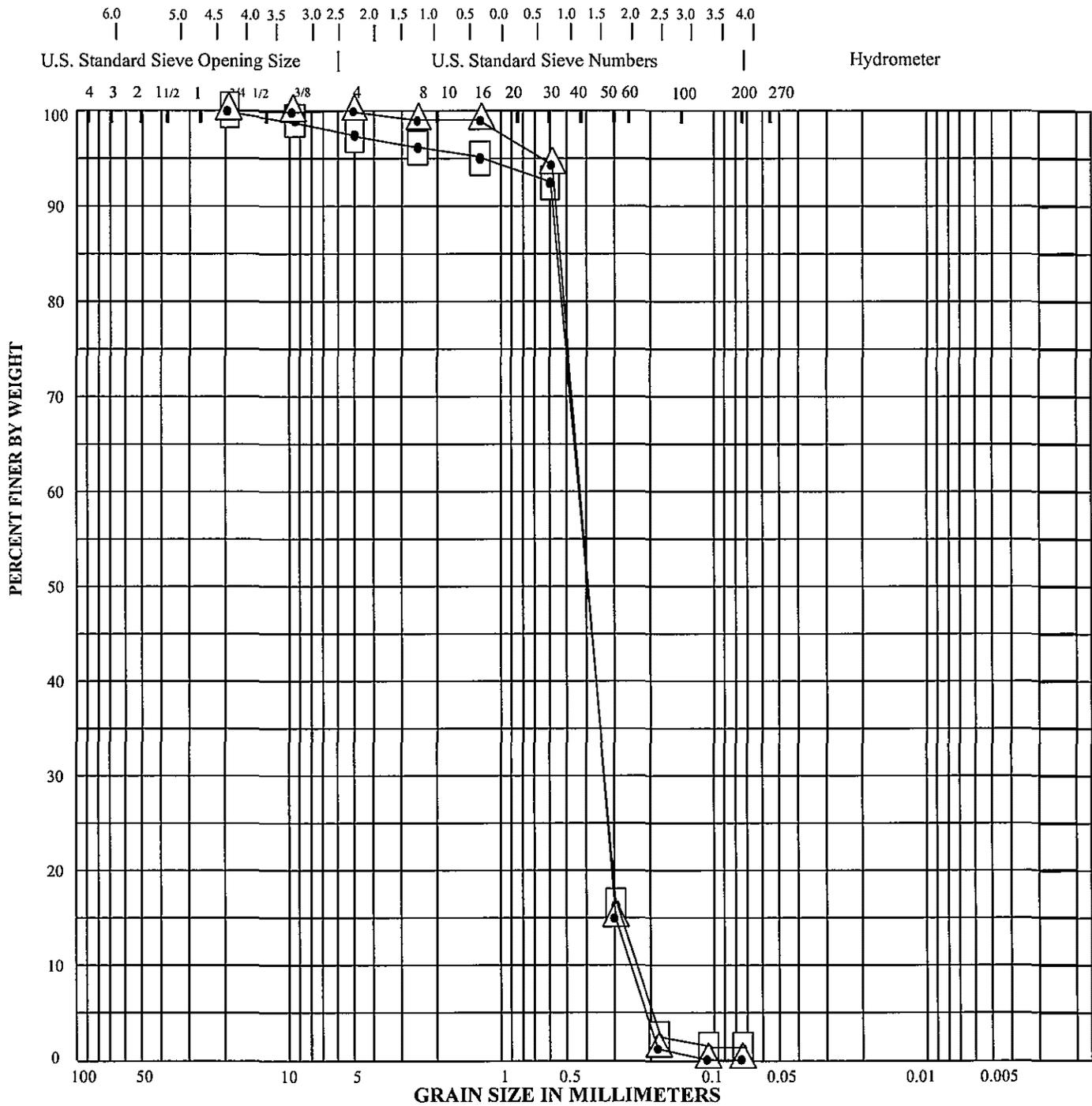
1301.1

DATE

March 2010

DRAWING NO.

19



COBBLES	GRAVEL		SAND			SILT OR CLAY			
	COARSE	FINE	COARSE	MEDIUM	FINE				
SYMBOL	SAMPLE SOURCE					CLASSIFICATION			
—▲—	Boring 5 at 6'					Light Brown Sand (SP)			
—□—	Boring 6 at 1' to 5'					Light Brown Sand (SP)			
 CLEARY CONSULTANTS, INC. <i>Geotechnical Engineers and Geologists</i>						GRADATION TEST DATA			
						NEW RESIDENCE 1170 Signal Hill Road Pebble Beach, California			
						PROJECT NO.		DATE	DRAWING NO.
						1301.1		March 2010	21

APPENDIX A

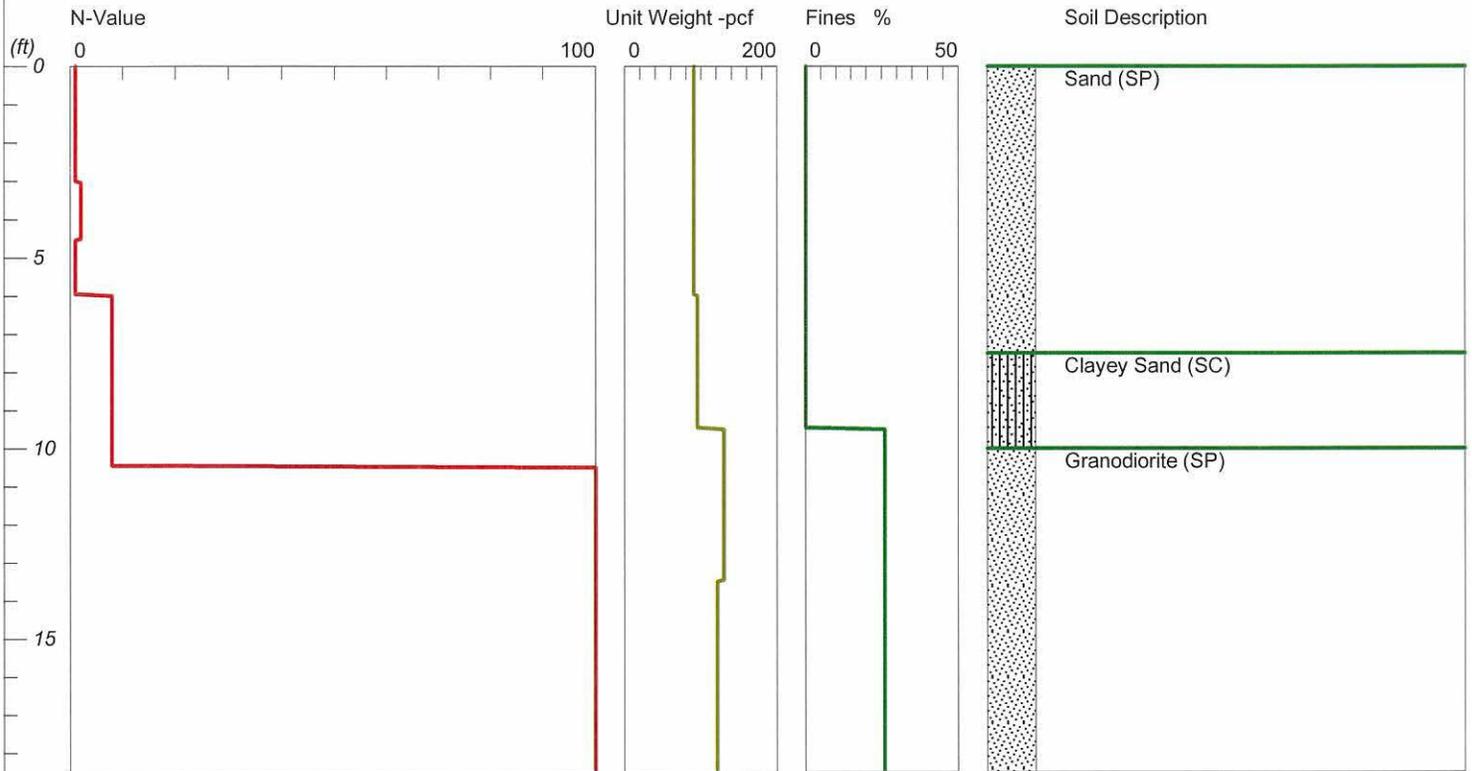
New Residence, 1170 Signal Hill Road, Liquefaction
and Dry Settlement Calculations, EB-5 and EB-7,
Drilled February 19, 2010

Liquefaction and Dry Settlement Analysis

New Residence 1170 Signal Hill Road Pebble Beach,

Hole No.=EB-5

Magnitude=8.5
Acceleration=0.442g



SPT or BPT test

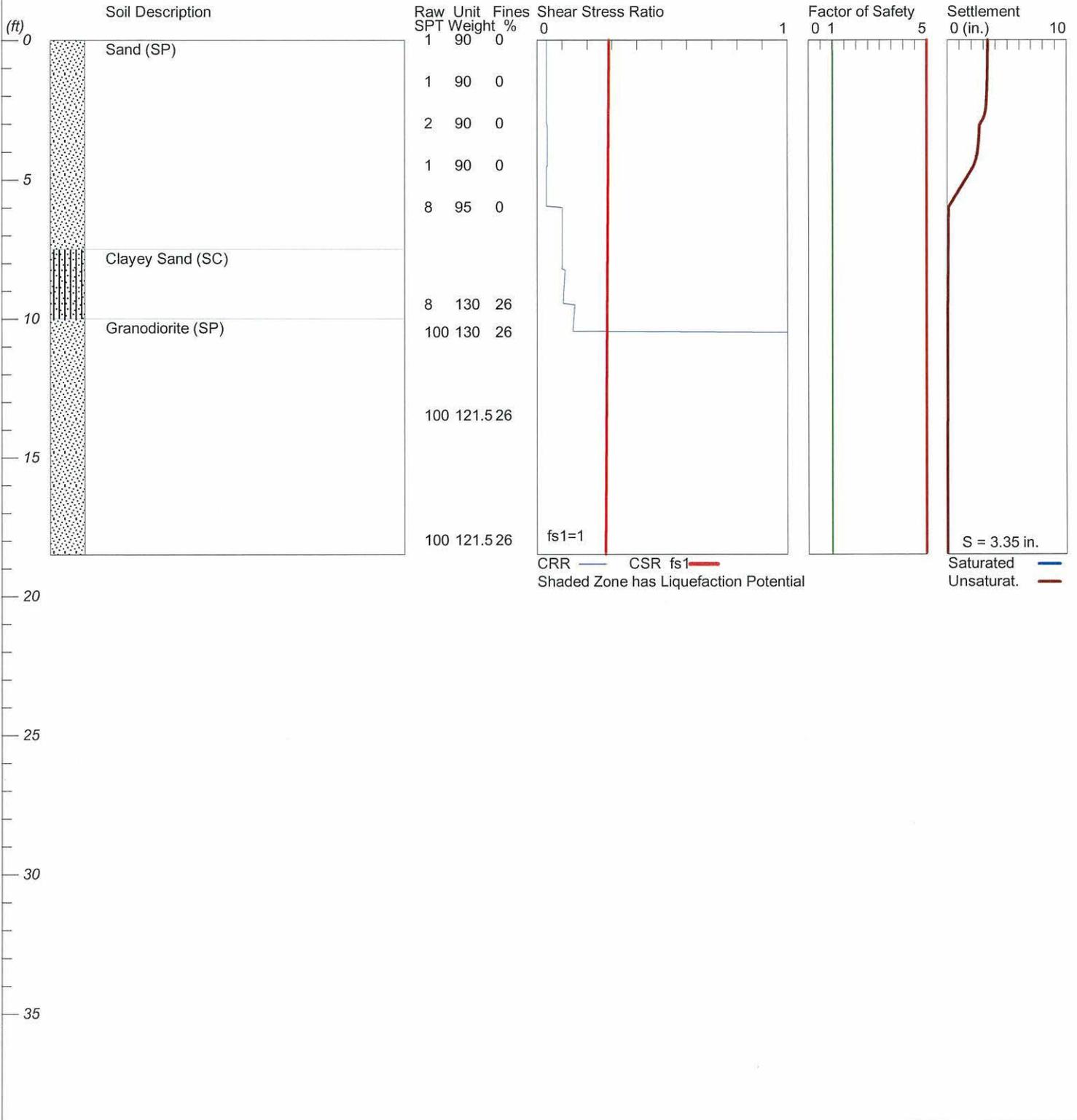
LiquefyPro CivilTech Software USA www.civiltech.com

