

Appendix D

Historical Resources Report

Historical Resources Report
2145 Sacramento Street
2136 Bay Street
2159 Bay Street
Los Angeles, CA



May 2022

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I. INTRODUCTION AND EXECUTIVE SUMMARY

This technical report evaluates potential impacts of the proposed development project (proposed project) on historical resources. The proposed project is located at 2145 Sacramento Street (Assessor Parcel Number 5166-005-008), 2136 Bay Street (Assessor Parcel Number 5166-005-010) and 2159 Bay Street (Assessor Parcel Number 5166-001-002) in the Arts District neighborhood and Central City North Community Plan Area of Los Angeles, California (“subject properties” or “properties”). Each of the three subject properties contains one industrial building. The building located at 2145 Sacramento Street was constructed circa 1923,¹ while the building located at 2136 Bay Street was constructed circa 1941, and 2159 Bay Street was constructed in 1924.²

Discussion of the regulatory setting, including a summary of historic preservation law and policies at the federal, state and local levels is followed by an in-depth historic resource assessment of the subject properties. The City of Los Angeles’ Office of Historic Resources recently completed a citywide historic resource survey known as SurveyLA. A historic context statement was prepared for industrial development in the City of Los Angeles³ and in 2016, SurveyLA made available results of the historic resources survey of the Central City North Community Plan Area.⁴ The subject properties were not identified as potential historical resources in SurveyLA, neither individually nor as part of any potential historic district. In addition, the subject properties have never been previously surveyed for historic or architectural significance. This report concludes that the buildings are not eligible for listing in the National Register of Historic Places (National Register), California Register of Historical Resources (California Register), or as City of Los Angeles Historic Cultural Monuments (HCMs).

Following the assessment of the subject properties, this technical report considers direct and indirect impacts of the proposed project, a complex of three, new buildings, on nearby historical resources. The report concludes that the proposed project does not appear to have any direct or indirect impacts on historical resources. It is located nearby, but not immediately adjacent, to a few historical resources, but it does not appear possible that the project, given its scale and massing and relationship to those properties, could impact their historic settings or other character-defining features. Finally, this report considers cumulative impacts with other nearby proposed projects and concludes the proposed project will not cause any cumulative impacts. The proposed project will have a less than significant historical resources impact under CEQA.

¹ Los Angeles County, Office of the Assessor, “Property Assessment Information System,” http://maps.assessor.lacounty.gov/GVH_2_2/Index.html?configBase=http://maps.assessor.lacounty.gov/Geocortex/Essentials/REST/sites/PAIS/viewers/PAIS_hv/virtualdirectory/Resources/Config/Default.

² City of Los Angeles, Department of Building and Safety, “Application to Alter, Repair, or Demolish,” Permit #17886, April 11, 1924.

³ LSA Associates, Inc., “SurveyLA: Los Angeles Citywide Historic Context Statement Historic Context Statement; Industrial Development,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2011, revised February 2018.

⁴ Historic Resources Group, “SurveyLA: Historic Resources Survey Report; Central City North Community Plan Area,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Preservation, September 2016.

II. QUALIFICATIONS

This report was prepared by Jenna Snow with research assistance and editorial support provided by Leslie Heumann and Kathryn McGee.

Jenna Snow

In January 2015, Jenna Snow launched an independent historic preservation consulting practice with an office in Los Angeles. With nearly twenty years of professional experience, Ms. Snow has a strong and broad understanding of best historic preservation practice, including federal, state, and local regulations. She has worked on a wide range of projects on both the east and west coasts, as well as internationally. Ms. Snow holds a M.S. in Historic Preservation from Columbia University and a B.A. in Fine Arts focusing on architectural history from Brandeis University. She meets the Secretary of the Interior's Professional Qualifications Standards in Architectural History. Throughout her career, Ms. Snow has authored, co-authored, and/or served as project manager for nearly 100 historic preservation projects, including a wide variety of historic resource assessments, National Register nominations, and historic resources surveys. She regularly contributes to environmental impact reports, historic preservation certification applications, Section 106 reviews and other work associated with historic building rehabilitation and preservation planning. Ms. Snow has prepared multiple National Register nominations, including the Twohy Building in San José, CA; the Beverly Hills Women's Club in Beverly Hills, CA; the Sam and Alfreda Maloof Compound in Rancho Cucamonga, CA; the Boyle Hotel/Cummings Block in Los Angeles, CA; the West Los Angeles Veterans Affairs Historic District in Los Angeles, CA, and Temple Ohave Israel in Brownsville, PA. She has completed historic resources surveys, including coauthoring historic context statements in Hollywood, Whittier, CA, and South Los Angeles. Prior to her consulting work, Ms. Snow worked for the New York City Department of Design and Construction in New York, NY, the Freedom Trail Foundation in Boston, MA, and the Neighborhood Preservation Center in New York, NY.

Leslie Heumann

Ms. Heumann is an architectural historian with nearly 40 years of experience in all aspects of historic resources evaluation, documentation, preservation, and planning. She has extensive experience in the coordination of cultural resources surveys, assessment of historic significance, and preparation of documentation to support the California Environmental Quality Act (CEQA), the National Environmental Policy Act (NEPA), and the National Historic Preservation Act (NHPA). Additional areas of expertise include application of the Secretary of the Interior's Standards for the Treatment of Historic Properties, preparation of Historic American Buildings Survey (HABS) documents, National Register of Historic Places and other registration program applications, and historic school modernization issues. Over the course of her career, Ms. Heumann has participated in historic resources projects in eight western states. Ms. Heumann satisfies the Secretary of the Interior's Professional Qualification Standards as an Architectural Historian. Currently, Ms. Heumann is an independent consultant specializing in a range of historic preservation services.

Kathryn McGee

Ms. McGee is an architectural historian and historic preservation planner based in Los Angeles. She has over ten years of experience in the field of historic preservation consulting and launched an independent practice in 2015. Her educational background includes a Bachelor of Arts degree in architectural history from the University of California, Santa Barbara and a Master of Urban and Regional Planning degree from the University of California, Irvine. She has also completed the Summer Program in Historic Preservation at the University of Southern California and is a LEED Accredited Professional with specialty in Neighborhood Development. Her consulting work entails

writing reports for purposes of environmental and local project review; preparation of historic resource assessments and surveys; preparation of technical reports for General Plan Updates; evaluation of properties seeking or complying with Mills Act Contracts; and consultation on adaptive reuse and federal Investment Tax Credit projects.

III. METHODOLOGY

Jenna Snow visited and photographed the site and immediate surroundings on July 20, 2016. She visited nearby identified historic properties in July 2019. The subject properties have not been previously surveyed and are not included in the California State Historic Property Data File updated to 2011. Nor were the subject properties identified in SurveyLA as appearing individually eligible for designation. Research was conducted in August through October 2016 and included the following primary resources: original building permits and alteration permits from the City of Los Angeles Department of Building and Safety; historic newspaper articles from the *Los Angeles Times*; historic aerial photographs; and historic Sanborn Fire Insurance maps. Secondary sources include context statements and findings from SurveyLA contained in the following reports:

LSA Associates, Inc., “SurveyLA: Los Angeles Citywide Historic Context Statement Historic Context Statement; Industrial Development,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2011, revised February 2018.

Historic Resources Group, “SurveyLA: Historic Resources Survey Report; Central City North Community Plan Area,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Preservation, September 2016.

IV. REGULATORY SETTING

Federal

National Register of Historic Places

The National Register of Historic Places is “an authoritative guide to be used by federal, state, and local governments, private groups, and citizens to identify the nation’s cultural resources and indicate what properties should be considered for protection from destruction or impairment,”⁵ Administered by the National Park Service, the National Register is the nation’s official list of historic and cultural resources worthy of preservation. Properties listed in the National Register include districts, sites, buildings, structures, and objects that are significant in American history, architecture, archaeology, engineering, and culture. Resources are eligible for the National Register if they meet one or more of the following criteria for significance:

- A) are associated with events that have made a significant contribution to the broad patterns of our history; or
- B) are associated with the lives of significant persons in our past; or
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D) have yielded or may be likely to yield, information important in history or prehistory.⁶

Once a resource has been determined to satisfy one of the above criteria, then it must be assessed for “integrity.”⁷ Integrity refers to the ability of a property to convey its significance. Evaluation of integrity is based on “an understanding of a property’s physical features and how they relate to its significance.” The National Register recognizes seven aspects or qualities of integrity: location, design, setting, materials, workmanship, feeling, and association. To retain integrity, a property must possess several, and usually most, of these aspects.

Relationship to Project

None of the properties are listed in the National Register and, for the reasons stated below, none of the properties appear to meet National Register eligibility requirements.

State

California Register

Based substantially on the National Register, the California Register is “an authoritative guide... used by state and local agencies, private groups, and citizens to identify the state's historical resources and to indicate what properties are to be protected.”⁸ For a property to be eligible for listing in the California Register, it must be found by the State Historical Resources Commission to be significant under at least one of the following four criteria:

- 1) is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage; or

⁵ National Register Bulletin #16A: *How to Complete the National Register Registration Form* (National Park Service, 1997).

⁶ National Register Bulletin #15, *How to Apply the National Register Criteria for Evaluation* (National Park Service, 1990, revised 2002).

⁷ National Register Bulletin #15, *How to Apply the National Register Criteria for Evaluation* (National Park Service, 1990, revised 2002).

⁸ California Public Resources Code §5024.1(a), <http://codes.lp.findlaw.com/cacode/PRC/1/d5/1/2/s5024.1>.

- 2) is associated with the lives of persons important in our past; or
- 3) embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values; or
- 4) has yielded, or may be likely to yield, information important in prehistory or history.

Also included in the California Register are properties which have been formally determined eligible for listing in, or are listed in the National Register; are registered State Historical Landmark Number 770, and all consecutively numbered landmarks above Number 770; and Points of Historical Interest, which have been reviewed and recommended to the State Historical Resources Commission for listing.

The primary difference between eligibility for listing in the National and California registers is integrity. Properties eligible for listing in the National Register generally have a higher degree of integrity than those only eligible for listing in the California Register. There is, however, no difference with regard to significance.

Relationship to Project

None of the properties are listed in the California Register and, for the reasons stated below, none appear to meet California Register eligibility requirements.

California Environmental Quality Act (CEQA)

The purpose of CEQA is to evaluate whether a proposed project may have an adverse effect on the environment and, if so, if that effect can be reduced or eliminated by pursuing an alternative course of action or through mitigation. *Guidelines for California Quality Act* (CEQA Guidelines) are the regulations that govern the implementation of CEQA. CEQA Guidelines are codified in the California Code of Regulations (CCR), Title 14, Chapter 3, § 15000 et seq. and are binding on state and local public agencies. The basic goal of CEQA is to develop and maintain a high-quality environment now and in the future.

CEQA defines a historical resource as:

a resource listed in, or determined eligible for listing in, the California Register of Historical Resources. Historical resources included in a local register of historical resources..., or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, are presumed to be historically or culturally significant for purposes of this section, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant (California Public Resources Code, PRC §21084.1).

Relationship to Project

As the subject properties do not appear eligible for listing in the National or California Registers nor are they eligible as City of Los Angeles Historic Cultural Monuments or historic district contributors, they are not historical resources for purposes of CEQA.

City of Los Angeles

There are two categories of local designation for historically significant properties in Los Angeles. Properties may be designated for their individual significance as Historic-Cultural Monuments (HCM) and/or may be included in a Historic Preservation Overlay Zone (HPOZ) if significant as part of a grouping of resources. HCMs and contributors to HPOZs are historical resources under

CEQA. §22.171.7 of Los Angeles Administrative Code defines criteria for designation of a Historic-Cultural Monument as any site, building, or structure of particular historical or cultural significance to the City of Los Angeles, such as historic structures or sites that:

- 1) are identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
- 2) are associated with the lives of historic personages important to national, state, city, or local history; or
- 3) Embody the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

While National and California register criteria apply to individual sites as well as districts, local historic district criteria are contained in separate legislation. According to §12.20.3 of the Los Angeles Municipal Code, which became effective on May 12, 2004, a Historic Preservation Overlay Zone (HPOZ) “is any area of the City of Los Angeles containing buildings, structures, landscaping, natural features or lots having historic, architectural, cultural or aesthetic significance and designated as a Historic Preservation Overlay Zone.” Contributing resources must meet at least one of the following criteria:

1. adds to the historic architectural qualities or historic associations for which a property is significant because it was present during the period of significance, and possesses historic integrity reflecting its character at that time
2. owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or city
3. retaining the building, structure, landscaping, or natural feature, would contribute to the preservation and protection of an historic place or area of historic interest in the City.

Relationship to Project

The subject properties are not individually listed as HCMs, and, for the reasons stated below, none appear to meet HCM eligibility requirements. This area of the Arts District is not a designated HPOZ and does not appear to meet HPOZ criteria. While a potential historic district is located about 1/3 of a mile to the northwest, the subject property has not ever been surveyed as appearing eligible as part of any HPOZ.

V. IDENTIFICATION OF HISTORICAL RESOURCES

Physical Description

Site (Maps 1-3)



The three subject properties are located in the Arts District neighborhood of Los Angeles, south and east of Downtown, north of the I-10 freeway, and immediately west of the Los Angeles River. The three properties are located at the termini of Sacramento and Bay streets, both of which dead-end at this point. 2145 Sacramento Street and 2136 Bay Street are located adjacent to each other with a rail right-of-way between them, as well as a remnant tracks of a rail spur. 2159 Bay Street is located at a 45-degree angle to 2136 Bay

Street. Both Sacramento and Bay streets are narrow, with one- and two-story industrial buildings lining both sides of the street. Most buildings are constructed up to the sidewalk line. There are no street trees or any other type of planned landscaping; the only greenery are volunteer plantings coming up from sidewalk cracks. There are no sidewalks on the south side of Bay Street. Cars on Sacramento Street park perpendicular to the street on the south side. The Burlington Northern Santa Fe (BNSF) rail yard is located immediately east of the subject properties and the Los Angeles River is east of the rail yard.

2145 Sacramento Street

Exterior (Figures 1-8)



2145 Sacramento Street, view northeast (Snow, 2016)

Located on the north side of Sacramento Street, 2145 Sacramento Street is a one-story high industrial building with a flat roof. A raised parapet steps up toward the center of the building. The masonry building has a plan that is generally a right-angle trapezoid. Brick is laid in common bond. South and east elevations have painted brick walls.

The primary, south elevation faces Sacramento Street. The elevation has a smooth stucco base of varying height and has eleven, unequally spaced, and somewhat randomly expressed, bays. A simple string course above the windows is articulated with a course of header

bricks. Visible seismic through-bolts are located along the roof line and above or along a string course above the windows. None of the doors or windows are original. At the west side of the elevation, there is a pedestrian entrance with a tall glass transom. The door is covered by a contemporary security door while the transom window is covered by metal security bars. The second bay from the west contains a loading dock, covered by a contemporary, metal, roll-up door. The third and fourth bays from the west both contain large openings, ample for a truck to drive into the building. These bays are also covered by contemporary, metal, roll-up doors. The fifth bay is the

same size as the second bay, but contains a large window opening with fixed, aluminum sash. The sash is divided horizontally into six lights. The sixth bay, roughly in the center of the elevation, contains a slightly inset door topped by a transom. The seventh bay contains a large window opening with fixed, aluminum sash with six lights, similarly arranged as the sixth bay. The eighth bay contains a deeply inset, contemporary aluminum and glass main entry door. The single door is sided by a fixed side light of an equal size and a glass transom. A fixed window is located adjacent at the sidewalk line. To the east of the main entry door, in the ninth bay, is a large window opening with fixed, aluminum sash with six lights similarly arranged divisions as the sixth bay. The two bays at the east side of the elevation contain a large, single light, fixed aluminum sash window and a slightly inset door with a glass transom.

The east elevation is unarticulated. There are three rows of visible seismic through-bolts in the upper portion of the elevation. Corner bricks are toothed into the north elevation. The east side of the north elevation curves slightly to the south with the parapet stepping up and down along the elevation. The north elevation also has three rows of visible seismic through-bolts. A contemporary opening at the east side of the elevation is inset and edged by reinforced concrete. An opening toward the west side of the elevation has an arched brick opening and a wood door with three, two over two windows at the top. The door operates by sliding horizontally along a track on the interior. Additional openings along the north elevation consist of contemporary aluminum and glass paired doors with sidelights and transoms. One is arched while the other is square. The west elevation is not visible due to an adjacent building that almost abuts it.

Interior (Figures 9-14)

The interior is divided into three, unequal spaces with exposed brick walls between each section. The eastern space has some contemporary demising walls. Exterior walls also have exposed brick. All three spaces have exposed wood roof beams, regularly spaced skylights, and regularly spaced, exposed wood posts. Floors are concrete with some covered in contemporary carpet in the center and eastern space. Seismic bracing is angled between all exterior brick walls and the roof.

Alterations

According to the Los Angeles County Assessor, 2145 Sacramento Street was constructed circa 1923. The building has been substantially altered and does not appear as it did when it was constructed. It is unknown if an architect was involved in the original construction. In 1931 and 1951, new mezzanines were constructed within the building.⁹ These mezzanines are no longer extant. The parapet was substantially removed in 1963. The same permit also allowed for additional rear exits.¹⁰ Interior partition walls were remodeled in 1964 and 1987,¹¹ while seismic strengthening took place in 1987.¹² Significant remodeling occurred in 2015, including removal of non-bearing partition walls, new doors, and new windows.¹³

⁹ City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #11863, June 9, 1931; City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #20303, December 5, 1951.

¹⁰ City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #32349, March 6, 1963.

¹¹ City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #76908, September 23, 1964; City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #58285, February 24, 1987; City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #74970, September 3, 1987.

¹² City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #81500, November 16, 1987.

¹³ City of Los Angeles, Department of Building and Safety, "Application for Building Permit," Permit #15016-10000-12440, June 26, 2015; City of Los Angeles, Department of Building and Safety, "Application for Building Permit," Permit #15016-

Building History

2145 Sacramento Street was purchased by the Philip L. Bixby Company in 1924, around the same time the subject property was constructed. Prior to that date, the subject property was owned by L.A. Preserving Company.¹⁴ Philip Bixby was the grandson of Jotham Bixby, who was known as the “Father of Long Beach.”¹⁵ Philip Bixby followed other members of his extended family into real estate development. In addition to the subject property, the Long Beach-based company was responsible for development of several industrial buildings on Porter Street, near the subject property, specifically, 2476 Porter Street,¹⁶ and 2461 Porter Street,¹⁷ a very similar one-story industrial building. Philip Bixby was a vice president of the Amelia Bixby Company, a holding company of the conglomerate Bixby Land Company. Philip Bixby was also involved with developing the oil fields at Signal Hill¹⁸ and served on the executive committee of the Long Beach Consolidated Oil Company.¹⁹ The property transferred to the Amelia M.E. Bixby Company in 1932.²⁰

The property was historically divided into four tenant spaces with the addresses of: 2145-2147 Sacramento Street, 2149-2151 Sacramento Street, 2153 Sacramento Street, and 2157-2161 Sacramento Street. Tenants listed in Los Angeles City Directories are included in the table in Attachment G. With a few exceptions, most tenants did not stay very long. It appears that the building was primarily used as offices and warehouses; none of the tenants appear to have manufactured any product at the site. Some of the longer tenants include Wilbur S. McCune, who initially occupied 2149-2151 Sacramento Street, along with Percy C. Holland, both working as an undescribed manufacturers’ agent.²¹ By 1934, and continuing through the 1940s, McCune managed the Wagner Manufacturing Company, which occupied the eastern space at 2157-2161 Sacramento Street.²² Wagner Manufacturing Company had its headquarters in Sidney, Ohio, also Wilbur McCune’s hometown,²³ and primarily produced cookware, such as frying pans, kettles, and baking trays.²⁴

In the 1940s and 1950s, one of the tenant spaces, 2153 Sacramento Street was leased by Crossfield Products Corporation.²⁵ Harold K. Patch managed this location. The company formed in 1938 to market a product that mixed natural rubber and cement. The product initially had a maritime application and was used on the interior and exterior of ships such as the Queen Mary, the SS American, and the Queen Elizabeth. Later, the company renamed the product Dex-O-Tex. After

10000-14509, July 20, 2015; City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #15016-10000-16463, August 5, 2015; City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #15016-1001-12440, August 26, 2015.

¹⁴ Los Angeles County Archives, Los Angeles County Assessor, Books.

¹⁵ “Long Beach Pioneer Jotham Bixby is Dead, Aged 86,” *Santa Ana Register*, February 10, 1917, 2.

¹⁶ “Chemical Firm Takes Lease on Building Here,” *Los Angeles Times*, January 20, 1924, D15.

¹⁷ “Dairy Product Firm Locates Local Branch,” *Los Angeles Times*, December 30, 1923, V11.

¹⁸ “Rites Set for Long Beach Founder’s Kin,” *Los Angeles Times*, May 15, 1960, H10.

¹⁹ “Display Ad,” *Santa Ana Register*, April 9, 1920, 9.

²⁰ Los Angeles County Archives, Los Angeles County Assessor, Books

²¹ *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1925).

²² *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1934)

²³ “Funeral Services Set for Wilbur McCune, 80,” *Los Angeles Times*, May 23, 1954, A6.

²⁴ Rich Wallace, Shelby County Historical Society, “Traveling Through Time,” 1988, <http://www.shelbycountyhistory.org/schs/industry/cookware.htm>.

²⁵ *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1942).

World War II, the company marketed the product for other applications.²⁶

2136 Bay Street



2136 Bay Street, south elevation, view northeast (Snow, 2016)

Exterior (Figures 15-23, 40)

2136 Bay Street is set back from Bay Street with a chain-link and razor-wire fence at the sidewalk line. New construction was in progress within the setback at the date of the site visit in 2016. In 2019, the front setback contained automated, vertically stacked parking.

2136 Bay Street is an industrial building with a rectangular plan that is divided into three sections. The center section is one and a half stories high while east and west sections are one story high. Each section has a separate side gable roof with slightly overhanging eaves. A

simple fascia lines the eaves of the center section. The building has a concrete foundation and is clad in corrugated metal siding.

The north elevation, facing Bay Street, is generally unadorned, with fenestration only in the east section. Fenestration consists of four, large, horizontally-oriented, multi-light, steel sash windows, each with a small section that operates as an awning. The only other notable feature of the north elevation is the large condenser on the roof of east section.

The west elevation has a single metal door within a much larger inset that is centered in the elevation. The south elevation has a single, horizontally-oriented, multi-light, steel sash window in the west section and a very large, inset metal door in the center section. The large door is flanked on either side by horizontally-oriented, multi-light, steel sash windows that have smaller sections operating as awnings. The east section of the south elevation has two, irregularly-spaced, horizontally-oriented, multi-light, steel sash windows near the roof line and a contemporary metal door at the east side of the elevation. The east elevation appears similar to the west elevation with a single metal door within a much larger, inset that is centered in the elevation.

Interior (Figures 24-26)

The interior of 2136 Bay Street consists of one, large open space with a balcony at the southwest corner that is accessed by a metal, quarter-turn stair. There is a polished concrete floor and visible roof structure. Walls are finished in plaster. Contemporary restrooms are located in the northeast corner of the building.

Alterations

While the Los Angeles County Assessor suggests that the existing building at 2136 Bay Street was constructed around 1921, there are no building permits to support that date. The earliest permit for the site was issued in 1918 to “add two more buildings to the east end of present machine shop at 2152 Bay Street.” These buildings are not extant. As building permits for 2136 Bay Street are included with those of 2159 Bay Street, it is very difficult, if not impossible, to identify which permits are associated with any particular building. Based on Sanborn Fire Insurance maps and

²⁶ Dex-O-Tex Advanced Floor & Waterproofing Systems, “History,” <http://dex-o-tex.com/About/history>.

ownership of the property, the subject property was constructed between 1936 and 1949, likely around 1941 corresponding with a change of ownership.

The 1950 Sanborn Fire Insurance map shows 2136 Bay Street as the rear portion of a much larger building that was located in the setback from Bay Street. The 1950 Sanborn Fire Insurance map indicates that both the front and back buildings were used as chemical warehouses. The front building was demolished in 1989.²⁷ A permit to construct “car stakers” was issued in March 2016.²⁸ Construction was underway on the date of the site visit in July 2016 and completed by July 2019.

Other visible alterations include new construction in the front setback, a new condenser on the roof, a new exit door at the southeast corner, new plaster on interior walls, and new restrooms. The building has been substantially altered and does not appear as it did when it was constructed.

Building History

The 1906 Sanborn Fire Insurance maps show the subject property developed as a stone yard for H. Clement and Co. Los Angeles County Assessor Deeds books shows Harvey Clement and Company purchased the property by 1909. None of the buildings associated with Harvey Clement and Co. are extant. Pacific Pipe and Supply Company purchased the subject property in 1918 and owned it until 1941.²⁹ It is unclear how they used the subject property. Advertisements and newspaper articles indicate that their main office and warehouse were located at 1002-1006 South Santa Fe Avenue while the company had display rooms at 839-841 South Los Angeles Street.³⁰ Furthermore, the subject property does not appear in any Los Angeles City Directory.³¹ It is possible Pacific Pipe and Supply Company used the properties as warehouses.

2136 Bay Street was purchased by Hill Brothers Chemical Company in 1941. As noted above, Sanborn Fire Insurance maps show that the subject property functioned as their chemical warehouse. Hill Brothers Chemical Company owned and occupied the adjacent property at 2159 Bay Street. Additional information on the Hill Brothers Chemical Company is provided below.

²⁷ City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #45565, November 2, 1989.

²⁸ City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #15020-10000-02948, March 31, 2016.

²⁹ Los Angeles County Archives, Los Angeles County Assessor, Books.

³⁰ “Display Ad,” *Los Angeles Times*, December 16, 1917, V18; “Display Ad,” *Los Angeles Times*, February 24, 1918, “Man is Electrocuted While High in Air,” *Los Angeles Times*, May 29, 1918, II8.

³¹ Los Angeles City Directories were consulted between the years 1918 and 1969.

2159 Bay Street

Exterior (Figures 27-31)



2159 Bay Street, west elevation, view southeast (Snow 2019)

2159 Bay Street is located at the terminus of Bay Street. It is an industrial building that is rectangular in plan with the main, west elevation facing Bay Street. The building is clad in smooth stucco siding on all visible elevations except for the north side of the east elevation, which is clad in metal. It is fronted by a low, contemporary, concrete wall. The building is composed of two, unequal sections. The south section is the larger of the two. It is one story high with a barrel-vaulted roof and a raised parapet. The north section is two stories high with a side gable roof. Limited fenestration consists of contemporary, fixed aluminum sash.

The primary, west elevation has two, contemporary aluminum and glass doors in the south section. Both entrances are double doors with glass sidelights and a glass transom. A single, contemporary door is located in the north section on the west elevation. A fixed window is located adjacent to that entrance on the second floor.

The north elevation was difficult to observe at the time of the site visit in 2016 due to scaffolding. An entrance consisting of a single, contemporary door is located at the west side of the elevation. A row of evenly spaced, fixed, aluminum sash windows runs along the first and second floors. The east elevation has three, large, irregularly-spaced fixed aluminum windows in south section. The south elevation was not visible at the time of the site visit in 2016 as it was blocked by a temporary structure.

Interior (Figures 32-36)

The interior of the south section is a large open space with smaller rooms delineated by contemporary demising walls. It has polished concrete floors, plaster walls, a visible bowstring truss, and regularly spaced skylights. The interior of the north section was under construction in 2016 and an additional site visit to view the interior was not conducted in 2019. It is finished with plaster walls. Stairs to the second floor have painted, scored concrete.

Alterations (Figure 41)

Construction at 2159 Bay Street began in 1924 with construction of a building in the location of the south section,³² with the north section added a year later.³³ Although an architect is listed on the 1924 building permit, it is not sufficiently legible to discern the name. In 1945, the south section was destroyed by a fire and the existing south section was constructed.³⁴ While there appears to have been minor interior modifications and new buildings added to the site, no major alterations were

³² City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #17886, April 11, 1924.

³³ City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #20107, June 6, 1925.

³⁴ City of Los Angeles, Department of Building and Safety, "Application to Alter, Repair, or Demolish," Permit #9251, June 26, 1945.

made to the building until 2015. Alterations since 2015 include re-roofing,³⁵ tenant improvements that included new partitions, interior doors and finishes,³⁶ re-siding the building, new exterior doors, new window openings, and a new, low wall along the primary, west elevation. The building has been substantially altered and does not appear as it did when it was constructed.

Building History

While the Los Angeles County Assessor Deeds books note that the parcel on which 2159 Bay Street is located has been owned by Atchison, Topeka and Santa Fe Railway Company since at least 1900, the property was initially developed by National Kellastone Company of Porterville, CA.³⁷ Headquartered in Chicago, IL,³⁸ Kellastone was a type of magnesite stucco that was advertised as “the Imperishable Stucco.”³⁹ Along with other brands of magnesite stucco, such as Kragstone and Rocbond, Kellastone contained no lime, gypsum, or water, resulting in an almost plastic-like stucco product that was resistant to cracking. The Kellastone guarantee was “we positively and unreservedly guarantee Kellastone not to crack, peel, flake, chip, crumble or deteriorate in any way.”⁴⁰ In 1913, Kellastone maintained an office in Los Angeles in the San Fernando Building, and operated at least 39 other distribution centers across the United States.⁴¹ In 1920, Kellastone expanded their operations by purchasing the Porterville Magnesite Company, which owned a mine and crushing plant near Porterville, CA, on the main line of the Southern Pacific tracks.⁴² Prior to constructing the building at the subject property, Kellastone maintained an office and factory nearby at East 7th and Channing Street.⁴³ Magnesite stucco products became popular in the beginning of the twentieth century for, among other uses, “exterior stucco, fire-proofing interior plasters, sanitary flooring, building and partition tiles, Pullman and steel-car flooring, ship flooring and decking, pipe covering.”⁴⁴ National Kellastone Company shared the site with Hill Brothers Chemical Company from 1925 until the early 1930s.⁴⁵

Hill Brothers Chemical Company was established by Charles Beverly Hill (1898-1985) and M. Clifford Hill (b. 1902). Born in Michigan to Canadian parents,⁴⁶ the two brothers came to Los Angeles as children with their family around 1905.⁴⁷ The brothers followed their father into the chemical business. In 1910, their father, Charles Wesley Hill, was president and general manager of Braun Chemical Co. before starting C. W. Hill Chemical Co. Inc. by 1915.⁴⁸ Located initially at 326-

³⁵ City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #15016-90000-26204, November 27, 2015; City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #16016-90000-09613, April 28, 2016.

³⁶ City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #16016-10000-03450, April 27, 2016; City of Los Angeles, Department of Building and Safety, “Application for Building Permit,” Permit #16044-90000-05718, May 26, 2016.