Liquefaction and Dry Settlement Analysis

New Residence 1170 Signal Hill Road Pebble Beach,

Hole No.=EB-5

Magnitude=8.5
Acceleration=0.442g



LiquefyPro CivilTech Software USA www.civiltech.com

1170 Siganl Hill Road EB5.cal

fs1	Depth =CSRfs ft	gamma pcf	sigma atm	gamma' pcf	sigma' atm	rd	mZ g	a(z) g	CSR	x
-	0.00	90.00	0.000	90.00	0.000	1.00	0.000	0.442	0.29	1.00
0.29	1.00	90.00	0.043	90.00	0.043	1.00	0.000	0.442	0.29	1.00
0.29	2.00	90.00	0.085	90.00	0.085	1.00	0.000	0.442	0.29	1.00
0.29	3.00	90.00	0.128	90.00	0.128	0.99	0.000	0.442	0.29	1.00
0.29	4.00	90.00	0.170	90.00	0.170	0.99	0.000	0.442	0.28	1.00
0.28	5.00	90.00	0.213	90.00	0.213	0.99	0.000	0.442	0.28	1.00
0.28	6.00	95.00	0.255	95.00	0.255	0.99	0.000	0.442	0.28	1.00
0.28	7.00	95.00	0.300	95.00	0.300	0.98	0.000	0.442	0.28	1.00
0.28	8.00	95.00	0.345	95.00	0.345	0.98	0.000	0.442	0.28	1.00
0.28	9.00	95.00	0.390	95.00	0.390	0.98	0.000	0.442	0.28	1.00
0.28	10.00	130.00	0.443	130.00	0.443	0.98	0.000	0.442	0.28	1.00
0.28	11.00	130.00	0.504	130.00	0.504	0.97	0.000	0.442	0.28	1.00
0.28	12.00	130.00	0.566	130.00	0.566	0.97	0.000	0.442	0.28	1.00
0.28	13.00	130.00	0.627	130.00	0.627	0.97	0.000	0.442	0.28	1.00
0.28	14.00	121.50	0.687	121.50	0.687	0.97	0.000	0.442	0.28	1.00
0.28	15.00	121.50	0.744	121.50	0.744	0.97	0.000	0.442	0.28	1.00
0.28	16.00	121.50	0.802	121.50	0.802	0.96	0.000	0.442	0.28	1.00
0.28	17.00	121.50	0.859	121.50	0.859	0.96	0.000	0.442	0.28	1.00
0.28	18.00	121.50	0.916	121.50	0.916	0.96	0.000	0.442	0.28	1.00

CSR is based on water table at 999.00 during earthquake

(N1)60f	Depth CRR7.5 ft	SPT	Cebs	SPT or Cr	BPT data: sigma' atm	Cn	(N1)60	Fines %	d(N1)60	
-	0.00	1.00	1.25	0.75	0.000	1.70	1.59	0.00	0.00	1.59
0.05	1.00	1.00	1.25	0.75	0.043	1.70	1.59	0.00	0.00	1.59
0.05	2.00	1.00	1.25	0.75	0.085	1.70	1.59	0.00	0.00	1.59
0.05	3.00	1.00	1.25	0.75	0.128	1.70	1.59	0.00	0.00	1.59

1170 Siganl Hill Road EB5.cal

0.05										
0.06	4.00	2.00	1.25	0.75	0.170	1.70	3.19	0.00	0.00	3.19
0.05	5.00	1.00	1.25	0.75	0.213	1.70	1.59	0.00	0.00	1.59
12.75	6.00	8.00	1.25	0.75	0.255	1.70	12.75	0.00	0.00	
12.75	0.14									
12.75	7.00	8.00	1.25	0.75	0.300	1.70	12.75	0.00	0.00	
12.75	0.14									
12.75	8.00	8.00	1.25	0.75	0.345	1.70	12.75	0.00	0.00	
12.75	0.14									
13.61	9.00	8.00	1.25	0.85	0.390	1.60	13.61	0.00	0.00	
13.61	0.15									
18.72	10.00	8.00	1.25	0.85	0.443	1.50	12.77	26.00	5.95	
18.72	0.20									
172.32	11.00	100.00	1.25	0.85	0.504	1.41	149.60	26.00	22.72	
172.32	2.00									
162.94	12.00	100.00	1.25	0.85	0.566	1.33	141.24	26.00	21.70	
162.94	2.00									
154.98	13.00	100.00	1.25	0.85	0.627	1.26	134.15	26.00	20.83	
154.98	2.00									
148.32	14.00	100.00	1.25	0.85	0.687	1.21	128.21	26.00	20.10	
148.32	2.00									
158.92	15.00	100.00	1.25	0.95	0.744	1.16	137.66	26.00	21.26	
158.92	2.00									
153.28	16.00	100.00	1.25	0.95	0.802	1.12	132.64	26.00	20.65	
153.28	2.00									
148.22	17.00	100.00	1.25	0.95	0.859	1.08	128.13	26.00	20.09	
148.22	2.00									
143.64	18.00	100.00	1.25	0.95	0.916	1.04	124.05	26.00	19.59	
143.64	2.00									

CRR is based on water table at 999.00 during In-Situ Testing

Factor of Safety, - Earthquake Magnitude= 8.50:

F.S.=CRRm/CSRfs	Depth ft	sigC' atm	CRR7.5	x Ksig	=CRRV	x MSF	=CRRm	CSRfs	
	0.00	0.00	0.05	1.00	0.05	0.73	0.04	0.29	5.00
	1.00	0.03	0.05	1.00	0.05	0.73	0.04	0.29	5.00
	2.00	0.06	0.05	1.00	0.05	0.73	0.04	0.29	5.00
	3.00	0.08	0.05	1.00	0.05	0.73	0.04	0.29	5.00
	4.00	0.11	0.06	1.00	0.06	0.73	0.04	0.28	5.00
	5.00	0.14	0.05	1.00	0.05	0.73	0.04	0.28	5.00
	6.00	0.17	0.14	1.00	0.14	0.73	0.10	0.28	5.00
	7.00	0.20	0.14	1.00	0.14	0.73	0.10	0.28	5.00
	8.00	0.22	0.14	1.00	0.14	0.73	0.10	0.28	5.00
	9.00	0.25	0.15	1.00	0.15	0.73	0.11	0.28	5.00
	10.00	0.29	0.20	1.00	0.20	0.73	0.15	0.28	5.00
	11.00	0.33	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	12.00	0.37	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	13.00	0.41	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	14.00	0.45	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	15.00	0.48	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	16.00	0.52	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	17.00	0.56	2.00	1.00	2.00	0.73	1.45	0.28	5.00
	18.00	0.60	2.00	1.00	2.00	0.73	1.45	0.28	5.00

* F.S.<1: Liquefaction Potential Zone. (If above water table: F.S.=5)

^ No-liquefiable soils or above water Table.

1170 Siganl Hill Road EB5.ca1
(F.S. is limited to 5, CRR is limited to 2, CSR is limited to 2)

CPT convert to SPT for Settlement Analysis:

Fines Correction for Settlement Analysis:

Depth ft	Ic	qc/N60	qc1 atm	(N1)60	Fines %	d(N1)60	(N1)60s
0.00	-	-	-	1.59	0.00	0.00	1.59
1.00	-	-	-	1.59	0.00	0.00	1.59
2.00	-	-	-	1.59	0.00	0.00	1.59
3.00	-	-	-	1.59	0.00	0.00	1.59
4.00	-	-	-	3.19	0.00	0.00	3.19
5.00	-	-	-	1.59	0.00	0.00	1.59
6.00	-	-	-	12.75	0.00	0.00	12.75
7.00	-	-	-	12.75	0.00	0.00	12.75
8.00	-	-	-	12.75	0.00	0.00	12.75
9.00	-	-	-	13.61	0.00	0.00	13.61
10.00	-	-	-	18.72	26.00	0.00	18.72
11.00	-	-	-	100.00	26.00	0.00	100.00
12.00	-	-	-	100.00	26.00	0.00	100.00
13.00	-	-	-	100.00	26.00	0.00	100.00
14.00	-	-	-	100.00	26.00	0.00	100.00
15.00	-	-	-	100.00	26.00	0.00	100.00
16.00	-	-	-	100.00	26.00	0.00	100.00
17.00	-	-	-	100.00	26.00	0.00	100.00
18.00	-	-	-	100.00	26.00	0.00	100.00

(N1)60s has been fines corrected in liquefaction analysis, therefore
d(N1)60=0.
Fines=NoLiq means the soils are not liquefiable.

Settlement of Saturated Sands:

Settlement Analysis Method: Tokimatsu, M-correction

dsp in.	Depth ft in.	CSRs _f	/ MSF*	=CSR _m	F.S.	Fines %	(N1)60s %	Dr	ec %	dsz in.
------------	--------------------	-------------------	--------	-------------------	------	------------	--------------	----	---------	------------

No Settlement of Saturated Sands

Settlement of Saturated Sands=0.000 in.
qc1 and (N1)60 is after fines correction in liquefaction analysis
dsz is per each segment, dz=0.05 ft
dsp is per each print interval, dp=1.00 ft
S is cumulated settlement at this depth

Settlement of Unsaturated Sands:

ec %	Depth dsz ft in.	sigma' dsp atm in.	sigC' S atm in.	(N1)60s	CSRs _f	Gmax atm	g*Ge/Gm	g_eff	ec7.5 %	Cec
0.0094	18.45	0.94	0.61	100.00	0.27	1622.00	1.6E-4	0.0237	0.0075	1.25
	1.12E-4	0.000	0.000							
	18.00	0.92	0.60	100.00	0.28	1599.61	1.6E-4	0.0233	0.0074	1.25

1170 Siganl Hill Road EB5.ca1

0.0092	1.11E-4	0.001	0.001								
	17.00	0.86	0.56	100.00	0.28	1548.69	1.5E-4	0.0225	0.0071	1.25	
0.0089	1.07E-4	0.002	0.003								
	16.00	0.80	0.52	100.00	0.28	1496.03	1.5E-4	0.0216	0.0068	1.25	
0.0085	1.02E-4	0.002	0.005								
	15.00	0.74	0.48	100.00	0.28	1441.46	1.4E-4	0.0207	0.0066	1.25	
0.0082	9.84E-5	0.002	0.007								
	14.00	0.69	0.45	100.00	0.28	1384.74	1.4E-4	0.0199	0.0063	1.25	
0.0079	9.42E-5	0.002	0.009								
	13.00	0.63	0.41	100.00	0.28	1323.47	1.3E-4	0.0190	0.0060	1.25	
0.0075	8.99E-5	0.002	0.011								
	12.00	0.57	0.37	100.00	0.28	1257.00	1.3E-4	0.0180	0.0057	1.25	
0.0071	8.53E-5	0.002	0.013								
	11.00	0.50	0.33	100.00	0.28	1186.81	1.2E-4	0.0198	0.0063	1.25	
0.0078	9.39E-5	0.002	0.015								
	10.00	0.44	0.29	18.72	0.28	636.64	2.0E-4	0.0384	0.0412	1.25	
0.0514	6.17E-4	0.007	0.022								
	9.00	0.39	0.25	13.61	0.28	537.08	2.0E-4	0.0400	0.0648	1.25	
0.0809	9.71E-4	0.016	0.038								
	8.00	0.34	0.22	12.75	0.28	494.31	2.0E-4	0.0388	0.0682	1.25	
0.0853	1.02E-3	0.019	0.057								
	7.00	0.30	0.20	12.75	0.28	461.02	1.8E-4	0.0351	0.0617	1.25	
0.0771	9.25E-4	0.019	0.076								
	6.00	0.26	0.17	12.75	0.28	425.14	1.7E-4	0.0314	0.0552	1.25	
0.0689	8.27E-4	0.017	0.094								
	5.00	0.21	0.14	1.59	0.28	194.19	3.1E-4	1.0000	4.6774	1.25	
5.8467	7.02E-2	1.403	1.497								
	4.00	0.17	0.11	3.19	0.28	218.78	2.2E-4	0.2650	1.2394	1.25	
1.5493	1.86E-2	1.005	2.502								
	3.00	0.13	0.08	1.59	0.29	150.42	2.4E-4	1.0000	4.6774	1.25	
5.8467	7.02E-2	0.237	2.739								
	2.00	0.09	0.06	1.59	0.29	122.82	2.0E-4	0.0741	0.3468	1.25	
0.4335	5.20E-3	0.530	3.269								
	1.00	0.04	0.03	1.59	0.29	86.85	1.4E-4	0.0265	0.1239	1.25	
0.1548	1.86E-3	0.055	3.324								
	0.00	0.00	0.00	1.59	0.29	1.33	2.2E-6	0.0010	0.0048	1.25	
0.0059	7.13E-5	0.024	3.348								

Settlement of Unsaturated Sands=3.348 in.
 dsz is per each segment, dz=0.05 ft
 dsp is per each print interval, dp=1.00 ft
 S is cumulated settlement at this depth

Total Settlement of Saturated and Unsaturated Sands=3.348 in.
 Differential Settlement=1.674 to 2.209 in.

Units: Unit: qc, fs, Stress or Pressure = atm (1.0581tsf); Unit weight = pcf; Depth = ft; Settlement = in.

1 atm (atmosphere) = 1.0581 tsf(1 tsf = 1 ton/ft² = 2 kip/ft²)
 1 atm (atmosphere) = 101.325 kPa(1 kPa = 1 kN/m² = 0.001 Mpa)
 SPT Field data from Standard Penetration Test (SPT)
 BPT Field data from Becker Penetration Test (BPT)
 qc Field data from Cone Penetration Test (CPT) [atm (tsf)]
 fs Friction from CPT testing [atm (tsf)]
 Rf Ratio of fs/qc (%)
 gamma Total unit weight of soil
 gamma' Effective unit weight of soil
 Fines Fines content [%]

D50 Mean grain size
Dr Relative Density
sigma Total vertical stress [atm]
sigma' Effective vertical stress [atm]
sigc' Effective confining pressure [atm]
rd Acceleration reduction coefficient by Seed
a_max. Peak Ground Acceleration (PGA) in ground surface
mZ Linear acceleration reduction coefficient X depth
a_min. Minimum acceleration under linear reduction, mZ
CRRV CRR after overburden stress correction, $CRRV=CRR7.5 * Ksig$
CRR7.5 Cyclic resistance ratio (M=7.5)
Ksig Overburden stress correction factor for CRR7.5
CRRm After magnitude scaling correction $CRRm=CRRV * MSF$
MSF Magnitude scaling factor from M=7.5 to user input M
CSR Cyclic stress ratio induced by earthquake
CSRfs $CSRfs=CSR*fs1$ (Default fs1=1)
fs1 First CSR curve in graphic defined in #9 of Advanced page
fs2 2nd CSR curve in graphic defined in #9 of Advanced page
F.S. Calculated factor of safety against liquefaction
F.S.=CRRm/CSRsf
Cebs Energy Ratio, Borehole Dia., and Sampling Method Corrections
Cr Rod Length Corrections
Cn Overburden Pressure Correction
(N1)60 SPT after corrections, $(N1)60=SPT * Cr * Cn * Cebs$
d(N1)60 Fines correction of SPT
(N1)60f $(N1)60$ after fines corrections, $(N1)60f=(N1)60 + d(N1)60$
Cq Overburden stress correction factor
qc1 CPT after Overburden stress correction
dq1 Fines correction of CPT
qc1f CPT after Fines and Overburden correction, $qc1f=qc1 + dq1$
qc1n CPT after normalization in Robertson's method
Kc Fine correction factor in Robertson's Method
qc1f CPT after Fines correction in Robertson's Method
Ic Soil type index in Suzuki's and Robertson's Methods
(N1)60s $(N1)60$ after settlement fines corrections
CSRm After magnitude scaling correction for Settlement
calculation $CSRm=CSRsf / MSF^*$
CSRfs cyclic stress ratio induced by earthquake with user
input fs
MSF* Scaling factor from CSR, $MSF^*=MSF$, based on Item 2
of Page C.
MSF Magnitude scaling factor from M=7.5 to user input M
ec Volumetric strain for saturated sands
dz Calculation segment, dz=0.050 ft
dsz Settlement in each segment, dz
dp User defined print interval
dsp Settlement in each print interval, dp
Gmax Shear Modulus at low strain
g_eff gamma_eff, Effective shear Strain
g*Ge/Gm gamma_eff * G_eff/G_max, Strain-modulus ratio
ec7.5 Volumetric Strain for magnitude=7.5
Cec Magnitude correction factor for any magnitude
ec Volumetric strain for unsaturated sands, $ec=Cec * ec7.5$
NoLiq No-Liquefy Soils

References:

1. NCEER Workshop on Evaluation of Liquefaction Resistance of Soils. Youd, T.L., and Idriss, I.M., eds., Technical Report NCEER 97-0022.
SP117. Southern California Earthquake Center. Recommended Procedures for Implementation of DMG Special Publication 117, Guidelines for Analyzing and Mitigating Liquefaction in California. University of
Page 6

1170 Siganl Hill Road EB5.ca1
Southern California. March 1999.

2. RECENT ADVANCES IN SOIL LIQUEFACTION ENGINEERING AND SEISMIC SITE RESPONSE EVALUATION, Paper No. SPL-2, PROCEEDINGS: Fourth International Conference on Recent Advances in Geotechnical Earthquake Engineering and Soil Dynamics, San Diego, CA, March 2001.

3. RECENT ADVANCES IN SOIL LIQUEFACTION ENGINEERING: A UNIFIED AND CONSISTENT FRAMEWORK, Earthquake Engineering Research Center, Report No. EERC 2003-06 by R.B Seed and etc. April 2003.

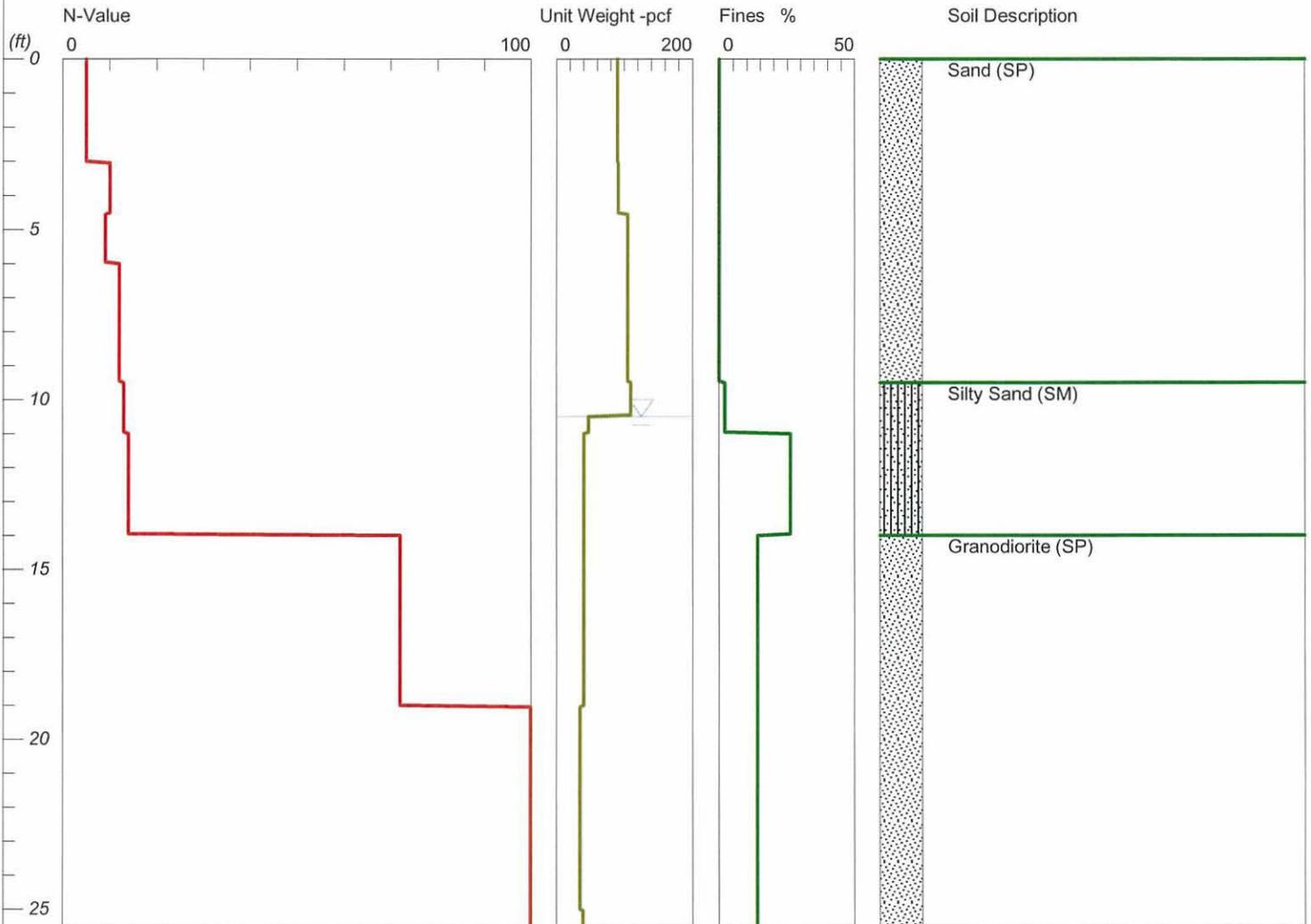
Note: Print Interval you selected does not show complete results. To get complete results, you should select 'Segment' in Print Interval (Item 12, Page C).