³⁷ City of Los Angeles, Department of Building and Safety, “Application to Alter, Repair, or Demolish,” Permit #17886, April 11, 1924.

³⁸ “Consolidation of Larger Magnesite Interests,” *Los Angeles Times*, April 10, 1921, V6.

³⁹ “Display Ad,” *St. Louis Post-Dispatch* (St. Louis Missouri) May 22, 1921, 8.

⁴⁰ “Display Ad,” *Los Angeles Times*, January 19, 1913, 95.

⁴¹ “Display Ad,” *Los Angeles Times*, February 16, 1913, 110.

⁴² “Consolidation of Larger Magnesite Interests,” *Los Angeles Times*, April 10, 1921, V6.

⁴³ “Display Ad,” *Southwest Contractor and Manufacturer*, June 3, 1916, volume 17, 18.

⁴⁴ “Consolidation of Larger Magnesite Interests,” *Los Angeles Times*, April 10, 1921, V6.

⁴⁵ National Kellastone Co is listed in the 1932 *Los Angeles City Directory* but not the 1934 *Los Angeles City Directory*.

⁴⁶ Thirteenth Census of the United States, 1910, Eagle Rock, Los Angeles, California, Enumeration District: 0011, Page: 9B.

⁴⁷ “Obituary; Charles Wesley Hill,” *Los Angeles Times*, April 25, 1935, 15.

⁴⁸ *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1910 and 1915).

328 South San Pedro Street and later at 405 East Third Street, C. W. Hill Chemical Company advertised themselves as “jobbers industrial chemicals and analytical chemists,” selling items such as magnesite, orchard sprays, arsenate of lead, caustic soda, and magnesium chloride.⁴⁹

The Hill Brothers Chemical Company had another manufacturing plant in the City of Industry⁵⁰ and on the banks of Bristol Dry Lake near Amboy, CA.⁵¹ In 1942, the company advertised in the Los Angeles City Directory as selling “Laundry, Dry Cleaning and Refrigeration Chemicals, Wholesale Chemicals.”⁵² By 1962, Hill Brothers Chemical Company was producing magnesite products and “heavy chemicals.”⁵³ Their City of Industry plant manufactured DriChem pool chemicals⁵⁴ and SwimChem products.⁵⁵ The Hill Brothers Chemical Company occupied the subject property until around 1960. Company headquarters are currently located in Orange County, CA, and the company continues to be operated by decedents of the Hill Brothers, specializing in “marketing and sales of specialty and/or commodity products into a variety of markets.”⁵⁶

In 1965, Repro-Graphic Supply was listed as the tenant of the subject property in the Los Angeles City Directory. There are no listings in 1969 or 1973 for 2159 Bay Street in the Los Angeles City Directory, but Advanced Electronic Packaging occupied the space in 1987.⁵⁷

Historic Context

The subject properties are located southeast of Downtown Los Angeles, in an area that historically was developed for industrial uses. The subject properties are located adjacent to the BNSF railroad, which runs along the west bank of the Los Angeles River. A spur from the railroad runs between 2145 Sacramento Street and 2136 Bay Street. The earliest available Sanborn Fire Insurance map from 1906 shows Bay Street predominantly residential with only 2136 Bay Street developed with an industrial use, while Sacramento Street was predominantly industrial on the south side of the street with the north side sparsely developed with residential properties.

Downtown Los Angeles Industrial Historic District

A portion of the former industrial area north of the subject properties, roughly bounded by East 1st Street on the north, Santa Fe Avenue and Mateo Street on the east, East 7th Street on the south, and South Alameda Street on the west, was identified by SurveyLA as appearing eligible for listing in the National and California registers as a historic district as well as locally as an HPOZ.⁵⁸ Known as the Downtown Los Angeles Industrial Historic District, this area is located a short distance to the northwest and shares many aspects of developmental history with the neighborhood in which the subject properties are located. The historic district was found to be significant “as the city’s primary industrial district from the late-19th century through World War II. The district’s period of

⁴⁹ *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1923).

⁵⁰ “Display Ad,” *Los Angeles Times*, July 11, 1965, 31.

⁵¹ L. Burr Belden, “Mojave Desert Area’s Dry Lakes Prove Rich in Mineral Deposits; Amboy Plan Operated by Hill Brothers,” *The San Bernardino Sun-Telegram* (San Bernardino, CA), June 25, 1950, 24.

⁵² *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1942).

⁵³ “Advertising & PR,” *Los Angeles Times*, November 18, 1962, L5.

⁵⁴ “Display Ad,” *Los Angeles Times*, July 11, 1965, 31.

⁵⁵ Display Ad,” *Los Angeles Times*, March 28, 1971, M8.

⁵⁶ “Hill Brothers Chemical Company Profile,” <http://hillbrothers.com/company-profile/>.

⁵⁷ *Los Angeles City Directory*, (Los Angeles, CA: Los Angeles Directory Company, 1969, 1973, 1987).

⁵⁸ City of Los Angeles Department of Planning Office of Historic Resources, SurveyLA, “Central City North Historic Districts, Planning Districts,” September 4, 2016.

significance is 1900 to 1940, when most of the original buildings in the district were constructed.”⁵⁹ The following developmental history of the Downtown Los Angeles Industrial Historic District is applicable to the development of the neighborhood around the subject properties, even though that area was not identified as part of the potential historic district.

The land comprising the district was first improved as part of a vineyard operated by Jean-Louis Vignes, who arrived in Los Angeles from France in 1831. Attracted by the area’s Mediterranean climate, Vignes acquired land adjacent to the Los Angeles River and began planting grapes in 1833. By 1847 his vineyard, “El Aliso,” was the largest producer of wine in California. Other vintners and citrus growers soon followed Vignes’ lead, and oranges and grapefruit quickly overtook grapes as the area’s primary crops. Los Angeles’ citrus industry flourished during this period and, as a result, the district remained predominantly agricultural until 1871, when the northern portion was subdivided as the Johnston Tract and subsequently developed with single-family residences. However, the landscape of the district evolved during the last decades of the 19th century as rail lines and manufacturing plants emerged to serve the citrus industry’s shipping needs. Soon the character of the district would be redefined by the presence of the railroad.

Until the 1870s, only local rail lines ran through Los Angeles. But in 1876, the opening of the Southern Pacific Railroad line from San Francisco linked the city with the transcontinental railroad. A depot for the Southern Pacific line was constructed at the southwest corner of Alameda and 5th streets, immediately adjacent to the district. The Atchison, Topeka, and Santa Fe Railroad (AT&SF) constructed a depot and freight yards south of 1st Street in 1885, on the northern edge of the district. In 1893, the company also constructed the distinctive Moorish Revival-style La Grande Station at 2nd and Santa Fe streets, in the northeastern part of the district. The Atchison, Topeka & Santa Fe Railway Outbound Freight House (known as the Santa Fe Freight Depot) was constructed in 1906 to accommodate the majority of goods shipped out of Los Angeles on rail by the AT&SF. Located on the eastern edge of the district, the building is now occupied by the Southern California Institute of Architecture (SCI-Arc) and is a Los Angeles Historic-Cultural Monument (HCM #795). It was originally paired with the AT&SF Railway Inbound Freight House directly across Santa Fe Avenue. Today, the AT&SF Outbound Freight House stands as the last remaining historic reference to the Atchison, Topeka, and Santa Fe Railroad along Santa Fe Avenue in Los Angeles. While most of these early railroad buildings have been lost, their locations and relative proximity to one another motivated the development of the surrounding area as an industrial district. Within a few years, businesses had begun to capitalize on the convenience of locating their operations near the rail lines, and a small concentration of manufacturing and warehouse facilities had sprung up in the area between Alameda Street and Santa Fe Avenue.

By the turn of the 20th century, a range of manufacturers and processing companies had established themselves in the area. A 1909 map of the area notes a number of warehouses and storage facilities, as well as a wide variety of processing and manufacturing operations – including lumber yards, freight yards, ice and cold

⁵⁹ City of Los Angeles Department of Planning Office of Historic Resources, SurveyLA, “Central City North Historic Districts, Planning Districts,” September 4, 2016, page 1.

storage, slaughterhouses and meatpackers, produce companies and canneries, and blacksmiths, among others. As the railroads increased mobility, Los Angeles ceased to be simply a market for manufactured goods produced in San Francisco and the East, but began to support local industries as well. Similarly, as agricultural activities in other areas of the city supplanted those near the city center, the district evolved from simply a shipping hub to a processing and manufacturing center in its own right. In particular, businesses related to the building trades had expanded rapidly beginning in the 1880s when the first regional real estate boom spurred residential and commercial construction; as a result the district saw the opening of a number of lumber, construction, and even furniture trades.

In the early decades of the 20th century, many of the district's industrial buildings were one of two types: manufacturing or processing facilities, and warehouses. Many of the area's industrial buildings were constructed directly on a rail spur; these buildings often display curved facades that follow the tracks, with docks and large bay doors set several feet above the ground (to the height of a boxcar), to facilitate the loading and unloading of goods. Warehouses were built either as general storage facilities – with space that could be rented by a variety of companies or operators – or were purpose-built facilities associated with a particular company...

In addition to processing operations, manufacturing facilities expanded as well, with many companies constructing daylight factories to increase productivity. At a time when electricity was expensive and not always reliable, daylight factories were designed to maximize the amount of light reaching the interior of the building; they are characterized by bays of large industrial sash windows, skylights, or other roof forms that bring in additional light. A number of daylight factories were constructed within the district...

By the 1920s, the area now comprising the historic district was fully established as an industrial hub. This was aided in part by the pattern of development occurring outside the central city. As the City of Los Angeles continued to annex existing communities as well as available land in the San Fernando Valley, zoning was amended to eliminate residential housing in the downtown area. By 1922, the City had officially re-zoned the downtown area to accommodate the construction of more offices, retail, and manufacturing facilities. By the 1950s the area was home to automotive manufacturing, trucking and transport, furniture manufacturing and storage, paint and chemical manufacturing, and paper and plastic production – as well as historically dominant industries such as food processing and lumber and woodworking operations. While industries evolved over time, the district maintained its character as an industrial center, with one processing or manufacturing operations [sic] simply replacing another. Over the course of the 20th century a single manufacturing facility might house the production of everything from dog food to pie.

By the 1960s, however, the character of the area within the district was evolving away from that of an industrial center. Industry on the whole struggled to adapt to the postwar challenges of containerization and new technologies in manufacturing and transport. Railroads had given way to the trucking industry, and businesses within the district were constrained by the physical demands such methods placed on

their operations. Furthermore, outlying fledgling industrial centers such as Vernon and the City of Commerce were comparatively undeveloped and offered plentiful land at lower prices, presenting many companies with an opportunity to relocate and construct newer and more efficient facilities. As a result, by the 1970s many buildings within the district were vacant.

Manufacturing for the Masses

The buildings at the subject property housed a variety of tenants over the years. The appropriate subcontext from SurveyLA's Industrial Historic Context is "Manufacturing for the Masses, 1887–1965." The following is excerpted from that context.⁶⁰

The rise of manufacturing in Los Angeles began slowly in the late 19th century, fueled by an emerging domestic consumer market created by the waves of newcomers. However, in 1890, the value of manufacturing in the city ranked far below comparable cities nationally, even smaller western cities such as Seattle and Portland. The immigrants of the late 19th century were more interested in real estate than in factories, and the earliest industries generally consisted of small-scale operations for food processing like flour mills and the building industry, such as carpentry shops.

Believing that the city's immense population growth needed to be balanced with an industrial foundation, the Los Angeles Chamber of Commerce shifted its attention to building up industry in the region. They joined with other civic boosters to lobby for the creation of a deep water port in San Pedro, which connected Los Angeles with markets abroad. In addition to developing the port, they sought to connect Los Angeles with regional markets and make transport of goods cheaper by extending rail and road infrastructure and removing rate differentials that discriminated against Los Angeles. They supported the creation of the Panama Canal, which improved Los Angeles' trade with Latin America and the East Coast. Los Angeles became the prime connection to overseas markets for a 5-county area of southern California, including Ventura, Orange, San Bernardino, Riverside, and Los Angeles Counties.

Civic boosters at the Chamber of Commerce and the *Los Angeles Times* actively courted eastern and Midwestern manufacturers, enticing them to come west with promises of all-year production capabilities, an abundance of cheap energy, and willing workers who were unaffiliated with unions. They were successful in 1919 when Goodyear became the first of many established manufacturers to locate some of its production in the city. Other tire manufacturers followed, as well as automobile manufacturers and textile mills. Although local boosters attributed the migration in large part to the weakness of organized labor in the area, this was not widely acknowledged by the incoming manufacturers as a reason for coming. A survey among manufacturers in the 1930s cited a vast and growing population, access to raw materials, and connections with other markets as core reasons for relocating.

By 1929, Los Angeles had overtaken San Francisco in terms of manufacturing output, producing \$153.7 million more than the heretofore industry leader for the western states. It ranked fifth nationally after Detroit, Pittsburgh, St. Louis, and

⁶⁰ LSA Associates, Inc. "Los Angeles Citywide Historic Context Statement: Industrial Development 1850-1980," prepared for the City of Los Angeles, Department of Planning, Office of Historic Resources, August 26, 2011, 118-119.

Cleveland. Los Angeles possessed a diversity of manufactured goods as well, including automobiles, auto parts, rubber, tires, oil drilling and production tools, paper goods, textiles, furniture, and electronics.

Throughout the 20th century, inventors, designers, and manufacturers expanded American life with a heady pace of technological advances. The proliferation of electricity, refrigeration, automobiles, broadcasting, aviation, film, and other now-integral elements of modern life went from theoretical and isolated to broadly available. A new consumer culture emerged around the dazzling array of attractive new household items, which their makers marketed in radio, print, and eventually television. The rise of particular brands became a social phenomenon as manufacturers vied for prominence as a “household name” with the public.

The booms of the 1920s and the post-WWII era, combined with a surge in the variety and novelty of consumer goods, produced an incredible inventory of new factories in Los Angeles making all manner of goods. The manufacture of some items (such as cars, clothes, and airplanes) expanded to become cornerstones of the Los Angeles economy, while a multitude of other items comprised a more general measure of the city’s economic output.

An abundance of cheap electricity from hydropower and a few diesel-burning generators made manufacturing in Los Angeles cleaner than coal-fired factories in Eastern cities, a point the boosters did not overlook in their marketing. Industrial booster Willis Owen remarked in the *Los Angeles Evening Express*, “Did you ever live in the noted factory city of Pittsburgh, the city where you shovel snow out of your path five months in the year and smoke, soot, and dirt off your face for twelve months of the year?” Instead of smokestacks, the power of Los Angeles factories is reflected in transformers atop wooden poles.

The majority of industrial buildings from the era were generic single-story workshops where successions of industrial tenants brought in their own tools and machinery. Sanborn maps depict entire blocks of these workshops in the southern sections of downtown and along freight rail corridors, along Slauson Avenue and Venice and Washington Boulevards, in Hollywood and in northeast Los Angeles. Because of their cheap rents and versatile space, workshops fostered emerging industries seeking access to the Los Angeles market or to test new products. Sanborn maps show that similar manufacturers tended to concentrate in blocks together, a trend that evolved into established districts where a particular kind of product was predominant. The garment district in the southeastern section of downtown is an example of the tendency toward districts, as well as a produce market district east of downtown. Printers tended to group together, evidenced by a several printing and photographic processing shops near the intersections of Maple Avenue, 12th Street, and Wall and Pico Boulevards.

Historic Resource Assessment

Because eligibility criteria for local HCM designation align in large degree with eligibility criteria for National and California Registers, the following evaluation considers eligibility under each of the criteria at federal, state and local levels under a single heading.

Criterion A/1/1: Is associated with events that have made a significant contribution to the broad patterns of our history and cultural heritage.

The property type associated with the sub-context, “Manufacturing for the Masses, 1887–1965” is a factory, which is defined as any “industrial building or small group of industrial buildings organized around a manufacturing process.”⁶¹ While 2145 Sacramento Street and 2136 Bay Street functioned both in part and in whole, respectively, as warehouses, SurveyLA does not identify the warehouse as a property type for the sub-context, possibly because they are not considered a significant property type.⁶² The following character-defining and eligibility criteria may be considered for evaluation of factories:⁶³

Eligibility Criteria

- Constructed between 1887 and 1980 as a manufacturing plant
- Is a representative example of industrial design as defined in the Industrial Design and Engineering Theme
- Was a key factory for a company whose branding and/or products had a significant impact on 20th century social history (e.g., new technology, household name)
- Was closely associated with the early manufacture of new technologies in the late 19th and early 20th centuries (e.g., neon signs, plastic)

Character-defining/Associative Features:

- One or more related utilitarian buildings
- May possess branding or company logos on the building exterior
- May retain distinctive equipment or building elements that reflect a particular kind of manufacturing process

The only eligibility criteria that the subject properties meet is that they were constructed between 1887 and 1980. None of the buildings are a representative example of industrial design. Rather, discussed more fully below, the buildings are utilitarian examples of industrial construction and have no identifiable architectural style. None of the businesses that occupied the buildings can be shown to have made a significant impact on 20th century social history or new technologies of the late 19th and early 20th centuries. 2145 Sacramento Street was primarily used for offices and warehousing; none of the tenants appear to have manufactured any product at the site. In addition, 2145 Sacramento Street does not appear to have been the head office of any of the tenants. As 2136 Bay Street was used as warehousing for Hill Brothers Chemical Company, it cannot be shown to be a key factory or closely associated with early manufacturing of new technologies. Finally, the Hill Brothers Chemical Company cannot be shown to have had a significant impact on 20th century social history nor was it associated with the early manufacture of new technologies. Furthermore, none of the buildings possess branding or company logos on the building exterior, nor do they retain any distinctive equipment or building elements. Therefore, the subject properties are not eligible under criterion A/1/1.

Criterion B/2/2: Is associated with the lives of persons important in our past.

Although many individuals have been associated with the subject properties, none rise to the level required to warrant consideration under Criterion B/2/2: association with the lives of persons

⁶¹ LSA Associates, Inc., 120.

⁶² SurveyLA Industrial Context identifies warehouses as a property type for a few a few themes, such as the property type “Port Transportation and Storage” under the theme “The Port of Los Angeles,” and “Cold Storage Warehouses under the theme “From Farm to Market.”

⁶³ LSA Associates, 120.

important in our past. Several individuals have been associated with 2145 Sacramento Street, including Wilbur McCune and Harold K. Patch, and with 2159 Bay Street, including the brothers C. Beverly Hill and M. Clifford Hill. However, none of these people have been shown to have made any significant contributions to their fields or to local, state, or national history. Therefore, the subject properties are not eligible under criterion B/2/2.

Criterion C/3/3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values.

The buildings at the subject properties have no discernible architectural style and no ornamentation. They are all utilitarian industrial buildings and are not distinctive of a type, period, region, or method of construction. While 2145 has extensive skylights, it does not have any other character-defining features of a daylight factory, most notably, it does not have continuous or oversized bays of industrial steel sash. In addition, 2136 Bay Street and 2145 Sacramento Street do not have listed architects, and the architect of 2159 Bay Street is not legible on the original building permit (and this portion of the building no longer reflects its original appearance); therefore, the buildings are not significant for an association with an important creative individual. Furthermore, because of extensive alterations undertaken since 2015, the buildings no longer retain integrity. Therefore, the subject properties are not eligible under criterion C/3/3.

Criterion D/4: Has yielded, or may be likely to yield, information important in prehistory or history.

The subject properties cannot be reasonably expected to yield information important in prehistory or history; therefore, they are not eligible under Criterion D/4.

▪ *Integrity*

For a property to be eligible for designation at the local, state or national level, it must meet at least one eligibility criterion listed above and retain sufficient integrity to convey that historic significance. Integrity is defined as physical and visual characteristics necessary to convey significance. Evaluation of integrity is founded on “an understanding of a property’s physical features and how they relate to its significance.”⁶⁴ The seven aspects of integrity are Location, Design, Setting, Materials, Workmanship, Feeling, and Association. To satisfy the integrity requirement, a property must retain at least a majority of seven aspects. Determining which aspect(s) of integrity matter the most requires understanding why a property is significant. Even though none of the buildings have been found to be significant under any of criteria, the following nevertheless describes how each does or does not meet the seven aspects of integrity.

- 2145 Sacramento Street

Location: 2145 Sacramento Street retains integrity of location as it has not moved or been moved to the site.

Design: 2145 Sacramento Street has been substantially altered since it was constructed. Some of the most notable alterations include:

- Substantial removal of parapet (1963)
- Addition of rear exits (1963)
- New interior partition walls (1964, 1987, 2015)
- New doors (2015)

⁶⁴ Rebecca H. Shrimpton, editor, *How to Apply the National Register Criteria for Evaluation* (Washington, DC: National Park Service, Department of the Interior, 1998) 44, <<http://www.nps.gov/history/nr/publications/bulletins/nrb15/>>.

- Replacement of all windows (2015)

Given all of these alterations, the subject property lacks integrity of design.

Setting: While the setting of 2145 Sacramento Street has been somewhat modified, the area still retains its general physical environment adjacent to the railyard and Los Angeles River in an area of other low-scale industrial buildings.

Materials: 2145 Sacramento Street does not retain integrity of materials, given the substantial alterations.

Workmanship: 2145 Sacramento Street lacks early materials resulting in loss of integrity of workmanship, or evidence of artisans' labor and skill in constructing or altering a building.

Feeling: 2145 Sacramento Street lacks integrity of feeling as the physical features that convey the property's historic character have been removed and replaced. Only the shell of the original building has been retained.

Association: Integrity of association requires the presence of physical features that would convey the historic character of a property. Due to an almost complete lack of integrity of design, materials, workmanship, and feeling, 2145 Sacramento Street does not convey its association as an industrial warehouse and office from the 1920s.

Although 2145 Sacramento Street retains integrity of location and setting, these aspects of integrity are not sufficient to convey its past as an industrial warehouse, a function that has not been shown to be significant.

- 2136 Bay Street

Location: 2136 Bay Street retains integrity of location as it has not moved or been moved to the site.

Design: 2136 Bay Street has been substantially altered since it was constructed. Constructed as a chemical warehouse circa 1941, some of the most notable alterations include:

- Demolition of front portion of building (1989)
- Construction of car stackers (2015)
- New interior partition walls and restrooms (dates unknown)
- New condenser on roof (date unknown)
- New exit door at southwest corner (date unknown)

Given all of these alterations, the subject property lacks integrity of design.

Setting: The setting of 2136 Bay Street has been substantially modified with construction of car stackers in the front setback. The metal structure of the car stackers have essentially obliterated any visibility of the building from the street and have resulted in a loss of integrity of setting.

Materials: 2136 Bay Street does not retain integrity of materials, given the substantial alterations.

Workmanship: 2136 Bay Street lacks early materials resulting in loss of integrity of workmanship.

Feeling: 2136 Bay Street lacks integrity of feeling. Loss of the front portion of the building has resulted in the building losing its feeling as a chemical warehouse.

Association: Due to an almost complete lack of integrity of setting, design, materials, workmanship, and feeling, 2136 Sacramento Street does not convey its association as a chemical warehouse from the early 1940s.

2136 Bay Street only retains integrity of location. Even if it had been found to be significant as a chemical warehouse, it does not retain even a modicum of integrity.

- 2159 Bay Street

Location: 2159 Bay Street retains integrity of location as it has not moved or been moved to the site.

Design: 2159 Bay Street has been substantially altered since it was constructed in 1924 and 1925. Some of the most notable alterations include:

- Reconstruction of south section (1945)
- Reroofing (2015)
- Replacement of siding material (2015)
- New exterior doors (2015)
- New window openings (2015)
- New site features (2015)
- New interior partitions, doors, and finishes (2015)

Given all of these alterations, the subject property lacks integrity of design.

Setting: Although the setting of 2159 Bay Street has been somewhat modified with a new perimeter wall and landscape features, it still generally retains integrity of setting adjacent to the railyard and Los Angeles River in an area of other low-scale industrial buildings.

Materials: 2159 Bay Street does not retain integrity of materials, given the substantial alterations.

Workmanship: 2159 Bay Street lacks early materials resulting in loss of integrity of workmanship.

Feeling: 2159 Bay Street lacks integrity of feeling. Used by both National Kellastone Company and Hill Brothers Chemical Company, the building has so completely lost integrity of feeling, there is no indication of how it could have been used historically.

Association: Due to an almost complete lack of integrity of design, materials, workmanship, and feeling, 2159 Sacramento Street does not convey any association with an earlier use.

2159 Bay Street only retains integrity of location and setting. It has been so thoroughly altered, it currently appears as a new building.

Historic District Eligibility

The subject properties are not located within the boundaries of the potential historic district identified by SurveyLA: the Downton Los Angeles Industrial Historic District. The southeastern edge of this potential historic district is located over 1/3 of a mile away (see Figure 35). There is no other potential historic district to which the subject properties could contribute. While there are other industrial building surrounding the subject properties, they date from a variety of time periods and do not together create a strong sense of time and place. Finally, as noted above, the subject properties have been altered since their dates of construction and would not contribute to a historic district.

VI. NEARBY HISTORICAL RESOURCES

Study Area

This report evaluates potential impacts of the proposed project on identified historical resources that are nearby (see photographs, Attachment E). For purposes of this analysis, a study area surrounding the subject properties is defined, outlined in black on the below map, with the subject properties at the center highlighted in yellow. The study area is bounded by 7th Street on the north, the Los Angeles River to the east, the I-10 freeway to the south, and Mateo Street to the west. Both 7th and Mateo Streets constitute unofficial neighborhood boundaries. All four of the identified historical resources within the study area, highlighted red in the below map, have been individually designated or surveyed as eligible for individual designation. The subject properties are located over a third of a mile from the southeastern edge of the identified Downtown Los Angeles Industrial Historic District.

Map of Study Area

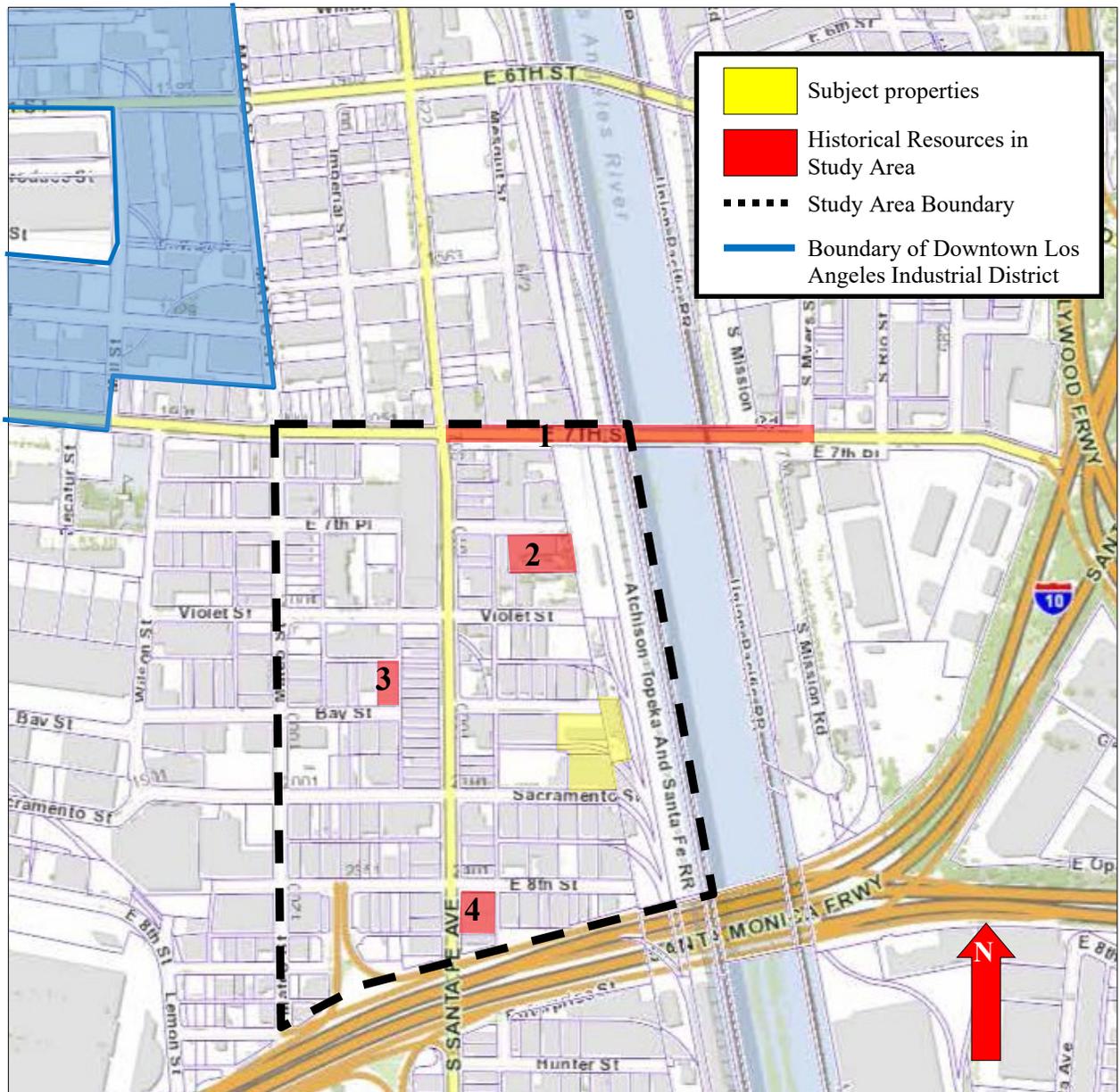


Table of Study Area

<i>Number</i>	<i>Address</i>	<i>Distance from subject properties</i>	<i>APN</i>	<i>Date of Construction</i>
1	Seventh St. Bridge, No. 53C1321	>0.25 miles	N/A	1910
2	2140 E. 7 th Place	775 ft	5166-003-006	1910
3	2039-2043 E. Bay St	815 ft	5166-012-006	1911
4	1200-1206 S. Santa Fe Ave	600 ft	5166-007-029	1913

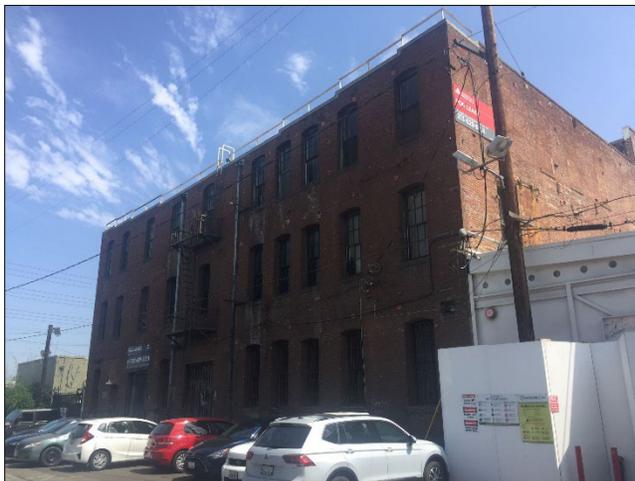
Seventh Street Bridge, No. 53C1321



Initially constructed in 1910 as a streetcar bridge, the Seventh Street Bridge, No. 53C1321,⁶⁵ is located approximately a quarter mile from the subject properties. The upper deck of the double-decker bridge was added in 1927 due to traffic congestion. The reinforced concrete bridge was designed by Merrill Butler and features Beaux-Arts bridge design and constructed as part of a bridge building program between 1909-1932 that included several bridges spanning the Los Angeles River. The Seventh Street Bridge was determined eligible for the National Register of Historic Places by the Caltrans Historic Bridge

Inventory in 1986, and as a result is listed in the California Register. It was also identified in the Caltrans Statewide Historic Bridge Survey Update in 2004. It was designated City of Los Angeles Historic Cultural Monument #904 in 2008.⁶⁶

2. 2140 East 7th Place



Constructed circa 1910 as a three-story, masonry, industrial building, 2140 East 7th Place was originally owned by contractor Vernon P. Gilbert and realtor Richard A. Collins.⁶⁷ The original building permit could not be located, and the earliest available permit is from 1918. Located immediately adjacent to the railway, the building historically functioned as a warehouse. In the early 1920s, the building warehoused coal for Alaska Coal Company and Diamond Coal Company.⁶⁸ The Sanborn Fire Insurance map, updated to 1950, shows a rail spur along the rear of the building. By the 1950s, the building was owned and operated

by Freight Transport Company.⁶⁹ In 1988, the building was converted to artists-in-residence units.⁷⁰ The building was identified in SurveyLA as appearing eligible for listing in the National and California Registers as well as a local HCM as an “excellent and rare example of an est. 1910 industrial building in Los Angeles’ primary industrial district; one of the few remaining examples from this period”⁷¹

⁶⁵ The bridge number refers to the Caltrans inventory number.

⁶⁶ City of Los Angeles, Office of Historic Resources, “Recommendation Report,” November 1, 2007.

⁶⁷ *Los Angeles City Directory* (Los Angeles: Los Angeles Directory Company, 1918).

⁶⁸ “Warehouse Full of Feed and Coal Swept by Flames,” *Los Angeles Times*, February 23, 1923, 1; *Los Angeles City Directory* (Los Angeles: Los Angeles Directory Company, 1924-1925).

⁶⁹ City of Los Angeles, Department of Building and Safety, “Application to Alter, Repair, or Demolish,” Permit #1952LA36542, July 22, 1952; *Los Angeles Street Directory* (Pacific Telephone and Telegraph Company, 1956 and 1960).

⁷⁰ City of Los Angeles, Department of Building and Safety, “Application to Add-Alter-Repair-Demolish,” Permit #33731, November 11, 1988.

⁷¹ Historic Places LA, “2140 E 7th PL,” Property Identification Number 124-5A217 350, <http://historicplacesla.org/reports/8bce8be5-1d34-4613-b134-1aac7c9f64c>

3. 2039-2043 East Bay Street



Constructed in 1912 as a warehouse for Adams Pipe Works,⁷² 2039-2043 East Bay Street is a one-story masonry building, two bays wide with a pedimented parapet above each bay. An inset entry is located at the center of the building. The 1912 building permit notes Frank Tyler as the architect. In the late 1920s, the building housed Okell Well Machinery Corp., “Manufacturers and Designers of Well Drilling Machinery...for Oil, water and mine prospecting.”⁷³ A 1929 advertisement proclaimed, “Oil Oil Oil: Do your wildcatting and drilling with the cheapest and best known method. The newest Okell rig

drills to 50000 ft.”⁷⁴ Okell Well Machinery Corporation went bankrupt in 1930.⁷⁵ John L. Denning & Co., Inc, Brush and Broom Manufacturers’ Supplies, occupied the building in 1937, while Harry Maran, a glass dealer, occupied the building by 1941. By 1942, the building was occupied by the Southern California Glass Co.⁷⁶ The building was identified in SurveyLA as appearing eligible for listing in the National and California Registers as well as a local HCM as an “excellent and rare example of a 1911 industrial building in Los Angeles’ primary industrial district.”⁷⁷

4. 1200-1206 South Santa Fe Avenue



Constructed in 1913 as a three-story masonry building, 1206 South Santa Fe Avenue served as a factory for the J.M. Overell Furniture Company.⁷⁸ The company, established in 1900 by Indiana native, Joseph M. Overell, operated a store at 7th and Main Streets in Downtown Los Angeles.⁷⁹ Joseph Overell passed away in 1912 and the company continued under the management of his three older sons.⁸⁰ The 90-foot by 139-foot building was estimated to cost \$18,000. The architect listed on the building permit is not legible, although a short announcement of the

⁷² City of Los Angeles, Department of Buildings, “Application for the Erection of Building,” Permit #4541, April 22, 1912.

⁷³ *Los Angeles City Directory*, (Los Angeles: Los Angeles Directory Co., 1928).

⁷⁴ “Display Ad,” *Los Angeles Times*, February 11, 1929, 34.

⁷⁵ “Display Ad,” *Los Angeles Times*, May 6, 1930, 41.

⁷⁶ *Los Angeles City Directory*, (Los Angeles: Los Angeles Directory Co., 1937, 1941, 1942).

⁷⁷ Historic Places LA, “2140 E 7th PL,” Property Identification Number 123A217 144, <http://historicplacesla.org/reports/d1bdce2c-9417-45a8-ad0d-ba352b1c7d01>.

⁷⁸ City of Los Angeles, Department of Buildings, “Application for the Erection of Building,” Permit #3781, March 21, 1913.

⁷⁹ James Miller Guinn, *A History of California and an Extended History of Los Angeles and Environs, Biographical, Vol. III* (Los Angeles: Historical Record Co., 1915), 719.

⁸⁰ “Merchant’s Will,” *Los Angeles Times*, December 21, 1912, 28.

construction was included in the *Los Angeles Times* in March of that year.⁸¹ J.M. Overell Furniture Company went out of business around 1941 and the building transferred to F.W. Fitch Company, “the shampoo king.”⁸² By the early 1950s, building ownership transferred again to Bruck Braid Company,⁸³ “the largest supplier of decorative trim for apparel and home furnishings on the west coast,”⁸⁴ who used the building for light manufacturing and as a warehouse. The company is noted on building permits through the 1980s. 1200-1206 South Santa Fe Avenue was identified in SurveyLA as appearing eligible for listing in the National and California Registers as well as a local HCM as an “excellent and rare example of a 1913 industrial building in Los Angeles’ primary industrial district.”⁸⁵ A warehouse, located adjacent at 1212 South Santa Fe Avenue, was designed by the architectural firm of A. C. Martin in 1923.⁸⁶ The warehouse was not identified in SurveyLA as eligible for designation in the National or California registers nor as a local HCM.

⁸¹ “Building Permits, *Los Angeles Times*, March 30, 1913, 90.

⁸² City of Los Angeles, Department of Building and Safety, “Application to Alter, Repair, or Demolish,” Permit #12686, May 7, 1941; “The Shampoo King: F. W. Fitch and His Company,” *The Annals of Iowa* 47 (1984), 405-405, <https://doi.org/10.17077/0003-4827.9046>

⁸³ City of Los Angeles, Department of Building and Safety, “Application to Alter, Repair, or Demolish,” Permit #2183, March 5, 1951.

⁸⁴ “Bruck Braid Company, USA,” *Textile Source*, <http://textilesource.com/textile-fabric-search/bruck-braid-company-usa.html>.

⁸⁵ Historic Places LA, “2140 E 7th PL,” Property Identification Number 123A217 315, <http://historicplacesla.org/reports/f042337b-2286-4ec1-9cd9-a2a80984428f>.

⁸⁶ “New Warehouse for Furniture Company,” *Los Angeles Times*, March 1, 1923, 18.

VII. THRESHOLDS FOR DETERMINING SIGNIFICANCE OF IMPACTS

California Environmental Quality Act (CEQA) Guidelines

According to the CEQA Guidelines, a project would result in a significant impact to historical resources if it would cause a *substantial adverse change* in the significance of an historical resource. A substantial adverse change is defined in CEQA Guidelines §15064.5(4)(b)(1), as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the *significance of an historical resource would be materially impaired.*” The significance of an historical resource is materially impaired, according to CEQA Guidelines §15064.5(4)(b)(2), when a project:

- (A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or
- (B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to §5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of §5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of the evidence that the resource is not historically or culturally significant; or
- (C) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

In summary, the definition of substantial adverse change is whether a project demolishes or materially alters in an adverse manner the physical characteristics that convey historical significance of the resource or that justify its eligibility for the California Register of Historical Resources or a local register such as the list of Historic-Cultural Monuments. In other words, if a project would render an eligible historic resource ineligible then there would be a significant adverse effect under CEQA.

VIII. ASSESSMENT OF PROJECT IMPACTS

Description of Proposed Project

The proposed project is described in a 19-page drawing set prepared Shimoda Design Group, dated August 31, 2021 (Attachment H). The proposed project involves demolition of all three buildings at the subject properties and construction of three new buildings with four levels of subterranean parking. The largest of the buildings, Building A, is proposed to be 10-stories high. The rectangular building will be located at the north side of the property along Bay Street. Building B is proposed to be 1-story high and will be located west of Building A, also along Bay Street. Building C is proposed to be 2-stories high and will be located at the south side of the property along Sacramento Street. A driveway into and out of the subterranean parking is proposed to cut through the site from Sacramento Street to Bay Street along the west side of the property, cutting between Buildings A and B, while a paseo will run east-west between Buildings A and C, and then north-south along the west side of Building C. All three buildings are proposed to house offices and retail/restaurants.

The three new buildings are proposed to be contemporary in style. Building A will be the most prominent due to its size and height. It will consist of 9 stories above an inset podium base. Upper floors will consist of floor-to-ceiling glass supported by a grid of slender concrete framing. Building A will have a flat roof and glazing on three sides of the podium. Building B will be a concrete building with a concrete roof. The north elevation, facing Bay Street will be almost entirely glazed, framed by precast concrete, as well a large portion of the south elevation. Building C will have two sections. The west section will be enclosed by glazing at the ground floor, topped by a roof enclosed by thick, fluted panels. In contrast, the east section will be almost entirely solid with a band of glazing wrapping around the south elevation and a small window band along the north elevation.

Evaluation of Direct Impacts

No direct impacts are anticipated with the proposed project. As the existing buildings at the subject properties have not been identified as historical resources either by SurveyLA or this report, demolition would not result in a direct impact.

Evaluation of Indirect Impacts

The proposed development consists of new construction in close proximity to one designated historical resource, the Seventh St. Bridge, as well as three properties that were identified in SurveyLA as appearing eligible for designation and are therefore treated as historical resources for purposes of this report. The potential for indirect impacts to their setting is considered herein. In general, CEQA describes an *indirect* impact as one that results from the "...alteration of the resource or its *immediate surroundings* such that the significance of an historical resource would be materially impaired" (CEQA Guidelines §15064.5(b)(1) (emphasis added).

Located north of the subject properties, the Seventh St. Bridge is nearly a quarter mile away. Although it is theoretically possible to see the subject properties from the span of the bridge, there are many intervening properties, as well as two other proposed projects between the bridge and the subject properties (see below discussion of cumulative impacts). In addition, development in this neighborhood is already quite varied with an eclectic mix of building types, uses, architectural styles, and periods of development from many different decades and does not present any cohesion, as noted above. While the proposed project may be visible from the bridge, it does not change any way the features that convey its significance. The bridge would retain all aspects of integrity. Specifically, it would retain integrity of setting. Constructed in 1910, the surrounding environs of the Seventh Street bridge have changed considerably and cannot be said to be a character-defining feature.

Visibility from the bridge of three contemporary buildings a quarter mile away will not change the setting of the bridge such that it is no longer able to convey its significance.

Finally, the three buildings within the study area that were identified in SurveyLA as appearing eligible for designation will not be impacted by the proposed project. All three properties were identified in SurveyLA as appearing significant as early examples of industrial buildings. 2140 7th Place was constructed in 1910 as a warehouse and was identified in SurveyLA as a rare example of its type. There are several intervening buildings between 2140 7th Place and the project site including two proposed towers. There is little to no visibility currently to or from the project site from 2140 East 7th Place and even less in the near future. Therefore, the proposed project will not change the physical environment of 2140 East 7th Place or its integrity of setting. Similarly, with no visibility, the proposed project cannot change the integrity of feeling or association of 2140 7th Place.

Similarly, 2039-2043 Bay Street was constructed in 1911 as a warehouse and also identified in SurveyLA as a rare example of its type. Visibility of the proposed project in the distance will not substantially change its setting. The surrounding neighborhood has a mix of building heights. Specifically, 1000 Bay Street, a six-story building from 1917 that has been adaptably reused, separates 2039-2043 Bay Street from the project site and will block much of the visibility to and from the project site, thereby making the project site appear in the background. For this reason, the proposed project will not change the integrity of setting, feeling or association of 2039-2043 Bay Street.

Finally, 1200-1206 Santa Fe Avenue was constructed in 1913 and identified in SurveyLA as a rare example of an industrial building. Like the other identified historical resources, the setting of 1200-1206 Santa Fe Avenue has changed considerably since it was constructed, most notably with construction of the I-10 freeway located nearly adjacent to the south. While the proposed project will be visible to and from 1200-1206 Santa Fe Avenue, this fact will not change the mix of industrial buildings in the immediate surroundings such that it will destroy the integrity of setting, feeling or association of 1200-1206 Santa Fe Avenue.

As the proposed project is located some distance from the three properties with many intervening buildings, it does not have the potential to further impact their integrity of setting, feeling or association and therefore will not cause an indirect impact to historical resources.

Cumulative Impacts

There is a total of 72 related projects in the vicinity of the proposed project at the subject properties. While the majority of the related projects are located a substantial distance from the subject properties, the following 9 are within the study area defined above and in the map on the following page:⁸⁷

- Related Project #4, 826 S. Mateo St.: Details on the proposed project could not be found. However, the one, small building on the site, appearing as a shed clad in corrugated metal, has not been identified in SurveyLA and would not likely qualify as a historical resource.
- Related Project #5, 2060 E 7th St. (Ford Motor Company): Recently completed rehabilitation of a historical resource. As work conformed with the *Secretary's Standards* with mitigation incorporated, there were no impacts to historical resources.
- Related project #9, 2130 E. Violet St.: Nearly completed construction of a nine-story mixed-use building.

⁸⁷ All numbers correspond to the related projects number in the environmental document.

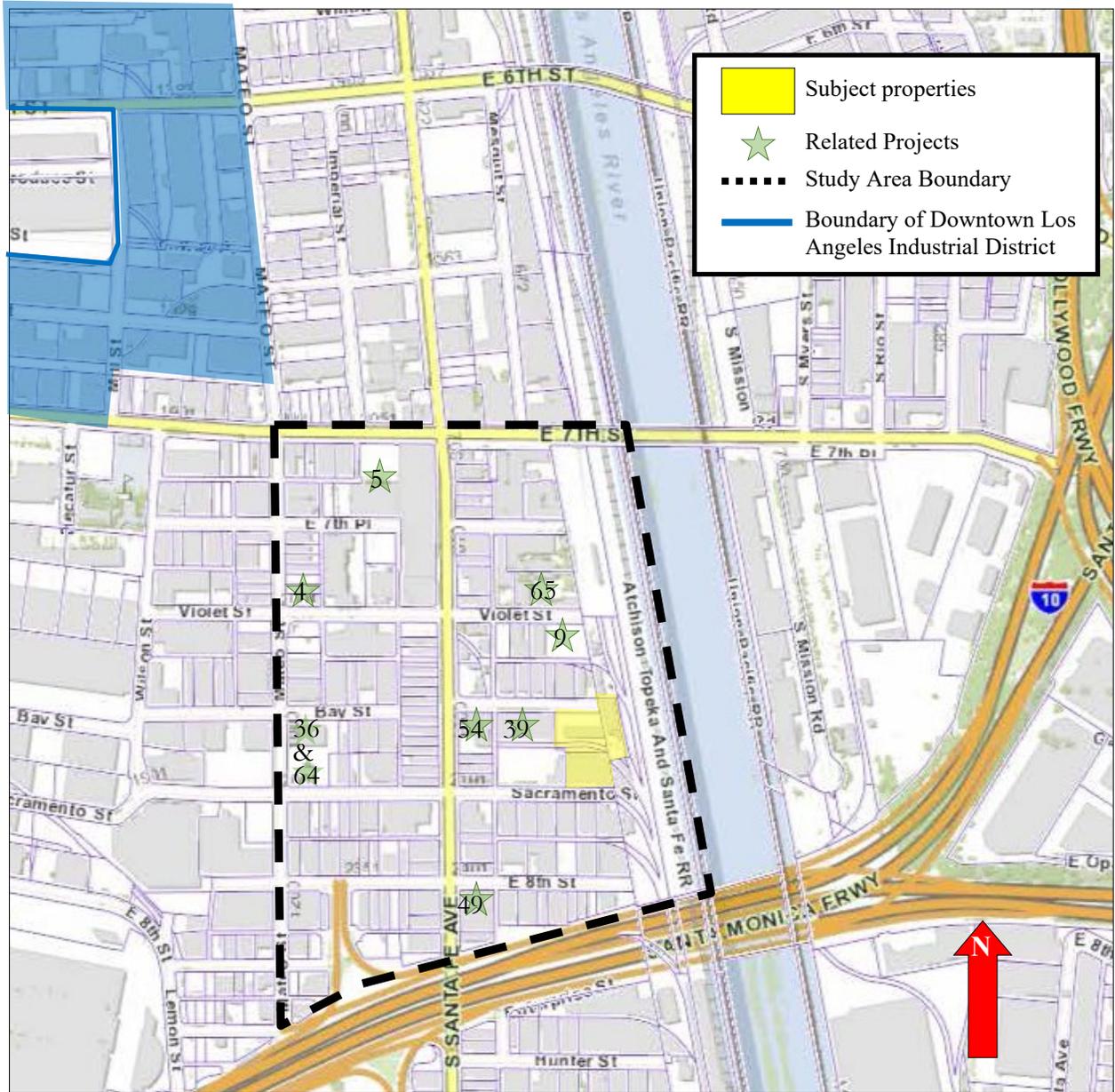
Related Project #36 and #64, 1000 S. Mateo St./1024 S. Mateo St.: New, eight-story building with live-work apartments. The development requires demolition of a building from the mid-1970s; no historical resource impacts were identified.

Related Project #39, 2110 Bay St.: Proposed construction of three new mixed-use buildings, up to 11-stories high, arranged around a central courtyard. While the site contains three buildings that are 45 years of age or older, none of the buildings were identified as historical resources.

Related Project #49, 1200 S. Santa Fe Ave.: Recently completed rehabilitation of an existing building identified as a historical resource (see above nearby historical resources). The former industrial building was converted to live-work residential units.

Related Project #54, 1000 S. Santa Fe Ave.: Rehabilitation in conformance with the *Secretary's Standards* of an existing five-story building that was constructed in 1916. As the project conforms with the *Secretary's Standards*, there are no impacts to historical resources.

Related Project #65, 2143 E. Violet St.: Proposed construction of a new 36-story residential building and a new 8-story office building. Four of the seven existing buildings on the site, one of which was identified as a historical resource, are proposed to be retained. No historical resource impacts were identified in the Draft Environmental Impact Report.



None of the above projects identified historical resource impacts. There are several completed and proposed projects nearby the subject properties, specifically in the immediate vicinity along Bay Street, as well as a block to the north along Violet Street. The proposed project considered in this report would not result in a cumulative impact to any historical resources. CEQA §15355 defines a cumulative impact as “two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.” The proposed project has not been shown to have either a direct or an indirect impact on historical resources. Specifically, in addition to the fact that there are no historical resources at the project site and therefore no direct impacts, the proposed project does not result in an indirect impact to any nearby historical resources within the study area. As noted above, the nearby historical resources within the study area all have a somewhat compromised integrity of setting.

IX. CONCLUSION

A development project is proposed for the subject properties that would result in removal of all existing improvements. The subject properties were evaluated for historic and architectural significance. Their histories, as well as their alterations, were researched and described. The subject properties were evaluated against relevant historic contexts and were not found to be eligible for listing in the National or California Registers nor were they found eligible for local designation under any criteria. Therefore, the subject properties are not historical resources under CEQA.

Several historical resources were identified nearby the subject properties. The proposed project was not found to have potential to cause indirect impacts to the setting of the nearby historical resources. Furthermore, the proposed project was evaluated for cumulative impacts along with 10 other development projects in the area and does not appear to result in any cumulative impacts to historical resources. Therefore, the proposed project is anticipated to have a less than significant impact on historical resources.

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Attachment A: Maps



Map 1: Location map, subject properties circled (Source: Google maps, 2016)



Map 2: Detail of location map, subject properties highlighted green (Source: Google maps, 2016)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment A: Maps



Map 3: Location map, subject properties highlighted yellow (Source: Los Angeles County Assessor, 2016)

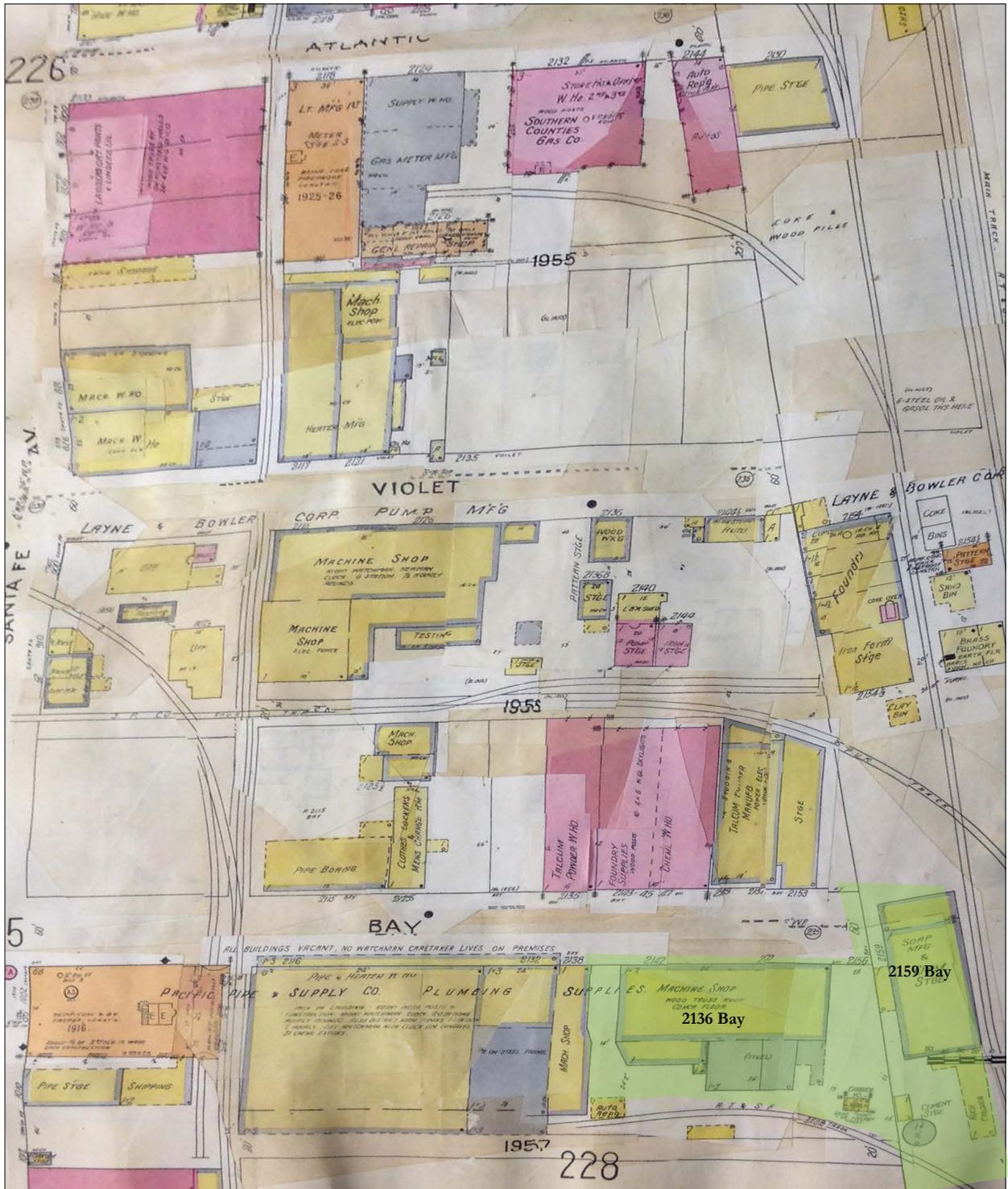
Attachment B: Historic Maps



Map 4: Sanborn Fire Insurance map, approximate locations of subject properties highlighted green, note no existing buildings are extant (1906)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment B: Historic Maps



Map 5: Sanborn Fire Insurance map, approximate locations of 2136 and 2159 Bay Street highlighted green, note existing building at 2136 Bay Street is not extant (1909-1935)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

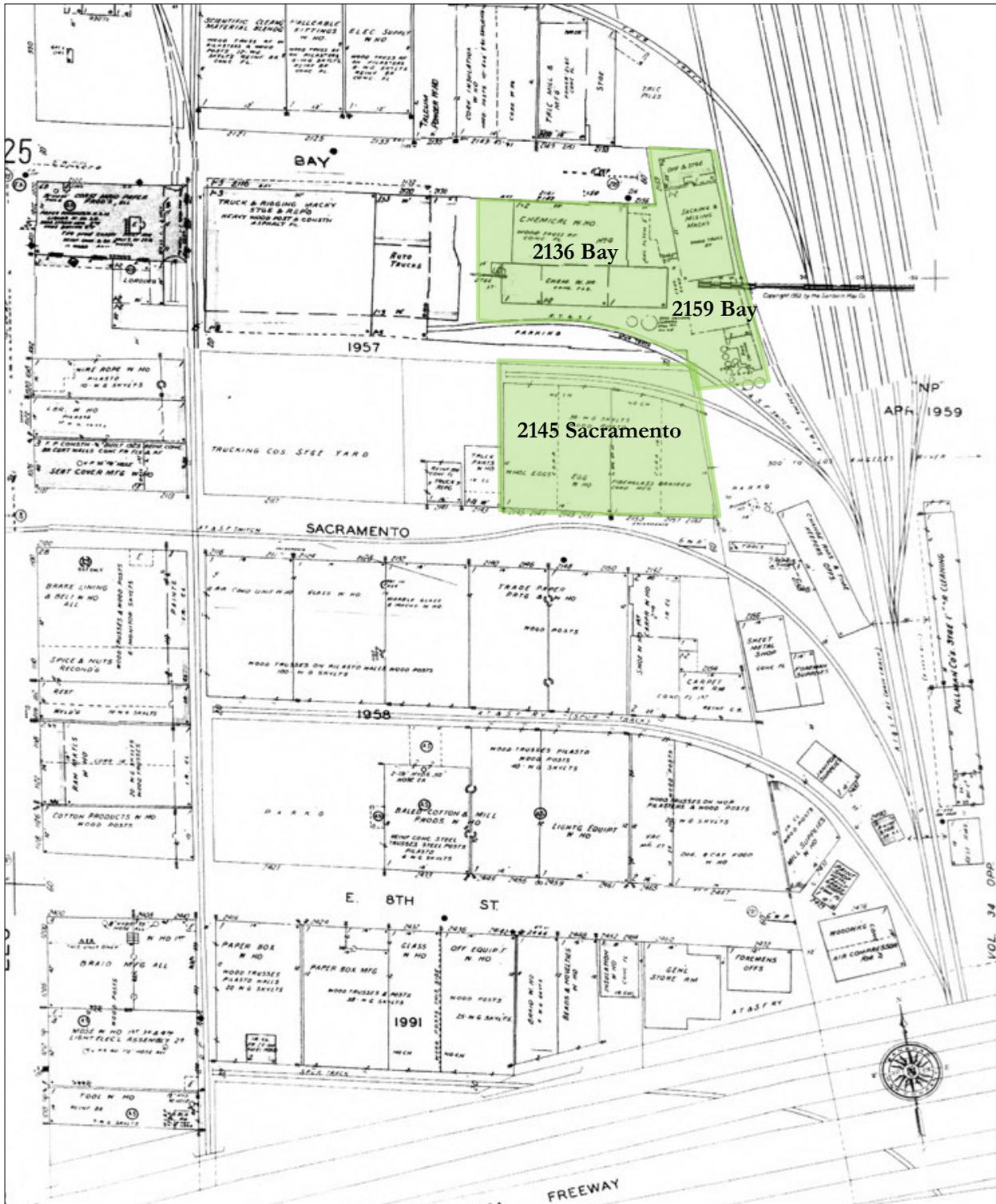
Attachment B: Historic Maps



Map 6: Sanborn Fire Insurance map, subject properties highlighted green (1950)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