Liquefaction and Dry Settlement Analysis

New Residence 1170 Signal Hill Road Pebble Beach,

Hole No.=EB-7 Water Depth=10.5 ft

Magnitude=8.5
Acceleration=0.442g



SPT or BPT test

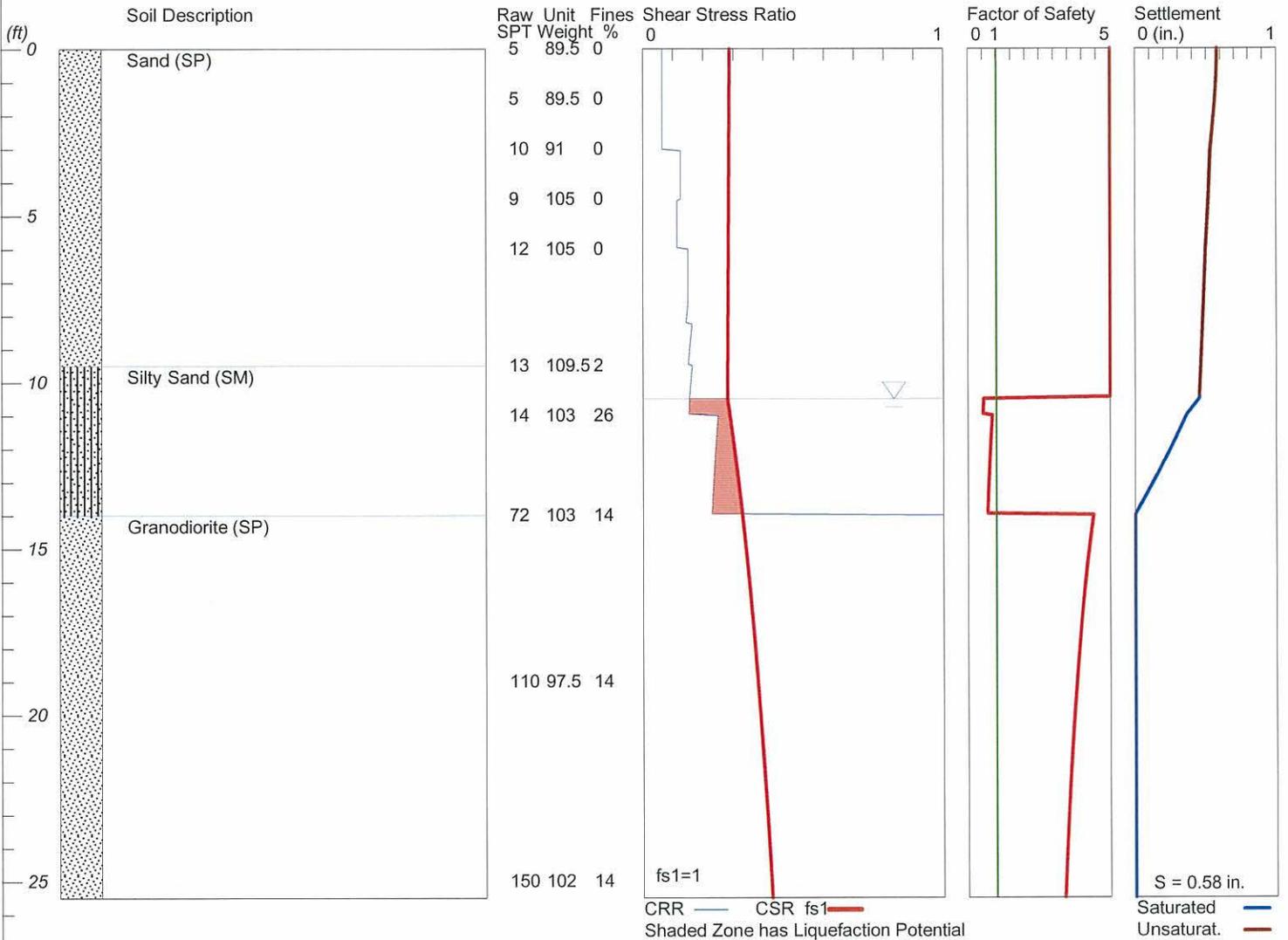
LiquefyPro CivilTech Software USA www.civilttech.com

Liquefaction and Dry Settlement Analysis

New Residence 1170 Signal Hill Road Pebble Beach,

Hole No.=EB-7 Water Depth=10.5 ft

Magnitude=8.5
Acceleration=0.442g



LiquefyPro CivilTech Software USA www.civiltech.com

LIQUEFACTION ANALYSIS CALCULATION DETAILS

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Input File Name: C:\Liquefy5\1170 Signal Hill Road EB7.liq
Title: New Residence 1170 Signal Hill Road Pebble Beach,
Subtitle:

Input Data:

Surface Elev.=
Hole No.=EB-7
Depth of Hole=25.50 ft
Water Table during Earthquake= 10.50 ft
Water Table during In-Situ Testing= 10.50 ft
Max. Acceleration=0.44 g
Earthquake Magnitude=8.50
No-Liquefiable Soils: Based on Analysis
1. SPT or BPT Calculation.
2. Settlement Analysis Method: Tokimatsu, M-correction
3. Fines Correction for Liquefaction: Idriss/Seed
4. Fine Correction for Settlement: During Liquefaction*
5. Settlement Calculation in: All zones*
6. Hammer Energy Ratio, Ce = 1.25
7. Borehole Diameter, Cb= 1
8. Sampling Method, Cs= 1
9. User request factor of safety (apply to CSR) , User= 1
Plot one CSR curve (fs1=1)
10. Average two input data between two Depths: No
* Recommended Options

In-Situ Test Data:

Depth ft	SPT	Gamma pcf	Fines %
0.00	5.00	89.50	0.00
1.50	5.00	89.50	0.00
3.00	10.00	91.00	0.00
4.50	9.00	105.00	0.00
6.00	12.00	105.00	0.00
9.50	13.00	109.50	2.00
11.00	14.00	103.00	26.00
14.00	72.00	103.00	14.00
19.00	110.00	97.50	14.00
25.00	150.00	102.00	14.00

Output Results:

Calculation segment, dz=0.050 ft
User defined Print Interval, dp=1.00 ft

Peak Ground Acceleration (PGA), a_max = 0.44g

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CSR Calculation:

fs1	Depth =CSRfs ft	gamma pcf	sigma atm	gamma' pcf	sigma' atm	rd	mZ g	a(z) g	CSR	x
-	0.00	89.50	0.000	89.50	0.000	1.00	0.000	0.442	0.29	1.00
0.29	1.00	89.50	0.042	89.50	0.042	1.00	0.000	0.442	0.29	1.00
0.29	2.00	89.50	0.085	89.50	0.085	1.00	0.000	0.442	0.29	1.00
0.29	3.00	89.50	0.127	89.50	0.127	0.99	0.000	0.442	0.29	1.00
0.29	4.00	91.00	0.170	91.00	0.170	0.99	0.000	0.442	0.28	1.00
0.28	5.00	105.00	0.216	105.00	0.216	0.99	0.000	0.442	0.28	1.00
0.28	6.00	105.00	0.265	105.00	0.265	0.99	0.000	0.442	0.28	1.00
0.28	7.00	105.00	0.315	105.00	0.315	0.98	0.000	0.442	0.28	1.00
0.28	8.00	105.00	0.365	105.00	0.365	0.98	0.000	0.442	0.28	1.00
0.28	9.00	105.00	0.414	105.00	0.414	0.98	0.000	0.442	0.28	1.00
0.28	10.00	109.50	0.465	109.50	0.465	0.98	0.000	0.442	0.28	1.00
0.28	11.00	103.00	0.517	40.60	0.502	0.97	0.000	0.442	0.29	1.00
0.29	12.00	103.00	0.565	40.60	0.521	0.97	0.000	0.442	0.30	1.00
0.30	13.00	103.00	0.614	40.60	0.540	0.97	0.000	0.442	0.32	1.00
0.32	14.00	103.00	0.663	40.60	0.560	0.97	0.000	0.442	0.33	1.00
0.33	15.00	103.00	0.711	40.60	0.579	0.97	0.000	0.442	0.34	1.00
0.34	16.00	103.00	0.760	40.60	0.598	0.96	0.000	0.442	0.35	1.00
0.35	17.00	103.00	0.809	40.60	0.617	0.96	0.000	0.442	0.36	1.00
0.36	18.00	103.00	0.857	40.60	0.636	0.96	0.000	0.442	0.37	1.00
0.37	19.00	103.00	0.906	40.60	0.655	0.96	0.000	0.442	0.38	1.00
0.38	20.00	97.50	0.952	35.10	0.672	0.95	0.000	0.442	0.39	1.00
0.39	21.00	97.50	0.998	35.10	0.689	0.95	0.000	0.442	0.40	1.00
0.40	22.00	97.50	1.044	35.10	0.705	0.95	0.000	0.442	0.40	1.00
0.40	23.00	97.50	1.091	35.10	0.722	0.95	0.000	0.442	0.41	1.00
0.41	24.00	97.50	1.137	35.10	0.739	0.94	0.000	0.442	0.42	1.00
0.42	25.00	97.50	1.183	35.10	0.755	0.94	0.000	0.442	0.42	1.00

CSR is based on water table at 10.50 during earthquake

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CRR Calculation from SPT or BPT data:										
(N1)60f	Depth CRR7.5 ft	SPT	Cebs	Cr	sigma' atm	Cn	(N1)60	Fines %	d(N1)60	
-	0.00	5.00	1.25	0.75	0.000	1.70	7.97	0.00	0.00	7.97
0.09	1.00	5.00	1.25	0.75	0.042	1.70	7.97	0.00	0.00	7.97
0.09	2.00	5.00	1.25	0.75	0.085	1.70	7.97	0.00	0.00	7.97
0.09	3.00	5.00	1.25	0.75	0.127	1.70	7.97	0.00	0.00	7.97
0.09	4.00	10.00	1.25	0.75	0.170	1.70	15.94	0.00	0.00	
15.94	0.17									
	5.00	9.00	1.25	0.75	0.216	1.70	14.34	0.00	0.00	
14.34	0.16									
	6.00	12.00	1.25	0.75	0.265	1.70	19.13	0.00	0.00	
19.13	0.21									
	7.00	12.00	1.25	0.75	0.315	1.70	19.13	0.00	0.00	
19.13	0.21									
	8.00	12.00	1.25	0.75	0.365	1.66	18.63	0.00	0.00	
18.63	0.20									
	9.00	12.00	1.25	0.85	0.414	1.55	19.81	0.00	0.00	
19.81	0.21									
	10.00	13.00	1.25	0.85	0.465	1.47	20.26	2.00	0.00	
20.26	0.22									
	11.00	14.00	1.25	0.85	0.502	1.41	20.99	26.00	6.96	
27.96	0.34									
	12.00	14.00	1.25	0.85	0.521	1.39	20.60	26.00	6.91	
27.52	0.33									
	13.00	14.00	1.25	0.85	0.540	1.36	20.24	26.00	6.87	
27.10	0.32									
	14.00	72.00	1.25	0.85	0.560	1.34	102.27	14.00	6.54	
108.81	2.00									
	15.00	72.00	1.25	0.95	0.579	1.31	112.39	14.00	6.97	
119.36	2.00									
	16.00	72.00	1.25	0.95	0.598	1.29	110.57	14.00	6.89	
117.46	2.00									
	17.00	72.00	1.25	0.95	0.617	1.27	108.84	14.00	6.82	
115.66	2.00									
	18.00	72.00	1.25	0.95	0.636	1.25	107.19	14.00	6.75	
113.93	2.00									
	19.00	72.00	1.25	0.95	0.655	1.24	105.61	14.00	6.68	
112.29	2.00									
	20.00	110.00	1.25	0.95	0.672	1.22	159.32	14.00	8.96	
168.28	2.00									
	21.00	110.00	1.25	0.95	0.689	1.20	157.39	14.00	8.88	
166.27	2.00									
	22.00	110.00	1.25	0.95	0.705	1.19	155.53	14.00	8.80	
164.33	2.00									
	23.00	110.00	1.25	0.95	0.722	1.18	153.74	14.00	8.72	
162.46	2.00									
	24.00	110.00	1.25	0.95	0.739	1.16	152.00	14.00	8.65	
160.65	2.00									
	25.00	110.00	1.25	0.95	0.755	1.15	150.32	14.00	8.58	
158.90	2.00									

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CRR is based on water table at 10.50 during In-Situ Testing

Factor of Safety, - Earthquake Magnitude= 8.50:

F.S.=CRRm/CSRfs	Depth ft	sigC' atm	CRR7.5	x Ksig	=CRRv	x MSF	=CRRm	CSRfs	
	0.00	0.00	0.09	1.00	0.09	0.73	0.06	0.29	5.00
	1.00	0.03	0.09	1.00	0.09	0.73	0.06	0.29	5.00
	2.00	0.05	0.09	1.00	0.09	0.73	0.06	0.29	5.00
	3.00	0.08	0.09	1.00	0.09	0.73	0.06	0.29	5.00
	4.00	0.11	0.17	1.00	0.17	0.73	0.12	0.28	5.00
	5.00	0.14	0.16	1.00	0.16	0.73	0.11	0.28	5.00
	6.00	0.17	0.21	1.00	0.21	0.73	0.15	0.28	5.00
	7.00	0.20	0.21	1.00	0.21	0.73	0.15	0.28	5.00
	8.00	0.24	0.20	1.00	0.20	0.73	0.15	0.28	5.00
	9.00	0.27	0.21	1.00	0.21	0.73	0.16	0.28	5.00
	10.00	0.30	0.22	1.00	0.22	0.73	0.16	0.28	5.00
	11.00	0.33	0.34	1.00	0.34	0.73	0.25	0.29	0.86 *
	12.00	0.34	0.33	1.00	0.33	0.73	0.24	0.30	0.79 *
	13.00	0.35	0.32	1.00	0.32	0.73	0.23	0.32	0.74 *
	14.00	0.36	2.00	1.00	2.00	0.73	1.45	0.33	4.41
	15.00	0.38	2.00	1.00	2.00	0.73	1.45	0.34	4.26
	16.00	0.39	2.00	1.00	2.00	0.73	1.45	0.35	4.13
	17.00	0.40	2.00	1.00	2.00	0.73	1.45	0.36	4.01
	18.00	0.41	2.00	1.00	2.00	0.73	1.45	0.37	3.91
	19.00	0.43	2.00	1.00	2.00	0.73	1.45	0.38	3.82
	20.00	0.44	2.00	1.00	2.00	0.73	1.45	0.39	3.74
	21.00	0.45	2.00	1.00	2.00	0.73	1.45	0.40	3.66
	22.00	0.46	2.00	1.00	2.00	0.73	1.45	0.40	3.60
	23.00	0.47	2.00	1.00	2.00	0.73	1.45	0.41	3.53
	24.00	0.48	2.00	1.00	2.00	0.73	1.45	0.42	3.48
	25.00	0.49	2.00	1.00	2.00	0.73	1.45	0.42	3.42

* F.S.<1: Liquefaction Potential Zone. (If above water table: F.S.=5)
 ^ No-liquefiable Soils or above Water Table.
 (F.S. is limited to 5, CRR is limited to 2, CSR is limited to 2)

CPT convert to SPT for Settlement Analysis:

Fines Correction for Settlement Analysis:

Depth ft	Ic	qc/N60	qc1 atm	(N1)60	Fines %	d(N1)60	(N1)60s
0.00	-	-	-	7.97	0.00	0.00	7.97
1.00	-	-	-	7.97	0.00	0.00	7.97
2.00	-	-	-	7.97	0.00	0.00	7.97
3.00	-	-	-	7.97	0.00	0.00	7.97
4.00	-	-	-	15.94	0.00	0.00	15.94
5.00	-	-	-	14.34	0.00	0.00	14.34
6.00	-	-	-	19.13	0.00	0.00	19.13
7.00	-	-	-	19.13	0.00	0.00	19.13
8.00	-	-	-	18.63	0.00	0.00	18.63
9.00	-	-	-	19.81	0.00	0.00	19.81
10.00	-	-	-	20.26	2.00	0.00	20.26
11.00	-	-	-	27.96	26.00	0.00	27.96
12.00	-	-	-	27.52	26.00	0.00	27.52
13.00	-	-	-	27.10	26.00	0.00	27.10
14.00	-	-	-	100.00	14.00	0.00	100.00
15.00	-	-	-	100.00	14.00	0.00	100.00
16.00	-	-	-	100.00	14.00	0.00	100.00
17.00	-	-	-	100.00	14.00	0.00	100.00
18.00	-	-	-	100.00	14.00	0.00	100.00

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19.00	-	-	-	100.00	14.00	0.00	100.00
20.00	-	-	-	100.00	14.00	0.00	100.00
21.00	-	-	-	100.00	14.00	0.00	100.00
22.00	-	-	-	100.00	14.00	0.00	100.00
23.00	-	-	-	100.00	14.00	0.00	100.00
24.00	-	-	-	100.00	14.00	0.00	100.00
25.00	-	-	-	100.00	14.00	0.00	100.00

(N1)60s has been fines corrected in liquefaction analysis, therefore
 $d(N1)60=0$.
 Fines=NoLiq means the soils are not liquefiable.

Settlement of Saturated Sands:

Settlement Analysis Method: Tokimatsu, M-correction

dsp	Depth	CSRsf	/ MSF*	=CSRm	F.S.	Fines	(N1)60s	Dr	ec	dsz
in.	ft					%		%	%	in.

0.0E0	25.45	0.43	0.73	0.59	3.40	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	25.00	0.42	0.73	0.58	3.42	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	24.00	0.42	0.73	0.58	3.48	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	23.00	0.41	0.73	0.57	3.53	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	22.00	0.40	0.73	0.56	3.60	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	21.00	0.40	0.73	0.55	3.66	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	20.00	0.39	0.73	0.53	3.74	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	19.00	0.38	0.73	0.52	3.82	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	18.00	0.37	0.73	0.51	3.91	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	17.00	0.36	0.73	0.50	4.01	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	16.00	0.35	0.73	0.48	4.13	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	15.00	0.34	0.73	0.47	4.26	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
0.0E0	14.00	0.33	0.73	0.45	4.41	14.00	100.00	100.00	0.000	
0.0E0	0.000	0.000								
6.2E-3	13.00	0.32	0.73	0.44	0.74	26.00	27.10	83.86	1.031	
5.9E-3	0.126	0.126								
5.9E-3	12.00	0.30	0.73	0.42	0.79	26.00	27.52	84.71	0.984	
5.9E-3	0.121	0.247								
5.3E-3	11.00	0.29	0.73	0.40	0.86	26.00	27.96	85.62	0.876	
5.3E-3	0.112	0.358								
9.0E-3	10.50	0.28	0.73	0.39	0.55	2.00	19.71	70.02	1.507	
9.0E-3	0.091	0.449								

Settlement of Saturated Sands=0.449 in.
 qc1 and (N1)60 is after fines correction in liquefaction analysis
 dsz is per each segment, dz=0.05 ft
 dsp is per each print interval, dp=1.00 ft

S is cumulated settlement at this depth

Settlement of Unsaturated Sands:										
ec	Depth	sigma'	sigC'	(N1)60s	CSRsf	Gmax	g*Ge/Gm	g_eff	ec7.5	Cec
%	dsz	dsp	S						%	
	ft	atm	atm			atm				
	in.	in.	in.							
	10.45	0.49	0.32	19.77	0.28	680.53	2.0E-4	0.0391	0.0391	1.25
0.0489	5.86E-4	0.001	0.001							
	10.00	0.46	0.30	20.26	0.28	669.53	1.9E-4	0.0382	0.0370	1.25
0.0463	5.56E-4	0.005	0.006							
	9.00	0.41	0.27	19.81	0.28	627.31	1.9E-4	0.0356	0.0355	1.25
0.0444	5.32E-4	0.011	0.017							
	8.00	0.36	0.24	18.63	0.28	576.64	1.8E-4	0.0335	0.0362	1.25
0.0453	5.43E-4	0.010	0.027							
	7.00	0.32	0.20	19.13	0.28	540.69	1.6E-4	0.0300	0.0313	1.25
0.0392	4.70E-4	0.010	0.037							
	6.00	0.27	0.17	19.13	0.28	496.29	1.5E-4	0.0269	0.0280	1.25
0.0350	4.20E-4	0.009	0.046							
	5.00	0.22	0.14	14.34	0.28	406.63	1.5E-4	0.0296	0.0448	1.25
0.0560	6.71E-4	0.013	0.059							
	4.00	0.17	0.11	15.94	0.28	373.61	1.3E-4	0.0239	0.0317	1.25
0.0396	4.75E-4	0.011	0.070							
	3.00	0.13	0.08	7.97	0.29	256.36	1.4E-4	0.0267	0.0808	1.25
0.1010	1.21E-3	0.010	0.080							
	2.00	0.08	0.05	7.97	0.29	209.32	1.2E-4	0.0246	0.0745	1.25
0.0931	1.12E-3	0.022	0.103							
	1.00	0.04	0.03	7.97	0.29	148.02	8.2E-5	0.0145	0.0439	1.25
0.0549	6.59E-4	0.018	0.121							
	0.00	0.00	0.00	7.97	0.29	2.28	1.3E-6	0.0010	0.0031	1.25
0.0038	4.62E-5	0.007	0.128							

Settlement of Unsaturated Sands=0.128 in.
 dsz is per each segment, dz=0.05 ft
 dsp is per each print interval, dp=1.00 ft
 S is cumulated settlement at this depth

Total Settlement of Saturated and Unsaturated Sands=0.577 in.
 Differential Settlement=0.289 to 0.381 in.