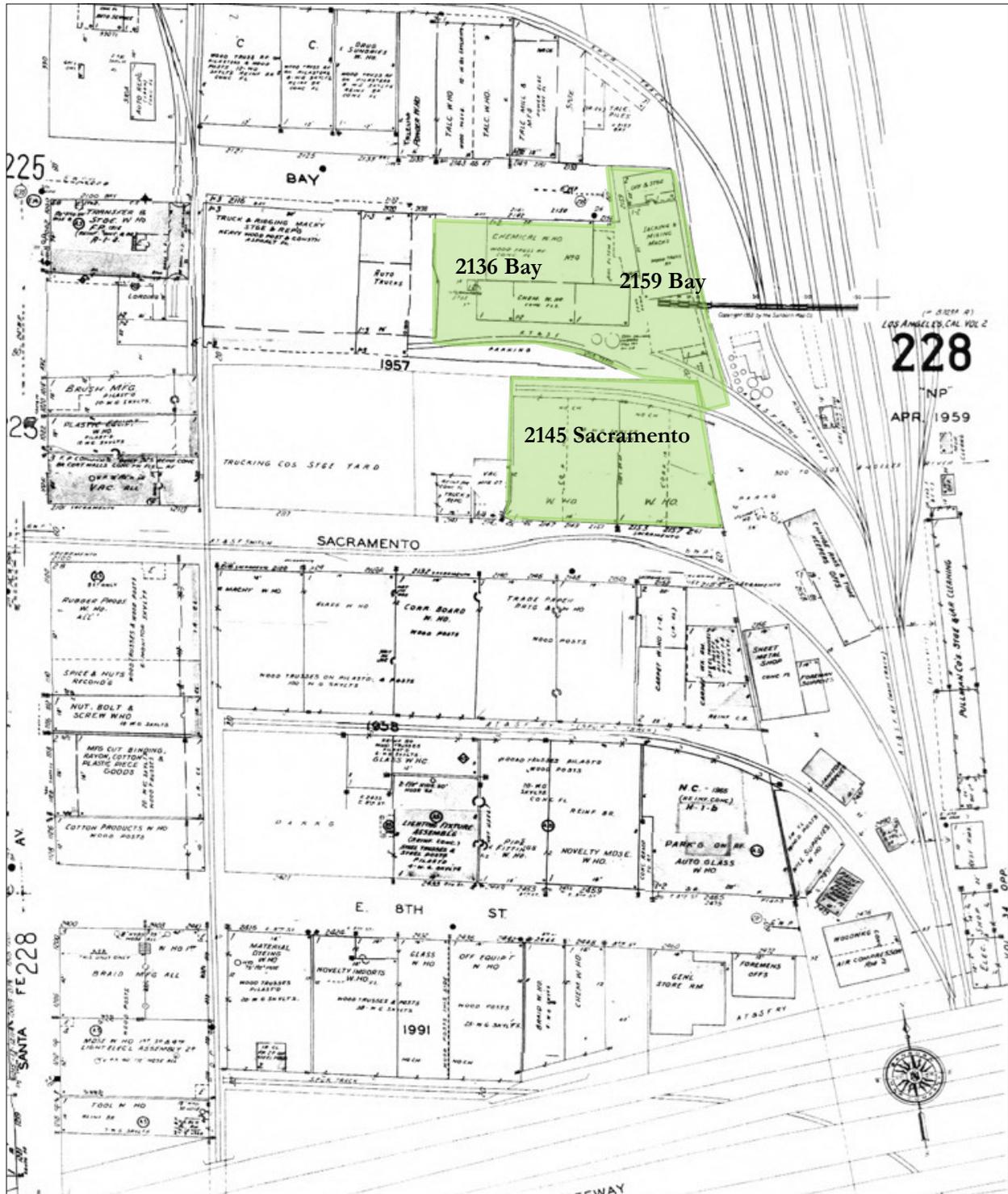
Attachment B: Historic Maps



Map 7: Sanborn Fire Insurance map, subject properties highlighted green (1960)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment B: Historic Maps



Map 8: Sanborn Fire Insurance map, subject properties highlighted green (1970)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment C: Contemporary Photographs



Figure 1: 2145 Sacramento St at left, south elevation, view east (Snow, 2016)



Figure 2: 2145 Sacramento St, south elevation, view northeast (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 3: 2145 Sacramento St, south elevation, view northwest (Snow, 2016)



Figure 4: 2145 Sacramento St, south elevation, main entrance, view north (Snow, 2016)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment C: Contemporary Photographs



Figure 5: 2145 Sacramento St, east elevation, view south (Snow, 2016)

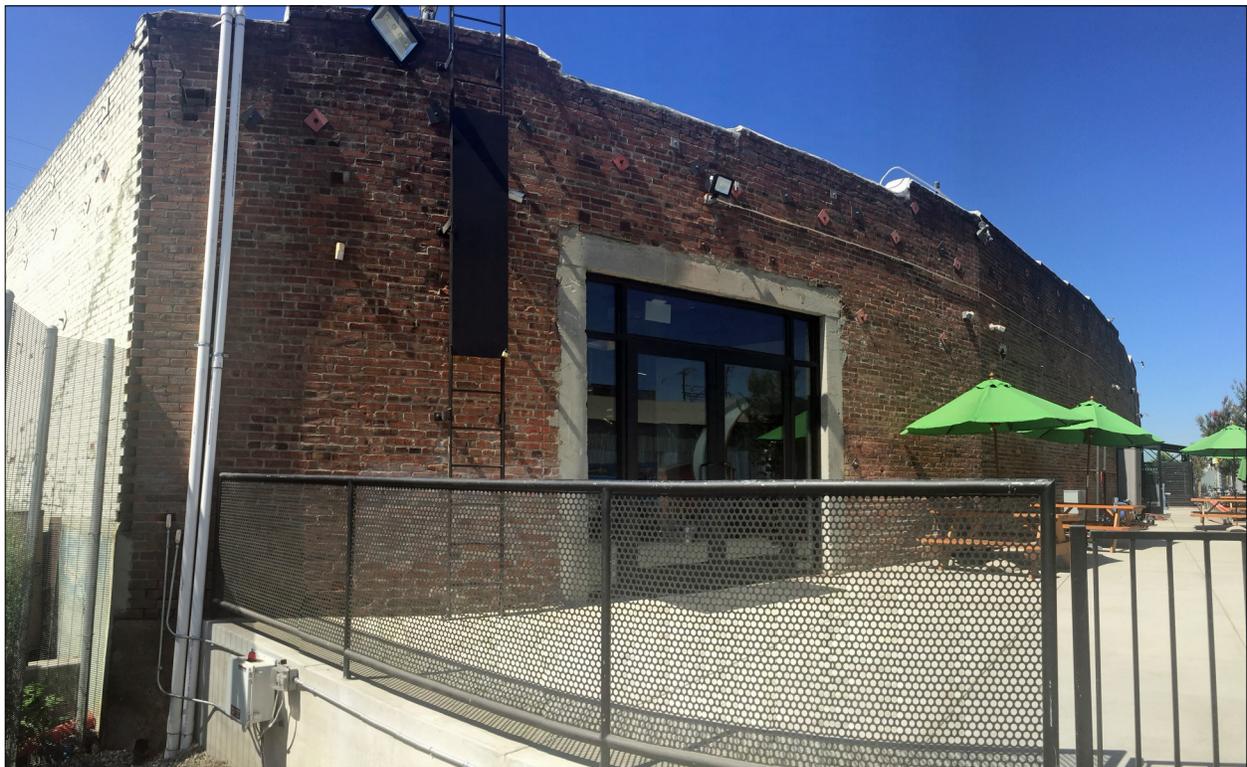


Figure 6: 2145 Sacramento St, east side of north elevation, view southwest (Snow, 2016)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment C: Contemporary Photographs



Figure 7: 2145 Sacramento St, east elevation, view southeast (Snow, 2016)



Figure 8: 2145 Sacramento St, east elevation, view southwest (Snow, 2016)

Attachment C: Contemporary Photographs

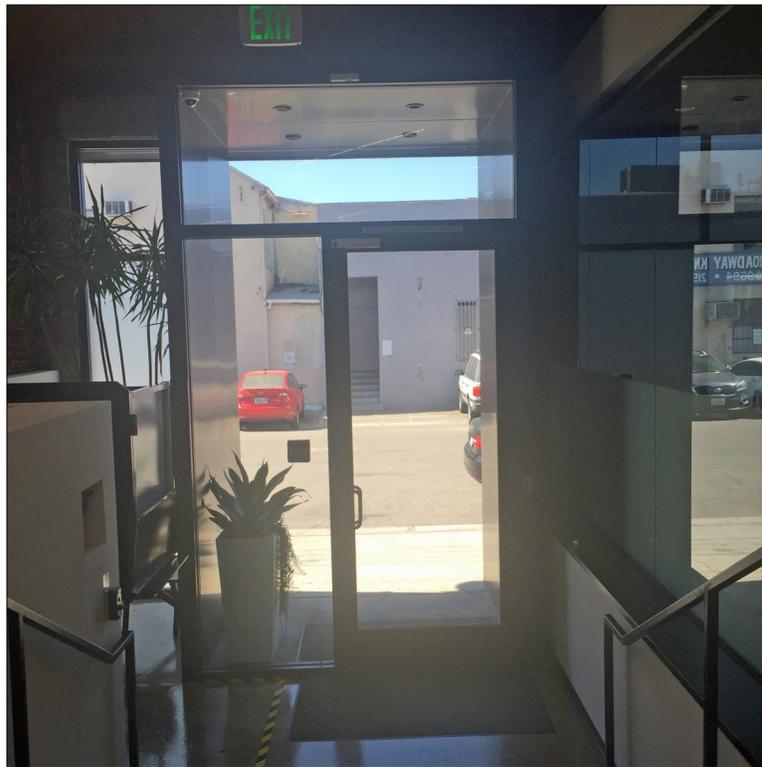


Figure 9: 2145 Sacramento St, interior, main entrance, view south (Snow, 2016)

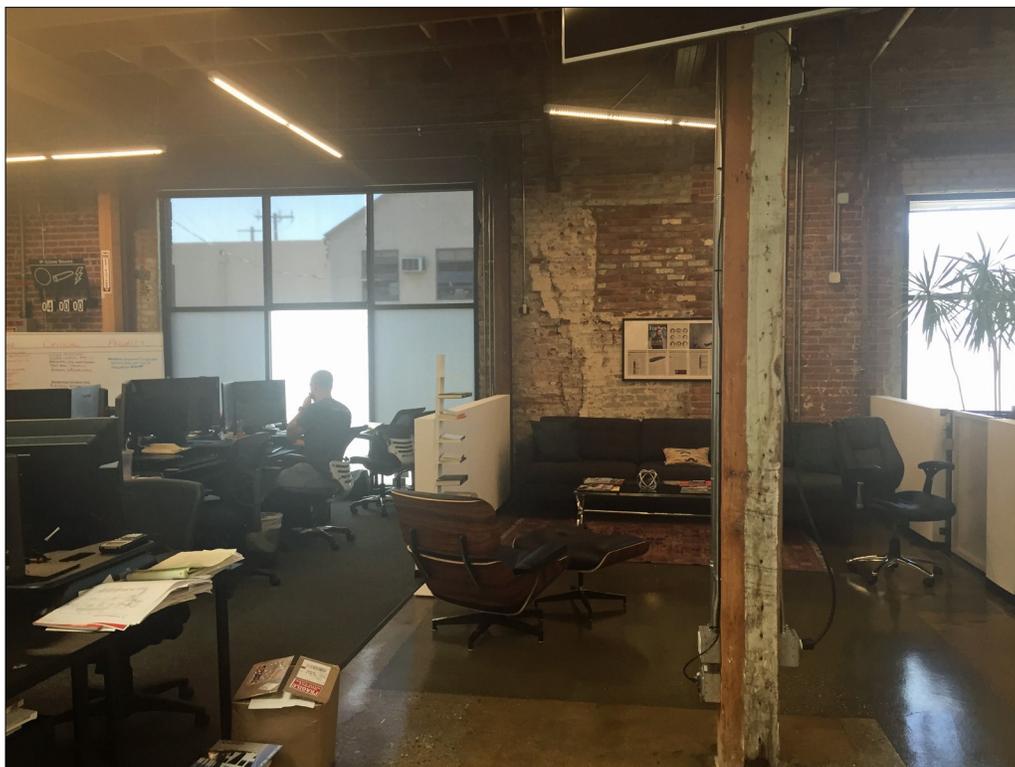


Figure 10: 2145 Sacramento St, interior, main entrance (far right), and large window opening (left), view south (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 11: 2145 Sacramento St, interior, east space, view northwest (Snow, 2016)

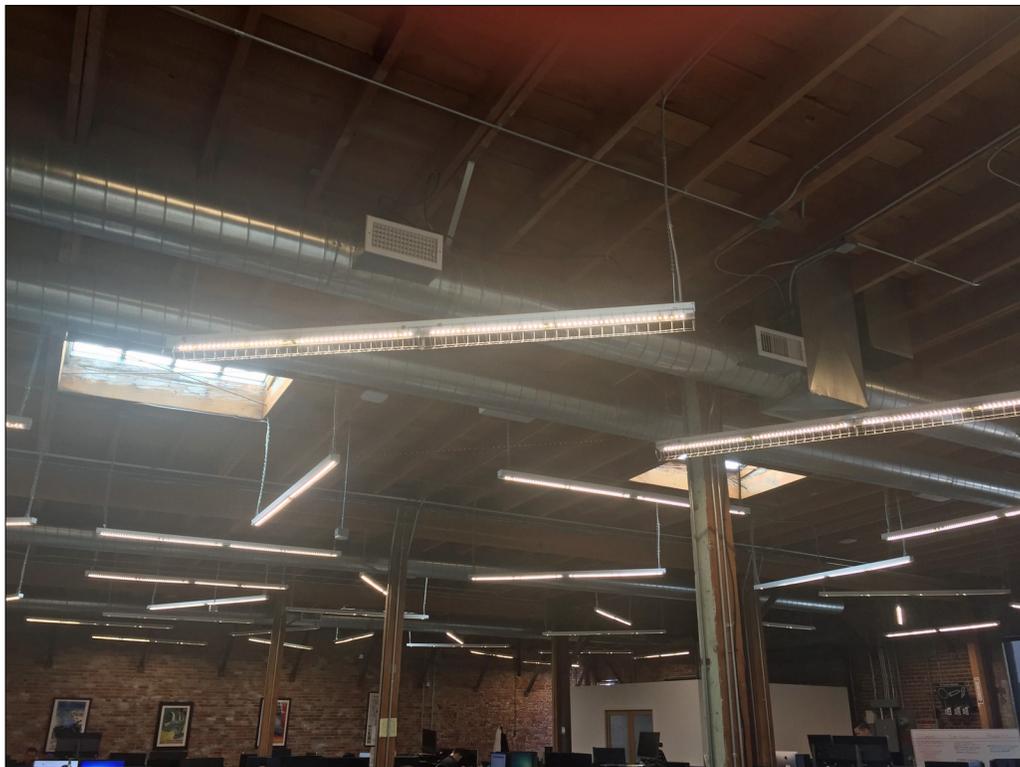


Figure 12: 2145 Sacramento St, interior, east space, view northwest (Snow, 2016)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment C: Contemporary Photographs

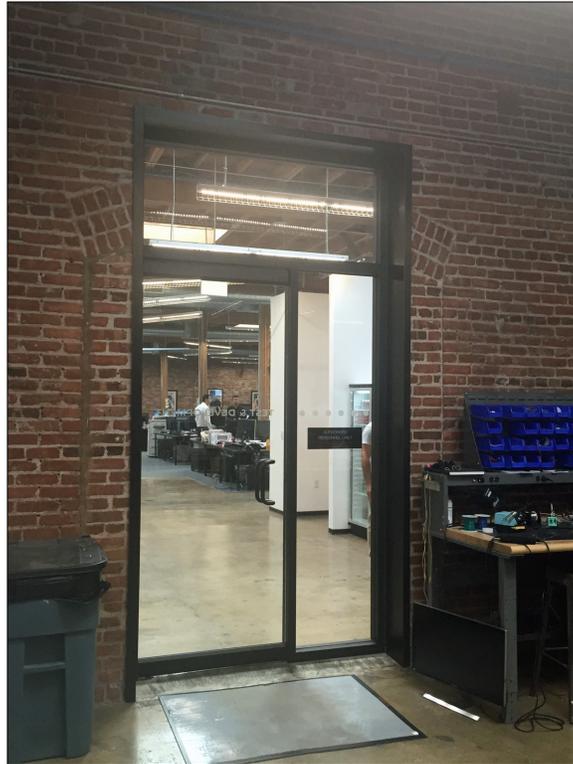


Figure 13: 2145 Sacramento St, interior, center section, view east toward east section (Snow, 2016)



Figure 14: 2145 Sacramento St, interior, west section, view north (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 15: 2136 Bay St, north elevation, panorama view southwest (Snow, 2016)



Figure 16: 2136 Bay St, north elevation (left), view west (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 17: 2136 Bay St, north elevation, southwest (Snow, 2019)



Figure 18: 2136 Bay St, north elevation (left), view southeast, note automated,

Attachment C: Contemporary Photographs



Figure 19: 2136 Bay St, north elevation (left) and west elevation (right), view southeast (Snow, 2016)



Figure 20: 2136 Bay St, and west elevation (left) and south elevation (right), view northeast (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 21: 2136 Bay St, south elevation, view northeast (Snow, 2016)



Figure 22: 2136 Bay St, south elevation, panorama view west to east (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 23: 2136 Bay St, east elevation, view northwest (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 24: 2136 Bay St, interior, view east (Snow, 2016)



Figure 25: 2136 Bay St, interior, larger door along south elevation, view south (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 26: 2136 Bay St, interior, view west (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 27: 2159 Bay St, west elevation, view southeast (Snow, 2019)



Figure 28: 2159 Bay St, west elevation, view south (Snow, 2019)



Figure 29: 2159 Bay St, east elevation, view southwest (Snow, 2016)



Figure 30: 2159 Bay St, west elevation, view southeast (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 31: 2159 Bay St, south elevation (left) and east elevation (right), view northwest (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 32: 2159 Bay St, interior, south section, view north (Snow, 2016)



Figure 33: 2159 Bay St, interior, south section, view south (Snow, 2016)

Attachment C: Contemporary Photographs



Figure 34: 2159 Bay St, interior, north section, first floor, view northeast (Snow, 2016)



Figure 35: 2159 Bay St, interior, north section, second floor, view southeast (Snow, 2016)

Attachment C: Contemporary Photographs

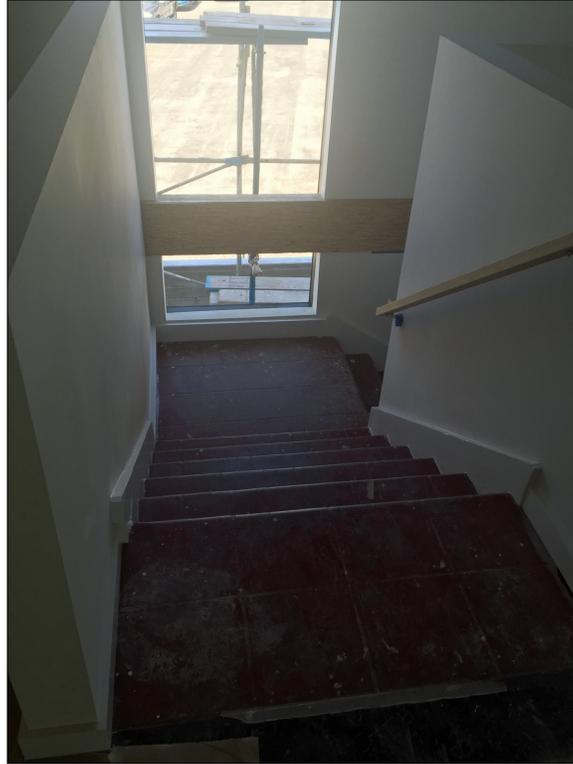


Figure 36: 2159 Bay St, interior, north section, second floor, stairs, view west (Snow, 2016)

Attachment D: Historic Photographs



Figure 37: Historic aerial photograph, subject properties highlighted, view northeast (University of California Santa Barbara, 1931)

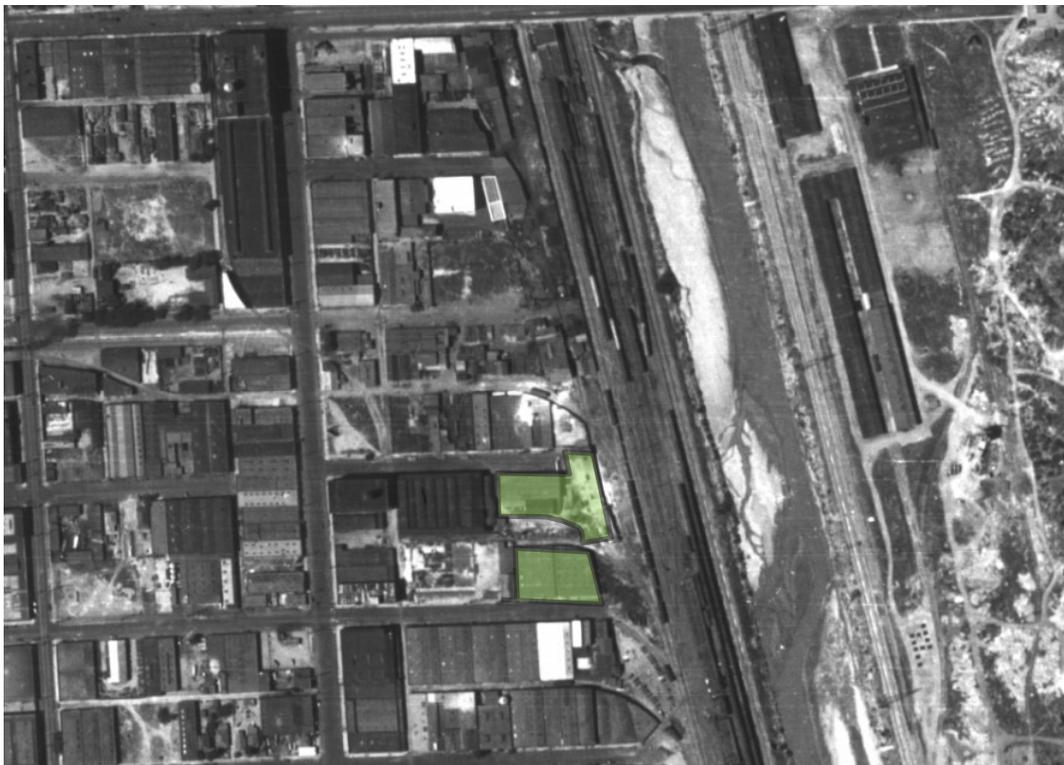


Figure 38: Historic aerial photograph, subject properties highlighted, view north (University of California Santa Barbara, 1937)

Attachment D: Historic Photographs



Figure 39: Historic aerial photograph, subject properties highlighted, view northeast (University of California Santa Barbara, 1962)

Attachment D: Historic Photographs



Figure 40: 2136 Bay St, Google street view (April 2015)



Figure 41: 2159 Bay St, Google street view (April 2015)

2145 Sacramento Street, 2136 Bay Street, 2159 Bay Street, Los Angeles, CA

Attachment E: Nearby Properties

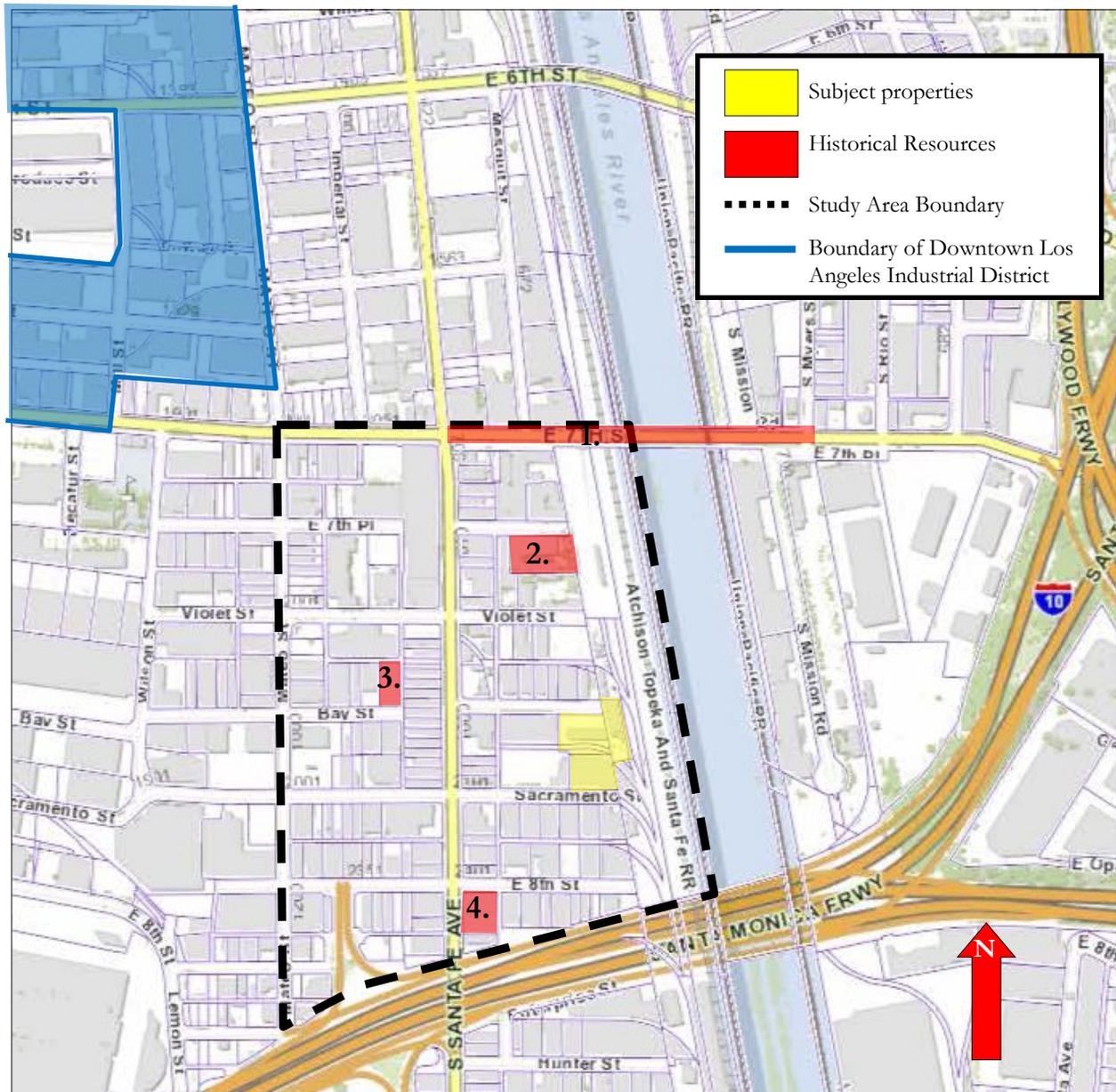


Figure 42: 2159 Bay St, Google street view (Source map: Los Angeles County Assessor, 2019)

Attachment E: Nearby Properties



Figure 43: Seventh Street Bridge, No. 53C1321, indicated with red arrow, view northeast (Snow, 2019)



Figure 44: 2140 East 7th Place, view southeast (Snow, 2019)

Attachment E: Nearby Properties



Figure 45: 2039-2043 East Bay Street view northwest (Snow, 2019)



Figure 46: 1200-1206 South Santa Fe Avenue view southeast (Snow, 2019)

Attachment F: Building and Alteration Permits

2145 Sacramento Street

Date	Permit No.	Work	Owner	Architect	Builder	Valuation
June 7, 1912	6658	Move and repair existing one-story building used for carpet cleaning from 2159 Sacramento Street to 666 S. Anderson Street.	G. E. Schmit and Adolph E. (last name illegible).	Not given.	Not given.	Not given.
April 6, 1914	7265	Plumbing work at 2159-2161 Sacramento Street.	L.A. Preserving Company.	N/A	Albert Shorten.	\$50.00
April 8, 1914	7464	Plumbing work on residence at 2161 Sacramento Street.	L.A. Preserving Company.	N/A	Illegible.	\$50.00
July 19, 1915	11178	Plumbing work on residence at 2161 Sacramento Street.	L.A. Preserving Company.	N/A	Callan Brothers.	
July 19, 1915	11179	Plumbing work on residence at 2159 Sacramento Street.	L.A. Preserving Company, 1104-6 Santa Fe Ave.	N/A	Callan Brothers.	\$0.00
June 9, 1931	11863	Insert mezzanine floor at existing warehouse at 2153-2155 Sacramento Street.	Amelia M.E. Bixby Company, 453 S. Spring Street, Los Angeles.	Not given.	Morgan Luper, 453 S. Spring Street, Los Angeles.	\$400.00
August 27, 1946	25038	Reroof warehouse at 2145-2161 Sacramento Street.	J. Norman Acoff, 411 E 12 th Street.	Not given.	Standard Roof Company, 850 East 42 nd Street.	\$1,700.00
December 5, 1951	20303	Construct two new mezzanines in existing 150'x195', one-story masonry manufacturing, storage, offices building at 2153 Sacramento Street.	Crossfield Products Corporation, 2153 Sacramento Street.	George J. Fosdyke (Engineer).	Owner.	\$2,000.00
February 14, 1952	20303	Certificate of Occupancy for one-story, type III-A, 8x60 and 20x70 mezzanine floors in existing building, G-1 occupancy.	Crossfield Products Corporation.	N/A	N/A	N/A

Attachment F: Building and Alteration Permits

2145 Sacramento Street

March 6, 1963	32348	Items 2, 3, 6, 7, 8 and 9 of letter file x20598.	Halbert Brothers, Inc.	Not given.	The Dennis Company.	\$820.00
March 6, 1963	32349	Parapet correction adjacent to Sacramento Street and rear exits, to existing 123'x195', one-story warehouse building at 2145-61 Sacramento Street.	Halbert Brothers, Inc., 2116 Bay Street, Los Angeles 21.	Not given.	The Dennis Company, 2701 West Pico Boulevard, Los Angeles.	\$1,720.00
March 14, 1963	33046	Enlarge existing door in exterior wall of warehouse at 2145-61 Sacramento Street.	Halbert Brothers, Inc.	Not given.	The Dennis Company.	\$280.00
September 23, 1964	76908	Relocate, add, and remodel interior non-bearing partitions in existing warehouse at 2149 Sacramento Street.	Farm Fresh Egg Corporation, 2149 Sacramento Street.	Not given.	Owner.	\$400.00
February 24, 1987	58285	Add non-bearing partition walls and accessory office to existing 50'x140', one-story warehouse building at 2149 Sacramento Street.	Norman Soloman, 929 E. 2 nd Street, #201, Los Angeles.	Not given.	Stat Construction.	\$5,000.00
September 3, 1987	74970	Change of use of existing 41'x119' warehouse building at 2159 Sacramento Street to laundry facility. Interior remodeling.	Iira Irarani, 6300 Lan, Woodland Hills.	Not given.	Larence Newman.	\$3,800.00
November 16, 1987	81500	Full compliance with Division 88 for existing 123'x196', one-story warehouse/manufacturing building at 2145-61 Sacramento Street.	Norm Solman.	Jim Pajuhesh, 9430 Washington Boulevard, Culver City (Engineer).	Not selected.	\$145,000
August 9, 1988	6814	Addition of contractor names to permit.	Norm Solman.	Jim Pajuhesh.	King Wire Partitions, Inc.	\$201.00

Attachment F: Building and Alteration Permits

2145 Sacramento Street

October 23, 2013	13016-70000-21350	Add partitions to create an electrical room enclosure at 2145 E. Sacramento Street.	N and G Industrial Properties, 929 2 nd Street, Suite 101, Los Angeles.	Not given.	SCR Builders, 4915 Durfee Avenue, Pico Rivera.	\$2,000.00
June 26, 2015	15016-10000-12440	Change of use (east) 107'x107.5' portion of the building at 2159 Sacramento Street from Warehouse/Manufacturing/Office to Creative Office. Tenant Improvement. No change in parking. All structural work under separate permit.	Lion Arts District, LLC, 11620 Wilshire Boulevard, Suite 470, Los Angeles, CA.	Chris Pak, 3530 Wilshire Boulevard 615, 90010.	Alliance Construction Team, Inc., 139 E. Olive Avenue, Monrovia.	\$100,000.00
July 20, 2015	15016-10000-14509	Tenant improvement in existing light manufacturing warehouse at 2149 Sacramento Street. No change in parking. All structural work under separate permit.	Lion Arts District, LLC.	Chris Pak.	Alliance Construction Team, Inc.	\$54,000.00
August 5, 2015	15016-10000-16463	Comply with department order effective date 5/29/15. Reroof with Class A or B material weighing less than 6 pounds per square foot, for existing building at 2145 Sacramento Street.	Lion Arts District, LLC.	Not given.	Foambond Corporation, 255 N El Cielo Road, Suite 140-656, Palm Springs.	\$80,854.00
August 26, 2015	15016-1001-12440	Supplemental to 15016-10000-12440: Removal of walls and new structural support for existing warehouse/office/manufacturing building at 2159 Sacramento Street.	Lion Arts District, LLC.	Christopher C. Pak (Architect); David Lyle Funk, 619 Beryl Street, Redondo Beach (Engineer).	Alliance Construction Team, Inc., 139 E Olive Avenue, Monrovia.	\$10,000.00