Units: Unit: qc, fs, Stress or Pressure = atm (1.0581tsf); Unit weight = pcf; Depth = ft; Settlement = in.

- 1 atm (atmosphere) = 1.0581 tsf(1 tsf = 1 ton/ft2 = 2 kip/ft2)
- 1 atm (atmosphere) = 101.325 kPa(1 kPa = 1 kN/m2 = 0.001 Mpa)
- SPT Field data from Standard Penetration Test (SPT)
- BPT Field data from Becker Penetration Test (BPT)
- qc Field data from Cone Penetration Test (CPT) [atm (tsf)]
- fs Friction from CPT testing [atm (tsf)]
- Rf Ratio of fs/qc (%)
- gamma Total unit weight of soil
- gamma' Effective unit weight of soil
- Fines Fines content [%]
- D50 Mean grain size
- Dr Relative Density
- sigma Total vertical stress [atm]

sigma'	Effective vertical stress [atm]
sigC'	Effective confining pressure [atm]
rd	Acceleration reduction coefficient by Seed
a_max.	Peak Ground Acceleration (PGA) in ground surface
mZ	Linear acceleration reduction coefficient X depth
a_min.	Minimum acceleration under linear reduction, mZ
CRRV	CRR after overburden stress correction, $CRRV=CRR7.5 * Ksig$
CRR7.5	Cyclic resistance ratio (M=7.5)
Ksig	Overburden stress correction factor for CRR7.5
CRRm	After magnitude scaling correction $CRRm=CRRV * MSF$
MSF	Magnitude scaling factor from M=7.5 to user input M
CSR	Cyclic stress ratio induced by earthquake
CSRfs	$CSRfs=CSR*fs1$ (Default $fs1=1$)
fs1	First CSR curve in graphic defined in #9 of Advanced page
fs2	2nd CSR curve in graphic defined in #9 of Advanced page
F.S.	Calculated factor of safety against liquefaction
F.S.=CRRm/CSRsf	
Cebs	Energy Ratio, Borehole Dia., and Sampling Method Corrections
Cr	Rod Length Corrections
Cn	Overburden Pressure Correction
(N1)60	SPT after corrections, $(N1)60=SPT * Cr * Cn * Cebs$
d(N1)60	Fines correction of SPT
(N1)60f	$(N1)60$ after fines corrections, $(N1)60f=(N1)60 + d(N1)60$
Cq	Overburden stress correction factor
qc1	CPT after Overburden stress correction
dqc1	Fines correction of CPT
qc1f	CPT after Fines and Overburden correction, $qc1f=qc1 + dqc1$
qc1n	CPT after normalization in Robertson's method
Kc	Fine correction factor in Robertson's Method
qc1f	CPT after Fines correction in Robertson's Method
Ic	Soil type index in Suzuki's and Robertson's Methods
(N1)60s	$(N1)60$ after settlement fines corrections
CSRm	After magnitude scaling correction for Settlement
calculation CSRm=CSRsf / MSF*	
CSRfs	cyclic stress ratio induced by earthquake with user
inputed fs	
MSF*	Scaling factor from CSR, $MSF*=MSF$, based on Item 2
of Page C.	
MSF	Magnitude scaling factor from M=7.5 to user input M
ec	Volumetric strain for saturated sands
dz	Calculation segment, $dz=0.050$ ft
dsz	Settlement in each segment, dz
dp	User defined print interval
dsp	Settlement in each print interval, dp
Gmax	Shear Modulus at low strain
g_eff	$gamma_eff$, Effective shear strain
g*Ge/Gm	$gamma_eff * G_eff/G_max$, Strain-modulus ratio
ec7.5	Volumetric strain for magnitude=7.5
Cec	Magnitude correction factor for any magnitude
ec	Volumetric strain for unsaturated sands, $ec=Cec * ec7.5$
NoLiq	No-Liquefy Soils

References:

-
1. NCEER Workshop on Evaluation of Liquefaction Resistance of Soils. Youd, T.L., and Idriss, I.M., eds., Technical Report NCEER 97-0022.
SP117. Southern California Earthquake Center. Recommended Procedures for Implementation of DMG Special Publication 117, Guidelines for Analyzing and Mitigating Liquefaction in California. University of Southern California. March 1999.
 2. RECENT ADVANCES IN SOIL LIQUEFACTION ENGINEERING AND SEISMIC SITE RESPONSE EVALUATION, Paper No. SPL-2, PROCEEDINGS: Fourth

1170 Siganl Hill Road EB7.ca1

International Conference on Recent Advances in Geotechnical Earthquake Engineering and Soil Dynamics, San Diego, CA, March 2001.

3. RECENT ADVANCES IN SOIL LIQUEFACTION ENGINEERING: A UNIFIED AND CONSISTENT FRAMEWORK, Earthquake Engineering Research Center, Report No. EERC 2003-06 by R.B Seed and etc. April 2003.

Note: Print Interval you selected does not show complete results. To get complete results, you should select 'Segment' in Print Interval (Item 12, Page C).

June 22, 2011
Project No. 1301.1
Ser. 3300

Ms. Massy Mehdipour
1425 Dana Avenue
Palo Alto, CA 94301

**RE: GEOLOGICAL ANALYSIS OF SITE ERODABILITY
NEW RESIDENTIAL PROJECT
1170 SIGNAL HILL ROAD
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA**

Dear Ms. Mehdipour:

As requested by Monterey County Planning, December 8, 2010, we have prepared this analysis and review of the potential site erodability and mitigation measures for your new residential project at 1170 Signal Hill Road in Pebble Beach. Our geotechnical investigation report for this project was submitted March 31, 2010. Our analysis included review of the following drawings:

- Site Plan (A-1.0), Ground Floor/Basement Plan (A-3.0) and First Floor Plan (A-3.1) for Casa Pebble Beach, 1170 Signal Hill Road, Pebble Beach, California prepared by Bill Bernstein AIA and Legorretta and Legoretta Architects, dated June 3, 2011, May 23, 2011 and May 27, 2011.
- Grading and Drainage Plans, C0.2 and C1.1, Single Family Residence and Driveway, 1170 Signal Hill Drive, Monterey County, Prepared by Whitson Engineers, June 20, 2011.

The grading and drainage plans indicate that the proposed development area within the designated "Limits of Developed/Disturbed Dune" will be cut down five feet maximum in the backyard, resulting in a berm at approximately Elevation 98 behind the home, and the front yard will be raised with up to about five feet of fill in the area of the garage driveway and front entry. The front portion of the home, excluding the garage, will be set into the slope, requiring cuts of up to about nine feet. Runoff from most of the front yard portion of the site will be directed to area drains connected to a storm drain tightline and carried to a new rip rap stilling basin for infiltration into the sandy soils in the southwest corner of the developed area. (Roof leaders on the south side of the home will be tied into this system). Runoff in the backyard will sheet flow to the contained level area (Elevation 94) located in the northwest portion of the backyard.

Ms. Massy Mehdipour
June 22, 2011
Page 2

The runoff from the landscaped northerly one-third portion of the front yard will be directed around the north side of the home toward the contained low area in the northwest portion of the backyard.

We understand that the final location of the roof downspout leaders has not been determined at this time, however as discussed with Michael Baldi with Whitson Engineers, roof runoff will be tied into tightline disposal where practical or discharged into dry wells located at least three to five feet out from the residence.

The proposed cut and fill slopes within the area to be developed are shown at a 3:1 (horizontal to vertical) gradient, and these slopes will be vegetated in accordance with the recommendations of the project biologist and landscape architect.

Based on the above, it is our opinion that the planned residential project at 1170 Signal Hill Road as currently designed will mitigate the potential for erosion at the site. This applies to the construction period as well since we understand construction activities will be confined to the limits of the undisturbed dune line specified for the development, and disturbed areas and temporary slopes will be winterized as recommended in the geotechnical report.

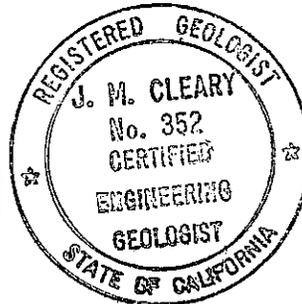
We have provided our services in accordance with generally accepted geotechnical engineering principles and practice. No other warranty is implied.

We appreciate the opportunity to have been of continued service to you on this project. If you have any questions regarding this letter, please call.

Very truly yours,

CLEARY CONSULTANTS, INC.


J. Michael Cleary
Engineering Geologist 352
Geotechnical Engineer 222



JMC:cm

Copies: Addressee (1)
Bill Bernstein AIA (3) Attn: William Bernstein
Whitson Engineers (1) Attn: Michael Baldi

CLEARY CONSULTANTS, INC.

November 23, 2011
Project No. 1301.1
Ser. 3456

Ms. Massy Mehdipour
1425 Dana Avenue
Palo Alto, CA 94301

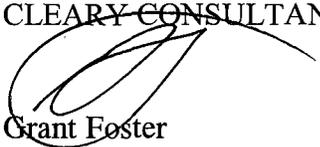
**RE: DRILLING OF SOIL BORINGS FOR GEOTECHNICAL INVESTIGATION
NEW RESIDENCE
1170 SIGNAL HILL ROAD
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA**

Dear Ms. Mehdipour:

This is to confirm that the soil borings drilled in February, 2010 for your planned new residence did not result in disturbance to the dune. The borings were drilled with a track-mounted auger rig requiring no grading or removal of vegetation; and were backfilled with the native sandy soil.

Please contact our office if you have any further questions regarding this matter.

Yours very truly,
CLEARY CONSULTANTS, INC


Grant Foster
Geotechnical Engineer 2662




J. Michael Cleary
Geotechnical Engineer 222



GF/JMC:pf
Copies: Addressee (1)
Bill Bernstein AIA (2) Attn: William Bernstein

APPENDIX F

Connell House Structural Evaluation



19 September 2016

Ms. Emily Creel
SWCA Environmental Consultants
1422 Monterey Street, C200
San Luis Obispo, CA 93401

Project 167218 – Structural Evaluation of the Arthur and Kathleen Connell House,
1170 Signal Hill Road, Pebble Beach, CA

Dear Ms. Creel:

1. INTRODUCTION

1.1 Background

The building at 1170 Signal Hill Road, Pebble Beach, California is a single family residence constructed on a coastal bluff overlooking the Spyglass Ridge golf club and the Pacific Ocean. Architect Richard Neutra designed the two-story house in 1957. In 1993, architect Edward Hicks designed a small addition at the southwest corner of the building's upper story. Recently, the building has fallen into disrepair and has also been vandalized. The present building owner has applied to demolish the structure in order to construct a new, larger residence on the site. In 2014 the National Park Service determined that the building is eligible for inclusion in the National Register of Historic Places¹. Preservation interest groups have protested the proposed demolition permit on the grounds that the building is an important historic resource. The property owner counters that as a result of the building's deteriorated condition, it is unsafe, impractical to repair, and that it constitutes a public nuisance and safety hazard. SWCA Environmental Consultants retained Simpson Gumpertz & Heger Inc. (SGH) on behalf of Monterey County to provide an independent opinion as to the building's present condition and the feasibility of repair.

1.2 Objective

The objective of our investigation is to determine the building's structural condition, its safety, and to render an opinion as to whether the structure can be practically repaired and restored, or moved onto another site.