Attachment F: Building and Alteration Permits

2136-2148 E Bay Street

Date	Permit No.	Work	Owner	Architect	Builder	Valuation
September 7, 1918	4651	Add two more buildings to the east end of present machine shop at 2152 Bay Street. Addition is 24'x60', one story, concrete foundation.	Pacific Pipe and Supply Company.	W.J. Dodd and Ivan Richards.	May and Grimwood of 1009 Haas Building.	\$1,900.00
June 26, 1936	2394	Certificate of Completion for Class "D" Public garage at 2140 Bay.	Not given.	Not given.	Not given.	Not given.
April 22, 1940	15398	At the existing 150'x225' one-story warehouse building at 2136 E. Bay Street, tear out existing offices and toilets now on an old loading platform and lower them to ground level and rearrange.	Pacific Pipe & Supply Company, 1106 S. Hope Street.	None.	Richards-Neustadt Construction Company, 524 W.M. Garland Bldg., 117 W 9 th Street, Los Angeles.	\$775.00
May 8, 1940	18018	Add two temporary offices and one toilet to Permit No. 15398.	Pacific Pipe & Supply Company, 1106 S. Hope Street.	None.	Richards-Neustadt Construction Company, 524 W.M. Garland Bldg., 117 W 9 th Street, Los Angeles.	\$190.00
May 11, 1954	87669	Erect new 12' diameter, 41' high steel tank with reinforced concrete floor on lot with two existing office and warehouse buildings at 2148 Bay Street. Permit includes sketch map.	Hill Brothers Chemical Company, 2159 Bay Street, Los Angeles.	James M. Fox (Architect and Engineer)	Owner.	\$10,000

Attachment F: Building and Alteration Permits

2136-2148 E Bay Street

January 3, 1955	87669	Certificate of Occupancy for ammonia converter and 12' diameter storage tank, miscellaneous structure, E-1 occupancy at 2148 Bay Street.	Hill Brothers Chemical Company, 2159 Bay Street, Los Angeles.	Not given.	Not given.	Not given.
November 14, 1969	99158	Add interior, non-bearing partitions at 2148 Bay Street.	Hill Brothers Chemical Company, 2159 Bay Street, Los Angeles.	Not given.	Granville Black Construction Company.	\$5,600.00
November 21, 1970	99158	Change of occupancy of a 40'x40' portion of an existing 1-story, type IV, 40'x160' building from G-1 occupancy to warehouse E-2 occupancy at 2148 Bay Street.	Hill Brothers Chemical Company.	Not given.	Not given.	Not given.
November 2, 1989	45565	Demolish building down to slab. Slab to remain at 2148 Bay Street.	Hill Brothers Chemical Company.	Not given.	Cal Pacific Salvage.	\$27,000.00
November 5, 2015	15016-10000-23645	Tenant improvement of existing light manufacturing building at 2148 E Bay Street. New door, windows, break room, and restrooms. No change in parking.	Lion Arts District Property Owner, LLC, 11620 Wilshire Boulevard, Suite 470, Los Angeles.	Christopher C. Pak, 8157 Zitola Terrace, Playa Del Rey (Architect); Michael Ernster O'Brien, 27 Orchard 200, Lake Forest (Engineer).	Alliance Construction Team, Inc., 139 E Olive Avenue, Monrovia.	\$50,000.00
December 18, 2015	15016-10001-23645	Supplemental permit to 15016-10000-23645 to install rooftop platform for mechanical equipment at 2148 E Bay Street.	Lion Arts District Property Owner, LLC	Christopher C. Pak (Architect); Michael Ernster (Engineer).	Alliance Construction Team	\$30,000.00

Attachment F: Building and Alteration Permits

2136-2148 E Bay Street

February 17, 2016	16044-90000-01755	New air handler, condenser, ductwork, and two bath fans at 2148 E Bay Street.	Lion Arts District Property Owner, LLC	Not given.	Advanced Heating and Air, N. Hollywood.	Not given.
March 31, 2016	15020-10000-02948	Construction of 24 park plus triple car stackers including foundation work for non-code required parking at 2148 E Bay Street.	Lion Arts District Property Owner, LLC	John Gilmore Deenihan, 5931 Oakdale Ave, Woodland Hills (Architect); Brett leslie Anderson, 770099 California Drive, Palm Desert (Engineer); Bradley Warren Smith, 12435 Ventura Court, Studio City (Engineer).	Alan and Green Construction, Inc., 15155 California Street, Van Nuys.	\$500,000.00
April 11, 2016	16030-10000-02475	Removal and recompaction for support of new car stackers.	Lion Arts District Property Owner, LLC	Not given.	Alan and Green Construction, Inc.	Not given.

Attachment F: Building and Alteration Permits

2159 E Bay Street

Date	Permit No.	Work	Owner	Architect	Builder	Valuation
April 11, 1924	17886	Erect new 48x126-ft, two-story warehouse, wood frame with corrugated iron roof.	National Kellastone Company of Porterville, CA.	George P. Simpson (last name illegible)	National Kellastone Company	\$7,000.00
June 6, 1925	20107	Add one-story warehouse addition of 2,400 sq ft, two offices, and a storage room on second floor of existing building.	National Kellastone Company.	Owner.	Owner.	\$4,000.00
June 6, 1929	15174	Install partition for extra toilet. Plaster partitions.	Hill Brothers Chemical Company of 2159 Bay Street.	Not given.	Hill Brothers Chemical Company	\$150.00
July 23, 1934	9362	Alterations. Handwriting illegible.	Hill Brothers Chemical Company.	Not given.	Not given.	\$300.00
June 26, 1945	9251	Replace 48x150-ft portion of building destroyed by fire. Reuse existing platform 48x96-ft not damaged by fire.	Hill Brothers Chemical Company of 2435 W. Main Street, Alhambra.	B.F. Dinsmore (Engineer)	Owner.	\$10,000.00
July 24, 1945	14267	Add new loading dock.	Hill Brothers Chemical Company of 2159 Bay Street.	B.F. Dinsmore (Engineer)	Owner.	\$1,500.00
September 15, 1948	25694	Erect two buildings adjacent to existing, making existing wall common to both. Modify wall to make it a 1-hour firewall. Erect a mezzanine floor (steel) inside new 55'x40' buildings. Erect a concrete ramp into building.	Hill Brothers Chemical Company of 2159 Bay Street.	E.M. Bennetson (Engineer)	Owner of 1101 S. Fremont Avenue, Alhambra	\$11,400.00
September 24, 1948	26288	Construct a 10'x10' building using common wall of existing warehouse (2-hour firewall) for	Hill Brothers Chemical Company of 2159 Bay Street.	E.M. Bennetsen (Engineer)	Owner.	\$350.00

Attachment F: Building and Alteration Permits

2159 E Bay Street

Date	Permit No.	Work	Owner	Architect	Builder	Valuation
		paint storage).				
January 21, 1949	26288	Certificate of Occupancy for one-story, Type V, 10'x10', paint storage addition.	Hill Brothers Chemical Company of 2159 Bay Street.	Not given.	Not given.	Not given
January 21, 1949	25694	Certificate of Occupancy for one-story, type IV, 40x42, 40x55, storage additions, G-1 occupancy.	Hill Brothers Chemical Company of 2159 Bay Street.	Not given.	Not given.	Not given
January 17, 1949	736	Construct 6'-6" x 6'-6" wood frame plaster interior stucco exterior structure 6'-6" high over conveyor.	Hill Brothers Chemical of 1011 South Fremont, Alhambra	E.M. Bennetsen (Engineer).	Owner.	\$150.00
July 25, 1951	15316	Work partially illegible on permit. Includes installing new door and removing window.	Hill Brothers Chemical Company of 2159 Bay Street.	E.M. Bennetson (Engineer).	William J. Moran of 1011 S. Fremont.	\$100.00
July 14, 1953	65505	Remove 30x60 partition at west end of building. Remove mezzanine. Build 1-hour fire wall at west end and concrete dock. Build concrete dock at south end of east warehouse.	Hill Brothers Chemical Company of 2159 Bay Street.	James M. Fox (Engineer).	Not given.	\$6000.00
July 14, 1953	65506	Build concrete dock for storage of flammable liquids and acids. Build wood platform for feeding.. (remaining text illegible). Sketch plan included with permit.	Hill Brothers Chemical Company of 2159 Bay Street.	I.M. Fox (Engineer).	Not given.	\$2,000.00
September 17, 1954	75360	Certificate of Occupancy for one-story, type V, 7'x16' work platform addition to existing building.	Hill Brothers Chemical Company of 2159 Bay Street.	Not given.	Not given.	Not given
June 30,	18407	Erection of new	A.T. & S.F. RR	H.L. Gilman.	Owner.	\$9,810.00

Attachment F: Building and Alteration Permits

2159 E Bay Street

Date	Permit No.	Work	Owner	Architect	Builder	Valuation
1955		8'x12', one-story, eight-foot high, metal wall, storage and service building.	Company of 121 E. 6 th Street, Los Angeles.			
December 29, 1955	18407	Certificate of Occupancy for 1-story, Type IV, 8'x12' storage. G-1 occupancy.	A.T. & S.F. RR Company of 121 E. 6 th Street, Los Angeles.	Not given.	Not given.	Not given
January 31, 1968	60343	Erection of new 39'x67' outside storage open crushed rock storage bins.	United Sierra Division of Cyprus Mine	Frank Lehnen Smith (Engineer).	Not selected.	\$8,000.00
February 14, 1968	61030	Erection of new tank foundation, 14'x14' concrete foundation.	Shell Chemical Company.	E.D. Hellman (Engineer).	Smith-Winburn.	\$1,800.00
November 12, 1968	77672	(Permit 60343 expired July 31, 19689). Erection of new 15.8'x54' outside storage open crushed rock storage bins.	United Sierra Division of Cyprus Mine.	D.R. Grant (Engineer).	Not selected.	\$6,000.00
November 16, 2015	15044-90000-12113	Five bathroom fans and three new heat pumps.	AT and SF RY Company.	Not given.	Advanced Heating and Air of N Hollywood.	Not given
November 27, 2015	15016-90000-26204	Reroof warehouse with 49 squares Built Up roofing. Existing solid sheathing.	AT and SF RY Company.	Not given.	Foambond Corporation of Palm Springs.	\$9,800.00
December 18, 2015	15016-10000-24425	Tenant improvement and exterior alteration to portion of roof framing of existing warehouse/office. No change in parking. Sketch plan attached.	Lion Arts District Property Owner, LLC of 11620 Wilshire Boulevard, Suite 460, Los Angeles.	Christopher C. Pak of 8157 Zitola Terrace, Playa Del Rey (Architect); Michael Ernster O'Brien (Engineer).	Alliance Construction Team, Inc. of 139 E Olive Avenue, Monrovia.	\$100,000.00

Attachment F: Building and Alteration Permits

2159 E Bay Street

Date	Permit No.	Work	Owner	Architect	Builder	Valuation
April 4, 2016	16042-90000-06571	New drain for toilet, sink, urinal	Lion Arts District Property Owner, LLC	Not given.	Ramos Abel Plumbing, Inc.	Not given
April 12, 2016	15016-10002-24425 (supplemental permit)	Change use from warehouse/office to office. Sketch plan attached.	Lion Arts District Property Owner, LLC	Christopher Pak	Alan and Green Construction, Inc of 15155 Califa Street, Van Nuys.	\$1,000.00
April 18, 2016	16044-9000-04085	One new 3 and 4 ton split heat pump plus three bath fans.	Lion Arts District Property Owner, LLC	Not given.	Advanced Heating and Air of N. Hollywood.	Not given
April 27, 2016	16016-10000-03450	Tenant improvement for portion of existing office building. Install new partitions, interior doors and finishes.	Lion Arts District Property Owner, LLC	Not given. Address is 1059 Union Street, San Francisco.	Global Construction, Inc. of 16025 Arrow Hwy #A, Irwindale.	\$200,000.00
April 28, 2016	16016-90000-09613	Reroof with 17 squares composition shingle roofing. Existing solid sheathing.	Lion Arts District Property Owner, LLC	Not given.	Foambond Corporation, 255 N El Cielo rd, Palm Springs.	\$3,400.00
April 29, 2016	16042-90000-08622	Primer, electric water heater.	Lion Arts District Property Owner, LLC	Not given.	Ramos Abel Plumbing Inc.	Not given
May 26, 2016	16044-90000-05718	Tenant improvements, no new equipment.	Lion Arts District Property Owner, LLC	Not given.	Pacific Mechanical, 14120 Live Oak, Baldwin Park.	Not given

Attachment G: Building Occupants

2145 Sacramento Street

Year	2145-2147	2149-2151	2153	2157-2161
1925	Bessemer Gas Engine Co	Percy C. Holland, mfgs agt; Wilbur S. McCune, mfrs agt	Yuba Mfg Co	Rathbone Sard & Co (Stoves and Ranges)
1930	Francis & Schreck Inc. (Insulating Materials – Electrical, Cold, Heat and Sound), A L Francis pres L.H. Schreck v-pres	Glove Union Mfg Co, B.E. Palmgreen mfg auto batteries		Robeson Rochester Corp (Cutlery Manufacturers); Royal-Rochester Inc. E S Jones Pac Coast mgr elec appliance reprs
1934		Globe Union Mfg Co C E Wohlford mgr battery mfrs	Lillard-Simpson Company, Mark W Lillard Pres, Otis H Fine V-Pres-Sec, Wholesale Veneer and Lumber Products, Office and Warehouse	Wagner Mfg Co W S McCune mgr aluminum ware
1939	Ballinger W A & Co R W Dudley br mgr mfrs agts	Braun Clarence T & Co J J Grimsey mgr curled hair (Hair-Animal-Dealers); Acme Cotton Products Co E M Lancaster rep mfrs agt	Allied Veneer & Lumber Co, O H Fine pres	Wagner Mfg Co (Aluminum Ware Manufacturers)
1942	DeLuxe Craftsman (Jos Eccles E J Ingersoll) sofa mfrs	Acme Cotton Products Co E M Lancaster rep whol hosp sup; Braun Clarence T & Co J J Grimsey mgr curled hair mfrs	Crossfield Products Corp, Larence Barker Pres, W J Boyle Jr V-Pres, P R Johnston Sec-Tres, Harold K Patch Mgr, Manufacturers of	Wagner Mfg Co W S McCune mgr whol cooking utensils

Attachment G: Building Occupants

2145 Sacramento Street

			Dex-O-Tex Plastic Floor Coverings and Adhesive Products; Patch H K Co (Chemicals- Manufacturers)	
1956	Fond M E Co Inc eggs	Farm Fresh Egg Corp	Crossfield Products Corp; Dex-O-Tex Co., Patch H K Co.	
1960	Fond M E Co Inc eggs	Farm Fresh Egg Corp		Sackner-Western Inc
1965		Farm Fresh Egg Co		Micic Fork Lift
1969	No listing	No listing	No listing	No listing
1973	No listing	No listing	No listing	No listing
1987	Kohsun Industry Inc			

Attachment G: Building Occupants

2159 Bay Street

Year	
1910	Charles W Hill, president and general manager of Braun Chemical Co, Henry Blemenberg Jr treasurer, Harry C. Reitz credit man, John C Smith, Secretary, 906-920 E. 3rd
1915	C W Hill Chemical Co Inc, C W Hill President, Thomas Fellows Vice President, W J Forrest Vice President, A P Hall Secretary, Wholesale Chemicals and Building Materials, 326-328 South San Pedro Street
1920	2159 Bay St not listed Charles W. Hill, president C W Hill Chemical Co., Inc.
1923	C W Hill Chemical Co., Inc. Arthur P Hall, President, James J Haprov Vice President, Horton N Cary Secretary, George A Nicholson Treasurer Wholesale Chemicals, 405 E 3 rd St
1925	National Kellastone Co, Ralph B Richards, forman, Arthur R Dixon, manager Hill Bros Chemical Co (Beverly and Clifford Hill) 2159 Bay
1927	Western Salt Co, L E Warrick manger Hill Bros Chemical Co (M Clifford and Charles Beverly Hill) Alluvial Silt Co (Charles W Hill, V E Britton)
1930	Hill Bros Chemical Co National Kellastone Co., R.G. Shaler manager, building material Kalman Floor Company, R A Wittick, manager, building material
1932	Hill Bros Chemical Co National Kellastone Co R G Shaler repr building manager
1934	Hill Bros Chemical Co
1939	Hill Bros Chemical Co
1942	Hill Bros Chemical Co (C Beverly Hills) Laundry, Dry Cleaning and Refrigeration Chemicals, Wholesale Chemicals Thomas J. McElhoe purchasing agent Jesse E Bowers salesman Lorena E Cheadle bookkeeper
1956	Hill Bros Chemical Co 2 nd flr Master Bldrs Co
1960	Hill Bros Chemical Co; 2 nd floor Master Bldrs Co
1965	Repro-Graphic Supply
1969	No listings for property
1973	No listings for property
1987	Advanced Electronic Packaging

SHEET NO.	ARCHITECTURAL	SHEET TITLE
A0-0		SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CODE STANDARDS
A0-1		PLOT PLAN, AREA CALCULATIONS, CODE SUMMARY
A0-2		ALTA SURVEY
A0-3		MASTER CLUB PLAN
A2-0		P4 BASEMENT PARKING LEVEL
A2-1		P2 + P3 BASEMENT PARKING LEVEL
A2-2		P1 BASEMENT PARKING LEVEL
A2-3		SITE/GROUND FLOOR PLAN
A2-4		TYPICAL TOWER FLOOR PLAN & ROOF PLAN
A2-5		ENLARGED PLAN & ELEVATIONS - OUTDOOR FORUM
A3-1		EXTERIOR ELEVATIONS - BUILDING A
A3-2		EXTERIOR ELEVATIONS - BUILDING B, C & D
A3-3		SECTIONS - BUILDING A
A3-4		SECTIONS - BUILDING A
A3-5		PERSPECTIVE VIEWS
A3-6		PERSPECTIVE VIEWS

LANDSCAPE	SHEET TITLE
L2-1	PLANTING PLAN - SITE/GROUND FLOOR
L2-2	PLANTING PLAN - ROOF
L2-3	PLANTING PALETTE

SHEET INDEX	SCALE	E1
	NTS	

2019 CALIFORNIA BUILDING CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA MECHANICAL CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA PLUMBING CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA FIRE CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA ENERGY CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA GREEN BUILDING CODE WITH CITY OF LOS ANGELES AMENDMENTS
2019 CALIFORNIA REFERENCED STANDARDS
TITLE 19 CCR
AMERICANS WITH DISABILITIES ACT
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

APPLICABLE CODES & STANDARDS	SCALE	D1
	NONE	

OWNER	TISHMAN SPEYER, LLC 2120 COLORADO AVE, SUITE 200 SANTA MONICA, CA 90404 T: 213.443.5048 SENIOR PROJECT MANAGER: DAVID LAPIDUS
BUILDING ADDRESSES	PARCEL NO. ADDRESS 5166-005-010 2136 EAST BAY STREET, LOS ANGELES, CA 90021 5166-001-002 2159 EAST BAY STREET, LOS ANGELES, CA 90021 5166-005-013 NO ADDRESS 5166-005-009 NO ADDRESS 5166-005-008 2145 SACRAMENTO STREET, LOS ANGELES, CA 90021
LEGAL DESCRIPTION	PARCEL 1: (5166-005-010 AND 5166-001-002) THAT PORTION OF CITY LANDS OF LOS ANGELES, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING A PORTION OF THAT CERTAIN 8.44 ACRE PARCEL OF LAND DESCRIBED SIXTH IN A DEED TO THE SOUTHERN CALIFORNIA RAILWAY COMPANY (PREDECESSOR IN INTEREST TO THE ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY) DESCRIBED IN DEED RECORDED AUGUST 19, 1897, IN BOOK 1180, PAGE 306 OF DEEDS, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEASTERN CORNER OF LOT 102 OF THE M. L. WICKS SUBDIVISION OF THE GARROLINO, COOPER AND SOUTH AND PORTER TRACTS, AS SHOWN ON THE MAP RECORDED IN BOOK 16, PAGE 73 OF MISCELLANEOUS RECORDS AND ALSO BEING THE INTERSECTION OF THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF BAY STREET, A SIXTY (60) FOOT WIDE PUBLIC STREET WITH THE NORTHERLY PROLONGATION OF THE EASTERLY LINE OF LOT 7 OF TRACT NO. 14463, AS SHOWN ON THE MAP RECORDED IN BOOK 318, PAGES 34 AND 35 OF MAPS, SAID CORNER ALSO BEING IN THE WESTERLY LINE OF SAID 8.44 ACRE PARCEL, THENCE ALONG SAID EASTERLY PROLONGATION, SOUTH 89° 25' 14" EAST, 71.68 FEET, THENCE SOUTH 95° 9' 17" EAST, 127.84 FEET, THENCE SOUTH 12° 51' 58" EAST, 73.10 FEET, THENCE SOUTH 95° 9' 17" EAST, 39.15 FEET TO A POINT IN THE WESTERLY BOUNDARY LINE OF THAT CERTAIN 43.372 ACRE PARCEL DESCRIBED AS PARCEL 2-A IN A DEED TO NATIONAL RAILROAD PASSENGER CORPORATION RECORDED JANUARY 13, 1977 AS INSTRUMENT NO. 77-45686 OF OFFICIAL RECORDS OF SAID COUNTY, THENCE ALONG SAID BOUNDARY LINE OF SAID 43.372 ACRE PARCEL SOUTH 79° 04' 58" WEST, 71.55 FEET TO THE EASTERLY LINE OF SAID TRACT NO. 14463 AND SAID WESTERLY LINE OF THE 8.44 ACRE PARCEL OF LAND, THENCE ALONG SAID EASTERLY LINE OF SAID TRACT AND SAID WESTERLY LINE OF THE 8.44 ACRE PARCEL, NORTH 10° 34' 19" WEST, 254.32 FEET TO THE POINT OF BEGINNING. AND LOT 7 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THEREFROM ALL MINERALS CONTAINED IN THE ABOVE DESCRIBED LAND, INCLUDING, WITHOUT LIMITING THE GENERALITY THEREOF, OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, AS WELL AS METALLIC OR OTHER SOLID MINERALS, PROVIDED THAT SANTA FE SHALL NOT HAVE THE RIGHT TO GO UPON OR USE THE SURFACE OF SAID LAND, OR ANY PART THEREOF, FOR THE PURPOSE OF DRILLING FOR, MINING, OR OTHERWISE REMOVING, ANY OF SAID MINERALS, SANTA FE MAY, HOWEVER, AND HEREBY RESERVES THE RIGHT TO, REMOVE ANY OF SAID MINERALS, FROM SAID LAND BY MEANS OF WELLS, SHAFTS, TUNNELS, OR OTHER MEANS OF ACCESS TO SAID MINERALS WHICH MAY BE CONSTRUCTED, DRILLED OR DUG FROM OTHER LAND, PROVIDED THAT THE EXERCISE OF SUCH RIGHTS BY SANTA FE SHALL IN NO WAY INTERFERE WITH OR IMPAIR THE USE OF THE SURFACE OF THE LAND HEREBY CONVEYED OR OF ANY IMPROVEMENTS THEREON, AS RESERVED BY THE ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY, A DELAWARE CORPORATION, IN DEED RECORDED DECEMBER 18, 1991 AS INSTRUMENT NO. 91-1988009 OF OFFICIAL RECORDS. PARCEL 2: (5166-005-013) THAT PORTION OF LOT 2 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE SOUTHERLY PROLONGATION OF THE EASTERLY BOUNDARY OF LOT 1 OF SAID TRACT NO. 14463. PARCEL 3: (5166-005-009) LOT 6 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. AND THAT PORTION OF SAID LOT 5 INCLUDED WITHIN THE 20 FOOT ALLEY, SHOWN ON MAP OF M. L. WICKS SUBDIVISION OF THE GARROLINO, COOPER AND SOUTH AND PORTER TRACTS, RECORDED IN BOOK 16 PAGE 73 OF MISCELLANEOUS RECORDS, OF SAID COUNTY, VACATED BY ORDINANCE NO. 92779, A CERTIFIED COPY OF WHICH IS RECORDED JANUARY 29, 1948 AS INSTRUMENT NO. 2527 IN BOOK 2631 PAGE 260, OF OFFICIAL RECORDS. APN: 5166-001-002, 5166-005-010

PROJECT DESCRIPTION	DEMOLITION OF ALL ON-SITE EXISTING STRUCTURES, EXISTING PUBLIC SIDEWALKS, CURBS AND GUTTERS BOUNDING THE SITE, SHORING, EXCAVATION AND CONSTRUCTION OF FOUR (4) LEVELS OF UNDERGROUND PARKING WITH A HORIZONTAL PODIUM, CONSTRUCTION OF ONE COMMERCIAL HIGH-RISE TEN (10) STORY BUILDING ATOP GARAGE PODIUM, AND TWO (2) COMMERCIAL BUILDINGS UP TO TWO (2) STORES EACH. BUILDING OCCUPANCIES TO BE COMMERCIAL USES AS ALLOWED IN THE M-3.1-ZONE.
LOT AREA	GROSS AREA 74,063 SF = 1.70 ACRES
PROPOSED LOT COVERAGE	41,986 SF = BUILDING AREA = 57% LOT COVERAGE
FLOOR AREA	222,189 SF MAX BUILDING AREA ALLOWED (3:1 F.A.R.) 217,189 SF OFFICE FLOOR AREA PROPOSED 5,000 SF RETAIL/OFFICE/RESTAURANT/GYM/YOGA FLOOR AREA PROPOSED (MAXIMUM)
ZONING REQUIREMENTS	
EXISTING ZONING	M3-1-RIO
PROPOSED ZONING	M3-2D-RIO
LAND USE	HEAVY INDUSTRIAL
SPECIFIC PLAN	NONE
REQUIRED DEDICATIONS	EAST BAY STREET = 3' STREET DEDICATION SACRAMENTO STREET = 3' STREET DEDICATION



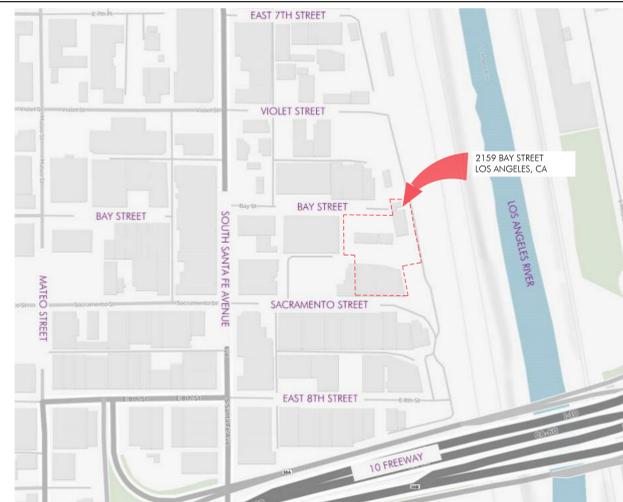
VIEW FROM SACRAMENTO ST.