1.3 Scope

Our investigation included the following tasks:

1. Reviewed available documentation on the building's construction and condition including: structural and architectural drawings; applications for historic registration;

¹ https://www.ps.gov/nr/feature/places/DO_14000304.htm

letters filed by various parties related to the application for demolition permit' and historic photographs.

2. Conducted a site visit to observe and record the structure's condition.
3. Perform limited structural calculations to characterize the structure's strength and adequacy to meet applicable building code requirements.
4. Form an opinion as to the structure's present condition and the feasibility of repair.
5. Prepare this letter report documenting our investigation and our findings.

2. DOCUMENT REVIEW

2.1 Drawings

We reviewed the following drawings:

- Richard J. Neutra, Architect, "Residence for Mr. & Mrs. Arthur Connell, 1170 Signal Hill Road, Pebble Beach, California" sheets 1, 3, 6, 7 and 8; dated July, 1957.
- Edward W. Hicks, Architect, "Addition to the Residence of Mr. & Mrs. Clifford Mettler, 1170 Signal Hill Road, Pebble Beach, Cal", sheets 1 – 6, dated July, 1992.

The Neutra drawings show that the two-story structure is constructed with the first story partially embedded into the coastal bluff which slopes downward from the east to the west, exposing the west side of the first story, which faces the ocean. The first story is essentially rectangular in plan and housed three bedrooms, one full and two half bathrooms, a sitting room, and mechanical equipment. The upper floor is U-shaped, surrounding an open courtyard, with the open face of the "U" facing east and enclosed by a grape stake privacy screen. The south wing includes a garage and storage area, the west wing, which sits atop the first level, housed a kitchen, half bath, photographic dark rooms, dining room and living room. The north wing housed the stairway to the lower level and a den. An elevated deck extends off the building's upper level west face, and extends to the north over the basement. Figure 1 is a schematic plan.

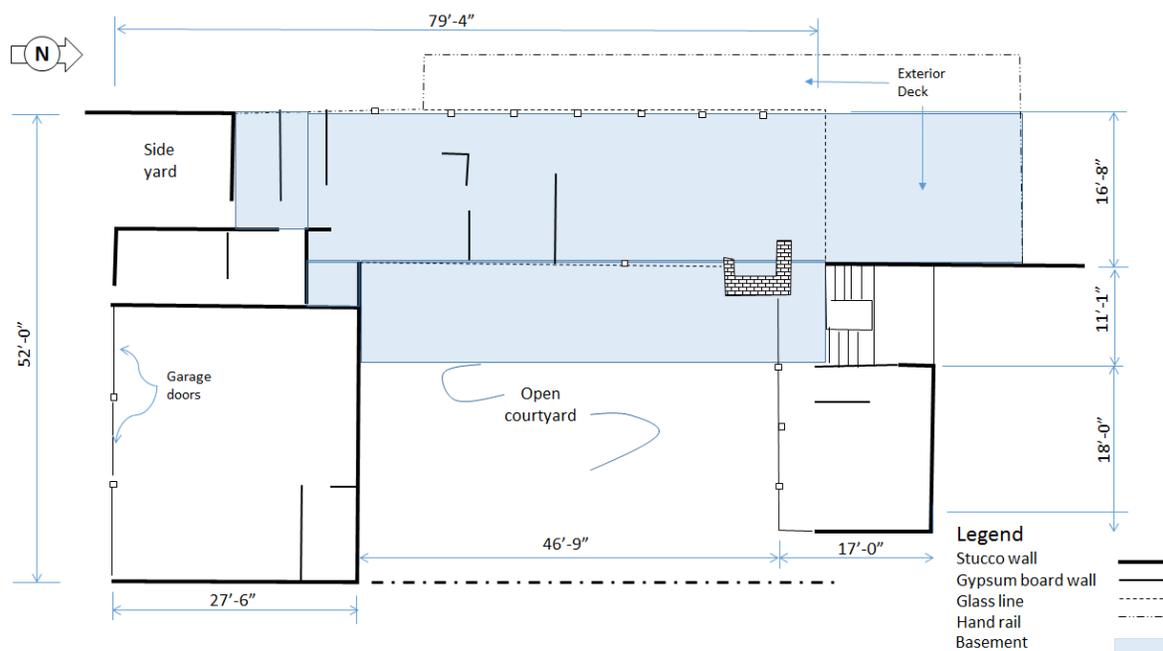


Figure 1 – Schematic layout, upper level

Neutra drawing 3 shows much of the structural framing. Generally, this shows that the main floor is composed of two rows of east-west extending sawn wood joists. The joists are supported by a shallow concrete strip footing at the east side, a north-south extending wood framed wall at the east end of the habited portion of the lower level and a line of posts with a line of 4x10 wood lintels at the west face. The floor joists cantilever over the post-supported 4x10 to form the cantilevered deck on the west side.

Foundations consist of concrete strip footings beneath the walls and small, shallow piers beneath posts. Each strip footing has a pair of longitudinal reinforcing bars at mid-depth, but no transverse bars. Concrete walls that extend from the shallow footings, to just above grade are unreinforced. Piers beneath posts are unreinforced. The drawings show that anchor bolts are provided between the sill plates at the base of the wood walls, however, neither the size nor spacing is called out. Structural sheathing is not called out for the wood walls.

The Hicks drawings show the addition of a small, 220 sq ft room infilling the yard at the upper level's southwest corner. This light wood framed structure is self-supporting, with new walls adjacent to and outside the building's original exterior walls. The south wall, and a portion of the east wall are founded on a masonry grade wall supported by a strip concrete footing. The remaining sides of the addition, constructed adjacent to the original building's walls are supported on spaced concrete piers. The first floor is hardwood flooring over 3/4 in. plywood. The drawings do not call out the roof sheathing.

2.2 National Register Registration Form

We reviewed a registration form for listing the property on the National Register of Historic Places prepared by Mr. Anthony Kirk of Santa Cruz, California and Ms. Barbara Lamprecht of Pasadena, California, dated 15 January 2014. The report includes several photographs of the property, attributed to the original owner, Mr. Arthur Connell, in 1958. The documentation primarily

discusses the properties significance as an important example of an International style home, designed by a renowned architect.

2.3 Reports by Others

We reviewed a report entitled "Response and Rebuttal to Comments by Circa: Historic Property Development and Bill Bernstein, AIA On and Evaluation of the Connell House Pebble Beach, California Recorded by Anthony Kirk, PhD 15 October 2010" prepared by Mr. Anthony Kirk, of Santa Cruz, California, dated 12 March 2012. The report is apparently a rebuttal of claims made by consultants retained by the present building owner, disputing the historic importance of the structure. The report notes that at the time of writing, the house is in poor to fair condition. The report includes a number of photos of the building annotated as having been taken on 5 October 2010. These are reproduced here as photos 1 through 4 to illustrate the building's condition at that time.

As seen in these photos, at the lower level, the building's west face and north face are enclosed with glazed walls. Solid walls are present at the northeast and southwest corners. At the upper level, the inner courtyard walls are also enclosed by glazing.

2.4 Photos by Others

We reviewed a series of three photos provided by SWCA, showing the building in a substantially deteriorated state relative to those contained in the Kirk report.

Photo 5 shows that one or more posts supporting the 4x10 along the west face of the building's upper level have either been removed or failed, allowing the northwest corner of the deck to drop. Windows at the lower level have been removed and Oriented Strand Board (OSB) sheathing has been placed at the openings, then removed. A portion of this sheathing can be seen still partially attached. Upper windows and curtains can still be seen at the upper level.

Photos 6 and 7 show extensive damage to finishes at the lower level. Portions of gypsum board partitions and ceilings are laying on the floor. Some interior doors have been removed. Some framing for the upper floor has evidently been taken down or fallen.

3. FIELD VISIT

Mr. Ronald Hamburger of Simpson Gumpertz & Heger Inc. visited the site on 30 August 2016 accompanied by Ms. Massy Mehdipour, the building owner. Ms. Mehdipour provided access to the building interior and exterior. We observed that the building has been partially demolished and is in very poor condition structurally. Shoring has been installed throughout the lower level to maintain the building in stable condition. Specific observations include the following:

1. Exterior shoring consisting of untreated wood posts, headers and cross braces have been installed beneath the west edge of the cantilevered deck, raising the previously collapsed section back into approximate alignment. The shoring system does not appear to be engineered. Posts bear directly against site paving. Framing attachment is made with nails. (Photo 8).
2. Exterior windows have been removed from the lower level. Openings are enclosed with lightly nailed OSB with building paper on the exterior (Photo 8).

3. The deck along the western edge of the upper level is misaligned and sagging (Photo 9). The original steel railing is extensively corroded and had excessive spacing of rails and posts. Some replacement wood handrail posts are poorly attached and failing. (Photo 10).
4. Wood deterioration is evident in framing at the northwest corner of the deck (Photos 11 and 12). This is likely due to impact damage in the collapse.
5. Framing deterioration is evident in the fascia beam at the deck edge (Photo 13).
6. Stucco at the top of the north buttress wall has been removed where the wall abuts the building (Photo 14). This appears related to the earlier collapse, now temporarily repaired of the deck at the northwest corner (Photo 5).
7. The upper level interior has been gutted. Most interior partitions have been removed. Much of the plywood sheathing on the first floor has been removed and other sheets are laying loose across the joists. Many windows have been removed, and replaced with OSB (Photo 15). The ceiling, and few gypsum board wall finishes have been removed in the original building, but remain in place in the addition (Photo 16).
8. Many of the floor joists along the west (Photo 17) and east (Photo 18) sides of the upper level have been sawn through and are no longer effectively supported by the original wall lines. Shoring below provides support (Photo 19). Along the east side, this shoring has raised the joist edges above their original level.
9. Temporary framing, installed at the north window wall at the upper level has failed, and been reinforced with a sister 2x member (Photo 20).
10. Gypsum sheathing in the upper level north wing has been removed as have windows, electrical wiring and fixtures, and, the ceiling. Diagonal wood roof sheathing and joists are evident (Photo 21). Exposed building paper, serving as backing for stucco, and let-in braces are evident in the northeast corner of the den (Photo 22).
11. Much of the original first level framing has been removed. Some of the few remaining posts and joists show deterioration due to water damage (Photo 23).
12. Many interior partitions in the lower level have been removed, as have all finishes (Photo 24). The upper level floor rests on two rows of shoring, running north-to-south.
13. Many of the original posts along the west wall of the lower level have been removed. The 4x10 framing is supported on newly installed 2x4 shores (Photo 25).
14. Water-related staining and deterioration is evident on the diagonal sheathing beneath the first floor (Photo 26).
15. Portions of the mechanical duct that remain are corroded (Figure 27). In mechanical areas of the lower basement, no floor slab is present.
16. Cantilevered pipe columns supporting the grape stake fence along the east side of the courtyard have corroded through at their bases (Photo 28) and the corrosion has spalled

the concrete curb wall they are mounted in. One support pipe has been removed (Photo 29).