2159 BAY STREET
ENTITLEMENT PACKAGE
31 AUGUST 2021



LOCATION MAP SCALE NTS A3



VICINITY MAP SCALE NTS A2

PROJECT DESCRIPTION SCALE NONE A1

**CODE REQUIRED PARKING - CENTRAL CITY
PARKING DISTRICT PER ORD.
129,344/163,666/164,394**

COMMERCIAL ENTERPRISE ZONE PER LAMC SECTION 12.21.A.X.3			
GRSF	RATE / SF	PARKING REQUIRED	
OFFICE 217,189 SF	2/1000 SF	434	
RETAIL 5,000 SF	2/1000 SF	10	
TOTAL LAMC CODE REQUIRED PARKING		444	
TOTAL PARKING PROVIDED		711	
EV READY SPACES PROVIDED (20% OF TOTAL)		143	
EV CHARGING STATIONS PROVIDED (10% OF TOTAL)		72	

**PROJECT
PARKING SUMMARY**

LEVEL	VEHICLE TOTAL
P4 BASEMENT LEVEL	126
P3 BASEMENT LEVEL	190
P2 BASEMENT LEVEL	190
P1 BASEMENT LEVEL	190
GRADE LEVEL	15

TOTAL PARKING PROVIDED FOR PROJECT: 711 SPACES

ALL SPACES ARE ON LEVEL. NO STACKED PARKING IN PROJECT

ALL INSTALLED AND FUTURE CHARGING STATIONS AND DEDICATED CLEAN AIR VEHICLE PARKING WILL BE PROVIDED IN COMPLIANCE WITH LOS ANGELES GREEN BUILDING CODE

COMMERCIAL REQUIREMENTS PER LAMC TABLE 12.21 A.16(e)(2)					
USE	GRSF	RATE/SF	REQUIRED BIKE PARKING	PROVIDED BIKE PARKING	
OFFICE	217,189 SF	SHORT-TERM 1/10,000 SF LONG-TERM 1/5,000 SF	22	22	22
RETAIL	5,000 SF	SHORT-TERM 1/2,000 SF LONG-TERM 1/2,000 SF	3	3	6
REQUIRED & PROVIDED SHORT TERM BICYCLE PARKING			25	28	
REQUIRED & PROVIDED LONG TERM BICYCLE PARKING			46	50	
TOTAL REQUIRED & PROVIDED BICYCLE PARKING			71	78	

PARKING & BICYCLE SCHEDULE SCALE: NTS C1

AREA SCHEDULE *

	BUILDING A (TOWER)	BUILDING B	BUILDING C	BUILDING D (ELEC.)	BUILDING E (GARAGE)
TOTAL (@ FAR OF 3.0)	205,519 SF	2,170 SF	11,900 SF	0 SF	2,600 SF
GRAND TOTAL	222,189 SF				

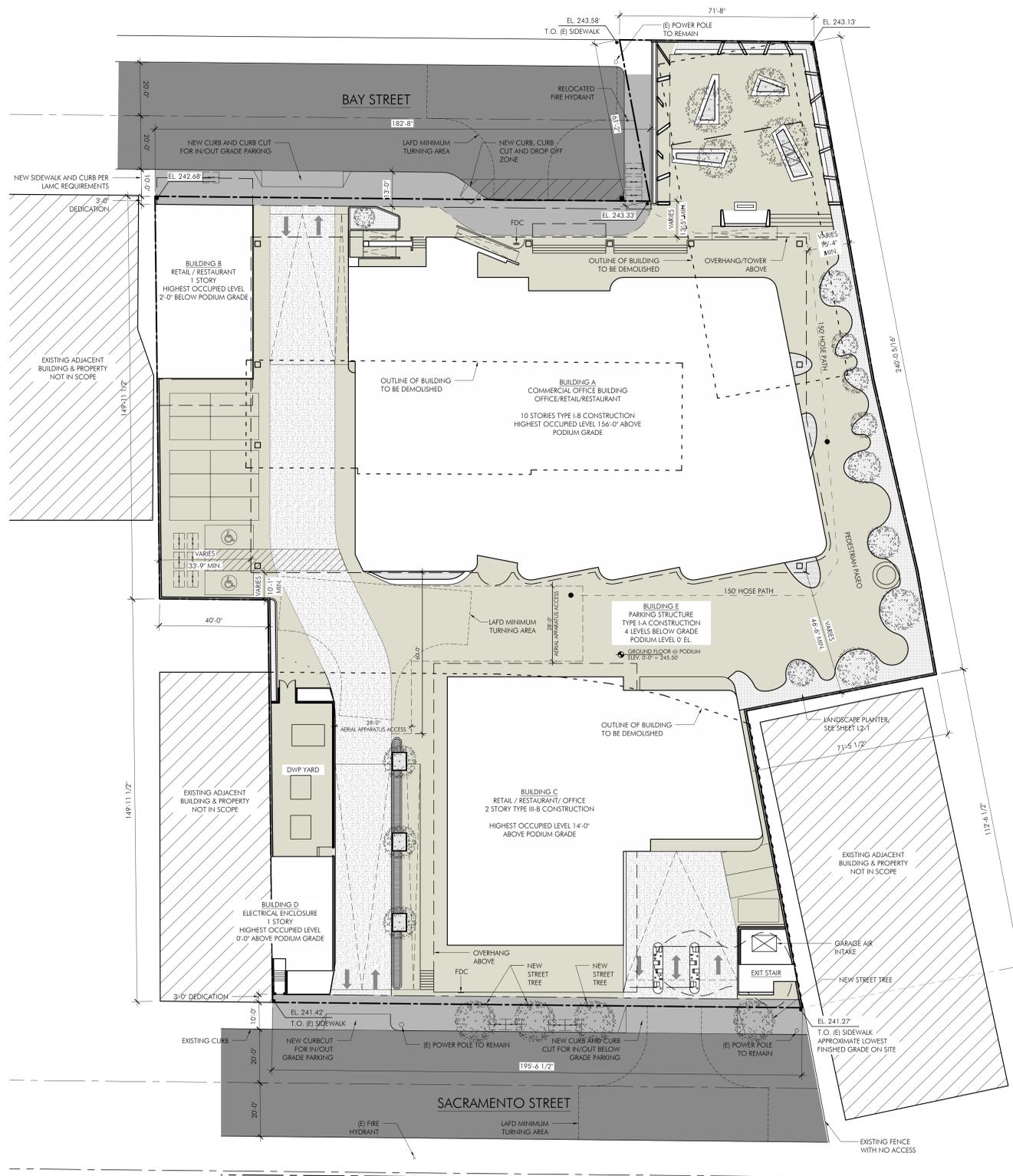
* NOTE THAT AREAS ARE CALCULATED AS DENOTED BY LAMC:

FLOOR AREA: (AMENDED BY ORD. NO. 182,386, EFF. 3/13/13.) THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOLDING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

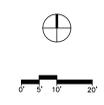
FLOOR AREA RATIO (FAR): A RATIO ESTABLISHING RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, AND IS EXPRESSED AS A PERCENTAGE OR A RATIO OF THE BUILDABLE AREA OR LOT SIZE (EXAMPLE: "3 TIMES THE BUILDABLE AREA" OR "3:1"). (ADDED BY ORD. NO. 181,624, EFF. 5/9/11.)

PROJECT F.A.R. AREA CALC SCALE: NTS B1

CODE SUMMARY	
OCCUPANCY CLASSIFICATION	MIXED USE WITH GROUP A-2, A-3, A-4, B, F-2, M, AND S
CONSTRUCTION TYPE	BUILDING A - TYPE I-B BUILDING B - TYPE I-B BUILDING C - TYPE III-B BUILDING D - TYPE I-B BUILDING E (GARAGE) - TYPE I-A
BUILDING AREA	222,189 GSF
BUILDING HEIGHT	UNLIMITED
STORIES PROPOSED	BUILDING A - TEN (10) STORIES: 186'-0" ABOVE PODIUM GRADE (190.23' ABOVE LOWEST FIN. GRADE ON SITE) BUILDING B - UP TO ONE (1) STORY: 13'-0" ABOVE PODIUM GRADE (17.23' ABOVE LOWEST FIN. GRADE ON SITE) BUILDING C - UP TO TWO (2) STORIES: 31'-0" ABOVE PODIUM GRADE (35.23' ABOVE LOWEST FIN. GRADE ON SITE) BUILDING D - UP TO ONE (1) STORY: 29'-0" ABOVE PODIUM GRADE (33.23' ABOVE LOWEST FIN. GRADE ON SITE) BUILDING E - UP TO FOUR (4) STORIES BELOW GRADE: PODIUM AT 4.23' ABOVE LOWEST FIN. GRADE ON SITE
SPRINKLERS	PROVIDED
MAX. TRAVEL DISTANCE	A, M - 250' B - 300'
PROJECT DATUM ELEVATION	LOWEST FIN. GRADE ON SITE +241.27'
WATER STORAGE TANKS	PROVIDED
CLASS 1 STANDPIPE SYSTEM	PROVIDED
FIRE ALARM SYSTEM	PROVIDED



GENERAL NOTE
1. ALL SPOT ELEVATIONS ARE APPROXIMATIONS BASED OFF ALTA SURVEY, TO BE CONFIRMED AT A LATER DATE.



ALTA/NSPS LAND TITLE SURVEY OF: 2136 & 2159 BAY STREET & 2145 SACRAMENTO STREET IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES.

THE LAND REFERRED TO HEREIN BELONGS TO THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: (5166-005-010 AND 5166-001-002) THAT PORTION OF CITY LANDS OF LOS ANGELES, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING A PORTION OF THAT CERTAIN 8.44 ACRE PARCEL OF LAND DESCRIBED SIXTH IN A DEED TO THE SOUTHERN CALIFORNIA RAILWAY COMPANY (PREDECESSOR IN INTEREST TO THE ATCHAFON, TORRECA AND SANTA FE RAILWAY COMPANY) DESCRIBED IN DEED RECORDED AUGUST 19, 1897 IN BOOK 1180, PAGE 308 OF DEEDS, RECORDS OF SAE COUNTY, DESCRIBED AS FOLLOWS: THAT PORTION OF LOT 2 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAE COUNTY, LYING EASTWEST OF THE SOUTHERLY PROLONGATION OF THE EASTWEST BOUNDARY OF LOT 1 OF SAID TRACT NO. 14463.

PARCEL 2: (5166-005-010) THAT PORTION OF LOT 2 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAE COUNTY.

PARCEL 3: (5166-005-009) LOT 8 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAE COUNTY.

PARCEL 4: (5166-005-008) THAT PORTION OF SAID LOT 5 INCLUDED WITHIN THE 20 FOOT ALLEY, SHOWN ON MAP OF M. L. WICKS SUBDIVISION OF THE GARIBOLDO-COOPER AND SOUTH AND PORTER TRACTS, RECORDED IN BOOK 16 PAGE 73 OF MISCELLANEOUS RECORDS OF SAE COUNTY, VACATED BY ORDINANCE NO. 12779, A CERTIFIED COPY OF WHICH IS RECORDED JANUARY 29, 1948 AS INSTRUMENT NO. 2527 IN BOOK 26331 PAGE 260 OF OFFICIAL RECORDS.

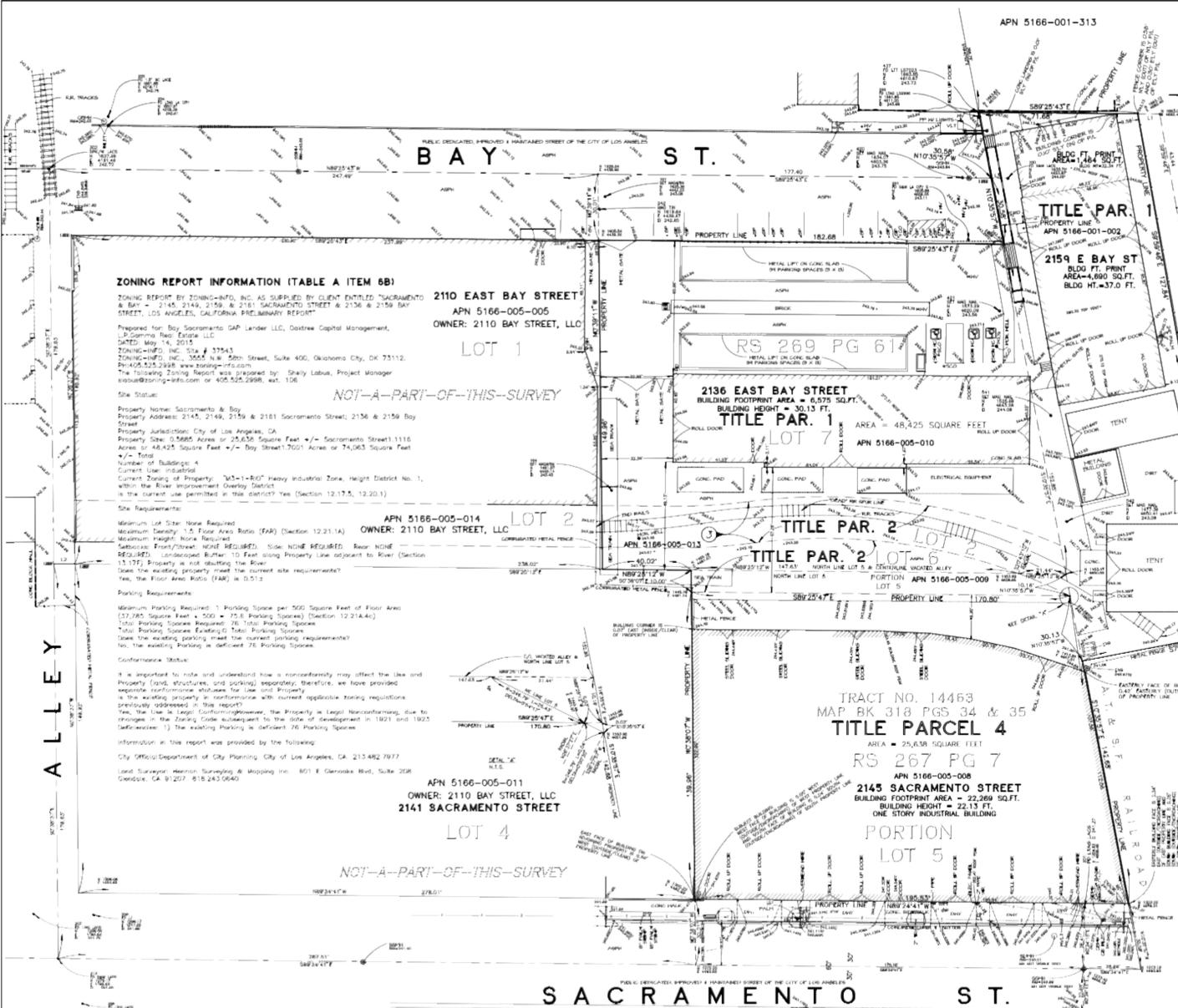
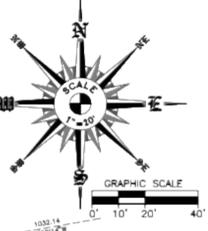
PARCEL 5: (5166-005-008) LOT 5 OF TRACT NO. 14463, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 318 PAGES 34 AND 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAE COUNTY.

EXCEPT THAT PORTION OF SAID LOT 5 INCLUDED WITHIN THE 20 FOOT ALLEY, SHOWN ON MAP OF M. L. WICKS SUBDIVISION OF THE GARIBOLDO-COOPER AND SOUTH AND PORTER TRACTS, RECORDED IN BOOK 16 PAGE 73 OF MISCELLANEOUS RECORDS OF SAE COUNTY, VACATED BY ORDINANCE NO. 12779, A CERTIFIED COPY OF WHICH IS RECORDED JANUARY 29, 1948 AS INSTRUMENT NO. 2527 IN BOOK 26331 PAGE 260 OF OFFICIAL RECORDS.

NOTE: THE ABOVE LEGAL DESCRIPTION IS SOLELY FOR USE IN THIS REPORT AND MAY NOT BE CONSIDERED FOR USE IN ANY POLICY OF TITLE INSURANCE WITHOUT SPECIFIC WRITTEN CONSENT OF THE ENGINEERING DEPARTMENT AND ASSOCIATED ENGINEERS. ANY POLICY IS USED IN VIOLATION OF THE REAL ESTATE LAW AND/OR SUBDIVISION MAP ACT.

APN 5166-001-002, 5166-005-010, 5166-005-008, 5166-005-010 & 5166-005-011 AT THE PRELIMINARY TITLE REPORT UNDER MAP NUMBER 994-423 DATED APRIL 17, 2015 BY CHICAGO TITLE COMPANY, ONLY THE FOLLOWING MATTERS OF RECORD AFFECT THE HEREIN DESCRIBED SUBJECT PROPERTY:

COURSE TABLE with columns: LINE, DISTANCE, BEARING, CURVE, DELTA, RADIUS, ARC LENGTH



ZONING REPORT INFORMATION (TABLE A ITEM 6B) ZONING REPORT BY ZONING-INFO, INC. AS SUPPLIED BY CLIENT ENTITLED SACRAMENTO & BAY - 2145, 2149, 2159 & 2161 SACRAMENTO STREET & 2136 & 2159 BAY STREET, LOS ANGELES, CALIFORNIA PRELIMINARY REPORT Prepared for Bay Sacramento GAP Lender LLC, Oaktree Capital Management, U.S. Commerce Real Estate LLC DATED: May 14, 2021

SURVEYOR'S NOTES: 1. BOUNDARY LINES SHOWN HEREIN WERE ESTABLISHED FROM PUBLIC AND/OR PRIVATE SURVEY INSTRUMENTS WHOSE CHARACTER AND QUALITY ARE NOT KNOWN TO THE SURVEYOR. LIT LINES WERE ESTABLISHED AS SHOWN ON RS BK 269 PG 61.

ALTA TABLE 'A' NOTE: THERE IS NO EVIDENCE OF PRESENT BUILDING CONSTRUCTION, SUBURBAN OR STREET CONSTRUCTION, USE OF PROPERTY AS DUMP, QUARRY, OR WASTE, NOR OF CLEARING, NOR OF WEATHERING.

LEGEND: Symbols for various features like easements, utility lines, and survey markers.

ALTA/NSPS LAND TITLE SURVEY CERTIFICATE: This is to CERTIFY (AS CERTIFY IS DEFINED AND LIMITED BY SECTION 87708 OF THE UNIFORM AND PROFESSIONAL CODE OF THE STATE OF CALIFORNIA) THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, IDENTIFY ESTABLISHED AND ADJACENT BY ALTA AND DEPS, AND INCLUDE ITEMS 1 (ADJACENT), 5 (FIELD NOTES), 6 (SURVEY AREA), 6(B) (ZONING), FROM CLIENT SUPPLIED ZONING REPORTS, 7(a), 7(b), 7(c) (BOUNDARY POINT IDENTIFICATION), AREA & BUILDING HEIGHTS, 8 (SUBSTANTIAL FEATURES), 9 (IMPROVEMENTS) IS MORE, 10(a) (PARTY WALLS), 10(b) (SURFACE EVIDENCE OF UTILITIES), 10 (ADJACENT NAMES), 14 (DISTANCE TO STREET INTERSECTION), 16, & 17, AND 19 (PROFESSIONAL LIABILITY INSURANCE, \$2 MILLION LIMIT) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 30, 2014 AND LAST UPDATED ON MAY 10, 2021.

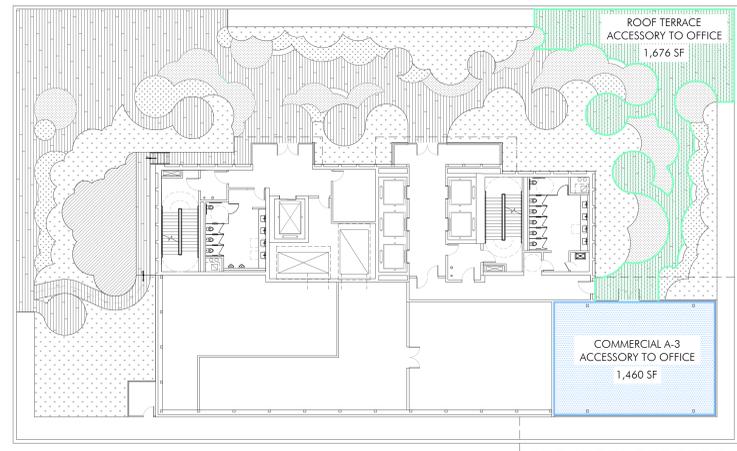
Project history table with columns: DATE, DESCRIPTION, BY, CHECKED BY

ALTA/NSPS LAND TITLE SURVEY OF 2136 & 2159 BAY STREET & 2145 SACRAMENTO STREET IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

HENNON Surveying & Mapping, Inc. 601 E. GLENDALE BLVD., SUITE 208 GLENDALE, CALIFORNIA 91207 (818)243-0640

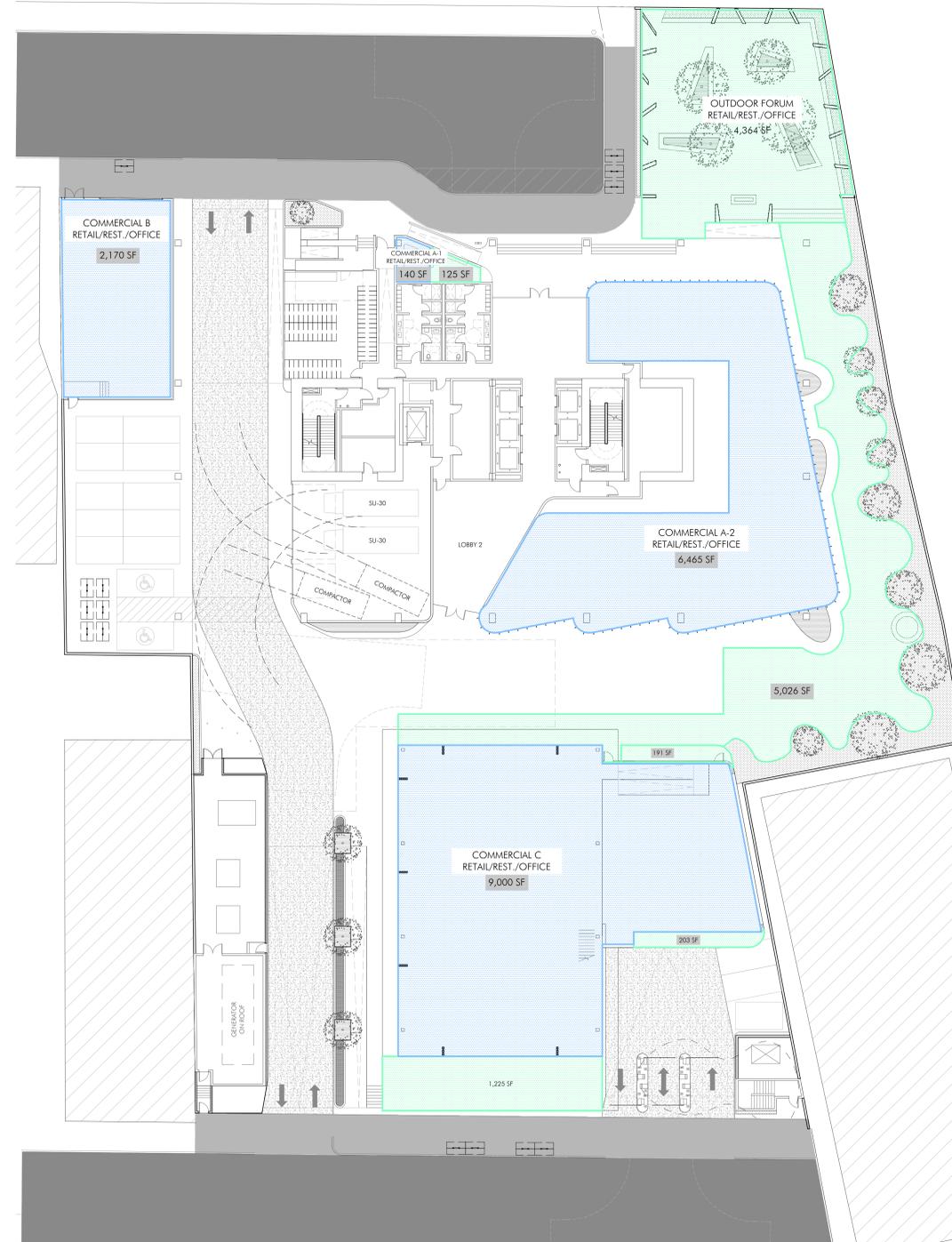
DATE: MAY 10, 2021 SCALE: 1"=40' GRAPHIC SCALE: A1

ALTA SURVEY



PENTHOUSE FLOOR PLAN

1" = 20'-0"



GROUND FLOOR PLAN

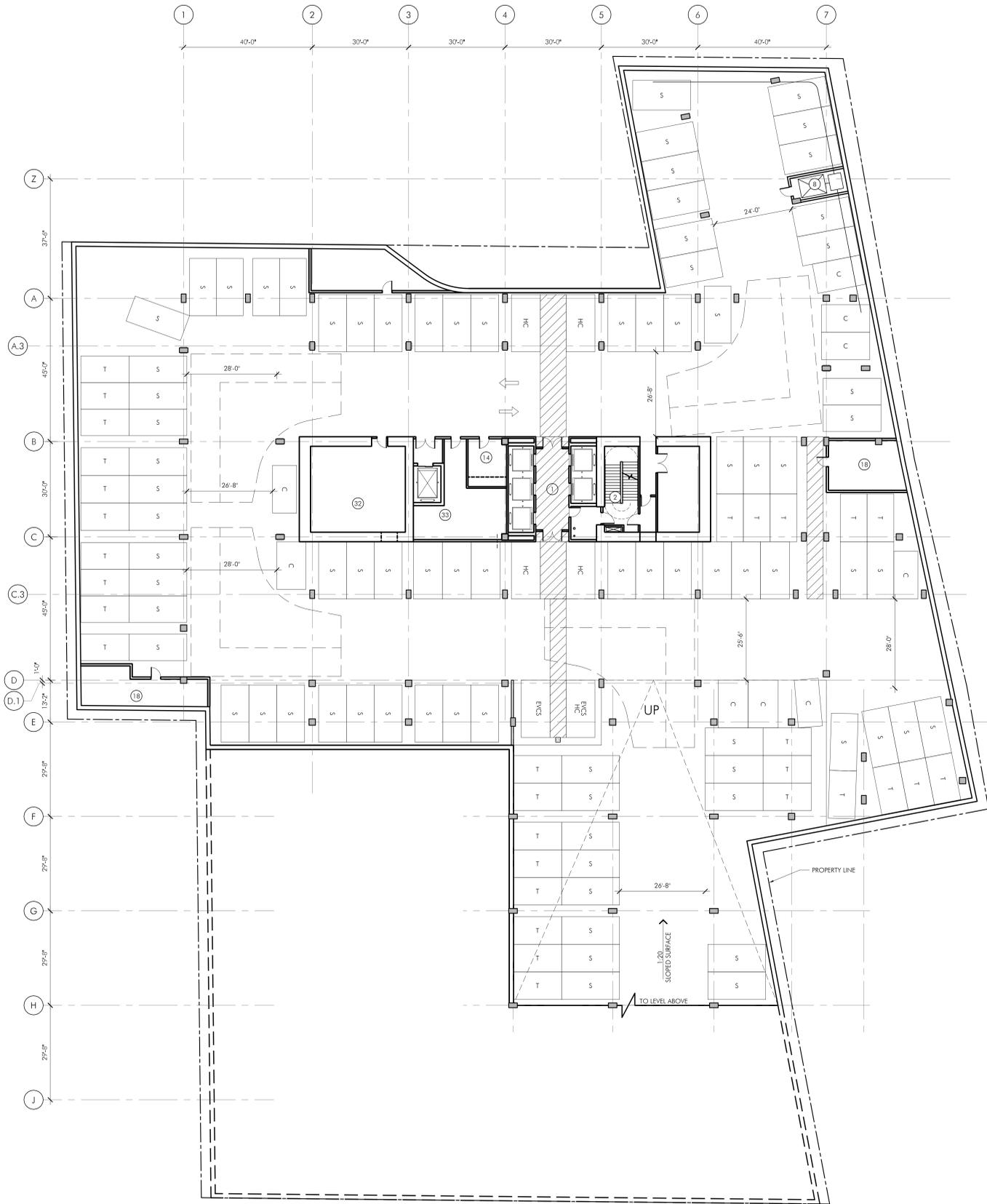
1" = 20'-0"

CUB SUMMARY TABLE				
BUILDING	USE	BUILDING AREA	PATIO AREA	TYPE
COMMERCIAL A-1	RETAIL/RESTAURANT/OFFICE	140 SF	125 SF	ON/OFF SITE
COMMERCIAL A-2	RETAIL/RESTAURANT/OFFICE	6,465 SF	5,026 SF	ON/OFF SITE
COMMERCIAL A-3 (PENTHOUSE)	ACCESSORY TO OFFICE	1,460 SF	1,676 SF	ON/OFF SITE
COMMERCIAL B	RETAIL/RESTAURANT/OFFICE	2,170 SF	0 SF	ON/OFF SITE
COMMERCIAL C	RETAIL/RESTAURANT/OFFICE	9,000 SF	1,619 SF	ON/OFF SITE
OUTDOOR FORUM	RETAIL/RESTAURANT/OFFICE	0 SF	4,364 SF	ON/OFF SITE
TOTALS		19,235 SF	12,810 SF	

NOTES:

1. ALL LOCATIONS AND AREAS ARE APPROXIMATE AND MAY VARY.
2. ALL AREAS SHOWN ARE GROSS BUILDING AREA (GBA).
3. COLORED DESIGNATIONS SHOWN ON PLAN INCLUDE BUILDING AREA PLUS PATIO AREA NOTED IN TABLE.
4. COMMERCIAL SPACE MAY INCLUDE: RETAIL, RESTAURANT, OFFICE, OR GYM/YOGA COMPONENTS.

DRAWING FILE NAME: U:\Projects\Hydro\Per000\Entitlement_V2\HLS_A2.0 P4 - Basement Parking.dwg PLOTTED ON: 2021.08.31 - 10:16am BY: chis



**P4 LEVEL
PARKING SUMMARY**
TOTAL PARKING: 126 TOTAL

KEY NOTES

- 1 ELEVATOR LOBBY
- 2 EXIT STAIR
- 3 BICYCLE PARKING AND WORK STATION
- 4 BICYCLE LOCKERS
- 5 SHOWERS
- 6 GATE WITH EGRESS DOOR
- 7 GARAGE SUPPLY INTAKE SHAFT
- 8 GARAGE EXHAUST SHAFT
- 9 MPOE LOCATION
- 10 SECURITY OFFICE
- 11 PARKING OFFICE
- 12 SERVICE ROOM
- 13 T/D ROOM
- 14 ELECTRICAL ROOM
- 15 FIRE CONTROL ROOM
- 16 DOMESTIC BACKFLOW PREVENTER
- 17 IRRIGATION ROOM
- 18 STORAGE ROOM
- 19 BUILDING ENGINEER
- 20 NEW STREET TREE, TYP.
- 21 VEHICULAR ACCESS GATE.
- 22 FIRE SPRINKLER BACKFLOW PREVENTER.
- 23 GREASE INTERCEPTER
- 24 LOADING
- 25 TRASH/RECYCLE
- 26 DROP OFF
- 27 MAIL ROOM
- 28 ATS ROOM
- 29 DWP VAULT WITH 12' X 12' HATCH ON SITE
- 30 ELECTRICAL SWITCHROOM
- 31 DWP SUBSTATION FAN ROOM
- 32 FIRE WATER STORAGE TANK
- 33 EMERGENCY ELECTRICAL ROOM
- 34 DOMESTIC COLD WATER PUMP ROOM WITH FIRE PROTECTION DOUBLE DETECTOR CHECK VALVE, LANDSCAPE BACKFLOW PREVENTOR, AND DOMESTIC WATER BACKFLOW PREVENTOR.
- 35 SEWER EJECTOR PUMP
- 36 SAND/OIL INTERCEPTOR, BELOW GRADE
- 37 FIRE PUMP ROOM
- 38 FENCE/SCREEN AT EDGE OF PROPERTY
- 39 EXISTING ELECTRICAL POLE TO REMAIN
- 40 FIRE HYDRANT
- 41 DWP YARD
- 42 AMENITY STAND
- 43 SHORT TERM PARKING

LEGEND

- PROPERTY LINE
- SETBACK / DEDICATION LINE
- S STANDARD PARKING STALL
- C COMPACT PARKING STALL
- T TANDEM PARKING STALL
- HC ACCESSIBLE PARKING STALL (VAN-ACCESSIBLE WHERE NOTED)
- [] LONG-TERM BICYCLE LOCKER 1'-0" x 6'-0"
- [] SHORT-TERM BICYCLE RACK - (2) BICYCLES
- [] AREA OF DECORATIVE WALK SURFACE, SEE KEYNOTE
- [] ADJACENT PROPERTY NOT IN SCOPE

GENERAL NOTES

1. GARAGE LIGHTING TO BE PROVIDED TO MEET OR EXCEED THE MINIMUM REQUIRED PER CODE.
2. PARKING STRIPING SHOWN IS DIAGRAMMATIC. STALLS SHALL BE DOUBLE-STRIPED PER 12.21 A.5(f).
3. NOT ALL KEYNOTES OR SYMBOLS ARE USED.