4. CALCULATIONS

We performed a preliminary seismic evaluation of the building using the ASCE 31-03 Tier 1 procedures. ASCE 31-03 is a standardized methodology commonly recognized in the industry as a means of determining whether a building meets an acceptable minimum standard of earthquake safety. This standard is consistent with the performance intent of Section 8-801 of California Code of Regulations Title 24, Part 8, otherwise known as the California Historic Building Code. It includes three levels of procedures, termed Tier 1, Tier 2 and Tier 3. The Tier 1 procedures are the simplest of the three levels and consist of evaluating the building using a series of checklists that identify the presence of features known to have caused poor performance in other buildings in past earthquakes, together with quick approximate calculations to characterize a building's strength. For the purpose of this evaluation we assumed that the building had been restored to its original condition, with the 1993 addition, but without any of the damage or deterioration reported above, or any structural upgrades or enhancements.

We determined that the building has the following deficiencies:

1. The walls do not provide adequate strength to resist the specified seismic forces.
2. Several of the upper level walls are discontinuous, i.e., they land on floor joists and are not supported on walls below.
3. The primary lateral resistance for the building is provided by cement plaster (stucco) on the exterior walls finish plaster on interior walls. This is not permitted for buildings exceeding one story in height.
4. Wood framing along the building's north side does not appear to be anchored to the building foundations.
5. Some framing members supported on posts and walls do not have positive connections to the post or walls.
6. Framing members at the edges of diaphragms are not provided with continuity hardware to resist chord and drag forces.
7. Three walls of the 1993 addition are supported on raised piers rather than a continuous strip footing. There is no detailing indicating positive attachment to the adjacent original structure.

5. DISCUSSION

5.1 Present Condition

5.1.1 Original Building

As evident from the photographs attached hereto, and our on-site observations, the original building is presently in very poor condition and is no longer capable of self-support. Essentially all interior finishes, including ceiling and wall finishes have been removed as has much of the

plumbing, electrical and heating utilities. Interior partitions have been removed at both levels. Glazing, and in some cases, window framing is missing from many exterior openings. A large portion of the exterior plaster has been broken and/or removed from the north buttress wall. Much of the structural sheathing has been stripped from the upper level floor and many of the wood joists have been cut along both lines of support. Some of the first level framing has experienced fungal rot associated with long term exposure to water. Some exterior framing is weathered, split and deteriorated beyond further use. Original steel handrails along the edge of the exterior deck have corroded and replacement wood railings are not well attached and are in danger of failing.

The building is presently erect only because of the presence of temporary wood shoring installed beneath the exterior deck along the building's west side, and also adjacent to the inside faces of the first story exterior walls. All exterior windows facing the ocean on the north and west sides of the building's lower story and some window openings on the north and east sides of the upper story are closed with OSB sheathing supported by occasional 2x4 posts. Building paper has been placed on the exterior surface of the window closures. This building paper is torn in some locations and has come loose in others. Portions of the exterior stucco walls that have damage have been temporarily "weatherproofed" with the installation of plastic sheeting, adhered with tape.

The shoring and protection that has been put in place is at best a short term solution. Closures in the large ocean-fronting windows do not have adequate structural framing support and are not adequately attached to the building frame. A severe winter storm could fail these closures allowing wind and wind-borne water and sand to enter the building. In fact, one post, located at the north face of the upper level has previously failed and been replaced with a post having only half the strength of the original.

Global stability of the structure is a greater concern. With much of the floor sheathing removed from the upper level, there effectively is no diaphragm at this level at this time. As a result there is no load path available for wind or seismic loads in the east-west direction. This could lead to collapse. Beyond the lack of a second level diaphragm, the shoring installed beneath the upper floor level, to hold the structure in place now that the joists have been cut, has not been designed for lateral force resistance. While cross bracing is present, the attachment of the braces to the framing consists of a few nails at each joint. Neither braces nor columns are positively attached to the ground. Strong winds or earthquakes could cause failure of these braces.

Present weather protection is likely to deteriorate rapidly with time. The building paper used to provide water protection for sheathing on window openings is subject to mechanical damage from wind or vandals and will require periodic maintenance. Even if maintained this protection does not fully seal the building against moisture intrusion and some damage due to such intrusion is already present. Uncoated, exposed wood shoring on the building's west face will deteriorate with exposure to the weather.

Our preliminary seismic evaluation indicates that even prior to partial demolition and vandalism, the building likely did not conform to currently accepted levels of seismic safety. While a more detailed evaluation may indicate that some of the deficiencies we identified are not of significance, we recommend a seismic upgrade be included as part of any attempted rehabilitation of the property.

5.1.2 Addition

The 1993 Addition appears to be in reasonable condition. Most interior and exterior finishes on this small structure appear to remain intact.

5.2 Reconstruction

Restoration of the structure, while technically feasible, would likely entail an effort comparable to the structure's original construction. We judge that the following existing features of the original building could be incorporated into a reconstruction:

- Most portions of the foundation system.
- The lower level floor slab.
- Most of the exterior stucco walls at the lower level and some at the upper level.
- Structural roof framing.
- Those original window frames that remain in place.
- Masonry fireplace.
- First floor framing in the north wing.

Reconstruction would require either removal or shoring of the above elements in place. The following elements would need to be replaced with new materials, many of which could be similar to the original construction:

- Portions of the foundation where new embedded items are required, or where larger resistance is required to provide resistance to wind and/or seismic forces.
- New structural sheathing, hold-downs and anchor bolts will be required on exterior walls to allow them to serve as shear walls. Sheathing can be placed on the interior face.
- The upper level floor system in the west wing, including the cantilevered deck and handrail will need to be replaced in its entirety. Since stacked construction is used, with the upper story walls constructed atop the upper floor platform framing, reconstruction of this floor will require dismantling of the upper level walls in this area, and replacement or reconstruction.
- All partitions will require reconstruction.
- New interior finishes including walls and ceilings.
- New windows and frames, particularly at the lower level where the window system was integral with structural support for the upper level.
- New plumbing, ductwork and electrical wiring.

- New fixtures including sinks, toilets, and baths.
- New cabinetry and millwork.
- Reframing work may require reroofing the structure.
- Grape stake fence at courtyard.

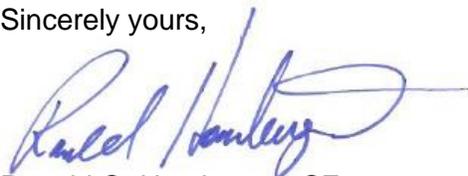
5.3 Relocation

We understand that one potential strategy under consideration for the environmental impact report is to relocate the building to an alternative site. In our opinion the building, in its current form, has inadequate structural integrity to permit such relocation as well as a poor configuration. Impediments to such relocation include the lack of either a competent horizontal diaphragm or vertical load carrying system at the upper level. A second challenge to relocating the building is the fact that it is partially constructed into the side of the bluff. As such, it does not have first story walls along the first story east face. Prior to relocating the building it would be necessary to under pin the upper story, along the east side, with new structural framing. It would then be necessary to carve an access road into the bluff, at shallow grade, to allow trailers to be placed under the building, and for transporting the building off the site.

6. CONCLUSIONS

On the basis of our limited investigation, the building at 1170 Signal Hill Road, Pebble Beach, California, though presently stable in the absence of severe winter storms or earthquakes, is unsafe for occupancy. Further, the structure's condition will continue to deteriorate under the influence of the wind and rain. Restoration of the building, though possible, would require substantial reconstruction, as described above. Relocation of the building to an alternative site is impractical. We recommend abatement of the structure, either through demolition, repair, or more thorough and permanent stabilization, as a public nuisance.

Sincerely yours,



Ronald O. Hamburger, SE
Senior Principal
CA License No. 2951

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Encl. Photos



Photo 1
Kirk photo of building's north
side, looking southwest,
5 October 2010.



Photo 2
Kirk photo of northwest
corner looking southeast,
5 October 2010.



Photo 3
Kirk photo of southeast corner, looking northwest, 5 October 2010.



Photo 4
Kirk photo of inner courtyard, looking towards northwest, 5 October 2010.



Photo 5
SWCA photo looking north
along the building's west
face.



Photo 6
SWCA photo looking east
from the lower level, west
side.



Photo 7
SWCA photo looking east
from building's lower level,
west side.



Photo 8
Exterior shoring present
under west edge of deck.



Photo 9
Sagging deck and handrail
along upper level west face.



Photo 10
Rusted steel hand rail posts
and wood replacement posts
that are failing in some
locations.



Photo 11
Framing deterioration is evident at the northwest corner of the deck.



Photo 12
Framing deterioration at northwest corner of deck.



Photo 13
Deterioration and splitting at
deck edge.



Photo 14
Damaged stucco at north
buttress wall, adjacent to
house.



Photo 15
The interior of the upper level has been gutted with much of the flooring removed.



Photo 16
Finishes removed around the upper level bath, but still in place in the addition, visible to the rear left.

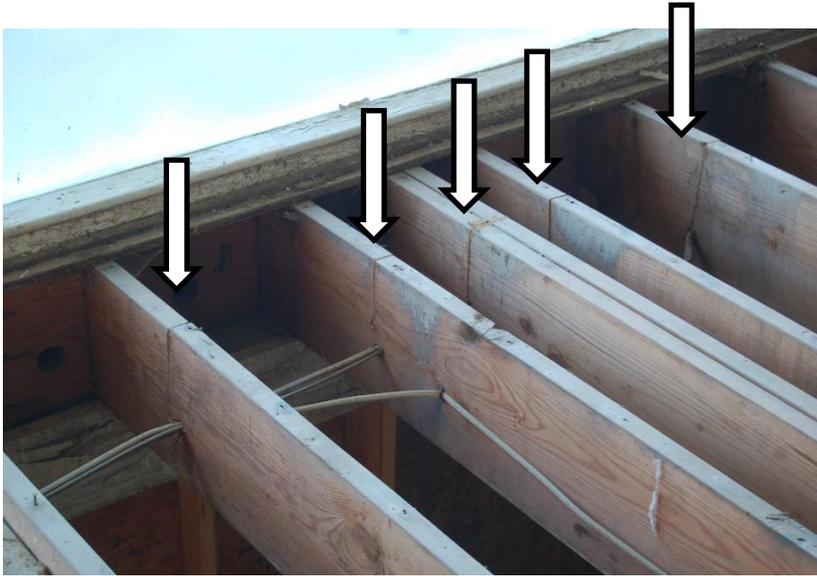


Photo 17

Floor joists along the upper level west side have been saw cut adjacent to the supporting wall.



Photo 18

Floor joists along the upper level east side have been sawn through and displaced vertically by the shoring below.



Photo 19
Upper level floor framing, saw cut at both ends and supported by shoring below.



Photo 20
Failed shoring post placed at upper level north windows. New 2x member is placed adjacent to failed members.



Photo 21
Demolished finishes in the
upper level north wing.



Photo 22
Interior view of upper level
northeast corner.



Photo 23
Water staining and damage
to wood framing at lower stair.



Photo 24
Lower level has been gutted
of all finishes and the upper
level floor is supported on two
rows of wood shores.



Photo 25

Many of the original lower level support posts have been removed. The outer line of 4x10 beams are supported by 2x4 shores.



Photo 26

Water staining and deterioration on diagonal wood sheathing and upper level floor framing.



Photo 27
Rusted ventilation system ducts. Note that floor slab is not present in mechanical areas.



Photo 28
Hole at base of cantilever pipe fence support and spalling of concrete curb.



Photo 29
Location of removed fence support post.