**S H I M O D A
D E S I G N G R O U P**

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ENTITLEMENT SUBMISSION	DATE
ENTITLEMENT SUBMISSION	08/31/2021
ENTITLEMENT SUBMISSION	11/08/2018
ENTITLEMENT SUBMISSION	3/15/2018

No.	Description	Date

Key Plan

P4 - BASEMENT PARKING

1/16" = 1'-0"

A2-0

P4-BASEMENT PARKING

SCALE
1/16"=1'-0"

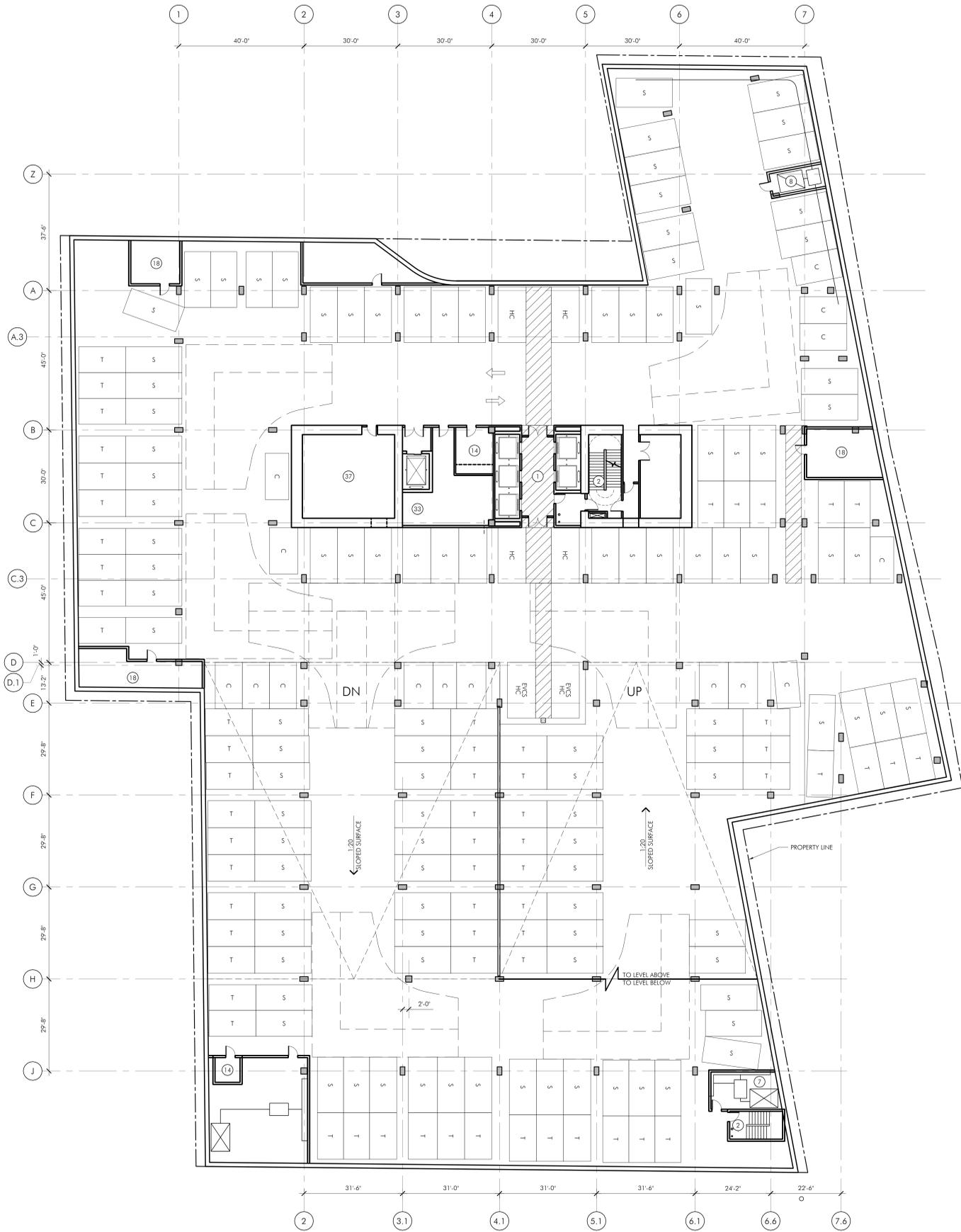
A1

NOTES

SCALE
N.T.S.

A0

DRAWING FILE NAME: U:\Projects\Hydro\Per000\Entitlements_V2\HL_A0_1_P2_P3 - Basement Parking.dwg PLOTTED ON: 2023.08.31 - 10:16am BY: chris



**P2 + P3 LEVEL
PARKING SUMMARY**
TOTAL PARKING: 190 TOTAL

KEY NOTES

- 1 ELEVATOR LOBBY
- 2 EXIT STAIR
- 3 BICYCLE PARKING AND WORK STATION
- 4 BICYCLE LOCKERS
- 5 SHOWERS
- 6 GATE WITH EGRESS DOOR
- 7 GARAGE SUPPLY INTAKE SHAFT
- 8 GARAGE EXHAUST SHAFT
- 9 MPOE LOCATION
- 10 SECURITY OFFICE
- 11 PARKING OFFICE
- 12 SERVICE ROOM
- 13 T/D ROOM
- 14 ELECTRICAL ROOM
- 15 FIRE CONTROL ROOM
- 16 DOMESTIC BACKFLOW PREVENTER
- 17 IRRIGATION ROOM
- 18 STORAGE ROOM
- 19 BUILDING ENGINEER
- 20 NEW STREET TREE, TYP.
- 21 VEHICULAR ACCESS GATE.
- 22 FIRE SPRINKLER BACKFLOW PREVENTER.
- 23 GREASE INTERCEPTOR
- 24 LOADING
- 25 TRASH/RECYCLE
- 26 DROP OFF
- 27 MAIL ROOM
- 28 ATS ROOM
- 29 DWP VAULT WITH 12' X 12' HATCH ON SITE
- 30 ELECTRICAL SWITCHROOM
- 31 DWP SUBSTATION FAN ROOM
- 32 FIRE WATER STORAGE TANK
- 33 EMERGENCY ELECTRICAL ROOM
- 34 DOMESTIC COLD WATER PUMP ROOM WITH FIRE PROTECTION DOUBLE DETECTOR CHECK VALVE, LANDSCAPE BACKFLOW PREVENTOR, AND DOMESTIC WATER BACKFLOW PREVENTOR.
- 35 SEWER EJECTOR PUMP
- 36 SAND/OIL INTERCEPTOR, BELOW GRADE
- 37 FIRE PUMP ROOM
- 38 FENCE/SCREEN AT EDGE OF PROPERTY
- 39 EXISTING ELECTRICAL POLE TO REMAIN
- 40 FIRE HYDRANT
- 41 DWP YARD
- 42 AMENITY STAND
- 43 SHORT TERM PARKING

LEGEND

- PROPERTY LINE
- SETBACK / DEDICATION LINE
- S STANDARD PARKING STALL
- C COMPACT PARKING STALL
- T TANDEM PARKING STALL
- HC ACCESSIBLE PARKING STALL (MAN-ACCESSIBLE WHERE NOTED)
- [] LONG-TERM BICYCLE LOCKER 1'-6" x 6'-0"
- [] SHORT-TERM BICYCLE RACK - (2) BICYCLES
- [] AREA OF DECORATIVE WALK SURFACE, SEE KEYNOTE
- [] ADJACENT PROPERTY NOT IN SCOPE

GENERAL NOTES

1. GARAGE LIGHTING TO BE PROVIDED TO MEET OR EXCEED THE MINIMUM REQUIRED PER CODE.
2. PARKING STRIPING SHOWN IS DIAGRAMMATIC. STALLS SHALL BE DOUBLE-STRIPED PER 12.21 A.5(b).
3. NOT ALL KEYNOTES OR SYMBOLS ARE USED.



P2 & P3-BASEMENT PARKING

SCALE
1/16"=1'-0"

A1

NOTES

SCALE
N.T.S.

A0

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D E S I G N G R O U P**

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ENTITLEMENT SUBMISSION	3/15/2018

No. Description Date

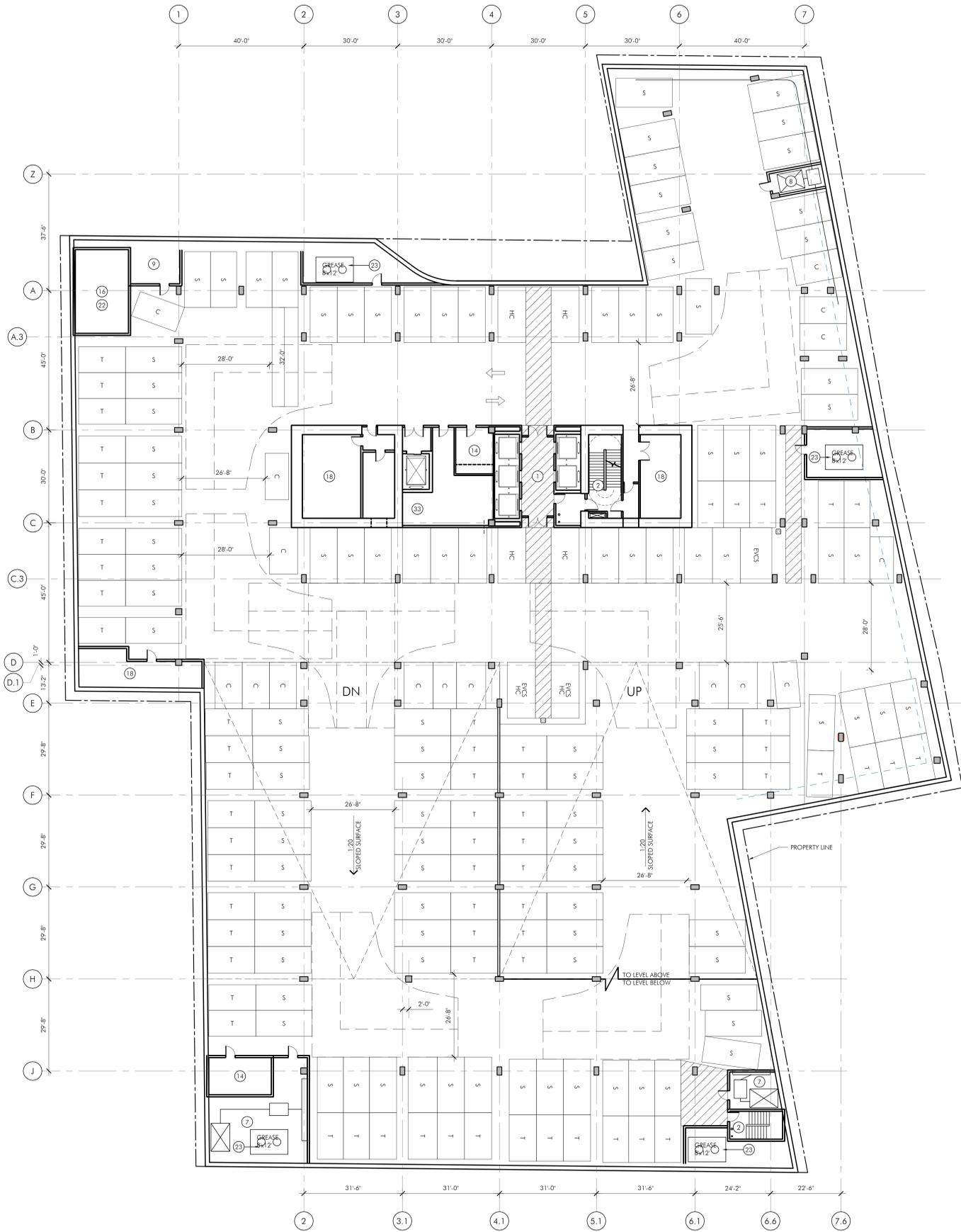
Key Plan

P2 & P3 - BASEMENT PARKING

1/16" = 1'-0"

A2-1

DRAWING FILE NAME: U:\Projects\Hydro\Per000\Entitlements_V2\HL_A2.2.P1 - Basement Parking.dwg PLOTTED ON: 2021.08.31 - 10:16am BY: chis



**P1 LEVEL
PARKING SUMMARY**
TOTAL PARKING: 190 TOTAL

KEY NOTES

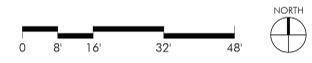
- 1 ELEVATOR LOBBY
- 2 EXIT STAIR
- 3 BICYCLE PARKING AND WORK STATION
- 4 BICYCLE LOCKERS
- 5 SHOWERS
- 6 GATE WITH EGRESS DOOR
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- 20 NEW STREET TREE, TYP.
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- 38 FENCE/SCREEN AT EDGE OF PROPERTY
- 39 EXISTING ELECTRICAL POLE TO REMAIN
- 40 FIRE HYDRANT
- 41 DWP YARD
- 42 AMENITY STAND
- 43 SHORT TERM PARKING

LEGEND

- PROPERTY LINE
- SETBACK / DEDICATION LINE
- S STANDARD PARKING STALL
- C COMPACT PARKING STALL
- T TANDEM PARKING STALL
- HC ACCESSIBLE PARKING STALL (VAN-ACCESSIBLE WHERE NOTED)
- LONG-TERM BICYCLE LOCKER 1'-6" x 6'-0"
- SHORT-TERM BICYCLE RACK - (2) BICYCLES
- AREA OF DECORATIVE WALK SURFACE, SEE KEYNOTE
- ADJACENT PROPERTY NOT IN SCOPE

GENERAL NOTES

1. GARAGE LIGHTING TO BE PROVIDED TO MEET OR EXCEED THE MINIMUM REQUIRED PER CODE.
2. PARKING STRIPING SHOWN IS DIAGRAMMATIC. STALLS SHALL BE DOUBLE-STRIPED PER 12.21 A.5(f).
3. NOT ALL KEYNOTES OR SYMBOLS ARE USED.



P1 BASEMENT PARKING SCALE 1/16"=1'-0" A1

NOTES SCALE N.T.S. A0

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No. Description Date

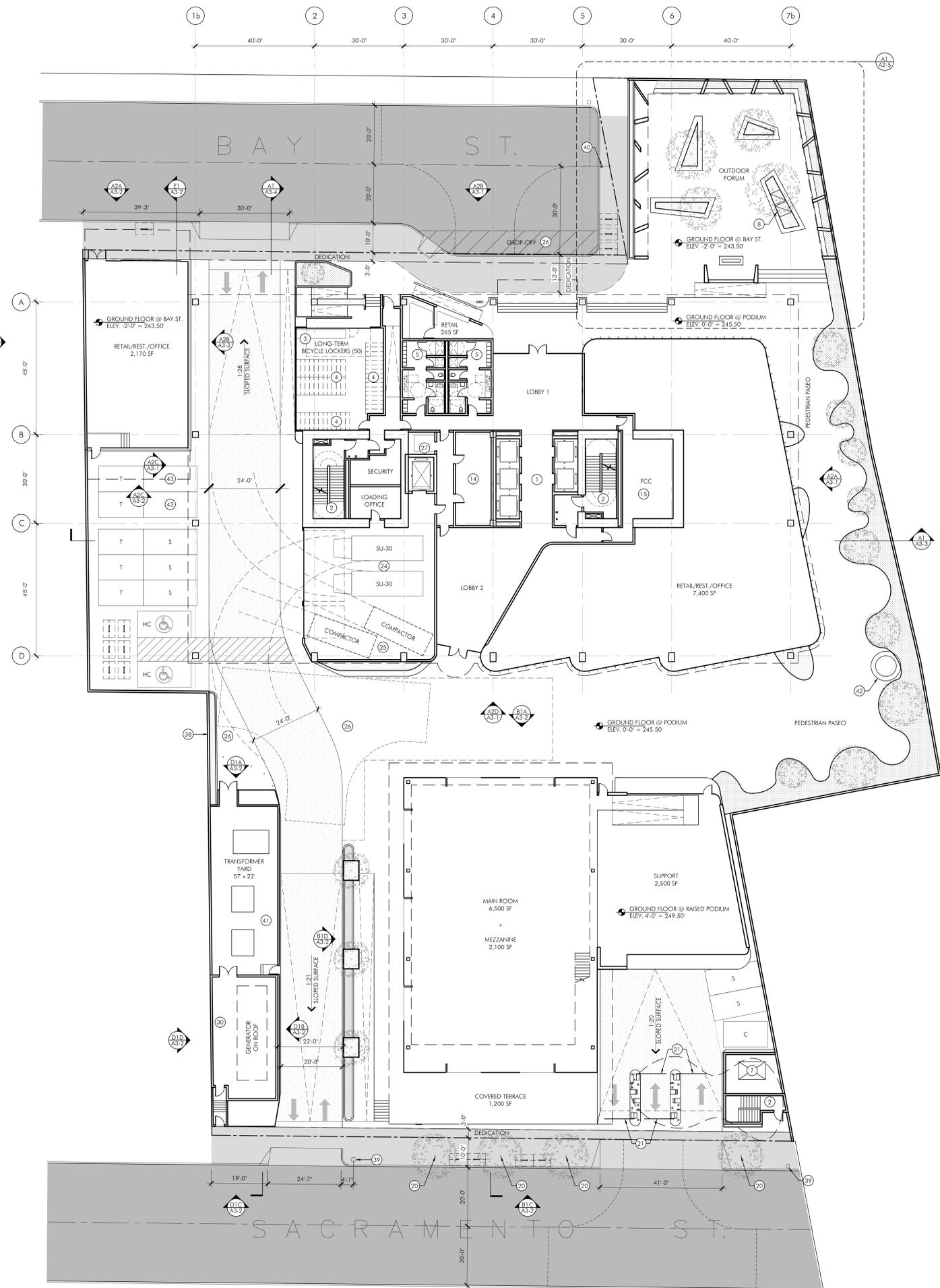
Key Plan

P1 - BASEMENT PARKING

1/16" = 1'-0"

A2-2

DRAWING FILE NAME: U:\Projects\Hyatt\Plan\00 Entitlements_V2\HL_A2-3 Ground Floor Plan.dwg PLOTTED ON: 2023.08.30 - 9:49am BY: chis



GROUND LEVEL PARKING SUMMARY
TOTAL PARKING: 15 TOTAL

KEY NOTES

- 1 ELEVATOR LOBBY
- 2 EXIT STAIR
- 3 BICYCLE PARKING AND WORK STATION
- 4 BICYCLE LOCKERS
- 5 SHOWERS
- 6 GATE WITH EGRESS DOOR
- 7 GARAGE SUPPLY INTAKE SHAFT
- 8 GARAGE EXHAUST SHAFT
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- 22 FIRE SPRINKLER BACKFLOW PREVENTER.
- 23 GREASE INTERCEPTOR
- 24 LOADING
- 25 TRASH/RECYCLE
- 26 DROP OFF
- 27 MAIL ROOM
- 28 ATS ROOM
- 29 DWP VAULT WITH 1'2" X 12" HATCH ON SITE
- 30 ELECTRICAL SWITCHROOM
- 31 DWP SUBSTATION FAN ROOM
- 32 FIRE WATER STORAGE TANK
- 33 EMERGENCY ELECTRICAL ROOM
- 34 DOMESTIC COLD WATER PUMP ROOM WITH FIRE PROTECTION DOUBLE DETECTOR CHECK VALVE, LANDSCAPE BACKFLOW PREVENTOR, AND DOMESTIC WATER BACKFLOW PREVENTOR.
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- 36 SAND/OIL INTERCEPTOR, BELOW GRADE
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- 39 EXISTING ELECTRICAL POLE TO REMAIN
- 40 FIRE HYDRANT
- 41 DWP YARD
- 42 AMENITY STAND
- 43 SHORT TERM PARKING

LEGEND

- = PROPERTY LINE
- = SETBACK / DEDICATION LINE
- = STANDARD PARKING STALL
- = COMPACT PARKING STALL
- = TANDEM PARKING STALL
- = ACCESSIBLE PARKING STALL (MAN-ACCESSIBLE WHERE NOTED)
- = LONG-TERM BICYCLE LOCKER 1'-6" x 4'-0"
- = SHORT-TERM BICYCLE RACK - (2) BICYCLES
- = AREA OF DECORATIVE WALK SURFACE, SEE KEYNOTE
- = ADJACENT PROPERTY NOT IN SCOPE

GENERAL NOTES

1. GARAGE LIGHTING TO BE PROVIDED TO MEET OR EXCEED THE MINIMUM REQUIRED PER CODE.
2. PARKING STRIPING SHOWN IS DIAGRAMMATIC. STALLS SHALL BE DOUBLE-STRIPED PER 12.21(A.50).
3. NOT ALL KEYNOTES OR SYMBOLS ARE USED.

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ENTITLEMENT SUBMISSION	08/31/2021
ENTITLEMENT SUBMISSION	11/08/2018
ENTITLEMENT SUBMISSION	3/15/2018

No.	Description	Date
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Key Plan

SITE PLAN

1/16" = 1'-0"

A2-3

GROUND FLOOR PLAN

SCALE
1/16"=1'-0"

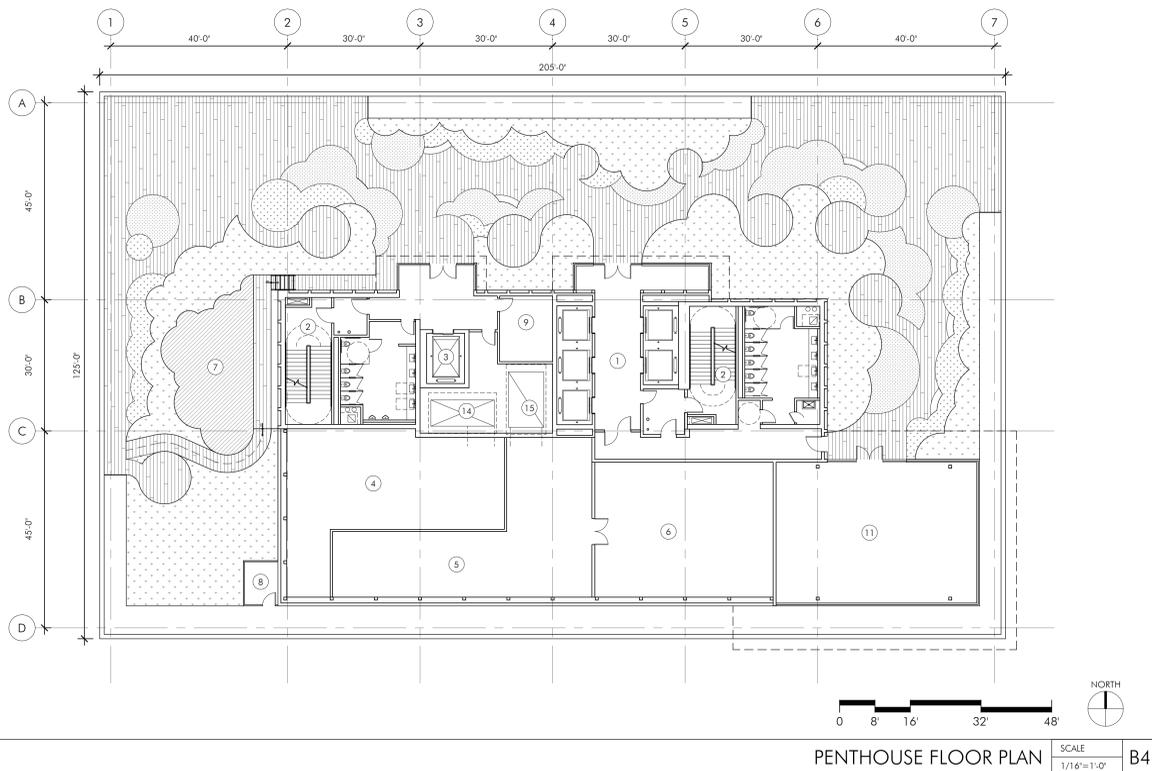
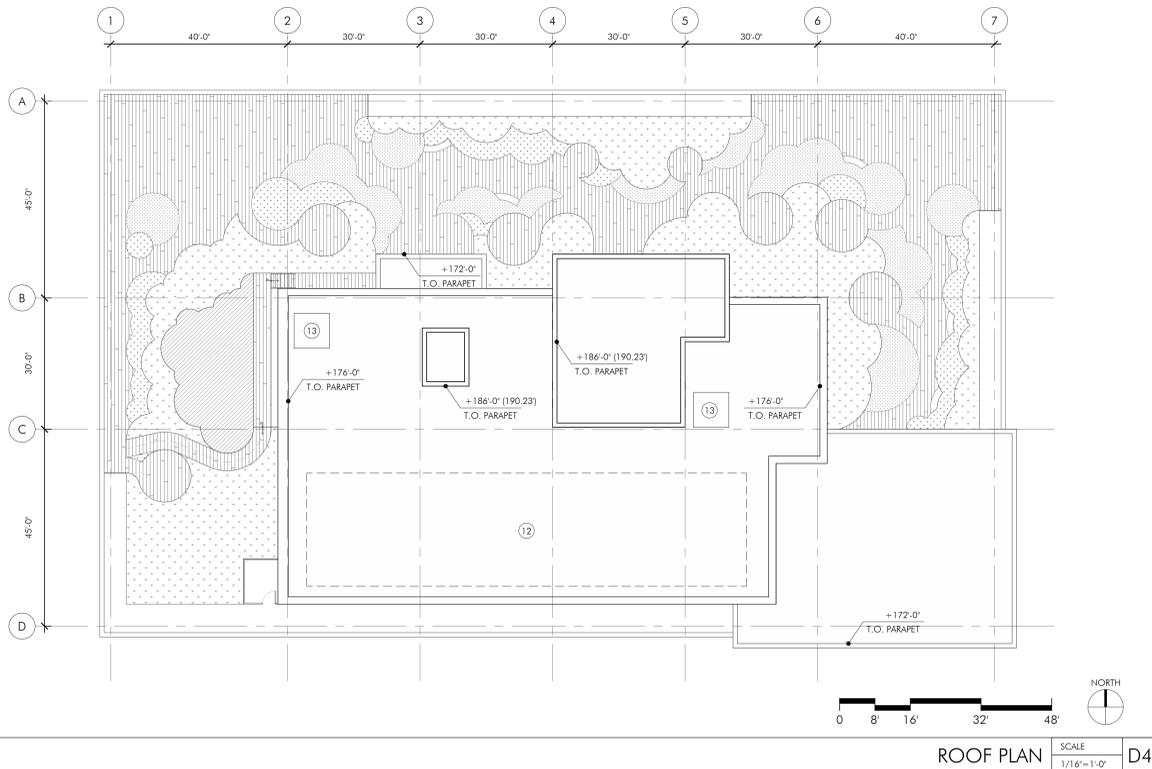
A1

NOTES

SCALE
N.T.S.

A0



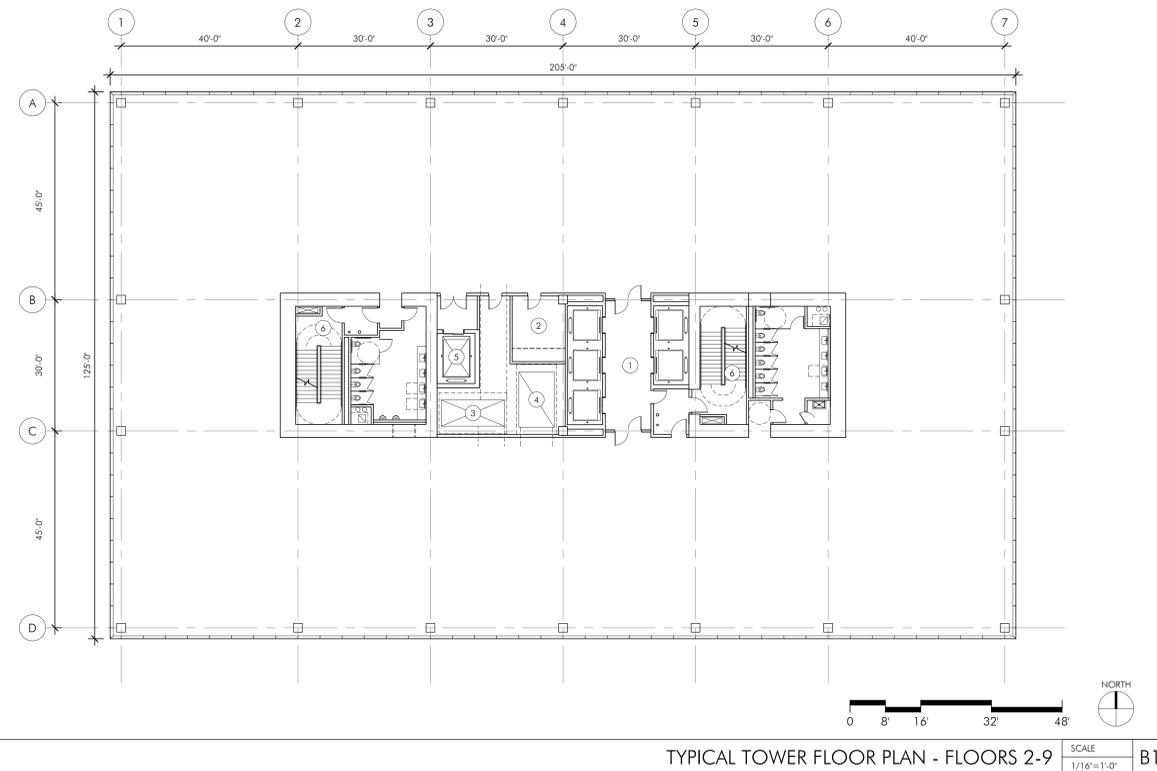


- | | |
|------------------------------|---------------------------------|
| 1 LOBBY | 12 AREA FOR FUTURE SOLAR PANELS |
| 2 VESTIBULE | 13 STAIR PRESSURIZATION FAN |
| 3 FREIGHT ELEVATOR | 14 SA SHAFT/DUCT |
| 4 MEP EQUIPMENT, HVAC SUPPLY | 15 RA SHAFT/DUCT |
| 5 MEP EQUIPMENT, HVAC RETURN | |
| 6 MECHANICAL EQUIPMENT | |
| 7 WET DECK, +2'-6" A.F.F. | |
| 8 PUMP ROOM | |
| 9 ELECTRICAL | |
| 10 VAV | |
| 11 EXERCISE ROOM | |

- | |
|---------------------------------|
| LANDSCAPE TIER 1, +6' A.F.F. |
| LANDSCAPE TIER 2, +1'-0" A.F.F. |
| LANDSCAPE TIER 3, +2'-6" A.F.F. |
| WET DECK |

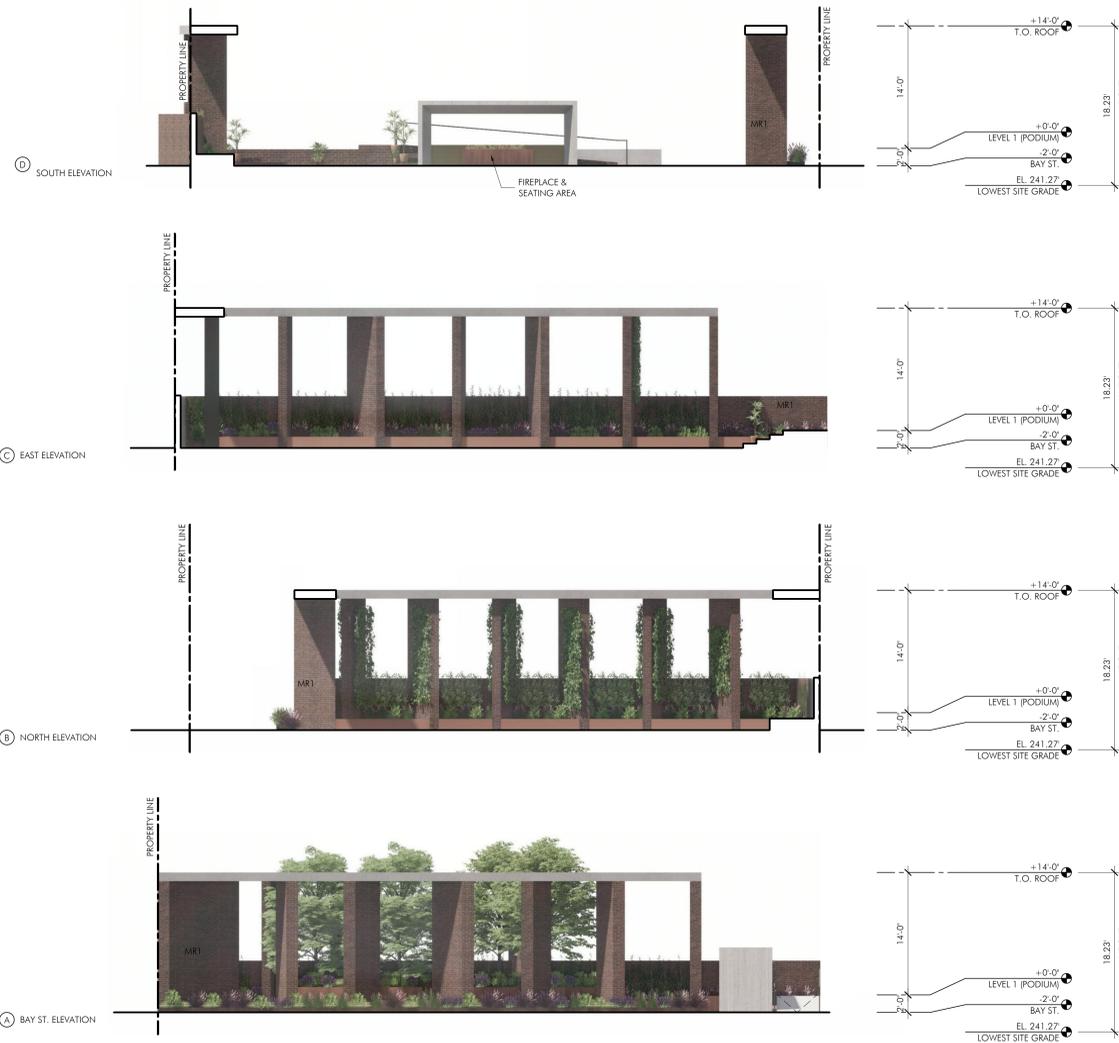
KEY NOTES SCALE 1/16"=1'-0" **A5**

LEGEND SCALE 1/16"=1'-0" **A4**



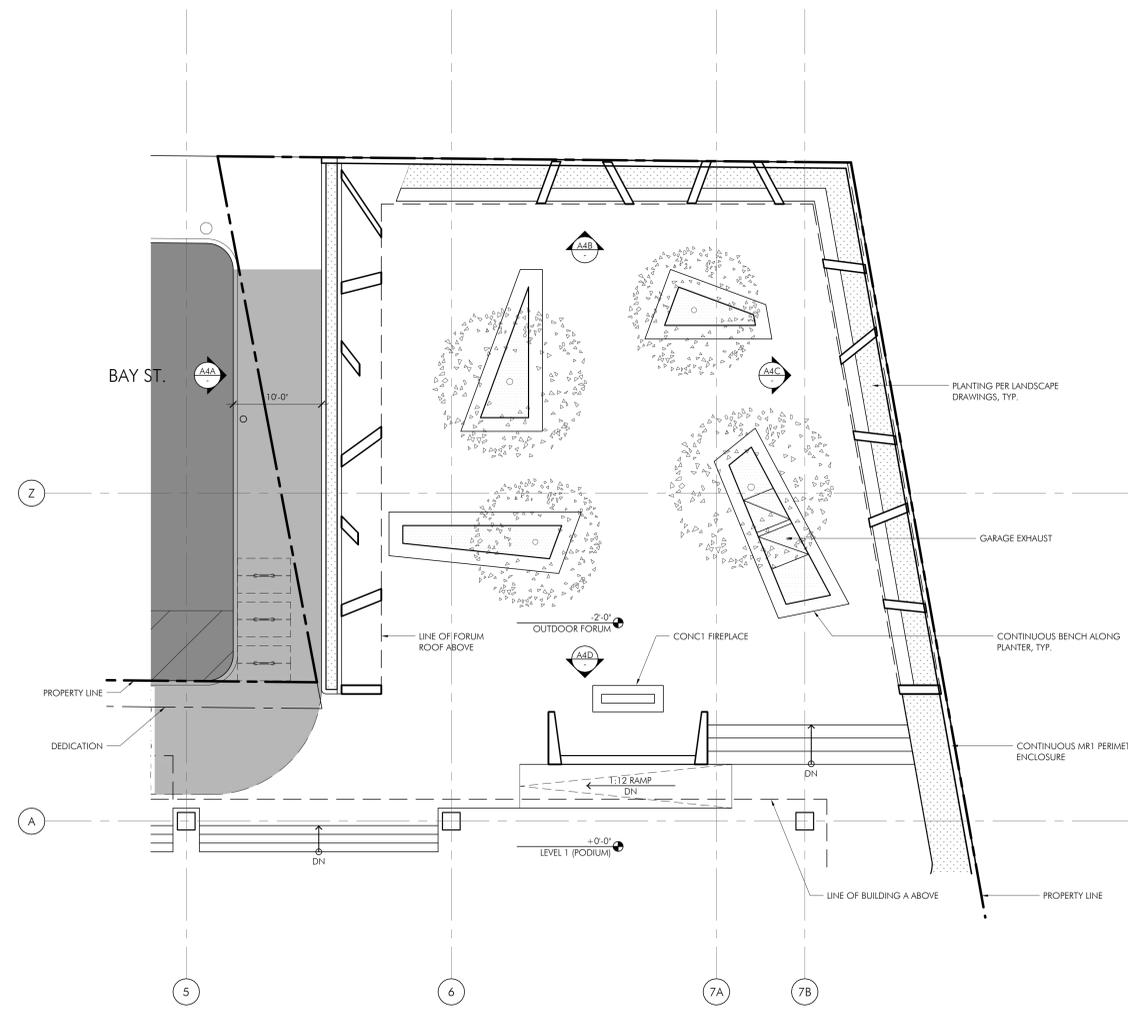
- | |
|--------------------|
| 1 ELEVATOR LOBBY |
| 2 ELECTRICAL |
| 3 SA SHAFT/DUCT |
| 4 RA SHAFT/DUCT |
| 5 FREIGHT ELEVATOR |
| 6 EXIT STAIR |

KEY NOTES SCALE 1/16"=1'-0" **A1**



PLANTING PER LANDSCAPE
DRAWINGS, TYP.

ENLARGED ELEVATIONS SCALE 1/8"=1'-0" A4



MATERIAL SCHEDULE ON A3-1

ENLARGED PLAN SCALE 1/8"=1'-0" A1

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ENTITLEMENT SUBMISSION	08/31/2021
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ENTITLEMENT SUBMISSION	3/15/2018

No.	Description	Date
-----	-------------	------

Key Plan

EXTERIOR ELEVATIONS
BUILDING A

1/16" = 1'-0"

A3-1



③ SOUTH ELEVATION



④ WEST ELEVATION



⑤ NORTH ELEVATION

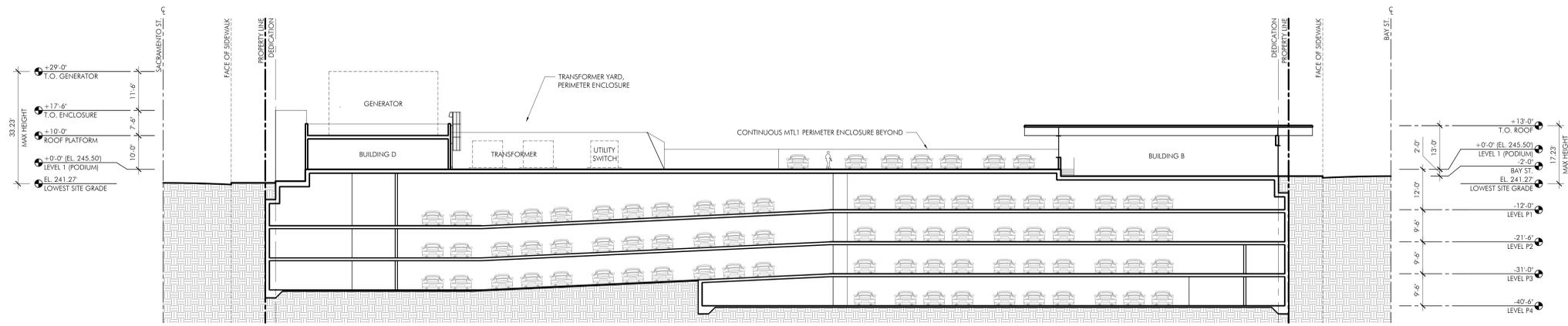


⑥ EAST ELEVATION

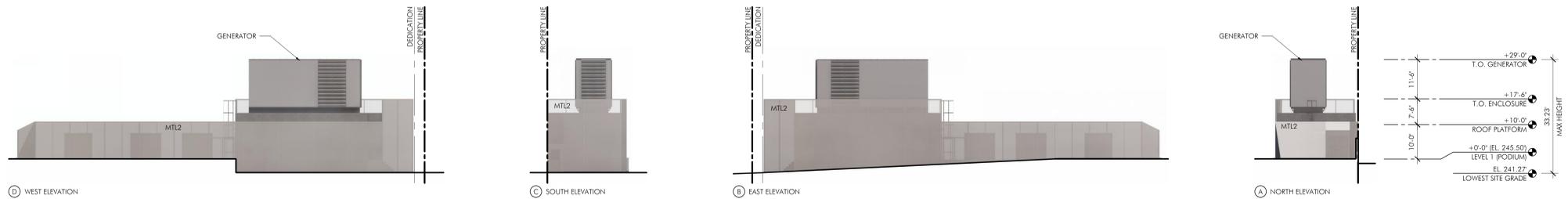
ELEVATIONS SCALE 1/16"=1'-0" A2

MATERIAL LEGEND SCALE NO SCALE A1

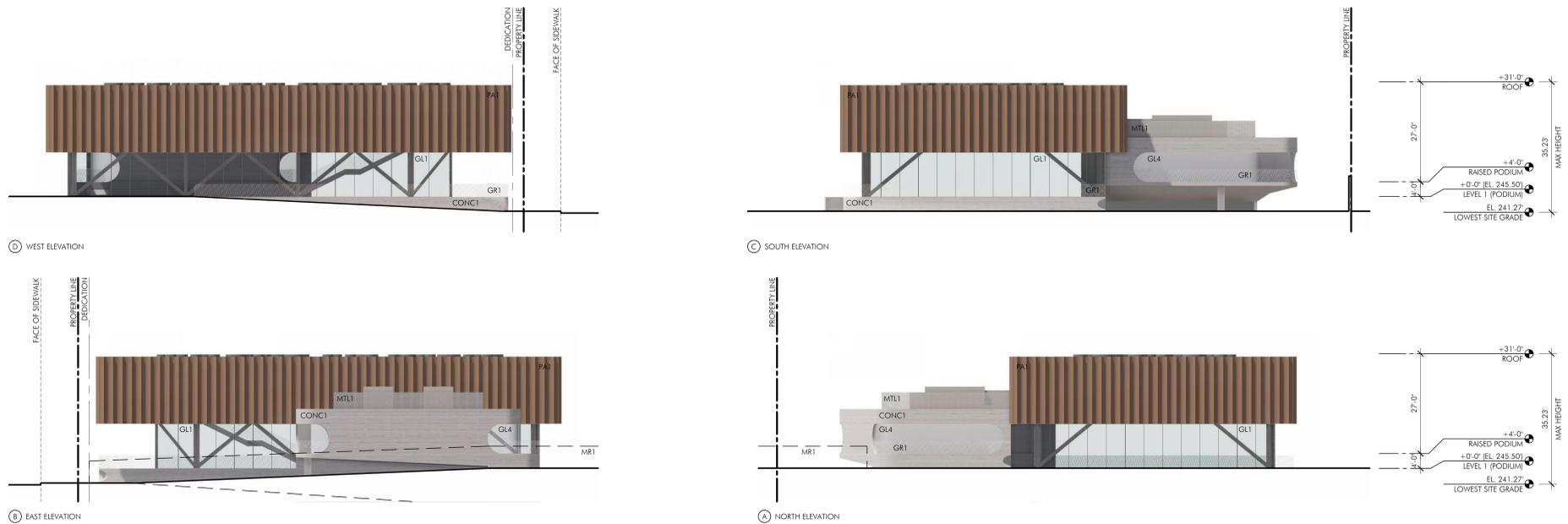
- CONC1 CONCRETE - POURED IN PLACE
- CONC2 CONCRETE - PRECAST
- GL1 STOREFRONT GLAZING
- GL2 STOREFRONT GLAZING WITH OPERABLE DOORS
- GL3 OFFICE TOWER GLAZING
- GL4 GLAZING
- GR1 GUARDRAIL
- MR1 MASONRY - BRICK
- MTL1 METAL PANEL - PERFORATED
- MTL2 METAL PANELS - 3D FLUTED
- MTL3 METAL PANELS - FLAT
- MTL4 METAL LOUVERS
- T1 WALL TILE - DECORATIVE



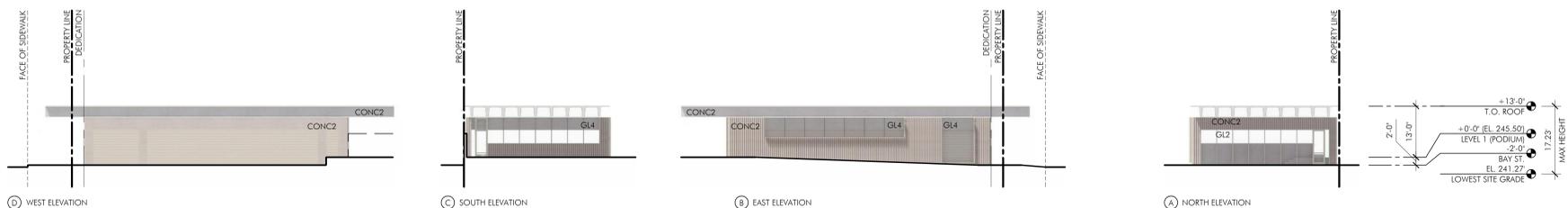
NORTH/SOUTH SITE SECTION - WEST SCALE 1/16" = 1'-0" E1



BUILDING D ELEVATIONS SCALE 1/16" = 1'-0" D1



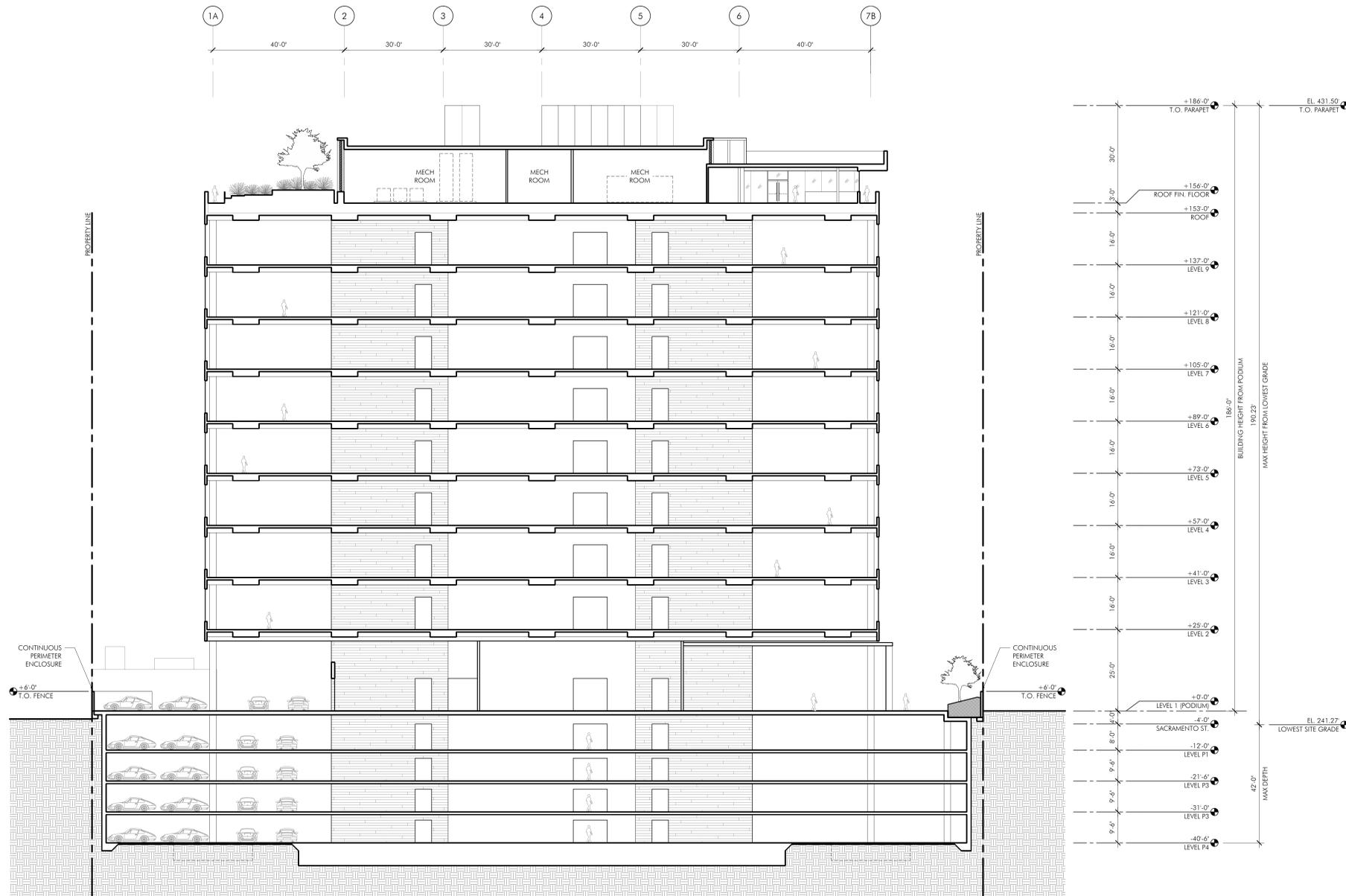
BUILDING C - NORTH & EAST ELEVATIONS SCALE 1/16" = 1'-0" B1



BUILDING B ELEVATIONS SCALE 1/16" = 1'-0" A2

MATERIAL LEGEND SCALE NO SCALE A1

CONC1	CONCRETE - POURED IN PLACE
CONC2	CONCRETE - PRECAST
GL1	STOREFRONT GLAZING
GL2	STOREFRONT GLAZING WITH OPERABLE DOORS
GL3	OFFICE TOWER GLAZING
GL4	GLAZING
GR1	GUARDRAIL
MR1	MASONRY - BRICK
MTL1	METAL PANEL - PERFORATED
MTL2	SCREEN/TB
MTL3	METAL PANELS - FLAT
MTL4	METAL LOUVERS
PA1	3D FLUTED PANEL
TL1	WALL TILE - DECORATIVE



Registration:

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ENTITLEMENT SUBMISSION 11/08/2018

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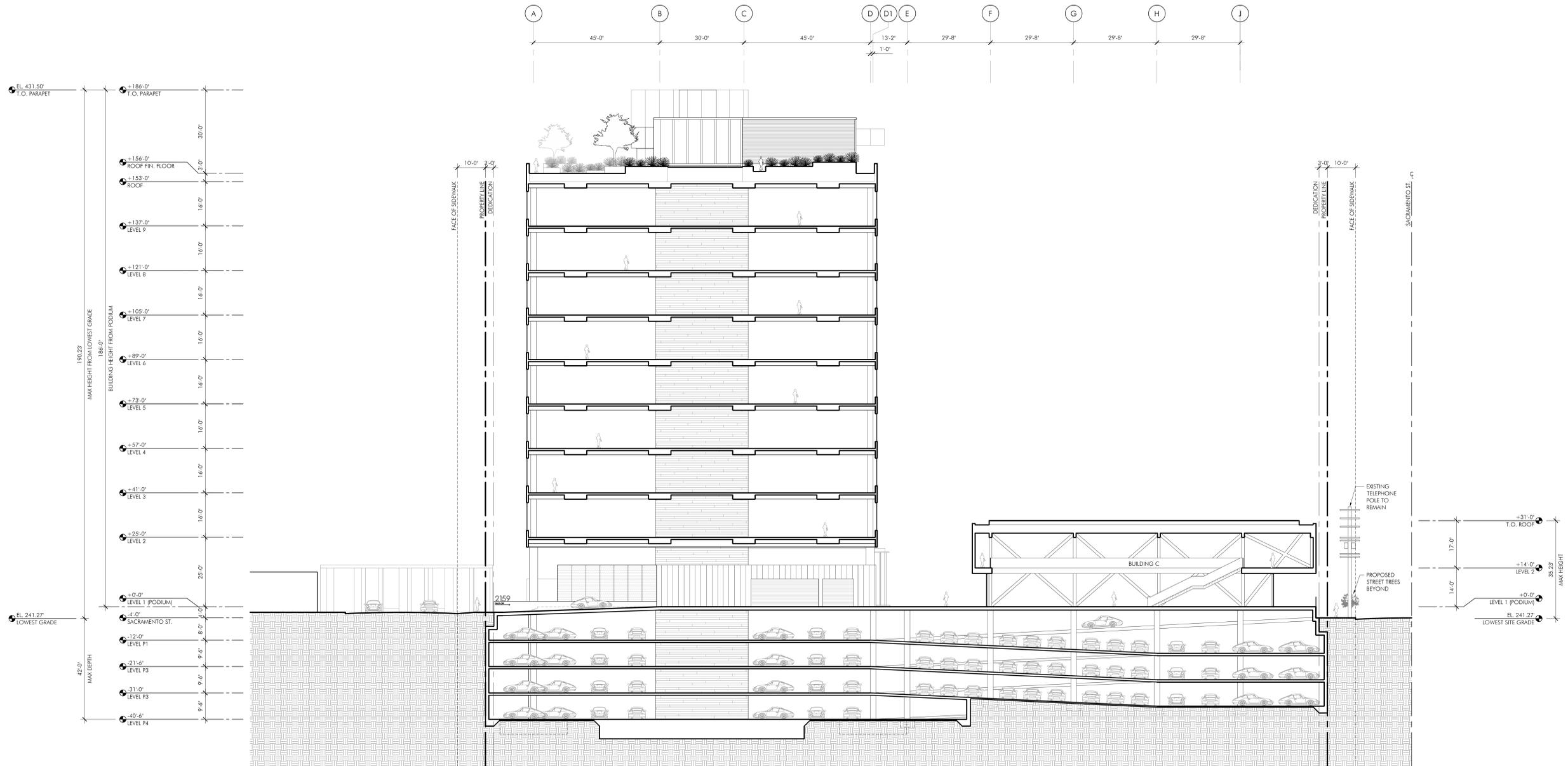
Key Plan

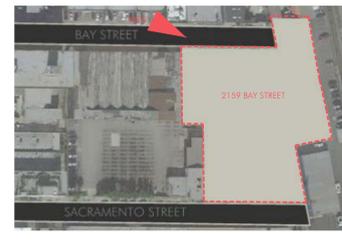
SITE SECTION
BUILDING A & BUILDING C

1/16" = 1'-0"

A3-4

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AXON VIEW FROM SACRAMENTO ST. C4



AXON VIEW FROM BAY ST. C1



PERSPECTIVE VIEW OF PASEO ENTRANCE FROM BAY ST. A4



PERSPECTIVE VIEW INTO PASEO FROM THE NORTH A1



PERSPECTIVE VIEW OF FORUM C4



PERSPECTIVE VIEW OF LANDSCAPE WALKWAY WEST OF SIGNATURE BUILDING C1



PERSPECTIVE VIEW OF FRONT ENTRANCE A4



PERSPECTIVE VIEW INTO THE VILLAGE FROM THE NORTH A1

Registration:

NOT FOR CONSTRUCTION

ENTITLEMENT SUBMISSION 08/31/2021

ENTITLEMENT SUBMISSION 11/08/2018

ENTITLEMENT SUBMISSION 3/15/2018

No. Description Date

Key Plan

PERSPECTIVE VIEWS

NTS

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	36" BOX	6
	ALOE BAINESII	TREE ALOE	24" BOX	8
	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	24" BOX	4
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2
	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	48" BOX	3
	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	60" BOX	4
	RHUS LANCEA	AFRICAN SUMAC	48" BOX	4

CONCEPT PLANT SCHEDULE

	SACRAMENTO STREET & VILLAGE DRIVE AGAVE ATTENUATA / FOXTAIL AGAVE AGAVE ATTENUATA 'KARA'S STRIPES' / KARA'S STRIPES FOXTAIL AGAVE AGAVE ATTENUATA 'NOVA' / NOVA FOXTAIL AGAVE DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY GRAVEL MULCH	353 SF 3 5 5 66 106 SF	5 GAL 5 GAL 5 GAL 1 GAL -	10% @ 42" oc 10% @ 36" oc 10% @ 36" oc 40% @ 18" oc 30%
	PEANUT CANOPY ALOE VERA / MEDICINAL ALOE DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO	814 SF 677 1,354 1,354	4" POTS 4" POTS 4" POTS	20% @ 6" oc 40% @ 6" oc 40% @ 6" oc
	PEDESTRIAN PASEO & BUILDING A PERIMETER ANIGOZANTHOS X 'YELLOW GEM' / YELLOW GEM KANGAROO PAW DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY GRAVEL MULCH KALANCHOE BEHARENSIS / FELT PLANT MONSTERA DELICIOSA / SPLIT-LEAF PHILODENDRON SANSEVIERIA MASONIANA / MASON'S CONGO SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	2,615 SF 66 121 785 SF 9 9 34 272 544	15 GAL 1 GAL - 15 GAL 15 GAL 5 GAL 1 GAL 1 GAL	15% @ 30" oc 10% @ 18" oc 30% 5% @ 48" oc 5% @ 48" oc 5% @ 24" oc 10% @ 12" oc 20% @ 12" oc
	OUTDOOR FORUM ACACIA COGNATA 'COUSIN IT' / RIVER WATTLE EUPHORBIA CHARACIAS 'BRUCE'S DWARF' / DWARF EUPHORBIA ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY TRACHELOSPERMUM JASMINOIDES / CHINESE STAR JASMINE	525 SF 16 35 22 61	5 GAL 5 GAL 5 GAL 1 GAL	25% @ 36" oc 25% @ 24" oc 25% @ 30" oc 25% @ 18" oc

REFERENCE NOTES SCHEDULE

SYMBOL	HARDSCAPE DESCRIPTION
	FIBERGLASS PLANTER 48" L X 48" W X 36" T
	NOT USED
	PEANUT CANOPY
	CUSTOM SEATWALL



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No. Description Date

Key Plan

PLANTING PLAN - ROOFTOP TERRACE

1/16" = 1'-0"

L2-2

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PROJECT NO: 16-352



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	48" BOX	5
	CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	36" BOX	5
	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	48" BOX	4

CONCEPT PLANT SCHEDULE

ROOFTOP GARDEN	6,025 SF
AGAVE ATTENUATA / FOXTAIL AGAVE	26
ANIGOZANTHOS X 'YELLOW GEM' / YELLOW GEM KANGAROO PAW	101
BESCHORNERIA X YUCCOIDES 'BESYS' / FLAMINGO GLOW AMOLE	26
DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY	279
ECHIUM CANDICANS / PRIDE OF MADEIRA	79
SENECIO MANDORALISCAE 'BLUE CHALK STICKS' / SENECIO	627
SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1,253
WESTRINGIA FRUTICOSA 'SMOKEY' / SMOKEY WESTRINGIA	314

TREES - GROUND FLOOR



Koelreuteria bipinnata
Chinese Flame Tree



Aloe bainesii
Tree Aloe



Acacia stenophylla
Shoestring Acacia



Arbutus 'Marina'
Strawberry Tree



Cercis Canadensis
Forest Pansy Redbud



Olea 'Swan Hill'
Swan Hill Fruitless Olive

TREES - ROOFTOP TERRACE



Olea 'Swan Hill'
Swan Hill Fruitless Olive



Cercidium x 'Desert Museum'
Desert Museum Palo Verde



Acacia stenophylla
Shoestring Acacia

TREES - STREET



Rhus lancea
African Sumac

SHRUBS - OUTDOOR FORUM



Acacia 'Cousin Itt'
River Wattle



Euphorbia 'Bruce's Dwarf'
Dwarf Euphorbia



Rosmarinus officinalis
Dwarf Rosemary



Trachelospermum jasminoides
Star Jasmine

SHRUBS - COMMERCIAL B + PEANUT CANOPY



Aloe vera
Medicinal Aloe



Dianella revoluta 'Little Rev'
Little Rev Flax Lily



Senecio mandraliscae
Blue Chalk Sticks Senecio

SHRUBS - SACRAMENTO STREET + VILLAGE DRIVE



Anigozanthos flavidus
Yellow Kangaroo Paw



Dianella revoluta 'Little Rev'
Little Rev Flax Lily



Felt Plan
Kalanchoe beharensis



Monstera deliciosa
Split-Leaf Philodendron



Sansevieria masoniana
Mason's Congo



Senecio mandraliscae
Blue Chalk Sticks Senecio



Sesleria autumnalis
Autumn Moor Grass

SHRUBS - SACRAMENTO STREET + VILLAGE DRIVE



Agave attenuata
Foxtail Agave



Agave 'Kara Stripes'
Kara's Stripes Agave



Agave 'Nova'
Nova Foxtail Agave



Dianella revoluta 'Little Rev'
Little Rev Flax Lily

SHRUBS - ROOFTOP GARDEN



Senecio mandraliscae
Blue Chalk Sticks Senecio



Beschorneria yuccoides
Flamingo Glow Amole



Agave attenuata
Foxtail Agave



Echium candicans
Pride of Madeira



Anigozanthos flavidus
Yellow Kangaroo Paw



Dianella revoluta 'Little Rev'
Little Rev Flax Lily



Westringia 'Smokey'
Smokey Westringia



Sesleria autumnalis
Autumn Moor Grass